



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon Street, 1st Floor Hearing Room  
Riverside, California

Thursday 9:00 A.M., August 13, 2015

**CHAIR**  
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Rancho Mirage

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NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

## 2.0 PUBLIC HEARING: CONTINUED ITEM

### **FRENCH VALLEY AIRPORT**

2.1 ZAP1062FV15 – DMSD Property, LLC (Representative: Scott Barone, Senergy, Inc.) - County of Riverside Case No.: PP25793 (Plot Plan). A proposal to establish a 4,565 square foot dine-in restaurant (Denny's) and a 2,975 square foot fast food restaurant (El Pollo Loco) with drive-through on two contiguous properties (Assessor's Parcel Numbers 963-060-070 and 963-060-071) with a combined net area of 2.06 acres (2.11 gross acres) located along the easterly side of Winchester Road (State Highway Route 79), southerly of Benton Road, northerly of Magdas Coloradas Street, and westerly of an existing Farmer Boys restaurant in the unincorporated community of French Valley. (Airport Compatibility Zone B1 of the French Valley Airport Influence Area). Continued from June 11 and July 9, 2015. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Recommendation: INCONSISTENT

**3.0 PUBLIC HEARING: CONSENT CALENDAR****MARCH AIR RESERVE BASE**

- 3.1 ZAP1126MA15 – Integrated Real Estate Services, LLC/Operating Engineers Trust Fund (Representative: Deirdre McCollister, MIG Hogle-Ireland) – City of Riverside Case Nos: P13-0956 (General Plan Amendment), P13-0959 (Specific Plan Amendment), P13-0964 (Design Review), P13-0965 (Conditional Use Permit), P13-0966 (Variance), and P13-0963 (Tentative Parcel Map No. 36638). The applicant proposes to construct three industrial warehouse buildings with a total floor area of 1,461,449 square feet on 72.5 acres located southerly of Palmyrite Avenue and easterly of Michigan Avenue. The largest of these buildings would have a floor area of 1,000,620 square feet, requiring a Conditional Use Permit, and a height of 56 feet, requiring a Variance. The other two buildings are proposed through the Design Review case. Implementation of this proposal requires amendments to the exhibits in the Hunter Business Park Specific Plan (Figures II-4, II-6, II-9, and II-12 relating to Proposed Circulation, Pedestrian Network, Storm Drain Concept, and Open Space Concept) to reflect deletion of the “Columbia Loop” – the segment of Columbia Avenue extending easterly from Michigan Avenue and northerly to Palmyrita Avenue. The text of the Specific Plan would also be amended to require a striped Class 2 bike lane along the east side of Michigan Avenue. The City of Riverside General Plan would also be amended to reflect these changes. Tentative Parcel Map No. 36638 would divide the 72.5-acre site into three parcels, so that each building would be on a separate lot. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: CONSISTENT

- 3.2 ZAP1132MA15 – Core States Group for McDonald’s USA, LLC and Phelan Development Company/Iowa Spruce SR/JP, LLC (Representatives: Andrew Rappe and Adrienne Cord) – City of Riverside Case Nos. P15-0189 (Specific Plan Amendment), P15-0188 (Conditional Use Permit), and P15-0263 (Tentative Parcel Map No. 35889). The applicant proposes to establish and operate a 4,322 square foot McDonald’s restaurant with drive-thru on 1.21 acres of a 3.11-acre parcel (Assessor’s Parcel Number 249-140-029) partially developed with a building utilized as a Habitat for Humanity office located at the northeast corner of Iowa Avenue and Spruce Street in the City of Riverside. The Specific Plan Amendment is a proposal to amend the list of permissible land uses within the Business Support Retail Overlay District of the Hunter Business Park Specific Plan (Section III. F.) so as to allow for restaurants with drive-thru, with approval of a Conditional Use Permit. The Conditional Use Permit is a proposal to allow the specific drive-thru facility on this site. The Parcel Map is a proposal to divide the 3.11-acre parcel into two lots, so that the existing building and the proposed building will be on separate legal lots. (Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: CONSISTENT

**MARCH AIR RESERVE BASE**

- 3.3 ZAP1134MA15 – Emperor North/Stone Star Riverside, LLC (Representative: Frank Artiga, ACS Consulting, Inc.) – County Case Nos. SP 00260S1 (Substantial Conformance [Request] No. 1 to Specific Plan No. 260), CZ 07870 (Change of Zone), TR 31500 (Tentative Tract Map). The applicant proposes to adjust the boundaries between Planning Areas (PAs) 32 and 33B of Specific Plan No. 260 (Menifee North). The total number of dwelling units in the two Planning Areas would remain at 206, with the number in PA32 increasing from 98 to 152 and the number in PA33B decreasing from 108 to 54. The total acreage would increase from 42.5 to 45.7 acres, with overall density remaining within the 2-5 dwelling unit per acre range, as a result of a reduction of 3.2 acres in areas reserved for major community roadways. Additionally, the titles of the land use designations of the portions of the Specific Plan still within the unincorporated area would be amended to reflect County General Plan land use designations, and the curved roadway segment extending southerly and westerly from the intersection of State Highway Route 74 with Sultanas Road to the intersection of Emperor Road with McLaughlin Road would be renamed Norma Jean Road. Tentative Tract Map No. 31500 would subdivide 46.5 net acres located easterly of Emperor Road, northerly and westerly of Norma Jean Road, into 206 single-family residential lots, plus 13 other lots for drainage, water quality and inlet basins, trail, open space, and landscape features. CZ 07870 would amend the site's Specific Plan zoning maps to reflect the proposed adjustment in Planning Area boundaries. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

**4.0 PUBLIC HEARING: NEW ITEMS****MARCH AIR RESERVE BASE**

- 4.1 ZAP1127MA15 – Level 3 Communications/VYVX, LLC, c/o Robert DiOrto/Allen Holdings (Representative: Nicole Torstvet, Albert A. Webb and Associates) – County of Riverside Case Nos. CZ07868 (Change of Zone) and CUP 03726 (Conditional Use Permit). CUP03726 is a proposal to construct and operate eleven (11) additional satellite communications antennae and all other necessary and related supporting equipment within an existing satellite communications center on 4.7 acres of a 31.3-acre site located westerly of a southerly extension of Gilmer Road, southerly of a westerly extension of Olympia Avenue, easterly of a southerly extension of Reiss Road, and northerly of the City of Lake Elsinore boundaries, on Assessor's Parcel Numbers 343-040-012 and 343-040-013. The site has an address of 19993 Santa Rosa Mine Road, Perris, CA 92570. One antenna will have a height of 53 feet, seven will have heights of 30 feet, and 3 will have heights of 16 feet. CZ07868 is a proposal to change the zoning on those properties from R-A-5 (Residential Agricultural, 5 acre minimum lot size) to A-1-5 (Light Agriculture, 5 acre minimum lot size). (Airport Compatibility Zone E/High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT (Change of Zone); CONDITIONAL CONSISTENCY (Conditional Use Permit)

**MARCH AIR RESERVE BASE**

- 4.2 ZAP1129MA15 – JM Realty/LNR Riverside LLC (Representative: Adam Corral, Kimley-Horn and Associates) – March Joint Powers Authority Case Nos.: PP15-01 (Plot Plan) and VAR 15-01 (Variance). The applicant proposes to construct two industrial warehouse buildings with a total floor area of 192,468 square feet on 9.9 acres located along the easterly side of Opportunity Way, northerly of Van Buren Boulevard and westerly of Interstate 215 within the land use jurisdiction of the March Joint Powers Authority. The southerly building will have a floor area of 99,743 square feet, and the northerly building will have a floor area of 92,725 square feet. Each building will include 6,000 square feet of first floor office space and 3,600 square feet of second floor office space. The Variance is required in that the building heights at 38 feet above ground level exceed both the Specific Plan standard of 35 feet (Table III-2 of Specific Plan No. 5) and the rear yard setback. (A Variance would not have been required had all setbacks been at least 38 feet.) (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area, within the March Business Center/Meridian Exception Site 1). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

- 4.3 ZAP1130MA15 – Investment Building Group/56 Sycamore Partnership, L.P. (Representative: Brian Bargemann) – City of Riverside Case No. P14-0517 (Design Review). The applicant proposes to construct a 311,977 square foot industrial high-cube warehouse building (including 10,400 square feet of first floor office space and 10,400 square feet of second floor office space) on 30.21 acres located along the westerly side of Sycamore Canyon Boulevard, northerly of its intersection with Cottonwood Avenue (to wit, on Assessor's Parcel Number 263-050-074), in the City of Riverside. (Airport Compatibility Zone B1-APZ II of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

- 4.4 ZAP1133MA15 – Nuevo Meadows Land Company, LLC (Representative: Beau Cooper, United Engineering Group, Inc.) – County of Riverside Case Nos. CZ 07804 (Change of Zone), TR 36635 (Tentative Tract Map), and PM 36895 (Tentative Parcel Map). CZ 07804 is a proposal to change the zoning of 78.95 acres located northerly of San Jacinto Avenue, westerly of Pico Avenue, southeasterly of Ski Land Lake, and southwesterly of the intersection of Pico Avenue and Central Avenue from R-R (Rural Residential) to R-4 (Planned Residential). The change of zone would apply to Assessor's Parcel Numbers 309-020-005 and 309-020-036, -037, -038, and -039. TR 36635 is a proposal to subdivide the site into 283 single-family residential lots with a minimum lot size of 4,000 square feet (plus 4 lots for water quality basins, 9 for landscape features, a community playground, and trail, and a 15.75-acre area to be maintained by the Regional Conservation Authority as permanent open space.) PM 36895 is a proposal to divide the same site into three parcels (each at least 20 acres in size) for phasing and/or financing purposes. (Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: CONSISTENT

**CHINO AIRPORT**

- 4.5 ZAP1022CH15 – SC Limonite, LLC/Stratham Homes (Representative: Pat Potts) - City of Eastvale Case No. 14-1398 (Portion): Tentative Tract Map (TTM) No. 36775 (Revised) and Master Development Plan (Amended). This project, known as the Sendero Planned Residential Development, provides for development of 312 detached condominium dwellings. ALUC found the design consistent, but Southern California Edison (SCE) and the City of Eastvale objected to utilization of the SCE easement bisecting the property and the use of perimeter public roadways, respectively, toward meeting ALUC's open area requirements. Therefore, the applicant has prepared a revised open area exhibit not relying on either the easement or public roads to meet the minimum requirements. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

**FRENCH VALLEY AIRPORT**

- 4.6 ZAP1064FV15 – Murrieta KLC Holdings 130, LLC – (Representative: Larry Markham/MDMG, Inc.) – City of Murrieta Case Nos.: General Plan Amendment (GPA) 2014-290; Zone Change (ZC) 2014-289; Specific Plan (SP) 2015-615; Development Plan (DP) 2015-616; Tentative Tract Map 36779/TTM 2015-518; Tentative Parcel Map 36733/TPM 2014-410. The applicant proposes to develop a 287-unit planned residential development within 36.77 acres of a 122.31-acre parcel (to wit, Assessor's Parcel No. 963-070-051) located westerly of Winchester Road, northerly of its intersection with Auld Road/Via Mira Mosa and southerly of its intersection with Benton Road, and easterly of a straight-line southerly extension of Liberty Road, in the City of Murrieta. Tentative Parcel Map No. 36733 is a proposal to divide the entire 122.31-acre parcel into four parcels, plus two lettered lots and a remainder. Pursuant to Zone Change ZC 2014-289, Parcel 1 (36.51 acres) would be zoned SFR-2, Parcels 2-4 along Winchester Road (16.61 acres) would be zoned Business Park, and the remainder parcel (64.82 acres) would be zoned Parks/Open Space. GPA 2014-290 would amend the site's land use designation from Large Lot Residential and Business Park to Parks/Open Space, Single Family Residential, and Business Park. Specific Plan No. 2015-615 ("Adobe Springs") proposes development of 287 detached single-family residences on small lots within a 36.2-acre area, 16.4 acres of Business Park uses, and 64.8 acres of open space for conservation. (Airport Compatibility Zones B2, C, and D of the French Valley Airport Influence Area). ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

Staff Recommendation: CONTINUE to 9-10-15

**5.0 ADMINISTRATIVE ITEMS****5.1 Director's Approvals**

5.2 Resolution No. 2015-01 Authorizing the ALUC Director to Take Action on Legislative Items in Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

5.3 Specific Delegation of Authority: Change of Zone Case No. 7843

5.4 December 2015 ALUC Meeting Location

6.0 **APPROVAL OF MINUTES**

6.1 July 9, 2015

7.0 **ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

8.0 **COMMISSIONER'S COMMENTS**

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.12.5

**HEARING DATE:** August 13, 2015~~July 9, 2015~~ (continued from June 11, 2015 and July 9, 2015)

**CASE NUMBER:** ZAP1062FV15 – DMSD Property LLC (Representative: Senergy Inc – Scott Barone)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** PP25793 (Plot Plan)

**MAJOR ISSUES:** Restaurants are not considered to be “generally compatible” within Airport Compatibility Zone B1 unless they meet the specified intensity criteria of the zone. Within the French Valley Airport Influence Area, these criteria specify a maximum average intensity of 40 persons per acre and a maximum single-acre intensity of 80 persons (in the absence of bonuses). The proposed fast food restaurant (El Pollo Loco) and full service restaurant (Denny’s) exceed both the average and single-acre intensity criteria for Zone B1 based on the Building Code Method. The project would also be inconsistent with the average intensity criteria utilizing the parking space method. The project would not qualify for consideration as Infill pursuant to Countywide Policy 3.3.1 since this Policy is not applicable to Compatibility Zone B1. Even if it were, less than 65% of the project’s perimeter is bordered by developed area. There are, however, some intensive uses in the vicinity, including a shopping center, an existing fast food restaurant, an industrial building, and a fraternal lodge that serves as the interim meeting place for a church.

*At the June 11, 2015 ALUC hearing, the project was continued to allow the applicant an opportunity to commission an empirical study of the number of persons at existing Denny’s and El Pollo Loco restaurants in order to determine whether actual peak usage is considerably lower than the seating capacity. The Commission noted that they had no data that would support the applicant’s assertion to this effect and would otherwise have to uphold staff’s recommendation of inconsistency based on the available information provided to staff. ~~At the time of writing of this staff report (June 23), the applicant is pursuing this effort, but no new information is available at this time. Potentially, such information may be available for consideration by the Commission at its July 9 hearing.~~*

*At the July 9<sup>th</sup> public hearing, information was provided on customer counts at Denny’s and El Pollo Loco based on available information from actual Denny’s and El Pollo Loco establishments. The information for Denny’s (from a Santee location) was missing employee counts and the information from El Pollo Loco appeared to be for number of orders and not*

customers.

The applicant has provided some clarification on these counts as requested by staff. The counts indicate that a maximum of 63 customers in Denny's and 33 customers in El Pollo Loco would be expected and pursuant to the site plan 8 employees for Denny's and 6 employees for El Pollo Loco would be expected for a total site occupancy of 110. This would result in an average intensity of 29 people per acre, which would be consistent with the average acre criterion of 40.

The maximum single-acre area would include the Denny's and approximately 1/3 of the El Pollo Loco. This would result in an occupancy of 84 people (63 Denny's customers, 8 Denny's employees and 1/3 of 33 El Pollo Loco customers and 1/3 of 6 El Pollo Loco employees), which would not be consistent with the single-acre criterion of 80. The applicant also provided revised employee counts for Denny's and El Pollo Loco of 6 and 5, respectively. This would adjust the single-acre intensity to 82. However, given that the peak hours for these uses differ, during the maximum joint peak hour (11 a.m. to 12 p.m.) and assuming 1/3 of the El Pollo Loco occupancy in the single acre, the maximum single-acre intensity would be 75, which would be consistent with the single-acre criterion. Although this would be consistent with the single-acre criterion, it is based on an hour by hour occupancy of specific tenants analyzed and since in the long term restaurant tenants may turnover and their hour by hour occupancies may change, staff cannot fully rely on this analysis as a basis to recommend Consistency. However, the Commission may wish to consider the hour by hour analysis and potential for findings under Countywide Policy 3.3.6.

**RECOMMENDATION:** Staff must recommend a finding of **INCONSISTENCY** for the plot plan, based on the proposed project exceeding both average and single-acre non-residential intensity criteria for Compatibility Zone B1, unless the Commission is willing to make special circumstance findings pursuant to Countywide Policy 3.3.6 based on the project's location and proximity to similarly intense uses.

~~Staff recommends **CONTINUANCE WITHOUT DISCUSSION** to the August 13<sup>th</sup> ALUC hearing to allow additional time or the completion of the empirical study. However, if the study is prepared and presented to ALUC staff prior to the July 9<sup>th</sup> ALUC hearing, staff may update its recommendation at the hearing depending on the results of the study. Based on the information available today (June 23), if the applicant were to insist on a determination on July 9, staff would continue to recommend a finding of inconsistency.~~

Staff must recommend a finding of **INCONSISTENCY** for the plot plan, based on the proposed project exceeding single-acre non-residential intensity criteria for Compatibility Zone B1, unless the Commission is willing to accept the applicant's estimates for occupancy relative to differing peak customer counts of the Denny's and the El Pollo Loco or make special circumstance findings pursuant to Countywide Policy 3.3.6 based on the project's location.

**PROJECT DESCRIPTION:** PP25793 is a proposal to develop a 4,565 square foot restaurant (Denny's) and 2,975 square foot fast food restaurant (El Pollo Loco) on 2.11 approximately 3.37 gross acres (including half-widths of adjacent rights-of-way) on two parcels.



**PROJECT LOCATION:** The site is located at the southeast corner of Benton Road and Winchester Road/State Highway 79, in the unincorporated community of French Valley, approximately 3,100 feet northerly of the northerly terminus of Runway 18-36 at French Valley Airport.

**LAND USE PLAN:** 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Zone B1
- c. Noise Levels: Approximately 60 CNEL

**BACKGROUND:**

Non-Residential Average Intensity: Compatibility Zone B1 limits average intensity to 40 people per acre. Based on the site plan and floor plans provided for the project, a 2,975 square foot fast food restaurant and a 4,565 square foot full service 24-hour restaurant are proposed. The fast food restaurant (El Pollo Loco) would include 1,040 square feet of serving/dining area, 575 square feet of kitchen area, 73 square feet of office area, 114 square feet of storage area, and 264 square feet of waiting area. The full service restaurant (Denny's) would include 1,757 square feet of serving/dining area, 1,145 square feet of kitchen area, 132 square feet of office area, 220 square feet of storage area, and 200 square feet of waiting area. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the intensity of serving/dining areas is one person per 15 square feet, the intensity of commercial kitchen areas is one person per 200 square feet, the intensity of office areas is one person per 200 square feet (with 50% reduction), the intensity of storage areas is one person per 300 square feet, and the intensity of waiting areas is one person per 100 square feet for fast food restaurants and one person per 15 square feet for standard restaurants.

Based on the areas for each use and the occupancy assumptions for each use, El Pollo Loco would accommodate an occupancy of 76 people and Denny's would accommodate an occupancy of 138 people. (The floor plans actually indicate slightly higher maximum occupancies of 81 and 146, respectively.) The El Pollo Loco has a drive thru with a queue for 10 vehicles. Assuming 1.5 persons per vehicle would add 15 people in the drive thru. The El Pollo Loco also has an outdoor seating area with a total of 16 seats. The building occupancy, drive-thru, and outdoor seating would result in a total site occupancy of 245 people. Based on the gross area of the site (~~2.11 acres~~ **3.37 acres as estimated by GIS**), this occupancy level would result in an average acre intensity of ~~11673~~ **73** people, which would be inconsistent with the Zone B1 average acre intensity criterion of 40 people. Even if just the building occupancies were considered (214), this would result in an average acre intensity of ~~10164~~ **64** people, which would also be inconsistent.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the number of parking spaces provided

(97 spaces) and drive-thru queue (10 spaces), the total occupancy would be estimated at 160.5 people for an average acre intensity of approximately 7648, which is inconsistent with the Compatibility Zone B1 average acre intensity criterion.

Pursuant to French Valley Airport Land Use Compatibility Plan Additional Compatibility Policy 2.3.(a).2, a project within Zone B1 that provides at least 35% open area (an area with minimum dimensions of 75 feet by 300 feet clear of any obstructions greater than four feet in height and greater than four inches in diameter) shall be allowed to have an average up to 45 people per acre. Based on the site plan provided with the building and parking lot lighting fixtures as shown, no areas on the project site would qualify as open area. Therefore, an increased average intensity allowance based on open area provision would not be justified.

**At the July 9<sup>th</sup> public hearing, information was provided on the estimated occupancy of Denny's and El Pollo Loco based on available information from actual Denny's and El Pollo Loco establishments. The information for Denny's did not include employee counts and the information from El Pollo Loco appeared to be for number of orders and not customers (noted as "checks"). This information was requested to be clarified or other survey provided to be able to be reliable for Commission consideration. The applicant has clarified that the El Pollo Loco data does indeed represent the number of customers. The applicant has also noted that a maximum of 6 employees for Denny's and 5 for El Pollo Loco would be anticipated. However, the site plan provided did note 8 employees for Denny's and 6 for El Pollo Loco, which is utilized by staff as a worst-case assumption. While the applicant did not perform an in/out door count of people at the facility, staff believes that the above information provided may be sufficient for the Commission to make a decision on the project.**

**This information provided indicated a maximum occupancy for Denny's of 63 customers on both Saturday and Sunday mornings and for El Pollo Loco of 33 customers. Adding 14 employees provides a total of 110, for an average acre intensity of approximately 33, which is consistent with the Compatibility Zone B1 average acre intensity criterion. Additionally, the times of days when the peak customer occupancy occurs for Denny's and El Pollo Loco differ. Looking at the hour by hour occupancy for both, the maximum combined peak occupancy of 92 people (78 customers and 14 employees) would occur between 11 a.m. and noon on a weekend morning. This would result in an average intensity of 27, which would be consistent with the Compatibility Zone B1 average acre intensity criterion.**

Non-Residential Single-Acre Intensity: Single-acre intensity limits have been adopted for Airport Land Use Compatibility Plan zones to protect people on the ground and minimize risk of casualties in the event of an aircraft accident. Compatibility Zone B1 limits single-acre intensity to 80 people. As noted previously, the full service restaurant (Denny's) would accommodate 138 people and the fast food restaurant (El Pollo Loco) would accommodate 107 people (with inclusion of the outdoor seating and the drive-thru). Each building/use would exceed the single-acre criterion individually. The most intense single-acre area includes all of the Denny's building (138), plus a portion of the El Pollo Loco building. The seat count at Denny's alone (at 117) exceeds the single-acre maximum

intensity.

The parking space method is not typically applied for single-acre purposes since parking for a commercial center (even a small one as the one proposed) may not be accurately divided between the two uses/buildings. However, for background purposes at least, the El Pollo Loco requires a minimum of 27 parking spaces and also has 10 drive-thru queue spaces and the Denny's requires a minimum of 43 spaces. The project provides 97 spaces (27 spaces more than the minimum required). If this additional amount were divided evenly between the two uses/buildings, this would result in a total of 50.5 vehicle spaces for El Pollo Loco (including drive-thru) and 56.5 vehicle spaces for Denny's. Utilizing an assumption of 1.5 persons per vehicle, this would indicate an occupancy of 76 for El Pollo Loco and 85 for Denny's. Based on this method (although not typically utilized for single-acre purposes) the El Pollo Loco as a stand-alone facility may be considered consistent with the single-acre criterion; however, the Denny's would still be inconsistent.

Pursuant to French Valley Airport Land Use Compatibility Plan Additional Compatibility Policy 2.3.(a).2, a project within Zone B1 that provides at least 35% open area shall be allowed to have a single-acre intensity up to 90 people per acre. As noted previously, no area on the site would qualify as open area. Therefore, an increased single-acre intensity allowance based on open area provision would not be justified.

**As previously noted, the information previously provided would indicate a maximum customer occupancy of 63 for Denny's and 33 for El Pollo Loco. Since approximately 1/3 of El Pollo Loco is located within a single-acre area with Denny's, a 1/3 proportion of the maximum customer occupancy would be 11 for a maximum single-acre intensity of 74, which would be consistent with the single-acre criterion. However, adding in 8 Denny's and 2 El Pollo Loco (1/3 of 6) employees brings the total up to 84. Furthermore, given that the peak hours for these uses differ, during the maximum joint peak hour (11 a.m. to 12 p.m.) and assuming 1/3 of the El Pollo Loco occupancy in the single acre, the maximum single-acre intensity would be 75, which would be consistent with the single-acre criterion.**

Risk-Reduction Design Bonus: A bonus of up to 30% above the single-acre criterion of 80 for a maximum allowable intensity of 104 could be granted at the authority of the County of Riverside based on the type and amount of risk reduction measures incorporated. The project would include only single-story buildings. The proposed buildings would not include concrete walls. It is not known whether the buildings would include skylights. No information has been provided regarding whether upgraded roof strength, enhanced fire sprinklers, and increased number of emergency exits are provided or possible. If the single-story design is considered and a proportional bonus (1/7 of the 30% maximum) is applied, the project would have a revised single-acre allowance of 83. **If a 5% bonus is granted, a single-acre intensity of 84 would be permissible.** The project intensity pursuant to the building code still exceeds this revised level.

Infill Potential: Pursuant to Countywide Policy 3.3.1, higher intensity criteria may be considered for projects in zones other than Compatibility Zones A and B1 if the surrounding land uses are similar to

or more intense than the proposed project. To qualify for consideration, at least 65% of the project site's perimeter must be surrounded by uses similar to or more intense than the proposed project, and the project site must be less than 20 acres in area. If qualified, a higher average intensity level - the lesser of either the equivalent intensity to surrounding land uses or double the normally allowable intensity - may be consistent. This site is in Airport Compatibility Zone B1, so the Infill provisions do not specifically apply. However, staff considered the matter in its deliberations.

The area to the northeast across Benton Road is developed with a commercial shopping center with a mix of uses. The area to the southeast is developed with a fast food restaurant (Farmer Boys). The area to the south across Magdas Colaradas Street and Briggs Road is developed with an industrial use. The area immediately to the south is vacant and the area to the northwest across Winchester Road is predominantly vacant/agricultural. There is also a Moose lodge on the opposite side of Winchester Road in Compatibility Zone C. A portion of this building is in use as the interim location of a church with an occupancy well over 250 during weekend services. (The church will ultimately relocate to its permanent site in Zone E.) The total project perimeter is approximately 1,520 feet. The frontage and boundaries of developed areas accounts for 750 feet, which is only 49% of the project site's perimeter. Therefore, Countywide policy 3.3.1 would not apply to allow greater intensity based on the surrounding existing land uses, even if the site were not in Zone B1.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Zone B1 (Children's schools, day care centers, libraries, hospitals, nursing homes, buildings with more than 2 aboveground habitable floors, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight) within the project. Projects within Zone B1 are encouraged to locate structures a maximum distance from the extended runway centerline. The extended runway centerline is located approximately 175 feet east of the easterly property line. The project proposes to locate the proposed buildings closer to the westerly property line furthest from the extended runway centerline, approximately a minimum of 270 feet from the extended runway centerline.

Noise: The property lies within the area that would be subject to average exterior noise levels of approximately 60 CNEL under ultimate airport development conditions. As a non-residential use that is not especially noise sensitive, no special mitigation of noise from aircraft is required to comply with applicable noise thresholds.

Part 77: The elevation of Runway 18-36 at its northerly terminus is approximately 1347 feet above mean sea level (AMSL). At a distance of approximately 3,100 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1378 feet AMSL. The finished floor elevation of the fast food restaurant) is 1347 feet AMSL and its height is 21 feet, for a maximum elevation of 1368 feet AMSL. The finished floor elevation of the full service restaurant is 1345 feet AMSL, and its height is 24 feet, for a maximum elevation of 1369 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review would not be required.

Open Area: The site is less than ten acres in area; therefore, the project is not subject to Zone B1

open area requirements.

Other Special Conditions: Countywide Policy 3.3.6 allows the Commission to find a normally incompatible use to be acceptable “because of terrain, specific location, or other extraordinary factors or circumstances related to the site.” In such a situation, the Commission would need to make findings that the land use would not create a safety hazard nor expose people to excessive noise. In some cases, projects that did not quite meet the exacting standards for consideration as infill have been judged consistent through use of Policy 3.3.6. The potential factors to be considered in this case are as follows:

~~Although the project does not strictly qualify as infill, the proposed restaurants are similar in use and intensity to those uses existing to the east and north of the site, which are also located within Compatibility Zone B1.~~ **Winchester Road is located adjacent to the project site, which provides a potentially viable emergency landing spot compared to the project site, thus limiting potential hazards to the project site.**

Prior ALUC Decisions: The shopping center to the north was reviewed by ALUC pursuant to FV-02-110 in 2002 under the old Airport Land Use Plan and was determined consistent. The Farmer Boys to the east was reviewed by ALUC pursuant to FV 05-103 and in October 2006 ALUC took no action due to the suspension of the French Valley Airport Land Use Compatibility Plan at that time. The industrial facility to the south was reviewed by ALUC most recently as ZAP1031FV09 and was determined consistent, with occupancy limitations.

**CONDITIONS (in the event that the Commission chooses to utilize Policy 3.3.6 to make a finding of consistency):**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. This Plot Plan proposes the establishment of two restaurants. The following uses and activities are not included in the Plot Plan and shall be prohibited on this site, in accordance with Note A on Table 4 of the Southwest Area Plan:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

- (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses are specifically prohibited in Airport Compatibility Zone B1: Day care centers, children's schools, places of worship, libraries, hospitals, nursing homes, highly noise-sensitive outdoor non-residential uses, aboveground bulk storage of hazardous materials, critical community infrastructure facilities, and hazards to flight.
- 4. Prior to issuance of building permits, the landowner shall convey an aviation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency at (951) 955-9802 for additional information.
- 5. The attached notice shall be provided to all potential purchasers of the property and/or tenants of the proposed buildings.
- 6. Any retention or detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 7. The grounds shall be maintained in a clean condition to avoid attraction of large concentrations of flocking birds that could constitute a hazard to safe air navigation.

**Hourly Sales By Start Time**  
**From 06/18/2015 To 06/24/2015**  
**Restaurant #7287 Store #7287**

06/26/15 3:47:08PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/18/15</b>							
7:00AM - 8:00AM	2.98	11	\$115.21	\$115.21	\$104.23	\$104.23	\$9.48
8:00AM - 9:00AM	4.41	16	\$163.88	\$279.09	\$154.09	\$258.32	\$9.63
9:00AM - 10:00AM	8.08	42	\$307.26	\$586.35	\$282.53	\$540.85	\$6.73
10:00AM - 11:00AM	11.90	42	\$458.97	\$1,045.32	\$416.05	\$956.90	\$9.91
11:00AM - 12:00PM	16.09	59	\$573.05	\$1,618.37	\$562.37	\$1,519.27	\$9.53
12:00PM - 1:00PM	6.52	20	\$228.82	\$1,847.19	\$227.88	\$1,747.15	\$11.39
1:00PM - 2:00PM	3.84	16	\$135.99	\$1,983.18	\$134.18	\$1,881.33	\$8.39
2:00PM - 3:00PM	0.90	3	\$33.16	\$2,016.34	\$31.32	\$1,912.65	\$10.44
3:00PM - 4:00PM	0.81	3	\$28.25	\$2,044.59	\$28.25	\$1,940.90	\$9.42
4:00PM - 5:00PM	2.29	9	\$89.40	\$2,133.99	\$79.98	\$2,020.88	\$8.89
5:00PM - 6:00PM	3.85	15	\$134.71	\$2,268.70	\$134.71	\$2,155.59	\$8.98
6:00PM - 7:00PM	5.14	21	\$189.28	\$2,457.98	\$179.75	\$2,335.34	\$8.56
7:00PM - 8:00PM	12.89	37	\$460.37	\$2,918.35	\$450.56	\$2,785.90	\$12.18
8:00PM - 9:00PM	3.67	18	\$132.42	\$3,050.77	\$128.13	\$2,914.03	\$7.12
9:00PM - 10:00PM	4.38	16	\$156.62	\$3,207.39	\$153.10	\$3,067.13	\$9.57
10:00PM - 11:00PM	4.25	15	\$163.97	\$3,371.36	\$148.48	\$3,215.61	\$9.90
11:00PM - 12:00AM	1.04	4	\$36.35	\$3,407.71	\$36.35	\$3,251.96	\$9.09
12:00AM - 1:00AM	0.40	0	\$14.00	\$3,421.71	\$14.00	\$3,265.96	\$14.00
1:00AM - 2:00AM	2.27	7	\$81.36	\$3,503.07	\$79.33	\$3,345.29	\$11.33
2:00AM - 3:00AM	0.93	4	\$39.85	\$3,542.92	\$32.56	\$3,377.85	\$8.14
3:00AM - 4:00AM	1.73	5	\$60.55	\$3,603.47	\$60.55	\$3,438.40	\$12.11
4:00AM - 5:00AM	0.00	0	\$0.00	\$3,603.47	\$0.00	\$3,438.40	\$0.00
5:00AM - 6:00AM	0.73	3	\$25.54	\$3,629.01	\$25.54	\$3,463.94	\$8.51
6:00AM - 7:00AM	0.92	3	\$34.44	\$3,663.45	\$31.99	\$3,495.93	\$10.66
<b>Daily Totals:</b>		<b>369</b>	<b>\$3,663.45</b>		<b>\$3,495.93</b>		<b>\$9.47</b>

**Business Date: 06/18/15**

Gross Sales does not include voided orders and voided items.  
 Guest Average is based on net sales.

## Hourly Sales By Start Time

06/19/2015

Restaurant #7287 Store #7287

06/26/15 3:41:17PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/19/15</b>							
7:00AM - 8:00AM	0.80	5	\$43.61	\$43.61	\$32.76	\$32.76	\$6.55
8:00AM - 9:00AM	7.17	37	\$311.41	\$355.02	\$293.73	\$326.49	\$7.94
9:00AM - 10:00AM	9.64	46	\$404.89	\$759.91	\$394.79	\$721.28	\$8.58
10:00AM - 11:00AM	10.40	45	\$436.32	\$1,196.23	\$425.89	\$1,147.17	\$9.46
11:00AM - 12:00PM	7.57	32	\$327.34	\$1,523.57	\$309.85	\$1,457.02	\$9.68
12:00PM - 1:00PM	7.92	30	\$333.80	\$1,857.37	\$324.21	\$1,781.23	\$10.81
1:00PM - 2:00PM	7.07	31	\$313.59	\$2,170.96	\$289.65	\$2,070.88	\$9.34
2:00PM - 3:00PM	1.94	9	\$83.17	\$2,254.13	\$79.57	\$2,150.45	\$8.84
3:00PM - 4:00PM	3.94	17	\$173.98	\$2,428.11	\$161.50	\$2,311.95	\$9.50
4:00PM - 5:00PM	3.02	13	\$133.30	\$2,561.41	\$123.85	\$2,435.80	\$9.53
5:00PM - 6:00PM	1.49	7	\$76.27	\$2,637.68	\$60.95	\$2,496.75	\$8.71
6:00PM - 7:00PM	9.99	37	\$427.26	\$3,064.94	\$409.22	\$2,905.97	\$11.06
7:00PM - 8:00PM	2.93	11	\$124.51	\$3,189.45	\$120.03	\$3,026.00	\$10.91
8:00PM - 9:00PM	1.85	8	\$75.96	\$3,265.41	\$75.96	\$3,101.96	\$9.50
9:00PM - 10:00PM	3.73	19	\$154.50	\$3,419.91	\$152.82	\$3,254.78	\$8.04
10:00PM - 11:00PM	5.20	26	\$219.53	\$3,639.44	\$212.79	\$3,467.57	\$8.18
11:00PM - 12:00AM	1.47	6	\$72.14	\$3,711.58	\$60.08	\$3,527.65	\$10.01
12:00AM - 1:00AM	1.95	12	\$79.99	\$3,791.57	\$79.99	\$3,607.64	\$6.67
1:00AM - 2:00AM	3.42	10	\$140.13	\$3,931.70	\$140.13	\$3,747.77	\$14.01
2:00AM - 3:00AM	0.00	0	\$0.00	\$3,931.70	\$0.00	\$3,747.77	\$0.00
3:00AM - 4:00AM	1.70	8	\$74.50	\$4,006.20	\$69.75	\$3,817.52	\$8.72
4:00AM - 5:00AM	1.10	8	\$46.34	\$4,052.54	\$44.88	\$3,862.40	\$5.61
5:00AM - 6:00AM	1.20	5	\$51.31	\$4,103.85	\$49.30	\$3,911.70	\$9.86
6:00AM - 7:00AM	4.49	18	\$195.13	\$4,298.98	\$183.93	\$4,095.63	\$10.22
<b>Daily Totals:</b>		440	\$4,298.98		\$4,095.63		\$9.31

**Business Date: 06/19/15**

Gross Sales does not include voided orders and voided items.

Guest Average is based on net sales.



## Hourly Sales By Start Time

06/20/2015

Restaurant #7287 Store #7287

06/26/15 3:40:30PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/20/15</b>							
7:00AM - 8:00AM	3.97	24	\$173.06	\$173.06	\$162.39	\$162.39	\$6.77
8:00AM - 9:00AM	13.83	60	\$602.84	\$775.90	\$565.91	\$728.30	\$9.43
9:00AM - 10:00AM	9.62	46	\$412.53	\$1,188.43	\$393.52	\$1,121.82	\$8.55
10:00AM - 11:00AM	13.70	63	\$588.43	\$1,776.86	\$560.33	\$1,682.15	\$8.89
11:00AM - 12:00PM	8.68	48	\$414.85	\$2,191.71	\$354.97	\$2,037.12	\$7.40
12:00PM - 1:00PM	9.34	43	\$526.55	\$2,718.26	\$382.09	\$2,419.21	\$8.89
1:00PM - 2:00PM	7.22	34	\$319.44	\$3,037.70	\$295.51	\$2,714.72	\$8.69
2:00PM - 3:00PM	3.46	15	\$159.33	\$3,197.03	\$141.36	\$2,856.08	\$9.42
3:00PM - 4:00PM	1.44	8	\$60.55	\$3,257.58	\$58.73	\$2,914.81	\$7.34
4:00PM - 5:00PM	1.77	8	\$99.56	\$3,357.14	\$72.53	\$2,987.34	\$9.07
5:00PM - 6:00PM	3.70	20	\$153.48	\$3,510.62	\$151.41	\$3,138.75	\$7.57
6:00PM - 7:00PM	2.14	11	\$97.99	\$3,608.61	\$87.65	\$3,226.40	\$7.97
7:00PM - 8:00PM	3.12	15	\$147.65	\$3,756.26	\$127.53	\$3,353.93	\$8.50
8:00PM - 9:00PM	3.00	12	\$122.84	\$3,879.10	\$122.84	\$3,476.77	\$10.24
9:00PM - 10:00PM	2.85	21	\$123.84	\$4,002.94	\$116.45	\$3,593.22	\$5.55
10:00PM - 11:00PM	3.81	17	\$161.77	\$4,164.71	\$155.85	\$3,749.07	\$9.17
11:00PM - 12:00AM	1.58	13	\$65.10	\$4,229.81	\$64.50	\$3,813.57	\$4.96
12:00AM - 1:00AM	1.69	3	\$69.27	\$4,299.08	\$69.27	\$3,882.84	\$23.09
1:00AM - 2:00AM	0.27	2	\$11.08	\$4,310.16	\$11.08	\$3,893.92	\$5.54
2:00AM - 3:00AM	0.58	1	\$23.76	\$4,333.92	\$23.76	\$3,917.68	\$23.76
3:00AM - 4:00AM	0.75	4	\$33.52	\$4,367.44	\$30.66	\$3,948.34	\$7.67
4:00AM - 5:00AM	0.36	3	\$14.58	\$4,382.02	\$14.58	\$3,962.92	\$4.86
5:00AM - 6:00AM	1.14	7	\$60.37	\$4,442.39	\$46.80	\$4,009.72	\$6.69
6:00AM - 7:00AM	1.97	9	\$83.34	\$4,525.73	\$80.71	\$4,090.43	\$8.97
<b>Daily Totals:</b>		487	\$4,525.73		\$4,090.43		\$8.40

**Business Date: 06/20/15**

Gross Sales does not include voided orders and voided items.

Guest Average is based on net sales.

## Hourly Sales By Start Time

06/21/2015

Restaurant #7287 Store #7287

06/26/15 3:38:42PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/21/15</b>							
7:00AM - 8:00AM	3.96	23	\$256.74	\$256.74	\$179.66	\$179.66	\$7.81
8:00AM - 9:00AM	7.88	40	\$373.12	\$629.86	\$357.21	\$536.87	\$8.93
9:00AM - 10:00AM	12.56	63	\$647.89	\$1,277.75	\$569.81	\$1,106.68	\$9.04
10:00AM - 11:00AM	12.67	56	\$603.79	\$1,881.54	\$574.82	\$1,681.50	\$10.26
11:00AM - 12:00PM	11.52	52	\$534.50	\$2,416.04	\$522.44	\$2,203.94	\$10.05
12:00PM - 1:00PM	8.03	41	\$392.00	\$2,808.04	\$364.11	\$2,568.05	\$8.88
1:00PM - 2:00PM	5.24	29	\$272.10	\$3,080.14	\$237.83	\$2,805.88	\$8.20
2:00PM - 3:00PM	4.04	23	\$229.60	\$3,309.74	\$183.41	\$2,989.29	\$7.97
3:00PM - 4:00PM	2.55	14	\$140.16	\$3,449.90	\$115.86	\$3,105.15	\$8.28
4:00PM - 5:00PM	5.62	20	\$276.73	\$3,726.63	\$254.66	\$3,359.81	\$12.73
5:00PM - 6:00PM	3.78	15	\$171.39	\$3,898.02	\$171.39	\$3,531.20	\$11.43
6:00PM - 7:00PM	2.14	7	\$109.00	\$4,007.02	\$97.16	\$3,628.36	\$13.88
7:00PM - 8:00PM	4.90	16	\$223.76	\$4,230.78	\$222.14	\$3,850.50	\$13.88
8:00PM - 9:00PM	2.35	10	\$109.83	\$4,340.61	\$106.63	\$3,957.13	\$10.66
9:00PM - 10:00PM	5.19	22	\$278.74	\$4,619.35	\$235.39	\$4,192.52	\$10.70
10:00PM - 11:00PM	1.59	9	\$85.48	\$4,704.83	\$71.95	\$4,264.47	\$7.99
11:00PM - 12:00AM	2.11	8	\$100.04	\$4,804.87	\$95.51	\$4,359.98	\$11.94
12:00AM - 1:00AM	0.30	3	\$13.58	\$4,818.45	\$13.58	\$4,373.56	\$4.53
1:00AM - 2:00AM	0.62	3	\$27.90	\$4,846.35	\$27.90	\$4,401.46	\$9.30
2:00AM - 3:00AM	1.07	5	\$48.57	\$4,894.92	\$48.57	\$4,450.03	\$9.71
3:00AM - 4:00AM	0.00	0	\$0.00	\$4,894.92	\$0.00	\$4,450.03	\$0.00
4:00AM - 5:00AM	0.41	2	\$18.62	\$4,913.54	\$18.62	\$4,468.65	\$9.31
5:00AM - 6:00AM	0.09	1	\$4.00	\$4,917.54	\$4.00	\$4,472.65	\$4.00
6:00AM - 7:00AM	1.38	7	\$62.49	\$4,980.03	\$62.49	\$4,535.14	\$8.93
<b>Daily Totals:</b>		469	\$4,980.03		\$4,535.14		\$9.67

**Business Date: 06/21/15**

Gross Sales does not include voided orders and voided items.  
 Guest Average is based on net sales.

## Hourly Sales By Start Time

06/22/2015

Restaurant #7287 Store #7287

06/26/15 3:38:13PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/22/15</b>							
7:00AM - 8:00AM	3.18	16	\$116.15	\$116.15	\$102.89	\$102.89	\$6.43
8:00AM - 9:00AM	9.34	39	\$314.15	\$430.30	\$301.86	\$404.75	\$7.74
9:00AM - 10:00AM	6.87	29	\$249.10	\$679.40	\$221.95	\$626.70	\$7.65
10:00AM - 11:00AM	10.67	44	\$365.82	\$1,045.22	\$344.95	\$971.65	\$7.84
11:00AM - 12:00PM	6.79	24	\$254.14	\$1,299.36	\$219.46	\$1,191.11	\$9.14
12:00PM - 1:00PM	10.64	38	\$372.39	\$1,671.75	\$343.83	\$1,534.94	\$9.05
1:00PM - 2:00PM	3.19	13	\$103.09	\$1,774.84	\$103.09	\$1,638.03	\$7.93
2:00PM - 3:00PM	1.23	6	\$69.65	\$1,844.49	\$39.65	\$1,677.68	\$6.61
3:00PM - 4:00PM	2.14	10	\$74.04	\$1,918.53	\$69.09	\$1,746.77	\$6.91
4:00PM - 5:00PM	1.93	8	\$82.47	\$2,001.00	\$62.48	\$1,809.25	\$7.81
5:00PM - 6:00PM	9.23	24	\$306.49	\$2,307.49	\$298.35	\$2,107.60	\$12.43
6:00PM - 7:00PM	3.70	9	\$119.55	\$2,427.04	\$119.55	\$2,227.15	\$13.28
7:00PM - 8:00PM	6.15	18	\$203.51	\$2,630.55	\$198.75	\$2,425.90	\$11.04
8:00PM - 9:00PM	2.98	9	\$96.44	\$2,726.99	\$96.44	\$2,522.34	\$10.72
9:00PM - 10:00PM	7.88	41	\$263.15	\$2,990.14	\$254.83	\$2,777.17	\$6.22
10:00PM - 11:00PM	7.86	15	\$257.07	\$3,247.21	\$254.02	\$3,031.19	\$16.93
11:00PM - 12:00AM	1.42	8	\$45.82	\$3,293.03	\$45.82	\$3,077.01	\$5.73
12:00AM - 1:00AM	1.89	4	\$62.19	\$3,355.22	\$60.99	\$3,138.00	\$15.25
1:00AM - 2:00AM	0.00	0	\$0.00	\$3,355.22	\$0.00	\$3,138.00	\$0.00
2:00AM - 3:00AM	0.00	0	\$0.00	\$3,355.22	\$0.00	\$3,138.00	\$0.00
3:00AM - 4:00AM	0.30	1	\$9.69	\$3,364.91	\$9.69	\$3,147.69	\$9.69
4:00AM - 5:00AM	1.15	0	\$37.24	\$3,402.15	\$37.24	\$3,184.93	\$37.24
5:00AM - 6:00AM	0.29	1	\$9.38	\$3,411.53	\$9.38	\$3,194.31	\$9.38
6:00AM - 7:00AM	1.18	4	\$41.30	\$3,452.83	\$38.23	\$3,232.54	\$9.56
<b>Daily Totals:</b>		361	\$3,452.83		\$3,232.54		\$8.95

**Business Date: 06/22/15**

Gross Sales does not include voided orders and voided items.  
 Guest Average is based on net sales.

# Hourly Sales By Start Time

06/23/2015

Restaurant #7287 Store #7287

06/26/15 3:37:45PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/23/15</b>							
7:00AM - 8:00AM	3.24	16	\$122.40	\$122.40	\$115.20	\$115.20	\$7.20
8:00AM - 9:00AM	3.71	19	\$135.15	\$257.55	\$131.88	\$247.08	\$6.94
9:00AM - 10:00AM	7.63	35	\$293.62	\$551.17	\$271.49	\$518.57	\$7.76
10:00AM - 11:00AM	13.23	46	\$486.89	\$1,038.06	\$470.62	\$989.19	\$10.23
11:00AM - 12:00PM	9.16	34	\$338.80	\$1,376.86	\$325.89	\$1,315.08	\$9.59
12:00PM - 1:00PM	9.14	32	\$340.38	\$1,717.24	\$325.01	\$1,640.09	\$10.16
1:00PM - 2:00PM	6.60	23	\$257.80	\$1,975.04	\$234.68	\$1,874.77	\$10.20
2:00PM - 3:00PM	2.25	9	\$84.14	\$2,059.18	\$79.90	\$1,954.67	\$8.88
3:00PM - 4:00PM	3.47	13	\$133.13	\$2,192.31	\$123.29	\$2,077.96	\$9.48
4:00PM - 5:00PM	1.31	8	\$49.09	\$2,241.40	\$46.70	\$2,124.66	\$5.84
5:00PM - 6:00PM	3.80	21	\$137.13	\$2,378.53	\$135.19	\$2,259.85	\$6.44
6:00PM - 7:00PM	6.36	24	\$229.89	\$2,608.42	\$226.20	\$2,486.05	\$9.43
7:00PM - 8:00PM	7.29	29	\$271.06	\$2,879.48	\$259.14	\$2,745.19	\$8.94
8:00PM - 9:00PM	4.80	14	\$174.82	\$3,054.30	\$170.87	\$2,916.06	\$12.21
9:00PM - 10:00PM	4.91	18	\$174.63	\$3,228.93	\$174.63	\$3,090.69	\$9.70
10:00PM - 11:00PM	5.24	18	\$189.85	\$3,418.78	\$186.28	\$3,276.97	\$10.35
11:00PM - 12:00AM	2.38	14	\$88.44	\$3,507.22	\$84.51	\$3,361.48	\$6.04
12:00AM - 1:00AM	2.54	4	\$91.74	\$3,598.96	\$90.23	\$3,451.71	\$22.56
1:00AM - 2:00AM	0.85	3	\$30.10	\$3,629.06	\$30.10	\$3,481.81	\$10.03
2:00AM - 3:00AM	0.15	1	\$6.09	\$3,635.15	\$5.18	\$3,486.99	\$5.18
3:00AM - 4:00AM	0.00	0	\$0.00	\$3,635.15	\$0.00	\$3,486.99	\$0.00
4:00AM - 5:00AM	0.67	4	\$23.70	\$3,658.85	\$23.70	\$3,510.69	\$5.93
5:00AM - 6:00AM	0.28	1	\$9.97	\$3,668.82	\$9.97	\$3,520.66	\$9.97
6:00AM - 7:00AM	1.01	5	\$39.21	\$3,708.03	\$35.90	\$3,556.56	\$7.18
<b>Daily Totals:</b>		<b>391</b>	<b>\$3,708.03</b>		<b>\$3,556.56</b>		<b>\$9.10</b>

**Business Date: 06/23/15**

Gross Sales does not include voided orders and voided items.

Guest Average is based on net sales.

# Hourly Sales By Start Time

06/24/2015

Restaurant #7287 Store #7287

06/26/15 3:37:07PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/24/15</b>							
7:00AM - 8:00AM	2.34	12	\$83.53	\$83.53	\$81.12	\$81.12	\$6.76
8:00AM - 9:00AM	4.40	19	\$170.47	\$254.00	\$152.85	\$233.97	\$8.04
9:00AM - 10:00AM	7.88	35	\$294.81	\$548.81	\$273.65	\$507.62	\$7.82
10:00AM - 11:00AM	10.65	40	\$396.69	\$945.50	\$369.86	\$877.48	\$9.25
11:00AM - 12:00PM	10.56	37	\$392.46	\$1,337.96	\$366.89	\$1,244.37	\$9.92
12:00PM - 1:00PM	8.79	36	\$342.81	\$1,680.77	\$305.33	\$1,549.70	\$8.48
1:00PM - 2:00PM	4.33	17	\$164.01	\$1,844.78	\$150.47	\$1,700.17	\$8.85
2:00PM - 3:00PM	3.71	10	\$133.56	\$1,978.34	\$128.80	\$1,828.97	\$12.88
3:00PM - 4:00PM	0.80	4	\$29.42	\$2,007.76	\$27.96	\$1,856.93	\$6.99
4:00PM - 5:00PM	2.50	6	\$95.53	\$2,103.29	\$86.78	\$1,943.71	\$14.46
5:00PM - 6:00PM	6.58	30	\$256.64	\$2,359.93	\$228.71	\$2,172.42	\$7.62
6:00PM - 7:00PM	9.33	28	\$340.59	\$2,700.52	\$324.06	\$2,496.48	\$11.57
7:00PM - 8:00PM	9.38	28	\$338.43	\$3,038.95	\$325.86	\$2,822.34	\$11.64
8:00PM - 9:00PM	3.59	15	\$142.79	\$3,181.74	\$124.75	\$2,947.09	\$8.32
9:00PM - 10:00PM	1.77	6	\$61.59	\$3,243.33	\$61.59	\$3,008.68	\$10.27
10:00PM - 11:00PM	1.29	7	\$50.10	\$3,293.43	\$44.93	\$3,053.61	\$6.42
11:00PM - 12:00AM	4.53	12	\$157.35	\$3,450.78	\$157.35	\$3,210.96	\$13.11
12:00AM - 1:00AM	2.03	7	\$72.41	\$3,523.19	\$70.50	\$3,281.46	\$10.07
1:00AM - 2:00AM	2.06	7	\$72.64	\$3,595.83	\$71.62	\$3,353.08	\$10.23
2:00AM - 3:00AM	0.37	2	\$15.57	\$3,611.40	\$12.91	\$3,365.99	\$6.46
3:00AM - 4:00AM	0.54	2	\$19.99	\$3,631.39	\$18.79	\$3,384.78	\$9.40
4:00AM - 5:00AM	0.37	1	\$12.98	\$3,644.37	\$12.98	\$3,397.76	\$12.98
5:00AM - 6:00AM	0.91	2	\$31.65	\$3,676.02	\$31.65	\$3,429.41	\$15.83
6:00AM - 7:00AM	1.28	8	\$68.04	\$3,744.06	\$44.58	\$3,473.99	\$5.57
<b>Daily Totals:</b>		371	\$3,744.06		\$3,473.99		\$9.36

**Business Date: 06/24/15**

Gross Sales does not include voided orders and voided items.

Guest Average is based on net sales.

## Hourly Sales By Start Time

06/25/2015

Restaurant #7287 Store #7287

06/26/15 3:36:44PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/25/15</b>							
7:00AM - 8:00AM	3.84	15	\$128.23	\$128.23	\$112.35	\$112.35	\$7.49
8:00AM - 9:00AM	7.47	25	\$225.26	\$353.49	\$218.61	\$330.96	\$8.74
9:00AM - 10:00AM	10.03	33	\$300.81	\$654.30	\$293.49	\$624.45	\$8.89
10:00AM - 11:00AM	5.69	19	\$182.73	\$837.03	\$166.40	\$790.85	\$8.76
11:00AM - 12:00PM	9.91	35	\$319.18	\$1,156.21	\$289.93	\$1,080.78	\$8.28
12:00PM - 1:00PM	6.78	22	\$201.19	\$1,357.40	\$198.50	\$1,279.28	\$9.02
1:00PM - 2:00PM	6.67	24	\$224.10	\$1,581.50	\$195.03	\$1,474.31	\$8.13
2:00PM - 3:00PM	0.99	3	\$28.92	\$1,610.42	\$28.92	\$1,503.23	\$9.64
3:00PM - 4:00PM	1.35	5	\$39.52	\$1,649.94	\$39.52	\$1,542.75	\$7.90
4:00PM - 5:00PM	5.08	16	\$164.23	\$1,814.17	\$148.67	\$1,691.42	\$9.29
5:00PM - 6:00PM	4.65	14	\$145.24	\$1,959.41	\$135.99	\$1,827.41	\$9.71
6:00PM - 7:00PM	6.59	24	\$215.76	\$2,175.17	\$192.81	\$2,020.22	\$8.03
7:00PM - 8:00PM	7.41	18	\$219.10	\$2,394.27	\$216.94	\$2,237.16	\$12.05
8:00PM - 9:00PM	1.84	6	\$56.31	\$2,450.58	\$53.95	\$2,291.11	\$8.99
9:00PM - 10:00PM	6.06	17	\$185.94	\$2,636.52	\$177.30	\$2,468.41	\$10.43
10:00PM - 11:00PM	5.80	22	\$180.16	\$2,816.68	\$169.72	\$2,638.13	\$7.71
11:00PM - 12:00AM	4.09	8	\$133.95	\$2,950.63	\$119.80	\$2,757.93	\$14.98
12:00AM - 1:00AM	2.55	7	\$79.05	\$3,029.68	\$74.64	\$2,832.57	\$10.66
1:00AM - 2:00AM	0.36	1	\$10.58	\$3,040.26	\$10.58	\$2,843.15	\$10.58
2:00AM - 3:00AM	0.00	0	\$0.00	\$3,040.26	\$0.00	\$2,843.15	\$0.00
3:00AM - 4:00AM	0.50	1	\$14.64	\$3,054.90	\$14.64	\$2,857.79	\$14.64
4:00AM - 5:00AM	0.52	2	\$15.88	\$3,070.78	\$15.10	\$2,872.89	\$7.55
5:00AM - 6:00AM	1.45	4	\$52.02	\$3,122.80	\$42.38	\$2,915.27	\$10.60
6:00AM - 7:00AM	0.37	1	\$12.67	\$3,135.47	\$10.77	\$2,926.04	\$10.77
<b>Daily Totals:</b>		<b>322</b>	<b>\$3,135.47</b>		<b>\$2,926.04</b>		<b>\$9.09</b>

**Business Date: 06/25/15**

Gross Sales does not include voided orders and voided items.  
 Guest Average is based on net sales.

## Hourly Sales By Start Time

06/26/2015

Restaurant #7287 Store #7287

06/26/15 3:36:21PM

Start Time	%Total Net Sales	Guest Count	Gross Sales	Accum. Gross Sales	Net Sales	Accum. Net Sales	Guest Average
<b>Business Date: 06/26/15</b>							
7:00AM - 8:00AM	6.26	15	\$134.23	\$134.23	\$127.53	\$127.53	\$8.50
8:00AM - 9:00AM	9.48	27	\$214.89	\$349.12	\$193.02	\$320.55	\$7.15
9:00AM - 10:00AM	17.04	39	\$366.10	\$715.22	\$346.95	\$667.50	\$8.90
10:00AM - 11:00AM	17.20	41	\$369.22	\$1,084.44	\$350.15	\$1,017.65	\$8.54
11:00AM - 12:00PM	14.73	35	\$320.71	\$1,405.15	\$299.85	\$1,317.50	\$8.57
12:00PM - 1:00PM	14.81	31	\$345.27	\$1,750.42	\$301.38	\$1,618.88	\$9.72
1:00PM - 2:00PM	12.94	27	\$303.12	\$2,053.54	\$263.50	\$1,882.38	\$9.76
2:00PM - 3:00PM	3.91	7	\$82.43	\$2,135.97	\$79.61	\$1,961.99	\$11.37
3:00PM - 4:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
4:00PM - 5:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
5:00PM - 6:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
6:00PM - 7:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
7:00PM - 8:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
8:00PM - 9:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
9:00PM - 10:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
10:00PM - 11:00PM	0.00	0	\$0.00	\$2,135.97	\$0.00	\$1,961.99	\$0.00
11:00PM - 12:00AM	1.45	3	\$34.71	\$2,170.68	\$29.50	\$1,991.49	\$9.83
12:00AM - 1:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
1:00AM - 2:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
2:00AM - 3:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
3:00AM - 4:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
4:00AM - 5:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
5:00AM - 6:00AM	0.00	0	\$0.00	\$2,170.68	\$0.00	\$1,991.49	\$0.00
6:00AM - 7:00AM	2.17	5	\$46.32	\$2,217.00	\$44.12	\$2,035.61	\$8.82
<b>Daily Totals:</b>		230	\$2,217.00		\$2,035.61		\$8.85

**Business Date: 06/26/15**

Gross Sales does not include voided orders and voided items.  
 Guest Average is based on net sales.

Consolidated System Time Period Summary

Business D: Jul 5 2015 - Jul 5 2015

Current Time:

#####

Range	Net Sales	% of Total	Checks	% of Total
Lunch	688.34	23.09%	71	26.30%
Dinner	1247.27	41.84%	119	44.07%
All Day	2981.02	100.00%	270	100.00%
Snack	1045.41	35.07%	80	29.63%
10AM-11AM	49.47	1.66%	5	1.85%
11AM-12PM	196.17	6.58%	19	7.04%
12PM-01PM	194.11	6.51%	20	7.41%
01PM-02PM	248.59	8.34%	27	10.00%
02PM-03PM	305.13	10.24%	31	11.48%
03PM-04PM	504.79	16.93%	24	8.89%
04PM-05PM	235.49	7.90%	25	9.26%
05PM-06PM	332.41	11.15%	33	12.22%
06PM-07PM	353.98	11.87%	32	11.85%
07PM-08PM	216.23	7.25%	23	8.52%
08PM-09PM	215.77	7.24%	18	6.67%
09PM-10PM	128.88	4.32%	13	4.81%

El Pollo Loco



Avg/Check

9.69  
10.48  
11.04  
13.07  
9.89  
10.32  
9.71  
9.21  
9.84  
21.03  
9.42  
10.07  
11.06  
9.4  
11.99  
9.91

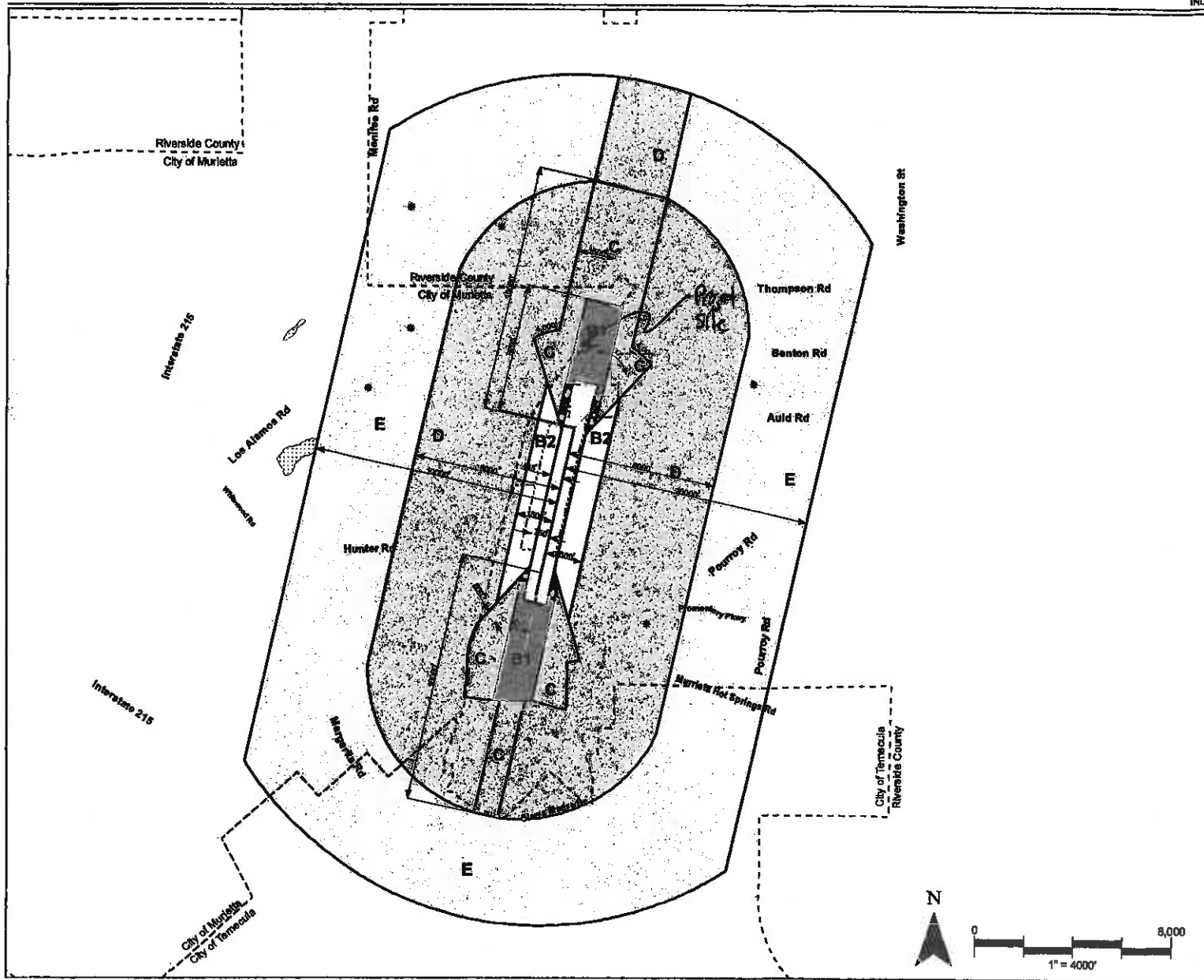
Page 1

Time		Denny's	El Pollo Loco	Total Customer Occupancy	Denny's Employees	El Pollo Loco Employees	Total Site Occupancy	Average Occupancy	Max Single-Acre*
7:00 AM	8:00 AM	24	0	24	8	0	32	9.50	32.00
8:00 AM	9:00 AM	60	0	60	8	0	68	20.18	68.00
9:00 AM	10:00 AM	63	0	63	8	0	71	21.07	71.00
10:00 AM	11:00 AM	63	5	68	8	6	82	24.33	74.67
11:00 AM	12:00 PM	59	19	78	8	6	92	<b>27.30</b>	<b>75.33</b>
12:00 PM	1:00 PM	43	20	63	8	6	77	22.85	59.67
1:00 PM	2:00 PM	34	27	61	8	6	75	22.26	53.00
2:00 PM	3:00 PM	23	31	54	8	6	68	20.18	43.33
3:00 PM	4:00 PM	17	24	41	8	6	55	16.32	35.00
4:00 PM	5:00 PM	20	25	45	8	6	59	17.51	38.33
5:00 PM	6:00 PM	30	33	63	8	6	77	22.85	51.00
6:00 PM	7:00 PM	37	32	69	8	6	83	24.63	57.67
7:00 PM	8:00 PM	37	23	60	8	6	74	21.96	54.67
8:00 PM	9:00 PM	18	18	36	8	6	50	14.84	34.00
9:00 PM	10:00 PM	41	13	54	8	6	68	20.18	55.33
10:00 PM	11:00 PM	26	0	26	8	0	34	10.09	34.00
11:00 PM	12:00 AM	14	0	14	8	0	22	6.53	22.00
12:00 AM	1:00 AM	12	0	12	8	0	20	5.93	20.00
1:00 AM	2:00 AM	10	0	10	8	0	18	5.34	18.00
2:00 AM	3:00 AM	5	0	5	8	0	13	3.86	13.00
3:00 AM	4:00 AM	8	0	8	8	0	16	4.75	16.00
4:00 AM	5:00 AM	8	0	8	8	0	16	4.75	16.00
5:00 AM	6:00 AM	7	0	7	8	0	15	4.45	15.00
6:00 AM	7:00 AM	18	0	18	8	0	26	7.72	26.00

\* - Denny's and proportional 1/3 of El Pollo Loco occupancies

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
- Boundary Lines**
- Airport Property Line
  - City Limits
  - ☉ Height Review Overlay Zone

**Note**  
 Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

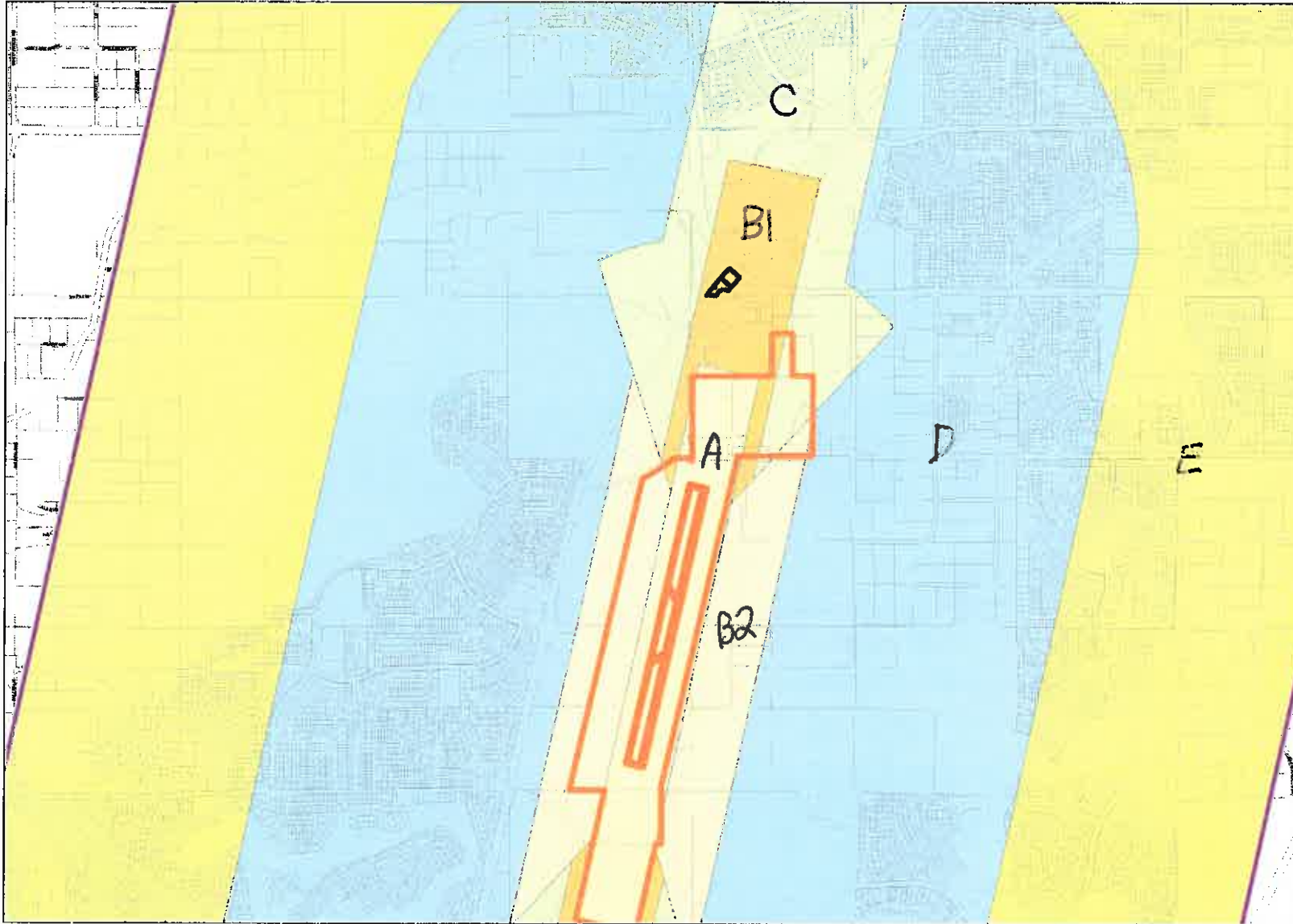
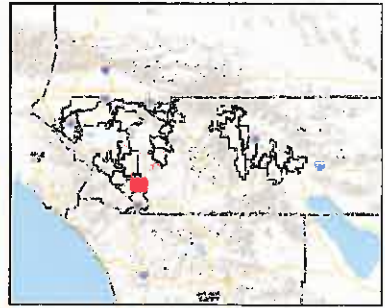
See Chapter 2, Table 2A from compatibility criteria associated with this map.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (April 2010)

Map FV-1

**Compatibility Map**  
 French Valley Airport

# My Map



- Legend**
- Airports
  - AIA
  - Airport Compatibility**
  - OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6
  - C2-HIGHT



0 2,988 5,977 Feet

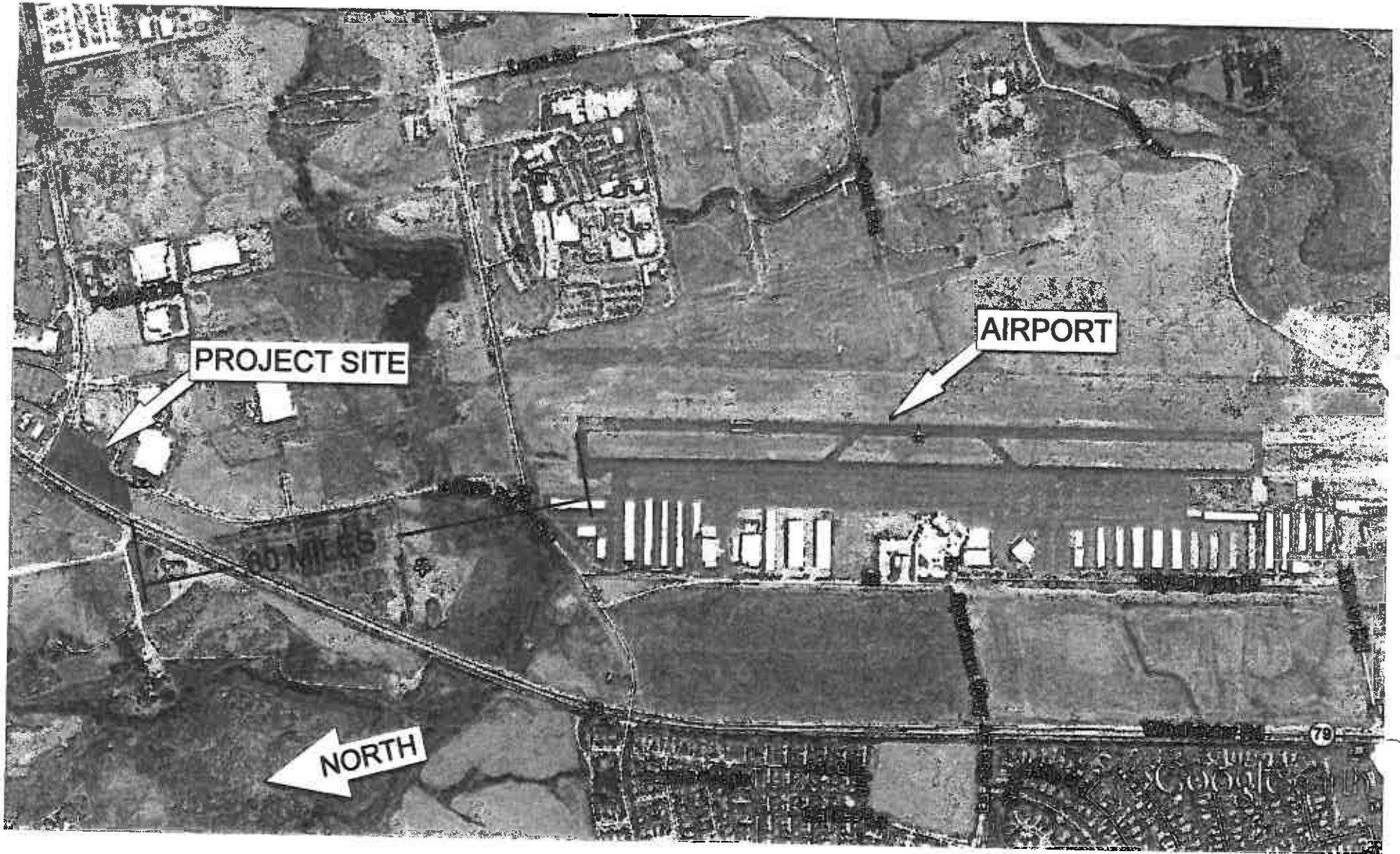


**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

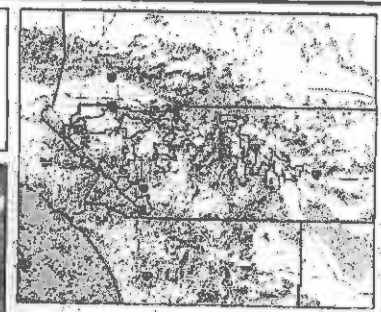
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## Notes



# My Map



## Legend

-  RCLIS Parcels
-  City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
-  counties
-  cities
- hydrographylines
- waterbodies**
-  Lakes
-  Rivers



0 458 916 Feet



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## Notes





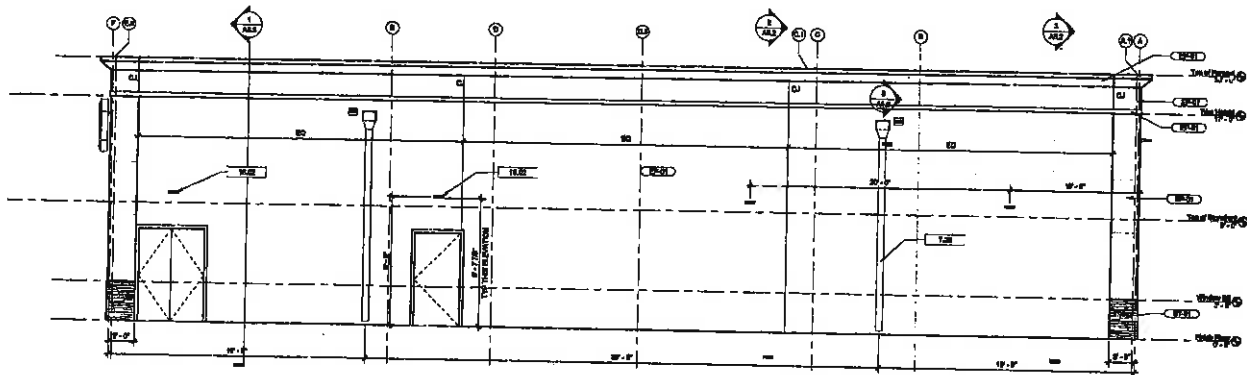
**BENTON CROSSING**  
 S.E.C OF HWY. 79 & BENTON ROAD,  
 WINCHESTER, CA

**A4 SERIES GENERAL NOTES**

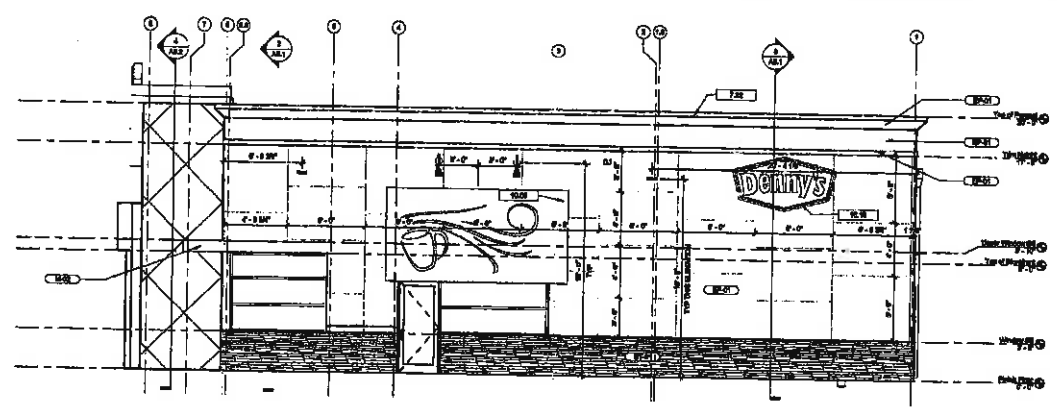
- A. PROVIDE BLOCKS BEHIND ALL ATTACHED BUILDING FINISHES.
- B. COORDINATE EXTERIOR INSTALLATIONS WITH ELECTRICAL AND MECHANICAL CONTRACTORS FOR PLACEMENT OF LIGHTS, WALL MOUNTS, MECHANICAL COVERS, ETC.
- C. PROVIDE BLOCKS BEHIND ALL JOINTS TO ENSURE A SMOOTH FINISH ON SECTIONS.
- D. ALL UTILITY ROOMS (ELECTRICAL PANELS, GAS METERS, ETC.) ARE TO BE PLUMBED TO MATCH ERS IF FEASIBLE BY THE LOCAL UTILITY COMPANY.
- E. CONNECTIONS AND CUTTING TO BE PERFORMED AND PREPARED UNDER TYP.
- F. ALL MECH. EQUIPMENT CHECKS/TESTS ARE TO BE PERFORMED AND PREPARED WHERE POSSIBLE.
- G. ALL DOORS AND WINDOWS SHALL BE TYPED AND/OR ALUMINUM TYPED GLASS.
- H. ON-PAINT LINE FINISH WINDOWS AND DOORS SHALL BE 3/4" WIDE.
- I. EXTERIOR WALL FINISH TO BE INSTALLED IN STRIP ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- J. DETAIL FINISH REQUIREMENTS FOR GLASS AND METALS INSTALLATION SHOWN AS PER FINISHES AND NOTES.
- K. DRYVIT REPRESENTATIVE CONTACT INFORMATION:  
 833 WALKER  
 1000 S. WALKER  
 1000 S. WALKER  
 1000 S. WALKER  
 1000 S. WALKER
- L. ALL EXTERIOR LIGHT FIXTURES SHALL BE PREPARED, REFER TO ELECTRICAL CONTRACTOR.
- M. ABBREVIATION "C/P" INDICATES CONTRACTOR.

**KEYNOTES**

- 7.02 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 7.03 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.01 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.02 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.03 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.04 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.05 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.06 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.07 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.
- 10.08 FINISHING 2 ALUMINUM CORNER CAP WITH CONTRASTING CLEAR GLASS TO DRAW TO ROOF, TYP.



**1 Rear Elevation**  
 W-1 to W-100



**2 Right Elevation**  
 W-1 to W-100

Item	Description	Manufacturer	Model
10-01	Window Frame	Aluminum	1000 Series
10-02	Window Glass	Aluminum	1000 Series
10-03	Window Sill	Aluminum	1000 Series
10-04	Window Head	Aluminum	1000 Series
10-05	Window Jamb	Aluminum	1000 Series
10-06	Window Stop	Aluminum	1000 Series
10-07	Window Seal	Aluminum	1000 Series
10-08	Window Hardware	Aluminum	1000 Series
10-09	Window Finishes	Aluminum	1000 Series
10-10	Window Accessories	Aluminum	1000 Series



**DENNY'S ELEVATION PLAN**

SHEET 7 OF 8

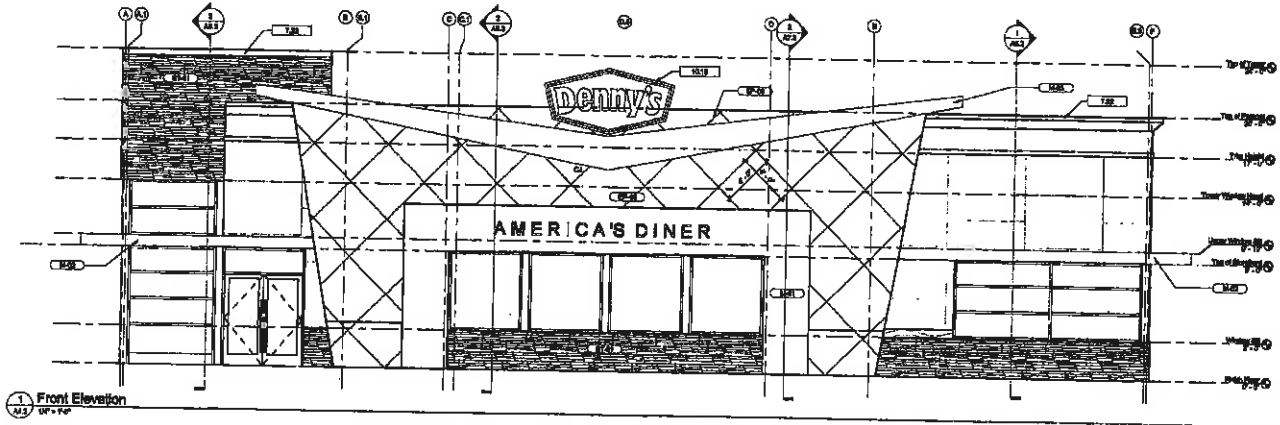
DATE	REVISIONS
3/23/18	FIRST COUNTY SUBMITAL



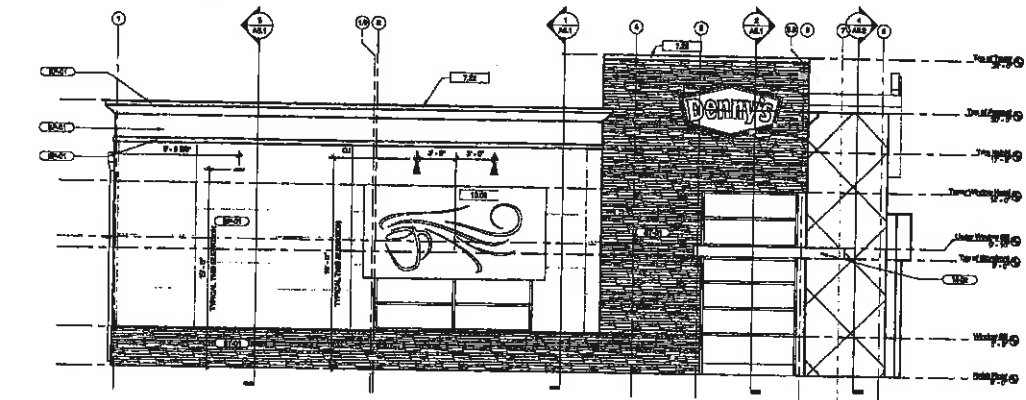
14-005

A-4.1

THIS DOCUMENT IS THE PROPERTY OF SEENERGY, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM SEENERGY, INC.



1 Front Elevation  
1/4" = 1'-0"



2 Left Elevation  
1/4" = 1'-0"

Finish Schedule - Exterior			
No.	Description	Manufacturer	Notes
101	Stucco Finish	Stucco	See Notes
102	Paint Finish	Paint	See Notes
103	Tile Finish	Tile	See Notes
104	Grout Finish	Grout	See Notes
105	Other Finish	Other	See Notes

- A4 SERIES GENERAL NOTES**
- PROVIDE BLOCKING BEHIND ALL ATTACHED BUILDING BRANES.
  - COORDINATE EXTERIOR FINISHES WITH ELECTRICAL AND MECHANICAL CONDITIONS FOR PLACEMENT OF LIGHTING, WALL, HYDRATE, MECHANICAL, ETC.
  - PROVIDE BLOCKING BEHIND ALL BRANES TO BRIDGE A TO LB FULL GUT OR BRIT.
  - ALL LIGHT FIXTURES (RECESSED, PANEL, GAS TUBULAR, ETC.) ARE TO BE FINISHED TO MATCH ETS'S FINISHES BY THE LOCAL UTILITY COMPANY.
  - DOWNSPUTS AND DOWNERS TO BE PROVIDED AND PROTECTED AGAINST DAMAGE.
  - ALL METAL COMPONENTS ON EXTERIOR ARE TO BE PROVIDED AND PROTECTED AGAINST DAMAGE.
  - ALL DOORS AND WINDOWS SHALL BE 1/4" ANGLE ALUMINUM WITH 1/4" SLATS.
  - PAINT LINE AROUND WINDOWS AND DOOR SHALL BE 1/4" WIDE.
  - EXTERIOR WALL FINISH TO BE INSTALLED IN STREET ACCORDANCE WITH LOCAL GOVERNMENT SPECIFICATIONS.
  - METAL FINISHES (INCLUDING BRASS) SHALL BE INSTALLED IN ACCORDANCE WITH ALL ETS'S FINISHES AS PROVIDED.
  - DRIVWAY REPRESENTATIVE CONTACT INFORMATION:  
 81 WEST  
 CIRCLE 2  
 SUITE 200  
 10000 W. 10TH AVE.  
 DENVER, CO 80202
  - ALL EXTERIOR LIGHT FIXTURES SHALL BE PROVIDED REFER TO ELECTRICAL DRAWINGS.
  - ABBREVIATION KEY CONTROL CONTROL.

- KEYNOTES**
- PROVIDED ALUMINUM CORNER CAP WITH DOWNWARD CLEARANCE TO MATCH TO LOCAL CITY.
  - FINISH AND PAINT, FINISH BLOCKING AND FINISH AS PROVIDED FOR METAL BLOCKING REFER TO FINISH SCHEDULE.
  - SEE BY OTHERS.

BENTON CROSSING

S.E.C OF HWY. 79 & BENTON ROAD,  
WINCHESTER, CA



DENNY'S ELEVATION PLAN

SHEET 8 OF 8

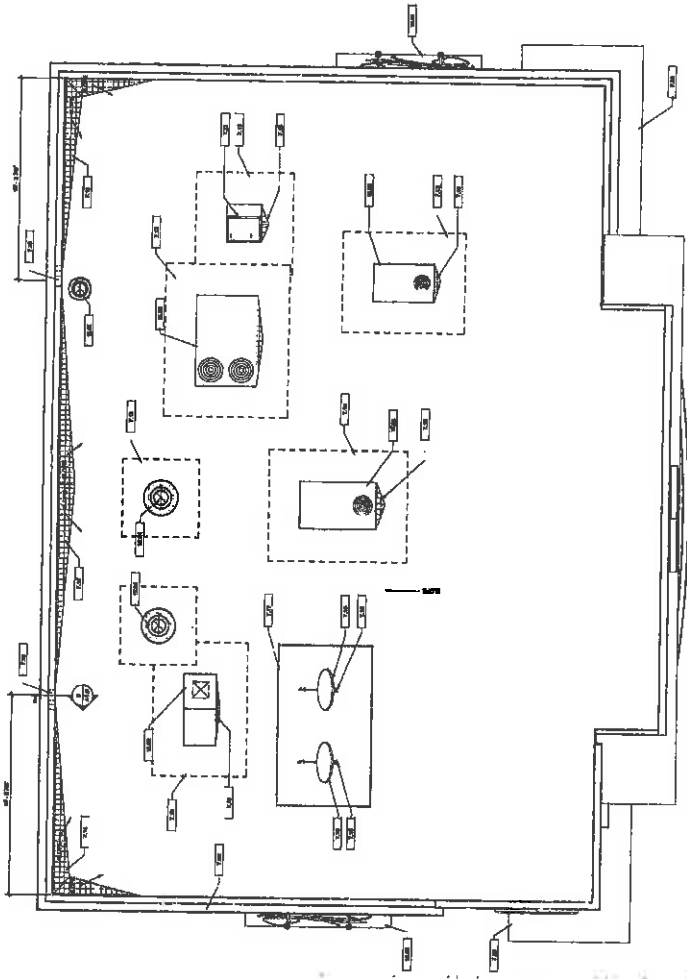
DATE	REVISION
3/27/15	FIRST COUNTY SUBMITTAL



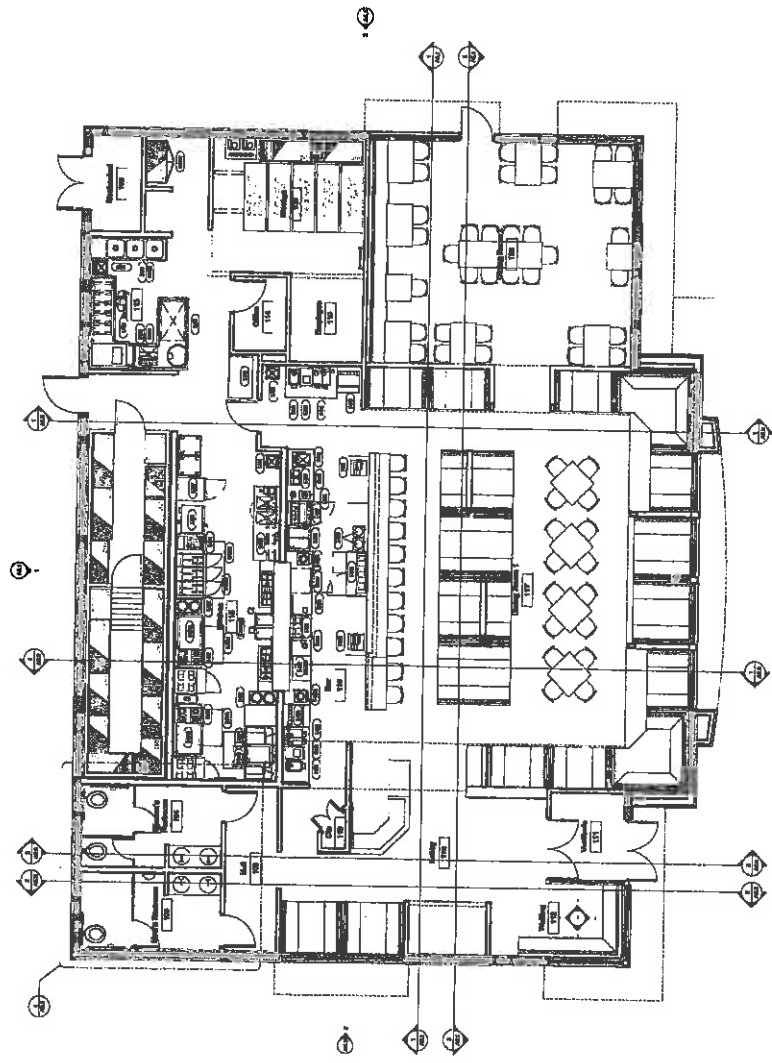
14-005

A4.2

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2 Roof Plan  
A.D. / NO SCALE



1 Floor Plan  
A.D. / NO SCALE

**BENTON CROSSING**

S.E.C. OF HWY. 79 & BENTON ROAD,  
WINCHESTER, CA



SHEET 8 OF 8

**DENNY'S FLOOR / ROOF PLAN**

DATE	REVISION
12/21/14	FINAL COUNTY SUBMITAL



14-005

20991 Woodside Hill Ridge Rd, Ste. 102  
Marina, CA 94028 Contact: Matt Stevens  
T: (415) 450-1000 s@senergy.com

A-4.0

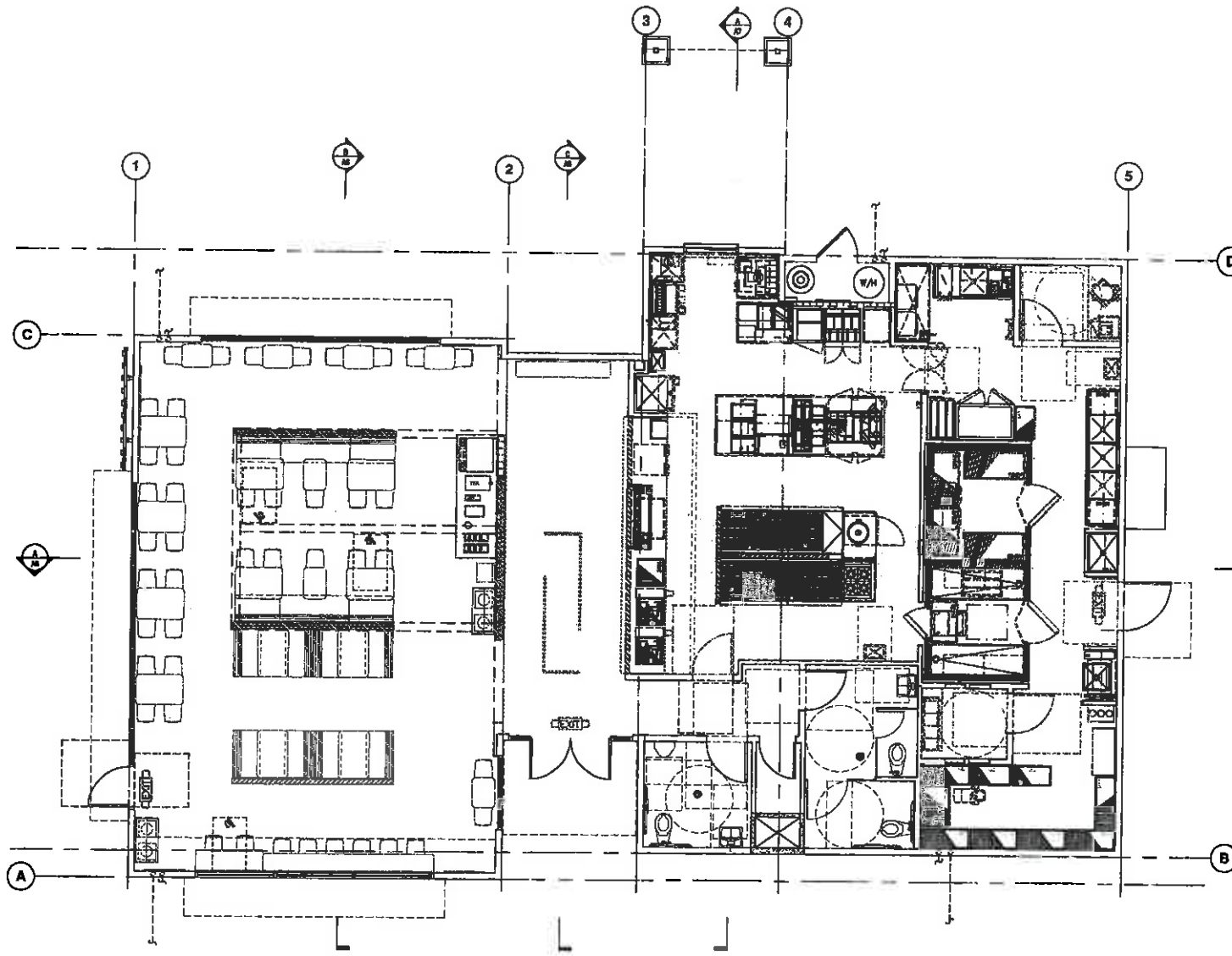
THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE BY INDICATED BLOCKS AND IS THE PROPERTY OF PERISCOPE ARCHITECTURE, INC. AND MAY NOT BE DISCLOSED WITHOUT THE WRITTEN PERMISSION OF PERISCOPE ARCHITECTURE, INC.









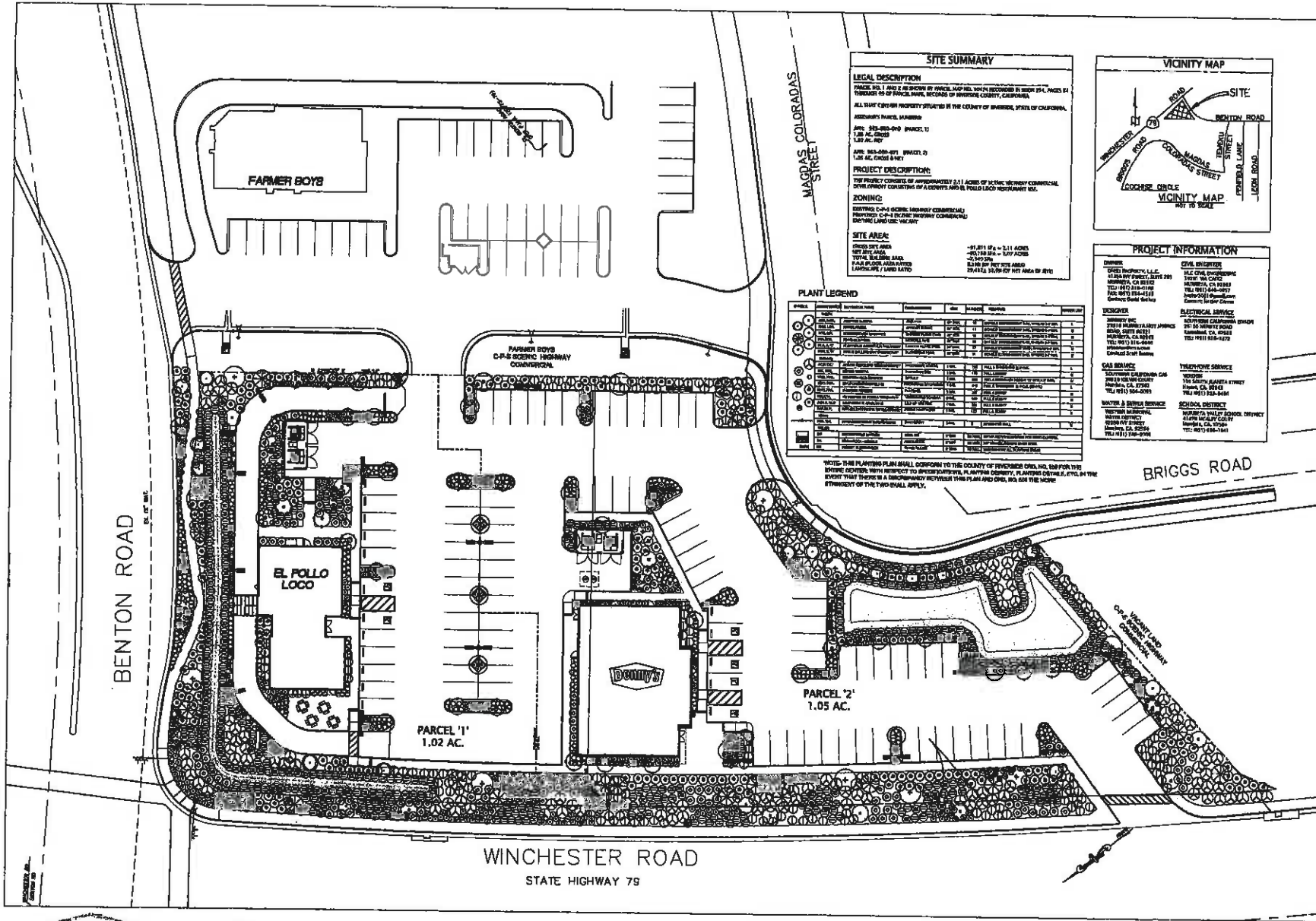


**OCCUPANCY CALCULATIONS**

ASSEMBLY AREAS	TOT. SQ. FT.	NO. OCCUPANTS	SEAT COUNT
THEATER AREAS (1 & 2) (SEE DIMENSIONS ON SET) 10 SQ. FT. PER OCCUPANT	1,040	70	70
ENTRANCE & LOBBY AREAS 100 SQ. FT. PER OCCUPANT	575	6	-
OFFICES 100 SQ. FT. PER OCCUPANT	73	1	-
STORAGE (COOLING/FREEZER) 100 SQ. FT. PER OCCUPANT	114	1	-
LOBBY 100 SQ. FT. PER OCCUPANT	264	3	-
ACCESSORY (NOT OCCUPIED AREAS/STAIRS/REARINGS)	229	-	-
<b>TOTAL INTERIOR OCCUPANTS</b>		<b>81</b>	<b>70</b>







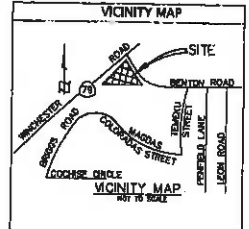
**SITE SUMMARY**

**LEGAL DESCRIPTION**  
 PARCEL NO. 1 AND 2 AS SHOWN BY FINAL MAP NO. 10174, RECORDED IN BOOK 254, PAGE 61  
 TRACTS 1 & 2 OF TRACT 1000, BEING 1/4 SECTION 10, TOWNSHIP 12N, RANGE 12E, COUNTY OF INYER, CALIFORNIA.  
 ALL THAT CERTAIN PROPERTY SITUATED IN THE COUNTY OF INYER, STATE OF CALIFORNIA,  
 ACCORDING TO THE FOLLOWING:

**PROJECT DESCRIPTION:**  
 THE PROJECT CONSISTS OF APPROXIMATELY 2.1 ACRES OF RETAIL HIGHWAY COMMERCIAL  
 DEVELOPMENT COLLECTIVELY KNOWN AS A Denny's AND El Pollo Loco RESTAURANT SITES.

**ZONING:**  
 EXISTING: C-4 (COMMERCIAL)  
 PROPOSED: C-4 (COMMERCIAL)  
 EXISTING LAND USE: VACANT

**SITE AREA:**  
 GROSS SITE AREA - 81,211 SF = 2.11 ACRES  
 NET SITE AREA - 71,148 SF = 1.97 ACRES  
 TOTAL SURFACE ROAD - 2,340 SF  
 8.4% OF GROSS AREA  
 LANDSCAPE / LAND NATO - 29,432.35 SF OF NET AREA OF 81%



**PROJECT INFORMATION**

**OWNER:**  
 DRELL PROPERTY, L.L.C.  
 11100 W. 90TH STREET, SUITE 200  
 HENRIETTA, CA 94569  
 TEL: (925) 834-4100  
 FAX: (925) 834-4101  
 GUYTON@DRELL.COM  
 Guyton@Drell.com

**DESIGNER:**  
 SENERGY INC.  
 2000 W. UNIVERSITY AVENUE, SUITE 200  
 SACRAMENTO, CA 95811  
 TEL: (916) 441-8888  
 Email: info@senergy.com

**CONTRACTOR:**  
 THE SOUTHERN LANDSCAPE GROUP  
 1000 S. J STREET, SUITE 100  
 SACRAMENTO, CA 95811  
 TEL: (916) 441-8888

**PLANTING:**  
 SENERGY INC.  
 2000 W. UNIVERSITY AVENUE, SUITE 200  
 SACRAMENTO, CA 95811  
 TEL: (916) 441-8888

**PLANT LEGEND**

Symbol	Plant Name	Quantity	Notes
○	Small Tree	100	Plant in 10' spacing
○	Medium Tree	50	Plant in 15' spacing
○	Large Tree	20	Plant in 20' spacing
○	Shrub	200	Plant in 10' spacing
○	Flowering Shrub	100	Plant in 10' spacing
○	Groundcover	1000	Plant in 10' spacing
○	Grass	1000	Plant in 10' spacing
○	Water Feature	1	Plant in 10' spacing
○	Lighting	10	Plant in 10' spacing

NOTE: THE PLANTING PLAN SHALL CONFORM TO THE COUNTY OF INYER ORD. NO. 588 FOR THE  
 SPECIFIC SECTION WITH RESPECT TO SPECIFICATIONS, PLANTING DETAILED, ETC. IN THE  
 EVENT THAT THERE IS A DISCREPANCY BETWEEN THIS PLAN AND ORD. NO. 588 THE MORE  
 STRINGENT OF THE TWO SHALL APPLY.

**BENTON CROSSING**  
 S.E.C OF HWY. 79 & BENTON ROAD,  
 WINCHESTER, CA



**CONCEPTUAL LANDSCAPE PLAN**

DATE	REVISIONS
3/21/19	FINAL COUNTY SUBMITAL



14-005

2018 Mountain View Parkway, Suite 200  
 Sacramento, CA 95827  
 Tel: (916) 441-8888 | Email: info@senergy.com

LS-1

THE CONCEPTUAL LANDSCAPE PLAN AND RECOMMENDATIONS SHOWN HEREON ARE THE PROPERTY OF SENERGY, INC. AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF SENERGY, INC.

- 3.2.2. *Establishment of Review Process:* Provisions must be made for evaluation of proposed land use development situated within an airport influence area relative to the compatibility criteria set forth in the *Compatibility Plan*.
- (a) Even if the land use designations in a general plan have been deemed consistent with the *Compatibility Plan*, evaluation of the proposed development relative to the land use designations alone is usually insufficient. General plans typically do not contain the detailed airport land use compatibility criteria necessary for a complete compatibility evaluation of proposed development.
  - (b) Local jurisdictions have the following choices for satisfying this evaluation requirement:
    - (1) Sufficient detail can be included in the general plan and/or referenced implementing ordinances and regulations to enable the local jurisdiction to assess whether a proposed development fully meets the compatibility criteria specified in the applicable compatibility plan (this requires both that the compatibility criteria be identified and that project review procedures be described);
    - (2) The ALUC's compatibility plan can be adopted by reference (in this case, the project review procedure must be described in a separate instrument presented to and approved by the ALUC); and/or
    - (3) The general plan can indicate that all major land use actions, as listed in Policy 1.5.3 or otherwise agreed to by the ALUC, shall be referred to the Commission for review in accordance with the policies of Section 2.3.

### 3.3. Special Conditions

- 3.3.1. *Infill:* Where development not in conformance with the criteria set forth in this *Compatibility Plan* already exists, additional infill development of similar land uses may be allowed to occur even if such land uses are to be prohibited elsewhere in the zone. This exception does not apply within *Compatibility Zones A* or *B1*.
- (a) A parcel can be considered for *infill* development if it meets *all* of the following criteria plus the applicable provisions of either Sub-policy (b) or (c) below:
    - (1) The parcel size is no larger than 20.0 acres.
    - (2) At least 65% of the site's perimeter is bounded (disregarding roads) by existing uses similar to, or more intensive than, those proposed.
    - (3) The proposed project would not extend the perimeter of the area defined by the surrounding, already developed, incompatible uses.
    - (4) Further increases in the residential density, nonresidential usage intensity, and/or other incompatible design or usage characteristics (e.g., through use permits, density transfers, addition of second units on the same parcel, height variances, or other strategy) are prohibited.
    - (5) The area to be developed cannot previously have been set aside as open land in accordance with policies contained in this *Plan* unless replacement open land is provided within the same compatibility zone.
  - (b) For residential development, the average development density (dwelling units per gross acre) of the site shall not exceed the lesser of:

- (1) The average density represented by all existing lots that lie fully or partially within a distance of 300 feet from the boundary of the parcel to be divided; or
  - (2) Double the density permitted in accordance with the criteria for that location as indicated in the Compatibility Criteria matrix, Table 2A.
- (c) For nonresidential development, the average usage intensity (the number of people per gross acre) of the site's proposed use shall not exceed the lesser of:
- (1) The average intensity of all existing uses that lie fully or partially within a distance of 300 feet from the boundary of the proposed development; or
  - (2) Double the intensity permitted in accordance with the criteria for that location as indicated in the Compatibility Criteria matrix, Table 2A.
- (d) The single-acre and risk-reduction design density and intensity multipliers described in Policies 4.2.5 and 4.2.6 and listed in Table 2A are applicable to infill development.
- (e) Infill development on some parcels should not enable additional parcels to then meet the qualifications for infill. The ALUC's intent is that parcels eligible for infill be determined just once. Thus, in order for the ALUC to consider proposed development under these infill criteria, the entity having land use authority (Riverside County or affected cities) must first identify the qualifying locations in its general plan or other adopted planning document approved by the ALUC. This action may take place in conjunction with the process of amending a general plan for consistency with the ALUC plan or may be submitted by the local agency for consideration by the ALUC at the time of initial adoption of this *Compatibility Plan*. In either case, the burden for demonstrating that a proposed development qualifies as infill rests with the affected land use jurisdiction and/or project proponent.
- 3.3.2. *Nonconforming Uses:* Existing uses (including a parcel or building) not in conformance with this *Compatibility Plan* may only be expanded as follows:
- (a) Nonconforming residential uses may be expanded in building size provided that the expansion does not result in more dwelling units than currently exist on the parcel (a bedroom could be added, for example, but a separate dwelling unit could not be built). No ALUC review of such improvements is required.
  - (b) A nonconforming nonresidential development may be continued, leased, or sold and the facilities may be maintained or altered (including potentially enlarged), provided that the portion of the site devoted to the nonconforming use is not expanded and the usage intensity (the number of people per acre) is not increased above the levels existing at the time of adoption of this *Compatibility Plan*. No ALUC review of such changes is required.
  - (c) ALUC review is required for any proposed expansion of a nonconforming use (in terms of the site size or the number of dwelling units or people on the site). Factors to be considered in such reviews include whether the development qualifies as infill (Policy 3.3.1) or warrants approval because of other special conditions (Policy 3.3.6).

- 2.3 *Industrial/Commercial Area:* The following usage intensity criteria shall apply:
- (a) *In Compatibility Zone B1:*
    - (1) An average of 40 people per acre shall be allowed on a site, and up to 80 people shall be allowed to occupy any single acre of the site.
    - (2) If the percentage of qualifying open land on the site (see Countywide Policy 4.2.4) is increased from 30 percent to at least 35 percent, the site shall be allowed to have an average of up to 45 people per acre, and any single acre shall be allowed to have up to 90 people per acre.
    - (3) If the percentage of qualifying open land on the site is increased to 40 percent or more, the site shall be allowed to have an average of up to 50 people per acre, and any single acre shall be allowed to have up to 100 people per acre.
  - (b) *In Compatibility Zone C:*
    - (1) An average of 80 people per acre shall be allowed on a site, and up to 160 people shall be allowed to occupy any single acre of the site.
    - (2) If the percentage of qualifying open land on the site is increased from 20 percent to at least 25 percent, the site shall be allowed to have an average of up to 90 people per acre, and any single acre shall be allowed to have up to 180 people per acre.
    - (3) If the percentage of qualifying open land on the site is increased to 30 percent or more, the site shall be allowed to have an average of up to 100 people per acre, and any single acre shall be allowed to have up to 200 people per acre.
  - (c) To the extent feasible, open land should be situated along the extended runway centerlines or other primary flight tracks.

- (d) The above bonuses for extra open land on a site are in addition to the intensity bonuses for risk-reduction building design indicated in Table 2A. In both cases, incorporation of the features necessary to warrant the intensity bonuses is at the option of the land use jurisdiction (County of Riverside or City of Murrieta) and the project proponents and is not required by ALUC policy.

2.4 *Zone D Non-residential Intensities:* The criteria set forth in Countywide Policies 3.1.1, 3.1.4, and 4.2.5(b)(5) and the Basic Compatibility Criteria matrix (Table 2A) notwithstanding, the following usage criteria shall apply within Zone D: An average of 150 people per acre shall be allowed on a site, and up to 450 people shall be allowed to occupy any single acre of the site.

2.5 *Calculation of Concentration of People:* The provisions of Table C1 in Appendix C notwithstanding, retail sales and display areas or “showrooms” (excluding restaurants and other uses specifically identified separately from retail in Table C1), excluding those in buildings including restaurants or food service facilities, shall be evaluated as having an intensity in persons per square foot of one person per 170 gross square feet of building area without eligibility for a 50 percent reduction. If the building includes restaurants or food service facilities, such retail and display areas or “showrooms” shall be evaluated as having intensity in persons per square foot of one person per 115 square feet of gross floor area without eligibility for the 50 percent reduction. In no case shall intensity of retail and display areas be evaluated in such a manner as to be less than 17 percent more intense than similar areas devoted to office uses. For the purpose of this paragraph, a food service facility includes any establishment that is subject to retail food service inspections by the Department of Environmental Health, including restaurants; grocery stores; ice cream, yogurt, and juice stores; coffee shops; concessionaires; food courts; and take-out only facilities.

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Monday, May 25 (Memorial Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: June 11, 2015

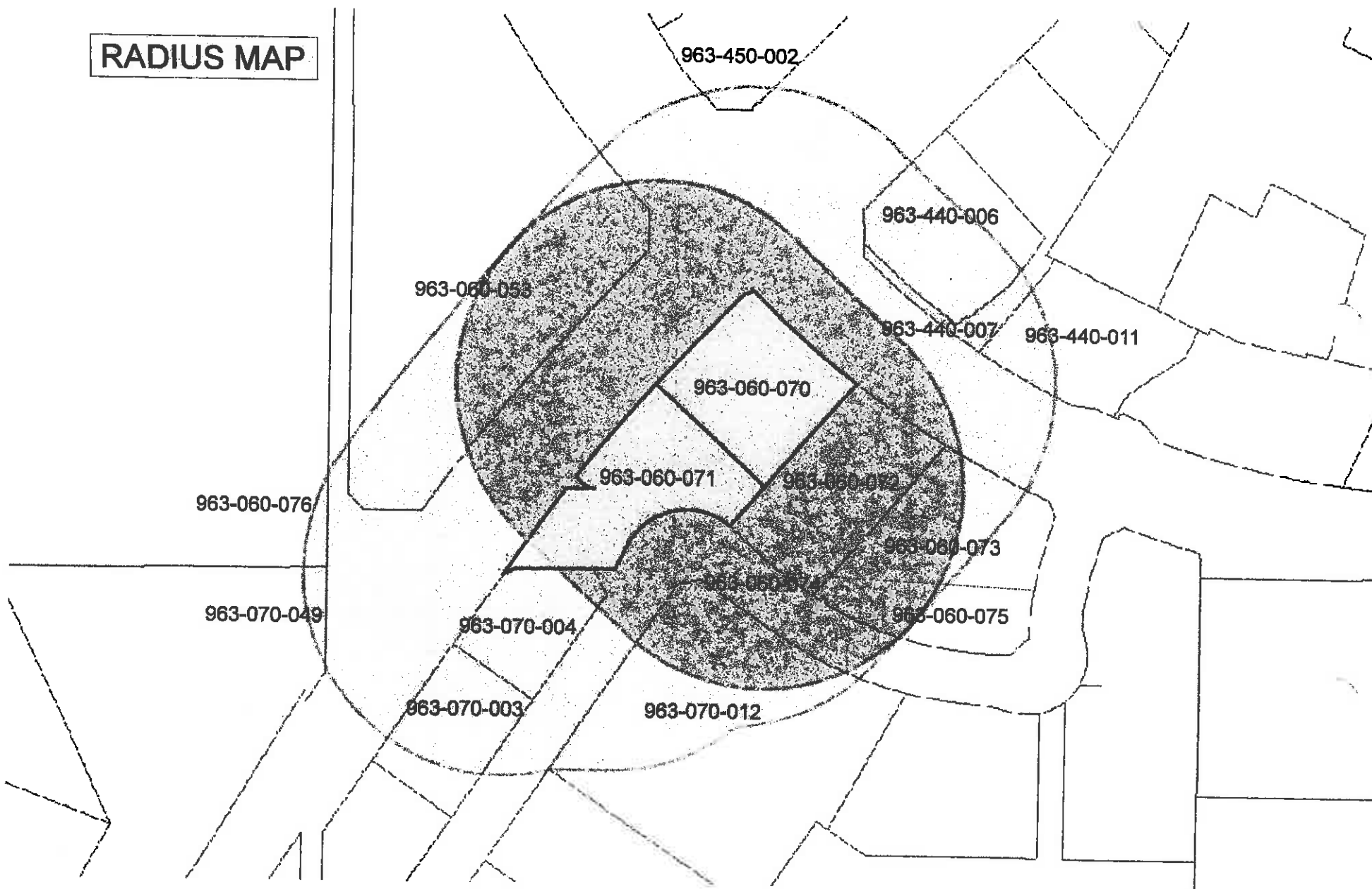
TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1062FV15 – DMSD Property, LLC (Representative: Scott Barone, Senergy, Inc.) - County of Riverside Case No.: PP25793 (Plot Plan). A proposal to establish a 4,565 square foot dine-in restaurant (Denny's) and a 2,975 square foot fast food restaurant (El Pollo Loco) with drive-through on two contiguous properties (Assessor's Parcel Numbers 963-060-070 and 963-060-071) with a combined net area of 2.06 acres (2.11 gross acres) located along the easterly side of Winchester Road (State Highway Route 79), southerly of Benton Road, northerly of Magdas Coloradas Street, and westerly of an existing Farmer Boys restaurant in the unincorporated community of French Valley. (Airport Compatibility Zone B1 of the French Valley Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Mark Corcoran of the County of Riverside Planning Department, at (951) 955-3025.

**RADIUS MAP**





**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1062 FVIS

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 4/28/15  
 Property Owner DMSD PROPERTY LLC Phone Number 951-816-0189  
 Mailing Address 41856 IVY STREET SUITE 201  
MURRIETA, CA 92562

Agent (if any) SCOTT BARONE - SENERGY INC Phone Number 951-816-9840  
 Mailing Address 29910 MURRIETA HOT SPRINGS #G521  
MURRIETA, CA 92563

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address NONE  
 Assessor's Parcel No. 963-060-070-7 & 963-060-071-8 Parcel Size 2.06  
 Subdivision Name \_\_\_\_\_ Zoning Classification CPS  
 Lot Number PARCEL 1 & 2 PARCEL MAP NO. 30474

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) VACANT

Proposed Land Use (describe) PROPOSED 4,320 SF DENNY'S RESTAURANT & 2,975 SF EL POLLO LOCO RESTAURANT WITH DRIVE THRU SITUATED ON APPROXIMATELY 2.06 ACRES. PROJECT TO INCLUDED SITE IMPROVEMENTS FOR PARKING, SIDEWALKS, SITE LIGHTING, LANDSCAPE, TRASH ENCLOSURES AND OTHER SITE AMENITIES AS NECESSARY FOR THE COMMERCIAL CENTER

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) N/A

For Other Land Uses Hours of Use \_\_\_\_\_

(See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 21 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1367.33 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

F.V.  
B1

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	
Agency Name	County of Riverside
Staff Contact	
Phone Number	
Agency's Project No.	Plot Plan 25793
Type of Project <input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other	

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1. . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. . . . . Check for review—See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1126MA15 – Integrated Real Estate Services, LLC/Operating Engineers Trust Fund (Representative: Dierdre McCollister, MIG Hogle-Ireland)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P13-0956 (General Plan Amendment), P13-0959 (Specific Plan Amendment), P13-0964 (Design Review), P13-0965 (Conditional Use Permit), P13-0966 (Variance), and P13-0963 (Tentative Parcel Map No. 36638)

**MAJOR ISSUES:** None.

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the General Plan Amendment, Specific Plan Amendment, and Variance, and a finding of CONSISTENCY for the Conditional Use Permit, Design Review, and Tentative Parcel Map, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to construct three industrial warehouse buildings with a total floor area of 1,461,449 square feet on 72.5 acres. The largest of these buildings would have a floor area of 1,000,620 square feet, requiring a Conditional Use Permit, and a height of 56 feet, requiring a Variance. The other two buildings are proposed through the Design Review case. Implementation of this proposal requires amendments to the exhibits in the Hunter Business Park Specific Plan (Figures II-4, II-6, II-9, and II-12 relating to Proposed Circulation, Pedestrian Network, Storm Drain Concept, and Open Space Concept) to reflect deletion of the “Columbia Loop” – the segment of Columbia Avenue extending easterly from Michigan Avenue and northerly to Palmyrita Avenue. The text of the Specific Plan would also be amended to require a striped Class 2 bike lane along the east side of Michigan Avenue. The City of Riverside General Plan would also be amended to reflect these changes. Tentative Parcel Map No. 36638 would divide the 72.5-acre site into three parcels, so that each building would be on a separate lot.

**PROJECT LOCATION:** The site is located southerly of Palmyrita Avenue and easterly of Michigan Avenue within the City of Riverside, approximately 40,670 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base and over 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base/Inland Port Airport
- b. Land Use Policy: Zone E
- c. Noise Levels: Less than 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone E. There are no land use intensity restrictions within Compatibility Zone E.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being well outside the 60 CNEL aircraft noise contour. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is approximately 1535 feet above mean sea level (1488 feet AMSL). The elevation of this site is approximately 400 feet lower than the elevation of the runway. Furthermore, the site is located more than 20,000 feet from the runways of the two closest civilian public-use airports (Riverside Municipal Airport and Flabob Airport). Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons is not required.

Open Area: There are no open area requirements in Compatibility Zone E.

Legislative Actions: This item is before the Commission because it includes legislative actions – specifically, amendments to the City of Riverside General Plan and the Hunter Specific Plan. However, these amendments do not change the land use designation of the property and would be considered “non-impact legislative actions” if they had been City-initiated proposals, as they do not impact airport compatibility issues. Additionally, the project includes a height-related variance, but as the site is more than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport and at a lower elevation than the runway at March, the variance does not affect navigable airspace.

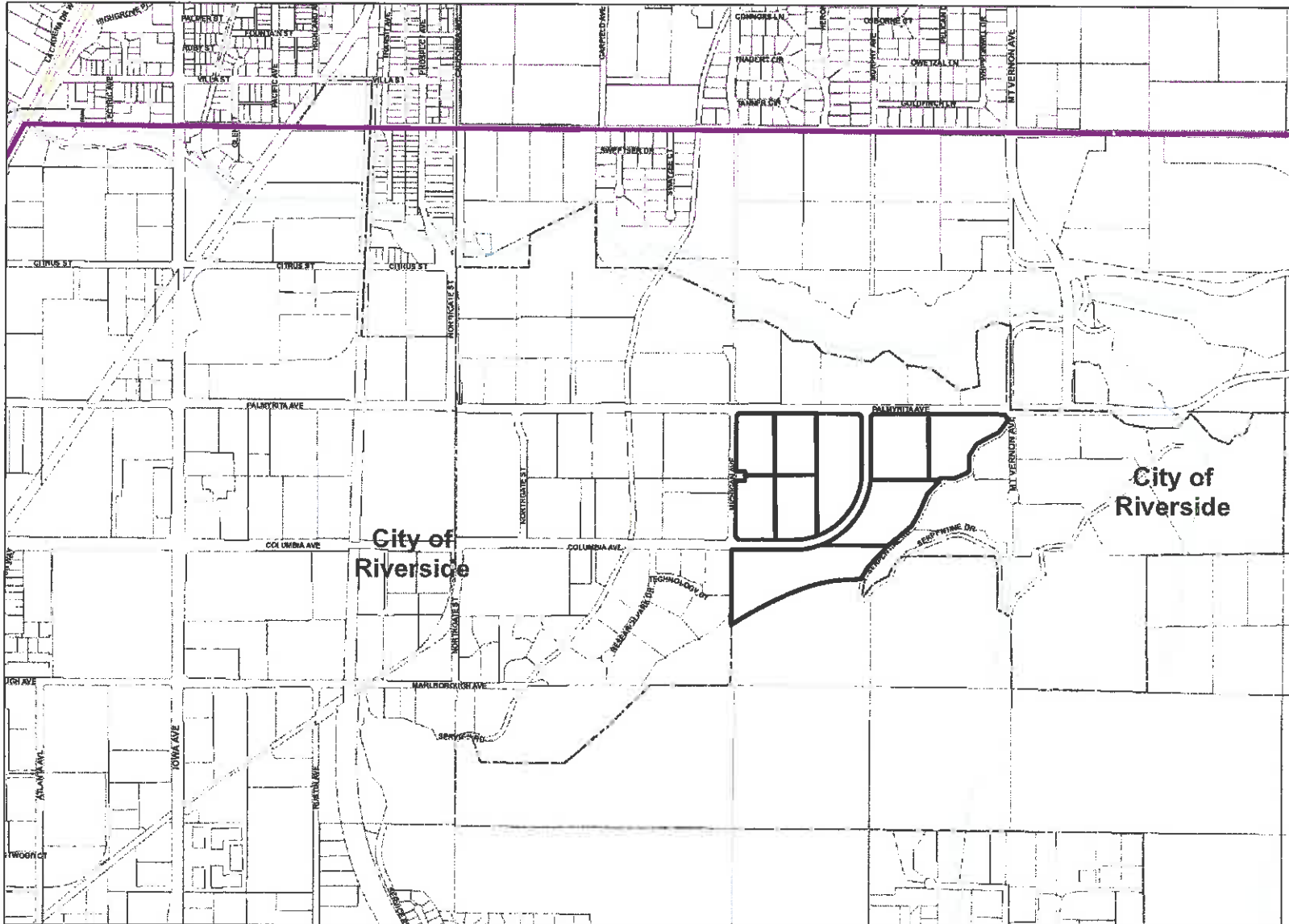
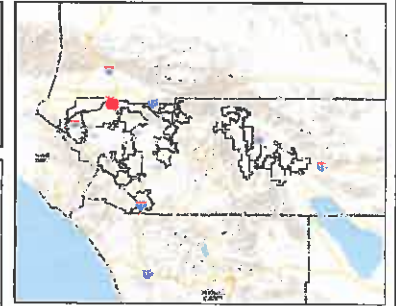
**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the buildings thereon.
4. The proposed detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# My Map



## Legend

- RCLIS Parcels
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,782 3,563 Feet

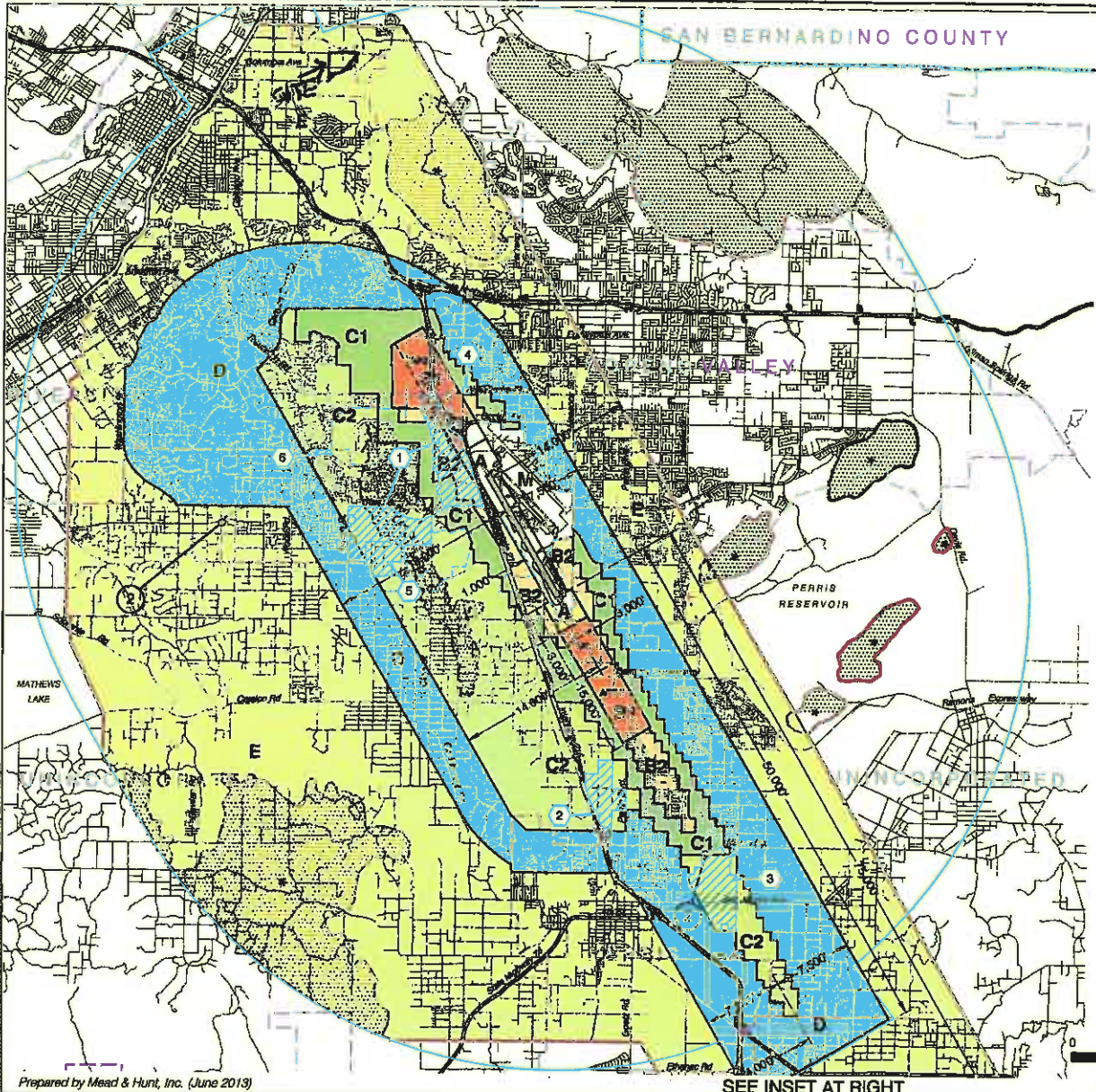


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## Notes



**LEGEND**

**Compatibility Zones**

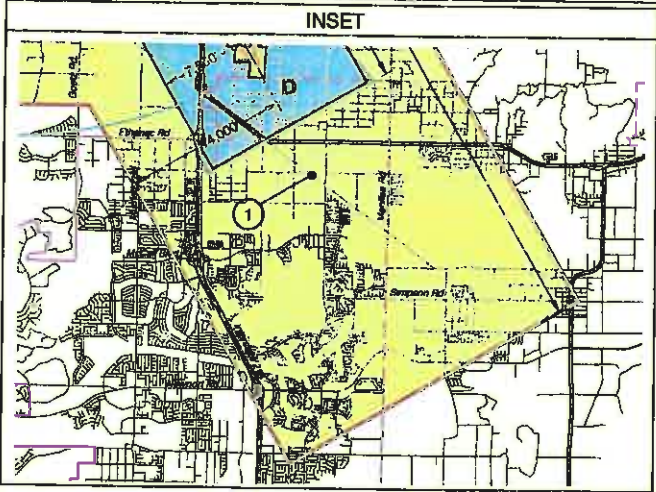
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ⑥ March JPA: March Business Center/Meridian
- ⑦ Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑧ Riverside: Ridge Crest Subdivision



Riverside County  
Airport Land Use Commission

March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan

(Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

Note:  
All dimensions are measured from runway ends and centerlines.



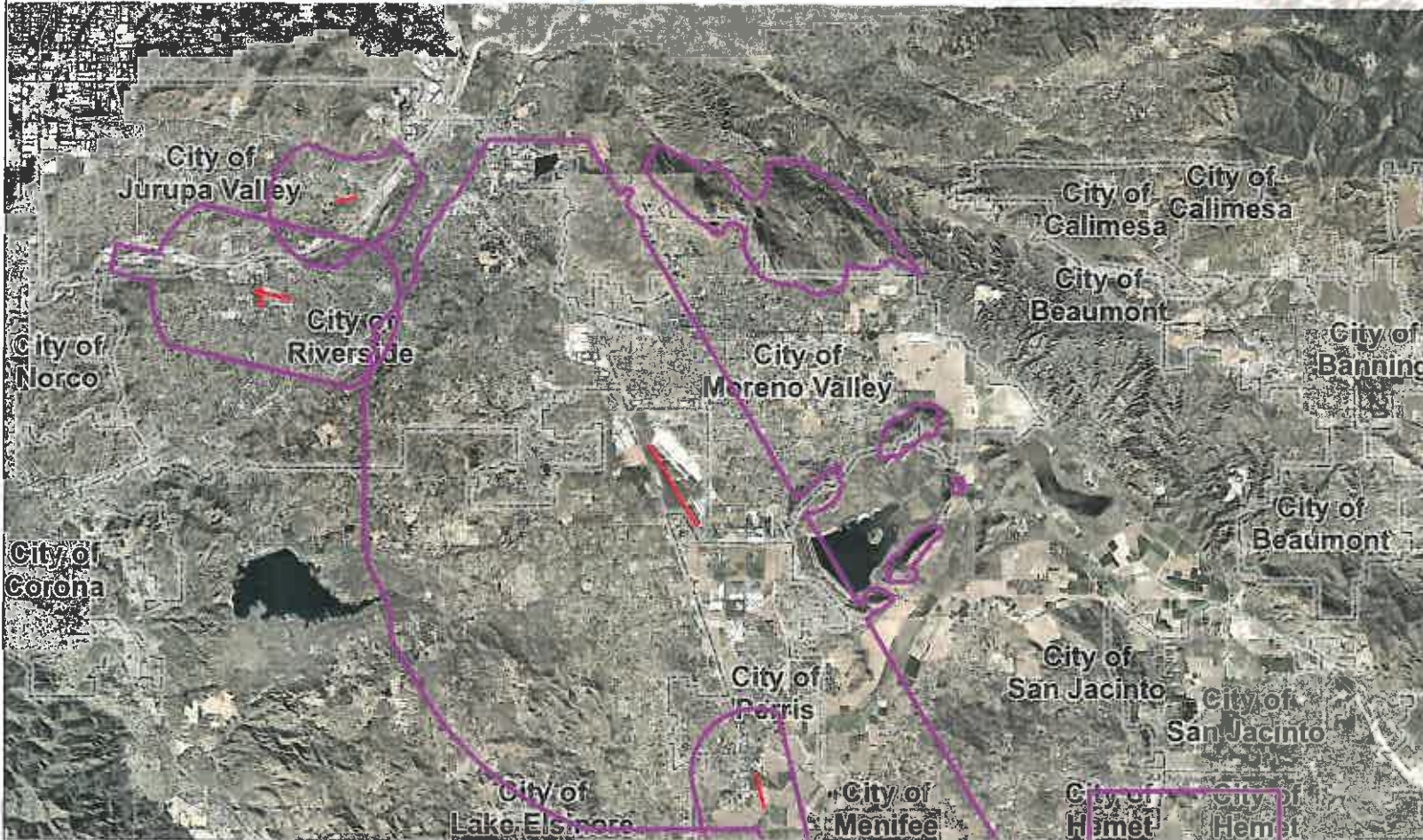
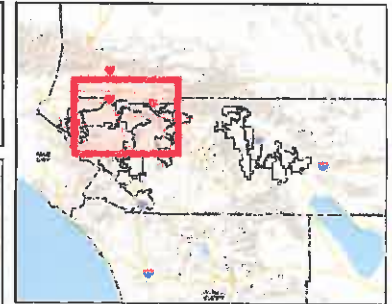
Base map source: County of Riverside 2013

SEE INSET AT RIGHT

Prepared by Mead & Hunt, Inc. (June 2013)



# My Map



## Legend

- AIA
- Runways
- City Boundaries



0 28,505 57,010 Feet



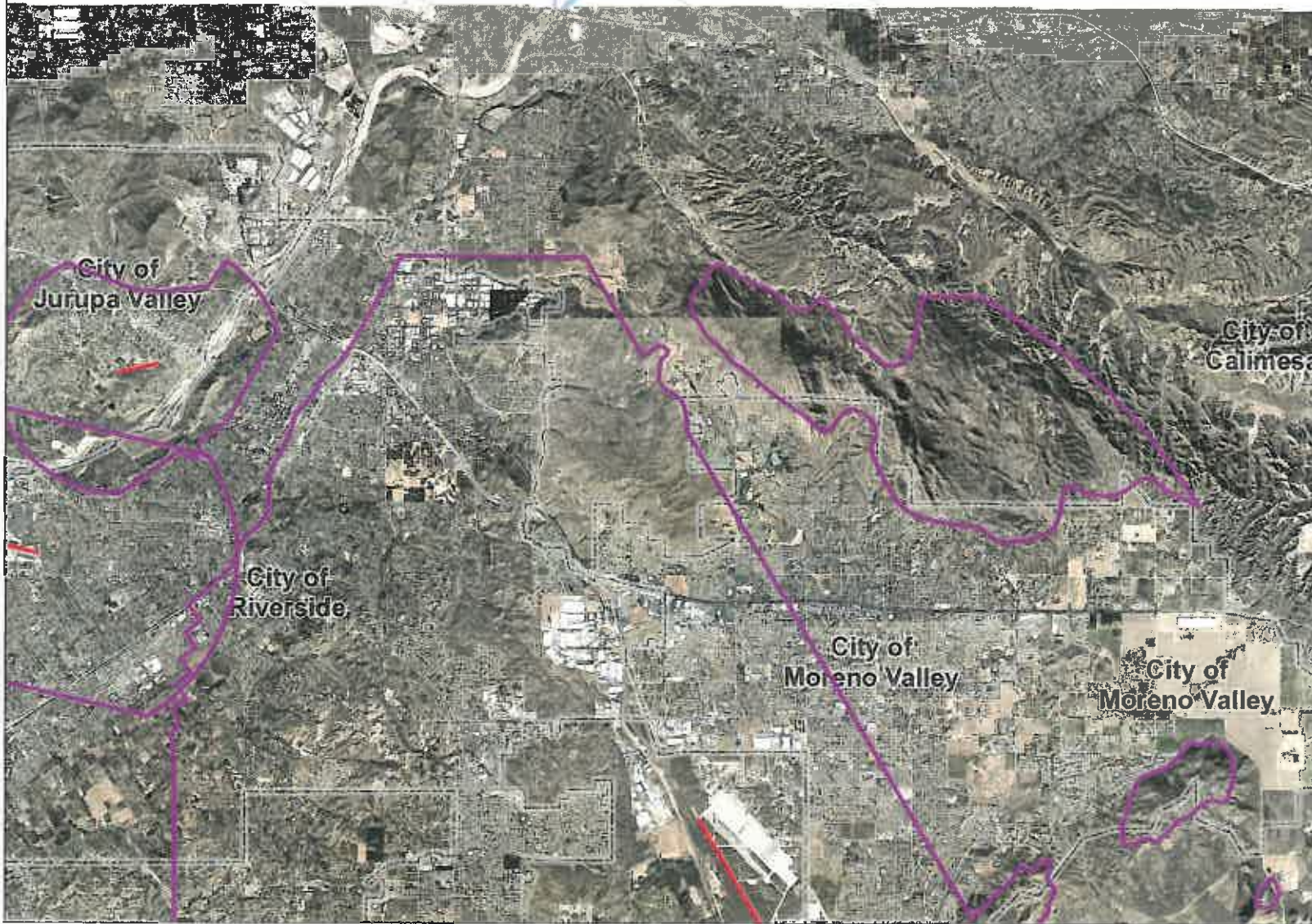
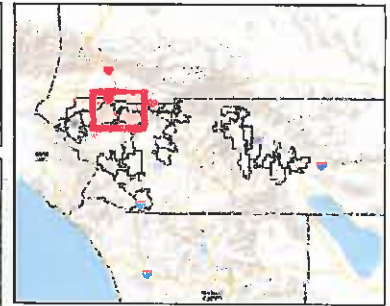
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## Notes

# My Map



## Legend

- AIA
- Runways
- City Boundaries



0 14,252 28,505 Feet



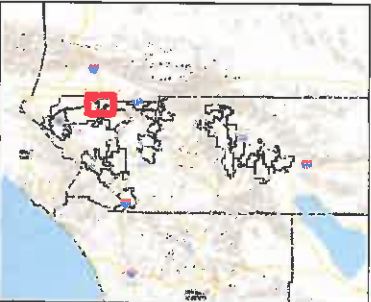
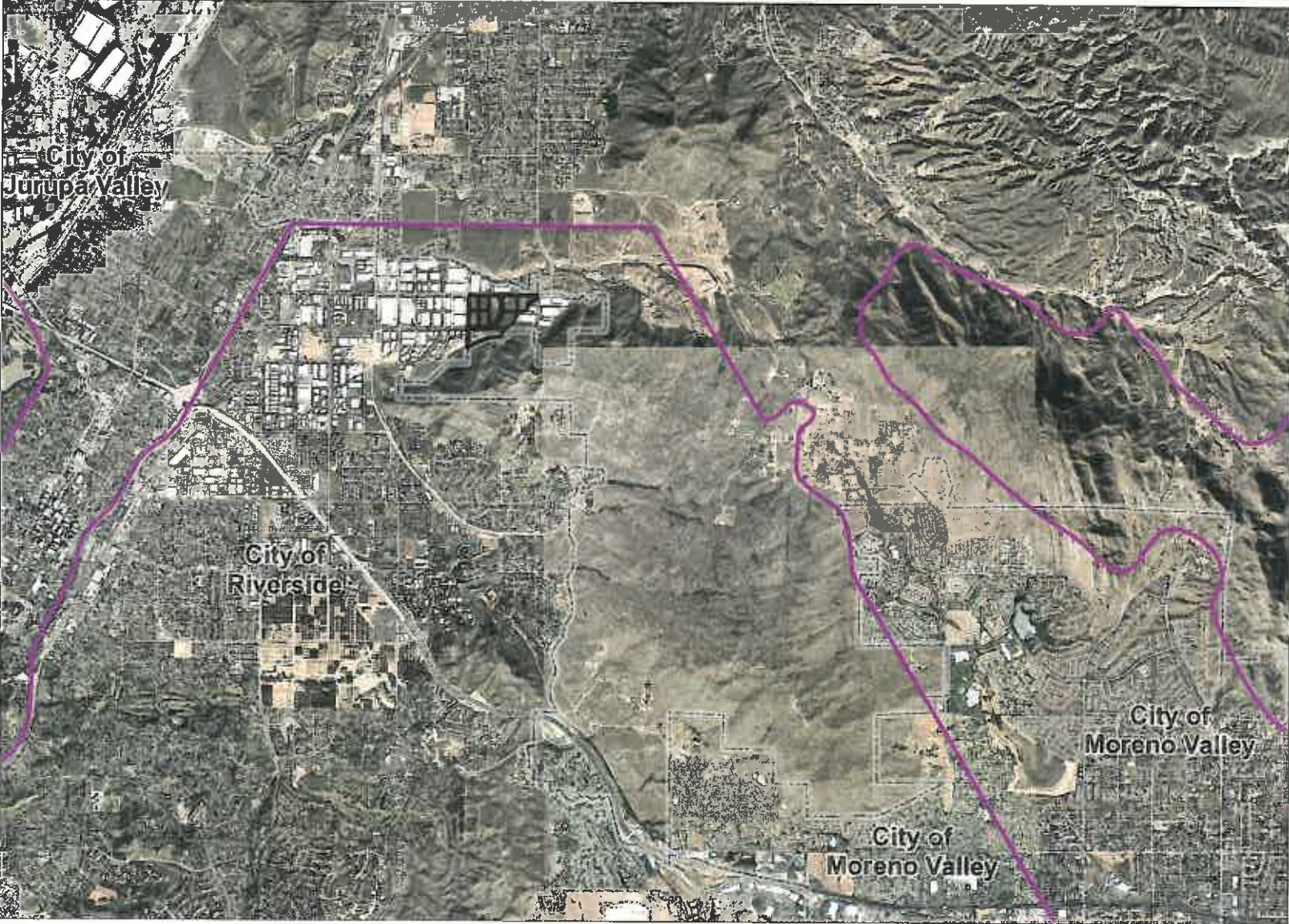
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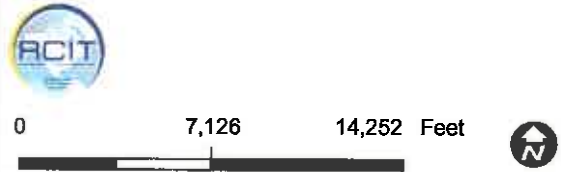
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## Notes

# My Map



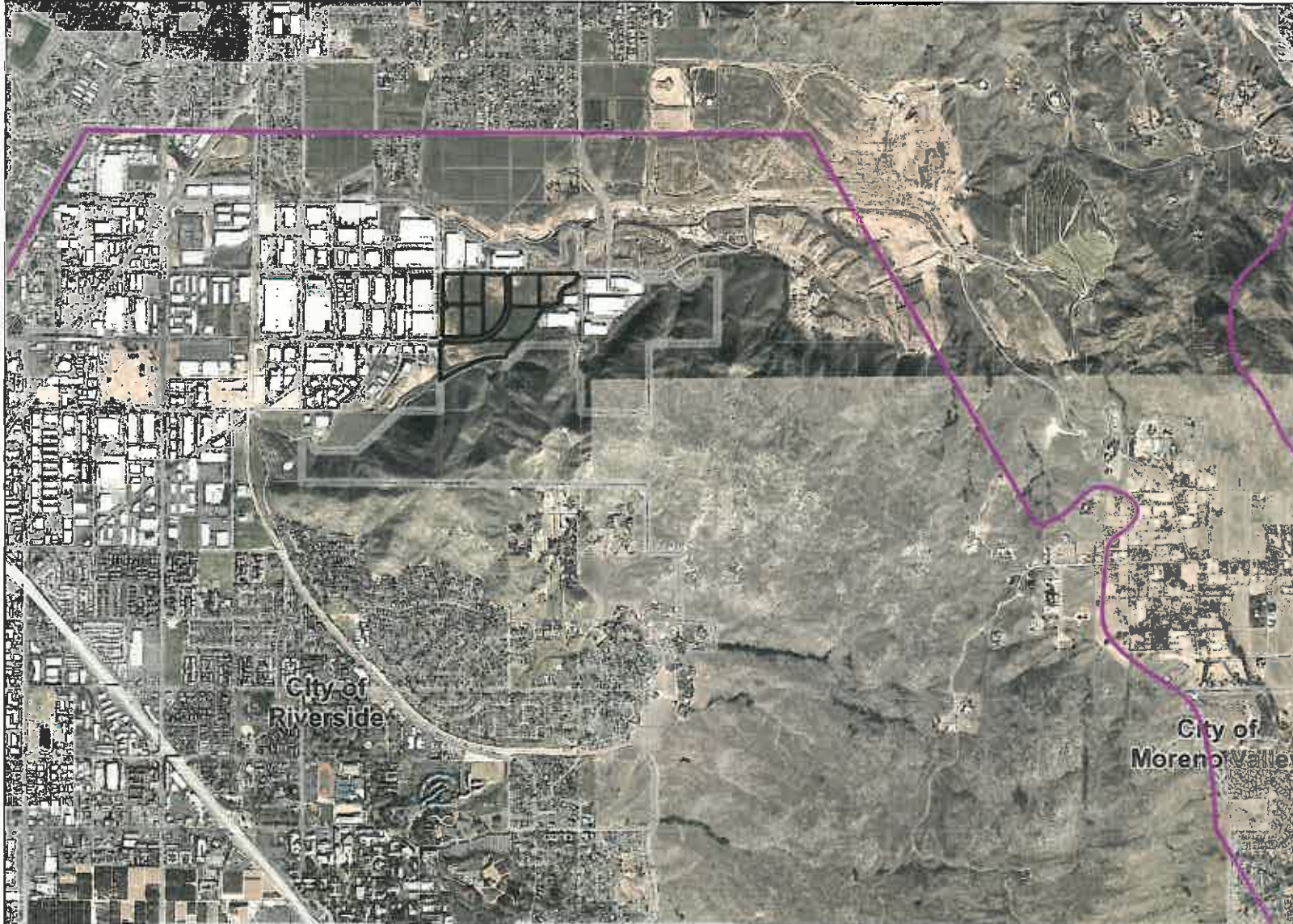
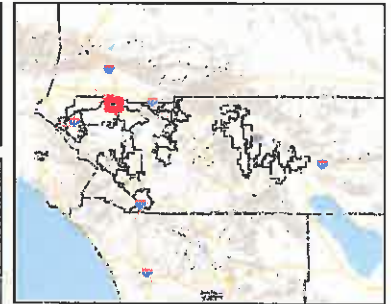
- Legend**
- AIA
  - Runways
  - City Boundaries



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**Notes**

# My Map



## Legend

-  AIA
-  Runways
-  City Boundaries



0 3,563 7,126 Feet



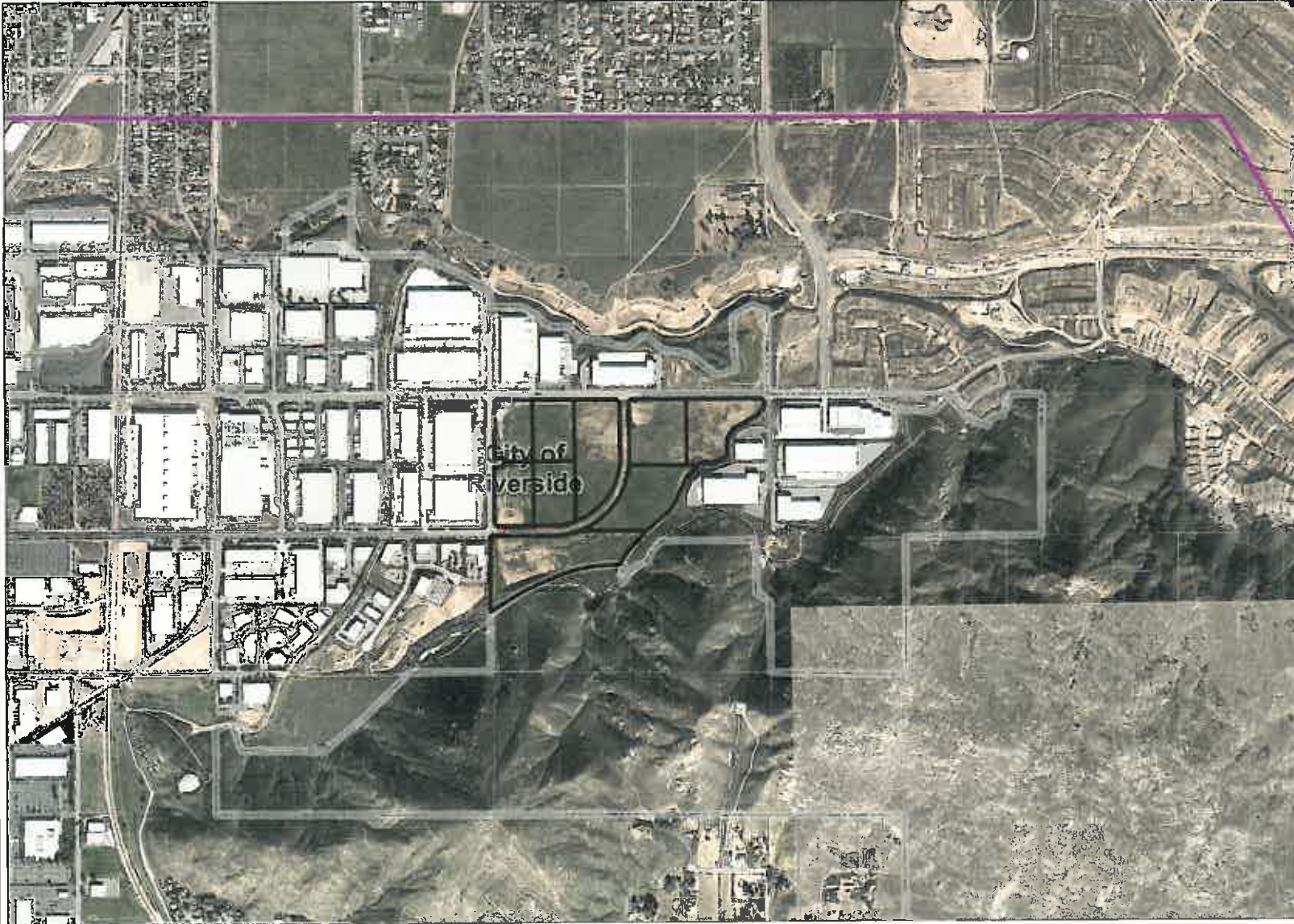
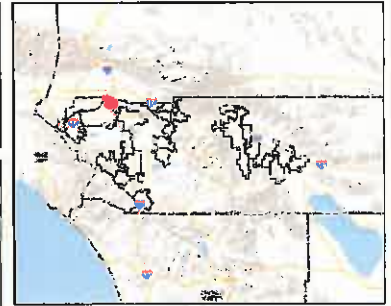
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## Notes

# My Map



## Legend

- RCLIS Parcels
- AIA
- Runways
- City Boundaries

## Notes



0 1,782 3,563 Feet



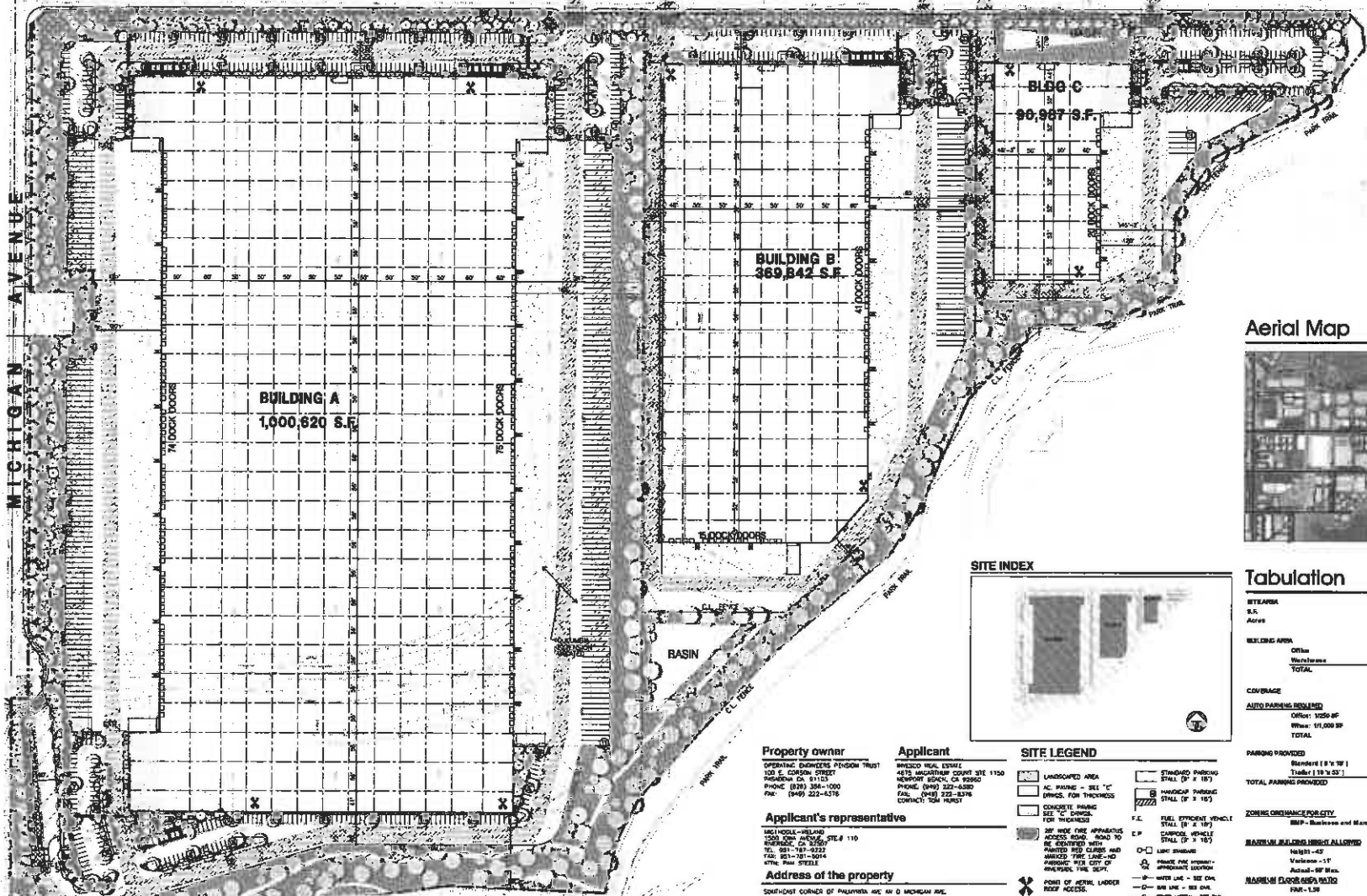
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PALMYRITA AVENUE

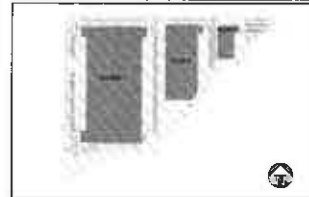
MICHIGAN AVENUE



Aerial Map



SITE INDEX



Tabulation

ITEMS	BLDG A	BLDG B	BLDG C	TOTAL
NET AREA	2,014,308	816,787	321,083	3,152,178
Area	48.33	18.90	7.37	73.30
<b>BUILDING AREA</b>				
Other	19,820	9,000	9,000	37,820
Maximum	988,720	383,842	23,887	1,396,449
<b>TOTAL</b>	<b>1,000,620</b>	<b>380,842</b>	<b>90,887</b>	<b>1,462,349</b>
<b>COVERAGE</b>				
	48.0%	45.2%	28.3%	46.2%
<b>AUTO PARKING (REQUIRED)</b>				
Other: 1000 SF	32	32	32	96
Other: 10,000 SF	396	383	43	1421
<b>TOTAL</b>	<b>1048</b>	<b>384</b>	<b>115</b>	<b>1555</b>
<b>PARKING PROVIDED</b>				
Handicapped (8' x 12')	277	107	99	483
Standard (18' x 30')	288	45	23	356
<b>TOTAL PARKING PROVIDED</b>	<b>565</b>	<b>152</b>	<b>122</b>	<b>839</b>

Property owner

OPERATING ENGINEERS PENSION TRUST  
100 E. CORSON STREET  
POMONA, CA 91768  
PHONE: (909) 384-1000  
FAX: (909) 222-4378

Applicant

INVERSO REAL ESTATE  
4875 WASHINGTON COURT STE 1100  
NEWPORT BEACH, CA 92660  
PHONE: (949) 222-6380  
FAX: (949) 222-5274  
CONTACT: TOM HERST

Applicant's representative

MICHAELS-HELAND  
1500 17th AVENUE  
REDWOOD CITY, CA 94063  
PHONE: (650) 932-9200  
FAX: (650) 932-9200  
CONTACT: TOM HERST

Address of the property

SOUTHWEST CORNER OF PALMYRITA AVE. & D MICHIGAN AVE.

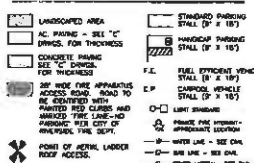
Assessor's Parcel Number

237-046-015 -016 -018 -020 -021 A -022  
237-020-001 -002 A -003

SITE PLAN GENERAL NOTES

- THE SOILS REPORT PREPARED BY SOUTHERN CALIFORNIA GEOTECHNICAL AND SHOULD BE A PART OF THESE CONVEYANCE DOCUMENTS.
- IF TOLLS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
- ALL FOUNDATIONS ARE TO BE CONCRETE ON GRADE. FACE OF CONCRETE CURB ON GRID LINE UNLESS NOTED OTHERWISE.
- SEE "C" DRAWING FOR ALL CONCRETE CURB, GUTTERS AND DRAINS. DETAILS ON SHEET AD-1 ARE USABAS STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM. PRIOR TO INSTALLATION IS AT LEAST 90 DAYS BEFORE FLOOR COMPLETION.
- SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE PAVING STORAGE AWAY FROM BUILDING.
- CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL NECESSARY CONCRETE FINISHES. SEE PLANS FOR FINISHES AND FINISHING POINTS.
- SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE FINISHES TO BE A MINIMUM OF 3" THICK W/ TOLDED JOINTS AT 8' O.C. EXPANSION/CONTRACTION JOINTS SHALL BE A MINIMUM 1/2" DIA. NOT W/ 100 MESH SLIPIC EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" SEE "C" DRAWINGS FOR FINISHES.
- NOT USED.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LINES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND RESTRICTION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC UTILITIES DEVELOPMENT PRIOR TO RESUMPTION OF BUILDING PERMITS.
- PROVIDE TO FINAL CITY INSPECTION THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC UTILITIES DEVELOPMENT.
- NOT USED.
- ALL LANDSCAPE AND IRRIGATION SYSTEMS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN SCHEDULES OR AS DERIVED FROM PUBLIC UTILITIES DEVELOPMENT.
- NOT USED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
- APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING POINTS.

SITE LEGEND



ZONING ORDINANCE FOR CITY

MSB - Business and Manufacturing Pure Zone

MAXIMUM BUILDING HEIGHT ALLOWED

Height - 40  
Maximum - 17  
Actual - 50 Max.

NAPLES FIRE DEPT. PERMITS

1988 - 199

Utilities

WATER: CITY OF RIVERSIDE WATER  
1235 WASHINGTON ST  
RIVERSIDE, CA 92501  
(951) 947-2200

ELECTRICITY: SO. CAL. EDISON  
P.O. BOX 9040  
RANCHO CUCAMONGA, CA 91728  
(909) 548-3345

SEWER: INVERSO  
2555 S. G ST  
RIVERSIDE, CA 92504  
(951) 628-3311

CITY OF RIVERSIDE  
1235 WASHINGTON ST  
RIVERSIDE, CA 92501  
(951) 947-2200

PHONE: 9747  
3507 7TH ST  
RIVERSIDE, CA 92503  
(951) 363-0000

Project Information/Building Data

Zoning: MSB - Business and Manufacturing Pure Zone

CONSTRUCTION TYPE: 3-1/2

OCCUPANCY: S-1/2 School

General Plan: 2000 - 2005

Planning Dept Case # 12-008

Automatic Fire Sprinkler: YES

Overall Site Plan: A1.1

Overall Site Plan: A1.1

Overall Site Plan: A1.1

HPA  
Tpa, Inc.  
18331 Harbor Drive - #6, #100  
Folsom, CA 95610  
Tel: 916-933-1770  
Tel: 916-933-0651  
Email: tpa@hpachicago.com



Owner:

OPERATING ENGINEERS PENSION TRUST  
100 East Corson Street, Suite 400  
Pomona, CA 91768  
91703  
Tel: 909.384.1000  
Fax: 909.384.1065

Project:  
COLUMBIA BUSINESS CENTER

Palmyrita & Michigan Ave  
Riverside, CA 92507

Consultants:  
Thames Engineers  
TBD  
TBD  
Degré Mac  
WILSON  
TBD  
So. Cal. Geotechnical

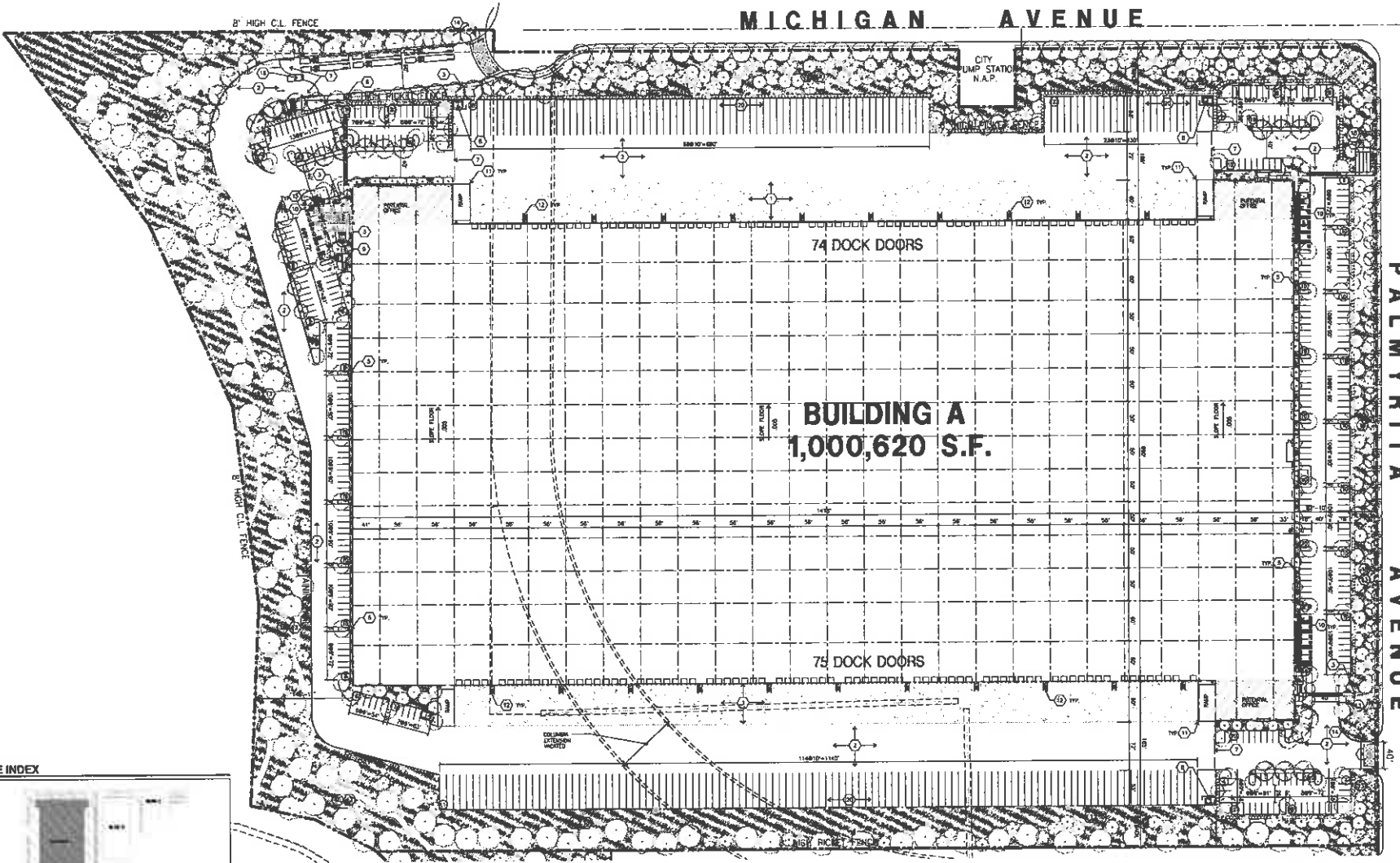
Title: overall site plan

Project Number: 12162  
Drawn by: Sandford  
Date: October 7, 2013  
Revised: 02/17/2014

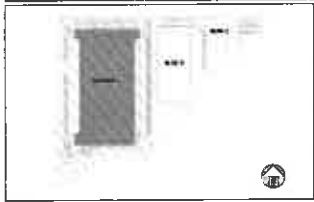
Sheet: A1.1

Overall Site Plan: A1.1

THESE DRAWINGS ARE NOT INTENDED FOR BIDDING, SPECIFICATIONS, OR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL INFORMATION FROM THESE DRAWINGS.



SITE INDEX



AERIAL MAP



MICHIGAN AVENUE

PALM YRITTA AVENUE

**BUILDING A**  
1,000,620 S.F.

74 DOCK DOORS

75 DOCK DOORS

ENLARGED SITE PLAN  
1" = 40' - 0"

**SITE PLAN GENERAL NOTES**

1. THE SOILS REPORT PREPARED BY SOUTHERN CALIFORNIA ENGINEERING, AND SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
2. IF SOILS ARE DRAINAGE IN NATURE, USE STEEL REINFORCEMENT FOR ALL SITES CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL FACE OF CONCRETE CURB OR GRID LINE UNLESS OTHERWISE NOTED.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SPALLS. DETAILS ON SHEET AD-1 ARE MINIMUM STANDARDS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM. PRIOR TO INSTALLATION IN AT LEAST 60 DAYS BEFORE BLDG. COMPLETION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO GET-UP LINES. FUTURE CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND SHARING LAYOUT TABLES.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL CONDOUR/COVER DIMENSIONS. SEE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT TABLES.
9. SEE "C" DRAWINGS FOR FRESH GRADE ELEVATIONS.
10. CONCRETE REINFORCES TO BE A MINIMUM OF 4" THICK W/ TYPICAL SPACING AT 6" O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MINIMUM 12" DIA. W/ 1/2" MAX. SLOPE EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "C" DRAWINGS FOR FRESH.
11. NOT USED.
12. PAINT CURBS AND PROVIDE RIDES TO MATCH OF FINE LINES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED.
16. ALL LANDSCAPE AND IRRIGATION DESIGN SHALL MEET CURRENT CITY STANDARDS AS LATEST IN GUIDELINES BY AS DETERMINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM 30" HIGHSIDE (12") HIGH CURB.
19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO DRAWING PERMIT.

**SITE LEGEND**

- LANDSCAPED AREA
- CONCRETE PAVING SEE "C" DRAWINGS FOR THICKNESS
- SEE W/RE FRESH APPROVED ACCESS ROAD. ROAD TO BE COVERED WITH PAVED RED CURB AND MARKED FRESH LINE-AND-STRIPING PER CITY OF IRVINE'S FIRE DEPT.
- POINT OF AERIAL LADDER ROOF ACCESS
- STANDARD PARKING STALL (9' X 18')
- HEAVY DUTY PARKING STALL (9' X 18')
- FIRE EFFICIENT WORK STALL (9' X 18')
- CAMPUS VEHICLE STALL (9' X 18')
- LIGHT PARKING
- MINIMAL FIRE RESISTANT APPROXIMATE LOCATION
- WALK LINE - SEE CIVIL
- JOB LINE - SEE CIVIL
- WORK LATER - SEE CIVIL

**SITE PLAN KEYNOTES**

1. HEAVY BROOM FINISH CONC. PAVEDMENT.
2. ASPHALT CONCRETE (AC) PAVING
3. CONCRETE WALKWAYS
4. DRIVEWAY APPROX. TO BE CONSTRUCTED PER "C" DRAWINGS.
5. 8'-0" x 4'-0" MIN. THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. LANDING TO BE HEAVY BROOM FINISH.
6. SLOPE TO BE 1/4" = 12" MAX. W/ 1/2" MAX. AS REQ. BY CITY INSPECTOR.
7. PROVIDE WALK WAY AT SIDE ACCESS TO PUBLIC ROW. LOOK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
8. TRASH ENCLOSURE
9. EMPLOYEE BREAK/LUNCH PAD. SEE LANDSCAPE PLANS.
10. PRE-CAST CONC. WHEEL STOP
11. CONC. FILLED ROAD STOP "6" DIA. UNAD. 42" H.

**TABULATION**

Sheet No.	Description	Scale
001	001 - 002	1/4" = 10' - 0"
002	003 - 004	1/4" = 10' - 0"
003	005 - 006	1/4" = 10' - 0"
004	007 - 008	1/4" = 10' - 0"
005	009 - 010	1/4" = 10' - 0"
006	011 - 012	1/4" = 10' - 0"
007	013 - 014	1/4" = 10' - 0"
008	015 - 016	1/4" = 10' - 0"
009	017 - 018	1/4" = 10' - 0"
010	019 - 020	1/4" = 10' - 0"
011	021 - 022	1/4" = 10' - 0"
012	023 - 024	1/4" = 10' - 0"
013	025 - 026	1/4" = 10' - 0"
014	027 - 028	1/4" = 10' - 0"
015	029 - 030	1/4" = 10' - 0"
016	031 - 032	1/4" = 10' - 0"
017	033 - 034	1/4" = 10' - 0"
018	035 - 036	1/4" = 10' - 0"
019	037 - 038	1/4" = 10' - 0"
020	039 - 040	1/4" = 10' - 0"
021	041 - 042	1/4" = 10' - 0"
022	043 - 044	1/4" = 10' - 0"
023	045 - 046	1/4" = 10' - 0"
024	047 - 048	1/4" = 10' - 0"
025	049 - 050	1/4" = 10' - 0"
026	051 - 052	1/4" = 10' - 0"
027	053 - 054	1/4" = 10' - 0"
028	055 - 056	1/4" = 10' - 0"
029	057 - 058	1/4" = 10' - 0"
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031	061 - 062	1/4" = 10' - 0"
032	063 - 064	1/4" = 10' - 0"
033	065 - 066	1/4" = 10' - 0"
034	067 - 068	1/4" = 10' - 0"
035	069 - 070	1/4" = 10' - 0"
036	071 - 072	1/4" = 10' - 0"
037	073 - 074	1/4" = 10' - 0"
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039	077 - 078	1/4" = 10' - 0"
040	079 - 080	1/4" = 10' - 0"
041	081 - 082	1/4" = 10' - 0"
042	083 - 084	1/4" = 10' - 0"
043	085 - 086	1/4" = 10' - 0"
044	087 - 088	1/4" = 10' - 0"
045	089 - 090	1/4" = 10' - 0"
046	091 - 092	1/4" = 10' - 0"
047	093 - 094	1/4" = 10' - 0"
048	095 - 096	1/4" = 10' - 0"
049	097 - 098	1/4" = 10' - 0"
050	099 - 100	1/4" = 10' - 0"

**HPA**  
HPL, Inc.  
10311 Harbor Avenue - Ste. #100  
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email: hpl@hplparcra.com

**Operating Engineers**  
Professional Engineer  
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Fax: 626-356-1066

**Project:**  
**COLUMBIA BUSINESS CENTER**

PalmYritta & Michigan Ave  
Irvine, CA 92617

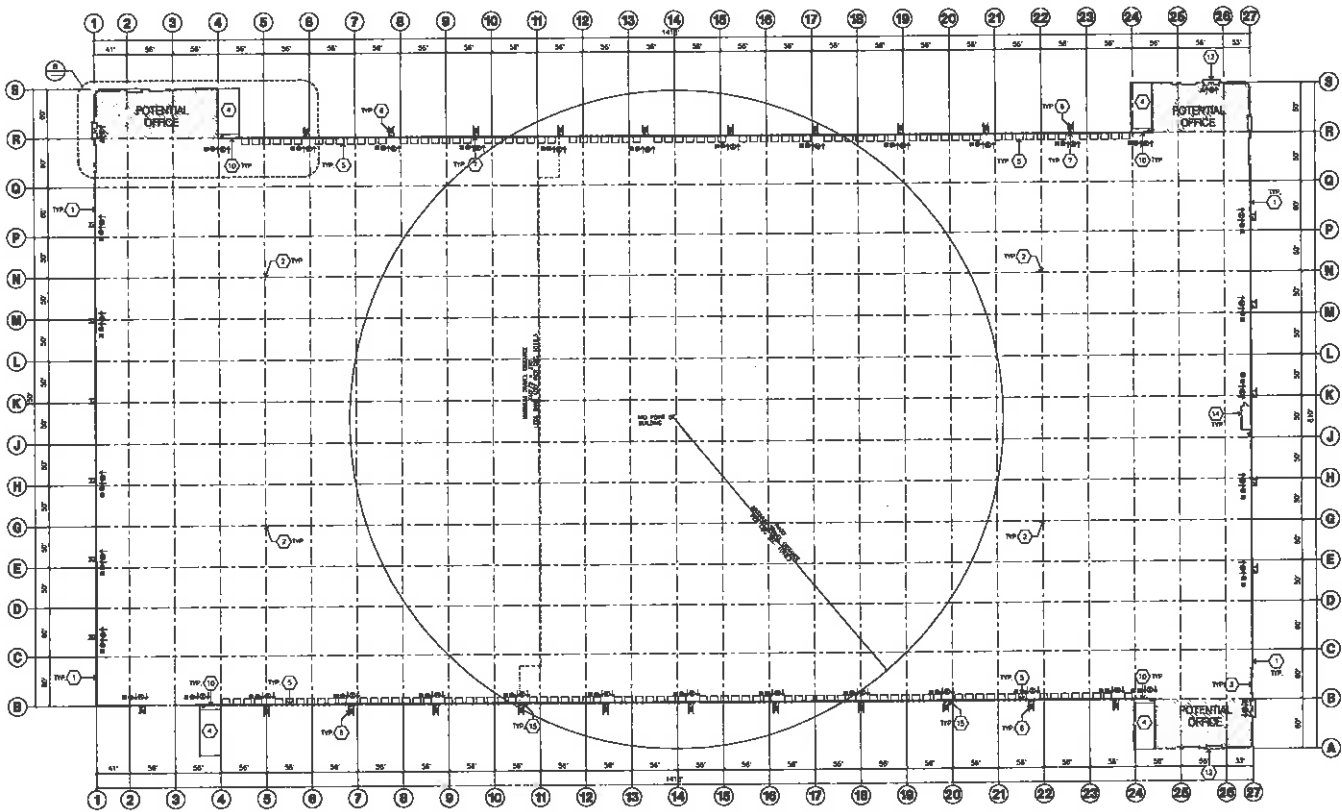
**Consultants:**  
Thomas Engineers  
TBD  
TBD  
TBD  
Design W/it  
WILSON  
TBD  
So. Cal Geotechnical

**Title:** enlarged site plan

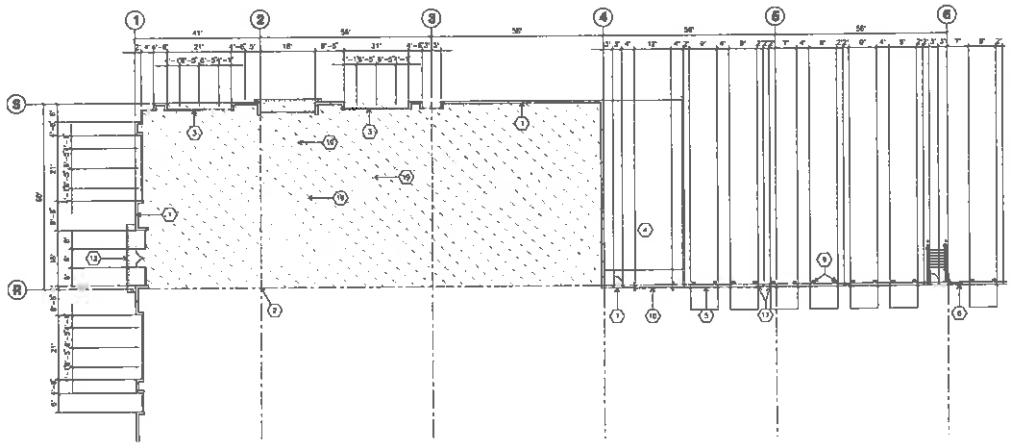
**Project Number:** 12162  
**Drawn by:** Standish  
**Date:** October 7, 2013  
**Revision:** 02/17/2014

**Sheet:** A-A1.1

THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL TESTS TAKEN FROM THESE DRAWINGS.



OVERALL FLOOR PLAN  
DATE: 1/10/13



ENLARGED FLOOR PLAN  
DATE: 1/10/13

**KEYNOTES - FLOOR PLAN**

1. CONCRETE RE-UP SHALL BE 1" OVER FOR TOLERANCE AND SHALL BE REFINISHED.
2. STRUCTURAL STEEL COLUMN, SEE "C" INDEX FOR TOLERANCE AND SHALL BE REFINISHED.
3. TYPICAL PROVISIONS APPLY TO ALL WALLS. SEE OFFICE RE-UP AND FINISHING FOR ALL WALLS.
4. CONCRETE SHALL BE 4" WITH ONE BAG OF AIR ENTRAINMENT PER CUMULATIVE WEIGHT OF ALL AGGREGATE.
5. REINFORCEMENT SHALL BE #4 @ 12" ON CENTER.
6. EXTERIOR CONCRETE SHALL BE 4" WITH ONE BAG OF AIR ENTRAINMENT PER CUMULATIVE WEIGHT OF ALL AGGREGATE.
7. EXTERIOR CONCRETE SHALL BE 4" WITH ONE BAG OF AIR ENTRAINMENT PER CUMULATIVE WEIGHT OF ALL AGGREGATE.
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27. EXTERIOR CONCRETE SHALL BE 4" WITH ONE BAG OF AIR ENTRAINMENT PER CUMULATIVE WEIGHT OF ALL AGGREGATE.

**GENERAL NOTES - FLOOR PLAN**

- A. THE BUILDING IS DESIGNED FOR WIND AND SEISMIC UP TO THE ACCESSIBLE FLOOR LEVEL. ALL STRUCTURAL MEMBERS SHALL BE REINFORCED FOR WIND AND SEISMIC.
- B. THE FLOOR SYSTEM SHALL BE APPROVED FOR THE SEISMIC DESIGN.
- C. THE BUILDING FLOOR SLAB IS SUPPORTED BY "C" DIMENSIONS FOR FRAME BEARING ELEMENTS.
- D. SEE PLAN FOR ALL DIMENSIONS.
- E. DIMENSIONS BETWEEN EXISTING WALLS ARE SHOWN IN RED. DIMENSIONS BETWEEN EXISTING WALLS AND NEW WALLS ARE SHOWN IN GREEN. DIMENSIONS BETWEEN NEW WALLS ARE SHOWN IN BLUE.
- F. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- G. SEE PLAN FOR ALL DIMENSIONS TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- H. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- I. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- J. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- K. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- L. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- M. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- N. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- O. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
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- Q. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- R. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- S. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- T. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- U. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
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- W. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- X. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- Y. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.
- Z. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALLS UNLESS OTHERWISE NOTED.

**FLOOR SLAB AND POUR STRIPS REQ.**

1. FLOOR CONSTRUCTION - SEE PLAN FOR ALL DIMENSIONS.
2. FLOOR CONSTRUCTION - SEE PLAN FOR ALL DIMENSIONS.
3. FLOOR CONSTRUCTION - SEE PLAN FOR ALL DIMENSIONS.
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26. FLOOR CONSTRUCTION - SEE PLAN FOR ALL DIMENSIONS.
27. FLOOR CONSTRUCTION - SEE PLAN FOR ALL DIMENSIONS.

**DISABLED ACCESS NOTES**

1. EXITS MARKED WITH "E" SHALL BE INSTALLED DIRECTIONAL SIGNAGE AS APPLICABLE TO INDICATE NEAREST ACCESSIBLE EXIT.
2. TACTILE EXIT SIGNS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:
  - a. EACH GRADE-LEVEL EXIT DOOR MARKED WITH "A". THE TACTILE EXIT SIGN SHALL READ "EXIT".
  - b. EACH EXIT DOOR (MARKED WITH "E") THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP. THE TACTILE EXIT SIGN SHALL READ "EXIT STAIR DOWN".
3. EXIT SIGN SHALL BE PROVIDED PER IBC SECTION 1011.
4. AT LEAST 1' FOOTCANDLE OF LIGHT AT FLOOR LEVEL SHALL BE PROVIDED TO MEANS OF EGRESS FROM ALL OCCUPIED PARTS OF THE BUILDING.

**SITE INDEX**



HPA, Inc.  
18831 Bardone Avenue - Ste. 4100  
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Tel: 949-463-1770  
Fax: 949-463-0851  
email: hpa@hpa.com

---

Owner:

---

**OPERATING ENGINEERS**  
PIONEER TRUST  
100 East Coast Street, Suite 400  
Orange, CA 92668  
61100  
Tel: 714-356-1075  
Fax: 714-356-1093

---

Project:  
**COLUMBIA BUSINESS CENTER**  
Palmyra & Midway Ave  
Riverside, CA 92507

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Consultants:  
Thames Engineers  
TBD  
TBD  
TBD  
Daryl Tracy  
WILSON  
TBD  
So Cal Geotechnical

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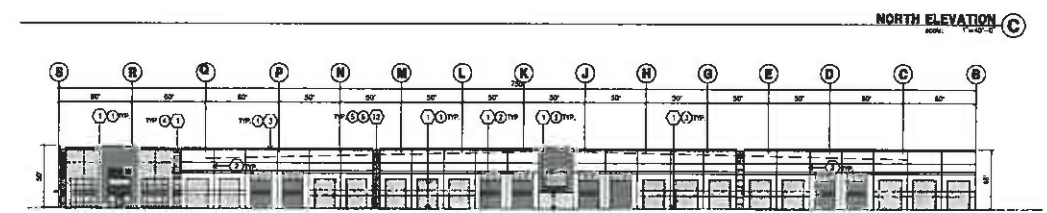
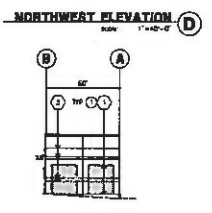
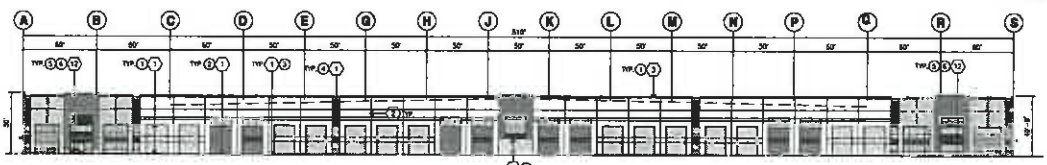
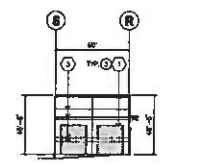
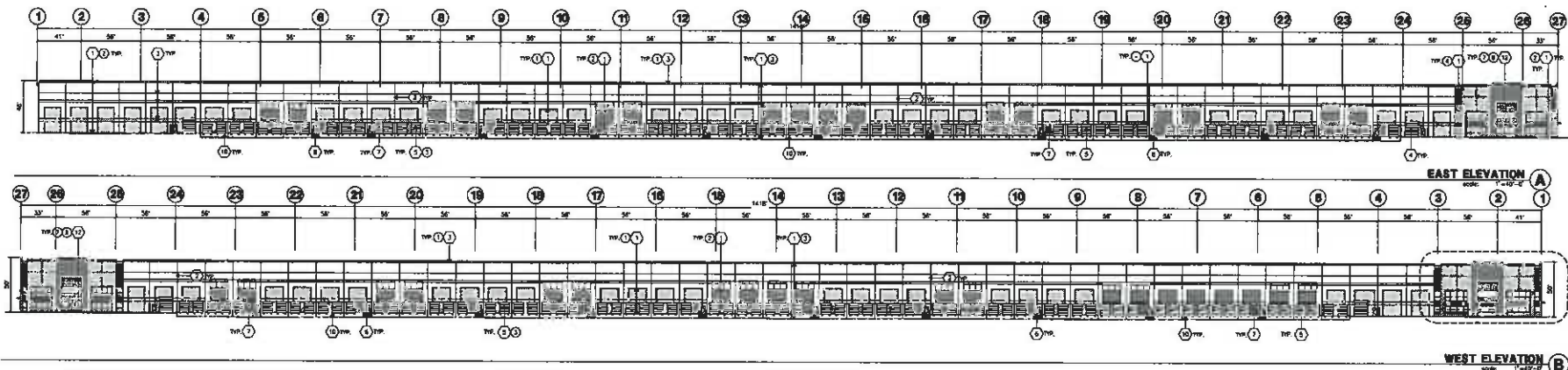
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Project Number: 12182  
Drawn by: Sasthavel  
Date: October 7, 2013  
Revised: \_\_\_\_\_  
Sheet: 02/17/01-4

Sheet:  
**A-A2.1**

THESE DRAWINGS ARE NOT INTENDED FOR REPRODUCTION, REUSE, OR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL WORK SHOWN FROM THESE DRAWINGS.





**KEYNOTES - ELEVATIONS**

1. CONCRETE SET-UP PANELS, PAINT BRUSH, PRIMER ON HERE
2. CONCRETE SET-UP PANEL, PAINT BRUSH, PRIMER ON HERE
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**GENERAL NOTES - ELEVATIONS**

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**COLOR SCHED. - ELEVATIONS**

- 1. CONCRETE SET-UP PANEL, PAINT BRUSH, PRIMER ON HERE
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**GLAZING LEGEND**

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**ENLARGE WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

Inc. Inc.  
1851 bascom avenue - san. #100  
19012  
tel: 916-881-1770  
fax: 916-881-0661  
email: hpa@hpa.com

Owner:

**OPERATING ENGINEERS**  
FORUM THORNTON  
100 west coastway, suite 400  
pasadena, ca  
91103  
tel: 626-356-1075  
fax: 626-256-1965

Project:

**COLUMBIA BUSINESS CENTER**

Palyto & Michigan Ave  
Riverside, CA 92507

Consultants:

Thames Engineers  
TBO  
TBO  
Dagly West  
WILSON  
TBO  
So. Cal Geotechnical

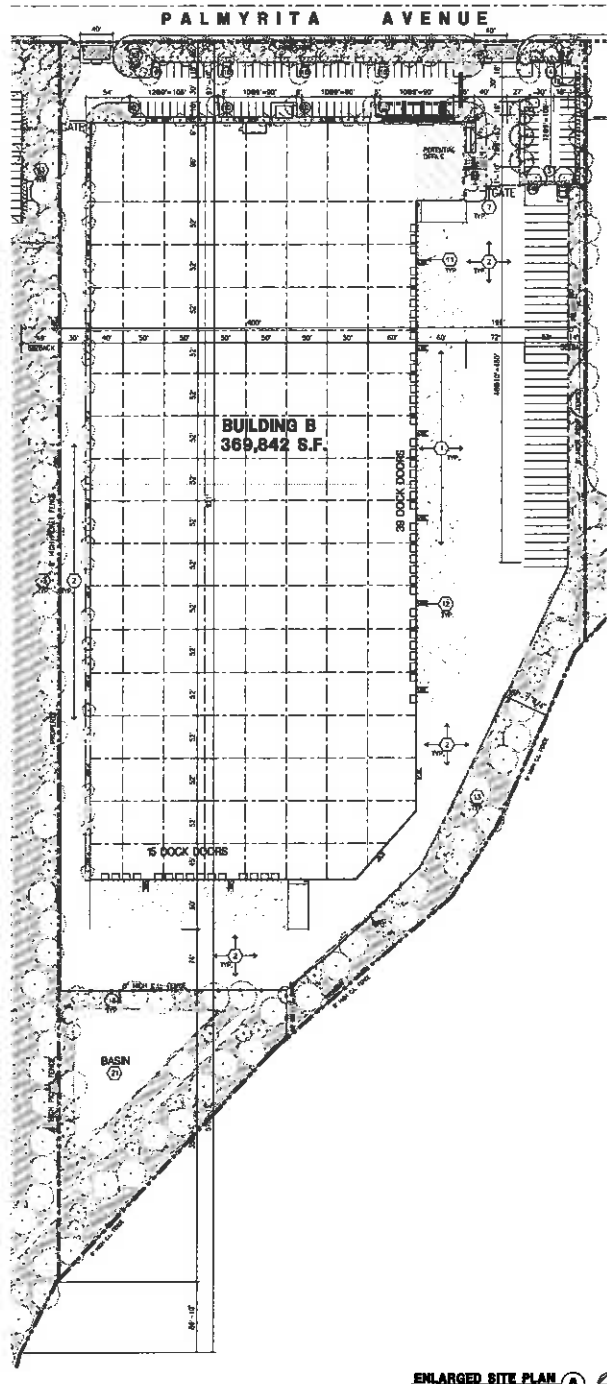
Title: elevation

Project Number: 12182  
Drawn by: Sandhoff  
Date: October 7, 2013  
Revised: 03/17/2014

Sheet:

**A-A3.1**

THESE DRAWINGS ARE NOT INTENDED FOR BIDDING, SHOP DRAWINGS, OR CONSTRUCTION PURPOSES. THE CLIENT/OWNER SHALL ASSUME FULL RESPONSIBILITY FOR ALL RISKS MADE FROM THESE DRAWINGS.



ENLARGED SITE PLAN A

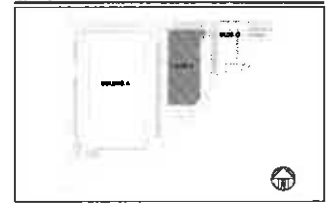
**AERIAL MAP**



**TABULATION**

ITEM	QUANTITY
Sub Area	1.00
Area	369,842
TOTAL	369,842
CONCRETE	15,700
ASPHALT DRIVEWAYS	10,000
ASPHALT DRIVEWAY	10,000
TOTAL	20,000
PAVING	10,000
CONCRETE	10,000
TOTAL	20,000
CONCRETE	10,000
TOTAL	20,000

**SITE INDEX**



**SITE PLAN KEYNOTES**

1. NEW BROOM FINISH CONC. PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING.
3. CONCRETE WALKWAY.
4. DRIVEWAY APPROXS TO BE CONSTRUCTED PER "1" DRAWING.
5. 3'-6" AS-PAVED 4" MIN. THICK CONCRETE EXTERIOR LANDING PAD TOP AT ALL EXTERIOR MAN HOLES TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. SLOPE TO BE 1/4" - 1/2" MAX. PROVIDE WALK TO PUBLIC WALK OR DRIVE WAY W/ 1/20 MAX. AS REQ. BY CITY INSPECTOR.
6. 1" PICKET MAN GATE AT ADA ACCESS TO PUBLIC ROW.
7. PROVIDE METAL, MANUAL OPERATED GATES W/ WIND-PAID LOCK PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY.
8. TRASH ENCLOSURE.
9. EMPLOYEE BREAK/LUNCH PATIOS. SEE LANDSCAPE PLANS.
10. PRE-CAST CONC. WHEEL STOP.
11. CONC. FILLED GUARD POST "6 DIA. U.A.D. 42" H.
12. EXTERIOR CONC. STAIR.
13. LANDSCAPE. SEE "12" DIMS. LANDSCAPE AREAS INDICATED BY SHADED PATTERN.
14. HANDICAPPED ENTRY SIGN.
15. HANDICAPPED PARKING SIGN.
16. GUARD SHACK.
17. APPROXIMATE LOCATION OF THE TRANSFORMER AND GENERATOR.
18. MAX 2:1 SLOPE. SEE CIVL PLANS.
19. CONCRETE SIDEWALK. SEE CIVL PLANS.
20. POROUS PAVEMENT AT TRUCKER STALL FOR WATER RETENTION. SEE CIVL PLANS.
21. WATER QUALITY BASIN. SEE CIVL PLANS.

**SITE LEGEND**

- LANDSCAPED AREA
- AC PAVING - SEE "1" DRWS FOR THICKNESS
- CONCRETE PAVING - SEE "1" DRWS FOR THICKNESS
- 28" WIDE FIRE APPARATUS ACCESS ROAD. ROAD TO BE RESURFACED WITH PAINTED RED CURBS AND MARKED "FIRE LANE-NO PARKING" PER CITY OF RIVERSIDE FIRE DEPT.
- POINT OF AERIAL LADDER ROOF ACCESS.
- STANDARD PARKING STALL (9' X 18')
- HANDICAP PARKING STALL (9' X 18')
- F.I.E. FIELD EFFICIENT VEHICLE STALL (9' X 18')
- C.P. CARPOOL VEHICLE STALL (9' X 18')
- LIGHT STAND
- APPROXIMATE LOCATION
- WATER LINE - SEE CIVL
- DAK LINE - SEE CIVL
- SEWER LATERAL - SEE CIVL

**SITE PLAN GENERAL NOTES**

1. THE SOILS REPORT PREPARED BY SOUTHERN CALIFORNIA GEOTECHNICAL AND SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.A.D.
4. SEE "1" PLANS FOR ALL CONCRETE CURBS, BUTTERS AND SPALLS. DETAIL OF SPURT AS 1 ARE MINIMUM STANDARDS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM. PRIOR TO INSTALLATION # AT LEAST 60 DAYS BEFORE BIDDING COMPLETION.
6. SEE "1" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS AND DEPT. RECORDS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "1" DRAWINGS.
8. CONTRACTOR TO REFER TO "1" DRAWINGS FOR ALL HORIZONTAL UTILITY DIMENSIONS. SITE PLANS ARE FOR LOCATION AND STARTING LAYOUT POINTS.
9. SEE "1" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOSSED JOINTS AT 8' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. W/ W/ 1/20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4" SEE "1" DRAWINGS FOR FINISH.
11. NOT USED.
12. PAVE CURBS AND PROVIDE SIGNS TO NOTIFY OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL OBTAIN A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED.
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN QUANTITIES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO GRADING PERMIT.

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---

Owner:

**OPERATING ENGINEERS**  
PENSION TRUST

100 east center street, suite 400  
Pasadena, CA 91103  
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---

Project:

**COLUMBIA BUSINESS CENTER**

Palmyrita & Michigan Ave  
Pasadena, CA 91107

---

Consultants:

Thames Engineers  
T80  
T80  
T80  
Design West  
WILSON  
T80  
So. Cal Geotechnical

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Title:

enlarged site plan

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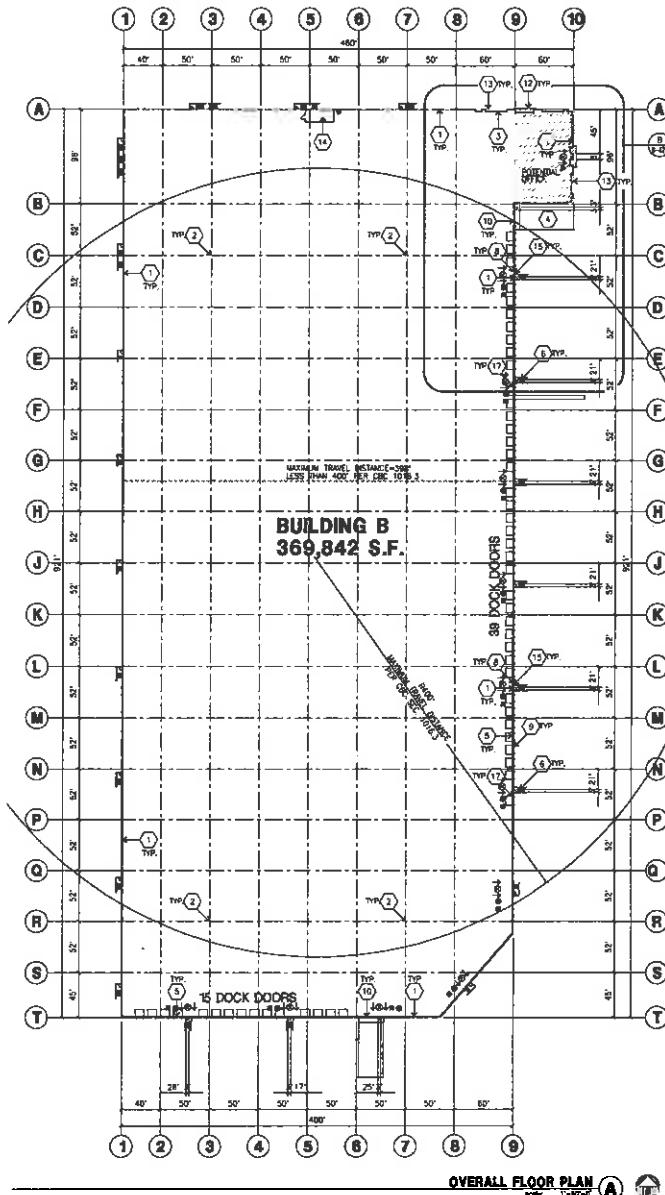
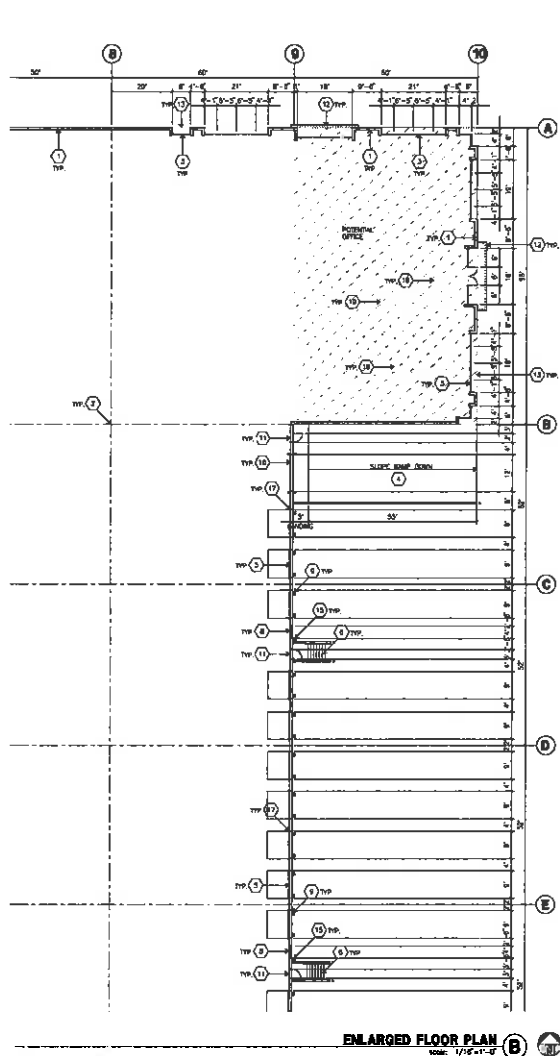
Project Number: 12182  
Drawn by: Seronov  
Date: October 7, 2013  
Revision: 00172014

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Sheet:

**B-A1.1**

THESE DRAWINGS ARE NOT INTENDED FOR REPRODUCTION OR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL WORK MADE FROM THESE DRAWINGS.



**KEYNOTES - FLOOR PLAN**

1. CONCRETE SLAB PANEL, SEE "T" DIMS FOR THICKNESS AND STEEL REINFORCEMENT
2. STRUCTURAL STEEL COLUMN, SEE "T" DIMS FOR SIZE
3. FINISH, STRUCTURE, PARTITION AND CEILING, SEE OFFICE, BREAK-UP AND ELEVATIONS FOR SIZE, COLOR AND FINISH
4. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH
5. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH
6. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH
7. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH
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29. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH
30. CONCRETE FLOOR, SEE "T" DIMS FOR FINISH

**GENERAL NOTES - FLOOR PLAN**

1. THE BUILDING IS DESIGNED FOR HIGH WIND LOADS AND THE DESIGN WIND SPEED AT 50' WIND SPEED IS 140 MPH. A SEPARATE PANEL WILL BE REQUIRED FOR WIND ENGINEERING STUDY.
2. THE HIGH LOADS SHALL BE APPROVED FOR THE DEPARTMENT.
3. THE BUILDING FLOOR PLAN IS BASED ON THE "T" DIMS FOR THE FINISH SURFACE DIMENSIONS.
4. NOT SHOWN.
5. UNLESS OTHERWISE NOTED, ALL WALLS AND PARTITIONS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON METAL STUDS.
6. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON METAL STUDS.
7. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON METAL STUDS.
8. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON METAL STUDS.
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30. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD ON METAL STUDS.

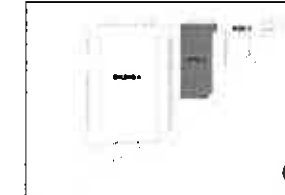
**FLOOR SLAB AND POUR STRIPS REQ.**

1. THESE ROOMS ARE MEANT FOR FLOORING. SEE "T" DIMS FOR APPROXIMATE DIMENSIONS.
2. FLOOR FINISHES - SEE SPECIFICATIONS.
3. FINISH DIMENSIONS - SEE SPECIFICATIONS.
4. FINISH DIMENSIONS - SEE SPECIFICATIONS.
5. FINISH DIMENSIONS - SEE SPECIFICATIONS.
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28. FINISH DIMENSIONS - SEE SPECIFICATIONS.
29. FINISH DIMENSIONS - SEE SPECIFICATIONS.
30. FINISH DIMENSIONS - SEE SPECIFICATIONS.

**DISABLER ACCESS NOTES**

1. EXITS MARKED WITH "E" SHALL BE INSTALLED DIRECTIONAL SIGNAGE BY ARROW TO INDICATE NEAREST ACCESSIBLE EXIT.
2. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
  - a. EACH GRADE-LEVEL EXIT DOOR MARKED WITH "A". THE TACTILE EXIT SIGN SHALL READ "EXIT".
  - b. EACH EXIT DOOR MARKED WITH "E" TO THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP. THE TACTILE EXIT SIGN SHALL READ "EXIT STAIR DOWN".
3. EXIT SIGN SHALL BE PROVIDED PER CBC SECTION 1011.
4. AT LEAST 1' FOOTCANDLE OF LIGHT AT FLOOR LEVEL SHALL BE PROVIDED TO MEANS OF ESCAPE FROM ALL OCCUPIED PARTS OF THE BUILDING.

**SITE INDEX**



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 100 West Ocean Street, Suite 400  
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Project:  
**COLUMBIA BUSINESS CENTER**  
 Palmyra & Michigan Ave  
 Riverside, CA 92507

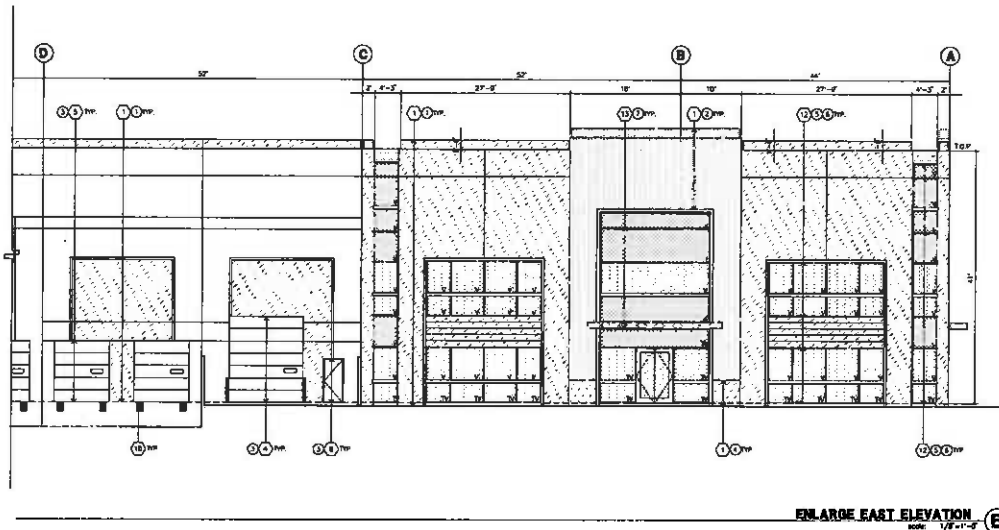
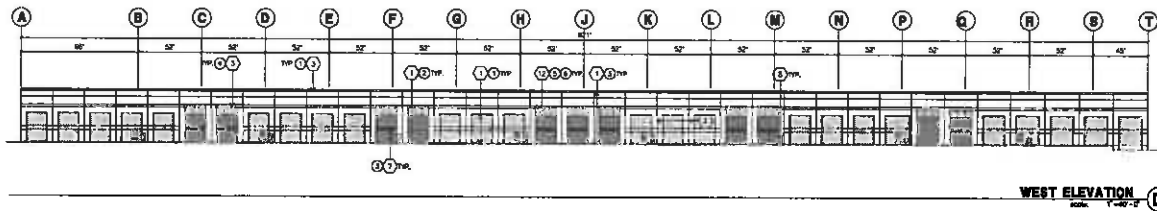
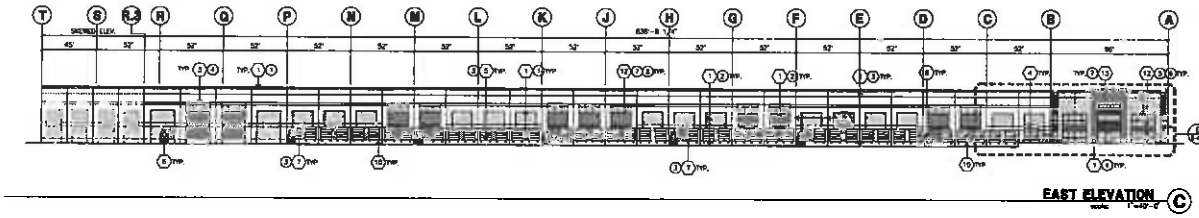
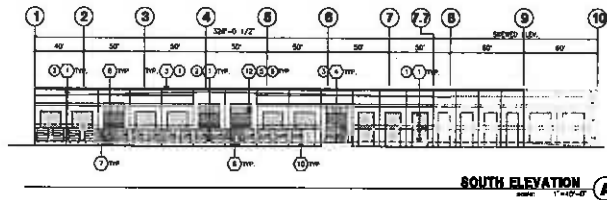
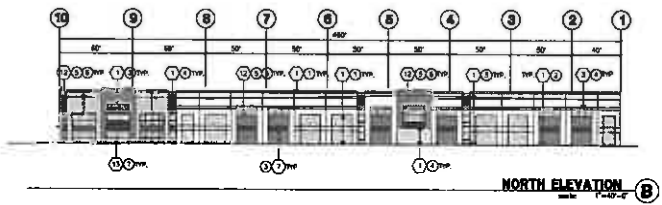
Consultants:  
 Thomas Engstrom  
 TEO  
 TEO  
 Design West  
 WILSON  
 TEO  
 So. Cal Geotechnical

Title: Building B floor plans

Project Number: 12182  
 Drawn by: Sansorn  
 Date: October 7, 2013  
 Revision: 02/17/2014

Sheet: **B-A2.1**

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**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANELS/PARTS. FROM BRUSH MARKS. SEE "C" PANELS. INTERSECT ALL WALLS WHERE CORNER OF HEIGHT AND EXPOSED TO THE WEATHER AND SOIL. INTERSECTING TO BE PROTECTED WITH PROTECTIVE BRUSH AND A LINE OF 3/8" CHANNEL. FINISH WITHIN DRAW AT BOTTOM AND SHORTEST TO CORNER OF FACE TO SPINE DRAW. NOT REQUIRED AT CORNER HIGH CONDITION OR AT PAINT WALLS.
- 2 PANEL REVEAL. ALL REVEALS TO HAVE A MIN. OF 1/4" DIMENSION. REVEAL COLOR TO MATCH ADJACENT EXTERIOR FELD COLOR. LEAD TO CORNER.
- 3 WINDOW DOOR & SILL CASING. SEE CORNER SCHEDULE. FINISH TO MATCH WITH WINDOW CASING.
- 4 WINDOW DOOR & SILL CASING. SEE CORNER SCHEDULE. FINISH TO MATCH WITH WINDOW CASING. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL AROUND DESIGN TO RESIST 110 MPH WIND EXPOSURE "C".
- 5 CONCRETE SILL LAMING AND SUBSTRATE BY METAL PART HANGING. PROVIDE METAL SILL LAMING AND SUBSTRATE BY METAL PART HANGING. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL AROUND DESIGN TO RESIST 110 MPH WIND EXPOSURE "C".
- 6 METAL LAMING DESIGN TO RESIST 110 MPH WIND EXPOSURE "C". PAINT TO MATCH BUILDING COLOR.
- 7 HOLLOW METAL DOORS. SEE CORNER SCHEDULE. PROVIDE COMPLETE WEATHER STOPPING ALL WEATHER DOOR. PROVIDE FOR MAX INTERIOR JOIST DOOR. DESIGN TO RESIST 110 MPH WIND EXPOSURE "C".
- 8 EXTERIOR ROOFING AND OVERHUNG ROOFING
- 9 BOOM BRACKET
- 10 CORRODED STEEL COLLARS. SEE P.L.R. PLAN
- 11 ALUMINUM STREETFRONT FINISHES WITH TYPICAL CLADDING IN ALL DOORS. MATERIALS ADJUSTED TO DOORS AND CLADDING WITH BOTTOMS 1/2" TO 1" UP ABOVE. FROM FLOOR FINISHING DESIGN TO RESIST 110 MPH WIND EXPOSURE "C".
- 12 METAL CASING
- 13 LIGHT FIXTURE ELEMENT
- 14 SHIPWY ENAMELED ALUMINUM CORNER
- 15 CONCRETE KICK-OUT PANEL
- 16 INTERIOR ROOFING

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT WORK FINISHES TO OCCUR AT THESE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE P.L.R. UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF FINISH FLOOR ELEVATION.
- D. FINISH FLOOR ELEVATION.
- E. F.F. = FINISH FLOOR ELEVATION.
- F. SUBMITTANT COORDINATION. BRUSH, METAL ATTACHMENTS AND LAMPS SHALL BE COORDINATED TO RESIST 110 MPH WIND EXPOSURE "C".
- G. COORDINATION SHALL VERIFY THAT ALL CONCRETE PARTS BY SELECTED CONTRACTOR SHALL BE ORDERED PRIOR TO PROTECT REMOVAL OF BRUSH.
- H. BACK SIDE OF PROTECTORS TO HAVE SMOOTH FINISH AND BE PAINTED WITH CLAYTONIC PAINT.
- I. FOR FINISHES, SEE ALUM. SPEC. BRUSH SCHEDULE, TO MATCH.
- J. USE ADJACENT BRUSH WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

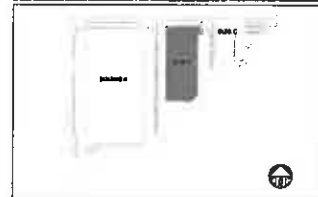
**COLOR SCHED. - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL PAINT BRAND, FINISH: 001 WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRAND, FINISH: 01720 EXCLUSIVE
- 3 CONCRETE TILT-UP PANEL PAINT BRAND, FINISH: 01710 SILVER LEAF
- 4 CONCRETE TILT-UP PANEL PAINT BRAND, FINISH: 01710 SILVER LEAF
- 5 PAINTING PAINT BRAND, COLOR: 001 WHITE
- 6 CLADDING COLOR: 011 REFLECTIVE BLAZING
- 7 METAL CASING COLOR: FINISH: 001 WHITE

**GLAZING LEGEND**

- 1 SPANREL GLASS
- 2 TEMPERED MONO GLASS
- 3 WEAR GLASS

**SITE INDEX**



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 18821 CALIFORNIA AVENUE - STE. #120  
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 92612  
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 FAX: 949-853-0951  
 EMAIL: hpa@hpa.com

C-29451  
 3-31-12  
 SCALE  
 1/4\"/>

**Owner:**

**OPERATING ENGINEERS**  
 PROJECT TEAM  
 100 EAST CORTLAND AVE. SUITE 400  
 IRVINE, CA 92614  
 TEL: 949.395.1075  
 FAX: 949.355.1055

**Project:**

**COLUMBIA BUSINESS CENTER**

Palmdale & Michigan Ave  
 Palmdale, CA 93507

**Consultants:**

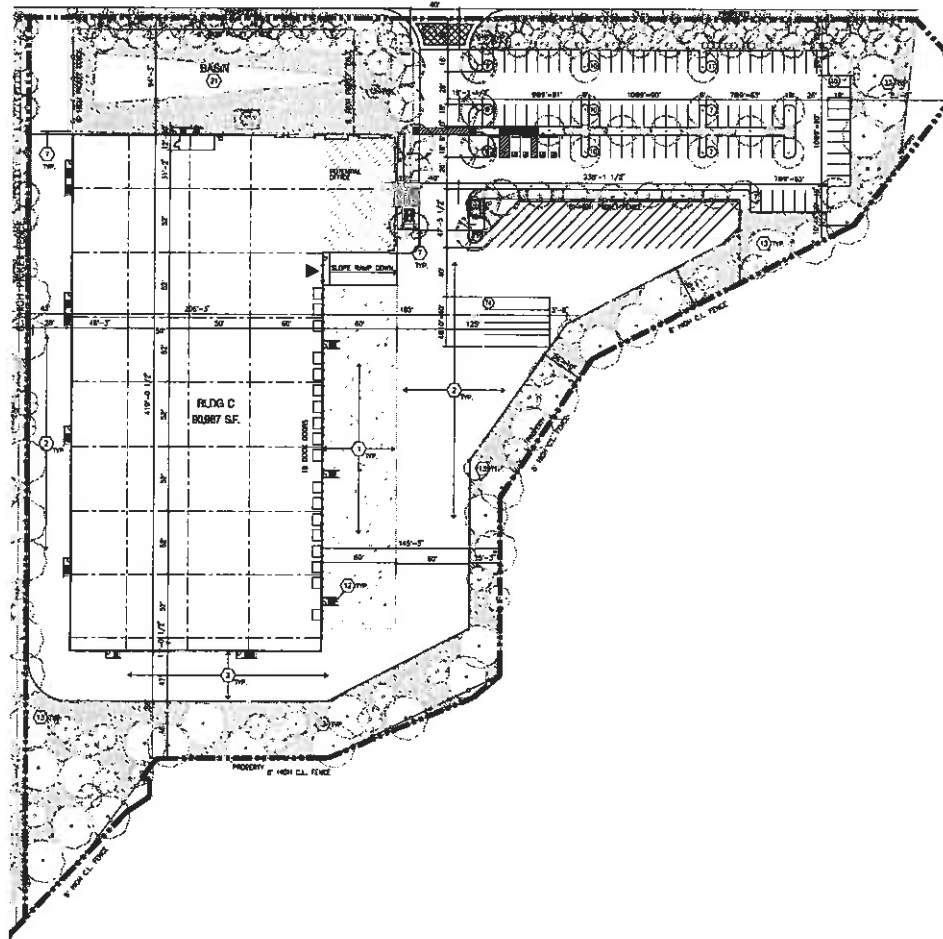
Thomas Engineers  
 TEO  
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 THOMAS WELSON  
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Sheet

**B-A3.1**

Project Number: 12162  
 Drawn by: Bardsley  
 Date: October 7, 2013  
 Revision: 02/17/2014

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**ENLARGED SITE PLAN**  
SCALE: 1/4" = 1'-0"

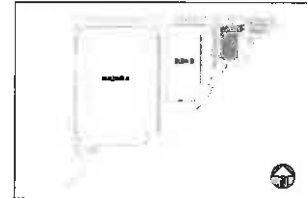
**AERIAL MAP**



**TABULATION**

PLAN AREA	34,111
CONCRETE	1,400
LANDSCAPE	2,500
TOTAL	36,011
CONCRETE	1,400
LANDSCAPE	2,500
TOTAL	36,011
CONCRETE	1,400
LANDSCAPE	2,500
TOTAL	36,011

**SITE INDEX**



**SITE PLAN KEYNOTES**

1. HEAVY BRUSH FRASH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (ACT) PAVING.
3. CONCRETE HALFWAY.
4. DRIVEWAY APRONS TO BE CONSTRUCTED PER "L" DRAWINGS.
5. 2"-8" x 24" x 4" MIN. THICK CONCRETE EXTERIOR LANDING PAD FOR ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BRUSH FRASH. SLOPE TO BE 1/4" PER FOOT TO THE STREET OR TO THE PUBLIC WALK OR DRIVE WAY BY 1/2" MAX. TO BE 1/2" PER FOOT TO THE STREET.
6. 1" FRESH MAN GATE AT ADA ACCESS TO PUBLIC ROW.
7. PROVIDE METAL MANUAL OPERATED GATES W/ KNOB-PAD LOCK PER THE DEPARTMENT STANDARDS PER DRAWING.
8. BRUSH ENCLOSURE.
9. EMPLOYEE BREAK/LUNCH PADSEE LANDSCAPE PLANS.
10. FIRE-CURT CONCRETE WHEEL STOP.
11. CONCRETE FENCED GUARD POST'S ON 1/2" DIA. 1/2" DIA. 4" H.
12. EXTERIOR CONCRETE STAIR.
13. LANDSCAPE SEE "L" OTHER LANDSCAPE AREAS INDICATED BY SHAVED PATTERN.
14. HANDICAPPED ENTRY SIGN.
15. HANDICAPPED PARKING STALL SIGN.
16. GUARD SIGN.
17. APPROXIMATE LOCATION OF THE TRANSFORMER AND CONDUIT.
18. MAX 2:1 SLOPE. SEE CIVIL PLANS.
19. CONCRETE SIDEWALK. SEE CIVIL PLANS.
20. REINFORCE REINFORCE AT WALKER STALL FOR WATER RETENTION. SEE CIVIL PLANS.
21. WATER QUALITY BASIN. SEE CIVIL PLANS.

**SITE LEGEND**

- |  |  |
|--|--|
| LANDSCAPED AREA  | STANDARD PARKING STALL (8' X 10')  |
| AC PAVING - SEE "L" DRAWING FOR THICKNESS  | HANDICAPPED PARKING STALL (8' X 10')   |
| CONCRETE FINISH FOR THICKNESS  | 20' WIDE FIRE APPARATUS ACCESS ROAD TO BE DELINEATED WITH PAINTED RED CURBS AND MARKED "FIRE LANE" THROUGH THE CITY OF PALMDALE FIRE DEPT. |
| 20' WIDE FIRE APPARATUS ACCESS ROAD TO BE DELINEATED WITH PAINTED RED CURBS AND MARKED "FIRE LANE" THROUGH THE CITY OF PALMDALE FIRE DEPT. | APPROXIMATE LOCATION OF THE TRANSFORMER AND CONDUIT  |
| POINT OF AERIAL LARGER REEF ACCESS.  | MAX 2:1 SLOPE - SEE CIVIL PLANS  |
|  | CONCRETE SIDEWALK - SEE CIVIL PLANS  |
|  | WATER QUALITY BASIN - SEE CIVIL PLANS  |
|  | REINFORCE REINFORCE AT WALKER STALL FOR WATER RETENTION - SEE CIVIL PLANS  |

**SITE PLAN GENERAL NOTES**

1. THE SOILS REPORT PREPARED BY SOUTHWEST CALIFORNIA GEOTECHNICAL AND SHOULD BE A PART OF THESE CONTRACT DOCUMENTS.
2. IF SOILS ARE DETERMINED TO BE WEAK, USE STEEL REINFORCING FOR ALL SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL. FACE OF CONCRETE CURBS OR CURB LIKE UNITS.
4. SEE "L" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SPALLS DETAILS ON SHEET 451. THE MINIMUM SLOPES ARE:
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM PRIOR TO INSTALLATION & AT LEAST 90 DAYS BEFORE BEGINS COMPLETION.
6. SEE "L" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "L" DRAWINGS.
8. CONTRACTOR TO REFER TO "L" DRAWINGS FOR ALL HORIZONTAL, VERTICAL, SLOPES. SEE PLANS ARE FOR SLOPES AND STARTING ELEVATIONS.
9. SEE "L" DRAWINGS FOR FRESH BRUSH FRASH FINISHES.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TYPICAL JOINTS AT 8' O.C. EXPANSION/CONTRACTION JOINTS SHALL BE A MAXIMUM 1/2" DIA. W/ 1/2" MAX SLOPE EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". SEE "L" DRAWINGS FOR TRAP.
11. NOT USED.
12. FRESH CURBS AND FINISHES TO BE WITHIN 5' OF FIRE LINES AS REQUIRED BY THE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO RESUMING OF BUILDING PERMIT.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
15. NOT USED.
16. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN ORDINANCES OR AS DETERMINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. NOT USED.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.
19. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO DRIVING PERMIT.

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---

**Project:**

**COLUMBIA BUSINESS CENTER**  
Palmdale & Michigan Ave  
Palmdale, CA 93507

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**Consultants:**

Thomas Engineers  
TBD  
TBD  
TBD  
Design West  
WILSON  
TBD  
So Cal Geotechnical

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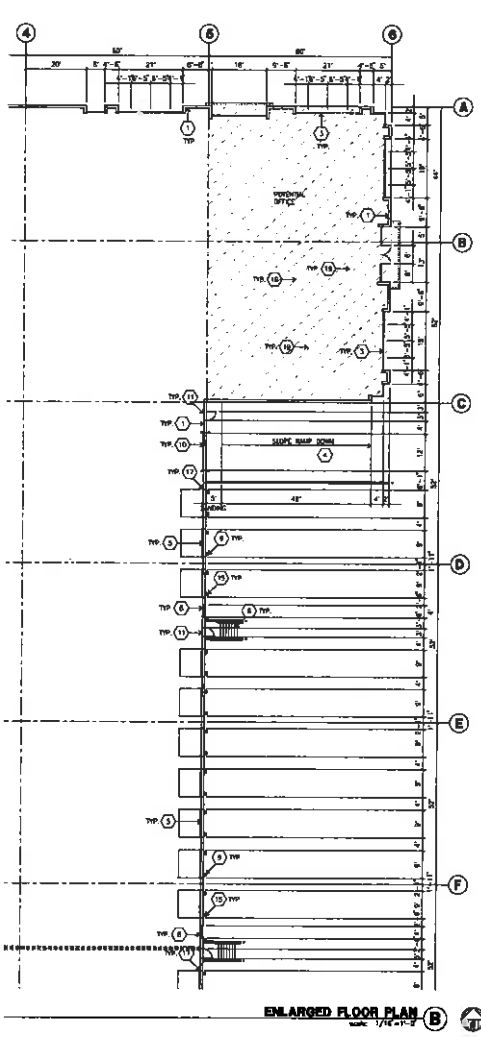
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**Project Number:** 12192  
**Drawn by:** Sandford  
**Date:** October 7, 2013  
**Revised:**  
**Sheet:** 0217/2014

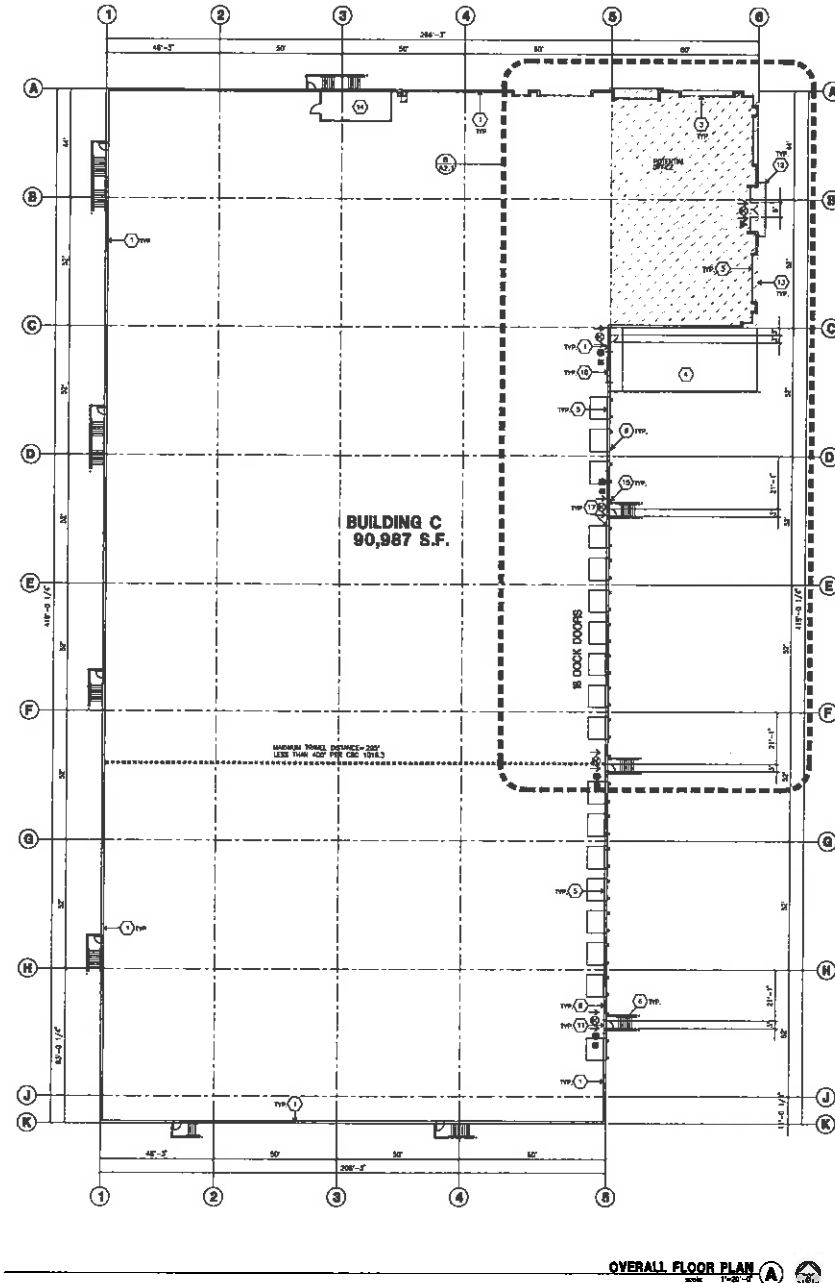
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**Sheet:**  
**C-A1.1**

PLEASE DRAWINGS ARE NOT INTENDED FOR BIDDING. NO CONSTRUCTION OR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSURE THAT ALL INFORMATION FROM THESE DRAWINGS.



**ENLARGED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**KEYNOTES - FLOOR PLAN**

- 1. CONCRETE 12'-0" PANEL, SEE "C" SHEET FOR DIMENSIONS AND REINFORCEMENTS
- 2. STRUCTURAL STEEL, SEE PLAN SET "C" DRAWING FOR DETAIL
- 3. FINISH, SCHEDULED FINISHES AND MATERIALS, SEE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C"
- 4. CONCRETE FINISH, SEE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C"
- 5. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE
- 6. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE
- 7. EXISTING CONCRETE SLAB
- 8. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE, SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 9. FINISH, SCHEDULED FINISHES AND MATERIALS, SEE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C"
- 10. BOOR DOOR SWARTH
- 11. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE, SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 12. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE, SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
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- 19. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE, SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 20. 2" x 4" x 1/2" BLOCKS OVER EXISTING CONCRETE, SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS

**GENERAL NOTES - FLOOR PLAN**

- 1. THIS DRAWING IS DESIGNED FOR HIGH RISE BUILDING WITH THE HEIGHT AND LOADS AS SHOWN ON THE DRAWING. A SEPARATE PLAN SHALL BE SUBMITTED FOR ANY ADDITIONAL DEPARTMENTS.
- 2. THE WORK LOCATIONS SHALL BE APPROVED FOR THE DEPARTMENT.
- 3. THE FINISHES SHALL BE APPROVED FOR THE DEPARTMENT.
- 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C".
- 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C".
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- 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND EXHIBITS FOR DETAIL, SEE PLAN SET "C".

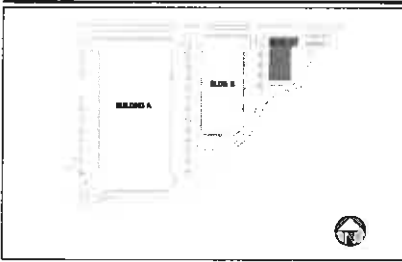
**FLOOR SLAB AND POUR STRIPS REQ.**

- 1. FLOOR CONSTRUCTION - SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 2. FINISH CONSTRUCTION - SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 3. FLOOR FINISH - SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
- 4. FLOOR FINISH - SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS
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- 20. FLOOR FINISH - SEE PLAN SET "C" FOR DIMENSIONS AND REINFORCEMENTS

**DISABLED ACCESS NOTES**

- 1. EXITS MARKED WITH "E" SHALL BE INSTALLED DIRECTIONAL SIGNAGE AS SHOWN TO INDICATE NEAREST ACCESSIBLE EXIT
- 2. TACTILE EXIT SIGNS SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS:
  - a. EACH DRIVE-LEVEL EXIT DOOR MARKED WITH "A", THE TACTILE EXIT SIGN SHALL READ "EXIT"
  - b. EACH EXIT DOOR MARKED WITH "B" THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP THE TACTILE EXIT SIGN SHALL READ "EXIT STAIR DOWN"
  - c. EXIT SIGN SHALL BE PROVIDED PER CBC SECTION 101.1
- 3. AT LEAST 1 FOOTCANDLE OF LIGHT AT FLOOR LEVEL SHALL BE PROVIDED BY MEANS OF EXITS FROM ALL OCCUPIED PARTS OF THE BUILDING.

**SITE INDEX**



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Project:

**COLUMBIA BUSINESS CENTER**

Petaluma & Michigan Ave  
Petaluma, CA 94957

Consultants:

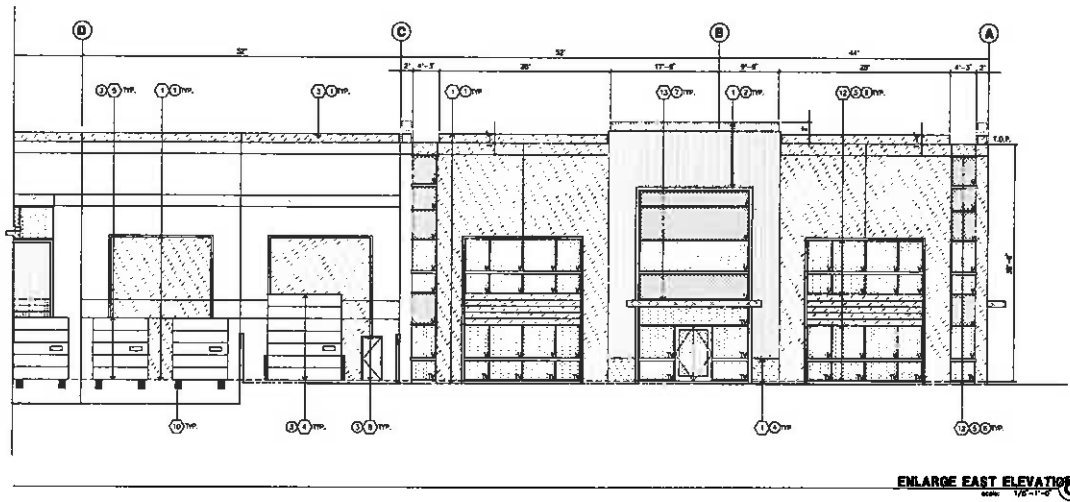
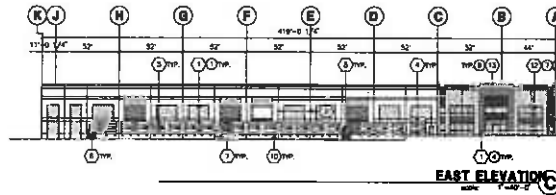
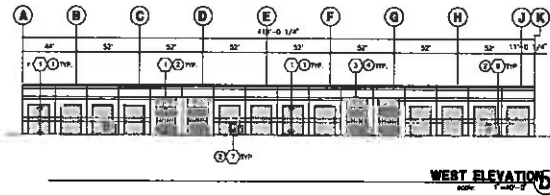
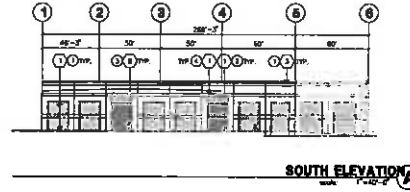
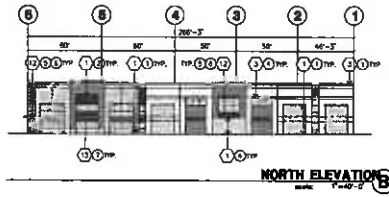
Thines Engineers  
TBD  
TBD  
TBD  
Design W&S  
WILSON  
TBD  
So. Cal Geotechnical

Title: Building C Floor Plans

Project Number: 12182  
Drawn by: Sandbar  
Disc: October 7, 2013  
Revision: 02/17/2014

Sheet: C-A2.1

THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL WORK MADE FROM THESE DRAWINGS.



**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED) FROM GRADE UPWARDS. SEE "C" FINISHES. WATERPROOF ALL WALLS ABOVE GRADE. 2. INCHES AND EXPOSED TO THE WEATHER ONE FOOT MINIMUM TO BE PROTECTED WITH PROTECTIVE SHEET AND A MIN. OF 2" OF GRANULAR FILL. PROVIDE TRENCH DOWN IN BOTTOM AND DISCHARGE TO CURB OR TO SOME OTHER MEANS TO CONCRETE AT 600+ HIGH CONCRETE OR AT RAUP HILLS
- 2 PANEL JOINT
- 3 PANEL RECALL. ALL RECALLS TO HAVE A MAX. OF SIZE CHANGES. RECALL COLOR TO MATCH ADJACENT BUILDING FACE. 2. COLOR: 11-10
- 4 EXPOSED BRICK IN CORNER PANEL. SEE CORNER SCHEDULE. PROVIDE RECALL TO MATCH EXPOSED BRICK FOR ALL CORNER DESIGN TO RECALL TO MATCH EXPOSURE "C".
- 5 RECALL TO MATCH EXPOSURE "C". SEE CORNER SCHEDULE. PROVIDE RECALL TO MATCH EXPOSED BRICK FOR ALL CORNER DESIGN TO RECALL TO MATCH EXPOSURE "C".
- 6 CONCRETE STEEL LANDING AND EXTERIOR W/ METAL W/ HORIZONTAL FINISH. PROVIDE RECALL TO MATCH EXPOSURE "C". PROVIDE CONTINUING COLORED 2. INCH MINIMUM STAIN RESISTANT TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LANDING DESIGN TO RECALL TO MATCH EXPOSURE "C". RECALL TO MATCH BUILDING COLOR.
- 8 YELLOW METAL DOORS. SEE CORNER SCHEDULE. PROVIDE CONTINUING COLORED 2. INCH MINIMUM STAIN RESISTANT TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 9 EXTERIOR STAIRWELL AND OVERLOOK SCUPPER
- 10 ROCK BLASTER
- 11 2.0" DIA. STEEL BOLLS. SET FOR FLAT.
- 12 ALUMINUM STAIRWELL FINISH WITH TYPICAL GLAZING AT ALL CORNERS. SQUARES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS SEE TRAP TRAP. FROM FLOOR ELEVATION. DESIGN TO RECALL TO MATCH EXPOSURE "C".
- 13 METAL CANOPY
- 14 LIGHT FINISH ELEMENT
- 15 SHAPED EXPOSED ALUMINUM CORNER
- 16 CONCRETE OVER-SET PANEL
- 17 INTERIOR CORNERPOST

**GENERAL NOTES - ELEVATIONS**

- A. ALL WEST CORNER POSTS TO OCCUR AT CORNER CORNERS UNLESS NOTED OTHERWISE.
- B. ALL WEST FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. 2.0" DIA. IS TOP OF FINISH ELEVATION.
- D. 2.0" IS FINISH CORNER ELEVATION.
- E. STAIRWELL CORNERPOSTS SHALL BE METAL ATTACHMENT AND LEVELS SHALL BE IDENTIFIED TO RECALL TO MATCH EXPOSURE "C".
- F. CONTRACTOR SHALL FURNISH AND CONDUCT QUALITY CONTROL OF ALL MATERIALS. IDENTIFY AND VERIFY SMALL APPROX. FROM TO MATCH FINISHES OF BUILDING.
- G. BACK SIDE OF PANELS TO HAVE SMOOTH FINISH AND BE FINISHED WITH EXTERIOR PAINT.
- H. TOP SHAPED GLAZING ALONG SPINE BEING FINISHED TO MATCH.
- I. USE CONCRETE BACK HOOD STRIPS FOR ALL TRAP TRAP.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE BRUSHED-ON.

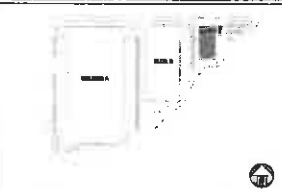
**COLOR SCHED. - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL PAINT BRN/GR. FINISH 001 WHITE
- 2 CONCRETE TILT-UP PANEL PAINT BRN/GR. FINISH 001 WHITE
- 3 CONCRETE TILT-UP PANEL PAINT BRN/GR. FINISH 001 WHITE
- 4 CONCRETE TILT-UP PANEL PAINT BRN/GR. FINISH 001 WHITE
- 5 METAL CANOPY COLOR: FINISH 001 WHITE

**GLAZING LEGEND**

- 1 WINDOW GLASS
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- 100 WINDOW GLASS

**SITE INDEX**



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REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 No. 29451  
 2/1/15  
 State of California

**Owner:**

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**Project:**

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 Riverside, CA 92507

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 So. Cal Geotechnical

**Title:** selection

**Project Number:** 12162

**Drawn by:** Sandwell

**Date:** October 7, 2013

**Revised:**

02/17/2014

**Sheet:**

**C-A3.1**

THESE DRAWINGS ARE NOT INTENDED FOR BEYOND-SHIP CHANGES OR CONSTRUCTION PURPOSES. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL WORK MADE FROM THESE DRAWINGS.

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TENTATIVE PARCEL MAP NO. 36638**

SHOWING A SUBDIVISION OF PARCELS 5 THROUGH 10, INCLUDING ALL PARCELS OF PARCELS MAP NO. 30485,  
 AS PER MAP FILED IN BOOK 216, PAGES 48 THROUGH 49, INCLUDING OF PARCEL MAPS IN THE OFFICE  
 OF THE RECORDER OF SAID COUNTY, TOGETHER WITH A PORTION OF SOUTH ONE-HALF OF NEARBY  
 QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 4 WEST, S.B.M.

SCALE  
 1" = 100' HORIZ.  
 1" = 20' VERT.

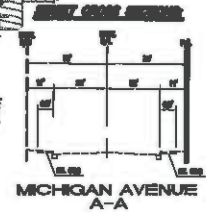
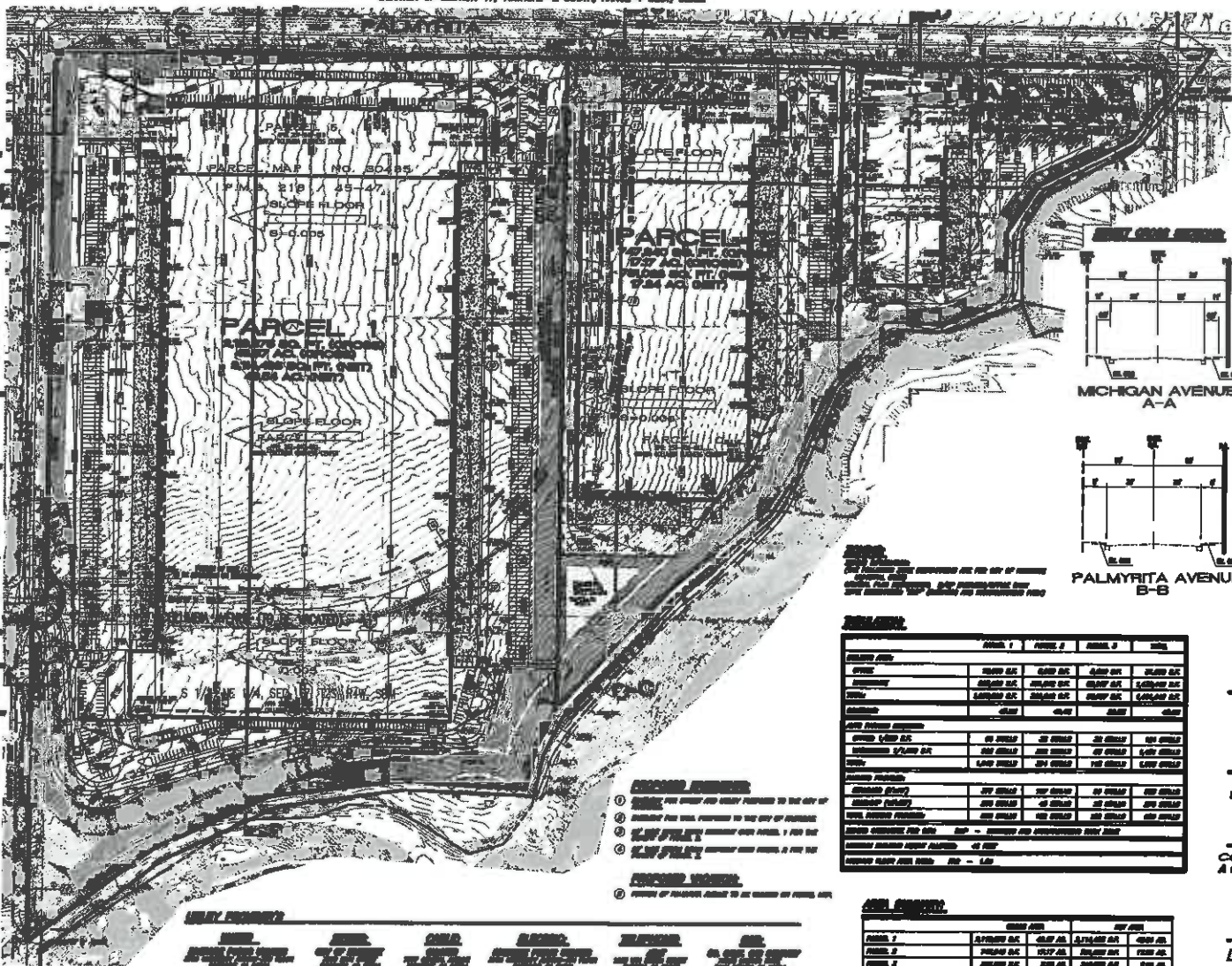


LOCATION MAP



**LEGAL DESCRIPTION**  
 QUARTER 17, TOWNSHIP 2 SOUTH, RANGE 4 WEST, S.B.M.  
 PARCELS 5 THROUGH 10, INCLUDING ALL PARCELS OF PARCELS MAP NO. 30485,  
 AS PER MAP FILED IN BOOK 216, PAGES 48 THROUGH 49, INCLUDING OF PARCEL MAPS IN THE OFFICE  
 OF THE RECORDER OF SAID COUNTY, TOGETHER WITH A PORTION OF SOUTH ONE-HALF OF NEARBY  
 QUARTER OF SECTION 17, TOWNSHIP 2 SOUTH, RANGE 4 WEST, S.B.M.

- GENERAL NOTES**
1. ALL UTILITIES SHOWN ON THIS MAP ARE AS SHOWN ON THE RECORD MAPS AND FIELD SURVEY.
  2. ALL UTILITIES SHOWN ON THIS MAP ARE AS SHOWN ON THE RECORD MAPS AND FIELD SURVEY.
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**REMARKS**

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**APPLICANT:**  
 MG | HOOLE-IRELAND  
 1000 MAIN AVENUE, SUITE 210  
 RIVERSIDE, CA 92501  
 PHONE (951) 737-2222

**ARCHITECT:**  
 HPA ARCHITECTURE  
 1000 MAIN AVENUE, SUITE 210  
 RIVERSIDE, CA 92501  
 PHONE (951) 737-2222

**OWNER:**  
 COLUMBIA BUSINESS CENTER  
 A COLUMBIA UNIVERSITY COMPANY  
 1000 MAIN AVENUE, SUITE 210  
 RIVERSIDE, CA 92501  
 PHONE (951) 737-2222

**ENGINEER:**  
 Thiessen Engineering, Inc.  
 1000 MAIN AVENUE, SUITE 210  
 RIVERSIDE, CA 92501  
 PHONE (951) 737-2222

**LEGAL DESCRIPTION**

NO.	DESCRIPTION	DATE
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THIessen ENGINEERING, Inc.  
 1000 MAIN AVENUE, SUITE 210  
 RIVERSIDE, CA 92501  
 PHONE (951) 737-2222





## **Project Description**

### **GENERAL PLAN AMENDMENT AND SPECIFIC PLAN AMENDMENT Columbia Business Center**

The Invesco development application proposes a revision to the circulation pattern identified in the City's General Plan and in the Hunter Business Park Specific Plan. In order to develop the site in keeping with the high demand for large, state-of-the-art industrial buildings, the proposed plan will eliminate the "Columbia Loop" east of Michigan Avenue. The function of the Columbia Loop will then be relocated along Michigan Avenue connecting Palmyrita Avenue and Columbia Avenue for traffic, bicycle, and pedestrian purposes.

The striped Class II bike lane and 6-foot sidewalk at the curb will be located along the east side of Michigan Avenue and will provide the connection described in the Specific Plan.

The existing street sections presented in the specific plan will accommodate the alternative circulation plan. The Specific Plan requires the parkway along Michigan Avenue to be 11-feet, which is enough space to provide a 6-foot sidewalk at curb and appropriate landscaping. Michigan Avenue has one travel lane less in both directions and the drive aisles are 2-feet wider accommodating a better pedestrian and bicycle travel.

To accomplish this proposed revision, the application includes map revisions and a text change to the Hunter Business Park Specific Plan. Similar map revisions will be required to the General Plan graphics.

#### ***Hunter Business Park Specific Plan Text Revision:***

One minor text change will be required to amend the specific plan, to include a striped Class 2 bike lane along the east side of Michigan Avenue.

#### **Page II-15**

**Existing Text:** *"A striped class 2 bike lane will be provided on Columbia and Iowa Avenues and Spruce Street."*

**Revised Text:** *"A striped class 2 bike lane will be provided on Columbia and Iowa Avenues, Spruce Street, and the east side of Michigan Avenue."*

***Hunter Business Park Specific Plan Map Revisions:***

The following are attached and identify the figures as they are currently shown in the document and the proposed revisions.

- Figure II-4 Proposed Circulation
- Figure II-6 Pedestrian Network
- Figure II-9 Storm Drain Concept
- Figure II-12 Open Space Concept

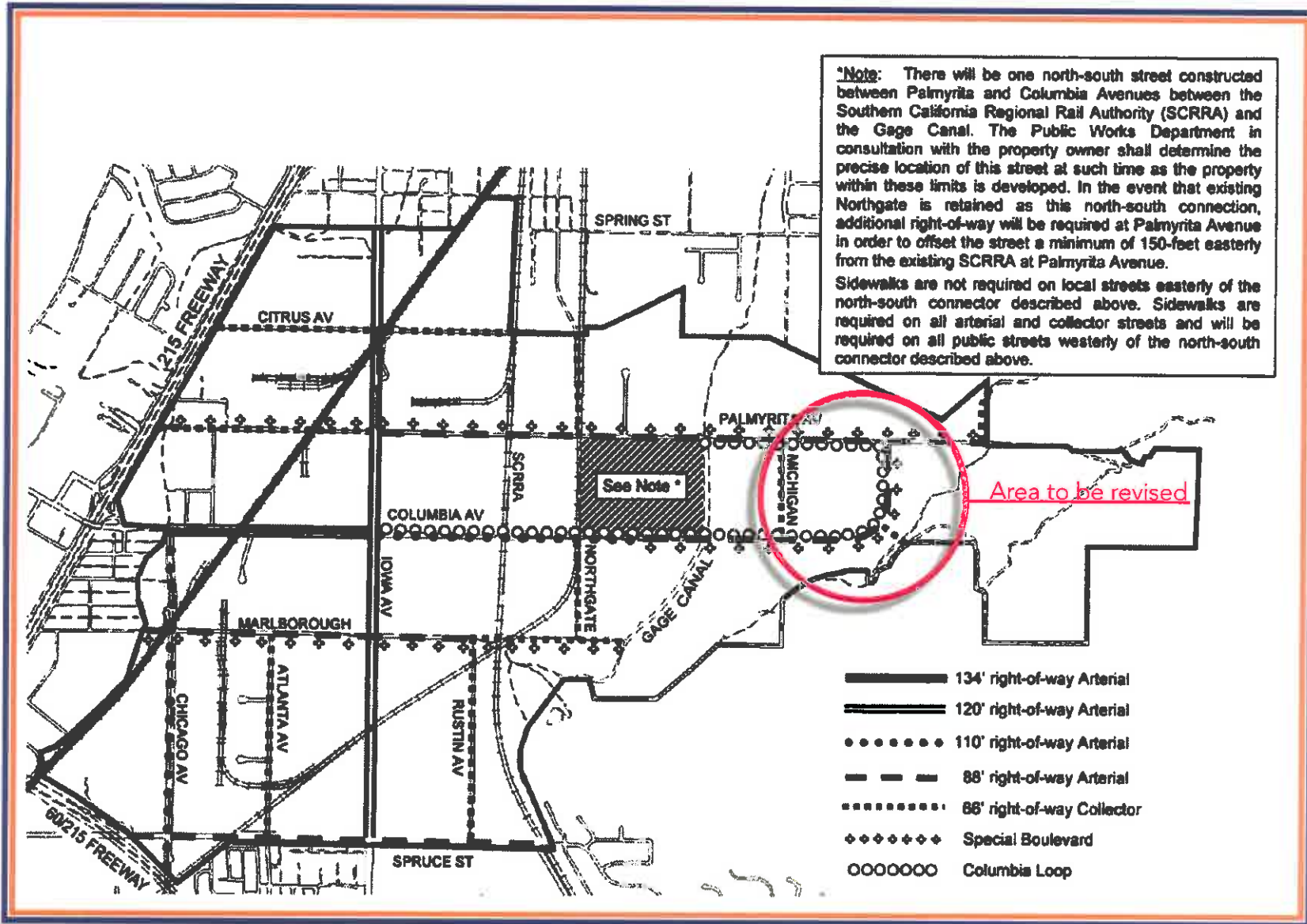


Figure II — 4 *Proposed Circulation*

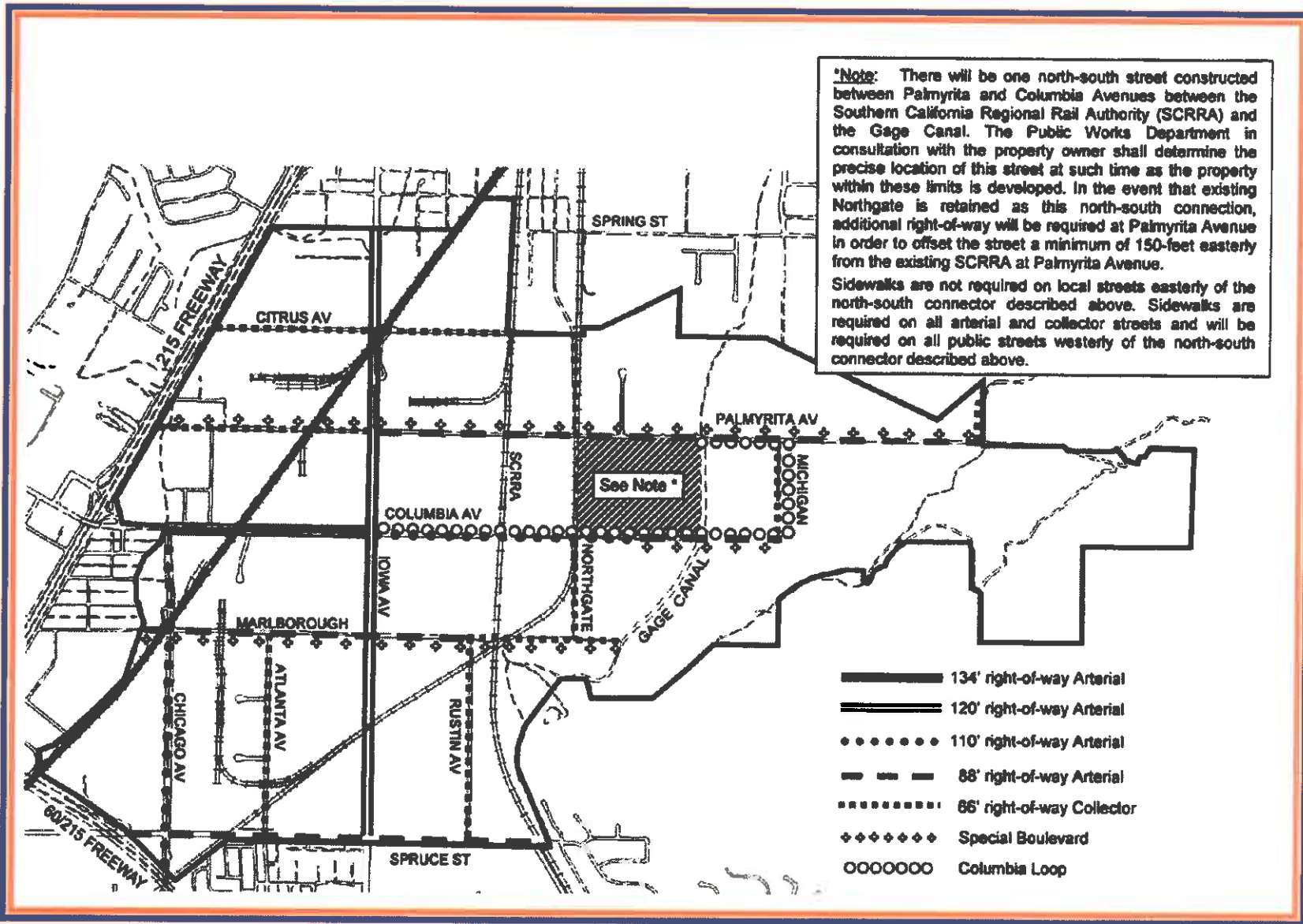


Figure II — 4 Proposed Circulation

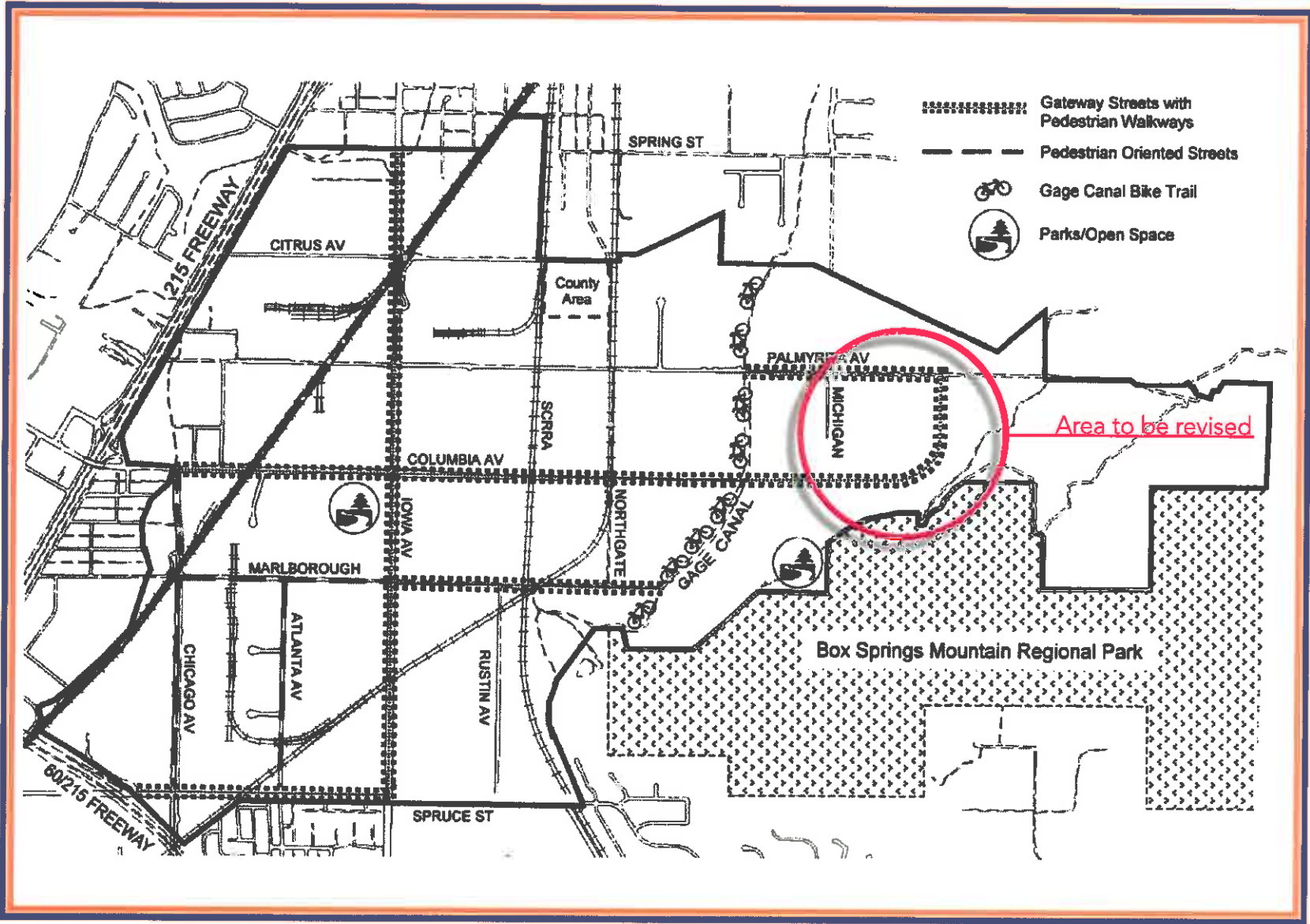


Figure II — 6 *Pedestrian Network*



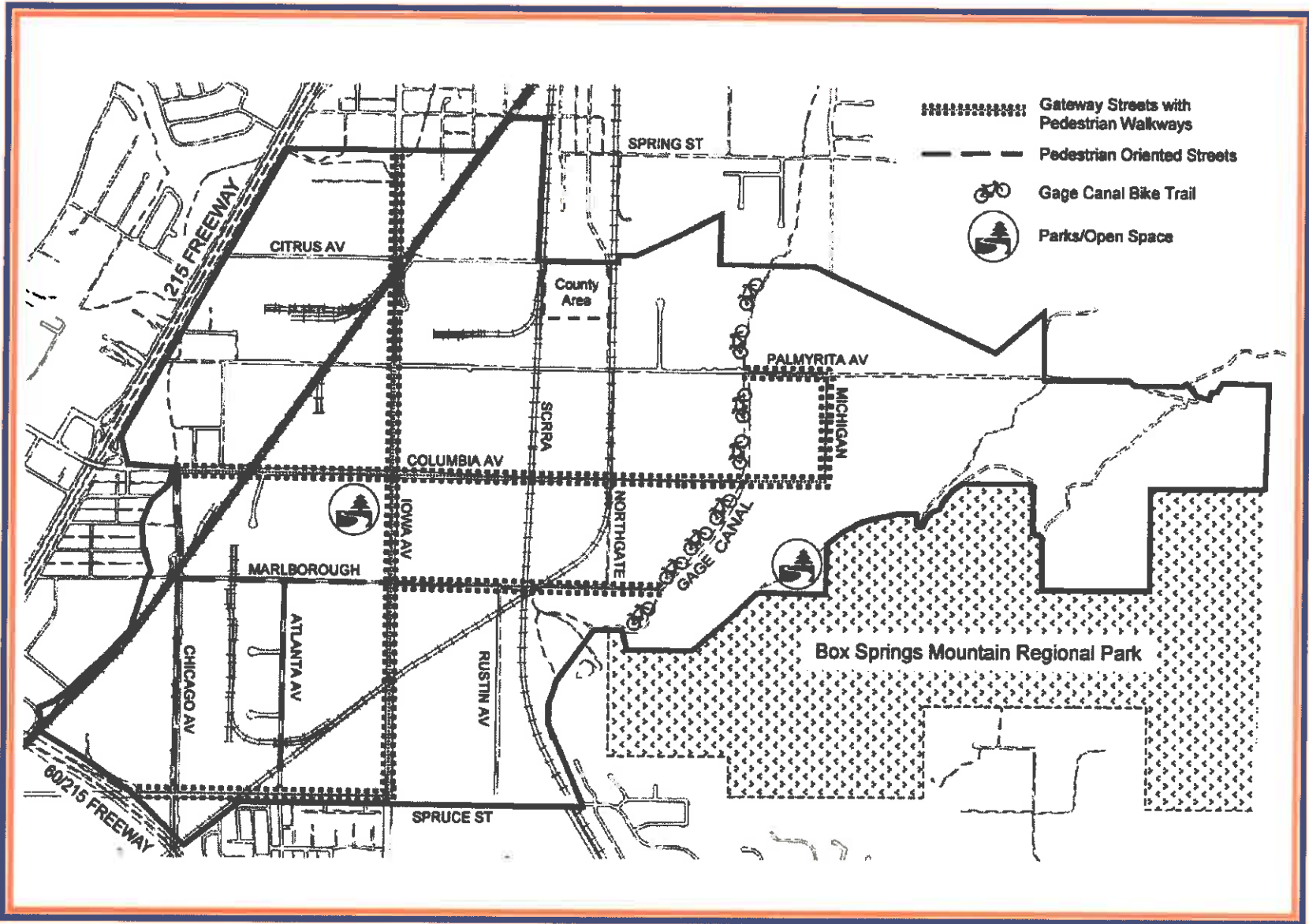


Figure II — 6 *Pedestrian Network*



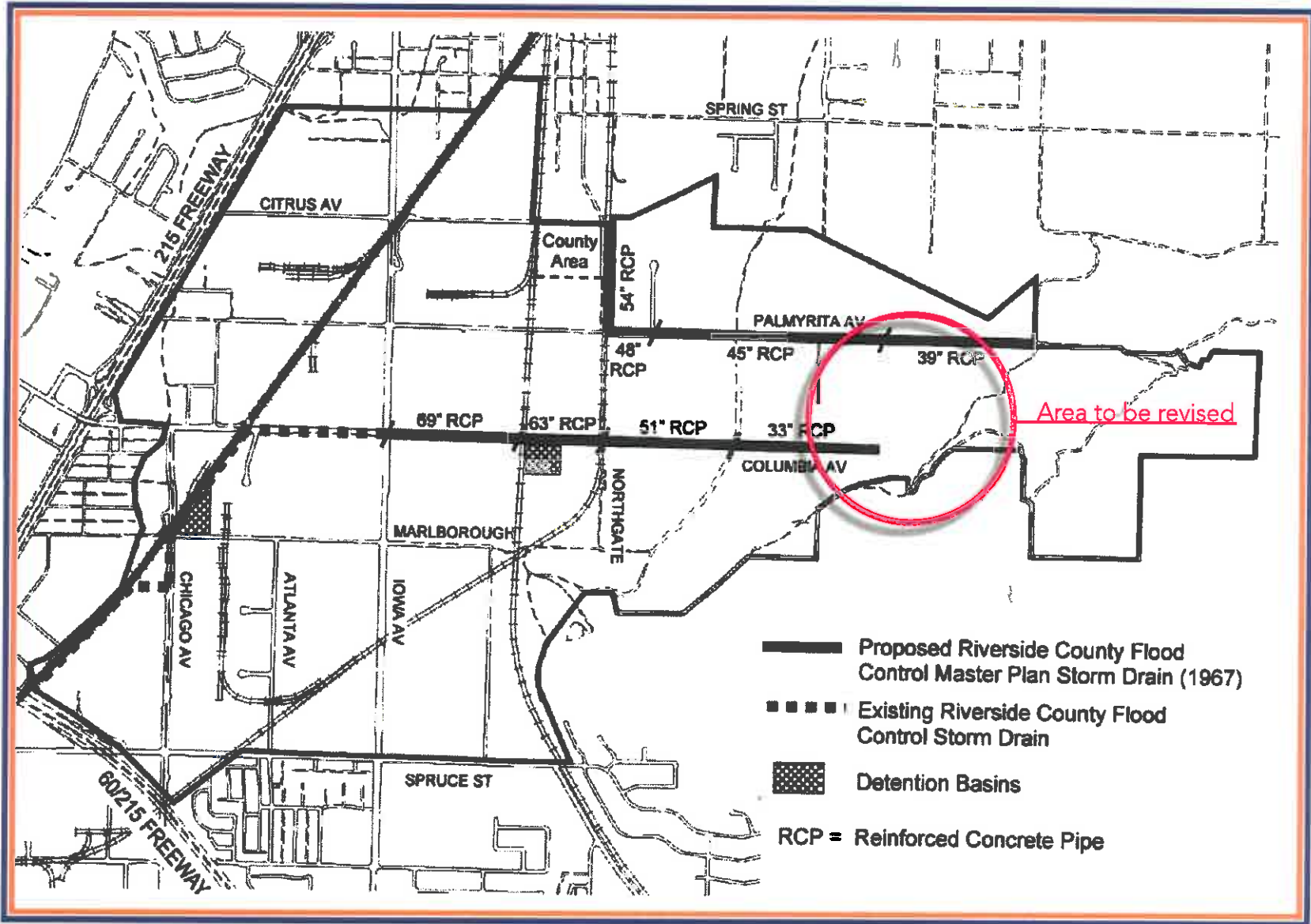


Figure II — 9 Storm Drain Concept

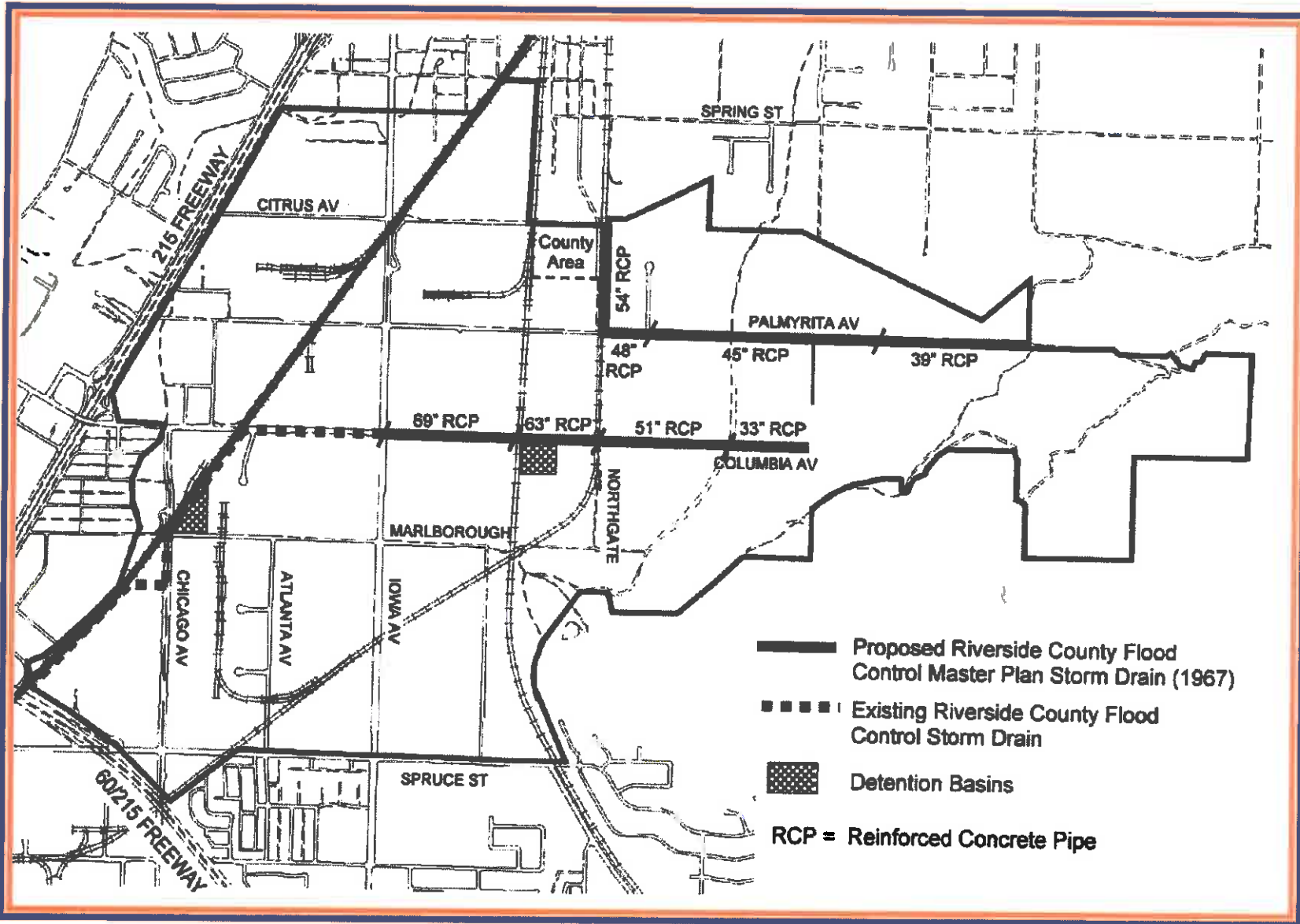


Figure II — 9 Storm Drain Concept



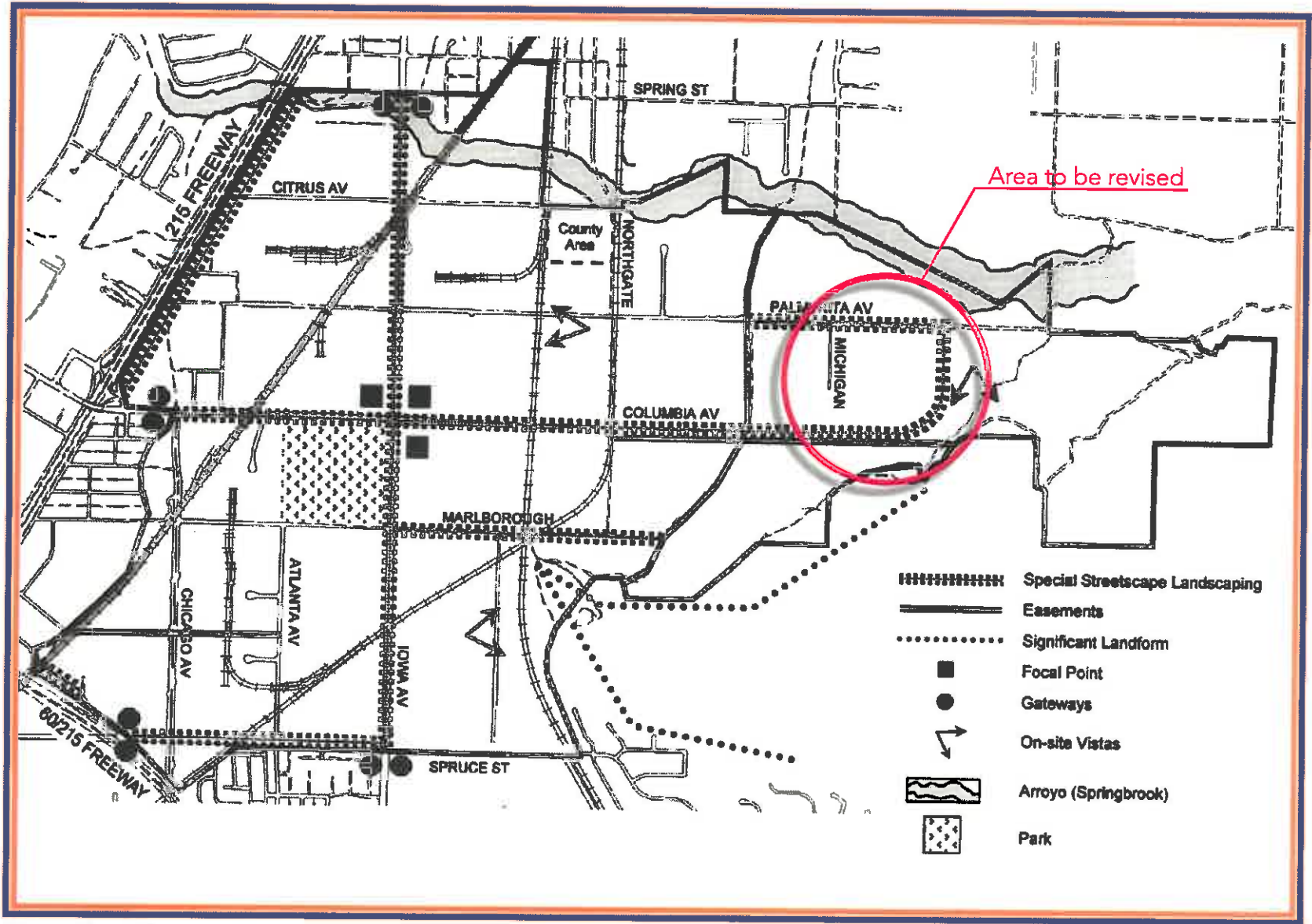


Figure II — 12 *Open Space Concept*

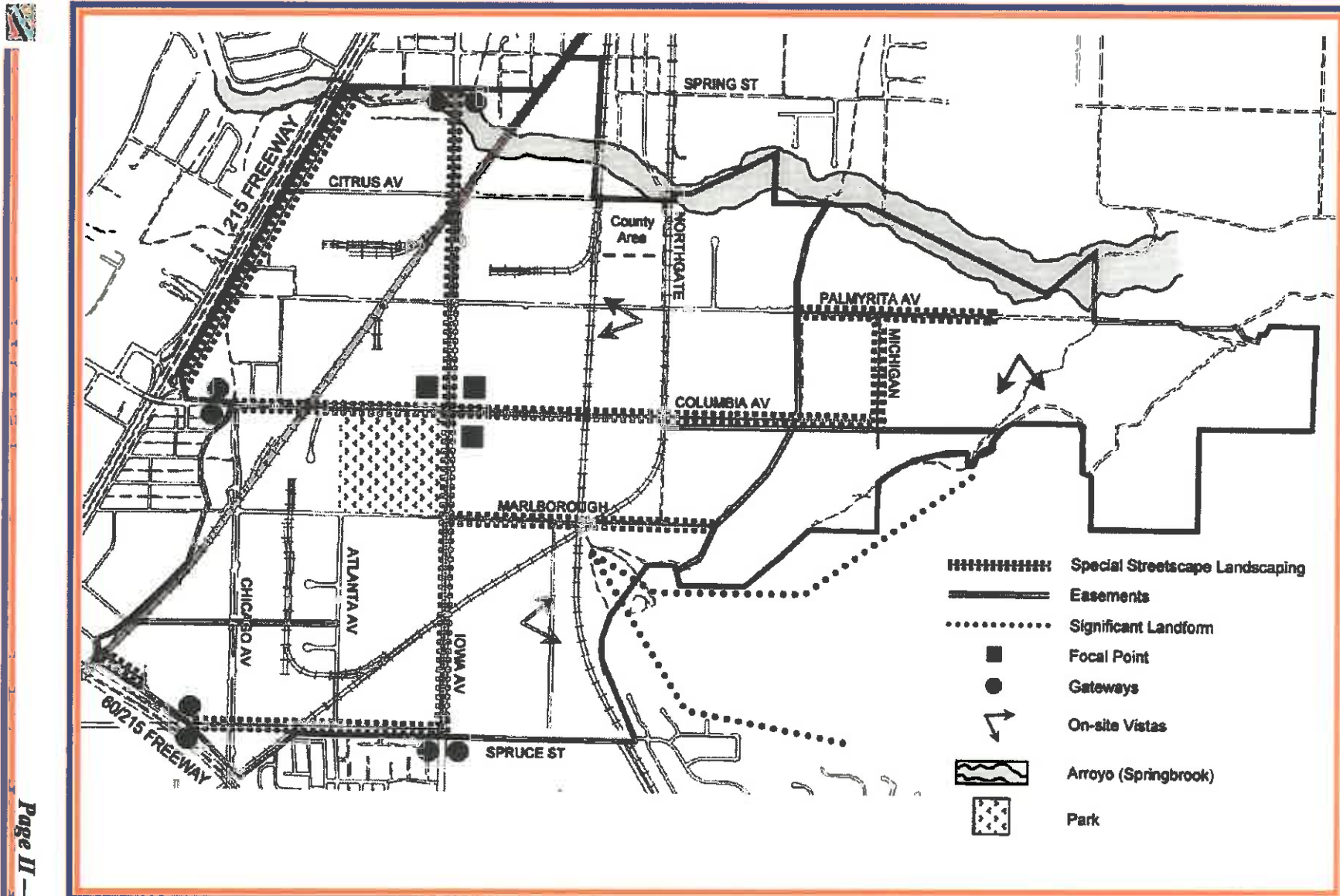


Figure II — 12 *Open Space Concept*

SCALE: 1" = 300'

# ELEVATION EXHIBIT

SHEET 1 OF 1



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1126MA15 – Integrated Real Estate Services, LLC/Operating Engineers Trust Fund (Representative: Deirdre McCollister, MIG Hogle-Ireland) – City of Riverside Case Nos: P13-0956 (General Plan Amendment), P13-0959 (Specific Plan Amendment), P13-0964 (Design Review), P13-0965 (Conditional Use Permit), P13-0966 (Variance), and P13-0963 (Tentative Parcel Map No. 36638). The applicant proposes to construct three industrial warehouse buildings with a total floor area of 1,461,449 square feet on 72.5 acres located southerly of Palmyrite Avenue and easterly of Michigan Avenue. The largest of these buildings would have a floor area of 1,000,620 square feet, requiring a Conditional Use Permit, and a height of 56 feet, requiring a Variance. The other two buildings are proposed through the Design Review case. Implementation of this proposal requires amendments to the exhibits in the Hunter Business Park Specific Plan (Figures II-4, II-6, II-9, and II-12 relating to Proposed Circulation, Pedestrian Network, Storm Drain Concept, and Open Space Concept) to reflect deletion of the “Columbia Loop” – the segment of Columbia Avenue extending easterly from Michigan Avenue and northerly to Palmyrita Avenue. The text of the Specific Plan would also be amended to require a striped Class 2 bike lane along the east side of Michigan Avenue. The City of Riverside General Plan would also be amended to reflect these changes. Tentative Parcel Map No. 36638 would divide the 72.5-acre site into three parcels, so that each building would be on a separate lot. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Kyle Smith of the City of Riverside Planning Department, at (951) 826-5220.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

**ZAP1126MA15**

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application June 12, 2015  
 Property Owner Operating Engineers Pension Trust Phone Number 206-382-0825  
 Mailing Address Property Mgr: Washington Capital - Brian Welch  
1200 Sixth Avenue, Suite 700  
Seattle, WA 98101

Agent (if any) MIG | Hogle-Ireland - Deirdre McCollister Phone Number 951-787-9222  
 Mailing Address 1500 Iowa Avenue, Suite 110  
Riverside, CA 92507

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address Southeast corner of Palmyrita Avenue and Michigan Avenue, Riverside, CA  
 Assessor's Parcel No. 257-040-015, -018, -019, -020, -021 & -022 and Parcel Size 72.50  
257-050-021, -022 & -023  
 Subdivision Name \_\_\_\_\_ Zoning Classification BMP-SP Hunter  
 Lot Number TPM 36638 Business Park

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Site is currently a 72.5 acre vacant site. The General Plan Land Use is Business/Office Park (B/OP) and Zoning is classified as Business and Manufacturing Park (BMP) in the Hunter Business Park Specific Plan.

Proposed Land Use (describe) The project proposes 3 industrial buildings totaling 1,461,449 square feet on 72.5 acres. The development will require a GPA/SPA, Design Review, Minor CUP and a Variance for height on Building A (for 56 feet), Street Vacation, and a Tentative Parcel Map. (See attached Project Description and Exhibits)

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use Speculative Industrial Buildings - Tenants and use is not available at this time  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 1,161 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1,120 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received \_\_\_\_\_

Agency Name \_\_\_\_\_

City of Riverside Planning Dept.

Staff Contact \_\_\_\_\_

Kyle Smith

Phone Number \_\_\_\_\_

Agency's Project No. \_\_\_\_\_

P13-0956

Type of Project

- General Plan Amendment, SP Amdt
- Zoning Amendment or Variance
- Subdivision Approval
- Use Permit, CUP
- Public Facility
- Other Parcel Map

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . ~~Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.~~
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below



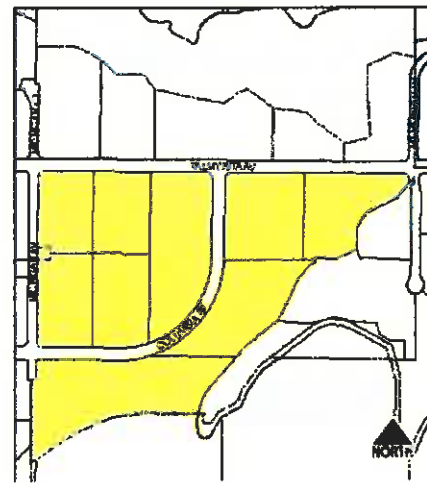
**Community and Economic Development Department  
Planning Division**

3900 Main Street, Riverside, CA 92522 | Phone: (951) 826-5371 | [RiversideCA.gov](http://RiversideCA.gov)

**PLANNING COMMISSION HEARING DATE: MAY 21, 2015  
AGENDA ITEM NO.: #5**

**PROPOSED PROJECT**

<b>Case Numbers</b>	P13-0956 (General Plan Amendment); P13-0959 (Specific Plan Amendment); P13-0960 (Street Vacation); P13-0963 (Tentative Parcel Map 36638); P13-0964 (Design Review); P13-0965 (Minor Conditional Use Permit); P13-0966 (Variance)	
<b>Request</b>	Consideration of a phased development consisting of three (3) industrial buildings totaling approximately 1,461,449 square feet of Industrial Warehouse Distribution space	
<b>Applicant</b>	MIG   Hogle-Ireland	
<b>Project Location</b>	A nine-parcel vacant site is located at the southeast corner of Palmyrita Avenue and Michigan Avenue, and north of Sugarloaf Mountain	
<b>APNs</b>	257-040-015; -018; -019; -020; -021 & -022 and 257-050-021; -022 & -023	
<b>Project area</b>	Approximately 72.5 acres	
<b>Ward</b>	1	
<b>Neighborhood</b>	Hunter Industrial Park	
<b>Specific Plan</b>	Hunter Business Park Specific Plan – Industrial Park District	
<b>General Plan Designation</b>	B/OP – Business Office Park	
<b>Zoning Designation</b>	BMP-SP – Business Manufacturing Park and Specific Plan (Hunter Business Park) Overlay Zones	
<b>Staff Planner</b>	Kyle Smith, AICP, Senior Planner; 951-826-5220; <a href="mailto:kjsmith@riversideca.gov">kjsmith@riversideca.gov</a>	



**RECOMMENDATIONS**

Pursuant to Chapters 2.40 and 19.050.030 of the Riverside Municipal Code, the Planning Commission shall review the proposed project subject to its consistency with the Zoning Code (Title 19) and Subdivision Code (Title 18); including the proposed General Plan Amendment, Specific Plan Amendment, Street Vacation, Tentative Parcel Map 36638, Minor Conditional Use Permit and Variance. Additionally, the Planning Commission is asked to concur with Staff's determination that the proposed project is conditionally consistent with the *Citywide Design & Sign Guidelines*. Specifically, staff recommends that the City Planning Commission:



Hogle-Ireland

## **Project Description**

### **Columbia Business Center Invesco Real Estate Operating Engineers Trust Funds Palmyrita Avenue and Michigan Avenue Riverside, CA**

MIG | Hogle-Ireland is pleased to submit this development application to the City of Riverside on behalf of Invesco Real Estate, Property Managers for Operating Engineers Trust Funds. With this application we request review and approval of a General Plan Amendment and Specific Plan Amendment to the Hunter Business Park Specific Plan to vacate the Columbia Avenue Loop, a Tentative Parcel Map to subdivide the 72.5-acre site into three (3) parcels, a General Application/Design Review application to construct three (3) industrial buildings consisting of 1,461,449 square feet of Industrial Warehouse Distribution space, a Minor Conditional Use Permit for Building A (1,000,620 sq. ft.), which is over 400,000 sq. ft., and a Variance to approve the building height of 56 feet for Building A (Parcel 1). The project is proposed to be constructed in three (3) phases. The project site is located at the southeast corner of Palmyrita Avenue and Michigan Avenue, and north of Sugarloaf Mountain in the City of Riverside and is composed of nine (9) parcels designated as Assessor's Parcel Numbers APN(s): 257-040-015; -018; -019; -020; -021 & -022 and 257-050-021; -022 & -023.

### **Background**

The project site is part of the Columbia Business Center Master Plan. The Master Plan consists of 16 industrial buildings: five (5) buildings were constructed, five (5) buildings were approved for construction, and six (6) buildings are "future industrial buildings." During 2005-2006, Operating Engineers Trust Funds constructed five (5) of the industrial buildings within the Columbia Business Center Master Plan area located on the north side of Palmyrita Avenue. These five (5) buildings totaled 753,626 square feet. There are two (2) additional vacant parcels east of these buildings on the north side of Palmyrita Avenue; however, these parcels are small with irregular shapes and there are no plans to build on these two (2) parcels. These parcels will remain vacant at this time.

In 2007-2008, Operating Engineers Trust Funds received entitlement and grading approvals for five (5) industrial buildings totaling 517,210 square feet on approximately 32 acres of the Columbia Business Center Master Plan area on the south side of Palmyrita Avenue, east of Michigan Avenue. Building plan checks for construction were in review on these five (5) buildings when the development was stopped due to a downturn in the economy. In



addition to the constructed and approved buildings referred above, the Columbia Business Center Master Plan had proposed six (6) additional industrial buildings south and east of the "Columbia Avenue Loop". These six (6) buildings totaling 599,250 square feet were to be submitted for Design Reviews in the future.

Currently, Invesco Real Estate is proposing three (3) industrial buildings totaling 1,461,449 square feet on a 72.5-acre portion of the Columbia Business Center Master Plan area. The three (3) building design will replace the 11 buildings in the Columbia Business Center Master Plan that were to be located south of Palmyrita Avenue and east of Michigan Avenue, and proposes the vacation of the "Columbia Avenue Loop" to accommodate the larger industrial buildings on the site.

The project site is located within an industrial hub, which includes warehouse and distribution uses. The project site is vacant and has been mass graded with street and infrastructure improvements installed on Palmyrita Avenue and Michigan Avenue. The topography of the site and surrounding area is characterized as relatively flat with a gentle slope along the southern portion of the site from south to north. The project site is not located within a General Plan or zoning overlay. The project site is located within the Hunter Business Park Specific Plan. The General Plan land use designations, Zoning classifications, and land uses for the project site and surrounding properties are noted in the table below.

	<b>General Plan Land Use Designation</b>	<b>Zoning Classification</b>	<b>Specific Plan Designation</b>	<b>Land Use</b>
Project Site	Business/Office Park (B/OP)	Business and Manufacturing Park (BMP)	Industrial Park District	Vacant Land
North	Business/Office Park (B/OP)	Business and Manufacturing Park (BMP)	Industrial Park District	Warehouse & Distribution and Vacant Land
East	Business/Office Park (B/OP)	Business and Manufacturing Park (BMP)	Industrial Park District	Warehouse & Distribution
South	Public Park (P)	Riverside County	Riverside County	Box Springs Mountain Regional Park
West	Business/Office Park (B/OP)	Business and Manufacturing Park (BMP)	Industrial Park District	Warehouse & Distribution and Office

### **Project Intent**

The project proposes the construction of a 1,461,449 square foot Warehouse Distribution Center on a 72.5-acre site. The Center includes the construction of three (3) speculative industrial buildings as noted in the following table.

	<b>Building A (Parcel 1)</b>	<b>Building B (Parcel 2)</b>	<b>Building C (Parcel 3)</b>	<b>TOTAL</b>
Office Space	15,000 SF	8,000 SF	8,000 SF	31,000 SF
Warehouse Space	985,620 SF	361,842 SF	82,987 SF	1,430,449 SF
<b>Total Building Area</b>	<b>1,000,620 SF</b>	<b>369,842 SF</b>	<b>90,987 SF</b>	<b>1,461,449 SF</b>
Landscaped Area	455,022 SF	107,795 SF	93,313 SF	656,130 SF
Automobile Parking Spaces	387 spaces	101 spaces	97 spaces	585 spaces
Trailer Parking Spaces	206 spaces	44 spaces	22 spaces	272 spaces
Loading Docks	149 docks	54 docks	18 docks	221 docks

The buildings are intended to be used as Warehouse Distribution facilities; however, end users have not been identified at this time, therefore, specific details about the future operation of the facilities are not currently available. Because the end users are not known at this time, we request approval for future businesses to be open 24 hours a day/7 days per week depending on their business/operational needs.

### **General Plan Amendment & Specific Plan Amendment**

The Invesco development application proposes an alternative circulation pattern than identified in the Hunter Business Park Specific Plan. We propose the elimination of Columbia Avenue east of Michigan Avenue. Function of the the Columbia Loop will then be relocated along Michigan Avenue connecting Palmyrita Avenue and Columbia Avenue with a striped Class 2 bike lane and 6-foot sidewalk at the curb.

Relocation of the Class II bike route along the east side of Michigan Avenue rather than Columbia will still provide the connection described in the Specific Plan.

The existing street sections presented in the specific plan will accommodate the alternative circulation plan. The Specific Plan requires the parkway along Michigan Avenue to be 11-foot which is enough space to provide a 6-foot sidewalk at curb and appropriate landscaping. Michigan Avenue has one travel lane less in both directions and the drive aisles are an additional 2-foot wider accommodating for a better pedestrian and bicycle travel.

One minor text change will be required to amend the specific plan, to include a striped Class 2 bike lane along the east side of Michigan Avenue.

General Plan Text to be revised on page II-15 currently reads:

Existing Text

*"A striped class 2 bike lane will be provided on Columbia and Iowa Avenues and Spruce Street."*

Revised Text

*"A striped class 2 bike lane will be provided on Columbia and Iowa Avenues, Spruce Street and the east side of Michigan Avenue."*

The Specific Plan Map Revisions are attached and identify the figures as they are currently shown in the document and the proposed revisions:

- Figure II-4 Proposed Circulation
- Figure II-6 Pedestrian Network
- Figure II-9 Storm Drain Concept
- Figure II-12 Open Space Concept

### **Tentative Parcel Map**

The project site is currently composed of nine (9) parcels. A Tentative Parcel Map is proposed to subdivide the 72.5-acre site into three (3) parcels, as follows:

- Parcel 1 (Building A) = 46.33 acres (2,018,306 sq. ft.)
- Parcel 2 (Building B) = 18.8 acres (818,767 sq. ft.)
- Parcel 3 (Building C) = 7.4 acres (321,093 sq. ft.)

### **Design Review & Minor Conditional Use Permit**

The proposed Warehouse Distribution use is permitted by right within the Hunter Business Park Specific Plan – Industrial Park District. A Design Review application is required to review the physical development characteristics of the proposed project. Approval of a Minor Conditional Use Permit (MCUP) is required for Building A (Parcel 1), as Warehouse Distribution uses greater than 400,000 sq. ft. require a MCUP. Building B (Parcel 2) and Building C (Parcel 3) do not require approval of a MCUP, as each of these buildings is less than 400,000 sq. ft.

### **Development Standards**

The proposed project is subject to the Hunter Business Park Specific Plan – Industrial Park District guidelines and standards for development and design, which are provided in the following table. The project meets and exceeds all required standards, except for the maximum permitted building height for Building A (Parcel 1) as discussed in the "Variance – Building Height" section following the table.

<b>Development Standards</b>	<b>Required/ Permitted</b>	<b>Provided Building A (Parcel 1)</b>	<b>Provided Building B (Parcel 2)</b>	<b>Provided Building C (Parcel 3)</b>
Parcel Size (minimum)	5 ac	46.3 ac	18.8 ac	7.4 ac
Lot Width (minimum)	300 ft	1,193 ft	635 ft	760 ft
Lot Depth (minimum)	100 ft	1,602 ft	1,152 ft	599 ft
Building Site Coverage (maximum)	50%	49.6%	45.2%	28.3%
Floor Area Ratio (maximum)	1.5	0.496	0.452	0.283
Building Height (maximum)	45 ft	55'-10"	44 ft	42 ft
Building Setbacks from Arterials (minimum)	50 ft	122 ft	97 ft	94 ft
Building Street Side Setback (minimum)	50 ft	167	N/A	451 ft
Building Side & Rear Setbacks (minimum)	0 ft	139 ft	36 ft	43 ft
Parking Lot Setbacks (minimum)	20 ft	40 ft	24 ft	24 ft
Parking Requirements:				
<i>Office</i>	1 space per 250 sf	15,000 sf/250 (60 spaces)	8,000 sf/250 (32 spaces)	8,000 sf/250 (32 spaces)
<i>Warehouse</i>	1 space per 1,000 sf	985,620 sf/1,000 (986 spaces)	361,842 sf/1,000 (362 spaces)	82,987 sf/1,000 (83 spaces)
	<b>Total Required: 1,555 spaces</b>	<b>1,046 spaces</b>	<b>394 spaces</b>	<b>115 spaces</b>
	<b>Total Provided: 585 spaces</b>	<b>387 spaces</b>	<b>101 spaces</b>	<b>97 spaces</b>
Alternative Parking Site Plan				
	<b>Total Required: 1,555 spaces</b>	<b>1,046 spaces</b>	<b>394 spaces</b>	<b>115 spaces</b>
	<b>Total Provided: 1,579 spaces</b>	<b>1,061 spaces</b>	<b>394 spaces</b>	<b>124 spaces</b>
Handicap Accessible Requirements:				
<i>101 to 150 total spaces =</i>	5 ADA spaces	N/A	N/A	5 ADA spaces
<i>301 to 400 total spaces =</i>	8 ADA spaces	N/A	8 ADA spaces	N/A
<i>Over 1,000 total spaces =</i>	21 ADA spaces	23 ADA spaces	N/A	N/A
Loading Requirements:	To be	206 truck	44 truck	22 truck

<b>Development Standards</b>	<b>Required/ Permitted</b>	<b>Provided Building A (Parcel 1)</b>	<b>Provided Building B (Parcel 2)</b>	<b>Provided Building C (Parcel 3)</b>
	established by PC	trailer spaces provided	trailer spaces provided	trailer spaces provided
Parking Dimensions: <i>Passenger Cars</i>				
<i>Regular Spaces</i>	9'x18'	9'x18'	9'x18'	9'x18'
<i>Drive Aisle Width</i>	24 feet	26 feet	26 feet	26 feet
<i>Loading Spaces</i>	10'x22'	10'x53'	10'x53'	10'x53'

**Variance – Building Height**

The project site is within the Hunter Business Park Specific Plan – Industrial Park District. The Industrial Park District designation/zone allows a maximum building height of 45 feet. Building A (Parcel 1) proposes a building height of 56', which exceeds the maximum building height allowed by approximately 11 feet. Therefore, as allowed per Chapter 19.720 (Variance) of Riverside's Municipal Code, the project requests an exception to the allowable building height for Building A. Please see the Variance Findings in Attachment "A."

Implementation of the project, as designed, will provide the following benefits:

- Significantly enhance the aesthetic look of the site/area, as the project proposes to construct an attractive warehouse building.
- Building A (Parcel 1) proposes a total of 455,022 square feet (22.5%) of landscaping, which is a significant amount of landscaping for an industrial development of this size.
- The project will serve as an asset to the local and regional economy by creating employment opportunities and paying its fair share of impact fees and taxes.

No other exceptions are requested, as the proposed project meets or exceeds all other required Hunter Business Park Specific Plan – Industrial Park District standards and guidelines for development and design.

**Project Phasing**

The project is proposed to be constructed in three (3) phases. The project has been designed so that each building can be developed independently of the other buildings regarding access, development standards, and infrastructure improvements. Building B (Parcel 2) and Building C (Parcel 3) will share an outlet storm drain connection; however, if Building B is built first, a stub can be placed for Building C. Water Quality is being addressed per building site.

## **Circulation**

### **Access and On-Site Circulation**

Access to the project is proposed off Michigan Avenue and Palmyrita Avenue.

- Building A (Parcel 1): Two (2) access driveways are proposed for Building A, a 60 foot wide access driveway off Michigan Avenue and a 40 foot wide access driveway off Palmyrita Avenue.
- Building B (Parcel 2): Two (2) 40 foot wide access driveways are proposed for Building B off Palmyrita Avenue.
- Building C (Parcel 3): Two (2) access driveways are proposed for Building C off Palmyrita Avenue, a 40 foot wide access driveway that is to be constructed east of the building and a 28 foot wide access drive that is only to remain as an emergency access point.

A minimum 28 foot wide interior access drive is proposed to circumnavigate the buildings, including the truck court areas providing access for truck trailer parking and loading areas, and access for the Fire Department.

A Traffic Impact Analysis has been prepared for the project and is included in the project submittal.

### **Street Improvements**

- Palmyrita Avenue

Per the Hunter Business Park Specific Plan, Palmyrita Avenue is classified as a Major Arterial roadway with an 88-foot wide ultimate right-of-way. The half-width improvement schedule for a Major Arterial is 32 feet of pavement with a sidewalk, curb, gutter, and parkway landscaping. Additional right-of-way dedication and improvements are not required for Palmyrita Avenue, as this roadway has been dedicated and improved to its ultimate condition including the undergrounding of utilities and electrical lines. The project proposes to provide parkway landscaping.

- Michigan Avenue

Per the Hunter Business Park Specific Plan, Michigan Avenue is classified as an Industrial Collector roadway with a 66-foot wide ultimate right-of-way. The half-width improvement schedule for an Industrial Collector is 22 feet of pavement with a sidewalk, curb, gutter, and parkway landscaping. Additional right-of-way dedication and improvements are not required for Michigan Avenue, as this roadway has been

dedicated and improved to its ultimate condition including the undergrounding of utilities and electrical lines. The project proposes to provide parkway landscaping.

- **Columbia Avenue Loop**

The project proposes to vacate the "Columbia Avenue Loop," please see the "General Plan/Specific Plan Amendment Section" for a detailed description.

### **City Trail on Serpentine Drive**

There is a City Trail required on the eastern Property line of the project site that is currently graded and designated as "Serpentine Drive." This trail is designated for pedestrian and bike use, no equestrian use. The City will require trail improvements including fencing and landscaping. We are currently working with the adjacent property owner to dedicate the roadway as a trail easement.

### **Parking**

As noted in the Development Standards section, the project as currently designed is under parked. Due to the anticipated operational needs of potential end users, the project provides truck trailer parking instead of automobile parking. This quantity of stalls accommodates ample trailer parking and loading spaces for industrial/distribution uses. An Alternative Parking Site Plan is provided to demonstrate that the project can meet the minimum number of required parking spaces. The project seeks approval of both Site Plans to more effectively develop the site to accommodate the needs of future tenants. However, if a parking shortage occurs in the future, then the project could convert some or all of the truck trailer parking spaces to automobile spaces and resolve any potential parking shortage.

### **Building Elevations**

Building A (Parcel 1) is proposed with an overall building height of 56', which exceeds the allowable maximum building height limit of 45 feet. A variance approval is required as detailed in the "Variance - Building Height" section. Building B (Parcel 2) is proposed at an overall height of 44 feet and Building C (Parcel 3) is proposed at a height of 42 feet. Both of these buildings are under the allowable maximum building height limit.

The proposed design will be concrete tilt-up buildings with elevations that are articulated with painted and scored accents. Architectural projections and varying paint colors are provided around the buildings to add depth and visual interest. The main colors of the buildings will be Silver Lining and White with accents of Excalibur and Abalon. Colors have been selected to provide a neutral, yet attractive scheme that accents the facility and the area. Strong focus and hierarchy will be given to the corners of the buildings (office areas)

with significant blue reflective glass features and will integrate clear anodized mullions to give them prominence and aesthetic distinction.

### **Landscaping**

The landscape coverage proposed for each building and for the entire project site is noted in the following table.

	<b>Building A (Parcel 1)</b>	<b>Building B (Parcel 2)</b>	<b>Building C (Parcel 3)</b>	<b>TOTAL</b>
Site Area	46.3 acres	18.8 acres	7.4 acres	72.5 acres
Landscaped Area	455,022 SF	107,795 SF	93,313 SF	656,130 SF
Landscape Coverage	22.5%	13.2%	29.1%	20.8%

The project will landscape all front yard setbacks along Palmyrita Avenue and Michigan Avenue. The landscape areas range in width from 24 feet up to 40 feet along Palmyrita Avenue and from 40 feet up to 70 feet along Michigan Avenue. The landscape areas will include trees, shrubs, and drought tolerant ground cover described in more detail in the Conceptual Landscape Plan included in the project submittal.

Landscaped planters/areas are proposed within the automobile parking areas, adjacent to the offices, and along the south property lines. The landscaping will be designed to significantly reduce the water consumption at the site as compared to traditional landscape designs. All slopes are proposed to be landscaped. The project will be equipped with a low flow irrigation system consisting of ET Weather based controllers, low flow RP Rotor, bubbler and/or drip systems used throughout. The irrigation water efficiency will meet or surpass the mandated AB-1881 water ordinance.

Two (2) Water Quality Detention Basins are proposed, one south of Building B (Parcel 2) and another basin north of Building C (Parcel 3). The basins will be constructed with a gravel/rock bottom and slopes will be landscaped with native hydro seed planting for erosion control purposes.

### **Walls/Fencing & Gates**

The following identifies walls, fencing, and gates to be constructed on Parcel 1 (Building A):

- An eight foot (8') high concrete tilt-up screen wall will be located approximately 70 feet behind the property line along Michigan Avenue. The wall will provide security and screening for the truck parking and dock loading areas.
- An eight foot (8') high galvanized steel picket fence painted to match the building is proposed along the east, south, and west property lines. This fence will provide security to the truck parking and dock loading areas.



- The three (3) entrances into the truck parking and dock loading areas will be secured with eight foot (8') high metal, manual operated rolling security gates with Knox box for Fire Department access.
- A guard shack and gate are proposed off Michigan Avenue southwesterly of the building.
- A retaining wall ranging in height up to 16.5 feet is proposed south of the building.

The following identifies walls, fencing, and gates to be constructed on Parcel 2 (Building B):

- An eight foot (8') high galvanized steel picket fence painted to match the building is proposed along the east, south, and west property lines. This fence will provide security to the truck parking and dock loading areas.
- The two (2) entrances into the truck parking and dock loading areas will be secured with eight foot (8') high metal, manual operated rolling security gates with Knox box for Fire Department access.
- The Detention Basin is to be fenced with chain link fencing.
- A retaining wall ranging in height up to 8 feet is proposed southeast of the building.

The following identifies walls, fencing, and gates to be constructed on Parcel 3 (Building C):

- An eight foot (8') high galvanized steel picket fence painted to match the building is proposed along the east, south, and west property lines, including the area between the automobile parking lot and truck parking area and along the perimeter of the Detention Basin. These fences will provide security to the truck parking and dock loading areas.
- The two (2) entrances into the truck parking and dock loading areas will be secured with eight foot (8') high metal, manual operated rolling security gates with Knox box for Fire Department access.
- A retaining wall ranging in height up to 6.2 feet is proposed southeast of the building.

### **Drainage Improvements**

The proposed on-site drainage improvements for the project include the following:

- Parcel 1 (Building A): Two (2) underground Infiltration Basins and two (2) Desilting Basins.
- Parcel 2 (Building B): An above ground Water Quality Detention Basin.
- Parcel 3 (Building C): An above ground Water Quality Detention Basin.

The detention basins will serve as a permanent filtration system for urban and stormwater run-off from the project site. A Conceptual Grading Plan and Preliminary Water Quality Management Plan (WQMP) have been prepared for the project and are included in the project submittal.

### **Water and Sewer Service**

The City of Riverside Public Utilities Department and Public Works Department are the water and sewer purveyors for the project site, respectively. Will Serve Letters are attached confirming availability of service.

### **Environmental Review**

This project submittal includes a Tentative Parcel Map, Site Plan, Alternative Parking Site Plan, Floor Plan, Elevations, Conceptual Grading Plan, and Conceptual Landscape Plan. Along with these plans for the project, the following reports are included in the submittal to address environmental impacts of the development:

- Traffic Impact Analysis
- Parking Analysis
- Building Code Analysis
- Preliminary Water Quality Management Plan (WQMP) & Preliminary Best Management Practices (BMP)
- Hydrology Study
- Soils/Geotechnical Report
- Preliminary Environmental Site Assessment
- Burrowing Owl Habitat Assessment
- Historical/Archaeological Resources Survey Report
- Air Quality/Climate Change (Greenhouse Gas) Assessment
- Health Risk Assessment

To facilitate the environmental review of the project, MIG | Hogle-Ireland has prepared the Environmental Information Form, which is included in the project submittal. MIG | Hogle-Ireland will also prepare a draft Initial Study for the project in accordance with the California Environmental Quality Act (CEQA). Upon completion, the CEQA Initial Study will be submitted to the City for review.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.2

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1132MA15 – Core States Group for McDonald’s USA, LLC and Phelan Development Company/Iowa Spruce SR/JP, LLC (Representatives: Andrew Rappe and Adrienne Cord)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P15-0189 (Specific Plan Amendment), P15-0188 (Conditional Use Permit), and P15-0263 (Tentative Parcel Map No. 35889)

**MAJOR ISSUES:** None.

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Specific Plan Amendment and a finding of CONSISTENCY for the Conditional Use Permit and Tentative Parcel Map, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to establish and operate a 4,322 square foot McDonald’s restaurant with drive-thru on 1.21 acres of a 3.11-acre parcel (Assessor’s Parcel Number 249-140-029) partially developed with a building utilized as a Habitat for Humanity office. The Specific Plan Amendment is a proposal to amend the list of permissible land uses within the Business Support Retail Overlay District of the Hunter Business Park Specific Plan so as to allow for restaurants with drive-thru facilities subject to approval of a Conditional Use Permit. (Presently, this Overlay District allows for restaurants without drive-thru facilities as permitted uses.) The Conditional Use Permit is a proposal to allow for the specific drive-thru facility proposed at this site. Tentative Parcel Map No. 35889 is a proposal to divide the 3.11-acre parcel into two lots, so that the existing building and the proposed building will be on separate legal lots.

**PROJECT LOCATION:** The site is located at the northeast corner of Iowa Avenue and Spruce Street within the City of Riverside, approximately 40,110 feet northwesterly of the northerly terminus of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area: March Air Reserve Base/Inland Port Airport

- b. Land Use Policy:                   Zone E
- c. Noise Levels:                   below 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone E. There are no land use intensity restrictions within Compatibility Zone E.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being well outside the 60 CNEL aircraft noise contour. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is approximately 1535 feet above mean sea level (1535 feet AMSL). The elevation of this site is more than 500 feet lower than the elevation of the runway. It should be noted that the site is more than 200 feet above the elevation of the runway at Flabob Airport, at a distance of 19,157 feet. If the runway at Flabob were greater than 3,200 feet in length, notice to the Federal Aviation Administration (FAA) Obstruction Evaluation Service would be required. However, as the runway length at Flabob does not exceed 3,200 feet, the notification radius only extends out 10,000 feet and the relevant slope is 50:1, rather than 100:1. Furthermore, the site is located more than 20,000 feet from the runways of Riverside Municipal Airport (the second closest civilian public-use airport). Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons is not required.

Open Area: There are no open area requirements in Compatibility Zone E.

Legislative Actions: This item is before the Commission because it includes a legislative action – specifically, an amendment to the Hunter Business Park Specific Plan. However, this amendment does not change the land use designation of the property. Provision of a drive-thru does increase intensity of use, but, as noted above, there are no land use intensity restrictions in Zone E.

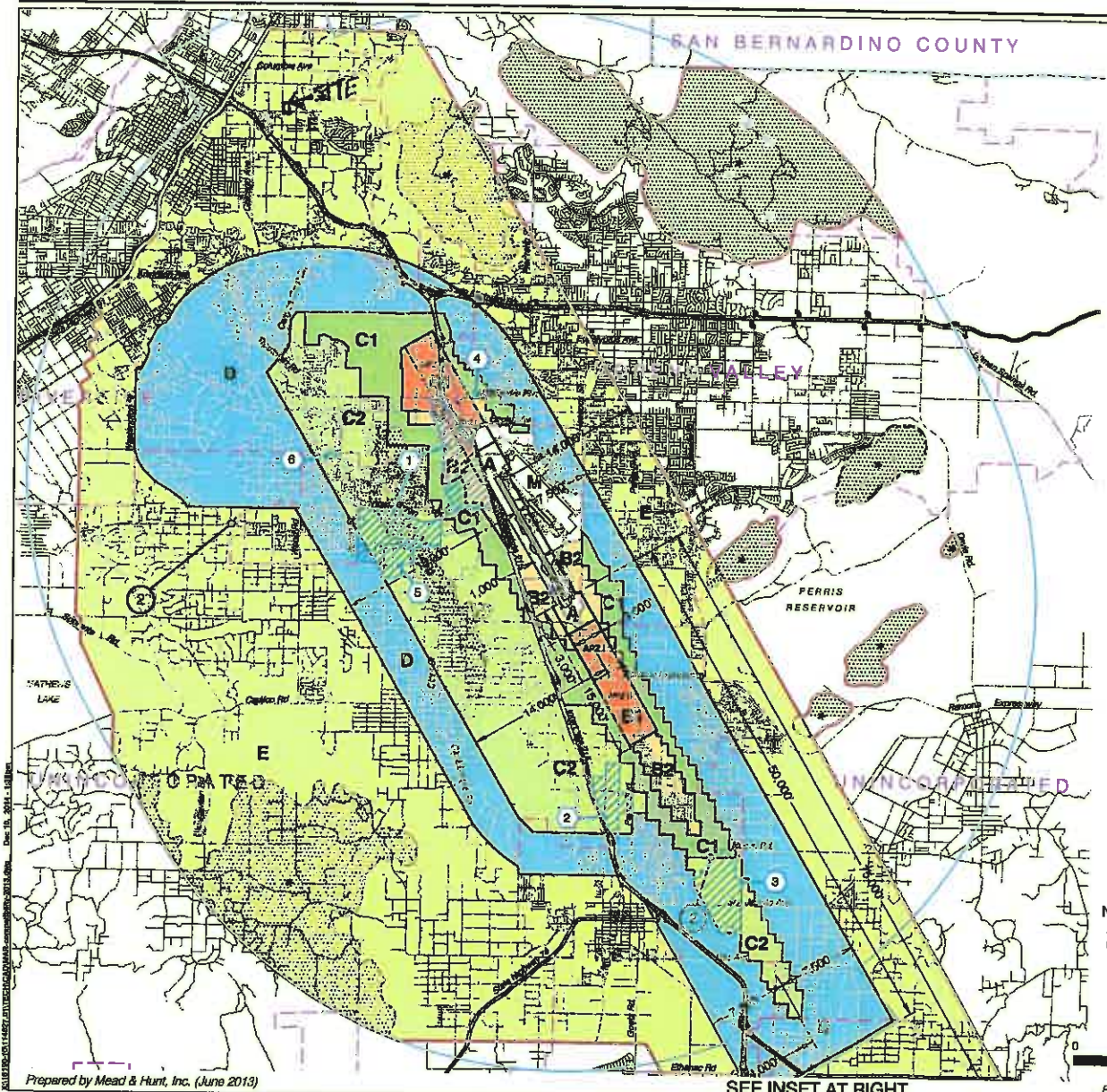
**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the buildings thereon.
4. Any proposed detention basin on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

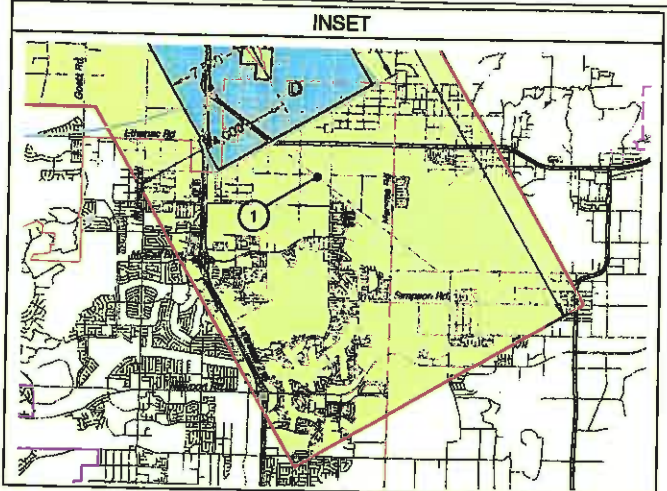
# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C1
  - Zone C2
  - Zone D
  - Zone E
  - Zone M
  - High Terrain Zone
  - FAR Part 77 Military Outer Horizontal Surface Limits
  - FAR Part 77 Notification Area
- Boundary Lines**
- March Air Reserve Base / Air Force Property
  - March Joint Powers Authority Property Line
  - County Boundary
  - City Limits
  - Site-Specific Exceptions (existing local agency commitments to development projects)
- ① March JPA: March Business Center/Meridian
  - ② Perris: Harvest Landing
  - ③ Perris: Park West
  - ④ Moreno Valley: Affordable Housing
  - ⑤ March JPA: Ben Clark Training Center
  - ⑥ Riverside: Ridge Crest Subdivision
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,835 feet MSL.
  - ② Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County  
Airport Land Use Commission**  
**March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan**  
(Adopted November 13, 2014)

Note:  
All dimensions are measured from  
runway ends and centerlines.

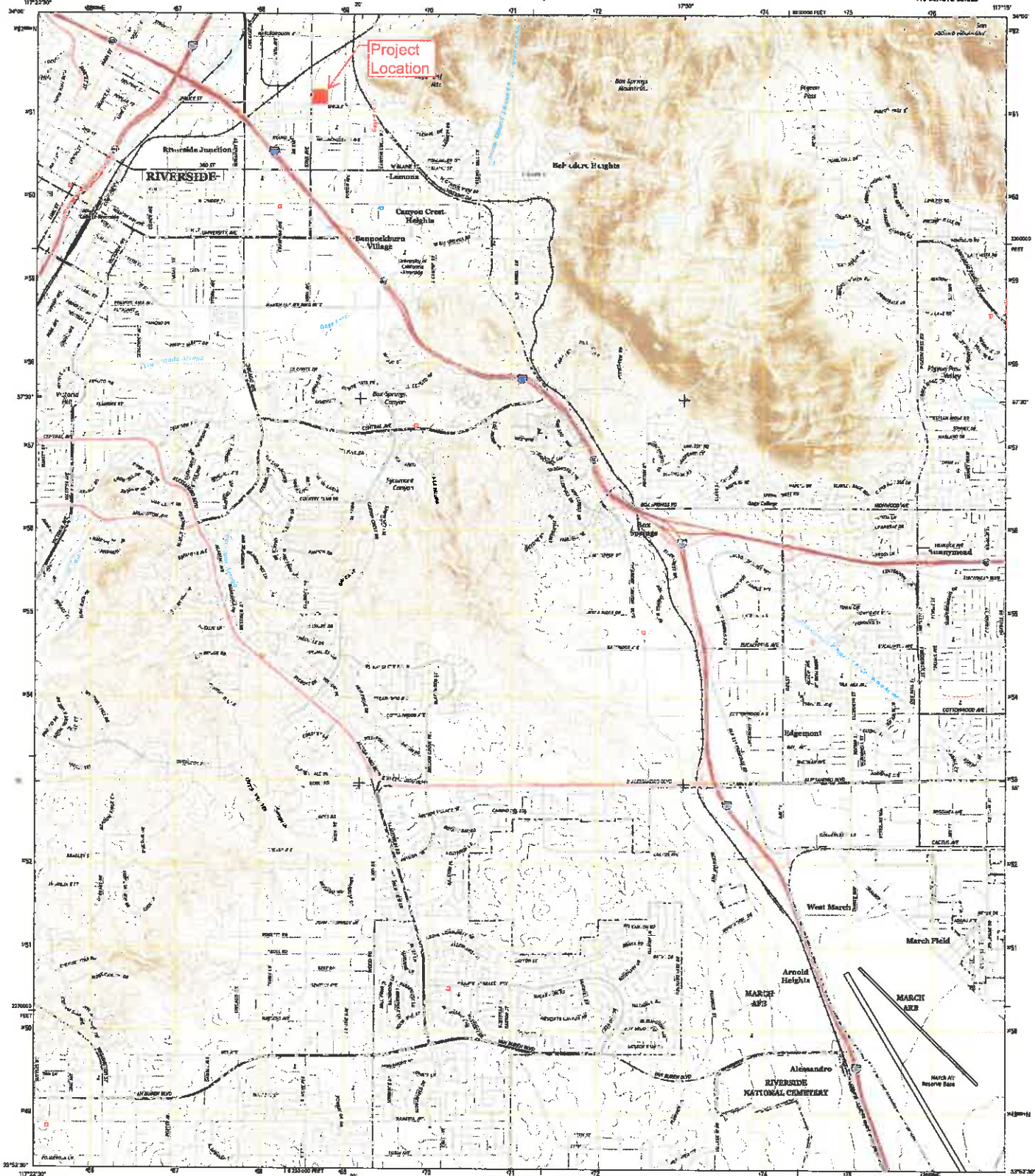


SEE INSET AT RIGHT

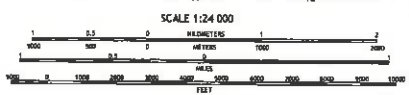
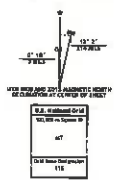
Prepared by Mead & Hunt, Inc. (June 2013)

Base map source: County of Riverside 2013

Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



Produced by the United States Geological Survey  
for the American Bureau of 1982 (24881)  
World Geodetic System of 1984 (WGS84) - Projected and  
1:50,000 scale of the Universal Transverse Mercator, Zone 11S  
19 200 000 1000 5000 10000 15000 20000 25000 30000  
19 200 000 1000 5000 10000 15000 20000 25000 30000  
The map is not a legal document. It is not to be  
used for legal purposes. It is not to be used for  
government purposes. It is not to be used for  
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government purposes.



ROAD CLASSIFICATION

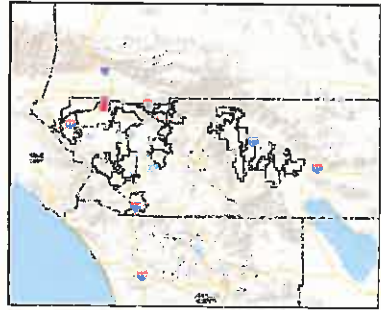
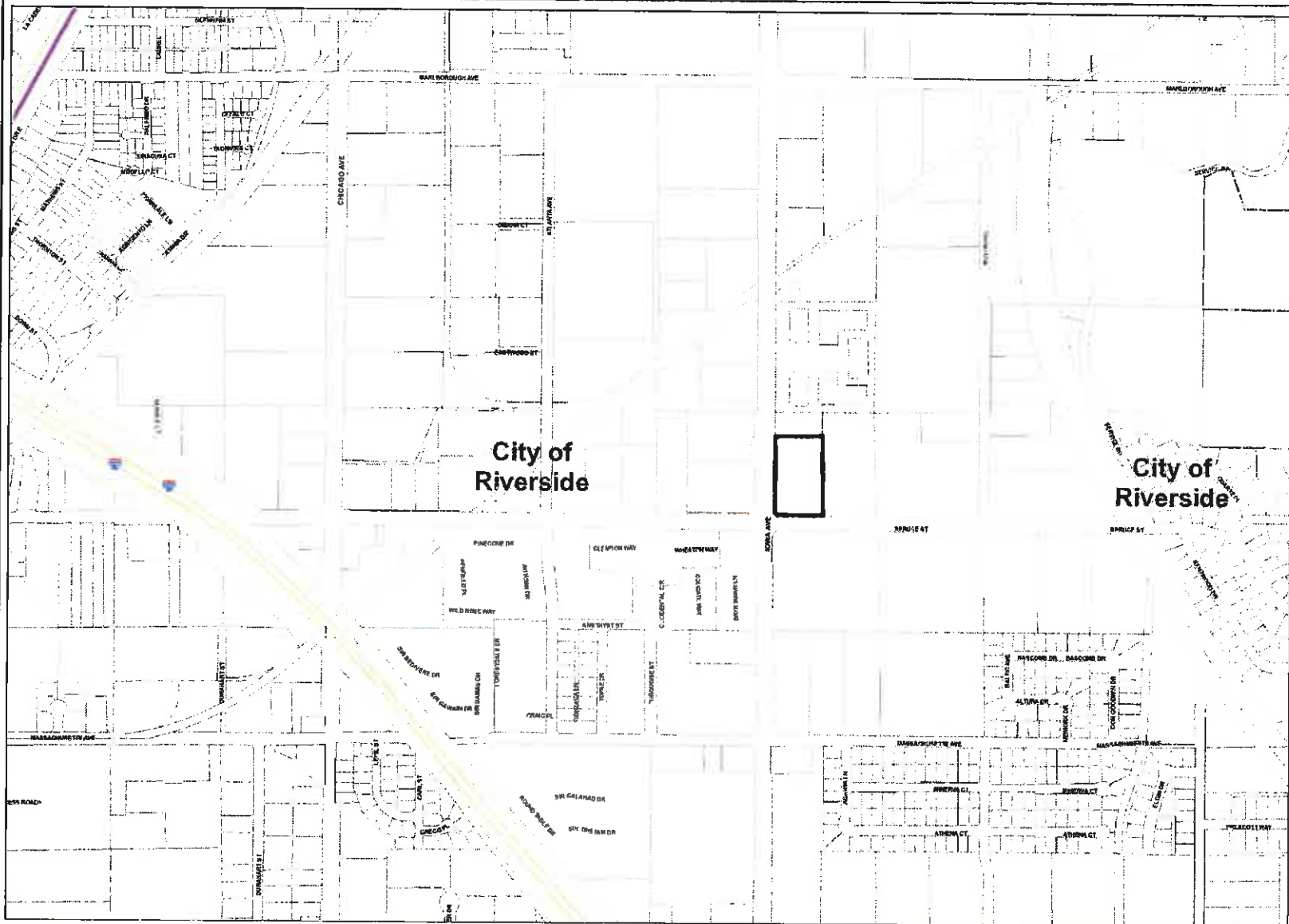
Expressway	Local Connector
Secondary Hwy	Local Road
Loop	AVB
Private Road	US Route
	State Road

1	2	3	4
5	6	7	8
9	10	11	12

1 Forest  
2 San Bernardino South  
3 Meadows  
4 Riverside West  
5 Riverside  
6 Lake Hughes  
7 State Park  
8 Pine



# My Map



### Legend

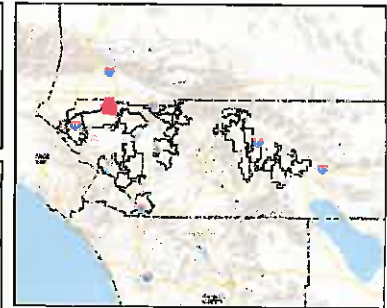
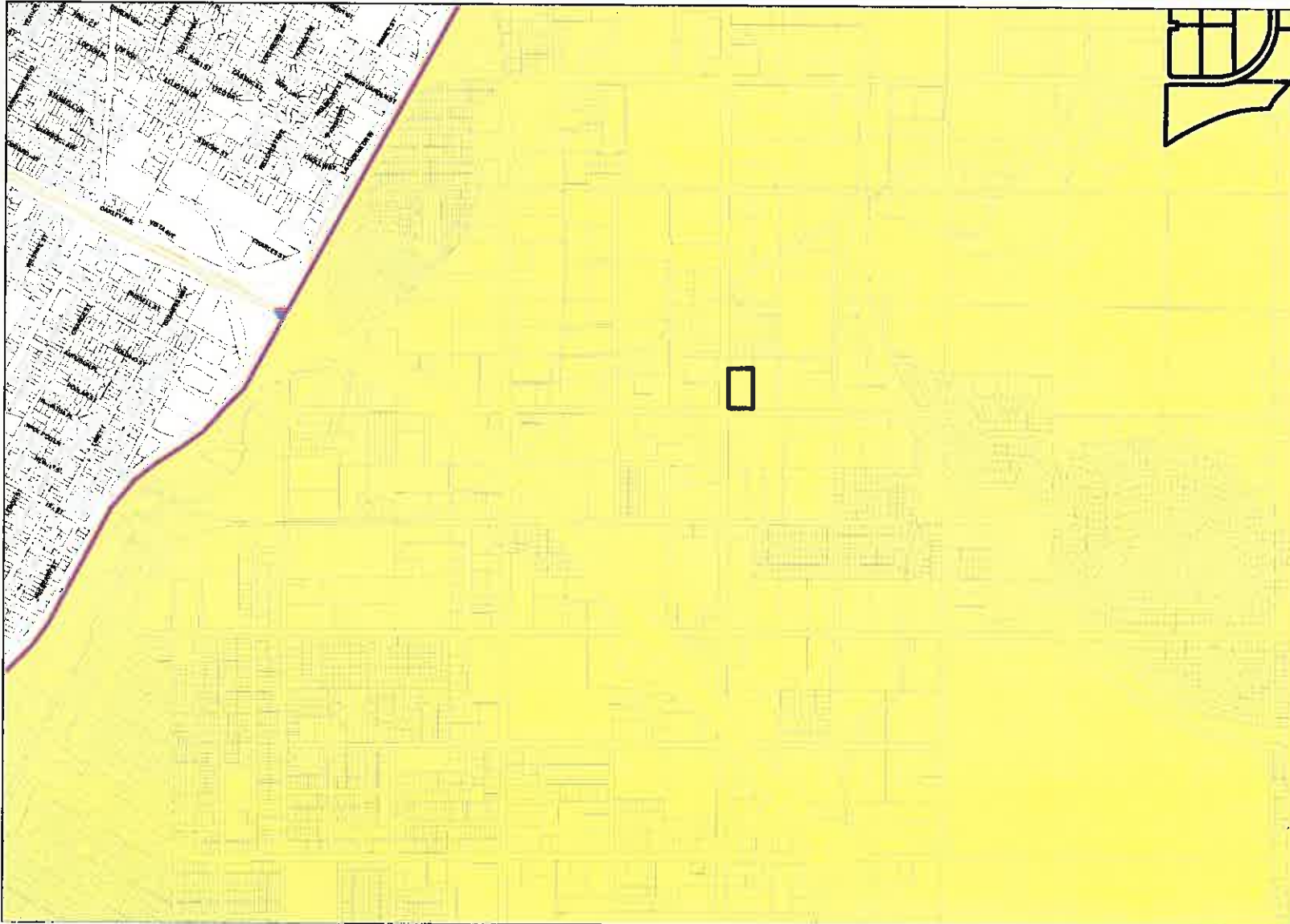
- RCLIS Parcels
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

0 1,115 2,230 Feet

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

### Notes

# My Map



## Legend

- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



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0 2,230 4,460 Feet

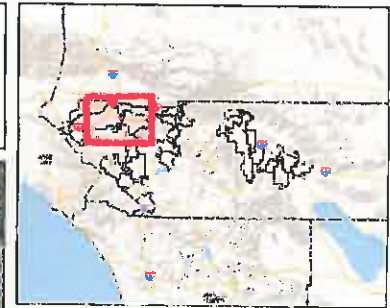
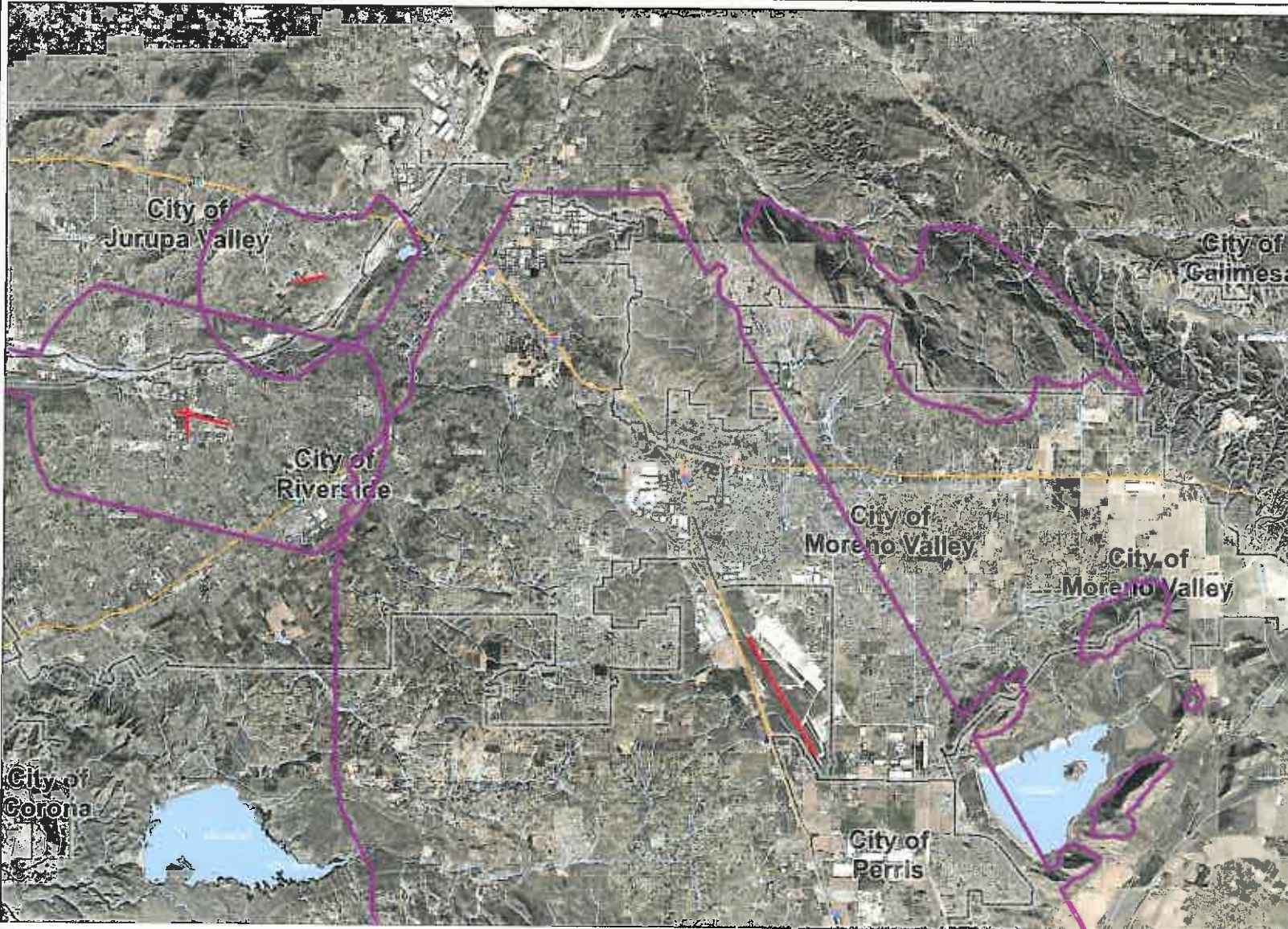


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## Notes

# My Map



## Legend

- AIA
- Runways
- City Boundaries
- adjacent\_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways\_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- counties
- cities



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0 17,838 35,676 Feet

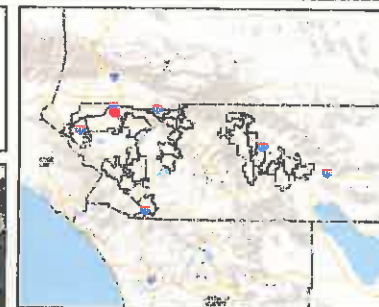


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## Notes

# My Map



## Legend

-  RCLIS Parcels
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



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0 1,115 2,230 Feet

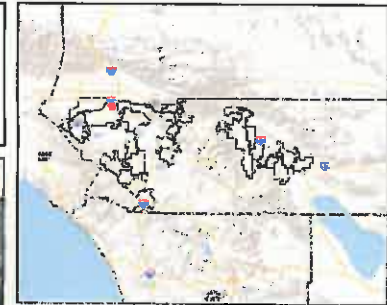


REPORT PRINTED ON... 7/27/2015 11:11:09 AM

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## Notes

# My Map



## Legend

- RCLIS Parcels
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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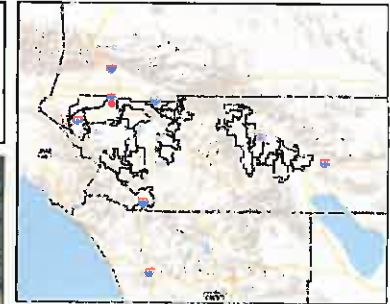


0 557 1,115 Feet

















## Notes

# My Map



## Legend

-  RCLIS Parcels
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



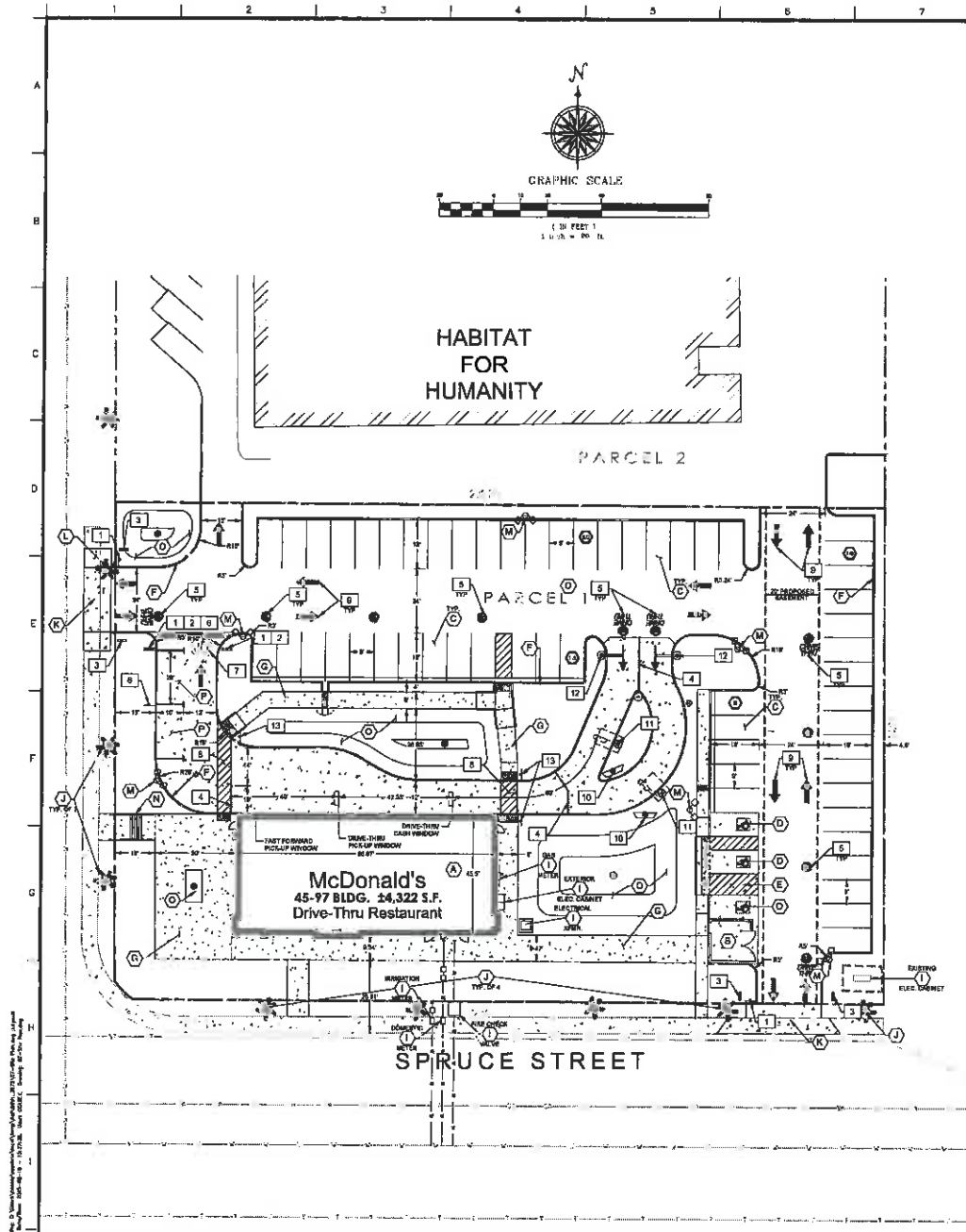
0 279 557 Feet



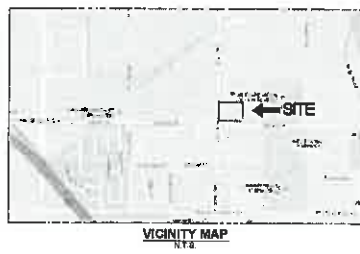
REPORT PRINTED ON... 7/27/2015 11:16:03 AM

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## Notes



**SITE PLAN NOTES:**  
REFER TO ALTA SURVEY FOR EASEMENT LOCATIONS



**PROJECT DATA**

CITY/COUNTY, STATE:	IRVINE/CA
PROJECT ADDRESS:	KONA AVENUE AND SPRUCE STREET
APPLICANT NAME:	McDONALD'S USA, LLC
APPLICANT ADDRESS:	3600 ELAYO AIRPORT HWY. SUITE 200 LONG BEACH, CA 90806
CONTACT PERSON:	SCOTT WILKINSON, AREA CONSTRUCTION MANAGER (951) 725-9000
OWNER NAME:	JOHN SPRUCE SALES, LLC
OWNER ADDRESS:	12 CORPORATE PLAZA #150 NEWPORT BEACH, CA 92660
SITE ORDER AREA:	1.21 AC
GROSS FLOOR AREA:	4,322.1 SQ. FT.
PARKING:	REQUIRED PROVIDED
REGULAR SPACES (DRIVE-THRU BUSINESS, 17'000' GFA):	41 56
ADA SPACES:	2 3
TOTAL SPACES:	43 59
ZONING DISTRICT:	INDUSTRIAL (IMP)
SPECIFIC PLAN:	HUNTER BUSINESS PARK
ACCESSORIAL PARCEL #:	249-143-229
PROJECT INFO:	SINGLE STORY RESTAURANT AND DRIVE THRU
BUILDING CODES:	CRC 2013, CMC 2013, CPC 2013, CEC 2013, CA ENERGY CODE 1-24 2013, CPC 2015

- KEYED NOTES:**
- A. PROPOSED 4.522 SF BUILDING.
  - B. PROPOSED TRASH ENCLOSURE WITH ROOF.
  - C. PROPOSED 8' x 18' STANDARD PARKING SPACE.
  - D. PROPOSED 8' x 18' ADA COMPLIANT VAN ACCESSIBLE LOADING AREA.
  - E. PROPOSED 8' x 18' ADA COMPLIANT VAN ACCESSIBLE LOADING AREA.
  - F. PROPOSED STANDARD 8' CURB.
  - G. PROPOSED SIDEWALK PER CITY STANDARDS.
  - H. PROPOSED CONCRETE PAVEMENT.
  - I. PROPOSED LOCATION OF GROUND-ENCLOSED UTILITY EQUIPMENT.
  - J. EXISTING TREENAVOR SHRUB TO REMAIN.
  - K. EXISTING DRIVEWAY TO BE UPGRADED PER CITY STANDARDS.
  - L. EXISTING TREE TO BE REMOVED.
  - M. PROPOSED LIGHT POLE.
  - N. PROPOSED ADA COMPLIANT STAIRS, RAILING, AND LANDING.
  - O. PROPOSED SIGN/ILLUMINATION PLANTER.
  - P. PROPOSED 16x20' PARKING STALLS FOR DRIVE-THRU "PULL FORWARD" PARKING.

**PROPOSED LEGEND**

---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	STANDARD CURB
---	CURBS AND GUTTER
---	CONCRETE PAVEMENT
---	CONCRETE SIDEWALK
---	ASPHALT PAVEMENT
---	TRAFFIC ARROW
---	PARKING COUNT SYMBOL
---	STORM CATCH BASIN
---	SITE LIGHTING POLE

- SIGNAGE NOTES:**
- 1. PROPOSED STOP SIGN.
  - 2. PROPOSED "NO ENTRY" SIGN.
  - 3. PROPOSED McDONALD'S DIRECTIONAL SIGN.
  - 4. PROPOSED 8" WIDE YELLOW THERMOPLASTIC PAINT STRIPE.
  - 5. PROPOSED McDONALD'S YELLOW PAVEMENT MARKINGS.
  - 6. PROPOSED 1" GROUND PULL FORWARD SIGN.
  - 7. PROPOSED 8" WIDE SIGN BAR WITH STOP PAINTED ON PAVEMENT.
  - 8. PROPOSED 8' WIDE ADA COMPLIANT CROSSEWALK.
  - 9. PROPOSED McDONALD'S WHITE PAVEMENT MARKINGS.
  - 10. PROPOSED McDONALD'S MENU.
  - 11. PROPOSED DRIVE-THRU THRU-POLE CANOPY WITH BUILT-IN CUSTOMER ORDER DISPLAY.
  - 12. PROPOSED WELCOME POINT GATEWAY.
  - 13. PROPOSED PEDESTRIAN CROSSING SIGN.

**EXISTING LEGEND**

---	EXISTING PROPERTY LINE
---	EXISTING BUILDING SETBACK LINE
---	EXISTING STANDARD CURB
---	EXISTING CURBS AND GUTTER
---	EXISTING CONCRETE PAVEMENT
---	EXISTING CONCRETE SIDEWALK
---	EXISTING ASPHALT PAVEMENT
---	EXISTING TRAFFIC ARROW
---	EXISTING PARKING COUNT SYMBOL
---	EXISTING STORM CATCH BASIN
---	EXISTING SITE LIGHTING POLE

DATE: 07/14/2015  
REV: 5

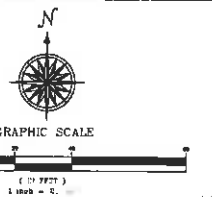
PROJECT: NEW McDONALD'S RESTAURANT AND DRIVE-THRU  
SHEET: 5 OF 5

DESIGNED BY: [Name]  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: 07/14/2015

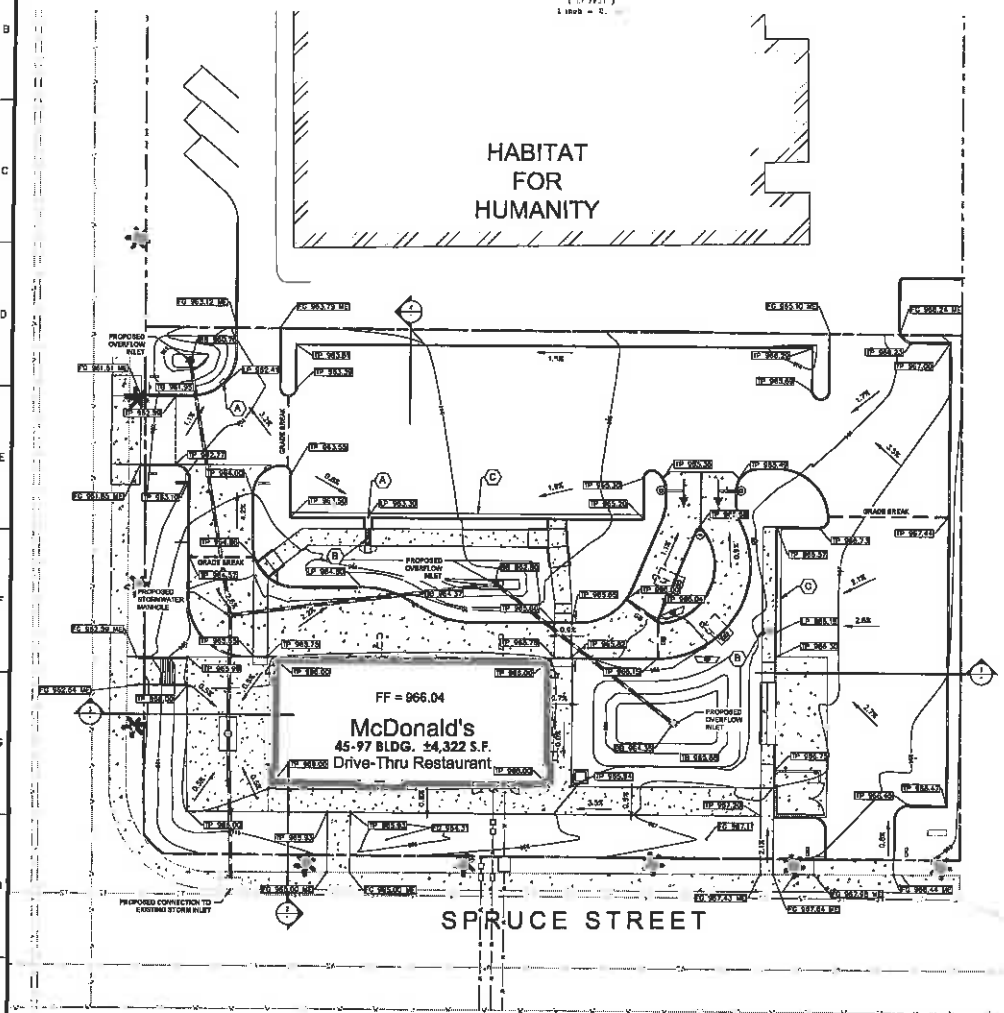
PREPARED FOR: McDonald's USA, LLC  
PROJECT: NEW McDONALD'S RESTAURANT AND DRIVE-THRU  
PROPERTY: 45-97 KONA AVENUE AND SPRUCE STREET, IRVINE, CA 92614  
DATE: 07/14/2015

811  
Call what's below.  
Know what's below.

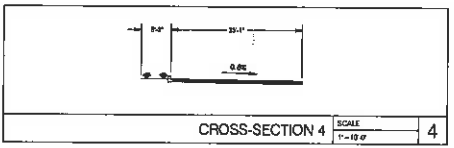
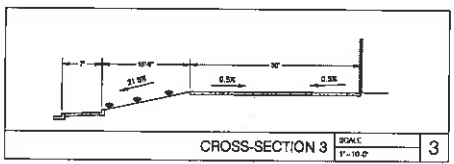
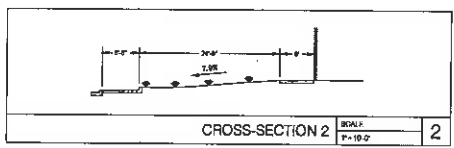
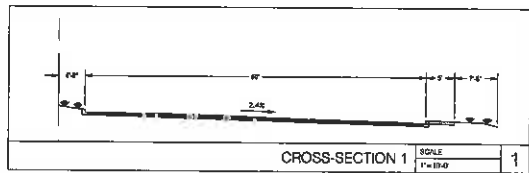
18. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CONSTRUCTION ACT AND ALL APPLICABLE ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION.



HABITAT FOR HUMANITY



SPRUCE STREET



**EXISTING LEGEND**

- PROPERTY LINE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STAINLESS CURBS
- CURB AND GUTTER
- FLOW LINE
- 1.5% SLOPE AND FLOW ARROW
- TP ELEVATION SPOT ELEVATION
- ST-# STRUCTURE NUMBER
- GW-# GROUNDWATER PIPE
- SCB STORM CATCH BASIN
- SCB STORM CLEANOUT
- DR-# DRAINAGE SUB BASIN

**PROPOSED LEGEND**

- PROPERTY LINE
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STAINLESS CURBS
- CURB AND GUTTER
- FLOW LINE
- 1.5% SLOPE AND FLOW ARROW
- TP ELEVATION SPOT ELEVATION
- ST-# STRUCTURE NUMBER
- GW-# GROUNDWATER PIPE
- SCB STORM CATCH BASIN
- SCB STORM CLEANOUT
- DR-# DRAINAGE SUB BASIN

**GRADING NOTES: O**

A	PROPOSED CURB DROP INLET
B	PROPOSED PARAWAY DRAIN
C	PROPOSED CURB AND GUTTER

**ABBREVIATIONS**

- BS BOTTOM OF SHALE
- EP EDGE OF ASPHALT PAVEMENT
- FB FACE OF BUILDING
- GC GRADE CHANGE
- HP HIGH POINT
- ME MEAS. EXISTING
- RB RISE MARK
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP OF PAVEMENT AND/OR CONCRETE
- TW TOP OF WALK



**811**  
Know what's below.  
Call before you dig.

THE CITY OF SAN FRANCISCO SPECIFICALLY DISCLAIMS ANY LIABILITY FOR DAMAGES OR INJURIES RESULTING FROM THE USE OF THE INFORMATION PROVIDED HEREIN. THE USER OF THIS INFORMATION ASSUMES ALL LIABILITY FOR ANY DAMAGES OR INJURIES RESULTING FROM THE USE OF THIS INFORMATION. THE USER OF THIS INFORMATION SHALL INDEMNIFY AND HOLD THE CITY OF SAN FRANCISCO HARMLESS FROM ANY AND ALL DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY THE CITY OF SAN FRANCISCO AS A RESULT OF THE USER'S USE OF THIS INFORMATION.

REV.	DATE	DESCRIPTION

DATE OF PREPARED FOR: <b>McDonald's USA, LLC</b>	DATE OF ISSUE: <b>02/16/2015</b>
DATE OF CHECK: <b>02/16/2015</b>	DATE OF REVISION: <b>02/16/2015</b>
PROJECT: <b>NEW McDONALD'S RESTAURANT AND DRIVE-THRU</b>	SHEET: <b>GRADING AND DRAINAGE PLAN</b>
SCALE: <b>AS SHOWN</b>	TITLE: <b>GRADING AND DRAINAGE PLAN</b>
PROJECT LOCATION: <b>45-97 SPRUCE STREET, SAN FRANCISCO, CALIFORNIA</b>	SHEET NO.: <b>C-6</b>
	TOTAL SHEETS: <b>2 OF 3</b>



DESIGNED BY: **McDonald's USA, LLC**

PROJECT NO.: **03512**

DATE: **02/16/2015**

SCALE: **AS SHOWN**

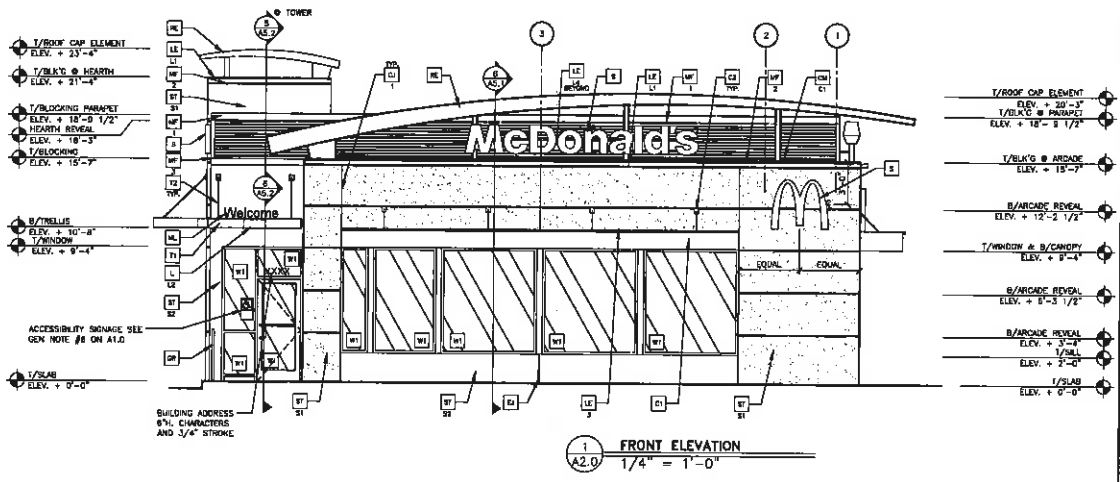
SHEET: **GRADING AND DRAINAGE PLAN**

TITLE: **GRADING AND DRAINAGE PLAN**

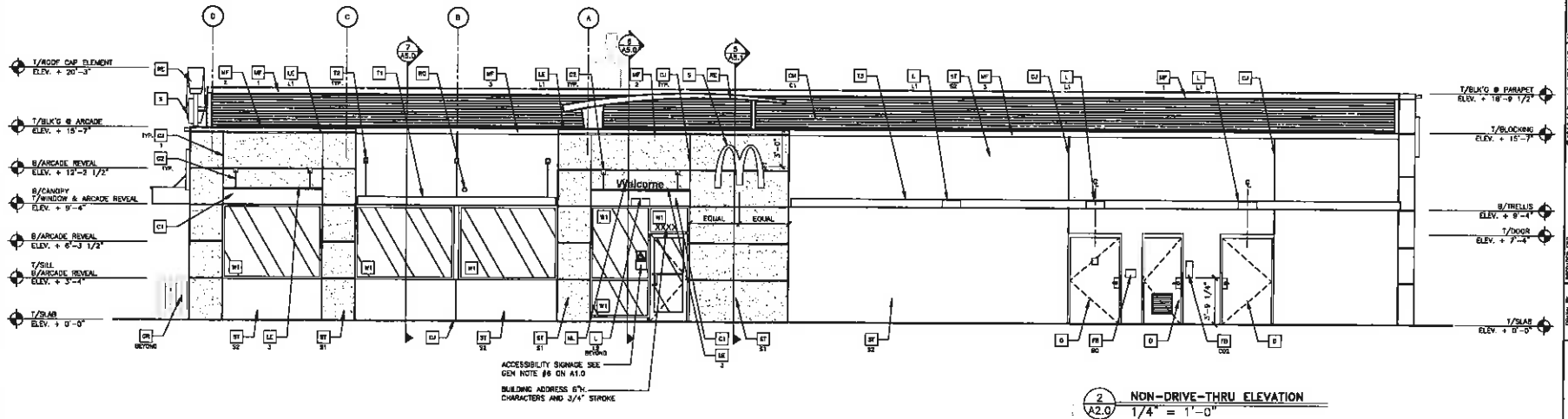
PROJECT LOCATION: **45-97 SPRUCE STREET, SAN FRANCISCO, CALIFORNIA**



K:\STANDARD BUILDINGS\2014\2014 STANDARD BUILDINGS (NAME ZD14) - 2014 PROTOTYPE - RENEW A2.0 BY - UNDESIGNED SHEET COMPANY - ELEVATIONS 01-06-2014 09:34



1 FRONT ELEVATION  
1/4" = 1'-0"



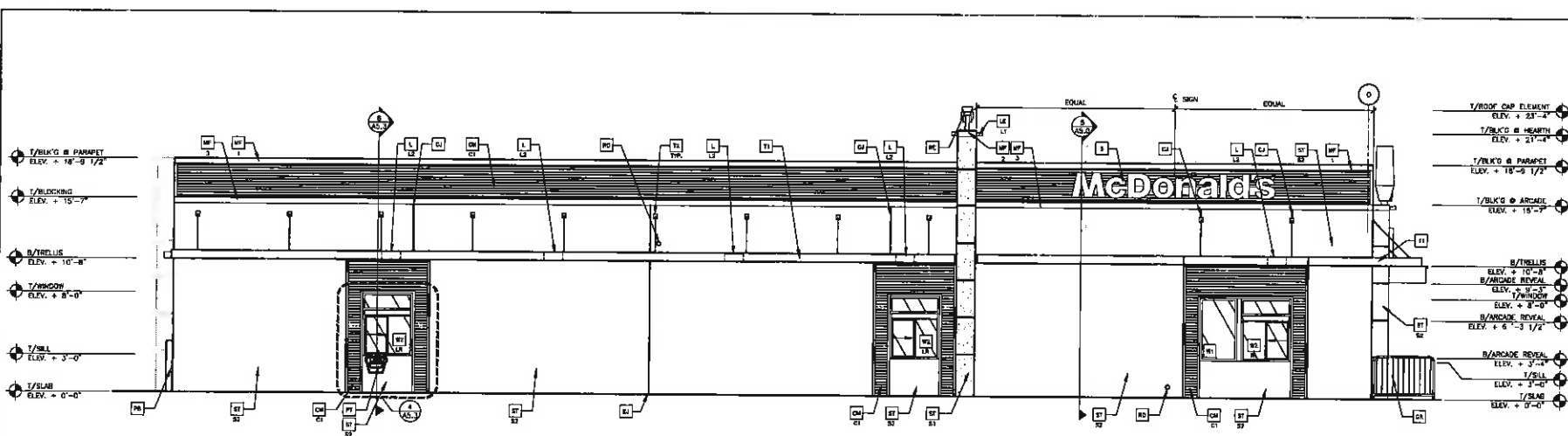
2 NON-DRIVE-THRU ELEVATION  
1/4" = 1'-0"

**KEY NOTES:**

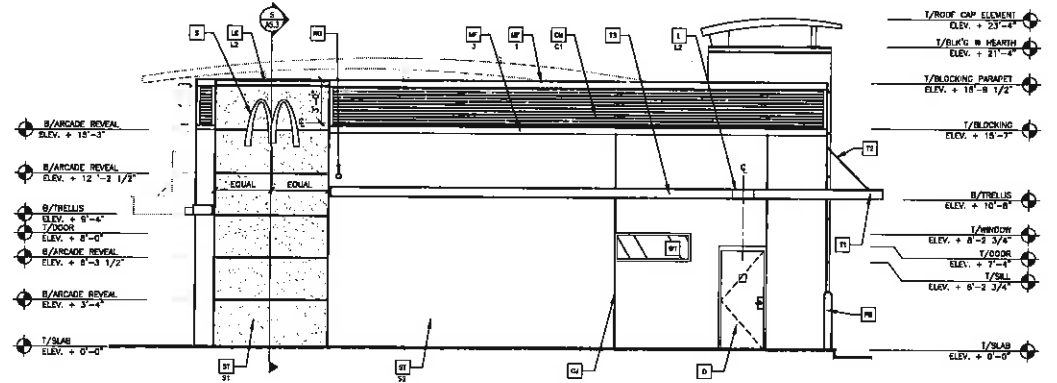
- |  |  |  |   |   |
|--|--|--|---|---|
| <p>CA ALUMINUM CANOPY SYSTEM (COLOR GOLD)</p> <p>CB ALUMINUM CANOPY RE-BACK SYSTEM</p> <p>CC CORRUGATED METAL PANEL - SEE 18/AS.0</p> <p>CD - COLOR</p> <p>CE = "OUTSCAPE" BY METAL-USA</p> <p>CF CONTROL JOINT, SEE DETAIL 7/41.1</p> | <p>GA WOODEN METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL</p> <p>GB - 225 = BULK DOG FILL FOR (CONCRETE SCHEDULE 100) (48.00)</p> <p>GC = BULK DOG FILL FOR (CONCRETE SCHEDULE 100) (48.00)</p> <p>GD - CONCRETE USE WITH USO PROJECT MANAGER</p> <p>GE CHAIR RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH</p> <p>GF LIGHT FIXTURE (BALL SOURCE) - SEE ELECTRICAL</p> <p>GG - UP AND DOWN FIXTURE</p> <p>GH - DOWN ONLY FIXTURE</p> <p>GI - DOWN ONLY FIXTURE</p> | <p>HA ACCESSORY LIGHTING - SEE ELECTRICAL</p> <p>HB LED LIGHT:</p> <p>HC = UP AND DOWN FIXTURE</p> <p>HD = DOWN ONLY FIXTURE</p> <p>HE = DOWN ONLY FIXTURE</p> <p>HF = DOWN ONLY FIXTURE</p> <p>HG METAL LETTERING - BY OTHERS</p> <p>HH METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL - SEE 1/AS.0</p> <p>HI - TYPE</p> <p>HO = PRE-FAB ARCHITECTURE FASCIA</p> <p>HP = PRE-FAB CUSTOM MOUNTED FASCIA</p> <p>HQ = PRE-FAB HANDSHY CAP FASCIA</p> | <p>IA PIPE BRILLIANT - PAINTED YELLOW</p> <p>IB (WIND) DOWN COLLECTION</p> <p>IC ONLY BRACKETS 2000-2013 TO ORDER</p> <p>CALL 1-888-743-7435 TO ORDER</p> <p>ID ROOF CAP ELEMENT BY OTHERS</p> <p>IE ROOF BRACKETS (ON PIPE PAINT TO MATCH SURROUNDING MATERIAL)</p> <p>IF BRICK FINISH</p> <p>IG - COLOR</p> <p>IH = "SHOW WHITE" 2122-73 BY WOLFGANG MOORE OR EQUAL</p> <p>II = "TANTINI" BRICK 2122-73 BY WOLFGANG MOORE OR EQUAL</p> <p>IAJ ALUMINUM TRUSS SYSTEM</p> <p>IBJ TRUSS RE-BACK SYSTEM</p> <p>ICJ ALUMINUM TRUSS 2" x 8" HALL FASCIA SYSTEM</p> <p>IPR TO SEE DETAIL 3 ON SHEET A2.1</p> | <p>IS MCDONALD'S SIGNAGE BY OTHERS - UNDER SIGNWAVE PERMIT.</p> <p>IT EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS - SEE ASSEMBLY NOTES</p> <p>IU DRIVE-THRU WINDOW BY READY ACCESS AND SERVICES, 3RD SERVICE HEIGHT WITH TANTINI - MANUAL OPERA ELECTRONIC RELEASE</p> <p>IV - BLACK DIRECTION: RL = RIGHT TO LEFT<br/>LR = LEFT TO RIGHT</p> |
|--|--|--|---|---|

<p>DATE: 01/06/2014          DRAWN BY: [REDACTED]          CHECKED BY: [REDACTED]          REVISIONS: [REDACTED]          DATE: 11/27/2014          FILE NO: 2014 STD BLDG AND SERVICE STREET - ARCHITECT G.          (CONTINUED)</p>		<p>DESCRIPTION</p>
<p>PROJECT: 2014 STANDARD BUILDING          4597-WOOD/WOOD</p>		<p>REVISION</p>
<p>CLIENT: MCDONALD'S USA, LLC</p>		<p>DATE: 01/06/2014</p>
<p>ARCHITECT: CORE STATES GROUP</p>		<p>DATE: 01/06/2014</p>
<p>SHEET NO: A2.0</p>		<p>DATE: 01/06/2014</p>

K:\STANDARD\2014\2014 STANDARD BUILDING (NAME 2014) - 2014 PROTOTYPE - REVISED 04.19.17 - WEGO\JULIUS\2014 2014 COUNTRY ELEVATIONS 04-19-17 04.19.17



**1 DRIVE THRU ELEVATION**  
1/4" = 1'-0"



**2 REAR ELEVATION**  
1/4" = 1'-0"

**KEY NOTES:**

- A** ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- B** HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- C** ACCENT LIGHTING - SEE ELECTRICAL
- D** PIPE BOLLARD - PAINTED YELLOW
- E** STAINLESS FINISH
- F** ALUMINUM CANOPY RE-BACK SYSTEM
- G** LED LIGHT
- H** (SINK) COIN COLLECTOR UNIT (BANK EQUIP) SEE 40.00
- I** ALUMINUM TRUSS SYSTEM
- J** CORRUGATED METAL PANEL - SEE 18.04.0
- K** DOWN ONLY FIXTURE
- L** UP AND DOWN FIXTURE
- M** UP ONLY FIXTURE
- N** INTERNAL CANOPY FIXTURE
- O** UP ONLY FIXTURE
- P** CONTROL JOWL, SEE DETAIL 2/A1.1
- Q** METAL LETTERING - BY OTHERS
- R** METAL FASCIA - COLOR TO MATCH CORRUATED METAL PANEL - SEE 1/A0.0
- S** PRE-FAB ANCHOR-TITE FASCIA
- T** PRE-FAB CUSTOM MEASURE FASCIA
- U** PRE-FAB INSULATED CAP FASCIA
- V** ROOF CAP ELEMENT BY OTHERS
- W** ROOF GEAR OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- X** ALUMINUM TRUSS SYSTEM
- Y** TRUSS RE-BACK SYSTEM
- Z** ALUMINUM TRUSS 2" x 6" WALL FASCIA SYSTEM - REFER TO SH. DETAIL 3 ON SHEET A2.1
- AA** MCDONALD'S STORAGE BY OTHERS - UNDER SIGNAGE POINT.
- AB** EXTERIOR WINDOW ASSEMBLY - IMPROVED GLASS - SEE ASSEMBLY NOTES
- AC** DRIVE-THRU WINDOW BY READY ACCESS AND SERVICE, 30" SERVICE HEIGHT WITH THROUGH - MANUAL OPER. ELECTRONIC RELEASE
- AD** SLIDG DIRECTION: R = RIGHT TO LEFT, L = LEFT TO RIGHT

<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>
A2.1	A2.1	A2.1	A2.1	A2.1	A2.1	A2.1	A2.1
1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"	1/4" = 1'-0"
REV.	DATE	REV.	DATE	REV.	DATE	REV.	DATE
BY	BY	BY	BY	BY	BY	BY	BY

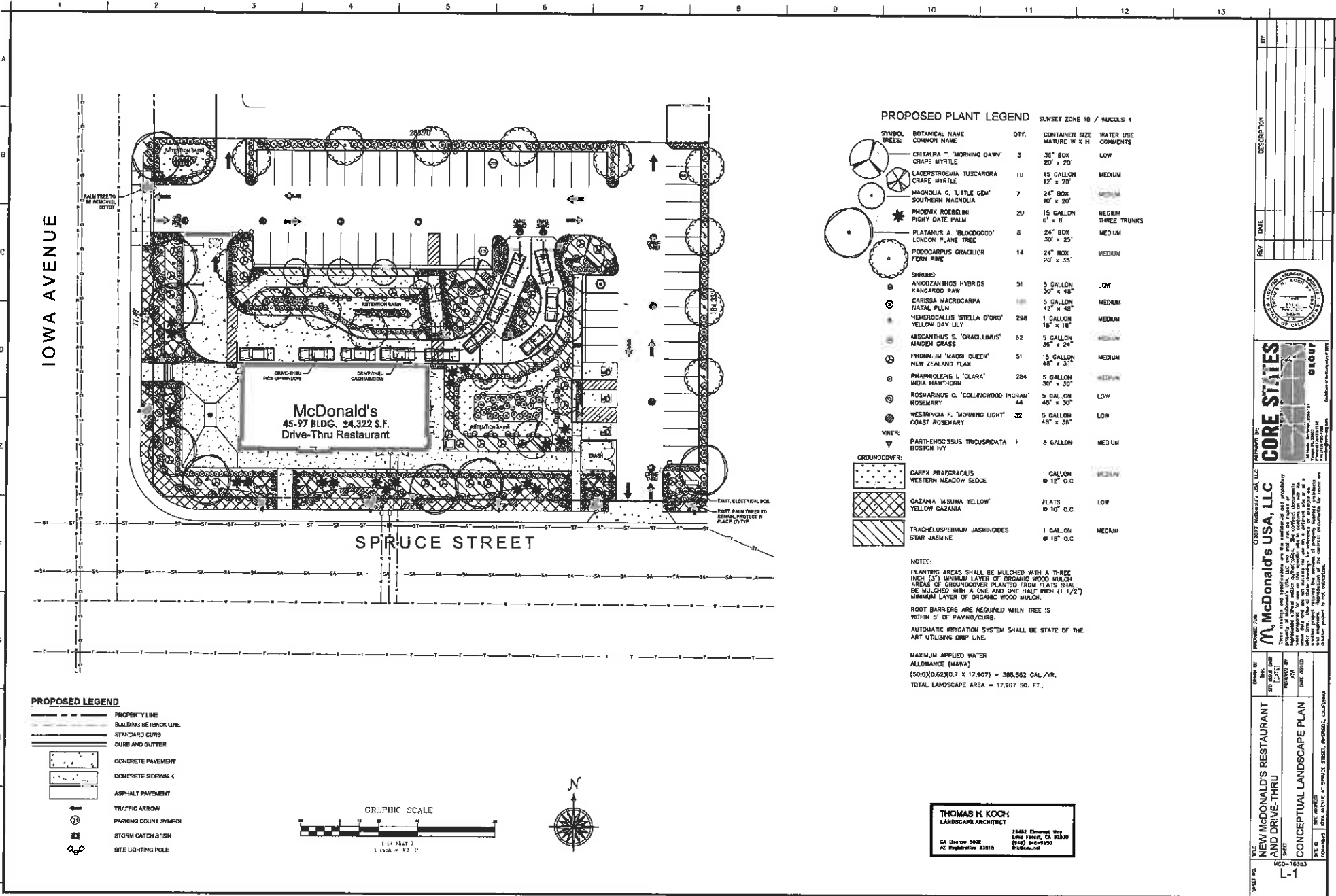
**McDonald's USA, LLC**

2014 STANDARD BUILDING  
4597-WOOD/WOOD

DATE: 11/27/2013  
SCALE: 1/4" = 1'-0"

**McDonald's USA, LLC**

2014 STANDARD BUILDING (NAME 2014) - 2014 PROTOTYPE - REVISED 04.19.17 - WEGO\JULIUS\2014 2014 COUNTRY ELEVATIONS 04-19-17 04.19.17



IOWA AVENUE

SPRUCE STREET

McDonald's  
45-97 BLDG. ±4,322 S.F.  
Drive-Thru Restaurant

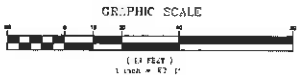
PROPOSED PLANT LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME	QTY.	CONTAINER SIZE MATURE W X H	WATER USE COMMENTS
<b>TREES:</b>				
⊙	CHITALPA T. 'MORNING DAWN' CRAPE MYRTLE	3	30" BOX 20' x 20'	LOW
⊙	LACERSTROCHIA TUSCARORA CRAPE MYRTLE	10	15 GALLON 12' x 20'	MEDIUM
⊙	MAGNOLIA C. 'LITTLE GEM' SOUTHERN MAGNOLIA	7	24" BOX 10' x 20'	MEDIUM
⊙	PHOENIX ROEBLING PIGMY DATE PALM	20	15 GALLON 6' x 8'	MEDIUM THREE TRUNKS
⊙	PLATANUS A. 'BLOODGOOD' LONDON PLANE TREE	8	24" BOX 30' x 25'	MEDIUM
⊙	PODOCARPUS GRACILIOR FORM FINE	14	24" BOX 20' x 35'	MEDIUM
<b>SHRUBS:</b>				
⊙	ANKOZANTHUS HYBRIDS KANGAROO PAW	51	5 GALLON 30" x 48"	LOW
⊙	CARISSA MACROCARPA NATAL PLUM	100	5 GALLON 42" x 48"	MEDIUM
⊙	HEMEROCALLIS 'STELLA D'ORO' YELLOW DAY LILY	298	1 GALLON 18" x 18"	MEDIUM
⊙	MISCANTHUS S. 'ORACILLIUS' MIDWEST GRASS	62	5 GALLON 36" x 24"	MEDIUM
⊙	PHORMIUM 'MAORI QUEEN' NEW ZEALAND FLAX	51	10 GALLON 48" x 30"	MEDIUM
⊙	RHAPHIOLENS L. 'OLARIA' WIDA HAWTHORN	284	5 GALLON 30" x 30"	MEDIUM
⊙	ROSMARINUS D. 'COLLINGWOOD INGRAM' ROSEMARY	44	5 GALLON 48" x 30"	LOW
⊙	WESTRINGIA F. 'MORNING LIGHT' COAST ROSEMARY	32	5 GALLON 48" x 36"	LOW
⊙	PARTHENOCISSUS TRICUSPIDATA BOSSION IVY	1	5 GALLON	MEDIUM
<b>VINE'S:</b>				
<b>GROUNDCOVER:</b>				
⊙	CAREX PRACERACIUS WESTERN MEADOW SEDGE	1	1 GALLON 12" O.C.	MEDIUM
⊙	GAZANIA 'MISUNA YELLOW' YELLOW GAZANIA	10	10" O.C.	LOW
⊙	TRACHELOSPERMUM JASMINODES STAR JASMINE	1	1 GALLON 18" O.C.	MEDIUM

NOTES:  
PLANTING AREAS SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM LAYER OF ORGANIC WOOD MULCH. AREAS OF GROUNDCOVER PLANTED FROM PLANTS SHALL BE MULCHED WITH A ONE AND ONE HALF INCH (1 1/2") MINIMUM LAYER OF ORGANIC WOOD MULCH.  
ROOT BARRIERS ARE REQUIRED WHEN TREE IS WITHIN 2' OF PAVING/CURB.  
AUTOMATIC IRRIGATION SYSTEM SHALL BE STATE OF THE ART UTILIZING DRIP LINE.  
MAXIMUM APPLIED WATER ALLOWANCE (MIRA)  
(50.0)(0.62)(3.7 x 17,807) = 398,562 GAL/YR.  
TOTAL LANDSCAPE AREA = 17,807 SQ. FT.

**PROPOSED LEGEND**

---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	STANDARD CURB
---	CURB AND GUTTER
⊙	CONCRETE PAVEMENT
⊙	CONCRETE SIDEWALK
⊙	ASPHALT PAVEMENT
→	TRAFFIC ARROW
⊙	PARKING COUNT SYMBOL
⊙	STORM CATCH BASIN
⊙	SITE LIGHTING POLE



**THOMAS H. KOCH**  
LANDSCAPE ARCHITECT  
2442 Diamond Way  
Lake Forest, CA 92550  
(949) 260-9190  
thk@toko.com

DATE: 10-15-15	BY: [Signature]
PROJECT NO: MCD-16333	DESCRIPTION: CONCEPTUAL LANDSCAPE PLAN
SHEET NO: L-1	DATE: 10-15-15
<p>PREPARED FOR: <b>McDonald's USA, LLC</b>          45-97 BLDG. ±4,322 S.F.          DRIVE-THRU RESTAURANT          45-97 IOWA AVENUE, SPRUCE STREET, WESTPORT, CALIFORNIA</p>	
<p>DESIGN AND SPECIFICATION ON THE UNDESIGNED AND UNPROBABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.</p>	

# TENTATIVE PARCEL MAP NO. 35889

**OWNER/DEVELOPER**

8471 WINDWARD  
10 CORPORATE PLAZA, SUITE 130  
10000 BELLEVUE BLVD  
IRVINE, CA 92618  
TEL: 949-260-0000  
FAX: 949-260-0000  
ATTENTION: ARIANNA CORIO

**CIVIL ENGINEER**

SHANE INC  
4180 DIVERSITY CIRCLE NORTH  
TOWHELE, CA 95076  
(925) 882-3000  
FAX: 925-882-3001  
ATTENTION: ROBERT OLSON  
EMAIL: rolson@shaneinc.com

**UTILITY PROVIDERS**

CHICOPAC BELL - ELEC. SERV.  
3033 E. CORNHARD ST., 2ND FLOOR  
ANAHEIM, CA 92807  
(714) 237-2887

**STATE P.E.'s**

ALEX PINE  
1300 AUTO CENTER DRIVE  
OCEANOGRAPHY, CA 92651  
(760) 390-4777

SOUTHERN CALIFORNIA GAS COMPANY  
101 W. LINDEN AVENUE  
IRVINE, CA 92614-8700  
(714) 251-7000

CITY OF RIVERSIDE  
3400 ACORN STREET  
RIVERSIDE, CA 92504  
(951) 351-8160

ELECTRIC  
CITY OF RIVERSIDE - ELECTRIC  
3400 ACORN STREET  
RIVERSIDE, CA 92504  
(951) 351-8160

WATER AND SEWER  
CITY OF RIVERSIDE - ELECTRIC  
3400 ACORN STREET  
RIVERSIDE, CA 92504  
(951) 351-8160

TOTAL NUMBER OF LOTS = 2

TOTAL AREA OF MAP = 3.10 ACRES

**BASIS OF BEARINGS**

BEARINGS ARE BASED UPON THE CONVERGENCE OF 1983 AND 1984 AS BEING 180° 14' 30" W PER RECORD OF SURVEY RECORDED IN BOOK 50, PAGE 87, RIVERSIDE COUNTY RECORDS.

**ASSESSOR'S PARCEL No.**

249-140-029

**LEGAL DESCRIPTION**

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 1 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF RIVERSIDE, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 1, AS SHOWN BY RECORD OF SURVEY ON FILE IN BOOK 50 PAGE 87 OF RECORD OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;  
THENCE SOUTH 02° 14' 30" EAST, ALONG THE SOUTHERLY PROLONGATION OF THE EAST LINE OF SAID PARCEL 1, A DISTANCE OF 473.08 FEET TO A POINT IN THE SOUTH LINE OF PARCEL 1, AS SHOWN ON SAID RECORD OF SURVEY;  
THENCE NORTH 89° 48' 40" WEST, A DISTANCE OF 238.88 FEET TO THE BEGINNING OF A NON-CURVED CURVE, CONGRUENT TO THE HORIZONTAL, HAVING A RADIUS OF 84.65 FEET, THE RADIAL LINE AT SAID POINT BEARS SOUTH 34° 02' 31" WEST;  
THENCE NORTHWESTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 19° 30' 12" 44" AND A DISTANCE OF 18.77 FEET TO A POINT; THENCE, THE RADIAL LINE AT SAID POINT BEARS SOUTH 34° 02' 31" WEST;  
THENCE NORTH 89° 14' 30" WEST, A DISTANCE OF 486.17 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 1;  
THENCE NORTHWESTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 19° 30' 12" 44" AND A DISTANCE OF 18.77 FEET TO A POINT; THENCE, THE RADIAL LINE AT SAID POINT BEARS SOUTH 34° 02' 31" WEST;  
THENCE SOUTH 02° 14' 30" EAST, ALONG THE SOUTH LINE OF SAID PARCEL 1, A DISTANCE OF 383.72 FEET TO THE POINT OF BEGINNING.

**LEGEND**

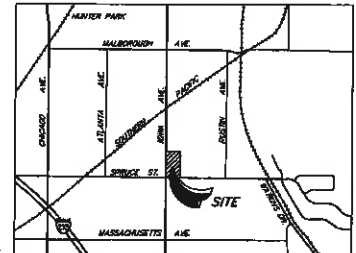
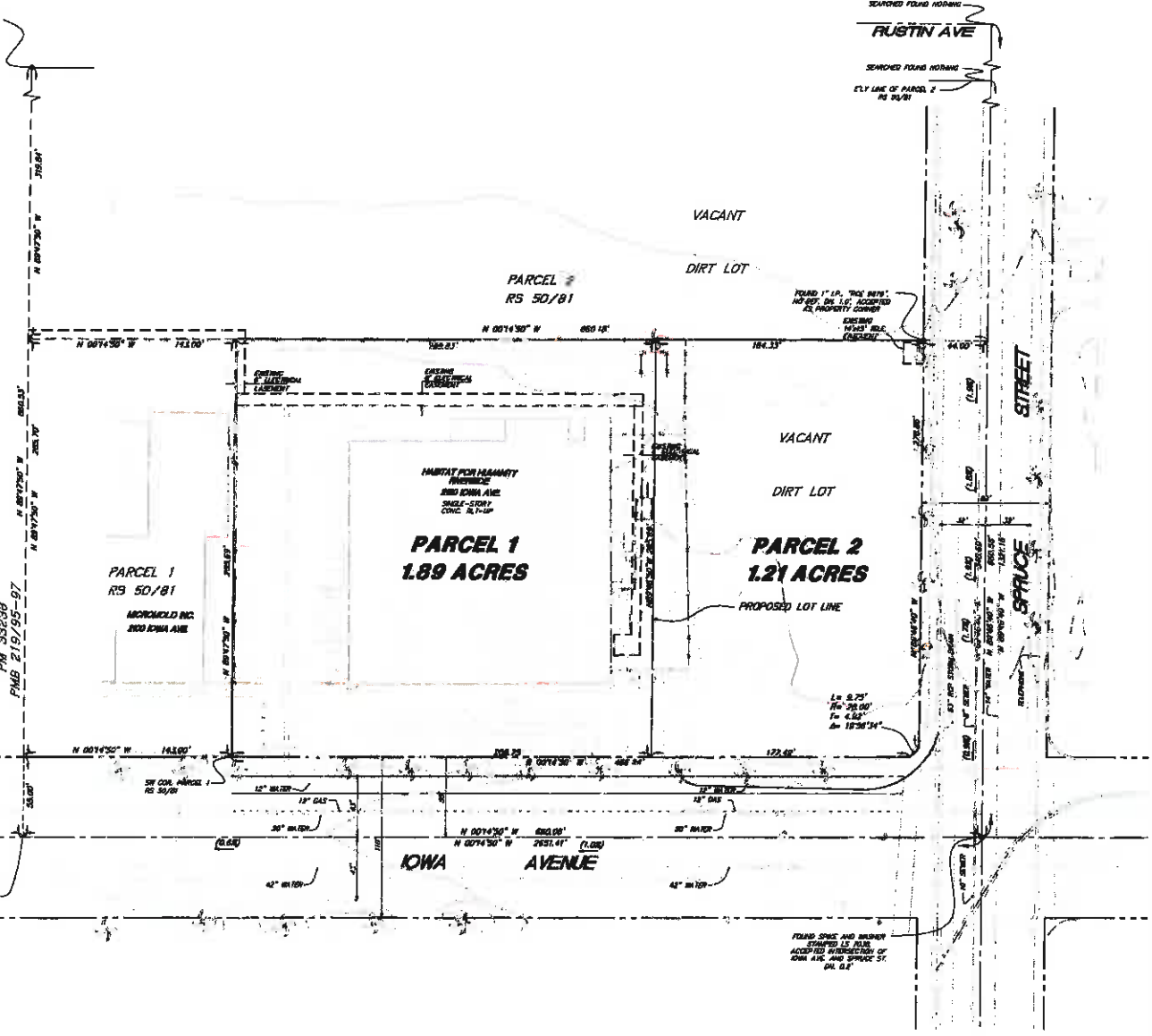
- STREET CENTER LINE
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- EASEMENT
- EXISTING STREET LIGHT
- MANHOLE
- SIGN
- POWER POLE
- GUY WIRE
- POWER POLE
- STREET LIGHT
- STOP LIGHT
- TREE
- SHRUB
- EXISTING MANHOLE
- PALM
- EXISTING FIRE HYDRANT
- EXISTING UTILITY LINE
- EXISTING UTILITY POLE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- EXISTING CURB & GUTTER
- EDGE OF CONC.
- EDGE OF ASPH.
- FENCE
- PALM

FOUND 1" I.P., WITH WOOD PLAC AND TAG, NO TOP UP IS ACCEPTED AS NORTH EAST CORNER OF PARCEL 2 OF RS 50/81

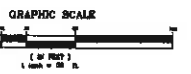
FOUND 1" I.P., WITH WOOD PLAC AND TAG, NO TOP UP IS ACCEPTED AS PROPERTY CORNER EXISTING 1/2" I.P. GUY WIRE

FOUND SPICE AND BRUSH STAKED 1/2" I.P. ACCEPTED INTERSECTION OF COR. AVE. AND SPRUCE ST. DL 0.2'

SET PER PLAN PER CITY OF RIVERSIDE CONTAINING THE NOTES NUMBER 100007



VICINITY MAP



**S&B O**  
SURVEYING & BOUNDARY CONSULTANTS  
A PROFESSIONAL CORPORATION  
10000 BELLEVUE BLVD  
IRVINE, CA 92618  
TEL: 949-260-0000  
FAX: 949-260-0000  
ROBERT C. OLSON, LICENSE NO. 18873  
CITY OF RIVERSIDE - REGISTERED PROFESSIONAL ENGINEER - NO. 18873 DL 02/20

**BENCHMARK**  
P.F. 101 AND CITY ENGINEER TO BE IN THE CONCRETE BASE OF STREET LIGHT POLE AT THE SOUTHWEST CORNER OF IOWA AVENUE AND SPRUCE STREET.

NO.	DATE	BY	FOR

**CITY OF RIVERSIDE, CALIFORNIA  
PLANNING DEPARTMENT**  
PREPARED BY:  
DATE:  
SCALE:

WDD#: TENTATIVE PARCEL MAP NO. 35889	
DATE:	1.2.20
SCALE:	1" = 20'
FILE NO.:	71372

**EARLIER AMENDMENTS TO HUNTER BUSINESS PARK SPECIFIC  
PLAN AND ZONING APPLICABLE TO THIS PROPERTY**

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RESOLUTION NO. 21797

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF RIVERSIDE, CALIFORNIA, AMENDING THE HUNTER BUSINESS PARK SPECIFIC PLAN TO ESTABLISH A BUSINESS SUPPORT OVERLAY LAND USE DESIGNATION TO ALLOW CERTAIN COMMERCIAL USES.

WHEREAS, an application was initiated by the City of Riverside designated as Case P07-1143, to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities; and

WHEREAS, the Planning Commission of the City of Riverside, California, advertised for and held a public hearing on February 5, 2009, to consider a proposed amendment to the Hunter Business Park Specific Plan (Case No. P07-1143) to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities and thereupon recommended to the City Council that the amendment proposed by Case No. P07-1143 would not have a significant effect on the environment and that the amendment be approved; and

WHEREAS, the City Council of the City of Riverside advertised for and held a public hearing on March 17, 2009, to consider Case No. P07-1143; and

WHEREAS, the City Council received and considered the reports and recommendation from the Planning Commission and all other testimony, whether written or oral, presented at the public hearing;

NOW, THEREFORE, BE IT RESOLVED, FOUND AND DETERMINED by the City Council of the City of Riverside, California, as follows:

Section 1: Incorporating the findings set forth above and in the documents and reports for Planning Case No. P07-1143, it is in the public interest to amend the Hunter Business Park Specific Plan to establish a Business Support Overlay land use designation to allow certain commercial uses, and to remove the size limitation for small fitness facilities.

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Section 2: It is the independent judgment of the City Council that the amendment to the Hunter Business Park Specific Plan will not have a significant effect on the environment based on the findings set forth in the case record, and hereby adopts a Negative Declaration.

Section 3: Section III, Table III-1: Land Use Matrix of the Hunter Business Park Specific Plan is amended to include the following remarks in Notes: Business Support Retail Overlay Zone may be applied to a specific property subject to the approval of a Rezoning request, in accordance with Chapter 19.180 of the Municipal Code. See Section III F. of the Specific Plan for list of Permitted Uses, as described in Exhibit "A", attached hereto and incorporated herein.

Section 4: Section III F. of the Hunter Business Park Specific Plan is amended in part to remove the size limitation for small fitness facilities as described in Exhibit "B", attached hereto and incorporated herein.

Section 5: The amendment adopted by this resolution shall be integrated into the adopted Hunter Business Park Specific Plan document and shall be noted on the appropriate specific plan and general plan maps previously adopted by the City Council as appropriate.

ADOPTED by the City Council this 24th day of March, 2009.

  
\_\_\_\_\_  
Mayor of the City of Riverside

ATTEST:

  
\_\_\_\_\_  
City Clerk of the City of Riverside

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I, Colleen J. Nicol, City Clerk of the City of Riverside, California, hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a meeting of the City Council of said City at its meeting held on the 24th day of March, 2009, by the following vote, to wit:

Ayes: Councilmembers Gardner, Melendrez, Schiavone, Mac Arthur, Hart, and Adams

Noes: None

Absent: Councilmember Bailey

Abstain: None

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Riverside, California, this 27th day of March, 2009.

  
\_\_\_\_\_  
City Clerk of the City of Riverside

O:\Cycrom\WPDocs\0224\008\00003902.DOC  
CA: 09-0428  
02/24/09



ZONING	PERMITTED USES								MP	MP	
	MF-BF	MP	M-1	M-2	C-2	C-3	RO	RI			
<b>INDUSTRIAL/MANUFACTURING</b>											
Wholesale Distribution	P	P	P	P						P	P
Warehousing/Storage	P	P	P	P						P	P
Manufacturing	P	P	P	P						P	P
Research and Development	P	P	P	P						P	P
Publishing and Printing	P	P	P	P						P	P
Ancillary Retail Sales On-Site	P	P	P	P						P	P
Off-Site Retail Sales	P	P	P	P						P	P
Wholesale Showrooms	P	P	P	P						P	P
<b>OFFICE</b>											
Office and Administrative	P	P	P	P	P	P	P			P	P
<b>RETAIL</b>											
Convenience Sales					P	P				A	A
Eating and Drinking (part of a multi-tenant industrial park)	P	P	P	P	P	P				P	P
Eating and Drinking (freestanding building)				P	P	P					P
Business Supply Retail	P			P	P	P					
Building Supplies and Sales				P	P	P					
<b>SERVICES</b>											
Automotive Rental					P	P					
Automotive Service Station	CUP	CUP	CUP	CUP	CUP	CUP					
Building Maintenance Services			P	P							
Business Support Services	P				P	P	P				
Heavy Equipment Sales and Rental						P					
Medical/Health Care Services	P	P	P	P	P	P				P	P
Personal Services	P				P	P					P
Recreational Facilities	CUP	CUP			CUP	P				CUP	CUP
Repair Services	P		P	P		CUP**				CUP	CUP
<b>DESIGN STANDARDS FOR SPECIFIC PLAN AREA</b>											
Minimum Parcel Size ****	Per Underlying Zone								One Acre	Five Acres (One Acre after Approved Master Plan)	
Minimum Lot Width ****	Per Underlying Zone								140 Feet	300 Feet (140 Feet after Approved Master Plan)	
Building Site Coverage	Not Greater than 50%								Not Greater than 50%	Not Greater than 50%	
Building Height	As Defined for Each Parcel per the Existing Zoning								45 Feet	45 Feet	
Building Setbacks from Major Secondary Street ***, ****	Average 50 Feet; Minimum 40 Feet								Average 50 Feet; Minimum 40 Feet	Average 50 Feet; Minimum 40 Feet	
Building Setbacks from Local Streets	Per Underlying Zone								Per Underlying Zone	Per Underlying Zone	
Interior Building Setbacks	Side and Rear, Minimum 20 Feet								Side and Rear, Minimum 20 Feet	Side and Rear, Minimum 20 Feet	
Parking Setbacks ***	20 Feet All Zones								20 Feet	20 Feet	
Parking Standards	To Be Determined by Use Within Structure (Per Title 19)								To Be Determined by Use Within Structure (Per Title 19)	To Be Determined by Use Within Structure (Per Title 19)	
Tenancy	Multiple Tenant Parcels Permitted								Multiple Tenant Parcels Permitted	Multiple Tenant Parcels Permitted	
<b>NOTES</b>											
P = Permitted Use with Design Review Approval CUP = Conditional Use Permit with Approval by Planning Commission Signs per Title 19											
Certain Uses Normally Allowed in the Zoning Classifications above are Prohibited in this Specific Plan Area.											
<b>Business Support Retail Overlay Zone may be applied to a specific property subject to the approval of a Rezoning request, in accordance with Chapter 19.180 of the Municipal Code. See Section III.F of the Specific Plan for list of Permitted Uses.</b>											
** -- Permitted Within a Completely Enclosed Building *** -- Columbia, Marlborough, Spruce, Iowa, Chicago and Columbia Loop Easterly of Iowa											
**** -- Parcels approved under a master plan and associated design guidelines as outlined in 1.1 may be less than one acre, with widths less than 140 feet per City Planning Commission approval. In addition, a front yard setback of twenty-feet is permitted and interior side and rear yard setbacks may be reduced to zero upon City Planning Commission approval.											

Table III-1 Land Use Matrix

EXHIBIT A

F. Hunter Business Park Business Support Retail “BSR” Overlay District

The Business Support Retail Overlay District is primarily intended to allow for support retail uses in areas generally located along arterial streets within centralized locations accessible to the industrial businesses and visitors doing business in the Hunter Park. The application of the BSR Overlay District shall require a Rezoning request, in accordance with Section 19.810 of the Municipal Code.

The following uses shall be allowed in addition to all other uses permitted by the underlying land use district within the Hunter Business Park Specific Plan:

1. Office Supply Retail
2. Cell Phone Retailers
3. Computer Sales/Repair
4. Banks and Financial Institutions
5. Dry Cleaning
6. Shoe Repair
7. Florist
8. Postal Services
9. Bakery
10. Beauty/Barber Shop
11. Day Spa
12. Medical Supplies
13. Photographic/Camera Store
14. Nail and Tanning Salons
15. Small fitness facilities, ~~not more than 4,000 square feet in size~~
16. Blueprint Store
17. Tailor Shop
18. Weight Loss Centers
19. Restaurants, excluding drive-thru
20. Medical Supply Sales
21. Photographic/Camera Shops
22. Other similar uses, subject to the approval of the Planning Director

**EXHIBIT B**

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ORDINANCE NO. 7036

AN ORDINANCE OF THE CITY OF RIVERSIDE, CALIFORNIA, AMENDING THE ZONING MAP OF THE CITY OF RIVERSIDE PURSUANT TO CHAPTER 19.090 OF THE RIVERSIDE MUNICIPAL CODE BY REZONING LAND FROM ZONE I-SP TO ZONE I-BSR-SP AND ZONE BMP-SP TO BMP-BSR-SP.

The City Council of the City of Riverside, California, does ordain as follows:


Section 1: Pursuant to Chapter 19.090 of the Riverside Municipal Code, the Zoning Map of the City of Riverside is amended by removing from the IP-SP Industrial and Hunter Business Park Specific Plan ("HBPSP") Overlay Zone and the placing it in the I-BSR-SP-Industrial, Business Support Retail and HBPSP Plan Overlay Zone; and removing from the BMP-SP-Business Manufacturing Park and HBPSP Overlay Zone to the BMP-BSR-SP-Business Manufacturing Park, Business Support Retail and HBPSP Overlay Zone the property described in Exhibit "A" and depicted in Exhibit "B", attached hereto and incorporated herein by reference, subject to all of the conditions, restrictions and covenants imposed under Planning Case Number P09-0002 which conditions, restrictions and covenants are incorporated herein by reference.

Section 2: The City Clerk shall certify to the adoption of this ordinance and cause publication once in a newspaper of general circulation in accordance with Section 414 of the Charter of the City of Riverside. This ordinance shall become effective on the 30th day after the date of its adoption.

ADOPTED by the City Council this 7th day of April, 2009.

  
\_\_\_\_\_  
Mayor of the City of Riverside

ATTEST:

  
\_\_\_\_\_  
City Clerk of the City of Riverside

1 I, Colleen J. Nicol, City Clerk of the City of Riverside, California, hereby certify that the  
2 foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the 24th  
3 day of March, 2009, and that thereafter the said ordinance was duly and regularly adopted at a  
4 meeting of the City Council on the 7th day of April, 2009, by the following vote, to wit:


5 Ayes: Councilmembers Gardner, Melendrez, Bailey, Schiavone, Mac Arthur, Hart, and  
6 Adams

7 Noes: None

8 Absent: None

9 Abstain: None

10 IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the  
11 City of Riverside, California, this 10th day of April, 2009.

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15 City Clerk of the City of Riverside  
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20 09-0428  
21 02/24/09  
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**EXHIBIT A**  
**Rezoning P09-0002**  
**FROM BMP-SP to BMP-BSR-SP**

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
DESCRIBED AS FOLLOWS:

ALL THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 2  
SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY  
DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF PARCEL 1, AS SHOWN BY RECORD OF  
SURVEY ON FILE IN BOOK 50 OF RECORDS OF SURVEY, PAGE 81 THEREOF RECORDS  
OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE SOUTH  $00^{\circ} 14' 50''$  EAST, ALONG THE SOUTHERLY PROLONGATION OF THE  
EAST LINE OF SAID PARCEL 1, A DISTANCE OF 473.08 FEET TO A POINT IN THE SOUTH  
LINE OF PARCEL 2, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE NORTH  $89^{\circ} 46' 40''$  WEST, A DISTANCE OF 278.88 FEET TO THE BEGINNING OF A  
NON-TANGENT CURVE, CONCAVE TO THE NORTHEAST, HAVING A RADIUS OF 28.00  
FEET, THE RADIAL LINE AT SAID POINT BEARS SOUTH  $34^{\circ} 59' 39''$  WEST;

THENCE NORTHWESTERLY ALONG SAID CURVE, TO THE RIGHT, THROUGH A  
CENTRAL ANGLE OF  $19^{\circ} 59' 12''$ , AN ARC LENGTH OF 9.77 FEET TO A POINT THEREIN,  
THE RADIAL LINE AT SAID POINT BEARS SOUTH  $54^{\circ} 58' 51''$  WEST;

THENCE NORTH  $00^{\circ} 14' 50''$  WEST, A DISTANCE OF 466.17 FEET TO THE SOUTHWEST  
CORNER OF SAID PARCEL 1;

THE LAST THREE COURSES AND DISTANCES FOLLOW THE SOUTH AND WEST LINES  
OF SAID PARCEL 2;

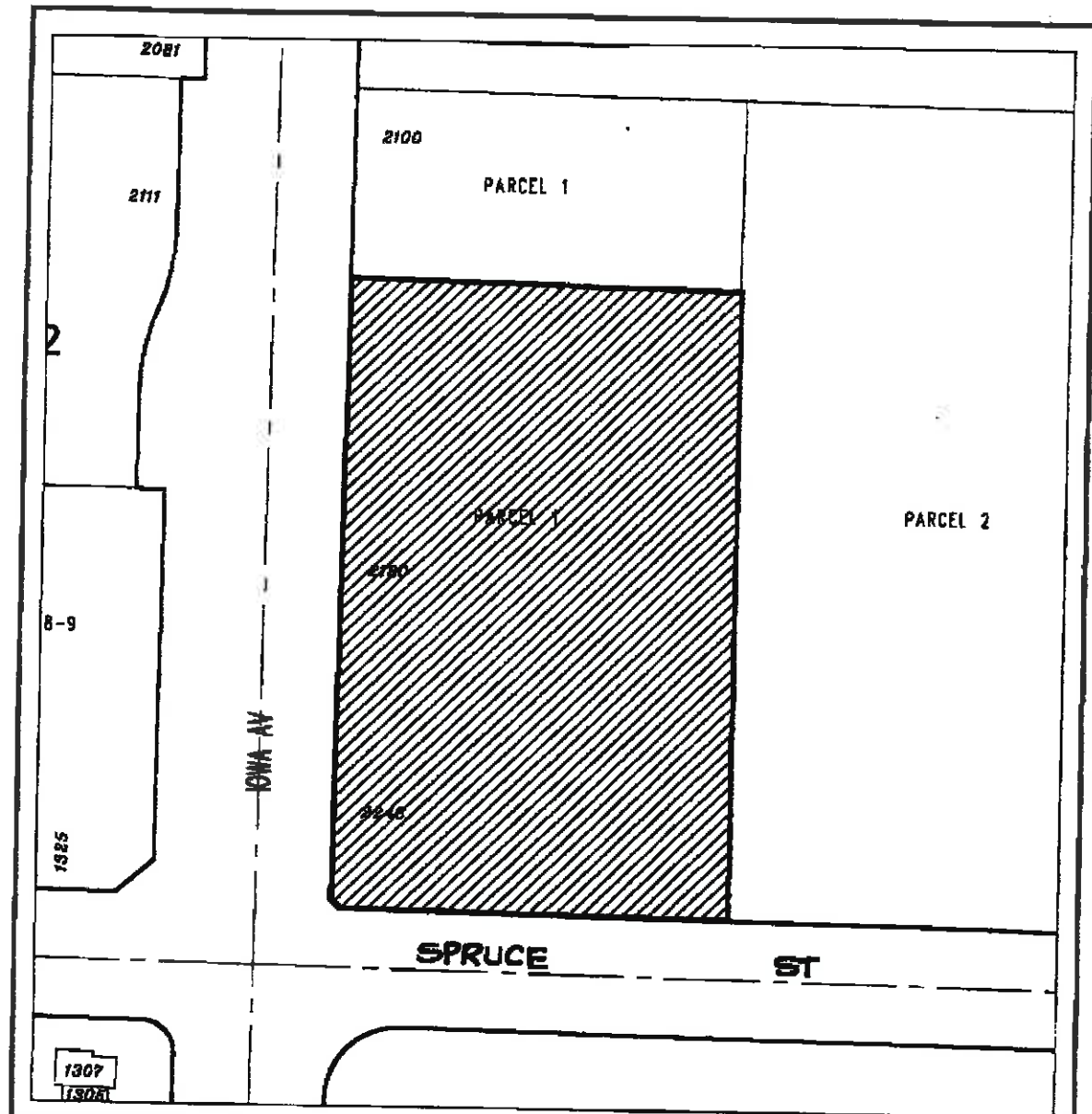
THENCE SOUTH  $89^{\circ} 47' 30''$  EAST, ALONG THE SOUTH LINE OF SAID PARCEL 1, A  
DISTANCE OF 285.72 FEET TO THE POINT OF BEGINNING.

DESCRIPTION APPROVAL:

BY: K. Stewart 3/19/2009  
DATE

FOR: MARK S. BROWN  
CITY SURVEYOR

Parcel Plat Attached Hereto.

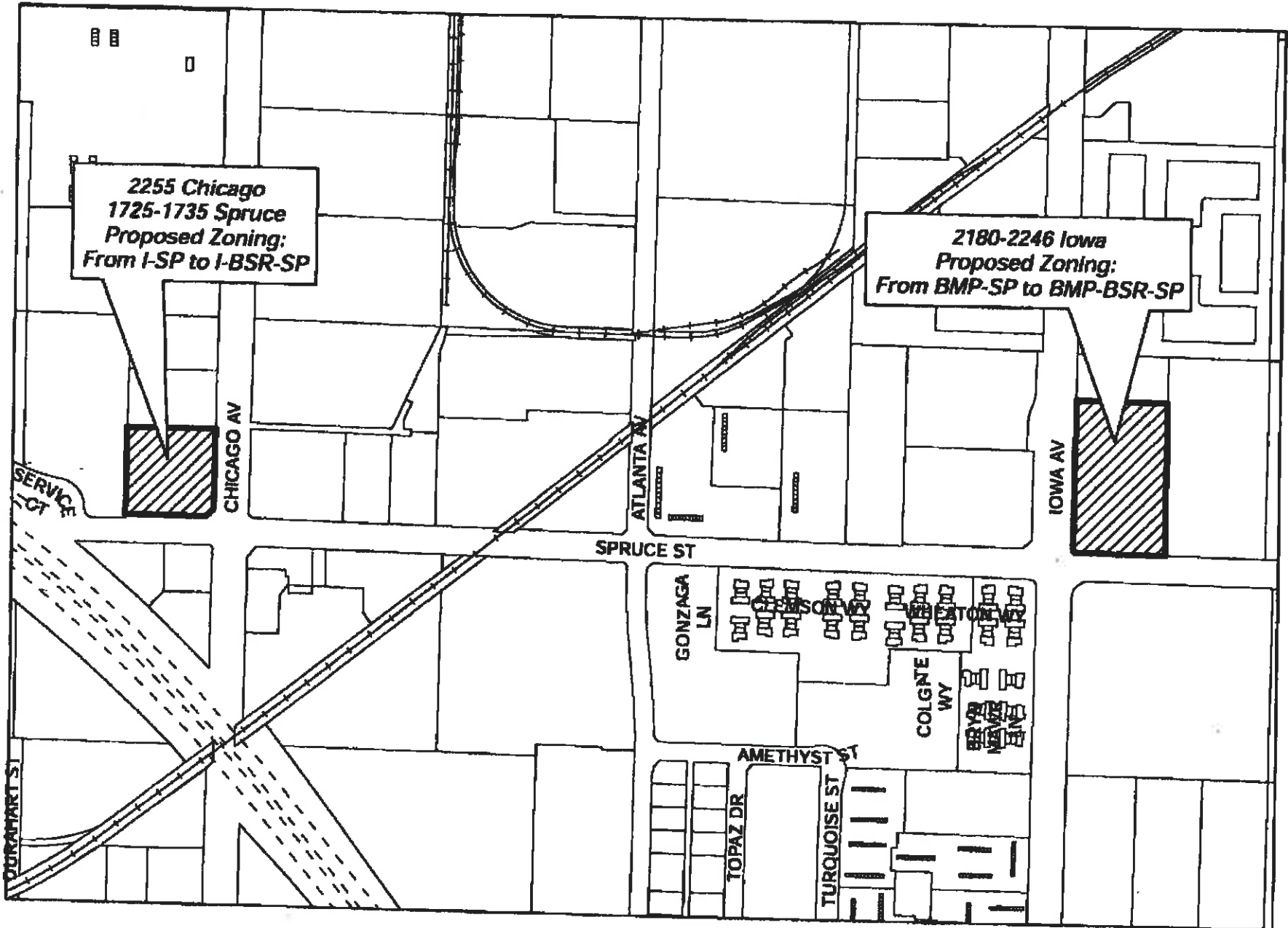


**◆ CITY OF RIVERSIDE, CALIFORNIA ◆**

*THIS PLAT IS SOLELY AN AID IN LOCATING THE PARCEL(S) DESCRIBED IN THE ATTACHED DOCUMENT. IT IS NOT A PART OF THE WRITTEN DESCRIPTION THEREIN.*

*The foregoing instrument is certified, under penalty of perjury, to be a correct copy of the original on file in this office.*

Subject: P09-0002	Sheet 1 of 1	Colleen J. Nicol, City Clerk City of Riverside, California. Executed on _____, 20__ at Riverside, California.
Scale: 1" = 100'	Drawn by: bmark	
Date: 02/27/09		



**EXHIBIT B**



# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

**DATE OF HEARING:** August 13, 2015

**TIME OF HEARING:** 9:00 A.M.

### **CASE DESCRIPTION:**

ZAP1132MA15 – Core States Group for McDonald’s USA, LLC and Phelan Development Company/Iowa Spruce SR/JP, LLC (Representatives: Andrew Rappe and Adrienne Cord) – City of Riverside Case Nos. P15-0189 (Specific Plan Amendment), P15-0188 (Conditional Use Permit), and P15-0263 (Tentative Parcel Map No. 35889). The applicant proposes to establish and operate a 4,322 square foot McDonald’s restaurant with drive-thru on 1.21 acres of a 3.11-acre parcel (Assessor’s Parcel Number 249-140-029) partially developed with a building utilized as a Habitat for Humanity office located at the northeast corner of Iowa Avenue and Spruce Street in the City of Riverside. The Specific Plan Amendment is a proposal to amend the list of permissible land uses within the Business Support Retail Overlay District of the Hunter Business Park Specific Plan (Section III. F.) so as to allow for restaurants with drive-thru, with approval of a Conditional Use Permit. The Conditional Use Permit is a proposal to allow the specific drive-thru facility on this site. The Parcel Map is a proposal to divide the 3.11-acre parcel into two lots, so that the existing building and the proposed building will be on separate legal lots. (Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area)

**FURTHER INFORMATION:** Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Brian Norton of the City of Riverside Planning Department, at (951) 826-2308.



# APPLICATION FOR MAJOR LAND USE ACTION REVIEW

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1132MA15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application June 26, 2015  
 Property Owner Iowa Spruce SR/JP LLC Phone Number (949)720-8000  
 Mailing Address 12 Corporate Plaza, #150  
Newport Beach, CA 92660

Agent (if any) Andrew Rappé, PE; Core States Group (project engr) Phone Number 909-467-8919  
 Mailing Address 3401 Centrelake Dr, Suite 330  
Ontario, CA 91761

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address NE Corner of Intersection of Spruce Street and Iowa Ave  
Riverside, CA 92507  
 Assessor's Parcel No. 249-140-029 Parcel Size 1.21 acres (proposed)  
 Subdivision Name n/a Zoning Classification Industrial (BMP)  
 Lot Number n/a

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Vacant Lot  
 Proposed Land Use (describe) McDonald's Restaurant and Drive-Thru with associated parking and outdoor dining.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) n/a  
 For Other Land Uses Hours of Use 24 hours  
 (See Appendix C) Number of People on Site Maximum Number 144 +/-  
 Method of Calculation A rough estimate based on building occupancy(104) plus outdoor dining (20) plus drive thru queue (20).

Height Data Height above Ground or Tallest Object (including antennas and trees) 35' proposed pine ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 35' + 970' = 1,005' ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

*March  
E*

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received	March 3, 2015	Type of Project
Agency Name	City of Riverside Community Development Department	<input type="checkbox"/> General Plan Amendment
Staff Contact	Brian Norton	<input type="checkbox"/> Zoning Amendment or Variance
Phone Number	951-826-2308	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	P15-0188 & P15-0189	<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Public Facility
		<input checked="" type="checkbox"/> Other <u>Specific Plan Amendment &amp; CUP</u>

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review–See Below



# LETTER OF TRANSMITTAL

3401 Centrelake Drive  
Suite 330  
Ontario, CA 91761  
909-467-8907

To: Riverside County  
Airport Land Use Commission  
4080 Lemon Street, 14th Floor  
Riverside, CA 92501  
Phone: 951-955-5132

Date: June 26, 2015  
Project Name: McDonald's Spruce & Iowa  
Project Number: MCD-16383  
ID No: TBD  
Site Location: NE Intersection of Spruce St and Iowa Ave

### WE ARE SENDING YOU:

- Plans                       Reports                       Letter                       Specifications                       Photocopies
- Prints                       Other:

- VIA:                       US Mail                       Courier                       Pickup                       Other
- OVERNIGHT:                       Priority (before 10:30 am)                       Standard (before 3:00 pm)                       Two Day                       Express Saver (Three Day)

COPIES	DATE	REV DATE	DESCRIPTION
1	6/26/2015	-	Completed Application Form
1	2/18/2015	-	Project Site Plan, Grading Plan, and Conceptual Landscape Plan
1	2/18/2015	-	Building Elevations
1	12/23/2014	-	Reduced Copies of Drawings Listed Above
1	6/25/2015	-	Reduced Copy of 7.5 Quad Map showing relationship to airport
4	6/25/2015	-	Address Labels
1	6/25/2015	-	Check for Fee


### THESE ARE TRANSMITTED AS INDICATED BELOW

- For your use                       As requested                       For your input                       For review and comment
- Other:

### Remarks:

Please find the above items enclosed for the proposed McDonald's located on the North Easterly corner of the intersection of Spruce Street and Iowa Avenue. Please do not hesitate to contact me should any additional copies or items be needed.  
Thank you,

COPIES TO: \_\_\_\_\_  
\_\_\_\_\_

SIGNED:   
Andrew Rappé, PE



**Phelan Development Company**  
12 Corporate Plaza, Suite 150  
Newport Beach, CA, 92660  
TEL: 949.720.8000 FAX: 949.720.8080

July 21, 2015

Mr. John Guerin  
Principal Planner  
Riverside County Airport Land Use Commission  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501

RE: ALUC review - Iowa & Spruce APN 249-140-029  
City of Riverside project # P15-2063 *TPM NO. 35089*

Dear Mr. Guerin:

Pursuant to our conversation regarding ALUC review of the tentative map for the above referenced location enclosed please find the following:

- 1 full size copy of Map
- 1- 8 ½ " x 11" reduced copy
- Gummed labels with mailing information
- Check #4386 in the amount of \$1,188.00 payable to County of Riverside Airport Land Use Commission

Please provide confirmation that the review will take place at the August 13<sup>th</sup> hearing along with the Core States submittal of the McDonalds project on this site.

Sincerely,

A handwritten signature in black ink that reads "Adrienne Cord". The signature is written in a cursive, flowing style.

Adrienne Cord  
Project Manager

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.3

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1134MA15 – Stone Star Riverside, LLC (Representative: ACS Consulting, Inc.)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** TR31500 (Tentative Tract Map), SP00260S1 (Specific Plan Substantial Conformance), CZ07870 (Change of Zone)

**MAJOR ISSUES:** No airport compatibility issues

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Change of Zone and a finding of CONSISTENCY for the Tentative Tract Map and Specific Plan Substantial Conformance, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The Tentative Tract Map is a proposal to subdivide 46.5 net acres located easterly of Emperor Road, northerly and westerly of Norma Jean Road, into 206 single-family residential lots, plus 13 other lots for drainage, water quality and inlet basins, trail, open space, and landscape features. The Specific Plan Substantial Conformance is a proposal to adjust the boundaries between Planning Areas (PAs) 32 and 33B of Specific Plan No. 260 (Menifee North). The total number of dwelling units in the two Planning Areas would remain at 206, with the number in PA32 increasing from 98 to 152 and the number in PA33B decreasing from 108 to 54. The total acreage would increase from 42.5 to 45.7 acres, with overall density remaining within the 2-5 dwelling unit per acre range, as a result of a reduction of 3.2 acres in areas reserved for major community roadways. Additionally, the titles of the land use designations of the portions of the Specific Plan still within the unincorporated area would be amended to reflect County General Plan land use designations, and the curved roadway segment extending southerly and westerly from the intersection of State Highway Route 79 with Sultanas Road to the intersection of Emperor Road with McLaughlin Road would be renamed Norma Jean Road. The Change of Zone is a proposal to formalize the boundaries between Planning Areas 32 and 33B consistent with the adjusted acreages between the Planning Areas.

**PROJECT LOCATION:** The project site is located southerly of Ethanac Road/State Highway-74, easterly of Briggs Road, northerly of McLaughlin Road, and westerly of Sultanas Road, within the unincorporated community of Homeland within the County of Riverside, approximately 57,300 feet southeasterly of Runway 14-32 at March Air Reserve Base and 26,600 feet easterly of Perris Valley Airport Runway 15-33.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base/Inland Port Airport
- b. Land Use Policy: Zone E
- c. Noise Levels: below 60 CNEL

**BACKGROUND:**

Residential Density: The site is located within Compatibility Zone E. Compatibility Zone E does not limit residential density.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E within the project.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL contour relative to aircraft noise. ALUC's objective is that interior noise levels from aircraft approaching or taking off from this airport not exceed CNEL 40 dB. As standard building construction is presumed to provide adequate sound attenuation where the exterior noise exposure is not more than 20 dB greater than the interior standard, the residential development would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 of March Air Reserve Base/Inland Port at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 57,300 feet from the runway, Federal Aviation Administration (FAA) review for height/elevation reasons is not required in relation to March Air Reserve Base/Inland Port.

The elevation of Runway 15-33 of Perris Valley Airport at its southerly terminus is approximately 1415 feet AMSL. At a distance of approximately 26,600 feet from the runway, Federal Aviation Administration (FAA) review for height/elevation reasons is not required in relation to Perris Valley Airport.

Open Area: Compatibility Zone E does not require land to be set aside as open areas.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

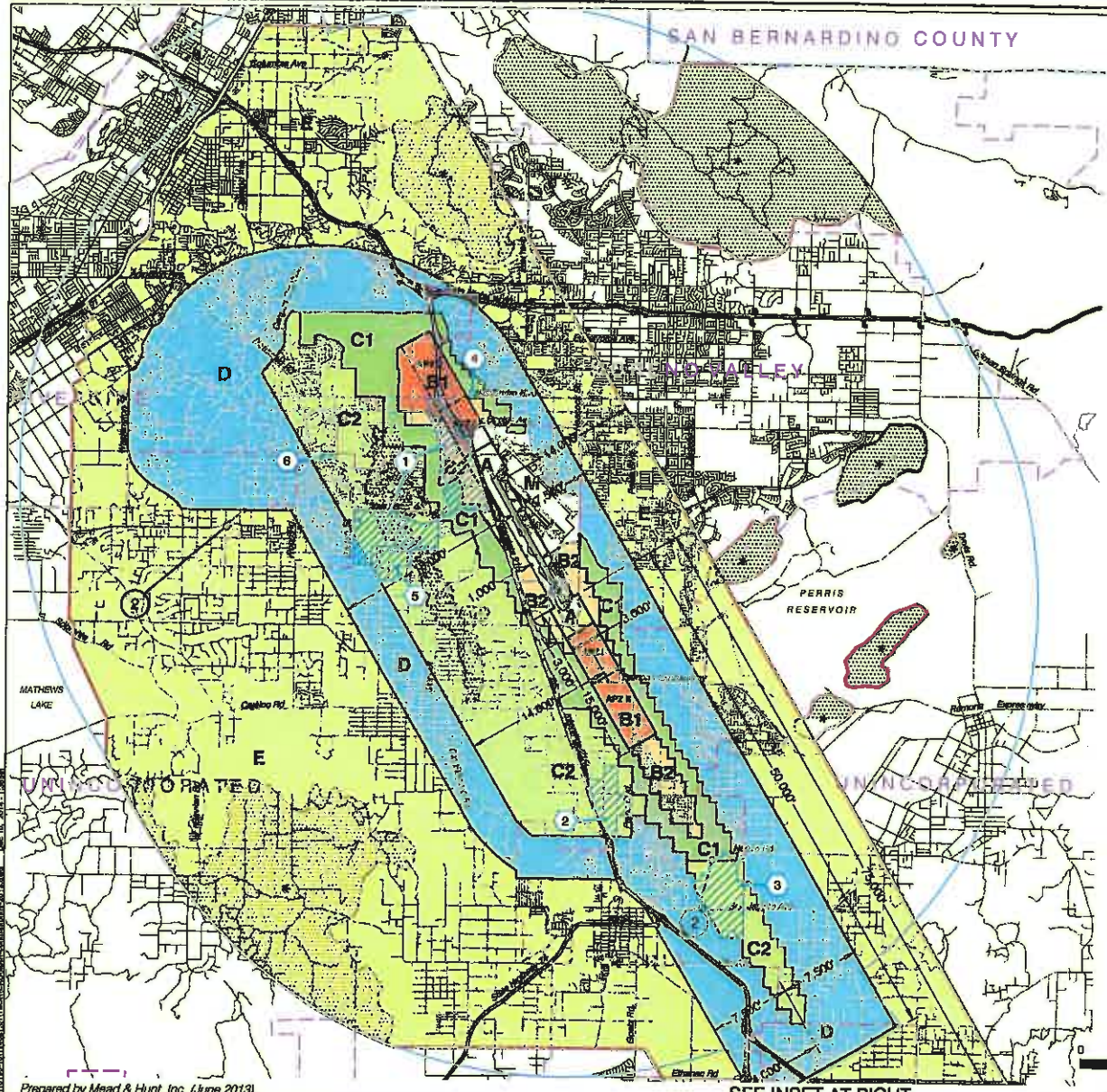
- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to the tenants of the homes thereon.
4. Any proposed detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



SAN BERNARDINO COUNTY



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

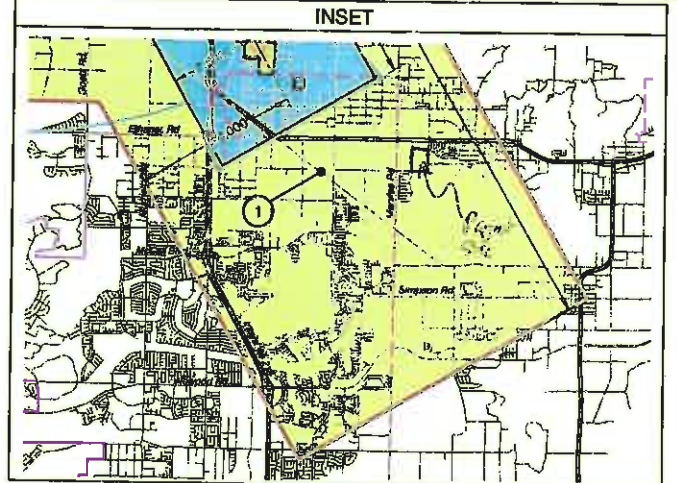
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- 1 March JPA: March Business Center/Meridian
- 2 Perris: Harvest Landing
- 3 Perris: Park West
- 4 Moreno Valley: Affordable Housing
- 5 March JPA: Ben Clark Training Center
- 6 Riverside: Ridge Crest Subdivision

1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

2 Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

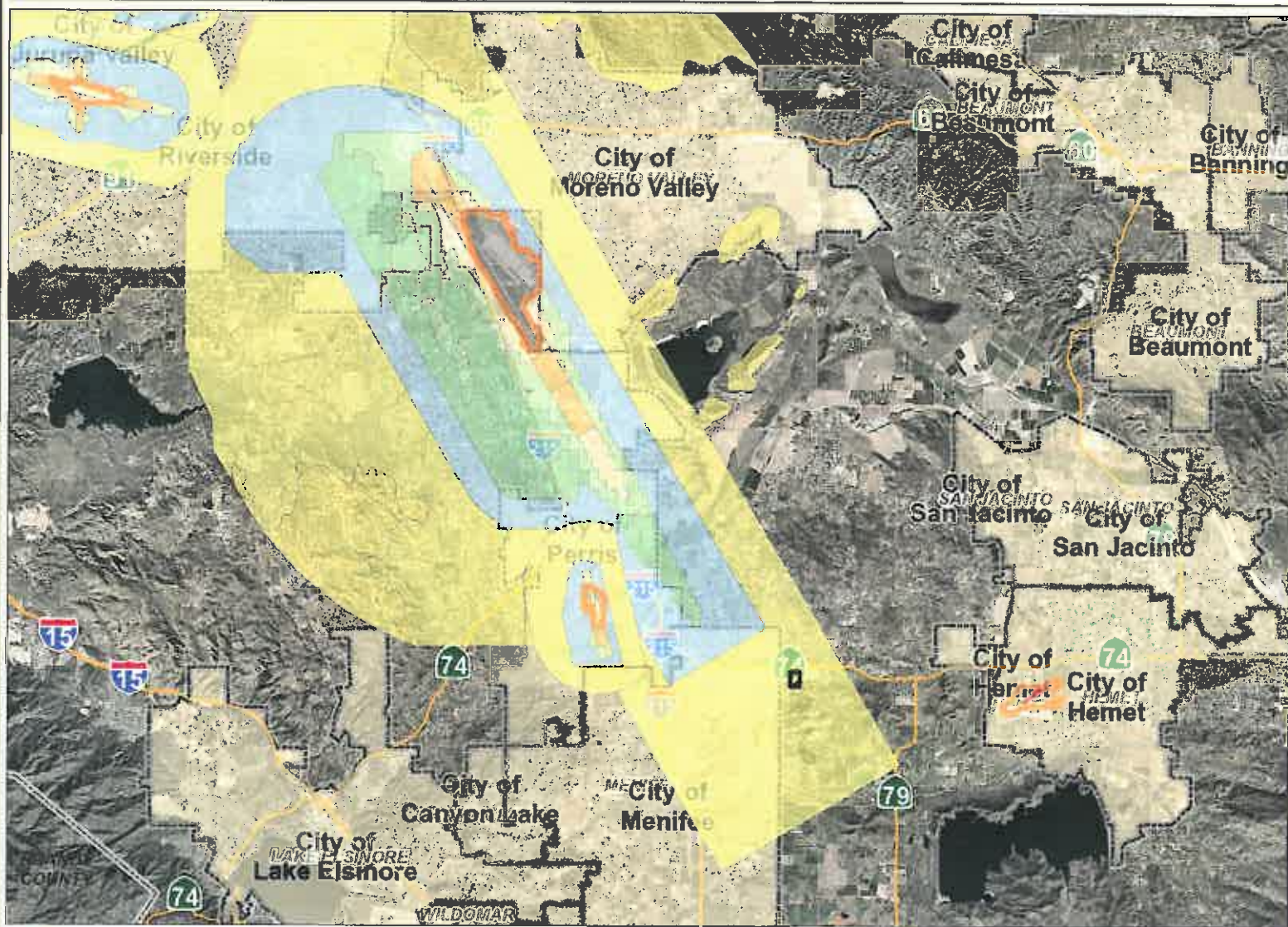
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

# My Map



## Legend

- Airports
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



0 24,763 49,525 Feet



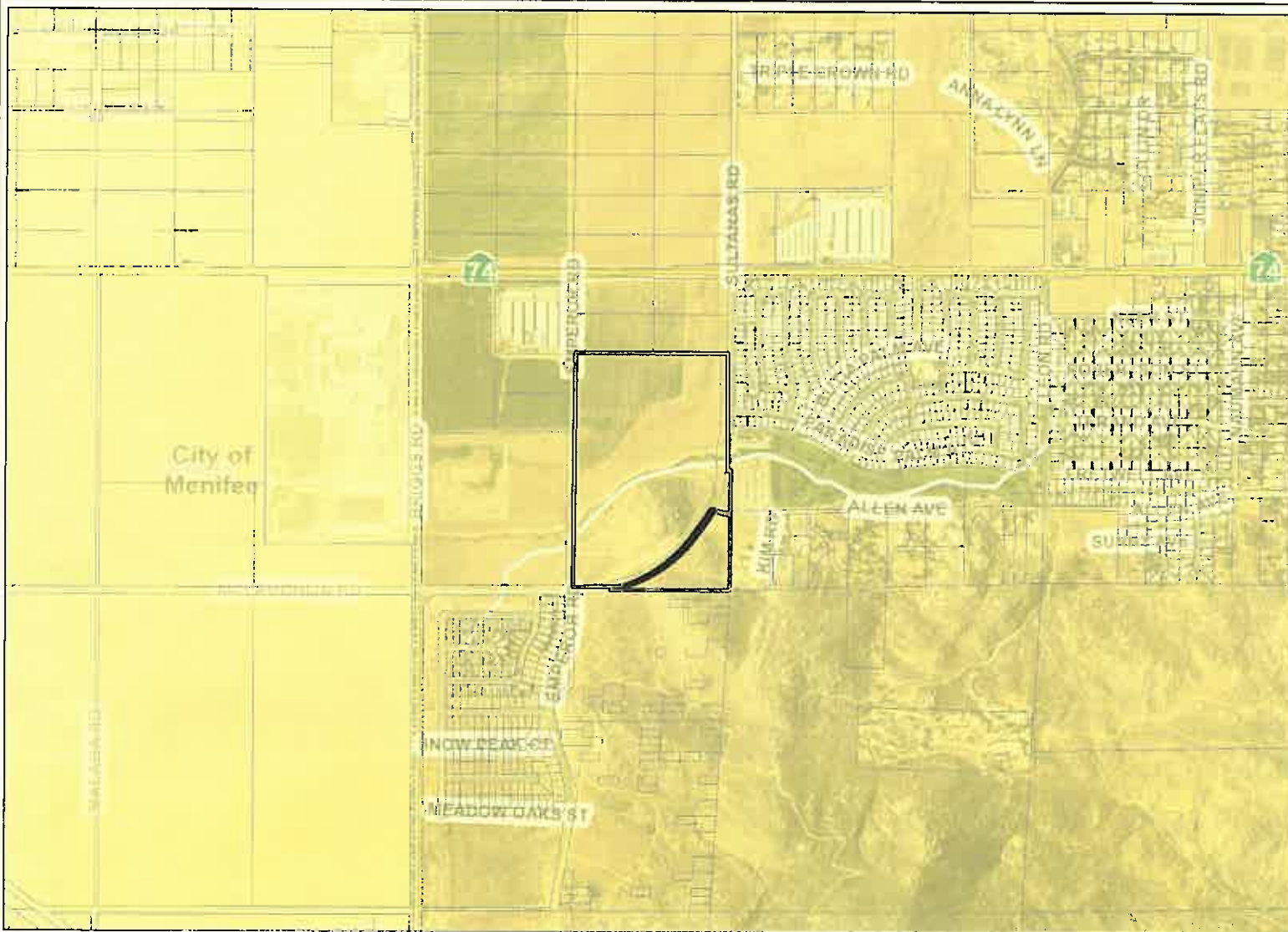
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/9/2015 1:10:30 PM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

- RCLIS Parcels
- Cetap
- Airports
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
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- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 1,548 3,095 Feet



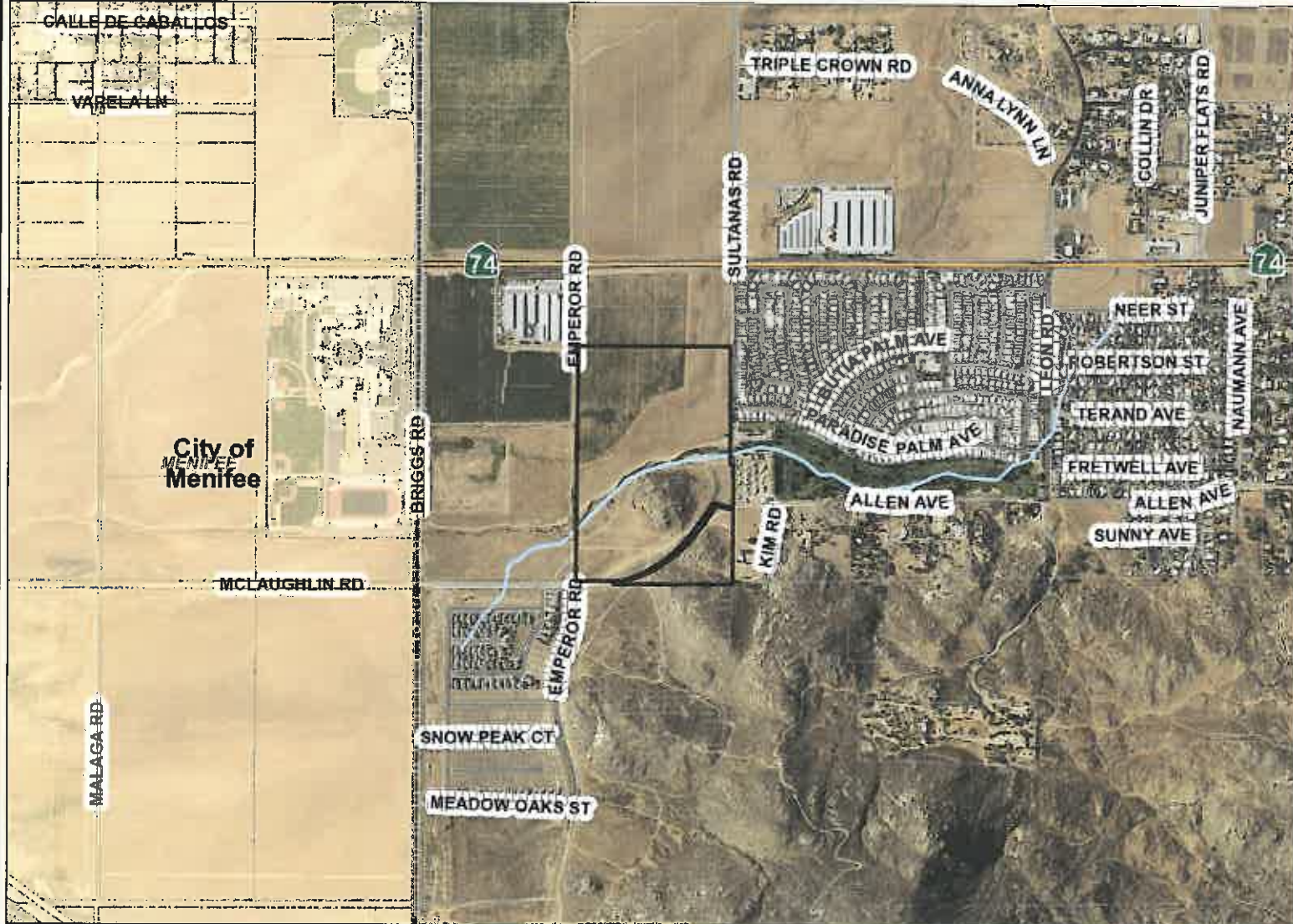
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## Notes

# My Map



### Legend

- RCLIS Parcels
- Cetap
- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



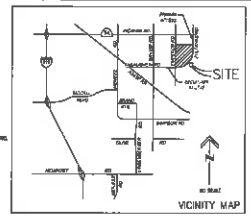
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REPORT PRINTED ON... 7/9/2015 1:07:52 PM

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### Notes

# TENTATIVE TRACT MAP 31500 AMENDED MAP NO. 3



LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE						
LOT NO.	ACRES	FEET	LOT NO.	ACRES	FEET	LOT NO.	ACRES	FEET
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LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE						
LOT NO.	ACRES	FEET	LOT NO.	ACRES	FEET	LOT NO.	ACRES	FEET
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LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE						
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LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE						
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63	0.01	15	63	0.01	15	63	0.01	15
64	0.01	15	64	0.01	15	64	0.01	15
65	0.01	15	65	0.01	15	65	0.01	15
66	0.01	15	66	0.01	15	66	0.01	15
67	0.01	15	67	0.01	15	67	0.01	15
68	0.01	15	68	0.01	15	68	0.01	15
69	0.01	15	69	0.01	15	69	0.01	15
70	0.01	15	70	0.01	15	70	0.01	15
71	0.01	15	71	0.01	15	71	0.01	15
72	0.01	15	72	0.01	15	72	0.01	15
73	0.01	15	73	0.01	15	73	0.01	15
74	0.01	15	74	0.01	15	74	0.01	15
75	0.01	15	75	0.01	15	75	0.01	15
76	0.01	15	76	0.01	15	76	0.01	15
77	0.01	15	77	0.01	15	77	0.01	15
78	0.01	15	78	0.01	15	78	0.01	15
79	0.01	15	79	0.01	15	79	0.01	15
80	0.01	15	80	0.01	15	80	0.01	15

**LEGAL DESCRIPTION**  
THE WEST 1/2 OF THE WEST 1/2 OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 10 EAST, IN THE COUNTY OF RIVERSIDE, CALIFORNIA, BEING THE TRACT DESCRIBED AS FOLLOWS: ...

**GENERAL NOTES**  
1. THE TRACT IS BOUND BY THE WEST 1/2 OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 10 EAST, IN THE COUNTY OF RIVERSIDE, CALIFORNIA. ...

**GENERAL NOTES (CONT'D.)**  
10. THE TRACT IS BOUND BY THE WEST 1/2 OF SECTION 16, TOWNSHIP 6 NORTH, RANGE 10 EAST, IN THE COUNTY OF RIVERSIDE, CALIFORNIA. ...

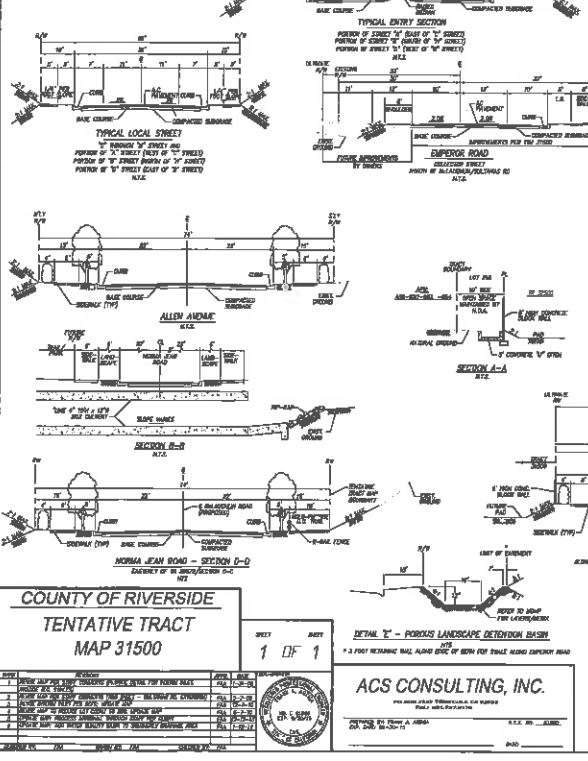
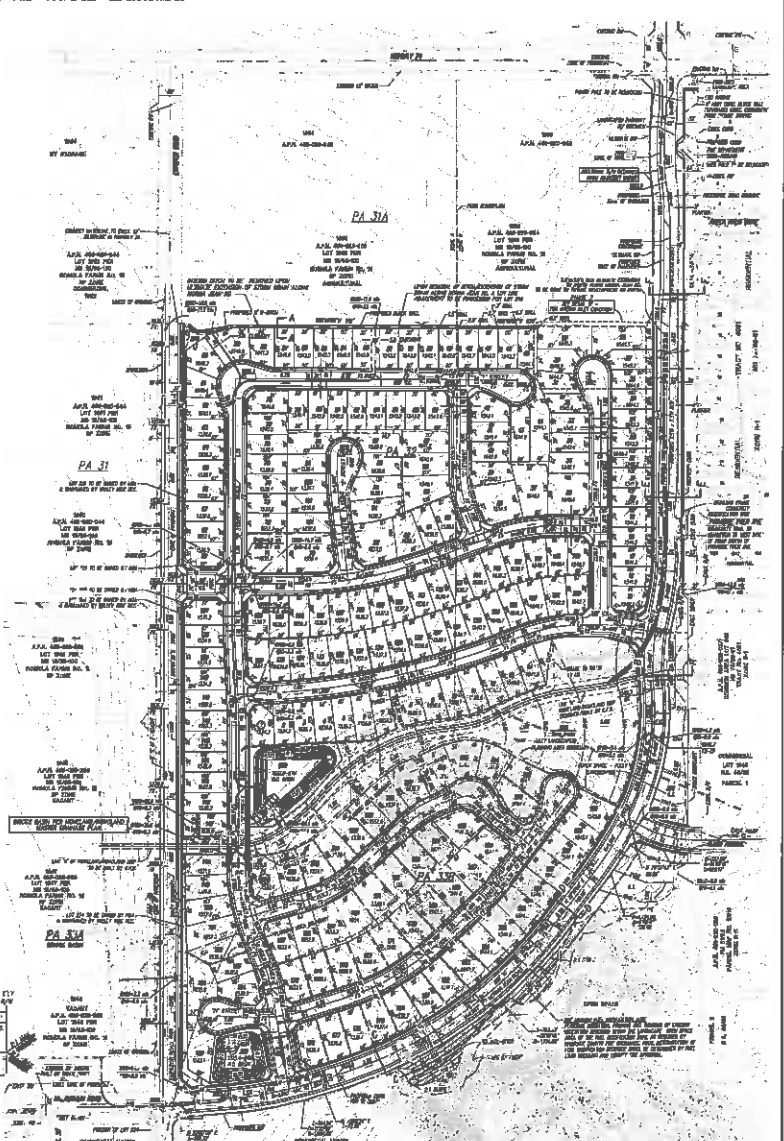
**ENGINEER/CONTACT PERSON**  
ACS CONSULTING, INC.  
15001 BAYVIEW BLVD., SUITE 100  
SAN DIEGO, CA 92161  
PHONE: (619) 594-1111  
FAX: (619) 594-1112

**OWNER**  
STONEMASTER DEVELOPMENT, LLC  
12775 N. HIGHWAY 78, SUITE 100  
SAN DIEGO, CA 92121  
PHONE: (619) 481-1234  
FAX: (619) 481-1235

**APPLICANT/DEVELOPER**  
STONEMASTER DEVELOPMENT, LLC  
12775 N. HIGHWAY 78, SUITE 100  
SAN DIEGO, CA 92121  
PHONE: (619) 481-1234  
FAX: (619) 481-1235

**ASSESSOR'S PARCEL NUMBERS**  
DATE OF MAP: 12/15/2011

**LEGEND**  
PROPOSED SUBDIVISION  
PROPOSED LOT BOUNDARIES  
EXISTING LOT BOUNDARIES  
EXISTING EASEMENTS  
EXISTING RIGHTS OF WAY  
EXISTING UTILITIES  
EXISTING STRUCTURES  
EXISTING DRIVEWAYS  
EXISTING FENCES  
EXISTING SETBACKS  
EXISTING ENCROACHMENTS  
EXISTING ENCROACHMENTS  
EXISTING ENCROACHMENTS  
EXISTING ENCROACHMENTS



PA	USE	ACRES	LOT NUMBERS	PERCENTAGE	OFFICE	INDUSTRY	RETAIL
31A	RESIDENTIAL	150.00	1-150	100%			
31B	RESIDENTIAL	150.00	151-300	100%			
31C	RESIDENTIAL	150.00	301-450	100%			
31D	RESIDENTIAL	150.00	451-600	100%			
31E	RESIDENTIAL	150.00	601-750	100%			
31F	RESIDENTIAL	150.00	751-900	100%			
31G	RESIDENTIAL	150.00	901-1050	100%			
31H	RESIDENTIAL	150.00	1051-1200	100%			
31I	RESIDENTIAL	150.00	1201-1350	100%			
31J	RESIDENTIAL	150.00	1351-1500	100%			
31K	RESIDENTIAL	150.00	1501-1650	100%			
31L	RESIDENTIAL	150.00	1651-1800	100%			
31M	RESIDENTIAL	150.00	1801-1950	100%			
31N	RESIDENTIAL	150.00	1951-2100	100%			
31O	RESIDENTIAL	150.00	2101-2250	100%			
31P	RESIDENTIAL	150.00	2251-2400	100%			
31Q	RESIDENTIAL	150.00	2401-2550	100%			
31R	RESIDENTIAL	150.00	2551-2700	100%			
31S	RESIDENTIAL	150.00	2701-2850	100%			
31T	RESIDENTIAL	150.00	2851-3000	100%			
31U	RESIDENTIAL	150.00	3001-3150	100%			
31V	RESIDENTIAL	150.00	3151-3300	100%			
31W	RESIDENTIAL	150.00	3301-3450	100%			
31X	RESIDENTIAL	150.00	3451-3600	100%			
31Y	RESIDENTIAL	150.00	3601-3750	100%			
31Z	RESIDENTIAL	150.00	3751-3900	100%			
31AA	RESIDENTIAL	150.00	3901-4050	100%			
31AB	RESIDENTIAL	150.00	4051-4200	100%			
31AC	RESIDENTIAL	150.00	4201-4350	100%			
31AD	RESIDENTIAL	150.00	4351-4500	100%			
31AE	RESIDENTIAL	150.00	4501-4650	100%			
31AF	RESIDENTIAL	150.00	4651-4800	100%			
31AG	RESIDENTIAL	150.00	4801-4950	100%			
31AH	RESIDENTIAL	150.00	4951-5100	100%			
31AI	RESIDENTIAL	150.00	5101-5250	100%			
31AJ	RESIDENTIAL	150.00	5251-5400	100%			
31AK	RESIDENTIAL	150.00	5401-5550	100%			
31AL	RESIDENTIAL	150.00	5551-5700	100%			
31AM	RESIDENTIAL	150.00	5701-5850	100%			
31AN	RESIDENTIAL	150.00	5851-6000	100%			
31AO	RESIDENTIAL	150.00	6001-6150	100%			
31AP	RESIDENTIAL	150.00	6151-6300	100%			
31AQ	RESIDENTIAL	150.00	6301-6450	100%			
31AR	RESIDENTIAL	150.00	6451-6600	100%			
31AS	RESIDENTIAL	150.00	6601-6750	100%			
31AT	RESIDENTIAL	150.00	6751-6900	100%			
31AU	RESIDENTIAL	150.00	6901-7050	100%			
31AV	RESIDENTIAL	150.00	7051-7200	100%			
31AW	RESIDENTIAL	150.00	7201-7350	100%			
31AX	RESIDENTIAL	150.00	7351-7500	100%			
31AY	RESIDENTIAL	150.00	7501-7650	100%			
31AZ	RESIDENTIAL	150.00	7651-7800	100%			
31BA	RESIDENTIAL	150.00	7801-7950	100%			
31BB	RESIDENTIAL	150.00	7951-8100	100%			
31BC	RESIDENTIAL	150.00	8101-8250	100%			
31BD	RESIDENTIAL	150.00	8251-8400	100%			
31BE	RESIDENTIAL	150.00	8401-8550	100%			
31BF	RESIDENTIAL	150.00	8551-8700	100%			
31BG	RESIDENTIAL	150.00	8701-8850	100%			
31BH	RESIDENTIAL	150.00	8851-9000	100%			
31BI	RESIDENTIAL	150.00	9001-9150	100%			
31BJ	RESIDENTIAL	150.00	9151-9300	100%			
31BK	RESIDENTIAL	150.00	9301-9450	100%			
31BL	RESIDENTIAL	150.00	9451-9600	100%			
31BM	RESIDENTIAL	150.00	9601-9750	100%			
31BN	RESIDENTIAL	150.00	9751-9900	100%			
31BO	RESIDENTIAL	150.00	9901-10050	100%			
31BP	RESIDENTIAL	150.00	10051-10200	100%			
31BQ	RESIDENTIAL	150.00	10201-10350	100%			
31BR	RESIDENTIAL	150.00	10351-10500	100%			
31BS	RESIDENTIAL	150.00	10501-10650	100%			
31BT	RESIDENTIAL	150.00	106				

# HOMELAND AND WINCHESTER AREA

SEC. 18, T.5 S., R.2 W. S.B.B. & M.

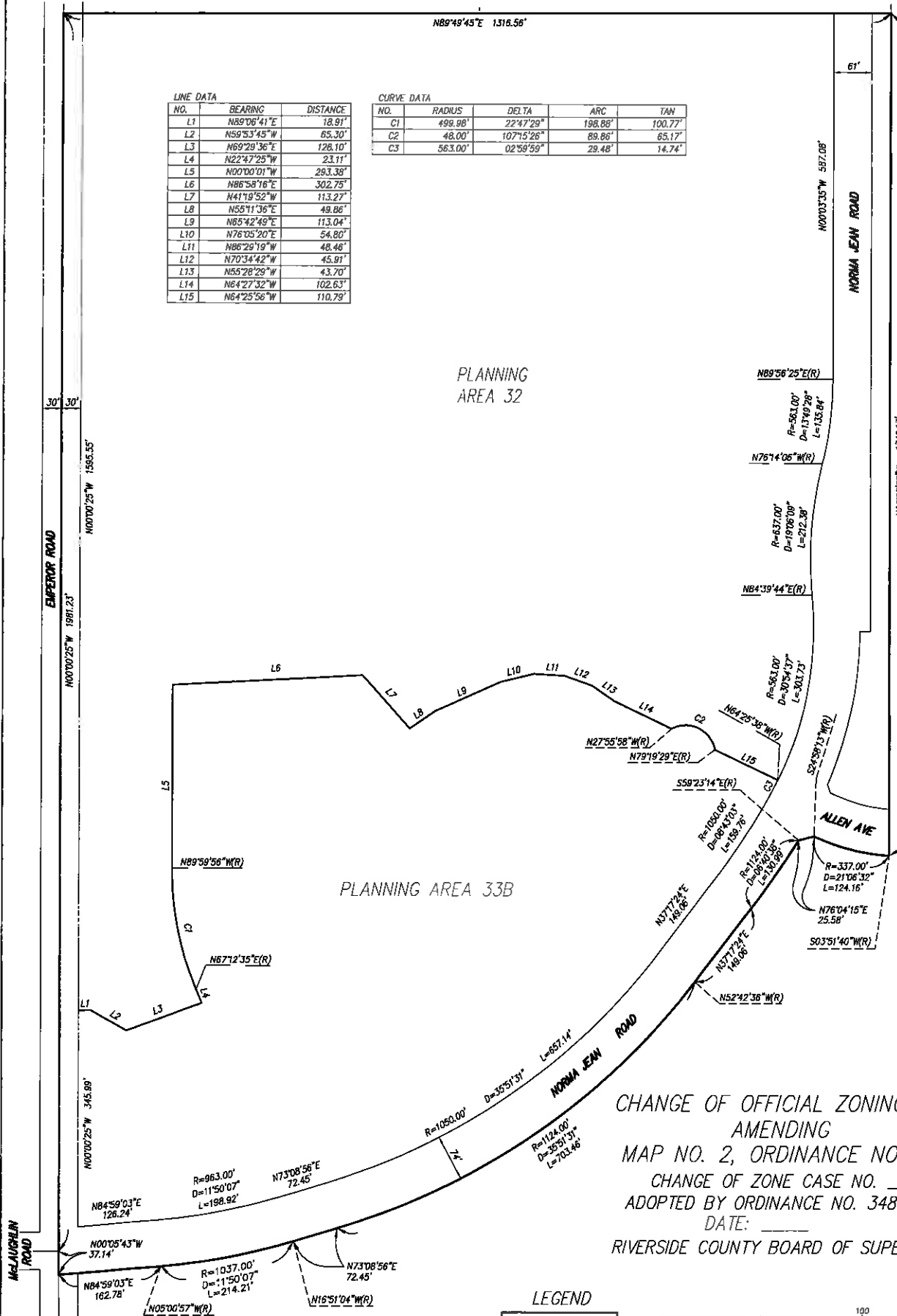
N89°49'45"E 1316.56'

LINE DATA		
NO.	BEARING	DISTANCE
L1	N89°06'41"E	18.91'
L2	N59°53'45"W	65.30'
L3	N89°29'36"E	128.10'
L4	N22°47'25"W	23.11'
L5	N00°00'01"W	293.38'
L6	N86°58'16"E	302.75'
L7	N41°19'52"W	113.27'
L8	N55°11'36"E	49.86"
L9	N65°42'49"E	113.04'
L10	N76°05'20"E	54.80'
L11	N86°29'19"W	46.46'
L12	N70°34'42"W	45.91'
L13	N55°26'29"W	43.70'
L14	N64°27'32"W	102.63'
L15	N64°25'56"W	110.79'

CURVE DATA				
NO.	RADIUS	DELTA	ARC	TAN
C1	499.98'	22°17'29"	198.88'	100.77'
C2	48.00'	107°15'26"	89.66'	65.17'
C3	563.00'	02°59'59"	29.48'	14.74'

PLANNING AREA 32

PLANNING AREA 33B



CHANGE OF OFFICIAL ZONING PLAN  
 AMENDING  
 MAP NO. 2, ORDINANCE NO. 348  
 CHANGE OF ZONE CASE NO. \_\_\_\_\_  
 ADOPTED BY ORDINANCE NO. 348. \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS



LEGEND  
 SP ZONE      SPECIFIC PLAN (SP260)

## I. SUMMARY OF CHANGES

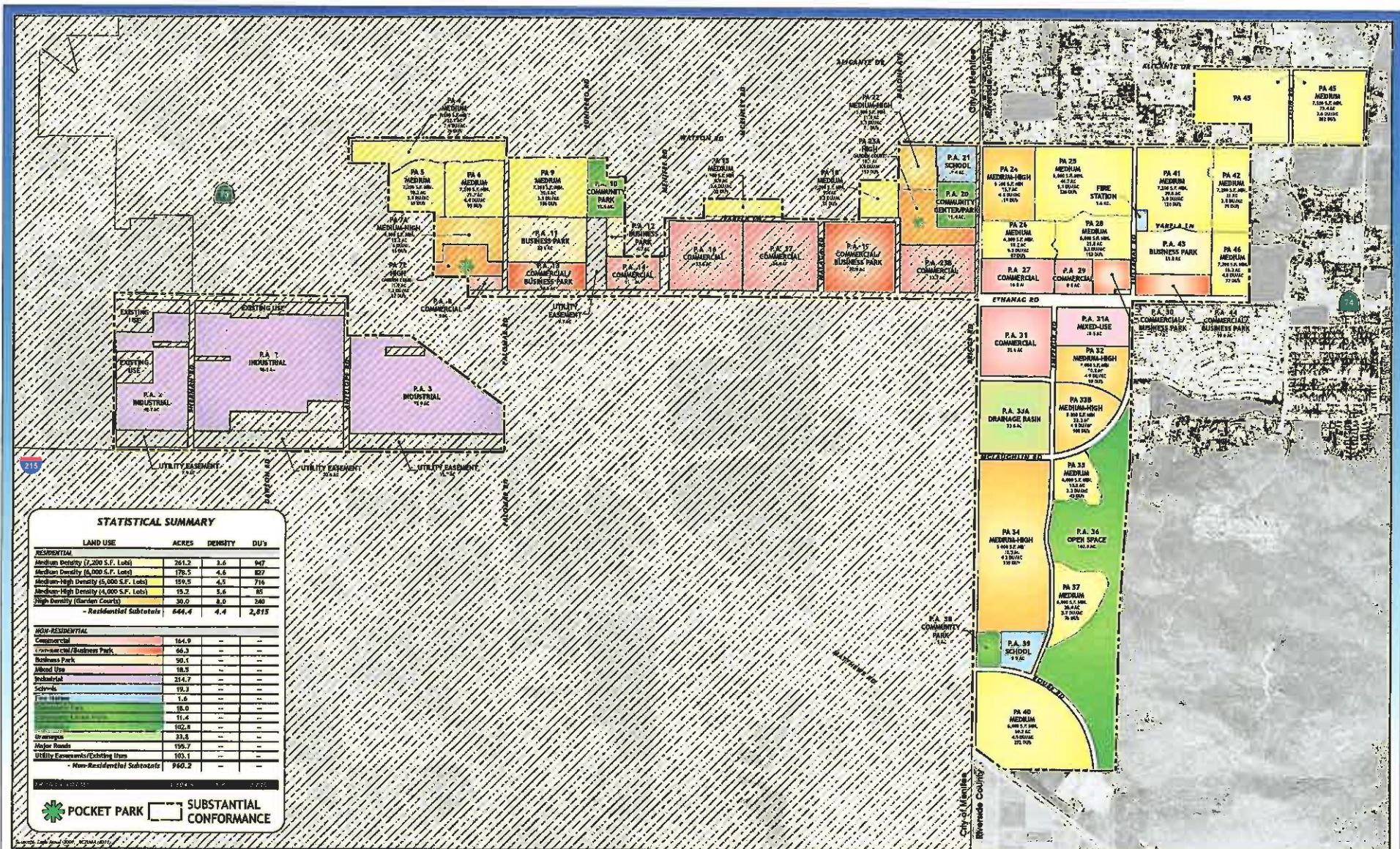
Substantial Conformance No. 1 to the MENIFEE NORTH Specific Plan, Amendment No. 2 (SP260A2) updates the land use plan to be consistent with Tentative Tract Map 31500, a subdivision map processed concurrently with Substantial Conformance No. 1 which ~~is contained in~~ encompasses Planning Areas 32 and 33B; to reflect the limits of the newly incorporated City of Menifee; and to be consistent with the land use designations of the Riverside County General Plan.

The 1,604.6-acre adopted MENIFEE NORTH Specific Plan, Amendment No. 2 provides for a wide range of land uses including 2,815 residential dwelling units, generally located east and west of Briggs Road, south of Watson Road, to the east of Trumble Road, to the west of Juniper Flats Road and to the north of Matthews Road (see Figure I-1, *Approved Land Use Plan - Specific Plan No. 260, Amendment No. 2*). Since the adoption of Amendment No. 2 to the MENIFEE NORTH Specific Plan in 2008, the City of Menifee incorporated, resulting in an approximately 775.4 acre portion of the adopted Specific Plan west of Briggs Road being removed from County of Riverside jurisdiction. Accordingly, Substantial Conformance No. 1 removes discussion of all areas west of Briggs Road from the MENIFEE NORTH Specific Plan. The revised limits of the MENIFEE NORTH Specific Plan are reduced to approximately 829.2 acres east of Briggs Road, west of Juniper Flats Road, south of Watson Road, and north of Matthews Road and provides for a wide range of land uses including 2,025 residential units (see Figure I-2, *Proposed Specific Plan Land Use Plan - Specific Plan Amendment No. 2, Substantial Conformance No. 1*).

Substantial Conformance No. 1 has ~~primarily~~ been prepared to modify Planning Areas 32 and 33B to provide consistency for the concurrent review of Tentative Tract Map 31500; but also includes several modifications technical revisions to other portions of the land use plan and text to correct the land use designations and provide within the plan to be consistency with the adopted Riverside County General Plan Land Use Designations. Substantial Conformance No. 1 does not change the number of dwelling units permitted within the Specific Plan area, nor change the density of any individual Planning Area. It is important to note that the area covered by TTM 31500 (Planning Areas 32 and 33B) provides for the same number of units (206) as approved in adopted SP260A2. Figure I-3, *Approved vs. Proposed Land Use Plans Comparison - Areas of Change*, provides a graphical comparison between the adopted land use plan for MENIFEE NORTH Specific Plan, Amendment No. 2 and the proposed land use plan for Substantial Conformance No. 1.

Specifically, Substantial Conformance No. 1 provides the following modifications to the land use plan ~~for of~~ Amendment No. 2:

The acreage of Planning Area 32 is increased from 20.2 acres to ~~33.231.5~~ 33.231.5 acres, the dwelling unit count is increased from 98 to 152, and the residential density is decreased from 4.9 du/ac to 4.8 du/ac to reflect TR 31500. Both the existing and proposed densities for this Planning Area are consistent with the "Medium Density Residential" of the County General Plan Designation; and no change in density range is proposed. The change from "Medium-High Density Residential" to "Medium Density Residential" represents a technical correction of to the General Plan Designation of PA 32, which is incorrectly shown in adopted SPA#2. nomenclature used in the document.

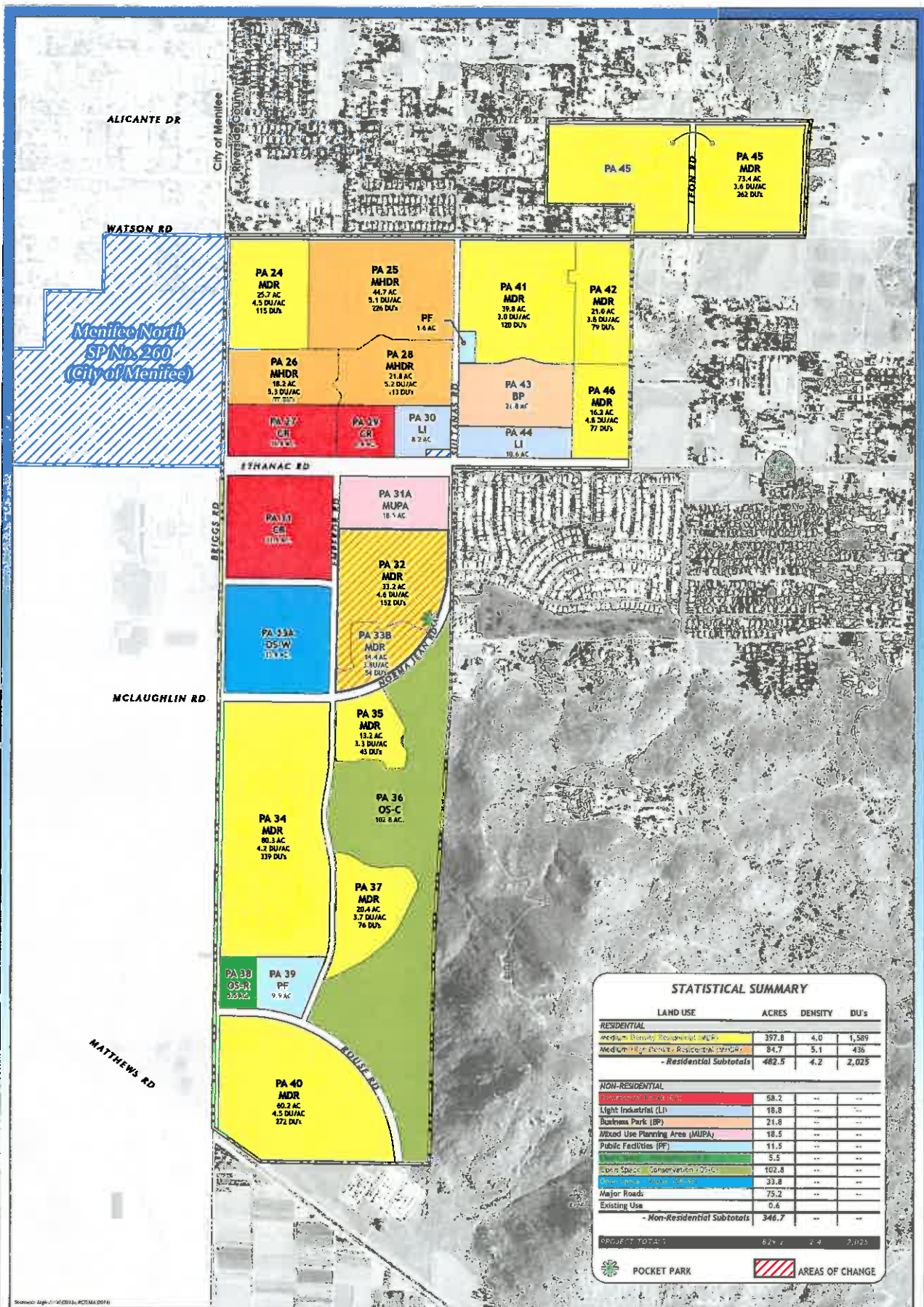


**MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1**



FIGURE I-1

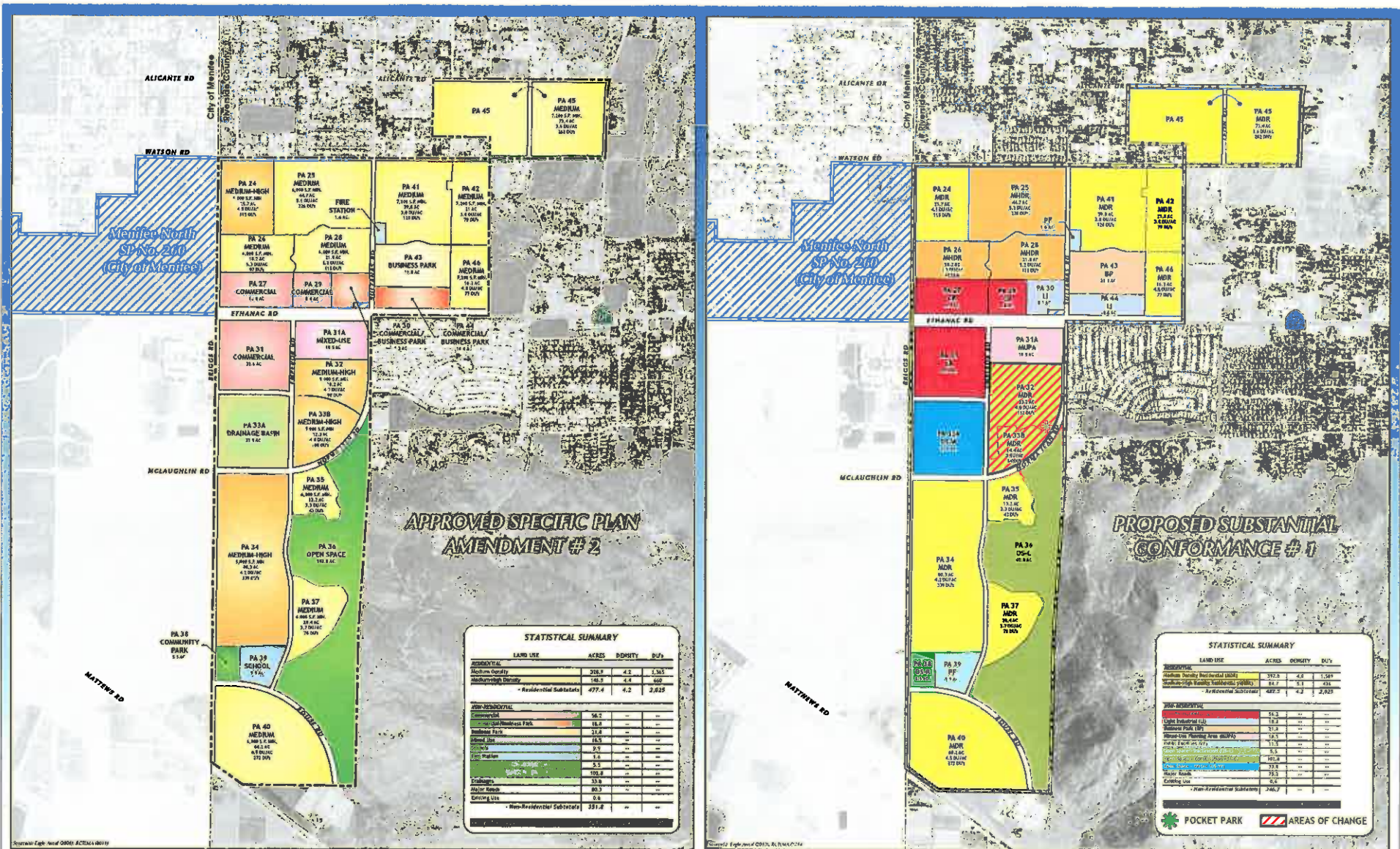




**MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1**

FIGURE I-2





MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1

FIGURE I-3



LAND USE PLAN COMPARISON - AREAS OF CHANGE

- The acreage of Planning Area 33B was decreased from 22.3 acres to ~~14.4~~ 14.2 acres; the dwelling unit count was decreased from 108 to 54; and the residential density was decreased from 4.8 du/ac to 3.8 du/ac to reflect TR 31500. Both the existing and proposed densities for this Planning Area are consistent with the “Medium Density Residential” of the County General Plan Designation; and no change in density range is proposed. The change from “Medium-High Density Residential” to “Medium Density Residential” represents a technical correction of to the General Plan Designation and nomenclature of PA 33B used throughout the document.
- ~~It is important to note that the area covered by TTM 31500 (Planning Areas 32 and 33B) provide for the same number of units (206) as approved in adopted SP260A2.~~
- The acreage reserved for major community roadways has been decreased from 80.3 acres to ~~75.3~~ 77.1 acres to reflect TR 31500.

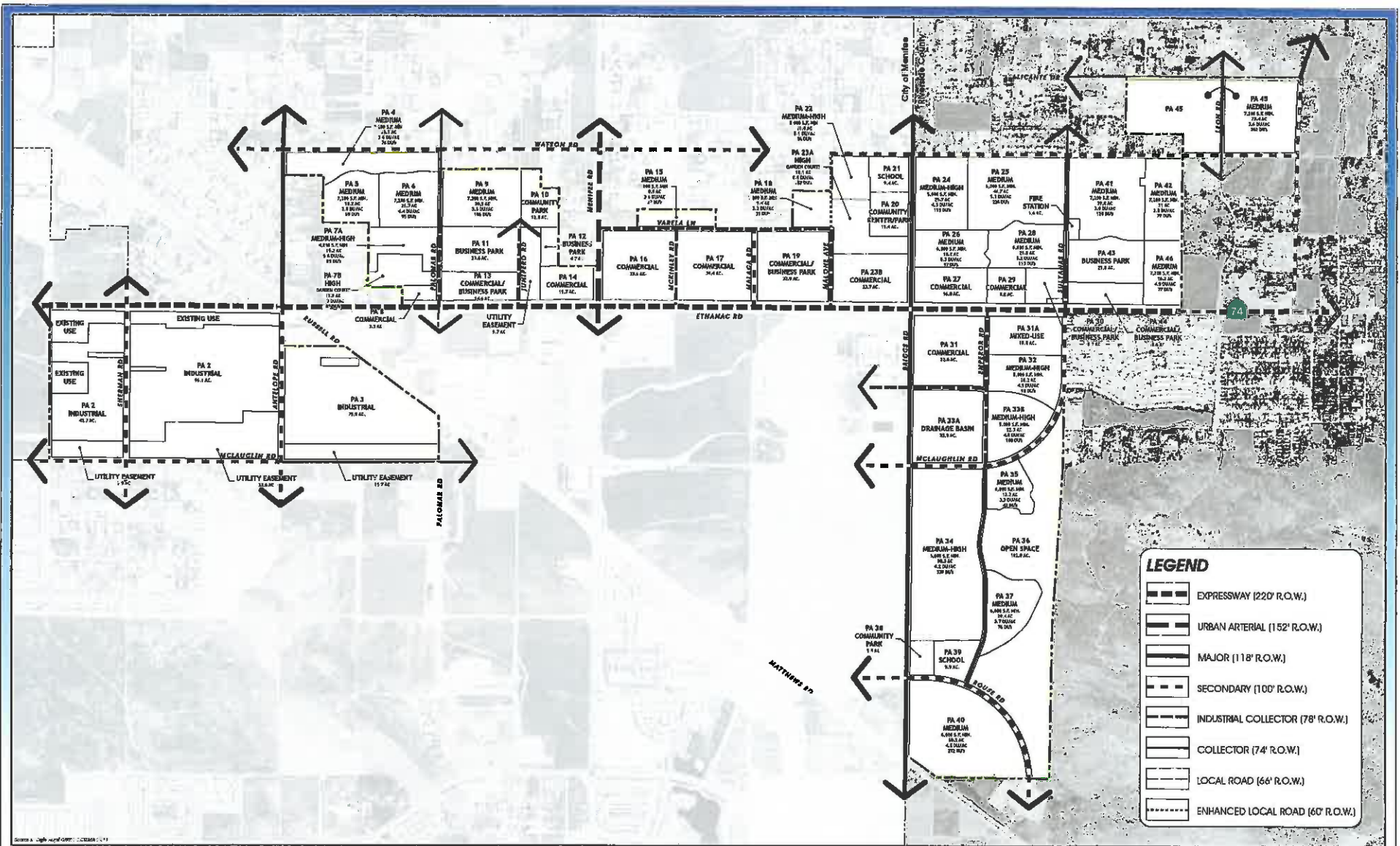
Corrections to the Land Use Plan to reflect the County General Plan nomenclature include:

- The land use designation for Planning Area 24 has been changed from “Medium-High Density Residential” to “Medium Density Residential” and represents the technical correction of the designation and nomenclature used in the document. The acreage and dwelling unit count for Planning Area 24 are unchanged from the adopted SP260A2.
- The land use designation for Planning Area 25 has been changed from “Medium Density Residential” to “Medium-High Density Residential” and represents the technical correction of the designation and nomenclature used in the document. The acreage and dwelling unit count for Planning Area 25 are unchanged from the adopted SP260A2.
- The land use designation for Planning Area 26 has been changed from “Medium Density Residential” to “Medium-High Density Residential” and represents the technical correction of the designation and nomenclature used in the document. The acreage and dwelling unit count for Planning Area 26 are unchanged from the adopted SP260A2.
- The land use designation for Planning Area 27 has been changed from “Commercial” to “Commercial Retail” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 28 has been changed from “Medium Density Residential” to “Medium-High Density Residential” and represents the technical correction of the designation and nomenclature used in the document. The acreage and dwelling unit count for Planning Area 28 are unchanged from the adopted SP260A2.
- The land use designation for Planning Area 29 has been changed from “Commercial” to “Commercial Retail” and represents the technical correction of the nomenclature used in the document.

- The land use designation for Planning Area 30 has been changed from “Commercial/Business Park” to “Light Industrial” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 31 has been changed from “Commercial” to “Commercial Retail” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 31A has been changed from “Mixed Use” to “Mixed Use Planning Area” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 33A has been changed from “Drainage Basin” to “Open Space-Water” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 34 has been changed from “Medium-High Density Residential” to “Medium Density Residential” and represents the technical correction of the designation and nomenclature used in the document. The acreage and dwelling unit count for Planning Area 34 are unchanged from the adopted SP260A2.
- The land use designation for Planning Area 36 has been changed from “Open Space” to “Open Space-Conservation” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 38 has been changed from “Community Park” to “Open Space-Recreation” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 39 has been changed from “School” to “Public Facility” and represents the technical correction of the nomenclature used in the document.
- The land use designation for Planning Area 44 has been changed from “Commercial/Business Park” to “Light Industrial” and represents the technical correction of the nomenclature used in the document.

In addition, Substantial Conformance No. 1 modifies the circulation plan for the MENIFEE NORTH community to be consistent with TR 31500. The approved circulation plan for MENIFEE NORTH is presented on Figure I-4, *Approved Circulation Plan – Specific Plan No. 260, Amendment No.2*, and the proposed circulation plan is depicted on Figure I-5, *Proposed-Specific Plan Circulation Plan – Specific Plan Amendment No. 2, Substantial Conformance No. 1*. A side-by-side comparison of the approved and proposed circulation plans is provided on Figure I-6, *Approved vs. Proposed Circulation Plan Comparison – Areas of Change*.

Specifically, Substantial Conformance No. 1 provides the following modifications to the Circulation Plan for Amendment No. 2:

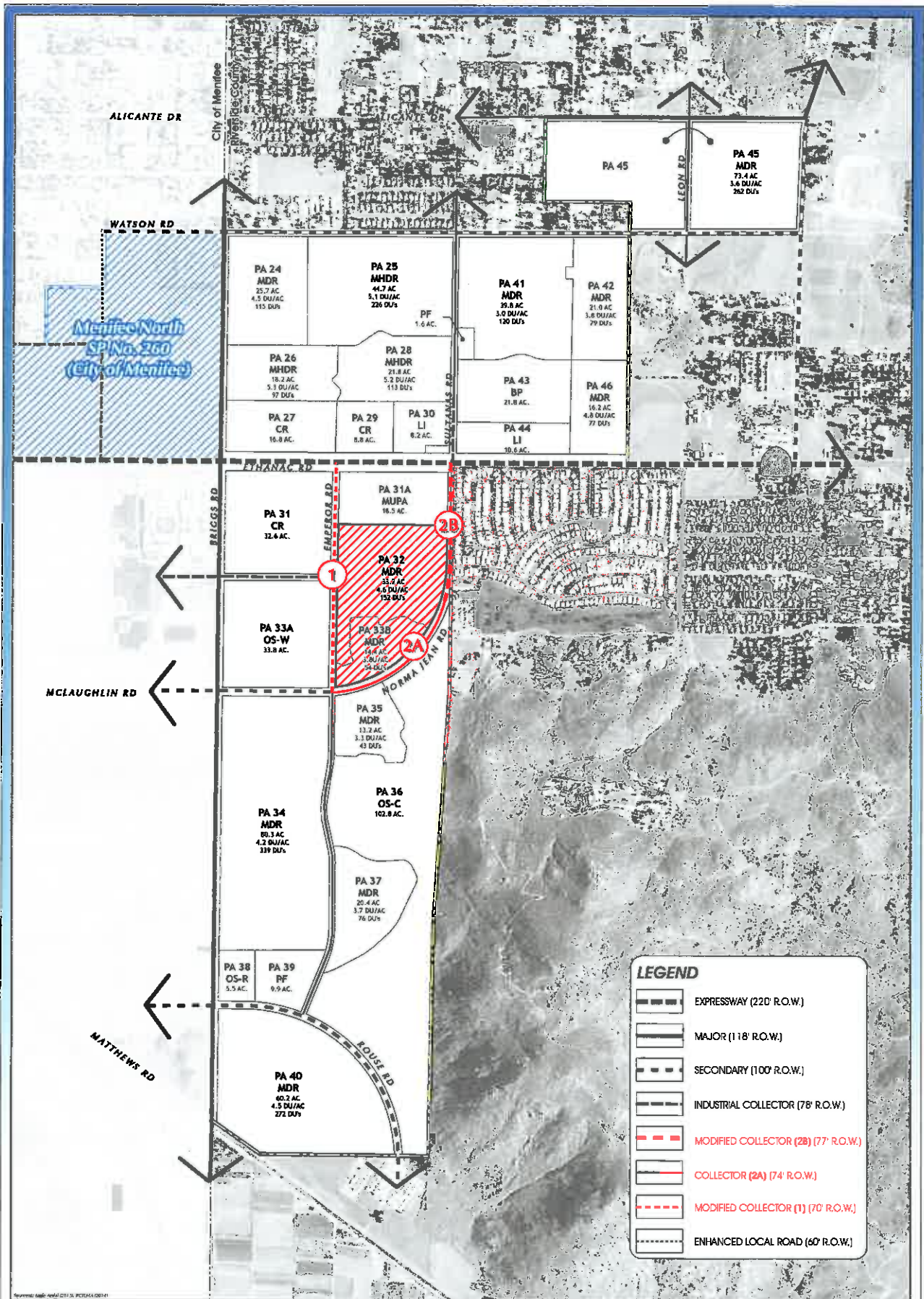


MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1

FIGURE I-4



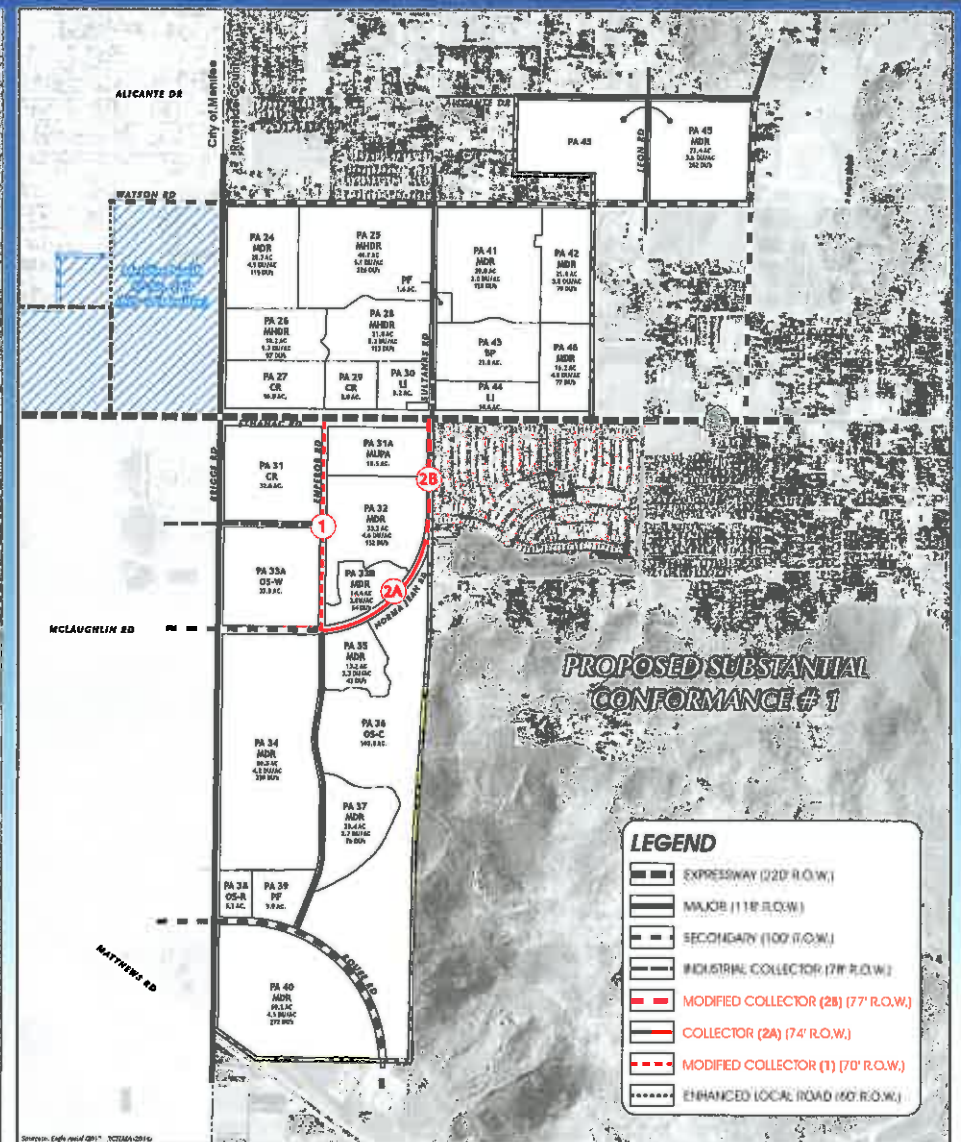
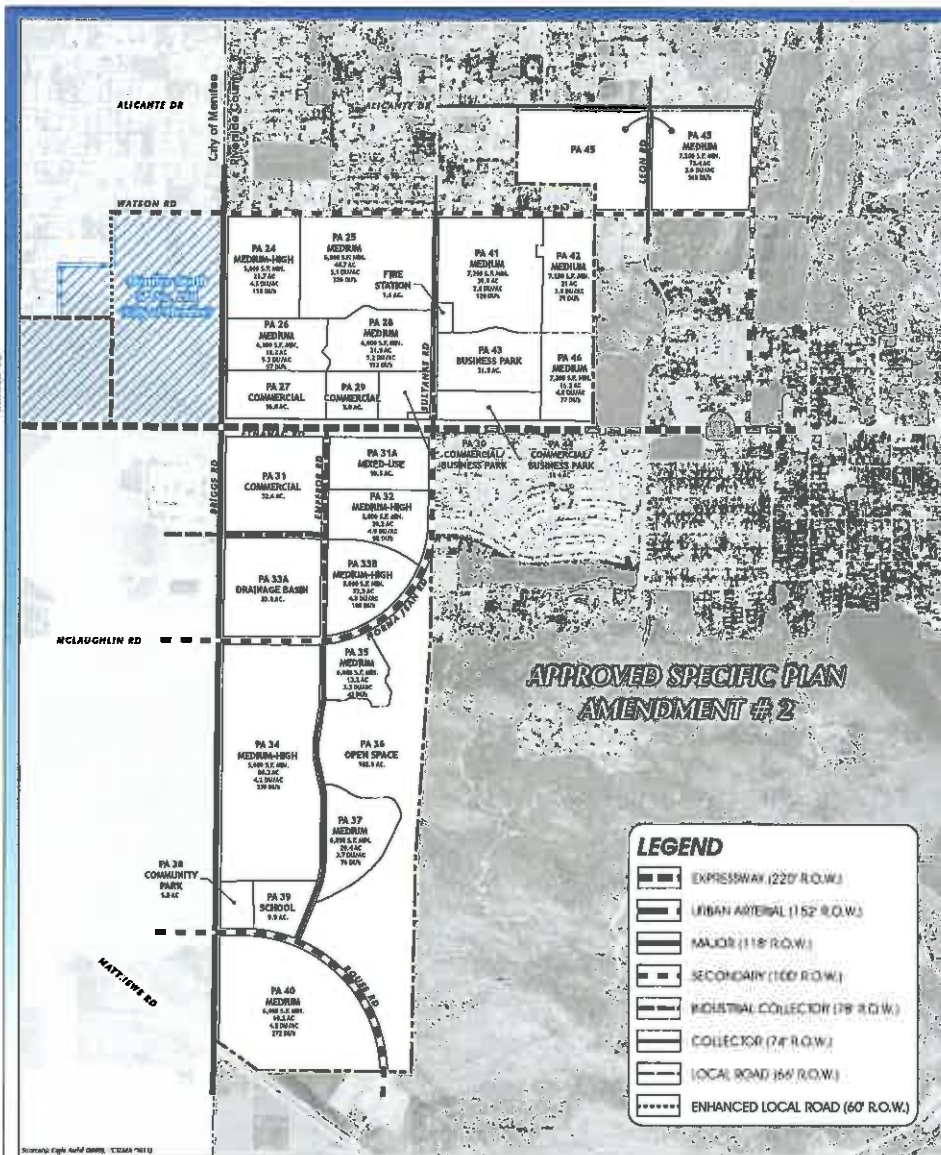
APPROVED CIRCULATION PLAN - SPECIFIC PLAN NO. 260, AMENDMENT NO. 2



MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1

FIGURE I-5





MENIFEE NORTH SUBSTANTIAL CONFORMANCE #1

FIGURE I-6

CIRCULATION PLAN COMPARISON - AREAS OF CHANGE

- Norma Jean Road (previously referred to as McLaughlin Road/Sultanas Road) is downgraded from a Secondary (100-foot wide right-of-way) to a Collector (74-foot wide right-of-way) between Emperor Road and the southern half of Planning Area 32. The proposed cross-section for this segment of Norma Jean Road is depicted on Figure I-7, ~~Approved vs. Proposed Street Section~~ Comparison – Norma Jean Road (Segment 2A).
- Norma Jean Road (previously referred to as McLaughlin Road/Sultanas Road) is downgraded from a Secondary (100-foot wide right-of-way) to a Modified Collector (77-foot wide right-of-way) between the northern half of Planning Area 32 and Highway 74 (Ethanac Road). The proposed cross-section for this segment of Norma Jean Road is depicted on Figure I-8, ~~Approved vs. Proposed Street Section~~ Comparison – Norma Jean Road (Segment 2B).
- Emperor Road is downgraded from an Industrial Collector (78-foot wide right-of-way) to a Modified Collector (70-foot wide right-of-way) between Highway 74 (Ethanac Road) and McLaughlin/Norma Jean Road. The proposed cross-section for Emperor Road is depicted on Figure I-9, ~~Approved vs. Proposed Street Section~~ Comparison – Emperor Road.

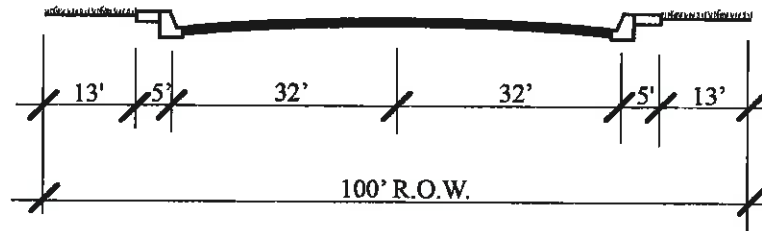
The changes discussed on the preceding pages would require revisions to the previously-approved MENIFEE NORTH Specific Plan, Amendment No. 2 (SP00260A2). The individual text and graphic pages that are proposed for revision are included in this document. Proposed additions to MENIFEE NORTH Specific Plan, Amendment No. 2 are shown as underlined text and deletions are shown as ~~stricken~~ text.

Development standards and corresponding figures for Planning Areas 1 through 23 have been deleted from Section III.B (Specific Plan, Planning Area Development Standards) of this document because these Planning Areas are outside the jurisdiction of Riverside County. As a result, subsections B.1 through B.23 have been deleted, and Planning Area development standards begin with subsection B.24.

Figure sequencing has also been updated to account for the removal of Planning Areas 1 through 23.



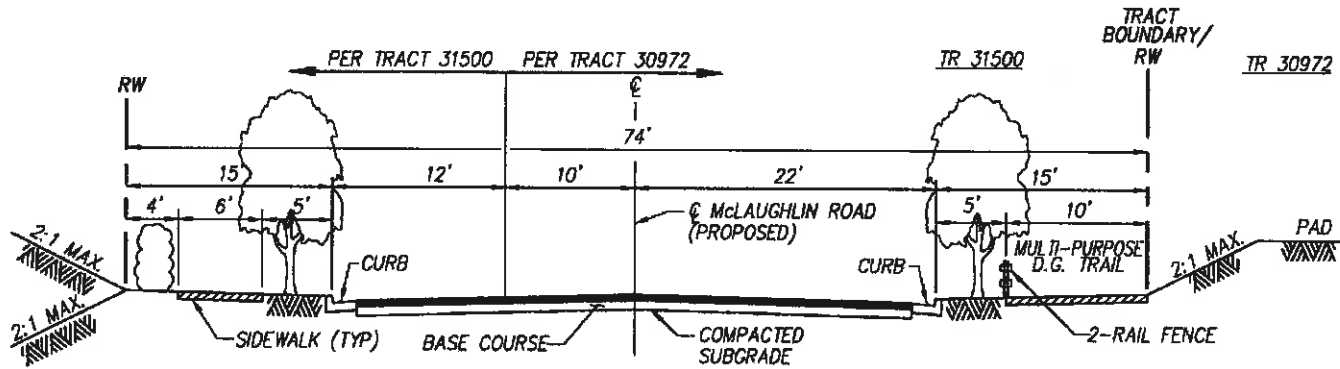
**APPROVED**



**SECONDARY (100' R.O.W.)**

McLaughlin Road (Dawson Road to Antelope Road and Briggs Road to Sultanas Road)

**PROPOSED**

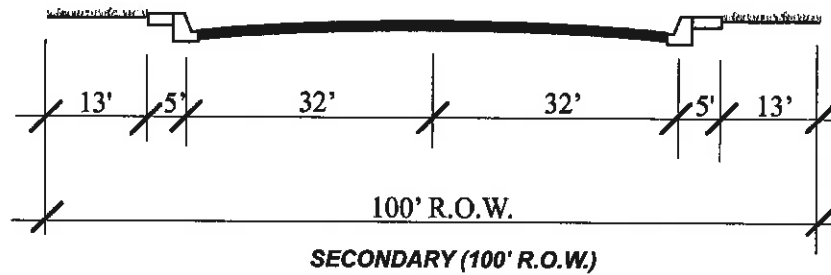


**COLLECTOR (74 R.O.W.)**

Norma Jean Road (Emperor Road to Highway 74)  
(See Segment 2A)

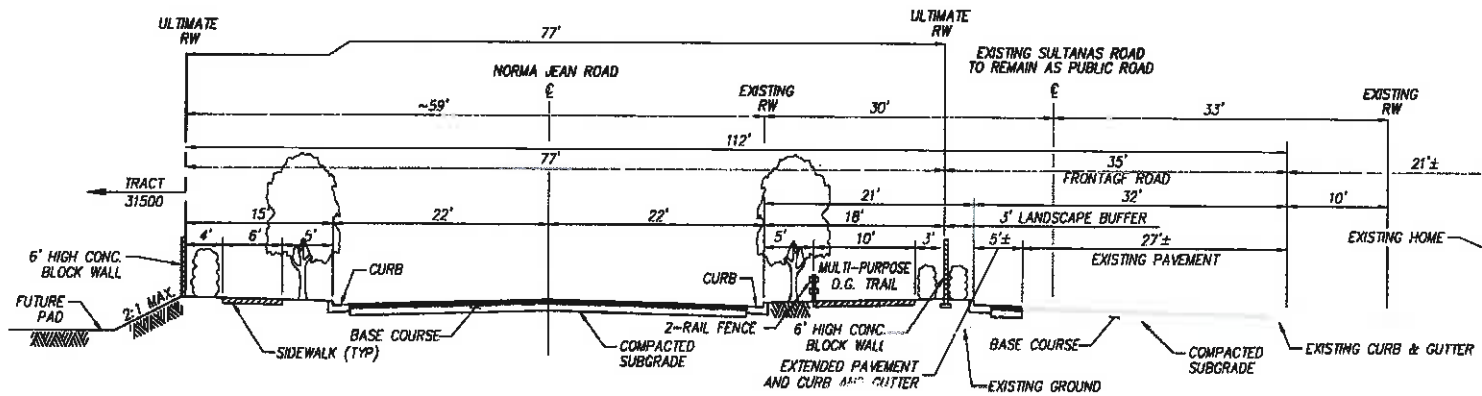
Source: ACC Engineering

**APPROVED**



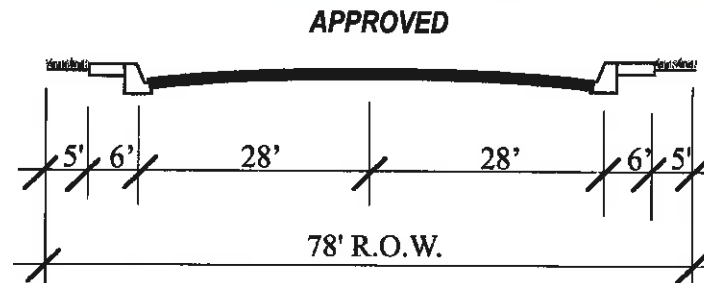
**Norma Jean Road (Emperor Road to Highway 74)**

**PROPOSED**

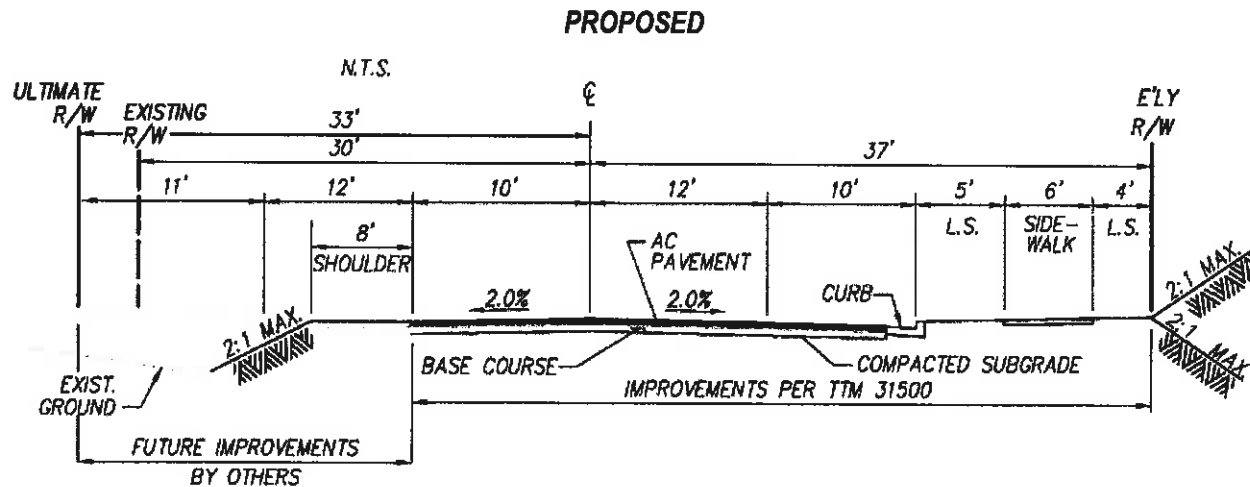


**MODIFIED COLLECTOR (77' R.O.W.)**

**Norma Jean Road (Emperor Road to Highway 74)**  
**(See Segment 2B)**



**INDUSTRIAL COLLECTOR (78' R.O.W.)**  
Emperor Road (McLaughlin Road to Ethanac Road)



**MODIFIED COLLECTOR (70' R.O.W.)**  
Emperor Road (Norma Jean Road/McLaughlin Road to Ethanac Road)  
(See Segment 1)

Source: ACD Engineering

## II. SUMMARY

### A. INTRODUCTION

Section 65450 of the California Government Code grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A Specific Plan, as the name implies, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. A General Plan does not show local streets, individual parcels or specific land uses. While a General Plan examines an entire City or County, a Specific Plan will concentrate on the individual development issues of a particular project or region. The Riverside County General Plan has established objectives which mandate the preparation of individual Specific Plan documents in order to ensure that new developments meet the basic standards of environmental safety, infrastructure, quality of structural design, site planning and contain the provisions to maintain aesthetic quality and cultural identity. Most importantly, the Specific Plan has strong implications on government budgeting decisions.

In addition to the *MENIFEE NORTH* Specific Plan, the accompanying Environmental Impact Report (EIR), was prepared under the authority of the County of Riverside and is in compliance with the California Environmental Quality Act (CEQA) and County of Riverside Guidelines. The EIR is intended to serve as the project-wide Master Environmental Document for the *MENIFEE NORTH* Specific Plan and all subsequent development projects undertaken pursuant to and within the Specific Plan boundaries. Furthermore, the EIR is an informational document designed to provide decision-makers and members of the general public with a full understanding of the potential environmental effects of the development proposal. Together, the Specific Plan and EIR provide a path to properly develop the site, taking into account all local goals, objectives and environmental considerations.

### B. PROJECT SUMMARY

The 1604.6 acre adopted MENIFEE NORTH Specific Plan, Amendment No. 2 provides for a wide range of land uses including 2,815 residential dwelling units, generally located east and west of Briggs Road, south of Watson Road, to the east of Trumble Road, to the west of Juniper Flats Road and to the north of Matthews Road (as illustrated on both Figure II-1, Regional Map, and Figure II-2, Vicinity Map). Since the adoption of Amendment No. 2 to the MENIFEE NORTH Specific Plan in 2008, the City of Menifee incorporated, resulting in an approximately 775.4 acre portion of the adopted Specific Plan west of Briggs Road being removed from County of Riverside jurisdiction. Accordingly, Substantial Conformance No. 1 to Amendment No. 2 modifies the Specific Plan boundary, removing all areas west of Briggs Road have been removed from the MENIFEE NORTH Specific Plan. The revised limits of the MENIFEE NORTH Specific Plan (as illustrated on both Figure II-1, Regional Map, and Figure II-2, Vicinity Map) are reduced to approximately 829.2 acres east of Briggs Road, west of Juniper Flats Road, south of Watson Road Alicante Drive, and north of Matthews Road and provides for a wide range of land uses including 2,025 residential units.

The *MENIFEE NORTH* Specific Plan provides the County of Riverside, as well as future developers, community groups and community service districts, with a comprehensive set of plans, regulations, conditions and programs

for guiding the systematic development of the project. The Specific Plan also implements each applicable Element of the Riverside County General Plan.

The Menifee North Specific Plan assures that development of the proposed land use plan will proceed as a coordinated project involving the orderly and systematic construction of residential, commercial, industrial and open space uses and the provisions of public infrastructure and services necessary to ensure that Riverside County standards for orderly growth are implemented.

~~Menifee North, as noted on the Regional Map (Figure II-1) and illustrated on the Vicinity Map (Figure II-2), is located on approximately 1,604.6 acres between the communities of Homeland and Romoland in southwestern Riverside County, east of Interstate 215 along Highway 74. The Menifee North Specific Plan project site is bound to the north by Watson Road, to the west by Trumble Road, to the east by Juniper Flats Road and to the south by McLaughlin Road. The western portion of the project site is traversed in a northwest-southeast direction by the Atehison-Topoka and Santa Fe Railroad right-of-way.~~

The project area primarily consists of vacant land with some existing scattered residential, ~~industrial~~ and commercial uses surrounded by either fragmented residential, commercial, agricultural or some limited forms of professional office land uses. When fully developed, the Menifee North Specific Plan will provide a balance of residential land uses varying in density from 3.06 dwelling units per acre to ~~5.38-0~~ dwelling units per acre. The project will also include one elementary school site, a community park, and natural open space, as well as commercial retail and business park, mixed use planning areas, and light industrial uses, ~~three school sites, community parks and natural open space.~~

The residential products to be provided will serve to meet a market need in this urbanizing portion of southwest Riverside County, while maintaining a sensitive approach to development relative to existing streets and anticipated traffic volumes that are planned for within the Riverside County Circulation Plan and Master Plan of Highways.

Menifee North will provide a community which offers a unique living and working environment, providing a range of residential densities, commercial and industrial square footage and park and open space amenities consistent with the on-going development in the Southern Perris Valley region. Many of the future residents, who are projected to range from first-time to move-up buyers, will be able to take advantage of amenities offered in the Menifee North Specific Plan project area.

The *MENIFEE NORTH* Specific Plan can be briefly summarized as follows:

**TABLE I - LAND USE SUMMARY**

LAND USE	ACREAGE	DWELLING UNITS / ACRE	MAXIMUM DWELLING UNITS	PERCENTAGE
<b>RESIDENTIAL</b>				
7,200 SF Medium <sup>(4)</sup>	<del>150.4</del> 261.2	3.6	947538	<del>46.3</del> 18.1%
6,000 SF Medium <sup>(4)</sup>	93.8	4.2	391	11.3%
5,000 SF Medium <sup>(1),(2)</sup>	<del>153.6</del> 151.7	4.3	660	<del>18.5</del> 18.3%
6,000 SF Medium High <sup>(1)</sup>	84.7178.5	5.14.6	436827	11.15.310.2%
5,000 SF Medium High <sup>(4),(2)</sup>	159.5	4.5	716	9.9%
4,000 SF Medium High	15.2	5.6	85	0.9%
High Density (garden courts)	30.0	8.0	240	1.9%
<b>RESIDENTIAL SUBTOTAL</b>	<del>482.5</del> 644.4480.6	4.24	2,0252,815	<del>58.2</del> 40.258.0%
<b>NON-RESIDENTIAL</b>				
Commercial Retail	<del>164.9</del> 58.2	-	-	<del>7.0</del> 10.3%
Commercial/Business Park/Light Industrial <sup>(4)</sup>	18.866.3	-	-	2.34.1%
Mixed Use/Neighborhood Commercial/Planning Area	18.5	-	-	2.21.2%
Business Park	<del>50.1</del> 21.8	-	-	<del>2.6</del> 3.1%
Industrial	214.7	-	-	13.4%
Schools-Public Facility	9.919.3	-	-	1.2%
Community Center/Park	11.4	-	-	0.7%
Community Parks/Open Space-Recreation <sup>(4)</sup>	5.518.0	-	-	0.71.1%
Open Space-Conservation	102.8	-	-	6.412.4%
Drainage Basin/Channels/Open Space-Water	33.8	-	-	4.12.1%
Fire Station/Public Facility Fire Station	1.6	-	-	0.21%
Major Roads	<del>75.2</del> 155.777.1	-	-	<del>9.1</del> 79.3%
Easements/Existing Uses	0.6103.1	-	-	0.16.4%
<b>NON-RESIDENTIAL SUBTOTAL</b>	<del>346.7</del> 960.2348.6	-	-	<del>41.8</del> 59.842.0%
<b>PROJECT TOTAL</b>	<del>829.2</del> 1,604.6	2.41.8	2,0252,815	100.0%

- (1) The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Areas ~~5, 6, 9, 32, 33B, and 34~~ in either of the following two circumstances:
- (a) The project is designed for and restricted to senior citizen housing; or

II. SUMMARY

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 2 & E.I.R. NO. 329  
**SUBSTANTIAL CONFORMANCE NO. 1**

- (b) The project is a mobile home park or mobile home subdivision.  
If this option is elected, the maximum number of dwelling units shown in Table II ~~for Planning Areas 34 may exceed up to a new maximum which is listed in Planning Area description for the relevant Planning Area~~ increase, however, the overall maximum number of dwelling units for the entire Specific Plan may not exceed 2,025,815.
- (2) The overall number of units for Planning Areas 33B and 34 is restricted to require that several neighborhoods of differing lot sizes be developed.
- ~~(3) Planning Area 1, which was originally designated for 18 acres of Commercial/Business Park use, was annexed to the City of Perris and was therefore deleted from Specific Plan #260.~~
- (4) Mini-parks are required in Planning Areas 32, 35 and 37.

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

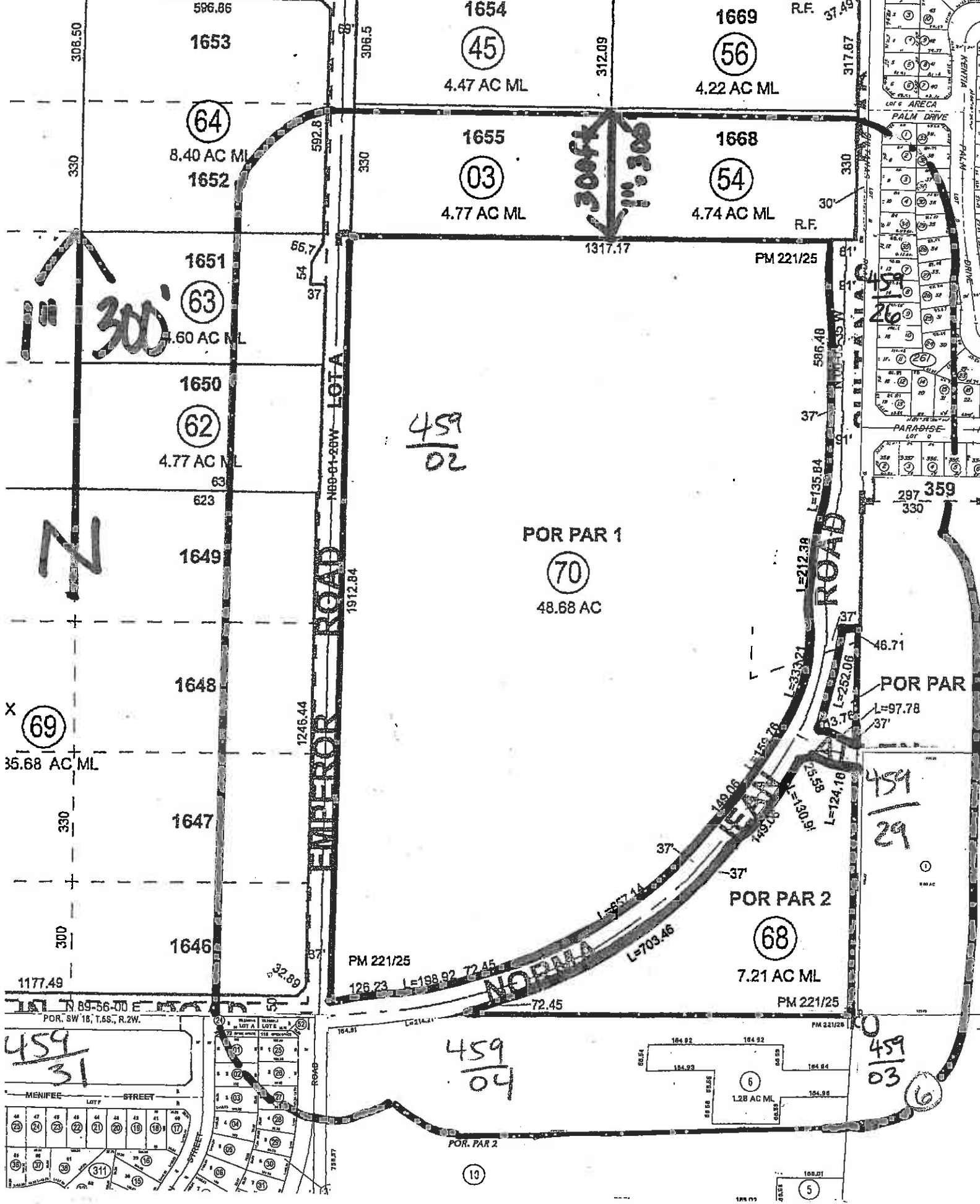
TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1134MA15 – Emperor North/Stone Star Riverside, LLC (Representative: Frank Artiga, ACS Consulting, Inc.) – County Case Nos. SP 00260S1 (Substantial Conformance [Request] No. 1 to Specific Plan No. 260), CZ 07870 (Change of Zone), TR 31500 (Tentative Tract Map). The applicant proposes to adjust the boundaries between Planning Areas (PAs) 32 and 33B of Specific Plan No. 260 (Menifee North). The total number of dwelling units in the two Planning Areas would remain at 206, with the number in PA32 increasing from 98 to 152 and the number in PA33B decreasing from 108 to 54. The total acreage would increase from 42.5 to 45.7 acres, with overall density remaining within the 2-5 dwelling unit per acre range, as a result of a reduction of 3.2 acres in areas reserved for major community roadways. Additionally, the titles of the land use designations of the portions of the Specific Plan still within the unincorporated area would be amended to reflect County General Plan land use designations, and the curved roadway segment extending southerly and westerly from the intersection of State Highway Route 79 with Sultanas Road to the intersection of Emperor Road with McLaughlin Road would be renamed Norma Jean Road. Tentative Tract Map No. 31500, Amendment No. 3, would subdivide 45.7 acres located easterly of Emperor Road, northerly and westerly of Norma Jean Road, into 206 single-family residential lots, plus 13 other lots for drainage, water quality and inlet basins, trail, open space, and landscape features. CZ 07870 would amend the site's Specific Plan zoning ordinance to reflect the proposed Specific Plan revisions. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Matt Straite of the Riverside County Planning Department, at (951) 955-8631.





596.86  
1653

1654  
(45)  
4.47 AC ML

1669 R.F.  
(56)  
4.22 AC ML

(64)  
8.40 AC ML  
1652

1655  
(03)  
4.77 AC ML

1668  
(54)  
4.74 AC ML R.F.

1651  
(63)  
4.60 AC ML

1650  
(62)  
4.77 AC ML

459  
02

POR PAR 1  
(70)  
48.68 AC

1649

1648

X (69)  
35.68 AC ML

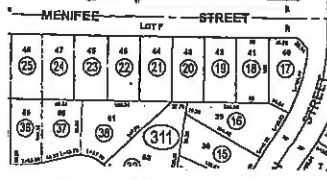
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1646

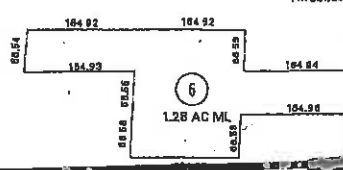
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POR PAR 2  
(68)  
7.21 AC ML

1177.49  
T. 89-56-00 E. R. 2W.  
POR. SW 18, T. 6S., R. 2W.



459  
04



459  
03 (6)

(10)

(5)

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 4.1

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1127MA15 – Level 3 Communications/VYVX, LLC, c/o Robert Di Orio/Allen Holdings (Representative: Albert A. Webb Associates, Nicole Torstvet)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** CUP03726 (Conditional Use Permit), CZ07868 (Change of Zone)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Change of Zone and a finding of CONDITIONAL CONSISTENCY for the Conditional Use Permit, subject to the conditions included herein and such additional conditions as may be required by the Federal Aviation Administration (FAA) Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The Conditional Use Permit proposes to construct and operate eleven (11) satellite communication antennas and other supporting equipment within an existing satellite communications center. The Change of Zone proposes to change the zoning classification of the site from Residential Agricultural 5-acre minimum lot size (R-A-5) to Light Agriculture 5-acre minimum lot size (A-1-5).

**PROJECT LOCATION:** The project site is located westerly of a southerly extension of Gilmer Road, southerly of a westerly extension of Olympia Avenue, easterly of a southerly extension of Reiss Road, northerly of the City of Lake Elsinore boundaries within the unincorporated community of Lake Mathews within the County of Riverside, approximately 43,300 feet southwest of Runway 14-32 at March Air Reserve Base and 29,000 feet westerly of Perris Valley Airport Runway 15-33.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base/Inland Port Airport
- b. Land Use Policy: Zone E, High Terrain Zone
- c. Noise Levels: below 60 CNEL

**BACKGROUND:**

Non-Residential Intensity: The site is located within Compatibility Zone E. Compatibility Zone E does not limit non-residential intensity.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E within the project.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL contour relative to aircraft noise. ALUC's objective is that interior noise levels from aircraft approaching or taking off from this airport not exceed CNEL 40 dB. As standard building construction is presumed to provide adequate sound attenuation where the exterior noise exposure is not more than 20 dB greater than the interior standard, the development would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 of March Air Reserve Base/Inland Port at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). The military Outer Horizontal Surface is set at an elevation that exceeds the runway elevation by 500 feet. Objects breaching the Outer Horizontal Surface are subject to review at distances up to 50,000 feet. At a distance of approximately 43,300 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1988 feet AMSL. The site has an existing elevation of approximately 2000 to 2100 feet AMSL (more than 500 feet above the runway elevation) and proposes structures with a maximum height of 52 feet. Therefore, review by the FAA Obstruction Evaluation Service for height/elevation reasons is required in relation to March Air Reserve Base/Inland Port. The applicant has submitted the project to FAA and been assigned an Aeronautical Study Number of 2015-AWP-7129-OE. At the time of writing of this staff report, a Determination of No Hazard to Air Navigation has yet to be issued.

Open Area: Compatibility Zone E does not require land to be set aside as open areas.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. Prior to issuance of any building permits or authorization to operate the proposed facilities, the landowner shall convey and have recorded an avigation easement to March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  4. Any proposed detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
  5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  6. The attached notice shall be provided to all potential purchasers of the property and lessees of the facilities thereon.
  7. Prior to issuance of any building permits or authorization to operate the proposed facilities, a "Determination of No Hazard to Air Navigation" shall be issued by the Federal Aviation Administration.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Federal Aviation Administration

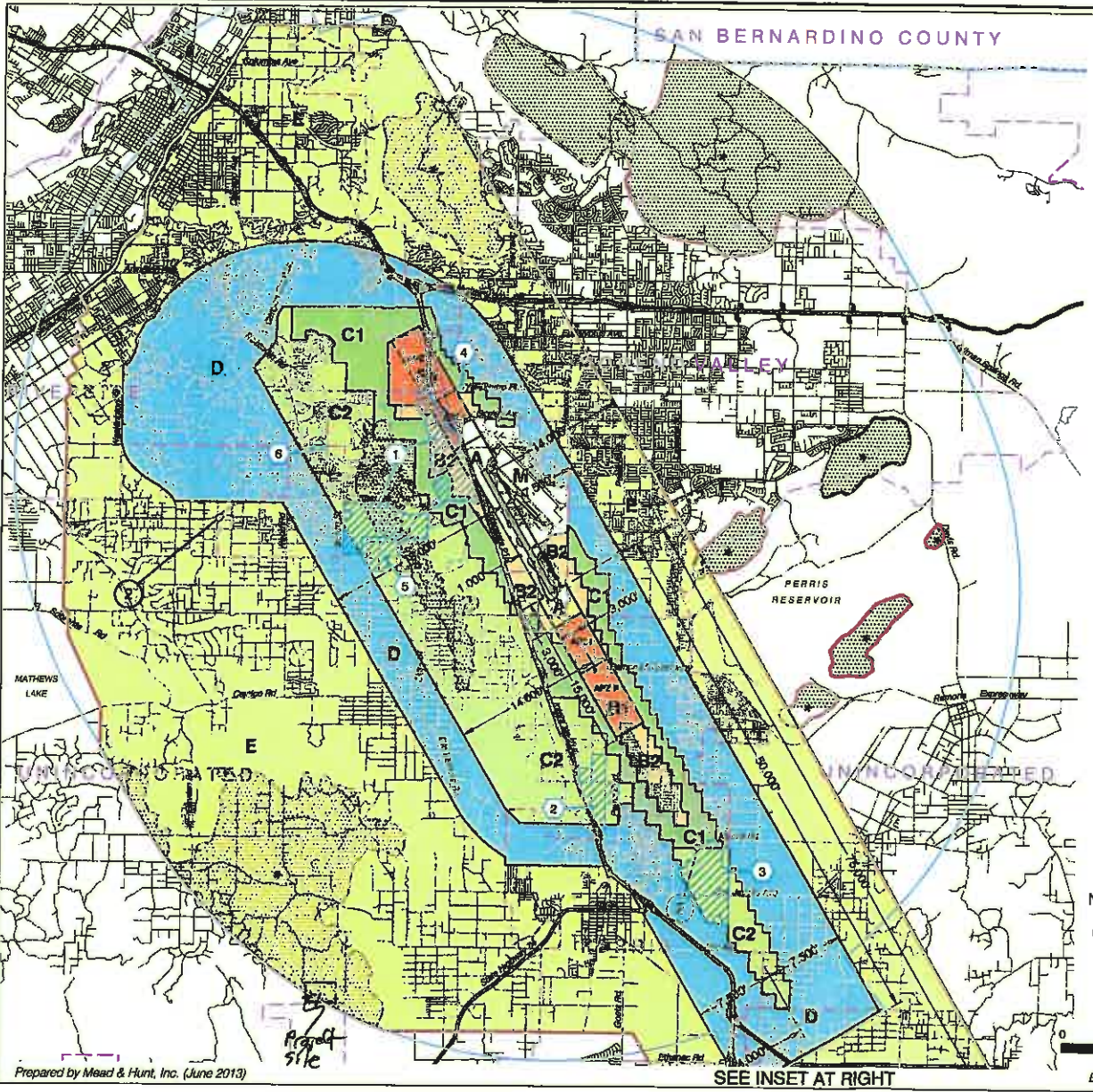
[« OE/AAA](#)

**Proposed Case for : 2015-AWP-7129-OE**

**For information only.**  
 This proposal has not yet been studied. Study outcomes will be posted at a later date.  
 Public comments are not requested, and will not be considered at this time.

<b>Overview</b>	
<b>Study (ASN):</b> 2015-AWP-7129-OE	<b>Received Date:</b> 07/07/2015
<b>Prior Study:</b>	<b>Entered Date:</b> 07/07/2015
<b>Status:</b> Work In Progress	<b>Map:</b> <a href="#">View Map</a>
<b>Construction Info</b>	
<b>Notice Of:</b> CONSTR	<b>Structure Summary</b>
<b>Duration:</b> PERM (Months: 0 Days: 0)	<b>Structure Type:</b> Antenna Tower
<b>Work Schedule:</b>	<b>Structure Name:</b> Level 3
	<b>FCC Number:</b>
<b>Structure Details</b>	
<b>Latitude (NAD 83):</b> 33° 45' 29.89" N	<b>Height and Elevation</b>
<b>Longitude (NAD 83):</b> 117° 18' 59.05" W	<b>Site Elevation:</b> <b>Proposed</b> 2018
<b>Datum:</b> NAD 83	<b>Structure Height:</b> 52
<b>City:</b> Lake Elsinore	<b>Total Height (AMSL):</b> 2070
<b>State:</b> CA	
<b>Nearest County:</b> Riverside	
<b>Frequencies</b>	
<b>Low Freq</b>	<b>High Freq</b>
<b>Unit</b>	<b>ERP</b>
	<b>Unit</b>

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**LEGEND**

**Compatibility Zones**

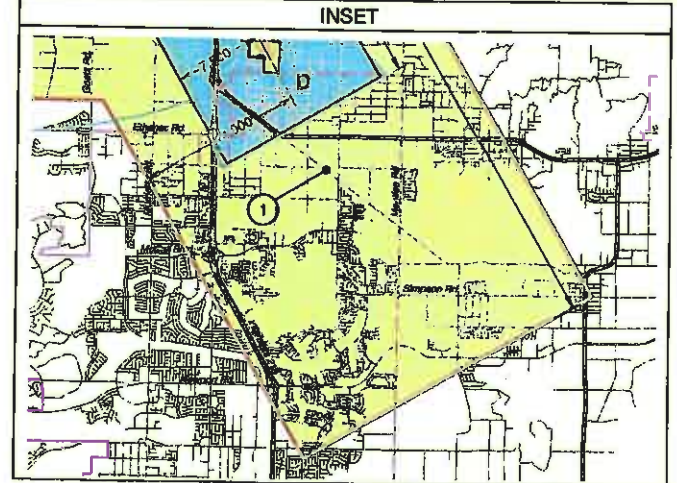
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ben Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.  
 ② Point at which departing aircraft typically reach 3,000 feet above runway end.

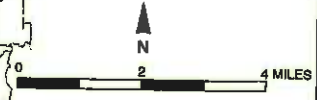


**Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)**

Map MA-1

**Compatibility Map  
 March Air Reserve Base / Inland Port Airport**

Note:  
 All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT


Zone	Noise and Overflight Factors	Safety and Airspace Protection Factors
<b>M</b> (Military)	<i>Federal Lands</i> ▶ No ALUC authority	<i>Federal Lands</i> ▶ No ALUC authority
<b>A</b> Clear Zone (if not on base)	<i>Noise Impact: Very High</i> ▶ High CNEL and single-event noise levels	<i>Risk Level: Very High</i> ▶ Dimensions set to include Clear Zone as indicated in Air Installation Compatible Use Zone (AICUZ) study for airport ▶ Generally on air base property or controlled by easements
<b>B1</b> Inner Approach/Departure Zone	<i>Noise Impact: High</i> ▶ Within or near 65-CNEL contour ▶ Single-event noise sufficient to disrupt many land use activities including indoors if windows open	<i>Risk Level: High</i> ▶ Within Accident Potential Zone I or II ▶ Additionally, zone boundary to north reflects turning flight tracks
<b>B2</b> High Noise Zone	<i>Noise Impact: High</i> ▶ Within or near 65-CNEL contour ▶ Single-event noise sufficient to disrupt many land use activities including indoors if windows open	<i>Risk Level: Moderate</i> ▶ Beneath or adjacent to final approach and initial departure flight corridors or adjacent to runway ▶ Not within Accident Potential Zones
<b>C1</b> Primary Approach/Departure Zone	<i>Noise Impact: Moderate to High</i> ▶ Within or near 60-CNEL contour ▶ Single-event noise may be disruptive to noise-sensitive land use activities; aircraft <2,000 feet above runway elevation on arrival and generally <3,000 feet above runway elevation on departure	<i>Risk Level: Moderate</i> ▶ Beneath or adjacent to low altitude overflight corridors
<b>C2</b> Flight Corridor Zone	<i>Noise Impact: Moderate</i> ▶ Within 60 CNEL contour, but more than 5 miles from runway end; or ▶ Outside 60-CNEL contour, but regularly overflown in mostly daytime flight training ▶ Single-event noise may be disruptive to noise-sensitive land use activities; aircraft <3,000 feet above runway elevation on arrival	<i>Risk Level: Moderate to Low</i> ▶ Distant (beyond 5 miles) portion of instrument arrival corridor; or ▶ Closed-circuit flight training activity corridors
<b>D</b> Flight Corridor Buffer	<i>Noise Impact: Moderate to Low</i> ▶ Mostly within 55-CNEL contour ▶ More concern with respect to individual loud events than with cumulative noise contours	<i>Risk Level: Low</i> ▶ On periphery of flight corridors ▶ Risk concern primarily with uses for which potential consequences are severe (e.g. very-high-intensity activities in a confined area)
<b>E</b> Other Airport Environs	<i>Noise Impact: Low</i> ▶ Beyond 55-CNEL contour ▶ Occasional overflights intrusive to some outdoor activities	<i>Risk Level: Low</i> ▶ Within outer or occasionally used portions of flight corridors
 <b>High Terrain Zone</b>	<i>Noise Impact: Low</i> ▶ Individual noise events slightly louder because high terrain reduces altitude of overflights	<i>Risk Level: Moderate</i> ▶ Moderate risk because high terrain constitutes airspace obstruction ▶ Concern is tall single objects (e.g., antennas)

Table MA-1

## Compatibility Zone Factors

### March Air Reserve Base / Inland Port Airport



Zone	Locations	Density / Intensity Standards			Req'd Open Land	Additional Criteria	
		Residential (d.u./ac) <sup>1</sup>	Other Uses (people/ac) <sup>2</sup>			Prohibited Uses <sup>3</sup>	Other Development Conditions <sup>4</sup>
		Average <sup>5</sup>	Single Acre <sup>6</sup>				
<b>M</b>	Military						> No ALUC authority
<b>A</b>	Clear Zone <sup>7</sup>	No new dwellings allowed	0	0	All Remaining		> All non-aeronautical structures > Assemblages of people > Objects exceeding FAR Part 77 height limits > All storage of hazardous materials > Hazards to flight <sup>8</sup>
<b>B1</b>	Inner Approach/Departure Zone	No new dwellings allowed <sup>10</sup>	25 (APZ I) 50 (APZ II and outside APZs) <sup>11</sup>	100 100	Max. 50% lot coverage within APZs <sup>12</sup>		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, hotels/motels, restaurants, places of assembly > Bldgs with > 1 aboveground habitable floor in APZ I or > 2 floors in APZ II and outside of APZs <sup>13</sup> > Hazardous materials manufacture/storage <sup>14</sup> > Noise sensitive outdoor nonresidential uses <sup>15</sup> > Critical community infrastructure facilities <sup>16</sup> > Hazards to flight <sup>8</sup> > Uses listed in AICUZ as not compatible in APZ I or APZ II <sup>17</sup>
<b>B2</b>	High Noise Zone	No new dwellings allowed <sup>10</sup>	100	250	No Req't		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, hotels/motels, places of assembly > Bldgs with > 3 aboveground habitable floors > Noise-sensitive outdoor nonresidential uses <sup>15</sup> > Critical community infrastructure facilities <sup>16</sup> > Hazards to flight <sup>8</sup>
<b>C1</b>	Primary Approach/Departure Zone	≤ 3.0	100	250	No Req't		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, places of assembly > Noise-sensitive outdoor nonresidential uses <sup>15</sup> > Hazards to flight <sup>8</sup>
<b>C2</b>	Flight Corridor Zone	≤ 6.0	200	500	No Req't		> Highly noise-sensitive outdoor nonresidential uses <sup>15</sup> > Hazards to flight <sup>8</sup>
<b>D</b>	Flight Corridor Buffer	No Limit	No restriction <sup>21</sup>	No	No Req't		> Hazards to flight <sup>8</sup>
<b>E</b>	Other Airport Environs	No Limit	No Restriction <sup>21</sup>	No	No Req't		> Hazards to flight <sup>8</sup>
<b>*</b>	High Terrain	Same as Underlying Compatibility Zone			Not Applicable		> Hazards to flight <sup>8</sup> > Other uses restricted in accordance with criteria for underlying zone

Table MA-2

## Basic Compatibility Criteria

### March Air Reserve Base / Inland Port Airport

**NOTES:**

Policies referenced here are from the *Riverside County Airport Land Use Compatibility Plan* adopted by the Riverside County ALUC for other airports beginning in October 2004. The countywide policies are hereby incorporated into the *March ARB/IPA ALUCP* except as modified or supplemented by the policies in Section MA.2 of this chapter. A complete copy of the *Riverside County Airport Land Use Compatibility Plan* is available on the Riverside County Airport Land Use Commission website at [www.rcaluc.org](http://www.rcaluc.org).

- <sup>1</sup> Residential development must not contain more than the indicated number of dwelling units (excluding secondary units) per gross acre. Clustering of units is encouraged provided that the density is limited to no more than 4.0 times the allowable average density for the zone in which the development is proposed. Gross acreage includes the property at issue plus a share of adjacent roads and any adjacent, permanently dedicated, open lands. Mixed-use development in which residential uses are proposed to be located in conjunction with nonresidential uses in the same or adjoining buildings on the same site shall be treated as nonresidential development for the purposes of usage intensity calculations; that is, the occupants of the residential component must be included in calculating the overall number of occupants on the site. A residential component shall not be permitted as part of a mixed use development in zones where residential uses are indicated as incompatible. See Countywide Policy 3.1.3(d). All existing residential development, regardless of densities, is not subject to ALUC authority.
- <sup>2</sup> Usage intensity calculations shall include all people (e.g., employees, customers/visitors, etc.) who may be on the property at a single point in time, whether indoors or outside.
- <sup>3</sup> The uses listed here are ones that are explicitly prohibited regardless of whether they meet the intensity criteria. In addition to these explicitly prohibited uses, other uses will normally not be permitted in the respective compatibility zones because they do not meet the usage intensity criteria. See *Riverside County Airport Land Use Compatibility Plan*, Volume 1, Appendix D for a full list of compatibility designations for specific land uses.
- <sup>4</sup> As part of certain real estate transactions involving residential property within any compatibility zone (that is, anywhere within an airport influence area), information regarding airport proximity and the existence of aircraft overflights must be disclosed. This requirement is set by state law. See Countywide Policy 4.4.2 for details. Easement dedication and deed notice requirements indicated for specific compatibility zones apply only to new development and to reuse if discretionary approval is required. Except within Zone A (Clear Zone), aviation easements are to be dedicated to the March Inland Port Airport Authority. See sample language in [www.marchipa.com/docs\\_forms/aviationeasement.pdf](http://www.marchipa.com/docs_forms/aviationeasement.pdf). Any aviation easements required within Zone A shall be dedicated to the United States of America.
- <sup>5</sup> The total number of people permitted on a project site at any time, except rare special events, must not exceed the indicated usage intensity times the gross acreage of the site. Rare special events are ones (such as an air show at the airport) for which a facility is not designed and normally not used and for which extra safety precautions can be taken as appropriate.
- <sup>6</sup> Clustering of nonresidential development is permitted. However, no single acre of a project site shall exceed the indicated number of people per acre. See Countywide Policy 4.2.5 for details.
- <sup>7</sup> Clear zone (equivalent to runway protection zone at civilian airports) limits that delineate Zone A are derived from locations indicated in the March Air Reserve Base AICUZ study. See Note 4 for aviation easement dedication requirements in this zone.
- <sup>8</sup> Hazards to flight include physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations. Land use development that may cause the attraction of birds to increase is also prohibited. Man-made features must be designed to avoid heightened attraction of birds. In Zones A, B1, and B2, flood control facilities should be designed to hold water for no more than 48 hours following a storm and be completely dry between storms (see FAA Advisory Circular 150/5200-33B). Additionally, certain farm crops and farming practices that tend to attract birds are strongly discouraged. These include: certain crops (e.g., rice, barley, oats, wheat – particularly durum – corn, sunflower, clover, berries, cherries, grapes, and apples); farming activities (e.g., tilling and harvesting); confined livestock operations (i.e., feedlots, dairy operations, hog or chicken production facilities, or egg-laying operations); and various farming practices (e.g., livestock feed, water, and manure). Fish production (i.e., catfish, trout) conducted outside of fully enclosed buildings may require mitigation measures (e.g., netting of outdoor ponds, providing covered structures) to prevent bird attraction. Also see Countywide Policy 4.3.7.
- <sup>9</sup> March ARB must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include microwave transmission in conjunction with a cellular tower, radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers and other similar EMR emissions.
- <sup>10</sup> Other than in Zone A, construction of a single-family home, including a second unit as defined by state law, on a legal lot of record is exempted from this restriction where such use is permitted by local land use regulations. Interior noise level standards and aviation easement requirements for the compatibility zone in which the dwelling is to be located are to be applied.
- <sup>11</sup> Non-residential uses are limited to 25 people per gross acre in Accident Potential Zone (APZ) I and 50 people per acre in APZ II and elsewhere in Zone B1. Single-acre intensity limits are 100 people/acre throughout Zone B1.
- <sup>12</sup> In APZ I, any proposed development having more than 20% lot coverage must not provide on-site services to the public. Zoned fire sprinklers are required. Also, in APZ I, site design of proposed development should to the extent possible avoid placement of buildings within 100 feet of the ex-

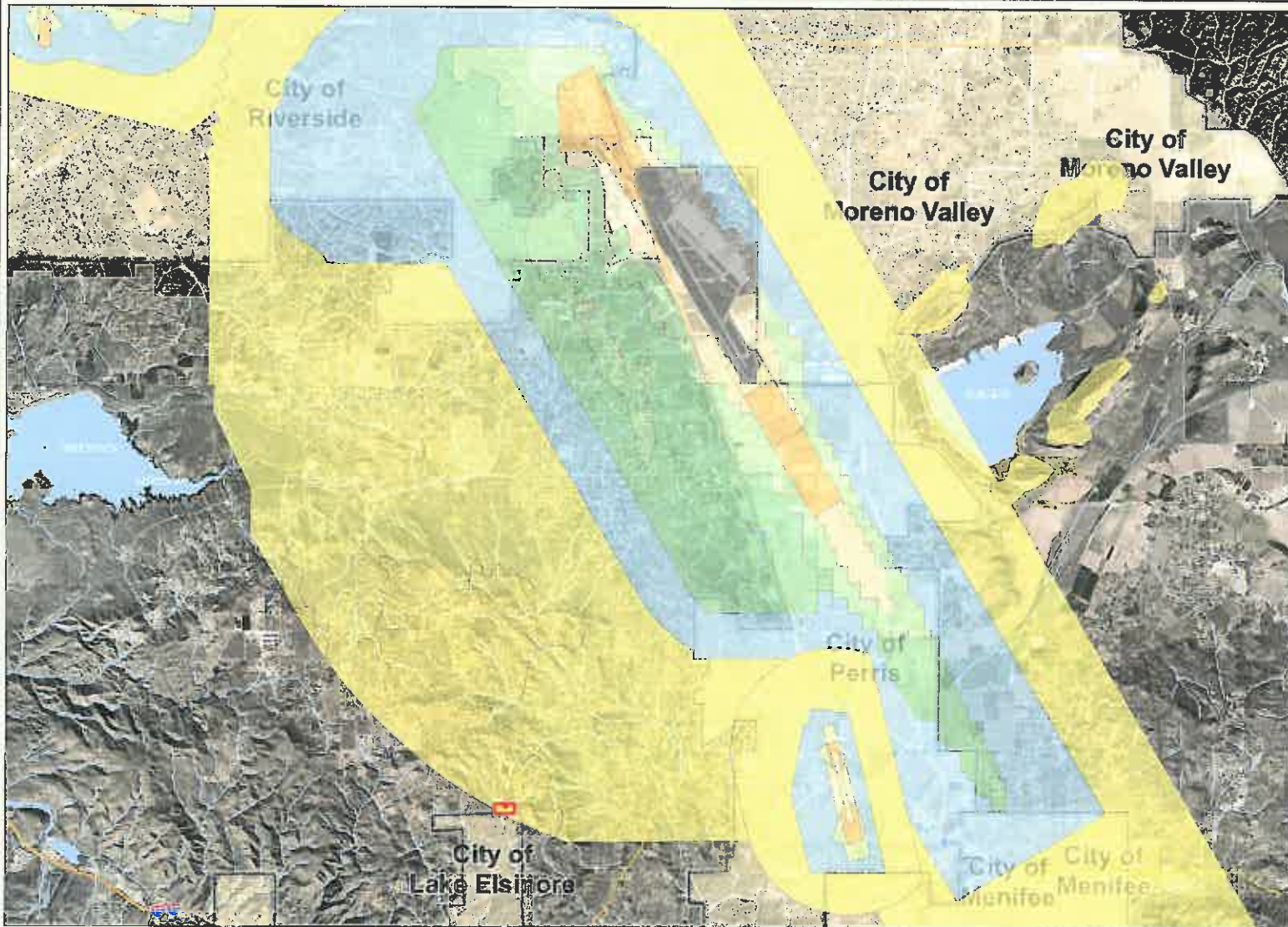
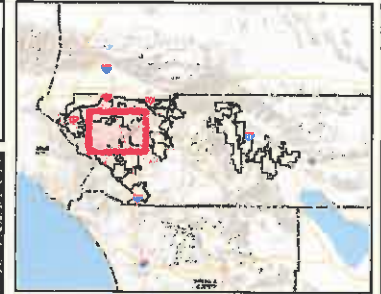
**Table MA-2, continued**

tended runway centerline; this center strip should be devoted to parking, landscaping, and outdoor storage. Maximum lot coverage is not limited outside the APZs.

- <sup>13</sup> Within APZ II and outside APZs, two-story buildings are allowed.
- <sup>14</sup> Storage of aviation fuel and other aviation-related flammable materials on the airport is exempted from this criterion. In APZ I, manufacture or bulk storage of hazardous materials (toxic, explosive, corrosive) is prohibited unless storage is underground; small quantities of materials may be stored for use on site. In APZ II and elsewhere within Zone B1, aboveground storage of more than 6,000 gallons of nonaviation flammable materials per tank is prohibited. In Zones B2 and C1, aboveground storage of more than 6,000 gallons of hazardous or flammable materials per tank is discouraged.
- <sup>15</sup> Examples of noise-sensitive outdoor nonresidential uses that should be prohibited include major spectator-oriented sports stadiums, amphitheaters, concert halls and drive-in theaters. Caution should be exercised with respect to uses such as poultry farms and nature preserves.
- <sup>16</sup> Critical community facilities include power plants, electrical substations, and public communications facilities. See Countywide Policy 4.2.3(d).
- <sup>17</sup> For properties in either APZ I or II, any use listed as "N – not compatible" for that particular APZ in Table 3-1 of the 2005 *Air Installation Compatible Use Zone Study for March Air Reserve Base*. Beyond the boundaries of the APZs in Zone B1, such uses are discouraged, but not necessarily prohibited unless otherwise specified herein.
- <sup>18</sup> All new residences, schools, libraries, museums, hotels and motels, hospitals and nursing homes, places of worship, and other noise-sensitive uses must have sound attenuation features incorporated into the structures sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 40 dB. This requirement is intended to reduce the disruptiveness of loud individual aircraft noise events upon uses in this zone and represents a higher standard than the CNEL 45 dB standard set by state and local regulations and countywide ALUC policy. Office space must have sound attenuation features sufficient to reduce the exterior aviation-related noise level to no more than CNEL 45 dB. To ensure compliance with these criteria, an acoustical study shall be required to be completed for any development proposed to be situated where the aviation-related noise exposure is more than 20 dB above the interior standard (e.g., within the CNEL 60 dB contour where the interior standard is CNEL 40 dB). Standard building construction is presumed to provide adequate sound attenuation where the difference between the exterior noise exposure and the interior standard is 20 dB or less.
- <sup>19</sup> This height criterion is for general guidance. Airspace review requirements are determined on a site-specific basis in accordance with Part 77 of the Federal Aviation Regulations. Shorter objects normally will not be airspace obstructions unless situated at a ground elevation well above that of the airport. Taller objects may be acceptable if determined not to be obstructions. The Federal Aviation Administration or California Department of Transportation Division of Aeronautics may require marking and/or lighting of certain objects. See Countywide Policies 4.3.4 and 4.3.6 for additional information.
- <sup>20</sup> Discouraged uses should generally not be permitted unless no feasible alternative is available.
- <sup>21</sup> Although no explicit upper limit on usage intensity is defined for *Zone D and E*, land uses of the types listed—uses that attract very high concentrations of people in confined areas—are discouraged in locations below or near the principal arrival and departure flight tracks.

Table MA-2, continued

# My Map



**Legend**

**Airport Compatibility**

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1
- C2-HIGHT-EXC5



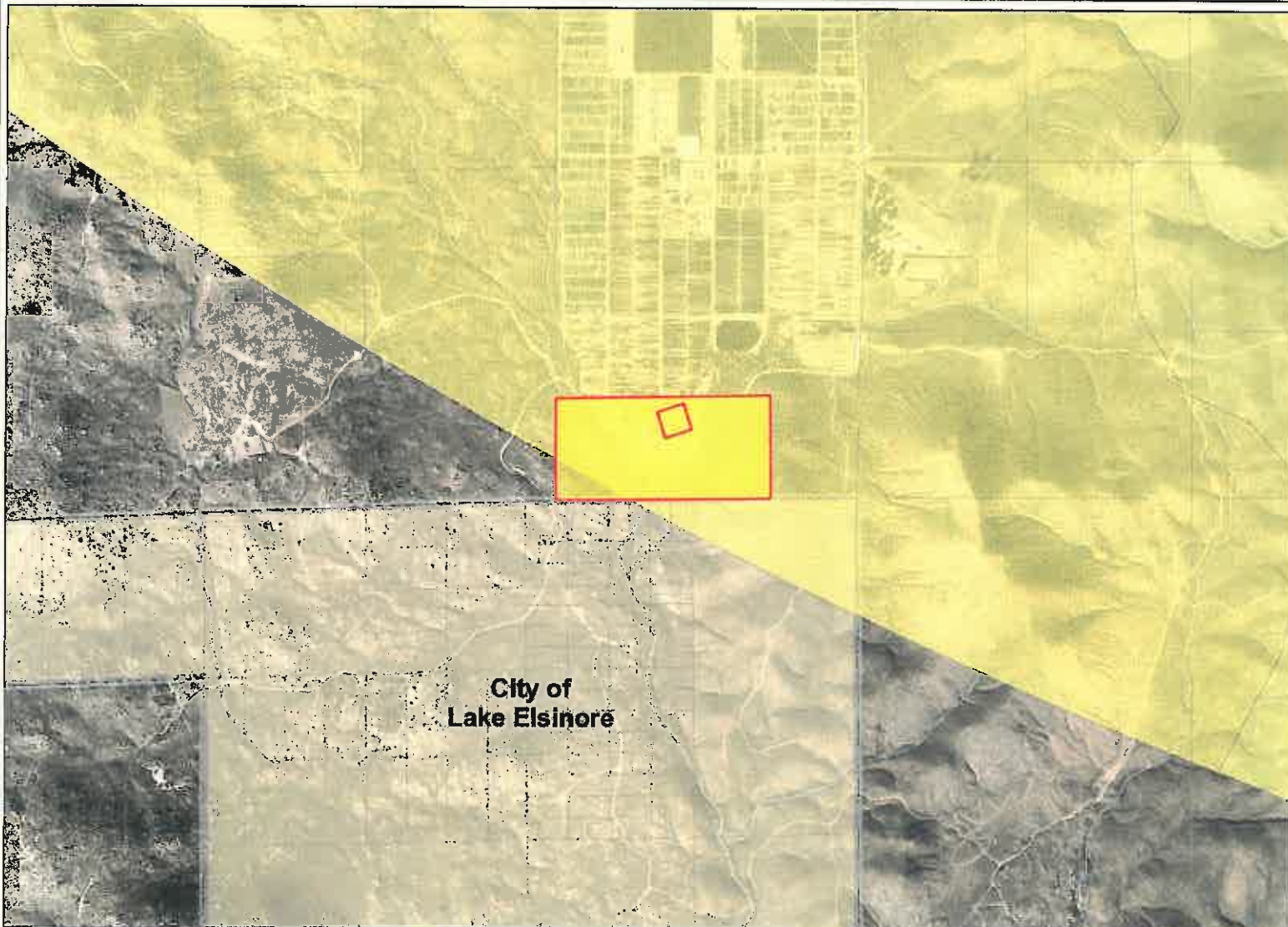
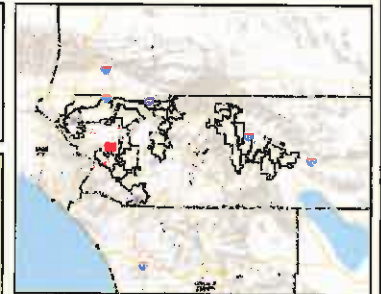
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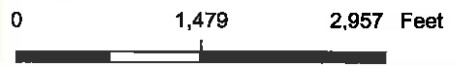
**Notes**

# My Map



### Legend

- Display Parcels
- Airport Compatibility**
  - OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6
  - C2-HIGHT
  - C2-HIGHT-EXC1



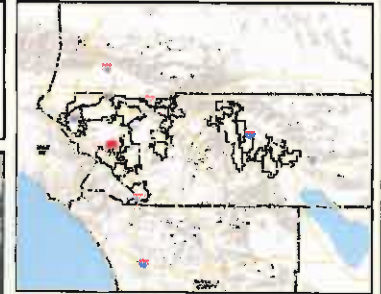
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### Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,479 2,957 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

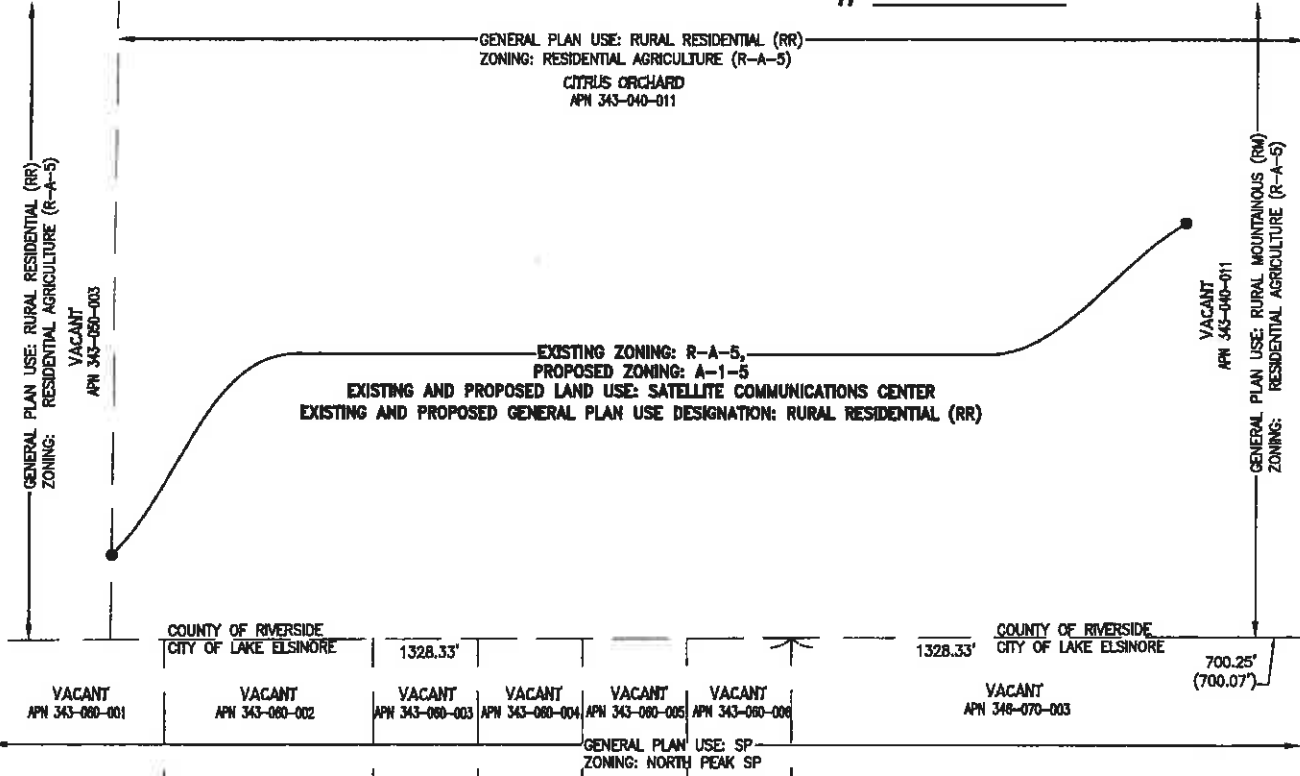
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## Notes



# CHANGE OF ZONE # 07868



**LANDOWNER:**

COMPANY: VVX, LLC  
CONTACT: ROBERT DIORIO  
ADDRESS: 1 TECHNOLOGY CENTER, NO. TC11X, TULSA, OK 74103  
PHONE: (951) 943-0820

**EXHIBIT PREPARER/ENGINEER:**

COMPANY: ALBERT A. WEBB  
CONTACT: ROBERT BERNDT  
ADDRESS: 3788 MCCRAY ST RIVERSIDE, CA 92506  
PHONE: (951) 888-1070

**APPLICANT:**

COMPANY: LEVEL 3 COMMUNICATIONS  
CONTACT: ROBERT DIORIO  
ADDRESS: 20021 SANTA ROSA MINE ROAD PERRIS, CA 92570  
PHONE: (951) 943-0820

**LEGAL DESCRIPTION:**

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 5, TOWNSHIP 5 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

**A.P.N.:**

343-040-012, 343-040-013

**ACREAGE:**

31.3 AC ± TOTAL GROSS AND NET ACREAGE  
26.6 AC ± NO USE PROPOSED AREA  
4.7 AC ± P.U.P. DEVELOPMENT AREA

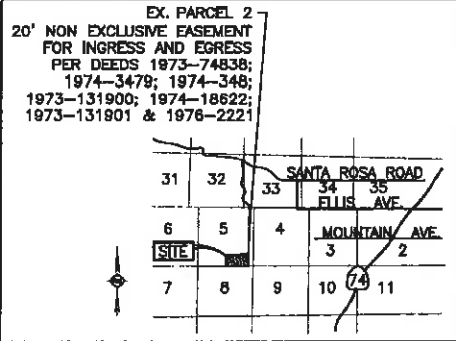
**LAND USE / ZONING:**

EXISTING AND PROPOSED LAND USE: SATELLITE COMMUNICATIONS CENTER  
EXISTING ZONING: R-A-5  
PROPOSED ZONING: A-1-5  
EXISTING AND PROPOSED GENERAL PLAN USE DESIGNATION: RURAL RESIDENTIAL (RR)

**NOTES:**

1. THOMAS GUIDE RIVERSIDE COUNTY (2012 ED.) PAGE 806, PORTION OF GRID F7AND G7.
2. THE PROJECT SITE IS LOCATED WITHIN ZONE A, NO BASE FLOOD ELEVATIONS DETERMINED PER FIRM MAP PANEL 29033C0200C EFFECTIVE OCTOBER 2, 2012.
3. NO PROPOSED GRADING, BUILDINGS OR STRUCTURES.

**VICINITY MAP**



**UTILITY PROVIDERS & CONTACTS**

**ELECTRIC:**  
SOUTHERN CALIFORNIA EDISON  
P.O. BOX 8400  
RANCHO CUCAMONGA, CA. 91729  
(800) 655-4555

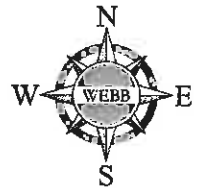
**GAS:**  
SOUTHERN CALIFORNIA GAS COMPANY  
P.O. BOX 3150  
SAN DIMAS, CA. 91773  
(800) 427-2200

**TELEPHONE:**  
VERIZON  
12770 2ND STREET  
P.O. BOX 30001  
INGLEWOOD, CA. 90313  
(800) 352-5151

**SCHOOL DISTRICT:**  
PERRIS UNION HIGH SCHOOL DISTRICT  
155 E 4TH STREET  
PERRIS, CA 92570  
(951) 943-8369

**SCHOOL DISTRICT:**  
PERRIS ELEMENTARY SCHOOL DISTRICT  
143 E 4TH STREET  
PERRIS, CA 92570  
(951) 657-3118

**WATER:**  
WESTERN MUNICIPAL WATER DISTRICT  
14205 MERIDIAN PARKWAY  
RIVERSIDE, CA 92518  
(951) 571-7100



ALBERT A. **WEBB** ASSOCIATES  
ENGINEERING CONSULTANTS  
3788 MCCRAY STREET  
RIVERSIDE CA. 92506  
PH. (951) 888-1070  
FAX (951) 788-1258

W.O. 15-0014

SHEET

1

OF 1 SHEETS



## Memorandum

To: Whom it may Concern  
From: Nicole Torstvet  
Date: June 17, 2015  
Re: CUP03726, CZ07868, EA42778 ALUC Submittal

---

Attached are antenna specification sheets for some of our antennas as follows:

16-4m is of our biggest antennas in the northwest corner (2 plus one pending spot). (Com-29, Com-30)

RSI-9.2m is our 9.2M antennas (4) on northeast side (Com-7, Com-10, Com-12, Com-15), and central south (Com-27) plus (2) future between main building and east shelter.

Andrew is our 9.3M south of east shelter (Com-14)

655-0024A8.1 is our 8.1m antenna south east corner (Com-23)

SSE-8345-Antenna is our permit pending (6)

Andrew\_4.5 is our 4.5M Tx antennas south of main building (Com-31 and Com-34)

Patriot4.5 is our smaller antennas just south of main building (Com-33, Com-44, Com-55, and Com-66)

Vertex6.1 is our smaller south east antenna (Com-22)

11M is close to our 11M (Com-3)

13M is close to our 13M (Com-4)

The two 15.5m antennas were built in 1974 by E-Systems, there are no technical sheets.

Please let me know if you have any additional questions or require additional information.

Thank you,

Nicole

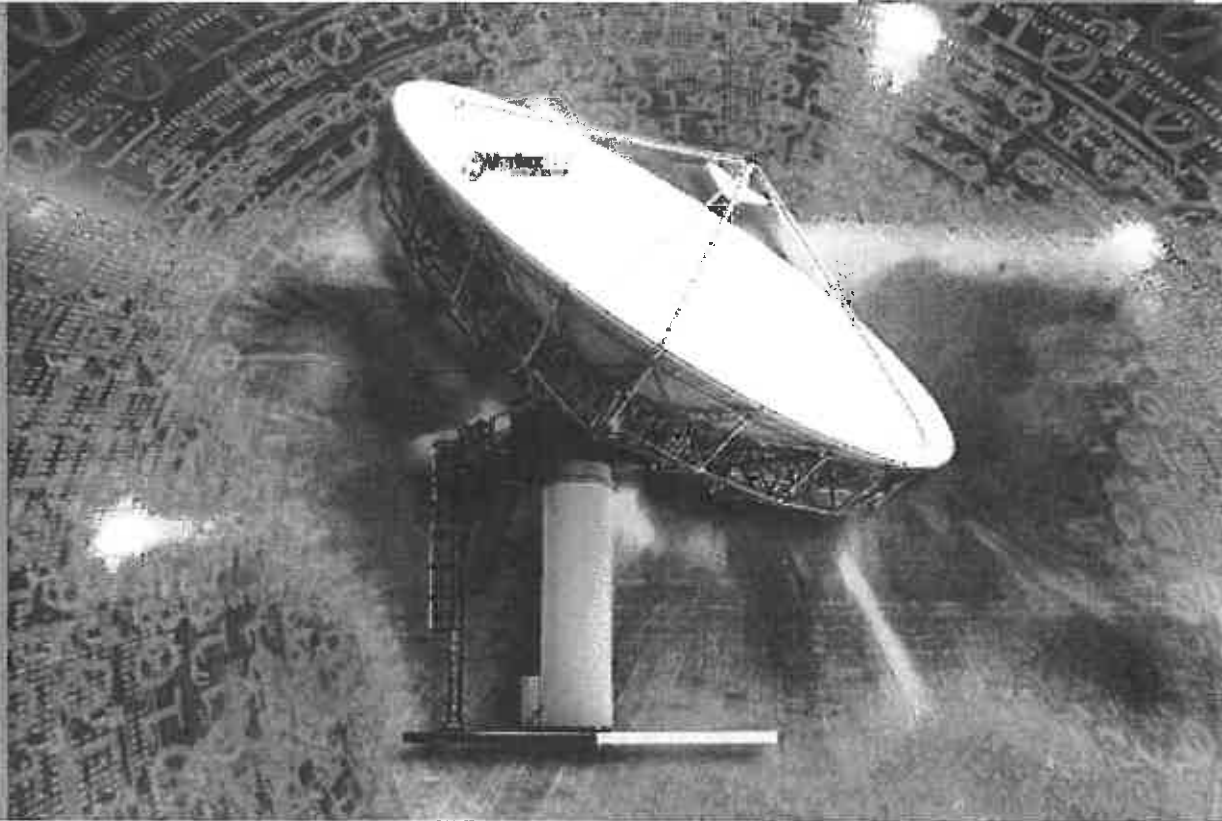


MODEL

16.4-METER

THC

C-BAND



The VertexRSI Model 16.4THC "Turning Head" antenna is the most recent state-of-the-art antenna design in the industry. This design configuration provides a high-quality product at an economical price. This system is designed primarily for INTELSAT applications (IESS-207), and provides a variety of features which meets the needs of various operational requirements. Options include CP/LP switchable feeds and availability of a high wind configuration.

Tasked with the goal of providing a cost-effective antenna subsystem

installation, the design was approached, in part, to minimize field installation time by increasing the level of factory-controlled subassembly. This was achieved by precision fabrication tooling and higher level of factory subassemblies. An additional feature that benefits the civil effort and provides superior operational flexibility is its azimuth coverage of up to 360 degrees in six 85-degree overlapping segments. The enhanced stiffness of the reflector/pedestal system results in excellent performance for the most critical pointing/tracking requirements.

## Key Features

- Up to 360 Degree Coverage
- INTELSAT Standard "A" Applications
- Precision Fabrication
- Robust Pedestal and Reflector
- Optional High Wind Configuration
- CP / LP Switchable Feed Options

**MODEL**
**16.4-METER**
**THC**
**C-BAND**
**Mechanical**

Azimuth Travel	Up to 360° (Six overlapping 85° sections)*
Azimuth Travel Rate	0.03°/second
Elevation Travel	0°-90° continuous
Elevation Velocity	0.03°/second
Weight - Reflector	40,000 pounds (18,180 kg)
Weight - Pedestal	37,500 pounds (17,050 kg)
Shipping Weight (Approximate)	85,000 pounds (36,600 kg)
Shipping Volume	7,000 cubic feet (200 cu. m.)
Reflector Structure	Steel
Pedestal Structure	Steel
Finishes	
Reflector Surface	Aluminum panels with heat-diffusing white paint
Backup Structure	Hot-dip galvanized
Pedestal	
Turning Head	Hot-dip galvanized
Pedestal Tube	Painted white (galvanized options)
Surface Accuracy	0.025 inch rms (0.6 mm) static
Foundation Size	31.5 ft x 31.5 ft x 3.5ft (9.6m x 9.6m x 1.0m)
Concrete Volume	128.6 cubic yards (98.3 cu.m)
Reinforcing Steel	14,575 pounds (6,620 kg)
Soil Bearing Pressure	3,000 lb./ft² (14,650 kg/m²)

**Environmental**

Operational Winds	45 mph (72 km/h) gust to 60 mph (97 km/h)
Survival Winds (any position)	125 mph (200 km/h) @ 58°F (15°C)
Ambient Temperature	Operational: +5° to +122°F (-15° to +50°C) Survival: -22° to 140°F (-30° to 60°C) Low temperature kits available
Relative Humidity	0% to 100% with condensation
Rain	up to 4 in./hr (10 cm/h)
Solar Radiation	360 BTU/h/ft² (1000 Kcal/h/m²)
Radial Ice (Operational)	1/4 inch (0.6 cm) on all surfaces except reflector and anti-icing heaters energized
Radial Ice (Survival)	1 inch (2.5 cm) on all surfaces or 1/2 inch ice (1.3 cm) with 80 mph (130 km/h) wind gusts
Shock and Vibration	As encountered during shipment by commercial air, sea or land
Corrosive Atmosphere	As encountered in coastal regions and /or heavily industrialized areas
Seismic (Survival)	0.3 G's horizontal 0.1 G's vertical

\* Travel may be limited by accessories

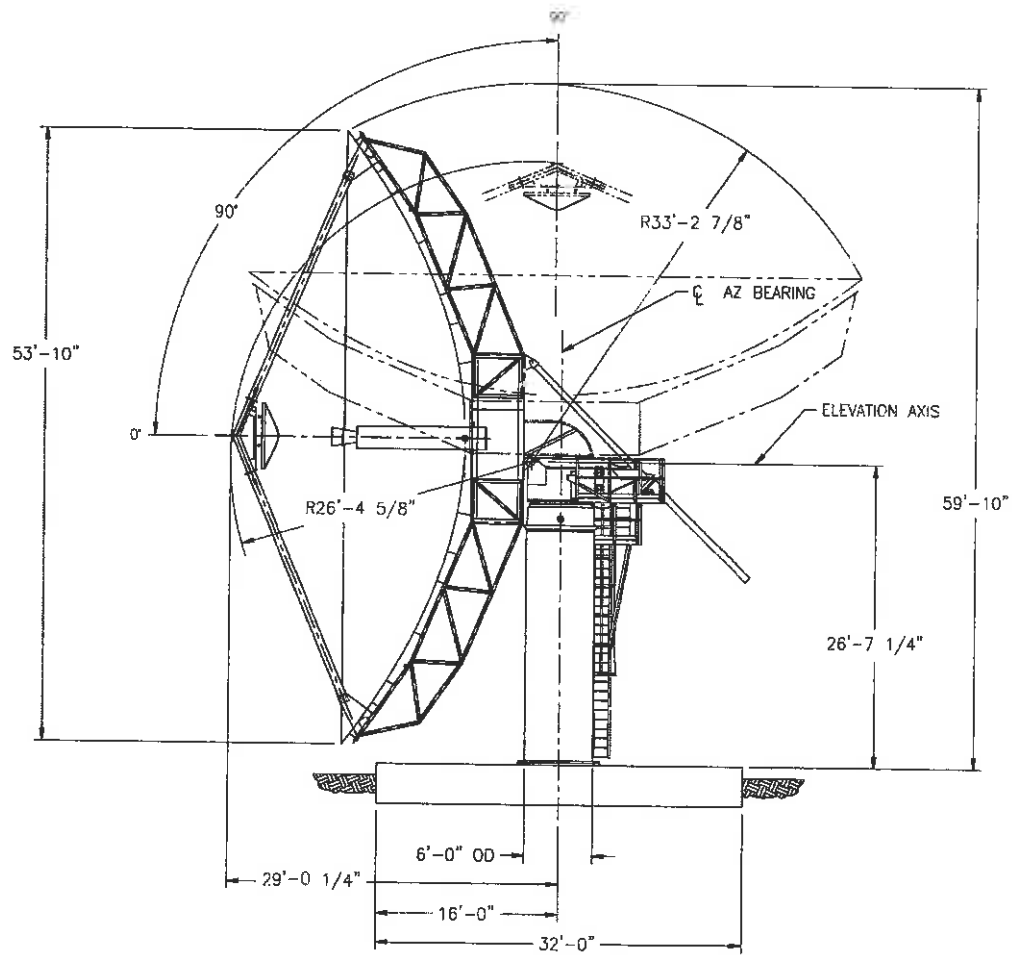
Electrical	C-Band 4-Port Circular Pol Feed		C-Band 4-Port Linear Pol Feed	
	Receive	Transmit	Receive	Transmit
Frequency (GHz)	3.625 - 4.200	5.850 - 6.425	3.400 - 4.200	5.850 - 6.750
Antenna Gain at midband	55.1	58.9	54.8	59.0
Antenna Noise Temperature				
5° Elevation	58° K		59° K	
10° Elevation	49° K		51° K	
20° Elevation	43° K		45° K	
40° Elevation	41° K		43° K	
Typical G/T at 4,000 GHz				
20° Elevation, Clear Horizon				
35°K LNA	38.0 dB/K		35.9 dB/K	
50°K LNA	35.2 dB/K		35.2 dB/K	
Pattern Beamwidth at midband				
-3 dB	0.30	0.19	0.32	0.19
-15 dB	0.63	0.40	0.68	0.40
Sidelobe Performance				
First Sidelobe across the Band	-15 ±2 dB		-15 ±2 dB	
Meets FCC 25.209 or ITU-RS-580 Specifications				
Cross POL Isolation				
on Axis	30.7 dB	30.7 dB	35.0 dB	35.0 dB
within 1 dB Beamwidth	30.7 dB	30.7 dB	30.0 dB	30.0 dB
VSWR	1.25:1	1.25:1	1.30:1	1.30:1
Feed Insertion or Ohmic Loss	0.35 dB	0.30 dB	0.40 dB	0.40 dB
Port to Port Isolation				
Rx/Tx (Rx Freq)	0 dB	-30 dB	0 dB	-30 dB
Tx/Rx (Tx Freq)	-30 dB	0 dB	-30 dB	0 dB
Rx/Rx, Tx/Tx (Same Band)	21 dB	23 dB	30 dB	30 dB
Axial Ratio	0.50 dB	0.50 dB		
Waveguide Interface Flange	CPR-229G	CPR-159G	CPR-229G	CPR-159G
Total Power Handling Capability		10 KWCW		10KWCW
RF Specification	975-1237		975-1792	

MODEL

16.4-METER

THC

C-BAND



SIDE ELEVATION



2600 N. Longview Street • Kilgore, TX 75662 USA  
Tel: (903) 984-0555 • Fax: (903) 984-1826  
[www.tripointglobal.com](http://www.tripointglobal.com)

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All product specifications subject to change without notice.  
The VertexRSI logo is a trademark of TriPoint Global.

A (DS) 328

# Model 9.3m Compact Cassegrain Antenna

*VertexRSI Antenna Products - Satcom*

The VertexRSI 9.3-meter antenna delivers exceptional performance for transmit/receive and receive only applications in C and Ku-band frequencies. This antenna offers a deep dish reflector design that incorporates precision-formed panels, a welded truss back-up structure and a machined hub assembly. It features an innovative Compact Cassegrain feed and subreflector design which results in high gain, low noise temperature, high antenna efficiency and excellent rejection of noise and microwave interference. A large center hub provides spacious accommodation for equipment mounting. The reflector is supported by a galvanized elevation over azimuth kingpost pedestal that provides the required stiffness for pointing and tracking accuracy. The pedestals are designed for full orbital arc coverage and are readily adaptable to ground or rooftop installations. The electrical performance is compliant with ITU-RS-580 sidelobe specifications.



## **Features**

- True bolt-together aluminum reflector configuration
- Mechanically aligned reflector – no optical alignment
- Fully interchangeable reflector components
- Compliant with ITU-RS-580 sidelobe specifications
- Designed for 3.4 to 15 GHz operation
- Standard two and four port Tx/Rx and Rx only feeds
- Feed systems are factory assembled and tested
- Jack screws in azimuth and elevation
- Galvanized steel elevation over azimuth pedestal
- Survives 125 mph winds in any position
- Lightning arrest rods included
- Foundation hardware kit included

## **Options**

- C and Ku-band feed configurations
- Specialized feed systems (e.g., extended, multi-band)
- Antenna control system with tracking
- Reflector and feed deicing systems
- Environmental hub configurations
- Integrated transmit cross-axis kits
- Integrated LNA or LNB systems
- HPAs, converters and M&C systems
- Packing for sea and air transport
- Turnkey installation and testing

## **Upgrades**

- Extended azimuth travel
- Low operating temperatures
- High power configurations

## Technical Specifications

Electrical <sup>(1)</sup>	E-Band 4-Port Circular Polarized <sup>(2)</sup>		C-Band 4-Port Linear Polarized		Ext. C-Band 4-Port Linear Polarized		Ku-Band 4-Port Linear Polarized <sup>(3)</sup>	
	Receive	Transmit	Receive	Transmit	Receive	Transmit	Receive	Transmit
Frequency (GHz)	3.625 - 4.200	5.850 - 6.425	3.625 - 4.200	5.850 - 6.425	3.400 - 4.200	5.850 - 6.725	10.950 - 12.750	13.750 - 14.500
Antenna Gain, Midband dB <sup>(4)</sup>	50.20	54.00	50.20	53.90	50.20	53.80	59.20	60.60
VSWR	1.25:1	1.25:1	1.25:1	1.25:1	1.30:1	1.30:1	1.30:1	1.30:1
Pattern Beamwidth <sup>(3)</sup>								
-3 dB, at midband	0.53°	0.34°	0.53°	0.35°	0.52°	0.34°	0.17°	0.15°
-15 dB, at midband	1.11°	0.71°	1.11°	0.73°	1.09°	0.71°	0.36°	0.32°
Antenna Noise Temperature								
5° Elevation	48 K		47 K		55 K		88 K	
10° Elevation	39 K		38 K		47 K		77 K	
20° Elevation	33 K		32 K		42 K		69 K	
40° Elevation	30 K		30 K		38 K		63 K	
Typical G/T (dB/K) <sup>(4)</sup>								
4.000 GHz, 30 K LNA	32.2		32.3		31.6			
11.850 GHz, 70 K LNA							37.7	
Axial Ratio	0.50 dB	0.50 dB						
Power Handling (total)		10 kW CW		10 kW CW		10 kW CW		2 kW CW
Cross Polarization Isolation								
On Axis	30.8 dB	30.8 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB
Within 1.0 dB beamwidth	30.8 dB	30.8 dB	30.0 dB	30.0 dB	30.0 dB	30.0 dB	35.0 dB	35.0 dB
Port to Port Isolation								
Rx/Tx (Rx frequency)	0 dB	-30 dB	0 dB	-30 dB	0 dB	-70 dB	0 dB	-50 dB
Tx/Rx (Tx frequency)	-85 dB	0 dB	-85 dB	0 dB	-85 dB	0 dB	-85 dB	0 dB
Sidelobe Performance	Meets ITU-RS-580							
RF Specification	975-1420		975-2024		975-2625		975-2322	

- (1) All values are at rear feed flange. (2) C-band Rx values are at 4 GHz. (3) Typical G/T at 20° elevation with clear horizon using single bolt-on LNA to feed. (4) Also available in extended frequency bands.

Mechanical/ Environmental <sup>(1)</sup>	Motorizable Kingpost Pedestal (KX120)	Motorizable Kingpost Pedestal (KX200)
Antenna Diameter	9.3 meters (30.50 feet)	
Antenna Type	Compact Cassegrain design	
Reflector Construction	16 two-tier, precision-formed aluminum panels with heat-diffusing white paint Clean and brightened aluminum back-up structure	
Hub Dimensions	70 in (1.78 cm) OD, 38 in (97 cm) depth	
Mount Configuration	Elevation over azimuth pedestal, constructed of galvanized A36 steel	
Drive Type	Manual jack screws	
Azimuth Travel	120° continuous	200° (2 segments @ 120°)
Elevation Travel	5 to 90° continuous	0 to 90° continuous
Foundation (L x W x D)	22.0 x 22.0 x 1.5 ft (6.7 x 6.7 x 0.46 m)	22.0 x 22.0 x 1.75 ft (6.7 x 6.7 x 0.53 m)
Concrete	27.0 yds <sup>3</sup> (20.6 m <sup>3</sup> )	32.0 yds <sup>3</sup> (24.5 m <sup>3</sup> )
Reinforcing Steel	3,360 lbs. (1,524 kg)	3,625 lbs. (1,644 kg)
Shipping Containers	Two 40 ft standard	
Operational Wind Loading	45 mph (72 km/h) gusting to 60 mph (97 km/h)	
Survival Wind Loading	125 mph (200 km/h) @ 58° F (15° C), any position	
Operational Temperature	+5° to +122° F (-15° to +50° C)	
Survival Temperature	-22° to +140° F (-30° to +60° C), low temperature options available	
Rain	Up to 4 in/h (10 cm/h)	
Relative Humidity	0 to 100% with condensation	
Solar Radiation	360 BTU/h/ft <sup>2</sup> (1,000 Kcal/h/m <sup>2</sup> )	
Ice (survival)	1 in (2.5 cm) on all surfaces or 1/2 in (1.3 cm) on all surfaces with 30 mph (130 km/h) wind gusts	
Atmospheric Conditions	As encountered in coastal regions and/or heavily industrialized areas	
Shock and Vibration	As encountered during shipment by airplane, ship or truck	

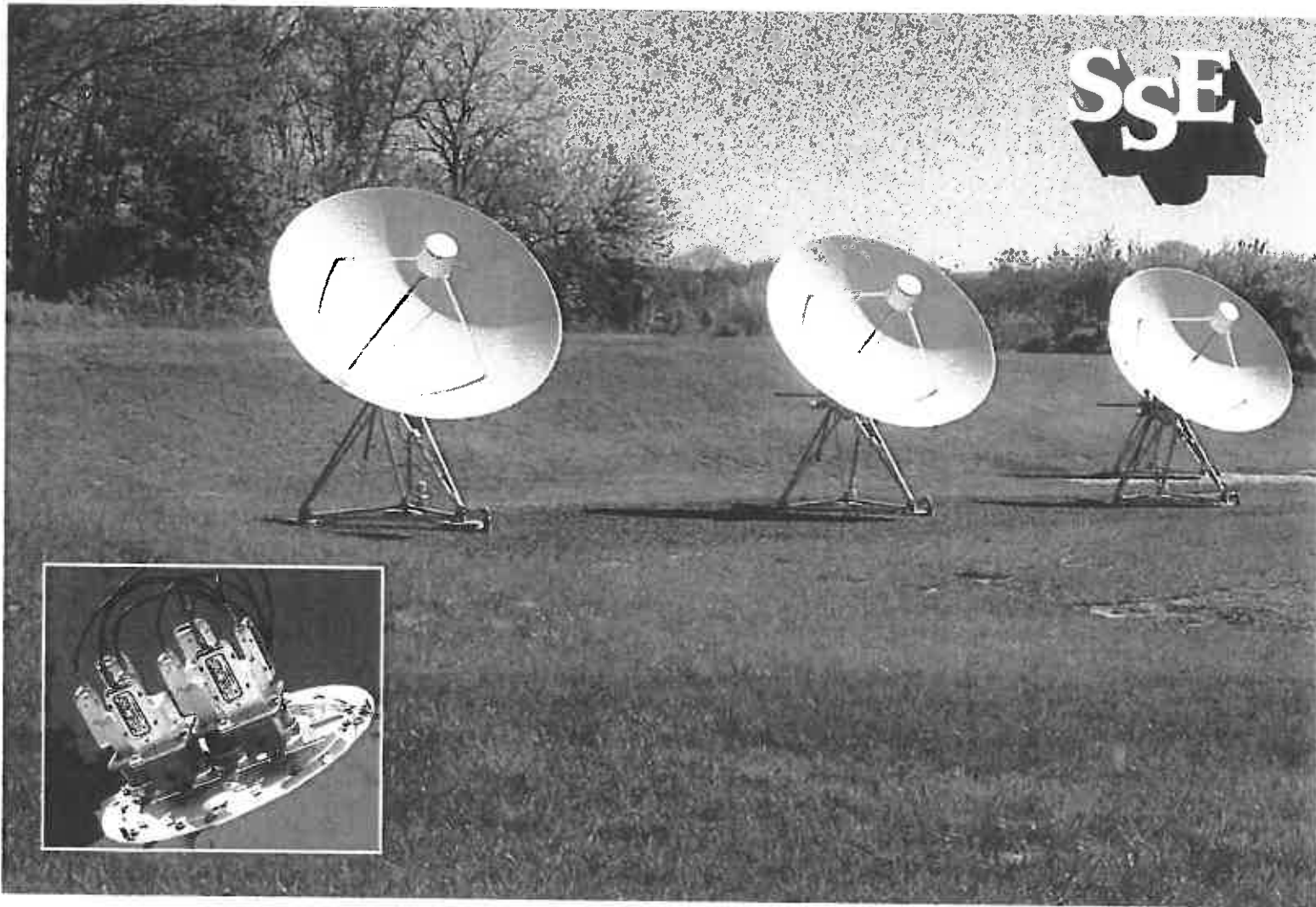
- (5) Some specifications may vary based on the combination of equipment, options and/or upgrades ordered.

## GENERAL DYNAMICS

# **SUPERIOR SATELLITE**

"Satellite Antenna Systems Engineering Excellence"

## **SSE SERIES 8345 4.5 METER SATELLITE ANTENNA**



- **Two-man installation**
- **Tripod and Pier Mounts**
- **Elevated Mounts**
- **Steerable Options**  
**NAVIGATOR 45-III**
- **Multiple-Satellite Feed Systems (Inset)**

**1743 MIDDLE ROAD • COLUMBIA FALLS, MT 59912**  
**(406) 257-9590 • FAX (406) 257-9599**  
**WWW.SUPERIORSATELLITEUSA.COM**



# SUPERIOR SATELLITE

"Satellite Antenna Systems Engineering Excellence"

*ANTENNA SPECIFICATIONS	C-BAND	KU-BAND
Operating Frequencies .....	3.7 - 4.2 GHz 5.925 - 6.425 GHz	10.95 - 12.75 GHz 14.0 - 14.5 GHz
Gain at Midband (Reference to OMT Port) .....	43.6 dBi minimum @ 4.0 GHz 46.7 dBi minimum @ 6.175 GHz	53.1 dBi minimum @ 12.0 GHz 54.3 dBi minimum @ 14.25 GHz
VSWR .....	1.3:1 maximum	1.3:1 maximum
Polarization .....	Dual Linear	Dual Linear
Polarization Adjustment .....	360° continuous	360° continuous
Cross-Polarized Suppression .....	35 dB minimum on axis	35 dB minimum on axis
Isolation (Port-to-Port) .....	35 dB minimum	35 dB minimum
3 dB Bandwidth (Nominal) .....	1.1° @ 4.0 GHz 0.76° @ 6.175 GHz	0.4° @ 12.0 GHz 0.34° @ 14.25 GHz
First Sidelobe Level .....	-22 dB	-20 dB
Antenna Noise Temperature (Referred to OMT port) .....	@ 4.0 GHz Elevation      Temp 40°              22K	Typical @ 12.0 GHz Elevation      Temp 40°              26K

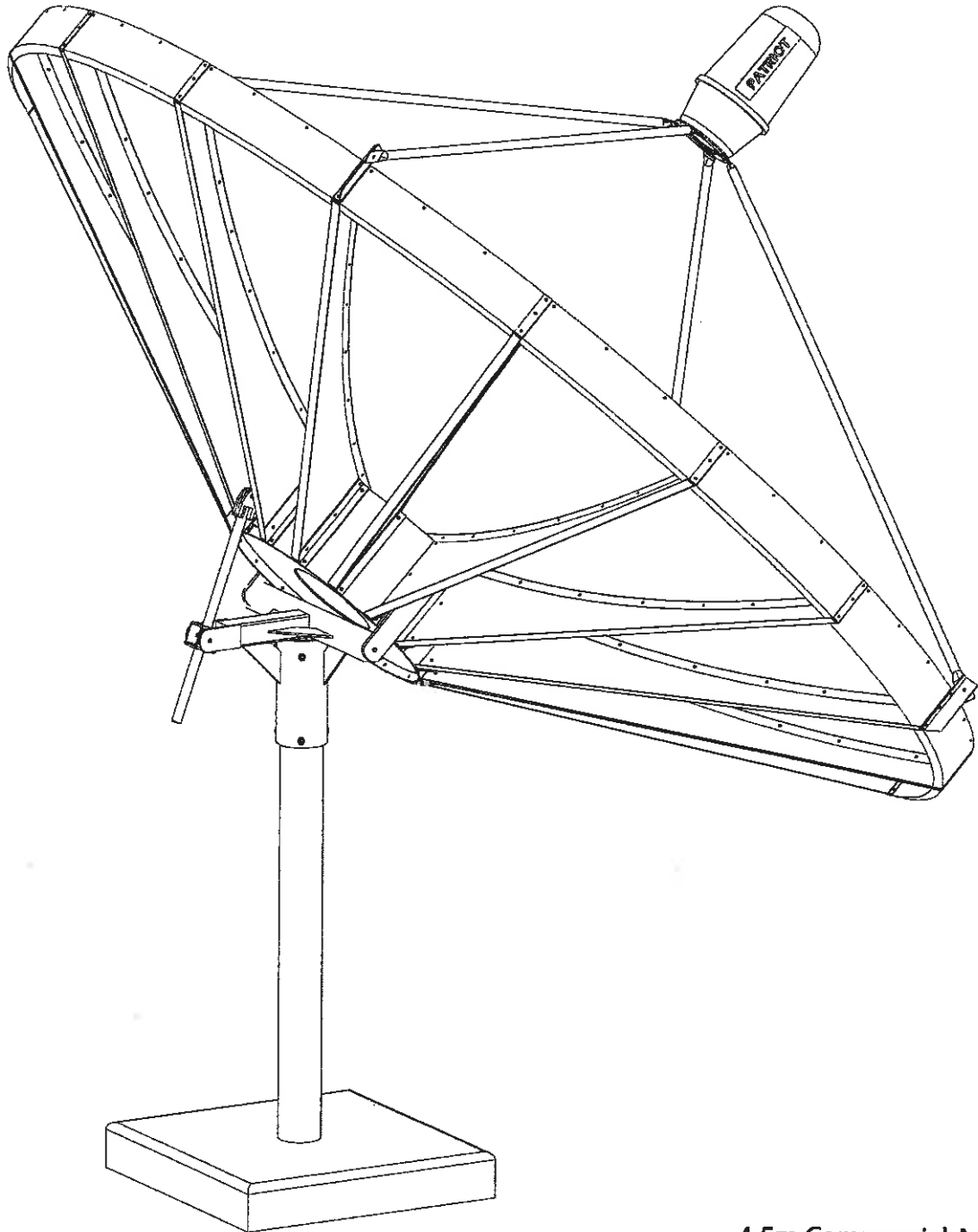
## MECHANICAL

**Antenna Diameter: 4.5 Meters (14.8 ft)**  
**Reflector Construction: 12 panels, precision stretch stamped steel**  
**Mount Type: Elevation-over-azimuth**  
**Antenna Travel:**  
     **Elevation: 0° to 90° continuous**  
     **Azimuth:**  
         **Manual: 360°**  
         **Motorized 120° continuous**

**Polarization Adjustment;**  
**Manual: 360° continuous**  
**Motorized: 300° continuous**

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4.5m Commercial Antenna  
Az-EI Fixed Mount

# PATRIOT

## LIMITED TWELVE (12) MONTH WARRANTY

This PATRIOT ANTENNA equipment is warranted to be free from defects in material and workmanship under normal use and service. PATRIOT ANTENNA shall repair or replace defective equipment, at no charge, or at its option, refund the purchase price, if the equipment is returned to PATRIOT ANTENNA not more than twelve (12) months after shipment. Removal or reinstallation of equipment and its transportation shall not be at cost of PATRIOT ANTENNA except PATRIOT ANTENNA shall return repaired or replaced equipment freight prepaid.

This Warranty shall not apply to equipment which has been repaired or altered in any way so as to affect its stability or durability, or which has been subject to misuse, negligence or accident. This Warranty does not cover equipment which has been impaired by severe weather conditions such as excessive wind, ice, storms, lightning, or other natural occurrences over which PATRIOT ANTENNA has no control, and this Warranty shall not apply to equipment which has been operated or installed other than in accordance with the instructions furnished by PATRIOT ANTENNA.

Claimants under this Warranty shall present their claims along with the defective equipment to PATRIOT ANTENNA immediately upon failure. Noncompliance with any part of this claim procedure may invalidate this warranty in whole or in part.

THIS WARRANTY IS EXPRESSLY IN LIEU OF ALL OTHER AGREEMENTS AND WARRANTIES, ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE IS LIMITED IN DURATION TO THE DURATION OF THIS WARRANTY. PATRIOT ANTENNA DOES NOT AUTHORIZE ANY PERSON TO ASSUME FOR IT THE OBLIGATIONS CONTAINED IN THIS WARRANTY AND PATRIOT ANTENNA NEITHER ASSUMES NOR AUTHORIZES ANY REPRESENTATIVE OR OTHER PERSON TO ASSUME FOR IT ANY OTHER LIABILITY IN CONNECTION WITH THE EQUIPMENT DELIVERED OR PROVIDED.

IN NO EVENT SHALL PATRIOT ANTENNA BE LIABLE FOR ANY LOSS OF PROFITS, LOSS OF USE, INTERRUPTION OF BUSINESS, OR INDIRECT, SPECIAL OR CONSEQUENTIAL DAMAGES OF ANY KIND.

In no event shall PATRIOT ANTENNA be liable for damages in an amount greater than the purchase price of the equipment.

Some states do not allow limitations on how long an implied warranty lasts, or allow the exclusion or limitation of incidental or consequential damages, so the above limitations or exclusions may not apply to you.

PATRIOT ANTENNA has the right to void the warranty when the antenna is installed by someone other than a certified installer.

Product Serial Number- \_\_\_\_\_

Date Purchased- \_\_\_\_\_

Patriot Antenna Systems

704 North Clark Street

Albion, MI 49224 USA

Tel: (517)629-5990

Fax: (517)629-6690

E-mail: info@sepatriot.com

## IMPORTANT!!!

INSTALLATION OF THIS PRODUCT SHOULD BE PERFORMED ONLY BY A PROFESSIONAL INSTALLER AND IS NOT RECOMMENDED FOR CONSUMER D.I.Y. (DO-IT-YOURSELF) INSTALLATIONS.

### WATCH FOR WIRES!

Installation of this product near power lines is dangerous. For your own safety, follow these important safety rules.

1. Perform as many functions as possible on the ground.
2. Watch out for overhead power lines. Check the distance to the power lines before starting installation. We recommend you stay a minimum of 6 meters (20 feet) from all power lines.
3. Do not use metal ladders.
4. Do not install antenna or mast assembly on a windy day.
5. If you start to drop antenna or mast assembly, get away from it and let it fall.
6. If any part of the antenna or mast assembly comes in contact with a power line, call your local power company. DO NOT TRY TO REMOVE IT YOURSELF! They will remove it safely.
7. Make sure that the mast assembly is properly grounded.

### WARNING

Assembling dish antennas on windy days can be dangerous. Because of the antenna surface, even slight winds create strong forces. For example, a 1.0m antenna facing a wind of 32 km/h (20 mph) can undergo forces of 269 N (60 lbs.). Be prepared to safely handle these forces at unexpected moments. Do not attempt to assemble, move or mount dish on windy days or serious, even fatal accidents may occur. PATRIOT ANTENNA SYSTEMS is not responsible or liable for damage or injury resulting from antenna installations.

### WARNING

Antennas improperly installed or installed to an inadequate structure are very susceptible to wind damage. This damage can be very serious or even life threatening. The owner and installer assumes full responsibility that the installation is structurally sound to support all loads (weight, wind & ice) and properly sealed against leaks. PATRIOT ANTENNA SYSTEMS will not accept liability for any damage caused by a satellite system due to the many unknown variable applications.

## Introduction

Thank you for purchasing your Patriot Commercial Antenna. We trust that you will find this to be a well designed product that will provide many years of reliable service. Please read this manual thoroughly before beginning assembly. For best results in the assembly process, perform each step in the same sequence as listed in this manual. Record the serial number of the unit on to page two for future reference and read the warranty information. The serial number plate can be found on the pedestal mount.

## Unpacking and Inspection

Shipping cartons should be unpacked and contents checked for damaged or missing parts. Should there be any parts that are damaged or missing, please contact technical support for replacement.

## Site Selection

The main objective of conducting a site survey utilizing a compass and inclinometer is to choose a mounting location on the ground that will give you the greatest amount of swing for azimuth and elevation for present as well as future use. A thorough pre-installation site survey is strongly recommended because it can alert you to any "look angle", soil, wind or other problems.

The first and most important consideration when choosing a prospective antenna site is whether or not the area can provide an acceptable "look angle" to the satellite. A site with a clear, unobstructed view facing south, southeast is required. Your antenna site must be selected in advance so that you will be able to receive the strongest signal available. Also consider obstructions that may occur in the future such as the growth of trees.

It is important to conduct an on-site survey with a portable antenna or with a compass and clinometer to avoid interference, obstructions, etc.

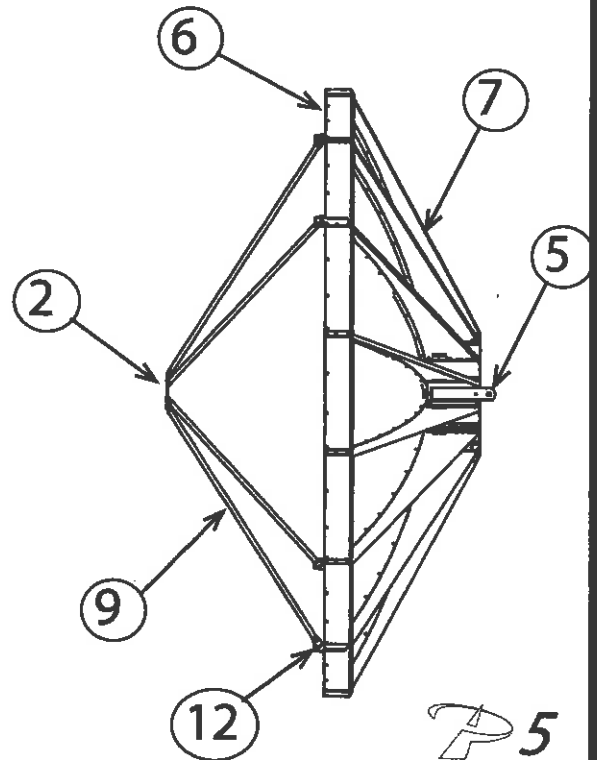
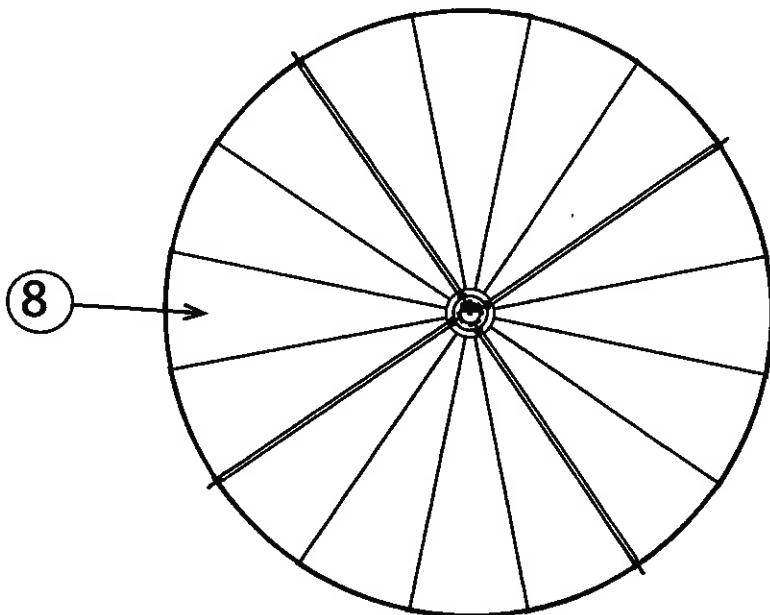
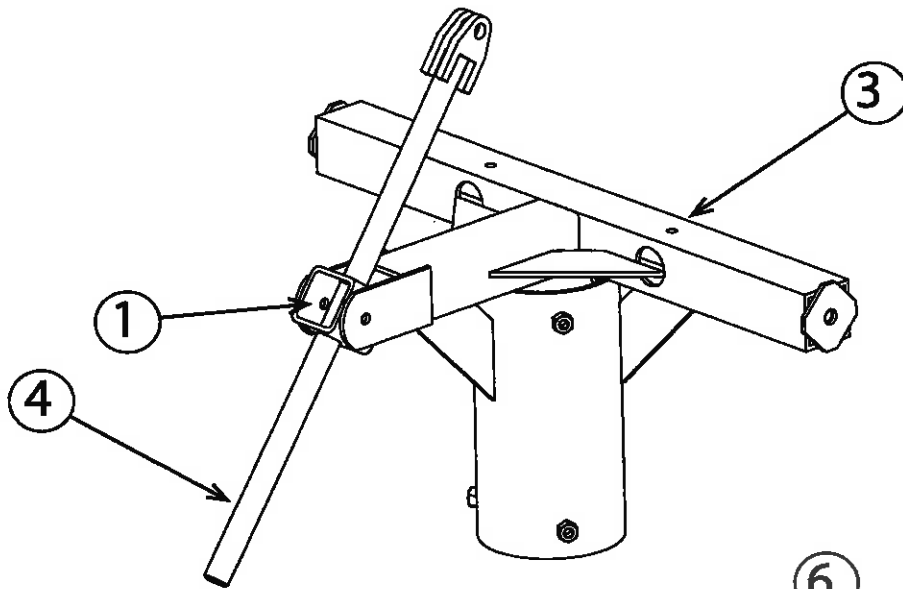
When selecting "look angle", be sure to observe and take readings approximately 10 deg to the left and right, above and below your selected "look angle".

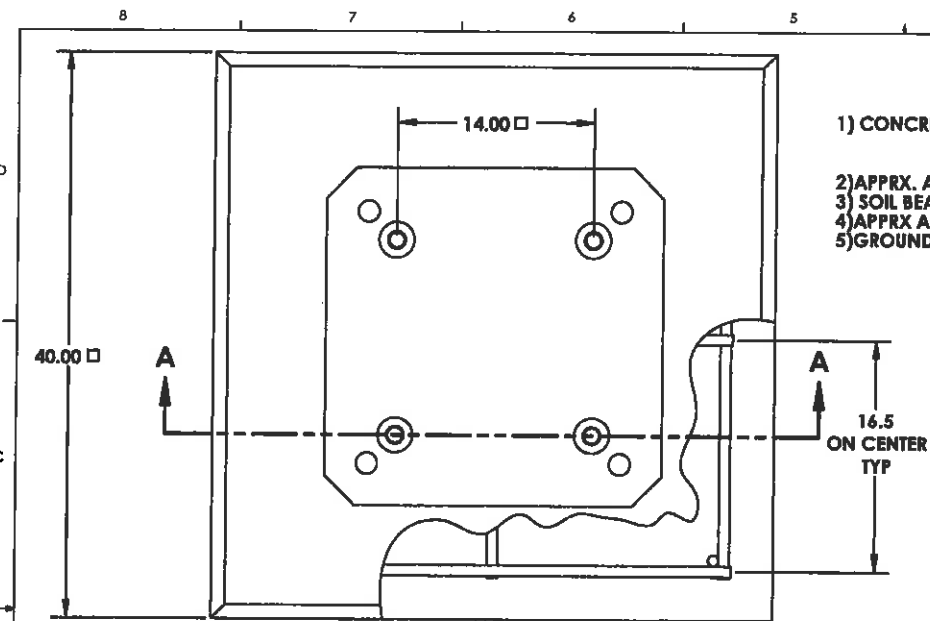
Before Ground Pole Installation, the soil type should be checked because soil conditions vary widely in composition and load bearing capacity. A soil check will help you to determine the type and size of foundation required to provide a stable base for the antenna.

Before digging is done, information regarding the possibility of underground telephone lines, power lines, storm drains, etc., in the excavation area should be obtained from the appropriate agency.

As with any other type of construction, a local building permit may be required before installing an antenna. It is the property owner's responsibility to obtain any and all permits. Ground mounts are certified for 125 mph wind survival.

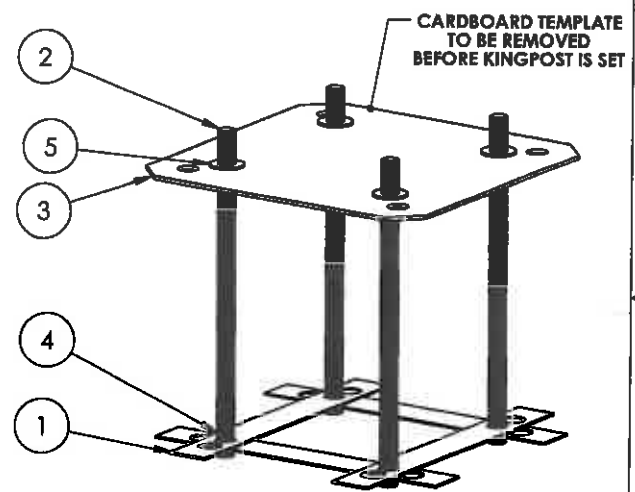
ITEM #	PART#	DESCRIPTION	QTY
1	231104G	BLOCK, 3.1 PIVOT GALV	1
2	231106	PLATE, C-BAND 3.1/3.8/405	1
3	245010	ASSY. 4.5 AZ-EL HEAD	1
4	245020	ASSY,4.5 AZ ADJSCREW48"DBLE W/HDWR	1
5	245004	ASSY,4.5 COMMON HUB	1
6	245005	OUT BRD SKIRT, 4.5 PRIME	16
7	245006	RADIAL BEAM, 4.5 PRIME	16
8	245007W	PETAL, 4.5 PRIME	16
9	245009	STRUT, 4.5 PRIME STRD FD	4
10	238020	BRACE, 3.8 BACK SUPPORT	1
11	238108	PLATE, CENTER 3.8	1
12	4M45009	ANGLE,4.5 PRIME FEED STRUT	4
PG9	4M45004	ANGLE,4.5 HUB	16



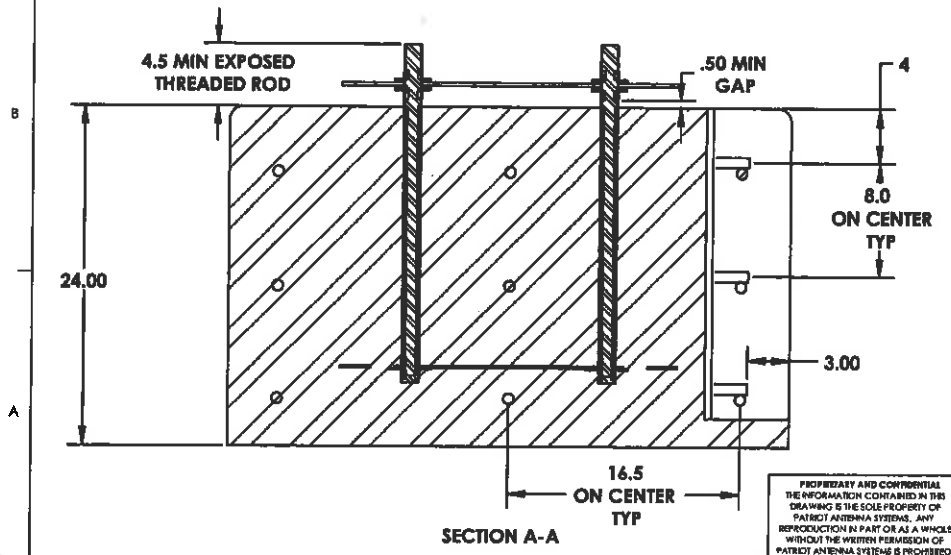


- 1) CONCRETE: 3000psi AT 28 DAYS, POURED AGAINST UNDISTURBED SOIL (ALLOW CONCRETE 24 HOURS SET TIME BEFORE ANTENNA INSTALLATION)
- 2) APPRX. AMOUNT OF CONCRETE NEEDED: 18.50 CUBIC FEET
- 3) SOIL BEARING CAPACITY >2000psf
- 4) APPRX AMOUNT OF #4 REBAR NEEDED: 55#
- 5) GROUND ANTENNA TO MEET APPLICABLE LOCAL CODES

DIVISION		
DATE	REV.	DESCRIPTION
PRT-BTKPS		
ITEM NO.	PART NUMBER	QTY.
1	20000021	4
2	3HTG0002	4
3	4BPTBK38455	1
4	Hex Nut Al	16
5	Flat Washer Type B Regular Al	8



CARDBOARD TEMPLATE TO BE REMOVED BEFORE KINGPOST IS SET



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UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES; CORNERS ARE AT 90°

Tolerances:  
 FRACTIONALS: 1/16"  
 ANGULAR: ± 1°  
 HOLE: ± .005"  
 DIA: ± .031"  
 HOLE: ± .018"  
 HOLE: ± .005"

NAME	DATE
D PRATT	02/07
D PRATT	02/07

Patriot 704 North City Street - Albion, MI 49224 USA		
TITLE: <b>PIPESTAND FOUNDATION LAYOUT</b>		
SIZE	DWG. NO.	REV
<b>B</b>	<b>2FDPIPESTAND000</b>	<b>000</b>
SCALE: 1:8		SHEET 1 OF 1

92

8

7

6

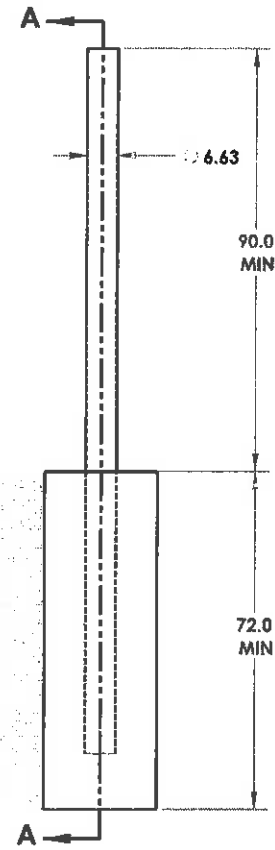
5

4

3

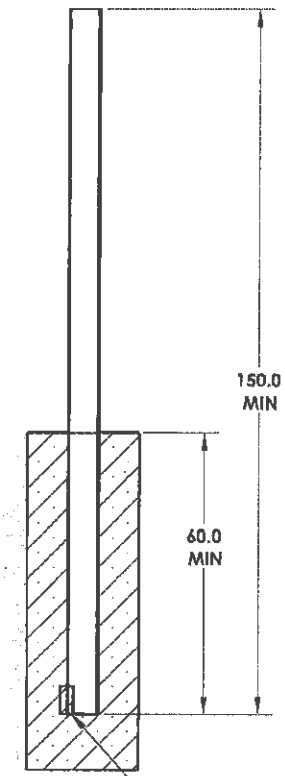
2

REV	NO.	DESCRIPTION	DATE	APPROV.



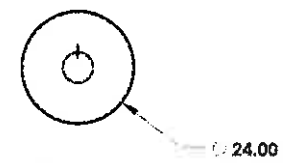
**NOTES:**

- 1) STEEL MAST: 6" SCHEDULE 80, L=120"
- 2) CONCRETE: 3000psi AT 28 DAYS, POURED AGAINST UNDISTURBED SOIL (ALLOW CONCRETE 24 HOUR SET TIME)
- 3) ESTIMATED AMOUNT OF CONCRETE NEEDED: 19 CUBIC FOOT
- 4) SOIL BEARING CAPACITY >2000psf
- 5) GROUND ANTENNA TO MEET APPLICABLE LOCAL CODES



**SECTION A-A**

**ANTI TWIST WELDMENT**



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MATERIAL:	NAME:	DATE:
	DRAWN BY: D PRATT	02/07
	ENG APPR: D PRATT	02/07

**UNLESS OTHERWISE SPECIFIED: NOTES:**  
 DIMENSIONS ARE IN INCHES:  
 CORNERS ARE AT 90°

**Tolerances:**  
 FRACTIONAL: 1/16"  
 ANGULAR: ± 1°  
 X ± .04"  
 XX ± .03"  
 XXX ± .015"  
 XXXX ± .005"

**100% INSPECTION** Top View Only Sheet - 4800, NE 200411, USA

**TITLE:**  
6.325" O.D. x 150" PIER LAY OUT

SIZE DWG. NO. REV

**B 2FD6.625x150PIER 000**

SCALE: 1:24 SHEET 1 OF 1

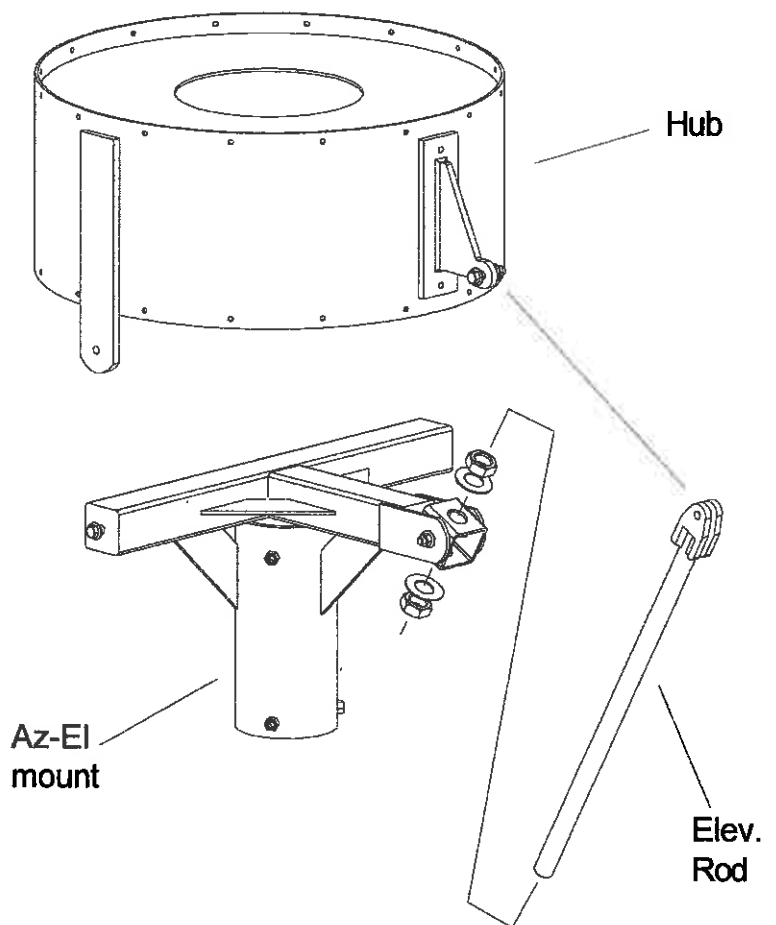
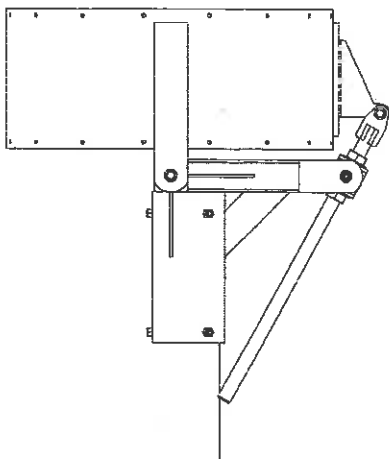
7



## Mount Assembly

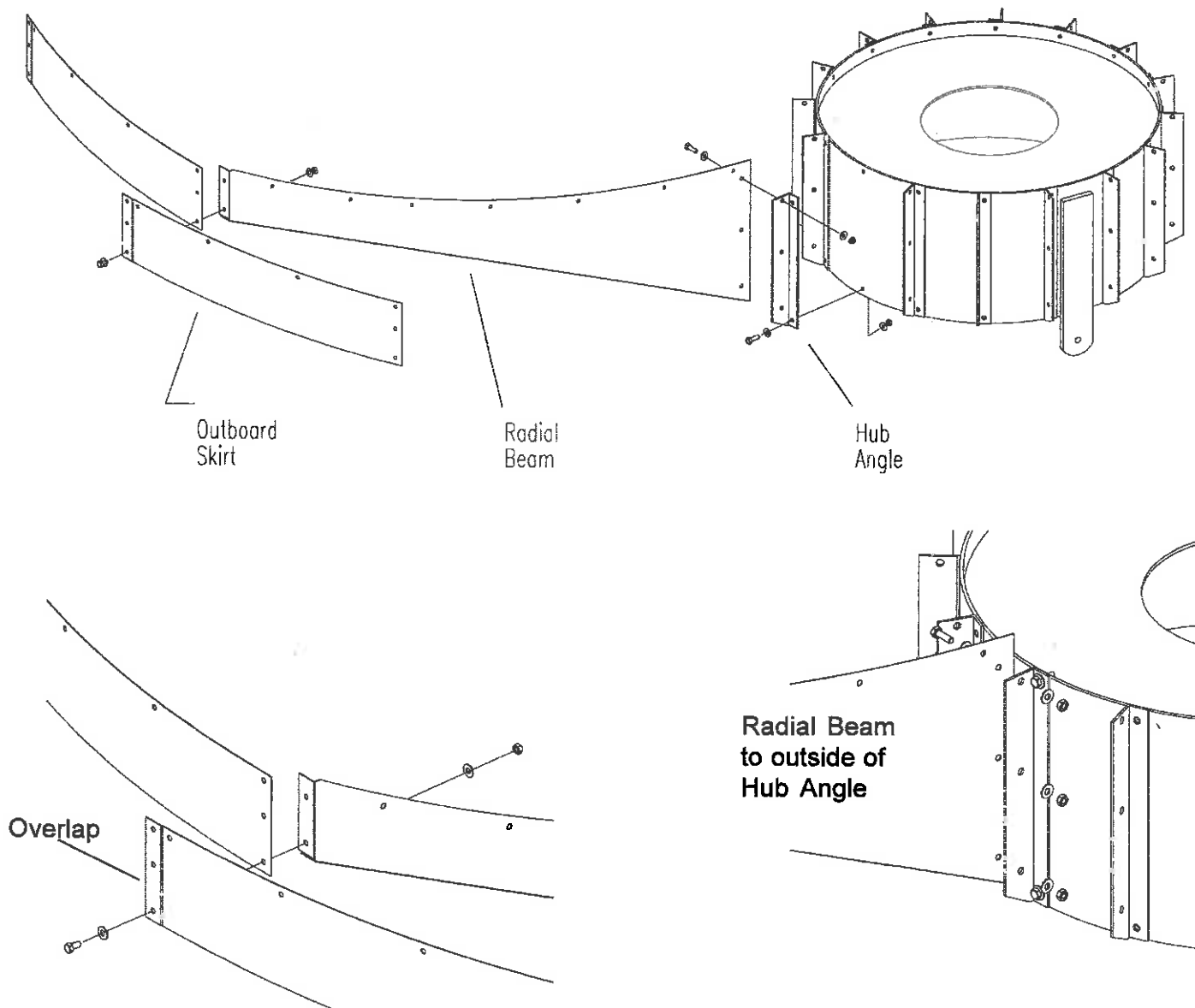
1. Place the pre-assembled Az-EI pole mount on top of the 6 5/8" OD pipe, leaving the bolts loose.
2. Add nuts and washers from the Az-EI Elevation pack hardware to the Threaded Elevation Rod as shown. Thread the nut all the way up to the welded end. Insert the rod into the Anchor Block pre-assembled on the Az-EI pole mount.
3. With 2 helpers place the hub assembly in the zenith (bird bath) position on top of the Az-EI mount as shown. Insert bolts and washers to hold the hub assembly to the mount cross bar. Assemble the Threaded Elevation Rod to the hub extension as shown using pre-installed 1/2" hardware.

**NOTE:** You must position the hub in the position shown below or it will be unsafe to build the reflector. You will also be able to assemble the dish with out moving your ladder. With the mount pipe bolts loose the dish can spin on the pipe for ease of assembly.

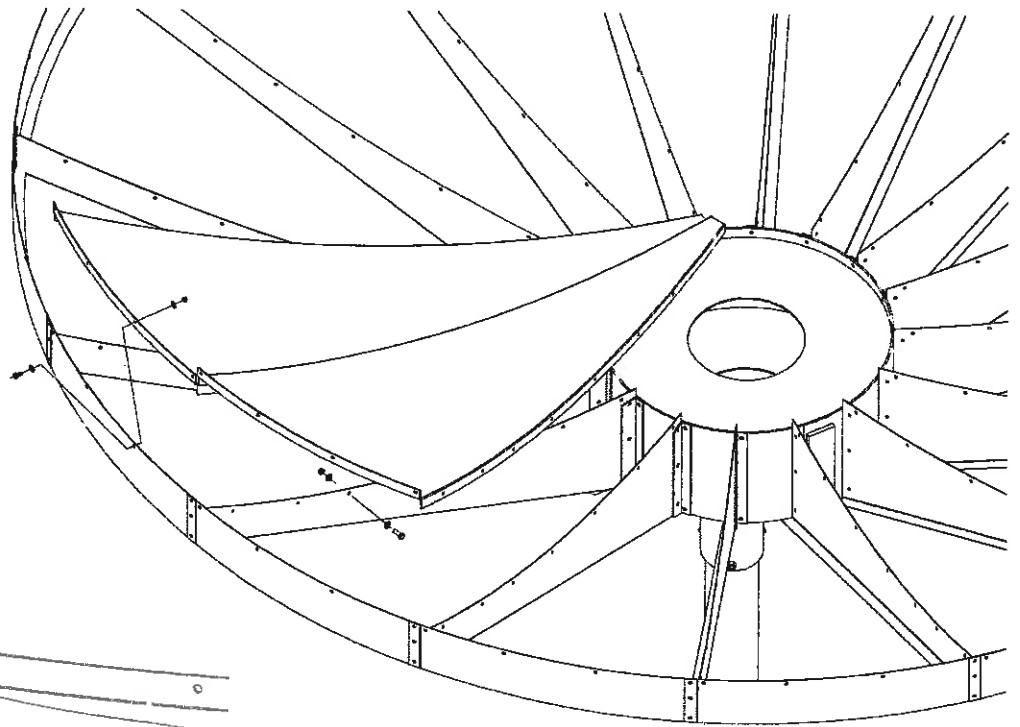


## Reflector Assembly

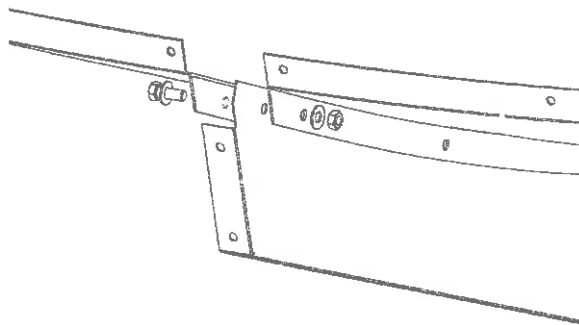
1. Install 4M45004 (ANGLE, 4.5 HUB) to hub as pictured below  
Make sure the cut corner is towards the **BOTTOM** of the hub assembly.
2. Once all 4M45004 (ANGLE, 4.5 HUB) are attached fasten hub to King post assembly as pictured on page 7.
3. Once hub is attached to King post assembly begin to attach 245006 (RADIAL BEAM 4.5 PRIME) to 4M45004 (ANGLE, 4.5 HUB).  
Make sure that Radial Beams are to the **Out side** of the hub angle and pictured below.
4. With all Radial Beams in place and hardware in place install all of the 245005 (OUT BRD SKIRT, 4.5 PRIME) on the end of the Radial Beams (bent edge down) Make sure overlap is in proper place as pictured below. Leave this hardware loose at this time.



5. Set in place 2 Panels into the Radial Beams. The Radial Beam will be between the flange of each Panel (see below). Using 3 tapered alignment tools- 2 in the outermost holes, and 1 in the center hole to align the holes in the panels and radial beam, install the hardware in the remaining holes (from kit labeled- Petal to Radial Beam) starting with the hole closest to the hub. Use 1 bolt, 2 washers, and 1 nut per hole. Pull the tapered alignment tools and install that hardware. Leave hardware loose at this time. Continue installing the remaining Petals using this method.



**NOTE:**  
Radial Beam between  
panel flanges!



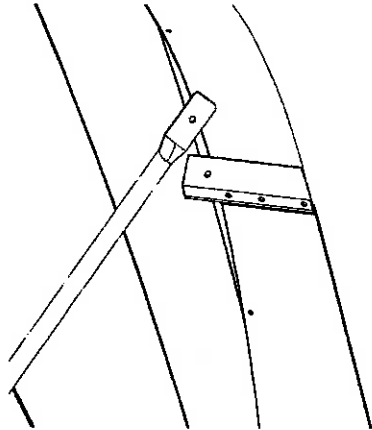
**Tightening Procedure- Important!**

6. Starting at the Hub tighten all hardware by working outward 1 circular row at a time.
7. When all petals are tight put in the remaining hardware from the Outboard Skirt pack. At every 4th Radial Beam/Outboard Skirt junction include an Outboard Feed Angle as you assemble using hardware kit labeled- Feed Strut Bottom. Tighten hardware as you install it.

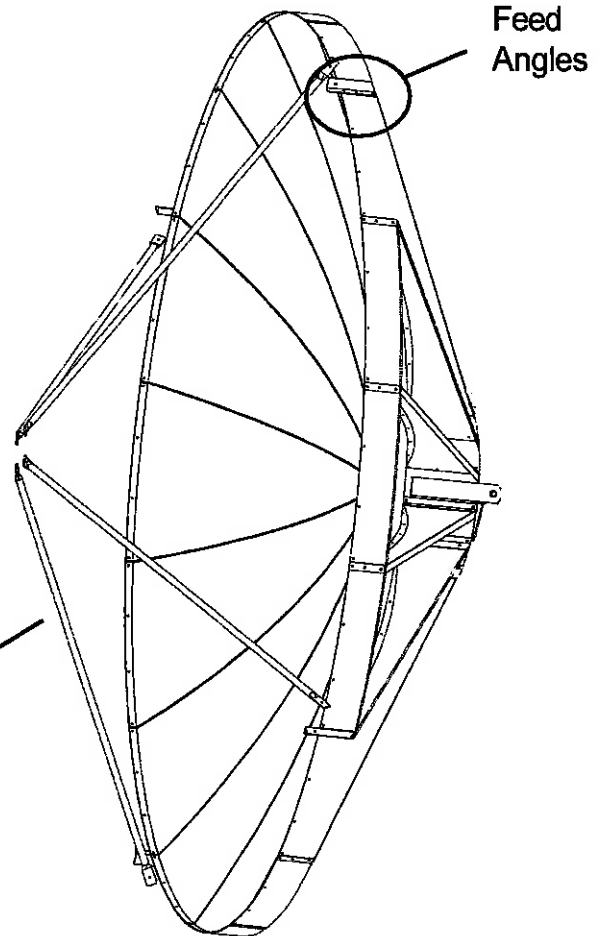
**NOTE:** The 3 holes in Outboard Feed Angle should be aligned with the 3 holes in Outboard Skirt. See next page

## Feed Support Assembly- Standard

1. Place the Feed Struts in place with the straight end assembled to the Outboard Feed Angles at the edge of the dish. Use Feed Strut Top pack hardware.



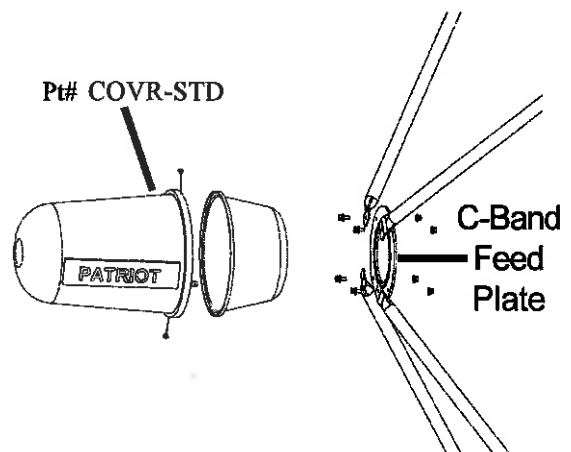
Feed Struts



2. Assemble the C-Band Feed Plate to the inside of the Feed Struts as shown using the 1/4" hardware also from the Feed Strut Top pack. Then assemble the feed scalar to the dish side of the plate using the 4 slotted holes with the feed cover bottom half to the opposite side of the plate.

3. Check Focal Distance- 1.57m (61.95")

**NOTE:** The 4 slotted holes provide skew adjustmer



### OPTIONAL

**PT# COVR STD FOR:**

ADL-RP1LPF200  
ADL-RP1CP300  
ADL-RP-3-CKU  
ADL-RP3CKUIWC  
ADL-KU-901  
ADL-KU-850  
ADL-RP2CP300

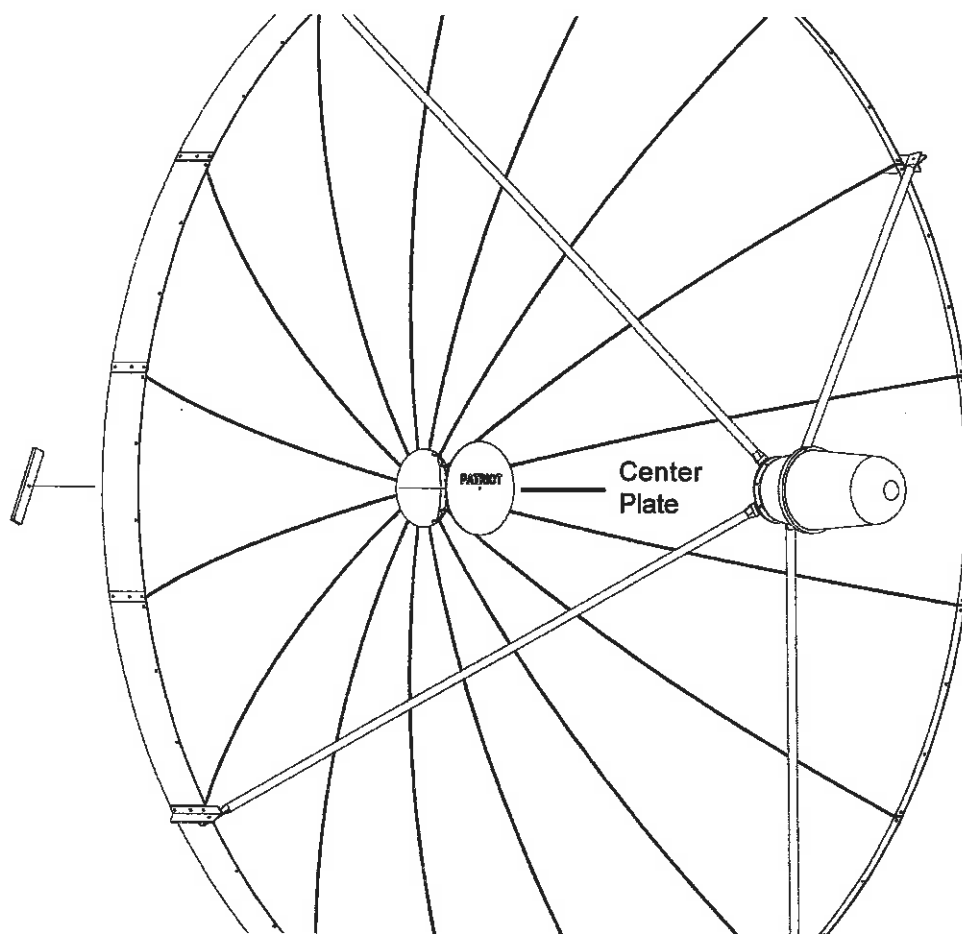
### OPTIONAL

**PT# COVR-SVY FOR:**

ADL-RP3AZOP-122  
ALL SEAVEY C-BAND FEEDS

With a helper place the center plate in place in the center of the opening of the panels using hardware from **Center Plate** pack. From behind place the back brace through the hub center across the hub opening. Tighten the nut on the bolt being careful not to overtighten which could crush the petals.

**NOTE:** If you need to climb into the dish be sure to place your feet along the Radial Beams and not into the center areas of a panel!



The antenna assembly is now complete. Now lower the antenna out of the "bird bath" position. To adjust the antenna toward the selected satellite you must first know its elevation angle above horizon. This will be the reference angle for the face of the antenna. Using an inclinometer on the face of the antenna pre-adjust the desired angle Tighten the Az-El pipe head bolts only enough to allow rotation of the mount on the ground pipe. Knowing the azimuth angle of the satellite from due south roughly aim the antenna in that direction. With the LNB connected to the proper sight-in equipment the antenna can be accurately adjusted to the satellite signal. Tighten all hardware.

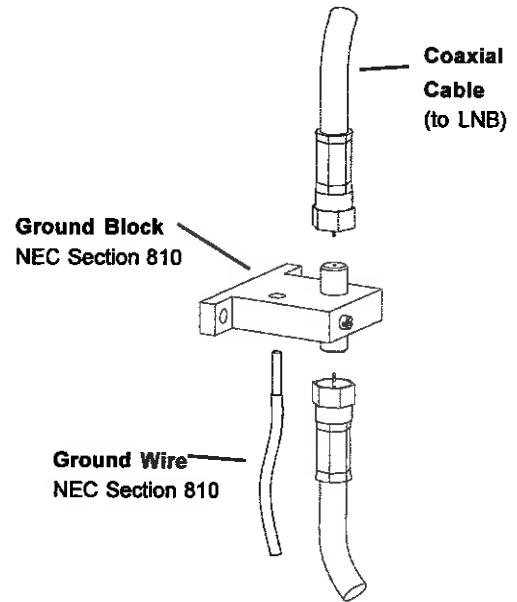
Installation is complete.

## Grounding

### Grounding Antenna Feed Cables

1. Ground antenna feed cables in accordance with current National Electric code and local electric codes. The illustration shows a typical grounding method.

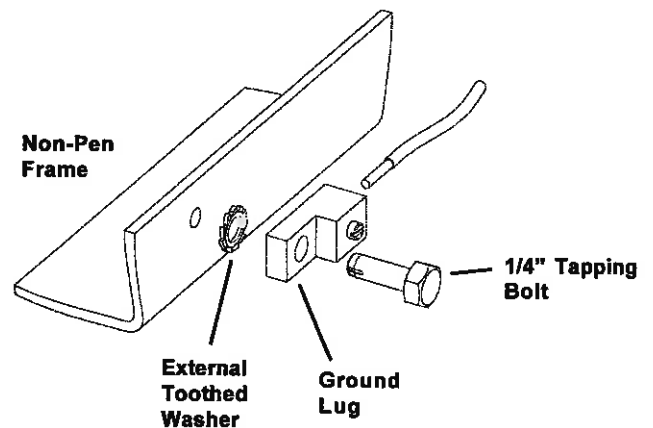
Clamps that provide a solid connection between ground wire and a ground source should be used.



### Grounding Non-Penetrating Mount Frame (if applicable)

1. Ground the Non-Penetrating mount frame. The illustration shows a typical grounding method.

Refer to the NEC Section 810 and local electric codes for specific instructions on grounding the remaining end of the ground wire.



### Antenna Pointing

- 1) Begin by obtaining the correct Az/EI pointing data for the satellite of interest based for your site location.
- 2) Using an inclinometer or position readout form controller placed on the enclosure drum surface, position the antenna to the specified elevation angle.
- 3) Manually scan the antenna (back-and-forth in the azimuth around the direction of the specified azimuth angle) to achieve the maximum transponder signal.
- 4) Next repeat the procedure for elevation.
- 5) Repeat this procedure alternating between the azimuth and elevation until maximum transponder signal is achieved.

## Specifications

### **Electrical**

Gain Midband  
Efficiency  
3dB Beamwidth  
Avg 1st Side Lobe  
Cross Polarization  
VSWR (max)

### **C-Band**

43.1 dBi  
58.9%  
1.35Deg  
-30dB  
>35dB  
1.3:1

### **Ku-Band**

53.2 dBi  
64.3%  
.56Deg  
-23dB  
>35dB  
1.3:1

### **Mechanical**

Antenna Size  
Focal Distance  
F/D  
Operational Wind  
Survival Wind  
Operational Temp  
Rain

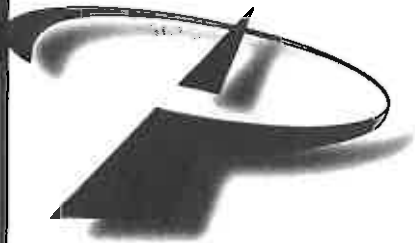
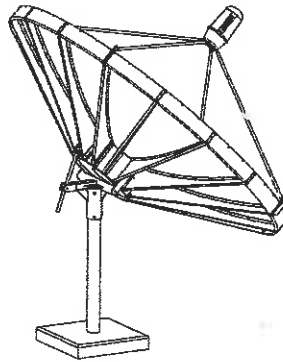
4.5m (14'9")  
1.57m (61 15/16")  
.35  
50mph  
125mph (see wind spec. pg. 10)

Ice

-40 to 140 F  
Operational = 1/2in./hr  
Survival = 3in./hr

Pole Size  
Weight

1 in. Radial -or-  
1/2 in. + 60mph wind  
6 5/8" OD  
Reflector- 650 lbs.  
Mount-



**PATRIOT ANTENNA SYSTEMS**  
**704 NORTH CLARK STREET**  
**ALBION, MICHIGAN 49224 USA**  
**WWW.SEPATRIOT.COM**

2M45091 REV001

## Model 8.1m Cassegrain Antenna

*VertexRSI Antenna Products - Satcom*

The VertexRSI 8.1-meter antenna delivers exceptional performance for transmit/receive and receive only applications for L to Ka-band frequencies. This antenna offers a reflector design that incorporates precision-formed panels, truss radials and hub assembly. It features an innovative Cassegrain feed and subreflector design which results in high gain, low noise temperature, high antenna efficiency and excellent rejection of noise and microwave interference. A large center hub provides spacious accommodation for equipment mounting. The reflector is supported by a galvanized elevation over azimuth kingpost pedestal that provides the required stiffness for pointing and tracking accuracy. The pedestals are designed for full orbital arc coverage and are readily adaptable to ground or rooftop installations. The electrical performance is compliant with FCC 25.209 regulations, ITU-RS-580 sidelobe specifications and Intelsat (F3) and Eutelsat requirements.



### **Features**

- All-aluminum reflector system
- Fully interchangeable reflector components
- Compliant with FCC 25.209, ITU-RS-580 requirements
- Designed for 1.5 to 31 GHz operation
- Standard two and four port Tx/Rx and Rx only systems
- Feed systems are factory assembled and tested
- Jack screws in azimuth and elevation
- Galvanized steel elevation over azimuth pedestal
- Survives 125 mph winds in any position
- Lightning arrest rods included
- Foundation hardware kit included

### **Options**

- L, S, C, Ku, DBS and Ka-band feed configurations
- CP/LP manual or remote switchable feeds
- Specialized feed systems (e.g., extended, multi-band)
- Antenna control system with tracking
- Reflector and feed deicing systems
- Environmental hub configurations
- Integrated transmit cross-axis kits
- Integrated LNA or LNB systems
- HPAs, converters and M&C systems
- Load frame mounts
- Packing for sea and air transport
- Turnkey installation and testing

### **Upgrades**

- Extended azimuth travel
- Low operating temperatures
- High power configurations



**Technical Specifications**

Electrical <sup>(1)</sup>	C-Band 4-Port Circular Polarized		C-Band 4-Port Linear Polarized		Ext. C-Band 4-Port Linear Polarized		Ku-Band 4-Port Linear Polarized		DBS Band 4-Port Linear Polarized	
	Receive	Transmit	Receive	Transmit	Receive	Transmit	Receive	Transmit	Receive	Transmit
Frequency (GHz)	3.625 - 4.200	5.850 - 6.425	3.625 - 4.200	5.850 - 6.425	3.400 - 4.200	5.850 - 6.725	10.700 - 12.750	13.750 - 14.500	10.700 - 12.750	17.300 - 18.400
Antenna Gain, Midband dBi <sup>(2)</sup>	49.40	53.10	49.40	53.20	49.30	53.20	58.00	59.70	58.30	61.30
VSWR	1.25:1	1.25:1	1.25:1	1.25:1	1.30:1	1.30:1	1.30:1	1.30:1	1.30:1	1.30:1
Pattern Beamwidth <sup>(3)</sup>										
-3 dB, at midband	0.58°	0.38°	0.58°	0.37°	0.58°	0.37°	0.20°	0.16°	0.19°	0.14°
-15 dB, at midband	1.22°	0.80°	1.22°	0.78°	1.22°	0.78°	0.42°	0.34°	0.40°	0.29°
Antenna Noise Temperature										
5° Elevation	52 K		50 K		55 K		90 K		81 K	
10° Elevation	43 K		40 K		46 K		76 K		66 K	
20° Elevation	37 K		35 K		40 K		68 K		57 K	
40° Elevation	35 K		33 K		38 K		64 K		53 K	
Typical G/T (dB/K) <sup>(3)</sup>										
4.000 GHz, 30 K LNA	31.1		31.3		30.8					
11.725 GHz, 70 K LNA							36.6		37.3	
Axial Ratio	0.50 dB	0.50 dB								
Power Handling (total)		10 kW CW		10 kW CW		10 kW CW		2 kW CW		2 kW CW
Cross Polarization Isolation										
On Axis	30.8 dB	30.8 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB	35.0 dB
Within 1.0 dB beamwidth	30.8 dB	30.8 dB	30.0 dB	30.0 dB	30.0 dB	30.0 dB	35.0 dB	35.0 dB	35.0 dB	30.0 dB
Port to Port Isolation										
Rx/Tx (Rx frequency)	0 dB	-70 dB	0 dB	-50 dB	0 dB	-70 dB	0 dB	-70 dB	0 dB	-75 dB
Tx/Rx (Tx frequency)	-85 dB	0 dB	-85 dB	0 dB	-85 dB	0 dB	-85 dB	0 dB	-85 dB	0 dB
Sidelobe Performance	Meets ITU-RS-580, FCC									
RF Specification	975-1045		975-1327		975-1931		975-2914		975-2073	

(1) All values are at rear feed flange. (2) C-band Rx values are at 4 GHz. (3) Typical G/T at 20° elevation with clear horizon using single bolt-on LNA to feed.

Mechanical/ Environmental <sup>(1)</sup>	Motorizable Kingpost Pedestal (KX120)	Motorizable Kingpost Pedestal (KX200)
Antenna Diameter	8.1 meters (26.67 feet)	
Antenna Type	Cassegrain design	
Reflector Construction	16 precision-formed aluminum panels with heat-diffusing white paint Clean and brightened aluminum back-up structure	
Hub Dimensions	70 m (178 cm) OD, 36 m (91 cm) depth	
Mount Configuration	Elevation over azimuth pedestal, constructed of galvanized A36 steel	
Drive Type	Manual jack screws	
Azimuth Travel	120° continuous	200° (2 segments @ 120°)
Elevation Travel	5 to 90° continuous	0 to 90° continuous
Foundation (L x W x D)	22.0 x 22.0 x 2.0 ft (6.7 x 6.7 x 0.61 m)	22.0 x 22.0 x 1.5 ft (6.7 x 6.7 x 0.46 m)
Concrete	36.0 yds <sup>3</sup> (27.5 m <sup>3</sup> )	27.0 yds <sup>3</sup> (20.6 m <sup>3</sup> )
Reinforcing Steel	6,100 lbs. (2,767 kg)	3,560 lbs. (1,615 kg)
Shipping Containers	One 40 ft standard	
Operational Wind Loading	45 mph (72 km/h) gusting to 60 mph (97 km/h)	
Survival Wind Loading	125 mph (200 km/h) @ 58° F (15° C), any position	
Operational Temperature	+5° to +122° F (-15° to +50° C)	
Survival Temperature	-22° to +140° F (-30° to +60° C), low temperature options available	
Rain	Up to 4 in/h (10 cm/h)	
Relative Humidity	0 to 100% with condensation	
Solar Radiation	360 BTU/h/ft <sup>2</sup> (1,000 Kcal/h/m <sup>2</sup> )	
Ice (survival)	1 in (2.5 cm) on all surfaces or 1/2 in (1.3 cm) on all surfaces with 30 mph (150 km/h) wind gusts	
Atmospheric Conditions	As encountered in coastal regions and/or heavily industrialized areas	
Shock and Vibration	As encountered during shipment by airplane, ship or truck	

(4) Some specifications may vary based on the combination of equipment, options and/or upgrades ordered.

**GENERAL DYNAMICS**

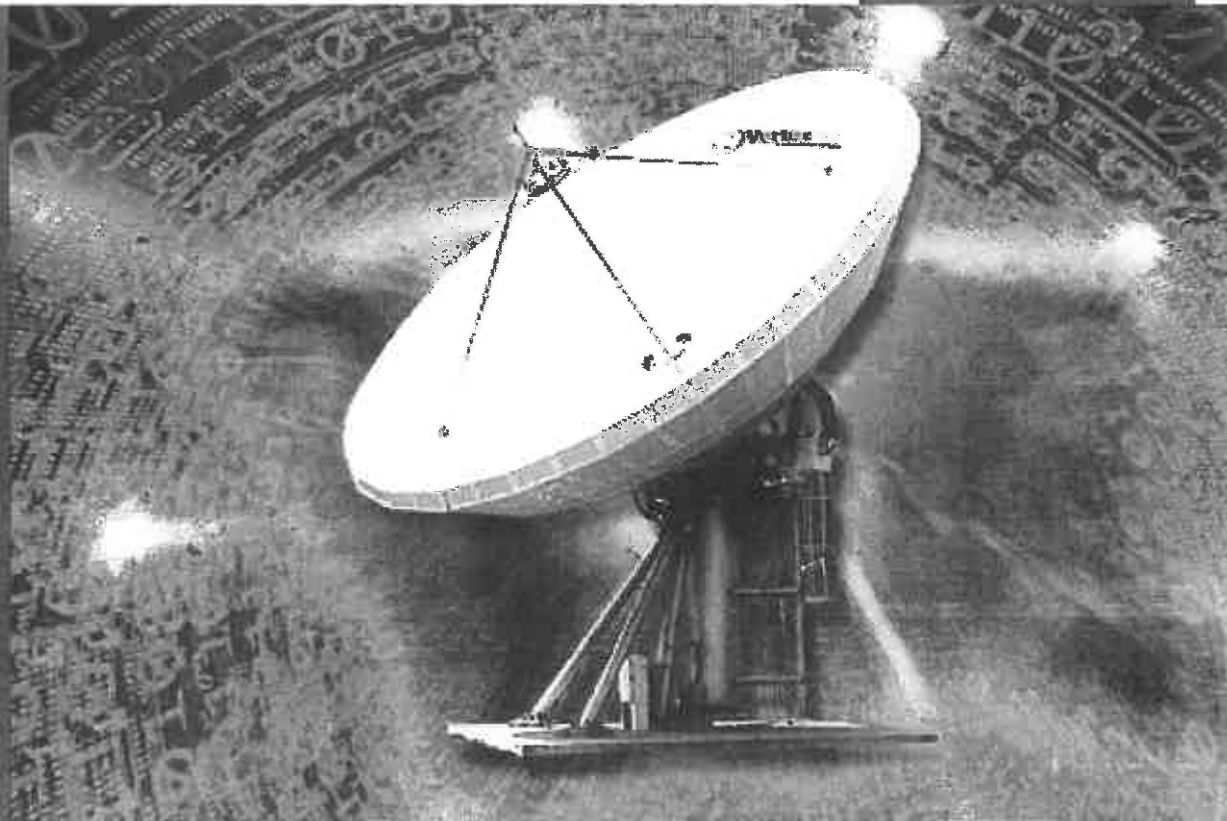
MODEL

11-METER

KPC / KPK

C & KU-BAND

KINGPOST



The VertexRSI 11-Meter C-band and Ku-band antennas offer superior performance for a variety of applications such as broadcast uplinks, private networks, domestic satellite telephony/video networks and international INTELSAT Standard "B" Earth Stations.

Model 11 KPC (C-band) and 11 KPK (Ku-band) antennas incorporate stretch-formed doubly contoured panels with matched radials and hub assemblies for ease of field alignment. The reflectors and elevation/azimuth kingpost pedestals provide the stiffness and pointing accuracy required for C-band and Ku-band operation. These antennas are designed for full orbital arc coverage.

## Key Features

- Two port, three port, four port Rx/Tx linear and circular polarized feeds
- CP/IP switchable feeds
- Extended C-band feeds
- Full reflector and feed deicing systems with manual or automatic controls
- Monopulse, steptrack control and beacon receiver systems
- Turnkey installations or installation assistance

## Mechanical

**MODEL**
**11-METER**
**KPC / KPK**
**C & KU-BAND**
**KINGPOST**

Azimuth Travel	120° continuous (standard) 200° in two 110° segments (optional)
Azimuth Travel Rate	0.2°/second
Elevation Travel	5° to 90° continuous (standard) 0° to 90° with 200° azimuth travel (optional)
Elevation Travel Rate	0.06°/second
Polarization Travel	±95° (Two ports) ±50° (Four ports)
Polarization Travel Rate	1.0°/second
Weight - Reflector	14,100 pounds (6,396 kg)
Weight - Pedestal	8,800 pounds (3,929 kg)
Shipping Weight (Typical)	29,300 pounds (13,290 kg)
Shipping Volume	4,520 cubic feet (128m³)
Reflector Structure	Steel
Pedestal Structure	Steel
<b>Finishes</b>	
Reflector Surface	Aluminum panels with heat-diffusing white paint
Pedestal & Reflector Backup Structure	Hot-dipped galvanized steel
Surface Accuracy	0.025 inch (0.64 mm) Stab
Foundation Size	24 ft x 24 ft x 2 ft (7.3 m x 7.3 m x 0.6 m)
Concrete Volume	43 cubic yards (32.9m³)
Reinforcing Steel	6,000 pounds (2,721 kg)
Soil Bearing Pressure	3,000 PSF (16,000 kg/m²)
<b>Environmental</b>	
Operational Winds	45 mph (72 km/h); gusts to 60 mph (97 km/h)
Survival Winds	125 mph (200 km/h) @ 55°F (15°C)
Ambient Temperature	Operational: +5° to +122° F (-15 to 50° C) Survival: -22° to +140° F (-30° to +60° C) Low temperature kits available
Rain (Operational and Survival)	Up to 4 inch (100mm)
Relative Humidity (Operational and Survival)	0% to 100% with condensation
Solar Radiation	300 BTU/h·ft² (1000 kcal/h·m²)
Radial Ice (Survival)	1 inch (2.5 cm) on all surfaces or 1/2 inch (1.3 cm) on all surfaces with 80 mph (130 km/h) wind gusts
Shock and Vibration	As encountered during shipment by commercial air, sea or truck
Corrosive Atmosphere	As encountered in coastal regions and / or heavily industrialized areas
Seismic (Survival)	0.3 G's horizontal 0.1 G's vertical

# Antenna Products

Electrical	C-Band 4-Port		C-Band 4-Port		Ku-Band 4-Port	
	Circular Receive	Polarized Transmit	Linear Receive	Polarized Transmit	Linear Receive	Polarized Transmit
Frequency in (GHz)	3.625-4.200	5.850-6.425	3.625-4.200	5.850-6.425	10.95-12.75	14.00-14.50
Antenna Gain at midband	51.8	56.5	51.8	55.7	60.5	61.9
Antenna Noise Temperature						
5° Elevation	55° K		53° K		87° K	
10° Elevation	46° K		44° K		74° K	
20° Elevation	40° K		38° K		65° K	
40° Elevation	38° K		36° K		61° K	
Typical G/T at midband, 20° Elevation, Clear Horizon						
C-Band 35 K LNA	32.7 dB/K		32.6 dB/K			
Ku-Band 70 K LNA					30.2 dB/K	
Pattern Beamwidth in Degrees at midband						
-3 dB	0.44	0.28	0.44	0.28		
-15 dB	0.92	0.59	0.92	0.59	0.15	0.12
Sidelobes						
First sidelobe level	-15 ± 2dB		-15 ± 2dB		-14 ± 2dB	
Meets FCC 25.209, Asiasat or ITU-RS 580 specs.						
Cross Polarization Isolation						
On Axis	30.7dB	30.7dB	35 dB	35 dB	35 dB	35 dB
within 1 dB Beamwidth	30.7 dB	30.7dB	30 dB	30 dB	35 dB	35 dB
VSWR	1.25:1	1.25:1	1.25:1	1.25:1	1.30:1	1.30:1
Feed Insertion or Ohmic Loss	0.30 dB	0.25 dB	0.30dB	0.25dB	0.70dB	0.70 dB
Port to Port Isolation						
Rx/Tx (Rx Freq)	0 dB	-30.0 dB	0 dB	-30.0 dB	0 dB	-50.0 dB
Tx/Rx (Tx Freq)	-30.0 dB	0 dB	-30.0 dB	0 dB	-35.0 dB	0 dB
Rx/Rx, Tx/Tx (Same Band)	21 dB	23 dB	35.0 dB	30.0 dB	30.0 dB	30 dB
Axial Ratio (Voltage Axial Ratio)	0.50dB (1.06)	0.50dB (1.06)				
Feed Interfaces	CPR-229G	CPR-159G	CPR-229G	CPR-159G	WR-75 Flat	WR-75 Flat
Total Power Handling Capability		10 kW CW		10 kW CW		2 kW CW
RF Specification		975-1058		975-1275		975-1163

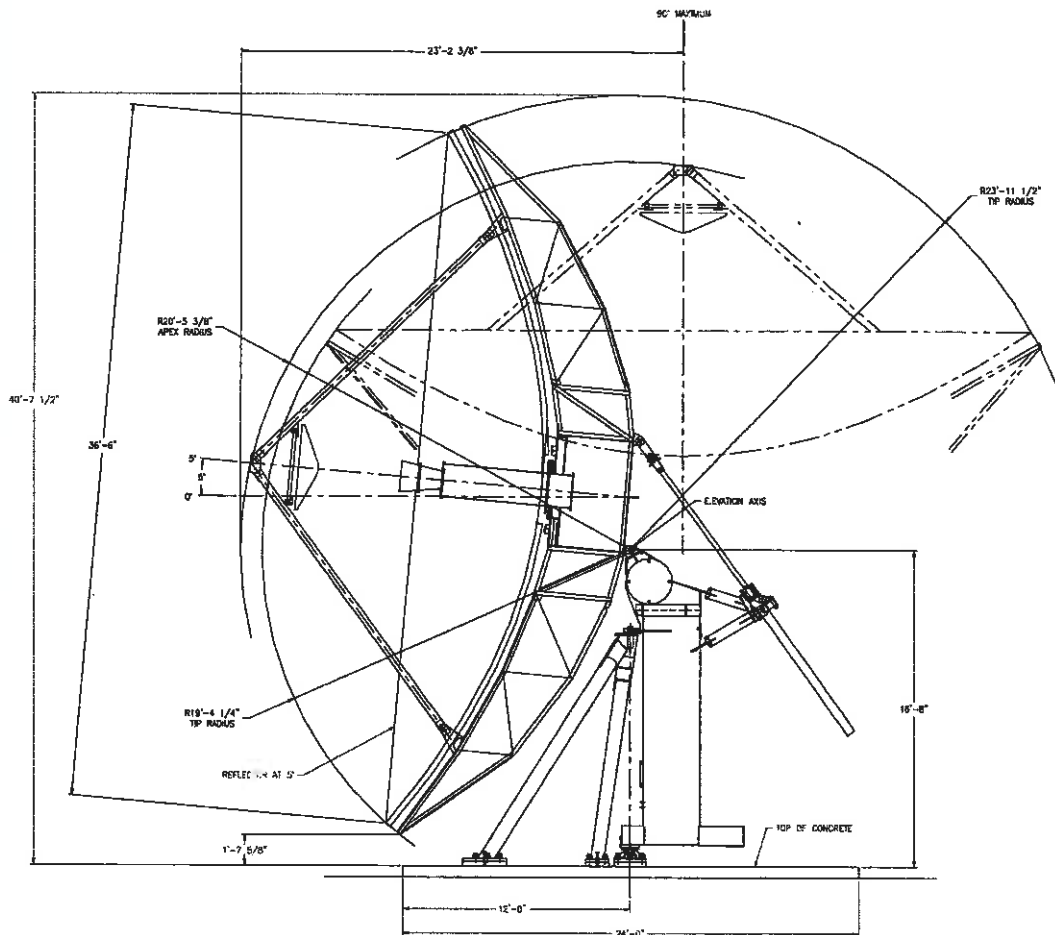
MODEL

11-METER

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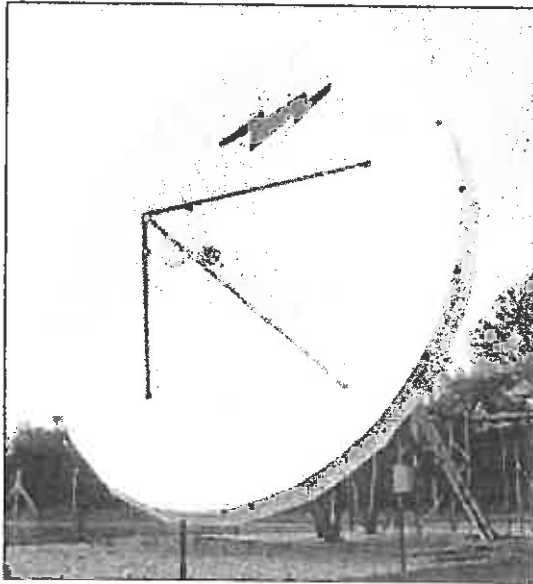
SIDE ELEVATION



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[www.triointglobal.com](http://www.triointglobal.com)

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## 9.3-Meter C-Band



### Antenna Accessories

*Factory Feed System Testing and Documentation*  
*Transmit Waveguide Kits, Cross-Axis Az/EI/Pol*  
*Motorization Kits*  
*Geostationary Indoor Antenna Positioner with*  
*40 Satellite Memory*  
*Inclined Orbit Tracking Indoor Antenna*  
*Positioner (steptrack)*  
*Anti-Icing and Deicing*  
*LNA Support Kits*  
*Ocean Transport Packing*  
*Hub Ventilation Kit*  
*Grounding Kit*  
*Foundation Kit*  
*Lightning Rod Kit*  
*Maintenance Platform and Ladder*  
*Obstruction Warning Light Kit*  
*Cable-Mounting Kit*  
*Major Subsystem Spare Part Kits*  
*Az/EI Vernier Kits*

### Features:

- *High Gain, Excellent Pattern Characteristics*
- *Advanced Gregorian Optics*
- *3-Year Warranty on All Structural Components*
- *Horizon-to-Horizon Coverage with Elevation-over-Azimuth Mount*
- *Rugged Aluminum and Steel – 125 mph (200 kph) Wind Survival in any Position*

### Compliances:

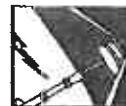
- *APSTAR*
- *ASIASAT*
- *BRASILSAT*
- *INTELSAT B, F-3, F-2, F-1, D-2, G*
- *ITU-R, S.580-5 and S.465-5*
- *FCC Regulation 25.209*
- *Approved for use in the Territory of Russia by the Ministry of Communications of the Russian Federation (Reference: Homologation Certificate No OC/I-A -f-1)*

Now telecommunications and television system operators, integrators and designers can bring their systems on line faster, more economically, and with superior performance with the Andrew 9.3-meter Earth Station Antenna (ESA). In use around the world in broadcast applications and high-density data, voice, communications networks, the Andrew 9.3-meter ESA features a computer-optimized dual reflector Gregorian system coupled with independently adjustable reflector panels and trusses and close-tolerance manufacturing techniques. This combination provides extremely accurate surface contour, exceptionally high gain, superior efficiency, and closely controlled pattern characteristics. Additionally, the elevation-over-azimuth mount enables horizon-to-horizon coverage from any worldwide location.

Our wide selection of Type Approved antennas speeds system deployment. Type Approved Andrew ESAs can be deployed in the field with minimal testing and decreased administrative and approval requirements.

Andrew ESAs provide maximum durability with minimal maintenance. The hot-dipped galvanized steel ground mount assembly ensures extended product life. Galvanized and stainless steel hardware maximizes corrosion resistance.

A variety of options are available for cost effective system expansion, including 2- or 4-port linearly- or circularly-polarized combining networks, programmable control systems, feed rotation systems, maintenance platforms, professionally designed and documented cross-axis waveguide kits, and pressurization systems. Microprocessor and steptrack controls are also available for motorized antennas.



### Electrical Specifications

Operating Frequency Band	
C-Band Receive	3.4-4.2 GHz
C-Band Transmit	5.850-6.725 GHz

9.3m Series, with 2-port linear combiner			
Rx Frequency	Rx Gain	Tx Frequency	Tx Gain
3.400 GHz	49.2	5.850 GHz	53.5
3.625 GHz	49.6	6.175 GHz	53.9
4.000 GHz	50.4	6.425 GHz	54.1
4.200 GHz	50.8	6.725 GHz	54.6

9.3m Series, with 4-port circular combiner			
Rx Frequency	Rx Gain	Tx Frequency	Tx Gain
3.625 GHz	50.0	5.850 GHz	53.1
4.000 GHz	50.9	6.175 GHz	53.5
4.200 GHz	51.3	6.425 GHz	53.8

**Polarization**  
Linearly- or Circularly-Polarized

**Polarization Discrimination (Linearly-Polarized)**  
>35 dB across 1 dB beamwidth 19 - 25 log  $\theta$  from 1.8° to 9.2°

**Voltage Axial Ratio, C-Band, circularly-polarized with 4-port combiner**  
<1.06:1 across the 1 dB beamwidth <1.09 and 1.2 with 2-port

Beamwidth, Mid-band, Degrees	C-Band
3 dB Receive (Transmit)	0.51 (0.34)
15 dB Receive (Transmit)	1.00 (0.65)

**Antenna Noise Temperature** -- under clear sky conditions, at 68°F (20°C), with 2-port combiner..

Elevation	Kelvin
10°	39
30°	29
50°	27

**Antenna VSWR, Transmit and Receive** <1.3:1

### G/T Performance

LNA/LNB Noise Temperature	65K	45K	30K
ES93 G/T at 10° EL (dB/K)	30.0	30.9	31.8

Based on a 4-port, linearly-polarized antenna configuration at 4 GHz.

### Uplink EIRP Capability

HPA Output (watts)	125	500	3000
Uplink EIRP (dBW)	74.8	79.8	88.6

Based on a 2-port antenna configuration at 6.175 GHz and 0 dB allowance for waveguide (IFL) loss between the HPA and the antenna.

### Mechanical Specifications

Feed Type	Dual-Reflector, Gregorian
Reflector Material	Precision-Formed Aluminum
Reflector Segments	20
Mount Type	EI over Az, Tripod

Antenna Pointing Range, Coarse/(Continuous)	
Elevation	0-90° (90°)
Azimuth	180° (120°)
Polarization	180° (180°)

Hub/Enclosure Dimensions	
Diameter	84 in (2.31 m)
Depth	46 in (1.17 m)

Wind Loading, Survival	
125 mph (200 km/h) in any position of operation	

Wind Loading, Operational	
45 mph (72 km/h), gusting to 65 mph (105 km/h) (motor drives)	

Temperature, Operational	
-40° to 125°F (-40° to 52°C)	

Rain	
4 in (102 mm) per hour	

Solar Radiation	
360 BTU/hr/ft <sup>2</sup> (1135 watts/m <sup>2</sup> )	

Relative Humidity	
100%	

Shock and Vibration	
As encountered by commercial air, rail and truck shipment	

Atmospheric Conditions	
Moderate coastal/industrial areas. Severe conditions require additional protection.	

### Slab Foundation Information

Soil Bearing Capacity	2000 lb/ft <sup>2</sup> (9770 kg/m <sup>2</sup> )
-----------------------	---

Reinforcing Steel	2946 lb (1339 kg)
-------------------	-------------------

Concrete Compressive Strength	3000 lb/in <sup>2</sup> (211 kg/cm <sup>2</sup> )
-------------------------------	---

Foundation Size:	
Length	19.5 ft (5.94 m)
Width	19.5 ft (5.94 m)
Depth	2.5 ft (0.76 m)
Concrete Volume	35.2 yd <sup>3</sup> (27 m <sup>3</sup> )

Note: Other typical foundation designs are available.

### Typical Shipping Information

Net Weight	8000 lb (3629 kg)
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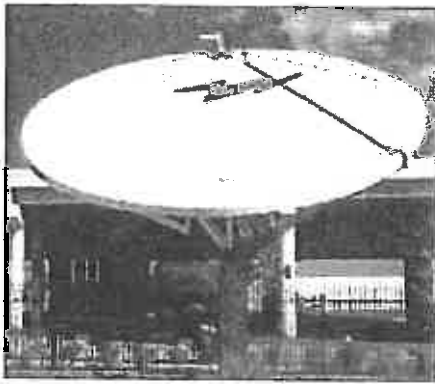
Gross Shipping Weight	11,154 lb (5059 kg)
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Shipping Volume	1280 ft <sup>3</sup> (36.3 m <sup>3</sup> )
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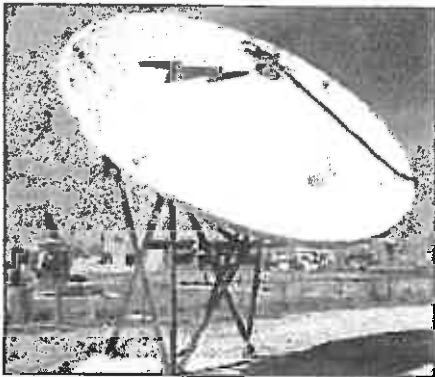
Shipping Container	Standard 40 ft land/sea container
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All designs, specifications and availabilities of products and services presented are subject to change without notice.

## 4.5-Meter C-, X- or Ku-Band



4.5-Meter Pedestal Mount



4.5-Meter Tripod Mount

### Antenna Accessories

- Factory Feed System Testing and Documentation*
- Transmit Waveguide Kits, Cross-Axis Az/EI/Pol Motorization Kits*
- Geostationary Indoor Antenna Positioner with 40 Satellite Memory*
- Inclined Orbit Tracking Indoor Antenna Positioner (steptrack)*
- Anti-Icing and Deicing*
- LNA Support Kits*
- Ocean Transport Packing*
- Grounding Kit*
- Foundation Kit*
- Lightning Rod Kit*
- Obstruction Warning Light Kit*
- Cable-Mounting Kit*
- Major Subsystem Spare Part Kits*
- Az/EI Vernier Kits*

### Features:

- *High Gain, Excellent Pattern Characteristics*
- *Main Reflector – No Special Field Alignment*
- *3-Year Warranty on All Structural Components*
- *MPJ Versions Supplied with 20,000 Pound Jacks for Both Az and EI Axis*

### Compliances:

- *APSTAR*
- *ASIASAT*
- *BRASILSAT*
- *INTELSAT E-2, E-1, F-1, G*
- *U.S. FCC Regulation 25.209*
- *ITU-R, S.580-5 and S.465-5*
- *Approved for use in the Territory of Russia by the Ministry of Communications of the Russian Federation (Reference: Homologation Certificate No OC/I-A -f-1)*

Now communications system integrators and designers can bring their systems on line faster, more economically, and with superior performance with the Andrew 4.5-meter Earth Station Antenna (ESA). In use around the world in high-density data, voice, communications networks, and broadcast applications, the Andrew 4.5-meter ESA features an exclusively designed 2- or 4-port prime focus, beam-shaping feed and ground plane configuration. This combination provides extremely accurate surface contour, exceptionally high gain, superior efficiency, and closely controlled pattern characteristics. The antenna is versatile, and can be configured for transmit/receive as well as receive-only, and for either linearly- or circularly-polarized C-Band, linearly-polarized Ku-Band, Hybrid C-/Ku-Band, or X-Band operation. Both pedestal and tripod mount types are available (motorization for pedestal only).

Andrew 4.5-meter ESAs feature exceptionally easy and accurate assembly. When using our optional hoisting kit no crane is necessary for installation. Additionally, the main reflector requires no special field alignment.

Andrew ESAs provide maximum durability with minimal maintenance. The hot-dipped galvanized steel ground mount assembly ensures extended product life. Galvanized and stainless steel hardware maximize corrosion resistance. For cost effective system expansion, available modular equipment options include anti-icing equipment and pressurization systems. Microprocessor steptrack control and motorizable mount options are also available.





## 4.5-Meter C-, X- or Ku-Band

### Electrical Specifications

Operating Frequency Band	
C-Band Receive	3.4-4.2 GHz
C-Band Transmit	5.850-6.725 GHz
X-Band Receive	7.25-7.75 GHz
X-Band Transmit	7.90-8.40 GHz
Ku-Band Receive	10.7-13.25 GHz
Ku-Band Transmit	13.75-14.8 GHz

Gain, with 2 port linear combiner (dBi, ±0.2dB)			
Rx Frequency	Rx Gain	Tx Frequency	Tx Gain
3.400 GHz	42.4	5.850 GHz	46.0
3.625 GHz	42.8	6.175 GHz	46.3
4.000 GHz	43.9	6.425 GHz	46.6
4.200 GHz	44.2	6.725 GHz	47.0
7.250 GHz	48.4	7.90 GHz	49.2
7.500 GHz	48.7	8.15 GHz	49.5
7.750 GHz	49.0	8.40 GHz	49.8
10.700 GHz	51.4	13.75 GHz	53.2
10.950 GHz	51.6	14.00 GHz	53.4
11.950 GHz	52.4	14.25 GHz	53.6
12.750 GHz	52.9	14.50 GHz	53.7
13.25 GHz	53.2	14.80 GHz	53.8

**Polarization**  
Linearly- or Circularly-Polarized

**Polarization Discrimination, (Linearly-Polarized):**  
>35 dB on axis

**Voltage Axial Ratio, C-Band, circularly-polarized with 2-port combiner**  
C-Band, <1.09:1 on axis, Tx  
<1.20:1 on axis, Rx  
X-Band, <1.20:1 on axis, Tx and Rx

	Beamwidth, Mid-band, Degrees		
	C-Band	X-Band	Ku-Band
3 dB Receive (Transmit)	1.22 (0.85)	0.66 (0.60)	0.40 (0.35)
15 dB Receive (Transmit)	2.47 (1.90)	1.40 (1.29)	0.84 (0.67)

**Antenna Noise Temperature** – under clear sky conditions, at 68°F (20°C), at the circular waveguide flange of the feed.

Elevation	Kelvin (C-Band)	Kelvin (X-Band)	Kelvin (Ku-Band)
10°	44	45	53
30°	32	34	41
50°	28	29	38

**Antenna VSWR, Transmit and Receive** <1.3:1

### G/T Performance (C-Band)

LNA/LNB Noise Temperature	65K	45K	30K
ES45 G/T at 10° EL (dB/K)	23.4	24.3	25.0

Based on a 2-port, linearly-polarized antenna configuration at 4 GHz and at 10° elevation under clear sky conditions.

### G/T Performance (X-Band)

LNA/LNB Noise Temperature	100K	75K	50K
ES45 G/T at 10° EL (dB/K)	26.5	27.2	28.1

Based on a 2-port, circularly-polarized antenna configuration at 7.5 GHz and at 10° elevation under clear sky conditions.

### G/T Performance (Ku-Band)

LNA/LNB Noise Temperature	165K	125K	90K
ES45 G/T at 10° EL (dB/K)	29.1	29.9	30.8

Based on a 2-port, circularly-polarized antenna configuration at 12 GHz and at 10° elevation under clear sky conditions.

### Uplink EIRP Capability (C-Band)

HPA Output (watts)	25	125	500
Uplink EIRP (dBW)	60.5	67.5	73.5

Based on a 2-port antenna configuration at 6.175 GHz and 0 dB allowance for waveguide (IFL) loss between the HPA and the antenna.

### Uplink EIRP Capability (X-Band)

HPA Output (watts)	25	125	500
Uplink EIRP (dBW)	63.3	69.3	75.3

Based on a 2-port antenna configuration at 8.15 GHz and 0 dB allowance for waveguide (IFL) loss between the HPA and the antenna.

### Uplink EIRP Capability (Ku-Band)

HPA Output (watts)	25	125	500
Uplink EIRP (dBW)	60.5	67.5	73.5

Based on a 2-port antenna configuration at 6.175 GHz and 0 dB allowance for waveguide (IFL) loss between the HPA and the antenna.

### Mechanical Specifications

Feed Type	Prime Focus
Reflector Material	Precision-Formed Aluminum
Reflector Segments	6
Mount Type	EI over Az, Manual Tripod or Pedestal

Antenna Pointing Range, Pedestal Mount Coarse/(Continuous)	
Elevation	0-90° (90°)
Azimuth	180° (120°)

Antenna Pointing Range, Tripod Mount Coarse/(Continuous)	
Elevation (Standard)	2-62° (15°)
Elevation (Extended)	33-90° (15°) optional
Azimuth	164° (15°)

**Wind Loading, Survival**  
125 mph (200 km/h) in any position of operation

**Wind Loading, Operational (pedestal motorized)**  
45 mph (72 km/h), gusting to 65 mph (105 km/h) (motor drives)

**Temperature, Operational** -40° to 125°F (-40° to 52°C)

**Rain** 4 in (102 mm) per hour

**Solar Radiation** 360 BTU/hr/ft<sup>2</sup> (1135 watts/m<sup>2</sup>)

**Relative Humidity** 100%

**Shock and Vibration** As encountered by commercial air, rail and truck shipment

**Atmospheric Conditions** Moderate coastal/industrial areas. Severe conditions require additional protection.

### Pedestal/Tripod Slab Foundation

**Soil Bearing Capacity** 2000 lb/ft<sup>2</sup> (9770 kg/m<sup>2</sup>)

**Reinforcing Steel** 284 lb (129 kg)

**Concrete Compressive Strength** 3000 lb/in<sup>2</sup> (211 kg/cm<sup>2</sup>)

Foundation Size:	
Length	10.0 ft (3.05 m)
Width	10.0 ft (3.05 m)
Depth	18 in (0.5 m)
Concrete Volume	5.56 yd <sup>3</sup> (4.25 m <sup>3</sup> )

### Shipping Information

<b>Shipping Weight</b>	
4.5 m (P, MP, MPJ Types)	6000 lb (2722 kg)
4.5 m (T Types) Tripod	5600 lb (2540 kg)

**Shipping Volume** 690 ft<sup>3</sup> (19.5 m<sup>3</sup>)

<b>Shipping Container</b>	
4.5 m (P, MP, MPJ Types)	Standard 20 ft land/sea container
Quantity 2	
Quantity 5	Standard 40 ft land/sea container
4.5 m (T Types)	Standard 20 ft land/sea container
Quantity 2	
Quantity 5	Standard 40 ft land/sea container

All designs, specifications and availabilities of products and services presented are subject to change without notice.



K U - B A N D



# VERTEX 6.1-METER

## Model 6.1 KPK (Kingpost Pedestal)

E A R T H   S T A T I O N   A N T E N N A S

This 6.1 Meter antenna is the industry standard for worldwide Ku-Band transmit/receive applications.

The Model 6.1 KPK antenna offers a proven high efficiency, low noise temperature Cassegrain configuration. This reflector has highly accurate flat reflector surface. The reflector incorporates casted metal mesh antenna, and is supported by a rigid antenna structure. The reflector is supported by a rigid antenna structure. The antenna is supported by a rigid antenna structure. The antenna is supported by a rigid antenna structure.

The antennas meet the requirements for FCC 2<sup>nd</sup> satellite spacing and INTELSAT Ku-Band specifications.

Options:

- Two port, three port, and four port TX/Rx linear polarized feeds
- Reflector and feed backing full size flat reflector antennas with integral or separate back-panels
- Vertical or horizontal polarization, elevation and polarization drive systems with controls and displays
- High water content epoxies with back-panels
- Various installation or transportation configurations

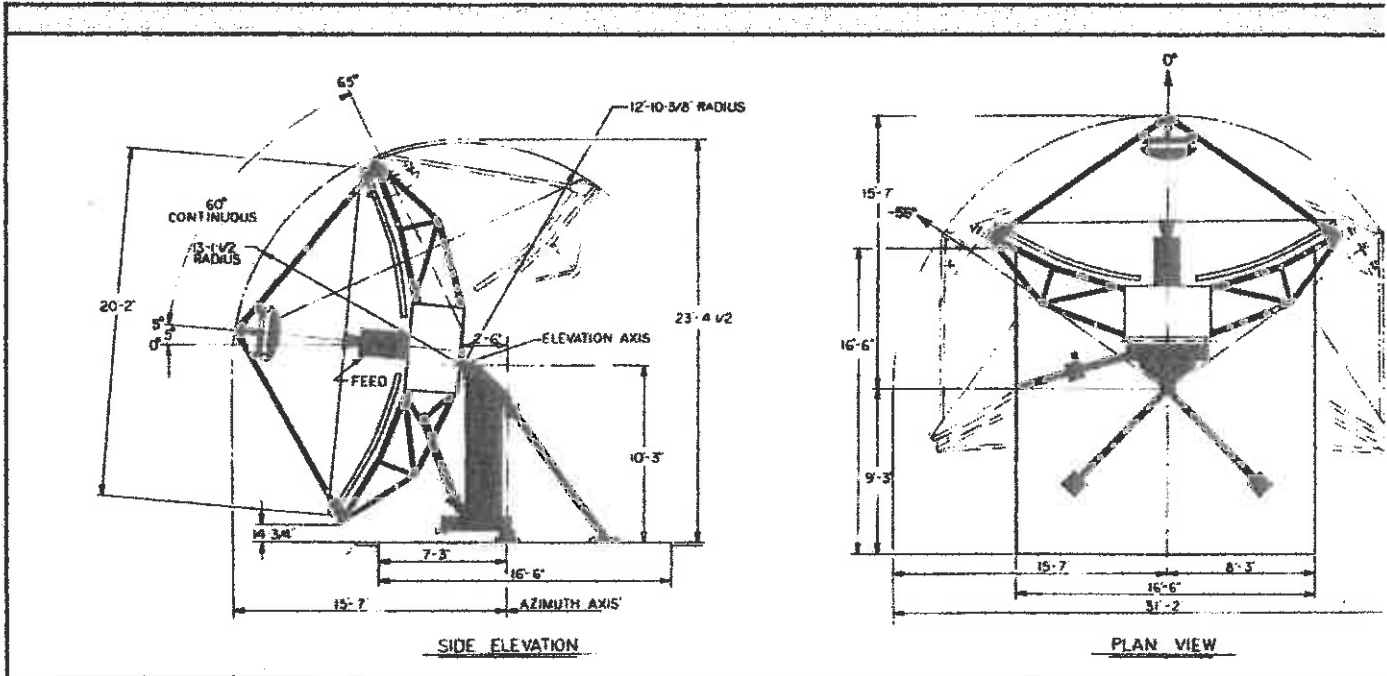


VERTEX COMMUNICATIONS CORPORATION

Frequency*	11.7-12.2 GHz	14.0-14.5 GHz
Typical Gain at Midband	55.7 dBi	57.1 dBi
VSWR	1.25:1	1.25:1
Beamwidth: -3 dB	0.29°	0.24°
-15 dB	0.60°	0.50°
Antenna Noise Temperature at Midband	2 Port Feed	
5° Elevation	68°K	
10° Elevation	49°K	
20° Elevation	39°K	
40° Elevation	36°K	
Typical G/T at 20° Elevation, Clear Horizon, 12 GHz		
With 250°K LNA, dB/°K	30.9	
With 190°K LNA, dB/°K	31.9	
Power Handling Capability**	1 kW	
Feed Interface	WR-75 Choke	WR-75 Flat
Feed Insertion Loss	0.25 dB	0.25 dB
Port-to-Port Isolation: Tx to Rx	30 dB	30 dB
Cross Polarization Isolation: On Axis LP	35 dB	35 dB
Within 1 dB Beamwidth	30 dB	30 dB
SideLobes: 1st SideLobe	-14 dB	
1° to 7°	29-25 Log $\theta$ dBi	
7° to 9.2°	+8 dBi	
9.2° to 48°	32-25 Log $\theta$ dBi	
48° to 180°	-10 dBi	
* Other Frequencies available		
** Higher power optional		

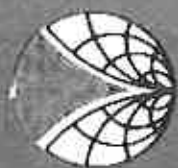
Operational Winds	45 mi/ to 80 r
Survival Winds (Any Position)	125 mi @ 58°
Ambient Temperature (Survival)	-29° (-20°)
Rain (Operational and Survival)	Up to
Relative Humidity (Operational and Survival)	0% to with cc
Solar Radiation	360 BT (1000 l)
Radial Ice (Survival)	1 inch all surf (1.3 cm with 8C wind g
Shock and Vibration	As enc shipme cial air
Corrosive Atmosphere	As enc coastal heavily areas
Seismic (Survival)	0.3 G's 0.1 G's

Specifications and product availability subject to change without notice.



Azimuth Travel*	110° continuous*	Finishes:	
Azimuth Travel Rate	0.5°/second, variable	Reflector Surface	Aluminum panels with heat-dil white paint
Elevation Travel	5° to 65° continuous	Pedestal	Red oxide primer, and two co
Elevation Travel Rate	0.5°/second, variable	Surface Accuracy	0.020 inch (.5mm) Static
Polarization Travel	± 90°	Foundation Size	16.5 ft x 18.5 ft x 1.5 ft (5.0 m x 5.0 m x .48 m)
Polarization Travel Rate	1.5°/second	Concrete Volume	15.5 cubic yards (11.8 m³)
Weight - Reflector	1,700 pounds (771 kg)	Reinforcing Steel	1,460 pounds (662 kg)
Weight - Pedestal	1,700 pounds (771 kg)	Soil Bearing Pressure	2,000 PSF (10,000 kg/m²)
Shipping Weight (Typical)	4,850 pounds (2,204 kg)		
Shipping Volume	750 cubic feet (20 m³)		
* Other travel options available upon request.			





# Radiation Systems, Inc.

Models 920CS and 920KS

SatCom Technologies Division

## 9.2-Meter Satellite Earth Station Antenna

### Features

- Qualified for 2° satellite spacing
- Meets FCC requirements for video uplinks
- Complete arc coverage in less than one minute with high speed motorized option
- Programmable control system
- Protection and maintenance of 1 NA's afforded by extra large hub
- Stiff, rugged mount for accurate pointing

### Description

The Model 920CS (C-Band) and 920KS (Ku-Band) antennas are designed for high performance video, message and data communications. These antennas meet the new FCC requirements for 2° satellite spacing.

Superior RF performance is achieved through the use of precision AccuShape® reflector panels and dual shaped Cassegrain optics. Both C-Band and Ku-Band feeds employ corrugated horns to ensure high cross-polarization isolation levels. The Ku-band feed includes a blower that forces air across the feed window to prevent the accumulation of moisture.

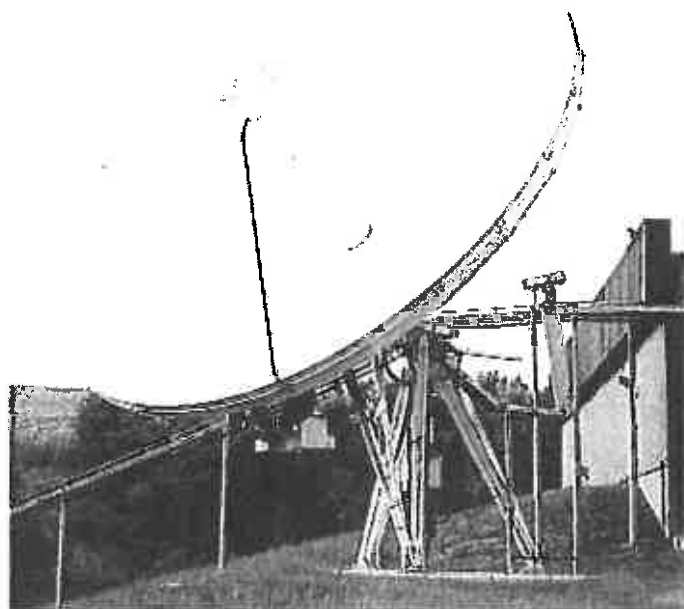
Twenty-four high strength aluminum panels provide the durability needed to withstand rough handling and a wide range of environmental conditions. The panels are mounted to radial members which attach to a central hub. The hub also provides a weather-tight enclosure for protection of low noise amplifiers.

The hot-dipped galvanized steel mount employs a straight-forward elevation-over-azimuth geometry to allow easy pointing to any visible satellite within the orbital arc. A margin of safety has been built into the design to ensure antenna support under adverse environmental conditions. The mount's stiff, rugged construction provides the pointing accuracy needed for proper operation under wind loading.

With the optional motorized drives, the antenna can be rapidly repositioned to different satellites in a continuous 110° azimuth arc. Several drive speed options are available.

The optional Series 4000 microprocessor-based programmable control system is capable of positioning the antenna to within .02° accuracy. In the manual mode, it allows an operator to run each axis while monitoring the position on a video terminal. In the automatic mode, it can store up to 40 satellite positions and automatically direct the antenna to any position according to a pre-programmed schedule. Options are available for program track and for controlling other earth station components. See the Series 4000 data sheet for more information.

AccuShape® is a precision metal contouring process proprietary to Radiation Systems, Inc.



### Options

- Motorized drives with programmable 3-axis (elevation, azimuth, polarization) controller.
- 180° azimuth travel in two 90° sectors.
- 145° azimuth travel in overlapping 110° and 90° sectors.
- Deicing systems.

• Feeds with the following polarizations:

Receive Only	Receive/Transmit
Single linear	Orthogonal linear
Dual linear	Circular
Dual circular	Coplanar linear
	3-port linear frequency reuse
	4-port frequency reuse (linear or circular)

- Work platform and ladder
- Lightning arrestors
- Hub fans, light and duplex AC outlet

## Electrical

	C-Band Model 920CS		Ku-Band Model 920KS		
	Receive	Transmit	Receive <sup>1</sup>	Receive <sup>1</sup>	Transmit
Frequency	3.7-4.2GHz	5.925-6.425GHz	10.95-11.2GHz	11.7-12.2GHz	14.0-14.5GHz
Gain (Midband)	50.1 dBi	53.6 dBi	58.5 dBi	59.2 dBi	60.2 dBi
VSWR	1.30:1	1.30:1	1.30:1	1.30:1	1.30:1
Beamwidth: - 3dB	0.52°	0.37°	0.20°	0.18°	0.15°
-15 dB	1.07°	0.77°	0.41°	0.38°	0.30°
First Sidelobe Level	-14 dB	-14 dB	-14 dB	-14 dB	-14 dB
Radiation Pattern <sup>2</sup>	Meets current FCC and Intelsat specifications		Meets current FCC, Intelsat, and Eutelsat specifications		
Antenna Noise Temperature (ref. omt port), Typical <sup>3</sup>					
Elevation: 10°	34°K		50°K	50°K	
20°	24°K		40°K	40°K	
30°	19°K		37°K	37°K	
Power Handling Capability	5kW CW				2kW CW
Cross-Pol Isolation: On-Axis	35 dB	35 dB	35 dB	35 dB	35 dB
Off-Axis	30 dB	30 dB	30 dB	30 dB	30 dB
Feed Port Isolation: RX/RX	35 dB			35 dB	
TX/HX		35 dB		35 dB	

<sup>1</sup>Choose one receive band. Other bands and special wideband feeds are available.

<sup>2</sup>Radiation distribution envelopes are available upon request.

<sup>3</sup>For single linear receive port. Check factory for other polarizations.

## Mechanical

Antenna Diameter	9.2 Meters	Antenna Travel Rate (Motorized Options)	
Antenna Type	Cassograin	Azimuth	
Reflector Construction	24 panels, AccuShape®	Standard Speed	0.5°/sec.
Mount Type	Elevation-over-azimuth	High Speed	2°/sec.
		Low Speed	0.01°/sec.
Antenna Travel		Elevation	
Elevation	5° to 90°	Standard Speed	0.5°/sec.
Azimuth	110° continuous - standard	High Speed	1°/sec.
	180° in two sectors - optional	Low Speed	0.01°/sec.
	145° in overlapping 110° and 90° sectors - optional	Polarization	
Polarization Adjustment		Standard Speed	2°/sec.
Manual	360°	Low Speed	0.2°/sec.
Motorized	±90°	Feed Interface	
Hub Equipment		Receive	Model 920CS
Enclosure		Transmit	CPR229G
Dimensions (inside)	45" dia. x 56" long	Weight	CPR137G
		Net	10,000 lbs.
		Shipping	12,000 lbs.
		Shipping Volume	1200 ft. <sup>3</sup>

## Environmental

Wind Loading at 32°F	Operational: 45 mph gusting to 65 mph
	Survival <sup>1</sup> : 125 mph, no ice — 87 mph with 1" radial ice
Pointing Accuracy	Model 920CS
30 mph wind gusting to 45 mph	.032°rms
45 mph wind gusting to 65 mph	.060°rms
Temperature Range	Model 920KS
Operational or Survival <sup>1</sup>	.030°rms
	.059°rms
Atmospheric Conditions	-40°F to 125°F Manual Drives
	-20°F to 125°F Motorized Drives
	-40°F to 125°F Motorized Drives (optional)
	Salt, pollutants and corrosive contaminants as found in coastal and industrial areas.

<sup>1</sup>Survival conditions for wind and temperature considered separately.

All specifications are subject to change without notice.

6/1/88

## Radiation Systems, Inc.

1501 Moran Road, Sterling, Virginia 22170 • Telephone (703) 450-5680

DIVISIONS: ELECTROMECHANICAL SYSTEMS (813) 541-8581 • MARK ANTENNAS (312) 298-9420 • SATCOM TECHNOLOGIES (404) 497-8800  
TECHNICAL PRODUCTS (703) 450-5680 • UNIVERSAL ANTENNAS (214) 690-8865

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

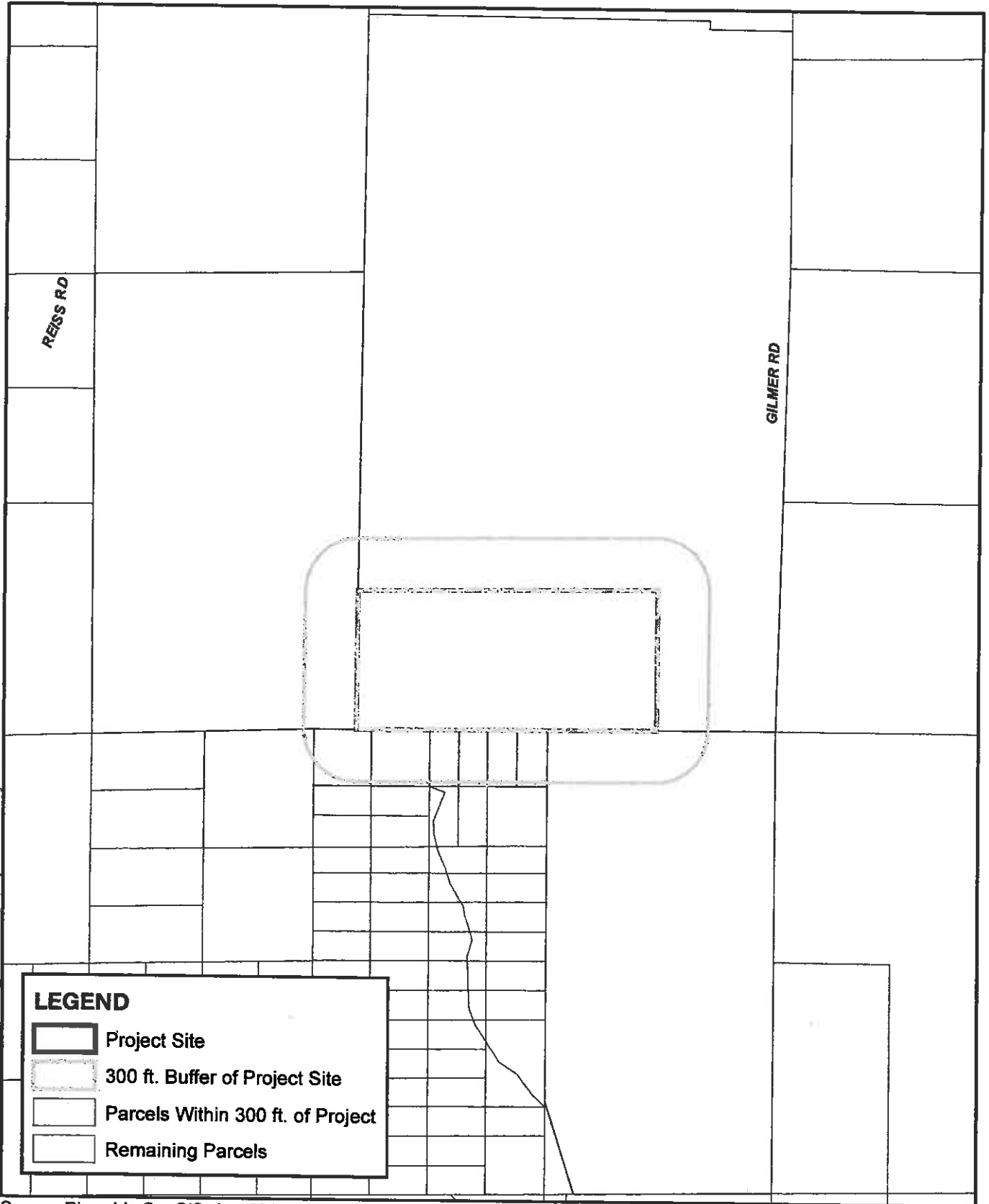
TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1127MA15 – Level 3 Communications/VYVX, LLC, c/o Robert DiOrio/Allen Holdings (Representative: Nicole Torstvet, Albert A. Webb and Associates) – County of Riverside Case Nos. CZ07868 (Change of Zone) and CUP 03726 (Conditional Use Permit). CUP03726 is a proposal to construct and operate eleven (11) additional satellite communications antennae and all other necessary and related supporting equipment within an existing satellite communications center on 4.7 acres of a 31.3-acre site located westerly of a southerly extension of Gilmer Road, southerly of a westerly extension of Olympia Avenue, easterly of a southerly extension of Reiss Road, and northerly of the City of Lake Elsinore boundaries, on Assessor's Parcel Numbers 343-040-012 and 343-040-013. The site has an address of 19993 Santa Rosa Mine Road, Perris, CA 92570. One antenna will have a height of 53 feet, seven will have heights of 30 feet, and 3 will have heights of 16 feet. CZ07868 is a proposal to change the zoning on those properties from R-A-5 (Residential Agricultural, 5 acre minimum lot size) to A-1-5 (Light Agriculture, 5 acre minimum lot size). (Airport Compatibility Zone E/High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area)

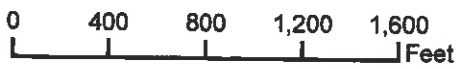
FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Mark Corcoran of the Riverside County Planning Department, at (951) 955-3025.

G:\2015\15-0014\GIS\Parcels\_300ft.mxd; Map created 16 Jun 2015



Source: Riverside Co. GIS, Apr. 2015.

### Parcels Within 300 ft. of Project



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ZAP1127MA15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application \_\_\_\_\_

Property Owner

VYVX, LLC c/o Robert Diorio

Phone Number 951-943-0820

Mailing Address

1 Technology Center No. TC11X

Tulsa, OK 74103

Agent (if any)

Albert A Webb Associates c/o Sandy Chandler

Phone Number 951-686-1070

Mailing Address

3788 McCray St.

Riverside, CA 92506

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address

Santa Rosa Mine Road

Assessor's Parcel No.

343-040-012, 343-040-013

Parcel Size 31.3 Acres

Subdivision Name

n/a

Lot Number

n/a

Zoning Classification Existing: R-A-5/Proposed: A-1-E

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe)

Satellite Communications Center: 26.6 acres has no use; 4.7 acres is used for Satellite Communications Center. There are buildings, building additions, parking, or other structures proposed other than additional antennas within the boundary of the existing facility.

Proposed Land Use (describe)

Satellite Communications Center: 26.6 acres has no use; 4.7 acres is used for Satellite Communications Center. There are buildings, building additions, parking, or other structures proposed other than additional antennas within the boundary of the existing facility.

For Residential Uses

Number of Parcels or Units on Site (exclude secondary units)

n/a

For Other Land Uses

Hours of Use

n/a

(See Appendix C)

Number of People on Site

Maximum Number n/a

Method of Calculation

n/a

Height Data

Height above Ground or Tallest Object (including antennas and trees)

110 (existing antenna)

ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site

2070.91 Ft. (existing 50 Ft. antenna)

ft.

Flight Hazards

Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?

Yes

No

If yes, describe \_\_\_\_\_



**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received	<u>04/29/2015</u>	Type of Project
Agency Name	<u>County of Riverside</u>	<input type="checkbox"/> General Plan Amendment
	<u>Planning Department</u>	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Staff Contact	<u>Mark Corcoran</u>	<input type="checkbox"/> Subdivision Approval
Phone Number	<u>951-361-0900</u>	<input type="checkbox"/> Use Permit
Agency's Project No.	<u>CZ07868, CUP03726, EA42778</u>	<input type="checkbox"/> Public Facility
		<input checked="" type="checkbox"/> Other <u>Plot Plan</u>

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 4.2

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1129MA15 – JM Realty/LNR Riverside, LLC  
(Representative: Adam Corral, Kimley-Horn and Associates)

**APPROVING JURISDICTION:** March Joint Powers Authority

**JURISDICTION CASE NO:** PP 15-01 (Plot Plan), VAR 15-01 (Variance)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The Plot Plan is a proposal to construct a 99,743 square foot industrial warehouse building and a 92,725 square foot industrial warehouse building (each including 6,000 square feet of first floor office space and 3,600 square feet of second floor office space) on 9.9 net acres. The Variance proposes to allow building heights of 38 feet, which exceeds both the standard of 35 feet and the proposed minimum setback of 35 feet from the rear property line.

**PROJECT LOCATION:** The site is located westerly of Interstate 215, easterly of Opportunity Way, and northerly of Van Buren Boulevard, within the land use jurisdiction of the March Joint Powers Authority, approximately 1,650 feet westerly of the northerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone B2
- c. Noise Levels: 65-70 CNEL from aircraft

**BACKGROUND:**

Exception Area: The project is located within the March Business Center/Meridian Specific Plan which was included as an exception area pursuant to the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. A project located within this exception area that complies

with the Specific Plan criteria would typically not require submittal to ALUC. However, the project includes a variance from the Specific Plan to allow a greater height than would typically be allowed by the Specific Plan, unless all setbacks matched or exceeded the proposed height.

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone B2. Zone B2 limits average intensity to 100 people per acre. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed building:

- Warehouse – 1 person per 500 square feet
- Office – 1 person per 200 square feet (with 50% reduction)

Based on the site plan provided, the two buildings would include a total maximum of 12,000 square feet of first floor and 7,200 square feet of second floor office space, with the remaining 173,268 square feet as warehouse area for a total occupancy of 442.5 people. Based on the 9.9 acres, this results in an average intensity of 44.7 people per acre, which is compatible with the Zone B2 average acre criterion of 100. The project would comply with the average intensity standard even if the entire square footage of each building consisted of office space.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces provided of 154 and truck docks of 52, the total occupancy would be estimated at 283 people. Based on the 9.9 acres, this results in an average intensity of 29 people per acre, which is also compatible with the Zone B2 average acre criterion of 100.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone B2 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided, each of the buildings would be divided into 4 separate units, each with 1,500 square feet of 1<sup>st</sup> floor office and 900 square feet of 2<sup>nd</sup> floor office. The maximum single-acre area based on the site plan provided would include the office areas from two units (3,000 square feet of 1<sup>st</sup> floor office and 1,800 square feet of 2<sup>nd</sup> floor office) and the remaining single-acre area consisting of warehouse (40,560 square feet). This would result in a single-acre occupancy of 105, which would be consistent with the single-acre criterion

However, based on a worst case scenario with all of the office areas within a single-acre area and the occupancies as previously noted, the maximum single-acre area would consist of all of the 6,000 square feet of 1<sup>st</sup> floor office area, 3,600 square feet of 2<sup>nd</sup> floor office area, and 37,560 square feet of warehouse area. This would result in a single-acre occupancy of 123, which would also be consistent with the single-acre criterion.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone B2.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area between 65-70 CNEL range from aircraft noise. As an industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the warehouse area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to ensure adequate noise attenuation is provided for office uses.

Part 77: The elevation of Runway 14-32 at its northerly terminus is approximately 1535 feet above mean sea level (1535 feet AMSL). At a distance of approximately 1,650 feet from the runway to the parcel, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1551.5 feet AMSL. The project proposes a maximum finished floor elevation of approximately 1556 feet AMSL. The proposed buildings have a maximum height of 38 feet for a potential maximum building elevation of 1594 feet AMSL. Therefore, review of the proposed building by the FAA Obstruction Evaluation Service is required for height/elevation reasons. The applicant submitted the project to FAA, which assigned Aeronautical Study Numbers of 2015-AWP-6757-OE and 2015-AWP-6758-OE. Determinations of No Hazard to Air Navigation have been issued for 2015-AWP-6757-OE and 2015-AWP-6758-OE, and are included herewith.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including churches and places of worship), noise sensitive outdoor nonresidential uses and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  4. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings. While not required, the applicant and its successors-in-interest are encouraged to provide a copy of said notice to employees who would regularly be working therein.
  5. The proposed detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
  6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

7. This project has been evaluated as a proposal for the establishment of warehouse buildings with ancillary office uses. Prior to the establishment of any of the following uses in these structures, March Joint Powers Authority shall either prepare an occupancy analysis to verify that single-acre intensity limits of Airport Compatibility Zone B2 will not be exceeded, or shall require additional review by the Airport Land Use Commission:

Medical clinics, retail sales, veterinary clinics, animal hospitals, animal care/pet hotels, instructional services, trade schools, laundry services, social service institutions, and mortuaries.

8. Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The City of Riverside shall require an acoustical study to ensure compliance with this requirement.
9. The Federal Aviation Administration has conducted aeronautical studies of the proposed buildings (Aeronautical Study Nos. 2015-AWP-6757-OE and 2015-AWP-6758-OE) and has determined that neither marking nor lighting of the buildings is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
10. The maximum height of the proposed buildings shall not exceed 38 feet above ground level for either building, and the maximum elevation of proposed building 1 shall not exceed 1,593 feet above mean sea level and the maximum elevation of proposed building 2 shall not exceed 1,594 feet above mean sea level.
11. The specific coordinates, height, and top point elevation of the proposed buildings shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
12. Temporary construction equipment used during actual construction of the pylon sign shall not exceed 38 feet in height, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
13. Within five (5) days after construction of the buildings reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the buildings.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
2601 Meacham Boulevard  
Fort Worth, TX 76193

Aeronautical Study No.  
2015-AWP-6757-OE

Issued Date: 07/10/2015

Joe McKay  
JM Realty Group  
3535 Inland Empire Boulevard  
Ontario, CA 91764

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Building 1  
Location: Moreno Valley, CA  
Latitude: 33-53-29.10N NAD 83  
Longitude: 117-16-31.82W  
Heights: 1555 feet site elevation (SE)  
38 feet above ground level (AGL)  
1593 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 01/10/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within



6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-6757-OE.

**Signature Control No: 255448031-257489378**

Karen McDonald

Specialist

( DNE )

Attachment(s)

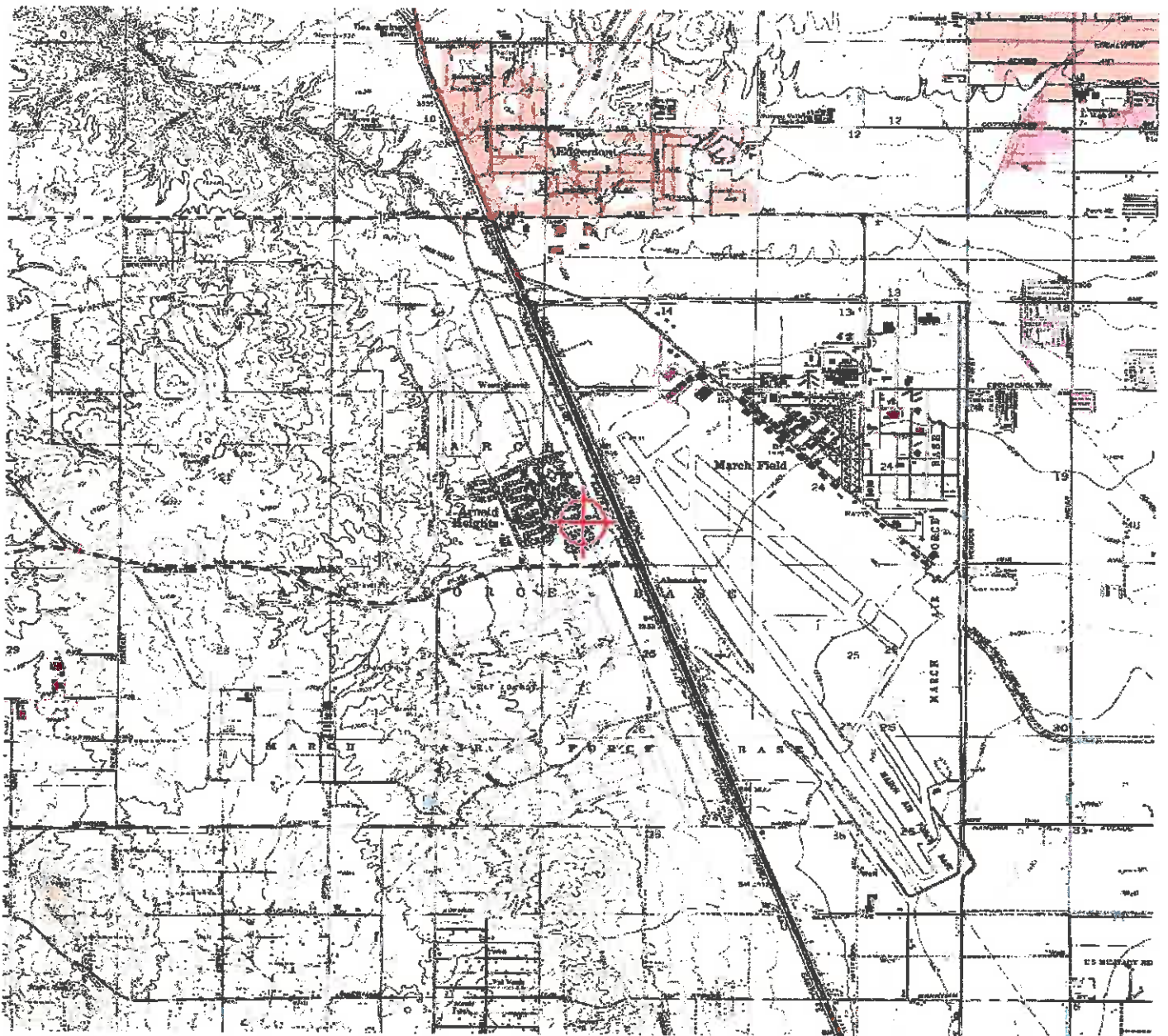
Case Description

Map(s)

**Case Description for ASN 2015-AWP-6757-OE**

Project is a proposed Industrial Business Park including two buildings with truck bays. Maximum height on both buildings is 38'.

TOPO Map for ASN 2015-AWP-6757-OE





Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
2601 Meacham Boulevard  
Fort Worth, TX 76193

Aeronautical Study No.  
2015-AWP-6758-OE

Issued Date: 07/02/2015

Joe McKay  
JM Realty Group  
3535 Inland Empire Boulevard  
Ontario, CA 91764

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Building 2  
Location: Moreno Valley, CA  
Latitude: 33-53-26.11N NAD 83  
Longitude: 117-16-31.77W  
Heights: 1556 feet site elevation (SE)  
38 feet above ground level (AGL)  
1594 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 01/02/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-6758-OE.

**Signature Control No: 255448032-256729491**

Karen McDonald  
Specialist

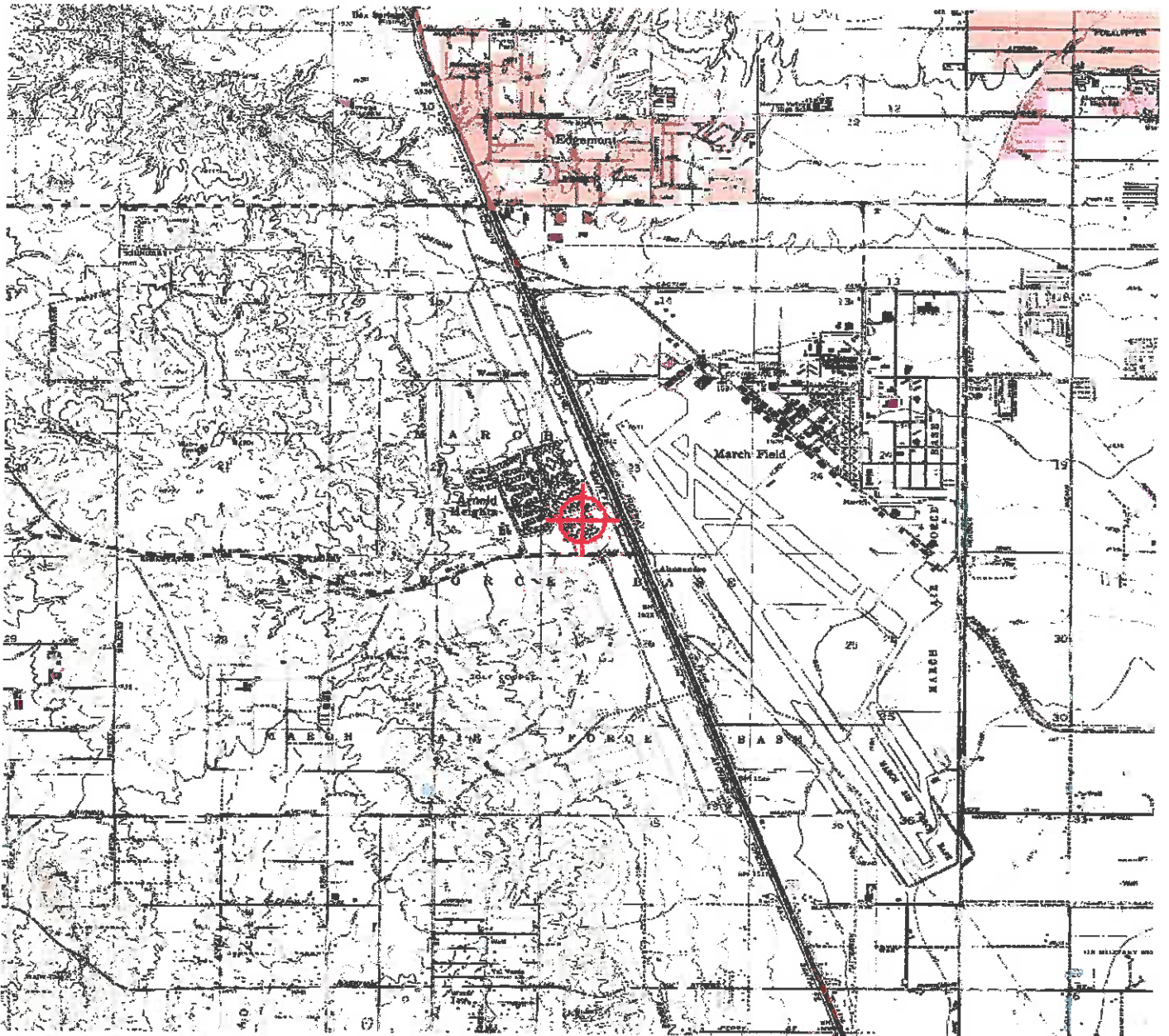
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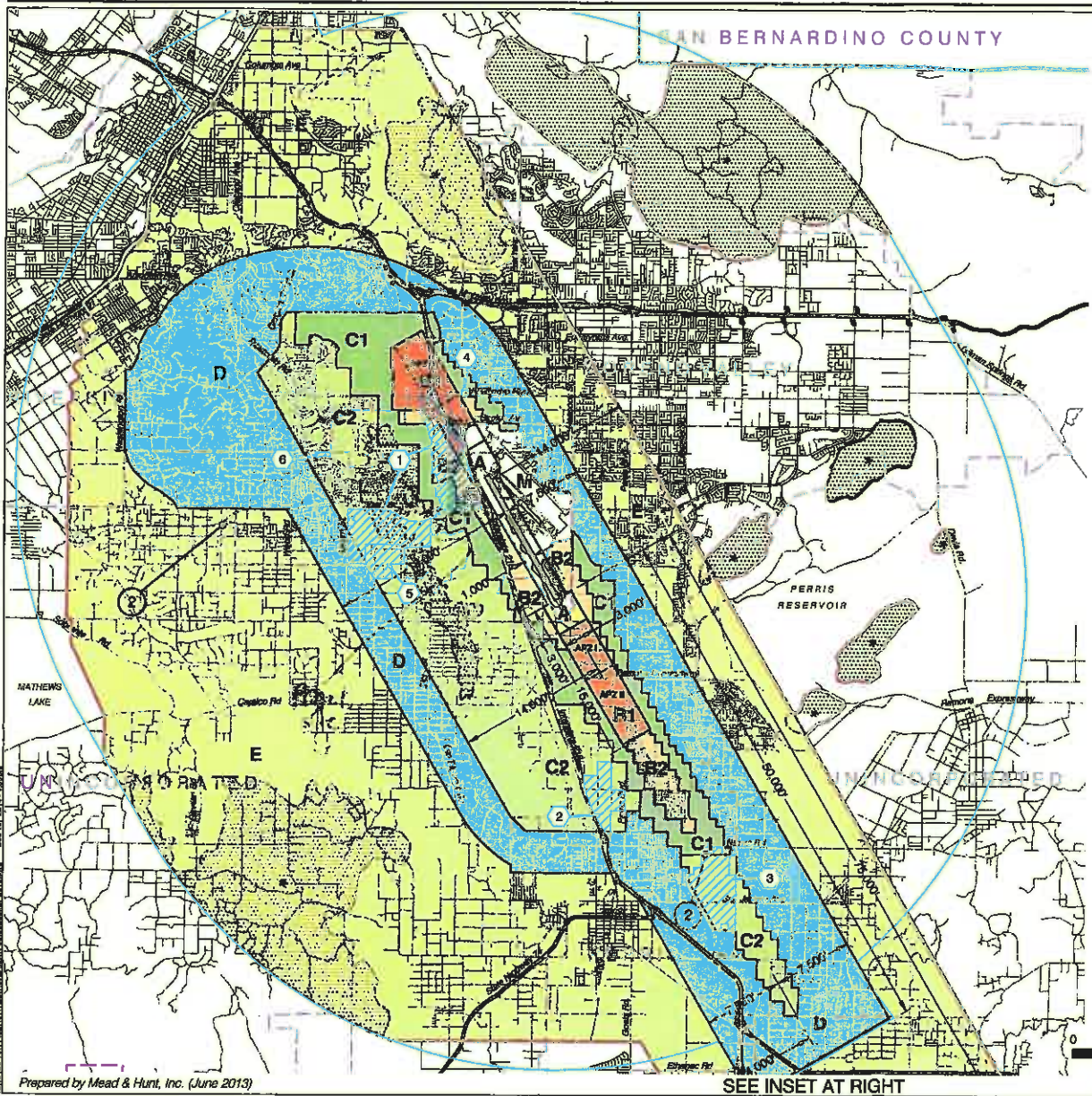
Attachment(s)  
Case Description  
Map(s)

## **Case Description for ASN 2015-AWP-6758-OE**

Project is a proposed Industrial Business Park including two buildings with truck bays. Maximum height on both buildings is 38'.

TOPO Map for ASN 2015-AWP-6758-OE





**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

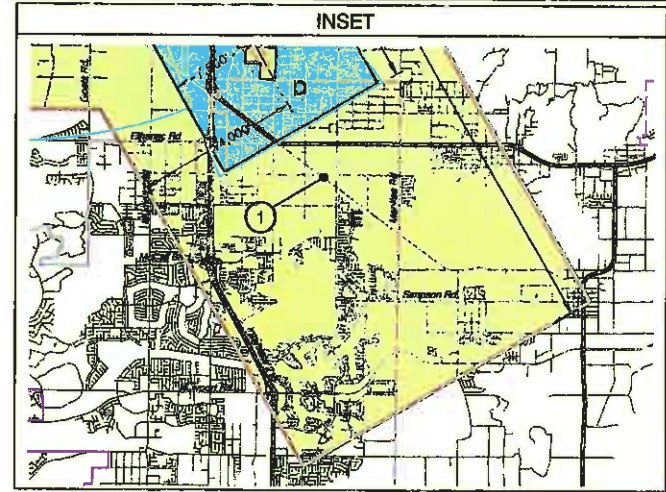
**High Terrain Zone**

- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,536 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ban Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)**

Note:  
 All dimensions are measured from runway ends and centerlines.



SEE INSET AT RIGHT

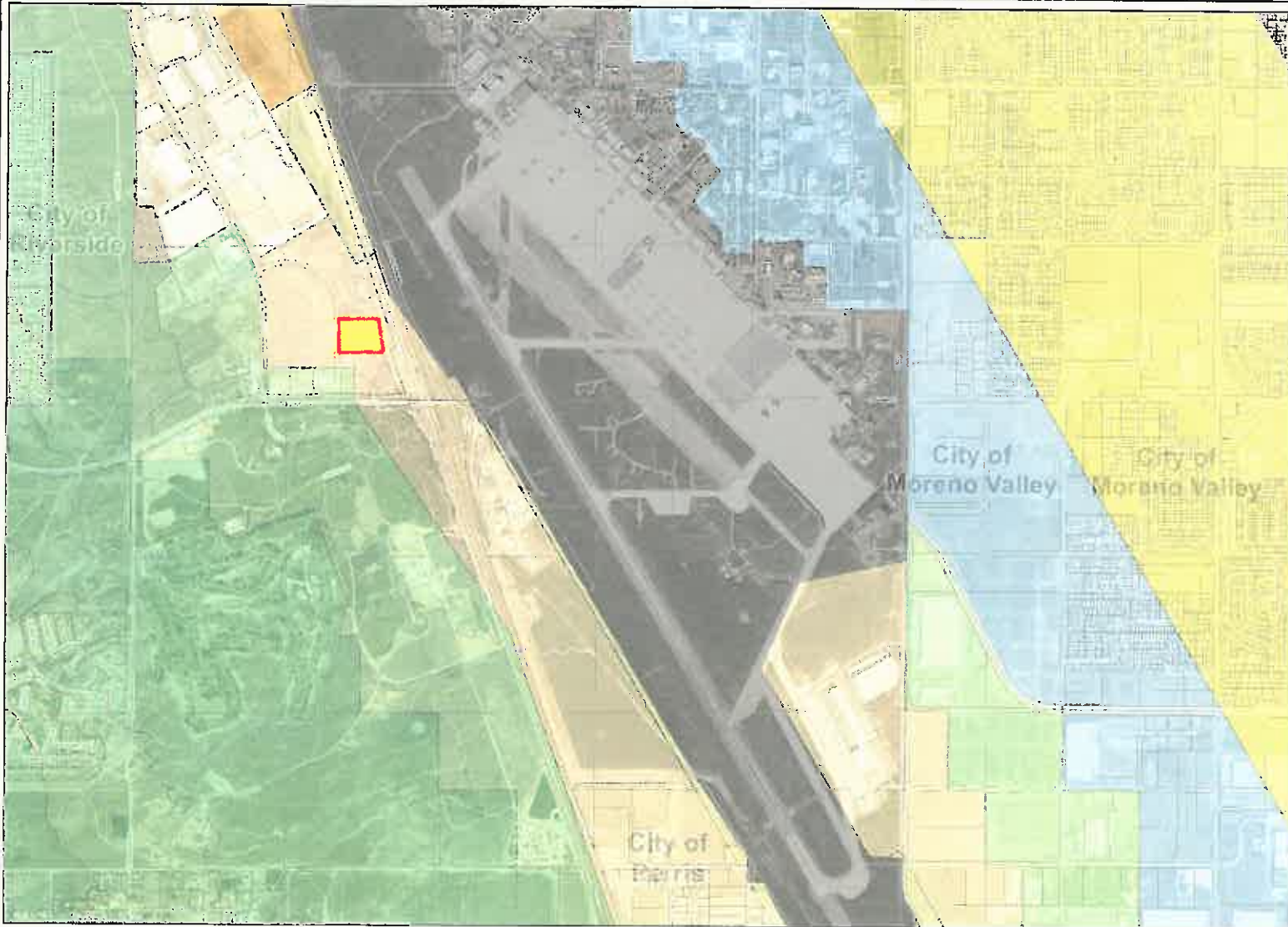
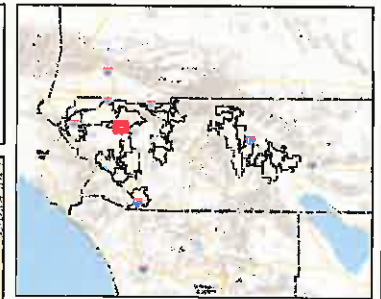
Prepared by Mead & Hunt, Inc. (June 2013)

Base map source: County of Riverside 2013

Map MA-1  
**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport



# My Map



## Legend

### Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1
- C2-HIGHT-EXC5



0 3,176 6,352 Feet



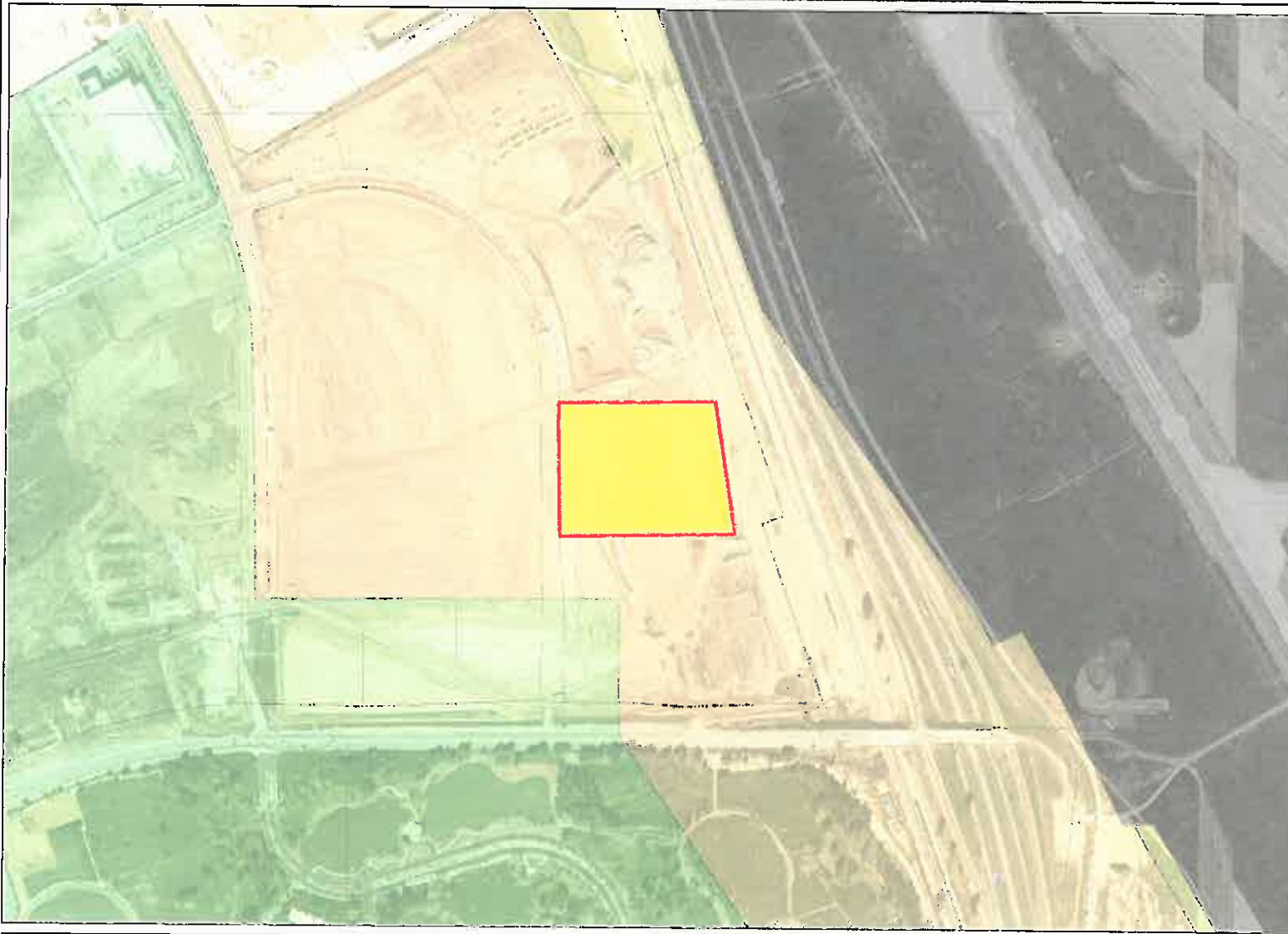
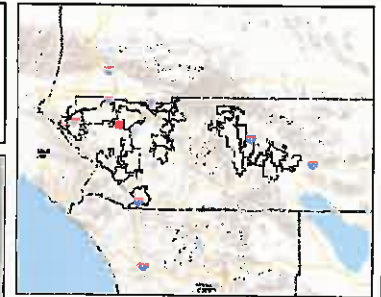
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REPORT PRINTED ON... 7/16/2015 9:14:49 AM

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## Notes

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
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- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



0 794 1,588 Feet



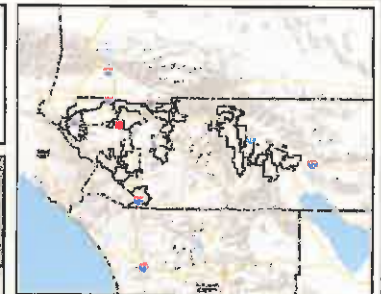
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 794 1,588 Feet



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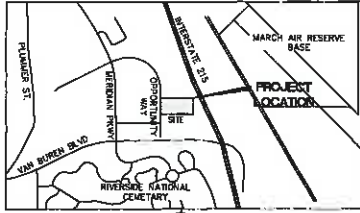
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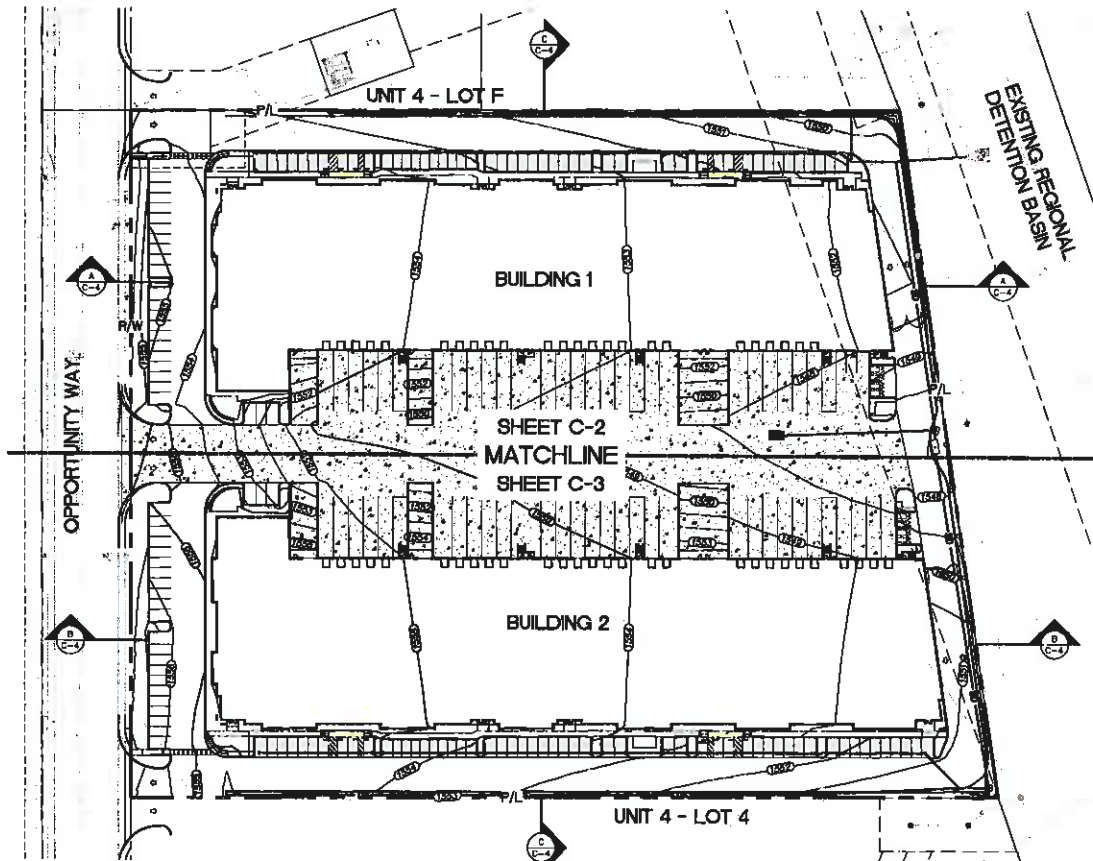
## Notes

# PRELIMINARY GRADING AND DRAINAGE PLAN

## FOR MERIDIAN UNIT 4 - LOT 3

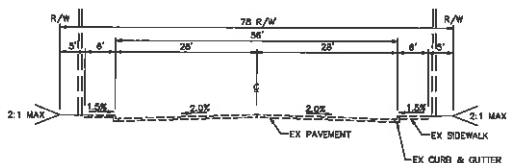


**VICINITY MAP**  
NOT TO SCALE



**LEGEND**

DESCRIPTION	SYMBOL
PROJECT BOUNDARY/RIGHT-OF-WAY	---
EXISTING EASEMENT	---
EXISTING STREET LIGHT	⊙
EXISTING FIRE HYDRANT	⊙
EXISTING CONTOUR	---
EXISTING STORM DRAIN	---
PROPOSED CONTOUR	---
GRADING LIMITS	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN	---
PROPOSED SEWER	---
PROPOSED FIRE	---
PROPOSED WATER	---
PROPOSED STORM DRAIN INLET	⊙
PROPOSED FILTERRA	⊙
PROPOSED PCC PAVEMENT	---
PROPOSED PERVIOUS PAVEMENT	---
PROPOSED STANDARD DUTY PAVEMENT	---



**OPPORTUNITY WAY**  
TWO LANE INDUSTRIAL LOCAL  
N.T.S.

**SHEET INDEX**

COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2 TO C-3
GRADING CROSS SECTIONS	C-4

**OWNER/APPLICANT**  
J4 REALTY GROUP  
3035 INLAND EMPIRE BOULEVARD  
ONTARIO, CA 91764  
(909) 941-2529

**ASSESSOR'S PARCEL NUMBER**  
284-070-031

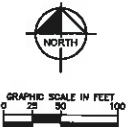
**GRADING QUANTITIES**  
CUT: 7,850 CTD  
FILL: 43,040 CTD  
NET: 15,490 CTD

**GENERAL NOTES:**

- GROSS ACREAGE: 9.8 ± ACRES
- EXISTING ZONING - BUSINESS PARK
- PROPOSED ZONING - BUSINESS PARK
- SEWER - WESTERN MUNICIPAL WATER DISTRICT  
 WATER - WESTERN MUNICIPAL WATER DISTRICT  
 GAS & ELECTRIC - SO. CAL. EDISON (USA)  
 TELEPHONE - GENERAL TELEPHONE (USA)  
 FIRE - RIVERSIDE COUNTY FIRE DEPARTMENT
- STORM DRAIN DETENTION WILL BE ACCOMPLISHED THROUGH UTILIZATION OF THE EAST REGIONAL DETENTION BASIN TO SERVE THE OVERALL PROJECT.

**ABBREVIATIONS**

EASEMENT	ESMT
EXISTING	EX
FINISHED GROUND	FG
FINISHED SURFACE	FS
FLOWLINE	FL
PROPERTY LINE	P/L
RIGHT OF WAY	R/W
TOP OF CURB	TC
TOP OF WALL	TW
MATCH EXISTING	ME



**Kimley Horn**  
401 B STREET, SUITE 100, SAN DIEGO, CA 92101  
(619) 234-3411  
WWW.KIMLEY-HORN.COM



Date Issued: \_\_\_\_\_ Remarks: \_\_\_\_\_

**MARCH JOINT POWERS AUTHORITY**  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
**MERIDIAN UNIT 4 - LOT 3**  
**OF TRACT NO. 30857**

CLIENT ADDRESS:

JM REALTY GROUP  
3035 INLAND EMPIRE BOULEVARD  
ONTARIO, CA 91764  
(909) 941-2529

APN: 284-070-031

Project No. 095998000

Sheet Title:

**COVER SHEET**

Sheet No.

**C-1**

K:\S16\_105\095998000-Unit 4 Lot 3\Design\Sheet\C-1 COVER SHEET.dwg 11-19-15 9:17 PM



**Kimley»Horn**  
 401 B STREET, SUITE 600, SAN DIEGO, CA 92101  
 (619) 224-2411  
 WWW.KIMLEY-HORN.COM



Date Issued: \_\_\_\_\_  
 Remarks: \_\_\_\_\_

**MARCH JOINT POWERS AUTHORITY**  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
**MERIDIAN UNIT 4 - LOT 3**  
**OF TRACT NO. 30857**

CLIENT ADDRESS: \_\_\_\_\_

JIM REALTY GROUP  
 3836 INLAND EMPIRE  
 BOULEVARD  
 ONTARIO, CA 91764  
 (909) 941-2620

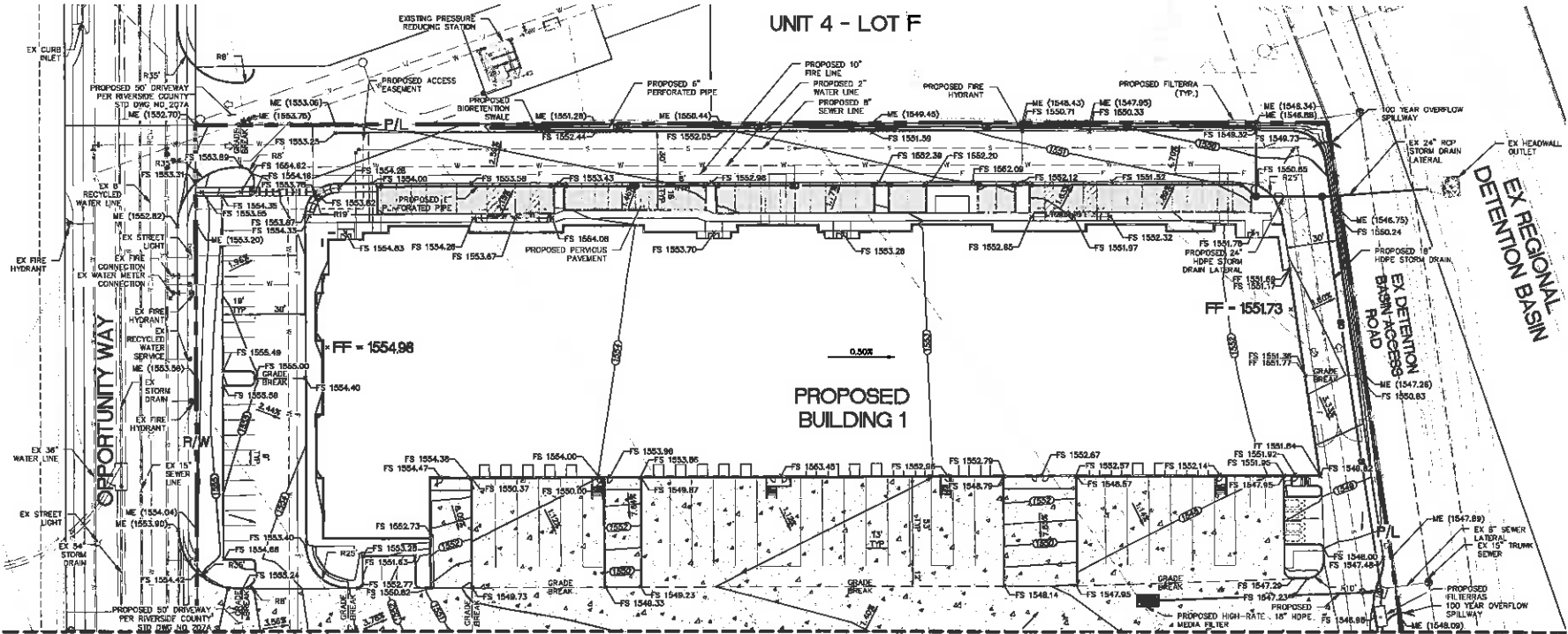
APN: 294-070-031

Project No. 095998000

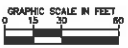
Sheet Title:  
**GRADING AND DRAINAGE PLAN**  
 Sheet No.

**C-2**

**UNIT 4 - LOT F**



**MATCHLINE SHEET C-3**



K:\BUILDING\095998000-001\_4.dwg: 3/10/2010 10:15:15 AM



**Kimley»Horn**  
 401 S STREET, SUITE 300, SAN DIEGO, CA 92101  
 (619) 224-2411  
 WWW.KIMLEY-HORN.COM



Date Issued: Remarks:

MARCH JOINT POWERS AUTHORITY  
 PRELIMINARY GRADING AND DRAINAGE PLAN  
 MERIDIAN UNIT 4 - LOT 3  
 OF TRACT NO. 30857

CLIENT ADDRESS:

JIM REALTY GROUP  
 3636 INLAND EMPIRE  
 BOULEVARD  
 ONTARIO, CA 91704  
 (909) 841-2520

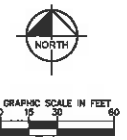
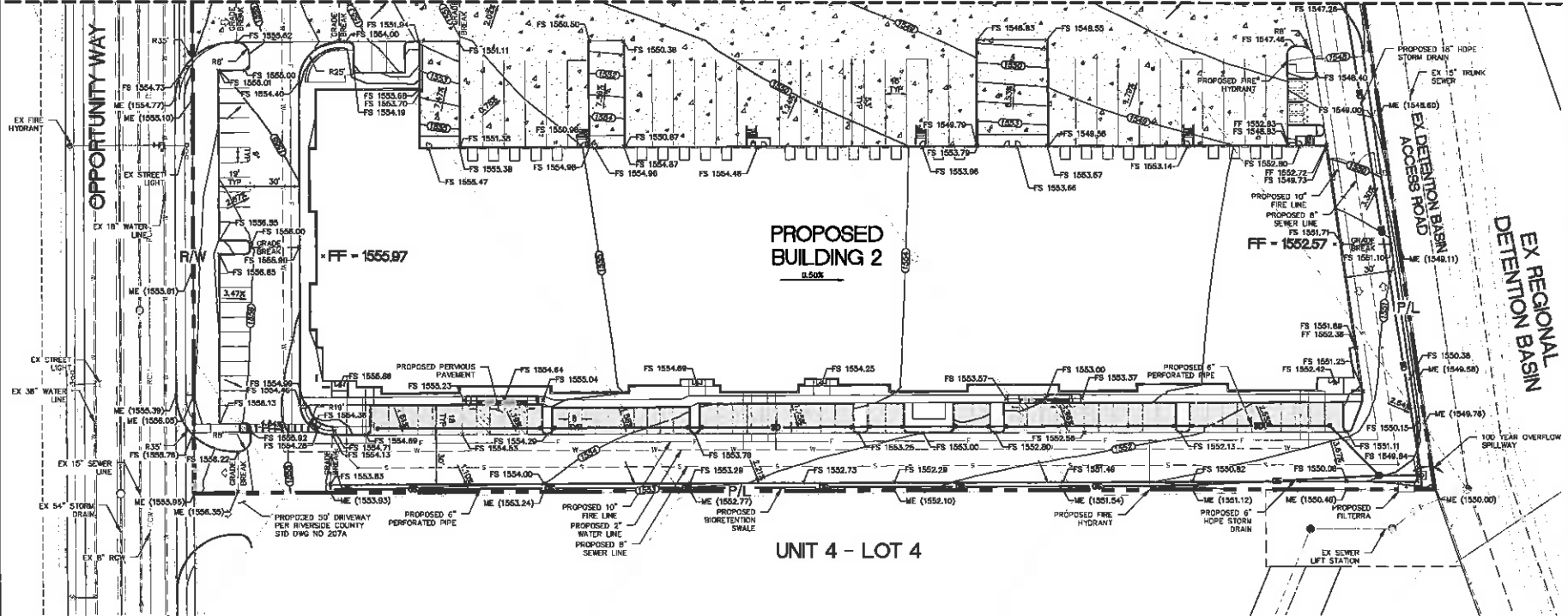
APN: 284-070-031

Project No.: 035998030

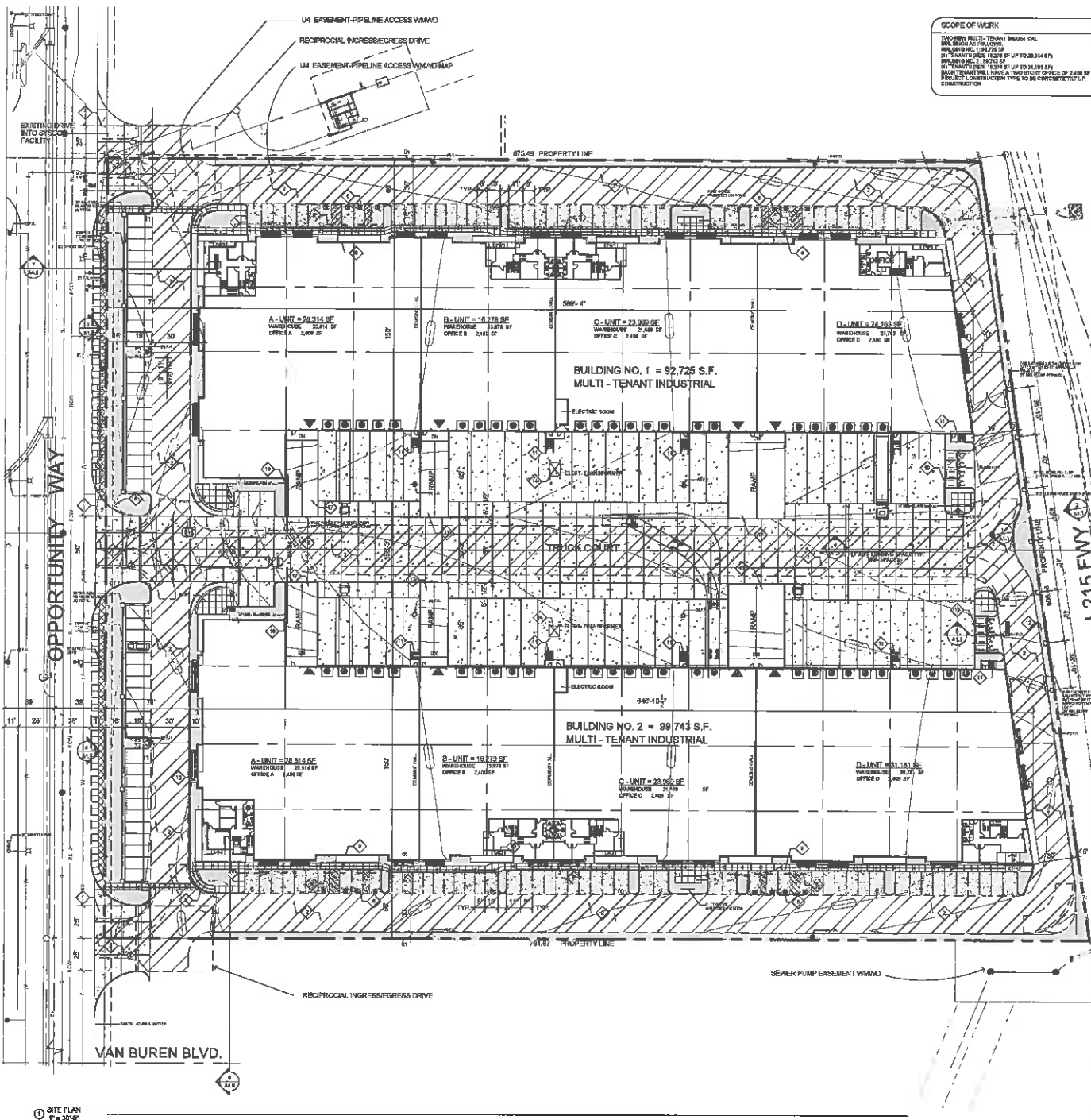
Sheet Title:  
**GRADING AND  
 DRAINAGE  
 PLAN**  
 Sheet No.

**C-3**

SHEET C-2  
 MATCHLINE



K:\BID\100\035998030-100\_4 Lot 3\Drawings\Sheet-C-3 GRADING AND DRAINAGE PLAN.dwg 6/16/15 10:52:10 AM



**SCOPE OF WORK**  
 UNKNOWN MULTI-TENANT INDUSTRIAL  
 BLD. GENERAL ELEVATIONS  
 ALL - SEE PLANS  
 ALL - BEST LINE SECTION & SCREEN WALL ELEVATION  
 ALL - GENERAL FLOOR PLAN  
 ALL - COLARAD FLOOR PLAN  
 ALL - COLARAD FLOOR PLAN  
 ALL - BEST LINE ELEVATIONS  
 ALL - COLARAD ELEVATIONS  
 ALL - COLARAD SECTION ELEVATIONS

**CONTRACTOR**  
 ALL - SEE PLANS  
 ALL - BEST LINE SECTION & SCREEN WALL ELEVATION  
 ALL - GENERAL FLOOR PLAN  
 ALL - COLARAD FLOOR PLAN  
 ALL - COLARAD FLOOR PLAN  
 ALL - BEST LINE ELEVATIONS  
 ALL - COLARAD ELEVATIONS  
 ALL - COLARAD SECTION ELEVATIONS

**LANDSCAPE**  
 1-LANDSCAPE CONCEPTUAL PLAN

**APPLICANT'S REPRESENTATIVE/ARCHITECT**  
 JIM BRADLEY GROUP  
 2848 BRAND OFFICE BUILDING  
 CHINA LAKE, CA 91702  
 CONTACT: JOSEPH MCCAY  
 PHONE: 714.953.7572  
 EMAIL: JOSEPH.MCCAY@JBRADLEY.COM

**ARCHITECT**  
 INTERNATIONAL DESIGN ARCHITECTURE & DESIGN, INC.  
 10000 BURNETT AVENUE, SUITE 200  
 CHINA LAKE, CA 91702  
 PHONE: 714.953.7572  
 EMAIL: INFO@INTERNATIONALDESIGN.COM

**DEVELOPER/OWNER**  
 URBAN RIVERSIDE & LLC CO-OPERATION/CO-OPERATIONS, LLC  
 4000 MAIN HIGHWAY, SUITE 200  
 CHINA LAKE, CA 91702  
 PHONE: 951.362.2277  
 EMAIL: INFO@URBANSIDE.COM

- SITE PLAN GENERAL NOTES**
1. SITE PLAN SHALL MEET ALL ENGINEERING & INSPECTION REQUIREMENTS.
  2. GENERAL CONTRACTOR TO REVIEW SOILS REPORT PREPARED BY UTILITY AND ANY DISCREPANCY AND CORRECTIVE ACTION TO CORRECT DISCREPANCY.
  3. REFER TO CIVIL DRAWINGS FOR FURTHER UTILITY UTILITY INFORMATION INCLUDING POWER OF CONNECTION TO EXISTING UTILITIES AND BUILDING POWER OF CONNECTION.
  4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN EXISTING CIVIL, ELECTRICAL & PIPING DRAWINGS.
  5. UNPAVED UNIMPROVED BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING, TYP.
  6. REFER TO CIVIL DRAWINGS FOR FURTHER UTILITY INFORMATION INCLUDING POWER OF CONNECTION TO EXISTING UTILITIES AND BUILDING POWER OF CONNECTION.
  7. GENERAL CONTRACTOR TO COORDINATE AND COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, DEPARTMENT REGULATIONS, SUBMITTER'S REQUIREMENTS AND ALL APPLICABLE REGULATIONS.
  8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 18" HIGH CONCRETE CURB TYPICAL UNLESS OTHERWISE NOTED OTHERWISE.
  9. ALL ADA PATHS OF TRAVEL NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: AND ANY GAPS IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL, THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 1:48 AND 1:48 RESPECTIVELY UNLESS OTHERWISE NOTED. ANY CURB RAMP IS DESCRIBED BY THE CIVIL DRAWINGS & A VERTICAL CURB OR SLOPE SHALL NOT BE EXCEEDED BY CIVIL DRAWINGS OR OTHERWISE NOTED. THE BOUNDARY BETWEEN THE ADA PATH OF TRAVEL AND THE BOUNDARY BETWEEN THE ADA PATH OF TRAVEL SHALL BE DESCRIBED BY A 18" HIGH CONCRETE CURB TYPICAL UNLESS OTHERWISE NOTED OTHERWISE.
  10. ALL ELEVATIONS ON DRAWINGS AND BIDDING REQUIREMENTS. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONFLICTS IN DRAWINGS AND INFORMATIONAL AND TYP.
  11. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL, OPTICAL, ELECTRICAL AND TYPICAL BIDDING SITE IMPROVEMENT STANDARDS.
  12. CONCRETE WORK SHALL BE ACCORDING TO DETAILS TO BE PROVIDED AT ALL PLACEMENTS AND LOCATIONS WHERE ADJACENT TO LANDSCAPING.
  13. CONCRETE FLASH BLOCK PER ARCHITECTURAL DRAWINGS SHALL BE PROVIDED AT ALL ROOF EDGES AND SPOT TERMINATIONS AT ROOF-CONCRETE AREAS.
  14. BRICK LAMBS TO BE PROVIDED AT ALL ROOF EDGES AND SPOT TERMINATIONS AT ROOF-CONCRETE AREAS.
  15. ALL ELEVATIONS AND WALLS SHALL BE SUBJECT TO OBTAIN ALL NECESSARY PERMITS, GENERAL CONTRACTOR TO COORDINATE WITH ALL NECESSARY SUBMITTER'S DRAWINGS TO THE ARCHITECT FOR APPROVAL.

- LEGAL DESCRIPTION**
- APR 24 2016  
 THE CITY OF RIVERSIDE, CALIFORNIA, RECORDING DEPARTMENT HAS RECORDED THIS INSTRUMENT IN BOOK 18, PAGE 18, THROUGH 18, OF MAPS, RECORDS OF PROPOSED COUNTY, CALIFORNIA.
- VICINITY MAP**
- 

- CONSTRUCTION NOTES**
1. CONSTRUCTION TYPE: B-B
  2. CONCRETE: OFFICE - B  
 OFFICE - S-I  
 CONC. - F-I
  3. WALLS: B-I, S-I
  4. FINE SPINNED: C-I, S-I

**SITE LEGEND**

- LANDSCAPE AREA
- PUBLIC LANDSCAPING
- 1/2" MIN. CURB HEIGHT, UNSTRUCTURED ADDRESS ROUTE
- CONCRETE PAVING
- PERMISSIBLE PAVING
- TYPICAL PAVEMENT STRIPS
- COMPACT PAVEMENT STRIP
- CONCRETE CURB/WHEEL STOP
- STANDARD PAVEMENT STRIP
- FREE DEPTH TYPING MARKS
- EXIT SIGN
- FREIGHTWAY
- ADA PATH OF TRAVEL
- PROPERTY LINE
- ADDRESS CENTER LINE
- DRIVE THRU DOOR
- DOOR SW DOOR

**PROJECT INFORMATION**

DESCRIPTION	DATE	REVISION
PROJECT INFORMATION	08/02/2016	01
CONCEPTUAL PLAN	08/02/2016	01
GENERAL NOTES	08/02/2016	01
CONSTRUCTION NOTES	08/02/2016	01
LANDSCAPE PLAN	08/02/2016	01
TRUCK COURT	08/02/2016	01
UTILITY EASEMENTS	08/02/2016	01
ADA PATH OF TRAVEL	08/02/2016	01
SCREEN WALL	08/02/2016	01
CONCRETE PAVING	08/02/2016	01
PERMISSIBLE PAVING	08/02/2016	01
TYPICAL PAVEMENT STRIPS	08/02/2016	01
COMPACT PAVEMENT STRIP	08/02/2016	01
CONCRETE CURB/WHEEL STOP	08/02/2016	01
STANDARD PAVEMENT STRIP	08/02/2016	01
FREE DEPTH TYPING MARKS	08/02/2016	01
EXIT SIGN	08/02/2016	01
FREIGHTWAY	08/02/2016	01
ADA PATH OF TRAVEL	08/02/2016	01
PROPERTY LINE	08/02/2016	01
ADDRESS CENTER LINE	08/02/2016	01
DRIVE THRU DOOR	08/02/2016	01
DOOR SW DOOR	08/02/2016	01

**SITE PLAN KEY NOTES**

- 1. BEST LINE SECTION, FIRE CITY OR COUNTY STANDARDS. REFER TO LANDSCAPE DRAWINGS FOR DIMENSIONS. FURNISH DRAWINGS FOR DIMENSIONS. REFER TO DRP DRAWINGS FOR ADDITIONAL INFO.
- 2. ASPHALT PAVING, TYP. REFER TO SOILS REPORT & GRAD. DRAWINGS FOR ADDITIONAL DESIGN DETAILS.
- 3. CONCRETE FINISH. REFER TO CIVIL DRAWINGS FOR SECTION AND FINISHING, E.G., TO ACCOMMODATE WITH SOILS REPORT. REFER TO CIVIL DRAWINGS FOR CONCRETE DESIGN AT TRUCK COURT IF APPLICABLE.
- 4. UNPAVED DRIVE
- 5. ADA SIDE ENTRY SIGN PER CODE, TYP.
- 6. ADA HANDICAPPED SIGN PER CODE, TYP. PROVIDE AT ALL ADA STALLS
- 7. ADA PATH OF TRAVEL
- 8. PRECAST CONCRETE PANEL, STOP
- 9. ZERO CURB RAMP
- 10. CONCRETE WALL, SEE ELEVATION PLAN FOR ADA PATH OF TRAVEL. 4" MIN. THICKNESS, SECURE CONCRETE @ 6" OC. PROVIDE A 18" HIGH CONCRETE CURB REFER TO LANDSCAPE DRAWINGS FOR PRECAST CONCRETE FINISHING. REFER TO SOILS REPORT FOR ADDITIONAL INFO. REFER
- 11. EXTERIOR CONCRETE ITANI
- 12. LANDSCAPE AREA - SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- 13. CONCRETE LANDINGS AND STAIRS, AS SHOWN @ 2" MIN. RAMP SLOPE, TYP.
- 14. PROVIDE TRANSFORMER LOCATION, PER 108
- 15. PROVIDE TRANSFORMER LOCATION, PER 108
- 16. PROVIDE TRANSFORMER LOCATION, PER 108
- 17. PROVIDE TRANSFORMER LOCATION, PER 108
- 18. PROVIDE TRANSFORMER LOCATION, PER 108
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- 97. PROVIDE TRANSFORMER LOCATION, PER 108
- 98. PROVIDE TRANSFORMER LOCATION, PER 108
- 99. PROVIDE TRANSFORMER LOCATION, PER 108
- 100. PROVIDE TRANSFORMER LOCATION, PER 108

**JIM REALTY**  
 M/JPA, RIVERSIDE, CA

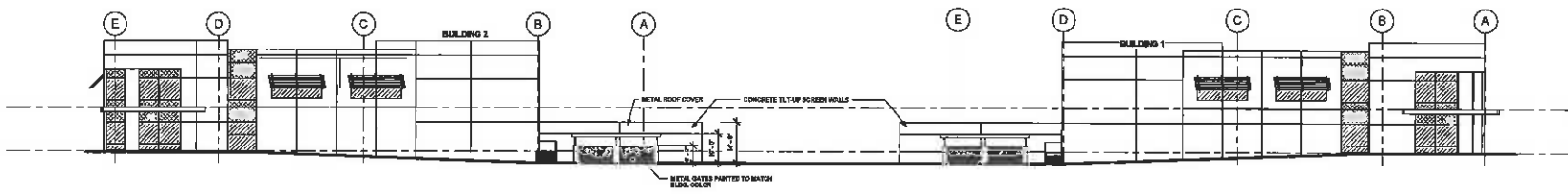
**PROJECT**  
 PLANNING SUBMITTAL #1

**HERDMAN RIERSON**  
 ARCHITECTS  
 10000 BURNETT AVENUE, SUITE 200  
 CHINA LAKE, CA 91702  
 PHONE: 714.953.7572  
 EMAIL: INFO@HERDMANRIERSON.COM

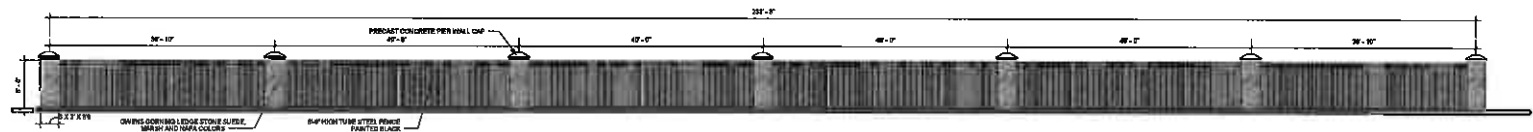
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 08.02.2016  
 PLANNING SUBMITTAL #1

**PROPOSED SITE PLAN**

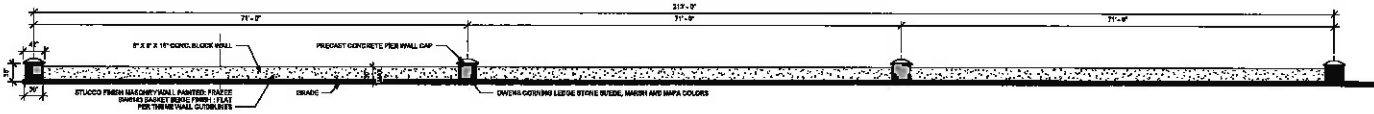
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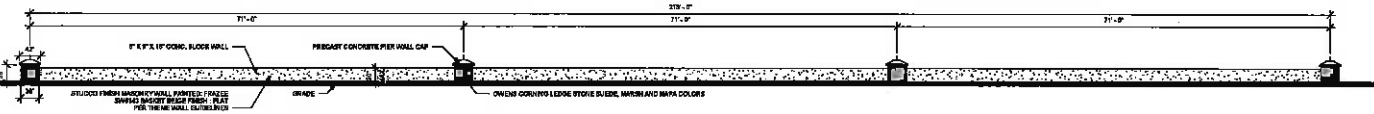
1 TRASH ENCLOSURE ELEVATION  
1/16" = 1'-0"



2 EAST PROPERTY LINE ALONG I-215  
FREEMWAY  
1/8" = 1'-0"



3 LOW SCREEN WALL ELEVATION  
OPPORTUNITY WAY (NORTH END)  
1/8" = 1'-0"

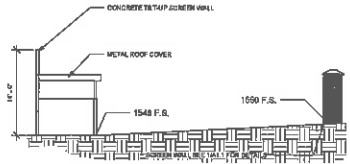


4 LOW SCREEN WALL ELEVATION  
OPPORTUNITY WAY (SOUTH END)  
1/8" = 1'-0"

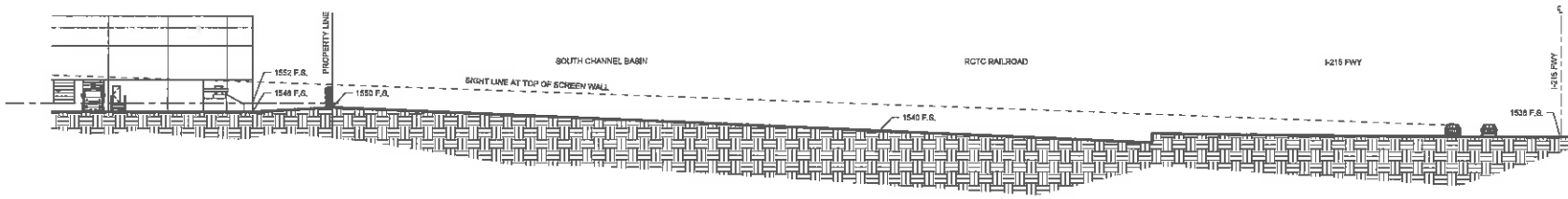


- Specify: Paintless, Chain-Free, Recycled, Powder-Coated Steel
- To be a double loop design only design
  - Dimensions shall be as indicated on drawings
  - See drawing for details

5 PROPOSED BIKE RACK  
1/12" = 1'-0"



6 TRASH ENCLOSURE SECTION  
1/8" = 1'-0"



7 SIGHT LINE FROM I-215 FWY  
1" = 20'-0"

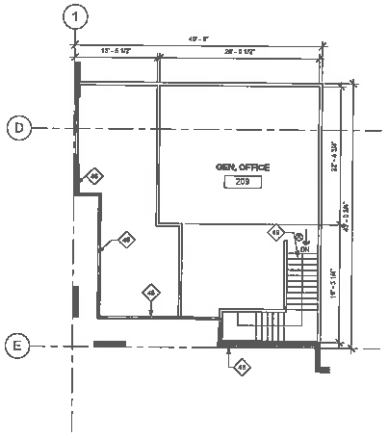
**HERDMAN  
RIERSON  
+ design, inc.**  
1221 Alhambra Way  
Riverside, CA 92507  
Tel: 951.514.2200  
www.hrdmnr.com

A14-1058  
06.02.2015  
PLANNING SUBMITTAL #1

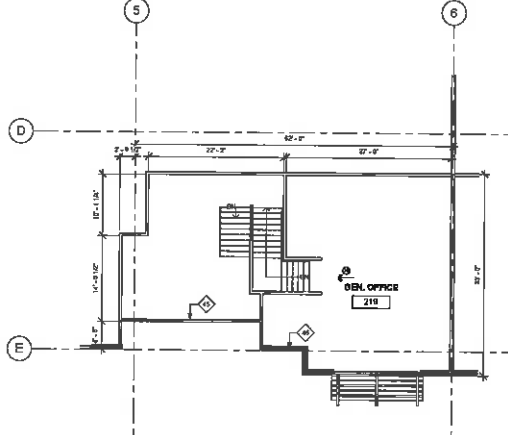




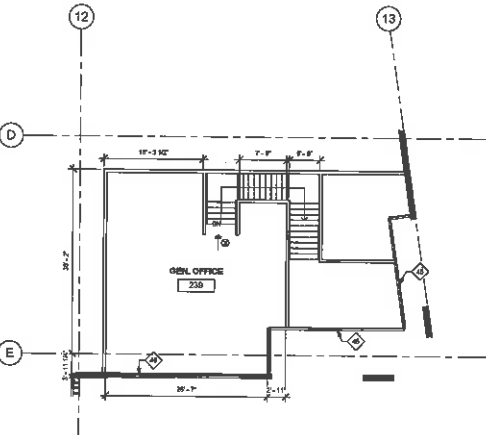




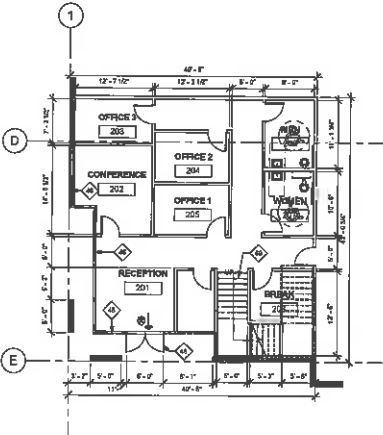
4. BUILDING 2 OFFICE A MEZZANINE  
1/8" = 1'-0"



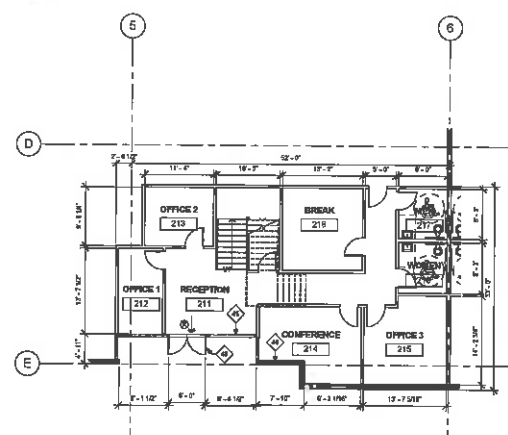
5. BUILDING 2 OFFICE B MEZZANINE (OFFICE C MIRRORED)  
1/8" = 1'-0"



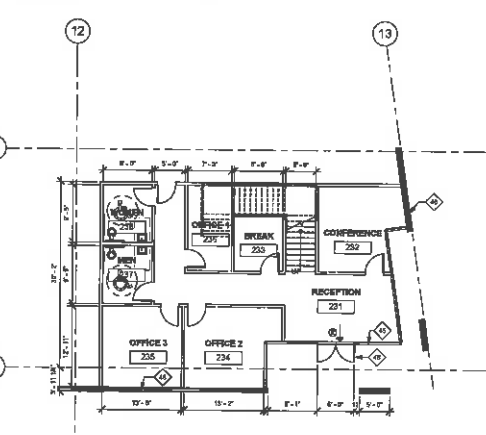
6. BUILDING 2 OFFICE D MEZZANINE  
1/8" = 1'-0"



1. BUILDING 2 OFFICE A FIRST FLOOR  
1/8" = 1'-0"



2. BUILDING 2 OFFICE B FIRST FLOOR (OFFICE C MIRRORED)  
1/8" = 1'-0"

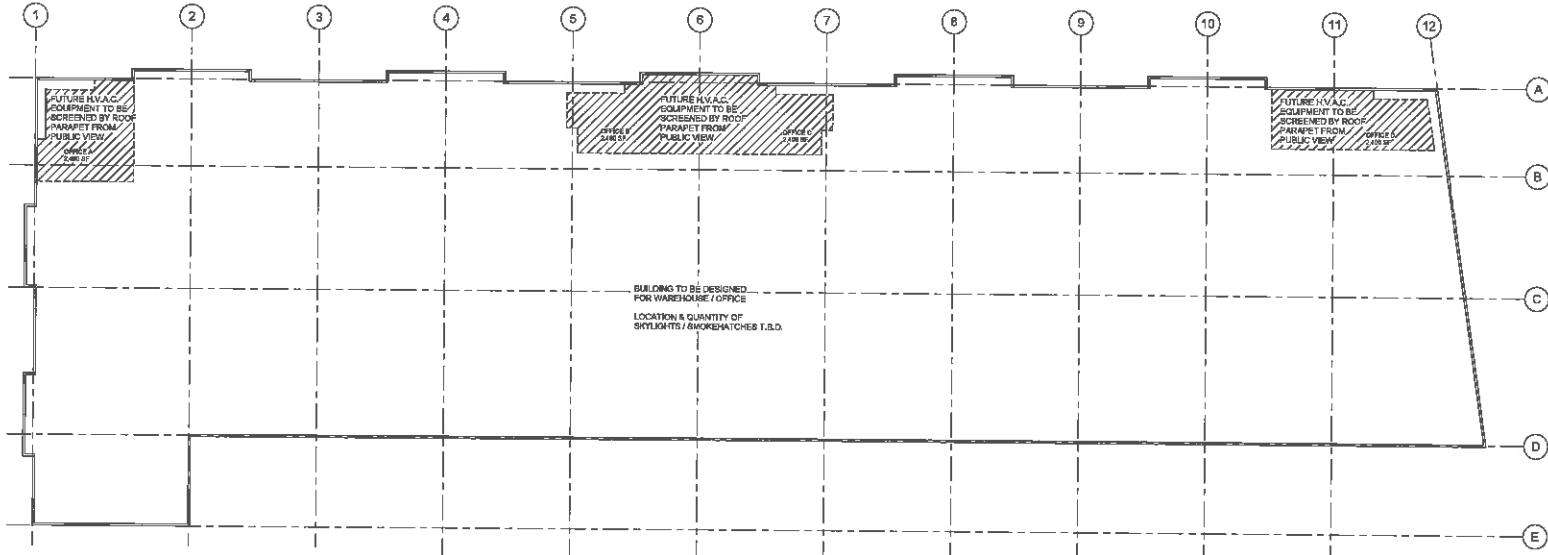


3. BUILDING 2 OFFICE D FIRST FLOOR  
1/8" = 1'-0"

- KEYNOTE**
- 43. STOREFRONT AND ELEVATIONS & EXTERIOR CODES SHALL BE REVIEWED BY THE DESIGNER TO VERIFY COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND STRUCTURAL CALCULATIONS TO BE DESIGNER'S RESPONSIBILITY AND SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW.
  - 44. CONCRETE SET-UP PANEL, TYP. FINISHED, SEE EXISTING OR NEW CONCRETE SET-UP PANEL DRAWINGS FOR ADDITIONAL INFORMATION.
  - 45. EXTERIOR STOREFRONT DOOR, SEE EXISTING OR NEW STOREFRONT DOOR SCHEDULE OR ADDITIONAL INFO.
  - 46. INTERIOR STOREFRONT DOOR, SEE ARCHITECTURAL DETAILS, STRUCTURAL DESIGN & ENGINEERING TOWER DESIGN BLDG BY GENERAL CONTRACTOR, SEPARATE SUBMITTAL.

- FLOOR PLAN GENERAL NOTES**
1. FINISH FLOOR SLAB IS ELEVATED REFER TO CIVIL DRAWINGS FOR ELEVATION AND ADDITIONAL INFORMATION.
  2. PROVIDE SET-UP PANEL AT ALL EXTERIOR DOOR THRESHOLDS FOR SET-UP PANEL AND TO PROVIDE SET-UP PANEL FOR SET-UP PANEL AND TO PROVIDE SET-UP PANEL FOR SET-UP PANEL.
  3. REFER TO STRUCTURAL DRAWINGS FOR DETAIL OF FINISH FLOOR.
  4. FLOOR SET-UP PANEL TO EXTERIOR DOORS TO PROVIDE THE SET-UP PANEL AS REQUIRED BY THE EXISTING AND LOCAL.
  5. PROVIDE ILLUMINATED EXIT SIGNS AT ALL EXTERIOR EXIT DOORS AND INTERIOR EXIT DOORS TO EXIST ENCLOSURES, AND ANY ADDITIONAL EXIT SIGNS TO EXIST ENCLOSURES AND TO EXIST OR ADDITIONAL ENCLOSURES, SHOW TO BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.
  6. ALL EXIT DOORS TO EXIST ENCLOSURES TO BE OPENED BY PUSH OR PULL ACTION TO BE NORMAL.
  7. DO NOT USE CARBON COMPOUND OR REINFORCING TO EXIST SLAB.
  8. BRANCHED CONCRETE TUBES, AND SIMILAR HEAVY EQUIPMENT PREVENTION ON SLAB.
  9. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  10. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  11. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  12. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  13. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  14. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  15. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  16. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  17. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  18. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  19. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  20. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  21. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.
  22. FLOOR JOISTS TO BE CONCRETE SLAB WITH CONCRETE JOIST HANGERS TO BE 1/2" DIA.

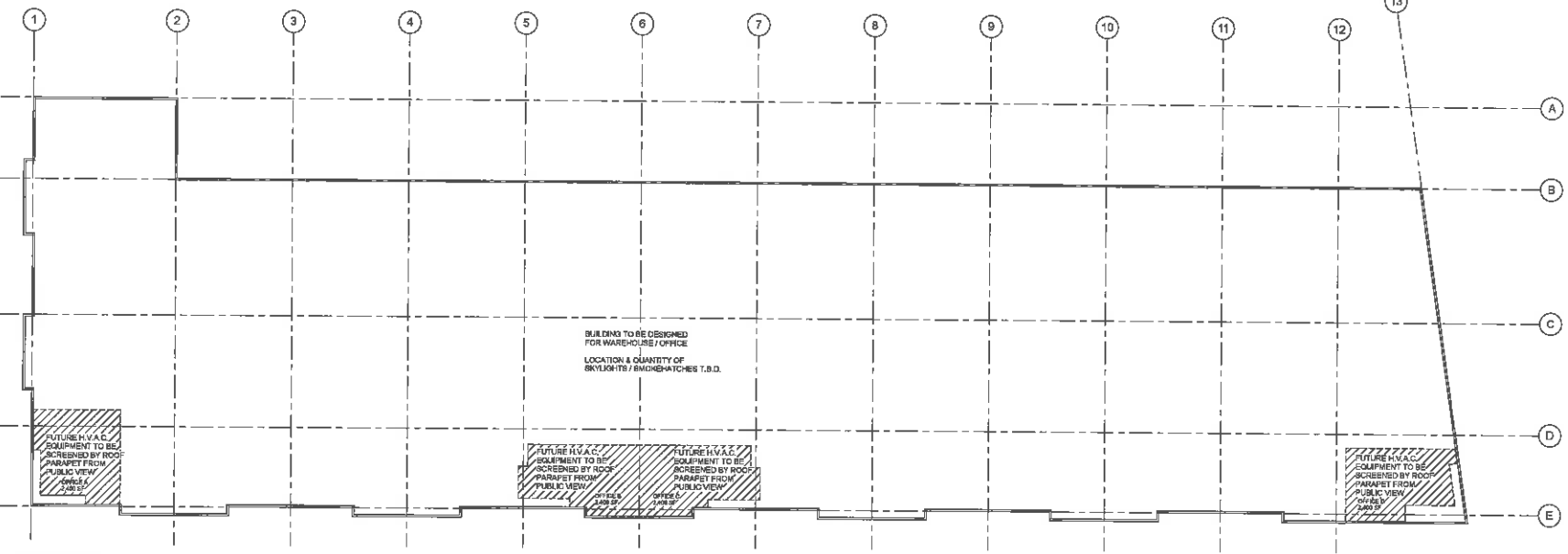
- FLOOR PLAN WALL LEGEND**
- CONCRETE SET-UP WALL, SEE "S" DRAWINGS FOR ADDITIONAL INFORMATION.
  - PROVIDE METAL STUD PARTITION WALL TO PROVIDE ADDITIONAL FULL HEIGHT WALL INSULATION FOR TYPICAL PARTITION WALLS. SEE SANS FOR CONNECTION DETAIL.
  - INTERIOR PARTITION WALL, SEE WALL CALLOUTS AND SEE SCHEDULES FOR ADDITIONAL INFORMATION.
  - STOREFRONT SYSTEM UNDER SUBMITTAL, SEE ELEVATIONS FOR ADDITIONAL DETAIL.
  - ILLUMINATED EMERGENCY EXIT SIGN FOR EXISTING AND NEW EXITS, SEE EXISTING OR NEW EXITS FOR LOCATION. SIGN SHALL BE CONTINUOUSLY ILLUMINATED FOR DURATION OF 90 MIN. IN CASE OF PRIMARY POWER LOSS.



1 ROOF PLAN-BUILDING 1  
14-20-2

- ROOF PLAN GENERAL NOTES**
1. CONTRACTOR TO VERIFY EXISTING ROOF DRAINAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING ROOF INSULATION OR ROOFING. SEE "1" DRAWINGS FOR DETAILS, ETC.
  2. BUILT UP ROOFINGS TO BE CLASS 1 UL LISTED MEMBRANE SYSTEMS DESIGNED TO RESIST WINDS UP TO 140 MPH.
  3. SEE STRUCTURAL DRAWINGS FOR ROOF SUBSTRATE TYPE.
  4. REFER TO DETAIL SINKS FOR TYPICAL ROOF SECTION.
  5. PROVIDE CHECKS ON OPEN DECK, OF ALL MECHANICAL LINES AND ROOF EQUIPMENT AT PENETRATIONS AND HATCHES. PROVIDE FUTURE DRAINAGE AREA DIMENTS AT 1/4" PER SLOPE MINIMUM.
  6. CONTRACTOR TO DOCUMENT ALL ROOF PENETRATIONS. SEE ROOF DETAIL SHEET FOR PENETRATIONS.
  7. ALL SKYLIGHTS AND SMOKEHATCHES TO BE DESIGNED TO MEET MANGLAD AS DETERMINED BY THE BUILDING CODES AND LOCAL JURISDICTION.
  8. ALL MECHANICAL CONNECTIONS DRAWINGS TO BE BELOW ROOF.
  9. CALL TO VERIFY RECOMMENDATION FOR ROOF WALK DECK WITH OWNER.
  10. IN SPACES CAP ROOF TO HAVE MINIMUM AREA AS PER TABLE OF EQUAL OR GREATER THAN 1/4" AND AS PER TABLE OF GREATER THAN 22 PER 2514 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE.
  11. ROOF ELEVATIONS TO BE VERIFIED WITH TABLE A4.04.1.1.2.2 STRUCTURAL DRAWINGS.
  12. FOR ALL PEN AND LIGHT PENETRATIONS THRU ROOF, LIFE CYCLE 2 OR 40 YEARS.
  13. ALL CORERS CUT FROM ROOF UNITS MUST BE INSTALLED BELOW ROOF.
  14. ALL MECHANICAL EQUIPMENT UNITS ARE OPERATIONAL UNITS.
  15. PENETRA SHALL BE FOR INSURING PROTECT FROM AND GAP DISTANCE, BY A QUALIFIED ROOFING CONTRACTOR THAT APPROVED BY THE OWNER AND THE JOB MANUFACTURER. INSPECTOR SHALL BE ON SITE PRIOR TO THE START OF ANY ROOF WORK.
  16. ROOF DRAINAGE SHALL BE CENTERED DIRECTLY ABOVE A PERMISSIBLE VERTICAL VENT WITH FREE PROTECTION PLANS PRIOR TO INSTALLATION.
  17. ALL ROOFING IN HANGERS SHALL BE TRIMMED TO BE CONTAINED AS MINOR BY DESIGN OR APPROVED LEAD.
  18. AUTOMATIC SPRINKLER SYSTEMS SERVING MORE THAN 100 SPARKLER HEADS SHALL BE DESIGNED BY AN APPROVED CONSULTING PROFESSIONAL OR REMOTE STATION SERVICE OR A LOCAL ALARM RESPONSE UNIT, SEE AVAILABLE SECTION AT CONSTANTLY ATTENDED LOCATION.
- ROOF PLAN LEGEND**
- FUTURE OFFER AREA, LOCATION OF EQUIPMENT T.A.D.

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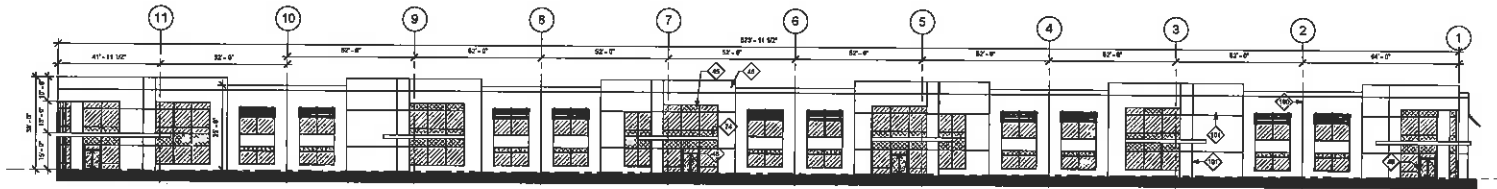
2 ROOF PLAN-BUILDING 2  
14-20-2

HERDMAN  
RIERSON  
Architecture  
design, inc.  
12010 Wilshire Blvd., Suite 1000  
Beverly Hills, CA 90210  
Tel: 310.274.1111  
www.hrdmnrison.com

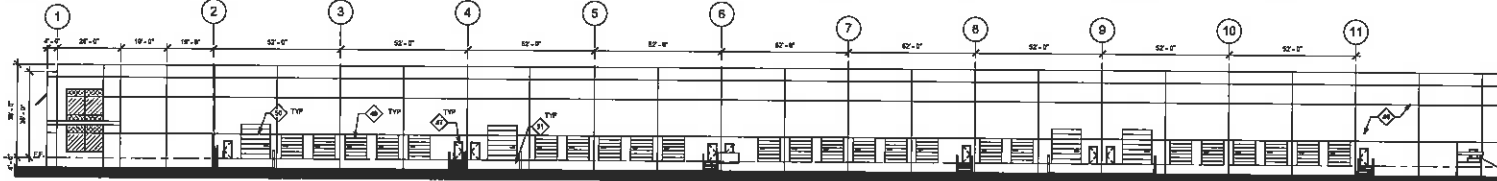
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06.02.2016  
PLANNING SUBMITTAL #1

ROOF PLAN

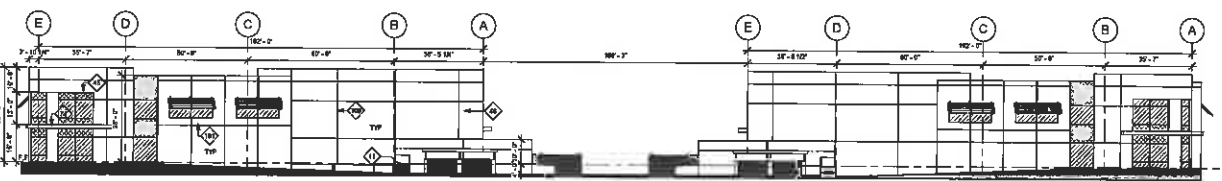
A3.0



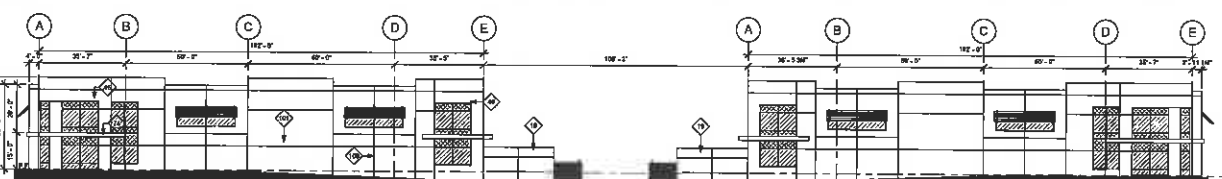
NORTH EXTERIOR ELEVATION - BUILDING 1  
1" = 20'-0"



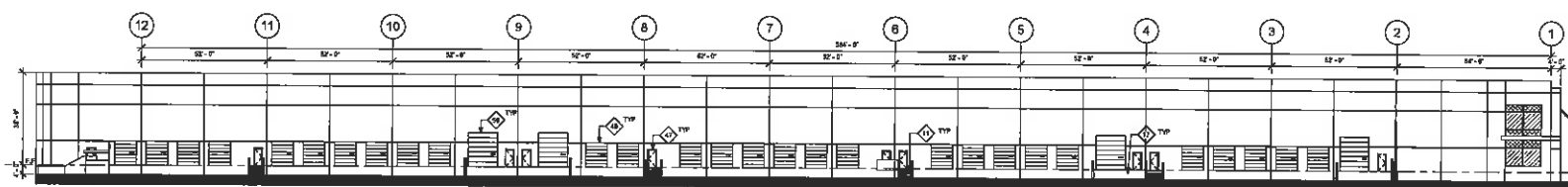
SOUTH EXTERIOR ELEVATION - BUILDING 1  
1" = 20'-0"



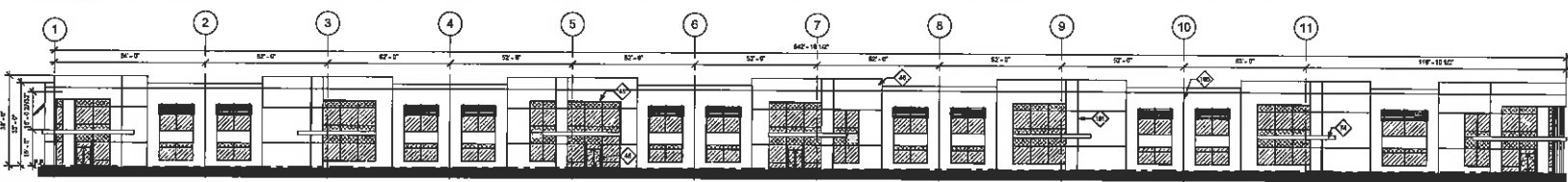
EAST EXTERIOR ELEVATION - BUILDING 1 & 2  
1" = 20'-0"



WEST EXTERIOR ELEVATION - BUILDING 1 & 2  
1" = 20'-0"



NORTH EXTERIOR ELEVATION - BUILDING 2  
1" = 20'-0"



SOUTH EXTERIOR ELEVATION - BUILDING 2  
1" = 20'-0"

**KEYNOTE**

- 11 EXTERIOR CONCRETE STAIN MANAGEMENT WALLS, WALLS & CURBS SHALL BE PAINTED PER EXTERIOR COLOR SCHEDULE, BEFORE TO CONCRETE STRUCTURAL DRAWINGS - SEE DETAIL T1 & T2.
- 12 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 13 CONCRETE ACROTER WALL FINISH.
- 14 EXTERIOR WALLS SHALL BE PAINTED WITH EXTERIOR COLOR SCHEDULE, REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 15 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 16 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 17 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 18 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 19 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
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- 24 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 25 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 26 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 27 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 28 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 29 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.
- 30 CONCRETE FINISH SHALL BE 4" HIGH CON. WITH GENERAL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFO & SPECIFICATIONS.

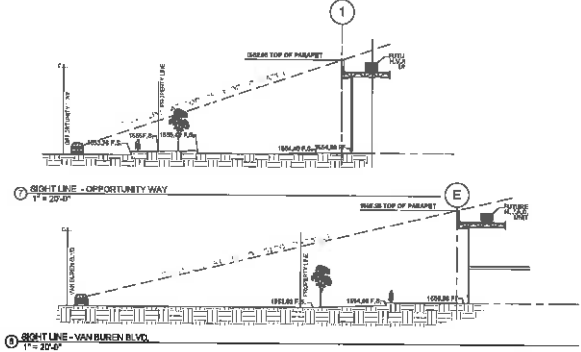
**EXTERIOR COLOR SCHEDULE**

- 1 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: BROWN CHAMBERLAIN
- 2 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: SWISS MAJALD WHITE
- 3 HEMER METALLIC PAINT
- 4 STONELIGHT MODERN PERFORMANCE PAINT REFLECTIVE GLAZING & CLEAR ANODOZED ALUMINUM
- 5 AEROSOL FINISH PAINT COLOR: WHITE
- 6 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: BROWN CHAMBERLAIN
- 7 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: SWISS MAJALD WHITE
- 8 HEMER METALLIC PAINT
- 9 STONELIGHT MODERN PERFORMANCE PAINT REFLECTIVE GLAZING & CLEAR ANODOZED ALUMINUM
- 10 AEROSOL FINISH PAINT COLOR: WHITE
- 11 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: BROWN CHAMBERLAIN
- 12 GLENVIEW WILLIAMS EXTERIOR PAINT COLOR: SWISS MAJALD WHITE
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- 28 HEMER METALLIC PAINT
- 29 STONELIGHT MODERN PERFORMANCE PAINT REFLECTIVE GLAZING & CLEAR ANODOZED ALUMINUM
- 30 AEROSOL FINISH PAINT COLOR: WHITE

**LEGEND**

VEHICLE GLAZING

STANDARD GLAZING



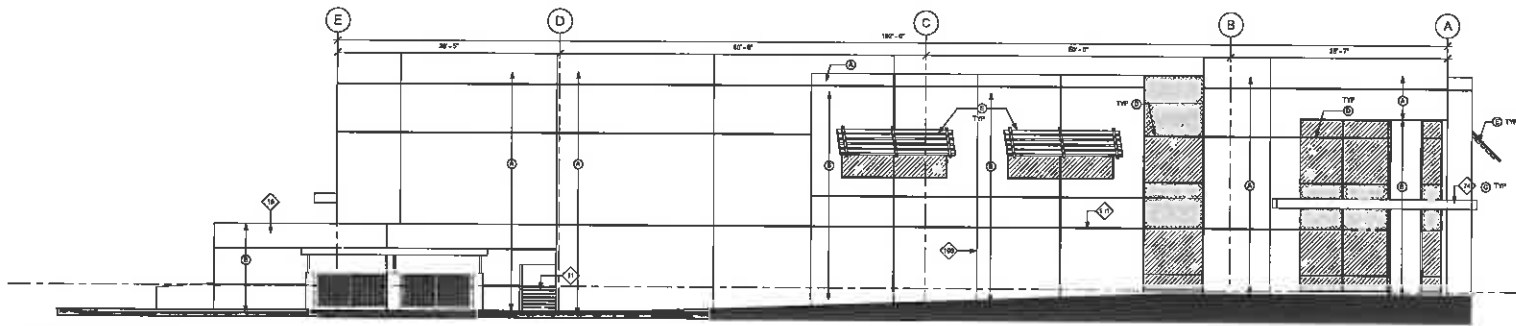
JIM REALTY  
MJPA, RIVERSIDE, CA  
PROJECT  
PLANNING  
SUBMITTAL #1

HERDMAN  
RIERSON  
ARCHITECTS  
P.L.L.C.  
1221 S. UNIVERSITY AVENUE  
SUITE 200  
RIVERSIDE, CA 92507  
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WWW.HERDMANRIERSON.COM

A14-1088  
06.02.2016  
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EXTERIOR  
ELEVATIONS &  
SECTIONS

A4.0



PARTIAL EAST ELEVATION BUILDING 1  
 ① - BUILDING 2 SIMILAR  
 TYP = 1/4"

**KEYNOTE**

- 11 EXTERIOR CONCRETE STAIR AND CONCRETE WALKWAYS SHALL BE FINISHED WITH POLISHED CONCRETE. REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS - SEE DETAILS 17 & 18.
- 12 CONCRETE SCREEN WALL FINISH: SCREEN FINISH SHALL BE FINISHED TO RESIST WIND LOADS AS REQUIRED BY BUILDING CODES AND LOCAL AGENCY. DESIGN OF SCREEN FINISH SHALL BE PROVIDED BY ARCHITECT. CALCULATIONS TO BE PROVIDED BY GC. AND COVER EXPENSE IS METAL.
- 13 EXTERIOR GLASS DOOR AND WINDOW METAL FINISHES SHALL BE PROVIDED BY MANUFACTURER FOR COLOR SCHEDULE.
- 14 EXTERIOR GLASS DOOR AND WINDOW METAL FINISHES SHALL BE PROVIDED BY MANUFACTURER FOR COLOR SCHEDULE.
- 15 EXTERIOR GLASS DOOR AND WINDOW METAL FINISHES SHALL BE PROVIDED BY MANUFACTURER FOR COLOR SCHEDULE.
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- 20 EXTERIOR GLASS DOOR AND WINDOW METAL FINISHES SHALL BE PROVIDED BY MANUFACTURER FOR COLOR SCHEDULE.

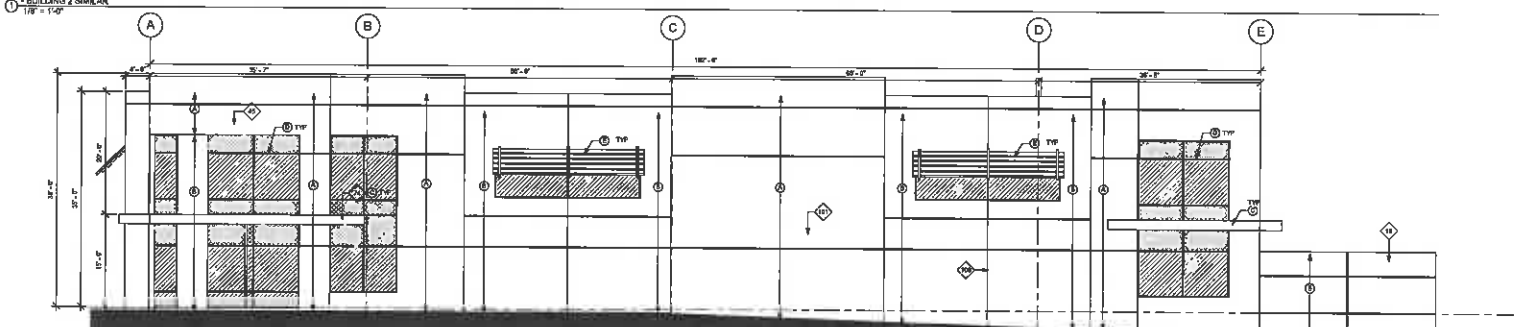
**EXTERIOR COLOR SCHEDULE**

- 1 SILVER METALIC EXTERIOR PART
- 2 SILVER METALIC EXTERIOR PART
- 3 SILVER METALIC EXTERIOR PART
- 4 SILVER METALIC EXTERIOR PART
- 5 SILVER METALIC EXTERIOR PART
- 6 SILVER METALIC EXTERIOR PART
- 7 SILVER METALIC EXTERIOR PART
- 8 SILVER METALIC EXTERIOR PART
- 9 SILVER METALIC EXTERIOR PART
- 10 SILVER METALIC EXTERIOR PART
- 11 SILVER METALIC EXTERIOR PART
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- 19 SILVER METALIC EXTERIOR PART
- 20 SILVER METALIC EXTERIOR PART

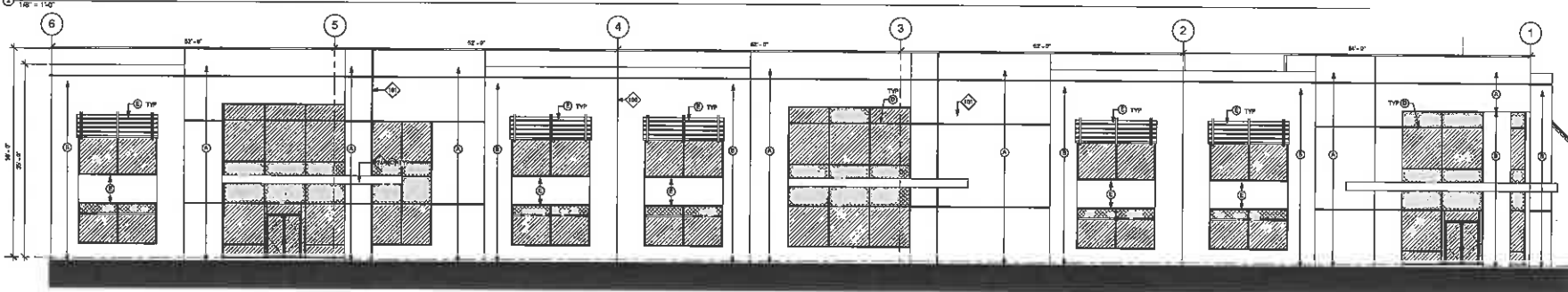
**LEGEND**

- VISION GLAZING
- SPANDREL GLAZING

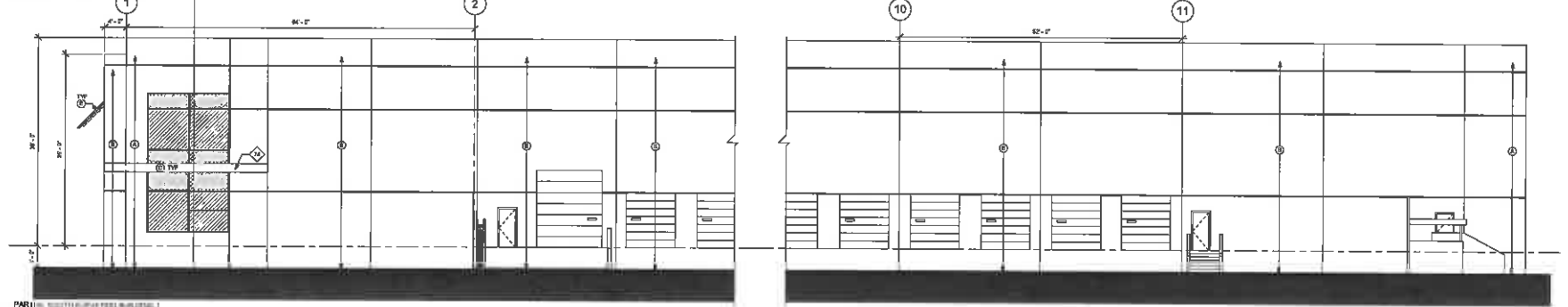
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 PROJECT  
 PLANNING  
 SUBMITTAL #1



PARTIAL WEST ELEVATION BUILDING 1  
 ① - BUILDING 2 SIMILAR  
 TYP = 1/4"



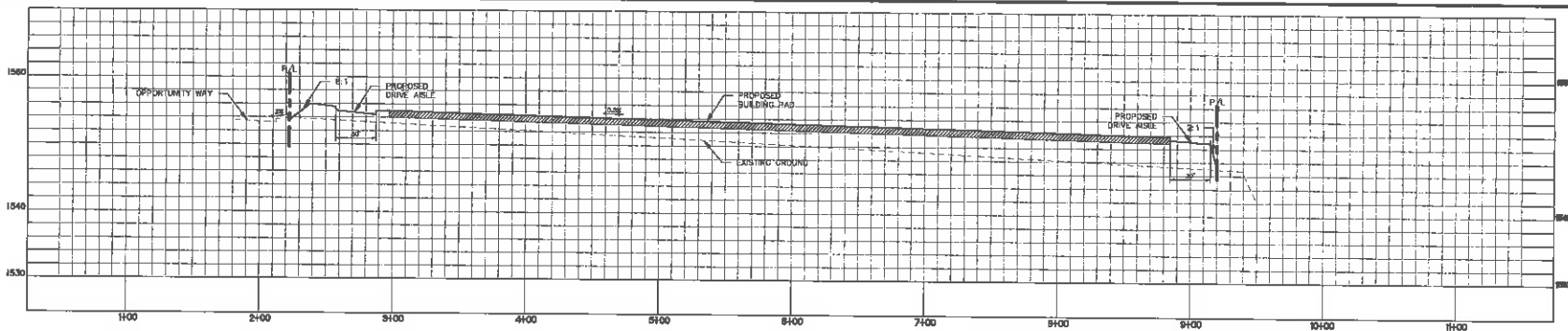
PARTIAL NORTH ELEVATION BUILDING 1  
 ① - BUILDING 2 SIMILAR  
 TYP = 1/4"



PARTIAL SOUTH ELEVATION BUILDING 1  
 ① - BUILDING 2 SIMILAR  
 TYP = 1/4"

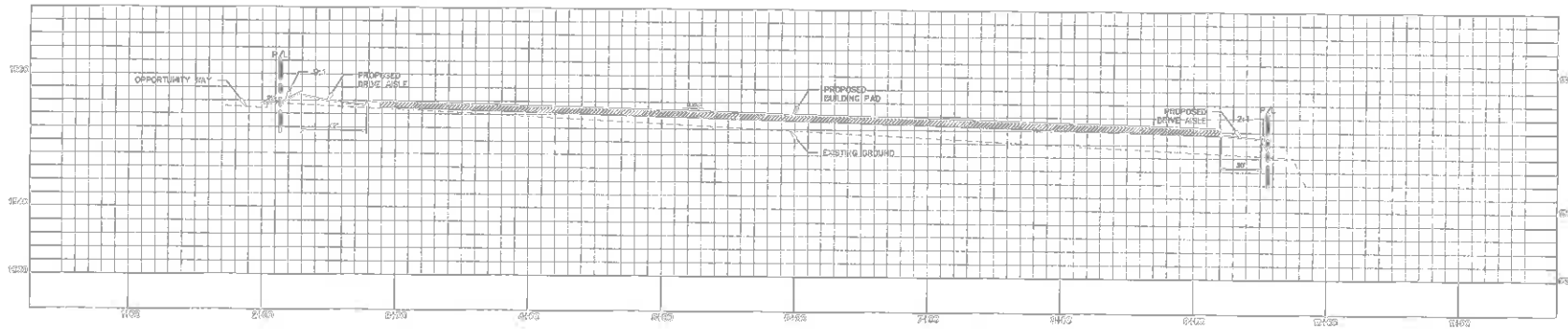
**HERDMAN**  
**RIERSON**  
**ARCHITECTS**  
**PLANNERS & ENGINEERS, INC.**  
 1225 AVENUE 43, SUITE 200  
 RIVERSIDE, CALIFORNIA 92506  
 TEL: (951) 514-9292  
 FAX: (951) 514-9293  
 WWW: HERDMANRIERSON.COM

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 05.02.2015  
 PLANNING SUBMITTAL #1



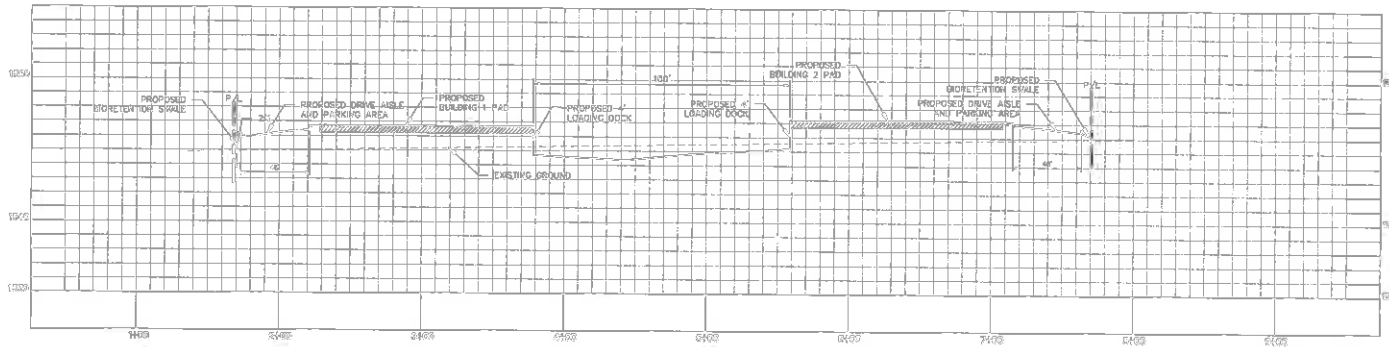
**BUILDING 1 CROSS SECTION**

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=8'



**BUILDING 2 CROSS SECTION**

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=8'



**SITE CROSS SECTION**

HORIZONTAL SCALE: 1"=40'  
VERTICAL SCALE: 1"=8'



**Kimley»Horn**  
101 B STREET, SUITE 600, SAN DIEGO, CA 92101  
(619) 234-9411  
www.kimley-horn.com



Date Issued: \_\_\_\_\_  
Remarks: \_\_\_\_\_

**MARCH JOINT POWERS AUTHORITY**  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
**MERIDIAN UNIT 4 - LOT 3**  
**OF TRACT NO. 30857**

CLIENT ADDRESS:

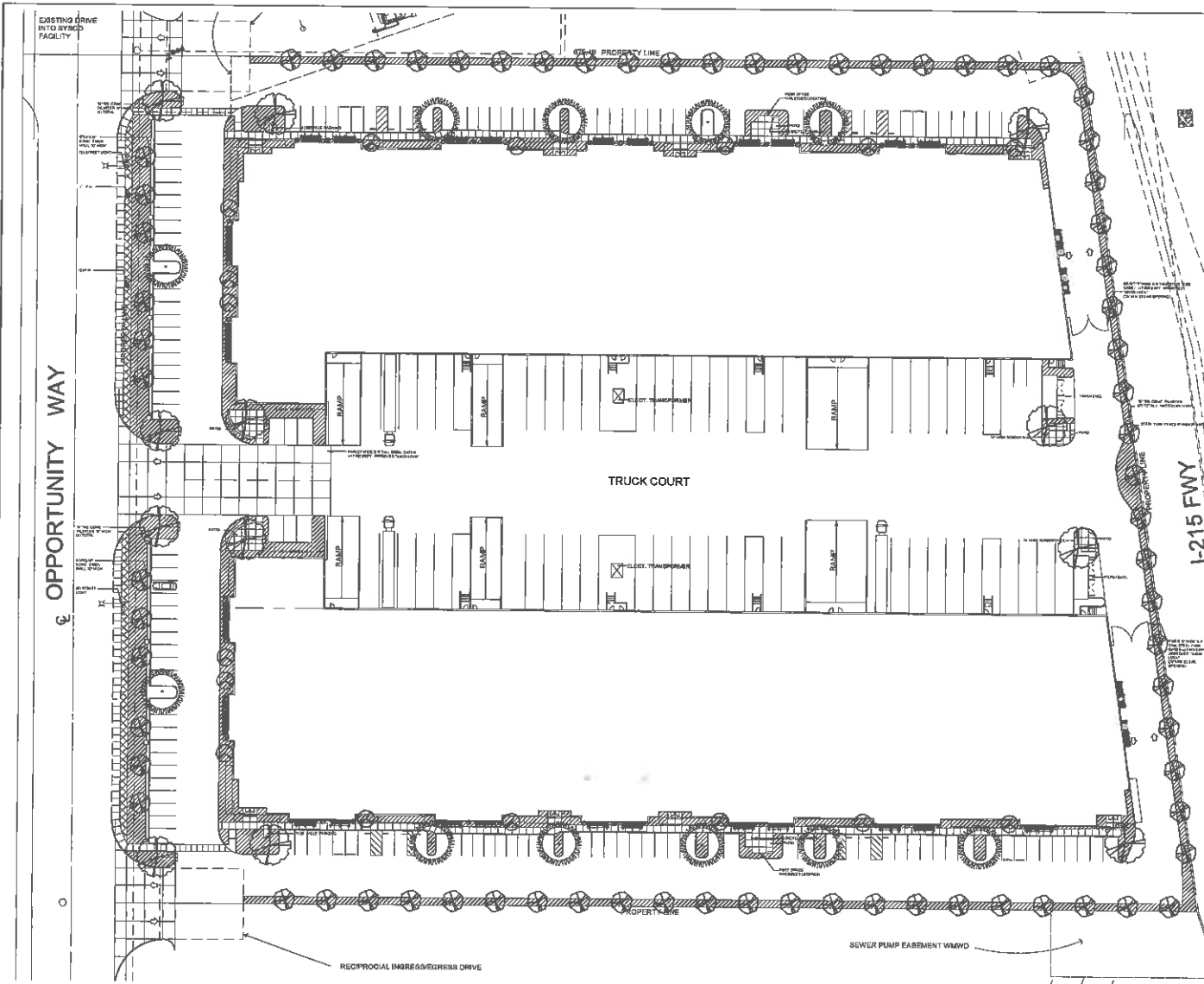
JM REALTY GROUP  
3535 INLAND EMPIRE  
BOULEVARD  
ONTARIO, CA 91764  
(909) 941-2620

APN: 294-075-031

Project No. 08598000

Sheet Title:  
**GRADING  
CROSS  
SECTIONS**  
Sheet No.

**C-4**



**PLANTING LEGEND**

SYMBOL	PLANT SPECIES	HT	WT	COLR	FRUIT
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y

SYMBOL	PLANT SPECIES	HT	WT	COLR	FRUIT
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○	Adonis Aemulifolia	18" H	10"	W	Y
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○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y

SYMBOL	PLANT SPECIES	HT	WT	COLR	FRUIT
○	Adonis Aemulifolia	18" H	10"	W	Y
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○	Adonis Aemulifolia	18" H	10"	W	Y
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○	Adonis Aemulifolia	18" H	10"	W	Y
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SYMBOL	PLANT SPECIES	HT	WT	COLR	FRUIT
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y
○	Adonis Aemulifolia	18" H	10"	W	Y

**NOTES:**

- ALL THEES SPECIES OF THE 1/2" TO 1" SHALL BE A SHADY TO OCEANIC WOODLAND SPECIES.
- CONFORM TO THE PLANTING SPECIFICATIONS BETWEEN PLANTING AND THE TRUCK COURT AND DRIVEWAYS TO THE BUILDING.
- ALL PLANTING SHALL BE DONE AT THE END OF THE PROJECT OR SOON THEREAFTER.

**THE ROOTBALL OF ANY PLANT SHALL NOT BE PLANTED AN**  
**CLOSER THAN 2' FROM ANY HARDSCAPE, BUILDING OR WALL.**

**GENERAL NOTES:**

- ALL PLANTING SHALL BE DONE AT THE END OF THE PROJECT OR SOON THEREAFTER.
- CONFORM TO THE PLANTING SPECIFICATIONS BETWEEN PLANTING AND THE TRUCK COURT AND DRIVEWAYS TO THE BUILDING.
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- CONFORM TO THE PLANTING SPECIFICATIONS BETWEEN PLANTING AND THE TRUCK COURT AND DRIVEWAYS TO THE BUILDING.



**JM Realty**  
 Riverside, California



711 FEE ANA STREET PLACENTIA, Ca 92870  
 714.986.2400 FAX 714.986.2408



- (3) Office space in these buildings shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1. All other separately identified uses shall be evaluated on the basis of the occupancy level listed for the respective use in Table C1.

2.5 *Supporting Compatibility Criteria for Airspace Protection:*

- (a) *Countywide Policy 4.3.3:* For proposed objects in the March ARB/IPA vicinity, the heights requiring ALUC review shall be as specified in Table MA-2.
- (b) *Countywide Policy 4.3.4:* Heights of objects shall be restricted in accordance with the airspace protection surfaces depicted in Table MA-2.
- (c) *Countywide Policy 4.3.5:* The compatibility zones within which dedication of an aviation easement shall be required as a condition of development is as indicated in Table MA-2. Except within Compatibility Zone A, aviation easements shall be dedicated to the March Inland Port Airport Authority or other civilian agency that may supersede it (successor-in-interest). Any aviation easements required within Zone A shall be dedicated to the United States of America.
- (d) *Countywide Policy 4.3.7:* Additional hazards to flight as listed in Table MA-2 are to be avoided in the vicinity of March ARB/IPA.

2.6 *Supporting Compatibility Criteria for Overflight:*

- (a) *Countywide Policy 4.4.3:* The compatibility zones within which a deed notice shall be required as a condition of development are as indicated in Table MA-2.

2.7 *Site-Specific Exceptions:*

Four development projects near March ARB have received entitlements in the form of Development Agreements or Disposition and Development Agreements from the respective jurisdictions prior to adoption of the *ALUCP* by the Riverside County ALUC. As such, exceptions to the compatibility criteria outlined in the preceding subsections are granted for these projects provided that they meet the conditions indicated below. (The locations of these exceptions are shown on Map MA-1 and the numbers below correspond to the numbering on that map.)

Exceptions for Sites 1 through 4 are valid only as long as the indicated specific plans and associated development agreements remain in effect. Any changes to the specific plans must be reviewed by the ALUC to ensure that increases in intensity of the proposed development would not result from the changes. Further, if the development agreements should expire, the criteria applicable to the property for which these exceptions apply shall revert to the underlying compatibility criteria indicated in this *ALUCP*.

- (a) *(Exception Site 1) March Business Center Specific Plan (SP-1) and Meridian (SP-5), March Joint Powers Authority*
- (1) Situated in Compatibility Zones B1, B2, C1, C2 and D.
- (2) March Business Center, a 1,032-acre, non-residential business park located at the southwest corner of Alessandro Boulevard and I-215 freeway within the March Joint Powers Authority, approved with specific airport compatibility provisions

(Ord. #JPA 03-01, SP-1), subject to March JPA Resolution #JPA 11-17 limiting development within the Accident Potential Zones and vested through a development Agreement recorded on June 7, 2004.

(3) Meridian, a 258-acre portion of the original March Business Center, consisting of a nonresidential business park located at the southwest corner of Alessandro Boulevard and I-215 freeway within the March Joint Powers Authority, approved with specific airport compatibility provisions (Ord. #JPA 10-02, SP-5), subject to March JPA Resolution #JPA 11-17 limiting development within the Accident Potential Zones and vested through a development Agreement recorded on June 7, 2004.

(4) For the purpose of this *Compatibility Plan*, the Meridian exception area specifically allows development of a hotel or hotels on the 13-acre site situated within Compatibility Zone B2 and bordered by Interstate 215 on the east and Van Buren Boulevard on the south. Any such hotel or hotels shall be limited as follows: maximum of 100 people per acre; maximum of 250 people per single acre; maximum of 3 above-ground habitable floors; no conference facilities (however, small meeting room(s) for a total of up to 50 people is (are) acceptable). Sound attenuation as appropriate for the combined airport and freeway noise levels shall be provided.

(5) The Development Agreement referenced in Paragraphs (2) and (3) above expires on December 27, 2016. After that, the agreement provides for two more 5-year automatic extensions. The developer must request the Development Agreement extensions and the Authority must make findings that the development is still in substantial conformance.

(b) *(Exception Site 2) Harvest Landing Specific Plan, City of Perris*

(1) Situated in Compatibility Zone C2.

(2) A 341-acre mixed-use Specific Plan located south of Placentia Avenue and east of Interstate 215 within the City of Perris and authorizing 1,860 residential units and 1,306,582 square feet of business/commercial uses. The Specific Plan and associated Development Agreement were adopted in May 2011.

(3) Agreement will expire 15 years from the approval date plus extensions in 5-year increments subject to City Council approval.

(c) *(Exception Site 3) Park West Specific Plan, City of Perris*

(1) Situated in Compatibility Zones C1 and C2.

(2) A 534.3-acre residential Specific Plan located south of Nuevo Rd and east of the Perris Valley Storm Channel within the City of Perris and authorized for a maximum of 2,027 residential units as identified in the Specific Plan and Development Agreement approved by Council on January 30, 2007.

(3) Agreement for Phase I expires 10 years from the approval date. Phases II and III extend the agreement to 2027 or 10 years after the developer submits an application for approval of a tentative tract map for any portion of these phases.

## D. Objectives of Development Districts

This section of the Specific Plan identifies the following ~~six~~seven land use districts: Business Park, Industrial, Office, Mixed Use, Commercial, Public Facility, and Park/Recreation/Open Space.

The land use designations are summarized below:<sup>1</sup>

### 1. Business Park

Business Park uses include administrative, financial, governmental, and community support services; research and development centers; light manufacturing; vocational education and training facilities; business and trade schools; and emergency services. A 14.5-acre transportation center to accommodate commuter rail service is a permitted use in this district. Business Park areas are generally served by arterial roadways, providing automobile and transit access. These areas are characterized as major employment concentrations. Development in this category, except for warehousing, is generally within a campus-like setting or cluster development pattern. Outdoor storage is ~~prohibited~~restricted.

### 2. Industrial

Industrial may support a wide range of manufacturing and non-manufacturing uses from warehouse and distribution facilities to industrial activities. Uses supported include warehousing/distribution and assemblage of non-hazardous products and materials or retailing related to manufacturing activity. Uses may include open storage, office/industrial park; light industry; manufacturing; research and development centers; maintenance shops; and emergency services centers. The area devoted to outdoor storage may not exceed the building area.

### 3. Office

Office uses include business activities associated with professional or administrative services. Activities can consist of corporate offices, cultural and community facilities, financial institutions, legal and medical offices, and other similar uses, which together represent major concentrations of community and employment activities. Uses may include office parks, office buildings, and educational and vocational training facilities. Development in this category is generally within a campus-like setting. Office development is typically located on arterial roadways for convenient automobile access and transit service.

### 4. Mixed-Use

Mixed uses include a variety of complementary land uses; including commercial, business park, office, medical, educational and vocational, research and development, and services, and light and custom manufacturing. Industrial, warehousing, and outdoor storage is prohibited.

<sup>1</sup> The land use descriptions are taken directly from the General Plan, amended to apply to this Specific Plan.

**TABLE III-1  
SPECIFIC PLAN AMENDMENT LAND USE TABLE**

USES	BUSINESS PARK <sup>1,6</sup>	INDUSTRIAL <sup>2,5,6,7</sup>	OFFICE	MIXED USE <sup>3</sup>	COMMERCIAL <sup>4,8,9</sup>
<b>INDUSTRIAL</b>					
Hazardous Waste Treatment Facility					
Bio-Medical Waste Treatment Facility		C			
Manufacturing – Custom	P	P		C	
Manufacturing – Light	P	P		C	
Manufacturing – Medium		P			
Manufacturing – Heavy <sup>7</sup>		C			
Mining & Extractive Industries					
Newspaper Publishing Plants	P	P			
Research & Development	P	P	PC	P	
Trucking/Transportation Terminals		P			
Wrecking & Dismantling of Motor Vehicles					
<b>WHOLESALE STORAGE/DISTRIBUTION</b>					
Public storage/Mini-warehouse (indoor)	C	C			
Business Enterprise	P	P		PC	
Warehouse, Storage & Distribution – Medium		P			
Warehouse, Storage & Distribution – Heavy		P			
<b>OFFICE</b>					
Financial Institutions	P		P	P	P
Government	P		P	P	P
Medical Clinics	P	P	P	P	
Offices, Business & Professional	P		P	P	P
Regional & Corporate Headquarters	P		P	P	P
<b>COMMERCIAL</b>					
Agricultural Equipment Repair Shops		P			
Agricultural/Nursery Supplies & Service	C	C			C
Alcoholic Beverage Outlets					C
Animal Care/Pet Hotels	P	P			P
Assembly & Entertainment				C	
Automotive Parts and Accessory Sales					P
Automotive Fleet Storage		C			
Automotive Service Stations					C

**TABLE III-1  
SPECIFIC PLAN AMENDMENT LAND USE TABLE**

USES	BUSINESS PARK <sup>1,6</sup>	INDUSTRIAL <sup>2,5,6,2</sup>	OFFICE	MIXED USE <sup>3</sup>	COMMERCIAL <sup>4,8,9</sup>
Automotive/Truck Repair-major		P			
Automotive/Truck Repair-minor	C	P			C
Building & Site Maintenance Services	P	P		P	
Building Contractor's Storage yard	C	P			
Building Material & Equipment Sales (limited to 25,000 square feet) <sup>8</sup>	P			P	P
Business Supply/Equip Sales/Rentals	C	C			P
Business Support Services <sup>2</sup>	P	P	P	P	
Child Care Facilities	C		C	C	C
Churches & Places of Religious Assembly				C	
Coffee Shop				P	P
Communication Facilities, Antennas & Satellite Dishes	C	C			
Consumer Goods, Furniture, Appliances, Equipment Sales				P	P
Convenience Sales					C
Energy Generation & Distribution Facilities		C			
Equestrian Show & Exhibition Facilities					
Exhibit Halls & Convention Facilities				C	
Fairgrounds					
Food and Beverage Sales				P	P
Funeral & Mortuary Services	C				
General Retail Establishments				P	P
Golf Courses, Driving Ranges and Pitch & Putt Courses					
Health Club				C	C
Heavy Equipment Sales and Rentals with outside merchandising	C	C		C	
Horticulture Nurseries & Greenhouses	C	P			C
Hospitals, Intermediate Care Facilities & Nursing Facilities					
Hotel/Motel				C	C

**TABLE III-1  
SPECIFIC PLAN AMENDMENT LAND USE TABLE**

USES	BUSINESS PARK <sup>1,6</sup>	INDUSTRIAL <sup>2,5,6,2</sup>	OFFICE	MIXED USE <sup>3</sup>	COMMERCIAL <sup>4,8,9</sup>
Instructional Studios	P	P	P	P	
Interpretive Centers	P	P	P	P	
Laundry Services	P	P		€	
Maintenance & Repair	P	P		P	
Major Transmission, Relay or Communications Switching Stations	P	P			
Museums			P	P	P
Bar & Grill			C	C	P
Open Air Markets for the Sale of Agriculture-related Products & Flowers	C			C	C
Outdoor Commercial		C			€
Outpatient Medical Clinics	P		P	P	P
Parking Facilities as a <i>Primary Use</i>	CP	C			P
Personal Services				P	P
Petroleum Products Storage					
Pets & Pet Supplies				C	P
Private Clubs, Lodges & Fraternal Organizations				€	
Radio & Television Studios	P	P		P	
Recreational Facilities				C	C
Recycling Facilities (outdoor storage not to exceed building area)		PC			
Repair Services	P	P		P	
Restaurant (fast food) <sup>2</sup>				€	P
Restaurant (sit down)			C	P	P
Sidewalk Cafes				P	P
Social Service Institutions	P		P	P	
Sundries, Pharmaceutical & Convenience Sales					P
Swap Meets & Other Large Outdoor Retail Facilities		€			
Theaters					

**TABLE III-1  
SPECIFIC PLAN AMENDMENT LAND USE TABLE**

USES	BUSINESS PARK <sup>1,6</sup>	INDUSTRIAL <sup>2,5,6,7</sup>	OFFICE	MIXED USE <sup>3</sup>	COMMERCIAL <sup>4,8,9</sup>
Trade Schools	C				C
Vehicle, Boat and Trailer Sales	C			C	C
Vehicle Storage		C			
Veterinary Clinics & Animal Hospitals	P			P	P
Zoological Parks					

<sup>1</sup> Within the Business Park zone, a use permit is required for uses that provide outdoor storage in excess of 10% of the building area

<sup>2</sup> Within the Industrial zone, a use permit is required for uses that provide outdoor storage in excess of the building area.

<sup>3</sup> The Mixed Use designation shall have a maximum of 25 percent retail uses.

<sup>4</sup> Within the Commercial zoning district, a use permit shall be required for single uses above 25,000 square feet of gross floor area

<sup>5</sup> Ancillary on-site retail sales are allowed in areas comprising up to 5% of an industrial building area and 10% of the business park building area on a per lot basis. On-site retail sales may not be cumulatively applied.

<sup>6</sup> Logistics warehousing uses or activities shall be prohibited in Industrial lots within the Specific Plan Amendment area, west of Meridian Parkway.

<sup>7</sup> Special consideration shall be given to minimizing the aesthetic and visual impact to the I-215 Freeway, Van Buren Boulevard, Alessandro Boulevard, and other sensitive uses.

<sup>8</sup> All activities shall be conducted within a completely enclosed building, unless approved through a Temporary Use Permit consistent with Development Code Section 9.02.150.C.

<sup>9</sup> A master plot plan is required for each commercial development prior to development of any portion of the commercial lot and prior to selling any portion of the commercial lot.

Note: Development shall be subject to a cumulative traffic generation budget, as described in Section V.B.2.

## E.G. Development Regulations

No building or portion thereof shall be erected, constructed, converted, established, altered, enlarged, nor shall any legal lot or premises be used unless the legal lot or premises and building comply with the following regulations and standards described below in Table III-2. Development regulations and standards for the Business Park land use are applicable to the Public Facility land use designation.

### (a) Lot Development

- (1) Two adjoining lots which have a common interior side ~~or rear~~ lot line may be developed with zero side yard setbacks on the common lot line, provided that the opposite side yard setback is not less than 30 feet.
- (2) Any construction or alteration of greater height than an imaginary surface extending upward and outward at a 100 to 1 slope from the nearest point of the runway (see FAR §77.13.2.i) will require the preparation of FAA Notice of Proposed Construction or Alteration (form 7460-1).
- (3) ~~Construction of objects taller than 50-35 feet in the Height Caution~~ High Terrain Zone (see ~~Figure B-1~~ Appendix B of this Specific Plan Amendment), will require review by the Airport Land Use Commission

DIMENSIONS	Business Park	Industrial	Office	Mixed Use	Commercial
Area (minimum)	30,000 sq. ft.	30,000 sq. ft.	30,000 sq. ft.	30,000 sq. ft.	30,000 sq. ft.
Street Frontage (minimum)	100 ft. <sup>1</sup>	100 ft. <sup>1</sup>	100 ft.	100 ft.	100 ft.
Lot Width (minimum)	100 ft.	100 ft.	100 ft.	100 ft.	100 ft.
Minimum Yards					
Front Yard Setback	20 ft.	20 ft.	25 ft.	20 ft.	25 ft.
Interior Side Yard Setback	0 ft.	0 ft.	0 ft.	0 ft.	0 ft.
(Abutting Residential Zone)	30 ft.	30 ft.	30 ft.	30 ft.	30 ft.
Street Side Yard Setback	20 ft.	20 ft.	15 ft.	15 ft.	15 ft.
Rear Yard Setback	25 ft.	25 ft.	10 ft.	10 ft.	10 ft.
(Abutting Residential Zone)	50 ft.	50 ft.	40 ft.	40 <sup>k</sup> ft.	40 ft.
Building Height <sup>2</sup>	35' <sup>2</sup> /2 stories <sup>2</sup>	35' <sup>2</sup> /2 stories <sup>2</sup>	50' <sup>2</sup> 60' <sup>2</sup> /3 stories <sup>3</sup>	50'/3 stories	50'/3 stories
Floor Area Ratio	0.45	0.50 (0.55 is allowed for lots larger than 20 acres)	0.35-40	0.35 (0.40 is allowed for lots larger than five acres)	0.25-35
Site Landscaping	10%	10% <sup>4</sup>	20% <sup>4</sup>	20% <sup>4</sup>	20% <sup>4</sup>

<sup>1</sup>\* Any lot which fronts on a turnaround or curving street having a radius of curvature of less than 100 feet, the minimum frontage shall be 60 feet.

<sup>2</sup>\*\* Increased height up to 80 feet is permitted where all building setbacks meet or exceed the proposed building height.

<sup>3</sup> Subject to FAA Part 77 clearance and consistency with the Joint Land Use Study.

<sup>4</sup> May be reduced through the use of colored pavers or other decorative pavement treatments under certain conditions. See item (b) below.

<sup>5</sup> Incorporation of a basement to allow exceedance of the two-story limitation in Business Park and Industrial land uses, and the three-story limitation in Office, Mixed Use, and Commercial land uses shall not be allowed.

### (b) Landscaping

Landscaping design for development in the ~~March Business Center Specific Plan~~ this Specific Plan Amendment shall be consistent with the March Business Center Design Guidelines. A ~~minimum of landscaped setback of 40 feet shall be required for developments adjacent to Arnold Heights Elementary~~



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m, and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

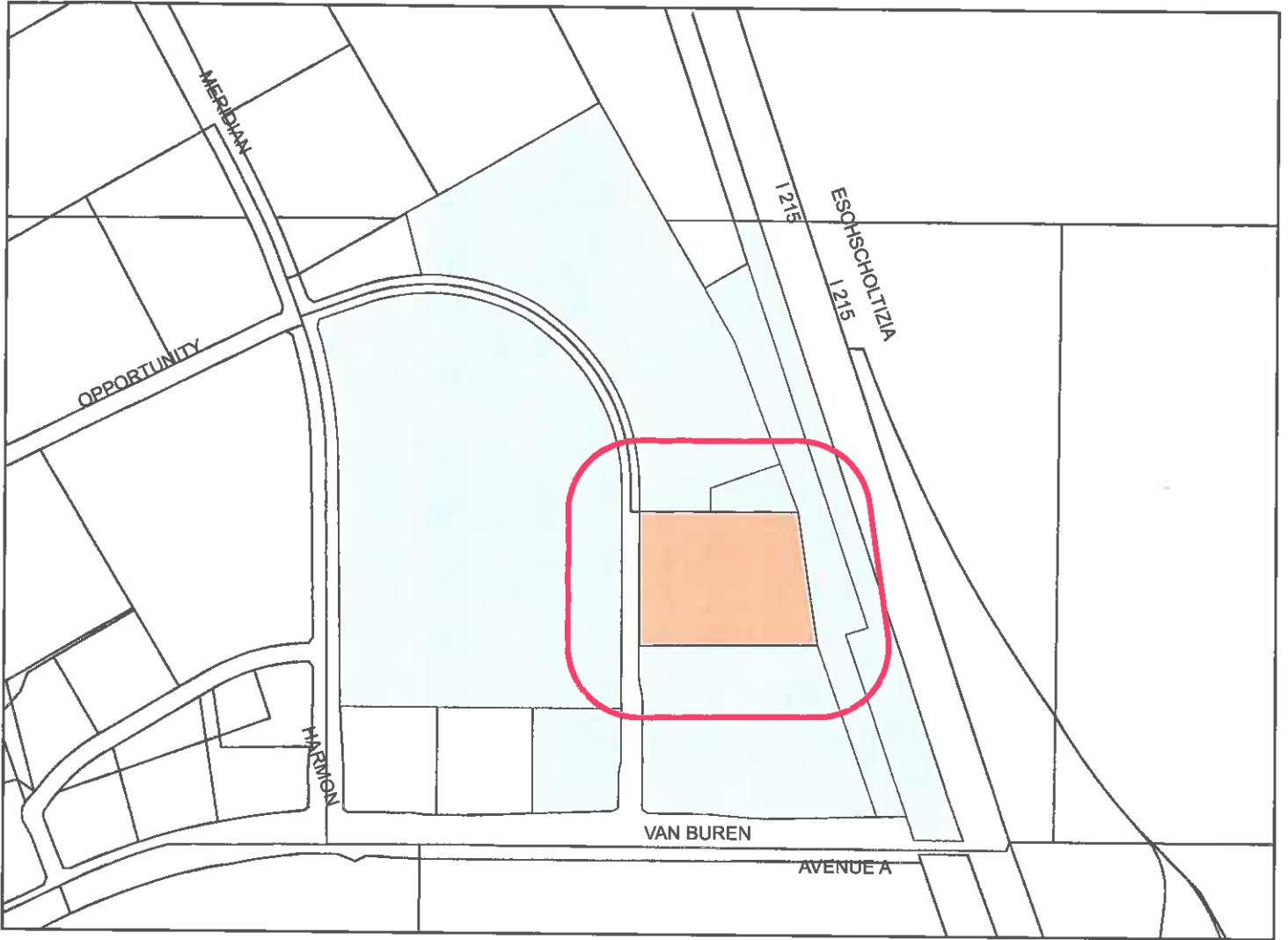
TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1129MA15 – JM Realty/LNR Riverside LLC (Representative: Adam Corral, Kimley-Horn and Associates) – March Joint Powers Authority Case Nos.: PP15-01 (Plot Plan) and VAR 15-01 (Variance). The applicant proposes to construct two industrial warehouse buildings with a total floor area of 192,468 square feet on 9.9 acres located along the easterly side of Opportunity Way, northerly of Van Buren Boulevard and westerly of Interstate 215 within the land use jurisdiction of the March Joint Powers Authority. The southerly building will have a floor area of 99,743 square feet, and the northerly building will have a floor area of 92,725 square feet. Each building will include 6,000 square feet of first floor office space and 3,600 square feet of second floor office space. The Variance is required in that the building heights at 38 feet above ground level exceed both the Specific Plan standard of 35 feet (Table III-2 of Specific Plan No. 5) and the rear yard setback. (A Variance would not have been required had all setbacks been at least 38 feet.) (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area, within the March Business Center/Meridian Exception Site 1)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Grace Williams of the March Joint Powers Authority, at (951) 656-7000.

**APN: 294070031 (300 feet buffer)**



**Selected Parcels**

294-070-032 294-070-031 294-070-033 294-070-037 294-070-002 294-050-079 294-070-036 294-070-025



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1129MAIS

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 6/23/15  
 Property Owner JM Realty  
 Mailing Address 3535 Inland Empire Blvd Phone Number (619) 744-0129  
Ontario, CA 91764

Agent (if any) Adam Conral Phone Number (619) 744-0129  
 Mailing Address 401 B Street  
San Diego, CA 92101

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 22220 Opportunity Way and 22280 Opportunity Way  
94  
 Assessor's Parcel No. 299-070-031  
 Subdivision Name \_\_\_\_\_ Parcel Size 9.9 acres  
 Lot Number \_\_\_\_\_ Zoning Classification SP

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees, include additional project description data as needed*

Existing Land Use (describe) Vacant

Proposed Land Use (describe) Two Business Park buildings that will accommodate small warehousing, light industrial and office type land uses

Zone B2

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) \_\_\_\_\_ ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 38 feet ft.  
1552 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	6/22/15
Agency Name	March Joint Powers Authority
Staff Contact	Grace Williams
Phone Number	(951) 656-7000
Agency's Project No.	PP 15-01 and VAR 15-01
Type of Project	<input type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other <u>Plot Plan</u>

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below



**TRANSMITTAL**

**TO: REVIEW AGENCIES**  
**FROM: GRACE WILLIAMS, PRINCIPAL PLANNER** *GW*  
**DATE: JUNE 22, 2015**  
**SUBJECT: UNIT 4, LOT 3: 22220 OPPORTUNITY WAY (BLDG. 1) AND  
 22280 OPPORTUNITY WAY (BLDG. 2)**  
**CASE NO.: Plot Plan No. 15-01; Variance Application No. 15-01**

Reviewing Agencies

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> Ron Espalin, Willdan                | <input checked="" type="checkbox"/> Dan Fairbanks, March JPA                    |
| <input checked="" type="checkbox"/> Cecilia Buckley, Riv. Co. Fire      | <input checked="" type="checkbox"/> Pamela Hann, March ARB                      |
| <input checked="" type="checkbox"/> Habib Motlagh, Trilake Engineering  | <input checked="" type="checkbox"/> Sonia Pierce, March ARB                     |
| <input checked="" type="checkbox"/> Jimmy Chen, WMWD                    | <input checked="" type="checkbox"/> Henry Olivo, Riverside County Flood Control |
| <input checked="" type="checkbox"/> Jason Tannery, SCE – Planning       | <input checked="" type="checkbox"/> Dave Kristedja, So Cal Gas Company          |
| <input checked="" type="checkbox"/> Greg Dellenbach, County Env. Health | <input checked="" type="checkbox"/> John Guerin, ALUC                           |
| <input checked="" type="checkbox"/> Georgiena Vivian, VRPA Consultants  |   |

March JPA has received the following applications for a business center use at 22220 Opportunity Way (Bldg. 1) and 22280 Opportunity Way (Bldg. 2), on Unit 4 – Lot 3 of the Meridian Business Park Specific Plan:

**Plot Plan (PP15-01):** The Proposed Project consists of two buildings on a 9.9 acre lot zoned Business Park. One building consists of 92,725 square feet (SF) and the other building 99,743 SF for a total of 192,468 SF. These buildings will house a mix of permitted Business Enterprise uses such as warehousing, light industrial and office land uses. The combined square footage will yield a floor area ratio (FAR) of 44.61% compared to an allowable 45.0% FAR.

**Variance (VAR15-01):** The Project as currently proposed will require a variance with respect to the building setback at the rear of the lot. The proposed building height of 38 feet does not meet the requirements within the Specific plan (foot note 2 of table III-2) indicating “Increased height up to 80 feet is permitted where all building setbacks meet or exceed the proposed building height”.

Please refer to the attached Project Description for additional information. The March JPA requests that comments, should you have any, be returned to us no later than Tuesday, July 7, 2015. Please contact Grace Williams, Principal Planner at (951) 656-7000 for further information or if you have any questions that you would like to discuss.

**ATTACHMENT(S):**

1. Project Description
2. Site Plans
3. County ALUC Fee (\$1,188)
4. ALUC Application Form

### **Unit 4 Lot 3 Project Narrative:**

The Unit 4 Lot 3 Project (Proposed Project) is located within the southeastern portion of the North Campus of the Meridian Specific Plan Area, north of Van Buren Boulevard and east of Opportunity Way. The proposed project site is bounded by Meridian Unit 4 Lot 2 to the north, the MIPA controlled "South Basin" to the east, Unit 4 Lot 4 to the south, and Opportunity Way to the west. The Proposed Project consists of two buildings on a 9.9 acre lot zoned Business Park. One building would consist of 92,725 square feet (SF) and the other building 99,743 SF for a total of 192,468 SF. These buildings will house a mix of permitted Business Enterprise uses such as, Warehousing, Light Industrial and Office land uses. The combined square footage will yield a floor area ratio (FAR) of 44.61% compared to an allowable 45.0% FAR.

The Proposed Project was previously evaluated for impacts as a part of *SP-5, An Amendment to the North Campus of the Meridian Specific Plan*, (previously known as the March Business Center Specific Plan), March JPA, July 2010, referred to hereinafter as the "Meridian SPA" and the *Subsequent Environmental Impact Report for the Meridian Specific Plan (SP-5)*, (State Clearinghouse #2009071069), "Meridian SPA SEIR". The SEIR was certified by the March JPA in July 2010

As previously discussed the Proposed Project will consist of two buildings. "Building 1", the northern most building will include a 92,725 SF facility, approximately 599 feet long and 150 feet wide. This building is currently planned to be 38 feet in height with a second floor/mezzanine being used for additional office space. Building 1 is proposing 24 southerly facing truck docks and will be screened by several treatments such as landscaping, walls, fences and the adjacent building "Building 2". Although specific tenants have not been identified for this use, demising walls will be utilized to help ensure one tenant does not occupy more than 50,000 SF of space as required in the Meridian SPA.

The southern building, "Building 2" will consist of a 99,743 Square Foot facility, which will be approximately 646 feet long and approximately 150 feet wide. This building is also planned to be 38 feet in height with second floor office space. Building 2 proposes 28 truck northerly facing docks and will be screened by several treatments such as landscaping, walls, fences and the adjacent building "Building 1". Specific tenants have not been identified to occupy this building space, but similar to Building 1, demising walls will be utilized to limit occupancy to ensure the building development complies with the Meridian SPA requirements.

The Proposed Project will take access off Opportunity Way via 3 driveways. Two shared driveways are anticipated for this site at the Unit 4 Lot 2 and Unit 4 Lot 4 boundaries, and a proposed central driveway is expected to serve as the primary entrance for truck access onto the site. Driveway spacing along an Industrial Collector Roadway, such as Opportunity Way, should adhere to the County of Riverside Standard of 200 feet. The Proposed Project would comply with this standard by providing approximately 300 feet between driveways. Parking for the site would consist of 154 Automobile stalls including 16 for ADA accessibility, 8 for carpool use, and 20 for compact vehicles. As noted above, Buildings 1 and 2 have provided a total 52 truck docks.

Landscaping coverage on-site is anticipated to cover 43,286 Square Feet (10.03% Coverage), which exceeds the minimum lot requirement of 10%.

The Project as currently proposed will require a variance with respect to the building setback at the rear of the lot. The proposed building height of 38 feet does not meet the requirements within the Specific plan (foot note 2 of table III-2) indicating "Increased height up to 80 feet is permitted where all building setbacks meet or exceed the proposed building height".

## Guerin, John

---

**From:** Grace Williams <williams@marchjpa.com>  
**Sent:** Wednesday, June 24, 2015 1:52 PM  
**To:** Guerin, John  
**Subject:** RE: JM Realty - Meridian - Unit 4 Lot 3 - Setback Variance

Hi John,

We recently submitted a Plot Plan (PP 15-01) with a Variance (VAR 15-01) to you for ALUC review. The Variance was to accommodate a setback restriction on the site. The proposal is sent to you as Variances are required to be cleared by ALUC under our review procedures. My question is, has been your standard practice to submit ALL Variance proposals through your Commission for a consistency finding? Or have there been exceptions made for setback requests such as the one associated with our PP 15-01? Pasted below is an email from the Project manager grappling with these questions.

Thank you in advance for your feedback.

### Grace I. Williams

Principal Planner  
March Joint Powers Authority  
23555 Meyer Drive  
Riverside, CA. 92518  
P: (951) 656-7000  
F: (951) 697-6706  
[williams@marchjpa.com](mailto:williams@marchjpa.com)

**From:** [adam.corral@kimley-horn.com](mailto:adam.corral@kimley-horn.com) [<mailto:adam.corral@kimley-horn.com>]  
**Sent:** Wednesday, June 24, 2015 12:10 PM  
**To:** Grace Williams  
**Cc:** Jennifer Nelson  
**Subject:** JM Realty - Meridian - Unit 4 Lot 3 - Setback Variance

Good Morning Grace,

I received a phone call from Barbara at the Airport Land Use Commission, requesting that we send labels for notification of the Variance. A question that I have is, does this need to be an ALUC Action, a ministerial approval, or do they even need to review the setback variance given that we are in the B2 Compatibility Zone (where the 35' identified is used for general guidance – per note 19) and in the Meridian SPA (Table III-2 – superscript 2) indicates, “Increased height up to 80 feet is permitted where all building setbacks meet or exceed the proposed building height”.

I did a quick gut check of the MARB Part 77 surface in this area and we are more than 36 feet clear of penetrating that surface.

Just FYI... We have already submitted the form 7460-1 forms to the FAA on-line, I suspect we'll obtain determination letters back from them in the next 4-6 weeks.

I'm hoping that John at ALUC will opine that they can handle this case at staff level, if they even need to approve the setback variance.

Please feel free to call me if you have any questions!

Thanks again for all of your help! 😊

**Adam Corral, P.E.**

**Kimley-Horn** | 401 B Street, Suite 600 San Diego, CA 92101

Direct: 619-744-0129 | Mobile: 619-665-1296 | [www.kimley-horn.com](http://www.kimley-horn.com) | Main: 619-234-9411

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 4.3

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1130MA15 – 56 Sycamore Partnership L.P.  
(Representative: Brian Bargemann)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P14-0517 (Design Review)

**MAJOR ISSUES:** The use of the building, excluding office areas, will need to be limited to high-cube warehousing to comply with single-acre intensity limits. Conversion to any other use, such as a fulfillment center, would require reduction in areas proposed to be utilized as office areas, or would have to be limited to portions of the structure more than 210 feet from the office areas.

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The Design Review proposes to construct a 311,977 square foot industrial high-cube warehouse building (including 10,400 square feet of first floor office space and 10,400 square feet of second floor office space) on 30.21 gross acres.

**PROJECT LOCATION:** The site is located westerly of Sycamore Canyon Boulevard, northerly of Cottonwood Avenue, and southerly of Eastridge Avenue, within the City of Riverside, approximately 12,700 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone B1, Accident Potential Zone II
- c. Noise Levels: 60-65 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone

B1, and partially within Accident Potential Zone II (APZ II). Zone B1 -- within, as well as outside, APZ II -- limits average intensity to 50 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed building:

- High Cube Warehouse – 1 person per 1,428 square feet (35% of 1 person per 500 square feet)
- Office – 1 person per 200 square feet (with 50% reduction)

Based on the site plan provided, the building would include a maximum of 7,400 square feet of primary ground floor office area, 7,400 square feet of mezzanine office area, 3,000 square feet of ground floor receiving office area, 3,000 square feet of mezzanine receiving office area, and the remaining 294,077 square feet as high-cube warehouse for a total occupancy of 310 people. Based on the 30.21 acres, this results in an average intensity of 10 people per acre, which is compatible with the Zone B1 APZ II average acre criterion of 50.

Although the planned warehouse is designed and anticipated to be used as high-cube warehouse, if the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4 (50% of 1 person per 500 square feet), the building would total 398 people. Based on the 30.21 acres, this results in an average intensity of 13 people per acre, which is also compatible with the Zone B1 APZ II average acre criterion of 50.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces provided of 565 and truck docks of 56, the total occupancy would be estimated at 903.5 people. Based on the 30.21 acres, this results in an average intensity of 30 people per acre, which is also compatible with the Zone B1 APZ II average acre criterion of 50.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone B1 – within, as well as outside, APZ II -- limits maximum single-acre intensity to 100 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would consist of all of the 7,400 square feet of ground floor office area within the east portion of the building, 7,400 square feet of second floor mezzanine office, and 35,960 square feet of high-cube warehouse area. The receiving office area would be located within the western portion of the building (and would be required to be located there pursuant to the recommended conditions),

outside the eastern single-acre area. Approximately 200 square feet within the single-acre 210 feet by 210 feet area would be outside the building. This would result in a single-acre occupancy of 99, which would be consistent with the single-acre criterion.

If the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the maximum single-acre area of 7,400 square feet of ground floor office area, 7,400 square feet mezzanine office, and 35,960 square feet as fulfillment center would total 110 people, which would not be compatible with the Zone B1 APZ II single-acre criterion. Therefore, use as a fulfillment center or any use other than as a high-cube warehouse would exceed maximum allowable intensity levels unless office areas are reduced or the higher intensity use is located at least 210 feet from any office areas.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone B1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area between 60-65 CNEL range from aircraft noise. As an industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the warehouse area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to ensure adequate noise attenuation is provided for office uses.

Part 77: The elevation of Runway 14-32 at its northerly terminus is approximately 1535 feet above mean sea level (1535 feet AMSL). At a distance of approximately 12,700 feet from the runway to the project boundaries, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1662 feet AMSL. The project proposes a maximum finished floor elevation of 1516.2 feet AMSL. The proposed buildings have a maximum height of 45 feet and including an additional 4 foot allowance for roof mounted equipment for a potential maximum building elevation of 1565.2 feet AMSL. Therefore, review of the proposed building by the FAA Obstruction Evaluation Service is not required for height/elevation reasons.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically. However, development within Compatibility Zone B1 APZ II is limited to a maximum lot coverage of 50%. The net lot area for the Design Review is 1,315,787 square feet. The proposed 304,477 square foot building footprint would result in a lot coverage of 23.14%, which is consistent with the lot coverage limit.

#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, restaurants, hazardous materials manufacturing/storage (excluding storage of quantities of less than 6,000 gallons of flammable materials), noise sensitive outdoor nonresidential uses and hazards to flight.
  - (f) Medical services, child development centers, nurseries, and educational services
  - (g) Commercial/service uses: civic uses; churches, chapels, and other places of worship or religious activities; classrooms; gymnasiums; eating and drinking establishments; theaters; auditoriums; bowling alleys; conference or convention halls; fraternal lodges; auction rooms; gaming.
  - (h) Manufacture of: apparel; products made from fabrics or leather; chemicals and allied products; rubber and plastic products; professional, scientific, and controlling instruments; photographic and optical goods; watches and clocks.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an aviation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.

4. The attached notice shall be given to all prospective purchasers of the property and tenants of the building. While not required, the applicant and its successors-in-interest are encouraged to provide a copy of said notice to employees who would regularly be working at this location.
5. The proposed detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
7. The proposed project shall comply with the Compatibility Zone B1 Accident Potential Zone II single-acre criterion of 100 people (i.e. no more than 100 people in any single-acre [210' x 210'] area). Pursuant to the currently proposed building design and uses, to comply with this criterion, the warehouse area (excluding 7,400 square feet of primary ground floor office areas, 7,400 square feet of mezzanine office area, 3,000 square feet of ground floor receiving office area, and 3,000 square feet of mezzanine receiving office area) shall be exclusively used for high-cube warehouse and not otherwise increase its occupant density above such standard. Any conversion to more occupant-intensive uses such as manufacturing or an e-commerce or fulfillment center shall be subject to subsequent ALUC review of the specific tenant improvements/floor plans to determine consistency with the applicable intensity criterion.
8. To comply with the Compatibility Zone B1 Accident Potential Zone II single-acre criterion of 100 people, the City of Riverside shall require additional review by the Airport Land Use Commission prior to the establishment of office uses exceeding a cumulative total of 14,800 square feet in the eastern portion of the proposed building.
9. Receiving office area shall be located in the western portion of the building.
10. Zoned fire sprinkler systems shall be required throughout the building.
11. Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The City of Riverside

shall require an acoustical study to ensure compliance with this requirement.

12. In order to ensure proper functioning of the project drain system to avoid potential hazards to March Air Reserve Base flights, an additional Best Management Practice (BMP) shall be added to the project Water Quality Management Plan (WQMP). The applicant shall enter into a covenant and agreement with the City of Riverside similar to the Water Quality Management Plan and Urban Runoff BMP Transfer, Access and Maintenance Agreement between March Joint Powers Authority and Sun Life Assurance Company of Canada (Document No. 2014-0030862), which shall be recorded prior to issuance of a certificate of occupancy. A copy of the recorded agreement and BMP shall be provided to the Riverside County Airport Land Use Commission. The BMP shall include the following program:
  - (a) The property owner (56 Sycamore Partnership L.P. or its successor(s)-in-interest, hereinafter "Owner") or its designated representative shall monitor the conditions of the new detention basins and promptly inspect such basins following the completion of each "significant" rain event and the 48-hour period thereafter.
  - (b) If any standing water remains in a new basin that is not beneath a rock, gravel, or other layer following the completion of the "significant" rain event and the 48 hour period thereafter, Owner or its designated representative shall arrange to have such standing water either removed or covered within the next two business days following the conclusion of the 48 hour period.
  - (c) In the event that the standing water situation recurs on a regular basis following the 48-hour detention period, the new detention basin may no longer be draining as originally designed to prevent standing water from rising above a rock, gravel or other layer (for example, due to a rise in groundwater levels or other circumstance beyond Owner's ability to control). In that situation, Owner or its designated representative shall promptly engage a licensed civil engineer to prepare a design plan to assure that such condition does not persist for more than 48 hours following the conclusion of a "significant" rain event. The required engineering design solution shall be implemented promptly, but no later than 180 days following its approval by all applicable authorities, providing that, until such time as the engineered design solution is implemented, Owner or its designated representative will maintain water levels below the rock, gravel, or other layer.

SAMPLE

WATER QUALITY MANAGEMENT PLAN

BMP ACCESS AND MAINTENANCE AGREEMENT

206.1.82

DOC # 2014-0030862

01/27/2014 12:30P Fee:NC

Page 1 of 9

Recorded in Official Records

County of Riverside

Larry W. Ward

Assessor, County Clerk & Recorder



**RECORDING REQUESTED BY:**

March Joint Powers Authority

**WHEN RECORDED MAIL TO:**

March Joint Powers Authority

Planning Department

23555 Meyer Drive

Riverside, CA 92518

**Water Quality Management Plan#**

W12-000-0003

B12-000-025

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For Recorder's Office Use Only

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042

**WATER QUALITY MANAGEMENT PLAN AND URBAN RUNOFF BMP TRANSFER, ACCESS AND MAINTENANCE AGREEMENT**

**THIS AGREEMENT** is made and entered into in County of Norfolk, Commonwealth of Massachusetts, this 26th day of November 2013, by and between Sun Life Assurance Company of Canada, herein after referred to as "Owner" and March Joint Powers Authority, a joint powers authority, located in the County of Riverside, State of California hereinafter referred to as "MIPA";

**WHEREAS**, the Owner owns real property ("Property") in the MIPA, County of Riverside, State of California, more specifically described in Exhibit "A" and depicted in Exhibit "B," each of which exhibits is attached hereto and incorporated herein by this reference;

**WHEREAS**, at the time of initial approval of development project known as Meridian Distribution Center (14600 Innovation Drive) within the Property described here, the MIPA required the project to employ Best Management Practices, hereinafter referred to as "BMPs," to minimize pollutants in urban runoff;

**WHEREAS**, the Owner has chosen to install and/or implement BMPs as described in the Water Quality Management Plan, on file with the MIPA, hereinafter referred to as "WQMP", to minimize pollutants in urban runoff and to minimize other adverse impacts of urban runoff;

**WHEREAS**, said WQMP has been certified by the Owner and reviewed and approved by the MIPA;

**WHEREAS**, said BMPs, with installation and/or implementation on private property and draining only private property, are part of a private facility with all maintenance or replacement, therefore, the sole responsibility of the Owner in accordance with the terms of this Agreement;



**WHEREAS**, the Owner is aware that periodic and continuous maintenance, including, but not necessarily limited to, filter material replacement and sediment removal, is required to assure peak performance of all BMPs in the WQMP and that, furthermore, such maintenance activity will require compliance with all Local, State, or Federal laws and regulations, including those pertaining to confined space and waste disposal methods, in effect at the time such maintenance occurs;

**NOW THEREFORE**, it is mutually stipulated and agreed as follows:

1. Owner hereby provides the MJPA's designee complete access, of any duration, to the BMPs and their immediate vicinity at any time, upon reasonable notice, or in the event of emergency, as determined by MJPA's designee. No advance notice, for the purpose of inspection, sampling, testing of the device, and in case of emergency, to undertake all necessary repairs or other preventative measures at Owner's expense as provided in paragraph 3 below. MJPA shall make every effort at all times to minimize or avoid interference with Owner's use of the Property.
2. Owner shall use its best efforts diligently to maintain all BMPs in a manner assuring peak performance at all times. All reasonable precautions shall be exercised by Owner and Owner's representative or contractor in the removal and extraction of any material(s) from the BMPs and the ultimate disposal of the material(s) in a manner consistent with all relevant laws and regulations in effect at the time. As may be requested from time to time by the MJPA, the Owner shall provide the MJPA with documentation identifying the material(s) removed, the quantity, and disposal destination.
3. In the event Owner, or its successors or assigns, fails to accomplish the necessary maintenance contemplated by this Agreement, within five (5) days of being given written notice by the MJPA, the MJPA is hereby authorized to cause any maintenance necessary to be done and charge the entire cost and expense to the Owner or Owner's successors or assigns, including administrative costs, attorneys fees and interest thereon at the maximum rate authorized by the Civil Code from the date of the notice of expense until paid in full.
4. The MJPA may require the owner to post security in form and for a time period satisfactory to the MJPA to guarantee the performance of the obligations state herein. Should the Owner fail to perform the obligations under the Agreement, the MJPA may, in the case of a cash bond, act for the Owner using the proceeds from it, or in the case of a surety bond, require the sureties to perform the obligations of the Agreement. As an additional remedy, the MJPA may withdraw any previous Urban Runoff-related approval with respect to the property on which BMPs have been installed and/or implemented until such time as Owner repays to MJPA its reasonable costs incurred in accordance with paragraph 3 above.

5. This agreement shall be recorded in the Office of the Recorder of Riverside County, California, at the expense of the Owner and shall constitute notice to all successors and assigns of the title to said Property of the obligation herein set forth, and also a lien in such amount as will fully reimburse the MJPA, including interest as herein above set forth, subject to foreclosure in event of default in payment.
6. In event of legal action occasioned by any default or action of the Owner, or its successors or assigns, then the Owner and its successors or assigns agree(s) to pay all costs incurred by the MJPA in enforcing the terms of this Agreement, including reasonable attorney's fees and costs, and that the same shall become a part of the lien against said Property.
7. It is the intent of the parties hereto that burdens and benefits herein undertaken shall constitute covenants that run with said Property and constitute a lien there against.
8. The obligations herein undertaken shall be binding upon the heirs, successors, executors, administrators and assigns of the parties hereto. The term "Owner" shall include not only the present Owner, but also its heirs, successors, executors, administrators, and assigns. Owner shall notify any successor to title of all or part of the Property about the existence of this Agreement. Owner shall provide such notice prior to such successor obtaining an interest in all or part of the Property. Owner shall provide a copy of such notice to the MJPA at the same time such notice is provided to the successor.
9. Time is of the essence in the performance of this Agreement.
10. Any notice to a party required or called for in this Agreement shall be served in person, or by deposit in the U.S. Mail, first class postage prepaid, to the address set forth below. Notice(s) shall be deemed effective upon receipt, or seventy-two (72) hours after deposit in the U.S. Mail, whichever is earlier. A party may change a notice address only by providing written notice thereof to the other party.

**IF TO MJPA:**

March Joint Powers Authority

Planning Department

23555 Meyer Drive

Riverside, CA 92518

**IF TO OWNER:**

John Mulvihill

Sun Life Assurance Company of Canada

One Sun Life Executive Park

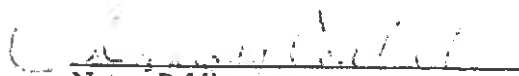
Wellesley Hills, MA 02481

COMMONWEALTH OF MASSACHUSETTS

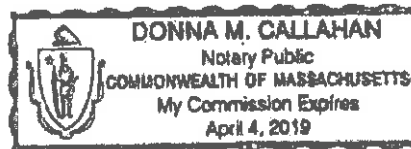
COUNTY OF NORFOLK

BEFORE ME, a Notary Public in and for said County and Commonwealth, personally appeared SUN LIFE ASSURANCE COMPANY OF CANADA, a Canadian corporation with its principal place of business in the United States being One Sun Life Executive Park, Norfolk County, Wellesley Hills, MA 02481, by John G. Mulvihill, its Authorized Signer, and Charles S. Andes, its Authorized Signer, and who acknowledged that he/she did sign the foregoing instrument for and behalf of said SUN LIFE ASSURANCE COMPANY OF CANADA, and that the same is his/her free act and deed individually and as such officer and the free act and deed of said SUN LIFE ASSURANCE COMPANY OF CANADA.

IN TESTIMONY WHEREOF, I have hereunto set my hand and official seal at Wellesley Hills, Norfolk County, Commonwealth of Massachusetts on November 26, 2013.

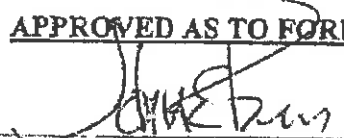


Notary Public  
Commonwealth of Massachusetts  
My Commission Expires: April 4, 2019



IN WITNESS THEREOF, the parties hereto have affixed their signatures as of the date first written above.


**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Agency Attorney Signature

John Brown, Best Best & Krieger LLP  
Name

Counsel to March Joint Powers  
Title Authority

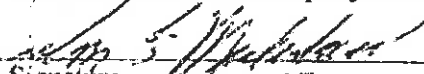
**ATTEST:**

  
\_\_\_\_\_  
Agency Secretary


1/15/14  
Date

**OWNER:**

Sun Life Assurance Company of Canada

  
\_\_\_\_\_  
Signature John Mulvihill  
Authorized Signer

Name: John Mulvihill

  
\_\_\_\_\_  
Title: Charles S. Andes  
Authorized Signer

**NOTARIES ON FOLLOWING PAGE**

ACKNOWLEDGMENT

State of California )  
County of Riverside )

On January 15, 2014, before me, Cindy Camargo, Notary Public, personally appeared John Brown, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

*Cindy Camargo*  
\_\_\_\_\_  
Signature of Notary Public  
Commission Number: 2031074  
Commission Expiration: July 23, 2017



OPTIONAL

*Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.*

Title of Attached Document:

Recording Requested by March JPA

Water Quality Management Plan and Urban Runoff BMP Transfer, Access and Maintenance Agreement

LOT 1:

LOT 1 OF NOTICE OF LOT LINE ADJUSTMENT NO. 12-01, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED JULY 25, 2012 AS INSTRUMENT NO. 2012-0348723, OF OFFICIAL RECORDS OF SAID COUNTY.

LOTS 5 AND 6 OF TRACT NO. 30857-1, IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA AS PER MAP FILED IN BOOK 371, PAGES 28 THROUGH 38, INCLUSIVE, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

AREA: 117372 SQ. FT OR 26.891 AC. ±

Assessor's Parcel Number (s): 297-23-17, 18, 19, & 20

Sections 14, 15, 22, 23, Township 3 South, and Range 4 West

Date Exhibit Prepared: 10/17/2013

 **Thienes Engineering, Inc.**  
CIVIL ENGINEERING • LAND SURVEYING  
14349 FIRESTONE BOULEVARD  
LA MIRADA, CALIFORNIA 90638  
PH.(714)521-4811 FAX(714)521-4173

Last Update: 11/18/13  
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LINE TABLE:

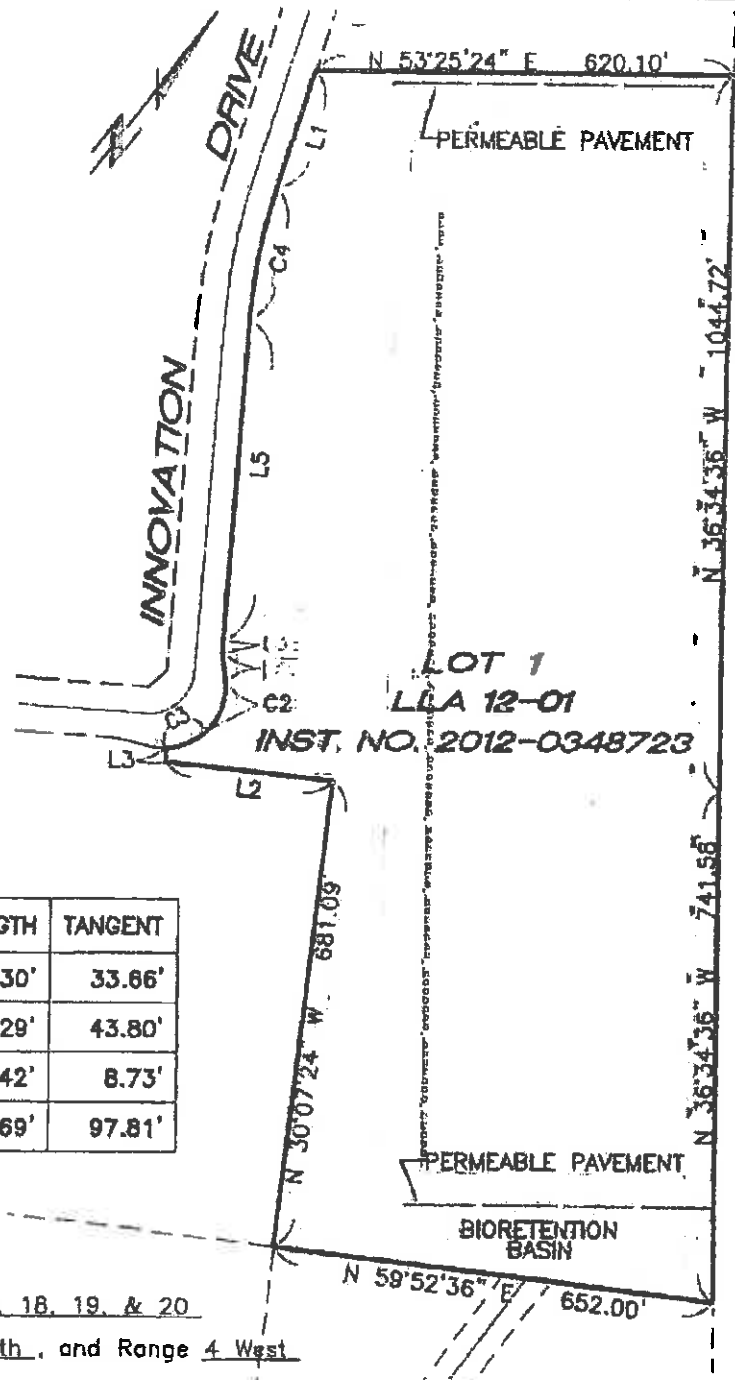
LINE #	LENGTH	BEARING
L1	180.76'	N 19°19'06" W
L2	246.68'	N 59°17'36" E
L3	20.18'	N 38°15'50" W
L4	41.26'	N 43°03'21" W
L5	471.78'	N 33°04'22" W

AREA:

117372 SQ. FT OR 26.891 AC. ±

CURVE TABLE:

CURVE #	DELTA	RADIUS	LENGTH	TANGENT
C1	41°52'00"	88.00'	64.30'	33.66'
C2	52°55'31"	88.00'	81.29'	43.80'
C3	9°58'59"	100.00'	17.42'	8.73'
C4	13°45'16"	811.00'	194.69'	97.81'



Scale: 1" = 250'

Assessor's Parcel Number (s): 297-23-17, 18, 19, & 20

Sections 14, 15, 22, 23, Township 3 South, and Range 4 West

Date Exhibit Prepared: 10/17/2013

LEGEND:

LOT LINE \_\_\_\_\_

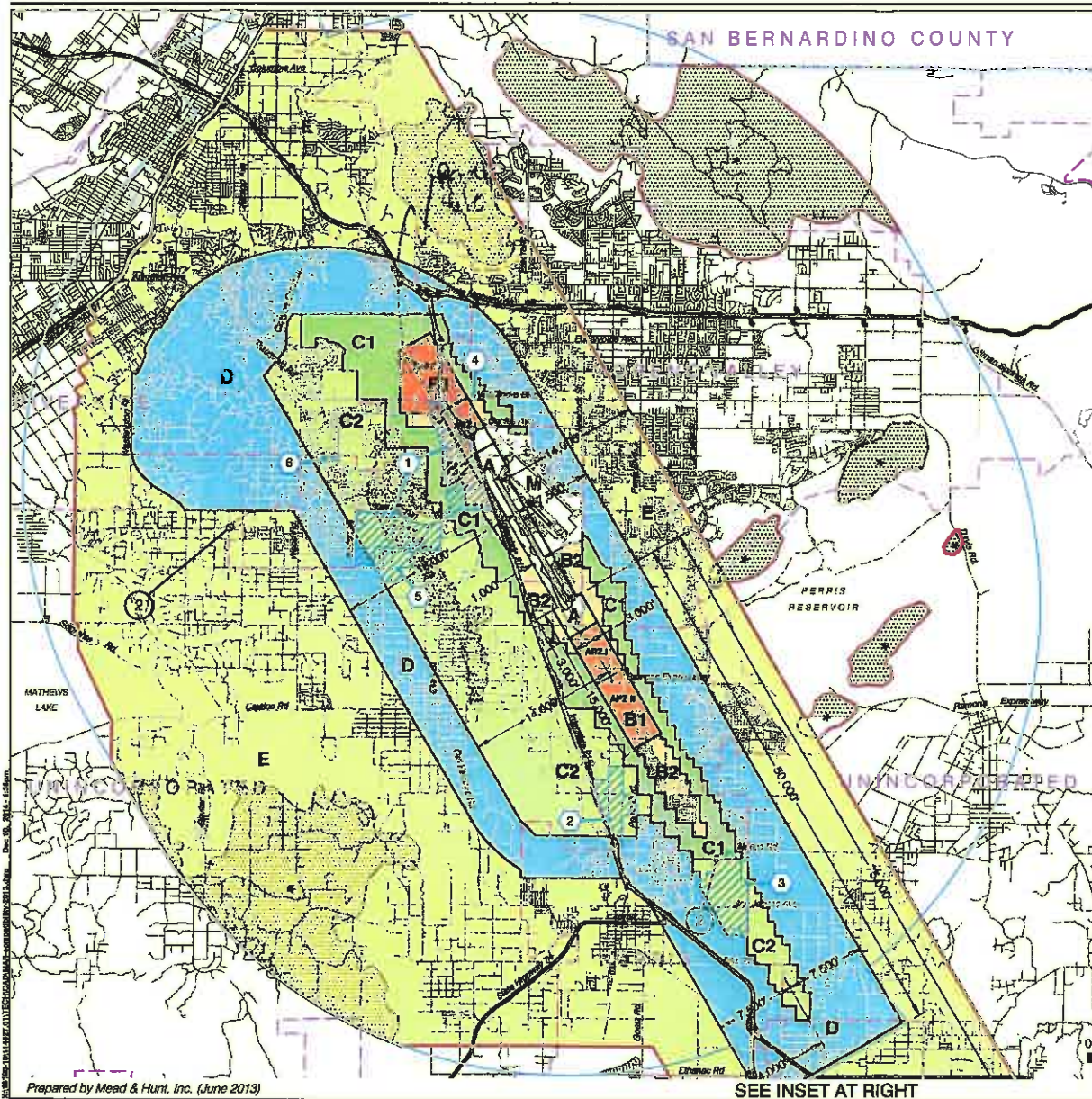
**Thienes Engineering, Inc.**  
 CIVIL ENGINEERING • LAND SURVEYING  
 14348 FIRESTONE BOULEVARD  
 LA MIRADA, CALIFORNIA 90638  
 PH.(714)521-4811 FAX(714)521-4173

Last Update: 11/18/13  
 O:\2800-2888\2881\2881F\WOMP\2881F\_LEGAL-EXBTS.dwg

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.

- 1 March JPA: March Business Center/Meridian
- 2 Perris: Harvest Landing
- 3 Perris: Park West
- 4 Moreno Valley: Affordable Housing
- 5 March JPA: Ban Clark Training Center
- 6 Riverside: Ridge Crest Subdivision

**INSET**



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from  
runway ends and centerlines.



Base map source: County of Riverside 2013

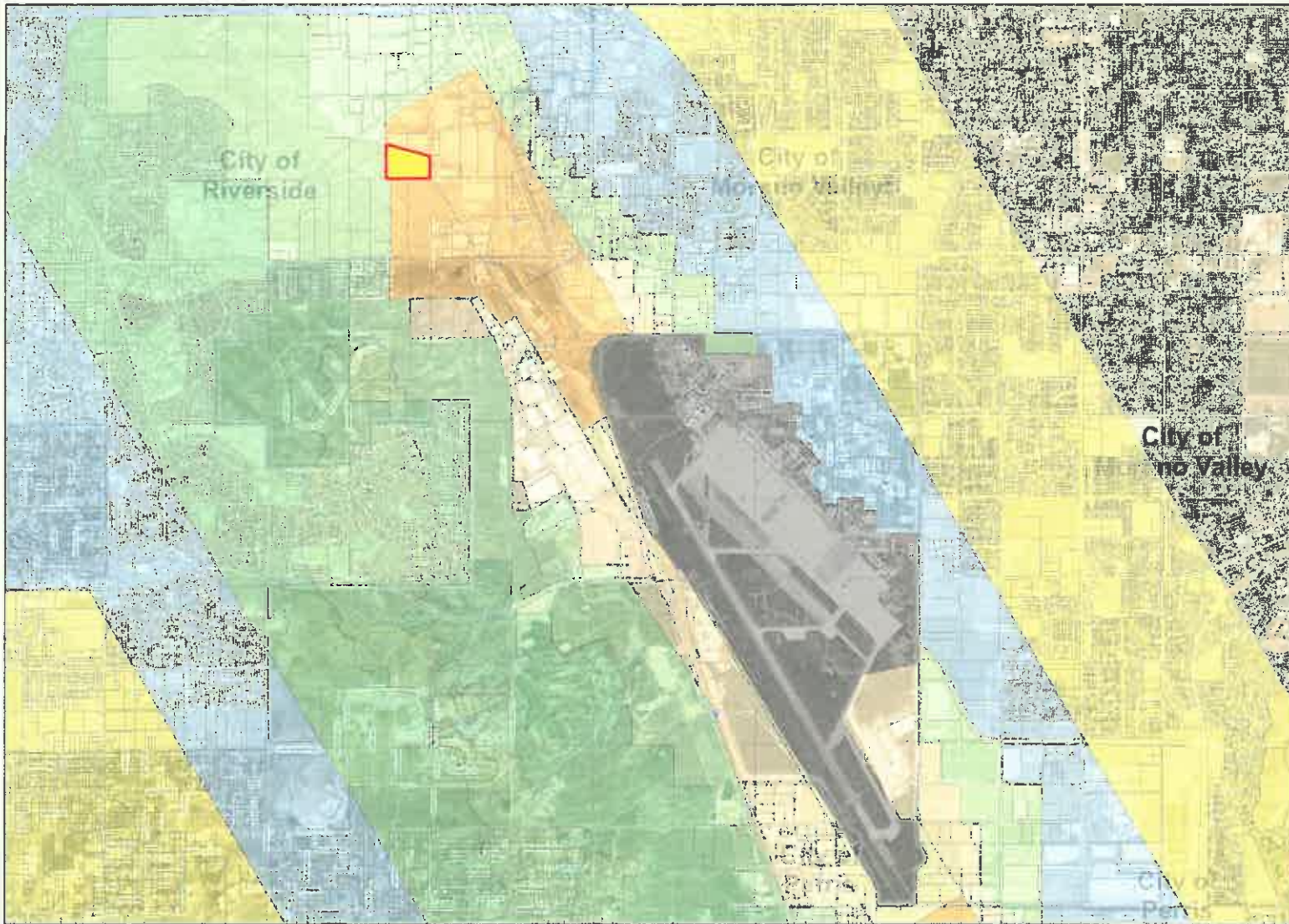
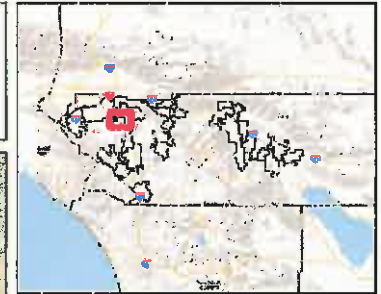
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1










**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

# My Map



## Legend

### Airport Compatibility

-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT
-  C2-HIGHT-EXC1
-  C2-HIGHT-EXC5



0 6,077 12,153 Feet

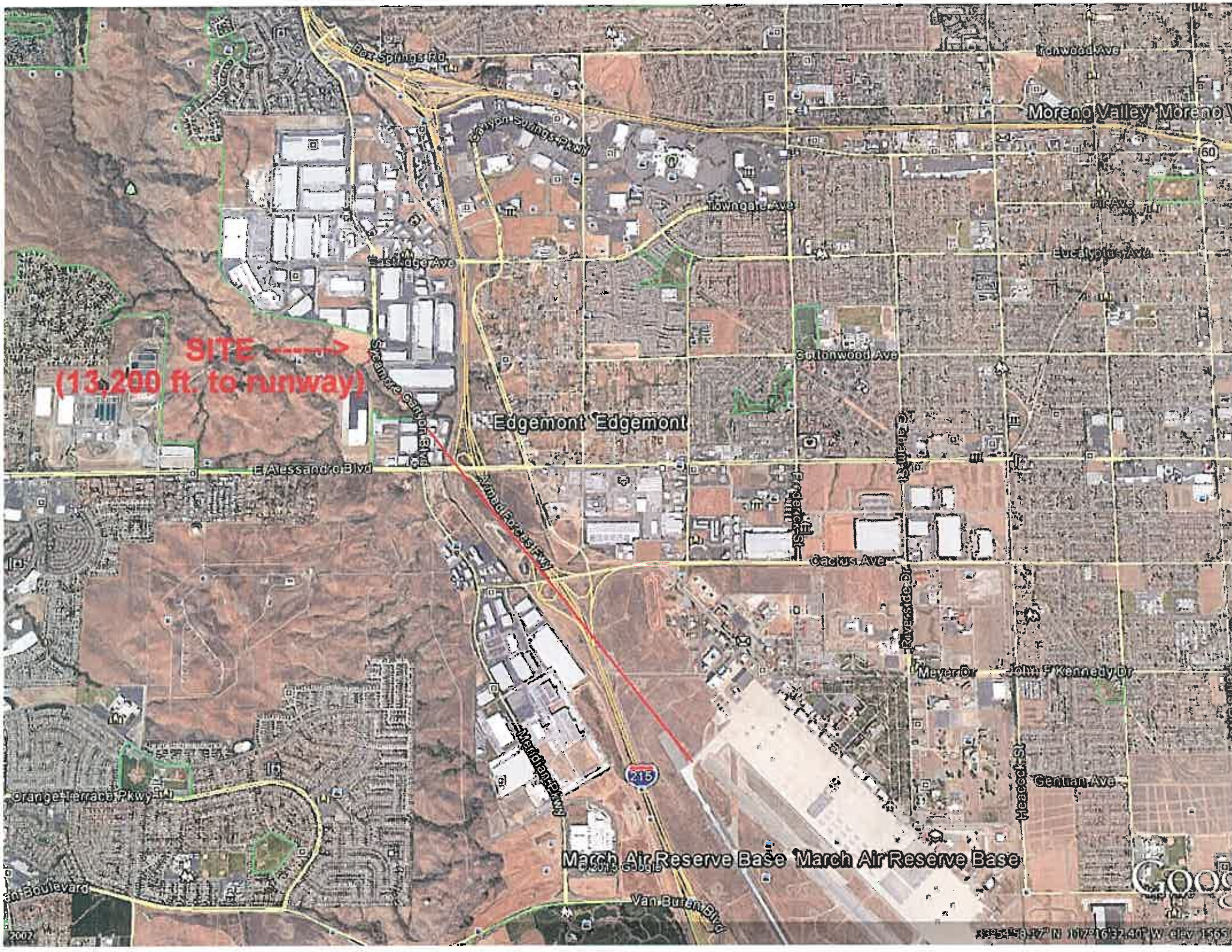


**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/16/2015 9:19:15 AM

© Riverside County TLMA GIS

## Notes



**SITE** →  
**(13,200 ft. to runway)**

Edgemoor Canyon Blvd

Edgemont Edgemont

E Alessandro Blvd

Van Nuys Fwy

215

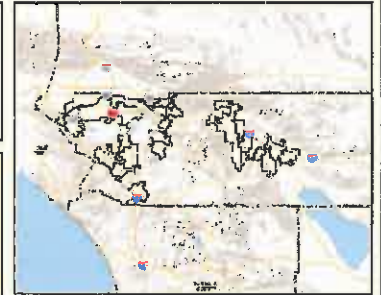
March Air Reserve Base March Air Reserve Base

Van Buren Blvd

Google

33°55'37.77" N 116°16'37.41" W elev 1565'

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 1,519 3,038 Feet



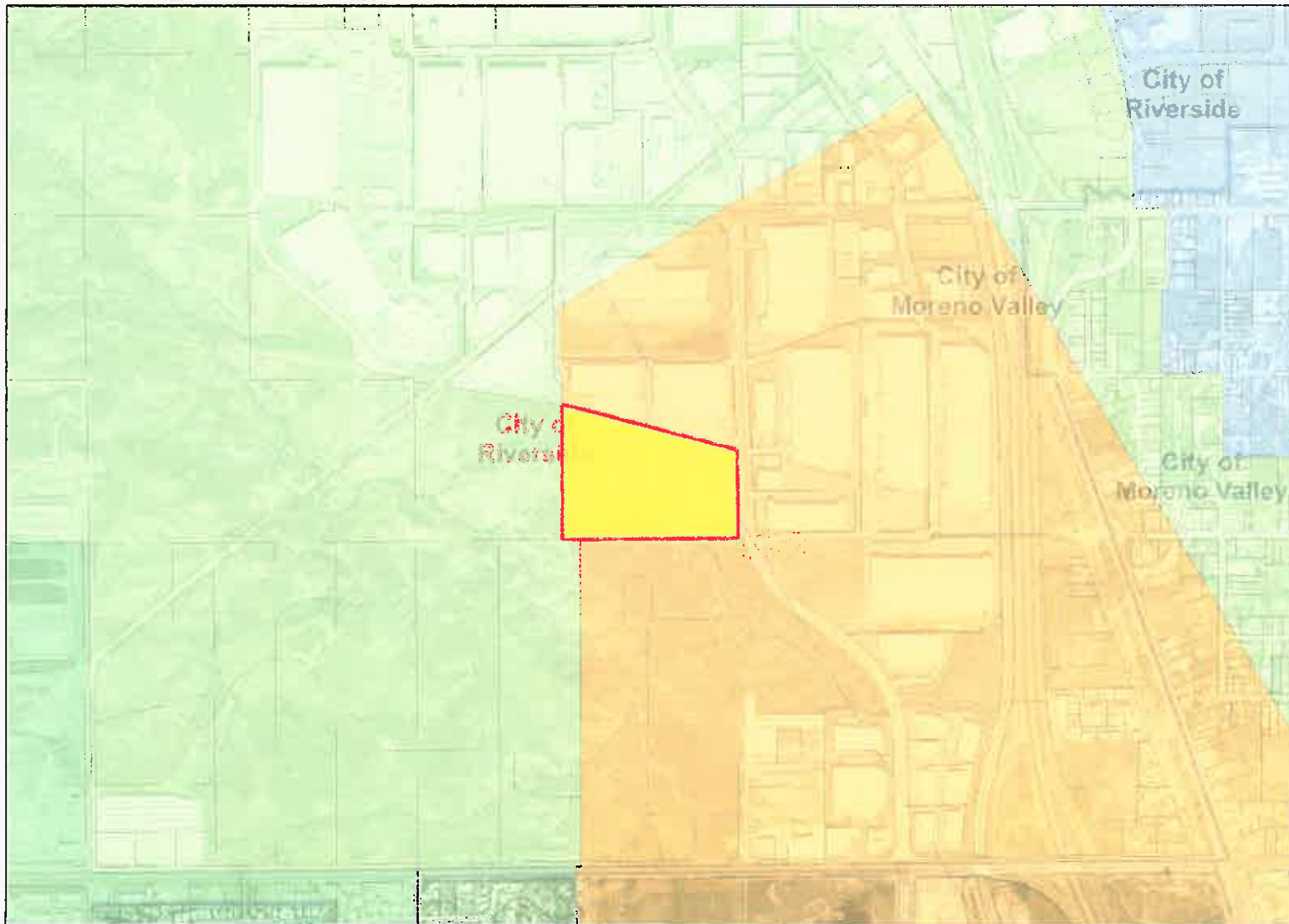
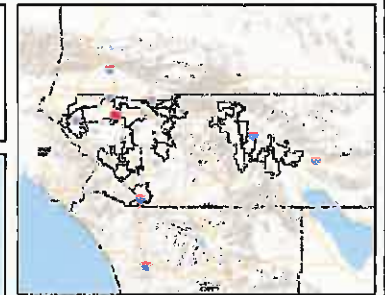
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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© Riverside County TLMA GIS

## Notes

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



0 1,519 3,038 Feet



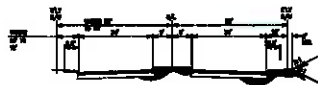
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/16/2015 9:18:33 AM

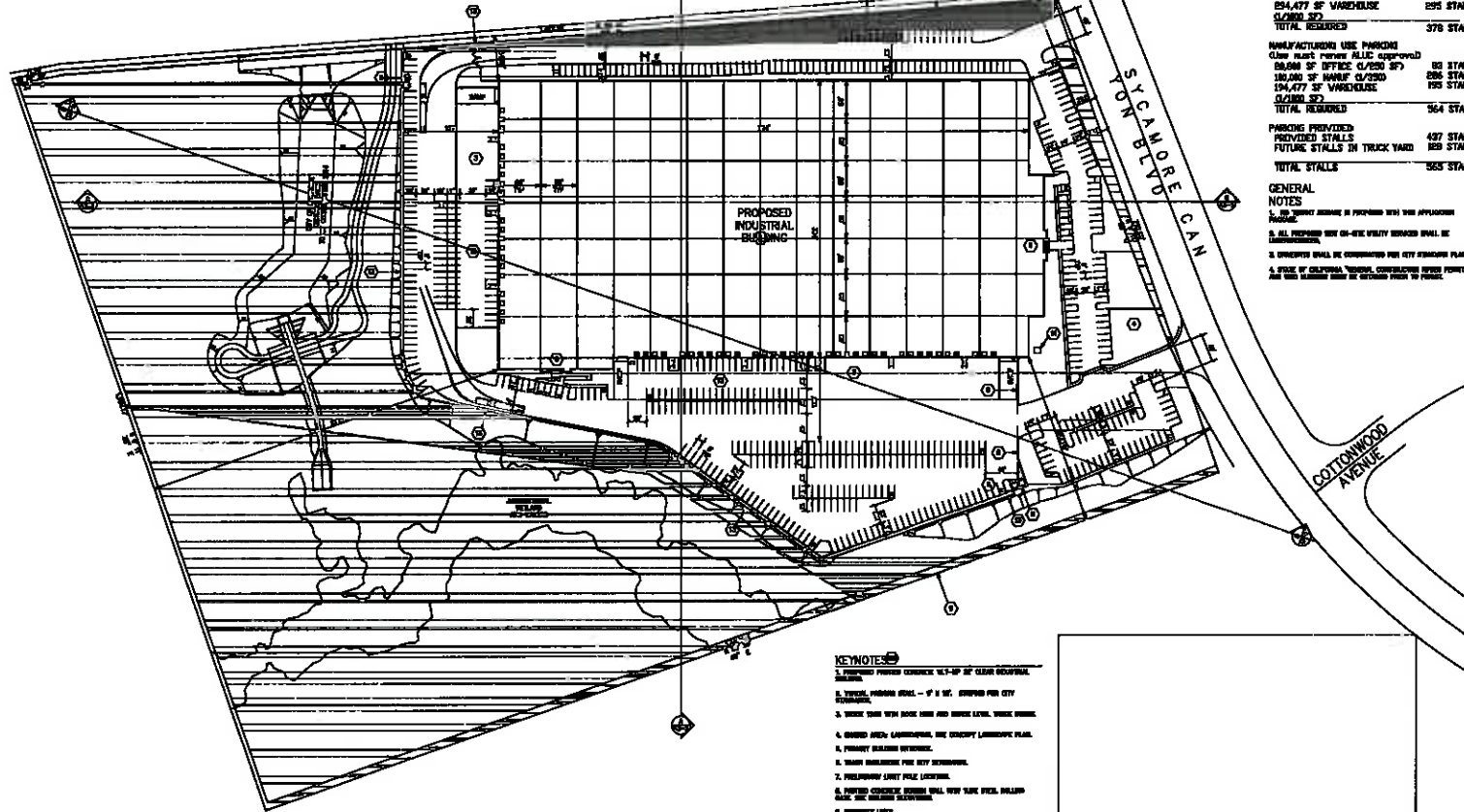
© Riverside County TLMA GIS

## Notes





SYCAMORE CANYON  
BOULEVARD



- KEYNOTES**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET.
  2. EXISTING UTILITIES SHOWN AS PER CITY RECORDS.
  3. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
  4. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
  5. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
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  13. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
  14. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
  15. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.

FLOOR  
PLAN

**PROJECT DATA**

STORAGE CANON SPECIFIC PLAN - 50'

**ZONING** S-1

**GROSS SITE AREA** 1,385,787 SF / 31.62 AC

**BUILDING AREA**

FERTIFRONT	364,477 SF
OFFICE	10,550 SF
<b>TOTAL</b>	<b>375,027 SF</b>

**GROSS COVERAGE** 26.93 %

**WAREHOUSE USE PARKING**

REQUIRED	
85,000 SF OFFICE (1/250 SF)	340 STALLS
0 SF WAREHOUSE (1/250 SF)	0 STALLS
364,477 SF WAREHOUSE (1/250 SF)	1,458 STALLS
<b>TOTAL REQUIRED</b>	<b>1,798 STALLS</b>

**MANUFACTURING USE PARKING**

REQUIRED	
85,000 SF OFFICE (1/250 SF)	340 STALLS
180,000 SF WAREHOUSE (1/250 SF)	720 STALLS
184,477 SF WAREHOUSE (1/250 SF)	738 STALLS
<b>TOTAL REQUIRED</b>	<b>1,798 STALLS</b>

**PARKING PROVIDED**

PROVIDED STALLS	437 STALLS
FUTURE STALLS IN TRUCK YARD	159 STALLS
<b>TOTAL STALLS</b>	<b>596 STALLS</b>

**GENERAL NOTES**

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET.
2. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
3. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
4. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.
5. ALL PROPOSED WORK TO BE ACCORDANCE WITH CITY RECORDS.

**RG**

Office of Architectural  
Design  
15231 Altam Parkway, Suite  
100  
Irvine, CA 92618

T 949-541-0920  
C 949-541-0922

**56 SYCAMORE  
CANYON  
FACILITY**  
56 SYCAMORE CANYON  
BLVD  
RIVERSIDE, CA

**INVESTMENT BUILDING  
GROUP**  
5100 CAMPUS DRIVE,  
SUITE 300  
NEWPORT BEACH, CA  
92660  
BRYAN BARCKEMANN  
949-265-1111

NO.	DATE	DESCRIPTION
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Zone	Locations	Density / Intensity Standards			Req'd Open Land	Additional Criteria	
		Residential (d.u./ac) <sup>1</sup>	Other Uses (people/ac) <sup>2</sup> Average <sup>5</sup> Single Acre <sup>6</sup>			Prohibited Uses <sup>3</sup>	Other Development Conditions <sup>4</sup>
<b>M</b>	Military						> No ALUC authority
<b>A</b>	Clear Zone <sup>7</sup>	No new dwellings allowed	0	0	All Remaining		> All non-aeronautical structures > Assemblages of people > Objects exceeding FAR Part 77 height limits > All storage of hazardous materials > Hazards to flight <sup>8</sup>
<b>B1</b>	Inner Approach/Departure Zone	No new dwellings allowed <sup>10</sup>	25 (APZ I) 50 (APZ II and outside APZs) <sup>11</sup>	100	Max. 50% lot coverage within APZs <sup>12</sup>		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, hotels/motels, restaurants, places of assembly > Bldgs with >1 aboveground habitable floor in APZ I or >2 floors in APZ II and outside of APZs <sup>13</sup> > Hazardous materials manufacture/storage <sup>14</sup> > Noise sensitive outdoor nonresidential uses <sup>15</sup> > Critical community infrastructure facilities <sup>16</sup> > Hazards to flight <sup>8</sup> > Uses listed in AICUZ as not compatible in APZ I or APZ II <sup>17</sup>
<b>B2</b>	High Noise Zone	No new dwellings allowed <sup>10</sup>	100	250	No Req't		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, hotels/motels, places of assembly > Bldgs with >3 aboveground habitable floors > Noise-sensitive outdoor nonresidential uses <sup>15</sup> > Critical community infrastructure facilities <sup>16</sup> > Hazards to flight <sup>8</sup>
<b>C1</b>	Primary Approach/Departure Zone	≤3.0	100	250	No Req't		> Children's schools, day care centers, libraries > Hospitals, congregate care facilities, places of assembly > Noise-sensitive outdoor nonresidential uses <sup>15</sup> > Hazards to flight <sup>8</sup>
<b>C2</b>	Flight Corridor Zone	≤ 6.0	200	500	No Req't		> Highly noise-sensitive outdoor nonresidential uses <sup>15</sup> > Hazards to flight <sup>8</sup>
<b>D</b>	Flight Corridor Buffer	No Limit	No restriction <sup>21</sup>	No Req't	No Req't		> Hazards to flight <sup>8</sup>
<b>E</b>	Other Airport Environs	No Limit	No Restriction <sup>21</sup>	No Req't	No Req't		> Hazards to flight <sup>8</sup>
<b>*</b>	High Terrain	Same as Underlying Compatibility Zone			Not Applicable		> Hazards to flight <sup>8</sup> > Other uses restricted in accordance with criteria for underlying zone

Table MA-2

## Basic Compatibility Criteria

March Air Reserve Base / Inland Port Airport

- (2) To ensure compliance with these criteria, an acoustical study shall be required to be completed for any development proposed to be situated where the aviation-related noise exposure is more than 20 dB above the interior standard (e.g., within the CNEL 60 dB contour where the interior standard is CNEL 40 dB). Standard building construction is presumed to provide adequate sound attenuation where the difference between the exterior noise exposure and the interior standard is 20 dB or less.

#### 2.4 *Supporting Compatibility Criteria for Safety:*

- (a) Countywide Policy 4.2.3: The acceptability of land uses of special concern within certain compatibility zones around March ARB/IPA shall be evaluated in accordance with the criteria indicated in Table MA-2. The criteria listed in Countywide Policy 4.2.3 do not apply.
- (b) Countywide Policy 4.2.4: The requirements for open land do not apply to the vicinity of March ARB/IPA except with regard to Compatibility Zones A and B1.
- (c) Countywide Policy 4.2.5: For the vicinity of March ARB/IPA, new nonresidential development shall not be clustered in a manner that would result in a usage intensity within any one acre (the number of people per single acre) exceeding the limits specified in Table MA-2. Clustering of residential development is encouraged, but the density within any one acre shall be limited to no more than 4.0 times the allowable average density for the zone in which the development is proposed.
- (d) Countywide Policy 4.2.6: The policy concerning risk reduction through building design is not applicable to the March ARB/IPA influence area.
- (e) Calculation of Usage Intensities for Retail Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of retail sales and display areas (a.k.a. mercantile areas) or “showrooms” (excluding restaurants and other uses specifically identified separately from retail/mercantile in Table C1) shall be evaluated as having an occupancy level of 115 gross square feet per person without eligibility for the 50 percent reduction in the resulting usage intensity (people per acre) as described in the appendix.
- (f) Calculation of Usage Intensities for Warehouse Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of warehouses, distribution centers, e-commerce centers, fulfillment centers, and similar uses in buildings larger than 200,000 gross square feet, exclusive of offices, conference rooms, break rooms and other uses identified separately from warehouses in Table C1, shall be calculated as follows:
  - (1) High-cube warehouses and distribution centers, other than e-commerce centers and fulfillment centers, shall be evaluated on the basis of 35% of the usage intensity that results from the occupancy level indicated in Table C1.
  - (2) E-commerce centers, fulfillment centers, and other similar uses shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1.

- (3) Office space in these buildings shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1. All other separately identified uses shall be evaluated on the basis of the occupancy level listed for the respective use in Table C1.

#### 2.5 *Supporting Compatibility Criteria for Airspace Protection:*

- (a) *Countywide Policy 4.3.3:* For proposed objects in the March ARB/IPA vicinity, the heights requiring ALUC review shall be as specified in Table MA-2.
- (b) *Countywide Policy 4.3.4:* Heights of objects shall be restricted in accordance with the airspace protection surfaces depicted in Table MA-2.
- (c) *Countywide Policy 4.3.5:* The compatibility zones within which dedication of an aviation easement shall be required as a condition of development is as indicated in Table MA-2. Except within Compatibility Zone A, aviation easements shall be dedicated to the March Inland Port Airport Authority or other civilian agency that may supersede it (successor-in-interest). Any aviation easements required within Zone A shall be dedicated to the United States of America.
- (d) *Countywide Policy 4.3.7:* Additional hazards to flight as listed in Table MA-2 are to be avoided in the vicinity of March ARB/IPA.

#### 2.6 *Supporting Compatibility Criteria for Overflight:*

- (a) *Countywide Policy 4.4.3:* The compatibility zones within which a deed notice shall be required as a condition of development are as indicated in Table MA-2.

#### 2.7 *Site-Specific Exceptions:*

Four development projects near March ARB have received entitlements in the form of Development Agreements or Disposition and Development Agreements from the respective jurisdictions prior to adoption of the *ALUCP* by the Riverside County ALUC. As such, exceptions to the compatibility criteria outlined in the preceding subsections are granted for these projects provided that they meet the conditions indicated below. (The locations of these exceptions are shown on Map MA-1 and the numbers below correspond to the numbering on that map.)

Exceptions for Sites 1 through 4 are valid only as long as the indicated specific plans and associated development agreements remain in effect. Any changes to the specific plans must be reviewed by the ALUC to ensure that increases in intensity of the proposed development would not result from the changes. Further, if the development agreements should expire, the criteria applicable to the property for which these exceptions apply shall revert to the underlying compatibility criteria indicated in this *ALUCP*.

- (a) *(Exception Site 1) March Business Center Specific Plan (SP-1) and Meridian (SP-5), March Joint Powers Authority*
- (1) Situated in Compatibility Zones B1, B2, C1, C2 and D.
  - (2) March Business Center, a 1,032-acre, non-residential business park located at the southwest corner of Alessandro Boulevard and I-215 freeway within the March Joint Powers Authority, approved with specific airport compatibility provisions

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

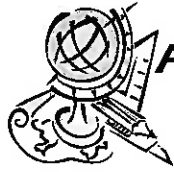
DATE OF HEARING: August 13, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1130MA15 – Investment Building Group/56 Sycamore Partnership, L.P. (Representative: Brian Bargemann) – City of Riverside Case No. P14-0517 (Design Review). The applicant proposes to construct a 311,977 square foot industrial high-cube warehouse building (including 10,400 square feet of first floor office space and 10,400 square feet of second floor office space) on 30.21 acres located along the westerly side of Sycamore Canyon Boulevard, northerly of its intersection with Cottonwood Avenue (to wit, on Assessor's Parcel Number 263-050-074), in the City of Riverside. (Airport Compatibility Zone B1-APZ II of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Brian Norton of the City of Riverside Planning Department, at (951) 826-2308.



# Advanced Listing Services Inc

Ownership Listings & Radius Maps

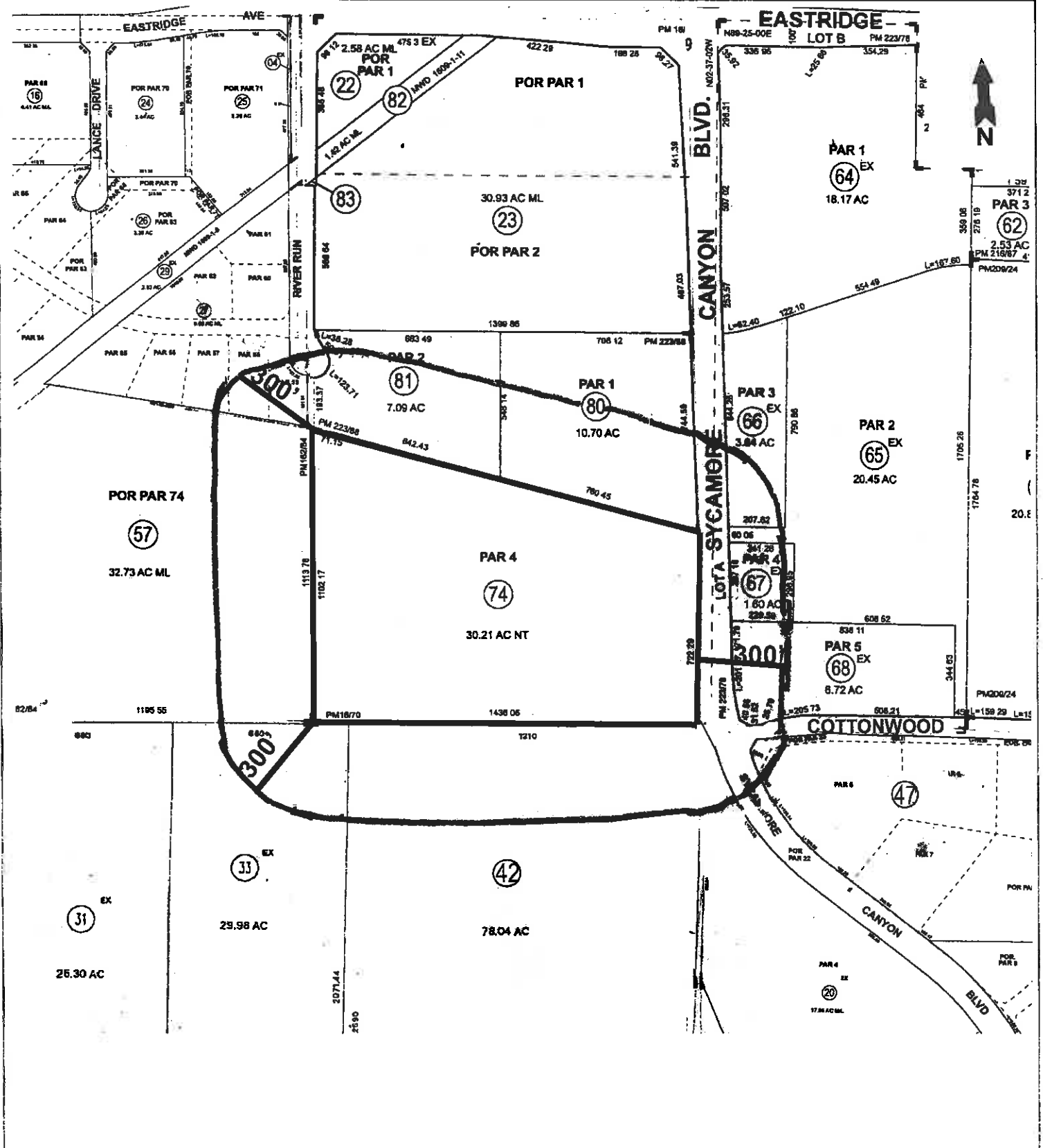
P.O. Box 2593 • Dana Point, CA • 92624

Office: [949] 361-3921 • Cell: [949] 310-6869

[www.Advancedlisting.com](http://www.Advancedlisting.com) [denise@advancedlisting.com](mailto:denise@advancedlisting.com)

Subject APN: 263-050-074  
300' Radius

Address: Sycamore Canyon Blvd  
Riverside CA 92507



APPLICATION FOR MAJOR LAND USE ACTION REVIEW

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1130MA15

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application JUNE 14, 2015
Property Owner 56 SYCAMORE PARTNERSHIP L.P. Phone Number 949-263-1111
Mailing Address 5100 CAMPUS DRIVE SUITE 300 NEWPORT BEACH, CA 92660

Agent (if any) BRIAN BARGEMANN Phone Number 949-263-1111
Mailing Address 5100 CAMPUS DRIVE SUITE 300 NEWPORT BEACH, CA 92660

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address VACANT LAND - SYCAMORE CANYON BLVD. RIVERSIDE, CA
Assessor's Parcel No. 203-050-074-3 Parcel Size
Subdivision Name
Lot Number Zoning Classification

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT - BUSINESS MANUFACTURING PARK ZONE

Proposed Land Use (describe) INDUSTRIAL - CONCRETE TILT UP WAREHOUSE (SPECULATIVE)

For Residential Uses Number of Parcels or Units on Site (exclude secondary units)
For Other Land Uses Hours of Use TBD - NORMAL BUSINESS HOURS
(See Appendix C) Number of People on Site Maximum Number
Method of Calculation UNKNOWN, LIKELY 50 TO 150 BASED UPON EXPERIENCE

Height Data Height above Ground or Tallest Object (including antennas and trees) 40 FT ft.
Highest Elevation (above sea level) of Any Object or Terrain on Site 1557 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?
If yes, describe [X] No

B1 March

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)

Date Received \_\_\_\_\_

Agency Name \_\_\_\_\_

Staff Contact \_\_\_\_\_

Phone Number \_\_\_\_\_

Agency's Project No. \_\_\_\_\_

City of Riverside

Brian Norton

Plot Plan P14-0517

Type of Project

- General Plan Amendment
- Zoning Amendment or Variance
- Subdivision Approval
- Use Permit
- Public Facility
- Other \_\_\_\_\_

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review—See Below



**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 4.4

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1133MA15 – Nuevo Meadows Land Company, LLC  
(Representative: Beau Cooper, United Engineering Group,  
Inc.)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** CZ07804 (Change of Zone), TR36635 (Tentative Tract Map),  
and PM36895 (Tentative Parcel Map)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Tract Map and Tentative Parcel Map CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** Change of Zone No. 7804 is a proposal to change the zoning classification of 78.95 acres from R-R (Rural Residential) to R-4 (Planned Residential). Tentative Tract Map No. 36635 is a proposal to subdivide the site into 283 single-family residential lots with a minimum lot size of 4,000 square feet (plus 4 lots for water quality basins, 9 for landscape features, a community playground, and trail, and a 15.75-acre area to be maintained by the Regional Conservation Authority as permanent open space). Tentative Parcel Map No. 36895 is a proposal to divide the same site into three parcels (each at least 20 acres in size) for phasing and/or financing purposes.

**PROJECT LOCATION:** The site is located northerly of San Jacinto Avenue, westerly of Pico Avenue, southeasterly of Ski Land Lake, and southwesterly of the intersection of Pico Avenue and Central Avenue in the unincorporated community of Nuevo, approximately 35,000 feet southeasterly of the southeasterly terminus of Runway 14-32 at March Air Reserve Base and 16,642 feet northeasterly of the northerly terminus of Runway 15-33 at Perris Valley Airport.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area: March Air Reserve Base/Inland Port Airport

- b. Land Use Policy: Airport Compatibility Zones D and E
- c. Noise Levels: below 60 CNEL from aircraft

**BACKGROUND:**

Residential Density: The site is located partially within Airport Compatibility Zone E and partially outside the Airport Influence Area. The adopted Compatibility Plan does not limit residential density in Zone E.

Prohibited and Discouraged Uses: The only uses prohibited in Airport Compatibility Zone E are hazards to flight, and no hazards to flight are proposed by the tract map.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being just outside the 60 CNEL contour relative to aircraft noise. ALUC's objective is that residential interior noise levels from aviation-related sources within this Airport Influence Area not exceed CNEL 40 dB. As standard construction for new homes is presumed to provide adequate sound attenuation where the exterior noise exposure is not more than 20 dB greater than the interior standard, this residential development would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southeasterly terminus is approximately 1,488 feet above mean sea level (1488 feet AMSL). The project site is located more than 20,000 feet from the runway at March Air Reserve Base. Building pad elevations do not exceed 1,435 feet AMSL, so structures up to 53 feet in height would not exceed the runway elevation.

The site is located less than 20,000 feet from Perris Valley Airport – approximately 16,642 feet. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,412 feet AMSL. At a distance of 16,642 feet from the runway, structures exceeding a top point elevation of 1,578 feet AMSL would require notice pursuant to the online Form 7460-1 process. Since structures at this site would not exceed a top point elevation of 1,488 feet AMSL, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons is not required.

Open Area: Airport Compatibility Zone E does not require land to be set aside as open areas.

**CONDITIONS (applicable to the proposed Tentative Tract Map and Tentative Parcel Map):**

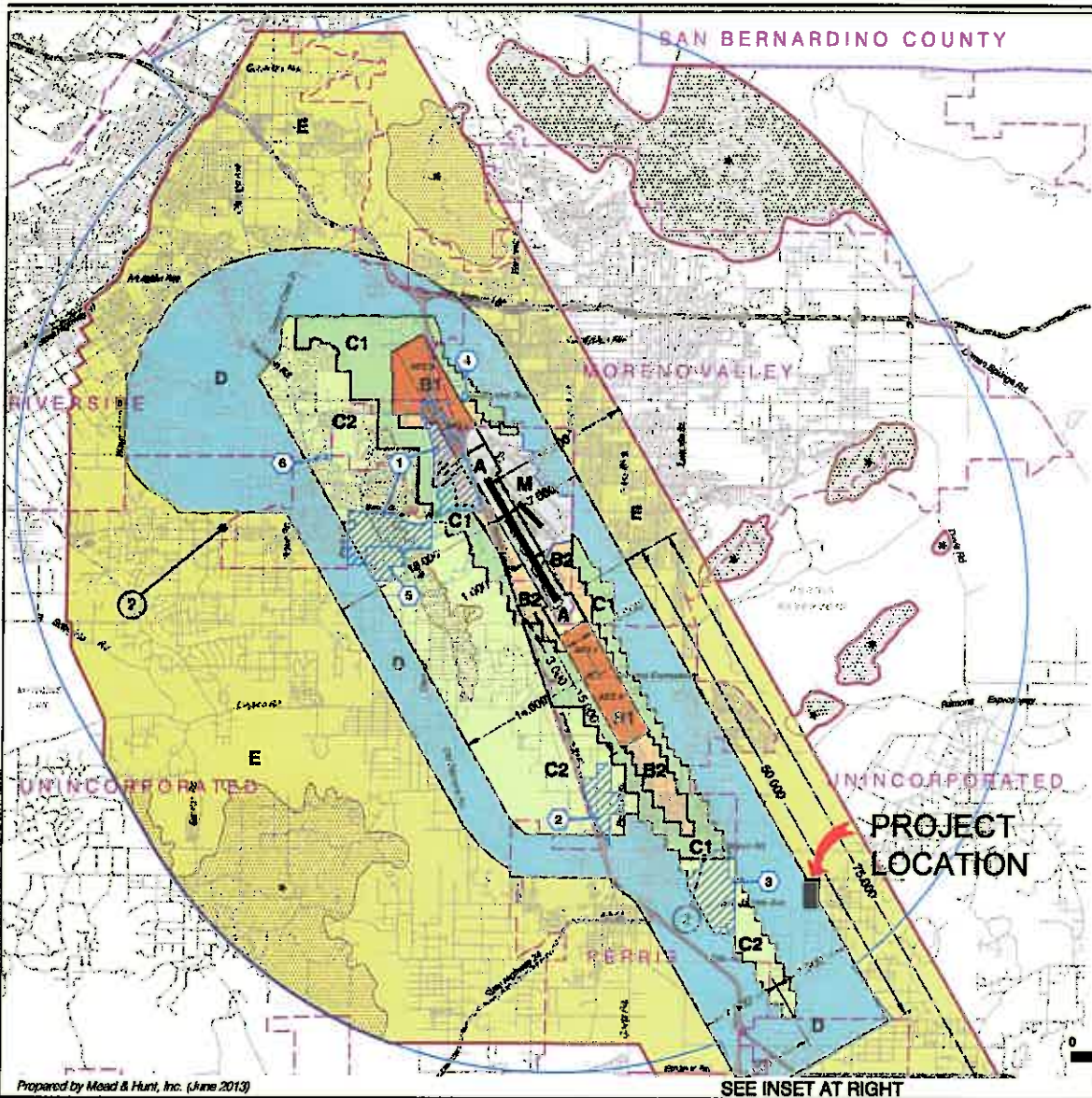
1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The determination of consistency for the proposed Tentative Tract Map and Tentative Parcel Map is based on the permissible uses within the proposed R-4 zone. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in

accordance with Note 1 on Table 4 of the Lakeview/Nuevo Area Plan:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached disclosure notice shall be provided to all potential purchasers of the proposed lots and to tenants of the homes thereon.
  4. The proposed water detention basins or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
  5. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; incinerators.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

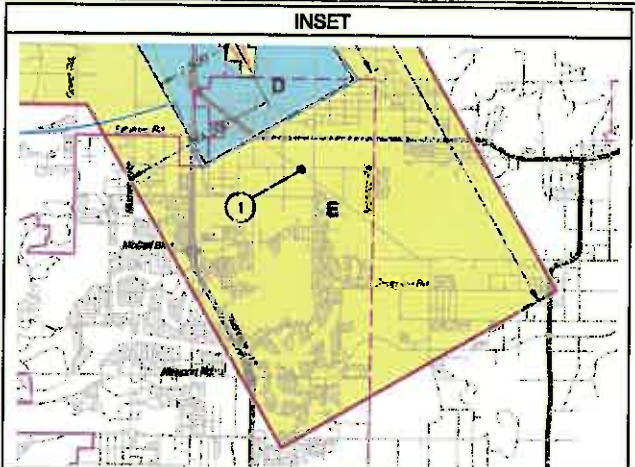
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

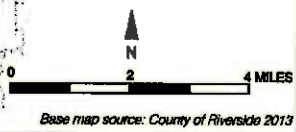
- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,636 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.



Note:  
All dimensions are measured from runway ends and centerlines.



Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)

Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

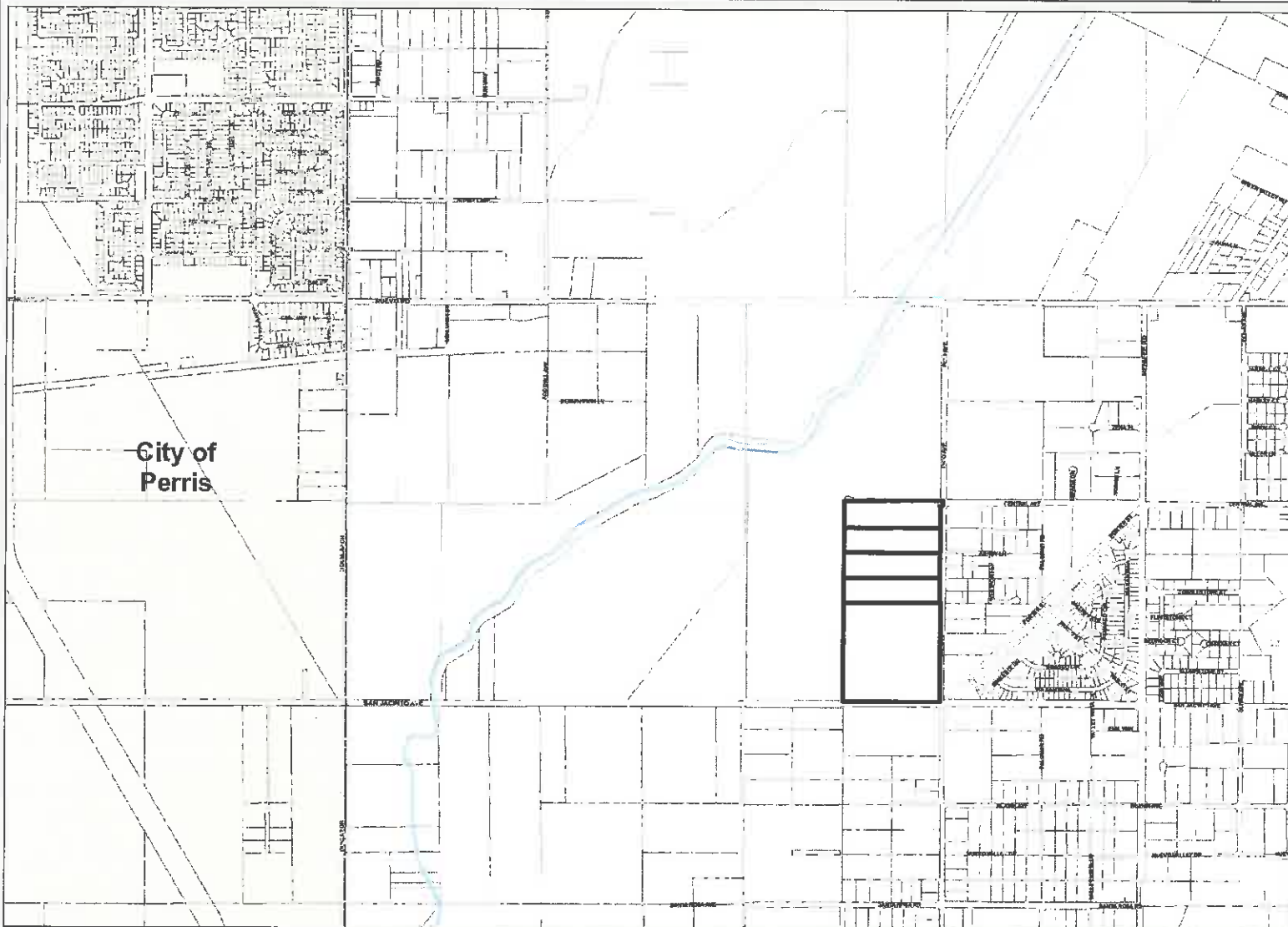
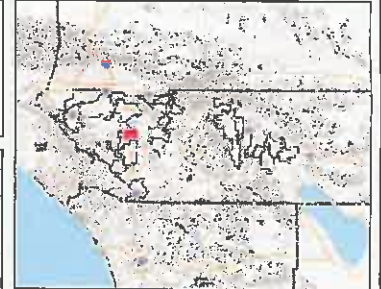
**NUEVO MEADOWS**

RIVERSIDE COUNTY, CALIFORNIA



LOCATION MAP

# My Map



## Legend

- City Boundaries
- Cities
- roads**
- sanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography**
- lines**
- waterbodies**
- Lakes
- Rivers



0 2,455 4,910 Feet



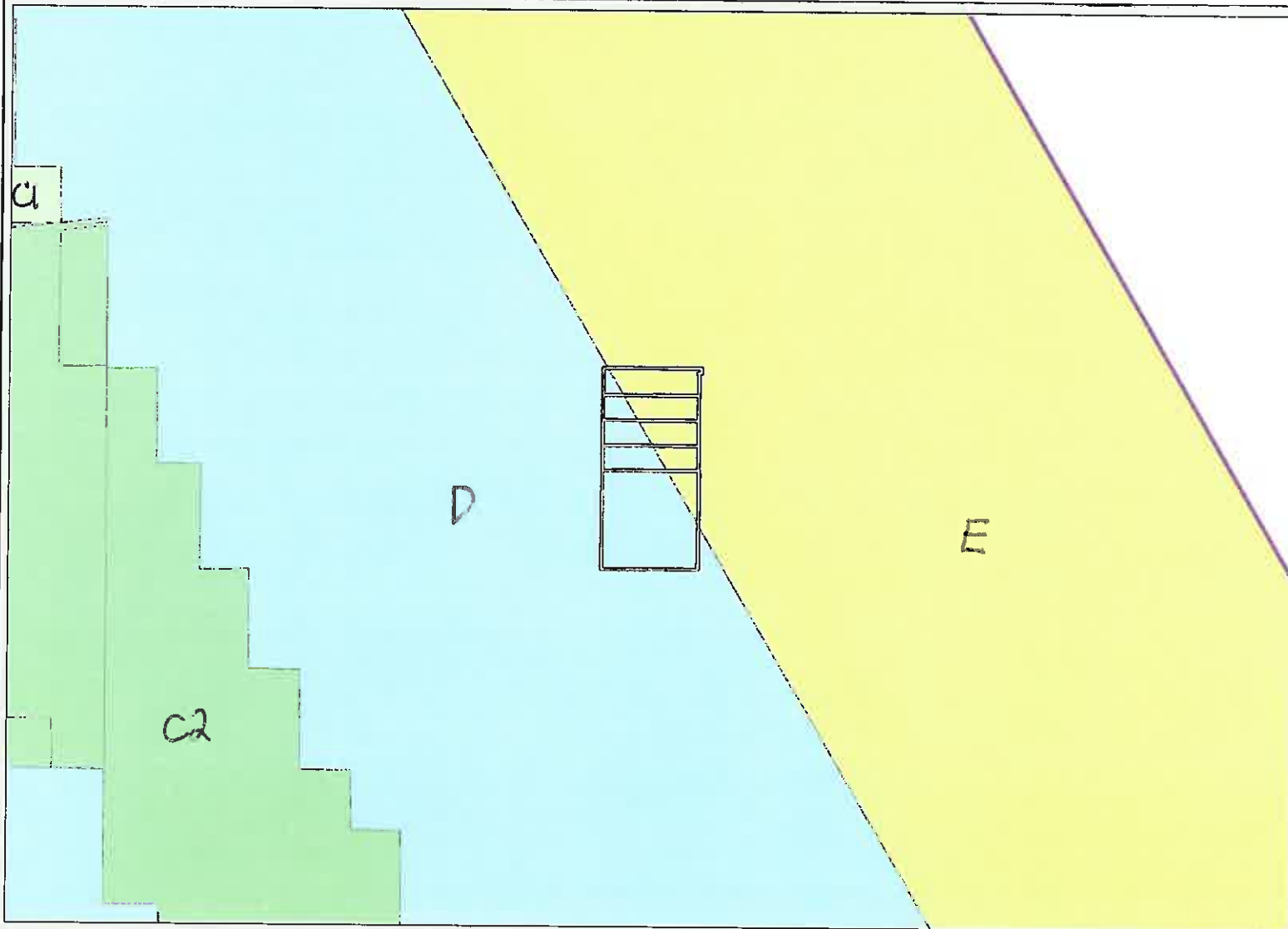
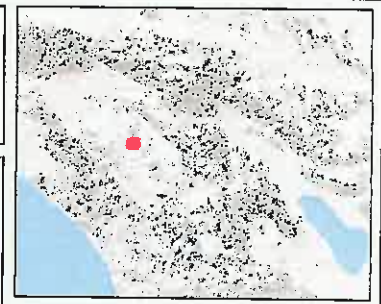
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 2,455 4,910 Feet



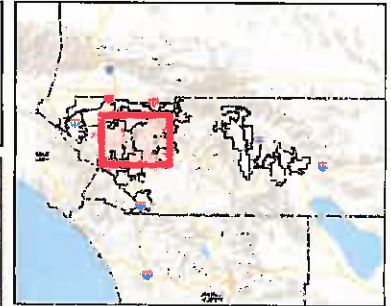
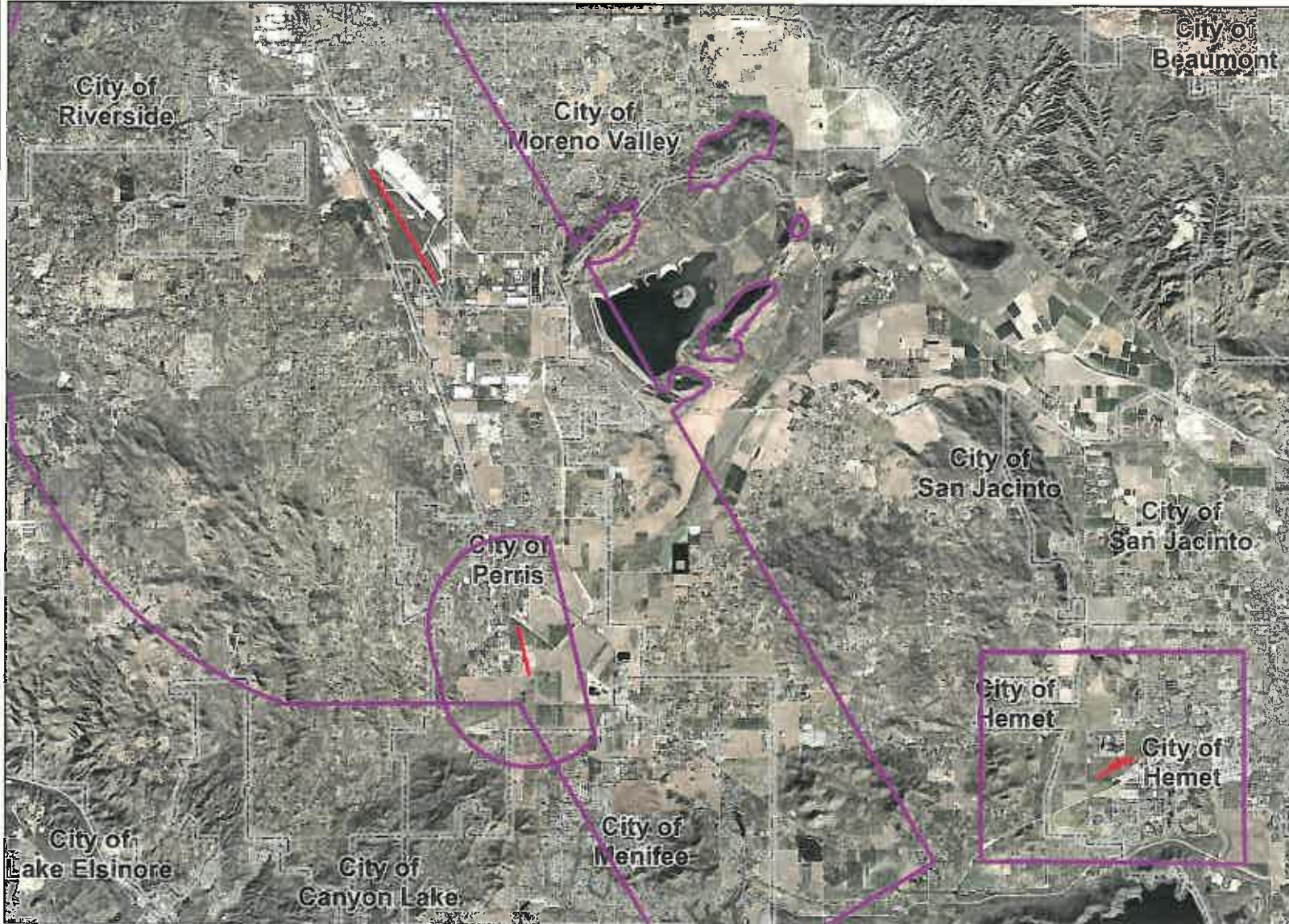
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

- AIA
- Runways
- City Boundaries



0 18,667 37,333 Feet



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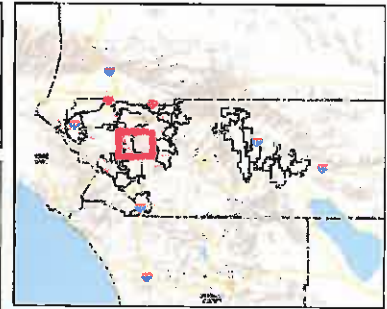
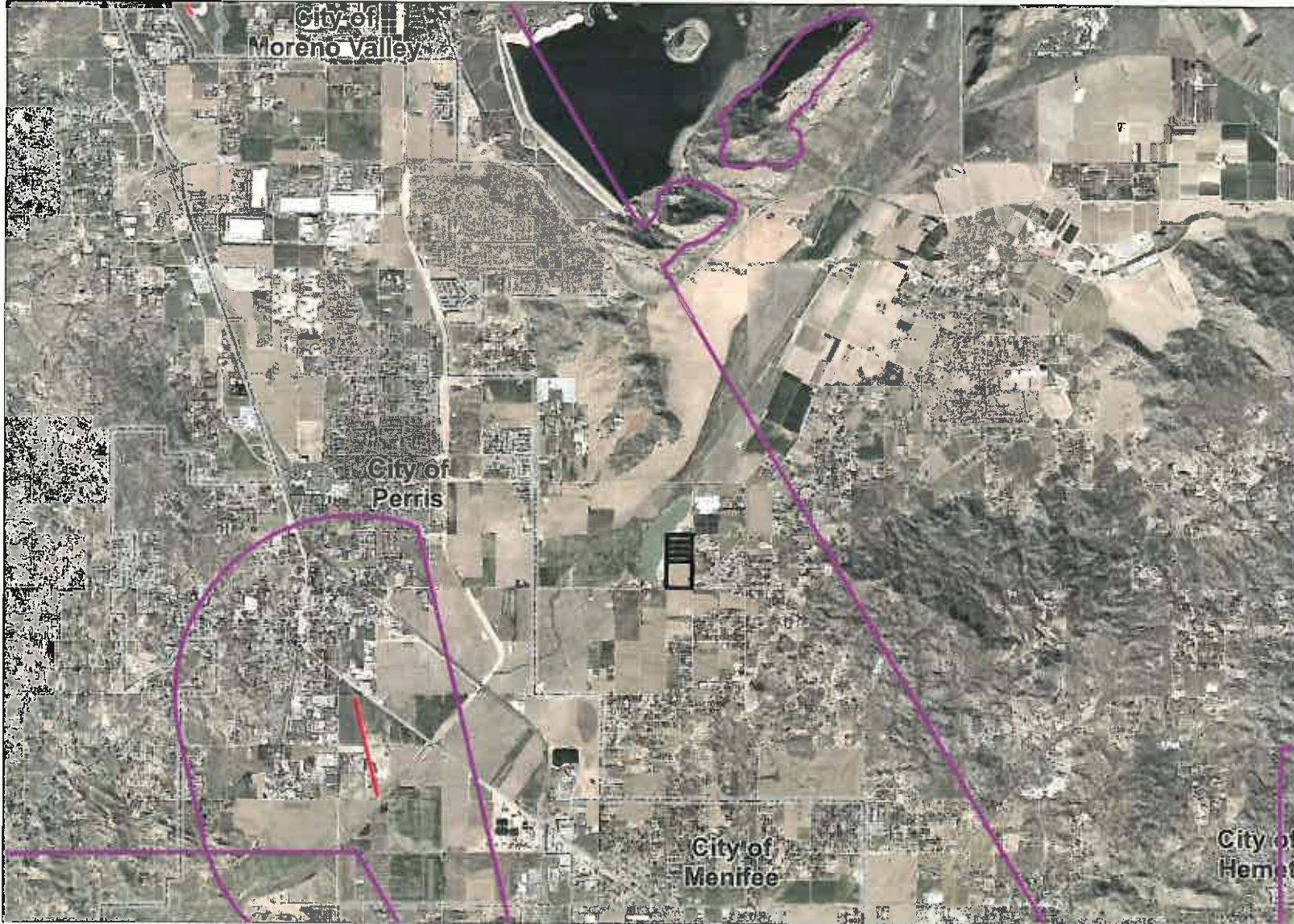
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## Notes



# My Map



## Legend

-  AIA
-  Runways
-  City Boundaries



0 9,333 18,667 Feet



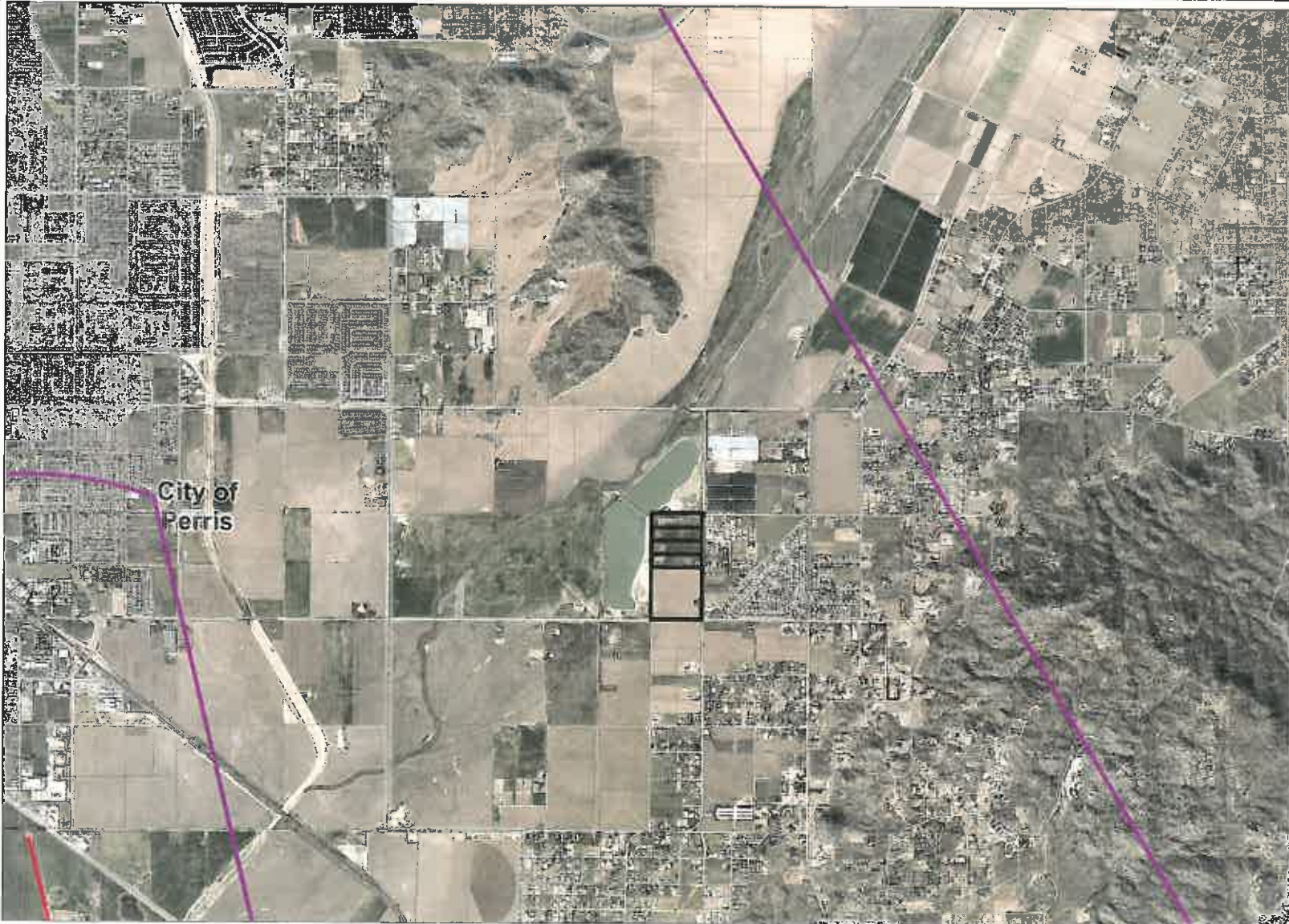
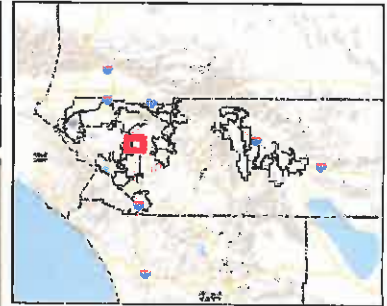
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

-  AIA
-  Runways
-  City Boundaries



0 4,667 9,333 Feet



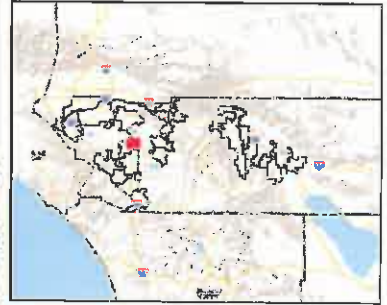
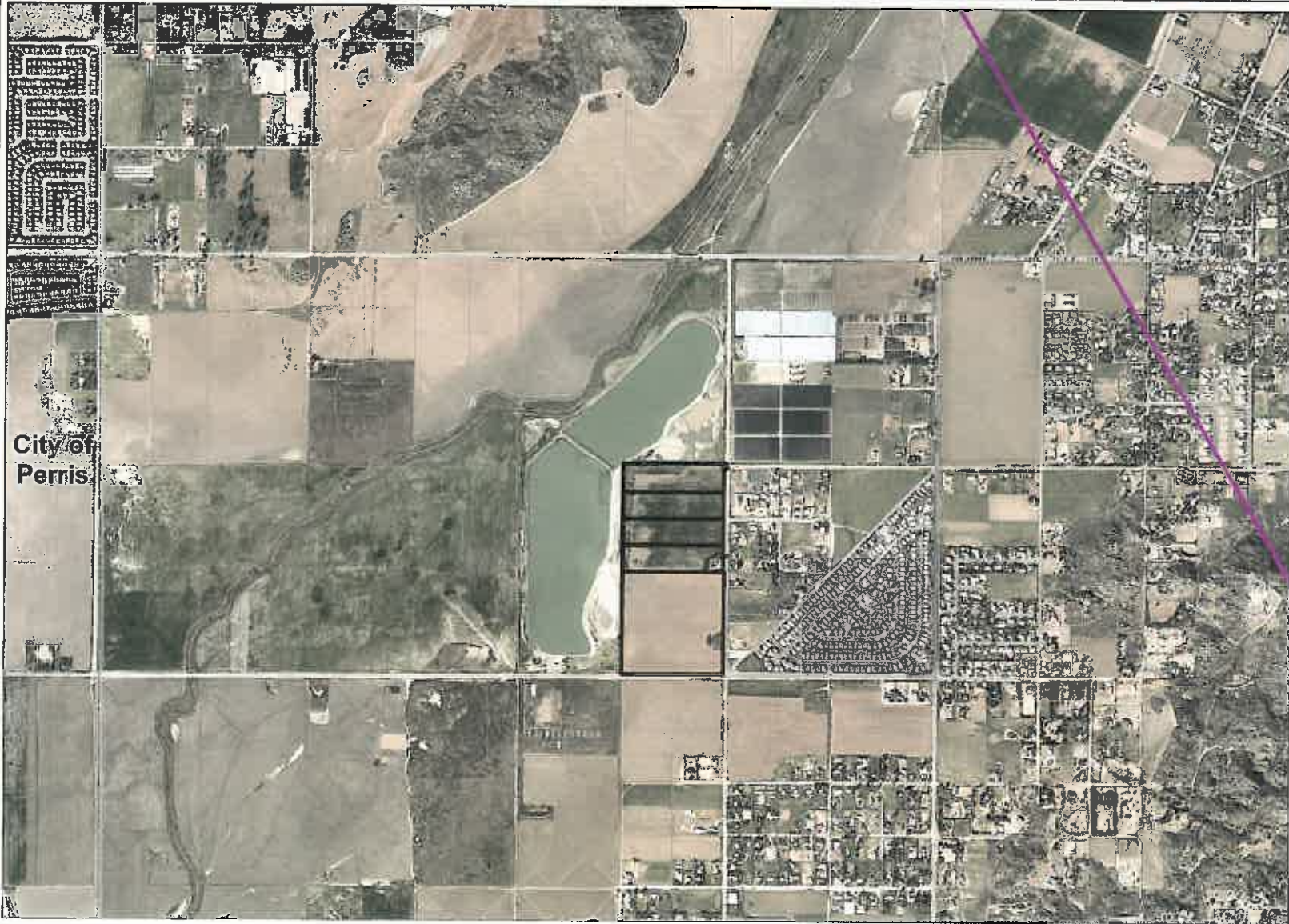
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

-  AIA
-  Runways
-  City Boundaries

City of  
Perris



0

2,333

4,667 Feet



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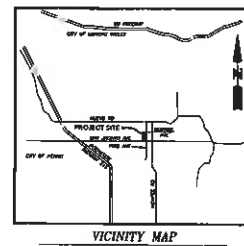
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## Notes



IN THE UNINCORPORATED AREA OF RIVERSIDE COUNTY, STATE OF CALIFORNIA  
**TENTATIVE PARCEL MAP NO. 36895**  
 BEING A SUBDIVISION OF A PORTION OF SECTION 28, TOWNSHIP 4 SOUTH,  
 RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN  
 UNITED ENGINEERING GROUP CA., INC APRIL 2015

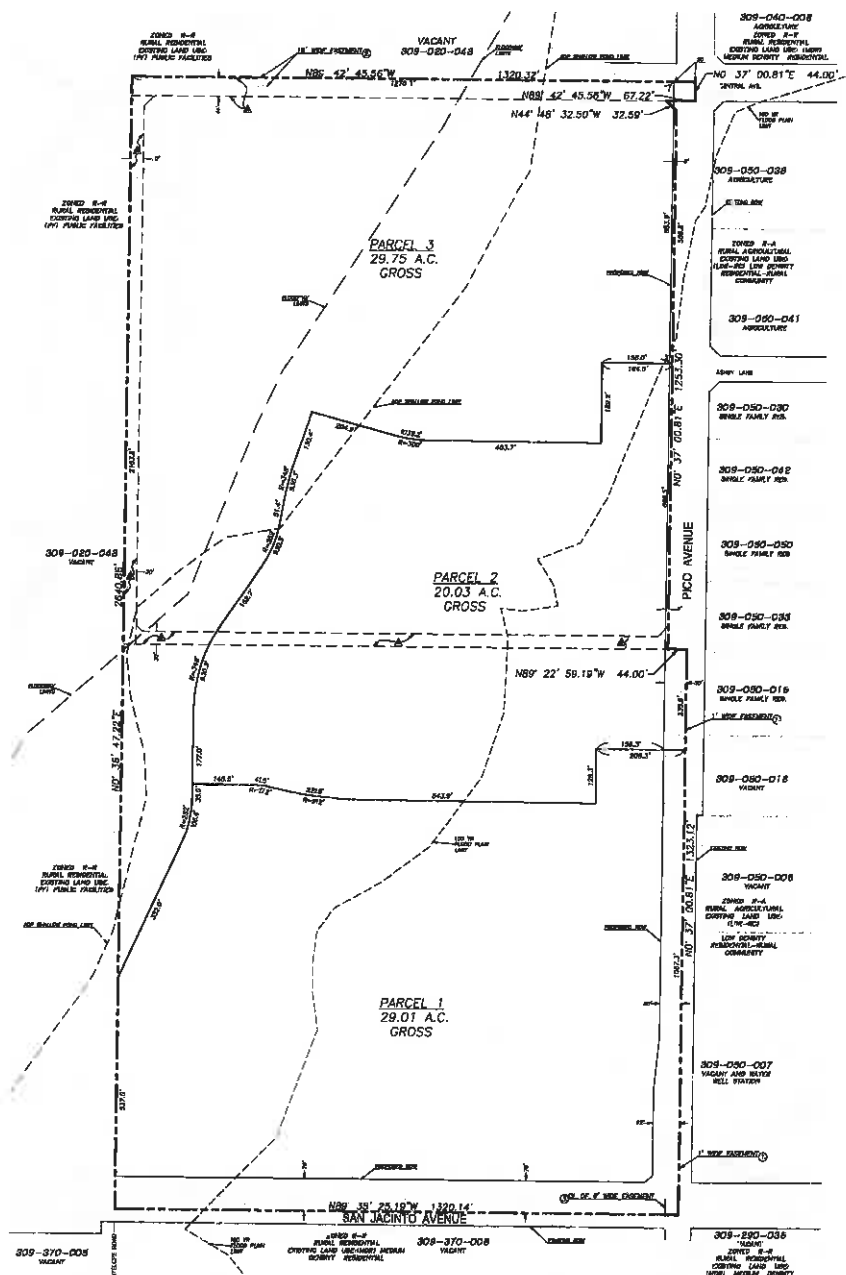
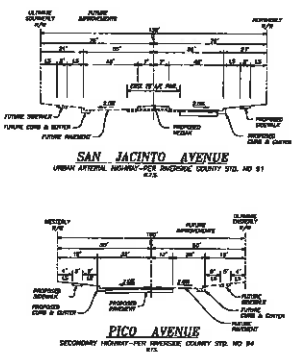


**PARCEL AREA BREAKDOWN**

TOTAL PROJECT AREA	78.78 AC.
PARCEL 1	29.01 A.C.
PARCEL 2	20.03 A.C.
PARCEL 3	29.75 A.C.
TOTAL EXISTING AREA UNDER EXISTING PARCELS	25.47 A.C.
PARCEL 1	13.82 A.C.
PARCEL 2	11.65 A.C.
TOTAL EXISTING BLDG. AREA	4.01 A.C.

**EASEMENTS**

- AN EASEMENT FOR UTILITIES AND RECORDS, RECORDED DECEMBER 14, 2012 IN BOOK 101 OF RECORDS, PAGE 238 IN FAVOR OF THE RIVERSIDE WATER TREATMENT PLANT.
  - AN EASEMENT FOR UTILITIES AND RECORDS, RECORDED AUGUST 21, 2012 IN BOOK 101, PAGE 478 OF RECORDS, RECORDED IN FAVOR OF CALIFORNIA ELECTRIC POWER COMPANY.
  - AN EASEMENT FOR UTILITIES AND RECORDS, RECORDED NOVEMBER 28, 2012 IN REPLY TO NO. 25940 OF OFFICIAL RECORDS IN FAVOR OF RIVERSIDE COUNTY.
- RECORDED LOSS "T" THROUGH "Y" OF PARCEL MAP NO. 12998, PAR. 41, 42, 43, 44, 45, 46, 47 TO BE HIGHWAY/ROADWAY.



**LEGAL DESCRIPTION**

THE SOUTHERN HALF OF LOT 4 IN SECTION 28, IN TOWNSHIP 4 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY MAP OF TOWN, VALLEY LAND AND WATER COMPANY'S TRACT ON FILE IN BOOK 2, PAGE 35 OF MAPS, RIVERSIDE COUNTY RECORDS.

PARCEL 3  
 PARCELS 2, 3 AND 4 AND LOTS 4 THROUGH 8 OF PARCEL MAP NO. 12998 AS SHOWN BY MAP OF FILE IN BOOK 101 PAGE 23 OF PARCEL MAP NO. 12998 RIVERSIDE COUNTY RECORDS.

**GENERAL NOTES:**

- APNs: 309-050-008, 009, 010, 011, 012, 013
- EXISTING LAND USE DESIGNATION: HIGHWAY EXISTING RESIDENTIAL
- EXISTING ZONING: RURAL RESIDENTIAL
- A PORTION OF THIS SITE IS COVERED BY THE 2009 FLOOD PLAIN MAP.
- TOWNSHIP CODE: RIVERSIDE COUNTY CODE 003 (SEE PAGE 208, 211 & 22)
- THE TENTATIVE PARCEL MAP CONTAINS EXISTING EXHAUSTING CONVEYANCES OF LAND OWNERS.
- TERRACONTOY SOURCED: ROBERT J. LIVING & ASSOCIATES (01-31-05)
- THE LAND IS NOT SUBJECT TO EXISTING EASEMENTS AND IS NOT LOCATED WITHIN A SPECIAL ZONING ZONE.
- FROM 100 YEAR FLOOD ZONING DATA.
- THE LAND IS SUBJECT TO LOSS OF MODERATE TO SEVERE WINDING.
- PARCEL MAP NO. 36895 IS A PROPOSED SUBDIVISION "M" SUBDIVISION.
- TOTAL NUMBER OF PARCELS-3
- THIS PROPERTY IS WITHIN SAN JACINTO VALLEY INTERSECTION.
- THIS AREA IS NOT WITHIN HIGH FIRE AREA.
- THIS PROPERTY IS WITHIN HIGH FIRE AREA PLAN LAGUNO / MARIPOSA. THIS PROJECT WILL ADHERE TO THE PROVISIONS OF THE SAN JACINTO WATER POLICY AREA WITHIN THE LATE MARIPOSA AREA PLAN.
- THIS PROPERTY IS WITHIN 100 YEAR FLOOD ZONE.
- THIS AREA IS WITHIN AN AREA WITHIN ELEMENTARY SCHOOL DISTRICT / PUBLIC UNIFORM HIGH SCHOOLS DISTRICT.
- THIS AREA IS WITHIN CAL 148 & 149.
- THIS AREA IS WITHIN CAL 148 & 149.
- THERE ARE NO EXISTING STRUCTURES ON THE SITE.
- THIS MAP HAS BEEN COMPILED FROM RECORD INFORMATION AND IS NOT TO BE USED AS A BOUNDARY SURVEY.

**UTILITY PURVEYORS:**

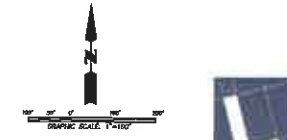
- ELECTRIC: SOUTHERN CALIFORNIA Edison, 3270 TRAILER ROAD, RIVERSIDE, CA 92503
- GAS: SOUTHERN CALIFORNIA GAS COMPANY, P.O. BOX 3043, RIVERSIDE, CA 92503-0305
- WATER: RIVERSIDE MUNICIPAL WATER DISTRICT, 3270 TRAILER ROAD, RIVERSIDE, CA 92503
- SEWER: SOUTHERN CALIFORNIA WATER DISTRICT, 3270 TRAILER ROAD, RIVERSIDE, CA 92503
- TELEPHONE: SOUTHERN CALIFORNIA TELEPHONE, 150 S. MAIN STREET, RIVERSIDE, CA 92543
- CABLE: THE NUMBER CABLE, 4077 WEST BOSTON AVE, RIVERSIDE, CA 92504

**PREPARED BY:**  
 UNITED ENGINEERING GROUP CA, INC  
 1008 TRANSDOME PARKWAY, SUITE 209  
 ANAHEIM, CALIFORNIA CA 92820  
 PHONE (909) 488-1820

**OWNER/APPLICANT:**  
 NUEVO MEADOWS LAND COMPANY, LLC  
 12671 HIGH BLVD, SUITE 204, 150  
 8440 HWY 60, SUITE 204  
 RIVERSIDE, CALIFORNIA 92504

**LEGEND**

BL	BUILDING SETBACK LINE
CS	CHUNK CHALK
FL	FLOW LINE
FS	FURNISH SIGNAGE
PI	POINT OF INTERSECTION CHALK
LP	LOW POINT
HP	HIGH POINT
CS	CONCRETE SPICER
CL	CORNER ELEVATION
LN	LOT NUMBER
48.2 FC	48.2 FC
2-1	2-1 SURVEY
---	EXISTING BOUNDARY



AMENDED NO. 1  
**NUEVO MEADOWS**  
**TENTATIVE PARCEL MAP**  
**NO. 36895**  
 DATE: APRIL 1, 2015  
 SHEET 1 OF 1  
 PROJECT NUMBER: CA-30059

NO.	DESCRIPTION	DATE
1	AMENDED PER COUNTY COMMENTS	4-1-15

DESIGNED BY: J.P. PHILLIPS  
 CHECKED BY: J.P. PHILLIPS  
 DRAFTER BY: J.P. PHILLIPS

DATE: 4-02-2015

DEAN C. PHILLIPS  
 U.E.G. No. 5874

**ueg** united engineering group

1008 Transdome Parkway  
 Anaheim, CA 92820  
 Phone: 909-488-1820  
 www.ueg.com

# NUEVO MEADOWS SEC. 26, T. 4 S., R. 3W. S.B.B. & M

SHEET 1 OF 1

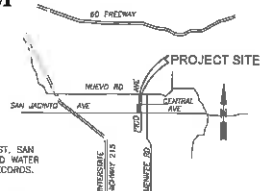
**OWNER/APPLICANT:**  
**NUEVO MEADOWS LAND COMPANY, LLC**  
 12671 HIGH BLUFF DR. C, SUITE 130  
 SAN DIEGO, CA 92130  
 PHONE: (858) 523-0719

**PREPARED BY:**  
**UNITED ENGINEERING GROUP**  
 10802 TRADEMARK PROMY SUITE 509  
 RANCHO CUCAMONGA, CA 91730  
 PHONE: 808.458.8240  
 www.uegeng.com

**LEGAL DESCRIPTION**

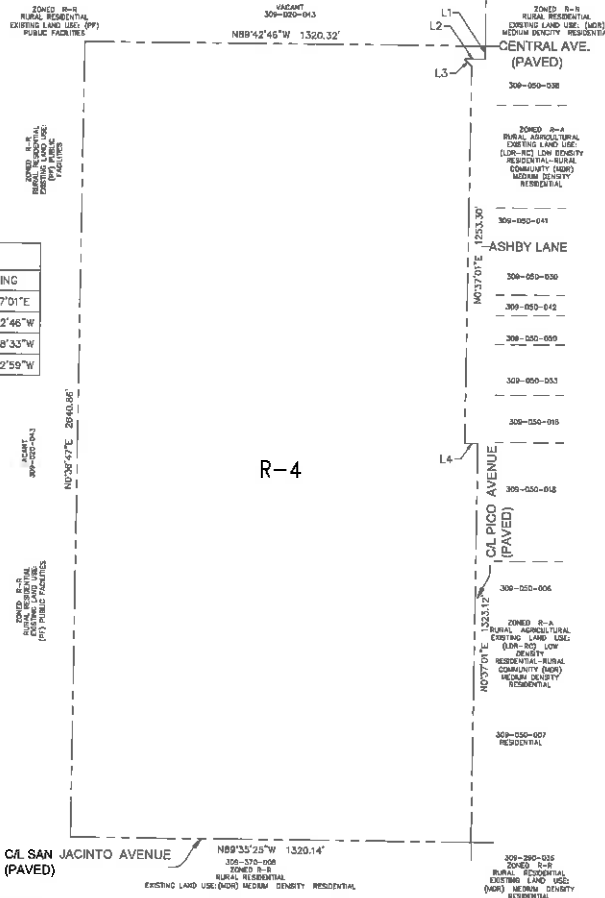
**PARCEL A**  
 THE SOUTH HALF OF LOT 4 IN SECTION 26, IN TOWNSHIP 4 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY MAP OF PERRIS VALLEY LAND AND WATER COMPANY'S TRACT, ON FILE IN BOOK 7, PAGE 38 OF MAPS, RIVERSIDE COUNTY RECORDS.

**PARCEL B**  
 PARCELS 1, 2, 3 AND 4 AND LOTS A THROUGH J OF PARCEL MAP NO. 12399 AS SHOWN BY MAP ON FILE IN BOOK 65 PAGE 25 OF PARCEL MAPS, RIVERSIDE COUNTY RECORDS.



**VICINITY MAP**  
N.T.S.

LINE TABLE		
LINE	DISTANCE	BEARING
L1	44.00'	N0°37'01"E
L2	67.22'	N89°42'46"W
L3	32.56'	N44°48'33"W
L4	44.00'	N89°22'59"W



**PROJECT NOTES:**

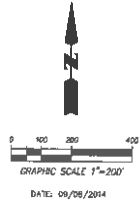
- 1. TOTAL GROSS AC. ± **78.6** NET **64.5** AC. ±
- 2. THOMAS BROTHERS MAP: ED. 2005, PG. 80B, E1 & E2
- 3. FEMA 100 YEAR FLOOD ZONE(S) C&A
- 4. THIS AREA IS WITHIN NADVIEW UNION ELEMENTARY SCHOOL DISTRICT / PERRIS UNION HIGH UNIFIED SCHOOL DISTRICT

**UTILITY PURVEYORS:**

- ELECTRIC:**  
SOUTHERN CALIFORNIA EDISON  
28100 MENEFEE ROAD  
ROMOLAND, CA. 92380
- GAS:**  
SOUTHERN CALIFORNIA GAS COMPANY  
P.O. BOX 3003  
REDLANDS, CA 92373-0306
- WATER:**  
EASTERN MUNICIPAL WATER DISTRICT  
2270 TRUMBLE ROAD  
PERRIS, CA. 92570
- SEWER:**  
EASTERN MUNICIPAL WATER DISTRICT  
2270 TRUMBLE ROAD  
PERRIS, CA. 92570
- TELEPHONE:**  
VERIZON  
150 S. JUANITA STREET  
HEMET, CA 92543
- CABLE:**  
TIME WARNER CABLE  
4077 WEST STETSON AVE  
HEMET, CA 92545

**LEGEND:**  
 EXISTING ZONING: RURAL RESIDENTIAL  
R-4 PLANNED RESIDENTIAL

**MAP NO. XX.XX**  
**CHANGE OF OFFICIAL ZONING PLAN XXX XXX**  
**CHANGE OF ZONE CASE NO. XXX**  
**AMENDING ORDINANCE NO. 348**  
**ADOPTED BY ORDINANCE NO. 348**  
**SEPTEMBER 08, 2014**  
**RIVERSIDE COUNTY BOARD OF SUPERVISORS**  
 ASSESSOR'S PARCEL NO.'S: 309-020-005, 039, 038, 037, 036



DATE: 09/08/2014

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1133MA15 – Nuevo Meadows Land Company, LLC (Representative: Beau Cooper, United Engineering Group, Inc.) – County of Riverside Case Nos. CZ 07804 (Change of Zone), TR 36635 (Tentative Tract Map), and PM 36895 (Tentative Parcel Map). CZ 07804 is a proposal to change the zoning of 78.95 acres located northerly of San Jacinto Avenue, westerly of Pico Avenue, southeasterly of Ski Land Lake, and southwesterly of the intersection of Pico Avenue and Central Avenue from R-R (Rural Residential) to R-4 (Planned Residential). The change of zone would apply to Assessor's Parcel Numbers 309-020-005 and 309-020-036, -037, -038, and -039. TR 36635 is a proposal to subdivide the site into 283 single-family residential lots with a minimum lot size of 4,000 square feet (plus 4 lots for water quality basins, 9 for landscape features, a community playground, and trail, and a 15.75-acre area to be maintained by the Regional Conservation Authority as permanent open space.) PM 36895 is a proposal to divide the same site into three parcels (each at least 20 acres in size) for phasing and/or financing purposes. (Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Peter Lange of the Riverside County Planning Department, at (951) 955-1417.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1133MAIS

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 6/29/2015  
 Property Owner Nuevo Meadows Land Company, LLC Phone Number (858) 523-0719  
 Mailing Address 12671 High Bluff Drive, Suite 150  
San Diego, CA 92130

Agent (if any) United Engineering Group (attn: Beau Cooper) Phone Number (909) 466-9240 x203  
 Mailing Address 10602 Trademark Parkway, Suite 509  
Rancho Cucamonga, CA 91730

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address Northwest corner of San Jacinto Avenue and Pico Avenue

Assessor's Parcel No. 309-020-005, -039, -038, -037, -036 Parcel Size 78.79 AC  
 Subdivision Name Nuevo Meadows Zoning Classification R-4  
 Lot Number 283 Single-Family

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Primarily vacant, previously farmed land surrounded by single-family residential units to the east, Ski Land Lake to the north and west, and vacant land to the south.

Proposed Land Use (describe) 283 single-family lots on 78.79 acres with open space amenities and drainage/retention basins.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 283  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 40 max (per R-4 zone) ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1,474 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_



**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received \_\_\_\_\_

Agency Name \_\_\_\_\_

Staff Contact \_\_\_\_\_

Phone Number \_\_\_\_\_

Agency's Project No. \_\_\_\_\_

County of Riverside

Peter Lange

Tim 36635, PM 36895  
C2 7804, EA

Type of Project

- General Plan Amendment
- Zoning Amendment or Variance
- Subdivision Approval
- Use Permit
- Public Facility
- Other \_\_\_\_\_

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 4.5

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1022CH15 – SC Limonite, LLC/Stratham Homes  
(Representative: Pat Potts)

**APPROVING JURISDICTION:** City of Eastvale

**JURISDICTION CASE NO:** 14-1398 (Master Development Plan [MDP] - Amended),  
TTM36775 (Tentative Tract Map - Amended)

**MAJOR ISSUES:** The proposed project is before this Commission due to a change in the location of open areas. The previous design was reviewed by ALUC as ZAP1019CH14 and was determined Consistent pursuant to Policy 3.3.6 and special findings, primarily that the Southern California Edison (SCE) easement on the site encumbers the potential for the project to comply with the 10% open space requirement for Compatibility Zone D. Part of the open space designated under ZAP1019CH14 was located within the SCE easement. Since ALUC's determination, SCE has specified that no area within its easement may be credited as open area.

The applicant has subsequently redesigned this project to relocate the open area outside the SCE easement area as well as outside the Limonite Avenue right-of-way. The proposed project does not strictly comply with the open area requirements of Compatibility Zone D for 10% open area based on the total gross acreage of 44.73 acres. However, pursuant to ALUC's prior utilization of Policy 3.3.6 for this project, excluding the SCE easement area would result in an adjusted gross acreage of 33.69 acres. Based on this adjusted gross acreage, the project would comply with the minimum 10% open area requirement.

While the applicant has not specifically requested deletion of Condition No. 6 as applied by ALUC in its review of ZAP1019CH14, the Commission may wish to reevaluate its necessity in light of the relocation of open areas.

**RECOMMENDATION:** Based on the Commission's prior determination that this project is consistent with application of Countywide Policy 3.3.6, staff recommends a finding of CONSISTENCY for the amended Tentative Tract Map and Master Development Plan with application of Countywide Policy 3.3.6, subject to the conditions included herein.

**PROJECT DESCRIPTION:**

The Master Development Plan (MDP) proposes the development of 312 condominium units with clubhouse and recreation amenities. The Tentative Tract Map proposes to subdivide the 44.73-acre (gross) property for development of 312 condominium units.

**PROJECT LOCATION:**

The site is located northerly of Limonite Avenue and westerly of Harrison Avenue in the City of Eastvale, approximately 10,500 feet easterly of Runway 8R-26L at Chino Airport.

**LAND USE PLAN: 2008 Chino Airport Land Use Compatibility Plan**

- a. Airport Influence Area: Chino Airport
- b. Land Use Policy: Compatibility Zone D
- c. Noise Levels: Below 55dB CNEL

**BACKGROUND:**

Residential Density: The site is located in Compatibility Zone D. Compatibility Zone D allows residential densities at or above 5.0 dwelling units per acre. Pursuant to the Chino Airport Land Use Compatibility Plan Additional Compatibility Policy 2.2, residential densities shall be calculated on a net acreage rather than gross acreage basis. The net acreage accounts for the “developable” portion of the project site. The total project site is 44.73 acres gross. Based on this gross acreage, the project’s proposed 312 units equates to 6.98 dwelling units per acre. The project site accommodates an SCE easement for transmission lines that accounts for approximately 11.04 acres.

Non-Residential Intensity: As previously noted, the site is located in Compatibility Zone D. Non-residential intensity in Airport Compatibility Zone D is restricted to an average intensity of 150 people per acre and to 450 people in any given single acre. Although the project is generally residential in nature, the proposed project does include a community clubhouse and pool area to consider compliance with non-residential criteria. The clubhouse and recreation area is located on approximately 0.70 acres.

Typically, when a site is smaller than one acre, the average intensity is evaluated based on the prorated site acreage to allow for additional intensity in the remaining portions of the acre that would also be developed with non-residential uses. However, since this is an isolated non-residential use within a residential development, this method is not justified since there is no potential for surrounding non-residential development that would result in a total exceedance of the average acre criteria. Therefore, the total site gross acreage of 44.73 acres is used for calculation of average non-residential intensity.

The clubhouse would accommodate approximately 148 people and the pool area would

accommodate approximately 129 people for a total of 277 people. Based on the 44.73 gross acre site, this would result in an average intensity of 6.19 people per acre, which is consistent with the Zone D non-residential average acre criterion of 150 people. Since the clubhouse and pool area is entirely located on a single-acre area, this number of people would also be consistent with the Zone D single-acre criterion of 450 people.

In most situations, of course, the persons using the clubhouse and pool area would be residents of the proposed dwelling units and their guests. Thus, the clubhouse and recreational area would not significantly increase the number of people on the overall site.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone D (highly noise-sensitive outdoor nonresidential uses, hazards to flight, children's schools, hospitals, and nursing homes) within the project.

Noise: The site underlies the traffic pattern, but the property lies outside the area that would be subject to average exterior noise levels above 55 CNEL under ultimate airport development conditions. Therefore, no special noise attenuation measures are required for this residential land use.

Part 77: The elevation of Runway 8R-26L at its easterly terminus is approximately 636.5 feet AMSL. At a distance of approximately 10,500 feet from the runway, FAA review would be required for any structures with peak elevations exceeding 741.5 feet AMSL. The project site has a proposed maximum pad elevation of 659.2 feet AMSL. The site's PRD zoning classification restricts single-family residential buildings to a maximum height of 40 feet, for a maximum potential building height of 699.2 feet AMSL. Therefore, the proposed project's maximum height would not exceed 741 feet AMSL and would not require FAA Obstruction Evaluation review.

Open Area: Compatibility Zone D requires that 10% of area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. The project gross area is 44.73 acres, which equates to a total required open area of 4.473 acres. The project previously proposed to provide open area within those portions of the SCE easement area not encumbered by SCE structures as well as within adjacent open area and basins outside of the SCE easement for a total of 3.73 acres. Since then, SCE has clarified that no portion of its easement shall be designated as permanent open area and the City of Eastvale has specified that no portion of its public rights-of-way shall be designated as permanent open area.

Based on this, the applicant has redesigned the project (eliminating seven units). The revised plan provides 3.44 acres of open area free of any obstructions greater than four feet in height or four inches in thickness (including trees). This provided open area does not meet the strict minimum requirement of open area based on the total gross acreage.

The standard approach for determining open area requirements is based on the gross acreage since the provision of the percentage of open area is based on the entire Compatibility Zone. However, if

the SCE easement (where no open area may be credited) is excluded from the gross acreage, the net area within which the applicant may delineate open area consists of approximately 33.69 acres. If this were the acceptable acreage upon which to base the open area requirement, it would require 3.369 acres of open area. As noted above, the project provides 3.44 acres of open area, which would be consistent with the open area requirement based on the reduced project acreage, excluding the SCE easement where open area cannot be credited.

Countywide Policy 3.3.6: The project does not specifically meet the open area criteria of 10% based on gross project size. However, the existing SCE easement may represent an “extraordinary factor or circumstance” that limits the project’s capability (and/or unduly burdens the project) to provide the required open area within the reduced developable acreage compared to the gross acreage of the property. As noted above, based on the reduced project acreage excluding the SCE easement, the project would comply with the 10% requirement. The provision of less open area than would typically be required would not create a safety hazard to people on the ground or aircraft in flight nor result in excessive noise exposure for residents of the proposed project.

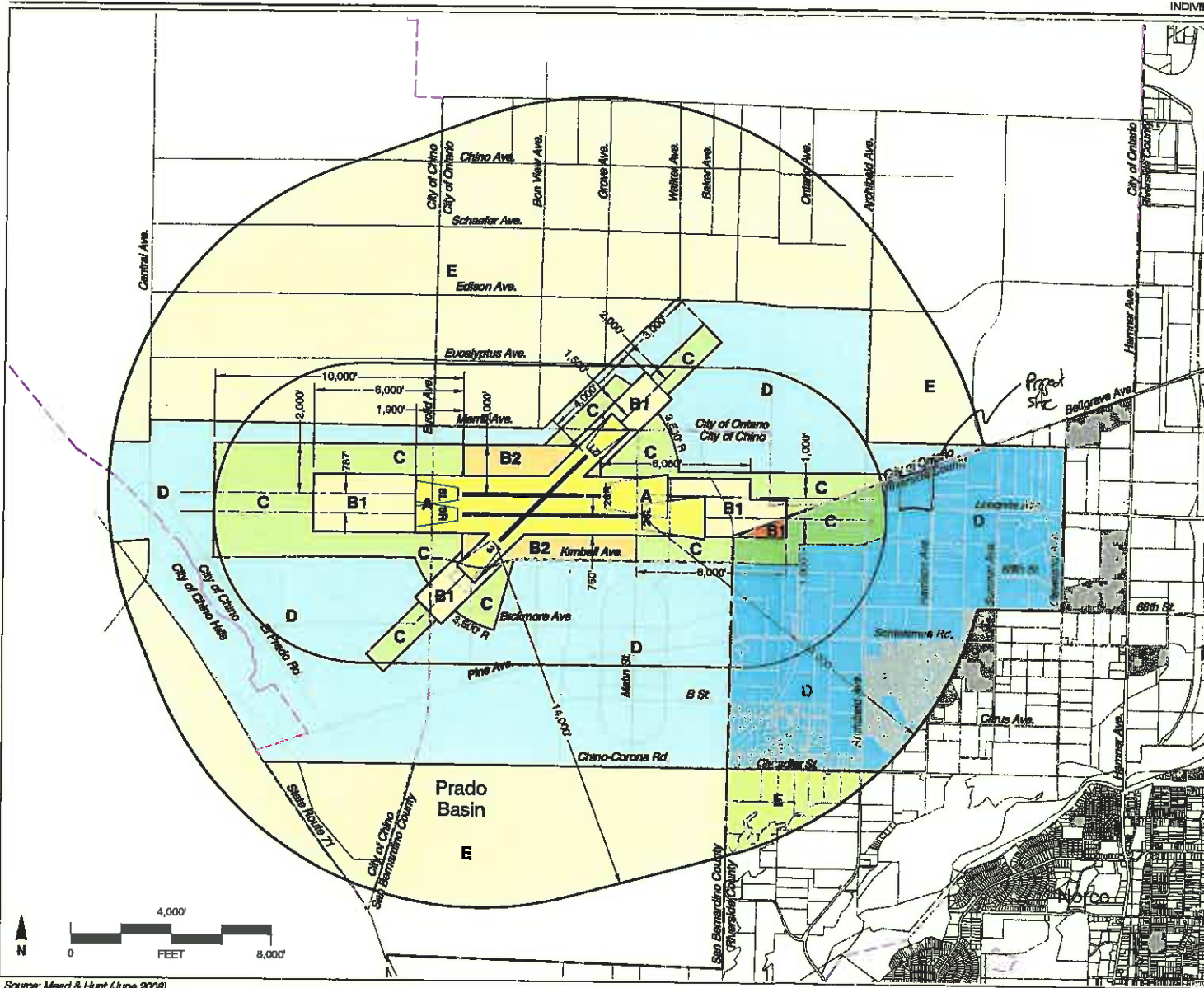
#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Highly noise-sensitive outdoor nonresidential uses, children's schools, hospitals, and nursing homes.
- 3. The attached notice shall be provided to all potential purchasers of the property and tenants of the dwellings thereon, and shall be recorded as a deed notice.
- 4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
- 5. All open space areas as indicated on the exhibit titled Conceptual Site Plan, dated 7/20/2015 shall be kept free of structures and other major obstacles such as walls, large trees or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires. Small trees and shrubs that exceed 4 feet in height and/or thickness of 4 inches may be allowed along the edge of open space areas where the area abuts a wall or other similar feature, provided that they are planted within 4 feet of the wall.
- 6. In the event the easement is vacated, the underlying property is to remain open space which may include recreational trails in accordance with the rules and regulations of the Airport Land Use Commission as they may exist at that time.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary\*
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- City Limits
- County Line

**Note**

Airport Influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A, and the Additional Compatibility Policies for Chino Airport for compatibility criteria associated with this map.

\*The policies in this plan apply only to the portions of the airport influence area lying within Riverside County. Compatibility Zones in San Bernardino County are shown only to provide context for the Riverside County area.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
*(Adopted September 2008)*

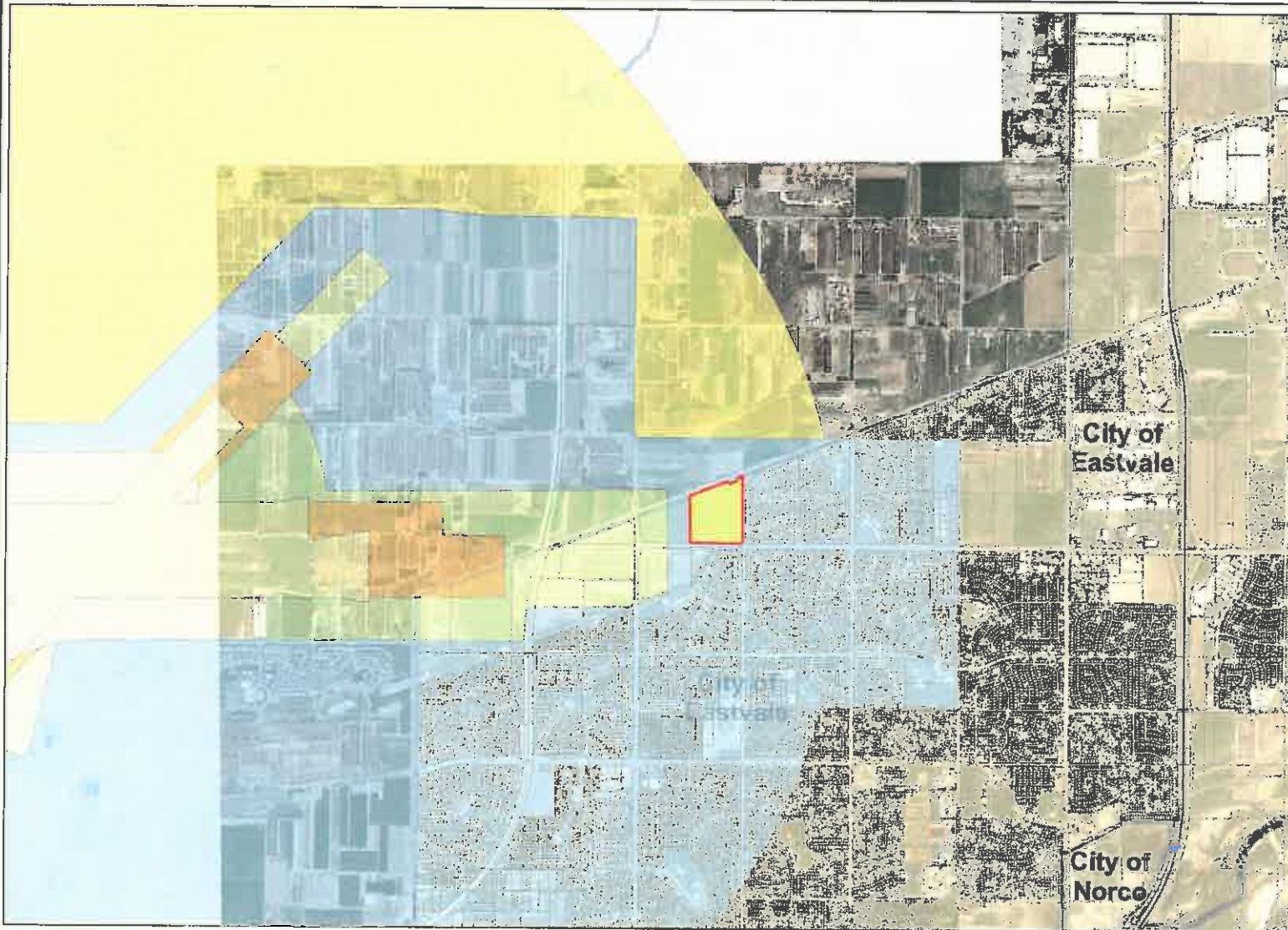
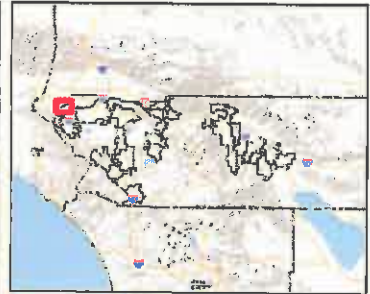
Map CH-1

**Compatibility Map**  
**Chino Airport**

X:\16186-100810\TECH\RC-48\RC-CND-CND-Compatibility-02.dwg Dec 01, 2008 - 11:38am  
 Sources: Mead & Hunt (June 2008)



# My Map



## Legend

### Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1
- C2-HIGHT-EXC5



0 4,547 9,094 Feet



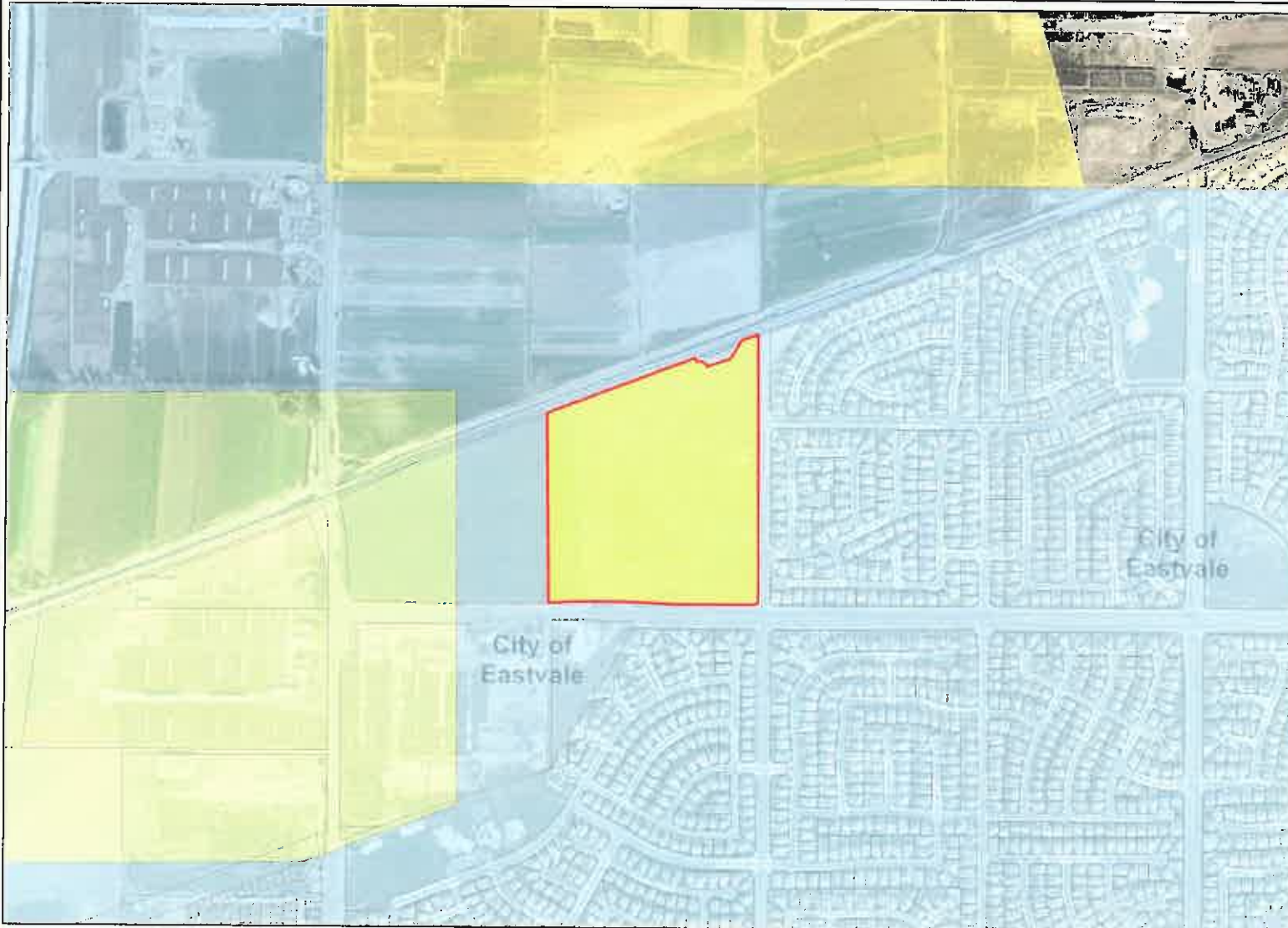
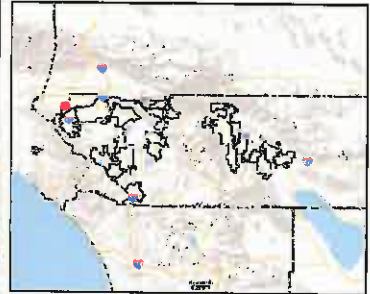
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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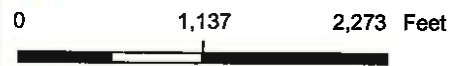
## Notes

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



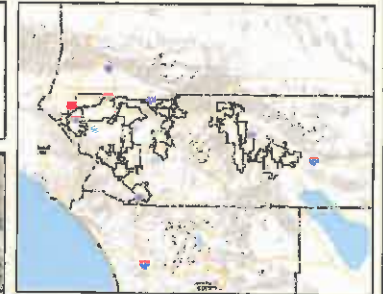
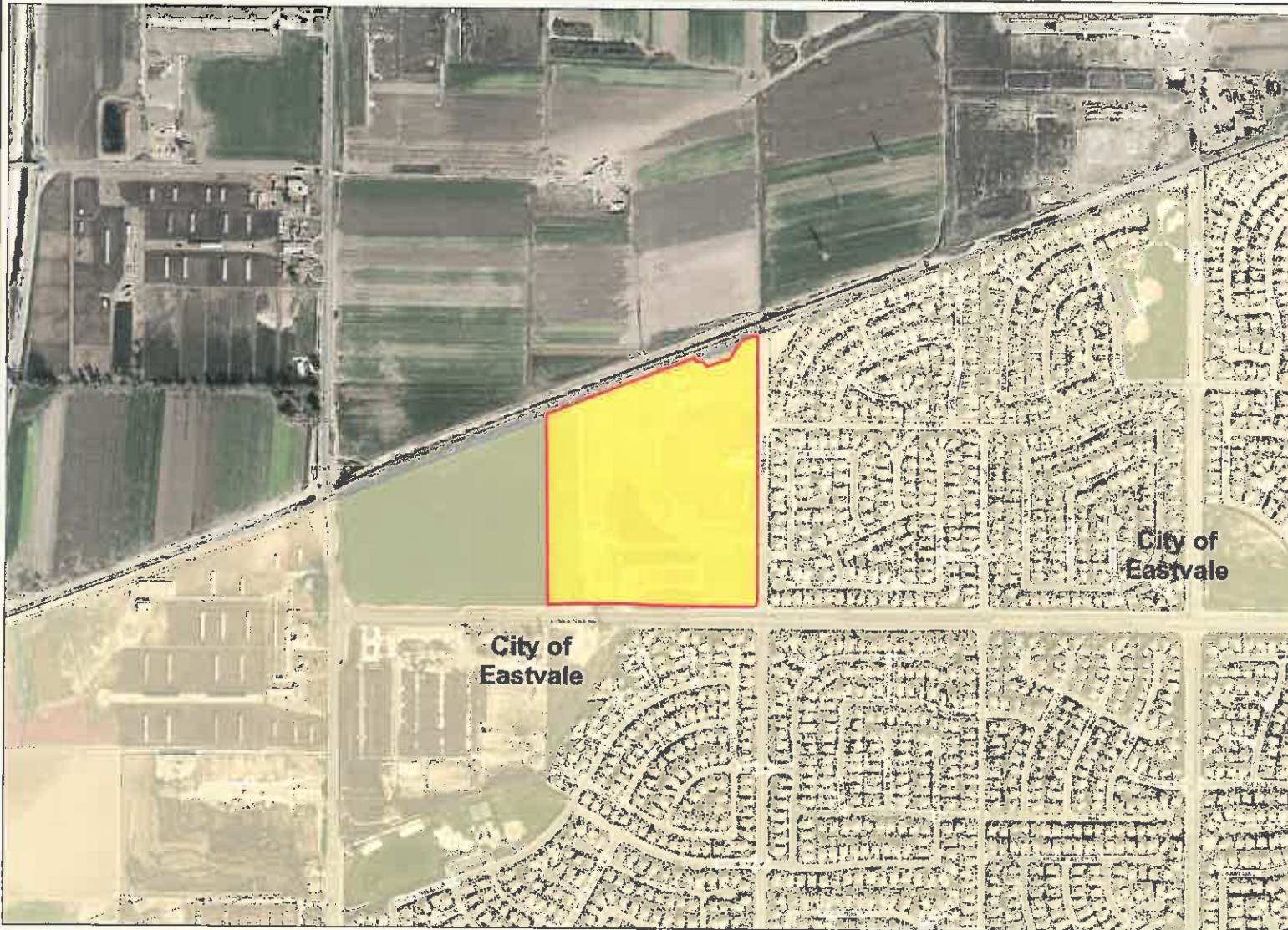
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## Notes

# My Map



## Legend

- Display Parcels
- Runways
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,137 2,273 Feet

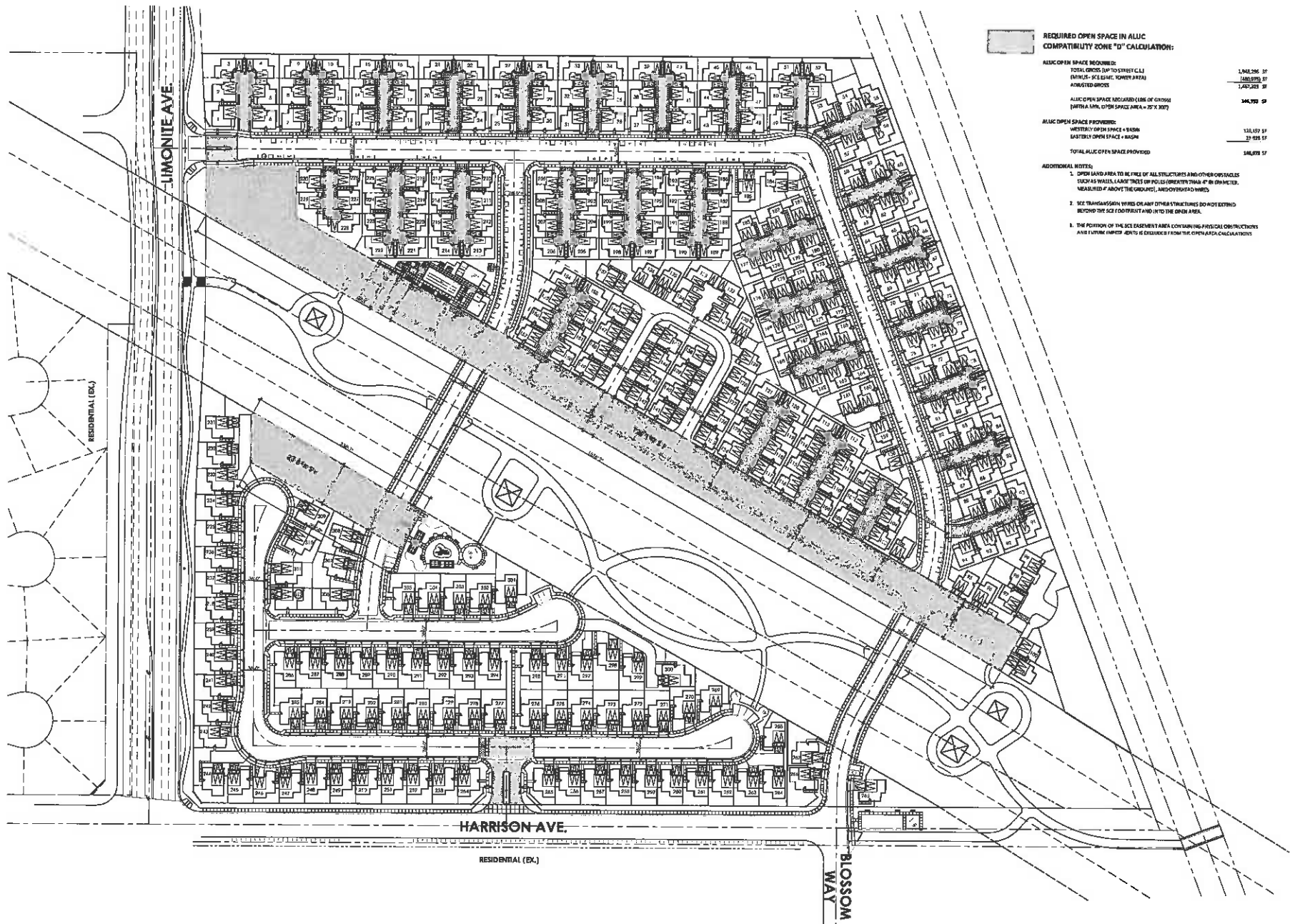


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## Notes



**REQUIRED OPEN SPACE IN ALUC COMPATIBILITY ZONE 'D' CALCULATION:**

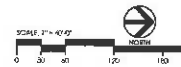
ALUC OPEN SPACE PROVIDED:	1,842,296 SF
TOTAL OPEN SPACE REQUIRED (BASED ON STREET C/L (PARKING + SIDEWALK + POWER AREA) + ADJACENT AREAS)	1,842,296 SF
ALUC OPEN SPACE PROVIDED (BASED ON 0.000000 (PARKING + SIDEWALK + POWER AREA) + 0.000000 (PARKING + SIDEWALK + POWER AREA))	1,842,296 SF
ALUC OPEN SPACE PROVIDED:	1,842,296 SF
TOTAL ALUC OPEN SPACE PROVIDED	1,842,296 SF

**ADDITIONAL NOTES:**

- OPEN LAND AREA TO BE FREE OF ALL STRUCTURES AND OTHER OBSTACLES SUCH AS WALLS, LARGE TREES OR FOLIAGE GREATER THAN 4" IN DIAMETER, MEASURED AT ABOVE THE GROUND, AND OVERHEAD WIRES.
- SEE TRANSMISSION WIRES OR ANY OTHER STRUCTURES DO NOT EXTEND BEYOND THE SCE FOOTPRINT AND INTO THE OPEN AREA.
- THE POSITION OF THE SCE EASEMENT AREA CONTAINING PHYSICAL OBSTRUCTIONS AND FUTURE IMPROVEMENTS IS EXCLUDED FROM THE OPEN AREA CALCULATIONS.



**SENDERO**  
EASTVALE, CA  
DATE: 07.20.2015  
JOB# 14-021



OPEN SPACE IN ALUC COMPATIBILITY ZONE 'D' EXHIBIT

Sheet no. **SP-3**

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1022CH15 – SC Limonite, LLC/Stratham Homes (Representative: Pat Potts) - City of Eastvale Case No. 14-1398 (Portion): Tentative Tract Map (TTM) No. 36775 (Revised) and Master Development Plan (Amended). This project, known as the Sendero Planned Residential Development, provides for development of 312 detached condominium dwellings. ALUC found the design consistent, but Southern California Edison (SCE) and the City of Eastvale objected to utilization of the SCE easement bisecting the property and the use of perimeter public roadways, respectively, toward meeting ALUC's open area requirements. Therefore, the applicant has prepared a revised open area exhibit not relying on either the easement or public roads to meet the minimum requirements.

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Kanika Kith of the City of Eastvale Planning Department, at (951) 361-0900.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1022CH15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Ref: ZAP18196H14

Date of Application 07.01.15  
 Property Owner SC LIMONITE, LLC Phone Number (949) 833-1554  
 Mailing Address 2201 DUPONT DR., SUITE 300  
IRVINE, CA 92612

Agent (if any) PATRICK POTTS Phone Number (949) 833-1554 x2235  
 Mailing Address (SAME AS ABOVE)

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 6051 N. HARRISON AVE.  
EASTVALE, CA 92880  
 Assessor's Parcel No. 164-010-025 Parcel Size 40.81 AC  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees, include additional ground elevation data as needed*

Existing Land Use (describe) AGRICULTURAL - FORMER DAIRY

Proposed Land Use (describe) RESIDENTIAL - 309 UNIT SINGLE-FAMILY DETACHED COMMUNITY

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 309

For Other Land Uses Hours of Use \_\_\_\_\_

(See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 30 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 685 above msl ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

Chino  
D

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received	06.19.15	Type of Project
Agency Name	CITY OF EASTVALE	<input type="checkbox"/> General Plan Amendment
Staff Contact	KANIKA KITH	<input type="checkbox"/> Zoning Amendment or Variance
Phone Number	(909) 361-0900	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	14-1398	<input type="checkbox"/> Use Permit (Conditional Use Permit)
		<input type="checkbox"/> Public Facility
		<input checked="" type="checkbox"/> Other <u>Final Site Plan of Development</u>

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review—See Below

COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION  
STAFF REPORT

**AGENDA ITEM:** 4.6

**HEARING DATE:** August 13, 2015

**CASE NUMBER:** ZAP1064FV15 – Murrieta KLC Holdings 130, LLC  
(Representative: MDMG, Larry Markham)

**APPROVING JURISDICTION:** City of Murrieta

**JURISDICTION CASE NO.:** General Plan Amendment (GPA) 2014-290; Zone Change (ZC) 2014-289; Specific Plan (SP) 2015-615 (“Adobe Springs”); Tentative Tract Map 36779/TTM 2015-518; Tentative Parcel Map 36733/TPM 2014-410

**MAJOR ISSUES:** The proposed Specific Plan land use tables for Business Park Planning Areas require some revisions in order to enable a consistency determination. In the absence of clarification, this issue can be addressed either by establishing an Airport Compatibility Overlay zone or by requiring ALUC review of subsequent projects within the Business Park Planning Areas.

**RECOMMENDATION:** Staff recommends that ALUC open the public hearing, discuss the proposal, and CONTINUE this item to its September 10, 2015 hearing, pending revisions to the Specific Plan document. However, staff is working with the applicant team to resolve these issues and is confident that there is a reasonable probability that a finding of consistency can be recommended by the hearing date.

**PROJECT DESCRIPTION:**

The applicant proposes a 122.31-acre Specific Plan (“Adobe Springs”, City of Murrieta Case No. SP 2015-615) that would include a 287-unit planned residential development within 36.77 acres, 16.4 acres of Business Park uses, and 64.8 acres of open space for conservation. The residential portion of the project, as proposed by Development Plan 2015-616 and associated Tentative Tract Map No. 36779 (City of Murrieta Case No. TTM 2015-518), would consist of detached single-family residences on small lots. GPA 2014-290 would amend the land use designation of the site (to wit, Assessor’s Parcel Number 963-070-051) from Large Lot Residential and Business Park to Parks/Open Space, Single Family Residential, and Business Park. Tentative Parcel Map No. 36733 (TPM 2014-410) is a proposal to divide the site into four parcels, plus two lettered lots and a remainder. Pursuant to Zone Change ZC 2014-289, Parcel 1 (36.51 acres) would



be zoned SFR-2, Parcels 2 through 4 along Winchester Road (16.61 acres) would be zoned Business Park, and the remainder parcel (64.82 acres) would be zoned Parks/Open Space.

**PROJECT LOCATION:**

The project site is located westerly of Winchester Road, northerly of its intersection with Auld Road/Via Mira Mosa and southerly of its intersection with Benton Road, and easterly of a straight-line southerly extension of Liberty Road, in the City of Murrieta, approximately 1,908 feet northwesterly of the northerly terminus of Runway 18-36 at French Valley Airport.

**LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan  
(as amended in 2011)**

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Compatibility Zones B2, C, and D
- c. Noise Levels: From below 55 CNEL to 55-60 CNEL

**SPECIFIC PLAN:**

Land Use Intensity/Density: The Specific Plan includes land within Airport Compatibility Zones B2, C, and D. Staff estimates that only 0.45 acre of the site is within Compatibility Zone B2. Approximately 18.89 acres are within Compatibility Zone C, with the remaining 102.97 acres in Compatibility Zone D. The portion of the site within Airport Compatibility Zone B2 is entirely within the proposed Business Park Planning Areas, while the portion within Airport Compatibility Zone C is split between Business Park and Open Space – Conservation Planning Areas. The SFR-2 Single Family Residential Planning Areas are entirely located within Airport Compatibility Zone D.

The portion of the Specific Plan located within Zone B2 includes a portion of Planning Area 5 proposed to be designated for Business Park uses. Zone B2 limits non-residential intensity to 100 people per average acre and 200 people per single-acre.

The portion of the Specific Plan within Zone C includes most or all of Planning Area 6 proposed for Business Park uses and portions of Planning Areas 5 (Business Park) and 7 (Open Space – Conservation). Zone C limits non-residential intensity to 80 people per average acre and 160 people per single-acre.

The portion of the Specific Plan within Zone D includes Planning Areas 1 through 3, proposed for residential uses, Planning Area 4 (Business Park), and portions of Planning Areas 5 and 7. Zone D limits non-residential intensity to 150 people per average acre and 450 people per single-acre. Residential densities of five or more dwelling units per acre

are permissible in this Compatibility Zone. All of the residential Planning Areas have densities of at least five dwelling units per acre.

No development plans have been submitted for the Business Park Planning Areas. There is not “sufficient project-level detail to enable a full assessment of compatibility” for the Business Park area at this time. Therefore, pursuant to Countywide Policy 1.5.2 (b) (2), a condition has been included requiring ALUC intensity review for future development within the Business Park Planning Areas.

More than half of the site would maintain its existing open space character.

Open Area: Compatibility Zone C requires that 20% of land area be set aside as open area, while Compatibility Zone D requires a 10% set aside. Over half of the Specific Plan site will be conserved as permanent open space. Therefore, the open area requirement is met at the Specific Plan level for all development therein.

#### Section V Land Use Regulations/Zoning Standards

Section V of the Specific Plan specifically indicates land uses that would be permitted, permitted with Conditional Use Permit, or not permitted within each of the Planning Areas. Residential Planning Areas 1, 2, and 3 and Business Park Planning Area 4 are located within Compatibility Zone D. Planning Area 6 is located partially or wholly within Compatibility Zone C, and portions of Planning Area 5 are within Compatibility Zones B2 and C, as well as D.

Day care centers, children’s schools, and nursing homes are among the uses prohibited in Compatibility Zone C, while these uses and places of worship are prohibited within Compatibility Zone B2. Nursing homes are discouraged uses in Compatibility Zone D. Pursuant to Table V-1, places of worship, assisted living/skilled nursing facilities (nursing homes), residential care homes with seven or more clients, and child day care centers with 15 or more children would be permitted in Residential Planning Areas 1, 2, and 3, provided that a conditional use permit is granted. Provision for a conditional use permit allows an opportunity for the proposed project to be evaluated for consistency with the intensity criteria of the French Valley Airport Land Use Compatibility Plan.

Table V-2 addresses Business Park Planning Areas 4, 5, and 6. Day care centers and places of worship would be permitted in each Planning Area, provided that a conditional use permit is granted. At minimum, day care centers should be excluded from the list of conditionally permitted uses in Planning Area 6, which is located within Compatibility Zone C.

Beyond these specifically prohibited or discouraged uses, the potential also exists within the Business Park Planning Areas for certain allowed uses with potentially high intensity, such as retail, office, and restaurant uses, to exceed the intensity criteria of the Compatibility Zone within which the Planning Area is located.

With regard to education, public assembly, and recreation uses, the Specific Plan is less restrictive than the City of Murrieta Zoning Ordinance. A comparison of Table V-2 with Table 16.12-1 of the City's Ordinance indicates the following:

- Auditoriums, meeting halls, and conference facilities, which require a Conditional Use Permit in the Business Park zones outside Specific Plans, would be a permitted use in Planning Area 5 and conditionally permitted in Planning Area 6.
- Cyber cafes, liquor stores, indoor amusement centers, game arcades, pool/billiard rooms, indoor firing ranges, health and fitness centers, mortuaries and funeral parlors, veterinarian clinics and animal hospitals, and specialized education and training schools, which require a Conditional Use Permit in the Business Park zones outside Specific Plans, would be permitted uses in Planning Areas 5 and 6.

A footnote should be added to Table V-2 stating that uses proposed in the Business Park Planning Areas shall be subject to review as to consistency with the Airport Land Use Compatibility Plan in effect at the time that the land use is evaluated by the City. Additionally, a footnote should be added stating that the reference to "specialized education and training" schools is only intended to cover schools serving primarily adult (18 or older) students.

Rather than assume that these high intensity uses have no potential to be found consistent with the applicable intensity criteria and mandate their prohibition by ordinance, staff is recommending that all implementing projects be transmitted to ALUC for preliminary review to determine whether full ALUC review is required and whether the specific project proposal raises consistency concerns.

Composting recycling facilities are not permitted in the Business Park zones outside Specific Plans, but are proposed to be conditionally permitted in Planning Areas 5 and 6.

On the positive side, the Specific Plan does not allow for caretaker or employee housing in the Business Park Planning Areas – a use that is conditionally permitted in the Business Park zone outside Specific Plans. Eating and drinking establishments, convenience stores, service stations, hotels, and transit stations and terminals – permitted uses in the Business park zone outside Specific Plans – would require Conditional Use Permits in Planning Area 6.

Similarly, concerns on the typical maximum height of 50 feet for buildings and structures could be raised at this time for compliance with Federal Aviation Administration (FAA) Part 77 height restrictions. However, these will be addressed on an individual project basis through the ALUC transmittal requirement.

#### **GENERAL PLAN AMENDMENT:**

The General Plan Amendment would amend the General Plan designations on-site from Large Lot Residential and Business Park to Parks/Open Space, Single Family Residential, and Business Park. Given that the residential density in the developed area

of the project is greater than five dwelling units per acre and entirely confined to Compatibility Zone D, the change from Large Lot Residential to Single Family Residential increases the level of consistency with the French Valley ALUCP, as does the designation of more than half of this site as a permanently preserved open space area.

**TENTATIVE TRACT MAP NO. 36779:**

Tentative Tract Map No. 36779 proposes to establish a 287-unit planned residential development within 36.77 acres. The Tentative Tract Map is located entirely within Compatibility Zone D.

Land Use/Density: Zone D requires a minimum residential density of 5.0 dwelling units per acre or otherwise limits density to no more than 0.2 dwelling units per acre. The French Valley ALUCP specifically allows for residential density to be calculated on a net basis pursuant to Policy 2.2 of the plan. The net area as defined by the plan “equals the overall developable area of the project site exclusive of permanently dedicated open lands or other open space required for environmental purposes.” Therefore, for the purposes of determining compliance with the density criteria, it is appropriate to exclude the open space acreage from the calculation of net density. With exclusion of the open space acreage and the Business Park Planning Areas, the projected net density is 7.75 dwelling units per acre.

Prohibited and Discouraged Uses: The proposed Tentative Tract Map would not include any prohibited (highly noise sensitive outdoor nonresidential use or hazards to flight) or discouraged (children’s schools, hospitals, or nursing homes) uses.

Open Area: See discussion on page 3.

Part 77: The applicant team has submitted a chart indicating structure top point elevations based on adding 35 foot height levels to proposed pad elevations. These top point elevations range from 1,339.1 (Lot 1) to 1,367.0 (Lot 52) feet above mean sea level (AMSL). The closest lot (Lot 1) is located approximately 2,090.7 feet from the northerly runway terminus. Based on this distance and the runway elevation of 1347 feet AMSL, any structure with a top point exceeding 1,368 feet AMSL would require FAA Obstruction Evaluation review. However, none of the proposed residential lots would have an elevation at top point exceeding 1,368 feet AMSL. Therefore, FAA Obstruction Evaluation review for height/elevation reasons is not required.

**CONDITIONS FOR SPECIFIC PLAN 2015-615, TENTATIVE TRACT MAP NO. 36779 and TENTATIVE PARCEL MAP NO. 36733:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Lights must be downward facing.
2. The following uses shall be prohibited:

- a. Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - b. Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - c. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, aquaculture, livestock operations, production of cereal grains, sunflower, and row crops, artificial marshes, landfills, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, incinerators, fly ash disposal, and wastewater management facilities.
  - d. Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - e. Children's schools, hospitals, and nursing homes.
3. The attached notice shall be provided to all potential purchasers of the properties and tenants of the homes or buildings thereon, and shall be recorded as a deed notice.
  4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

**ADDITIONAL CONDITIONS FOR SPECIFIC PLAN NO. 2015-615 and TENTATIVE PARCEL MAP NO. 36733:**

5. Prior to approval of any non-residential entitlement project, each such project shall be transmitted to ALUC for preliminary review and determination as to whether submittal for ALUC review is required.

6. Any implementing non-residential project of the Specific Plan shall comply with the applicable land use intensity limitations for the applicable Compatibility Zone.

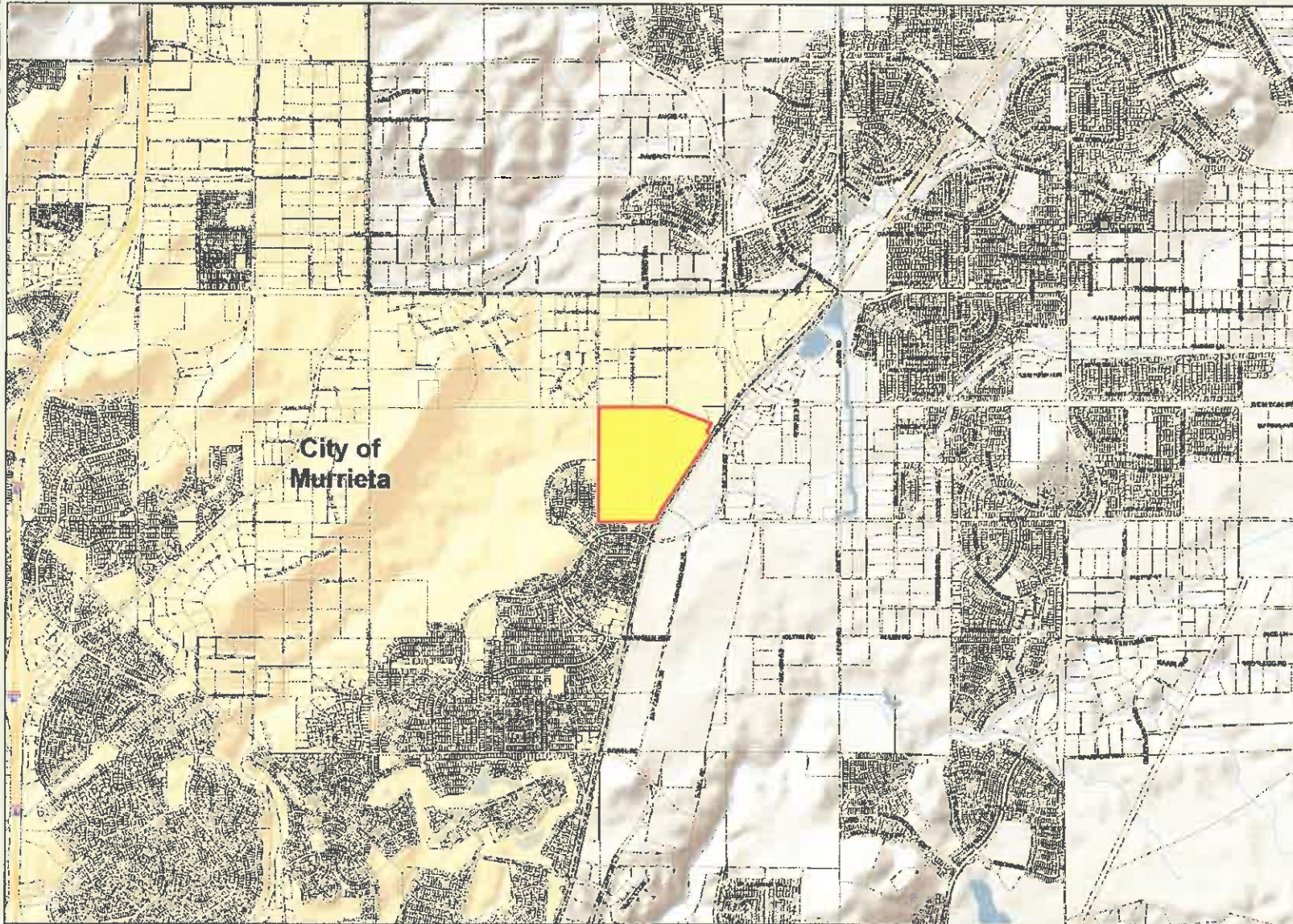
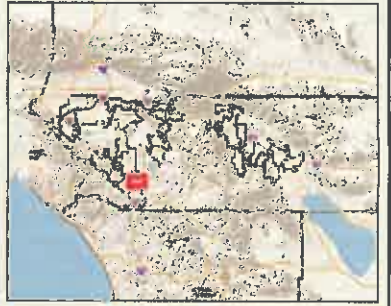
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# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# My Map

## Adobe Springs



### Legend

- City Boundaries
- Cities
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



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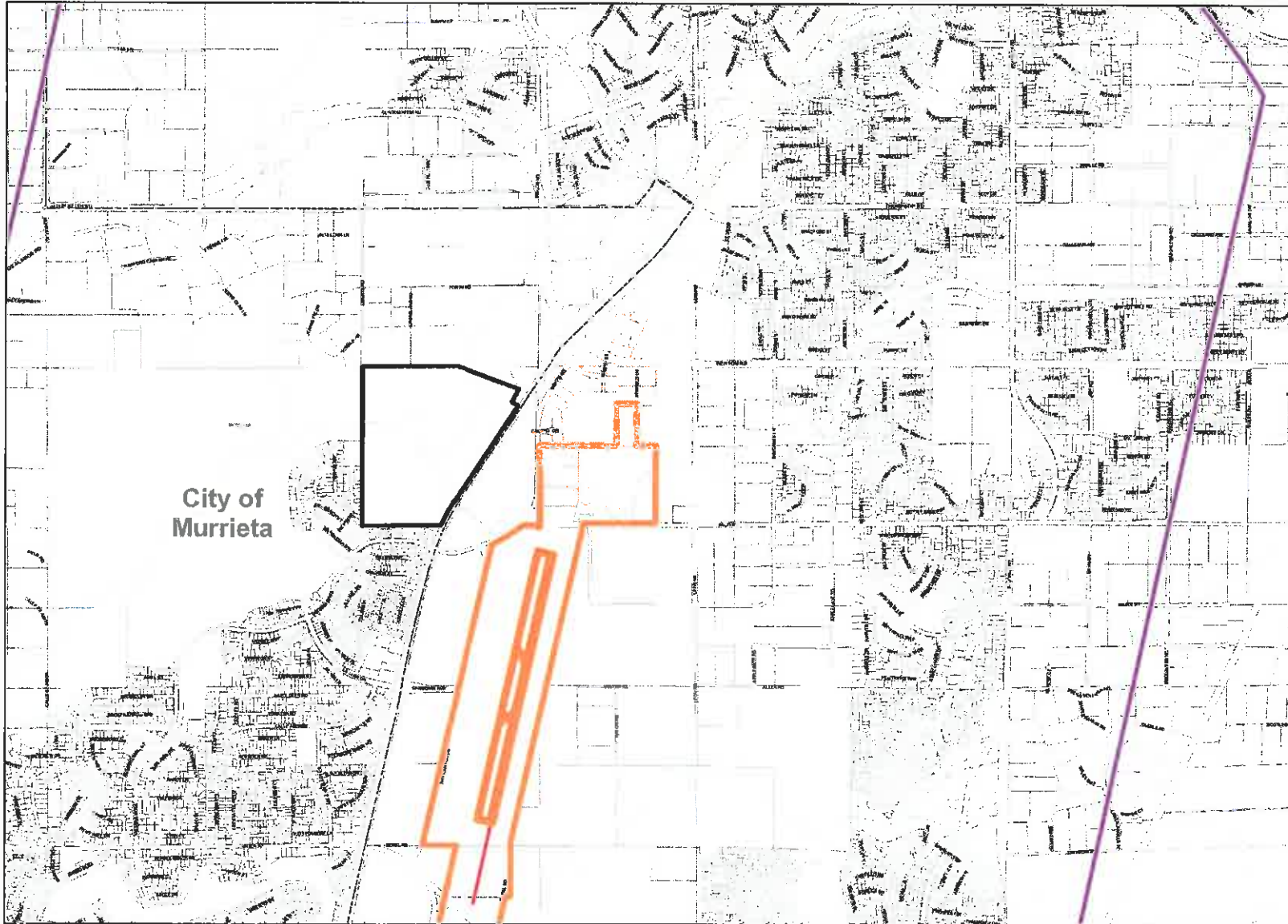
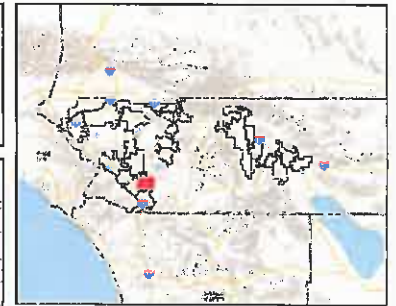


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# My Map



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  - Residential
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- waterbodies
  - Lakes
  - Rivers



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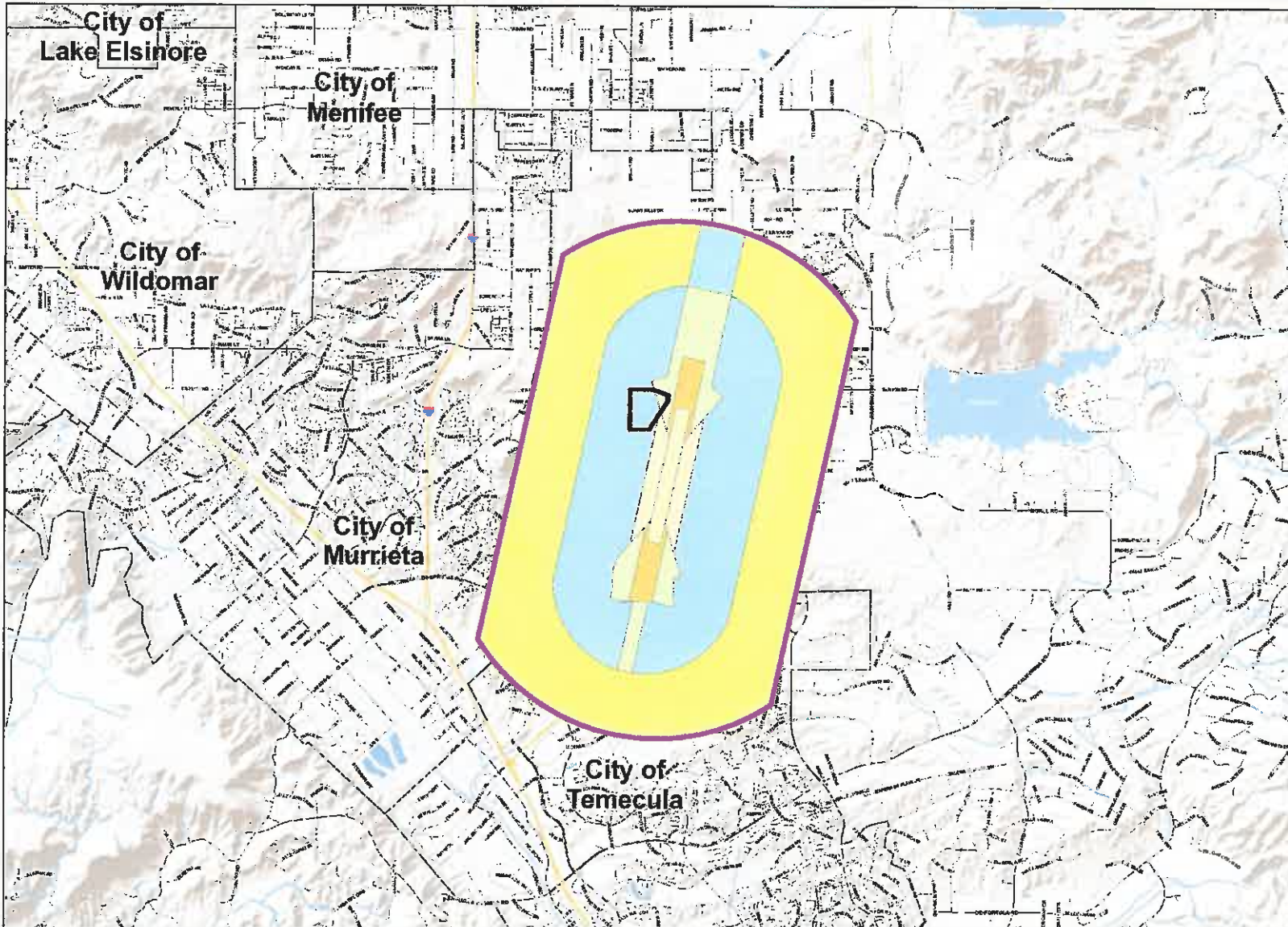
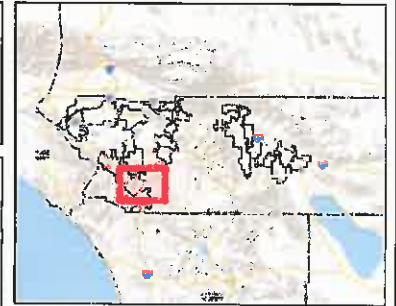


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### Notes

# My Map



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- OTHER ZONE
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- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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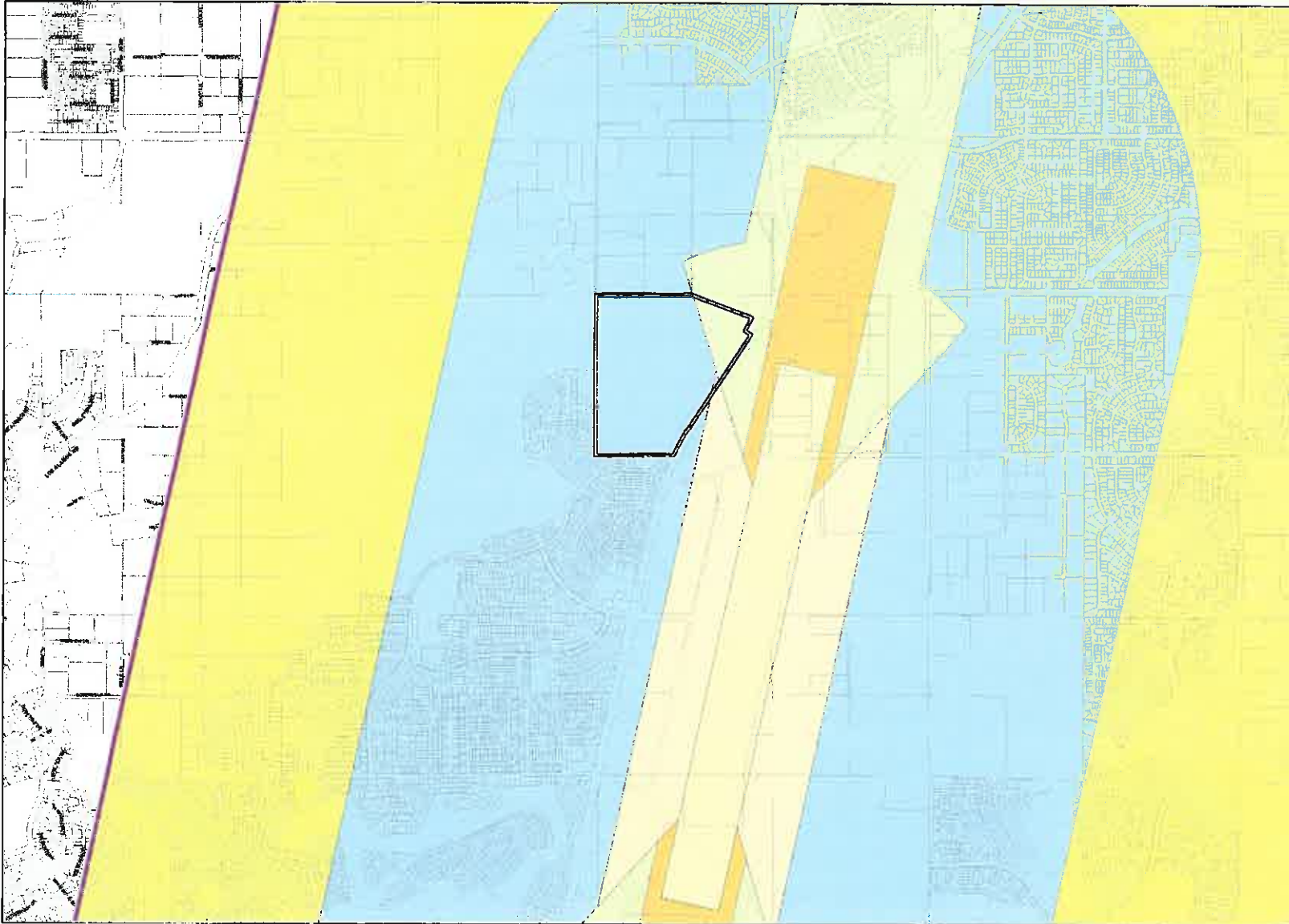
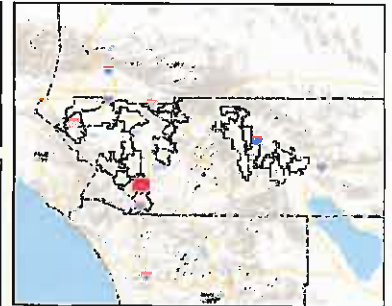
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## Notes

# My Map



**Legend**

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- Airport Compatibility**
- OTHER ZONE
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- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
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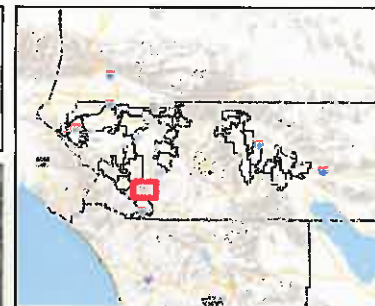
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**Notes**

# My Map



## Legend

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- Runways
- City Boundaries
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- waterbodies
- Lakes
- Rivers



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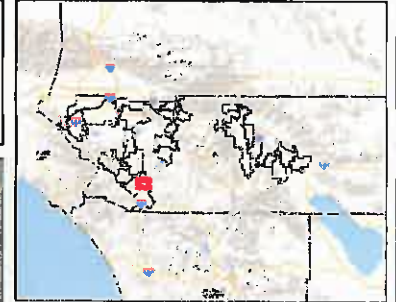
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## Notes

# My Map



## Legend

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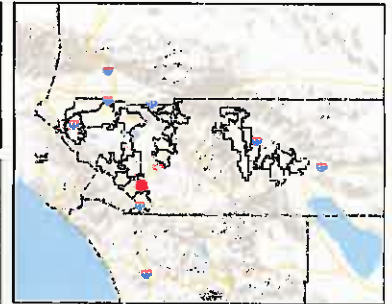
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## Notes

# My Map



## Legend

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  - USHWY
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- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



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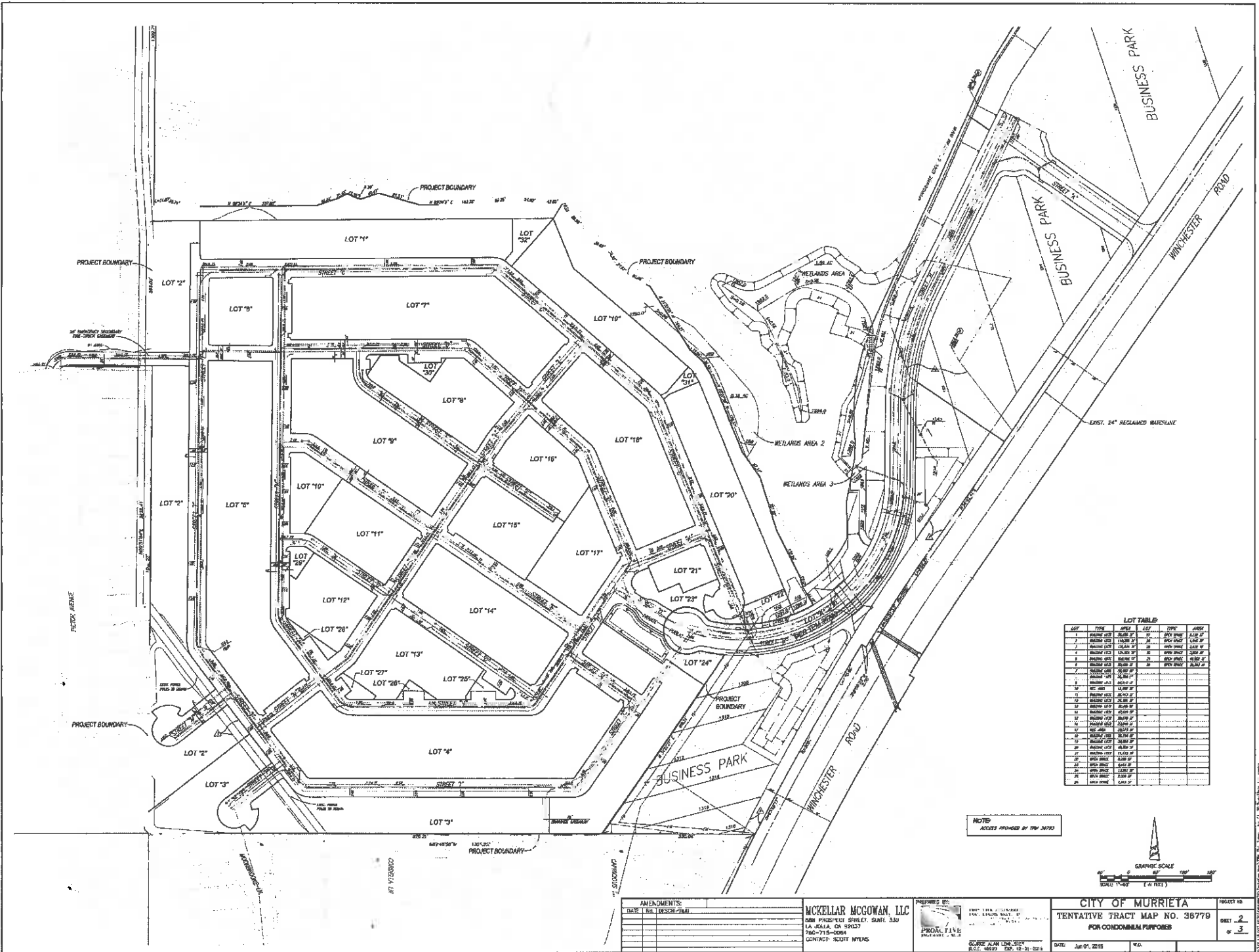
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## Notes





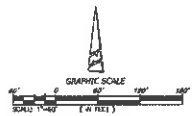




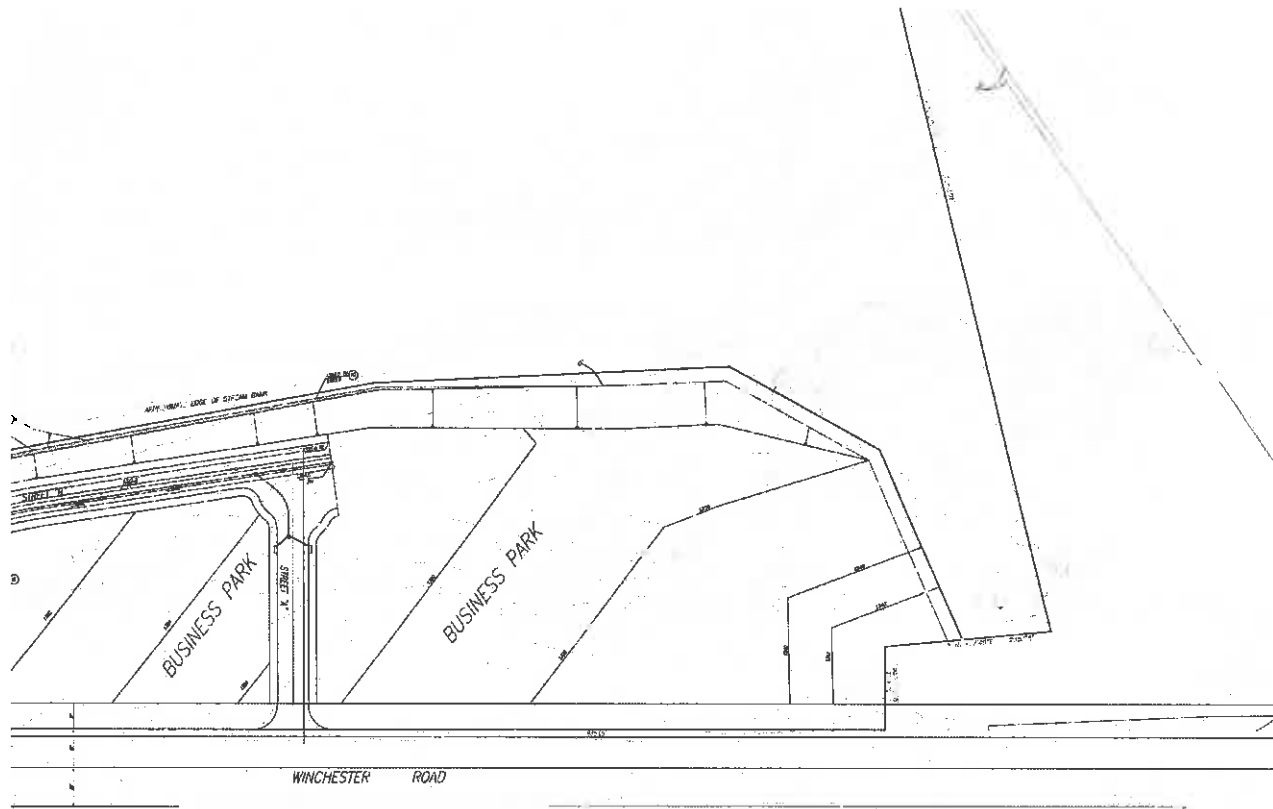
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12	RESIDENTIAL	1.50	22	RESIDENTIAL	1.50
13	RESIDENTIAL	1.50	23	RESIDENTIAL	1.50
14	RESIDENTIAL	1.50	24	RESIDENTIAL	1.50
15	RESIDENTIAL	1.50			
16	RESIDENTIAL	1.50			
17	RESIDENTIAL	1.50			
18	RESIDENTIAL	1.50			
19	RESIDENTIAL	1.50			
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24	RESIDENTIAL	1.50			

NOTE:  
ACCESS PROVIDED BY TRM 34793

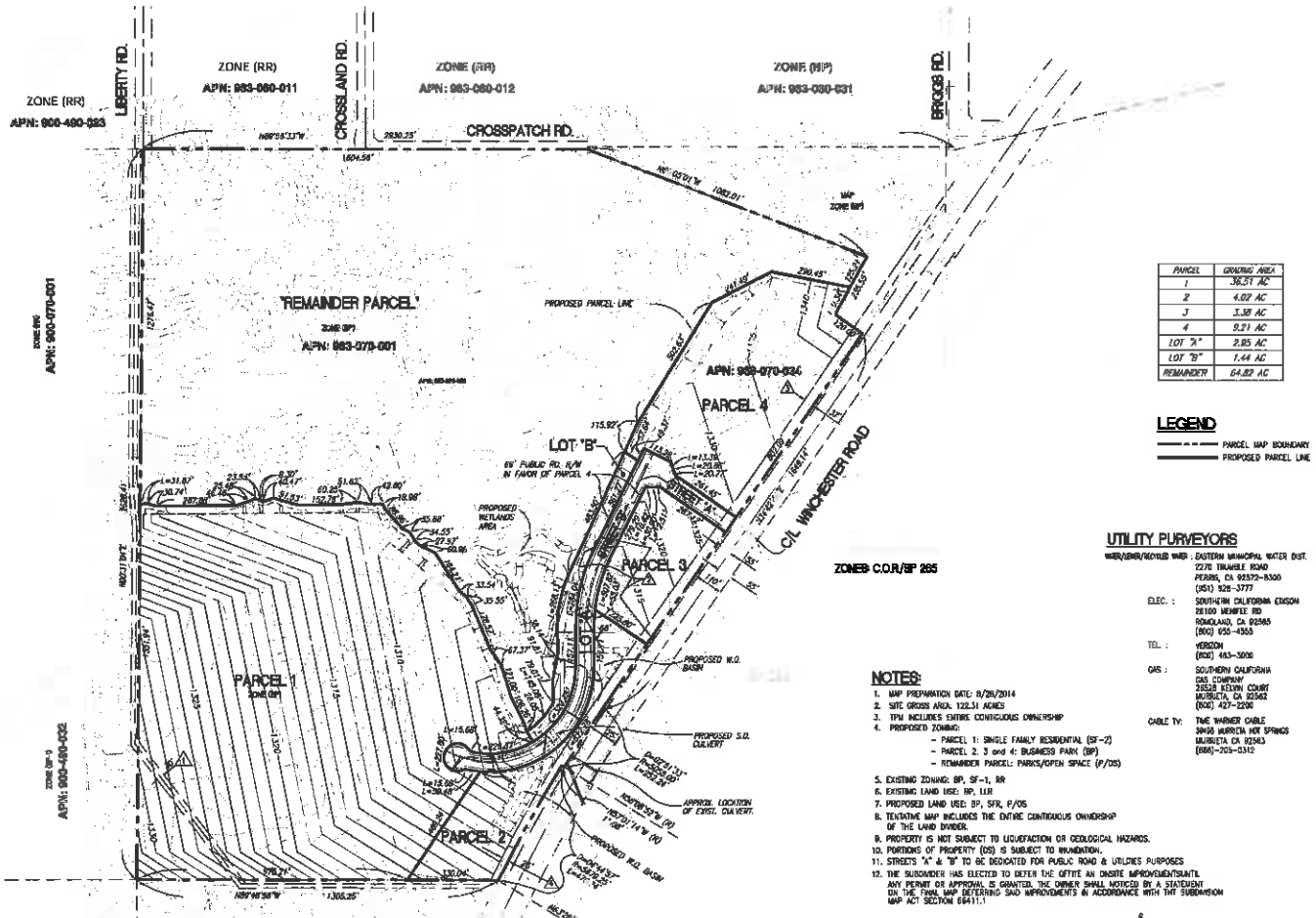


<b>AMENDMENTS:</b> DATE NO. DESCRIPTION		<b>MCKELLAR MCGOWAN, LLC</b> 6086 PRINCETON SQUARE SUITE 330 LA JOLLA, CA 92037 760-715-0064 CONTACT: SCOTT WYKES	PREPARED BY:  SCOTT WYKES P.E. No. 10000	<b>CITY OF MURRIETA</b> TENTATIVE TRACT MAP NO. 38770 FOR CONDOMINIUM PURPOSES	PROJECT NO. SHEET <u>2</u> OF <u>3</u>
DATE: Jun 01, 2015				DATE: Jun 01, 2015	



AMENDMENTS: DATE: 10/15/2019	<b>MCCELLAR MCGUIRE LLC</b> 2000 JENNIFER STREET, SUITE 100 SAN ANTONIO, TEXAS 78205 CONTACT: TERRY MCCELLAR		<b>CITY OF MURRIETA</b> TENTATIVE TRACT MAP NO. 3877D FOR CONDOMINIUM PURPOSES	SHEET: OF 2
---------------------------------	---	--	--	----------------

IN THE CITY OF MURRIETA, STATE OF CALIFORNIA  
**TENTATIVE PARCEL MAP 36733**  
 SECTION 6, TOWNSHIP 6 SOUTH, RANGE 2 WEST, S.B.M.



PARCEL	GROUND AREA
1	38.21 AC
2	4.02 AC
3	3.38 AC
4	9.21 AC
LOT 'A'	2.85 AC
LOT 'B'	1.44 AC
REMAINDER	64.82 AC

**LEGEND**  
 --- PARCEL MAP BOUNDARY  
 - - - PROPOSED PARCEL LINE

**UTILITY PURVEYORS**  
 WATER/SANITARY/WASTEWATER: EASTERN MUNICIPAL WATER DIST.  
 2276 TRIANGLE ROAD  
 PERRIS, CA 92579-4300  
 (951) 928-3777  
 ELEC.: SOUTHERN CALIFORNIA Edison  
 25100 MEMBLE RD  
 RANGLAND, CA 92585  
 (800) 655-4553  
 TEL.: VERIDON  
 (800) 443-3000  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 2558 BRYAN COURT  
 MURRIETA, CA 92562  
 (951) 421-2200  
 CABLE TV: THE WARNER CABLE  
 3905 WARRIOR HOT SPRINGS  
 MURRIETA, CA 92563  
 (951) 305-0312

**ZONES CO/R/SF 265**

- NOTES:**
- MAP PREPARATION DATE: 8/26/2014
  - SITE CROSS AREA: 122.31 ACRES
  - TPM INCLUDES ENTIRE CONTIGUOUS OWNERSHIP
  - PROPOSED ZONING:
    - PARCEL 1: SINGLE FAMILY RESIDENTIAL (SF-2)
    - PARCEL 2, 3 and 4: BUSINESS TRAFFIC (BT)
    - REMAINDER PARCEL: PARKS/OPEN SPACE (P/OS)
  - EXISTING ZONING: SP, SF-1, BR
  - EXISTING LAND USE: SP, IIR
  - PROPOSED LAND USE: SP, SFR, P/OS
  - TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDED.
  - PROPERTY IS NOT SUBJECT TO LIQUEFACTION OR GEOLOGICAL HAZARDS.
  - PORTIONS OF PROPERTY (OS) IS SUBJECT TO REMEDIATION.
  - STREETS 'A' & 'B' TO BE DEDICATED FOR PUBLIC ROAD & UTILITIES PURPOSES
  - THE SUBDIVIDER HAS ELECTED TO DEFER THE OFFICE AN ON-SITE IMPROVEMENTS/UTILITY PERMIT OR APPROVAL IS GRANTED, THE OWNER SHALL NOTICED BY A STATEMENT ON THE TENT MAP DETERMINING SHD IMPROVEMENTS IN ACCORDANCE WITH THE SUBDIVISION MAP ACT SECTION 66411.1



**LEGAL DESCRIPTION:**  
 LOT 3 OF LOT LINE ADJUSTMENT 13-224, RECORDED DECEMBER 11, 2013, AS INSTRUMENT 2013-0276343, OF OFFICIAL RECORDS OF INYRENE COUNTY.  
 APN: 983-070-051

**OWNER:**  
 JEFF C. JOHNSON-EMP OF MANAGER  
 MURRIETA PLC HOLDINGS 130, LLC  
 688 PROSPECT STREET, SUITE 330  
 LA JOLLA, CA 92037  
 760-715-0084

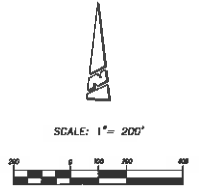
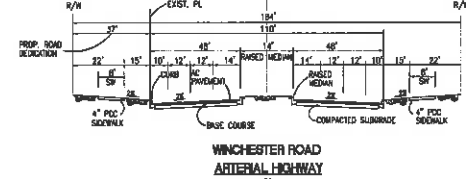
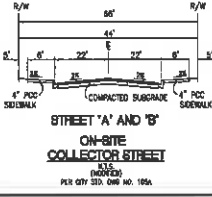
**APPLICANT:**  
 SHOTT WIFE  
 SHOTT WIFE  
 147 WINDY HILL DRIVE  
 LA JOLLA, CA 92037  
 619-512-8888

- EASEMENT NOTES:**
- EASEMENT FOR POLE LINES, CONDENS, OR UNDERGROUND FACILITIES, IN FAVOR OF SO CAL GAS CO., RECORDED 2/19/1984, OR
  - TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT "DEED RESTRICTION", RECORDED 7/28/2003 AS INST. 2003-062091, OR
  - AN EASEMENT FOR A PIPELINE OR PIPELINES AND INCIDENTAL PURPOSES IN FAVOR OF EUNDA, RECORDED 2/8/1992, AS INST. 892350, OR
  - AN EASEMENT FOR PUBLIC ROAD AND DAMAGE PURPOSES, INCLUDING PUBLIC SERVICES AND INCIDENTAL PURPOSES IN FAVOR OF THE CO. OR RIVERSIDE, RECORDED 9/20/1974, AS INST. 148241, OR

**NOTE:**  
 THIS MAP IS FOR FINANCE & CONFORMANCE PURPOSES. IMPROVEMENT SHOWN HEREIN WILL BE INCLUDED IN A DEFERRED IMPROVEMENT AGREEMENT.

NO.	DATE	DESCRIPTION

**ENGINEER**  
  
 ENGINEERING CONSULTANTS, INC.  
 11111 CALIFORNIA AVE. SUITE 200  
 BOSTON, MASS 02115  
 (617) 252-1111





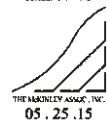
PLAN 1 SPANISH COLONIAL

PLAN 3 MONTEREY  
48 X79 LOTS

PLAN 2 ITALIAN FARMHOUSE

# ADOBE SPRINGS

Murrieta KLC Holdings 130, LLC





PLAN 3 MONTEREY

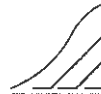
PLAN 1 ITALIAN FARMHOUSE  
40 X69 LOTS

PLAN 2 SPANISH COLONIAL

# ADOBE SPRINGS

Murrieta KLC Holdings 130, LLC

SCALE: 1/2" = 1'-0"



05 . 25 . 15



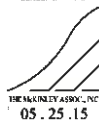
PLAN 2 ITALIAN FARMHOUSE

PLAN 1 SPANISH COLONIAL  
46 X69 LOTS

PLAN 3 MONTEREY

# ADOBE SPRINGS

Murrieta KLC Holdings 130, LLC



## ADOBE SPRINGS – FRENCH VALLEY LOT TABLE

LOT	ELEVATION*	EASTING	NORTHING	DISTANCE
1 **	1339.1	6292931.90	2157588.48	2090.7
2	1339.4	6292914.72	2157636.94	2129.0
3	1339.6	6292897.11	2157679.15	2165.1
4	1339.9	6292878.20	2157723.70	2203.8
5	1340.1	6292860.01	2157769.24	2242.8
6	1340.4	6292840.37	2157812.18	2282.1
7	1340.7	6292821.45	2157857.86	2322.5
8	1341.0	6292802.98	2157902.08	2361.8
9	1341.3	6292785.51	2157945.62	2400.7
10	1341.6	6292768.91	2157990.00	2439.4
11	1341.8	6292727.45	2158042.82	2503.7
12	1342.4	6292691.07	2158076.28	2552.7
13	1342.4	6292657.86	2158104.65	2596.2
14	1342.7	6292618.73	2158170.58	2646.5
15	1342.9	6292583.38	2158170.58	2695.1
16	1343.2	6292547.73	2158203.77	2743.4
17	1343.5	6292513.08	2158233.63	2788.9
18	1343.8	6292475.54	2158267.08	2838.9
19	1344.1	6292450.35	2158309.14	2884.1
20	1344.9	6292367.55	2158345.38	2972.1
21	1345.2	6292321.15	2158343.63	3009.1
22	1346.2	6292272.95	2158342.18	3047.7
23	1347.1	6292227.86	2158340.87	3084.1
24	1348.1	6292178.94	2158339.28	3123.8
25	1349.0	6292131.96	2158339.28	3162.9
26	1350.0	6292081.87	2158339.27	3204.9
27	1350.9	6292034.15	2158340.29	3245.7
28	1351.8	6291988.90	2158337.82	3282.7
29	1352.8	6291337.94	2158337.38	3325.8
30	1353.1	6291890.81	2158337.23	3366.1
31	1353.4	6291843.06	2158338.53	3407.8
32	1353.7	6291797.23	2158337.99	3447.0
33	1354.0	6291747.13	2158336.83	3489.8
34	1354.4	6291676.38	2158352.17	3558.9
35	1354.7	6291666.11	2158302.60	3543.8
36	1356.0	6291662.86	2158252.37	3522.9
37	1358.0	6291662.16	2158207.43	3502.7
38	1360.0	6291663.56	2158159.22	3479.7
39	1360.5	6291661.46	2158113.12	3461.2

closest to

40	1361.5	6291661.05	2158034.43	3428.0
41	1362.5	6291660.55	2157986.05	3408.6
42	1363.5	6291659.06	2157936.42	3390.1
43	1364.4	6291658.56	2157889.31	3372.3
44	1365.0	6291659.55	2157842.44	3353.8
45	1365.0	6291658.55	2157792.58	3336.7
46	1365.0	6291359.05	2157748.19	3320.6
47	1364.9	6291659.55	2157697.58	3303.1
48	1361.6	6291657.32	2157650.51	3289.9
49	1364.3	6291656.57	2157602.82	3275.8
50	1364.0	6291661.03	2157541.09	3253.2
51	1365.0	6291657.84	2157380.41	3213.7
52 *	1367.0	6291646.35	2157187.26	3183.9
53	1366.0	6291687.60	2157215.01	3148.6
54	1365.0	6291728.05	2157244.34	3114.8
55	1364.0	6291764.94	2157273.66	3085.0
56	1362.0	6291813.34	2157209.36	3024.2
57	1363.0	6291771.70	2157182.01	3059.7
58	1364.0	6291733.62	2157153.48	3091.9
59	1365.0	6291690.39	2157132.87	3130.9
60	1362.0	6291887.19	2157097.53	2931.0
61	1356.0	6292006.96	2157104.15	2814.2
62	1355.0	6292055.28	2157098.44	2765.6
63	1354.0	6292102.55	2157097.94	2719.0
64	1353.0	6292153.59	2157098.70	2669.0
65	1352.0	6292199.36	2157099.19	2624.1
66	1351.5	6292247.62	2157094.97	2575.9
67	1351.0	6292296.68	2157098.22	2528.4
68	1351.0	6292345.19	2157096.73	2480.6
69	1350.7	6291292.70	2157098.47	2434.4
70	1350.5	6292440.75	2157094.48	2386.5
71	1350.3	6292499.71	2157097.21	2329.4
72	1350.0	6292548.56	2157098.72	2282.0
73	1349.0	6292600.80	2157140.98	2240.8
74	1348.0	6292626.67	2157182.00	2226.0
75	1347.0	6292654.81	2157219.57	2209.0
76	1346.0	6292680.21	2157259.68	2196.3
77	1345.0	6292707.07	2157300.70	2183.4
78	1344.0	6291734.48	2157340.10	2170.5
79	1343.0	6292760.85	2157380.87	2160.0
80	1344.0	6292674.99	2157409.77	2250.5

highest part



81	1343.5	6292632.70	2157437.11	2299.8
82	1343.0	6292590.14	2157467.26	2350.5
83	1339.5	6292798.59	2157598.60	2213.8
84	1339.8	6292780.45	2157642.57	2249.9
85	1340.8	6292724.32	2157604.27	2282.8
86	1340.3	6292746.62	2157730.61	2321.4
87	1340.6	6292725.43	2157775.74	2362.1
88	1340.9	6292712.80	2157816.69	2393.5
89	1341.2	6292694.63	2157901.24	2431.7
90	1341.5	6292675.95	2157901.24	2468.7
91	1341.8	6292649.97	2157949.65	2516.4
92	1342.1	6292615.63	2157987.53	2564.7
93	1342.4	6292583.34	2158016.78	2608.7
94	1342.7	6292546.23	2158050.62	2658.2
95	1343.2	6292477.84	2158109.94	2747.9
96	1343.5	6292442.25	2158143.52	2796.1
97	1343.8	6292405.64	2158170.81	2841.7
98	1344.5	6291816.08	2159340.09	2891.7
99	1345.5	6292318.56	2158225.03	2944.2
100	1346.5	6292270.34	2158223.52	2983.8
101	1347.5	6292224.92	2158223.52	3022.0
102	1348.5	6292178.25	2158223.52	3061.5
103	1349.5	6292132.54	2158221.77	3099.5
104	1350.5	6292087.38	2158221.26	3137.9
105	1351.5	6292041.38	2158221.27	3178.2
106	1352.5	6291996.23	2158221.77	3216.6
107	1353.5	6291945.49	2158219.75	3259.5
108	1356.0	6291780.67	2158228.82	3408.0
109	1358.0	6291776.60	2158175.76	3386.6
110	1360.0	6291776.34	2158130.77	3366.2
111	1360.7	6291774.31	2158041.33	3328.4
112	1361.5	6291773.55	2157994.56	3309.1
113	1362.4	6291777.31	2157948.89	3286.8
114	1363.3	6291774.06	2157905.02	3272.1
115	1363.8	6291773.24	2157858.27	3254.5
116	1364.4	6291772.43	2157810.34	3237.1
117	1365.0	6291770.39	2157764.66	3222.2
118	1365.0	6291770.80	2157721.61	3206.6
119	1364.7	6291769.97	2157674.00	3191.1
120	1364.4	6291772.82	2157628.50	3173.4
121	1364.2	6291770.79	2157583.41	3161.1

122	1363.9	6291969.56	2157539.39	3148.3
123	1363.0	6291775.67	2157482.87	3126.7
124	1357.5	6291803.73	2157435.72	3086.8
125	1357.0	6291834.21	2157397.13	3047.1
126	1361.5	6291860.63	2157360.57	3012.3
127	1361.0	6261917.99	2157283.16	2937.9
128	1360.0	6291949.45	2157247.00	2902.0
129	1357.0	6291982.62	2157211.66	2859.0
130	1355.0	6292035.87	2157213.70	2807.5
131	1343.5	6292082.73	2157211.23	2761.2
132	1352.0	6292127.85	2157211.23	2717.2
133	1351.7	6292172.56	2157210.42	2673.5
134	1351.5	6292218.53	2157209.60	2628.5
135	1351.3	6292263.28	2157210.85	2585.3
136	1351.0	6292310.84	2157211.26	2539.2
137	1350.7	6292357.58	2157211.26	2493.8
138	1350.5	6292404.32	2157211.26	2448.5
139	1350.3	6292451.07	2157210.04	2402.9
140	1350.0	6292504.32	2157212.07	2352.0
141	1347.5	6292534.84	2157253.12	2333.6
142	1346.5	6292565.32	2157292.12	2315.6
143	1336.5	6292591.74	2157332.33	2302.8
144	1345.0	6292535.65	2157366.05	2366.7
145	1346.0	6292505.57	2157329.49	2383.8
146	1347.0	6292468.17	2157284.80	2406.5
147	1349.0	6292404.36	2157281.96	2467.0
148	1350.0	6292356.80	2157280.34	2512.3
149	1351.0	6292311.68	2157278.31	2555.2
150	1352.0	6292265.35	2157280.34	2600.5
151	1353.0	6292218.20	2157279.12	2645.7
152	1354.0	6292170.97	2157278.31	2691.2
153	1355.0	6292128.47	2157281.06	2733.1
154	1356.5	6292082.42	2157279.52	2777.3
155	1355.8	6292028.91	2157282.36	2829.9
156	1356.3	6291978.25	2157913.56	2886.6
157	1357.4	6291914.51	2157399.03	2970.2
158	1358.0	6291884.54	2157438.97	3009.9
159	1358.6	6291853.82	2157480.44	3051.1
160	1358.9	6291842.05	2157538.22	3079.4
161	1359.2	6291813.74	2157579.00	3094.2
162	1359.4	6291842.81	2157628.61	3107.3

163	1359.7	6291843.06	2157673.17	3122.1
164	1360.0	6291842.30	2157721.81	3139.8
165	1360.0	6291843.83	2157767.12	3154.8
166	1359.4	6291842.80	2157811.39	3172.3
167	1358.8	6291845.11	2157855.50	3187.2
168	1358.3	6291842.80	2157905.35	3209.2
169	1357.4	6291842.55	2157949.33	3227.6
170	1356.5	6291845.10	2157994.93	3244.5
171	1355.7	6291843.30	2158045.39	3268.1
172	1355.2	6291844.84	2158429.83	3304.8
173	1354.6	6291843.05	2158174.41	3327.2
174	1354.0	6291846.38	2158226.57	3349.3
175	1354.5	6291943.39	2158153.19	3228.9
176	1353.5	6291987.55	2158152.15	3189.7
177	1352.5	6292025.70	2158152.67	3156.7
178	1351.5	6292066.98	2158153.71	3121.3
179	1350.5	6292105.65	2158152.93	3087.4
180	1349.5	6292144.33	2158151.36	3053.2
181	1348.5	6292184.68	2158152.15	3018.9
182	1347.5	6292226.75	2158152.93	2983.2
183	1346.5	6292265.94	2158152.15	2949.4
184	1345.5	6292324.21	2158105.85	2897.6
185	1344.8	6292369.74	2158105.85	2836.8
186	1344.2	6292431.67	2158055.19	2798.6
187	1343.5	6292431.67	2158055.19	2757.4
188	1343.3	6292498.65	2157995.55	2669.2
189	1343.1	6292531.83	2157969.70	2627.4
190	1342.8	6292557.76	2159741.11	2590.4
191	1342.5	6292591.73	2157911.86	2546.2
192	1342.3	6292614.99	2157869.30	2504.5
193	1342.1	6292629.36	2157832.46	2473.6
194	1341.8	6292647.69	2157796.05	2439.7
195	1341.5	6292661.80	2157756.88	2408.4
196	1341.3	6292675.91	2157722.38	2379.6
197	1342.6	6292497.04	2157868.53	2606.6
198	1343.6	6292438.49	2157908.33	2677.1
199	1343.5	6292356.92	2157974.84	2780.8
200	1344.2	6292323.06	2158001.58	2823.5
201	1344.8	6292291.71	2158027.06	2863.3
202	1345.5	6292254.87	2158045.54	2904.5
203	1351.0	6292115.22	2158051.41	3029.3

204	1350.0	6292148.24	2158031.78	2990.9
205	1349.0	6292183.36	2158009.22	2949.3
206	1348.0	6292215.55	2157985.40	2909.6
207	1347.0	6292248.60	2157962.36	2869.6
208	1346.0	6292281.63	2157938.96	2829.5
209	1345.0	6292319.67	2157916.82	2785.5
210	1344.5	6292388.27	2157869.07	2702.5
211	1344.8	6292419.63	2157846.09	2664.0
212	1345.0	6292443.91	2157822.70	2622.8
213	1345.2	6292486.53	2157800.52	2583.6
214	1345.5	6292519.55	2157780.47	2545.0
215	1345.5	6292461.03	2157699.70	2561.5
216	1345.2	6292426.33	2157725.60	2604.0
217	1345.0	6292393.27	2157746.99	2643.0
218	1346.0	6292351.04	2157785.84	2697.9
219	1345.0	6292260.53	2157836.74	2801.6
220	1346.0	6292225.68	2157860.29	2843.3
221	1347.0	6292192.54	2157880.41	2881.9
222	1348.0	6292162.75	2157905.57	2919.8
223	1349.0	6292128.30	2157926.24	2959.8
224	1350.0	6292096.00	2157952.23	3000.3
225	1351.0	6292060.76	2157973.20	3041.2
226	1351.2	6292024.68	2158003.80	3087.3
227	1351.2	6292020.88	2158049.17	3111.5
228	1356.2	6291651.66	2158050.42	3173.5
229	1356.6	6291351.24	2158008.50	3155.0
230	1357.0	6291645.37	2157953.16	3136.0
231	1356.6	6291990.26	2157938.49	3089.2
232	1354.8	6292021.71	2157915.15	3050.8
233	1354.0	6292057.64	2157895.46	3009.9
234	1353.9	6292087.95	2157873.13	2972.9
235	1353.0	6292123.34	2157851.84	2931.8
236	1352.0	6292154.73	2157828.43	2893.5
237	1351.1	6292192.76	2157806.11	2849.6
238	1350.1	6292224.40	2157781.13	2810.3
239	1347.0	6292323.87	2157752.42	2708.0
240	1348.0	6292302.97	2157713.05	2710.6
241	1350.0	6292356.89	2157687.15	2650.8
242	1349.0	6292388.67	2157668.77	2614.3
243	1348.0	6292424.62	2157646.62	2572.5
244	1346.0	6292425.46	2157507.50	2518.5

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245	1347.0	6292391.18	2157533.46	2559.9
246	1348.0	6292363.33	2157556.48	2594.2
247	1349.0	6292330.12	2157579.49	2633.5
248	1350.0	6292295.82	2157602.84	2674.1
249	1351.0	6292250.82	2157641.16	2730.2
250	1350.1	6292162.39	2157690.20	2830.6
251	1351.1	6292128.12	2157714.02	2871.5
252	1352.0	6292093.55	2157737.60	2912.5
253	1353.0	6292059.77	2157760.41	2952.5
254	1353.9	6292029.78	2157782.62	2988.8
255	1358.6	6291988.77	2157726.66	3005.2
256	1357.8	6292021.71	2157703.65	2966.0
257	1357.0	6292054.39	2157679.79	2926.8
258	1356.2	6292087.89	2157658.06	2887.7
259	1355.4	6292123.78	2157635.31	2845.0
260	1352.3	6292223.18	2157604.20	2742.1
261	1353.5	6292202.30	2157567.80	2748.6
262	1355.0	6292258.04	2157543.08	2687.7
263	1354.0	6292286.96	2157521.40	2653.0
264	1353.0	6292321.51	2157499.19	2613.0
265	1352.0	6292354.71	2157475.37	2573.6
266	1351.0	6292387.43	2157456.29	2536.4
267	1352.0	6292299.80	2157399.79	2601.2
268	1353.0	6292264.45	2157422.00	2641.7
269	1354.0	6292233.39	2157440.47	2677.0
270	1355.0	6292199.63	2157464.60	2716.6
271	1355.0	6292153.55	2157504.22	2773.0
272	1355.4	6292068.06	2157555.17	2870.5
273	1356.2	6292035.93	2157580.60	2909.2
274	1357.0	6292000.28	2157601.52	2949.8
275	1357.8	6291968.94	2157624.27	2987.0
276	1359.3	6291956.90	2157561.87	2977.7
277	1358.9	6291946.19	2157521.96	2975.3
278	1356.1	6292004.57	2157516.84	2907.1
279	1355.7	6292026.88	2157464.20	2897.0
280	1355.5	6292127.93	2157465.20	2784.6
281	1356.0	6292104.56	2157428.13	2796.0
282	1356.5	6292078.50	2157394.29	2811.2
283	1355.0	6292150.80	2157394.81	2742.0
284	1353.0	6292227.99	2157376.51	2662.9
285	1346.0	6292424.52	2157410.68	2486.3

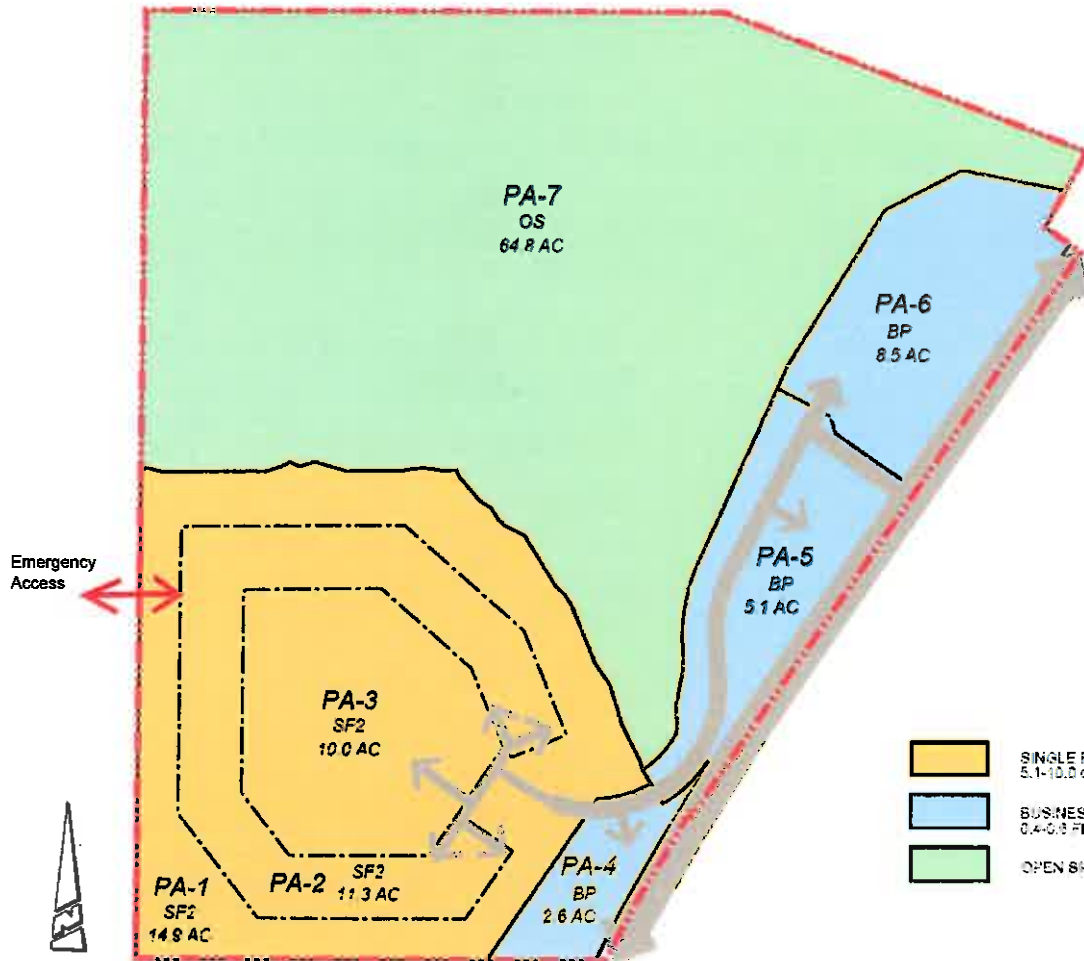
286	1345.0	6292449.52	2157448.82	2475.4
287	1344.0	6292475.85	2157485.88	2463.7

\*ELEVATION IS EQUAL TO THE LOT PAD ELEVATION PLUS 35' MAX. ALLOWABLE BUILDING HEIGHT

**EXCERPTS FROM PROPOSED ADOBE SPRINGS SPECIFIC PLAN**



## Section I: Executive Summary



Specific Plan Land Use Summary

Land Use	Acres	Target Density Range	Dwelling Units Proposed	Dwelling Unit Range
<b>Residential</b>				
SF-2 Density Residential, 48' Minimum Street Frontage (Planning Area 1)	14.8	5.1-10.0	66	79-149
SF-2 Density Residential, 48' Minimum Street Frontage (Planning Area 2)	11.3	5.1-10.0	116	49-113
SF-2 Density Residential, 40' Minimum Street Frontage (Planning Area 3)	10.0	5.1-10.0	85	51-100
<b>- Residential Subtotals</b>	<b>36.2</b>	<b>-</b>	<b>267</b>	<b>185-362</b>
<b>Non-Residential</b>				
Business Park (Planning Area 4)	2.6	--	--	N/A
Business Park (Planning Area 5)	5.1	--	--	N/A
Business Park (Planning Area 6)	8.5	--	--	N/A
Open Space - Recreation (Private)	--	--	--	N/A
Open Space - Conservation (Planning Area 7)	64.8	--	--	N/A
Major Circulation	4.81	--	--	N/A
<b>- Non-Residential Subtotals</b>	<b>86.01</b>	<b>--</b>	<b>--</b>	<b>N/A</b>
<b>Project Totals</b>	<b>122.2</b>	<b>--</b>	<b>267</b>	<b>N/A</b>

1.82 acres included in PA1 and PA3 acreages.



**Note:** All figures for Section II, Specific Plan, are located at the end of this section, not immediately following their reference in the text.

## II. SPECIFIC PLAN

### A. Land Use Plan

#### 1. Development Concept

The Adobe Springs Specific Plan (Specific Plan) establishes a master-planned community consisting of single-family residential, business park, and open space land uses. With a total of 287 detached residential units with three (3) distinct product types and 16.4 acres of business park, the community will serve a variety of ages, income levels, and lifestyles.

Planning Areas (PA) within the Specific Plan were formed on the basis of environmental constraints, existing uses, logical placement and neighborhood scale. Criteria considered in this process included City planning objectives, drainage systems, existing flood control facilities, existing sewer facilities, desired home types and compatibility between land uses.

Home types include:

- Single-Family Detached: Traditional

Residential densities are approximately 7.9 dwelling units per acre, consistent with the City's General Plan designations of Single Family Residential 1.1 – 10.0 du/ac). Reference Figure I-6, *Specific Plan Land Use Plan*.

Planning Areas 1, 2, and 3 (PA1, PA2, and PA3) are approximately 14.9 acres, 11.3 acres, and 10.0 acres, respectively, totaling approximately 36.2 acres. They are designated as Single Family Residential (SFR) development and will allow for lots with an average square foot range of 2,750 – 3,174. These Planning Areas are located in the south/southwestern portion of the Specific Plan, adjacent to the existing, surrounding residential development.

Planning Areas 4 (PA4), 5 (PA5), and 6 (PA6) are approximately 2.8 acres, 5.1 acres, and 8.5 acres, respectively, totaling approximately 16.4 acres. All three Planning Areas are designated Business Park. All three PAs are located within Compatibility Zones of the French Valley Airport Land Use Compatibility Plan. PA4 is located adjacent to existing and proposed single-family residential development. Development within PA4, PA5, and PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development.

Planning Area 7 (PA7) is approximately 64.8 acres and is designated as Open Space (OS). Overall, there is approximately 64.8 acres, or 53% of the Project site, designated as open space in the Specific Plan. This acreage does not include any potential private open space uses/acreage that will be located in the residential planning areas - PA's 1, 2, and 3.

Specific information on each of the planning areas within the Specific Plan is provided in Table II-1, *Detailed Land Use Summary*. The land uses within the community are as follows:

a. Residential

Residential planning areas account for 36.2 acres of the Specific Plan Land Use Plan and provide for 287 dwelling units at a net target residential density of 7.9 dwelling units per acre. Planning areas are defined as neighborhoods that provide for one residential project type and are discussed in greater detail in Section III, *Planning Area Development Standards*. In conformance with Project goals, a variety of housing styles and sizes are included, appealing to a range of future residents. The Specific Plan Land Use Plan provides a variety of residential land use densities and allows for varying housing opportunities as described below:

**Table II-1  
Detailed Land Use Summary**

PA	Land Use	Acres	Target Density du/ac	Target Dwelling Units	Units Permitted by General Plan Range
1	Single Family Residential	36.2	5.1-10.0	287	1.1-10.0
2	Business Park	16.4	--	--	
3	Open Space – (Open Space Conservation)	64.8	--	--	N/A
--	Open Space – Recreation (Private) <sup>1</sup>	--	--	--	N/A
--	Circulation	4.8	--	--	N/A
<b>Project Totals</b>		<b>122.2</b>	<b>7.9</b>	<b>287</b>	<b>--</b>

<sup>1</sup> 1.62 acres included in Single-Family Residential acreages.

- **Single Family Residential (5.1-10.0 du/ac):** A total target of 287 Single Family Residential dwelling units are planned on 36.2 acres of land at an average density of 7.9 dwelling units per acre in PA1, PA2, and PA3. This density range provides for single-family detached residences. Home types within this residential density range may consist of, but not be limited to, dwelling units such as:
  - Single-Family Residential: Traditional

b. Business Park Area

Business park land uses will be permitted on approximately 16.4 acres. Development within PA4, PA5, and PA6 will be consistent with Section 16.12, *Business Park and Industrial Districts* of the Murrieta Development Code; however, uses will be modified as part of the Specific Plan to insure consistency with the Airport Compatibility Zones, as well as address appropriate land uses and buffering when adjacent to existing and proposed single-family residential development.

c. Open Space – Recreation

Planning Area 7 (PA7) is approximately 64.8 acres, and is designated Open Space (OS). PA7 is located along the northern portion of the project site. Overall, there is approximately 64.8 acres, or 53% of the Project site, designated as open space in the Specific Plan. This acreage does not include any potential private open space uses/acreage that will be located in the residential or business park planning areas - PAs 1 through 6.

Detailed descriptions of recreational areas and open space are provided in Section III, *Planning Area Development Standards*, and Section IV, *Design Guidelines*.

### 2. Project Wide Land Use Development Standards

To ensure the orderly and sensitive development of land uses proposed for the Specific Plan, development standards have been prepared for each planning area, which will assist in efficiently implementing the proposed development. In addition to these specific standards, Project-wide development standards also have been prepared to complement the diverse conditions within each planning area. These general standards are as follows:

1. The Specific Plan shall be developed with a maximum of 287 dwelling units on 36.2 acres, as illustrated on Figure I-6, *Specific Plan Land Use Plan*. General uses permitted include residential, open space, recreation, and business park as provided for in the Land Use Plan and in the individual Planning Area figures (Figures III-1 through III-7). A target number of dwelling units is specified for each residential planning area.
2. Uses and development standards are in accordance the Specific Plan Zoning Ordinance. Uses and development standards are also defined by Specific Plan objectives; the Specific Plan design guidelines; and future detailed development proposals including subdivisions, plot plans, and/or conditional use permits.
3. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, the Specific Plan shall provide adequate areas for collection and loading recyclable materials.
4. Standards regarding signage, landscaping, and other related design elements will conform to the City's Sign Ordinance and the Specific Plan. When appropriate and necessary to meet the goals of the Specific Plan, the standards contained within this document will exceed or supersede the City's Sign Ordinance requirements. In addition, a Specific Plan Zoning Ordinance for Specific Plan will be recorded concurrently with the Specific Plan.
5. Development of the property shall be in accordance with the mandatory requirements of all City's Zoning and Subdivision Ordinances. The Specific Plan conforms to State laws.
6. Except for the Specific Plan Zoning Ordinance adopted concurrently with the Specific Plan, no portion of the Specific Plan, which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.
7. Common areas identified in the Specific Plan shall be owned and maintained as follows:
  - A permanent residential master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, common slopes, water quality basins, the recreation center, and common landscaped areas.
  - A business park master maintenance organization shall be established for the Specific Plan area to assume ownership and maintenance responsibility for all common open space, common slopes, parking areas, and common landscaped areas. Unless otherwise provided for in these standards, common areas shall be

- conveyed to the maintenance organization concurrent with the approval of an implementing development or a conveyance subdivision is recorded.
- The maintenance organization shall be established prior to, or concurrent with, approval of the first tract map or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
8. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the City of Murrieta Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
  9. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the Specific Plan. If it is determined that said proposal is determined to be consistent with the Specific Plan EIR, there is the potential that no additional environmental documentation may be required. The CEQA review shall be prepared as part of the review process for these implementing projects.
  10. Lots created pursuant to any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
  11. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and pedestrian).
  12. If necessary, roadways, infrastructure, and facilities may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance, and management.
  13. Final development densities for each planning area shall be determined through the appropriate development application up to the maximum dwelling units identified in the Specific Plan, based upon, but not limited to, the following:
    - a) Adequate availability of services;
    - b) Adequate access and circulation;
    - c) Innovation in building types and design;
    - d) Sensitivity to landforms;
    - e) Sensitivity to neighborhood design through lot and street layouts; and,
    - f) The density range permitted by the designation.

Anything over or under the range will require a Specific Plan Amendment.

14. Designation, dedication, and/or payment of fees for parkland/open space will be based on the final number of dwelling units and corresponding population generated by each pertinent tract within the Specific Plan (as adopted by the City of Murrieta City Council, unless otherwise amended) and will satisfy both City and State requirements for parkland. The acreage is set forth on Figure II-8, *Open Space and Recreation Plan*, Table II-2, *Open Space and Recreation Land Use Summary*, and Table II-3, *Quimby Act Required Parkland*.

15. Prior to the issuance of building permits, improvement and irrigation plans for adjacent common areas shall be submitted for Planning Department approval. Irrigation plans shall be certified by a landscape architect.
16. Landscaping within the community shall conform to Section IV, *Design Guidelines*, of this Specific Plan and be drought-tolerant, water-efficient, and conform to the regulations set forth in City's Water-Efficient Landscaping Requirements.
17. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
  - Circulation for pedestrians, vehicles, trash trucks, fire trucks and police patrols.
  - Lighting of streets and walkways.
  - Visibility of doors and windows from the street and between buildings, where practical.
  - Fencing heights and materials which are the developer's responsibility.
18. The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:
  - Addresses which light automatically at night.
  - Special lighting requirements or kiosk signage for any buildings that are grouped in such a way that individual addresses are difficult to read.
  - Front doors into residences that front toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel, where practical.
19. Development within the community shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.
20. Construction of certain public facilities and infrastructure requirements (such as water lines, roadways, etc.), as well as payment of County fees, may be financed through an assessment district (AD) or a community facilities district (CFD).
21. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of the City's Subdivision and Fire Code Standards Ordinances, subject to approval by the City Fire Department.

## B. Circulation Plan

### 1. Vehicular Circulation Plan

#### a. Description

A roadway concept has been developed for the Specific Plan, as illustrated on Figure II-1, *Vehicular Circulation Plan*. The primary objective of the Circulation Plan is to meet the vehicular travel needs of the Specific Plan by providing direct and convenient access to individual planning areas through a safe and efficient network of roadways.

The Specific Plan will take its primary access off of Winchester Avenue (184' right-of-way). Street "A" is the Project entry from Winchester Road and allows access into PA6; it will have a 66' right-of-way (ROW). Street "B" is adjacent to PA's 4 and 5 and provides access into the residential portion of the site; it will have a 66' ROW.

All other Circulation Plan streets will provide circulation throughout the Specific Plan, into the various Planning Areas, via a network of on-site Private Streets. These Streets are anticipated to have a 28' ROW. The majority of streets within the residential area are 40' wide with parking on one side and a 4' pedestrian sidewalk.

Additional streets, classified as local private streets, will be contained within the Specific Plan, and will be determined at tentative map phase of development.

There will also be a 28' right-of-way emergency access street on the west side of the Project.

The vehicular circulation plan includes several roadway sizes and classifications as described below, illustrated in Figure II-2a, *Roadway Cross-Sections*, and Figure II-2b, *Roadway Cross-Sections*.

- **Project Roadways:** The following roadways will be entirely funded and constructed to their full right-of-way by the Master Developer.
  - **Winchester Road – 6-Lane Expressway (184' ROW):** Winchester Road creates the Project's eastern boundary and is designated as a 6-Lane Expressway with a maximum public ROW of one hundred eighty four feet (184'). This Expressway provides east/west access between Interstate 15 and Interstate 215. The Project will construct Winchester Road along the entire Project frontage to its ultimate half-section (including landscaping and parkway improvements) in conjunction with development. This corresponds to County Road Standard 83 as depicted in County Ordinance No. 461.
  - **Street "A" (66' ROW):** Street "A" provides entry into the Project from Winchester Road and allows access into PA6. Street "A" has a maximum public ROW of sixty-six feet (66'), with forty-four feet (44') of pavement, and an eleven foot (11') wide parkway on both sides of the street. It is anticipated that a six foot (6') curb adjacent sidewalk will be located within the 11' parkway.
  - **Street "B" (66' ROW):** Street "B" is the continuation of Street "A" and runs adjacent to PA's 4 and 5 providing access into the residential portion of the site. Street "B" will have a maximum public ROW of sixty-six feet (66'), with forty-four feet (44') of

pavement, and an eleven foot (11') wide parkway on both sides of the street. It is anticipated that a six foot (6') curb adjacent sidewalk will be located within the 11' parkway on the west side of the street.

- **On-Site Private Streets:** These streets are located within the individual planning areas, but are not part of the circulation network as depicted on Figure II-1, *Vehicular Circulation Map*. There will be three (3) variations of design of these streets:
  - With sidewalk – parking on one side 40' ROW (Streets "C, D, F, H, I, J, K, and L")
  - With sidewalk – no parking 32' ROW (Streets "H, D, M, and P")
  - Without sidewalk – no parking 28' ROW (Streets "E and G")

All sidewalks shall be four and a half feet (4') wide and curb adjacent.

- **Cul-de-sacs:** Cul-de-sacs, as designed within the Project, will have a maximum twenty-eight foot (28') ROW and a radius of thirty-five feet (35'), and will provide five (5) parking spaces.
- **Improved Off-site Roadways:** The Master Developer will contribute to the construction of the following roadways through the Transportation Uniform Mitigation Fee (TUMF), Community Facility District (CFD) financing and Development Impact Fee (DIF) programs.

### **b. Vehicular Circulation Development Standards**

1. The Specific Plan Circulation Plan provides a traffic design that meets the needs of the community. Roadway improvements, depicted on Figure II-1, *Vehicular Circulation Plan*, will be constructed in accordance with the conceptual phasing plan depicted in Figure II-10, *Conceptual Phasing Plan*.
2. Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, *Design Guidelines*.
3. All roads within the Specific Plan boundary shall be constructed to appropriate City full- or half-width standards, and subject to approval by the City Engineer.
4. The Specific Plan shall comply with the conditions and requirements set forth by the City Engineer.
5. All typical sections shall be per the Specific Plan, or as approved by the Engineering Department.
6. All intersection spacing and/or access openings shall be as approved by the Engineering Department.
7. No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Engineering Department standard access spacing, depending upon the street's classification.

8. Circulation facilities will be maintained by the City of Murrieta, or by a private maintenance organization.
9. Any landscaping within public road rights-of-way will require approval by the Engineering Department and the Planning Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism.
10. No tract entry monuments or identification signs shall be permitted in the public right-of-way.
11. Transit support facilities (including bus turnouts, signage, benches, shelters, etc.) shall be along arterial streets and local transit service routes, as required by the Riverside Transit Agency (RTA).



### 2. **Non-Vehicular Circulation Plan Description**

#### a. **Description**

As illustrated on Figure II-3, *Non-Vehicular Circulation Plan*, a comprehensive sidewalk system is planned within the Specific Plan and connects all residential neighborhoods to the recreational areas, the business park areas, and Winchester Road.

Sidewalks are provided along roadways and connect to recreational areas as well as business park planning areas. Sidewalks range from four feet (4') to six feet (6') in width and, with the exception of the Winchester Road streetscene, are generally curb adjacent throughout the Specific Plan. Sidewalks consist of hard surface trail material or concrete surfaces for pedestrian use. Bicycle riding will be permitted on the local streets.

#### b. **Non-Vehicular Circulation Development Standards**

1. All sidewalks shall be developed pursuant to Figure II-3, *Non-Vehicular Circulation Plan*.

**C. Drainage Plan****1. Description**

The Specific Plan has been designed to conform to current City drainage requirements and design standards. The Specific Plan site will be graded to generally drain easterly and northerly via a proposed storm drain system. The storm-drain system then will be routed through a series of storm drain pipes and basins to clean and mitigate the flow volumes of the nuisance and storm water flows. These treated flows will be routed through a mitigation basin located in the conservation area to enhance the wetlands. Any outflow moving beyond the mitigation basin will continue into the Warm Springs Channel. The Warm Springs channel will continue to carry the flows westerly and northerly to the Murrieta Creek.

Refer to Figure II-4, *Master Drainage Plan*, for general info on the proposed drainage facilities, and the Project drainage report for detail and design calculations.

**2. Drainage Development Standards**

1. All drainage facilities will be designed and constructed in accordance with City of Murrieta standards and specifications.
2. Murrieta Public Works Department will review the design of drainage facilities in conjunction with their review of the sewer and water facilities to ensure that there are no design conflicts between the proposed utilities.
3. The capital cost of all on-site facilities will be the responsibility of the applicant. Such facilities will be dedicated to City of Murrieta, RCA, a homeowners association or property owners association (if private system), or City Service Area for maintenance and operations.
4. All areas within the Specific Plan area will be required to prepare a Water Quality Management Plan (WQMP) and a Storm Water Pollutant Prevention Plan (SWPPP) in accordance with the requirements of the National Pollutant Discharge Elimination System (NPDES) standards. Any industrial developments will require an additional SWPPP to operate.
5. All projects proposing construction activities including: clearing, grading, excavation that results in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but not be limited to: on-site detention; water quality basins; covered storage of all outside facilities; vegetated swales; monitoring programs; etc.

**D. Master Water Plan****1. Description****a. Potable Water**

The Specific Plan will tie into a separate, existing 16" and 48" water lines within Winchester Road, extended off-site and southerly of the Specific Plan boundary. An 8" looped water line will be installed within PA1, PA2 and PA3. A 12" looped water line will be installed across the western boundary of PA4 and within Street "B" to service PA4, PA5 and PA6. Refer to Figure II-5, *Potable Water Plan*.

**b. Reclaimed Water**

There is an existing 24" reclaimed water line within Winchester Road. A 6" reclaimed water line will be installed in Street "A" and Street "B" to provide reclaimed irrigation water to the fuel modifications areas, recreation areas and Street "A" and "B" parkways. Refer to Figure II-6, *Reclaimed Water Plan*. The Specific Plan proposes that common landscaped areas are to be irrigated with reclaimed water.

**2. Water Development Standards**

1. All water facilities will be designed and constructed in accordance with Eastern Municipal Water District (EMWD) standards and specifications.
2. Potable and recycled water facilities constructed to serve the community will be dedicated to EMWD for ownership, maintenance and operation.
3. The capital costs for the onsite facilities to serve the community will be the responsibility of the developer. Onsite facilities will be built with the construction phases of the planning areas.
4. Public water facilities will be located to meet EMWD and City of Murrieta's standards.
5. Water facilities will conform to Riverside County Health Department and the State of California Department of Public Health Standards.

**E. Master Sewer Plan****1. Description**

Infrastructure and other public facilities will be sufficiently sized to accommodate the needs of the Specific Plan. An 8" sewer line will be constructed within the project development areas to serve the residential and business park uses. A 6" force main will be installed along the western and southern boundaries of PA4 and will connect to an existing "sewer line manhole" in the Winchester and Auld Roads intersection. Refer to Figure II-7, *Master Sewer Plan*.

**2. Sewer Development Standards**

1. All sewer facilities will be designed and constructed in accordance Murrieta Community Services Department (MCSD) standards and specifications.
2. Facilities constructed to serve the community will be dedicated to EMWD for ownership, maintenance and operation.
3. The capital costs for both onsite and offsite facilities to serve the community will be the responsibility of the developer.
4. Sewer facilities will be located to meet EMWD standards.
5. Sewer facilities will conform to the State of California Department of Public Health and the local Utility Purveyor's standards.

**F. Open Space and Recreation Plan**

**1. Description**

As shown in Figure II-8, *Open Space and Recreation Plan*, the Specific Plan provides for a variety of private recreational opportunities that connect the community both physically and thematically. As summarized in Table II-2, *Open Space and Recreation Land Use Summary*, a total of 66.42 acres are dedicated to open space and recreational uses. Of this acreage, 64.8 acres will be 100% conserved as permanent open space. There are 1.62 acres of private, HOA maintained recreation uses available to project residents. In addition there will be over 4.4 acres of total private recreational open space comprising the backyards of the individual homes.

**Table II-2  
Open Space and Recreation Land Use Summary**

Planning Area	Land Use	Acreage
PA 7	Open Space – Conservation	64.8
PA 3	Open Space – Recreation (Private)	1.62
<b>TOTAL</b>		<b>66.42</b>

The City requires 5.0 acres of developed parkland per every 1,000 residents to satisfy Quimby Act requirements. The Specific Plan provides for 287 dwelling units and will therefore result in a population of approximately 864 residents. Therefore, according to the Quimby Act requirements, the Specific Plan shall provide 4.32 acres of parkland or pay in-lieu fees as depicted below in Table II-3, *Quimby Act Required Parkland*.

**Table II-3  
Quimby Act Required Parkland**

Type	DUs	Average House Size	Population	Assessment Factor (acre/resident)	Required Quimby Acres
Single-Family Units	287	3.0	864	5/1,000	4.32
<b>Totals:</b>	<b>287</b>		<b>864</b>		<b>4.32</b>

Credits toward fulfilling City Park requirements were determined in accordance with the specifications as stipulated in the City's General Plan.

The following is the formula use to determine the recreational facilities generated by a Project residential population of 864 residents, at 5 acres per 1,000 residents:

$$287 \text{ units} \times 3.0 \text{ persons/house} = 864 \text{ residents}$$

$$(864/1000) \times 5 = 4.32 \text{ acres}$$

A total of approximately 1.62 acres of active, private and HOA maintained common park area will be implemented in conjunction with the Project. The City allows fifty percent (50%) credit for private park facilities. Therefore, the Specific Plan will provide 0.81 acres towards the Quimby requirement. Approximately 3.51 acres will need to be met through the payment of in-lieu fees.

Detailed elements and acreage of the specific open space and recreation amenities provided within the Specific Plan are described below:

A complete description of the facilities proposed for the Open Space Recreation Area is included within Section IV, *Design Guidelines*.

### a. Open Space – Conservation

Planning Area 7 (PA7), as shown on Figure III-7, *Planning Area 7*, is approximately 64.8 acres and is designated Open Space (OS). PA7 shall remain undisturbed and undeveloped. Aside from mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing, natural condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land.

### b. Private Recreation Areas

Two (2) private recreation areas shall be provided for the Specific Plan residents, within PA3, as depicted on Figure IV-27, *PA3 Private Recreation Area 1 Conceptual Plan* and Figure IV-28, *PA3 Private Recreation Area 2 Conceptual Plan*. These private recreation areas shall include at a minimum: shaded seating areas, a swimming pool and spa, tot lots, play structures, turf areas (irrigated using reclaimed water), and pathways.

## 2. **Open Space and Recreation Development Standards**

1. Where appropriate, conservation easements will be required during the Tentative Map process to preserve natural drainages.
2. Developer may pay fees pursuant to the Quimby Act, as adopted by the City of Murrieta Subdivision Ordinance. In lieu of paying fees, developer can obtain credit for providing land and/or improvements for recreational facilities.
3. All primary recreation facilities within PA3 shall be constructed by the Master Developer or the responsible public agency. All funding shall be the responsibility of the developer, unless other arrangements have been made between the City and the developer.
4. All on-site recreation amenities shall be maintained by the appropriate entity, as identified in Table II-5, *Maintenance Plan Summary*.
5. All recreational facilities within the community shall be drought-tolerant, water-efficient, and conform to the regulations set forth in the City's Subdivision Ordinance. Where possible, reclaimed water shall be used to irrigate landscaped areas.
6. Landscaping within recreation and open space areas will be further governed by Section IV, *Design Guidelines* of the Specific Plan.
7. All tot lots shall include architectural or mechanical shade structures that will shade all play equipment for the majority of the day.

**G. Grading Plan****1. Description**

The Specific Plan area is located less than one mile west of the Hogbacks, an area of rocky hills with an elevation of approximately 1,700 feet above mean sea level (amsl). Elevation in the Project site ranges from approximately 1,300 to 1,365 feet amsl. The higher elevations within the Specific Plan contain rocky outcrops and the lower elevations consist of stream/riparian corridors.

The proposed grading plan attempts to match the terrain of the property while at the same time providing roads that meet City standards. The proposed Project elevations will range from between 1,304 and 1,342 feet above mean sea level (amsl). Proposed street slopes will vary between 0.5% and 4.5%.

As designed, it is estimated that the site will have approximately 300,000± cubic yards of cut and 300,000 ± cubic yards of fill, resulting in a balanced site. The Project will be constructed per the recommendation of the geotechnical engineer. At time of final design great care will be given to design of cut and fill slopes and areas where utilities may be located.

Refer to Figure II-9, *Conceptual Grading Plan* for detail on the proposed grading plan.

**2. Grading Development Standards**

Grading activities shall conform to City of Murrieta Standards and shall meet the requirements of the California Building Code, the City's General Plan, and all other laws, rules and regulations governing grading in the City of Murrieta.

1. Prior to any development within any area of the Specific Plan, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include preliminary pad and roadway elevations.
2. All grading-related mitigation measures outlined in the Project EIR shall be implemented in accordance with City ordinances or regulations in place at the time of the site development.
3. Unless otherwise approved by City of Murrieta, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot.
4. A grading permit shall be obtained from City of Murrieta, prior to grading.
5. Soil stabilizers should be used to control dust as required by SCAQMD, Rule 403.
6. Erosion control practices shall be implemented during grading activities.
7. If required, the grading contractor shall obtain an encroachment permit from the City of Murrieta, CALTRANS or Riverside County Flood Control and Water Conservation District (RCFC&WCD) prior to entering any right-of-ways, which belong to the City, CALTRANS, or RCFC&WCD.

8. All National Pollutant Discharge Elimination System (NPDES) stormwater and water quality regulations in place at the time of site development shall be implemented.
9. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least one acre of total land area, or activity which is part of a larger common plan of development of one acre or greater shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within specific plan boundaries shall be subject to future requirements adopted by the County/City to implement the NPDES program.



**H. Community Phasing****1. Description**

The Specific Plan has been designed for development in 3 phases over an approximate 5-year period beginning in 2016 in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure as depicted in Figure II-10, *Conceptual Phasing Plan*.

Below is a description of the land uses and facilities proposed for construction under each phase. A statistical summary of the community's phasing plan is provided in Table II-4, *Community Phasing Plan*.

*Phase 1*

Phase 1 will consist of PA7, *Open Space*. PA7 shall remain undisturbed and undeveloped. Aside from temporary impacts, mitigation and restoration activities approved by the Western Riverside County Regional Conservation Authority (RCA), this part of the Project site will remain in its existing condition, be dedicated as open space, and serve as Multi Species Habitat Conservation Plan (MSHCP) conservation land.

PA7 will be separated from Planning Areas 1, 5, and 6 by landscaping that will provide a buffer area.

*Phase 2*

Phase 2 will consist of the residential development within Planning Areas 1, 2 and 3. Full-width street improvements will be made to Street "A" and Street "B". In addition in-tract residential streets will be constructed in development phases to serve the lots constructed in this Phase. Water and sewer infrastructure will be constructed to serve the business park and homes. Storm drain improvements will also be provided to ensure that Water Quality Management Plan standards are met.

*Phase 3*

Phase 3 will consist of business park development of Planning Areas 4, 5 and 6. Half-width street improvements will be made to Winchester Road or funding/bonding for said improvements will be provided. In addition driveways will be constructed to serve the business park uses constructed in this Phase.

**Table II-4  
Community Phasing Plan**

Land Use	Planning Area	Target Acres	Target Dwelling Units
<b>Phase 1</b>			
Open Space - shall remain undisturbed and undeveloped	7	64.8	n/a
<b>Phase 2</b>			
Single Family Residential - residential development, full-width street improvements will be made to Street "A" and Street "B", local streets will be constructed in development phases to serve the lots constructed in this Phase	1, 2, 3	36.2	287
<b>Phase 3</b>			
Business Park - business park development, half-width street improvements will be made to Winchester Road, driveways will be constructed to serve the business park uses constructed in this Phase	4, 5, 6	16.4	n/a
<b>Phase Total</b>			

### 2. Community Phasing Development Standards

1. Prior to the recordation of any final subdivision map, final improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the City Planning Department for approval. The improvement plans shall include:
  - Final Grading Plans
  - Final Drainage Plans
  - Irrigation Plans (certified by a landscape architect)
  - Fence Treatment Plans
  - Special Treatment/Buffer Area Treatment Plans
  - Walls and Fencing Plan
  - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
2. Development of each phase shall include development of internal common open space areas, trails and applicable infrastructure.
3. Construction of the development, including recordation of final subdivision maps, may be done progressively in stages, provided vehicular access, facilities, and infrastructure are constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
4. The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development.

I. Maintenance Plan

Successful operation of maintenance districts and associations are important to maintain quality within the Specific Plan. It is anticipated that the City of Murrieta will assume maintenance responsibilities for public roadways and parkways. Other common community facilities may be divided among a residential homeowners' association, a business park property owners' association, and/or similar maintenance mechanisms. The open space conservation will be maintained by the Western Riverside County Regional Conservation Authority (RCA). Refer to Figure II-11, *Maintenance Plan*. Table II-5, *Maintenance Plan Summary*, summarizes maintenance responsibilities.

**Table II-5  
Maintenance Plan Summary**

Facility	Construction	Ownership	Maintenance
<b>Improved Landscape Areas and Amenities</b>			
Public Roads	D	MCS D	MCS D
Private Local Roads	D	HOA	HOA
Open Space Conservation Area (PA7)	N/A	RCA	RCA
Residential Recreation Areas	D	HOA	HOA
<b>Street and Other Improvements</b>			
Public Streets and Sidewalks	D	MCS D	MCS D
Private Streets and Sidewalks	D	HOA	HOA
Project Monumentation	D	POA/HOA	POA/HOA
Community Walls	D	POA/HOA	POA/HOA
Full View Fencing	D	POA/HOA	POA/HOA
Street Lighting	D	MCS D/POA/ HOA	MCS D/POA/ HOA
Mailbox Structures	D	USPS/HOA	USPS/HOA

D- Developer; HOA – Homeowners' Association; MCS D – City of Murrieta Community Services Department; POA – Property Owners' Association; RCA - Western Riverside County Regional Conservation Authority; USPS – United States Postal Service

**J. Energy Efficiency**

This section serves to highlight elements in the site planning, design and construction phases of the Specific Plan that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer. The following practices will ensure compliance with building code requirements and issuances of the necessary permits; however, implementation will substantially contribute to the reduction in environmental impacts associated with air quality, hydrology, water quality, hazards, and utilities.

The following have been selected based on their ease of applicability and implementation during the design and construction phases, their marketability and/or desirability potential to the home buyer, and their cost incentive factor to both the builder and homeowner. It is required that the future developers provide more than just minimum adherence to the standards listed below. Future developers can select from the list shown below or provide alternative energy efficiencies to the satisfaction of the Planning Department.

The design recommendations have been categorized according to the following goals: 1) Maximize Energy Efficiency; 2) Maximize Water Quality and Conservation; and 3) Minimize Landfill Waste.

**Goal #1: Maximize Energy Efficiency***During Planning and Construction:*

1. Solar heat gain can be better controlled. The east and west sides of the home absorb the majority of solar radiation that is transferred into the home. Therefore, an east-west oriented home would minimize the surface area directly exposed to the sun. The use of mechanical systems would be reduced and result in an overall decrease in energy consumption. Based on plotting, the longest walls of the house should face north and south, to have the shorter walls exposed to the sun. If allowed by the structure orientation, ensure that the roof area of each home has a minimum of 400 sq. ft. within 20-degrees of South to allow for future installation of solar panels by the homeowner.
2. Shading of windows and entrance locations with a combination of structural elements and landscape materials will reduce heat gain and lower the temperature around the house. Interior shading devices like curtains, blinds, shutters are less effective in this capacity. The overall result is a decrease in energy consumption from the decreased use of mechanical cooling systems. Where practical, windows and entrance locations, primarily on the south and west sides, should be protected and shaded by exterior treatments such as porches, awnings, deep-set windows, trellises and/or trees between May and September.
3. East/West facing windows receive the majority of light and heat and are difficult to shade. East windows are more favorable in that they allow morning sun. West windows receive radiation from hotter afternoon sun increasing heat transfer into the home. By limiting the total area of glass on the east and west sides of the home, solar heat gain can be controlled, thereby, reducing use of mechanical cooling systems and energy consumption.

4. Careful window placement can ensure maximum cross ventilation and the expulsion of hot air from the home. Solar heat gain can be passively controlled, thereby, reducing use of mechanical systems that consume power. The result is an overall decrease in energy consumption. Locate windows primarily on the north and south sides of the house. Low windows should be placed on the windward side (toward the direction from which the wind blows) and high windows should be placed on the leeward side (away from the direction from which the wind blows). If possible, windows should be high-performance low-e and operable for passive cooling.
5. Windows with a National Fenestration Rating Council (NFRC) have ratings that measure the insulating properties of the window. The NFRC U-value measures the rate of heat flow through a window. The lower U-value indicates lower heat loss in winter or heat gain in summer. The Solar Heat Gain Coefficient (SHGC) measures the amount of solar heat that a window allows to pass. A lower SHGC is desirable in order to reduce heat gain.
6. Two windows in each room allow for maximum ventilation and provide for sufficient natural lighting to reduce the need for mechanical cooling and artificial lighting. Overall, energy consumption could be reduced.
7. Increased use of outdoor areas would minimize use of indoor areas. By creating an outdoor space that incorporates cooling elements such as water features and vegetation, the outside temperature is cooled making outdoor living more enjoyable. The north side of the house is the least impacted by solar radiation and most favorable site for outdoor environments. It also reduces solar heat gain of the house, thereby reducing reliance on mechanical cooling systems. Incorporate protected and desirable outdoor areas on the north side of each home, with electrical outlets to encourage outdoor use.
8. Infrequently used spaces can act as buffer areas to control solar heat gain of the house, thereby, reducing reliance on mechanical cooling systems. Garages, storage areas and detached rooms should be located on the west side of the house, where practical. If these are to be attached to the house, locate them at the west end of the house.
9. Strategically placed vents allow for efficient passive cooling of the house. Cool area vents allow for entry of cool air and thermal mass vents expel hot air in south side of home. Overall, solar heat gain is controlled and reliance on mechanical cooling systems is reduced. Where practical, install vents directly above thermal mass areas on the south side of house in two-story homes and install vents in cooler areas of house.

*During Selection of Home Features and Appliances:*

1. Built-in task lighting reduces reliance on general purpose lighting, ultimately lowering electrical consumption. Consider the use of task lighting in heavily used rooms such as the kitchen, bathroom and offices or other work areas.
2. Ceiling fans draw up and expel hot air. Consider installing strategically placed ceiling fans in all major rooms with reversible, multi-speed feature.

3. Light colors reduce thermal migration, maximize control of solar heat gain and ultimately reduce utility costs. Where practical, use light colored paint on interior walls with a Light Reflectance Value (LRV) of minimum 40%.
4. A passive clothes-drying system option encourages alternative methods for clothes drying, reducing the use of the dryer which heats the home and consumes energy. Consider installing a passive clothes-drying system in the home's laundry area, or offer a passive system as a homebuyer option.
5. Thermal mass is any mass used to collect and hold heat including adobe, brick, concrete, tile, water, earth, rock, vegetation, etc. Where practical, strategically locate and incorporate the use of thermal mass inside the house including but not limited to: tile flooring near windows, glass entries along the south side of the home.
6. Where practical, use energy-efficient appliances and programmed thermostats to reduce the amount of consumed energy and reduce utility bills.
7. Use of passive solar energy minimizes the consumption of electricity. Additional energy conservation features, provided as homebuyer options, shall include these features, based on the most recent technologies and market availability. Some of these options may include, but not limited to:
  - Photovoltaic (PV) panels for electrical power needs of home.
  - Photovoltaic landscape lighting, gate openers, water features.
  - Solar water heating system.
8. Use of passive solar energy minimizes the consumption of electricity. If a pool or spa is provided in common recreation areas, consider the option of a solar assisted heating/cooling system for the pool and spa.

### **Goal #2: Maximize Water Quality and Conservation**

#### Design Considerations:

1. If a pool is provided in a common recreation area, install a pool filtration with zero water backwash system to reduce and possibly eliminate the need to drain the pool.
2. Install the following in-home features to reduce water usage:
  - Low-flow toilets.
  - Horizontal access washing machines.
  - Low-flow showerhead and faucet aerators.

### **Goal #3: Minimize Landfill Waste**

1. Install built-in recycling bins, preferably two or more 5 gallon bins, in or near kitchen to reduce waste deposited to landfills.

**I. Land Use Regulations/Zoning Standards**

**A. Land Use Regulations**

The following Tables depict the permitted and conditionally permitted uses that are allowed in the Specific Plan. Permitted uses are shown as a "P," conditionally permitted uses are shown as a "C." There are no land use regulations for PA7, since it will remain as permanent open space.

**1. Residential**

<b>Table V-1, Land Use Regulations PA1, PA2 &amp; PA3 – Single-Family Residential</b>				
<b>Symbol</b>	<b>Applicable Process</b>			<b>See Chapter</b>
P	Permitted Land Use - Compliance with development standards and zoning clearance required			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Land use not permitted			
<b>Land Use <sup>(1)(2)</sup></b>	<b>PA1</b>	<b>PA2</b>	<b>PA3</b>	<b>See Standards in Section</b>
<b>Agriculture, Open Space and Resources</b>				
Open Space	P	P	P	
<b>Communication Facilities</b>				
Satellite Dishes/Antennas	P	P	P	16.44.170A
<b>Education, Public Assembly and Recreation</b>				
Churches, places of worship	C	C	C	
Residential Recreational Facilities, Private	P	P	P	
<b>Residential</b>				
Assisted Living/Skilled Nursing	C	C	C	
Child Day Care - Up to 8 children <sup>(5)</sup>	P	P	P	16.44.050
Child Day Care - 8 to 14	P	P	P	16.44.050
Child Day Care - More than 15 children	C	C	C	16.44.050
Home Occupations	P	P	P	16.60.030
Model Homes/Sales Office	P	P	P	
Residential Accessory Uses and Structures	P	P	P	16.44.150



Land Use <sup>(1)(2)</sup>	PA1	PA2	PA3	See Standards in Section
Residential Care Homes - up to 6 Clients	P	P	P	
Residential Care Homes - 7+ Clients	C	C	C	
Single-family Homes	P	P	P	
<b>Notes:</b> (1) See Section 16.04.020 regarding uses not listed. (2) See Article VI for definitions of the land uses listed. (3) Zoning clearance not required.				
See City Murrieta Development Code for all code references.				

2. Business Park

Table V-2, Land Use Regulations PA4, PA5 & PA6 – Business Park				
Symbol	Applicable Process			See Chapter
P	Permitted Use - Compliance with development standards and zoning clearance required <sup>(3)</sup>			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Use not allowed			
Land Use <sup>(1)(2)(3)(4)(5)(6)(7)(8)</sup>	PA4	PA5	PA6	See Standards in Section
<b>Agriculture, Open Space and Resources</b>				
Plant Nurseries	P	P	P	
Open Space			P	
<b>Communication Facilities</b>				
Broadcast Recording Studio	P	P	P	
Satellite Dishes/Antennas	P	P	P	16.44.170A
Wireless Communication Facilities 51 feet or more in height		C		16.44.170B
<b>Education, Public Assembly and Recreation</b>				
Adult Entertainment		C	C	16.44.020
Auditoriums, Meeting Halls and Conference Facilities		P	C	
Bingo	C	C	C	

<b>BUSINESS PARK</b>				
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Churches, Places of Worship	C	C	C	
Cyber Cafe	P	P	P	
Indoor Amusement Centers, Game Arcades, and Pool/Billiard Rooms		P	P	
Indoor Firing Ranges	P	P	P	
Interpretative Centers			C	
Health and Fitness Centers	P	P	P	
Nightclubs		C	C	16.44.030
Outdoor Recreation, Commercial		C	C	
Personal Instruction	P	P	P	See Definition
Schools, Specialized Education and Training	P	P	P	See Definition
Studios, Professional	P	P	P	See Definition
<b>Manufacturing and Processing</b>				
Beverage Production	C	P	P	
Bio Medical Manufacturing	C	P	P	
Cabinet Shop Chemical Products	C	P	P	
Chemical Products	C	P	P	
Clothing Products	P	P	P	
Electrical and Electronic Equipment and Instruments	P	P	P	
Food Products	P	P	P	
Furniture and Fixture Manufacturing	C	P	P	
Glass Products	C	P	P	
Handicraft Industries and Small Scale Manufacturing	P	P	P	
Laundries and Dry Cleaning Plants	P	P	P	
Leather Products	P	P	P	
Lumber and Wood Products	C	P	P	
Machine/Welding Shops	C	P	P	
Machinery Manufacturing	C	P	P	
Metal Products Fabrication	C	P	P	

Land Use <sup>(1)(2)(3)(4)(5)(6)(7)(8)</sup>	BUSINESS PARK			See Standards in Section
	PA4	PA5	PA6	
Motor Vehicle and Transportation Equipment	C	P	P	
Paper Products	P	P	P	
Paving Materials		P	P	
Petroleum Distribution and Storage		P	P	
Pharmaceutical Manufacturing	P	P	P	
Plastics and Rubber Products	P	P	P	
Printing and Publishing	P	P	P	
Recycling Facilities, Composting		C	C	
Recycling Facilities, Small Collection Facility		C	C	16.44.140
Recycling Facilities, Large Collection Facility		C	C	16.44.140
Recycling Facilities, Processing Facility		C	C	16.44.140
Recycling Facilities, Reverse Vending Machines	P	P		16.44.140
Research and Development	P	P	P	
Stone/Cut Stone Products	P	P	P	
Structural Clay and Pottery Products	P	P	P	
Textile Products	P	P	P	
Warehousing and Distribution Facilities	C	P	P	
Wholesale and Distribution	C	P	P	
<b>Retail Trade</b>				
Appliance Sales	P	P	P	
Art, Antiques, Collectibles and Gifts	P	P	P	
Auto, Mobile Home and Vehicle Sales (new/used)		C	C	
Auto (Motor Vehicle) Parts Sales		P	P	
Bars		C	C	16.44.030
Building Materials Stores	P	P	P	
Convenience Stores, with no Alcoholic Beverages	P	P	C	16.44.030

<b>BUSINESS PARK</b>				
<b>Land Use<sup>(1)(2)(3)(4)(5)(6)(7)(8)</sup></b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Eating and Drinking Establishments (including Drive-Through)	C	P	C	16.44.030
Fuel and Ice Dealers		P	P	
Furniture and Furnishings	P	P	P	
Liquor Stores		P	P	16.44.030
<b>Services</b>				
Bank and Financial Services	P	P	P	
Business Support Services	P	P	P	
Car (Motor Vehicle) Wash	C	P	P	
Day Care Centers	C	C	C	16.44.050
Contractor's Storage Yard (Primary Use)		C	C	
Equipment Rental	P	P	P	
Hotels	P	P	C	16.44.090
Laundry and Dry Cleaning	P	P	P	
Kennels and Boarding Facilities	P	P	P	16.44.040.E.2
Medical Services - Offices, Clinics and Laboratories	P	P	P	16.44.110
Mortuaries, Crematoriums, Funeral Parlors and Cemeteries	P	P	P	
Offices	P	P	P	16.44.110
Personal Services	P	P	P	See Definition
Public Safety and Utility Facilities	P	P	P	
Repair and Maintenance, Consumer Products	P	P	P	
Repair and Maintenance, Motor Vehicles	C	P	P	
Research and Development	P	P	P	
Service Stations, Full Service (with Minor Repair)		P	C	
Service Stations, Self Service		P	C	
Storage Facilities	P	P	P	
Veterinarian Clinics and Animal Hospitals	P	P	P	See Definition

<b>BUSINESS PARK</b>				
<b>Land Use</b> <sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>	<b>See Standards in Section</b>
Veterinarian Clinics and Animal Hospitals (with overnight and/or outdoor kennel)	P	P	P	16.44.040.E.2
<b>Transportation</b>				
Parking Facilities	P	P	P	
Transit Stations and Terminals		P	C	
Vehicle and Freight Terminals	P	P	P	
Vehicle Storage Facility	P	P	P	
<p>(1) See Section 16.04.020 regarding uses not listed.</p> <p>(2) See Article VI for definitions of the land uses listed.</p> <p>(3) A development plan permit may also be required. See Chapter 16.56.</p> <p>(4) Outdoor storage of materials in conjunction with an on-site primary use requires approval of a conditional use permit in compliance with Chapter 16.52.</p> <p>(5) Storage of hazardous materials in excess of threshold established by the uniform building code requires approval of a minor conditional use permit (16.52) and compliance with Section 16.18.070 (Hazardous Materials Storage).</p> <p>(6) Conversion or reuse of an existing residential structure may be allowed with approval of a conditional use permit. See Section 16.32.030(B)(3).</p> <p>(7) This use specifically excludes rental to persons not employed as a caretaker or security for the site on which the use is located. See Section 16.11.020.</p> <p>(8) All uses shall demonstrate adequate parking in accordance with Chapter 16.34 - Off-Street Parking and Loading Standards.</p> <p>See City Murrieta Development Code for all code references.</p>				

**B. Zoning Standards**

PAs1 through PA6 shall comply with the development standards set forth in the following Tables. There are no zoning standards for PA7, since it will remain as permanent open space.

**1. Residential**

**a. Planning Area 1**

<b>Table V-3, Zoning Standards PA1 – Single-Family Residential</b>	
<b>Development Standards</b>	
Designation/ Use	Single-Family Detached: Traditional 48x79
Planning Area	1
<b>Lot Dimensions</b>	
Minimum Lot Width	48
Minimum Frontage on cul-de-sac	30
<b>Setbacks</b>	
Minimum Front Yard – to main structure	10
Minimum Corner Side Yard	10
Minimum Interior Side Yard	5
Minimum Rear Yard	10
Garage Setbacks	18
Side-in Garage Setbacks	10
<b>Other</b>	
Maximum Structural Height	30
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

**b. Planning Area 2**

<b>Table V-4, Zoning Standards PA2 – Single-Family Residential</b>	
<b>Development Standards</b>	
Designation/ Use	Single-Family Detached: Traditional 46x69
Planning Area	2
<b>Lot Dimensions</b>	
Minimum Lot Width	46
Minimum Frontage on cul-de-sac	n/a
<b>Setbacks</b>	
Minimum Front Yard – to main structure	5
Minimum Corner Side Yard	10
Minimum Interior Side Yard	5
Minimum Rear Yard	10
Garage Setbacks	5
Side-in Garage Setbacks	n/a
<b>Other</b>	
Maximum Structural Height	30
Encroachments (fireplaces, AC units, media centers)	24"
Off Street Parking Requirements per DU	2

**c. Planning Area 3**

<b>Table V-5, Zoning Standards PA3 – Single-Family Residential</b>	
<b>Development Standards</b>	
Designation/ Use	Single-Family Detached: Traditional 40x69
Planning Area	3
<b>Lot Dimensions</b>	
Minimum Lot Width	40
Minimum Frontage on cul-de-sac	n/a
<b>Setbacks</b>	
Minimum Front Yard – to main structure	5
Minimum Corner Side Yard	8
Minimum Interior Side Yard	4
Minimum Rear Yard	10
Garage Setbacks	5
Side-in Garage Setbacks	n/a
<b>Other</b>	
Maximum Structural Height	30
Encroachments (fireplaces, AC units, media centers)	n/a
Off Street Parking Requirements per DU	2

2. Business Park

<b>Table V-6, Zoning Standards PA4, PA5 &amp; PA6 – Business Park</b>			
<b>Development Feature</b>	<b>PA4</b>	<b>PA5</b>	<b>PA6</b>
Minimum Parcel Size	10,000 square feet	10,000 square feet	10,000 square feet
Minimum Parcel Width	75 feet (minimum average)	75 feet (minimum average)	75 feet (minimum average)
<b>Setbacks Required</b>			
Street	25 feet		
Interior	10 feet		
Interior (adjacent to residential zoned properties)	20 feet minimum or equal to the building height		
Interior (adjacent to a freeway)	25 feet minimum		
Accessory Structures	Same as main structure		
From Residential Areas	75 feet	N/A	N/A
Maximum Height Limit	50 feet		
Minimum On-site Landscaping <sup>(1)</sup>	15 percent		
<sup>(1)</sup> See Chapter 16.28 of the Murrieta Development Code, Landscaping Standards and Water Efficient Landscaping			



**EXCERPTS FROM CITY OF MURRIETA ZONING ORDINANCE**

**TABLE 16.12-1  
USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS**

<b>Key to Permit Requirements</b>				
<b>Symbol</b>	<b>Applicable Process</b>			<b>See Chapter</b>
P	Permitted Use - Compliance with development standards and zoning clearance required <sup>(3)</sup>			16.74
C	Conditional Use - Conditional use permit required			16.52
"Blank"	Use not allowed			
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>BP</b>	<b>GI</b>	<b>GI-A</b>	<b>See Standards in Section</b>
<b>Agriculture, Open Space and Resources</b>				
Animal Keeping			P	
Crop Production, Commercial			P	

<b>TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS</b>				
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>BP</b>	<b>GI</b>	<b>GI-A</b>	<b>See Standards in Section</b>
<b>Agriculture, Open Space and Resources (Cont'd)</b>				
Equestrian Facilities, Commercial			P	
Mining Operations		C		
Nature Preserves			P	
Plant Nurseries	P	P	P	
Open Space			P	
<b>Communication Facilities</b>				
Broadcast Recording Studio	P	P	P	
Satellite Dishes/Antennas	P	P	P	16.44.170A
Wireless Communication Facilities 51 feet or more in height	C	C	C	16.44.170B
<b>Education, Public Assembly and Recreation</b>				
Adult Entertainment	C	C		16.44.020
Auditoriums, Meeting Halls and Conference Facilities	C		C	
Bingo	C	C	C	
Gaming Clubs				Chapter 9.15
Churches, Places of Worship	C	C	C	
Cyber Cafe	C			
Golf Courses			C	
Indoor Amusement Centers, Game Arcades, and Pool/Billiard Rooms	C	C	C	
Indoor Firing Ranges	C	C		
Interpretative Centers			C	
Health and Fitness Centers	C	C		
Libraries and Museums				
Nightclubs	C			16.44.030
Outdoor Recreation, Commercial	C	C	C	

<b>TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS</b>				
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>BP</b>	<b>GI</b>	<b>GI-A</b>	<b>See Standards in Section</b>
<b>Education, Public Assembly and Recreation (Cont'd)</b>				
Personal Instruction	P	P	P	See Definition
Schools, Specialized Education and Training	C	C	C	See Definition
Studios, Professional	P	P	P	See Definition
<b>Manufacturing and Processing</b>				
Beverage Production	P	P		
Bio Medical Manufacturing	P	P	C	
Cabinet Shop Chemical Products	P	P	C	
Chemical Products	P	P		
Clothing Products	P	P	C	
Concrete, Gypsum and Plaster Products		C		
Electrical and Electronic Equipment and Instruments	P	P	C	
Food Products	P	P		
Furniture and Fixture Manufacturing	P	P	C	
Glass Products	P	P	C	
Handicraft Industries and Small Scale Manufacturing	P	P	P	
Laundries and Dry Cleaning Plants	P	P		
Leather Products	P	P	C	
Lumber and Wood Products	P	P	C	
Machine/Welding Shops	P	P	C	
Machinery Manufacturing	P	P		
Metal Products Fabrication	P	P	C	
Motor Vehicle and Transportation Equipment	P	P	C	
Paper Products	P	P	P	
Paving Materials	P	C		

<b>TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS</b>				
Land Use <sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup>	BP	GI	GI-A	See Standards in Section
<b>Manufacturing and Processing (Cont'd)</b>				
Petroleum Distribution and Storage	P	C		
Pharmaceutical Manufacturing	P	P	C	
Plastics and Rubber Products	P	P	C	
Printing and Publishing	P	P	P	
Recycling Facilities, Composting		C	C	
Recycling Facilities, Small Collection Facility	C	P		16.44.140
Recycling Facilities, Large Collection Facility	C	P		16.44.140
Recycling Facilities, Processing Facility	C	C		16.44.140
Recycling Facilities, Reverse Vending Machines	P	P		16.44.140
Recycling Facilities, Scrap and Dismantling Yards		C		
Research and Development	P	P	C	
Sewage Treatment Plants		C	P	
Stone/Cut Stone Products	P	P	P	
Structural Clay and Pottery Products	P	P	P	
Textile Products	P	P		
Warehousing and Distribution Facilities	P	P		
Wholesale and Distribution	P	P		
<b>Residential</b>				
Caretaker/Employee Housing	C	C	C	
<b>Retail Trade</b>				
Appliance Sales	P			
Art, Antiques, Collectibles and Gifts	P			
Auto, Mobile Home and Vehicle Sales (new/used)	C	C		
Auto (Motor Vehicle) Parts Sales	P	P		

<b>TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS</b>				
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>BP</b>	<b>GI</b>	<b>GI-A</b>	<b>See Standards in Section</b>
<b>Retail Trade (Cont'd)</b>				
Bars	C			16.44.030
Building Materials Stores	P	P		
Convenience Stores, with no Alcoholic Beverages	P	P		16.44.030
Eating and Drinking Establishments (including Drive-Through)	P	P	P	16.44.030
Fuel and Ice Dealers	C	C	C	
Furniture and Furnishings	P			
Liquor Stores	C			16.44.030
<b>Services</b>				
Bank and Financial Services	P			
Business Support Services	P	P		
Car (Motor Vehicle) Wash	P			
Day Care Centers	C	C	C	16.44.050
Contractor's Storage Yard (Primary Use)	C	C	C	
Equipment Rental	C	P		
Hotels	P			16.44.090
Laundry and Dry Cleaning	P			
Kennels and Boarding Facilities	C	P	C	16.44.040.E.2
Medical Services - Offices, Clinics and Laboratories	P			16.44.110
Mortuaries, Crematoriums, Funeral Parlors and Cemeteries	C	C	C	
Offices	P	P	P	16.44.110
Personal Services	P	P		See Definition
Public Safety and Utility Facilities	P	P	P	
Repair and Maintenance, Consumer Products	P	P	P	
Repair and Maintenance, Motor Vehicles	P	P		

<b>TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS</b>				
<b>Land Use<sup>(1) (2) (3) (4) (5) (6) (7) (8)</sup></b>	<b>BP</b>	<b>GI</b>	<b>GI-A</b>	<b>See Standards in Section</b>
<b>Services (Cont'd)</b>				
Research and Development	P	P		
Service Stations, Full Service (with Minor Repair)	P	P		
Service Stations, Self Service	P	P		
Storage Facilities	C	C	C	
Veterinarian Clinics and Animal Hospitals	P	P	P	See Definition
Veterinarian Clinics and Animal Hospitals (with overnight and/or outdoor kennel)	C	C	C	16.44.040.E.2
<b>Transportation</b>				
Parking Facilities	P	P		
Transit Stations and Terminals	P	P		
Vehicle and Freight Terminals	C	P		
Vehicle Storage Facility	C	P		
<sup>(1)</sup> See Section 16.04.020 regarding uses not listed. <sup>(2)</sup> See Article VI for definitions of the land uses listed. <sup>(3)</sup> A development plan permit may also be required. See Chapter 16.56. <sup>(4)</sup> Outdoor storage of materials in conjunction with an on-site primary use requires approval of a conditional use permit in compliance with Chapter 16.52. <sup>(5)</sup> Storage of hazardous materials in excess of threshold established by the uniform building code requires approval of a minor conditional use permit (16.52) and compliance with Section 16.18.070 (Hazardous Materials Storage). <sup>(6)</sup> Conversion or reuse of an existing residential structure may be allowed with approval of a conditional use permit. See Section 16.32.030(B)(3). <sup>(7)</sup> This use specifically excludes rental to persons not employed as a caretaker or security for the site on which the use is located. See Section 16.11.020. <sup>(8)</sup> All uses shall demonstrate adequate parking in accordance with Chapter 16.34 - Off-Street Parking and Loading Standards.				

(Ord. 492-14 Exhibit 7, 2014; Ord. 482-13 § 2, 2013; Ord. 480-13 § 6, 2013; Ord. 427-09 § 3, 2009; Ord. 388 § 2, 2007; Ord. 385 § 2 (part), 2007; Ord. 369 § 3, 2006; Ord. 367 §§ 4 (part), 6, 2006; Ord. 366, §§ 2, 3, 2006; Ord. 333, § 4, 2005; Ord. 337 §§ 5, 6, 2005; Ord. 310 § 8, 2004; Ord. 253 § 2 (part), 2002; Ord. 215 § 2 (part), 2000; Ord. 182 § 2 (part) 1997)

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., also may be viewed by prescheduled appointment on Friday, July 31, from 8:00 a.m. to 5:00 p.m., and on Friday, August 7, from 9:00 a.m. to 5:30 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: August 13, 2015

TIME OF HEARING: 9:00 A.M.

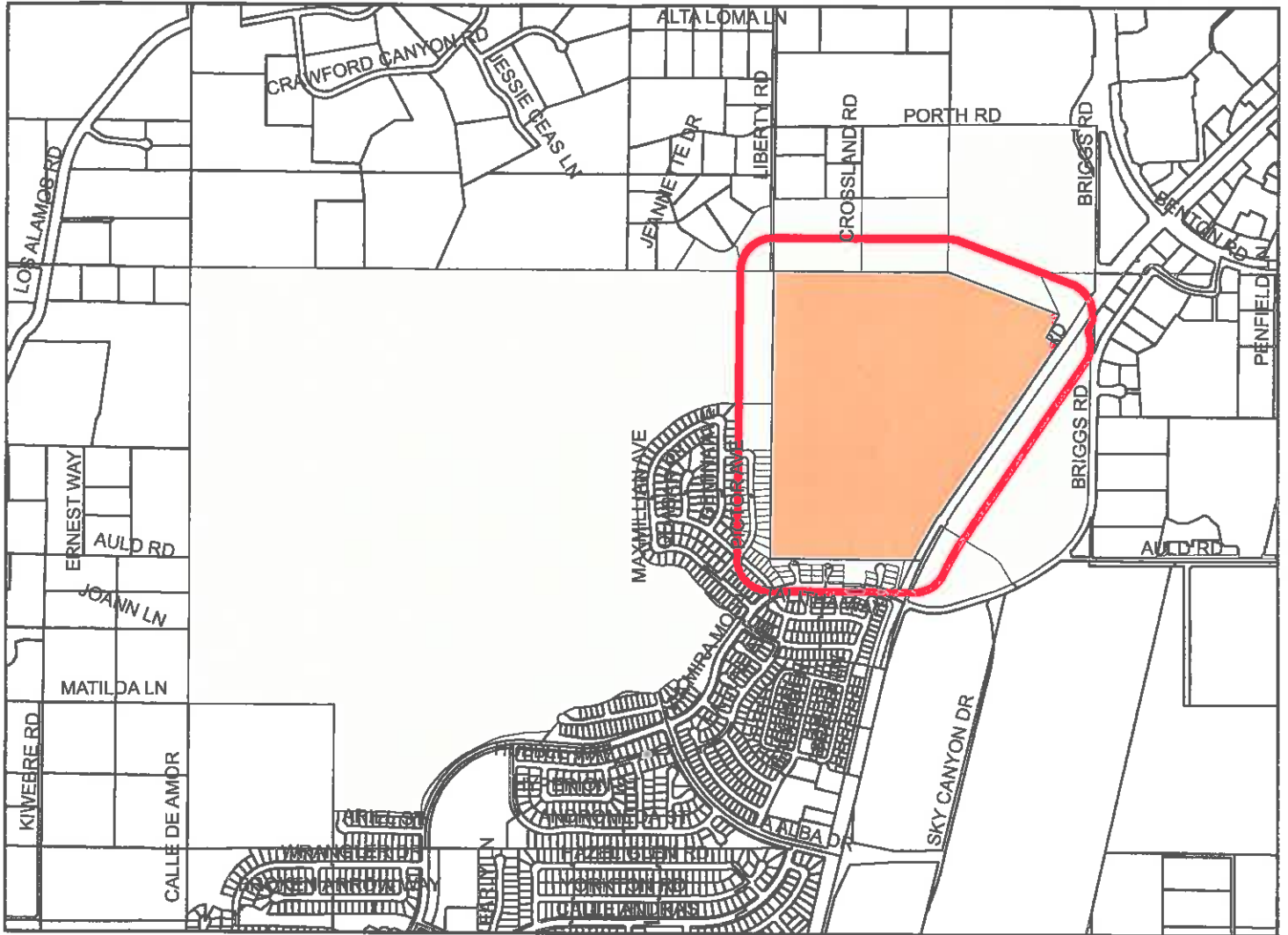
### CASE DESCRIPTION:

ZAP1064FV15 – Murrieta KLC Holdings 130, LLC – (Representative: Larry Markham/MDMG, Inc.) – City of Murrieta Case Nos.: General Plan Amendment (GPA) 2014-290; Zone Change (ZC) 2014-289; Specific Plan (SP) 2015-615; Development Plan (DP) 2015-616; Tentative Tract Map 36779/TTM 2015-518; Tentative Parcel Map 36733/TPM 2014-410. The applicant proposes to develop a 287-unit planned residential development within 36.77 acres of a 122.31-acre parcel (to wit, Assessor's Parcel No. 963-070-051) located westerly of Winchester Road, northerly of its intersection with Auld Road/Via Mira Mosa and southerly of its intersection with Benton Road, and easterly of a straight-line southerly extension of Liberty Road, in the City of Murrieta. Tentative Parcel Map No. 36733 is a proposal to divide the entire 122.31-acre parcel into four parcels, plus two lettered lots and a remainder. Pursuant to Zone Change ZC 2014-289, Parcel 1 (36.51 acres) would be zoned SFR-2, Parcels 2-4 along Winchester Road (16.61 acres) would be zoned Business Park, and the remainder parcel (64.82 acres) would be zoned Parks/Open Space. GPA 2014-290 would amend the site's land use designation from Large Lot Residential and Business Park to Parks/Open Space, Single Family Residential, and Business Park. Specific Plan No. 2015-615 ("Adobe Springs") proposes development of 287 detached single-family residences on small lots within a 36.2-acre area, 16.4 acres of Business Park uses, and 64.8 acres of open space for conservation. (Airport Compatibility Zones B2, C, and D of the French Valley Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Daniel Rockholt of the City of Murrieta Planning Department, at (951) 461-6065.



**APN: 963-070-051 (300 feet buffer)**



**Selected Parcels**

900-504-006	900-475-011	963-030-006	900-503-006	900-503-002	900-010-024	963-070-033	963-060-076	963-070-051	900-492-004
900-474-008	900-483-005	900-070-004	900-070-005	900-471-019	900-475-019	900-475-020	900-481-025	900-483-010	900-483-011
900-490-032	963-070-049	900-475-008	900-504-008	900-492-002	900-475-007	900-503-003	900-474-009	900-474-010	900-475-006
900-483-009	900-483-006	900-481-013	900-503-004	900-490-003	900-471-004	900-490-006	900-504-005	900-483-003	900-483-002
900-474-014	900-503-007	900-503-005	900-504-003	900-475-001	900-475-004	900-474-012	900-475-018	900-475-005	900-490-004
900-475-016	900-474-011	900-475-013	900-504-007	900-490-005	900-492-001	900-471-005	900-483-007	900-504-001	900-475-003
900-504-002	900-503-001	900-475-012	900-475-002	900-483-008	900-490-007	900-475-009	900-490-001	900-475-010	900-481-020
900-504-004	900-475-015	900-475-014	900-503-008	900-481-021	900-475-017	900-492-003	900-490-002	900-492-005	900-474-013



1,500 750 0 1,500 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAPI064FV15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application \_\_\_\_\_  
 Property Owner Murrieta KLC Holdings 130, LLC Phone Number 760 715-0064  
 Mailing Address c/o Scott Myers  
888 Prospect, Suite 330  
La Jolla, CA 92307

Agent (if any) Larry Markham Phone Number 909 322-8482  
 Mailing Address MDMG, Inc.  
41635 Enterprise Circle North, Suite B  
Temecula, CA 92590

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address N.W. of Auld Rd & Hwy 79 / Winchester Rd.  
Murrieta, CA  
 Assessor's Parcel No. 963-070-051 Parcel Size 36.77  
 Subdivision Name Murrieta 122 (Adobe Springs) Zoning Classification SF-1 / BP  
 Lot Number \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Existing land use, SFR/SF-2  
Native with dry farming

Proposed Land Use (describe) TTM 36779 is a single lot tract map for condominium purposes. By separate document (DP), the TTM will be separated into 287 single family dwelling, exclusive use area which range from 2,740 SF minimum to 3,174 SF minimum. Along with residential housing, amenities such as recreation and view areas will be proposed within the project.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 287

For Other Land Uses Hours of Use \_\_\_\_\_

(See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 35 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1332 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	Type of Project
Agency Name <u>City of Murrieta</u>	<input type="checkbox"/> General Plan Amendment
Staff Contact <u>Chris Carnes</u>	<input type="checkbox"/> Zoning Amendment or Variance
Phone Number	<input type="checkbox"/> Subdivision Approval
Agency's Project No. <u>GPA, SP 5-15, C2, (TM) 2015-605</u>	<input type="checkbox"/> Use Permit
	<input type="checkbox"/> Public Facility
	<input type="checkbox"/> Other

PM-  
EIR-

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

ALUC REVIEW

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review—See Below



MARKHAM DEVELOPMENT MANAGEMENT GROUP, INC.

**LETTER OF TRANSMITTAL**

TO: County of Riverside  
ALUC  
12<sup>th</sup> Floor  
Attn: John Guerin

DATE: June 25, 2015

CLIENT /No.: 1492.1 McGowan

SUBJECT: Murrieta 122  
APN 963-070-001, 034  
ALUC Submittal

VIA:

- Messenger
- Express
- Fax
- Pickup
- Mail
- Other

THE FOLLOWING:

- Originals
- Copies
- Report
- Specifications
- Plans
- Other

FOR YOUR:

- Approval
- Use
- Distribution
- Review & Comment
- Information
- Record

DESCRIPTION / COMMENTS:

*Transmitted herewith for your review and approval:*

- 1 – ALUC application
- 1 – Project Development Plan, folded 8.5 x 14
- 1 – Set full size TTM 36779, folded
- 1 – Full size PM 36733
- 1 – Set Elevation of buildings – folded
- 1 – Set of each of above reduced to 8.5x11
- 1 – Table of Lots noting elevations and distance from airport
- 1 – Exhibit showing relationship to airport
- 4 – Sets gummed address labels of Owner, referring agency and ALUC
- 1 – set Property owner labels (Noticing radius 300')
- 1 – Check #1210 \$11,739 for fees; CZ, SP, GPA DPR, PM, EIR& TR
- 1 – CD Specific Plan

Thanks,

**Kim Moring**

41635 Enterprise Circle North, Suite B

Temecula, CA 92590-5614

(951) 296-3466 ext. 219

Fax (951) 296-3476

kjm@markhamdmg.com



Received by:

\_\_\_\_\_

Sign

\_\_\_\_\_

Print

\_\_\_\_\_

Date

## Guerin, John

---

**From:** Kim Moring <kjm@markhamdmg.com>  
**Sent:** Wednesday, July 01, 2015 8:48 AM  
**To:** Guerin, John; bsantos@rctlma.org  
**Cc:** Larry R. Markham; Scott Myers (scott@mckellarmcgowan.com)  
**Subject:** 1492.1 McGowan - Murrieta 122 - Adobe Springs

Good morning John and Barbara,

Here are for case numbers associated with this project:

APN 963-070-051 – Adobe Springs

GPA 2014-29

ZC 2014-289

EA 2014-29

Parcel Map # 36733      TPM 2014-410

Tentative Tract # 36779 TTM2015-518

DP 2015-616

SP 2015-615

ALUC ZAP1064FV15

Thank you for your time and patience. Have a great day.

Kim Moring  
MDMG  
41635 Enterprise Circle N., Suite B  
Temecula, CA 92590  
951-296-3466 ext. 219  
[kjm@markhamdmg.com](mailto:kjm@markhamdmg.com)

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

- 5.1 Director's Approvals. As authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, during the month of July, ALUC Director Ed Cooper reviewed six non-legislative cases (five in the March Air Reserve Base/Inland Port Airport Influence Area [March AIA] and one in both the Perris Valley Airport Influence Area and the March AIA) and issued determinations of consistency.

ZAP1124MA15 (Zone E, March AIA) pertains to a Plot Plan application with the City of Moreno Valley proposing development of a 185,761 square foot Wal-Mart and 2,000 square foot fast food restaurant/convenience store building on 22.28 acres located at the southwest corner of Perris Boulevard and Gentian Avenue. The project also includes a Tentative Parcel Map to subdivide the 22.28-acre site into two numbered and four lettered lots and a Conditional Use Permit for either a gas station with convenience store or fast food restaurant, which were also reviewed pursuant to ZAP1124MA15. The site is approximately 10,400 feet from the nearest point of the primary runway at March Air Reserve Base/Inland Port Airport, with said point being approximately 1,511.5 feet in (interpolated) elevation above mean sea level (AMSL). At this distance, FAA Obstruction Evaluation review would be required for structures exceeding a top point elevation of 1,615.5 feet AMSL. The maximum pad elevation is 1,554 feet AMSL. The proposed buildings have a maximum height of approximately 36 feet for a potential maximum elevation at top point of 1,554 feet AMSL. Therefore, FAA review for height/elevation reasons was not required.

ZAP1125MA15 (Zone E, March AIA) pertains to a Design Review application with the City of Riverside proposing development of a 7,192 square foot medical office building on 0.75 acres (two parcels) located on the northerly side of University Avenue, westerly of Dwight Avenue and easterly of Douglass Avenue. The site elevation is more than 500 feet lower than the runway elevation at March Air Reserve Base/Inland Port Airport, and the site is located more than 20,000 feet from the runways at Riverside Municipal Airport and more than 10,000 feet from the runway at Flabob Airport. Therefore, FAA review for height/elevation reasons was not required.

ZAP1128MA15 (Zone E, March AIA) pertains to a Site Plan/Plot Plan application with the City of Menifee proposing development of a 17,185 square foot Rite-Aid drug store and a 3,000 square foot fast food restaurant (each with a drive-through) on a 2.39-acre portion of a 10.34-acre site located at the southwest corner of Newport Road and Menifee Road. The site elevation is lower than the low point runway elevation at March Air Reserve Base, and the top point of the proposed structure will also be lower than the runway elevation. Therefore, FAA review for height/elevation reasons was not required.

ZAP1131MA15 (Zone E, March AIA) pertains to a Conditional Use Permit application with the City of Riverside proposing to establish a charter school serving up to 300 kindergarten through eighth grade students within a portion of the existing Seventh-Day Adventist Church building with an address of 5320 Victoria Avenue on .25 acres located on the easterly side of Victoria Avenue, northerly of Central Avenue and westerly of the westerly terminus of Hampshire Road. No additional building height is proposed by the additional use of this facility. Therefore, FAA review for height/elevation reasons was not required.

ZAP1136MA15 (Zone E, March AIA) pertains to a Tentative Tract Map application with the City of Riverside (Tentative Tract Map No. 36703) proposing to subdivide 1.99 acres located northeasterly of Central Avenue, northwesterly of Fairview Avenue, and westerly of Rawlings Place into six single-family residential lots. The site elevation is more than 400 feet lower than the runway elevation at March Air Reserve base/Inland Port Airport, and the site is located more than 20,000 feet from the nearest runway at Riverside Municipal Airport. Therefore, FAA review for height/elevation reasons was not required.

ZAP1007PV15 (Zone E, Perris Valley Airport; also Zone E, March AIA) pertains to a Conditional Use Permit application with the City of Perris to develop a 3,000 square foot commercial building including a drive-thru facility (potentially available for restaurant and/or retail uses) on 0.46 acres located on the southerly side of 4<sup>th</sup> Street, easterly of F Street and westerly of G Street. FAA Obstruction Evaluation review was required in relation to Perris Valley Airport. A Determination of No Hazard to Air Navigation was issued for Aeronautical Study No. 2015-AWP-6822 on July 10, 2015.

Copies of the consistency letters and background documents are attached, for the Commission's information.

## 5.2 Resolution No. 2015-01 Authorizing the ALUC Director to Take Action on Legislative Items in Zone E of the March Air Reserve Base/Inland Port Airport Influence Area.

Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan authorizes the ALUC Director to issue determinations of consistency for proposed actions other than general plans, specific plans, general plan amendments, specific plan amendments, zoning ordinances (including zone changes), airport master plans, and establishment or expansion of an airport or heliport in situations where the Director determines that there are "no apparent compatibility issues of significance." On a generalized basis, except as directed by the Commission in specific situations, the Director has confined such determinations to proposals for development in Airport Compatibility Zones D and E of the airports with plans prepared pursuant to the 2004 Plan provisions, and to development in Area III of the 1984 Riverside County Airport Land Use Plan (when it applied to the March Airport Influence Area) and the Hemet-Ryan Airport Comprehensive Airport Land Use Plan.

More recently, on April 14, 2011, ALUC adopted Resolution No. 2011-02 authorizing the ALUC Director to render consistency determinations for projects submitted by local agencies (cities or the County) pursuant to Public Utilities Code Section 21676 (to wit, the adoption and amendment of General Plans, Specific Plans, zoning ordinances, building regulations, and zone changes) that are not inconsistent and do not have "the possibility to be inconsistent with the land use planning guidelines contained in the applicable ALUCP." Examples of such determinations have included changes to General Plan Circulation Element roadway designations and City ordinances restricting the number of persons to whom rooms could be rented. The ALUC Director has not utilized this authorization to render consistency determinations in situations where an applicant is proposing a change in the General Plan land use designation, Specific Plan land use designation, or zoning classification of a specific property.

In November, 2014, ALUC adopted the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. This Plan included a considerable expansion of the Airport Influence Area (AIA), to the boundaries recommended in the Joint Land Use Study prepared by March Joint Powers Authority pursuant to a Department of Defense grant. Most of the area added to the AIA is located within Compatibility Zone E, pursuant to the new Plan. As a result of this expansion, considerably larger proportions of the land within the affected cities and the unincorporated area are within the AIA, and more of these "legislative items" are subject to ALUC jurisdiction. For example, Items 3.1 through 3.3 on

today's agenda required Commission consideration even though they were not in areas subject to residential density or non-residential intensity restrictions, because the projects involve legislative actions.

In particular, it should be noted that there are a number of projects that, at the time of their initial submittal to Riverside County or one of the affected cities, were not located within the boundaries of the Airport Influence Area and, therefore, did not require ALUC review. As a result of the expansion, however, they are now within the Airport Influence Area and, as such, require ALUC review before they can be scheduled for final approval by the local governing body. This has proved frustrating for project applicants who are being advised of the need for ALUC review late in the process.

Last month staff asked the Commission whether it wished to authorize the ALUC Director to render consistency determinations in situations where an applicant is proposing a change in the General Plan land use designation, Specific Plan land use designation, or zoning classification of a specific property if that property is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area. After discussion, the Commissioners indicated that they would like to study this issue further and recommended that staff proceed to prepare a resolution for consideration at a future meeting. The Commission at that time recommended bringing forth the resolution at its September meeting, but it was subsequently determined that neither the Chairman nor the ALUC Director will be able to attend the September meeting. Hence consideration of the resolution has been scheduled for today's agenda.

**5.3** Specific Delegation of Authority: Change of Zone Case No. 7843. The adoption of the new Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport Influence Area (March ALUCP) last November involved an expansion in the boundaries of the Airport Influence Area in all directions. As a result, a number of projects that at the time of initial submittal to the Planning Department were not included in an Airport Influence Area (AIA) are now included therein. One such project is Tentative Tract Map No. 36639, a proposal to subdivide 74.81 acres located easterly of Washington Street and northerly of Nandina Avenue in the unincorporated community of Woodcrest into 51 lots. The site is zoned R-A-1 (Residential Agricultural, one acre minimum lot size), but the Lake Mathews/Woodcrest Area Plan land use designation of the site is split between Rural Community Foundation Component: Very Low Density Residential (0.5 to 1 dwelling unit per acre) and Rural Foundation Component: Rural Mountainous (1 dwelling unit per 10 acres) designations due to the topographic characteristics of the property (an on-site elevation difference of 264 feet). As a result of the split Foundation Component/land use designation, Planning staff requested that the applicant submit a Change of Zone from R-A-1 to R-A-10 (Residential Agricultural, 10 acre minimum lot size) for the portions of the property within the Rural Mountainous designation and characterized by significant slopes. With the adoption of the March ALUCP and the expanded AIA, this site is now within Airport Compatibility Zone E. While the Tentative Tract could be evaluated as a staff review pursuant to Section 1.5.2(d), the addition of the Change of Zone renders the project legislative and subject to Commission review. If the Commission approves Resolution No. 2015-01, this project can be evaluated by the ALUC Director in accordance therewith. However, should the Commission reject, decline to adopt, or continue Resolution No. 2015-01, staff would respectfully recommend that the Commission delegate authority to the ALUC Director to render a consistency finding for this particular Change of Zone case that reduces potential residential density and brings the zoning of the site into consistency with the existing Area Plan land use designation of the site, which (for this particular site) is consistent with the provisions of the March ALUCP.

**5.4** December 2015 ALUC Meeting Location. At last month's Commission meeting, alternative hearing dates and alternative venues for ALUC's December meeting were discussed. Staff advised that March Joint Powers Authority facilities and the La Quinta City Hall were available on December 10, and the Chairman expressed a preference for not changing the date of the hearing. Commissioner Pettis offered Cathedral City's City Hall as a potential venue. The Commission asked staff to look into the availability of that facility for a December 10 meeting. ALUC Secretary Barbara Santos contacted the City and determined



that the facility was available. If the Commission so chooses, we will proceed to adjust our online Project Submission Schedule to reflect the revised location.

Y:\ALUC\ALUC Administrative Items\Admin. 2015\ADmin Item 08-13-15.doc

**AIRPORT LAND USE COMMISSION  
RIVERSIDE COUNTY**



**CHAIR** July 13, 2015

**Simon Housman**  
Rancho Mirage

**VICE CHAIRMAN**  
**Rod Ballance**  
Riverside

**COMMISSIONERS**

**Arthur Butler**  
Riverside

**Glen Holmes**  
Hemet

**John Lyon**  
Riverside

**Greg Pettis**  
Cathedral City

**Steve Manos**  
Lake Elsinore

**STAFF**

**Director**  
**Ed Cooper**

**John Guerin**  
**Russell Brady**  
**Barbara Santos**

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Mr. Jeff Bradshaw, Associate Planner  
City of Moreno Valley Planning Division  
14177 Frederick Street  
Moreno Valley, CA 92552

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1124MA15  
Related File No.: PA 13-0032 (Plot Plan), PA 13-0033 (Tentative Parcel Map  
36606), PA 13-0034 (Conditional Use Permit)  
APN: 485-220-041

Dear Mr. Bradshaw:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced Plot Plan to develop a 185,761 square foot Walmart and 2,900 square foot fast food/convenience store building on 22.28 acres located at the southwest corner of Perris Boulevard and Gentian Avenue, in the City of Moreno Valley. The project also includes a Tentative Parcel Map to subdivide the 22.28-acre site into 2 numbered lots and 4 lettered lots and a Conditional Use Permit for either a gas station with convenience store or fast food restaurant.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, land use intensity is not restricted.

The elevation of Runway 14-32 at its closest location is approximately 1,511.5 feet above mean sea level (1511.5 feet AMSL). At a distance of approximately 10,400 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1615.5 feet AMSL. The project proposes a maximum pad elevation of 1518 feet AMSL. The proposed buildings have a maximum height of approximately 36 feet for a potential maximum elevation of 1554 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

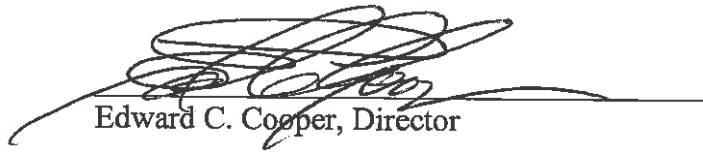
1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the proposed buildings.
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

**AIRPORT LAND USE COMMISSION**

**July 13, 2015**

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB:bks

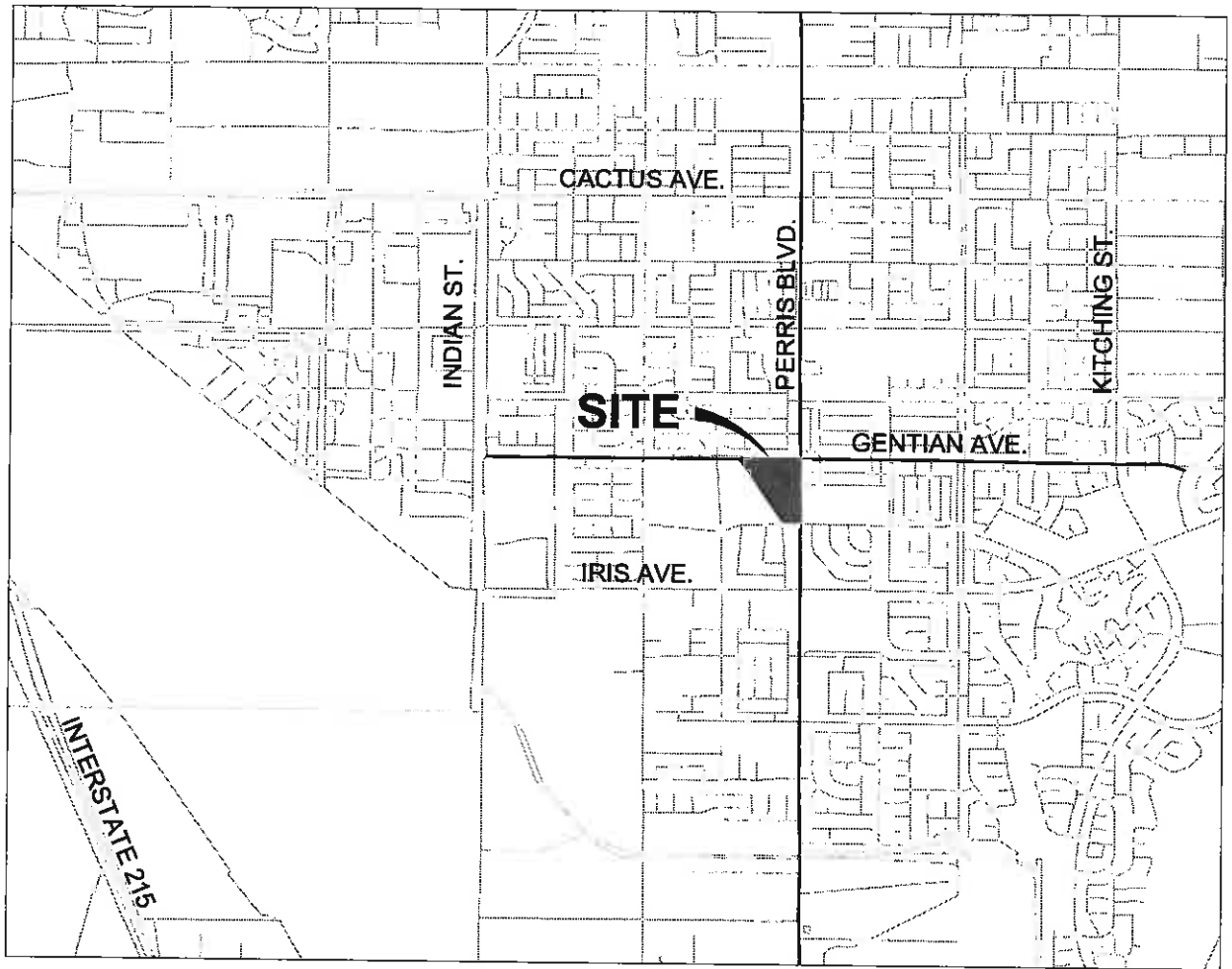
Attachments: Notice of Airport in Vicinity

cc: Jonathan Shardlow, Gresham Savage Nolan & Tilden (payee)  
Kathleen Bonesz, Kimley-Horn & Associates (representative)  
Wal-Mart Real Estate Business Trust (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1124MA15\ZAP1124MA15.LTR.doc

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



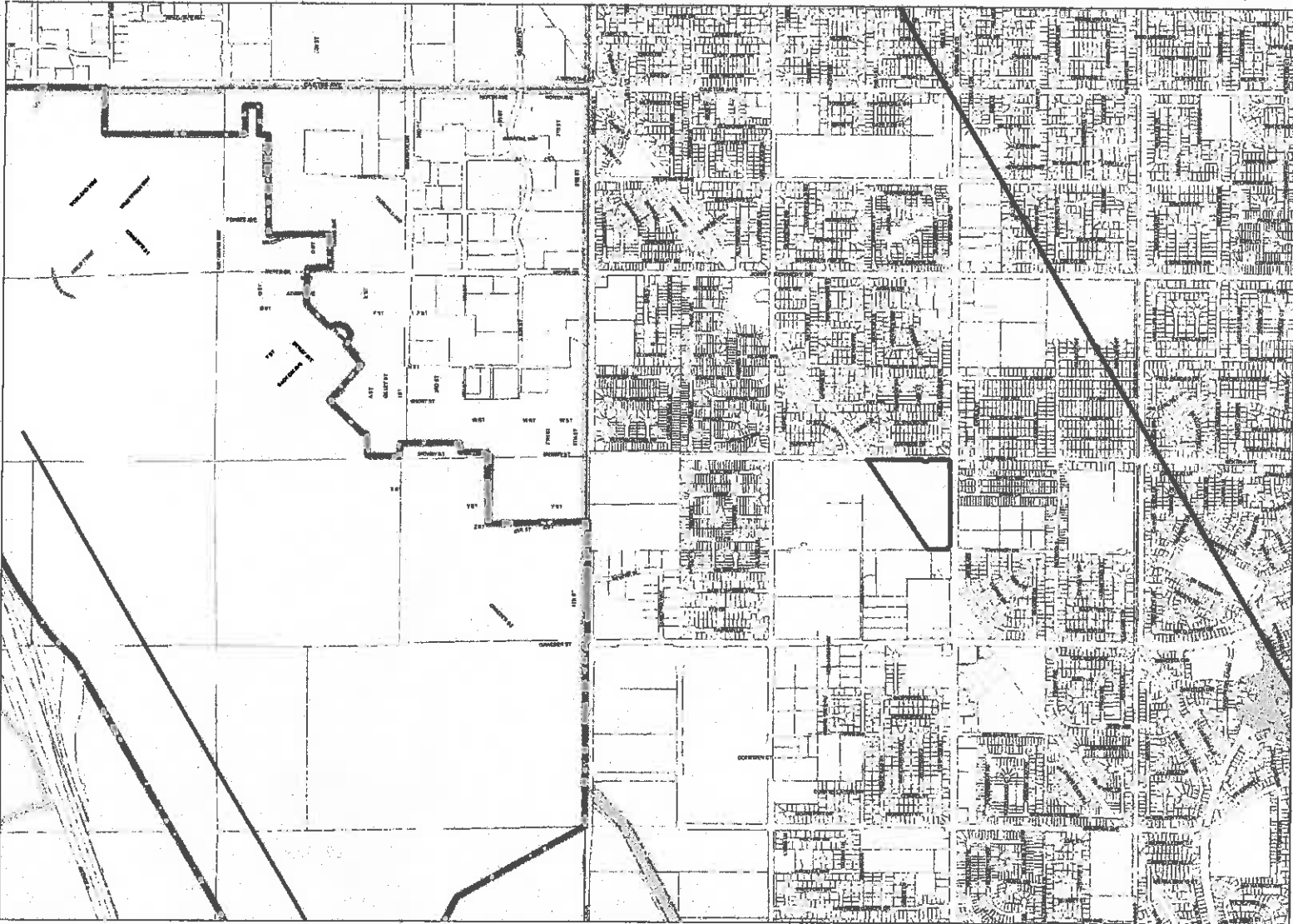
VICINITY MAP

N.T.S.

K:\DEN\_Dwf\Orange Project\0916507003\_Merino Valley\CA00\020713\ML.dwg


**Kimley-Horn  
and Associates, Inc.**  
© 2013 KIMLEY-HORN AND ASSOCIATES, INC.  
 600 South Broadway, Suite 202  
 Denver, Colorado 80202 (303) 733-3300

# My Map



### Legend

- Airports
- AIA
- Runways
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

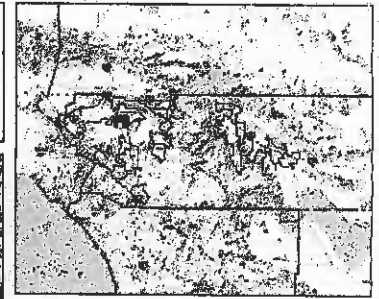
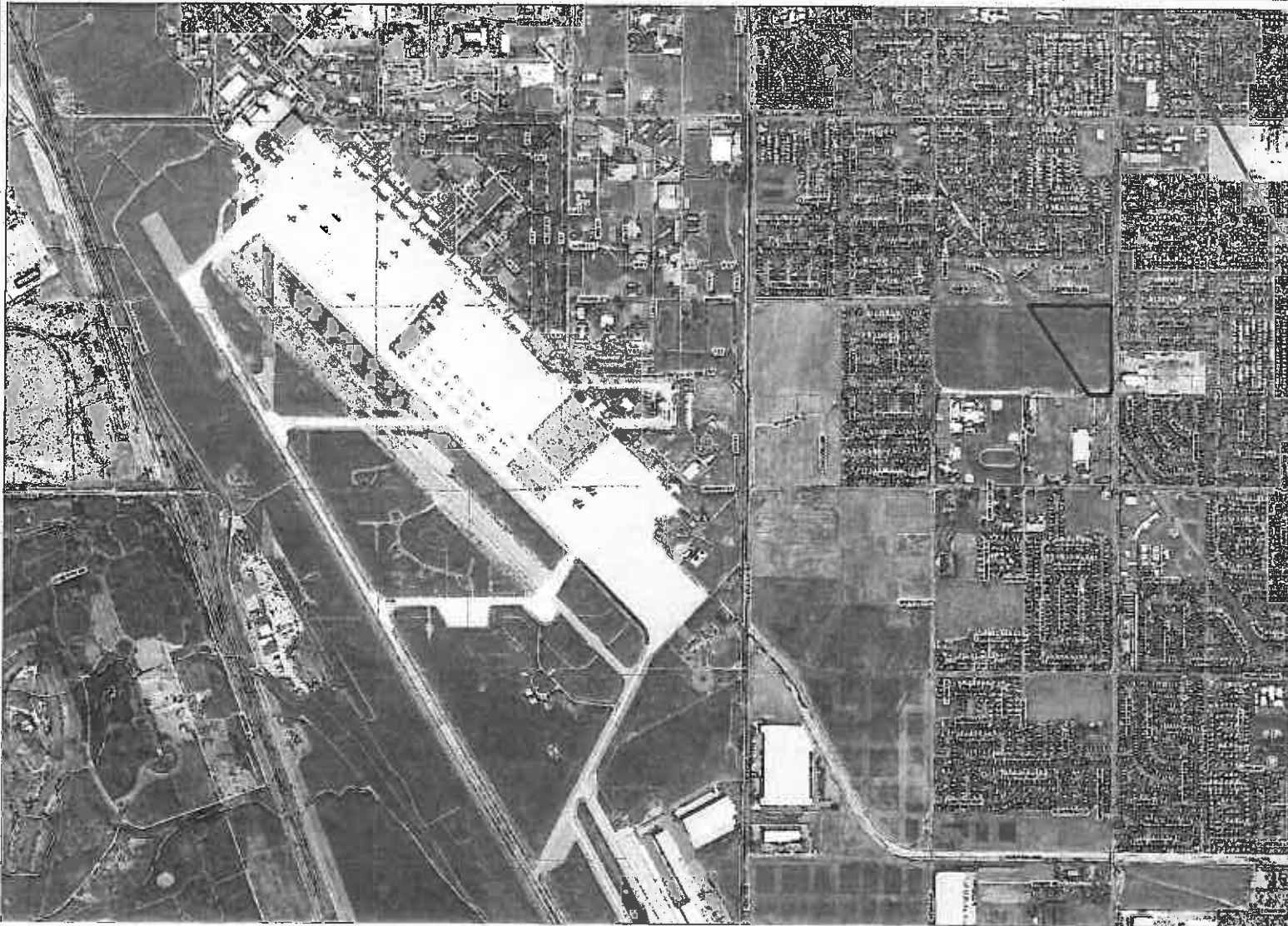


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### Notes

# My Map



## Legend

- AIA
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- roads
  - Major Roads
  - Arterial
  - Collector
  - Residential
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 2,677 5,354 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

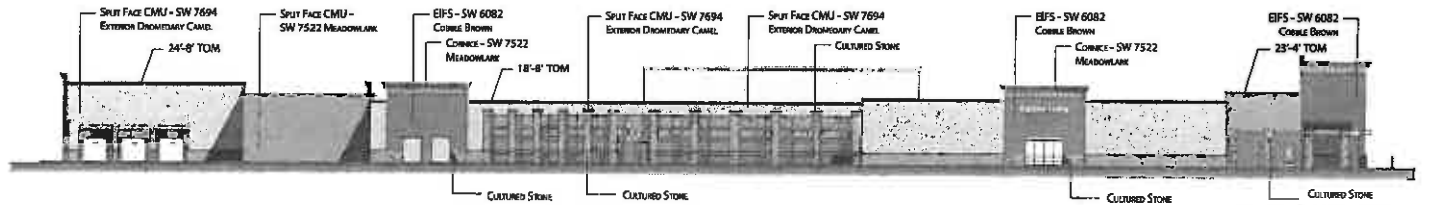
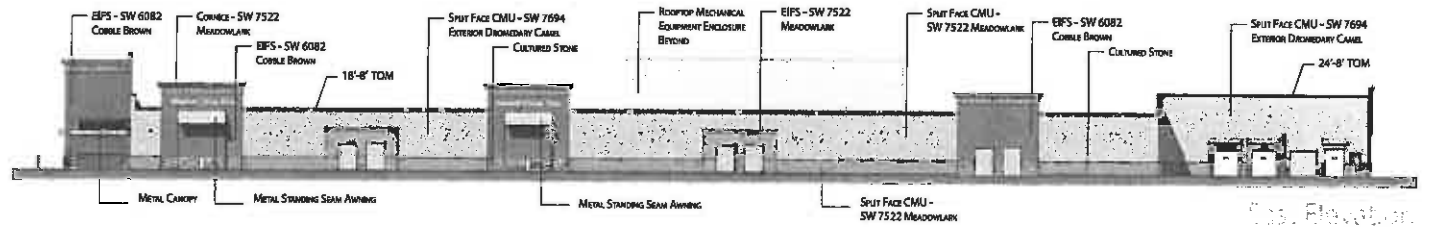
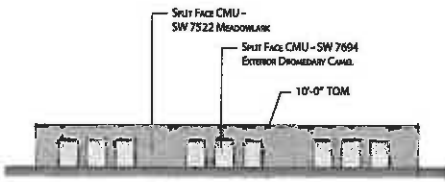
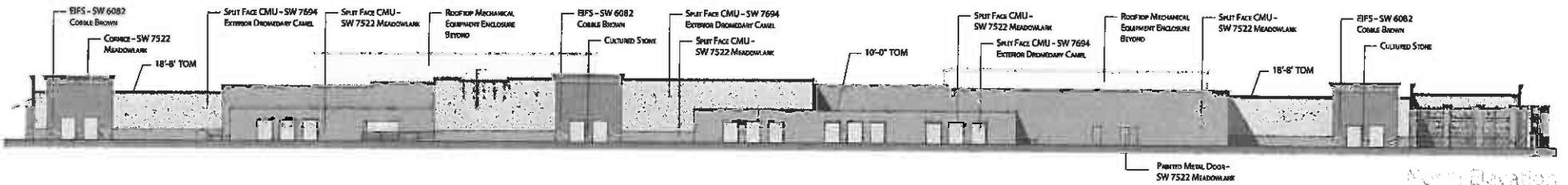
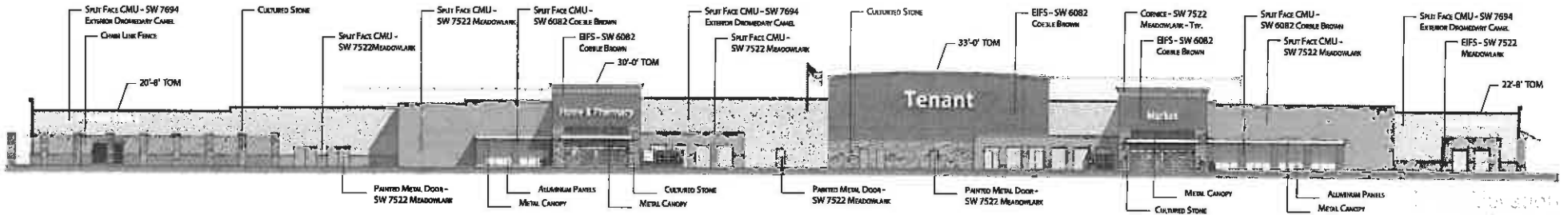
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## Notes





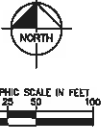
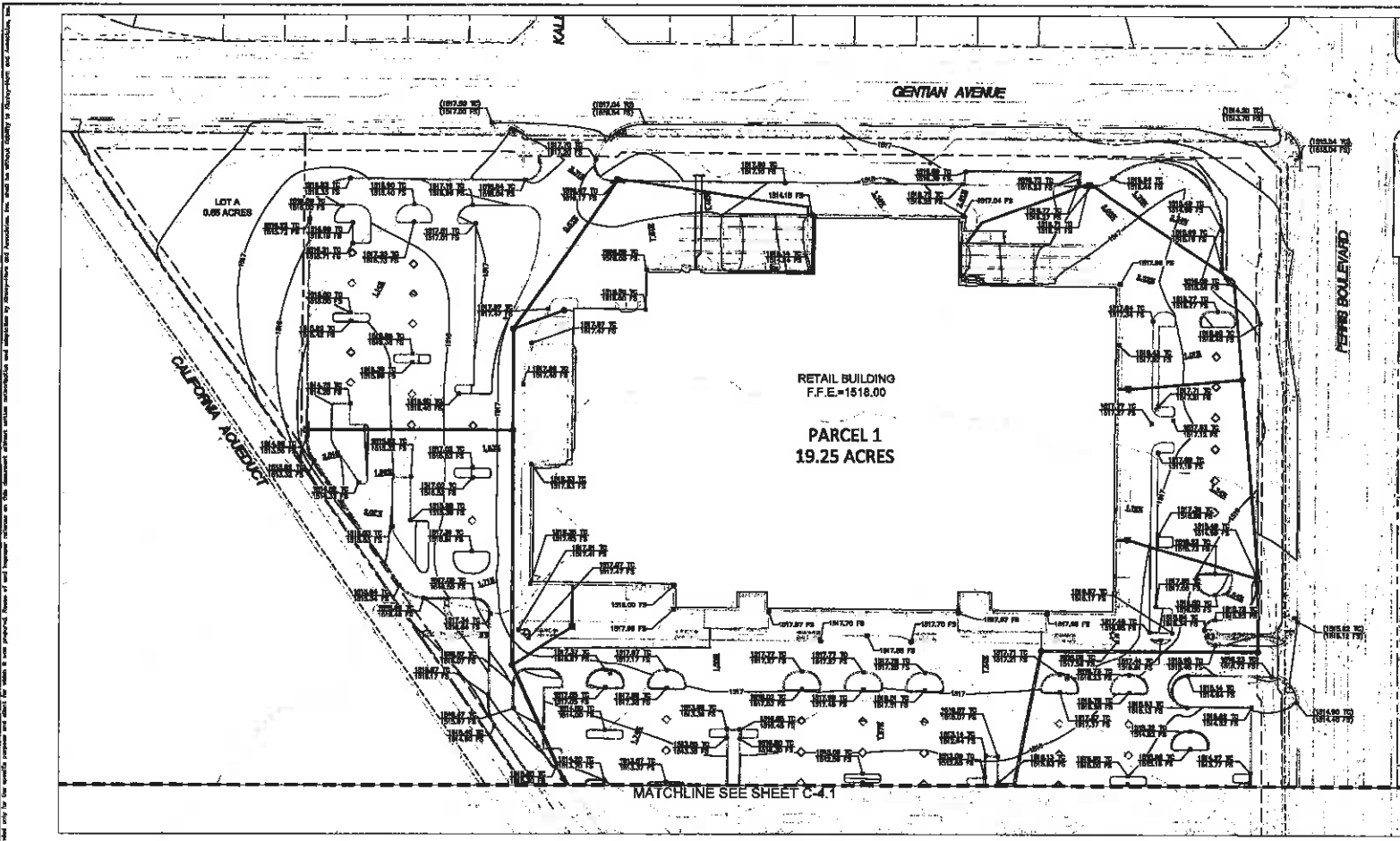


Confidential



Design Presentation Only - Not For Construction

Elevations - Not to Scale



- LEGEND**
- EXISTING PROPERTY LINE TO REMAIN
  - - - EXISTING PROPERTY TO BE ABANDONED
  - - - PROPOSED RIGHT-OF-WAY LINE
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED SLOPE
  - PROPOSED SPOT GRADE
  - PROPOSED STORM SEWER PIPE
  - MATCHLINE
  - PROPOSED CURB INLET
  - PROPOSED STORM MANHOLE
- ABBREVIATION LEGEND**
- TC - TOP OF CURB
  - FS - FINISH SURFACE
  - F.F.E. - FINISH FLOOR ELEVATION

CUT/FILL SUMMARY					
CUT	FILL FACTOR	AREA	CUT (CU. YD.)	FILL (CU. YD.)	NET (CU. YD.)
1.0000	1.2000	22.28 ACRES	39,773.	39,252.	521 (CUT)

EARTHWORK QUANTITIES ARE PROVIDED FOR PERMITTING PURPOSES ONLY. EARTHWORK QUANTITIES PROVIDED HEREIN SHALL NOT BE USED FOR BIDDING PURPOSES.



**ALERT TO CONTRACTOR:**

1. THE PRESENCE OF UNDERGROUND SERVICES IS ANTICIPATED ON THIS PROJECT. CONTRACTORS SHALL INQUIRE CONVEYORS FOR THIS ISSUE, HAVE PERFORMED GRADING OPERATIONS DURING PERIODS OF VERY DRY WEATHER. PROVIDE ADEQUATE SPREADERS, DRAGS AND OTHERS UNDER MANAGEMENT TO CONTROL INFLUXES OF SOIL, ASSET TO WATER SITE OPERATIONS.

2. ALL ORIGINAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE END OF THE PROJECT. PRELIMINARY DOCUMENTS, OUTLET AND TO BE LEFT IN PLACE OF JOB FOR THE USE AND FOR USE AFTER THE CONTRACTOR'S SERVICE. DATE FOR THE OUTLET AND ORIGINAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR CUT/OFF CONTRACTOR TO THE SPOTTED PARCEL AT ALL TIMES AFTER UNLAWFUL DATE, PLEASE CHECK ALL CUT/OFF TO PROVIDE FIRM DOCUMENTS AND SIGN UP RECEIVED BY STATE/LOCAL REG. NUMBER FOR SPOTTED OUTLET.

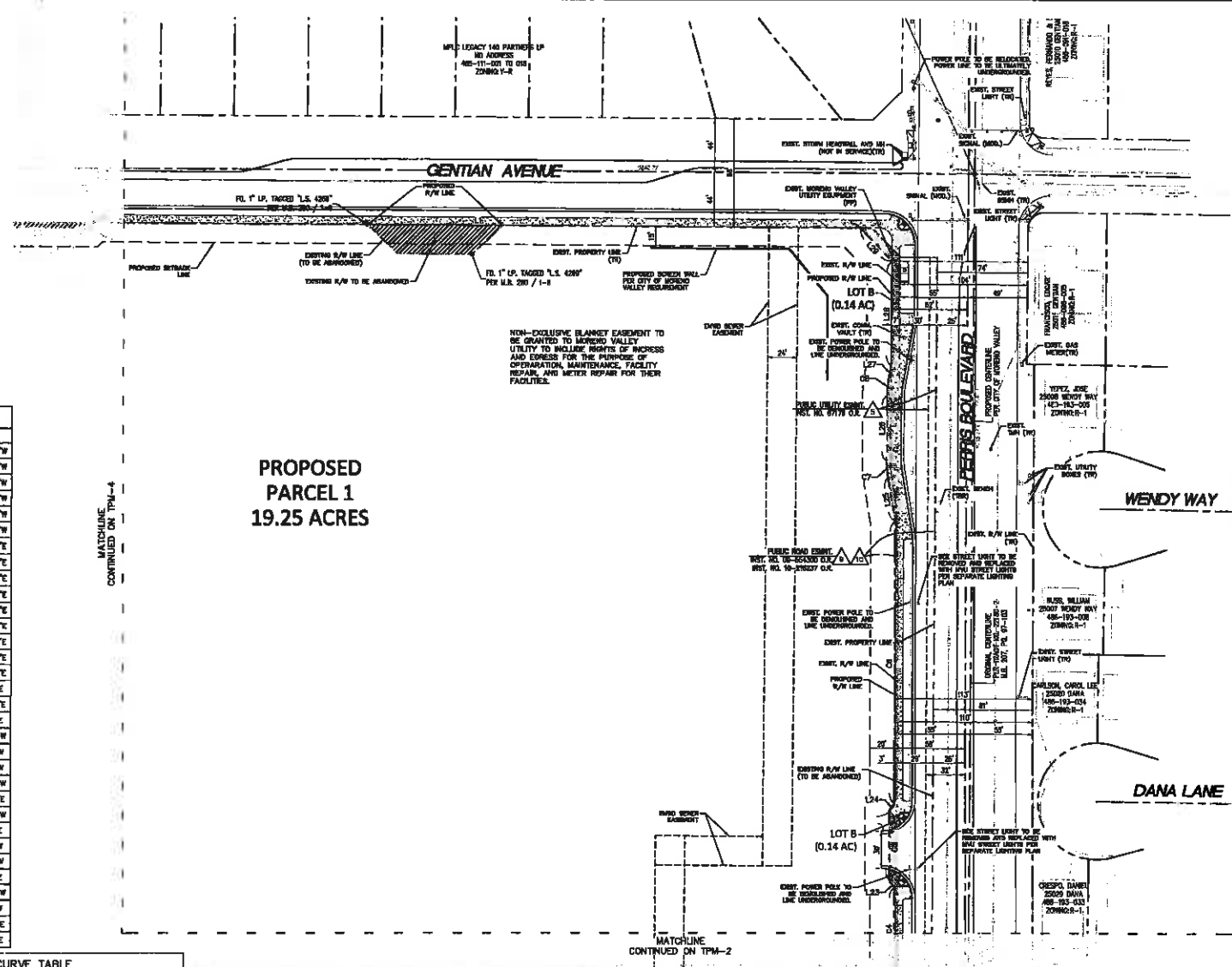
DATE	
REVISIONS	
PRELIMINARY GRADING AND DRAINAGE PLAN (N) MORENO VALLEY, CA STORE NO. 4059-00 SMC OF GENTIAN AVE AND PERRIS BLVD	
SCALE	AS NOTED
DESIGNED BY	LB
DRAWN BY	LG
CHECKED BY	MMR
DATE	4/27/18
PROJECT NO.	PA13-0032/0033/0034
SHEET NUMBER	P13-071
C-4.0	







This document, together with the exhibits and design information, is to be used for the purpose of construction of the project. It is the responsibility of the contractor to verify all information and conditions on the ground. The engineer and architect assume no responsibility for any errors or omissions in this document.



**PROPOSED  
PARCEL 1  
19.25 ACRES**

**LINE TABLE**

LINE	LENGTH	BEARING
L1	624.83	N89°41'26.06"W
L2	5.86	S45°17'48.97"W
L3	84.48	N89°42'12.01"W
L4	6.87	N44°42'10.03"W
L5	210.41	N89°41'22.64"W
L6	228.60	N89°41'22.64"W
L7	305.00	S33°09'30.84"E
L8	1100.77	S33°08'30.84"E
L9	113.71	N89°39'04.80"E
L10	5.88	N48°02'02.00"E
L11	15.26	N68°39'04.80"E
L12	30.23	N89°39'04.80"E
L13	5.88	S45°00'00.00"E
L14	124.10	N89°39'04.80"E
L15	43.58	N48°23'04.61"E
L16	15.10	N07°42'26.19"E
L17	11.28	N20°40'35.33"E
L18	82.80	N01°15'22.00"E
L19	5.84	N45°00'00.02"W
L20	14.58	S07°19'55.82"W
L21	27.85	S07°17'35.82"W
L22	5.87	S45°00'00.00"W
L23	8.41	S38°40'04.19"E
L24	8.70	S38°20'43.47"W
L25	38.18	S81°53'53.91"E
L26	85.12	S07°11'33.75"W
L27	11.98	S87°39'44.86"W
L28	85.07	N07°18'22.00"E
L29	36.84	N44°42'45.84"W
L30	222.84	S07°16'22.18"W
L31	188.04	S88°34'52.51"E
L32	321.83	N02°10'32.74"E

**CURVE TABLE**

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	48842.00'	87.41'	N07°13'01"E	87.41'	0°00'42"	48.71'
C2	48842.00'	351.70'	S07°05'09"E	351.70'	0°24'13"	173.88'
C3	50003.13'	4.85'	S07°15'51"E	4.85'	0°00'20"	2.42'
C4	50058.00'	87.40'	S07°15'22"E	87.40'	0°04'38"	35.70'
C5	50058.00'	36.46'	S07°15'42"E	36.46'	0°04'01"	29.24'
C6	50058.00'	228.73'	S07°07'26"E	228.73'	0°18'42"	114.37'
C7	77.00'	12.71'	S47°32'10"E	12.71'	0°27'28"	8.37'
C8	77.00'	12.73'	S46°58'39"W	12.71'	0°28'11"	8.38'

- LEGEND**
- EXISTING R/W LINE TO BE ABANDONED UPON ACCEPTANCE OF NEW R/W
  - PROPOSED R/W LINE
  - EXISTING PROPERTY LINE
  - PROPOSED LOT LINE
  - CENTER LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - LANDSCAPE SETBACK LINE
  - MATCH LINE
  - EXISTING CONTOUR LINE
  - PROPOSED BASH CONTOUR LINE
  - EXISTING WATER LINES
  - EXISTING SEWER LINE
  - EXISTING STORM DRAIN
  - PROPOSED 30" RCP M-2 STORM SEWER LINE, PART OF REVERSE COUNTY M24 AND MASTER DRAINAGE PLAN.
  - EXISTING GAS LINE
  - EXISTING CHAIN LINK FENCE
  - EXISTING OVERHEAD POWER LINES TO BE UNDERGROUND ADJACENT TO PROPERTY.
  - REFER TO COVER SHEET FOR TITLE REPORT EXCEPTIONS
  - EXISTING MONUMENT
  - EXISTING POWER POLE TO BE RELOCATED IN ITS ORIGINAL POSITION OVERHEAD LINE TO BE UNDERGROUND ALONG PERISS BLVD. IN THE ULTIMATE CONDITION.
- ABBREVIATIONS:**
- SSMH - SANITARY SEWER MANHOLE
  - SDMH - STORM DRAIN MANHOLE
  - TH - UNDERGROUND
  - TR - TO REMAIN
  - TR - TO BE RELOCATED
  - TRD - TO BE DEMOLISHED
  - MOD - MODIFICATIONS REQUIRED
  - EMWD - EASTERN MUNICIPAL WATER DISTRICT
- NOTES:**
- THE OWNER(S) OF PARCELS 1 AND 2 HEREBY DEDICATES TO THE CITY OF MORENO VALLEY, A MUNICIPAL CORPORATION, A PERPETUAL NON-EXCLUSIVE EASEMENT FOR PUBLIC UTILITY PURPOSES INCLUDING ingress and egress FOR THE PURPOSE OF CONSTRUCTING, OPERATING, MAINTAINING AND REPAIRING MUNICIPAL SERVICE FACILITIES AND READING METER LOWS, UNDER, UPON, ACROSS AND WITHIN ALL COMMON AREAS OF THE REAL PROPERTY.

DATE

REVISIONS

NO.

**Kimley»Horn**

7000 W. STATE ST., SUITE 200, MORENO VALLEY, CA 91731  
PH: 951-251-1500 FAX: 951-251-1501  
WWW.KIMLEY-HORN.COM

**walmart\***

C-182-SGL-NO  
STORE NO. 4059-00

TENTATIVE PARCEL MAP

MORENO VALLEY, CA  
SVC OF GENTIAN AVE AND FERRIS BLVD

SCALE AS NOTED

DESIGNED BY: LD

DRAWN BY: LS

CHECKED BY: XMR

DATE: 02/27/19

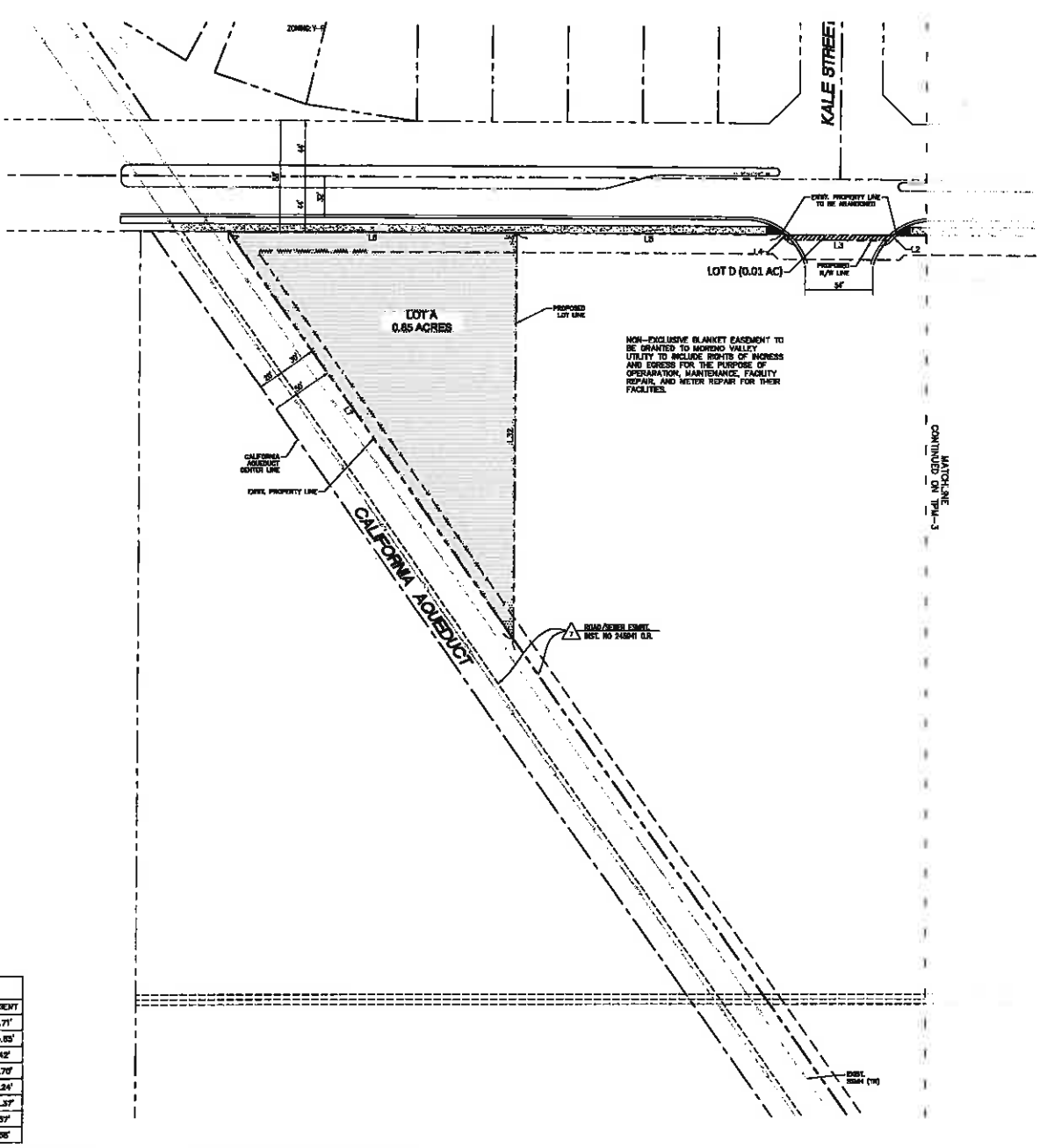
PROJECT NO.: PA13-0032/0330034 P13-071

SHEET NUMBER: TPM-3

THIS DOCUMENT, TOGETHER WITH THE INSTRUMENTS AND MAPS PREPARED HEREON, IS HEREBY OFFERED AS A TENTATIVE PARCEL MAP FOR THE CITY OF MORENO VALLEY, CALIFORNIA. THE CITY OF MORENO VALLEY, CALIFORNIA, IS NOT PROVIDING ANY WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND DATA CONTAINED HEREIN. THE CITY OF MORENO VALLEY, CALIFORNIA, IS NOT PROVIDING ANY WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND DATA CONTAINED HEREIN. THE CITY OF MORENO VALLEY, CALIFORNIA, IS NOT PROVIDING ANY WARRANTY OR REPRESENTATION AS TO THE ACCURACY OF THE INFORMATION AND DATA CONTAINED HEREIN.

LINE	LENGTH	BEARING
L1	824.83	N89°41'53.05"W
L2	5.86	S45°17'48.87"W
L3	84.48	N89°42'32.01"W
L4	5.87	N44°42'10.03"W
L5	210.44	N89°41'53.84"W
L6	229.60	N89°41'53.84"W
L7	366.00	S33°09'20.84"E
L8	1100.77	S33°09'20.84"E
L9	113.71	N89°39'04.80"E
L10	5.88	N45°00'00.00"E
L11	15.28	N89°50'04.80"E
L12	30.23	N89°58'04.80"E
L13	5.88	S45°00'00.00"E
L14	124.10	N89°58'04.80"E
L15	43.58	N45°23'04.81"E
L16	15.10	N07°42'28.10"E
L17	11.28	N20°49'28.33"E
L18	52.88	N9°16'22.80"E
L19	5.84	N45°00'00.00"E
L20	14.58	S07°55.82"W
L21	37.83	S07°55.82"W
L22	6.87	S45°00'00.00"W
L23	8.41	S38°48'04.19"E
L24	6.70	S38°30'43.47"W
L25	38.18	S9°18'03.91"E
L26	55.12	S01°133.79"W
L27	11.86	S8°38'44.86"W
L28	85.07	N0°18'22.00"E
L29	35.84	N44°42'43.81"W
L30	223.84	S07°52.18"W
L31	189.04	S28°54'07.51"E
L32	321.83	N02°32.74"E

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	49942.00'	87.41'	N073°01'E	87.41'	0°00'42"	48.71'
C2	49942.00'	381.70'	S073°56'E	381.70'	0°24'13"	175.83'
C3	50003.13'	4.85'	S017°51'E	4.85'	0°00'39"	2.42'
C4	50008.00'	87.40'	S071°22'E	87.40'	0°04'38"	33.78'
C5	30082.00'	38.49'	S071°42'E	38.49'	0°14'51"	28.24'
C6	50028.00'	228.73'	S070°28'E	228.73'	0°19'42"	114.37'
C7	77.00'	12.71'	S43°31'0"E	12.71'	0°27'23"	6.37'
C8	77.00'	12.73'	S43°33'39"W	12.71'	0°28'11"	6.38'



**LEGEND**

- EXISTING R/W LINE TO BE ABANDONED UPON ACCEPTANCE OF NEW R/W
- - - - PROPOSED R/W LINE
- EXISTING PROPERTY LINE
- - - - PROPOSED LOT LINE
- EXISTING EASEMENT LINE
- - - - PROPOSED EASEMENT LINE
- EXISTING SETBACK LINE
- - - - PROPOSED SETBACK LINE
- EXISTING WATER LINES
- - - - PROPOSED WATER LINES
- EXISTING SEWER LINE
- - - - PROPOSED SEWER LINE
- EXISTING STORM DRAIN
- - - - PROPOSED 36" RCP 14-2 STORM SEWER LINE, PART OF RIVERSIDE COUNTY MSA AND MASTER DRAINAGE PLAN.
- EXISTING GAS LINE
- - - - PROPOSED GAS LINE
- EXISTING CHAIN LINK FENCE
- - - - EXISTING OVERHEAD POWER LINES TO BE UNDERGROUND ADJACENT TO PROPERTY.
- △ REFER TO COVER SHEET FOR TITLE REPEAT EXCEPTIONS
- EXISTING MONUMENT
- EXISTING POWER POLE TO BE RELOCATED IN THE INTERIM CONDITION. OVERHEAD LINE TO BE UNDERGROUND ALONG PERRIS BLVD. IN THE ULTIMATE CONDITION.

**ABBREVIATIONS:**

- SSMH - SANITARY SEWER MANHOLE
- SDMH - STORM DRAIN MANHOLE
- TMH - TELEPHONE MANHOLE
- TR - TO REMAIN
- TR - TO BE RELOCATED
- TBO - TO BE DEMOLISHED
- MOD - MODIFICATIONS REQUIRED
- EMWD - EASTERN MUNICIPAL WATER DISTRICT

**NOTES:**

THE OWNERS OF PARCELS 1 AND 2 HEREBY DEDICATES TO THE CITY OF MORENO VALLEY, A MUNICIPAL CORPORATION, A PERPETUAL NON-EXCLUSIVE EASEMENT FOR PUBLIC UTILITY PURPOSES INCLUDING ingress and egress FOR THE PURPOSE OF CONSTRUCTING, OPERATING, MAINTAINING AND REPAIRING MUNICIPAL SERVICE FACILITIES AND READING METER OVER, UNDER, UPON, ACROSS AND WITHIN ALL COMMON AREAS OF THE REAL PROPERTY.



DATE	
REVISIONS	
NO.	

**Kimley»Horn**

THE ENGINEERS HAVE PREPARED THIS PLAN AND MAP IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING ACT AND THE PROFESSIONAL LAND SURVEYING ACT, CHAPTER 17, DIVISION 17.1, CALIFORNIA CIVIL CODE, AND THE PROFESSIONAL ENGINEERING ACT AND THE PROFESSIONAL LAND SURVEYING ACT, CHAPTER 17, DIVISION 17.1, CALIFORNIA CIVIL CODE.

**Walmart**

C-182-SCL-NO  
 STORE NO. 4059-00

**TENTATIVE PARCEL MAP**

MORENO VALLEY, CA  
 SNC OF GENTIAN AVE AND PERRIS BLVD

SCALE AS NOTED

DESIGNED BY LG

DRAWN BY LG

CHECKED BY SMR

DATE 02/22/18

PROJECT NO. PA13-0032/00330034 P134011

SHEET NUMBER TPM-4



**PAGE BREAK**



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



July 6, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

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Riverside

Glen Holmes  
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Steve Manos  
Lake Elsinore

**STAFF**

**Director**  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Meenaxi Panakkal, Associate Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1125MA15  
Related File No.: P15-0219 (Design Review)  
APN: 211-175-002; 211-175-003

Dear Ms. Panakkal:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to develop a 7,192 square foot medical office building on 0.75 acres located on the northerly side of University Avenue, westerly of Dwight Avenue and easterly of Douglass Avenue, in the City of Riverside.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, land use intensity is not restricted.

The project site elevation is more than 500 feet lower than the elevation of March Air Reserve Base's Runway 14-32 at its northerly terminus. Furthermore, while the site elevation exceeds the elevations at Riverside Municipal Airport and Flabob Airport, the site is located more than 20,000 feet from Riverside Municipal Airport and more than 10,000 feet from Flabob Airport. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the proposed building.
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB:bks

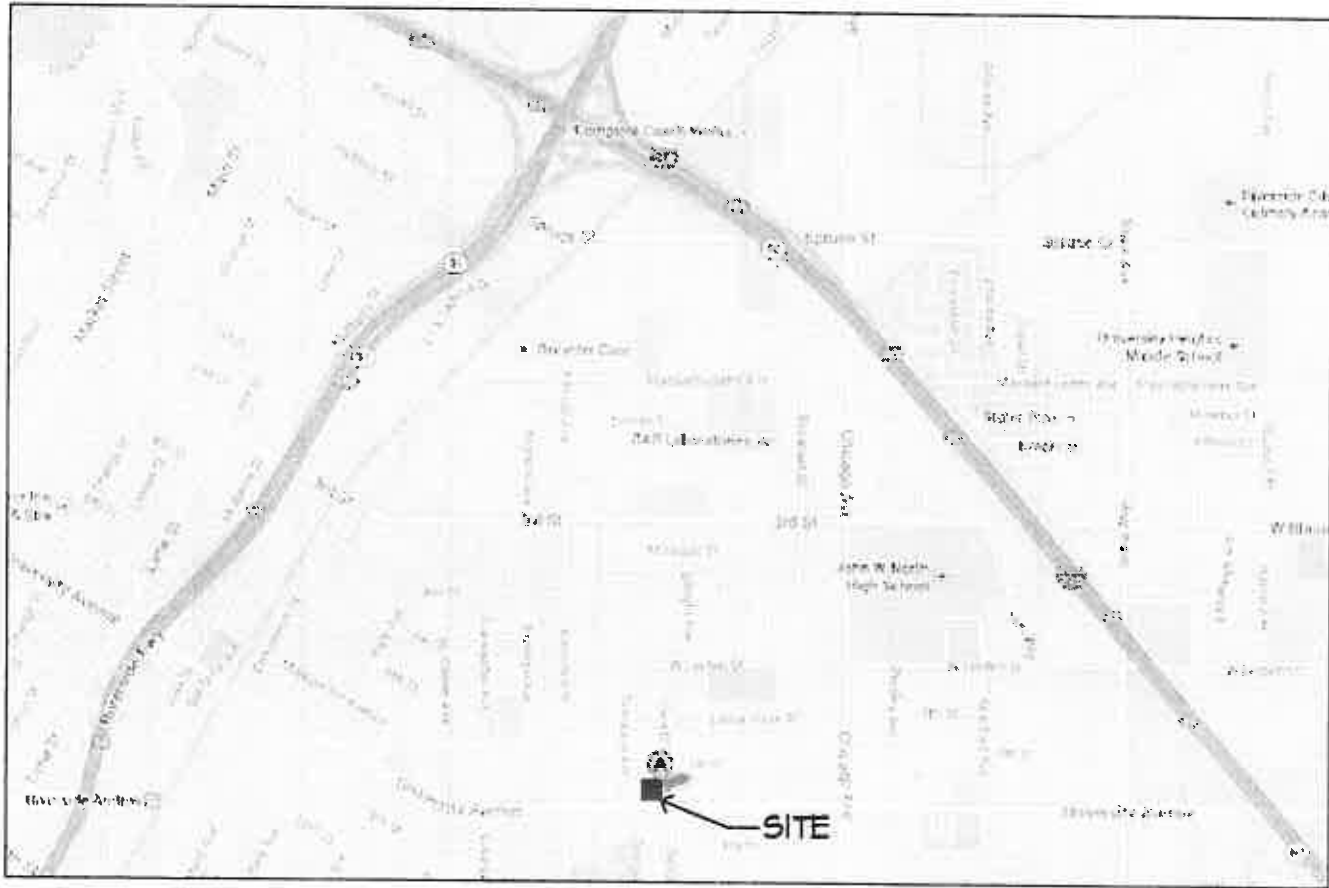
Attachments: Notice of Airport in Vicinity

**AIRPORT LAND USE COMMISSION**

**July 6, 2015**

cc: Riverside Successor Agency - Attn.: Emilio Ramirez (property owner)  
Dan Anderson, Riverside Community Health Foundation (applicant/payee)  
Serge Bonaldo, Bonaldo Engineering (additional representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
Kim Ellis, Airport Manager, Riverside Municipal Airport  
Beth LaRock, Airport Manager, Flabob Airport  
ALUC Case File

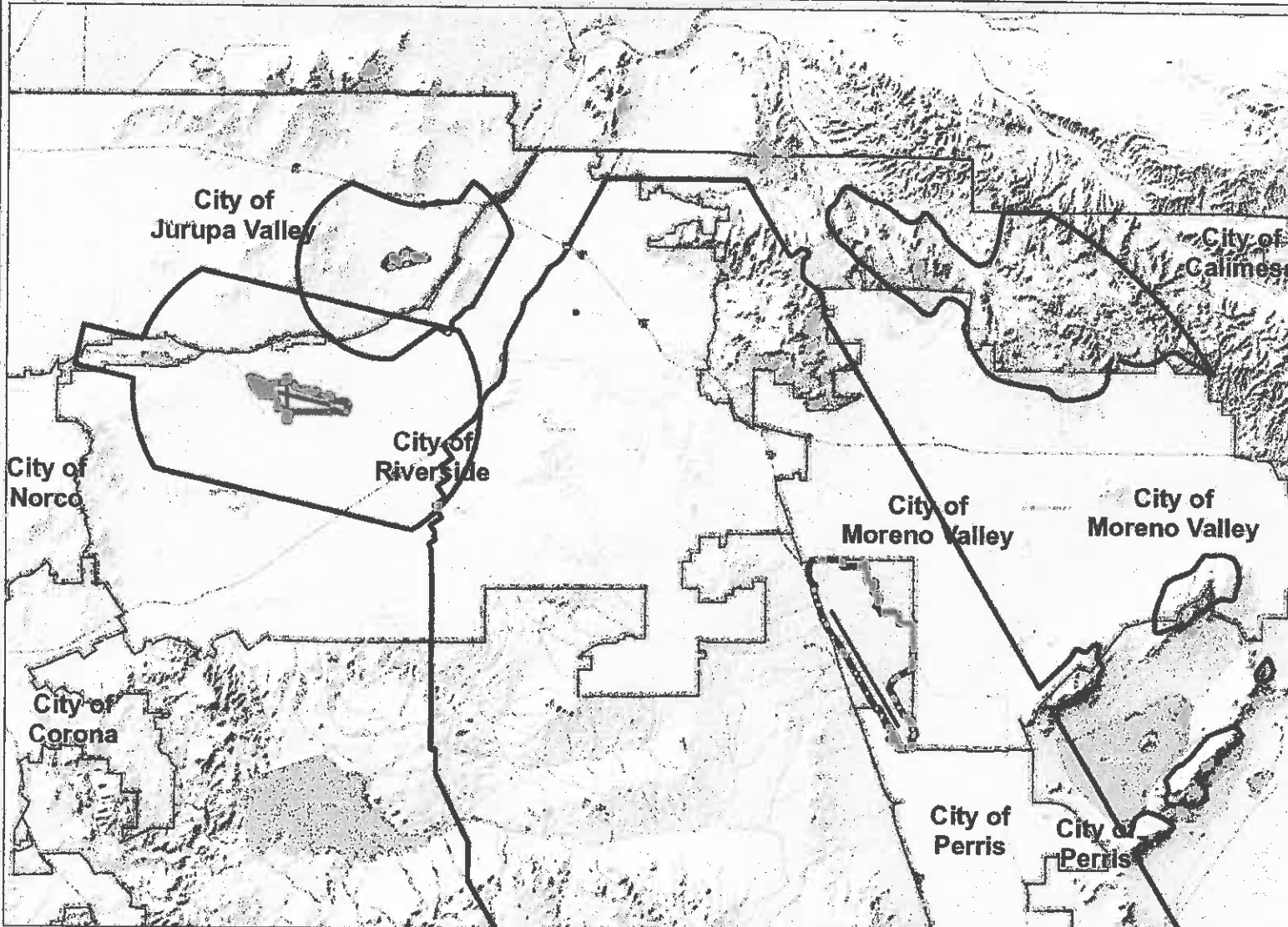
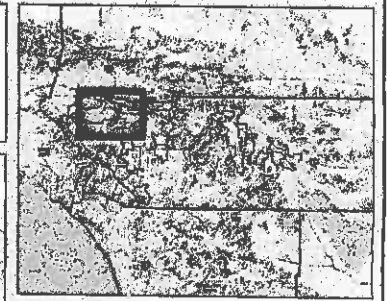
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**VICINITY MAP**  
NOT TO SCALE



# My Map



**Legend**

- Airports
- AIA
- Runways
- City Boundaries
- Cities**
- adjacent\_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways\_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- counties
- cities



0 18,364 36,729 Feet



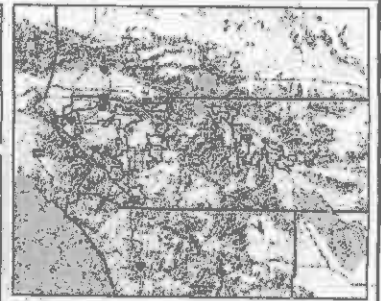
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/6/2015 10:18:00 AM
















© Riverside County TLMA GIS

**Notes**

# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  AIA
-  Runways
-  City Boundaries
- Cities**
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies**
-  Lakes
-  Rivers



0 574 1,148 Feet



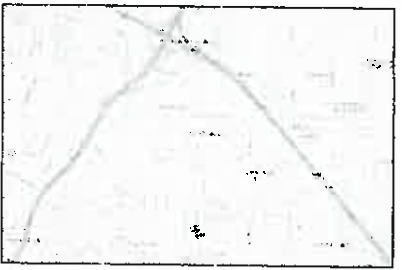
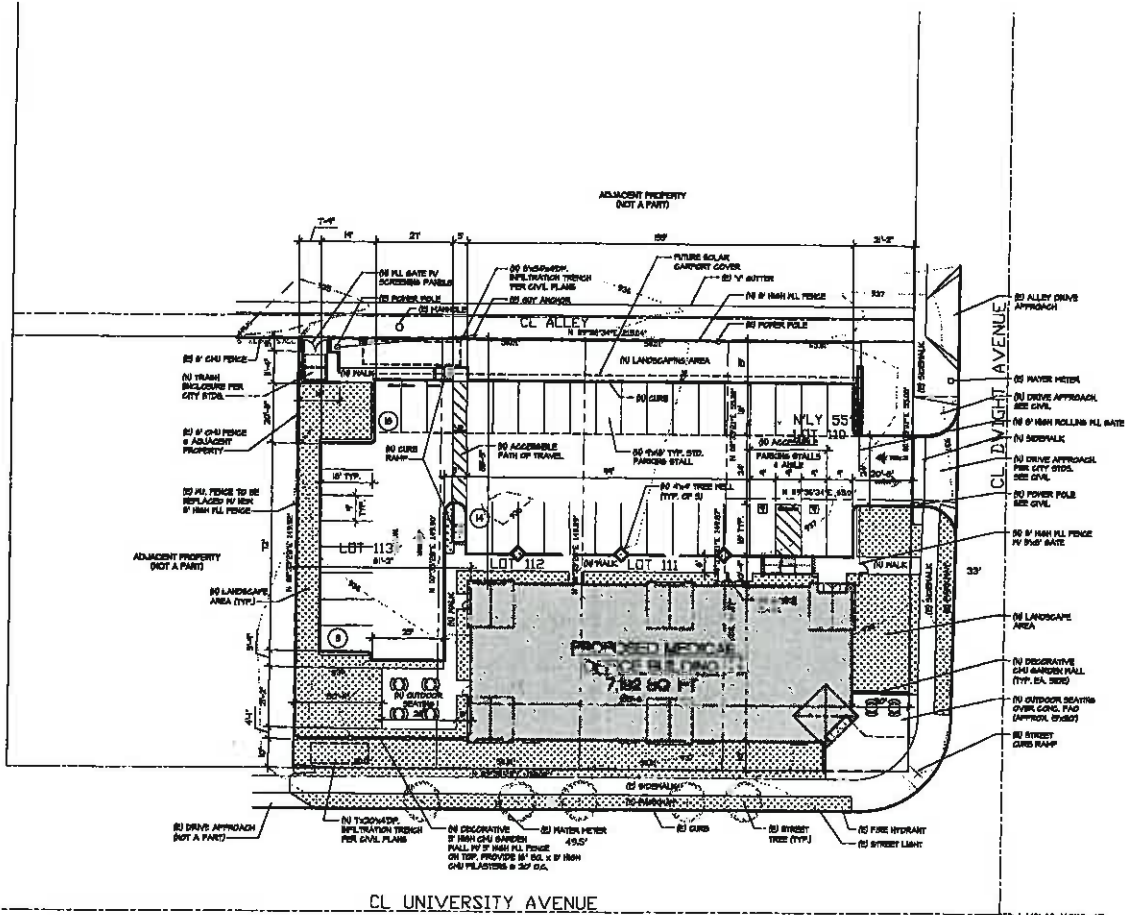
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/6/2015 10:21:03 AM

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## Notes

CL DOUGLASS AVENUE



VICINITY MAP  
NOT TO SCALE

**SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION
SP-1	PROPOSED SITE PLAN & PROJECT DATA
FL	PROPOSED FLOOR PLAN
ED	PROPOSED EXTERIOR ELEVATIONS
CS	COLORS ELEVATIONS
PR	PROPOSED GRADING PLAN
LD	PROPOSED LANDSCAPE PLAN
PL	PLANT LIST

**PROJECT DATA**

**PROJECT DESCRIPTION:** NEW BUILD-THREE HOOD-TRAINED BUILDING FOR PHYSICIAN MEDICAL OFFICE LOCATED AT THE NW CORNER OF UNIVERSITY AVE. AND DOUGLASS AVE., IN THE CITY OF RIVERSIDE, CALIFORNIA.

**SITE/BUILDING OWNER:** RIVERSIDE COMMUNITY HEALTH FOUNDATION  
4425-A MARQUESSA AVE.  
RIVERSIDE, CA 92508  
TEL: (951) 398-8491  
FAX: (951) 398-8491  
CONTACT: DAN ANDERSON  
CELL: (951) 804-8678

**PROJECT ADDRESS:** 105 UNIVERSITY AVE., RIVERSIDE, CA

**LEGAL DESCRIPTION:** LOTS 10, 11, 12 & 13 OF 140 COMMON HARBOR 08

**APN:** 3175008 & 3175009

**TOTAL LOT AREA:** 52,008 S.F. (0.177 ACRES) NEARBY

**BUILDING FLOOR AREA:** 7,142 S.F.

**LOT COVERAGE (PROP. LIND.):** 13.60 S.F. = 28.24%

**LANDSCAPE AREA:** 6,978 S.F. = 27.76% + 8%

**PARKING SUMMARY:**

**PARKING DEMAND:**  
MEDICAL OFFICE USE: 1450 → 14000 = 40 STALLS  
TOTAL PARKING REQUIRED: = 40 STALLS

**TOTAL PARKING PROVIDED = 40 STALLS**  
STANDARD STALLS: 38 STALLS  
ACCESSIBLE STALLS: 02 STALLS

**BUILDING CODE DATA:**

CONSTRUCTION TYPE: V-N  
BUILDING APPLICABLE: YES  
OCCUPANCY: B  
ZONING: CR-5P



PROPOSED SITE PLAN

SCALE  
1" = 20'-0"

PROJECT DATA

SCALE  
N.T.S.



**bonaldo engineering**  
10700 JERRY ROAD, SUITE 700  
RIVERSIDE, CALIFORNIA, 92513  
PHONE: 951.944.9912  
FAX: 951.944.0802

**MEDICAL OFFICE BUILDING**

PROJECT ADDRESS: NW CORNER OF UNIVERSITY AVE. & UNIVERSITY AVE., RIVERSIDE, CA  
OWNER: RIVERSIDE COMMUNITY HEALTH FOUNDATION  
CONTACT: DAN ANDERSON  
PHONE: (951) 398-8491  
FAX: (951) 398-8491

**PROPOSED SITE PLAN & PROJECT DATA**

DATE: JAN 6, 2015  
SCALE: AS NOTED  
DRAWN BY: NATAL  
JOB NO: 14-034-125  
SHEET NO:

SP-1

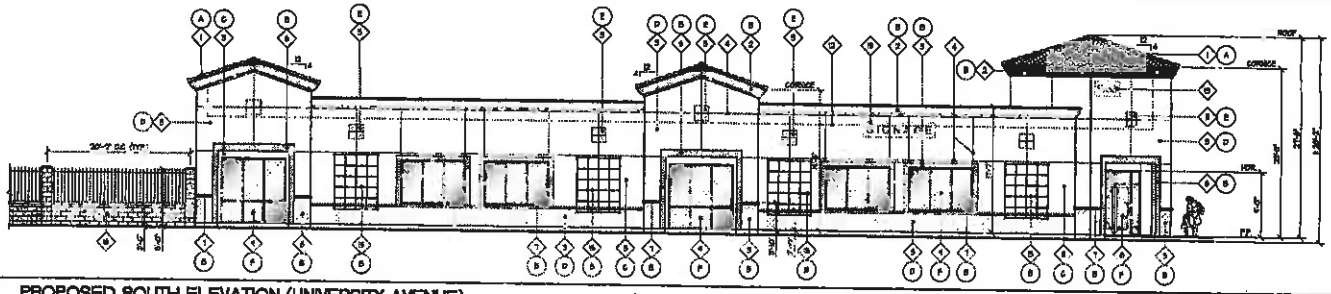


**FINISH SCHEDULE**

1. SPANISH STYLE CONCRETE TILE ROOFING
2. POLYMER-FINISHED GORGE/PANCA WITH BRASSO GRAY PAINT, PAINTED
3. BRASSO FINISH
4. 1/4" BRASSO CORNICE, JOINT
5. 24"X36" CERAMIC TILE BRICKS
6. 3/4" TRIM IN BRASSO FINISH, PAINTED
7. 3/4" TRIM CAP IN BRASSO FINISH, PAINTED
8. STONEFRONT DOOR SYSTEM
9. STONEFRONT WINDOW SYSTEM
10. METAL DOOR & FRAME
11. DOWNSPOUTS/FLASHING/DETAIL PER PLAN. PROVIDE SFLASH BLOCK WHERE NEEDED.
12. ROOF LINE FINISH
13. ADDRESS NUMBER LOCATION PER CITY STANDARDS
14. SIGN LOCATION PER SIGNAGE PERMITS
15. FINISHIT SIGN VENE TRILLAS, PAINTED

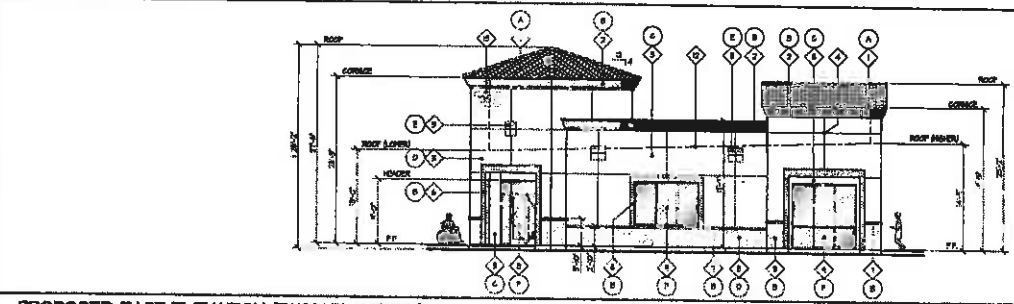
**COLOR & FINISH LEGEND**

- A. ENGLE ROOFING, 360 3/8" IS. FERRASO BLEND, OR APPROVED EQUAL
- B. DDM-2500/2800 PARTS, PE-550 CHECK FILL, OR APPROVED EQUAL
- C. LA HABRA BRASSO, 4-48 SANDWICH, OR APPROVED EQUAL
- D. LA HABRA BRASSO, 4-48 VENEZ, OR APPROVED EQUAL
- E. DANTE, BLAKE TILES, 2700 COPPER, OR APPROVED EQUAL
- F. DANTE BRASSO ANODIZED ALUMINUM FRAME & TRIM GRAY GLASS



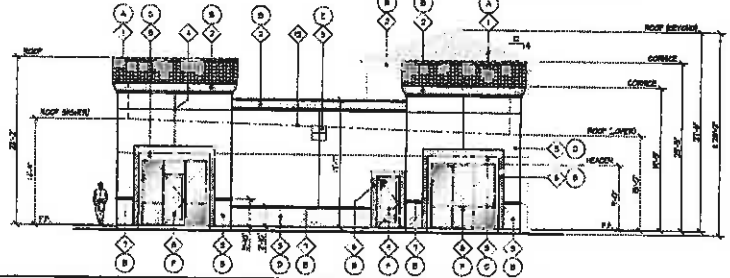
PROPOSED SOUTH ELEVATION (UNIVERSITY AVENUE)

SCALE  
1/8" = 1'-0"



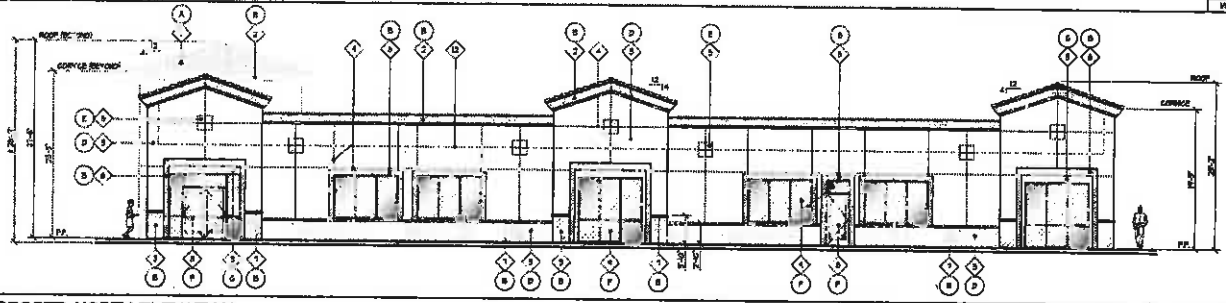
PROPOSED EAST ELEVATION (DWIGHT AVENUE)

SCALE  
1/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE  
1/8" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE  
1/8" = 1'-0"

KEY NOTES

SCALE  
5



**bonaldo engineering**

10170 Jersey Blvd., Suite 700  
Phoenix, California, CA 91120  
phone 909.244.9992  
fax 909.244.4833

REVISIONS

NO.	DESCRIPTION

PROJECT  
MEDICAL OFFICE BUILDING

ADDRESS: 147 CORNER OF UNIVERSITY AVE. & DWIGHT AVE. BRIDGE, CA  
DATE NO.  
OWNER: SERRANO COMMUNITY HEALTH FOUNDATION  
PHONE: (909) 244-9992 FAX: (909) 244-4833

EXTERIOR ELEVATIONS

DATE: JUN 4, 2015  
SCALE: AS NOTED  
DRAWN BY: NAFAL  
JOB NO: 14-23-4135

SHEET NO.

A-2



**bonaldo  
engineering**

16200 JAMES HWY., SUITE 200  
ROVATO, COLORADO, CO 81753  
PHONE 970.244.7992  
FAX 970.244.4862

REVISIONS

PROJECT: **MEDICAL OFFICE BUILDING**

ADDRESS: 4001 CLARK OF UNIVERSITY AVE., DENVER, CO, DENVER, CO

CLIENT: INVERCOTE COMMUNITY HEALTH ORGANIZATION  
OWNER: INVERCOTE COMMUNITY HEALTH ORGANIZATION  
PROJECT: 151101001 - 151101001

DESIGNER: TRILL

**PROPOSED  
FLOOR PLAN  
(INTERIOR)**

DATE: JAN. 6, 2015

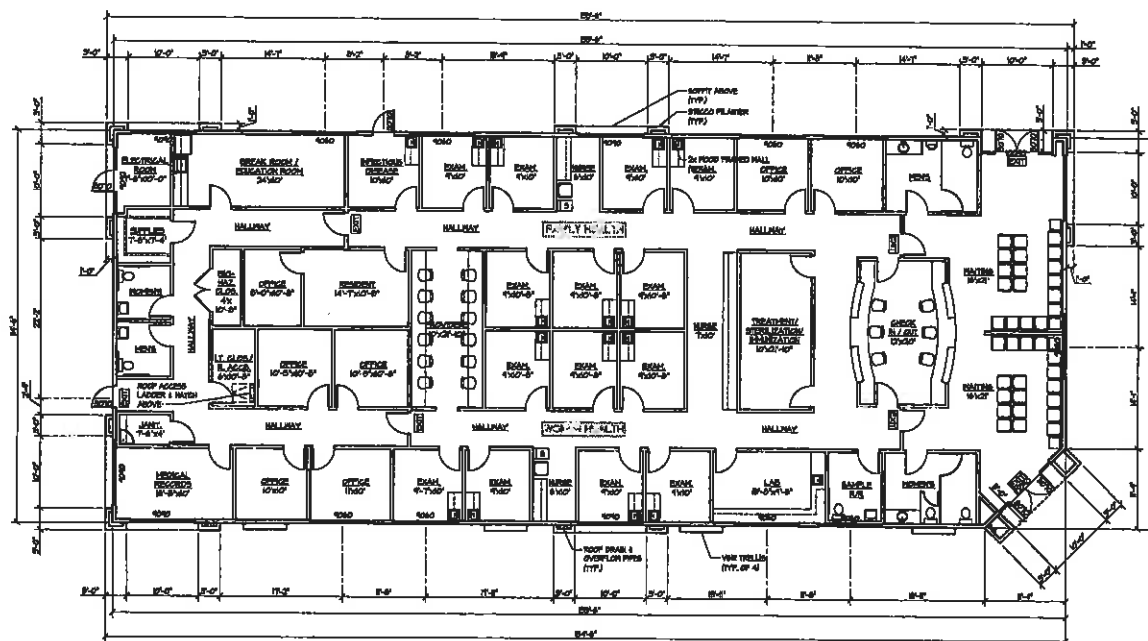
SCALE: AS SHOWN

DRAWN BY: NATAL

JOB No: 14-25-4155

SHEET No:

**A-4**



**PROPOSED FLOOR PLAN (INTERIOR)**



SCALE: 1/8" = 1'-0"

1

**PAGE BREAK**



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



July 13, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Mr. Ryan Fowler, Associate Planner  
City of Menifee Community Development Department/Planning Division  
29714 Haun Road  
Menifee, CA 92586

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1128MA15  
Related File No.: Planning Case No. 2015-031 (Site Plan/Plot Plan)  
APN: 364-030-004; 364-030-005

Dear Mr. Fowler:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to develop a 17,185 square foot Rite-Aid drug store and a 3,000 square foot fast food restaurant (each with a drive-through) on a 2.39-acre portion of a 10.34-acre site located at the southwest corner of Newport Road and Menifee Road, in the City of Menifee.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, land use intensity is not restricted.

The elevation of Runway 14-32 at its southerly terminus is approximately 1,488 feet above mean sea level (1488 feet AMSL). The site elevation (1432 feet AMSL) is lower than the runway elevation. Given a building height not exceeding 28 feet, the top point of any structure will not exceed the runway elevation. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons would not be required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

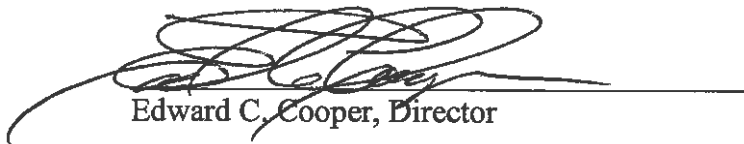
**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the proposed building(s).
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

JJGJG

Attachments: Notice of Airport in Vicinity

- cc: Melissa Beeler, Parkcrest Construction, Inc. (applicant/payee)  
Diamond Brothers Six Partnership & Five Partnership (property owners)  
Chris Schneider, Plump Group (architect)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority

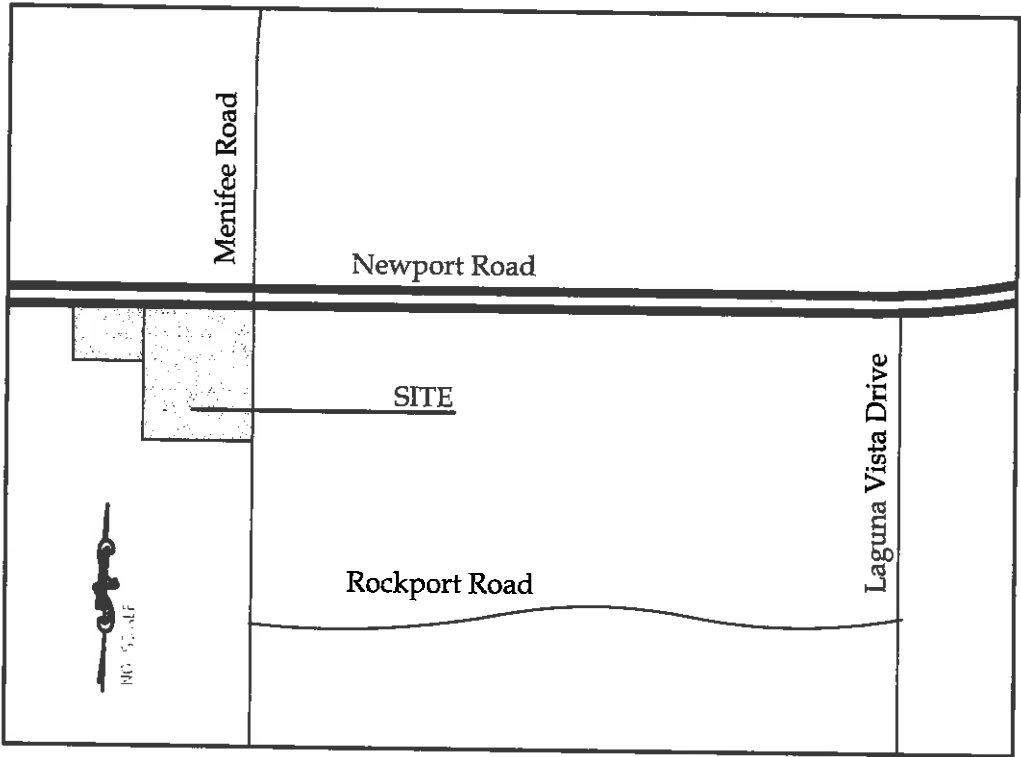
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1128MA15\ZAP1128MA15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

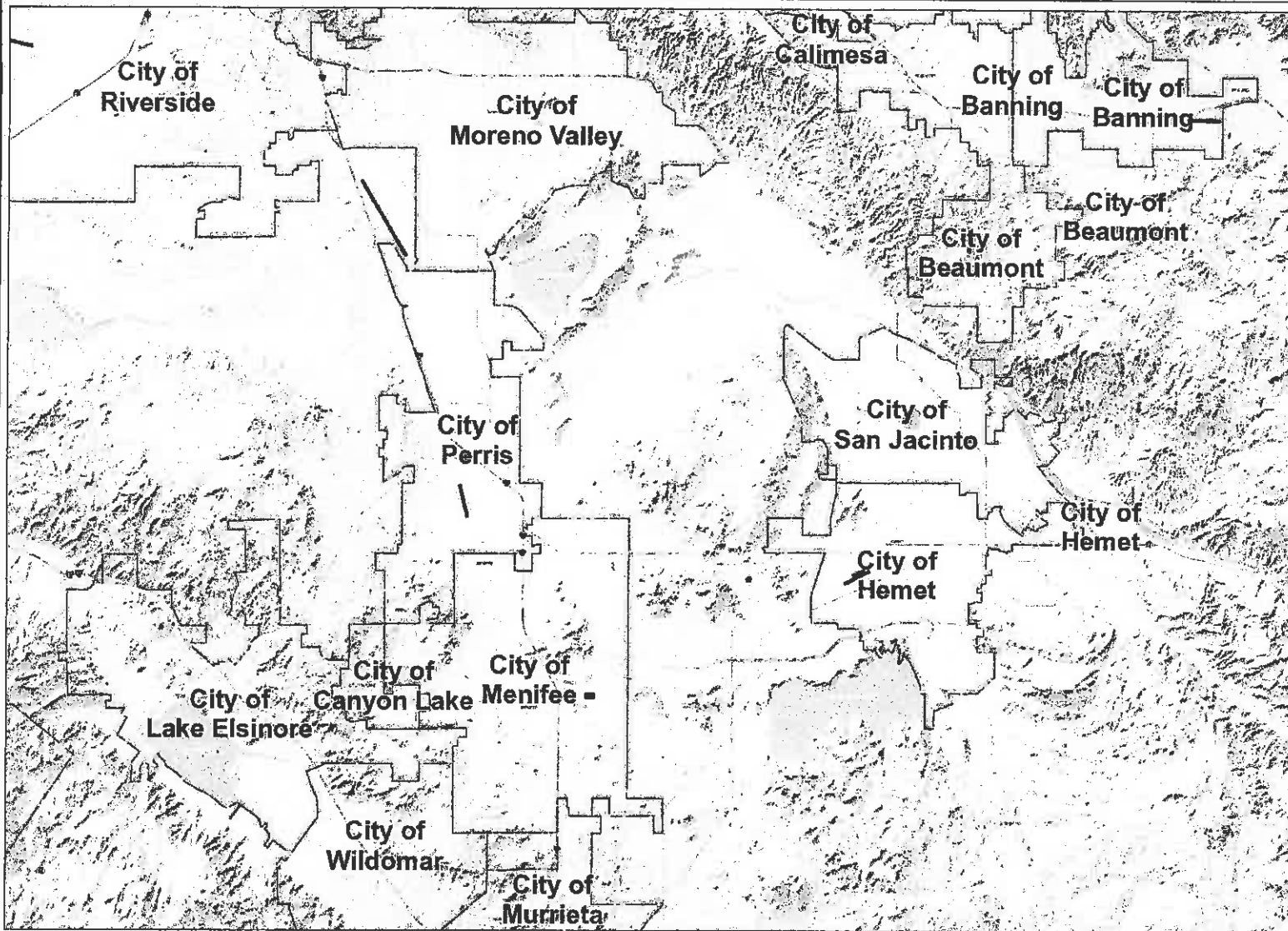
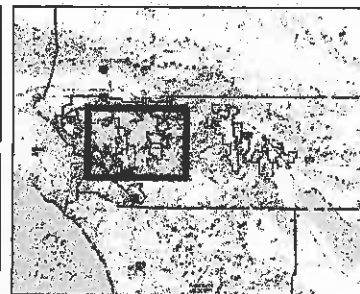
This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

VICINITY MAP





# My Map



### Legend

- Runways
- City Boundaries
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



0 28,075 56,151 Feet

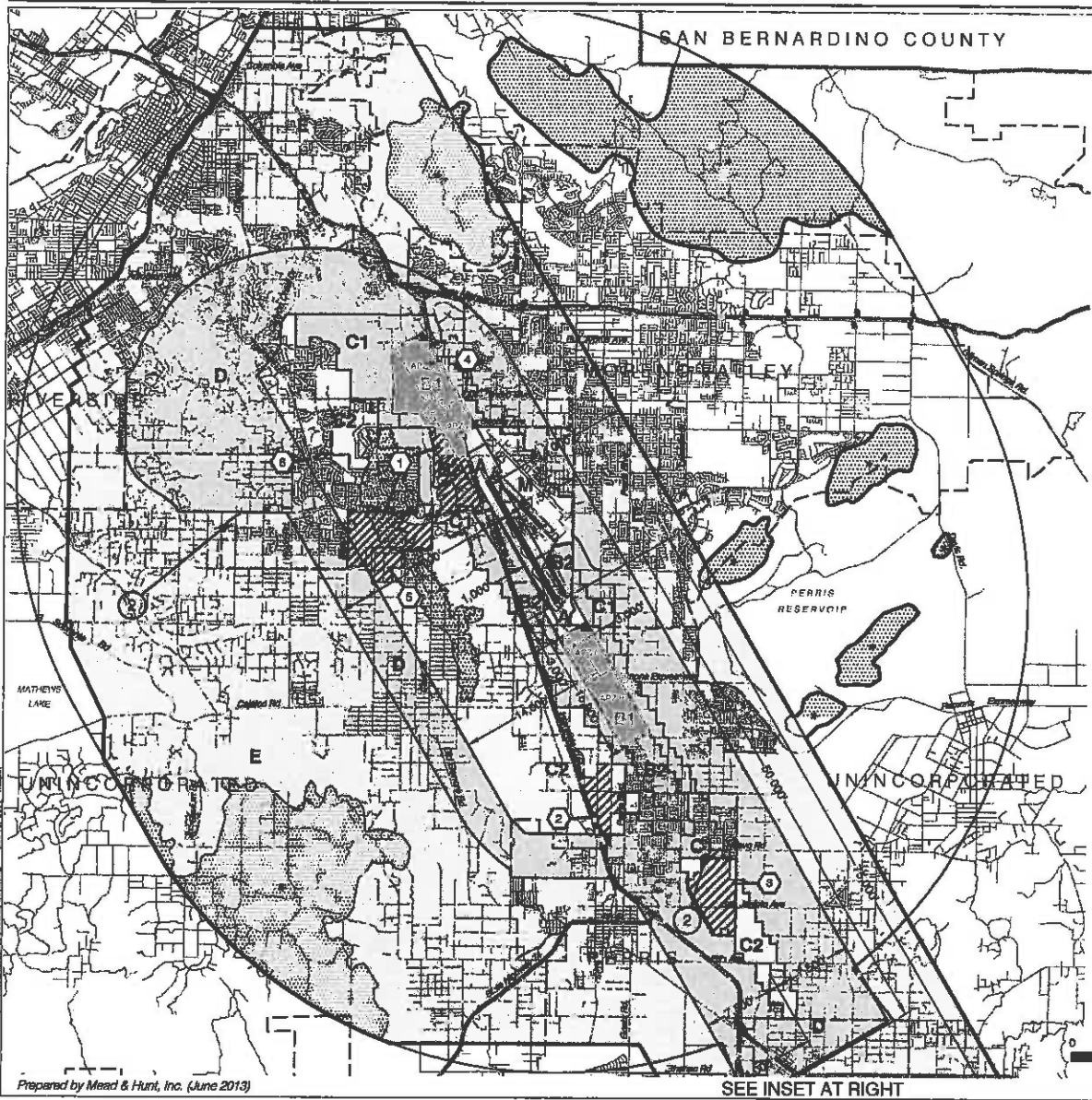


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REPORT PRINTED ON... 7/10/2015 12:49:53 PM

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### Notes



**LEGEND**

**Compatibility Zones**

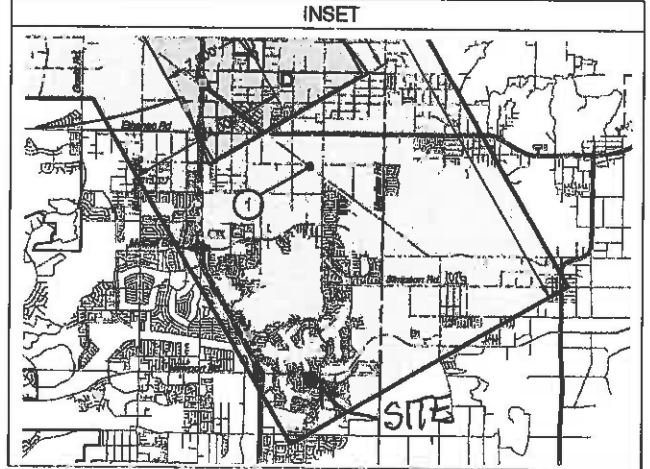
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Riverside County  
Airport Land Use Commission

March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan

(Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

Note:  
All dimensions are measured from  
runway ends and centerlines.

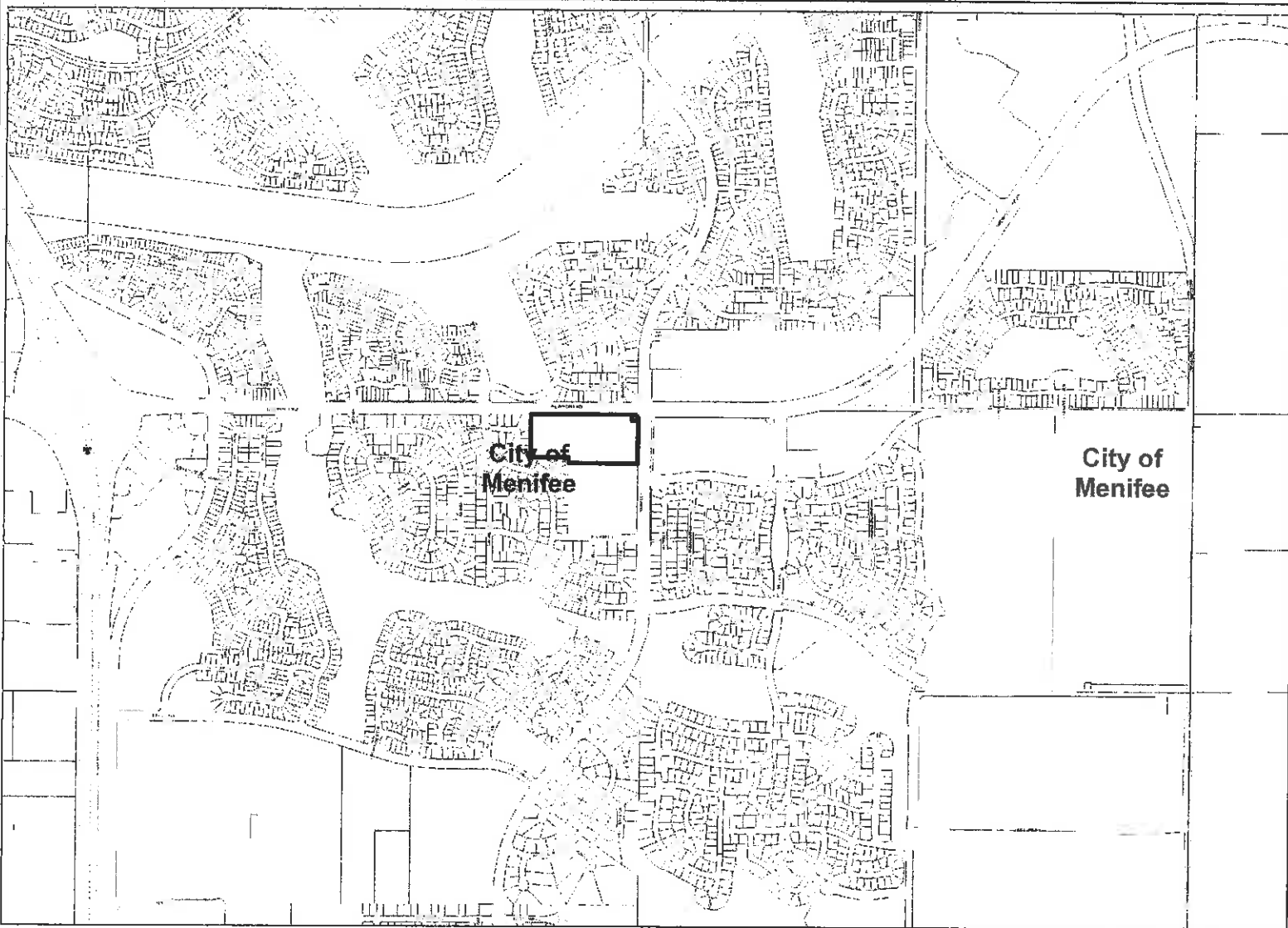
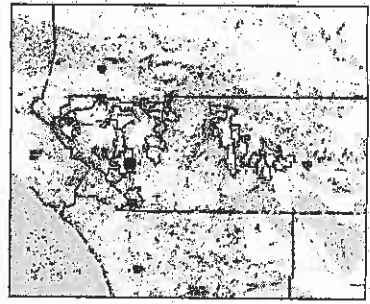


Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)  
 Aerial Imagery: 2011-2012  
 Data: U.S. Census Bureau, 2010  
 Source: U.S. Census Bureau, 2010

SEE INSET AT RIGHT

# My Map



**Legend**

- RCLIS Parcels
- Runways
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography**
- waterbodies**
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

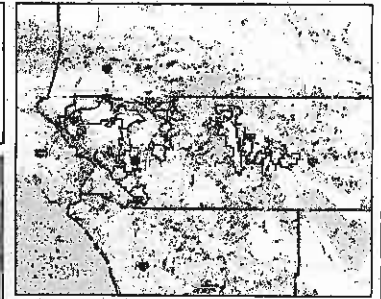


REPORT PRINTED ON... 7/10/2015 12:43:06 PM

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**Notes**

# My Map



## Legend

- RCLIS Parcels
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0

877

1,755 Feet

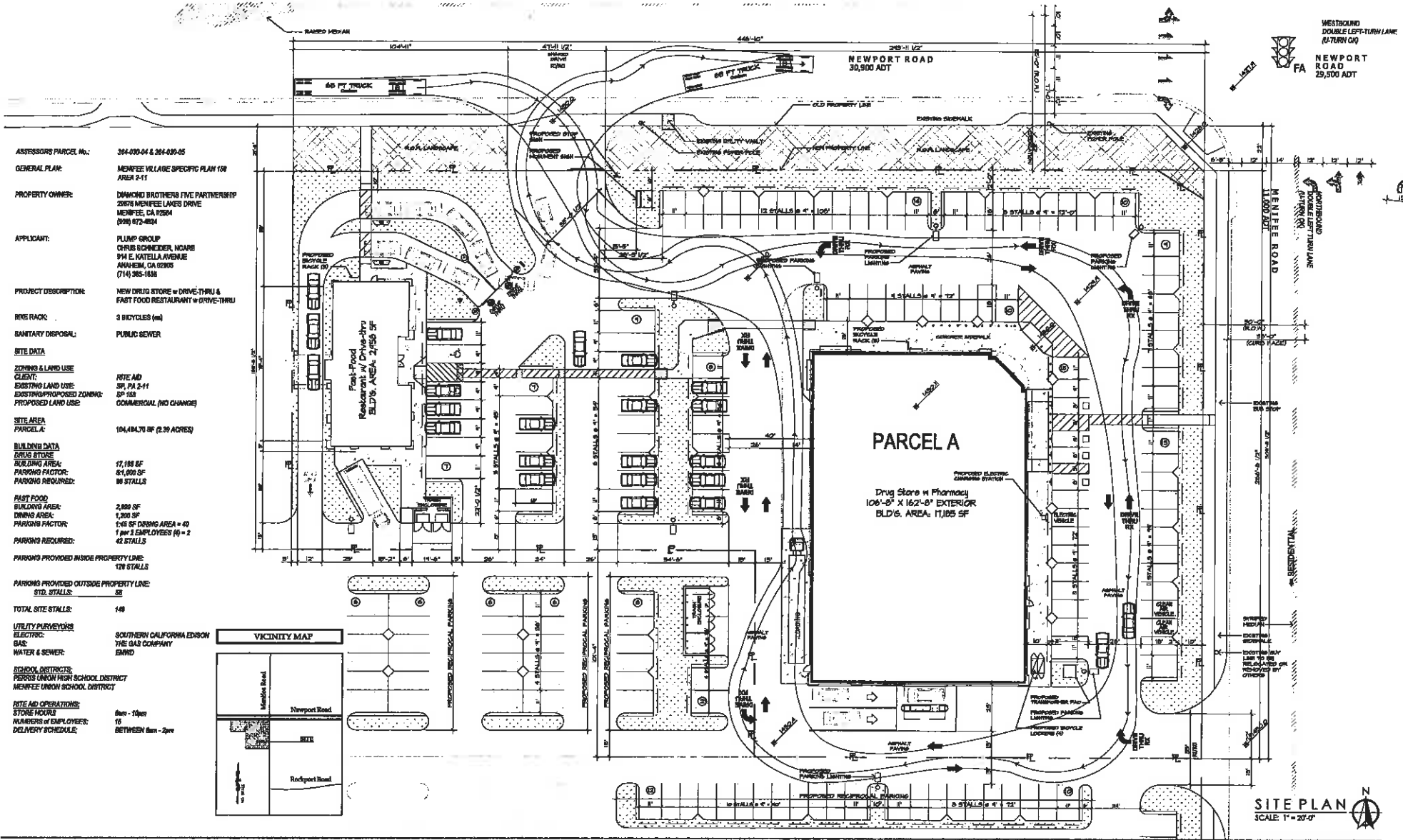


**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

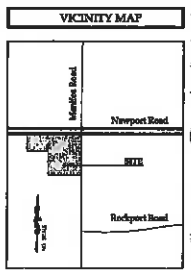
REPORT PRINTED ON... 7/10/2015 12:45:14 PM

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## Notes



**ASSESSORS PARCEL No.:** 364-030-04 & 264-030-05  
**GENERAL PLAN:** MENEFEE VILLAGE SPECIFIC PLAN 108 AREA 2-11  
**PROPERTY OWNER:** DIAMOND BROTHERS FIVE PARTNERSHIP  
 2876 MENEFEE LAKES DRIVE  
 MENEFEE, CA 92584  
 (951) 472-4824  
**APPLICANT:** PLUMP GROUP  
 CHRIS SCHNEIDER, INCORP  
 794 E. WATTELL AVENUE  
 ANAHEIM, CA 92805  
 (714) 985-1833  
**PROJECT DESCRIPTION:** NEW DRUG STORE W/ DRIVE-THRU & FAST FOOD RESTAURANT W/ DRIVE-THRU  
**ROE RACK:** 3 BICYCLES (m)  
**SANITARY DISPOSAL:** PUBLIC SEWER  
**SITE DATA**  
**ZONING & LAND USE**  
**CLIENT:** RTE AD  
 SP, PA 2-11  
**EXISTING LAND USE:** SP 103  
**EXISTING PROPOSED ZONING:** COMMERCIAL (NO CHANGE)  
**PROPOSED LAND USE:** COMMERCIAL (NO CHANGE)  
**SITE AREA**  
**PARCEL A:** 104,484.70 SF (2.39 ACRES)  
**BUILDING DATA**  
**DRUG STORE**  
**BUILDING AREA:** 17,188 SF  
**EXISTING AREA:** 81,000 SF  
**PARKING FACTOR:** 88 STALLS  
**FAST FOOD**  
**BUILDING AREA:** 2,800 SF  
**DINING AREA:** 1,200 SF  
**PARKING FACTOR:** 1.45 SF DINING AREA = 40  
 1 per 3 EMPLOYEES (E) = 2  
**PARKING REQUIRED:** 42 STALLS  
**PARKING PROVIDED INSIDE PROPERTY LINE:** 128 STALLS  
**PARKING PROVIDED OUTSIDE PROPERTY LINE:** 58  
**STD. STALLS:** 58  
**TOTAL SITE STALLS:** 148  
**UTILITY PURVEYORS**  
**ELECTRIC:** SOUTHERN CALIFORNIA EDISON  
**GAS:** THE GAS COMPANY  
**WATER & SEWER:** SHWD  
**SCHOOL DISTRICTS:** PERRIS UNION HIGH SCHOOL DISTRICT  
 MENEFEE UNION SCHOOL DISTRICT  
**RTE AD OPERATIONS:**  
**STORE HOURS:** 8am - 10pm  
**NUMBERS OF EMPLOYEES:** 16  
**DELIVERY SCHEDULE:** BETWEEN 8am - 2pm



**SITE PLAN**  
 SCALE: 1" = 20'-0"

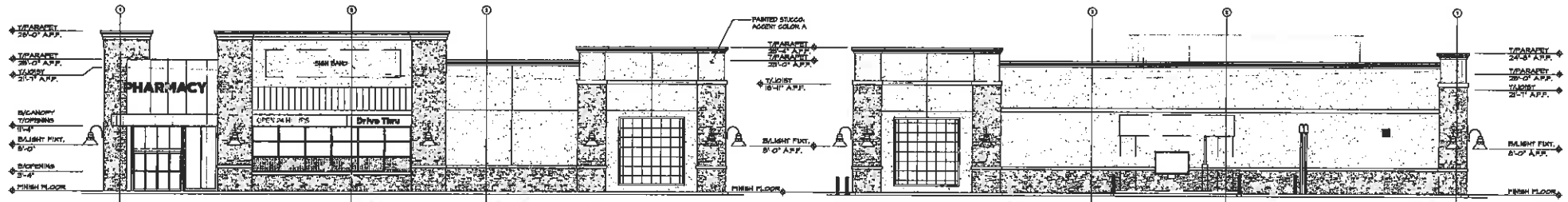
**Parkcrest Construction, Inc.**  
 A Real Estate Development Company  
 2910 S. Archibald Avenue, Suite A-350  
 Ontario CA 91761

**SWC Newport Road & Menifee Road**  
**Drug Store w/ Drive - Thru & Fast Food w Drive Thru**  
 Menifee, CA (Riverside County)

REVISIONS	DATE	BY
△ ACCESS PLANNING		
△ SITE PLANNING		
△		
△		
△		



PREPARED BY: [Signature]  
 SHEET NUMBER: **EX-1**  
 PLANNING # 24-0501

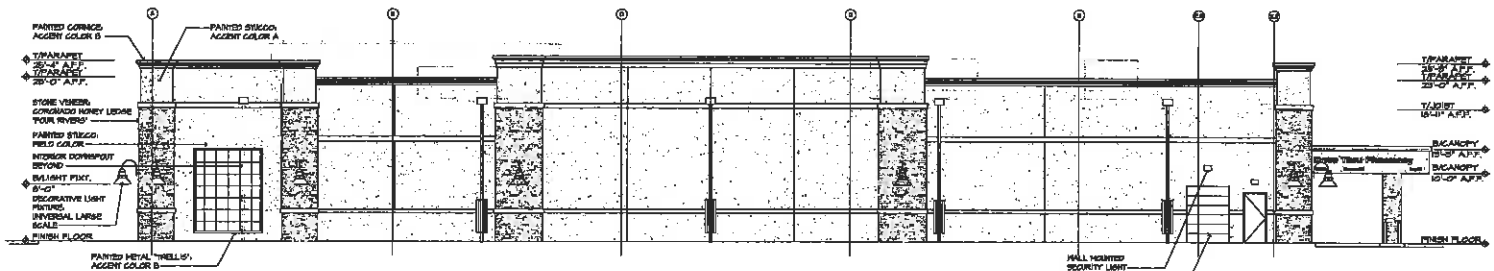


**South Elevation**

Scale: 1/8" = 1'-0"

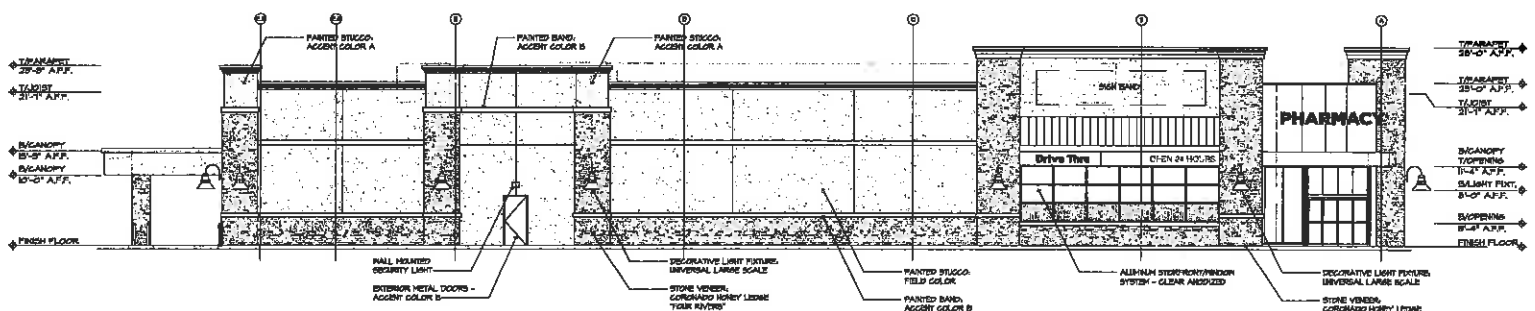
**North Elevation (From Newport Road)**

Scale: 1/8" = 1'-0"



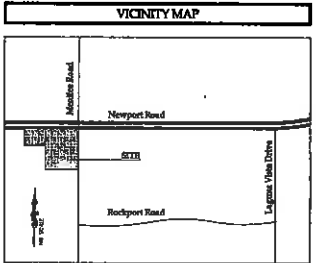
**West Elevation**

Scale: 1/8" = 1'-0"



**East Elevation (From Menifee Road)**

Scale: 1/8" = 1'-0"



**Parkcrest Construction, Inc.**  
 A Real Estate Development Company  
 2910 S. Archibald Avenue, Suite A-350  
 Ontario CA 91761

**SWC Newport Road & Menifee Road**  
**Drug Store w/ Drive - Thru & Fast Food w Drive Thru**  
 Menifee, CA (Riverside County)

- REVISIONS
- △
- △
- △
- △
- △



April 22, 2016  
 SHEET NUMBER  
**EX-2**  
 PLANNING NO. 162001

**PAGE BREAK**



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



July 8, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

**Director**  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Candice Assadzadeh, Assistant Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1131MA15  
Related File No.: P15-0337 (Conditional Use Permit)  
APN: 223-141-021

Dear Ms. Assadzadeh:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to establish a charter school serving up to 300 kindergarten through eighth grade students within a portion of the existing Seventh-Day Adventist Church building with an address of 5320 Victoria Avenue on 4.25 acres located on the easterly side of Victoria Avenue, northerly of Central Avenue and westerly of the westerly terminus of Hampshire Road, in the City of Riverside.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, land use intensity is not restricted.

No additional building height is proposed by this additional use of the facility. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or



amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and lessees or tenants of the buildings thereon.
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

JJGJG

Attachments: Notice of Airport in Vicinity

**AIRPORT LAND USE COMMISSION**

**July 8, 2015**

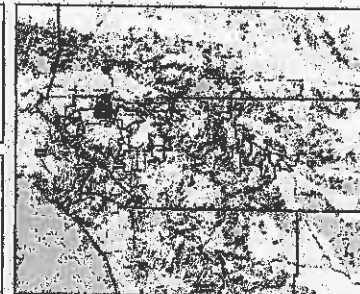
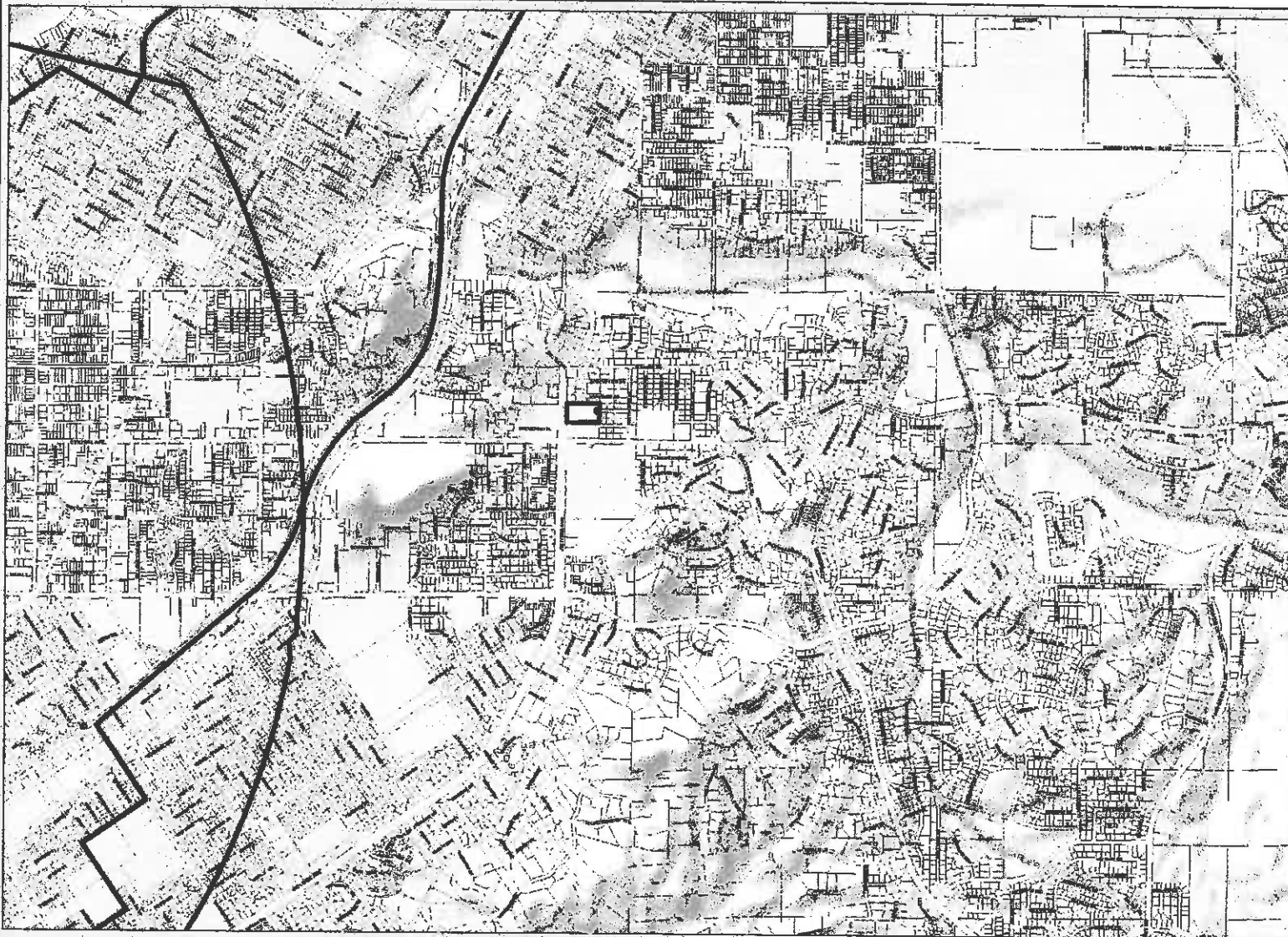
cc: River Springs Charter School (applicant/lessee)  
Larry Slusser (project representative)  
Southeastern Calif. Conference of Seventh-Day Adventists (property owner)  
Russell Rumansoff, Herron + Rumansoff Architects, Inc. (architect)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
Kim Ellis, Airport Manager, Riverside Municipal Airport  
Beth LaRock, Airport Manager, Flabob Airport  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1125MA15\ZAP1125MA15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# My Map



## Legend

- Airports
- AIA
- Runways
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies**
- Lakes
- Rivers



0 3,293 6,587 Feet



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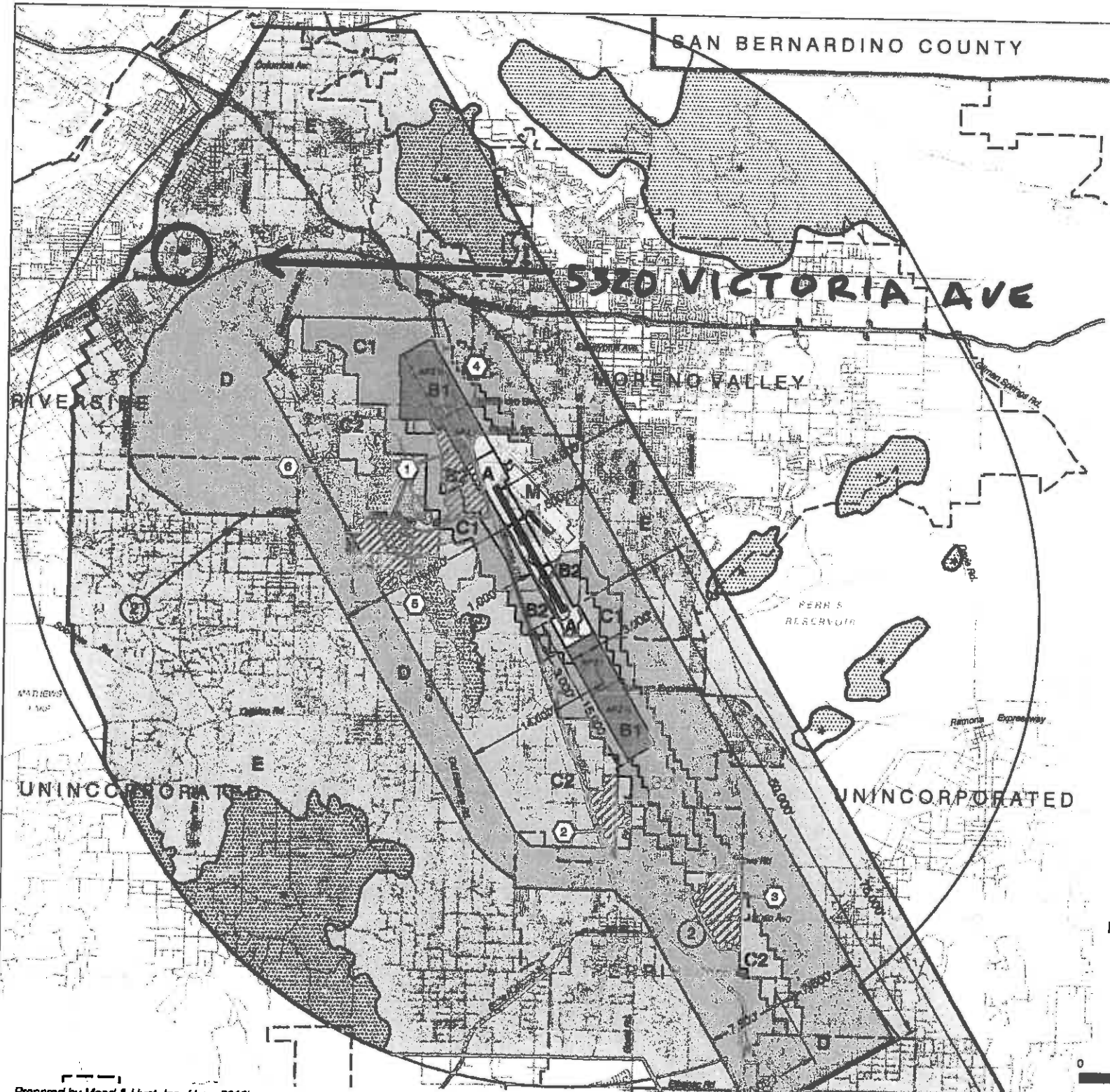
REPORT PRINTED ON... 7/7/2015 1:00:51 PM

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## Notes

SAN BERNARDINO COUNTY

5320 VICTORIA AVE



Prepared by Mead & Hunt, Inc. (June 2013)

SFF INSET AT RIGHT

N  
A  
R  
U



R2

# My Map



## Legend

— Runways



0 11,134 22,269 Feet



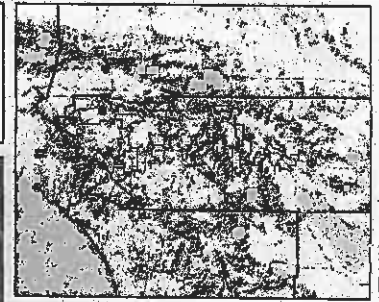
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## Notes

# My Map



## Legend

- RCLIS Parcels
- AIA
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 696 1,392 Feet



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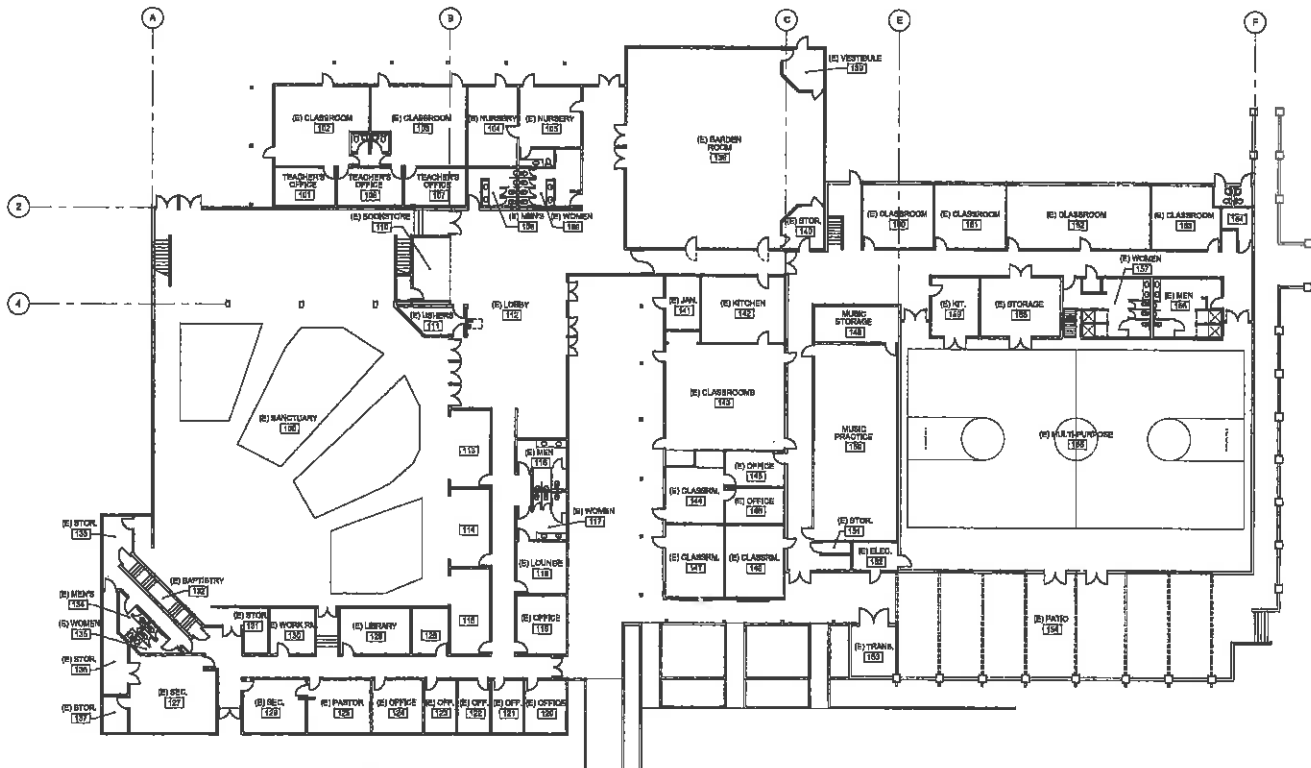
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## Notes







FIRST FLOOR PLAN

SCALE  
1/8" = 1'-0"

**TENIANT IMPROVEMENTS**  
**RIVER SPRINGS CHARTER SCHOOL**  
5200 VICTORIA AVENUE, RIVERSIDE CALIFORNIA

**herron**  
**rumannoff**

ARCHITECTS, INC.

PROJECT NO. 1001  
REV. 10-19  
A-2.0

DATE: 01-19-19  
PROJECT: TENIANT IMPROVEMENTS  
DRAWN BY: J. RUMANNOFF  
CHECKED BY: J. RUMANNOFF  
SCALE: 1/8" = 1'-0"

3400 St. John Pl. Riverside, California 92506  
951 682-4431 951 682-0375 Fax  
www.herronrumannoff.com



5320 VICTORIA AVE. NORTH ELEVATION



5320 VICTORIA AVE. EAST ELEVATION



5320 VICTORIA AVE. EAST EL FVATION



5320 VICTORIA AVE. WEST FI FVATION



5320 VICTORIA AVE. SOUTH ELEVATION

**PAGE BREAK**



**AIRPORT LAND USE COMMISSION  
RIVERSIDE COUNTY**



**CHAIR**  
Simon Housman  
Rancho Mirage

July 22, 2015

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Brian Norton, Associate Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

Glen Holmes  
Hemet

File No.: ZAP1136MA15  
Related File No.: P14-0244 (Tentative Tract Map)  
APN: 222-250-027

John Lyon  
Riverside

Dear Mr. Norton:

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to subdivide 1.99 acres located northeasterly of Central Avenue, northwesterly of Fairview Avenue, and westerly of Rawlings Place in the City of Riverside into 6 single family residential lots.

**STAFF**

Director  
Ed Cooper

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, land use intensity is not restricted.

John Guerin  
Russell Brady  
Barbara Santos

The elevation of Runway 14-32 at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). The proposed maximum pad elevation is 1038.0 feet AMSL. The existing R-1-13000 zone allows a maximum building height of 35 feet, for a total maximum elevation of 1073 feet AMSL (more than 400 feet lower than the elevation of the runway at March ARB/IPA). Additionally, the site is located beyond the 20,000 foot radius from the nearest runway at Riverside Municipal Airport. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons would not be required.

County Administrative Center  
4080 Lemon St, 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:



- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to the tenants of the homes thereon.
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

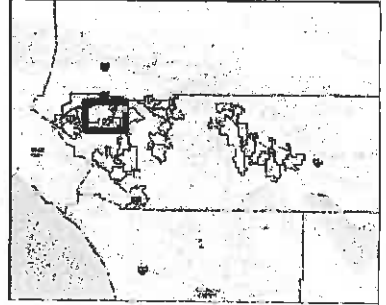
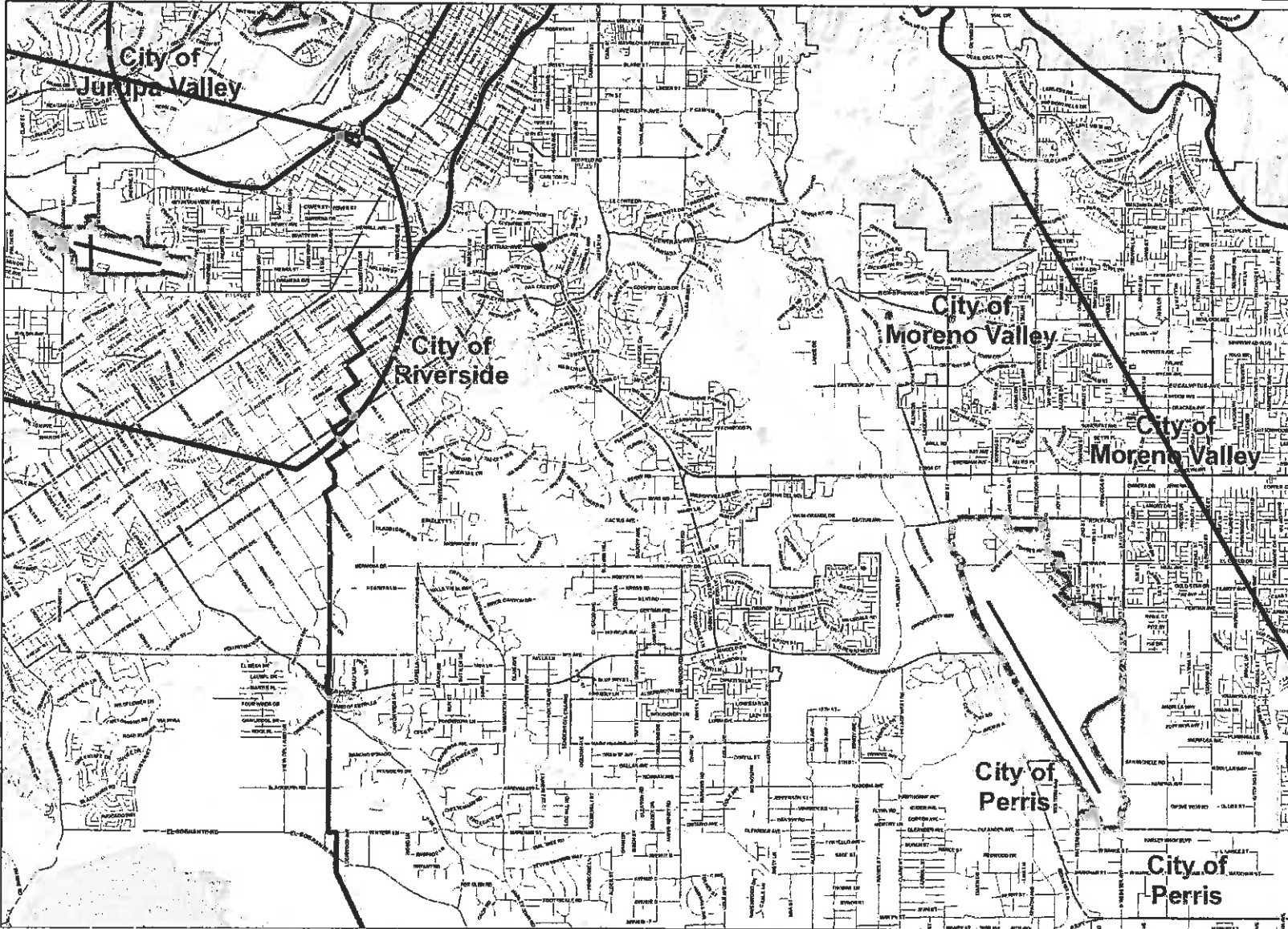
Attachments: Notice of Airport in Vicinity

cc: Steve Walker Communities (applicant/owner)  
SDH and Associates Inc. (project representative/payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# My Map



### Legend

- Airports
- AIA
- Runways
- City Boundaries
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways: 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities

0 11,141 22,283 Feet

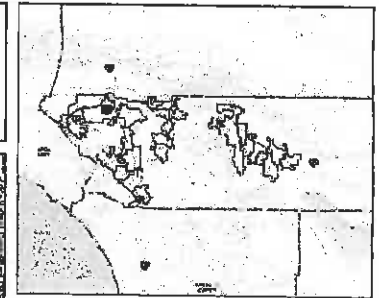
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 7/22/2015 9:52:43 AM






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### Notes

# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  AIA
-  Runways
-  City Boundaries



0

1,393

2,785 Feet



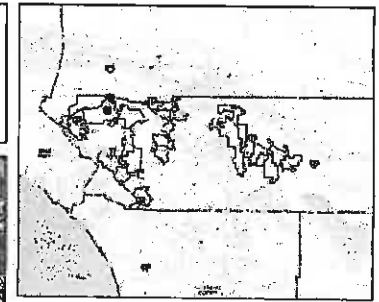
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries



0

696

1,393 Feet

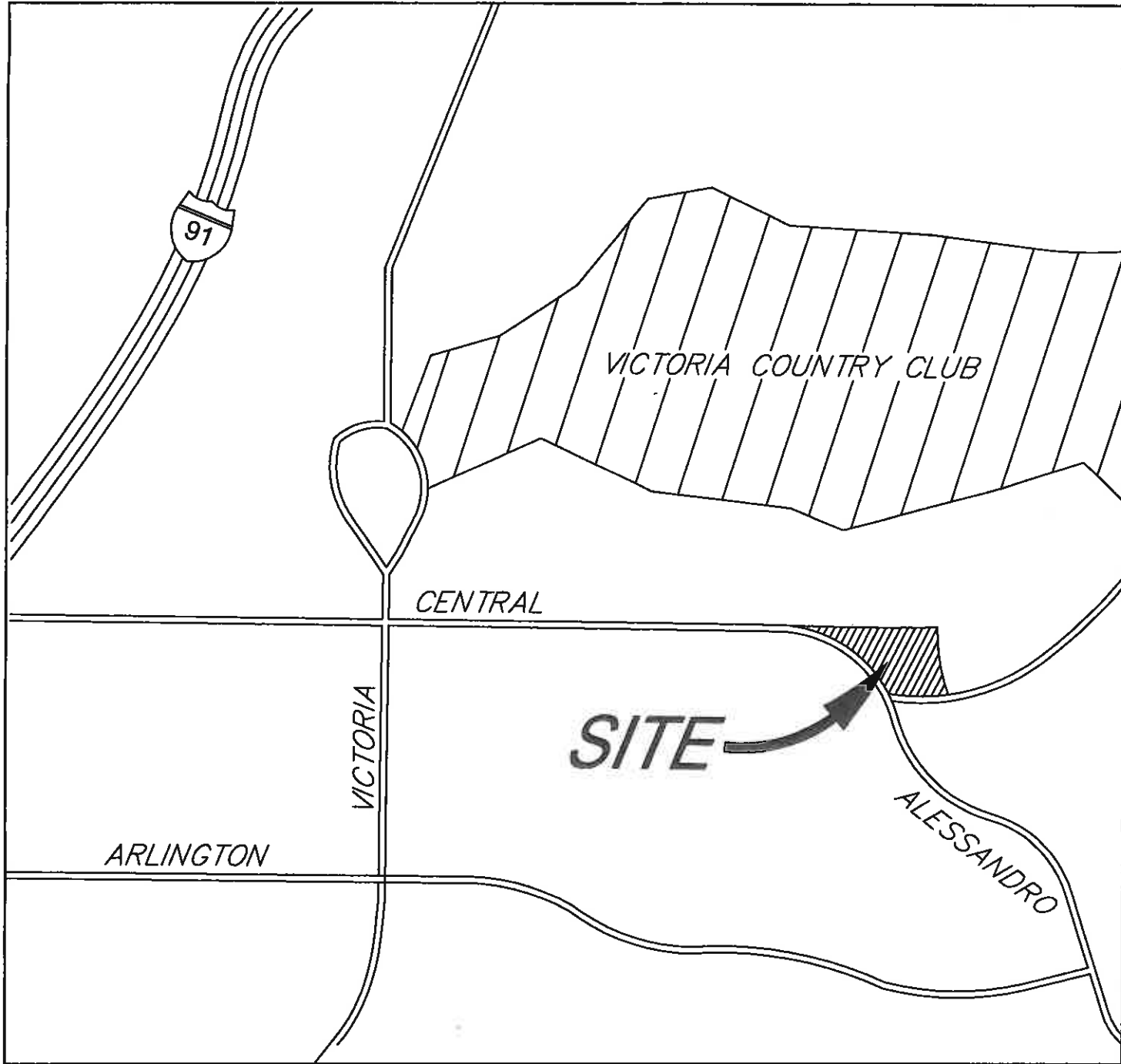


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## Notes

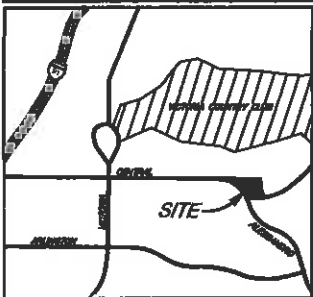


***VICINITY MAP***

NOT TO SCALE

# TENTATIVE TRACT MAP NO 36703

PORT. SEC. 36, T.25, R.2W, S.B.M.  
JUNE 2014



VICINITY MAP  
NOT TO SCALE

**CHURCH ADJACENT**  
STEVENS BROTHERS COMMUNITIES INC.  
7101 BARNUM AVE.  
RIVERSIDE, CA 92507  
PHONE (951) 574-3079

**ENGINEER**  
SCH AND ASSOCIATES, INC.  
5225 CANYON CREST DR., STE 7143B  
RIVERSIDE, CALIFORNIA 92507  
TEL: (951) 683-3811  
FAX: (951) 789-2314

**ASSASSOR PARCEL NO.**  
552-550-057

LEGAL DESCRIPTION	LOT AREA	LOT #	ACR. AREA	SQ. FT. AREA
LOT 1	13,688 S.F.	1	0.312 AC.	13,688 S.F.
LOT 2	13,688 S.F.	2	0.312 AC.	13,688 S.F.
LOT 3	13,688 S.F.	3	0.312 AC.	13,688 S.F.
LOT 4	13,688 S.F.	4	0.312 AC.	13,688 S.F.
LOT 5	13,688 S.F.	5	0.312 AC.	13,688 S.F.
LOT 6	13,688 S.F.	6	0.312 AC.	13,688 S.F.

**GENERAL PLAN DESIGNATION**  
LDR

**ZONING AND LAND USE**  
EXISTING ZONING: LDR  
PROPOSED ZONING: LDR

**EXISTING LAND USE:** VACANT  
**PROPOSED LAND USE:** RESIDENTIAL

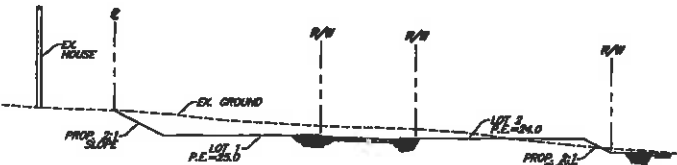
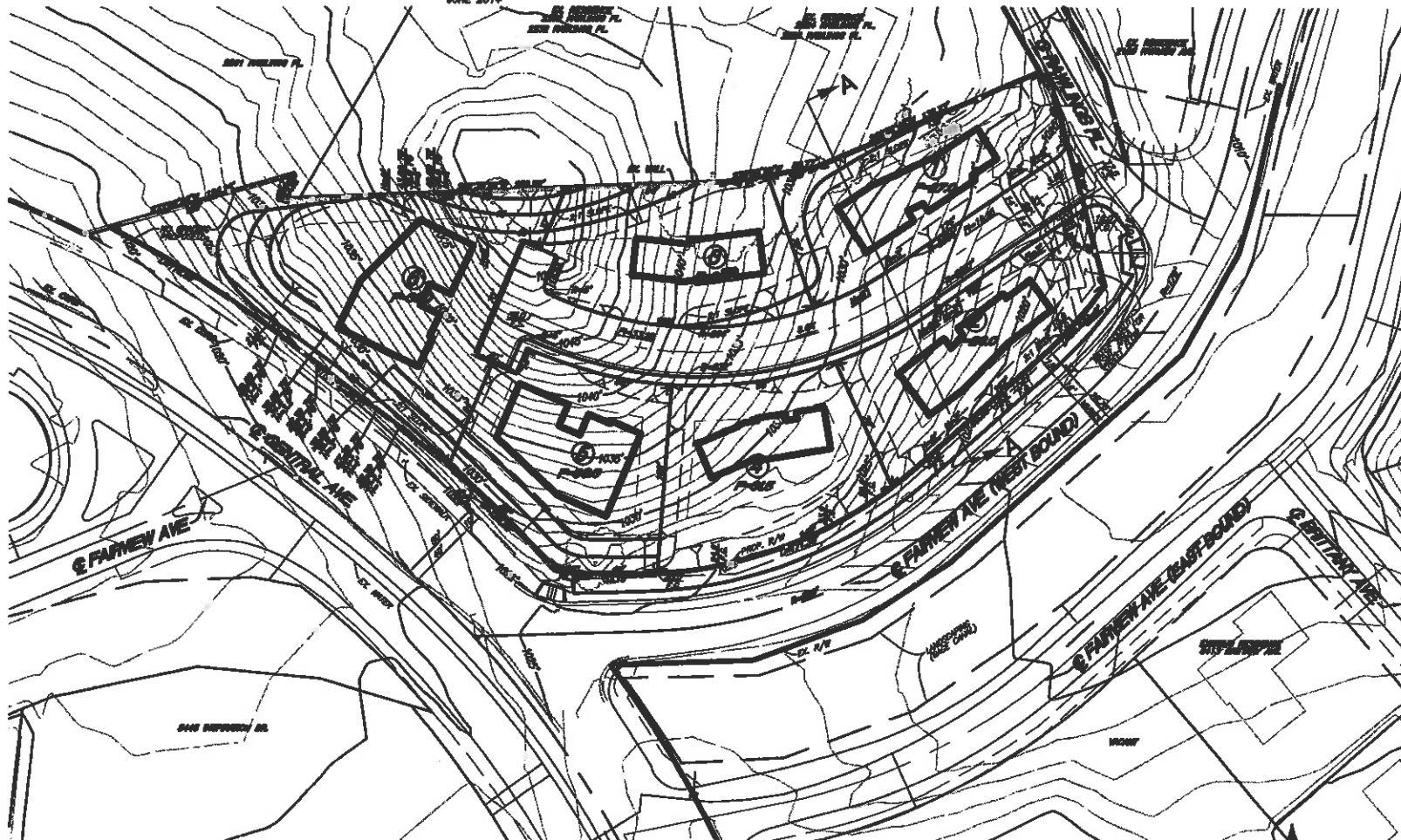
**RECOMMENDED ZONING AND LAND USE**  
NORTH: LDR  
SOUTH: LDR  
WEST: LDR

**UTILITY UTILITIES**  
WATER: CITY OF RIVERSIDE  
SEWER: SDG&D  
ELECTRICAL: CITY OF RIVERSIDE  
TELEPHONE: SBC  
CABLE: CHARTER COMMUNICATIONS

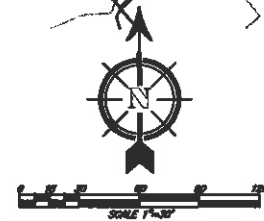
**SCHOOL DISTRICT**  
RIVERSIDE UNIFIED SCHOOL DISTRICT

## LEGEND

	P.O. - PROPOSED GRADE
	P.L. - PLUM LINE
	R/W - RIGHT OF WAY
	EX. - EXISTING
	PRO. - PROPOSED
	GR. - GRADE BOUNDARY
	T.W. - TRACT BOUNDARY
	CONTOUR - CONTOUR LINE
	CLUB AND GUTTER
	EXISTING CONTOUR LINE
	PROPOSED CONTOUR LINE
	LOT LINE
	SLOPE
	WATER QUALITY IMP. AREA



SECTION A-A  
SCALE 1"=10'



	PREPARED BY: 	SCH AND ASSOCIATES, INC. 5225 CANYON CREST DRIVE T143B RIVERSIDE, CALIFORNIA 92507 TEL: (951) 683-3811 FAX (951) 789-2314	1 OF 1 SHEETS
	DATE: JAN 2014	TENTATIVE TRACT MAP 36703	

**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



July 28, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Mr. Nathan G. Perez, Associate Planner  
City of Perris Planning Division  
101 North "D" Street  
Perris CA 92570

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1007PV15  
Related File No.: CUP 15-05056 (Conditional Use Permit)  
APNs: 310-052-030, 310-052-031, 310-052-032

Dear Mr. Perez:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to develop a 3,000 square foot commercial building including a drive-thru on 0.46 acres located on the southerly side of 4<sup>th</sup> Street, easterly of F Street and westerly of G Street, in the City of Perris.

The site is located within Airport Compatibility Zone E of the Perris Valley Airport Influence Area (AIA) and Airport Compatibility Zone E of the March Air Reserve Base/Inland Port AIA. Within Compatibility Zone E for both Airport Land Use Compatibility Plans, land use intensity is not restricted.

The elevation of Perris Valley Airport Runway 15-33 at its northerly terminus is approximately 1,413 feet above mean sea level (1413 feet AMSL). At a distance of approximately 3,700 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1450 feet AMSL. The project has a total maximum finished floor elevation of 1429.8 feet AMSL and a maximum building height of 24 feet for a total elevation of 1453.8 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service was required in relation to Perris Valley Airport. (The site is located more than 20,000 feet from March Air Reserve Base at a lower elevation than the March runway. Therefore, there were no height/elevation concerns in relation to March Air Reserve Base/Inland Port Airport.)

On July 10, 2015, the Federal Aviation Administration issued a Determination of No Hazard to Air Navigation for this project following its completion of Aeronautical Study No. 2015-AWP-6822-OE.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2010/2011 Perris Valley Airport Land Use Compatibility Plan (and the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan), subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the proposed building, and shall be recorded as a deed notice.
4. Any new detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2015-AWP-6822-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.

6. The maximum height of the proposed building (to top point, including any roof-mounted appurtenances) shall not exceed 24 feet above ground level, and the maximum elevation of the proposed structure at top point shall not exceed 1,454 feet above mean sea level.
7. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
8. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
9. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB/JJGJG

Attachments: Notice of Airport in Vicinity

cc: Westmoreland Dynasty – Attn.: Al Steward (Redlands address) (applicant)  
GK Pierce Architects, Inc. – Attn.: Glenn Pierce (representative)  
Westmoreland Dynasty – Rosemead Boulevard address (property owner)  
Westmoreland Dynasty – Hart Avenue address (payee)  
Pat Conatser, Airport Manager, Perris Valley Airport  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\Perris Valley\ZAP1007PV15\ZAP1007PV15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
2601 Meacham Boulevard  
Fort Worth, TX 76193

Aeronautical Study No.  
2015-AWP-6822-OE

Issued Date: 07/10/2015

AI Steward  
Westmoreland Dynasty LP  
P.O. Box 7399  
Redlands, CA 92375

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building 345 E 4th Street Retail/ Restaurant
Location:	Perris, CA
Latitude:	33-46-55.00N NAD 83
Longitude:	117-13-33.00W
Heights:	1430 feet site elevation (SE) 24 feet above ground level (AGL) 1454 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 01/10/2017 unless:

- the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- extended, revised, or terminated by the issuing office.
- the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

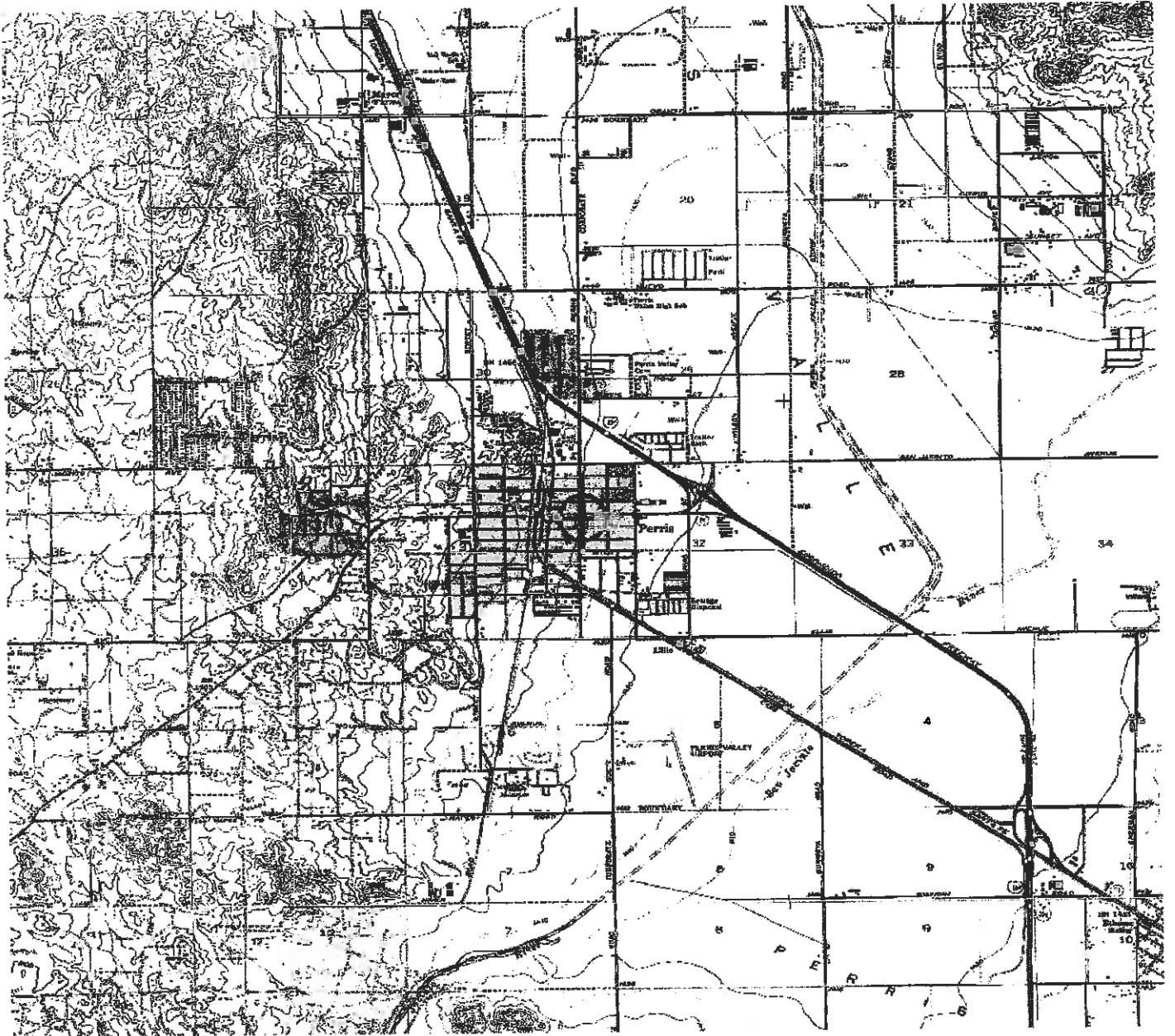
If we can be of further assistance, please contact our office at (425) 227-2625. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-6822-OE.

**Signature Control No: 255805217-257415237**  
Paul Holmquist  
Technician

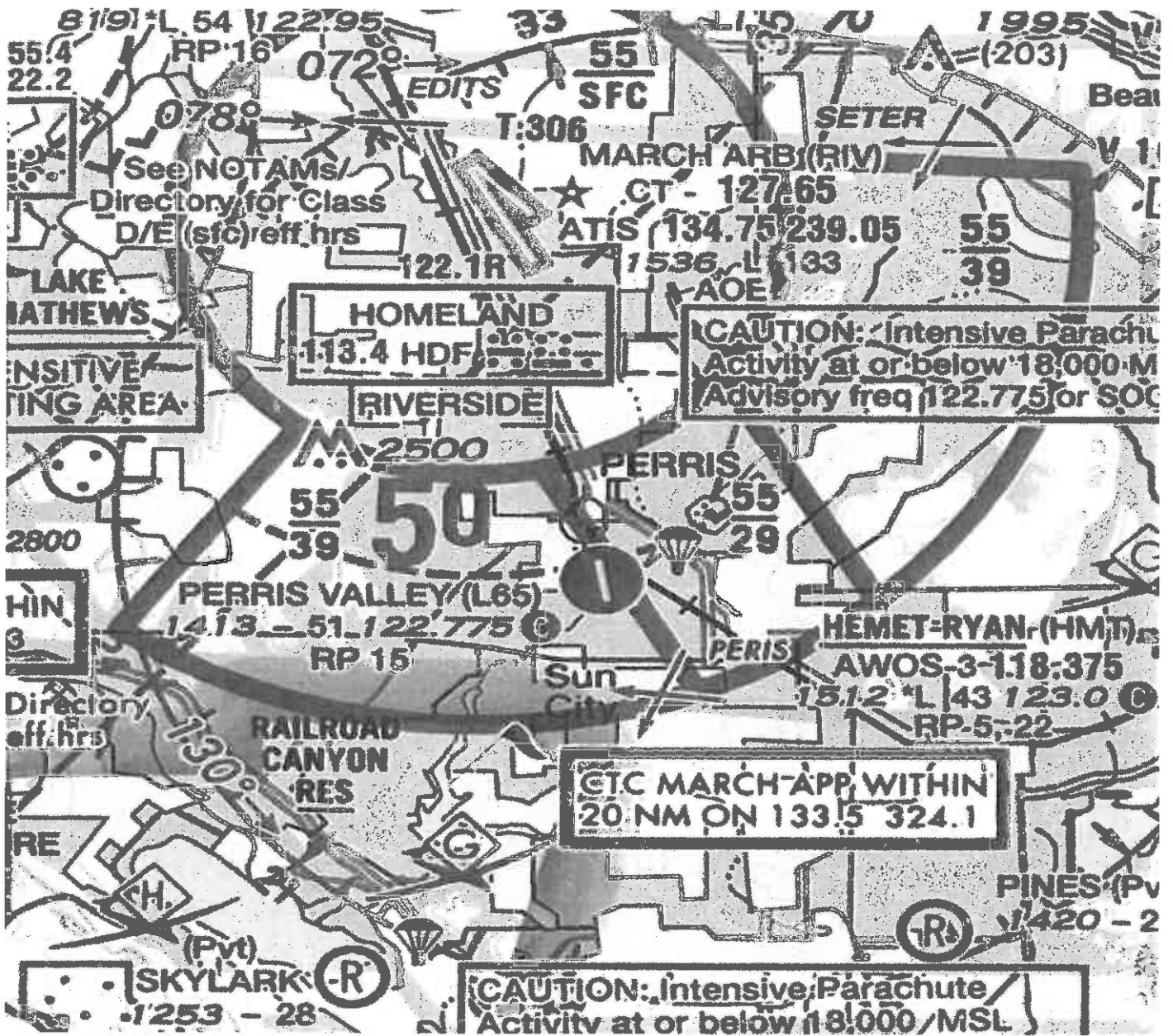
( DNE )

Attachment(s)  
Map(s)

TOPO Map for ASN 2015-AWP-6822-OE



Sectional Map for ASN 2015-AWP-6822-OE





DIDO Fwy S  
ESCONDIDO Fwy S

MARCH ARB

State Recreation Area

Farmers Fairgrounds  
Ramona Expy

Cajalco Rd

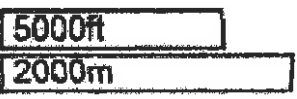
E Nuevo Rd

Nuevo Rd

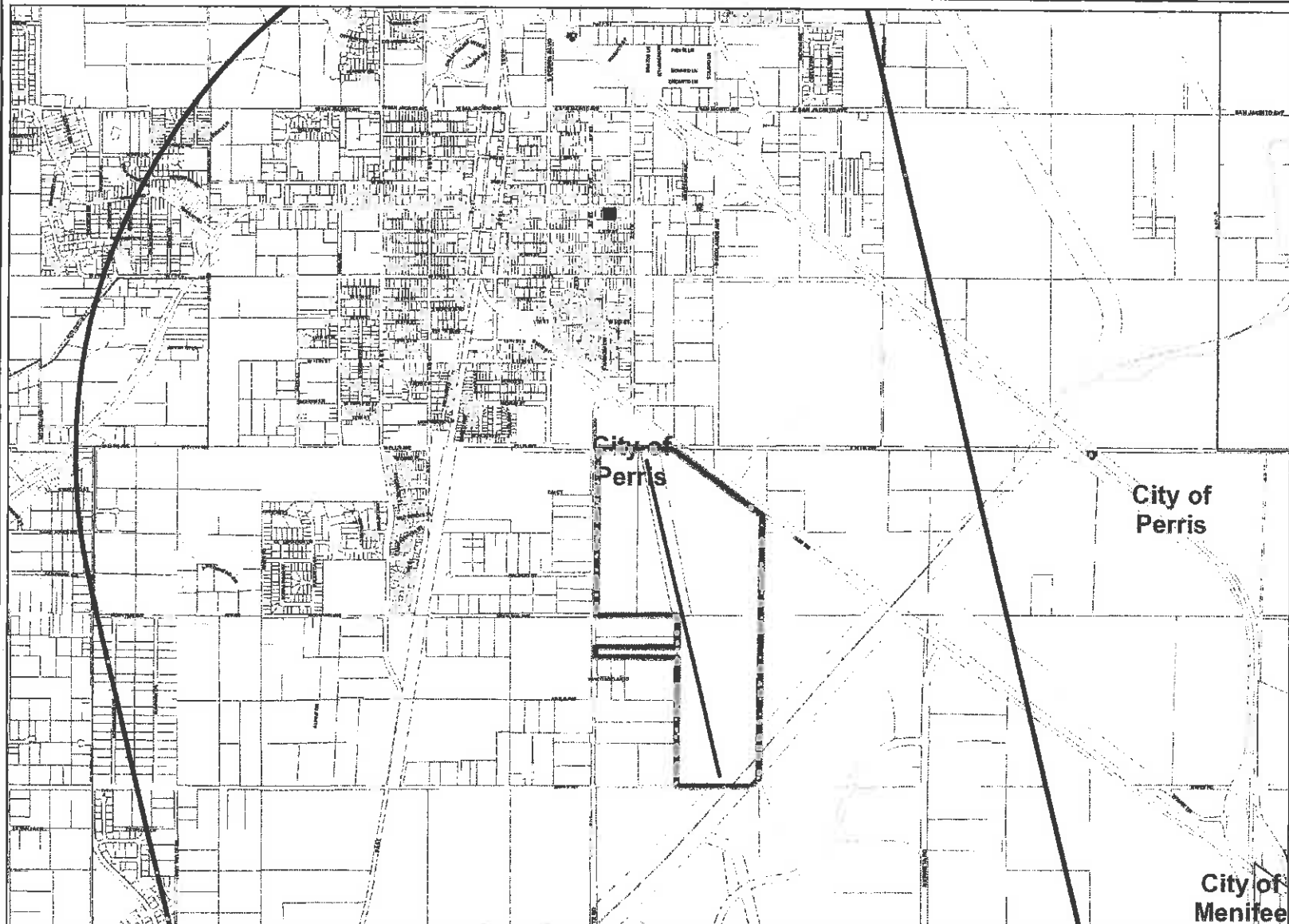
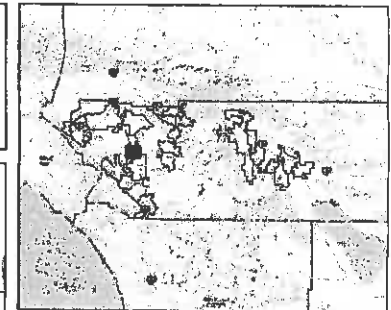
Perris

PROJECT SITE

PERRIS VALLEY AIRPORT



# My Map



### Legend

- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,909 5,818 Feet



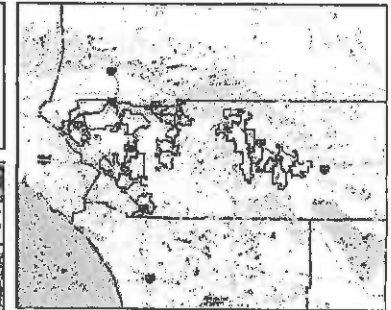
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### Notes

# My Map



## Legend

- RCLIS Parcels
- AIA
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



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364

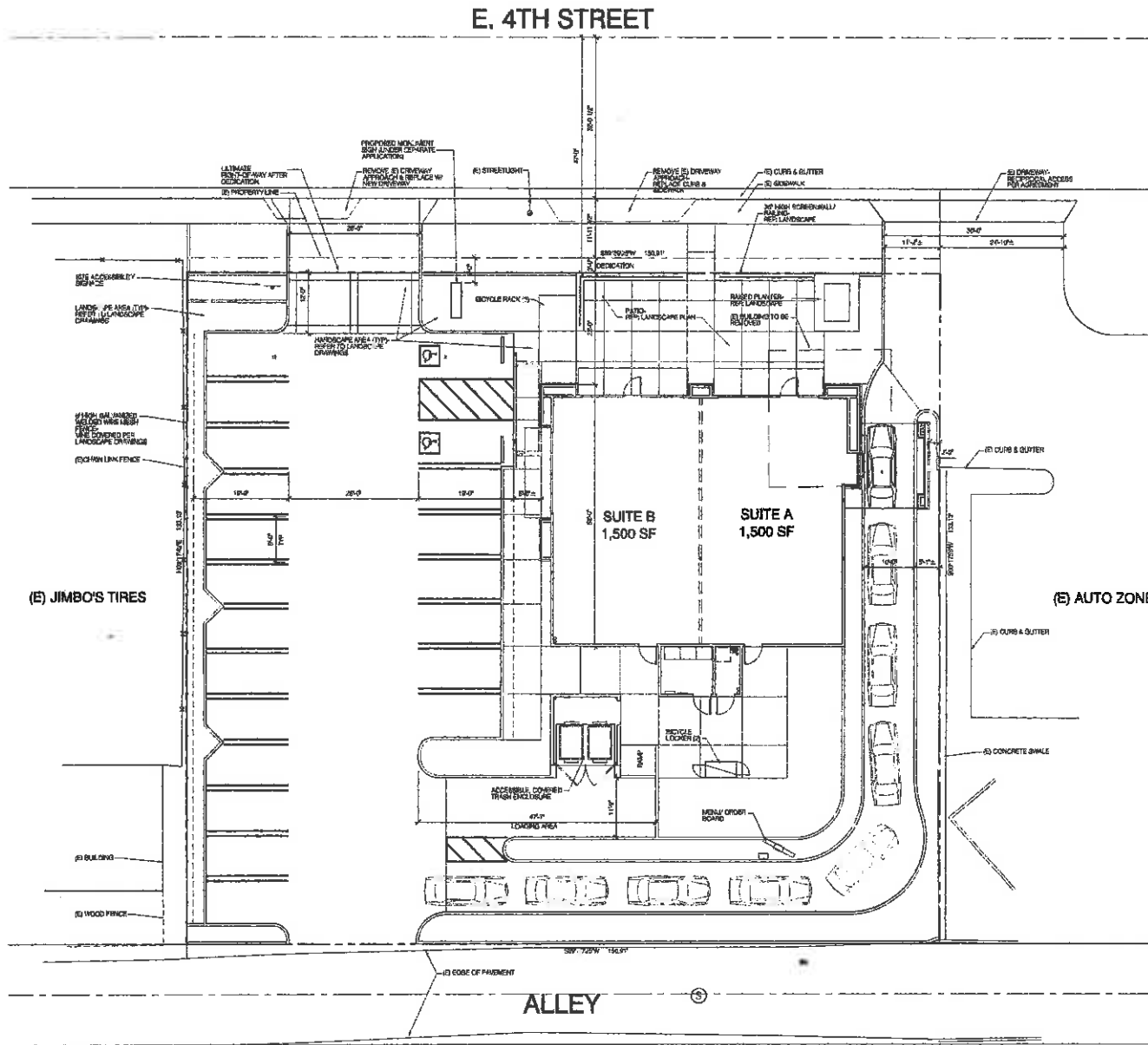
727 Feet



REPORT PRINTED ON... 7/29/2015 9:24:09 AM

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## Notes



**LEGAL**

PROPERTY OWNER:  
WESTMORELAND DYNASTY LP  
P.O. BOX 7399  
REDLANDS, CA 92375

ASSESSOR'S PARCEL NUMBERS:  
310-062-030  
310-062-031  
310-062-032

LEGAL DESCRIPTION:  
LOTS 5, 6 & 7, BLOCK 10 OF CARPENTERS  
ADDITION TO PERRIS, IN THE CITY OF PERRIS,  
COUNTY OF RIVERSIDE, STATE OF  
CALIFORNIA, AS PER MAP RECORDED IN  
BOOK 4 PAGE 244 OF MAPS, IN THE OFFICE  
OF THE COUNTY RECORDER OF SAN DIEGO  
COUNTY.

**ZONING**

GENERAL PLAN: DTSP  
ZONING: DTSP  
4TH STREET CORRIDOR

SETBACKS:  
FRONT: 15'  
SIDE: 0'  
REAR: 0'

FLOOD ZONE:  
FIRM PANEL: 06065C1406 ZONE X  
SCHOOL DISTRICT: PERRIS UNION H.S.

**UTILITY PURVEYORS**

SEWER & WATER:  
CITY OF PERRIS WATER DISTRICT

ELECTRICAL:  
SOUTHERN CALIFORNIA EDISON

TELEPHONE:  
VERIZON

CABLE:  
VERIZON TIME WARNER

**PROJECT SUMMARY**

LAND AREA: 0.16 AC (20,000 SF±)

DRIVE-THRU RESTAURANT: 1,500 SF  
RESTAURANT: 1,500 SF  
TOTAL BUILDING AREA: 3,000 SF  
BUILDING COVERAGE (F.A.R.): 14.8%

**PARKING**

REQUIRED PARKING:  
3.6500 (PER SPECIFIC PLAN): 21 STALLS  
TOTAL PARKING PROVIDED: 21 STALLS  
DRIVE-THRU STACKING: 9 STALLS

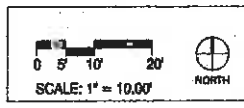
NOTE:  
BUILDING AREAS AND LAND COVERAGE ARE PRELIMINARY AND  
SUBJECT TO ALL APPLICABLE ENVIRONMENTAL REGULATIONS AND  
SUBJECT TO APPROVAL OF GOVERNMENT AGENCIES.  
ADDITIONAL CONDITIONS: ALL DIMENSIONS AND SET-  
BACKS ARE SUBJECT TO VERIFICATION.

**CONCEPTUAL SITE PLAN SCHEME E VERSION 6**

345 E. 4TH STREET PERRIS, CA  
WESTMORELAND DYNASTY LP  
19 MAY 2015

**PIERCE ARCHITECTS**

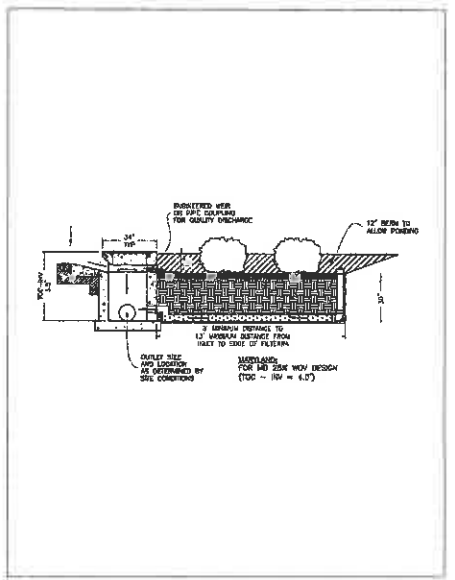
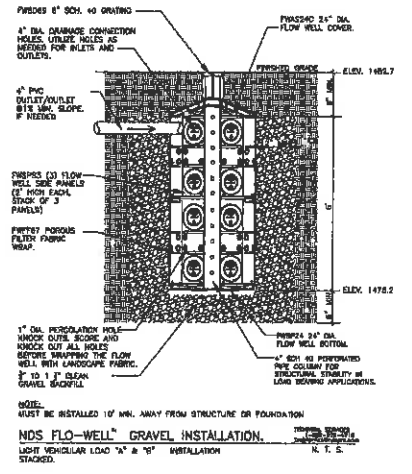
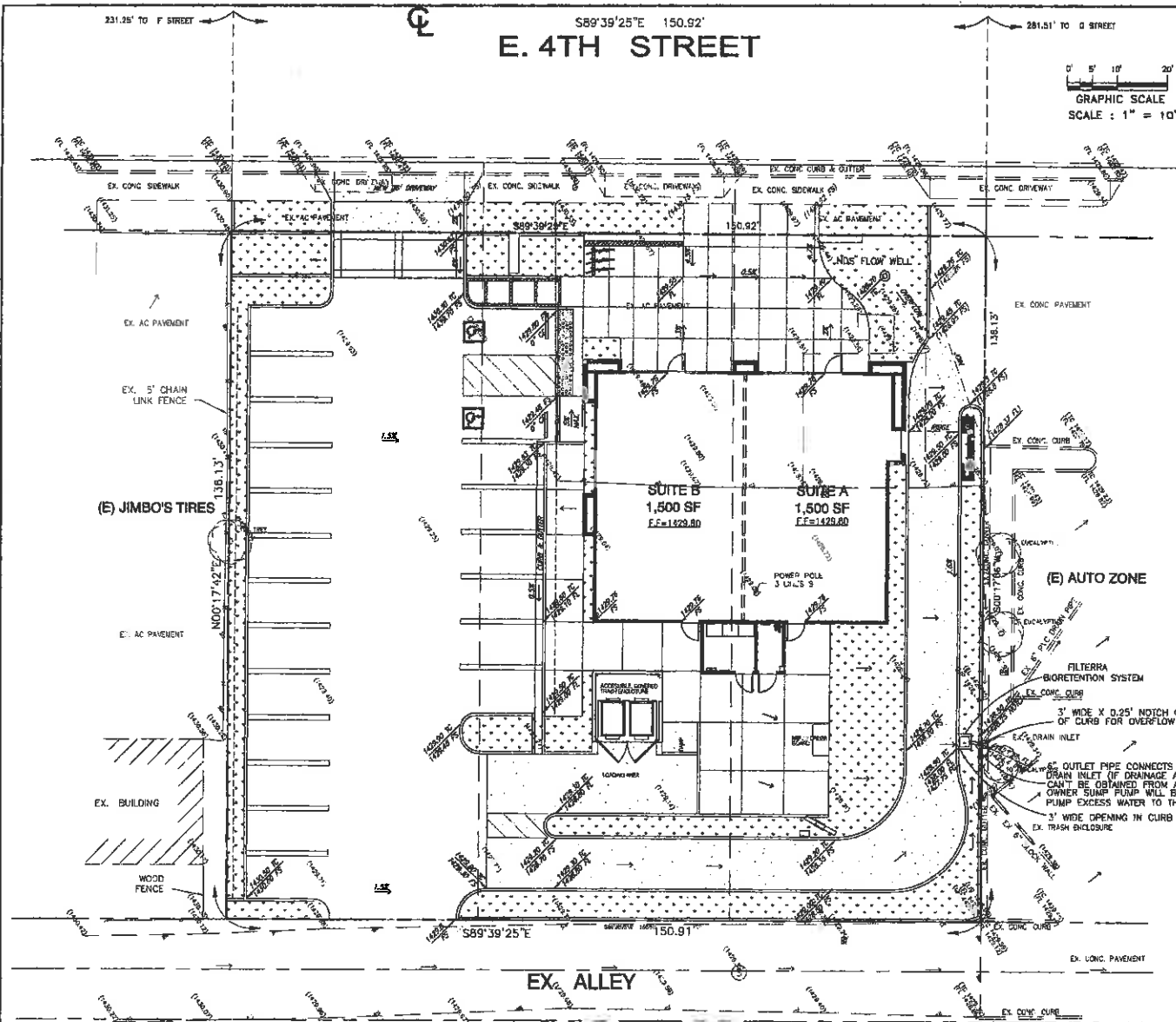
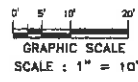
3 COVERLINE  
ALAMO VIEJO, CA 94501  
925.441.7770  
pierce@piercearchitects.com  
© 2015 PIERCE ARCHITECTS, INC. 01



**345 E. 4TH STREET PAD**  
PERRIS, CALIFORNIA

**WESTMORELAND DYNASTY, LP**  
P.O. BOX 7399  
REDLANDS, CA 92375  
951.640.3708

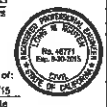
E. 4TH STREET



Underground Service Alert  
Southern California  
Call: TOLL FREE  
1-800  
227-2600  
TWO WORKING DAYS  
BEFORE YOU DIG

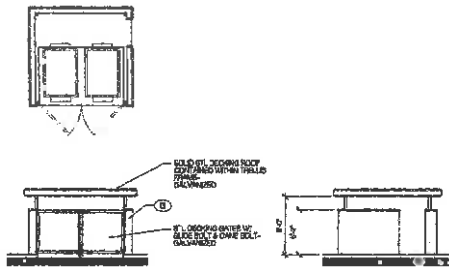
PLAN PREPARED FOR:  
**OWNER**  
**PERRIS PORC LP GROUP**  
c/o SCHMIDT REAL ESTATE ASSOCIATES, INC.  
P.O. BOX 7398  
REDLANDS, CA 92375  
(826) 873-8700  
Contact: Stanley Huang

ENGINEER  
**LN CIVIL ENGINEERS**  
Consulting Civil Engineers  
12188 Humboldt Place  
Orland, CA 91713  
(909) 465-0470  
Long.Ln@Verizon.net  
Plan prepared under supervision of:  
3/8/15  
Long Nguyen, P.E. # 48721, Date

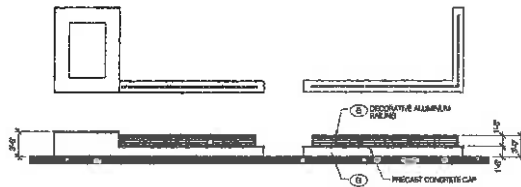


**CITY OF PERRIS**  
PUBLIC WORKS DEPARTMENT  
**PRELIMINARY GRADING PLAN**  
LITTLE CEASARS AND RETAIL  
ADDRESS: 345 E. 4TH STREET  
PERRIS, CA 92570

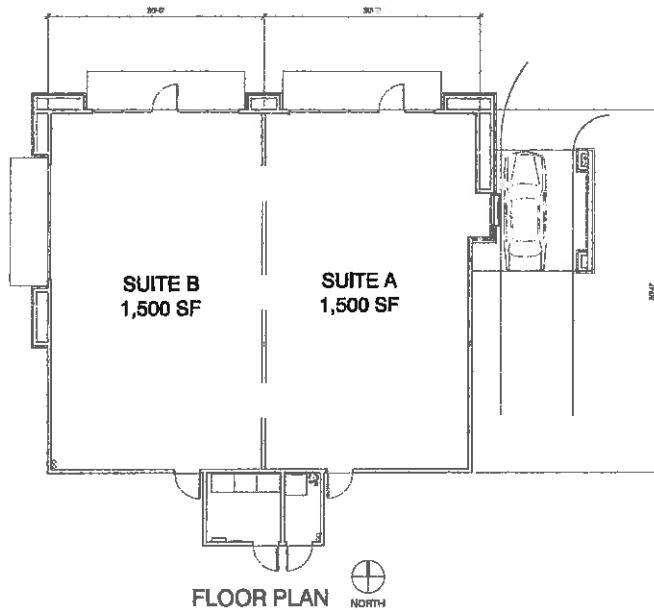
REVISIONS	DATE	APP'R.
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APPROVED: <td>DATE:</td> <td>WORKS: 1" = 20"</td>	DATE:	WORKS: 1" = 20"
NAME:	DATE:	VERT: N/A
PLAN NO.	DATE:	DATE:
		DATE:



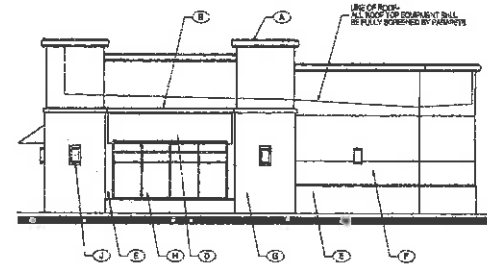
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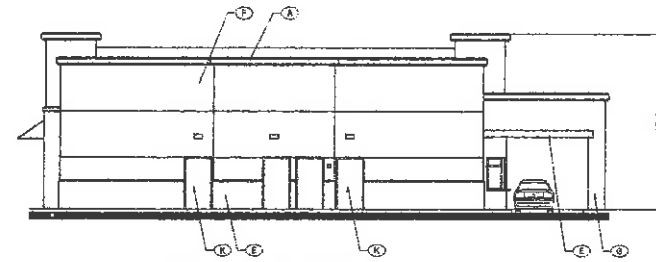
4TH STREET PATIO WALL



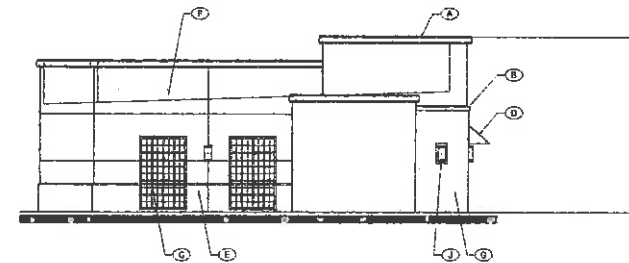
FLOOR PLAN



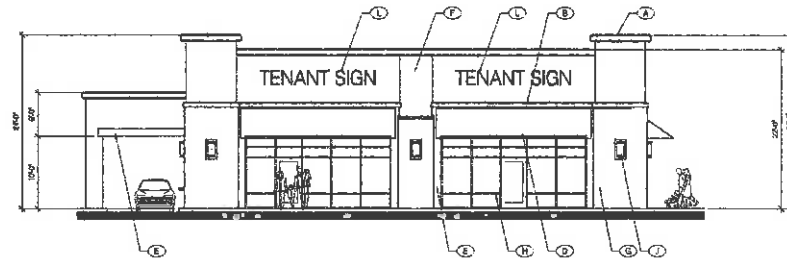
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH (4TH STREET) ELEVATION

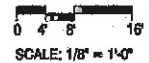
EXTERIOR MATERIALS & FINISHES

- A ALUMINUM CORNER  
COLOR: ANODIZED CLEAR
- B ALUMINUM TRIM  
COLOR: ANODIZED CLEAR
- C METAL WIRE TRUSS - BALANCED
- D FIRE RESISTANT FABRIC AND WIG  
SUNSHIELD BRASS-POUR DESAICE BAND
- E EXTERIOR CEMENT PLASTER WITH ACRYLIC FINISH  
COLOR TO MATCH QUARTZ BENCHTOPS SEE SHEET 'ENERGY COOL'
- F EXTERIOR CEMENT PLASTER WITH ACRYLIC FINISH  
COLOR TO MATCH QUARTZ BENCHTOPS SEE SHEET 'ENERGY COOL'
- G MANUFACTURED STONE VENEER  
BLOODWOOD VENEER FELDHOUSE (5/40/2012)
- H ALUMINUM STEREOPRINT II SYSTEM  
COLOR: ANODIZED CLEAR ALUMINUM
- I ZEPHYRUS LIGHT FIXTURE  
W/FR. COUPE
- J GALLED ELITE SERIES - EXTERIOR LIGHT FIXTURE BRASS  
FINISH: ANODIZED CLEAR ALUMINUM
- K METAL DOOR & FRAMES - PAINTED  
COLOR TO MATCH ADJACENT SURFACE
- L SIGN BY 'RENTAL' -  
UNDER SEPARATE SUBMITTAL

**FLOOR PLAN/  
EXT ELEVATIONS**

345 E. 4TH STREET  
PERRIS, CA

09/14 PROJECT #1154161  
14 MAY 2016



SCALE: 1/8" = 1'-0"

**345 E. 4TH STREET**  
PERRIS, CALIFORNIA

**WESTMORELAND DYNASTY, LP**  
P.O. BOX 7399  
REDLANDS, CA 92375  
951.640.3708

**P PIERCE ARCHITECTS**

300 AVENUE  
ALSO VEGAS, CA 90806  
951.640.3708  
pierce@piercedynasty.com

**PAGE BREAK**



RESOLUTION NO. 2015-01

**A RESOLUTION OF THE RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC) AUTHORIZING THE ALUC DIRECTOR TO TAKE ACTION ON LEGISLATIVE ITEMS IN AIRPORT COMPATIBILITY ZONE E OF THE MARCH AIR RESERVE BASE/INLAND PORT AIRPORT INFLUENCE AREA**

WHEREAS, pursuant to Public Utilities Code section 21670, the fundamental purpose of an Airport Land Use Commission is “. . . to protect public health , safety, and welfare by ensuring the orderly expansion of airports and the adoption of land use measures that minimize the public’s exposure to excessive noise and safety hazards within areas around airports...”.

WHEREAS, pursuant to Public Utilities Code section 21675, the Airport Land Use Commission (“ALUC”) is required to establish an airport influence area (“AIA”) for each public use and military airport within its jurisdiction and adopt an Airport Land Use Compatibility Plan (“ALUCP”) containing land use planning guidelines to promote compatible land use development within each AIA, to the extent the land is not already devoted to incompatible land uses: and,

WHEREAS, pursuant to Public Utilities Code section 21675.1, where a local agency’s general plan has not been found consistent with or has not been amended after adoption or amendment of an existing ALUCP, that local agency is required to submit all land use development actions involving property within the AIA to the ALUC for its determination of whether the land use development action is consistent with the adopted or amended ALUCP (“consistency determination”); and,

WHEREAS, in November 2014, the ALUC adopted the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (“March Plan”) which provides an area designated as Zone E where the only restriction to land use is the prohibition of uses that constitute a hazard to flight which may include, among other things, physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations, and land use features that may cause the attraction of birds;

WHEREAS, it has been found and determined by the ALUC that there have been, and will continue to be, applications by property owners located in jurisdictions which have not adopted the March Plan and are located within Zone E of the March Plan with proposed land uses, that, if the application were to be approved, would not be inconsistent with the purpose of the ALUC or the land use planning guidelines established in Zone E of the March Plan; and,

WHEREAS, it has been further found and determined that the ALUC Director has the resources and competence to review and determine when a proposal submitted pursuant to Public Utilities Code section 21676 would not be inconsistent with the purpose of the ALUC or the land use planning guidelines in Zone E of the March Plan; therefore,

**BE IT RESOLVED, FOUND and DETERMINED** that the Riverside County Airport Land Use Commission, State of California, assembled on August 13, 2015, authorized the ALUC Director to review general plan amendments, specific plan amendments, zone changes, and variance applications submitted to the ALUC for land use development located within Zone E of



the March Plan pursuant to Public Utilities Code section 21676 and to render a consistency determination as to any such application that is not inconsistent nor has the possibility to be inconsistent with the land use planning guidelines contained therein.

BE IT FURTHER RESOLVED, FOUND and DETERMINED that the ALUC will be advised of all proposals reviewed by the ALUC Director.

BE IT FURTHER RESOLVED, FOUND and DETERMINED that the ALUC Director's authority under this resolution will be effective immediately upon approval of this resolution and continue for one (1) calendar year. The ALUC will review and may choose to renew this authority on an annual basis pursuant to an Administrative Item placed on the ALUC Agenda. This authority shall sunset on August 31, 2016 unless renewed.

NOW, THEREFORE, the Riverside County Airport Land Use Commission adopts by the following vote:

AYES:

NOES:

ABSENT:

---

Simon Housman  
Chairman  
Riverside County ALUC

WITNESS, my hand this 13th day of August, 2015.

---

Ed Cooper  
Director  
Riverside County ALUC

IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

# CHANGE OF ZONE

LOT 9 OF HODDGEKREST ACRES NO. 1, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP OR FILE IN BOOK 15 PAGE 34, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

**OWNER / APPLICANT**  
 KEVIN T. & PAULA L. DOAN  
 401 LEROY BRUNDS - SEVENTH REAL ESTATE  
 2845 ARLINGTON AVE., RIVERSIDE, CA 92504  
 TEL: 951-846-1300

**ENGINEER**  
**adkan ENGINEERS**  
 6479 AVENUE DRIVE  
 RIVERSIDE, CA 92504  
 951-508-0204

**ASSESSORS PARCEL NUMBERS**  
 273-310-029, 054

**PROJECT DENSITY TABLE**

NET AREA: 7.81 AC.  
 GROSS AREA: 7.81 AC.

**UTILITY SURVEYORS**

WATER: UNKWD  
 SEWER: SOUTHERN SEPTIC SYSTEM  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 ELECTR: SOUTHERN CALIFORNIA Edison  
 TELEPHONE: SBC  
 SCHOOL: RIVERSIDE UNIFIED  
 CABLE: CHARTER CABLE

**ZONING AND USE**

EXISTING ZONING: R-A-1  
 PROPOSED ZONING: R-A-1/R-A-1D  
 EXISTING LANDUSE: RC-VLDR & RM

**PROJECT NOTES**

1. THOMAS BROS. COORDINATES: 2000 RIV. CO. (PAGE 746, GRID A-5)
2. FLOOD ZONE C, NOT IN SPECIAL FLOOD AREA, SAID PROPERTY IS NOT SUBJECT TO CHOPBLOCK INDICATION OR FLOOD HAZARD
3. TOTAL NUMBER OF LOTS: 52
4. TOTAL GROSS ACRES: 74.81 ACRES
5. THE TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS CORPORAION OF THE LAND DIVISIONS
6. LOT DIMENSIONS SHOWN HEREON INCLUDE DIMENSIONS TO STREET MSL.
7. PROPERTY DOES NOT LIE WITHIN A COUNTY SERVICE AREA.
8. ALL LOTS ARE 1 ACRE MINIMUM GROSS SQUARE FOOTAGE
9. ALL LOTS USE ADVANCED TREATMENT DRIP FIELDS FOR SEPTIC SYSTEMS

**LEGEND**

EXISTING ZONE

**LEGAL DESCRIPTION**

**PARCEL 1:**  
 THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY SECTIONIZED SURVEY OF EL SOBRANTE DE SAN JACINTO ON FILE IN BOOK 1 PAGE 9 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THE NORTHERLY 30 FEET AS CONVEYED TO CHANG, INCORPORATED, A CALIFORNIA CORPORATION, BY THAT DEED RECORDED NOVEMBER 15, 1945 AS INSTRUMENT NO. 12038 OF OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM AN UNDIVIDED ONE-HALF INTEREST IN ALL MINERAL, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES LYING WITHIN, UNDER OR BENEATH OR FROM WHICH MAY BE PRODUCED OR SAVED FROM SAID LAND, AS RESERVED BY JERRY B. BRUNDS AND EVELY H. BRUNDS, HUSBAND AND WIFE, BY THAT DEED RECORDED JULY 12, 1951 IN BOOK 1266 PAGE 518 OF OFFICIAL RECORDS.

**PARCEL 2:**  
 THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY SECTIONIZED SURVEY OF EL SOBRANTE DE SAN JACINTO ON FILE IN BOOK 1 PAGE 9 OF MAPS, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

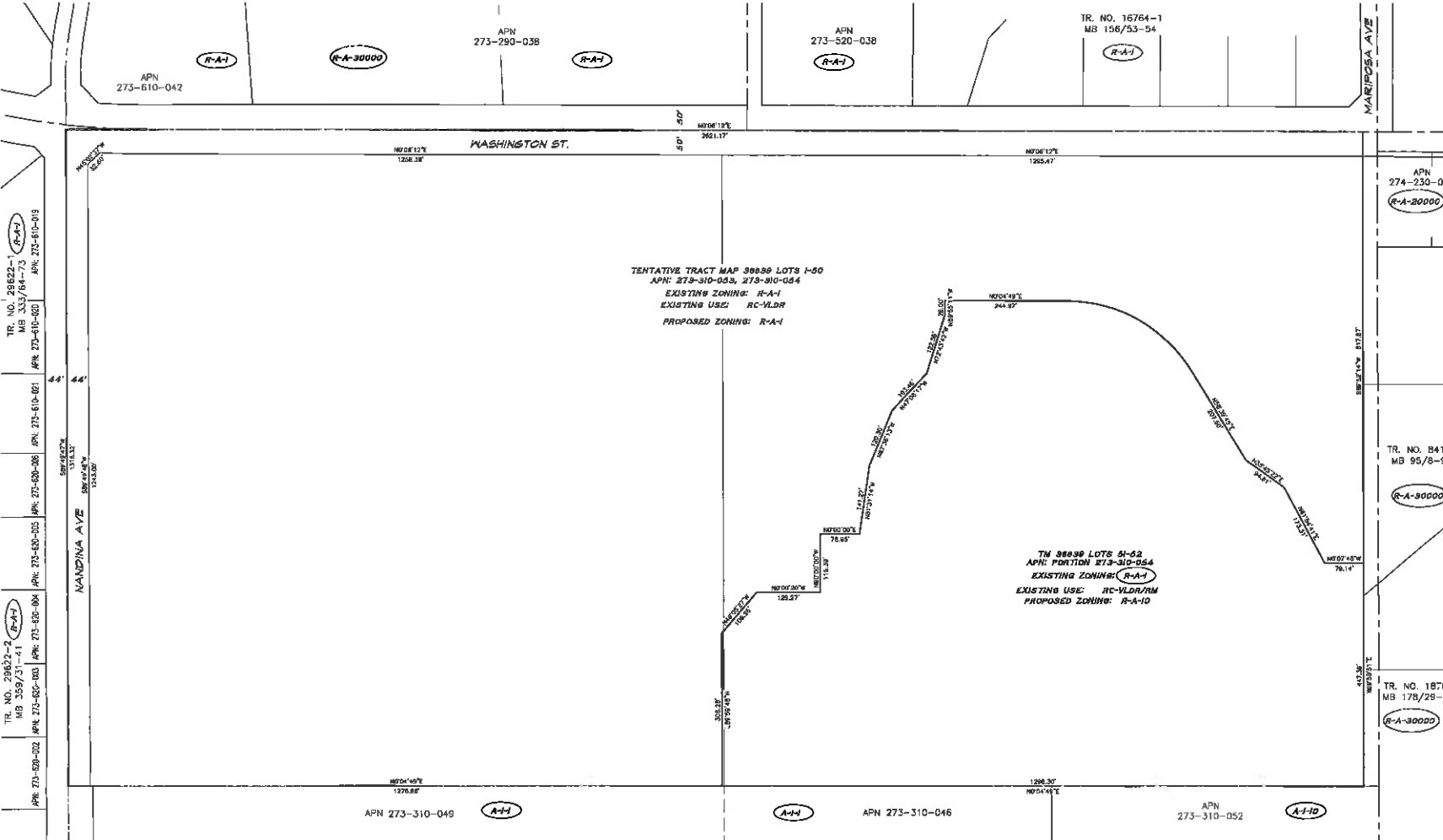
ALSO EXCEPTING THEREFROM AN UNDIVIDED ONE-HALF INTEREST IN ALL MINERAL, OIL, GAS AND OTHER HYDROCARBON SUBSTANCES LYING WITHIN, UNDER OR BENEATH OR FROM WHICH MAY BE PRODUCED OR SAVED FROM SAID LAND, AS RESERVED BY JERRY B. BRUNDS AND EVELY H. BRUNDS, HUSBAND AND WIFE, BY THAT DEED RECORDED JULY 12, 1951 IN BOOK 1266 PAGE 518 OF OFFICIAL RECORDS.

REVISIONS			
NO.	DESCRIPTION	APP'D	DATE

**CHANGE OF ZONE**

PREPARATION DATE: JUNE 2014

adkan ENGINEERS  
 Civil Engineering • Surveying • Planning  
 6479 Avenue Drive, Riverside, CA 92504  
 Tel: (951) 688-0241 • Fax: (951) 688-0589

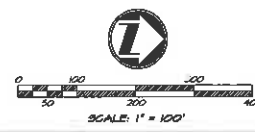


TR. NO. 29622-2 (R-A-1)  
 MB 333/164-73  
 APR. 273-610-003

TR. NO. 29622-2 (R-A-1)  
 MB 333/164-73  
 APR. 273-610-003

TR. NO. 29622-2 (R-A-1)  
 MB 333/164-73  
 APR. 273-610-003

TR. NO. 29622-2 (R-A-1)  
 MB 333/164-73  
 APR. 273-610-003



EXISTING EASEMENTS

- 1. EASEMENTS FOR PUBLIC UTILITY AND WINDMILL PURPOSES RESERVED IN DOCUMENT RECORDED IN BOOK 304 PAGE 808 OF OFFICIAL RECORDS...
2. AN EASEMENT FOR RIGHT OF WAY PURPOSES IN FAVOR OF THE UNITED STATES FOR PUBLIC UTILITY PURPOSES PER DIST. NO. 10408 RECORDED MAY 1, 1964 OF OFFICIAL RECORDS...
3. EASEMENT IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY FOR PUBLIC UTILITY PURPOSES PER DIST. NO. 10408 RECORDED MAY 1, 1964 OF OFFICIAL RECORDS...
4. EASEMENT IN FAVOR OF RIVERSIDE COUNTY FOR PUBLIC ROADS, DRAINAGE, PUBLIC UTILITY AND PUBLIC SERVICE PURPOSES PER DIST. NO. 10786 RECORDED SEPTEMBER 16, 1963 OF OFFICIAL RECORDS...
5. EASEMENT IN FAVOR OF RIVERSIDE COUNTY FOR PUBLIC ROADS, DRAINAGE, PUBLIC UTILITY AND PUBLIC SERVICE PURPOSES PER DIST. NO. 10786 RECORDED SEPTEMBER 16, 1963 OF OFFICIAL RECORDS...
6. EASEMENT IN FAVOR OF RIVERSIDE COUNTY FOR ROADWAY AND UTILITY PURPOSES PER DIST. NO. 10648-0001 RECORDED DECEMBER 9, 2008 OF OFFICIAL RECORDS.

TENTATIVE TRACT NO. 36639 - AMENDED NO. 3

IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER AND THE SOUTHWEST QUARTER OF SECTION 06, TOWNSHIP 5 SOUTH RANGE 3 WEST, S.B.M., AS SHOWN BY SECTIONALIZED SURVEY OF CL. DOMINANTE DE SAN JACINTO ON FILE IN BOOK 1 PAGE 9 OF OFFICIAL RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

OWNER / APPLICANT

REVIT 1 & PHILA L DONN
400 LINDSEY BLVD - SOUTHERN CALIFORNIA GAS
1010 ARBONITE AVE, RIVERSIDE, CA 92506
TEL: 951-949-1500

ENGINEER

REGISTERED

ADKAN ENGINEERS
4000 HAYWARD DRIVE
SUNLAND, CA 92586
(951) 888-8888

ASSESSORS PARCEL NUMBERS

219-260-058, 059

PROJECT DENSITY TABLE

Table with 2 columns: PROJECT AREA, DENSITY. Row 1: 326,000 SQ. FT., 2.0 DENSITY.

EARTHWORK QUANTITIES

Table with 2 columns: CU. YARDS CUT, CU. YARDS FILL. Row 1: 87,000 CU. YARDS CUT, 113,000 CU. YARDS FILL.

UTILITY PROJECTIONS

Table with 2 columns: TYPE, LENGTH. Rows include SANITARY, WATER, GAS, and POWER lines.

ZONING AND USE

Table with 2 columns: ZONING, USE. Row 1: R-1, SINGLE-FAMILY RESIDENTIAL.

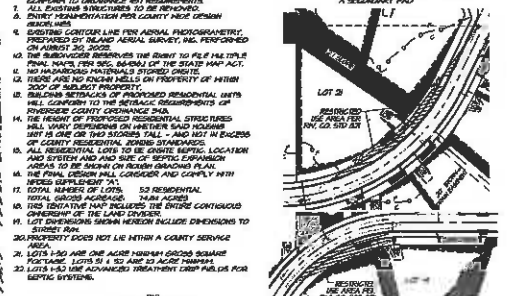
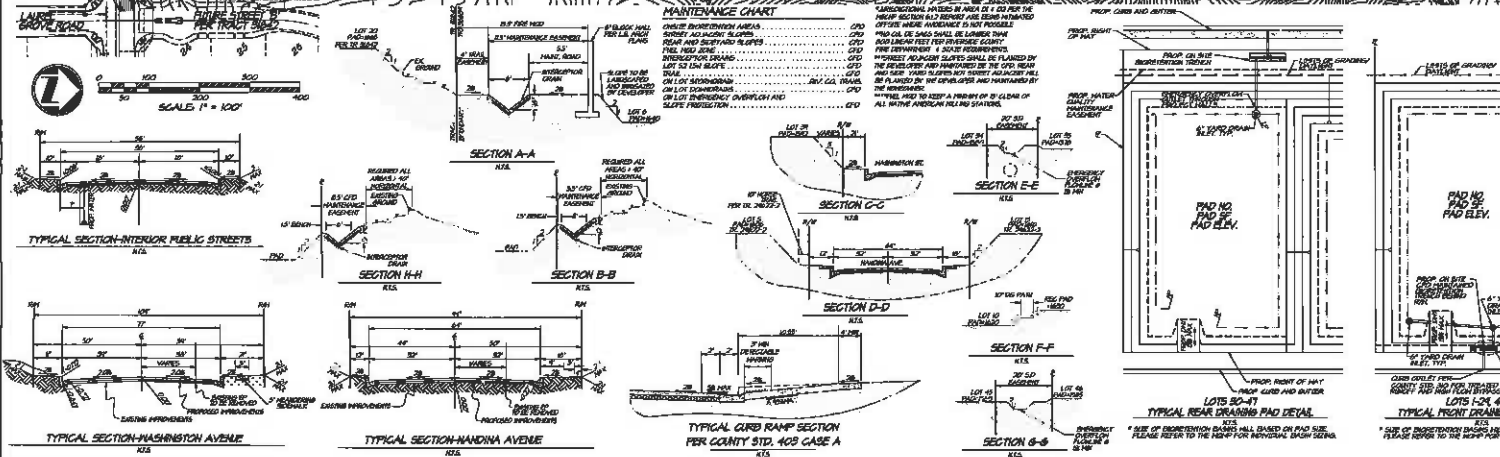
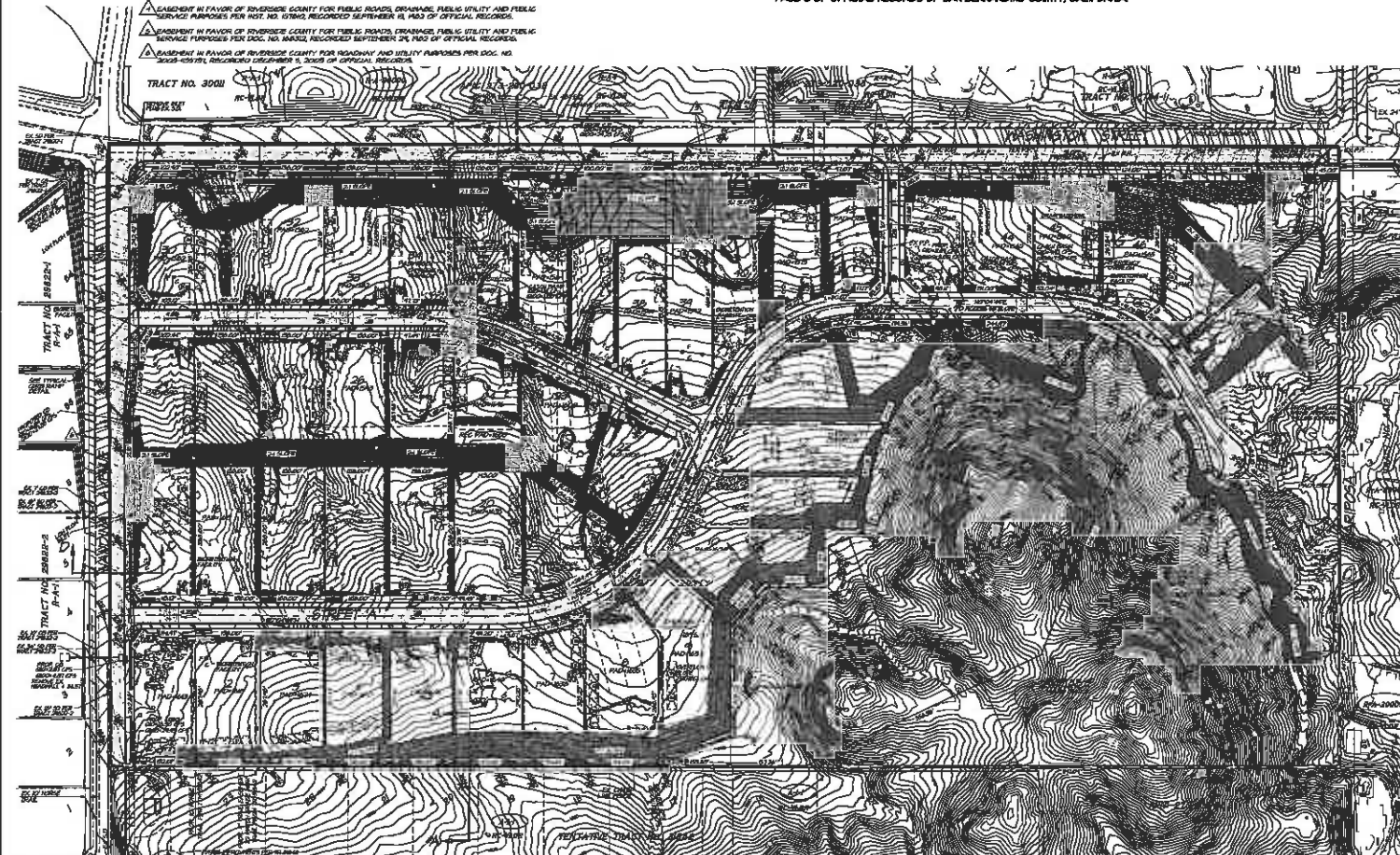
LEGEND

- 1. APPROX. SITE DITCHED/DEMISED AREA
2. RESTRICTED USE AREA
3. RES. ORG. VEGETATION AREA
4. TOP OF CURB
5. FINISHED SURFACE
6. EXISTING DRIVE
7. EXISTING SIDEWALK
8. EXISTING DRIVE
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PROJECT NOTES

- 1. ALL IMPROVEMENTS SHALL BE PER SCHEDULE 'B' CONSTRUCTION METHODS AND SPEC.
2. FINISH ELEVATIONS COORDINATED TO 2000 RIV. CO. (PAGE 10).
3. ALL CUT & FILL SHALL BE 20:1 SLOPE AND FILL SHALL BE 2:1 SLOPE UNLESS OTHERWISE NOTED.
4. FLOOD ZONE G-1 NOT IN SPECIAL FLOOD AREA, SAID PROPERTY IS NOT SUBJECT TO FEDERAL REGULATION OR FLOOD HAZARD.
5. NOT BEING SUBJECT TO FEDERAL REGULATION OR FLOOD HAZARD, SAID PROPERTY IS NOT IN ANY SPECIAL STUDIED ZONE.
6. SETBACKS OF LOTTERIES TO PROPERTY LINES SHALL BE IN ACCORDANCE WITH ZONING ORDINANCES AND REQUIREMENTS.
7. ALL EXISTING STRUCTURES TO BE DEMOLISHED.
8. PROPERTY REDEMPTION PER COUNTY HEALTH DEPARTMENT RECORDS.
9. EXISTING CENTERLINE PER AERIAL PHOTOGRAPHY, PREPARED BY INLAND AERIAL SURVEY, INC. PERFORMED ON JANUARY 28, 2009.
10. THE SUBDIVIDER REPRESENTS THE RIGHT TO FILE A FINAL MAP WITH THE COUNTY CLERK, COUNTY OF RIVERSIDE, CALIFORNIA.
11. NO UNAPPROVED MATERIALS STORED ON SITE.
12. THERE ARE NO CLAIMS OR PROPERTY OF OTHERS WITHIN 200' OF SUBJECT PROPERTY.
13. BUILDING SETBACKS FOR PROPOSED RESIDENTIAL USES WILL CONFORM TO THE SETBACK REQUIREMENTS OF RIVERSIDE COUNTY ORDINANCE 2009.
14. THE HEIGHT OF PROPOSED RESIDENTIAL STRUCTURES SHALL VARY FROM ONE TO TWO STORES TALL - AND NOT IN EXCESS OF COUNTY RESIDENTIAL ZONING ORDINANCES.
15. ALL RESIDENTIAL LOTS TO BE GRATE SEPTIC, LOCATION AND SYSTEM AND SIZE OF SEPTIC TANK SHALL BE DETERMINED BY THE ENGINEER AND APPROVED BY THE HEALTH DEPARTMENT.
16. THE FINAL DESIGN SHALL COMPLY WITH ALL CITY AND COUNTY ORDINANCES AND ALL APPLICABLE REGULATIONS.
17. TOTAL NUMBER OF LOTS: 53 RESIDENTIAL.
18. TOTAL GROSS AREA: 326,000 SQ. FT.
19. THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
20. LOT DIMENSIONS SHOWN HEREON INCLUDE DIMENSIONS TO STREET R/W.
21. PROPOSED LOTS DO NOT LIE WITHIN A COUNTY SERVICE AREA.
22. LOTS 1 AND ONE ACRE HARBOR GROSS SQUARE FOOTAGE: LOTS 1 & 20 AND 23 ACRE HARBOR GROSS SQUARE FOOTAGE.
23. LOTS 1 AND ONE ACRE HARBOR GROSS SQUARE FOOTAGE: LOTS 1 & 20 AND 23 ACRE HARBOR GROSS SQUARE FOOTAGE.
24. LOTS 1 AND ONE ACRE HARBOR GROSS SQUARE FOOTAGE: LOTS 1 & 20 AND 23 ACRE HARBOR GROSS SQUARE FOOTAGE.

TENTATIVE TRACT 36639 table with columns: LOT #, ACRES, NET SQ. FT., PAD AREA SQ. FT., ZONE. Rows 1-53.



Project information including 'TENTATIVE TRACT NO. 36639', 'PREPARATION DATE: JUNE 2009', and 'ADKAN ENGINEERS' contact information.