



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon St., 1st Floor Hearing Room  
Riverside, California

Thursday 9:00 a.m., July 11, 2013

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**  
Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Richard Stewart  
Moreno Valley

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

### 1.1 CALL TO ORDER

### 1.2 SALUTE TO FLAG

### 1.3 ROLL CALL

## 2.0 PUBLIC HEARING: NEW CASES

### FRENCH VALLEY AIRPORT

- 2.1 ZAP1053FV13 – CV Communities, LLC - County Case Nos. TR36437 (Tentative Tract Map), CZ07794 (Change of Zone). TR36437 is a proposal to subdivide 40.16 acres located northerly of Yates Road extended easterly, westerly of Charlois Road extended northerly, Temecula Preparatory School, and Temecula Valley Charter School, and southerly of Abelia Street and Cherokee Rose Street into 107 single family residential lots, 9 open space lots, 1 lot for a public park, and 1 lot for water quality/detention. CZ07794 is a proposal to change the zoning of the site from Residential Agricultural 2 ½-acre minimum (R-A-2½) to One-Family Dwelling (R-1). (Zone E of French Valley Airport Influence Area and beyond.) ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: CONSISTENT

**MARCH AIR RESERVE BASE**

- 2.2 ZAP1087MA13 – Optimus Building Corporation (Representative: Southwest Land Consultants, Sean Harrison) – Perris City Case No. SPA 12-10-0006 (Specific Plan Amendment) and DPR 12-10-0005 (Development Plan Review). DPR 12-10-0005 is a proposal to develop two industrial warehouse buildings with a floor area of 1,460,067 square feet on 68.48 acres located easterly of Interstate 215, northerly of Ramona Expressway, and westerly of Webster Avenue, in the City of Perris. SPA 12-10-0006 is a proposal to change the land use designation of the development area within the Perris Valley Commerce Center (PVCC) Specific Plan from “Commercial” (approximately 49 acres) and “Business Professional Office” (approximately 20 acres) to “Light Industrial.” SPA 12-10-0006 would also amend the Circulation Plan of the PVCC Specific Plan by designating the segment of Patterson Avenue northerly of the site as a Major Collector Roadway (78-foot right-of-way), deleting the segment of Patterson Avenue between Perry Street and Ramona Expressway, and deleting the segment of Perry Street within the project site. (Area II of the March Air Reserve Base Airport Influence Area.) ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: CONSISTENT

**CHINO AIRPORT**

- 2.3 ZAP1018CH13 – Providence Archibald, LLC (Representative: Albert A. Webb Associates, Sandy Chandler) – City of Eastvale Case Nos. 12-0750 (Development Plan Review) and revised PM35865 (Parcel Map). PP12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels [one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel]. (Zones C and D of Chino Airport Influence Area.) ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: CONSISTENT

**BERMUDA DUNES AIRPORT**

- 2.4 ZAP1049BD13 – Encore Homes, LLC (Representative: James Fagelson, Fagelson Consulting) – County Case No.: TR30966R1 (Revised Tentative Tract Map), a proposal to divide 39.31 – 40.19 acres located northerly of 40<sup>th</sup> Avenue and westerly of Adams Street into 202 single-family residential lots, with one 0.77-acre lot for a community center, one 3.88-acre lot for a drainage channel, and three lots for open space and water detention with a cumulative area of 3.92 acres. (Zones B1, C and D of Bermuda Dunes Airport Influence Area.) ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org).

Staff Recommendation: INCONSISTENT

## REGIONAL

- 2.5 ZAP1006RG13 – City of Perris – City Case Nos.: Ordinance Amendment Nos. 13-03-0010 and 13-04-0020. Ordinance Amendment No. 13-03-0010 amends the City Zoning Code to permit the following uses “by right,” i.e., without requirement for a Conditional Use Permit: (1) emergency shelters for the homeless in the General Industrial (GI) zone; (2) single room occupancy housing in the Community Commercial (CC) zone and all residential zones; and, (3) residential care facilities and transitional and supportive housing in all residential zones. Ordinance Amendment No. 13-03-0010 would also add definitions of the terms “emergency shelter,” “reasonable accommodation,” “single room occupancy housing,” “supportive housing,” “target population,” “transitional housing,” and “transitional housing development,” and provide development standards for emergency shelters and single room occupancy housing. Ordinance Amendment No. 13-04-0020 amends the Zoning Code to provide for a formal procedure whereby persons with disabilities seeking equal access to housing may request modifications to existing dwelling units, waiver of the rules and policies of a housing provider, or exceptions from city regulations such as setback requirements, when such accommodations may be necessary to afford a person with a disability the equal opportunity to use and enjoy a dwelling. Examples include allowing a person with a disability to have a service animal in a development that does not permit pets, exceptions from parking rules, and allowing disabled tenants to make modifications to rental units such as installing a wheelchair ramp or widening doorways. Finally, it requires new housing developments consisting of three or more dwelling units to be designed and constructed in a manner that allows access to, and use by, disabled persons. ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: Ordinance Amendment 13-04-0020 CONSISTENT;  
Ordinance Amendment 13-03-0010 CONDITIONALLY  
CONSISTENT

## HEMET RYAN AIRPORT

- 2.6 ZAP1028HR13 – City of Hemet – Case Nos. ZOA 13-001, ZOA 13-006, and ZC 13-001 are proposals to bring the City’s zoning ordinance and zoning map into consistency with the City’s new Housing Element. ZOA 13-001: (1) establishes emergency shelters as a special housing classification, permits existing emergency shelters “by right” in the C-1 zone and allows new emergency shelters with conditional use permit approval in the C-M zone; (2) permits farm worker housing of up to 36 beds or 12 family units “by right” in the A, A-1-C, and A-2-C (agricultural) zones; (3) amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing; and (4) changes the “Senior Housing Overlay Zone” to a “Senior Housing Designation” that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions. ZOA 13-006 amends the Multiple-Family Zones section of the City’s zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, establishing a list of permitted uses in the R-4 zone and modifying this list in the R-2 and R-3 zones, establishing development standards in the R-4 zone, and modifying development standards in the R-2 and R-3 zones. Finally, ZC 13-001 establishes R-4 zoning on 21 parcels in the City of Hemet, including 4 parcels within the boundaries of an Airport Land Use Plan. (Citywide, including Areas I, II, Transition Area, and III of the Hemet-Ryan Airport Influence Area.) ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: CONSISTENT(ZOA 13-001 and ZOA 13-006); CONTINUE  
ZC 13-001 to August 15, 2013

3.0 **PRESENTATION:** Emri-Newkirk Properties - Proposed apartment project located along Sycamore Canyon Boulevard, City of Riverside

4.0 **ADMINISTRATIVE ITEMS**

4.1 August Meeting

4.2 Follow-up: December 12, 2013 ALUC Commission Meeting Rescheduling

5.0 **APPROVAL OF MINUTES**

June 13, 2013

6.0 **ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

7.0 **COMMISSIONER'S COMMENTS**

Y:\ALUC Agendas\ALUC Commission Agendas\2013 Agendas\ALUCAGDA-7-11-13.doc

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.1

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1053FV13 – CV Communities, LLC

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** TR36437 (Tentative Tract Map), CZ07794 (Change of Zone)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the zone change and tentative tract map, subject to the conditions included herein for the tentative tract map.

**PROJECT DESCRIPTION:** TR36437 is a proposal to subdivide 40.16 acres into 107 single family residential lots, 9 open space lots, 1 lot for a public park, and 1 lot for water quality/detention. CZ07794 is a proposal to change the zoning of the site from Residential Agricultural 2 ½-acre minimum (R-A-2½) to One-Family Dwelling (R-1).

**PROJECT LOCATION:** The site is located westerly of a northerly extension of Charlois Road and northerly of an easterly extension of Yates Road, and southerly of Abelia Street and Cherokee Rose Street, in the unincorporated community of French Valley, approximately 12,600 feet northeasterly of the northerly terminus of Runway 18-36 at French Valley Airport.

**LAND USE PLAN:** 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Zone E and outside airport influence area
- c. Noise Levels: Below 55 CNEL

**BACKGROUND:**

Residential Density: The site is located in Zone E of the French Valley Airport Influence Area. Residential densities are not restricted within Zone E.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or

discouraged in Zone E (hazards to flight) within the project, nor would the proposed Change of Zone likely allow for any prohibited or discouraged uses.

Noise: The property lies outside the area that would be subject to average exterior noise levels of 55 CNEL or greater under ultimate airport development conditions. Therefore, no special mitigation of noise from aircraft is required.

Part 77: The highest proposed pad elevation on-site is 1,424.0 feet above mean sea level (1424 feet AMSL). The elevation of Runway 18-36 at its northerly terminus is approximately 1347 feet AMSL. At a distance of approximately 12,600 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1473 feet AMSL. The proposed change of zone to One-Family Dwellings (R-1) would normally allow for a maximum building height of 40 feet for a potential maximum elevation of 1464 on the highest proposed pad. At this maximum height at the highest proposed lot pad elevation, a structure would not exceed 1473 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review would not be required.

Open Area: Zone E of the French Valley Airport Land Use Plan does not have any requirements for provision of open space.

#### **CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the

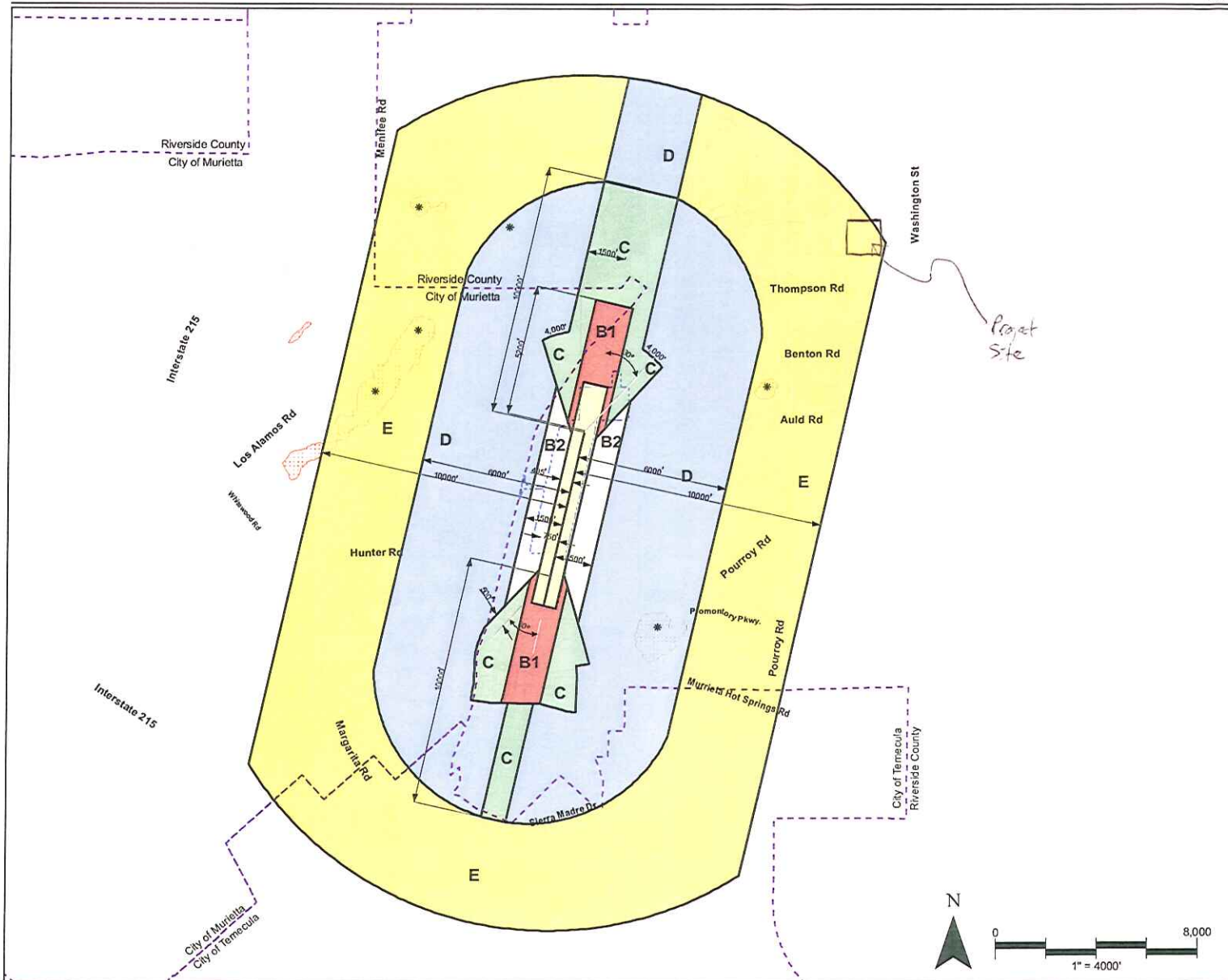
operation of aircraft and/or aircraft instrumentation.

3. The attached notice shall be provided to all potential purchasers and/or tenants of the proposed residences.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- - - Airport Property Line
- - - City Limits
- \* Height Review Overlay Zone

**Note**

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

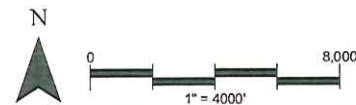
See Chapter 2, Table 2A from compatibility criteria associated with this map.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document

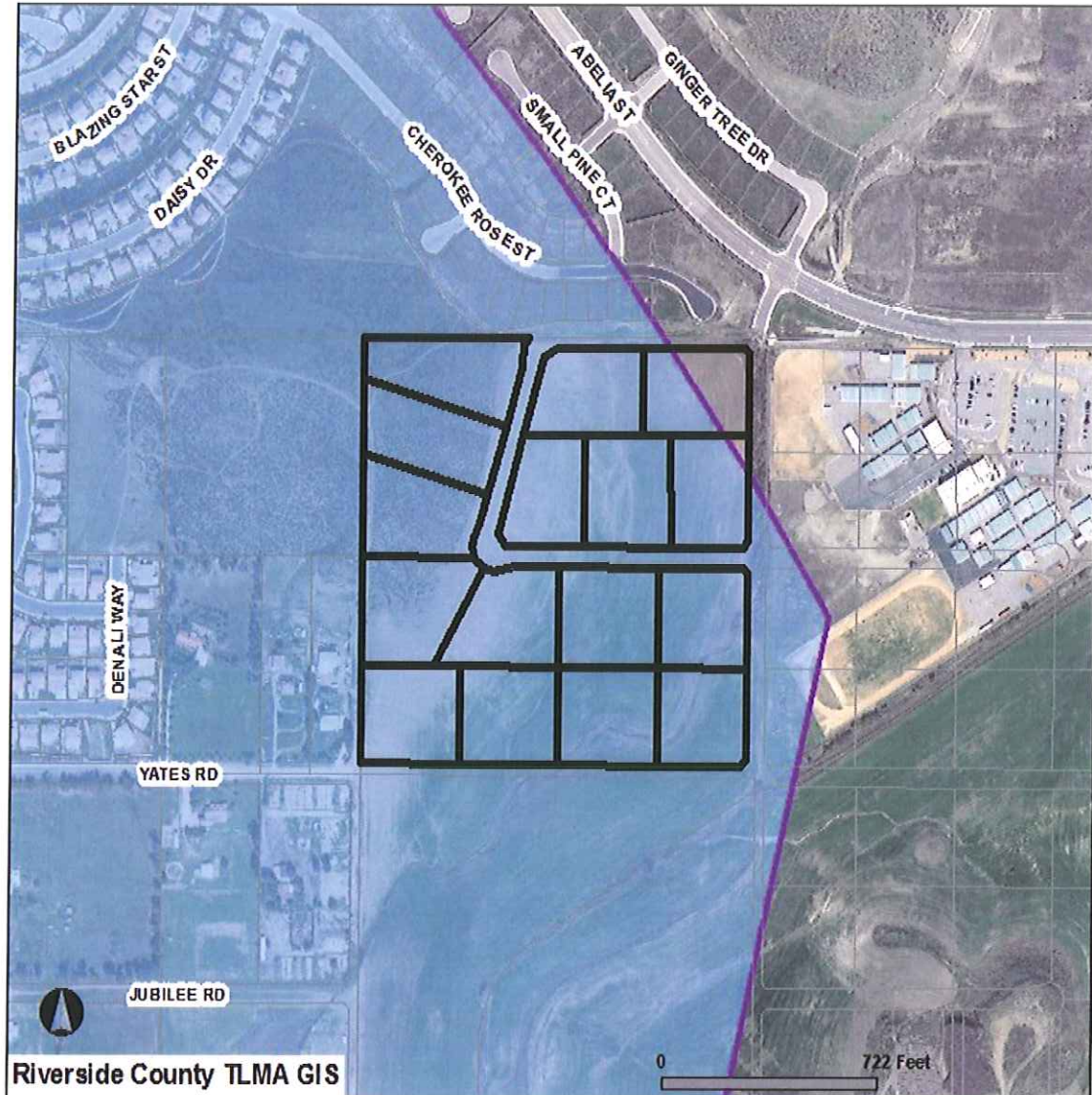
(April 2010)

Map FV-1

**Compatibility Map**  
 French Valley Airport



RIVERSIDE COUNTY GIS



**Selected parcel(s):**

476-270-001 476-270-002 476-270-003 476-270-004 476-270-005 476-270-006 476-270-007  
 476-270-008 476-270-009 476-270-010 476-270-011 476-270-012 476-270-013 476-270-014  
 476-270-015 476-270-016

**AIRPORTS**

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- AIRPORT INFLUENCE AREAS
- COMPATIBILITY ZONE E
- PARCELS

**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130523



PROJECT LOCATION

WINCHESTER ROAD

YATES ROAD

BENTON ROAD

AULD ROAD

FRENCH VALLEY AIRPORT

WASHINGTON STREET

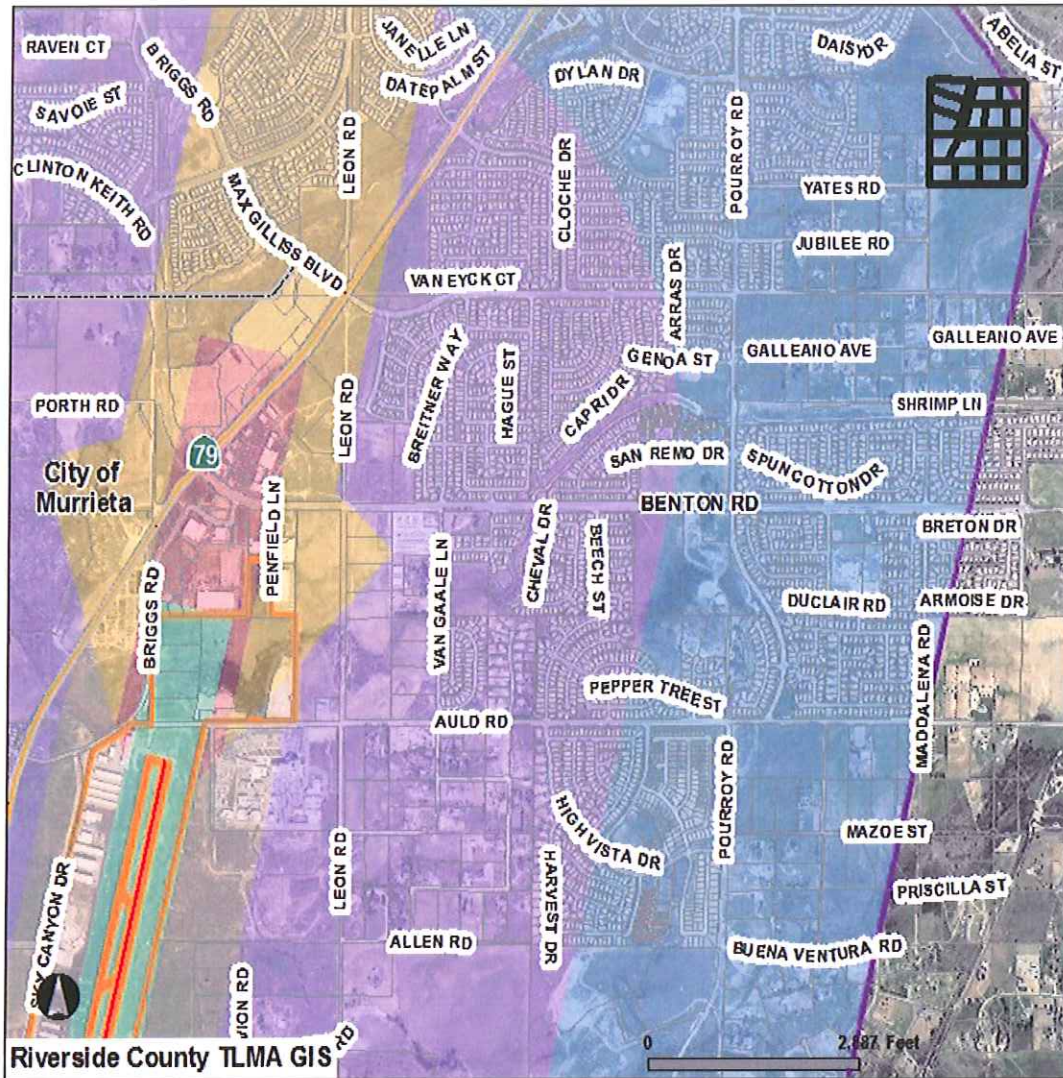
LAKE SKINNER

Google earth

SCALE 1"=6000'



RIVERSIDE COUNTY GIS



Selected parcel(s):

476-270-001 476-270-002 476-270-003 476-270-004 476-270-005 476-270-006 476-270-007  
 476-270-008 476-270-009 476-270-010 476-270-011 476-270-012 476-270-013 476-270-014  
 476-270-015 476-270-016

AIRPORTS

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- AIRPORT INFLUENCE AREAS
- AIRPORT BOUNDARIES
- PARCELS
- AIRPORT RUNWAYS
- COMPATIBILITY ZONE B1
- COMPATIBILITY ZONE B2
- COMPATIBILITY ZONE C
- COMPATIBILITY ZONE A
- COMPATIBILITY ZONE D
- COMPATIBILITY ZONE E

**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Riverside County TLMA GIS

Selected parcel(s):

- 476-270-001 476-270-002 476-270-003 476-270-004 476-270-005 476-270-006 476-270-007
- 476-270-008 476-270-009 476-270-010 476-270-011 476-270-012 476-270-013 476-270-014
- 476-270-015 476-270-016

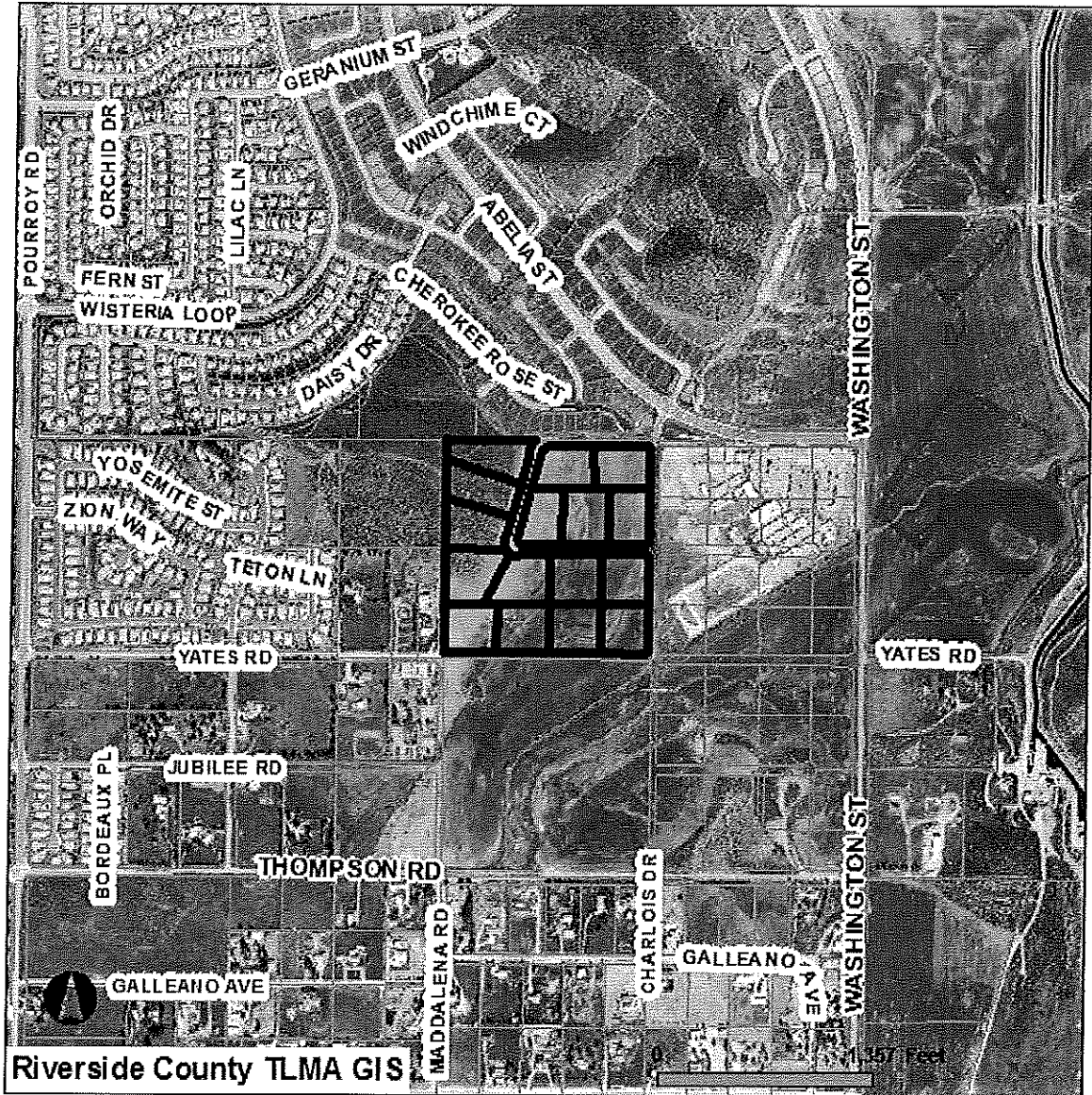
\*IMPORTANT\*

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RIVERSIDE COUNTY GIS



Selected parcel(s):

- 476-270-001 476-270-002 476-270-003 476-270-004 476-270-005 476-270-006 476-270-007
- 476-270-008 476-270-009 476-270-010 476-270-011 476-270-012 476-270-013 476-270-014
- 476-270-015 476-270-016

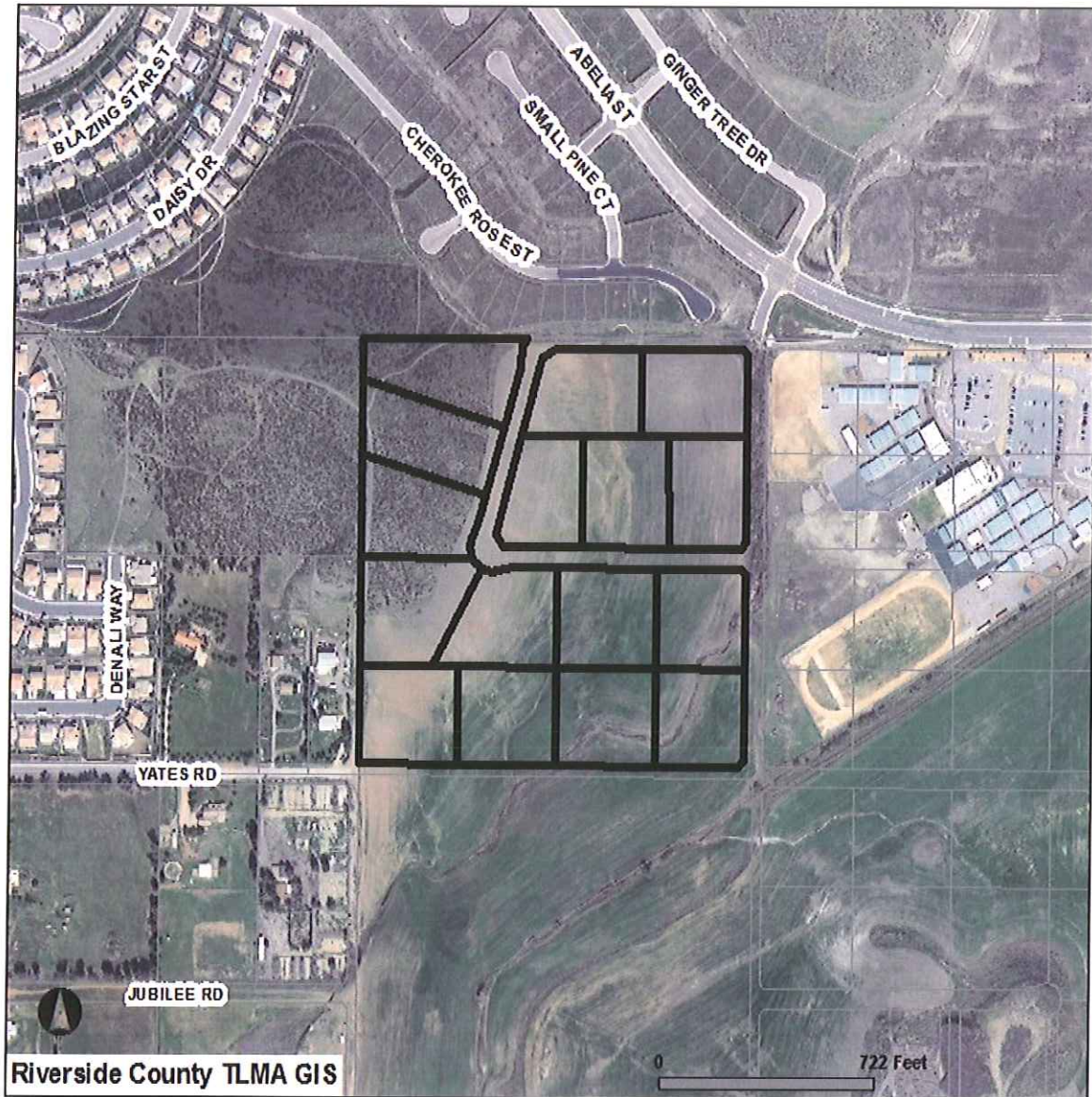
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



**Selected parcel(s):**

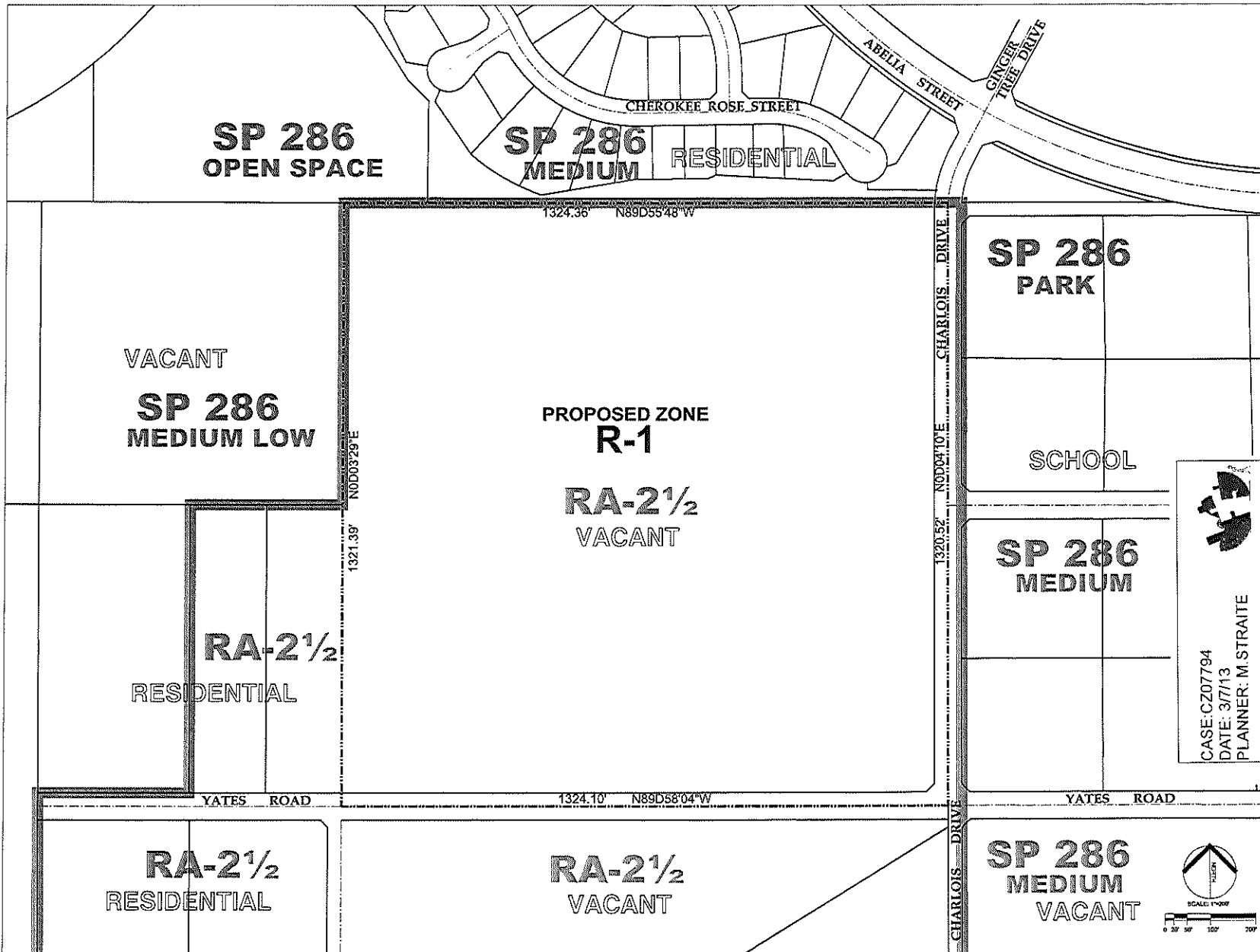
476-270-001 476-270-002 476-270-003 476-270-004 476-270-005 476-270-006 476-270-007  
 476-270-008 476-270-009 476-270-010 476-270-011 476-270-012 476-270-013 476-270-014  
 476-270-015 476-270-016

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Version 130523



**CHANGE OF ZONE**

THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 2 WEST OF SAN BERNARDINO BASE AND MERIDIAN.

**ASSESSORS PARCEL NUMBERS:**  
 476-270-001 THRU 476-270-016 INCLUSIVE  
**TOTAL NET AREA:** 38.35 ACRES  
**TOTAL GROSS AREA:** 40.16 ACRES  
**THOMAS BROTHERS MAP:**  
 PAGE 899 F-5 2006 EDITION  
**SCHOOL DISTRICT:**  
 TEMECULA VALLEY UNIFIED

**WATER:**  
 EASTERN MUNICIPAL WATER DISTRICT

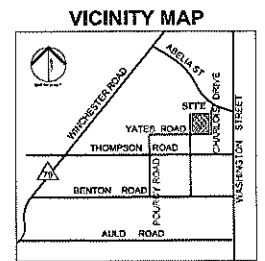
**SEWER:**  
 EASTERN MUNICIPAL WATER DISTRICT

**GAS:**  
 SOUTHERN CALIFORNIA GAS

**ELECTRICITY:**  
 SOUTHERN CALIFORNIA EDISON

**TELEPHONE:**  
 VERIZON

**CABLE TELEVISION:**  
 TIME WARNER CABLE



CASE: C207794  
 DATE: 3/7/13  
 PLANNER: M. STRAITE

**LEGEND**

EXISTING ZONE **RA-2<sup>1</sup>/<sub>2</sub>**

EXISTING LAND USE **VACANT**

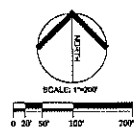
SITE BOUNDARY **---**

PROPOSED ZONE **R-1**

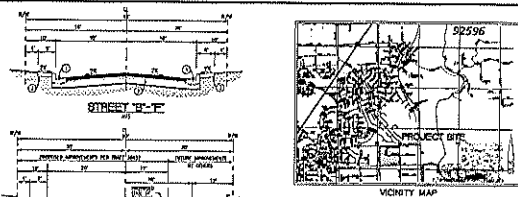
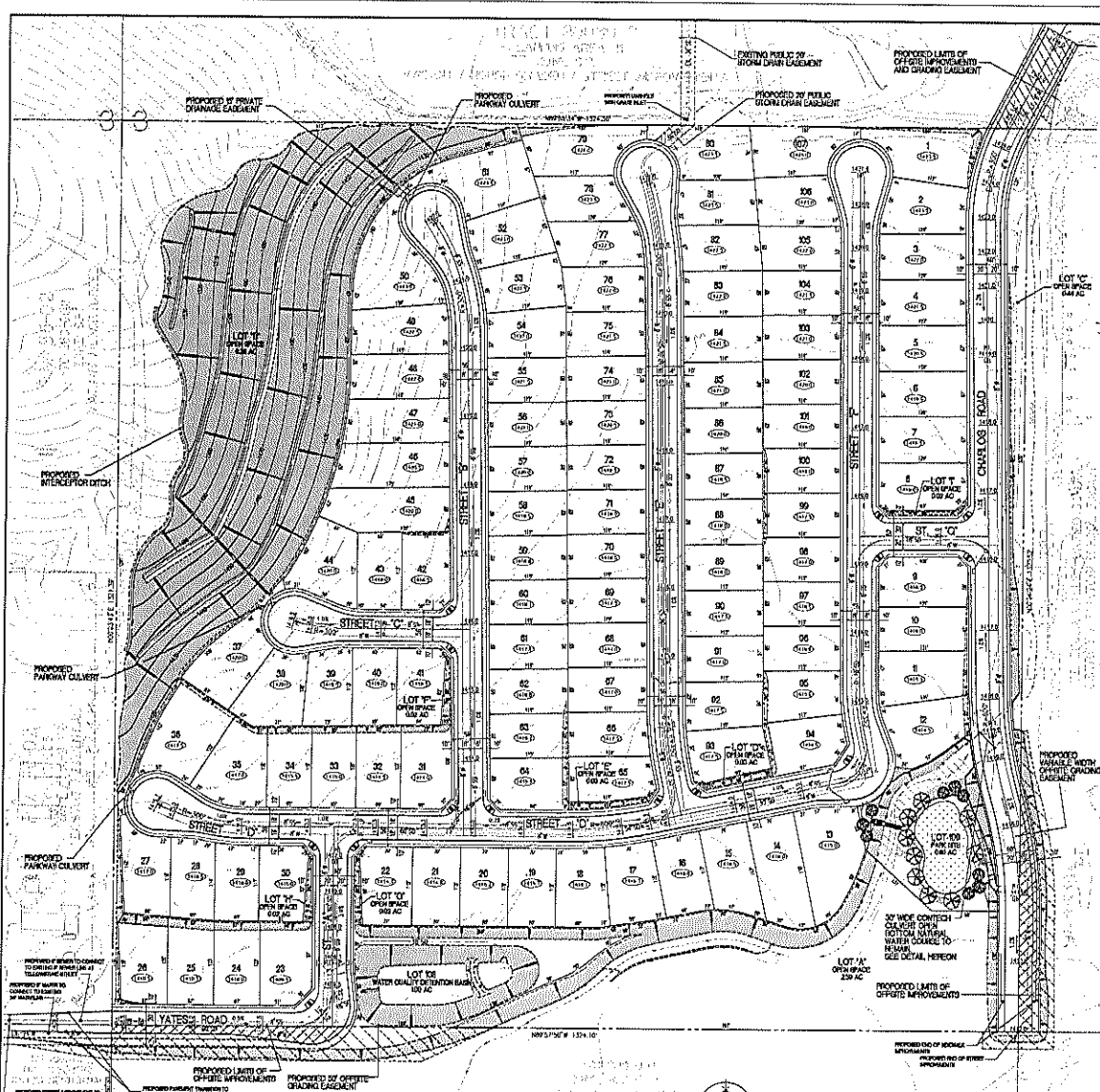
**OWNER:**  
 CV COMMUNITIES, LLC  
 1900 QUAL STREET  
 NEWPORT BEACH, CA 92660  
 (949) 376 5522

**APPLICANT:**  
 CV COMMUNITIES, LLC  
 1900 QUAL STREET  
 NEWPORT BEACH, CA 92660  
 (949) 376 5522

**PREPARED BY:**  
 ROME PLANNING  
 1300 REYNOLDS AVE, SUITE 110  
 IRVINE, CA 92614  
 (949) 855 5370







**GENERAL INFORMATION**

1. General Information...
2. Proposed Improvements...
3. Survey and Boundary...
4. Easements...
5. Utility Lines...
6. Proposed Limits of Offsite Improvements...
7. Notes...

**CONSTRUCTION NOTES**

1. All work shall be in accordance with the City of Riverside Specifications...
2. All work shall be done in accordance with the City of Riverside Specifications...
3. All work shall be done in accordance with the City of Riverside Specifications...
4. All work shall be done in accordance with the City of Riverside Specifications...
5. All work shall be done in accordance with the City of Riverside Specifications...

**LEGEND**

Symbol	DESCRIPTION
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Symbol	DESCRIPTION

**LOT AREA SUMMARY**

Lot No.	Area (sq. ft.)	Area (sq. ft.)	Area (sq. ft.)
1	1000	1000	1000
2	1000	1000	1000
3	1000	1000	1000

**ACCESSORS PARCEL NUMBERS**

Accessor's Parcel No.	Area (sq. ft.)
1000	1000
1000	1000
1000	1000

**LEGAL DESCRIPTION**

LOT SUMMARY

LOT 1: 1000 sq. ft.

LOT 2: 1000 sq. ft.

LOT 3: 1000 sq. ft.

**LAND USE SUMMARY**

Land Use	Area (sq. ft.)	Percentage
Residential	1000	100%
Commercial	0	0%
Industrial	0	0%

**APPLICANT / DEVELOPER / OWNER**

CV COMMUNITIES, L.L.C.

1800 QUAIL STREET  
NEWPORT BEACH, CA 92660  
(949) 258-1034

**JENATHE TRACT NO. 36437**

APPLICANT / DEVELOPER / OWNER

CV COMMUNITIES, L.L.C.

**PRECASIT DETAIL**

CONTECH



PREPARED FOR:

CV COMMUNITIES  
1800 QUAIL STREET  
NEWPORT BEACH, CA 92660  
(949) 258-1034

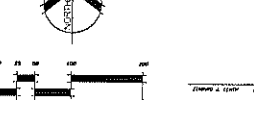
PREPARED BY:

**M.D.S. CONSULTING**

PLANNERS ENGINEERS ARCHITECTS

**Legend**

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SCHEDULE 'A'  
TENTATIVE TRACT No. 36437  
**TENTATIVE TRACT MAP**  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
SHEET 1 OF 1

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: July 11, 2013

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1053FV13 – CV Communities, LLC - County Case Nos. TR36437 (Tentative Tract Map), CZ07794 (Change of Zone). TR36437 is a proposal to subdivide 40.16 acres located northerly of Yates Road extended easterly, westerly of Charlois Road extended northerly, Temecula Preparatory School, and Temecula Valley Charter School, and southerly of Abelia Street and Cherokee Rose Street into 107 single family residential lots, 9 open space lots, 1 lot for a public park, and 1 lot for water quality/detention. CZ07794 is a proposal to change the zoning of the site from Residential Agricultural 2 ½-acre minimum (R-A-2½) to One-Family Dwelling (R-1). (Zone E of French Valley Airport Influence Area and beyond.)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Matt Straite of the County of Riverside Planning Department, at (951) 955-8631.

476 010 002

Jamie M Moore  
34044 Pourroy Rd  
Winchester, CA 92596

476 010 003

Heriberto Acosta  
34120 Pourroy Rd  
Winchester, CA 92596

476 010 004

Heriberto Acosta  
34120 Pourroy Rd  
Winchester, CA 92596

476 010 005

Dana James  
38033 Augusta Dr  
Murrieta, CA 92563

476 020 011

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 020 012

Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 231 010

Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 270 017

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 270 024

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 270 025

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 270 032

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 290 010

Britain Truscany Wilson  
32375 Yates Rd  
Winchester, CA 92596

476 290 011

David M Fulmer  
32415 Yates Rd  
Winchester, CA 92596

476 290 011

David M Fulmer  
32415 Yates Rd  
Winchester, CA 92596

476 300 001

Richard M Chen  
3812 E Kirkwood Ave  
Orange, CA 92869

476 300 002

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 300 003

Temecula Valley Unified School Dist  
31350 Rancho Vista Rd  
Temecula, CA 92592

476 382 001

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 382 008

Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 400 027

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 400 028

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

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Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

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Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 400 031

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 001

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 002

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 003

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 004

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 005

Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 401 012

Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 410 004  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 005  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 006  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

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Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

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Del Mar, CA 92014

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Del Mar, CA 92014

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Del Mar, CA 92014

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Del Mar, CA 92014

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12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 014  
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12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 015  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 016  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 017  
Ms451 Inc  
12865 Pointe Del Mar Way #200  
Del Mar, CA 92014

476 410 018  
Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 410 019  
Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 410 020  
Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

476 410 021  
Valley Wide Recreation & Park Dist  
Po Box 907  
San Jacinto, CA 92581

Owner  
Cv Communities LLC  
1900 Quail St  
Newport Beach, CA 92660

County of Riverside  
4080 Lemon Street 12th Floor  
Riverside, CA 92501

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1053FV13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application APRIL 19<sup>TH</sup>, 2013  
 Property Owner CV COMMUNITIES LLC Phone Number 909-376-5522  
 Mailing Address 100 QUAIL STREET  
NEWPORT BEACH, CA 92660

Agent (if any) N/A Phone Number \_\_\_\_\_  
 Mailing Address \_\_\_\_\_

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address ABELIA STREET AND CHARLOIS DRIVE TO NORTH  
YATES ROAD AND SUNNY HILLS ROAD TO SOUTH  
 Assessor's Parcel No. 476-270-001 THROUGH 476-270-016 Parcel Size MIN. 7200SF LOTS  
 Subdivision Name YATES ROAD Zoning CZ FROM  
 Lot Number RESIDENTIAL LOTS 1-107 (107 LOTS) Classification R2 1/2 TO R-1

FU  
E

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT AGRICULTURAL LAND  
C-2 1/2 ZONING

Proposed Land Use (describe) SINGLE FAMILY RESIDENTIAL  
R-1 ZONING  
107 SFR - MIN 7200SF LOTS

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 107 LOTS  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 35 FT ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1540 FT ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	<u>5-15-13</u>	Type of Project	<input type="checkbox"/> General Plan Amendment
Agency Name	<u>County of Riverside</u>	<input type="checkbox"/> Zoning Amendment or Variance	<input type="checkbox"/> Subdivision Approval
Staff Contact	<u>Matt Straite</u>	<input type="checkbox"/> Use Permit	<input type="checkbox"/> Public Facility
Phone Number		<input type="checkbox"/> Other	
Agency's Project No.	<u>TM 36437</u>		
	<u>Change of Zone 7794</u>		

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe: _____
	_____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	
ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	_____
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	_____

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.2

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1087MA13 – Optimus Building Corporation  
(Representative: Southwest Land Consultants, Sean Harrison)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** SPA 12-10-0006 (Specific Plan Amendment), DPR 12-10-0005 (Development Plan Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the proposed project be found **CONSISTENT** with the 1984 Riverside County Airport Land Use Plan, as applied to the March Air Reserve Base Airport Influence Area, subject to the conditions included herein.

**PROJECT DESCRIPTION:** SPA 12-10-0006 is a proposal to change the land use designation of the development area within the Perris Valley Commerce Center (PVCC) Specific Plan from Commercial (approximately 49 acres) and Business Professional Office (approximately 20 acres) to Light Industrial. SPA 12-10-0006 would also amend the Circulation Plan of the PVCC Specific Plan by designating the segment of Patterson Avenue northerly of the site as a Major Collector Roadway (78-foot right-of-way), deleting the segment of Patterson Avenue between Perry Street and Ramona Expressway, and deleting the segment of Perry Street within the project site. DPR 12-10-0005 is a proposal to develop two industrial warehouse buildings with a floor area of 1,460,067 square feet on 68.48 acres.

**PROJECT LOCATION:** The site is located easterly of Interstate 215, northerly of Ramona Expressway, and westerly of Webster Avenue, in the City of Perris, approximately 5,400 feet southerly of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 1984 Riverside County Airport Land Use Plan, as applied to March Air Reserve Base

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Area II

- c. Noise Levels: partially within 60-65 CNEL, according to the Draft F-15 Aircraft Conversion Environmental Impact Statement, 144<sup>th</sup> Fighter Wing, California Air National Guard (May 2012)

**BACKGROUND:**

Non-Residential Land Use Intensity: The site is located in Area II of the current March Air Reserve Base Airport Influence Area Map. Non-residential intensity is not limited within Area II, based on the 1984 Riverside County Airport Land Use Plan.

Pursuant to the Joint Land Use Study for the March Air Reserve Base/Inland Port Airport, the site would be located within Compatibility Zones C1 and C2. However, in light of more recent noise information, such as the F-15 study referenced above, the site is projected to be entirely located within Zone C1. The draft land use intensity criteria for Compatibility Zone C1 would limit average intensity to 100 people per acre and maximum single-acre intensity to 250 people. (There are no risk-reduction design bonuses available, as March is primarily utilized by large aircraft weighing more than 12,500 pounds.)

Based on the site plan and floor plans provided, a total of 40,000 square feet of office and 1,420,067 square feet of warehouse space is proposed within the two buildings. A total of 3,040 people would be anticipated, for an average intensity of 44 persons per acre on the 68.48 acres total, utilizing the building code method with 50% reduction for office uses. This intensity would be consistent with the draft Compatibility Zone C1 average intensity criteria of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the number of parking spaces provided (417 automobile and 492 truck loading spaces), the total occupancy would be estimated at 1,364 people for an average acre intensity of approximately 20, which is also consistent with the Zone C1 average intensity criteria.

The most intensely developed single-acre would consist of 20,000 square feet of office and 23,560 square feet of warehouse space, accommodating a total of 147 people. This intensity would be consistent with the draft Compatibility Zone C1 single-acre intensity criteria of 250.

The proposed amendment to the specific plan to allow light industrial land uses instead of commercial or office land uses would decrease the anticipated intensity of people, since commercial and office uses typically result in higher occupancy levels per square foot than manufacturing, warehouse, and storage uses pursuant to the building code.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Area II or draft Compatibility Zone C1 within the project.



Noise: Both the March Air Reserve Base/Inland Port Airport Joint Land Use Study (which relied on the noise contours included in the 2005 AICUZ study) and the F-15 Aircraft Conversion Environmental Impact Study prepared for the 144<sup>th</sup> Fighter Wing of the California Air National Guard depict the northeastern portion of the site as being partially within the 60-65 CNEL range, with the remainder of the site falling below 60 CNEL. As a non-residential use not including any noise sensitive uses, no special measures to mitigate aircraft-generated noise are required.

Part 77: The elevation of Runway 14-32 at its southerly terminus is approximately 1488.3 feet above mean sea level (1488.3 feet AMSL). At a distance of approximately 5,400 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1542.1 feet AMSL. The highest proposed building pad elevation on-site is 1498 feet AMSL. The proposed buildings have a maximum height of 39 feet for a potential maximum elevation of 1537 on the highest proposed pad. At this maximum height at the highest proposed building pad elevation, the structure would not exceed 1542.1 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review would not be required.

Avigation Easement: Pursuant to Policy 3 of the 1984 Riverside County Airport Land Use Plan, an avigation easement is required for land uses located within Area II.

Open Area: Area II of the 1984 Riverside County Airport Land Use Plan and Draft Compatibility Zone C1 do not have any requirements for provision of open space.

#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture,

production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

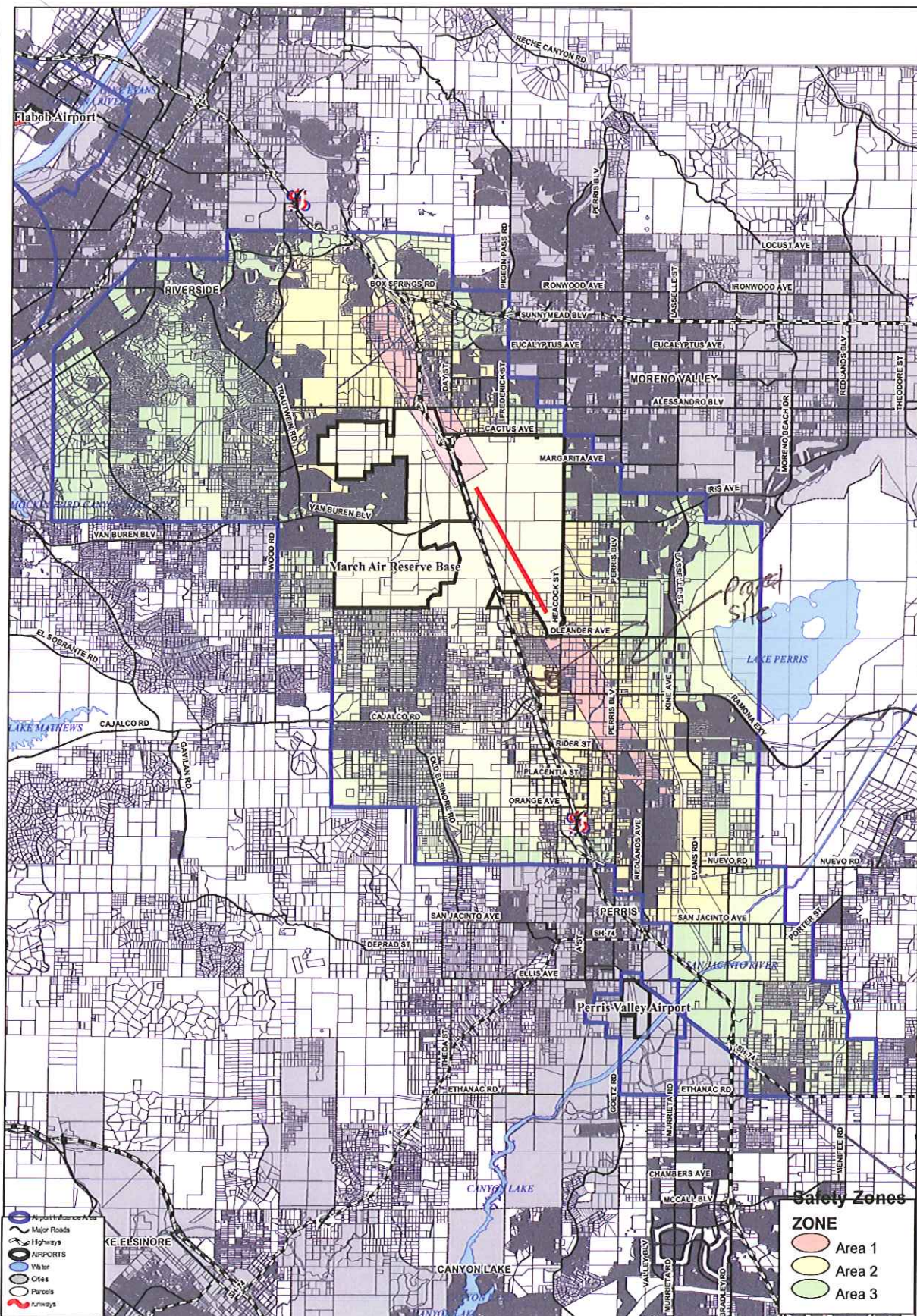
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, congregate care facilities, hotels/motels, restaurants, places of assembly (including churches and theaters), noise sensitive outdoor nonresidential uses, and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  4. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
  5. The maximum elevation of the buildings at highest point shall not exceed 1,542 feet above mean sea level.
  6. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

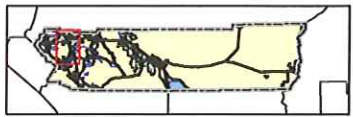
# Riverside County Airports

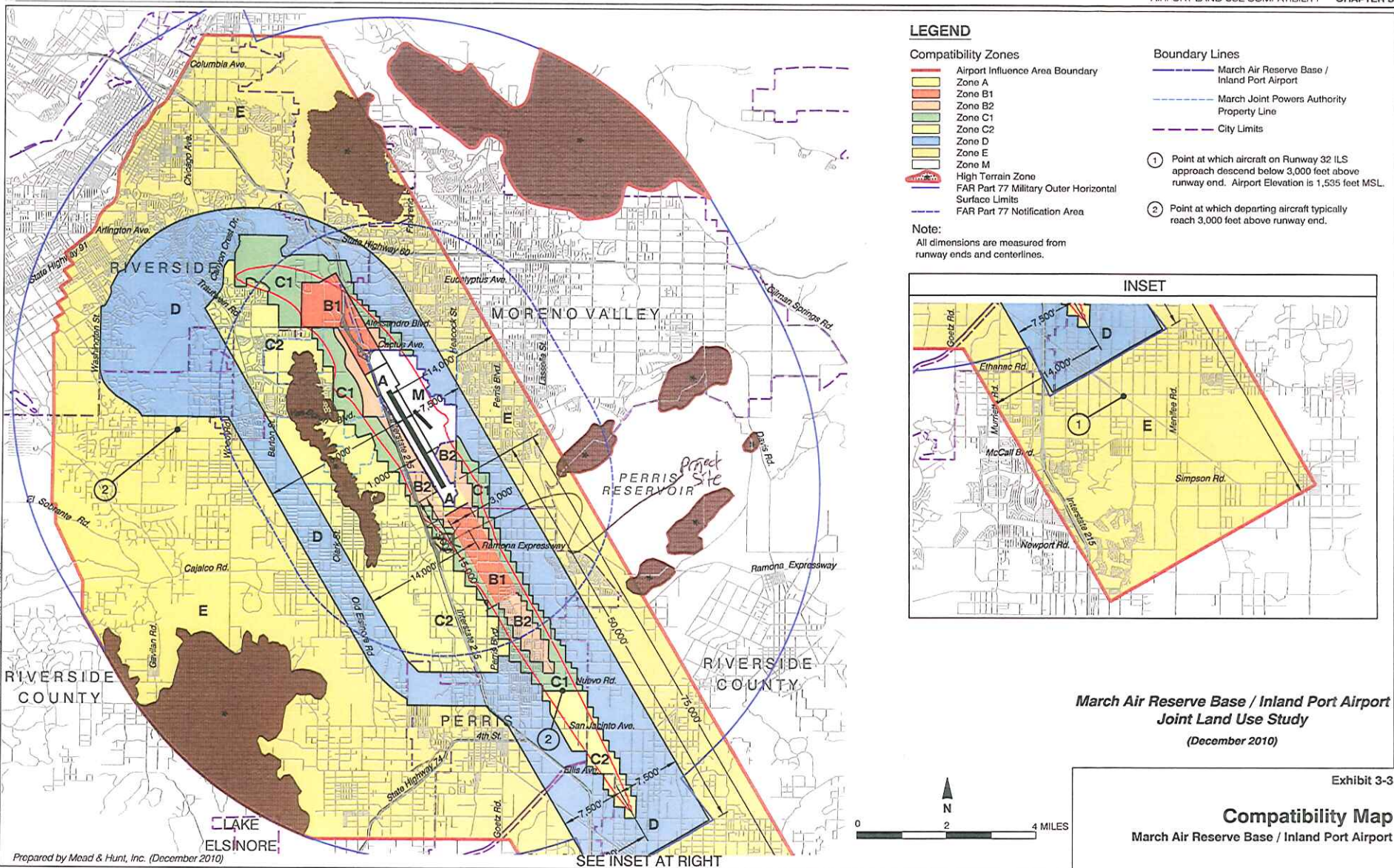
## March Air Reserve Base



- Airport Runways
- Major Roads
- Highways
- AIRPORTS
- Water
- Cities
- Parcels
- Runways

- Safety Zones**
- ZONE**
- Area 1
  - Area 2
  - Area 3





**LEGEND**

**Compatibility Zones**

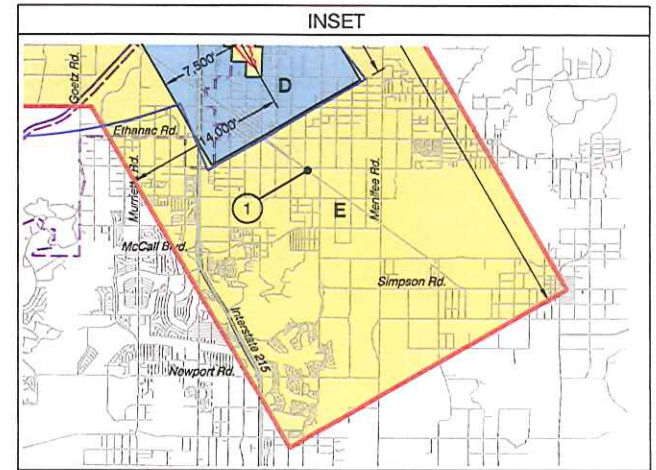
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Inland Port Airport
- March Joint Powers Authority Property Line
- City Limits

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

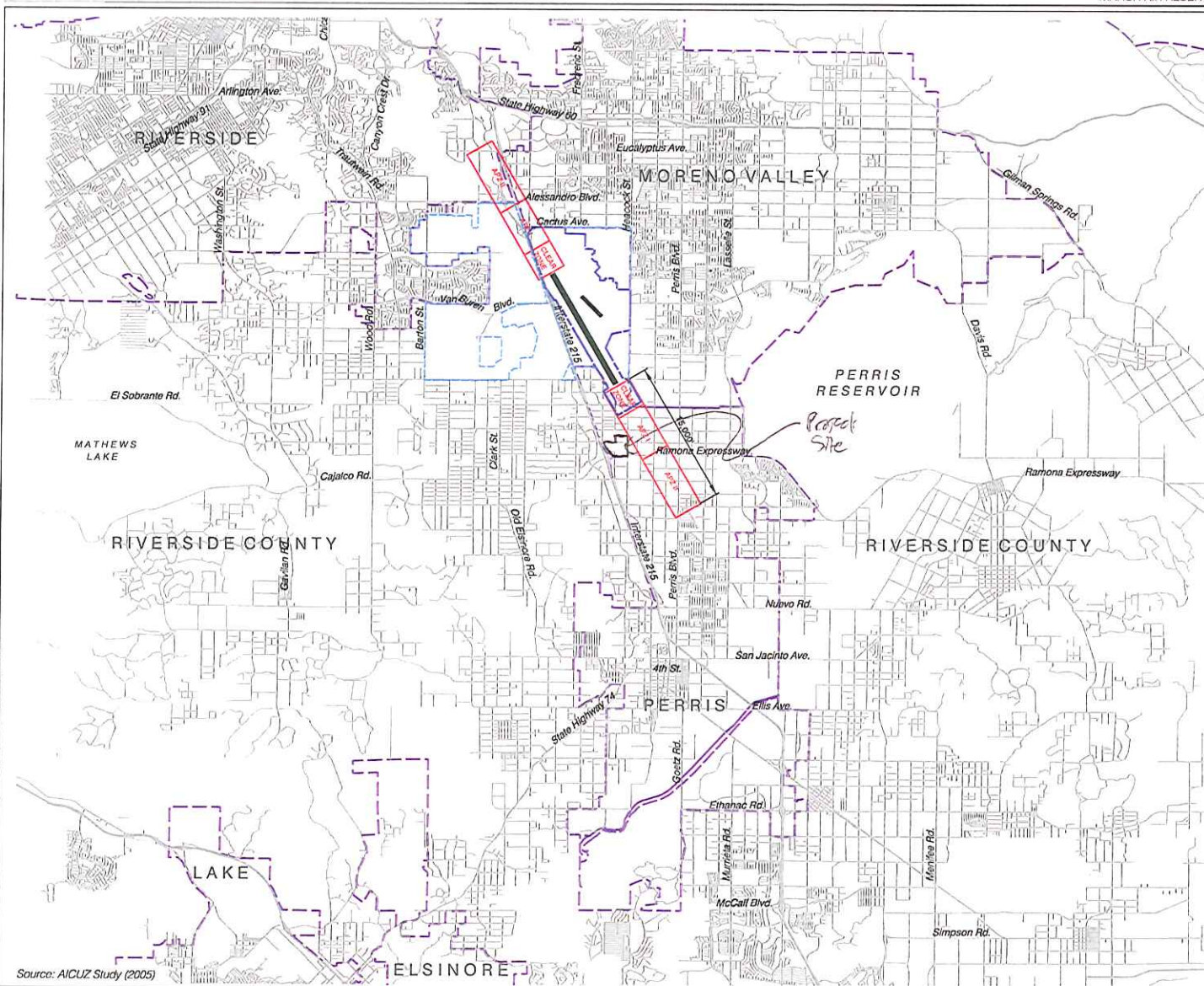
**Note:**  
All dimensions are measured from runway ends and centerlines.



**March Air Reserve Base / Inland Port Airport  
Joint Land Use Study  
(December 2010)**



SEE INSET AT RIGHT



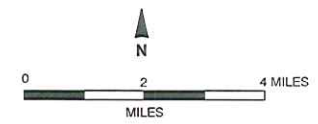
**LEGEND**

- Clear Zone
- Accident Potential Zone I
- Accident Potential Zone II

**Boundary Lines**

- March Air Reserve Base / Inland Port Airport
- March Joint Powers Authority Property Line
- City Limits

**Source:**  
Clear and Accident Potential Zones from Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005).



**March Air Reserve Base / Inland Port Airport  
Land Use Study  
(December 2010)**

Exhibit 2-14

**Accident Potential Zones  
March Air Reserve Base / Inland Port Airport**

C:\Users\MBB\Documents\March Air Reserve Base\Map\Map\_1113\_MAR\_2005\_AICUZ\_0616.dwg Mar 06, 2010 11:49am  
 Source: AICUZ Study (2005)

RIVERSIDE COUNTY GIS



Selected parcel(s):

314-170-013 314-170-014 314-170-015 314-170-016 314-180-001 314-180-007 314-180-009  
 314-180-010 314-180-011 314-180-013 314-180-014

AIRPORTS

-  SELECTED PARCEL
-  INTERSTATES
-  HIGHWAYS
-  PARCELS
-  AIRPORT RUNWAYS
-  AIRPORT INFLUENCE AREAS
-  AIRPORT BOUNDARIES

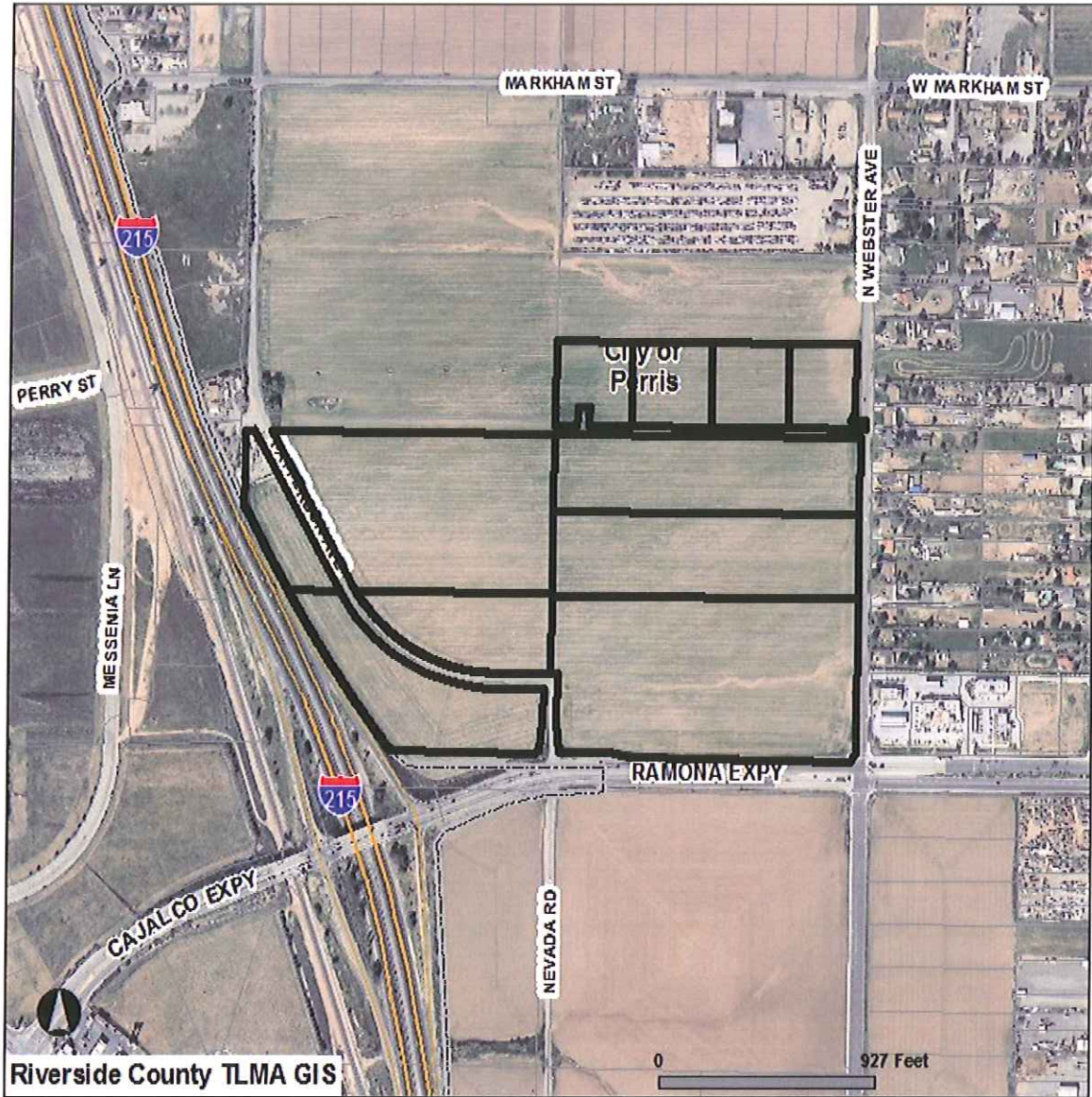
**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Wed Jun 26 12:21:28 2013

Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

314-170-013 314-170-014 314-170-015 314-170-016 314-180-001 314-180-007 314-180-009  
 314-180-010 314-180-011 314-180-013 314-180-014

LEGEND

- SELECTED PARCEL
- N INTERSTATES
- M HIGHWAYS
- PARCELS
- CITY

**\*IMPORTANT\***

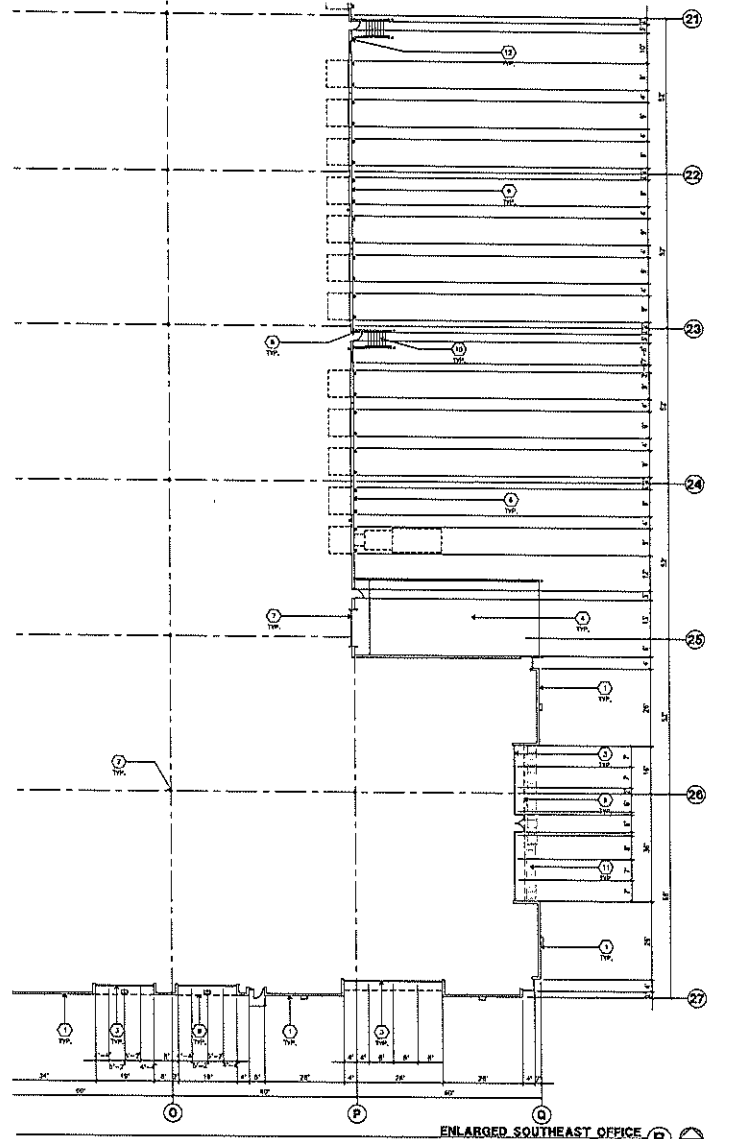
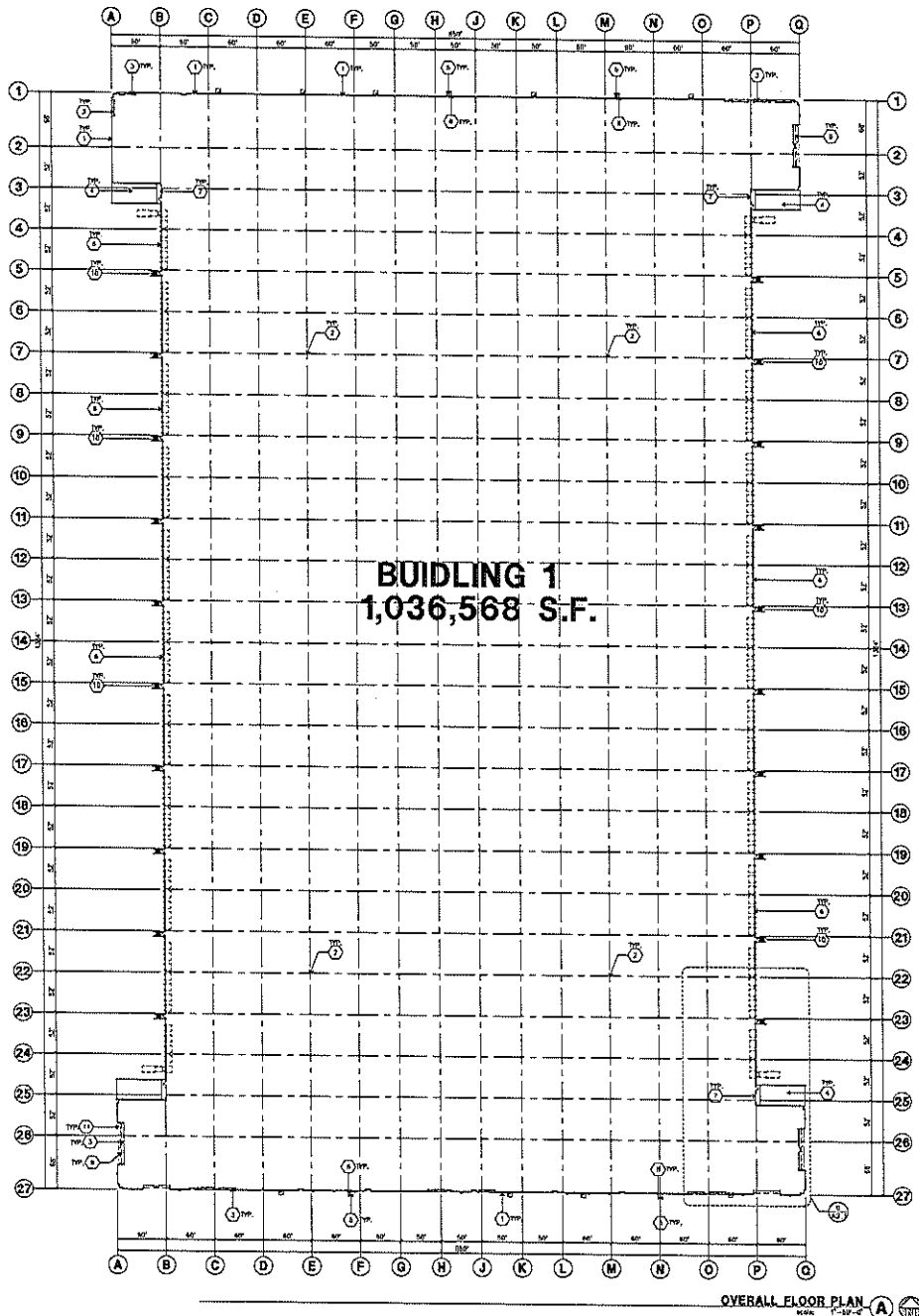
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REPORT PRINTED ON...Wed Jun 26 12:13:05 2013

Version 130523







**GENERAL NOTES - FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PILEARY WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB SLOPES 1/2%. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. FLOOR SLAB SHALL BE SEALED WITH LAPOLATH MANUFACTURER (SONDORON) OR APPROVED EQUAL.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL CIVIL ISO. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERIMETER ENDS. SEE "S" DRAWINGS FOR POUR STRIP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, ORDINATE, OR FACE OF STUD U/L.N.G.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO GUY-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD-4. NOTE: ALL DOORS PER DOOR SCHEDULE AND FINISH CONDITIONS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPERED INCLUDING CARS AND TRUCKS.

**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TILT-UP PANEL
- 2 STRUCTURAL STEEL COLUMN
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP
- 5 3'-0" DEEP TRUSS CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 6 8'x10' TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 7 12'x14' DRIVE THRU, VERTICAL LIFT, STANDARD GRADE.
- 8 3'x7' HOLLOW METAL EXTERIOR MAN DOOR.
- 9 50FTIT ABOVE
- 10 EXTERIOR CONC. STAIR.
- 11 ACCENT METAL CANOPY
- 12 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER

**HPA**  
architecture

HPA, Inc.  
18021 Bardot Avenue, Ste. #100  
Irvine, CA  
92612  
tel: 949-852-1770  
fax: 949-852-0561  
email: hpa@hpaidia.com

**Optimus Building Corporation**

12040 East Florence Avenue  
Santa Fe Springs, CA 90759

tel: (562) 237-4071

**Project:**  
**Optimus Logistics Center**  
BUILDING 1

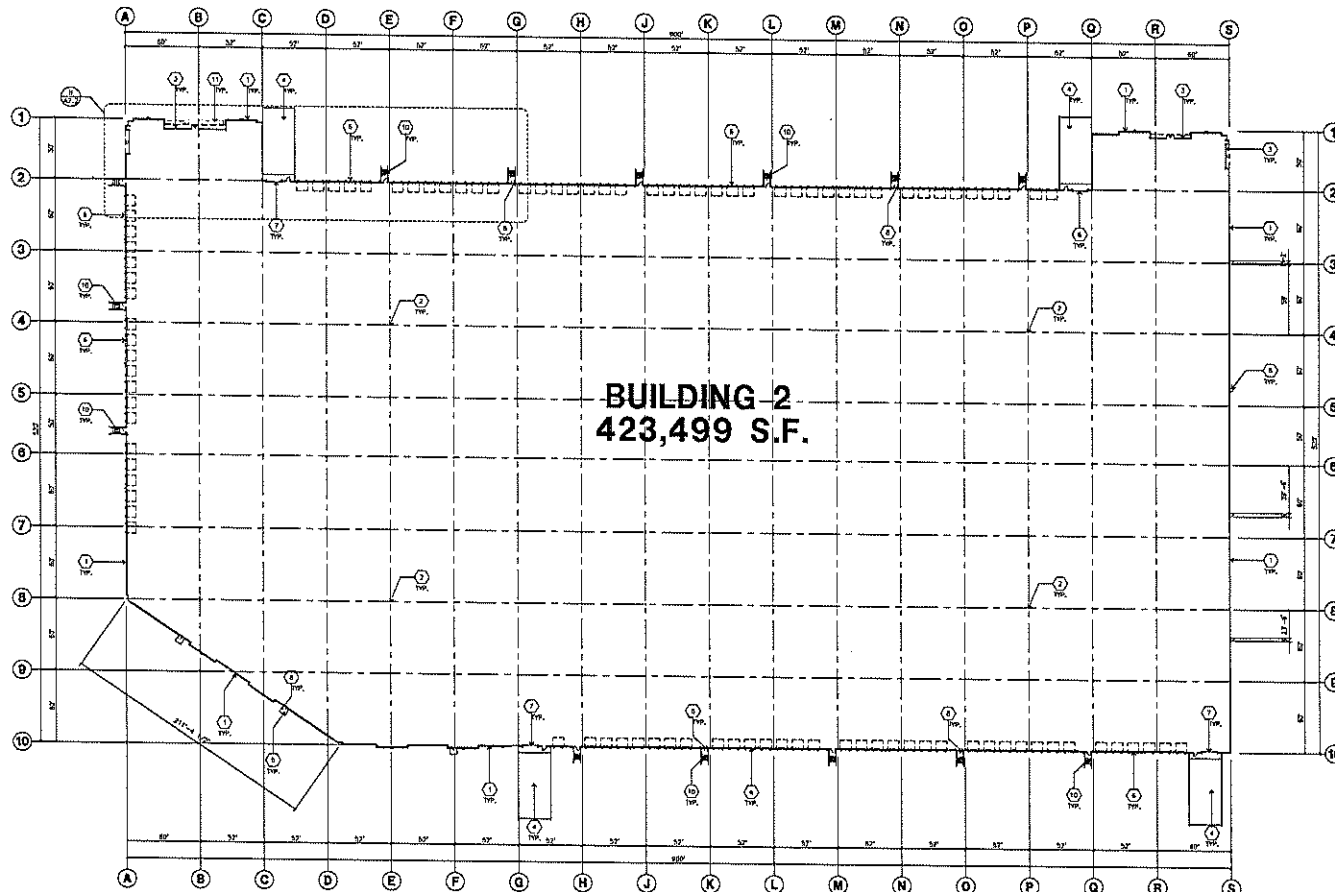
**Consultants:**

CIVIL . . . . . HLC  
STRUCTURAL . . . . .  
MECHANICAL . . . . .  
PLUMBING . . . . .  
ELECTRICAL . . . . .  
LANDSCAPE . . . . . RIDGE LANDSCAPE  
FEL-PC/ST/CA . . . . .  
SCULPTURE . . . . .

Title: **OVERALL FLOOR PLAN**

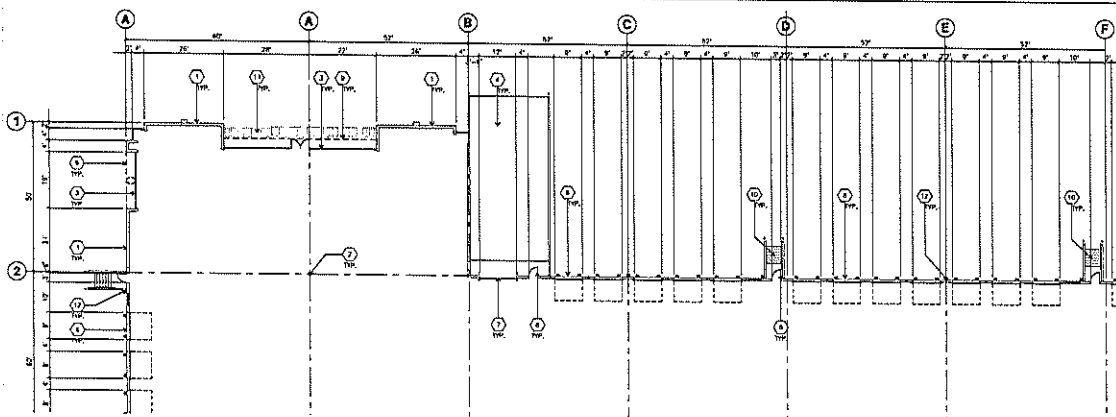
Project Number: 11220  
Drawn by: JW  
Date: 5/23/2012  
Revision:

Sheet:  
**A2.1**



**BUILDING 2**  
423,499 S.F.

OVERALL FLOOR PLAN (A) 1/18-11-12




ENLARGE NORTHWEST OFFICE (B) 1/18-11-12

GENERAL NOTES - FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT SHALL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB SLOPES 1/20". SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. FLOOR SLAB SHALL BE SEALED WITH LAPOLITH MANUFACTURER: SOMERUDS OR APPROVED EQUAL.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE GREY PRIMER ONLY. ALL GYP. DD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE FOUR STIMP 1/2" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DRAWINGS FOR FOUR STIMP LOCATION.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD W/LND.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.A. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMPERED INCLUDING CARS AND TRUCKS.

KEYNOTES - FLOOR PLAN

- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STIFFENMENT SYSTEM WITH GRIDLINE. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATION.
- (4) CONCRETE RAMP.
- (5) 31"-6" 80"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO HAND SURFACE PER CITY REQUIREMENTS.
- (6) 8"x14" TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- (7) 12"x14" DRIVE THRU, VERTICAL LIFT, STANDARD GRADE.
- (8) 3'x7' HOLLOW METAL EXTERIOR MAN DOOR.
- (9) 30FFIT ABOVE.
- (10) EXTERIOR CONC. STAIR.
- (11) ACCENT METAL CANDY.
- (12) EXTERIOR DOWNPOINT WITH OVERFLOW SCUPPER.



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email: hpa@hpaarch.com

---

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Santa Fe Springs, CA 90702

tel: (909) 207-4071

---

**Project:**  
Optimus Logistics Center  
BUILDING 2

---

**Consultants:**

CIVIL	REL
STRUCTURAL	
METCAL	
PLUMBING	
ELECTRICAL	
LANDSCAPE	RRIDE LANDSCAPE
INTERIORS	

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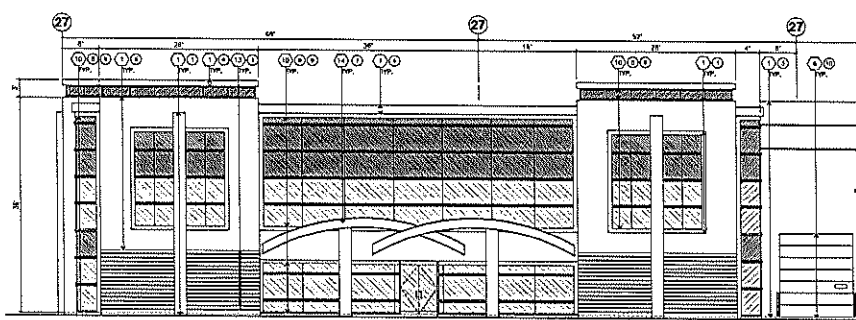
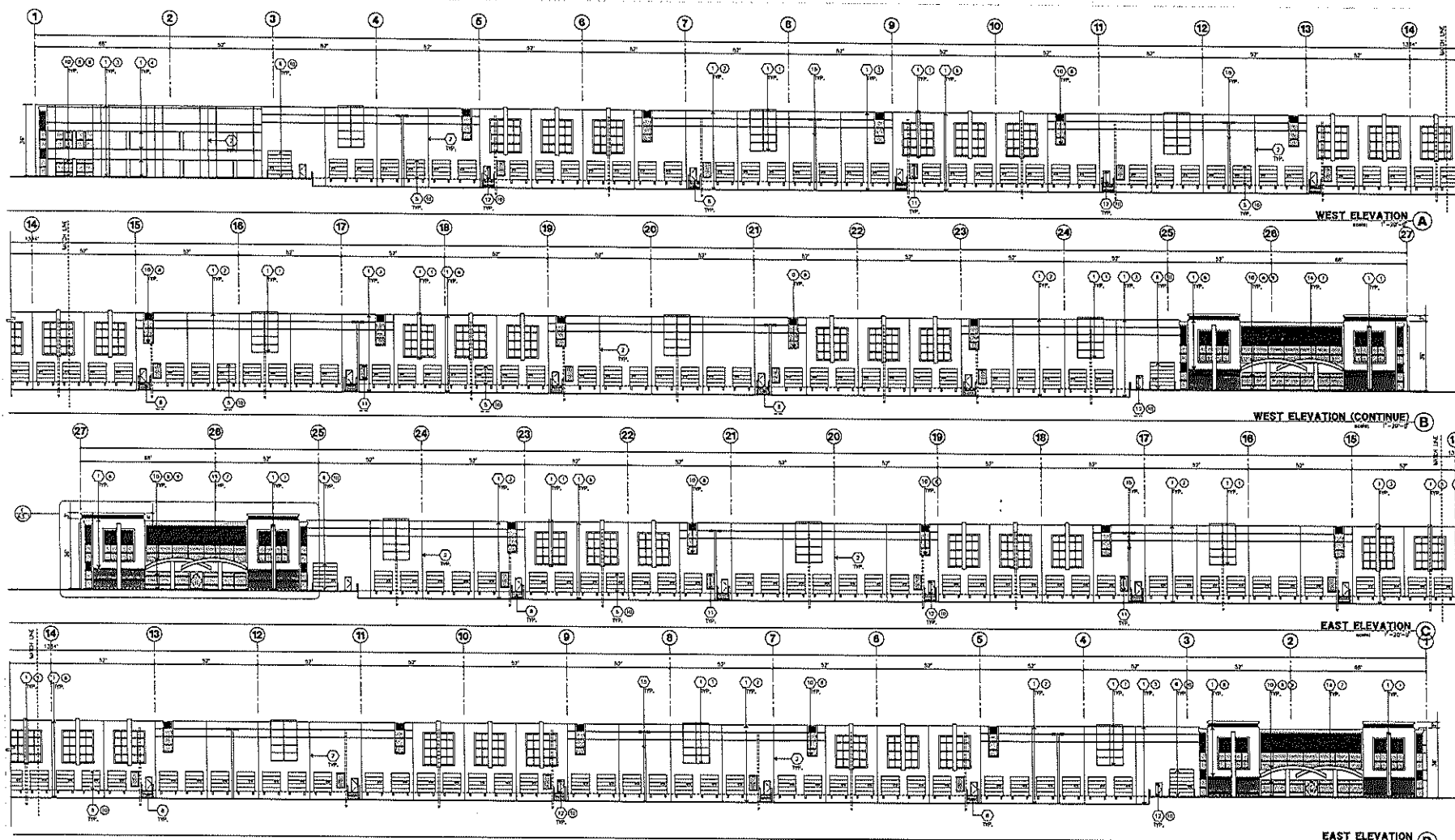
**Title:** OVERALL FLOOR PLAN

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**Project Number:** 11220  
**Drawn by:** JW  
**Date:** 02/20/13  
**Revisors:**

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**Sheet:**  
**A2.2**



- KEYNOTES - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL PAINTED.
  - ② PANEL JOINT.
  - ③ PANEL ROYAL.
  - ④ CONCRETE TILT-UP SCREEN WALL.
  - ⑤ 8'-0" W X 10'4" OVERHEAD DOOR @ DOCK HOCH.
  - ⑥ 12'6" W X 14'4" OVERHEAD DOOR @ DRIVE THRU.
  - ⑦ DOCK BUMPER.
  - ⑧ CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
  - ⑨ CONCRETE RAMP AND CONC. GUARDRAIL.
  - ⑩ ALUMINUM STRETCHOUT FINISH BY TEMPLATED GLAZING AT ALL DOORS COMPLETELY ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
  - ⑪ LEVER (SIZE AND LOCATION APPROX. ONLY).
  - ⑫ HOLLOW METAL DOORS.
  - ⑬ ACCENT ROYAL.
  - ⑭ METAL ACCENT CANOPY.
  - ⑮ EXTERIOR DOWNSPOUT AND 2 OVERFLOW EQUIPMENT.

- GLAZING LEGEND**
- SPANDREL GLASS
  - TEMPERED SPANDREL GLASS
  - VISION GLASS
  - TEMPERED VISION GLASS
- GENERAL NOTES - ELEVATIONS**
- A. ALL PANEL EDGE COLORS TO OCCUR AT NODES UNLESS NOTED OTHERWISE.
  - B. ALL PANEL FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
  - C. T.O.P. = TOP OF PARAPET - ELEVATION.
  - D. F.F. = FINISH FLOOR ELEVATION.
  - E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS SHALL BE INSTALLED TO RESIST 50 MPH WINDSPEED UP WIND. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
  - F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.

- COLOR SCHEDULE - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ② CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ③ CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ④ CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ⑤ CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ⑥ CONCRETE TILT-UP PANEL PAINT BRAND, BY COLOR, TYPE/STITCHING
  - ⑦ METAL ACCENT CANOPY ALUMINUM, BY COLOR, TYPE/STITCHING
  - ⑧ GLASS COLOR: CLEAR ANODIZED
  - ⑨ DOORS COLOR: MATCH TO ADJ. BUILDING WALL



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Project:  
Optimus Logistics Center  
BUILDING 1

Consultants:

- HLC
- STRUCTURAL
- MECHANICAL
- ELECTRICAL
- LANDSCAPE ARCHITECTURE
- SCULPTURE
- FRIDGE LANDSCAPE

Title: ELEVATION

Project Number: 11220  
Drawn by: JW  
Date: 5/23/2013

Revision:

Sheet: A3.1

Optimus Building Corporation

12049 East Florence Avenue  
Shirley Fo Springs, CA 90780

TEL (949) 237-4071

Project:

Optimus Logistics Center

BUILDING 1

Consultants:

CELESTIAL HFC  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE RIDDICK LANDSCAPE  
FIGUREWORK SOLIDWORKS

Title: ELEVATION

Project Number: 11220

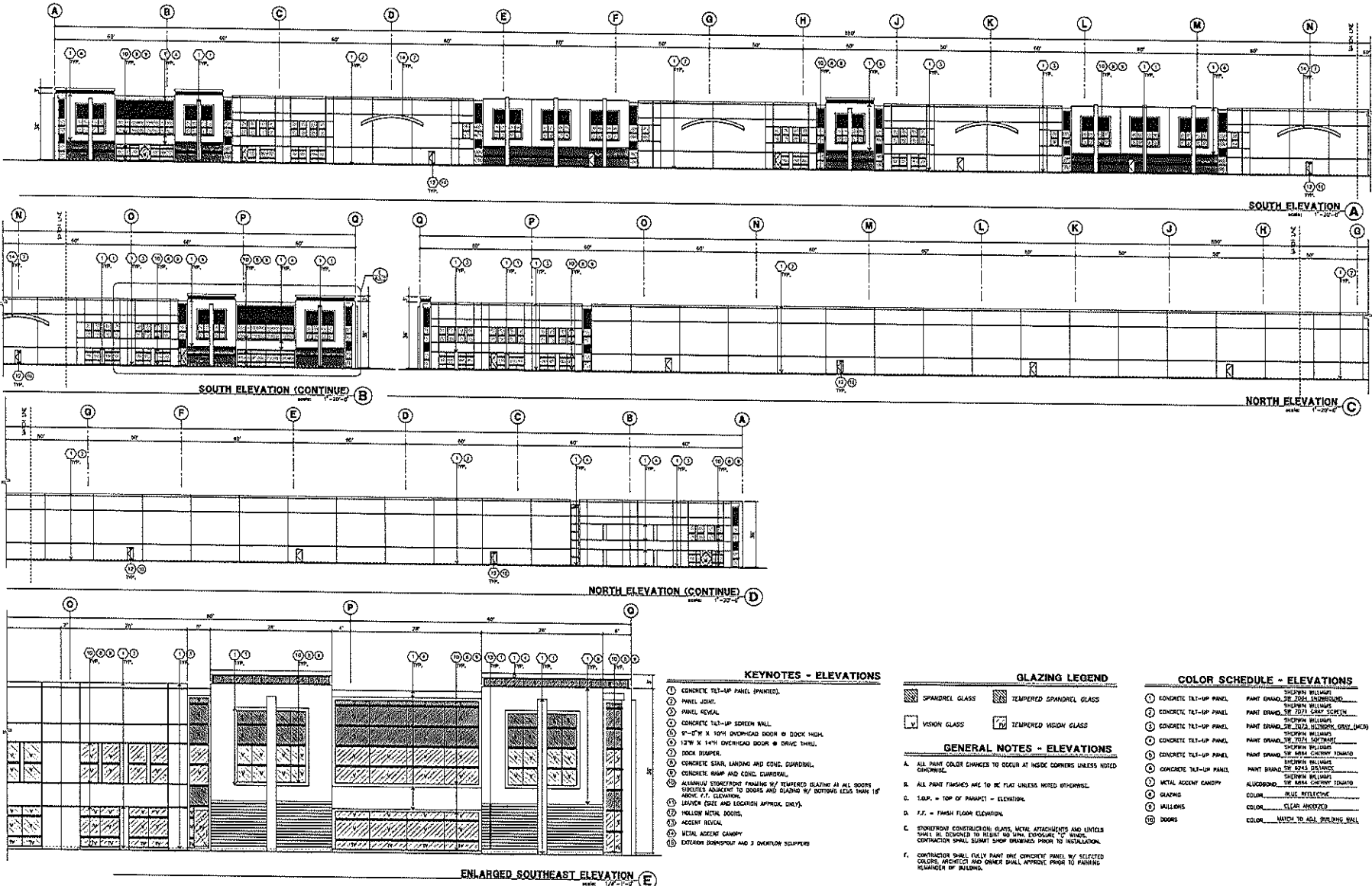
Drawn by: JW

Date: 5/20/2013

Revised:

Sheet:

A3.2



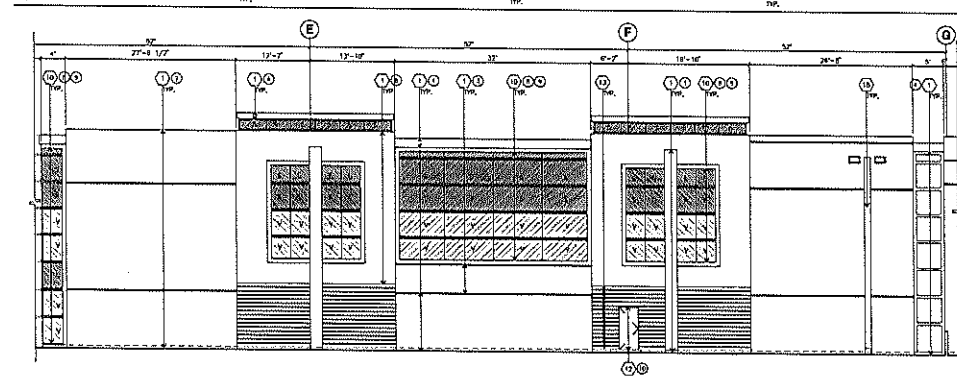
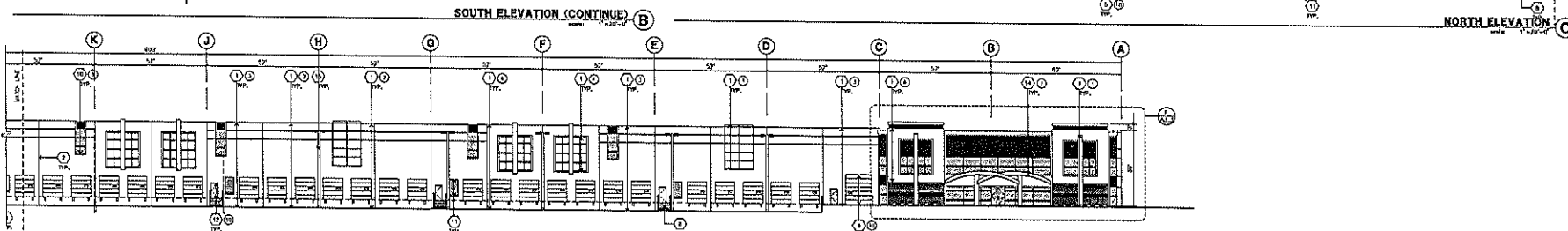
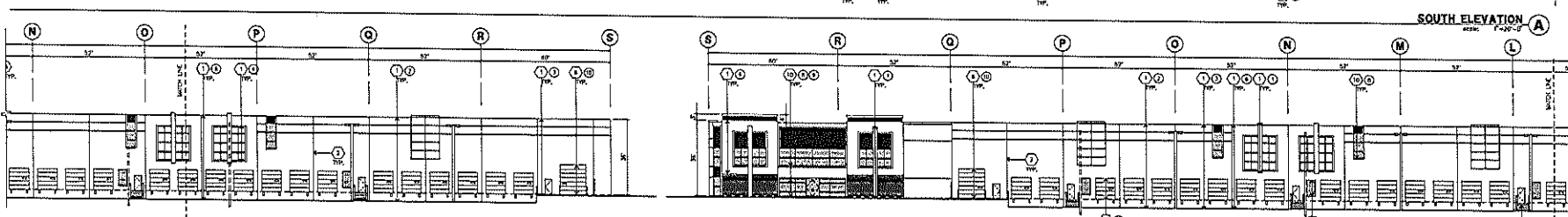
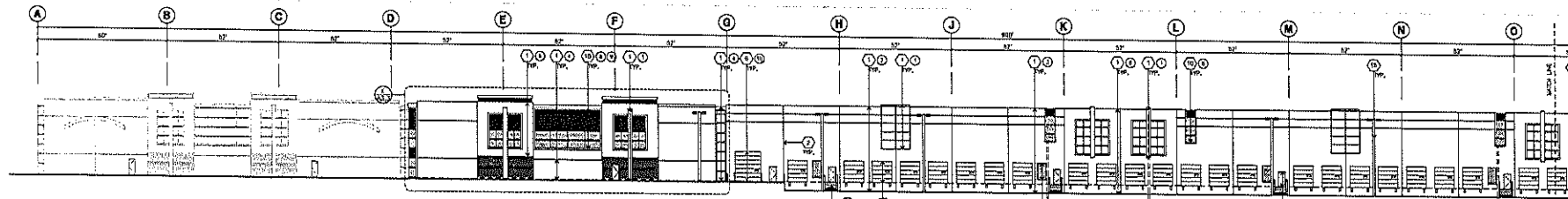
- KEYNOTES - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL (PAINTED).
  - ② PANEL EDGE.
  - ③ CONCRETE TILT-UP SCREEN WALL.
  - ④ 6'-0" W X 10'4" OVERHEAD DOOR @ DOCK HIGH.
  - ⑤ 12'6" X 14'4" OVERHEAD DOOR @ DRIVE THRU.
  - ⑥ DOCK SHAPER.
  - ⑦ CONCRETE STAIR LANDING AND CONC. GUARDRAIL.
  - ⑧ CONCRETE RAMP AND CONC. CURBSTOP.
  - ⑨ ALUMINUM STOREFRONT FINISHING W/ TEMPERED GLAZING AT ALL DOORS.
  - ⑩ DOORS ADJACENT TO DOORS AND GLAZING W/ BOTTOMS LESS THAN 18" ABOVE F.F. ELEVATION.
  - ⑪ LANDING EDGE AND LOCATION APPROX. ONLY.
  - ⑫ HOLLOW METAL BOOTS.
  - ⑬ ACCENT REVEAL.
  - ⑭ METAL ACCENT CANOPY.
  - ⑮ EXTENSION DOWNSPROUT AND 3 OVERHUNG SUPPORTS.

- GLAZING LEGEND**
- SPANDREL GLASS
  - TEMPERED SPANDREL GLASS
  - VISION GLASS
  - TEMPERED VISION GLASS

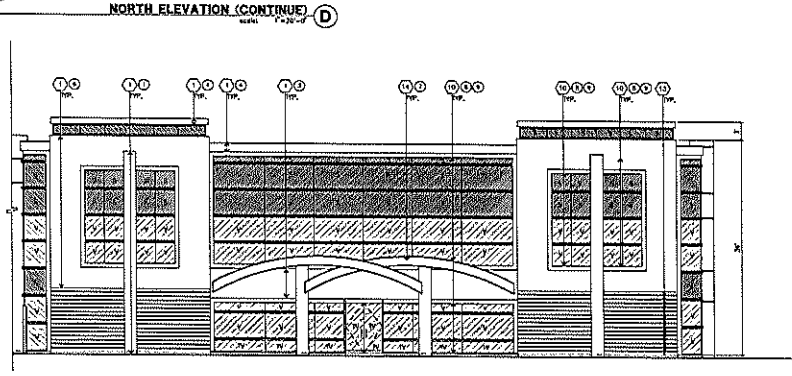
- GENERAL NOTES - ELEVATIONS**
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
  - B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
  - C. T.A.P. = TOP OF PARAPET - ELEVATION.
  - D. F.F. = FINISH FLOOR ELEVATION.
  - E. STOREFRONT CONSTRUCTION: GLAZING METAL ATTACHMENTS AND UNITS SHALL BE DELIVERED TO READY TO INSTALL. EXPOSURE TO RAIN. CONTRACTOR SHALL SURMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
  - F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO FINISHING REMAINDER OF BUILDING.

- COLOR SCHEDULE - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ② CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ③ CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ④ CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ⑤ CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ⑥ CONCRETE TILT-UP PANEL PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ⑦ METAL ACCENT CANOPY PAINT BRAND, SW 7073, SOUTHWEST SHIPWINK WILLIAMS
  - ⑧ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑨ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑩ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑪ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑫ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑬ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑭ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑮ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑯ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑰ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑱ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑲ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ⑳ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ㉑ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ㉒ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
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  - ㉞ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
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  - ㊾ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS
  - ㊿ GLAZING ALUMINUM, SW 8243, DELTA METAL WILLIAMS

ENLARGED SOUTHEAST ELEVATION



**ENLARGED SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

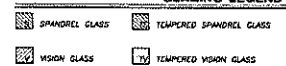


**ENLARGED NORTHWEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED).
- 2 PANEL JOINT.
- 3 PANEL REVEAL.
- 4 CONCRETE TILT-UP SCREEN WALL.
- 5 6'-0" W X 10'H OVERHEAD DOOR @ DOCK HIGH.
- 6 12'W X 14'H OVERHEAD DOOR @ DRIVE THRU.
- 7 DOCK BUMPER.
- 8 CONCRETE STAIR, LANDING AND CONC. CURBWALES.
- 9 CONCRETE RAMP AND CONC. DIAGONAL.
- 10 ALUMINUM STOREFRONT FRAMING BY TAMPORED GLAZING AT ALL DOORS. DOOR/FITTE ADJUSTED TO DOORS AND GLAZING BY BIDDING LESS THAN 1/8" ABOVE F.F. ELEVATION.
- 11 LANTERNE (DOOR AND LOCATION APPROX. ONLY).
- 12 HOLLOW METAL DOORS.
- 13 ACCENT REVEAL.
- 14 METAL ACCENT CANOPY.
- 15 EXTERIOR PORNOPOUT AND 2 OVERHEAD SCRAPERS.

**GLAZING LEGEND**



**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT ROSE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET - ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND UNITS SHALL BE ORDERED TO MATCH UP WITH EXISTING. IF SHOP CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PAINT TO FINISH REMAINDER OF BUILDING.

**COLOR SCHEDULE - ELEVATIONS**

- |                          |                                    |
|--------------------------|------------------------------------|
| 1 CONCRETE TILT-UP PANEL | SHIMMER WILLIAMS                   |
| 2 CONCRETE TILT-UP PANEL | PAINT BRAND, DR. PINK, SPANDELS    |
| 3 CONCRETE TILT-UP PANEL | SHIMMER WILLIAMS                   |
| 4 CONCRETE TILT-UP PANEL | PAINT BRAND, DR. PINK, SPANDELS    |
| 5 CONCRETE TILT-UP PANEL | SHIMMER WILLIAMS                   |
| 6 CONCRETE TILT-UP PANEL | PAINT BRAND, DR. PINK, SPANDELS    |
| 7 METAL ACCENT CANOPY    | SHIMMER WILLIAMS                   |
| 8 GLAZING                | ALUMINUM, DR. PINK, CHERRY TONERS  |
| 9 WALLS                  | COLOR: BLUE SELECTIVE              |
| 10 DOORS                 | COLOR: CLEAR ANODIZED              |
|                          | COLOR: MATCH TO ADJ. BUILDING WALL |



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Project:  
Optimus Logistics Center  
BUILDING 2

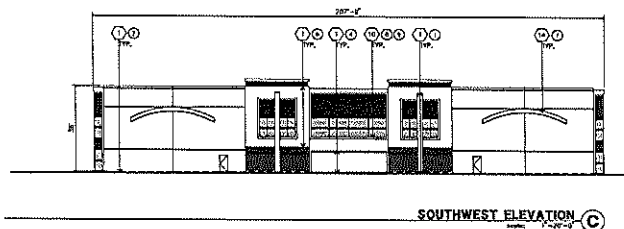
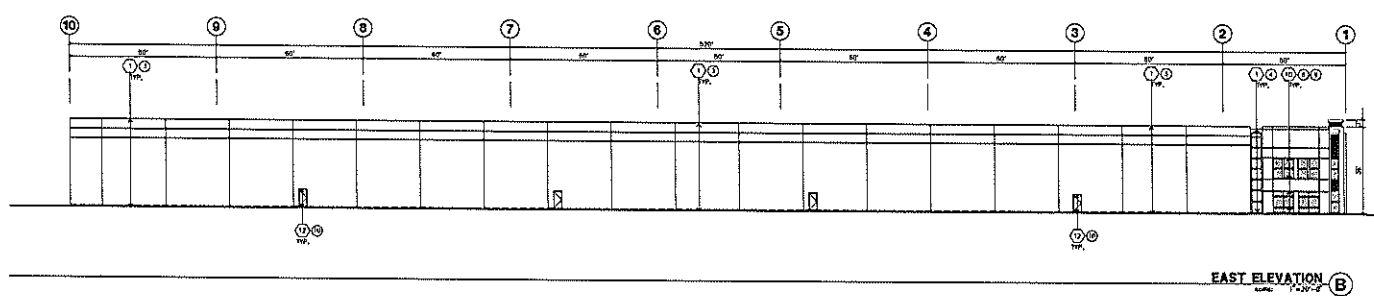
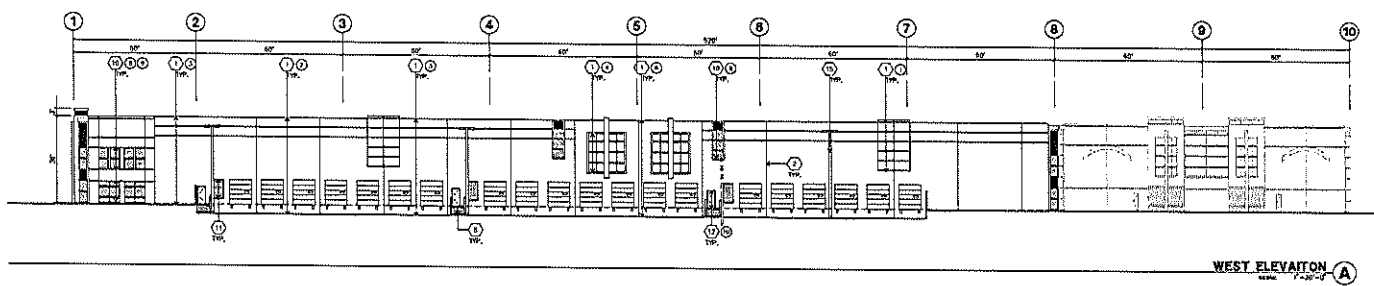
Consultants:

- ARCHITECT: HPA
- CIVIL: HPA
- STRUCTURAL: HPA
- MECHANICAL: HPA
- ELECTRICAL: HPA
- LANDSCAPE: HPA
- PLUMBING: HPA
- ENGINEERING: HPA
- INTERIOR: HPA
- EXTERIOR: HPA

Title: ELEVATION

Project Number: 11220  
Drawn by: JW  
Date: 02/20/10

Sheet: **A3.3**

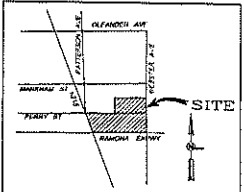
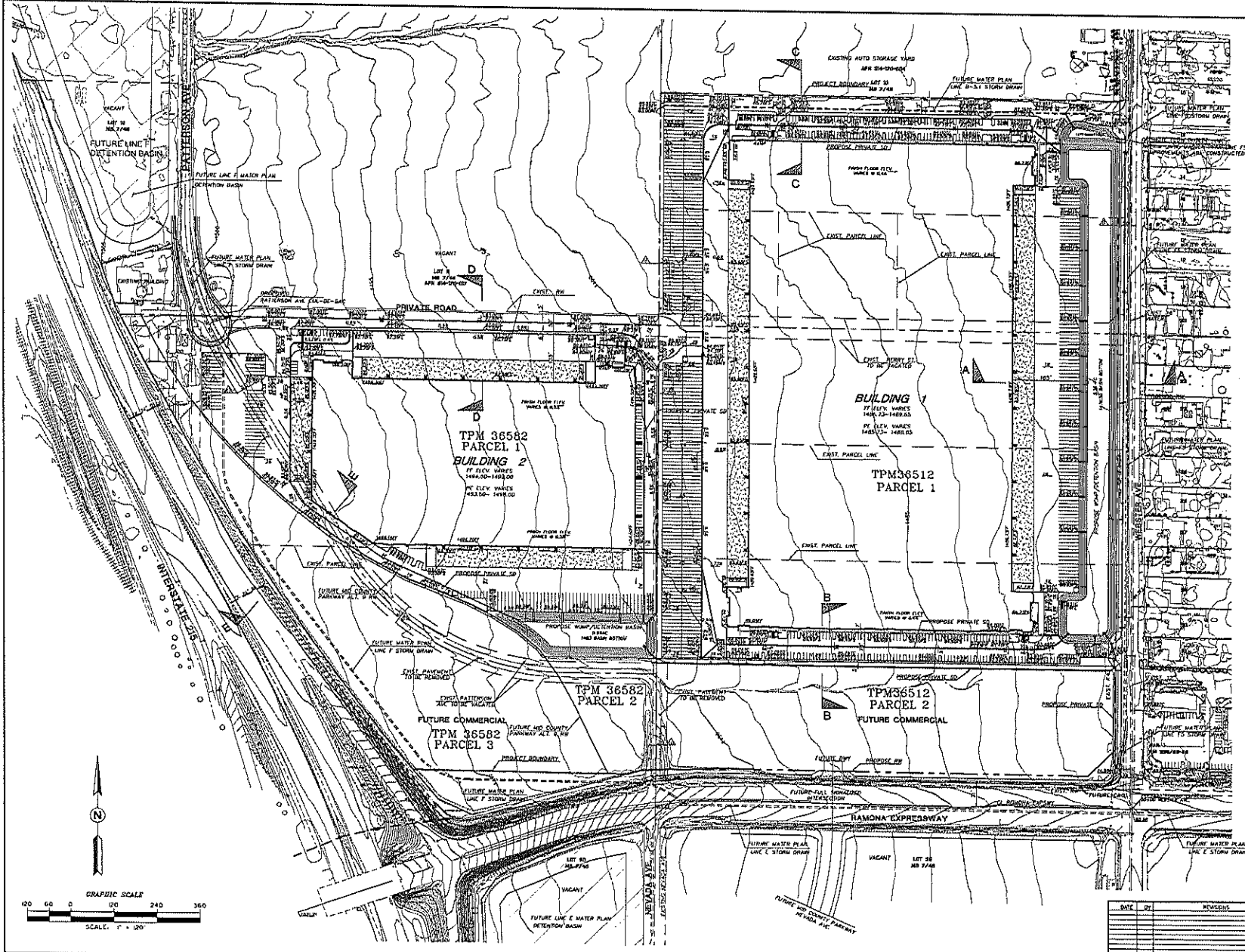


- KEYNOTES - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL (PAINTED).
  - ② PANEL JOINT.
  - ③ PANEL ROUGH.
  - ④ CONCRETE TILT-UP SCREEN WALL.
  - ⑤ 8'-0" X 14'6" OVERHEAD DOOR @ DOCK HIGH.
  - ⑥ 12'6" X 14'6" OVERHEAD DOOR @ DRIVE THRU.
  - ⑦ DOOR BURST.
  - ⑧ CONCRETE STAIR, LANDING AND CONC. GUARDRAIL.
  - ⑨ CONCRETE RAIR AND CONC. GUARDRAIL.
  - ⑩ ALUMINUM STOREFRONT FRAMING w/ TEMPERED GLAZING AT ALL DOORS. SILLIES ADJUSTED TO DOORS AND GLAZING w/ SPACING LESS THAN 1/4" ABOVE F.F. ELEVATION.
  - ⑪ LANTERN (SIZE AND LOCATION APPROX. ONLY).
  - ⑫ HOLLOW METAL DOORS.
  - ⑬ ACCENT REVEAL.
  - ⑭ METAL ACCENT CANOPY.
  - ⑮ EXTERIOR DOWNSPOUT AND 2 OVER/LOW SCUPERS.

- GLAZING LEGEND**
- |  |  |
|--|--|
|  |  |
|  |  |

- GENERAL NOTES - ELEVATIONS**
- A. ALL PAINT COLORS CHANGES TO OCCUR AT JOIST CORNERS UNLESS NOTED OTHERWISE.
  - B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
  - C. T.O.P. = TOP OF FINANCEI - ELEVATION.
  - D. F.F. = FINISH FLOOR ELEVATION.
  - E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND LINKERS SHALL BE COATED TO RESIST UV RAY DEGRADATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
  - F. CONSTRUCTION SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLORS, ARCHITECT AND OWNER SHALL APPROVE PRIOR TO FINISHING REMAINDER OF BUILDING.

- COLOR SCHEDULE - ELEVATIONS**
- |                          |  |
|--------------------------|--|
| ① CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% SPOKESWOOD       |
| ② CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% GRAY SCREEN      |
| ③ CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% SHERWIN WILLIAMS |
| ④ CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% SHERWIN WILLIAMS |
| ⑤ CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% SHERWIN WILLIAMS |
| ⑥ CONCRETE TILT-UP PANEL | PAINT BRAND, SE, 100% SHERWIN WILLIAMS |
| ⑦ METAL ACCENT CANOPY    | ALUMINUM, SW RIMA CHERRY TOLLADO       |
| ⑧ GLAZING                | COLOR: BLUE REFLECTIVE                 |
| ⑨ WALLS                  | COLOR: CLEAR ANTISET                   |
| ⑩ DOORS                  | COLOR: MATCH TO ANIL BUILDING WALL     |



VICINITY MAP  
NOT TO SCALE

TOPOGRAPHY SOURCE  
AERIAL SURVEY 2011

EARTHWORK  
CLT: 146,000 CY  
IMP/RT, EXP/RT: BALANCED SITE

NOTE: ROUGH ESTIMATE FOR PLANNING PURPOSES ONLY

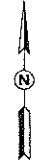
- #### EASEMENT NOTES
- AN EASEMENT IN FAVOR OF THE STATE OF CALIFORNIA FOR THE STATE WATER PROJECT, CONDUIT, DITCHES AND TUNNELS AND INCIDENTAL PURPOSES, RECORDED OCTOBER 17, 1978 IN BOOK 430 OF RECORD, PAGE 345 NOT NOTIFIABLE FOR RECORD.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR TUNNELS AND TUNNELS AND INCIDENTAL PURPOSES, RECORDED MARCH 2, 1958, BOOK 843 OF RECORD, PAGE 484.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR TUNNELS, DITCHES AND TUNNELS AND INCIDENTAL PURPOSES, RECORDED MARCH 2, 1958, BOOK 843 OF RECORD, PAGE 484.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR TUNNELS, DITCHES AND TUNNELS AND INCIDENTAL PURPOSES, RECORDED MARCH 2, 1958, BOOK 843 OF RECORD, PAGE 484.
  - AN EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR TUNNELS, DITCHES AND TUNNELS AND INCIDENTAL PURPOSES, RECORDED MARCH 2, 1958, BOOK 843 OF RECORD, PAGE 484.
  - AN EASEMENT FOR ADJUTANT'S RIGHTS OF INTEREST AND EGRESS TO OR FROM FREIGHT AND TRUCK TRAILERS TO BE LOCATED ON THE PROPERTY SHOWN IN THE DOCUMENT RECORDED MARCH 23, 1988 AS INSTRUMENT NO. 85084 AND FEBRUARY 12, 1990 AS INSTRUMENT NO. 87386, BOTH OF OFFICIAL RECORDS, RECORDED IN THE STATE RECORDS.
  - AN EASEMENT FOR ADJUTANT'S RIGHTS OF INTEREST AND EGRESS TO OR FROM FREIGHT AND TRUCK TRAILERS TO BE LOCATED ON THE PROPERTY SHOWN IN THE DOCUMENT RECORDED SEPTEMBER 10, 1988 AS INSTRUMENT NO. 773 OF OFFICIAL RECORDS.
  - ADJUTANT'S RIGHTS OF INTEREST AND EGRESS TO OR FROM FREIGHT AND TRUCK TRAILERS TO BE LOCATED ON THE PROPERTY SHOWN IN THE DOCUMENT RECORDED FEBRUARY 24, 1983 AS INSTRUMENT NO. 7236 OF OFFICIAL RECORDS.
  - ADJUTANT'S RIGHTS OF INTEREST AND EGRESS TO OR FROM FREIGHT AND TRUCK TRAILERS TO BE LOCATED ON THE PROPERTY SHOWN IN THE DOCUMENT RECORDED FEBRUARY 24, 1983 AS INSTRUMENT NO. 7236 OF OFFICIAL RECORDS.
  - ADJUTANT'S RIGHTS OF INTEREST AND EGRESS TO OR FROM FREIGHT AND TRUCK TRAILERS TO BE LOCATED ON THE PROPERTY SHOWN IN THE DOCUMENT RECORDED FEBRUARY 24, 1983 AS INSTRUMENT NO. 7236 OF OFFICIAL RECORDS.

NOTE: SEE SHEET 2 FOR SECTIONS AND LEGAL DESCRIPTION.

APPLICANT  
OPTIMUS BUILDING CORPORATION  
2070 GARY ST., HUNTINGTON  
15040 EAST FLORISSANCE AVE.  
SANTA FE SPRING, CA 92770  
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CIVIL ENGINEERING  
30073 14th Street  
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OPTIMUS LOGISTICS CENTER  
PRELIMINARY GRADING PLAN  
TENTATIVE PARCEL MAP 36512  
AND  
TENTATIVE PARCEL MAP 36582  
PREPARED MAY 23, 2013 SHEET 1 OF 2



GRAPHIC SCALE  
120 60 0 60 240 360  
SCALE: 1" = 120'

DATE	BY	REVISIONS



**TENTATIVE PARCEL MAP 36582**  
**LEGAL DESCRIPTION**

APNs 314-170-003 AND 314-170-004

THE SOUTHWESTLY 18.7 ACRES OF LOT 10 OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 43 OF MAPS, RIVERSIDE COUNTY, EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE EASTERN LINE OF WADE AVENUE AND THE CENTER LINE OF MARTIN STREET, AS SHOWN IN SAID MAP; THENCE EASTERLY, ON THE CENTER LINE OF MARTIN STREET, 133.85 FEET; THENCE NORTH  $0^{\circ} 30' 30''$  WEST 383.43 FEET;

THENCE SOUTH  $89^{\circ} 50' 30''$  WEST 383.43 FEET, TO A POINT ON THE EASTERN LINE OF SAID WADE AVENUE, THENCE SOUTHWESTERLY ON THE EASTERN LINE OF SAID WADE AVENUE, 44.6 FEET, TO THE POINT OF BEGINNING;

ALSO EXCEPTING THEREFROM THAT PORTION WHICH LIES WESTERLY OF THE EASTERN LINE OF THAT CERTAIN PARCEL CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED MAY 23, 1952 IN BOOK 1337 PAGE 183 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD FEBRUARY 17, 1958 AS INSTRUMENT NO. 11594, DESCRIBED AS FOLLOWS:

(A) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF MARTIN STREET, 44 FEET IN WIDTH, AS SHOWN ON SAID MAP; WITH THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND, 80 FEET IN WIDTH, CONVEYED TO THE COUNTY OF RIVERSIDE FOR ROAD PURPOSES BY DEED RECORDED JANUARY 22, 1983 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE ALONG SAID CENTER LINE OF MARTIN STREET, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 112.41 FEET, TO THE TRUE POINT OF BEGINNING; THENCE ALONG SAID CENTER LINE SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 219.71 FEET;

THENCE NORTH  $89^{\circ} 50' 30''$  WEST 22.22 FEET, TO THE NORTH LINE OF SAID MARTIN STREET, BEING ALSO THE SOUTH LINE OF SAID LOT 12; THENCE NORTH  $89^{\circ} 50' 30''$  WEST 117.25 FEET;

THENCE ALONG A TANGENT CURVE CONCAVE NORTHERLY, WITH A RADIUS OF 220 FEET, THROUGH AN ANGLE OF  $28^{\circ} 27' 54''$ , A DISTANCE OF 108.28 FEET, TO THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN INSTRUMENT NO. 11594 AND WEL RECORDED AUGUST 22, 1948 IN BOOK 1103 PAGE 183 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG SAID EASTERN LINE OF THE LAUREN'S PROPERTY, SOUTH  $0^{\circ} 29' 22''$  WEST (RECORDED SOUTH  $0^{\circ} 29' 22''$  EAST) 84.79 FEET, TO THE TRUE POINT OF BEGINNING;

(B) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF PATTERSON AVENUE, 44 FEET IN WIDTH, WITH THE EASTERN LINE OF WADE AVENUE, 40 FEET IN WIDTH, AS SHOWN ON SAID MAP; SAID INTERSECTION BEING THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND RECORDED IN INSTRUMENT NO. 11594 AND WEL RECORDED AUGUST 22, 1948 IN BOOK 1103 PAGE 183 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG THE NORTH LINE OF THE LAUREN'S PROPERTY, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 22.22 FEET, TO THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID NORTH LINE, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 86.33 FEET; THENCE NORTH  $10^{\circ} 21' 10''$  WEST 22.81 FEET, TO A POINT ON THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING; THENCE, ALONG SAID EAST LINE, NORTH  $0^{\circ} 01' 20''$  WEST (RECORDED SOUTH  $0^{\circ} 01' 20''$  EAST) 238.31 FEET, TO THE TRUE POINT OF BEGINNING;

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED FILED FOR RECORD SEPTEMBER 18, 1958 AS INSTRUMENT NO. 82001, DESCRIBED AS FOLLOWS: A TRIM OF LAND 142 FEET IN WIDTH DESCRIBED LINE; BEGINNING AT A POINT ON THE WESTERN PROLONGATION OF THE SOUTHERLY SIDE OF THE FOLLOWING STREET, SAID POINT BEING 48 FEET FROM THE WESTERN PROLONGATION OF THE SOUTHERLY LINE OF LOT 17 OF SAID PERRY'S RESUBDIVISION, WHICH BEARS SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET FROM THE NORTHWEST CORNER OF LOT 20 OF PERRY'S RESUBDIVISION;

THENCE SOUTH  $89^{\circ} 51' 57''$  WEST 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO THE NORTHWEST CORNER OF SAID LOT 20; ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD FEBRUARY 14, 1953 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS OF SAID COUNTY;

APNs 314-180-010 AND 314-180-014

LOT 17 OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 43 OF MAPS, RIVERSIDE COUNTY RECORDS;

EXCEPTING FROM SAID LOT 17 THE SOUTHWESTLY 10.7 ACRES, ALSO EXCEPTING FROM SAID LOT 17 THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD MAY 23, 1952 AS INSTRUMENT NO. 12274, DESCRIBED AS FOLLOWS:

(A) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF MARTIN STREET, 44 FEET IN WIDTH, AS SHOWN ON SAID MAP OF PERRY'S RESUBDIVISION, WITH THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND, 40 FEET IN WIDTH, CONVEYED TO THE COUNTY OF RIVERSIDE, FOR ROAD PURPOSES BY DEED RECORDED JANUARY 22, 1983 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG THE NORTH LINE OF WADE AVENUE, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 133.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID CENTER LINE OF MARTIN STREET, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 112.41 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE ALONG SAID CENTER LINE OF MARTIN STREET, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 219.71 FEET;

THENCE NORTH  $89^{\circ} 50' 30''$  WEST 22.22 FEET, TO THE NORTH LINE OF SAID MARTIN STREET, BEING ALSO THE SOUTH LINE OF SAID LOT 12; THENCE NORTH  $89^{\circ} 50' 30''$  WEST 117.25 FEET;

THENCE ALONG A TANGENT CURVE CONCAVE NORTHERLY, WITH A RADIUS OF 220 FEET, THROUGH AN ANGLE OF  $28^{\circ} 27' 54''$ , A DISTANCE OF 108.28 FEET, TO THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN INSTRUMENT NO. 11594 AND WEL RECORDED AUGUST 22, 1948 IN BOOK 1103 PAGE 183 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG SAID EASTERN LINE OF LAUREN'S PROPERTY, SOUTH  $0^{\circ} 29' 22''$  WEST (RECORDED SOUTH  $0^{\circ} 29' 22''$  EAST) 84.79 FEET, TO THE TRUE POINT OF BEGINNING;

(B) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF PATTERSON AVENUE, 44 FEET IN WIDTH, WITH THE EASTERN LINE OF WADE AVENUE, 40 FEET IN WIDTH, AS SHOWN ON SAID MAP OF PERRY'S RESUBDIVISION; SAID INTERSECTION BEING THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND HEREBYFORERE REFERRED TO AS LAUREN'S PROPERTY;

THENCE, ALONG THE NORTH LINE OF LAUREN'S PROPERTY, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 22.22 FEET, TO THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID NORTH LINE, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 86.33 FEET; THENCE NORTH  $10^{\circ} 21' 10''$  WEST 22.81 FEET, TO A POINT ON THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID EAST LINE, NORTH  $0^{\circ} 01' 20''$  WEST (RECORDED SOUTH  $0^{\circ} 01' 20''$  EAST) 238.31 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID EAST LINE, SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO THE NORTHWEST CORNER OF SAID LOT 20; ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD FEBRUARY 14, 1953 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS OF SAID COUNTY;

APN 314-170-005

THAT PORTION OF LOT 10 OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 43, RECORDS OF RIVERSIDE COUNTY, AND THAT PORTION OF THE SOUTHWEST-HALF OF PERRY STREET, AS SHOWN ON SAID MAP, DESCRIBED AS FOLLOWS:

COMMENCING AT THE CORNER INTERSECTION OF PATTERSON AVENUE AND PERRY STREET AS SHOWN ON SAID MAP; THENCE NORTH 89 DEGREES 51' 33" WEST ALONG THE CENTERLINE OF SAID PERRY STREET, A DISTANCE OF 22.80 FEET TO THE TRUE POINT OF BEGINNING;

THENCE, EASTWARD NORTH 89 DEGREES 51' 33" WEST ALONG SAID CENTERLINE, A DISTANCE OF 158.55 FEET TO THE EASTERN RIGHT-OF-WAY OF SAID HIGHWAY, 74.219.

THENCE ALONG SAID EASTERN LINE, SOUTH 77 DEGREES 25' 18" EAST, A DISTANCE OF 302.83 FEET TO THE WEST LINE OF SAID PATTERSON AVENUE, BEING ALSO THE EAST LINE OF SAID LOT 18.

THENCE NORTH 89 DEGREES 51' 33" WEST ALONG SAID WEST LINE, A DISTANCE OF 85.88 FEET TO THE SOUTHWEST CORNER OF THE NORTH 170.00 FEET OF SAID

THENCE NORTH 89 DEGREES 51' 33" WEST, PARALLEL WITH THE NORTH LINE OF SAID LOT 18, A DISTANCE OF 8.00 FEET.

THENCE NORTH 89 DEGREES 51' 33" WEST, PARALLEL WITH THE SAID WEST LINE OF PATTERSON AVENUE, A DISTANCE OF 72.00 FEET.

THENCE SOUTH 89 DEGREES 51' 33" WEST, PARALLEL WITH SAID NORTH LINE OF LOT 18, A DISTANCE OF 8.00 FEET TO SAID WEST LINE OF PATTERSON AVENUE.

THENCE NORTH 89 DEGREES 51' 33" EAST ALONG SAID WEST LINE, A DISTANCE OF 133.00 FEET TO THE TRUE POINT OF BEGINNING; TOGETHER WITH THE PORTION OF PATTERSON AVENUE, AS VACATED AND BLENDED TO PUBLIC HIGHWAY IN RECORDATION NO. 22082, RECORDED AUG 6, 1982 AS INSTRUMENT NO. 208427 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

EXCEPTING THEREFROM THAT PORTION LING EASTERLY OF THE CENTERLINE OF PATTERSON AVENUE.

**TENTATIVE PARCEL MAP 36512**  
**LEGAL DESCRIPTION**

APNs 314-170-003 AND 314-170-004

PARCELS 1 AND 3 AND LOTS B, E, F, AND G OF PARCEL MAP NO. 12,483 AS PER MAP ON FILE IN BOOK 81 OF PARCEL MAPS, AT PAGE 65, RIVERSIDE COUNTY RECORDS;

APN 314-170-005

THE NORTHWESTLY 10 ACRES OF LOTS 10 OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 43 OF MAPS, RECORDS OF RIVERSIDE COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWEST LINE OF SAID LOT 10, WHICH IS 88 FEET EASTERLY FROM THE SOUTHWEST CORNER THEREOF;

THENCE NORTH 48 FEET, THENCE EAST 50 FEET, THENCE SOUTH 40 FEET, THENCE WEST 50 FEET TO THE POINT OF BEGINNING;

APNs 314-170-010 AND 314-170-018

PARCELS 3 AND 4 AND LOTS B AND C OF PARCEL MAP NO. 12,483 AS PER MAP ON FILE IN BOOK 81 OF PARCEL MAPS, AT PAGE 65, RIVERSIDE COUNTY RECORDS;

APNs 314-180-001 AND 314-180-007

LOT 18, OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 45 OF MAPS, RIVERSIDE COUNTY RECORDS;

APN 314-180-002

LOTS 7 AND 8 IN BLOCK 7 OF VAL VERDE TRACT, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE 6 OF MAPS, RIVERSIDE COUNTY RECORDS;

EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED FROM A J. HILL DATED AUGUST 22, 1948 AND FILED FOR RECORD SEPTEMBER 18, 1958 AS INSTRUMENT NO. 82001, DESCRIBED AS FOLLOWS: A TRIM OF LAND 142 FEET IN WIDTH DESCRIBED LINE; BEGINNING AT A POINT ON THE WESTERN PROLONGATION OF THE SOUTHERLY SIDE OF THE FOLLOWING STREET, SAID POINT BEING 48 FEET FROM THE WESTERN PROLONGATION OF THE SOUTHERLY LINE OF LOT 17 OF SAID PERRY'S RESUBDIVISION, WHICH BEARS SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET FROM THE NORTHWEST CORNER OF LOT 20 OF SAID PERRY'S RESUBDIVISION;

THENCE SOUTH  $89^{\circ} 51' 57''$  WEST 248.47 FEET, TO THE NORTHWEST CORNER OF LOT 20 OF SAID PERRY'S RESUBDIVISION;

THENCE SOUTH  $89^{\circ} 51' 57''$  WEST 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO THE NORTHWEST CORNER OF SAID LOT 20; ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD FEBRUARY 14, 1953 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS OF SAID COUNTY;

APNs 314-180-010 AND 314-180-014

LOT 17 OF PERRY'S RESUBDIVISION, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE 43 OF MAPS, RIVERSIDE COUNTY RECORDS;

EXCEPTING FROM SAID LOT 17 THE SOUTHWESTLY 10.7 ACRES, ALSO EXCEPTING FROM SAID LOT 17 THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD MAY 23, 1952 AS INSTRUMENT NO. 12274, DESCRIBED AS FOLLOWS:

(A) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF MARTIN STREET, 44 FEET IN WIDTH, AS SHOWN ON SAID MAP OF PERRY'S RESUBDIVISION, WITH THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND, 40 FEET IN WIDTH, CONVEYED TO THE COUNTY OF RIVERSIDE, FOR ROAD PURPOSES BY DEED RECORDED JANUARY 22, 1983 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG THE NORTH LINE OF WADE AVENUE, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 133.41 FEET TO THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID CENTER LINE OF MARTIN STREET, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 112.41 FEET, TO THE TRUE POINT OF BEGINNING;

THENCE ALONG SAID CENTER LINE OF MARTIN STREET, SOUTH  $89^{\circ} 50' 30''$  WEST (RECORDED NORTH  $89^{\circ} 50' 30''$  EAST) 219.71 FEET;

THENCE NORTH  $89^{\circ} 50' 30''$  WEST 22.22 FEET, TO THE NORTH LINE OF SAID MARTIN STREET, BEING ALSO THE SOUTH LINE OF SAID LOT 12; THENCE NORTH  $89^{\circ} 50' 30''$  WEST 117.25 FEET;

THENCE ALONG A TANGENT CURVE CONCAVE NORTHERLY, WITH A RADIUS OF 220 FEET, THROUGH AN ANGLE OF  $28^{\circ} 27' 54''$ , A DISTANCE OF 108.28 FEET, TO THE EASTERN LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN INSTRUMENT NO. 11594 AND WEL RECORDED AUGUST 22, 1948 IN BOOK 1103 PAGE 183 OF OFFICIAL RECORDS, RIVERSIDE COUNTY RECORDS;

THENCE, ALONG SAID EASTERN LINE OF LAUREN'S PROPERTY, SOUTH  $0^{\circ} 29' 22''$  WEST (RECORDED SOUTH  $0^{\circ} 29' 22''$  EAST) 84.79 FEET, TO THE TRUE POINT OF BEGINNING;

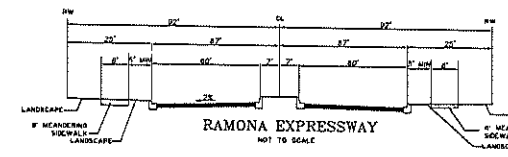
(B) COMMENCING AT THE INTERSECTION OF THE CENTER LINE OF PATTERSON AVENUE, 44 FEET IN WIDTH, WITH THE EASTERN LINE OF WADE AVENUE, 40 FEET IN WIDTH, AS SHOWN ON SAID MAP OF PERRY'S RESUBDIVISION; SAID INTERSECTION BEING THE NORTHWEST CORNER OF THAT CERTAIN PARCEL OF LAND HEREBYFORERE REFERRED TO AS LAUREN'S PROPERTY;

THENCE, ALONG THE NORTH LINE OF LAUREN'S PROPERTY, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 22.22 FEET, TO THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING;

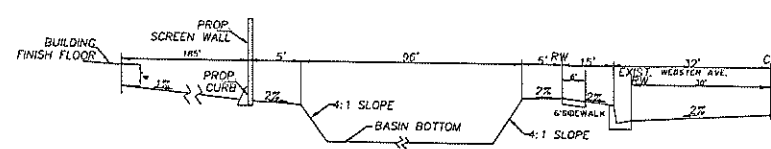
THENCE, ALONG SAID NORTH LINE, SOUTH  $89^{\circ} 48' 18''$  EAST (RECORDED NORTH  $89^{\circ} 48' 18''$  WEST) 86.33 FEET; THENCE NORTH  $10^{\circ} 21' 10''$  WEST 22.81 FEET, TO A POINT ON THE EAST LINE OF SAID PATTERSON AVENUE, THE TRUE POINT OF BEGINNING;

THENCE, ALONG SAID EAST LINE, NORTH  $0^{\circ} 01' 20''$  WEST (RECORDED SOUTH  $0^{\circ} 01' 20''$  EAST) 238.31 FEET, TO THE TRUE POINT OF BEGINNING;

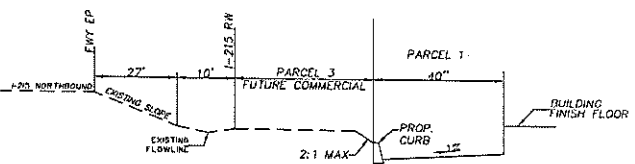
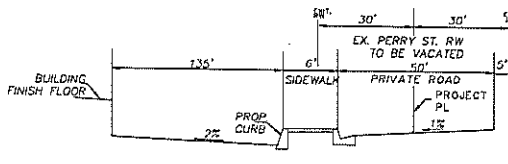
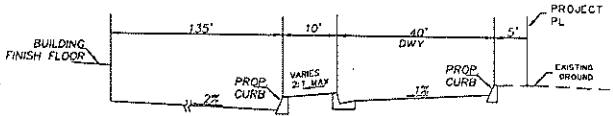
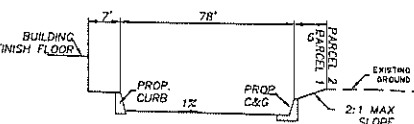
THENCE, ALONG SAID EAST LINE, SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO A POINT BEARING SOUTH  $89^{\circ} 51' 57''$  WEST (RECORDED NORTH  $89^{\circ} 51' 57''$  EAST) 248.47 FEET, TO THE NORTHWEST CORNER OF SAID LOT 20; ALSO EXCEPTING THEREFROM THOSE PORTIONS CONVEYED TO THE STATE OF CALIFORNIA BY DEED FILED FOR RECORD FEBRUARY 14, 1953 AS INSTRUMENT NO. 1963-27388 OF OFFICIAL RECORDS OF SAID COUNTY;



**TYPICAL STREET SECTION**



TPM36512  
PARCEL 1 & 2  
SECTION A-A  
NOT TO SCALE

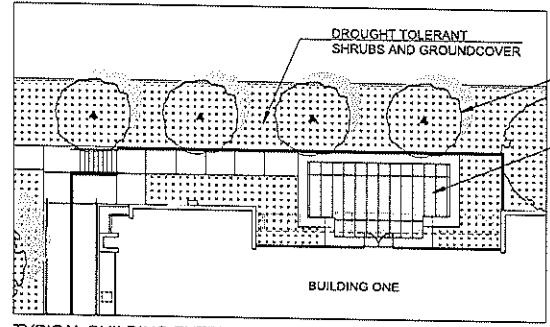
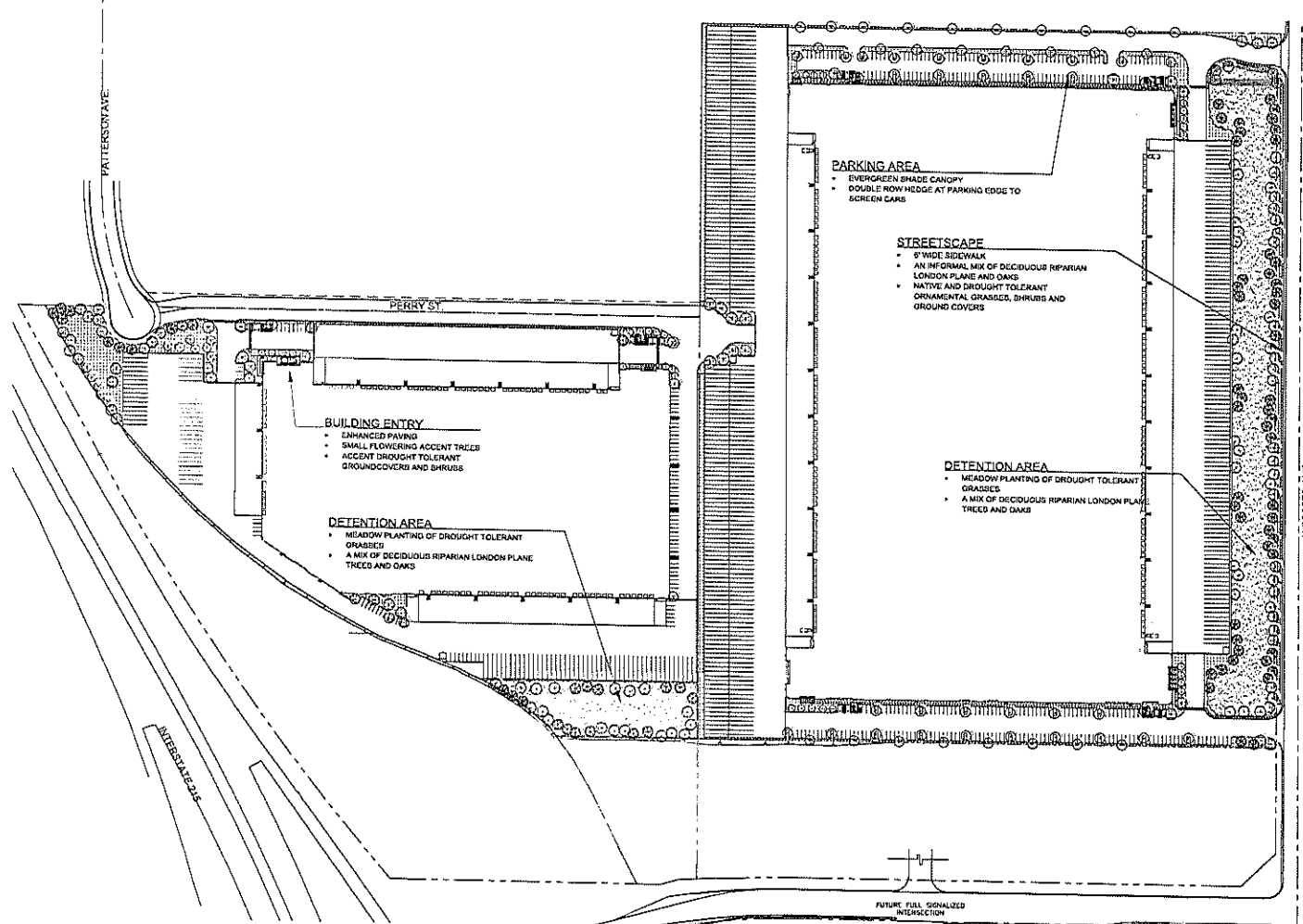


ENGINEER  
**HILC**  
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DATE	BY	REVISIONS

NOTE: SEE SHEET 1 FOR TYPICAL SECTION LOCATION

**OPTIMUS LOGISTICS CENTER**  
PRELIMINARY GRADING PLAN  
TENTATIVE PARCEL MAP 36512  
AND  
TENTATIVE PARCEL MAP 36582  
PREPARED MAY 23, 2013 SHEET 2 OF 2



TYPICAL BUILDING ENTRY  
SCALE: 1" = 10'-0"

**PROPOSED PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY.	COMMENTS	WATER USE
(Symbol)	LAGERSTRÖMIA INDICA	CAPE MYRTLE	24' B&D		16	MULCHING ENTRY ACCENT PLANTING TREES	MID
(Symbol)	NYSSA LANCEA	AFRICAN SWAMP	24' B&D		16	PARKING LOT TREES	LOW
(Symbol)	OLIVE EUROPEA	OLIVE	24' B&D		24	ENTRY ACCENT TREES	LOW
(Symbol)	QUERCUS ALBIFLORA	COAST LIVE OAK					LOW
(Symbol)	PRUNUS ELZAGARICA	MICHAEL PINE	24' B&D		24	STREET FRONTAGE TREE - EVERGREEN	LOW
(Symbol)	ACERUCALYPTUS	CHERRY FLAME TREE	24' B&D		12	FREEWAY FRONTAGE TREE - DECIDUOUS	MID
(Symbol)	PLATANUS ACEROLINA	COLUMBIA LONDON PLANE TREE	24' B&D		84	STREET FRONTAGE TREE - DECIDUOUS	MID
(Symbol)	POPULUS FRESHMANNI	FRESHMANT COTTONWOOD					MID
(Symbol)	QUERCUS TRINQUARIANA	SOUTHERN LIVE OAK	24' B&D		84	STREET FRONTAGE TREE - EVERGREEN	MID

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY.	COMMENTS	WATER USE
(Symbol)	ACACIA RETROFLEXA	PRICKLE THORN ACACIA	9 GAL.	7' P.O.C.		SHRUB GROUNDCOVER	LOW
(Symbol)	BACCHARIS P. TWAIN PLAINS	DWARF COYOTE GRASS	9 GAL.	3' P.O.C.		SHRUB GROUNDCOVER	LOW
(Symbol)	CELANANDE D. YANKEE POINT	DANIEL GREENER	9 GAL.	3' P.O.C.		FLOWERING GROUNDCOVER	LOW
(Symbol)	DIETER BRUGLIER	FORNTIGHT BUSH	9 GAL.	3' P.O.C.		FLOWERING ACCENT	MID
(Symbol)	ROODENIA VESCIOSA	HOP BUSH	9 GAL.	7' P.O.C.		LARGE EVERGREEN SHRUB	MID
(Symbol)	LANTANA	PURPLE TRAILING LANTANA	9 GAL.	30' P.O.C.		FLOWERING GROUNDCOVER	LOW
(Symbol)	LEUCOPHYLLUM P. GREENER CLUMP	TEAR WANDER	9 GAL.	4' P.O.C.		WINDSCREEN	LOW
(Symbol)	HYDRANGEA	HYDRANGEA	9 GAL.	4' P.O.C.		ORNAMENTAL SHRUB	LOW
(Symbol)	MYOPORUM	MYOPORUM	1 GAL.	30' P.O.C.		LOW EVERGREEN GROUNDCOVER	LOW
(Symbol)	MONARILLA	MONARILLA	1 GAL.	24' P.O.C.		ORNAMENTAL SHRUB	VERY LOW
(Symbol)	PINKWILLOW S. YOUNG	PURPLE FOUNTAIN OAK	9 GAL.	30' P.O.C.		ORNAMENTAL SHRUB	LOW
(Symbol)	RYTHMUS G. MOUND	LOPPEZZERRY	9 GAL.	48' P.O.C.		BACKGROUND	VERY LOW
(Symbol)	REINA	FEATHER GRASS	9 GAL.	4' P.O.C.		BACKGROUND	LOW
(Symbol)	ARTOCARPUS	ARTOCARPUS	9 GAL.	4' P.O.C.		BACKGROUND	LOW
(Symbol)	WYVARGIS	COAST ROSEMARY	9 GAL.	4' P.O.C.		SOFTENING HEDGE	LOW

NOTE: WATER USE BASED ON WUCOLS II SPECIES EVALUATION LOT 1009 FOR REGION 4.

**LANDSCAPE TABULATIONS**

DESCRIPTION	REQUIREMENT	NO. REQUIRED	NO. PROVIDED
<b>FRONTAGE TREES (1,000 L.F. FRONTAGE)</b>	1 PER 30 LINEAL FEET	33	33
<b>PARKING AREA TREES (100 STALLS)</b>	1 PER 8 STALLS	13	13
<b>30' B&amp;D PARKING TREES - 24' B&amp;D PARKING TREES</b>	30% OF TOTAL	10	10
<b>LANDSCAPE AREA (TOTAL SITE AREA - 1,000,000 SQ. FT.)</b>	1% OF SITE	264,448 SQ. FT.	264,448 SQ. FT.
<b>SHRUBS IN PLANTING AREAS (5 GALLON SHRUBS - 1 GALLON)</b>	1 PER 30 SQ. FT.	8,848	8,848
	80% OF PLANTING	7,078	7,078
<b>PARKING AREA TREES (100 STALLS)</b>	1 PER 8 STALLS	13	13
<b>30' B&amp;D PARKING TREES - 24' B&amp;D PARKING TREES</b>	30% OF TOTAL	5	5
<b>LANDSCAPE AREA (TOTAL SITE AREA - 1,000,000 SQ. FT.)</b>	1% OF SITE	93,120 SQ. FT.	93,120 SQ. FT.
<b>SHRUBS IN PLANTING AREAS (5 GALLON SHRUBS - 1 GALLON)</b>	1 PER 30 SQ. FT.	3,104	3,104
	80% OF PLANTING	2,483	2,483



16331 DUNSTON AVENUE - SUITE #100  
JURVE, CA 92012  
Tel: 949-963-1770  
Tel: 949-963-0851  
email: hpa@hpa.com



**Optimus Building Corporation**

12040 East Florence Avenue  
Santa Fe Springs, CA 90760

Tel: (562) 237-4271

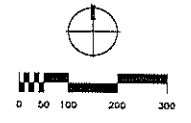
**Project:**  
Optimus Logistics Center

**Consultants:**

- STRUCTURAL
- MECHANICAL
- PLUMBING
- ELECTRICAL
- LANDSCAPE
- MILITATION
- SOLENSIENR

Title: Conceptual Landscape Plan

Project Number: 11220  
Drawn by: JW  
Date: 05/20/13  
Revision:



# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

**DATE OF HEARING:** July 11, 2013

**TIME OF HEARING:** 9:00 A.M.

### **CASE DESCRIPTION:**

ZAP1087MA13 – Optimus Building Corporation (Representative: Southwest Land Consultants, Sean Harrison) – Perris City Case No. SPA 12-10-0006 (Specific Plan Amendment) and DPR 12-10-0005 (Development Plan Review). DPR 12-10-0005 is a proposal to develop two industrial warehouse buildings with a floor area of 1,460,067 square feet on 68.48 acres located easterly of Interstate 215, northerly of Ramona Expressway, and westerly of Webster Avenue, in the City of Perris. SPA 12-10-0006 is a proposal to change the land use designation of the development area within the Perris Valley Commerce Center (PVCC) Specific Plan from “Commercial” (approximately 49 acres) and “Business Professional Office” (approximately 20 acres) to “Light Industrial.” SPA 12-10-0006 would also amend the Circulation Plan of the PVCC Specific Plan by designating the segment of Patterson Avenue northerly of the site as a Major Collector Roadway (78-foot right-of-way), deleting the segment of Patterson Avenue between Perry Street and Ramona Expressway, and deleting the segment of Perry Street within the project site. (Area II of the March Air Reserve Base Airport Influence Area.)

**FURTHER INFORMATION:** Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Kenneth Phung of the City of Perris Planning Department at (951) 943-5003.

**302-260-017**

Joel Arthur  
4303N Webster Ave  
Perris, CA 92571

**302-260-018**

Ybanag Realty & Development  
4293 N Webster Ave  
Perris, CA 92571

**302-260-022**

Casta  
425 W Rider St Ste A7  
Perris, CA 92571

**302-260-023**

Rolando Dimaandal  
4273 N Webster Ave  
Perris, CA 92571

**302-260-027**

Juan Ocegueda  
4253 N Webster Ave  
Perris, CA 92571

**302-260-028**

Blas Cruz  
9715 Bartley Ave  
Santa Fe Springs, CA 90670

**302-260-031**

Ramos Antonio Vasquez (Estate Of)  
4213 N Webster Ave  
Perris, CA 92571

**302-260-032**

Christopher Maddalena  
4203 N Webster Ave  
Perris, CA 92571

**302-260-034**

Jorge Garibay  
4193 N Webster Ave  
Perris, CA 92571

**302-260-035**

Robert Maile  
4194 Brennan Ave  
Perris, CA 92571

**302-260-036**

The Tomas Macias & Severa Macias  
4183 N Webster Ave  
Perris, CA 92571

**302-260-037**

Scott Tithof  
4182 Brennan Ave  
Perris, CA 92571

**302-260-038**

Rosa Ramos  
4173 N Webster Ave  
Perris, CA 92571

**302-260-039**

Scott Tithof  
4182 Brennan Ave  
Perris, CA 92571

**302-260-040**

Francisco Franco  
4163 N Webster Ave  
Perris, CA 92571

**302-260-042**

Denise Konye  
27325 Ocean Dunes St  
Moreno Valley, CA 92555

**302-260-043**

Alfredo Negreros  
4133 N Webster Ave  
Perris, CA 92571

**302-260-045**

David Gallo  
4113 N Webster Ave  
Perris, CA 92571

**302-260-047**

Rodolfo Herrera  
4103 N Webster Ave  
Perris, CA 92571

**302-260-062**

Juan Vera  
4212 Brennan Ave  
Perris, CA 92571

**302-260-063**

Juan Gutierrez  
4202 Brennan Ave  
Perris, CA 92571

**302-260-065**

Jacqueline Freimantale  
129 Carr Dr Apt 1  
Glendale, CA 91205

**314-120-017**

Baker Darold W (Fractional Interest)  
4161 Green Ave  
Los Alamitos, CA 90720

**314-140-026**

State Of Calif  
464 W 4Th St # 6Th  
San Bernardino, CA 92401

**314-140-027**

State Of Calif  
464 W 4Th St # 6Th  
San Bernardino, CA 92401

**314-140-032**

Riverside County Transportation  
Po Box 12008  
Riverside, CA 92502

**314-140-038**

Matthew Atkinson  
12800 Center Court Dr S Ste 300  
Cerritos, CA 90703

**314-140-039**

Matthew Atkinson  
12800 Center Court Dr S Ste 300  
Cerritos, CA 90703

**314-140-043**

Joseph Flanagan  
Po Box 968  
Perris, CA 92572

**314-140-044**

State Of Calif  
Po Box 231  
San Bernardino, CA 92402

**314-140-046**

Riverside County Transportation  
Po Box 12008  
Riverside, CA 92502

**314-140-047**

Riverside County Transportation  
Po Box 12008  
Riverside, CA 92502

**314-140-052**

At & Sf Rr  
740 Carnegie Dr  
San Bernardino, CA 92408

**314-140-056**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-170-004**

Chino Transporting Inc  
16821 Tava Ln  
Riverside, CA 92504

**314-170-005**

Yuri Mukai  
635 Irvine Ave  
Newport Beach, CA 92663

**314-170-007**

Glenn Neff  
Po Box 172  
Coleville, CA 96107

**314-170-013**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-170-014**

Swoffer Ward  
6254 Parima St  
Long Beach, CA 90803

**314-170-015**

Bradley Pope  
602 W Jonquil Rd  
Santa Ana, CA 92706

**314-170-016**

Bradley Pope  
602 W Jonquil Rd  
Santa Ana, CA 92706

**314-170-017**

Dolton Mary Dodge (Fractional)  
1 Ironwood Dr  
Newport Beach, CA 92660

**314-180-001**

Pope Bradley Clegg (Fractional)  
602 W Jonquil Rd  
Santa Ana, CA 92706

**314-180-007**

Pope Bradley Clegg (Fractional)  
602 W Jonquil Rd  
Santa Ana, CA 92706

**314-180-009**

Pope Bradley Clegg (Fractional)  
602 W Jonquil Rd  
Santa Ana, CA 92706

**314-180-010**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-180-011**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-180-013**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-180-014**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**314-290-001**

Freeway Majestic  
13191 Crossroads N Fl 6Th  
City Of Industry, CA 91746

**314-310-006**

Riverside County Transportation  
Po Box 12008  
Riverside, CA 92502

**314-310-010**

Freeway Majestic  
13191 Crossroads N Fl 5Th  
City Of Industry, CA 91746

**314-310-015**

Freeway Majestic  
13191 Crossroads N Fl 5Th  
City Of Industry, CA 91746

**314-310-016**

Freeway Majestic  
13191 Crossroads N Fl 5Th  
City Of Industry, CA 91746

**317-120-015**

Sue Ward  
6254 Parima St  
Long Beach, CA 90803

**317-120-016**

State Of Calif  
464 W 4Th St # 6Th  
San Bernardino, CA 92401

**317-120-017**

State Of Calif  
464 W 4Th St # 6Th  
San Bernardino, CA 92401

**317-120-021**

Richard Chen  
3812 E Kirkwood Ave  
Orange, CA 92869

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1087MA13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 5/30/13  
 Property Owner Optimus Building Corporation Phone Number 562-237-4071  
 Mailing Address 12040 East Florence Avenue  
Santa Fe Springs, CA 90670

Agent (if any) Southwest Land Consultants (Sean Harris) Phone Number 619-922-0400  
 Mailing Address 4216 Vista Street  
San Diego, CA 92116

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address 1209 Perry St  
Perris, CA 92570  
 Assessor's Parcel No. see attached Parcel Size 88.25 acres  
 Subdivision Name see attached Zoning Commercial Business  
 Lot Number see attached Classification Commercial Business

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) vacant Property is current vacant farmland used for non irrigated farming. It is designated for Commercial Retail and Business Offices uses.

Proposed Land Use (describe) See attached Site Plan. 2 Buildings equaling 1,463,387 sq ft of high cube log. stvs warehouse on 68.48 acres leaving 3 southern parcels equaling 9.1 acres, 9.6 acres of Commercial/Retail which is the current land use and a remainder 1.6 acres for the Midpoint Parking

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 0  
 For Other Land Uses Hours of Use 24 hours  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 39 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1430 / 1508 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe \_\_\_\_\_

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	<u>5-30-13</u>	Type of Project	<input type="checkbox"/> General Plan Amendment
Agency Name	<u>City of Perris</u>		<input type="checkbox"/> Zoning Amendment or Variance
Staff Contact	<u>Kenneth Aung</u>		<input type="checkbox"/> Subdivision Approval
Phone Number			<input type="checkbox"/> Use Permit
Agency's Project No.	<u>SPA-12-10-0006</u> <u>DPR-12-10-0005</u>		<input type="checkbox"/> Public Facility
			<input type="checkbox"/> Other _____

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe: _____
--------------------	-----------------

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.3

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1018CH13 – Providence Archibald, LLC  
(Representative: Albert A. Webb Associates, Sandy Chandler)

**APPROVING JURISDICTION:** City of Eastvale

**JURISDICTION CASE NO.:** 12-0750 (Development Plan Review), PM35865 (Parcel Map)

**MAJOR ISSUES:** The square footage of office areas is increased in relation to the previously approved design. Intensities based on the anticipated uses (as specified on the site plan as submitted) within certain buildings may exceed the single-acre intensity for Compatibility Zone C of 150 persons. Single-acre intensity limits may only be met with reductions in office and manufacturing areas and larger proportions of storage or warehousing areas, in comparison to the numbers proposed on the site plan. Staff has advised the applicant of the limitations proposed herein, and is requesting an amended site plan that corresponds to the reallocation of use within the buildings.

In addition, the open area required for Zones C and D (7.06 and 1.63 acres, respectively) will be provided as indicated on the open area exhibit provided by the applicant. Within Zone C, the exact amount of 7.06 acres of open area is provided, while within Zone D 1.87 acres of open area is provided for a total of 8.93 acres across the site. While the designated areas will be kept clear of all structures and other obstructions greater than four feet in height and four inches in diameter, some of the designated open areas will include parking areas and break areas. However, the applicant has indicated that these areas will not include any feature that would conflict with the four foot height and four inch diameter threshold. These requirements are laid out in proposed conditions 7, 8, and 9.

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**RECOMMENDATION:** Provided that the amended site plan is provided to staff and found acceptable prior to the hearing, staff recommends that the proposed project be found CONSISTENT with the 2008 Chino Airport Land Use Compatibility Plan, subject to the conditions included herein. If the amended site plan has not been received and found acceptable, a continuance to August 15 will be necessary.

**PROJECT DESCRIPTION:** Development Plan Review Case No. 12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels (one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel). Size of each building ranges



between 10,600 square feet to 254,810 square feet with anticipated uses primarily consisting of office, manufacturing and storage and potential retail use in building 4 and medical office use in building 5.

**PROJECT LOCATION:** The site is located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale, approximately 6,900 feet easterly of the easterly terminus of Runway 8R-26L at Chino Airport.

**LAND USE PLAN:** 2008 Chino Airport Land Use Compatibility Plan

- a. Airport Influence Area: Chino Airport
- b. Land Use Policy: Airport Compatibility Zones C and D
- c. Noise Levels: Primarily beyond the 55 CNEL contour ; 55-60 CNEL in the northwesterly portion of the property

**ANALYSIS:**

Prior ALUC Decision: ALUC had previously found a similar industrial project consistent on the property pursuant to ZAP1011CH08 on December 11, 2008. The project was previously designed as 14 buildings with a total building area of 738,432 square feet, with individual buildings ranging from 12,638 square feet to 91,784 square feet in gross floor area. Pursuant to the prior conditions, limitations on the maximum amount of office in certain buildings were included for the purpose of limiting single-acre intensities. This permit has subsequently expired with the City of Eastvale, and the applicant has submitted a new, redesigned project as described above. Single-acre intensity issues have been raised by staff, primarily as a result of the increased square footage of office uses.

Nonresidential Average Intensity: The site is located in Airport Compatibility Zones C and D, with the majority of the buildings located entirely or mostly within Zone C, excluding building 12 which is located entirely within Zone D and buildings 10 and 11 which are located mostly within Zone D. Nonresidential intensity in Airport Zones C and D is restricted to an average of 75 and 150 persons per acre, respectively. The "Building Code Method" for calculating intensity utilizes "minimum floor area per occupant" criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the intensity of office areas has been determined to be one person per 100 square feet. However, Appendix C recommends that, for calculation of intensity levels, the Building Code occupancy levels be reduced by 50 percent, at least for office uses. In addition, the Chino Airport Land Use Compatibility Plan provides for retail uses, not including restaurants or other high intensity uses, to be calculated at an intensity of one person per 115 square feet instead of one person per 30 square feet as prescribed by the Building Code.

Based on these building intensity rates, the 12 buildings are anticipated to accommodate a total of

2,924 people based on the anticipated distribution of office, manufacturing, storage, and retail uses indicated on the site plan submitted. To determine the average intensity, we divide by the gross acreage of 53.37, which equals the property area, plus the area included in the half-widths of adjoining streets. While the net acreage of the proposed parcels combined is only 39.32 acres, the adjacent half-widths bring the gross area of the parcel to 53.37 acres, according to the submitted plans. When this gross area is taken into account, an average intensity of 55 people is estimated, which is consistent with both the Zone C and D average acre intensity criteria.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the number of parking spaces provided (1,261 standard vehicle spaces and 51 loading spaces), the total occupancy would be estimated at 1,968 people for an average acre intensity of approximately 37, which is also consistent with both the Zone C and D average acre intensity criteria.

Non-Residential Single-Acre Intensity: As previously noted, the project is located in Airport Compatibility Zones C and D, with the majority of the buildings located entirely or mostly within Zone C, excluding building 12, which is located entirely within Zone D, and buildings 10 and 11, which are located mostly within Zone D. Non-residential intensity in Airport Compatibility Zones C and D is restricted to 150 and 450, respectively, in any given single-acre pursuant to the Chino Airport Land Use Compatibility Plan. Since end uses and floor plans are not specifically known, analysis of anticipated uses assumes a worst case scenario of the maximum amount of office, then the maximum amount of manufacturing that could fit within any given single-acre area (210 foot by 210 foot area) utilizing the anticipated area for each use in each building as indicated by the site plan provided. In addition, utilization of the 210 foot by 210 foot area within certain individual buildings actually overlap into adjacent buildings (buildings 6, 7, 8, 9, and 10). So, analysis of single-acre intensity for each of these certain buildings actually accounts partially for the uses within the adjacent buildings. Buildings 10 and 11, although only located partially within Zone C, were evaluated pursuant to the criteria for Zone C.

Based on this methodology and the Building Code method with utilization of the 50% reduction for office uses, buildings 1A/1B, 2, 5, 6, 7, 8, 9, 10, and 11 could potentially exceed the single-acre criteria of 150 persons. Staff made calculations as to maximum limits of office and manufacturing square footage for each building (with the remainder of the area within the building to be utilized as storage areas) that would not exceed the single-acre criteria as follows:

- Building 1A/1B – office 3,500 square feet, manufacturing 4,500 square feet
- Building 2 – office 2,000 square feet, manufacturing 4,000 square feet
- Building 5 – office 22,000 square feet
- Building 6 – office 1,500 square feet, manufacturing 3,500 square feet
- Building 7 – office 1,500 square feet, manufacturing 3,500 square feet
- Building 8 – office 1,500 square feet, manufacturing 3,500 square feet

- Building 9 – office 1,500 square feet, manufacturing 3,500 square feet
- Building 10 – office 2,500 square feet, manufacturing 8,500 square feet
- Building 11 – office 2,500 square feet, manufacturing 7,000 square feet

Staff has included a condition that any uses that occupy these buildings that exceed these limits be subject to an amended Development Review Plan approval and consultation with ALUC to verify that the building and the overall development continue to comply with the single-acre criteria. The condition allows Buildings 3, 4, and 12 to be developed and occupied in accordance with the square footage allocations proposed on the site plan submitted in May.

Reallocation of uses within the buildings in this manner would involve a reduction of 33,600 square feet of office area, including reductions of 11,600 square feet in Building 5 and 10,500 square feet in Building 1A/1B. The reductions in office areas within Buildings 1A/1B, 2, and 6 through 11 would in each of these cases negate the second floor office areas proposed on the site plan.

Risk Reduction Bonus: The proposed buildings may include design components that would allow consideration of a risk reduction bonus. If such design components are included and a risk reduction bonus is considered by the City of Eastvale, the previously noted maximums for each use and those noted in the following conditions may be increased to account for the potentially granted risk reduction bonus, which cannot exceed 30 percent.

Open Area: 20% open area is required within Compatibility Zone C and 10% open area is required within Compatibility Zone D. The adjusted site gross area, excluding only those portions dedicated for Archibald Avenue and Limonite Avenue, is 51.58 acres. Based on this acreage (split between 35.31 acres within Zone C and 16.27 acres within Zone D), a total of 8.69 acres of open area is required. As indicated on the submitted Open Space Area exhibit, the proposed project provides a total of 8.93 acres of open area (areas a minimum of 75'x 300') within the internal private road, drive aisles, and parking areas.

Noise: The northwest portion of the site is located partially within an area that is projected in the 2008 Chino Airport Land Use Compatibility Plan to ultimately be subject to average aircraft noise levels between 55 and 60 CNEL. The remainder of the site falls below the 55 CNEL level. Typical construction design would allow for an exterior to interior noise reduction of at least 20 dbA. Interior noise levels would likely not exceed 40 CNEL for the anticipated industrial and office uses within the proposed buildings. No special noise mitigation measures will be required to reduce interior noise levels from aircraft operations.

PART 77: The elevation of Runway 8R-26L at its easterly terminus (the nearest point to the site) is 636.5 feet above mean sea level (AMSL). At an approximate distance of 6,900 feet from the runway, any building with an elevation at top of roof exceeding 705.5 feet AMSL would require Federal Aviation Administration (FAA) Obstruction Evaluation Service notice and review through the Form 7460-1 process. According to the proposed Parcel Map, the highest pad elevation is 637.9 feet AMSL (building 4). The proposed buildings will not exceed a height of 36 feet above ground

level for a total maximum height of 673.9 feet AMSL. Therefore, Obstruction Evaluation is not required.

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light, or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Within Compatibility Zone C: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight.

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  - (f) Within Compatibility Zone D: highly noise-sensitive outdoor non-residential uses, and hazards to flight.
3. The City of Eastvale shall either prohibit the following uses, or shall require additional review by the Airport Land Use Commission prior to the establishment of any of the following uses in any of the structures proposed through this Development Plan Review:

Auction rooms, auditoriums, bowling alleys, churches and chapels, classrooms, conference rooms, restaurant serving area (dining areas and areas open to public use, other than corridors and restrooms), dance floors, drinking establishments, exhibit rooms,

gaming, gymnasiums, lodge rooms, lounges, reviewing stands, skating rinks, stages, swimming pools, and other uses that would be considered to have an occupancy level greater than one person per 30 square feet (minimum square feet per occupant less than 30) pursuant to California Building Code (1998) Table 10-A.

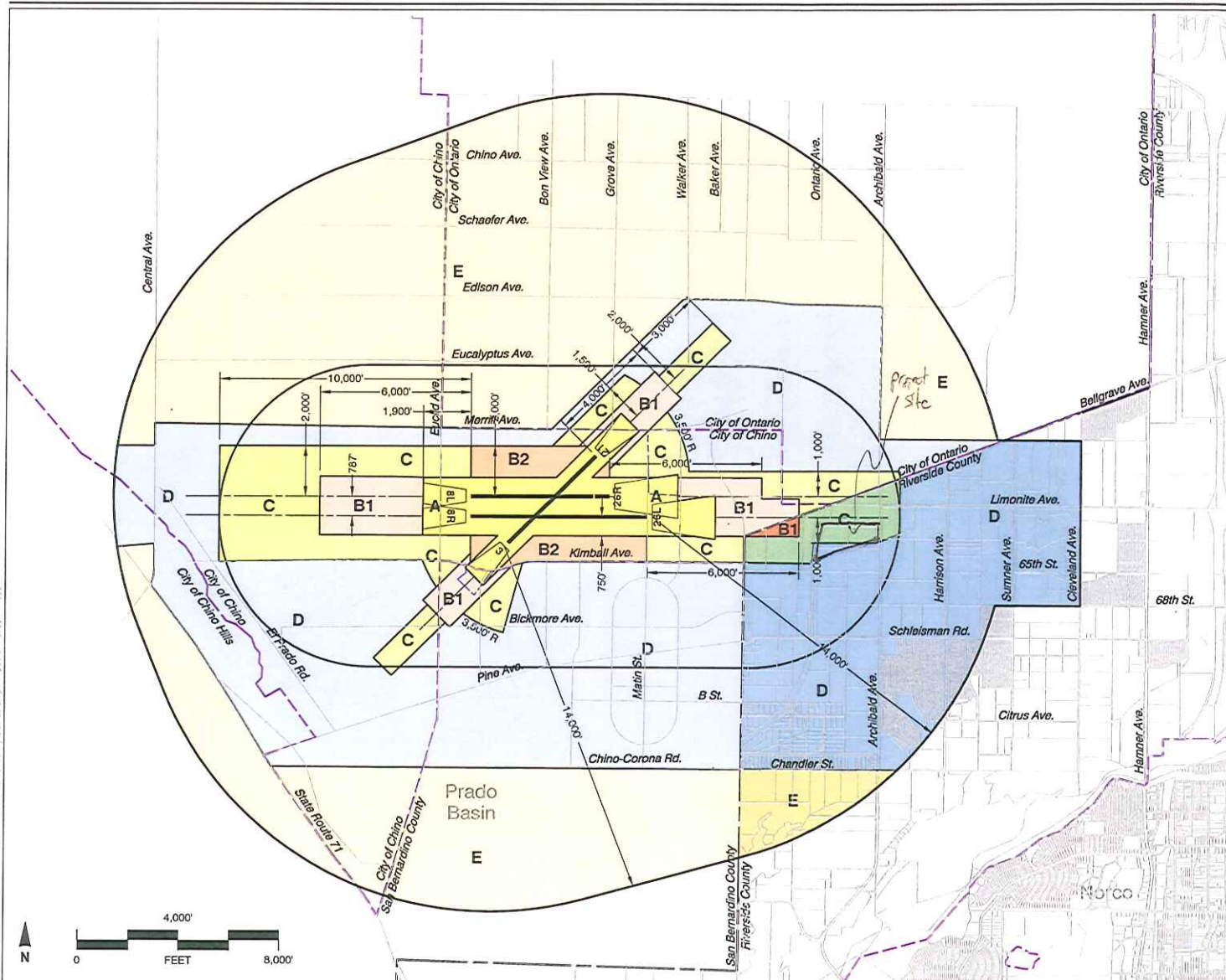
4. The attached notice shall be provided to all potential purchasers of the property and all potential tenants of the buildings, and shall be recorded as a deed notice.
5. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
6. The site plan as submitted to ALUC in May 2013 shall be revised to indicate maximum square footages of office and manufacturing uses as specified below. Any proposed tenant/use or combination of proposed and existing tenants/uses within each of the buildings that exceed the following area for each specific use through any building permit or tenant improvement permit shall require an amended Development Review Plan approval and consultation with ALUC to verify that the building and the overall development continue to comply with the applicable single-acre criteria. Proposed uses that do not exceed these maximums (other than those uses previously noted in Condition 3) shall not require further Airport Land Use Commission review.
  - Building 1A/1B – office 3,500 square feet, manufacturing 4,500 square feet
  - Building 2 – office 2,000 square feet, manufacturing 4,000 square feet
  - Building 3 – office 3,500 square feet, manufacturing 5,775 square feet
  - Building 4 – office or retail 10,600 square feet
  - Building 5 – office 22,000 square feet
  - Building 6 – office 1,500 square feet, manufacturing 3,500 square feet
  - Building 7 – office 1,500 square feet, manufacturing 3,500 square feet
  - Building 8 – office 1,500 square feet, manufacturing 3,500 square feet
  - Building 9 – office 1,500 square feet, manufacturing 3,500 square feet
  - Building 10 – office 2,500 square feet, manufacturing 8,500 square feet
  - Building 11 – office 2,500 square feet, manufacturing 7,000 square feet
  - Building 12 – office 4,500 square feet, manufacturing 20,200 square feet
7. A minimum of 8.69 acres of open areas as defined by Countywide Policy 4.2.4 of the 2004 Riverside County Airport Land Use Compatibility Plan shall be provided on-site (inclusive of the 78-foot industrial collector roadways), of which not less than 7.06 acres shall be located within the portion of the site within Compatibility Zone C. Such open areas, including the 78-foot private roadway, shall have a minimum width of 75 feet and a

minimum length of 300 feet, and shall not be obstructed by walls, trash enclosures, large trees or poles (light poles or other) greater than 4 inches in diameter at a height greater than 4 feet, or overhead wires. Trees or poles less than 4 inches in diameter at a height greater than 4 feet would be allowed within the designated open area.

8. A minimum width of 75 feet by a minimum length of 300 feet, within the 78-foot roadway, shall not permit parking on these roadways or trees or poles greater than 4 inches in diameter at a height greater than 4 feet.
9. The open areas exhibit submitted to the Airport Land Use Commission by Albert A. Webb and Associates and included in this packet depicts area within parking, building frontage, and loading areas as meeting open area requirements. All uses within these areas, such as landscaped planters, bike racks, focal points, and break areas, shall comply with the requirements of Policy 4.2.4 as referenced above. Walls, trash enclosures, and trees and light fixtures greater than 4 inches in diameter at a height greater than 4 feet shall not be permitted in these areas.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary\*
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- - - City Limits
- - - County Line

**Note**

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

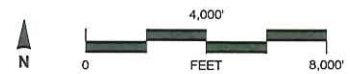
See Chapter 2, Table 2A, and the Additional Compatibility Policies for Chino Airport for compatibility criteria associated with this map.

\*The policies in this plan apply only to the portions of the airport influence area lying within Riverside County. Compatibility Zones in San Bernardino County are shown only to provide context for the Riverside County area.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
 (Adopted September 2008)

Map CH-1

**Compatibility Map**  
 Chino Airport



Source: Moad & Hunt (June 2008)



RIVERSIDE COUNTY GIS



Selected parcel(s):  
 144-010-002 144-010-033 144-010-037 144-010-038

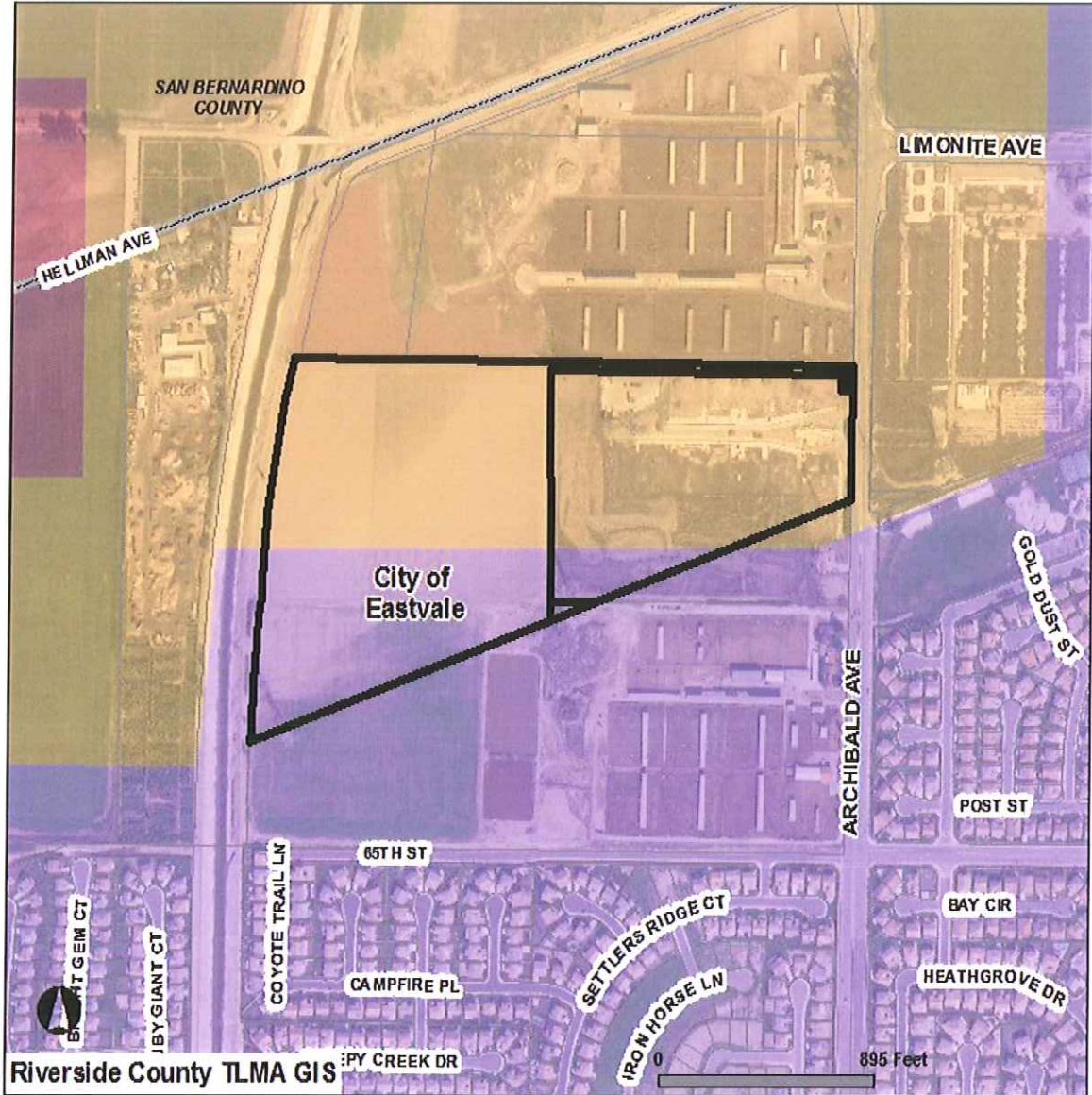
AIRPORTS

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- PARCELS
- AIRPORT INFLUENCE AREAS
- COMPATIBILITY ZONE B1
- COMPATIBILITY ZONE C
- COMPATIBILITY ZONE D

**\*IMPORTANT\***  
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jun 06 16:29:27 2013  
 Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):  
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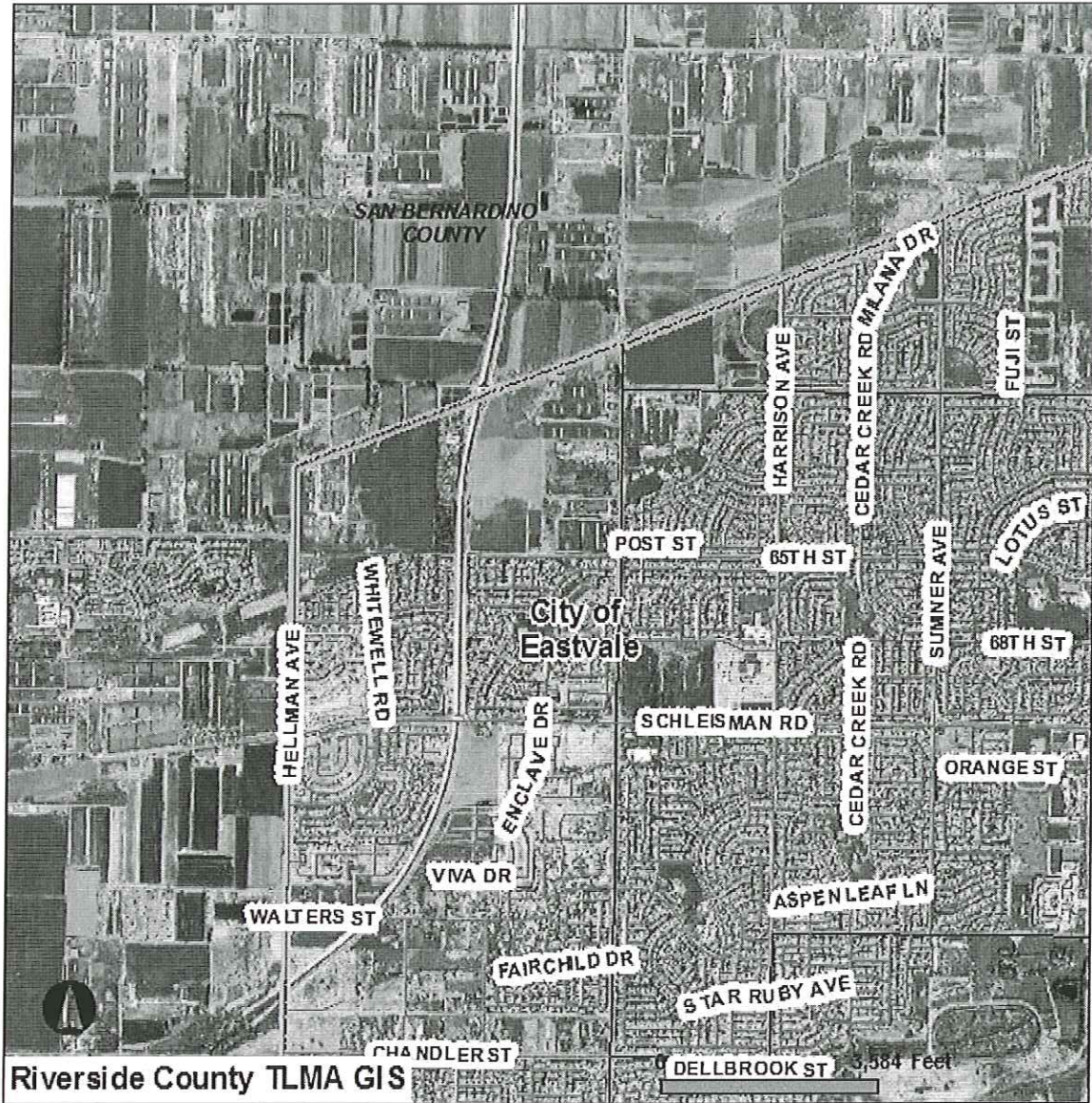
AIRPORTS

- - 
  - 
  -
- SELECTED PARCEL
  INTERSTATES
  HIGHWAYS
  PARCELS
- AIRPORT INFLUENCE AREAS
  COMPATIBILITY ZONE B1
  COMPATIBILITY ZONE C
  COMPATIBILITY ZONE D

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 Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

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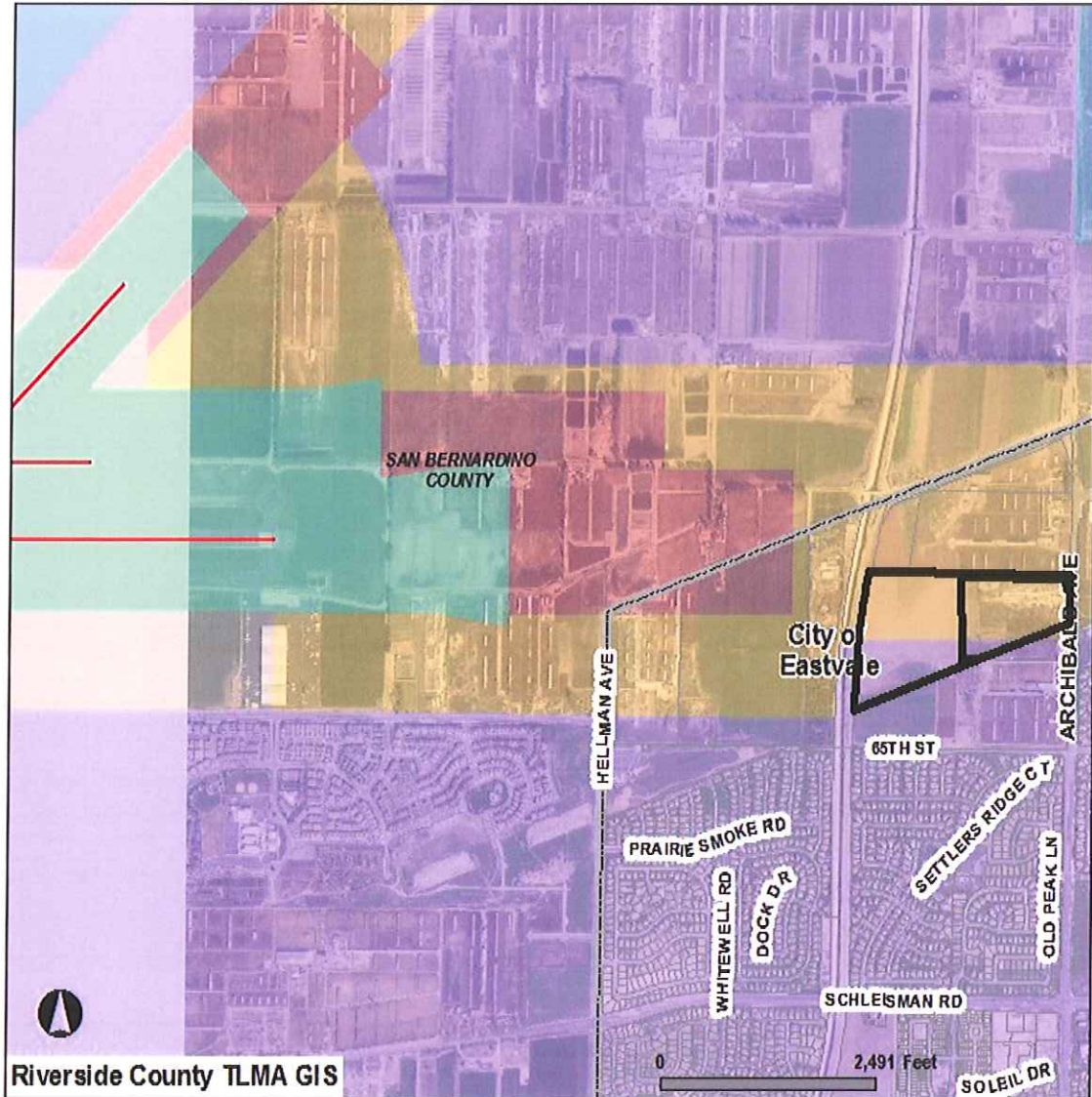
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Riverside County TLMA GIS

Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

AIRPORTS

- |                         |                      |                       |                       |
|-------------------------|----------------------|-----------------------|-----------------------|
| SELECTED PARCEL         | INTERSTATES          | HIGHWAYS              | PARCELS               |
| AIRPORT INFLUENCE AREAS | COMPATIBILITY ZONE A | COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 |
| COMPATIBILITY ZONE C    | COMPATIBILITY ZONE D | COMPATIBILITY ZONE E  |                       |

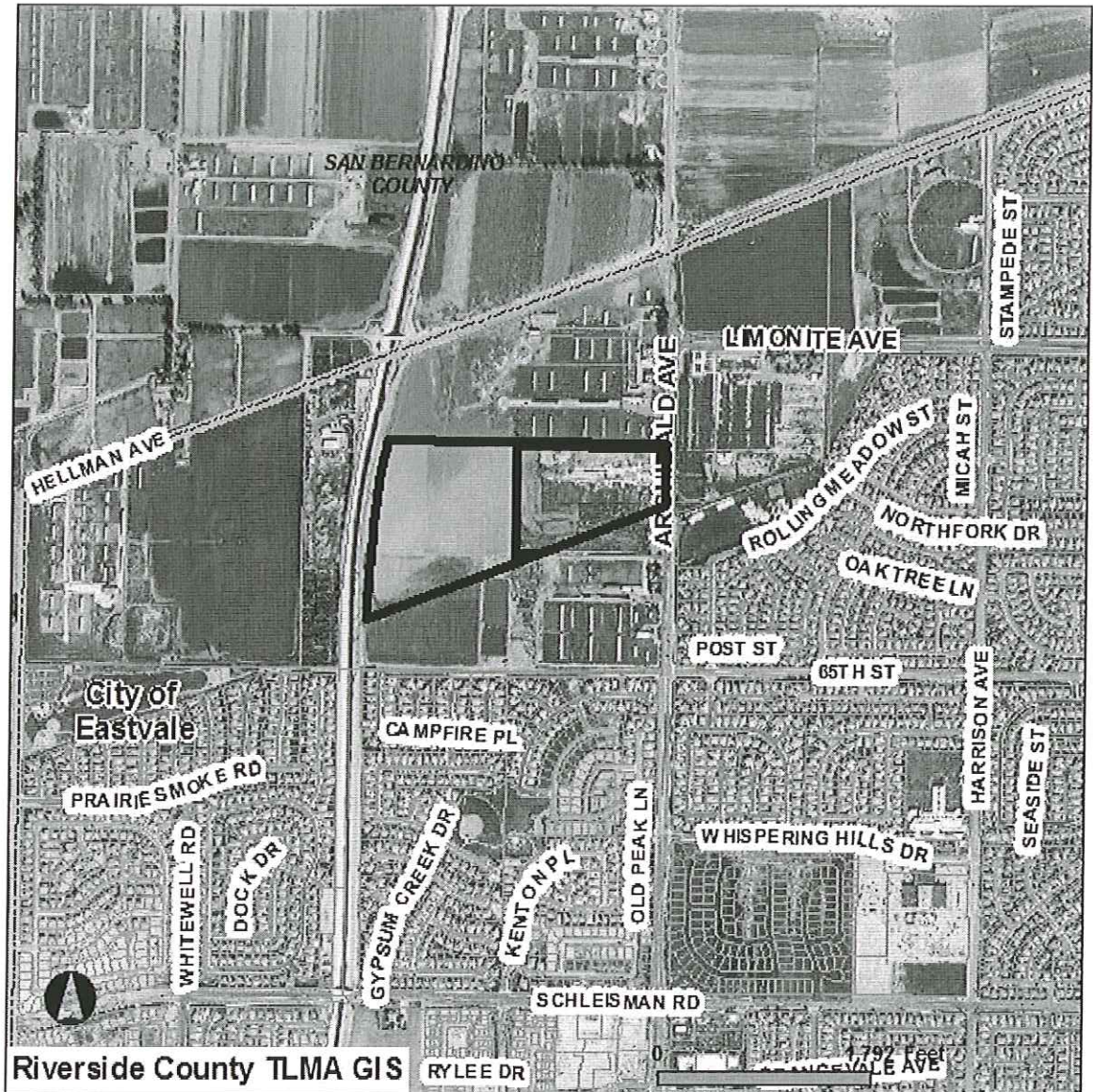
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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

LEGEND

- SELECTED PARCEL
- CITY
- N INTERSTATES
- M HIGHWAYS
- PARCELS

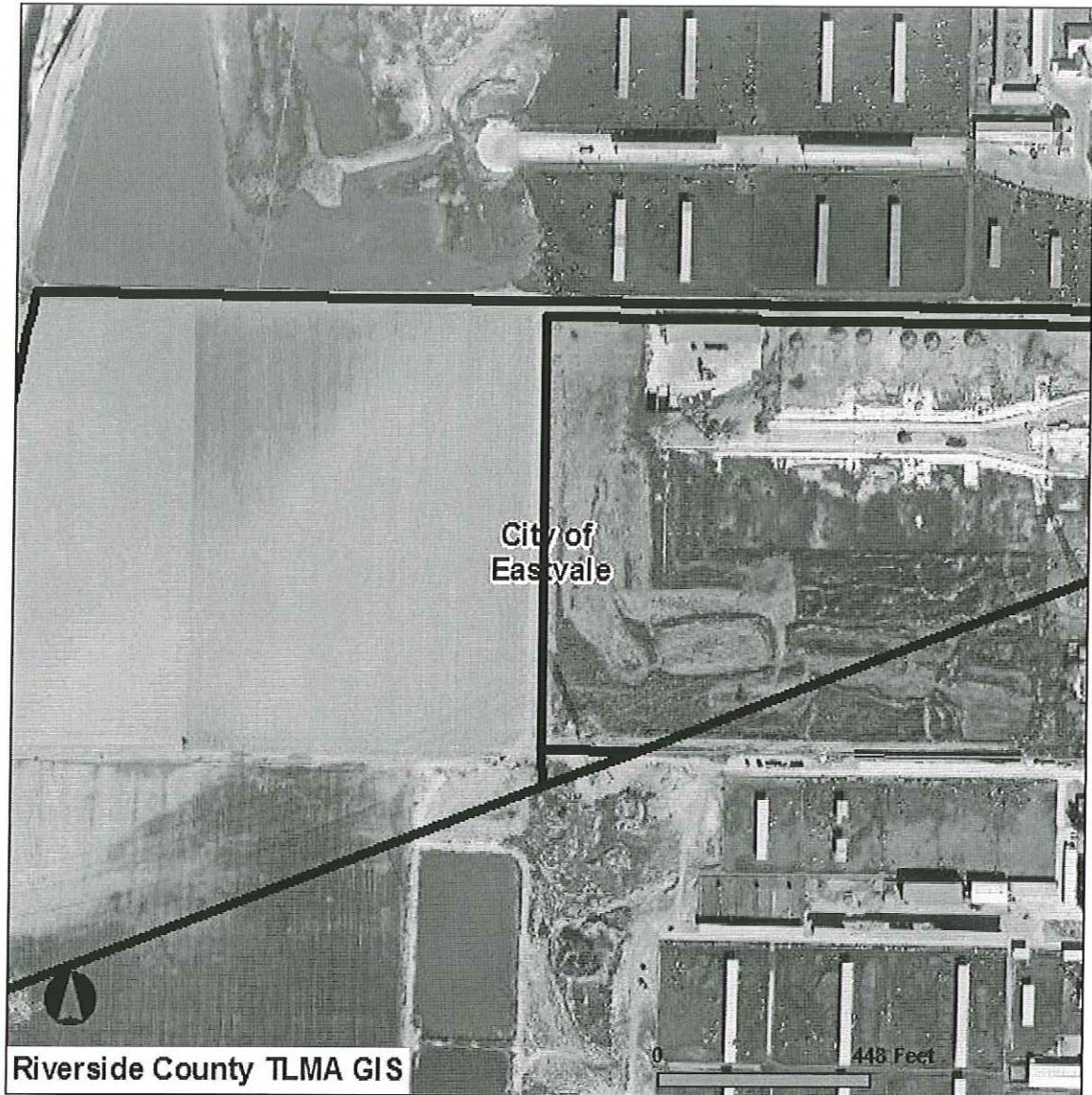
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Version 130523

RIVERSIDE COUNTY GIS



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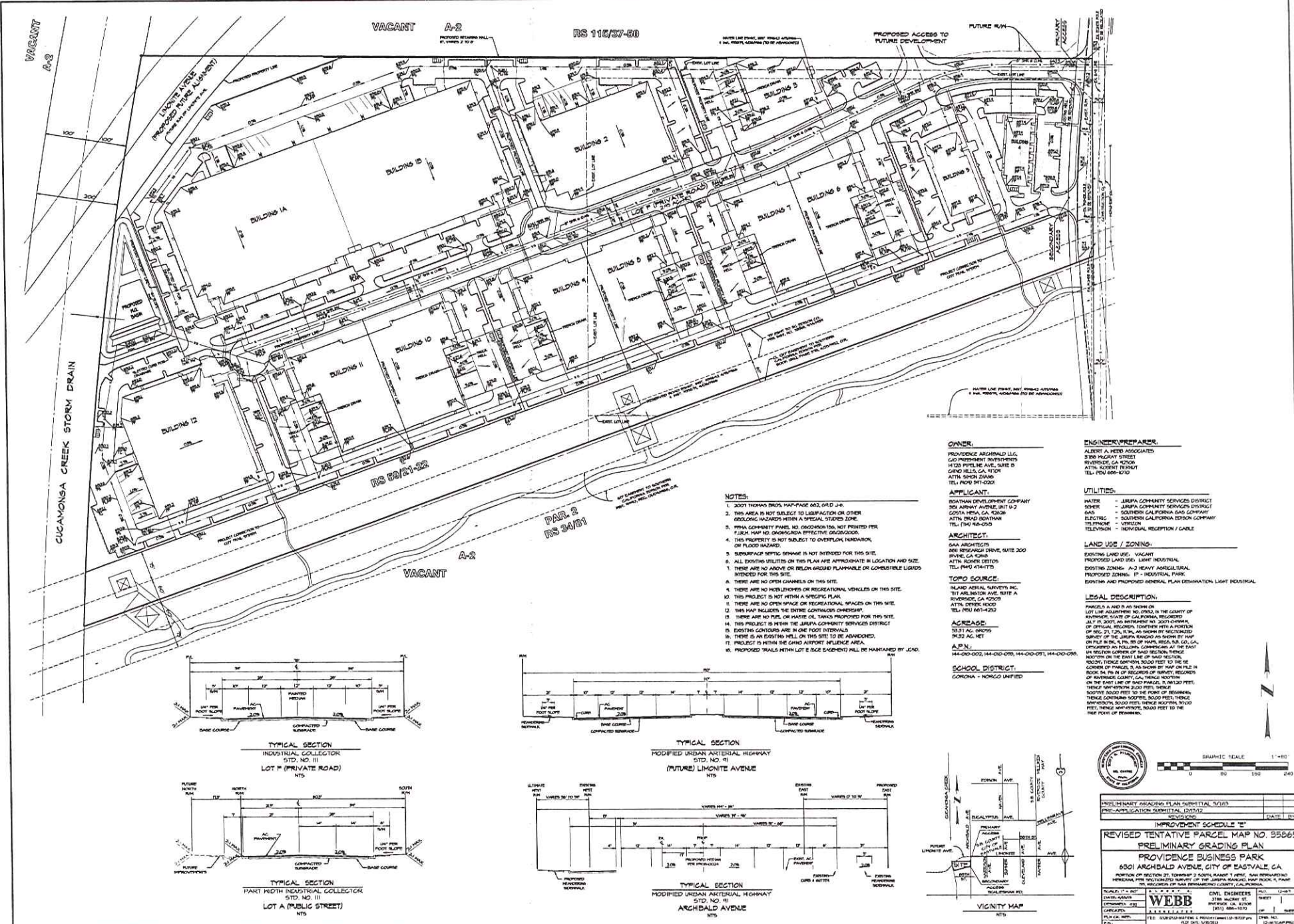
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Version 130523



- NOTES:**
1. 2007 TRUMAN DRIVE, WALLFACE AND GRID 204.
  2. THIS AREA IS NOT SUBJECT TO LIQUIDATION OR OTHER GEOLGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
  3. WPAI COMMUNITY PLAN, NO. 000000000, NOT PRINTED PER PLUM, HAS NO OPERATIONAL EFFECTIVE DATE.
  4. THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
  5. SUBSURFACE SEPTIC SERVICE IS NOT INTENDED FOR THIS SITE.
  6. ALL EXISTING UTILITIES ON THIS PLAN ARE APPROPRIATE IN LOCATION AND SIZE.
  7. THERE ARE NO ABOVE OR BELOW GROUND PLUMBABLE OR CONVEYABLE LIQUIDS INTENDED FOR THIS SITE.
  8. THERE ARE NO OPEN CHANNELS ON THIS SITE.
  9. THERE ARE NO HOV/BOULEVARDS OR RECREATIONAL VEHICLES ON THIS SITE.
  10. THIS PROJECT IS NOT WITHIN A SPECIFIC PLAN.
  11. THERE ARE NO OPEN SPACES OR RECREATIONAL SPACES ON THIS SITE.
  12. THIS PLAN INCLUDES THE ENTIRE CONTRACTED OVERSIGHT.
  13. THERE ARE NO FUEL OR FLAMMABLE OIL TANKS PROPOSED FOR THIS SITE.
  14. THIS PROJECT IS WITHIN THE JUPITA COMMUNITY SERVICES DISTRICT.
  15. EXISTING CONDITIONS ARE IN ONE FOOT INTERVALS.
  16. THERE IS AN EXISTING HELL ON THIS SITE TO BE ABANDONED.
  17. PROJECT IS WITHIN THE GRAND AIRPORT WILDLIFE AREA.
  18. PROPOSED TRAILS WITHIN LOT & EDGE EASEMENTS WILL BE MAINTAINED BY JC&O.

**OWNER:**  
 PROVIDENCE ARCHIBALD LLC  
 620 INDEPENDENT INVESTMENTS  
 1123 PINEHURST AVE., SUITE D  
 GARDEN HILLS, CA 92548  
 ATTN: ROBERT BENNETT  
 TEL: 909 686-1070

**ENGINEER/PREPARER:**  
 ALBERT A. WEBB ASSOCIATES  
 3106 MAGAZIN STREET  
 RIVERSIDE, CA 92504  
 ATTN: ROBERT BENNETT  
 TEL: 909 686-1070

**UTILITIES:**  
 WATER - JUPITA COMMUNITY SERVICES DISTRICT  
 SEWER - JUPITA COMMUNITY SERVICES DISTRICT  
 GAS - SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTRIC - SOUTHERN CALIFORNIA Edison COMPANY  
 TELEPHONE - VERIZON  
 TELEVISION - INDIVIDUAL RECEPTION / CABLE

**APPLICANT:**  
 BOATHAN DEVELOPMENT COMPANY  
 306 AIRWAY AVENUE, UNIT G-2  
 COSTA MESA, CA 92626  
 ATTN: BRAD BOATHAN  
 TEL: 714 940-0000

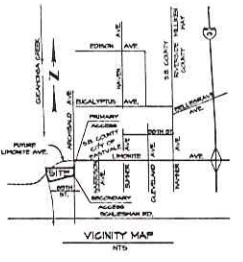
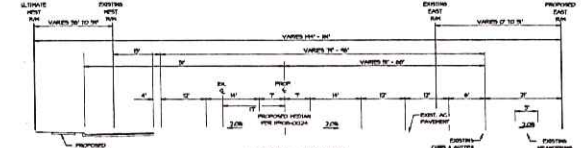
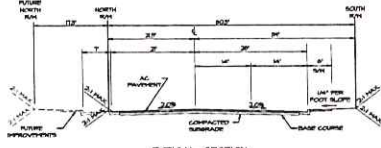
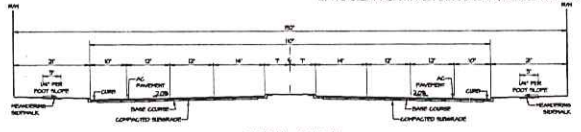
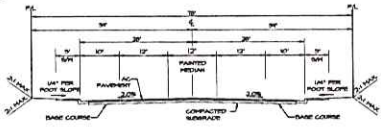
**ARCHITECT:**  
 SAA ARCHITECTS  
 801 BREAERIDGE DRIVE, SUITE 300  
 IRVINE, CA 92618  
 ATTN: ROGER DETTON  
 TEL: 949 447-1100

**TOPO SOURCE:**  
 INLAND AERIAL SURVEYS INC.  
 111 ARLINGTON AVE. SUITE A  
 RIVERSIDE, CA 92504  
 ATTN: CHRIS HOOVER  
 TEL: 951 941-1000

**ACREAGE:**  
 28.1 AC. (CIVIC)  
 28.12 AC. NET

**APN:**  
 44-010-021, 44-010-022, 44-010-023, 44-010-024

**SCHOOL DISTRICT:**  
 GORHAM - HONGKONG UNIFIED

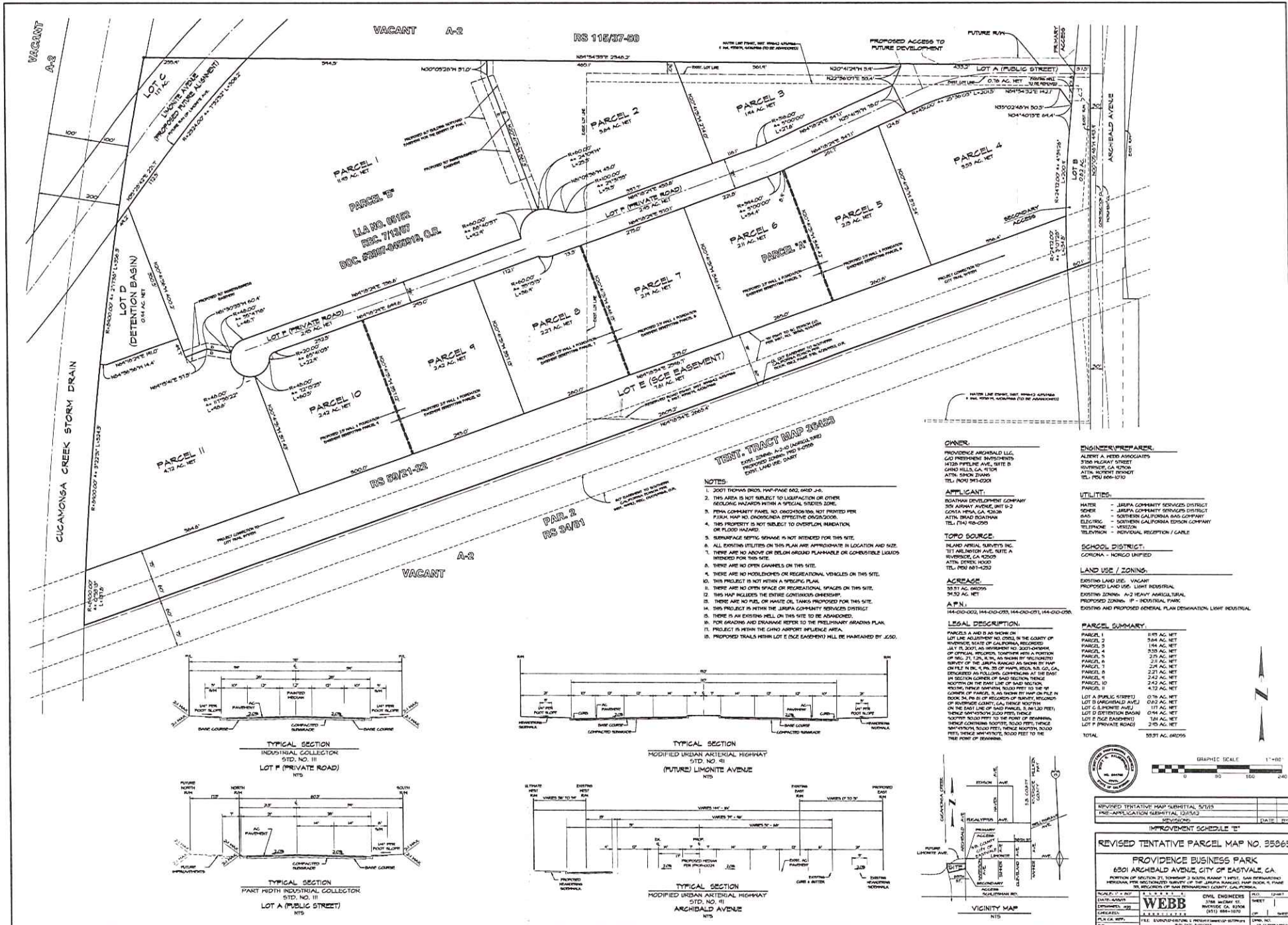


PRELIMINARY GRADING PLAN (SURVEILLANT) NTS  
 PRE-APPLICATION SUBMITTAL (DRAFT)  
 DATE: 11/21/2017

IMPROVEMENT SCHEDULE "B"  
 REVISED TENTATIVE PARCEL MAP NO. 95065  
 PRELIMINARY GRADING PLAN  
 PROVIDENCE BUSINESS PARK  
 620 ARCHIBALD AVENUE, CITY OF EASTVALE, CA  
 PORTION OF SECTION 21, TOWNSHIP 2 NORTH, RANGE 1 WEST, SAN BERNARDINO COUNTY, CALIFORNIA

PREPARED BY: J. J. WEBB & ASSOCIATES, CIVIL ENGINEERS, 3106 MAGAZIN STREET, RIVERSIDE, CA 92504  
 CHECKED BY: J. J. WEBB, CIVIL ENGINEER, 3106 MAGAZIN STREET, RIVERSIDE, CA 92504  
 DATE: 11/21/2017





**OWNER:**  
PROVIDENCE ARCHIBALD LLC  
601 ARCHIBALD AVENUE, SUITE B  
KATY, TEXAS 77450  
TEL: 281-468-0008

**ENGINEER/PREPARER:**  
ALBERT A. WEBB ASSOCIATES  
3700 KILPATRICK STREET  
KATY, TEXAS 77450  
TEL: 281-468-0008

**APPLICANT:**  
BOATHAM DEVELOPMENT COMPANY  
308 ARROYO AVENUE, SUITE 203  
COSTA MESA, CA 92626  
ATTN: BRAD BOATHAM  
TEL: 714-448-0919

**UTILITIES:**  
WATER - JARPA COMPANY SERVICES DISTRICT  
SEWER - JARPA COMPANY SERVICES DISTRICT  
ELECTRIC - SOUTHERN CALIFORNIA GAS COMPANY  
TELEVISION - SOUTHERN CALIFORNIA GAS COMPANY  
TELEPHONE - SOUTHERN CALIFORNIA GAS COMPANY  
TELEVISION - INDIVIDUAL RECEIPTS / CABLE

**TOPO SOURCE:**  
BLAND AERIAL SURVEYS INC.  
711 ARBOR AVENUE, SUITE A  
RIVERSIDE, CA 92507  
ATTN: DEREK HOGG  
TEL: 951-887-0002

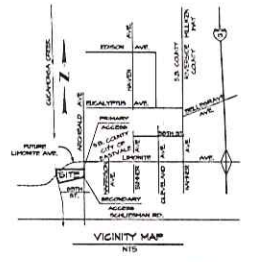
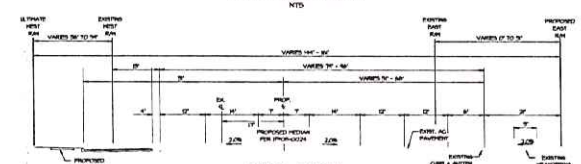
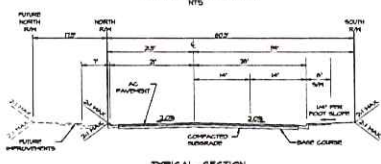
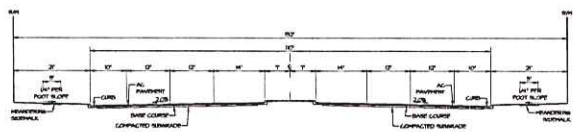
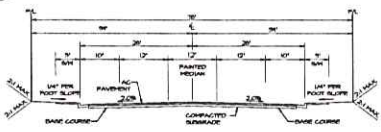
**ACREAGE:**  
35.91 AC. 66259

**SCHOOL DISTRICT:**  
CORONA - NORCO UNIFIED

**LAND USE / ZONING:**  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: LIGHT INDUSTRIAL  
PROPOSED ZONING: I-2 HEAVY INDUSTRIAL  
EXISTING AND PROPOSED GENERAL PLAN DESIGNATION: LIGHT INDUSTRIAL

**LEGAL DESCRIPTION:**  
PARCELS A AND B AS SHOWN ON LOT LINE ADJUSTMENT NO. 0082 IN THE COUNTY OF HENRIETTA, STATE OF CALIFORNIA, INCORPORATED JULY 19, 2007, AS AMENDED BY 2007-0082 ORDER OF OFFICIAL RECORDS, TOGETHER WITH A PORTION OF PAR. 27, 121, 216, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

- NOTES:**
- 2007 THOMAS BROS. MAP-PAGE 662, GRID J-6.
  - THIS AREA IS NOT SUBJECT TO LIQUIDATION OR OTHER FISCAL HAZARD WITHIN A SPECIAL SERVICES ZONE.
  - FEMA COMMUNITY PANEL NO. 0303000106 NOT PRINTED PER PLAN. HAZARD NOT DETERMINED EFFECTIVE DESIGNATION.
  - THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
  - SEWERAGE SERVICE SERVICE IS NOT INTENDED FOR THIS SITE.
  - ALL EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE IN LOCATION AND SIZE.
  - THERE ARE NO ADOPTED OR BEING ADOPTED PLANNABLE OR COMBUSTIBLE LIQUIDS INTENDED FOR THIS SITE.
  - THERE ARE NO OPEN CHANNELS ON THIS SITE.
  - THERE ARE NO INDOOR OR OUTDOOR RECREATIONAL VEHICLES ON THIS SITE.
  - THIS PROJECT IS NOT WITHIN A HAZARDOUS PLAN.
  - THERE ARE NO OPEN SPACES OR RECREATIONAL SPACES ON THIS SITE.
  - THIS MAP INCLUDES THE ENTIRE CONVEYOR OWNERSHIP.
  - THERE ARE NO PUEL OR HAZARDOUS WATERS PROPOSED FOR THIS SITE.
  - THIS PROJECT IS WITHIN THE JARPA COMPANY SERVICES DISTRICT.
  - THERE IS AN EXISTING HELL ON THIS SITE TO BE ABANDONED.
  - FOR GRADING AND DRAINAGE REFER TO THE PRELIMINARY GRADING PLAN.
  - PROJECT IS WITHIN THE CHINA AIRPORT INFLUENCE AREA.
  - PROPOSED TRAILS WITHIN LOT E (SEE EASEMENT) WILL BE MAINTAINED BY JCDD.



**REVISIONS:**

NO.	DATE	DESCRIPTION

**IMPROVEMENT SCHEDULE 1<sup>st</sup>**

**REVISED TENTATIVE BUSINESS MAP NO. 35865**

**PROVIDENCE BUSINESS PARK**  
6501 ARCHIBALD AVENUE, CITY OF EASTVALE, CA.

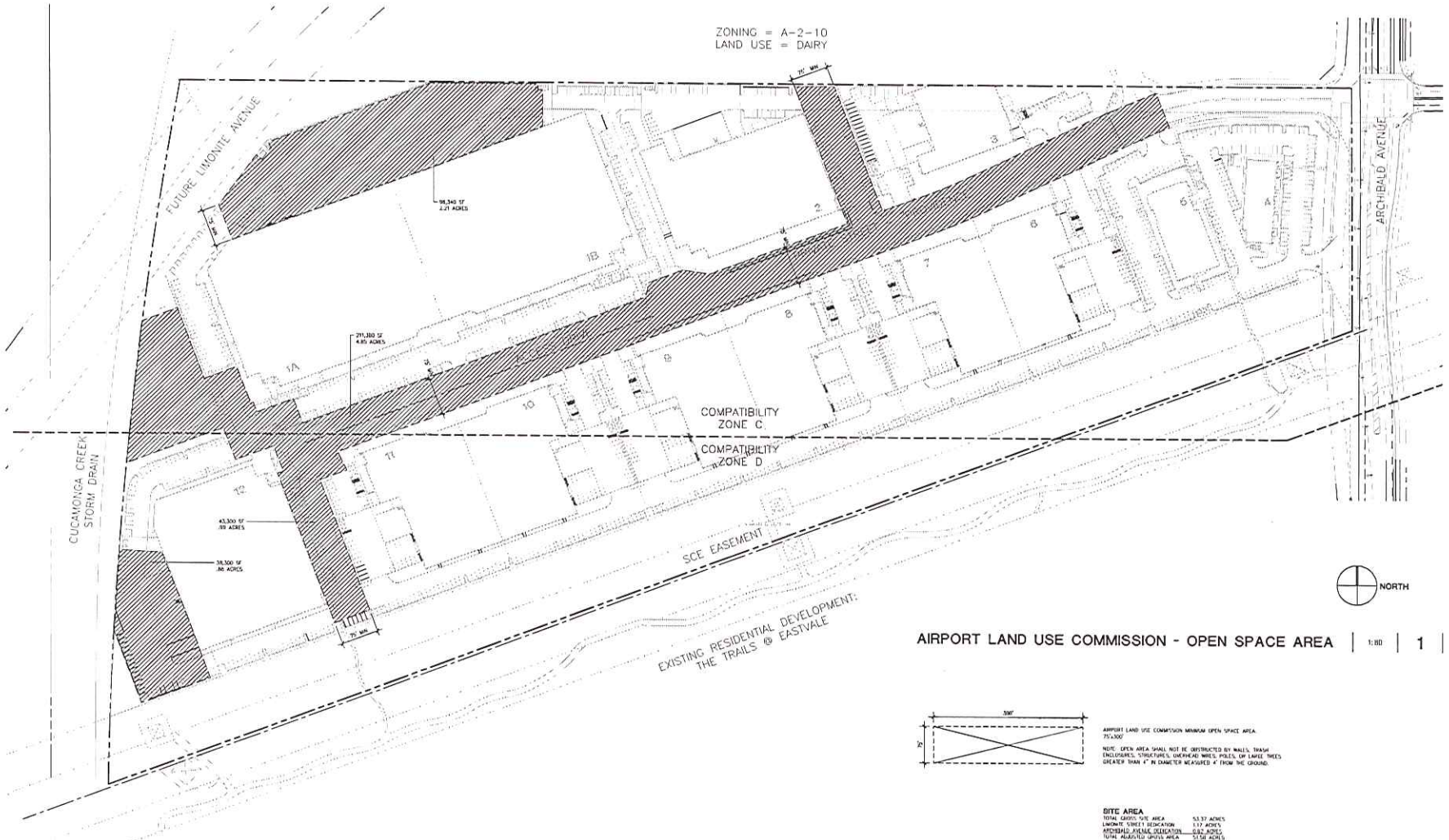
SECTION OF SECTION 21, TOWNSHIP 3 NORTH, RANGE 11 WEST, SAN BERNARDINO COUNTY, CALIFORNIA, AS SHOWN ON THE BUSINESS MAP NO. 35865, AS AMENDED BY BUSINESS MAP NO. 35865-1, AND BUSINESS MAP NO. 35865-2, AND BUSINESS MAP NO. 35865-3, AND BUSINESS MAP NO. 35865-4, AND BUSINESS MAP NO. 35865-5, AND BUSINESS MAP NO. 35865-6, AND BUSINESS MAP NO. 35865-7, AND BUSINESS MAP NO. 35865-8, AND BUSINESS MAP NO. 35865-9, AND BUSINESS MAP NO. 35865-10, AND BUSINESS MAP NO. 35865-11, AND BUSINESS MAP NO. 35865-12, AND BUSINESS MAP NO. 35865-13, AND BUSINESS MAP NO. 35865-14, AND BUSINESS MAP NO. 35865-15, AND BUSINESS MAP NO. 35865-16, AND BUSINESS MAP NO. 35865-17, AND BUSINESS MAP NO. 35865-18, AND BUSINESS MAP NO. 35865-19, AND BUSINESS MAP NO. 35865-20, AND BUSINESS MAP NO. 35865-21, AND BUSINESS MAP NO. 35865-22, AND BUSINESS MAP NO. 35865-23, AND BUSINESS MAP NO. 35865-24, AND BUSINESS MAP NO. 35865-25, AND BUSINESS MAP NO. 35865-26, AND BUSINESS MAP NO. 35865-27, AND BUSINESS MAP NO. 35865-28, AND BUSINESS MAP NO. 35865-29, AND BUSINESS MAP NO. 35865-30, AND BUSINESS MAP NO. 35865-31, AND BUSINESS MAP NO. 35865-32, AND BUSINESS MAP NO. 35865-33, AND BUSINESS MAP NO. 35865-34, AND BUSINESS MAP NO. 35865-35, AND BUSINESS MAP NO. 35865-36, AND BUSINESS MAP NO. 35865-37, AND BUSINESS MAP NO. 35865-38, AND BUSINESS MAP NO. 35865-39, AND BUSINESS MAP NO. 35865-40, AND BUSINESS MAP NO. 35865-41, AND BUSINESS MAP NO. 35865-42, AND BUSINESS MAP NO. 35865-43, AND BUSINESS MAP NO. 35865-44, AND BUSINESS MAP NO. 35865-45, AND BUSINESS MAP NO. 35865-46, AND BUSINESS MAP NO. 35865-47, AND BUSINESS MAP NO. 35865-48, AND BUSINESS MAP NO. 35865-49, AND BUSINESS MAP NO. 35865-50, AND BUSINESS MAP NO. 35865-51, AND BUSINESS MAP NO. 35865-52, AND BUSINESS MAP NO. 35865-53, AND BUSINESS MAP NO. 35865-54, AND BUSINESS MAP NO. 35865-55, AND BUSINESS MAP NO. 35865-56, AND BUSINESS MAP NO. 35865-57, AND BUSINESS MAP NO. 35865-58, AND BUSINESS MAP NO. 35865-59, AND BUSINESS MAP NO. 35865-60, AND BUSINESS MAP NO. 35865-61, AND BUSINESS MAP NO. 35865-62, AND BUSINESS MAP NO. 35865-63, AND BUSINESS MAP NO. 35865-64, AND BUSINESS MAP NO. 35865-65, AND BUSINESS MAP NO. 35865-66, AND BUSINESS MAP NO. 35865-67, AND BUSINESS MAP NO. 35865-68, AND BUSINESS MAP NO. 35865-69, AND BUSINESS MAP NO. 35865-70, AND BUSINESS MAP NO. 35865-71, AND BUSINESS MAP NO. 35865-72, AND BUSINESS MAP NO. 35865-73, AND BUSINESS MAP NO. 35865-74, AND BUSINESS MAP NO. 35865-75, AND BUSINESS MAP NO. 35865-76, AND BUSINESS MAP NO. 35865-77, AND BUSINESS MAP NO. 35865-78, AND BUSINESS MAP NO. 35865-79, AND BUSINESS MAP NO. 35865-80, AND BUSINESS MAP NO. 35865-81, AND BUSINESS MAP NO. 35865-82, AND BUSINESS MAP NO. 35865-83, AND BUSINESS MAP NO. 35865-84, AND BUSINESS MAP NO. 35865-85, AND BUSINESS MAP NO. 35865-86, AND BUSINESS MAP NO. 35865-87, AND BUSINESS MAP NO. 35865-88, AND BUSINESS MAP NO. 35865-89, AND BUSINESS MAP NO. 35865-90, AND BUSINESS MAP NO. 35865-91, AND BUSINESS MAP NO. 35865-92, AND BUSINESS MAP NO. 35865-93, AND BUSINESS MAP NO. 35865-94, AND BUSINESS MAP NO. 35865-95, AND BUSINESS MAP NO. 35865-96, AND BUSINESS MAP NO. 35865-97, AND BUSINESS MAP NO. 35865-98, AND BUSINESS MAP NO. 35865-99, AND BUSINESS MAP NO. 35865-100.

PROVIDENCE BUSINESS PARK  
MASTER PLAN

ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

ZONING = A-2-10  
LAND USE = DAIRY



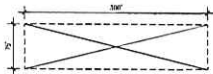
SCE EASEMENT

EXISTING RESIDENTIAL DEVELOPMENT:  
THE TRAILS @ EASTVALE



AIRPORT LAND USE COMMISSION - OPEN SPACE AREA

1:10 | 1



AIRPORT LAND USE COMMISSION MINIMUM OPEN SPACE AREA:  
75,000 SF  
NOTE: OPEN AREA SHALL NOT BE OBSTRUCTED BY WALLS, TRASH ENCLOSURES, STRUCTURES, OVERHEAD WIRES, POLES, OR LARGE TREES GREATER THAN 4" IN DIAMETER MEASURED 4' FROM THE GROUND.

SITE AREA	
TOTAL OPEN SPACE AREA	53.37 ACRES
LIMOWITE STREET RELOCATION	1.17 ACRES
ARCHIBALD AVENUE RELOCATION	0.92 ACRES
TOTAL RELOCATED OPEN SPACE AREA	2.09 ACRES
<b>ZONE C</b>	<b>38.31 ACRES</b>
<b>ZONE D</b>	<b>15.27 ACRES</b>
OPEN AREA REQUIRED	
ZONE C - 20%	7.66 ACRES
ZONE D - 20%	3.05 ACRES
OVERALL	10.71 ACRES
OPEN AREA PROVIDED	
ZONE C	7.39 ACRES
ZONE D	3.87 ACRES
TOTAL	11.26 ACRES

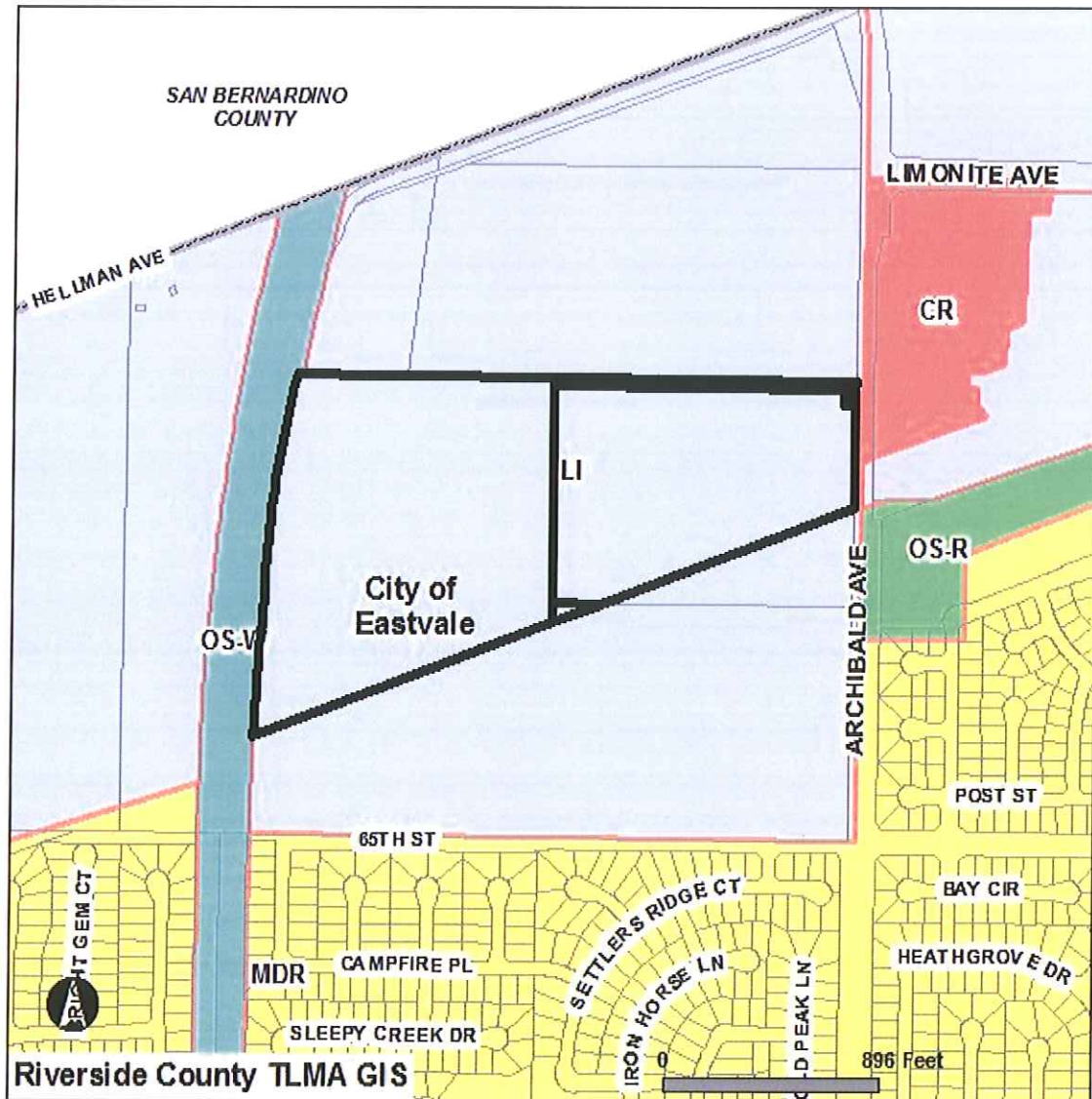
NO.	DESCRIPTION	DATE
1	PDC-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

AIRPORT LAND USE COMMISSION OPEN SPACE SITE AREA

ALL DIMENSIONS AND WEIGHTS SHOWN ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION. THE DRAWING SHALL BE CONSIDERED VOID IF NOT ACCURATELY AND THE SAME MAY NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.  
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JOB NO.	PROVIDENCE 01	SHEET NO.	A1.7
DATE	12/07/12		
DRAWN	GAA		
FILE NAME	PROVIDENCE_01		

RIVERSIDE COUNTY GIS



Selected parcel(s):

144-010-002 144-010-033 144-010-037 144-010-038

LAND USE

- SELECTED PARCEL
- PARCELS
- OS-R - OPEN SPACE RECREATION
- OS-W - WATER
- INTERSTATES
- HIGHWAYS
- CR - COMMERCIAL RETAIL
- LI - LIGHT INDUSTRIAL
- CITY
- MDR - MEDIUM DENSITY RESIDENTIAL

**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jun 06 16:28:06 2013

Version 130225

# PROVIDENCE BUSINESS PARK

ARCHIBALD AVENUE  
EASTVALE, CA 92880

**G|A|A**  
ARCHITECTS

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PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

OWNER:  
PROVIDENCE ARCHIBALD, LLC  
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maryjo@providence.com

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robert@webbassociates.com

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LANDSCAPE DESIGN  
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PHONE: 714-962-0417  
CONTACT: JEFF COGAN  
jcogan@landscape.com

## PROJECT TEAM

### COVER

T1 TITLE SHEET  
T2 SITE RENDERINGS

### CIVIL

TENTATIVE PARCEL MAP  
PRELIMINARY GRADING PLAN

### LANDSCAPE

L1 OVERALL LANDSCAPE PLAN  
L2 ENLARGED LANDSCAPE PLAN  
L3 ENLARGED LANDSCAPE PLAN  
L4 ENLARGED LANDSCAPE PLAN  
L5 ENLARGED LANDSCAPE PLAN  
L6 LANDSCAPE DETAILS

### ARCHITECTURAL

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A1.1 WATER PLAN  
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A1.3 SUB-PLAN ENLARGEMENT  
A1.4 SITE PLAN ENLARGEMENT  
A1.5 SUB-PLAN ENLARGEMENT  
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A1.47 OFFICE COLORS & MATERIALS LEGEND

## SHEET INDEX

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-15-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

## TITLE SHEET

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREON  
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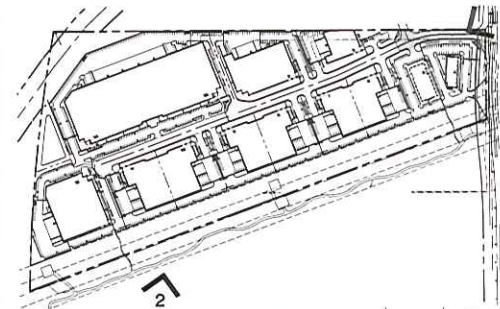
JOB NO.	PROJECT NO.	SHEET NO.
DATE:	12/07/12	T1
DRAWN:	GAA	
FILE NAME:	PROJECT_11	



PROJECT AERIAL | N.T.S. | 1



PROJECT AERIAL | N.T.S. | 2



SITE REFERENCE | N.T.S. | 3

**G|A|A**  
ARCHITECTS

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PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

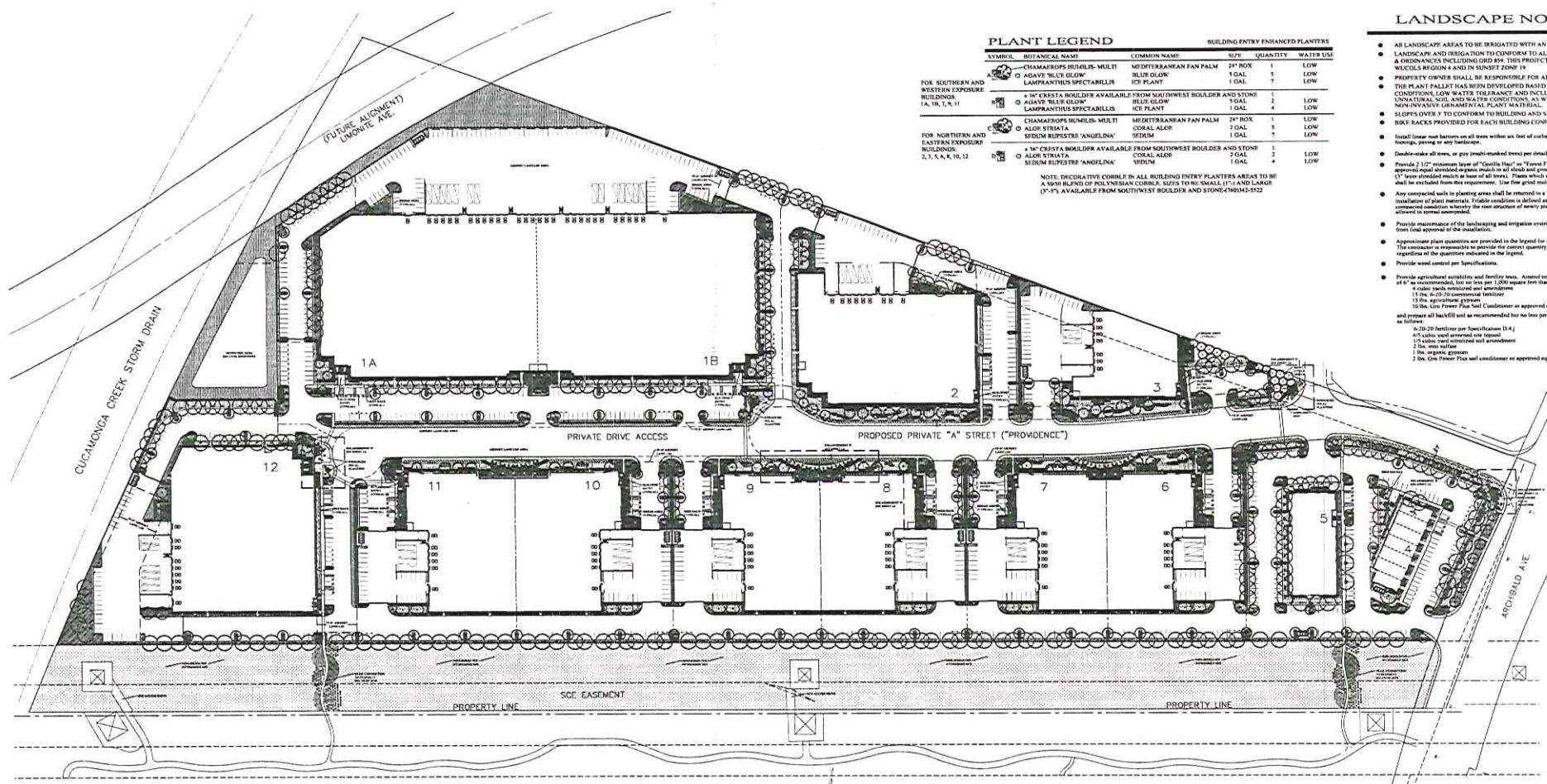
DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PLC-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

AERIAL RENDERINGS

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JOB NO:	PC009.01	SHEET NO.:	T2
DATE:	12/07/12		
DRAWN:	GAA		
FILE NAME:	PC009_12		



**LANDSCAPE NOTES**

- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC ET IRRIGATION SYSTEM
- LANDSCAPE AND IRRIGATION TO CONFORM TO ALL APPLICABLE CODES & ORDINANCES INCLUDING ORD 89. THIS PROJECT SITE IS LOCATED IN WUCLES REGION 4 AND IN SUNSET ZONE 19
- PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL ON-SITE LANDSCAPING AS SHOWN.
- THE PLANT PALLET HAS BEEN DEVELOPED BASED ON CLIMATE, NEWLY CREATED SOIL CONDITIONS, LOW WATER TOLERANCE AND INCLUDES NATIVES THAT TOLERATE DROUGHT, DISEASE AND WATER CONDITIONS, AS WELL AS BROADLY TOLERANT, NON-INVASIVE ORNAMENTAL PLANT MATERIAL.
- SLOPS OVER 7° TO CONFORM TO BUILDING AND SAFETY PROVISIONS CONTROL BRICK BACKS PROVIDED FOR EACH BUILDING CONFORMING TO GRID 348 SECTION 1812
- Install linear root barriers on all trees within six feet of curbs, sidewalks, walls, terraces, paving or any landscape.
- Double-embed all trees, or grass (multi-matted trees) per details.
- Provide 2" (2" minimum layer of "Cortella" 1/4" or "Terra Flex" medium grid or approved equal divided in pairs much in all slab and ground cover areas. (1" layer embedded much in base of all trees). Pavers which do not tolerate such shall be excluded from this requirement. Use fine grited much in all unsealed water areas.
- Any compressed soils in planting areas shall be returned to a "Bull's" condition prior to the installation of plant materials. Fridge condition is defined as an evenly conditioned or heavily amended condition whereby the root structure of newly planted material will be allowed in normal succession.
- Provide maintenance of the landscaping and irrigation system for a minimum 90 day period from land approval of the installation.
- Approximate plant quantities are provided for the contractor's convenience only. The contractor is responsible to provide the correct quantity of plant material regardless of the quantities indicated in the legend.
- Provide weed control per Specifications.
- Provide agricultural stabilizer and fertilizer trees. Annual spread in a depth 4" x 4" as recommended, for use per 1,000 square feet (as follows):
  - 1 cubic yard untreated soil amendment
  - 15 lbs. 6-20-20 commercial fertilizer
  - 1 lb. agriculture gypsum
  - 10 lbs. Low Phos Phos Soil Conditioner as approved equal
 and prepare all backfill and as recommended but no less per cubic yard than as follows:
  - 6-20-20 fertilizer per Specification DA.4
  - 6" x 6" white sand untreated soil amendment
  - 1 cubic yard untreated soil amendment
  - 15 lbs. urea sulfate
  - 1 lb. urea agriculture gypsum
  - 10 lbs. Low Phos Phos soil conditioner as approved equal

**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CHAMAEOPS HUMILIS-MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	ADAVY 'BLISS GLOW'	BLISS GLOW	1 GAL	5	LOW
○	LAMPANANTHUS SPECTABILIS	ICE PLANT	1 GAL	7	LOW
○	1" CRESTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE		1 GAL	2	LOW
○	ADAVY 'BLISS GLOW'	BLISS GLOW	1 GAL	4	LOW
○	LAMPANANTHUS SPECTABILIS	ICE PLANT	1 GAL	4	LOW
○	CHAMAEOPS HUMILIS-MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	ALOR STRATA	CORAL ALGEE	1 GAL	5	LOW
○	SEEDUM BECKETTII 'ANGELINA'	SEEDUM	1 GAL	7	LOW
○	1" CRESTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE		1 GAL	2	LOW
○	ALOR STRATA	CORAL ALGEE	1 GAL	4	LOW
○	SEEDUM BECKETTII 'ANGELINA'	SEEDUM	1 GAL	4	LOW

NOTE: DECORATIVE CORBELS IN ALL BUILDING ENTRY PLANTERS AREAS TO BE A 50/50 BLEND OF POLYMERIZED CORBEL. SIZES TO BE SMALL (1") AND LARGE (1.5") AVAILABLE FROM SOUTHWEST BOULDER AND STONE (484)345-9522

**WATER EFFICIENT LANDSCAPE NOTES**

**PLANT REQUIREMENTS**  
 Plant types shall be grouped together in regards to their water, soil, sun and shade requirements and to the building. Plants with different water needs shall be irrigated separately. Plants with the following characteristics shall be grouped accordingly: high and moderate, moderate and low, low and very low. Determine from these groupings shall not be over-irrigated.  
 Soil test on all projects are required for appropriate specifications of soil amendments, and to facilitate selection of water efficient plant species available for the site. Soil amendments such as compost shall be provided to improve water holding capacity of soil, where soil conditions warrant.  
 All exposed surfaces of non turf areas within the developed landscape area shall be mulched with a minimum three inch (3") layer of material, except in areas with groundwater plained than three inches depth shall be one and a half inches (1-1/2").

**IRRIGATION REQUIREMENTS**  
 All irrigation systems shall be designed to prevent runoff, overflow, low head drainage and other similar conditions where water flows off site on an adjacent property, run in gutters, walls, curbs, or structures. Irrigation systems shall be designed, constructed, maintained and monitored to achieve as high an overall efficiency as possible.  
 Landscaped areas shall be provided with a smart irrigation controller which automatically adjusts the frequency and or duration of irrigation events in response to changing weather conditions unless the use of the property would otherwise prohibit use of a smart. The planting area shall be grouped in relation to moisture control zones based on similar or water requirements (i.e. turf separate from shrub and groundcover, full sun exposure areas separate from shade areas, top of slope separate from use of slope). Additional water conservation technology may be required, where necessary, at the discretion of the Planning Director.  
 Water systems for common open space areas shall use non-potable water, if approved facilities are made available by the water purveyor. Provisions for the conversion to a non-potable water system shall be provided within the landscape plan. Where systems designed to utilize non-potable water shall be designed to meet all applicable standards of the California Regional Water Quality Control Board and the Riverside County Health Department.  
 Separate valves shall be provided for separate water use planting areas, so that plants with similar water needs are irrigated by the same irrigation valve. All installations shall rely on highly efficient use of the irrigation systems to minimize runoff and maximize irrigation efficiency as required by the landscaping Director.  
 All irrigation systems shall be equipped with the following:  
 a. A smart irrigation controller as defined in Section B.2, of their ordinance.  
 b. A rain sensing device to prevent irrigation during heavy weather.  
 c. Anti drain check valves installed at strategic points to minimize air pressure loss head drainage.  
 d. A pressure regulator when the system water pressure exceeds the maximum manufacturer's operating pressure of the irrigation system.

**PLANT LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CITRIFOLIUM FLORIDUM	BLISS PALM VERDE	36" BOX	79	LOW
○	CITRUS SPP. STANDARD	NAVY ORANGE	24" BOX	21	LOW
○	CHITRALPA TASHKINENSIS	NEN	24" BOX	90	LOW
○	LAGERSTROMIA	MUSKOGEE	36" BOX	20	MED
○	SARCOXIPHA	CREAK MYRTLE			
○	MELI TOBIUM				
○	MAONGLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX	7	MED
○	EUCALYPTUS POLYANTHOS	SILVER DOLLAR GUM	24" BOX	30	LOW
○	KOHLERITARIA PANICULATA	GOLDENRAIN TREE	24" BOX	11	MED
○	COTINUS COQUONDA	SMOKE TREE	24" BOX	14	LOW
○	SCHINUS MOLLE	CALIFORNIA PEPPER	24" BOX	15	LOW
○	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24" BOX	37	LOW
○	OLIA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	6	LOW
○	MELI TOBIUM	MELI TOBIUM			
○	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	15" BTR	25	LOW
○	QUELQUIS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX	247	LOW

**SHADE CALCULATIONS**

**SHADE REQUIREMENT CHART (SHR, MIN. REQUIRED)**  
 TOTAL PARKING AREA = 181,808 SF  
 SHADED AREA REQUIRED = 96,504 SF  
 SHADED AREA PROVIDED (15%): 48,497 SF

**IRRIGATION CONCEPT STATEMENT**  
 ALL LANDSCAPE TO COMPLY WITH IRRIGATION 70 ORD 89 AND BE CONTROLLED WITH AN AUTOMATIC ET "SMART" CONTROLLER WHICH SHALL PROVIDE REAL TIME AUTOMATIC SCHEDULING OF IRRIGATION BASED ON CURRENT AND HISTORIC ET RATES.

**PLANT CONCEPT STATEMENT**  
 THE PLANT PALLET HAS BEEN DEVELOPED BASED ON CLIMATE, NEWLY CREATED SOIL CONDITIONS, LOW WATER TOLERANCE AND INCLUDES NATIVES THAT TOLERATE UNUSUAL SOIL AND WATER CONDITIONS, AS WELL AS BROADLY TOLERANT, NON-INVASIVE ORNAMENTAL PLANT MATERIAL.

**PHASING**

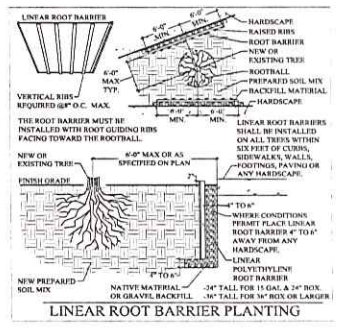
ALL LANDSCAPING SHALL BE INSTALLED IN ONE PHASE

**Maximum Applied Water Allowance (MAWA):**

\* Annual ITto for City of Eastvale is 62.50  
 Project MAWA = 9,707,650 Gallons/Year  
 Project Landscape Area = 313,150 Square Feet

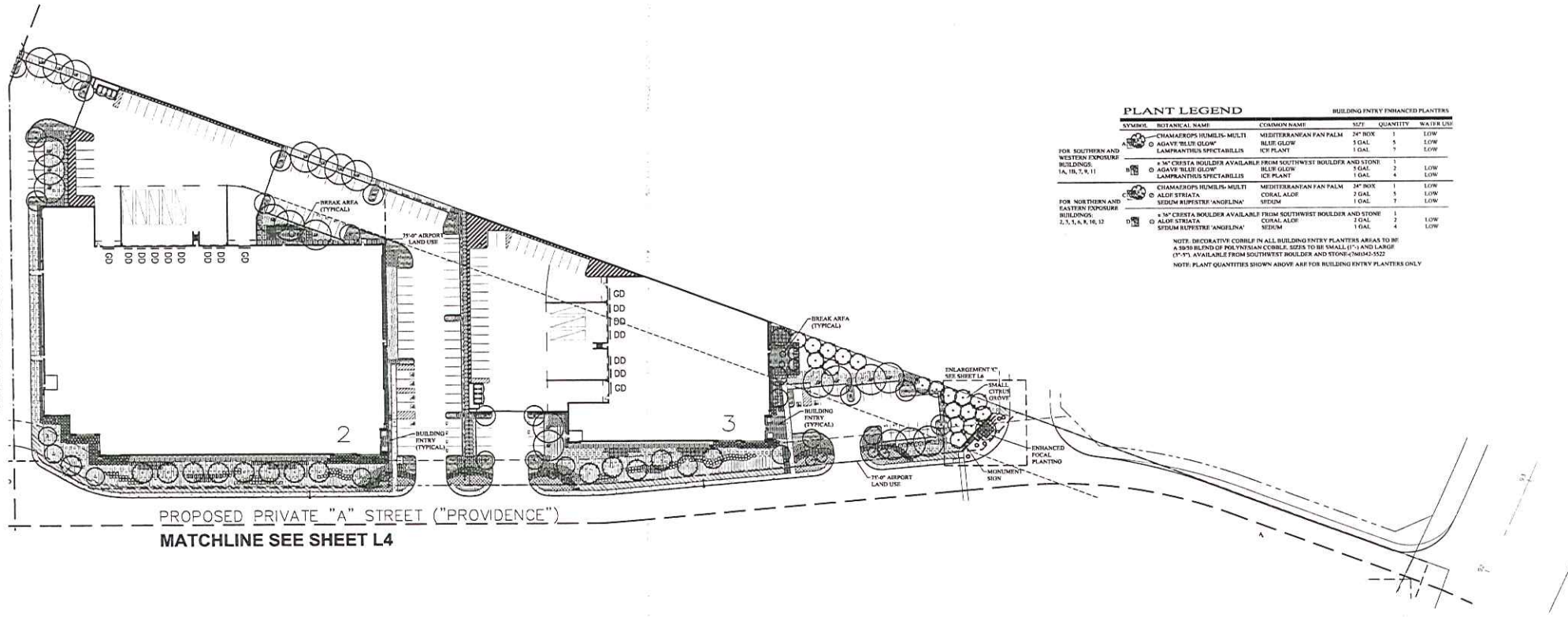
**Estimated Applied Water Use (EAWU):**

High PF Landscape Area = 0 Square Feet of High Water Use Plant Material Area.  
 High PF EAWU = 0 Gallons/Year  
 Medium PF Landscape Area = 0 Square Feet of Medium Water Use Plant Material Area.  
 Medium PF EAWU = 0 Gallons/Year  
 Low PF Landscape Area = 313,150 Square Feet of Low Water Use Plant Material Area.  
 Low PF EAWU = 9,707,650 Gallons/Year  
 Project Total EAWU = 4,853,825.0 Gallons/Year  
 Difference = 4,853,825.0 Gallons/Year  
 \*\* PF = 0.75





MATCHLINE SEE SHEET L2



PROPOSED PRIVATE "A" STREET ("PROVIDENCE")  
MATCHLINE SEE SHEET L4

**PLANT LEGEND** BUILDING ENTRY ENHANCED PLANTERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CHAMAELOPS HUMILIS MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	AGAVE 'BLUE GLOW'	BLUE GLOW	1 GAL	5	LOW
○	LAMPRANTHUS SPECTABILIS	ICE PLANT	1 GAL	7	LOW
○	36" CRISTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE	BLUE GLOW	1 GAL	2	LOW
○	LAMPRANTHUS SPECTABILIS	ICE PLANT	1 GAL	4	LOW
○	CHAMAELOPS HUMILIS MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	AGAVE 'BLUE GLOW'	BLUE GLOW	1 GAL	2	LOW
○	LAMPRANTHUS SPECTABILIS	ICE PLANT	1 GAL	7	LOW
○	SEDUM RUPESTRIS 'ANGELINA'	SEDUM	1 GAL	1	LOW
○	AGAVE STRIATA	CORAL ALOE	2 GAL	1	LOW
○	36" CRISTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE	ICE PLANT	1 GAL	2	LOW
○	AGAVE STRIATA	CORAL ALOE	1 GAL	4	LOW
○	SEDUM RUPESTRIS 'ANGELINA'	SEDUM	1 GAL	4	LOW

NOTE: DECORATIVE CORTEX IN ALL BUILDING ENTRY PLANTERS AREAS TO BE 4" BIRCH BLEND OF POLYURETHANE CORTEX. SIZES TO BE SMALL (17") AND LARGE (17"-24"). AVAILABLE FROM SOUTHWEST BOULDER AND STONE (760)443-3522  
NOTE: PLANT QUANTITIES SHOWN ABOVE ARE FOR BUILDING ENTRY PLANTERS ONLY

**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH=4, MED=3, LOW=2 PROPOSED TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CIRCIDIUM FLORIDUM	BLUE PALM VERDE-MULTI TRUNK	48" BOX	79	LOW
○	CITRUS WASHINGTON NAVAL-STANDARD	NAVAL ORANGE	24" BOX	21	LOW
○	CHITALPA TASHKENTENSIS	NON	24" BOX	90	LOW
○	LAGERSTRONGIA 'MUSKOGEE'	MUSKOGEE CRAPPE MYRTLE	36" BOX	20	MED
○	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX	7	MED
○	FUCA VITIFOLIA POLYANTHOSIS	SILVER DOLLAR GUM	24" BOX	30	LOW
○	KOHLERUTERA PANICULATA	GOLDEN RAIN TREE	24" BOX	15	MED
○	CUTNUS COGONIA ROYAL POINLE	SMOKE TREE	24" BOX	14	LOW
○	ACHENUS MOLLE	CALIFORNIA PEPPER	24" BOX	15	LOW
○	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	24" BOX	57	LOW
○	OLIA FICOPARSA SWAN HILL	FRUITLESS OLIVE MULTI-TRUNK	36" BOX	6	LOW
○	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	15" BTH	21	LOW
○	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX	247	LOW

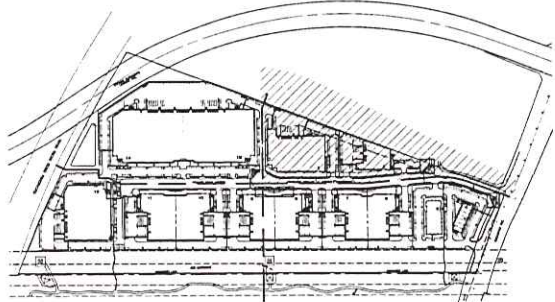
**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH=4, MED=3, LOW=2 PROPOSED SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	AGAVE AMERICANA	CENTURY PLANT	1 GAL	44	LOW
○	AGAVE 'BLUE GLOW'	BLUE GLOW	2 GAL	49	LOW
○	AGAVE YILMORNIANA	OCTOPUS AGAVE	1 GAL	28	LOW
○	ARKUTUS LINDO 'LILY KING'	DWARF STRAWBERRY SIBER	1 GAL	53	LOW
○	CALLISTEMON LITTLE JOHN	DWARF BOTTLE BRUSH	1 GAL	187	LOW
○	CISTUS + PURPUREUS	ORCHID ROCKROSE	1 GAL	74	LOW
○	COTONASTER LACTUS	COTONASTER	1 GAL	40	LOW
○	DASYLIRION WHIEFLERI	DESERT SPOON	1 GAL	415	LOW
○	ELAEAGNUS PUNGENS	SILVERBERRY	1 GAL	613	LOW
○	ECHINOCACTUS GRISONI	GOLDEN BARRIL CACTUS	1 GAL	64	LOW
○	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL	1,157	LOW
○	JUNIPERUS V. 'SKYROCKET'	SKYROCKET JUNIPER	15 GAL	81	LOW
○	LEUCOPHYLLUM FRUTICOSUS COMPACTA	DWARF TEXAS RANGER	1 GAL	768	LOW
○	MELLENBERGIA CAPELLARIS 'REGAL MIST'	REGAL MIST	1 GAL	560	LOW
○	FENISTETUM TIBURTIENSIS	VAREGATED HOUTAN GRASS	1 GAL	1,217	LOW
○	ROSA RUDDOSA	JAPANESE ROSE	1 GAL	280	LOW
○	DIANTHUS HUCONATORIA	BLOOD RED TRUMPET VINE	1 GAL	4	MED

**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH=4, MED=3, LOW=2 PROPOSED GROUND COVER

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
■	ACACIA REDOLENS	PROSTRATE REDOLENS	1 GAL @ 48" OC	1	LOW
■	CONVOLVULUS SARABATUS	GROUND MORNING GLORY	1 GAL @ 24" OC	1	LOW
■	COTONASTER DAMMERI 'CORAL BEAUTY'	PROSTRATE COTONASTER	1 GAL @ 30" OC	1	LOW
■	OSTIOSPERMUM 'SUNNY ALEX P.F. 15,26'	YELLOW DAIRY	1 GAL @ 24" OC	1	LOW
■	LANTANA 'NEW GOLD'	YELLOW LANTANA	1 GAL @ 24" OC	1	LOW
■	HAESSELLA TENUISIMA	MEXICAN FEATHER GRASS	1 GAL @ 30" OC	1	LOW
■	MYOPORUM PARVIFOLIUM 'PUTAH CREEK'	PROSTRATE MYOPORUM	FLATS @ 14" OC	1	LOW
■	HISMARINUS 'HUNTINGTON CARPET'	HUNTINGTON CARPET	1 GAL @ 24" OC	1	LOW
■	SENPOO SERPENS	BLUE CHALK STICKS	1 GAL @ 18" OC	1	LOW

RECOMPOSED GRANITE TO BE AUTUMN GOLD BY TRI-STATE MATERIALS OR EQUAL. TRI-STATE MATERIALS: 3145 WINCHESTER RD. WINCHESTER, CA 92384. PHONE: (951) 926-3522



REFERENCE MAP SCALE: 1" = 300'-0"

SEE SHEET L1 FOR LANDSCAPE NOTES

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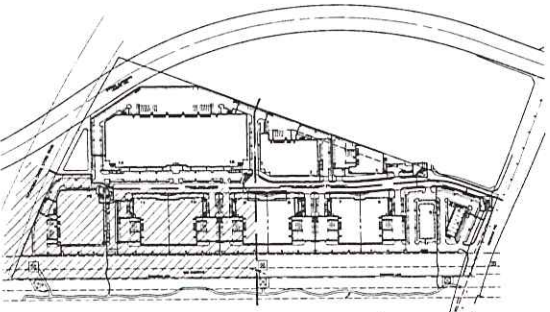
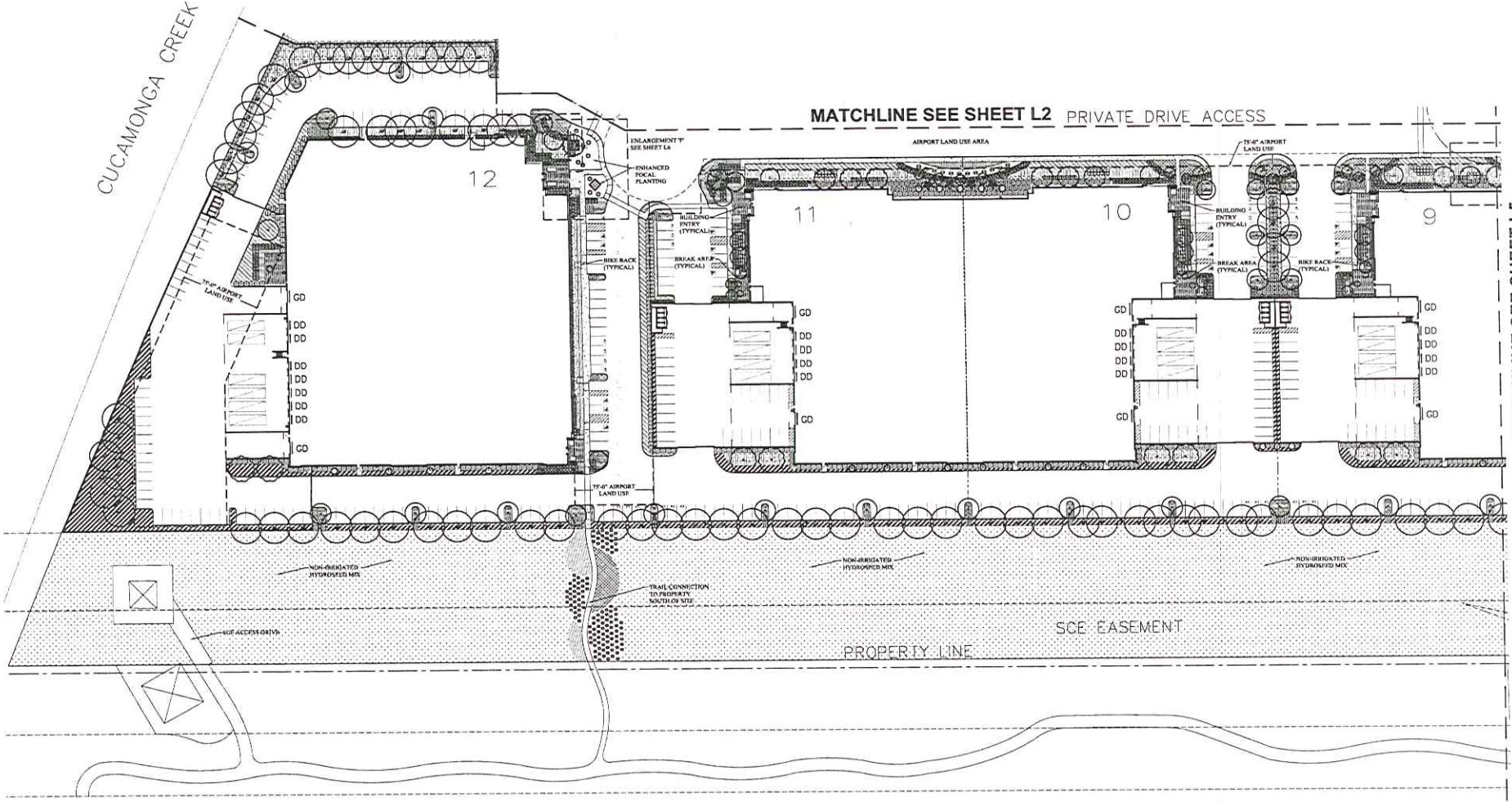
**EASTVALE BUSINESS PARK**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

**L3**



Landscap Conceptual Plan  
APRIL 25, 2013





**PLANT LEGEND** WUCOLS REGION 4  
Plant Fact: HIGH-4, MED-5, LOW-3 HYDRATED

SYMBOL	BOTANICAL NAME	COMMON NAME
<b>HYDRATED COMPONENTS</b>		
○	ARTEMISA CALIFORNICA	CALIFORNIA SAGEBRUSH
○	ERIODENDRUM PASCICULATUM	CALIFORNIA WHEAT
○	LOTUS SCOPARIUM	DEERWEED
○	MIMULUS LONGIFLORUS	STICKY MONKEYFLOWER
<b>COMPONENTS</b>		
○	ARTEMISA CALIFORNICA	4 PLS/LSVAC
○	ERIODENDRUM PASCICULATUM	10 PLS/LSVAC
○	LOTUS SCOPARIUM	6 PLS/LSVAC
○	MIMULUS LONGIFLORUS	2 PLS/LSVAC
○	WOOD CELLULOSE MULCH	200 LBS/AC
○	16-16-16 COMMERCIAL FERTILIZER	400 LBS/AC
○	ECOLOGICAL CONTROLS M-BINDER	240 LBS/AC

NON IRRIGATION HYDRATED MIX

**PLANT LEGEND** BUILDING ENTRY ENHANCED PLANTERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CHAMAEPSYDOPUS HUMILIS-MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	AGAVE 'BELIE GLOW'	BLUE GLOW	5 GAL	5	LOW
○	LAMPANRANTHUS SPECTABILIS	ICE PLANT	1 GAL	7	LOW
○	3" CRESTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE	BLUE GLOW	1 GAL	2	LOW
○	AGAVE 'BELIE GLOW'	BLUE GLOW	1 GAL	4	LOW
○	LAMPANRANTHUS SPECTABILIS	ICE PLANT	1 GAL	4	LOW
○	CHAMAEPSYDOPUS HUMILIS-MULTI	MEDITERRANEAN FAN PALM	24" BOX	1	LOW
○	ALOE STRIATA	CORAL ALOE	2 GAL	5	LOW
○	SEDUM RUPESTRIS 'ANGELINA'	SEDUM	1 GAL	7	LOW
○	3" CRESTA BOULDER AVAILABLE FROM SOUTHWEST BOULDER AND STONE	CORAL ALOE	2 GAL	2	LOW
○	ALOE STRIATA	CORAL ALOE	1 GAL	4	LOW
○	SEDUM RUPESTRIS 'ANGELINA'	SEDUM	1 GAL	4	LOW

NOTE: DECORATIVE CORBLE IN ALL BUILDING ENTRY PLANTER AREAS TO BE A 50% BLEND OF MEXICAN CORBLE. SIZES TO BE SMALL (1") AND LARGE (1"-1 1/2") AVAILABLE FROM SOUTHWEST BOULDER AND STONE (201342-312)

NOTE: PLANT QUANTITIES SHOWN ABOVE ARE FOR BUILDING ENTRY PLANTERS ONLY

SEE SHEET L3 FOR LANDSCAPE LEGEND AND L1 FOR LANDSCAPE NOTES

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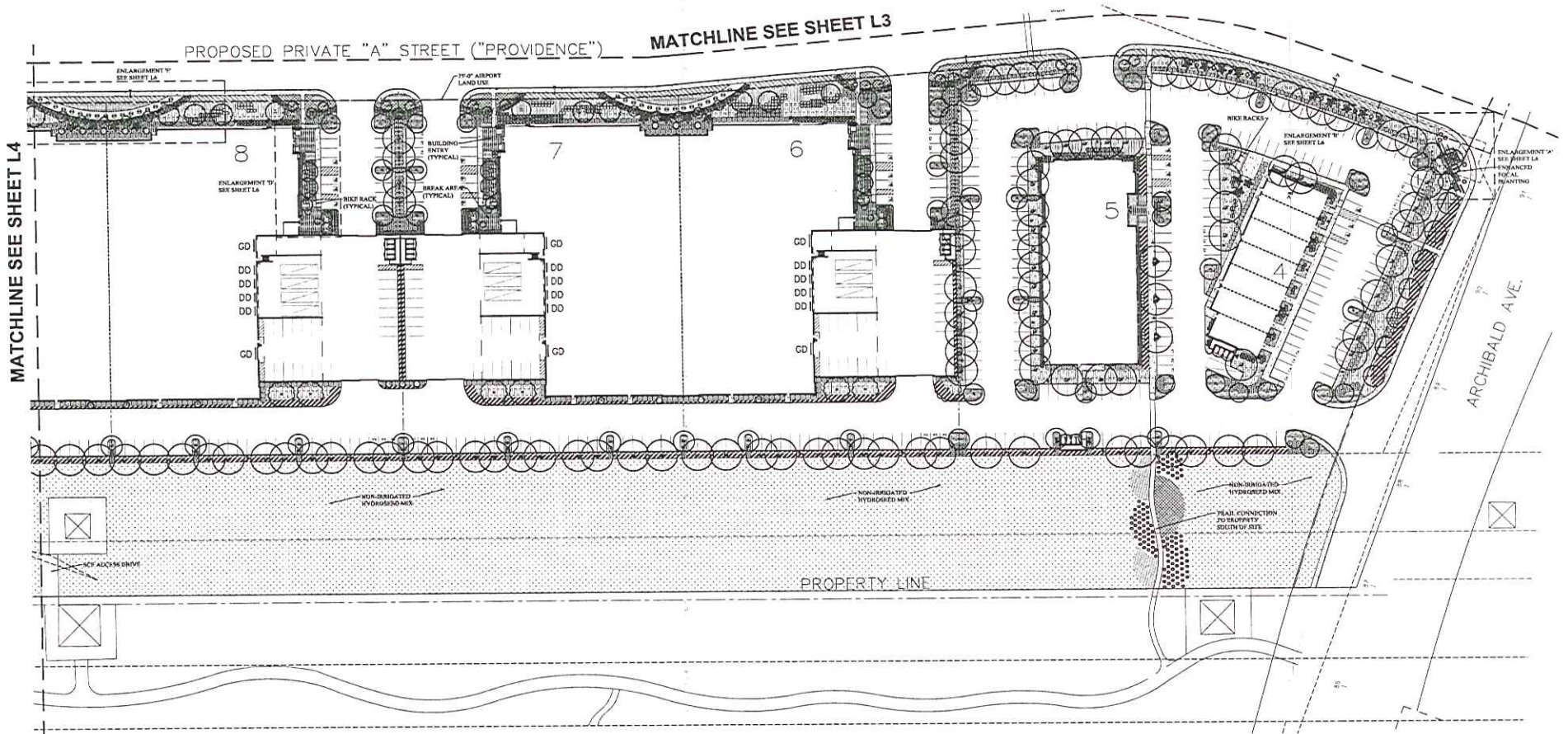
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**EASTVALE BUSINESS PARK**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880  
**L4**

0 40' 80' 120' 160'

**Landscape Conceptual Plan**  
APRIL 25, 2013



**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH-3, MED-3, LOW-3 PROPOSED TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
○	CERIDRUM FLORIDUM	BLUE PALM VIBRANT MULTI TRUNK	48" BOX	79	LOW
○	CITRUS WASHINGTON NAVAL - STANDARD	NAVAL ORANGE	24" BOX	21	LOW
○	CHITRALPA TASHKENTENSIS	NCN	24" BOX	99	LOW
○	LAGRABSTROMIA MONROVIE	MONROVIE CRAPPE MYRTLE	36" BOX	20	MED
○	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	24" BOX	7	MED
○	EUCALYPTUS POLYANTHEMUS	SILVER DOLLAR GUM	24" BOX	30	LOW
○	KOELBUTERIA PANICULATA	GOLDENRAIN TREE	24" BOX	15	MED
○	COTINUS COCCYDORIA 'ROYAL PURPLE'	SMOKE TREE	24" BOX	54	LOW
○	SCHINUS MOLLE	CALIFORNIA PEPPER	24" BOX	15	LOW
○	CUPRESSUS SEMPERVERENS	ITALIAN CYPRESS	24" BOX	57	LOW
○	OLEA EUROPAEA SWAN HILL	FRUITLESS OLIVE MULTI TRUNK	34" BOX	6	LOW
○	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM	14" BTH	25	LOW
○	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX	247	LOW

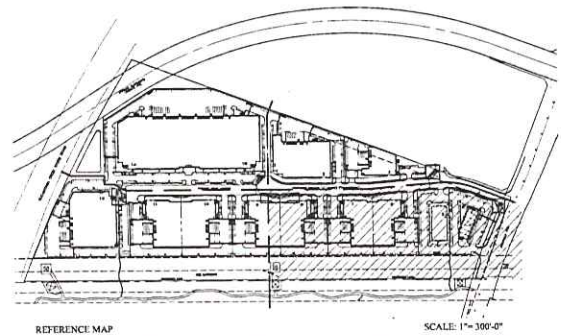
**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH-3, MED-3, LOW-3 PROPOSED SHRUBS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
●	AGAVE AMERICANA	CENTURY PLANT	5 GAL	44	LOW
●	AGAVE BILLIE GLOW	BLUE GLOW	2 GAL	49	LOW
●	AGAVE VILCORNIANA	OCTOPUS AGAVE	5 GAL	28	LOW
●	ABUTILON UNDO TILTN KING	DWARF STRAWBERRY MILK	5 GAL	33	LOW
●	CALLISTEMON LITTLE JOINT	DWARF BOTTLE BRUSH	5 GAL	1,817	LOW
●	CITRUS + POMPINUS	ORCHID ROCKROSE	5 GAL	749	LOW
●	COTONASTER LACTUIS	COTONASTER	5 GAL	40	LOW
●	DASYLIRION WHEELERII	DESERT SPOON	5 GAL	415	LOW
●	FLAEGADUS PUNGENS	SILVERBERRY	5 GAL	413	LOW
●	ECHINOCACTUS ORUSONI	GOLDEN BARREL CACTUS	5 GAL	44	LOW
●	HESPERALOE PARVIFLORA	RED YUCCA	1 GAL	1,157	LOW
●	JUNIPERUS V. SEVROCKET	SEVROCKET JUNPER	15 GAL	81	LOW
●	LEUCOPHYLLUM FRUTESCENS 'LUNIPACTA'	DWARF TEXAS RANGER	5 GAL	749	LOW
●	MUELENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST	1 GAL	340	LOW
●	PINNIFOLIUM 'FIREWORKS'	VARIEGATED FOUNTAIN GRASS	5 GAL	1,217	LOW
●	ROSA RUDDIA	JAPANESE ROSE	5 GAL	280	LOW
●	DIESTICH. RUCCONATORIA	RELOD RED TRUMPET VINE	5 GAL	4	MED

**PLANT LEGEND** WUCOLS REGION 4 Plant Factor: HIGH-3, MED-3, LOW-3 PROPOSED GROUND COVER

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WATER USE
■	ACACIA REDOLENS LOW BOP	PROSTRATE REDGLEN	1 GAL @ 48" OC	LOW	
■	CONVOLVULUS SABATUS	GROUND MORNING GLORY	1 GAL @ 24" OC	LOW	
■	COTONASTER DAMMERI CORAL BEAUTY	PROSTRATE COTONASTER	1 GAL @ 30" OC	LOW	
■	OSTEOPERMUM 'LUNNY ALEX P.P.#15,230	YELLOW DAISY	1 GAL @ 24" OC	LOW	
■	LANTANA 'NEW GOLD'	YELLOW LANTANA	1 GAL @ 24" OC	LOW	
■	NASSELLA TENISSIMA	MEXICAN FEATHER GRASS	1 GAL @ 30" OC	LOW	
■	MYOPORUM PARVIFOLIUM TUTAH CREEK	PROSTRATE MYOPORUM	PLATS @ 36" OC	LOW	
■	ROSMARINUS 'HUNTINGTON CARPET'	HUNTINGTON CARPET ROSEMARY	1 GAL @ 24" OC	LOW	
■	SENECIO STERFENS	BLUE CHALK STICKS	1 GAL @ 18" OC	LOW	

DECOMPENSATED QUANTITY TO BE ATTENDING GOLF BY TRILISTATE MATERIALS OR EQUAL. TRILISTATE MATERIALS-3185 WINCHESTER RD, WINCHESTER, CA 92706. PHONE: (951) 926-1522



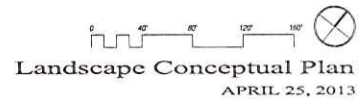
SEE SHEET L3 FOR LANDSCAPE LEGEND AND L1 FOR LANDSCAPE NOTES

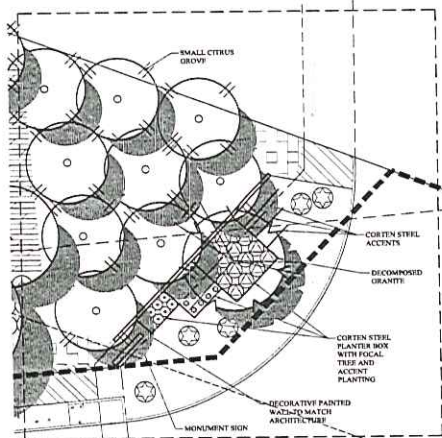
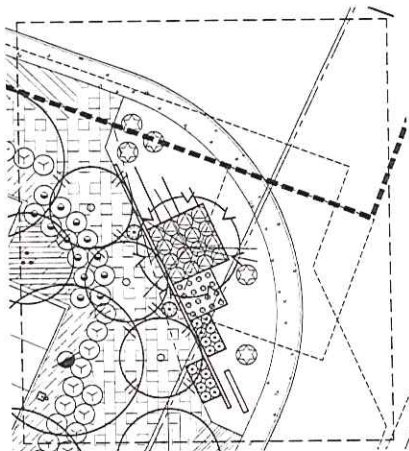
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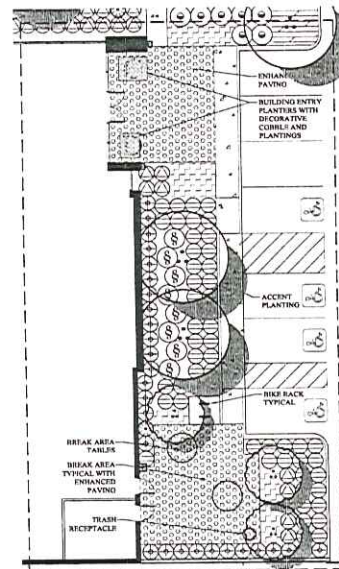
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**EASTVALE BUSINESS PARK**  
 ARCHIBALD AVENUE  
 EASTVALE, CA 92880  
**L5**

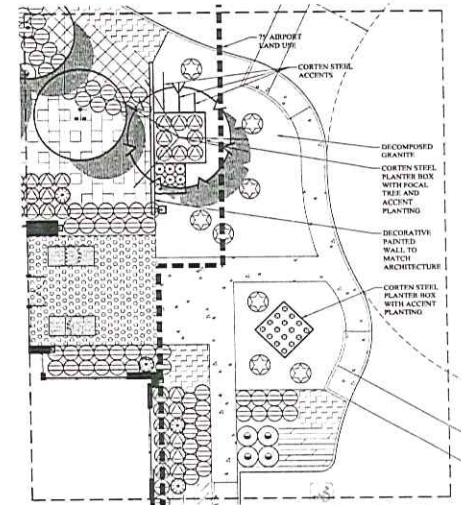




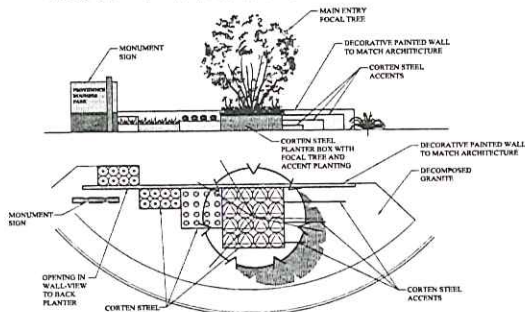
ENLARGEMENT 'C' CITRUS GROVE AND FOCAL ELEMENT  
SCALE 1" = 10'-0"



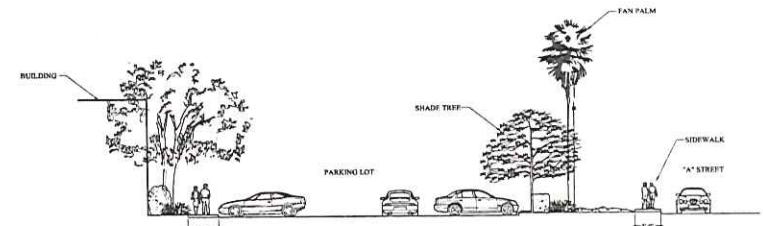
ENLARGEMENT 'D' BUILDING ENTRY AND BREAK AREAS  
SCALE 1" = 10'-0"



ENLARGEMENT 'F' BUILDING ENTRY AND FOCAL ELEMENT  
SCALE 1" = 10'-0"

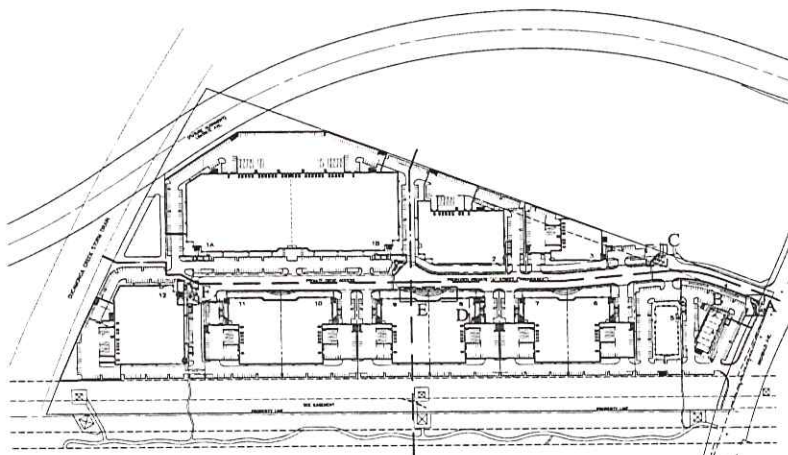


ENLARGEMENT 'A' MAIN ENTRY PLANTING & FOCAL ELEMENT  
SCALE 1" = 10'-0"



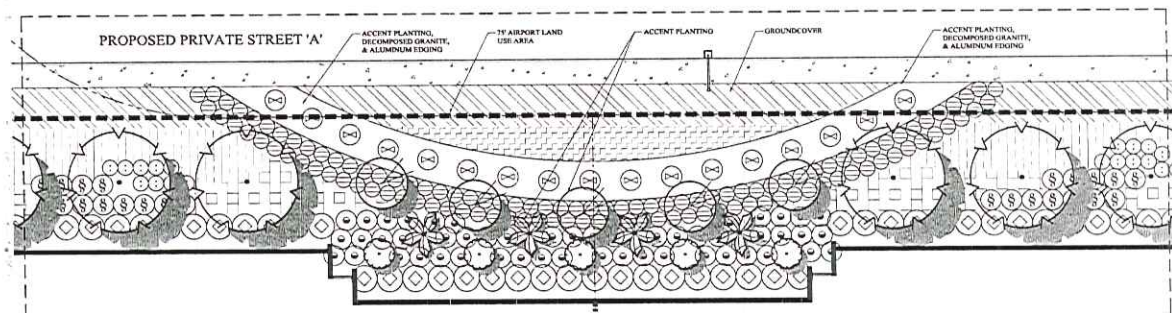
ENLARGEMENT 'B' STREET SECTION 'A'

SCALE 1" = 10'-0"



REFERENCE MAP

SCALE: 1" = 200'-0"



ENLARGEMENT 'E' SAMPLE PLANTING AT BUILDING

SCALE 1" = 10'-0"

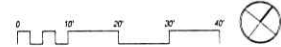
Prepared by:  
**EMERALD** 305 N. Harbor Blvd, Suite 222  
Fullerton, California 92832  
phone: (714) 680-0417  
email: charles@emerald1design.com  
**D E S I G N** web: www.emerald1design.com

**GIAA**  
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4811 Beckwith Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 434 3778  
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DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC  
3151 AIRWAY AVENUE, UNIT#W2  
COSTA MESA, CA 92626  
(714) 918-0515

**EASTVALE BUSINESS PARK**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

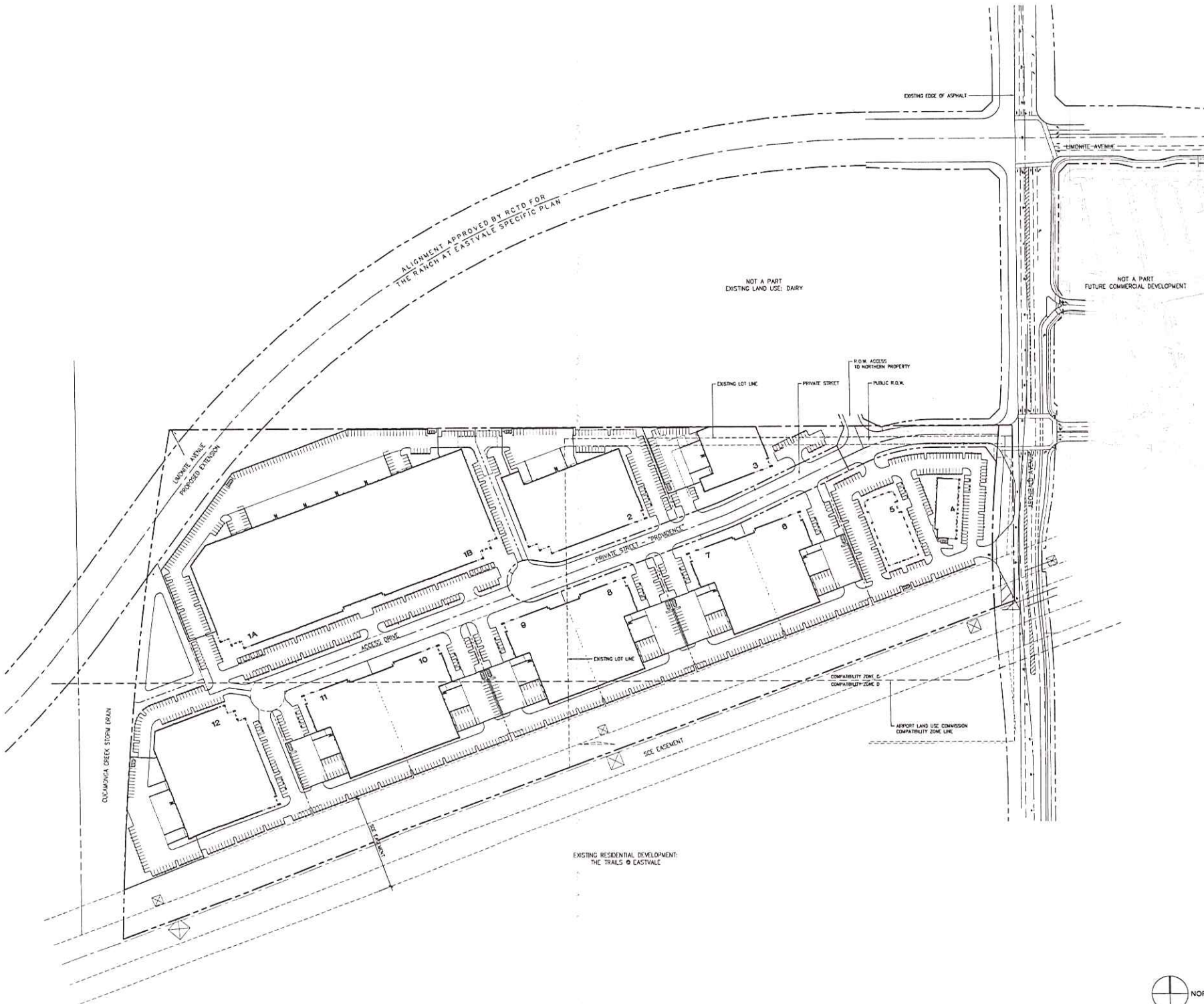
**L6**



Landscape Conceptual Plan  
APRIL 25, 2013

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC



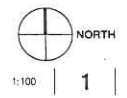
NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

OVERALL SITE PLAN

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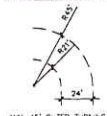
JOB NO. P1006.01  
DATE: 12/07/12  
DRAWN: GAA  
FILE NAME: P1006\_1.0

SHEET NO. A1.0





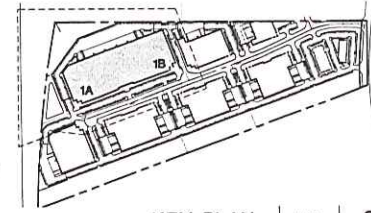
RIVERSIDE PD TURNING RADIUS



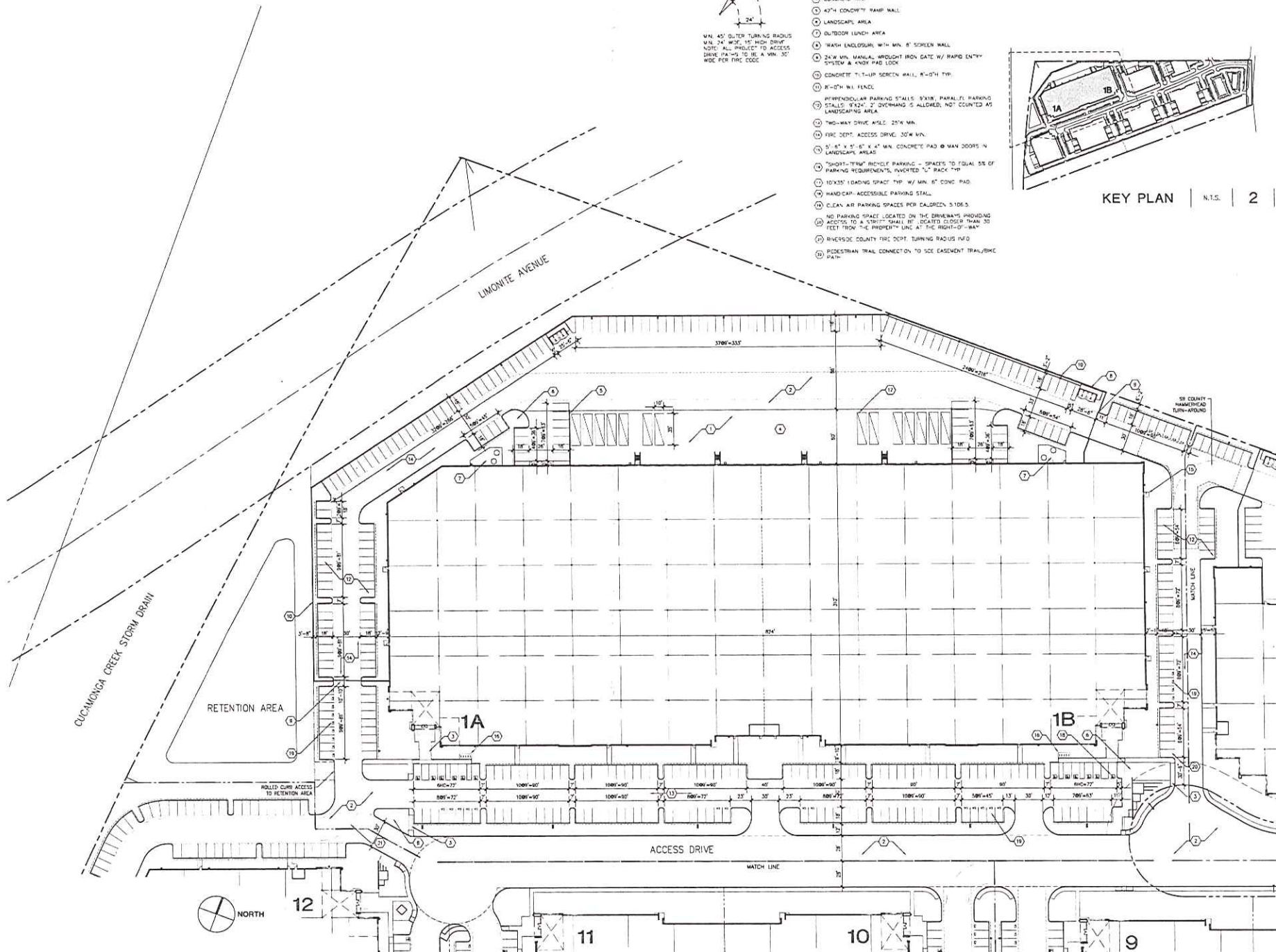
MIN. 45' OUTER TURNING RADIUS  
MIN. 24' WIDE, 15' HIGH DRIVE  
NOTE: ALL IMPACT TO ACCESS  
DRIVE (PA-MS TO BE A MIN. 30'  
WIDE PER FIRE CODE

KEYNOTES - SITE PLAN

- ① 6" THICK MIN. REINFORCED CONCRETE TRUCK APPROX.
- ② ASPHALT
- ③ CONCRETE #4/8"X4"
- ④ CONCRETE #4#8"
- ⑤ 42" CONCRETE RAMP WALL
- ⑥ LANDSCAPE AREA
- ⑦ OUTDOOR LUNCH AREA
- ⑧ WASH ENCLOSURE WITH MIN. 8' SCREEN WALL
- ⑨ 24" MIN. MANUAL W/RIGHT IRON GATE W/ RAPID ENTRY SYSTEM & ANDY PAD LOCK
- ⑩ CONCRETE TILT-UP SCREEN WALL, 8'-0" TYP.
- ⑪ 8'-0" W/ FENCE
- ⑫ PERPENDICULAR PARKING STALLS: 9'X18', PARALLEL PARKING STALLS: 8'X24', 2' OVERHANG IS ALLOWED, NOT COUNTED AS LANDSCAPING AREA
- ⑬ TWO-WAY DRIVE AISLE: 25' MIN.
- ⑭ FIRE DEPT. ACCESS DRIVE: 30' W. MIN.
- ⑮ 5'-8" X 5'-6" X 4" MIN. CONCRETE PAD @ MAN DOORS IN LANDSCAPE AREAS
- ⑯ "SHORT-TRIP" VEHICLE PARKING - SPACES TO EQUAL 5% OF PARKING REQUIREMENTS, PAVED 1.5" RACK TYP.
- ⑰ 10'X35' LEADING SPACE TYP. W/ MIN. 8" CONC. PAD
- ⑱ HAND-CAR ACCESSIBLE PARKING STALL
- ⑲ CLEAN AIR PARKING SPACES PER CALIFORNIA S1065
- ⑳ NO PARKING SPACES LOCATED ON THE BIRKENWAY PROVIDING ACCESS TO A "DRIFT" SHALL BE LOCATED CLOSER THAN 30 FEET FROM THE PROPERTY LINE AT THE RIGHT-OF-WAY
- ㉑ RIVERSIDE COUNTY FIRE DEPT. TURNING RADIUS PFD
- ㉒ PEDESTRIAN TRAIL CONNECTION TO SEE EASEMENT TRAIL/BIKE PATH



KEY PLAN | N.T.S. | 2

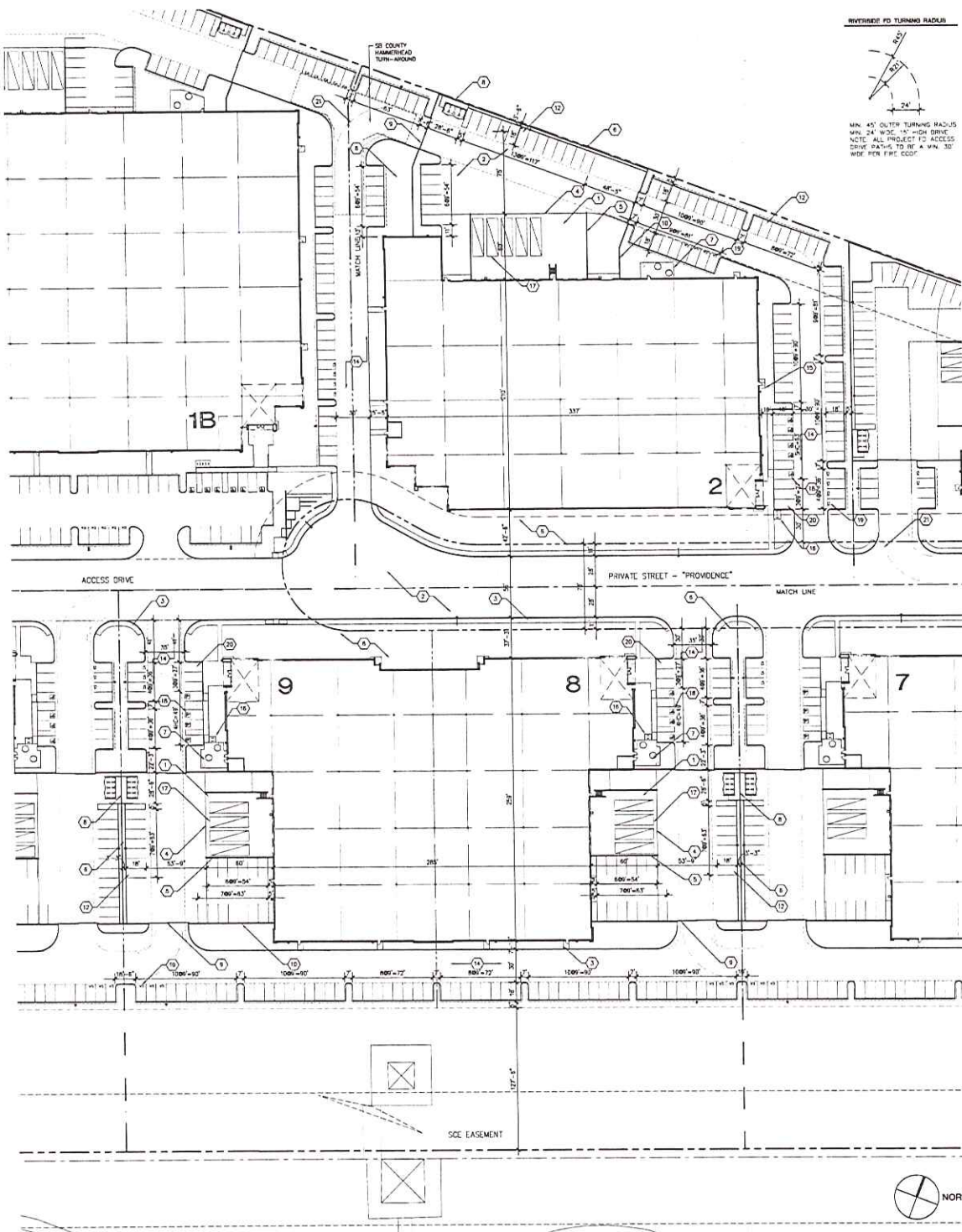


NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

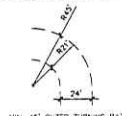
NORTHWEST QUADRANT  
ENLARGED SITE

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JOB NO.:	PROV.BP	SHEET NO.:	A1.2
DATE:	12/07/12		
DRAWN BY:	GAA		
FILE NAME:	PROV.BP_1.2		

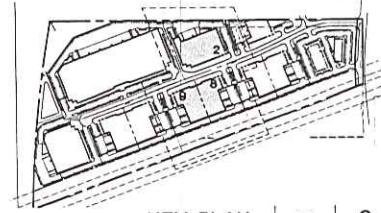


RIVERSIDE PD TURNING RADIUS



KEYNOTES - SITE PLAN

- ① 6" THICK MIN. REINFORCED CONCRETE TRUCK ARRIVAL
- ② ASPHALT
- ③ CONCRETE WALKWAY
- ④ CONCRETE RAMP
- ⑤ 4.5" CONCRETE MANT WALL
- ⑥ LANDSCAPE AREA
- ⑦ OUTDOOR LOUNCH AREA
- ⑧ TRASH ENCLOSURE WITH MIN. 6' SCREEN WALL
- ⑨ 24" W. MIN. MANUAL WROUGHT IRON GATE W/ RAPID ENTRY SYSTEM & HAND PAD LOCK
- ⑩ CONCRETE TILT-UP SCREEN WALL, 8'-0" THK
- ⑪ 8'-0" W. FENCE
- ⑫ PERPENDICULAR PARKING STALLS 8'X12', PARALLEL PARKING STALLS 8'X24'. 2' OVERHANG IS ALLOWED, NOT COUNTED AS LANDSCAPING AREA.
- ⑬ TWO-WAY DRIVE ANGLE: 25° MIN.
- ⑭ FIRE DEPT. ACCESS DRIVE: 30' W. MIN.
- ⑮ 5'-6" X 5'-4" X 4" MIN. CONCRETE PAD @ MAN DDORS IN LANDSCAPE AREAS
- ⑯ "50-DIT-TEN" BICYCLE PARKING - SPACES TO EQUAL 5% OF PARKING REQUIREMENTS, INVERTED "U" BACK THY
- ⑰ 15'X35' LOADING SPACE THY: 4' MIN. 4" CONC. PAD
- ⑱ HANDBICAP-ACCESSIBLE PARKING STALL
- ⑲ CLEAN AIR PARKING SPACES PER CALIFORNIA 3.106.5
- ⑳ NO PARKING SPACE LOCATED ON THE DRIVEWAYS PROXIMOUS ACCESS TO A STREET SHALL BE LOCATED CLOSER THAN 30 FEET FROM THE PROPERTY LINE AT THE MID-OF-WAY
- ㉑ RIVERSIDE COUNTY FIRE DEPT. TURNING RADIUS 45'0"
- ㉒ PEDESTRIAN TRAIL CONNECTION TO SCE EASEMENT TRAIL/SHE PATH



KEY PLAN | N.T.S. | 2



8811 Research Drive,  
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PROVIDENCE BUSINESS PARK  
MASTER PLAN

ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

MIDDLE QUADRANT  
ENLARGED SITE

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JOB NO. PCD09.01	SHEET NO.
DATE: 12/07/12	A1.3
DRAWN: GAA	
FILE NAME: PCD09_1.3	

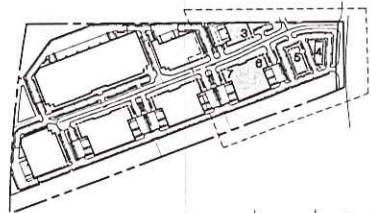
MINIMUM 45' TURNING RADIUS



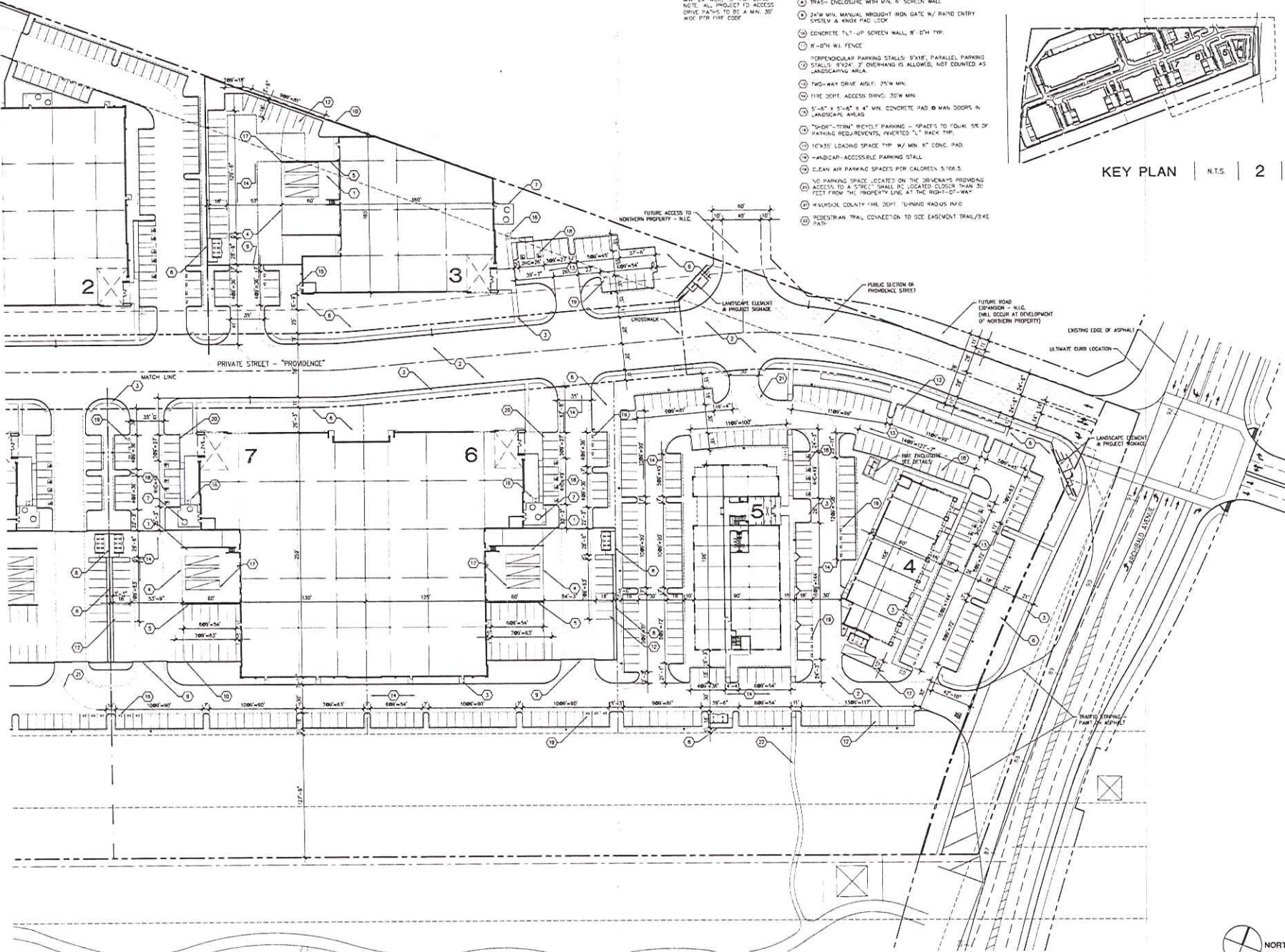
MIN. 45' OUTER TURNING RADIUS  
MIN. 24' WIDE, 12" HIGH DRIVE  
NOTE: ALL PROJECT TO ACCESS  
DRIVE PATHS TO BE A MIN. 30'  
WIDE PTH PER CODE

KEYNOTES - SITE PLAN

- 1 4" THICK MIN. REINFORCED CONCRETE TRUCK APRON
- 2 ASPHALT
- 3 CONCRETE WALKWAY
- 4 CONCRETE RAMP
- 5 42" CONCRETE RAMP WALL
- 6 LANDSCAPE AREA
- 7 OUTDOOR LUNCH AREA
- 8 TRASH ENCLOSURE WITH MIN. 4' SCREEN WALL
- 9 24" MIN. MANUAL BROUGHT IRON GATE W/ RAMP ENTRY SYSTEM & KNOX PAD LOCK
- 10 CONCRETE FLT-UP SCREEN WALL, 8'-0" H. TYP.
- 11 8'-0" W. FENCE
- 12 PERPENDICULAR PARKING STALLS: 8'x16', PARALLEL PARKING STALLS: 8'x24'. 2' OVERHANG IS ALLOWED, NOT COUNTED AS LANDSCAPING AREA
- 13 TWO-WAY DRIVE ARS: 25' W. MIN.
- 14 FIVE-DEPT. ACCESS DRIVE: 35' W. MIN.
- 15 5'-0" X 5'-0" X 4" MIN. CONCRETE PAD @ MAN. DOORS IN LANDSCAPING AREAS
- 16 "SHORT-TERM" RECYCLE PARKING - SPACES TO EQUAL 5% OF PARKING REQUIREMENTS, INVERTED "L" RACK TYP.
- 17 10'x35' LOADING SPACE TYP. W/ MIN. 8" CONC. PAD.
- 18 -AND-CAR-ACCESSIBLE PARKING STALL
- 19 CLEAN AIR PARKING SPACES PER CALGREEN 5100.5.
- 20 NO PARKING SPACE LOCATED ON THE DRIVEWAYS PROVIDING ACCESS TO A "STREET" SHALL BE LOCATED CLOSER THAN 30 FEET FROM THE PROPERTY LINE AT THE RIGHT-OF-WAY
- 21 WENSON COUNTY FIRE DEPT. TURNING RADIUS INFO
- 22 PEDESTRIAN TRAIL CONNECTION TO SIDE EASEMENT TRAIL/BIKE PATH



KEY PLAN | N.T.S. | 2



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PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880  
DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

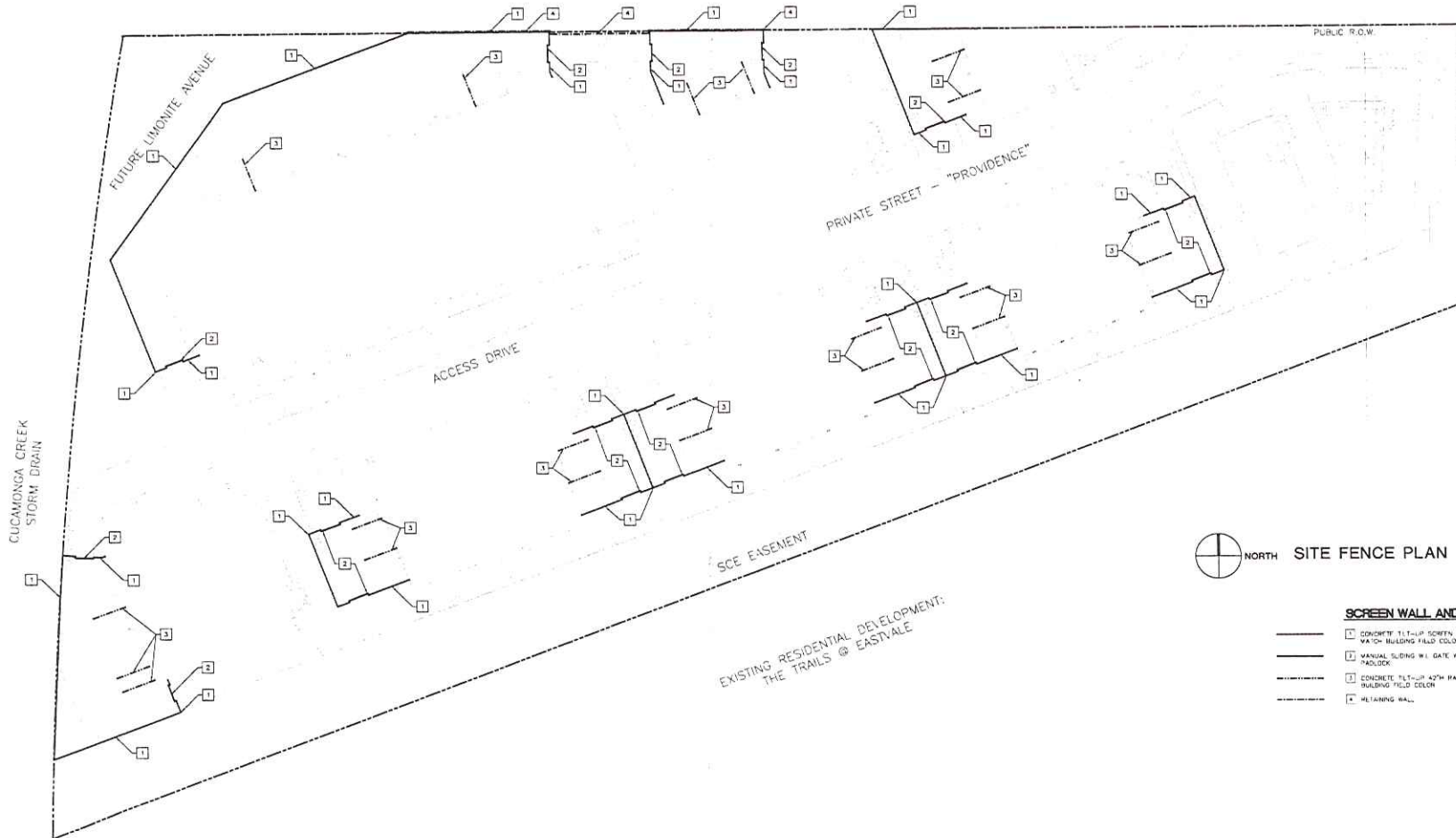
EAST QUADRANT  
ENLARGED SITE

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ZONING = A-2-10  
LAND USE = DAIRY



NORTH SITE FENCE PLAN

1/80 1

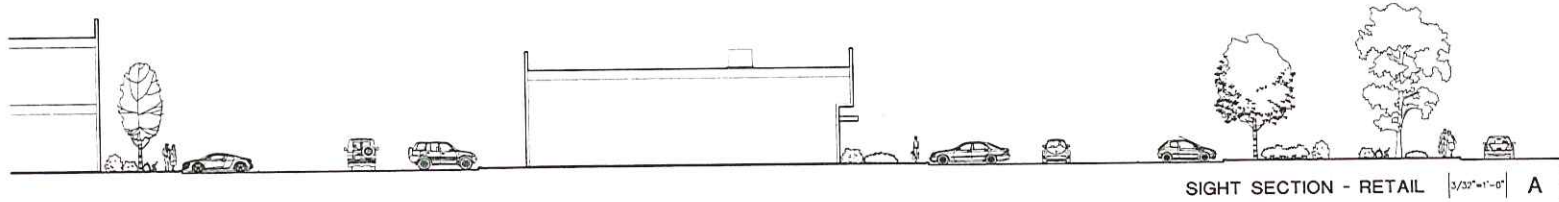
**SCREEN WALL AND FENCE LEGEND**

- 1 CONCRETE TILT-UP SCREEN WALL - 8' HIGH, PAINT TO MATCH BUILDING FIELD COLOR
- 2 MANUAL SLIDING W/ GATE W/ RAPID ENTRY SYSTEM, KEYS PADLOCK
- 3 CONCRETE TILT-UP 42" RAMP WALL - PAINT TO MATCH BUILDING FIELD COLOR
- 4 RETAINING WALL

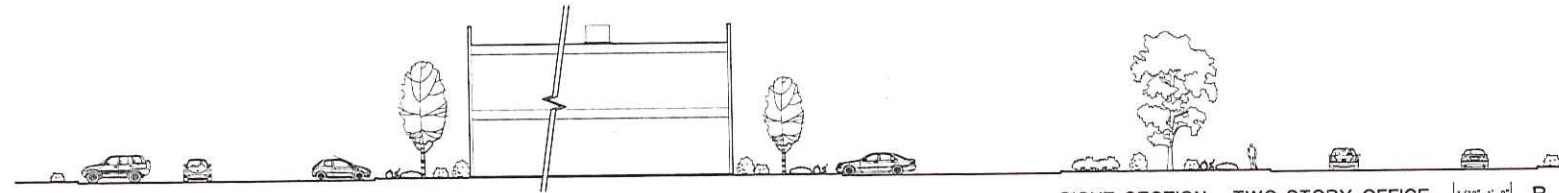
NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-17
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-18

SITE WALL & FENCE PLAN

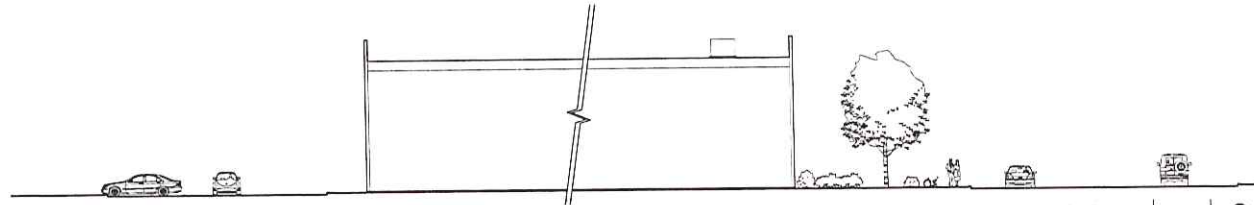
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SIGHT SECTION - RETAIL | 3/32"=1'-0" | A |



SIGHT SECTION - TWO-STORY OFFICE | 3/32"=1'-0" | B |



SIGHT SECTION - TYP. INDUSTRIAL | 3/32"=1'-0" | C |



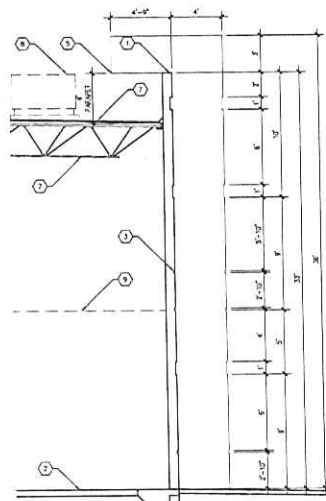
KEYPLAN | N.T.S. | 1 |

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ARCHITECTS

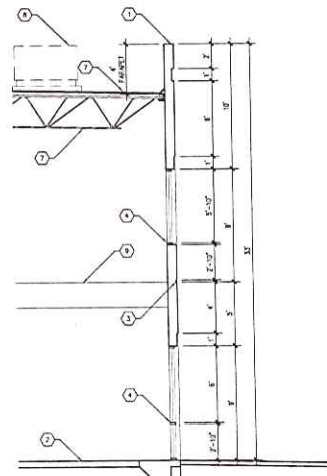
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PROVIDENCE BUSINESS PARK  
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EASTVALE, CA 92880

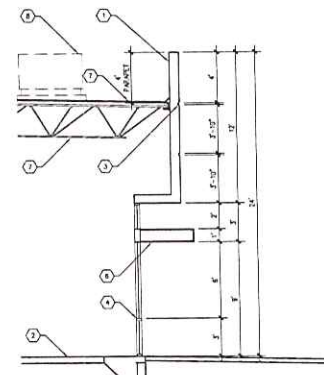
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PROVIDENCE ARCHIBALD, LLC



INDUSTRIAL | 1/4"=1'-0" | 4 |



TWO-STORY OFFICE | 1/4"=1'-0" | 3 |



RETAIL | 1/4"=1'-0" | 2 |

**KEYNOTES - SECTIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED)
- 2 CONCRETE FOUNDATION & SLAB
- 3 2" x 4" PALLAS REVEAL "Y" ALL REVEALS TO HAVE A MAX OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
- 4 ALUMINUM WINDOW/DOOR SYSTEM, TYPICAL GLAZING @ ALL REVEALS, SIGHTLIGHTS ADJ. TO SLOPE, AND GLAZING WITH BOTTOMS LESS THAN 18" ADJ. 1:1.
- 5 CONCRETE PARAPET RETURN
- 6 ALUMINUM CANYON - SEE FLOOR PLAN FOR LOCATIONS
- 7 METAL TRUSS & ROOF SYSTEM
- 8 ROOF TOP MECHANICAL EQUIPMENT - ACTUAL LOCATIONS TBD. SHALL BE FULLY SCREENED FROM VIEW.
- 9 MEZZANINE / SECOND FLOOR - REFER TO FLOOR PLANS

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

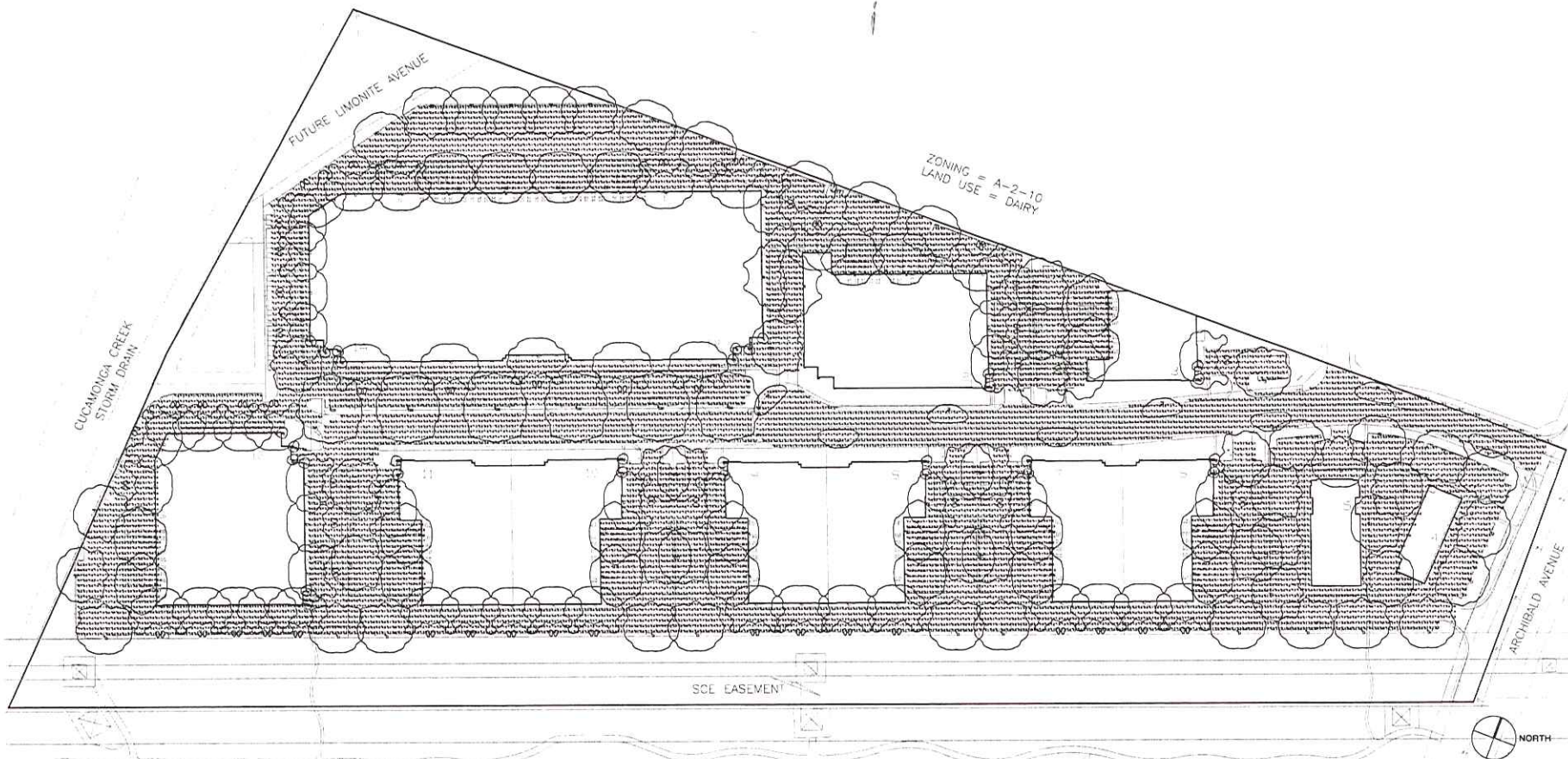
**SIGHT ANALYSIS  
BUILDING SECTIONS**

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JOB NO.	PROV08-01	SHEET NO.
DATE:	12/01/12	<b>A18</b>
DRAWN:	GAA	
FILE NAME:	PROV08_18	

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880  
  
DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

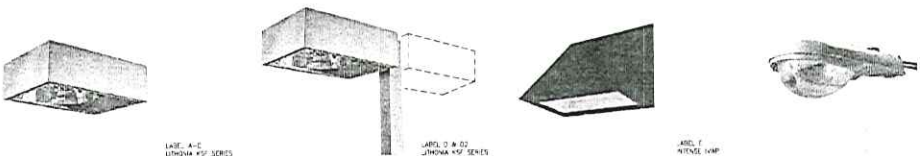


SITE PHOTOMETRICS 1:80 1

Item	Qty	Model/Brand	Notes	Notes	Notes	Notes
1	1	... ..	...	...	...	...
2	1	... ..	...	...	...	...
3	1	... ..	...	...	...	...
4	1	... ..	...	...	...	...
5	1	... ..	...	...	...	...
6	1	... ..	...	...	...	...
7	1	... ..	...	...	...	...
8	1	... ..	...	...	...	...
9	1	... ..	...	...	...	...
10	1	... ..	...	...	...	...

STATISTICS

Category	Count	Area	Per	Per	Per	Per
Area (Total)	...	...	...	...	...	...
Public Area	...	...	...	...	...	...
...	...	...	...	...	...	...

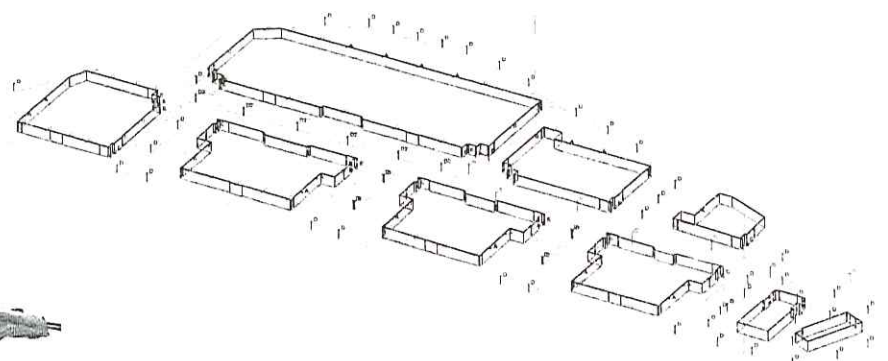


LAMP 4-E  
LUMINA P57 SERIES

LAMP 2 & 3  
LUMINA P57 SERIES

LAMP 1  
MITSUBISHI

LAMP 5  
APPLICABLE ILLUMINANCE  
TO COMPLY WITH CITY/COUNTY  
PUBLIC STREET STANDARDS



AXONOMETRIC LIGHTING PLAN 1:15 2

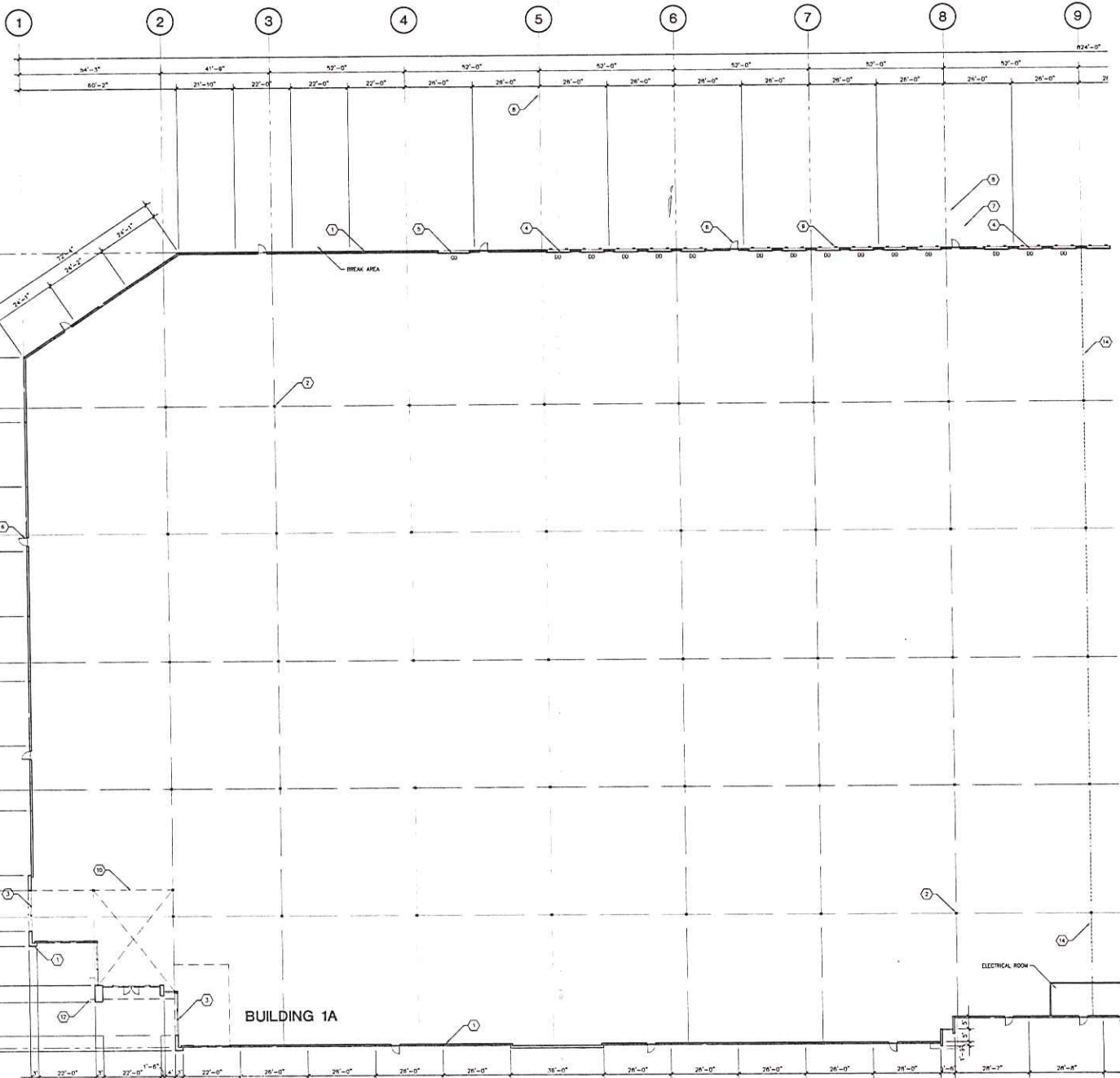
NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

SITE PHOTOMETRIC LIGHTING PLAN

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JOB NO. P2008103 SHEET NO. A1.9  
DATE: 12/01/12  
DRAWN: GAA  
FILE NAME: P2008 1.9





- KEYNOTES - FLOOR PLAN**
- (1) CONCRETE 7.5"-10" PANEL
  - (2) STRUCTURAL STEEL COLUMN
  - (3) TYPICAL STOREFRONT SYSTEM W/ GLAZING
  - (4) 6" x 4" 10'-0" DOOR - HIGH SECTIONAL VERTICAL-LIFT DOOR
  - (5) 12" x 7" HOLLOW METAL DOOR - MAY DOOR
  - (6) CONCRETE 5" x 4" W/ HANDRAIL AND 4" x 10" GLAZIAL
  - (7) 52" CONCRETE-FILLED GUARD POST, 8" DIA. U.N.O. PANEL BR/1" SLIPON
  - (8) SIDE BLOWER - LENGTH PER MFR RECOMMENDATION
  - (9) PROPOSED MALLZANNE
  - (10) PROPOSED GROUND FLOOR OFFICE
  - (11) ALUMINUM CANOPY
  - (12) CONCRETE FIRE WALL CENTERED ON PROPERTY LINE EXTENDING 30' ABOVE ROOF LEVEL
  - (13) SEWING WALL TO LATERSECT OF SIDC OF ROOF

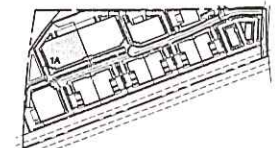
- GENERAL NOTES - FLOOR PLAN**
- A. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE W/ FIRE ACCESS WAYS 2000'S @ 100' O.C. WAY. A SEPARATE PLAN WILL BE REQUIRED FOR ANY PACKING/CONVEYOR SYSTEM. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
  - B. THE BUILDING FLOOR SLAB IS FLAT. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
  - C. FLOOR SLAB SHALL BE SEALED WITH "FISHBOND FORMULA" FLOOR HARDENER OR APPROVED EQUAL.
  - D. BARRICADE INTERIOR CONCRETE WALLS TO BE PAINTED WHITE COULANS TO RECEIVE PAINT ONLY. ALL EXP. JOINTS SHALL BE RECEIVE A COAT OF WHITE TO SOLAR.
  - E. FLOOR HOUR STRIP 4" x 3" TO EXTERIOR AT ALL PERSONAL FIXTURES. SEE "C" DRAWINGS FOR HOUR STRIP LOCATION.
  - F. ALL BRICKWORK ARE TO FACE OF CONCRETE PANEL WALL OUTLINE OR FACE OF FINISHED WALL LINE.

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**PROVIDENCE BUSINESS PARK  
 MASTER PLAN  
 ARCHIBALD AVENUE  
 EASTVALE, CA 92880**  
 DEVELOPED FOR:  
 PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION WORK SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

BUILDING 1A FLOOR PLAN



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JOB NO. PCD0019	SHEET NO. A2.1A
DATE: 12/07/12	
DRAWN: GAA	
FILE NAME: PCD001_2.1A	

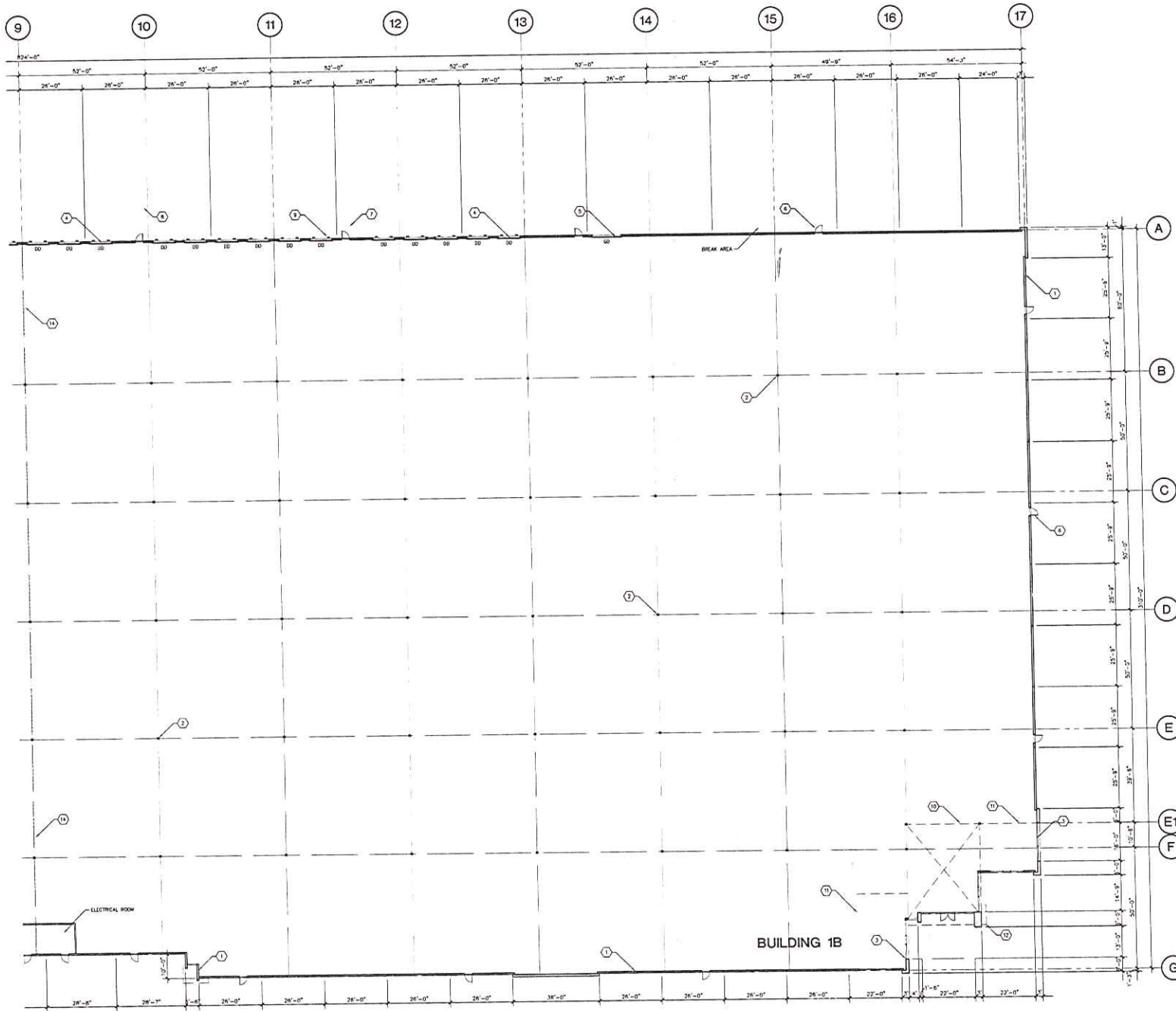


**KEYNOTES - FLOOR PLAN**

- 1 CONCRETE TIE-UP PANEL
- 2 STRUCTURAL STEEL COLUMN
- 3 TYPICAL STRENGTH SYSTEM W/ GLAZING
- 4 8" W X 10" 100#-HIGH SECTIONAL VERTICAL-LIFT DOOR
- 5 17" X 14" METAL OVERHEAD GRADE DOOR
- 6 3' X 7' HOLDUP METAL DOOR - MAN DOOR
- 7 CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GLASS RAIL
- 8 4.5" W CONCRETE-FILLED SQUARE POST, 8" DIA. UNID. "HAWK" SAFETY YELLOW
- 9 DOOR BUMPER - LENGTH PER WFR RECOMMENDATION
- 10 PROPOSED MEZZANINE
- 11 PROPOSED GROUND FLOOR OPENING
- 12 ALUMINUM CANTY
- 13 CONCRETE FIRE WALL CENTERED ON PROPERTY LINE EXTENDING 30" ABOVE ROOF LEVEL
- 14 DEMISING WALL TO LENGTH/USE OF SIDE OF HOOD

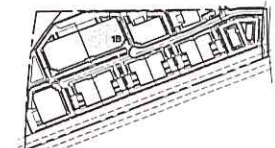
**GENERAL NOTES - FLOOR PLAN**

- A THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE W/ FIRE ACCESS MAN DOORS @ 100' C.C. MAX. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY HANDING/CONVICTION EXTERIOR FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- B THE BUILDING FLOOR SLAB IS FLAT. SEE "D" DRAWINGS FOR THEIR SURFACE ELEVATIONS.
- C FLOOR SLAB SHALL BE SEALED WITH "ASHFORD FORMULA" FLOOR FINISHES BY APPROVED EQUAL.
- D WAREHOUSE FURNISH CONCRETE WALLS TO BE PAINTED WHITE. COLUMNS TO RECEIVE PRIMER ONLY. ALL OTH. HD. WALLS TO RECEIVE 1 COAT OF WHITE TO COVER.
- E FLOOR FINISH SHALL BE 1/2" G. EXCEPT AT ALL INTERNAL CORNERS. SEE "D" DRAWINGS FOR ROW STRIP LOCATION.
- F ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, CEILING, OR FACE OF FINISHED WALL, U.N.C.



NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

BUILDING 1B  
FLOOR PLAN

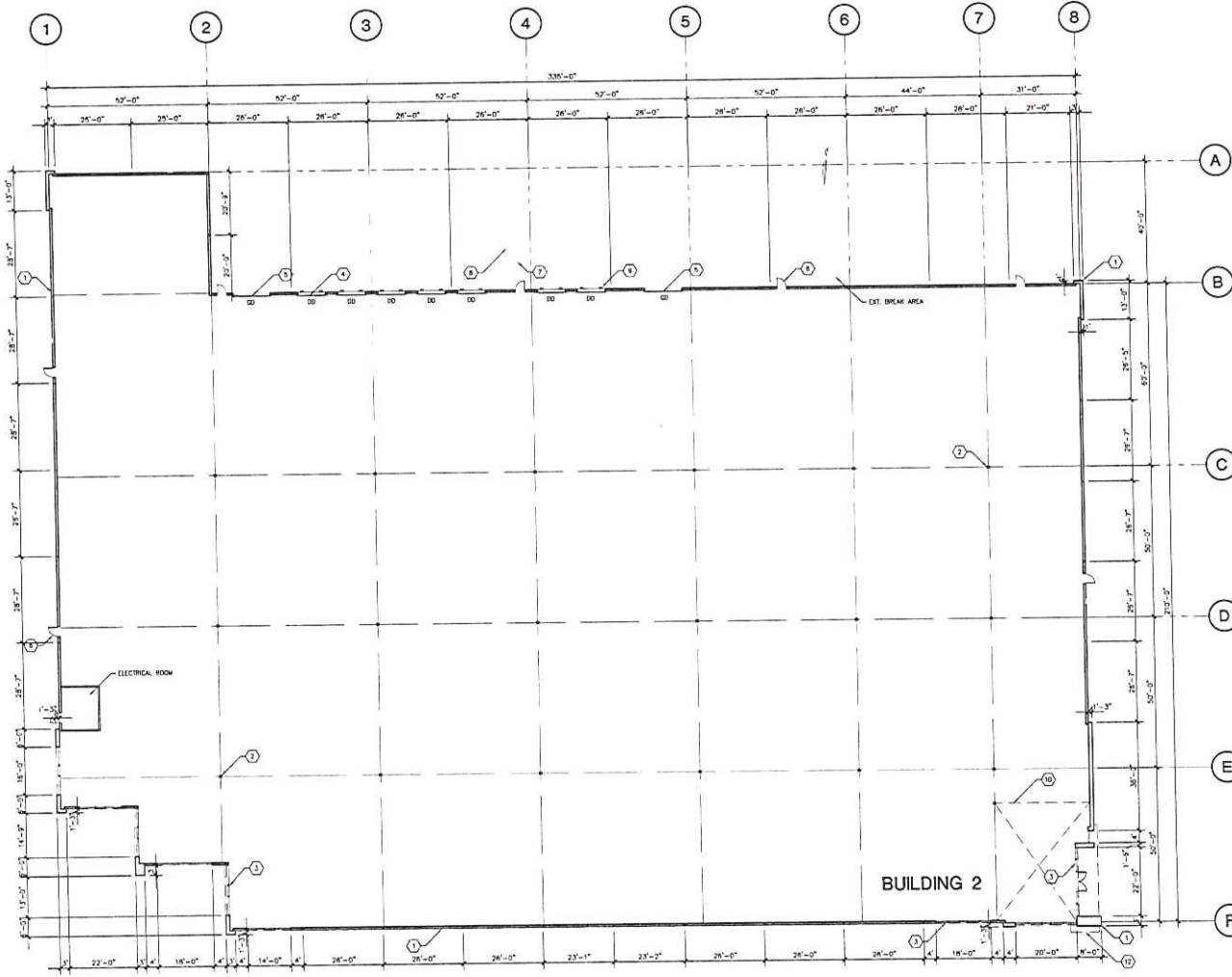


**KEYNOTES - FLOOR PLAN**

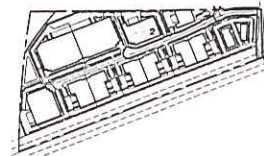
- ① CONCRETE 5.5" THICK RAMP
- ② STRUCTURAL STEEL COLUMN
- ③ 1" X 1" CA. STOREFRONT SYSTEM W/ GLAZING
- ④ 12" X 14" DOCK-HIGH SECTIONAL VERTICAL LIFT DOOR
- ⑤ 12" X 14" METAL OVERHEAD TRUCK DOOR
- ⑥ 7' X 7' HOLLOW METAL DOOR - MAIN DOOR
- ⑦ CONCRETE STAR W/ HANDRAIL AND 42" HIGH GLASSRAIL
- ⑧ 42" CONCRETE-FILLED GUARD POST, 6" DIA. U.N.C. PANEL, 8" DIA. "Y" NAILGUN
- ⑨ DOCK BUMPER - LENGTH PER MFR. RECOMMENDATION
- ⑩ PROPOSED GROUND FLOOR OFFICE
- ⑪ ALUMINUM CANTY
- ⑫ CONCRETE FIRE WALL, CENTERED ON PROPERTY LINE EXTENDING 30" ABOVE ROOF LEVEL
- ⑬ DENISING WALL TO UNDERSIDE OF ROOF OF ROOF

**GENERAL NOTES - FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE W/ FIRE ACCESS MAIN DOORS @ 100' O.C. MAX. A SEPARATE PLAN WILL BE REQUIRED FOR ANY TRACKING/ELEVATOR SYSTEMS. FIRE HOSE LOCATIONS SHALL BE APPROVED PER THE DEPARTMENT.
- B. THE RAILING FLOOR SLAB IS FLAT. SEE "IC" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- C. FLOOR SLAB SHALL BE SEALED WITH "ASHFORD FORMULA" FLOOR HARDENER OR APPROVED EQUAL.
- D. WAREHOUSE INTERIOR CONCRETE WALLS TO BE PAINTED WHITE TO MATCH EXTERIOR. EXTERIOR WALLS TO BE PAINTED WHITE TO MATCH EXTERIOR. ALL DOOR JOIST WALLS TO BE PAINTED 1 COAT OF WHITE TO CORNER.
- E. SLOPE ROOF SYSTEM 1/2" TO CENTERLINE AT ALL PERSONAL FIXTURES. SEE "IC" DRAWINGS FOR ROOF STRUCTURE LOCATION.
- F. ALL EXTERIORS ARE TO FACE OF CONCRETE PANEL WALL, GROUND, OR FACE OF FINISHED WALL U.N.C.



NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-13



BUILDING 2  
FLOOR PLAN





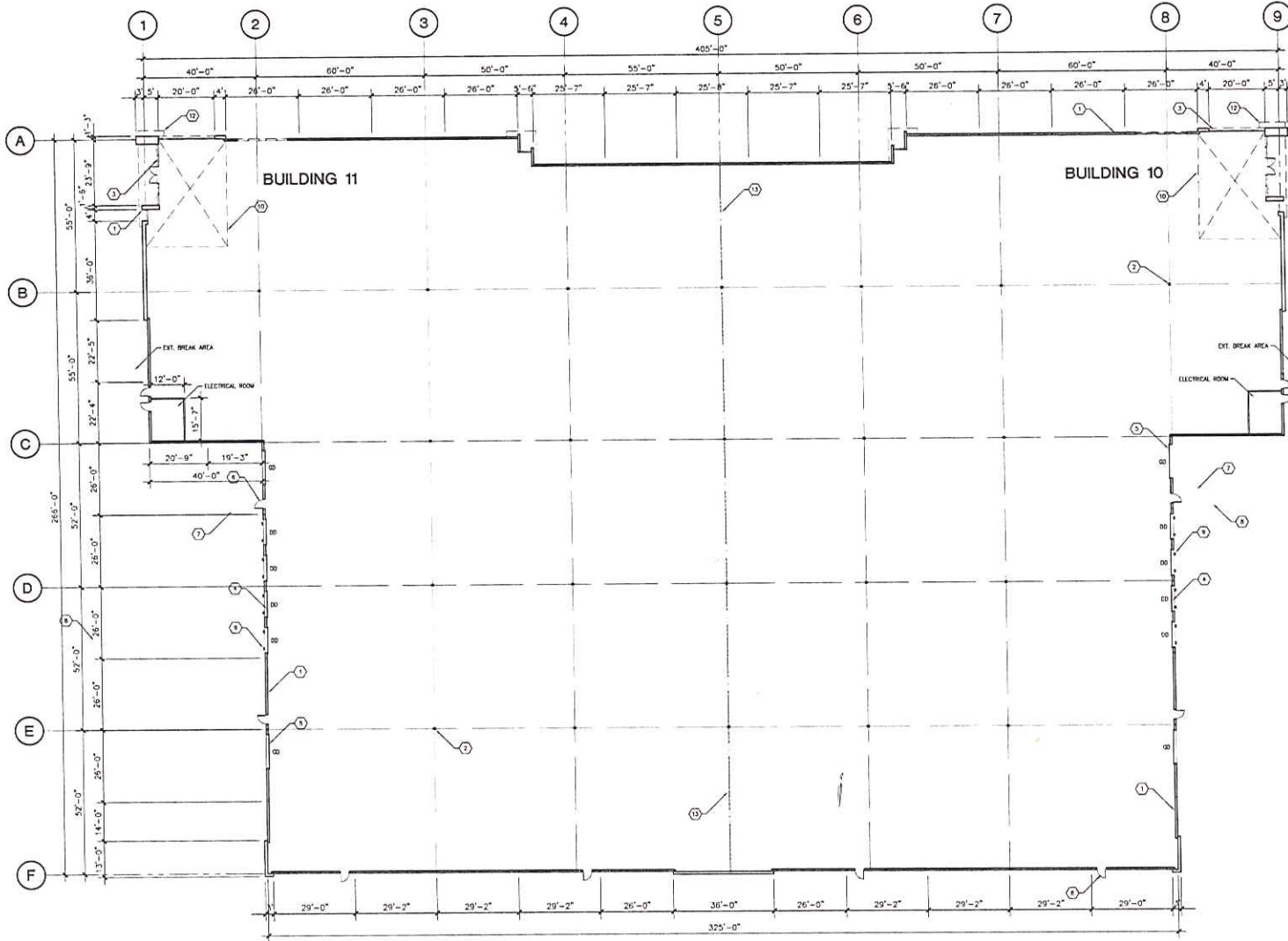












**KEYNOTES - FLOOR PLAN**

- ① CONCRETE FLOOR PANEL
- ② STRUCTURAL STEEL COLUMN
- ③ TYPICAL STORMFRONT SYSTEM W/ GLAZING
- ④ 8" W X 10" DECK - HIGH SECTIONAL VERTICAL LIFT DOOR
- ⑤ 12" W X 14" METAL OVERHEAD CHASE DOOR
- ⑥ 3' X 7' HOLLOW METAL DOOR - MAN DOOR
- ⑦ CONCRETE STAIR W/ HANDRAIL AND 42" HIGH GUARDRAIL
- ⑧ 4" GENERAL-FILLED GUARD FDS; 8" OR W.L.D. PANEL; 5/8" L"Y "YELLOW"
- ⑨ DOOR BUMPOR - LENGTH PER MFR RECOMMENDATION
- ⑩ PROPOSED MIZZANA
- ⑪ PROPOSED GROUND FLOOR OFFICE
- ⑫ ALUMINUM CANOPY
- ⑬ CONCRETE FIRE WALL, CENTERED ON PROPERTY LINE EXTENDING 30' ABOVE ROOF LEVEL
- ⑭ CURBSIDE WALL TO ADJACENT SIDE OF ROOF

**GENERAL NOTES - FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH-PILE STORAGE W/ FIRE ACCESS VAN DOORS @ 100' O.C. MAX. A SUPPLEMENTAL PLAN WILL BE REQUIRED FOR ANY PACKAGING/CONVEYOR SYSTEMS. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- B. THE BUILDING FLOOR SLAB IS FLAT. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- C. FLOOR SLAB SHALL BE SEALED WITH "ASHFORD FORMULA" FLOOR HARDENER FOR APPROVED EQUAL.
- D. WAREHOUSE INTERIOR CONCRETE WALLS TO BE PAINTED WHITE GLOUBS TO RECEIVE PRIMER ONLY. ALL EMP. SIG. WALLS TO RECEIVE 1 COAT OF WHITE TO COVOR.
- E. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL PERSONAL FINIS. 5/8" "C" DRAWING FOR POUR STRIP LOCATION.
- F. ALL DIMENSIONS ARE TO FACE OF CONCRETE PANEL WALL, GROUND, OR FACE OF FINISHED WALL, L.I.N.S.

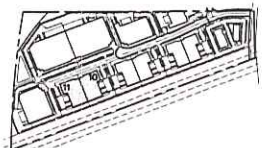
**G|A|A**  
ARCHITECTS

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Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
△	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
△	DEVELOPMENT REVIEW SUBMITTAL	5-8-13



BUILDINGS 10 & 11  
FLOOR PLAN

ALL DIMENSIONS AND NOTATION APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNREVISED WORK OF THE ARCHITECT AND THE SAME SHALL NOT BE CONSIDERED VALID UNLESS THEY BE APPROVED BY THE ARCHITECT.

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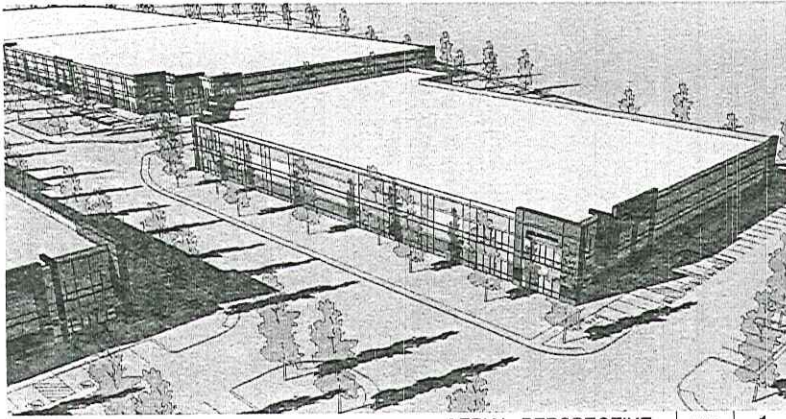
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DATE:	12/07/12	DRAWN:	GAA
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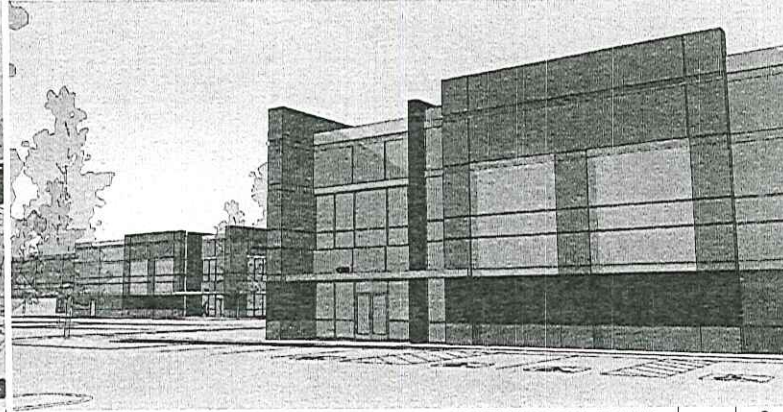








AERIAL PERSPECTIVE | N.T.S. | 1



ENTRY PERSPECTIVE | N.T.S. | 2

**KEYNOTES - ELEVATIONS**

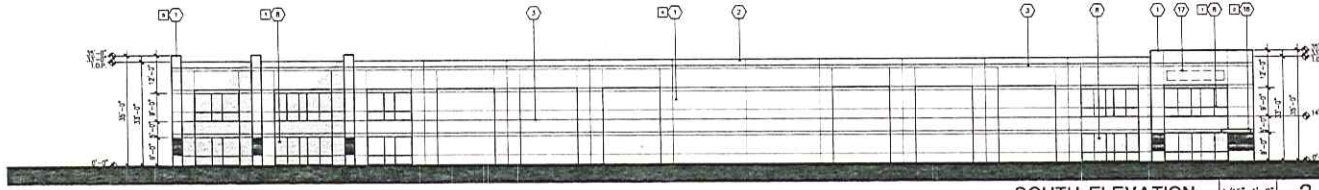
- (1) CONCRETE TILT-UP PANEL (PAINTED)
- (2) PANEL JOINT
- (3) PANEL REVEAL. ALL REVEALS TO HAVE A MAX OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
- (4) 3' X 7' HOLLOW METAL DOOR, MAIN DOOR.
- (5) 6" W X 15" DOOR-HIGH SECTIONAL LIFT DOOR
- (6) 12" W X 14" W X 1" H METAL OVERHEAD SHADE DOOR.
- (7) DOOR BLUMER TO BE A MIN OF 4" DEEP OR IF SUFFICIENT SIZE REQUIRED TO KEEP TRUCK FROM HITTING JAMB PANEL.
- (8) ALUMINUM STEPHENSON FRAMING W/ IMPREGIATED GLAZING. ALL DOORS, WINDOWS, AND GLAZING WITH SECTIONS LESS THAN 14" MIN. FT.
- (9) CONCRETE STAIR, LANDING, AND METAL RISC RAILING.
- (10) CONCRETE RAMP W/ 4" THICK CONCRETE GUARD RAIL, BOTH SIDES.
- (11) EXT. METAL DOWNSPUT W/ OVERFLOW SCUPPER.
- (12) INT. ROOF DRAIN W/ OVERFLOW SCUPPER.
- (13) BUILDING ADDRESS PER FIRE DISTRICT POLICY.
- (14) CONCRETE PARAPET RETURN.
- (15) CONCRETE TILT-UP SCREEN WALL.
- (16) ALUMINUM CANOPY.
- (17) BUILDING SIGNAGE.

**GENERAL NOTES - ELEVATIONS**

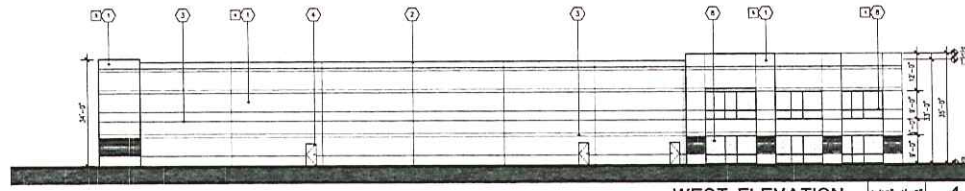
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEALS, UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET ELEVATION.
- D. FINISH FLOOR ELEVATION.
- E. SIDEFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS, AND LIFELINES SHALL BE DOGGED TO SECT 90 WITH LAPSPURSE "C" MINUS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT CONCRETE PANELS W/ AT LEAST THREE (3) ALTERNATE COLORS SPECIFIED BY ARCHITECTS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING BEHAVIOR OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. BUILDING ADDRESS SIGN 18" HIGH. HIGH DENSITY 1/4" HELIOTICA BOLD W/ 1/8" PVC FACES. ELEVATION WALL COLOR TO MATCH COMPARING ADJACENT FIELD ON BUILDING.

**COLOR SCHEDULE / MATERIALS**

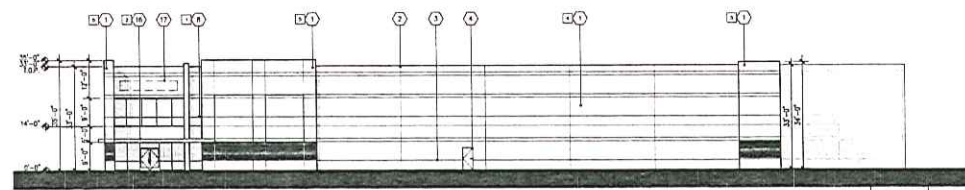
- (1) GLAZING COLOR CLEAR
- (2) GRADY COLOR CLEAR ANODIZED ALUMINUM
- (3) WALL OVER COLOR CLEAR ANODIZED ALUMINUM
- (4) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211
- (5) TILT-UP PANEL 6" MIN. REVEAL - MAIN ACCENT, DE3228
- (6) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211
- (7) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211
- (8) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211
- (9) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211
- (10) CONCRETE 2-1/2" THICKNESS PAINT "FINE GRAY" MED. GREY DE3211



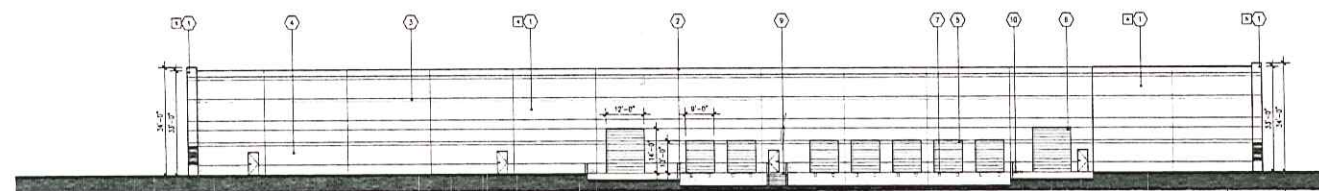
SOUTH ELEVATION | 1/16"=1'-0" | 3



WEST ELEVATION | 1/16"=1'-0" | 4



EAST ELEVATION | 1/16"=1'-0" | 5



NORTH ELEVATION | 1/16"=1'-0" | 6

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

BUILDING 2  
ELEVATIONS

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREON CONSTITUTE THE ORIGINAL AND UNREPRODUCED WORK OF THE ARCHITECT AND THE SAME MAY BE REPRODUCED ONLY BY WRITTEN PERMIT OF THE ARCHITECT.

JOB NO.	PIC000.00	SHEET NO.
DATE	12/03/12	A4.2
DRAWN BY	GAA	
FILE NAME:	PIC000.4.2	





AERIAL PERSPECTIVE | N.T.S. | 1



ENTRY PERSPECTIVE | N.T.S. | 2

**KEYNOTES - ELEVATIONS**

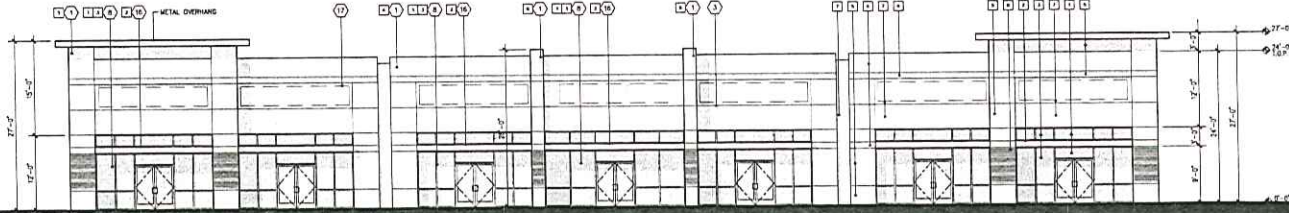
- ① CONCRETE TILT-UP PANEL, (PAINTED)
- ② PANEL JOINT
- ③ PANEL REVEAL - ALL REVEALS TO HAVE A MAX OF 3/8" CHAMFER REVEAL, EXCEPT TO MATCH ADJACENT HOLD COLOR.
- ④ 3" x 3" FOLLOW METAL DOOR, MAIN DOOR
- ⑤ 9" W X 10" DEEP - HIGH SECTIONAL VERTICAL LIFT DOOR
- ⑥ 12" W X 14" W METAL OVERHEAD GRAB - DOOR
- ⑦ DOOR BUMPER TO BE A MIN OF 4" DEEP OR 4" DEEP OR OF SUFFICIENT SIZE REQUIRED TO KEEP THICK FROM HITTING UPPER PANEL.
- ⑧ ALUMINUM SIGNED/BLIND FRAMING W/ TEMPERED GLAZING OR GLASS DOORS, WINDOWS, TO DOORS, AND GLAZING W/ M BOTTOMS LESS THAN 18" AFF. F.F.
- ⑨ CONCRETE STAIR, LANDING, AND METAL FIRE RAILING.
- ⑩ CONCRETE RAMP W/ 42" CONCRETE GUARD WALL BOTH SIDES.
- ⑪ EXT. METAL DOWNSPUT W/ OVERFLOW SCUPPER
- ⑫ INT. ROOF DRAIN W/ OVERFLOW SCUPPER
- ⑬ BUILDING ADDRESS PER FIRE DISTRICT POLICY
- ⑭ CONCRETE PARAPET RETURN
- ⑮ CONCRETE TILT-UP SCREEN WALL
- ⑯ ALUMINUM CANYON
- ⑰ BUILDING SIGNAGE

**GENERAL NOTES - ELEVATIONS**

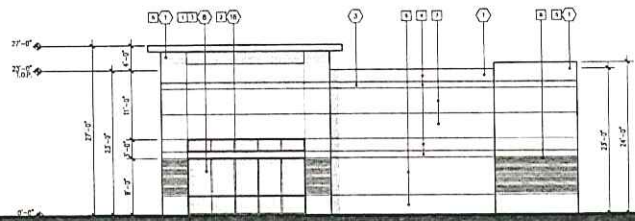
- A. ALL PAINT COLOR CHANGES TO OCCUR AT 90° CORNERS AND REVEALS, UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. F.P. = TOP OF PARAPET ELEVATION
- D. F.F. = FINISH FLOOR ELEVATION, GLASS, METAL ATTACHMENTS, AND LYNDS, SIMILAR, BE DECIDED TO RESIST 90 MPH EXPOSURE, 10" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT CONCRETE PANELS W/ AT LEAST THREE (3) ALTERNATE COLORS SPECIFIED BY ARCHITECTS, ARCHITECT AND OWNER SHALL APPROVE FINISH TO MATCHING REQUIREMENTS OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. BUILDING ADDRESS SIGN, 18"x24" HIGH HIGH RESISTIVE 1/4" OAK "MILNERA 8002" W/ 1/8" FINI FACED, EROD TO WALL COLOR TO MATCH CONTRASTING ACCENT COLOR ON BUILDING.

**COLOR SCHEDULE / MATERIALS**

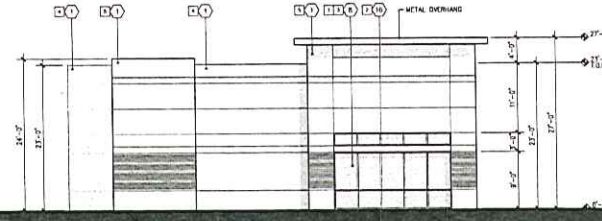
- 1 GLAZING COOL GRAY
- 2 CANYON COLORED CLEAR ANODIZED ALUMINUM
- 3 MILLIONS COLORED CLEAR ANODIZED ALUMINUM
- 4 CONCRETE DUKE EMERALD PAINT 9741 WHITE 1001 DRY, 312113
- 5 CONCRETE DUKE EMERALD PAINT 10500 BLACK - 3048 DRY, 121210
- 6 TILT-UP PANEL BERRY ALUMINUM 8000 ACCENT, 012008
- 7 CONCRETE DUKE EMERALD PAINT 9741 WHITE, 1001 DRY, 312113
- 8 CONCRETE DUKE EMERALD PAINT 10500 BLACK, 3048 DRY, 121210
- 9 CONCRETE TYPICAL EMERALD PAINT 10500 BLACK W/ 1/8" LATCH DOORS TO MATCH ADJACENT BUILDING COLOR



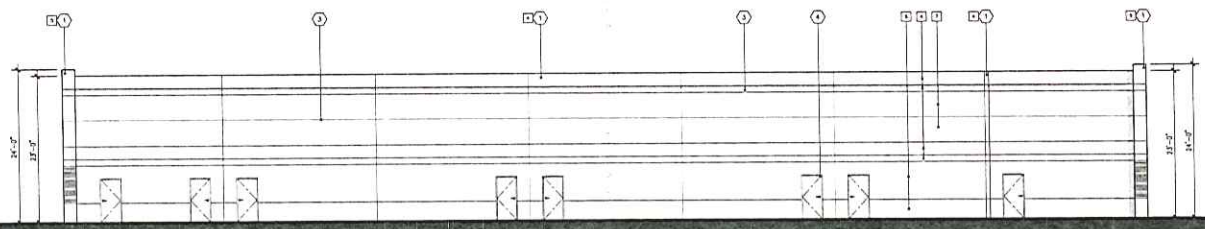
EAST ELEVATION | 1/8"=1'-0" | 3



NORTH ELEVATION | 1/8"=1'-0" | 4



SOUTH ELEVATION | 1/8"=1'-0" | 5



WEST ELEVATION | 1/8"=1'-0" | 6

**G|A|A**  
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F: 949 553 9133

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880  
  
DEVELOPED FOR:  
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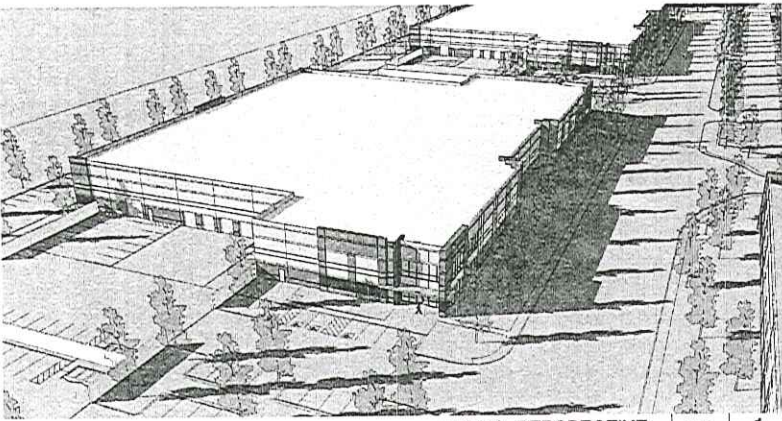
BUILDING 4  
ELEVATIONS

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CONSENT OF THE ARCHITECT.  
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JOB NO: P2006-01      SHEET NO:  
DATE: 12/07/12      GAA      A4.4  
DRAWN BY: GAA  
FILE NAME: P2006-4.4







AERIAL PERSPECTIVE | N.T.S. | 1



ENTRY PERSPECTIVE | N.T.S. | 2

**KEYNOTES - ELEVATIONS**

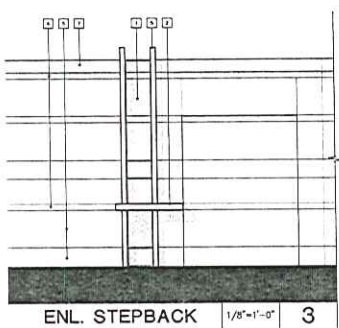
- ① CONCRETE TILT-UP PANEL (PAINTED)
- ② PANEL JOINT
- ③ PANEL REVEAL ALL REVEALS TO HAVE A MAX OF 1/8" CHAMFER REVEAL COLOR TO MATCH ADJACENT FIELD COLOR.
- ④ 3' X 7' HOLLOW METAL DOOR, MAIN DOOR
- ⑤ 6' W X 10' H DOOR-HIGH SECTIONAL VERTICAL-LIFT DOOR
- ⑥ 12' W X 14' H METAL OVERHEAD GRADE DOOR
- ⑦ DOOR NUMBER TO BE A MIN OF 4.5" DEEP OR OF SUFFICIENT SIZE REQUIRED TO KEEP TRUCK FROM HITTING UPPER PANEL.
- ⑧ ALUMINUM STATIONARY FRAMING W/ TYPICAL GLAZING @ ALL DOORS, SLOTTINGS ADA TO DOORS, AND GLAZING WITH BOTTOMS LESS THAN 18" ABV FF
- ⑨ CONCRETE STAIR, LANDING, AND METAL PIPE RAILING
- ⑩ CONCRETE RAWP W/ 42" CONCRETE GUARD WALL NOTH-SIDE
- ⑪ EXT. METAL DOWNSPOUT W/ OVERFLOW SCUPPER
- ⑫ INT. ROOF DRAIN W/ OVERFLOW SCUPPER
- ⑬ BUILDING ADDRESS NEW FIRE DISTRICT POLICY
- ⑭ CONCRETE PARAPET RETURN
- ⑮ CONCRETE TILT-UP SCREEN WALL
- ⑯ ALUMINUM CANOPY
- ⑰ BUILDING SIGNAGE

**GENERAL NOTES - ELEVATIONS**

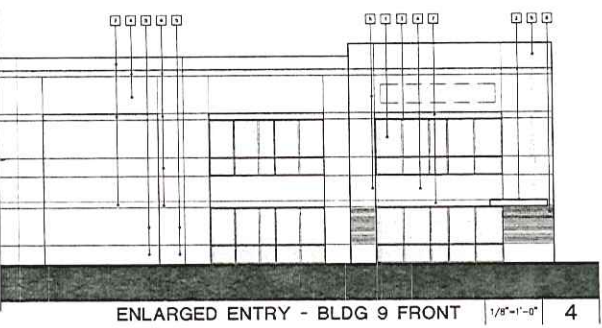
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL UNLESS NOTED OTHERWISE
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE
- C. 1/2" = TOP OF PARAPET ELEVATION
- D. 1/2" = FINISH FLOOR FINISH
- E. STAIR RAMP CONSTRUCTION, GLASS, METAL ATTACHMENTS, AND LINTELS SHALL BE COLORED TO MATCH THE WALLS TO WHICH CONCRETE IS APPLIED. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT CONCRETE PANELS W/ AT LEAST THREE (3) ALTERNATE COLORS SPECIFIED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING IF MANUFACTURER'S FINISH IS TO BE USED.
- G. BACKSIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH GLASS GROUND PAINT.
- H. BUILDING ADDRESS SIGN "HEIGHT" THICK HIGH DENSITY FOAM "MATERIAL" SHALL BE 1/4" THICK AND FASTENED TO WALL. COLOR TO MATCH ADJACENT BUILDING COLOR.

**COLOR SCHEDULE / MATERIALS**

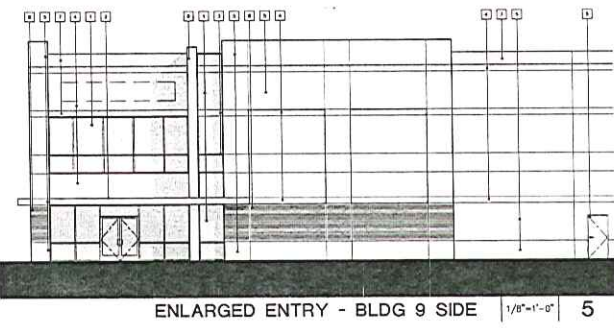
- ① GLAZING: CLEAR GLASS
- ② CANOPY: CLEAR ANODIZED ALUMINUM
- ③ MILLWORK: CLEAR ANODIZED ALUMINUM
- ④ CONCRETE: CLEAN-ENDED PAINT, DARK GREY, 262013
- ⑤ CONCRETE TILT-UP PANEL: DARK GREY, 262013
- ⑥ CONCRETE: CLEAN-ENDED PAINT, DARK GREY, 262013
- ⑦ CONCRETE TILT-UP PANEL: CLEAN-ENDED PAINT, DARK GREY, 262013
- ⑧ CONCRETE: CLEAN-ENDED PAINT, DARK GREY, 262013
- ⑨ CONCRETE TILT-UP PANEL: CLEAN-ENDED PAINT, DARK GREY, 262013
- ⑩ CONCRETE TILT-UP PANEL: CLEAN-ENDED PAINT, DARK GREY, 262013



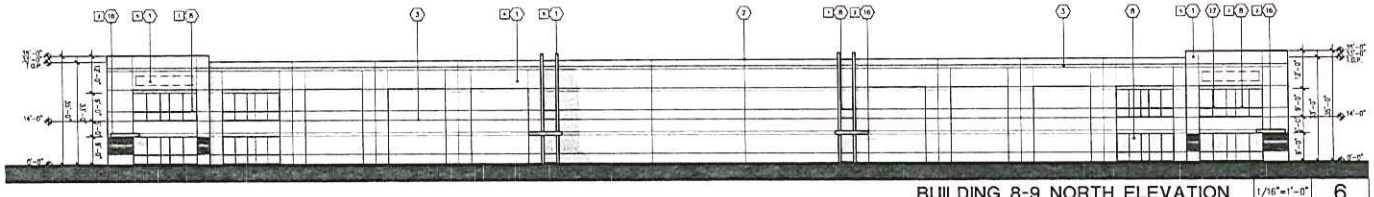
ENL. STEPBACK | 1/8"=1'-0" | 3



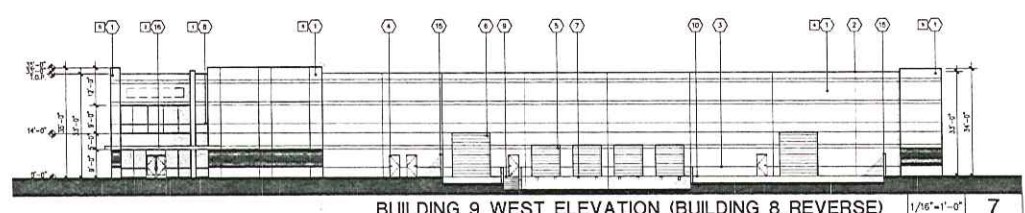
ENLARGED ENTRY - BLDG 9 FRONT | 1/8"=1'-0" | 4



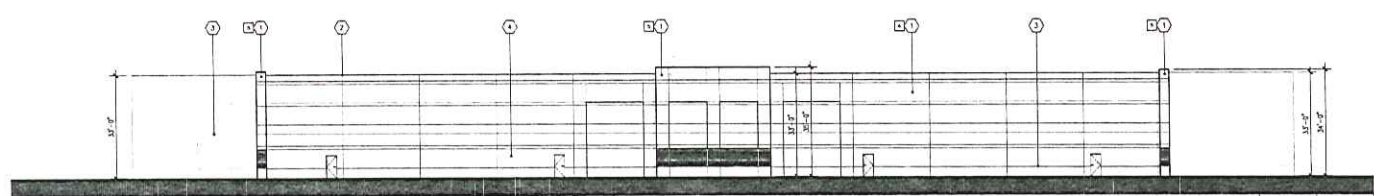
ENLARGED ENTRY - BLDG 9 SIDE | 1/8"=1'-0" | 5



BUILDING 8-9 NORTH ELEVATION | 1/16"=1'-0" | 6



BUILDING 9 WEST ELEVATION (BUILDING 8 REVERSE) | 1/16"=1'-0" | 7



BUILDING 8-9 SOUTH ELEVATION | 1/16"=1'-0" | 8

**G|A|A**  
ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

**PROVIDENCE BUSINESS PARK**  
**MASTER PLAN**  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
**PROVIDENCE ARCHIBALD, LLC**

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

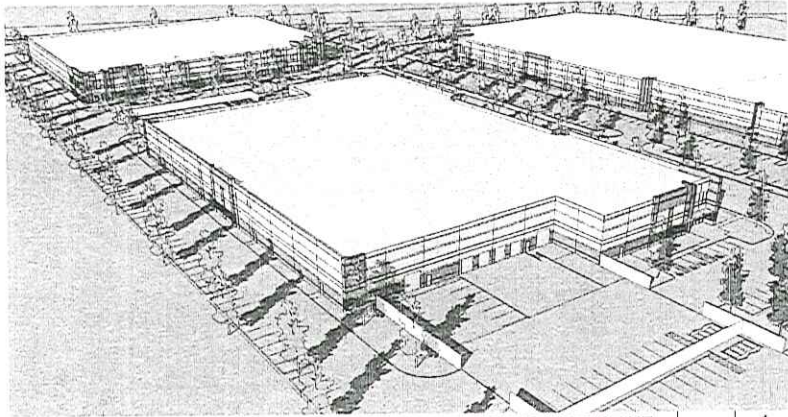
**BUILDINGS 8 & 9 ELEVATIONS**

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARANCES UNLESS OTHERWISE SPECIFIED. THE ORIGINAL AND UNAPPROVED WORK OF THE ARCHITECT AND THE NAME MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

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JOB NO:	PROVIDENCE	SHEET NO.:	
DATE:	12/27/12		
DRAWN:	GAA		
FILE NAME:	PROVIDENCE_A4.8		

**A4.8**



AERIAL PERSPECTIVE | N.T.S. | 1



ENTRY PERSPECTIVE | N.T.S. | 2

**KEYNOTES - ELEVATIONS**

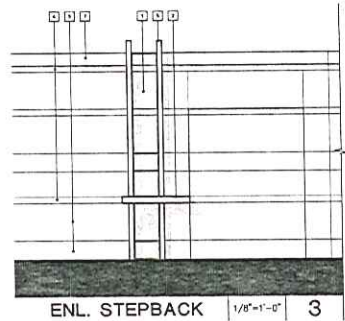
- ⊙ CONCRETE TILT-UP PANEL (PAINTED)
- ⊙ PANEL JOINT
- ⊙ PANEL REVEAL: ALL REVEALS TO HAVE A MAX OF 3/16" CHAMFER. REVEAL COLOR TO MATCH ADJACENT FIELD COLOR
- ⊙ 3' X 7' HOLLOW METAL DOOR, MAIN DOOR
- ⊙ 1/2" X 1/2" DOOR-HIGH SLOTTED VERTICAL-LIFT DOOR
- ⊙ 12" X 14" METAL OVERHEAD GRADE DOOR
- ⊙ DOOR NUMBER TO BE A MIN OF 4.4" DEEP OR IF SUFFICIENT SIZE REQUIRED TO KEEP TRUCK FROM HITTING UPPER PANEL
- ⊙ ALUMINUM SIDE-WIND FRAMING W/ IMPROVED GLAZING & ALL DOORS, SLOTTED, ADD TO DOORS, AND GLAZING W/8" BUTTOM JOINT THAN 1/4" REV. FT
- ⊙ CONCRETE STAIR, LANDING, AND METAL RPTC RAILING
- ⊙ CONCRETE RAMP W/ 42" CONCRETE GLAZD WALL BOTH SIDES
- ⊙ EXT. METAL DOWNSPOUT W/ OVERFLOW SCUPPER
- ⊙ INT. ROOF DRAIN W/ OVERFLOW SCUPPER
- ⊙ BUILDING ADDRESS PER FIRE DISTRICT POLICY
- ⊙ CONCRETE PARAPET RETURN
- ⊙ CONCRETE TILT-UP SCREEN WALL
- ⊙ ALUMINUM CANNOPY
- ⊙ BUILDING SIGNAGE

**GENERAL NOTES - ELEVATIONS**

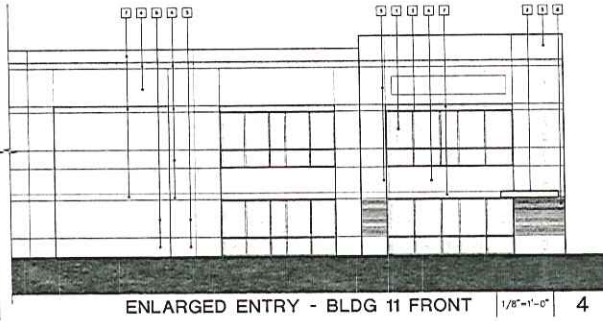
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES, UNLESS NOTED OTHERWISE
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE
- C. C.D.P. = TOP OF PARAPET ELEVATION
- D. F.T. = FINISH FLOOR FINISH
- E. SIGNMENT CONSTRUCTION: GLASS, METAL, ATTACHMENTS, AND LENSES SHALL BE ORDERED TO MATCH OR MATCH EXPOSURE TO FINISH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WHEN TO INSTALLATION
- F. CONTRACTOR SHALL FULLY PAINT CONCRETE PANELS W/ AT LEAST THREE (3) ALTERNATE COLORS SPECIFIED BY ARCHITECT, ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING (MINIMUM 4 TO PAINTING)
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT
- H. BUILDING ADDRESS SIGN: 18"X24" THICK HIGH DENSITY FOAM POLYURETHANE W/ 1/2" FINE FACED EPSOR TO WALL COLOR TO MATCH COORDINATING ADJACENT COLOR ON BUILDING

**COLOR SCHEDULE / MATERIALS**

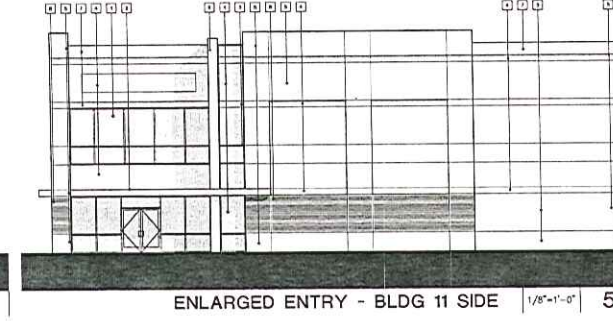
- 1 GLAZING: CEEL 2M7
- 2 ENDOPI: COLO CLEAR ANODIZED ALUMINUM
- 3 WALLING: COLOR CLEAR ANODIZED ALUMINUM
- 4 CONCRETE: ELEGANT EDWARDS PAINT TILT-UP PANEL - MAIN DOOR - MBL ENY, D23213
- 5 CONCRETE: ELEGANT EDWARDS PAINT TILT-UP PANEL - MAIN DOOR - MBL ENY, D23213
- 6 CONCRETE: ELEGANT EDWARDS PAINT TILT-UP PANEL - MAIN DOOR - MBL ENY, D23213
- 7 CONCRETE: ELEGANT EDWARDS PAINT TILT-UP PANEL - MAIN DOOR - MBL ENY, D23213
- 8 CONCRETE: ELEGANT EDWARDS PAINT TILT-UP PANEL - MAIN DOOR - MBL ENY, D23213



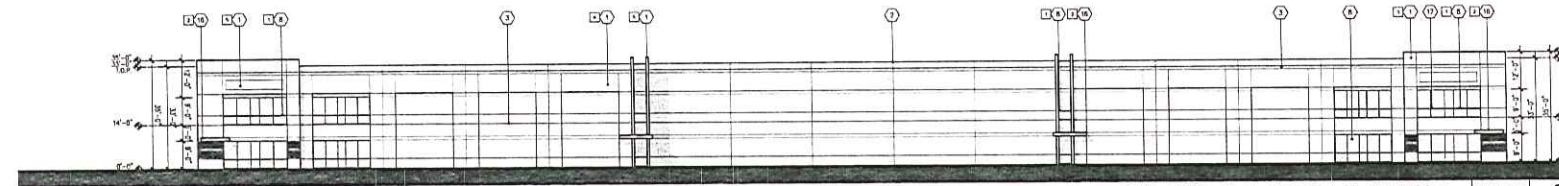
ENL. STEPBACK | 1/8"=1'-0" | 3



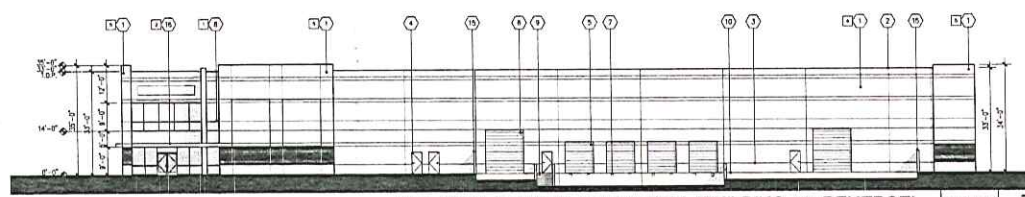
ENLARGED ENTRY - BLDG 11 FRONT | 1/8"=1'-0" | 4



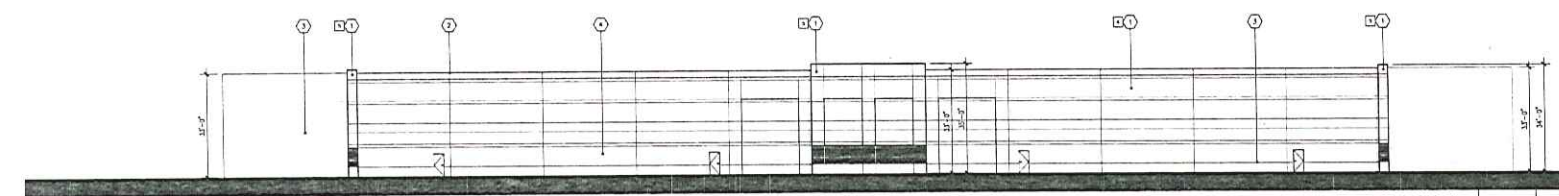
ENLARGED ENTRY - BLDG 11 SIDE | 1/8"=1'-0" | 5



BUILDING 10-11 NORTH ELEVATION | 1/16"=1'-0" | 6



BUILDING 11 WEST ELEVATION (BUILDING 10 REVERSE) | 1/16"=1'-0" | 7



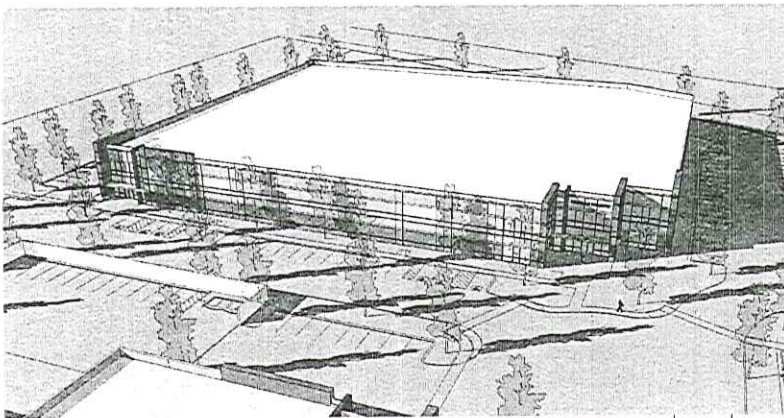
BUILDING 10-11 SOUTH ELEVATION | 1/16"=1'-0" | 8

NO.	DESCRIPTION	DATE
▲	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
▲	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

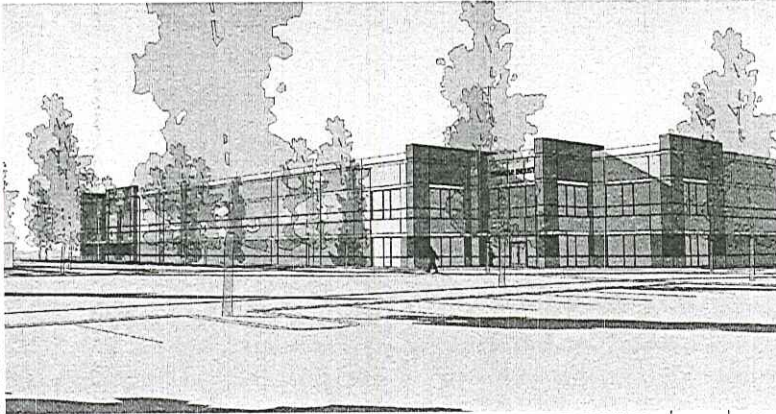
BUILDINGS 10 & 11  
ELEVATIONS

ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREON CONSTITUTE THE OFFICIAL AND BINDING WORK OF THE ARCHITECT AND THE SAME MAY NOT BE DUPLICATED, USED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF GAA ARCHITECTS. ALL RIGHTS RESERVED.

JOB NO:	PROVIDENCE	SHEET NO.:
DATE:	12/07/12	A4.10
DRAWN:	GAA	
FILE NAME:	PROVIDENCE_A4.10	



AERIAL PERSPECTIVE | N.T.S. | 1



ENTRY PERSPECTIVE | N.T.S. | 2

**KEYNOTES - ELEVATIONS**

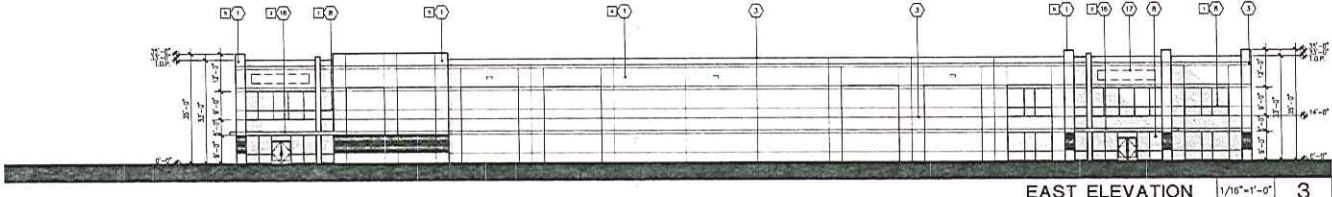
- 1 CONCRETE TILT-UP PANEL (PAINTED)
- 2 PANEL JOIN
- 3 PANEL REVEAL ALL REVEALS TO HAVE A MAX OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT FILLED COLOR
- 4 3" x 7" HOLLOW METAL. 500W. MAX. 300H
- 5 3/4" x 10" HOOK - HIGH SECTIONAL VERTICAL-LIFT DOOR.
- 6 1/2" x 1 1/4" METAL. OVERHEAD GLASS DOOR
- 7 DOOR NUMBER TO BE A MIN OF 4.5' BEYOND OR OF SUFFICIENT S.C.2. REQUIRED TO KEEP TRUCK FROM HITTING UNDER PANEL.
- 8 ALUMINUM SIDEWIND PROTECTIVE W/ TEMPLAR GLAZING B. ALL DOORS, SLOTTED. ADD. TO DOORS, AND GLAZING WITH BEYOND LESS THAN 14' AWAY. I.P.
- 9 CONCRETE STAIR, LANDING, AND METAL PIPE RAILING
- 10 CONCRETE RAMP W/ 42" CONCRETE GUARD WALL BOTH SIDES
- 11 EXT. METAL DOWNSPOUT W/ OVERFLOW SCUPPER
- 12 INT. ROOF DRAIN W/ OVERFLOW SCUPPER
- 13 BUILDING ADDRESS PER FIRE DISTRICT POLICY
- 14 CONCRETE PARAPET RETURN
- 15 CONCRETE TILT-UP SCREEN WALL
- 16 ALUMINUM CANOPY
- 17 BUILDING SIGNAGE

**GENERAL NOTES - ELEVATIONS**

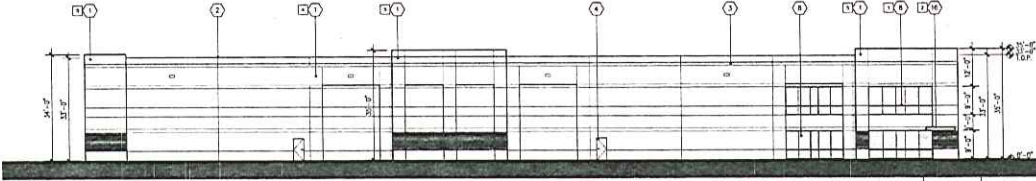
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS AND REVEAL LINES UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.M. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. SECRETFORD CONSTRUCTION GLASS, METAL ATTACHMENTS, AND LATCHES SHALL BE DESIGNER TO RESTORE TO EXPLOSIVE "C" RINGS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT CONCRETE PANELS W/ AT LEAST THREE (3) ALTERNATE COLORS SPOKED BY ARCHITECT. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING PREPARATION OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH GLASS-LIKE PAINT.
- H. BUILDING ADDRESS SIGN 18"x24" THICK HIGH DENSITY FOAM "ULTRATEC BOLD" W/ 1/8" PVC FACED EPDM TO WALL. COLOR TO MATCH ADJACENT BUILDING COLOR ON BUILDING.

**COLOR SCHEDULE / MATERIALS**

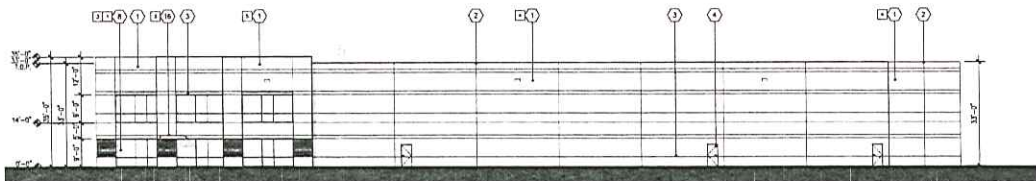
- 1 GLAZING COOL GRAY
- 2 CASING COLOR CLEAR ANODIZED ALUMINUM
- 3 WALLS COLOR CLEAR ANODIZED ALUMINUM
- 4 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 5 CONCRETE TILT-UP PANEL "FLAT SAND" MID GREY, 00213
- 6 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 7 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 8 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 9 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 10 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 11 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 12 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 13 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 14 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 15 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 16 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213
- 17 CONCRETE QUANTUM-READY PANEL "FLAT SAND" MID GREY, 00213



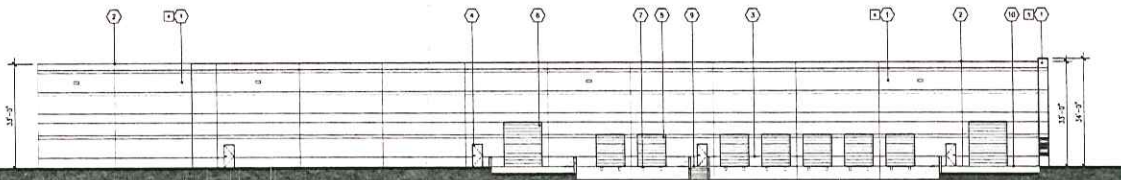
EAST ELEVATION | 1/16"=1'-0" | 3



SOUTH ELEVATION | 1/16"=1'-0" | 4



NORTH ELEVATION | 1/16"=1'-0" | 5



WEST ELEVATION | 1/16"=1'-0" | 6

**G|A|A**  
ARCHITECTS

8811 Research Drive,  
Suite 200,  
Irvine, CA 92618  
T: 949 474 1775  
F: 949 553 9133

PROVIDENCE BUSINESS PARK  
MASTER PLAN  
ARCHIBALD AVENUE  
EASTVALE, CA 92880

DEVELOPED FOR:  
PROVIDENCE ARCHIBALD, LLC

NO.	DESCRIPTION	DATE
1	PRE-APPLICATION REVIEW SUBMITTAL	12-13-12
2	DEVELOPMENT REVIEW SUBMITTAL	5-8-13

BUILDING 12  
ELEVATIONS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE DESIGN AND UNPERFORMED WORK OF THE ARCHITECT AND THE CONSULTING ENGINEER. NO PART OF THIS PROJECT SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE ARCHITECT.

JOB NO.: PRC008.01 SHEET NO.:  
DATE: 12/20/13  
DRAWN: GAA  
FILE NAME: PRC008\_412  
**A4.12**



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: July 11, 2013

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1018CH13 – Providence Archibald, LLC (Representative: Albert A. Webb Associates, Sandy Chandler) – City of Eastvale Case Nos. 12-0750 (Development Plan Review) and revised PM35865 (Parcel Map). PP12-0750 is a proposal to develop a total of 738,970 square feet of industrial/office space within 12 shell buildings on 39.32 net acres located westerly of Archibald Avenue, southerly of Limonite Avenue, and northerly of 65<sup>th</sup> Street, in the City of Eastvale. Revised PM35865 is a proposal to subdivide the 39.32 net acres into 11 parcels [one for each of the proposed buildings, with buildings 4 and 5 sharing a parcel]. (Zones C and D of Chino Airport Influence Area.)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Kanika Kith of the City of Eastvale Planning Department at (951) 361-0900 or (951)703-4460.

144010002  
Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

144010004  
Jaime Carlos & Maricela Rodriguez  
9301 Remington Ave  
Chino, CA 91710

144010009  
Jaime Carlos & Maricela Rodriguez  
9301 Remington Ave  
Chino, CA 91710

144010010  
San Bernardino County Flood Cont Dist  
825 E 3<sup>rd</sup> St.  
San Bernardino, CA 92415

144010013  
Jack Moons  
34331 Green Lantern St  
Dana Point, CA 92629

144010020  
Dyt Family  
6207 Archibald St.  
Corona, CA 92880

144010029  
San Bernardino County Flood Cont Dist  
825 E 3<sup>rd</sup> St.  
San Bernardino, CA 92415

144010033  
Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

144010034  
Strack Farms Land LLC  
4100 Newport Place Dr. #800  
Newport Beach, CA 92660

144010035  
Strack Farms Land LLC  
4100 Newport Place Dr. #800  
Newport Beach, CA 92660

144010037  
Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

144010038  
Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

144020009  
San Bernardino County Flood Cont Dist  
825 E 3<sup>rd</sup> St.  
San Bernardino, CA 92415

144020010  
San Bernardino County Flood Cont Dist  
825 E 3<sup>rd</sup> St.  
San Bernardino, CA 92415

144030021  
Jurupa Community Services District  
11201 Harrel St.  
Mira Loma, CA 91752

144030028  
Wal-Mart Real Estate Business  
14100 Cloverdale Rd.  
Corona, CA 92880

144313021  
Gary Lee Hutchcroft  
14192 Trading Post Ct.  
Corona, CA 92880

144313022  
Laura Angelica Bravo  
308 S Victoria Ave.  
Corona, CA 92879

144313023  
Corazon & Ricardo Aquino  
12839 Rimmon Rd.  
Corona, CA 92880

144313024  
David Thai  
14162 Trading Post Ct.  
Corona, CA 92880

144460001  
David Franquez  
6616 Coyote Trail Ln.  
Corona, CA 92880

144460002  
Avandell Hunte  
6628 Coyote Trail Ln.  
Corona, CA 92880

144460011  
Maria Theresa Perez  
6623 Ashford Mill Ct.  
Eastvale, CA 92880

144460012  
Joseph Lim  
6611 Ashford Mill Ct.  
Corona, CA 92880

144462015  
Gilardo Ramos  
6625 Coyote Trail Ln.  
Corona, CA 92880

144462016  
Sumit Tomar  
1902 Santa Croce Dr.  
Livermore, CA 94550

144462017  
Jose Luis Madrigal  
6601 Coyote Trail Ln.  
Corona, CA 92880

144600010  
Michael Steven Madlem  
6618 Ruby Giant Ct.  
Corona, CA 92880

144600011  
Samuel Amos Oropeza  
6608 Ruby Giant Ct.  
Corona, CA 92880

144600045  
Meadows Holdings Parkview  
391 N. Main St. #301  
Corona, CA 92880

Owner

Agent

Agency

Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

Albert A. Webb Associates  
C/O Sandy Chandler  
3788 McCray Street  
Riverside, CA 92506

City of Eastvale  
12363 Limonite Ave., Ste 910  
Eastvale, CA 91752

Providence Archibald LLC  
14728 Pipeline Ave #B  
Chino Hills, CA 91708

Albert A. Webb Associates  
C/O Sandy Chandler  
3788 McCray Street  
Riverside, CA 92506

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Eastvale, CA 91752

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Albert A. Webb Associates  
C/O Sandy Chandler  
3788 McCray Street  
Riverside, CA 92506

City of Eastvale  
12363 Limonite Ave., Ste 910  
Eastvale, CA 91752

# APPLICATION FOR MAJOR LAND USE ACTION REVIEW

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1018CH13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 5/16/13  
 Property Owner Providence Archibald, LLC Phone Number (909) 597-0201  
 Mailing Address 14728 Pipeline Avenue, Suite B  
Chino Hills, CA 91709  
C/O Boatman Development, 3151 Airway Ave. U-2, Costa Mesa, CA 92626 (714)206-1571

Agent (if any) Albert A. Webb Associates Phone Number (951) 686-1070  
 Mailing Address 3788 McCray Street  
Riverside, CA 92506  
Attn: Sandy Chandler

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address Northerly of 65th Street, southerly of the San Bernardino/Riverside County line, east of and adjacent to the Cucamonga Creek Flood Control Channel, and west of and adjacent to Archibald Avenue  
 Assessor's Parcel No. 144-010-002, 144-010-033, 144-010-037, 144-010-038 Parcel Size 39.32 net acres  
 Subdivision Name \_\_\_\_\_ Zoning Existing: A-2-10  
 Lot Number \_\_\_\_\_ Classification Proposed: IP

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Vacant  
 Proposed Land Use (describe) Propose to construct 738,970 square feet of mixed use facility consisting of 12 buildings: 694,770 Light Ind., 33,600 s.f. Office and 10,600 s.f. Retail, originally approved by Riverside County PP23219. Proposed Project also includes revised TPM 35685, as well as a change of zone for consistency with the City General Plan and approved CZ07611, adopted by Riverside County.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) N/A  
 For Other Land Uses Hours of Use Hours of operation will vary. Spec Building.  
 (See Appendix C) Number of People on Site Maximum Number Unkonwn - Spec Building  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 120 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 751 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY** (TO BE COMPLETED BY AG Y STAFF)

Date Received	<u>5-16-13</u>	Type of Project	<input type="checkbox"/> General Plan Amendment
Agency Name	<u>City of Eastvale</u>	<input type="checkbox"/> Zoning Amendment or Variance	
Staff Contact	<u>Kanika Kith</u>	<input type="checkbox"/> Subdivision Approval	
Phone Number		<input type="checkbox"/> Use Permit	
Agency's Project No.	<u>PP 23219, Pm 35865</u>	<input type="checkbox"/> Public Facility	
	<u>Amended</u>	<input type="checkbox"/> Other	

**ALUC REVIEW** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received	By
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons	

Airport(s) Nearby	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
Primary Criteria Review	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					

Special Conditions Describe: \_\_\_\_\_

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	_____	
	_____	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	
	_____	
	_____	

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.4

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1049BD13 – Encore Homes LLC (Representative: James Fagelson, Fagelson Consulting)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** TR30966R1 (Revised Tentative Tract Map)

**MAJOR ISSUES:** The project proposes residential densities that exceed the density criteria of Compatibility Zones B1 and C. However, this is a revision to a previously reviewed project that was found consistent by the ALUC, which has yet to expire and could develop as previously approved. The proposed revised tentative tract map would reduce the total number of dwelling units from 216 to 202 from the previously approved tentative tract map.

The revision to the tentative tract map proposes 13 dwelling units within Zone B1 (6 of which are partially within Zone B1) and 77 units within Zone C (15 of which are partially within Zone C). The previous approved tentative tract map had 8 dwelling units (1 of which is located partially within Zone B1) and 94 dwelling units within Zone C (10 of which are located partially within Zone C). So, the proposed revision would increase the number of dwelling units within Zone B1 by 5 and decrease the number of dwelling units within Zone C by 17.

In addition, the proposed community center has moved from a more northerly location on the site within Zone D to the southeastern portion of the site within Zone C. Information is not yet available on whether the intensity of the community center has increased or decreased from the previously proposed community center.

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**RECOMMENDATION:** Staff recommends a finding of INCONSISTENCY for the tentative tract map, based on the proposed project exceeding residential density criteria for Compatibility Zones B1 and C and non-residential intensity criteria for Compatibility Zone C, unless the Commission is willing to make special circumstance findings pursuant to Countywide Policy 3.3.6.

**PROJECT DESCRIPTION:** TR30966R1 is a proposal to subdivide 39.31 – 40.19 acres into 202 single-family residential lots, with one 0.77-acre lot for a community center, one 3.88-acre lot for a drainage channel, and three lots for open space and water detention with a cumulative area of 3.92 acres.

**PROJECT LOCATION:** The site is located northerly of 40<sup>th</sup> Avenue and westerly of Adams Street in the unincorporated community of Del Webb Sun City, approximately 2,880 feet northwesterly of the northwesterly terminus of Runway 10-28 at Bermuda Dunes Airport.

**LAND USE PLAN:** 2004 Bermuda Dunes Airport Land Use Compatibility Plan

- a. Airport Influence Area: Bermuda Dunes Airport
- b. Land Use Policy: Airport Compatibility Zones B1, C, and D
- c. Noise Levels: Aircraft noise levels are between 55-60 CNEL

**BACKGROUND:**

Prior ALUC Decision: The original TR30966 was previously reviewed by the ALUC pursuant to BD-03-105, which was found consistent by the Commission on May 22, 2003 based on the prior Compatibility Plan and the project being located within Area III of that plan. The original TR30966 has yet to expire and could develop as previously approved with 216 condominium dwelling units. Due to market conditions, the applicant is seeking to revise the Tentative Tract Map to provide for a different unit type that would reduce the total number of dwelling units from 216 to the 202 currently proposed.

Residential Density: The site is located in Zones B1, C, and D of the Bermuda Dunes Airport Influence Area. Residential densities are restricted to less than 0.05 dwelling units per acre within Zone B1, less than 0.2 dwelling units per acre within Zone C, and either less than 0.2 dwelling units per acre or greater than 5.0 dwelling units per acre within Zone D. The project proposes a total of 202 dwelling units on 40.19 acres for a total density of 5.03 dwelling units per acre. Within Zone B1, the project proposes approximately 10 dwelling units for a density of 5.7 dwelling units per acre within the approximately 1.75 acre area. Within Zone C, the project proposes approximately 74 dwelling units for a density of 5.3 dwelling units per acre within the approximately 13.98 acre area. Within Zone D, the project proposes approximately 118 dwelling units for a density of 4.82 dwelling units per acre within the approximately 24.46 acre area. These proposed densities would generally be inconsistent with the criteria for Compatibility Zones B1 and C.

Non-Residential Average Intensity: The proposed tentative tract map also includes a 0.77-acre (net) lot designated for future "community center" that is located within Compatibility Zone C. Non-residential intensity in Airport Compatibility Zone C is restricted to 75 people per average acre. The site has a net area of 33,592 square feet (0.77 acres) and a gross area of 0.91 acres. Therefore, a total of 68 people may be accommodated on this property. Based on the site plan and floor plan provided for the community center, a total of 165 people are anticipated based on the Building Code Method, including the pool area (at one person per 50 square feet for the pool and one person per 15 square feet for the pool deck). This would not be consistent with the adjusted criteria of 68 people.

An alternative calculation for intensity is based on the number of parking spaces provided for a project. A total of 15 parking spaces are provided and assuming 4 people per vehicle would equate to 60 people. This would be consistent with the adjusted criteria of 68 people. However, since this is a community center, a greater number of people would be anticipated to walk to the community center rather than by vehicle, and the parking space method may not be as valid despite the high assumption of people per vehicle.

Non-Residential Single-Acre Intensity: In this case, the single-acre intensity limit of Zone C is not relevant, because the total allowable occupancy based on the average intensity limit is lower, as the site is smaller than one acre in gross area.

Infill Provisions: The site is surrounded by existing residential development to the west, north, and east and commercial development (auto dealerships) to the south. If qualified for infill provisions pursuant to Countywide Policy 3.3.1, the highest density that could be considered would be double the normally allowable density, despite the higher density of the surrounding existing land uses. In the cases of Compatibility Zones B1 and C, this would equate to merely an allowable density of 0.1 and 0.4 dwelling units per acre, respectively. As previously noted, the project proposes a density of approximately 5.7 and 5.3 dwelling units per acre within Compatibility Zones B1 and C, respectively.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Zones B1 (children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight), C (children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight), or D (highly noise-sensitive outdoor non-residential uses and hazards to flight). However, as noted above, the residential density exceeds Zone B1 and C density limitations.

Noise: The property lies within the area that would be subject to average exterior noise levels between 55 and 60 CNEL under ultimate airport development conditions. Typical building materials provide for a noise attenuation of 20 dBA in a windows closed scenario, which would provide for a maximum 40 CNEL impact from aircraft noise. This is a generally acceptable interior noise level for residential land uses; therefore, no special mitigation of noise from aircraft is required.

Part 77: The elevation of Runway 10-28 at its westerly terminus is approximately 73.4 feet above mean sea level (AMSL). At an approximate distance of 2,880 feet to the property line and relevant slope of 100:1, any structure above 102.2 feet AMSL would require Federal Aviation Administration (FAA) review. The closest proposed pad elevation on-site is 85.4 feet AMSL and the highest proposed pad elevation on-site is 89.1 feet AMSL. The proposed elevations for the project have a maximum building height of 18 feet for a potential maximum elevation of 103.4 on the closest proposed pad and 107.1 on the highest proposed pad. Structures on these lots as well as structures



throughout the proposed Tentative Tract Map could exceed 102.2 feet AMSL.

At the time of writing of this staff report, staff is working with the applicant to determine the approximate distance of each proposed lot from the end of the runway to be able to condition certain lots for FAA obstruction evaluation review. As a most conservative approach, FAA review could be required for any structure exceeding 102.2 feet AMSL. Staff has included a condition to require this at a minimum. However, based on staff's initial review, only those lots within the southeastern portion of the project would likely require FAA review.

Open Area: Zones B1, C and D of the Bermuda Dunes Airport Land Use Plan have requirements for 30%, 20% and 10% open area, respectively. Based on the area within each zone as noted previously, 0.525 acres is required within the Zone B1 area, 2.796 acres is required within the Zone C area, and 2.476 acres is required within the Zone D area for a total of 5.797 acres required. The project proposes a total of 7.68 acres of open space within the proposed channel (3.88 acres), basin (1.73 acres), and open space (2.07 acres) that qualify as open space providing a minimum 75' x 300' area free of objects 4' in height or 4" in thickness.

Other Special Conditions: Countywide Policy 3.3.6 allows the Commission to find a normally incompatible use to be acceptable "because of terrain, specific location, or other extraordinary factors or circumstances related to the site." In such a situation, the Commission would need to make findings that the land use would not create a safety hazard nor expose people to excessive noise. In some cases, projects that did not quite meet the exacting standards for consideration as infill have been judged consistent through use of Policy 3.3.6. The potential factors to be considered in this case are as follows:

Although the project would generally be inconsistent with the density criteria of Compatibility Zones B1 and C, the project does propose 14 less units than the original tract map previously found consistent by ALUC. Thus, the residential portion of this project would result in lesser impacts than the project that could currently be constructed pursuant to the previously approved Tentative Tract Map. Therefore, the Commission could determine that, although the project is generally incompatible, the project revisions would result in a reduction in the number of dwelling units and the number of people exposed to potential hazards from aircraft, making the revised project preferable to development pursuant to the existing approval.

Despite infill provisions specifically not applying, the surrounding areas to the west, north, and east consist of residential development that is generally equivalent or even greater in density than is proposed by the revised tentative tract map. In addition, the area immediately to the south is developed with auto dealerships. The area immediately to the west is primarily located within Compatibility Zones B1 and C (to a greater degree than the proposed project), with a portion located in Compatibility Zone D. The areas to the north and east are located in Compatibility Zone D. The area to the south is located almost entirely within Compatibility Zone B1, with a small portion within Compatibility Zone C.

As previously noted, if the Commission was to utilize either or both of the special consideration factors described above, the Commission would have to find that the proposed project would not create a safety hazard nor expose people to excessive noise.

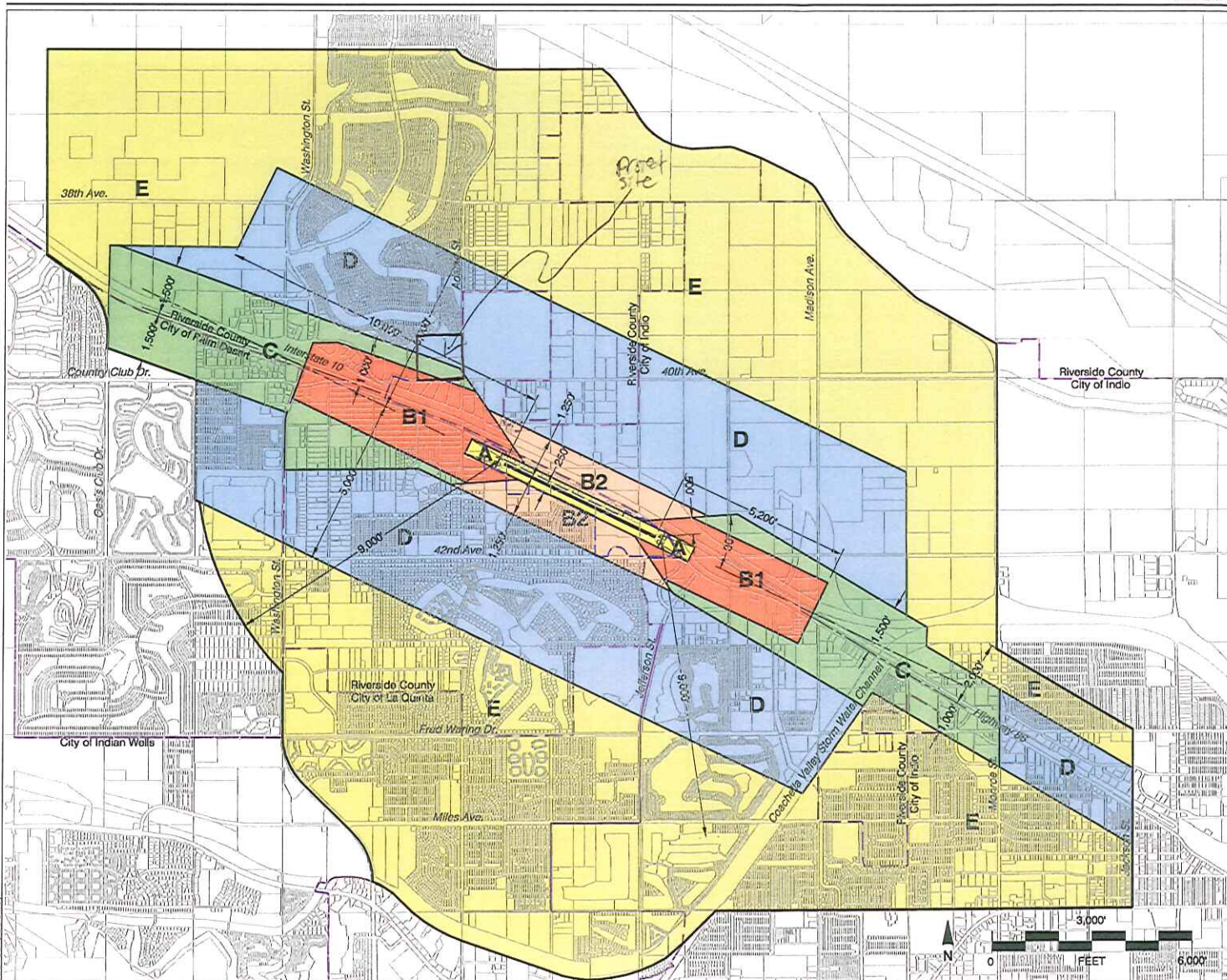
**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Within Compatibility Zone B1: Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight.
  - (f) Within Compatibility Zone C: Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 3 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, and hazards to flight.
  - (g) Within Compatibility Zone D: highly noise-sensitive outdoor non-residential uses, and hazards to flight.

3. The attached notice shall be provided to all potential purchasers and/or tenants of the proposed residences.
4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Prior to issuance of building permits for any structure within the residential subdivision with an elevation at top of roof exceeding 102.2 feet above mean sea level, the permittee or its successor-in-interest shall submit evidence to the County of Riverside Planning Department that the Federal Aviation Administration (FAA) has issued a determination of "Not a Hazard to Air Navigation" for such structure.
6. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the Bermuda Dunes Airport for all lots within the subdivision. Contact Bermuda Dunes Airport at (760) 776-7091 for additional information.
7. The Community Center shall have a posted maximum occupancy of 68, including the pool and pool deck area. Programming of activities within this building and area shall be consistent with this posted maximum occupancy.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- City Limits

**Note**

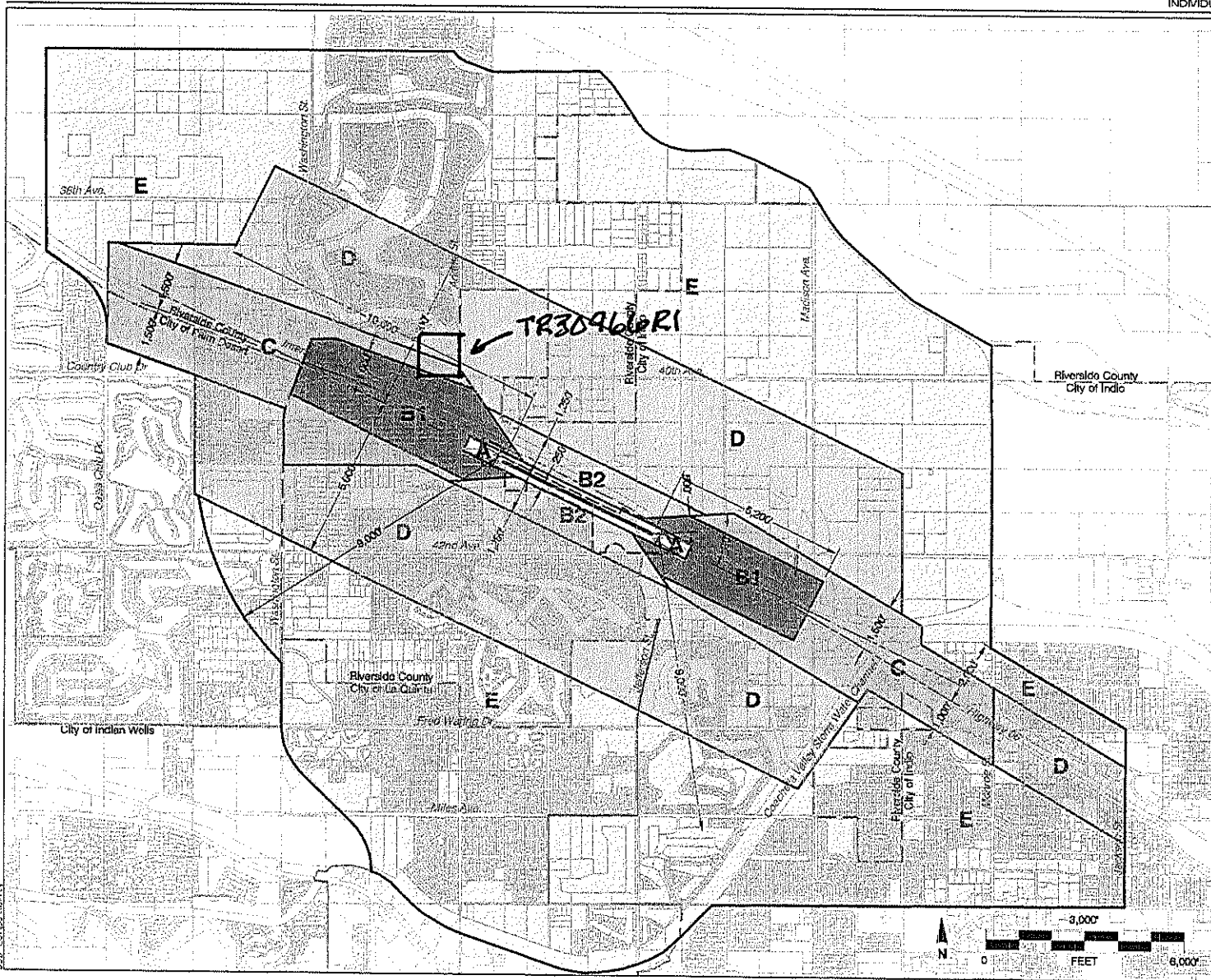
Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
 (Adopted December 2004)

Map BD-1

**Compatibility Map**  
**Bermuda Dunes Airport**



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- City Limits

**Note**

Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAA Part 77). All other dimensions measured from runway ends and centerlines.

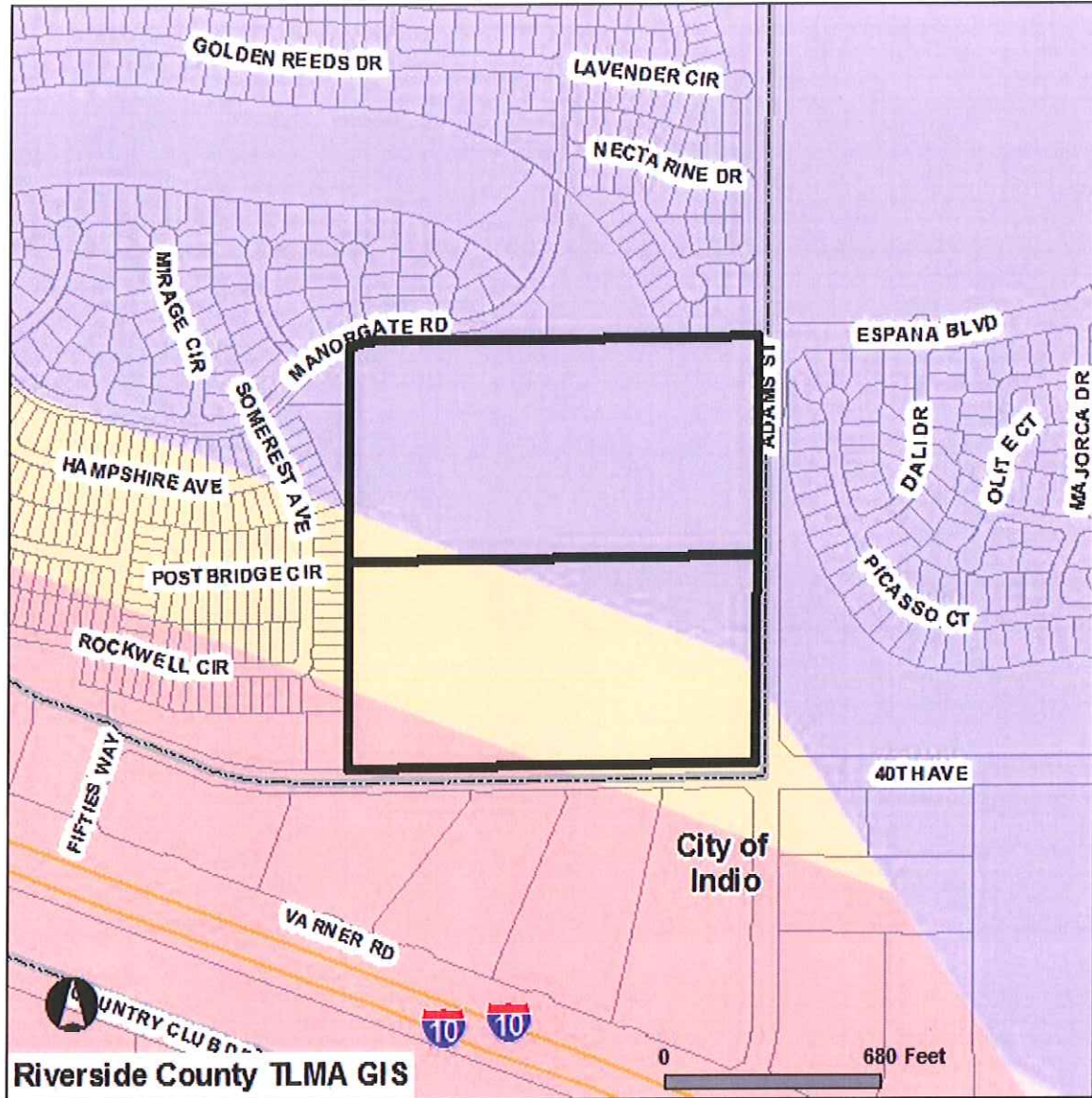
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted December 2004)

Map BD-1

**Compatibility Map**  
 Bermuda Dunes Airport

RIVERSIDE COUNTY GIS



**Selected parcel(s):**  
748-280-008 748-280-009

**AIRPORTS**

- |                         |                       |                       |                      |
|-------------------------|-----------------------|-----------------------|----------------------|
| SELECTED PARCEL         | INTERSTATES           | HIGHWAYS              | PARCELS              |
| AIRPORT INFLUENCE AREAS | COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 | COMPATIBILITY ZONE C |
| COMPATIBILITY ZONE D    |                       |                       |                      |

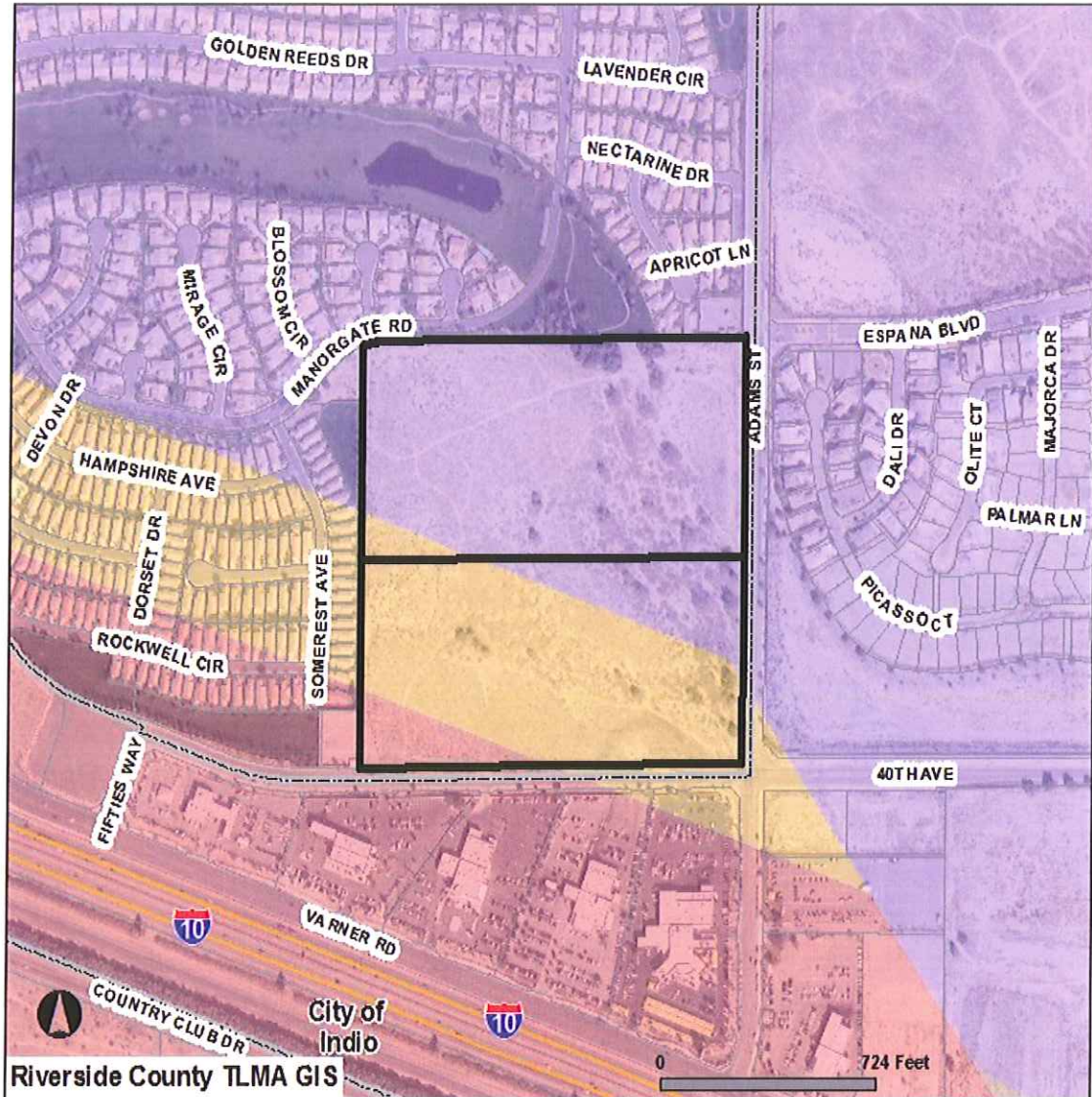
**\*IMPORTANT\***  
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STANDARD WITH PERMITS REPORT

**APNs**  
748-280-008-9  
748-280-009-0

**OWNER NAME / ADDRESS**

RIVERSIDE COUNTY GIS



Selected parcel(s):  
748-280-008 748-280-009

**AIRPORTS**

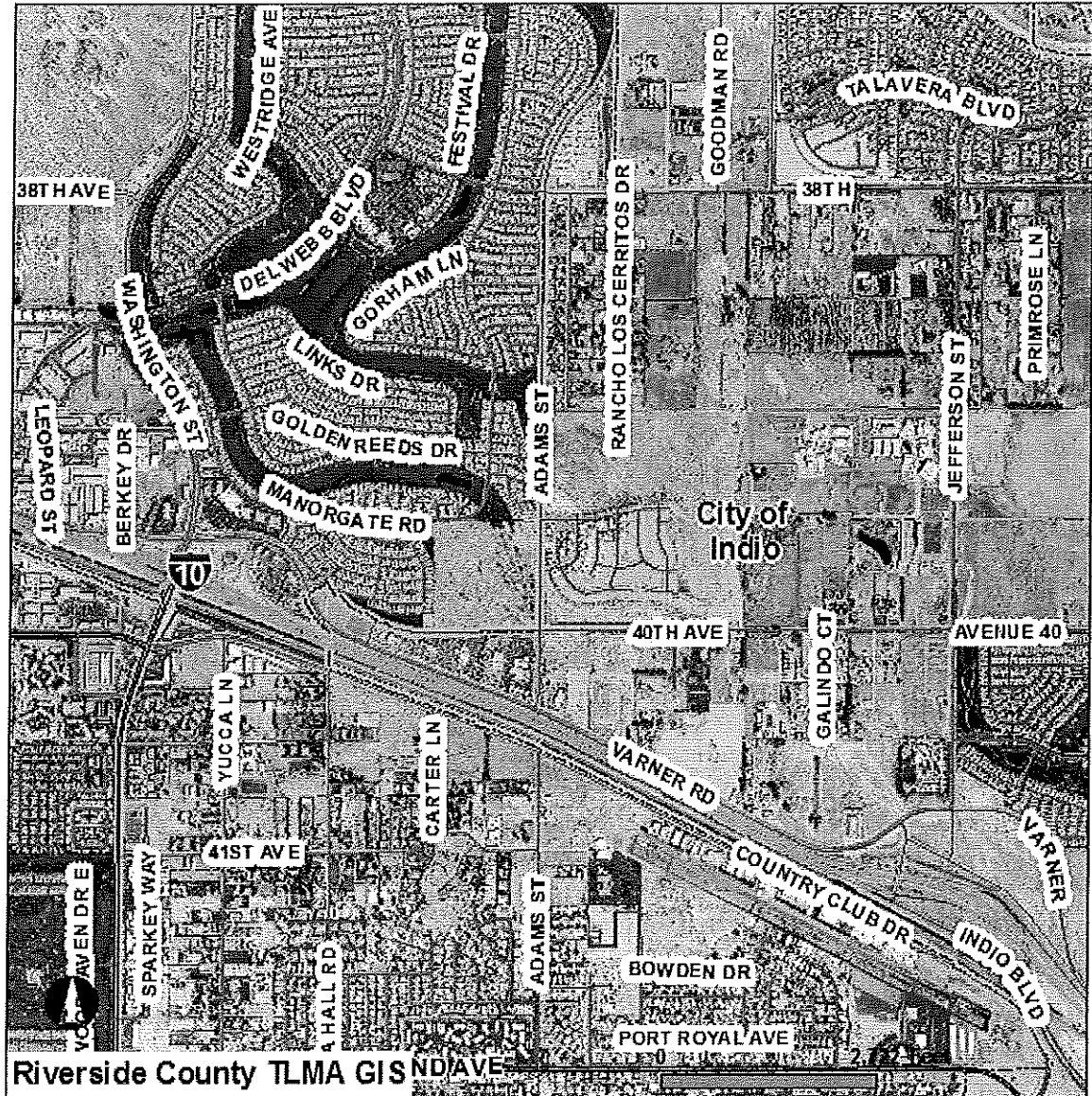
- -
- SELECTED PARCEL     
  COMPATIBILITY ZONE B1     
  COMPATIBILITY ZONE B2     
  PARCELS  
 COMPATIBILITY ZONE D     
  COMPATIBILITY ZONE C     
  COMPATIBILITY ZONE C

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 Version 130523



RIVERSIDE COUNTY GIS



Selected parcel(s):  
748-280-008 748-280-009

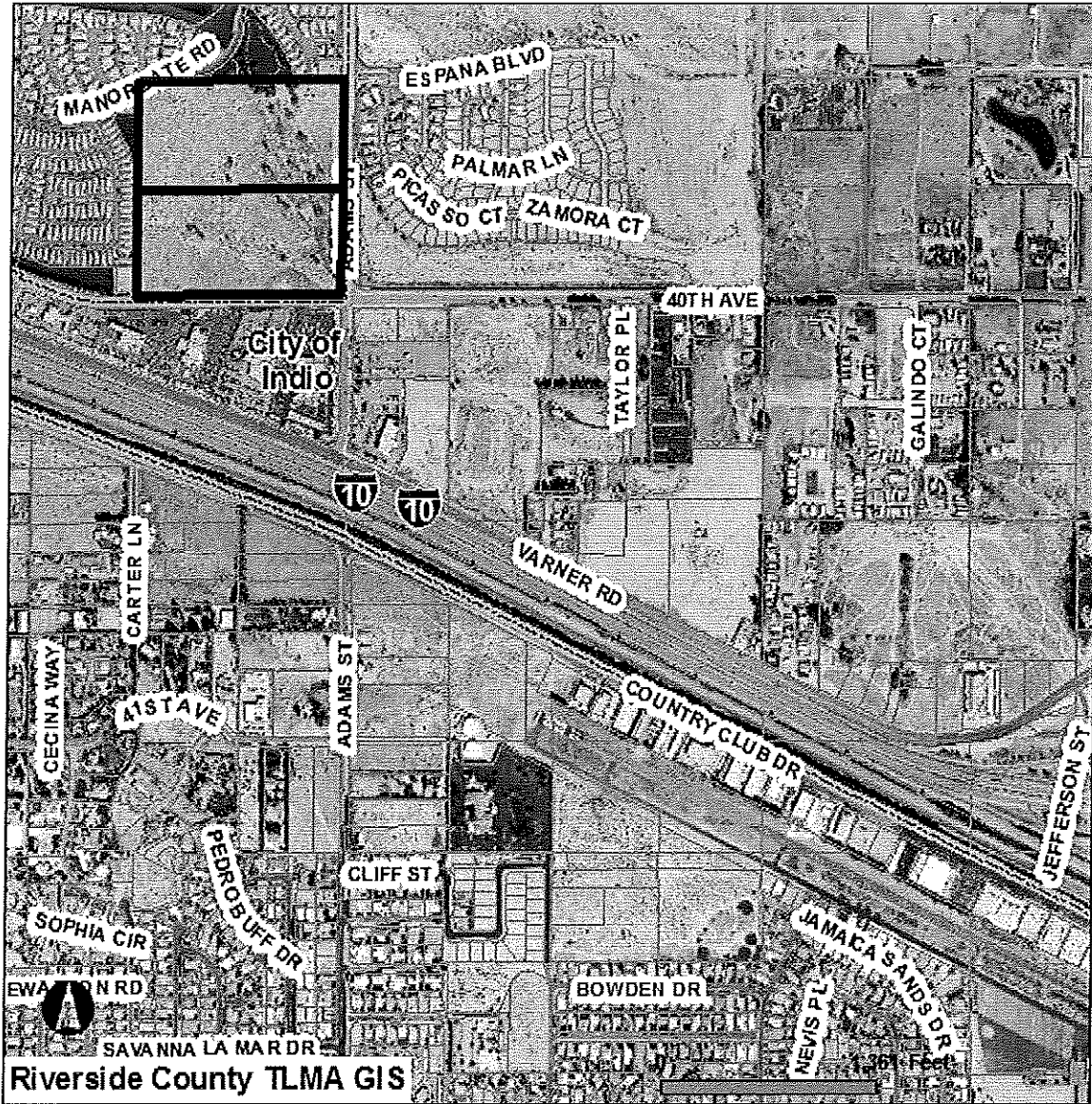
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):  
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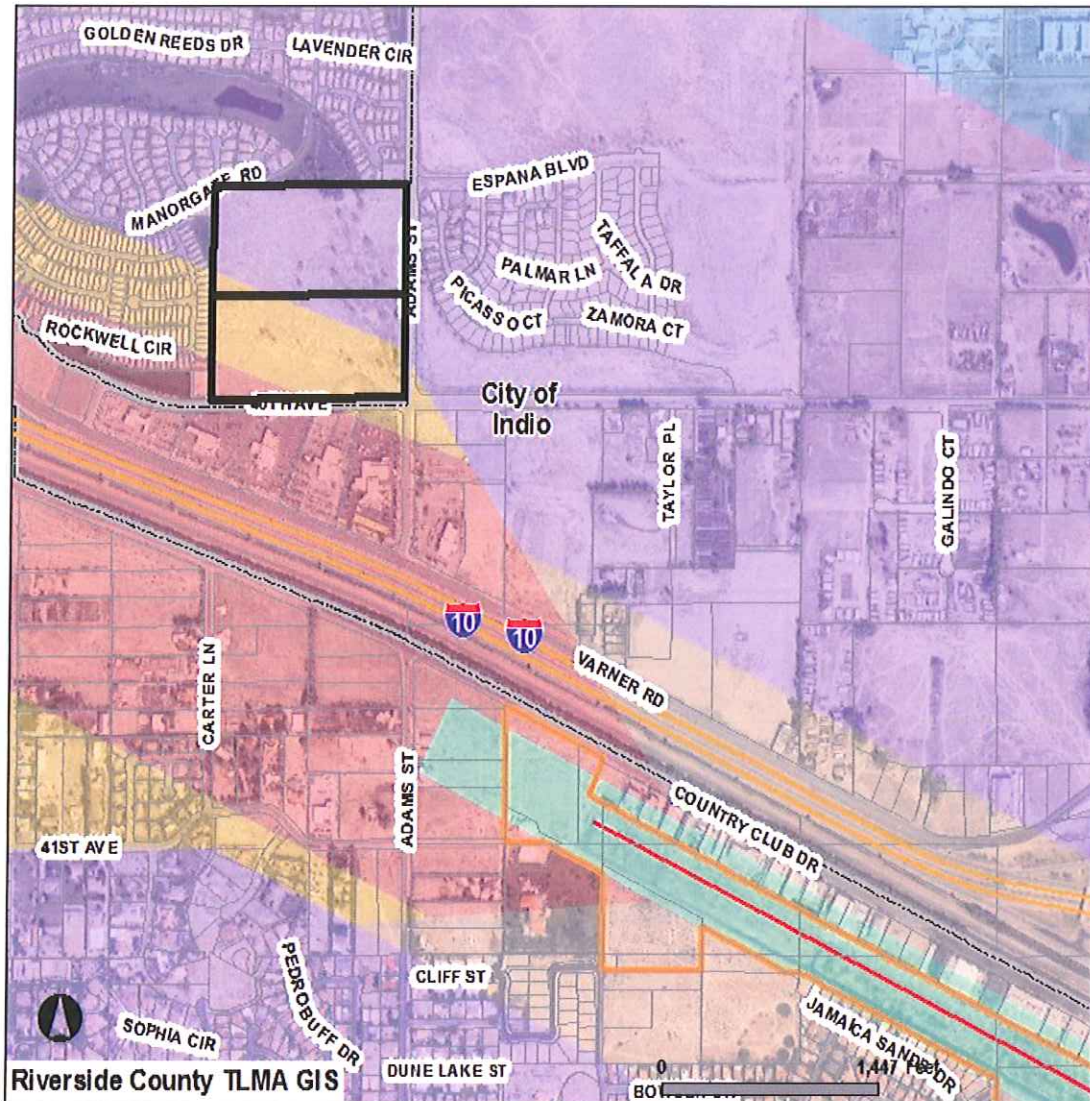
**\*IMPORTANT\***

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Version 130523

RIVERSIDE COUNTY GIS



Selected parcel(s):  
748-280-008 748-280-009

**AIRPORTS**

- |                       |                         |                      |                      |
|-----------------------|-------------------------|----------------------|----------------------|
| SELECTED PARCEL       | INTERSTATES             | HIGHWAYS             | PARCELS              |
| AIRPORT RUNWAYS       | AIRPORT INFLUENCE AREAS | AIRPORT BOUNDARIES   | COMPATIBILITY ZONE A |
| COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2   | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |
| COMPATIBILITY ZONE E  |                         |                      |                      |

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Version 130523

RIVERSIDE COUNTY GIS



**Selected parcel(s):**  
 748-280-008 748-280-009

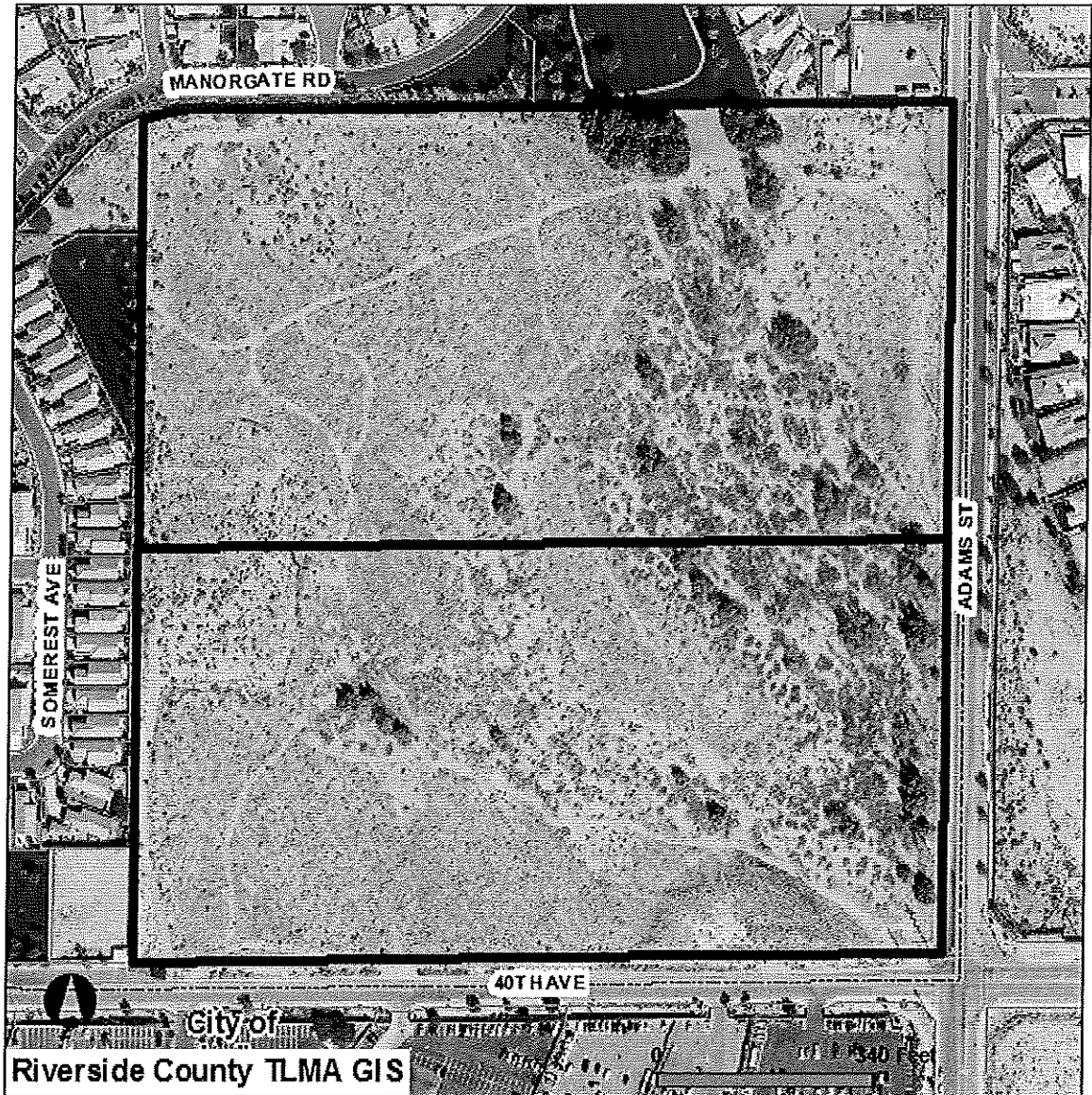
**LEGEND**

- SELECTED PARCEL
- INTERSTATES
- HIGHWAYS
- PARCELS
- CITY

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RIVERSIDE COUNTY GIS



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**\*IMPORTANT\***

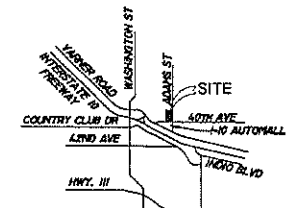
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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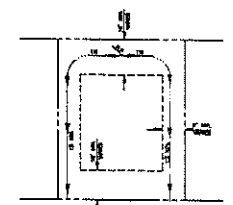
Version 130523

# REVISED TENTATIVE TRACT MAP NO. 30966 and PRELIMINARY GRADING PLAN

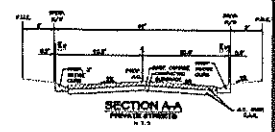
IN THE UNINCORPORATED TERRITORY OF THE COUNTY  
OF RIVERSIDE, STATE OF CALIFORNIA



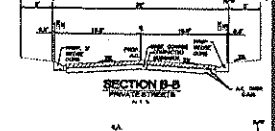
**VICINITY MAP**  
NOT TO SCALE  
THICK BROWN  
CONTOURS  
PAGE 20, 21, 22  
PAGE 20, 21, 22  
PAGE 20, 21, 22



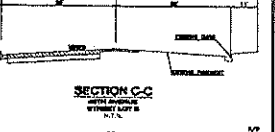
**TYPICAL LOT GRADING**



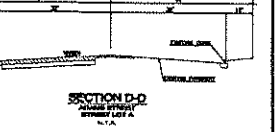
**SECTION A-A**  
PRIVATE STREET



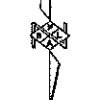
**SECTION B-B**  
PRIVATE STREET



**SECTION C-C**  
STREET LOT B



**SECTION D-D**  
STREET LOT B



**GRAPHIC SCALE**  
1" = 20'

**LEGAL DESCRIPTION:**

**PANEL 1:**  
A PORTION OF THE NORTH ONE-HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 8 SOUTH, RANGE 7 EAST, SAN BERNARDINO NATIONAL, RIVERSIDE COUNTY, CALIFORNIA.

**PANEL 2:**  
THE SOUTH ONE-HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 8 SOUTH, RANGE 7 EAST, SAN BERNARDINO NATIONAL, RIVERSIDE COUNTY, CALIFORNIA APPROVED BY THE SUPERVISOR GENERAL JULY 16, 1988. COEXISTENCE THEREOF AN UNRECORDED EASEMENT OF ALL OIL, GAS AND OTHER MINERALS, AS RECEIVED IN THE PATENT FROM THE STATE OF CALIFORNIA, RECORDED JUNE 27, 1987 AS INSTRUMENT NO. 2082 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

**EASEMENT NOTES:**

- ▲ A NOT-NOT EASEMENT FOR PUBLIC UTILITY PURPOSES IN FAVOR OF COACHELLA VALLEY GAS AND ELECTRIC COMPANY PER INSTRUMENT RECORDED MAY 4, 1984 IN BOOK 2088 PAGE 215, 216.
- ▲ AN EASEMENT FOR PUBLIC INFRASTRUCTURE ON EACH SIDE OF THE SECTION 8 LOTS PER INSTRUMENT NO. 2082, IN BOOK 2088, PAGE 208 AS RECORDED APRIL 11, 1988, O.A.
- ▲ AN EASEMENT IN FAVOR OF THE COUNTY OF RIVERSIDE, FOR PUBLIC ROAD, COACHELLA VALLEY PUBLIC UTILITY AND INFRASTRUCTURE, RECORDED JUNE 29, 1988 IN INSTRUMENT NO. 2082, O.A.
- ▲ A NON-EXCLUSIVE EASEMENT IN FAVOR OF OIL, GAS AND OTHER MINERALS, FOR CONSTRUCTION OF MINERAL RIGHTS RECORDS OCTOBER 10, 2008 AS INSTRUMENT NO. 01-208263, O.A.

**ASSESSOR'S PARCEL NO.:**

714-000-000 AND 714-000-000

**OWNER/DEVELOPER:**

REDAI INC.  
1000 W. 10TH ST.  
P.O. BOX 1000  
RIVERSIDE, CA 92501  
TEL: (951) 514-1000  
FAX: (951) 514-1000

**ENGINEER:**

W.A. HARRINGTON, INC.  
1000 W. 10TH ST.  
P.O. BOX 1000  
RIVERSIDE, CA 92501  
TEL: (951) 514-1000  
FAX: (951) 514-1000

**LOT SUMMARY:**

TOTAL LOTS	100
STREET LOTS	100
INTERNAL LOTS	0

**ACREAGE:**

TOTAL ACRES	10.00
STREET LOTS	10.00
INTERNAL LOTS	0.00
TOTAL ACRES	10.00
TOTAL ACRES	10.00

**DENSITY:**

100 LOTS PER ACRE

**ZONING & LAND USE:**

RESIDENTIAL LOTS PER ACRE  
RESIDENTIAL LOTS PER ACRE  
RESIDENTIAL LOTS PER ACRE  
RESIDENTIAL LOTS PER ACRE  
RESIDENTIAL LOTS PER ACRE

**NOTES:**

1. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
2. NO STRUCTURES OR PERMANENT FIXTURES SHALL BE CONSTRUCTED ON ANY LOT UNLESS THE PROPOSER HAS FIRST OBTAINED A PERMIT FROM THE CITY OF RIVERSIDE.
3. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
4. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
5. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
6. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
7. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
8. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
9. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.
10. ALL LOTS SHALL BE DEVELOPED BY THE END OF THE YEAR 2010.

**EARTHWORK QUANTITIES:**

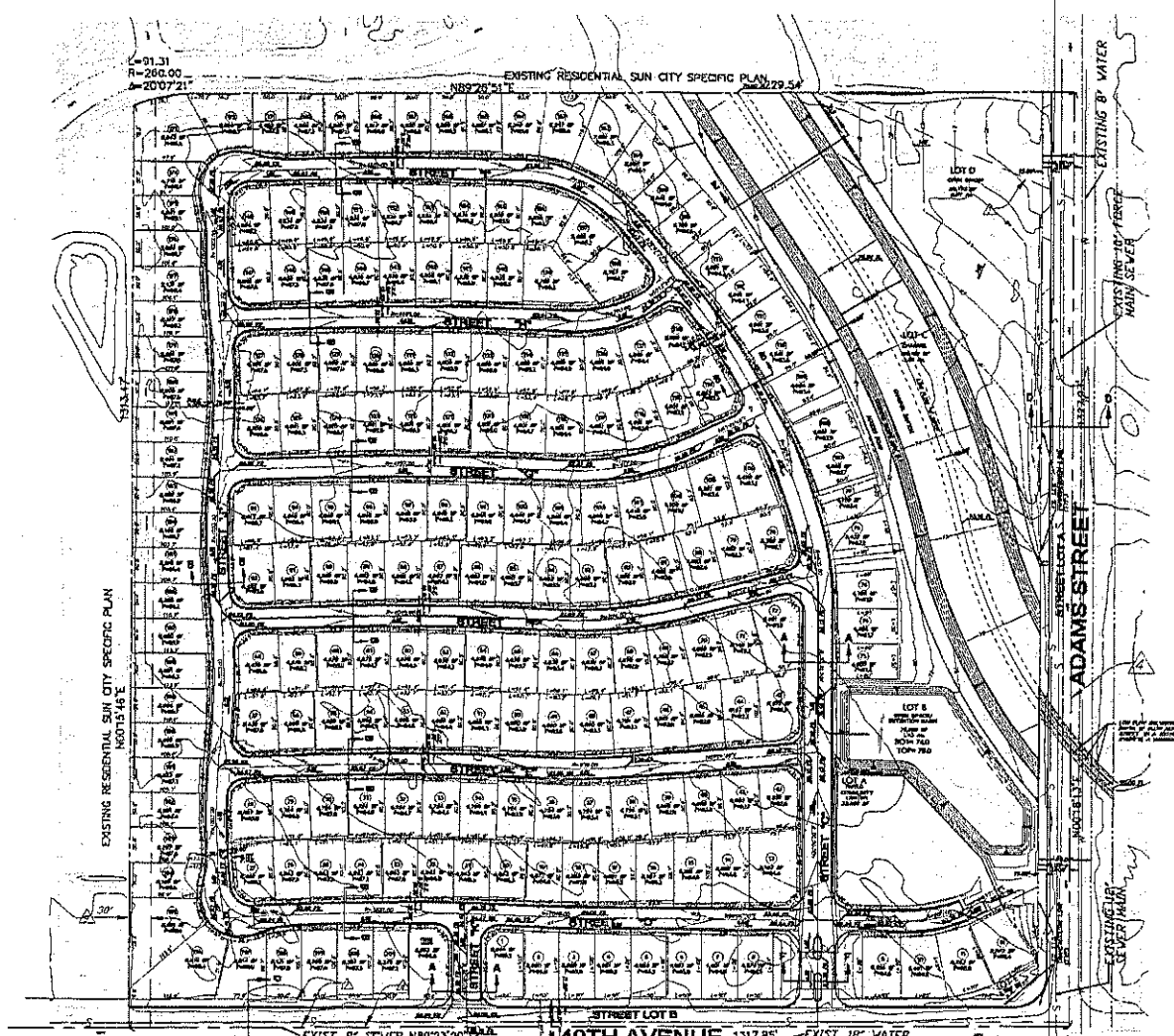
SEE APPENDIX FOR EARTHWORK QUANTITIES  
SEE APPENDIX FOR EARTHWORK QUANTITIES  
SEE APPENDIX FOR EARTHWORK QUANTITIES  
SEE APPENDIX FOR EARTHWORK QUANTITIES  
SEE APPENDIX FOR EARTHWORK QUANTITIES

**UTILITIES:**

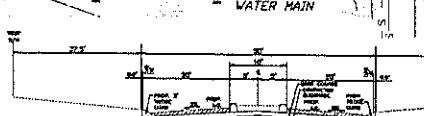
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GAS: COACHELLA VALLEY ENERGY SERVICES  
WATER: COACHELLA VALLEY ENERGY SERVICES  
SEWER: COACHELLA VALLEY ENERGY SERVICES  
TELEPHONE: COACHELLA VALLEY ENERGY SERVICES  
CABLE: COACHELLA VALLEY ENERGY SERVICES  
FIBER: COACHELLA VALLEY ENERGY SERVICES  
SIGNAL: COACHELLA VALLEY ENERGY SERVICES  
SOUND: COACHELLA VALLEY ENERGY SERVICES

**LEGEND:**

BOUNDARY	1/8" OF GRADE	1/8" OF GRADE
RIGHT-OF-WAY	1/8" OF GRADE	1/8" OF GRADE
PROPERTY LINE	1/8" OF GRADE	1/8" OF GRADE
PROPOSED SIDEWALK	1/8" OF GRADE	1/8" OF GRADE
LOT NUMBER	66	66
PROPOSED PAD ELEVATION	417.1	417.1
PROPOSED SLOPE	1/8" OF GRADE	1/8" OF GRADE
PROPOSED CONTOUR	1/8" OF GRADE	1/8" OF GRADE
EXISTING CONTOUR	1/8" OF GRADE	1/8" OF GRADE
EXISTING RIGHT-OF-WAY	1/8" OF GRADE	1/8" OF GRADE



**SECTION E-E**  
STREET LOT B



**SECTION F-F**  
STREET LOT B

DATE	DESCRIPTION

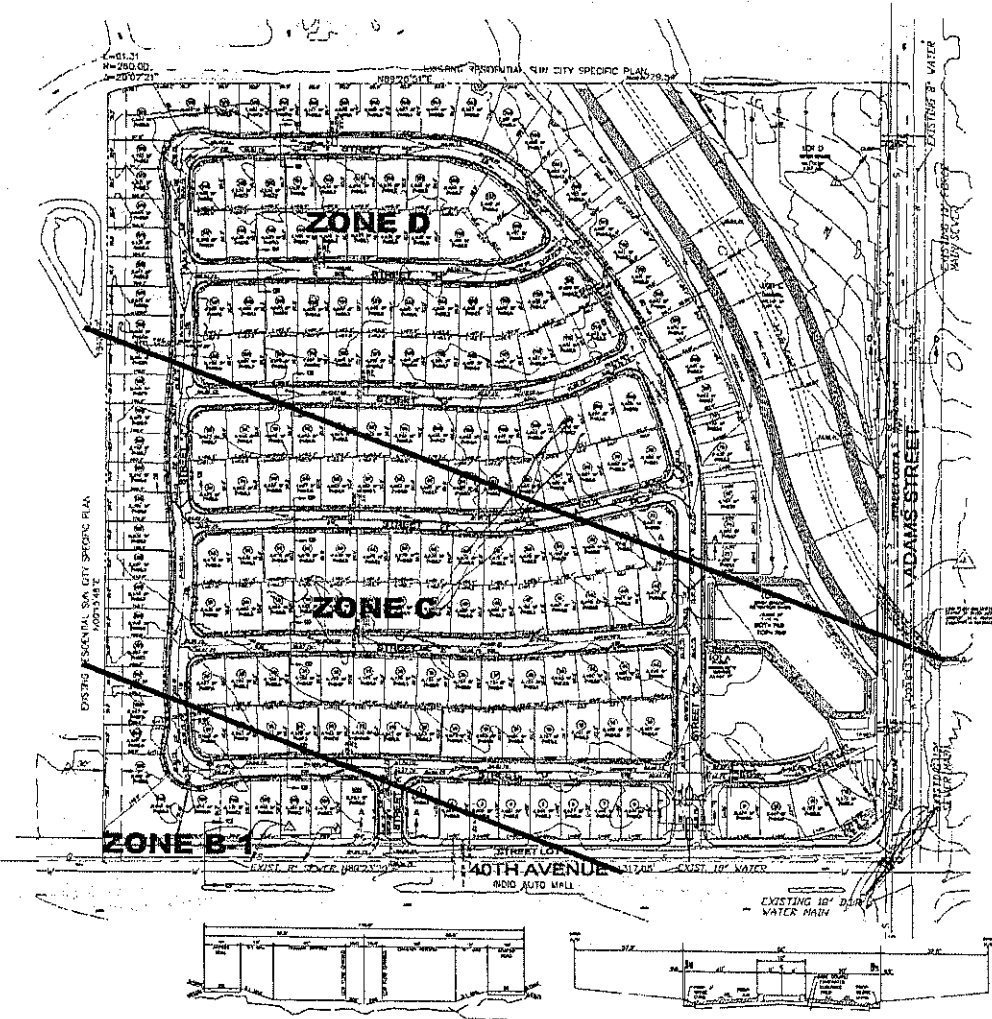
PREPARED BY: **W.A. HARRINGTON, INC.**  
1000 W. 10TH ST.  
P.O. BOX 1000  
RIVERSIDE, CA 92501  
TEL: (951) 514-1000  
FAX: (951) 514-1000

**COUNTY OF RIVERSIDE**  
REVISED TENTATIVE TRACT  
MAP NO. 30966

PLAID BY:  
DATE:  
SHEET:  
1 OF 1  
DATE: 08/08/08

# REVISED TENTATIVE TRACT MAP NO. 30966 and PRELIMINARY GRADING PLAN

IN THE UNINCORPORATED TERRITORY OF THE COUNTY  
OF RIVERSIDE, STATE OF CALIFORNIA



NO.	REVISION	DATE



**LEGAL DESCRIPTION:**

PARCEL 1:  
A PARCEL OF THE TRACT DESCRIBED IN THE TENTATIVE TRACT MAP NO. 30966, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING PARCEL 1, AS SHOWN ON SAID TRACT MAP, BEING PARCEL 1, AS SHOWN ON SAID TRACT MAP.

PARCEL 2:  
THE NORTH PORTION OF THE TRACT DESCRIBED IN THE TENTATIVE TRACT MAP NO. 30966, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, BEING PARCEL 2, AS SHOWN ON SAID TRACT MAP, BEING PARCEL 2, AS SHOWN ON SAID TRACT MAP.

**EASEMENT NOTES:**

1. THE EASEMENT GRANTED TO THE PUBLIC UTILITIES COMPANY IS LIMITED TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN, AND TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN, AND TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN.

**ASSESSOR'S PARCEL NO.:**

**OWNER'S NAME:**

**OWNER'S ADDRESS:**

**LOT SUMMARY:**

NO.	AREA	PERCENT	TOTAL
1	10.00	100.00	10.00
2	10.00	100.00	10.00
3	10.00	100.00	10.00
4	10.00	100.00	10.00
5	10.00	100.00	10.00
6	10.00	100.00	10.00
7	10.00	100.00	10.00
8	10.00	100.00	10.00
9	10.00	100.00	10.00
10	10.00	100.00	10.00
11	10.00	100.00	10.00
12	10.00	100.00	10.00
13	10.00	100.00	10.00
14	10.00	100.00	10.00
15	10.00	100.00	10.00
16	10.00	100.00	10.00
17	10.00	100.00	10.00
18	10.00	100.00	10.00
19	10.00	100.00	10.00
20	10.00	100.00	10.00
21	10.00	100.00	10.00
22	10.00	100.00	10.00
23	10.00	100.00	10.00
24	10.00	100.00	10.00
25	10.00	100.00	10.00
26	10.00	100.00	10.00
27	10.00	100.00	10.00
28	10.00	100.00	10.00
29	10.00	100.00	10.00
30	10.00	100.00	10.00
31	10.00	100.00	10.00
32	10.00	100.00	10.00
33	10.00	100.00	10.00
34	10.00	100.00	10.00
35	10.00	100.00	10.00
36	10.00	100.00	10.00
37	10.00	100.00	10.00
38	10.00	100.00	10.00
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41	10.00	100.00	10.00
42	10.00	100.00	10.00
43	10.00	100.00	10.00
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46	10.00	100.00	10.00
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50	10.00	100.00	10.00

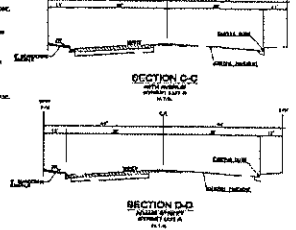
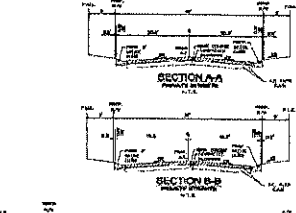
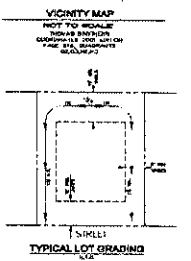
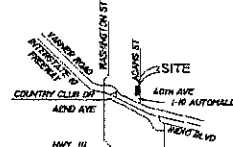
**DENSITY:**

100 UNITS PER ACRE

**ZONING & LAND USE:**

**NOTES:**

1. THE EASEMENT GRANTED TO THE PUBLIC UTILITIES COMPANY IS LIMITED TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN, AND TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN, AND TO THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF THE WATER MAIN, SEWER MAIN AND GAS MAIN.

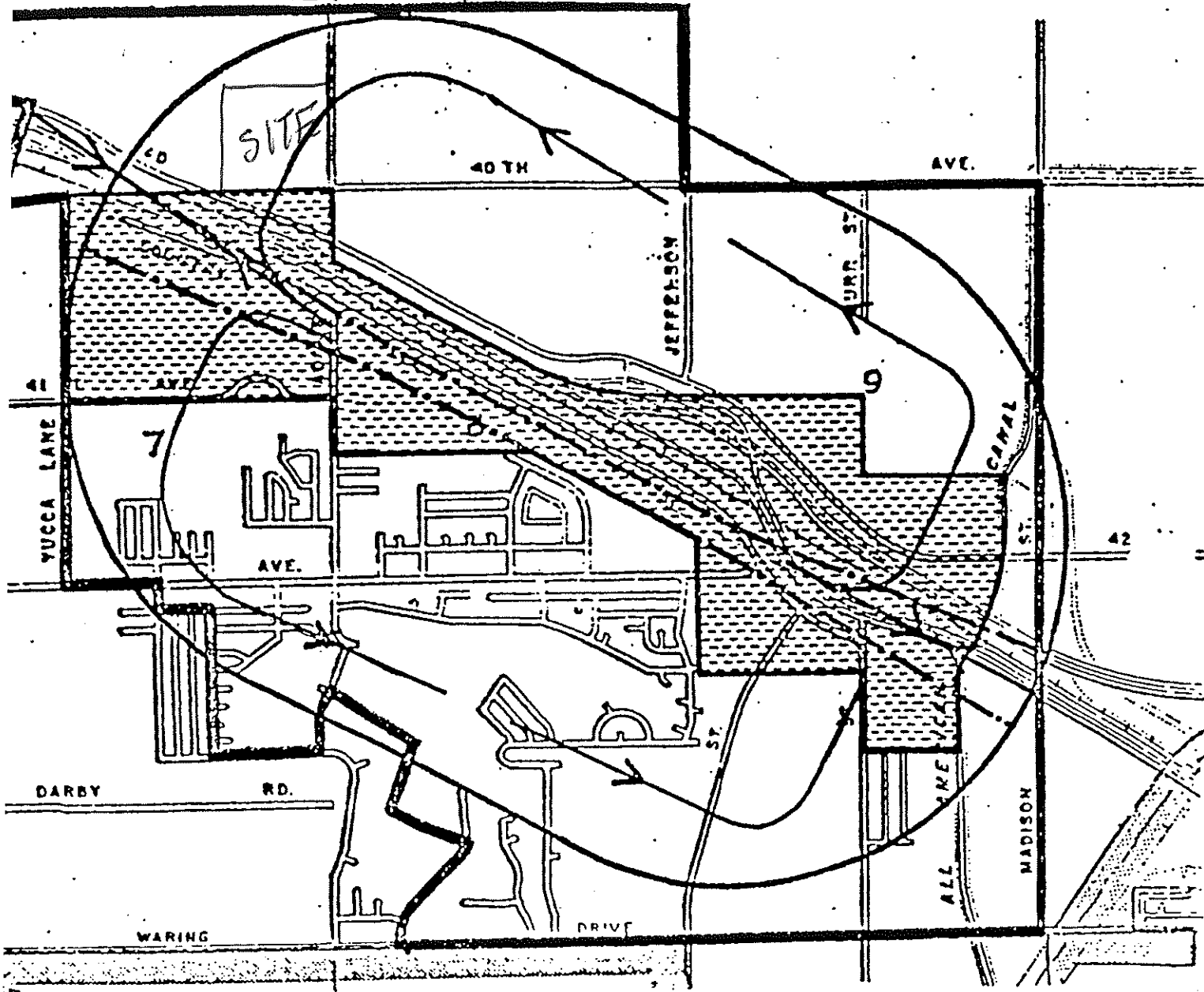


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


BOUNDARY	1/8" OF CURVE	250'
RIGHT-OF-WAY	1/8" OF CURVE	250'
PROPERTY LINE	1/8" OF CURVE	250'
PROPOSED STONE CURB	1/8" OF CURVE	250'
LOT NUMBER	1/8" OF CURVE	250'
PROPOSED PAVEMENT	1/8" OF CURVE	250'
PROPOSED DRIVE	1/8" OF CURVE	250'
PROPOSED DRIVE	1/8" OF CURVE	250'
PROPOSED DRIVE	1/8" OF CURVE	250'
PROPOSED DRIVE	1/8" OF CURVE	250'

BERMUDA DUNES AIRPORT  
 LAND USE PLAN  
 BERMUDA DUNES AIRPORT  
 AREA OF SIGNIFICANT  
 SAFETY CONCERN

*Old CLUP  
 Excerpt*



**LEGEND**

-  AREA OF SIGNIFICANT SAFETY CONCERN
-  IDEALIZED FLIGHT PATHS
-  IMAGINARY APPROACH SURFACES

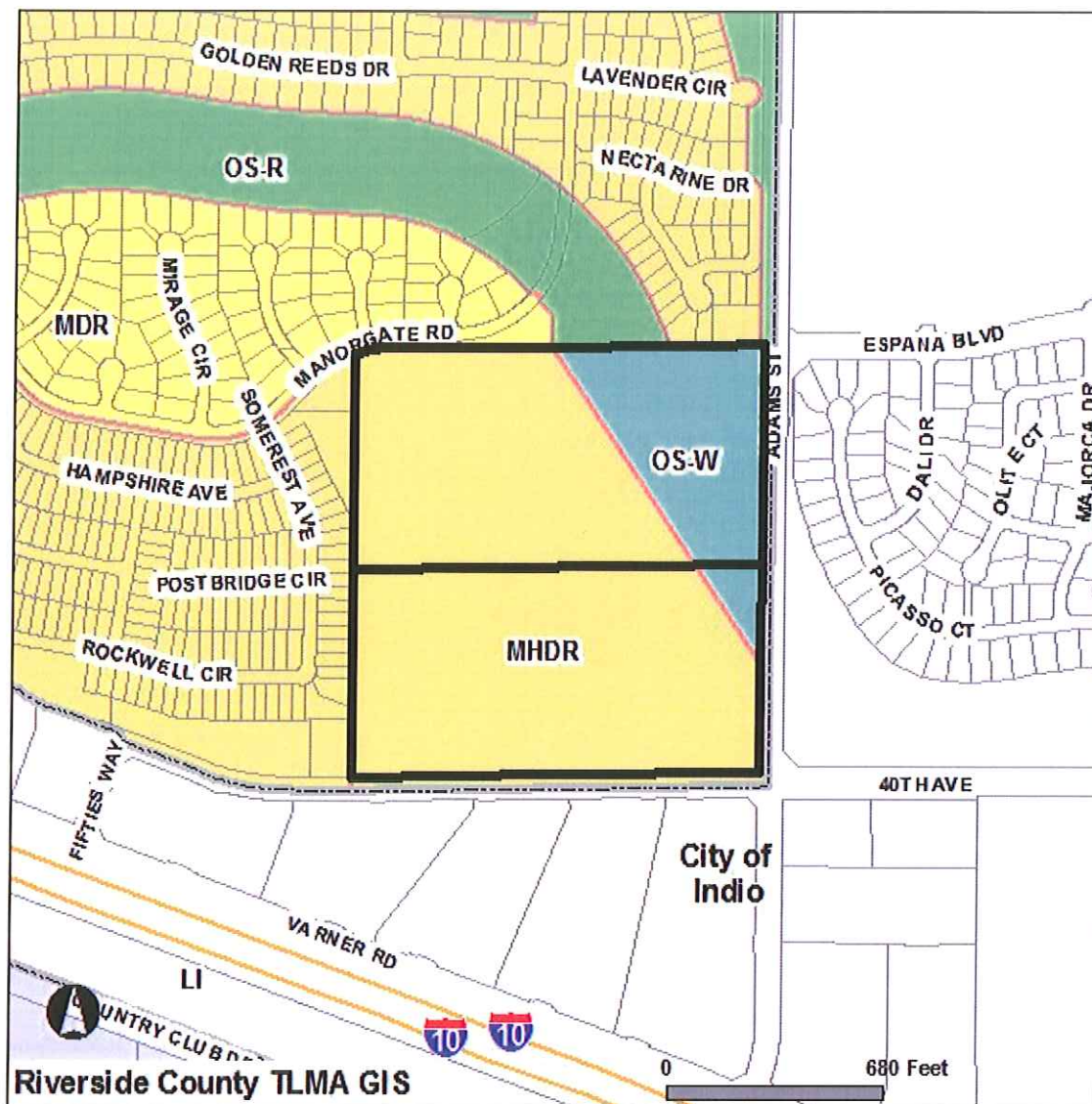
SOURCE: RIVERSIDE COUNTY AIRPORT  
 LAND USE COMMISSION 8-21-84



EXHIBIT II



RIVERSIDE COUNTY GIS



Selected parcel(s):  
748-280-008 748-280-009

LAND USE

- |  |                                  |                       |                                  |
|--|----------------------------------|-----------------------|----------------------------------|
| SELECTED PARCEL                        | INTERSTATES                      | HIGHWAYS              | CITY                             |
| PARCELS                                | EDR - ESTATE DENSITY RESIDENTIAL | LI - LIGHT INDUSTRIAL | MDR - MEDIUM DENSITY RESIDENTIAL |
| MHDR - MEDIUM HIGH DENSITY RESIDENTIAL | OS-R - OPEN SPACE RECREATION     | OS-W - WATER          |                                  |

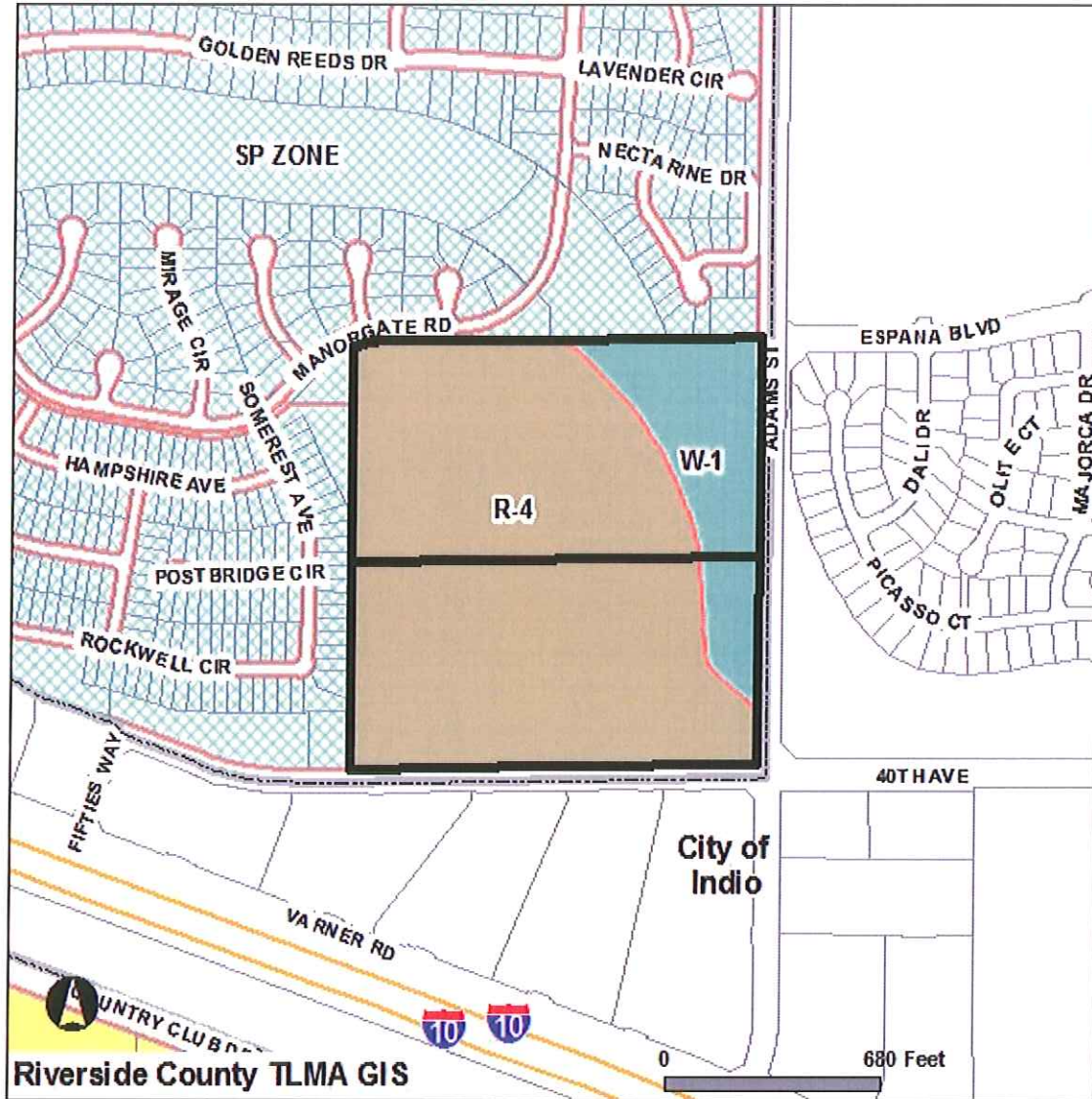
**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):  
748-280-008 748-280-009

ZONING

- SELECTED PARCEL
- PARCELS
- SP ZONE
- INTERSTATES
- ZONING BOUNDARY
- W-1
- HIGHWAYS
- R-1-12000
- CITY
- R-4

**\*IMPORTANT\***

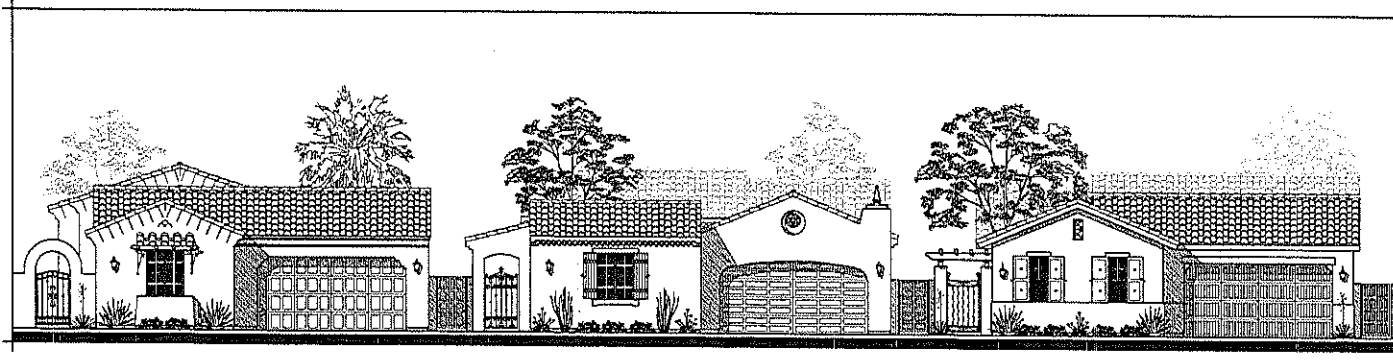
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REPORT PRINTED ON...Mon May 13 09:43:29 2013

Version 130225

# Encore Design Manual

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009



## Sheet Index

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A-2: Plan 1 Floor Plan  
A-3: Plan 1 Front Elevations  
A-4: Plan 1 Elevations & Roof Plans  
A-5: Plan 2 Floor Plan  
A-6: Plan 2 Front Elevations  
A-7: Plan 2 Elevations & Roof Plan  
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L-3: Landscape Enlargements  
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L-8: Shrub, Groundcover, Vines and Ornamental Grass Images  
L-9: Accent Light Images  
L-10: Wall and Fence Plan  
L-11: Shading Plan

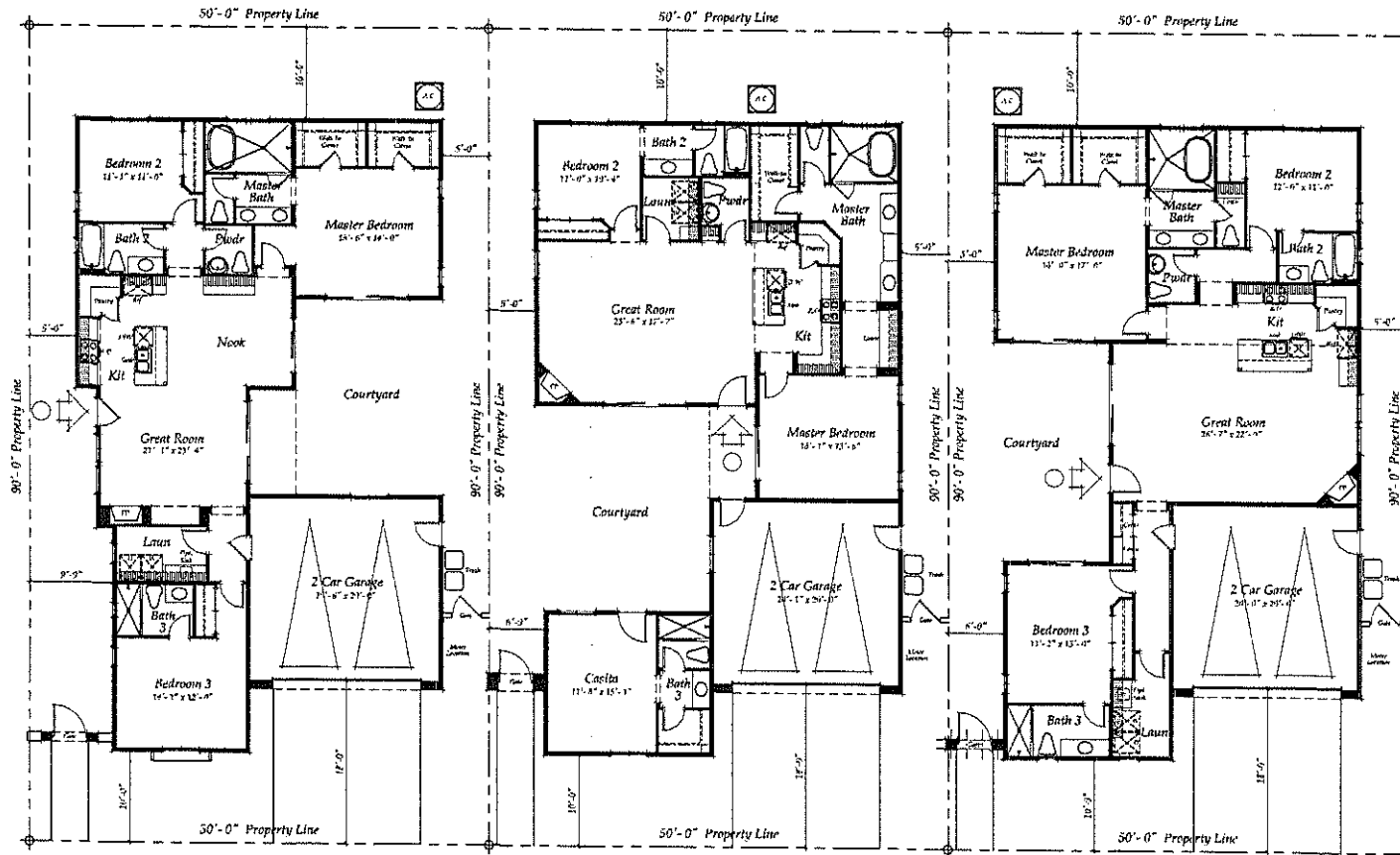
## Gibraltus, Inc

73-111 El Paseo, Suite 105  
Palm Desert, CA 92260  
(760) 862-1111



**PEKAREK-CRANDELL, Inc.**  
architecture - planning

31411 Camino Capistrano, Suite 300 949/487-2320  
San Juan Capistrano, CA 92675 fax 949/487-2321  
3-28-13 #12-26  
Sheet CS



**Plan 1**  
1,657 sq. ft.  
Spanish

**Plan 2**  
1,711 sq. ft.  
Hacienda

**Plan 3**  
1,903 sq. ft.  
Early California

**Site Plan**  
**Exhibit C**  
**Typical 3 Lots**

Scale: 3/16" = 1'-0"

**Gibraltar us, Inc**

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Palm Desert, CA 92260  
(760) 862-1111

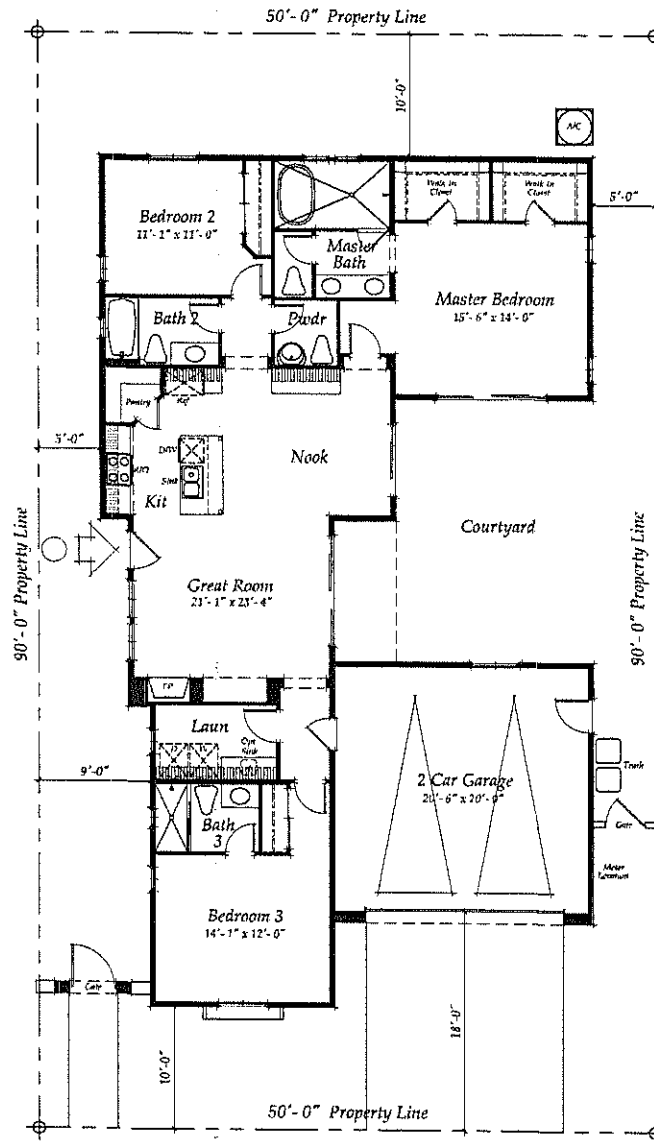
**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Project Data**  
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



31411 Camino Capistrano, Suite 300 840/ 487-2320  
San Juan Capistrano, CA 92675 fax 949/ 487-2321  
3-28-13 412-26  
Sheet A-1



**Plan 1**  
**Exhibit C**  
**1,657 sq. ft.**  
**3 Bedroom/ 3.5 Bath**

Scale: 1/4" = 1'-0"

# Gibraltus, Inc

73-111 El Paseo, Suite 105  
 Palm Desert, CA 92260  
 (760) 862-1111

# Encore

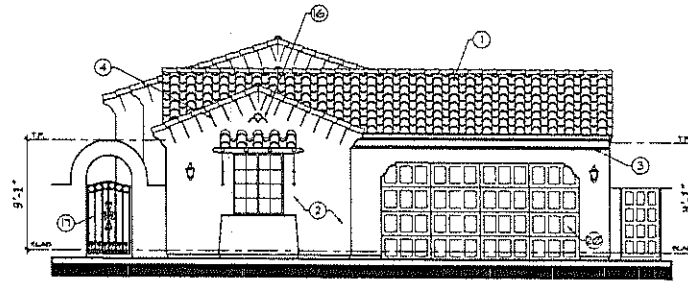
County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. # 748-280-006 & 748-280-009

**Project Data**  
 Occupancy - R-3  
 Construction Type - Type V  
 Number of Stories - 1

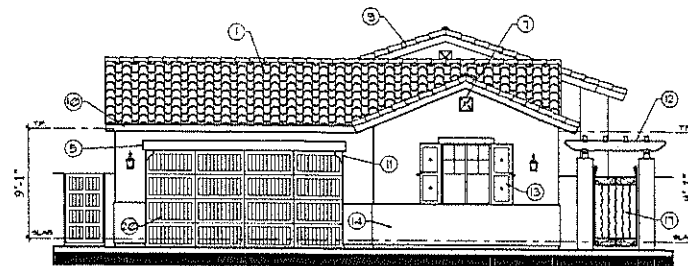


**PEKAREK-CRANDELL, Inc.**  
 architecture - planning

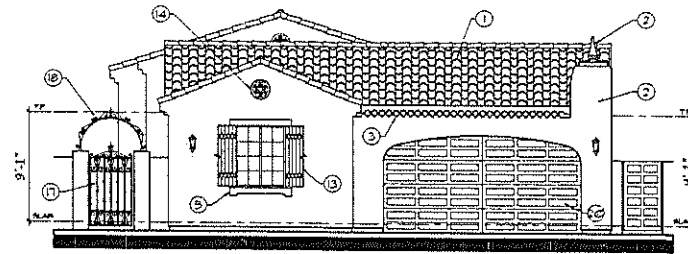
31411 Camino Capistrano, Suite 300 949/ 487-2320  
 San Juan Capistrano, CA 92675 fax 949/ 487-2321  
 3-28-13 #12-26  
 Sheet A-2



Spanish



Early California



Hacienda

**Exterior Materials**

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Edge
4. Stucco Scalloped Rake
5. Stucco w/ Foam Trim
6. Stucco w/ Foam Corbel
7. Stucco Recess w/ Thin Brick
8. Furred Stucco Base
9. Wood Rafter Board
10. Wood Fascia Board
11. Wood Corbel
12. Wood Trellis
13. Wood Shutter
14. Precast Concrete Rosette
15. Precast Concrete Finial
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door

**Plan 1**  
**Exhibit B**  
**Front Elevations**

Scale: 1/4" = 1'-0"



**PEKAREK-CRANDELL, Inc.**  
architecture - planning

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San Juan Capistrano, CA 92675 fax 949/ 487-2321  
3-28-13 #12-26  
Sheet A-3

**Gibraltus, Inc**

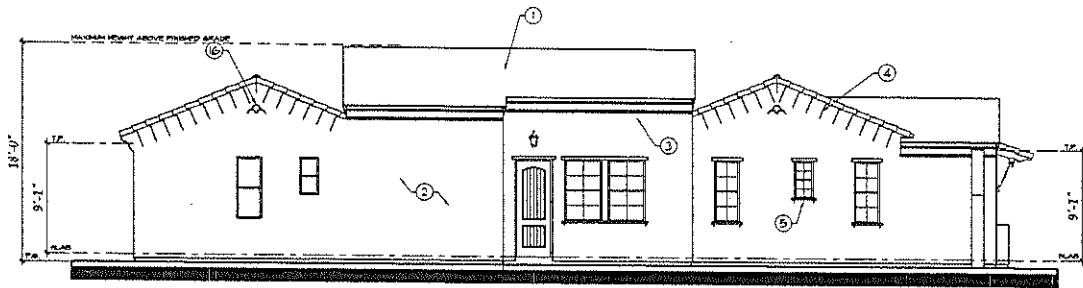
73-111 El Paseo, Suite 105  
Palm Desert, CA 92260  
(760) 862-1111

**Encore**

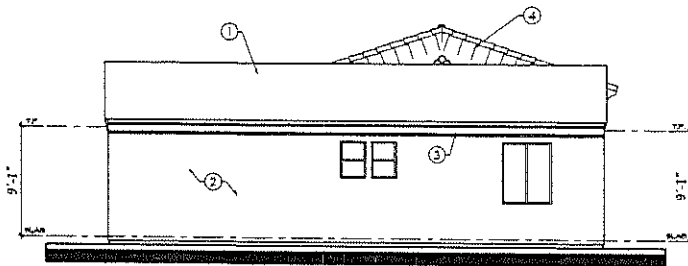
County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Project Data**

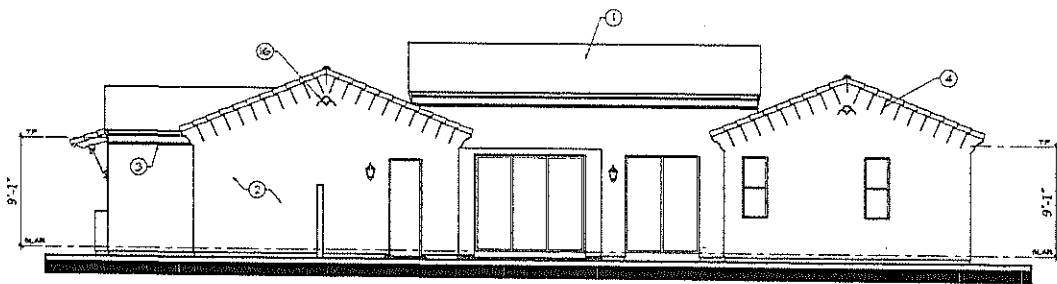
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



Left Elevation



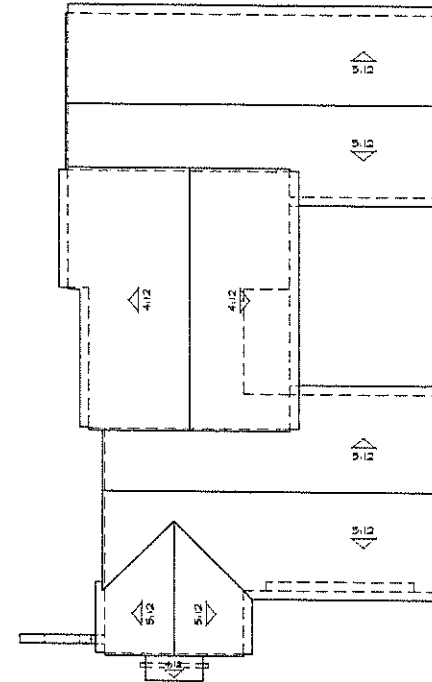
Rear Elevation



Right Elevation

**Exterior Materials**

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco of Faux Stone
4. Stucco Scalloped Rock
5. Stucco of Faux Trim
6. False Clay Tile Vent



Roof Plan  
Scale: 3/16" = 1'-0"

**Plan 1**  
**Exhibit B**  
**Elevations/ Roof Plan**  
**Spanish**

Scale: 1/4" = 1'-0"

**Gibralt us, Inc**

73-111 El Paseo, Suite 105  
Palm Desert, CA 92260  
(760) 862-1111

**Encore**

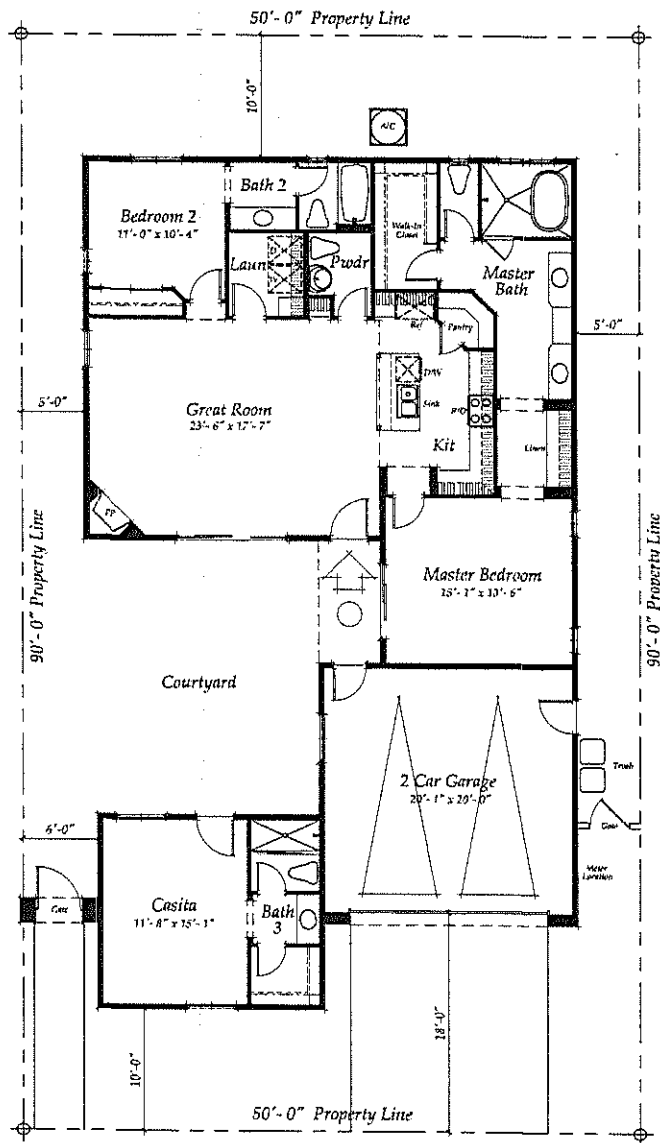
County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Project Data**

Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



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san juan capistrano, ca 92675 fax 949/ 487-2321  
3-28-13 #12-26  
Sheet A-4



Plan 2  
 Exhibit C  
 1,711 sq. ft.  
 2 Bed + Casita/ 3.5 Bath

Scale: 1/4" = 1'-0"

# Gibraltus, Inc

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 Palm Desert, CA 92260  
 (760) 862-1111

# Encore

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. # 748-280-006 & 748-280-009

Project Data  
 Occupancy - R-3  
 Construction Type - Type V  
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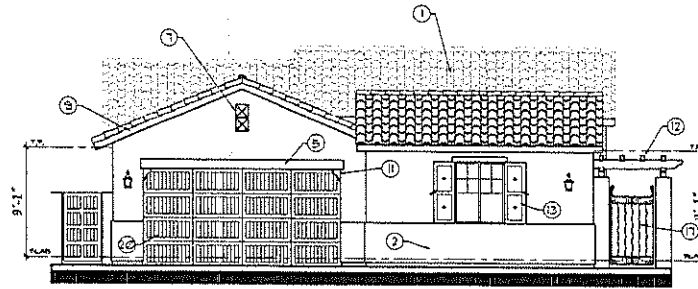


PEKAREK-CRANDELL, Inc.  
 architecture - planning

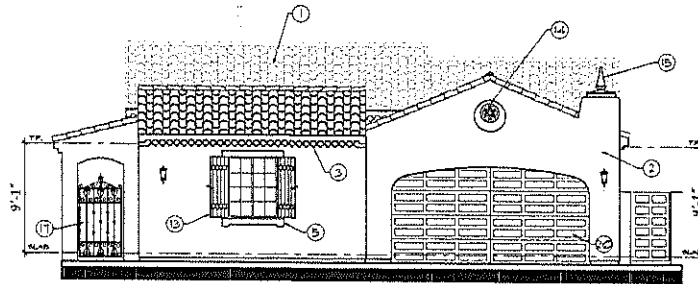
31411 camino capistrano, suite 300 949/487-2320  
 san juan capistrano, ca 92675 fax 949/487-2321

3-28-13 412-26  
 Sheet A-5

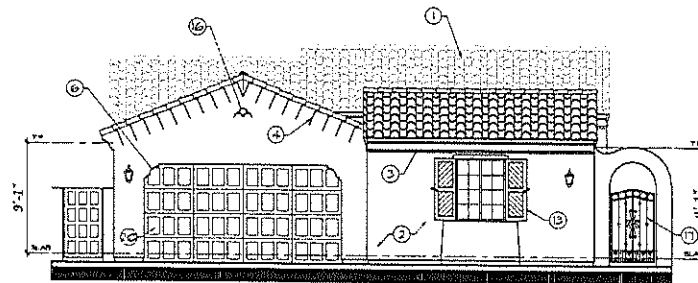




Early California



Hacienda



Spanish

*Exterior Materials*

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Edge
4. Stucco Scalloped Rake
5. Stucco w/ Foam Trim
6. Stucco w/ Foam Corbel
7. Stucco Recess w/ Thin Brick
8. Furred Stucco Base
9. Wood Barge Board
10. Wood Facia Board
11. Wood Corbel
12. Wood Trellis
13. Wood Shutter
14. Precast Concrete Rosette
15. Precast Concrete Finial
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door

*Plan 2  
Exhibit B  
Front Elevations*

Scale: 1/4" = 1'-0"

*Gibraltar us, Inc*

73-111 El Pasco, Suite 105  
Palm Desert, CA 92260  
(760) 862-1111

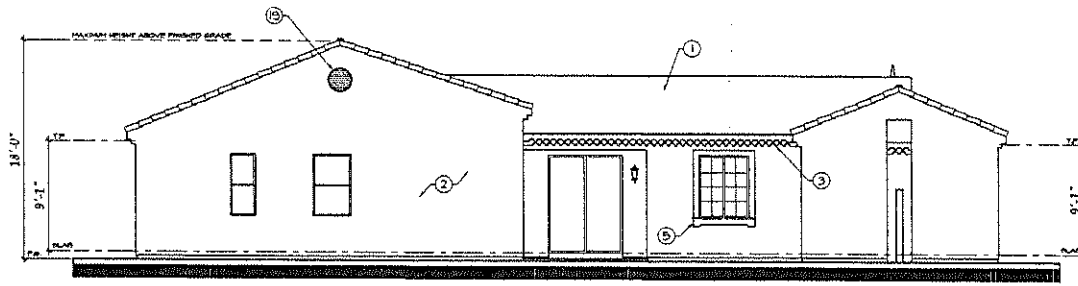
*Encore*

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

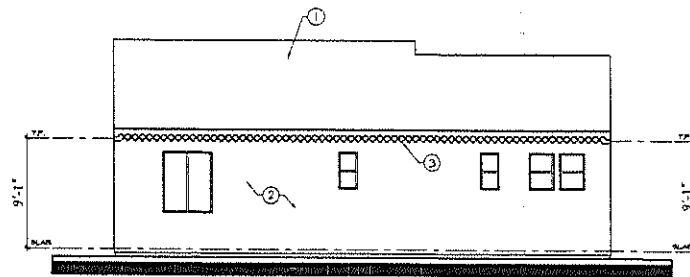
Project Data  
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



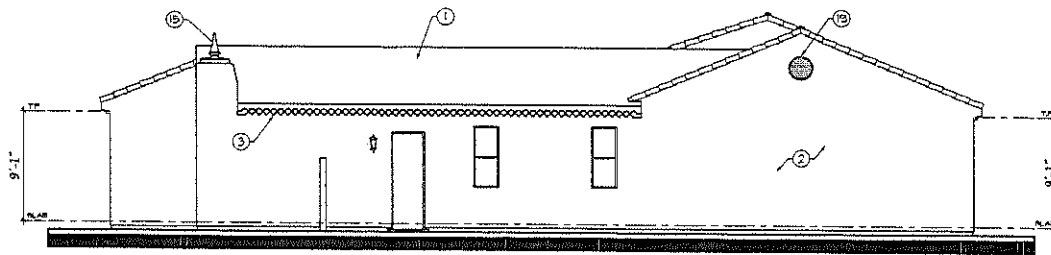
31411 Camino Capistrano, Suite 300 040/487-2320  
San Juan Capistrano, CA 92675 fax 949/487-2321  
3-28-13 #12-26  
Sheet A-6



Left Elevation



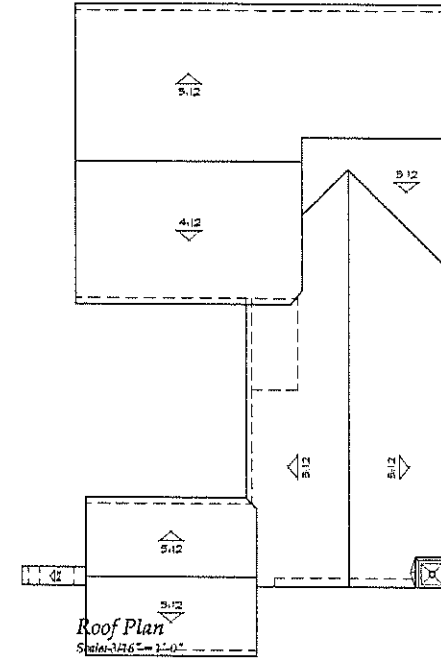
Rear Elevation



Right Elevation

**Exterior Materials**

- 1. Concrete "S" Tile
- 2. Stucco w/ Sand Finish
- 3. Stucco of Foam Edge
- 5. Stucco of Foam Trim
- 15. Precast Concrete Finish
- 19. Metal Vent



Roof Plan  
Scale: 3/16" = 1'-0"

**Plan 2**  
**Exhibit B**  
**Elevations/ Roof Plan**  
**Hacienda**

Scale: 1/4" = 1'-0"

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Palm Desert, CA 92260  
(760) 862-1111

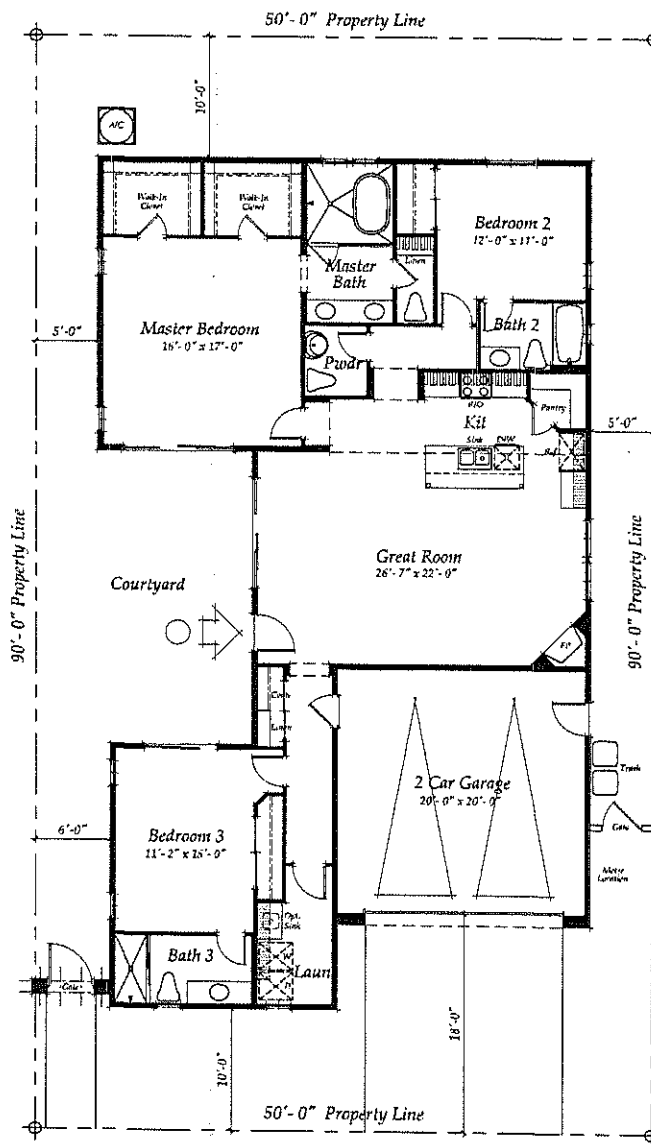
**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

Project Data  
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1

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3-28-13 #12-26  
Sheet A-7



*Plan 3*  
 Exhibit C  
 1,903 sq. ft.  
 3 Bedroom/ 3.5 Bath

Scale: 1/4" = 1'-0"



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 3-28-13 412-26  
 Sheet A-8

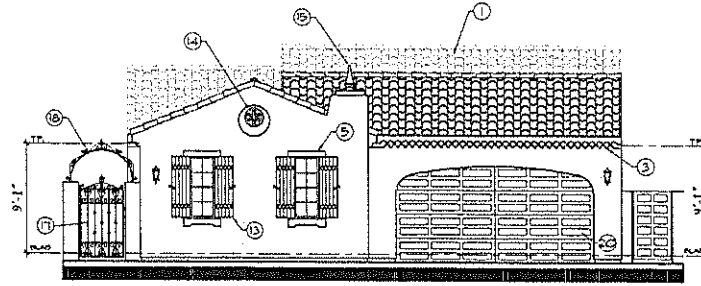
*Gibraltus, Inc*

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 Palm Desert, CA 92260  
 (760) 862-1111

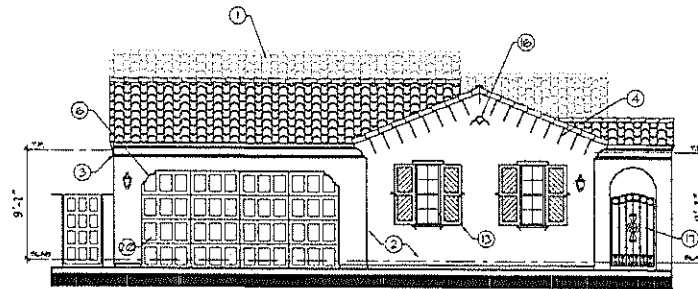
*Encore*

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. # 748-280-006 & 748-280-009

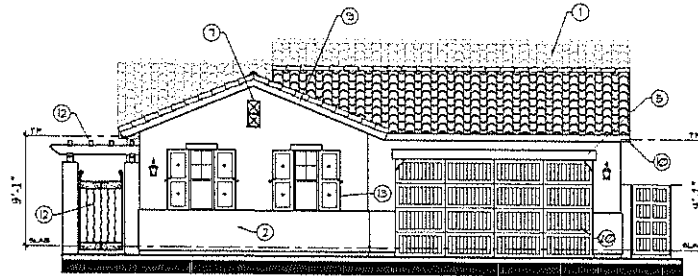
Project Data  
 Occupancy - R-3  
 Construction Type - Type V  
 Number of Stories - 1



Hacienda



Spanish



Early California

*Exterior Materials*

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco w/ Foam Edge
4. Stucco Scalloped Edge
5. Stucco w/ Foam Trim
6. Stucco w/ Foam Corbel
7. Stucco Recess w/ Thin Brick
8. Furred Stucco Base
9. Wood Barge Board
10. Wood Fascia Board
11. Wood Corbel
12. Wood Trellis
13. Wood Shutter
14. Precast Concrete Rosette
15. Precast Concrete Finial
16. False Clay Tile Vent
17. Iron Gate
18. Decorative Iron Accent
19. Metal Vent
20. Fiberglass Sectional Garage Door

*Plan 3  
Exhibit B  
Front Elevations*

Scale: 1/4" = 1'-0"

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*Encore*

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

*Project Data*

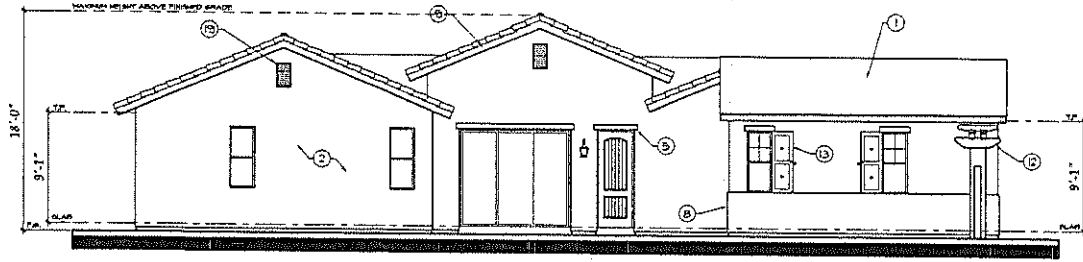
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



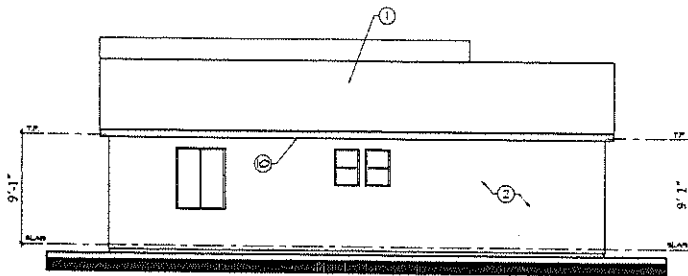
**PEKAREK-CRANDELL, Inc.**  
architecture - planning

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3-28-13 #12-26

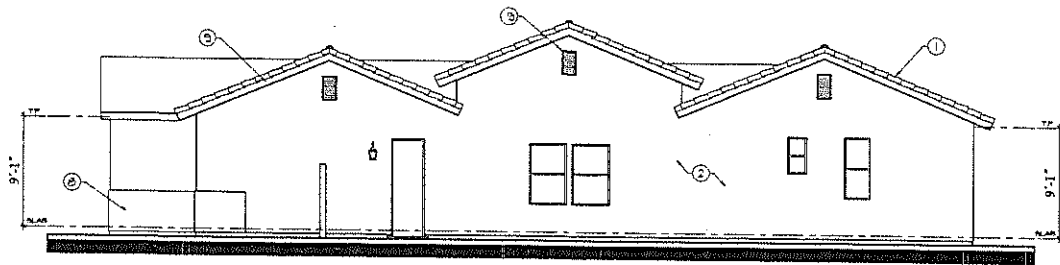
Sheet A-9



Left Elevation



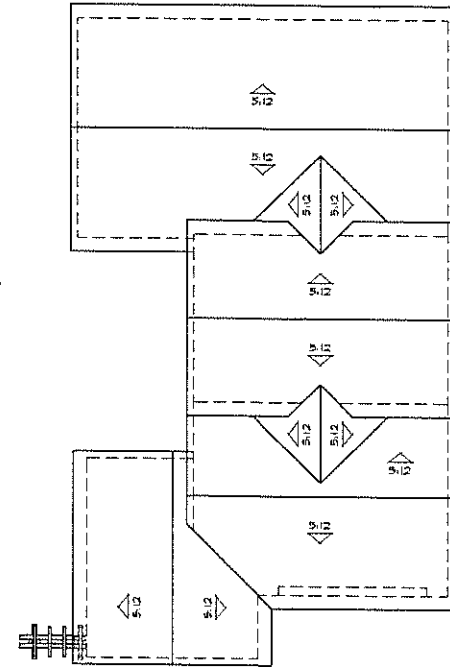
Rear Elevation



Right Elevation

**Exterior Materials**

1. Concrete "S" Tile
2. Stucco w/ Sand Finish
3. Stucco of Foam Trim
4. Furred Stucco Base
5. Wood Barge Board
6. Wood Fascin Board
7. Wood Trellis
8. Wood Shutter
9. Metal Vent



Roof Plan  
Scale: 3/16" = 1'-0"

**Plan 3**  
**Exhibit B**  
**Elevations/ Roof Plan**  
**Early California**

Scale: 1/4" = 1'-0"

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**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Project Data**

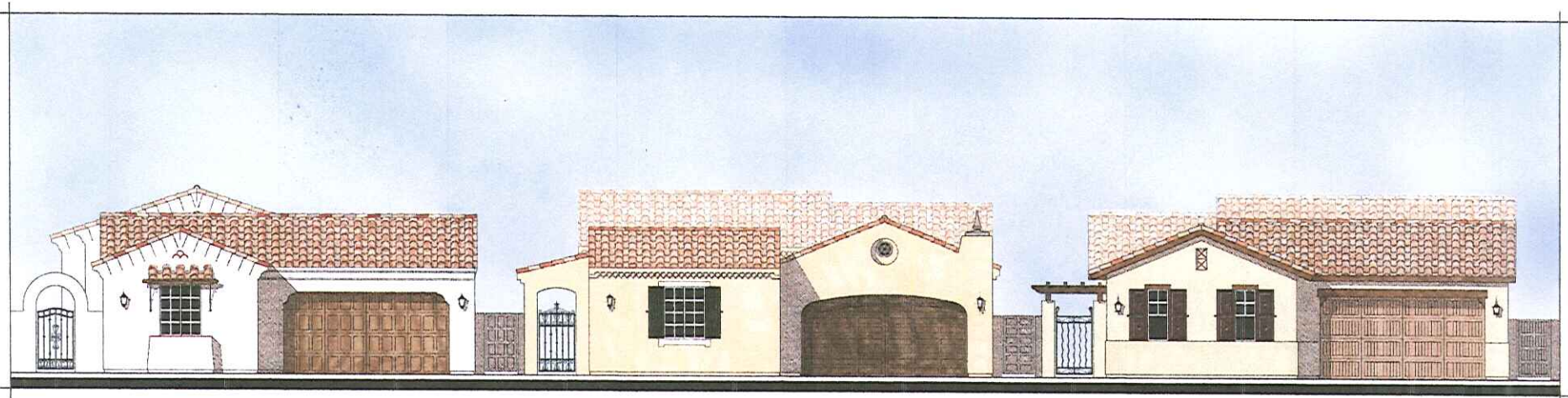
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



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3-28-13 #12-26

Sheet A-10



*Plan 1*  
*Spanish*

*Plan 2*  
*Hacienda*

*Plan 3*  
*Early California*

*Street Scene*  
*Exhibit B*

Scale 1/4" = 1'-0"

*Gibralt us, Inc*

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*Encore*

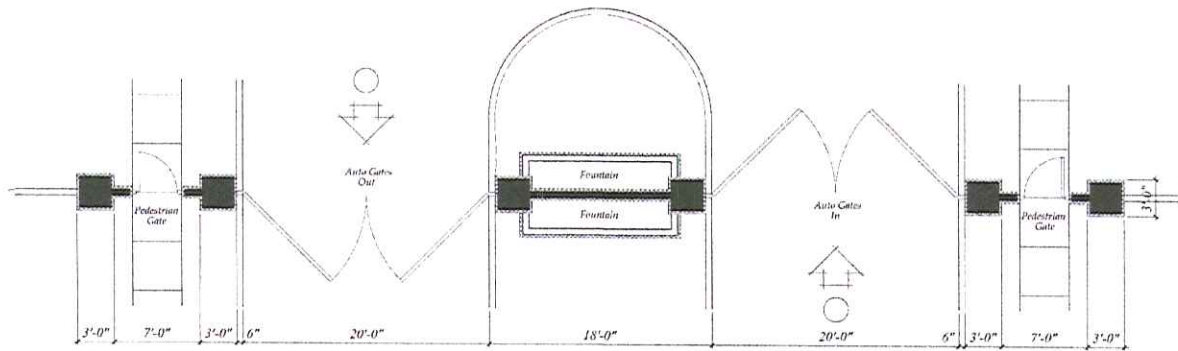
County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

*Project Data*

Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1

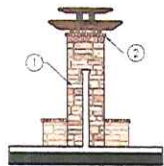
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3-28-13 #12-26  
Sheet A-11

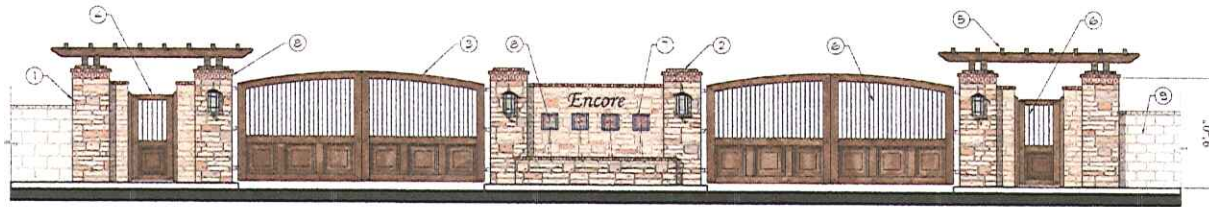


**Exterior Materials**

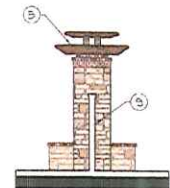
1. Stone Veneer
2. Brick Cap
3. Wood of Steel Frame Auto Gate
4. Wood of Steel Frame Pedestrian Gate
5. Wood Trellis
6. Decorative Iron Bars
7. Decorative Tile
8. Copper Spout
9. 6'-0" High Slump Block Wall
10. Exterior Light Fixture "Scottsdale" By Maxim



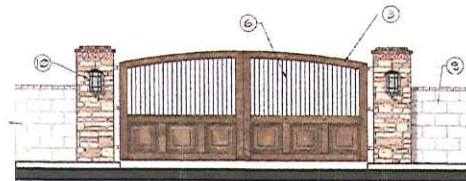
Left



Front Elevation @ Entry



Right



Front Elevation @ Exit



Typ. Light Fixture

**Gated Entry & Exit  
Exhibit B & C**

Scale: 1/4" = 1'-0"

**Gibraltus, Inc**

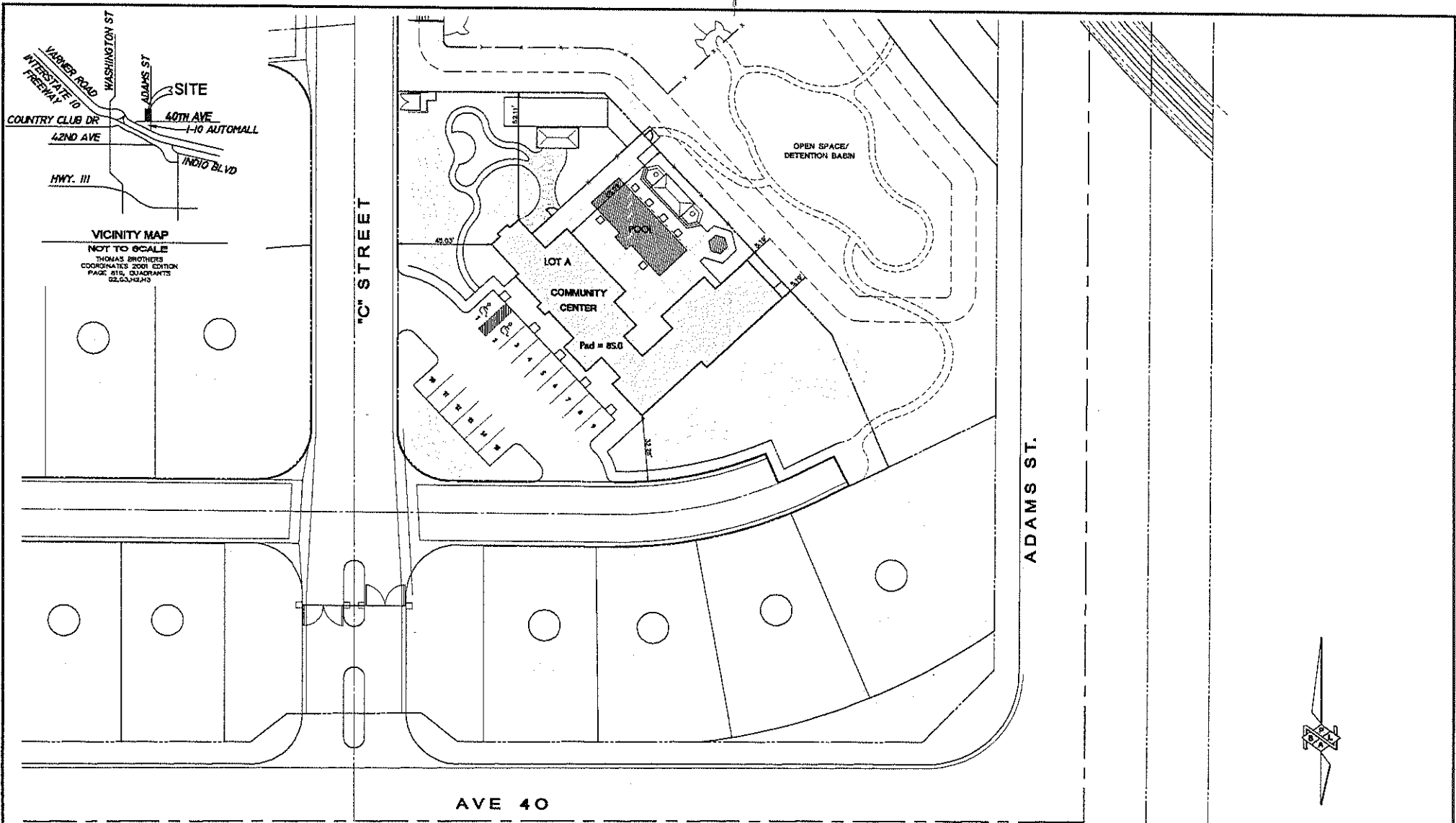
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Palm Desert, CA 92260  
(760) 862-1111

**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

Project Data  
Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1

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architecture - planning  
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3-28-13 #12-26  
Sheet A-12



VICINITY MAP  
NOT TO SCALE  
THOMAS BROTHERS  
COORDINATES 2001 EDITION  
PAGE 815, QUADRANTS  
02,03,04,05

AVE 40

ADAMS ST.

'C' STREET

LOT A  
COMMUNITY CENTER

Pad # 85.0

OPEN SPACE/  
DETENTION BASIN

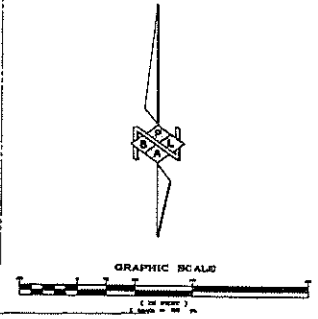



EXHIBIT REVISION BLOCK		
DATE	REVISION	DESCRIPTION

PREPARED BY:  

**PBLA ENGINEERING, INC.**  
 Planning & Engineering + Architecture  
 4700 RYAN BLVD. STE 100-202  
 RIVERSIDE, CALIF. 92503  
 (951) 794-8812 • (714) 288-6191 FAX

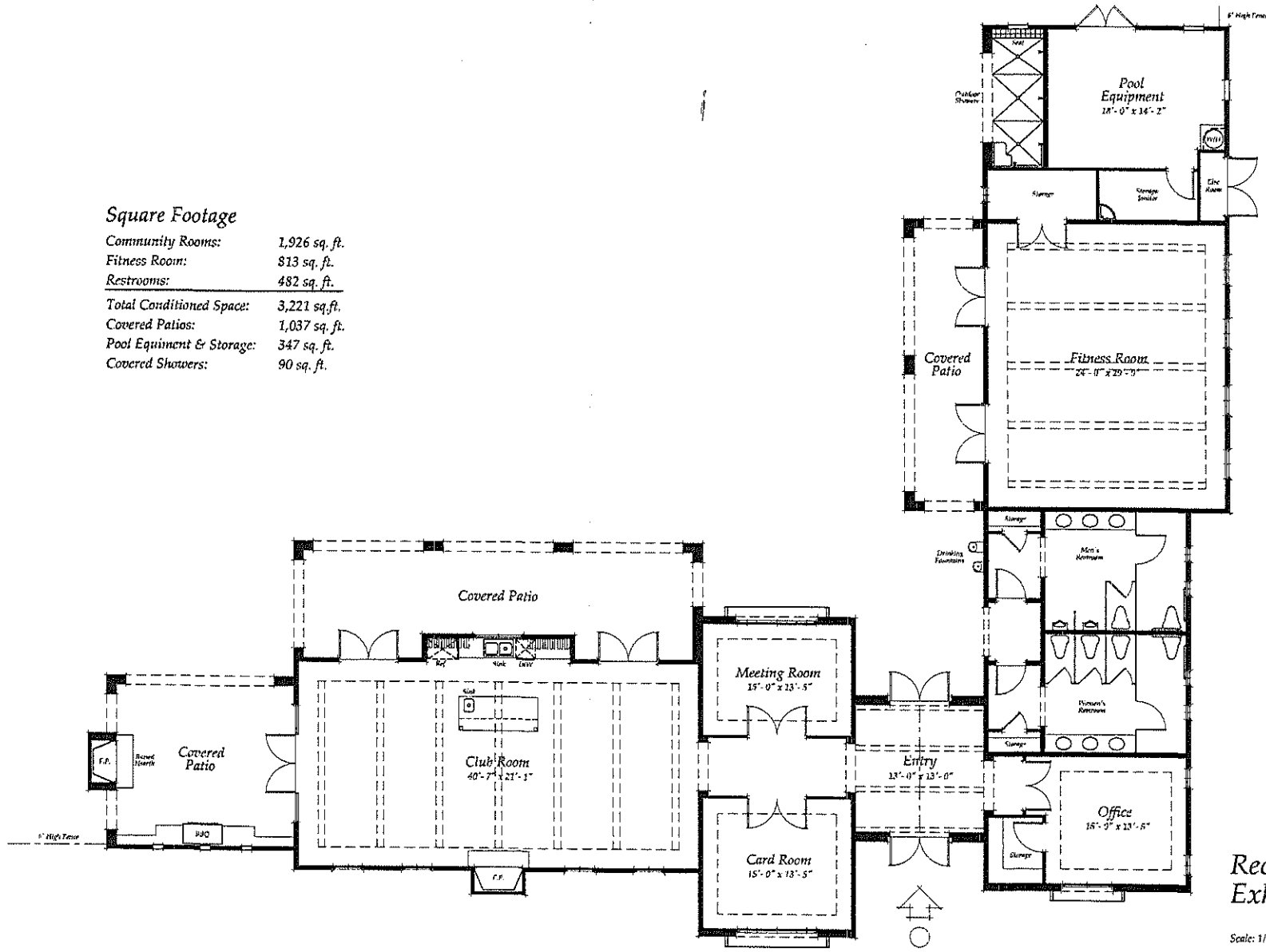
**COUNTY OF RIVERSIDE**  
 REVISED TENTATIVE TRACT  
 MAP NO. 30966  
 SITE PLAN  
 COMMUNITY CENTER

PCA JOB NO.  
309-1  
 SHEET NO.  
1 OF 1  
 PRINTED ON:  
Apr 03 2010



**Square Footage**

Community Rooms:	1,926 sq. ft.
Fitness Room:	813 sq. ft.
Restrooms:	482 sq. ft.
<hr/>	
Total Conditioned Space:	3,221 sq. ft.
Covered Patios:	1,037 sq. ft.
Pool Equipment & Storage:	347 sq. ft.
Covered Showers:	90 sq. ft.



**Recreation Building  
Exhibit C**

Scale: 1/4" = 1'-0"

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Palm Desert, CA 92260  
(760) 862-1111

**Encore**

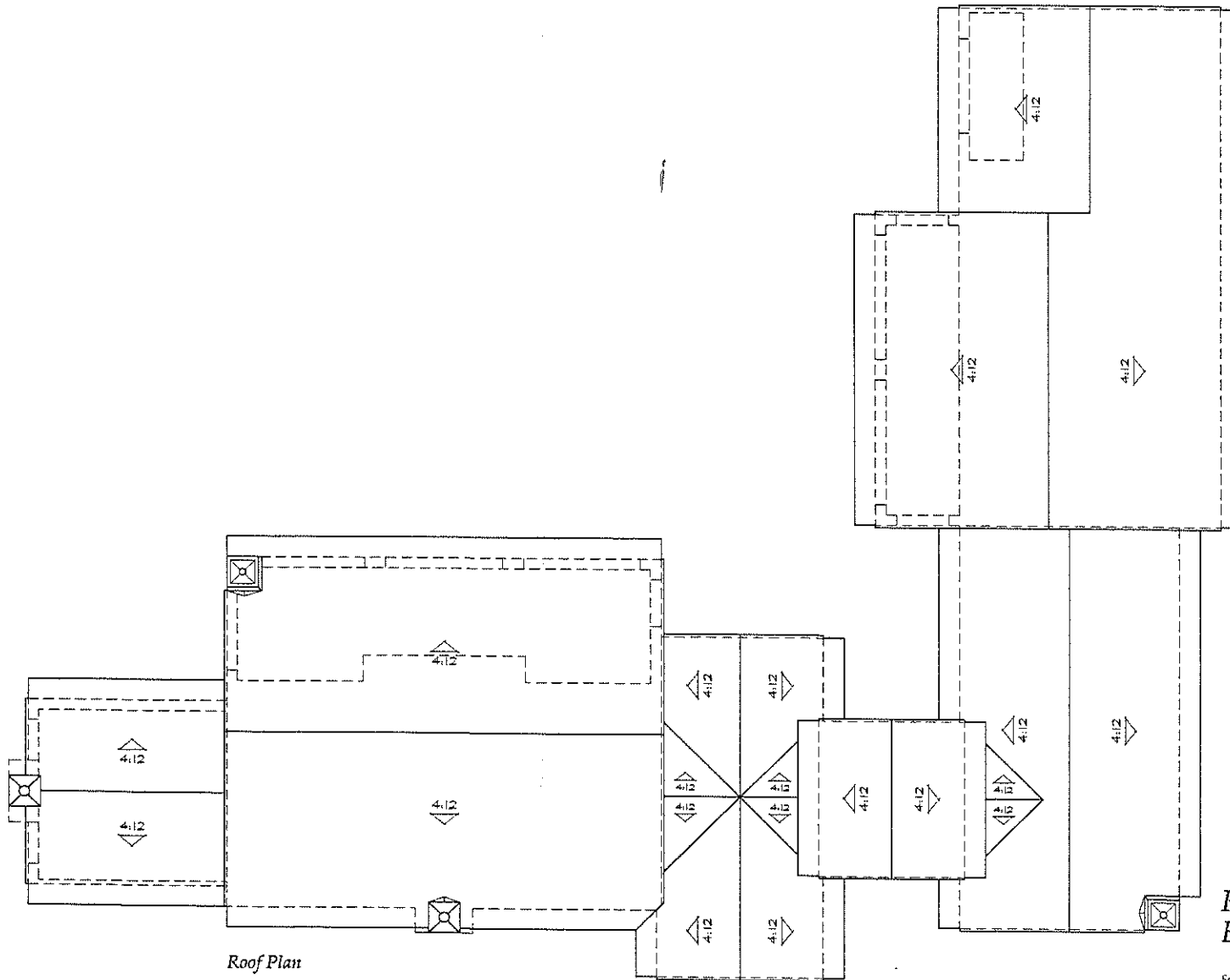
County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 743-280-006 & 743-280-009

**Project Data**

Occupancy - B  
Construction Type - Type V  
Number of Stories - 1



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San Juan Capistrano, CA 92675 fax 949/487-2321  
3-28-13 #12-26  
Sheet A-13



Roof Plan

Recreation Building  
Exhibit C

Scale: 1/4" = 1'-0"

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**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Project Data**

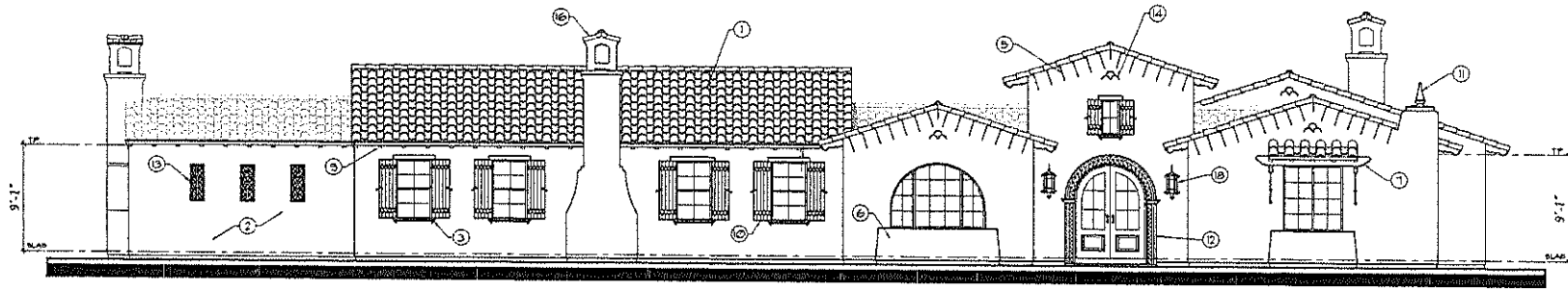
Occupancy - B  
Construction Type - Type V  
Number of Stories - 1



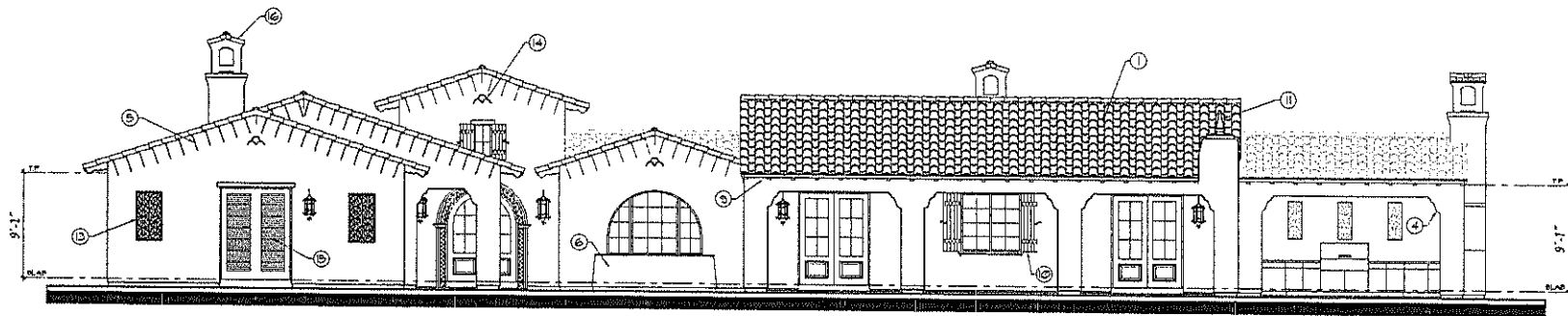
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architecture - planning

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3-28-13 #12-26

Sheet A-13



Front Elevation



Rear Elevation



Typ. Light Fixture

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**Encore**  
County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Exterior Materials**

- |                               |  |
|-------------------------------|--|
| 1. Concrete "S" Tile          | 10. Wood Shutter                                 |
| 2. Stucco w/ Sand Finish      | 11. Precast Concrete Finish                      |
| 3. Stucco w/ Foam Trim        | 12. Precast Concrete Surround                    |
| 4. Stucco w/ Foam Corbel      | 13. Decorative Concrete Block                    |
| 5. Scalloped Stucco Rake      | 14. Fines Clay Tile Vent                         |
| 6. Furred Stucco Pelsheif     | 15. Metal Louvered Doors                         |
| 7. Wood Eave/row Roof w/ Tile | 16. Metal Shroud w/ Tile                         |
| 8. Wood Fascia Board          | 17. Ceramic Tile w/ Outdoor Shutters             |
| 9. Wood Rafter Tail           | 18. Exterior Light Fixture "Scottsdale" by Maxim |

**Project Data**

Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1

**Recreation Building  
Exhibit B**

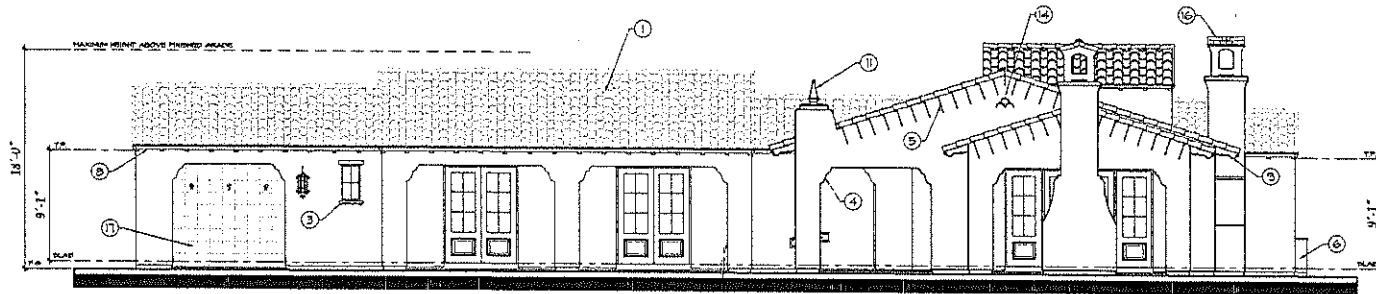
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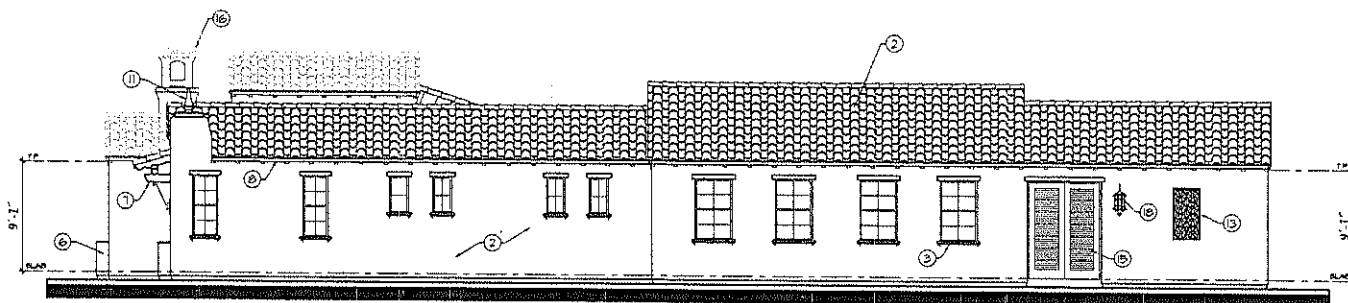
**PEKAREK-CRANDELL, inc.**  
architecture - planning

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San Juan Capistrano, CA 92675 fax 949/ 487-2321  
3-28-13 #12-26

Sheet A-15



Left Elevation



Right Elevation



Typ. Light Fixture

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**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

**Exterior Materials**

- |                              |  |
|------------------------------|--|
| 1. Concrete "S" Tile         | 10. Wood Shutter                                 |
| 2. Stucco w/ Sand Finish     | 11. Precast Concrete Finial                      |
| 3. Stucco of Foam Trim       | 12. Precast Concrete Surround                    |
| 4. Stucco of Foam Corbel     | 13. Decorative Concrete Block                    |
| 5. Scalloped Stucco Rake     | 14. Fake Clay Tile Vent                          |
| 6. Furred Stucco Potshef     | 15. Metal Louvered Doors                         |
| 7. Wood Eyebrow Roof w/ Tile | 16. Metal Shroud w/ Tile                         |
| 8. Wood Fascia Board         | 17. Ceramic Tile w/ Outdoor Showers              |
| 9. Wood Rafter Tail          | 18. Exterior Light Fixture "Scottsdale" by Maxim |

**Project Data**

Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1

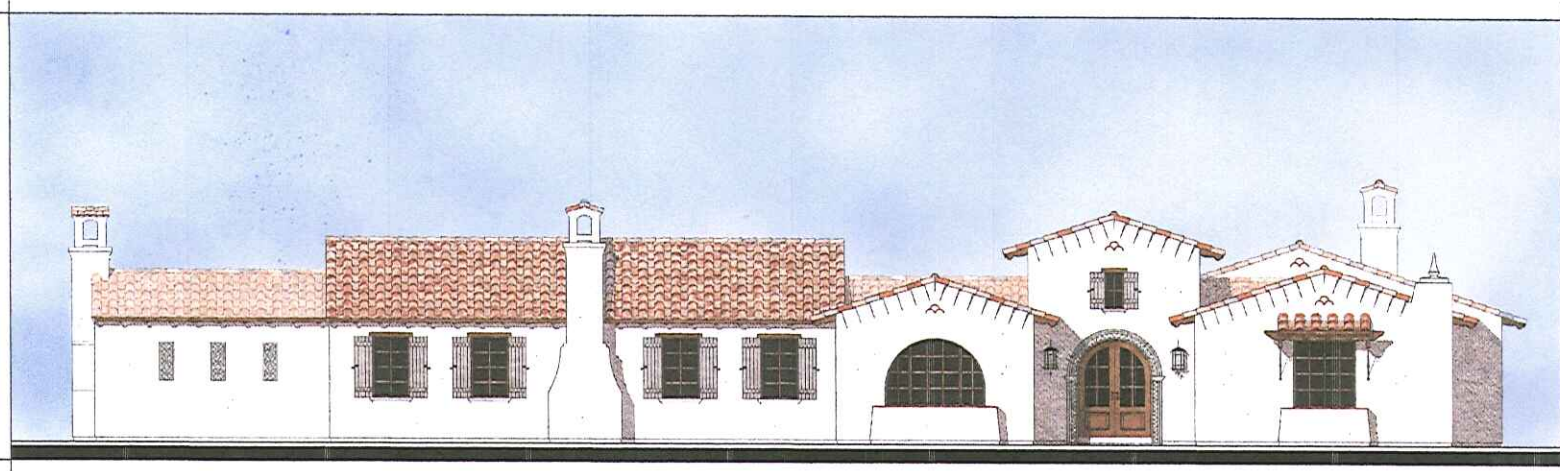
**Recreation Building  
Exhibit B**

Scale: 1/4" = 1'-0"



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San Juan Capistrano, CA 92675 fax 949/487-2321  
3-28-13 #12-26  
Sheet A-16



Front Elevation

Recreation Building  
Exhibit B

Scale: 1/4" = 1'-0"

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Encore

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

Project Data

Occupancy - R-3  
Construction Type - Type V  
Number of Stories - 1



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3-28-13 #12-26

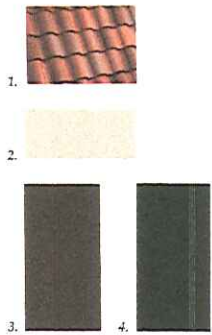
Sheet A-17

**Color Scheme #1**



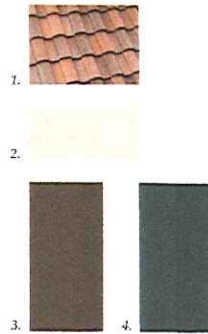
- 1. Roof tile: Eagle Roofing Products #8402 Santa Cruz Blend
- 2. Stucco: A. Omega Stucco #10 Omega White  
B. Omega Stucco #419 Light Toast
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DE6126 Stockhorse
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6387 Dangerous Robot

**Color Scheme #4**



- 1. Roof tile: Eagle Roofing Products #8806 Tuscan Blend
- 2. Stucco: A. Omega Stucco #221 Harvest Gold
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DEA161 Wild Mustang
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DEA176 Iron River

**Color Scheme #2**



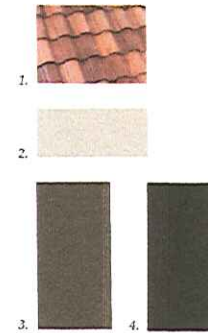
- 1. Roof tile: Eagle Roofing Products #3605 San Benito Blend
- 2. Stucco: A. Omega Stucco #12 Ivory
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DEA162 Log Cabin
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6328 Anchor Gray

**Color Scheme #5**



- 1. Roof tile: Eagle Roofing Products #8708 Del Oro Blend
- 2. Stucco: A. Omega Stucco #18 Coconut  
B. Omega Stucco #133 Mesa Tan
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DF6133 Old Boot
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6256 Turtle Trail

**Color Scheme #3**



- 1. Roof tile: Eagle Roofing Products #8830 Albuquerque Blend
- 2. Stucco: A. Omega Stucco #233 Chimayo
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DEC755 Cocoa
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DEA158 Northern Territory

**Color Scheme #6**



- 1. Roof tile: Eagle Roofing Products #3723 Adobe Blend
- 2. Stucco: A. Omega Stucco #35 Birch White
- 3. Wood Fascia/ Barge  
Stucco of Foam Trim  
Garage Door: Dunn Edwards Paint #DE6119 Neutral Valley
- 4. Shutters/ Entry Doors: Dunn Edwards Paint #DE6091 Red Hook

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Palm Desert, CA 92260  
(760) 862-1111

**Encore**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. # 748-280-006 & 748-280-009

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3-28-13 #12-26  
Sheet A-18



PLANT SCHEDULE						
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	ACACIA ANEURA	MULGA	24"BOX	92 LOW	66	
	ACACIA SMALLII	SWEET ACACIA	24"BOX	92 LOW	9	
	ACACIA STENOPHYLLA	SHEDSTRING ACACIA	24"BOX	92 LOW	20	
	CAESALPINA CAGALACO 'SMOOTHIE' TM	CASCALOTE	24"BOX		4	
	CHLOPSIS LINEARIS 'LUCRETIA HAMILTON' TM	DESERT WILLOW	24"BOX		92	
	COTINUS COGGYGORIA	SMOKE TREE	15 GAL		32	
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24"BOX	92 LOW	108	
	PITHECELLOBIUM FLEXI PITHECELLOBIUM FLEXICAULE	TEXAS EBONY	24"BOX	92 LOW	14	
PALM TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	15 GAL		35	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
AAV	AGAVE AMERICANA 'VARIEGATA'	VARIEGATED CENTURY PLANT	15 GAL	LOW 0.2	10	15 GAL
AD	AGAVE DELMIFLORA	CENTURY PLANT	5 GAL		62	
CGC	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL		156	
CA	CASSIA ARTEMISIOIDES	FEATHERY CASSIA	5 GAL		123	
DHM	CHRYSACTINIA MEXICANA	DMIRANTIA	1 GAL		21	
ERW	EREMOPHILA MACULATA 'WINTER GOLD'	SPOTTED EMU BUSH	5 GAL		60	
FS	FOUQUIERA SPLENDENS	SCOTLE	10 CANE MIN. 5 HT MIN		15	
FM	FURCRAEA MACDOUGALLII	FALSE AGAVE	5 GAL		16	
HP	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL		50	
LNK	LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	1 GAL		186	
LAR	LARREA TRIDENTATA	CREOSOTE BUSH	5 GAL		61	
LFL	LEUCOPHYLLUM LAEVIQATUM	CHIN-LA-JUAN SAGE	5 GAL		56	
LFT	LEUCOPHYLLUM LANCIFOLIAE 'RIO BRAVO' TM	BAROMETERSHUB	5 GAL		41	
MRN	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL		219	
NOL	NOLINA NELSONI		5 GAL		61	
OP	OPUNTIA SANTA-RITA	SANTA RITA PRICKLYPEAR	5 GAL		109	
RUQ	RUBESLIA COLISEIFORMIS	FIRECRACKER PLANT	5 GAL		17	
GAL	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	5 GAL		15	
TC	TECOMA X 'SOLAR FLARE'	ORANGE YELLOW BELLS	5 GAL		6	
YP	YUCCA PENDULA	SOFT LEAF YUCCA	5 GAL		33	15 GAL
ZAU	ZAUSCHNERIA ARIZONICA	HARDY HUMMINGBIRD TRUMPET	5 GAL		50	
VINE/S PALMER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
BBK	BOUGAINVILLEA X 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	5 GAL		20	
BBW	BOUGAINVILLEA X 'DOUBLE WHITE'	DOUBLE WHITE BOUGAINVILLEA	5 GAL		25	WIRE TO WALL

Scale: 1"=80'-0"












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 Gibraltar, Inc  
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 Palm Desert, CA 92260  
 (760) 862-1123

OVERALL PLAN

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. #748-280-006 & 748-280-009

L-1

March 28th, 2013

PLANT SCHEDULE						
TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	ACACIA ANEURA	MULGA	24"BOX	.02 LOW	68	
	ACACIA SMALLII	SWEET ACACIA	24"BOX	.02 LOW	9	
	ACACIA STENOPHYLLA	SHOESTRING ACACIA	24"BOX	.02 LOW	20	
	CAESALPINIA CACALACO 'SMOOTHIE' TM	CASCALOTE	24"BOX		4	
	CHILOPSIS LINEARIS 'LUCRETIA HAMILTON' TM	DESERT WILLOW	24"BOX		52	
	COTINUS COCCYGRIA	SMOKE TREE	15 GAL		32	
	PARKINSONIA X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24"BOX	.02 LOW	108	
	PITHECELLBIUM FLEXI PITHECELLBIUM FLEXICAULE	TEXAS EBONY	24"BOX	.02 LOW	14	
PALM TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM	15 GAL		35	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
AAV	AGAVE AMERICANA 'VARIEGATA'	VARIEGATED CENTURY PLANT	16 GAL	LOW 0.2	10	15 GAL
AG	AGAVE GEMINIFLORA	CENTURY PLANT	5 GAL		52	
CGC	CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL		156	
CA	CASSIA ARTEMISIOIDES	FEATHERY CASSIA	5 GAL		123	
CHM	CHRYSACTINIA MEXICANA	DAMIANITA	1 GAL		21	
ERW	EREMOPHILA MACULATA 'WINTER GOLD'	SPOTTED EMU BUSH	5 GAL		80	
FS	FOUQUIERIA SPLENDENS	OCOTILLO	10 CANE MIN. 5' HT. MIN.		15	
FM	FURCRAEA MACDOUGALII	FALSE AGAVE	5 GAL		18	
HP	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL		50	
LNG	LANTANA X 'NEW GOLD'	NEW GOLD LANTANA	1 GAL		186	
LAR	LARRIA TRIDENTATA	CREOSOTE BUSH	5 GAL		61	
LFL	LEUCOPHYLLUM LAEVIGATUM	CHIHUAHUA SAGE	5 GAL		58	
LFT	LEUCOPHYLLUM LANGMANIAE 'RIO BRAVO' TM	BAROMETERBUSH	5 GAL		41	
MRN	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL		218	
NGL	NOLINA NELSONI		5 GAL		81	
OP	OPUNTIA SANTA-RITA	SANTA RITA PRICKLYPEAR	5 GAL		109	
RUQ	RUSSELLIA ECHINIFORMIS	FIRECRACKER PLANT	5 GAL		17	
SAL	SALVIA LEUCANTHA	MEX. CAN BUSH SAGE	5 GAL		16	
TC	TECOMA X 'SOLAR FLARE'	ORANGE YELLOW BELLS	5 GAL		8	
YP	YUCCA PENDULA	SOFT LEAF YUCCA	5 GAL		33	15 GAL
ZAU	ZAUSCHNERIA ARIZONICA	HARDY HUMMINGBIRD TRUMPET	5 GAL		50	
VINES/SPALIER	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY	REMARKS
BBK	BOUGAINVILLEA X 'BARBARA KARST'	BARBARA KARST BOUGAINVILLEA	5 GAL		29	
BBW	BOUGAINVILLEA X 'DOUBLE WHITE'	DOUBLE WHITE BOUGAINVILLEA	5 GAL		25	WIRE TO WALL

### Landscape Narrative

The plant palette focuses on water efficient, lower maintenance plant species utilizing large scale canopy trees for structure and large areas of cobble and gravel of varying colors and textures to add interest in non-planted areas. This is based on a modified plant palette that incorporates some standard native species such as Creosote bush and hybridized cultivars that bring to light the best of the species without their drawbacks. Some cultivars specifically selected for this reason are Desert Willow, and Thornless Texas Honey Mesquite.

The theme planting starts in the perimeter parkways along 40th Ave. and Adams St. 40th Ave. will feature 6' tall perimeter walls atop 2' mounding. Low level plantings and larger scale trees and shrubs will provide a visual screen from surrounding auto center. The large scale trees proposed for use along Gerald Ford Drive are Sweet Acacia and Desert Museum Palo Verde and Chaste tree. Smaller scale accents will be Texas Ebony and Cascalote with groves of Shoestring Acacia providing vertical/visual interest. While the use of water efficient "native" species is of primary concern, of equal importance is to provide a unique interest in the community by introducing plants like Rogers Red California Grape, Eremophila 'Winter Gold' and Anisacanthus 'Mexican Flame' to provide seasonal interest with change in leaf color for fall or a burst of a bloom in spring. The emphasis on a desert landscape that has "seasonally" is encouraged.

This theme carries through to the interior streets and front yard plantings with shade trees in front yards being proposed as Tipu trees and small scale accents of Desert Willow and Texas Ebony. Large areas of accent cobble and boulders offset planted areas. The use of cobble and boulders provide a basic structure and texture to the plantings in times when some species may be drought or cold deciduous or "not at their peak" appearance. Plantings that rely specifically on true natives and/or reflect a seasonal approach to the plantings may result in a less than attractive hardscape during off peak times. At Encore, this will be avoided by the use of cobble and boulders as well as some non-native cultivars that exhibit more evergreen characteristics.

Special areas like the main entry, community center, Dog Park and prominent street corners are accented by varied Palm clusters of Hybrid Mexican and California Fan Palms with cobble and low level shrubs and groundcovers to maintain sight lines. This was done to provide visual exclamation points throughout the community. The strong vertical accents of the Palms will not only create a visual accent but will also be reflective of the native Fan Palms found in oasis throughout the Coachella Valley.

There are several existing desert conditions bordering Encore. Existing native plant material along the wash should be preserved if possible and accented with new native plantings along trails and planned landscape amenities. The wash will be a place for residents to walk and enjoy a "natural desert" landscape.

Large park/activity areas at the southeast corner of the site are dedicated to a community center with lap pool and garden environment, a grassy dog park, and extensive trails through native desert gardens. A children's play area may be incorporated near the community center or dog park.

The planting theme for front yards will not feature unusable "token" lawn areas. The plant palette remains the same through the project, using drought tolerant and native species wherever possible. Multiple small tree species will be used to supplement the major street trees to create an informal feel. Interest in the front yards will be provided by mounding where appropriate. Said mounds will include boulder accents to mimic the perimeter areas. Shrub and groundcover plantings shall follow suit with the intent to create a cohesive whole to the project while allowing the individual homes to have a subtle separate identity of their own.



March 28th, 2013

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## PLANT PALETTE AND NARRATIVE

County of Riverside, CA

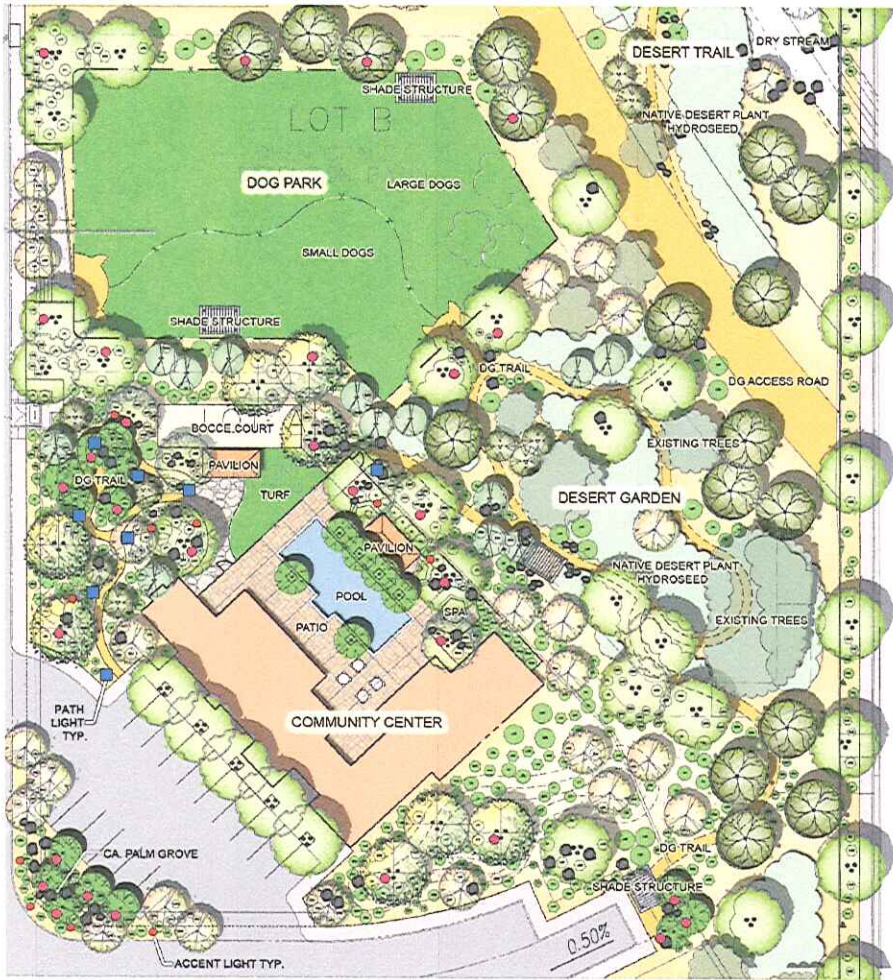
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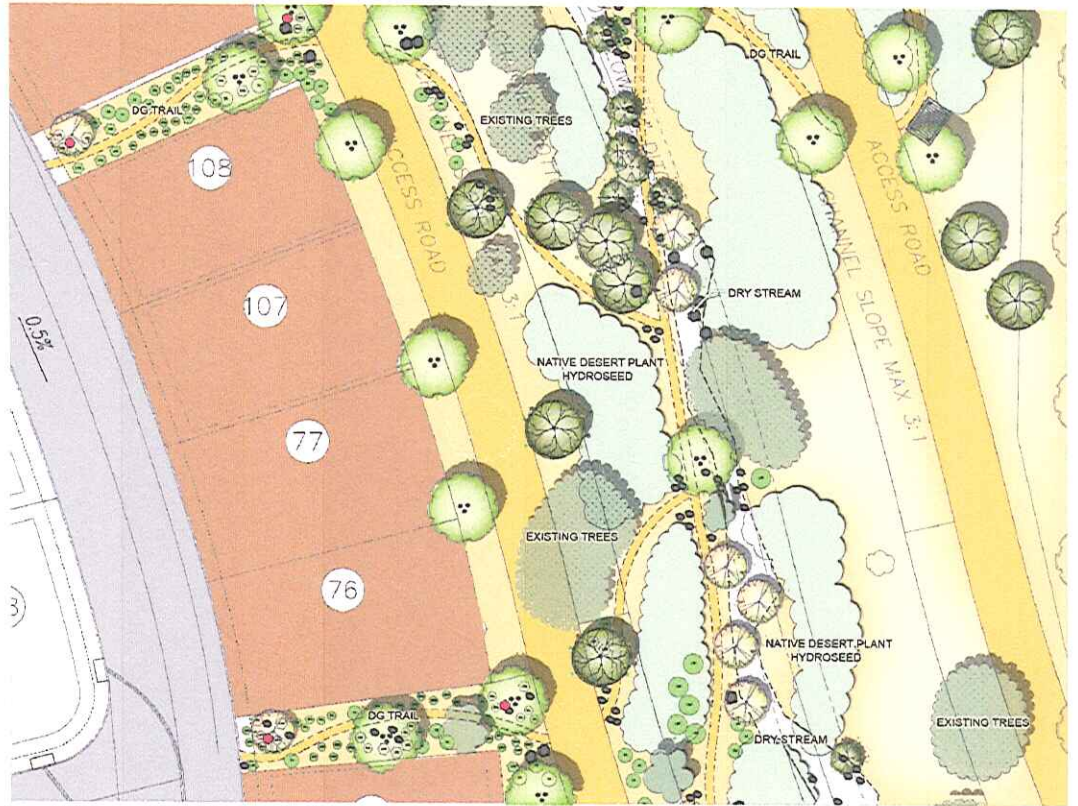






Community Center and Dog Park Enlargement

Scale: 1"=20'-0"



Flood Channel/Trail System Enlargement

Scale: 1"=20'-0"



Main Entry Enlargement

Scale: 1"=20'-0"



March 28th, 2013

**ENCORE**

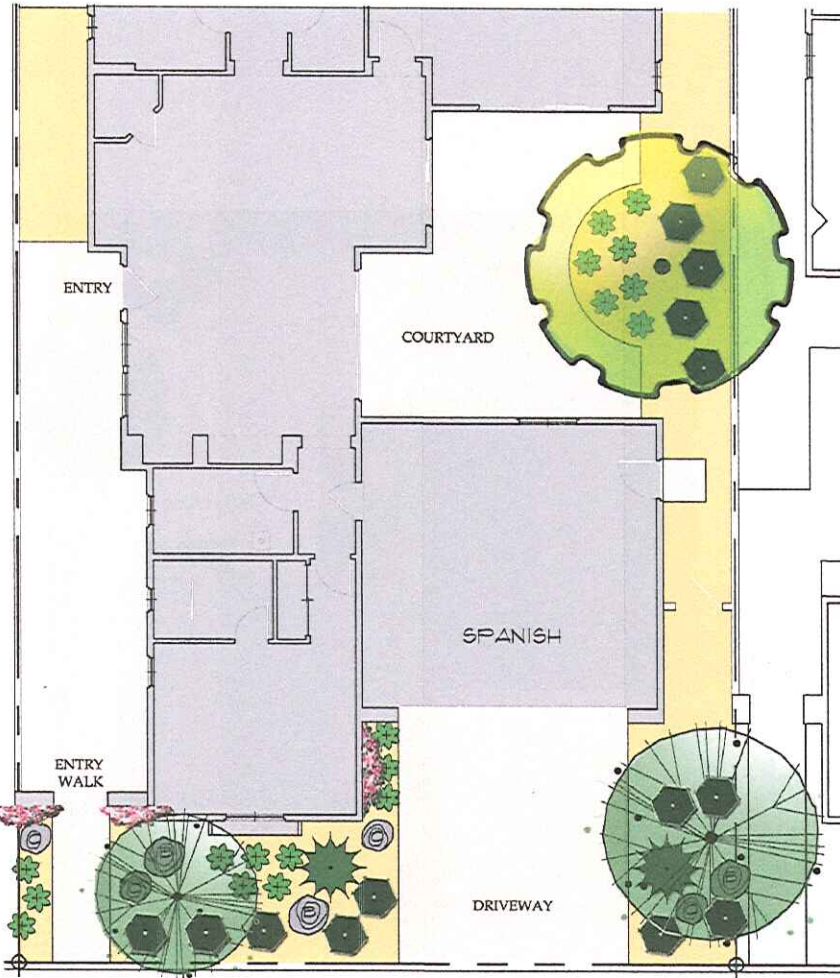
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**LANDSCAPE ENLARGEMENTS**

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
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L-3



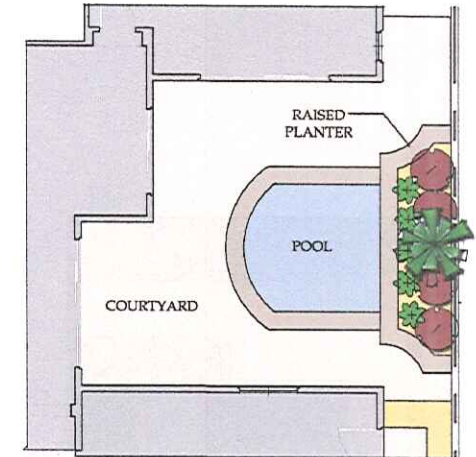
PLAN #1  
SPANISH STYLE

TYPICAL PLANT LEGEND/ FRONT YARD AND COURTYARD

- LEUCO FERREO QUERCUS
  - AGAVE SMALLER WHITE AGAVE
  - CELESTINA / DESERT MUSEUM / THORNLESS PINK YUCCA
  - FRUIT LEMON / LAUREL NINE
  - TRIFLORA TRIF / PALM TREE
- MYRTLE SMALL FARGES CACTUS
  - AGAVE AMERICANA / AGAVE
  - AGAVE DIERHOFFIA / PHOENIX AGAVE
  - CANARYIA CACTUS / MIMOSA / THORNLESS CACTUS
  - CHALICIA LITAE / DESERT WILLOW
  - CELESTINA / MIMOSA TREE
  - PHOENIX LITAE / FERN TREE
- LARGE ACQUITA / GALL
  - AGAVE AMERICANA / PARAGATA / PARAGATED CENTURY PLANT
  - AGAVE ENVI / AGAVE
  - DASYLIRION / GARY / GARY / GARY / GARY
  - FENICIA / PHOENIX / PHOENIX / PHOENIX / PHOENIX
  - FENICIA / PHOENIX / PHOENIX / PHOENIX / PHOENIX
  - YUCCA / YUCCA
  - YUCCA / YUCCA
  - YUCCA / YUCCA
  - YUCCA / YUCCA
- MYRTLE SMALL ACQUITA / GALL
  - AGAVE AMERICANA / CENTURY PLANT
  - AGAVE ENVI / CENTURY PLANT
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**DECOMPOSED GRANITE NOTE:**  
 DECOMPOSED GRANITE 3/8" SLABS WITH 1/4" FUGS, WETTED AND POLISHED TO A 20' DEPTH. UNLESS NOTED OTHERWISE TO BE PLACED IN ALL PLANTER AND WALKWAY CORNERS, AREAS.

**BOULDER NOTE:**  
 LANDSCAPE BOULDERS TO BE SANTA CRISTA BOULDER. ALL BOULDERS 1-3' DIA MAX.



COURTYARD  
W/ POOL OPTION

TYPICAL PLANT LEGEND/ COURTYARD W/ POOL OPTION

- SMALL FARGES CACTUS
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    - SMALL FARGES CACTUS
  - MYRTLE SMALL ACQUITA / GALL
    - AGAVE AMERICANA / CENTURY PLANT
    - AGAVE ENVI / CENTURY PLANT
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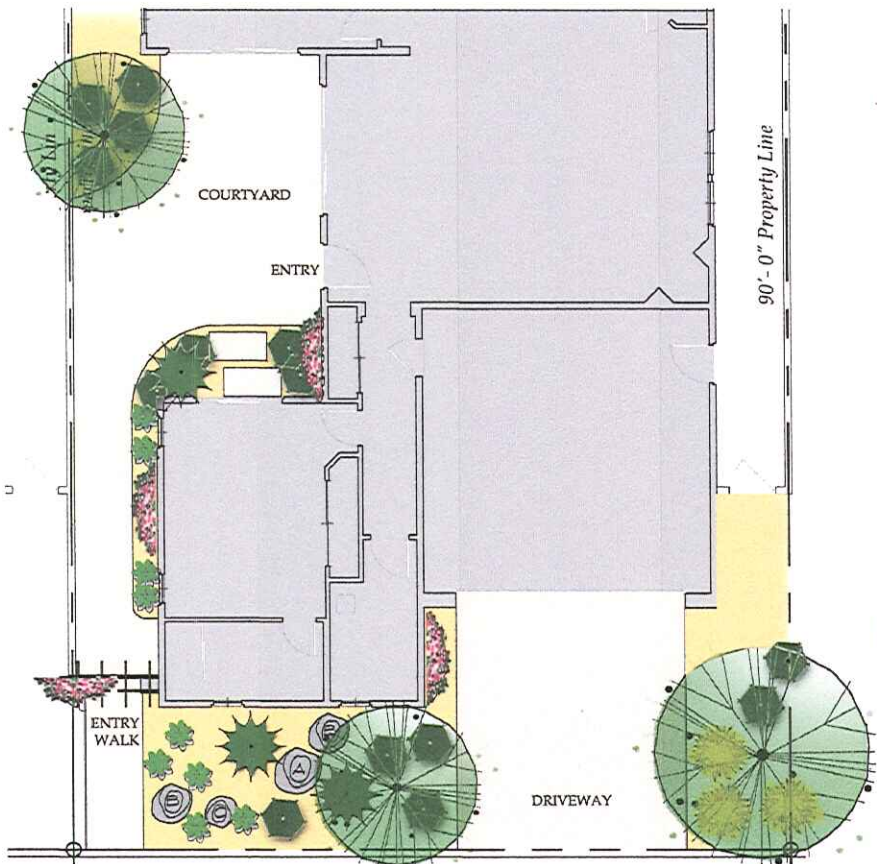
March 28th, 2013

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TYPICAL FRONT YARD/COURTYARD  
LANDSCAPE PLAN

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
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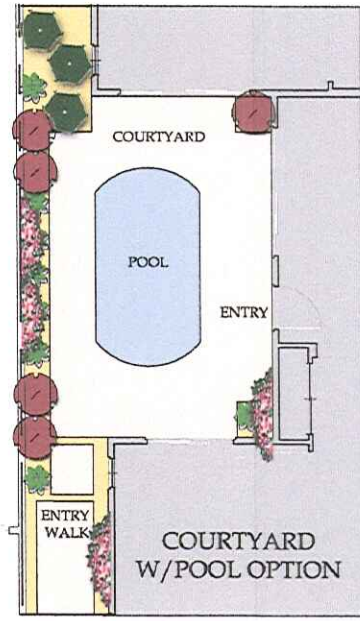
PLAN #3  
EARLY CALIFORNIA STYLE

TYPICAL PLANT LEGEND/ FRONT YARD AND COURTYARD

- 1.
  - MILKWEED (SANTALUM) / AGAVE
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**DECOMPOSED GRANITE NOTE:**  
DECOMPOSED GRANITE IS TO BE PLACED WITH 1/4\"/>

**BOULDER NOTE:**  
BOULDER IS TO BE PLACED WITH 1/4\"/>



TYPICAL PLANT LEGEND/ COURTYARD W/ POOL OPTION

- 1.
  - MILKWEED (SANTALUM) / AGAVE
  - AGAVE (SANTALUM) / AGAVE
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**DECOMPOSED GRANITE NOTE:**  
DECOMPOSED GRANITE IS TO BE PLACED WITH 1/4\"/>

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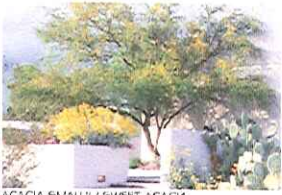
March 28th, 2013

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TYPICAL FRONT YARD/COURTYARD  
LANDSCAPE PLAN

County of Riverside, CA  
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TREES



ACACIA SMALLII / SWEET ACACIA



CERCIDIUM X 'DESERT MUSEUM'



RHUS LAURINA / LAUREL SUMAC



TIPUANA TIPU / TIPU TREE



ACACIA ANEURA / MULGA TREE



ACACIA STENOPHYLLA / SHOESTRING ACACIA



CAESALPINIA GAGALACO 'SMOOTHIE'



CHILOPSIS LINEARIS HYBRIDS / DESERT WILLOW



COTINUS COGGYGRIA / SMOKE TREE



PITHECELLOBIUM FLEXICAULE / TEXAS EBONY

PALMS



CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM



WASHINGTONIA ROBUSTA / MEXICAN FAN PALM

ACCENTS



AGAVE AMERICANA / CENTURY PLANT



AGAVE AMERICANA 'VARIEGATA' / VARIEGATED CENTURY PLANT



DASYLIRION WHEELERI / GREY DESERT SPOON 'GREEN'



POUQUERIA SPLENDENS / OCOTILLO



FURCRAEA MACDOUGALII / FALSE AGAVE



NOLINA NELSONI



OPUNTIA SANTA-RITA / SANTA RITA PRICKLYPEAR CACTUS



YUCCA PENDULA / SOFT LEAF YUCCA



ALOE DAWEI / ALOE



AGAVE ANGUSTIFOLIA / CENTURY PLANT



AGAVE X 'BLUE GLOW' / BLUE GLOW AGAVE



AGAVE GEMINIFLORA / CENTURY PLANT



AGAVE PARRYI / PARRY'S AGAVE



ALOE BARBADENSIS / BARBADOS ALOE



PTEROCACTUS ACANTHODES / COMPASS BARREL



PTEROCACTUS WISLIZENII / FISH HOOK BARREL CACTUS



NESSIPETAEOE PARVIFLORA / RED YUCCA



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March 28th, 2013

ENCORE

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TREE AND ACCENT IMAGES

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
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L-7

SHRUBS



ADONCAEPIUS QUADRIFIDUS WRIGHTII / WRIGHT'S DESERT MONKEYSUCKLE



CAESIA ARTERIODES / FEATHERY CAESIA



EPHEMOPHIA MACULATA 'WINTER GOLD' / SPOTTED EMBU BUSH



LARREA TRIDENTATA / CREOSOTE BUSH



LEUCOPHYLLUM LAEVIGATUM / CHIRBAHUAJI SADE



LEUCOPHYLLUM LANGMUIRI 'RID DRAVO' TM / BARDOMETEER BUSH



TEODORA F. SOLAK FLARE / ORANGE YELLOW BELLS



ZALUSCHNERIA ARIZONICA / HARDY HUMMINGBIRD THUNBERT



BOUGAINVILLEA 'ROYAL PURPLE' / BOUGAINVILLEA



CHRYSOACTINIA VISCAGANA / DANIELITA



CURTEA HYDROPHYLIA PURPLE HEATH/REDIGAN HEATHS



SANTANA CAMARA 'COMPETTI' / COMPETTI



SANTANA 'RUSSELLA EQUUSIFORMIS' / FIRECRACKER PLANT



SALVIA LEUCANTHA / MEXICAN FLUSH SADE



HYLIDOMA COMPOSITUM / COMPACTA / GONFANT HYLIDOMA

GRASSES



MULLENBERGIA UNDECIMNIS / LEAF / AUTUMN GLOW MUMPLY



MULLENBERGIA UNDECIMNIS / PEGAL MIST



MULLENBERGIA FICOIDES / DEER GRASS

GROUNDCOVERS



CAREX MACROCARPA / GREEN CARPET / GREEN CARPET NATAL PLUM



SANTANA MOFFEVIDENSIS / PURPLE / TRAILING LANTANA



SANTANA 'NEW GOLD' / NEW GOLD LANTANA



ROSMARINUS OFFICINALIS 'BENT' TM / BENT TRAILING ROSEMARY

VINES



BOUGAINVILLEA 'SANGRIA SADE' / SANGRIA SADE / BOUGAINVILLEA



BOUGAINVILLEA 'DOUBLE WHITE' / DOUBLE WHITE BOUGAINVILLEA



CALANDRYA INFLGULATA / PINK POWDER PUFF



ROSA DANIELA / LADY DANIELA KODE



TEODORA CATERIBIS / CAPE HONEYBUCKLE



TRACHELOSPERMUM ASIATICUM / STAR JASMIN



VITIS CALIFORNICA 'KODOR'S RED' / CALIFORNIA WILD GRAPES



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March 28th, 2013

ENCORE

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PLANT IMAGES

County of Riverside, CA  
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L-8

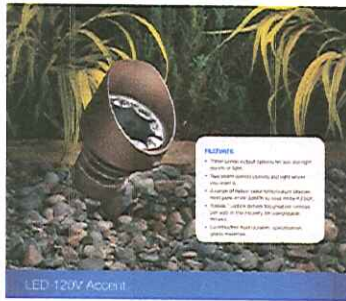


**ONE TIER**  
 One tier design with wide light distribution for uniform, low glare illumination. A power source is required for most styles.

**SPECIFICATIONS**  
**Mounting:** Suitable for all standard installation methods. Mounting hardware included. Mounting plate and included wire included.  
**Finish:** See product literature for options. **Terminal Block:** See product literature for options.  
**Wiring:** 120V MC, MT, AP styles require 120V AC line voltage. Other styles may require 120V AC or 12V DC line voltage. See product literature for details.  
**Light Bulb:** 120V MC, MT, AP styles require 120V AC line voltage. Other styles may require 12V DC line voltage. See product literature for details.  
**Optional Mounting Accessories:** See product literature for options. **Product Code:** 120V MC, MT, AP styles require 120V AC line voltage. Other styles may require 12V DC line voltage. See product literature for details.  
**U.S. Patent No. 6,958,463**  
**Canada Patent No. 2,475,418**  
 Green Design Registration Number 120665

**PATH LIGHT**

**KICHLER**  
**LANDSCAPE LIGHTING**



**FEATURES**

- These lights include options for low voltage applications.
- New design controls dimming and light sensor.
- Available in black, white, and bronze finishes.
- Available in 12V DC or 120V AC line voltage.
- Available in 120V AC or 12V DC line voltage.
- Available in 120V AC or 12V DC line voltage.

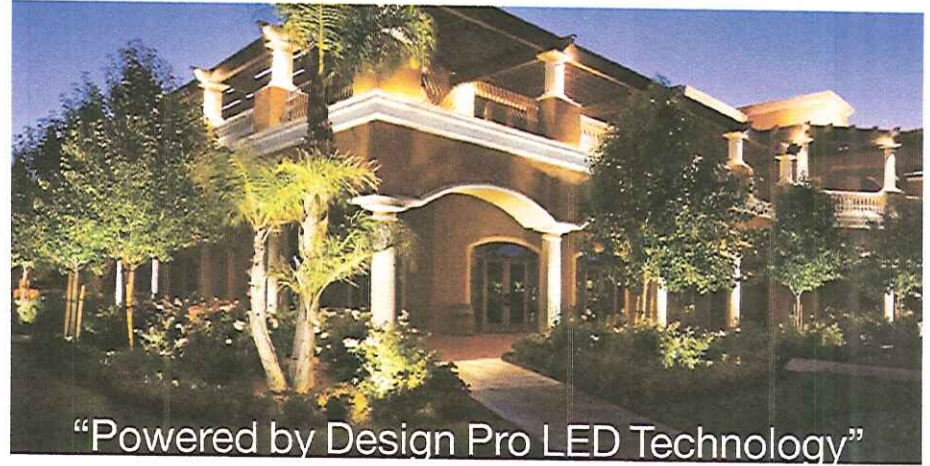
LED 120V Accent

**TREE AND PALM UP-LIGHTS**

Design ProLED



LED 12V Accent & In-Ground, 120V Accent



"Powered by Design Pro LED Technology"

120V 12" SA LED ACCENT ORDER GUIDE

120V 12" SA LED ACCENT

Light Color	Light Bulb
White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

FINISH GUIDE

White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

120V 4" LED ACCENT ORDER GUIDE

120V 4" LED ACCENT

Light Color	Light Bulb
White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

FINISH GUIDE

White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

Design ProLED

**Radialx**

Center-Pointed Triax™

Precise, powerful & efficient landscape lighting

**ACCENT LIGHTING**

120V LED ACCENT ORDER GUIDE

120V LED ACCENT

Light Color	Light Bulb
White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

FINISH GUIDE

White	120V AC Line Voltage
Black	120V AC Line Voltage
Bronze	120V AC Line Voltage

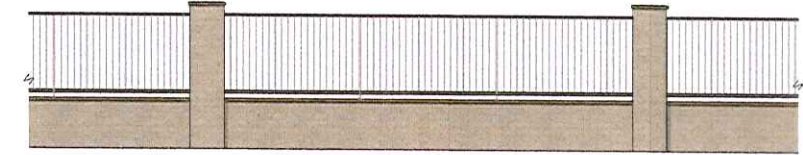


**ENCORE**  
 Gibraltus, Inc  
 73-111 El Paseo, Suite 105  
 Palm Desert, CA 92260  
 (760) 862-1123

**ACCENT LIGHT IMAGES**

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. #748-280-006 & 748-280-009

**RCA**  
 LANDSCAPE ARCHITECTS, INC.  
 73061 EL PASEO, SUITE 210  
 PALM DESERT, CA 92260  
 (760) 568-0524 FAX (760)  
 773-5815 E-MAIL  
 RCA@RCA-PO.COM



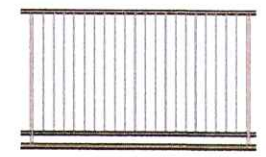
● 24" Ht. Slump Block Wall With 36" View Fence Panels and Pilasters at 50' On Center.



● 6' Ht. Slump Block Wall with Slump Block Cap with Pilasters at Property Lines set on 24" berm. Property walls at lots to be 5' Slump Stone with Slump Stone Cap



Slump Block Wall Character Image



● 6' Ht. View Fence



Fence Character Image



Sack Finish Character Image

Scale: 1"=80'-0"

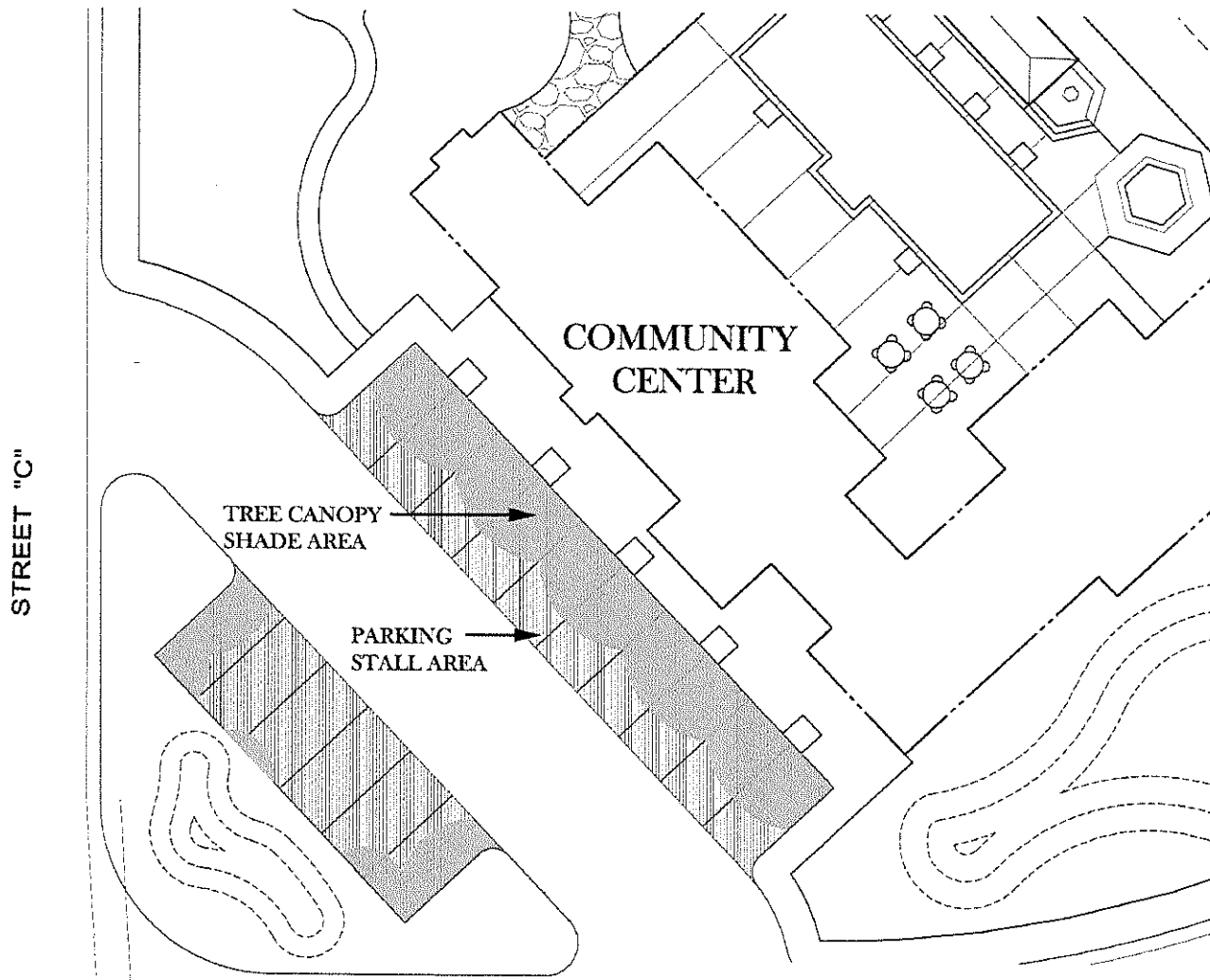


**ENCORE**  
 Gibraltar, Inc  
 73-111 El Paseo, Suite 105  
 Palm Desert, CA 92260  
 (760) 362-1123

**WALL & FENCE PLAN**

County of Riverside, CA  
 Revised Tentative Tract Map No. 30966 R1  
 APN. #748-280-006 & 748-280-009

L-10



STREET "C"

COMMUNITY CENTER

TREE CANOPY SHADE AREA

PARKING STALL AREA

Scale: 1/8"=1'-0"

SHADING

TOTAL PARKING STALL SQUARE FOOTAGE	2,504.59 SF
TOTAL TREE CANOPY SHADED SQUARE FOOTAGE	1,300.90 SF
PERCENTAGE OF SHADING PROVIDED AT MATURE SIZE	51.94%



March 28th, 2013

**ENCORE**

Gibralt us, Inc

75,111 El Paseo, Suite 103  
Palm Desert, CA 92260  
(760) 862-2112

SHADING PLAN

County of Riverside, CA  
Revised Tentative Tract Map No. 30966 R1  
APN. #748-280-006 & 748-280-009



# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: July 11, 2013

TIME OF HEARING: 9:00 A.M.

### **CASE DESCRIPTION:**

ZAP1049BD13 – Encore Homes, LLC (Representative: James Fagelson, Fagelson Consulting) – County Case No.: TR30966R1 (Revised Tentative Tract Map), a proposal to divide 39.31 – 40.19 acres located northerly of 40<sup>th</sup> Avenue and westerly of Adams Street into 202 single-family residential lots, with one 0.77-acre lot for a community center, one 3.88-acre lot for a drainage channel, and three lots for open space and water detention with a cumulative area of 3.92 acres. (Zones B1, C and D of Bermuda Dunes Airport Influence Area.)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Jay Olivas of the County of Riverside Planning Department, at (951) 955-1195.



Lift



Lift



Lift

Lefthand Feed

Rec #: 1 APN : 607-031-016  
Miller Prop Cummings  
765 Showcase Dr N  
San Bernardino CA 92408-2729

Rec #: 2 APN : 607-031-017  
Holdings Keys  
Indio CA 92203-9710

Rec #: 3 APN : 607-031-018  
Andreas Mozoras  
Indio CA 92203-9710

Rec #: 4 APN : 607-031-019  
Cummings Prop Miller  
Indio CA 92203-9710

Rec #: 5 APN : 607-031-020  
Fiesta Ford Inc  
69200 Highway 111  
Cathedral City CA 92234

Rec #: 6 APN : 607-230-038  
Paul Pavao  
PO Box 3016  
Indio CA 92202-3016

Rec #: 7 APN : 607-230-042  
Fiesta Ford Inc  
69200 Highway 111  
Cathedral City CA 92234

Rec #: 8 APN : 691-070-021  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 9 APN : 691-070-022  
Espana Gid  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 10 APN : 691-670-005  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 11 APN : 691-670-006  
Toshiyuki Koyanagi  
39670 Picasso Ct  
Indio CA 92203-7865

Rec #: 12 APN : 691-670-007  
Steven J Schumann  
3964 Picasso Ct  
Indio CA 92203

Rec #: 13 APN : 691-670-008  
Mitchell Sanchez  
39614 Picasso Ct  
Indio CA 92203-7865

Rec #: 14 APN : 691-670-009  
Orlando Castro  
39588 Picasso Ct  
Indio CA 92203-7864

Rec #: 15 APN : 691-670-010  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 16 APN : 691-670-011  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 17 APN : 691-670-012  
David Allen Kopshe  
39561 Picasso Ct  
Indio CA 92203-7864

Rec #: 18 APN : 691-670-016  
Daniel S Martinez  
39637 Picasso Ct  
Indio CA 92203-7865

Rec #: 19 APN : 691-670-017  
C W David Williams  
39659 Picasso Ct  
Indio CA 92203-7865

Rec #: 20 APN : 691-670-018  
Christian G Matadama  
39685 Picasso Ct  
Indio CA 92203-7865

Rec #: 21 APN : 691-670-019  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 22 APN : 691-670-020  
Adrian Abarca  
39725 Picasso Ct  
Indio CA 92203-7861

Rec #: 23 APN : 691-670-021  
Mark L Jalone  
39743 Picasso Ct  
Indio CA 92203-7861

Rec #: 24 APN : 691-670-022  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 25 APN : 691-670-023  
Gid Espana Llc,  
3470 Wilshire Blvd Ste 1020  
Los Angeles CA 90010-3910

Rec #: 26 APN : 691-670-078  
Ray Salazar  
39571 Picasso Ct  
Indio CA 92203-7864

Rec #: 27 APN : 691-670-079  
Kenneth Tucker  
1959 Wiltshire Ave  
Coquitlam Bc V3k 118

Rec #: 28 APN : 691-670-080  
Lisa Maria Fisher  
245 5th Ave Rm 903  
New York NY 10016-8728

Rec #: 29 APN : 748-260-022  
Susan A Vee  
39349 Gingham Ct  
Palm Desert CA 92211-1935

Rec #: 30 APN : 748-260-023  
Romano Trust  
559 Hidden Ridge Ct  
Encinitas CA 92024-5839



Lift



Lift



Lift

Righthand Feed



Lift



Lift



Lift

Lefthand Feed

Rec #: 31 APN : 748-260-024  
George F Allen  
39325 Gingham Ct  
Palm Desert CA 92211-1935

Rec #: 32 APN : 748-260-025  
Stephen Zwizinski  
1040 Pinehurst Dr  
Peachtree Cty GA 30269-3814

Rec #: 33 APN : 748-260-026  
Robert S Sorensen  
39301 Gingham Ct  
Palm Desert CA 92211-1935

Rec #: 34 APN : 748-260-027  
Sherwin Isadore Kravitz  
39289 Gingham Ct  
Palm Desert CA 92211-1934

Rec #: 35 APN : 748-260-028  
Julius Larner  
39328 Gingham Ct  
Palm Desert CA 92211-1906

Rec #: 36 APN : 748-260-029  
James C Roach  
12250 Crenshaw Blvd  
Hawthorne CA 90250-3332

Rec #: 37 APN : 748-260-030  
Richard Lyle Sharp  
39316 Gingham Ct  
Palm Desert CA 92211-1936

Rec #: 38 APN : 748-260-031  
Mary Sawyer  
39328 Gingham Ct  
Palm Desert CA 92211-1936

Rec #: 39 APN : 748-260-032  
John Wellington Hutchinson  
202-7660 Minoru Blvd  
Richmond Bc V6y1z5

Rec #: 40 APN : 748-260-033  
Howard Rodman  
39339 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 41 APN : 748-260-034  
Joe Finnegan  
27 Lone Hollow Dr  
Sandy UT 84092-5500

Rec #: 42 APN : 748-260-035  
Stewart H Moir  
39315 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 43 APN : 748-260-036  
Robert D Kochsiek  
39303 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 44 APN : 748-260-037  
Michael E Lyon  
39318 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 45 APN : 748-260-038  
Jean Vodoz  
39330 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 46 APN : 748-260-039  
Leon Serling  
15034 Worden Rd  
Holly MI 48442-9736

Rec #: 47 APN : 748-260-040  
Richard L Reinhart  
39315 Manorgate Rd  
Palm Desert CA 92211-1917

Rec #: 48 APN : 748-260-041  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 49 APN : 748-260-042  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 50 APN : 748-260-043  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 51 APN : 748-260-044  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 52 APN : 748-260-045  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 53 APN : 748-260-052  
Hans Peter Affoller  
39341 Peach Blossom Cir  
Palm Desert CA 92211-2812

Rec #: 54 APN : 748-260-053  
Violet N Dobbins  
39363 Peach Blossom Cir  
Palm Desert CA 92211-2812

Rec #: 55 APN : 748-260-054  
E William Berke  
39385 Peach Blossom Cir  
Palm Desert CA 92211-2812

Rec #: 56 APN : 748-260-055  
James Annis  
959 Nixon Ave  
Reno NV 89509-1914

Rec #: 57 APN : 748-260-056  
Ellen J Kauthen  
39429 Peach Blossom Cir  
Palm Desert CA 92211-2816

Rec #: 58 APN : 748-260-057  
Roger L Neal  
41584 Lima Hall Rd  
Bermuda Dunes CA 92203-1007

Rec #: 59 APN : 748-260-058  
Roger PI Lalime  
39473 Peach Blossom Cir  
Palm Desert CA 92211-2816

Rec #: 60 APN : 748-260-059  
Marvin Daniels  
39495 Peach Blossom Cir  
Palm Desert CA 92211-2816



Lift



Lift



Lift

Righthand Feed

Rec #: 61 APN : 748-260-060  
Cwwd  
PO Box 1058  
Coachella CA 92236-1058

Rec #: 62 APN : 748-260-061  
Valerie Smith  
78981 Apricot Ln  
Palm Desert CA 92211-2817

Rec #: 63 APN : 748-260-062  
Nicholas Nicholsky  
78989 Apricot Ln  
Palm Desert CA 92211-2817

Rec #: 64 APN : 748-260-063  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 65 APN : 748-260-064  
Hutchison Betty L (fractional interest)  
78968 Apricot Ln  
Palm Desert CA 92211-2818

Rec #: 66 APN : 748-260-065  
Norman R Hershorin  
41 Conshohocken State Rd Apt 206  
Bala Cynwyd PA 19004-2426

Rec #: 67 APN : 748-260-066  
William J Whitaker  
78984 Apricot Ln  
Palm Desert CA 92211-2818

Rec #: 68 APN : 748-260-067  
Mayer Lu Ann Trust  
78992 Apricot Ln  
Palm Desert CA 92211-2818

Rec #: 69 APN : 748-260-073  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 70 APN : 748-270-058  
Bud Alton Jourden  
39371 Blossom Cir  
Palm Desert CA 92211-1939

Rec #: 71 APN : 748-270-059  
Ronald Lee Greene  
316 Quinnhill Rd  
Los Altos CA 94024-4737

Rec #: 72 APN : 748-270-060  
Ofelia Lambrose  
8161 Wickham Ln  
La Palma CA 90623-1944

Rec #: 73 APN : 748-270-061  
Anthony Albert  
18241 Montana Cir  
Villa Park CA 92861-6454

Rec #: 74 APN : 748-270-069  
Jack Arnold King  
38180 Del Webb Blv No 15  
Palm Desert CA 92211

Rec #: 75 APN : 748-270-070  
Charles F Lapple  
39314 Blossom Cir  
Palm Desert CA 92211-1940

Rec #: 76 APN : 748-270-071  
Kenneth Chase  
39338 Blossom Cir  
Palm Desert CA 92211-1940

Rec #: 77 APN : 748-270-072  
Edward M Pond  
39362 Blossom Cir  
Palm Desert CA 92211-1940

Rec #: 78 APN : 748-270-073  
V W D C  
PO Box 1058  
Coachella CA 92236-1058

Rec #: 79 APN : 748-270-074  
Del Webb Calif Corp  
80758 Corte Santa Carmela  
Indio CA 92203-7402

Rec #: 80 APN : 748-270-077  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 81 APN : 748-270-078  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 82 APN : 748-280-008  
Mountain Inv Pine  
44489 Town Center Wy D529  
Palm Desert CA 92260

Rec #: 83 APN : 748-280-009  
Mountain Inv Pine  
44489 Town Center Wy D529  
Palm Desert CA 92260

Rec #: 84 APN : 748-410-024  
Barbara R Daum  
21053 Se 261st St  
Maple Valley WA 98038-7523

Rec #: 85 APN : 748-410-025  
James J Stevens  
78709 Rockwell Cir  
Palm Desert CA 92211-1979

Rec #: 86 APN : 748-410-026  
Charles R Werner  
2 Adria Cir  
Palm Desert CA 92211-8907

Rec #: 87 APN : 748-410-027  
Rita N Andrens  
78725 Rockwell Cir  
Palm Desert CA 92211-1979

Rec #: 88 APN : 748-410-028  
Howard Wallace  
78733 Rockwell Cir  
Palm Desert CA 92211-1979

Rec #: 89 APN : 748-410-029  
Serge Kajirian  
5140 Marmol Dr  
Woodland Hills CA 91364-3329

Rec #: 90 APN : 748-410-030  
John D Posey  
39872 Somerset Ave  
Palm Desert CA 92211-1969



Lift

Rec #: 91 APN : 748-410-031  
 Marilyn Mae Mork  
 39858 Somerset Ave  
 Palm Desert CA 92211-1969

Rec #: 94 APN : 748-410-034  
 Kevin R Kent  
 720 Olive Way Ste 1900  
 Seattle WA 98101-1847

Rec #: 97 APN : 748-410-037  
 Gary R Girard  
 39774 Somerset Ave  
 Palm Desert CA 92211-1968

Rec #: 100 APN : 748-410-040  
 Christina A Campbell  
 39732 Somerset Ave  
 Palm Desert CA 92211-1968

Rec #: 103 APN : 748-410-043  
 Melvyn D Covetta  
 15092 Touraine Way  
 Irvine CA 92604-3151

Rec #: 106 APN : 748-410-046  
 Michael Edward Oconnor  
 39648 Somerset Ave  
 Palm Desert CA 92211-1967

Rec #: 109 APN : 748-410-049  
 Melvyn D Folkman  
 10040 Kenswood Dr  
 Bc Canada V2p7n4

Rec #: 112 APN : 748-410-060  
 Sydney Boulthwood  
 733 27th St  
 San Francisco CA 94131-1812

Rec #: 115 APN : 748-410-063  
 Pauline Gorman  
 78712 Postbridge Cir  
 Palm Desert CA 92211-1971

Rec #: 118 APN : 748-410-079  
 Benedict H Zalba  
 Pmb 20; 38180 Del Webb Blv  
 Palm Desert CA 92211



Lift

Rec #: 92 APN : 748-410-032  
 Charles Sven Hellman  
 39844 Somerset Ave  
 Palm Desert CA 92211-1969

Rec #: 95 APN : 748-410-035  
 Julian Randolph Besel  
 415 San Palo Pl  
 Pasadena CA 91107-5313

Rec #: 98 APN : 748-410-038  
 Robert H Caneday  
 16654 Soledad Canyon Rd # 348  
 Canyon Country CA 91387-3217

Rec #: 101 APN : 748-410-041  
 Carole Marie Miller  
 39718 Somerset Ave  
 Palm Desert CA 92211-1968

Rec #: 104 APN : 748-410-044  
 Woo Hyun Kyung  
 719 Amherst Dr  
 Burbank CA 91504-4004

Rec #: 107 APN : 748-410-047  
 Gary Leroy Rollinson  
 3352 Goodway Ct  
 Soquel CA 95073-2770

Rec #: 110 APN : 748-410-050  
 Pauline Broska  
 78702 Hampshire Ave  
 Palm Desert CA 92211-1961

Rec #: 113 APN : 748-410-061  
 Donna A Lynch  
 78721 Hampshire Ave  
 Palm Desert CA 92211-1962

Rec #: 116 APN : 748-410-064  
 Donald B Ford  
 PO Box 123  
 Rancho Mirage CA 92270-0123

Rec #: 119 APN : 748-410-080  
 Anatoli A Nareshni  
 2353 Amber Oak Ln  
 Escondido CA 92027-6724



Lift

Lefthand Feed

Rec #: 93 APN : 748-410-033  
 Gloria Marques  
 8926 Nevada Ave  
 Rosemead CA 91770-1854

Rec #: 96 APN : 748-410-036  
 Richard W McIntire  
 39788 Somerset Ave  
 Palm Desert CA 92211-1968

Rec #: 99 APN : 748-410-039  
 Terry Resnick  
 22144 Clarendon St 260  
 Woodland Hills CA 91367

Rec #: 102 APN : 748-410-042  
 Virginia L Puderbaugh  
 20531 Via El Tajo  
 Yorba Linda CA 92887-3202

Rec #: 105 APN : 748-410-045  
 Janet Tinch Peets  
 445 Golden Prados Dr  
 Diamond Bar CA 91765-1918

Rec #: 108 APN : 748-410-048  
 Fereydoun Karimi  
 39620 Somerset Ave  
 Palm Desert CA 92211-1967

Rec #: 111 APN : 748-410-059  
 Mervin George Exner  
 228 Donnelly's Rd  
 Nakusp Bc Canada V0g1r1

Rec #: 114 APN : 748-410-062  
 Lauralee Oconnor  
 78720 Postbridge Cir  
 Palm Desert CA 92211-1971

Rec #: 117 APN : 748-410-065  
 Virginia L Puderbaugh  
 20531 Via El Tajo  
 Yorba Linda CA 92887-3202

Rec #: 120 APN : 748-410-081  
 Charlene Tuthill  
 78715 Postbridge Cir  
 Palm Desert CA 92211-1972



Lift



Lift



Lift

Righthand Feed



Lift



Lift



Lift

Left Hand Feed

Rec #: 121 APN : 748-410-082  
Donna Allen Ringer  
78723 Postbridge Cir  
Palm Desert CA 92211-1972

Rec #: 122 APN : 748-410-083  
Ernest A Manson  
78722 Rockwell Cir  
Palm Desert CA 92211-1978

Rec #: 123 APN : 748-410-084  
Michael Calhoun  
PO Box 2653  
Aptos CA 95001-2653

Rec #: 124 APN : 748-410-085  
Frances Lee Carpenter  
78706 Rockwell Cir  
Palm Desert CA 92211-1978

Rec #: 125 APN : 748-410-086  
Joanne Massaro  
78698 Rockwell Cir  
Palm Desert CA 92211-1976

Rec #: 126 APN : 748-410-094  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 127 APN : 748-410-095  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256

Rec #: 128 APN : 748-410-096  
Cvwd  
PO Box 1058  
Coachella CA 92236-1058

Rec #: 129 APN : 748-410-097  
Sun City Palm Desert Community Assn  
38180 Del Webb Blvd  
Palm Desert CA 92211-1256



Lift



Lift



Lift

Right Hand Feed

Lift

Lift

Lift

Lefthand Feed

Rec #: 1 APN : 607-031-016  
Resident  
78650 Varner Rd  
Indio CA 92203-9717

Rec #: 2 APN : 607-031-017  
Resident  
78960 Varner Rd  
Indio CA 92203-9710

Rec #: 3 APN : 607-031-018  
Resident  
78970 Varner Rd  
Indio CA 92203-9710

Rec #: 4 APN : 607-031-019  
Resident  
78980 Varner Rd  
Indio CA 92203-9710

Rec #: 5 APN : 607-031-020  
Resident  
78990 Varner Rd  
Indio CA 92203-9710

Rec #: 6 APN : 691-670-007  
Resident  
39640 Picasso Ct  
Indio CA 92203-7865

Rec #: 7 APN : 691-670-079  
Resident  
39589 Picasso Ct  
Indio CA 92203-7864

Rec #: 8 APN : 691-670-080  
Resident  
39611 Picasso Ct  
Indio CA 92203-7865

Rec #: 9 APN : 748-260-023  
Resident  
39337 Gingham Ct  
Palm Desert CA 92211-1935

Rec #: 10 APN : 748-260-025  
Resident  
39313 Gingham Ct  
Palm Desert CA 92211-1935

Rec #: 11 APN : 748-260-029  
Resident  
39304 Gingham Ct  
Palm Desert CA 92211-1936

Rec #: 12 APN : 748-260-032  
Resident  
39340 Gingham Ct  
Palm Desert CA 92211-1936

Rec #: 13 APN : 748-260-034  
Resident  
39327 Gleneagles Cir  
Palm Desert CA 92211-1904

Rec #: 14 APN : 748-260-039  
Resident  
39335 Manorgate Rd  
Palm Desert CA 92211-1917

Rec #: 15 APN : 748-260-044  
Resident  
39300 Manorgate Rd  
Indio CA 92203

Rec #: 16 APN : 748-260-055  
Resident  
39407 Peach Blossom Cir  
Palm Desert CA 92211-2816

Rec #: 17 APN : 748-260-057  
Resident  
39451 Peach Blossom Cir  
Palm Desert CA 92211-2816

Rec #: 18 APN : 748-260-065  
Resident  
78976 Apricot Ln  
Palm Desert CA 92211-2818

Rec #: 19 APN : 748-270-059  
Resident  
39359 Blossom Cir  
Palm Desert CA 92211-1939

Rec #: 20 APN : 748-270-060  
Resident  
39347 Blossom Cir  
Palm Desert CA 92211-1939

Rec #: 21 APN : 748-270-061  
Resident  
39335 Blossom Cir  
Palm Desert CA 92211-1939

Rec #: 22 APN : 748-270-069  
Resident  
39302 Blossom Cir  
Palm Desert CA 92211-1940

Rec #: 23 APN : 748-410-024  
Resident  
78701 Rockwell Cir  
Palm Desert CA 92211-1979

Rec #: 24 APN : 748-410-026  
Resident  
78717 Rockwell Cir  
Palm Desert CA 92211-1979

Rec #: 25 APN : 748-410-029  
Resident  
39886 Somerset Ave  
Palm Desert CA 92211-1969

Rec #: 26 APN : 748-410-033  
Resident  
39830 Somerset Ave  
Palm Desert CA 92211-1969

Rec #: 27 APN : 748-410-034  
Resident  
39816 Somerset Ave  
Palm Desert CA 92211-1969

Rec #: 28 APN : 748-410-035  
Resident  
39802 Somerset Ave  
Palm Desert CA 92211-1969

Rec #: 29 APN : 748-410-038  
Resident  
39760 Somerset Ave  
Palm Desert CA 92211-1968

Rec #: 30 APN : 748-410-039  
Resident  
39746 Somerset Ave  
Palm Desert CA 92211-1968

Lift

Lift

Lift

Righthand Feed

Rec #: 31 APN : 748-410-042  
Resident  
39704 Somerset Ave  
Palm Desert CA 92211-1968

Rec #: 32 APN : 748-410-043  
Resident  
39690 Somerset Ave  
Palm Desert CA 92211-1967

Rec #: 33 APN : 748-410-044  
Resident  
39676 Somerset Ave  
Palm Desert CA 92211-1967

Rec #: 34 APN : 748-410-045  
Resident  
39662 Somerset Ave  
Palm Desert CA 92211-1967

Rec #: 35 APN : 748-410-047  
Resident  
39634 Somerset Ave  
Palm Desert CA 92211-1967

Rec #: 36 APN : 748-410-049  
Resident  
78718 Hampshire Ave  
Palm Desert CA 92211-1961

Rec #: 37 APN : 748-410-059  
Resident  
78705 Hampshire Ave  
Palm Desert CA 92211-1962

Rec #: 38 APN : 748-410-060  
Resident  
78713 Hampshire Ave  
Palm Desert CA 92211-1962

Rec #: 39 APN : 748-410-064  
Resident  
78704 Postbridge Cir  
Palm Desert CA 92211-1971

Rec #: 40 APN : 748-410-065  
Resident  
78696 Postbridge Cir  
Palm Desert CA 92211-1970

Rec #: 41 APN : 748-410-079  
Resident  
78699 Postbridge Cir  
Palm Desert CA 92211-1970

Rec #: 42 APN : 748-410-080  
Resident  
78707 Postbridge Cir  
Palm Desert CA 92211-1972

Rec #: 43 APN : 748-410-084  
Resident  
78714 Rockwell Cir  
Palm Desert CA 92211-1978





Encore Homes LLC  
73111 El Paseo  
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County of Riverside Planning Department  
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# APPLICATION FOR MAJOR LAND USE ACTION REVIEW

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1049B013

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application May 27, 2013

Property Owner Encore Homes LLC Phone Number 760-862-1111

Mailing Address 73111 El Paseo, Suite 205  
Palm Desert, CA 92260

Agent (if any) James Fagelson, Fagelson Consulting Phone Number 760-408-4561

Mailing Address 480 E Desert Holly Circle  
Palm Springs, CA 92262

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 39515 Adams Street, Palm Desert, CA 92260

Assessor's Parcel No. 748-280-008, 748-280-009 Parcel Size 40 acres

Subdivision Name \_\_\_\_\_ Zoning R-4 and W-1

Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use The parcel is currently vacant, but surrounded on the north and west by houses in Sun City-Palm Desert to the south across Avenue 40 by the I-10 Auto Mall and to the west, across Adams Street by the Espana development.

Proposed Land Use 202 single --family detached houses for seniors 55 years of age and older, a Community Clubhouse, a retention pond/dog park and an 8 acre drainage area. All structures are one story in height. The community will be gated and will conform to the density and height of Sun City-Palm Desert.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 202 single family units and one clubhouse

For Other Land Uses Hours of Use \_\_\_\_\_

(See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) houses will be 16' high, trees under 25' feet ft.  
Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ highest elevation point on property 100 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY** (TO BE COMPLETED BY AGENCY STAFF)

Date Received	April 2, 2013	Type of Project
Agency Name	Riverside County Planning Department	<input type="checkbox"/> General Plan Amendment
		<input type="checkbox"/> Zoning Amendment or Variance
Staff Contact	Jay Olivas, Planner IV	<input checked="" type="checkbox"/> Subdivision Approval Revised
Phone Number	951-955-1195	<input type="checkbox"/> Use Permit
Agency's Project No.	TR30966R1	<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other

**ALUC REVIEW** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received	By
	Is Application Complete?	<input type="checkbox"/> Yes <input type="checkbox"/> No
	If No, cite reasons	

Airport(s) Nearby								
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No					

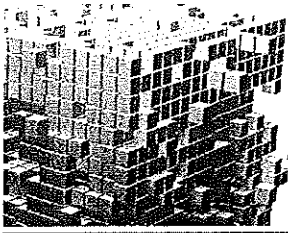
Special Conditions	Describe:

Supplemental Criteria Review	Noise
	Safety
	Airspace Protection
	Overflight

**ACTIONS TAKEN** (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	



# FAGELSON CONSULTING

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May 28, 2013

Mr. Edward Cooper, Executive Director  
Airport Land Use Commission  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92502

RE: Tentative Tract Map 30966R1

Dear Mr. Cooper:

Attached, is a complete application for a review by the Airport Land Use Commission at their July 11, 2013 meeting. We will probably be asking for consideration based upon Section 3.3.6 of the ALUC Compatibility Plan which states "that there may be specific situations where a normally incompatible use can be considered compatible because of terrain, specific location, or other extraordinary factors or circumstances related to the site." We feel that this Section is most appropriate due to the unique circumstances that are related to our proposed development.

The unique circumstances that surround this development are as follows:

- Tract 30966 was approved on June 22, 2004 by the Planning Commission. This approval was with the endorsement of the ALUC as contained in their letter dated May 27, 2003.
- TR30966 contained 216 duplex condominium units and included all requirements proposed by the ALUC.
- Due to market conditions, TR30966 was not built, but remains active and does not expire until June 22, 2015.
- The current developer proposes to change the land ownership mechanism for marketing purposes. The project, therefore, becomes a fee simple development of 202 single family units, utilizing the same development layout, only separating the duplexes so that each unit sits on its own fee simple lot.
- The site is surrounded by Sun City –Palm Desert to the north and west, the I-10 Auto Mall to the south and the partially completed Espana development to the east.
- Without further approval, the developer could construct the currently approved TR30966 immediately. However, the developer desires to improve upon the current house design, decrease the number of units and provide additional amenities for the community. All changes do not affect the Bermuda Dunes Airport but are only for marketing purposes.

Since there is existing development surrounding the 40 acre site on all sides and the fact that the only change to the plan is for improved marketing of the site:

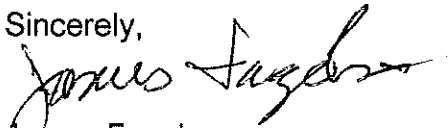
- a) the separation of the duplex units into single family units, and
- b) the change from condominium units to fee simple units.

We would like to get the Commission's approval to proceed since:

- a) approximately 25% of the site has been eliminated from future development due to drainage from areas up stream and not due to drainage issues caused by our site, and
- b) more than 80% of the site's perimeter is bound by existing uses that are similar or more intensive than being proposed;

We feel that the original approval should stand with the current constraints on height, noise attenuation, lighting requirements, aviation easements and appropriate notices to future buyers that the airport is on the other side of the I-10 freeway from the site. We further feel that the current standards should not affect approved developments where the only changes are for marketing and where none of the changes would affect what has already been approved.

Sincerely,



James Fagelson  
Fagelson Consulting  
Representing Encore Homes, LLC

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION  
STAFF REPORT**

**AGENDA ITEM:** 2.5

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1006RG13 – City of Perris

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** Ordinance Amendment Nos. 13-03-0010 and 13-04-0020

**MAJOR ISSUES:** There are no airport land use compatibility issues raised by Ordinance No. 13-04-0020. Ordinance Amendment No. 13-03-0010 does not affect allowable land uses, densities, and development standards applicable within specific plans. There is no residential zoning within Compatibility Zones A, B1, B2, or C of the Perris Valley Airport Influence Area (specific plans excluded), and the City has modified the proposed text dealing with emergency shelters to assure that such facilities will not be developed in those zones.

Ordinance No. 13-03-0010 does not provide density criteria for single room occupancy housing in residential zones or specifically restrict development of such housing in inner airport compatibility zones. Single room occupancy housing and transitional and supportive housing could potentially be developed in Airport Area II of the March Air Reserve Base Airport Influence Area and those portions of Airport Area I southerly of Perris Valley Commerce Center. However, residential subdivision development is also possible pursuant to the Perris Zoning Ordinance in these areas, as a result of the City's overrule of ALUC's finding that its General Plan was inconsistent with the 1984 Riverside County Airport Land Use Plan, as applied to the March Air Reserve Base Airport Influence Area. The City has modified the proposed text to provide that transitional and supportive housing be developed in compliance with the provisions of the (City) zone in which it is located. There are no airport land use compatibility concerns that would merit treating transitional and supportive housing differently from any other type of residential development at the same density.

**RECOMMENDATION:** Staff recommends that the Commission find Ordinance Amendment No. 13-04-0020 CONSISTENT with the 1984 Riverside County Airport Land Use Plan, as applied to March Air Reserve Base, and with the Perris Valley Airport Land Use Compatibility Plan (PVALUCP).

Staff recommends that the Commission find Ordinance Amendment No. 13-03-0010 CONSISTENT with the Perris Valley Airport Land Use Compatibility Plan.

Staff recommends that the Commission find Ordinance Amendment No. 13-03-0010 CONDITIONALLY CONSISTENT with the 1984 Riverside County Airport Land Use Plan, subject to the understanding that proposals for development of residential care facilities, single

**room occupancy facilities, and new supportive and transitional housing units in Airport Areas I and II of the March Air Reserve Base Airport Influence Area would be distributed to ALUC staff for comments and recommended conditions for the City's implementation, until such time as a new Compatibility Plan is adopted.**

**PROJECT DESCRIPTION:**

City of Perris Ordinance Amendment No. 13-03-0010 amends the City Zoning Code to permit the following uses "by right," i.e., without requirement for a Conditional Use Permit: (1) emergency shelters for the homeless in the General Industrial (GI) zone; (2) single room occupancy housing in the Community Commercial (CC) zone and all residential zones; and, (3) transitional and supportive housing in all residential zones. Ordinance Amendment No. 13-03-0010 would also add definitions of the terms "emergency shelter," "reasonable accommodation," "single room occupancy housing," "supportive housing," "transitional housing," and "transitional housing development," and provide development standards for emergency shelters and single room occupancy housing.

Ordinance Amendment No. 13-04-0020 amends the Zoning Code to provide for a formal procedure whereby persons with disabilities seeking equal access to housing may request modifications to existing dwelling units, waiver of the rules and policies of a housing provider, or exceptions from city regulations such as setback requirements, when such accommodations may be necessary to afford a person with a disability the equal opportunity to use and enjoy a dwelling. Examples include allowing a person with a disability to have a service animal in a development that does not permit pets, exceptions from parking rules, and allowing disabled tenants to make modifications to rental units such as installing a wheelchair ramp or widening doorways. Finally, it requires new housing developments consisting of three or more dwelling units to be designed and constructed in a manner that allows access to, and use by, disabled persons.

**PROJECT LOCATION:** All land within the City of Perris. Except for objects 200 feet or greater in height, the jurisdiction of the Airport Land Use Commission is confined to the portion of the City within the Airport Influence Areas of March Air Reserve Base and Perris Valley Airport.

**LAND USE PLAN:** Perris Valley Airport Land Use Compatibility Plan, and the 1984 Riverside County Airport Land Use Plan, as applied to the Airport Influence Area for March Air Reserve Base.

**BACKGROUND:**

In March of this year, this Commission reviewed the proposed City of Perris Housing Element, working through a number of issues, including the Housing Element land inventory and provisions for "by-right" approvals for emergency shelters, single room occupancy housing, and transitional and supportive housing. Ordinance Amendment No. 13-03-0010 is the City's proposal for amendments to the zoning ordinance implementing the "by-right" approval provisions.

### Emergency Shelters

The impetus for the provision of emergency shelters “by right” was legislation adopted by the State of California in 2007 originally known as Senate Bill 2. Pursuant to Action 2.4 of the proposed City of Perris Housing Element, the Zoning Code was to be amended “to permit emergency shelters by right in the General Industrial (GI) zone, excluding Specific Plan areas, without a conditional use permit or other discretionary permit.” (pages 8 and 9) Additionally, on page 75, the Housing Element indicated that the ordinance would include a density cap (maximum 100 beds per acre) and that attention would be focused on the area southerly of Malbert Road and northerly of Mountain Avenue, an area that is located at least 1,200 feet southerly of Ellis Avenue.

At the time of our review of the Housing Element, ALUC staff had noted that maintenance of the provision “except in Specific Plan areas” was critical to consistency in this situation, as a considerable amount of land that was depicted as being within the G-I zone was located within Airport Areas I and II, including land in the Clear Zone and Accident Potential Zones of March Air Reserve Base. The areas within the Clear Zone and Accident Potential Zones are included within the Perris Valley Commerce Center Specific Plan, so emergency shelters would not be permitted “by right” in that area.

The proposed ordinance appropriately places the standards and regulations for emergency shelters in the text of the General Industrial zone. However, the text did not include a specification that emergency shelters would not be permitted by right within Specific Plan areas. Given the statement in Action 2.4 of the Housing Element, ALUC staff was disappointed that the proposed zoning ordinance text permitting emergency shelters did not provide for this exclusion for properties within Specific Plan areas. However, City staff subsequently advised ALUC staff that the properties within the Perris Valley Commerce Center were no longer zoned General Industrial as a result of the adoption of the Perris Valley Commerce Center Specific Plan. Unlike the traditional practices of Riverside County, the zoning of land within the Specific Plans adopted in the City of Perris does not refer back to a particular City zone, with additions or subtractions of land uses or development standards. Instead, the list of allowable land uses is limited to those uses identified in the Specific Plan. Therefore, emergency shelters would not be permitted in the Clear Zone and Accident Potential Zones of March Air Reserve Base, which are included in the Perris Valley Commerce Center Specific Plan.

The remaining expansive area of General Industrial zoning is located westerly of Goetz Road and southerly of Ellis Avenue, in the vicinity of Perris Valley Airport. The Housing Element text focused on an area of interest located southerly of Malbert Road and northerly of Mountain Avenue, which would be within Zone D, and indicated that the number of beds or persons to be served nightly by the facility would be limited to a maximum of 100 beds per acre, which will assure consistency with Zone D intensity limitations.

The proposed ordinance includes provisions added at the request of ALUC staff that limit the number of persons per acre to 100 and require a 1,200-foot setback from Ellis Avenue, thereby



assuring that the shelter will not be located in Perris Valley Airport Compatibility Zones B1 and C, which extend westerly of Goetz Road, but only within areas not more than 1,200 feet from Ellis Avenue.

Additionally, only those emergency shelters with a capacity not exceeding 40 occupants would be permitted “by right.” Emergency shelters with greater capacities would require a conditional use permit. With these provisions, the portion of the ordinance addressing emergency shelters is consistent with both the 1984 Riverside County Airport Land Use Plan and the 2011 Perris Valley Airport Land Use Compatibility Plan.

### Transitional and Supportive Housing

Pursuant to Action 3.2 of the proposed City of Perris Housing Element, the City had committed to a zoning ordinance revision that would permit transitional and supportive housing by right in the MFR-14 and MFR-22 zones, except within Airport Areas I and II of the March Air Reserve Base Airport Influence Area and within Compatibility Zones A, B1, B2, and C of the Perris Valley Airport Influence Area. ALUC staff had agreed that transitional and supportive housing would be considered as equivalent to traditional multi-family housing. The exceptions noted would restrict transitional and supportive housing to Area III of the March Air Reserve Base Airport Influence Area, Zones D and E of the Perris Valley Airport Influence Area, and lands outside the boundaries of Airport Influence Areas, where residential densities of five or more dwelling units per acre are not restricted.

However, the proposed ordinance adds transitional and supportive housing as a permitted use by right in all residential zones (not simply the MFR-14 and MFR-22 zones), and does not reference the airport compatibility zones of either March Air Reserve Base or Perris Valley Airport. With regard to Perris Valley Airport’s Influence Area, a review of the City of Perris Zoning Map indicates that, if one excludes properties in the Downtown Specific Plan, the Green Valley Specific Plan, and the New Perris Specific Plan, there are no residentially zoned areas within Compatibility Zones A, B1, B2, or C, and only one area of R-6,000 zoned land in Compatibility Zone D.

As to the March Air Reserve Base Airport Influence Area, the proposed ordinance as written would potentially allow for transitional and supportive housing to be located within Area II of the Airport Influence Area and the portion of Area I beyond the southerly limits of the Perris Valley Commerce Center Specific Plan. The residential zoning of vacant land in these areas is inconsistent with the 1984 Riverside County Airport Land Use Plan, as applied to the March Air Reserve Base Airport Influence Area. However, at the request of ALUC staff, the City revised its proposed ordinance to specify that such housing be developed in compliance with the provisions of the underlying zone. Thus, the densities would be no greater than the densities of other types of housing permitted within the zone. As such, allowance for transitional and supportive housing in these areas does not increase the inconsistency of the residential zoning itself. There is no airport land use compatibility basis for treating transitional and supportive housing differently from any other housing of the same density.

### Residential Care Facilities

Although not specifically raised as an issue in the preparation of the Housing Element, Ordinance No. 13-03-0010 also specifies that residential care facilities are a permitted use in residential zones (R-10,000, R-8400, R-7200, R-6000, MFR-14, and MFR-22), in accordance with Chapter 19.84 of the City's Zoning Code. Pursuant to Chapter 19.84.030, residential care centers would be subject to a conditional use permit, and large residential care facilities would be subject to approval of a large residential care permit by the Director of Development Services.

As stated above, a review of the City of Perris Zoning Map indicates that, if one excludes properties in the Downtown Specific Plan, the Green Valley Specific Plan, and the New Perris Specific Plan, there are no residentially zoned areas within Compatibility Zones A, B1, B2, or C, and only one area of R-6,000 zoned land in Compatibility Zone D of the Perris Valley Airport Influence Area.

With regard to the March Air Reserve Base Airport Influence Area, residential development is prohibited in Area I and restricted to a maximum density of one dwelling unit per 2½ acres in Area II, pursuant to the 1984 Riverside County Airport Land Use Plan (although it should be noted that the City of Perris overruled ALUC with respect to the inconsistency of its General Plan with that document). However, to the extent that such facilities would require licensing by a State agency, they would qualify as institutional or quasi-public uses rather than residential uses. In 1997, and in earlier decisions, ALUC has granted determinations of consistency or conditional consistency to the Air Force Village West project, which is also located within Area II of the March Air Reserve Base Airport Influence Area.

### Single Room Occupancy Housing

State law requires that cities and counties designate areas or zones where single room occupancy housing ("SROs") would be permissible without need for a discretionary permit. Pursuant to Action 3.3 of the City's proposed Housing Element, the City had committed to a zoning ordinance revision that would permit single room occupancy housing by right in the CC (Community Commercial) zone, except within Airport Area I of the March Air Reserve Base Airport Influence Area and within Compatibility Zones A, B1, and B2 of the Perris Valley Airport Influence Area. ALUC staff had indicated that it would consider such housing as equivalent to motels.

However, the proposed ordinance adds single room occupancy housing as a permitted use by right in all residential zones, as well as the Community Commercial zone, and does not reference the airport compatibility zones of either March Air Reserve Base or Perris Valley Airport.

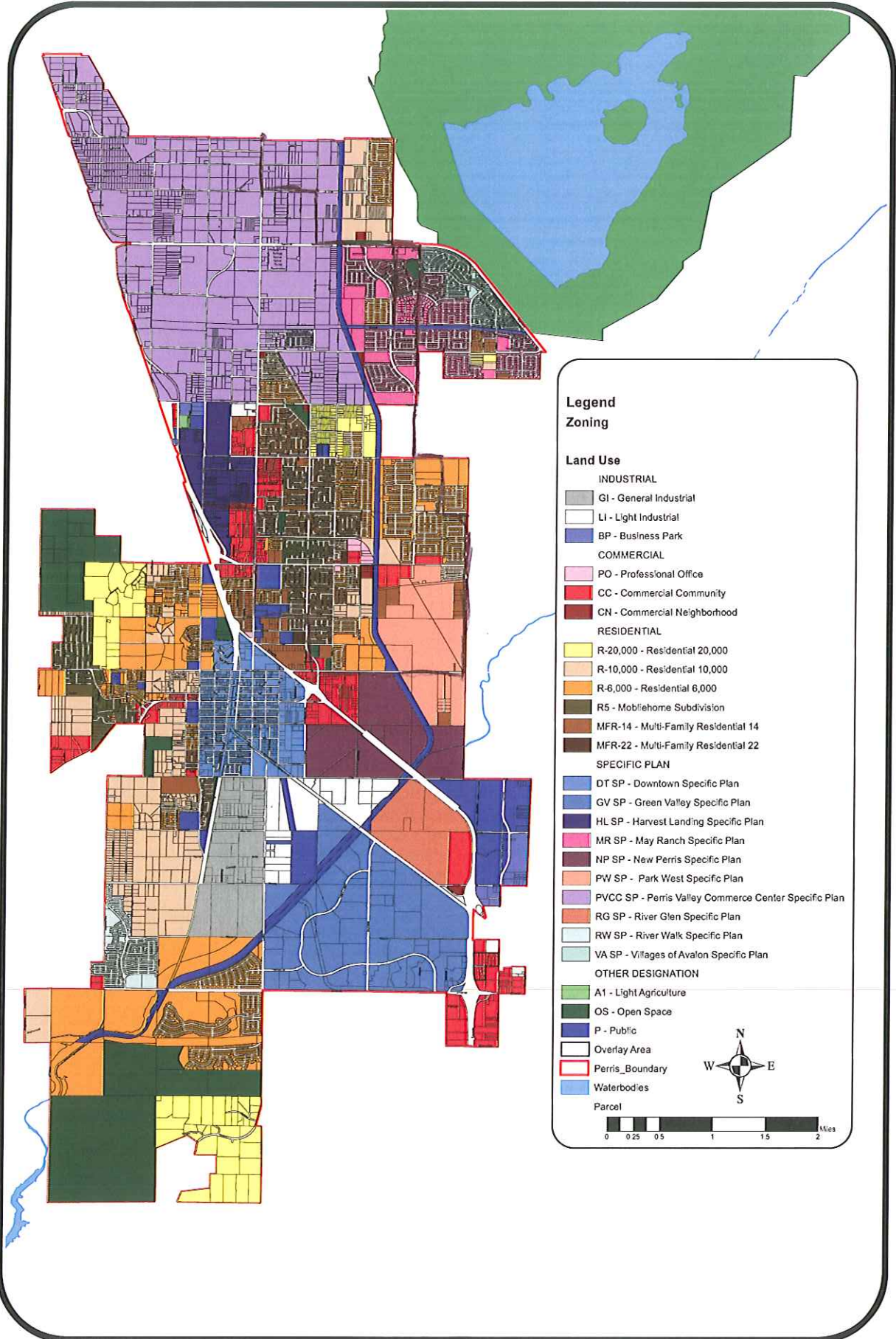
There are no properties zoned residential or Community Commercial within Compatibility Zones A, B1, or B2 within the Perris Valley Airport Influence Area. Additionally, this ordinance amendment would not provide for single room occupancy housing within the Clear Zone or Accident Potential Zones of March Air Reserve Base, in that such areas are wholly contained within the boundaries of the Perris Valley Commerce Center Specific Plan.

The proposed ordinance as written would potentially allow single room occupancy housing to be located within Area II of the March Air Reserve Base Airport Influence Area and the portion of Area I beyond the southerly limits of the Perris Valley Commerce Center Specific Plan. City staff maintains that it would be inappropriate to refer to specific airport compatibility zones in its zoning ordinance, but agreed to add a development criterion requiring SRO units to comply with all requirements of the State Aeronautics Act.

Ordinance Amendment No. 13-04-0020

This proposed ordinance amendment presents no issues, and is clearly consistent with the 1984 Riverside County Airport Land Use Plan and the (2011) Perris Valley Airport Land Use Compatibility Plan.

# Perris Zoning Map



Updated January 3, 2013

GI Zone

E. Vehicle Storage, Tow Yards and Auto Dismantlers

A solid, decorative, masonry block wall shall be constructed around the perimeter of the use and substantially block views into the yard. This perimeter wall shall adhere to front yard setbacks for the zone that is located in and the intervening space shall be planted with landscaping of varying height mixture to screen the wall. The yard area shall be paved with concrete or asphalt paving. Suitable Best Management Practices (BMP) shall be constructed or practiced to ensure that any vehicle fluids shall not leave the site.

F. Emergency Shelter Standards and Regulations (added August 2013, Ord. \_\_\_\_\_)

Emergency shelters for homeless persons shall be subject to and comply with the following standards and regulations:

1. A single Emergency Shelter for 40 occupants, or a combination of multiple shelters with a combined capacity not to exceed 40 occupants, shall be allowed as a permitted use, consistent with section 65583 (4) (A) of the Government Code. All Emergency Shelters, regardless of the number of occupants, shall meet all applicable development standards to the zoning districts in which they are permitted by-right and minimum standards contained herein below. Any Emergency Shelter with a capacity greater than 40 occupants shall be subject to the approval of a Conditional Use Permit. The number of persons per acre shall not exceed 100.
2. The facility shall operate on a first-come, first serve basis with clients only permitted on-site and admitted to the facility between 6:00 p.m. and 7:00 a.m. during Pacific Daylight Time, and 5:00 p.m. and 7:00 a.m. during Pacific Standard Time. Clients must vacate the facility by 8:00 a.m. and have no guaranteed bed for the next night. A curfew of 10:00 p.m. (or earlier) shall be established and strictly enforced and clients shall not be admitted after the curfew.
3. A 1,200 foot setback from Ellis Avenue shall be maintained, as measured from from the property line, to comply with provisions of the Perris Valley Airport Land Use Compatibility Plan.
4. A minimum distance of 300 feet shall be maintained from any other Emergency Shelter, as measured from the property line.
5. Emergency Shelters shall not be located within 1,000 feet of a public or private school (pre-school through twelfth grade), universities, colleges, student housing, senior housing, child care facilities, public parks, businesses licensed for on- or off-site sales of alcoholic beverages, or parolee/probationer home as measured from the property line.

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Changes  
requested by John  
Gubrin + Ed Cooper  
6-5-13

CC Zone

2. Conversion of an existing building to SRO housing requires a minimum unit size of 150 square feet, however there is no maximum unit square footage.
3. Each SRO unit shall accommodate a maximum of two persons.
4. Exterior lighting shall be provided for the entire outdoor and parking area of the property per the lighting standards of Chapter 19.02.110 of the Zoning Code.
5. Laundry facilities must be provided in a separate room at the ratio of one washer and one dryer for every twenty units or fractional number thereof, with at least one washer and dryer kept in good repair.
6. A cleaning supply room or utility closet with a wash tub with hot and cold running water shall be provided on each floor of the SRO unit facility.
7. New construction, conversion of non-residential space, or reconstruction of an existing building, requires each unit to contain both food preparation and sanitary facilities. Food preparation facilities shall consist of a kitchen sink, functioning cooking appliance and a refrigerator, each having a clear working space of not less than 30 inches in front. Sanitary facilities shall consist of a water closet, lavatory and bathtub or shower.
8. For acquisition or rehabilitation of an existing residential structure or hotel, neither food preparation nor sanitary facilities are required to be in the unit. However, if the units do not contain sanitary facilities, the building must contain sanitary facilities on the same floor with a water closet, lavatory, and bathtub or shower that are shared by tenants.
9. Each SRO unit shall have a separate closet.
10. SRO units shall comply with all requirements of the current California Building Code and the State Aeronautics Act. All units shall comply with all applicable accessibility and adaptability requirements. All common areas shall be fully accessible.
11. An SRO unit project shall not be located within five hundred (500) feet of any other SRO unit project, emergency shelter, or other similar program, unless such program is located within the same building or on the same lot.
12. An SRO unit project with 10 or more units shall provide on-site management. A project with less than 10 units may provide a management office off-site.

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## CHAPTER 19.08

### DEFINITIONS

Section:

~~19.08.10~~

19.08.010 DEFINITIONS

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The meaning of various words contained in the Perris Development Code are contained in this Chapter.

“Accessory Structure or Building” means a building, part of a building or structure, the use of which is subordinate to, and the use of which is incidental to, that of the main building, structure or use on the same lot. Where a substantial part of the wall of any accessory building is a part of the main building, or where an accessory building is attached to the main building in a substantial manner by a roof, such accessory building shall be deemed a part of the main building.

“Accessory Use” means a use customarily incidental and accessory to the principal use of a lot or a building located upon the same lot or building site.

“Advertising Structure” means an on-site or off-site structure of any kind erected or maintained for outdoor advertising purposes, upon which any poster, bill, printing, painting, or symbols of any kind may be placed, including statuary for advertising purposes.

“Alley” means a public thoroughfare, other than a street, having a width of not more than 20 feet nor less than 16 feet which affords only a secondary means of access to abutting property.

“Alter” means change in copy, sign face, color, material, illumination, size, shape, position, construction or supporting structure of any sign.

“Amenities” means facilities which enhance the operation of a use and make it more attractive to present and future uses.

“Animal Hospital” means a place where animals or pets are given medical or surgical treatment and are cared for during the time of such treatment. Use as a kennel shall be limited to short-time boarding, and shall be only incidental to such hospital use.

“Anti-Drain Valve or Check Valve” means a valve located under a sprinkler head to hold water in the system so as to minimize drainage from the lower elevation sprinkler heads.

“Apartment House” means a building containing separate dwelling units for three or more families.

“Dwelling” means any building or portion thereof which is used as the private residence or sleeping place for one or more human beings, but not including hotels, auto courts, trailers, club or lodging houses, or any institution such as an asylum, hospital or jail where human beings are housed by reason of illness or under legal restraint.

“Easement” means the right to use property owned by another for specific purposes or to gain access to another property. For example, utility companies often have easements on the private property of individuals to be able to install and maintain utility facilities.

“Ecological Restoration Project” means a project where the site is intentionally altered to establish a defined, indigenous, historic ecosystem.

“Educational Institutions” means public and other nonprofit institutions conducting regular academic instruction at kindergarten, elementary, secondary and college levels, including graduate schools, universities, nonprofit research institutions and religious institutions. Such institutions must either offer general academic instruction equivalent to the standards prescribed by the State Board of Education, or confer degrees as a college or university of undergraduate or graduate standing, or conduct research, or give religious instruction. This definition does not include schools, academies or institutes, incorporated or otherwise, which operate for a profit, nor does it include commercial or trade schools.

“Effective Precipitation or Useable Rainfall” means the portion of total precipitation that is used by the plans.

“Emergency Shelter” means housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or household may be denied emergency shelter because of an inability to pay.

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“Emitter” means drip irrigation fittings that deliver water slowly from the system to the soil.

“Established Landscapes” means the point at which plants in the landscape have developed roots into the soil adjacent to the root ball.

“Establishment Period” means the first year after installing the plant in the landscape.

“Estimated Applied Water Use” means the portion of the estimated total water use that is derived from applied water. The estimated applied water use shall not exceed the maximum applied water allowance. The estimated applied water use may be the sum of the water recommended through the irrigation schedule.

“Estimated Total Water Use” means the annual total amount of water estimated to be needed to keep the plants in the landscaped area healthy. It is based upon such factors as the local evapotranspiration rate, the size of the landscaped area, the types of plants, and the efficiency of



**“Ramada”** means an unattached structure having the primary purpose of sheltering a mobile home, manufactured home or factory-built house but which may extend beyond the same to provide additional protection from the elements to people or things. A portion of the area under the “ramada” may be used as a storage, washroom, patio, carport or garage, subject to other limitations of this title.

**“Rear Lot Line”** means the line opposite the front lot line.

**“Rear Yard”** means a yard extending across the full width of the lot between the rear lot line and the nearest line of the main building.

**“Reasonable Accommodation”** means making reasonable modifications in rules, policies, practices, or services when such adjustments may be necessary to afford a person with a disability the equal opportunity to use and enjoy a dwelling. Persons with disabilities shall not be denied reasonable accommodations and/or modifications in their housing. “Reasonable accommodation” requires a housing provider to alter or change their rules and policies to allow a disabled person to live in and enjoy their home.

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**“Reclaimed Water or Recycled Water”** means treated or recycled wastewater of a quality suitable for nonpotable uses such as landscape irrigation not intended for human consumption.

**“Recreational Area”** means areas of active play or recreation such as sports fields, school yards, picnic grounds, or other areas with intense foot traffic.

**“Recreational Vehicle Park”** means any park, subdivision, portion of subdivision or parcel of land whose use is intended to be specifically for recreational vehicles as defined in this Title.

**“Recreational Vehicle Space”** means that lot on which a recreational vehicle is parked and which is rented/leased for the purpose of temporary residence.

**“Recreational Vehicles”** means all motorized and non-motorized vehicles, camp cars, trailers, tent trailers, and tents designed and/or used for human habitation and which are, by construction, mobile.

**“Recyclable Material”** means reusable materials including, but not limited to, metals, glass, plastic and paper which are intended for reuse, remanufacture or reconstitution for the purpose of using the altered form. Recyclable material does not include refuse or hazardous materials. Recyclable material may include used motor oil collected and transported in accordance with Sections 25250.11 and 25143.2 (b) (4) of the *California Health and Safety Code*.

**“Recycling Facility”** means a center for the collection and/or processing of recyclable materials. A certified recycling facility or certified processor means a recycling facility certified by the California Department of Conservation and meeting the requirements of the California Beverage

of the interior side of the window for the purpose of outside display.

“Single Room Occupancy (SRO)” (also known as efficiency units) means single room dwelling units that serve as the primary residence of its occupant or occupants. The unit must contain either food preparation or sanitary facilities (and may contain both) if the project consists of new construction, conversion of non-residential space, or reconstruction. For acquisition or rehabilitation of an existing residential structure or hotel, neither food preparation nor sanitary facilities are required to be in the unit. If the units do not contain sanitary facilities, the building must contain sanitary facilities that are shared by tenants.

“Soil Moisture Sensing Device” means a device that measures the amount of water in the soil.

“Soil Texture” means the classification of soil based on the percentage of sand, silt and clay in the soil.

“Specific Plan” means a plan adopted by the City Council that is based upon the City of Perris General Plan and is consistent with Section 65450 et seq. of the Government Code.

“Sprinkler Head” means a device which sprays water through a nozzle.

“Static Water Pressure” means the pipeline or municipal water supply pressure when the water is not flowing.

“Station” means an area served by one valve or by a set of valves that operate simultaneously.

“Story” means that part of a building including between the surface of any floor and the roof next above or the surface of the floor next above.

“Street” means a public or an improved thoroughfare or road easement which affords the principal means of access to abutting property, but not including an alley.

“Street Line” means the boundary line between a street and abutting property.

“Structural Alternations” means any change in the supporting members of a building, such as bearing walls, columns, beams, girders, floor joists or roof joists.

“Structure” means that which is built or constructed, an edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner, and which requires location on the ground or attachment to something having a location on the ground, including satellite dishes, and radio or television masts, but not including fences or walls used as fences 42 inches or less in height. A non-building structure must meet all yard setbacks of the zone in which it is located.

**“Subdivision, Parcel Map, Tentative Map, Final Map, Improvement and Design”** have the same meaning respectively, as those terms are defined or used in Division 2 of Title 7 of the Government Code of the State, known as the *Subdivision Map Act*.

**“Supportive Housing”** means housing with no limit on length of stay, that is occupied by the target population as defined in subdivision (d) of Section 53260 of the California Health and Safety Code, and that is linked to on- or off-site services that assist the supportive housing resident in retaining the housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community. Supportive housing occupants may live in single or multifamily dwelling units, or maintain a separate residence.

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**“Swap Meet”** means the use, rental, or lease of stalls or areas outside of an enclosed building by vendors offering goods or materials for sale or exchange, not including public fairs, or art exhibits.

**“Target Population”** means adults with low income having one or more disabilities, which may include mental illness, HIV or AIDS, substance abuse, or other chronic health conditions; or individuals eligible for services provided under the Lanterman Development Disabilities Services Act (Division 4.5, commencing with Section 4500 of the Welfare and Institutions Code); and may, among other populations, include families with children, elderly persons, young adults aging out of the foster care system, individuals exiting from institutional settings, veterans, or homeless persons.

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**“Trailer or Trailer Coach”** means any camp car, trailer or other vehicle with or without motive power designed and constructed to travel on public thoroughfares and designed or used for human habitation.

**“Transitional Housing”** and **“transitional housing development”** mean buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six months. Transitional housing can take several forms, including group housing or multifamily units.

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**“Turf”** means a surface layer of earth containing mowed grass with its roots. Annual bluegrass, Kentucky bluegrass, perennial ryegrass, red fescue, and tall fescue are cool-season grasses. Bermuda grass, kukuyu grass, seashore paspalum, St Augustine grass, zoysia grass and buffalo grass are warm-season grasses.

**“Use”** means the purpose for which land or the building or buildings thereon is occupied, used or maintained.

**“Used”** includes occupied, arranged, designed or intended to be used.

**“Valve”** means a device used to control the flow of water in the irrigation system.

## CHAPTER 19.44

### INDUSTRIAL ZONES

#### Sections:

19.44.010	PURPOSE
19.44.020	LAND USE AND PERMIT REQUIREMENTS
19.44.030	DEVELOPMENT CRITERIA
19.44.040	PARKING AND LOADING STANDARDS
19.44.050	SIGN STANDARDS
19.44.060	LANDSCAPE STANDARDS
19.44.070	PERFORMANCE STANDARDS
19.44.080	SITE AND ARCHITECTURAL DESIGN GUIDELINES
19.44.090	STANDARDS FOR SPECIFIC USES
19.44.100	PROCESSING/ADMINISTRATIVE PROCEDURES

#### 19.44.010 PURPOSE

Three industrial Zoning Districts are provided. Their purposes are as follows:

- BP Business Park.** –This zone is provided for uses generally served by arterial roadways and freeways. They include business/professional offices, storage, light manufacturing, warehousing/distribution, wholesaling, large-scale warehouse, retail, auto dealerships, service commercial activities, and public uses. –This Zone correlates with the ‘Business Park’ General Plan Land Use designation.
- LI Light Industrial.** This zone is to provide for light industrial uses and related activities including manufacturing, research, warehouse and distribution, assembly of non-hazardous products/materials, and retail related to manufacturing. This zone correlates with the ‘Light Industrial’ General Plan Land Use designation.
- GI General Industrial.** This zone is to provide for the development of general industrial uses which may support a wide range of manufacturing and non-manufacturing uses, from warehousing and distribution facilities to industrial activities and emergency shelters.—This Zone correlates with the ‘General Industrial’ General Plan Land Use designation.

#### 19.44.020 LAND USES AND PERMIT REQUIREMENTS

The Industrial land uses allowed in each zoning district are identified in the following table as being P (Permitted), CUP (allowed subject to prior approval of a Conditional Use Permit), A (Accessory to a Permitted or Conditional uses), or PRO (Prohibited). When a use is not listed specifically as either a permitted use or conditionally permitted use under a particular Zoning district or category it is generally not permitted. However, the Director of Planning and Community Development Services has the authority to determine if the use is substantially similar to other uses in the particular zone to justify a finding that it should be deemed either a permitted use or conditionally permitted use.

**P** Permitted Uses are allowed subject to compliance with all applicable provisions of the Zoning Ordinance, and to obtaining any other permit required by the Municipal Code, including a Business License.

**A** Accessory Uses are allowed subject to compatibility with permitted and conditionally permitted uses. Such uses are defined as being clearly subordinate to the principal use of the building or lot, and serve a purpose customarily associated with the principal use.

**CUP** Conditional Use Permit is required; please refer to Chapter 19.61 of the Perris Zoning Ordinance.

**PRO** Prohibited Uses are not allowed in this district.

ALLOWED LAND USES IN INDUSTRIAL ZONE DISTRICTS				
Land Use	BP	LI	GI	See Section
Adult entertainment	PRO	PRO	P	Chapter 5.50
Animal or poultry slaughter	PRO	PRO	CUP	Chapter 8.08
Business support services	P	P	CUP	Chapter 19.08
Cabinet and woodworking shops	PRO	P	P	
Carpet and furniture sales	P	CUP	CUP	
Carwash	P	P	P	
Chemical Use	PRO	CUP	P	
Churches	CUP	CUP	CUP	
Child care center / nursery school, private	CUP	CUP	PRO	Chapter 19.83
Child care for employee children only	A	A	A	Chapter 19.83
Clinics including dental, medical, and optical	P	P	CUP	
Distributors and showrooms	P	P	P	
Emergency shelters for the homeless (40 persons or less)	PRO	PRO	P	19.44.090.F.
Emergency shelters for the homeless (more than 40 persons)	PRO	PRO	CUP	19.44.090.F.
Equipment rental, storage, and sales	PRO	P	P	
Explosive devices, manufacture or storage	PRO	PRO	CUP	
Food products, manufacturing	CUP	P	P	Chapter 19.08
Fueling stations and services	CUP	CUP	CUP	
Hospitals and urgent care centers	CUP	CUP	CUP	
Indoor commercial recreation	CUP	CUP	CUP	
Kennels, veterinarians, and animal services	CUP	CUP	P	Chapter 8.08
Laundry, dry cleaning and cleaning plants	PRO	P	P	
Machine shops	CUP	P	P	
Manufacturing, light	CUP	P	P	Chapter 19.08

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E. Vehicle Storage, Tow Yards and Auto Dismantlers

A solid, decorative, masonry block wall shall be constructed around the perimeter of the use and substantially block views into the yard. This perimeter wall shall adhere to front yard setbacks for the zone that is located in and the intervening space shall be planted with landscaping of varying height mixture to screen the wall. The yard area shall be paved with concrete or asphalt paving. Suitable Best Management Practices (BMP) shall be constructed or practiced to ensure that any vehicle fluids shall not leave the site.

F. Emergency Shelter Standards and Regulations (added August 2013, Ord. \_\_\_\_\_)

Emergency shelters for homeless persons shall be subject to and comply with the following standards and regulations:

1. A single Emergency Shelter for 40 occupants, or a combination of multiple shelters with a combined capacity not to exceed 40 occupants, shall be allowed as a permitted use, consistent with section 65583 (4) (A) of the Government Code. All Emergency Shelters, regardless of the number of occupants, shall meet all applicable development standards to the zoning districts in which they are permitted by-right and minimum standards contained herein below. Any Emergency Shelter with a capacity greater than 40 occupants shall be subject to the approval of a Conditional Use Permit. The number of persons per acre shall not exceed 100.
2. The facility shall operate on a first-come, first serve basis with clients only permitted on-site and admitted to the facility between 6:00 p.m. and 7:00 a.m. during Pacific Daylight Time, and 5:00 p.m. and 7:00 a.m. during Pacific Standard Time. Clients must vacate the facility by 8:00 a.m. and have no guaranteed bed for the next night. A curfew of 10:00 p.m. (or earlier) shall be established and strictly enforced and clients shall not be admitted after the curfew.
3. A minimum distance of 300 feet shall be maintained from any other Emergency Shelter, as measured from the property line.
4. Emergency Shelters shall not be located within 1,000 feet of a public or private school (pre-school through twelfth grade), universities, colleges, student housing, senior housing, child care facilities, public parks, businesses licensed for on- or off-site sales of alcoholic beverages, or parolee/probationer home as measured from the property line.
5. Service providers shall provide lockers for clients to temporarily store their belongings.
6. Any outdoor storage, including, but not limited to, items brought on-site by clients for overnight stays, shall be screened from public view by a minimum

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six foot tall decorative wall or fence. Service animals may accompany a disabled person, and pets may be permitted if contained within an adequately sized and sturdy pet carrier. Shopping carts are not permitted on-site.

7. Adequate waiting areas must be provided within the premises for clients and prospective clients including 10 square feet per bed, minimum 100 square feet to ensure that public sidewalks or private walkways are not used as queuing or waiting areas.

8. Facility improvements shall comply with the Perris Municipal Code and the most current adopted Building and Safety Code, specific to the establishment of dormitories and shall additionally provide:

- a. A minimum of 1 toilet for every 8 beds per gender.
- b. A minimum of 1 shower for every 8 beds per gender.
- c. Private shower and toilet facility for each area designated for use by individual families.

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9. Parking for emergency shelters shall comply with the provisions of Chapter 19.69, PARKING AND LOADING STANDARDS.

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10. Bike rack parking for a minimum of 10 bicycles shall be provided at the facility.

11. Exterior lighting shall be provided for the entire outdoor and parking area of the property per the lighting standards of Chapter 19.02.010 of the Zoning Code.

12. The facility may provide the following services in a designated area separate from sleeping areas:

- a. A recreation area inside the shelter or in an outdoor area visually separated from public view by a minimum six foot tall decorative screen wall or fence.
- b. A counseling center for job placement, educational, health care, legal services, or mental health services.
- c. Laundry facilities to serve the number of clients at the shelter.
- d. Kitchen and dining area.
- e. Client storage area.

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13. An Emergency Shelter Management Plan shall be submitted as a part of the permit application to address all of the following:

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- a. A minimum of one staff member per 15 beds shall be awake and on duty when the facility is open. Facility staff shall be trained in operating procedures, safety plans, and assisting clients.

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- b. Service providers shall provide criteria to screen clients for admittance eligibility, with the objective to provide first service to individuals with connections to the City of Perris.
- c. Service providers will ensure that clients do not exceed the maximum stay at the facility of six months or less in a 365-day period.
- d. Service providers shall continuously monitor waiting areas to inform prospective clients whether they can be served within a reasonable time. If they cannot be served by the provider because of time or resource constraints, the monitor shall inform the client of alternative programs and locations where he or she may seek similar service.
- e. Service providers shall educate on-site staff so that they possess adequate knowledge and skills to assist clients in obtaining permanent shelter and jobs, including referrals to outside assistance agencies.
- f. Service providers will maintain good communication and have procedures in place to respond to inquiries regarding the facility and operations from the neighborhood, City staff, or the general public.
- g. Service providers shall establish standards for responding to emergencies and incidents resulting from the expulsion of clients from the facility. Re-admittance policies for clients who have previously been expelled from the facility shall also be established.
- h. At least one security guard shall be present on the property at all times.
- i. Alcohol and illegal drug use is prohibited on-site. Service providers shall expel clients from the facility if found to be using alcohol or illegal drugs.
- j. The establishment shall implement other requirements as deemed necessary by the City to ensure that the facility does not create an adverse impact to surrounding properties.
- k. All graffiti on the premises shall be removed by the business operator within 24 hours.
- l. Anti-loitering signs shall be installed.
- m. If there is a conflict between code requirements, the most restrictive one shall apply.

14. The facility shall comply with all other laws, rules, and regulations that apply including, but not limited to, Building and Fire Codes. The facility shall be subject to City inspections prior to the commencement of operation. In addition, the City may inspect the facility at any time for compliance with the facility's Management Plan and other applicable laws and standards.

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15. The Emergency Shelter operator shall maintain a valid City business license.

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**CHAPTER 19.21**

**R-20,000 Single-Family Residential**

**20,000 Square Foot Minimum Lots**

Sections:

- 19.21.010 PURPOSE
- 19.21.020 PERMITTED USES
- 19.21.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.21.040 PERMITTED ACCESSORY USES
- 19.21.050 ADMINISTRATIVE PERMIT
- 19.21.060 PROHIBITED USES
- 19.21.070 TEMPORARY USES
- 19.21.080 DEVELOPMENT CRITERIA
- 19.21.090 DESIGN CRITERIA
- 19.21.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.21.010 PURPOSE

The R-20,000 Zone is to provide for the development of detached residential development and agricultural uses within a rural environment. This Zone shall be applicable to and correlate with the General Plan Land Use designation of R-20,000 Single Family Residential. (Ord 1159, 2005)

19.21.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord \_\_\_\_\_):

Agricultural uses

One detached single-family dwelling

Supportive and Transitional Housing (in compliance with provisions of the R-20,000 Zone)

Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial)

Monopoles or similar wireless communications towers or facilities

Small family day care homes

Residential care facilities (per Chapter 19.84)

Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54, **AUTHORITY AND REVIEW PROCEDURES.**

**CHAPTER 19.22**

**R-10,000 Single-Family Residential**

**10,000 Square Foot Minimum Lots**

Sections:

- 19.22.010 PURPOSE
- 19.22.020 PERMITTED USES
- 19.22.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.22.040 PERMITTED ACCESSORY USES
- 19.22.050 ADMINISTRATIVE PERMIT
- 19.22.060 PROHIBITED USES
- 19.22.070 TEMPORARY USES
- 19.22.080 DEVELOPMENT CRITERIA
- 19.22.090 DESIGN CRITERIA
- 19.22.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.22.010 PURPOSE

The R-10,000 Zone is to provide for the development of detached single-family residential development at a density of 2 to 4 dwellings per net acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of R-10,000 Single Family Residential. (Ord 1159, 2005)

19.22.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord. \_\_\_\_\_):

- One detached single-family dwelling
- Small family day care homes
- Residential care facilities (per Chapter 19.84)
- Supportive and Transitional Housing (in compliance with provisions of the R-10,000 Zone)
- Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial)

Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54,  
**AUTHORITY AND REVIEW PROCEDURES.**

**CHAPTER 19.23**

**R-8,400 Single-Family Residential**

**8,400 Square Foot Minimum Lots**

Sections:

- 19.23.010 PURPOSE
- 19.23.020 PERMITTED USES
- 19.23.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.23.040 PERMITTED ACCESSORY USES
- 19.23.050 ADMINISTRATIVE PERMIT
- 19.23.060 PROHIBITED USES
- 19.23.070 TEMPORARY USES
- 19.23.080 DEVELOPMENT CRITERIA
- 19.23.090 DESIGN CRITERIA
- 19.23.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.23.010 PURPOSE

The R-8,400 Zone is to provide for the development of detached single-family residential development at a density of 3 to 5 dwellings per net acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of Residential 8,400.

19.23.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord. \_\_\_\_\_):

- One detached single-family dwelling
- Small family day care homes

Residential care facilities (per Chapter 19.84)

Supportive and Transitional Housing (in compliance with provisions of the R-8,400 Zone)

Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial)

Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54, AUTHORITY AND REVIEW PROCEDURES.

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19.23.030 USES SUBJECT TO A CONDITIONAL USE PERMIT

The following uses shall be allowed subject to obtaining a Conditional Use Permit, as provided by Chapter 19.61, CONDITIONAL USE PERMITS:

**CHAPTER 19.24**

**R-7,200 Single-Family Residential**

**7,200 Square Foot Minimum Lots**

Sections:

- 19.24.010 PURPOSE
- 19.24.020 PERMITTED USES
- 19.24.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.24.040 PERMITTED ACCESSORY USES
- 19.24.050 ADMINISTRATIVE PERMIT
- 19.24.060 PROHIBITED USES
- 19.24.070 TEMPORARY USES
- 19.24.080 DEVELOPMENT CRITERIA
- 19.24.090 DESIGN CRITERIA
- 19.24.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.24.010 PURPOSE

The R-7,200 Zone is to provide for the development of detached single-family residential development at a density of 4 to 6 dwellings per acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of Residential 7,200.

19.24.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord. \_\_\_\_\_):

- One detached single-family dwelling
- Small family day care homes
- Residential care facilities (per Chapter 19.84)
- Supportive and Transitional Housing (in compliance with provisions of the R-7,200 Zone)
- Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L. Community Commercial)
- Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54, AUTHORITY AND REVIEW PROCEDURES.

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19.24.030 USES SUBJECT TO A CONDITIONAL USE PERMIT

The following uses shall be allowed subject to obtaining a Conditional Use Permit, as provided by Chapter 19.61, CONDITIONAL USE PERMITS:

- Churches and religious institutions
- Convalescent and senior home facilities, including home for the aged
- Mobile home parks

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**CHAPTER 19.25**

**R-6,000 Single-Family Residential**

**6,000 Square Foot Minimum Lots**

Sections:

- 19.25.010 PURPOSE
- 19.25.020 PERMITTED USES
- 19.25.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.25.040 PERMITTED ACCESSORY USES
- 19.25.050 ADMINISTRATIVE PERMIT
- 19.25.060 PROHIBITED USES
- 19.25.070 TEMPORARY USES
- 19.25.080 DEVELOPMENT CRITERIA
- 19.25.090 DESIGN CRITERIA
- 19.25.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.25.010 PURPOSE

The R-6,000 Zone is to provide for the development of attached and detached, medium density residential development, including duplexes, condominiums, and townhouses, at a density of 4 to 7 dwellings per acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of R-6,000 Single Family Residential. (Ord. 1159, 2005)

19.25.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord. \_\_\_\_\_):

Attached and detached one-family dwellings

Small family day care homes

Residential care facilities (per Chapter 19.84)

Supportive and Transitional Housing (in compliance with provisions of the R-6,000 Zone)

Single Room Occupancy facilities (per Chapter 19.38.080.L, Community Commercial)

Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54, AUTHORITY AND REVIEW PROCEDURES.

**CHAPTER 19.26**

**MFR-14 Multi-Family Residential**

**3,000 Square Foot Minimum Lots**

Sections:

- 19.26.010 PURPOSE
- 19.26.020 PERMITTED USES
- 19.26.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.26.040 PERMITTED ACCESSORY USES
- 19.26.050 ADMINISTRATIVE PERMIT
- 19.26.060 PROHIBITED USES
- 19.26.070 TEMPORARY USES
- 19.26.080 DEVELOPMENT CRITERIA
- 19.26.090 DESIGN CRITERIA
- 19.26.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.26.010 PURPOSE

The MFR-14 Zone is to provide for medium density attached and detached, single-family and multiple-family residential development, including zero-lot line development, at a density of 7 to 14 dwellings per acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of MFR-14. (Ord. 1159, 2005)

19.26.020 PERMITTED USES

The following uses are permitted (as revised August 2013, Ord. \_\_\_\_\_):

- Attached and detached single-family dwellings
- Multiple-family development, including apartments and condominiums
- Residential care facilities (per Chapter 19.84)
- Supportive and Transitional Housing (in compliance with the provisions of the MFR-14 Zone)
- Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial)
- Small family day care
- Other similar uses: As approved by the Director of Planning and Community Development Services, as provided by Chapter 19.54, AUTHORITY AND REVIEW PROCEDURES.

**CHAPTER 19.28**

**MFR-22 Multi-Family Residential**

Sections:

- 19.28.010 PURPOSE
- 19.28.020 PERMITTED USES
- 19.28.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.28.040 PERMITTED ACCESSORY USES
- 19.28.050 PROHIBITED USES
- 19.28.060 TEMPORARY USES
- 19.28.070 DEVELOPMENT CRITERIA
- 19.28.080 DESIGN CRITERIA
- 19.28.090 PROCESSING/ADMINISTRATIVE PROCEDURES

19.28.010 PURPOSE

The MFR-22 Zone is to provide for high density residential development at a maximum density of 22 dwellings per acre. This Zone shall be applicable to and correlate with the General Plan Land Use designation of MFR-22. (Ord. 1159, 2005) (Ord. 1240, 2008)

19.28.020 PERMITTED USES

The following uses are permitted (revised August 2013, Ord. \_\_\_\_\_):

- Detached single family homes
- Attached single-family dwellings
- Multiple-family development, including apartments and condominiums
- Residential care facilities (per Chapter 19.84)
- Supportive and Transitional Housing (in compliance with provisions of the MFR-22 Zone)
- Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial Zone)
- Small family day care
- Other similar uses: **As approved by the Director of the Development Services Department, as provided by Chapter 19.54, AUTHORITY AND REVIEW PROCEDURES.**

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19.28.030 USES SUBJECT TO A CONDITIONAL USE PERMIT

The following uses shall be allowed subject to obtaining a Conditional Use Permit, as

CHAPTER 19.34

R-5 DISTRICTS (MOBILEHOME SUBDIVISIONS)

Sections:

- 19.34.010 PERMITTED USES
- 19.34.020 DEVELOPMENT STANDARDS
- 19.34.030 OTHER REGULATIONS

19.34.10 PERMITTED USES

Only the following uses shall be permitted in all R-5 zones (revised July 2013, Ord. \_\_\_\_\_):

1. Mobilehomes, manufactured homes and factory-built housing for single-family residential use including normal accessory building, such as the cabana, ramada and patio slab, auxiliary buildings such as a carport or garage, and a storage or washroom building. In no event shall more than one mobilehome, manufactured home or factory-built house be used for residential purposes on a lot, nor shall any auxiliary building or travel trailer be inhabited. No poultry or livestock other than usual household pets shall be kept.
2. Public utility and public service facilities.
3. Recreation facilities for the use of lot owners within the subdivision after a site plan and provisions of their continued and proper maintenance have been approved by the City Council.
4. Temporary real estate tract offices, to be used only during the original sale of the subdivision.
5. Supportive and Transitional Housing (in compliance with provisions of the R-5 Zone)
- 4.6. Single Room Occupancy (SRO) facilities (per Chapter 19.38.080.L, Community Commercial Zone)

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19.34.20 DEVELOPMENT STANDARDS

A. *Development Standards*

The following shall be the minimum standards of development within the R-5 Zone:



CHAPTER 19.38

CC ZONE (Commercial Community)

Sections:

- 19.38.010 PURPOSE
- 19.38.020 PERMITTED USES
- 19.38.030 USES SUBJECT TO A CONDITIONAL USE PERMIT
- 19.38.040 PERMITTED ACCESSORY USES
- 19.38.050 ADMINISTRATIVE PERMIT
- 19.38.060 PROHIBITED USES
- 19.38.070 TEMPORARY USES
- 19.38.080 DEVELOPMENT CRITERIA
- 19.38.090 DESIGN CRITERIA
- 19.38.100 PROCESSING/ADMINISTRATIVE PROCEDURES

19.38.010 PURPOSE

The CC Zone is to provide for retail, professional office, and service oriented business activities which serve the entire City. This Zone shall be applicable to and correlate with the General Plan Land Use designation of Commercial Community.

19.38.020 PERMITTED USES

The following uses are permitted:

A. **General Retail Uses**

- Automotive sales
- Furniture sales
- Garden and farm supplies
- Home improvement centers/building material stores
- Office equipment
- Pet and pet supply
- Retail outlets
- Sporting goods
- Vehicle sales

B. **General Entertainment Uses**

- Bowling alleys
- Movie theaters

C. **General Service Uses**

Carwash  
Health clubs  
Lube and tune centers  
Hotels and motels  
Single Room Occupancy (SRO) facilities (added August 2013, Ord. \_\_\_\_\_)  
Medical and dental offices, excluding urgent care facilities and hospitals  
Medical clinics (If a license or permit is required by the State of California then a Conditional Use Permit is required, see Section 19.38.030-)  
Mortuary and funeral homes  
Printing and copying shops

D. **Food Service Uses**

Bakeries  
Candy, ice cream, and yogurt shops  
Coffee shops  
Delicatessens  
Liquor stores, consistent with Chapter 19.65  
Restaurants, without drive-through services, consistent with Chapter 19.65

E. **Miscellaneous Uses**

Monopoles or similar wireless communications towers or facilities 65 feet or less in height

F. **Other Similar Uses**

As approved by the Director of ~~Planning and Community~~ Development ~~Services~~, as provided by 19.54, AUTHORITY AND REVIEW PROCEDURES.

19.38.030 **USES SUBJECT TO A CONDITIONAL USE PERMIT**

The following uses shall be allowed subject to obtaining a Conditional Use Permit, as provided by 19.61, CONDITIONAL USE PERMITS:

**Amusement centers**

Any home or other facility for the aged or children that is licensed or required to have a permit by the State of California, excluding Child Care Facilities, as provided by Chapter 19.83

Any public or private hospital, medical clinic or other facility licensed or required to have a permit by the State of California

the setback shall not be less than 10 feet. If loading and unloading are provided the setback shall be not less than 25 feet.

- 4. Minimum Street Side Yard: See requirements for Front Yard.
- 5. Minimum Rear Yard: None. If adjoining a residential zone the setback shall be the same as the Side Yard requirements.

**I. Structure Separation**

None required

**J. Lot Frontage**

Minimum lot frontage of 100 feet.

**K. Projects with Multiple Parcels**

Commercial and mixed-use projects with multiple lots that are contiguous and tied together by a Development Agreement, Planned Development Overlay, cross-access and/or shared-parking agreements, or similar covenant approved by the City and formally recorded against Title may deviate from the lot size, lot width, lot depth, and street frontage criteria provided that such deviation is necessary to achieve superior site planning. Such developments are required to submit a sign program to ensure consistent signage throughout the project site and to address monumentation signage along street frontages. Also, projects that employ shared parking agreements may spread the required parking supply across multiple parcels, in compliance with Municipal Code §19.69.030.B.5 (Shared Parking Provisions).

**L. Single Room Occupancy (SRO) Housing**

SROs, also known as efficiency units, are allowed in the Community Commercial Zone (and Residential Zones, subject to the underlying density of the subject zone) without a Conditional Use Permit or other discretionary permit, subject the following standards and regulations:

- 1. New construction of SRO housing requires units to have a minimum size of 150 square feet and a maximum of 400 square feet.

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2. Conversion of an existing building to SRO housing requires a minimum unit size of 150 square feet, however there is no maximum unit square footage.
3. Each SRO unit shall accommodate a maximum of two persons.
4. Exterior lighting shall be provided for the entire outdoor and parking area of the property per the lighting standards of Chapter 19.02.110 of the Zoning Code.
5. Laundry facilities must be provided in a separate room at the ratio of one washer and one dryer for every twenty units or fractional number thereof, with at least one washer and dryer kept in good repair.
6. A cleaning supply room or utility closet with a wash tub with hot and cold running water shall be provided on each floor of the SRO unit facility.
7. New construction, conversion of non-residential space, or reconstruction of an existing building, requires each unit to contain both food preparation and sanitary facilities. Food preparation facilities shall consist of a kitchen sink, functioning cooking appliance and a refrigerator, each having a clear working space of not less than 30 inches in front. Sanitary facilities shall consist of a water closet, lavatory and bathtub or shower.
8. For acquisition or rehabilitation of an existing residential structure or hotel, neither food preparation nor sanitary facilities are required to be in the unit. However, if the units do not contain sanitary facilities, the building must contain sanitary facilities on the same floor with a water closet, lavatory, and bathtub or shower that are shared by tenants.
9. Each SRO unit shall have a separate closet.
10. SRO units shall comply with all requirements of the current California Building Code. All units shall comply with all applicable accessibility and adaptability requirements. All common areas shall be fully accessible.
11. An SRO unit project shall not be located within five hundred (500) feet of any other SRO unit project, emergency shelter, or other similar program, unless such program is located within the same building or on the same lot.
12. An SRO unit project with 10 or more units shall provide on-site management. A project with less than 10 units may provide a management office off-site.

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## CHAPTER 19.69

### PARKING AND LOADING STANDARDS

Section:

- 19.69.010 PURPOSE
- 19.69.020 RESIDENTIAL REGULATIONS (*revised August 2013*)
- 19.69.030 NON-RESIDENTIAL REGULATIONS (*revised August 2013*)
- 19.69.040 LOADING REQUIREMENTS

19.69.010 PURPOSE

Regulations shall be established for parking and loading, in order to assure adequate parking facilities are properly designed and located in order to meet the parking needs created by specific uses, and ensure their usefulness, protect the public safety, and where appropriate, buffer and transition surrounding land uses from their impact.

19.69.020 RESIDENTIAL REGULATIONS

A. *General Provisions*

1. Amount of Facilities Required. Any dwelling unit constructed or located after the effective date of the Chapter, or any subsequent amendment thereto, shall be required to provide off-street parking facilities in accordance with the provisions of this Chapter.
2. Non-Conforming Uses. Any dwelling unit or group of dwelling units which, on the effective date of this Chapter, or any subsequent amendment thereto, is nonconforming as to the regulations relating to off-street parking facilities, may be continued in the same manner as if the parking facilities were conforming. However, any existing dwelling unit that is enlarged by 25 percent of the gross living area shall be required to provide off-street parking facilities in accordance with the provisions of this Chapter.
3. Voluntary Establishment. Nothing in this Chapter shall be deemed to prevent the voluntary establishment of off-street parking facilities in excess of those required by this Chapter, provided that all regulations governing the location, design, and operation of such facilities are met.
4. Provision is a Continuing Obligation. The required off-street parking shall be a continuing obligation. It is unlawful to discontinue or dispense with the required vehicle parking facilities without providing other vehicle-parking facilities which meet the requirements of this Chapter.

6. Single Room Occupancy (SRO) unit parking shall be provided as follows (see Chapter 19.38.080.L for complete development criteria):
- a. One (1) uncovered parking space for every three (3) SRO units.
  - b. Two (2) uncovered parking spaces for an onsite manager unit.
  - c. Each SRO unit shall be provided at least one (1) lockable bicycle parking space in a location that is adjacent to that SRO unit.

- 6.7. **Limitations and Prohibited Parking:** The following limitations and prohibitions shall apply:
- a. No parking shall be permitted in required landscaped front yard areas.
  - b. All inoperative motor vehicles, detached truck campers, trailers of any type, mobile homes, boats and similar equipment incapable of movement under its owner power shall be stored in an enclosed parking space or stored in an area screened from the street. No parking or storage shall be permitted in the driveway or front yard area.

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## 19.69.030 NON-RESIDENTIAL REGULATIONS

### A. *General Provisions*

1. **Amount of Facilities Required:** Any building or structure constructed, located, or expanded and any use of land established after the effective date of this chapter, or any subsequent amendment thereto, shall be required to provide off-street parking facilities in accordance with this Chapter.
2. **Non-Conforming Uses:** Any use of property which on the effective date of this Chapter, or any subsequent amendment thereto, is nonconforming as to the regulations relating to off-street parking facilities, may be continued in the same manner as if the parking facilities were conforming. However, if such parking facilities do exist they shall not be reduced.
3. **Voluntary Establishment:** Nothing in this Chapter shall be deemed to prevent the voluntary establishment of off-street parking facilities in excess of those required by this Chapter, provided that all regulations governing the location, design, and operation of such facilities are met.
4. **Provision is a Continuing Obligation:** The required off-street parking shall be a continuing obligation. It is unlawful to discontinue or dispense with the required vehicle parking facilities

without providing other vehicle-parking facilities which meet the requirements of this Chapter.

5. Development Plan Approval: Development plan review for all new construction, expansion or change in use shall be submitted to and approved in accordance with Chapter 19.50 or any other applicable review procedure. This review shall include parking review and analysis.
6. Permit Requirements
  - a. No building shall be occupied and no final inspection shall be given, until off-street parking facilities are provided in accordance with the provisions of this Chapter.
  - b. No parking area shall be re-surfaced and/or re-stripped without a parking plan submitted to and approved by the Planning and Community Development Department and the City Engineer.
7. Use Limitations for Required Areas: Required parking areas shall be used exclusively for vehicle parking in conjunction with a permitted use, and shall not be reduced or encroached upon in any manner.

#### B. General Regulations

1. Number of Spaces Required: Based upon the gross floor area size, the following number of spaces shall be required:
  - a. Commercial/Office/Service Uses:
    - 1) Neighborhood or community shopping center: 1 space for every 200 square feet.
    - 2) General retail trades: 1 space for every 250 square feet.
    - 3) Retail furniture/appliance: 1 space for every 500 square feet.
    - 4) Restaurants, cafes, bars and cocktail lounges: 1 space for every 50 square feet of dining or serving area.
    - 5) Drive-in, fast food restaurants: 1 space for every 50 square feet of dining or serving area, plus 10 additional spaces. Adequate stacking to accommodate 8 vehicles shall be provided for drive-through lanes.
    - 6) Motels/Hotels: 1.1 spaces per guest room/quarters.
    - 7) Emergency shelter facilities: 1 space per 4 beds, and/or 0.5 per bedroom designated as a family unit with children, plus 1 space per staff member. Bike rack parking for a minimum of 10 bicycles shall be provided at the facility.
    - 6)

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## CHAPTER 19.87

### REQUESTS FOR REASONABLE ACCOMMODATIONS IN HOUSING

Sections:

- 19.87.010 GENERAL
- 19.87.020 PURPOSE AND INTENT
- 19.87.030 IMPLEMENTING REASONABLE ACCOMMODATION
- 19.87.040 DISABILITY ELIGIBILITY
- 19.87.050 APPLICATION REQUIREMENTS
- 19.87.060 REVIEW AUTHORITY
- 19.87.070 FINDINGS AND DECISION
- 19.87.080 APPEAL DETERMINATION
- 19.87.090 NON-COMPLIANCE
- 19.87.100 ACCESSIBILITY GUIDELINES

#### 19.87.010 GENERAL

Discrimination in housing on the basis of race, color, religion, sex, national origin, familial status, and disability is prohibited by federal and state law. Under the Federal Fair Housing Act and the California Fair Employment and Housing Act (the Acts), refusing residency to persons with disabilities, or placing conditions on their residency, and refusal to make reasonable accommodations in rules, policies, practices, or services when such accommodations may be necessary to afford a person with a disability the equal opportunity to use and enjoy a dwelling is discrimination. The Acts requires that housing providers allow residents to make reasonable structural modifications to units and public/common areas in a dwelling when those modifications may be necessary for a person with a disability to have full enjoyment of a dwelling. With very few exceptions, the Acts apply to privately and publicly owned housing, including housing subsidized by the federal government or rented through the use of Section 8 voucher assistance.

#### 19.87.020 PURPOSE AND INTENT

- A. **Purpose.** The purpose of this chapter is to provide a formal procedure to request reasonable accommodation for persons with disabilities seeking equal access to housing under the Federal Fair Housing Act and the California Fair Employment and Housing Act (the Acts) in the application of zoning laws and other land use regulations, policies and procedures, and to establish relevant criteria to be used when considering such requests.
- B. **Intent.** Fair housing laws prohibit discrimination against people based on their race, color, religion, national origin, sex, familial status, or disability.



For persons with disabilities, fair housing law extends further to make it illegal to:

1. Fail to make reasonable accommodation in rules, policies, and services to give a person with a disability equal opportunity to occupy and enjoy the full use of a housing unit; and
2. Fail to allow reasonable modification to the premises if the modification is necessary to allow full use of the premises.

19.87.030 IMPLEMENTING REASONABLE ACCOMMODATION

- A. **Use of Service Animals.** Individuals with disabilities have the right to use the services of a guide, signal or trained dog (or other such designated animal), and have such animals in or around their unit. No additional charges or security deposits may be imposed for having a guide, signal or trained animal. Tenants may be liable for any damage caused by their animals.
- B. **Modifications in Policies and Practices by Housing Provider.** At the request of an individual with a disability, a housing provider must make reasonable accommodations in rules, policies, practices or services to provide the individual equal opportunity to use and enjoy the dwelling. This includes, but is not limited to, the following:
  1. Making an exemption to a “no pet” policy to enable a disabled tenant to have a service animal.
  2. Changing parking rules to enable a disabled tenant to have parking that meets his/her needs.
- C. **Physical Modifications by Disabled Tenant.** A housing provider must allow disabled individuals to reasonably modify existing premises if the modifications are necessary for the enjoyment of the amenities provided within the premises. The tenant is responsible for the cost of the modification. In some circumstances, a landlord may require that the tenant agree to restore the interior of the premises to the original condition. Examples of reasonable modifications include:
  - Widening doorways
  - Lowering cabinets
  - Installing a wheelchair ramp
  - Converting a bathtub to a shower

2. Contact the Department of Fair Employment and Housing (DFEH). DFEH is the state agency authorized to investigate housing discrimination complaints and enforce state fair housing laws.
3. Contact the Department of Housing and Urban Development (HUD). HUD is the federal agency authorized to investigate housing discrimination complaints and enforce federal fair housing laws.
4. File a private lawsuit in state or federal court.

19.87.100 ACCESSIBILITY GUIDELINES

- A. **New Housing.** All new housing construction consisting of three or more dwelling units must be designed and constructed in a manner that allows access to, and use by, disabled persons. See Section 1102A, Housing Accessibility, of the California Building Code 2010.
- B. **Existing Buildings.** Building standards contained in Section 1102A, Housing Accessibility, of the California Building Code 2010 do not apply to the alteration, repair, rehabilitation or maintenance of multifamily dwellings constructed for occupancy prior to March 13, 1991.
- C. **Limited Exceptions for Single Rooms and Roommates.** Reasonable accommodation provisions do not apply when the owner of an owner-occupied, single-family home rents out a room in the home to a roomer or a boarder, and there are no other roomers or boarders living in the household. However, the owner cannot make oral or written statements, or use notices or advertisements which indicate any preference, limitation, or discrimination based on race, color, religion, sex, sexual orientation, marital status, national origin, ancestry, familial status, source of income, or disability. Further, the owner cannot discriminate on the basis of medical condition or age.

## **NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

**PLACE OF HEARING:** Riverside County  
Administration Center 4080 Lemon St., 1st Floor  
Hearing Room Riverside, California

**DATE OF HEARING:** Thursday, July 11, 2013

**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:** ZAP1006RG13 – City of Perris – City Case Nos.: Ordinance Amendment Nos. 13-03-0010 and 13-04-0020. Ordinance Amendment No. 13-03-0010 amends the City Zoning Code to permit the following uses “by right,” i.e., without requirement for a Conditional Use Permit: (1) emergency shelters for the homeless in the General Industrial (GI) zone; (2) single room occupancy housing in the Community Commercial (CC) zone and all residential zones; and, (3) residential care facilities and transitional and supportive housing in all residential zones. Ordinance Amendment No. 13-03-0010 would also add definitions of the terms “emergency shelter,” “reasonable accommodation,” “single room occupancy housing,” “supportive housing,” “target population,” “transitional housing,” and “transitional housing development,” and provide development standards for emergency shelters and single room occupancy housing. Ordinance Amendment No. 13-04-0020 amends the Zoning Code to provide for a formal procedure whereby persons with disabilities seeking equal access to housing may request modifications to existing dwelling units, waiver of the rules and policies of a housing provider, or exceptions from city regulations such as setback requirements, when such accommodations may be necessary to afford a person with a disability the equal opportunity to use and enjoy a dwelling. Examples include allowing a person with a disability to have a service animal in a development that does not permit pets, exceptions from parking rules, and allowing disabled tenants to make modifications to rental units such as installing a wheelchair ramp or widening doorways. Finally, it requires new housing developments consisting of three or more dwelling units to be designed and constructed in a manner that allows access to, and use by, disabled persons.

### **FURTHER INFORMATION:**

Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Diane Sbardellati of the City of Perris Planning Department, at (951) 943-5003.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP/006RG13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 04/29/2013  
 Property Owner City of Perris Phone Number (951) 943 - 5003  
 Mailing Address 135 N. "D" Street  
Perris, CA 92570-220

Agent (if any) Diane Sbardellati, Associate Planner Phone Number (951) 943 - 5003  
 Mailing Address 101 North "D" Street  
Perris, CA 92570

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address The City of Perris is located in Riverside County.  
 Assessor's Parcel No. \_\_\_\_\_ Parcel Size \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees. Include additional project description data as needed*

Existing Land Use N/A  
 (describe) \_\_\_\_\_

Proposed Land Use N/A  
 (describe) \_\_\_\_\_

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) N/A  
 For Other Land Uses Hours of Use N/A  
 (See Appendix C) Number of People on Site Maximum Number N/A  
 Method of Calculation N/A

Height Data Height above Ground or Tallest Object (including antennas and trees) N/A ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site N/A ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_

RC

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	<u>S-1-13</u>	Type of Project
Agency Name	<u>City of Peris</u>	<input type="checkbox"/> General Plan Amendment
Staff Contact	<u>Diane Spardellati</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Phone Number		<input type="checkbox"/> Subdivision Approval
Agency's Project No.	<u>Zoning Ord. Amend.</u>	<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other _____

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____								
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.	
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____					
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____					
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____					
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____					
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____					

Special Conditions	Describe: _____
	_____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	_____	
	_____	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	
	_____	
	_____	

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.6

**HEARING DATE:** July 11, 2013

**CASE NUMBER:** ZAP1028HR13 - City of Hemet

**APPROVING JURISDICTION:** City of Hemet

**JURISDICTION CASE NO:** ZOA 13-001 (Ordinance Amendment), ZOA 13-006 (Ordinance Amendment), ZC 13-001 (Zone Change)

**MAJOR ISSUES:**

This proposal includes two ordinance amendments and a zone change. The one-eighth page newspaper advertisement, which is sufficient public notice for the Citywide ordinance amendments, is correct, but the notification to property owners within 300 feet of the proposed site-specific zone changes in the Airport Influence Area incorrectly identified the hearing date as “June 11,” rather than “July 11.” Therefore, it will be necessary to re-advertise and continue ZC 13-001 to the Commission’s next hearing.

ZOA 13-001 would permit employee housing consisting of up to 36 beds in a group quarters or up to 12 dwelling units or spaces to be deemed as an agricultural use permitted “by right” in agricultural zones. Agriculturally zoned land is located within Areas I and II of the Hemet-Ryan Airport Influence Area, where residential densities are restricted. However, agriculture is listed as a permitted use in Areas I and II, and the State law appears to prohibit the treatment of employee housing differently than any other agricultural use. Additionally, the probability that the owner of the property in Areas I and II would utilize this provision is considered remote at this time.

One of the sites proposed for R-4 zoning through ZC 13-001 is located in the vicinity of a straight-line extension of the runway centerline, but high densities at that location are not prohibited pursuant to the existing HRACALUP. Discretionary review would be required.

**RECOMMENDATIONS:**

Staff recommends that the proposed ordinance amendments (ZOA 13-001 and ZOA 13-006) be found CONSISTENT with the 1992 Hemet-Ryan Airport Comprehensive Airport Land Use Plan (HRACALUP). Staff recommends that the site-specific zone changes (ZC 13-001) be re-advertised and continued to August 15, 2013.

**PROJECT DESCRIPTION:**

City of Hemet Case Nos. ZOA 13-001, ZOA 13-006, and ZC 13-001 are proposals to bring the City's zoning ordinance and zoning map into consistency with the City's new Housing Element.

ZOA 13-001: (1) establishes emergency shelters as a special housing classification, permits existing emergency shelters "by right" in the C-1 zone, and allows new emergency shelters with conditional use approval in the C-M zone; (2) permits farm worker housing of up to 36 beds or 12 family units "by right" in the A, A-1-C, and A-2-C (agricultural) zones; (3) amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing; and (4) changes the "Senior Housing Overlay Zone" to a "Senior Housing Designation" that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions.

ZOA 13-006 amends the Multiple-Family Zones section of the City's zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, establishing a list of permitted uses in the R-4 zone and modifying this list in the R-2 and R-3 zones, establishing development standards in the R-4 zone, and modifying development standards in the R-2 and R-3 zones.

ZC 13-001 establishes R-4 zoning on 21 parcels in the City of Hemet, including parcels within the boundaries of the Hemet-Ryan Airport Influence Area.

**PROJECT LOCATION:**

Case No. ZOA 13-001 is applicable to all land within the City of Hemet in the affected zones. Case No. ZOA 13-006 is applicable to properties zoned R-2 and R-3 in the City of Hemet, plus the properties that are the subject of Case No. ZC 13-001. Finally, Case No. ZC 13-001 applies to specific properties proposed for the application of R-4 zoning. Within the portion of the City in the Hemet-Ryan Airport Influence Area, the affected properties included in this zone change are located: (1) on the east side of Myers Street, southerly of Devonshire Avenue and northerly of Florida Avenue; (2) on the south side of Stetson Avenue, both easterly and westerly of Elk Street, easterly of Lyon Avenue and westerly of Palm Avenue; and (3) on the south side of Latham Avenue, easterly of Lyon Avenue and westerly of Elk Street and Palm Avenue.

Except for objects 200 feet or greater in height, the jurisdiction of the Airport Land Use Commission is confined to the portions of the City and its Sphere of Influence and Planning Area within the Airport Influence Area of Hemet-Ryan Airport.

**BACKGROUND:**

The applicable Airport Land Use Compatibility Plan for the Hemet-Ryan Airport Influence Area is the 1992 Hemet-Ryan Airport Comprehensive Airport Land Use Plan (HRACALUP), as amended in 2009. The HRACALUP delineates four zones with differing levels of constraints on land uses,

based upon a concept of relative risk. The completion of a new Hemet-Ryan ALUCP in accordance with the California Department of Transportation Division of Aeronautics' Airport Land Use Planning Handbook is a primary objective of ALUC over the course of the next 12 months, but the City is working towards certification of its Housing Element by the State of California Department of Housing and Community Development and is required to bring its zoning ordinance and maps into consistency with the Housing Element.

Area I, the Area of Extreme Risk, is comprised of the "imaginary approach surface defined by Federal Aviation Regulations (Federal Aviation Regulations (FAR), Volume XI, Part 77, Objects Affecting Navigable Airspace), as the approach surfaces for the size and types of runways at the airport." The Policies in Section A of Chapter V of the HRACALUP state that "Area I shall be kept free of all high risk land uses." High risk land uses are further defined as including hazardous material facilities, critical facilities, institutional uses, places of assembly, any residential use within one mile of the runway threshold, and residential uses at densities greater than one dwelling unit per 2½ acres beyond that one mile distance. These limitations are based on the following analysis found on page 15 of the HRACALUP:

"This area was designated...as the highest relative risk area due to the convergence of flight paths and the resultant high volume of aircraft. Aircraft are descending or ascending, changing power settings, and performing critical turns; thus, the possibility of an aircraft related incident occurring is higher in these areas. The noise level is also higher due to the lower altitude of aircraft."

Area I is mapped as extending out from the runway ends forming cone-shaped or "megaphone" zones.

Institutional uses are listed as including schools, churches and similar uses, hospitals, nursing homes, convalescent facilities, care homes, day care, clinics, health facilities, and motels.

A place of assembly is defined (pursuant to the 2009 amendment) as "Any structure, public or private, or premise, or portion thereof exceeding 1,500 square feet in area, where the Building Code would provide for occupancy levels of an intensity exceeding one person per 30 square feet, which is designed or used for entertainment, amusement, instruction, education, worship, deliberation, display, meeting, awaiting transportation or for the consumption of food and drink." Examples include auditoriums, theatres, restaurants, churches, clubhouses, bowling alleys, arenas, circuses, and stadiums.

Commercial and industrial uses, except those qualifying as hazardous material facilities, critical facilities, institutional uses, and places of assembly, and residential uses at densities less than one dwelling unit per 2½ acres located at least one mile from the runway threshold are discretionary uses within Area I, requiring hearings before ALUC. Agriculture and open space are permitted uses.

The boundaries of Area II, the Area of High Risk, as delineated in 1982 by the multi-jurisdictional subcommittee that developed the HRACALUP, "were established to coincide as much as possible to areas where aircraft would be in the landing – take-off generalized pattern and would be turning and



applying or reducing power.” Aircraft would be ascending, descending, turning, and changing power settings in the course of landing at, or taking off from, the airport. The subcommittee understood that this would present a higher risk of something happening and, therefore, considered this to be an area of greatest safety concerns (among areas outside the approach surfaces), except at its outer margins.

Hazardous material facilities, institutional uses (including public and private schools), and places of assembly are prohibited in Area II, and residential development is limited to densities not exceeding one dwelling unit per 2½ acres. Commercial uses are discretionary uses, requiring hearings before ALUC. Industrial uses, agricultural uses, and residential uses with lot sizes larger than 2½ acres per dwelling unit are permitted uses in Area II.

The outer boundary of Area III, the Area of Moderate Risk, “is based upon the outer radius of the imaginary horizontal surface of the airport as defined in Federal Aviation Regulations (FAR), Part 77,” adjusted to follow roads or section lines for planning purposes. It is defined as the Area of Moderate Risk, since flight paths and aircraft noise extend beyond the boundaries of Area II. There are no specifically prohibited uses within Area III, but hazardous material facilities, institutional uses (including public and private schools), places of assembly, structures over 35 feet in height, and structures exceeding two stories in height are discretionary uses requiring hearings before ALUC.

Given the abrupt distinction between Areas II and III in terms of allowable densities and intensities of use that would be permitted, the subcommittee established a Transition Area consisting of the outer portion of Area II and the inner portion of Area III. These areas would have land use policies that were not as severe as those for the remainder of Area II, but more limiting than the policies for Area III. The Transition Area consists of the outer 330 feet of Area II and the inner 660 feet of Area III, excluding any portion that would fall in Area I. If 50% or more of a project site is in the Transition Area, the project shall be considered part of the Transition Area. Residential uses at densities exceeding 20 dwelling units per acre are prohibited, as are structures exceeding 35 feet or two stories in height. Residential uses at densities not exceeding 20 dwelling units per acre are discretionary uses, as are hazardous material facilities, institutional uses (including public and private schools), and places of assembly. Commercial, industrial, manufacturing, and agriculture uses not exceeding 35 feet or two stories in height are permitted uses in the Transition Area.

#### **ANALYSIS:**

Zoning Ordinance Amendment No. 13-001 establishes emergency shelters as a special housing classification, permits existing emergency shelters “by right” in the C-1 zone, and allows new emergency shelters with conditional use approval in the C-M zone. The allowance for “by-right” emergency shelters has presented concerns for ALUC as various jurisdictions have updated their Housing Elements. The City of Hemet has taken a different approach, by identifying an existing emergency shelter in the C-1 zone as “by right” and requiring conditional use permits for subsequent shelter proposals, limiting them to the C-M zone. While the City has identified thirty-six parcels zoned C-M within the Airport Influence Area, including six parcels in Area II, the proposed ordinance specifically states (Section 90-303(d)) that “Emergency shelters established within the

boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the Riverside County Airport Land Use Commission in accordance with the adopted Airport Land Use Plan.” This provision, together with the requirement for conditional use permits for new shelters, satisfies our consistency concerns, as ALUC would have the opportunity to render a determination as to consistency of the project prior to the City’s issuance of a conditional use permit. Pursuant to the existing HRACALUP, as an institutional use, emergency shelters would be prohibited in Area II and subject to discretionary review in the Transition Area and Area III.

Zoning Ordinance Amendment No. 13-001 also permits farm worker housing of up to 36 beds or 12 family units (or spaces) “by right” in the A, A-1-C, and A-2-C (agricultural) zones. The inclusion of this provision in the zoning ordinance amendment is a direct result of a provision of State law (Health and Safety Code Section 17021.6(b)), which states that such employee housing “shall be deemed an agricultural land use,” and “shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use,” and further states that no “conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone.”

From a safety standpoint, this provision is troubling in that employee housing, like any other housing units, should be located in areas that are not subject to extreme or high risk of aircraft accidents. Agriculturally zoned land is located within Areas I and II of the Hemet-Ryan Airport Influence Area. Residential uses are prohibited within the portions of Area I within one mile of the runway threshold, and the maximum allowable residential density in Area II (and those portions of Area I beyond one mile from the runway threshold) is one dwelling unit per 2½ acres. However, “agriculture” is listed as a permitted use in all HRACALUP zones – not surprising in that agricultural activities generally involve a very low number of persons per acre and low structural lot coverage. Therefore, pursuant to the wording of the State law, it is possible that a strongly motivated applicant or attorney could argue that employee housing is permissible in Areas I and II, where other types of housing at similar densities would be prohibited.

Fortunately, the agricultural land in Areas I and II is primarily included in one very large lot (136 acres), such that the lot’s density would not exceed one dwelling unit per 2½ acres even if 36 units were placed thereon. Neither the City nor ALUC staff members have any reason to believe that the landowner has any plans for development of employee housing at the scale allowed by the State. In the event that such a proposal were to be made, the City and ALUC staff could work with the property owner to try to site the units in a portion of the property where the hazards would be at their lowest level.

Zoning Ordinance Amendment No. 13-001 also amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing and changes the “Senior Housing Overlay Zone” to a “Senior Housing Designation” that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions. These provisions have no effect on airport land use compatibility. If these two provisions had been the only portions of Zoning Ordinance Amendment No. 13-001, the amendment would have been eligible for a consistency determination by the ALUC Director.

Zoning Ordinance Amendment No. 13-006 amends the Multiple-Family Zones section of the City's zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, with a list of permitted uses and applicable development standards. This is the primary purpose of the amendment, which was initiated in order to bring the City's zoning ordinance into consistency with the Housing Element, and specifically with the requirements of the California Department of Housing and Community Development mandating that jurisdictions provide for zones that allow at least 30 dwelling units per acre. The height limit in the R-4 zone would be 55 feet, although taller structures may be erected if the feature exceeding the height limit does not add to the structure's usable floor space (other than for maintenance purposes). As the ordinance amends the Multiple-Family Zones section of the City's zoning ordinance, the Planning Commission increased the scope of the ordinance by making changes to the existing R-2 and R-3 zone categories, most notably by limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, so as to be consistent with the Low Medium Density Residential designation of the General Plan. The R-3 zone, with its 25 dwelling unit per acre maximum, would be consistent with the Medium Density Residential and High Density Residential designations, while the R-4 zone would be consistent with the Very High Density Residential designation. The list of permitted uses and the development standards of the R-2 and R-3 zones are also proposed for amendment.

The establishment of the R-4 zone does not in and of itself present a conflict with the HRACALUP; however, this zoning would not be suitable for sites in Area I, Area II, or the Transition Area. ALUC would review proposals for establishment of R-4 zoning on a case-by-case basis as applicants submit requests for such zoning.

In order to provide for a land inventory that demonstrates that the City has zoned sufficient land for high density housing that could be affordable to low and moderate income households, in accordance with the requirements of State law, the City has taken the initiative to rezone a number of vacant properties to the new R-4 zone through Case No. ZC 13-001. Within the portion of the City in the Hemet-Ryan Airport Influence Area, the affected properties included in this zone change are located: (1) on the east side of Myers Street, southerly of Devonshire Avenue; (2) on the south side of Stetson Avenue, both easterly and westerly of Elk Street, easterly of Lyon Avenue and westerly of Palm Avenue; and (3) on the south side of Latham Avenue, easterly of Lyon Avenue and westerly of Elk Street and Palm Avenue. Each of these sites is located in Area III of the Hemet-Ryan Airport Influence Area, beyond the boundaries of the Transition Area. As noted previously, residential density in the Transition Area is limited to a maximum of 20 dwelling units per acre, and structures cannot exceed a height of 35 feet or two stories, whichever is less. Beyond the Transition Area boundary, structures over 35 feet or two stories in height would still require ALUC discretionary review, pursuant to the HRACALUP.

While there is as yet no new map available for a Draft Hemet-Ryan ALUCP that would replace the HRACALUP, perusal of Exhibit 6.1, "Airport Safety Zones," (included in the Hemet General Plan as a possible interpretation of Airport Land Use Planning Handbook safety zones as they may affect the City) reveals that the sites on the south side of Stetson Avenue probably would experience the lowest level of safety hazards from aircraft activity. The site on the east side of Myers Street would be near

the edge of the Traffic Pattern Zone, where high density residential development is generally considered acceptable. The sites on the south side of Latham Street could be more problematic, as they are the closest of these sites to the extended runway centerline, although at a distance. Exhibit 6.1 shows this area as being just beyond or at the outer margin of the Outer Approach/Departure Zone.

On July 1, 2013, staff was advised that the property owners' notifications erroneously indicated the date of public hearing as June 11, rather than July 11, 2013. The property owners' notifications were required due to the site-specific zone changes, while the newspaper advertisement satisfies the legal requirements for the Citywide ordinance amendments. Therefore, ALUC's hearing on the zone change will need to be re-advertised. Staff is recommending that an August 15 meeting be added to the Commission schedule.

Y:\AIRPORTCASEFILES\Hemet-Ryan\ZAP1028HR13OrdsZoneChjlysr.doc

the ALUP; however, to emphasize its importance, Section 90-303(d) was included in the ordinance (Attachment 3, Exhibit A1) acknowledging that emergency shelters established within the boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the ALUC in accordance with the adopted ALUP.

Table 1 lists the C-M zoned parcels located within an ALUP Land Use Compatibility Zone and Attachment 1 includes maps of the zoning and an aerial view of the referenced parcels. Note there are only six vacant C-M zoned parcels within an ALUP zone.

<b>Table 1</b>		
<b>C-M Zoned Properties within an ALUP Land Use Compatibility Zone</b>		
<b>APN</b>	<b>Current Use</b>	<b>ALUP Zone</b>
442-110-027	Vacant	Area III (Moderate Risk)
442-110-028	Vacant	Area III (Moderate Risk)
442-110-031	Vacant	Area III (Moderate Risk)
442-120-003	Vacant	Area III (Moderate Risk)
456-030-020 (portion of site)	Vacant	Area II (High Risk)
456-030-005	Vacant	Area II (High Risk)
442-120-002	Industrial	Area III (Moderate Risk)
442-120-010	Industrial	Area III (Moderate Risk)
442-120-014	Industrial	Area III (Moderate Risk)
442-120-015	Industrial	Area III (Moderate Risk)
442-120-016	Industrial	Area III (Moderate Risk)
442-120-020	Industrial	Area III (Moderate Risk)
442-110-007	Mobile Home Park	Area III (Moderate Risk)
442-110-008	Mobile Home Park	Area III (Moderate Risk)
442-110-014	Mobile Home Park	Area III (Moderate Risk)
442-110-009	Commercial	Area III (Moderate Risk)
442-110-010	Commercial	Area III (Moderate Risk)
442-110-011	Commercial	Area III (Moderate Risk)
442-110-021	Commercial	Area III (Moderate Risk)
442-110-023	Commercial	Area III (Moderate Risk)
442-110-024	Commercial	Area III (Moderate Risk)
442-110-025	Commercial	Area III (Moderate Risk)
442-110032	Commercial	Area III (Moderate Risk)
448-460-009	Mobile Home Park	Transition Area
448-460-008	Commercial	Area III (Moderate Risk)
448-460-007	Commercial	Area III (Moderate Risk)
448-460-006	Commercial	Area III (Moderate Risk)
468-460-003	Commercial	Area III (Moderate Risk)
468-460-002	Commercial	Area III (Moderate Risk)
448-450-015	Commercial	Area III (Moderate Risk)
448-450-014	Commercial	Area III (Moderate Risk)
448-450-013	Commercial	Area III (Moderate Risk)
456-030-004	Commercial	Area II (High Risk)
456-040-033	Commercial	Area II (High Risk)
456-040-034	Commercial	Area II (High Risk)
456-040-039	Commercial	Area II (High Risk)

**B. Farmworker Housing (Attachment 3, Exhibit A3)**

California Health and Safety Code Section 17021.6 requires that farmworker housing of up to 36 beds or 12 family units be included in the definition of agricultural use and not be restricted by conditional use permit requirements or zoning clearance. To meet this state law requirement, ZOA13-001 amends the permitted uses table of the Agricultural Zones to permit farmworker housing as a component of an agricultural use in the A (Agricultural), A-1-C (Light Agricultural), and A-2-C (Heavy Agricultural) zones. The City does not have active agricultural land that would warrant the provision of housing for farmworkers. This is nominal change that will have very little, if any, impact on land use patterns. Table 2 lists the A zoned parcels located within an ALUP Compatibility Zone and Attachment 2 includes maps of the zoning and an aerial view of the referenced parcels.

<b>Table 2</b>			
<b>Agriculturally Zoned Properties within an ALUP Land Use Compatibility Zone</b>			
<b>APN</b>	<b>Zone</b>	<b>Current Use</b>	<b>ALUP Zone</b>
456-030-002	A-2-C-10	Vacant	Area I (Extreme Risk) Area II (High Risk)
448-140-003	A-5	Mobile Home Park	Transition Area Area III (Moderate Risk)
448-140-002	A-5	Mobile Home Park	Area III (Moderate Risk)
448-120-010	A-5	Vacant	Area III (Moderate Risk)
448-120-011	A-5	Vacant	Area III (Moderate Risk)
448-100-015	A-5	Vacant	Area III (Moderate Risk)
448-090-003	A-5	Vacant	Area III (Moderate Risk)
444-100-008	A-10	Vacant	Area III (Moderate Risk)
444-100-016	A-10	Vacant	Area III (Moderate Risk)
455-130-021	A-10	Vacant	Area III (Moderate Risk)
455-130-022	A-10	Vacant	Area III (Moderate Risk)
455-130-023	A-10	Vacant	Area III (Moderate Risk)
455-130-024	A-10	Vacant	Area III (Moderate Risk)
455-130-033	A-10	Vacant	Area III (Moderate Risk)
455-110-012	A-10	Vacant	Area III (Moderate Risk)
455-110-013	A-10	Vacant	Area III (Moderate Risk)
455-120-014	A-10	Vacant	Area III (Moderate Risk)

ZOA13-001 also proposes text changes to remove the age restrictions in the Small Lot Residential (SLR) Zone to comply with state law and to identify senior housing communities in the City. Although these amendments do not affect land uses and do not appear to warrant review by the ALUC, the redlined versions are included in Attachment 3.

Attachment 3 is Planning Commission Resolution Bill No. 13-001 adopted on May 21, 2013 that recommends approval of ZOA13-001 (Ordinance Bill No. 13-016) to the City Council. Exhibits to Ordinance Bill No. 13-016 show the proposed amendments to the zoning ordinance in redline.

**ZOA13-006 Zoning Ordinance Amendment – Creation of the R-4 Zone**  
**ZC13-001 Zoning Map Amendment – Designation of R-4 Zoned Parcels**

ZOA13-006 is scheduled for the Planning Commission meeting of June 4, 2013 and ZC13-001 for the Planning Commission meeting of June 18, 2013. Therefore, the attached red-lined ordinance amendment and map changes are in draft form and subject to change upon the review of Planning Commission, and subsequently to City Council.

State housing element law (Government Code Section 65583) requires cities to maintain an inventory of land suitable for residential development. Sites within this inventory may be used to meet a city's low income Regional Housing Needs Allocation (RHNA) if zoned for more than 30 dwelling units (dus) per acre. The Housing Element of the Hemet General Plan includes a listing (Table 11.1) and a map (Figure 11.1) of the 21 vacant parcels identified for designation as Very High Density Residential (VHDR: 30 – 45 dus/acre) to meet the City's RHNA. The VHDR designation and the 21 HDR designated sites were approved through the General Plan update process in 2012.

Subsequent to a comprehensive General Plan update, state law grants cities two years to bring its zoning ordinance and zoning map into compliance with the updated General Plan. ZOA13-006 and ZC13-001 are components of that zoning consistency process. ZOA13-006 establishes a R-4 (Very High Density) zone that corresponds to the VHDR designation of the General Plan (Attachment 4). ZC13-001 establishes R-4 zoning on the 21 parcels designated as VHDR on the General Plan Land Use Map (Attachment 5); however, only four of those parcels are located within an ALUP Compatibility Zones as shown in Table 3. Attachment 5 maps the parcels.

<b>Proposed R-4 Zoned Properties within an ALUP Land Use Compatibility Zone</b>			
<b>APN</b>	<b>Current Use</b>	<b>ALUP Zone</b>	<b>Site No. on Figure 11.1 (Attachment 5)</b>
464-270-002	Vacant	Area III (Moderate Risk)	4
464-270-005 (portion of site)	Vacant	Area III (Moderate Risk)	5
442-060-046	Vacant	Area III (Moderate Risk)	16
448-120-011	Vacant	Area III (Moderate Risk)	17

**Public Noticing**

It is City policy to publish a 10-day notice of public hearing in the Press Enterprise newspaper for citywide amendments. The notice for ZOA13-001 was published April 25, 2013 and for ZOA13-006 on May 24, 2013. ZC13-001 has not yet been noticed; therefore, no address labels are included with this submission.

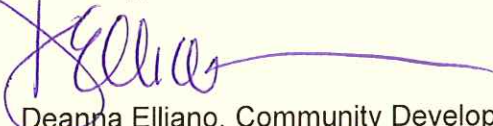
**Conclusion**

The purpose of the City-initiated zoning ordinance and zoning map amendments submitted herein to the ALUC is solely to bring those two documents into compliance with the General Plan and to meet state housing element requirements. The General Plan was deemed consistent with the Hemet-Ryan ALUP by the ALUC on January 12,

2012; therefore, ZOA13-001, ZOA13-006, and ZC13-001 would also be consistent with the ALUP.

Please feel free to contact me if you have any questions or would like additional information. A City representative will attend the ALUC meeting in July to address any issues or respond to questions from the Commissioners, regarding the proposed consistency zoning actions.

Sincerely,



Deanna Elliano, Community Development Director  
City of Hemet

### **ATTACHMENTS**

1. Zoning and aerial maps of the C-M zoned parcels within an ALUP Compatibility Zone.
2. Zoning and aerial maps of the A zoned parcels within an ALUP Compatibility Zone.
3. ZOA13-001: Planning Commission Resolution Bill No. 13-011

Exhibit A: Proposed City Council Ordinance Bill No. 13-016

*Exhibit A1:* Proposed addition of Division 4 to Article X (Special Housing Classifications) to establish applicability and supplemental development standards for emergency shelters.

*Exhibit A2:* Proposed amendment to Section 90-892 (Permitted Uses) of Article XXVI (Commercial Zones) to permit existing emergency shelters by-right in the C-1 (Neighborhood Commercial) zone and new emergency shelters by conditional use permit in the C-M (Commercial-Manufacturing) zone.

*Exhibit A3:* Proposed amendment to Section 90-192 (Permitted Uses) of Article VII (Agricultural Zones) to permit farmworker housing as a component of an agricultural use by-right in the A (Agriculture), A-1-C (Light Agriculture), and A-2-C (Heavy Agriculture) zones

*Exhibit A4:* Proposed amendment to Article XVI the Small Lot Residential Zone, Section 90-501 (Purpose) and Section 90-513 (Covenants and Conditions) to remove the restriction of senior-only housing from this zone.

*Exhibit A5:* Proposed amendment to Article XXXI the Senior Housing Overlay Zone, Title, Section 90-1082 (Permitted Uses) and Section 90-1084 (Applicability) to remove zone references, regulate signage, and add a requirement to identify and display on the zoning map the locations of senior housing developments.

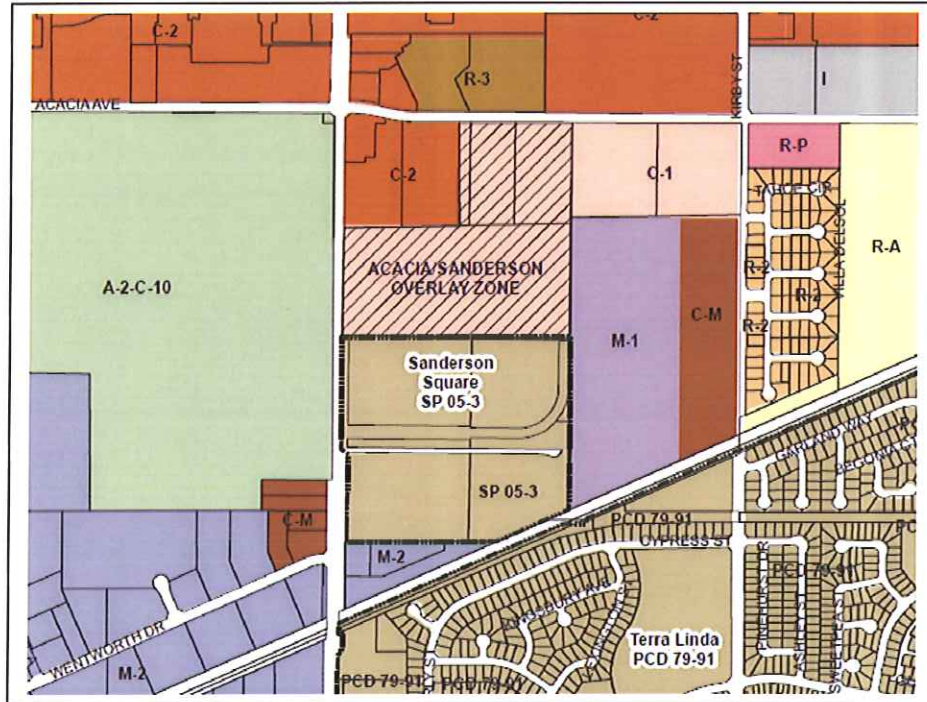
4. ZOA13-006: Draft redlined amendments to Article XIII Multiple Family Zones of the Hemet Municipal Code Chapter 90 (Zoning) creating the R-4 (Very High Density) zone and associated updates.
5. ZOA13-001: Figure 11.1 Vacant Multi-Family Sites of the Hemet General Plan showing the sites that will be zoned R-4 as part of the zoning consistency process.



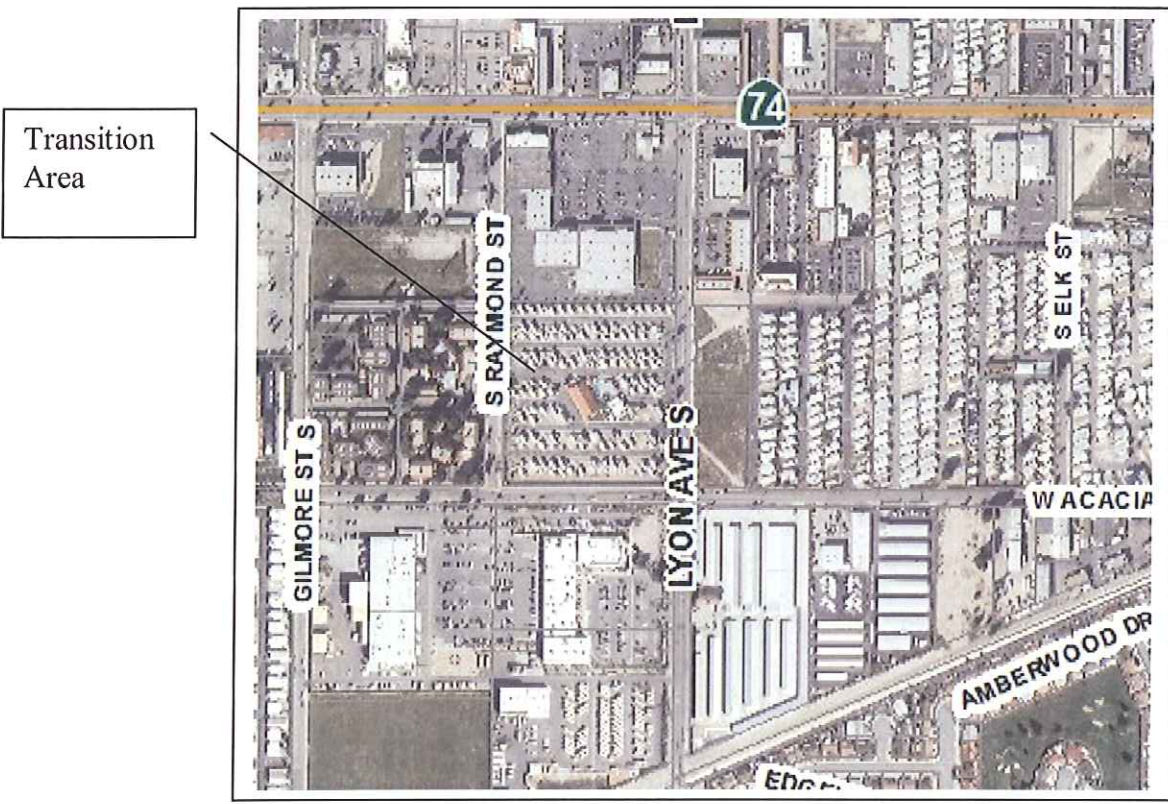
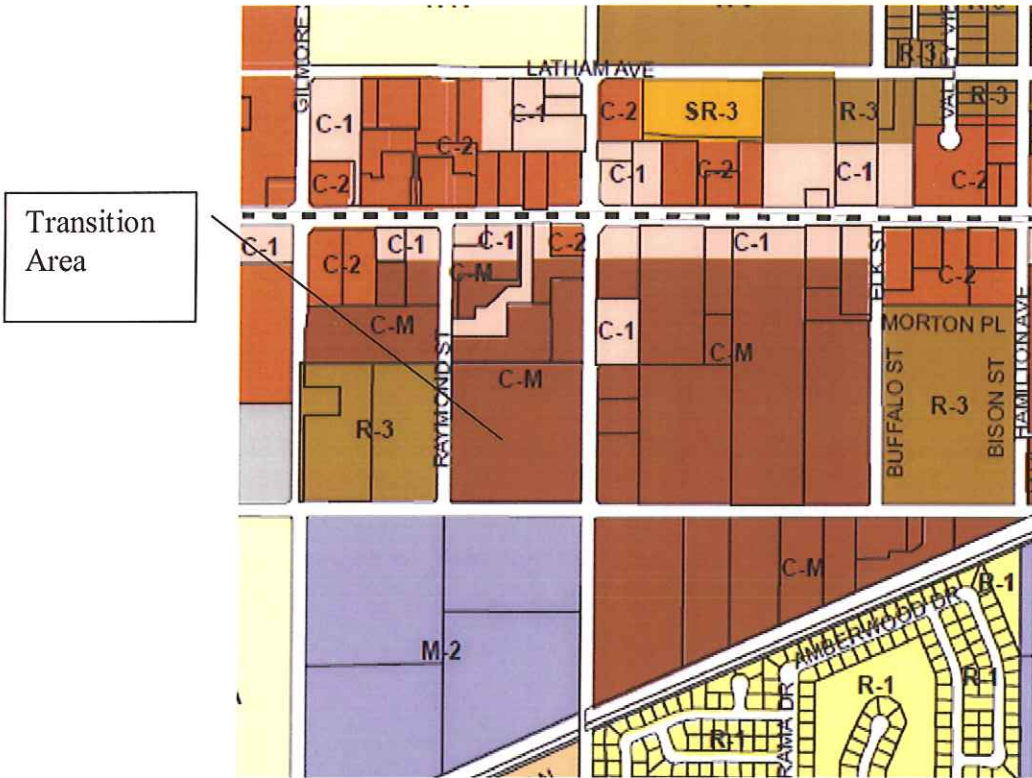
# Attachment 1

Hemet  
C-M Zoned Parcels  
Within an ALUP  
Compatibility Zone

# C-M Zoned Parcels Within Area II (High Risk)



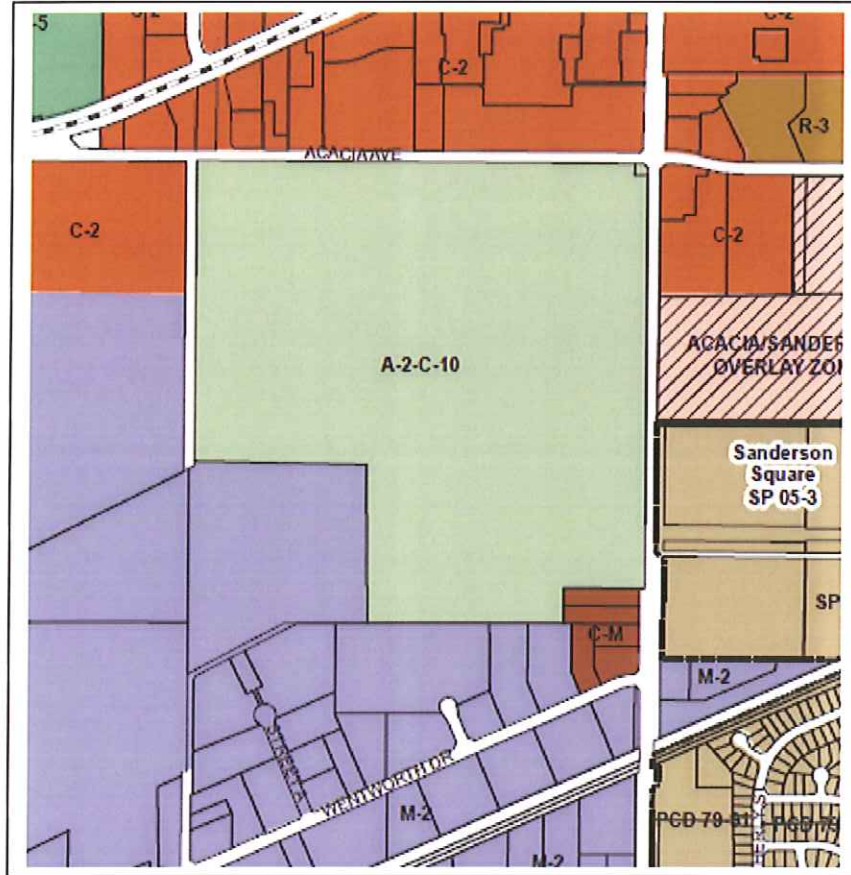
# C-M Zoned Parcels Within Area III (Moderate Risk)



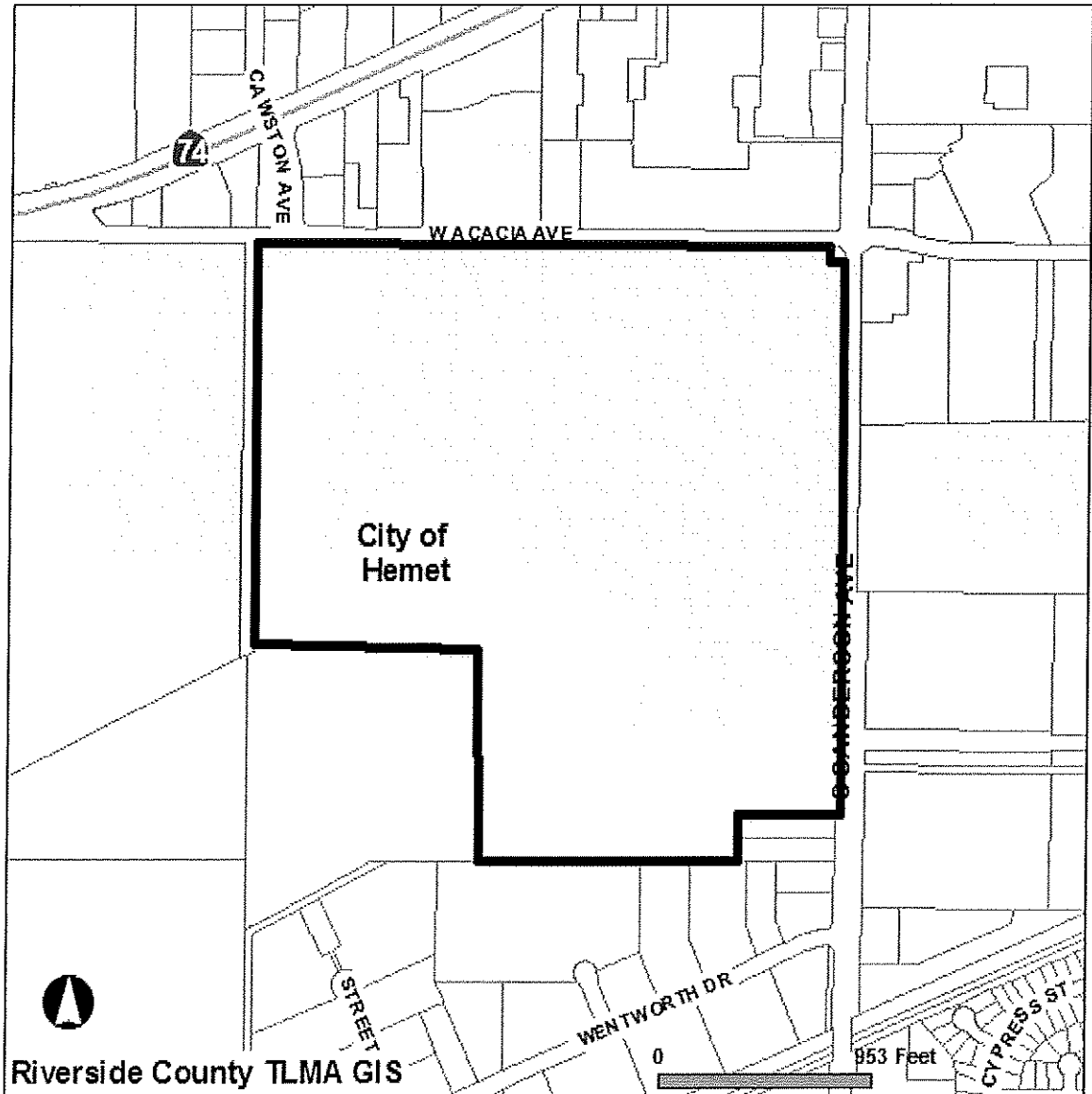
# Attachment 2

Hemet  
A Zoned Parcels  
Within an ALUP  
Compatibility Zone

# A (Agriculture) Zoned Parcel Within Areas I (Extreme Risk) and II (High Risk)



RIVERSIDE COUNTY GIS



**Selected parcel(s):**  
456-030-002

**\*IMPORTANT\***

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

**STANDARD WITH PERMITS REPORT**

**APNs**

456-030-002-6

**OWNER NAME / ADDRESS**

WILLIAM BRELIANT  
3601 ACACIA AVE  
HEMET, CA. 92545

**MAILING ADDRESS**

(SEE OWNER)  
1003 N BEVERLY DR  
BEVERLY HILLS CA. 90210

**LEGAL DESCRIPTION**

LEGAL DESCRIPTION IS NOT AVAILABLE

**LOT SIZE**

RECORDED LOT SIZE IS 137.05 ACRES

**PROPERTY CHARACTERISTICS**

NO PROPERTY DESCRIPTION AVAILABLE

**THOMAS BROS. MAPS PAGE/GRID**

PAGE: 840 GRID: E1, E2, F1, F2

**CITY BOUNDARY/SPHERE**

CITY OF HEMET

NOT WITHIN A CITY SPHERE

ANNEXATION DATE: JUN. 20, 1997

LAFCO CASE #: 96-22-3

PROPOSALS: NOT APPLICABLE

**MARCH JOINT POWERS AUTHORITY**

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

**INDIAN TRIBAL LAND**

NOT IN A TRIBAL LAND

**SUPERVISORIAL DISTRICT 2011 (ORD. 813)**

JEFF STONE, DISTRICT 3

**SUPERVISORIAL DISTRICT (2001 BOUNDARIES)**

JEFF STONE, DISTRICT 3

**TOWNSHIP/RANGE**

T5SR1W SEC 17

**ELEVATION RANGE**

1516/1524 FEET

**PREVIOUS APN**

453-040-063

---

***PLANNING***

---

**LAND USE DESIGNATIONS**

Consult with the city for land use information.

**SANTA ROSA ESCARPMENT BOUNDARY**

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

**AREA PLAN (RCIP)**

SAN JACINTO VALLEY

**COMMUNITY ADVISORY COUNCILS**

NOT IN A COMMUNITY ADVISORY COUNCIL AREA

**GENERAL PLAN POLICY OVERLAYS**

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

**GENERAL PLAN POLICY AREAS**

NONE

**ZONING CLASSIFICATIONS (ORD. 348)**

See the city for more information

**ZONING DISTRICTS AND ZONING AREAS**

NOT IN A ZONING DISTRICT/AREA

**ZONING OVERLAYS**

NOT IN A ZONING OVERLAY

**HISTORIC PRESERVATION DISTRICTS**

NOT IN AN HISTORIC PRESERVATION DISTRICT

**SPECIFIC PLANS**

NOT WITHIN A SPECIFIC PLAN

NOT IN AN AGRICULTURAL PRESERVE

**REDEVELOPMENT AREAS**  
NOT IN A REDEVELOPMENT AREA

**AIRPORT INFLUENCE AREAS**  
HEMET-RYAN

**AIRPORT COMPATIBILITY ZONES**  
NOT IN AN AIRPORT COMPATIBILITY ZONE

## **ENVIRONMENTAL**

**CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA**  
NOT IN A CONSERVATION AREA

**CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS**  
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

**WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP**  
NOT IN A CELL GROUP

**WRMSHCP CELL NUMBER**  
NOT IN A CELL

**HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEWPROCESS)**  
NONE

**VEGETATION (2005)**  
AGRICULTURAL LAND  
DEVELOPED/DISTURBED LAND

## **FIRE**

**HIGH FIRE AREA (ORD. 787)**  
NOT IN A HIGH FIRE AREA

**FIRE RESPONSIBILITY AREA**  
NOT IN A FIRE RESPONSIBILITY AREA

## **DEVELOPMENT FEES**

**CVMSHCP FEE AREA (ORD. 875)**  
NOT WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

**WRMSHCP FEE AREA (ORD. 810)**  
IN OR PARTIALLY WITHIN THE WESTERN RIVERSIDE MSHCP FEE AREA. SEE MAP FOR MORE INFORMATION.

**ROAD & BRIDGE DISTRICT**  
NOT IN A DISTRICT

**EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)**  
NOT WITHIN THE EASTERN TUMF FEE AREA

**WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)**  
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION. SAN JACINTO

**DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)**  
SAN JACINTO VALLEY

**SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)**  
IN OR PARTIALLY WITHIN AN SKR FEE AREA. SEE MAP FOR MORE INFORMATION.

**DEVELOPMENT AGREEMENTS**  
NOT IN A DEVELOPMENT AGREEMENT AREA

## **TRANSPORTATION**

**CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY**



IN OR PARTIALLY WITHIN A CIRCULATION ELEMENT RIGHT-OF-WAY. SEE MAP FOR MORE INFORMATION. CONTACT THE TRANSPORTATION DEPT. PERMITS SECTION AT (951) 955-6790 FOR INFORMATION REGARDING THIS PARCEL IF IT IS IN AN UNINCORPORATED AREA.

**ROAD BOOK PAGE**  
105

**TRANSPORTATION AGREEMENTS**  
NOT IN A TRANSPORTATION AGREEMENT

**CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS**  
NOT IN A CETAP CORRIDOR.

---

## ***HYDROLOGY***

---

**FLOOD PLAIN REVIEW**  
WITHIN AREAS OF FLOODING SENSITIVITY. CONTACT THE FLOOD PLAIN MANAGEMENT SECTION AT (951) 955-1200 FOR INFORMATION

**WATER DISTRICT**  
EMWD

**FLOOD CONTROL DISTRICT**  
RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

**WATERSHED**  
SAN JACINTO VALLEY

---

## ***GEOLOGIC***

---

**FAULT ZONE**  
NOT IN A FAULT ZONE

**FAULTS**  
NOT WITHIN A 1/2 MILE OF A FAULT

**LIQUEFACTION POTENTIAL**  
MODERATE

**SUBSIDENCE**  
SUSCEPTIBLE

**PALEONTOLOGICAL SENSITIVITY**  
HIGH SENSITIVITY (HIGH B).  
SENSITIVITY EQUIVALENT TO HIGH A, BUT IS BASED ON THE OCCURRENCE OF FOSSILS AT A SPECIFIED DEPTH BELOW THE SURFACE. THE CATEGORY HIGH B INDICATES THAT FOSSILS ARE LIKELY TO BE ENCOUNTERED AT OR BELOW FOUR FEET OF DEPTH, AND MAY BE IMPACTED DURING EXCAVATION BY CONSTRUCTION ACTIVITIES.

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## ***MISCELLANEOUS***

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**SCHOOL DISTRICT**  
HEMET UNIFIED

**COMMUNITIES**  
NOT IN A COMMUNITY

**COUNTY SERVICE AREA**  
NOT IN A COUNTY SERVICE AREA.

**LIGHTING (ORD. 655)**  
ZONE B, 27.46 MILES FROM MT. PALOMAR OBSERVATORY

**2000 CENSUS TRACT**  
043504

**FARMLAND**  
LOCAL IMPORTANCE  
URBAN-BUILT UP LAND

**TAX RATE AREAS**  
006196  
•CITY OF HEMET BASIC AREA 79 ANX  
•EASTERN MUN WTR IMP DIST 17

- EASTERN MUNICIPAL WATER
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 4
- GENERAL
- GENERAL PURPOSE
- HEMET UNIFIED SCHOOL
- METRO WATER EAST 1301999
- MT SAN JACINTO JUNIOR COLLEGE
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SAN JACINTO BASIN RESOURCE CONS
- SAN JACINTO VALLEY CEMETERY
- VALLEY HEALTH SYSTEM HOSP DIST
- VALLEY WIDE REC & PARK

**SPECIAL NOTES**

NO SPECIAL NOTES

**CODE COMPLAINTS**

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

**BUILDING PERMITS**

Case #	Description	Status
BZ202289	REGISTER - HORSE BARN	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ202290	ELECTRIC & PLUMBING - HORSE BARN	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ202325	REPLACE ELECTRIC SERVICE - BARN	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ202326	REPLACE ELECTRIC SERVICE - DWELLING	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ206703	PRIVATE SWIMMING POOL	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ208956	WOOD FENCE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ221720	REPLACE ELEC. SERV. TO PUMP	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ231545	ELEC. SERVICE TO WATER PUMP 125 HP	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ257226	MOBILE HOME SITE PREP	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017

**ENVIRONMENTAL HEALTH PERMITS**

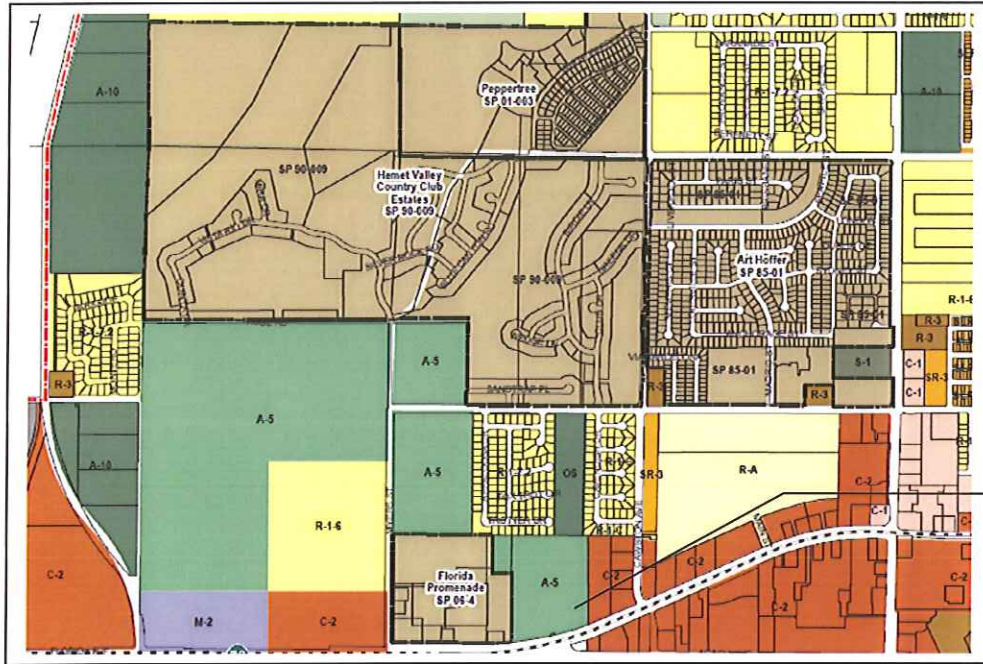
Case #	Description	Status
NO ENVIRONMENTAL PERMITS	NOT APPLICABLE	NOT APPLICABLE

**PLANNING PERMITS**

Case #	Description	Status
NO PLANNING PERMITS	NOT APPLICABLE	NOT APPLICABLE

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Version 130523

# A (Agriculture) Zoned Parcels Within Area III (Moderate Risk)



Transition Zone



Transition Zone

# Attachment 3

Hemet  
Planning Commission  
Resolution Bill No. 13-011



CITY OF HEMET  
Hemet, California

PLANNING COMMISSION  
RESOLUTION BILL NO. 13-011

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HEMET, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL ADOPT ZONING ORDINANCE BILL NO. 13-001 AMENDING PORTIONS OF HEMET MUNICIPAL CODE CHAPTER 90 (ZONING ORDINANCE) TO DESIGNATE ZONING FOR EMERGENCY SHELTERS AND FARMWORKER HOUSING, TO ESTABLISH SUPPLEMENTAL DEVELOPMENT STANDARDS FOR EMERGENCY SHELTERS, TO REMOVE AGE RESTRICTIONS IN THE SMALL LOT RESIDENTIAL ZONE PURSUANT TO THE REQUIREMENTS OF STATE LAW, AND TO RENAME AND ADD APPLICABILITY GUIDELINES TO THE SENIOR HOUSING OVERLAY ZONE.

**WHEREAS**, pursuant to Government Code sections 65854 and 65855, the Planning Commission has the authority to review and make recommendations to the City Council regarding amendments to the City's zoning ordinance; and

**WHEREAS**, on April 25, 2013, the City gave public notice by publishing notice in the Press Enterprise of the holding of a public hearing at which the amendment to the City's zoning ordinance would be considered; and

**WHEREAS**, on May 7, 2013 and May 21, 2013 the Planning Commission held the noticed public hearing at which interested persons had an opportunity to testify in support of, or opposition to, the proposed amendment to the City's zoning ordinance (ZOA13-001) and at which time the Planning Commission considered the proposed amendment to the City's zoning ordinance; and

**WHEREAS**, the City has analyzed this proposed project and has determined that it is exempt from the California Environmental Quality Act ("CEQA") under section 15061(b)(3) of the CEQA Guidelines because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect of the environment; and

**WHEREAS**, attached as Exhibit "A" is the proposed Ordinance.

Planning Commission Resolution Bill No. 13-011  
ZONING ORDINANCE AMENDMENT NO. 13-001  
HOUSING ELEMENT COMPLIANCE

1           **NOW, THEREFORE**, the Planning Commission of the City of Hemet does  
2 Resolve, Determine, Find and Order as follows:

3  
4           **SECTION 1: ENVIRONMENTAL FINDINGS**

5  
6           The Planning Commission, in light of the whole record before it, including but not limited  
7 to, the City's Local CEQA Guidelines and Thresholds of Significance, the direction of  
8 the Planning Commission at its meeting on May 21, 2013 (within the meaning of Public  
9 Resources Code Sections 21080(e) and 21082.2) within the record or provided at the  
10 public hearing of this matter, hereby finds and determines as follows:

11           1. **CEQA:** The City has analyzed this proposed project and has determined that it is  
12 exempt from the California Environmental Quality Act ("CEQA") under section  
13 15061(b)(3) of the CEQA Guidelines, which provides that CEQA only applies to projects  
14 that have the potential for causing a significant effect on the environment. Where as  
15 here, it can be seen with certainty that there is no possibility that the activity in question  
16 may have a significant effect on the environment, the activity is not subject to CEQA.  
17 The amendments to Chapter 90 referenced herein bring the zoning ordinance into  
18 compliance with the General Plan. The proposed text changes do not relate to any  
19 physical project and will not result in any physical change to the environment.  
20 Therefore, it can be seen with certainty that there is no possibility that this Ordinance  
21 may have a significant adverse effect on the environment, and therefore the adoption of  
22 this Ordinance is exempt from CEQA pursuant to Section 15061(b)(3) of the CEQA  
23 Guidelines.

24  
25           **SECTION 2: ZONING ORDINANCE AMENDMENT FINDINGS**

26           Pursuant to Hemet Municipal Code Section 90-41.5(a), the Planning Commission  
27 makes the following findings with respect to zoning ordinance amendment ZOA-13-001:

28           1. *The zoning ordinance amendment is in conformance with the latest adopted general*  
29 *plan for the City.*

30           The proposed zoning ordinance amendment establishes conformance with the latest  
31 adopted general plan for the City by satisfying requirements outlined in General Plan  
32 Chapter 11 (Housing Element) related to emergency shelters, farmworker housing,  
33 and age restricted zoning pursuant to the provisions of State housing element law.

34           2. *The zoning ordinance amendment will protect the public health, safety and welfare.*

35           The proposed zoning ordinance amendment protects the public health, safety and  
36 welfare of residents and the community by designating appropriate zoning districts  
37 for emergency shelters and farmworker housing, instituting supplemental  
38 development guidelines that establish the framework for a clean, safe, and well-  
39 managed emergency shelter facility, eliminating required age restrictions in the

---

Planning Commission Resolution Bill No. 13-011  
ZONING ORDINANCE AMENDMENT NO. 13-001  
HOUSING ELEMENT COMPLIANCE

1 Small Lot Residential (SLR) zone that violate State law, and identifying and  
2 designating senior housing communities within the City.  
3

4 **SECTION 3: PLANNING COMMISSION ACTIONS**  
5

6 The Planning Commission hereby takes the following actions:

- 7 1. The Planning Commission approves Resolution Bill No. 13-011 recommending  
8 that the City Council adopt the proposed Ordinance which is attached hereto and  
9 incorporated herein by reference as Exhibit "A."  
10

11  
12 **PASSED, APPROVED AND ADOPTED** this 21<sup>st</sup> day of May 2013, by the  
13 following vote:  
14

15 **AYES:**

16 **NOES:**

17 **ABSTAIN:**

18 **ABSENT:**  
19  
20  
21  
22

23 \_\_\_\_\_  
24 John Gifford, Chairman  
25 Hemet Planning Commission

26 **ATTEST:**  
27  
28

29 \_\_\_\_\_  
30 Nancie Shaw, Records Secretary  
Hemet Planning Commission

**Planning Commission Resolution Bill No. 13-011  
ZONING ORDINANCE AMENDMENT NO. 13-001  
HOUSING ELEMENT COMPLIANCE**

Page 3 of 3

**CITY OF HEMET  
Hemet, California  
ORDINANCE BILL. NO 13-016**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF HEMET, CALIFORNIA AMENDING PORTIONS OF HEMET MUNICIPAL CODE CHAPTER 90 (ZONING ) TO DESIGNATE ZONING FOR EMERGENCY SHELTERS AND FARMWORKER HOUSING, TO ESTABLISH SUPPLEMENTAL DEVELOPMENT STANDARDS FOR EMERGENCY SHELTERS, TO REMOVE AGE RESTRICTIONS IN THE SMALL LOT RESIDENTIAL ZONE PURSUANT TO THE REQUIREMENTS OF STATE LAW, AND TO RENAME AND ADD APPLICABILITY GUIDELINES TO THE SENIOR HOUSING OVERLAY ZONE.**

**WHEREAS**, the State legislature has declared that the lack of housing, including providing for a variety of housing types for all income levels and special needs groups, is a critical problem that threatens the economic, environmental, and social quality of life in California; and

**WHEREAS**, Government Code Section 65583 requires that a city's housing element address governmental constraints to the development of housing, including providing for a variety of housing types for all income and age levels, and that jurisdictions facilitate the permitting of emergency shelters; and

**WHEREAS**, to achieve compliance with State housing element law and to obtain the State Department of Housing and Community Development certification for the City's 2014-2021 Housing Element, it is necessary to amend Chapter 90 of the Hemet Municipal Code to designate zoning for emergency shelters and farmworker housing; establish supplemental development standards for emergency shelters; and remove age restrictions in the small lot residential zone; and



**WHEREAS**, the identification and designation of senior housing communities demonstrates the importance the City places on the preservation of such housing; and

**WHEREAS**, approval of these zoning ordinance amendments will not detrimentally affect the health, safety, or welfare of residents of the City of Hemet; and

**WHEREAS**, on May 7, 2013 and May 21, 2013, the Planning Commission was presented with a draft of this Ordinance Bill No. 13-016 and, after conducting a duly noticed public hearing and after due consideration of the testimony, voted to adopt Planning Commission Resolution No. 13- \_\_, recommending that the City Council approve Ordinance Bill No. 13-016; and

**WHEREAS**, on \_\_\_\_\_, 2013, the City Council considered the Ordinance, the Planning Commission's findings, and the record of information regarding ZOA 13-001 at a duly noticed public hearing, at which time interested persons had an opportunity to provide testimony on this matter.

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF HEMET HEREBY ORDAIN AS FOLLOWS:**

**SECTION 1: ADDITION OF DIVISION 4 TO ARTICLE X.**

Article X of the Hemet Municipal Code is amended as shown in Exhibit "A1" hereto.

**SECTION 2: AMENDMENT OF SECTION 90-892.**

Section 90-892 of the Hemet Municipal Code is amended as shown in Exhibit "A2" hereto.

**SECTION 3: AMENDMENT OF SECTION 90-182.**

Section 90-182 of the Hemet Municipal Code is amended as shown in Exhibit "A3" hereto.

**SECTION 4: AMENDMENT OF SECTIONS 90-501 AND 90-513.**

Sections 90-501 and 90-513 of the Hemet Municipal Code are amended as shown in Exhibit "A4" hereto.

**SECTION 5: AMENDMENT OF ARTICLE XXXI.**

Article XXXI of the Hemet Municipal Code is amended as shown in Exhibit "A5" hereto.

**SECTION 6: CEQA FINDINGS.**

This Ordinance is exempt from the California Environmental Quality Act ("CEQA") under CEQA Guideline 15061(b)(3) because CEQA only applies to projects that have the potential for causing a significant effect on the environment. Where as here, it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA. The addition of these sections to Chapter 90 only relates to regulations for various housing types in Hemet. It does not relate to any physical project and will not result in any physical change to the environment. Therefore, it can be seen with certainty that there is no possibility that this Ordinance may have a significant adverse effect on the environment and, therefore, the adoption of this Ordinance is exempt from CEQA pursuant to Section 15061(b)(3) of the CEQA Guidelines.

**INTRODUCED** at the regular meeting of Hemet City Council on \_\_\_\_\_  
2013.

**APPROVED AND ADOPTED** this \_\_\_\_ day of \_\_\_\_\_ 2013.

\_\_\_\_\_

**Robert Youssef, Mayor**

**ATTEST:**

**APPROVED AS TO FORM:**

---

**Sarah McComas, City Clerk**

---

**Eric S. Vail, City Attorney**

State of California        )  
County of Riverside       )  
City of Hemet             )

I, Sarah McComas, City Clerk of the City of Hemet, do hereby certify that the foregoing Ordinance was introduced and first read on the \_\_\_ day of \_\_\_\_\_ 2013, and had its second reading at the regular meeting of the Hemet City Council on the \_\_\_ day of \_\_\_\_\_, 2013, and was passed by the following vote:

**AYES:**

**NOES:**

**ABSTAIN:**

**ABSENT:**

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Sarah McComas, City Clerk

**Ordinance Bill No. 13-016**  
**Exhibit A1**

**ARTICLE X SPECIAL HOUSING CLASSIFICATIONS; DIVISION 4. – EMERGENCY SHELTERS**

Sec. 90-301. - Purpose.

Sec. 90-302. – Definition.

Sec. 90-303. – Applicability

Sec. 90-304. – Development and management standards

Sec. 90-305. – Conditions of Denial

Sec. 90-306-310. – Reserved

**Sec. 90-301. - Purpose.**

To establish supplemental development standards for emergency shelters that:

- (a) Ensure that adequate sites to accommodate Emergency Shelters are available.
- (b) Provide regulations for the development, maintenance, and operation of Emergency Shelters.
- (c) Meet the requirements of Section 65583(a)(4) of the California Government Code.
- (d) Contribute to the provision of a variety of housing types in compliance with State law and the General Plan Housing Element.

**Sec. 90-302. – Emergency Shelter Defined**

“Emergency Shelter” shall have the meaning ascribed to it in Government Code Section 65582(d) and Health and Safety Code Section 50801(e), as such sections may be amended from time to time, and which presently define “Emergency Shelter” to mean housing with minimal supportive services for homeless persons that is limited to occupancy of six months or less by a homeless person. No individual or household may be denied emergency shelter because of an inability to pay.

**Sec. 90-303. – Applicability**

To accommodate the City’s Emergency Shelter needs:

- (a) Emergency Shelters shall be permitted in the Commercial-Manufacturing (CM) Zone subject to issuance of a Conditional Use Permit pursuant to HMC section 90-42 and the development and management standards in Section 90-304.
- (b) As of the effective date of this Division, the Emergency Shelter existing in the C-1 zone at 200 E. Menlo Avenue, known as Valley Restart and operated by Valley Restart Shelter, Inc., accommodates the City's need for emergency shelter pursuant to Government Code Section 65583(a)(4)(C) and 65583(a)(7). This Emergency Shelter is permitted by right and is not required to comply with the Development Standards of this Division unless:
  - (i) the use or building is significantly altered or expanded, as determined by

**Ordinance Bill No. 13-016**  
**Exhibit A1**

the Community Development Director;

- (ii) the use is terminated for a continuous 6 month period; or
- (iii) the use regularly exceeds its capacity of 5 single men, 5 single women, and 9 family rooms to house a parent(s) and dependent children.

If either of the forgoing events occur, the existing Emergency Shelter may continue or recommence the use of the same property as an Emergency Shelter by right, but shall be subject to the development and management standards in Section 90-304.

- (c) Emergency shelters shall be subject only to the development and management standards of the underlying zone and the provisions of this article. In the event of an inconsistency, the standards of this article shall prevail.
- (d) Emergency shelters established within the boundaries of the Hemet-Ryan Airport Land Use Compatibility Zones may be subject to review by the Riverside County Airport Land Use Commission in accordance with the adopted Airport Land Use Plan.

**Sec. 90-304. - Development and management standards**

In accordance with the authority granted in Section 65583(a)(4)(C) of the California Government Code, all Emergency Shelters shall comply with the following development and management standards:

- (a) *On-site management.* The Emergency Shelter provider shall prepare and file a management plan with the Community Development Department that includes clear operational rules and standards including, but not limited to staff training, security, screening of clients, mechanisms to address loitering, management of outdoor areas, and opportunities for training, counseling, and treatment programs for residents.
- (b) *Maximum Number of Beds.* The Emergency Shelter shall limit the number of beds available nightly to 35, unless a greater number of beds is allowed as a condition of approval to the use's Conditional Use Permit.
- (c) *Parking.* The Emergency Shelter shall have not less than one space for every four beds available in the Emergency Shelter, plus one space for each staff person.
- (d) *Client Intake Area.* The client intake area shall be not less than 500 square feet in total floor area.
- (e) *Outdoor activity.* For purposes of noise abatement and neighborhood compatibility, outdoor activities on site are limited to the hours of 9:00 am to 9:00 pm.
- (f) *Length of stay.* An Emergency Shelter client may not stay at the facility for more than 180 consecutive days.
- (g) *Location.*
  - (i.) The shelter shall be located at least 1,000 feet, as measured from property line to property line, from another Emergency Shelter.

**Ordinance Bill No. 13-016**

**Exhibit A1**

- (ii.) The Emergency Shelter must be located within one half (½) mile of a bus stop or transit station.
- (h) *Lighting.* Adequate external lighting shall be provided for security purposes. The lighting shall be stationary, directed away from adjacent properties and public right-of-ways, and of an intensity that is compatible with the neighborhood.
- (i) *Security.* Parking and outdoor facilities shall be designed to provide security for residents, visitors, and employees. On-site supervisorial personnel shall be provided at a minimum ratio of one staff person for every 15 beds during operational hours.
- (j) *Refuse collection.* Refuse collection areas shall conform to the requirements for multiple-family housing in section 90-457.
- (k) *Signage.* Signage identifying the name and address of the facility is required pursuant to sign standards for institutional uses in section 90-1255.
- (l) *Business license.* A city business license is required to operate an Emergency Shelter pursuant to Chapter 18 of the Hemet Municipal Code.
- (m) *Bathroom and laundry facilities.* The Emergency Shelter shall provide sufficient bathroom and laundry facilities pursuant to Chapter 14 of the Hemet Municipal Code.
- (n) *Accessibility.* The shelter must meet Americans with Disabilities Act (ADA) accessibility and adaptability requirements.

**Sec. 90-305. – Findings for Denial**

The City shall not disapprove an Emergency Shelter, or condition approval in a manner that renders the project infeasible for development for an Emergency Shelter, including through the use of design review standards, unless the City makes one or more of the following findings in writing, based upon substantial evidence in the record, as required by Government Code Section 65589.5(d):

- (a) The City has adopted a housing element pursuant to this Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code and:
  - (1) The housing element has been revised in accordance with Government Code Section 65588;
  - (2) The housing element is in substantial compliance with Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code; and
  - (3) The City has met or exceeded the need for emergency shelter, as identified pursuant to Government Code Section 65583(a)(7).

Any disapproval or conditional approval shall not be based on any of the reasons prohibited by Government Code Section 65008. Any disapproval or conditional approval pursuant to this paragraph shall be in accordance with applicable law, rule, or standards.

- (b) The Emergency Shelter as proposed would have a specific, adverse impact upon the public health or safety, and there is no feasible method to satisfactorily mitigate or avoid the specific adverse impact without rendering the development of the

**Ordinance Bill No. 13-016**

**Exhibit A1**

Emergency Shelter financially infeasible. As used in this paragraph, a "specific, adverse impact" means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. Inconsistency with the zoning ordinance or general plan land use designation shall not constitute a specific, adverse impact upon the public health or safety.

- (c) The denial of the project or imposition of conditions is required in order to comply with specific state or federal law, and there is no feasible method to comply without rendering the development of the emergency shelter financially infeasible.
- (d) The Emergency Shelter is proposed on land zoned for agriculture or resource preservation that is surrounded on at least two sides by land being used for agricultural or resource preservation purposes, or which does not have adequate water or wastewater facilities to serve the project.
- (e) The Emergency Shelter is inconsistent with both the City's zoning ordinance and general plan land use designation as specified in any element of the general plan as it existed on the date the application was deemed complete, and the City has adopted a revised housing element in accordance with Government Code Section 65588 that is in substantial compliance with Article 10.6 of Title 7, Division 1, Chapter 3 of the Government Code..

**Sec. 90-306 - 310. - Reserved.**



**Ordinance Bill No. 13-016**  
**Exhibit A2**

**Notes:**

1. Only the section proposed for amendment is shown below. No other sections in Article XXVI are affected by Ordinance Bill No. 13-016.
2. The proposed additions to the section are shown in underlined red text.

**ARTICLE XXVI COMMERCIAL ZONES**

**Sec. 90-892. – Permitted uses.**

In the R-P, O-P, C-1, C-2 and C-M zones permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix." Whenever a business is conducted, a city business license is required pursuant to chapter 18.

COMMERCIAL LAND USE MATRIX						
P=Permitted Use		A=Administrative Use (AUP)		C=Conditionally Permitted Use (CUP)		
X= Not Permitted						
		R-P	O-P	C-1	C-2	C-M
<b>B. Residential Uses</b>						
1.	Bed and breakfast	A	A	A	A	X
2.	Day care facility serving more than six clients	P	P	P	P	P
3.	Group homes and small licensed residential care facilities (see section 90-261 et seq)					
	a. Small licensed residential care facility	P	X	X	X	X
	b. Large group home (10 or fewer residents)	C	C	X	X	X
	c. Large group home (11 or more residents)	C	C	X	X	X
	d. Small group home	A	C	X	X	X
<u>4.</u>	<u>Emergency shelter subject to the requirements of Article X, Division 4. Existing Shelter in C-1 zone pursuant to HMC Section 90-303(b)</u>	<u>X</u>	<u>X</u>	<u>P</u>	<u>X</u>	<u>CUP</u>
45.	Home occupation in an existing single family home subject to the requirements of section 90-72	P	P	P	P	P
56.	Household pets in an existing single-family home including, but not limited to dogs, pot belly pigs, and cats when on the site of an existing residential unit subject to the requirements of section 90-77.	P	P	P	P	P
<del>6.7</del>	Mixed use, an integrated of residential and nonresidential uses on a single site	X	X	C	C	X
<del>78.</del>	Mobile home park, recreational vehicle park, or travel trailer park	X	X	X	X	C
89.	Multiple-family residence subject to the requirements of the R-3 zone development standards	C	X	X	X	X
910.	Rented room, a maximum of one room, within an existing single-family dwelling	P	P	P	P	P
4011.	Single-family residence (existing only) including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations and subject to the requirements of subsection 90-315(a)	P	P	P	P	P

**Ordinance Bill No. 13-016**  
**Exhibit A3**

**Notes:**

1. Only the section proposed for amendment is shown below. No other sections in Article VII are affected by Ordinance Bill No. 13-016.
2. The proposed addition to the section is shown in underlined red text.

**ARTICLE VII AGRICULTURAL ZONES**

**Sec. 90-182. – Permitted uses.**

In A zones permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix." Whenever a business is conducted, even if it is a home occupation, a city business license is required pursuant to chapter 18.

AGRICULTURAL LAND USE MATRIX				
P= Permitted Use    C=Conditionally Permitted Use				
		A	A-1-C	A-2-C
<b>B. Residential Uses</b>				
1.	Bed and breakfast	C	C	C
2.	Family care home (state licensed) for mentally disordered, handicapped, dependent or neglected children, serving up to a maximum of six persons	P	P	P
3.	Family day care facility up to a maximum of 12 clients	P	P	P
<u>4.</u>	<u>Farmworker housing of up to 36 beds or 12 family units as a component of an agricultural use pursuant to Health and Safety Code Sections 17021.6 and 50199.7.</u>	<u>P</u>	<u>P</u>	<u>P</u>
<del>4.</del> <u>5.</u>	Guest house on the same site as an existing single-family home	P	P	P
<del>5.</del> <u>6.</u>	Home occupations subject to the requirements of section 90-72	P	P	P
<del>6.</del> <u>7.</u>	Household pets including, but not limited to dogs, pot belly pigs, and cats (see section 90-77.	P	P	P
<del>7.</del> <u>8.</u>	Mobile homes as a caretaker residence	P	P	P
<del>8.</del> <u>9.</u>	Recreational vehicle park	C	C	C
<del>9.</del> <u>10.</u>	Rented room (one) within an existing single-family dwelling	P	P	P
<del>10.</del> <u>11.</u>	Residential care facility (state licensed) for the elderly serving up to a maximum of six persons	P	P	P
<del>11.</del> <u>12.</u>	Single-family residence dwelling unit including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations and subject to the requirements of subsection 90-315(a)	P	P	P
<del>12.</del> <u>13.</u>	Travel trailer park.	C	C	C

**Ordinance Bill No. 13-016**  
**Exhibit A4**

**Notes:**

1. Only the sections proposed for amendment are shown below. No other sections in Article XVI are affected by Ordinance Bill No. 13-016.
2. The proposed additions to the article are shown in underlined red text and the proposed deletions are shown in ~~red-strikethrough~~.

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**ARTICLE XVI. - SLR SMALL LOT RESIDENTIAL ZONE**

**Sec. 90-501. - Purpose.**

The purpose of the SLR zone is to provide for the development of small lot single-family residential subdivisions ~~for senior citizens~~ in a planned neighborhood setting.

*(Ord. No. 1238; Code 1984, § 21900)*

**Sec. 90-513. - Declaration of covenants, conditions and restrictions.**

- (a) A declaration of covenants, conditions and restrictions (CC&R's) shall be prepared by the developer of all SLR projects. The covenants, conditions and restrictions shall be signed and acknowledged by all parties having any record title interest in the property to be developed. The covenants, conditions and restrictions shall be submitted to the city attorney for review and approval, and then shall be recorded prior to the issuance of building permits.
- (b) The covenants, conditions and restrictions ~~shall~~ may restrict occupancy to ~~adults over the age of 55~~ senior citizens in accordance with California Civil Code Section 51.1 et seq. Such senior developments would be identified by the City pursuant to Article XXXI (Senior Housing Designation). Any potential conversion of a senior housing development to a non-senior housing development shall comply with the provisions of Article XVII (Conversions of Senior Housing to Non-Senior Housing).
- (c) Covenants, conditions and restrictions for private alleys shall provide for the effective management, use, repair and maintenance of the alleys.
- (d) Covenants, conditions and restrictions for side yard easements shall:
  - (1) Prohibit the construction of any structures.
  - (2) Define the owner's right to pass to perform normal structure maintenance.
  - (3) Define the adjacent property owner's right to use the easement.
  - (4) Be in effect for the economic life of the project.

*(Ord. No. 1238; Code 1984, § 21912)*

**Secs. 90-514—90-540. - Reserved.**

**Ordinance Bill No. 13-016**  
**Exhibit A5**

**Notes:**

1. The proposed additions to the article are shown in underlined red text and the proposed deletions are shown in ~~red-strikethrough~~.
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**ARTICLE XXXI. - SENIOR HOUSING OVERLAY ZONE DESIGNATION**

**Sec. 90-1081. - Purposes.**

- (a) To provide a means of designating existing and future senior housing developments for people 55 years and older in the city.
- (b) To promote, protect, and preserve senior housing in the city.
- (c) To continue to attract senior citizens to the city as a desirable place to live.  
(Ord. No. 1592, § 1, 10-13-98)

**Sec. 90-1082. - Permitted uses.**

- (a) Permitted and conditionally permitted uses of the underlying zone.
- (b) Signs per the requirements of Article XXXVI, ~~sections 90-1259 and 90-1280~~ and Sec. 90-1083.  
(Ord. No. 1592, § 1, 10-13-98)

**Sec. 90-1083. - Minimum requirements for senior developments.**

In order for a development to be designated for seniors 55 years of age and older, it shall meet the minimum requirements of The Fair Housing Act (Title VIII of the Civil Rights Act of 1968, as amended 42, U.S.C. 3601—3619) and the Housing for Older Persons Act of 1995 (Pub. L. 104-76) and/or the California Civil Code Sections 51.11 and 51.12.

(Ord. No. 1592, § 1, 10-13-98)

**Sec. 90-1084. - Applicability.**

Senior housing developments known to the City as defined in Sec. 1083 and with recorded covenants, conditions, and restrictions shall be designated on the official zoning map with a (S). Any potential conversion of a senior housing development to a non-senior housing development shall comply with the provisions of Article XVII (Conversions of Senior Housing to Non-Senior Housing.)

**Sec. 90-~~1084~~ 1085. - Enforcement.**

Enforcement of this article shall be on a complaint basis. Once a complaint has been filed, prior to the commencement of enforcement, the city shall require certification by the community Home Owners Association or similar entity, by resolution of the Home Owners Association, of the following:

- (1) That the Home Owner Association has been duly established in accordance with the laws of the state;
- (2) That all property in the community is encumbered by recorded covenants, conditions, and restrictions established in accordance with state law;

**Ordinance Bill No. 13-016**  
**Exhibit A5**

- (3) That the community currently meets the requirements of section 90-1083 of this Code; and,
- (4) That the city has a current list of the Home Owner Association Board members, addresses and phone numbers on file in the Hemet Planning Department.

*(Ord. No. 1592, § 1, 10-13-98)*

**Secs. 90-~~1085~~ 1086—90-1120. - Reserved.**

# Attachment 4

Hemet  
Draft Amendment to  
Article XIII Multi-Family  
Zones

**ARTICLE XIII. - MULTIPLE-FAMILY ZONES**

- Sec. 90-381. - Purposes.
- Sec. 90-382. - Zones established.
- Sec. 90-~~382~~383. - Permitted uses.
- Sec. 90-~~383~~384. - Reserved.
- Sec. 90-~~384~~385. - General requirements.
- Sec. 90-~~385~~386. - Site development requirements.
- Sec. 90-~~386~~387 – Senior residential projects.
- Secs.90-388—90-420. - Reserved.

**Sec. 90-381. - Purposes.**

(a) In addition to the overall purposes stated in section 90-1, the residential zones are established to provide properly located family living areas based on a wide range of population densities in conformity with the general plan to protect residential properties from noise, odors, smoke, dirt, vibration, glare, fire, explosion, noxious fumes, unsightliness and other hazards or objectionable influences; to protect residential properties from congestion and nuisances caused by commercial and industrial traffic; to ensure adequate privacy, light, air and usable open space for each dwelling unit; and to provide areas for institutional uses that require a residential environment and for public and semipublic facilities needed to serve the residential uses. The multiple-family zones provide areas for low-medium to very high density residential uses with a variety of housing types where adequate public facilities and services exist with the capacity to serve development. Commonly maintained on-site recreational facilities and open space are typically required to serve the more concentrated residential population.

(b) The multiple family zones implement the low medium density to very high density residential designations of the General Plan. The designations provide for multiple family housing with allowable densities that range from 5 to 45 dwelling units per acre.

**Sec. 90-382. – Zones Established**

(a) R-2 two-family(Low-Medium Density) zone: To provide for the development of low to medium density multiple-family residential uses. Provides for the development of low to medium density multiple-family residential uses with density not-to-exceed 8 dwelling units per acre. Typical housing units may include detached or attached single family homes, duplexes, or other low-medium density housing types. The R-2 zone is

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consistent with the Low Medium Density Residential (LMDR) designation of the General Plan.

6

(b) R-3 multiple-family (Medium-High Density) zone: To provide for the development of medium density multiple-family residential uses. Provides for the development of medium to high density multiple-family residential uses with density not-to-exceed 25 dwelling units per acre. Typical housing units may include townhouse, condominiums, cluster development, apartments, or residential care facilities. R-3 development is typically located near commercial nodes, school sites, parks, and other activity centers. The R-3 zone is consistent with the Medium Density Residential (MDR) and High Density Residential (HDR) designations of the General Plan.

(c) R-4 (Very High Density) zone: Provides for the development of high to very high density multiple-family residential uses with density not-to-exceed 45 dwelling units per acre. Typical housing units may include townhouses, condominiums, apartments, or residential care facilities that integrate functionally and aesthetically with nearby transit-corridors, commercial centers, parks, bike trails, and other transportation and recreational systems. The R-4 zone is consistent with the Very High Density Residential (VHDR) designation of the General Plan.

(Ord. No. 1552, § 2, 1-28-97)

**Sec. 90-382383. - Permitted uses.**

In the R-2 ~~and~~, R-3 ~~and~~ R-4 zones, permitted and conditionally permitted uses shall be as listed within the "Land Use Matrix.

MULTIPLE-FAMILY RESIDENTIAL LAND USE MATRIX				
X=Not Permitted Use    P=Permitted Use    C=Conditionally Permitted Use (CUP)				
A=Administrative Use (AUP)    SGHP=Small Group Home Permit				
ZONE				REFERENCE
	R-2	R-3	R-4	Additional or Explanatory Regulations or Requirements
<b>A.</b>	<b>Agricultural Uses</b>			
1.	Poultry (except turkeys, geese and guinea fowl) chinchillas, hamsters, rabbits and other small animals (see section 90-188 for additional	P	P	



	requirements)				
<b>BA.</b>	<b>Residential Uses</b>				
1.	Apartment, condominium or similar residential unit (see section 90-985(n) for additional requirements) Accessory Dwelling Unit	PG	CP	P	
2.	b. >12 clients Mobile Home Parks	C	X	X	Article XX and Title 25 of the California Government Code
3.	Duplexes and/or two single family homes on the same lot Multi-Family Housing including duplexes, condominiums, apartments, or similar residential units*	C	C		
	a. Senior	P	P	P	90-387 and 90-1081
	a.b. Two family dwellings	P	P	X	
	b.c. Multiple family dwellings	P	P	P	
4.	a. Small licensed residential care facility Single-Family detached condominiums	P	P	X	
5.	b. Large group home (ten or fewer occupants) Single-Family Homes	AP	AP	X	
	c. Large group home (11 or more occupants)	C	C		
<b>B.</b>	<b>d. Small group home Residential - Other</b>	SGHP	SGHP		
61.	Home occupations subject to the requirements of section 90-72	P	P	P	90-72
72.	Animal keeping (see section 90-77	P	P	P	90-77
8-3.	Mobile home park Residential Accessory Uses and Structures	CP	CP	P	90-386

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<del>9.C.</del>	Single-family residential dwelling unit including manufactured housing, prefabricated housing, and mobile homes built after 1986 when installed on permanent foundations when in accordance with section 90-315(a). <u>Care Uses</u>	<del>P</del>	<del>P</del>		
<del>101.</del>	Rented room (a maximum of one room) within an existing single-family dwelling <u>Assisted Living Facility</u>	<del>CP</del>	<del>CP</del>	<del>C</del>	
<del>11.2.</del>	Travel trailer park <u>Boarding houses</u> or Congregate Care Facilities	<del>C</del>	<del>C</del>	<del>X</del>	Section 90-261
<del>12.3.</del>	Accessory dwelling unit (including "granny flat" and "second unit") in accordance with subsection 90-385(g) <u>Child or Adult Day Care Facility</u>	<del>PC</del>	<del>PC</del>	<del>C</del>	
<del>24.</del>	Convalescent hospital <u>Group Homes and Small Licensed Care Facilities</u>	<del>G</del>	<del>G</del>		
<del>3.</del>	Environmental cleanup and treatment systems (subject to a temporary use permit, see section 90-73-a. Small, licensed residential care facilities)	<del>P</del>	<del>P</del>	<del>X</del>	<u>Article X</u>
<del>4.</del>	Home for the aged <u>b. Large group homes (10 or fewer occupants)</u>	<del>GA</del>	<del>GA</del>	<del>X</del>	<u>Article X</u>
<del>5.</del>	Home or center for mentally, emotionally or physically <u>c. Large group homes (11 or more occupants) handicapped persons</u>	<del>C</del>	<del>C</del>	<del>X</del>	<u>Article X</u>
<del>6.</del>	Hotel or motel <u>d. Small group home</u>	<del>XSGHP</del>	<del>CSGHP</del>	<del>X</del>	<u>Article X</u>
<del>7.D.</del>	Parking lot <u>Education, Public Assembly, and</u>	<del>X</del>	<del>G</del>		

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	<b>Recreation uses</b>				
8-1.	Nursing home Auditoriums, Meeting Halls, and Conference Facilities - Public and Private	<u>CG</u>	<u>CG</u>	<u>C</u>	
9-2.	Rest-home Churches, places of worship	C	C	<u>C</u>	
10-3.	Recycling facility-- nonpermanent (subject to a temporary use permit, see section 90-73) Commercial recreation facilities	<u>CP</u>	<u>CP</u>	<u>C</u>	
11	Sanitariuma. Indoor	<u>CX</u>	C	<u>C</u>	
12	Plant nurseries, wholesale and/or retail (signing and parking shall comply with articles XXVI and XL; growing shall be incidental to the retail/wholesale use; container growing may be permitted but shall not exceed 49 percent of the area devoted to plant display; no field growing is allowed)-b. Outdoor (golf courses, lawn bowling, basketball courts)	C	C	C	
<b>D.</b>	<b>Recreation and Open Space Uses</b>				
1-4.	Cemetery, crematorium, columbariums and related facilities Community Centers	<u>CG</u>	<u>CG</u>	<u>C</u>	
2-5.	Game court, lighted (with ten-foot high court fencing) Cultural institutions	<u>CG</u>	<u>CG</u>	<u>C</u>	
3-6.	Golf course, country club and/or driving range Educational facilities - private and public	G	G		
4.	Lodge hall for civic, social or fraternal organizations. Academic (Grades K-12)	<u>CG</u>	<u>CG</u>	<u>C</u>	

5.	Recreation-center, park, playground, unlighted-game court (with ten-foot-high court-fencing) racquetball-center, swim-clubb. Colleges/Universities	<u>CP</u>	<u>CP</u>	<u>C</u>	
6.	Skating rink, outdoorsc. Commercial schools	<u>CG</u>	<u>CG</u>	<u>C</u>	
<b>E.</b>	<b>Miscellaneous Uses</b>				
1.7.	Church, temple synagogue, or other religious facility including, but not limited to, parish house, convent, parsonage, monastery, religious school Libraries and museums	<u>CG</u>	<u>CG</u>	<u>C</u>	
2.8.	Flood-control facilities including, but not limited to, detention and retention basins, flood-control channels Parks	<u>P</u>	<u>P</u>		
3.	Museuma. Active	<u>PG</u>	<u>PG</u>	<u>P</u>	
4.	School or college including, but not limited to, art, business, cosmetology, craft, dance, music, professional, technical and tradeb. Passive	<u>PG</u>	<u>GP</u>	<u>P</u>	
5.E.	Public facilities and utilities including, but not limited to, electrical substations, transmission substations, city facilities, libraries and public offices Service Uses	<u>C</u>	<u>C</u>		
<b>F.</b>	<b>Accessory Uses</b>				
1.	Accessory structures and uses located on the same site as a permitted use Health and Fitness Centers	<u>P</u>	<u>P</u>		
2.	Accessory structures and uses located on the same site as a conditional usea. Small	<u>PG</u>	<u>GP</u>	<u>P</u>	

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	- 2,000 sq. ft. or less				
3.	Antennas for microwave, cellular phones, and the like. Large - Over 2,000 sq. ft.	<u>G</u> <u>X</u>	<u>G</u> <u>X</u>	<u>X</u>	
4.2.	Satellite dish antennas Lodging				
	a. <39 inches in diameter when ground or roof-mounted meeting the requirements of subsection 90-184.A. Bed and Breakfast Inns	<u>C</u> <u>P</u>	<u>C</u> <u>P</u>	<u>C</u>	
	b. >39 inches but less than eight feet in diameter when ground or roof-mounted meeting the requirements of subsection 90-184.A.b. Motels and Hotels	<u>P</u> <u>X</u>	<u>P</u> <u>X</u>	<u>X</u>	90-898
<b>F.</b>	<b>Transportation, Communication, and Infrastructure Uses</b>				
1.	Parking Facilities	P	P	P	Article XL
2.	Satellite dish antennas	<u>P</u>	<u>P</u>	<u>P</u>	
3.	Solar Energy Systems (non-commercial) (serving the development)	P	P	P	
4.	Transit Stop Shelter	P	P	P	
5.	Utility facility	<u>C</u>	<u>C</u>	<u>C</u>	
6.	Wireless Telecommunication Facility				
	a. Minor Facility	<u>C</u>	<u>C</u>	<u>C</u>	Article XLVI
	b. Major Facility	<u>X</u>	<u>X</u>	<u>X</u>	Article XLVI
<b>G.</b>	<b>Government Uses</b>				
1.	Government Facilities	<u>C</u>	<u>C</u>	<u>C</u>	
2.	Public Safety Facility	<u>C</u>	<u>C</u>	<u>C</u>	

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(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1622, § 1, 5-23-00; Ord. No. 1657, § 1, 2-12-02; Ord. No. 1684, § 1—5, 5-27-03; Ord. No. 1782, § 1(Exh. A), 7-10-07; Ord. No. 1798, § 2(c)(Exh. C), 5-27-08; Ord. No. 1852, § 4(Exh. C), 6-12-12)

**Sec. 90-383384. - Reserved.**

**Sec. 90-384385. - General requirements.**

- (a) No person shall construct any multiple family building or structure, or relocate, rebuild or significantly enlarge or modify any existing multiple family building or structure, until a Site Development Review Plan to review the site design and architecture has been approved by the Community Development Director or Planning Commission pursuant to Article XLI.
- (b) All multiple family development projects shall comply with the adopted City's Design Guidelines for Multiple Family Residential uses.
- (c) Prior to the construction of any building or structure a building permit shall be required in accordance with the latest city-adopted Uniform California Building Code, and shall meet all Hemet Municipal Code and applicable State and Federal Code requirements.
- (d) Developments projects established within the boundaries of the Hemet-Ryan Airport Land Compatibility Zones shall be in accordance with the adopted Airport Land Use Plan.
- (e) Whenever a commercial or rental unit business is conducted, a city business license is required pursuant to Chapter 18 of the Hemet Municipal Code. The owners or agent of all existing and proposed rental units shall be required to register with the City as a non-owner occupied residential rental unit.
- (f) The following are minimum requirements, unless otherwise noted, and shall apply to all land, buildings, and structures in their respective zones. All area dimensions are in square feet, unless otherwise noted. All linear dimensions are in feet, unless otherwise noted.

A. MULTIPLE-FAMILY ZONE MINIMUM DEVELOPMENT STANDARDS				
	ZONE	R-2	R-3	R-4
1.	Density (maximum units/gross acre)	<del>17</del> -8	<del>25</del> 25	<del>45</del>
2.	Net lot area	6,000	<del>8,000</del> 1 acre	2 acres
4.	Lot width	60	100	100
5.	Lot depth	100	150	<del>150</del>
6.	Front yard setback to a building or structure other than a garage or carport	20	25	<del>25</del>
7.	Front yard setback to a garage or carport	25	25	<del>25</del>
8.	Rear yard setback*	One story = 10 feet Two story = 15 feet <del>40</del>	One story = 10 feet Two story = 20 feet Three story = 30	One story = 10 feet Two story = 20 feet Three story

			feet	or more = 50 feet
9.	Side yard setback*			
	a. Interior side, corner and reverse corner	5 feet for each story	5 feet for each story	5 feet for each story
	b. Street side	10 <u>Landscaped</u>	15 <u>Landscaped</u>	<u>15 Landscaped</u>
10.	Lot coverage (15 percent of the remaining area shall be in live landscaping)	50	60	<u>60</u>
11.	Building Separation (primary structures and accessory buildings)	See Section 90-386(e)	See Section 90-386(e)	See Section 90-386(e)
12.	Habitable building and structure height (see <del>section 90-385</del> <u>section 90-386 C.</u> for exceptions)	30 (two stories)	45 (three stories)	<u>55 (four stories)</u>
13.	Floor area (interior)			
	a. Studio	550 sq. ft.	550 sq. ft.	550 sq. ft.
	b. One bedroom	750 sq. ft.	750 sq. ft.	750 sq. ft.
	c. Two bedroom	900 sq. ft.	900 sq. ft.	900 sq. ft.
	d. Three bedroom	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.
14.	Parking required	See Article XL	See Article XL	See Article XL
15.	Signing permitted	See Article XXXV	See Article XXXV	See Article XXXV
16.	Open space			
	a. Common	250 sq. ft.	250 sq. ft.	250 sq. ft.
	b. Private	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)	100 - 150 sq. ft. (see Section 90-386(f)(1)b.1)
17.	Landscaping	See Section 90-386(f)(2)	See Section 90-386(f)(2)	See Section 90-386(f)(2)

\*Additional setbacks may be required per Section 90-386(i) and (j)

(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1581, § 2, 2-24-98)

### **Sec. 90-~~385~~386. - Site development requirements.**

#### *(a) Measurement of yards.*

- (1) A required yard or other open space around an existing or proposed building shall not be used to meet a required yard or other open space for any other building on an adjoining lot or building site.
- (2) Garage doors shall not, when open or being opened, project beyond any lot line.

#### *(b) Building projections into yards.*

- (1) Cornices, eaves, belt courses, sills, canopies, chimneys, bay windows or other similar architectural features may extend or project into a required yard of the

zone up to two (2) feet, six (30-6) inches. In no case shall the projection be closer than three (3) feet from another structure or property line.

- (2) Open, unenclosed porches, platforms or landing places not covered by a roof or canopy, which do not extend above the level of the first floor of the building, may extend or project into any required front, side or rear yard, or into a court, six (6) feet. A 42-inch high openwork railing may be installed or constructed on any such porch, platform or landing space.

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- (3) Open, unenclosed stairways or balconies, not covered by a roof or canopy, may extend or project into a required rear yard three (3) feet, and such balconies or stairway may extend into a required front yard not more than the required exit dimension.

In no case shall the projection be closer than three (3) feet from another structure or property line.

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- (4) Fire escapes may extend or project into any required yard four (4) feet; provided however, that at least a ~~30~~three (3) feet-inch clearance to the property line is maintained.

- (5) The director may allow additions to an existing, legally constructed structure, sited in accordance with the laws and setbacks in effect at the time of the construction, within the currently required front, side, and/or rear setback. The building addition or the sum of all additions shall not exceed 50 percent of the floor area of the existing-original structure. For additions in the front yard, the building shall occupy no more than 25 percent of the lineal frontage of the existing building. The director shall deny any addition when it has been determined to be harmful to the health and safety of the resident or the area. In no case shall any addition be closer than 15 feet to the ultimate street right-of-way. The addition shall not exceed the coverage requirements of the zone.

- (c) *Height exceptions.* Structures permitted above a specified height limit may be erected as follows: Structures or walls for the housing of elevators, stairways, tanks, ventilating fans or similar structures, skylights, towers, steeples, flagpoles, chimneys, smokestacks, wireless masts, radio and television masts, water tanks, silos or similar structures, provided that no roof structure, as listed in this subsection, or any space above the height limit specifically prescribed for particular zones, shall be allowed or used for the purpose of providing usable floor space in excess of that reasonably required to maintain



such structures and shall not be used for signage. The maximum area that can utilize the height exception is limited to ten (10) percent of the roof area.

(d) *Accessory buildings.*

- (1) Accessory structures shall meet the required setbacks of the zone in which they are located. Except that, accessory structures less than 120 square feet in area and less than eight feet in height which are not permanently affixed to the ground may be located as close as three feet to interior side or rear property lines. In no instance shall any accessory structure be placed closer to the front property line than the principal structure.
- (2) The total area of all accessory structures shall not exceed 50 percent of the floor area of the principal structure. Except that, on lots larger than one acre, accessory structures may be constructed in excess of 50 percent of the principal structure upon review by the planning commissionCommunity Development Director.
- (3) Accessory structures shall not exceed the height of the principal structure.
- (4) Accessory structures shall be architecturally compatible with the principal structure, except that:
  - a. For accessory structures under 120 square feet, compatibility shall be limited to the structures' primary color;
  - b. For accessory structures over 120 square feet, compatibility shall include the structures' primary color and construction materials; and
  - c. For portable carports and/or RV covers, compatibility shall be limited to the structures' primary color.
- (5) Where Community Development planning commissionDirector review is required, the planning commissionCommunity Development Director shall review the project and shall either approve it as submitted, approve it subject to conditions, or deny it based on the following criteria. The accessory structure: a) is otherwise consistent with the regulations of the zone in which it is located; b) is not detrimental to the public health, safety and welfare particularly that of adjacent properties; and c) does not detract from the residential character of the surrounding neighborhood.

(6) All accessory structures shall be screened to the maximum intent possible with landscaping, fencing, or combination thereof, so as to minimize visual impacts from adjacent rights-of-way and from adjoining properties.

(e) *Placement of buildings in the R-2, R-3 and R-4 zones.* Placement of buildings shall be as prescribed in ~~section 90-314~~ section 90-385, except that there shall be a minimum distance between buildings ~~used for human habitation~~ as follows:

Minimum Distance Between Buildings (in feet)			
Adjacent Condition	Stories In Structure		
	<del>1 story to 1 story</del>	<del>1 story to 2 stories</del>	<del>2 story to 3 stories</del>
Wall to wall	10	10	10
Wall to window	10	15	15
Window to window	15	15	20
<u>Patio or Balcony</u>	<u>15</u>	<u>15</u>	<u>20</u>

(f)–

(g)(f) Open space and recreational facilities in the R-2, R-3 and R-4 zones, the following minimum open space and recreational facility requirements shall apply:

(1) *Required area.* Each new apartment project of three or more units shall provide the following usable open space; which shall be exclusive of the front yard setback:

a. *Common open space.*

1. A minimum of 250 square feet of common open space shall be provided for each dwelling unit. ~~Living space shall include but not be limited to areas set aside for sleeping, eating, cooking and sanitation in each dwelling unit.~~ Common open space shall have no dimension less than 25 feet. A minimum of 1,000 square feet of common open space shall be required for any project. Common open space shall be planned and located so that the maximum number of units derives benefit by being adjacent to common open space areas.

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2. The design and orientation of open space shall be oriented to take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets.

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b. *Private open space.*

1. Generally. An average of ~~450-125~~ square feet of private open space shall be provided per unit, with a minimum dimension of seven feet. The following minimum private open space shall be provided for each unit type:

i. One-bedroom or studio: 100 square feet.

ii. Two or more-bedroom: 150 square feet.

2. *Ground floor space.* The patio area shall be completely enclosed on all sides by a minimum 42-inch up to a six-foot high decorative fence or masonry wall.

3. *Above ground floor space.* Private balconies or lanais shall have at least one exterior side open above railing height.

(2) *Minimum open space improvements.* The common open space shall be improved as indicated in this subsection:

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Common Open Space Development Standards

Minimum Open Space Improvement

Number of Units in Development

Minimum Open Space Improvement

Number of Units in Development

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51-

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100-

200 or more

3-25

26-50

51-100

100-200

200 or more

Landscaping with automatic sprinklers

Yes

Yes

Yes

Yes

Yes

Trees per dwelling unit (at least one-third up to one-half of the trees shall be in the open areas. Trees shall be a mix of 24-inch box and 15-gallon size)

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Walkways (at least five (5) feet wide, curvilinear preferred)

Yes

Yes

Yes

Yes

Yes

Sitting areas (shall be located adjacent to walkways and shaded by trees and/or shade facility)

Yes

Yes

Yes

Yes

Yes

Shade facilities (minimum of ten (10) feet by ten (10) feet)

Yes

Yes

Yes

Yes

Yes

Barbecue facilities (at a rate of one (1) grill or pit per ten

Yes

Yes

Yes

Yes

Yes

(10) units)					
Court areas including, but not limited to basketball (full or half) and tennis courts, shuffleboard, horseshoe pits, putting greens and spas	N/A	N/A	Yes	Yes	Yes
Children's play area including, but not limited to swings, slides and bars	N/A	Yes	Yes	Yes	Yes
Pool areas	N/A	N/A	N/A	a	b
Recreation building	N/A	N/A	N/A	c	c

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Footnotes:

a. ~~At least one-third of the common open space shall be in one or more pool areas, with the pool area having no dimension less than 75 feet.~~

b. ~~At least one-half of the common open space shall be in one or more pool areas, with the pool area having no dimension less than 100 feet.~~

c. ~~Recreational buildings are optional, and may be located in the common open space areas. The buildings will be a minimum of 1,000 square feet in size, up to a maximum of 2,500 square feet. Total square footage of all buildings shall not exceed ten percent of the required common open space, or 7,500 square feet, whichever is smaller. If recreational buildings are proposed, the amount of required common open space may be reduced by two square feet for every one square foot of building provided.~~

(2)(3) Adjustments. The director may ~~make adjustments with regard to the~~ type of facilities required ~~where when~~ alternate facilities ~~are provided which are of~~ specific benefit to the type of occupancy anticipated.

(h)(g) Parking in the R-3 and R-4 zones, except for parking lots. The following minimum requirements for parking shall apply:

- (1) No offstreet parking area shall be located facing or adjacent to a required front yard, except garages for the placement of residential units.

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- (2) Parking is discouraged adjacent to a side street frontage, however if parking is placed adjacent to a side street frontage, trees, shrubs, and berms shall be installed in sufficient quantity and size to visually screen vehicles and carport or garage structures.

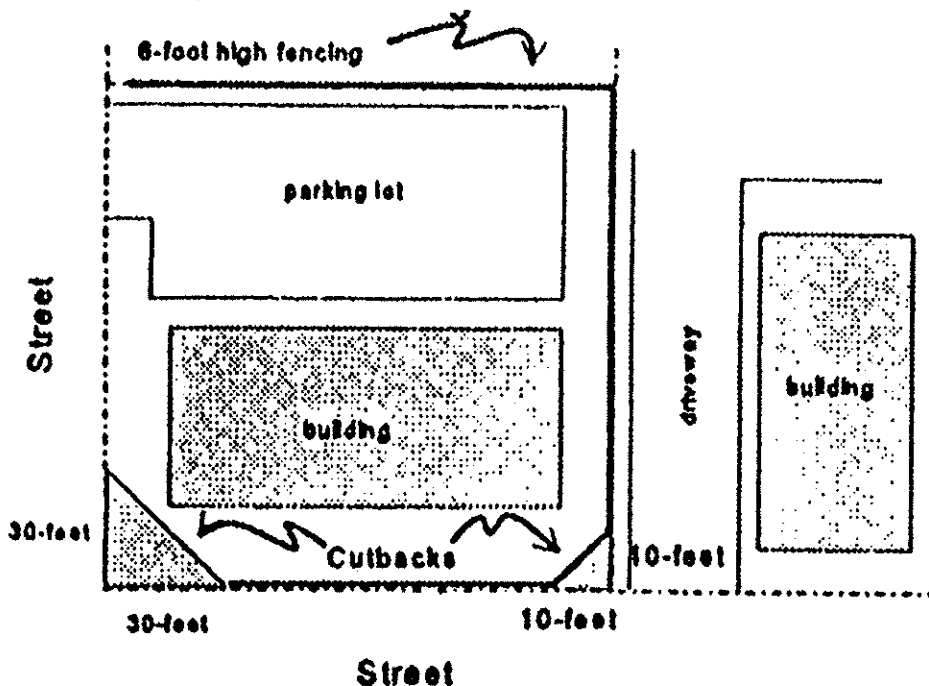
~~(i)~~(h) *Service and refuse areas.* All service ~~areas, areas,~~ refuse collection areas and trash bins shall conform with the setback requirements and shall be completely screened by a solid fence or wall, or shall be enclosed within a building in accordance with the adopted standards of the city.

~~(i)~~ ~~(i)~~

~~(k)~~(i) *Walls, fencing, screening and landscaping.* This section provides for the regulation of location and height of walls, fencing, screening and landscaping so as to allow the enjoyment of the use of property and for the safety of persons using sidewalks and streets related to the property.

- (1) *Fencing generally.* Walls, fences, screening and hedge planting up to a maximum of six feet in height from the highest finished grade may be permitted in any required yard, or along the edge of any yard.
- a. Walls, fences, screening or hedge plantings in any required front yard shall be a maximum of 42 inches in height when measured from the adjacent sidewalk or street, unless expressly permitted by other applicable sections of this chapter.
  - b. A wall, fence or hedge up to six feet in height may be located parallel to the edge of the sidewalk on the street side yard adjacent to the lot, whether the sidewalk area is monolithic or has a planted parkway.
  - c. On corner lots the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The corner cutback shall be defined by a line on a horizontal plane connecting two points along the front and street side property lines and forming a triangle. These points shall be measured 30 feet back from the intersection of the prolongation of the front and street side property lines.
  - d. On lots where the driveway is adjacent to the rear yard of a neighboring lot the corner cutback area shall be free and clear of visual obstructions in excess of 42 inches in height. The cutback lines shall be determined by measuring from the projection of the coterminous front and rear

property line ten feet along the inside edge of the sidewalk and ten feet back from the street connecting the two points forming a 45-degree triangle.



Corner Cutback Lines

- (2) *Wall and landscape buffer for yards adjoining certain uses.* When a site adjoins a single-family zone, or a site general planned for low density single-family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant material, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single-family zone or a site general planned for low density single-family use, no landscaped buffer is required.
- (3) *Block walls.* Block walls or opaque fencing or landscaping materials used for screening purposes shall not be placed within any required front yard or street side yards. Block walls or opaque fencing may be used in other locations.

- (4) *Swimming pool fencing.* Swimming pools shall be entirely enclosed by buildings, fences or walls. The fence or wall shall be at least a minimum of five feet above grade level immediately adjacent thereto, and shall be equipped with self-latching gates or doors, with the latching device not less than four feet above the ground. Prior to filling the pool the required fencing must be in place and approved by the city building department.
- (5) *Security fencing.* Nothing in this section shall be deemed to set aside or reduce the requirements established for security fencing by either local, state or federal law, or by safety requirements of the board of education. A fence or wall shall be constructed along the perimeter of all areas considered by the director to be dangerous to the public health and safety. The height of fence or wall in excess of six feet in height shall be as determined by the director in relation to the danger or hazard involved. Such fence or wall may be required when a use requires a permit, or at the discretion of the director, according to the danger or hazard involved.
- (6) For multiple-family or high density developments such as duplexes, apartments, condominiums, mobile home parks, convalescent homes or similar residential uses, perimeter fencing may be permitted within yard setbacks up to a maximum of six feet in height. Greater fence heights for security reasons may be allowed when the fencing is for security reasons and meet the requirements of section 90-385(i)(5). In all cases the following requirements shall be met:
- a. There shall be at least eight units.
  - b. Fencing shall be wrought iron, tubular steel, or similar materials in combination with masonry no higher than 42 inches in height and wrought iron designed and located in a manner which does not hinder surveillance activities of the police.
  - c. The color of wrought iron shall be either black, white or beige. Any other color requires approval by the director.
  - d. Pilasters shall be up to 18 inches square, and the distance between pilasters shall be at least eight feet edge to edge for the main run of the fence.



- e. Gates shall provide emergency access with the installation of a Knox box system or other similar method approved by the fire department.
- f. Access shall be provided for essential city services, including but not limited to refuse pickup.
- g. A means of access to visitor parking spaces, such as call boxes, shall be provided to the public.
- h. Intersection and driveway visibility is maintained by limiting opaque fencing, including pilasters, to 42 inches in height within cutback areas.
- i. Adequate area for vehicle stacking at the entrance(s) and exit(s) of the development shall be provided and approved by the city traffic engineer.
- j. Concertina, razor, barbed wire, electrified or chainlink materials are expressly prohibited.
- k. A minimum of five feet of live landscaping shall be planted between the curb and fence line (i.e., within the parkway), to soften the appearance of the fence.
- l. Fencing constructed in accordance with this section shall obtain appropriate building permits and inspections. Plans shall be submitted to the building department for review and approval by all affected departments prior to the issuance of permits. The project shall meet applicable requirements of the I.C.B.O. Uniform Building Code, Uniform Fire Code, and related codes.

(7) *For recreational vehicle storage.* Fences for recreational vehicle storage shall be six-foot solid walls (no wood permitted). An additional five feet of fence height may be permitted, consisting of chainlink or wire or any combination thereof, placed on top of the solid wall but not exceeding a total height of 11 feet.

(8) *Landscaping.* Where landscaping is required by this chapter, it shall consist predominantly of plant materials, except for necessary walks and drives. Planted areas, where prescribed, shall be landscaped exclusively with live plant materials. Required landscaping shall be installed in accord with landscaping standards approved by the planning commission, and shall be of types and sizes prescribed in the standards. All screening and landscaping shall be permanently

maintained in an orderly condition. Plant materials shall be watered, weeded, pruned and replaced as necessary to screen or ornament the site.

- (1) ~~9~~When a church, school or college, or public facilities are adjacent to an A or R zone a solid six-foot masonry wall shall be constructed on the adjoining A or R zone property line. A ten-foot landscaped area adjacent to the wall shall also be installed and maintained on the church side of the wall. The landscaping shall consist of plant material, including a minimum 15-gallon evergreen trees planted on 20-foot centers.

(h)(j) ~~j~~Buffer with adjacent uses. All multi-family projects shall provide adequate buffering to adjoining or adjacent uses. This can be accomplished through implementation of the following:

- (1) Grade levels shall be maintained at an equal or lower level than adjacent uses unless there are unique topographical features.
- (2) When adjoining a single family residential use a minimum landscape setback of 20 feet in addition to the five feet per story required under ~~section 90-384~~ section 90-385.
- (3) When the adjacent land use is other than single family residential, the minimum landscape setback shall be ten feet in addition to the five-foot per story required under ~~section 90-384~~ section 90-385 of the zoning ordinance.

(m)(k) ~~k~~Lighting. All on-site lighting shall be shielded to prevent off-site glare.

(1) All outdoor lighting shall be designed to illuminate uses, while minimizing light trespass into neighboring areas.

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(2) The candlepower of outdoor lighting shall be the minimum required for safety purposes.

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(3) Light for safety purposes shall be provided at entryways, along walkways, between buildings, and within parking areas.

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(4) All lights shall be directed, oriented, and shielded downward to prevent light from shining onto adjacent properties, onto public rights-of-way, and into driveway areas in a manner that would obstruct drivers' vision.

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(5) Light sources shall not be located in required buffer areas, except those required to illuminate pedestrian walkways.

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(n)(l) Laundry facilities. Common laundry facilities shall be provided for multi-family projects, unless provided in individual units, at a minimum ratio of one washing machine/dryer for every ten units. Laundry facilities shall be located on each floor unless elevators are provided.

~~m~~

(e)(m) Accessory dwelling units - including "granny flats" and "second units". Accessory dwelling units shall be permitted in R-2, ~~and R-3~~ and R-4 zones subject to the following procedures and criteria.

(1) *Procedures.* An accessory dwelling unit:

- a. Shall be permitted ministerially without discretionary review; and
- b. Shall be approved only if the unit meets all of the criteria listed in subsection ~~90-315 90-386(g)~~(2).

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(2) *Criteria.* ~~Notwithstanding subsection 90-315(a), a~~ An accessory dwelling unit shall meet all of the following criteria.

a. An accessory dwelling unit shall only be located on a lot that has a net lot area equal to or greater than 130 percent of the minimum net lot area of the zone in which it is located.

~~b.~~

~~c. An accessory dwelling unit shall only be located and maintained on a lot with an existing owner-occupied single-family residence. At such time as the principal dwelling unit is no longer owner-occupied, the use of the accessory dwelling unit as a separate dwelling unit shall cease.~~

~~d. c. An accessory dwelling unit shall not be permitted on a lot with more than one existing dwelling unit.~~

~~e. d.~~

~~f. No more than one accessory dwelling unit shall be permitted on a single lot.~~

~~e.~~

g.b. The floor area of an accessory dwelling unit shall not exceed 30 percent of the floor area of the principal dwelling unit.

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~~h.c.~~ **f**The lot upon which an accessory dwelling unit is to be located shall comply with all standards of the zone in which it is located.

~~i.d.~~ **g**An accessory dwelling unit shall be architecturally compatible with the principal dwelling unit. Compatibility shall be based on the architectural style, construction materials, and primary color, of the principal dwelling unit.

~~j.e.~~ **h**An accessory dwelling unit shall not exceed the height of the principal dwelling unit.

~~k.f.~~ **i**An accessory dwelling unit shall comply with the required setbacks of the zone in which it is located. In addition to the required setbacks, a second unit shall not be located closer to the front property line than the principal dwelling unit.

~~l.g.~~ **j**The floor area of a second unit shall be subject to the limitation of allowable total area of accessory structures for the lot on which it is located as specified in subsections ~~90-315(d) and 90-385 90-386(de)~~.

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~~m.h.~~ **k**An accessory dwelling unit shall provide one parking space per bedroom in a garage or carport. Said parking space(s) shall be in addition to spaces required for the principal dwelling unit and shall otherwise meet the requirements of Hemet Municipal Code, Chapter 90, Article XL.

~~n.~~ **l**The applicant for an accessory dwelling unit shall be the owner of the principal dwelling unit.

~~o.~~ **m.**

~~— An accessory dwelling unit may not be metered separately from the principal dwelling unit for gas, electricity, and water/sewer services and may not be sold separate and apart from the principal dwelling unit.~~

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~~p.~~ **n.**

~~q.~~ **o.** Prior to the issuance of a building permit for an accessory dwelling unit, a covenant of restriction to run with the land, shall be recorded which specifies that the use of the accessory dwelling unit as an independent dwelling unit may continue only as long as the conditions on the lot remain in compliance with the criteria listed in this section and the accessory dwelling unit may not be sold separate and apart from the principal dwelling unit.

~~f. o.~~

~~i.~~ An accessory dwelling unit shall not cause the level of traffic, water, or sewer service to drop below the minimum standards established in the city's general plan.

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~~e.i. p~~ This section shall not validate any existing ~~illegal-unpermitted~~ accessory dwelling unit. An application for an accessory dwelling unit may be submitted to convert an ~~illegal-unpermitted~~ accessory dwelling unit to a conforming ~~legal~~-accessory dwelling unit; however, the standards and requirements for said conversion shall be the same as for a newly proposed accessory dwelling unit.

~~e~~  
**Sec. 90-385387. – Senior Residential Projects.**

The following development standards shall be applied to ~~a~~ ~~apartment, condominium or similar residential units for~~ senior residential projects permitted within ~~the R-2, R-3 and R-4 zones~~. In the event that specific development standards are not set forth below, the standards contained in Section 90-385 and 90-386 shall apply.

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~~(1)~~ *Density.* Density shall be within the density limitations of the applicable zone. ~~Density bonuses shall be allowed as permitted by Government Code §65915 et seq; and Article VI. of the Hemet Municipal Code;~~

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~~(4)(2)~~ *Floor area.* The interior floor area of the individual senior housing units may be reduced below the minimum floor area per unit types required in Section 90-385 provided that additional square footage is allocated to common area activity centers or facilities. In no case shall a one-bedroom units be less than 460 square feet or a two-bedroom unit be less than 690 square feet;

~~(2)(3)~~ *Accessibility.* Dwelling units shall be constructed with Americans with Disabilities Act compliant features in accordance with State and Federal accessibility requirements;

~~(3)(4)~~ *Parking.* Parking requirements shall be subject to the Hemet Municipal Code Article XL;

~~(4)(5)~~ *Occupancy.* The occupancy of all dwelling units within an approved senior-only housing development shall be secured by appropriate conditions, covenants, and restrictions (CC&Rs) recorded against the property and provided to the City prior to the issuance of Building Permits;

(6) Open space reduction. Senior-only housing developments may request a reduction in private and common open space required per unit pursuant to this Article, provided that compensating alternative indoor, recreational or outdoor open space amenities is approved by the Community Development Director or the Planning Commission as a component of the Site Development Review;

(7) Wall and landscape buffer for yards adjoining certain uses. Where a site adjoins a single family zone or a site general planned for low-density single family use, a solid masonry wall six feet in height shall be located adjoining the property line, except adjoining a required front yard; and an area at least five feet in depth adjoining the property line shall be landscaped with live plant materials, including trees. Where a carport or garage is placed within three feet of a property line adjoining a single family zone or a site general planned for low density single family use, no landscape buffer is required;

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(5)(8) Recreational facilities. An indoor recreation building or space shall be provided for each senior development project based on the following:

a. For developments of 20 units up to 100 units, a minimum of 1,200 square feet, or 25 square per unit, whichever is greater;

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b. For developments with 100 or more units, a minimum of 1,600 square feet, or ten square feet per unit, whichever is greater, to a maximum requirement of 4,000 square feet;

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c. The recreation building shall provide the following uses: kitchen, library, dining and game playing area, restrooms and conversation and lounging areas. An outdoor patio and recreation area shall be provided in addition to these uses.

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(9) Elevators. Any project two stories in height or greater shall be furnished with an elevator large enough to accommodate a gurney, which shall be accessible to all units higher than the first floor.

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(Ord. No. 1552, § 2, 1-28-97; Ord. No. 1581, § 2, 2-24-98; Ord. No. 1657, § 1, 2-12-02; Ord. No. 1675, 10-8-02; Ord. No. 1684, § 1—5, 5-27-03; Ord. No. 1782, § 2(Exh. B), 7-10-07; Ord. No. 1783, § 1, 7-10-07)

Secs. 90-386388—90-420. - Reserved.

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**FOOTNOTE(S):**

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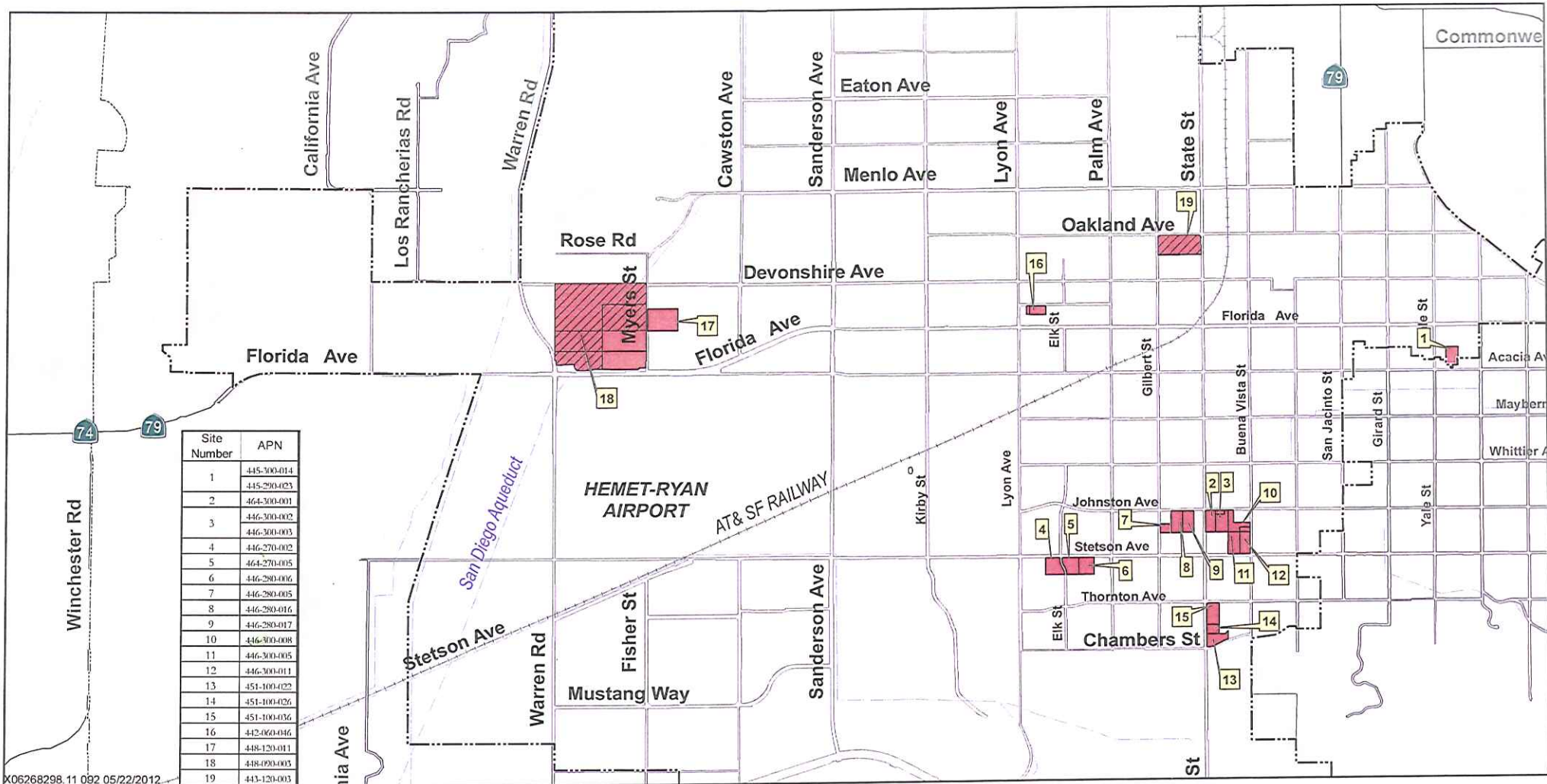
<sup>(105)</sup> *Editor's note— Ordinance No. 1552, § 2, adopted January 28, 1997, reorganized the residential zones by deleting §§ 90-381—90-393 and adding §§ 90-381—90-385. Formerly, such sections pertained to R-2 two-family zone and derived from Ord. No. 1217; Ord. No. 1229, §§ 21600—21612 of the 1984 Code; Ord. No. 1520, § 1, 5-23-95.*

DRAFT

# Attachment 5

Hemet General Plan  
Figure 11.1 Vacant Multi-  
Family Sites





X06268298.11 092 05/22/2012



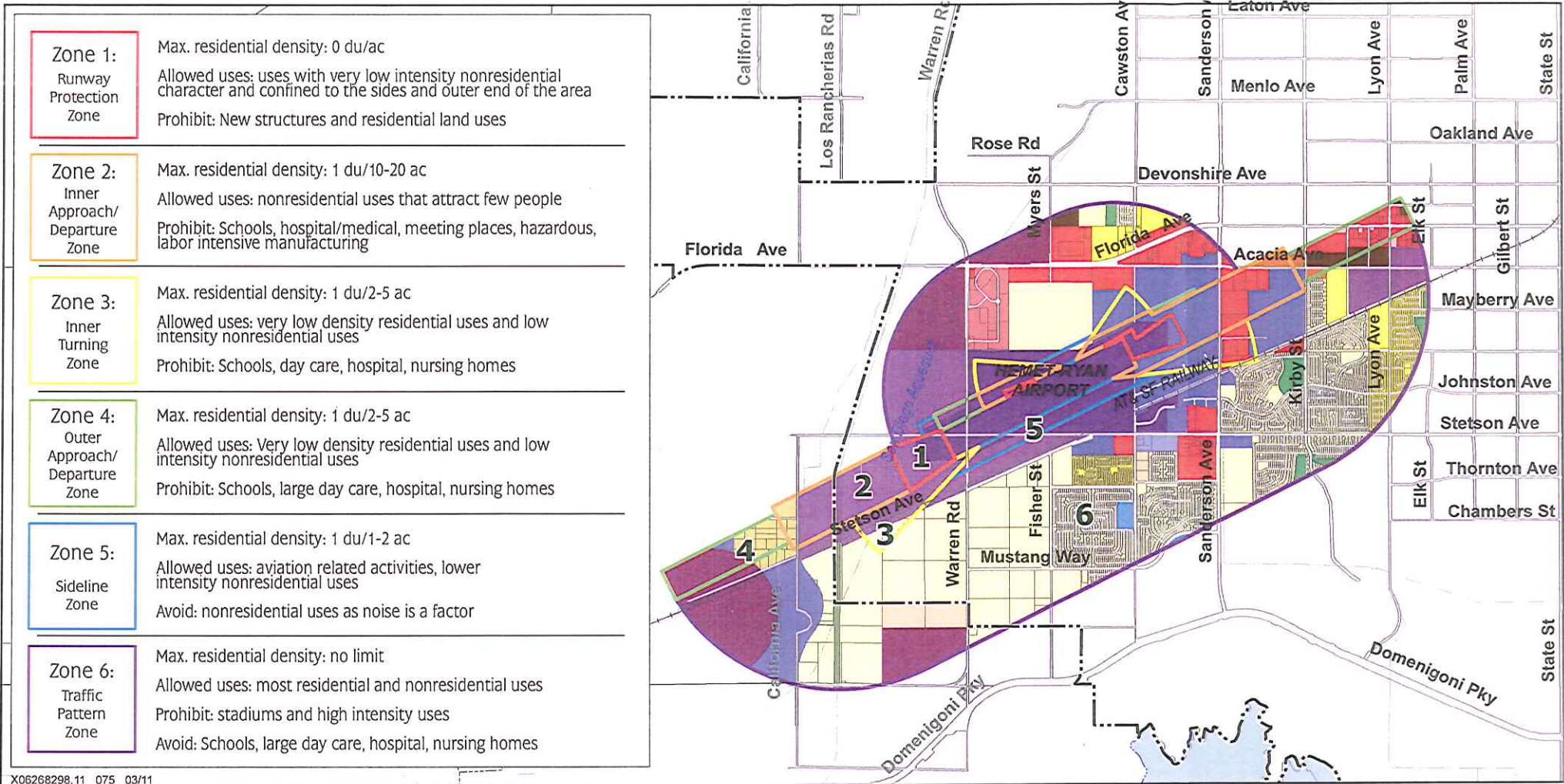
Sources:  
Census Tiger Line Data 2005  
ESRI 2010



LEGEND

- Vacant Multi-Family Sites
- Mixed Use Sites
- Hemet City Boundary
- Planning Area
- Street
- Railroad
- Creek/Canal
- River/Lake

Figure 11.1  
**VACANT MULTI-FAMILY SITES**  
Hemet General Plan



X06268298.11 075 03/11

Sources:  
 Census Tiger Line Data 2005  
 DMJM 2011  
 ESRI 2010

3,000 1,500 0 3,000  
 Feet

**LEGEND**

General Plan Land Use Designations

Rural Residential	Very High Density Residential	Industrial	Hemet City Boundary
Low Density Residential	Regional Commercial	Business Park	Planning Area
Low Medium Density Residential	Neighborhood Commercial	Airport	Street
Medium Density Residential	Community Commercial	School	Railroad
High Density Residential	Mixed Use	Park	Creek/Canal
	Office Professional	Open Space	River/Lake

## HEALTH AND SAFETY CODE

### SECTION 17020-17024

17020. (a) Except as otherwise provided in this part, the provisions of this part, building standards published in the State Building Standards Code relating to employee housing, and the other rules and regulations promulgated pursuant to the provisions of this part which relate to labor camps apply in all parts of the state and supersede any ordinance or regulations enacted by any city, county, or city and county applicable to labor camps. Rules and regulations adopted or continued in effect prior to January 1, 1980, by former Chapter 4 (commencing with Section 2610) of Part 9 of Division 2 of the Labor Code are hereby continued in effect as rules and regulations under this part until amended or repealed by the Department of Housing and Community Development.

(b) Building standards, as defined by Section 18909, shall remain in effect only until January 1, 1985, or until adopted, amended, or superseded by provisions published in the State Building Standards Code relating to employee housing pursuant to Chapter 4 (commencing with Section 18935) of Part 2.5, whichever occurs sooner.

17021. (a) Except as provided in Sections 17021.5 and 17021.6, local use zone requirements, local fire zones, property line, source of water supply and method of sewage disposal requirements are hereby specifically and entirely reserved to the local jurisdictions.

(b) Notwithstanding any other provision of law, with respect to a building permit, grading permit, or other approval from a city or county building department for the rehabilitation of real property improvements that are or will be employee housing for agricultural employees, or from a city or county health department for the operation, construction, or repair of a water system or waste disposal system servicing employee housing for agricultural employees, all of the following processing requirements shall apply:

(1) The local building or health department shall have up to 60 calendar days to approve or deny a complete application or permit request accompanied by applicable fees, or a shorter time period if required by the Permit Streamlining Act (Chapter 4.5 (commencing with Section 65920) of Division 1 of Title 7 of the Government Code). An application or permit request may be denied on procedural grounds only if the denial occurs within 30 calendar days and the denial includes an itemization of the procedural defects. An application or permit request may be denied on substantive grounds if the denial includes an itemization of all substantive defects.

(2) If the application or permit request is not approved or denied by the local building or health department within the period prescribed by paragraph (1), then the Department of Housing and Community Development may approve the application or permit request if it determines that the plans are consistent with all applicable building codes and health and safety requirements. At that time, the applicant may initiate any work consistent with the application or permit approved pursuant to this subdivision. Upon completion of the work, any other state or local agency shall accept the improvements as if they had been approved by the local building or health department. However, if that other local agency identifies any

defects that would have resulted in that agency's disapproval of the improvements or plans thereto, those defects may be identified by the agency and shall be corrected by the applicant. The local building or health department shall inspect the plans and improvements prior to and during rehabilitation and issue a certificate of completion if the work is consistent with the plans and all applicable building codes and health and safety requirements.

(c) Nothing in this section shall be construed to exempt an application or permit request from complying with the California Environmental Quality Act (Division 13 (commencing with Section 21000) of the Public Resources Code).

(d) For purposes of this section, "agricultural employee" has the same meaning specified in subdivision (b) of Section 1140.4 of the Labor Code.

(e) The Department of Housing and Community Development may recover from a local building or health department costs incurred to review an application or permit request in compliance with paragraph (2) of subdivision (b). The amount recoverable may not exceed the applicable plan check fee published by the International Conference of Building Officials.

17021.5. (a) Any employee housing which has qualified, or is intended to qualify, for a permit to operate pursuant to this part may invoke the provisions of this section.

(b) Any employee housing providing accommodations for six or fewer employees shall be deemed a single-family structure with a residential land use designation for the purposes of this section. For the purpose of all local ordinances, employee housing shall not be included within the definition of a boarding house, rooming house, hotel, dormitory, or other similar term that implies that the employee housing is a business run for profit or differs in any other way from a family dwelling. No conditional use permit, zoning variance, or other zoning clearance shall be required of employee housing that serves six or fewer employees that is not required of a family dwelling of the same type in the same zone. Use of a family dwelling for purposes of employee housing serving six or fewer persons shall not constitute a change of occupancy for purposes of Part 1.5 (commencing with Section 17910) or local building codes.

(c) Except as otherwise provided in this part, employee housing that serves six or fewer employees shall not be subject to any business taxes, local registration fees, use permit fees, or other fees to which other family dwellings of the same type in the same zone are not likewise subject. Nothing in this subdivision shall be construed to forbid the imposition of local property taxes, fees for water services and garbage collection, fees for normal inspections, local bond assessments, and other fees, charges, and assessments to which other family dwellings of the same type in the same zone are likewise subject. Neither the State Fire Marshal nor any local public entity shall charge any fee to the owner, operator or any resident for enforcing fire inspection regulations pursuant to state law or regulation or local ordinance, with respect to employee housing which serves six or fewer persons.

(d) For the purposes of any contract, deed, or covenant for the transfer of real property, employee housing which serves six or fewer employees shall be considered a residential use of property and a use of property by a single household, notwithstanding any disclaimers to the contrary. For purposes of this section, "employee housing" includes employee housing defined in subdivision (b) of

Section 17008, even if the housing accommodations or property are not located in a rural area, as defined by Section 50101.

(e) The Legislature hereby declares that it is the policy of this state that each county and city shall permit and encourage the development and use of sufficient numbers and types of employee housing facilities as are commensurate with local needs. This section shall apply equally to any charter city, general law city, county, city and county, district and any other local public entity.

17021.6. (a) The owner of any employee housing who has qualified or intends to qualify for a permit to operate pursuant to this part may invoke this section.

(b) Any employee housing consisting of no more than 36 beds in a group quarters or 12 units or spaces designed for use by a single family or household shall be deemed an agricultural land use for the purposes of this section. For the purpose of all local ordinances, employee housing shall not be deemed a use that implies that the employee housing is an activity that differs in any other way from an agricultural use. No conditional use permit, zoning variance, or other zoning clearance shall be required of this employee housing that is not required of any other agricultural activity in the same zone. The permitted occupancy in employee housing in a zone allowing agricultural uses shall include agricultural employees who do not work on the property where the employee housing is located.

(c) Except as otherwise provided in this part, employee housing consisting of no more than 36 beds in a group quarters or 12 units or spaces designed for use by a single family or household shall not be subject to any business taxes, local registration fees, use permit fees, or other fees to which other agricultural activities in the same zone are not likewise subject. This subdivision does not forbid the imposition of local property taxes, fees for water services and garbage collection, fees for normal inspections, local bond assessments, and other fees, charges, and assessments to which other agricultural activities in the same zone are likewise subject. Neither the State Fire Marshal nor any local public entity shall charge any fee to the owner, operator, or any resident for enforcing fire inspection regulation pursuant to state law or regulations or local ordinance, with respect to employee housing consisting of no more than 36 beds in a group quarters or 12 units or spaces designed for use by a single family or household.

(d) For the purposes of any contract, deed, or covenant for the transfer of real property, employee housing consisting of no more than 36 beds in a group quarters or 12 units or spaces designed for use by a single family or household shall be considered an agricultural use of property, notwithstanding any disclaimers to the contrary. For purposes of this section, "employee housing" includes employee housing defined in subdivision (b) of Section 17008, even if the housing accommodations or property are not located in a rural area, as defined by Section 50101.

(e) The Legislature hereby declares that it is the policy of this state that each county and city shall permit and encourage the development and use of sufficient numbers and types of employee housing facilities as are commensurate with local need. This section shall apply equally to any charter city, general law city, county, city and county, district, and any other local public entity.

(f) If any owner who invokes the provisions of this section fails to maintain a permit to operate pursuant to this part throughout the first 10 consecutive years following the issuance of the original

certificate of occupancy, both of the following shall occur:

(1) The enforcement agency shall notify the appropriate local government entity.

(2) The public agency that has waived any taxes, fees, assessments, or charges for employee housing pursuant to this section may recover the amount of those taxes, fees, assessments, or charges from the landowner, less 10 percent of that amount for each year that a valid permit has been maintained.

(g) Subdivision (f) shall not apply to an owner of any prospective, planned, or unfinished employee housing facility who has applied to the appropriate state and local public entities for a permit to construct or operate pursuant to this part prior to January 1, 1996.

17021.7. Notwithstanding subdivision (b) of Section 18214, subdivision (b) of Section 18862.39, and subdivision (b) of Section 18862.47, mobilehomes and recreational vehicles used to house agricultural employees shall be maintained in conformity with the applicable requirements of the Mobilehome Parks Act (Part 2.1 (commencing with Section 18200)).

17022. Enforcement of occupational safety and health standards established pursuant to Chapter 6 (commencing with Section 140) of Division 1 of the Labor Code is hereby specifically and entirely reserved to the Division of Industrial Safety.

17022.5. The department shall adopt, and make available to the public, model or prototype plans for several types of employee housing, including, but not limited to, barracks, seasonal housing, family housing, and recreational vehicle parks. Any person intending to construct employee housing may adopt one or more of these models as the plans for the proposed housing.

17023. (a) Rules and regulations adopted or continued in effect pursuant to the provisions of this part relating to the erection or construction of buildings or structures within employee housing shall not apply to existing buildings or structures or to buildings and structures as to which construction is commenced or approved prior to the effective date of the rules and regulations, except by act of the Legislature, but regulations relating to use, maintenance, and occupancy shall apply to all employee housing approved for construction and operation before or after the effective date of these rules and regulations.

(b) Building standards, as defined in Section 18909, shall remain in effect only until January 1, 1985, or until adopted, amended, or superseded by provisions published in the State Building Standards Code pursuant to Chapter 4 (commencing with Section 18935) of Part 2.5, whichever occurs sooner.

17024. This part does not apply to resident-employment housing

provided for faculty or employees of any public or privately operated school, college, or university. This part does not apply to any employee housing owned, operated, and maintained by any of the following:

- (a) The federal government.
  - (b) The state.
  - (c) Any agency or political subdivision of the state.
  - (d) Any city, county, or city and county.
-

HEMET-RYAN AIRPORT  
COMPREHENSIVE AIRPORT LAND USE PLAN

1992

SECOND EDITION

INCORPORATES AMENDMENT ADOPTED APRIL 16, 2009

EXCERPTS



## I. RELATIVE RISK CONCEPT

### Relative Risk Principle:

The purpose of this document is to identify potential risks and noise associated with aircraft and airport operations as that risk and noise relates to existing and future land uses within the horizontal surface or area of influence of the airport. This assessment of noise and risk will be used by Riverside County, the City of Hemet, and the Riverside County Airport Land Use Commission in making land use decisions. Three areas are defined herein; Area I, Area of Extreme Risk; Area II, Area of High Risk; and Area III, Area of Moderate Risk. The concept is that each successive area is influenced by less relative risk and less noise than the preceding area. The areas were defined by use of characteristic flight paths of various aircraft using the airport, and existing and projected noise contours. Details of the selection criteria which defines each area is listed in the section defining the relative risk areas.

## II. DEFINITIONS

### A. Critical Facilities:

Examples (including but not limited to):

1. Telephone Exchanges
2. Electrical Transformer Relays
3. Radio HV Studies

### B. Discretionary Review:

Land Uses

There exists a wide variety of land uses categories. To deal with the review of such land uses in a practical manner, a discretionary review procedure is employed.

The discretionary review procedure is located in Section VIII, Discretionary Review Procedures, page 36.

### C. Hazardous Materials:

Examples (including, but not limited to):

1. Flammable Liquids
2. Flammable Materials
3. Combustible Materials
4. Explosive Materials
5. Pesticides
6. Cleaning Agents
7. Compressed Gas
8. Feed and Flour Mills
9. Plastics Manufacturing/Storage
10. Breweries

D. Institutional:

Examples (including but not limited to):

1. School
2. Church and Similar Uses
3. Motel
4. Hospital
5. Nursing Home
6. Health Facilities
7. Clinic
8. Care Homes
9. Convalescent Facilities
10. Day Care

E. Places of Assembly

Any structure, public or private, or premise, or portion thereof exceeding 1,500 square feet in area, where the Building Code would provide for occupancy levels of an intensity exceeding one person per 30 square feet, which is designed or used for entertainment, amusement, instruction, education, worship, deliberation, display, meeting, awaiting transportation or for the consumption of food and drink.

Examples include, but are not limited to:

1. Auditorium
2. Theatre
3. Restaurant
4. Church
5. Clubhouse

6. Arena
7. Stadium
8. Circus
9. Bowling Alleys

### III. RELATIVE RISK AREAS

#### A. AREA I: Area of Extreme Risk

The imaginary approach surface defined by Federal Aviation Regulations (Federal Aviation Regulations (FAR), Volume XI, Part 77, Objects Affecting Navigable Airspace), as the approach surfaces for the size and types of runways at the airport.

This area was designated by the subcommittee as the highest relative risk area due to the convergence of flight paths and the resultant high volume of aircraft. Aircraft are descending or ascending, changing power settings, and performing critical turns; thus, the possibility of an aircraft related incident occurring is higher in these areas. The noise level is also higher due to the lower altitude of aircraft.

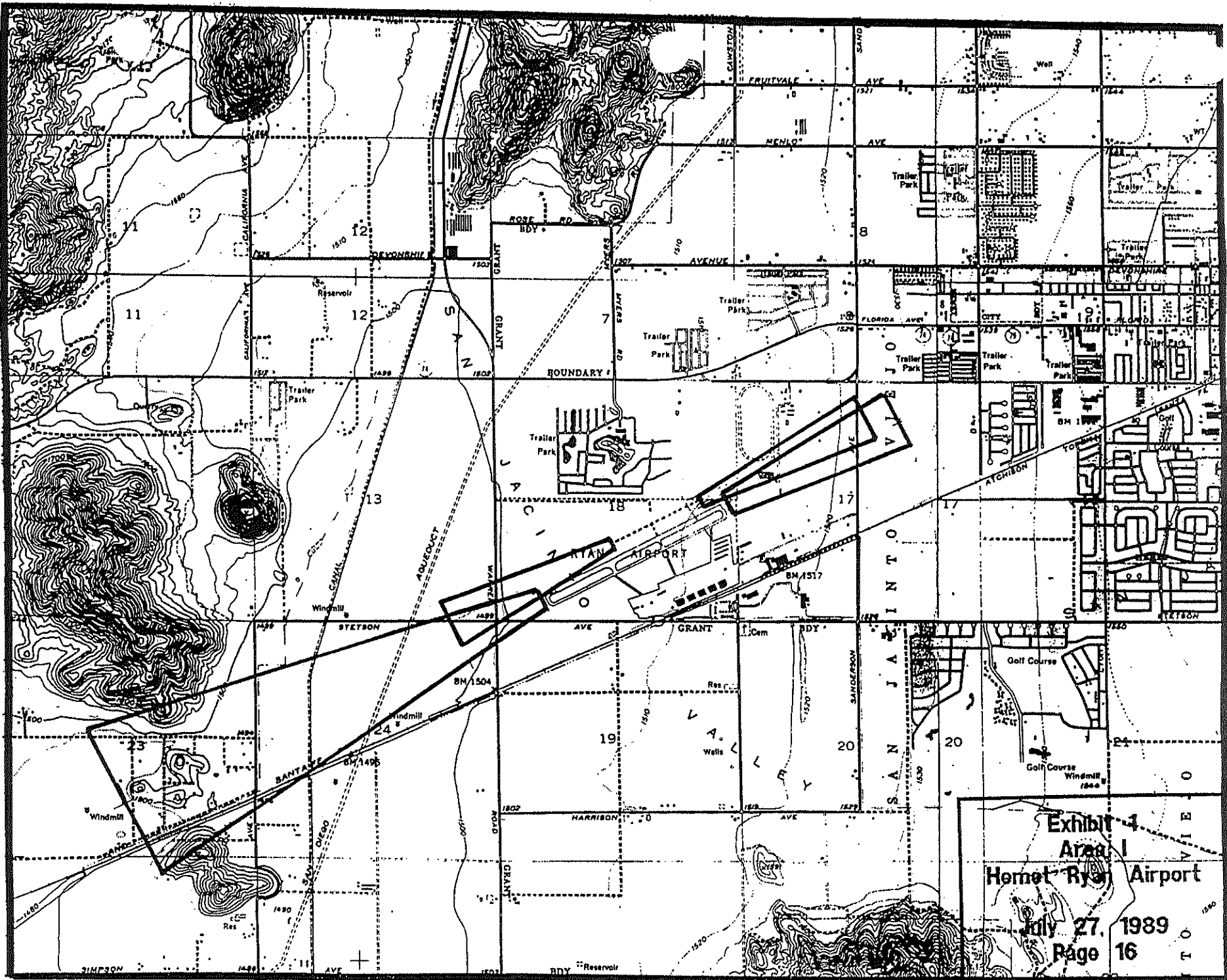


Exhibit 4  
Area I  
Hermet Ryan Airport  
July 27, 1989  
Page 16

B. AREA II: Area of High Risk

An area defined by the subcommittee on July 29, 1982, and revised October 1982, to be an area of greatest safety concerns. The safety concerns are due to aircraft ascending, descending, turning, and changing power settings when landing at or taking off from the airport.

Area II illustrates the general flight paths of the various types of aircraft using the airport. The hazards in this area are similar to those in Area I approach zones, but the influence of the same factors of landing, take-off and noise are not as severe and the aircraft are higher in altitude; therefore, the policies are not as severe. The boundaries of the area were established to coincide as much as possible to areas where aircraft would be in the landing - take-off generalized pattern and would be turning and applying or reducing power (again, higher risk of something happening).

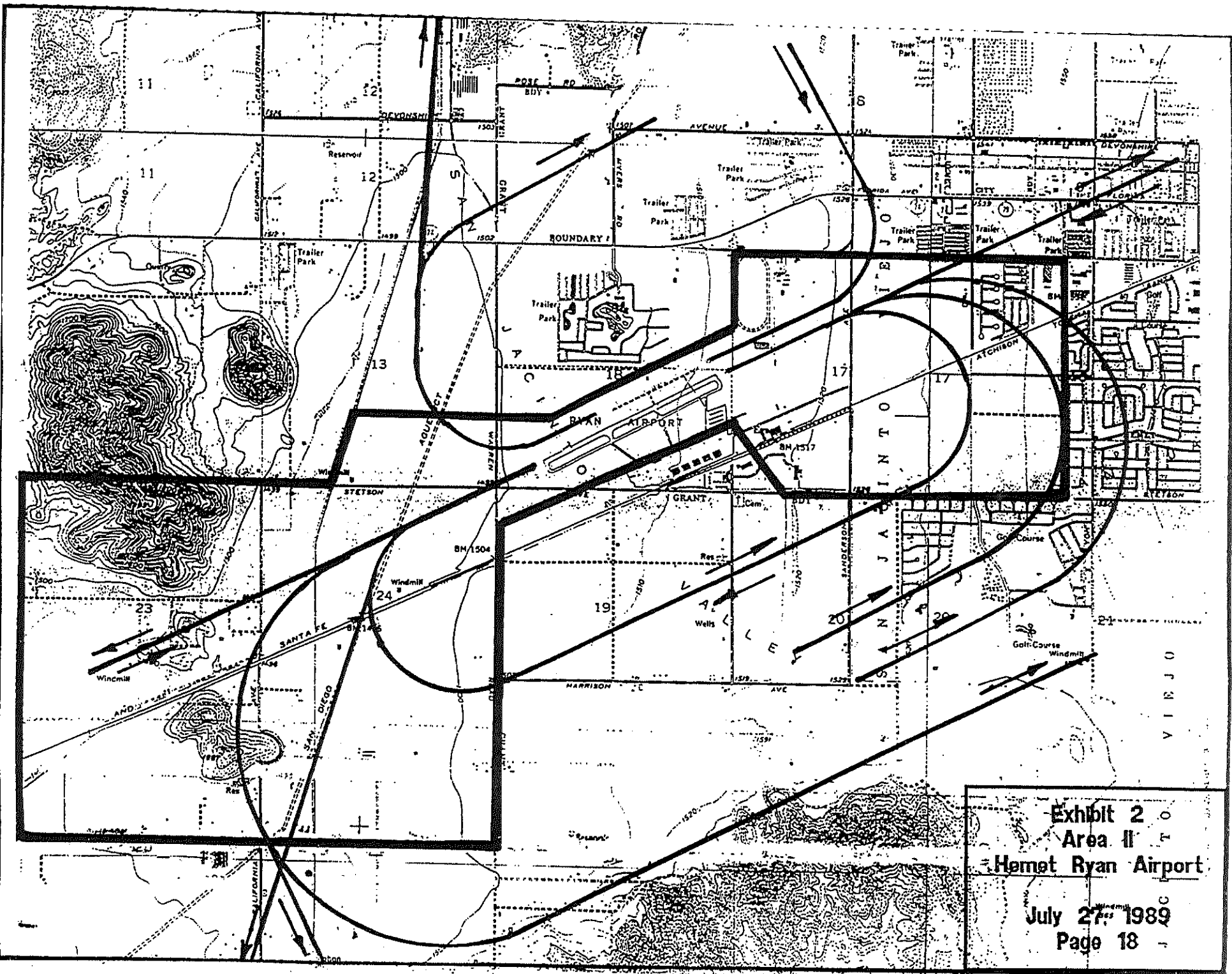


Exhibit 2  
Area II  
Hemet Ryan Airport



C. TRANSITION AREA:

The subcommittee determined that the distinction from Area II to Area III is very abrupt. In Area II, residential dwelling units are on large acreage (2-1/2 acres per dwelling unit). In Area III, a wide range of land uses are permitted. The subcommittee reviewed several issues to create a smoother transition. The issues included density, height, institutional uses, place of assembly, and hazardous materials.

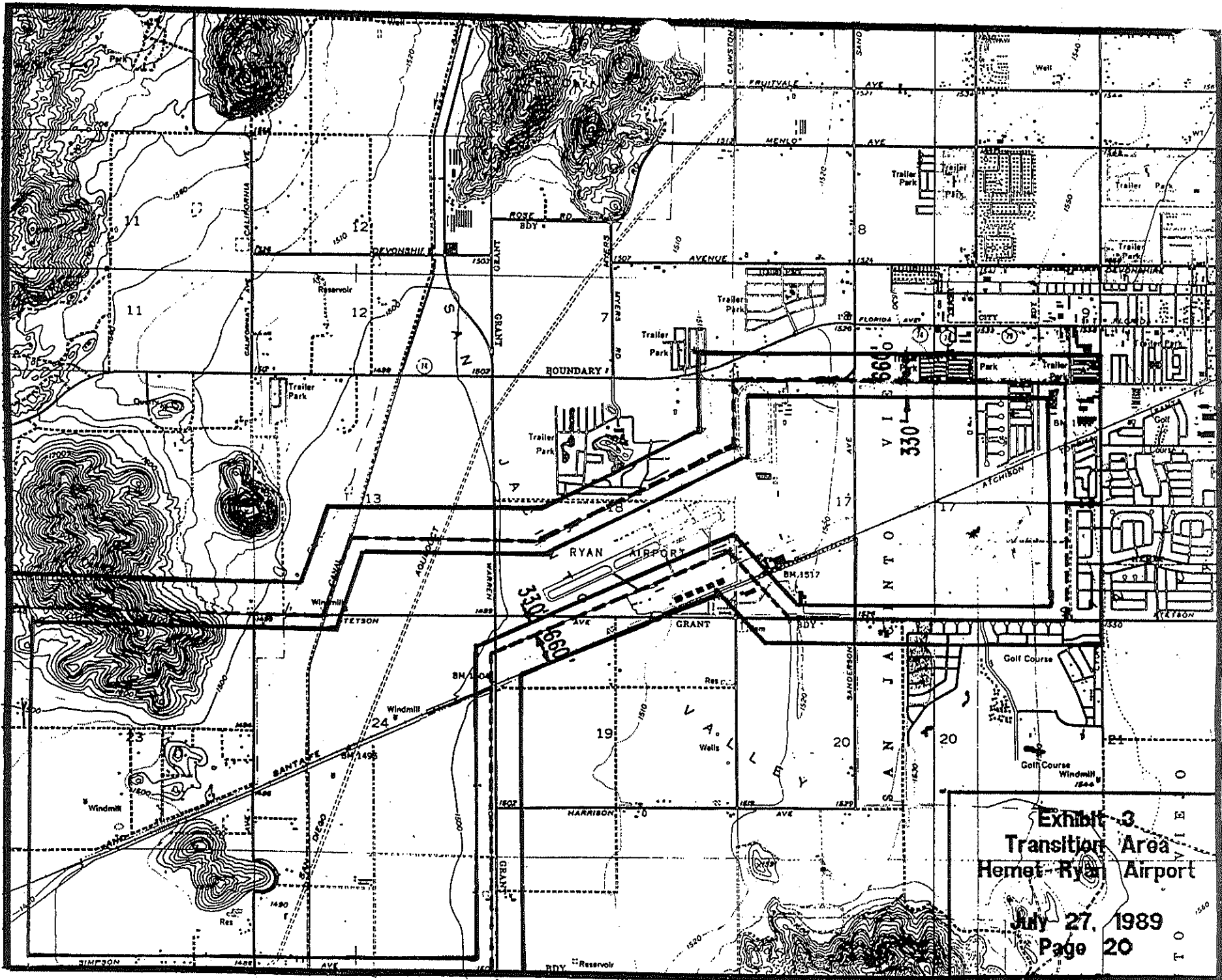


Exhibit 3  
Transition Area  
Hemet-Ryan Airport

July 27, 1989  
Page 20

D. AREA III: Area of Moderate Risk

The outer boundary of the Area of Moderate Risk is based upon the outer radius of the imaginary horizontal surface of the airport as defined in Federal Aviation Regulations (FAR), Part 77. This area is normally used to determine whether obstructions exist within the area where aircraft are most likely to be maneuvering. It was designated by the Airport Subcommittee as the Area of Moderate Risk due to the flight paths and aircraft noise which are present in the entire area. The boundaries of Area III for planning purposes have been adjusted to follow roads or section lines for easy identification. It is bounded by Eaton Avenue on the north, Palm Avenue on the east, Simpson Avenue on the south, and the section line dividing Sections 2 and 3, 10 and 11, 14 and 15, 22 and 23, and N 1/2 of Sections 26 and 27, T5S, R2W, SBB & M on the west.

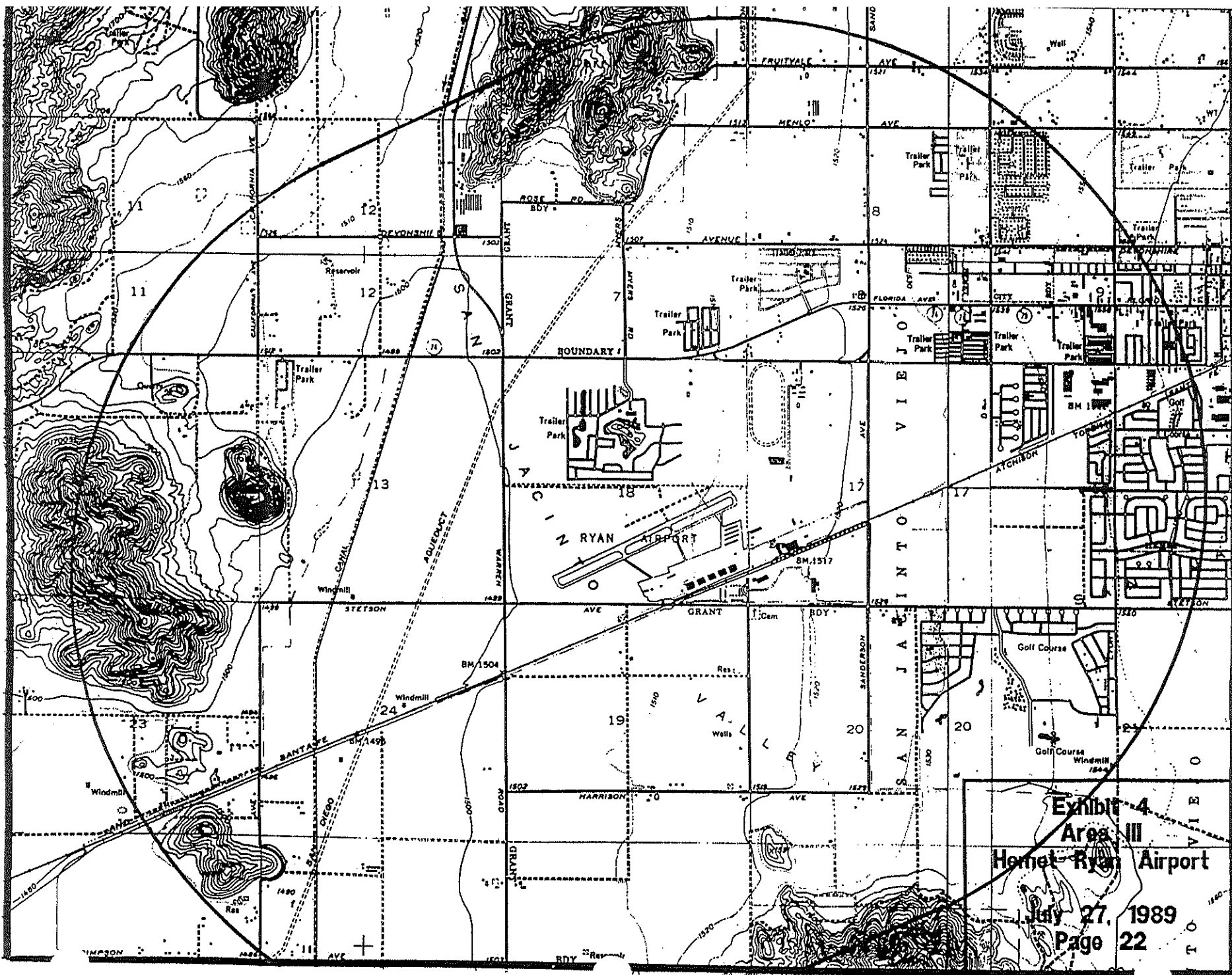


Exhibit 4  
Area III  
Homet-Ryan Airport  
July 27, 1989  
Page 22

V. LAND USE POLICIES

A. AREA I: Area of Extreme Risk

Policies

Area I shall be kept free of all high risk land uses. In general, high risk land uses have one or more of the following characteristics:

- 1) Hazardous Material Facilities
- 2) Institutional Uses
- 3) Places of Assembly
- 4) Critical Facilities
- 5) Residential Use
  - a. No residential uses shall be permitted within Area I one mile from the runway threshold.
  - b. Residential lot sizes larger than 2-1/2 acres per dwelling unit shall be subject to discretionary review.

Permitted Uses

1. Agriculture
2. Open Space

Discretionary Review Uses

1. Commercial
2. Industrial
3. Residential uses larger than 2-1/2 acres per dwelling unit.

B. AREA II: Area of High Risk

Policies

1. Area II shall have a minimum residential lot size of 2-1/2 acres or greater
2. Public and Private schools shall not be permitted in Area II.
3. Institutional uses, places of assembly and hazardous material facilities shall not be permitted in Area II.

Permitted Uses

1. Industrial
2. Agricultural
3. Minimum Residential lot sizes larger than 2-1/2 acres per dwelling unit.

Discretionary Uses

1. Commercial

C. TRANSITION AREA

Policies

1. The Transition Area is located between Area II and Area III. It is 330 feet inside the Area II boundary and 660 feet outside the Area II boundary.

2. If 50% or more of the project site is in the Transition Area, it shall be considered part of the Transition Area.
3. The Transition Area shall not extend beyond the outer boundary of Area III or extend into Area I.
4. Residential density in the Transition Area is limited to not more than 20 dwelling units per acre and maybe less pending a discretionary review. All multiple family dwelling units shall be subject to a discretionary review.
5. All structures shall be limited to 35' in height or two stories, whichever is less.
6. Any Institutional Uses, Places of Assembly, and Public and Private Schools shall require a discretionary review as to its location and relative risk area.
7. Commercial, Industrial, Manufacturing, and Agriculture uses which are two stories in height or less shall be permitted in this area subject to relevant standards.
8. Activities involving hazardous materials shall be subject to a discretionary review.

Permitted Uses

1. Commercial
2. Industrial
3. Manufacturing
4. Agricultural

Discretionary Uses

1. Residential dwelling units
2. Institutional
3. Places of Assembly
4. Public and Private Schools
5. Hazardous Material Facilities

D. AREA III: Area of Moderate Risk

Policies

1. Permitted Uses
  - a. Wide range of uses are permitted
2. Discretionary Uses
  - a. Structures over 35' or 2 stories, whichever is greater.
  - b. Institutional
  - c. Places of Assembly
  - d. Hazardous Materials
  - e. Public & Private Schools

E. NOISE AND SOUNDPROOFING REQUIREMENTS

1. Avigation Easements shall be required for all land uses in Areas I, II, and III.
2. Any habitable structures to be constructed in the 2005 average annual day 60 CNEL noise contour (as defined in the Noise Contour Study dated January, 1989, prepared by



## **NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, July 4 (Independence Day).

**PLACE OF HEARING:** Riverside County  
Administration Center 4080 Lemon St., 1st Floor  
Hearing Room Riverside, California

**DATE OF HEARING:** Thursday, July 11, 2013

**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:** ZAP1028HR13 – City of Hemet – Case Nos. ZOA 13-001, ZOA 13-006, and ZC 13-001 are proposals to bring the City's zoning ordinance and zoning map into consistency with the City's new Housing Element. ZOA 13-001: (1) establishes emergency shelters as a special housing classification, permits existing emergency shelters "by right" in the C-1 zone and allows new emergency shelters with conditional use permit approval in the C-M zone; (2) permits farm worker housing of up to 36 beds or 12 family units "by right" in the A, A-1-C, and A-2-C (agricultural) zones; (3) amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing; and (4) changes the "Senior Housing Overlay Zone" to a "Senior Housing Designation" that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions. ZOA 13-006 amends the Multiple-Family Zones section of the City's zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, establishing a list of permitted uses in the R-4 zone and modifying this list in the R-2 and R-3 zones, establishing development standards in the R-4 zone, and modifying development standards in the R-2 and R-3 zones. Finally, ZC 13-001 establishes R-4 zoning on 21 parcels in the City of Hemet, including 4 parcels within the boundaries of an Airport Land Use Plan. (Citywide, including Areas I, II, Transition Area, and III of the Hemet-Ryan Airport Influence Area.)

### **FURTHER INFORMATION:**

Contact John Guerin at (951) 955-0982.  
The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Nancy Gutierrez of the City of Hemet Planning Department, at (951) 765-2382

# NOTICE OF PUBLIC HEARING

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PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: June 11, 2013

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1028HR13 – City of Hemet – Case Nos. ZOA 13-001, ZOA 13-006, and ZC 13-001 are proposals to bring the City's zoning ordinance and zoning map into consistency with the City's new Housing Element. ZOA 13-001: (1) establishes emergency shelters as a special housing classification, permits existing emergency shelters "by right" in the C-1 zone and allows new emergency shelters with conditional use permit approval in the C-M zone; (2) permits farm worker housing of up to 36 beds or 12 family units "by right" in the A, A-1-C, and A-2-C (agricultural) zones; (3) amends the provisions of the Small Lot Residential zone so as not to be limited to application only to senior housing; and (4) changes the "Senior Housing Overlay Zone" to a "Senior Housing Designation" that may be applied on the Zoning Map to qualifying senior housing developments with recorded covenants, conditions, and restrictions. ZOA 13-006 amends the Multiple-Family Zones section of the City's zoning ordinance by establishing the R-4 zone classification allowing up to 45 dwelling units per acre, limiting densities in the R-2 zone to a maximum of 8 dwelling units per acre, establishing a list of permitted uses in the R-4 zone and modifying this list in the R-2 and R-3 zones, establishing development standards in the R-4 zone, and modifying development standards in the R-2 and R-3 zones. Finally, ZC 13-001 establishes R-4 zoning on 21 parcels in the City of Hemet, including 4 parcels within the boundaries of an Airport Land Use Plan. (Citywide, including Areas I, II, Transition Area, and III of the Hemet-Ryan Airport Influence Area.)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Nancy Gutierrez of the City of Hemet Planning Department, at (951) 765-2382.

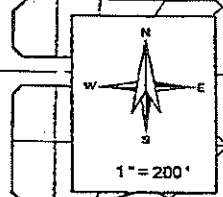
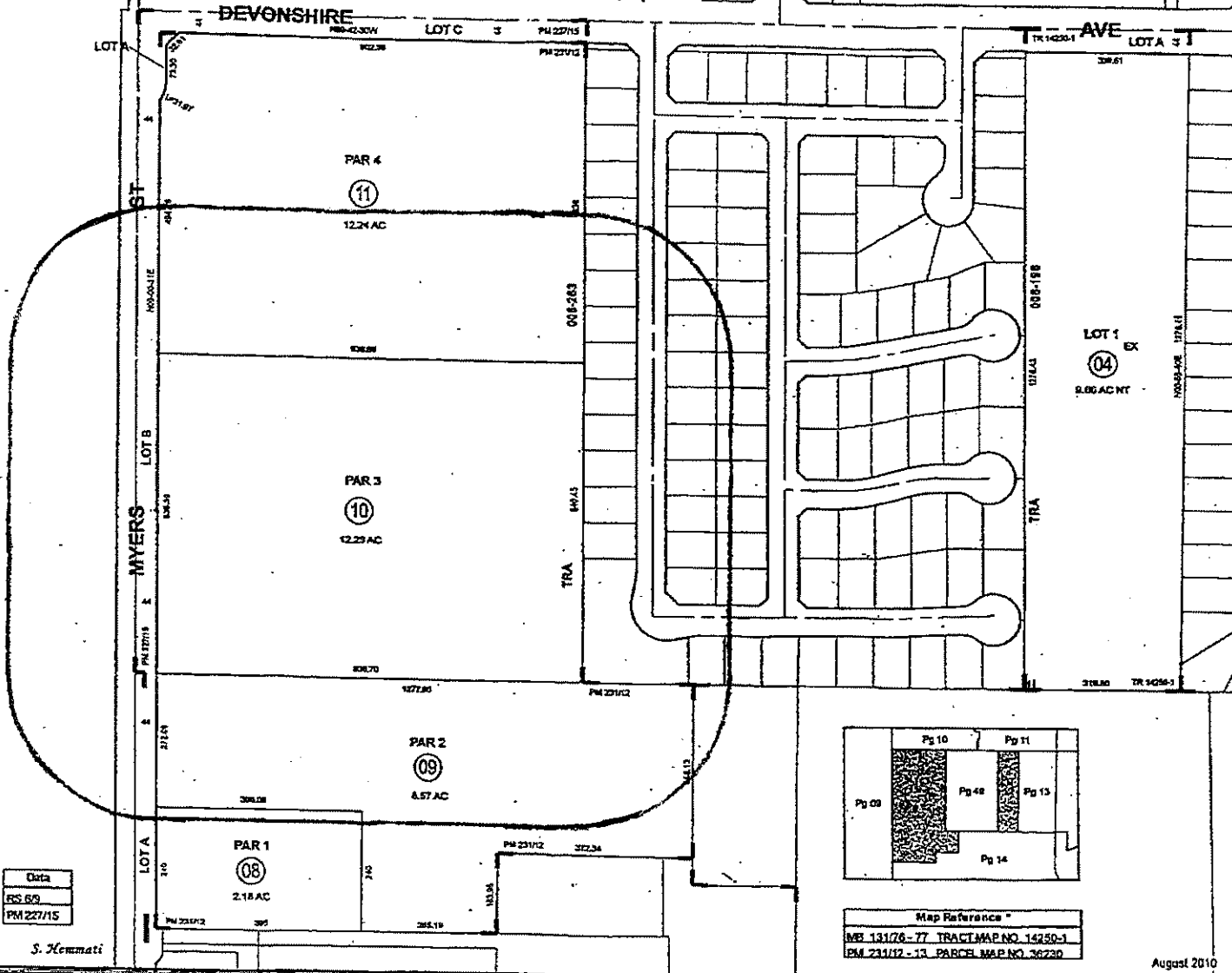
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSURED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

POR. SEC. 7, T. 5S., R. 1W.  
CITY OF HEMET

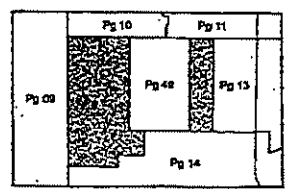
TRA 006-198  
006-263

448-12  
441-47

Aug 26 2010



- Legend
- Lot Lines
  - Right-Of-Way
  - Out Lot Lines
  - Reference P.O.W
  - Other Easements
  - Lease Area
  - Subdivision To Mark



Map Reference  
 MB 13176-77 TRACT MAP NO. 14250-1  
 PM 231112-13 PARCEL MAP NO. 36230

Date	Old Number	New Number
1/12/2004	23	1
1/12/2004	2	PG.49
12/18/2004	1	4
1/12/2010	6,142-14,27	7
06/02/10	17	18,21



ASSESSOR'S MAP BK448 PG.12  
Riverside County, Calif.

Date  
 RS 59  
 PM 227/15

S. Kemmati

August 2010

448 090 003  
Regent Garrett Ranch  
11990 San Vicente Blvd #200  
Los Angeles, CA 90049

448 120 008  
Hemet Hospitality Inv  
1260 Alabama St  
Redlands, CA 92374

448 120 009  
55 Sp Hemet  
2 Park Plz #600  
Irvine, CA 92614

448 120 010  
55 Sp Hemet  
2 Park Plz #600  
Irvine, CA 92614

448 120 011  
55 Sp Hemet  
2 Park Plz #600  
Irvine, CA 92614

448 140 002  
Royal Holiday Mhc  
PO Box 6115  
Chicago, IL 60606

448 490 005  
Pann & Jerm Sum  
277 Appaloosa Dr  
Hemet, CA 92545

448 490 006  
Brandon Johnson  
273 Appaloosa Dr  
Hemet, CA 92545

448 490 007  
David Dipalermo  
267 Appaloosa Dr  
Hemet, CA 92545

448 490 008  
Emmanuel Hernandez & Hedy Sawyer  
263 Appaloosa Dr  
Hemet, CA 92545

448 490 009  
Arnel Pagdayunan  
253 Appaloosa Dr  
Hemet, CA 92545

448 490 010  
Zulma & Santiago Jimenez  
247 Appaloosa Dr  
Hemet, CA 92545

448 490 011  
Martha & Alfonso Covarrubias  
243 Appaloosa Dr  
Hemet, CA 92545

448 490 012  
Boguslawa Ramsey  
237 Appaloosa Dr  
Hemet, CA 92545

448 490 013  
Scott Roper  
233 Appaloosa Dr  
Hemet, CA 92545

448 490 014  
Arnoldo & Maria Sedano  
225 Appaloosa Dr  
Hemet, CA 92545

448 490 015  
Gerrypete Haban  
4605 Trotter Dr  
Hemet, CA 92545

448 490 016  
Julian Arriola  
1745 E 109th St  
Los Angeles, CA 90059

448 490 068  
Ryland Homes of Calif Inc  
1250 Corona Pointe Ct #100  
Corona, CA 92879

448 492 005  
Jaimel Gutierrez  
265 Hanoverian Dr  
Hemet, CA 92545

448 492 006  
Yoren Legaspi  
261 Hanoverian Dr  
Hemet, CA 92545

448 492 007  
Ali Ozer  
3723 Veteran Ave  
Los Angeles, CA 90034

448 492 008  
Julian Ambriz  
245 Hanoverian Dr  
Hemet, CA 92545

448 492 009  
Shaylor Enterprises  
241 Hanoverian Dr  
Hemet, CA 92545

448 492 010  
Shavonne Davis & Dayon Banks  
235 Hanoverian Dr  
Hemet, CA 92545

448 492 011  
Gregory Alan Nicholson  
231 Hanoverian Dr  
Hemet, CA 92545

448 492 012  
Nathan Ryan & Dawnielle Moore  
223 Hanoverian Dr  
Hemet, CA 92545

448 492 013  
Gregory Bundy  
205 Hanoverian Dr  
Hemet, CA 92545

448 492 014  
John Hokanson & Brenda Minton  
206 Appaloosa Dr  
Hemet, CA 92545

448 492 015  
Autumn Lake Investments Profit  
PO Box 475  
Bonsall, CA 92003

448 492 016  
Amber Simonson  
232 Appaloosa Dr  
Hemet, CA 92545

448 492 017  
Ashley Walmer  
236 Appaloosa Dr  
Hemet, CA 92545

448 492 018  
Derrick Griffin  
242 Appaloosa Dr  
Hemet, CA 92545

448 492 019  
Joseph Roussel & Yilu Ma  
246 Appaloosa Dr  
Hemet, CA 92545

448 492 020  
Wendy Allen  
252 Appaloosa Dr  
Hemet, CA 92545

448 492 021  
Richard Kurylowicz  
262 Appaloosa Dr  
Hemet, CA 92545

448 492 022  
Danny Carlos  
266 Appaloosa Dr  
Hemet, CA 92545

448 492 023  
Christopher Wheeler  
272 Appaloosa Dr  
Hemet, CA 92545

448 492 024  
Artie Wannamaker  
276 Appaloosa Dr  
Hemet, CA 92545



442 060 001  
Devonshire Downs Mobilehome Park  
43118 Acacia Ave  
Hemet, CA 92544

442 060 006  
Hasmukhlal Premabhai Patel  
1640 W Florida Ave  
Hemet, CA 92543

442 060 007  
Mahesh Patel  
17441 Apex Cir  
Huntington Beach, CA 92647

442 060 013  
K R Equities Inc  
30 Alviso Dr  
Camarillo, CA 93010

442 060 025  
Dzikowski Inv  
44925 Acacia Ave  
Hemet, CA 92544

442 060 027  
Marabella Inv II  
26810 Lake St  
Hemet, CA 92544

442 060 029  
Autozone Inc  
PO Box 2198  
Memphis, TN 38101

442 060 040  
Salvation Army  
180 E Ocean Blvd #10TH  
Long Beach, CA 90802

442 060 041  
Salvation Army  
180 E Ocean Blvd #3RD  
Long Beach, CA 90802

442 060 046  
C & M Industrial  
7452 N Van Ness Blvd  
Fresno, CA 93711

442 060 047  
Salvation Army  
180 E Ocean Blvd #10TH  
Long Beach, CA 90802

448 430 002  
Hemet Prop  
528 Palisades Dr #712  
Pacific Palisades, CA 90272

448 440 006  
Banbury Apartments  
PO Box 78000  
Corona, CA 92877

448 440 007  
Banbury Apartments  
PO Box 78000  
Corona, CA 92877

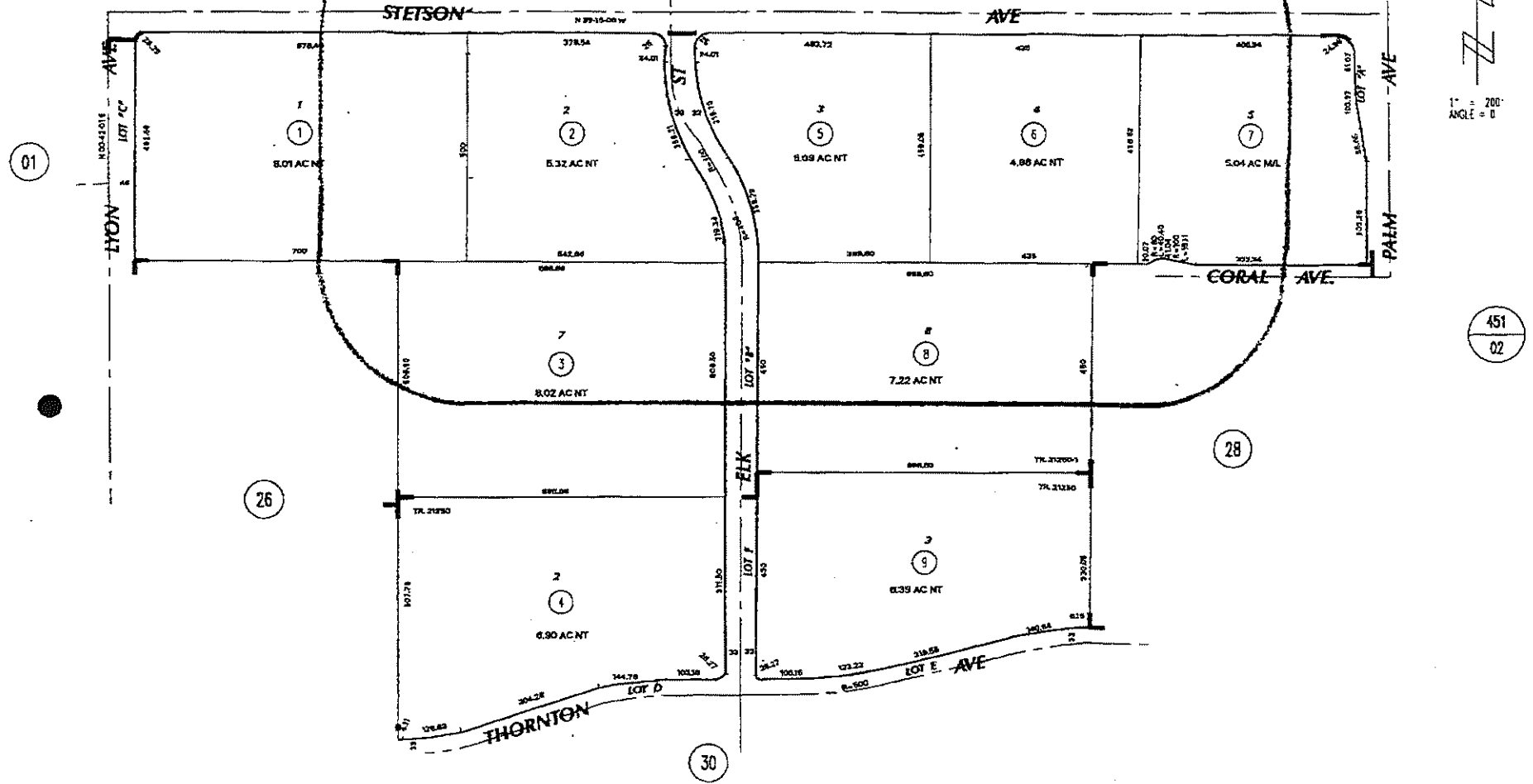
448 440 008  
Holdings Wwr  
31562 Sea Shadows Way  
Laguna Niguel, CA 92677

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCEL MAY NOT COMPLY WITH LOCAL LOT-SPLIT OR BUILDING SITE ORDINANCES.

POR. SEC 21 T. 5S., R. 1W  
CITY OF HEMET

T.R.A. 006-035

464-27  
453-53



ASSESSOR'S MAP BK464 PG.27  
Riverside County, Calif.

ESUN

MB 171/63-64 TRACT 21250-1  
MB 177/70-71 TRACT 21250

AUG 04 2000

May 2000



442 354 020  
J & J Nonemaker  
1561 Sandlewood Dr  
Hemet, CA 92543

442 354 021  
Cal Langwell  
1108 Camino Del Rancho  
Hemet, CA 92543

442 354 022  
Dorwin Ray McCaslin  
1112 Camino Del Rancho  
Hemet, CA 92543

464 261 013  
William Weaver  
PO Box 746  
Big Bear Lake, CA 92315

464 261 014  
Robert Pinkerton  
1220 Granite Dr  
Hemet, CA 92543

464 261 015  
Michael McKinnis  
1214 Granite Dr  
Hemet, CA 92543

464 261 016  
John Beal  
1208 Granite Dr  
Hemet, CA 92543

464 261 017  
Marissa Ugarte  
1207 Granite Dr  
Hemet, CA 92543

464 270 001  
River Oaks Ridge Ltd Partnership  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 270 002  
River Oaks Ridge Ltd Partnership  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 270 003  
River Oaks Ridge  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 270 005  
River Oaks Ridge  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 270 006  
River Oaks Ridge  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 270 007  
Eight Pack Management Corp  
PO Box 847  
Carlsbad, CA 92018

464 270 008  
River Oaks Ridge  
800 S Pac Coast Hwy #8  
Redondo Beach, CA 90277

464 281 002  
Dennis Whitfield  
941 Coral Ave  
Hemet, CA 92543

464 281 003  
Mohammad Kazem Kavand  
959 Coral Ave  
Hemet, CA 92543

464 281 004  
Nilesh Patel  
1211 S Palm Ave  
Hemet, CA 92543

464 281 005  
Jimmy Chanthavong  
995 Coral Ave  
Hemet, CA 92543

464 281 006  
Ralph Lowery  
994 Sunstone Ave  
Hemet, CA 92543

464 281 007  
Socorro Mendoza  
1037 Rolling Hills Dr #18  
Fullerton, CA 92835

464 281 008  
Jose Gomez  
958 Sunstone Ave  
Hemet, CA 92543

464 282 009  
Howard Deets  
1233 Moonstone St  
Hemet, CA 92543

464 282 010  
Jack Starnes  
1225 Moonstone St  
Hemet, CA 92543

464 282 011  
Andy Navarro  
671 Boston St  
Hemet, CA 92545

464 282 012  
Jose Delcarmen Silva  
1209 Moonstone St  
Hemet, CA 92543

464 282 013  
Barry Obrien  
1201 Moonstone St  
Hemet, CA 92543

442 270 014  
Riverside County Flood Cont  
1995 Market St  
Riverside, CA 92501

442 270 018  
Riverside County Flood Cont  
1995 Market St  
Riverside, CA 92501

442 291 022  
Donald Greco  
1621 Bella Vista Dr  
Hemet, CA 92543

442 291 023  
David Edgar Webb  
1551 Bella Vista Dr  
Hemet, CA 92543

442 291 024  
W J Nicol  
6 Leatherwood Ct  
Coto De Caza, CA 92679

442 291 025  
Madeleine Menke  
1531 Bella Vista Dr  
Hemet, CA 92543

442 291 026  
Lynda Goggin  
993 Vallejo Dr  
Hemet, CA 92543

442 291 027  
Arklee Mabel Henning  
1471 Bella Vista Dr  
Hemet, CA 92543

442 291 028  
Thomas & Deborah Hambrick  
1451 Bella Vista Dr  
Hemet, CA 92543

442 291 029  
Jonathan Nikki  
37542 110th St E  
Littlerock, CA 93543

442 291 030  
Jan Harshman  
1411 Bella Vista Dr  
Hemet, CA 92543

442 291 031  
Frank Greco  
1401 Bella Vista Dr  
Hemet, CA 92543

442 291 032  
Raul Esparza  
1090 San Nicolas St  
Hemet, CA 92543

442 291 033  
Charlotte Deri & Dolores Neiberger  
250 S Lyon Ave #417  
Hemet, CA 92543

442 291 034  
Geraldine Coscarelli  
33255 Stoneman St #A  
Lake Elsinore, CA 92530

442 291 045  
Howard Sizemore  
1055 S Elk St  
Hemet, CA 92543

442 291 046  
Linda Hanshaw  
1065 S Elk St  
Hemet, CA 92543

442 291 047  
Paul Tincler  
1075 S Elk St  
Hemet, CA 92543

442 291 048  
Jerry Chuculate  
1085 S Elk St  
Hemet, CA 92543

442 293 001  
Kenneth Otto Michel  
1735 Cooper St  
Hemet, CA 92545

442 293 002  
Susan Welskopp  
1550 Bella Vista Dr  
Hemet, CA 92543

442 293 020  
Carolyn Elizabeth Wolf  
1410 Bella Vista Dr  
Hemet, CA 92543

442 293 021  
James Petri  
1430 Bella Vista Dr  
Hemet, CA 92543

442 293 022  
Frank Young  
2116 Begonia Ct  
Hemet, CA 92545

442 293 023  
Joann Pazjk  
1470 Bella Vista Dr  
Hemet, CA 92543

442 293 024  
Darlene Chambers  
1490 Bella Vista Dr  
Hemet, CA 92543

442 331 006  
Robert Johnson  
PO Box 5122  
Hemet, CA 92544

442 331 007  
Dena Sena  
1081 San Gorgonio Way  
Hemet, CA 92543

442 333 007  
Billy Davis  
1196 Camino Del Rancho  
Hemet, CA 92543

442 333 008  
Johan Krans  
1180 Camino Del Rancho  
Hemet, CA 92543

442 333 009  
Hud-Housing of Urban Dev  
1164 Camino Del Rancho  
Hemet, CA 92543

442 333 010  
Lloyd Croom & Agnes Adels  
1148 Camino Del Rancho  
Hemet, CA 92543

442 333 011  
Celia Perez  
1132 Camino Del Rancho  
Hemet, CA 92543

442 334 001  
William David Larsen  
1105 Camino Del Rancho  
Hemet, CA 92543

442 334 002  
Gerry Richard Woods & P J Lapole  
1123 Camino Del Rancho  
Hemet, CA 92543

442 334 004  
Robert Birch  
9973 Mina Ave  
Whittier, CA 90605

442 334 005  
Samuel Salazar  
1177 Camino Del Rancho  
Hemet, CA 92543

442 334 006  
Albert Lopez  
1195 Camino Del Rancho  
Hemet, CA 92543

442 334 007  
Edward Beaune  
1235 Camino Del Rancho  
Hemet, CA 92543

442 334 008  
William Sullivan  
1255 Camino Del Rancho  
Hemet, CA 92543

442 334 009  
Allen Parrish & Dorothy Howland  
1275 Camino Del Rancho  
Hemet, CA 92543

442 334 010  
Myriam Papa  
1295 Camino Del Rancho  
Hemet, CA 92543

442 353 001  
Eva Kauffman  
1101 Camino Del Rancho  
Hemet, CA 92543

442 353 002  
Donald Youngman  
1099 Camino Del Rancho  
Hemet, CA 92543

442 353 003  
Rogelio Yllescas  
1081 Camino Del Rancho  
Hemet, CA 92543

442 353 004  
James Gibson  
1320 Taylor Ave  
Corona, CA 92882

442 353 005  
Brian & Melissa Johnson  
1045 Camino Del Rancho  
Hemet, CA 92543

442 353 006  
Richard Tripp  
1027 Camino Del Rancho  
Hemet, CA 92543

442 353 007  
Walter McGill  
1245 Paseo Hermosa  
Oceanside, CA 92056

442 353 008  
Louise Morgan  
1209 S Kenwood St  
Casper, WY 82601

442 353 009  
John Kolasz  
975 Camino Del Rancho  
Hemet, CA 92543

442 353 010  
Donald Youngman  
1099 Camino Del Rancho  
Hemet, CA 92543

442 353 011  
Jose Peraza  
2581 Jeffery Cir  
Hemet, CA 92543

442 354 013  
Betty Garwood  
978 Camino Del Rancho  
Hemet, CA 92543

442 354 014  
Phillip Nash  
998 Camino Del Rancho  
Hemet, CA 92543

442 354 015  
Jose Papa  
1008 Camino Del Rancho  
Hemet, CA 92543

442 354 016  
Byron Mohler  
24415 Borrego Cir  
Corona, CA 92883

442 354 017  
Veloria Davidson  
1044 Camino Del Rancho  
Hemet, CA 92543

442 354 018  
Gary & Margaret Landingham  
1062 Camino Del Rancho  
Hemet, CA 92543

442 354 019  
Carolyn Lee Kipp  
PO Box 2021  
Julian, CA 92036

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1028HR13

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application May 29, 2013  
 Applicant City of Hemet Phone Number 951-765-2375  
 Property Owner  
 Mailing Address Deanna Elliano, Community Development Director  
445 E. Florida Avenue  
Hemet, CA 92543

Agent (if any) \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Mailing Address \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)** Refer to Attachments

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address \_\_\_\_\_  
 Assessor's Parcel No. \_\_\_\_\_ Parcel Size \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)** Refer to Attachments

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Proposed Land Use (describe) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_  
 \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) \_\_\_\_\_ ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)**

Date Received	<u>NA</u>	Type of Project
Agency Name	<u>City of Hemet</u>	<input type="checkbox"/> General Plan Amendment
Staff Contact	<u>Planning Division</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Phone Number	<u>Nancy Gutierrez</u>	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	<u>951-765-2382</u>	<input type="checkbox"/> Use Permit
	<u>ZOA 13-001</u>	<input type="checkbox"/> Public Facility
	<u>ZOA 13-000; ZC 13-001</u>	<input type="checkbox"/> Other _____

**ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe: _____
	_____

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

**ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)**

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	
	_____	
	_____	
	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	
	_____	
	_____	

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

- 4.1 August Meeting. Based on response from Commissioners, ALUC Director Ed Cooper has scheduled an additional Commission meeting to be held on August 15 at 9:30 AM in the Board Hearing Room. Our consultant for the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, Mr. Ken Brody of Mead & Hunt, will be present to provide the Commission with information regarding the results of the scoping session that will be held later this month or in the first week of August. Additionally, the Commission will consider City of Hemet Case No. ZC 13-001, requiring re-advertisement, any other cases that the Commission may wish to continue from this agenda, and cases that were submitted beyond the deadline for consideration in July.
  
- 4.2 Follow-up: December 12, 2013 ALUC Commission Meeting Rescheduling. At last month's meeting, staff advised that ALUC's reservation of the Board Hearing Room for the morning of December 12, 2013 had been "bumped" in order to enable a State agency to hold a hearing in Riverside that day. The Commission suggested holding the hearing at an alternate site, and Commissioner Pettis graciously offered the City Council chambers of the City of Cathedral City. However, upon subsequent inquiry, staff was advised that the foyer of the Council Chambers and both of the public restrooms (although not the Council Chamber itself) will be in use by Desert Women for Equality as a health clinic. ALUC Secretary Barbara Santos has determined that both the Coachella Valley Water District Board Room in Coachella and the La Quinta City Hall Council Chambers are presently available on that day as possible alternative sites.