



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

Thursday 9:00 a.m., May 9, 2013

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS
Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: NEW CASES

RIVERSIDE MUNICIPAL AIRPORT

2.1 ZAP1058R113 – Housing Authority of the City of Riverside (Representative: David Hetherington, Wakeland Housing) – City of Riverside Case Nos. P13-0198 (General Plan Amendment), P13-0199 (Rezoning), P13-0201 (Site Plan). P13-0201 is a proposal to develop 30 residential units in one and two-story buildings and redevelop the existing officer's club as a community center and rehabilitation center on a 2.14-acre site located easterly of Picker Street, northerly of Philbin Avenue, westerly of Wohlstetter Street, and southerly of Cypress Avenue. Case No. P13-0198 is a proposal to change the General Plan designation of the 2.14-acre site from Medium Density Residential to High Density Residential. Case No. P13-0199 is a proposal to change the zoning of the site from R-1-7,000 (Single Family Residential) to R-3-2500 (Multiple Family Residential), or R-3-2500-AP-D (Multiple Family Residential, Airport Protection Overlay Zone D). (Zone D of Riverside Municipal Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONSISTENT

CHAIR

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Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

RIVERSIDE MUNICIPAL AIRPORT

2.2 ZAP1059RI13 – City of Riverside – City Case Nos. P13-0235 (Rezoning), P13-0111 (Specific Plan Amendment). P13-0235 is a proposal to add the Specific Plan Overlay (and, possibly, Airport Protection Overlay Zone AP-E) to an approximate 6.65-acre area consisting of 11 parcels located southerly of SR-91, westerly of Madison Street, northerly of Casa Blanca Street, and easterly of the extension of Depot Street north. Case No. P13-0111 is a proposal to amend the Riverside Auto Center Specific Plan to add the subject area to the Specific Plan. (Zone E of Riverside Municipal Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONSISTENT

FRENCH VALLEY AIRPORT

2.3 ZAP1050FV13 – Regent Nicolas 73, LLC – City Case Nos. PA12-0131 (General Plan Amendment), PA12-0132 (Zone Change), PA12-0133 (Tentative Map). PA12-0131 is a proposal to amend the City of Temecula General Plan land use designation on 73.3 acres located southerly of Nicolas Road and easterly of Via Lobo Road from Very Low Density Residential (VLDR) to Low Density Residential (LDR). PA12-0132 is a proposal to change the zoning of the site from Very Low Density Residential (VL) to Low Density Residential (L), with Planned Development Overlay (PDO), and to amend the text of the zoning ordinance to include the Arbor Vista PDO. PA12-0133 is a proposal to subdivide 73.3 acres into 83 single family residential lots, 2 open space lots, 1 lot for a public park, and 2 lots for water quality/detention. (Zone E of French Valley Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONSISTENT

2.4 ZAP1051FV13 – Golden Eagle Multi-Family Properties, LLC (Representative: John Capelli) – City of Murrieta Case Nos. GPA 2012-3266 (General Plan Amendment), ZC 2012-3265 (Zone Change), DP 2012-3267 (Development Plan). DP 2012-3267 is a proposal for the development of 112 apartment units in six buildings up to three stories in height, along with tennis court, club house, gym, and pool on 7.51 acres located northerly of Murrieta Hot Springs Road, southeasterly of Clearbrook Drive, and southerly of Branwin Street in the City of Murrieta. GPA 2012-3266 is a proposal to amend the land use designation on a 1.06-acre portion of the site from Parks and Open Space to Multiple-Family Residential. ZC 2012-3265 is a proposal to change the zoning on that same 1.06-acre portion of the site from Private Recreation (PR) to Multi-Family 1 Residential (MF-1). (Zone D of French Valley Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONSISTENT

3.0 **ADMINISTRATIVE ITEMS**

3.1 Director's Approvals

3.2 Proposed Overrule: Desert Community College District

4.0 **APPROVAL OF MINUTES**

April 11, 2013

5.0 **ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

6.0 **COMMISSIONER'S COMMENTS**

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**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.1

HEARING DATE: May 9, 2013

CASE NUMBER: ZAP1058RI13 – Housing Authority of the City of Riverside
(Representative: David Hetherington, Wakeland Housing)

APPROVING JURISDICTION: City of Riverside

JURISDICTION CASE NO.: P13-0198 (General Plan Amendment), P13-0199 (Rezoning),
P13-0201 (Site Plan)

MAJOR ISSUES: The existing officers' club building is 14,249 square feet in floor area and, if used entirely as a place of assembly, could potentially accommodate up to 950 persons. This is not likely, as only 65 parking spaces are provided for the entire development. As this is an existing building, staff proposes to address intensity by limiting its regular use to the residents of the project (likely not more than 90 persons), their guests, and families, and by limiting its use for special events to a maximum of 275 persons.

RECOMMENDATION: Staff recommends a finding of CONSISTENCY for the General Plan Amendment, Rezoning, and Site Plan, subject to the conditions included herein and that the new zoning incorporates the Airport Protection Overlay Zone suffix (-AP-D), which refers to the site's location within Compatibility Zone D of the Riverside Municipal Airport Influence Area.

PROJECT DESCRIPTION: City of Riverside Case No. P13-0201 is a proposal to develop 30 residential units in one- and two-story buildings and redevelop the existing officer's club as a community center and rehabilitation center. The development will include individual kitchens within each of the units and provide minimal rehabilitation and support services such that State licensing for its rehabilitation and support services will not be required. As such, this project is characterized as a residential use rather than an institutional use. Case No. P13-0198 is a proposal to change the General Plan designation of the 2.14 acre site from Medium Density Residential to High Density Residential. Case No. P13-0199 is a proposal to change the zoning of the site from R-1-7,000 (Single Family Residential) to R-3-2500 (Multiple Family Residential).

PROJECT LOCATION: The site is located easterly of Picker Street, northerly of Philbin Avenue, westerly of Wohlstetter Street, and southerly of Cypress Avenue, in the City of Riverside, approximately 4,700 feet southwesterly of the southerly terminus of Runway 16-34 at Riverside Municipal Airport.

LAND USE PLAN: 2005 Riverside Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Riverside Municipal Airport
- b. Land Use Policy: Airport Compatibility Zone D
- c. Noise Levels: Less than 55 CNEL from aircraft

ANALYSIS:

Residential Density: The site is located in Airport Compatibility Zone D. Residential density in the portion of Airport Zone D easterly of Tyler Street in the City of Riverside is restricted to either a maximum of 0.2 dwelling units per acre or a minimum of 4.0 dwelling units per acre. The project proposes a total of 30 units on the 2.14 acre site for a density of 14.02 dwelling units per acre, which is consistent with the higher range density criteria of a minimum of 4.0 dwelling units per acre. The proposed General Plan Amendment to High Density Residential and Rezoning to R-3-2500 would provide for higher residential density, which provides a greater guarantee of development consistency with Zone D higher range residential density criteria compared to the existing Medium Density Residential designation and R-1-7000 zoning classification which could potentially allow for development that does not meet the 4.0 dwelling unit per acre minimum.

Non-Residential Intensity: Non-Residential intensity in Airport Compatibility Zone D is restricted to 300 people per single acre and 100 people per average acre. The net area of the site is 2.14 acres, and the gross area (including the adjacent half-widths of Picker and Wohlstetter Streets) is 2.76 acres. The 14,249 square foot community facility includes a multi-purpose room, exercise room, and library room. The square footages of the individual rooms within the building have not been provided to ALUC staff as of the time of writing of the staff report. If occupied at a rate of one person per 15 square feet of floor area, a 14,249 square foot facility could potentially accommodate up to 950 people. However, given that the entire complex will be providing only 65 parking spaces, including on-street parking, such a scenario is not likely to occur. The project proponent has advised that the community facility is intended to solely serve the facility's residents and their families/guests, so actual intensities within the building are anticipated to be limited. The applicant has indicated that, at other similar developments, such community facilities experience a maximum occupancy of 90% of the resident population. Staff proposes to address this issue by limiting the regular use of the facility to project residents, their families, and guests, and limiting special events to a maximum of 275 people (in order to comply with the average intensity limit of 100 persons per gross acre).

Open Area: The site is less than ten acres in area and, therefore, is not subject to Zone D open area requirements.

Noise: The site is not located within an area that is projected in the 2005 Riverside Municipal Airport Land Use Compatibility Plan to ultimately be subject to average aircraft noise levels greater than 55 CNEL; therefore, no aircraft noise mitigation measures will be required to reduce interior

noise levels from aircraft operations.

PART 77: According to the Riverside County Land Information System, the elevation of the site is 740 feet above mean sea level (AMSL). The elevation of Runway 16-34 at its southerly terminus (the nearest point to the site) is 747.5 feet AMSL. At an approximate distance of 4,700 feet from the runway, any building with an elevation at top of roof exceeding 794.5 feet AMSL would require Federal Aviation Administration (FAA) Obstruction Evaluation Service notice and review through the Form 7460-1 process. The proposed building will not exceed a height of 29 feet above ground level for a total elevation of 769 AMSL. As the 100: 1 slope will not be breached, ALUC may take action without need to wait for an obstruction evaluation review by the Federal Aviation Administration.

Airport Overlay: In conjunction with adoption of its new General Plan, the City of Riverside amended its zoning ordinance to provide for Airport Protection Overlay Zones within the Airport Influence Areas of airports for which Compatibility Zones based on the “A through E” system utilized in the 2004 Riverside County Airport Land Use Compatibility Plan have been established. While the land uses permitted by the R-3-2500 zone are consistent with a location in Compatibility Zone D, application of the Airport Protection Overlay Zone suffix is recommended in order to assure that the ultimate development will comply with Compatibility Zone D intensity limitations. This would further the objectives of promoting the continued operations of Riverside Municipal Airport and maintaining public awareness of its proximity. The City Zoning Ordinance provisions refer readers to the Compatibility Plan.

CONDITIONS:

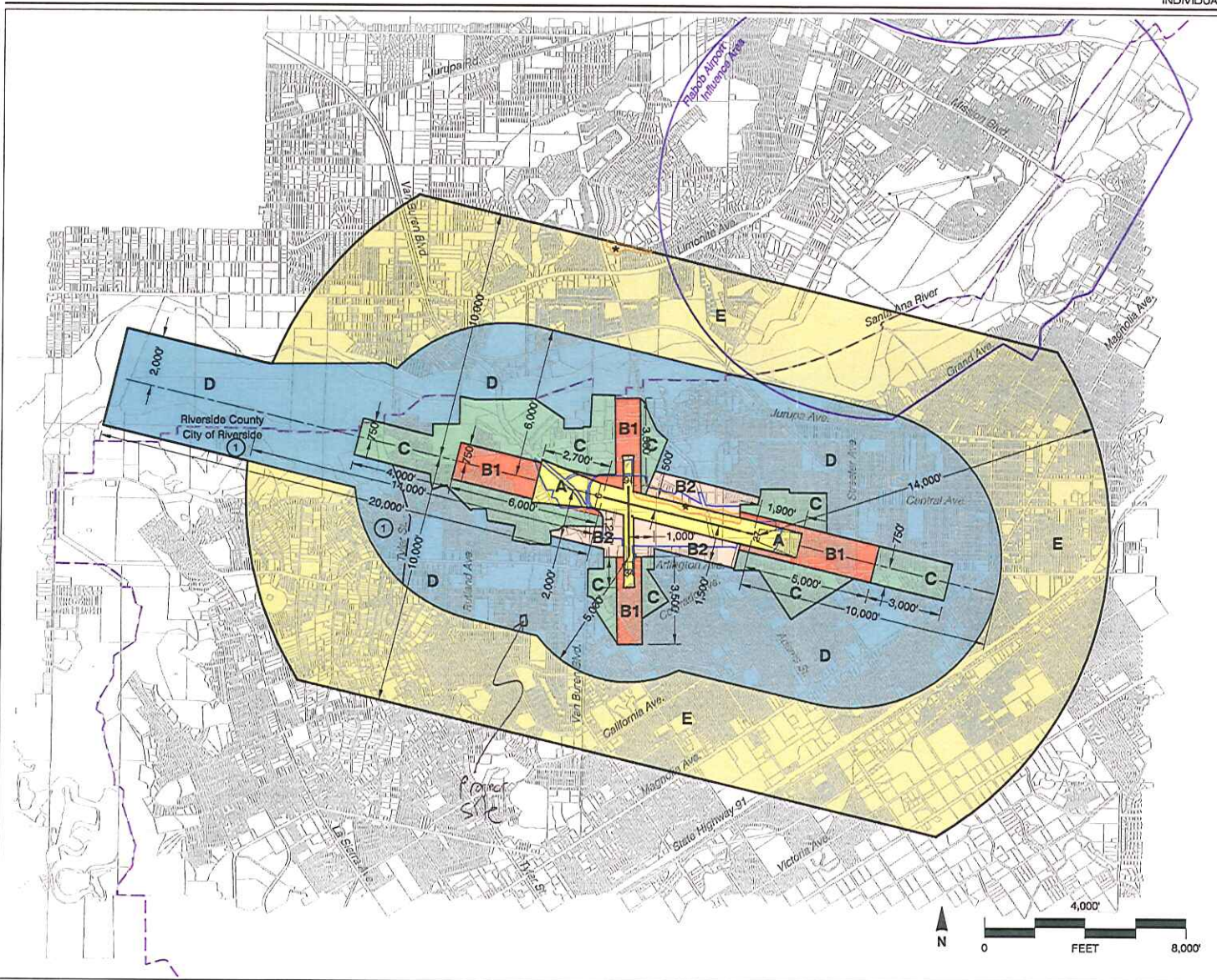
1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light, visual approach slope indicator, or such red light obstruction marking as may be permitted by the Federal Aviation Administration.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the

area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and all potential tenants of the buildings, and shall be recorded as a deed notice.
 4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. The use of the community center/rehabilitation center shall be limited to the residents of this facility, their families, and guests. Any special events shall be limited to a maximum of 275 persons in the building.
 6. An airport-related informational sign shall be posted in the community building. The sign shall clearly depict the proximity of the property to the airport and aircraft traffic patterns
 7. An informational brochure shall be provided to prospective buyers or renters showing the locations of aircraft flight patterns. The frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights shall be described. A large-scale illustration of Exhibit RI-7, Compatibility Factors, included in the Riverside Municipal Airport Land Use Compatibility Plan (Volume 2 Background) will suffice.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits

Note

Airport Influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
 (Adopted March 2005)

Map RI-1

Compatibility Map
 Riverside Municipal Airport



5731 Picker St Riverside CA 92503 USA

Project site

Riverside Municipal Airport

Google earth

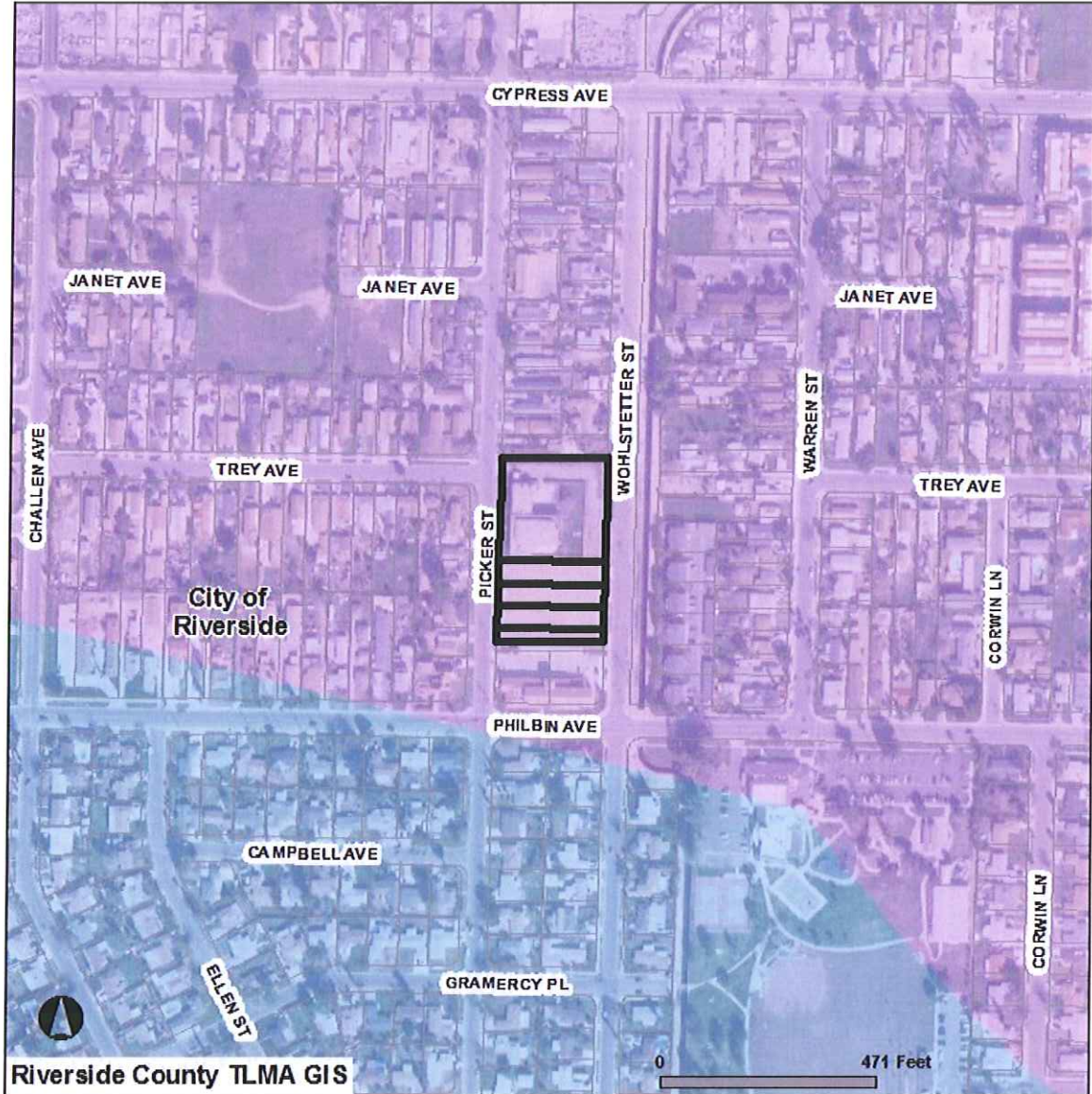
© 2013 Google

Imagery Date: 6/7/2012

33.585734° N, 117.271311° W elev: 744 ft

Eye alt: 16276 ft

RIVERSIDE COUNTY GIS



Selected parcel(s):

151-123-005 151-123-006 151-123-007 151-123-008 151-123-013

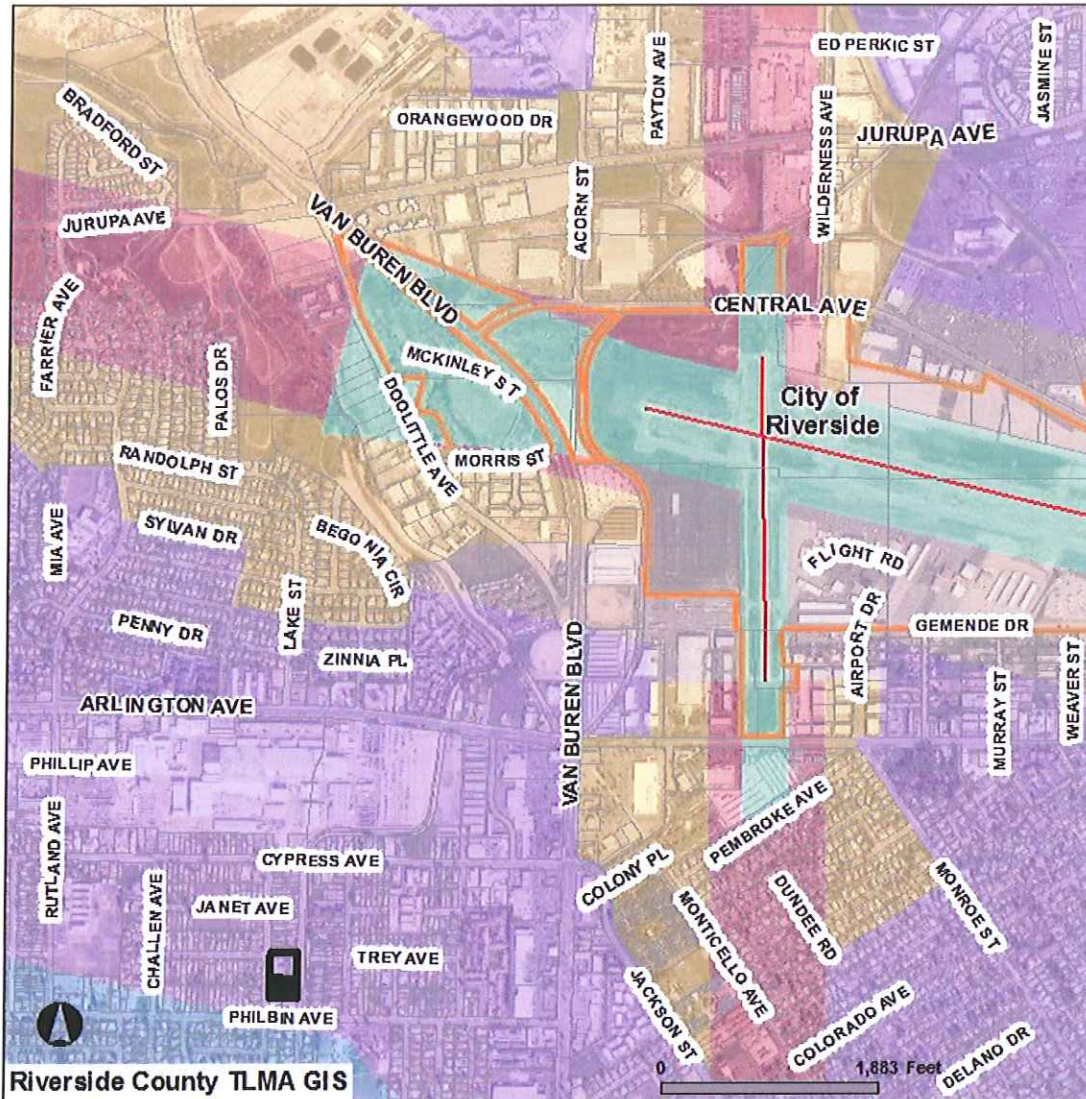
AIRPORTS

- SELECTED PARCEL
- AIRPORT INFLUENCE AREAS
- INTERSTATES
- COMPATIBILITY ZONE D
- HIGHWAYS
- COMPATIBILITY ZONE E
- PARCELS

IMPORTANT
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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 Version 130225

RIVERSIDE COUNTY GIS



Riverside County TLMA GIS

Selected parcel(s):

151-123-005 151-123-006 151-123-007 151-123-008 151-123-013

AIRPORTS

- | | | | |
|-----------------------|-------------------------|----------------------|----------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | PARCELS |
| AIRPORT RUNWAYS | AIRPORT INFLUENCE AREAS | AIRPORT BOUNDARIES | COMPATIBILITY ZONE A |
| COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |
| COMPATIBILITY ZONE E | WATER BODIES | | |

IMPORTANT
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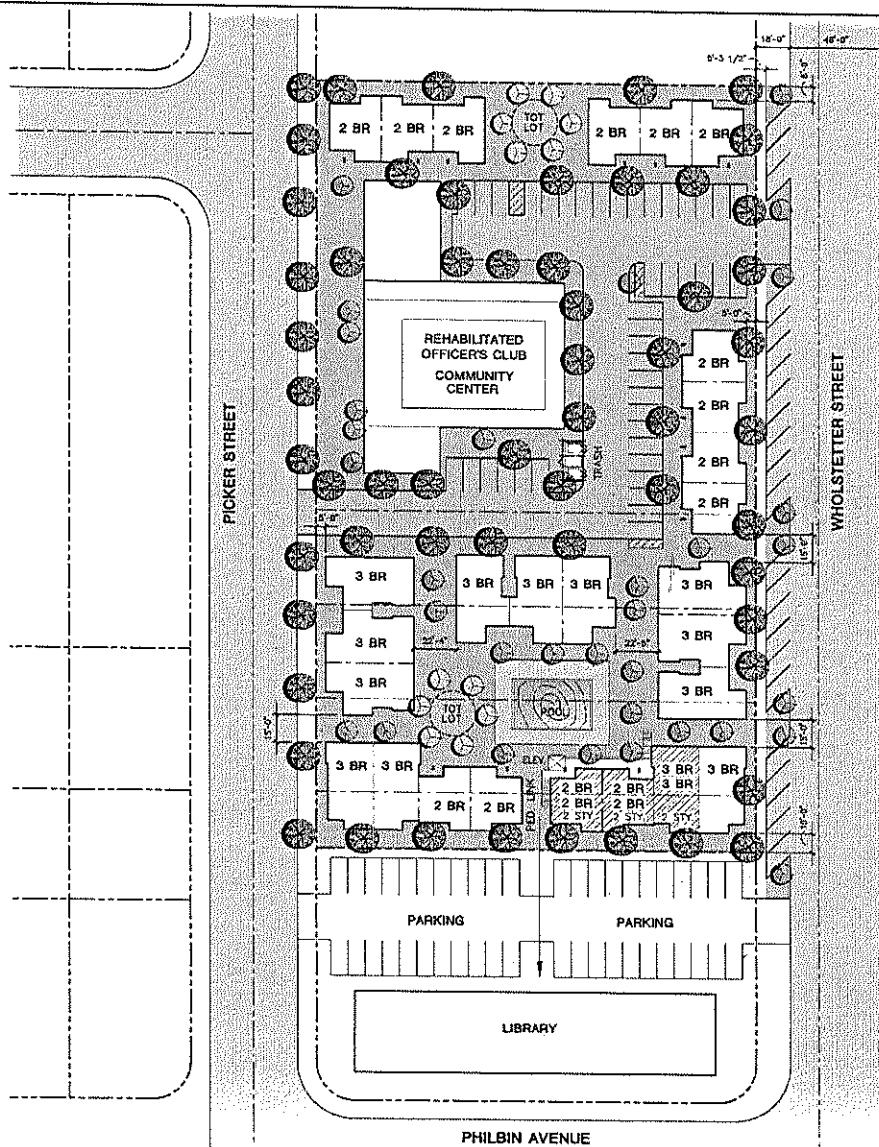
151-123-005 151-123-006 151-123-007 151-123-008 151-123-013

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Version 130225



ATTACHED APT.S 1-STORY AND 2-STORY BLDGS.



HOME FRONT AT CAMP ANZA
RIVERSIDE - CALIFORNIA

CAMP ANZA COMMUNITY DEVELOPMENT
1300 COLUMBIA ST. SUITE 100
SAN DIEGO, CALIF. 92108
619-594-9551 FAX 619-594-8881

ARCHITECTURAL SITE PLAN

REV. NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE

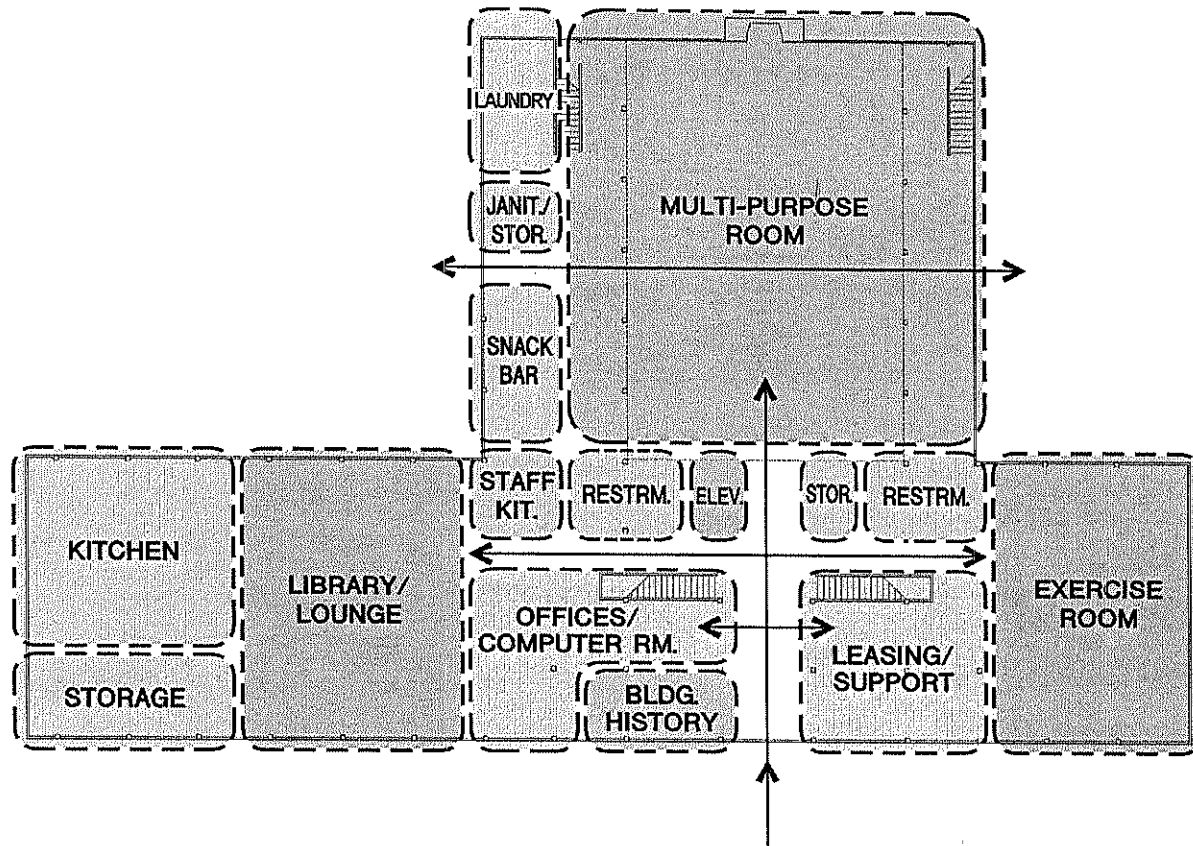
DATE: JULY 5, 2012
 SHEET: AS.2

ARCHITECTURAL SITE DENSITY STUDY

30 ATTACHED HOMES	42 ON-SITE PARKING SPACES	17.1 UNITS/NET ACRE	1.75 ACRE SITE (NET)
2 BR. = 16 3 BR. = 14	23 ON-STREET PARKING SPACES	PARKING RATIO = 2.1 SP/UNIT	2.14 ACRE SITE (GROSS)

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OPTION B
 COMMUNITY AREAS ONLY, INCLUDING BUILDING WINGS



COMMUNITY BUILDING - FIRST FLOOR LEVEL

TOTAL FIRST LEVEL 10,679 SF APPROX.

TOTAL BLDG. SF

14,249 SF APPROX.

HOME FRONT AT CAMP ANZA
 RIVERSIDE - CALIFORNIA

CAMP ANZA COMMUNITY DEVELOPMENT

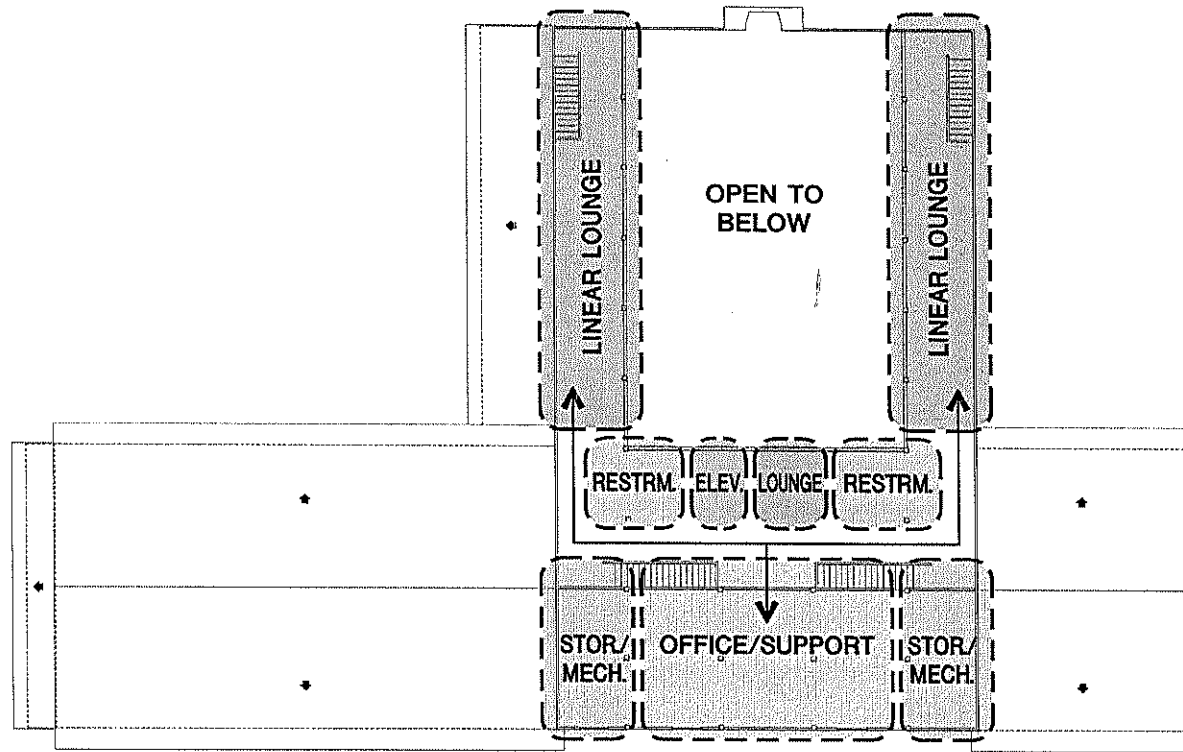
COMM. BLDG. - 1ST FLOOR

REV	NO.	DESCRIPTION	DATE	REV	NO.	DESCRIPTION	DATE
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▲	▲			▲	▲		
▲	▲			▲	▲		

DATE	JUN 4, 2012	SHEET	PL1
DWG. NO.			
DRWING			
CHECKED			

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODES AND ALL APPLICABLE REGULATIONS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR OMISSIONS BY ANY OTHER PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THE BUILDING OR ANY PART THEREOF. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY LIABILITY OF ANY KIND INCURRED BY ANY PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY ANY PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY INDEMNIFICATION OF ANY KIND INCURRED BY ANY PARTY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OTHER MATTER NOT EXPRESSLY PROVIDED FOR IN THESE PLANS.

OPTION B
 COMMUNITY AREAS
 ONLY, INCLUDING
 BUILDING WINGS



COMMUNITY BUILDING - SECOND FLOOR LEVEL

TOTAL SECOND LEVEL 3,569 SF APPROX.

HOME FRONT AT CAMP ANZA
 RIVERSIDE - CALIFORNIA

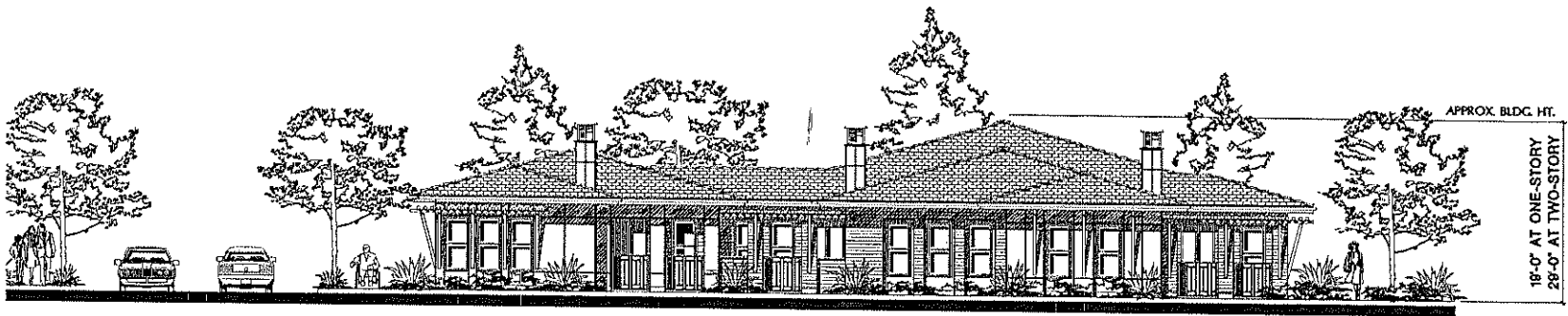
CAMP ANZA COMMUNITY DEVELOPMENT
1076 COLONIA ST. SUITE 100
 SAN DIEGO, CALIF. 92108
 SAN DIEGO TEL: 619 234-1044 FAX

COMM. BLDG. - 2ND FLOOR

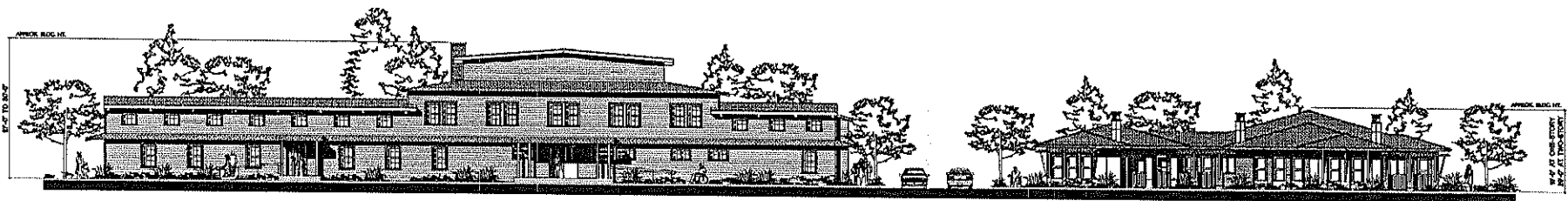
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DATE	JUN 4, 2012	SHEET	PL.2
SCALE			
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TYPICAL RESIDENTIAL BUILDING



COMMUNITY CENTER - REHABILITATED OFFICER'S CLUB

RESIDENCES

PICKER STREET SCENE

HOME FRONT AT CAMP ANZA
 RIVERSIDE - CALIFORNIA

CAMP ANZA
 COMMUNITY DEVELOPMENT

5200 COLLEMAN ST., SUITE 100
 SAN DIEGO, CALIF. 92121
 (619) 544-8801 FAX (619) 544-9941

CHARACTER SKETCH

REV.	NO.	DESCRIPTION	DATE	REV.	NO.	DESCRIPTION	DATE

DATE	MAR 21, 2013	SHEET	CS.1
JOB NO.			
DRAWN			
CHECKED			

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NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: May 9, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1058RI13 – Housing Authority of the City of Riverside (Representative: David Hetherington, Wakeland Housing) – City of Riverside Case Nos. P13-0198 (General Plan Amendment), P13-0199 (Rezoning), P13-0201 (Site Plan). P13-0201 is a proposal to develop 30 residential units in one and two-story buildings and redevelop the existing officer's club as a community center and rehabilitation center on a 2.14-acre site located easterly of Picker Street, northerly of Philbin Avenue, westerly of Wohlstetter Street, and southerly of Cypress Avenue. Case No. P13-0198 is a proposal to change the General Plan designation of the 2.14-acre site from Medium Density Residential to High Density Residential. Case No. P13-0199 is a proposal to change the zoning of the site from R-1-7,000 (Single Family Residential) to R-3-2500 (Multiple Family Residential), or R-3-2500-AP-D (Multiple Family Residential, Airport Protection Overlay Zone D). (Zone D of Riverside Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Moises Lopez of the City of Riverside Planning Department, at (951) 826-5264.

151-112-015
RICARDO CONTRERAS
10514 TOWNLEY DR
WHITTIER, CA 90606-1256

151-121-017
IMAGOS
1686 BIG DALTON AVE
BALDWIN PARK, CA 91706-5901

151-111-040
KAN GROUP
15197 CANON LN
CHINO HILLS, CA 91709-5225

151-123-010
TERESA C TOMPKINS
4378 VIA PADOVA
CLAREMONT, CA 91711-1431

151-122-033
ANITA HO
PO BOX 520
ALHAMBRA, CA 91802-0520

151-123-012
TABATABAI MOINIE
9323 SAFFRON CT
RIVERSIDE, CA 92503-3852

151-111-038
FRANCISCO L LOPEZ
8372 JANET AVE
RIVERSIDE, CA 92503-1863

151-111-039
HECTOR URENA
8358 JANET AVE
RIVERSIDE, CA 92503-1863

151-112-010
AGUSTIN R & MARIA CONTRERAS
5894 WOHLSTETTER ST
RIVERSIDE, CA 92503-1875

151-112-011
ALBERTO Z & VICTORIA PULIDO
5884 WOHLSTETTER ST
RIVERSIDE, CA 92503-1875

151-112-016
LEOBARDO & GARCIA FELIX
5895 PICKER ST
RIVERSIDE, CA 92503-1898

151-121-015
CLARA & MOISES PUNSALAN
8349 TREY AVE
RIVERSIDE, CA 92503-1848

151-122-001
RAMON ANGEL
5830 PICKER ST
RIVERSIDE, CA 92503-1874

151-122-002
LEONOR TIRADO
8346 TREY AVE
RIVERSIDE, CA 92503-1849

151-122-005
MARTIN GONZALEZ
8404 TREY AVE
RIVERSIDE, CA 92503-1876

151-122-006
MIGUEL & ANA NIEBLAS
8424 TREY AVE
RIVERSIDE, CA 92503-1876

151-122-034
CIRILO & MARIA PALOMARE *B*
8371 PHILBIN AVE
RIVERSIDE, CA 92503-1826

151-122-035
KENNETH W COLLIER
5720 PICKER ST
RIVERSIDE, CA 92503-1837

151-122-037
JUAN & ALICIA TRUJILLO
5716 PICKER ST
RIVERSIDE, CA 92503-1837

151-123-008
HOUSING AUTHORITY OF CITY & I
5797 PICKER ST
RIVERSIDE, CA 92503-1872

151-123-011
ELIAS & OFELIA RAMOS
5843 PICKER ST
RIVERSIDE, CA 92503-1840

151-122-036
ANTONIO & MAGDALENA OLGUIN
7199 IDYLLWILD LN
RIVERSIDE, CA 92503-7709

151-121-013
MARK & ESPERANZA FERNANDEZ
17130 VAN BUREN BLVD 318
RIVERSIDE, CA 92504-5905

151-122-003
HAROLD R & YUTAKA LEDBETTER
6117 CHADBOURNE AVE
RIVERSIDE, CA 92505-1142

151-123-001
CITY OF RIVERSIDE
3900 MAIN ST
RIVERSIDE, CA 92522-0001

151-123-005
HOUSING AUTHORITY OF CITY OF
3900 MAIN ST 2
RIVERSIDE, CA 92522-0001

151-123-014
HOUSING AUTHORITY OF CITY OF
3900 MAIN ST 2N
RIVERSIDE, CA 92522-0001

151-121-014
ALFREDO & CELENA PULIDO
1440 AGAIRE ST
MORENO VALLEY, CA 92553

151-121-016
POLARIS ENDEAVORS INC
23905 CLINTON KEITH RD 114
WILDOMAR, CA 92595-7899

151-122-031
BORIS MOLINA
9391 GREENWICH DR
HUNTINGTON BE, CA 92646-3525



151-122-004
EDUARDO GUTIERREZ
1226 S RAITT ST
SANTA ANA, CA 92704-3233

151-123-009
RAMON & MARIBEL CALLES
501 E RUSSELL AVE
SANTA ANA, CA 92707-1340

151-112-012
BOB B & SEVERINA HOUSTEK
801 N FORD AVE
FULLERTON, CA 92832-1223

151-111-041
LEIF W & M OHRBORG
PO BOX 372
NORCO, CA 92860-0372

151-112-013
LEIF W & MONIKA OHRBORG
1292 RIVER DR
NORCO, CA 92860-1329

151-122-032
HUNT
2354 DEL MAR RD
NORCO, CA 92860-2215

151-111-046
ELADIO CRUZ
18681 E PEARL AVE
ORANGE, CA 92869-3524

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Feed Paper

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expose Pop-Up Edge™

David Hetherington
Wakeland Hsg. & Dev. Corp.
1230 Columbia Street, #950
San Diego, CA 92101

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San Diego, CA 92101

Shonda Herold
City of Riverside
3900 Main Street
Riverside, CA 92522

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Riverside, CA 92522

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3900 Main Street
Riverside, CA 92522

Shonda Herold
City of Riverside
3900 Main Street
Riverside, CA 92522

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC Identification No.

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ZAPI058 RI13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 3/27/13

Property Owner HOUSING AUTHORITY of the City of Riverside Phone Number 951 826 5510

Mailing Address 3900 MAIN ST, 3RD FLOOR
RIVERSIDE, CA 92522

ATTN: SHONDA HEROLD

Agent (if any) David Hetherington-Wakeland Housing Phone Number 619 677-2370

Mailing Address 1230 Columbia St. #950
San Diego, CA 92101

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways.

Street Address 5731, 5741, 5761, 5797 Picker St.
Riverside, CA 92503

Assessor's Parcel No. 151-123-005, -006, -007, -008, -013 Parcel Size Approx. 2.14 ac

Subdivision Name Anlanza Zoning Classification R1-7000

Lot Number _____

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Most of the site is undeveloped land. There is a 2 story, WWII Officer's Club, approximately 14,000 S/F, which is not operational.

Proposed Land Use (describe) The proposed project will rehabilitate the WWII Officer's Club to serve as a community center and rehabilitation center for disabled veterans and their families. 30 units of 1 and 2 story housing for disabled veterans and their families will be built.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 5 parcels, 30 units

For Other Land Uses Hours of Use _____

(See Appendix C) Number of People on Site _____ Maximum Number _____

Method of Calculation _____

Height Data

Height above Ground or Tallest Object (including antennas and trees) Approximately 30 ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site Approximately 767 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No

If yes, describe _____

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received	<u>3/23/13</u>	Type of Project	
Agency Name	<u>CITY OF RIVERSIDE PLANNING DEPARTMENT</u>	<input checked="" type="checkbox"/> General Plan Amendment	
Staff Contact	<u>Moises Lopez</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance	
Phone Number	<u>951 826-5933</u>	<input type="checkbox"/> Subdivision Approval	
Agency's Project No.	<u>GPA P13-0198</u> <u>Rezone P13-0199</u>	<input type="checkbox"/> Use Permit	
		<input type="checkbox"/> Public Facility	
		<input checked="" type="checkbox"/> Other	<u>Site plan P13-0201</u>

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received	By
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons	

Airport(s) Nearby								
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> HL
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					

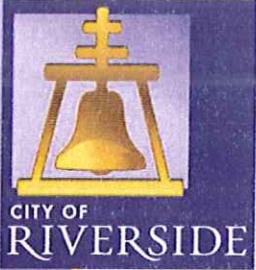
Special Conditions	Describe:

Supplemental Criteria Review	Noise	
	Safety	
	Airspace Protection	
	Overflight	

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	



Development
Department

March 21, 2013

Riverside County Airport Land Use Commission
Attn: John Guerin, Principal Planner

Re: Authorization to Process Application on behalf of Property Owner

Dear Mr. Guerin:

The Housing Authority of the City of Riverside owns the following property at APN: 151-123-005; -006; -007; -008; -013.

As Property Owner we authorize Wakeland Housing Development Corporation to process an application for Major Land Use Action Review on our behalf.

Should you have any questions, please feel free to contact me at 951.826.5590 or via e-mail at sherold@riversideca.gov.

Thank you,

City of Riverside
Housing Division

A handwritten signature in black ink that reads "Shonda Herold".

Shonda Herold
Housing Coordinator

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.2

HEARING DATE: May 9, 2013

CASE NUMBER: ZAP1059RI13 – City of Riverside

APPROVING JURISDICTION: City of Riverside

JURISDICTION CASE NO.: P13-0235 (Rezoning), P13-0111 (Specific Plan Amendment)

MAJOR ISSUES: None.

RECOMMENDATION: Staff recommends a finding of CONSISTENCY for the Specific Plan Amendment and Rezoning, subject to the conditions included herein for the Specific Plan Amendment and that the new zoning incorporates the Airport Protection Overlay Zone suffix (-AP-E), which refers to the site's location within Compatibility Zone E of the Riverside Municipal Airport Influence Area.

PROJECT DESCRIPTION: City of Riverside Case No. P13-0235 is a proposal to add the Specific Plan Overlay to an approximately 6.65-acre area consisting of 11 parcels. Case No. P13-0111 is a proposal to amend the Riverside Auto Center Specific Plan to add the subject area to the Specific Plan. The addition to the Specific Plan would apply a new set of allowed uses, development standards, and other regulations and guidelines pursuant to the Specific Plan that are generally related to automobile sales and service oriented land uses.

PROJECT LOCATION: The site for addition to the specific plan and rezoning is located southerly of SR-91, westerly of Madison Street, northerly of Casa Blanca Street, and easterly of the extension of Depot Street north, in the City of Riverside, approximately 10,000 feet southeasterly of the easterly terminus of Runway 9-27 and approximately 13,140 feet southeasterly of the southerly terminus of Runway 16-32 at Riverside Municipal Airport.

LAND USE PLAN: 2005 Riverside Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Riverside Municipal Airport
- b. Land Use Policy: Airport Compatibility Zone E
- c. Noise Levels: Less than 55 CNEL from aircraft

ANALYSIS:

Non-residential Intensity: The site is located in Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area. Land use intensity is not limited within Zone E.

Prohibited and Discouraged Uses: The project does not propose or would not specifically allow any uses prohibited or discouraged in Zone E (hazards to flight) within the area. Current uses on the subject parcels generally consist of automotive service and sales.

Open Area: Zone E of the Riverside Municipal Airport Land Use Compatibility Plan does not have any requirements for provision of open space.

Noise: The site is not located within an area that is projected in the 2005 Riverside Municipal Airport Land Use Compatibility Plan to ultimately be subject to average aircraft noise levels greater than 55 CNEL; therefore, no aircraft noise mitigation measures will be required to reduce interior noise levels from aircraft operations.

PART 77: According to the Riverside County Land Information System, the elevation of the site is 852 feet above mean sea level (AMSL). Riverside Municipal Airport has two intersecting runways: 9-27 and 16-32. The site is located approximately a minimum of 10,000 feet from the easterly terminus of Runway 9-27 and approximately a minimum of 13,140 feet from the southerly terminus of Runway 16-32. However, in this case, Runway 16-32 is the more critical runway, since it lies at a much lower elevation (747.5 feet). At an approximate minimum distance of 13,140 feet from the runway, any building with an elevation at top of roof exceeding 878.9 feet AMSL would require Federal Aviation Administration (FAA) Obstruction Evaluation Service notice and review through the Form 7460-1 process.

The specific plan allows for a maximum building/structure height of 60 feet, for a maximum potential elevation of 912 feet AMSL. Therefore, the potential exists for future buildings to exceed the 878.9 foot threshold to require FAA obstruction evaluation review. Currently, these parcels are occupied with existing uses and buildings which may already exceed this threshold.

Airport Overlay: In conjunction with adoption of its new General Plan, the City of Riverside amended its zoning ordinance to provide for Airport Protection Overlay Zones within the Airport Influence Areas of airports for which Compatibility Zones based on the "A through E" system utilized in the 2004 Riverside County Airport Land Use Compatibility Plan have been established. While the land uses permitted by the specific plan are consistent with a location in Compatibility Zone E, application of the Airport Protection Overlay Zone suffix is recommended in order to assure that the ultimate development will comply with Compatibility Zone E intensity limitations. This would further the objectives of promoting the continued operations of Riverside Municipal Airport and maintaining public awareness of its proximity. The City Zoning Ordinance provisions refer readers to the Compatibility Plan. While this overlay is preferred to be applied to the entire Specific Plan area as part of the current proposed rezoning application and is recommended, at a minimum,

the airport overlay should be applied to the area proposed to be added to the Specific Plan, since this would not affect the limits or boundaries of the current application being processed.

CONDITIONS:

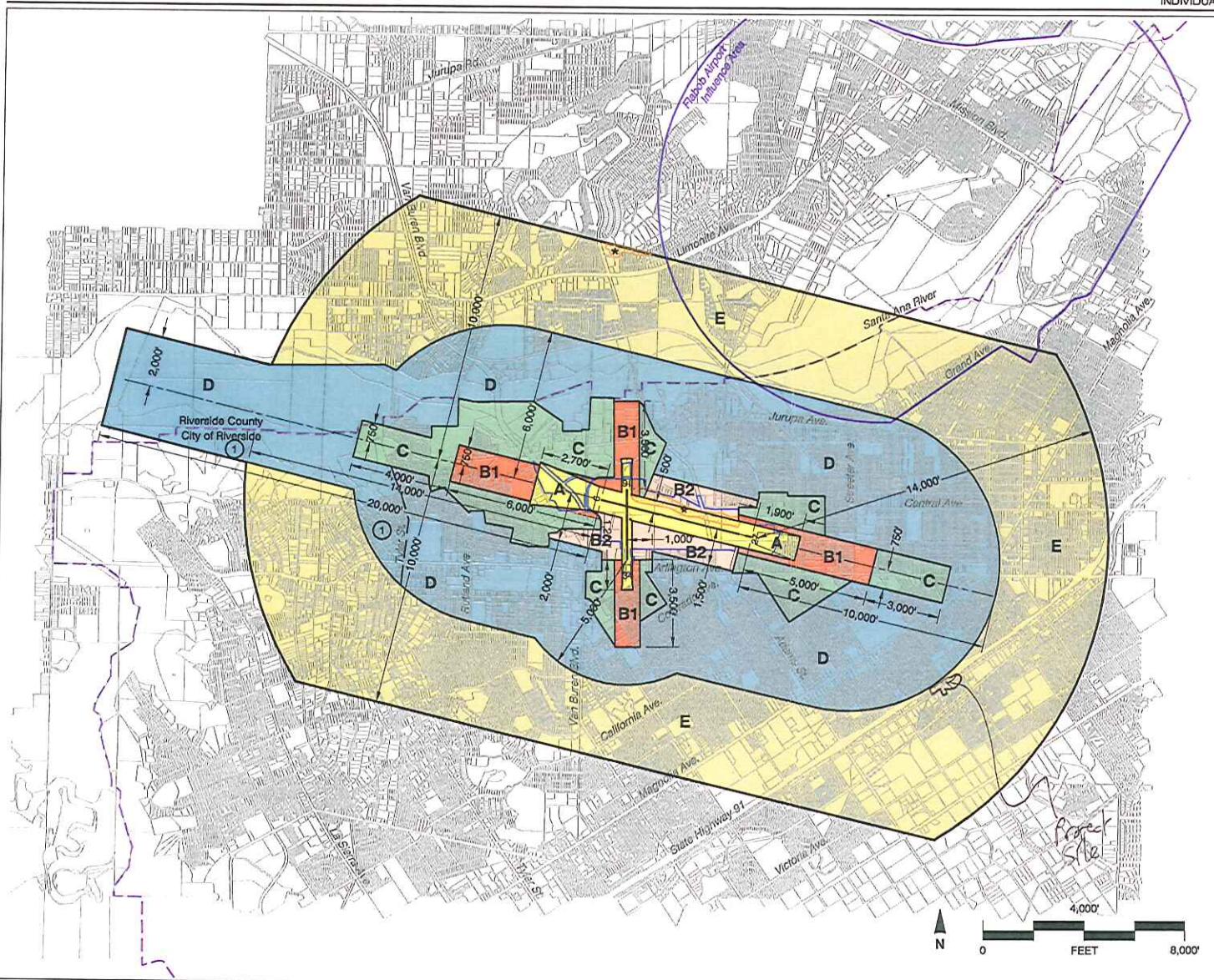
1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light, visual approach slope indicator, or such red light obstruction marking as may be permitted by the Federal Aviation Administration.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all current property owners within the amendment area.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Prior to issuance of building permits for any new structure within the specific plan amendment area with an elevation at top of roof exceeding 878.9 feet above mean sea level, the permittee shall submit evidence to the City of Riverside Community Development Department that the Federal Aviation Administration (FAA) has issued a

determination of “Not a Hazard to Air Navigation” for such structure. Based on the approximate existing site elevations, this would only be potentially applicable to structures exceeding 26.9 feet in height.

Y:\AIRPORT CASE FILES\Riverside\ZAP1059RI13\ZAP1059RI13maysr.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits

Note

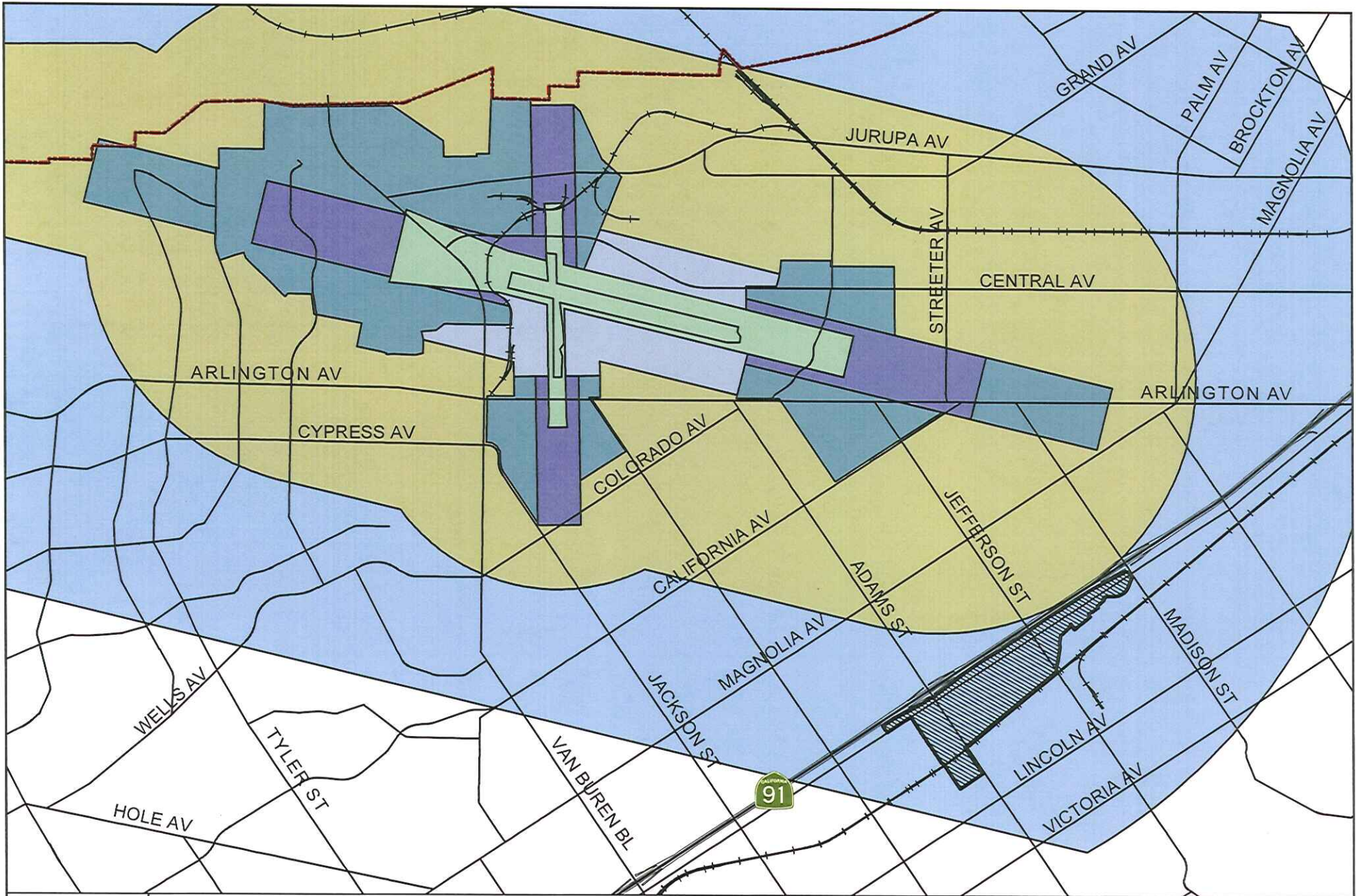
Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map RI-1

Compatibility Map
Riverside Municipal Airport

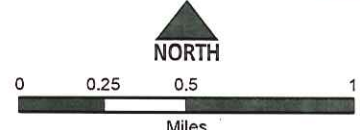


City of Arts & Innovation

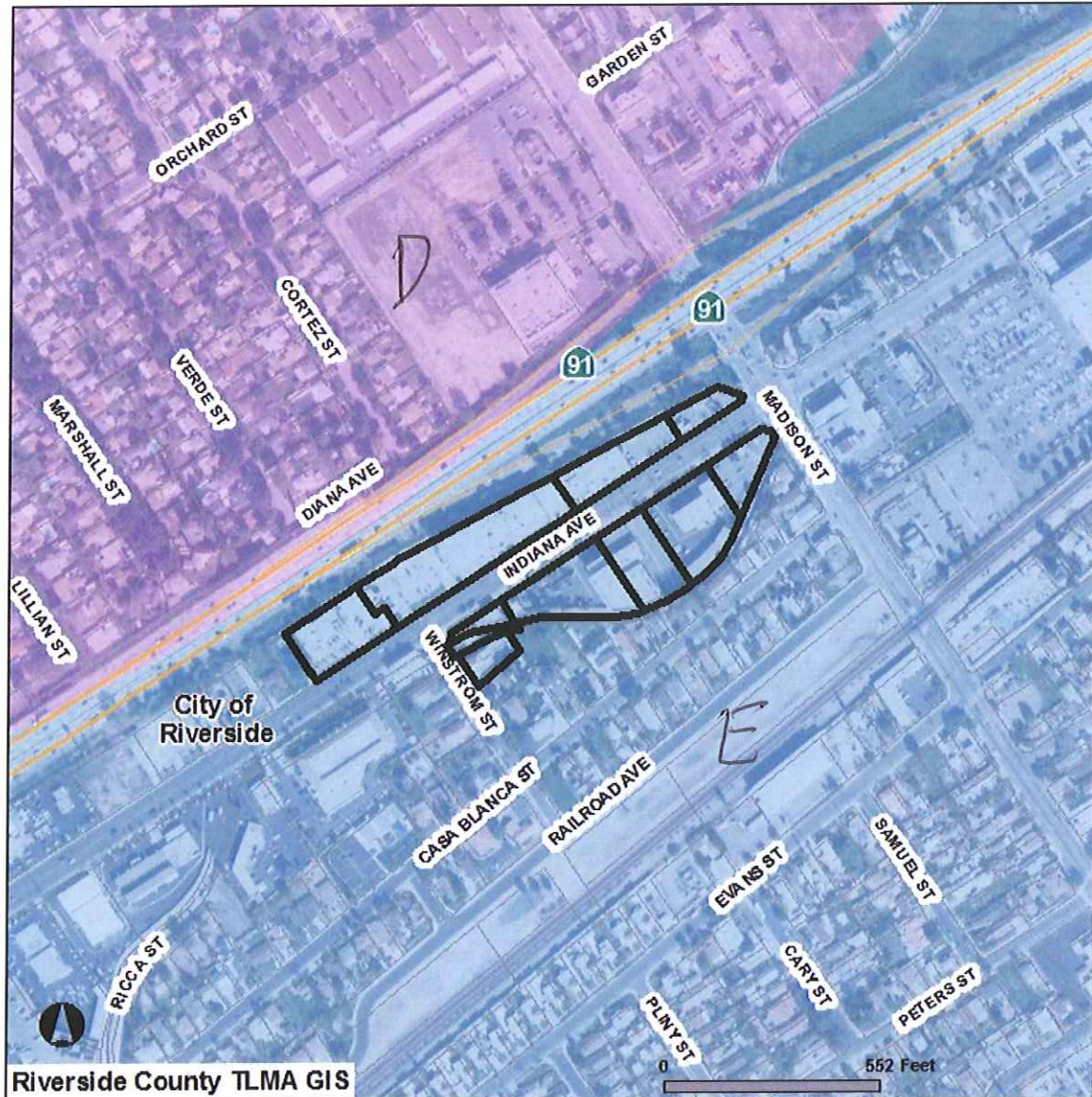
Riverside Municipal Airport Compatability Zones

- A
- B2
- D
- B1
- C
- E

- Riverside Auto Center Specific Plan Proposed Boundary
- City Limits



RIVERSIDE COUNTY GIS



Selected parcel(s):

230-110-015 230-110-016 230-110-032 230-110-034 230-241-010 230-241-014 230-241-015
 230-251-014 230-251-015 230-251-016 230-251-017

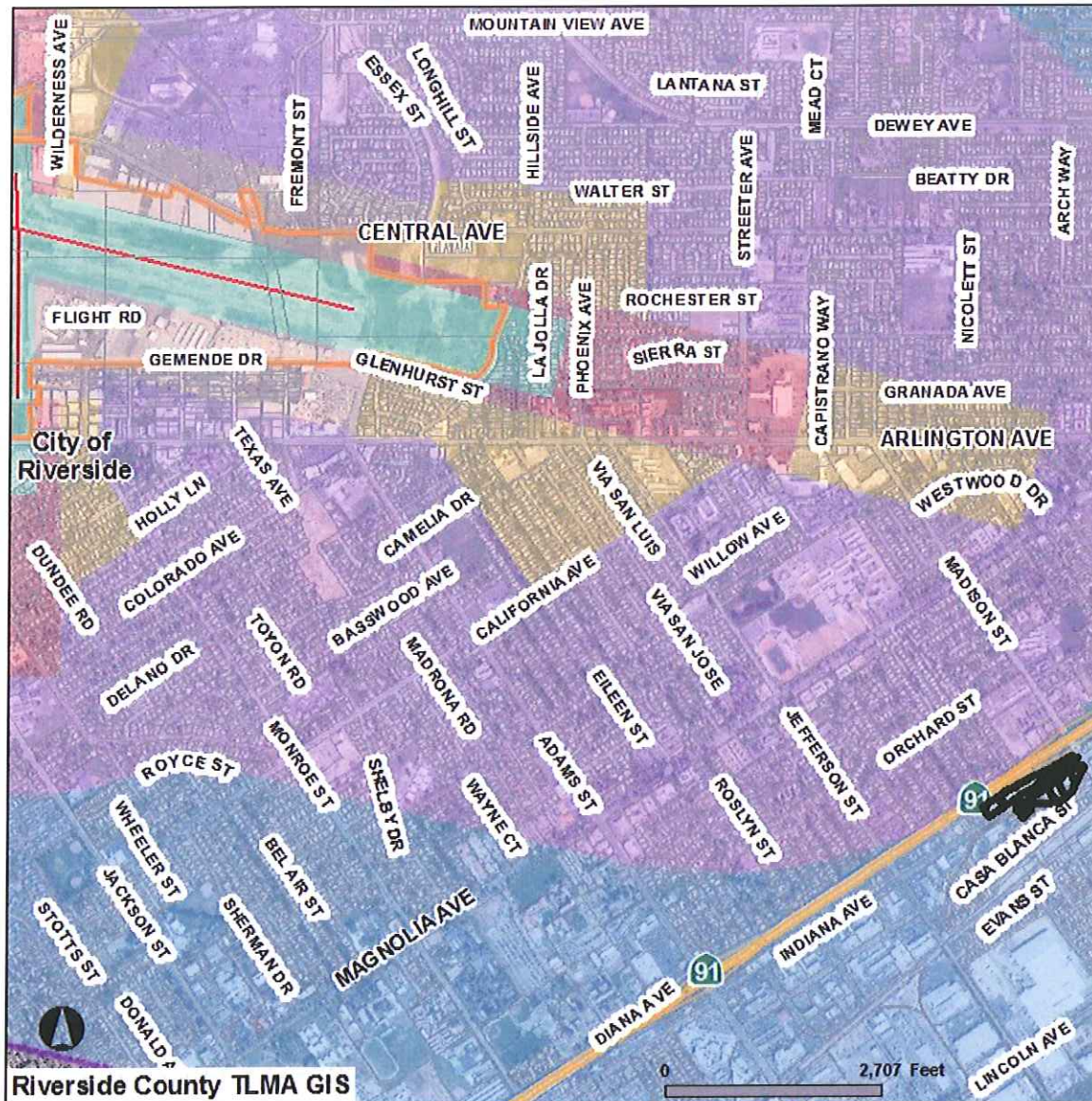
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):

230-110-015 230-110-016 230-110-032 230-110-034 230-241-010 230-241-014 230-241-015
 230-251-014 230-251-015 230-251-016 230-251-017

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Version 130225

RIVERSIDE COUNTY GIS



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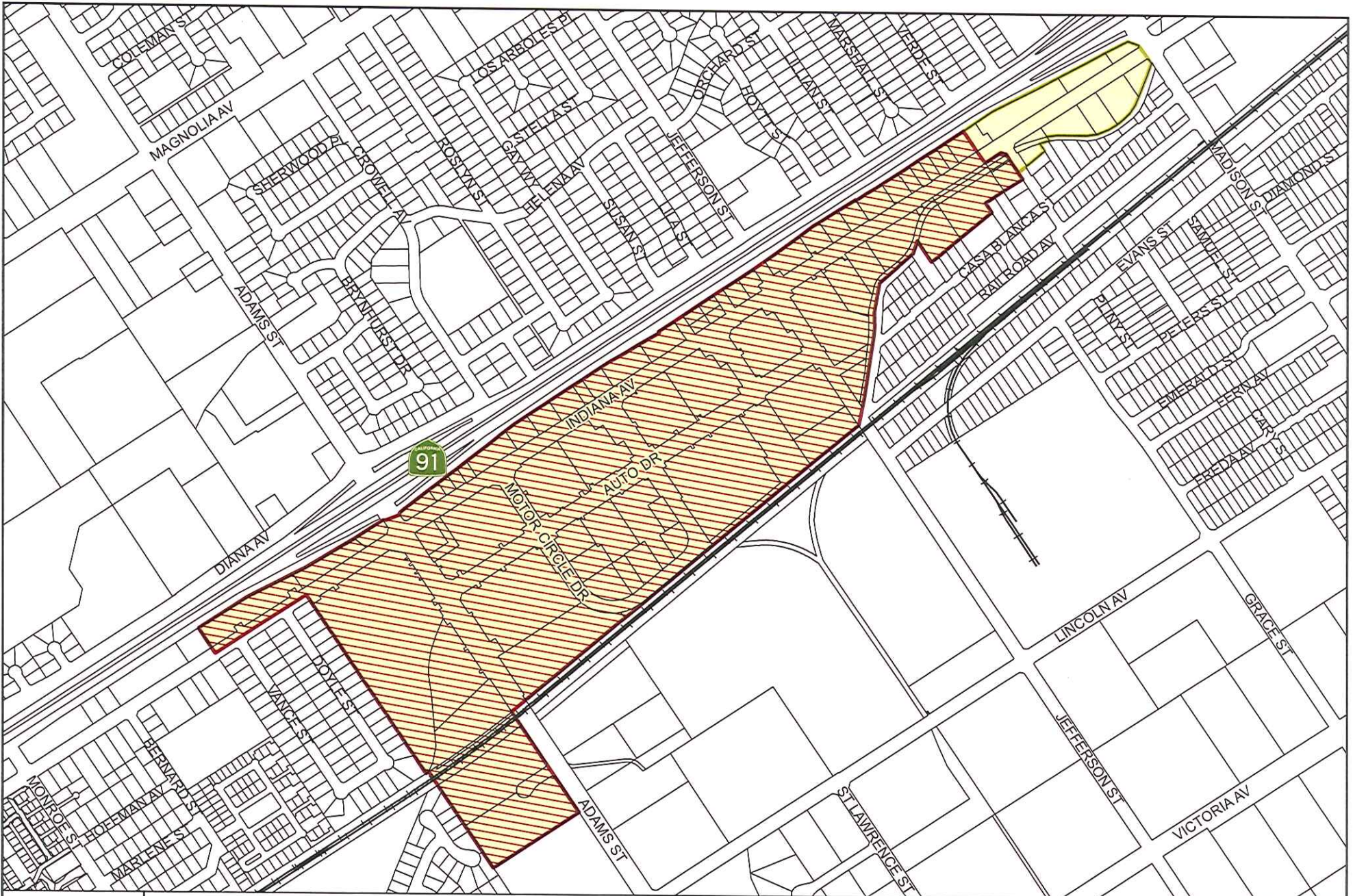
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230-251-014 230-251-015 230-251-016 230-251-017

IMPORTANT

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Version 130225

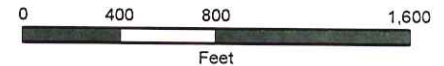


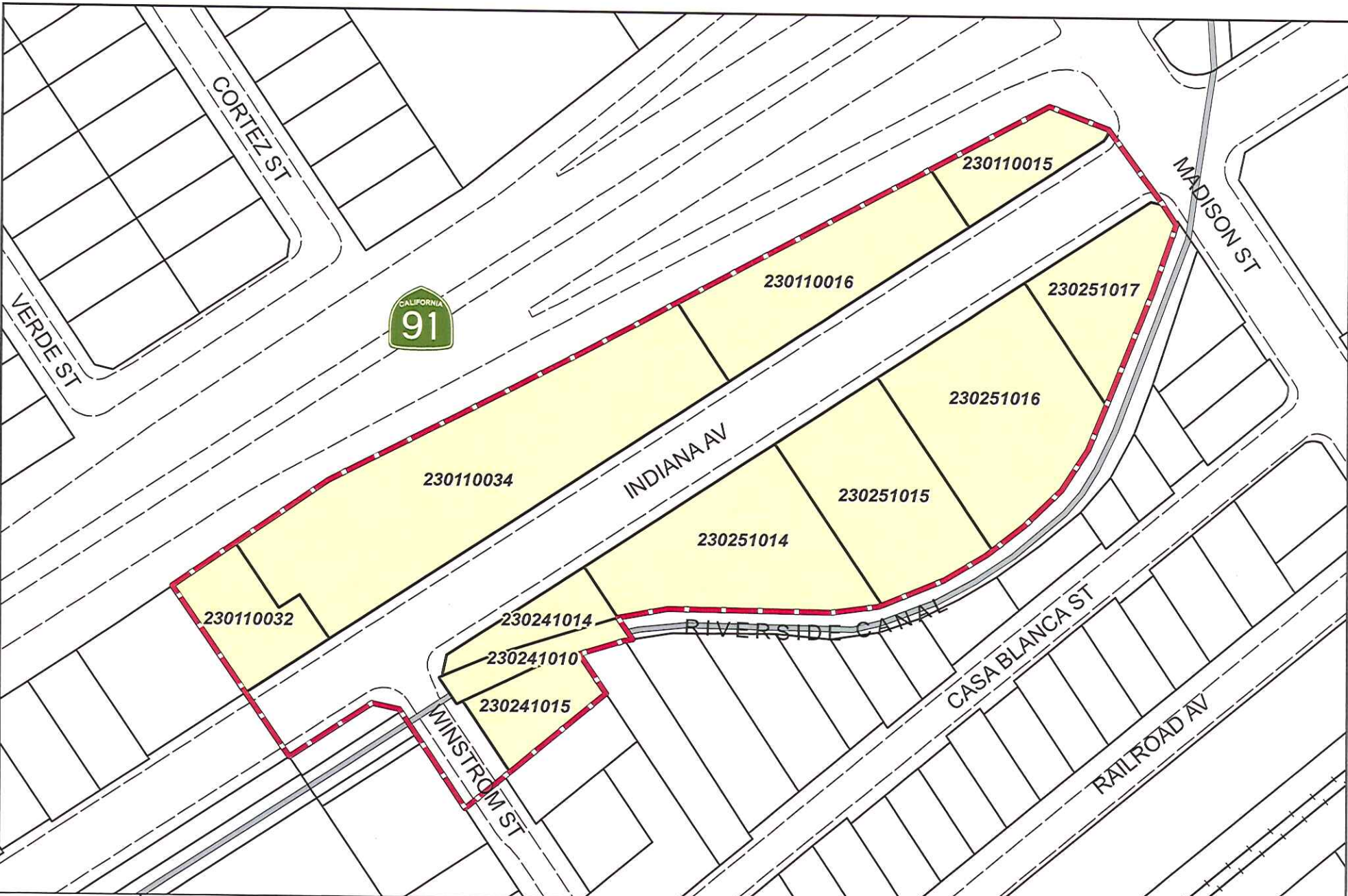
City of Arts & Innovation



Riverside Auto Center Specific Plan Existing Boundary

Riverside Auto Center Specific Plan Proposed Boundary





City of Arts & Innovation



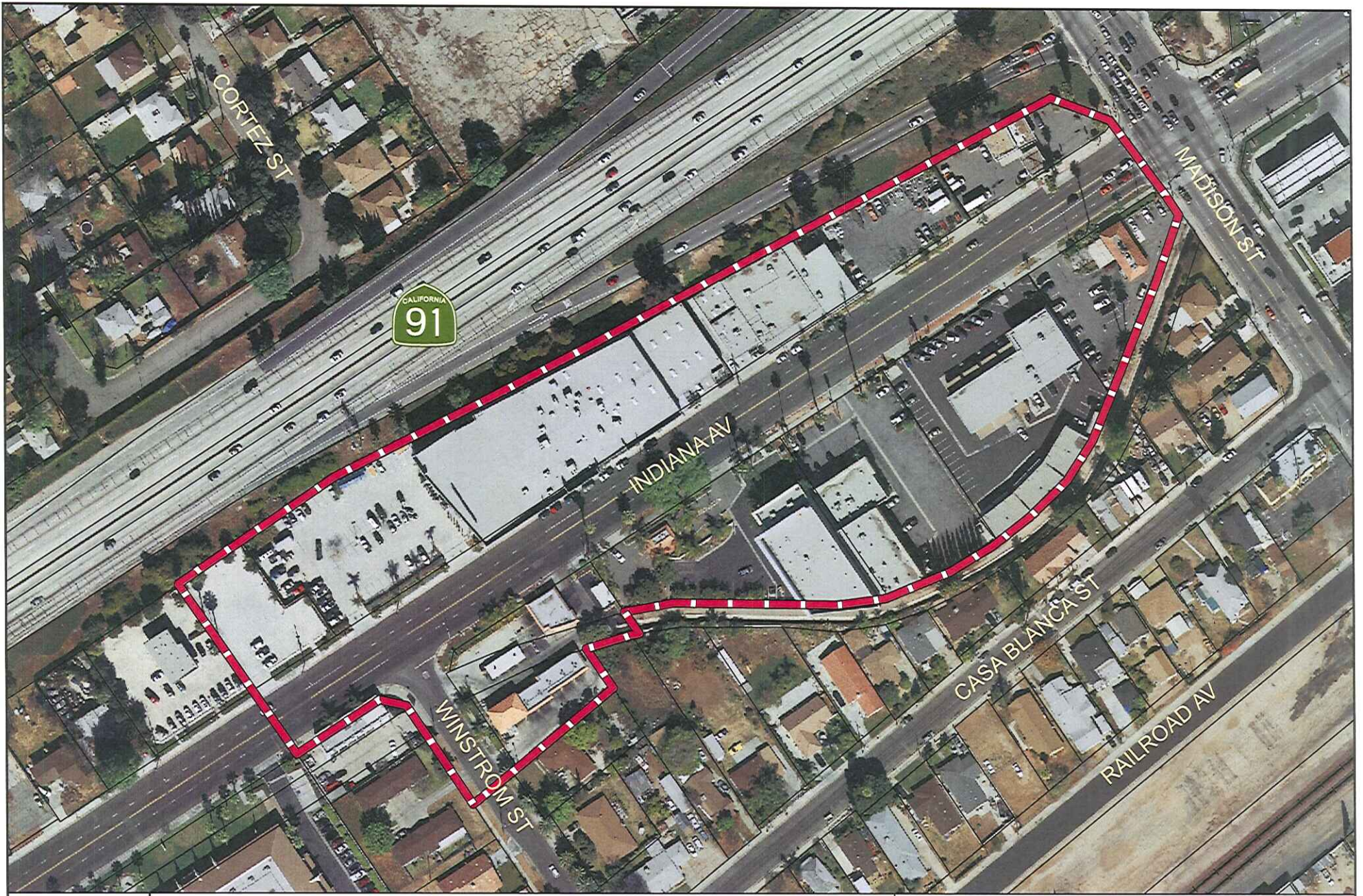
Proposed Addition to Riverside Auto Center Specific Plan

Affected Parcels with Assessor Parcel Numbers



NORTH

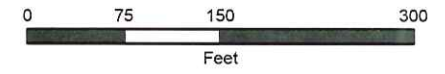


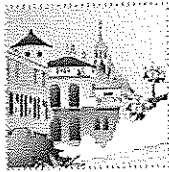


2012 Aerial Photo



Proposed Addition to Riverside Auto Center Specific Plan





LAND USE AND URBAN DESIGN ELEMENT

TABLE LU-3
LAND USE DESIGNATIONS

Land Use	Maximum du/acre ^(a) or FAR/acre ^(b)	Typical du/acre ^(a) or FAR/acre ^(b)	Maximum Population Density ^(c)	Primary Intent of Land Use Designations
Residential Land Uses				
Agricultural/Rural Residential (A/RR)	0.20 du/acre	0.20 du/acre	0.6 persons/acre	Implement Proposition R and Measure C; allow for residential use on large agricultural and citrus parcels
Hillside Residential (HR)	0.50 du/acre; 0.63 du/acre w/PRD	0.50 du/acre	1.5 persons/acre 1.89 persons/acre w/PRD	Implement Proposition R and Measure C; allow for sensitive development of residential homes where slopes exceed 15%
Semi-Rural Residential (SRR)	2.1 du/acre 3.3 du/acre w/PRD	1.5 du/acre	6.3 persons/acre 9.9 persons/acre w/PRD	Single family with emphasis on animal keeping
Very Low Density Residential (VLDR)	2.0 du/acre 3.2 du/acre w/PRD	1.5 du/acre	6 persons/acre 9.6 persons/acre w/PRD	Single family, large lot residential
Low Density Residential (LDR)	4.1 du/acre 6 du/acre w/PRD	3 du/acre	12.3 persons/acre 18 persons/acre w/PRD	Single family, large lot residential uses
Medium Density Residential (MDR)	6.2 du/acre; 8 du/acre w/PRD	5.5 du/acre	18.6 persons/acre 24 persons/acre w/PRD	Single-family residential uses
Medium-High Density Residential (MHDR)	14.5 du/acre	12 du/acre	43.5 persons/acre	Single family, small lot residential uses
High Density Residential (HDR)	29 du/acre	20 du/acre	87 persons/acre	Multi-family, condominiums and apartments
Very High Density Residential (VHDR)	40 du/acre	30 du/acre	120 persons/acre	Multi-family, condominiums and apartments

LAND USE AND
URBAN DESIGN ELEMENT

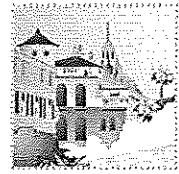
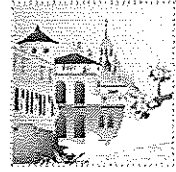


TABLE LU-3
LAND USE DESIGNATIONS

Land Use	Maximum du/acre ^(a) or FAR/acre ^(b)	Typical du/acre ^(a) or FAR/acre ^(b)	Maximum Population Density ^(c)	Primary Intent of Land Use Designations
Commercial Land Uses				
Commercial (C)	0.50 FAR	0.30 FAR	N/A	Retail shops, services and other similar commercial development
Commercial Regional Center (CRC)	0.50 FAR	0.25 FAR	N/A	Large, regionally serving retail, service and office uses
Office (O)	1.0 FAR	.65 FAR	N/A	Office Uses
Business/Office Park (B/OP)	1.50 FAR	1.15 FAR	N/A	Research/development and related flexible space; laboratories, offices; support commercial and light industrial uses
Industrial (I)	0.60 FAR	0.40 FAR	N/A	Manufacturing and wholesaling; support commercial uses; limited large warehouse and distribution facilities only at specific locations



Very Low Density Residential (VLDR)

The Very Low Density Residential provides a maximum residential density comparable to Semi-Rural Residential (2.0 dwelling units per acre) but is intended for areas where animal keeping is not foreseen.

Low Density Residential (LDR)

The Low Density Residential designation provides for the development of large lot single family homes at a maximum density of 4.1 dwelling units per acre and 6.0 dwelling units per acre, with a Planned Residential Development (PRD) permit. Lands in this designation are developed or to be developed with the full range of urban services available in the City.

Medium Density Residential (MDR)

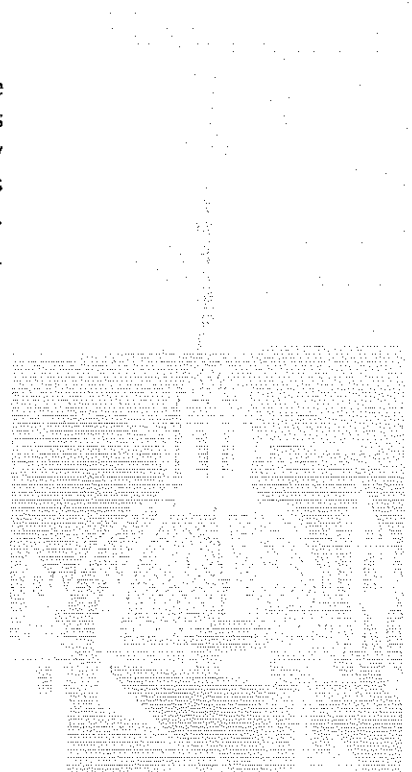
The Medium Density Residential designation provides for the development of single-family homes, town houses and row houses. The designation allows a maximum of 6.2 dwelling units per acre, or up to 8.0 dwelling units per acre when associated with a Planned Residential Development (PRD) permit.

Medium-High Density Residential (MHDR)

The Medium-High Density Residential designation provides for the development of small-lot single family homes, town houses, row houses and permanent-style mobile home parks. Multi-family units, particularly condominiums and small apartments, are also allowable. This designation allows a maximum density of 14.5 dwelling units per acre.

Objective LU-89: Accommodate flexible design to provide for superior development in single family residential developments based upon good planning principles and to promote the general welfare of the neighborhood and maximum benefit to the environment.

Policy LU-89.1: Permit the density transfer between land use designations within the same single family residential development as necessary to provide for superior development. As an example, but not necessarily limited to, such transfers are desirable where density is transferred from steep, hillside land to flatter, less visually sensitive properties and where





LAND USE AND URBAN DESIGN ELEMENT

significantly less grading will result. In the case of such a density transfer, the overall maximum density shall not exceed that otherwise permitted by the General Plan designation(s) (see Titles 18 and 19 for further discussion on this topic).

MULTI-FAMILY RESIDENTIAL LAND USE DESIGNATIONS

High Density Residential (HDR)

The High Density Residential designation provides for the development of row houses, condominiums and apartments. Senior housing and multifamily clusters are also allowable. The designation allows a maximum of 29.0 dwelling units per acre.

Very High Density Residential (VHDR)

The Very High Density Residential designation provides for the development of row houses, condominiums and apartments. Student housing, senior housing and multifamily clusters are also allowable. The designation allows a maximum of 40.0 dwelling units per acre.

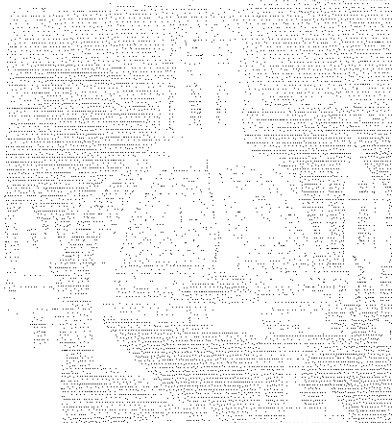
COMMERCIAL AND INDUSTRIAL LAND USE DESIGNATIONS

Commercial (C)

The Commercial designation provides for retail, sales, service and office uses that serve multiple neighborhoods within the City. The majority of commercial land in Riverside is designated Commercial. The maximum development intensity is a floor-area ratio of 0.50.

Commercial Regional Center (CRC)

The Commercial Regional Center designation provides for large, regionally-serving retail, service and office uses. The Riverside Auto Center, Riverside Plaza, Town Centre and the Galleria at Tyler area are designated Commercial Regional Center. The maximum development intensity is a floor-area ratio of 0.50. The maximum allowable development intensity of Commercial Regional Center is equal to that of Commercial; lands in the Commercial Regional Center area are expressly reserved for commercial enterprises that will draw customers from a much wider area and as such, typically have different access, parking, loading and related needs than a typically smaller Commercial development.





LAND USE AND
URBAN DESIGN ELEMENT

TABLE LU-5 ZONING/GENERAL PLAN CONSISTENCY MATRIX			
General Plan Land Use Designation	GP Symbol	Zone Symbol	Zoning Designation
Single-Family Residential Land Use Designations			
Agricultural/Rural Residential (Max. 0.20 du/acre)	A/RR	RA-5	Residential Agriculture
Hillside Residential (Max. 0.63 du/acre)	HR	RC	Residential Conservation
Semi-Rural Residential (Max. 3.3 du/acre)	SRR	RR	Rural Residential
Very Low Density Residential (Max. 3.2 du/acre)	VLDR	RE R-1-1/2 acre	Residential Estate R-1-1/2 acre – Single Family
Low Density Residential (Max. 6.0 du/acre)	LDR	RE R-1-1/2 acre R-1-13000 R-1-10500 CS	Residential Estate R-1-1/2 acre – Single Family R-1-13000 – Single Family R-1-10500 – Single Family Commercial Storage Overlay
Medium Density Residential (Max. 8.0 du/acre)	MDR	RE R-1-1/2 acre R-1-13000 R-1-10500 R-1-8500 R-1-7000 CS MH	Residential Estate R-1-1/2 acre – Single Family R-1-13000 – Single Family R-1-10500 – Single Family R-1-8500 – Single Family R-1-7000 – Single Family Commercial Storage Overlay Mobile Home Park
Multi-Family Residential Land Use Designations			
Medium-High Density (Max. 14.5 du/acre)	MHDR	R-3-4000 R-3-3000 CS	R-3-4000 – Multi-family R-3-3000 – Multi-family Commercial Storage Overlay

LAND USE AND
URBAN DESIGN ELEMENT

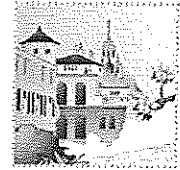


TABLE LU-5 ZONING/GENERAL PLAN CONSISTENCY MATRIX			
General Plan Land Use Designation	GP Symbol	Zone Symbol	Zoning Designation
High Density Residential (Max. 29 du/acre)	HDR	R-3-4000 R-3-3000 R-3-2500 R-3-2000 R-3-1500 CS	R-3-4000 - Multi-family R-3-3000 - Multi-family R-3-2500 - Multi-family R-3-2000 - Multi-family R-3-1500 - Multi-family Commercial Storage Overlay
Very High Density Residential (Max.40 du/acre)	VHDR	R-4	R-4 - Multi-family
Commercial and Industrial Land Use Designations			
Commercial (Max. 0.50 FAR/acre)	C	CR CG CS NC	Commercial Retail Commercial General Commercial Storage Overlay Neighborhood Commercial Overlay
Commercial Regional Center (Max. 0.50 FAR/acre)	CRC	CRC	Commercial Regional Center
Office (Max. 1.0 FAR/acre)	O	O CS	Office Commercial Storage Overlay
Business/Office Park (Max. 1.50 FAR/acre)	B/OP	BMP AI CS	Business and Manufacturing Park Air Industrial Commercial Storage Overlay
Industrial (Max. 0.60 FAR/acre)	I	I CS AIR	General Industrial Commercial Storage Overlay Airport Zone
Mixed Use Designations			
Downtown Specific Plan (Various du and FAR/acre)	DSP	DSP	Downtown Specific Plan
Orangecrest Specific Plan (Various du and FAR/acre)	OSP	OSP	Orangecrest Specific Plan



LAND USE AND
URBAN DESIGN ELEMENT

TABLE LU-5 ZONING/GENERAL PLAN CONSISTENCY MATRIX			
General Plan Land Use Designation	GP Symbol	Zone Symbol	Zoning Designation
Mixed Use – Neighborhood (Max. 10 du/acre, 1.0 FAR/acre)	MU-N	MU-N	Mixed Use - Neighborhood
Mixed Use – Village (Max. 30/40* du/acre, 2.5 FAR/acre)	MU-V	MU-V	Mixed Use - Village
Mixed Use – Urban (Max. 40/60* du/acre, 4.0 FAR/acre)	MU-U	MU-U	Mixed Use - Urban
Community Amenities and Support Designations			
Agriculture (Max. 0.20 du/acre)	A	RA-5	Residential Agriculture
Public Parks	P	PF	Public Facilities
Private Recreation	PR	All Zones per the Requirements of Title 19	Public Facilities
Open Space/Natural Resources	OS	PF	Public Facilities
Public Facilities and Institutional Uses (Max. 1.0 FAR/acre)	PF	PF AIR	Public Facilities Airport
All General Plan Land Use Designations		RWY AP X S SP WC	Railway Airport Protection Overlay Building Setback Overlay Story Overlay Specific Plan Overlay Water Course Overlay
*See Table LU-3 (Land Use Designations)			

Chapter 19.110

COMMERCIAL AND OFFICE ZONES (O, CR, CG AND CRC)

- 19.110.010 Purpose.
- 19.110.020 Permitted Land Uses.
- 19.110.030 Commercial and Office Development Standards.
- 19.110.040 Additional Standards, Regulations and Requirements for Commercial & Office Development.
- 19.110.050 Sign Review Required.
- 19.110.060 Other Regulations Applicable to all Commercial and Office Zones.

19.110.010 Purpose.

Four commercial and office zones are established to implement the four commercial and office land use designations in the General Plan. The purpose of each commercial and office zone is as follows:

A. Office Zone (O)

The Office Zone (O) is intended for the location of offices for administrative, business and professional activities, that involve a relatively low volume of direct customer contact. The Zone is also established to allow limited commercial uses that support the office uses and their employees.

B. Commercial Retail Zone (CR)

The Commercial Retail Zone (CR) is intended for a broad range of indoor oriented retail sales and service, and office uses as either stand-alone businesses or as part of commercial centers or office developments.

C. Commercial General Zone (CG)

The Commercial General Zone (CG) is intended to allow for more intense service commercial retail, office, and repair uses. The CG Zone allows for some outdoor retail uses.

D. Commercial Regional Center Zone (CRC)

The Commercial Regional Center Zone (CRC) is intended for intense, regional-serving commercial uses. The areas are located adjacent or in proximity to freeways and arterial roadways that accommodate regional traffic. (Ord. 6966 §1, 2007)

19.110.020 Permitted Land Uses.

- A. Table 19.150.020 A (Permitted Uses Table), Table 19.150.020 B (Incidental Uses Table and Table 19.150.020 C (Temporary Uses Table) in Chapter 19.150 (Base Zones Permitted Land Uses) identify permitted uses, permitted accessory uses, permitted temporary uses, and uses permitted subject to the approval of a minor conditional use permit (Chapter 19.730 – Minor Conditional Use Permit) or conditional use permit (Chapter 19.760 – Conditional Use Permit), or uses requiring some other permit. Table 19.150.020 A also identifies those uses that are specifically prohibited. Uses not listed in the Tables are prohibited unless, the Zoning Administrator, pursuant to Chapter 19.060 (Interpretation of Code), determines that

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: May 9, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1059RI13 – City of Riverside – City Case Nos. P13-0235 (Rezoning), P13-0111 (Specific Plan Amendment). P13-0235 is a proposal to add the Specific Plan Overlay (and, possibly, Airport Protection Overlay Zone AP-E) to an approximate 6.65-acre area consisting of 11 parcels located southerly of SR-91, westerly of Madison Street, northerly of Casa Blanca Street, and easterly of the extension of Depot Street north. Case No. P13-0111 is a proposal to amend the Riverside Auto Center Specific Plan to add the subject area to the Specific Plan. (Zone E of Riverside Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Moises Lopez of the City of Riverside Planning Department, at (951) 826-5264.

HALO HOMES
APN: 230061013
3003 EVERWOOD DR
RIVERSIDE CA 92503

OCCUPANT
APN: 230061013
3471 HOYT ST
RIVERSIDE CA 92504

MANUEL & MARTHA MERAZ
APN: 230062019
3470 HOYT ST
RIVERSIDE CA 92504

WILLIAM R AUSTIN
APN: 230062020
2023 CHICAGO AVE B81
RIVERSIDE CA 92507

OCCUPANT
APN: 230062020
3485 JEFFERSON ST
RIVERSIDE CA 92504

DAISY DEOCA
APN: 230071001
3435 LILLIAN ST
RIVERSIDE CA 92504

JAMES L SMITH
APN: 230071002
3459 LILLIAN ST
RIVERSIDE CA 92504

JAIME & ROSEMARY ADAME
APN: 230071028
3476 MARSHALL ST
RIVERSIDE CA 92504

ROBERT G GARCIA
APN: 230071029
3468 MARSHALL ST
RIVERSIDE CA 92504

MARIA G ARIZAGA
APN: 230071030
3458 MARSHALL ST
RIVERSIDE CA 92504

ANNIE M ROUILLE
APN: 230071031
3469 MARSHALL ST
RIVERSIDE CA 92504

MISSION PROPERTY PARTNERS L
APN: 230071032
1661 RAILROAD ST
CORONA CA 92880

OCCUPANT
APN: 230071032
3477 MARSHALL ST
RIVERSIDE CA 92504

JOSE S TOLEDO
APN: 230072014
3454 LILLIAN ST
RIVERSIDE CA 92504

JUAN & MARIA VALDEZ
APN: 230081015
3469 CORTEZ ST
RIVERSIDE CA 92504

WILLIAM H & LYNETTE MILLER
APN: 230081016
3459 CORTEZ ST
RIVERSIDE CA 92504

DAVID C PHILLIPS
APN: 230082001
3468 CORTEZ ST
RIVERSIDE CA 92504

DIANN K JOHNSTON
APN: 230082030
6608 DARKWOOD DR
RIVERSIDE CA 92506

OCCUPANT
APN: 230082030
3469 VERDE ST
RIVERSIDE CA 92504

MARK WAGNER
APN: 230083001
3458 VERDE ST
RIVERSIDE CA 92504

JOSE & OLGA REYNOSO
APN: 230083002
3468 VERDE ST
RIVERSIDE CA 92504

GLENWOOD SHOPPING CENTER
APN: 230090002
415 29TH ST
NEWPORT BEACH CA 92663

OCCUPANT
APN: 230090002
3530 MADISON ST
RIVERSIDE CA 92504

PRP INV MADISON
APN: 230090004
415 29TH ST
NEWPORT BEACH CA 92663

OCCUPANT
APN: 230090004
3490 MADISON ST
RIVERSIDE CA 92504

RICHARD GERVAIS
APN: 230100007
5234 CARLINGFORD AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 230100007
7735 INDIANA AVE
RIVERSIDE CA 92504

GLENN BEAM
APN: 230100010
7705 INDIANA AVE
RIVERSIDE CA 92504

SAMUEL & ETHEL HARMATZ
APN: 230100011
4679 MAJORCA WAY
OCEANSIDE CA 92056

OCCUPANT
APN: 230100011
7867 INDIANA AVE
RIVERSIDE CA 92504

INDIANA AVENUE PROP
APN: 230100012
7095 INDIANA AVE 100
RIVERSIDE CA 92506

OCCUPANT
APN: 230100012
7807 INDIANA AVE
RIVERSIDE CA 92504

RICHARD R GERVAIS
APN: 230100016
5234 CARLINGFORD AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 230100016
7725 INDIANA AVE
RIVERSIDE CA 92504

KBK STORAGE
APN: 230100023
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OCCUPANT
APN: 230100023
Assessor data not found
Assessor data not found

MOSTAFA & MICHELLE TAOUSSI
APN: 230100025
1311 PARKSIDE DR
RIVERSIDE CA 92506

OCCUPANT
APN: 230100025
7745 INDIANA AVE
RIVERSIDE CA 92504

SUSAN M HALVERSON
APN: 230110015
430 MONTCREST PL
DANVILLE CA 94526

OCCUPANT
APN: 230110015
7525 INDIANA AVE
RIVERSIDE CA 92504

MALCOLM A SMITH
APN: 230110016
7599 INDIANA AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 230110016
7563 INDIANA AVE
RIVERSIDE CA 92504

HAKOP KABABCHIAN
APN: 230110032
2870 ANTARES DR
RIVERSIDE CA 92503

OCCUPANT
APN: 230110032
7701 INDIANA AVE
RIVERSIDE CA 92504

MALCOM A & JOYCE SMITH
APN: 230110034
7599 INDIANA AVE
RIVERSIDE CA 92504

IN N OUT BURGER INC
APN: 230200015
4199 CAMPUS DR 900
IRVINE CA 92612

OCCUPANT
APN: 230200015
7475 INDIANA AVE
RIVERSIDE CA 92504

CITY OF RIVERSIDE
APN: 230200024
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OCCUPANT
APN: 230200024
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M MACARTHUR
APN: 230221003
2185 ADAMS ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230221003
7840 INDIANA AVE
RIVERSIDE CA 92504

GAYLE HALL
APN: 230221009
2591 JESSICA RD
RIVERSIDE CA 92506

OCCUPANT
APN: 230221009
7850 INDIANA AVE
RIVERSIDE CA 92504

TOYOTA OF RIVERSIDE
APN: 230221011
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OCCUPANT
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GILBERT PAJARITO
APN: 230222001
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OCCUPANT
APN: 230222001
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ALICIA FLORENDO
APN: 230222002
7836 RICCA ST
RIVERSIDE CA 92504

HENRY TOMAS
APN: 230222003
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OCCUPANT
APN: 230222003
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REYES M & BARBARA RIVERA
APN: 230222004
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OCCUPANT
APN: 230222004
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Assessor data not found

MANUEL BARRIOS
APN: 230222007
7837 CASA BLANCA ST
RIVERSIDE CA 92504

MARIO RODRIGUEZ
APN: 230222011
7851 CASA BLANCA ST
RIVERSIDE CA 92504

HENRY TOMAS
APN: 230222012+003
7831 CASA BLANCA ST
RIVERSIDE CA 92504

ALBERT & TERESA CARRANZA
APN: 230222013
7825 CASA BLANCA ST
RIVERSIDE CA 92504

GILBERT PAJARITO
APN: 230222014+001
7845 CASA BLANCA ST
RIVERSIDE CA 92504

LETICIA M GRANADOS
APN: 230223002
29269 ALVA LN
NUEVO CA 92567

OCCUPANT
APN: 230223002
7870 CASA BLANCA ST
RIVERSIDE CA 92504

STARLITE MGMT II
APN: 230223003
4900 SANTA ANITA AVE 2C
EL MONTE CA 91731

OCCUPANT
APN: 230223003
7862 CASA BLANCA ST
RIVERSIDE CA 92504

RUBEN & ORTIZ SOLIS
APN: 230223004
7856 CASA BLANCA ST
RIVERSIDE CA 92504

TRINIDAD F RIVERA
APN: 230223005
7850 CASA BLANCA ST
RIVERSIDE CA 92504

CHRISTIE A & RUBY INFANTE
APN: 230223006
7844 CASA BLANCA ST
RIVERSIDE CA 92504

GENE & KAYLENE VASQUEZ
APN: 230223008
7830 CASA BLANCA ST
RIVERSIDE CA 92504

NICANOR S & GODELVA BAEZA
APN: 230223009
6835 LELAND AVE
RIVERSIDE CA 92506

OCCUPANT
APN: 230223009
7824 CASA BLANCA ST
RIVERSIDE CA 92504

PABLO G & ANA ESCOBEDO
APN: 230223012
7837 RAILROAD AVE
RIVERSIDE CA 92504

ALBERT RIVERA
APN: 230223014
7851 RAILROAD AVE
RIVERSIDE CA 92504

ELIAS M & ANNIE OLVERA
APN: 230223017
7871 RAILROAD AVE
RIVERSIDE CA 92504

ISIDRO D & MARIA SANCHEZ
APN: 230223018
7883 RAILROAD AVE
RIVERSIDE CA 92504

NELLIE O HERNANDEZ
APN: 230223019
7889 RAILROAD AVE
RIVERSIDE CA 92504

NELLIE O & RAMON HERNANDEZ
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OCCUPANT
APN: 230223021
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Assessor data not found

MARCEL G ARBACHE
APN: 230223025
7863 RAILROAD AVE
RIVERSIDE CA 92504

SHIRLEY GUZMAN
APN: 230223026
7286 ORCHARD ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230223026
7836 CASA BLANCA ST
RIVERSIDE CA 92504

SALVADOR & CLARA ADAME
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7845 RAILROAD AVE
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ARTURO SEGURA
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7891 RAILROAD AVE
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EDWARD & MARCIE ROBISON
APN: 230224009
7859 EVANS ST
RIVERSIDE CA 92504

MARTIN ZEPEDA
APN: 230224010
7865 EVANS ST
RIVERSIDE CA 92504

ADRIAN GUTIERREZ
APN: 230224011
7314 EVANS ST
RIVERSIDE CA 92504

OCCUPANT
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7873 EVANS ST
RIVERSIDE CA 92504

MARIO GUEVARA
APN: 230224014
7895 EVANS ST
RIVERSIDE CA 92504

AT & SF RR
APN: 230224015
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OCCUPANT
APN: 230224015
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Assessor data not found

BLAS MEDINA
APN: 230224016
7881 EVANS ST
RIVERSIDE CA 92504

ROSITA MENDOZA
APN: 230225001
7888 EVANS ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230225001
7894 EVANS ST
RIVERSIDE CA 92504

ROSITA MENDOZA
APN: 230225002
7888 EVANS ST
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PEDRO IBARRA
APN: 230225003
7872 EVANS ST
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APN: 230231006
7787 CASA BLANCA ST
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ROGER FLORES
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7811 CASA BLANCA ST
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OCCUPANT
APN: 230231008
7812 RICCA ST
RIVERSIDE CA 92504

CARMEN V FLORES
APN: 230231009
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OCCUPANT
APN: 230231009
Assessor data not found
Assessor data not found

CARMEN V FLORES
APN: 230231011+009
7811 CASA BLANCA ST
RIVERSIDE CA 92504

MARIE J FRITTS
APN: 230231014
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230231014
Assessor data not found
Assessor data not found

R E & MARIE FRITTS
APN: 230231021
7750 INDIANA AVE
RIVERSIDE CA 92504

JORGE M & JORGE ORTIZ
APN: 230231023
7775 CASA BLANCA ST
RIVERSIDE CA 92504

EDMUNDO SANCHEZ
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7765 CASA BLANCA ST
RIVERSIDE CA 92504

PAUL G ZAMORA
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7755 CASA BLANCA ST
RIVERSIDE CA 92504

DAVID F & SHARON MCPHILLIPS
APN: 230231026
6407 DULCET PL
RIVERSIDE CA 92506

OCCUPANT
APN: 230231026
7801 CASA BLANCA ST
RIVERSIDE CA 92504

HOANG M NGUYEN
APN: 230231027
7819 CASA BLANCA ST
RIVERSIDE CA 92504

RIVERSIDE COUNTY OFFICE OF
APN: 230231031
PO BOX 868
RIVERSIDE CA 92502

OCCUPANT
APN: 230231031
7711 CASA BLANCA ST
RIVERSIDE CA 92504

CHRIS M & LUCY VARGAS
APN: 230232003
7728 CASA BLANCA ST
RIVERSIDE CA 92504

EDDIE S & RUTH OLVERA
APN: 230232004
7738 CASA BLANCA ST
RIVERSIDE CA 92504

FRANCISCO R & OFELIA PEREZ
APN: 230232005
7750 CASA BLANCA ST
RIVERSIDE CA 92504

SYLVESTER V & MARGARET LOPE
APN: 230232006
7760 CASA BLANCA ST
RIVERSIDE CA 92504

BRONLIO & MARGARET LOPEZ
APN: 230232009
9550 PRIMROSE DR
RIVERSIDE CA 92503

OCCUPANT
APN: 230232009
7792 CASA BLANCA ST
RIVERSIDE CA 92504

LAMDUAN DAIGLE
APN: 230232011
23230 HECHT RD
CANYON LAKE CA 92587

OCCUPANT
APN: 230232011
7810 CASA BLANCA ST
RIVERSIDE CA 92504

ANGEL V & ISABEL NAJAR
APN: 230232012
7818 CASA BLANCA ST
RIVERSIDE CA 92504

GARY VARGAS
APN: 230232016
7715 RAILROAD AVE
RIVERSIDE CA 92504

ROBERT DENAROLA
APN: 230232017
22341 AMBER ROSE
MISSION VIEJO CA 92692

OCCUPANT
APN: 230232017
3245 DEPOT ST
RIVERSIDE CA 92504

JOHN SAMANO
APN: 230232018
7772 CASA BLANCA ST
RIVERSIDE CA 92504

NANCY JOHNSON
APN: 230232019
7805 RAILROAD AVE
RIVERSIDE CA 92504

RODOLFO ROBAR
APN: 230232020
7811 RAILROAD AVE
RIVERSIDE CA 92504

LUIS A & DORA PALACIOS
APN: 230232022
7782 CASA BLANCA ST
RIVERSIDE CA 92504

LUCILLE ROBISON
APN: 230241004
7621 CASA BLANCA ST
RIVERSIDE CA 92504

ELVIRA DIAZ
APN: 230241005
15626 SADDLEBACK RD
RIVERSIDE CA 92506

OCCUPANT
APN: 230241005
3385 WINSTROM ST
RIVERSIDE CA 92504

DAVID G PALMERIN
APN: 230241008
3355 WINSTROM ST
RIVERSIDE CA 92504

DAVID G PALMERIN
APN: 230241012
3355 WINSTROM ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230241012
3375 WINSTROM ST
RIVERSIDE CA 92504

CHIBUEZE J & SHARON DALLAH
APN: 230241014
1132 EL PASO DR
NORCO CA 92860

OCCUPANT
APN: 230241014
7628 INDIANA AVE
RIVERSIDE CA 92504

JOSE GONZALEZ
APN: 230242003
3360 WINSTROM ST
RIVERSIDE CA 92504

LUIS A & ARACELI TIRADO
APN: 230242004
27969 TREE RIDGE ST
MURRIETA CA 92563

OCCUPANT
APN: 230242004
3326 WINSTROM ST
RIVERSIDE CA 92504

JOSEPH H & ESTHER ARCINIEGA
APN: 230242005
7681 CASA BLANCA ST
RIVERSIDE CA 92504

PETE & VIRGINIA MARTINEZ
APN: 230242006
7691 CASA BLANCA ST
RIVERSIDE CA 92504

ERIC R MOGHADAM
APN: 230242019
7664 INDIANA AVE
RIVERSIDE CA 92504

ELOISA R RODRIGUEZ
APN: 230242021
2949 GREENBRIAR DR
ONTARIO CA 91761

OCCUPANT
APN: 230242021
3362 WINSTROM ST
RIVERSIDE CA 92504

ERIC R MOGHADAM
APN: 230242022
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230242022
Assessor data not found
Assessor data not found

DABNEY PROP
APN: 230242025
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230242025
Assessor data not found
Assessor data not found

DABNEY PROP
APN: 230242026+025
7688 INDIANA AVE
RIVERSIDE CA 92504

ROBERTO & MINERVA MAGANA
APN: 230243001
8823 DELANO DR
RIVERSIDE CA 92503

OCCUPANT
APN: 230243001
7689 RAILROAD AVE
RIVERSIDE CA 92504

SYNOD OF SOUTHERN CALIFORNI
APN: 230243003
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230243003
Assessor data not found
Assessor data not found

PLATT FINANCIAL CORP
APN: 230244002
9820 MAPLE ST
BELLFLOWER CA 90706

OCCUPANT
APN: 230244002
7634 CASA BLANCA ST
RIVERSIDE CA 92504

GILBERTO CHAVEZ
APN: 230244003
17080 CHAVEZ RD
RIVERSIDE CA 92508

OCCUPANT
APN: 230244003
7628 CASA BLANCA ST
RIVERSIDE CA 92504

RITA L SOSA
APN: 230244004
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230244004
Assessor data not found
Assessor data not found

PRESBYTERY OF RIVERSIDE
APN: 230244005
1875 N D ST
SAN BERNARDINO CA 92405

OCCUPANT
APN: 230244005
7680 CASA BLANCA ST
RIVERSIDE CA 92504

CAROLYN S ARMSTRONG
APN: 230251001
3374 MADISON ST
RIVERSIDE CA 92504

DENISE S HOLLEY
APN: 230251005
7539 CASA BLANCA ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230251005
7535 CASA BLANCA ST
RIVERSIDE CA 92504

DENISE S HOLLEY
APN: 230251006
7539 CASA BLANCA ST
RIVERSIDE CA 92504

JESUS J MARTINEZ
APN: 230251009
7575 CASA BLANCA ST
RIVERSIDE CA 92504

JOHN & GERALDINE CONCHA
APN: 230251010
7581 CASA BLANCA ST
RIVERSIDE CA 92504

BILL REILLY
APN: 230251014
7590 INDIANA AVE
RIVERSIDE CA 92504

SAFWAT T & WAFAA SALIB
APN: 230251015
1037 PETER CHRISTIAN CIR
CORONA CA 92881

OCCUPANT
APN: 230251015
7584 INDIANA AVE
RIVERSIDE CA 92504

DENNIS F & PAMELA HORVATH
APN: 230251016
2983 CHAIN CIR
CORONA CA 92881

OCCUPANT
APN: 230251016
7564 INDIANA AVE
RIVERSIDE CA 92504

PYONG O & MYONG YU
APN: 230251017
2407 MARY ST
RIVERSIDE CA 92506

OCCUPANT
APN: 230251017
3394 MADISON ST
RIVERSIDE CA 92504

TRINA ROBLES
APN: 230251018
7587 CASA BLANCA ST
RIVERSIDE CA 92504

OCCUPANT
APN: 230251018
7567 CASA BLANCA ST
RIVERSIDE CA 92504

POMPOSA PALOMARES
APN: 230251019
16226 FELLOWSHIP ST
LA PUENTE CA 91744

OCCUPANT
APN: 230251019
3350 MADISON ST
RIVERSIDE CA 92504

GREGORIO R & MARIA SALVADOR
APN: 230251024
7595 CASA BLANCA ST
RIVERSIDE CA 92504

BLAS C TAPIA
APN: 230251025
7615 CASA BLANCA ST
RIVERSIDE CA 92504

DAVID & MARIA LARIS
APN: 230251026
7589 CASA BLANCA ST
RIVERSIDE CA 92504

ALEJANDRO DELVALLE
APN: 230251027
3362 MADISON ST
RIVERSIDE CA 92504

ROBERTO & MIREYA AMBRIZ
APN: 230251028
7525 CASA BLANCA ST
RIVERSIDE CA 92504

PEDRO C MANCILLA
APN: 230251029
7547 CASA BLANCA ST
RIVERSIDE CA 92504

ALFRED J CARDOZA
APN: 230252001
7614 CASA BLANCA ST
RIVERSIDE CA 92504

OSCAR ORNELAS
APN: 230252002
7606 CASA BLANCA ST
RIVERSIDE CA 92504

PATRICIA A VELASQUEZ
APN: 230252006
Assessor data not found
Assessor data not found

OCCUPANT
APN: 230252006
Assessor data not found
Assessor data not found

MARGARET JOHNSON
APN: 230252008
11200 ASCOT CT
RIVERSIDE CA 92503

OCCUPANT
APN: 230252008
7560 CASA BLANCA ST
RIVERSIDE CA 92504

YVETTE MELENDEZ
APN: 230252009
7552 CASA BLANCA ST
RIVERSIDE CA 92504

RICARDO & JESUS MARTINEZ
APN: 230252010
7546 CASA BLANCA ST
RIVERSIDE CA 92504

CECILIO DEARO
APN: 230252011
7538 CASA BLANCA ST
RIVERSIDE CA 92504

CYNTHIA CAIN
APN: 230252012
7532 CASA BLANCA ST
RIVERSIDE CA 92504

SANTIAGO & MARIA RODRIGUEZ
APN: 230252013
16055 PORTER AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 230252013
7524 CASA BLANCA ST
RIVERSIDE CA 92504

RUDY & DOLORES CHAVEZ
APN: 230252017
14205 BUSH AVE
RIVERSIDE CA 92508

OCCUPANT
APN: 230252017
3320 MADISON ST
RIVERSIDE CA 92504

JOE L SANCHEZ
APN: 230252018
7596 CASA BLANCA ST
RIVERSIDE CA 92504

PATRICIA A VELASQUEZ
APN: 230252019
7566 CASA BLANCA ST
RIVERSIDE CA 92504

PATTY FUENTES
APN: 230252022
7588 CASA BLANCA ST
RIVERSIDE CA 92504

YOLANDA QUINTERO
APN: 230252023
5058 MITCHELL AVE
RIVERSIDE CA 92505

OCCUPANT
APN: 230252023
7580 CASA BLANCA ST
RIVERSIDE CA 92504

WILLIE E ROBINSON
APN: 230370005
3345 MADISON ST
RIVERSIDE CA 92504

INDIANA & MADISON REALTY CO
APN: 230370015
4033 MARS WAY
LA MESA CA 91941

OCCUPANT
APN: 230370015
7494 INDIANA AVE
RIVERSIDE CA 92504

MCDONALDS CORP
APN: 230370018
PO BOX 182571
COLUMBUS OH 43218

OCCUPANT
APN: 230370018
7474 INDIANA AVE
RIVERSIDE CA 92504

MADISON LAND HOLDINGS
APN: 230370020
25431 CABOT RD 102
LAGUNA HILLS CA 92653

OCCUPANT
APN: 230370020
3303 MADISON ST
RIVERSIDE CA 92504

HD DEV OF MARYLAND INC
APN: 230370021
PO BOX 6619
ATLANTA GA 30315

OCCUPANT
APN: 230370021
3323 MADISON ST
RIVERSIDE CA 92504

CALIFORNIA BAPTIST UNIVERSI
APN: 231050004
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231050004
Assessor data not found
Assessor data not found

VISTERRA CREDIT UNION
APN: 231062005
PO BOX 9500
MORENO VALLEY CA 92552

OCCUPANT
APN: 231062005
8543 INDIANA AVE
RIVERSIDE CA 92504

KIENLE & KIENLE INV
APN: 231062006
3210 AUTO CENTER DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231062006
8505 INDIANA AVE
RIVERSIDE CA 92504

KIENLE & KIENLE INVESTMENTS
APN: 231070003
3213 AUTO CENTER DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231070003
8423 INDIANA AVE
RIVERSIDE CA 92504

FIRST FREE METHODIST CHURCH
APN: 231070007
8431 DIANA AVE
RIVERSIDE CA 92504

MUNARETTO
APN: 231080004
6350 HAWARDEN DR
RIVERSIDE CA 92506

OCCUPANT
APN: 231080004
8341 INDIANA AVE
RIVERSIDE CA 92504

KIENLE & KIENLE INVESTMENTS
APN: 231080014
3213 ADAMS ST
RIVERSIDE CA 92504

OCCUPANT
APN: 231080014
8315 INDIANA AVE
RIVERSIDE CA 92504

AUTO CENTER REALTY LLC
APN: 231134005
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231134005
Assessor data not found
Assessor data not found

MIKE D & CAROL MUNARETTO
APN: 231134009
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231134009
Assessor data not found
Assessor data not found

Assessor data not found
APN: 231134014
Assessor data not found
Assessor data not found

GENEVA L STINSON
APN: 231142003+010
3463 GILBERTO AVE
RIVERSIDE CA 92504

JESSE J QUINTANA
APN: 231142004
6462 GILBERTO AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231142004
3462 GILBERTO AVE
RIVERSIDE CA 92504

NORMAN & SUSAN REYES
APN: 231142009
6842 RYCROFT DR
RIVERSIDE CA 92506

OCCUPANT
APN: 231142009
3463 CROWELL AVE
RIVERSIDE CA 92504

GENEVA L STINSON
APN: 231142010
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231142010
Assessor data not found
Assessor data not found

A C & SHIRLEY NEJEDLY
APN: 231143016
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231143016
Assessor data not found
Assessor data not found

AUTO CENTER REALTY
APN: 231143023
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231143023
Assessor data not found
Assessor data not found

HOGENCAMP NEJEDLY
APN: 231143024
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231143024
Assessor data not found
Assessor data not found

NICHOLAS H DYE
APN: 231144010
3474 CROWELL AVE
RIVERSIDE CA 92504

ROBERT & ANITA HARRIS
APN: 231153011
8004 DIANA AVE
RIVERSIDE CA 92504

RAYMOND & BRENDA STEWARD
APN: 231153012
8014 DIANA AVE
RIVERSIDE CA 92504

GERONIMO REYES
APN: 231153013
8024 DIANA AVE
RIVERSIDE CA 92504

GLORIA DIAZ
APN: 231153014
8034 DIANA AVE
RIVERSIDE CA 92504

JEFFREY & ANNA LEWIS
APN: 231153015
8046 DIANA AVE
RIVERSIDE CA 92504

MICHELE D MARTIN
APN: 231153016
8056 DIANA AVE
RIVERSIDE CA 92504

KARL F & PAULA SAILER
APN: 231153017
8066 DIANA AVE
RIVERSIDE CA 92504

YVONNE ADAME
APN: 231153018
8084 DIANA AVE
RIVERSIDE CA 92504

KIT D & LAURIE MATTSON
APN: 231153019
19339 LAMBETH CT
RIVERSIDE CA 92508

OCCUPANT
APN: 231153019
8094 DIANA AVE
RIVERSIDE CA 92504

BLUE SEA INV
APN: 231154004
829 EAGLE CREST CT
RIVERSIDE CA 92506

OCCUPANT
APN: 231154004
8099 INDIANA AVE
RIVERSIDE CA 92504

MARIE WATSON
APN: 231154007
261 LORRAINE BLVD
LOS ANGELES CA 90004

OCCUPANT
APN: 231154007
8089 INDIANA AVE
RIVERSIDE CA 92504

AUTO CENTER REALTY LLC
APN: 231154014
1461 WOODVALE LN
RIVERSIDE CA 92506

OCCUPANT
APN: 231154014
8069 INDIANA AVE
RIVERSIDE CA 92504

GABRIEL GARCIA
APN: 231161012
3474 JEFFERSON ST
RIVERSIDE CA 92504

HENRY J & ELVIRA MAGDALENO
APN: 231161013
3464 JEFFERSON ST
RIVERSIDE CA 92504

NICHOLAS CORSELLI
APN: 231161014
5855 PASEO DE LA CUMBRE
YORBA LINDA CA 92887

OCCUPANT
APN: 231161014
3465 LILA ST
RIVERSIDE CA 92504

ANTHONY & CHRISTINE GABRIE
APN: 231161015
3475 LILA ST
RIVERSIDE CA 92504

CARLOS D & CATHY HERNANDEZ
APN: 231162012
3759 HOOVER ST
RIVERSIDE CA 92504

OCCUPANT
APN: 231162012
3474 LILA ST
RIVERSIDE CA 92504

RAYMOND & DAMIAN LINARES
APN: 231162013
6718 BURNSIDE CT
RIVERSIDE CA 92504

OCCUPANT
APN: 231162013
3475 SUSAN ST
RIVERSIDE CA 92504

CHARLES ANDERSON
APN: 231162025
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231162025
Assessor data not found
Assessor data not found

MARTIN & GLORIA RUIZ
APN: 231163011
3474 SUSAN ST
RIVERSIDE CA 92504

JON B BLUMENTHAL
APN: 231163012
PO BOX 20889
RIVERSIDE CA 92516

OCCUPANT
APN: 231163012
3464 SUSAN ST
RIVERSIDE CA 92504

DOUGLAS J & GREGORY VAVRA
APN: 231164005
7925 INDIANA AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231164005
3414 LILA ST
RIVERSIDE CA 92504

RIVERSIDE AUTO CENTER ASSN
APN: 231164008
PO BOX 4066
RIVERSIDE CA 92514

OCCUPANT
APN: 231164008
3415 SUSAN ST
RIVERSIDE CA 92504

DANIEL & DO PATTERSON
APN: 231164011
16137 PICK PL
RIVERSIDE CA 92504

OCCUPANT
APN: 231164011
7957 INDIANA AVE
RIVERSIDE CA 92504

DOUGLAS J & SHERRIE VAVRA
APN: 231164015
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231164015
Assessor data not found
Assessor data not found

IVAN J CEJA
APN: 231173011
3430 TORREY ST
RIVERSIDE CA 92503

OCCUPANT
APN: 231173011
8607 STARK ST
RIVERSIDE CA 92504

CHRISTOPHER & NINIVE THORN
APN: 231173012
8627 STARK ST
RIVERSIDE CA 92504

DAVID A & ROSEMARY JACKSON
APN: 231173013
8637 STARK ST
RIVERSIDE CA 92504

TU DAVID & TAWNY
APN: 231173014
8647 STARK ST
RIVERSIDE CA 92504

JOSE BAHENA
APN: 231173015
8657 STARK ST
RIVERSIDE CA 92504

ELVIA & RAMIRO ROMERO
APN: 231173016
8667 STARK ST
RIVERSIDE CA 92504

STEPHEN & MICHELLE KING
APN: 231173017
8677 STARK ST
RIVERSIDE CA 92504

RENE R SOLIZ
APN: 231173018
8687 STARK ST
RIVERSIDE CA 92504

ADELA D & CARLOS ELIAS
APN: 231173019
8697 STARK ST
RIVERSIDE CA 92504

RUBEN R & DIANE MEDINA
APN: 231174001
8696 STARK ST
RIVERSIDE CA 92504

LARRY E & JOYE SLAGLE
APN: 231174002
1391 CORONA AVE
NORCO CA 92860

OCCUPANT
APN: 231174002
8686 STARK ST
RIVERSIDE CA 92504

WILLIAM D & SHARON POE
APN: 231174003
8676 STARK ST
RIVERSIDE CA 92504

JOSE HURUETA
APN: 231174004
8666 STARK ST
RIVERSIDE CA 92504

MARGARITA S GONZALES
APN: 231174005
8656 STARK ST
RIVERSIDE CA 92504

MAUREEN & RACHEL RAWLEY
APN: 231174006
8646 STARK ST
RIVERSIDE CA 92504

MARIA C & NICOLAS VIZCARRA
APN: 231174007
8636 STARK ST
RIVERSIDE CA 92504

MARISOL CERVANTES
APN: 231174008
8626 STARK ST
RIVERSIDE CA 92504

ALFREDO NAVARRO
APN: 231174020
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231174020
Assessor data not found
Assessor data not found

ALFREDO NAVARRO
APN: 231174021 *4020*
8612 STARK ST
RIVERSIDE CA 92504

SIDNEY & MAUREEN HIEMSTRA
APN: 231180007
74862 LESLIE AVE
PALM DESERT CA 92260

OCCUPANT
APN: 231180007
8540 INDIANA AVE
RIVERSIDE CA 92504

JOHN & DARLENE VITALE
APN: 231180008
8528 INDIANA AVE
RIVERSIDE CA 92504

SANTA FE 81 LP
APN: 231180014
1667 E LINCOLN AVE
ORANGE CA 92865

OCCUPANT
APN: 231180014
3325 BERNARD ST
RIVERSIDE CA 92504

FUAD & SAMIRAEIS MODIRI
APN: 231180020
6938 GLADYS RD
RIVERSIDE CA 92506

OCCUPANT
APN: 231180020
8504 INDIANA AVE
RIVERSIDE CA 92504

SHIRLEY A HUBBARD
APN: 231191001
3394 DOYLE ST
RIVERSIDE CA 92504

RICKY AWANA
APN: 231191002
3380 DOYLE ST
RIVERSIDE CA 92504

ISRAEL P & MARIA SANCHEZ
APN: 231191003
3366 DOYLE ST
RIVERSIDE CA 92504

RUBEN & CARMEN MOYA
APN: 231191004
3352 DOYLE ST
RIVERSIDE CA 92504

OMAR & PAULA PALACIOS
APN: 231191005
3338 DOYLE ST
RIVERSIDE CA 92504

JUAN L MARTINEZ
APN: 231191006
3322 DOYLE ST
RIVERSIDE CA 92504

CAMDEN OPPORTUNITY FUND WF
APN: 231191007
319 MAIN ST
EL SEGUNDO CA 90245

OCCUPANT
APN: 231191007
3308 DOYLE ST
RIVERSIDE CA 92504

LUIS G & MARIA PEREZ
APN: 231191008
3294 DOYLE ST
RIVERSIDE CA 92504

NULEVEL PARTNERS SOLO 401K
APN: 231191010
3266 DOYLE ST
RIVERSIDE CA 92504

SANDRA L PENUNURI
APN: 231191011
3248 DOYLE ST
RIVERSIDE CA 92504

WILLIAM & LAURA EMERY
APN: 231191012
3234 DOYLE ST
RIVERSIDE CA 92504

MHEG NATHAN
APN: 231191013
3220 DOYLE ST
RIVERSIDE CA 92504

ARTHUR & LYNNETTE TERRY
APN: 231191014
800 KEKAULIKE AVE
KULA HI 96790

OCCUPANT
APN: 231191014
3206 DOYLE ST
RIVERSIDE CA 92504

MARIA D SOTO
APN: 231191015
3188 DOYLE ST
RIVERSIDE CA 92504

RUBEN G ORTEGA
APN: 231191016
3170 DOYLE ST
RIVERSIDE CA 92504

MARIA REYES
APN: 231191017
3169 VANCE ST
RIVERSIDE CA 92504

MATHILDA COLL
APN: 231191018
3187 VANCE ST
RIVERSIDE CA 92504

LIBERTO & RUBEN MOYA
APN: 231191020
3219 VANCE ST
RIVERSIDE CA 92504

TIMOTHY LAMPMAN
APN: 231191021
3233 VANCE ST
RIVERSIDE CA 92504

JUAN & ESTHER VALDEZ
APN: 231191022
21450 VIA LIAGO
PERRIS CA 92570

OCCUPANT
APN: 231191022
3247 VANCE ST
RIVERSIDE CA 92504

NICOLAS M & JOSEFA MOYA
APN: 231191023
3265 VANCE ST
RIVERSIDE CA 92504

JUAN & ESTHER VALDEZ
APN: 231191024
20992 MARY ST
PERRIS CA 92570

OCCUPANT
APN: 231191024
3279 VANCE ST
RIVERSIDE CA 92504

RUTH L REINICK
APN: 231191025
3293 VANCE ST
RIVERSIDE CA 92504

BERTHA A MONTANEZ
APN: 231191026
3307 VANCE ST
RIVERSIDE CA 92504

FLORENCIO & RUTH ADAME
APN: 231191027
3321 VANCE ST
RIVERSIDE CA 92504

JAIME L BRIDGES
APN: 231191028
3337 VANCE ST
RIVERSIDE CA 92504

LOUDEN LLC
APN: 231191029
1137 W AVENUE M14 101
PALMDALE CA 93551

OCCUPANT
APN: 231191029
3351 VANCE ST
RIVERSIDE CA 92504

ELIZABETH LLAMAS
APN: 231191030
3365 VANCE ST
RIVERSIDE CA 92504

FLOYD R & MARJORIE HERGENRE
APN: 231191031
17303 IRIS AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231191031
3379 VANCE ST
RIVERSIDE CA 92504

SCOTT OSTLUND
APN: 231191032
3535 INLAND EMPIRE BLVD
ONTARIO CA 91764

OCCUPANT
APN: 231191032
3393 VANCE ST
RIVERSIDE CA 92504

MARIA TRUJILLO
APN: 231192001
3393 DOYLE ST
RIVERSIDE CA 92504

IMPYTOOTS ENTERPRISES
APN: 231192002
703 PIER AVE 707
HERMOSA BEACH CA 90254

OCCUPANT
APN: 231192002
3379 DOYLE ST
RIVERSIDE CA 92504

JORGE & VALENZUEL BARRON
APN: 231192003
3170 DAVID ST
RIVERSIDE CA 92506

OCCUPANT
APN: 231192003
3365 DOYLE ST
RIVERSIDE CA 92504

RUBEN MOYA
APN: 231192004
3351 DOYLE ST
RIVERSIDE CA 92504

DANIEL & NANCY RAYA
APN: 231192005
3337 DOYLE ST
RIVERSIDE CA 92504

MARIA FLORES
APN: 231192006
3321 DOYLE ST
RIVERSIDE CA 92504

MICHAEL & ROSEMAR SULLIVAN
APN: 231192007
2825 BROCKTON AVE
RIVERSIDE CA 92501

OCCUPANT
APN: 231192007
3307 DOYLE ST
RIVERSIDE CA 92504

KARA LONGTIN
APN: 231192008
3293 DOYLE ST
RIVERSIDE CA 92504

EMERY FAMILY
APN: 231192009
17105 GAMBLE AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231192009
3279 DOYLE ST
RIVERSIDE CA 92504

DIONICIO BALANDRAN
APN: 231192010
3265 DOYLE ST
RIVERSIDE CA 92504

LIBERTO & BLANCA MOYA
APN: 231192011
3247 DOYLE ST
RIVERSIDE CA 92504

NATHANIEL S WILSON
APN: 231192012
3233 DOYLE ST
RIVERSIDE CA 92504

EVELIA ESCOTO
APN: 231192013
3219 DOYLE ST
RIVERSIDE CA 92504

GRISELDA GARCILAZO
APN: 231192014
3205 DOYLE ST
RIVERSIDE CA 92504

SALATIEL & ADELMIRE SANCHE
APN: 231192015
3187 DOYLE ST
RIVERSIDE CA 92504

BRENDA CAMPOS
APN: 231192016
3169 DOYLE ST
RIVERSIDE CA 92504

WAYNE D & PAULINE JENSEN
APN: 231192017
3151 DOYLE ST
RIVERSIDE CA 92504

FAUSTINO & CESAR AYALA
APN: 231192018
17375 TIMBERVIEW DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231192018
3127 DOYLE ST
RIVERSIDE CA 92504

JOEL GOODWIN
APN: 231192019
PO BOX 33887
PORTLAND OR 97292

OCCUPANT
APN: 231192019
8426 LUCAS ST
RIVERSIDE CA 92504

MARIA G DELAREE
APN: 231192020
8436 LUCAS ST
RIVERSIDE CA 92504

SANTIAGO & RAMONA ALTAMIRA
APN: 231192021
8446 LUCAS ST
RIVERSIDE CA 92504

CRYSTAL B HERRERA
APN: 231192022
8456 LUCAS ST
RIVERSIDE CA 92504

MAURO RIVERA
APN: 231192023
8466 LUCAS ST
RIVERSIDE CA 92504

LEON CHAGOLLA
APN: 231192026
3152 VANCE ST
RIVERSIDE CA 92504

ARTHUR S & MARIA DELEON
APN: 231192027
3170 VANCE ST
RIVERSIDE CA 92504

JORGE L VERA
APN: 231192039
3352 VANCE ST
RIVERSIDE CA 92504

SALLY QUESADA
APN: 231192040
3366 VANCE ST
RIVERSIDE CA 92504

JORGE MEDINA
APN: 231192041
3380 VANCE ST
RIVERSIDE CA 92504

VERONICA MARQUEZ
APN: 231192042
3394 VANCE ST
RIVERSIDE CA 92504

BUENAVENTURA & MARIA RENTE
APN: 231192044
5418 LUCRETIA AVE
MIRA LOMA CA 91752

OCCUPANT
APN: 231192044
3128 VANCE ST
RIVERSIDE CA 92504

DAGOBERTO & MELANIA DOMING
APN: 231192045
8476 LUCAS ST
RIVERSIDE CA 92504

KIENLE & KIENLE INV
APN: 231200016
3210 ADAMS ST
RIVERSIDE CA 92504

DAVIDSON ENTERPRISES
APN: 231200017
3150 ADAMS ST
RIVERSIDE CA 92504

RIVERSIDE PROPERTIES
APN: 231200020
8330 INDIANA AVE
RIVERSIDE CA 92504

RIVERSIDE COUNTY FLOOD CONT
APN: 231210001
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231210001
Assessor data not found
Assessor data not found

MULLER ADAMS
APN: 231210017
18881 VON KARMAN AVE 400
IRVINE CA 92612

OCCUPANT
APN: 231210017
2900 ADAMS ST
RIVERSIDE CA 92504

MILLENNIUM GROUP
APN: 231210023
3060 ADAMS ST
RIVERSIDE CA 92504

MILLENNIUM GROUP
APN: 231210024
3060 ADAMS ST
RIVERSIDE CA 92504

OCCUPANT
APN: 231210024
3040 ADAMS ST
RIVERSIDE CA 92504

DAVIDSON ENTERPRISES
APN: 231210026
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231210026
Assessor data not found
Assessor data not found

MOHAMAD KHALED
APN: 231221001
3399 ADAMS ST
RIVERSIDE CA 92504

ADAMS 3325
APN: 231221002
3240 MISSION INN AVE
RIVERSIDE CA 92507

OCCUPANT
APN: 231221002
3325 ADAMS ST
RIVERSIDE CA 92504

CHARLES DUTTON
APN: 231221003
8201 AUTO DR
RIVERSIDE CA 92504

DALIP SETHI
APN: 231222007
8200 AUTO DR
RIVERSIDE CA 92504

KIENLE & KIENLE INVESTMENTS
APN: 231222009
3210 ADAMS AUTO CENTER DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231222009
3213 ADAMS ST
RIVERSIDE CA 92504

G & J PROP
APN: 231231001
8151 AUTO DR
RIVERSIDE CA 92504

HENDRICK AUTOMOTIVE GROUP
APN: 231231002
4345 ROSEWOOD DR
PLEASANTON CA 94588

OCCUPANT
APN: 231231002
8101 AUTO DR
RIVERSIDE CA 92504

MOSS RIVERSIDE PROP
APN: 231232004
8151 AUTO DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231232004
8190 AUTO DR
RIVERSIDE CA 92504

CHARLES DUTTON
APN: 231232006
8201 AUTO DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231232006
3195 MOTOR CIR
RIVERSIDE CA 92504

PATRICIA L & P BRAYBROOKS
APN: 231232008
7040 VIA VISTA DR
RIVERSIDE CA 92506

OCCUPANT
APN: 231232008
3230 MOTOR CIR
RIVERSIDE CA 92504

MOSS RIVERSIDE PROP LLC
APN: 231232009
8151 AUTO DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231232009
8136 AUTO DR
RIVERSIDE CA 92504

BILL REILLY
APN: 231232011
7590 INDIANA AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231232011
3197 MOTOR CIR
RIVERSIDE CA 92504

RUBIDOUX MOTOR CO
APN: 231232012
8201 AUTO DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231232012
3200 MOTOR CIR
RIVERSIDE CA 92504

RJG PARTNERSHIP
APN: 231232014
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231232014
Assessor data not found
Assessor data not found

MARK M & FARIBA AKHLAGHI
APN: 231232019
7353 E SKYLINE DR
ORANGE CA 92867

OCCUPANT
APN: 231232019
8100 AUTO DR
RIVERSIDE CA 92504

ALVAREZ LINCOLN MERCURY INC
APN: 231240001
8051 AUTO DR
RIVERSIDE CA 92504

RIVERSIDE PROP
APN: 231240002
8330 INDIANA AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 231240002
8001 AUTO DR
RIVERSIDE CA 92504

KIENLE 7979
APN: 231240014
3213 ADAMS ST
RIVERSIDE CA 92504

OCCUPANT
APN: 231240014
7979 AUTO DR
RIVERSIDE CA 92504

GROUP EIGHT
APN: 231250008
PO BOX 29965
RICHMOND VA 23242

OCCUPANT
APN: 231250008
7980 AUTO DR
RIVERSIDE CA 92504

REF ENTERPRISES
APN: 231250013
7990 AUTO CENTER DR
RIVERSIDE CA 92504

OCCUPANT
APN: 231250013
8000 AUTO DR
RIVERSIDE CA 92504

ATOMIC INV INC
APN: 231250016
PO BOX 29965
RICHMOND VA 23242

OCCUPANT
APN: 231250016
3218 JEFFERSON ST
RIVERSIDE CA 92504

NINEWAY
APN: 231260016
2715 PALOS VERDES DR
ROLLING HILLS ESTATE CA 9

OCCUPANT
APN: 231260016
3100 JEFFERSON ST
ROLLING HILLS ESTATE CA 9

ATOMIC INVESTMENTS INC
APN: 231260027
3200 B4 2 HIGHLAND AVE
AVENATIONAL CITY CA 91950

OCCUPANT
APN: 231260027
3073 ADAMS ST
RIVERSIDE CA 92504

RIVERSIDE COUNTY FLOOD CONT
APN: 231260028 + 231-210-001
1995 MARKET ST
RIVERSIDE CA 92501

OCCUPANT
APN: 231260028
3073 ADAMS ST
RIVERSIDE CA 92504

ATOMIC INVESTMENTS INC
APN: 231260061
Assessor data not found
Assessor data not found

OCCUPANT
APN: 231260061
Assessor data not found
Assessor data not found

RACHEL & CARMEN GULUARTE
APN: 231281003
8447 LIMESTONE DR
RIVERSIDE CA 92504

SARJEET SINGH
APN: 231281004
8437 LIMESTONE DR
RIVERSIDE CA 92504

AURELIO & JESUS LOPEZ
APN: 231281005
8427 LIMESTONE DR
RIVERSIDE CA 92504

BOUGHAN GROVER
APN: 231281006
8417 LIMESTONE DR
RIVERSIDE CA 92504

RAFAEL & ANA AZURIN
APN: 231281007
3086 SHOREPINE CT
RIVERSIDE CA 92504

JEROME E & GREGORY OLDS
APN: 231281008
3096 SHOREPINE CT
RIVERSIDE CA 92504

JESUS & MAYRA OCAMPO
APN: 231281009
3087 SHOREPINE CT
RIVERSIDE CA 92504

OCCUPANT
APN: 231281009
3097 SHOREPINE CT
RIVERSIDE CA 92504

JORGE & SOCORRO CASTELLANO
APN: 231281010
3087 SHOREPINE CT
RIVERSIDE CA 92504

ROBERT & ANJANETTE THOMAS
APN: 231281011
3077 SHOREPINE CT
RIVERSIDE CA 92504

DIANA NGUYEN
APN: 231281012
3067 SHOREPINE CT
RIVERSIDE CA 92504

JACK J WILSON
APN: 231281013
3057 SHOREPINE CT
RIVERSIDE CA 92504

MANNY M & A YOGARAJAH
APN: 231281014
3037 SHOREPINE CT
RIVERSIDE CA 92504

KIM R & ROXANNE HOWARD
APN: 231281015
3007 SHOREPINE CT
RIVERSIDE CA 92504

RUBEN & PATRICIA ORONA
APN: 231281016
3006 SHOREPINE CT
RIVERSIDE CA 92504

ELIO H PALACIOS
APN: 231281017
3016 SHOREPINE CT
RIVERSIDE CA 92504

SHANE M & DEBORAH SCOTT
APN: 231281018
3026 SHOREPINE CT
RIVERSIDE CA 92504

CORNETT
APN: 231281019
3036 SHOREPINE CT
RIVERSIDE CA 92504

BRIAN K & MARY LINDSAY
APN: 231281020
3046 SHOREPINE CT
RIVERSIDE CA 92504

ANGIE & VLADIMIR POZGAJ
APN: 231281021
8436 LIMESTONE DR
RIVERSIDE CA 92504

WILLIAM & NAOMI HANSEN
APN: 231281022
9645 MAGNOLIA AVE
RIVERSIDE CA 92503

OCCUPANT
APN: 231281022
8446 LIMESTONE DR
RIVERSIDE CA 92504

ROBERT W & VIRGINIA MURRAY
APN: 231281023
3023 CORALBERRY DR
RIVERSIDE CA 92504

FABIAN E & BUNNY RODRIGUEZ
APN: 231281024
3003 CORALBERRY DR
RIVERSIDE CA 92504

JUSTIN A & BRITTANY SPENCER
APN: 231281025
8445 EASTBROOK CT
RIVERSIDE CA 92504

NGHIA & LIEN LU
APN: 231281026
8435 EASTBROOK CT
RIVERSIDE CA 92504

EROLINDA FELIX
APN: 231281027
8425 EASTBROOK CT
RIVERSIDE CA 92504

ROGELIO A VILLEDA
APN: 231281028
PO BOX 70525
RIVERSIDE CA 92513

OCCUPANT
APN: 231281028
8415 EASTBROOK CT
RIVERSIDE CA 92504

LIZABETH A REID
APN: 231281029
14127 MOONRIDGE DR
RIVERSIDE CA 92503

OCCUPANT
APN: 231281029
8405 EASTBROOK CT
RIVERSIDE CA 92504

ADA E BARRETO
APN: 231281030
8404 EASTBROOK CT
RIVERSIDE CA 92504

FERNANDO CAPACETE
APN: 231281031
8414 EASTBROOK CT
RIVERSIDE CA 92504

TOM W & KAREN KAN
APN: 231281032
8424 EASTBROOK CT
RIVERSIDE CA 92504

RICHARD J & JANET SANTOS
APN: 231281033
8434 EASTBROOK CT
RIVERSIDE CA 92504

INOCENCIO & ERNESTINA VAZQ
APN: 231281034
8444 EASTBROOK CT
RIVERSIDE CA 92504

RUDY & MONIQUE GARCIA
APN: 231281035
8441 MIMOSA TREE CT
RIVERSIDE CA 92504

WILLIAM & NANCY LEW
APN: 231281036
8431 MIMOSA TREE CT
RIVERSIDE CA 92504

CARLOS J & SHARON RODRIGUEZ
APN: 231281037
8421 MIMOSA TREE CT
RIVERSIDE CA 92504

SUNSHINE & BLUE SKY CO
APN: 231281040
8400 MIMOSA TREE CT
RIVERSIDE CA 92504

FRANK B & ILEANA DONA
APN: 231281041
8410 MIMOSA TREE CT
RIVERSIDE CA 92504

IGNACIO & YASMIN LOPEZ
APN: 231281042
8420 MIMOSA TREE CT
RIVERSIDE CA 92504

CRISTINA G DURAN
APN: 231281043
8430 MIMOSA TREE CT
RIVERSIDE CA 92504

GYSBERT C & JACQUELINE DOME
APN: 231281044
8440 MIMOSA TREE CT
RIVERSIDE CA 92504

ARTURO M & HORTENSIA GONZAL
APN: 231281050
8411 MIMOSA TREE CT
RIVERSIDE CA 92504

BEATRICE WONG
APN: 231281051
S MANSFIELD AVE
LOS ANGELES CA 90036

OCCUPANT
APN: 231281051
8401 MIMOSA TREE CT
RIVERSIDE CA 92504

IDREES MALIK
APN: 231290012
20515 REGAL OAKS DR
YORBA LINDA CA 92886

OCCUPANT
APN: 231290012
8501 FAYETTE CT
RIVERSIDE CA 92504

LEE BOSSCHE
APN: 231290013
8509 FAYETTE CT
RIVERSIDE CA 92504

ALBERTO & GRISELDA ORTEGA
APN: 231290014
8517 FAYETTE CT
RIVERSIDE CA 92504

HECTOR & MARTINE LADO
APN: 231290015
8502 FAYETTE CT
RIVERSIDE CA 92504

LOUDEN LLC
APN: 231290016
5440 TRABUCO RD H200
IRVINE CA 92620

OCCUPANT
APN: 231290016
8510 FAYETTE CT
RIVERSIDE CA 92504

ANGELO & ROCIO MINEO
APN: 231290017
20922 CORTNER AVE
LAKEWOOD CA 90715

OCCUPANT
APN: 231290017
8518 FAYETTE CT
RIVERSIDE CA 92504

VILLAGE PARKS AT BERNARD ST
APN: 231290018
Assessor data not found
Assessor data not found

WEI & BING YAO
APN: 231290019
175 AMHURST ASILE
IRVINE CA 92602

OCCUPANT
APN: 231290019
8501 COLUSA CT
RIVERSIDE CA 92504

MIGUEL & PATRICIA COVARRUB
APN: 231290020
8509 COLUSA CT
RIVERSIDE CA 92504

DANIEL & IRMA RAMIREZ
APN: 231290021
8517 COLUSA CT
RIVERSIDE CA 92504

GILBERT CASTILLO
APN: 231290022
8526 MELOSA WAY
RIVERSIDE CA 92504

ROBERT T & MINERVA GONZALES
APN: 231290023
8534 MELOSA WAY
RIVERSIDE CA 92504

GORDON & BANKS LAI
APN: 231290024
8542 MELOSA WAY
RIVERSIDE CA 92504

GARY B & MARTHA MOODY
APN: 231290025
8550 MELOSA WAY
RIVERSIDE CA 92504

REBECCA Y HART
APN: 231290026
8558 MELOSA WAY
RIVERSIDE CA 92504

MIGUEL GUZMAN
APN: 231290027
8566 MELOSA WAY
RIVERSIDE CA 92504

BEN K & LINDA CHANG
APN: 231290028
8576 MELOSA WAY
RIVERSIDE CA 92504

DESMOND STAMP
APN: 231290029
8586 MELOSA WAY
RIVERSIDE CA 92504

JOSE ROSALES
APN: 231290030
3204 KELISA LN
RIVERSIDE CA 92504

AMANDA E THOMPSON
APN: 231290031
3212 KELISA LN
RIVERSIDE CA 92504

ANDREW P ORTIZ
APN: 231290032
3218 KELISA LN
RIVERSIDE CA 92504

VICTOR M & MONICA CAPACETE
APN: 231290033
3224 KELISA LN
RIVERSIDE CA 92504

LEO & MARILU DAVIS
APN: 231290034
3230 KELISA LN
RIVERSIDE CA 92504

CESAR SALAZAR
APN: 231290035
3236 KELISA LN
RIVERSIDE CA 92504

ARLEN E & MILAGROS NELSON
APN: 231290036
8587 MELOSA WAY
RIVERSIDE CA 92504

CORT A ROGERS
APN: 231290037
8577 MELOSA WAY
RIVERSIDE CA 92504

RUDOLF & KARYN RETZER
APN: 231290038
8567 MELOSA WAY
RIVERSIDE CA 92504

HONG K PHU
APN: 231290039
3242 KIRKLEE LN
RIVERSIDE CA 92504

ALFREDO G & ELIZABETH GARCI
APN: 231290040
3250 KIRKLEE LN
RIVERSIDE CA 92504

PENELOPE A YOUNG
APN: 231290041
3249 BERNARD ST
RIVERSIDE CA 92504

JOSE & MARTINEZ PEREZ
APN: 231290042
3241 BERNARD ST
RIVERSIDE CA 92504

HUONG V CHAU
APN: 231290043
525 S SHAWNEE DR
SANTA ANA CA 92704

OCCUPANT
APN: 231290043
8559 MELOSA WAY
RIVERSIDE CA 92504

GEORGE & NENA BACILY
APN: 231290044
8551 MELOSA WAY
RIVERSIDE CA 92504

JULIA GARBUTT
APN: 231290045
8541 MELOSA WAY
RIVERSIDE CA 92504

JOSE MACATANGAY
APN: 231290046
8533 MELOSA WAY
RIVERSIDE CA 92504

LEON & CHAVONNE JONES
APN: 231290047
8525 MELOSA WAY
RIVERSIDE CA 92504

RODOLFO REYES
APN: 231290048
8526 PALOMA WAY
RIVERSIDE CA 92504

BRENDA & HECTOR REID
APN: 231290049
8534 PALOMA WAY
RIVERSIDE CA 92504

JACQUELINE SAENZ
APN: 231290050
8542 PALOMA WAY
RIVERSIDE CA 92504

JANET MCCALLISTER
APN: 231290051
8550 PALOMA WAY
RIVERSIDE CA 92504

CARLOS & PATRICIA GARRIDO
APN: 231290052
1443 W 6TH ST 108
CORONA CA 92882

OCCUPANT
APN: 231290052
8558 PALOMA WAY
RIVERSIDE CA 92504

MANUEL NAVA
APN: 233241001
3200 MONROE ST
RIVERSIDE CA 92504

HUMBERTO MONREAL
APN: 233241002
3210 MONROE ST
RIVERSIDE CA 92504

VICKY J TUEY
APN: 233241003
3220 MONROE ST
RIVERSIDE CA 92504

RICHARD & VIRGINIA STREBEL
APN: 233241004
3230 MONROE ST
RIVERSIDE CA 92504

ROBERT & BONNIE TROUT
APN: 233241009
3229 TORO WAY
RIVERSIDE CA 92503

DELBERT & JENETTE BUTLER
APN: 233241010
3219 TORO WAY
RIVERSIDE CA 92503

URBANO GARCIA
APN: 233241011
3209 TORO WAY
RIVERSIDE CA 92503

SABRINA SORIA
APN: 233241012
8722 HASKELL ST
RIVERSIDE CA 92503

BRENDA J REED
APN: 233281001
PO BOX 70236
RIVERSIDE CA 92513

OCCUPANT
APN: 233281001
3098 MONROE ST
RIVERSIDE CA 92504

ARMANDO G & IRMA RODRIGUEZ
APN: 233281002
3088 MONROE ST
RIVERSIDE CA 92504

JAMES DUBOSE
APN: 233281003
3078 MONROE ST
RIVERSIDE CA 92504

RALPH & RICKY WILSON
APN: 233281004
8112 HELENA AVE
RIVERSIDE CA 92504

OCCUPANT
APN: 233281004
3070 MONROE ST
RIVERSIDE CA 92504

ANDRES B & CLAUDIA GUTIERRE
APN: 233281008
3069 COPENHAGEN RD
RIVERSIDE CA 92504

ARTURO SALAZAR
APN: 233281009
3079 COPENHAGEN RD
RIVERSIDE CA 92504

NORBERTO & MINERVA DELEON
APN: 233281010
3089 COPENHAGEN RD
RIVERSIDE CA 92504

ERIKA ENRIQUEZ
APN: 233281011
PO BOX 2671
CORONA CA 92878

OCCUPANT
APN: 233281011
3099 COPENHAGEN RD
RIVERSIDE CA 92504

VICTORIA SPRINGS APARTMENTS
APN: 237020016
PO BOX 28739
SANTA ANA CA 92799

OCCUPANT
APN: 237020016
2801 ADAMS ST
RIVERSIDE CA 92504

VICKI C WESTON
APN: 238271006
8439 SHALIMAR PL
RIVERSIDE CA 92504

FRIEDHELM LANGE
APN: 238271007
15232 WINDJAMMER WAY
LAKE ELSINORE CA 92530

OCCUPANT
APN: 238271007
8429 SHALIMAR PL
RIVERSIDE CA 92504

MARY E BERNSTEIN
APN: 238271008
1700 W CERRITOS AVE 105
ANAHEIM CA 92804

OCCUPANT
APN: 238271008
8419 SHALIMAR PL
RIVERSIDE CA 92504

ROBERT BALE
APN: 238271009
8409 SHALIMAR PL
RIVERSIDE CA 92504

FRANCISCO & MARIA BIRRUETA
APN: 238271010
8408 SHALIMAR PL
RIVERSIDE CA 92504

STEVE AMARO
APN: 238271020
8406 LINCOLN AVE
RIVERSIDE CA 92504

GAYNELL JONES
APN: 238271024
2882 SONOMA DR
RIVERSIDE CA 92504

SALVADOR & ANGELICA ACOSTA
APN: 238271025
2872 SONOMA DR
RIVERSIDE CA 92504

GREGORY L & BEATRIZ RAMIREZ
APN: 238271026
2862 SONOMA DR
RIVERSIDE CA 92504

ADAN & ANNETTE PANTOJA
APN: 238272001
8363 THOREAU LN
RIVERSIDE CA 92504

MIGUEL & DIANA PEREZ
APN: 238272002
8353 THOREAU LN
RIVERSIDE CA 92504

MARIO & MICHELLE UMANA
APN: 238272003
8343 THOREAU LN
RIVERSIDE CA 92504

JOHN M PEDROZA
APN: 238272004
8333 THOREAU LN
RIVERSIDE CA 92504

FRED T MOROMISATO
APN: 238272005
2822 VISTA MESA DR
RANCHO PALOS VERDES CA 90

OCCUPANT
APN: 238272005
8323 THOREAU LN
RIVERSIDE CA 92504

VICKIE REAY
APN: 238272006
8313 THOREAU LN
RIVERSIDE CA 92504

MICHELE L GAYLER
APN: 238272007
8303 THOREAU LN
RIVERSIDE CA 92504

JUNE WARD-OVERTON
APN: 238272008
8300 THOREAU LN
RIVERSIDE CA 92504

ARTURO & MENDEZ DELHOYO
APN: 238272009
8310 THOREAU LN
RIVERSIDE CA 92504

CUMMINS
APN: 238272010
8382 ACOMA CT
YUCCA VALLEY CA 92284

OCCUPANT
APN: 238272010
8320 THOREAU LN
RIVERSIDE CA 92504

JAMES G & MARY THOMPSON
APN: 238273001
75930 OSAGE TRL
INDIAN WELLS CA 92210

OCCUPANT
APN: 238273001
2865 SONOMA DR
RIVERSIDE CA 92504

LARRY & DIANE GLASMAN
APN: 238273008
2868 DARWIN DR
RIVERSIDE CA 92504

APN: 231134016
APN: 231134015
APN: 231260012

A C & SHIRLEY NEJEDLY
APN: 231143017

AT & SF RR
APN: 233250006
APN: 231210025
APN: 233250012

ATOMIC INVESTMENTS INC
APN: 231260062
APN: 231260063
APN: 231260060

CALIFORNIA BAPTIST UNIVERSI
APN: 231070017

CHIBUEZE J & SHARON DALLAH
APN: 230241015

CITY OF RIVERSIDE
APN: 230241010
APN: 230253010
APN: 231232003
APN: 230251013

CITY OF RIVERSIDE
APN: 230233013
APN: 230221002
APN: 230245015
APN: 230245013

CITY OF RIVERSIDE
APN: 231260047
APN: 231260044
APN: 230242024
APN: 230231018

CITY OF RIVERSIDE
APN: 231260050
APN: 231260013
APN: 231260024
APN: 231260043

DANIEL & DO PATTERSON
APN: 231164012

DOUGLAS J & SHERRIE VAVRA
APN: 231164016

JUAN & ESTHER VALDEZ
APN: 231192028

KBK STORAGE
APN: 230100024

LUIS G & MARIA PEREZ
APN: 231191009

MARIE J FRITTS
APN: 230231019
APN: 230231022
APN: 231250015

REYES M & BARBARA RIVERA
APN: 230232010

RICHARD GERVAIS
APN: 230100009

RIVERSIDE COUNTY FLOOD CONT
APN: 231210002

RJG PARTNERSHIP
APN: 231232016

RUDY & DOLORES CHAVEZ
APN: 230252021

TOYOTA OF RIVERSIDE
APN: 230221014

VILLAGE PARKS AT BERNARD ST
APN: 231290087
APN: 231290088

WILLIE E ROBINSON
APN: 238271023



APN 230-100-023
KBK Storage, % 3N Realty+Dev.
7095 Indiana Ave., Ste. 100
RIVERSIDE CA 92506

APN 230-222-004
Reyes and Barbara RIVERA
6581 Piccadilly Street
Riverside CA 92506

APN 230-224-015
AT&SFRR, Attn: Roadmaster
740 E. Carnegie Dr.
San Bernardino CA 92408

APN 230-243-003
SYNOD of Southern Calif.
3325 Wilshire Blvd., No. 850
Los Angeles CA 90010

APN 231-134-009, 019
Carol E. Munaretto
6350 Hawarden
Riverside CA 92506

APN 231-143-016
A.C. and Shirley Nejedly
7095 Indiana Ave., Ste. 100
Riverside CA 92506

APN 231-143-023; 231-154-014
Dalip & Latika Sethi Fam.
1461 Woodvale Ln
Riverside CA 92506

APN 231-164-015
VAVRA Families, % Riv. Car
7925 Indiana Ave. Store
RIVERSIDE CA 92506

APN 231-290-018
Village Parks, % Osborne Dev.
30001 Comercio CA
Rcho Santa Margarita 92688

APN 230-200-024
City of Riverside, % Prop. Svcs.
3900 Main Street
RIVERSIDE CA 92522

~~APN 230-223-021
Ramon, Nellie, & Charlie
Hernandez + A. Ferreira
7889 Railroad Ave.
RIVERSIDE CA 92506~~

APN 230-231-014
Marie J. FRITTS
8000 Auto Drive
Riverside CA 92504

Patricia Velasquez, Bertha
Hernandez, and Ruth Fuentes
7566 Casa Blanca St,
Riverside CA 92504

APN 231-080-004
Paola Joffe and C. Munaretto
6350 Hawarden
Riverside CA 92506

APN 231-143-024
Nejedly Hogen camp, % A.C.
7095 Indiana Ave., Ste. 100
Riverside CA 92506

APN 231-162-025
Chas. Anderson, Munian, Hill,
Gilmore, et al.
2619 Jurado Ave.
HACIENDA HTS CA 91745

APN 231-210-026
Davidson Enterprises
3150 Adams St,
Riverside CA 92504

APN 230-221-011
Toyota of Riverside, et al.
2185 Adams Street
RIVERSIDE CA 92504

Ramon, Nellie, and Charlie
Hernandez, + A. H. Ferreira et al.
7889 Railroad Avenue
RIVERSIDE CA 92506

APN 230-242-019 + 022
Eric Moghadam/Richard Sullivan
7664 Indiana Avenue
Riverside CA 92504

APN 231-050-004
Calif. Baptist University
8432 Magnolia Avenue
Riverside CA 92504

APN 231-134-005
Singh Chevrolet/Auto Ctr. Rlty.
8200 Auto Dr.
Riverside CA 92504

APN 231-143-023; 231-154-014
Auto Center Realty, LLC
1461 Woodvale Ln.
Riverside CA 92506

~~APN 231-164-015
Doug, Greg, Sherrie, + Marina
% Riv. Car Store VAVRA
7925 Indiana Ave~~

APN 231-232-014
RJG Partnership
8146 Auto Dr.
Riverside CA 92504

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP 1059R13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application MARCH 27, 2013
 Property Owner VARIOUS Phone Number _____
 Mailing Address * CITY INITIATED PROJECT

Agent (if any) CITY OF RIVERSIDE Phone Number (951) 826-5371
 Mailing Address COMMUNITY DEVELOPMENT DEPARTMENT
3700 MAIN STREET, THIRD FLOOR
RIVERSIDE, CA 92572

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address SEE ATTACHED MAPS
 Assessor's Parcel No. _____ Parcel Size _____
 Subdivision Name _____ Zoning _____
 Lot Number _____ Classification _____

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VARIOUS COMMERCIAL USES, GENERALLY AUTOMOTIVE RELATED
 Proposed Land Use (describe) PROPERTIES TO BE REZONED TO ADD THE SPECIFIC PLAN OVERLAY ZONE IN ORDER TO INCLUDE WITHIN THE BOUNDARY OF THE RIVERSIDE AUTO CENTER SPECIFIC PLAN AREA

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) _____
 For Other Land Uses Hours of Use TYPICAL BUSINESS HOURS OF OPERATION
 (See Appendix C) Number of People on Site _____ Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) _____ ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site _____ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received	_____	Type of Project	
Agency Name	CITY OF RIVERSIDE COMMUNITY DEVELOPMENT DEPART.	<input type="checkbox"/> General Plan Amendment	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Staff Contact	MOISES A. LOPEZ, ASSOCIATE PLANNER	<input type="checkbox"/> Subdivision Approval	
Phone Number	(951) 826-5264	<input type="checkbox"/> Use Permit	
Agency's Project No.	P13-0111 SR	<input type="checkbox"/> Public Facility	
		<input checked="" type="checkbox"/> Other	SPECIFIC PLAN AMENDMENT

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received	_____	By	_____
	Is Application Complete?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	
	If No, cite reasons	_____		

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe:	_____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date	_____
	<input type="checkbox"/> Refer to ALUC		

ALUC Action	<input type="checkbox"/> Consistent	Date	_____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)		

	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)		

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.3

HEARING DATE: May 9, 2013

CASE NUMBER: ZAP1050FV13 – Regent Nicolas 73, LLC

APPROVING JURISDICTION: City of Temecula

JURISDICTION CASE NO: PA12-0131 (General Plan Amendment), PA12-0132 (Zone Change), PA12-0133 (Tentative Map)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends a finding of **CONSISTENCY** for the general plan amendment, zone change, and tentative map, subject to the conditions included herein for the tentative map.

PROJECT DESCRIPTION: PA12-0131 (General Plan Amendment) is a proposal to amend the City of Temecula General Plan land use designation on 73.3 acres from Very Low Density Residential (VLDR) to Low Density Residential (LDR). PA12-0132 (Zone Change) is a proposal to change the zoning of the site from Very Low Density Residential (VL) to Low Density Residential (L), with the Planned Development Overlay (PDO), and to amend the text of the zoning ordinance to include the Arbor Vista PDO. PA12-0133 (Tentative Map) is a proposal to subdivide 73.3 acres into 83 single family residential lots, 2 open space lots, 1 lot for a public park, and 2 lots for water quality/detention.

PROJECT LOCATION: The site is located southerly of Nicolas Road and easterly of Via Lobo Road in the City of Temecula, approximately 9,560 feet southerly of Runway 18-36 at French Valley Airport.

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Zone E
- c. Noise Levels: Below 55 CNEL

BACKGROUND:

Residential Density: The site is located in Zone E of the French Valley Airport Influence Area. Residential densities are not restricted within Zone E. Pursuant to the 2007 Plan, this site was split between Zones D and E, but with the elimination of the previously proposed secondary runway with the 2011 amendment to the Plan, this property is now entirely in Zone E.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Zone E (hazards to flight) within the project, nor would the proposed General Plan Amendment or Zone Change likely allow for any prohibited or discouraged uses.

Noise: The property lies outside the area that would be subject to average exterior noise levels of 55 CNEL or greater under ultimate airport development conditions. Therefore, no special mitigation of noise from aircraft is required.

Part 77: The highest proposed pad elevation on-site is 1,202 feet above mean sea level (1202 feet AMSL). The elevation of Runway 18-36 at its southerly terminus is approximately 1330 feet AMSL. At a distance of approximately 9,560 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1425.6 feet AMSL. The project includes proposed residential unit elevations with a maximum height of 25 feet and 10 inches. At this maximum height at the highest proposed lot pad elevation, a structure would not exceed 1228 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review would not be required.

Open Area: Zone E of the French Valley Airport Land Use Plan does not have any requirements for provision of open space.

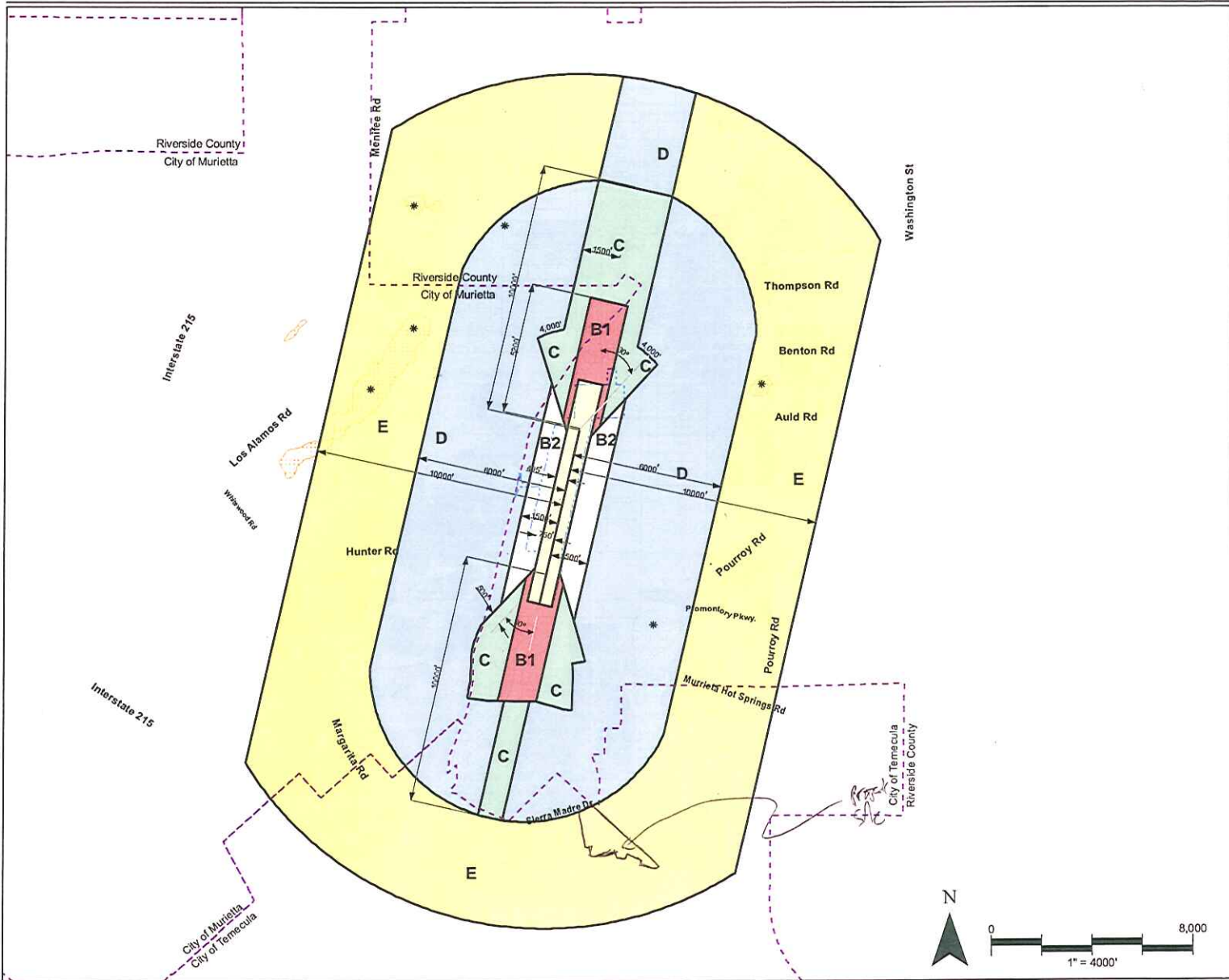
CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers and/or tenants of the proposed residences.
- 4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

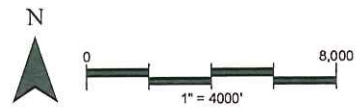
- - - Airport Property Line
- - - City Limits
- * Height Review Overlay Zone

Note

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

Riverside County
 Airport Land Use Commission
 Riverside County
 Airport Land Use Compatibility Plan
 Policy Document
 (April 2010)



Map FV-1

Compatibility Map
 French Valley Airport

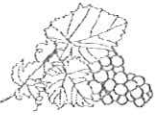


Figure LU-2 French Valley Airport Land Use Compatibility Zones

CITY OF TEMECULA GENERAL PLAN

Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

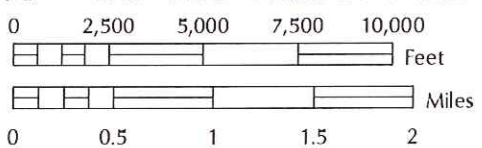
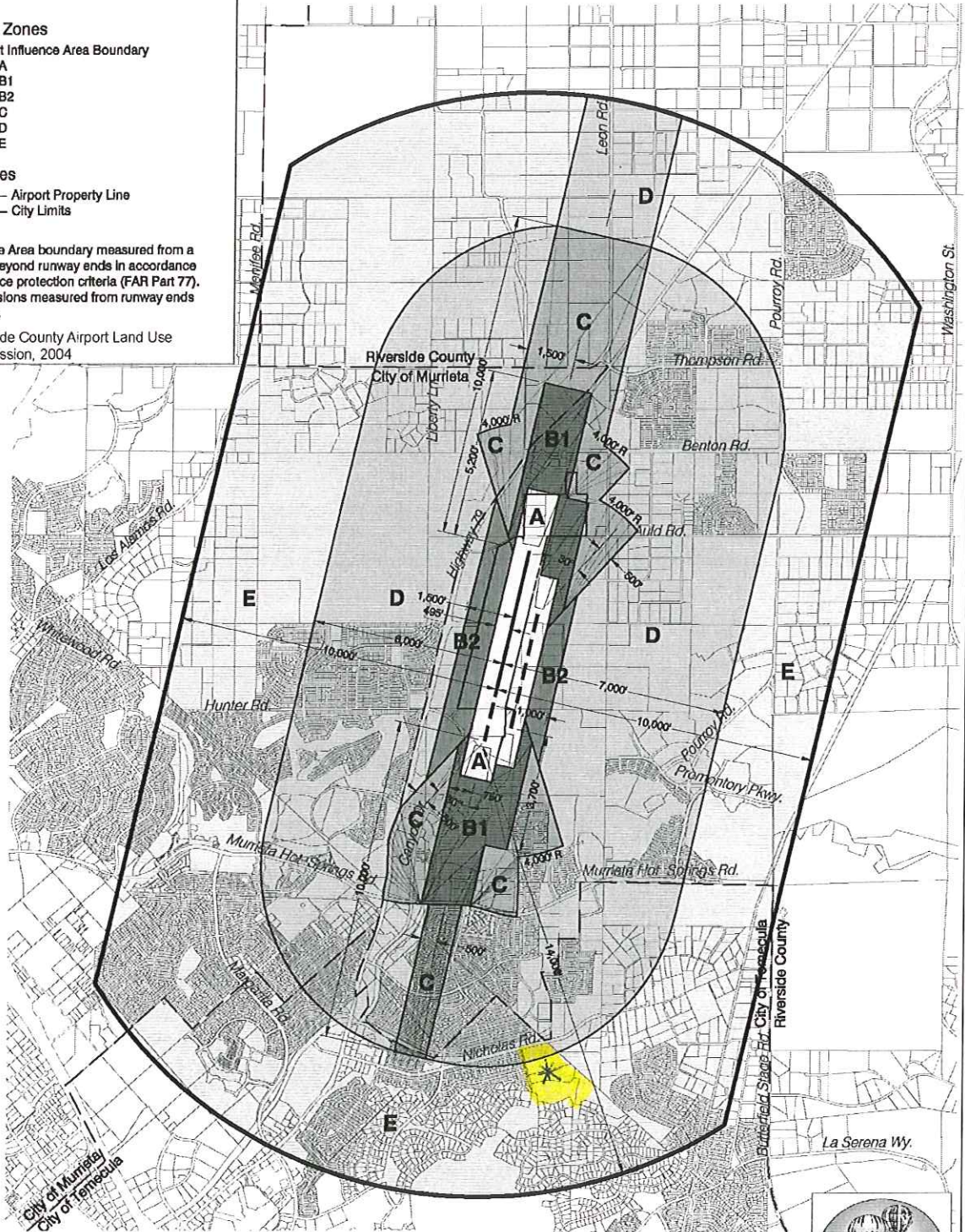
Boundary Lines

- Airport Property Line
- City Limits

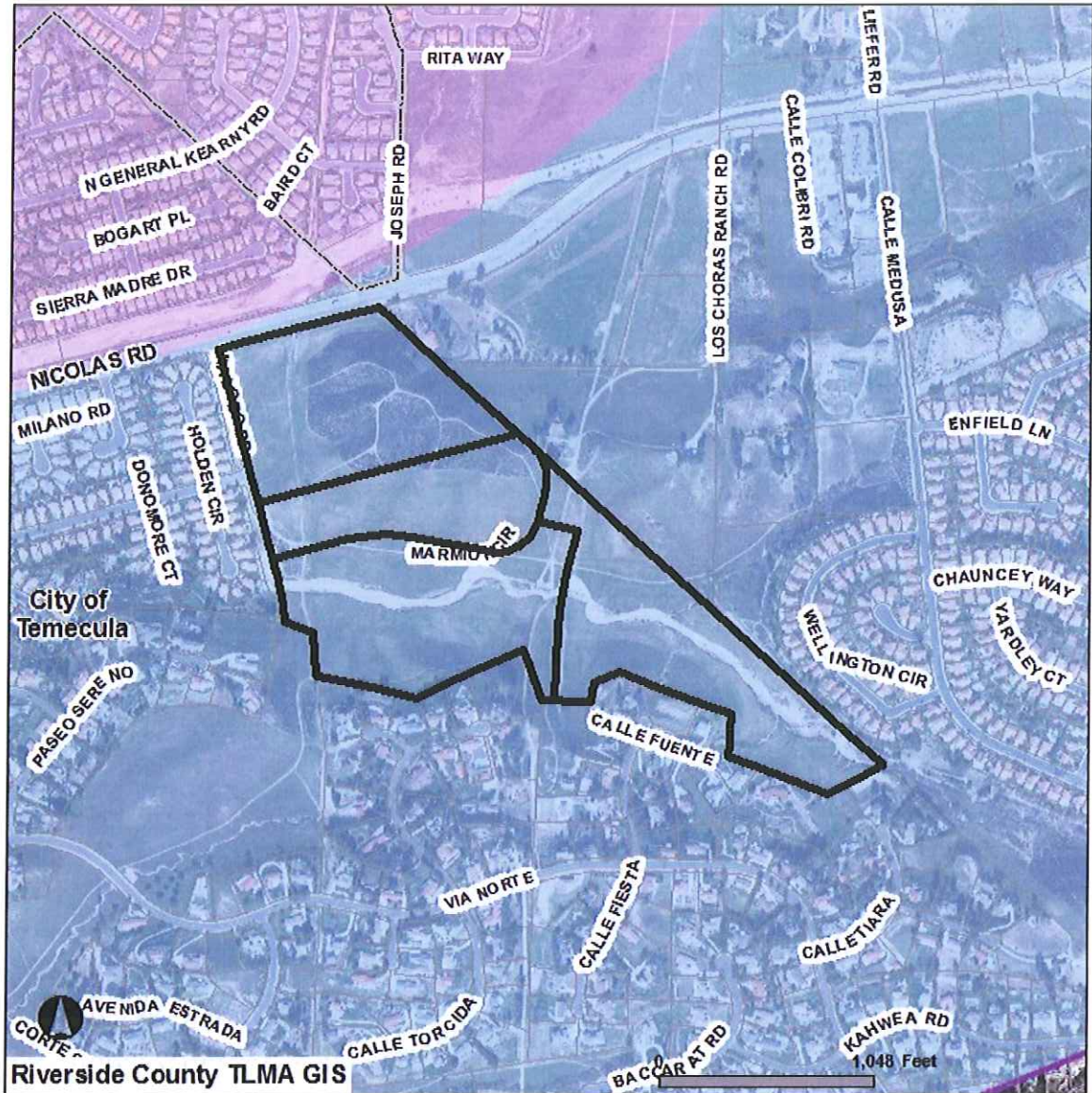
Note

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

Source: Riverside County Airport Land Use Commission, 2004



RIVERSIDE COUNTY GIS



Selected parcel(s):

919-350-017 919-350-018 919-350-019 919-350-020

AIRPORTS

- SELECTED PARCEL
- AIRPORT INFLUENCE AREAS
- INTERSTATES
- COMPATIBILITY ZONE D
- HIGHWAYS
- COMPATIBILITY ZONE E
- PARCELS

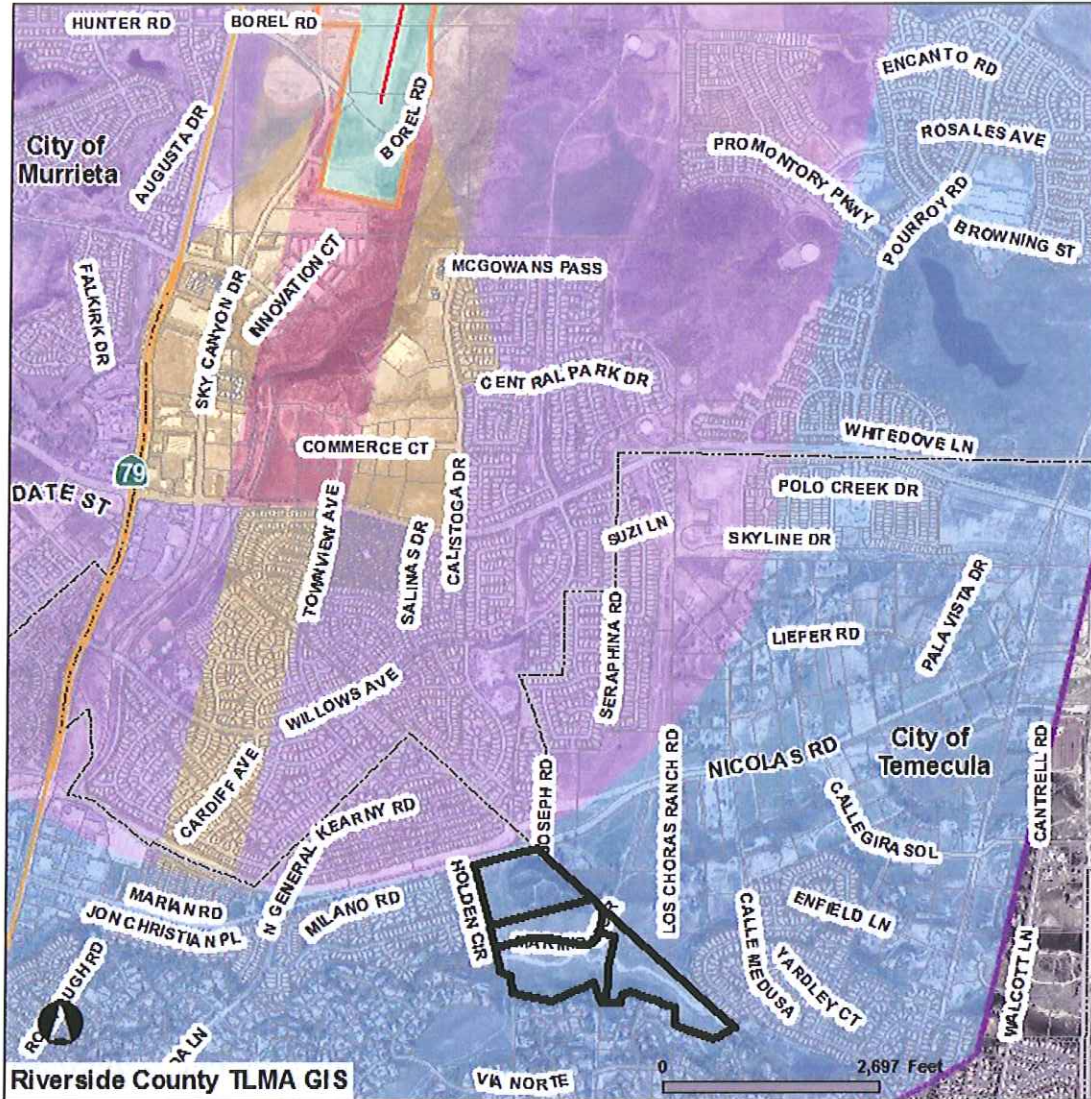
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):

919-350-017 919-350-018 919-350-019 919-350-020

AIRPORTS

- SELECTED PARCEL
- AIRPORT RUNWAYS
- COMPATILTY ZONE B1
- COMPATILTY ZONE E
- INTERSTATES
- AIRPORT INFLUENCE AREAS
- COMPATILTY ZONE B2
- HIGHWAYS
- COMPATILTY ZONE C
- PARCELS
- COMPATILTY ZONE A
- COMPATILTY ZONE D

IMPORTANT
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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):

919-350-017 919-350-018 919-350-019 919-350-020

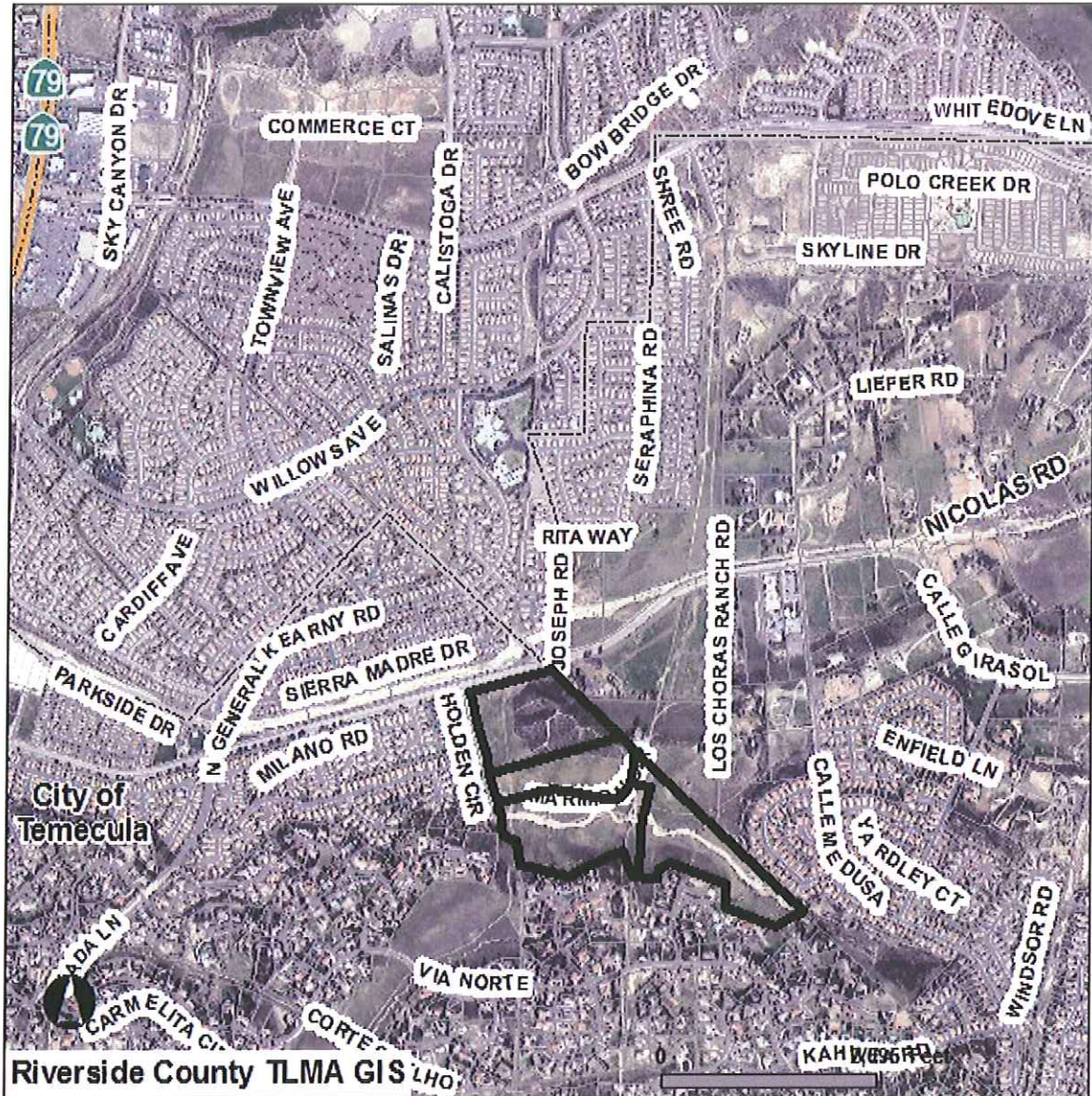
IMPORTANT

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):

919-350-017 919-350-018 919-350-019 919-350-020

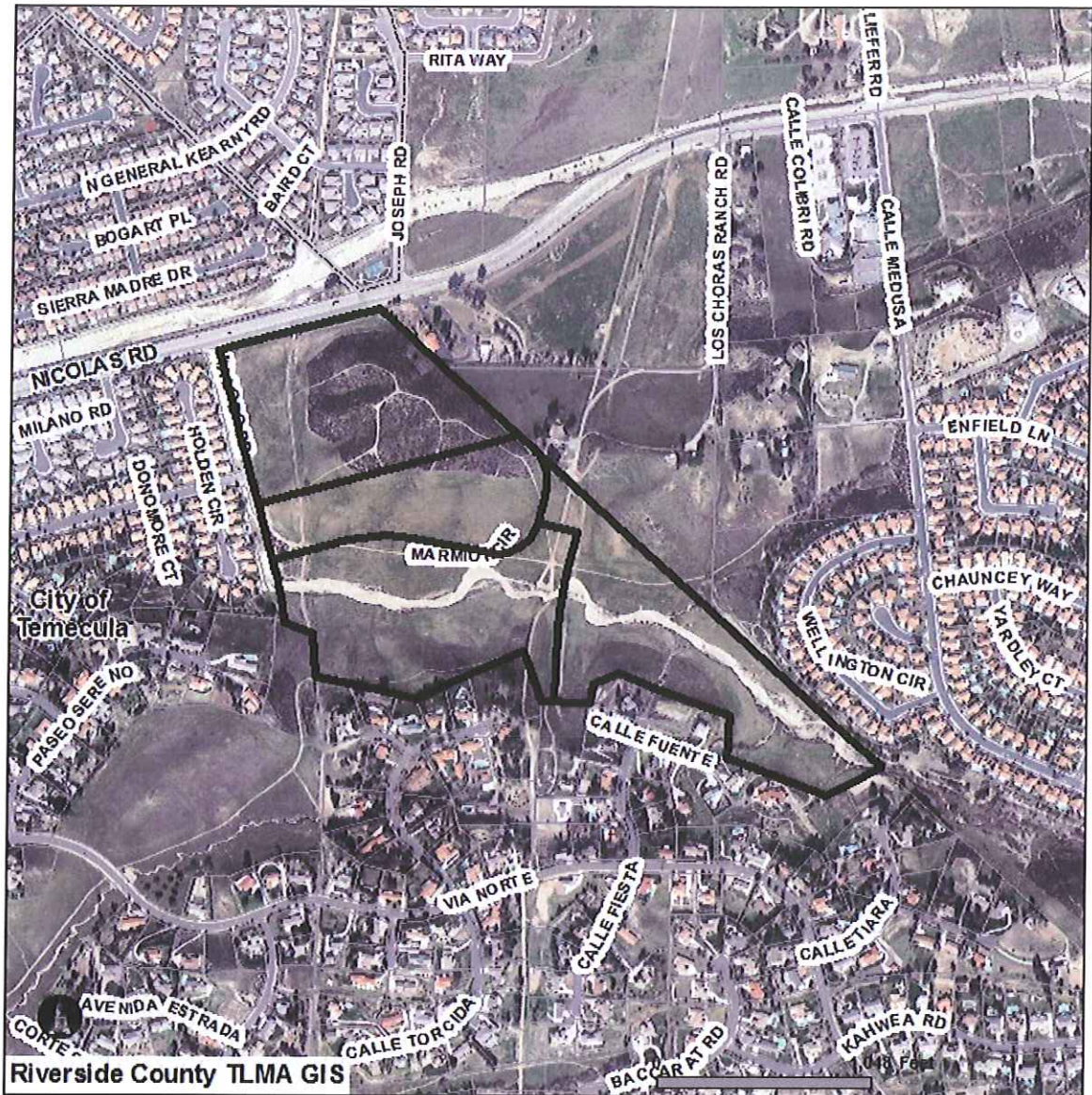
IMPORTANT

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REPORT PRINTED ON...Wed Apr 24 09:01:53 2013

Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):

919-350-017 919-350-018 919-350-019 919-350-020

LEGEND

- SELECTED PARCEL
- N INTERSTATES
- N HIGHWAYS
- PARCELS
- CITY

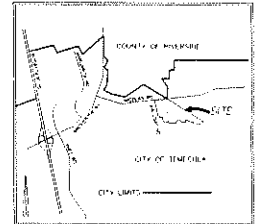
IMPORTANT

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REPORT PRINTED ON...Tue Apr 16 08:31:48 2013

Version 130225

ARBOR VISTA CITY OF TEMECULA, CA Conceptual Grading Plan



VICINITY MAP

LOT AREAS

LOT NUMBER	LOT AREA (SQ FT)	LOT NUMBER	LOT AREA (SQ FT)
1	7,261	47	5,336
2	7,261	48	5,336
3	7,261	49	5,336
4	7,261	50	5,336
5	7,261	51	5,336
6	7,261	52	5,336
7	7,261	53	5,336
8	7,261	54	5,336
9	7,261	55	5,336
10	7,261	56	5,336
11	7,261	57	5,336
12	7,261	58	5,336
13	7,261	59	5,336
14	7,261	60	5,336
15	7,261	61	5,336
16	7,261	62	5,336
17	7,261	63	5,336
18	7,261	64	5,336
19	7,261	65	5,336
20	7,261	66	5,336
21	7,261	67	5,336
22	7,261	68	5,336
23	7,261	69	5,336
24	7,261	70	5,336
25	7,261	71	5,336
26	7,261	72	5,336
27	7,261	73	5,336
28	7,261	74	5,336
29	7,261	75	5,336
30	7,261	76	5,336
31	7,261	77	5,336
32	7,261	78	5,336
33	7,261	79	5,336
34	7,261	80	5,336
35	7,261	81	5,336
36	7,261	82	5,336
37	7,261	83	5,336
38	7,261	84	5,336
39	7,261	85	5,336
40	7,261	86	5,336
41	7,261	87	5,336
42	7,261	88	5,336
43	7,261	89	5,336
44	7,261	90	5,336
45	7,261	91	5,336
46	7,261	92	5,336

RESIDENTIAL GROSS, NET & AVERAGE AREAS

TOTAL GROSS AREA: 18,000 SQ FT	TOTAL NET AREA: 12,000 SQ FT
AVERAGE GROSS: 180 SQ FT	AVERAGE NET: 120 SQ FT

LOT SIZE REQUIREMENTS

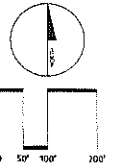
MINIMUM LOT SIZE: 10,000 SQ FT

LOT SUMMARY

Lot No.	Lot Area	Area
1-92	RESIDENTIAL	18,000
93-94	OPEN SPACE	400
95	PUBLIC PARK	200
96-97	WATER CHANNEL/RETENTION BASIN	100
98-99	PRIVATE STREET	200
100	PUBLIC STREET	200
TOTAL PROJECT AREA		19,000

LEGEND

PROJECT BOUNDARY	EXISTING EASEMENT
PROPOSED RIGHT OF WAY	EXISTING EASEMENT
PROPOSED LOT LINE	EXISTING EASEMENT
PROPOSED DRIVEWAY	EXISTING WATER
PROPOSED EASEMENT LINE	EXISTING SEWER
TOP OF SLOPE	LOT 100 WITH WATER MARK
BASE OF SLOPE	ARBITRARY DELINEATION
EASEMENT LINE	
PROPOSED EASEMENT	
RETAINMENT WALL	



PREPARED FOR: PREPARED BY:

APPLICANT: H&A
 RESIDENT PROPERTIES
 1000 SAN VICENTE BLVD SUITE 200
 LOS ANGELES, CA 90024
 P: (310) 555-1111
 ATTENTION: LARRY DUKH

MAP DATE: JANUARY 2012
 02/25/12

OCTOBER 25, 2012



PLAN 1
SPANISH



PLAN 2
CRAFTSMAN



PLAN 3
TRADITIONAL



PLAN 4
SPANISH



PLAN 1
CRAFTSMAN



PLAN 2
TRADITIONAL



PLAN 3
SPANISH



PLAN 4
CRAFTSMAN



PLAN 1
TRADITIONAL



PLAN 2
SPANISH



PLAN 3
CRAFTSMAN



PLAN 4
TRADITIONAL



11990 San Vicente Blvd., Suite 200
Los Angeles, CA 90049
Phone: 310-806-9800
Job #: 12038
Date: July 2, 2012
Plot Date: Jul 05, 2012
P:\Project\12038_Regent Properties - Nicovs 73\cra\01_00.dwg

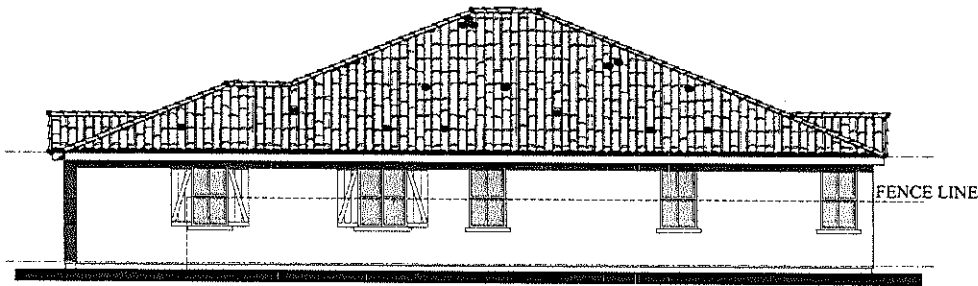
ARBOR VISTA

Tract# 36479
Temecula, CA

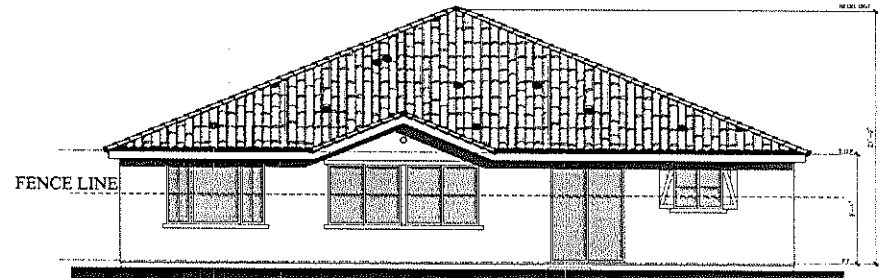
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KEVIN L. CROOK
ARCHITECT
INC.

1360 Reynolds Ave., Suite 110
Irvine, CA 92614
Phone: 949-660-1587



RIGHT ELEVATION

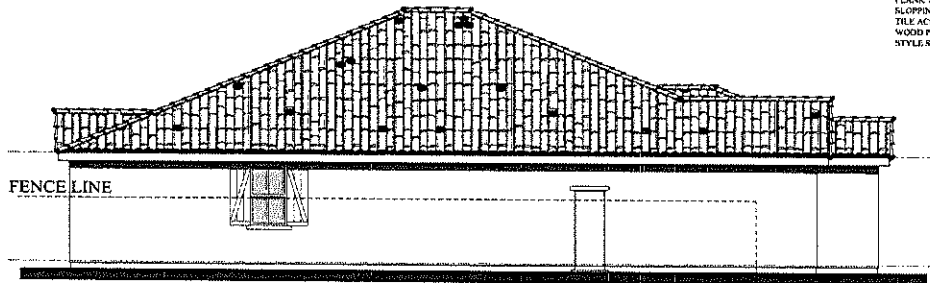


REAR ELEVATION

DESCRIPTION	SCHEME 1	SCHEME 2	SCHEME 3
PAINTS	1	1	1
ROOFING	1	1	1
WALLS	1	1	1
FLOORING	1	1	1
FIXTURES	1	1	1
LANDSCAPE	1	1	1
DETAILS	1	1	1

"SPANISH"

- ROOF: 5/12 PITCH 16" TYPE CONCRETE ROOF TILE
- WALLS: STUCCO
- FASCIA: WOOD
- EAVE: 3" STUCCO OVER FOAM
- DETAIL: 17" EAVES AND RAKES
- MULTI-PANED WINDOWS
- PLAIN 1" PIPE BULBETTES (AS OCCURS)
- SLOPPING SILLS (AS OCCURS)
- TILE ACCENT AT GARBLE ENDS (AS OCCURS)
- WOOD POSTS/CONCRETE WALLING AT DECK
- STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

PLAN 1
SPANISH

ARBOR VISTA
Tract# 36479
Temecula, CA



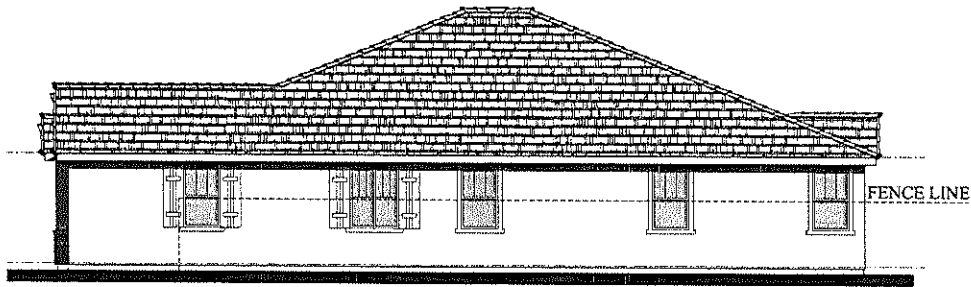
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Date: July 2, 2012

Plot Date: July 27, 2012
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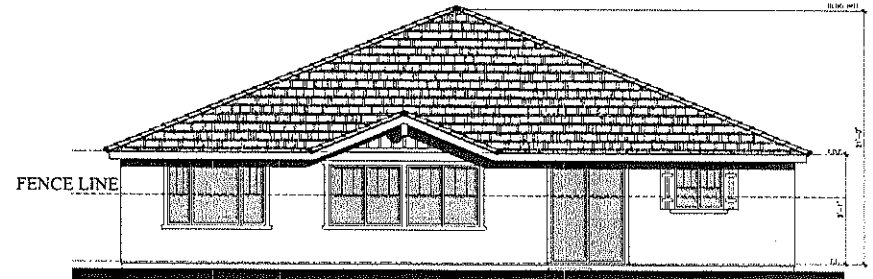
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RIGHT ELEVATION

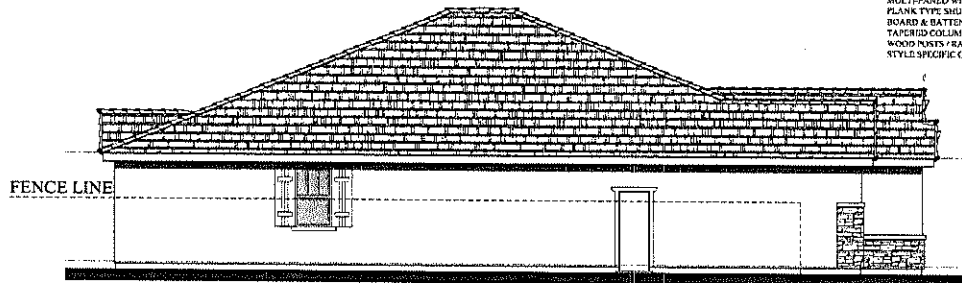


REAR ELEVATION

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	LSQ	1500	1500
2	FLOORING	1	LSQ	1000	1000
3	CEILING	1	LSQ	1000	1000
4	WALLS	1	LSQ	1000	1000
5	ROOFING	1	LSQ	1000	1000
6	PAINT	1	LSQ	1000	1000
7	LANDSCAPE	1	LSQ	1000	1000
8	STAIRS	1	LSQ	1000	1000
9	BATH	1	LSQ	1000	1000
10	KITCHEN	1	LSQ	1000	1000
11	LIVING	1	LSQ	1000	1000
12	DINING	1	LSQ	1000	1000
13	BEDROOM	1	LSQ	1000	1000
14	BEDROOM	1	LSQ	1000	1000
15	BEDROOM	1	LSQ	1000	1000
16	BEDROOM	1	LSQ	1000	1000
17	BEDROOM	1	LSQ	1000	1000
18	BEDROOM	1	LSQ	1000	1000
19	BEDROOM	1	LSQ	1000	1000
20	BEDROOM	1	LSQ	1000	1000
21	BEDROOM	1	LSQ	1000	1000
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40	BEDROOM	1	LSQ	1000	1000
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43	BEDROOM	1	LSQ	1000	1000
44	BEDROOM	1	LSQ	1000	1000
45	BEDROOM	1	LSQ	1000	1000
46	BEDROOM	1	LSQ	1000	1000
47	BEDROOM	1	LSQ	1000	1000
48	BEDROOM	1	LSQ	1000	1000
49	BEDROOM	1	LSQ	1000	1000
50	BEDROOM	1	LSQ	1000	1000

"CRAFTSMAN"

- ROOF: 5/12 PITCH FLAT "SHAKE" TYPE CONCRETE ROOF TILE
- WALLS: STUCCO
- FASCIA: WOOD W/ CORBELS (AS OCCURS)
- TRUSS: STEEL OVER FOAM CEMENTATION (AS OCCURS)
- DETAIL: 12" EAVES AND RAKES
- MULTI-PANED WINDOWS
- PLANK TYPE SHUTTERS (AS OCCURS)
- BOARD & BATTEN SIDING
- TAPERED COLLARS W/ STONE (AS OCCURS)
- WOOD POSTS / RAILINGS AT DECK
- STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

PLAN 1
CRAFTSMAN

ARBOR VISTA
Tract# 36479
Temecula, CA



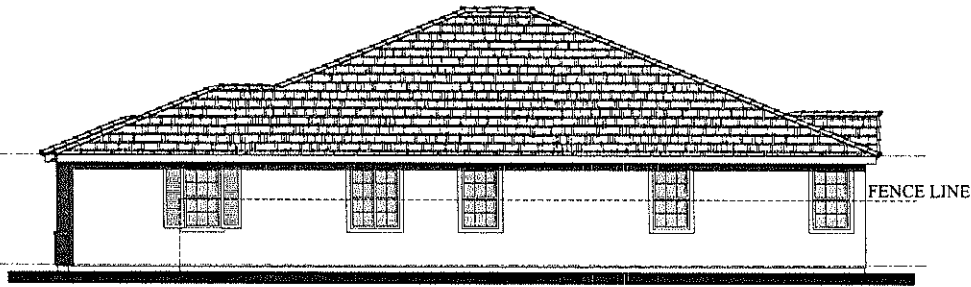
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Date: July 2, 2012

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P: 951.261.1100 F: 951.261.1101

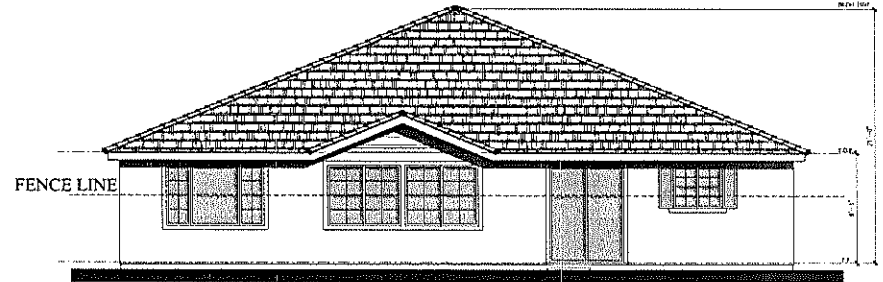
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RIGHT ELEVATION

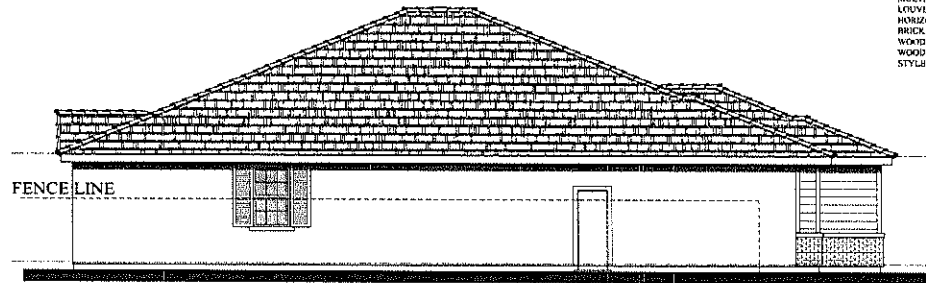


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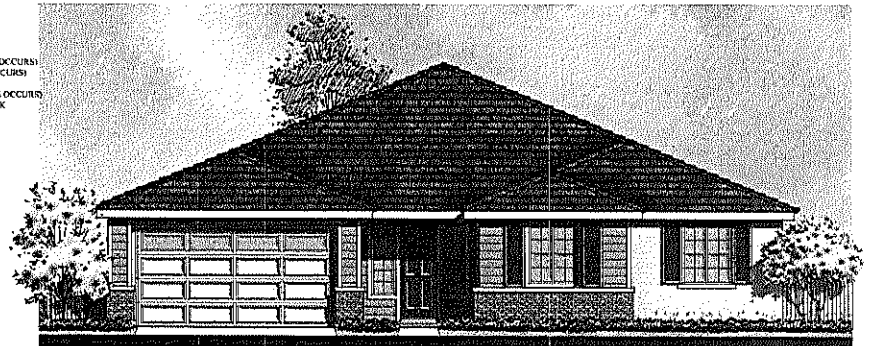
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TRADITIONAL	TRADITIONAL	TRADITIONAL	TRADITIONAL
BRICK VENTIL	BRICK VENTIL	BRICK VENTIL	BRICK VENTIL
WOOD POSTS	WOOD POSTS	WOOD POSTS	WOOD POSTS
WOOD RAILINGS	WOOD RAILINGS	WOOD RAILINGS	WOOD RAILINGS
WOOD DECK	WOOD DECK	WOOD DECK	WOOD DECK
WOOD GARAGE	WOOD GARAGE	WOOD GARAGE	WOOD GARAGE

"TRADITIONAL"

- ROOF: 5/12 PITCH FLAT "SLATE" TYPE CONCRETE ROOF TILE
- WALLS: STUCCO
- FASCIA: WOOD
- TRIM: STUCCO OVER FIBER CEMENT LATHING (AS OCCURS)
- DETAIL: 1 1/2" EAVES AND RAKES
- MULTI-PANED WINDOWS
- LOUVERED TYPE SHUTTERS (AS OCCURS)
- HORIZONTAL LAP SIDING (AS OCCURS)
- BRICK VENTIL (AS OCCURS)
- WOOD POSTS W/ BRICK BASE (AS OCCURS)
- STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

PLAN 1
TRADITIONAL

ARBOR VISTA
Tract# 36479
Temecula, CA



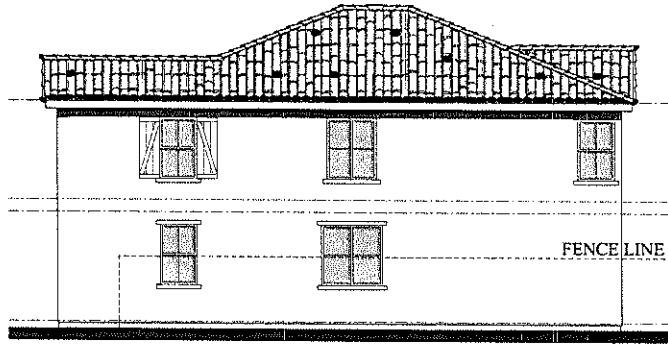
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Date: July 2, 2012

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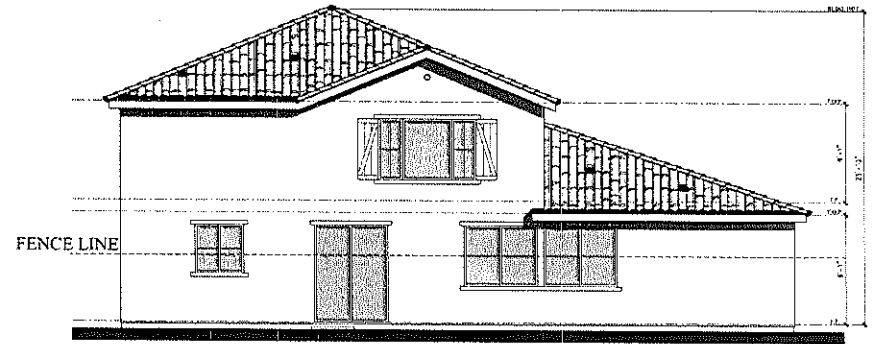
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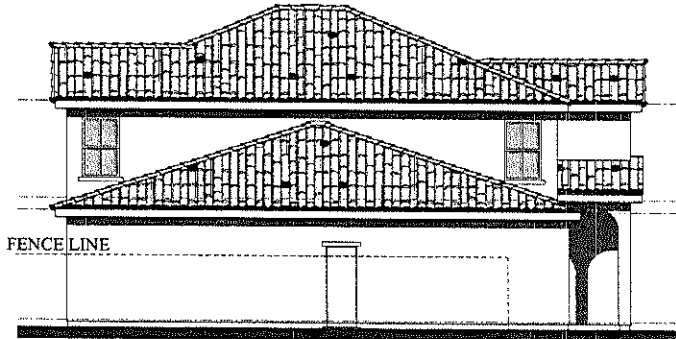


RIGHT ELEVATION



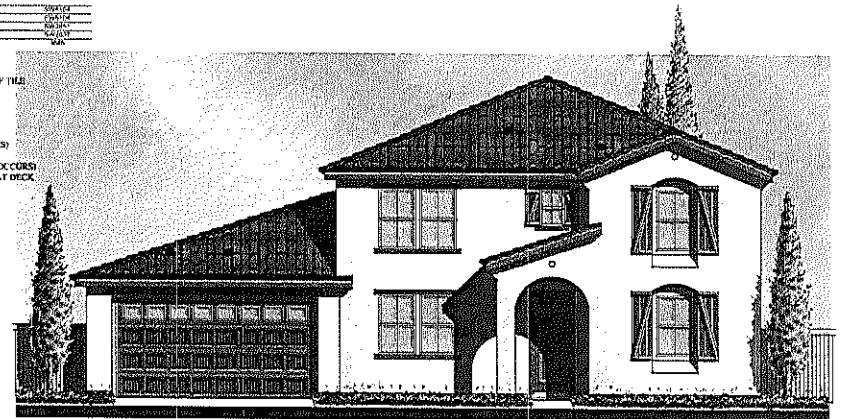
REAR ELEVATION

CALIFORNIA	SCHEMEL	SCHEMEL	SCHEMEL
ROOF	12	12	12
WALLS	12	12	12
FLOOR	12	12	12
CEILING	12	12	12
DOORS	12	12	12
WINDOWS	12	12	12
DETAIL	12	12	12



LEFT ELEVATION

"SPANISH"
 2:12 PITCH "N" TYPE CONCRETE ROOF TILE
 STUCCO
 WOOD
 STUCCO OVER 1/2" FASCIA
 12" TAVIS AND RAKIS
 MULTI-PANED WINDOWS
 PLANK TYPE SHUTTERS (AS OCCURS)
 SLOPPING SILLS (AS OCCURS)
 TILE ACCENT AT GABLE ENDS (AS OCCURS)
 WOOD POSTS CORNERS/GALLIES AT DECK
 STYLE RESPECTIVE GARAGE DOOR.



FRONT ELEVATION

REGENT PROPERTIES

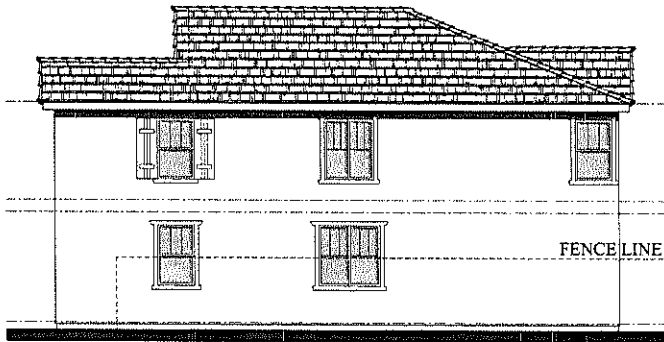
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PLAN 2
SPANISH
ARBOR VISTA
 Tract# 36479
 Temecula, CA

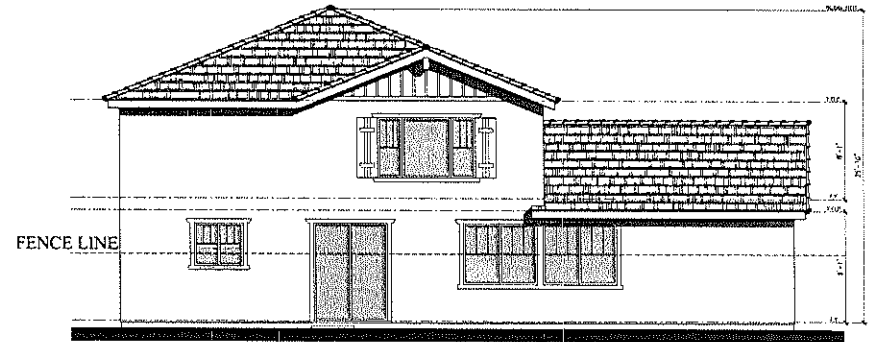
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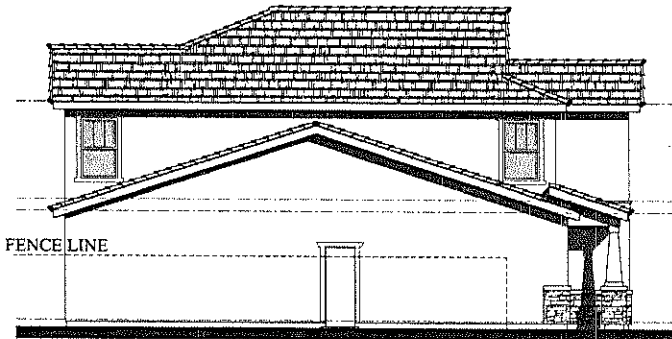


RIGHT ELEVATION



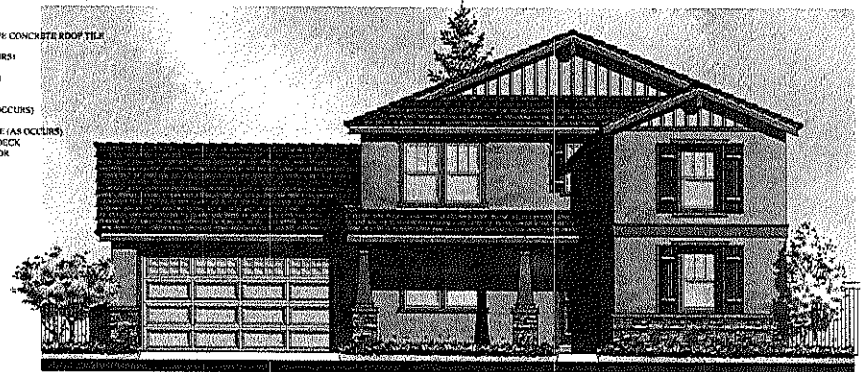
REAR ELEVATION

DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
FOUNDATION	1	sq ft	100.00	100.00
ROOFING	1	sq ft	100.00	100.00
WALLS	1	sq ft	100.00	100.00
FLOORING	1	sq ft	100.00	100.00
CEILING	1	sq ft	100.00	100.00
PAINT	1	sq ft	100.00	100.00
MECHANICAL	1	sq ft	100.00	100.00
ELECTRICAL	1	sq ft	100.00	100.00
PLUMBING	1	sq ft	100.00	100.00
LANDSCAPE	1	sq ft	100.00	100.00
STAMP	1	sq ft	100.00	100.00
ROCK	1	sq ft	100.00	100.00



LEFT ELEVATION

"CRAFTSMAN"
 5:12 PITCH FLAT "SHAKE" TYPE CONCRETE ROOF TILE
 STUCCO
 WOOD W/ CORNICES (AS OCCURS)
 STUCCO OVER FOAM
 CEMENTATION (AS OCCURS)
 12" EAVES AND BARKS
 MULTI-PANED WINDOWS
 PLANK TYPE SHUTTERS (AS OCCURS)
 BOARD & BATTEN SIDING
 TAPERED COLUMNS W/ STONE (AS OCCURS)
 WOOD POSTS / RAILINGS AT DECK
 STYLE SPECIFIC GARAGE DOOR



FRONT ELEVATION



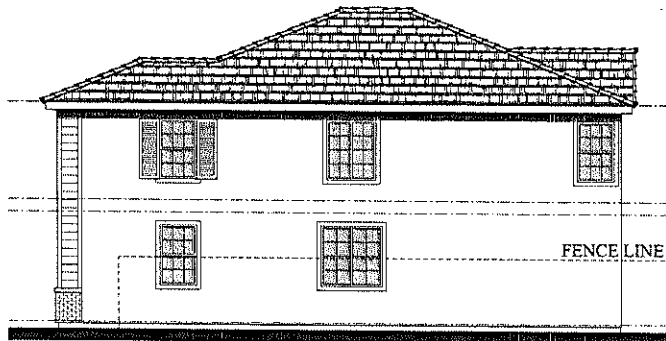
Job #: 12038
 Date: July 2, 2012
 10000 Regent Properties Blvd, Suite 100, San Diego, CA 92121

PLAN 2
 CRAFTSMAN
ARBOR VISTA
 Tract# 36479
 Temecula, CA

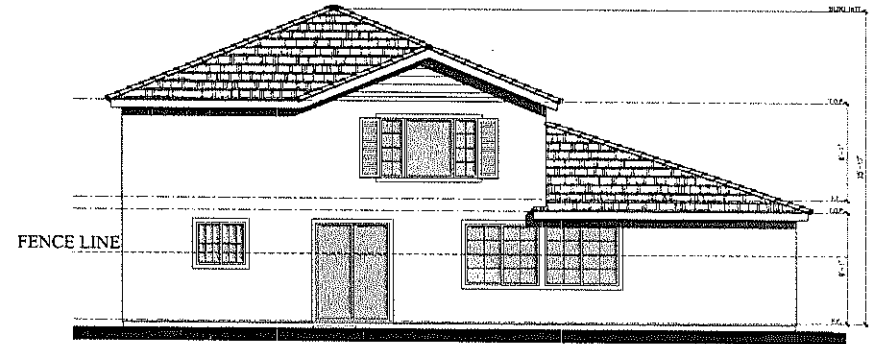
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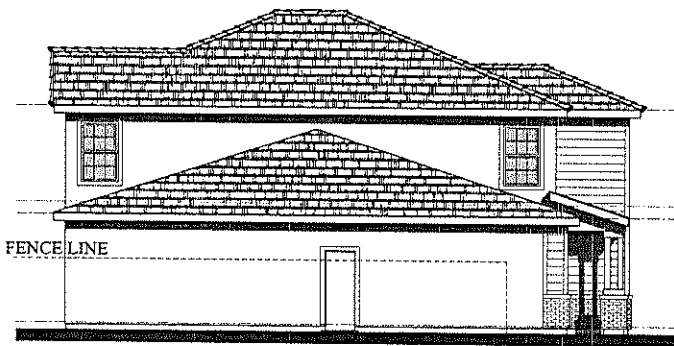
RIGHT ELEVATION



REAR ELEVATION

ELEVATION	SCHEDULE	ROOFING	ROOFING
EXTERIOR WALLS	101	101	101
EXTERIOR FLOORING	102	102	102
EXTERIOR FINISHES	103	103	103
EXTERIOR TRIM	104	104	104
EXTERIOR PAINT	105	105	105
EXTERIOR LIGHTING	106	106	106
EXTERIOR ACCESSORIES	107	107	107
EXTERIOR FURNITURE	108	108	108
EXTERIOR PLANTING	109	109	109
EXTERIOR LANDSCAPING	110	110	110
EXTERIOR UTILITIES	111	111	111
EXTERIOR SECURITY	112	112	112
EXTERIOR MAINTENANCE	113	113	113
EXTERIOR REPAIRS	114	114	114
EXTERIOR DEMOLITION	115	115	115
EXTERIOR CONSTRUCTION	116	116	116
EXTERIOR INSULATION	117	117	117
EXTERIOR VENTILATION	118	118	118
EXTERIOR SOUNDING	119	119	119
EXTERIOR ENERGY	120	120	120
EXTERIOR SUSTAINABILITY	121	121	121
EXTERIOR WELLNESS	122	122	122
EXTERIOR QUALITY	123	123	123
EXTERIOR VALUE	124	124	124
EXTERIOR RESILIENCE	125	125	125
EXTERIOR ADAPTABILITY	126	126	126
EXTERIOR FLEXIBILITY	127	127	127
EXTERIOR INCLUSIVITY	128	128	128
EXTERIOR EQUITY	129	129	129
EXTERIOR MOBILITY	130	130	130
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EXTERIOR ADAPTABILITY	137	137	137
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EXTERIOR VALUE	289	289	289
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EXTERIOR ADAPTABILITY	291	291	291
EXTERIOR FLEXIBILITY	292	292	292
EXTERIOR INCLUSIVITY	293	293	293
EXTERIOR EQUITY	294	294	294
EXTERIOR MOBILITY	295	295	295
EXTERIOR SAFETY	296	296	296
EXTERIOR SECURITY	297	297	297
EXTERIOR WELLNESS	298	298	298
EXTERIOR QUALITY	299	299	299
EXTERIOR VALUE	300	300	300

ROOF: 5/12 PITCH FLAT "SLATE" TYPE CONCRETE ROOF TILES
 WALLS: WOOD
 FASCIA: WOOD
 TRIM: WOOD
 DETAIL: STUCCO OVER FOAM CEMENTATION (AS OCCURS)
 12" EAVES AND RAKES
 MULTI-PANED WINDOWS
 LOUVERED TYPE SHUTTERS (AS OCCURS)
 HORIZONTAL LAP SIDING (AS OCCURS)
 BRICK VENEER (AS OCCURS)
 WOOD PORTS W/ BRICK BASE (AS OCCURS)
 WOOD PORTS / RAILINGS AT DECK
 STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

PLAN 2
 TRADITIONAL

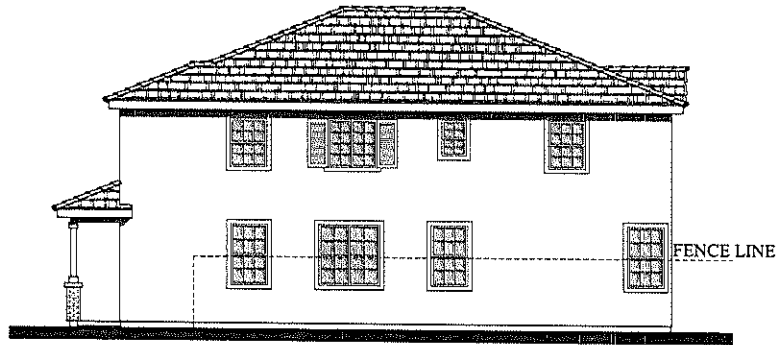
ARBOR VISTA
 Tract# 36479
 Temecula, CA

REGENT PROPERTIES

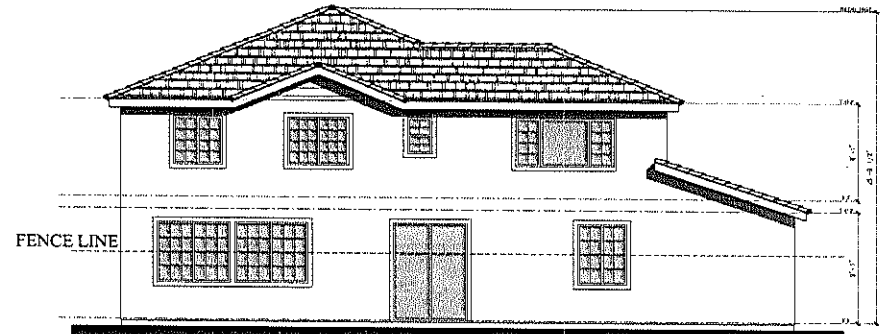
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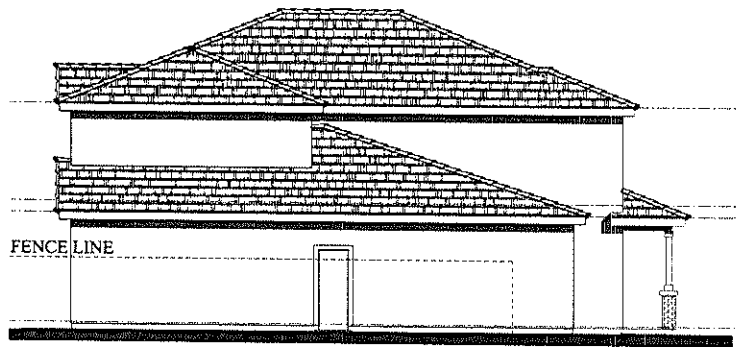
RIGHT ELEVATION



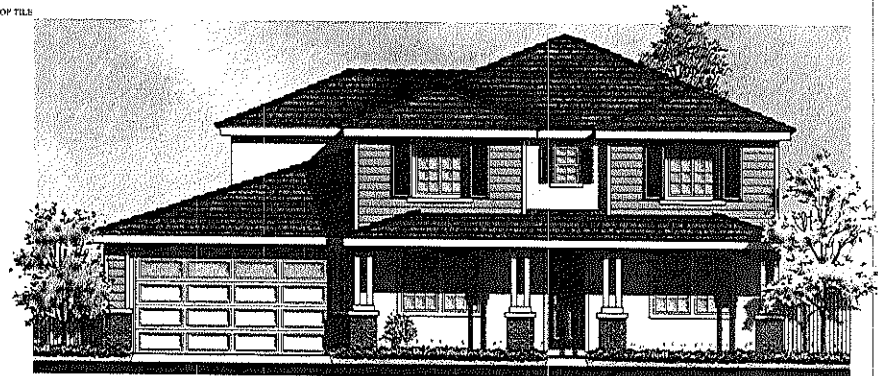
REAR ELEVATION

NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	sq ft	100.00	100.00
2	ROOF	1	sq ft	100.00	100.00
3	WALLS	1	sq ft	100.00	100.00
4	FLOOR	1	sq ft	100.00	100.00
5	CEILING	1	sq ft	100.00	100.00
6	DOORS	1	each	100.00	100.00
7	WINDOWS	1	each	100.00	100.00
8	TRIM	1	sq ft	100.00	100.00
9	PAINT	1	sq ft	100.00	100.00
10	LANDSCAPE	1	sq ft	100.00	100.00
11	ROOF SLATE	1	sq ft	100.00	100.00

"TRADITIONAL"
 1/2 PITCH FLAT "SLATE" TYPE CONCRETE ROOF TILE
 STUCCO
 WOOD
 STUCCO OVER FOAM
 CEMENT/TILES (AS OCCURS)
 1" EAVES AND RAKES
 MULTI-PANED WINDOWS
 HORIZONTAL LAP SIDING (AS OCCURS)
 HORIZONTAL LAP SIDING (AS OCCURS)
 BRICK VENEER (AS OCCURS)
 WOOD POSTS W/ BRICK BASK (AS OCCURS)
 WOOD POSTS / RAILINGS AT DECK
 STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

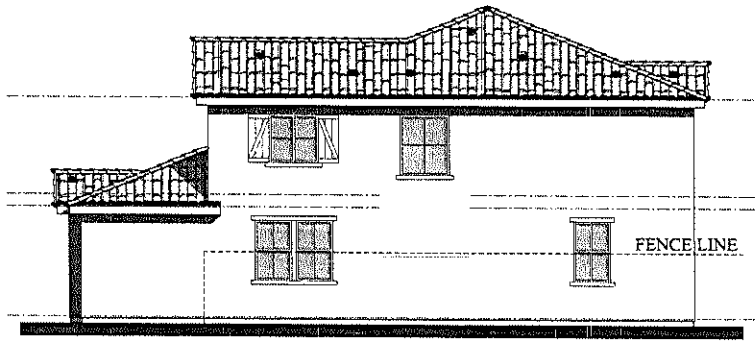
REGENT PROPERTIES

Job #: 12038
 Date: July 2, 2012
 Rev: 01/02/2012
 © March 2012 Regent Properties • Model: 12038-01 - 02/12

PLAN 3
 TRADITIONAL
ARBOR VISTA
 Tract# 36479
 Temecula, CA

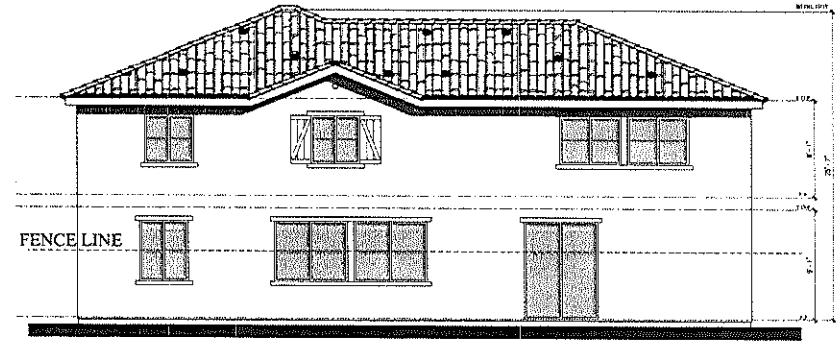
A3.10

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 INC.

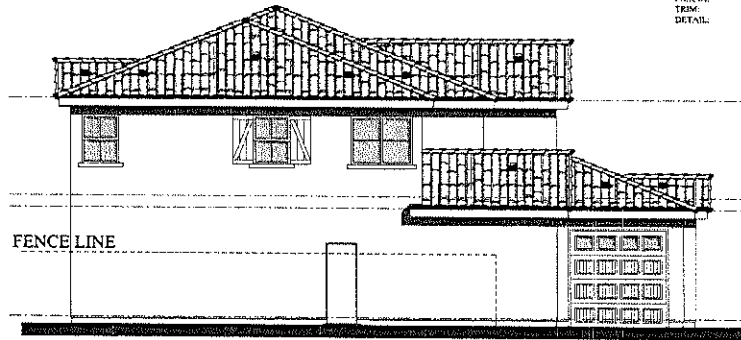


RIGHT ELEVATION

AS ELEVATION	SCHEDULE	SCHEDULE	SCHEDULE
SHIMMER	11		
CLADDING	12		
PAINT/STUCCO	13		
WOODWORK	14		
EXTERIOR	15		
GLASS/DOOR	16		
CEILING	17		
FLOOR	18		
ROOF	19		

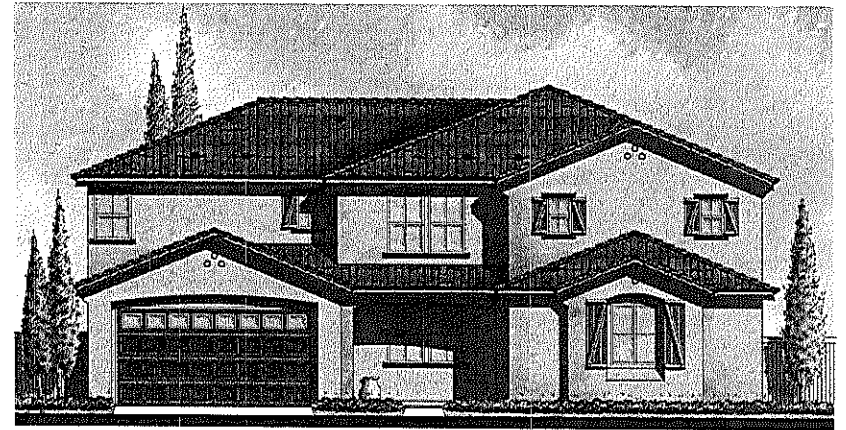


REAR ELEVATION



LEFT ELEVATION

"SPANISH"
 ROOF: 5:12 PITCH "S" 2 1/2" PE. CONCRETE ROOF TILE
 WALLS: STUCCO
 FANCA: WOOD
 TRIM: STUCCO OVER FOAM
 DETAIL: 1 1/2" EAVES AND RAKES
 MULTI-PANED WINDOWS
 PLANK TYPE SHUTTERS (AS OCCURS)
 SLOPPING SILLS (AS OCCURS)
 TILE ACCENT AT GARBLE UNOS (AS OCCURS)
 WOOD POSTS-CORNERS/RAILING AT DECK
 STYLE SPECIFIC GARAGE DOOR



FRONT ELEVATION

PLAN 4
 SPANISH

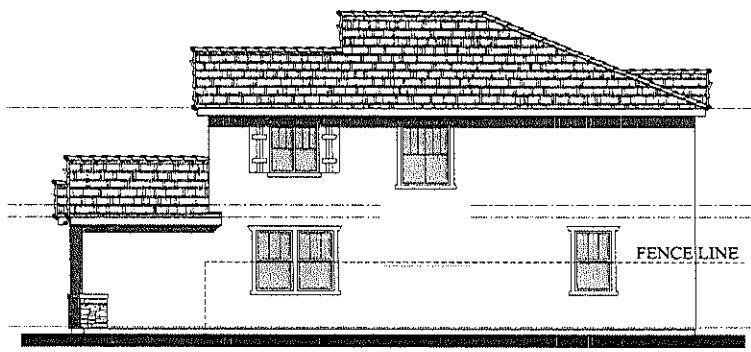
ARBOR VISTA
 Tract# 36479
 Temecula, CA



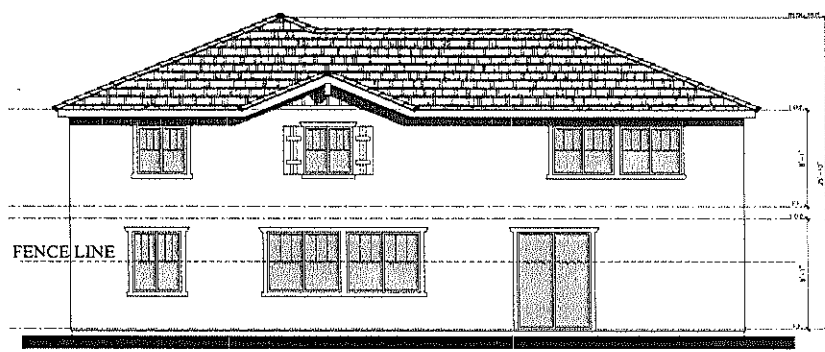
Job #: 12038
 Date: July 2, 2012
 Not Date: Jan 23, 2013
 4750 King of the Hill, Temecula, CA 92592

A4.3

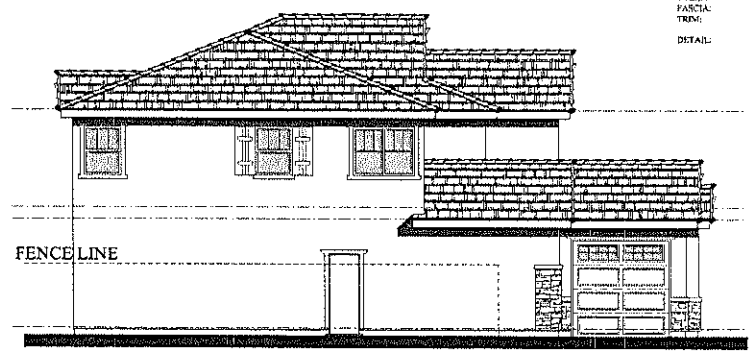
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 ARCHITECT
 INC.
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RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CEMENTATION	100	YD
2	CEMENTATION	100	YD
3	CEMENTATION	100	YD
4	CEMENTATION	100	YD
5	CEMENTATION	100	YD
6	CEMENTATION	100	YD
7	CEMENTATION	100	YD
8	CEMENTATION	100	YD
9	CEMENTATION	100	YD
10	CEMENTATION	100	YD
11	CEMENTATION	100	YD
12	CEMENTATION	100	YD
13	CEMENTATION	100	YD
14	CEMENTATION	100	YD
15	CEMENTATION	100	YD
16	CEMENTATION	100	YD
17	CEMENTATION	100	YD
18	CEMENTATION	100	YD
19	CEMENTATION	100	YD
20	CEMENTATION	100	YD
21	CEMENTATION	100	YD
22	CEMENTATION	100	YD
23	CEMENTATION	100	YD
24	CEMENTATION	100	YD
25	CEMENTATION	100	YD
26	CEMENTATION	100	YD
27	CEMENTATION	100	YD
28	CEMENTATION	100	YD
29	CEMENTATION	100	YD
30	CEMENTATION	100	YD
31	CEMENTATION	100	YD
32	CEMENTATION	100	YD
33	CEMENTATION	100	YD
34	CEMENTATION	100	YD
35	CEMENTATION	100	YD
36	CEMENTATION	100	YD
37	CEMENTATION	100	YD
38	CEMENTATION	100	YD
39	CEMENTATION	100	YD
40	CEMENTATION	100	YD
41	CEMENTATION	100	YD
42	CEMENTATION	100	YD
43	CEMENTATION	100	YD
44	CEMENTATION	100	YD
45	CEMENTATION	100	YD
46	CEMENTATION	100	YD
47	CEMENTATION	100	YD
48	CEMENTATION	100	YD
49	CEMENTATION	100	YD
50	CEMENTATION	100	YD

"CRAFTSMAN"
 ROOF: 5/12 PITCH FLAT "SHAKE" TYPE CONCRETE ROOF TILE
 WALLS: STUCCO
 WOOD W/ CORBELS (AS OCCURS)
 FASCIA: STUCCO OVER FOAM
 TRIM: STUCCO OVER FOAM
 CEMENTATION (AS OCCURS)
 12" EAVES AND RAKES
 MULTI-PANED WINDOWS
 PLANK TYPE SHUTTERS (AS OCCURS)
 BOARD & BATTEN SIDING (AS OCCURS)
 TAPERED COLUMNS W/ STONE (AS OCCURS)
 WOOD POSTS - RAILINGS AT DECK
 STYLE SPECIFIC GARAGE DOOR



FRONT ELEVATION

PLAN 4
 CRAFTSMAN

ARBOR VISTA
 Tract# 36479
 Temecula, CA

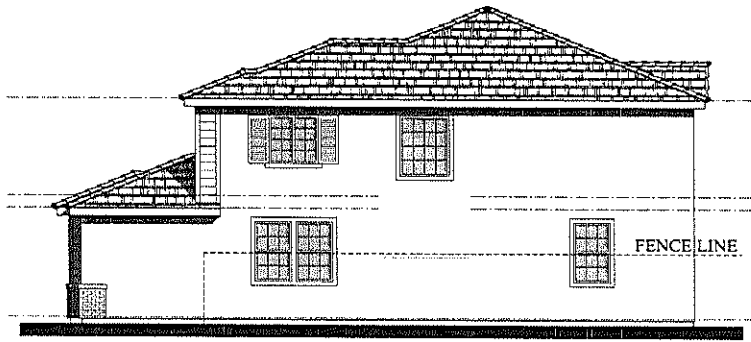


Job #: 12038
 Date: July 2, 2012

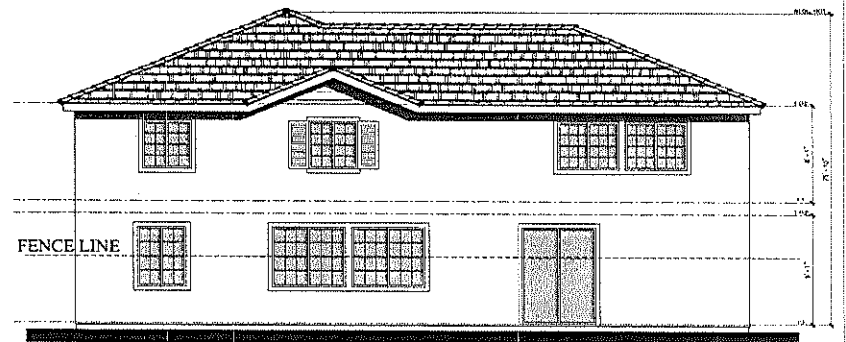
KEVIN L. CROOK
 ARCHITECT
 INC.

A4.6

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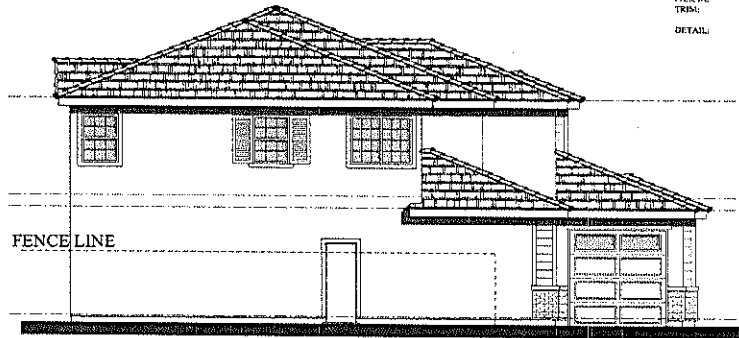
RIGHT ELEVATION



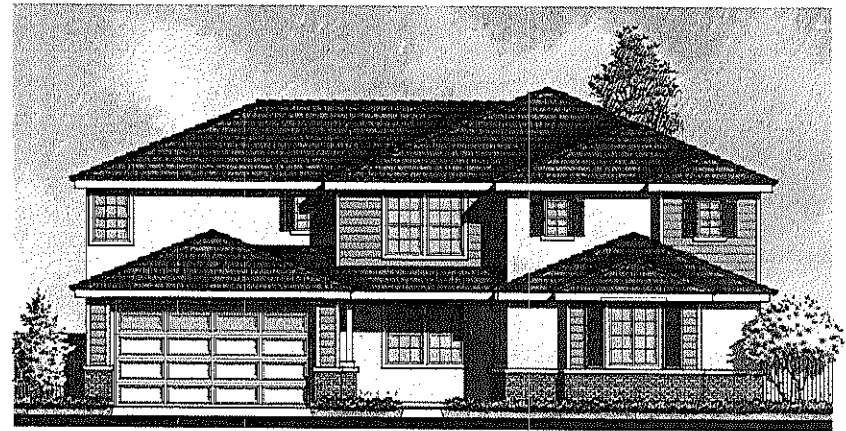
REAR ELEVATION

ELEVATION	SCHEMEL	SCHEMEL	SCHEMEL
RIGHT ELEVATION	12	13	14
REAR ELEVATION	15	16	17
LEFT ELEVATION	18	19	20
FRONT ELEVATION	21	22	23
ROOF PLAN	24	25	26

"CRAFTSMAN"
 ROOF: 5-12 PITCH FLAT "SHAKE" TYPE CONCRETE ROOF TILE
 WALLS: STUCCO
 FASCIA: WOOD (AS OCCURS)
 TRIM: STUCCO OVER FOAM
 CEMENT ATROUS (AS OCCURS)
 1" GAGES AND RANGES
 MULTI-PANED WINDOWS
 PLANK TYPE SHUTTERS (AS OCCURS)
 BOARD & BATTEN SIDING
 TAPERED COLUMNS W/ STONE (AS OCCURS)
 WOOD POSTS / RAILINGS AT DECK
 STYLE SPECIFIC GARAGE DOOR



LEFT ELEVATION



FRONT ELEVATION

REGENT PROPERTIES

Job #: 12038
 Date: July 2, 2012

PLAN 4
 TRADITIONAL

ARBOR VISTA
 Tract# 36479
 Temecula, CA

A4.9

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Temecula Municipal Code

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[Title 17 ZONING](#)
[Chapter 17.06 RESIDENTIAL DISTRICTS](#)

17.06.020 Description of residential districts.

A. Hillside Residential District (HR). The hillside residential zoning district is intended to provide for the development of very low density residential uses. These areas include properties that have severe constraints for development, such as hillside areas with slopes over twenty-five percent. Typical lot sizes in the HR district are in excess of ten net acres.

B. Rural Residential (RR). The rural residential zoning district is intended to provide for the development of single-family detached home on large lots with a distinct rural character. Some of these areas may include severe constraints for development, such as hillside areas with slopes over twenty-five percent. Typical lot sizes in the RR district are five acres and larger.

C. Very Low Density Residential (VL). The very low density residential zoning district is intended to provide for the development of single-family detached homes on large lots with a rural ranchette character of development. Typical lot sizes are two and one-half to five net acres.

D. Low Density Residential (L-1 and L-2). The low density residential zoning district is intended to provide for the development of single-family detached homes on larger lots with a custom character of development. In order to provide for compatibility with existing and future areas, the low density residential zoning district is further divided into the L-1 zoning district and the L-2 zoning district. Typical lot sizes in the L-1 zoning district are one to two and one-half net acres; the L-2 zoning district typically has lot sizes from one-half to one net acres.

E. Low Medium Density Residential (LM). The low medium density residential zoning district is intended to provide for the development of single-family homes. Typical density for the low medium density residential development is from three to six dwelling units per net acre, with a target density of four and one-half dwelling units per acre.

F. Medium Density Residential (M). The medium density residential zoning district is intended to provide for the development of attached and detached residential development. Typical housing types may include single-family, duplexes, triplexes, townhouses and patio homes, with a density range of seven to twelve dwelling units per acre.

G. High Density Residential (H). The high density residential zoning district is intended to provide for the development of attached residential developments. Typical housing types may include townhouses, stacked dwellings and apartments, with a density range of thirteen to twenty dwelling units per acre.

H. Hillside Residential-Santa Margarita (HR-SM). The hillside residential-Santa Margarita zoning district is intended to provide for development of very low density residential uses within the Santa Margarita area annexation boundaries. This includes properties that have severe development constraints such as areas with slopes over twenty-five percent, biological resources and limited emergency access. Typical lot sizes in the HR-SM district are equal to or greater than ten acres.

(Ord. 10-05 § 4; Ord. 08-15 § 4; Ord. 06-06 § 6(E); Ord. 05-07 § 4(A); Ord. 01-14 § 1 (part); Ord. 95-16 § 2 (part))

Temecula Municipal Code

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[Title 17 ZONING](#)

[Chapter 17.22 PLANNED DEVELOPMENT OVERLAY ZONING DISTRICT \(PDO-\)](#)

Article I. Generally

17.22.010 Purpose and intent.

The planned development overlay zoning district establishes a process to permit creative mixtures of uses in smaller areas where a specific plan or the village center overlay is not appropriate. The planned development overlay zoning district is intended to provide a mechanism to allow for flexibility in the development regulations and design standards and to allow mixtures of uses and clustering of land uses that are traditionally prohibited by conventional zoning. Through this flexibility in standards, many of the objectives of the general plan can best be achieved. The underlying assumption is that in certain areas any use could be permitted in conjunction with another use; provided, that through proper planning, buffering and design of the project the potential incompatibilities are mitigated or eliminated.

It is the intent of the planned development overlay zoning district to provide the opportunity for mixtures of residential, retail commercial and office uses within a project site or within a single structure. This mixture of land uses can provide residential and business activities areas where multiple activities and an increased degree of pedestrian orientation are considered to be desirable objectives and are beneficial to the community. Residential units located near retail, office or industrial uses can provide housing close to potential employment opportunities, and therefore, reduce vehicular commuting trips. (Ord. 95-16 § 2)

17.22.020 Where applicable.

A planned development overlay zoning district may be applied to any zoning district for sites that have a minimum area of one acre. (Ord. 95-16 § 2)

17.22.030 Permitted uses.

Permitted, accessory and conditional uses within a planned development are generally the same as those allowed within the underlying zoning districts. However, the planned development may include combinations of other uses that may complement the uses of the underlying zoning districts. The permitted uses shall be considered on a case-by-case basis and evaluated for consistency with the following criteria:

- A. The mixture of uses is consistent with the goals and policies of the general plan.
- B. The mixture of uses provides an increase in housing opportunities for community and implements the objectives of the housing element of the general plan.
- C. The planned development provides outstanding quality of planning and design and provides exceptional public benefits for the city.

(Ord. 95-16 § 2)

17.22.040 Procedures for approval.

The procedure for applying the planned development overlay zoning district to any properties shall be the same

as described in Section 17.03.050 for zoning amendments. When an application for a planned development overlay district is filed, the concurrent preparation and approval of a development plan may be required by the director of planning to ensure that all appropriate site development details and compatibility issues are addressed. (Ord. 99-24 § 5(H); Ord. 95-16 § 2)

17.22.050 Development standards.

The development standards for planned developments are generally the same as for the underlying zoning district. However, modifications to those standards may be approved in order to allow for greater flexibility in reaching the objectives of the development plan and the compatibility with the general plan. Variations to

the base standards shall be considered as a part of the review and approval of the planned development plan. (Ord. 95-16 § 2 (part))

17.22.060 Amendments to approved plans.

Amendments to approved planned development plans shall be made in the same procedure as followed when the plan was adopted. Any adopted planned development plan may also be repealed by the same procedure as the plan was originally adopted. Prior to the adoption of an ordinance to repeal and discontinue a planned development plan, the city council with a recommendation from the planning commission shall find that the plan is no longer necessary for the orderly and systematic implementation of the general plan. The repealing ordinance shall include provisions for the immediate application of appropriate zoning to the area covered by the repealed plan. (Ord. 96-19 § 2(NN); Ord. 95-16 § 2 (part))

17.22.070 Approved planned development overlays.

The following planned development overlays cannot be effectively incorporated into the municipal code, have been approved by the city and are designated on the official zoning map of the city: PDO-5 Temecula Village; PDO-6 Rancho Pueblo.

Future planned development overlays shall be numbered consecutively, whether incorporated into the municipal code or adopted as uncodified ordinances, and shown on the official zoning map of the city with the prefix "PDO." (Ord. 03-04 § 3)

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: May 9, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1050FV13 – Regent Nicolas 73, LLC – City Case Nos. PA12-0131 (General Plan Amendment), PA12-0132 (Zone Change), PA12-0133 (Tentative Map). PA12-0131 is a proposal to amend the City of Temecula General Plan land use designation on 73.3 acres located southerly of Nicolas Road and easterly of Via Lobo Road from Very Low Density Residential (VLDR) to Low Density Residential (LDR). PA12-0132 is a proposal to change the zoning of the site from Very Low Density Residential (VL) to Low Density Residential (L), with Planned Development Overlay (PDO), and to amend the text of the zoning ordinance to include the Arbor Vista PDO. PA12-0133 is a proposal to subdivide 73.3 acres into 83 single family residential lots, 2 open space lots, 1 lot for a public park, and 2 lots for water quality/detention. (Zone E of French Valley Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Matt Peters of the City of Temecula Planning Department, at (951) 694-6408.

919-350-017-020
REGENT NICOLAS 73
11990 SAN VICENTE #200
LOS ANGELES CA 90049

919-140-008
KENNETH MURPHY
28920 VIA NORTE
TEMECULA CA 92591

919-140-009
HENRY L & LISA STONE
747 10TH AVE #24K
NEW YORK NY 10019

919-190-002,003
LESTER M & EVELYN J STARBUCK
30691 LA SOMBRA CT
TEMECULA CA 92591

919-190-004
KEM E & KIM D MURRAY
30660 LA SOMBRA CT
TEMECULA CA 92591

919-190-005
ALBERT C & KATHERINE BLAIR
30680 LA SOMBRA CT
TEMECULA CA 92591

919-190-006
RAYMOND & KATE EVANS
30700 LA SOMBRA CT
TEMECULA CA 92591

919-190-007
TIMOTHY W DANIELS
40345 CALLE TORCIDA
TEMECULA CA 92591

919-190-008
WESLEY LANEY & LAUREN N
WOOLF
40321 CALLE TORCIDA
TEMECULA CA 92591

919-190-009
MICAH & JALEH NAASZ
40295 CALLE TORCIDA RD
TEMECULA CA 92591

919-190-010
STEVEN & LAURI HYINK
40294 CALLE TORCIDA
TEMECULA CA 92591

919-190-012
LUCILLE R GREEN
40320 CALLE TORCIDA
TEMECULA CA 92591

919-190-013
DANA R & NANCY A WEATHERLY
40340 CALLE TORCIDA
TEMECULA CA 92591

919-190-014
ANTHONY J & MARIA R BOYD
40380 CALLE TORCIDA
TEMECULA CA 92591

919-200-005
DAVID J & CHERYL N LANGLEY
40451 CALLE FIESTA
TEMECULA CA 92591

919-200-006
LAWSON R & SANDRA K CHEW
43811 BARLETTA ST
TEMECULA CA 92592

919-200-007
DEAN L & DIANNE J ELLIOTT
40435 CALLE FIESTA
TEMECULA CA 92591

919-200-008
BRIAN J & CORREEN K WINTER
40415 CALLE FIESTA
TEMECULA CA 92591

919-200-009
STEVEN W & DEBORAH J CLEMENS
40395 CALLE FIESTA AVE
TEMECULA CA 92591

919-200-010
RONALD SANTARSIERO
2270 CROSS ST
LA CANADA FLINTRIDGE CA 91011

919-200-016
ROBERT THEODORE COFFMAN
40436 CALLE FIESTA
TEMECULA CA 92591

919-230-003
DAVID HOLT & BARBARA GALE
BURKETT
31020 VIA NORTE RD
TEMECULA CA 92591

919-230-004
HARM WIJMA
31040 VIA NORTE
TEMECULA CA 92591

919-230-005
THEO H & ADRIENNE C VANDUN
31060 VIA NORTE RD
TEMECULA CA 92591

919-230-006
KELLY G GILL
31080 VIA NORTE RD
TEMECULA CA 92591

919-230-009
DANIELLE HAAHR
27461 DIAZ RD
TEMECULA CA 92590

919-230-013
SAMUEL D & ADA L BLAGOVICH
30970 CALLE FUENTE
TEMECULA CA 92591

919-230-014
RAYMOND J & SUSAN F STANN
30980 CALLE FUENTE
TEMECULA CA 92591

919-230-015
DANIEL ANTHONY POMPEO
30979 CALLE FUENTE
TEMECULA CA 92591

919-230-018
JOHN R & LISA J ZICK
30989 CALLE FUENTE
TEMECULA CA 92591

919-230-020
KEVEN JAMES & MICHELLE MARIE
PORTER
40460 CALLE TIARA
TEMECULA CA 92591

919-230-021
GABRIEL & RUBY ESCARSEGA
30969 CALLE FUENTE
TEMECULA CA 92591

919-230-023
CARL J & DIANE S PINKARD
40472 CALLE TIARA
TEMECULA CA 92591

919-350-009
MEADOWVIEW COMMUNITY ASSN 1
41050 AVENIDA VERDE
TEMECULA CA 92591

919-362-051
GILBERTO & ERICA GARIBAY
40187 HOLDEN CIR
TEMECULA CA 92591

919-362-052
WEAVER & JONA LEE
40167 HOLDEN CIR
TEMECULA CA 92591

919-362-053
ERIC ELIZALDE
40147 HOLDEN CIR
TEMECULA CA 92591

919-362-054
SAEED KHOSHNEVIS
7 TREETHORNE CIR
LAGUNA NIGUEL CA 92677

919-362-055
LUIS XAVIER & EVELYN M ROLDAN
40107 HOLDEN CIR
TEMECULA CA 92591

919-362-056
RICHARD YIAP
23878 SKYLINE
MISSION VIEJO CA 92692

919-362-057
ANDREW VARTOUGUIAN
40067 HOLDEN CIR
TEMECULA CA 92591

919-362-058
MATTHEW MAKAREM
40047 HOLDEN CIR
TEMECULA CA 92591

919-362-059
CHERISH NICOLE MIRANDA
40027 HOLDEN CIR
TEMECULA CA 92591

919-362-060
FERDINAND A & MARIA I SCHRADER
40007 HOLDEN CIR
TEMECULA CA 92591

919-362-061
RICHARD C & LYNNE S SHERIDAN
40010 HOLDEN CIR
TEMECULA CA 92591

919-362-062
RANDY ALE & MARIA AVELYN
ROSE RO
40030 HOLDEN CIR
TEMECULA CA 92591

919-362-063
CHRISTINA TAYLOR
40701 CALLE CACION
TEMECULA CA 92592

919-362-064
MONICA M MCGRATH
40070 HOLDEN CIR
TEMECULA CA 92591

919-362-065
SHARRON LEA REED
40090 HOLDEN CIR
TEMECULA CA 92591

919-362-066
JEREMY & RACHEL D BRANDT
40110 HOLDEN CIR
TEMECULA CA 92591

919-362-067
ROSEMARY PENA
40130 HOLDEN CIR
TEMECULA CA 92591

919-362-068
ANTONIO COLON
1782 FELICITA LN
VISTA CA 92083

919-362-069
ALBERT M & JAMIE L RICKARD
40170 HOLDEN CIR
TEMECULA CA 92591

919-362-070
STEVEN & SANDRA PAINTER
40190 HOLDEN CIR
TEMECULA CA 92591

919-362-071/919-370-049/919-461-065
CITY OF TEMECULA
P O BOX 9033
TEMECULA CA 92589

919-370-032
JUAN MANUEL A OROZCO
40207 HOLDEN CIR
TEMECULA CA 92591

919-370-033
LUC DU
40213 HOLDEN CIR
TEMECULA CA 92591

919-370-034
BLANCA CONTRERAS
40219 HOLDEN CIR
TEMECULA CA 92591

919-370-035
BRYAN A WODWARD
40225 HOLDEN CIR
TEMECULA CA 92591

919-370-036
CHARLES GERARD & KARYL LESLEE
CHANSKY
40231 HOLDEN CIR
TEMECULA CA 92591

919-370-037
GREG L & KRISTA S COOPER
40237 HOLDEN CIR
TEMECULA CA 92591

919-370-038
ANH TRONG NGUYEN
10192 HUMBOLT ST
LOS ALAMITOS CA 90720

919-370-039
RICK M & DEBRA M SCHEELE
40251 HOLDEN CIR
TEMECULA CA 92591

919-370-040
BRIAN T & JOANNE L HARNED
40252 HOLDEN CIR
TEMECULA CA 92591

919-370-041
WARREN J & ELIZABETH A BAMSEY
40246 HOLDEN CIR
TEMECULA CA 92592

919-370-042
JOHN P & SUZANNE D ZYCHOWICZ
40242 HOLDEN CIR
TEMECULA CA 92591

919-370-043
PAUL I & CINTIA C G VADAS
40236 HOLDEN CIR
TEMECULA CA 92591

919-370-044
VICTOR J & SUSAN M RAMIREZ
40230 HOLDEN CIR
TEMECULA CA 92592

919-370-045
ROBERT W ELDER
40224 HOLDEN CIR
TEMECULA CA 92591

919-370-046
THOMAS MICHAEL & KATHLEEN
ANN EATON
40218 HOLDEN CIR
TEMECULA CA 92591

919-370-047
ROBERT C & ELIZABETH A MANTHEI
5114 BLOCH ST
SAN DIEGO CA 92122

919-370-048
JACK L & LINDA C BACON
40206 HOLDEN CIR
TEMECULA CA 92591

919-461-043
WARNER E & EDNA ARLINE BOSTON
1542 E WORKMAN AVE
WEST COVINA CA 91791

919-461-044
MICHAEL J LOGUE
30549 SIERRA MADRE DR
TEMECULA CA 92591

919-461-045
GUILLERMINA ESCOBEDO
30541 SIERRA MADRE DR
TEMECULA CA 92591

919-461-046
DOUGLAS L & LUCILLE L MCGHEE
30531 SIERRA MADRE DR
TEMECULA CA 92591

919-461-047
THOMAS GEORGE & JEANNIE LYNN
IPPOLITO
30523 SIERRA MADRE DR
TEMECULA CA 92591

919-461-048
JERRY N & BAY C ARTEAGA
30513 SIERRA MADRE DR
TEMECULA CA 92591

919-461-049
ROSALIE R LOAIZA
30505 SIERRA MADRE DR
TEMECULA CA 92591

919-461-050
TIFFANY M & JOHN P RODRIGUEZ
30495 SIERRA MADRE DR
TEMECULA CA 92591

919-461-051
SANTANYA N CARTER FAHIE
30485 SIERRA MADRE DR
TEMECULA CA 92591

919-461-052
ALAN D & MELINDA C PEDLAR
1112 VIA MALIBU
APTOS CA 95003

919-461-053
SONIA CERVANTES
30475 SIERRA MADRE DR
TEMECULA CA 92591

919-461-066/957 080 015,023
COUNTY OF RIVERSIDE
P O BOX 1180
RIVERSIDE CA 92502

957-080-016
LAWRENCE T & HELEN N LASAGNA
P O BOX 1136
TEMECULA CA 92593

957-080-019
NT SERAPHINA DEVELOPM
1584 MCNEIL ST #200
DUPONT WA 98327

957-170-004
ROBERT C & MARY LEE JONES
P O BOX 890343
TEMECULA CA 92589

957-170-037
J & L PROP
22865 LAKE FOREST DR
EL TORO CA 92630

957-190-001
BARBARA DAVIS
10161 BRIER LN
SANTA ANA CA 92705

957-201-001
JOHN L & SHARON A BREYER
40335 CALLE MEDUSA
TEMECULA CA 92591

957-201-002
MARY BARBER
31172 WELLINGTON AVE
TEMECULA CA 92590

957-201-003
MARIO & SUSAN MOJARRO
31160 WELLINGTON CIR
TEMECULA CA 92591

957-201-004
ELTON M & JACQUELINE M BARBER
31148 WELLINGTON CIR
TEMECULA CA 92591

957-201-005
JOHN M & MELODIE A SCHNEIDER
31136 WELLINGTON CIR
TEMECULA CA 92591

957-201-006
MARY ANN MCDEARMON
31124 WELLINGTON CIR
TEMECULA CA 92591

957-201-007
DAVID W & SHANNON O WALTER
31112 WELLINGTON CIR
TEMECULA CA 92591

957-201-008
JOHN M & MARILYN SPERO
31100 WELLINGTON CIR
TEMECULA CA 92591

957-201-009
JOE OLIVER & LAURA LEE
STEVENSON
31088 WELLINGTON CIR
TEMECULA CA 92591

957-201-010
EMILY ANNE P & RICHARD MARK
WALLEN
31076 WELLINGTON CIR
TEMECULA CA 92591

957-201-011
DALLAS R & DAWN M ELEK
31064 WELLINGTON CIR
TEMECULA CA 92591

957-201-012
CHRIS A & LESLEA R PEDERSEN
31052 WELLINGTON CIR
TEMECULA CA 92591

957-201-013
ELIZABET IRENE PANAWASH
31040 WELLINGTON CIR
TEMECULA CA 92591

957-201-014
STEVEN W & NANCY C MATSEN
31028 WELLINGTON CIR
TEMECULA CA 92591

957-201-015
JOHN P & MEGAN GRANLUND
31016 WELLINGTON CIR
TEMECULA CA 92591

957-201-016
JAMES G & ELECTRA DEMOS
31004 WELLINGTON CIR
TEMECULA CA 92591

957-201-017
MICHAEL CHAPMAN
30992 WELLINGTON CIR
TEMECULA CA 92591

957-201-018
GREG BRINGHURST
P O BOX 890904
TEMECULA CA 92589

957-201-029
CARLOS M & PATRICIA R ESQUIVEL
40347 CALLE MEDUSA
TEMECULA CA 92591

957-202-007
HERMAN E & PATRICIA J OWEN
30993 WELLINGTON CIR
TEMECULA CA 92591

957-202-008
DARRELL & JUDITH ROBERTSON
31015 WELLINGTON CIR
TEMECULA CA 92591

957-202-009
CLAIR R & SANDRA D CLARK
31041 WELLINGTON CIR
TEMECULA CA 92591

957-202-010
ROSAMARIA KILIAN
31065 WELLINGTON CIR
TEMECULA CA 92591

957-202-011
RICHARD A & LYNDA M NORRIS
31077 WELLINGTON CIR
TEMECULA CA 92591

957-202-012
MANUEL HUERTAS
31089 WELLINGTON CIR
TEMECULA CA 92591

957-202-013
MARVIN G & PENNY J SARGENT
31101 WELLINGTON CIR
TEMECULA CA 92591

957-202-014
WILLIAM M & LITTLET V
WESTMORELAND
31113 WELLINGTON CIR
TEMECULA CA 92591

957-202-015
ARMANDO A & MARGIE M
MALANGA
31125 WELLINGTON CIR
TEMECULA CA 92591

957-202-016
ST OLIVEIRA LIVING TRUST
31159 WELLINGTON CIR
TEMECULA CA 92591

957-241-011
WILLIAM S & CONNIE J MCKEOWN
40359 CALLE MEDUSA
TEMECULA CA 92591

Regent Nicolas 73, LLC
1990 San Vicente Blvd., Ste. 200
Los Angeles, CA 90049

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Los Angeles, CA 90049

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Los Angeles, CA 90049

Regent Nicolas 73, LLC
1990 San Vicente Blvd., Ste. 200
Los Angeles, CA 90049

*Regent Nicolas 73, LLC
is the owner, agent
& representative.*

Thanks.

City of Temecula
41000 Main Street
Temecula, CA 92590
Attn: Matt Peters

City of Temecula
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Temecula, CA 92590
Attn: Matt Peters

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Temecula, CA 92590
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City of Temecula
41000 Main Street
Temecula, CA 92590
Attn: Matt Peters

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1050FV13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application February 11, 2013
 Property Owner Regent Nicolas 73, LLC Phone Number 310-806-9818
 Mailing Address 11990 San Vicente Blvd., Suite 200
Los Angeles, CA 90049

Agent (if any) _____ Phone Number _____
 Mailing Address _____

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address SEC of Nicolas Road and Via Lobo Road, Temecula, CA
 Assessor's Parcel No. 919-350-017-3, 919-350-018-4, 919-350-019-5, 919-350-020-5 Parcel Size 73.3 Acres
 Subdivision Name Arbor Vista Zoning _____
 Lot Number PARCELS 1 THROUGH 4 INCLUSIVE, TOGETHER WITH LETTERED LOTS B THROUGH H INCLUSIVE Classification _____

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use Vacant Land, Zoned Very Low Density Residential
 (describe) _____

Proposed Land Use 83 Lot Residential Subdivision Zoned Low Density Residential
 (describe) _____

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 83
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) _____ **Maximum Height - 25 ft.**
 Highest Elevation (above sea level) of Any Object or Terrain on Site _____ **ft.**

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No

If yes, describe _____

F.V

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received	_____	Type of Project
Agency Name	<u>City of Temecula</u>	<input checked="" type="checkbox"/> General Plan Amendment
Staff Contact	<u>Matt Peters</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Phone Number	<u>(951) 694-6408</u>	<input checked="" type="checkbox"/> Subdivision Approval
Agency's Project No.	<u>PA12-0131-General Plan Amendment</u>	<input type="checkbox"/> Use Permit
	<u>PA12-0132-Zone Change, PA12-0133-Tentative Map</u>	<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other _____

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____
Primary Criteria Review	Compatibility Zone(s) <input type="checkbox"/> A <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> Ht.
	Allowable (not prohibited) Use? <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Density/Intensity Acceptable? <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Open Land Requirement Met? <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Height Acceptable? <input type="checkbox"/> Yes <input type="checkbox"/> No _____
	Easement/Deed Notice Provided? <input type="checkbox"/> Yes <input type="checkbox"/> No _____

Special Conditions	Describe: _____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	

	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	

**ATTACHMENT A
SECTION I. JUSTIFICATION OF PROPOSAL**

The following provides the justifications as required per Section I of the Land Use Amendments: General Plan, Zoning and Specific Plans application.

Arbor Vista is a proposal for a 83-unit residential community on 73.3-acres that clusters development in a 30.1-acre area in order to preserve the Santa Gertrudis Creek as natural open space, avoid the 100-year flood plain, improve drainage and water quality, and provide 42.2-acres of public and private recreation and open space area.

Implementation of Arbor Vista requires the following amendments to the Zoning Map, Zoning Code text, and General Plan map:

- Amend the Zoning Map to add the Planned Development Overlay (PDO).
- Amend the text of the Zoning Code to add the Arbor Vista Planned Development Overlay district.
- Amend the General Plan map to change the land use designation from Very Low Density Residential (0.2-0.4 Du/Ac Max) to Low Density Residential (0.5-2Du/Ac Max)

These amendments are justified due to the following:

ZONING AMENDMENT

1. Compatibility with Surrounding Land Uses: The 73-acre parcel is adjacent to Very Low Density Residential designated subdivisions the south and east and Low Medium Density Residential designated subdivisions to the north and west. On a gross basis, the proposed PDO overlay would allow one dwelling unit per gross acre clustered onto 41% of the site while designating 57% of the site as open space and recreation and preserving the Santa Gertrudis Creek.

The proposed development meshes with the character, density, and uses of surrounding residential development. In fact, as the attached sections show, Arbor Vista is largely screened from surrounding development and it will not be possible to get a sense of the scale or density of development from the surrounding properties. The northern edge of Arbor Vista, adjacent to Nicolas Road, is 771' long and would contain two residential lots totaling 212 linear feet while the remaining 559' would be devoted to a public park, a detention basin, and the distinctively designed entry. The northern side of Nicolas Road contains a bike path, a park, and a concrete-sided drainage channel with a residential subdivision designated as Low Medium Density Residential beyond. The western edge of Arbor Vista, which is adjacent to Via Lobo Road and abuts a residential subdivision designated as Low Medium Density Residential, contains a detention basin, landscaped slope, and a park. Six residential lots are located along this side of Arbor Vista but set back a minimum of 27' from the Via Lobo Road right-of-way. The eastern edge, which is 3330 linear feet and abuts property designated and developed as Very Low Density Residential, is devoted entirely to open space except for portions of four residential lots. The southern edge of Arbor Vista is natural open space preserving the Santa Gertrudis Creek.

Finally, Nicolas Road would be landscaped and treated in a manner consistent with the Nicolas Valley Design Guidelines.

2. Quality of Life: The proposed amendments allow a slight increase in density, which would be clustered on the northern section of the site in order to preserve the natural water course on the southern edge of the project, and allow for the improvement of regional drainage and water quality and the provision of a portion of the regional trail and public and private parks, which will enhance the quality of life not only for Arbor Vista residents, but for the entire community.

By clustering development on the site, 83 residential lots can be developed on 30 acres of the site, allowing for the preservation of 37 acres of the site for open space and approximately 4 acres for park space. The plan also includes a proposed public regional trail that will connect with the City's Trail Plan.

Furthermore, the proposed development area is situated so that development will not be clearly visible from the Nicolas or Via Lobo Roads due to the uses proposed along the edges (discussed above) and elevation of the site (see attached sections). As a result, views of the site from surrounding properties will not be negatively impacted.

The proposed amendments allows for development to be clustered on the northern section of the site while preserving the natural water course in the southern section. The proposed development would include approximately one-acre of detention basins that would improve drainage in the area, reduce water volumes flowing directly into the creek thereby reducing flood threats, and function as a filter for pollutants and sediment prior to entering the creek.

3. Infrastructure: The proposed 83-unit development area will provide new water, sewer, and roadway infrastructure and result in needs for city services, such as police and fire. However, the proposal is for an additional 54 lots above what would be permitted by the existing zoning, which would not represent a significant increase in demand. The provision of parks, a regional trail, preservation of Santa Gertrudis Creek, and flood and drainage improvements would help offset any demands for services and infrastructure.

4. Legal Non-conforming Use: All uses within the proposed PDO conform to uses specified in the City Zoning Code for residential uses and would not result in any legal non-conforming uses.

GENERAL PLAN AMENDMENT

1. Consistency with the General Plan: The project involves amending the General Plan map from Very Low Density Residential to Low Density Residential. The residential use would not change; however, the permitted density would increase as a result of the amendment. Upon amendment, the proposed project would be consistent with the General Plan. As will be documented in the Planned Development Overlay and Home Product Review process, the project would be consistent with the other provisions of the General Plan.

2. Traffic Impact: The project would result in an additional 54 units above what is permitted by the current general plan designation, or approximately 699 daily trips (ITE Manual of 9.57 trips per detached unit) and approximately 70 PM peak hour trips, which does not represent a significant increase in vehicular trips. The provision of a section of the regional trail that would

be realized by proposed project would help provide regional connectivity, provide both recreational benefits and commute options, and help reduce vehicular trips.

3. Impact on Welfare of Surrounding Residents: See response # 2 under the zoning amendment section above.

4. Consistency with Surrounding Character: See response # 1 under the zoning amendment section above.



REGENT PROPERTIES

VIA FEDERAL EXPRESS

John Guerin
County of Riverside
Airport Land Use Commission
4080 Lemon St., 14th Flr.
Riverside, CA 92501

Re: Arbor Vista – Application for Major Land Use Action Review
Riverside County Airport Land Use Commission

Dear Mr. Guerin:

Enclosed please find the following in relation to the above mentioned application:

- Completed Application Form
- Project Site Plan (large & 8½ x 11)
- Elevations of Buildings (large & 8½ x 11)
- Site Plan showing project in relationship to airport - 8½ x 11
- (4) Address Labels for Regent Nicolas 73, LLC (owner and representative)
- (1) Set of Address Labels of all property owners within a 300' radius, including stamped envelopes
- (4) Address Labels for City of Temecula – referring agency
- Check for Fee

Should you have any questions or need anything further, please feel free to call me at 310-806-9811.

Sincerely,

Nicole Stanton

Enclosure

cc: Lenny Dunn

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.4

HEARING DATE: May 9, 2013

CASE NUMBER: ZAP1051FV13 – Golden Eagle Multi-Family Properties, LLC
(Representative: John Capelli)

APPROVING JURISDICTION: City of Murrieta

JURISDICTION CASE NO: GPA 2012-3266 (General Plan Amendment), ZC 2012-3265
(Zone Change), DP2012-3267 (Development Plan)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends a finding of CONSISTENCY for the general plan amendment, zone change, and development plan, subject to the conditions included herein for the development plan.

PROJECT DESCRIPTION: DP2012-3267 is a proposal to develop 112 apartment units in six buildings up to three stories in height, along with tennis court, clubhouse, gym, and pool on 7.51 acres. GPA 2012-3266 is a proposal to amend the land use designation on a 1.06-acre portion of the site from Parks and Open Space to Multiple-Family Residential. ZC 2012-3265 is a proposal to change the zoning on that same 1.06-acre portion of the site from Private Recreation (PR) to Multiple-Family 1 Residential (MF-1).

PROJECT LOCATION: The site is located northerly of Murrieta Hot Springs Road, southeasterly of Clearbrook Drive, and southerly of Branwin Street in the City of Murrieta, approximately 6,730 feet southwesterly of Runway 18-36 at French Valley Airport.

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Zone D
- c. Noise Levels: Below 55 CNEL

BACKGROUND:

Residential Density: The site is located in Airport Compatibility Zone D. Residential density in

Airport Zone D is restricted to either a maximum of 0.2 dwelling units per acre or a minimum of 5.0 dwelling units per acre. The project proposes a total of 112 units on the 7.51 acre site for a density of 14.91 dwelling units per acre, which is consistent with the higher range density criteria of a minimum of 5.0 dwelling units per acre. The proposed General Plan Amendment to Multiple-Family Residential and Zone Change to Multiple-Family 1 Residential provide for greater density compared to the existing Open Space designation and Private Recreation zoning classification. However, these designations/classifications would still be consistent with the density criteria of Zone D.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Zone D (highly noise-sensitive outdoor non-residential uses and hazards to flight) within the project, nor would the proposed General Plan Amendment or Zone Change facilitate any prohibited or discouraged uses.

Open Area: The site is less than ten acres in area and, therefore, is not subject to Zone D open area requirements.

Noise: The property lies outside the area that would be subject to average exterior noise levels of 55 CNEL or greater under ultimate airport development conditions. Therefore, no special mitigation of noise from aircraft is required.

Part 77: The proposed site elevation nearest to the runway is approximately 1,143 feet above mean sea level (1143 feet AMSL). The elevation of Runway 18-36 at its southerly terminus is approximately 1330 feet AMSL. At a distance of approximately 6,730 feet from the runway to the property line, FAA review would be required for any structures with top of roof exceeding 1397 feet AMSL. The project includes proposed building elevations with a maximum height of 42 feet. At this maximum height at approximate site elevation, a structure would be approximately 1185 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review would not be required.

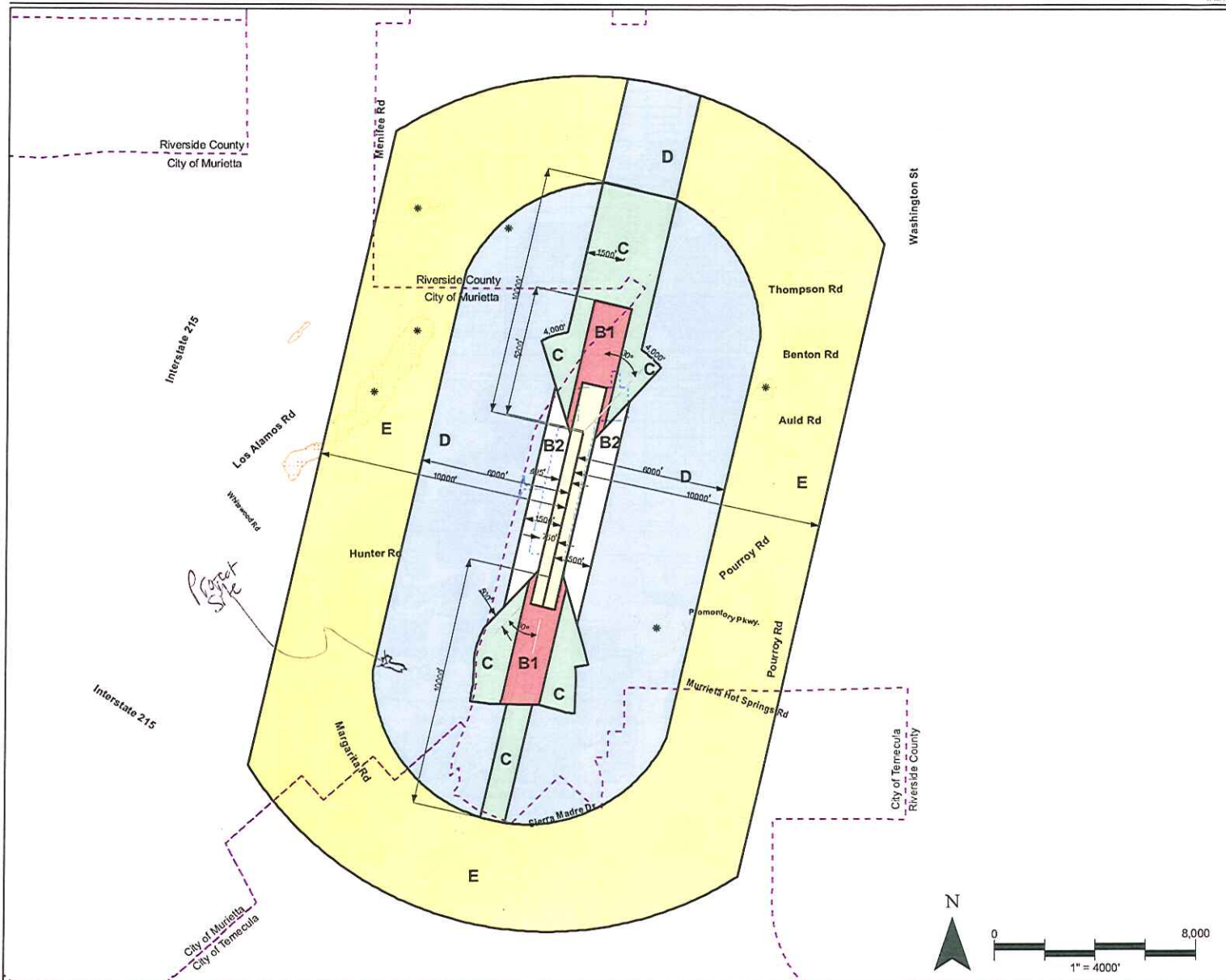
CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and all potential tenants of the apartments, and shall be recorded as a deed notice.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line
- - - City Limits
- ⊛ Height Review Overlay Zone

Note

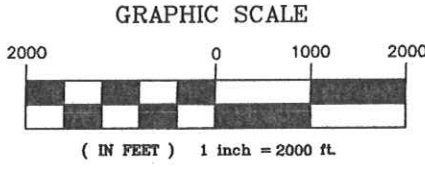
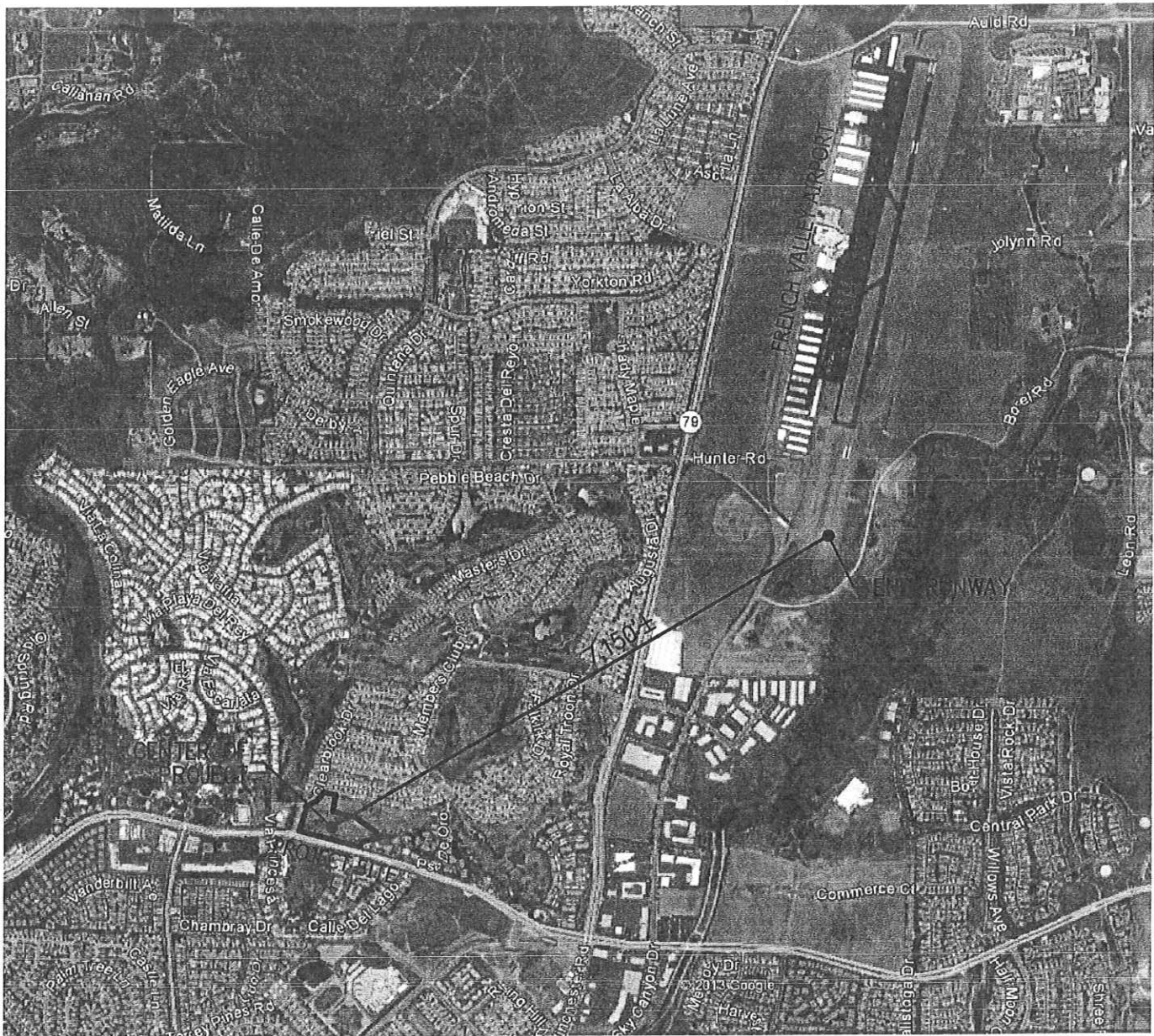
Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

Riverside County
 Airport Land Use Commission
 Riverside County
 Airport Land Use Compatibility Plan
 Policy Document
 (April 2010)

Map FV-1

Compatibility Map
 French Valley Airport



Pacific Coast Land Consultants, Inc.
 25096 Jefferson Ave., Suite "D" Murrieta CA., 92562

CIVIL ENGINEERS
 LAND SURVEYORS, PLANNERS

CITY OF MURRIETA, CA.

ALUC EXHIBIT
 GPA-2012-3266, ZC0-2012-3265, DP0-2012-3267

SCALE: SEE ABOVE PREPARED BY: BENJIE



General Plan 2035 Land Use Map
 Adopted: July 19, 2011
 Amended: xxxxxx xx, xxxx

LEGEND

RESIDENTIAL LAND USE

- LARGE LOT RESIDENTIAL (LLR)
BASE DENSITY
0.1 - 1.0 du/ac
- SINGLE-FAMILY RESIDENTIAL (SFR)
BASE DENSITY
1.1 - 10.0 du/ac
- MULTIPLE-FAMILY RESIDENTIAL (MPR)
BASE DENSITY
10.1 - 30 du/ac

NON-RESIDENTIAL LAND USE

- COMMERCIAL (C)
0.25 - 0.75 FLOOR AREA RATIO
- OFFICE AND RESEARCH PARK (ORP)
0.6 - 2.5 FLOOR AREA RATIO
- BUSINESS PARK (BP)
0.4 - 0.6 FLOOR AREA RATIO
- INDUSTRIAL (I)
0.4 - 0.5 FLOOR AREA RATIO
- CIVIC/INSTITUTIONAL (C/I)
0.5 - 1.0 FLOOR AREA RATIO

OTHER LAND USE

- MIXED USE (MU)
1.0 FLOOR AREA RATIO OR
BASE DENSITY
30 du/ac
- PARKS AND OPEN SPACE (POS)

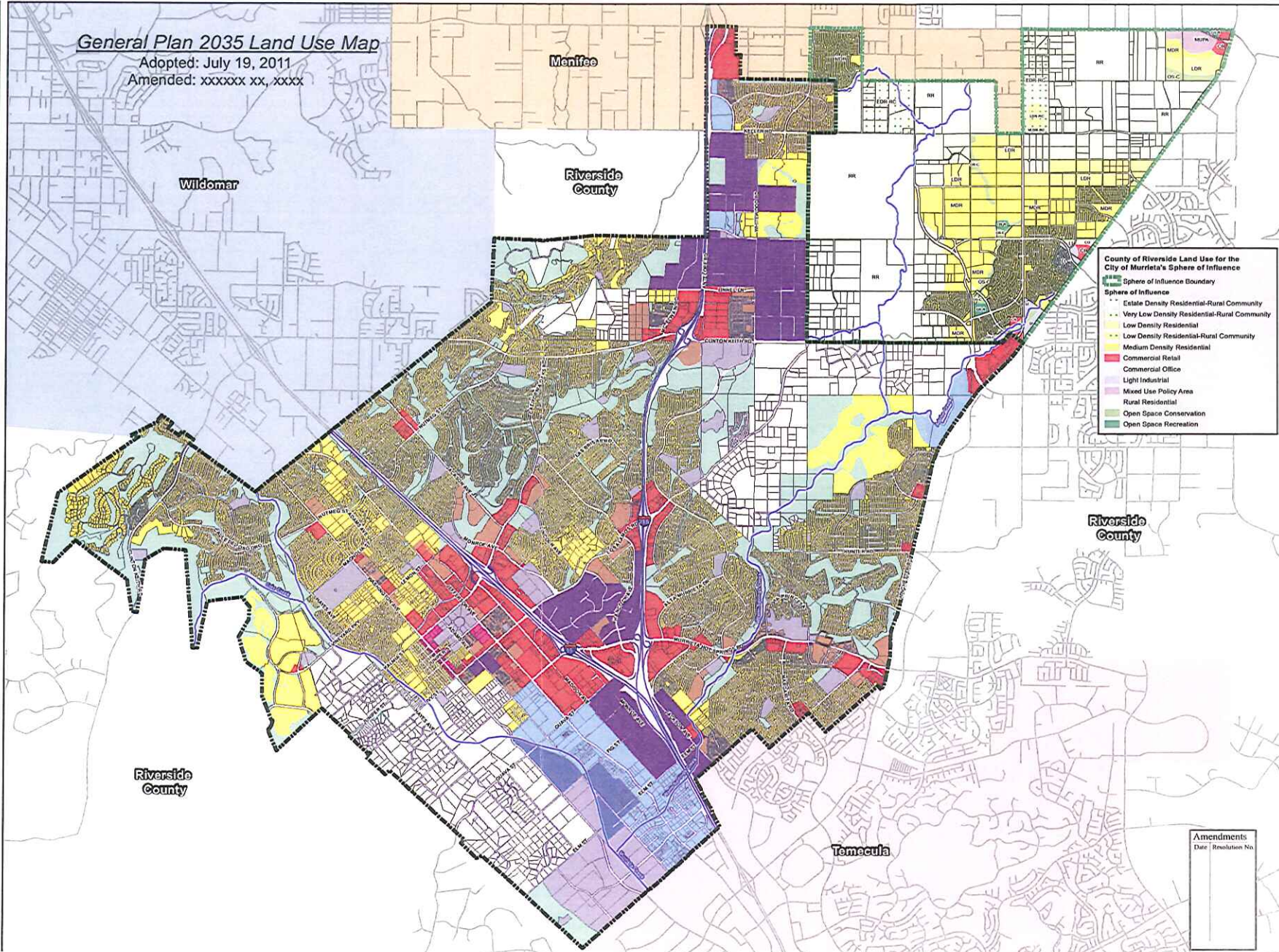
ADDITIONAL FEATURES LEGEND

- City Limits Line
- Sphere of Influence Boundary
- Creeks

SURROUNDING MUNICIPALITIES

- Menifee
- Temecula
- Wildomar
- Riverside County

This map is a public resource of general information. The feature data provided on this map represents the most accurate zoning and parcel information available at the most recent date of revision. In the event of a conflict between the zoning information on this map and an adopted City Resolution or ordinances, the Resolution or ordinance shall govern. The City of Murrieta and Riverside County makes no warranty, representation or guaranty as to the content, accuracy, or completeness of any information provided herein. City of Murrieta shall assume no liability for any errors, omissions, or inaccuracies in the information provided and is not responsible for any claims, losses or damages resulting from the use of map.

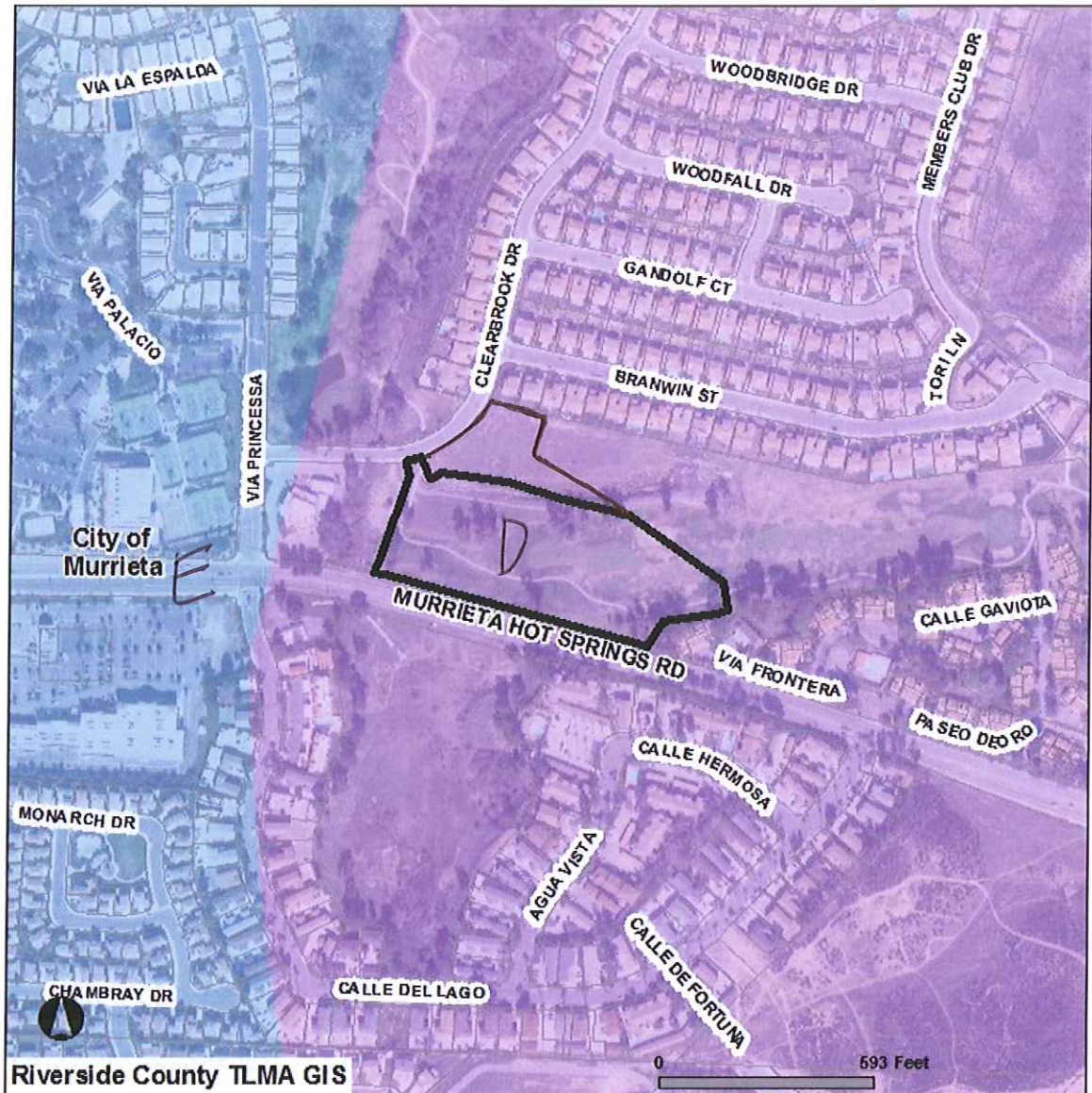


County of Riverside Land Use for the City of Murrieta's Sphere of Influence

- Sphere of Influence Boundary
- Sphere of Influence**
- Estate Density Residential-Rural Community
- Very Low Density Residential-Rural Community
- Low Density Residential
- Low Density Residential-Rural Community
- Medium Density Residential
- Commercial Retail
- Commercial Office
- Light Industrial
- Mixed Use Policy Area
- Rural Residential
- Open Space Conservation
- Open Space Recreation

Amendments
 Date / Resolution No.

RIVERSIDE COUNTY GIS



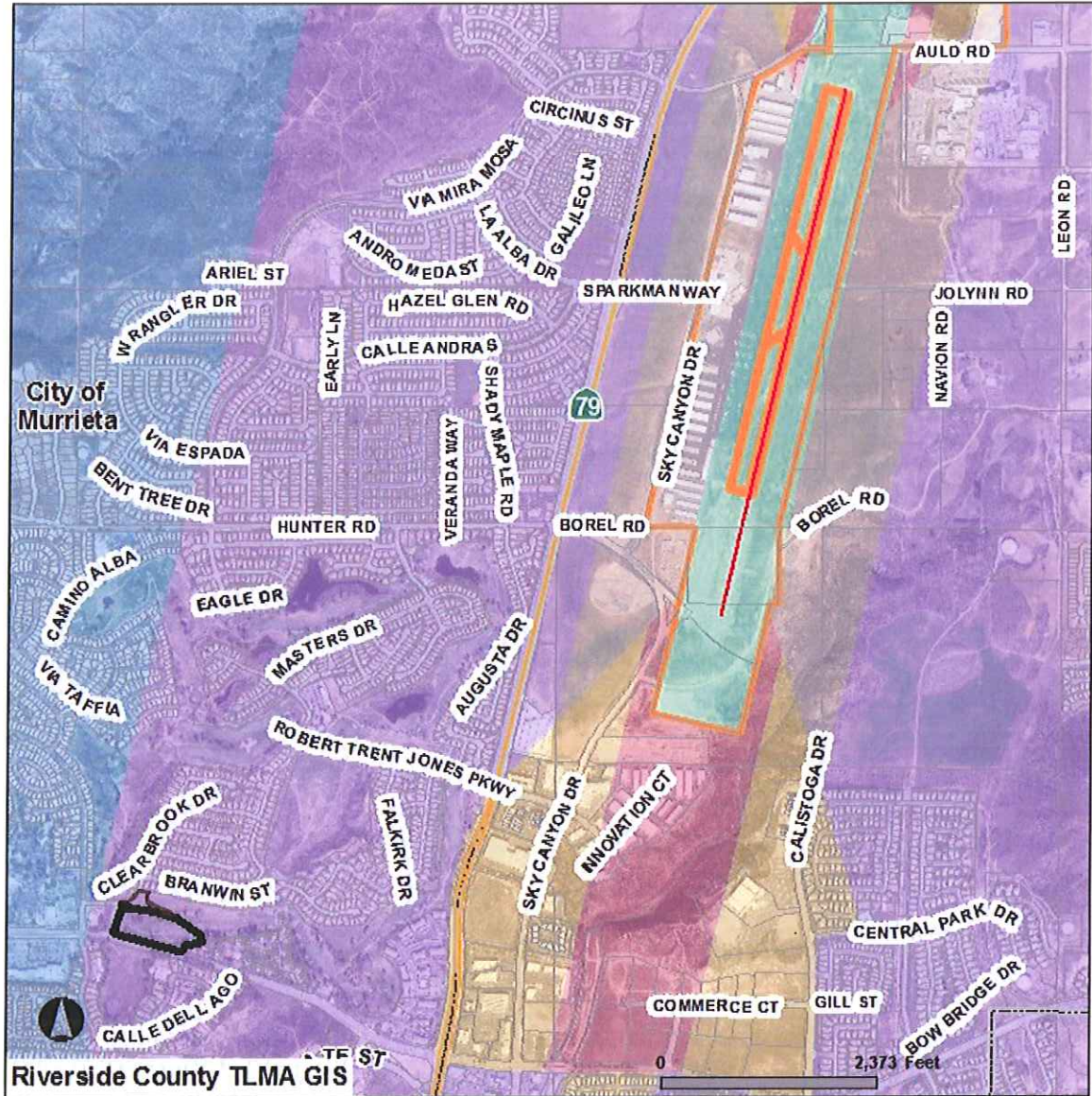
Selected parcel(s):
908-360-015

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Apr 16 08:50:22 2013
Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
908-360-015

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Apr 16 08:51:29 2013

Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
908-360-015

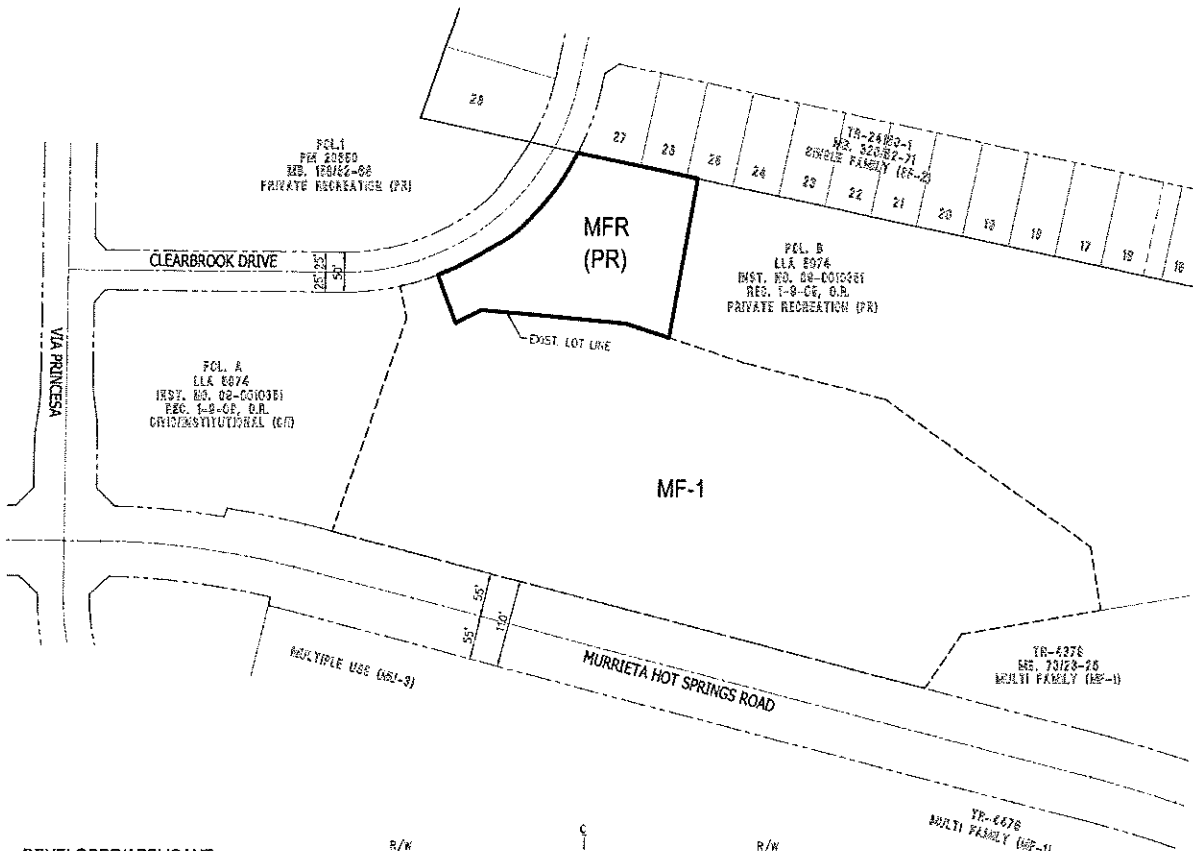
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Apr 16 08:49:53 2013

Version 130225

GPA-2012-3266 SEC. 13, T.7S., R.3W.



DEVELOPER/APPLICANT

GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC
6201 OAK CANYON, SUITE 200
IRVINE, CA. 92618

CONTACT : JIM KIECKHAFER
EMAIL : jkic@far@sandoo.com
TELEPHONE : (949) 270-7800

ENGINEER:

PACIFIC COAST LAND CONSULTANTS, INC.
25099 JEFFERSON AVENUE, SUITE "D"
MURRETA, CA. 92562
TELEPHONE NO.: (951) 698-1350
FAX NO.: (951) 698-6657
CONTACT: JIM KIM
EMAIL: jim@pcslc.com

ASSESSOR PARCEL NUMBER:

A PORTION OF 608-360-016

LEGAL DESCRIPTION:

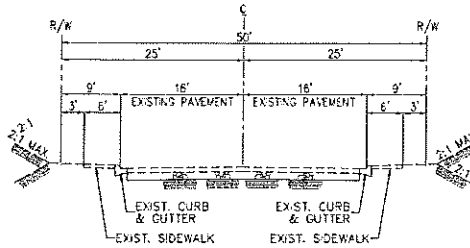
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RECORDED JANUARY 19, 2009, RECORDED IN OFFICIAL RECORDS, COUNTY OF
RIVERSIDE, STATE OF CALIFORNIA

UTILITY PURVEYORS:

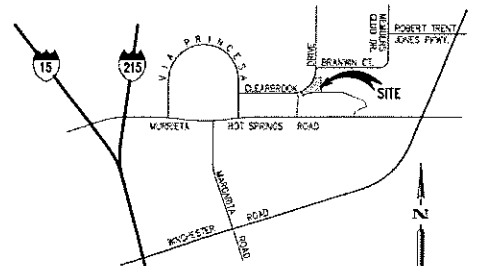
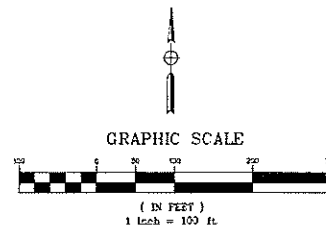
SCHOOL MURRETA VALLEY UNIFIED SCHOOL DISTRICT
SEWER EASTERN MUNICIPAL WATER DISTRICT
WATER EASTERN MUNICIPAL WATER DISTRICT
GAS SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE VERIZON/TIME WARNER
ELECTRIC SOUTHERN CALIFORNIA EDISON COMPANY
CABLE TV VERIZON/TIME WARNER

GENERAL NOTES:

1. PREPARED AUGUST 2012
2. THOMAS EROS 2006, PG. 528, H6
3. EXISTING ZONING PRIVATE RECREATION (PR)
4. PROPOSED ZONING MULTI-FAMILY RESIDENTIAL (MF-1)
5. PROPOSED LAND USE MULTI-FAMILY RESIDENTIAL
6. EXISTING LAND USE PRIVATE RECREATION (PR)
7. PROJECT ACREAGE 1.05 AC GROSS
8. F.E.M.A. PANEL NO. CS065 C 2720 G
9. PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD



CLEARBROOK DRIVE
N.T.S. (STANDARD NO. 113)



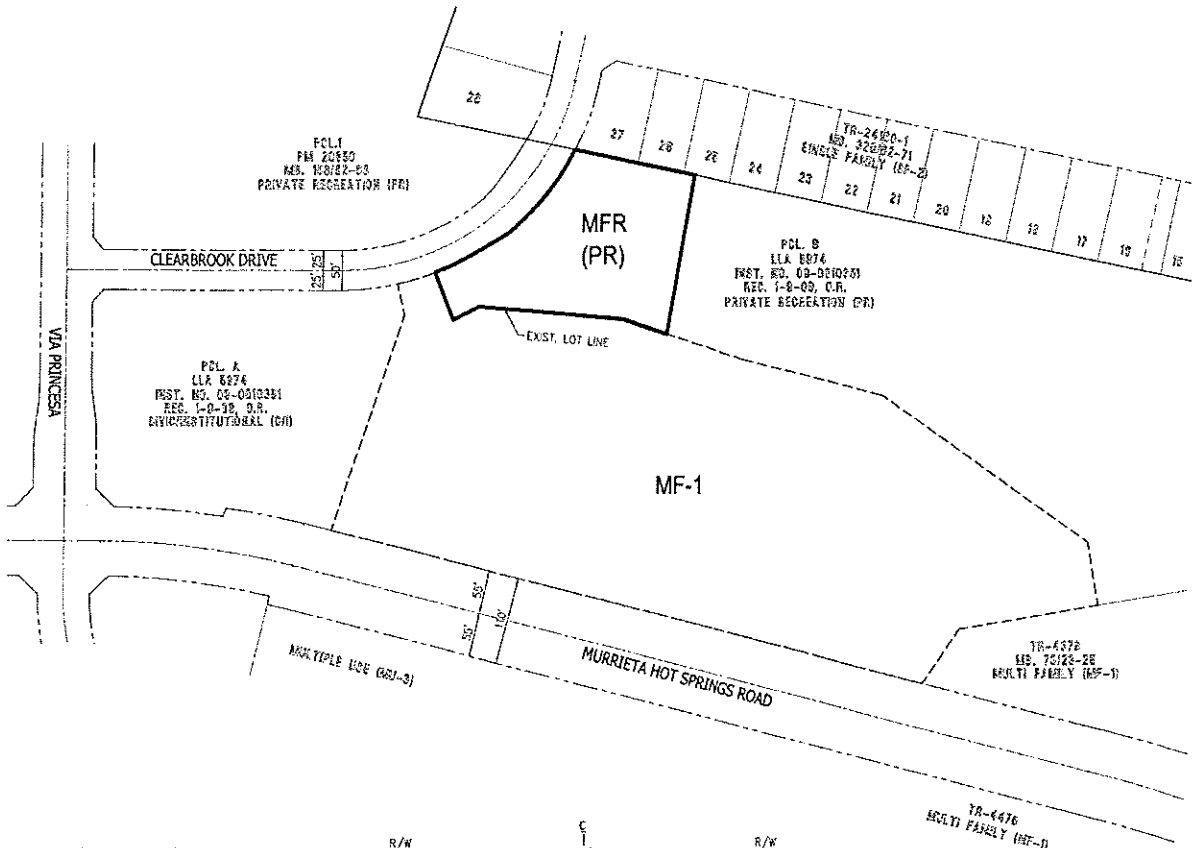
VICINITY MAP
NOT TO SCALE
SEC. 13, T.7S., R.3W.

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL

PACIFIC COAST LAND CONSULTANTS, Inc.

CITY ENGINEERING • LAND PLANNING • LAND SURVEYING
25099 JEFFERSON AVENUE, SUITE "D"
MURRETA, CALIFORNIA 92562
TEL. (951) 698-1350

ZC-2012-3265 SEC. 13, T.7S., R.3W.



DEVELOPER/APPLICANT
GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC
6201 OAK CANYON, SUITE 200
IRVINE, CA. 92618

CONTACT : JIM WIECKHAFFER
EMAIL : jwieckhafer@sandco.com
TELEPHONE : (949) 270-7600

ENGINEER:
PACIFIC COAST LAND CONSULTANTS, INC.
25056 STEVENSON AVENUE, SUITE "D"
MURRIETA, CA. 92562
TELEPHONE NO.: (951) 698-1350
FAX NO.: (951) 698-9657
CONTACT: JIM KIM
EMAIL: jim@pclic-hj.net

ASSESSOR PARCEL NUMBER:
A PORTION OF 908-360-016

LEGAL DESCRIPTION:

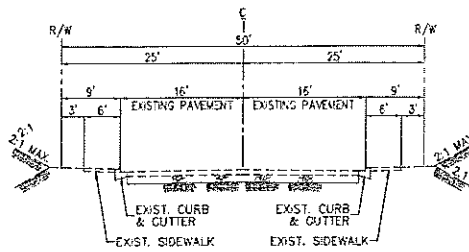
A PORTION OF PARCEL "B" OF LLA NO. 5974 PER INSTRUMENT NO. 2009-0510351
RECORDED JANUARY 19, 2009, RECORDED IN OFFICIAL RECORDS, COUNTY OF
RIVERSIDE, STATE OF CALIFORNIA

UTILITY PURVEYORS:

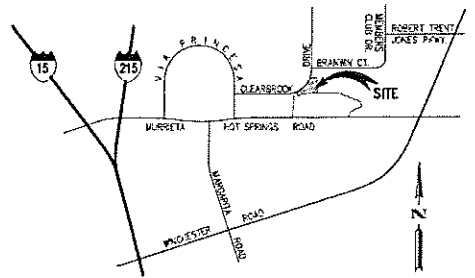
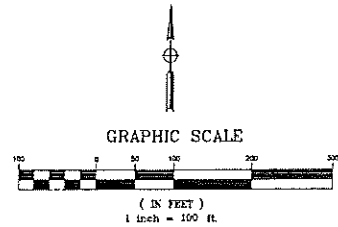
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SEWER: EASTERN MUNICIPAL WATER DISTRICT
WATER: EASTERN MUNICIPAL WATER DISTRICT
GAS: SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE: VERIZON/TIME WARNER
ELECTRIC: SOUTHERN CALIFORNIA EDISON COMPANY
CABLE TV: VERIZON/TIME WARNER

GENERAL NOTES:

1. PREPARED: AUGUST 2012
2. THOMAS EROS: 2006, PG. 978, H6
3. EXISTING ZONING: PRIVATE RECREATION (PR)
4. PROPOSED ZONING: MULTI-FAMILY RESIDENTIAL (MF-1)
5. PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
6. EXISTING LAND USE: PRIVATE RECREATION (PR)
7. PROJECT ACREAGE: 1.05 AC. GRDS.
8. F.E.M.A. PANEL NO.: 65095 C 2720 C
9. PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD



CLEARBROOK DRIVE
H.T.S. (STANDARD NO. 113)



VICINITY MAP

NOT TO SCALE
SEC. 13, T.7S., R.3W.

DATE	INITIAL	REVISION DESCRIPTION	DATE	INITIAL

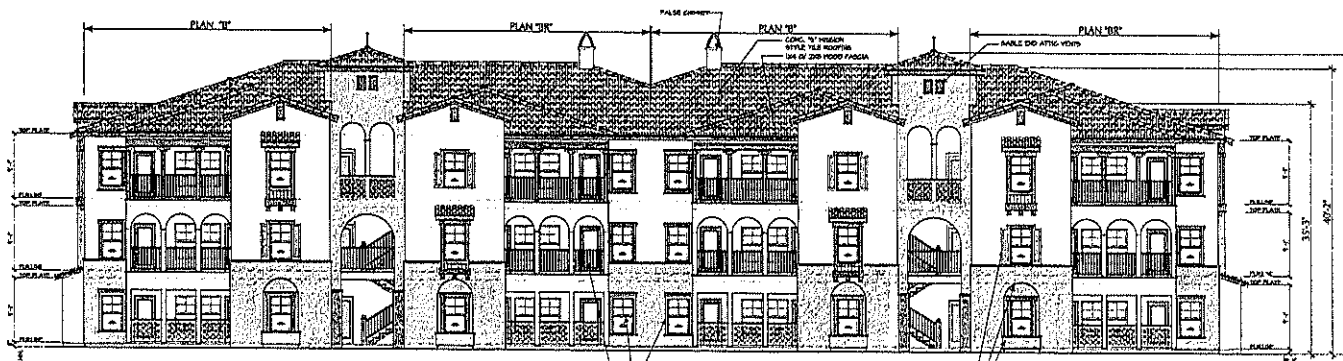
PACIFIC COAST LAND CONSULTANTS, Inc.
FIVE ENGINEERING + LAND PLANNING + LAND SURVEYING
25056 STEVENSON AVENUE, SUITE "D"
MURRIETA, CALIFORNIA 92562
TEL. (951) 698-1350

5. Plans Project: 2009A-27186-0017 CORR/SEC/13-07/02/09 3-11-13 02:01:00 PM

BUILDING TYPE I ELEVATIONS

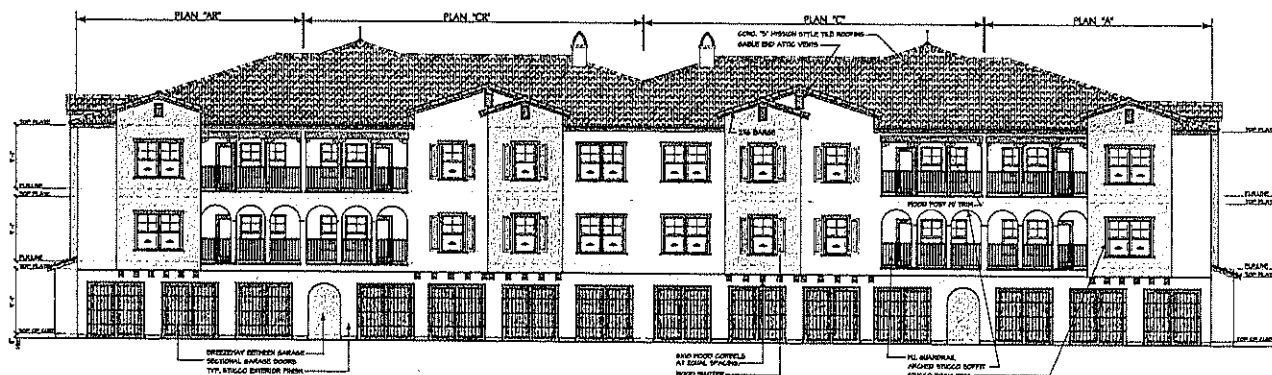
OCCUPANCY GROUP / BLDG CLASSIFICATION
 OCCUPANCY GROUP: R-2 DWELLINGS
 U DETACHED GARAGES

CONSTRUCTION TYPE: VA



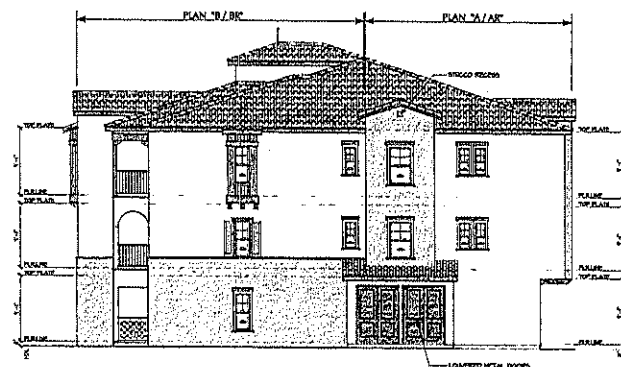
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING COLORS & FINISHES

ROOFING	EAGLE CO. "S" MISSION STYLE TFL MORADO BLEND/ SIC 8709 CONCRETE TILE ROOFING.
APARTMENT BUILDING:	
EXTERIOR FINISH	MERLEX CO. SAND FINISH.
STUCCO COLORS	MAIN BODY COLOR: MERLEX CO. P-255 INDIAN CLAY. ACCENT STUCCO: MERLEX CO. P-155 MESA BROWN.
PAINTED FINISHES	SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE, DOOR & REFUSE TRUSS BEAMS, REFUSE & GARAGE DOORS, DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS & STUCCO OVER FOAM TRIMS. PAINT WITH PITTSBURGH PAINT OBJECTS 415-1 LRV 11.
ENTRY DOORS	PITTSBURGH PAINT AMERICAN ANTIEM 451-4 LRV 29.
REFUSE ENCLOSURES & GARAGE BUILDINGS	MERLEX CO. P-255 INDIAN CLAY.
WINDOWS & SLIDING DOORS	MILGLARD DUAL GLAZED WHITE VINYL UNITS.
STAIR TREADS	PRECAST NATURAL CONCRETE COLOR (GRAY).



112 UNIT APARTMENT PROJECT
 MURRETA HOT SPRINGS ROAD, MURRETA, CALIFORNIA
 ARCHITECTS: ADKOVAS ARCHITECTS, INC., 8901 8TH ST., FORT
 COCKERILL, CA 91319
 PHONE: (661) 352-1111 FAX: (661) 352-1112

JOB NUMBER
2013 MP

DATE
1/28/2013

SHEET TITLE
BLDG. TYPE - I
EXTERIOR ELEVATIONS

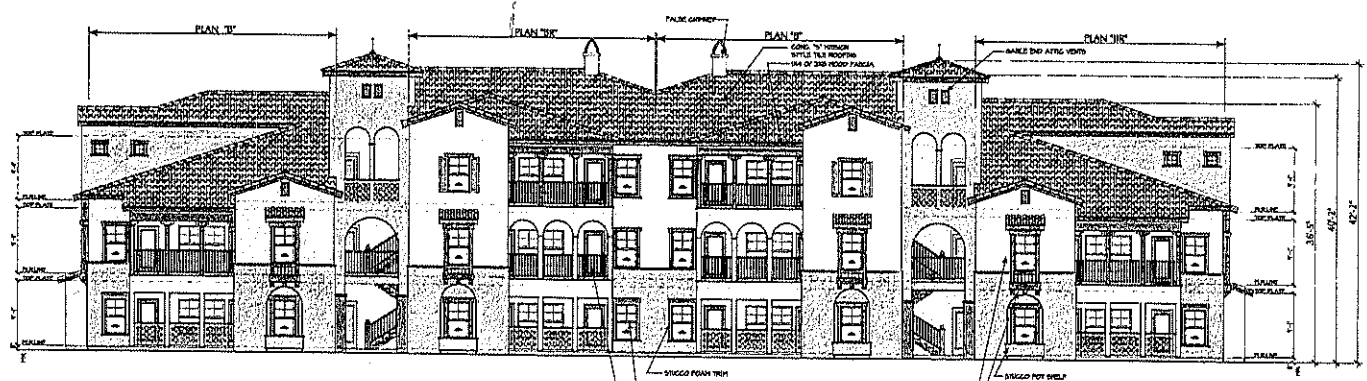
REVISIONS

SHEET NO
A.4

DATE PLOTTED: 2/28/2013 10:51:12 AM PLOTTER: HP DesignJet 2500C

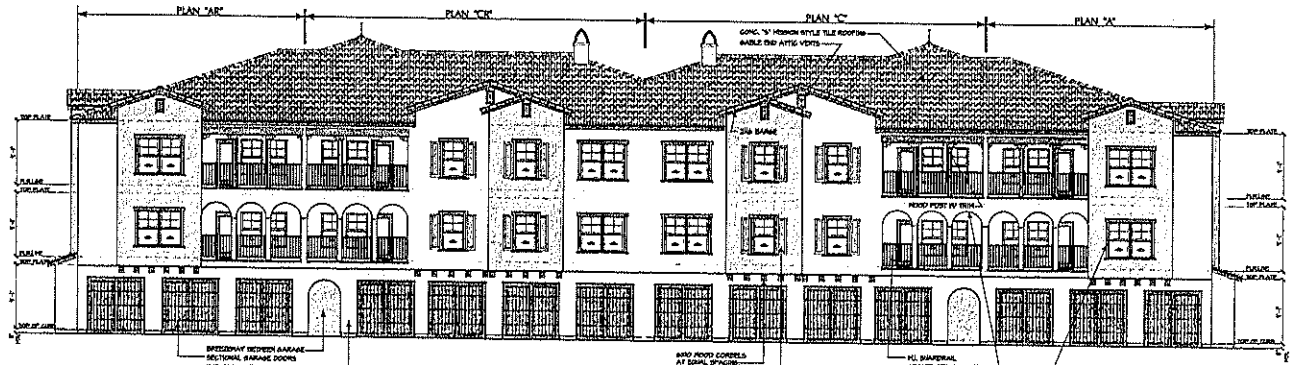
BUILDING TYPE II ELEVATIONS

OCCUPANCY GROUP / BLDG CLASSIFICATION
 OCCUPANCY GROUP: R-2 DWELLINGS
 U DETACHED GARAGES
 CONSTRUCTION TYPE: VA



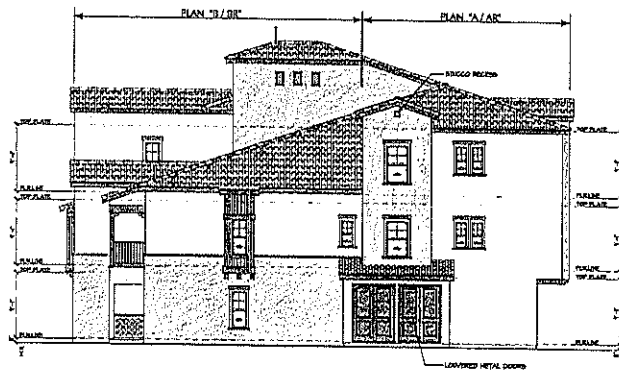
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

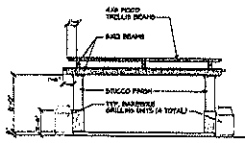
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BUILDING COLORS & FINISHES

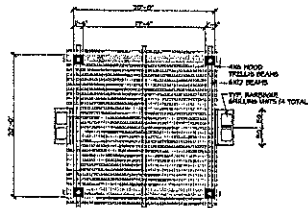
- ROOFING: CAGLE CO. "S" MISSION STYLE "EL MORADO BLEND" SHC #709 CONCRETE TILE ROOFING.
- APARTMENT BUILDING:
 - EXTERIOR FINISH: MERLIX CO. SAND FINISH.
 - STUCCO COLORS: MAIN BODY COLOR MERLIX CO. P-225 INDIAN CLAY. ACCENT STUCCO MERLIX CO. P-155 MESA BROWN.
 - PAINTED FINISHES: SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE, BRK & REFUSE TRELLIS BEAMS, REUSE & GARAGE DOORS, DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS & STUCCO OVER FOAM TRIMS. PAINT WITH PITTSBURGH PAINT GELKISK 415-7 LRV 11.
 - ENTRY DOORS: PITTSBURGH PAINT AMERICAN ANTI-BEM 451-4 LRV 29.
 - REFUSE ENCLOSURES & GARAGE BUILDINGS: MERLIX CO. P-225 INDIAN CLAY.
 - WINDOWS & SLIDING DOORS: MILGLARD DUAL GLAZED WHITE VINYL UNITS.
 - STAIR TRILDS: PRECAST NATURAL CONCRETE COLOR (GRAY).

ADKVAS
 ARCHITECTURE & PLANNING INC.
 112 UNIT APARTMENT PROJECT
 MURRIETA SPRINGS ROAD, MURRIETA, CALIFORNIA
 GOLDEN EAGLE MULTIFAMILY PROPERTIES, LLC
 8501 GUN CONTROL SUITE 200 IRVINE, CA 92618 (951) 874-1704

JOB NUMBER	2013 MP
DATE	1/28/2013
CHECK TITLE	BLDG. TYPE - II EXTERIOR ELEVATIONS
REVISIONS	
CHECK NO.	A.4

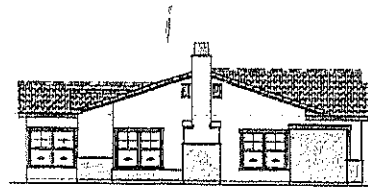


FRONT ELEVATION

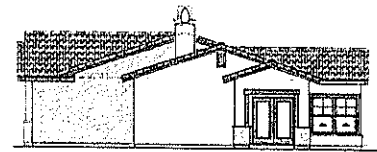


PLAN VIEW
SCALE: 1/8" = 1'-0"

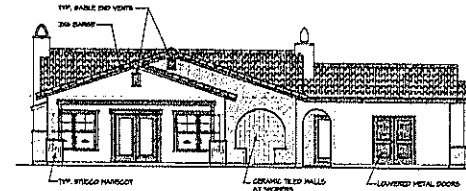
BBQ TRELLIS



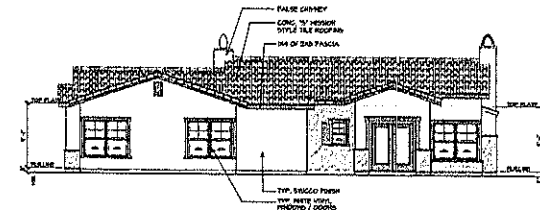
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



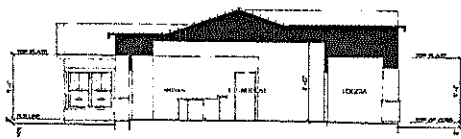
LEFT ELEVATION
SCALE: 1/8" = 1'-0"



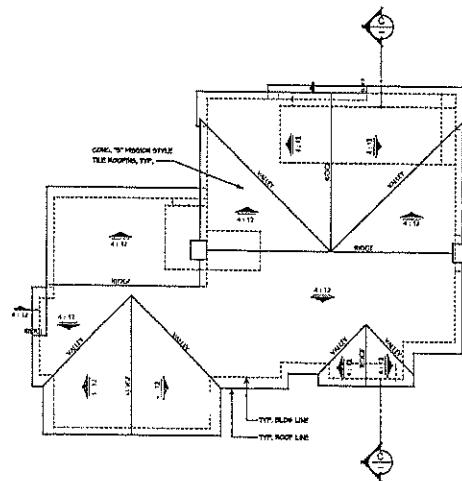
REAR ELEVATION
SCALE: 1/8" = 1'-0"



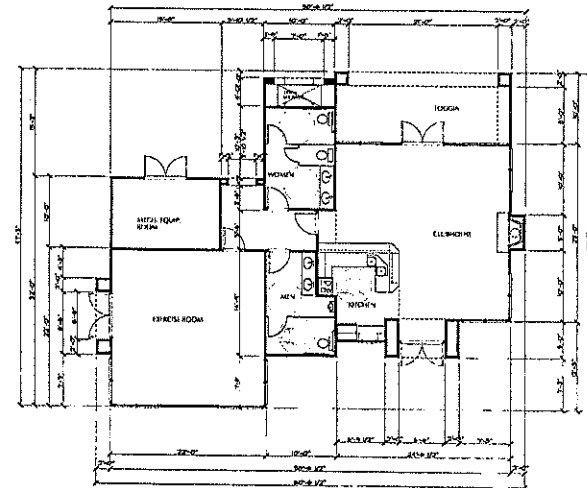
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING SECTION "C - C"
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
CLUBHOUSE 1,609 SQ. FT.
LOBBIA 247 SQ. FT.
SCALE: 1/8" = 1'-0"



GARAGE BLD'G & MAILBOX, REFUSE ENCLOSURES & ENTRY SECURITY GATE

OCCUPANCY GROUP / BLD'G CLASSIFICATION
 OCCUPANCY GROUP: R-2 DWELLINGS
 U DETACHED GARAGES
 CONSTRUCTION TYPE: VA

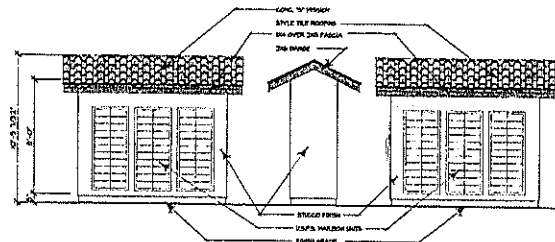
BUILDING COLORS & FINISHES

ROOFING: FABLE CO. "S" MISSION STYLE "EL MORADO BLEND" 3/8" TYP CONCRETE TILE ROOFING.

APARTMENT BUILDING

EXTERIOR FINISH: MERLEX CO. SAND FINISH.
 STUCCO COLORS: MAIN BODY COLOR: MERLEX CO. P-225 INDIAN CLAY. ACCENT STUCCO: MERLEX CO. P-155 MESA BROWN.
 PAINTED FINISHES: SOFFIT BEAMS, IRON POOL ENCLOSURE, SECURITY GATE, DRG & REPAIR, TRELLIS BEAMS, REFUSE & GARAGE DOORS, DECK GUARDRAILS, STAIRWAY STRINGERS, WOOD POSTS & STUCCO OVER FOAM TRIMS. PAINT WITH PITTSBURGH PAINT OBELEISK 415-7 LRV 11.

REFUSE ENCLOSURES & GARAGE BUILDINGS: MERLEX CO. P-225 INDIAN CLAY.



MAILBOX CENTER ELEVATIONS



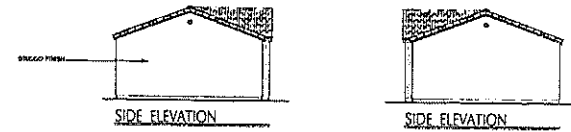
PLAN VIEW



ROOF PLAN

MAILBOX

SCALE: 1/4" = 1'-0"



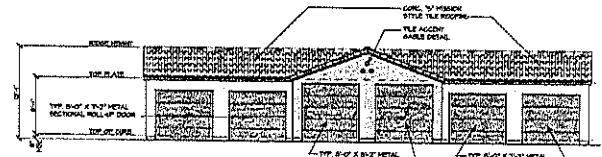
SIDE ELEVATION

SIDE ELEVATION



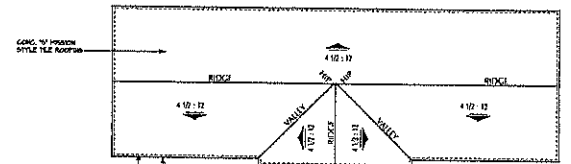
REAR ELEVATION

SCALE: 1/8" = 1'-0"



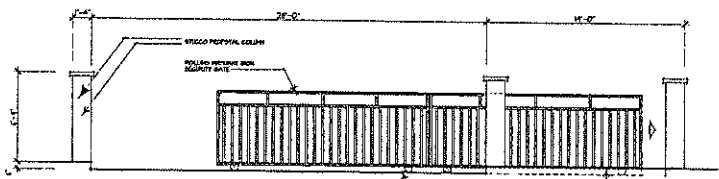
FRONT ELEVATION

SCALE: 1/8" = 1'-0"



ROOF PLAN

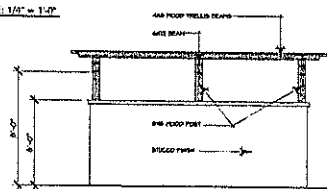
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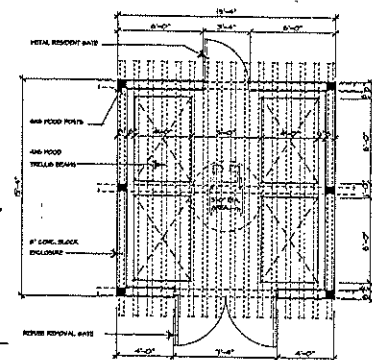
SECURITY GATE ELEVATION

SECURITY GATE

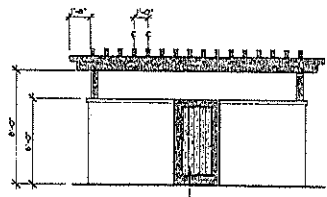
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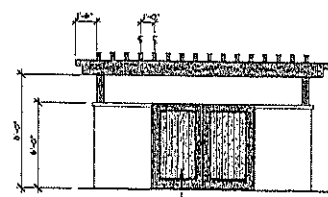
SIDE ELEVATION



PLAN VIEW



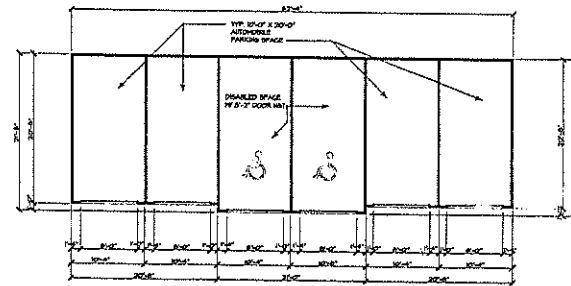
RESIDENT GATE ELEVATION



FRONT ELEVATION

REFUSE / RECYCLE ENCLOSURE

SCALE: 1/4" = 1'-0"



FLOOR PLAN

GARAGE: 1,309 SQ. FT.

SCALE: 1/8" = 1'-0"

6 SPACE GARAGE



112 UNIT APARTMENT PROJECT
 MURRIETA HOT SPRINGS ROAD, MURRIETA, CALIFORNIA
 ASSOCIATING ARCHITECTS AND ENGINEERS MULTIDISCIPLINARY PROPERTIES, LLC
 6301 CALIFORNIA SUITE 250, IRVINE, CA 92618 (949) 874-7774

JOB NUMBER

2013 MP

DATE

1/28/2013

SHEET TITLE

GARAGE BLDG.
 REFUSE ENCLOSURE
 MAIL BOX
 ENTRY SECURITY GATE

REVISIONS

SHEET NO

A.10

12/21/2013 10:00 AM

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: May 9, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1051FV13 – Golden Eagle Multi-Family Properties, LLC
(Representative: John Capelli) – City of Murrieta Case Nos. GPA 2012-3266 (General Plan Amendment), ZC 2012-3265 (Zone Change), DP 2012-3267 (Development Plan). DP 2012-3267 is a proposal for the development of 112 apartment units in six buildings up to three stories in height, along with tennis court, club house, gym, and pool on 7.51 acres located northerly of Murrieta Hot Springs Road, southeasterly of Clearbrook Drive, and southerly of Branwin Street in the City of Murrieta. GPA 2012-3266 is a proposal to amend the land use designation on a 1.06-acre portion of the site from Parks and Open Space to Multiple-Family Residential. ZC 2012-3265 is a proposal to change the zoning on that same 1.06-acre portion of the site from Private Recreation (PR) to Multi-Family 1 Residential (MF-1). (Zone D of French Valley Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Aaron Rintamaki of the City of Murrieta Planning Department, at (951) 461-6079.

908-393-009 U S Bank Natl Assn 1100 Virginia Dr Fort Washington, PA 19034-3204	913-101-012 Patricia L Pittman 153 Ashwood Ln Mooresville, NC 28117-6835	908-410-010 Jae & Soon Lee 3575 Woodburn Ct Brookfield, WI 53005-2238
913-063-004 Miodrag Miladinovich 3520 S Logan Ave Milwaukee, WI 53207-3509	908-400-003 Daniel R & Frangos Cook *B* 1228 Ripple Creek Dr Houston, TX 77057-1765	908-400-011 Zhaonan Jiang 3501 Tilden Ave 5 Los Angeles, CA 90034-7612
913-160-040 Bel Air Murrieta 4525 District Blvd Vernon, CA 90058-2711	908-390-013 Christian Ho 11526 Clarkson Rd Los Angeles, CA 90064-3814	908-400-005 Christian Ho 11526 Clarkson Rd Los Angeles, CA 90064-3814
908-390-001 Rong Ma 22 Via Costa Verde Rancho Palos , CA 90275-4886	908-391-013 James & Quinni Chang 20333 S Western Ave Torrance, CA 90501-1504	908-410-003 Li & Wang Xin 4551 Talisman St Torrance, CA 90503-1459
908-392-021 Lisa Hyun 380 W Pebble Beach Ave La Habra, CA 90631-2000	908-401-012 Charlie & Crystal Kim 10308 Etiwanda Ave Porter Ranch, CA 91326-3441	913-062-008 Sondra Rowzee 3800 Bradford St 102 La Verne, CA 91750-3145
908-401-002 Danilo Q & Zenaida Viray 1274 Santa Ynez Ave Chula Vista, CA 91913-1422	913-191-010 Larry Ybarra 4176 Tierra Vis Bonsall, CA 92003-4926	908-250-071 Lisa Cleary 3515 Highland Dr Carlsbad, CA 92008-2527
908-360-001 Gcgi Partners Inc 3742 Flowerwood Ln Fallbrook, CA 92028-8013	908-360-002 Gcgi Partners Inc 3742 Flowerwood Ln Fallbrook, CA 92028-8013	908-360-005 Gcgi Partners Inc 3742 Flowerwood Ln Fallbrook, CA 92028-8013
908-360-009 Gcgi Partners Inc 3742 Flowerwood Ln Fallbrook, CA 92028-8013	908-360-013 Gcgi Partners Inc 3742 Flowerwood Ln Fallbrook, CA 92028-8013	913-062-007 Alan & Lucila Bartkowski 1195 La Moree Rd 36 San Marcos, CA 92078-4527
913-180-087 Salton Sea Reclamation Inc 3404 Jewell St San Diego, CA 92109-6720	908-371-032 Larry & Lisa Goemann 6238 Twin Lake Dr San Diego, CA 92119-3053	913-082-027 L Edwards 18865 Felton St Hesperia, CA 92345-6411
908-401-003 John F & Kutrina Lawrence 18771 Oak Park Dr Riverside, CA 92504-9433	913-102-002 Weinfurther 11222 Fernview Pl Moreno Valley, CA 92557-5111	913-350-010 Rancon Mhs 20 41391 Kalmia St 200 Murrieta, CA 92562-9766

913-350-012
Rancon Mhs 20
41391 Kalmia St 200
Murrieta, CA 92562-9766

913-063-022
Shaunt Boyajian
23191 Corkway Cir
Murrieta, CA 92562-3200

913-101-005
Sandra Macadam
37801 Oxford Dr
Murrieta, CA 92562-5055

908-250-074
Chole Tiscornia
23791 Peach Blossom Ct
Murrieta, CA 92562-2080

908-371-029
Rodolfo & Gloria Adame
41863 Juniper St
Murrieta, CA 92562-7200

913-063-005
David J & Rae Pollard
41451 Los Alamos Rd
Murrieta, CA 92562-9700

913-101-027
Spring Knolls Association
Murrieta Hot Springs Rd
Murrieta Hot , CA 92563

913-150-014
Spring Knolls Assn
Murrieta Hot Springs Rd
Murrieta, CA 92563

908-250-069
Heather & Fred Ruzek
38684 Via Taffia
Murrieta, CA 92563-5660

908-250-070
William H & Roberta Ross
38430 Fuente Ct
Murrieta, CA 92563-5668

908-250-072
Rhonda L Pethoud
38450 Fuente Ct
Murrieta, CA 92563-5668

908-250-073
Linda I Parry
38445 Fuente Ct
Murrieta, CA 92563-5668

908-250-076
Derosa
38541 Via Taffia
Murrieta, CA 92563-5649

908-250-077
Betty S Sprouse *B*
38519 Via Taffia
Murrieta, CA 92563-5649

908-250-078
Fred L & Robert Valko
38495 Via Taffia
Murrieta, CA 92563-6619

913-062-002
Maxfield P & Christine Heilb
29080 Via Princesa
Murrieta, CA 92563-5797

913-062-004
Charles & Holli Hanson
29060 Via Princesa
Murrieta, CA 92563-5797

913-062-005
Richard C & Joyce Zimmer
29050 Via Princesa
Murrieta, CA 92563-5797

913-062-006
Cathe & Leonore Geier
29040 Via Princesa
Murrieta, CA 92563-5797

913-062-011
Jessie M Whisner *M*
28994 Via Princesa
Murrieta, CA 92563-5796

913-062-012
Herbert B & Barbara Groch
29050 Calle Del Buho
Murrieta, CA 92563-5664

913-062-035
Wilbert & Ann Spitz
29010 Via Princesa
Murrieta, CA 92563-5797

913-063-001
Jay G & Marceal Hale
38660 Via Escarlata
Murrieta, CA 92563-5736

913-063-002
Carol H Jones
38650 Via Escarlata
Murrieta, CA 92563-5736

913-063-003
Adeline L Williams
28988 Via La Rueda
Murrieta, CA 92563-5730

913-063-024
Linda Thompkins
29011 Via Princesa
Murrieta, CA 92563-5717

913-082-022
Edward T & Debra Cavallucci
38641 Via Escarlata
Murrieta, CA 92563-5731

913-082-023
Donald Lanham
38651 Via Escarlata
Murrieta, CA 92563-5731

913-101-007
K & Kay Schmidt
29115 Via Princesa
Murrieta, CA 92563-5718

913-101-008
Reyno Pacifico
28910 Via Princesa
Murrieta, CA 92563-5799

913-101-009
Randy & Teresa Mccollum
29185 Via Princesa
Murrieta, CA 92563-5718

913-101-010
Armando A & Rima Macias
29988 Via Magnolia
Murrieta, CA 92563-5783

913-101-013
Charlotte A Pratt
29920 Via Magnolia
Murrieta, CA 92563-5783

913-101-014
Doreta J Kempton
29910 Via Magnolia
Murrieta, CA 92563-5783

913-101-015
Kathleen Reiter
29900 Via Magnolia
Murrieta, CA 92563-5783

913-101-024
Donald G & Beverly Hutchins
29981 Via Magnolia
Murrieta, CA 92563-5783

913-101-025
Dianne C Boyce
29989 Via Magnolia
Murrieta, CA 92563-5783

913-101-026
Fernandez Umana
29997 Via Magnolia
Murrieta, CA 92563-5783

913-101-029
Richard A Klein
29973 Via Magnolia
Murrieta, CA 92563-5783

913-102-001
Saul B Anshen
29090 Via Princesa
Murrieta, CA 92563-5797

913-102-003
Socrates & Marcelina Siliceo
29110 Via Princesa
Murrieta, CA 92563-5720

913-102-005
J E Feryan
29130 Via Princesa
Murrieta, CA 92563-5720

913-102-007
Max G Dahmen
29148 Via Princesa
Murrieta, CA 92563-5720

913-102-008
Edgar & Audrey Hulen
29158 Via Princesa
Murrieta, CA 92563-5720

913-102-009
Terrence D & Madelyn Hitt
29170 Via Princesa
Murrieta, CA 92563-5720

913-102-010
Rory P Walford
29184 Via Princesa
Murrieta, CA 92563-5720

913-102-013
Kathleen M Taylor
29316 Via Princesa
Murrieta, CA 92563-3700

913-150-017
Congregation B Nai Chaim Of T
29500 Via Princesa
Murrieta, CA 92563-3709

908-250-068
Sheri E Young
38048 Via La Colina
Murrieta, CA 92563-5614

913-082-026
J Barrington
28982 Via La Espalda
Murrieta, CA 92563-5738

913-101-003
George F Karcher
28963 Via La Espalda
Murrieta, CA 92563-5733

908-392-008
Teresa Dogue
37821 Veranda Way
Murrieta, CA 92563-4775

908-370-007
Xiaohui Liu
29171 Woodbridge Dr
Murrieta, CA 92563-5889

908-370-019
Eduardo & Ana Lopez
29172 Woodfall Dr
Murrieta, CA 92563-5891

908-370-020
James & Christine Sumilang
29160 Woodfall Dr
Murrieta, CA 92563-5891

908-370-021
Dale & Graciela Boss
29159 Woodbridge Dr
Murrieta, CA 92563-5889

908-371-009
Frieda M Gonzalez
29164 Woodbridge Dr
Murrieta, CA 92563-5889

908-371-010
Rogelio Martinez
38482 Clearbrook Dr
Murrieta, CA 92563-5882

908-371-027
Luis & Nancy Mattos
38501 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-030
Patrick C & Nancy Dunn
38537 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-031
Arvin D & Sandra Turner
38549 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-033
Russell W & Barbara Tolle
38573 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-034
Michael J & Danielle Hendges
38585 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-035
Chong & Jung Paek
38597 Clearbrook Dr
Murrieta, CA 92563-5883

908-371-036
Mark P & Tracy Rothblatt
38609 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-002
Fred M & Claudette Moreno
38765 Clearbrook Dr
Murrieta, CA 92563-5885

908-390-003
Alan & Kimberely Reid
38741 Clearbrook Dr
Murrieta, CA 92563-5885

908-390-004
Christopher & Veronica Adigwa
29370 Branwin St
Murrieta, CA 92563-5879

908-390-005
Young & Ae Kim
38621 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-006
Andreas & Marelli Schaefer
38633 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-007
A E & A White
38645 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-008
Quyen & Nancy Trinh
38657 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-010
Rebecca Hampton
38681 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-011
Daniel J & Patricia Badalucco
38693 Clearbrook Dr
Murrieta, CA 92563-5884

908-390-012
Donald L & Penny Heinrich
38705 Clearbrook Dr
Murrieta, CA 92563-5885

908-391-001
Johjnsn Acevedo
29293 Branwin St
Murrieta, CA 92563-5878

908-391-002
Christopher C & Veronica Adigwa
29281 Branwin St
Murrieta, CA 92563-5878

908-391-003
Scott & Vanessa Goff
29269 Branwin St
Murrieta, CA 92563-5878

908-391-004
Harry E & Sandra Graves
29257 Branwin St
Murrieta, CA 92563-5878

908-391-006
Gilberto Cardenas
29233 Branwin St
Murrieta, CA 92563-5878

908-391-007
Alfonso L & Yvonne Mackey
29221 Branwin St
Murrieta, CA 92563-5878

908-391-009
Frederick Poblete
29197 Branwin St
Murrieta, CA 92563-5877

908-391-010
Stephen D Oh
29185 Branwin St
Murrieta, CA 92563-5877

908-391-011
Atallah Mahmud
29173 Branwin St
Murrieta, CA 92563-5877

908-391-012
Robert C Kerr
29161 Branwin St
Murrieta, CA 92563-5877

908-392-001
Luther J & Elizabeth Johnson
29142 Branwin St
Murrieta, CA 92563-5877

908-392-003
Gilbert Gasco
29166 Branwin St
Murrieta, CA 92563-5877

908-392-004
Richard Brown
29178 Branwin St
Murrieta, CA 92563-5877

908-392-005
Timothy Hodges
29190 Branwin St
Murrieta, CA 92563-5877

908-392-006
Joshua Bergere
29202 Branwin St
Murrieta, CA 92563-5878

908-392-007
Adam L & Ignacia Perkins
29214 Branwin St
Murrieta, CA 92563-5878

908-392-009
Eric & Barbara Busch
29238 Branwin St
Murrieta, CA 92563-5878

908-392-010
F Madgwick
29250 Branwin St
Murrieta, CA 92563-5878

908-392-011
Paula J Nottingham
29262 Branwin St
Murrieta, CA 92563-5878

908-392-012
Lynda Patchen
29274 Branwin St
Murrieta, CA 92563-5878

908-392-013
Wesley & Shawna Washabaugh
29286 Branwin St
Murrieta, CA 92563-5878

908-392-017
Brandon & Sara Siggard
29151 Gandolf Ct
Murrieta, CA 92563-5886

908-392-018
Chinh & Thu Pham
29163 Gandolf Ct
Murrieta, CA 92563-5886

908-392-019
Michael & Diana Perez
29175 Gandolf Ct
Murrieta, CA 92563-5886

908-392-020
Yuan Xizhi
29187 Gandolf Ct
Murrieta, CA 92563-5886

908-392-023
Phon Savin
29223 Gandolf Ct
Murrieta, CA 92563-5887

908-392-024
Colburn
29235 Gandolf Ct
Murrieta, CA 92563-5887

908-392-025
Bounta & Manisouk Kounnavong
29247 Gandolf Ct
Murrieta, CA 92563-5887

908-392-026
John & Suezan Kelley
29259 Gandolf Ct
Murrieta, CA 92563-5887

908-392-028
Mei Hsu
29283 Gandolf Ct
Murrieta, CA 92563-5887

908-392-029
Michael J & Jacqueline Reid
29295 Gandolf Ct
Murrieta, CA 92563-5887

908-393-007
William & Erin Furlong
29180 Gandolf Ct
Murrieta, CA 92563-5886

908-393-010
Dennis M & Marilyn Odin
29155 Woodfall Dr
Murrieta, CA 92563-5891

908-393-011
Nandakumar & Lekha Kalathil
29167 Woodfall Dr
Murrieta, CA 92563-5891

908-400-001
Rommel P & Renea Rio
29394 Branwin St
Murrieta, CA 92563-5879

908-400-002
Young & Tann Diep
29430 Branwin St
Murrieta, CA 92563-5880

908-400-006
Kim Sa Mook
29401 Branwin St
Murrieta, CA 92563-5880

908-400-007
Bartus
29389 Branwin St
Murrieta, CA 92563-5879

908-400-008
Jack A Pham
29377 Branwin St
Murrieta, CA 92563-5879

908-400-009
E J & Y Woodward
29365 Branwin St
Murrieta, CA 92563-5879

908-400-010
Michael J Vargas
29353 Branwin St
Murrieta, CA 92563-5879

908-400-013
Siena Foggetti
29317 Branwin St
Murrieta, CA 92563-5879

908-400-014
Jose F & Silvia Moreno
29305 Branwin St
Murrieta, CA 92563-5879

908-401-001
Robert E Cota
29298 Branwin St
Murrieta, CA 92563-5878

908-401-004
Maureen E Nelson
29334 Branwin St
Murrieta, CA 92563-5879

908-401-005
Steve A & Karen Cumming
29358 Branwin St
Murrieta, CA 92563-5879

908-401-006
Christopher C Adigwu
29370 Branwin St
Murrieta, CA 92563-5879

908-401-010
Jimmie Jackson
29307 Gandolf Ct
Murrieta, CA 92563-5888

908-401-011
Raymond F & Danielle Gonzales
29319 Gandolf Ct
Murrieta, CA 92563-5888

908-401-013
Robert F & Ana Crowley
29343 Gandolf Ct
Murrieta, CA 92563-5888

908-410-001
Linnie C Young
29449 Branwin St
Murrieta, CA 92563-5880

908-410-002
Vincent A Nanci
29473 Branwin St
Murrieta, CA 92563-5880

908-410-004
Jovito L & Erlinda Torres
29497 Branwin St
Murrieta, CA 92563-5880

908-410-005
Shao Ting
29472 Branwin St
Murrieta, CA 92563-5880

908-410-006
Tony & Deborah Briant
29521 Branwin St
Murrieta, CA 92563-5896

908-410-007
Jingiu Lu
29533 Branwin St
Murrieta, CA 92563-5896

908-410-008
Sybren Sybrandy
29545 Branwin St
Murrieta, CA 92563-5896

908-410-009
Arloon P Hansanah
29557 Branwin St
Murrieta, CA 92563-5896

908-410-011
Ramiro & Maria Munoz
29583 Branwin St
Murrieta, CA 92563-5896

908-410-013
Jesse & Victoria Rivera
29617 Branwin St
Murrieta, CA 92563-5895

908-410-021
Dan Cerda
29590 Branwin St
Murrieta, CA 92563-5896

908-410-022
Linda A Pinney
29680 Branwin St
Murrieta, CA 92563-5895

908-410-023
Carlos N & Tricia Mancio
29568 Branwin St
Murrieta, CA 92563-5896

908-410-024
William A & Erika Perry
29544 Branwin St
Murrieta, CA 92563-5896

908-410-025
Cal West Group
29520 Branwin St
Murrieta, CA 92563-5896

908-411-001
Shao Ting
29460 Branwin St
Murrieta, CA 92563-5880

908-411-002
Chang Sun
29472 Branwin St
Murrieta, CA 92563-5880

908-411-003
Long Zhang
29484 Branwin St
Murrieta, CA 92563-5880

908-411-004
Robert L Anderson
29496 Branwin St
Murrieta, CA 92563-5880

913-062-033
Golf Knolls Assn
39400 Murrieta Hot Springs R
Murrieta, CA 92563-7707

913-191-026
Lakeridge Properties Inc
39011 Agua Vis
Murrieta, CA 92563-7712

913-191-017
Do Properties Inc
28990 Calle Del Lago
Murrieta, CA 92564

913-062-003
Dwight W Fickes
26760 E Berkey Ct
Sun City, CA 92586-2936

913-101-004
Goshawk Prop
PO Box 891000
Temecula, CA 92589-1000

908-390-009
M & D Adams Prop
31039 Del Rey Rd
Temecula, CA 92591-1740

913-102-004
Leonard & Lynn Cole
40360 Windsor Rd
Temecula, CA 92591-6976

913-191-023
Steve J Campini
40303 Walcott Ln
Temecula, CA 92591-7026

908-391-008
Larry W & Linda Martin
34860 Monte Verde Rd
Temecula, CA 92592-9685

908-392-002
Leon C Kamins
32976 John Way
Temecula, CA 92592-7101

913-063-023
Laurene Stone
33413 Susan Grace Ct
Temecula, CA 92592-7245

913-082-025
Laurene Stone
33413 Susan Grace Ct
Temecula, CA 92592-7245

913-101-006
Jeffrey E Stone
33413 Susan Grace Ct
Temecula, CA 92592-7245

913-101-011
Jeffrey E Stone
33413 Susan Grace Ct
Temecula, CA 92592-7245

913-102-006
Jeffrey E Stone
33413 Susan Grace Ct
Temecula, CA 92592-7245

913-102-012
Laurene Stone
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Temecula, CA 92592-7245

908-360-006
Eagle Glen Apartments
41 Corporate Park 240
Irvine, CA 92606-3125

908-360-007
Eagle Glen Apartments
41 Corporate Park 240
Irvine, CA 92606-3125

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Eagle Glen Apartments
41 Corporate Park 240
Irvine, CA 92606-3125

908-393-008
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23811 Bridger Rd 110
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913-191-009
Ronald & Pamela Shan
8362 Clarkdale Dr
Huntington Be, CA 92646-3803

913-180-085
Rhonda Assn
250 Newport Center Dr M103
Newport Beach, CA 92660-7516

913-180-086
Rhonda Assn
250 Newport Center Dr 103
Newport Beach, CA 92660-7517

908-391-005
Giuseppe & Roselina Napoli
31797 Paseo La Branza
San Juan Capi, CA 92675-3374

908-392-027
Giuseppe & Rosellina Napoli
31797 Paseo La Branza
San Juan Capi, CA 92675-3374

908-400-004
Giuseppe & Rosellina Napoli
31797 Paseo La Branza
San Juan Capo, CA 92675-3374

913-062-010
Gerald W & Wanda Mulchin
9 Westchester Ct
Coto De Caza, CA 92679-4955

908-410-012
Hoang Phung
3660 S Bear St B
Santa Ana, CA 92704-7293

913-150-016
Calvary Chapel Of Costa Mesa
3800 S Fairview St
Santa Ana, CA 92704-7014

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8588 Cape Canaveral Ave
Fountain Vall, CA 92708-5045

908-371-028
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12105 Morrow Dr
Tustin, CA 92782-1277

908-400-012
Tuan Nguyen
8206 E White Fir Ln
Anaheim, CA 92808-2307

908-250-075
Patricia M Newell
1180 Joyce Dr
Brea, CA 92821-2212

913-082-024
Richard & Ellen Bruyn
272 Spruce Dr
Goleta, CA 93117-1102

913-102-011
Charlotte Archer
39574 Wendling Rd
Marcola, OR 97454-9768

*** 209 Printed ***

**Golden Eagle Multi-Family
Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

**Golden Eagle Multi-Family
Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

**Golden Eagle Multi-Family
Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

**Golden Eagle Multi-Family
Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

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Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

**Golden Eagle Multi-Family
Properties, LLC**
6201 Oak Canyon, Suite 200
Irvine, CA 92618

City of Murrieta
1 Town Square
24601 Jefferson Ave.
Murrieta, CA 92562

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1 Town Square
24601 Jefferson Ave.
Murrieta, CA 92562

APPLICATION FOR MAJOR LAND USE ACTION REVIEW RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION		ALUC Identification No. <u>ZAP10S1FV13</u>
PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)		
Date of Application	<u>MARCH 14, 2013</u>	
Property Owner	<u>GOLDEN EAGLE MULTI-FAMILY PROPERTIES, LLC</u>	Phone Number <u>949-270-7800</u>
Mailing Address	<u>6201 OAK CANYON, SUITE 200 IRVINE, CA 92618</u>	
Agent (if any)	<u>John Capelli</u> 714-334-6711	
Mailing Address		
PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)		
<i>Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways</i>		
Street Address	<u>NORTHEASTERLY OF MURRIETA HOTSPRINGS & VIA PRINCESSA</u>	
Assessor's Parcel No.	<u>908-360-015 & PORTION OF 908-360-016</u>	Parcel Size <u>7.5 AC</u>
Subdivision Name	<u>THE FAIRWAY APARTMENT HOMES</u>	
Lot Number	<u>PARCEL 1 OF PM # 34355</u>	Zoning Classification <u>MF-1</u>
PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)		
<i>If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed</i>		
Existing Land Use (describe)	<u>GOLF COURSE HOLE</u>	
Proposed Land Use (describe)	<u>112 UNIT APARTMENT PROJECT. 1, 2 & 3 BR APARTMENT HOMES IN (6) 2 & 3 STORY OR FULL 3 STORY STACKED UNITS & CARRIAGE UNITS OVER GARAGES</u>	
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	<u>112 UNITS MULTI-FAMILY</u>
For Other Land Uses (See Appendix C)	Hours of Use	<u>N/A</u>
	Number of People on Site	Maximum Number
	Method of Calculation	
Height Data	Height above Ground or Tallest Object (including antennas and trees)	<u>42'-2" BLDG. + 2' SPIRE</u> ft. <u>44'-2"</u>
	Highest Elevation (above sea level) of Any Object or Terrain on Site	
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	If yes, describe	

EV

44'-2"

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received	<u>3-25-2013</u>	Type of Project	<input checked="" type="checkbox"/> General Plan Amendment
Agency Name	<u>City of MORRISTOWN</u>		<input checked="" type="checkbox"/> Zoning Amendment or Variance
Staff Contact	<u>AARON PINTANAKI</u>		<input type="checkbox"/> Subdivision Approval
Phone Number	<u>951-461-6079</u>		<input checked="" type="checkbox"/> Use Permit
Agency's Project No.	<u>(GPA-2012-3266)/ZCO-2012-3265</u> <u>DPD-2012-3267</u>		<input type="checkbox"/> Public Facility
			<input type="checkbox"/> Other _____

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe: _____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	

	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	



Pacific Coast Land Consultants, Inc.

Civil Engineering • Land Planning • Land Surveying

25096 Jefferson Avenue Suite "D"
Murrieta, CA 92562
Tel: (951) 698-1350
Fax: (951) 698-8657
Email: admin@pclc-hjk.net

LETTER OF TRANSMITTAL

**To: Riverside County
Airport Land Use Commission
4080 Lemon St. 14th Floor
Riverside, CA 92501**

Date: 03-12-2013	Project No. WO# 27196
Attention: Barbara Santos	
Subject: GPA-2012-3266, ZC0-2012-3265, DP0-2012-3267	

We are transmitting via: Overnight Messenger US Mail Facsimile Pick-up

Number of Set(s)	Description
1 set	Application Form
1 set	Project Site Plan
1 set	Elevations of Buildings
1 each	8 ½ X 11 reduced copy of the above
1 set	8 ½ X 11 reduced copy showing project in relationship to airport
4 sets	Gummed address labels of the owner and representative
4 sets	Gummed address labels of the referring agency (City of Murrieta)
1 set	Gummed address labels of all property owners
1 set	Check for fee (3,564.00)

These are transmitted as checked below:

- For your review Per your request For your approval For signature For your use
- Other _____

H. Jei Kim, PLS
President

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

- 3.1 Director's Approvals. During the month of April, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Ed Cooper approved one non-legislative case determined to be consistent with an Airport Land Use Compatibility Plan, a proposal for a telecommunications facility rising 11 feet above the roof parapet of an existing building located in Compatibility Zone E of the Palm Springs Airport Influence Area. Staff is attaching a copy of the approval letter and background information.

- 3.2 Proposed Overrule: Desert Community College District. On April 17, 2013, Mr. John Criste of Terra Nova Planning and Research, acting on behalf of his client, Desert Community College District (hereafter "District"), provided to ALUC staff and to CALTRANS Division of Aeronautics a copy of a draft resolution that the District Board of Trustees could adopt at its May 17 meeting overruling ALUC's April 11 finding of inconsistency for the proposed West Valley Campus location at the northwest corner of Indian Canyon Drive and Tramview Road in the City of Palm Springs. Additionally, on April 18, he provided a copy of a Determination of No Hazard to Air Navigation issued for the development of a 60-foot-high building in Phase I. These documents are attached herewith for your review and comment, if any. Staff will be reviewing these documents and will have additional comments ready for discussion at the May 9 ALUC meeting.



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

CHAIR April 3, 2013

Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

Mr. David Newell, Associate Planner
City of Palm Springs Planning Department
3200 E. Tahquitz Canyon Way
Palm Springs CA 92262

COMMISSIONERS

Arthur Butler
Riverside

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

Glen Holmes
Hemet

File No.: ZAP1013PS13
Related File No.: CUP No. 5.1291
APN: 669-430-014

John Lyon
Riverside

Dear Mr. Newell:

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above- referenced proposal to establish an unmanned telecommunications facility consisting of antennas on a 15-foot tower located atop the roof of an existing building (rising a total of 11 feet above the roof parapet) with an address of 401 West Radio Road, within a fully developed 3.18-acre parcel located at the southeast corner of Radio Road and McCarthy Road in the City of Palm Springs.

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

County Administrative Center
4080 Leron St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

The site is located in Airport Compatibility Zone E of the 2005 Palm Springs International Airport Land Use Compatibility Plan. The maximum height at the top of the tower will not exceed 33 feet above ground level, but, as the site elevation was considerably greater than the elevation of the runway, review by the Federal Aviation Administration (FAA) Obstruction Evaluation Service was required. This review has been completed, resulting in an FAA Determination of No Hazard to Air Navigation for the proposed project.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Palm Springs International Airport Land Use Compatibility Plan, subject to the following conditions:

www.rcaluc.org

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft

- engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers and lessees of the property or any portion thereof.
 4. Within five (5) days after construction reaches its greatest height, the project developer shall e-file Form 7460-2, Part II Notice of Actual Construction or Alteration, to the Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group, 2601 Meacham Boulevard, Fort Worth TX 76137 (www.oaaaa.faa.gov), in accordance with the requirements of the Determination of No Hazard to Air Navigation letter dated March 14, 2013. The requirement for submittal is also applicable in the event the project is abandoned.
 5. The Federal Aviation Administration has conducted an aeronautical study of the proposed antenna tower (2013-AWP-1210-OE) and has determined that neither marking nor lighting of the proposed structure is necessary for aviation safety. However, if marking and/or lighting are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
 6. The maximum height of the proposed tower, including all mounted appurtenances and obstruction or aviation safety lighting (if any), shall not exceed 33 feet above ground level, and the maximum elevation at the top of the tower shall not exceed 660 feet above mean sea level.
 7. The specific coordinates, height, top point elevation, power, and frequencies of the proposed facility shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in tower height or elevation shall not require further review by the Airport Land Use Commission.
 8. Temporary construction equipment used during actual construction of the structure shall not exceed 33 feet above ground level, and the maximum elevation at the top of any equipment shall not exceed 660 feet above mean sea level, unless separate notice

AIRPORT LAND USE COMMISSION

April 3, 2013

is provided to the Federal Aviation Administration through the Form 7460-1 process.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

JJGJG:bks

Attachments: Notice of Airport in Vicinity
Aeronautical Study No. 2013-AWP-1210-OE

cc: Thomas Nolan, Manager, Palm Springs International Airport
Richard Burnelle, Craig Wireless Palm Springs, Inc. (representative/payee)
Cube Smart L.P.
U Store It (Alexandria, VA)
ALUC Staff

Y:\AIRPORT CASE FILES\Palm Springs\ZAP1013PS13\ZAP1013PS13LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2013-AWP-1210-OE

Issued Date: 03/14/2013

Rich Brunelle
 Craigwireless
 71-713 Highway 111
 Rancho Mirage, CA 92270

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: radio road
 Location: Palm springs, CA
 Latitude: 33-51-42.30N NAD 83
 Longitude: 116-33-03.67W
 Heights: 627 feet site elevation (SE)
 33 feet above ground level (AGL)
 660 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 09/14/2014 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-AWP-1210-OE.

Signature Control No: 183861276-185432325
Karen McDonald
Specialist

(DNE)

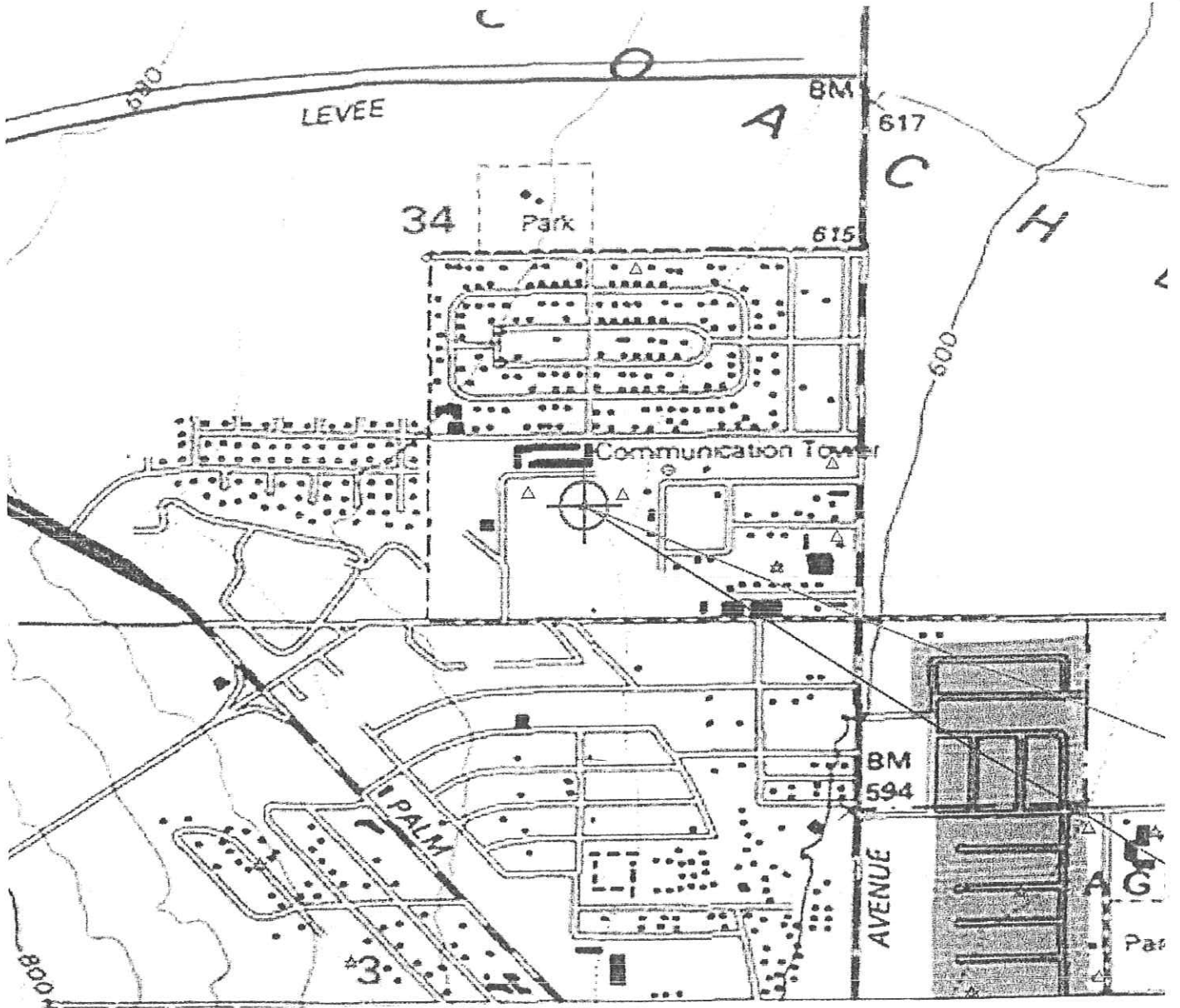
Attachment(s)
Case Description
Frequency Data
Map(s)

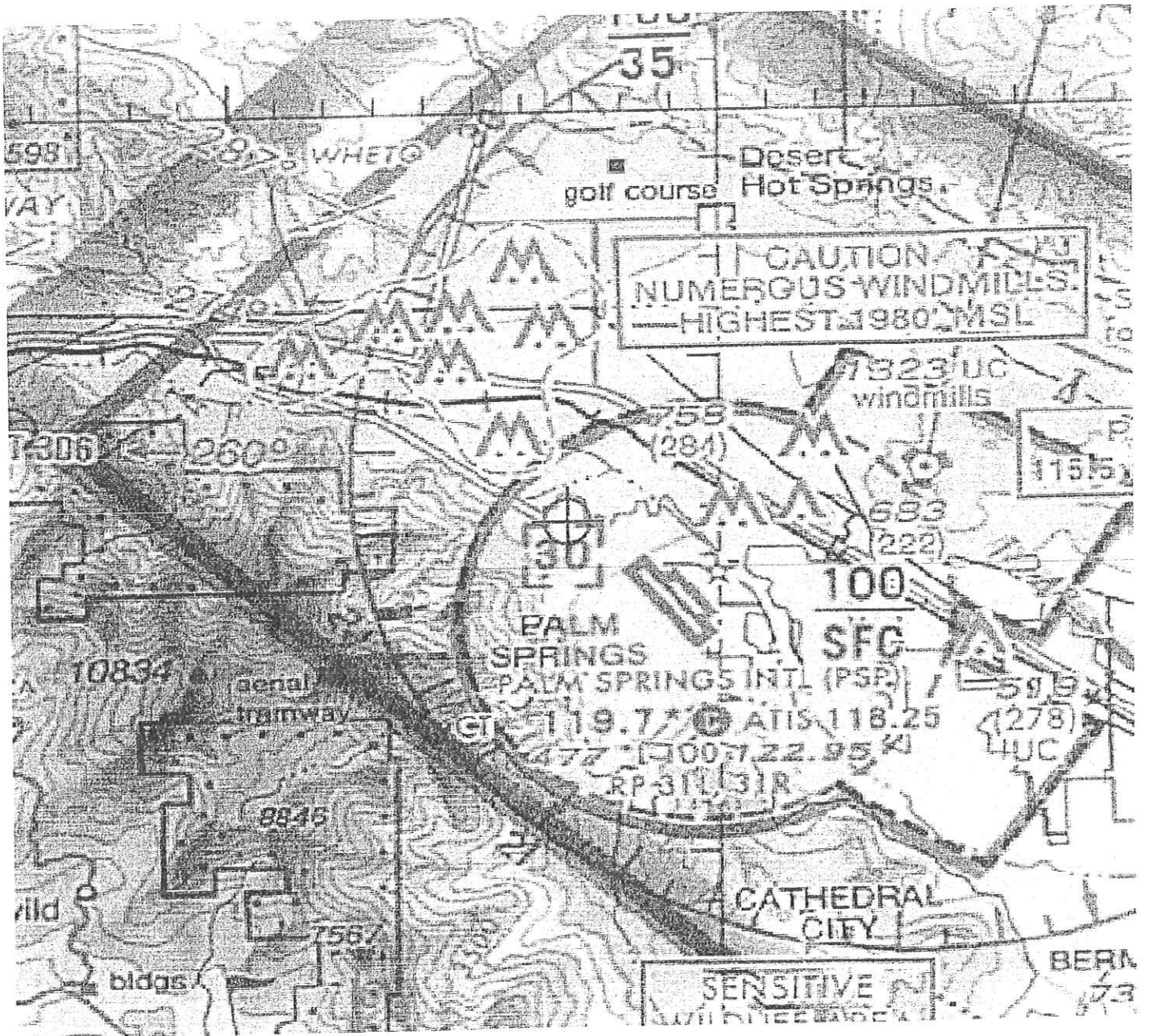
cc: FCC

add 3 sector antenna's on 15 ft tri pod rack on an existing building

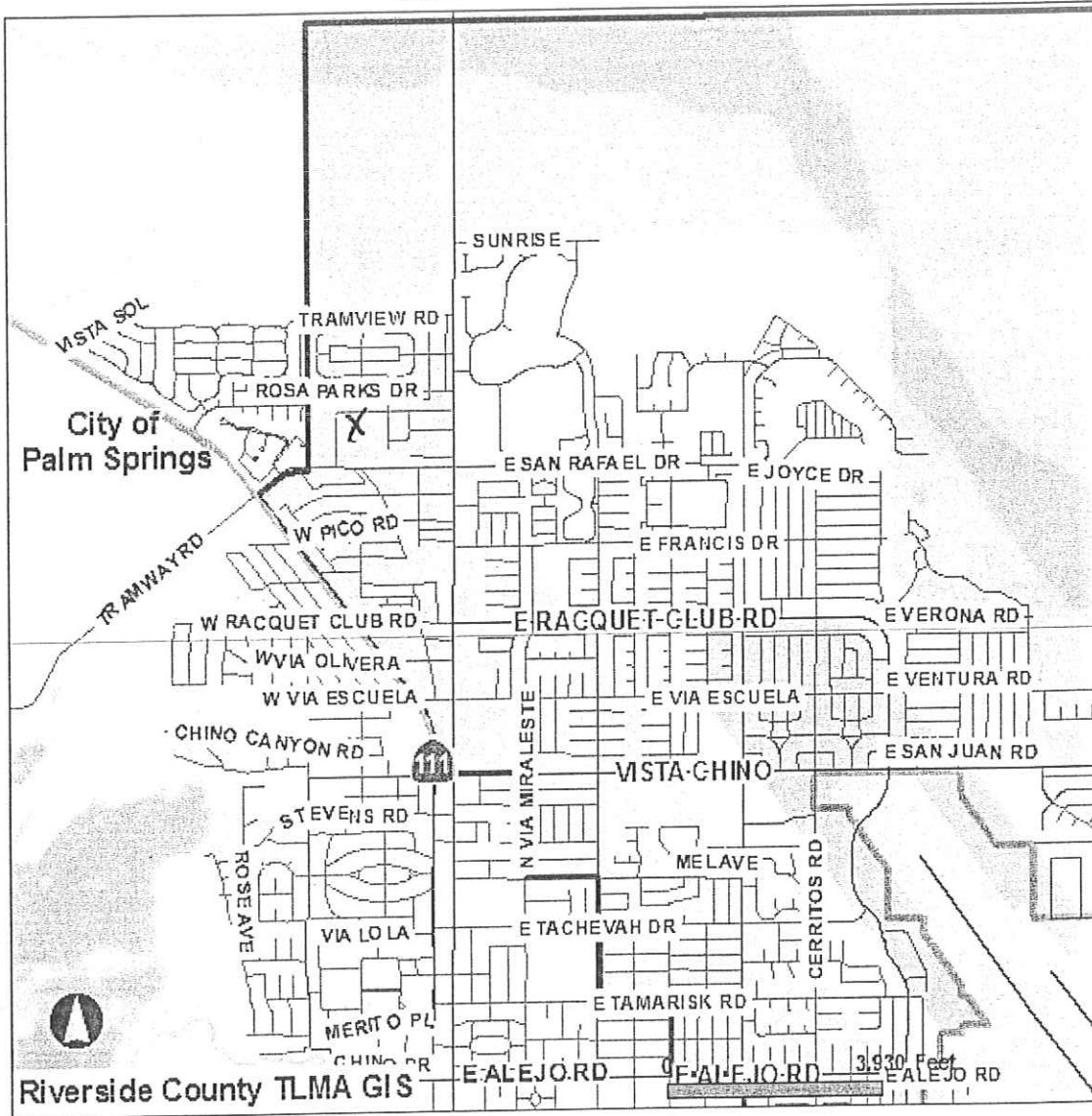
Frequency Data for ASN 2013-AWP-1210-OF

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
18	19.6	GHz	65	W
2507	2682	MHz	5	W











RIVERSIDE COUNTY GIS



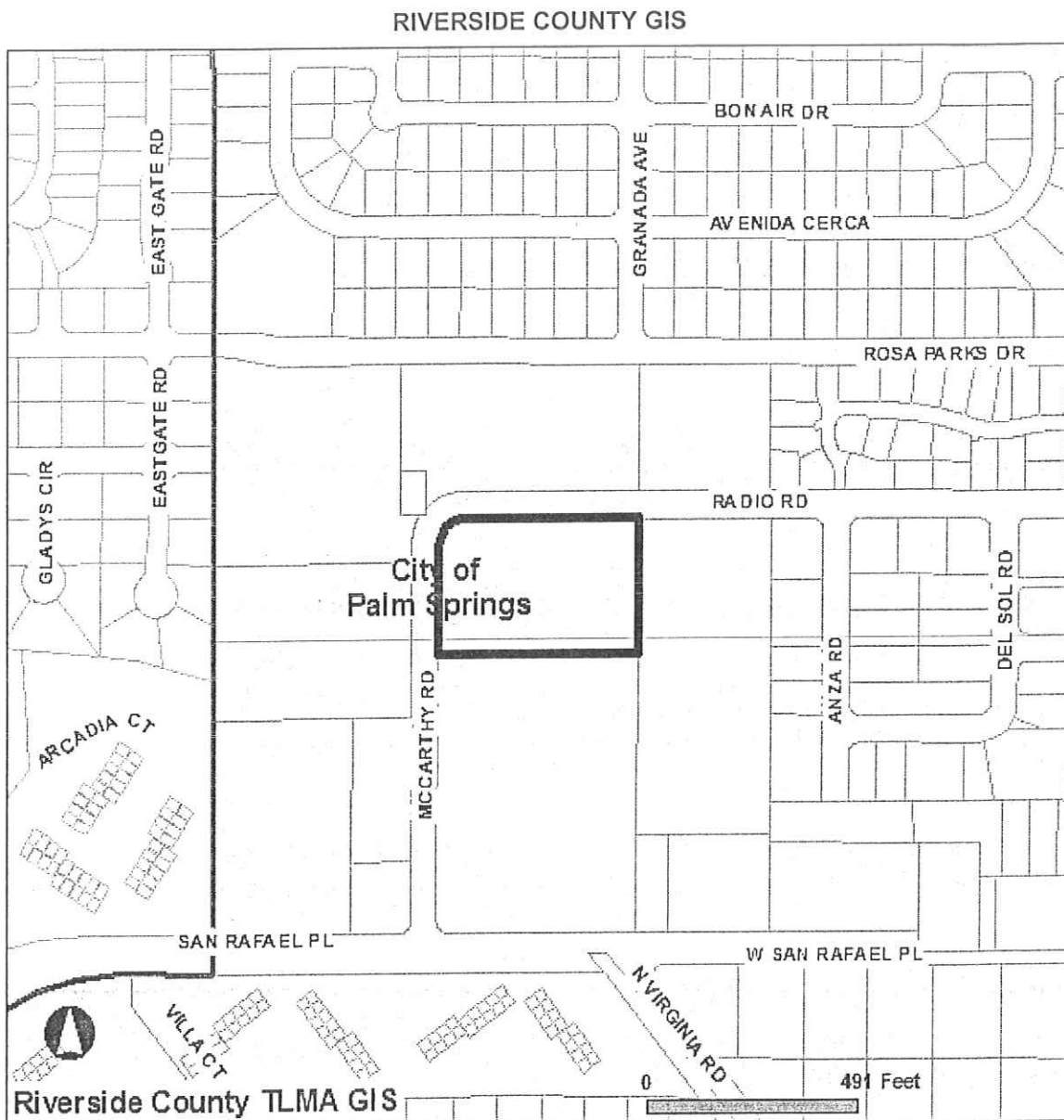
Selected parcel(s):
669-430-014

AIRPORTS

-  INTERSTATES
-  HIGHWAYS
-  STREETS
-  AIRPORT RUNWAYS
-  AIRPORT INFLUENCE AREAS
-  AIRPORT BOUNDARIES
- COMPATIBILITY ZONE A
- COMPATIBILITY ZONE B1
- COMPATIBILITY ZONE B2
- COMPATIBILITY ZONE C
- COMPATIBILITY ZONE D
- COMPATIBILITY ZONE E

IMPORTANT
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REPORT PRINTED ON...Tue Apr 02 16:33:07 2013
Version 130225



Selected parcel(s):
669-430-014

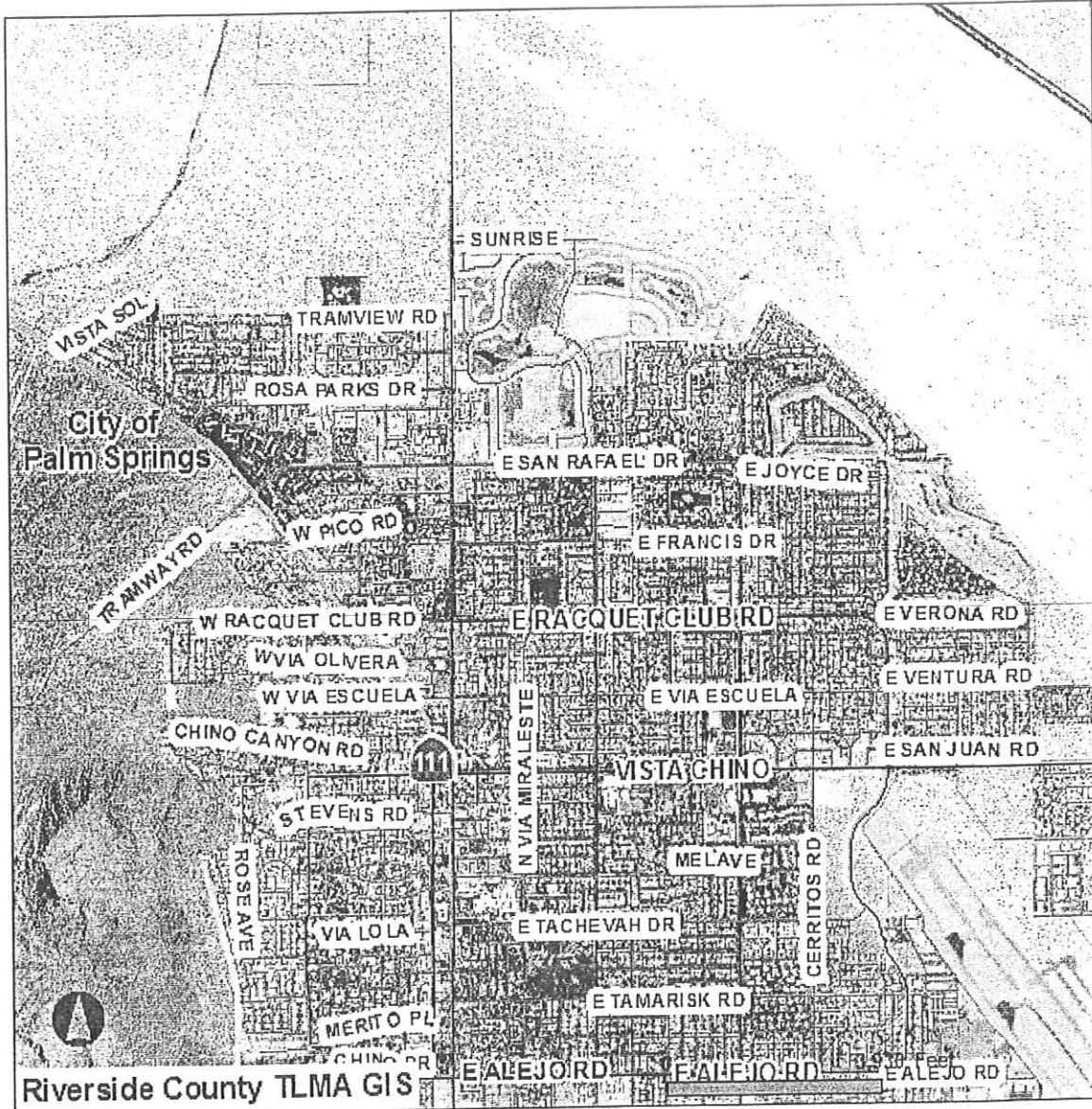
AIRPORTS

- SELECTED PARCEL
- AIRPORT INFLUENCE AREAS
- INTERSTATES
- HIGHWAYS
- PARCELS
- COMPATIBILITY ZONE D
- COMPATIBILITY ZONE E

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
669-430-014

LEGEND

INTERSTATES

HIGHWAYS

STREETS

CITY

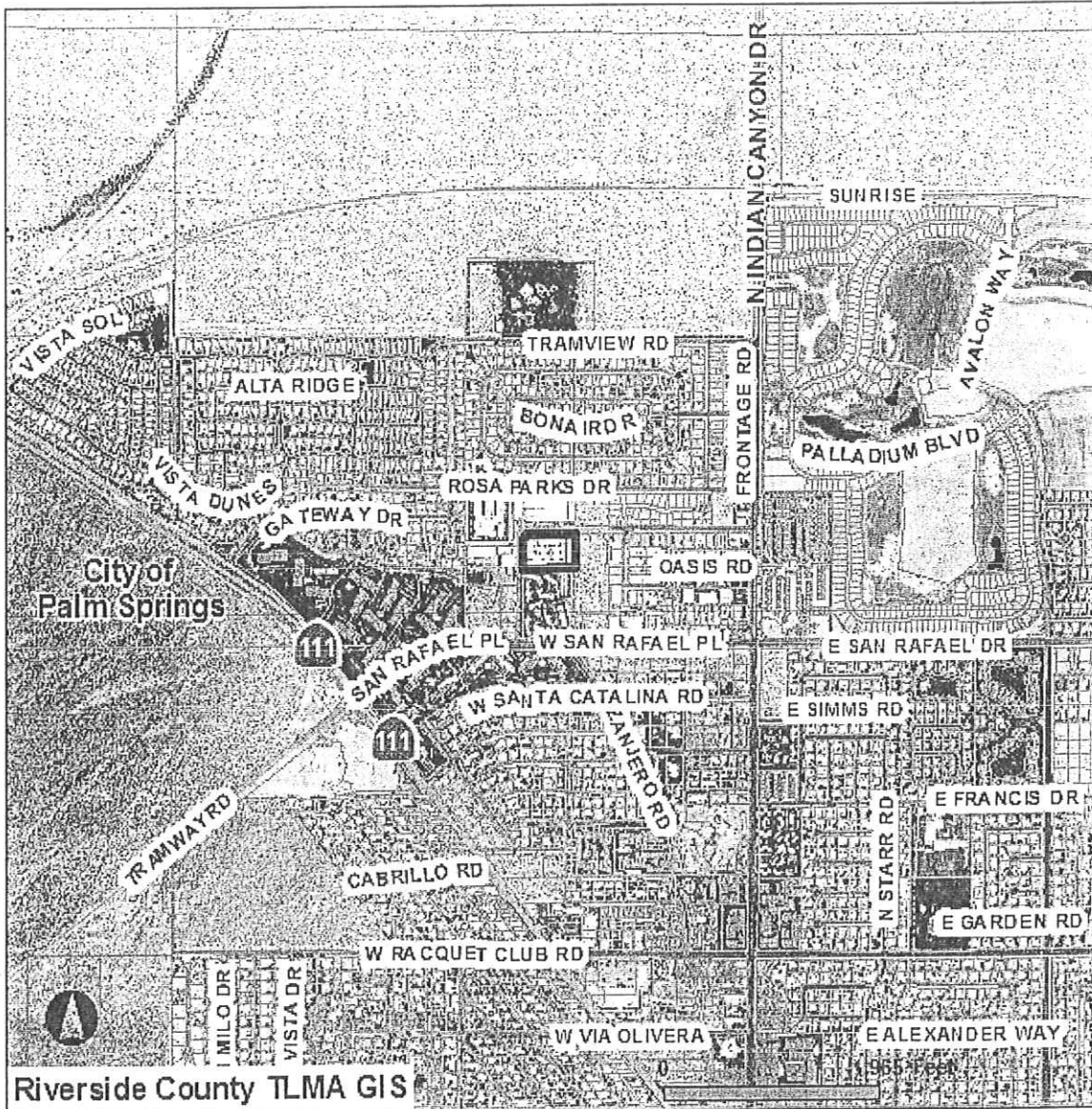
IMPORTANT

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
669-430-014

LEGEND

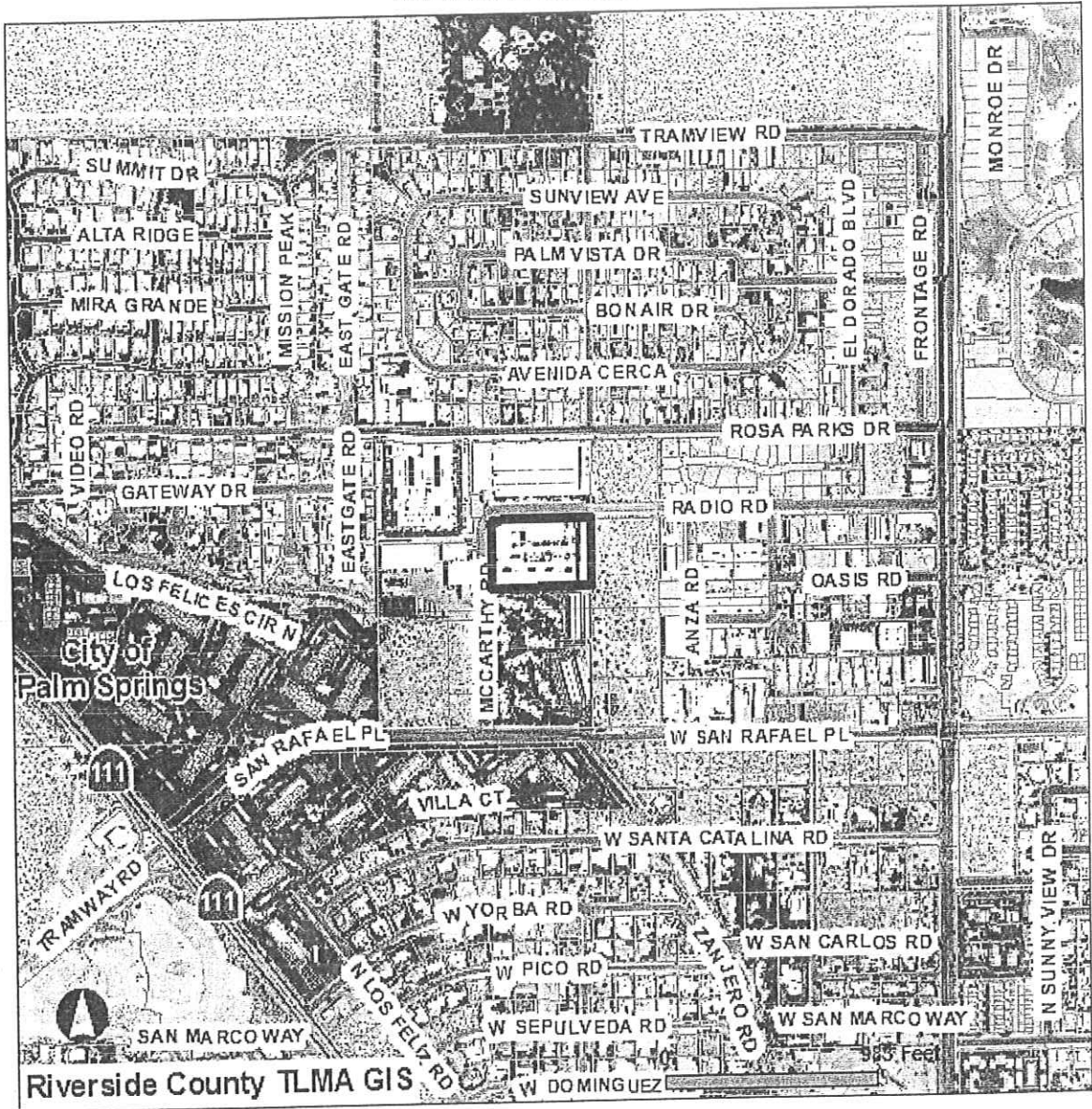
- SELECTED PARCEL
- CITY
- INTERSTATES
- HIGHWAYS
- PARCELS

IMPORTANT
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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
669-430-014

LEGEND

-  SELECTED PARCEL
-  CITY

 INTERSTATES

 HIGHWAYS

 PARCELS

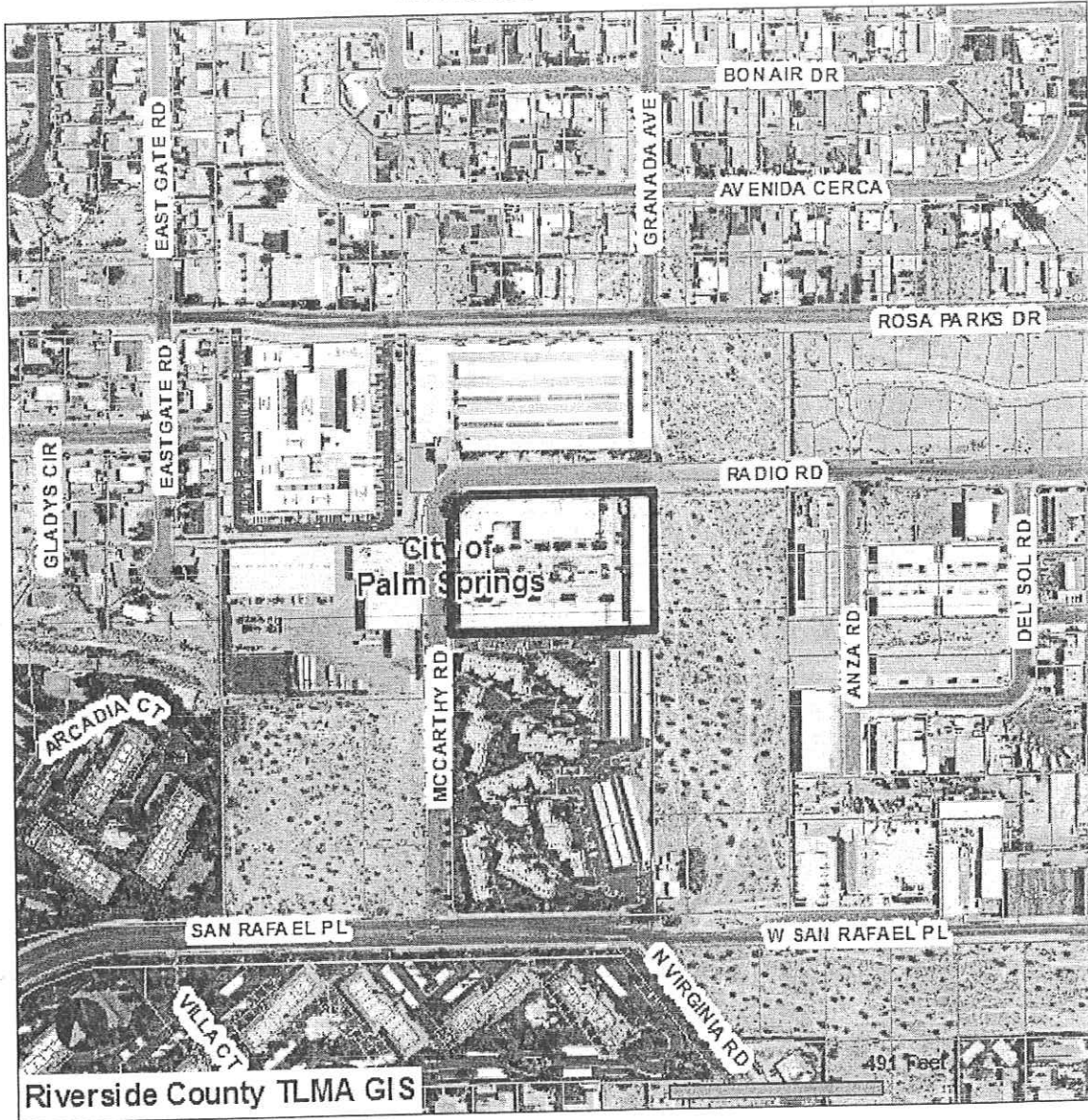
IMPORTANT

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
669-430-014

LEGEND

 SELECTED PARCEL
 CITY

 INTERSTATES

 HIGHWAYS

 PARCELS

IMPORTANT

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STANDARD REPORT

APNs

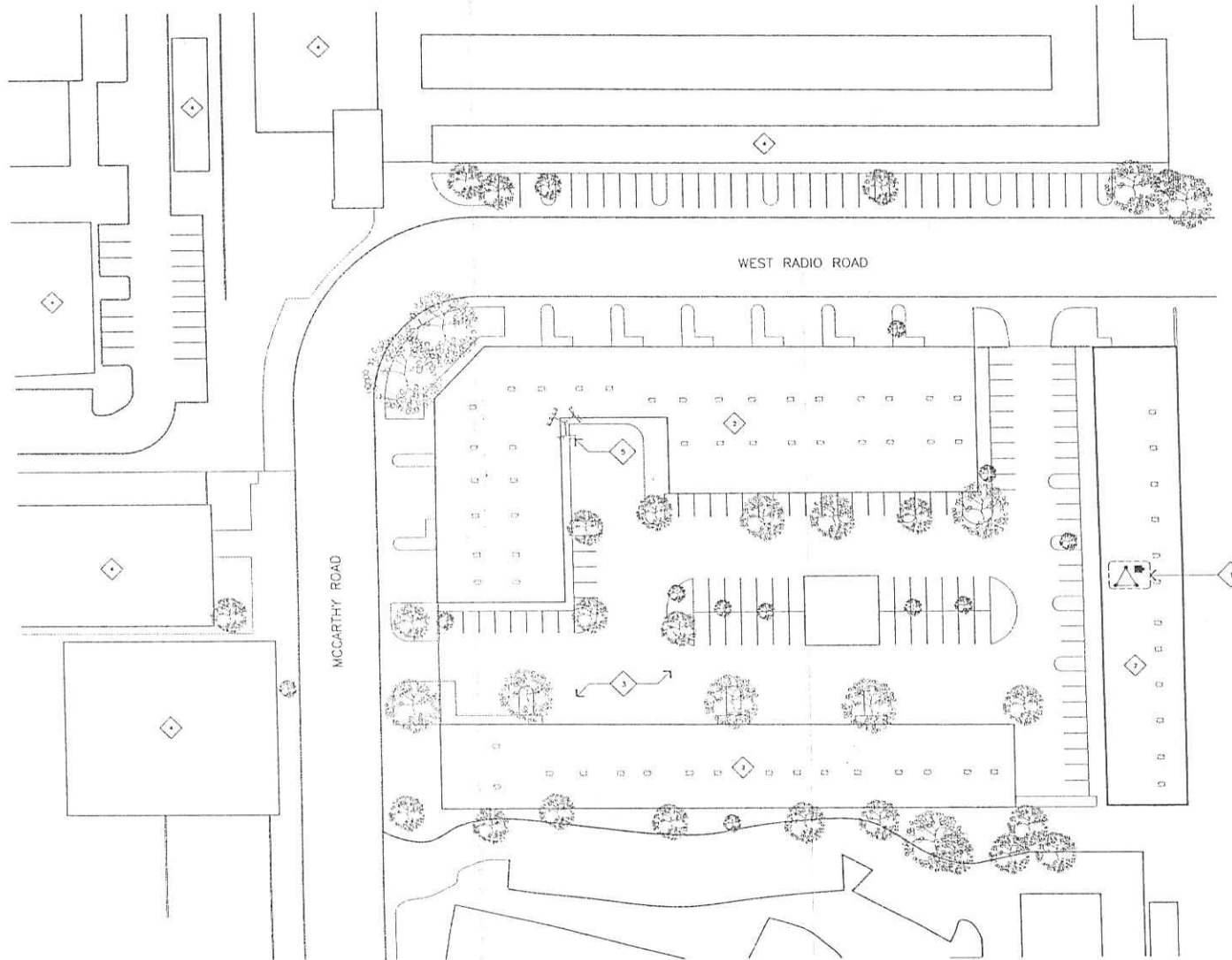
669-430-014-9

OWNER NAME / ADDRESS

U STORE IT LP
401 W RADIO RD
PALM SPRINGS, CA. 92262

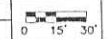
OVERALL SITE PLAN KEYNOTES

- 1 (N) CRAIG WIRELESS LEASE AREA, SEE SHEET A-1
- 2 (E) BUILDING
- 3 (E) PARKING, TYP.
- 4 (E) SURROUNDING BUILDINGS
- 5 (E) MONOPOLE BY OTHER CARRIER



OVERALL SITE PLAN

SCALE:
1"=30'



JRA

Jeffrey Rowe & Associates, Inc.

Architecture & Telecommunications
1 San Josephe Plaza, Suite 200
Newport Beach, California 92660
Phone: (949) 260-2929
Fax: (949) 260-3931

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PREPARED FOR

craigwireless™

P.O. BOX 19707
IRVINE, CA 92713-9707



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

WEST RADIO ROAD

401 WEST RADIO ROAD
PALM SPRINGS, CALIFORNIA 92258

DRAWING DATES

- 09/24/12 PRELIM 2D'S (P1)
- 10/05/12 100% 2D'S (P2)
- 12/04/12 PLANNING COMMENTS (P3)
- 01/24/13 CLIENT COMMENTS (P4)

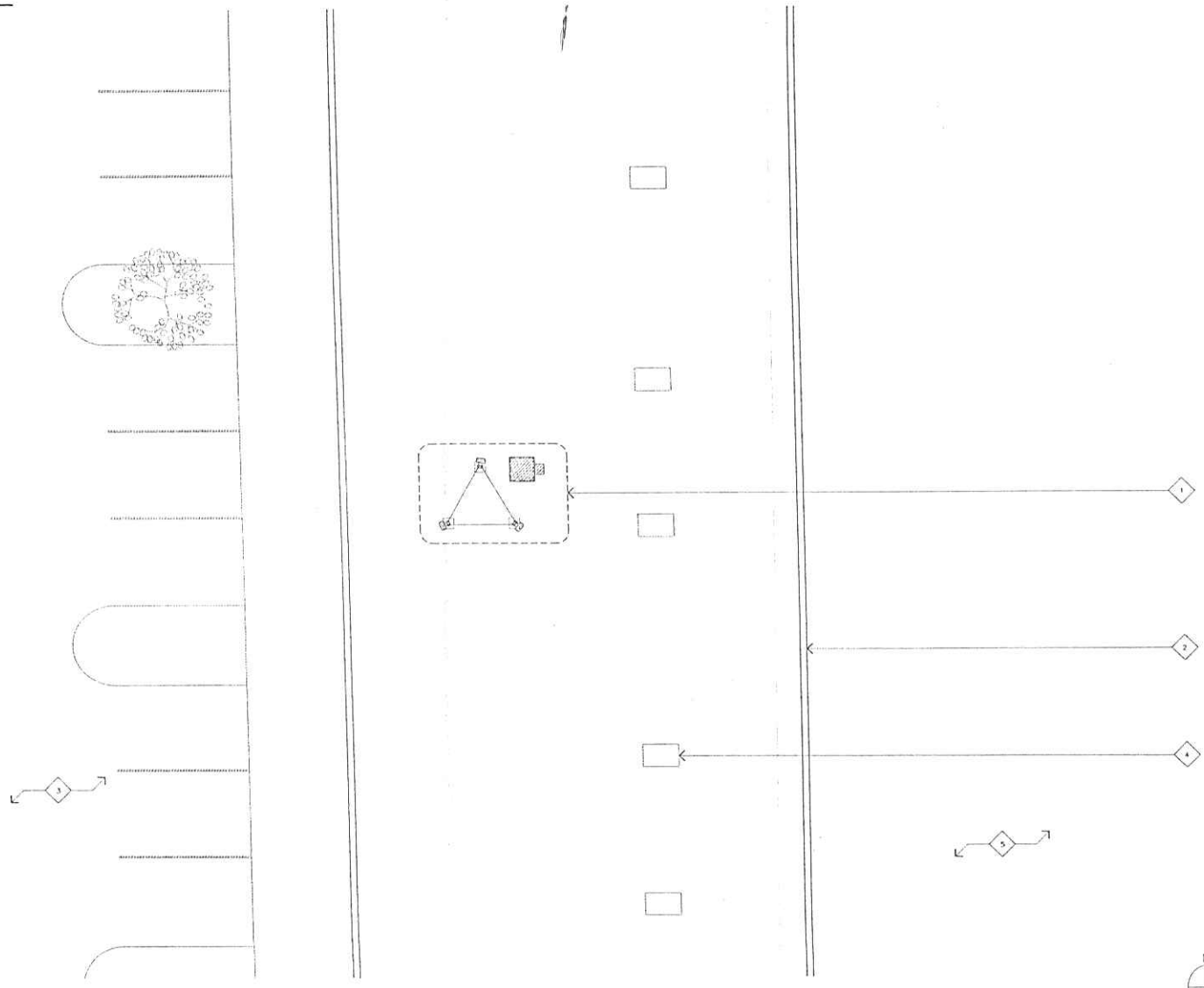
SHEET TITLE

OVERALL SITE PLAN

A-0

PARTIAL ROOF PLAN KEYNOTES

- 1 (N) CRAIG WIRELESS LEASE AREA OR (E) BUILDING ROOF
- 2 (E) BUILDING
- 3 (E) PARKING, TYP.
- 4 (E) MECHANICAL EQUIPMENT, TYP.
- 5 (E) VACANT LOT.



PARTIAL ROOF PLAN

SCALE: 3/16"=1'-0" 0 3' 6' 1

JRA
 Jeffrey Rona & Associates, Inc.
 Architecture & Telecommunications
 1 San Joaquin Plaza, Suite 150
 Newport Beach, California 92660
 Phone: (949) 760-3329
 Fax: (949) 760-3951

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craigwireless™
 P.O. BOX 19707
 IRVINE, CA 92715-9707



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
WEST RADIO ROAD
 401 WEST RADIO ROAD
 PALM SPRINGS, CALIFORNIA 92258

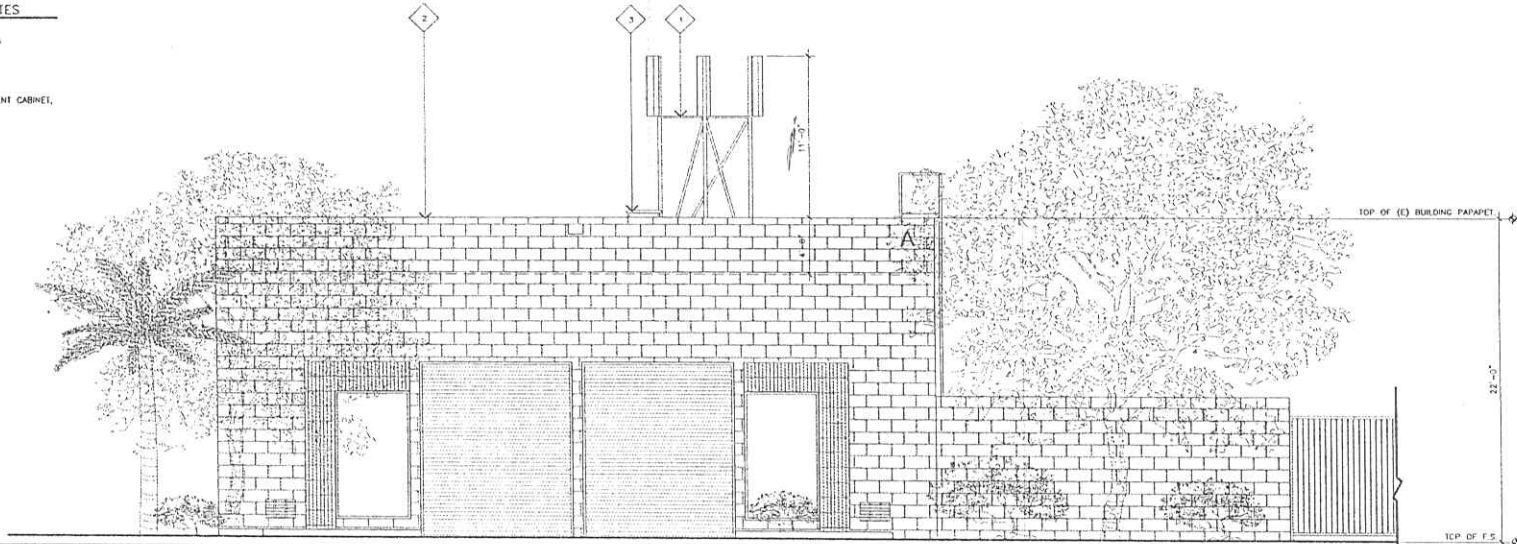
DRAWING DATES
 09/24/12 PRELIM 2D'S (P1)
 10/05/12 100% 2D'S (P2)
 12/04/12 PLANNING COMMENTS (P3)
 01/24/13 CLIENT COMMENTS (P4)

SHEET TITLE
PARTIAL ROOF PLAN

A-1

NORTH ELEVATION KEYNOTES

- 1 (A) CRAIG WIRELESS ANTENNA BACK
- 2 (E) BUILDING
- 3 (N) CRAIG WIRELESS EQUIPMENT CABINET, ROOF MOUNTED.

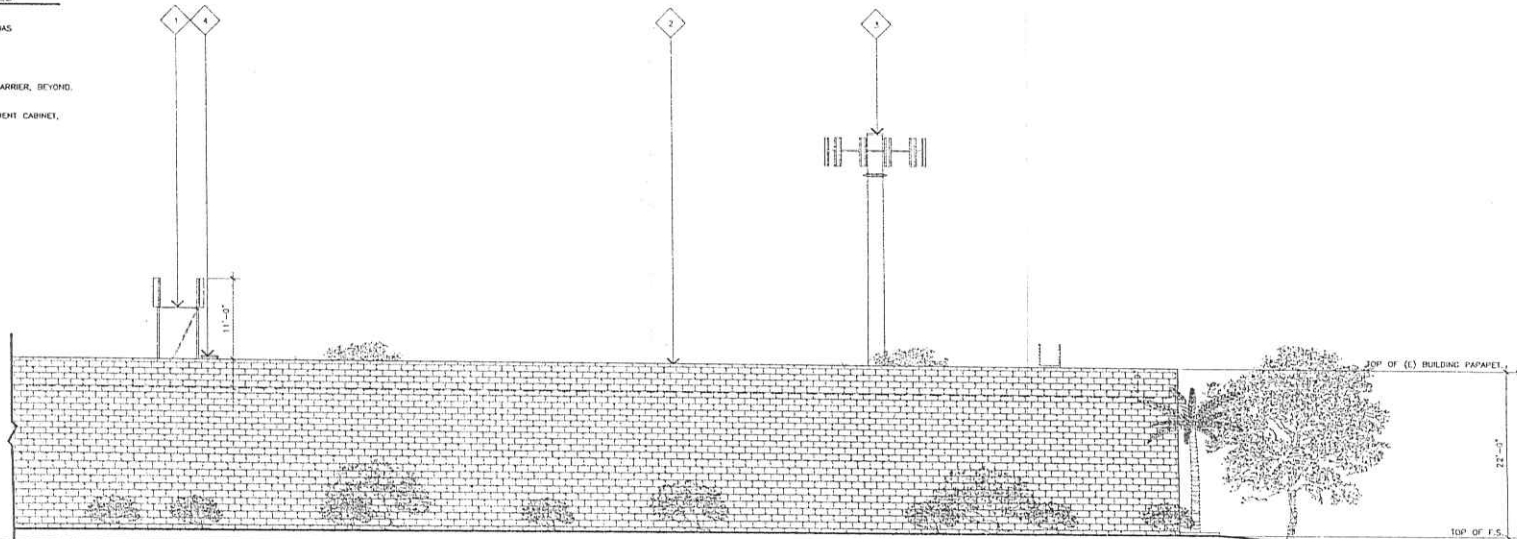


NORTH ELEVATION

SCALE: 1/4"=1'-0" 0 2' 4' 2

EAST ELEVATION KEYNOTES

- 1 (A) CRAIG WIRELESS ANTENNAS ON (V) ANTENNA BACK
- 2 (E) BUILDING
- 3 (E) MONOPOLE BY OTHER CARRIER, BEYOND
- 4 (N) CRAIG WIRELESS EQUIPMENT CABINET, ROOF MOUNTED.



EAST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

JRA
Jeffrey Rome & Associates, Inc.

Architecture & Telecommunications
1 San Joaquin Plaza, Suite 250
Newport Beach, California 92660
Phone: (949) 760-3339
Fax: (949) 760-3851

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PREPARED FOR

craigwireless

P.O. BOX 19707
IRVINE, CA 92713-9707



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

WEST RADIO ROAD

431 WEST RADIO ROAD
PALM SPRINGS, CALIFORNIA 92258

DRAWING DATES

05/24/12 PRELIM 20'S (P1)
10/05/12 100% 20'S (P2)
12/04/12 PLANNING COMMENTS (P3)
01/24/13 CLIENT COMMENTS (P4)

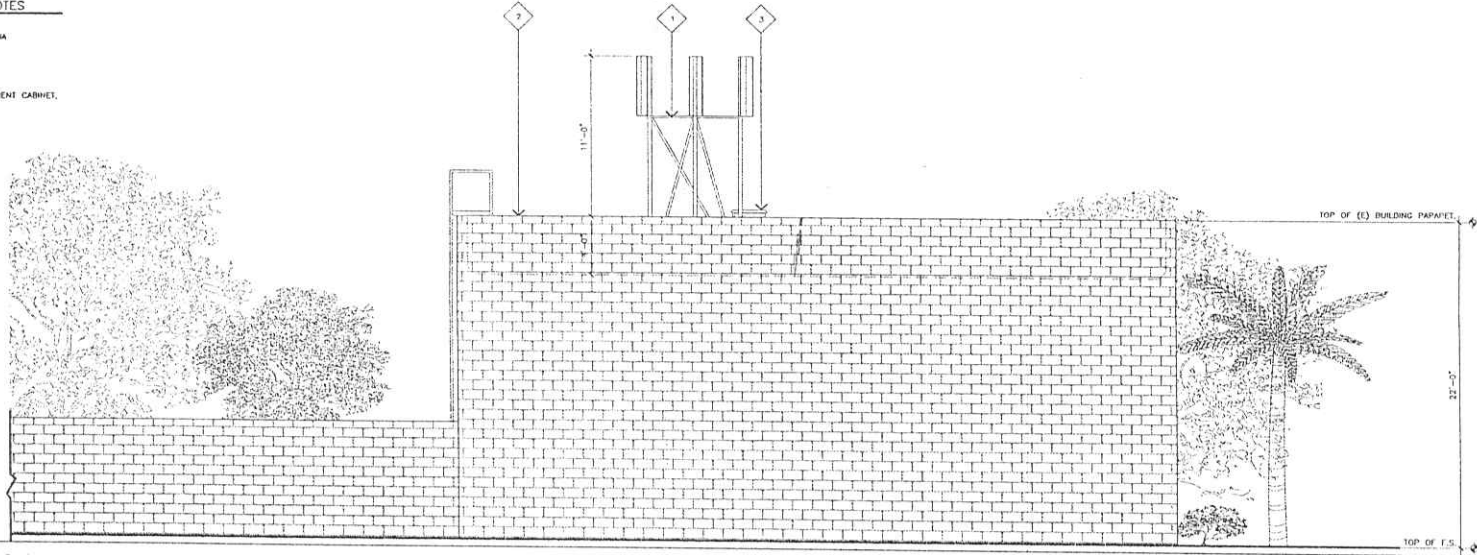
SHEET TITLE

NORTH AND EAST ELEVATIONS

A-2

SOUTH ELEVATION KEYNOTES

- 1 (N) CRAIG WIRELESS ANTENNA BACK
- 2 (E) BUILDING
- 3 (N) CRAIG WIRELESS EQUIPMENT CABINET, ROOF MOUNTED.

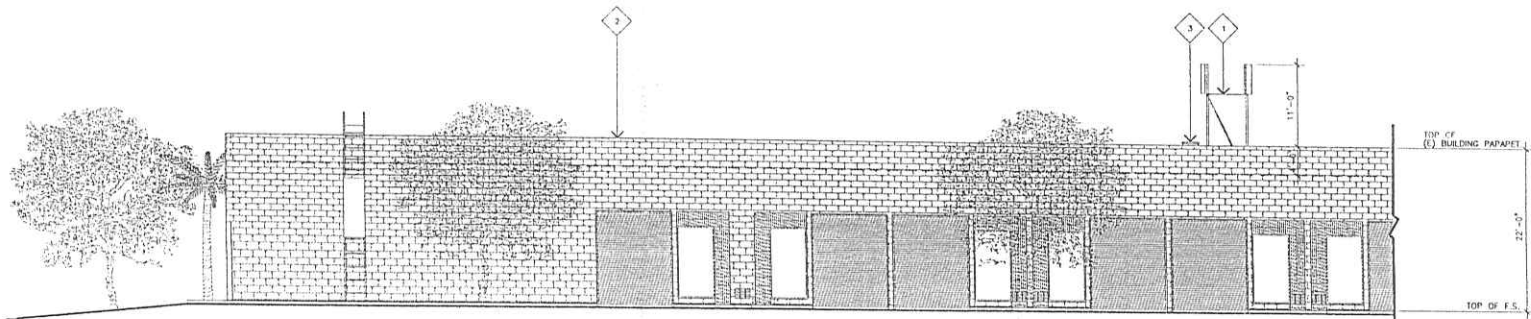


SOUTH ELEVATION

SCALE: 1/4"=1'-0"
0 2' 4' 2

WEST ELEVATION KEYNOTES

- 1 (N) CRAIG WIRELESS ANTENNA BACK
- 2 (E) BUILDING
- 3 (N) CRAIG WIRELESS EQUIPMENT CABINET, ROOF MOUNTED ON (E) ROOF



WEST ELEVATION

SCALE: 1/8"=1'-0"
0 4' 8' 1

JRA

Jeffrey Rome & Associates, Inc.
Architecture & Telecommunications
1 San Joaquin Plaza, Suite 250
Irvine, California 92614
Phone: (949) 760-3929
Fax: (949) 760-3931

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PREPARED FOR

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APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

WEST RADIO ROAD

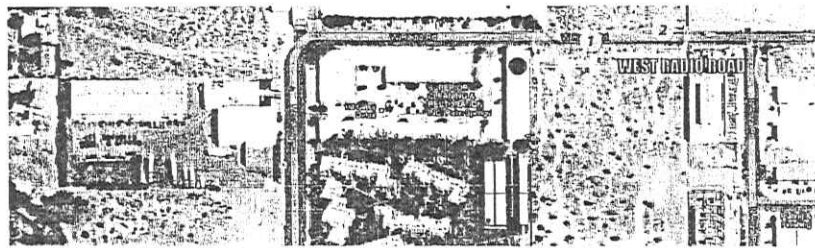
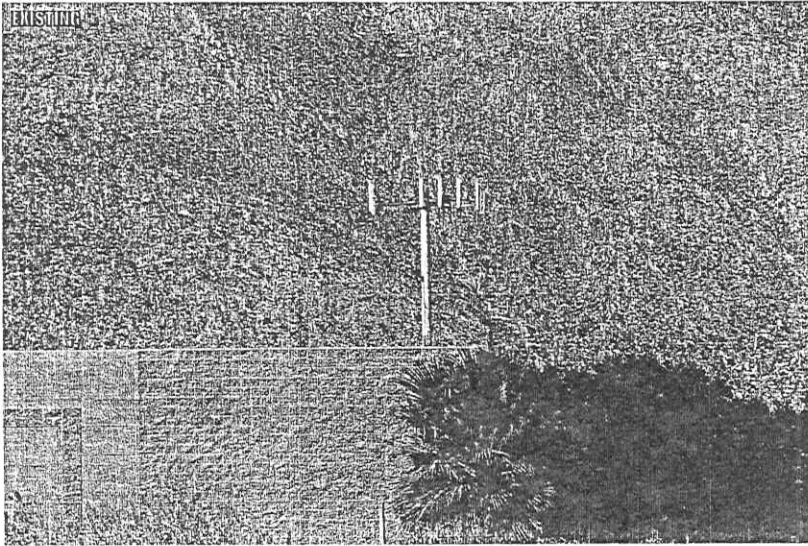
401 WEST RADIO ROAD
PALM SPRINGS, CALIFORNIA 92258

DRAWING DATES
09/24/17 PRELIM 20'S (P1)
10/05/12 100% 20'S (P2)
12/04/12 PLANNING COMMENTS (P3)
01/24/13 CLIENT COMMENTS (P4)

SHEET TITLE

SOUTH AND WEST ELEVATIONS

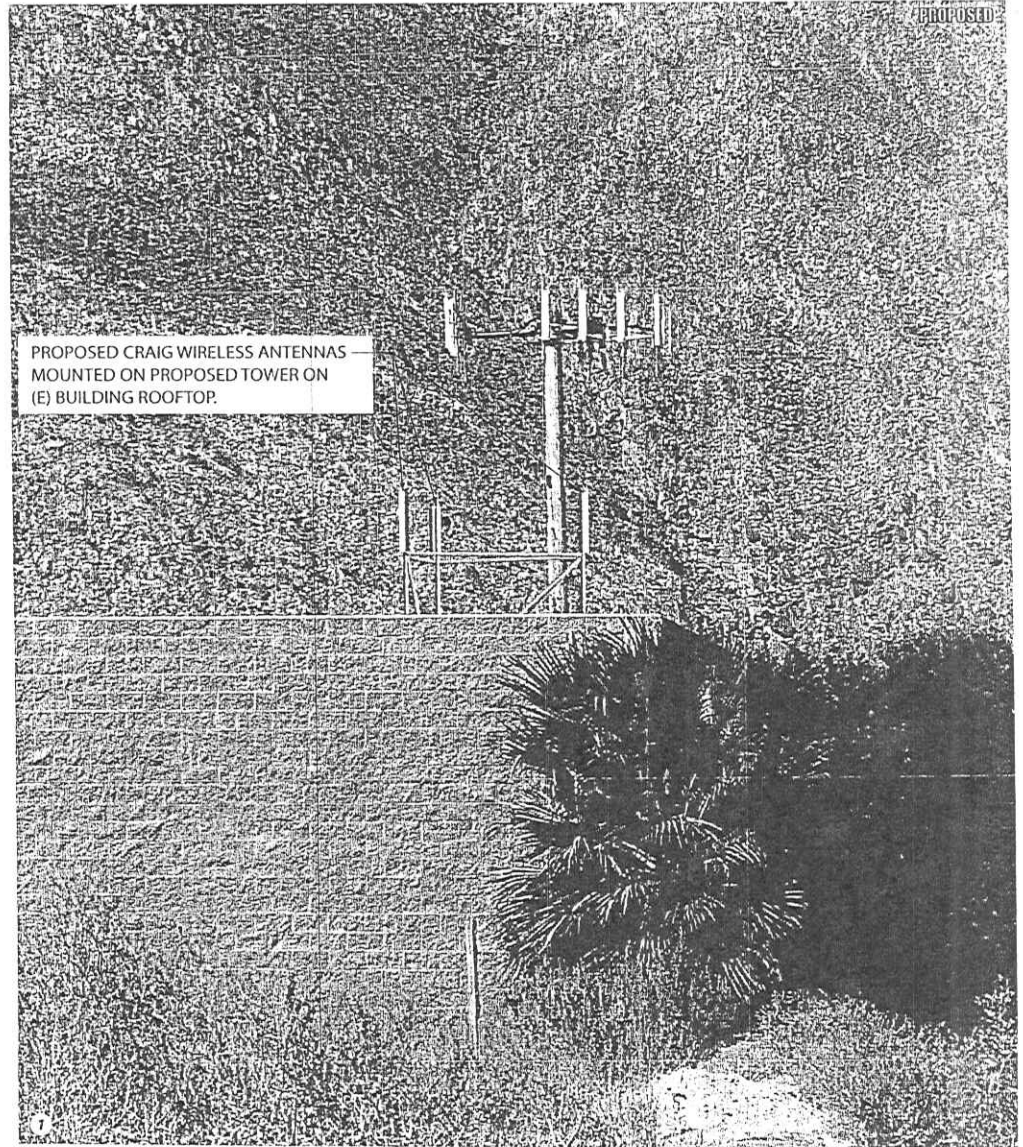
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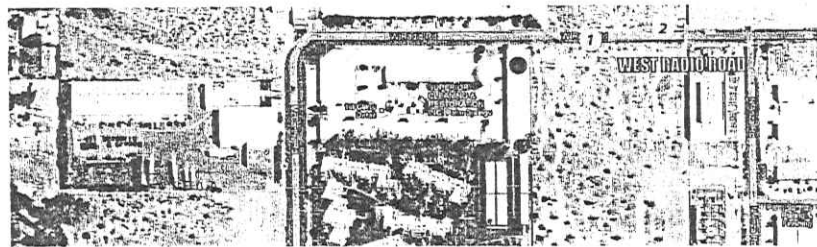
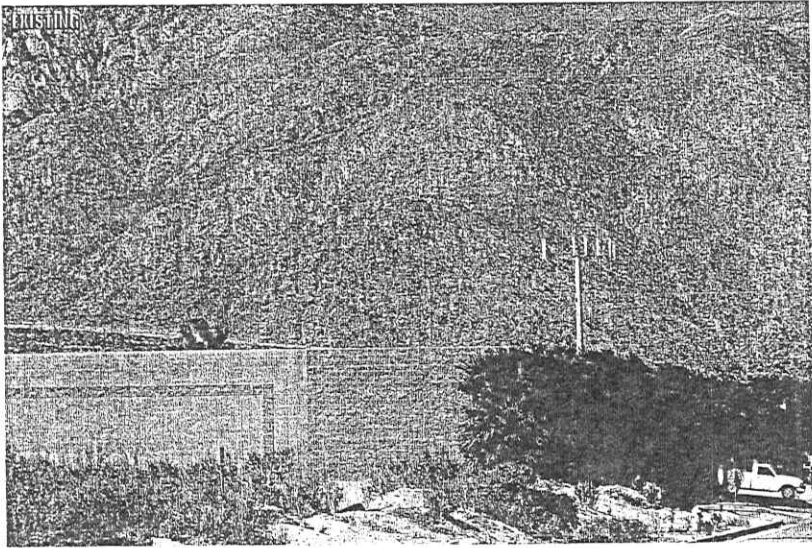


Photosimulation Viewpoint

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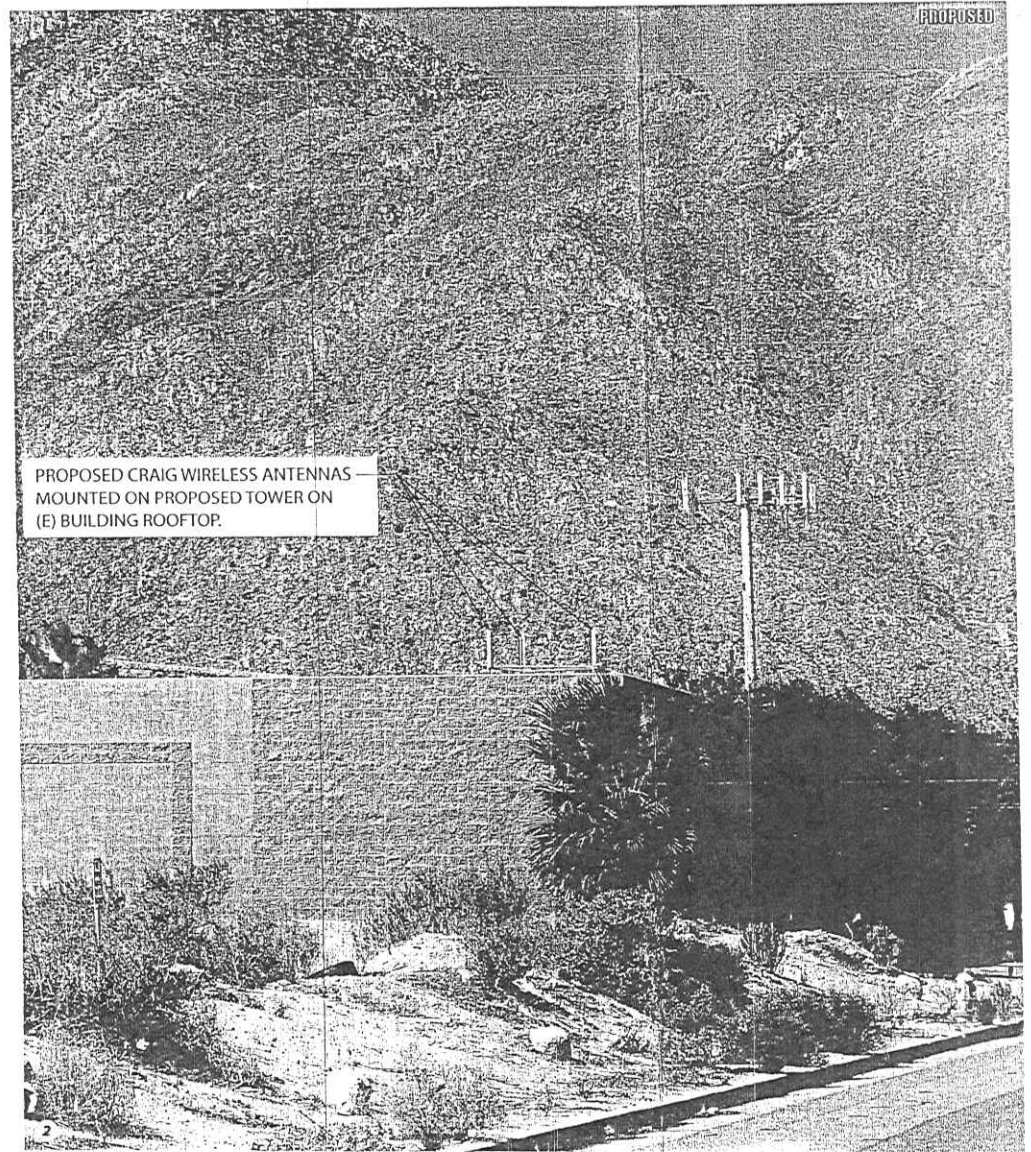
CRAIG WIRELESS PROJECT
WEST RADIO ROAD
401 West Radio Road
Palm Springs, CA 92258





Photosimulation Viewpoint

craigwireless™ CRAIG WIRELESS PROJECT
WEST RADIO ROAD
401 West Radio Road
Palm Springs, CA 92258



Guerin, John

From: John Criste [jcriste@terranovalanning.com]
Sent: Wednesday, April 17, 2013 4:42 PM
To: terry_barrie@dot.ca.gov; ron_bolyard@dot.ca.gov; Guerin, John
Cc: Mac McGinnis; Steve Renew; John Raymond
Subject: RivCo ALUC Override Resolution, et al
Attachments: COD WVC ALUC TechMemo4.17.13.pdf; COD WVC Dft ALUC Reso 4.17.13 Sml.pdf

Dear Mrrs. Barrie and Bolyard:

Thanks to you both for taking the time to speak with me this morning regarding the Riverside County ALUC action taken on April 11, 2013 determining that the West Valley Campus of College of the Desert (Desert Community College District) is inconsistent with the land use compatibility mapping and criteria established by the County ALUC. As recommended by Mr. Barrie, we are hereby emailing the above referenced materials for your consideration.

The compatibility question focused on the issue of maximum single acre occupancy and County ALUC's somewhat conservative interpretation of the California Airport Land Use Planning Handbook. While County ALUC commission members were willing to make a "Special Circumstances" finding under Section 3.3.6 of the Countywide Policies, and a motion was floated to so approve, the motion failed by a 3 to 4 vote. County criteria currently limit maximum single acre occupancy to 300 persons in Zone D.

In addition to working with Mr. John Guerin of the Riverside County ALUC staff, we have also been conferring with Victor Globa, Environmental Specialist at the FAA Lawndale office and provided him with a copy of the Draft EIR for the campus master plan. We have also filed a Form 7460-1 Notice of Construction with FAA Fort Worth for this project, which is currently being processed.

As mentioned throughout our discussions, it is important to note that the City of Palm Springs owns and operates the Palm Springs International Airport. The City has consistently given attention and consideration to the relationship of current and long-term airport operations to the subject campus and other lands near the airport. The City purchased the subject campus site from the BLM and subsequently gifted the site to the College. The City then sponsored the preparation of an area-wide Specific Plan covering 510-acres, including the subject campus site.

In addition to the attached draft resolution that the District Board of Trustees will be asked to adopt, I have also included several exhibits that help to provide context. Also attached is a "Technical Memorandum" we prepared for and presented to the Riverside County ALUC.

Thanks again for you time and assistance. If you have any questions regarding the attached materials or would like additional information, please do not hesitate to contact me.

Sincerely,

John D. Criste, AICP
District Planning Consultant
Desert Community College District



Terra Nova Planning & Research, Inc.®

42635 Melanie Place, Ste 101

Palm Desert, CA 92211

Phone: 760-341-4800

Fax: 760-341-4455

E-Mail: jcriste@terranovaplanning.com

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DESERT COMMUNITY COLLEGE DISTRICT

RESOLUTION NO.

**A RESOLUTION OF THE DESERT COMMUNITY COLLEGE DISTRICT
PALM DESERT, CALIFORNIA, OVERRULING THE
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION FINDING OF INCONSISTENCY
FOR THE WEST VALLEY CAMPUS LOCATED AT THE NORTHWEST CORNER OF INDIAN
CANYON DRIVE AND TRAMVIEW ROAD**

WHEREAS, the Riverside County Airport Land Use Commission ("ALUC") has been designated as the Airport Land Use Commission for all public airports in the County of Riverside; and

WHEREAS, on February 10, 2005, ALUC adopted the Riverside County Airport Land Use Compatibility Plan for the Palm Springs International Airport ("ALUCP"); and

WHEREAS, on October 17, 2008 the City of Palm Springs (City) adopted the updated General Plan, adopting land use assignments for all lands within the city's corporate limits, including the subject property; and

WHEREAS, the City of Palm Springs is the owner and operator of Palm Springs International Airport; and

WHEREAS, the Desert Community College District (District) entered into good faith negotiations with the City of Palm Springs and the US Bureau of Land Management for the acquisition and development of the subject property for the development of the West Valley Campus and appurtenances of College of the Desert, and;

WHEREAS, the District filed an application with the City pursuant to Sections 92.17.01.0.11 and 94.04.00.E.2.c of the Palm Springs Zoning Code for a Conditional Use Permit and Architectural Approval for 10-megawatt photovoltaic array (GreenPark) on the westerly 60± acres of the subject 119± acre West Valley Campus site located at the northwest corner of Indian Canyon Drive and Tramview Road, which was approved by the City on January 26, 2011, and

WHEREAS, a Mitigated Negative Declaration (MND) was prepared and adopted by the City on January 26, 2011 for the 60-acre solar power GreenPark component of the West Valley Campus (CUP/CEQA IS/MND No. 5.1257) this project pursuant to requirements of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the City prepared the College Park Specific Plan for a 510-acre planning area, including the subject West Valley Campus site, establishing basic development parameters for the campus site and other Specific Plan lands, and adopted the Specific Plan on April 20, 2011, and.

WHEREAS, an Environmental Impact Report (EIR) was prepared and certified by the City on April 20, 2011 for College Park Specific Plan pursuant to requirements of the California Environmental Quality Act (CEQA) Guidelines; and

WHEREAS, the City and other public agencies have taken several actions with regard to land conveyance and use approvals for and leading to the project, as follows:

- On June 29, 2010, the US Department of the Interior-Bureau of Land Management reviewed and approved the conveyance of the subject campus property for the purpose of developing a community college campus, and adopted a Record of Decision and Finding of No Significant Impact (FONSI).
- On January 26, 2011, the City Planning Commission adopted the Mitigated Negative Declaration (MND) and approved CUP/CEQA IS/MND No. 5.1257 for the development of a 60-acre solar power facility of the subject site.
- On April 20, 2011, the City Council certified the EIR for the College Park Specific Plan, including and facilitating the West Valley Campus project, and
- On April 20, 2011, the City Council approved the College Park Specific Plan and associated actions; and

WHEREAS, on April 11, 2013, ALUC found Case ZAP1011PS13 to be inconsistent with the ALUCP with respect to land use intensity; and

WHEREAS, pursuant to Section 21676.5(a) of the Public Utilities Code, the Desert Community College District may overrule the ALUC finding of inconsistency with a two-thirds vote of the Board of Trustees; and

WHEREAS, ALUC and the California Department of Transportation Division of Aeronautics were notified on April 17, 2013 of the overruling hearing; and

WHEREAS, on May 17, 2013, the Board of Trustees held a public hearing to consider overruling the ALUC finding of inconsistency; and

WHEREAS, the Board of Trustees has carefully reviewed and considered all of the evidence presented in connection with the hearing on this matter, including, but not limited to, the staff report, consultations with the City, and all written and oral testimony presented.

**THE BOARD OF TRUSTEES OF THE DESERT COMMUNITY COLLEGE DISTRICT
DOES HEREBY RESOLVE AS FOLLOWS:**

SECTION 1. The action to overrule the ALUC finding of inconsistency is consistent with the purposes of California Public Utilities Code Section 21670 in that the Board of Trustee's action for the project accounts for the orderly expansion of the airport. The Palm Springs International Airport Master Plan, adopted in January 2003, does not indicate plans to further expand in the area where the project is located. Special circumstances exist that allow for control of the orderly expansion of the airport because the City of Palm Springs is owner/operator of the airport. As owner/operator of the airport, the City is able to fully analyze the impacts of the West Valley Campus on the airport and potential impacts of airport operations on the campus and surrounding areas, without external interference, in the course of making land use decisions. In addition, the City, with the exception of a few remaining parcels is substantially built out. Properties have traditionally developed close to the airport and there are many urban land uses surrounding the airport. However, the City has taken steps to mitigate the affects of proximity to the airport or patterns of airport operation, including requirements for avigation easements, and elsewhere re-zoning of residential properties to professional land uses to minimize future land use conflicts due to the operation and future expansion of the airport.

SECTION 2. The action of the Board of Trustees to overrule the ALUC finding of inconsistency is consistent with the purpose of California Public Utilities Code Section 21670 to prevent the creation of new noise and safety problems. The project is a community college campus designed to serve up to 10,000 full and part time students, providing daytime and evening instruction in an enclosed environment.

The compatibility of the subject college campus is based upon the following:

- The campus site is located 2.4 miles northwest of the closest runway of Palm Springs International Airport:
 - The campus site is located adjacent to large expanses of open space lands that will remain undeveloped in perpetuity and will provide optimum emergency landing opportunities in immediate proximity to the campus site;
 - The campus master plan addresses and mitigates potentially significant intrusive noise levels from aircraft overflights associated with operations at the Palm Springs International Airport;
 - Since the last update to its County Airport Compatibility Plan, the Palm Springs International Airport has seen significant upgrades, including a new tower and radar that enhance safety and efficiency of operations;
 - Campus buildings will not exceed 60-feet in height above ground level and any future development contemplating greater heights shall be submitted to the FAA for prior review via a Notice of Construction.

The project lies well outside the projected, long-term 60-CNEL noise contour to be generated by airport operations, and does not expose any noise-sensitive land uses to unacceptable airport-related or other community noise impacts.

Mitigation measures have been included in the environmental approvals to avoid or minimize the adverse effects of security, architectural and landscape lighting, and campus-generated glare, and include:

- Limitations on the design and extent of outdoor lighting, providing hooding or shielding to prevent either the spillage of lumens or reflection into the sky;
- Review of buildings by the Federal Aviation Administration for height;
- Limitations on uses that would cause sunlight reflection, generate smoke or vapor, or generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation;
- Stormwater retention basins shall be designed so as to expedite percolation to provide a maximum 48-hour detention period and to remain dry between rain events;
- Other than an FAA-approved navigational signal light or visual approach slope indicator, limitations shall be placed on any use that would direct a steady light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at the airport.

For lands located in Zone 4, which is the outer approach and departure zone and consistent with the County ALUC land use compatibility Zone D, the California Airport Land Use Planning Handbook references limiting non-residential uses and intensities to those permitted in Zone 3, which allows maximum single acre densities of 300 to 450 in areas determined to be "suburban", consistent with campus site conditions. The campus does not propose uses recommended for prohibition in Zone 4 and, therefore, substantially conforms to land use compatibility criteria set forth in the state handbook.

- SECTION 3. Temporal use patterns also affect safety and compatibility. On weekdays between the hours of 9 PM and 7 AM, the campus will have low occupancy limited essentially to security and maintenance personnel, and with few classes on weekends. Therefore, with the exception of special events, the campus will have no meaningful levels of occupancy from the late evening onward, and little or no occupancy on weekends.
- SECTION 4. The campus site is situated approximately 0.75 miles from the San Jacinto Mountains, which precludes aircraft maneuvers turning in this direction and toward the campus in the event of an emergency. Permanent open space (Chino Creek/Whitewater River floodplain) is located immediately northeast, north and northwest of the campus site, providing open areas for emergency landings in perpetuity.
- SECTION 5. The action of the Board of Trustees to overrule the ALUC finding of inconsistency is consistent with the purpose of Public Utilities Code Section 21670 to promote the overall goals and objectives of the California airport noise standards. No unmitigated noise sensitive land uses are proposed and conditions have been included in the campus master plan Environmental Impact Report to require review of any new uses by the District.
- SECTION 6. Based on the above findings, the Board of Trustees hereby overrules the ALUC finding of inconsistency of April 11, 2013 for Case ZAP1011PS13, based on the above findings and subject to Mitigation Measures set forth in the Final Environmental Impact Report, contained in Exhibit B, which is attached hereto and made a part of this resolution.

ADOPTED This 17th day of May, 2013.

Joel Kinneman, President

ATTEST:

???????, Clerk of the Board of Trustees

CERTIFICATION

STATE OF CALIFORNIA)
COUNTY OF RIVERSIDE) ss.
CITY OF PALM DESERT)

I, ????, Clerk of the Board of Trustees of the Desert Community College District, hereby certify that Resolution No. ??????? is a full, true and correct copy, and was duly adopted at a regular meeting of the Board of Trustees of the Desert Community College District on the 17th day of May, 2013, by the following vote:

AYES:
NOES:

ABSENT:
ABSTAIN:

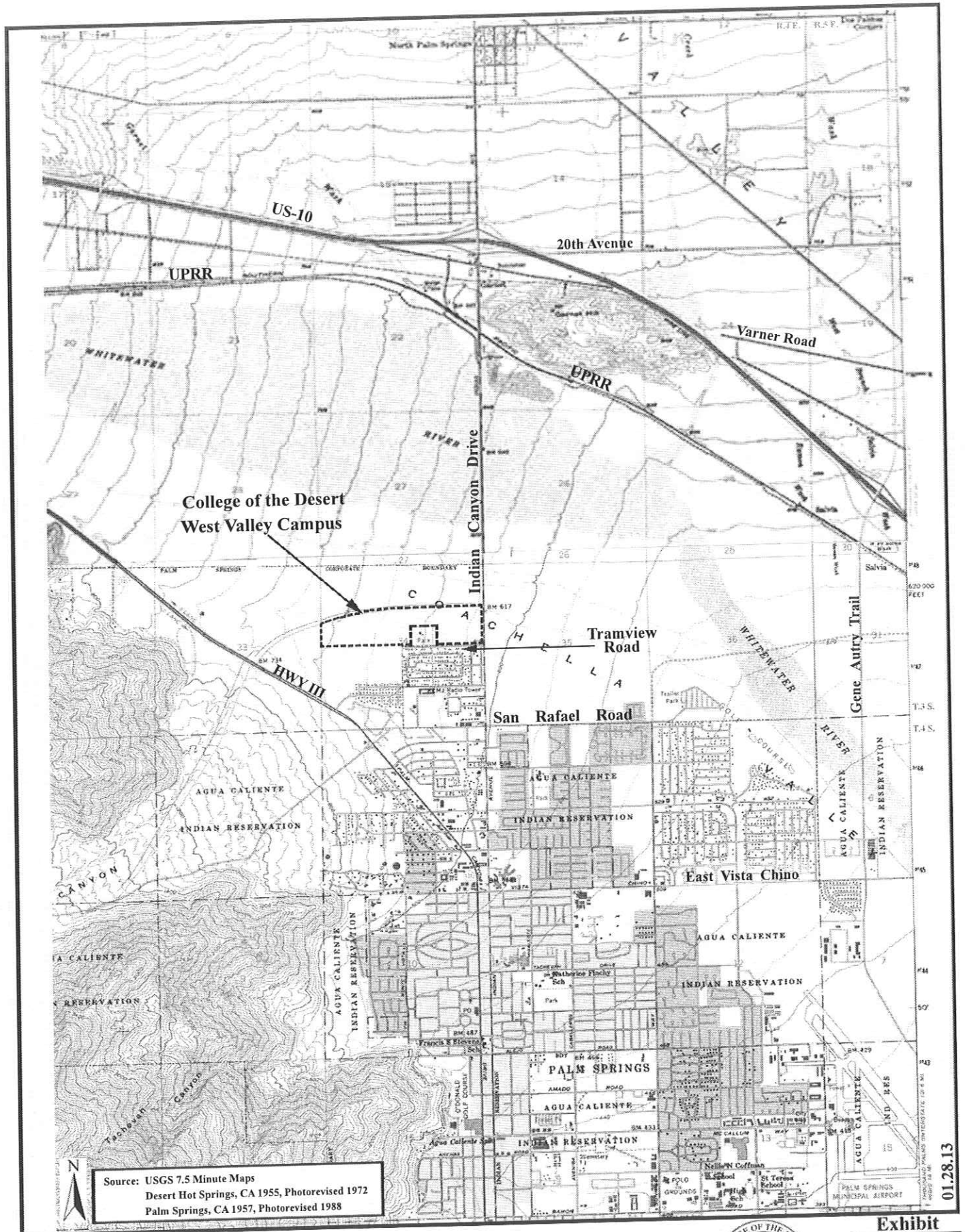
???, Clerk of the Board
Desert Community College District

Exhibit A
Desert Community College District
West Valley Campus
Facilities Master Plan and Phase I Project

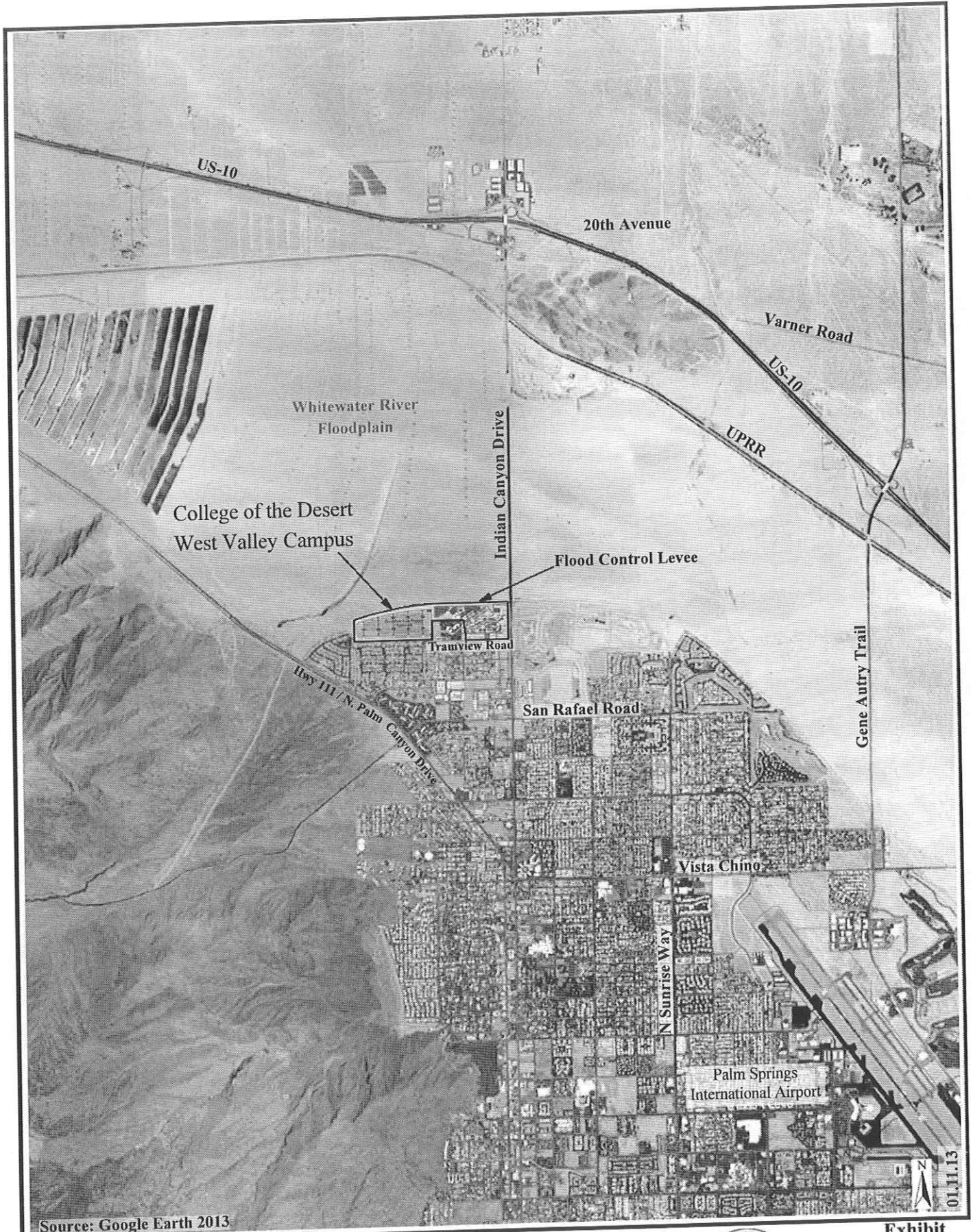
Board Action to Overrule
RCALUC Finding Of Inconsistency
West Valley Campus at the Northwest Corner of
Indian Canyon Drive and Tramview Road

Conditions of Overrule

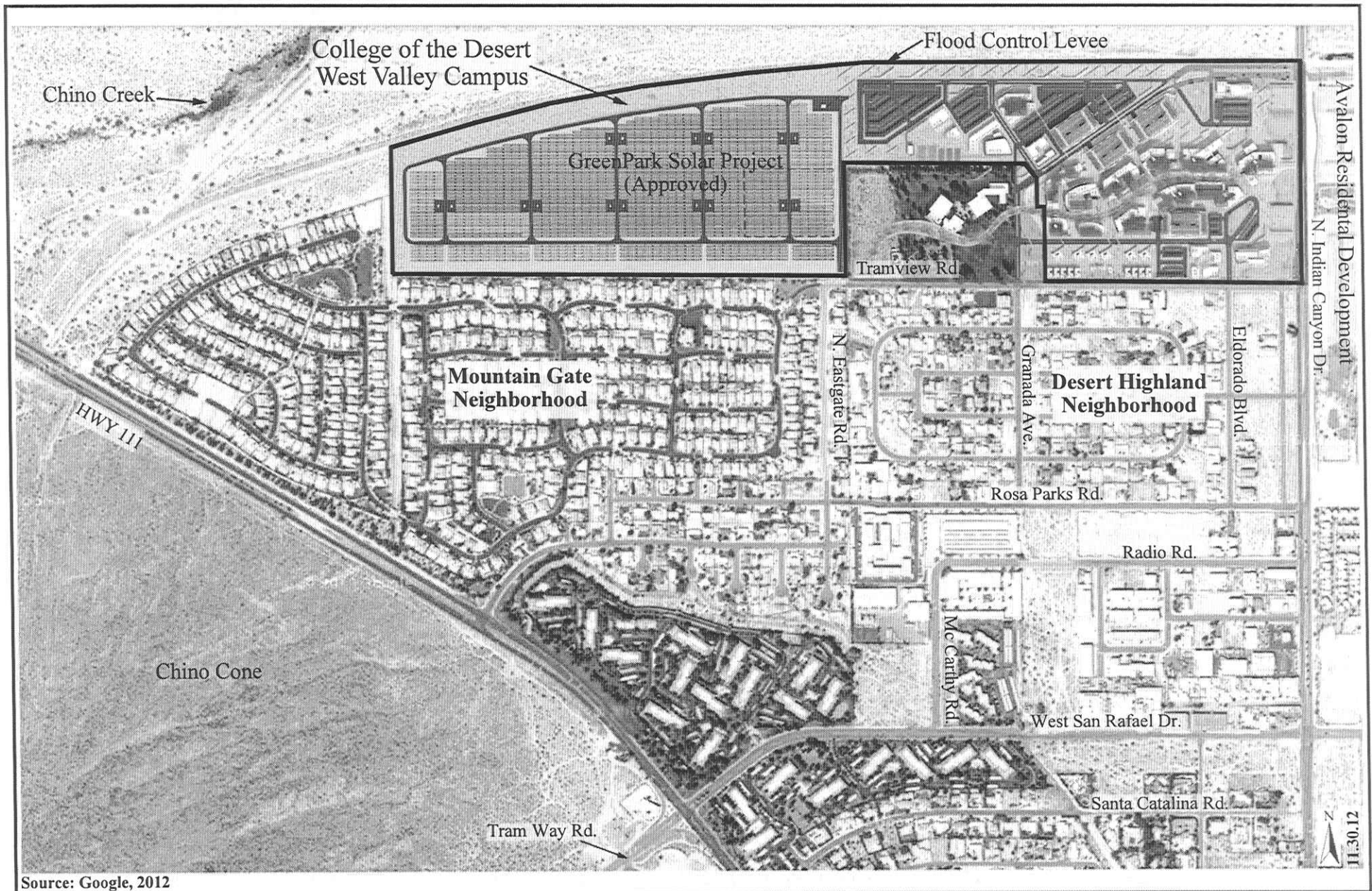
1. The campus master plan addresses and mitigates potentially significant intrusive noise levels from aircraft overflights associated with operations at the Palm Springs International Airport
2. Campus buildings will not exceed 60-feet in height above ground level and any future development contemplating greater heights shall be submitted to the FAA for prior review via a Notice of Construction
3. Stormwater retention basins shall be designed so as to expedite percolation to provide a maximum 48-hour detention period and to remain dry between rain events.
4. Other than an FAA-approved navigational signal light or visual approach slope indicator, limitations shall be placed on any use that would direct a steady light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at the airport.
5. Post-Phase I Project campus planning and development shall strive to distribute campus buildings and facilities so as to result in maximum single acre densities no greater than 450 persons.
6. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. All outdoor lighting plans shall be subject to review by Palm Springs International Airport management.
7. The following uses shall be prohibited:
 - a. Any use which would cause substantial sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at the airport.
 - b. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - c. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
8. Prior to issuance of building permits for any structure with a height exceeding sixty (60) feet above ground level, the applicant shall submit a Notice of Proposed Construction or Alteration (Form 7460-1) to the Federal Aviation Administration for such structure, and shall have received a determination of "Not a Hazard to Air Navigation" from the FAA. Copies of the FAA determination shall be submitted to the Airport Land Use Commission and the City of Palm Springs Palm Springs Planning Department.



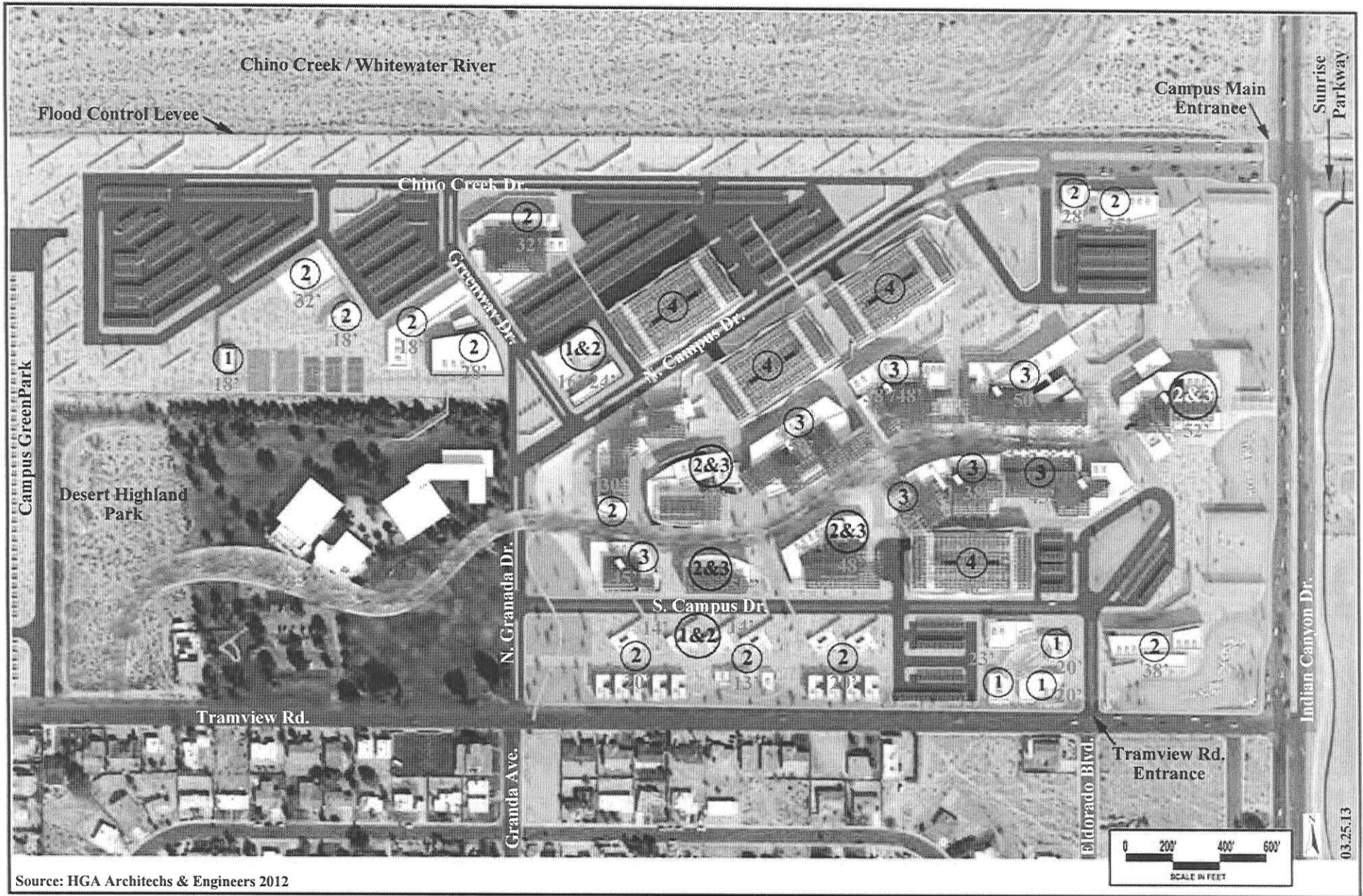
01.28.13



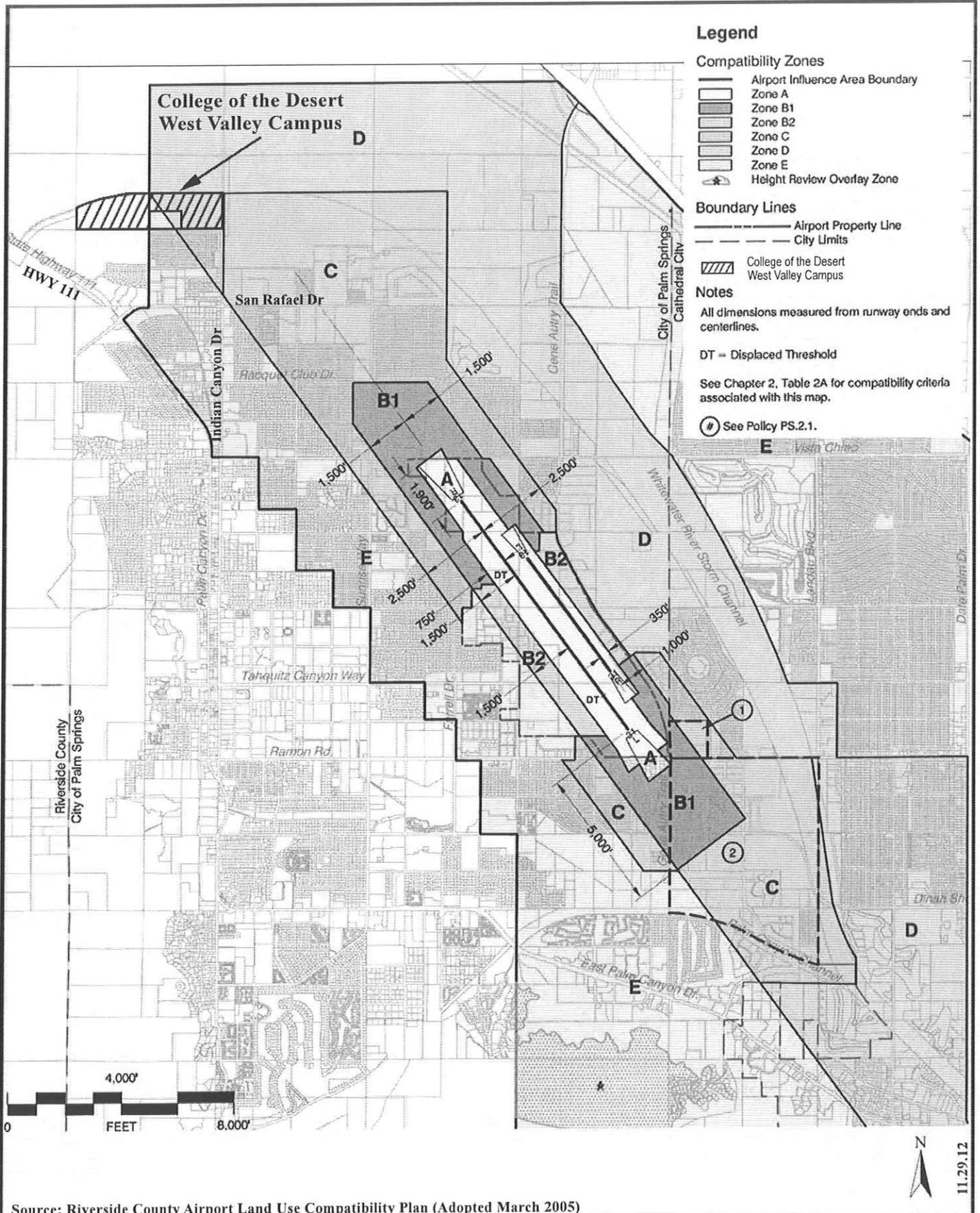
Source: Google Earth 2013



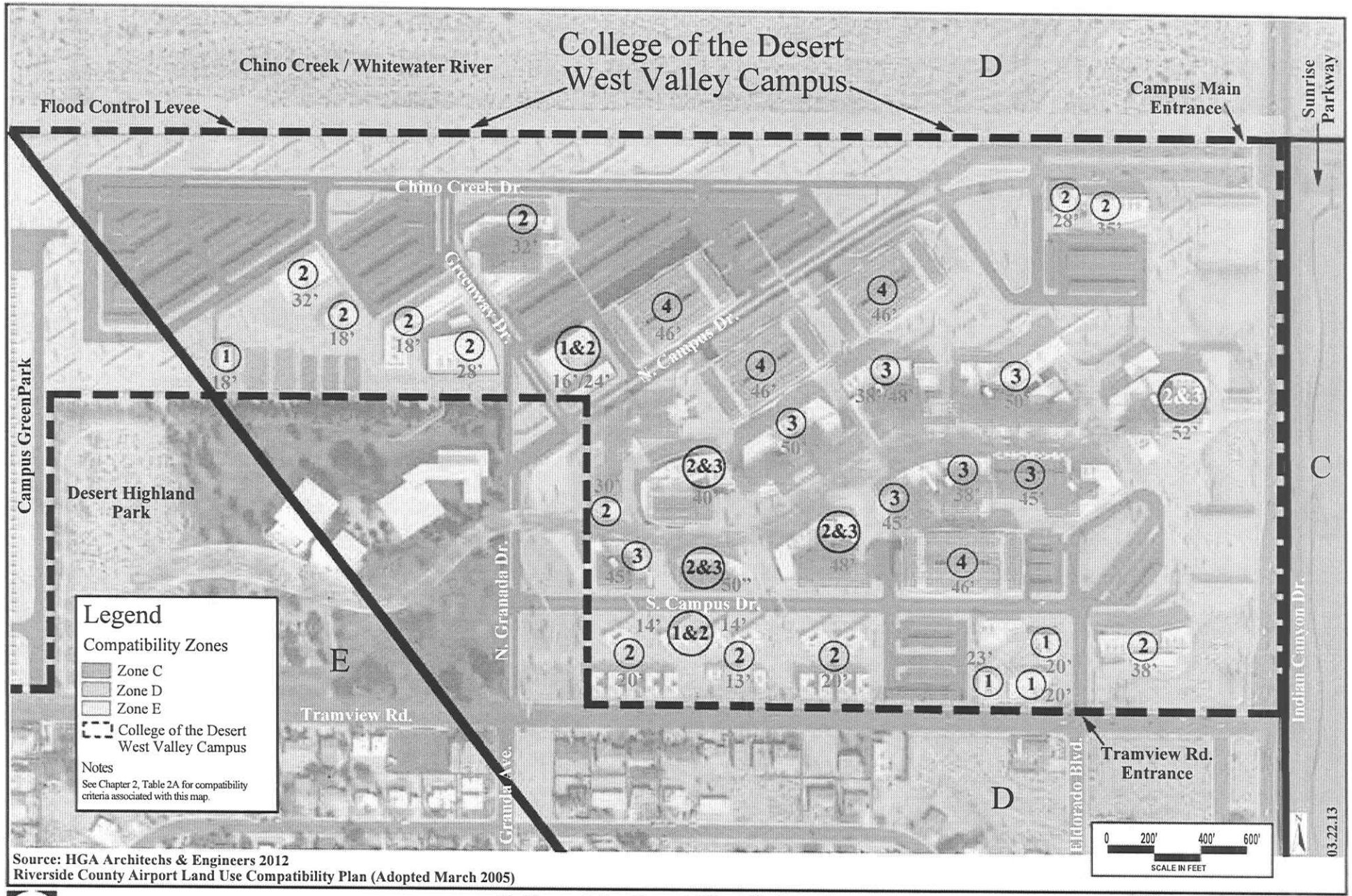
Source: Google, 2012

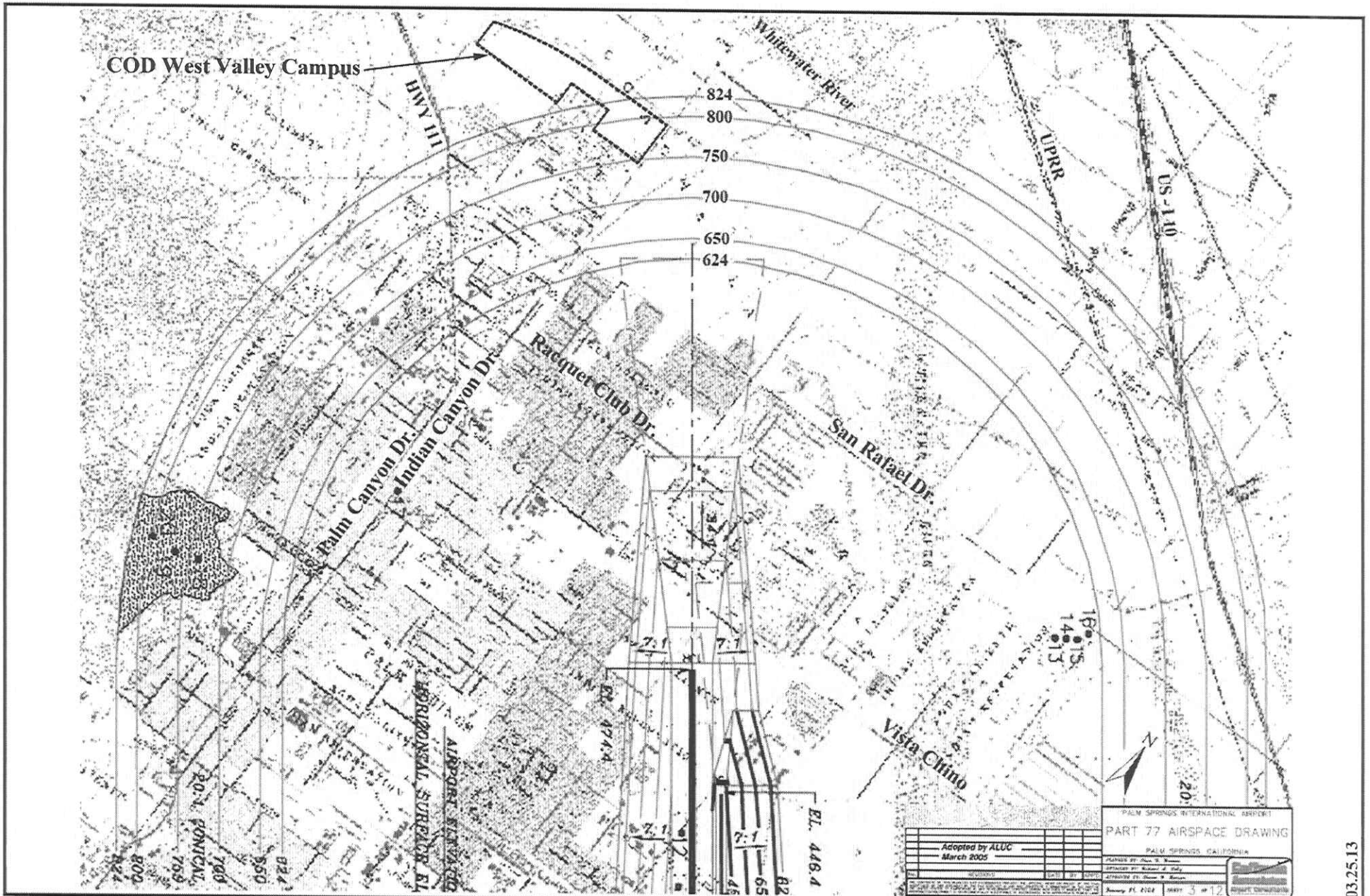


Source: HGA Architects & Engineers 2012



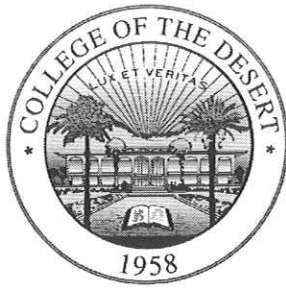
Source: Riverside County Airport Land Use Compatibility Plan (Adopted March 2005)





College of the Desert West Valley Campus
 FAA Part 77 Airspace Drawing
 Palm Springs, California

03.25.13



**DESERT COMMUNITY COLLEGE DISTRICT
COLLEGE OF THE DESERT
HEARING MEMORANDUM**

Date: April 11, 2013
FROM: John D. Criste, AICP, District Planning Consultant
TO: Riverside County Airport Land Use Commission
RE: Case No. ZAP1011PS13 - Airport Land Use Compatibility

Requested Action

That the Riverside County Airport Land Use Commission Determine that the College of the Desert West Valley Campus is Acceptable or Conditionally Acceptable Based Upon Findings of Fact and Appropriate and Executable Conditions of Approval

Background

Since 2006, District has been formally searching for a site to build the College of the Desert West Valley Campus that will generally serve the communities and unincorporated areas of the western Coachella Valley, including Cathedral City, Desert Hot Springs and Palm Springs. Extensive discussions and proposals were considered brought by the cities, as well as by private land owners.

After extensive consultations and consideration, the subject property located along Indian Canyon Drive in Palm Springs was selected. The subject 119± acres were owned by the US Bureau of Land Management (BLM) and a preliminary agreement was entered into between the City of Palm Springs and the BLM for the City to acquire the site. The BLM conducted an environmental analysis in accordance with the National Environmental Policy Act (NEPA) based upon the preliminary plans for the subject college campus. The City subsequently gifted the property to the District.

Community Consultations

Over the course of discussions, negotiations and planning, the College and the City have held numerous community-based meetings, design charrettes, workshops and consultations with the residents, business owners, and property owners. The earliest concerns cited noise, traffic, lights and security as reasons for why the academic portion of the campus should be along Indian Canyon Drive. Ease of access and minimizing local impacts also supported this basic planning decision.

Early during these considerations and consistent with the College's plans for a campus and curricula based on sustainability, plans were made to include a solar photovoltaic array (GreenPark) that would generate approximately 10 megawatts of renewable, non-polluting electricity and provide a workshop and laboratory for students and the College's private sector partners. The City processed a Conditional Use Permit and a CEQA Initial Study/Mitigated Negative Declaration on this 60-acre solar project, which was approved for development on the western portion of the site and adjacent to homes in the Mountain Gate community.

WVC Master Plan & Phase I Project

The campus master plan calls for a total of approximately 650,000± square feet to be constructed across five phases and will include the core campus, academic partnership space and campus-related buildings. The core COD Campus will be comprised of 420,000± square feet of classroom, lecture, lab, administrative, and other support facilities to accommodate an enrollment of approximately 10,000 full-time and part-time students. A variety of facilities are planned to support a varied curricula while achieving the College's goal of a sustainable campus.

Site improvements will include parking, pedestrian and bicycle trails and open space areas. Other buildings and facilities will be constructed to house additional classroom and laboratory space, administrative offices, campus and grounds maintenance shops, and storage. Other uses will include support retail facilities, such as a bookstore, food court, copy center, convenience goods and services. The plan also calls for the development of 30 on-campus dwelling units.

The Core Campus will integrate renewable energy facilities, primarily photovoltaic (PV), on campus buildings and parking structures. Along with the westerly 60-acre GreenPark PV facility approved by the City, the campus design integrates solar electric and thermal technologies in building and parking canopies and elsewhere on the academic portion of the campus.

The Phase I Project implementing the campus Facilities Master Plan has been completed and is ready to go out to bid. This initial phase will encompass 50,000± square feet and will be situated just west of Indian Canyon Drive. The campus will be developed in five phases that will include academic facilities and those associated with public/private ventures planned for the campus and focused on the College's four academic pillars selected specifically to guide the development of this campus.

Environmental Reviews

The District, acting in its capacity as the Lead Agency for this project under the California Environmental Quality Act (CEQA), is currently evaluating the potential environmental impacts of the West Valley Campus project. The Draft EIR for the West Valley Campus master plan is currently out for public review with the comment period ending on April 30, 2013.

It should also be noted that the West Valley Campus project has been the subject of various reviews and environmental analyses, including those conducted by the BLM, the City of Palm Springs and now the District. Opportunities have also been provided to a variety of public agencies, including the Commission, the Federal Aviation Administration and the managers of the Palm Springs International Airport to comment on the project.

Previous Reviews & Approvals

- June 29, 2010, the US Department of the Interior-Bureau of Land Management reviewed and approved the conveyance of the subject campus property for the purpose of developing a community college campus, and adopted a Record of Decision and Finding of No Significant Impact (FONSI).
- January 26, 2011, the Palm Springs Planning Commission adopted the Mitigated Negative Declaration (MND) and approved CUP/CEQA IS/MND No. 5.1257 for the development of a 60-acre solar power facility of the subject site.
- April 20, 2011, the Palm Springs City Council certified the EIR for the College Park Specific Plan, including and facilitating the West Valley Campus project.
- April 20, 2011, the Palm Springs City Council approved the College Park Specific Plan and associated actions.

Airport Compatibility Issues

Based upon the County ALUC staff report and discussions with Commission staff, the main compatibility concerns are (1) distance to 65-CNEL airport noise contours, (2) intrusive noise impacts from aircraft overflights, and (3) the intensity of use or level of occupancy at the site.

Airport Land Use Compatibility

As has been outlined in the Commission staff report, the West Valley Campus site is located within both Zone D and E as delineated on the 2005 Land Use Compatibility Map for Palm Springs International Airport. As shown on the attached exhibit, the eastern portion of the campus site is located in Zone D, while the western portion is in Zone E. As discussed herein and with Commission staff, the eastern portion of the site was selected for the academic campus after long and on-going consultations and input from local residents and property owners, the City Traffic Engineer and Public Works Department.

The County Airport Land Use Compatibility Document (2004) indicates that schools, colleges and universities are potentially compatible. Safety concerns are at the heart of the compatibility issue for campus, with the policy intent of minimizing the risks of aircraft accidents beyond the runway environment. As stated in the County compatibility document, *"Because aircraft accidents happen infrequently and the time, place, and consequences of their occurrence cannot be predicted, the concept of risk is central to the assessment of safety compatibility."* The two variables of concern are accident frequency and consequences, which are discussed below.

Noise Issues

The campus site is located northwest of the Year 2025 60-CNEL airport noise contour; therefore, existing and future airport-generated ambient noise levels will not significantly impact the campus. The campus site is located approximately 2.4 miles from the closest airport runway and the modeled flight tracks show aircraft arrival and departure overflights in the vicinity (immediately northeast) of the campus site. The project architects and designers have specified acoustical insulation in walls, roofs and windows that will assure a 45-dBA interior noise level in all classroom environments. Therefore, aircraft overflights are not expected to significantly impact the campus noise environment.

Accidents and Airport Proximity

A variety of compatibility strategies are considered in these matters, including spatial distribution of density or intensity of land uses, and availability of open lands. It is also worth noting the following about airport operations and accidents in general:

- Among all near-airport (within 5 miles) accidents, over 80% are concentrated within 1.5 to 2 miles of a runway end. The subject campus is located 2.40 miles from the nearest portion of the runway.
- Approximately 80% of all arrival accidents occur relatively close to the runway centerline and within a strip extending 10,000 feet from the runway landing threshold.
- Approximately 80% of airport departure accident sites lie within an area 2,500 feet from the runway centerline and 6,000 feet beyond the runway end or adjacent to the runway. Again, at 12,600± feet between the nearest portion of the campus site and the runway, the campus site is more than twice the distance as 80% of airport departure accidents.

According to the California Airport Land Use Planning Handbook¹, Safety Zone 4, which is the outer approach and departure zone, generates between 3% and 5% of near-runway accidents. Based on airport accident statistics, the potential for aircraft accidents in the vicinity of the campus, when they occur at all, is low.

Palm Springs Airport Accident History

A search of the Aviation Safety Network² database indicates that there have been six (6) off-runway aircraft accidents associated with flights originating from or destined for the Palm Springs International Airport since 1942, and none since 2004. Of these six events, only two occurred near the airport, with one occurring 4.1 and the other 13.1 miles from the airport. A review of airport incidents documented by the AOPA³ identified twenty-six (26) incidents between 1983 and 2011, mostly involving on-runway incidents. One accident involved the fatalities of an instructor and student approximately one-half mile north of the runway, and another involved one fatality during an emergency return landing. With few exceptions, these incidents involved general aviation aircraft. In summary, operations at the Palm Springs International Airport have been relatively safe with few aircraft incidents. Overall, the safety risk associated with the proposed West Valley Campus appears to be less than significant given the state-of-the art technologies and operations at the airport, and the 2.4± mile separation between the airport runway and the subject property.

Density and Land Use Intensity: For lands located in Zone 4, the California Airport Land Use Planning Handbook also references limiting non-residential uses and intensities to those permitted in Zone 3, which allows maximum single acre densities of 300 to 450 in areas determined to be "suburban", which this site is. In that the campus does not propose uses recommended for prohibition in Zone 4, the above data and information can serve as the basis for making a compatibility determination.

Temporal Use Patterns: Temporal use patterns are also relevant when considering safety and compatibility. Between the hours of 9 PM and 7 AM, the campus will be very thinly populated with essentially security and maintenance personnel. The afternoons and early evening are typically the periods of greatest campus occupancy and there are few classes on weekends. Therefore, unlike many other land uses, the college is primarily a Monday through Friday land use, with no meaningful levels of occupancy from the late evening onward, and with little or no occupancy on weekends.

Geographical Setting and Spacial Issues:

The spacial setting and the availability of adjacent open space is also considered when making safety compatibility determinations. Especially relevant to the campus project is the property's situation approximately 0.75 miles from the San Jacinto Mountains, which precludes aircraft maneuvers from turning in this direction and toward the campus in the event of an emergency.

As noted, the West Valley Campus site is immediately south of and adjacent to the Chino Creek/Whitewater River floodplain, which provides open area to the immediate north, northwest and northeast. These lands, which will remain vacant in perpetuity, provide a variety of preferable locations to try and land a crippled aircraft. Also, the campus is slightly to the west (SW) of the extension of the airport runway, and any aircraft needing to make a radical maneuver or off-airport landing is not going to turn toward the campus given the proximity to the mountains.

¹ California Airport Land Use Planning Handbook, Division of Aeronautics, California Department of Transportation. 2011.

² <http://aviation-safety.net/database/airport/airport.php?id=PSP#crashes>

³ <http://www.aopa.org/asf/ntsb/searchResults>

Lighting and Glare: Obtrusive or interfering lighting is a concern for the general public and especially for aircraft operations. The West Valley Campus master plan calls for low levels of lighting and the use of light fixtures that conserve energy and minimize or avoid intrusion onto adjoining properties or the night sky. Uplighting of buildings, landscaping or signage is explicitly prohibited in the Draft EIR for the campus. The photovoltaic panels to be used are designed to absorb sunlight and minimize reflection. The PV panels will be encapsulated by a non-glare (silicon nitrate) coating and will reflect as little as 2% of the incoming sunlight depending on the angle of the sun. In comparison, bare ground reflects approximately 30% of incoming sunlight.⁴ The arrays are not expected to create any significant glare for surrounding properties or aircraft flying over the area. No ponds or other areas of standing water are planned on the campus.

Airport Ownership and Management: It should also be noted that the City of Palm Springs is the owner and operator of Palm Springs International Airport. The City has been diligently protecting the viability of the airport and its compatibility with surrounding land uses. The City has carefully considered the safety and compatibility issues associated with the West Valley Campus and has determined that the campus is compatible with the current and long-term operations of the airport.

Recommended Compatibility Findings

The state and county airport guidelines and policies clearly indicate that the state handbook and county master plan documents are meant to provide guidance and are not meant to be a straightjacket for regulators. A variety of factors are to be weighed in determining whether a particular land use can be considered as safe and otherwise compatible with nearby airports.

The following are recommended as findings that the Commission may adopt that argue for a determination of compatibility for the West Valley Campus. These include the following:

- (1) The COD West Valley Campus is located approximately 12,600 feet northwest and along the approach and departure path of the Palm Springs International Airport.
- (2) The vast majority of off-runway accidents happen at locations with substantially greater proximity to the airport than the subject campus site.
- (3) The academic portion of the COD West Valley Campus is located on the western edge of Palm Springs International Airport Land Use Compatibility Zone D and, as set forth in the California Airport Land Use Planning Handbook (2011), can be characterized as "suburban" with a maximum single acre occupancy of 450 persons.
- (4) The campus site is located adjacent to large expanses of open space lands that will remain undeveloped in perpetuity and will provide optimum emergency landing opportunities in immediate proximity to the campus site.
- (5) The West Valley Campus will experience its highest site occupancy during the day and early evening, with campus occupancy during nights and weekends to be negligible.
- (6) The campus site lies well outside the projected, long-term 60-CNEL noise contour to be generated by airport operations, and does not expose any noise-sensitive land uses to unacceptable airport-related or other community noise impacts.

⁴ "Technical Guidance for Evaluating Selected Solar Technologies on Airports", prepared by FAA, November 2010.

- (7) The West Valley Campus master plan addresses and mitigates potentially significant intrusive noise levels from aircraft overflights associated with operations at the Palm Springs International Airport.
- (8) As owner and operator of the airport, the City of Palm Springs fully analyzed the impacts of the West Valley Campus airport, without external interference, on surrounding areas in the course of making land use decisions.
- (9) Since the last update to its County Airport Compatibility Plan, the Palm Springs International Airport has seen significant upgrades, including a new tower and radar that enhance safety and efficiency of operations.
- (10) Campus buildings will not exceed 60-feet in height above ground level and any future development contemplating greater heights shall be submitted to the FAA for prior review via a Notice of Construction.
- (11) The College has filed a Form 7460-1 (Notice of Construction) with the FAA, which is conducting an aeronautical study to determine whether the West Valley Campus may pose obstructions or hazards to aircraft navigation.



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2013-AWP-1984-OE

Issued Date: 04/18/2013

John Criste
 John Criste
 42635 Melanie Place
 Suite 101
 Palm Desert, CA 92211

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building College Campus
 Location: Palm Springs, CA
 Latitude: 33-52-00.86N NAD 83
 Longitude: 116-32-44.43W
 Heights: 616 feet site elevation (SE)
 60 feet above ground level (AGL)
 676 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 10/18/2014 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-AWP-1984-OE.

Signature Control No: 186801913-187940659

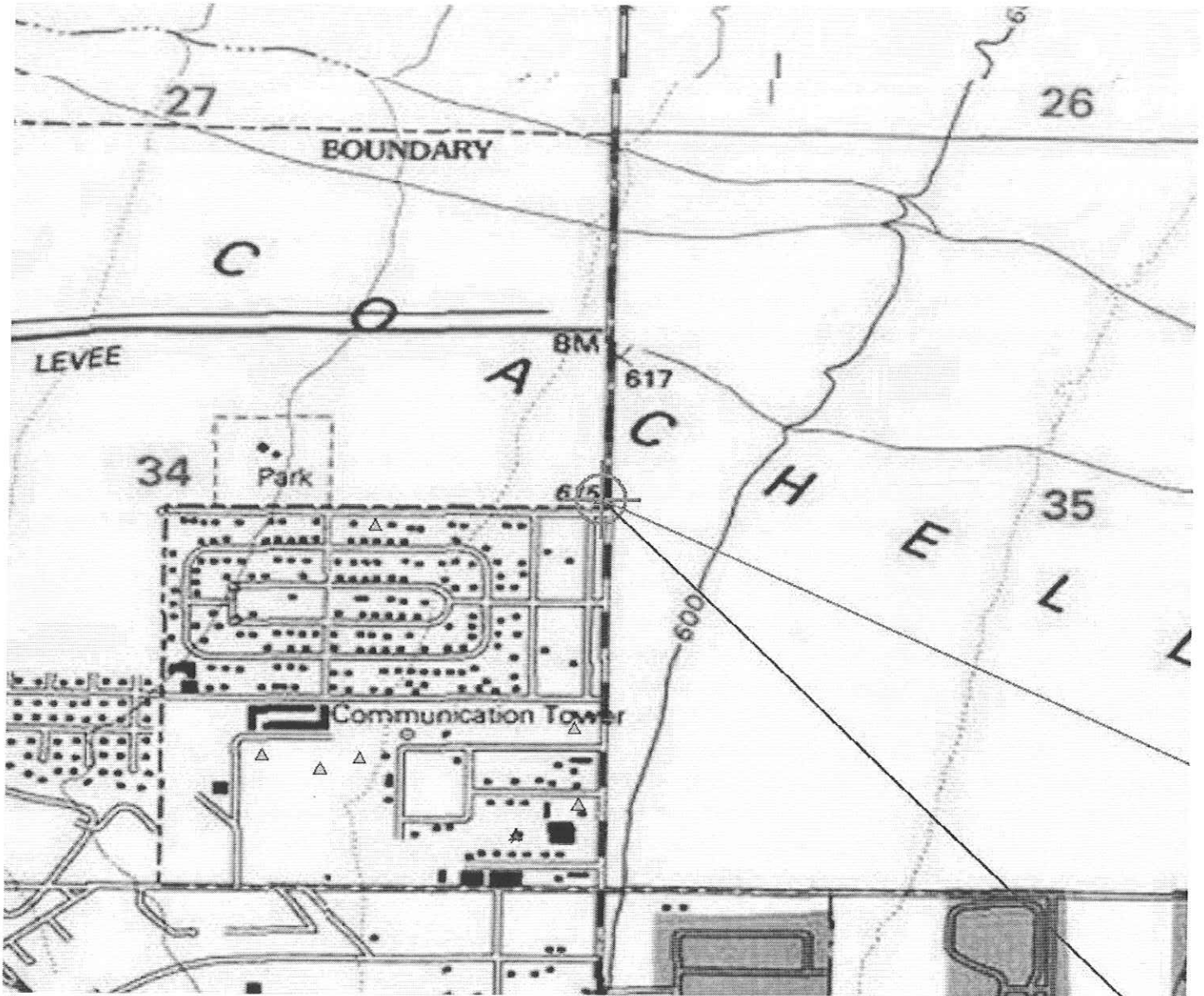
(DNE)

Karen McDonald
Specialist

Attachment(s)
Case Description
Map(s)

Case Description for ASN 2013-AWP-1984-OE

See attached file: Description of Proposal.pdf



Sectional Map for ASN 2013-AWP-1984-OE

