



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

City of La Quinta Council Chambers
78-495 Calle Tampico
La Quinta, California 92253

Thursday 10:00 a.m., December 12, 2013

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS
Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED CASES

BANNING AIRPORT

- 2.1 ZAP1012BA13 – Rancho San Gorgonio LLC (Representative: Pitassi Architects, Peter J. Pitassi) - City Case Nos. Specific Plan 13-2001, Zone Change 13-3501, General Plan Amendment 13-2503, Tentative Tract Map 13-4501, Development Agreement 13-1502. Specific Plan 13-2001 is a proposal to develop 848.6 gross acres generally located southerly of Westward Avenue, easterly of Sunset Avenue, northerly of Coyote Trail, and westerly of San Gorgonio Avenue as a master planned community with 3,753 dwelling units, 10 acres of commercial land, and 188.5 acres of open space. Zone Change 13-3501 proposes to change the existing zoning from Very Low/Rural/Medium Density Residential to a Specific Plan. General Plan Amendment 13-2503 proposes to change existing land use from Very Low/Rural/Medium Density Residential to a Specific Plan. Tentative Tract Map 13-4501 proposes to subdivide 848.56 acres into 38 lots for financing, rough grading, and backbone street dedication purposes. Development Agreement 13-1502 proposes to define the parameters for the orderly development of the property with regard to the developer's obligation to provide infrastructure and public improvements and facilities and to define the City's obligations with regard to

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

County Administrative Center
4080 Lemon St, 14th Floor
Riverside, CA 92501
(951) 955-5132

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permitting and approvals. (Zone E of Banning Municipal Airport Influence Area). Continued from September 12 and November 14, 2013. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONTINUANCE to January 9, 2014

BANNING AIRPORT

- 2.2 ZAP1014BA13 – Mark Quental – City of Banning Case No. DR 13-7003 (Design Review). A proposal to develop a two-story, 73,127 square foot mixed-use (“live/work”) building comprised of 24 individual spaces (“airport industrial work lofts”), with office, manufacturing, storage, and warehouse uses on the first floor and the option for either residential or office uses on the second floor (potential for up to 22 dwelling units) on a 3.57 net acre (3.74 gross acres) site located southerly of Lincoln Street, northerly of Barbour Street, westerly of Hathaway Street, and easterly of Juarez Street in the City of Banning. (Airport Compatibility Zones B1 and D of the Banning Municipal Airport Influence Area). Continued from November 14, 2013. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: CONTINUANCE to January 9, 2014

3.0 PUBLIC HEARING: NEW CASES

BERMUDA DUNES AIRPORT

- 3.1 ZAP1052BD13 – Continental East Fund IX, LLC – (Representative: Jei Kim, Pacific Coast Land Consultants, Inc.) – City of Indio Case Nos. CUP 13-7-363 (Conditional Use Permit) and PM 36580 (Parcel Map). CUP 13-7-363 (“Renaissance Village of Indio”) is a proposal to develop an assisted living (State licensed community care) and memory care facility comprised of up to four buildings with a total of 143 living units on a 9.95-acre portion of a 20-acre (gross area) lot located westerly of Jefferson Street and southerly of 40th Avenue in the City of Indio. Parcel Map No. 36580 would divide the 20-acre property into four lots, one of which would be the 9.95-acre facility site. (Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at rbrady@rctlma.org.

Staff Recommendation: INCONSISTENT

MARCH AIR RESERVE BASE

- 3.2 ZAP1091MA13 – Southwest Land Consultants, for Romola General/Rimrock Trust (Representative: Sean Harrison). - City of Menifee Case No. 2010-090 - Menifee North Specific Plan No. 260, Amendment No. 3 “Palomar Crossing.” The Specific Plan Amendment proposes to amend the size, boundaries, and primary land uses permitted within Planning Areas 11, 12, 13, and 14, which together comprise 63.06 acres located adjacent to and northerly of State Highway Route 74, easterly of Palomar Road, and westerly of Menifee Road, both easterly and westerly of Junipero Road and the SCE easement. The existing Plan excludes the SCE easement and provides for 23 acres of Business Park uses in Planning Areas 11 and 12, 17.6 acres of Commercial/Business Park in Planning Area 13, and 12.4 acres of Commercial in Planning Area 14. The proposed Plan includes the SCE easement and provides for 20.17 acres of High Density Residential in Planning Area 11, 17.92 acres of High Density Residential and/or General Retail and Commercial in Planning Area 12, 15.79 acres of General Retail and Commercial in Planning Area 13, and 9.18 acres of Commercial in Planning Area 14. (Area III of the March Air Reserve Base Airport Influence Area). ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rctlma.org.

Staff Recommendation: CONSISTENT

4.0 ADMINISTRATIVE ITEMS

4.1 Contract with City of Banning: Amendment to Zone D Nonresidential Criteria

4.2 Thermal Motorsports Site Visit

5.0 APPROVAL OF MINUTES

November 14, 2013

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**7.0 COMMISSIONER'S COMMENTS**

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.1

HEARING DATE: *December 12, November 14, 2013 (previously heard September 12, 2013 and continued without discussion on November 14, 2013)*

CASE NUMBER: ZAP1012BA13 – Rancho San Gorgonio LLC
(Representative: Pitassi Architects, Peter J. Pitassi)

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NOS: Development Agreement 13-1502, General Plan Amendment 13-2503, Specific Plan 13-2001, Tentative Tract Map 13-4501, Zone Change 13-3501

MAJOR ISSUES: The applicant team has decided to pursue FAA obstruction evaluation review at this time, in lieu of submittal of subsequent subdivisions and structures in the portion of this project in the Airport Influence Area (even though such projects would be evaluated at the staff level).

RECOMMENDATION: *At the request of the project representative, who has indicated that the project is being amended to address City concerns, staff recommends that further consideration of this project be CONTINUED to the Commission's December 12 hearing without discussion.*

Staff recommends a finding of CONSISTENCY for the zone change and general plan amendment. Staff was prepared to recommend CONSISTENCY for the specific plan and tentative tract map as well, but, given the path selected by the applicant team, staff must now recommend CONTINUANCE to January 9, 2014, pending acceptance of Form 7460-1 by the submittal to FAA. In the event that such acceptance (acknowledgement as a "Work in Progress" by the FAA) submittal occurs prior to the forthcoming December 12 hearing, staff would recommend a finding of CONSISTENCY for the General Plan Amendment and Zone Change and a finding of CONDITIONAL CONSISTENCY for the specific plan and tentative tract map.

PROJECT DESCRIPTION: Specific Plan 13-2001 is a proposal to develop 848.6 gross acres as a master planned community with 3,412 3,753 dwelling units, 9.3 10 acres of commercial land, and 214.3 188.5 acres of open space. Zone Change 13-3501 proposes to change the existing zoning from Very Low/Rural/Medium Density Residential to a Specific Plan. General Plan Amendment 13-2503 proposes to change existing land use from Very Low/Rural/Medium Density Residential to a Specific Plan. Tentative Tract Map 13-4501 proposes to subdivide 848.56 acres into 38 lots for

financing, rough grading, and backbone street dedication purposes. Development Agreement 13-1502 proposes to define the parameters for the orderly development of the property with regard to the developer's obligation to provide infrastructure and public improvements and facilities and to define the City's obligations with regard to permitting and approvals.

PROJECT LOCATION: The site is generally located southerly of Westward Avenue, easterly of Sunset Avenue, northerly of Coyote Trail, and westerly of San Gorgonio Avenue, in the City of Banning, approximately 6,850 feet southwesterly of the westerly terminus of Runway 8-26 at Banning Municipal Airport.

LAND USE PLAN: 2004 Banning Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Banning Municipal Airport
- b. Land Use Policy: Zone E and outside airport influence area
- c. Noise Levels: Below 55 CNEL

BACKGROUND:

Non-Residential Intensity and Residential Density: The site is located in Zone E of the Banning Municipal Airport Influence Area. Non-residential intensity and residential densities are not restricted within Zone E.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Zone E (hazards to flight) within the project, nor would the proposed General Plan Amendment, Specific Plan, or Change of Zone likely allow for any prohibited or discouraged uses.

Noise: The property lies outside the area that would be subject to average exterior noise levels of 55 CNEL or greater under ultimate airport development conditions. Therefore, no special mitigation of noise from aircraft is required.

Part 77: The elevation of Runway 8-26 at its westerly terminus is approximately 2,219 feet above mean sea level (2219 feet AMSL). At a distance of approximately 6,850 feet to the nearest portion of the proposed project (Planning Area 5-F - formerly 6-C) and 7,200 feet from the highest portion of the proposed project (Planning Area 13 - formerly 14) within the Airport Influence Area from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 2287.5 feet AMSL in Planning Area 5-F 6-C and at 2291 feet AMSL in Planning Area 13 14. The proposed Tentative Tract Map, although not proposing any buildable lots, does include rough grading of the site which would have ground elevations of approximately 2230 feet AMSL within Planning Area 5-F 6-C and 2305 feet AMSL within Planning Area 13 14. Based on these ground elevations, it is unlikely FAA obstruction evaluation would be required for any

development within Planning Area 5-F 6-C (Low Density Residential) unless any structures exceeded 50 feet in height. However, the ground elevation alone for Planning Area 13 14 exceeds the 2291 feet AMSL threshold. **Planning Area 13 is proposed to be a park, but Planning Area 7-B located directly to the south of Planning Area 13 and proposed for residential use rises to an elevation of 2,305 feet AMSL, while the portion of Planning Area 6-D (also proposed for residential use) located in the Airport Influence Area northwesterly of Planning Area 5-F and southeasterly of Planning Area 13 rises to an elevation of 2,260 to 2,265 feet AMSL.**

Since no specific, buildable lots are currently proposed, FAA obstruction evaluation at this time would be based on potential future grading, ground elevations, and building heights. Nevertheless, the applicant team has volunteered to submit to FAA at this time in order to forego the requirement for subsequent development within the Airport Influence Area to be submitted to ALUC. The applicant proposes to submit information to FAA based on the currently designed rough grading and maximum building heights, as allowed by the proposed Specific Plan. ~~At the time of writing of this staff report, no submittal to FAA has been confirmed.~~

The project representative has submitted a Form 7460-1 to the FAA, which has been assigned an Aeronautical Study Number (ASN) of 2013-AWP-6999-OE; however, this study number is not (as of November 19) listed on the FAA's website as a "Work in Progress."

Open Area: Zone E of the Banning Municipal Airport Land Use Compatibility Plan does not have any requirements for provision of open space.

CONDITIONS:

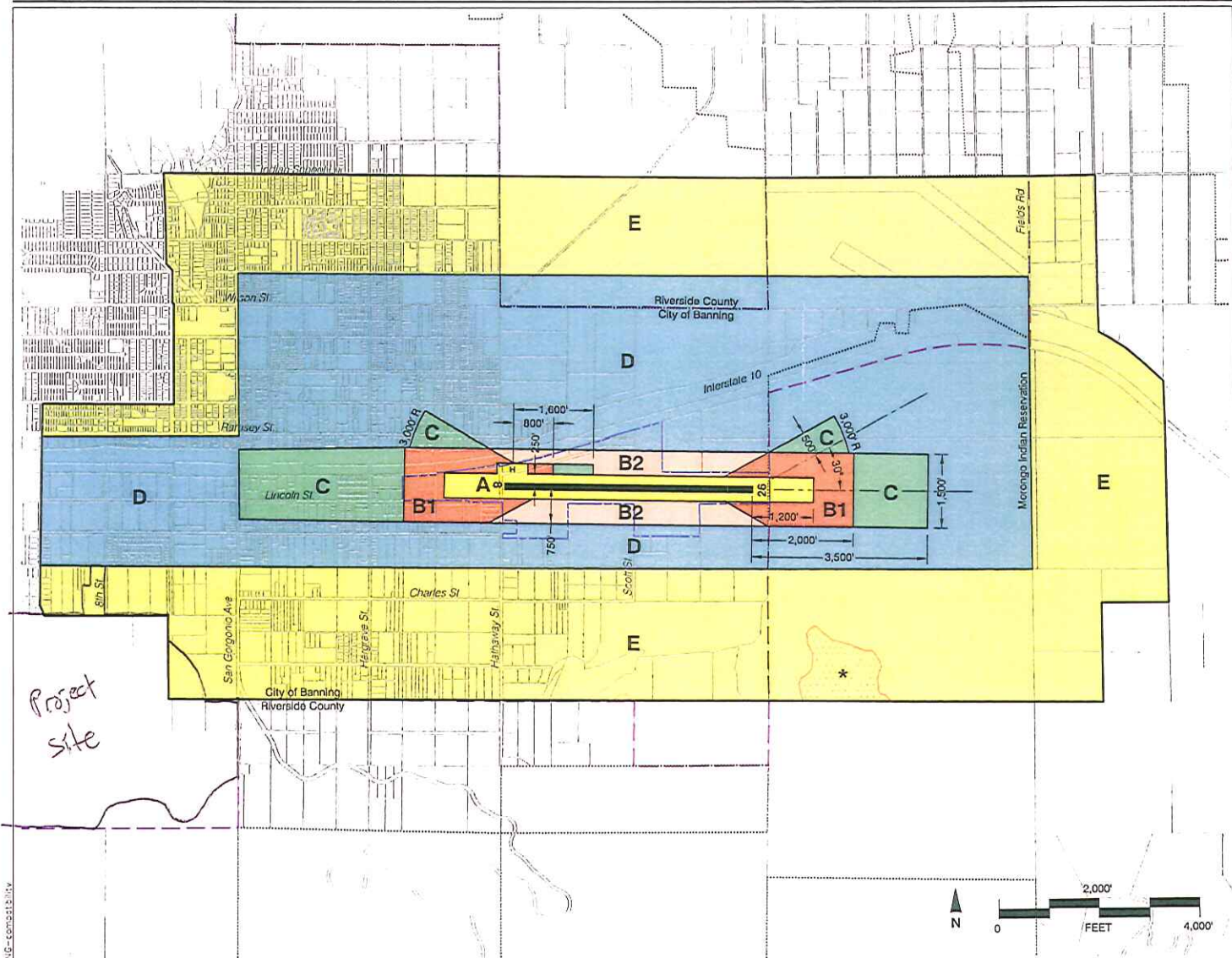
1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the

area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers and/or tenants of properties within the portions of this project in the Airport Influence Area.
 4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. Prior to adoption of this Specific Plan by the City Council, the applicant shall have received a determination of "Not a Hazard to Air Navigation" from the Federal Aviation Administration (FAA) Obstruction Evaluation Service. Copies of the FAA determination shall be provided to the City of Banning Planning Department and the Riverside County Airport Land Use Commission.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits
- Morongo Indian Reservation

Note

Dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
 Airport Land Use Commission
*Riverside County
 Airport Land Use Compatibility Plan
 Policy Document*
 (Adopted October 2004)

Map BN-1

Compatibility Map
 Banning Municipal Airport



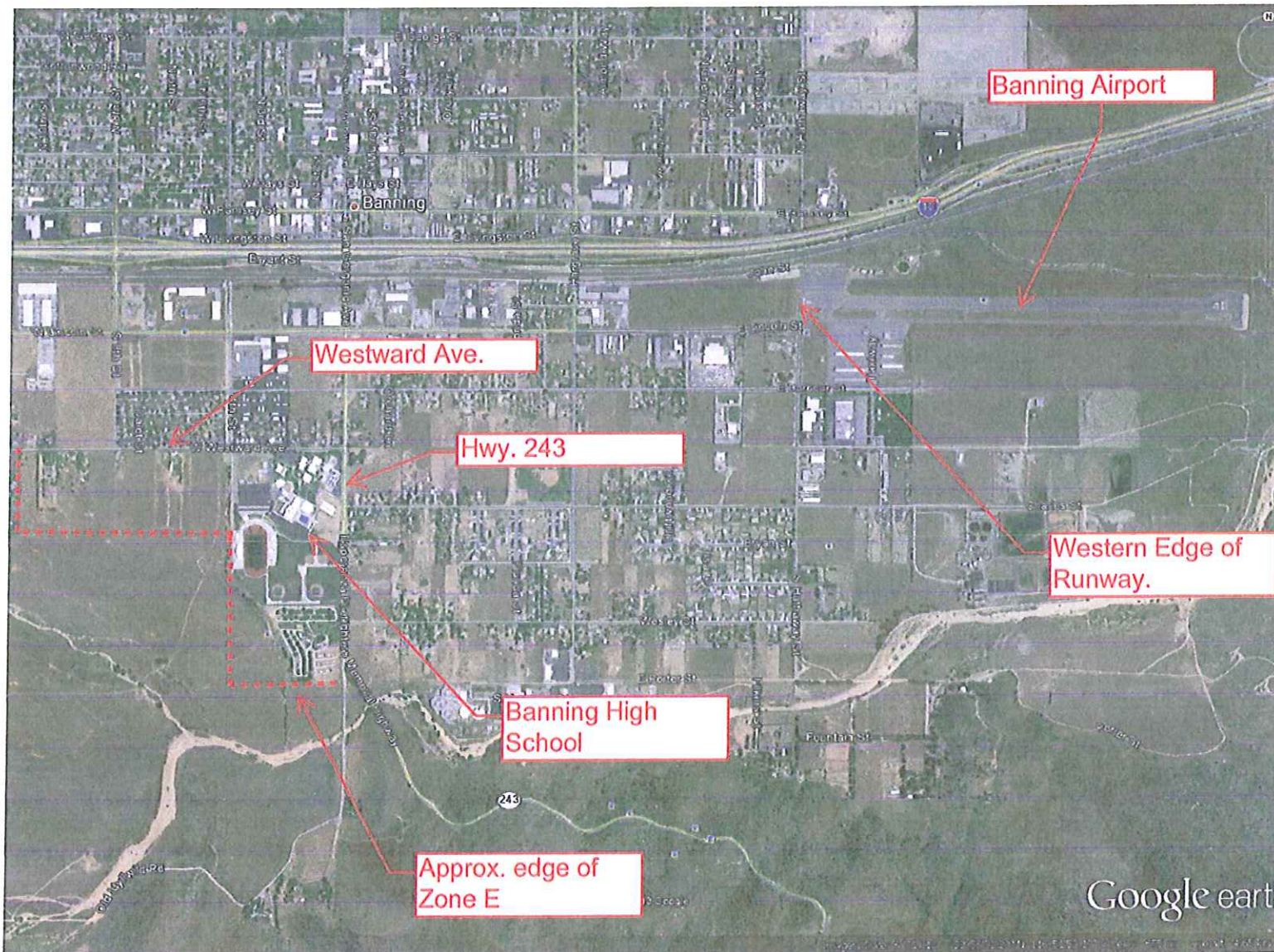
BIG-compatibility

Project:

Rancho San Gorgonio Planned Community
Banning, CA.
Rancho San Gorgonio, LLC

Owners Representative:

Pitassi Architects, Inc.
Peter J. Pitassi, AIA
909-980-1361

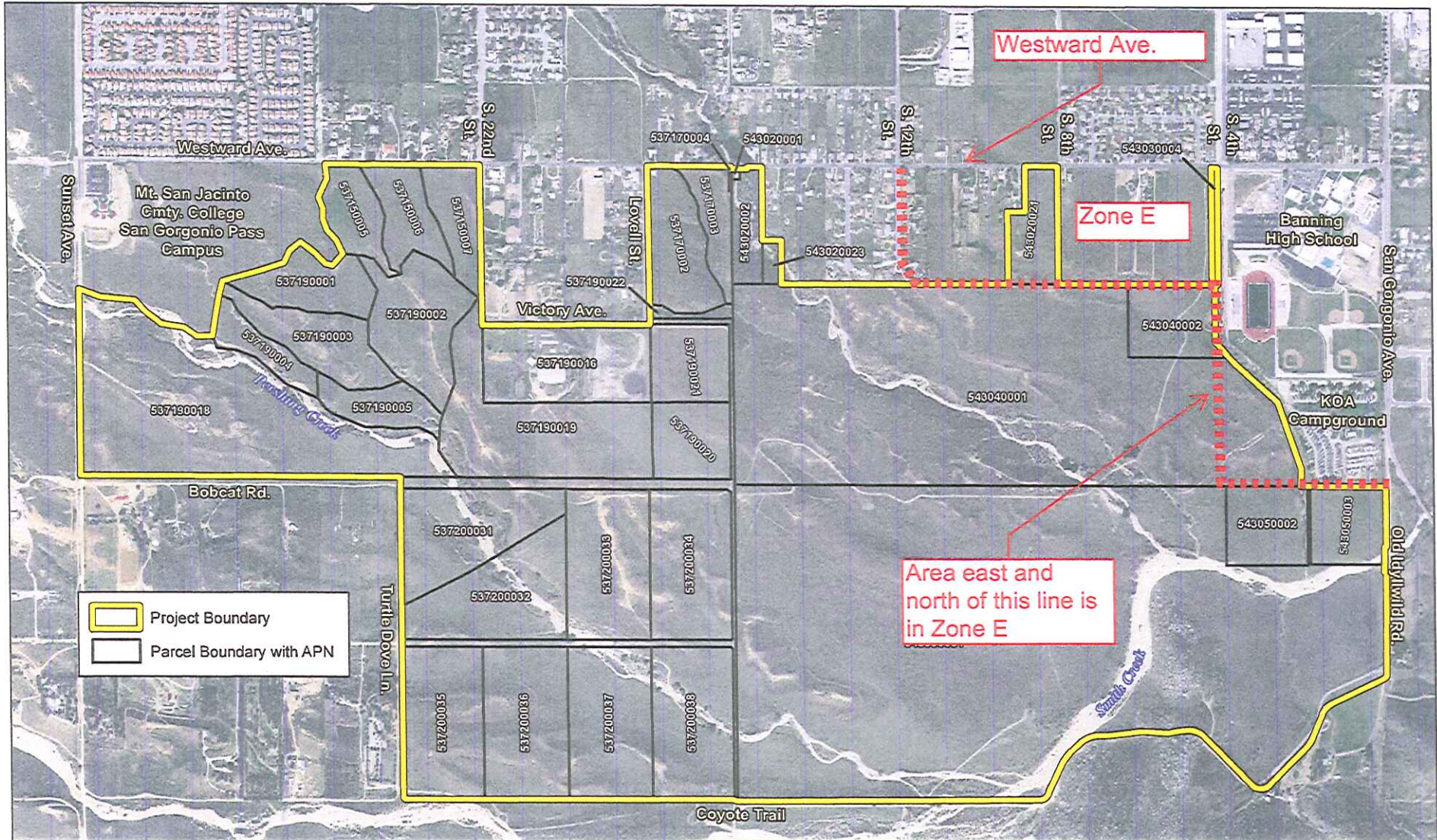


Project:

Rancho San Geronio Planned Community
Banning, CA
Rancho San Geronio, LLC

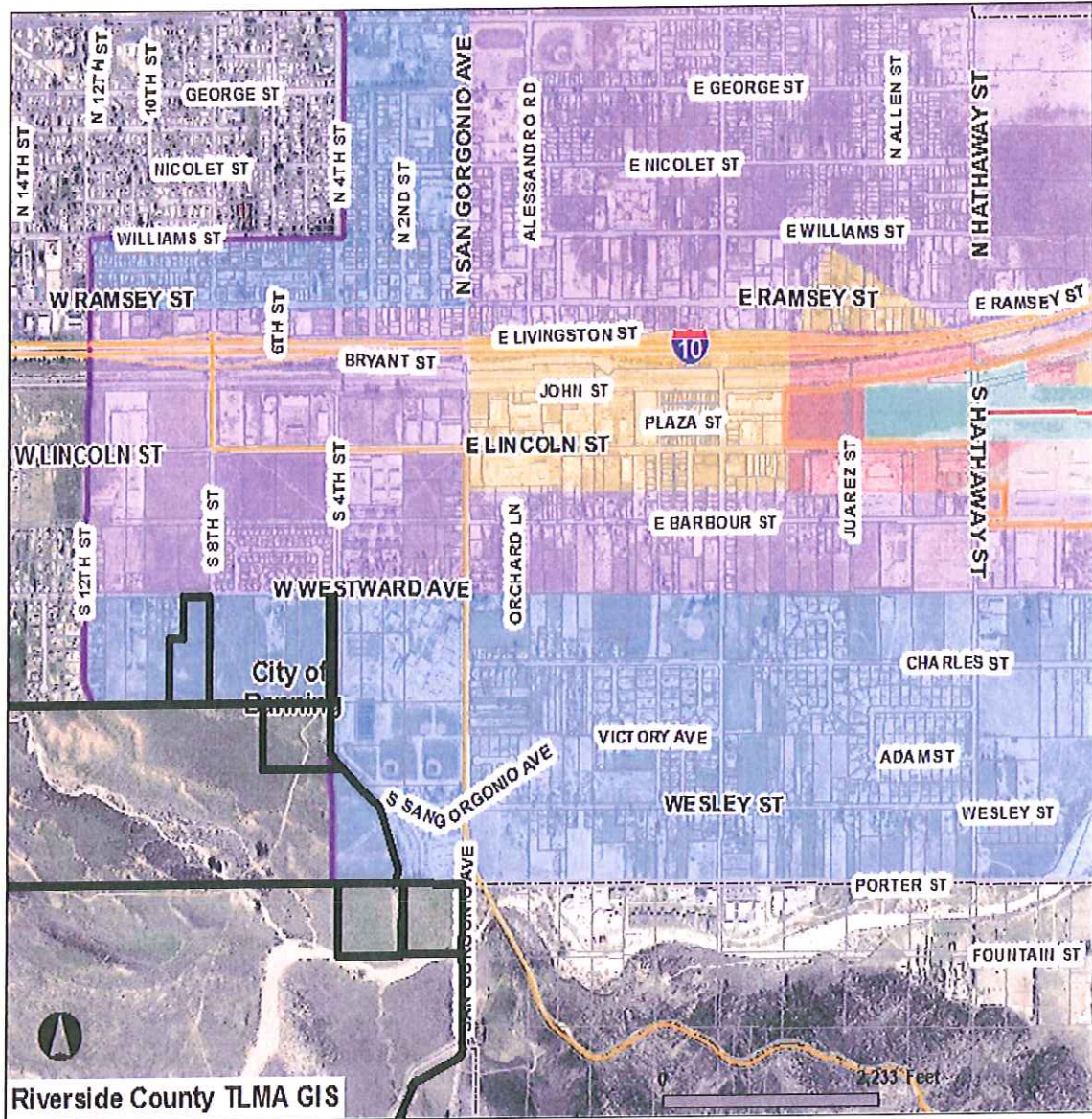
Owners Representative:

Pitassi Architects, Inc.
Peter J. Pitassi, AIA
909-980-1361



Existing Parcel Map

RIVERSIDE COUNTY GIS



Riverside County TLMA GIS

Selected parcel(s):

537-150-005	537-150-006	537-150-007	537-170-002	537-170-003	537-170-004	537-190-001
537-190-002	537-190-003	537-190-004	537-190-005	537-190-016	537-190-018	537-190-019
537-190-020	537-190-021	537-190-022	537-200-031	537-200-032	537-200-033	537-200-034
537-200-035	537-200-036	537-200-037	537-200-038	543-020-001	543-020-002	543-020-021
543-020-023	543-030-004	543-040-001	543-040-002	543-050-001	543-050-002	543-050-003

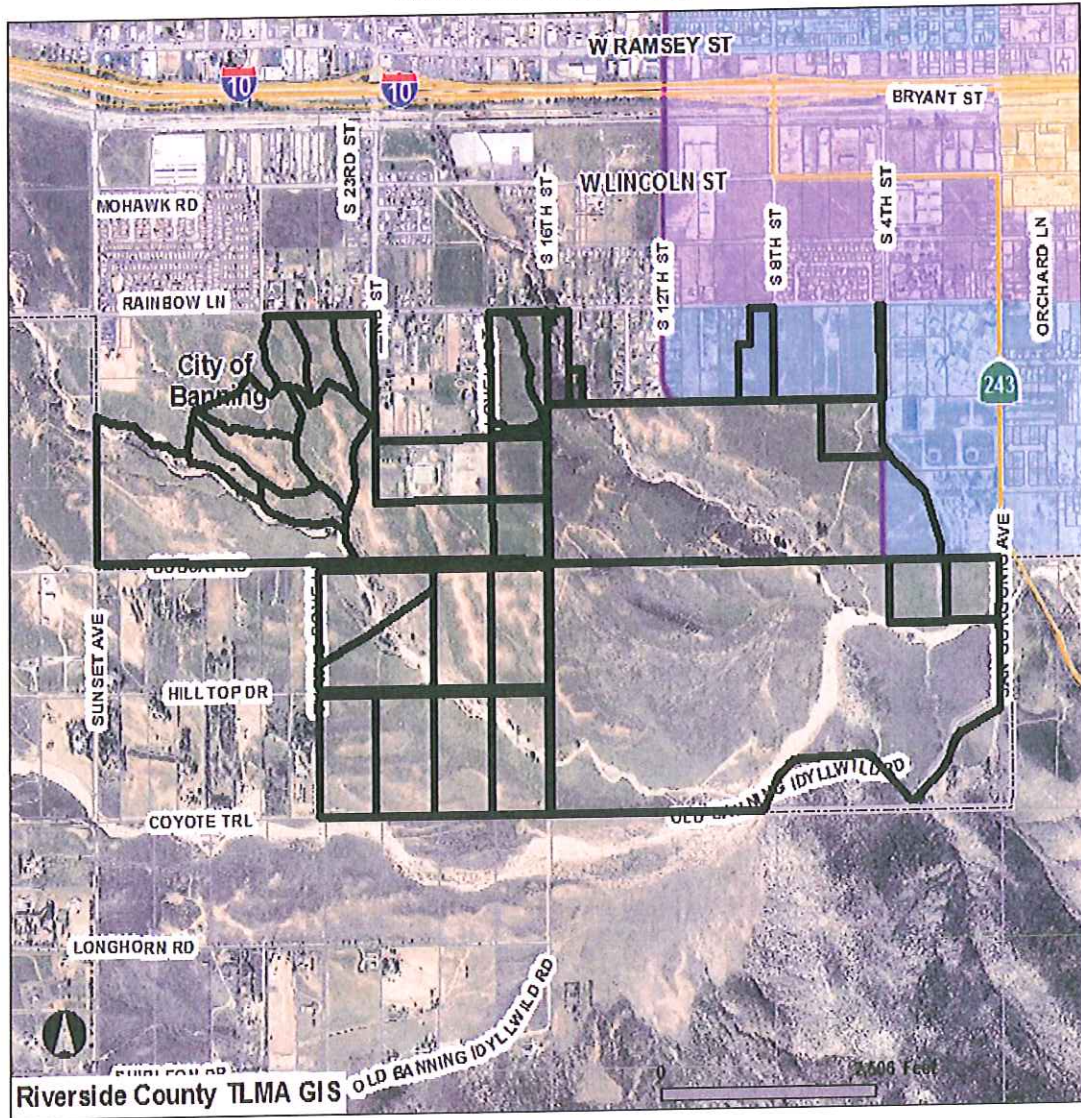
AIRPORTS

- SELECTED PARCEL
- AIRPORT RUNWAYS
- COMPATIBILITY ZONE B1
- COMPATIBILITY ZONE E
- INTERSTATES
- AIRPORT INFLUENCE AREAS
- COMPATIBILITY ZONE B2
- HIGHWAYS
- AIRPORT BOUNDARIES
- COMPATIBILITY ZONE C
- PARCELS
- COMPATIBILITY ZONE A
- COMPATIBILITY ZONE D

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

RIVERSIDE COUNTY GIS



Selected parcel(s):

- | | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 537-150-005 | 537-150-006 | 537-150-007 | 537-170-002 | 537-170-003 | 537-170-004 | 537-190-001 |
| 537-190-002 | 537-190-003 | 537-190-004 | 537-190-005 | 537-190-016 | 537-190-018 | 537-190-019 |
| 537-190-020 | 537-190-021 | 537-190-022 | 537-200-031 | 537-200-032 | 537-200-033 | 537-200-034 |
| 537-200-035 | 537-200-036 | 537-200-037 | 537-200-038 | 543-020-001 | 543-020-002 | 543-020-021 |
| 543-020-023 | 543-030-004 | 543-040-001 | 543-040-002 | 543-050-001 | 543-050-002 | 543-050-003 |

AIRPORTS

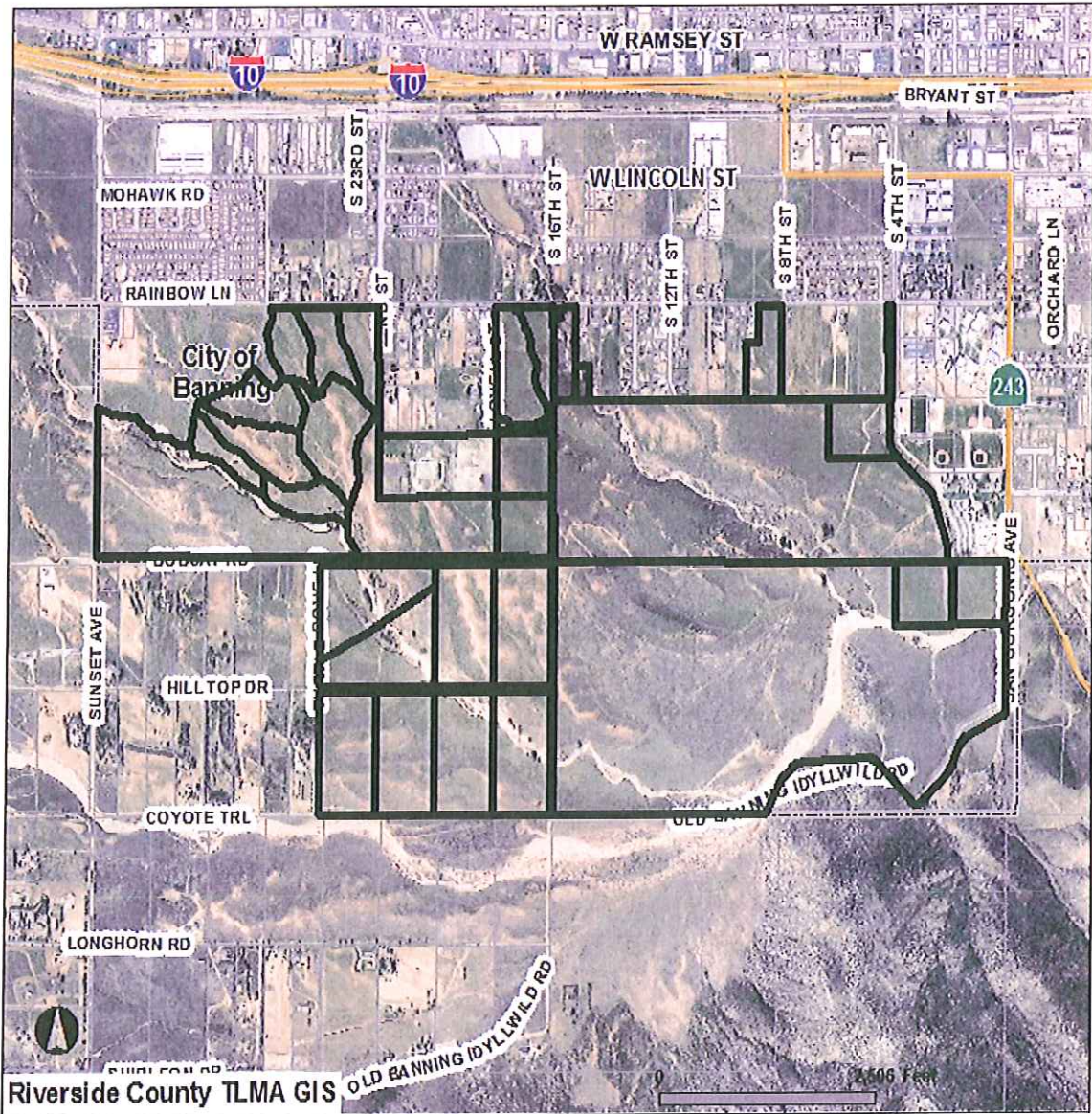
- | | | | |
|-------------------------|--------------------|--------------------|--------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | PARCELS |
| AIRPORT INFLUENCE AREAS | COMPATIBLTY ZONE C | COMPATIBLTY ZONE D | COMPATIBLTY ZONE E |

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Version 130624

RIVERSIDE COUNTY GIS



Selected parcel(s):

537-150-005	537-150-006	537-150-007	537-170-002	537-170-003	537-170-004	537-190-001
537-190-002	537-190-003	537-190-004	537-190-005	537-190-016	537-190-018	537-190-019
537-190-020	537-190-021	537-190-022	537-200-031	537-200-032	537-200-033	537-200-034
537-200-035	537-200-036	537-200-037	537-200-038	543-020-001	543-020-002	543-020-021
543-020-023	543-030-004	543-040-001	543-040-002	543-050-001	543-050-002	543-050-003

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Version 130624

Table 2-2: Planning Areas Statistical Summary

Planning Area	Land Use ¹	Target Minimum Lot Size (sq. ft.)	Allowed Density Range (du/ac)	Target Density (du/ac)	Gross Acres	Target Dwelling Units (DU)
PA 1	Very Low Density Residential	20,000	0-2.5	2.0	47.0	94
PA 2-A	Low Density Residential	7,000	2.6-6.0	3.4	15.5	53
PA 2-B	Low Density Residential	7,000	2.6-6.0	3.4	17.6	60
PA 2-C	Low Density Residential	7,000	2.6-6.0	3.4	16.3	56
PA 3-A	Low Density Residential	6,000	2.6-6.0	3.8	14.0	53
PA 3-B	Low Density Residential	6,000	2.6-6.0	3.8	23.8	90
PA 3-C	Low Density Residential	6,000	2.6-6.0	3.8	10.6	40
PA 3-D	Low Density Residential	6,000	2.6-6.0	3.8	24.0	91
PA 4-A	Low Density Residential	5,500	2.6-6.0	4.4	23.2	102
PA 4-B	Low Density Residential	5,500	2.6-6.0	4.4	23.1	102
PA 4-C	Low Density Residential	5,500	2.6-6.0	4.4	17.7	78
PA 4-D	Low Density Residential	5,500	2.6-6.0	4.4	12.3	54
PA 5-A	Low Density Residential	5,000	2.6-6.0	5.2	5.9	31
PA 5-B	Low Density Residential	5,000	2.6-6.0	5.2	6.5	34
PA 5-C	Low Density Residential	5,000	2.6-6.0	5.2	12.6	66
PA 5-D	Low Density Residential	5,000	2.6-6.0	5.2	16.4	85
PA 5-E	Low Density Residential	5,000	2.6-6.0	5.2	10.4	54
PA 5-F	Low Density Residential	5,000	2.6-6.0	5.2	5.9	31
PA 6-A	Low Density Residential	4,500	2.6-6.0	6.0	15.8	95
PA 6-B	Low Density Residential	4,500	2.6-6.0	6.0	16.8	101
PA 6-C	Low Density Residential	4,500	2.6-6.0	6.0	11.7	70
PA 6-D	Low Density Residential	4,500	2.6-6.0	6.0	24.0	144
PA 7-A	Medium Density Residential – Age Qualified		6.1-12.0	6.5	94.7	604
PA 7-B	Medium Density Residential – Age Qualified		6.1-12.0	6.5	30.6	199
PA 8-A	Medium-High Density Residential		12.1-18.0	18.0	23.0	414
PA 8-B	Medium-High Density Residential		12.1-18.0	18.0	12.9	232
PA 8-C	Medium-High Density Residential		12.1-18.0	18.0	11.7	211
PA 9	Neighborhood Commercial (0.35 FAR)				9.3	
PA 9	Residential Overlay Alternative ²		12.1-18.0	18.0	(9.3) ²	168
PA 10	RSG Community Park				30.0	
PA 11	Confluence Park				10.2	
PA 12	Neighborhood Park				12.7	
PA 13	Entry Park				1.1	
PA 14-A	Village Paseo				3.3	
PA 14-B	Village Paseo				6.0	
PA 14-C	Village Paseo				2.3	
PA 14-D	Village Paseo				1.0	
PA 15-A	Creeks / Creek Edge Linear Parks				54.8	
PA 15-B	Creeks / Creek Edge Linear Parks				67.2	
PA 16-A	Public Facility				2.4	
PA 16-B	Electrical Sub-station				0.2	
PA 17	Natural Open Space				25.7	
PA 18	Storm Darin Easement				1.1	
	Backbone Roadways Right-of-Way ³				77.1	
	TOTAL (Maximum Dwelling Units Allowed)				848.6	3,412

Notes: ¹ Very Low Density Residential (VLDR) and Low Density Residential (LDR) = detached single-family units only; Medium Density Residential (MDR) - Age Qualified includes detached or attached single-family units; Medium-High Density Residential (MHDR) includes detached or attached single-family and multi-family units.

² A Residential Overlay alternative of Medium-High Density Residential (MHDR, 12.1-18.0 du/ac) is allowed on Planning Area 9 in lieu of the Neighborhood Commercial designation, if PA 9 does not develop as commercial, and the maximum number of residential units in the Specific Plan does not exceed 3,412.

³ Backbone Roadways Right-of-Way includes adjacent landscaped parkway corridors.

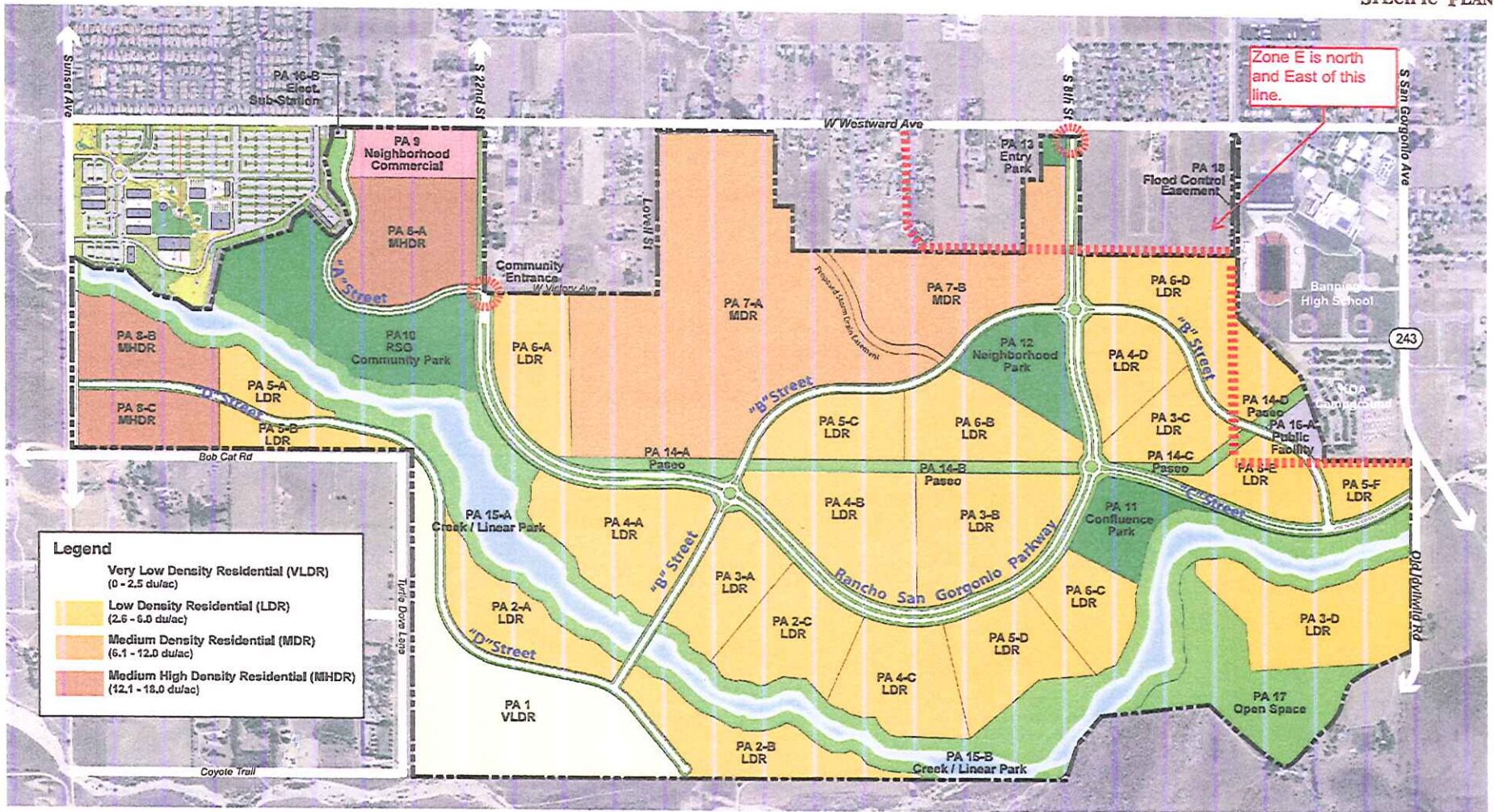
Table 2-1: General Land Use Summary

2013 Rancho San Gorgonio Specific Plan					
Land Use	Gross Acres	% of Area	Dwelling Units	% of Dwelling Units	Average Gross Density (du/ac)
Residential					
Very Low Density (VLDR) (0-2.5 du/ac)	47	5.5%	94	2.8%	2.0
Low Density (LDR) (2.6-6.0 du/ac)	324.3	38.2%	1,490	43.7%	4.6
Medium Density (MDR) Age Qualified (6.1-12.0 du/ac)	125.3	14.8%	803	23.5%	6.4
Medium-High Density (MHDR) (12.1-18.0 du/ac)	47.6	5.6%	857	25.1%	18.0
Residential Totals	544.2	64.1%	3,244	95.1%	6.0
Parks/Open Space					
RSG Community Park	30	3.6%			
Confluence Park	10.2	1.2%			
Neighborhood Park	12.7	1.5%			
Entry Park	1.1	0.1%			
Village Paseos	12.6	1.5%			
Creeks/Creek Edge Linear Parks	122	14.4%			
Natural Open Space	25.7	3%			
Open Space Subtotals	214.3	25.3%			
Other					
Neighborhood Commercial	9.3	1.1%	168*	4.9%*	18.0*
Public Facility	2.6	0.3%			
Backbone Roadways Right-of-Way	77.1	9.1%			
Storm Drain Easement	1.1	0.1%			
Other Subtotals	90.1	10.6%			
SPECIFIC PLAN TOTALS					
	848.6	100%	3,412**	100%	4.0

Notes:

* A Residential Overlay alternative of Medium-High Density Residential (MHDR, 12.1-18.0 du/ac) is allowed on Planning Area 9 in lieu of the Neighborhood Commercial designation, if PA 9 does not develop as commercial.

** The maximum number of dwelling units to be allowed in the Specific Plan is 3,412.



Legend

	Very Low Density Residential (VLDR) (0 - 2.5 du/ac)
	Low Density Residential (LDR) (2.6 - 6.0 du/ac)
	Medium Density Residential (MDR) (6.1 - 12.0 du/ac)
	Medium High Density Residential (MHDR) (12.1 - 18.0 du/ac)

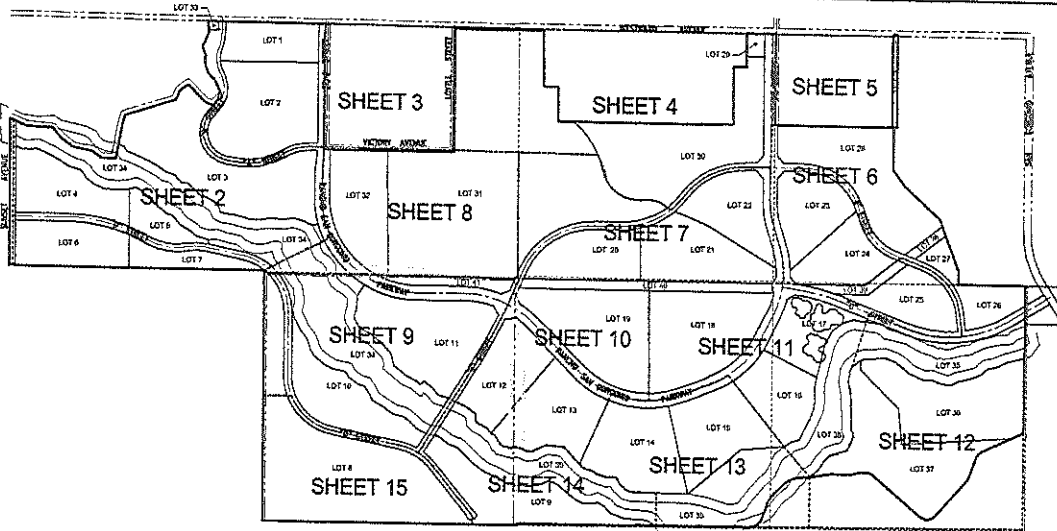
Source: KTG Architecture + Planning

RBF 0' 400' 800' 1600'

A Baker Company Date: 10/23/2013 JN: 133222

Land Use Plan (Color)

EXHIBIT 2-2A



FLOOD ZONE NOTE

THE SUBJECT PROPERTY IS DESIGNATED AS LIND WITHIN ZONE "C" AND ZONE "AE" ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP. COMMUNITY PANEL NUMBERS 060246 0817 G AND 060243 0817 G. ALL DATED AUGUST 20, 2002.

ZONE "C" BEING DEFINED AS "AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED".
 ZONE "AE" BEING DEFINED AS "AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTH LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD."

LEGAL DESCRIPTION

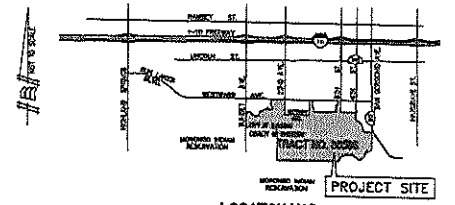
SEE SHEET 1E.

GENERAL INFORMATION

- EXISTING LAND USE: VACANT
- ADJACENT LAND USE: RESIDENTIAL, VACANT
- EXISTING ZONING:
- PROPOSED WATER SERVICE WILL BE PROVIDED BY CITY OF BANNING
- PROPOSED SEWER SERVICE WILL BE PROVIDED BY CITY OF BANNING
- ALL UTILITIES SHALL BE UNDERGROUND:
 - GAS: SOUTHERN CALIFORNIA GAS CO.
 - ELECTRIC: CITY OF BANNING
 - TELEPHONE: VERIZON
 - CABLE TV: TIME WARNER
 - SEWER: CITY OF BANNING
 - WATER: CITY OF BANNING
 - STORM DRAIN: RIVERSIDE COUNTY FLOOD CONTROL AND WATER CONSERVATION DISTRICT, CITY OF BANNING
- ASSESSOR'S PARCEL NO. - SEE TITLE REPORT
- TRACING GUIDE: MAP PAGES 721 AND 722
- AERIAL PHOTOGRAPHY WAS PREPARED BY TERRASCAN INC. DATE OF PHOTOGRAPHY: 08-19-2012
- FORM FLOOD ZONE AS SHOWN
- GROSS AREA: 848.5 ACRES
- CONTOUR INTERVAL: AS SHOWN
- DATE OF MAP PREPARATION: MAY 2013
- THE SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS FOR THIS TENTATIVE MAP
- STREETS WILL BE CONSTRUCTED PER CITY OF BANNING REQUIREMENTS

**TENTATIVE TRACT MAP
TENTATIVE TRACT NO. 36586
City of Banning
County of Riverside, State of California**

MAY 15, 2013 REV. 12-31-2012



PROJECT AREAS

RESIDENTIAL	(27 LOTS)	844.0 ACRES
COMMERCIAL	(1 LOT)	9.3 ACRES
PARK	(4 LOTS)	53.0 ACRES
PASSED	(4 LOTS)	12.8 ACRES
CREEK / PARK	(2 LOTS)	122.1 ACRES
FUTURE DEVELOPMENT	(1 LOT)	25.7 ACRES
STORM DRAIN EASEMENT	(1 LOT)	1.1 ACRES
PUBLIC FACILITY	(2 LOTS)	2.8 ACRES
STREETS		77.2 ACRES
TOTAL AREA	(42 LOTS)	848.5 ACRES

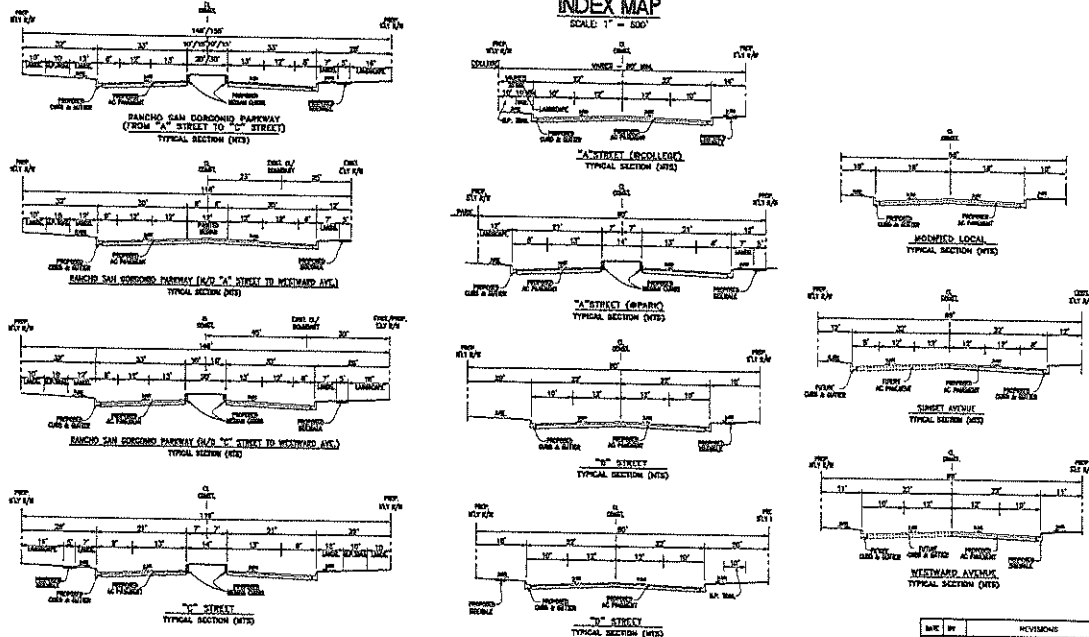
LOT AREA TABLE

LOT NO.	ACRES	DESCRIPTION
1	9.3	COMMERCIAL
2	23.0	RESIDENTIAL
3	50.0	PARK
4	13.6	RESIDENTIAL
5	0.2	RESIDENTIAL
6	12.4	RESIDENTIAL
7	3.8	RESIDENTIAL
8	47.0	RESIDENTIAL
9	17.6	RESIDENTIAL
10	15.5	RESIDENTIAL
11	23.2	RESIDENTIAL
12	14.0	RESIDENTIAL
13	18.2	RESIDENTIAL
14	17.7	RESIDENTIAL
15	18.4	RESIDENTIAL
16	11.7	RESIDENTIAL
17	10.1	PARK
18	23.8	RESIDENTIAL
19	25.1	RESIDENTIAL
20	12.8	RESIDENTIAL
21	8.0	RESIDENTIAL
22	12.7	PARK
23	12.2	RESIDENTIAL
24	18.6	RESIDENTIAL
25	10.4	RESIDENTIAL
26	5.0	RESIDENTIAL
27	2.4	PUBLIC FACILITY
28	24.0	RESIDENTIAL
29	1.1	PARK
30	30.8	RESIDENTIAL
31	24.7	RESIDENTIAL
32	15.0	RESIDENTIAL
33	0.2	PUBLIC FACILITY
34	24.0	RESIDENTIAL
35	87.2	CREEK/PARK
36	24.0	RESIDENTIAL
37	25.7	FUTURE DEVELOPMENT
38	1.0	PASSED
39	2.3	PASSED
40	6.0	PASSED
41	3.5	PASSED
LOT A	1.1	STORM DRAIN EASEMENT
TOTAL	771.5	

ROADS	ACRES
RSD PARKWAY	30.6
A STREET	6.0
B STREET	13.4
C STREET	8.8
D STREET	12.1
SUNSET AVE.	2.1
WESTWARD AVE.	9.4
TOTAL	77.2

INDEX MAP

SCALE: 1" = 500'



REV	BY	REVISIONS	DATE	APPROVED



MADOLE ENGINEERING
 1000 WESTWARD AVENUE, SUITE 200
 BANNING, CALIFORNIA 92403
 PHONE: 951-846-8822
 FAX: 951-846-8823
 AUTHORITY: PLS No. 7835 EXP. 12-31-2014

OWNER/DEVELOPER
 1000 WESTWARD AVENUE, SUITE 200
 BANNING, CALIFORNIA 92403
 PHONE: 951-846-8822

**TENTATIVE TRACT NO. 36586
(Rancho San Gorgonio)
City of Banning
County of Riverside, State of California**

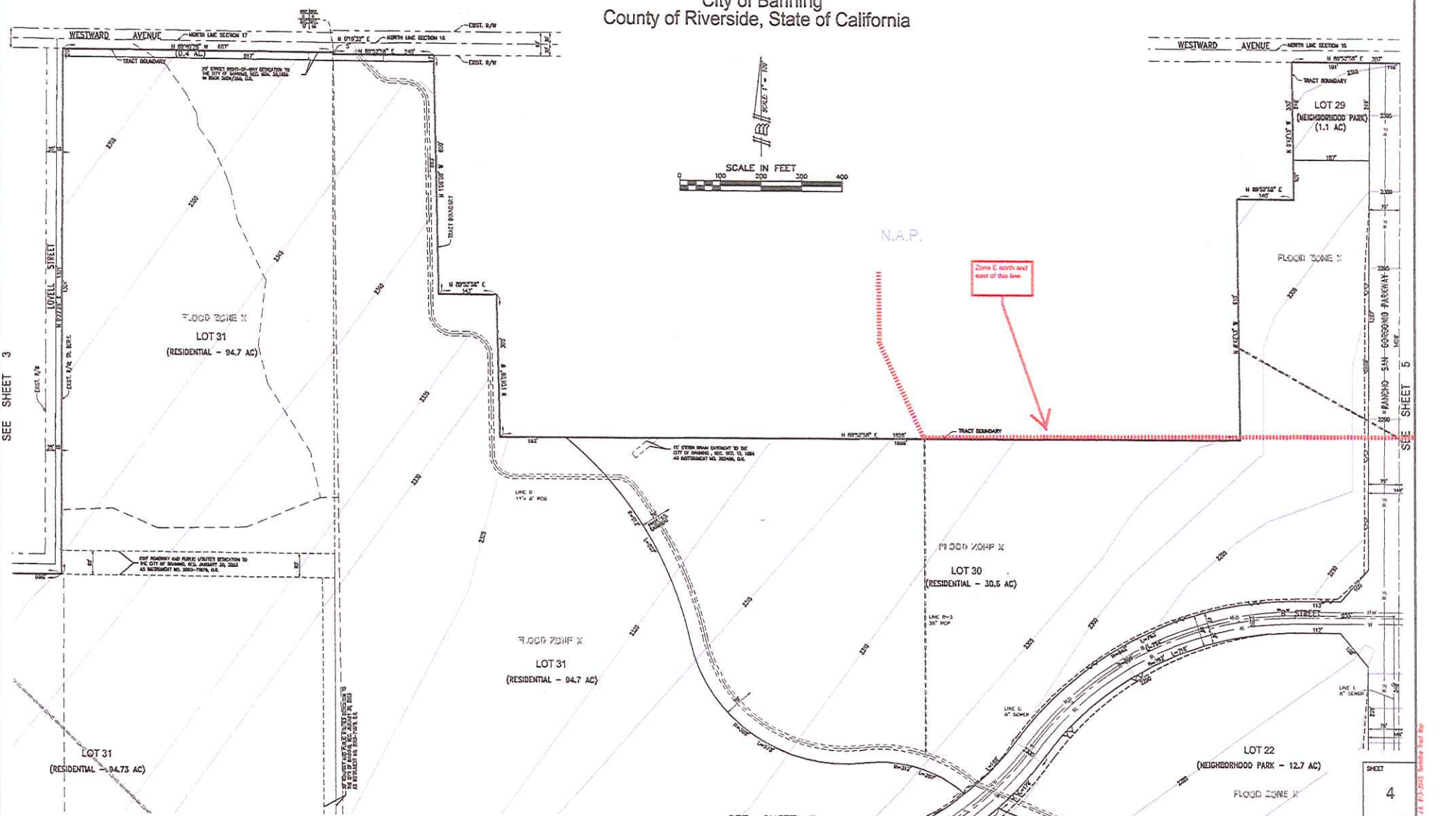
MAY 15, 2013

SHEET

1

OF 16

TENTATIVE TRACT MAP
 TENTATIVE TRACT NO. 36586
 City of Banning
 County of Riverside, State of California



SEE SHEET 3

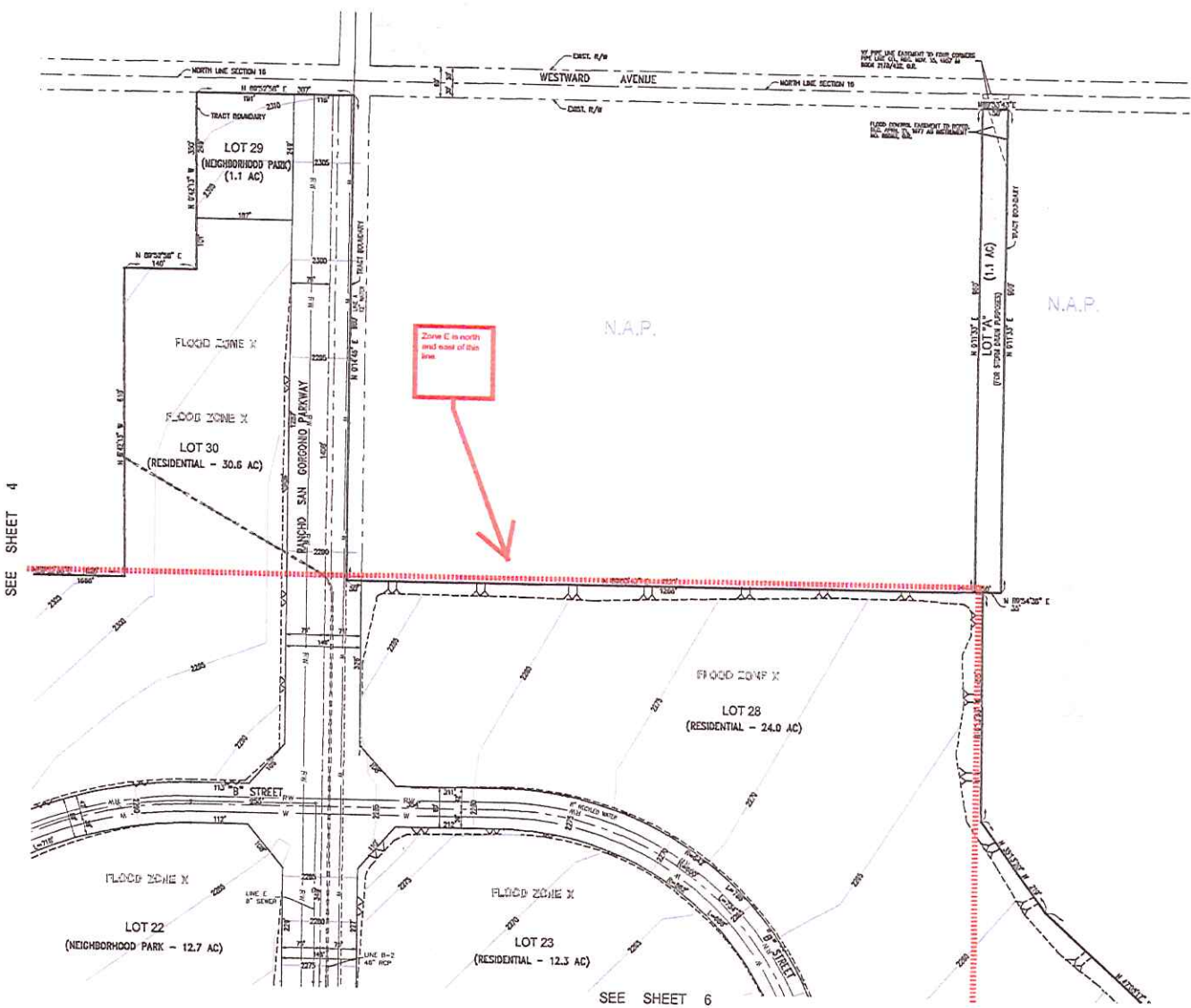
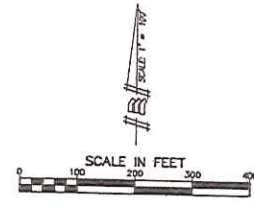
SEE SHEET 5

SEE SHEET 7

SHEET
 4
 OF
 16

DATE SUBMITTED TO CITY TRACT MAPS: 1/21/2020. DATE OF CITY TRACT MAPS: 1/21/2020. DATE OF CITY TRACT MAPS: 1/21/2020.

TENTATIVE TRACT MAP
 TENTATIVE TRACT NO. 36586
 City of Banning
 County of Riverside, State of California



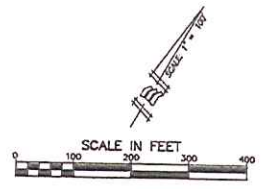
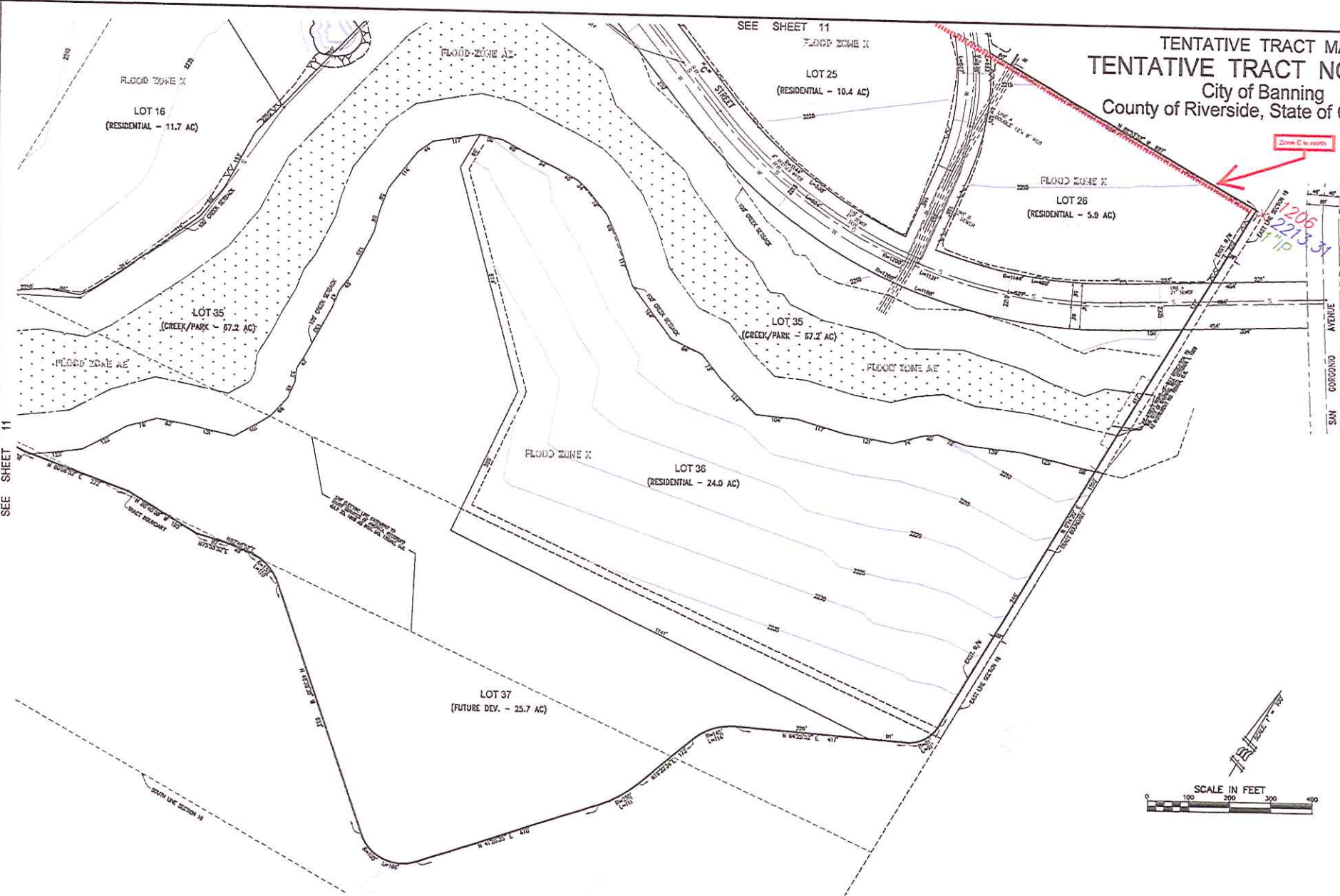
SEE SHEET 4

SEE SHEET 6

TENTATIVE TRACT MAP
 TENTATIVE TRACT NO. 36586
 City of Banning
 County of Riverside, State of California

Zone C to north

2206
 2213
 31



NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, September 2 (Labor Day), and by appointment on Friday, September 6 from 8:30 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: September 12, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1012BA13 – Rancho San Gorgonio LLC (Representative: Pitassi Architects, Peter J. Pitassi) - City Case Nos. Specific Plan 13-2001, Zone Change 13-3501, General Plan Amendment 13-2503, Tentative Tract Map 13-4501, Development Agreement 13-1502. Specific Plan 13-2001 is a proposal to develop 848.6 gross acres generally located southerly of Westward Avenue, easterly of Sunset Avenue, northerly of Coyote Trail, and westerly of San Gorgonio Avenue as a master planned community with 3,753 dwelling units, 10 acres of commercial land, and 188.5 acres of open space. Zone Change 13-3501 proposes to change the existing zoning from Very Low/Rural/Medium Density Residential to a Specific Plan. General Plan Amendment 13-2503 proposes to change existing land use from Very Low/Rural/Medium Density Residential to a Specific Plan. Tentative Tract Map 13-4501 proposes to subdivide 848.56 acres into 38 lots for financing, rough grading, and backbone street dedication purposes. Development Agreement 13-1502 proposes to define the parameters for the orderly development of the property with regard to the developer's obligation to provide infrastructure and public improvements and facilities and to define the City's obligations with regard to permitting and approvals. (Zone E of Banning Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Zai Abu Bakar of the City of Banning Planning Department, at (951) 922-3105.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1012BA13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application July 18, 2013
 Property Owner Rancho San Gorgonio LLC (Phil Burum) Phone Number 909-481-1150
 Mailing Address 10621 Civic Center Drive
Rancho Cucamonga, CA 91730

Agent (if any) Peter J. Pitassi Phone Number 909-980-1361
 Mailing Address Pitassi Architects, Inc.
8439 White Oak Ave., Suite 105
Rancho Cucamonga, CA 91730

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address South of Westward Avenue and west of Highway 243
in Banning.
 Assessor's Parcel No. 543-020-21, 543-030-04, 543-040-02 Parcel Size 848 acres total
 Subdivision Name Rancho San Gorgonio 543-040-01 Zoning Proposed
 Lot Number _____ Classification Specific Plan

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Property is vacant and zoned for low density residential use.

Proposed Land Use (describe) Parcels are part of a proposed planned community which will include a variety of residential uses.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) Unknown at this time
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site _____ Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) Proposed Maximum Hgt. 35 ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site 2409' AMSL* ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

* This elevation is at Sunset Avenue, the far western edge of the planned community. Within Zone E, the highest elevation is 2305' AMSL.

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received _____

Agency Name _____

City of Banning

Staff Contact _____

Zai Abu Bakar

Phone Number _____

Agency's Project No. _____

Type of Project

- General Plan Amendment
- Zoning Amendment or Variance
- Subdivision Approval
- Use Permit
- Public Facility
- Other *Specific Plan*

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt

Date Received _____

By _____

Is Application Complete? Yes No

If No, cite reasons _____

Airport(s) Nearby _____

Primary Criteria Review

- Compatibility Zone(s) A B1 B2 C D E Ht.
- Allowable (not prohibited) Use? Yes No
- Density/Intensity Acceptable? Yes No
- Open Land Requirement Met? Yes No
- Height Acceptable? Yes No
- Easement/Deed Notice Provided? Yes No

Special Conditions

Describe: _____

Supplemental Criteria Review

Noise _____

Safety _____

Airspace Protection _____

Overflight _____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action

- Approve
- Refer to ALUC

Date _____

ALUC Action

- Consistent
- Consistent with Conditions (list conditions/attach additional pages if needed)

Date _____

- Inconsistent (list reasons/attach additional pages if needed)

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.23.2

HEARING DATE: December 12, 2013 (Continued from November 14, 2013)

CASE NUMBER: ZAP1014BA13 – Watermark Development Inc., Mark Quental

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NO: DR-13-7003 (Design Review)

MAJOR ISSUES: The proposed building would exceed both the average and single-acre intensity criteria and residential density criteria of Compatibility Zone B1. *The applicant requested a continuance to the December meeting in order to discuss eligibility for the risk-reduction design bonus with City officials. As of November 26, 2013, staff has not received new information since the November 14 ALUC meeting.*

RECOMMENDATION: Staff recommends CONTINUANCE to January 9, 2014, to allow the applicant additional time to meet with the City and make further changes to the project, as needed. ~~Staff recommends a finding of INCONSISTENCY for the design review, based on the proposed project exceeding both average and single-acre non-residential intensity criteria for Compatibility Zone B1.~~ However, if the Commission is willing to use the Parking Space Method to evaluate average occupancy and accepts the applicant's position on the anticipated occupancy for the units as a means of dealing with the single-acre intensity in Zone B1, the Commission may find the project CONDITIONALLY CONSISTENT, subject to the conditions included herein and such additional conditions as may be necessary to incorporate FAA Obstruction Evaluation Service requirements CONTINUE ~~this matter to its December 12 hearing, pending FAA review.~~

PROJECT DESCRIPTION: DR-13-7003 is a proposal to develop a 64,327 square foot live/work building consisting of 24 total live/work units on 3.74 acres gross that would include 52,463 square feet of 1st floor area total for office/industrial use and 11,864 square feet of 2nd floor area total for loft/living space.

PROJECT LOCATION: The site is located southerly of Lincoln Street, northerly of Barbour Street, westerly of Hathaway Street, and easterly of Juarez Street, in the City of Banning, approximately 570 feet southwesterly of Runway 8-26 at Banning Municipal Airport.

LAND USE PLAN: 2004 Banning Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Banning Municipal Airport
- b. Land Use Policy: Zones B1 and D.
- c. Noise Levels: Aircraft noise levels are approximately 55-60 CNEL

BACKGROUND:

Non-Residential Average Intensity: The site is located within Airport Compatibility Zones B1 and D, with approximately 16 of the proposed units located within Zone B1 and approximately 8 of the proposed units located within Zone D. Non-residential intensity in Airport Compatibility Zone B1 is restricted to an average intensity of 25 people per acre. Non-residential intensity in Airport Compatibility Zone D is restricted to an average intensity of 100 people per acre. The “Building Code Method” for calculating intensity utilizes “minimum floor area per occupant” criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following intensities were utilized for the project:

- office areas – 1 person/100 square feet with potential for 50% reduction;
- shop/manufacturing areas – 1 person/200 square feet;
- storage areas – 1 person/300 square feet;
- warehouse areas – 1 person/500 square feet;
- dwellings/living area – 1 person/300 square feet.

Based on the updated site plan provided, the entire building consists of 9,900 square feet of office area and 26,950 square feet of warehouse area, with the remaining area consisting of 11,864 square feet for residential/living area, 8,360 square feet for interior covered parking, and 7,253 square feet for miscellaneous non-occupiable areas (i.e. utility rooms, stairs, etc.). Based on this, the entire building would accommodate a total of 184 people with the 50% reduction for office uses.

A typical individual unit as indicated on the updated site plan provided would consist of 540 square feet of office area, 1,230 square feet of shop/manufacturing area, 360 square feet for parking/storage, and 546 square feet of residential/living area or storage. These typical unit assumptions are inconsistent with the total building assumptions regarding “warehouse” instead of “shop” uses. The typical unit assumption of “shop” instead of “warehouse” is likely more accurate for how the units would be used. Based on this, a typical unit would accommodate 12 people each with the 50% reduction for office uses with residential or storage use on the 2nd floor. In addition, the updated plans included options for each floor plan. Of these, the most intense option would provide for a maximum of 900 square feet of 2nd floor office space. Considering this as a maximum scenario for a typical unit, each typical unit could accommodate a total of 15 people.

Two non-typical units at approximately 883 square feet each are located on the northern portion of the building that appear to primarily accommodate office area and no residential/living area. Based on this assumption, these non-typical units would accommodate 4 people each with the 50% reduction for office uses.

The total gross acreage of the site including the adjacent half-width streets is estimated at 3.75 acres with approximately 2.50 acres within Zone B1 and 1.25 acres within Zone D. Utilizing the average acre criterion for each zone, this would mean that a total of 63 people could be allowed in Zone B1 and a total of 125 people could be allowed in Zone D for a total of 188 people allowed across the entire site.

Within Zone B1 there are 14 typical units and 2 non-typical units, which would result in a total occupancy of 176 people based on the typical plan and 218 people based on maximum typical unit. Within Zone D there are 8 typical units, which would result in a total occupancy of 96 people based on the typical plan and 120 people based on maximum typical unit. Based on the gross acreages and the intensity as calculated by the Building Code Method, the average intensity within Zone B1 would be 70 people per average acre based on typical unit and 87 people per average acre for the maximum unit, which are both inconsistent with the average acre criterion of 25. The average intensity within Zone D would be 77 people per average acre for the original plans and 96 people per average acre for the alternative plans, which are both consistent with the average acre criterion of 100.

As discussed with the applicant, if each of the 16 units within Zone B1 were somehow limited to a maximum of 3 people within Zone B1, this would yield a total of 48 people for an intensity of 20 people per average acre, which would be consistent with the Zone B1 average acre criterion. In these discussions, the applicant indicated that 3 people per unit may be an actual realistic occupancy for an individual unit given the small size of the unit and limited nature of any industrial or office oriented use. It was noted that these units are anticipated to be occupied by an owner/tenant that has a small scale business with minimal to no other employees on site and no visiting customers, which would limit the anticipated actual intensity. The design of the building, which would partition each unit with a concrete tilt up wall, would also limit if not eliminate the possibility for combining units for larger, more people intense operations. Three methods for ensuring compliance with any occupancy limits would be for recordation on the deed, incorporation into the CC&Rs, and ALUC review of any tenant improvement. Conditions 6, 7, and 8 have been included to serve this purpose and for the Commission's review and discussion.

An alternative calculation for intensity is based on the number of parking spaces provided for a project. While the requirement for parking as indicated on the site plan is a total of 107 parking spaces, the actual number of parking spaces provided is 125 parking spaces. Assuming an occupancy of 1.5 persons per vehicle, this would equate to a total of 188 people for the entire site. Based on simply the parking required for the units located within each Compatibility Zone, a total of 57 parking spaces is required for the units in Zone B1 and 50 parking spaces is required for the units in Zone D. Based on these required amounts at 1.5 persons per vehicle, 86 people would be accommodated in Zone B1 and 75 people would be accommodated in Zone D. Utilizing the gross

acreages as previously noted, these would result in an intensity of 34 people per average acre in Zone B1 and 60 people in Zone D, which are inconsistent with the Zone B1 acreage acre criterion and consistent with the Zone D average acre criterion.

However, as previously stated, a total of 188 people are allowed on the site per average acre criteria for each Zone. So, the project is consistent with the average acre criterion if the Parking Space Method, which calculated 188 people, is applied across the entire site and not by zones within the site.

Non-Residential Single-Acre Intensity: The proposed building is located within Airport Compatibility Zones B1 and D. Non-Residential intensity in Airport Compatibility Zone B1 is restricted to 50 people in any given single-acre. Non-Residential intensity in Airport Compatibility Zone D is restricted to 300 people in any given single acre. The most intense single-acre within Zone B1 would consist of 12 typical units, which would accommodate a total of 144 people based on typical unit and 180 people based on maximum unit. These would be inconsistent with the Zone B1 single-acre criterion. The most intense single-acre within Zone D would consist of all 8 typical units, which would accommodate a total of 96 people based on typical unit and 120 people based on maximum unit. These would be consistent with the Zone D criterion.

As noted in the Average-Acre analysis, if each of the 12 typical units within a single-acre were limited to a maximum 3 people within Zone B1, this would yield a total of 36 people, which would be consistent with the single-acre criterion. Even at 4 people per unit would yield a total of 48 people, which would also be consistent with the single-acre criterion.

Risk-Reduction Design Bonus: A bonus of up to 1.3 times the Zone B1 single-acre criteria of 50 for a maximum allowable intensity of 65 could be granted at the authority of the City of Banning based on the type and amount of risk reduction measures incorporated. Based on the site and building design, the exterior walls and interior unit separating walls of the building would be a tilt-up concrete wall and windows would be limited to the entries and 2nd story living areas. However, the building does propose 2 stories as well as skylights within each unit. No information has been provided regarding the strength of the roof, sprinkler system, or emergency exits to indicate whether these already do or could exceed basic building code standards. Despite this, even at the maximum allowable intensity of 65 with risk-reduction bonus, the project as currently designed accommodates up to 144 people based on typical unit and 180 people based on maximum unit within a single-acre of Zone B1 pursuant to the Building Code Method. However, at the maximum allowable intensity of 65 with risk-reduction bonus, each unit within B1 could be allowed a maximum of 5 people.

Although risk-reduction is typically applied solely to the single-acre criteria as it is shown in the Riverside County Airport Land Use Compatibility Plan, there is no specific notation that it only is applicable to single-acre or is prohibited from applying to average acre criteria. Assuming the maximum 1.3 times bonus could be applied to average acre, this would result in a maximum allowable intensity of 32.5 people per average acre or a total of 81 people allowed on the B1 2.5 gross acre area. Similar to single acre, as calculated by the Building Code and Parking Space

methods, the proposed project would still exceed this maximum criteria. However, at this maximum allowable criteria with bonus, each unit within B1 could be allowed a maximum of 5 people.

Infill Potential: Higher intensity criteria may be considered if the surrounding land uses are similar to or more intense than the proposed project. To qualify for consideration, at least 65% of the project site's perimeter must be surrounded by uses similar to or more intense than the proposed project, and the project site must be less than 20 acres in area. If qualified, a higher average intensity level - the lesser of either the equivalent intensity to surrounding land uses or double the normally allowable intensity - may be consistent. The properties immediately surrounding the project site consist of low intensity residential, open storage, and vacant land that would not be similar or more intense as the proposed project. As such, the project would not qualify for consideration of infill higher intensity criteria.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Zone B1 (Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight) or Zone D (highly noise-sensitive outdoor non-residential uses and hazards to flight). However, as noted above, the proposed building exceeds Zone B1 intensity limitations.

Residential Density: As a live/work development the project is considered a mixed use development and pursuant to Countywide Policy 3.1.3(d) should be treated as non-residential development. Therefore, no consideration of the project's residential intensity and consistency with applicable residential densities is included. Following is Policy 3.1.3 (d).

- (d) Mixed use development in which residential uses are proposed to be located in conjunction with nonresidential uses in the same or adjoining buildings on the same site shall be treated as nonresidential development. The occupancy of the residential portion shall be added to that of the nonresidential portion and evaluated with respect to the nonresidential usage intensity criteria below.
 - (1) This mixed-use development policy is intended for dense, urban-type developments where the resultant ambient noise levels are relatively high. The policy is not intended to apply to projects in which the residential component is isolated from the nonresidential uses of the site.
 - (2) Noise attenuation and other requirements that may be specifically relevant to residential uses shall still apply.

Open Area Requirements: The site is less than ten acres in area and, therefore, is not subject to Zone B1 or D open area requirements.

Noise: The property lies partially within the area that would be subject to average exterior noise levels of 55 CNEL or greater under ultimate airport development conditions. As a potentially noise sensitive mixed use, adequate noise reduction measures should be incorporated into the building design to assure that City of Banning interior noise level standards can be achieved.

PART 77: The elevation at the westerly end of the runway at Banning Municipal Airport is 2,219 feet above mean sea level (AMSL). At a distance of 570 feet from the runway, any building with an elevation at top of roof exceeding 2,224.7 feet AMSL would require FAA notice and review through the Form 7460-1 process. Proposed building pad elevation is 2220.26 feet AMSL and proposed maximum building height is 28'6" for a total height of 2248.76. Therefore, review pursuant to the Federal Aviation Administration Obstruction Evaluation Service Form 7460-1 process is required for the building. Submittal to FAA has been made for Obstruction Evaluation and was assigned an Aeronautical Study Number (ASN) of 2013-AWP-6265-OE. At the time of writing of the staff report, **the submittal has been accepted for review and a determination is still pending the FAA website does not recognize this as a valid number.**

Other Special Conditions: Countywide Policy 3.3.6 allows the Commission to find a normally incompatible use to be acceptable "because of terrain, specific location, or other extraordinary factors or circumstances related to the site." In such a situation, the Commission would need to make findings that the land use would not create a safety hazard nor expose people to excessive noise. In some cases, projects that did not quite meet the exacting standards for consideration as infill have been judged consistent through use of Policy 3.3.6. Staff has not identified any such factors as terrain, specific location, or other extraordinary factors that exist to consider the normally incompatible use to be acceptable pursuant to Policy 3.3.6.

CONDITIONS (in the event that the Commission chooses to determine the project Consistent):

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the

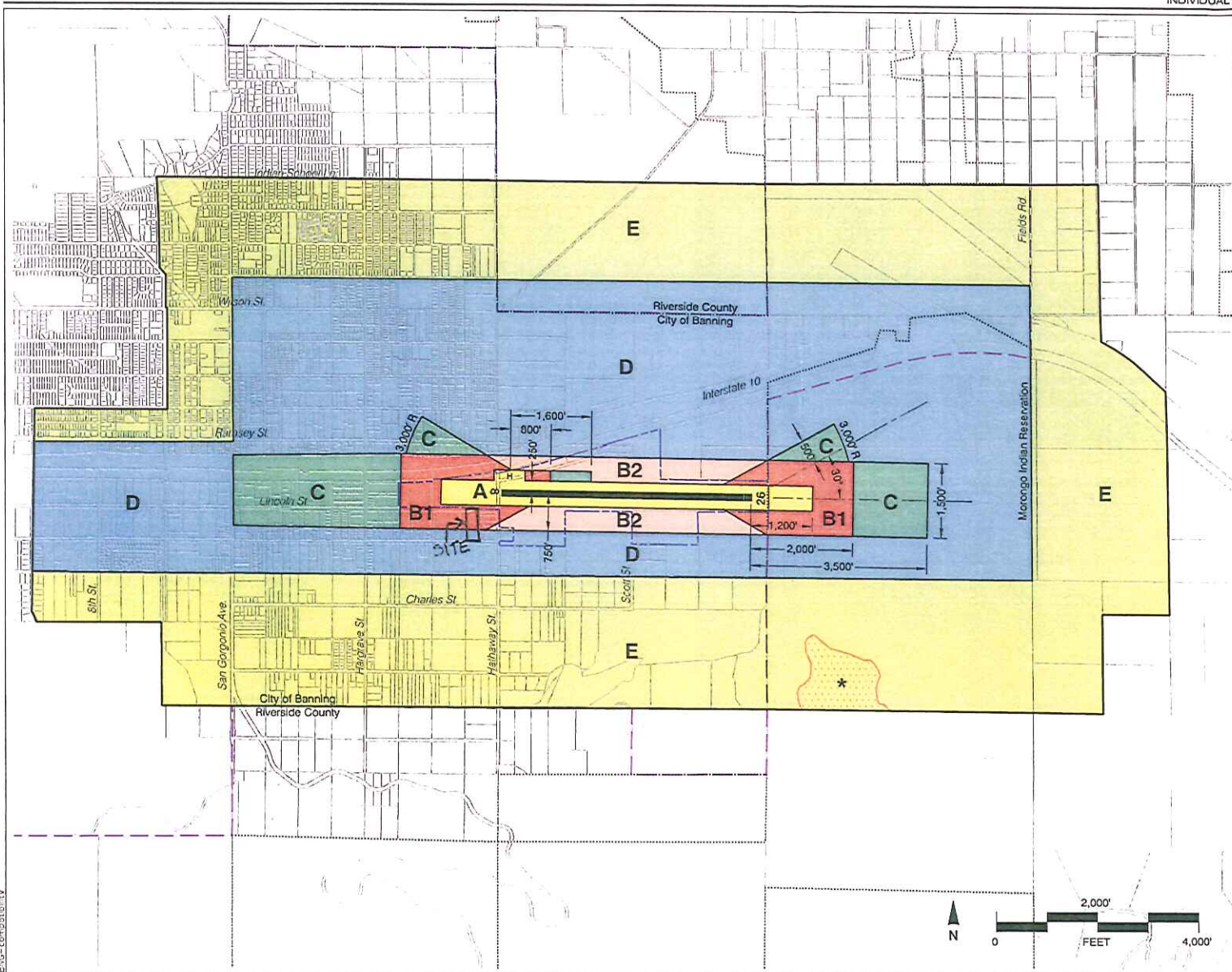
area, including landscaping utilizing water features, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) In Zone B1: Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical infrastructure facilities, or hazards to flight.
 - (f) In Zone D: Highly noise-sensitive outdoor non-residential uses or hazards to flight
3. The attached notice shall be provided to all potential purchasers of the property, ~~and shall be recorded as a deed notice.~~
 4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. Incorporate noise attenuation measures into the building construction to ensure interior noise levels are at or below 45 CNEL for the included residential uses.
 6. The deed notice for the property and any properties created by subdivision of the site shall record that occupancy for units 1 through 16 as identified on the site plan dated October 17, 2013, shall be limited to a maximum of three (3) people per unit to limit building occupant intensity near the Banning Municipal Airport and reduce potential hazards.
 7. Covenants, Conditions, and Restrictions (CC&Rs) shall be recorded prior to occupancy of the proposed units that notes that occupancy for units 1 through 16 as identified on the site plan dated October 17, 2013, shall be limited to a maximum of three (3) people per unit to limit building occupant intensity near the Banning Municipal Airport and reduce potential hazards.
 8. Prior to any tenant improvement for units 1 through 16 as identified on the site plan dated October 17, 2013, the plans for the tenant improvement and any pertinent business plan or other document indicating planned use and occupancy shall be transmitted to ALUC for evaluation of occupancy levels to confirm whether any individual unit would exceed three (3) people.

9. Individual units shall not be further subdivided so as to allow separate ownership and use of residential and commercial/industrial uses within the same unit.
10. **Prior to issuance of building permits, the applicant shall have received a determination of “Not a Hazard to Air Navigation” from the Federal Aviation Administration (FAA) Obstruction Evaluation Service. Copies of the FAA determination shall be provided to the City of Banning Planning Department and the Riverside County Airport Land Use Commission.**
11. **Prior to issuance of building permits, the applicant shall convey and have recorded an aviation easement to the City of Banning as owner-operator of Banning Municipal Airport. (In the event that the City of Banning declines to accept an aviation easement, the attached notice shall be recorded as a deed notice.)**

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

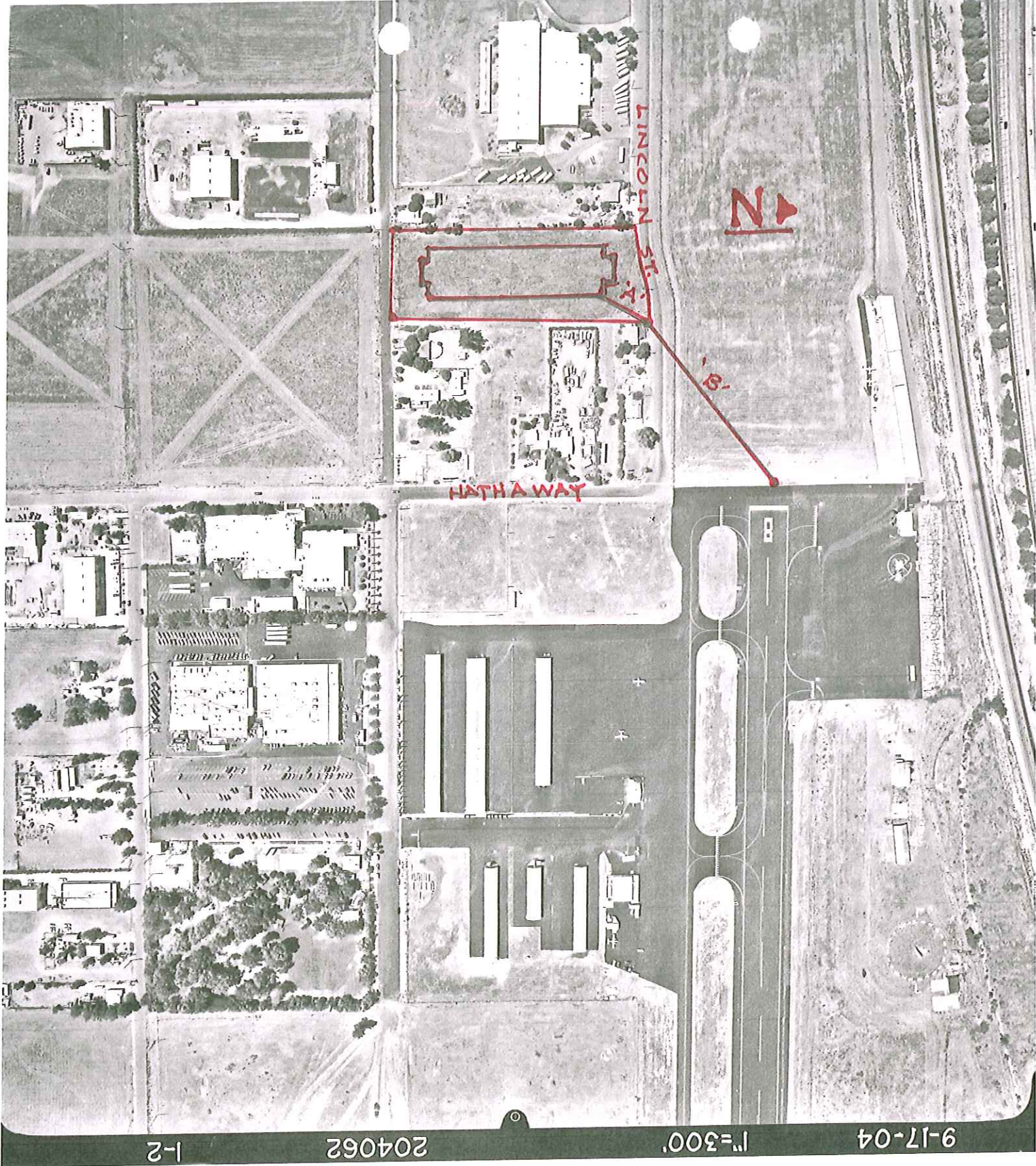
- Airport Property Line
- City Limits
- Morongo Indian Reservation

Note

Dimensions measured from runway ends and centerlines.
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
**Riverside County
Airport Land Use Compatibility Plan
Policy Document**
(Adopted October 2004)

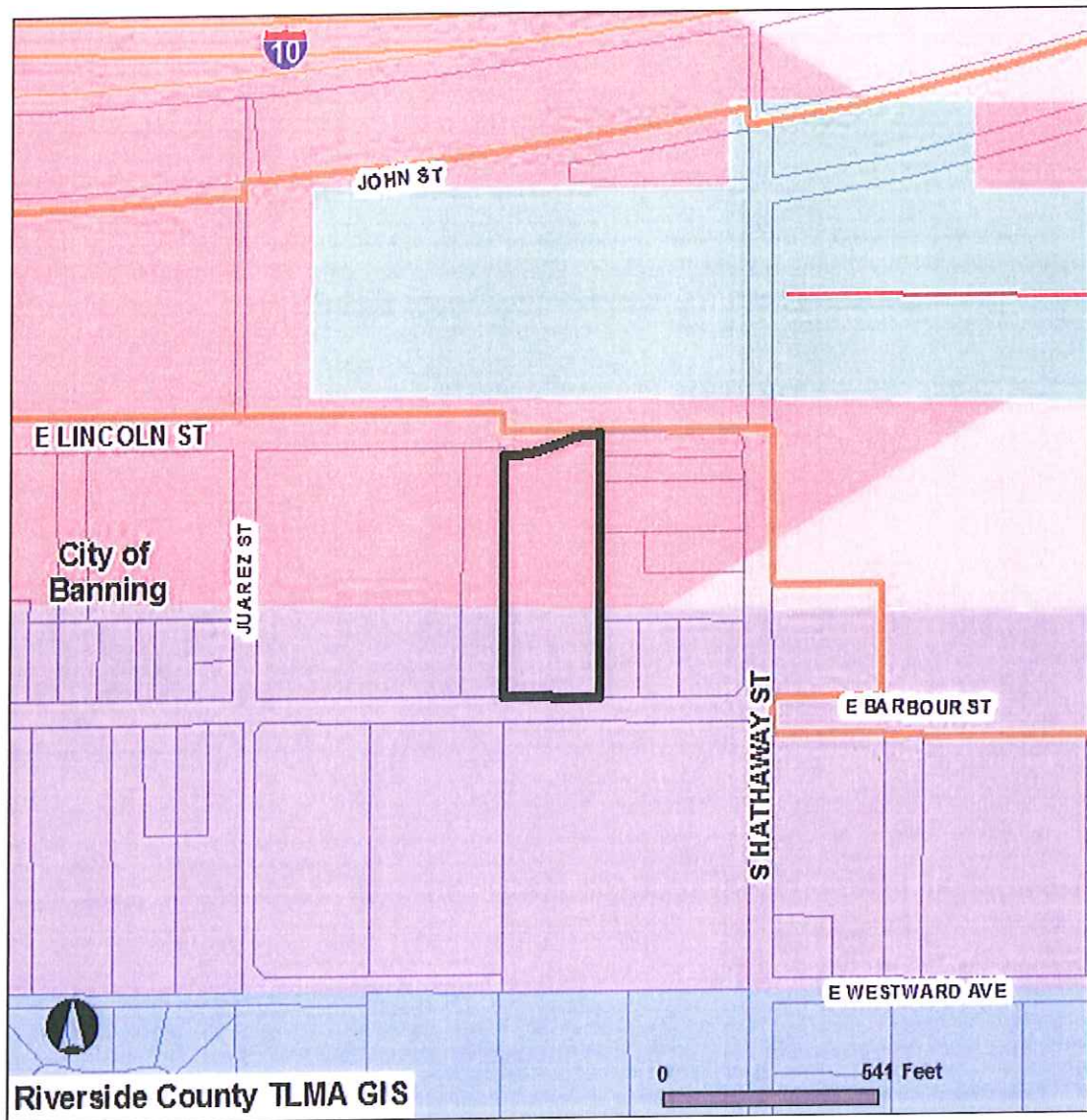
Map BN-1



Banning Airport Elevation: 2219'
 Proposed Project Site Elevation 2220'
 Proposed Building Height 25'
 Overall Height 2245'

Project Distance to Airport
 Measurement 'A' 157'
 Measurement 'B' 545'
 Total Distance 702'

RIVERSIDE COUNTY GIS



Selected parcel(s):
541-290-013

AIRPORTS

- | | | | |
|-----------------------|-------------------------|----------------------|----------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | PARCELS |
| AIRPORT RUNWAYS | AIRPORT INFLUENCE AREAS | AIRPORT BOUNDARIES | COMPATIBILITY ZONE A |
| COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 | COMPATIBILITY ZONE D | COMPATIBILITY ZONE E |

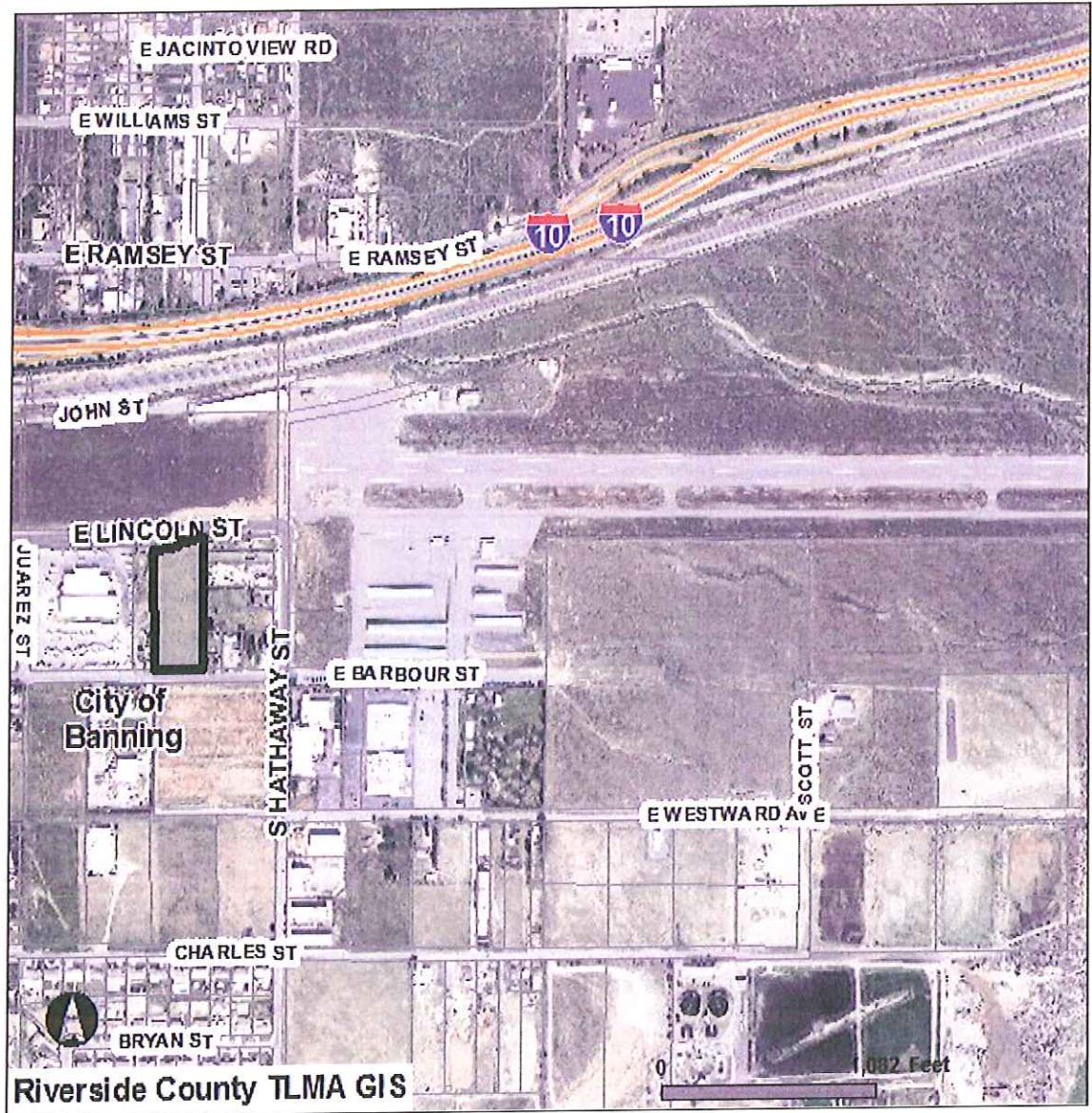
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):
541-290-013

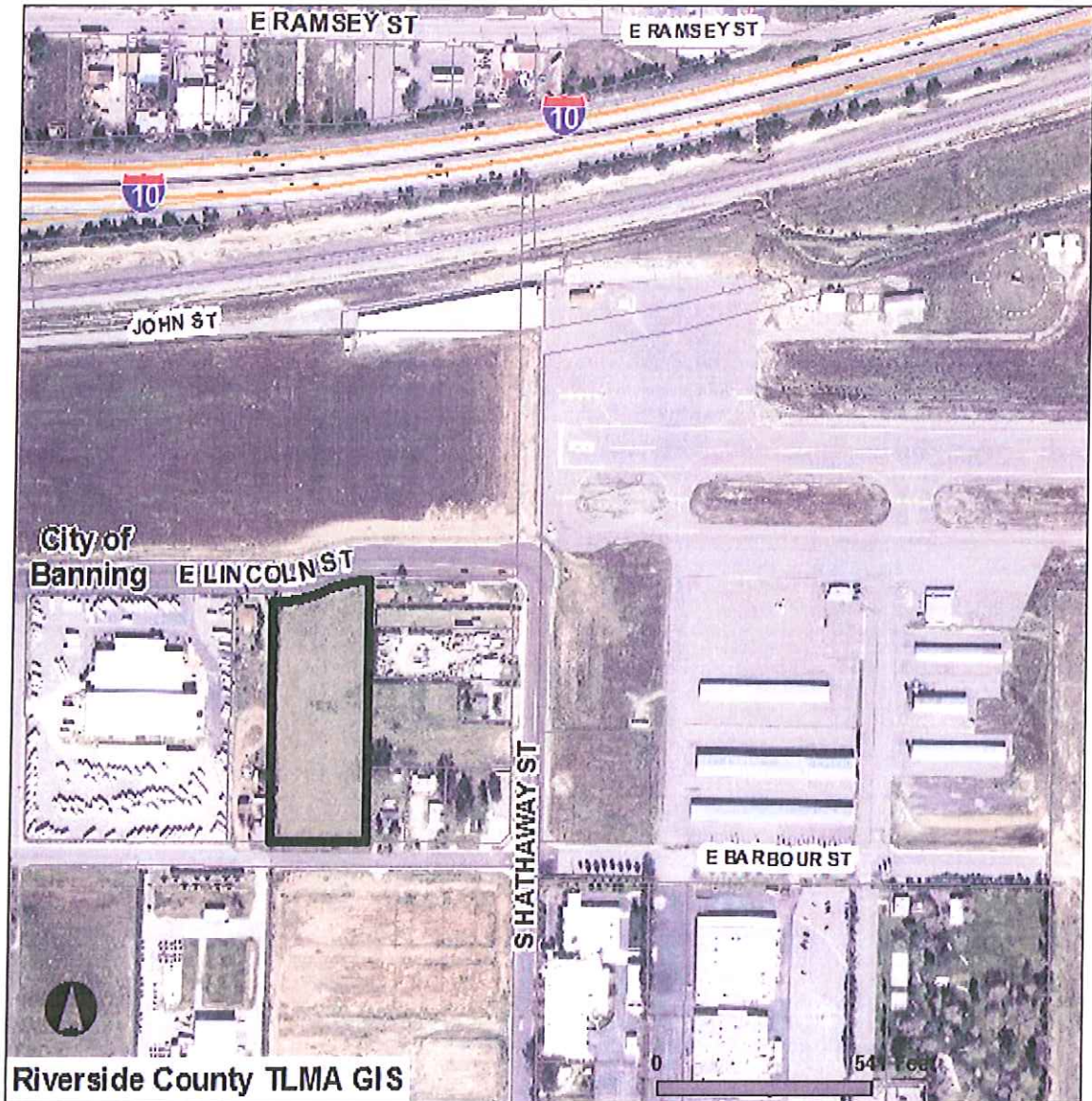
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RIVERSIDE COUNTY GIS



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541-290-013

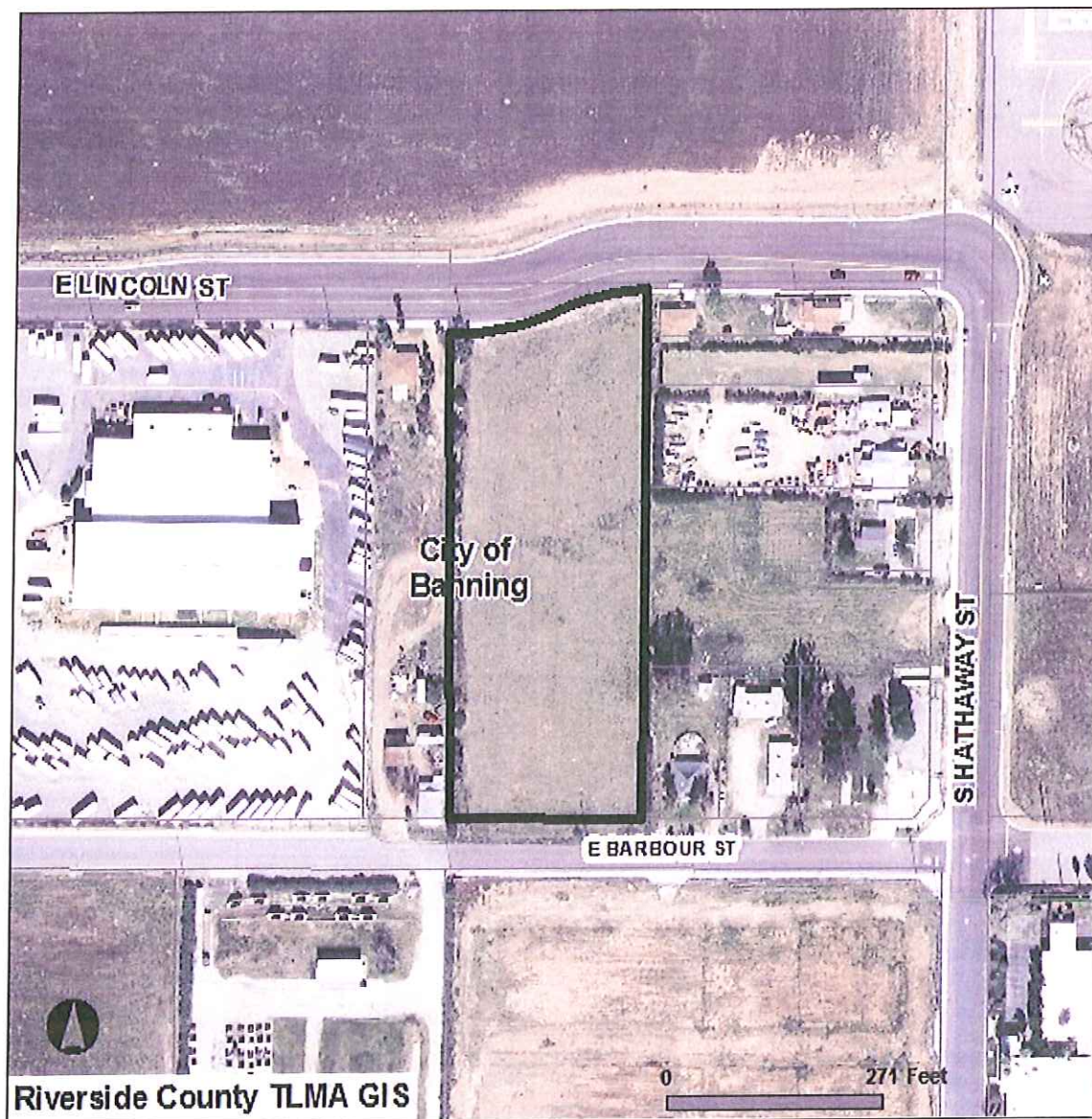
IMPORTANT

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Version 131001

RIVERSIDE COUNTY GIS



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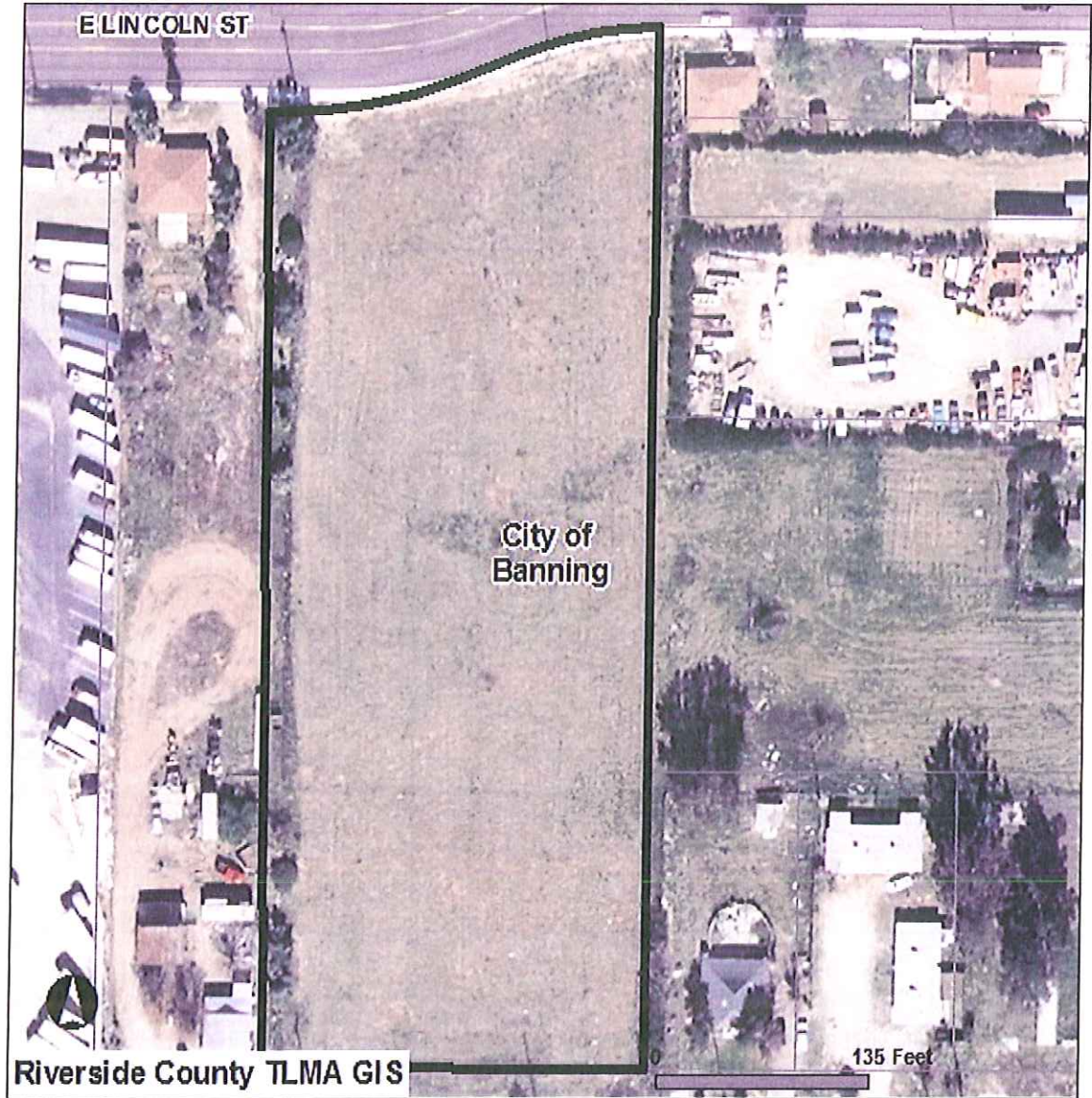
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131001

RIVERSIDE COUNTY GIS



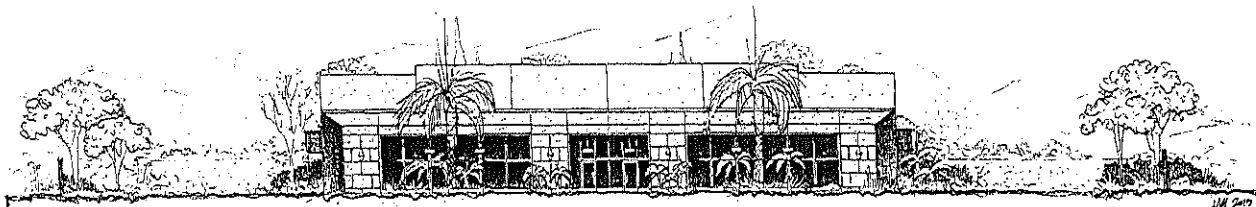
Selected parcel(s):
541-290-013

IMPORTANT

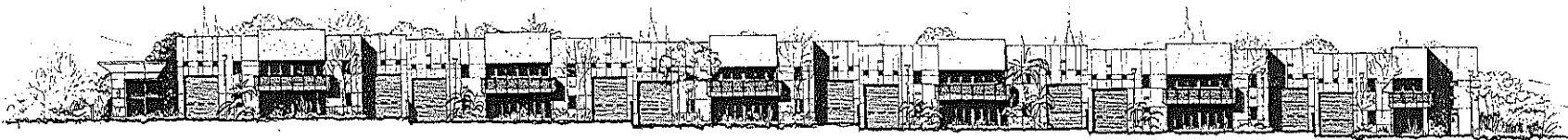
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131001



NORTH ELEVATION
[FACING LINCOLN STREET]



WEST ELEVATION

L I N C O L N S T R E E T

A I R P O R T I N D U S T R I A L W O R K L O F T S

A 24 UNIT - MIXED USE
CONDOMINIUM DEVELOPMENT

B A N N I N G , C A L I F O R N I A 9 0 2 2 2

**WATERMARK
DEVELOPMENT
INC**

333 North Venice Avenue
Pasadena, California 92879
Tel 714-839-2462 Fax 714-524-9949
www.watermarkdevelopment.com
Lic No 21597

All Plans, Sections and Details shown on these drawings, including all attachments, are prepared and issued by the architect. No other drawings, specifications, conditions of contract or other documents shall be used in conjunction with these drawings unless specifically stated otherwise on the drawings. The architect shall not be responsible for any errors or omissions on the drawings or for any consequences arising therefrom.

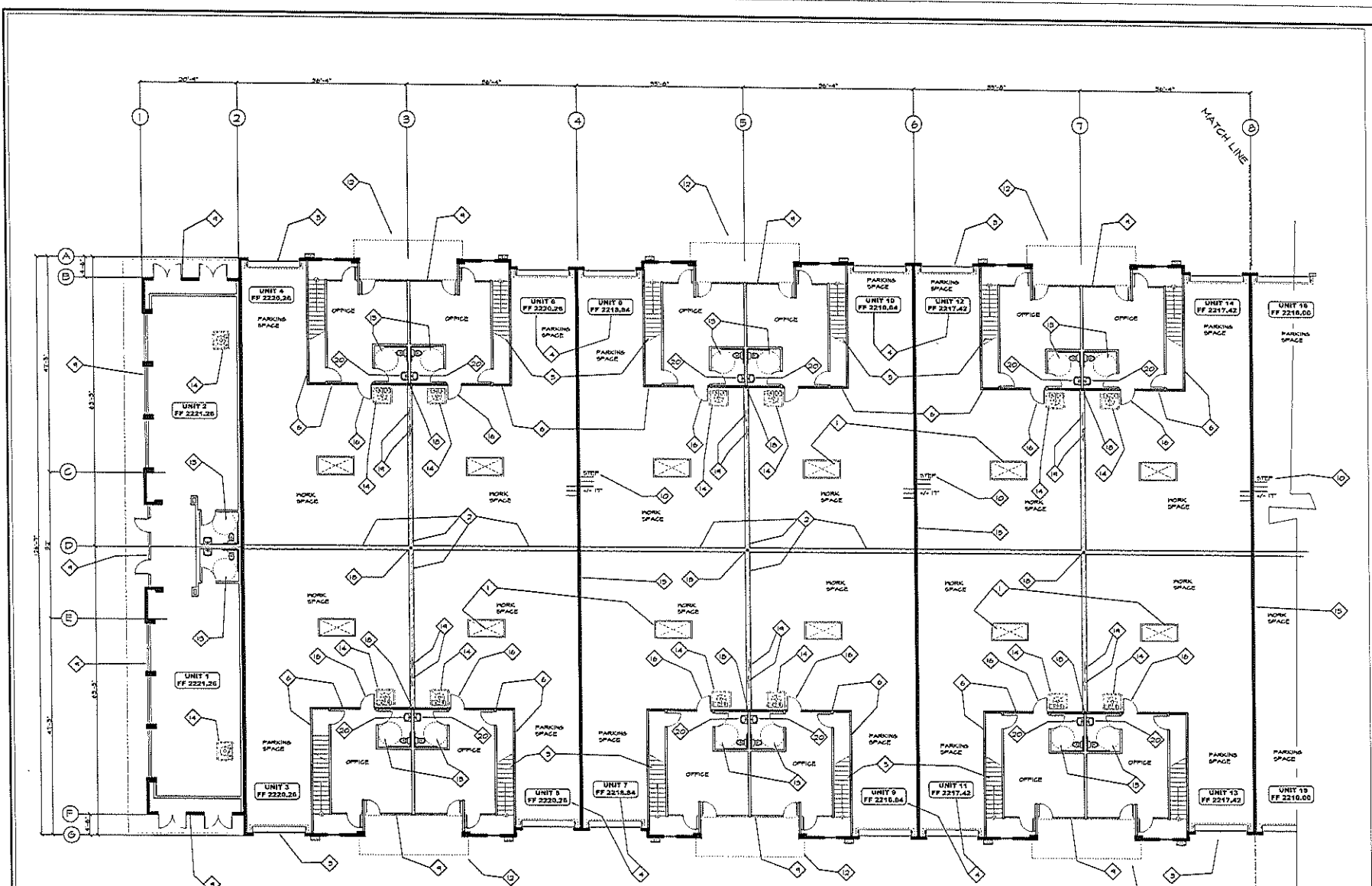
LINCOLN STREET
AIRPORT INDUSTRIAL WORK LOFTS
BANNING, CA 92220
A.P.N. # 541290013-3

24 UNIT
AIRPORT
INDUSTRIAL
WORK
LOFTS

DATE	
PROJECT NUMBER	WMDY-BANNING
NO.	04E
DATE	08/08/08
PROJECT	
SCALE	
DESIGNED BY	MD
DRAWN BY	
CHECKED BY	
DATE	

**TITLE
SHEET**

SHEET NO
A-1.1



FLOOR PLAN KEY NOTES:

- | | | |
|---|--|--|
| 1. NDA 4x8' SKYLIGHTS TYP ALL LOCATIONS | 12. INSULATION PER TITLE-24 SHEETS | 15. INTERNAL CONCRETE TILT-UP PANEL MALL LOCATED AT FOUNDATION STEP |
| 2. STEEL BRID MALLS - SEE STRUCTURAL PLANS | 13. ANODIZED ALUMINUM SPYERPOINT WINDOW SYSTEM | 16. 1 HOUR RATED DOOR - SELF CLOSING DOOR |
| 3. ROLL-UP WAREHOUSE DOOR | 14. SLAB STEPS WHERE OCCUR - SEE CIVIL PLANS | 17. TILT-UP CONCRETE MALL PANELS - SEE STRUCTURAL PLANS |
| 4. FIN GRADE / FINISHED FLOOR HEIGHTS - SEE CIVIL PLANS | 15. ROOF ACCESS LADDER - SEE PLANS FOR ADDITIONAL INFO | 18. STEEL POST COLUMN WHERE OCCUR |
| 5. STAIRS - 18 RISERS AT IT EACH - 11 TREADS AT 12" EACH - SEE STAIR PLANS | 16. DOTTED LINES DOTTED LINE OF DECK ABOVE | 19. UNIT MAIN ELECTRICAL PANEL |
| 6. MALL MATCHING DEPICTED - 1 HOUR FIRE SEPARATION MALL - SEE PLANS FOR ADDITIONAL INFO | 17. ACCESSIBLE RESTROOM - 60" DIAMETER CLEAR | 20. HOT WATER PROVIDED BY UNDERBINK CHAS ELECTRIC OR DEMAND WATER HEATER |
| 7. MALL / BASE CABINETS PER CABINET PLANS | 18. LOCATION OF ROOF INSTALLED 2 TON HEAT PUMP HVAC PACKAGE UNIT | |

KEY PLAN

NORTH PARTIAL
SCALE: 1" = 8'-0"

FIRST FLOOR PLAN

WATERMARK DEVELOPMENT INC
103 North Atlantic Avenue
Fremont, Calif. 92370
Tel: 714-774-2668 Fax: 714-774-2622
www.watermarkdevelopment.com
S 18 No. 14122

All design, drawings and details shown on these drawings are subject to change without notice. The contractor is responsible for obtaining all necessary permits and for providing all required information. The contractor shall be responsible for providing all required information. The contractor shall be responsible for providing all required information.

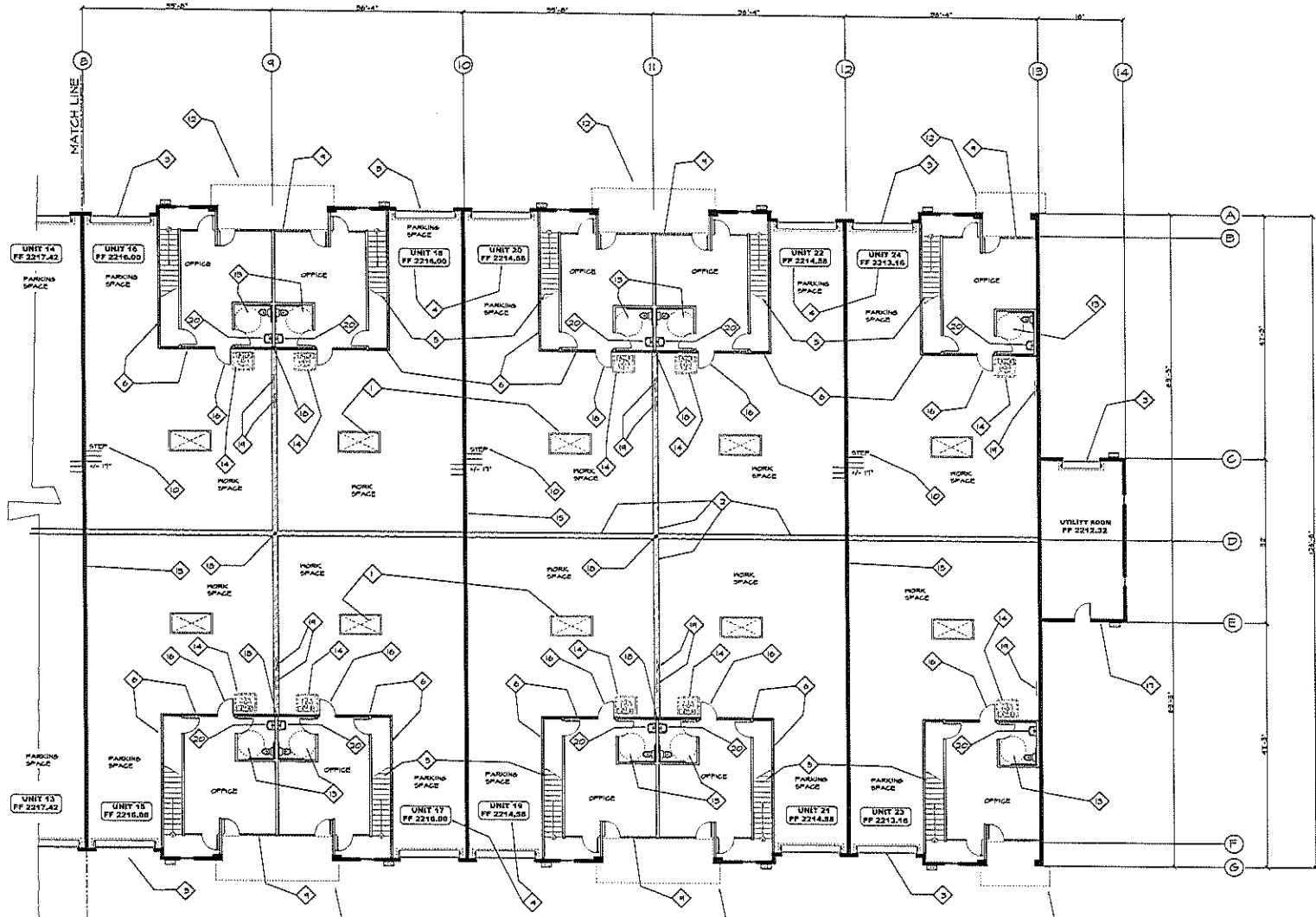
LINCOLN STREET
AIRPORT INDUSTRIAL WORK LOFTS
BANNING, CA 92220
A.P.N. # 541290013-3

24 UNIT AIRPORT INDUSTRIAL WORK LOFTS

DATE	07/20/11
PROJECT NAME	24 UNIT AIRPORT INDUSTRIAL WORK LOFTS
NO.	141
DATE	07/20/11

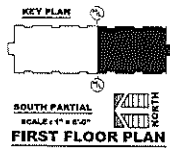
DESIGNED BY: MQ
CHECKED BY:
DRAWN BY:

1ST FLOOR PLAN [NORTH]



FLOOR PLAN KEY NOTES:

- ◊ NEAR 4'x6' SKYLIGHTS TYP ALL LOCATIONS
- ◊ STEEL STUD WALLS - SEE STRUCTURAL PLANS
- ◊ ROLL-UP WAREHOUSE DOOR
- ◊ FIN GRADE / FINISHED FLOOR HEIGHTS - SEE CIVIL PLAND
- ◊ STAIRS - 10 RISERS AT 7" EACH - 11 TREADS AT 12" EACH - SEE STAIR PLANS
- ◊ WALL MATCHING DENOTES - 1 HOUR FIRE SEPARATION WALL - SEE PLAND FOR ADDITIONAL INFO
- ◊ WALL / BASE CABINETS PER CABINET PLANS
- ◊ INSULATION PER TITLE-24 SHEETS
- ◊ ANODIZED ALUMINUM SHEDROOF WINDOW SYSTEM
- ◊ SLAB STEPS WHERE OCCUR - SEE CIVIL PLANS
- ◊ ROOF ACCESS LADDER - SEE PLANS FOR ADDITIONAL INFO
- ◊ DOTTED LINES DENOTES LINE OF DECK ABOVE
- ◊ ACCESSIBLE RESTROOM - 60" DIAMETER CLEAR
- ◊ LOCATION OF ROOF INSTALLED 2 TON HEAT PUMP HVAC PACKAGE UNIT
- ◊ INTERNAL CONCRETE TILT-UP PANEL WALL LOCATED AT FOUNDATION STEP
- ◊ 1 HOUR RATED DOOR - SELF CLOSING DOOR
- ◊ TILT-UP CONCRETE WALL PANELS - SEE STRUCTURAL PLANS
- ◊ STEEL POST COLUMN WHERE OCCUR
- ◊ UNIT MAIN ELECTRICAL PANEL



WATERMARK DEVELOPMENT INC
 1818 North Spruce Avenue
 Phoenix, AZ 85016
 Tel: 714-870-1500 Fax: 714-524-1000
 www.watermarkdevelopment.com
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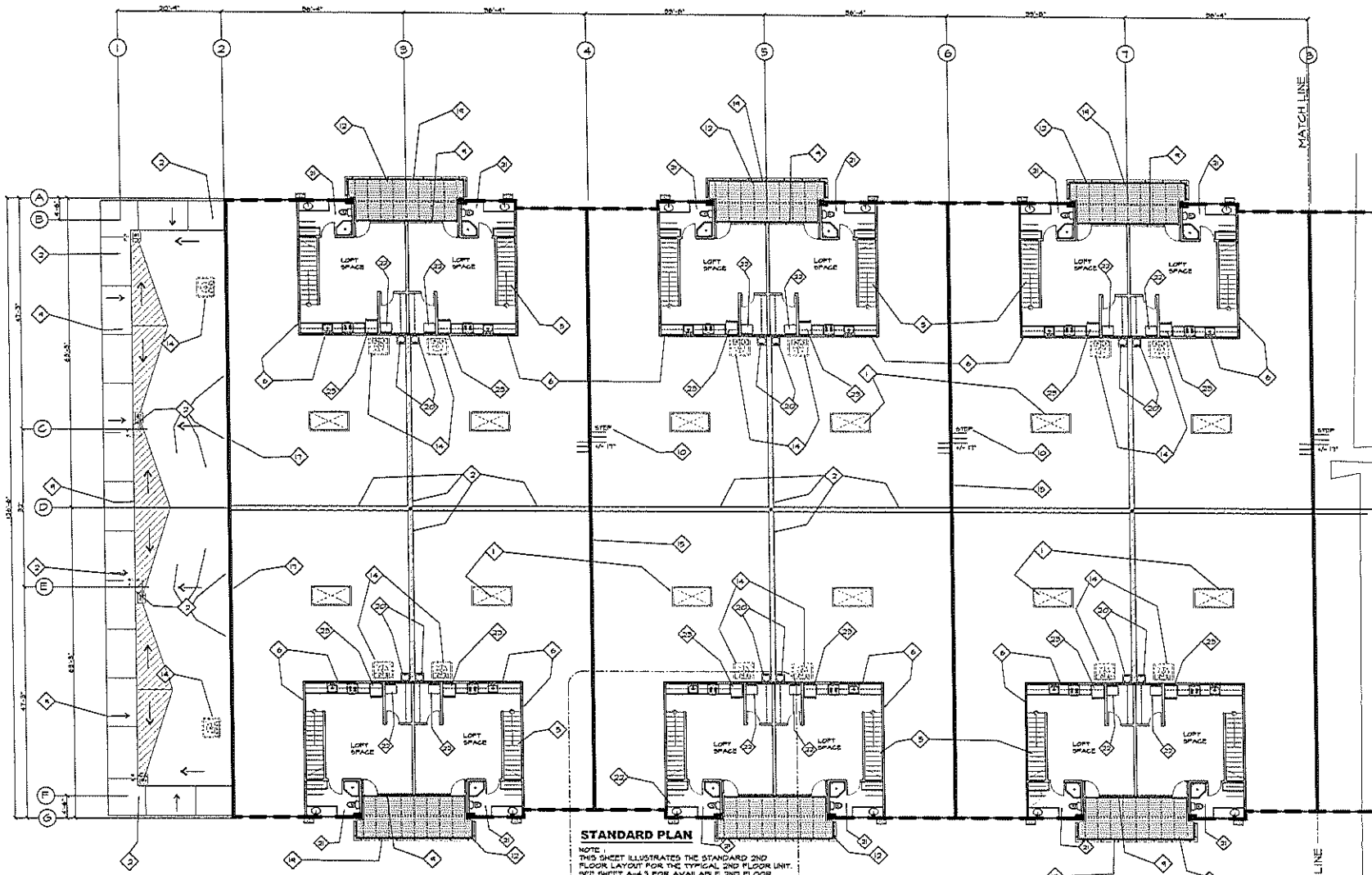
**LINCOLN STREET
 AIRPORT INDUSTRIAL WORK LOFTS
 BANNING, CA 92220
 A.P.N. # 541290013-3**

**24 UNIT
 AIRPORT
 INDUSTRIAL
 WORK
 LOFTS**

Date: OCTOBER 17, 2012
 Project Number: WDMJ 14283301
 No. SHEET: #15 OF 16 SHEETS

**1ST
 FLOOR
 PLAN
 [SOUTH]**

A-3.2



FLOOR PLAN KEY NOTES:

- 1 NEW 4'x2' SKYLIGHTS TYP ALL LOCATIONS
- 2 STEEL BRVD HALLS - SEE STRUCTURAL PLANS
- 3 ROLL-UP WAREHOUSE DOOR
- 4 FIN GRADE / FINISHED FLOOR HEIGHTS - SEE CIVIL PLANS
- 5 STAIRS - 10 RISERS AT 11" EACH - 11 TREADS AT 12" EACH - SEE STAIR PLANS
- 6 HALL WATCHMAN DENOTES - 1 HOUR FIRE SEPARATION WALL - SEE PLANS FOR ADDITIONAL INFO
- 7 WALL / BASE CABINETS FOR CABINET PLANS
- 8 INSULATION PER TITLE-24 SHEETS
- 9 ANODIZED ALUMINUM STORAGE POINT WINDOW SYSTEM
- 10 SLAB STEPS WHERE OCCUR - SEE CIVIL PLANS
- 11 ROOF ACCESS LADDER - SEE PLANS FOR ADDITIONAL INFO
- 12 DOTTED LINES DENOTES LINE OF DECK ABOVE
- 13 ACCESSIBLE RESTROOM - 60" DIAMETER CLEAR
- 14 LOCATION OF ROOF INSTALLED 2 TON HEAT PUMP HVAC PACKAGE UNIT
- 15 INTERNAL CONCRETE TILT-UP PANEL WALL LOCATED AT FOUNDATION STEP
- 16 1 HOUR RATED DOOR - SELF CLOSING DOOR
- 17 TILT-UP CONCRETE WALL PANELS - SEE STRUCTURAL PLANS
- 18 STEEL POST COLUMN WHERE OCCUR
- 19 2ND FLOOR DECK / BALCONY W/ PRIVACY DIVIDER
- 20 ELECTRIC WATER HEATER LOCATION
- 21 2ND FLOOR RESTROOM WITH STALL SHOWER
- 22 STACKED CLOTHED WASHER / DRYER
- 23 SPACE FOR REFRIGERATOR

STANDARD PLAN

NOTE: THIS SHEET ILLUSTRATED THE STANDARD 2ND FLOOR LAYOUT FOR THE TYPICAL 2ND FLOOR UNIT. SEE SHEET A-4.3 FOR AVAILABLE 2ND FLOOR PLAN OPTIONS

WATERMARK DEVELOPMENT INC
 1511 North Service Avenue
 Fremont, CA 94538
 Tel: 707-875-1921 Fax: 707-875-1920
 www.watermarkdevelopment.com

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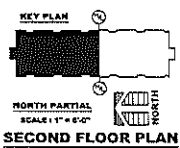
LINCOLN STREET
 AIRPORT INDUSTRIAL WORK LOFTS
 BANNING, CA 92220
 A.P.N. # 541290013-3

24 UNIT AIRPORT INDUSTRIAL WORK LOFTS

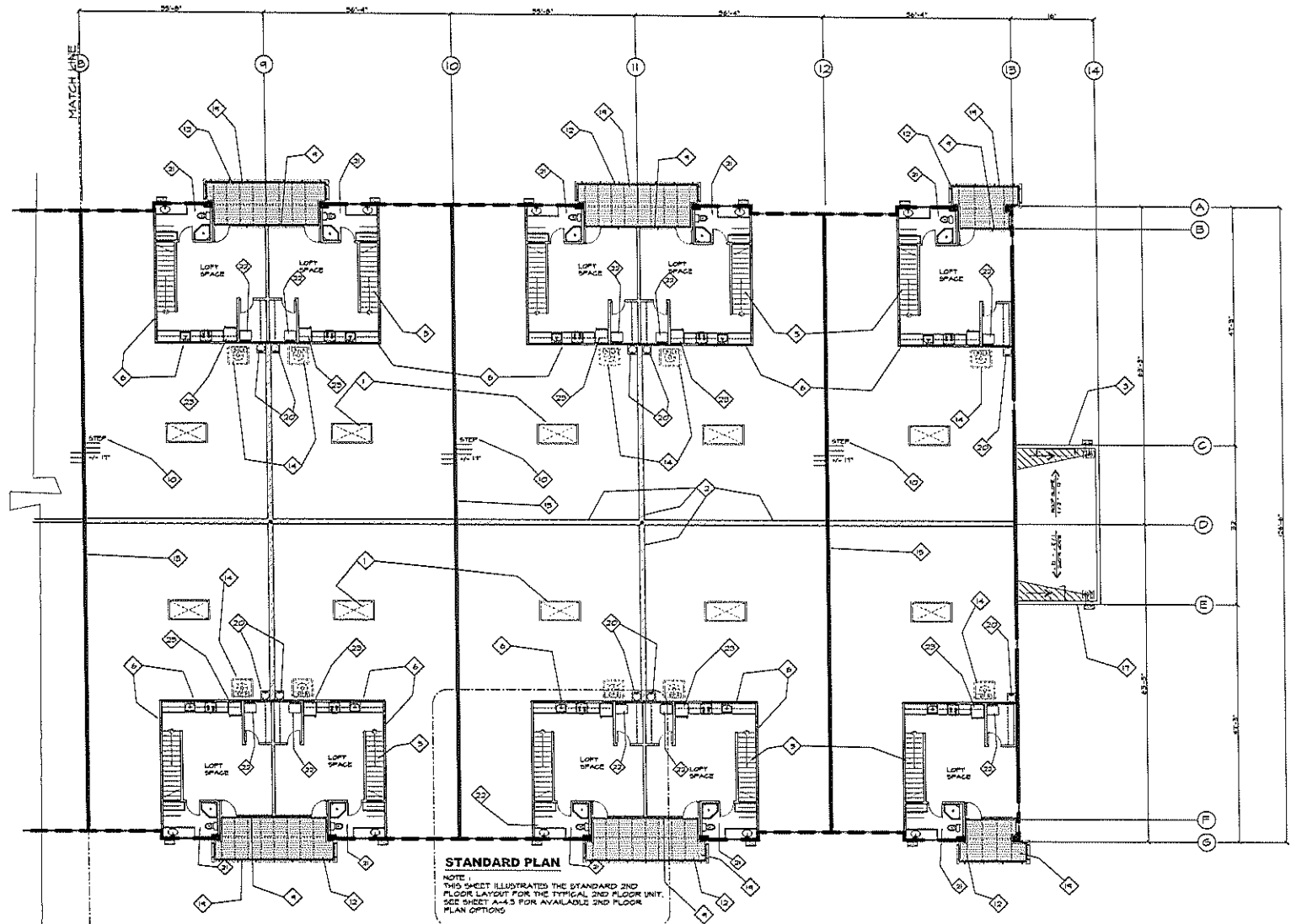
DATE: 07/20/13
 PROJECT NUMBER: WADY 04181011
 SHEET: 2ND FLOOR PLAN

DESIGNED BY:	MG
DRAWN BY:	
CHECKED BY:	
DATE:	

2ND FLOOR PLAN [NORTH]



NORTH PARTIAL
 SCALE: 1" = 6'-0"
SECOND FLOOR PLAN



STANDARD PLAN
 NOTE:
 THIS SHEET ILLUSTRATES THE STANDARD 2ND FLOOR LAYOUT FOR THE TYPICAL 2ND FLOOR UNIT. SEE SHEET A-4.5 FOR AVAILABLE 2ND FLOOR PLAN OPTIONS.

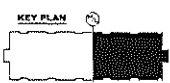
FLOOR PLAN KEY NOTES :

- 1 NEAR 4" DIA' SKYLIGHTS TYP ALL LOCATIONS
- 2 STEEL STUD WALLS - SEE STRUCTURAL PLANS
- 3 ROLL-UP WAREHOUSE DOOR
- 4 FIN GRADE / FINISHED FLOOR HEIGHTS - SEE CIVIL PLANS
- 5 STAIRS - 10 RISERS AT 17" EACH - 17 TREADS AT 17"

- 6 WALL MATCHING DENOTES - 1 HOUR FIRE SEPARATION WALL - SEE PLANS FOR ADDITIONAL INFO
- 7 WALL / BASE CABINETS FOR CABINETS PLANS
- 8 INSULATION PER TITLE-24 SHEETS
- 9 ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM
- 10 FLOOR STOPS WHERE OCCUR - SEE CIVIL PLANS
- 11 ROOF ACCESS LADDER - SEE PLANS FOR ADDITIONAL INFO
- 12 DOTTED LINES DENOTES LINE OF DECK ABOVE

- 13 ACCESSIBLE RESTROOM - 60" DIAMETER CLEAR
- 14 LOCATION OF ROOF INSTALLED 2 TON HEAT PUMP HVAC PACKAGE UNIT
- 15 INTERNAL CONCRETE TILT-UP PANEL WALL LOCATED AT FOUNDATION STOP
- 16 1 HOUR RATED DOOR - SELF-CLOSING DOOR
- 17 TILT-UP CONCRETE WALL PANELS - SEE STRUCTURAL PLANS
- 18 STEEL ROOF COLUMN WHERE OCCUR
- 19 2ND FLOOR DECK / BALCONY IN PRIVATE DIVIDER

- 20 ELECTRIC WATER HEATER LOCATION
- 21 2ND FLOOR RESTROOM WITH STALL SHOWER
- 22 STACKED CLOTHES WASHER / DRYER
- 23 SPACE FOR REFRIGERATOR



SECOND FLOOR PLAN
 SOUTH PARTIAL
 SCALE: 1/4" = 1'-0"

WATERMARK DEVELOPMENT INC
 1216 North Wilcox Avenue
 Fremont, CA 94531-1283
 Tel: 314-679-1909 Fax: 314-679-1908
 www.edministry.com/usa/usa
 314-679-1909

All design, permits, and reports shall be based on existing conditions unless otherwise indicated. The contractor shall be responsible for verifying the accuracy of all information provided and for obtaining all necessary permits. The architect shall not be responsible for any errors or omissions in the design or construction of the project. The architect shall not be responsible for any damage to property or persons resulting from the use of the design or construction of the project.

LINCOLN STREET
AIRPORT INDUSTRIAL WORK LOFTS
 BANNING, CA 92220
 A.P.N. # 541290013-3

24 UNIT AIRPORT INDUSTRIAL WORK LOFTS

DATE:	01/26/2011
PROJECT NUMBER:	WSDP - BANNING
DATE:	01/26/2011
PROJECT:	AIRPORT INDUSTRIAL WORK LOFTS
DESIGNED BY:	MG
CHECKED BY:	
DATE:	
PROJECT TITLE:	

2ND FLOOR PLAN [SOUTH]
 A-4.2

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, November 11 (Veterans Day), and by appointment on Fridays from 8:30 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Hearing Room
Riverside, California

DATE OF HEARING: November 14, 2013

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1014BA13 – Mark Quental – City of Banning Case No. DR 13-7003 (Design Review). A proposal to develop a two-story, 73,127 square foot mixed-use (“live/work”) building comprised of 24 individual spaces (“airport industrial work lofts”), with office, manufacturing, storage, and warehouse uses on the first floor and the option for either residential or office uses on the second floor (potential for up to 22 dwelling units) on a 3.57 net acre (3.74 gross acres) site located southerly of Lincoln Street, northerly of Barbour Street, westerly of Hathaway Street, and easterly of Juarez Street in the City of Banning. (Airport Compatibility Zones B1 and D of the Banning Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Brian Guillot of the City of Banning Community Development Department, at (951) 922-3152.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1014BA13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 9-26-13

Property Owner MARK QUENTAL Phone Number 310-261-1243

Mailing Address 1838 N. VALENCIA AVE. *email*

PLACENTIA, CA 92870 *watermarkinc@earthlink.net*

Agent (if any) _____ Phone Number _____

Mailing Address _____

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address VACANT LAND; E. LINCOLN AND S. HATHAWAY ST., BANNING, CA

Assessor's Parcel No. 541-290-⁰¹³~~003~~-4 Parcel Size 3.74 ACRES

Subdivision Name _____ Zoning _____

Lot Number _____ Classification AI

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT LAND

Proposed Land Use (describe) NEW INDUSTRIAL BUILDING TO BE SUBDIVIDED AS CONDOMINIUMS INTO 22 WORK/LIVE WAREHOUSE LOFTS AND 2 OFFICE UNITS, TO BE OWNER/CARETAKER OCCUPIED

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 22

For Other Land Uses Hours of Use 7AM-8PM

(See Appendix C) Number of People on Site Maximum Number OFFICE/WHSE 153; RESIDENTIAL 102

Method of Calculation CA BLDG CODE SECTION 1004, TABLE 1004.1.1

Height Data Height above Ground or Tallest Object (including antennas and trees) 25 ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site 2245 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No

If yes, describe _____

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	7-8-13
Agency Name	City of Banning
Staff Contact	Brian Guillot
Phone Number	951-922-3152
Agency's Project No.	DR-13-7003
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other DESIGN REVIEW

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1 Completed Application Form
- 1 Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1 Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1 Completed Application Form
- 1 Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 8 ½ x-11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 Check for review—See Below

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.1
HEARING DATE: December 12, 2013
CASE NUMBER: ZAP1052BD13 – Continental East Fund IX, LLC
APPROVING JURISDICTION: City of Indio
JURISDICTION CASE NO: PM 36580 (Tentative Parcel Map), DR 13-7-363 (Conditional Use Permit)

MAJOR ISSUES: The Tentative Parcel Map proposes division of a parcel with a gross acreage of 20.12 acres, while the Conditional Use Permit area consists of 9.95 gross acres. Per Policy 4.2.4(c), open space requirements are applicable to developments of 10 acres or greater. Since the proposed Tentative Parcel Map would divide the property into lots smaller than 10 acres in area, there would be no further opportunities to assure compliance with the open space requirement once these proposals have been approved. Staff suggested that some of the open space required could be incorporated within the Conditional Use Permit site, with the remaining open space area included in the other proposed parcels via easements, street right-of-way, other guarantee of open space, or some combination thereof. Staff requested an exhibit depicting on-site open areas from the applicant, but the applicant is requesting that the Commission consider nearby open space area to the east of the project site within a golf course as adequate to meet emergency landing needs and find this project conditionally consistent pursuant to Countywide Policy 3.3.6. Additionally, the proposed land use – an assisted living facility including memory care units – is characterized by vulnerable occupants and, therefore, bears some similarities to nursing homes, which are discouraged uses within Compatibility Zone D.

RECOMMENDATION: Staff recommends a finding of INCONSISTENCY for the Conditional Use Permit and Tentative Parcel Map, based on the proposed project not providing adequate open area as required for Compatibility Zone D. However, if the Commission is willing to further consider the applicant's request regarding offsite open area as noted above, the Commission may CONTINUE this matter to its January hearing, pending notification and acceptance for FAA review.

PROJECT DESCRIPTION: The Tentative Parcel Map is a proposal to subdivide the overall 18.66 net acres (20.12 gross acres) into four parcels with lot sizes ranging from 2.67 acres to 9.95 acres gross, including one parcel for the proposed Conditional Use Permit. The Conditional Use Permit is a proposal to develop a senior assisted living care facility on 9.95 net acres.

The Conditional Use Permit proposes four separate buildings consisting of one single-story main building and three other single-story buildings. The main building (Building 1) would include 101

Assisted Living units, dining facilities, offices, fitness facility, and other areas for activities and other support facilities. The other three buildings (Buildings 2, 3, and 4) would include 14 Memory Care units each, kitchen and dining area, activity area, and other support facilities.

PROJECT LOCATION: The project site is located westerly of Jefferson Avenue, southerly of 40th Avenue, and northerly of Varner Road, within the City of Indio, approximately 2,840 feet northeasterly of the midpoint of Runway 10-28 at Bermuda Dunes Airport.

LAND USE PLAN: 2004 Bermuda Dunes Airport Land Use Compatibility Plan

- a. Airport Influence Area: Bermuda Dunes Airport
- b. Land Use Policy: Airport Compatibility Zone D
- c. Noise Levels: Aircraft noise levels are below 55 CNEL

BACKGROUND:

Non-Residential Average Intensity: The project is located within Airport Compatibility Zone D. Non-Residential intensity in Airport Compatibility Zone D is restricted to 100 people per average acre. The Conditional Use Permit site has a gross area of 9.95 acres.

While the proposed Tentative Parcel Map does not propose any specific use of land, the proposed Conditional Use Permit does propose specific building and use of the central 9.95 gross acre site. The “Building Code Method” for calculating intensity utilizes “minimum floor area per occupant” criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following intensities were utilized for the project pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan:

- office areas – 1 person/100 square feet with potential for 50% reduction;
- conference room, dining room, lounge areas – 1 person/15 square feet;
- storage, mechanical equipment areas – 1 person/300 square feet;
- commercial kitchen – 1 person/200 square feet;
- classroom areas – 1 person/20 square feet; and
- exercising room, library reading room areas – 1 person/50 square feet;
- Dwelling units – 1 person/bed;

Building 1 has a total of 105 beds, 950 square feet of office area, 5,250 square feet of dining area, 1,050 square feet of conference room area, 2,400 square feet of lounge area, 1,375 square feet of storage area, 1,950 square feet of kitchen area; 1,625 square feet of classroom area; 2,425 square feet of exercising area, and 875 square feet of library area. Each of Buildings 2, 3, and 4 has a total of 51 beds, 1,000 square feet of dining area, 200 square feet of kitchen area; and 100 square feet of office area. Pursuant to these areas and the intensities as listed above, the total intensity of the site would be 1,212 people. This would equate to an average intensity of 122 people per gross acre, which would be inconsistent with the Compatibility Zone D average acre criterion.

However, since most of these facilities would be utilized by residents of the development, strict application of the building code method essentially double counts occupancy for residents in certain uses. Assuming the dining room, lounge areas, classroom areas, exercising room, and library reading room areas would be used exclusively by the estimated 258 residents while the remaining areas would be utilized by employees, this would result in 354 number of people total, for an intensity of 36 people per gross acre. Even if it is assumed that an additional 156 non-residents (employees and guests) were present (two per parking space) in the dining room, this would result in 510 people total, for an intensity of 51 people per gross acre. Both of these would be consistent with the Compatibility Zone D average acre criterion.

An alternative calculation for intensity is based on the number of parking spaces provided for a project. While this method is generally not applicable for this type of project assuming a high number of residents of the facility would not have a vehicle that would use parking on the site, this method does assist in indicating the number of non-residents (i.e. employees and guests) that could be anticipated as noted previously. A total of 78 parking spaces are provided on the Conditional Use Permit site. Assuming an occupancy of 2.0 persons per vehicle, this would equate to a total of 156 people that can be assumed as non-residents.

Non-Residential Single-Acre Intensity: Non-Residential intensity in Airport Compatibility Zone D is restricted to 300 people per single-acre. Single-acre areas on the site would include one of the Memory Care buildings (Buildings 2, 3, or 4) or approximately one-third of Building 1. Of the potential one-third areas of Building 1; the northern third would include 46 of the dwelling units (48 beds), the conference room, kitchen, half of the dining room, and half of the office area; the central third would include 14 of the dwelling units (14 beds) and all of the non-dwelling unit areas excluding some storage and mechanical room areas; and the southern third area would include 55 of the dwelling units (57 beds), the exercising room, some of the classrooms and storage areas. Of all of these single-acre areas, the most intense single-acre of the site would be the central third of Building 1 due to the high occupancy rates of the non-dwelling unit facilities. This central area would include a total of 758 people approximately, which would not be consistent with the Zone D single-acre criterion. Although it is unlikely that all of these uses would be occupied at their maximums all at a single time, the dining area alone at approximately 4,500 square feet would have a maximum occupancy of 300 people. However, despite the building code method, based on the 258 total number of beds proposed in the entire facility and an assumed number of 30 employees at a given time, if all of these residents and employees occupied this or any other single-acre, it would be below the 300 people single-acre criterion of Compatibility Zone D.

Residential Density: The project is located within Airport Compatibility Zone D. Zone D limits residential density to no more than 0.2 dwelling units per acre or a minimum of 5.0 dwelling units per acre. The project proposes a total of 143 dwelling units on 9.95 gross acres for a density of 14.37 dwelling units per acre. This density is consistent with the Zone D upper criteria.

Prohibited and Discouraged Uses: Nursing homes are discouraged uses within Compatibility Zone

D. The proposed senior assisted living facility is similar to a nursing home in that it is characterized by vulnerable occupants (although not technically a skilled nursing facility). Discouraged uses should generally not be permitted unless no feasible alternative is available. The applicant does not propose any other uses prohibited or discouraged in Zone D.

Noise: The site is located within an area subject to average aircraft noise levels below 55 CNEL. Therefore, no special measures to mitigate aircraft-generated noise are required.

PART 77: The Conditional Use Permit site is located approximately 2,850 feet from the middle of Runway 10-28 at Bermuda Dunes Airport. The elevation at the westerly end of the runway is 73.4 feet above mean sea level (AMSL) and the elevation at the easterly end of the runway is 49.1 feet AMSL, for a midpoint elevation of approximately 61.25 feet AMSL. At a distance of 2,850 feet from the runway, any building with an elevation at top of roof exceeding 89.75 feet AMSL would require FAA notice and review through the Form 7460-1 process. Building 1 is the tallest building proposed at approximately 44 feet in height and a pad elevation of 59.0 feet AMSL for a total elevation of 103 feet AMSL. (The other three buildings are 22 feet in height and would not exceed an elevation of 89 feet AMSL at top of roof.) Therefore, review pursuant to the Federal Aviation Administration Obstruction Evaluation Service Form 7460-1 process is required for Building 1. At the time of writing of this staff report, no evidence of submittal to FAA has been provided.

Open Area: Compatibility Zone D requires that 10% of area within major projects (10 acres or larger) be set aside as open land that could potentially serve as emergency landing areas. Although the Conditional Use Permit area is less than 10 acres, the proposed Tentative Parcel Map is greater than 10 acres, thus the requirement for provision of open area is applicable. Staff has requested that a combination of provision of open area on the Conditional Use Permit site and on the remaining parcels created by the subdivision through recordation of easements may be appropriate to meet the 10% open area requirement. An exhibit was provided initially by the applicant indicating open areas on the Conditional Use Permit site; however, the areas shown on the exhibit do not meet the criteria to qualify as open area, in particular the minimum dimensions of 75' by 300' and to be free of obstructions greater than 4' in height and 4" in thickness. At the time of writing of this staff report, no additional exhibit or other information has been provided to indicate how the project would accommodate open area on the overall site.

In lieu of provision of open area on the project site, the applicant has proposed consideration of nearby open area, in particular a golf course area to the east that is part of a residential community and is also primarily located within Zone D, as a special consideration pursuant to Countywide Policy 3.3.6. An exhibit was prepared and provided to staff noting the size of the golf course area as 121 acres of the entire 404 acre area for an approximate provision of 30% open area. However, again this exhibit does not indicate actual qualifying open area areas meeting the dimension and obstruction free requirements for qualification. At the time of writing of this staff report, no additional exhibit or other information has been provided to confirm how much of the golf course qualifies as open space.

CONDITIONS (in the event that the Commission chooses to determine the project Consistent):

1. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, highly noise-sensitive outdoor nonresidential uses, and hazards to flight.
2. The attached notice shall be provided to all potential purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
3. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with Riverside County Ordinance No. 655. All outdoor lighting shall be downward facing.
4. No aboveground retention basins are depicted on the site plan. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) (if any) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Prior to issuance of building permits, the applicant shall have received a determination of "Not a Hazard to Air Navigation" from the Federal Aviation Administration (FAA)

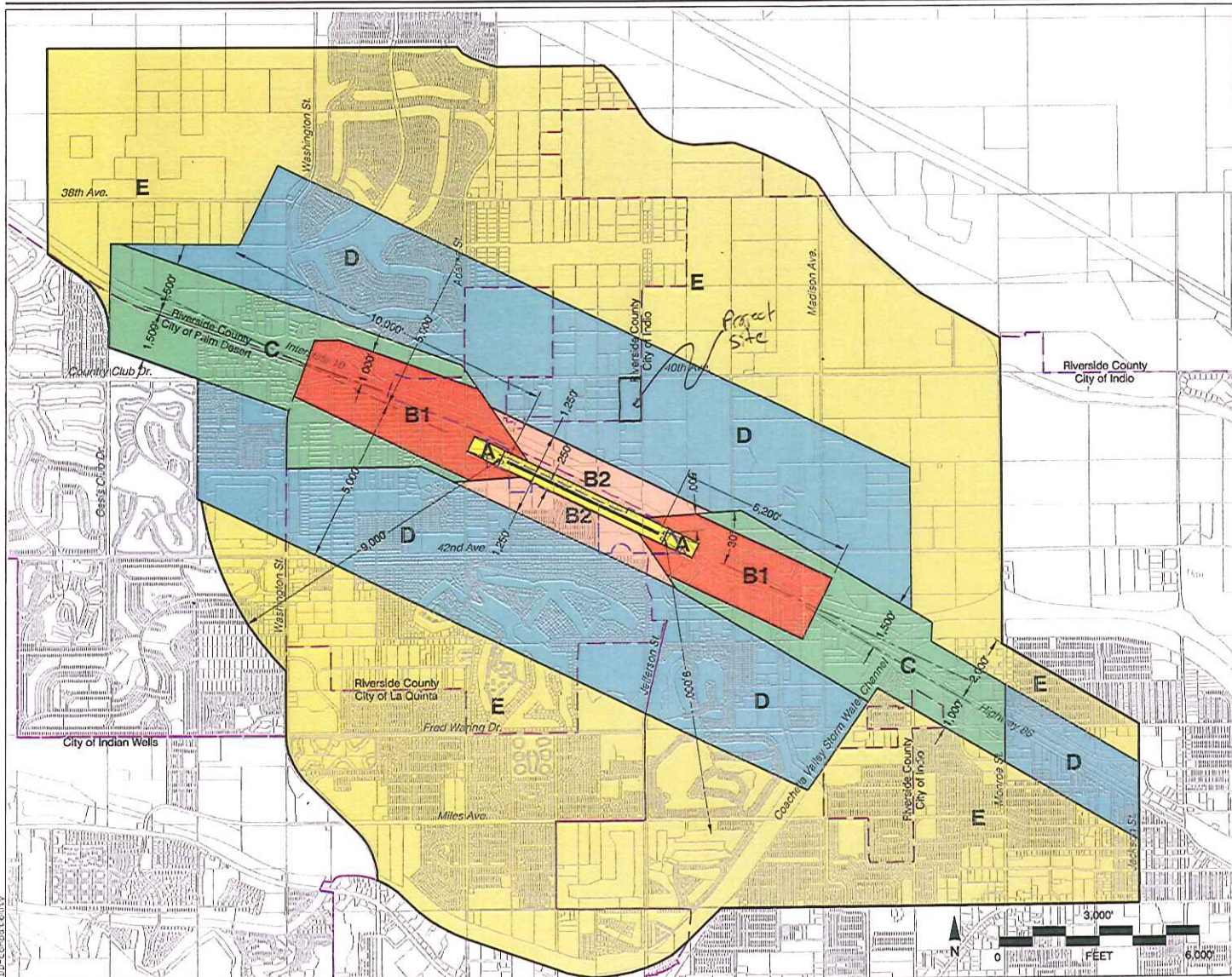
Staff Report
Page 6 of 6

Obstruction Evaluation Service. Copies of the FAA determination shall be provided to the City of Indio Planning Department and the Riverside County Airport Land Use Commission.

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1052BD13\ZAP1052BD13sr.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E

- Boundary Lines**
- Airport Property Line
 - City Limits

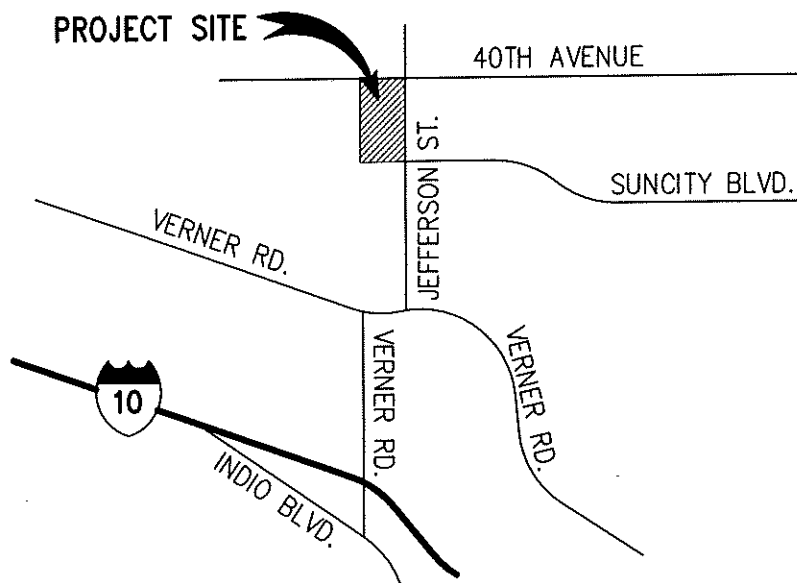
Note
Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
 (Adopted December 2004)

Map BD-1

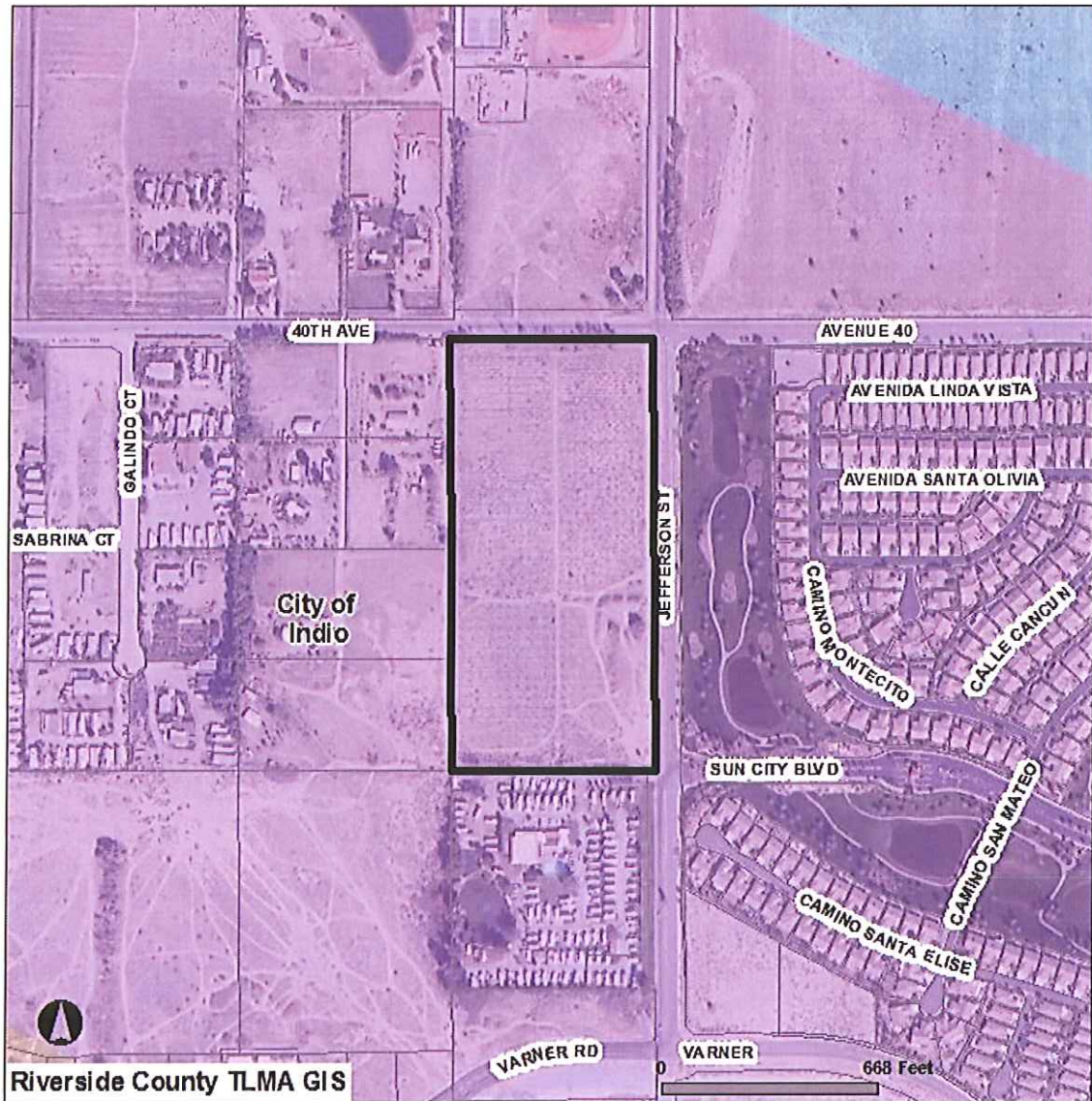
Compatibility Map
Bermuda Dunes Airport



VICINITY MAP

T5S., R7E., SEC.8
NOT TO SCALE

RIVERSIDE COUNTY GIS



Selected parcel(s):
607-240-006

AIRPORTS

- SELECTED PARCEL
- N INTERSTATES
- N HIGHWAYS
- PARCELS
- AIRPORT INFLUENCE AREAS
- COMPATIBILITY ZONE B2
- COMPATIBILITY ZONE D
- COMPATIBILITY ZONE E

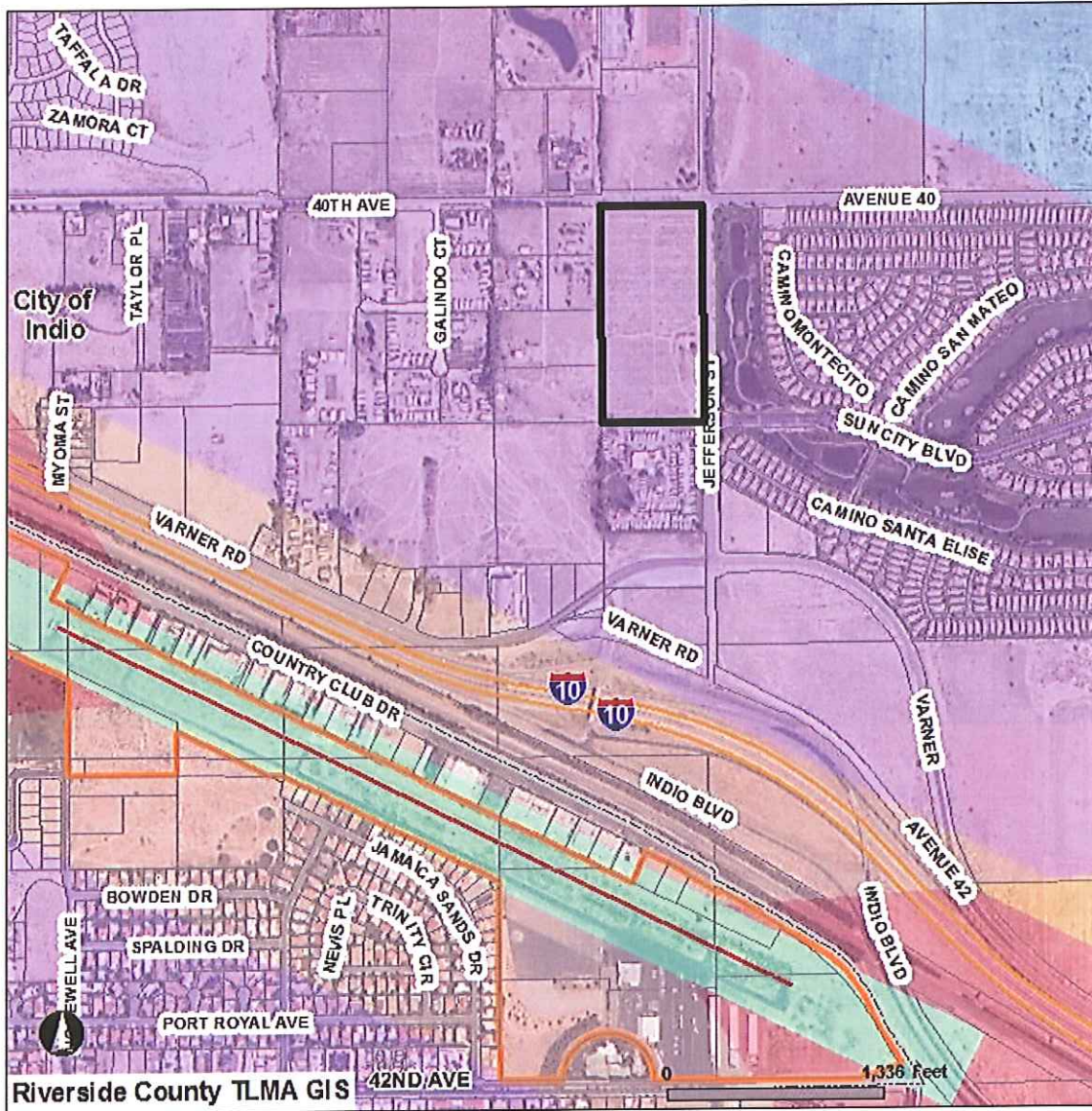
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Wed Nov 20 13:44:00 PST 2013

Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):
607-240-006

AIRPORTS

- | | | | |
|-----------------------|-------------------------|----------------------|----------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | PARCELS |
| AIRPORT RUNWAYS | AIRPORT INFLUENCE AREAS | AIRPORT BOUNDARIES | COMPATIBILITY ZONE A |
| COMPATIBILITY ZONE B1 | COMPATIBILITY ZONE B2 | COMPATIBILITY ZONE C | COMPATIBILITY ZONE D |
| COMPATIBILITY ZONE E | | | |

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Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):
607-240-006

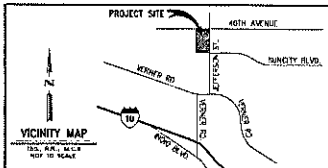
IMPORTANT

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REPORT PRINTED ON...Wed Nov 20 13:43:07 PST 2013

Version 131001

SITE PLAN CONDITIONAL USE PERMIT



OWNER/APPLICANT
CONTINENTAL EAST DEVELOPMENT, INC.
3540Y MEDICAL CENTER DR., SUITE 201
MURRISSETTA, CA 92029
CONTACT: CHARLIE M. HOPPER
EMAIL: chopper@continental-east.com
TELEPHONE: (951) 737-2371

ENGINEER
PACIFIC COAST LAND CONSULTANTS, INC.
20000 JEFFERSON AVENUE, SUITE 70
MURRISSETTA, CA 92029
TELEPHONE: (951) 508-1350
FAX NO.: (951) 508-1357
CONTACT: J. KIM

ASSESSOR PARCEL NUMBER:
657-246-006

ARCHITECT:
REINER UNTERMYER ARCHITECTS
445 BUSH STREET, SUITE 500
SAN FRANCISCO, CA 94108
TELEPHONE: (415) 961-2345
FAX NO.: (415) 961-2347

SOILS ENGINEER:
CARTH-STRAHA, INC.
20000 JEFFERSON AVENUE, SUITE 70
MURRISSETTA, CA 92029
TELEPHONE: (951) 481-4028
FAX NO.: (951) 481-4058

PROJECT INFORMATION:

UNITS/STORIES	
ASSISTED LIVING OCCUPANCY: P2.1	MEMORY CARE OCCUPANCY: P2.2
TYPE OF CONVE. VA.	TYPE OF CONSTRUCTION: VA.

STORIES	UNITS	STORIES	UNITS/STORY
1-BLD.	22	77	0
2-BLD.	4	0	0
ALL TOTAL:	101	109	103

IN-BUILDING AIR & CALCULATION

ASSISTED LIVING BUILDING 1	MEMORY CARE BUILDING 3
LEVEL 1	LEVEL 1
AREA SF	AREA SF
BUILDING 7	BUILDING 3
9,000 SF	9,000 SF
BUILDING 4	BUILDING 4
9,000 SF	9,000 SF
TOTAL	TOTAL
18,000 SF	18,000 SF
OVERALL TOTAL:	OVERALL TOTAL:
18,000 SF	18,000 SF

LAND AREA DENSITY CALCULATION

RELANDING/REDEVELOPMENT LEVEL	AREA SF	TRAFFIC
COMMON AREA	20,547 SF	88.0%
LANDSCAPING	20,547 SF	88.0%
TOTAL AREA =	41,094 SF	100.0%

SITE TOTAL = 143 UNITS/8.95 AC = 16.32 UNITS/AC
AREA

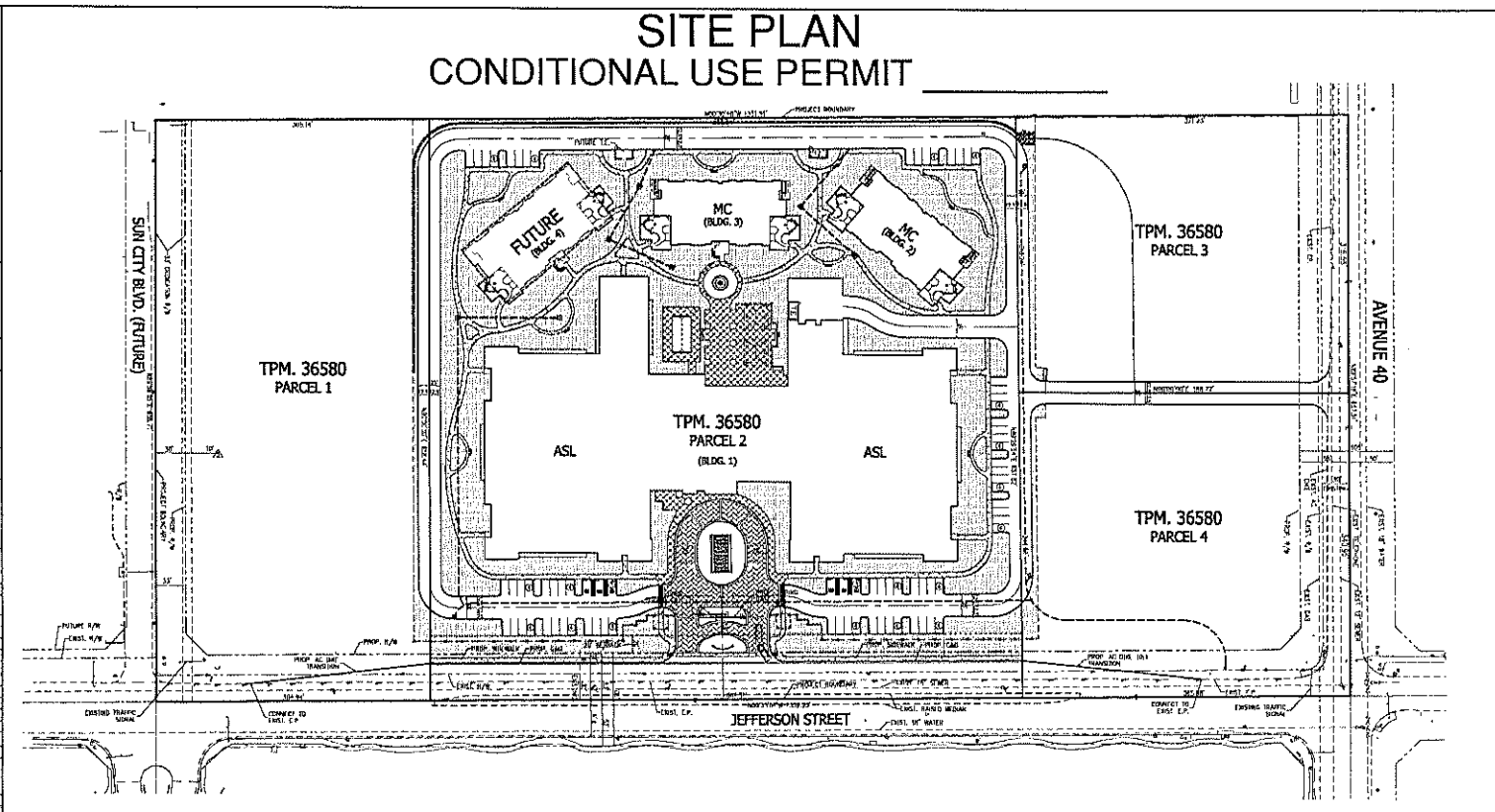
ASSISTED LIVING FLD. 1 53,874 SF (50,848 SF UNITS + 4,126 SF OF COMMON SPACE)
MEMORY CARE FLD. 2, 3 & 4 27,880 SF (13,820 SF UNITS + 14,060 SF OF COMMON SPACE)
OVERALL TOTAL: 121,054 SF

PARKING

FACILITY	# OF UNITS & PARKING RATIO	# OF STALLS REQ'D.
ASSISTED LIVING	101 (0.4)	41
M.C. (14 UNITS/BLDG.)	14 (0.25)	7
FUTURE PHASE 1A (0.25)	4	4

TOTAL STALLS REQUIRED:	52 SPACES
REQUIRED SPACES:	72 SPACES
ACCESSIBLE SPACES:	6 SPACES (2 VAN)
TOTAL PARKING PROVIDED:	78 SPACES

- GENERAL NOTES:**
- PREPARED: JULY 2013
 - THINGS SHOWN: PER APR. 23 & PER 5410, AS
 - EXISTING ZONING: BUSINESS PARK (BP)
 - EXISTING LAND USE: BUSINESS PARK (BP)
 - PROJECT ADDRESS: 4000 AC. GROSS
 - F.L.M.A. FLOOD ZONE: ZONE "A" MAP# 09062516200
 - PROJECT IS SUBJECT TO OVERFLOW RAINFALL FROM FLOOD HAZARD
 - THE SITE IS NOT WITHIN A SPECIAL STUDY ZONE AND LIMITATIONS AS UNLIM. BY PLANNING/COMMUNITY SERVICES AND WASTE OR STORAGE IS NOT PROHIBITED

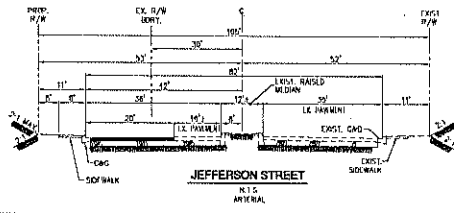
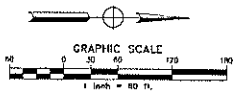


UTILITY PURVEYORS:

- CONCRETE: DEFERT SANDS LIMITED SCHOOL DISTRICT
- WATER: IMPACTIC WASTE MANAGEMENT
- SEWER: UNOD WASTE MANAGEMENT
- GAS: SOUTHERN CALIFORNIA GAS COMPANY
- TELEPHONE: THE WARRIOR
- ELECTRIC: CALPINE
- CABLE TV: METROPCS
- POSTAL: UNITED STATES POSTAL SERVICE

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF INDIO, IN THE COUNTY OF INDIAN, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 3, RANGE 7 EAST, IN THE COACHELLA VALLEY WATER SERVICE, COUNTY OF IMPERIAL, STATE OF CALIFORNIA, SAN BERNARDINO RECORD, ACCORDING TO THE OFFICIAL PLAT THEREOF.

EASEMENT NOTES:
AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 11, 1997 AS INSTRUMENT NO. 87-7420 OF OFFICIAL RECORDS, IN FAVOR OF GENERAL TELEPHONE COMPANY OF CALIFORNIA, A CORPORATION, ITS SUCCESSORS AND/OR ASSIGNS AS DESCRIBED THEREIN.



- LEGEND:**
- PROJECT BOUNDARY
 - PROPOSED RIGHT OF WAY
 - EXISTING/PROPOSED CENTERLINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - LANDSCAPE AREA
 - CONCRETE PATHWAYS
 - NUMBER OF PARKING STALLS
 - PROPOSED GRADES
 - EDGE OF PAVEMENT
 - PAV. ELEVATION
 - FRESH FLOOD
 - TOP OF CURB
 - FRESHED SURFACE
 - FLOW LINE
 - NATURAL GROUND
 - RETAINING WALL
 - CATCH BASIN
 - T.E.
 - EXIST. ENCLOSURE
 - EXIST. FENCE
 - AS BUILT
 - EXISTING DRIVE CHAIN MARKING

Underground Service Alert
Call 800 FREE
1-800-227-3600
7-10 WORKING DAYS BEFORE YOU DIG

DATE	BY	CHK	REVISIONS:	APPROV	DATE

BENCHMARK:
NCS #10 OF 3453
ELEVATION = 77.45 (BANDON) TOPO IS BASED ON THE 88 BENCHMARK
(NORTH ELEVATION = 75.94)
SCALE: SITE ABOVE



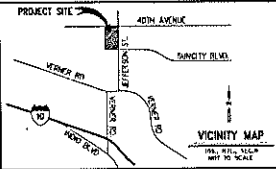
CITY OF INDIO
APPROVED BY: _____
DATE: _____
RECOMMENDED: _____
DATE: _____



PACIFIC COAST LAND CONSULTANTS, INC.
ONE THEISSBANK "GOLF COURSE" GOLF PARKWAY
PO BOX 411118, PARKER SUITE 50
MURRISSETTA, CALIFORNIA 92029
TEL: (951) 508-1350
PREPARED BY: CHRIS G. HOPPER
P.C.L. No. 34821
DATE: _____

CITY OF INDIO
DEPARTMENT OF ENGINEERING SERVICES
SITE PLAN
RENAISSANCE VILLAGE OF INDIO
SHEET NO. 1
OF 1 SHEETS

PRELIMINARY GRADING CONDITIONAL USE PERMIT 21213-7-363



OWNER/APPLICANT
CONTINENTAL EAST DEVELOPMENT, INC.
25401 MIDWAY CENTER DR., SUITE 201
SUNNYVALE, CA 95086
TEL: (925) 808-8800
CONTACT: CHARLENE H. KUSTON
EMAIL: chkuston@continentaldev.com
TELEPHONE: (925) 757-2571

ENGINEERS
PACIFIC COAST LAND CONSULTANTS, INC.
23508 JEFFERSON AVENUE, SUITE 10
MURRIETA, CA 92562
TELEPHONE NO.: (951) 698-1350
FAX NO.: (951) 698-1807
CONTACT: STAFF

ASSESSOR PARCEL NUMBER:
187-245-009

ARCHITECT:
BREKLE TRAY & TULLAND LOTTO
(9714) ARCHITECT
145 BURN STREET, SUITE 500
SAN FRANCISCO, CA 94102
TELEPHONE NO.: (415) 398-2345
FAX NO.: (415) 398-2343

SOILS ENGINEER:
CASHY & STRAIN, INC.
20247 JEFFERSON AVENUE, SUITE 10
MURRIETA, CA 92562
TELEPHONE NO.: (951) 481-4028
FAX NO.: (951) 481-4028

LEGAL DESCRIPTION:
THE LAND REFERRED TO HEREIN IS SITUATED IN THE CITY OF INDIO, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
THE EAST HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 33, RANGE 7, EAST, IN THE COACHELLA VALLEY WATER DISTRICT, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, SAN BERNARDINO MERIDIAN, ACCORDING TO THE ORIGINAL PLAT THEREOF.

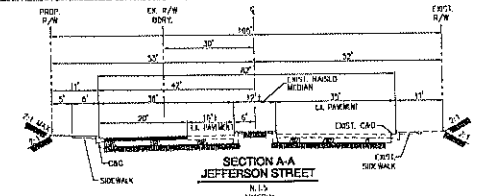
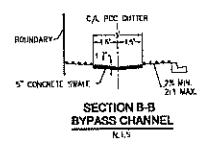
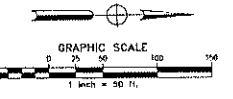
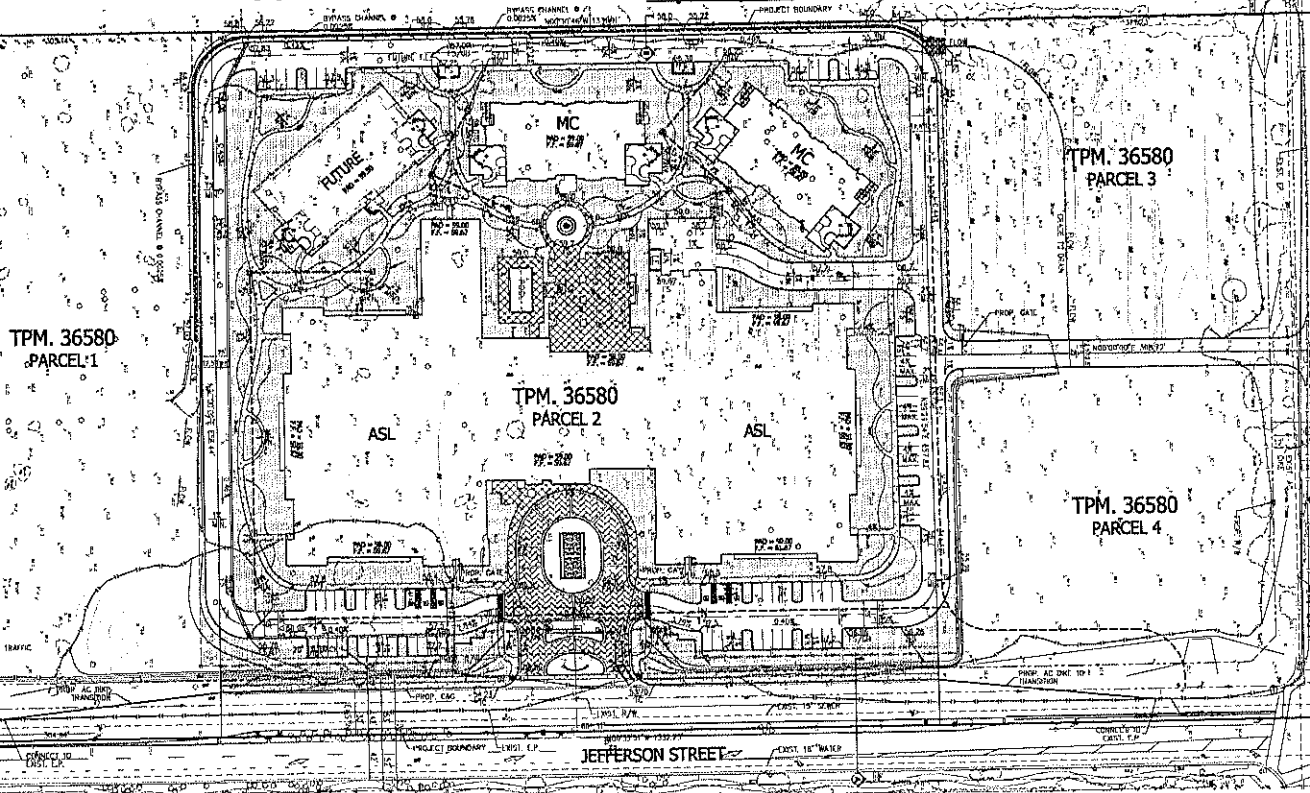
EASEMENT NOTES:
AN EASEMENT FOR PUBLIC UTILITIES AND ACCIDENTAL PURPOSES, RECORDED JANUARY 13, 1987 AS INSTRUMENT NO. 87-1006 OF OFFICIAL RECORDS, IN FAVOR OF GENERAL TELEPHONE COMPANY OF CALIFORNIA, A CORPORATION, ITS SUCCESSORS AND/OR AGENTS, AS DESCRIBED THEREIN.

LEGEND:

	PROJECT BOUNDARY
	PROPOSED RIGHT OF WAY
	EXISTING/PROPOSED CENTERLINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING CONDUIT
	DAYLIGHT LINE
	LANDSCAPE AREA
	CONCRETE PATHWAYS
	PROPOSED DRIVEWAY
	EXISTING GARAGES
	PROPOSED FOUNDATION
	PROPOSED FLOOR
	TOP OF COURSE
	PROPOSED SURFACE
	FLOW LINE
	NATURAL GROUND
	RETAINING WALL
	CATCH BASIN
	TRASH ENCLOSURE
	FIRE HYDRANT
	MEMORY GATE
	ASSISTED LINING
	EXISTING STORM DRAIN MANHOLE

GENERAL NOTES:

- PREPARED: JULY 2013
- THOMAS DROS: PG. 819, 820 & PG. 841G, A3
- EXISTING TRENCH: BUSINESS PARK (BP)
- EXISTING LAND USE: BUSINESS PARK (BP)
- PROJECT ADOPTED: 1/3/09 AC, CROSS
- VEHICLE FLOOD ZONE: 2' TO 4' HAZARD WORKING/STORAGE
- PROJECT IS SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD
- THE SITE IS NOT WITHIN A VEHICLE FLOOD ZONE AND LIFT/STORAGE IS UNWARRANTED
- FLAMMABLE/COMBUSTIBLE LIQUIDS AND WASTE ON STORAGE IS NOT PROPOSED.



Underground Service Alert
CALL 811 OR 1-800-227-2600
720 WORKING DAYS BEFORE YOU DIG

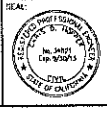
DATE	BY	MARK	REVISIONS	APPROV	DATE	CITY

BENCHMARK:
NGS FID DE 3453
DESIGNATION = W 1311
ELEVATION = 77.45 (NAVDAS) TOPD IS BASED ON THE IR DATUM
(NGVD29 (ELEVATION = 75.74)
SCALE: SEE ABOVE



SEAL: _____
APPROVED BY: _____
DATE: _____
RECOMMENDED: _____
DATE: _____

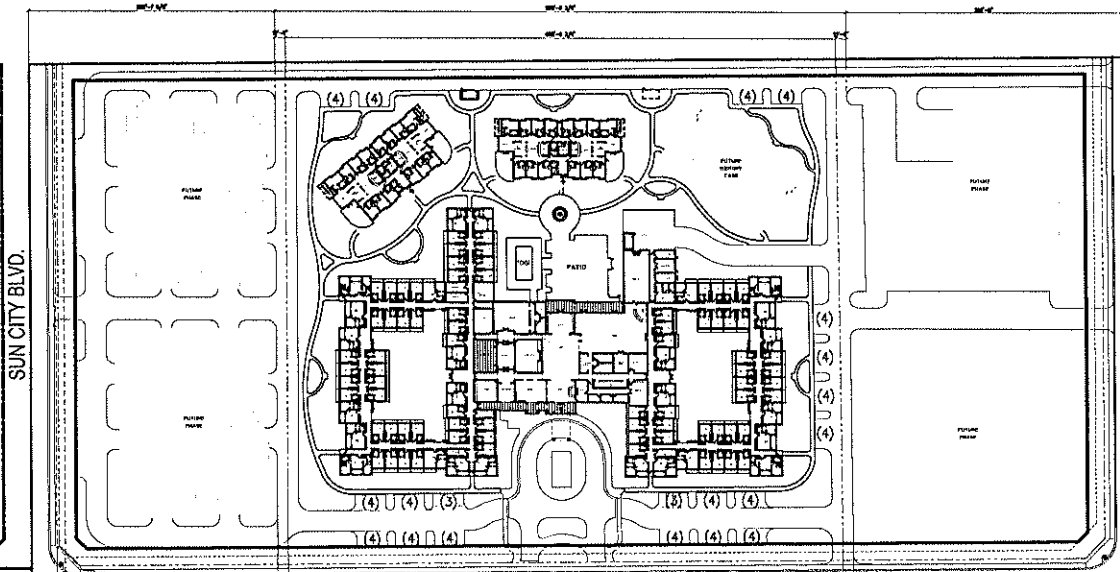
CITY OF INDIO
APPROVED BY: _____
DATE: _____
RECOMMENDED: _____
DATE: _____



PACIFIC COAST LAND CONSULTANTS, Inc.
ENGINEERED & LIAISONED - LAND SURVEYING
23508 JEFFERSON AVENUE, SUITE 10
MURRIETA, CALIFORNIA 92562
TEL: (951) 698-1350
PREPARED BY: _____
R.C.L.S. NO. 34821
DATE: _____
CHECKED BY: CHARLES G. HOPFLER
DATE: _____

CITY OF INDIO
DEPARTMENT OF PUBLIC WORKS
PRELIMINARY GRADING PLAN
PARCEL MAP 36580
RENAISSANCE VILLAGE OF INDIO
DATE: _____
JOB: _____
D.W.P. _____
FILE NO. _____

DRAWING NO. **1**
OF 1 SHEETS



12 PROPOSED SITE PLAN
 SCALE: 1" = 40'-0"



CONTINENTAL EAST DEVELOPMENT INC.
 12477 Mariposa Avenue, Suite 200
 San Jose, CA 95128
 (408) 253-2200

Architect: **Herrera Flores | Holical Lopez Architects**

 445 Park Street, Suite 400
 San Francisco, CA 94102
 (415) 775-2200

Design Consultant:
Public Credit Land Consultants
 Fred Pappas
 2700 Wilshire Ave, #2
 Alhambra, CA 91802
 p: (626) 448-1111

Wilson Associates
 Landscape
 17527 Woodside Avenue
 Woodside, CA 94061
 p: (650) 343-6666

Designer: [Blank]

Revisions:

No.	Description	By	Date	Appr.

CONDITIONAL USE PERMIT APPLICATION

If this application and supporting materials do not comply with the requirements of the Planning and Zoning Ordinance of the City of Indio, California, the applicant shall be notified in writing of the deficiencies and shall be given a reasonable period of time to correct the deficiencies. If the applicant fails to do so, the application shall be deemed withdrawn and the applicant shall be responsible for the resubmission of the application.

Project: **RENAISSANCE VILLAGE OF INDO**
 APN 007-240-000

Project Title: **CONDITIONAL USE PERMIT APPLICATION**

Sheet Title: **PROPOSED SITE PLAN**

NO.	REVISION	DATE	BY
1	ISSUED	01/18/24	ML/ML
2	REVISED	02/05/24	ML/ML
3	REVISED	02/05/24	ML/ML

Sheet No: **A1.01**

Design Consultant:
Pacific Coast Land Consultants
 2010 Sycamore Ave. #10
 Modesto, CA 95201
 (916) 924-1100

Review Authority:
City of Modesto
 1220 N. Sacramento Street
 Modesto, CA 95201
 (916) 924-6600

Thorough Name:

Item	Revision	Date	By	Appr.

CONDITIONAL USE PERMIT APPLICATION

This declaration and supporting materials are submitted in accordance with the provisions of the Ordinance of the City of Modesto, California, relating to the use of the property for the purposes of the proposed use, and the applicant certifies that the proposed use is in compliance with the Ordinance of the City of Modesto, California, relating to the use of the property for the purposes of the proposed use. The applicant also certifies that the proposed use is in compliance with the Ordinance of the City of Modesto, California, relating to the use of the property for the purposes of the proposed use.

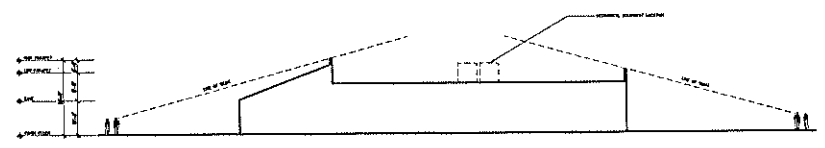
Project:
RENAISSANCE VILLAGE OF INDOIO
APN 607-240-006

Project Title:
CONDITIONAL USE PERMIT APPLICATION

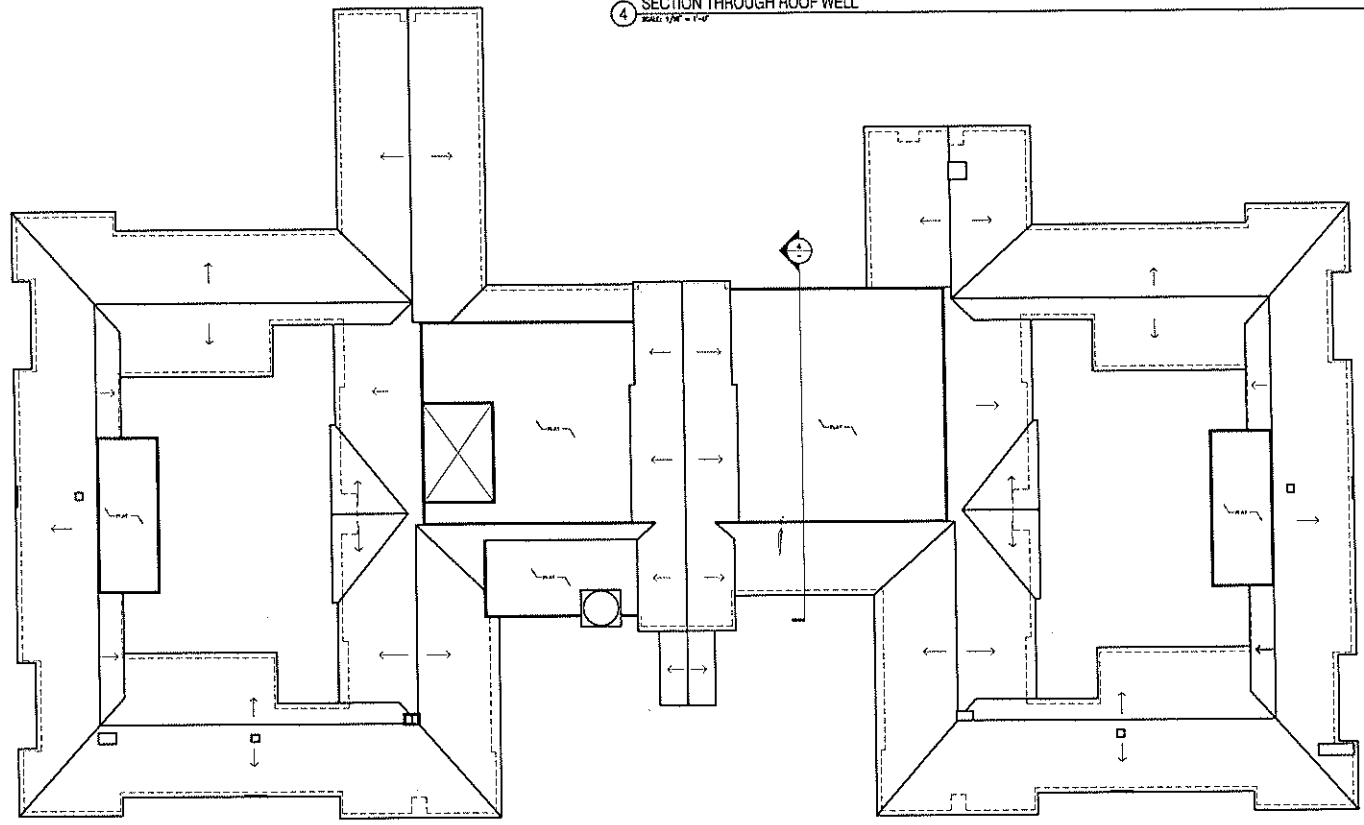
Sheet Title:
PROPOSED ROOF PLAN - ASSISTED LIVING

Scale	ASMP/PL	DATE	REVISIONS
As Shown	02/18/24	02/18/24	

A2.02

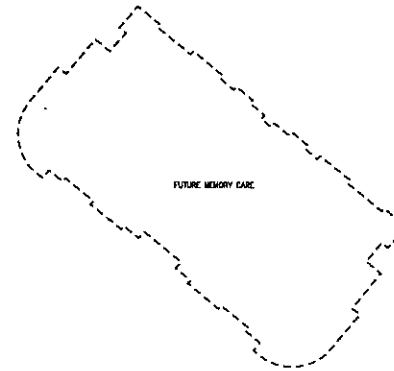
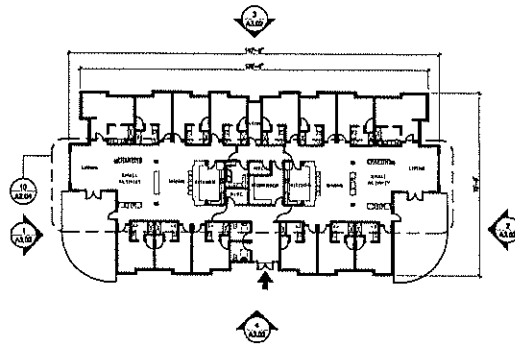
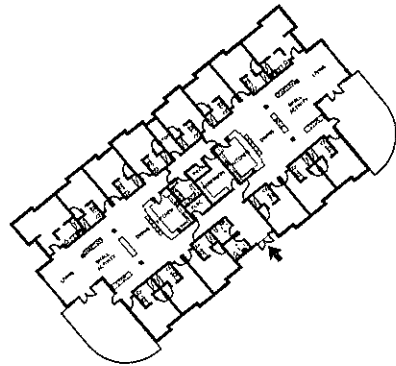


SECTION THROUGH ROOF WELL
 SCALE: 1/4" = 1'-0"

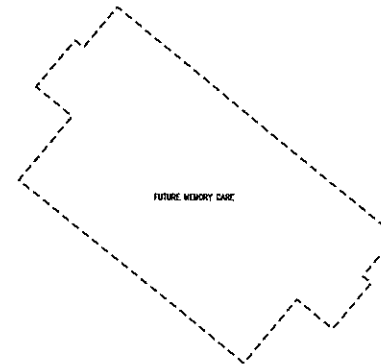
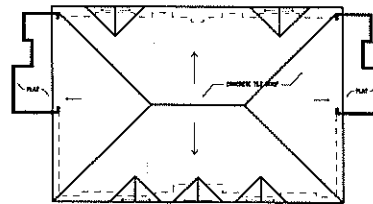
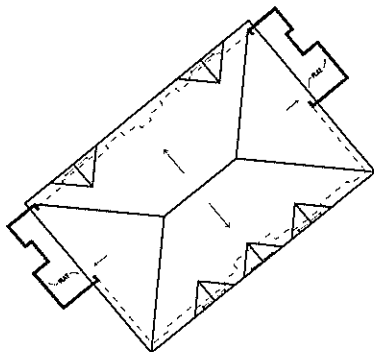


PROPOSED ROOF PLAN - ASSISTED LIVING
 SCALE: 1/4" = 1'-0"





10 PROPOSED FLOOR PLAN - MEMORY CARE
 SCALE: 1" = 30'-0"
 NOTE: DIMENSIONS INDICATED ARE GOVERNED FOR THE OTHER PLANS SHOWN



12 PROPOSED ROOF PLAN - MEMORY CARE
 SCALE: 1" = 30'-0"

CONTINENTAL EAST DEVELOPMENT INC.
 2847 Middle Street, Ste. 200
 Houston, TX 77056
 (713) 865-9900

Architect: **Denver Tanner Hillcoat Larkin Architects**

dtl
 445 South Street, Suite 400
 San Francisco, CA 94107
 (415) 761-2341 (415) 761-2343

Design Consultant:

Public Goods Lead Consultants
 2700 California Ave. #2
 Mountain View, CA 94035
 (650) 961-1100

Wilson Associates

3125 Wilshire Blvd
 Beverly Hills, CA 90210
 (310) 978-9000

Developer Name:

Approval:

File	Number	Date	Status	Notes

CONDITIONAL USE PERMIT APPLICATION

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Project:

RENAISSANCE VILLAGE OF INDIO
 APN 667-240-006

Project Title:

CONDITIONAL USE PERMIT APPLICATION

Map Title:

PROPOSED FLOOR AND ROOF PLAN - MEMORY CARE

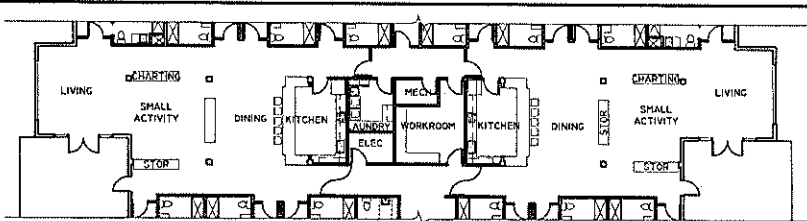
Scale: AS SHOWN

Drawn By: DJL/BB

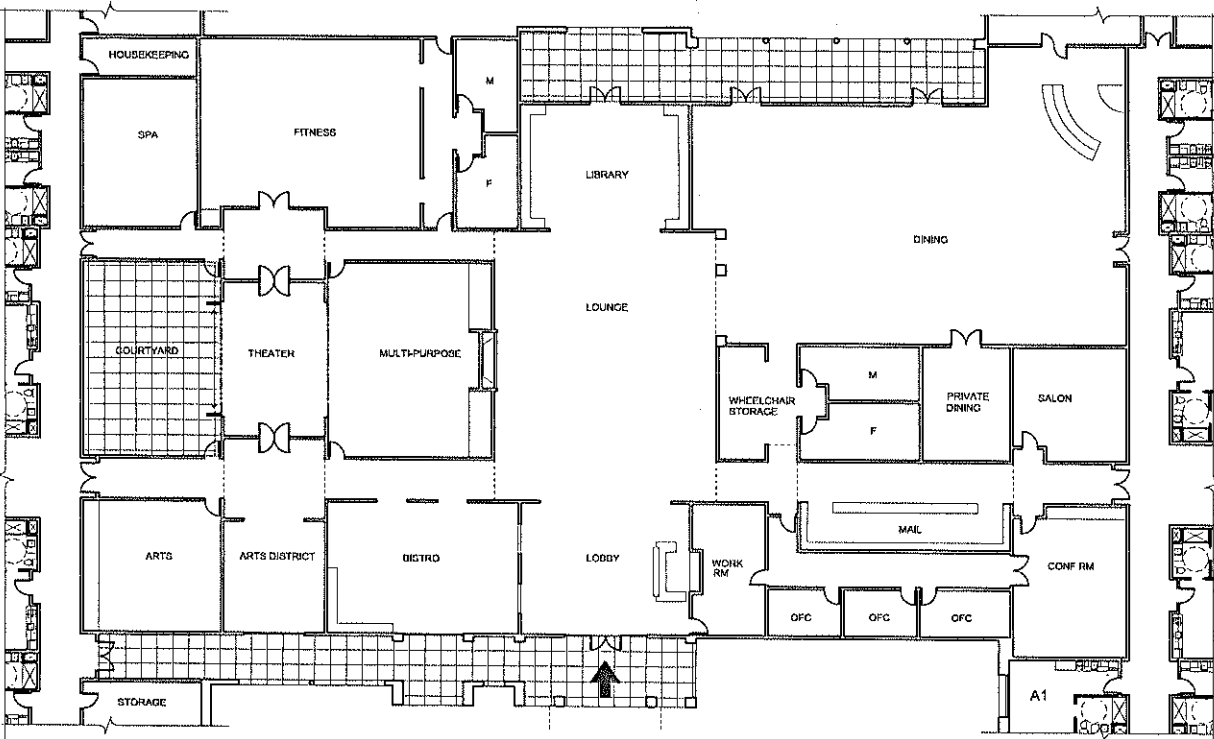
Checked By: BJA/B

Date: 06/10/10

Sheet No. **A2.03**



10 ENLARGED MAIN COMMON AREAS PLAN - MEMORY CARE



12 ENLARGED MAIN COMMON AREAS PLAN - ASSISTED LIVING

CONTINENTAL EAST DEVELOPMENT INC.
 21407 Medical Center Dr., Suite 300
 Mission Viejo, CA 92694
 (949) 450-0000

Architect: Henssey Franer | Behavioral Learning Architects
 445 Bush Street, Suite 400
 San Francisco, California 94108 (415) 781-2343

Design/Construction: Pacific Coast Land Construction and Engineers
 2006 Serrano Ave. #D
 Alhambra, CA 91801
 p: (626) 449-1333

Witness Associates:
 Landscape: 1742 W. Huntington Ave
 Berkeley, CA 94704
 p: (925) 943-4600

Developer:

No.	Summary	Date	Checked	Approved

CONDITIONAL USE PERMIT APPLICATION

This development and its use are subject to the conditions set forth in the approved application and the conditions established in the Resolution of the Planning Commission. This application is subject to the provisions of the California Environmental Quality Act (CEQA) and the provisions of the California Public Resources Code (CPRC) and the provisions of the California Public Resources Code (CPRC) and the provisions of the California Public Resources Code (CPRC).

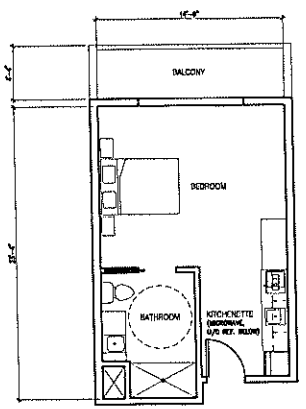
Project: RENAISSANCE VILLAGE OF INDIO
 - APN 007-240-000

Project Title: CONDITIONAL USE PERMIT APPLICATION

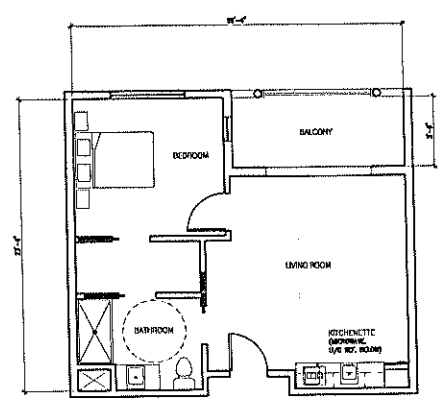
Site Title: ENLARGED FLOOR PLAN - MEMORY CARE AND ASSISTED LIVING

No.	APPROVED	Date	APPROVED

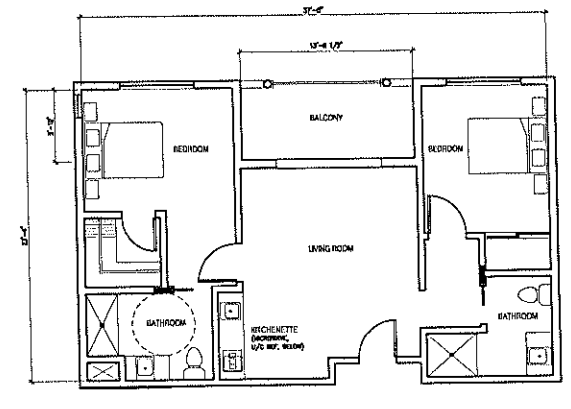
A2.04



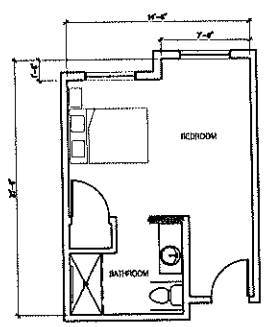
10 ASSISTED LIVING - TYP. STUDIO W/ BALCONY - 'A' UNIT, ±395 SF
SCALE: 1/4" = 1'-0"



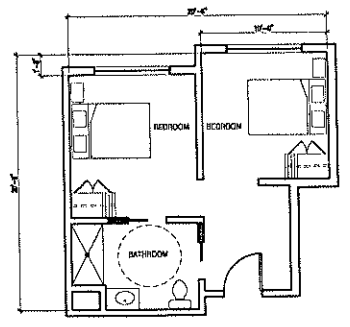
7 ASSISTED LIVING - TYP. 1 BED - 'B' UNIT, ±595 SF
SCALE: 1/4" = 1'-0"



4 ASSISTED LIVING - TYP. 2 BED - 'C' UNIT, ±845 SF
SCALE: 1/4" = 1'-0"



12 MEMORY CARE - TYPICAL UNIT, ±280 SF
SCALE: 1/4" = 1'-0"



9 MEMORY CARE - TYP COMPANION CARE UNIT, ±350 SF
SCALE: 1/4" = 1'-0"

CONTINENTAL EAST DEVELOPMENT INC.
2447 Marland Center Blvd, Suite 300
Beverly Hills, CA 90212
(310) 408-8007

bfi Renaissance Village of Indio
Apartment
1447 West Street
West Covington, California
91791-1701
Tel: (951) 469-1300
Fax: (951) 469-1301

Design Consultant:
Paul & Chris Lind Construction
Civil Engineers
27000 Sepulveda Ave #10
Beverly Hills, CA 90212
Tel: (310) 469-1300

Prepared By:

Rev.	By	Date	Notes

CONDITIONAL USE PERMIT APPLICATION

This plan, specification and information are the property of Continental East Development Inc. and shall remain the property of Continental East Development Inc. until the project is completed. No part of this plan, specification and information may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Continental East Development Inc.

Project:
RENAISSANCE VILLAGE OF INDO
OF INDO
APN 607-240-000

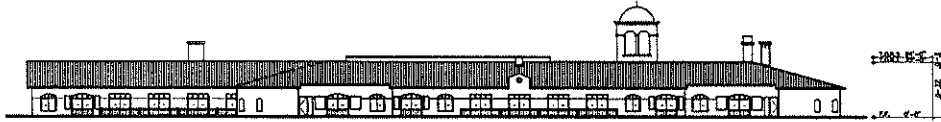
Project Title:
CONDITIONAL USE PERMIT APPLICATION

Sheet Title:
ENLARGED UNIT PLANS

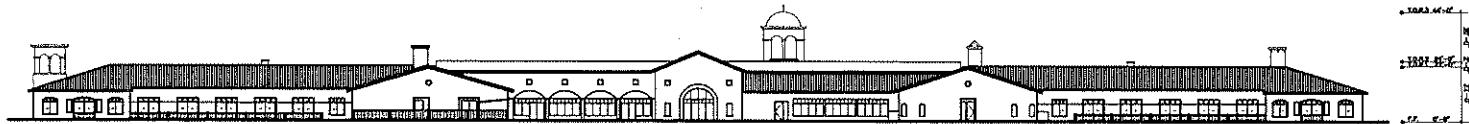
Scale: **A2.05**



1 SIDE / NORTH (AVENUE 40) ELEVATION
SCALE: 1" = 10'-0"



2 SIDE / SOUTH (SUN CITY BOULEVARD) ELEVATION
SCALE: 1" = 10'-0"



3 REAR / WEST ELEVATION
SCALE: 1" = 10'-0"



4 FRONT / EAST (JEFFERSON STREET) ELEVATION
SCALE: 1" = 10'-0"

CONTINENTAL EAST DEVELOPMENT INC.
25477 Model of Easton Exp. Av. Suite 203
Mesa, CA 92542
(951) 666-8888

Address: Renaissance Village of Indio
Architects:
4475 Main Street, Suite 400
Newport Beach, CA 92660
(949) 441-1111

Project Description:
Pacific Coast Land Consultants
Civil Engineer
25796 Jefferson Ave. #21
Mesa, CA 92542
(951) 666-1111

Witness Association:
Landscape
11260 Westparkway North
Irvine, CA 92618
(949) 261-2000

Design Name:

Rev.	Description	By	Date	Type

CONDITIONAL USE PERMIT APPLICATION

This document and specifications and the drawings attached hereto are the property of the applicant and shall remain the property of the applicant. The applicant shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies and shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies and shall be responsible for obtaining all necessary permits and approvals from the appropriate agencies.

Project:
RENAISSANCE VILLAGE OF INDIRIO
APN 607-240-006

Project Type:
CONDITIONAL USE PERMIT APPLICATION

Sheet Title:
EXTERIOR ELEVATIONS

Scale	Sheet No.	Total No. Sheets
1/8" = 10'-0"	13 of 13	13

Sheet No. **A3.01**

Architect: **Henry Flores Holstad Larson Architects**

bfl 145 Third Street, Suite 400
 Menlo Park, CA 94029
 (650) 324-1200

Project Description:
 Pacific Coast Level Communities
 1441 Fawcett
 2010 Jefferson Ave. NE
 Bellevue, WA 98007
 p: (206) 844-1500

Client Association:
 Landmark
 11202 Neaple Avenue
 Bellevue, WA 98007
 p: (206) 844-2400

Client Name:

Revision:

Rev	Description	By	Date	Appr

CONDITIONAL USE PERMIT APPLICATION

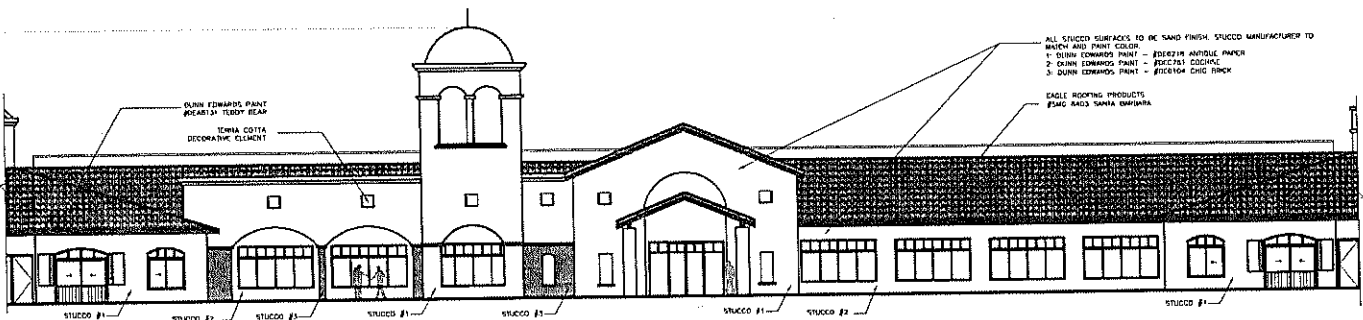
I have designed and prepared these plans and the concepts embodied therein for the proposed residential work of 1441 FAWCETT STREET, BELLEVUE, WASHINGTON. I have not been licensed to practice as an ARCHITECT, PLANNING, ENGINEER, OR SURVEYOR, and I have not been licensed to practice as a contractor or architect in the State of Washington. I am not a duly licensed professional in any other jurisdiction.

Project Title:
RENAISSANCE VILLAGE OF INDIO
 APN 007-240-000

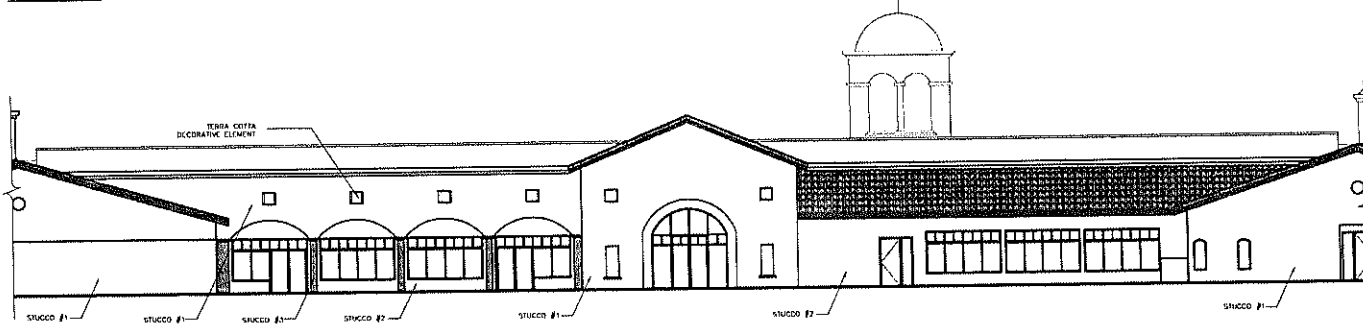
Application Title:
CONDITIONAL USE PERMIT APPLICATION

Sheet Title:
RENDERED ELEVATIONS ASSISTED LIVING

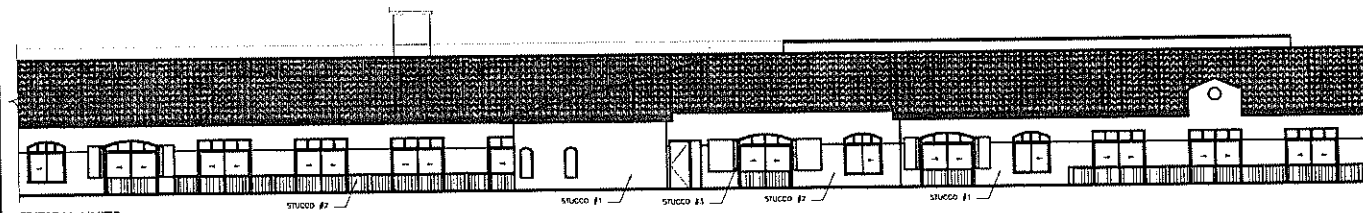
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Drawn By:	CE/SLM	Sheet No.:	A3.03
Checked By:	RLJA	Total Sheets:	18/315
Scale Date:	08/20/15		



FRONT / EAST



REAR / WEST



TYPICAL UNITS

REV	DESCRIPTION	DATE	APP'D

CONDITIONAL USE PERMIT APPLICATION

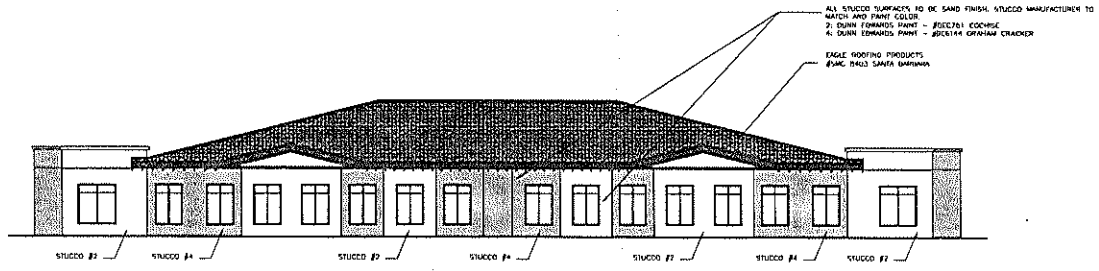
This document and specifications and the concepts embodied herein are the property and confidential work of THE CITY OF STOCKTON. NO REPRODUCTION, IN WHOLE OR IN PART, OR TRANSMISSION IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE CITY OF STOCKTON. THE CITY OF STOCKTON ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS OR FOR ANY DAMAGE CAUSED BY ANY USER OF THIS DOCUMENT.

Project Name:
**RENAISSANCE VILLAGE OF INDIO
 APN 607-240-006**

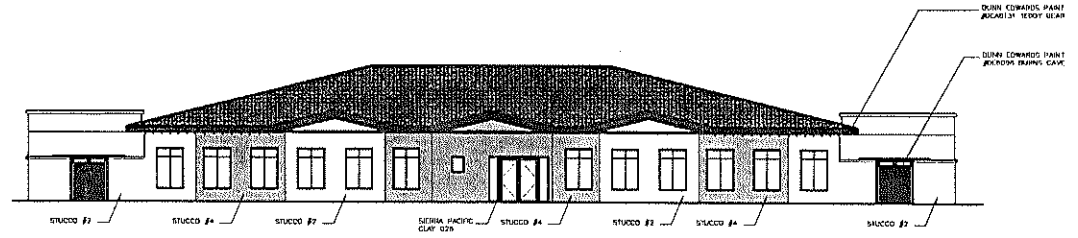
Client Title:
CONDITIONAL USE PERMIT APPLICATION

Sheet Title:
**RENDERED ELEVATIONS
 MEMORY CARE**

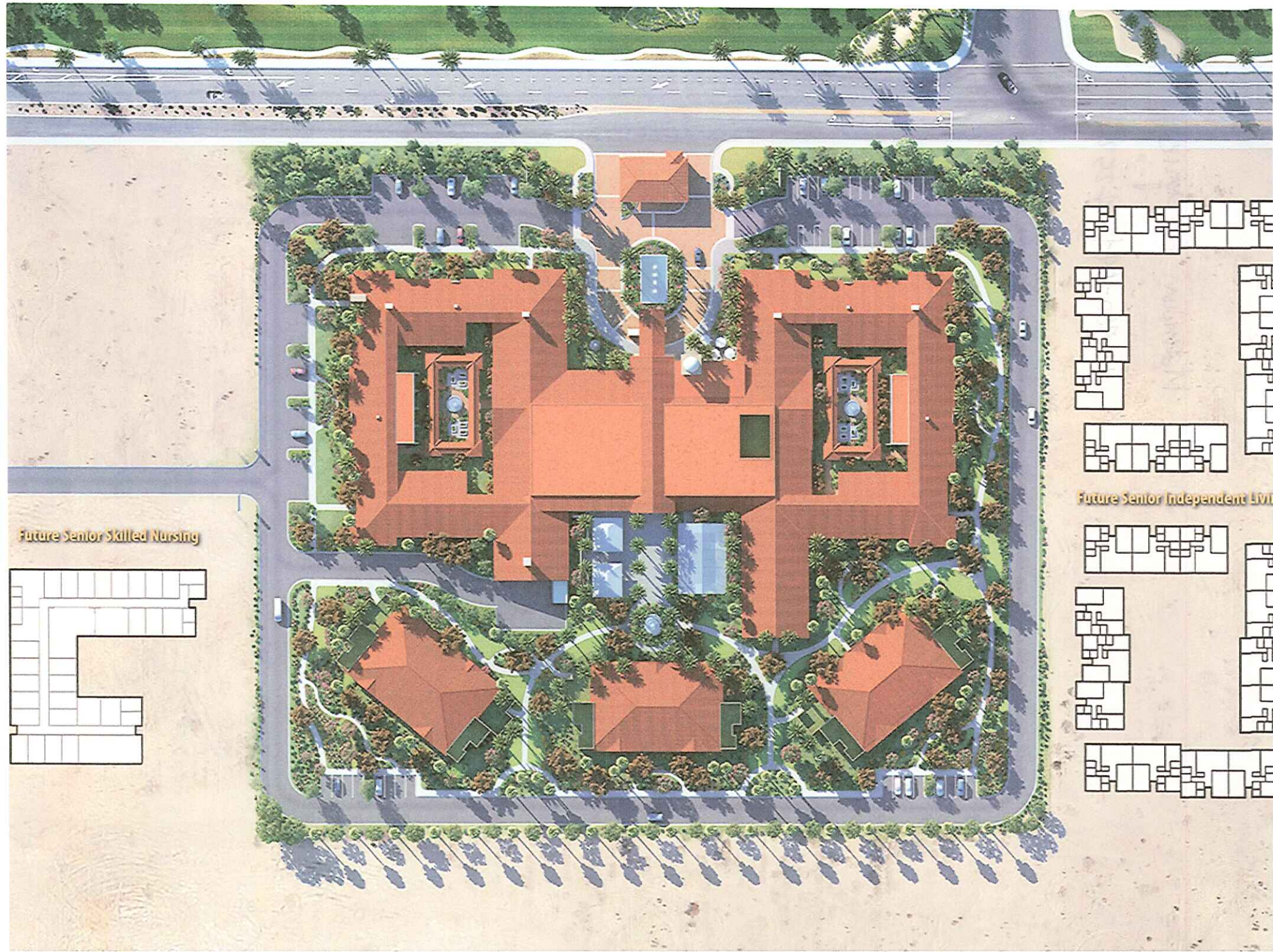
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Project No.:	041-09	Drawn By:	
Client/Title:		Checked By:	
Sheet No.:	001/01	Scale:	A3.04



① WEST (REAR) ELEVATION
 SCALE 1" = 32'-0"



② EAST (FRONT) ELEVATION
 SCALE 1" = 32'-0"



Future Senior Skilled Nursing

Future Senior Independent Living

1052BD

Guerin, John

From: Jei Kim <jkim@pclc-hjk.net>
Sent: Wednesday, October 30, 2013 3:48 PM
To: Guerin, John
Cc: Chriss Hopper
Subject: CUP 13-7-363 & TPM36580
Attachments: EXHIBIT_AIRPORT_10-30-13.pdf

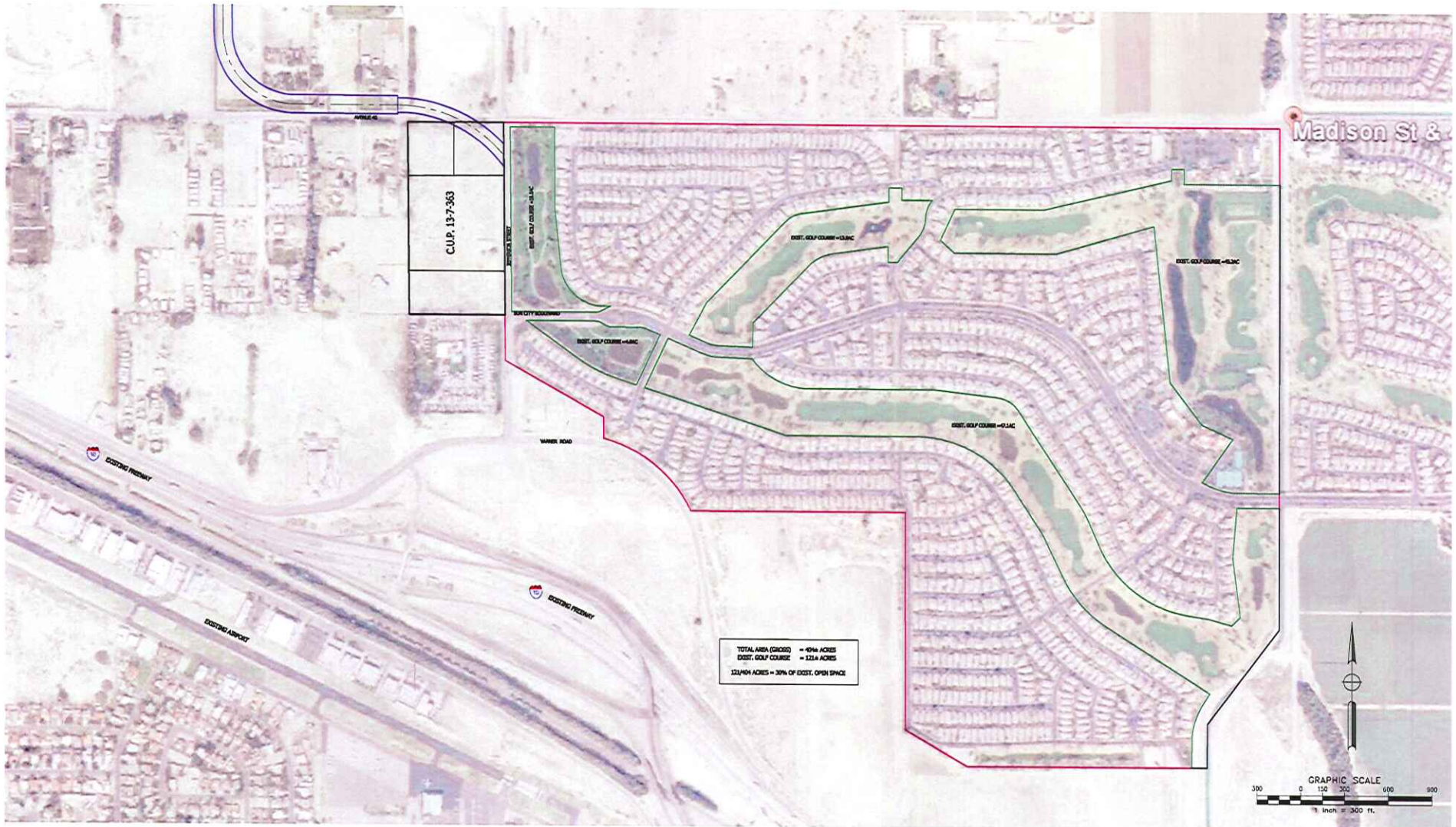
Hi, John

Please find attached exhibits per our meeting on 10/28/13. Per your requested, this attached exhibit included open space acreage of Shadow Hill, right east of our project, 121 ac which is about 30% of total area and also open channel at north, the bottom is 75' as shown. I think its much more than what was discussed. Hope this works your concern. Please call me if you have questions. Thanks

Jei Kim, PLS, President
PACIFIC COAST LAND CONSULTANTS, INC.
DBA HJK CONSULTANTS
25096 Jefferson Avenue, Suite "D"
Murrieta, Ca. 92562
Tel. No.: (951) 698-1350 Ext: 204
Fax No.: (951)698-8657
Email: jkim@pclc-hjk.net

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Underground Service Alert



CALL TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

DATE	BY	MARK	REVISIONS

BENCHMARK: NCS PID DX 3453 DESIGNATION = W 1311 ELEVATION = 77.45 (NAVD85) TOP IS BASED ON THE 88 DATUM	SCALE: 1" = 300'
APPROV'D BY: DATE:	DATE:

SCALE:

CITY OF INDO

APPROVED BY:

RECOMMENDED:

DATE:

DATE:

SEAL:



PACIFIC COAST LAND CONSULTANTS, Inc.

CIVIL ENGINEERING • LAND PLANNING • LAND ACQUISITION
2708 JEFFERSON AVENUE, SUITE 100
MIRAMonte, CALIFORNIA 92562
TEL: (951) 988-1200

PREPARED BY:

CHRIS D. HOPPER

P.C.E. NO. 34821

DATE:

CITY OF INDO
DEPARTMENT OF ENGINEERING SERVICES
AIRPORT LAND USE
C.U.P. NO. 13-7-363
RENAISSANCE VILLAGE OF INDO

SHEET NO.

2

OF 2 SHEETS

FILE NO.

S:\New Projects\2007\17 INDIO\INDIO\INDIO_LANDUSE_Pkg_10-25-13_0-04.dwg

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC at the Riverside address listed here before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, November 28 (Thanksgiving), and by appointment on Fridays (except November 29) from 8:30 a.m. to 5:00 p.m.

PLACE OF HEARING: La Quinta Council Chambers
 78-495 Calle Tampico
 La Quinta, California 92253

DATE OF HEARING: December 12, 2013

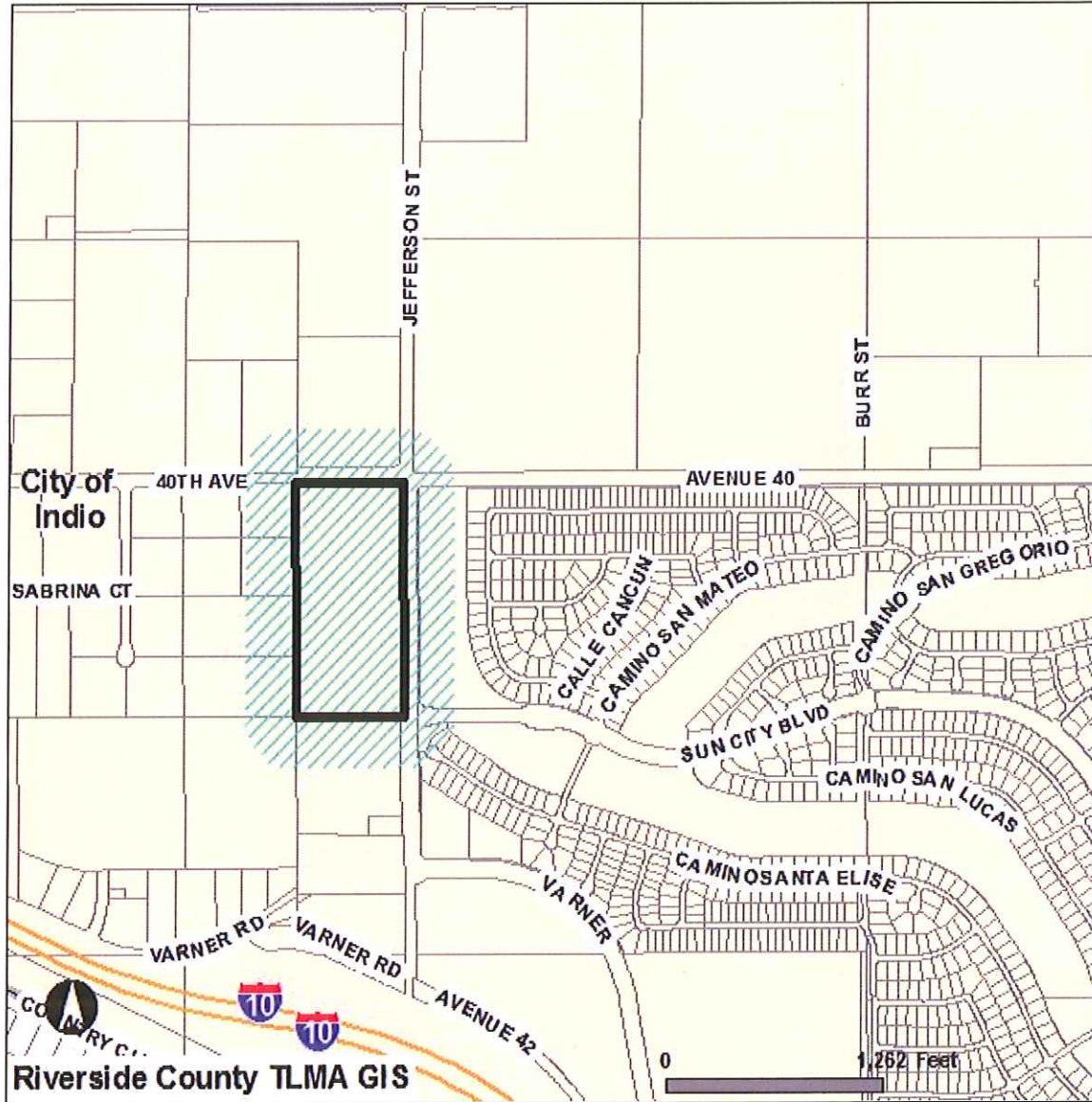
TIME OF HEARING: 10:00 A.M.

CASE DESCRIPTION:

ZAP1052BD13 – Continental East Fund IX, LLC – (Representative: Jei Kim, Pacific Coast Land Consultants, Inc.) – City of Indio Case Nos. CUP 13-7-363 (Conditional Use Permit) and PM 36580 (Parcel Map). CUP 13-7-363 (“Renaissance Village of Indio”) is a proposal to develop an assisted living (State licensed community care) and memory care facility comprised of up to four buildings with a total of 143 living units on a 9.95-acre portion of a 20-acre (gross area) lot located westerly of Jefferson Street and southerly of 40th Avenue in the City of Indio. Parcel Map No. 36580 would divide the 20-acre property into four lots, one of which would be the 9.95-acre facility site. (Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Mamun Faruque of the City of Indio Community Development Department, at (760) 391-4120.

RIVERSIDE COUNTY GIS



Selected parcel(s):

607-240-006 607-240-015 607-240-016 607-240-017 607-240-019 607-260-020 607-260-050
 691-070-016 691-070-017 691-110-005 691-180-001 691-180-002 691-180-007 691-290-018
 691-290-019 691-290-020 691-290-036 691-290-037 691-290-040

IMPORTANT

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STANDARD REPORT

APNs

607-240-006-3
 607-240-015-1
 607-240-016-2
 607-240-017-3
 607-240-019-5
 607-260-020-7
 607-260-050-4
 691-070-016-2
 691-070-017-3
 691-110-005-5

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

2A10S2B013

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 10-16-13
 Property Owner Continental East Fund IX, LLC Phone Number 951) 600-8600
 Mailing Address 25467 Medical Center Dr.
#201
Murietta, CA 92562

Agent (if any) _____ Phone Number _____
 Mailing Address _____

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address SW corner of Jefferson + Ave 40, Indio
 Assessor's Parcel No. 607-240-006 Parcel Size 1.9 acres
 Subdivision Name Renaissance Village Indio Zoning MF 2
 Lot Number _____ Classification _____

50
D

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Vacant

Proposed Land Use (describe) Residential Senior Assisted Living care

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 143
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site _____ Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) Bl'd Hght 24' entry 44' ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site 73' tower ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received _____

Agency Name City of Indio

Staff Contact Mamun Faruque

Phone Number (760)-541-4252

Agency's Project No. CUP - DR13-7-363
PM- 36580

Type of Project

- General Plan Amendment
- Zoning Amendment or Variance
- Subdivision Approval
- Use Permit
- Public Facility
- Other _____

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt Date Received _____ By _____
Is Application Complete? Yes No
If No, cite reasons _____

Airport(s) Nearby _____

Primary Criteria Review Compatibility Zone(s) A B1 B2 C D E Ht.
Allowable (not prohibited) Use? Yes No
Density/Intensity Acceptable? Yes No
Open Land Requirement Met? Yes No
Height Acceptable? Yes No
Easement/Deed Notice Provided? Yes No

Special Conditions Describe: _____

Supplemental Criteria Review
Noise _____
Safety _____
Airspace Protection _____
Overflight _____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action Approve Date _____
 Refer to ALUC

ALUC Action Consistent Date _____
 Consistent with Conditions (list conditions/attach additional pages if needed)

 Inconsistent (list reasons/attach additional pages if needed)

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: December 12, 2013

CASE NUMBER: ZAP1091MA13 – Southwest Land Consultants, for Romola General/Rimrock Trust (Representative: Sean Harrison)

APPROVING JURISDICTION: City of Menifee

JURISDICTION CASE NO: 2010-090 (Specific Plan Amendment)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the proposed project be found CONSISTENT with the 1984 Riverside County Airport Land Use Plan, as applied to the March Air Reserve Base Airport Influence Area.

PROJECT DESCRIPTION: City Case No. 2010-090 pertains to Menifee North Specific Plan No. 260, Amendment No. 3 “Palomar Crossing.” This Specific Plan Amendment proposes to amend the size, boundaries, and primary land uses permitted within Planning Areas 11, 12, 13, and 14, which together comprise 63.06 acres. The existing Plan excludes the area within an existing Southern California Edison (SCE) easement that bisects the amendment area, and provides for 23 acres of Business Park uses in Planning Areas 11 and 12, 17.6 acres of Commercial/Business Park uses in Planning Area 13, and 12.4 acres of Commercial uses in Planning Area 14. The proposed Plan includes the SCE easement and provides for 20.17 acres of High Density Residential uses in Planning Area 11, 17.92 acres of High Density Residential and/or General Retail and Commercial uses in Planning Area 12, 15.79 acres of General Retail and Commercial uses in Planning Area 13, and 9.18 acres of Commercial uses in Planning Area 14.

PROJECT LOCATION: The amendment site is located adjacent to and northerly of State Highway Route 74, easterly of Palomar Road, and westerly of Menifee Road, both easterly and westerly of Junipero Road and the SCE easement in the City of Menifee, more than 50,000 feet southeasterly of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 1984 Riverside County Airport Land Use Plan, as applied to March Air Reserve Base

a. Airport Influence Area: March Air Reserve Base

- b. Land Use Policy: Area III
- c. Noise Levels: Outside the 60 CNEL contour, according to all published documents in current use

BACKGROUND:

Land Use Density/Intensity: The site is located in Area III of the current March Air Reserve Base Airport Influence Area Map. Neither residential density nor non-residential intensity is limited within Area III, based on the 1984 Riverside County Airport Land Use Plan.

Pursuant to the Joint Land Use Study for the March Air Reserve Base/Inland Port Airport, the site would be located within Compatibility Zone E. Residential densities are not limited to a specified number of dwelling units per acre in Zone E. Non-residential intensity is not limited to a specified number of persons per acre in Zone E.

Both the existing Specific Plan and the proposed Specific Plan, as amended, would provide for consistent land uses within this area.

Noise: Neither the March Air Reserve Base/Inland Port Airport Joint Land Use Study (which relied on the noise contours included in the 2005 AICUZ study) nor the F-15 Aircraft Conversion Environmental Impact Study prepared for the 144th Fighter Wing of the California Air National Guard depict noise contours that would include this site.

Part 77: The site is located more than 50,000 feet from the nearest point of the runway at March Air Reserve Base and is not located at an elevation greater than the runway elevation. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review of structures less than 200 feet above ground level at this location would not be required.

Avigation Easement: Pursuant to Policy 3 of the 1984 Riverside County Airport Land Use Plan, an avigation easement is required for all land uses located within the Airport Influence Area. However, upon adoption of the new Compatibility Plan, avigation easements would not be required in this portion of the Airport Influence Area.

Open Area: There is no open area requirement in either the 1984 Riverside County Airport Land Use Plan or the new Compatibility Plan for properties located in Compatibility Zone E.

While the Specific Plan Amendment is recommended for a finding of consistency without conditions, staff recommends that the City of Menifee apply the following conditions to subsequent projects within the amendment boundary.

CONDITIONS (to be applied to subsequent projects):

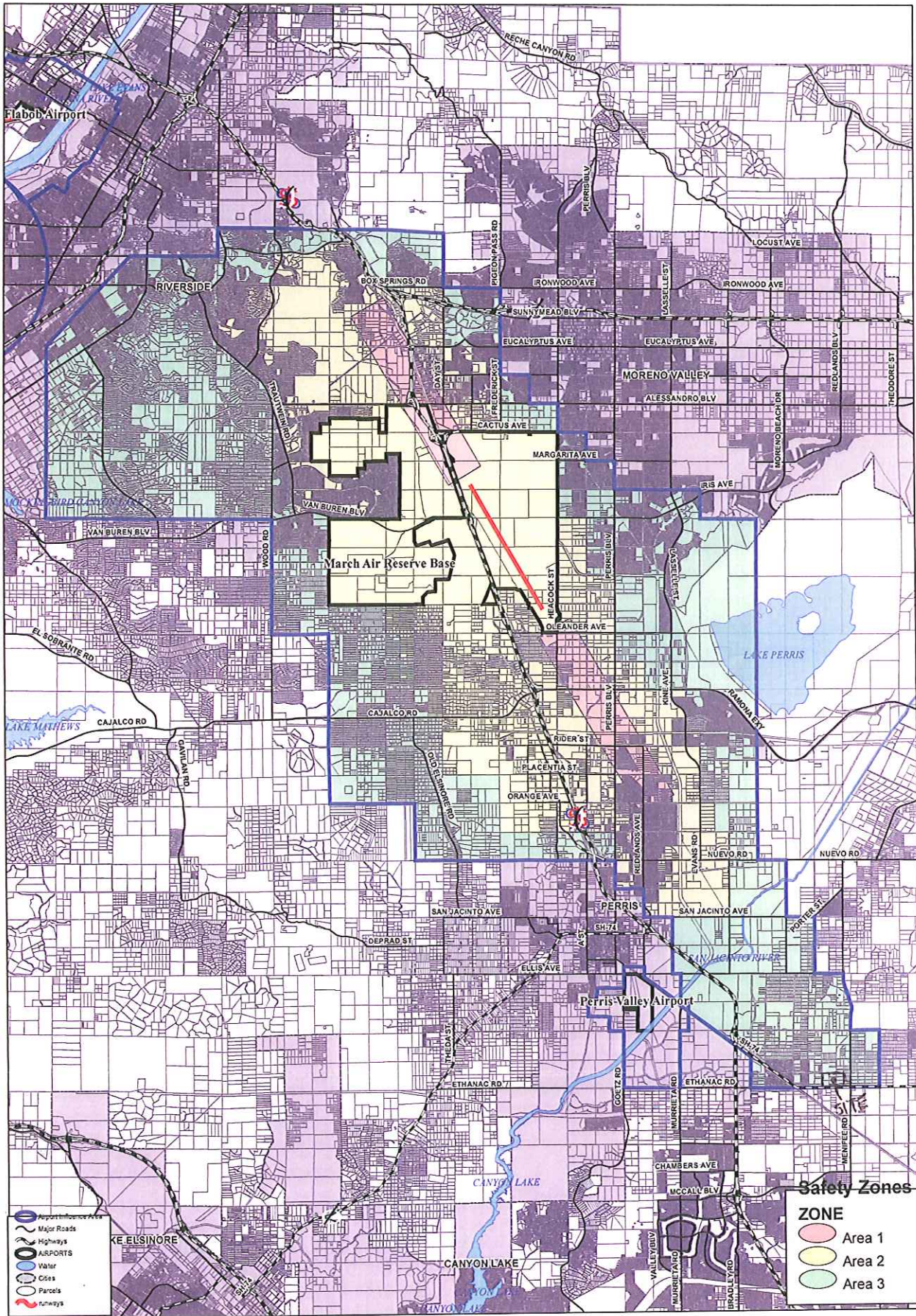
1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. Prior to issuance of any building permits, **if required by the applicable Airport Land Use Compatibility Plan**, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
4. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
5. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

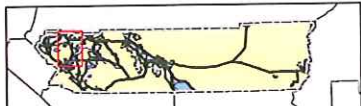
Riverside County Airports

March Air Reserve Base



- Airports Influence Area
- Major Roads
- Highways
- AIRPORTS
- Water
- Cities
- Parcels
- runways

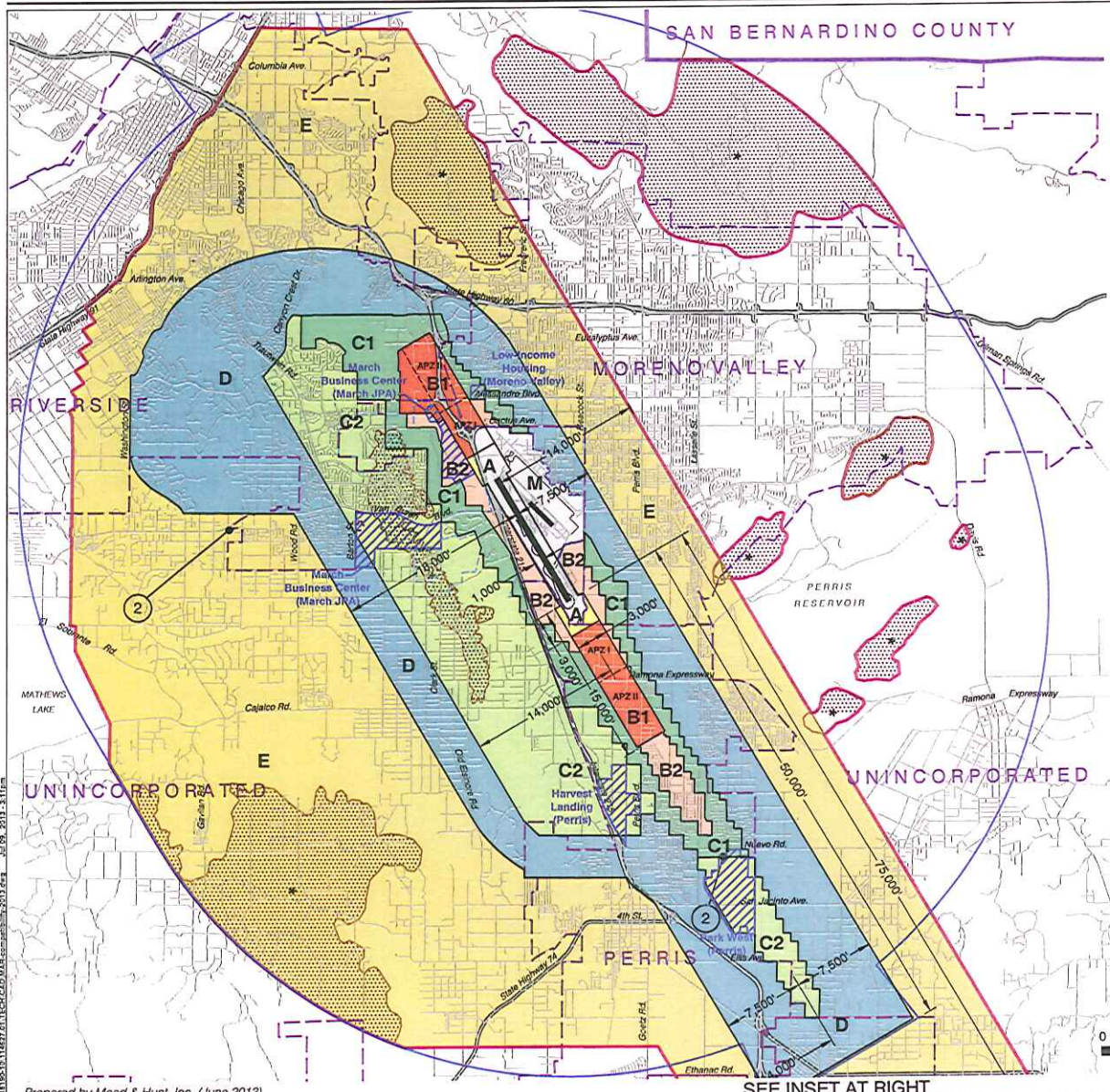
- Safety Zones**
- ZONE**
- Area 1
 - Area 2
 - Area 3



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E

© County of Riverside, 7/14/03 2:04



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

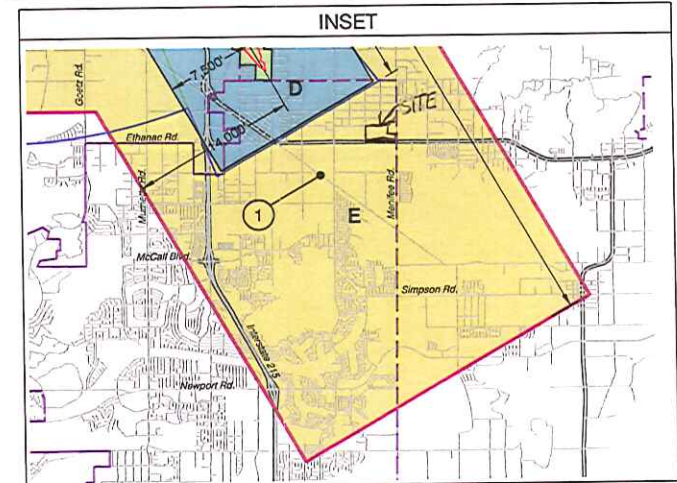
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

Note:

All dimensions are measured from runway ends and centerlines.

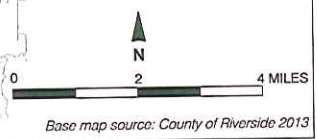
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(June 2013 Draft)**

Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**



Base map source: County of Riverside 2013

SEE INSET AT RIGHT

11110210.116672.01.TECHCAD.VAR.scanshield.2013.622
 JUN 09, 2013 - 3:11 PM
 Prepared by Mead & Hunt, Inc. (June 2013)

RIVERSIDE COUNTY GIS



Selected parcel(s):

329-090-025 329-090-026 329-090-069 329-090-070 329-090-071 329-090-072 329-100-025
 329-100-027 329-100-030 329-100-031 329-100-032

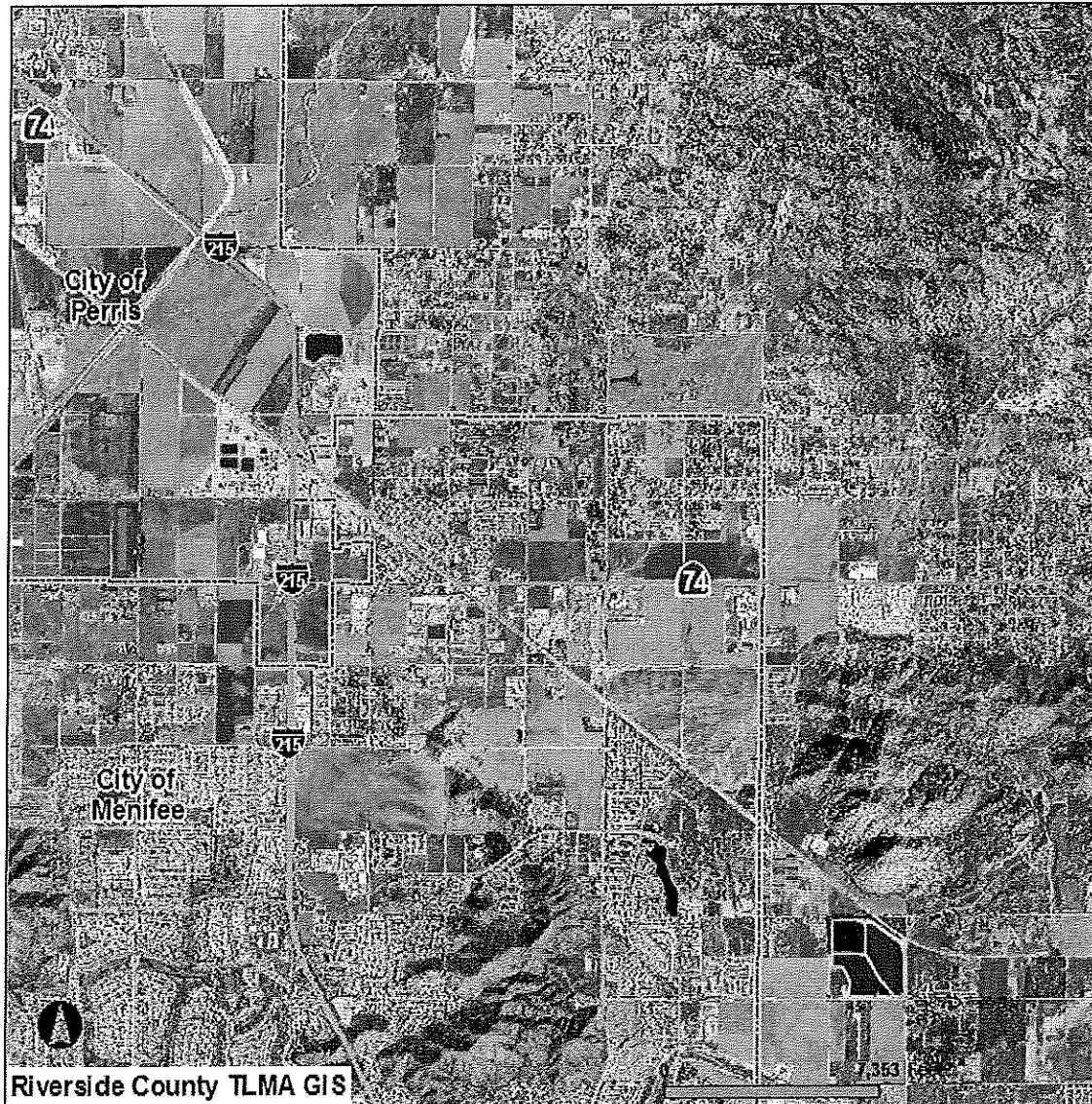
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Version 131001

RIVERSIDE COUNTY GIS

**Selected parcel(s):**

329-090-025 329-090-026 329-090-069 329-090-070 329-090-071 329-090-072 329-100-025
329-100-027 329-100-030 329-100-031 329-100-032

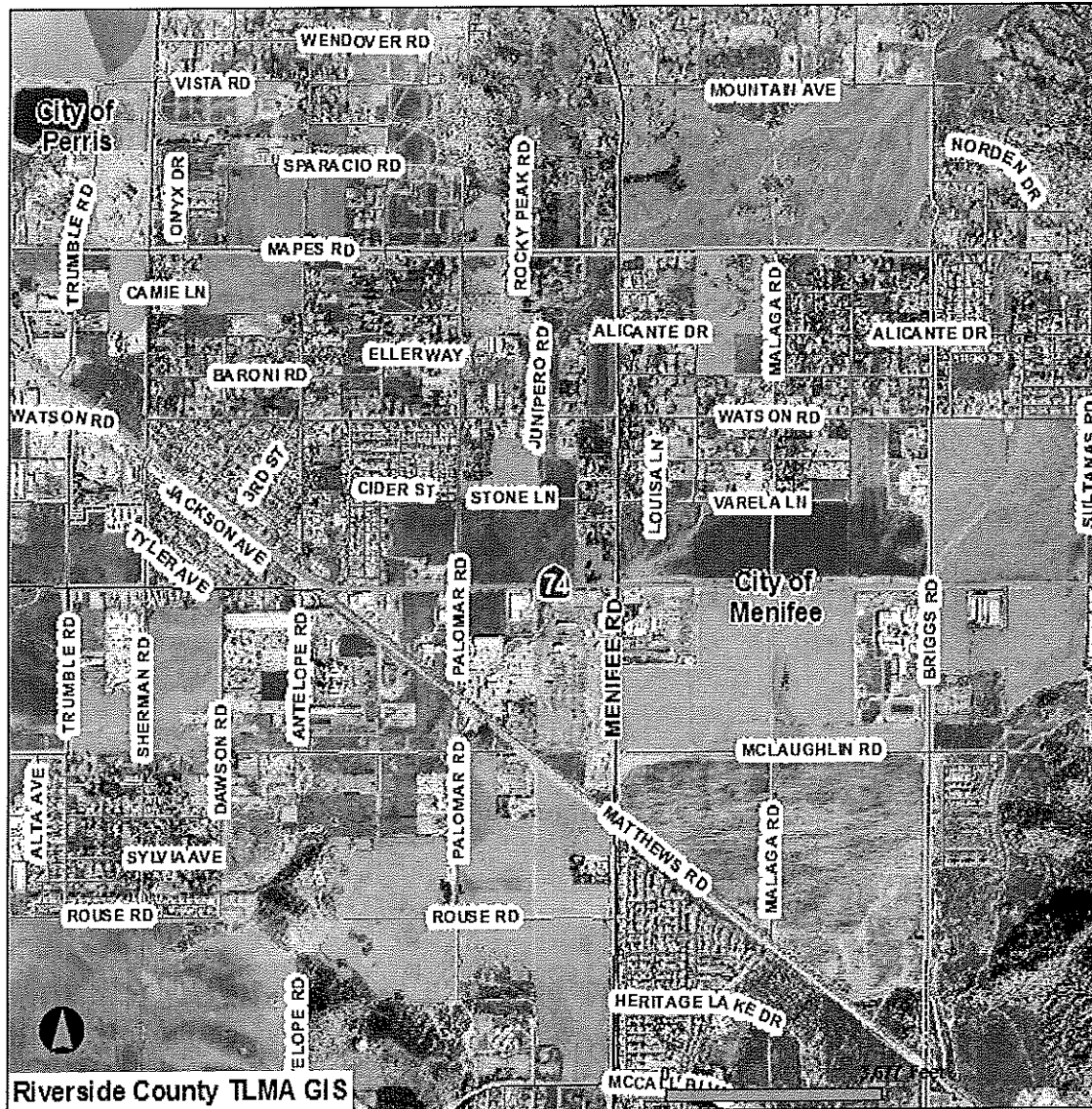
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Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):

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 329-100-027 329-100-030 329-100-031 329-100-032

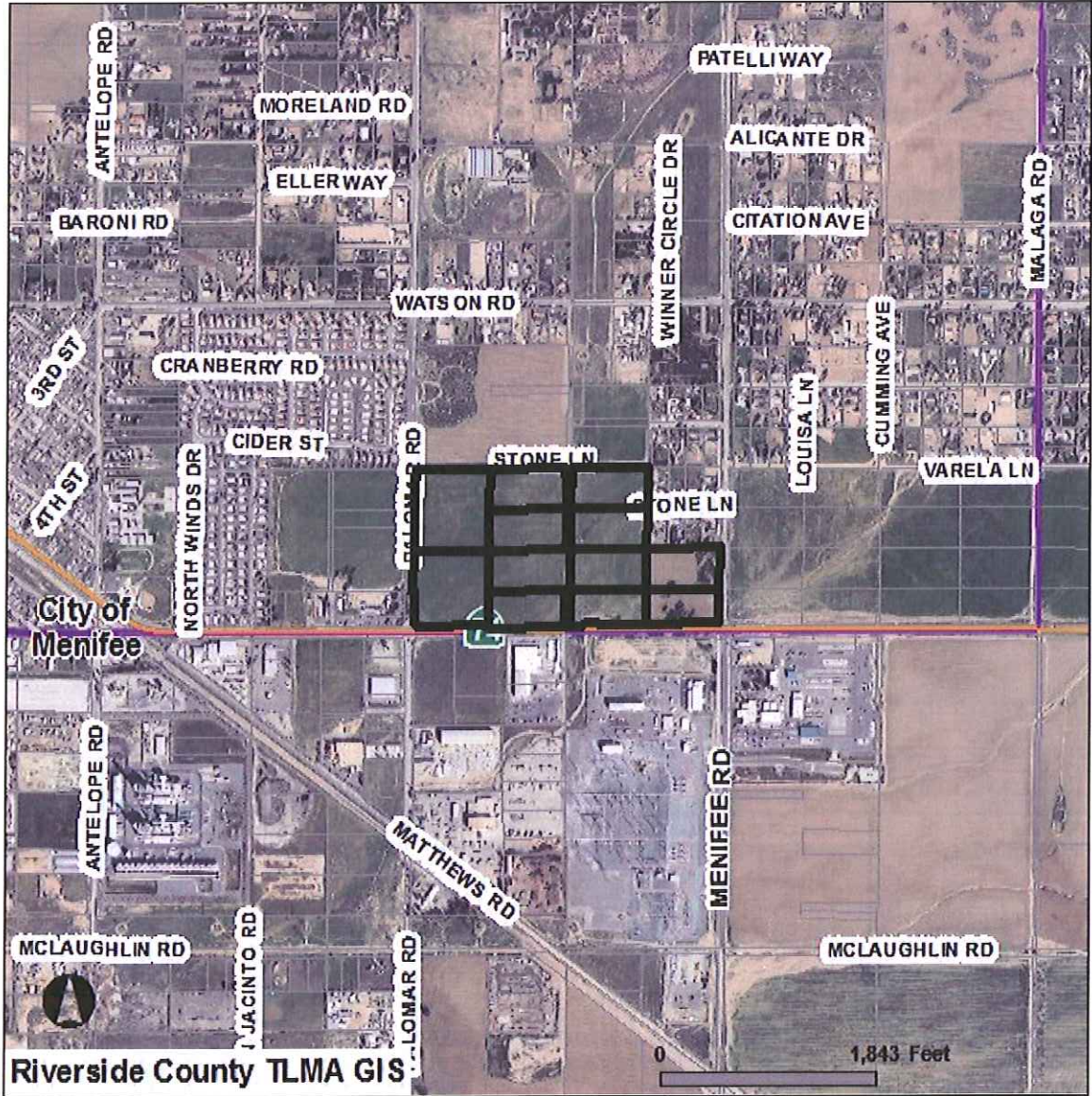
IMPORTANT

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REPORT PRINTED ON...Fri Nov 22 16:13:11 PST 2013

Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):

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 329-100-027 329-100-030 329-100-031 329-100-032

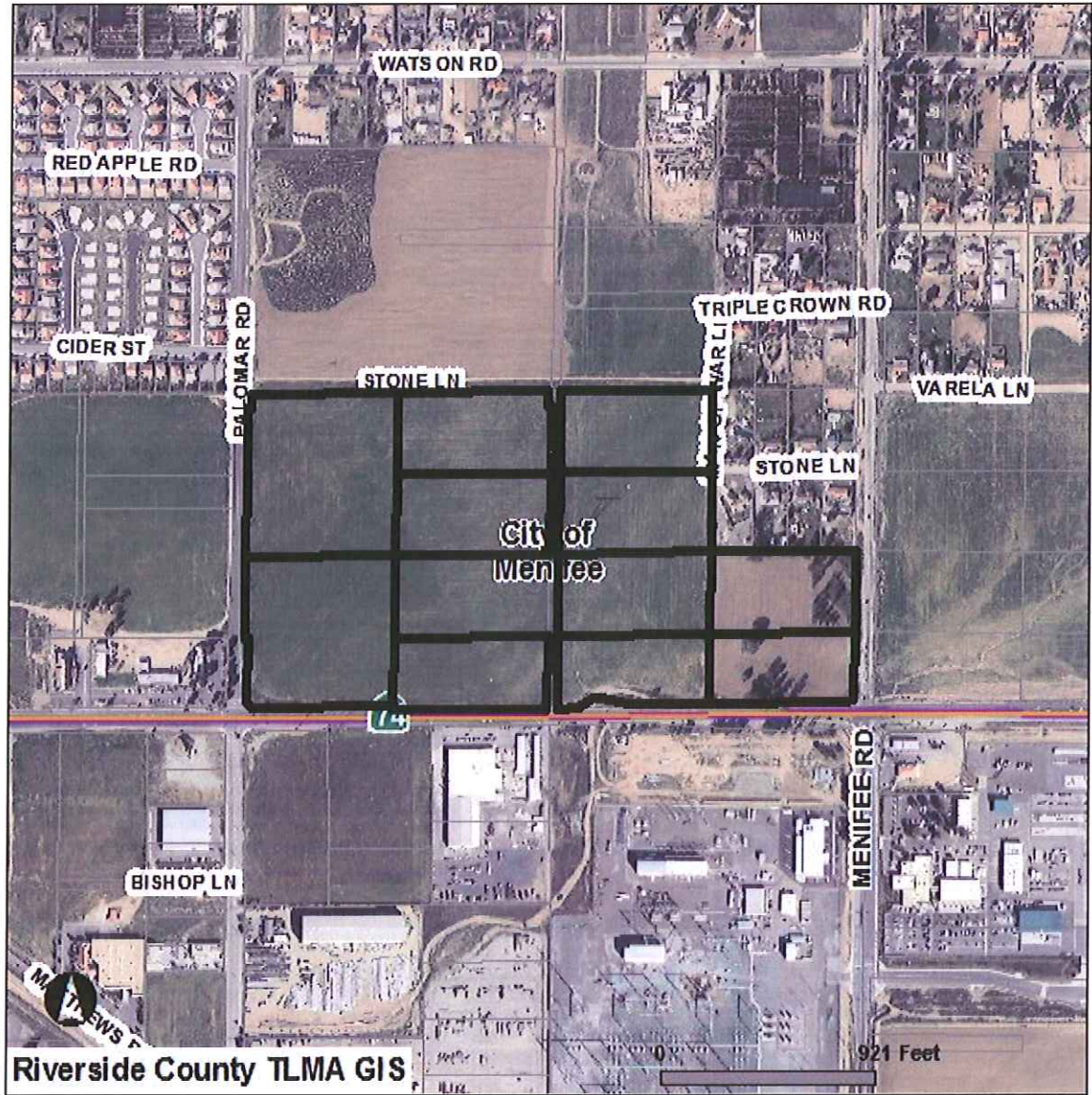
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REPORT PRINTED ON...Thu Oct 31 09:59:44 2013

Version 131001

RIVERSIDE COUNTY GIS



Selected parcel(s):

329-090-025 329-090-026 329-090-069 329-090-070 329-090-071 329-090-072 329-100-025
 329-100-027 329-100-030 329-100-031 329-100-032

IMPORTANT

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REPORT PRINTED ON...Thu Oct 31 09:59:01 2013

Version 131001

Specific Plan
Excerpts

PALOMAR CROSSING

SPECIFIC PLAN AMENDMENT & INITIAL STUDY

PREPARED FOR

ROMOLA GENERAL / RIMROCK TRUST
OPTIMUS BUILDING CORPORATION

PREPARED BY
KEISKER & WIGGLE ARCHITECTS INC
HLC ENGINEERING
KEEFER CONSULTING
SOUTHWEST LAND CONSULTANTS



Menifee North Specific Plan

Amendment 3
Planning Areas
11 • 12 • 13 • 14

JANUARY 31, 2013

Keisker &
Wiggle
Architects INC.

26961 Camino de Estrella
Suite 200
Capistrano Beach
CA 92624
949/388-1250

Prepared for:
Romola General / Rimrock Trust
1330 Rimrock Drive
Perris, CA 92570

**MENIFEE NORTH
SPECIFIC PLAN No. 260**

AMENDMENT No. 3
Planning Areas 11, 12, 13 & 14

Prepared for:

Romola General / Rimrock Trust
1330 Rimrock Drive
Perris, CA 92570
Attn: Mike Ashley / Mickey Ashley

Prepared by:

Keisker & Wiggle Architects, Inc.
26961 Camino de Estrella, Suite 200
Capistrano Beach CA 92624
949/388-1250

&

HLC Civil Engineering
39281 Via Cadiz
Murrieta, CA 92563
951/640-0957

January 31, 2013

AMENDMENT No. 3 TO MENIFEE NORTH SPECIFIC PLAN No. 260***SUMMARY OF CHANGES***

Proposed Amendment No. 3 is required to accommodate modifications to the Land Use Plan for approved MENIFEE NORTH Specific Plan No. 260, Amendments Nos.1 and 2. Refer to the Existing Specific Plan Land Use Plan and Proposed Specific Plan Amendment No. 3 Land Use Plan for a graphic representation of the changes of use proposed for Planning Areas 11, 12, and 13 and the change in size of Planning Area 14.

Since the original Specific Plan was approved by the County of Riverside, the City of Menifee was incorporated on October 1, 2008. This Amendment No. 3 proposes to amend four Planning areas, 11, 12, 13 and 14, that are within the City of Menifee. These amendments do not affect any portion of the Specific Plan that is still within the County of Riverside jurisdiction. Refer to the maps, Figures III –A and III–B.

The Ethanac Corridor Planning Group (ECPG) was formed by multiple stakeholders within the Harvest Valley/Winchester Area Plan of Riverside County to create a guiding vision for the western gateway and urban node connecting Interstate 215 with the inland City of Hemet.

Based on the evaluation and analysis of the existing conditions within the study area, the ECPG has identified numerous issues that will affect the overall development of the corridor. The ECPG Summary of Issues states the following:

Land Uses:

1. Location and designation of land uses
2. Placement of commercial land uses
3. Excess of industrial and commercial/business park land uses
4. Shortage of high-density residential land uses

The *Ethanac Corridor Planning Group Summary Document* provides recommendations that are intended to give guidance for future Land Use policies within this Specific Plan Area. The ECPG Conclusions and Recommendations states the following:

Land Uses:

- A1. Create a diverse community with integrated land uses that will result in a balanced, full service, land use plan for a community where people can live, work, shop, secure services, and recreate.
- A2. Locate community or neighborhood commercial centers within the Core Area and regional centers adjacent to Interstate 215, thereby providing opportunities for retail, entertainment, and service uses within proximity to residential and office developments, and high volume travel routes.

A3. Create an overlay for industrial land uses in the future to accommodate growth within the corridor, land use compatibility, and expansion of regional transit facilities.

A4. Create a range of housing opportunities and choices by diversifying the residential housing types within the corridor, including traditional single-family homes, courtyard homes, multi-family attached units, and apartments.

This amendment will create multi family housing opportunities, and eliminate the business park designation in favor of retail and commercial uses. Amendment No.3 requests to make the following changes:

- 1) Redesignate Planning Area 11 from Business Park land uses to High Density Residential. Planning Area 11 increases in size from 19.0 Acres to 20.17 Acres.
- 2) Redesignate Planning Area 12 from Business Park To General Retail, Commercial and High Density Residential land uses. Planning Area 12 will be increased in area from 4.0 Acres to 17.92 Acres by reducing the size of Planning Areas 13 and 14, and incorporating a portion of the existing Southern California Edison easement that is currently not in a Planning Area.
- 3) Redesignate Planning Area 13 from Commercial Business Park to General Retail and Commercial. Planning Area. 13 will decrease in size from 17.6 Acres to 15.79 Acres. PA 13 will also incorporate a portion of the existing Southern California Edison easement that is currently not in a Planning Area.
- 4) Reduce the size of Planning Area 14 from 12.4 Acres to 9.18 Acres by redesignating areas into Planning Areas 12 and 13.

As a result, adjustments to planning area boundaries and densities within the Specific Plan area are required. Detailed descriptions of each change that is proposed by MENIFEE NORTH Specific Plan No. 260, Amendment No. 3 are provided on Table I, Table A and Pages III-64 through III-68 of this document.

The existing SCE easement is being included within Planning Areas 12 and 13 in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in density calculations, required landscape and open space areas, retention and detention basins, and for passive recreation uses.

Upon approval of Amendment No.3, total dwelling unit count for MENIFEE NORTH Specific Plan No. 260 shall be from 3,035 to 3,465, depending on the allocation of Land use in Planning Area 12. (refer to Table A, Land Use Summary of Changes).

The above-mentioned changes would require that revisions be made to previously-approved MENIFEE NORTH Specific Plan No. 260, Amendment No. 1 and No. 2. The graphic and text pages that would be revised have been included in this abbreviated document.

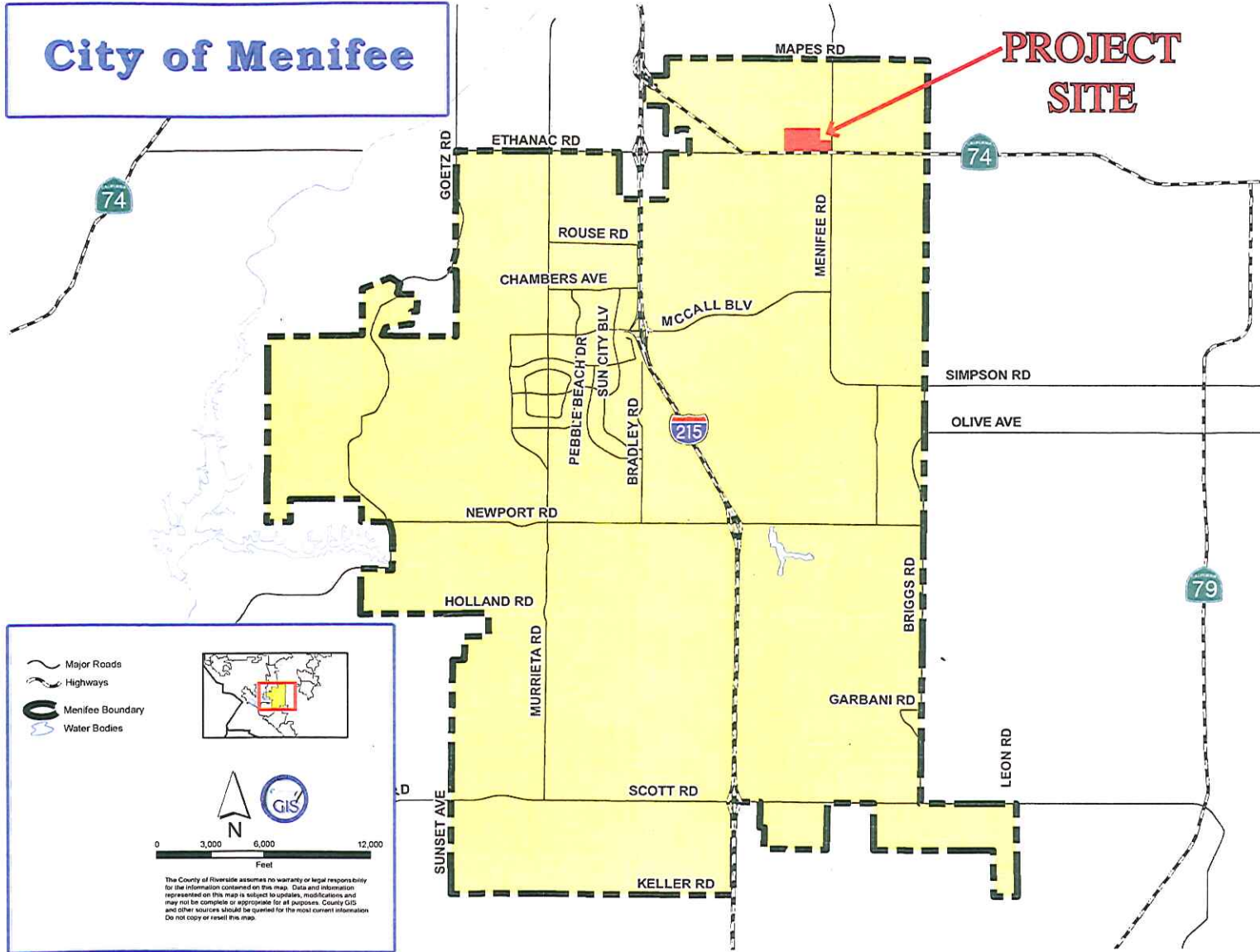


FIGURE III-B
**City of Menifee
 Boundary
 Map**

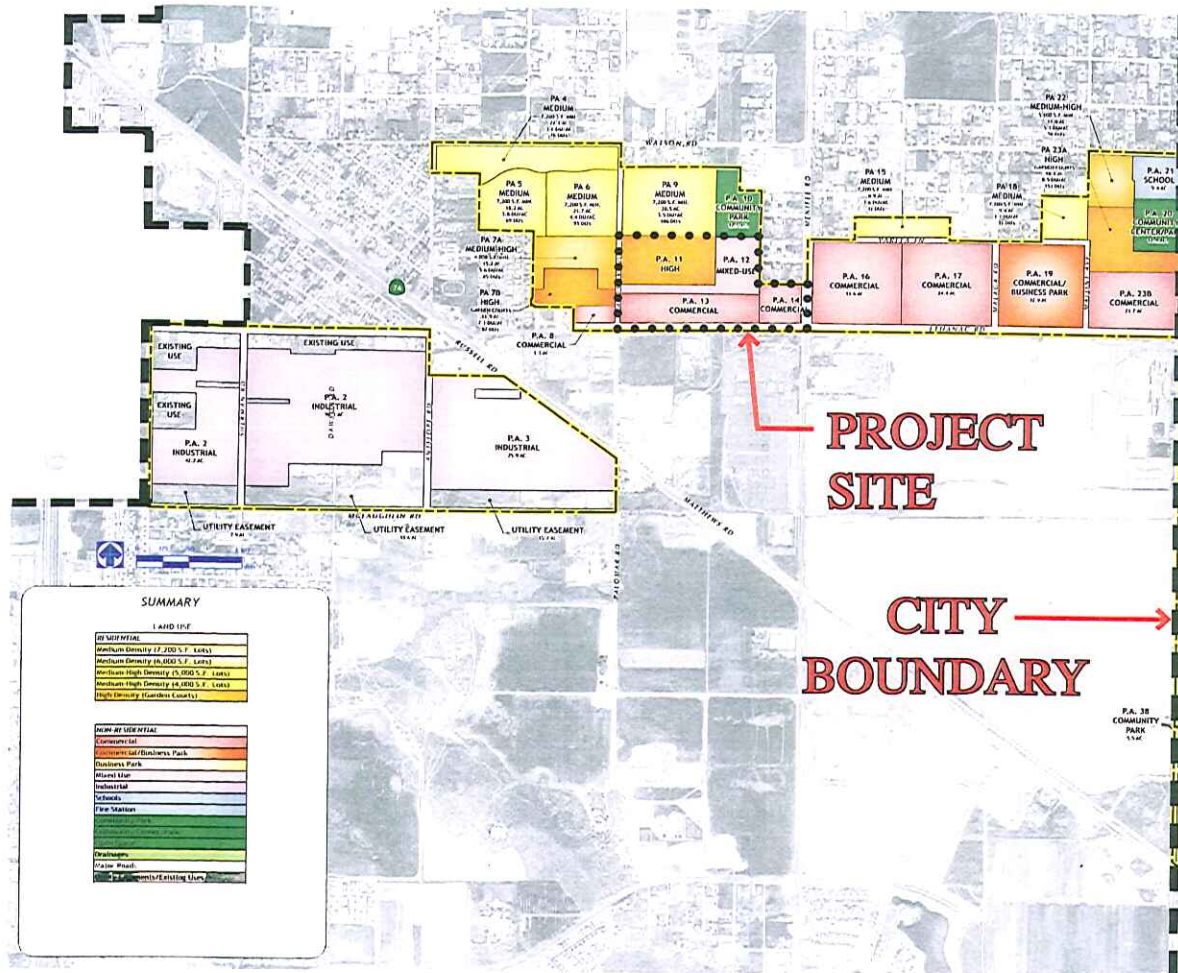


FIGURE III - A
Specific Plan 260
Amendment 3
Planning
Areas

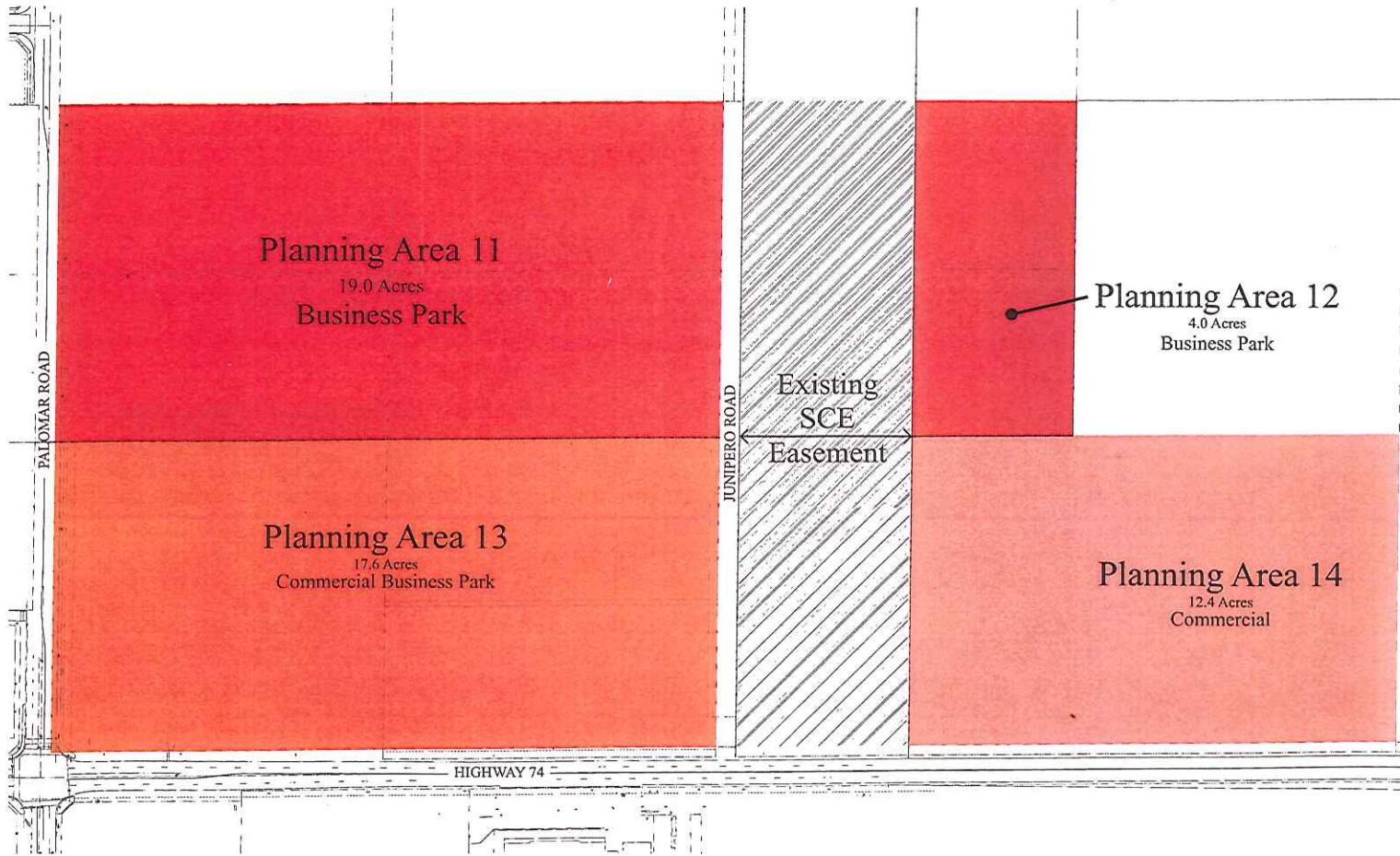
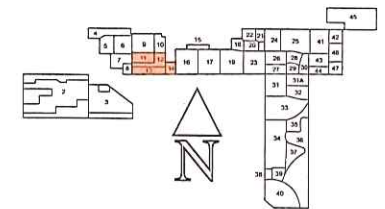


FIGURE III-1

Existing Land Use Plan

- Planning Area 11
- Planning Area 12
- Planning Area 13
- Planning Area 14



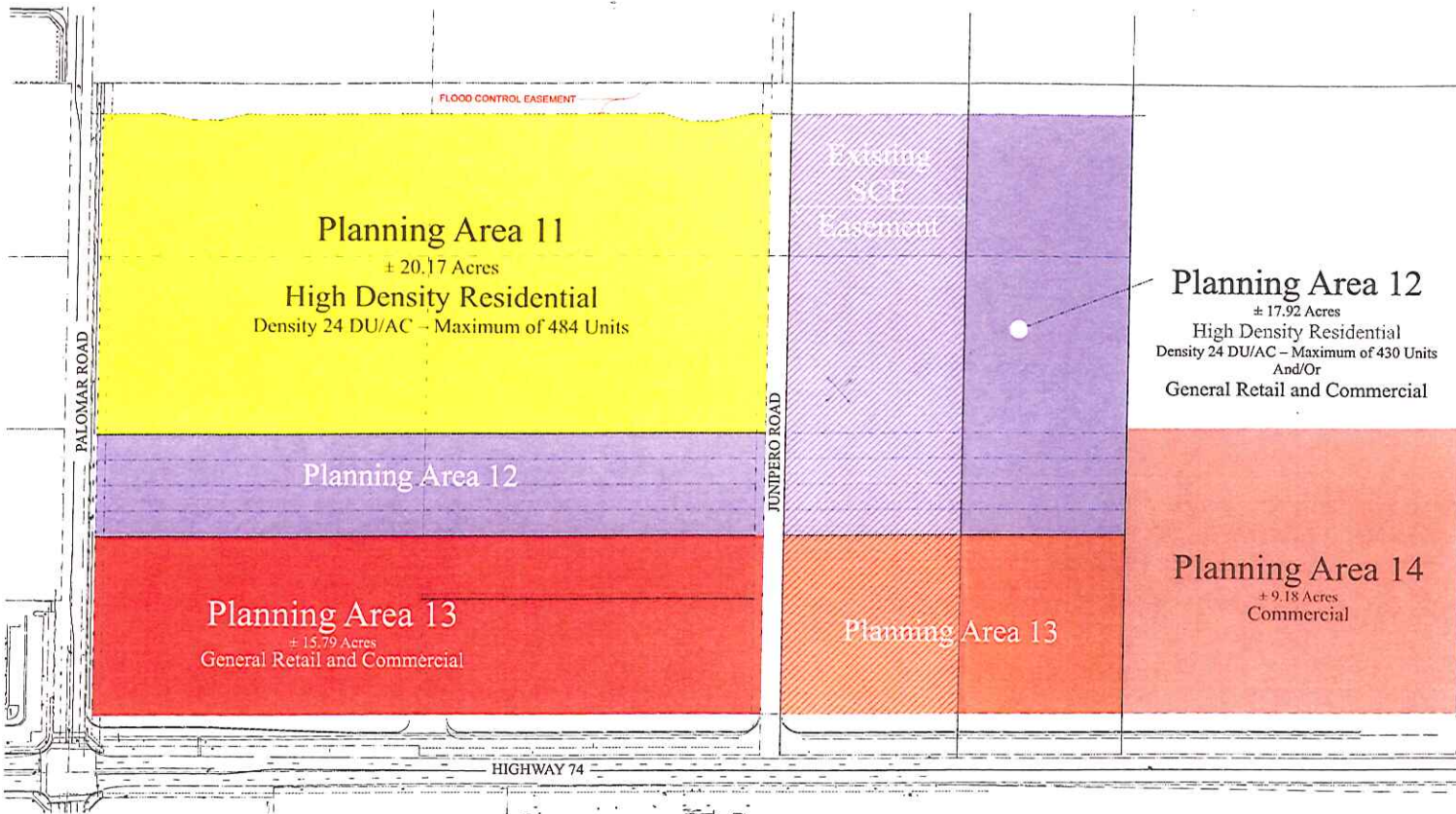
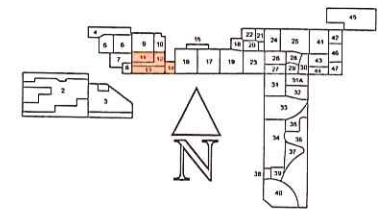


FIGURE III-1A

Proposed Land Use Plan

- Planning Area 11
- Planning Area 12
- Planning Area 13
- Planning Area 14



Bold Entries are Added or Modified with Amendment 3				
DESIGNATION	PLANNING AREA	ACREAGE	TARGET DENSITY	DWELLING UNITS
RESIDENTIAL				
LOW – 1/2 AC MIN.	10 ^(A-2)	0	2.0	0
Medium – 7,200 SF min.	4	21.8	3.5	76
	5 ⁽¹⁾	18.3	3.7	68
	6 ⁽¹⁾	24.6	3.7	91
	9 ⁽¹⁾	30.4	3.5	106
	15	10.6	3.0	32
	18	10.3	3.0	31
	41	34.3	3.5	120
	45	74.8	3.5	262
	46	20.9	3.7	77
SUBTOTAL – MEDIUM - 7,200 SF MIN.		246.0	3.5	863
Medium – 6,000 SF min.	25	45.1	4.5	203
	32 ⁽¹⁾	21.8	4.5	98
	35	19	4.5	85
	37	20.6	4.5	93
	40	60.4	4.5	272
SUBTOTAL – MEDIUM - 6,000 SF MIN.		166.9	4.5	751
Medium High – 5,000 SF min.	22	11.3	5.0	56
	24	22	5.0	110
	33 ⁽¹⁾⁽²⁾	57.7	4.5	259
	34 ⁽¹⁾⁽²⁾	75.2	4.5	339
SUBTOTAL – MEDIUM HIGH - 5,000 SF MIN.		166.2	4.6	765
MEDIUM HIGH – 4,000 SF min. ^(A-2)	7A	15.2	5.6	85
HIGH DENSITY – Garden Courts ^(A-2)	7B	11.9	7.3	87
HIGH DENSITY – 20.1 – 24 DU/AC ^(A-3)	11	20.17	24	484
	12 ^{(A-3)(A-4)}	17.92	24	430
SUBTOTAL – HIGH DENSITY - 24 DU/AC		38.09	24	914

⁽¹⁾ The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot minimum in either of the following two circumstances:
a. The project is designed for and restricted to senior citizen housing, or
b. The project is a mobile home park or mobile home subdivision
This standard applies to Planning Areas 5, 6, 9, 32, 33 and 34. If this option is elected, the maximum number of dwelling units shown in Table II may be exceeded up to a new maximum which is listed in the Planning Area description for the relevant Planning Area. The overall maximum number of dwelling units for the entire Specific Plan may not exceed 2,654.

⁽²⁾ The density shown for this planning area is 4.5 du/ac even though the minimum lot size is 5,000 square feet. The overall number of units for this planning area is restricted to require that several neighborhoods of differing lot sizes be developed.

^(A-2) Modified in Amendment Number 2

^(A-3) Modified in this Amendment Number 3

^(A-4) PA 12 can be either residential or commercial. Density shown here is a maximum if it is all residential.

DESIGNATION	PLANNING AREA	ACREAGE	TARGET DENSITY	DWELLING UNITS
NON-RESIDENTIAL				
Business Park	7 ^(A-2)	0.0	-	-
	11 ^(A-3)	0.0	-	-
	12 ^(A-3)	0.0	-	-
	17	34.4	-	-
	19	36.0	-	-
	26	21.0	-	-
	28	12.6	-	-
	43	17.6	-	-
SUBTOTAL - BUSINESS PARK		144.6	-	-
Commercial	8	3.3 ^(A-2)	-	-
	14 ^(A-3)	9.18	-	-
	16	35.3	-	-
	23	36.4	-	-
	27	11.8	-	-
	29	8.1	-	-
	31	32.4	-	-
SUBTOTAL - COMMERCIAL		139.7	-	-
Mixed Use/Neighborhood Commercial	31A	18.8	-	-
Commercial/Business Park ⁽³⁾	13	17.6	-	-
	30	13.2	-	-
	44	10.4	-	-
	47	10.9	-	-
SUBTOTAL - COMMERCIAL/BUSINESS PARK		52.1	-	-
General Retail and Commercial ^(A-3)	12 ^(A-3)	17.92	-	-
	13 ^(A-3)	15.79	-	-
SUBTOTAL - GENERAL RETAIL AND COMMERCIAL		33.71	-	-
Industrial	2	121.1	-	-
	3	76.4	-	-
SUBTOTAL - INDUSTRIAL		197.5	-	-

⁽³⁾ Planning Area 1, which was originally designated for 18 acres of Commercial/Business Park use, was annexed to the City of Perris and was therefore deleted from Specific Plan #260

^(A-2) Modified in Amendment Number 2

^(A-3) Modified in this Amendment Number 3

DESIGNATION	PLANNING AREA	ACREAGE	TARGET DENSITY	DWELLING UNITS
Schools	21	8.7	-	-
	39	10.0	-	-
	42	10.0	-	-
SUBTOTAL - SCHOOLS		28.7	-	-
Community Parks ⁽⁴⁾ (A-2)	10 ^(A-2)	12.5	-	-
	20	12.0	-	-
	38	5.0	-	-
SUBTOTAL - COMMUNITY PARKS		29.5	-	-
Community Center	48	4	-	-
Open Space	36	112	-	-
Drainage Channels	-	15.9	-	-
Utility Easements/Existing Uses ^(A-2) (A-3)	-	111.4	-	-
Major Roadways	-	164.1	-	-
Fire Station	-	1.7	-	-
PROJECT TOTALS		1636.2	3.5 - 3.9 ^(A-4)	3,035 - 3,465 (A-4)

⁽⁴⁾ Mini-parks are required in Planning Areas 24, 25, 32, 33, 35 and 37. Together, these mini-parks add 4.0 acres of usable park area, for a total developed park acreage of 21.0 acres.

^(A-2) Modified in Amendment Number 2

^(A-3) Modified in this Amendment Number 3

^(A-4) Varies based on ultimate uses in Planning Area 12

11. PLANNING AREA 11: BUSINESS PARK HIGH DENSITY RESIDENTIAL**A. Descriptive Summary**

Planning Area 11, as depicted in Figure III-14.11, provides for development of approximately 20.17 acres (484 Units) devoted to Multi Family Housing uses.

B. Development Standards**1. Permitted Uses**

Refer to Table V-1 for the list of Permitted Land Uses. Other uses not listed may be permitted provided a Conditional Use Permit has been granted pursuant to the requirements of the City of Menifee Zoning Code.

2. General Development Standards

Refer to Table V-2 for the list of Development Standards.

Residential density includes only the number of residential units and does not consider the square footage of each unit or any non-residential square footage such as freestanding garage facilities, recreation facilities, management office facilities and maintenance facilities. Residential density is calculated by dividing the sum of the number of units proposed on an individual parcel by the total area of the parcel in acres.

3. Landscape Standards

Refer to Table V-2 for the required Landscape Coverage Standards.

C. Planning Standards

1. Primary access to Planning Area 11 shall be provided from Palomar Road and Junipero Road.

2. A roadway landscape treatment, as illustrated in Figure IV-18, shall be established along Junipero Road and Palomar Road.

3. Please refer to Residential Design Guidelines (Section IV.F), for design-related criteria.

4. Please refer to Section III for the Development Plans and Standards that apply within PA 11.

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan
- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
AUTOMOBILE/ VEHICLE	Automobile repair garages, not including body and fender shops or spray painting	N	P	P
	Automobile sales and rental agencies.	N	C	C
	Boat and other marine sales, rentals and services.	N	C	C
	Car wash, full service, self-service, drive thru	N	P	P
	Gasoline service stations, liquid petroleum, compressed natural gas (CNG) sales with car wash, convenience stores	N	P	P
	Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.	N	C	C
	Liquid petroleum service stations, not including the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons	N	P(2)	P(2)
	Liquid petroleum, CNG service stations, with the concurrent sale of beer and wine, provided the total capacity of all tanks shall not exceed 10,000 gallons.	N	C	C
	Mobilehome sales, trailer sales and rentals, recreational vehicle rentals	N	P(2)	P(2)
	Parking lots and parking structures	N	P	P
	Rental of trucks and trailers; the rental of trucks not over 19,500 pounds gross weight, with body not to exceed 22 feet in length from the back of the cab to the end of the body; and the rental of trailers not exceeding six feet in width or 22 feet in length.	N	C(2)	C(2)
	Sale, rental, repair, or demonstration of motorcycles, scooters, and motorbikes.	N	C	C
	Tire sales and service, not including recapping	N	C(2)	C(2)
	Trailer and boat storage	N	C(2)	C(2)
	Travel trailers, mobilehomes and recreational vehicles sales and service.	N	C(2)	C(2)
Truck sales and service.	N	C(2)	C(2)	
COMMERCIAL/ OFFICE/ PROFESSIONAL	Auditoriums and conference rooms	N	P	P
	Costume design studios	N	P	P
	Employment agencies	N	P	P
	Escort bureaus	N	P	P
	Interior decorating shops	N	P	P
	Mail order businesses	N	P	P
	Manufacturer's agent	N	P	P
	Offices, including business, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate Printers or publishers	N	P	P

III. SPECIFIC PLAN

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
	Radio and television broadcasting studios	N	P	P
	Recording studios	N	P	P
	Travel agencies	N	P	P
	Weight Loss clinic	N	P	P
	Auction houses	N	P	P
ENTERTAINMENT / SPORTS	Billiard and pool halls	N	P	P
	Internet café, including gaming	N	P	P
	Bowling alleys	N	P	P
	Dance halls	N	P	P
	Health club, gym, exercise facility	N	C	C
	Theaters, not including drive-ins	N	P	P
	Sports and recreational facilities, not including motor driven vehicles and riding academies, but including archery ranges, athletic playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools	N	P(2)	P(2)
FOOD SERVICE	Bars and cocktail lounges	N	P	P
	Restaurant including on-site brewery	N	P	P
	Delicatessens	N	P	P
	Restaurants and other eating establishments including drive thru/drive-in restaurants	N	P	P
INSTITUTIONAL	Adult Day care centers	P(1)	P(1)	P(1)
	Animal hospitals, Animal Day Care facilities	N	C	C
	Child Day Care Center	P(1)	P(1)	P(1)
	Churches, temples and other places of religious worship	N	P	P
	Educational institutions, public libraries, museums and art galleries not operated for compensation or profit.	N	P	P
	Schools, business and professional, including art, barber, beauty, dance drama, music and swimming	N	P	P
	Wedding chapels	N	P	P
RESIDENTIAL	Multiple family dwellings, bungalow courts and apartment houses.	P	P	N
	Home occupations.	P	P	N
	Congregate care residential facilities	C	C	N
	Boarding, rooming and lodging houses for 6 people or less that are not for the providing of substance abuse care, rehabilitation, of substance abuse care, rehabilitation or persons released from prison/jail.	P	P	N

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN No. 260 Amendment 3

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
	Temporary real estate tract/project sales and leasing offices located within an approved development, to be used only for and during the original sale or leasing of the project, but not to exceed a period of two years in any event.	P	P	N
RETAIL	Antique shops.	N	P	P
	Appliance stores, household.	N	P	P
	Art supply shops and studios.	N	P	P
	Automobile parts and supply stores.	N	P	P
	Bakery shops, including baking only when incidental to retail sales on the premises.	N	P	P
	Banks and financial institutions.	N	P	P
	Barber and beauty shops.	N	P	P
	Bicycle sales, repairs and rentals.	N	P	P
	Book stores and binders.	N	P	P
	Clothing stores.	N	P	P
	Confectionery or candy stores.	N	P	P
	Convenience stores, including the sale of motor vehicle fuel	N	C	C
	RETAIL	Convenience stores, not including the sale of motor vehicle fuel	N	P
Day Spa, Nail salon, Make-up salon		N	P	P
Department stores.		N	P	P
Drug store and pharmacy		N	P	P
Dry goods stores.		N	P	P
Electronics Hardware and Software, Electronic Gaming, Audio Visual Sales and Service		N	P	P
Feed and grain sales.		N	P	P
Fishing and casting pools.		N	P	P
Florist shops.		N	P	P
Gift shops.		N	P	P
Golf Cart sales and service		N	P	P
Grocery Store, Food markets and frozen food lockers.		N	P	P
Hardware and Home Improvement stores		N	P(2)	P(2)
Hobby shops.	N	P	P	
Ice cream shops, frozen yogurt shops..	N	P	P	

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
RETAIL	Jewelry stores with incidental repairs.	N	P	P
	Leather goods stores.	N	P	P
	Liquor stores pursuant to the provisions of City of Menifee Alcoholic Beverage Sales ordinance.	N	C	C
	Locksmith shops.	N	P	P
	Market, food, wholesale or jobber.	N	P	P
	Meat markets, not including slaughtering.	N	P	P
	Music stores.	N	P	P
	News stores.	N	P	P
	Notions or novelty stores.	N	P	P
	Nurseries and garden supply stores.	N	P(2)	P(2)
	Paint and wall paper stores, not including paint contractors.	N	P	P
	Pawn shops.	N	P	P
	Pet shops and pet supply shops.	N	P	P
	Photography shops and studios and photo engraving.	N	P	P
	Plumbing shops, not including plumbing contractors.	N	P	P
	Poultry markets, not including slaughtering or live sales.	N	P	P
	Produce markets.	N	P	P
	Refreshment kiosks.	N	P	P
	Shoe stores and repair shops.	N	P	P
	Shoeshine stands.	N	P	P
	Sporting goods stores.	N	P	P
	Stationery stores.	N	P	P
	Swap meets, Farmers Market	N	C	C
Tailor shops.	N	P	P	
Telecommunication, cellular service stores.	N	P	P	
Tobacco shops for take away sale. No water pipes sales.	N	P	P	
Toy shops.	N	P	P	
Watch repair shops.	N	P	P	
	Business machine, computer sales and rental and incidental repairs.	N	P	P

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
SERVICE	Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, computers, draperies, lamps, electronics, radios, software, and television sets, including repair thereof.	N	P	P
	Nurseries, horticulture	P(1)	P	P
	Ambulance services.	N	P	P
	Bakery goods distributors.	N	P	P
	Blueprint and duplicating services.	N	P	P
	Mini-warehouse structures.	N	C	C
	Mortuaries with onsite crematorium	N	C	C
	Catering services.	N	P	P
	Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.	N	P	P
	Cleaning and dyeing shops.	N	P	P
	Construction offices and caretaker's quarters on construction sites for the duration of a valid building permit.	N	P	P
	Equipment rental services, including rototillers, power mowers, sanders, power saws, cement and plaster mixers not exceeding ten cubic feet in capacity and other similar equipment	N	P(2)	P(2)
	Ice sales, not including ice plants.	N	P	P
	Laboratories, film, dental, medical, research or testing.	N	P	P
	Laundries and laundromats.	N	P	P
	Mortuaries, with no crematorium	N	P	P
	One on-site operator's residence, which may be located in a commercial building.	N	P	P
	Recycling collection facilities.	N	P	P
	Stained glass assembly.	N	P	P
	Taxidermist.	N	P	P
Wholesale businesses with samples on the premises, but not to include storage.	N	P	P	
SERVICE	Field crops, flower and vegetable gardening, tree crops, and greenhouses used only for purposes of propagation and culture, including the sale thereof from the premises and one unlighted sign that does not exceed two square feet in size pertaining to the sale of products.	P	P	P

**TABLE V-1
Permitted Land Uses
Planning Areas 11, 12 and 13**

USE CATEGORY	TYPICALLY PERMITTED USES	PLANNING AREA 11	PLANNING AREA 12	PLANNING AREA 13
P = Permitted (3) • C = Conditional Use Permit • N = Not Permitted				
TOURIST COMMERCIAL	Stations, bus, railroad and taxi.	N	P	P
	Hotels, resort hotels and motels.	N	P	P
	Tourist information centers.	N	P	P
ACCESSORY USES	<p>An accessory use to a permitted use is allowed provided the accessory use is incidental to, and does not alter the character of, the principal permitted use, including, but not limited to:</p> <p>1) Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and provided any such activity does not exceed any of the following restrictions:</p> <p>a. The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.</p> <p>b. The maximum total horsepower of all electric motors used in connection with such accessory use shall be five horsepower.</p> <p>2) The accessory use shall be so conducted that noise, vibration, dust, odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone.</p> <p>3) Accessory uses shall be conducted wholly within a completely enclosed building.</p>			
NOTES	1.) Requires Site Plan Approval per City of Menifee Zoning Code by the Planning Commission			
	2.) Permitted, together with screened outside storage and display of materials appurtenant to such use			
	3.) Screened Outdoor Storage is limited to 200 SF			

**TABLE V-2
Building Standards and Setbacks
Planning Area 11**

DEVELOPMENT STANDARD	PLANNING AREA 11 REQUIREMENT
Maximum Building Height	3 Stories / 45 Feet
Building Setbacks	
Front Yard – (Palomar Road, Junipero Road)	25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.
Side Yard and Interior Setbacks	Minimum distance between buildings shall be as required in the California Building Code, latest edition
Rear Yard	10 Feet
Building Setbacks from Surface Parking and Driving Aisles	10 Feet
Required Parking	Parking shall be provided as required by City Standards
Maximum Density	24 DU/Acre
Landscape Coverage	15% – Landscape Coverage will include all areas within the subject parcel as well as the area from the adjacent street curb to the Right of Way (ROW) / Property Line that is required to be designed, installed and maintained by the development.
Private Open Space / Dwelling (Deck or Patio)	10% of the Living Space with a maximum required of 100 SF

12. PLANNING AREA 12: GENERAL RETAIL AND COMMERCIAL AND HIGH DENSITY RESIDENTIAL BUSINESS-PARK

A. Descriptive Summary

Planning Area 12, as depicted in Figure III-14.12, provides for development of approximately 17.92 acres devoted to **General Retail / Commercial** uses and **High Density Residential** uses, integrated horizontally with corresponding buffer areas. The uses and development standards of the General Retail / Commercial uses will be the same as those in neighboring Planning Area 13. The uses and development standards of the multi-family residential areas will be the same as those in neighboring Planning Area 11. The purpose of this Planning Area is to provide flexibility between the commercial planning areas to the south, and the multi-family residential to the north.

The ultimate use configuration of this Planning Area will be determined by development applications in the neighboring Planning Areas. The first application submitted for either Planning Area 11 or 13 may encroach onto Planning Area 12. Once a development application is submitted in either neighboring Planning Area (11 or 13), the uses will then be generally determined for the remainder of Planning Area 12.

It is the intention that the Planning Area 12 west of Junipero Road will eventually be melded into either Planning Areas 11 or 13 and will no longer be an individual Planning Area. For the portion of Planning Area 12 that is east of Junipero Road, the designation of Planning Area 12 may continue, although it will be reconfigured based upon the development of Planning Area 13 east of Junipero Road and the amount of Planning Area 12 that is included in that development.

B. Development Standards

1. Permitted Uses

Refer to Table V-1 for the list of Allowable Uses. Any use that is not specifically listed within Table V-1 may be considered a permitted or conditionally permitted use provided that the Community Development Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls.

2. General Development Standards.

Refer to Table V-3 for the list of Development Standards.

3. Landscape Standards

Refer to Table V-3 for the required Landscape Coverage Standards.

C. Planning Standards

1. Primary access to Planning Area 12 shall be provided from Junipero Road.
2. A minor intersection statement shall be developed at the intersection of Highway 74 and Junipero Road, as shown on Figure IV-4.
4. Roadway landscape treatments, as illustrated in Figures IV-15 and 18, are planned along Highway 74, Palomar Road and Junipero Road, respectively.
5. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 500 feet.
6. A Southern California Edison easement is located within the property boundary for Planning Area 12. The existing SCE easement is being included within Planning Areas 12 and 13 in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in density calculations, required landscape and open space areas, retention and detention basins, circulation, and for passive recreation uses.
7. In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County City of Menifee Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, how the Planning Areas will be reconfigured, and to ensure proper design and layout of the circulation, parking, and street access.
8. Please refer to Residential Design guidelines (Section IV.F) and Commercial Design Guidelines (Section IV.G) for design-related criteria.
9. Please refer to Section III for the Development Plans and Standards that apply site-wide:
 - III.A.1: Specific Land Use Plan
 - III.A.2: Circulation Plan
 - III.A.3: Drainage Plan
 - III.A.4: Water and Sewer Plans
 - III.A.5: Open Space and Recreation Plan
 - III.A.6: Grading Plan
 - III.A.7: Landscaping Plan
 - III.A.8: Public Facilities Phasing Plan
 - III.A.9: Phasing Plan

**TABLE V-3
Building Standards and Setbacks
Planning Area 12**

DEVELOPMENT STANDARD	PLANNING AREA 12 COMMERCIAL REQUIREMENTS	PLANNING AREA 12 RESIDENTIAL REQUIREMENTS
Maximum Building or Structure Height	50 Feet	3 Stories / 45 Feet
Building Setbacks		
Front Yard – (Palomar Road, Junipero Road)	20 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.	25 Feet – Front setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Table IIA.
Rear Yard	The rear setback shall be measured from the rear lot line. Buildings shall be set back a minimum of 20 feet from the rear lot line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.	10 Feet
Side (Palomar Road and Junipero Road) and Interior Setbacks	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Figure IIA. Any portion of a building which exceeds 35 feet in height shall be set back an additional one foot for each foot by which the height exceeds 35 feet	10 Feet
Distance Between Buildings	Minimum distance between buildings shall be as required in the California Building Code, latest edition	Minimum distance between buildings shall be as required in the California Building Code, latest edition
Building Setbacks from Surface Parking and Drive Alstes	5 Feet	10 Feet
Minimum Lot Area	There is no Minimum Lot Area Required	-
Lot Coverage	-	In no case shall more than 60 per cent of any lot be covered by buildings, not including freestanding garage buildings and carports
Landscape Coverage	15% – Landscape Coverage will include all areas within the subject parcel as well as the area from the adjacent street curb to the Right of Way (ROW) / Property Line that is required to be designed, installed and maintained by the development.	15% – Landscape Coverage will include all areas within the subject parcel as well as the area from the adjacent street curb to the Right of Way (ROW) / Property Line that is required to be designed, installed and maintained by the development.
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis	Parking shall be provided as required by City Standards
Maximum Density	-	24 DU/ Gross Acre
Private Open Space / Dwelling (Deck or Patio)	-	10% of the Living Space with a maximum required of 100 SF

13. PLANNING AREA 13: GENERAL RETAIL AND COMMERCIAL BUSINESS PARK

A. Descriptive Summary

Planning Area 13, as depicted in Figure III-14.13, provides for development of approximately 15.79 acres devoted to ~~Commercial Business Park~~ **General Retail and Commercial** uses. Development of Planning Area 13 may encroach into Planning Area 12. At that time, the parcels within Planning Area 12 that are included in the Planning Area 13 development will be transferred to Planning Area 13 and subject to all standards of Planning Area 13.

B. Development Standards

1. Permitted Uses

Refer to Table V-1 for the list of Allowable Uses. Any use that is not specifically listed within Table V-1 may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process, which governs the category in which it falls.

2. General Development Standards.

Refer to Table V-4 for the list of Development Standards.

3. Landscape Standards

Refer to Table V-4 for the required Landscape Coverage Standards.

C. Planning Standards

1. Primary access to Planning Area 13 shall be provided from Highway 74 (as approved by CalTrans), Palomar Road and Junipero Road.
2. A project entry/intersection statement shall be developed at the intersection of Highway 74 and Palomar Road, as shown on Figure IV-3.
3. A minor intersection statement shall be developed at the intersection of Highway 74 and Junipero Road, as shown on Figure IV-4.
4. Roadway landscape treatments, as illustrated in Figures IV-15 and 18, are planned along Highway 74, Palomar Road and Junipero Road, respectively.
5. All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum sight distance of 500 feet.

6. A Southern California Edison easement is located within the property boundary for Planning Area 13. The existing SCE easement is being included within Planning Areas 13 in this amendment. Development will have to conform with all applicable SCE easement restrictions. However, the easement area shall be allowed to be used in density calculations, required landscape and open space areas, retention and detention basins, circulation, and for passive recreation uses.

7. In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the ~~Riverside County~~ City of Menifee Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, how the Planning Areas will be reconfigured, and to ensure proper design and layout of the circulation, parking, and street access.

8. Please refer to Commercial Design Guidelines (Section IV.G) for design-related criteria.

9. Please refer to Section III for the Development Plans and Standards that apply site-wide.

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan
- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

**TABLE V-4
Building Standards and Setbacks
Planning Area 13**

DEVELOPMENT STANDARD	PLANNING AREA 13 REQUIREMENT
Maximum Building or Structure Height	50 Feet
Building Setbacks	
Front Yard (Highway 74)	There are no front yard requirements for buildings which do not exceed 35 feet in height. Any portion of a building which exceeds 35 feet in height shall be set back from the front lot lines not less than one foot for each foot by which the height exceeds 35 feet. The front setback shall be measured from the existing street line (ROW).
To Adjacent Planning Area (PA)	The setback shall be measured from the PA line. Buildings shall be set back a minimum of 20 feet from the PA line. For any portion of a building which exceeds 35 feet in height that portion of the building shall be set back an additional one foot for each foot by which the height exceeds 35 feet.
Side (Palomar Road and Junipero Road)	Side setbacks (Palomar Road and Junipero Road) shall be a minimum of 25 feet for a building 35 feet or less in height. Each side setback shall be measured from the Curb Line of the ultimate street width as depicted on the Circulation Plan, Figure III-2A. Any portion of a building which exceeds 35 feet in height shall be set back an additional two feet for each foot by which the height exceeds 35 feet.
Distance Between Buildings	Minimum distance between buildings shall be as required in the California Building Code, latest edition.
Building Setbacks from Surface Parking	5 Feet of Landscape Required
Minimum Lot Area	There is no Minimum Lot Area Required
Landscape Coverage	15% - Landscape Coverage will include all areas within the subject parcel as well as the area from the adjacent street curb to the Right of Way (ROW) / Property Line that is required to be designed, installed and maintained by the development.
Required Parking	Parking shall be provided as required by City Standards or per the requirements of a City approved Shared Parking Analysis.

14. PLANNING AREA 14: COMMERCIAL

A. Descriptive Summary

Planning Area 14, as depicted in Figure III-14.14, provides for development of ~~±2.4~~ 9.18 acres devoted to Commercial uses.

B. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

C. Planning Standards

- 1) Primary access to Planning Area 14 shall be provided from Highway 74 (as approved by CalTrans) and Menifee Road.
- 2) A community entry/intersection statement shall be developed at the intersection of Highway 74 and Menifee Road, as shown on Figure IV-2.
- 3) A special landscape treatment, as depicted on Figure IV-12, shall be established between the commercial uses in Planning Area 14 and the adjacent residential uses to the north.
- 4) Roadway landscape treatments, as illustrated in Figures IV-15 and 16, shall be established along Highway 74 and Menifee Road, respectively.
- 5) ~~A Southern California Edison easement forms the western boundary of Planning Area 14. All development applications filed for this planning area must conform with all applicable SCE easement restrictions.~~
- 6) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the ~~Riverside County~~ City of Menifee Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:
 - III.A.1: Specific Land Use Plan
 - III.A.2: Circulation Plan
 - III.A.3: Drainage Plan
 - III.A.4: Water and Sewer Plans
 - III.A.5: Open Space and Recreation Plan
 - III.A.6: Grading Plan
 - III.A.7: Landscaping Plan
 - III.A.8: Public Facilities Phasing Plan
 - III.A.9: Phasing Plan

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC at the Riverside address listed here before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Thursday, November 28 (Thanksgiving), and by appointment on Fridays (except November 29) from 8:30 a.m. to 5:00 p.m.

PLACE OF HEARING: La Quinta Council Chambers
 78-495 Calle Tampico
 La Quinta, California 92253

DATE OF HEARING: December 12, 2013

TIME OF HEARING: 10:00 A.M.

CASE DESCRIPTION:

ZAP1091MA13 – Southwest Land Consultants, for Romola General/Rimrock Trust (Representative: Sean Harrison). - City of Menifee Case No. 2010-090 - Menifee North Specific Plan No. 260, Amendment No. 3 "Palomar Crossing." The Specific Plan Amendment proposes to amend the size, boundaries, and primary land uses permitted within Planning Areas 11,12,13, and 14, which together comprise 63.06 acres located adjacent to and northerly of State Highway Route 74, easterly of Palomar Road, and westerly of Menifee Road, both easterly and westerly of Junipero Road and the SCE easement. The existing Plan excludes the SCE easement and provides for 23 acres of Business Park uses in Planning Areas 11 and 12, 17.6 acres of Commercial/Business Park in Planning Area 13, and 12.4 acres of Commercial in Planning Area 14. The proposed Plan includes the SCE easement and provides for 20.17 acres of High Density Residential in Planning Area 11, 17.92 acres of High Density Residential and/or General Retail and Commercial in Planning Area 12, 15.79 acres of General Retail and Commercial in Planning Area 13, and 9.18 acres of Commercial in Planning Area 14. (Area III of the March Air Reserve Base Airport Influence Area).

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Lisa Gordon of the City of Menifee Planning Department, at (951) 639-1368, ext. 120.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1091MA13

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 10/30/13
 Property Owner Romolano General / Rimrock Trust Phone Number 619-922-0400
 Mailing Address 1330 Rimrock Drive
Riverside, CA 92570

Agent (if any) Sean Harrison (Southwest Land Consultants) Phone Number 619-922-0400
 Mailing Address 4616 Vista St
San Diego, CA 92116

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address _____
 Assessor's Parcel No. 829-100-025, 027, 030, 031, 032 Parcel Size 53.88 acres
8290902025, 026, 069, 070, 071, 072
 Subdivision Name _____ Zoning Classification Specific Plan
 Lot Number _____

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Planning Area #11 + #12 - Business Park
Planning Area #13 - Commercial / Business Park
Planning Area #14 - Commercial

Proposed Land Use (describe) Planning Area #1 - Multi Family House
Planning Area #2 - Mixed Use
Planning Area #13 + #14 = Commercial Retail

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 914
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) 630 60 ft ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site _____ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

REFERRING AGENCY (TO BE COMPLETED BY AGENCY STAFF)

Date Received	_____	Type of Project	
Agency Name	<u>City of Menifee</u>	<input type="checkbox"/> General Plan Amendment	
Staff Contact	<u>Lisa Gordon</u>	<input type="checkbox"/> Zoning Amendment or Variance	
Phone Number	<u>_____</u>	<input type="checkbox"/> Subdivision Approval	
Agency's Project No.	<u>SPA 260 # 3</u> <u>2010-090</u>	<input type="checkbox"/> Use Permit	
		<input type="checkbox"/> Public Facility	
		<input type="checkbox"/> Other	

ALUC REVIEW (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

Application Receipt	Date Received _____	By _____
	Is Application Complete? <input type="checkbox"/> Yes <input type="checkbox"/> No	
	If No, cite reasons _____	

Airport(s) Nearby	_____							
Primary Criteria Review	Compatibility Zone(s)	<input type="checkbox"/> A	<input type="checkbox"/> B1	<input type="checkbox"/> B2	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> Ht.
	Allowable (not prohibited) Use?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Density/Intensity Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Open Land Requirement Met?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Height Acceptable?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				
	Easement/Deed Notice Provided?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	_____				

Special Conditions	Describe: _____
--------------------	-----------------

Supplemental Criteria Review	Noise	_____
	Safety	_____
	Airspace Protection	_____
	Overflight	_____

ACTIONS TAKEN (TO BE COMPLETED BY ALUC EXECUTIVE DIRECTOR)

ALUC Executive Director's Action	<input type="checkbox"/> Approve	Date _____
	<input type="checkbox"/> Refer to ALUC	

ALUC Action	<input type="checkbox"/> Consistent	Date _____
	<input type="checkbox"/> Consistent with Conditions (list conditions/attach additional pages if needed)	

	<input type="checkbox"/> Inconsistent (list reasons/attach additional pages if needed)	

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

- 4.1 Contract with City of Banning: Amendment to Zone D Nonresidential Criteria. ALUC staff has been approached by the City of Banning whereby the City will provide funding in an amount up to \$25,000 to cover the cost of preparing an amendment to nonresidential compatibility criteria applicable within Airport Compatibility Zone D of the Banning Municipal Airport Land Use Compatibility Plan. A new Banning Municipal Airport plan has been in the upper tier of potential plans for consideration pursuant to ALUC's Strategic Vision Plan for a few years, but with funding for the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan and the new Hemet-Ryan Airport Land Use Compatibility Plan having been secured and the projects underway, staff is concentrating on those efforts in the current fiscal year.

In a meeting with the City's Public Works Director and Community Development Director, those officials advised ALUC staff that the City would like to move forward with an amendment to Zone D now, rather than wait until a subsequent fiscal year (where Banning is programmed and staff time is available.) To accelerate this work, it was agreed that the City would have to fund the cost of the amendment.

- 4.2 Thermal Motorsports Site Visit. Following the Commission meeting, a site visit to the Thermal Motorsports facility will take place.