



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon Street, 1st Floor Hearing Room  
Riverside, California

Thursday 9:00 A.M., November 12, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**  
Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St, 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**NOTE:** If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

### 1.1 CALL TO ORDER

### 1.2 SALUTE TO FLAG

### 1.3 ROLL CALL

## 2.0 PUBLIC HEARING: CONTINUED ITEM

### MARCH AIR RESERVE BASE

- 2.1 ZAP1147MA15 – John Mulvihill/One Sun Life (Representative: Karina Fidler, Kimley-Horn and Associates) – March JPA Case No.: Variance 15-02 [Associated case: Plot Plan 13-02 A3]. Previously approved Plot Plan 13-02 was a proposal to develop a 510,000 square foot industrial warehouse building on 25.74 acres located northerly and easterly of Opportunity Way, easterly of Meridian Parkway, westerly of Interstate 215, and northerly of Van Buren Boulevard, within the land use jurisdiction of the March Joint Powers Authority. Plot Plan 13-02 A3 would amend the previously approved Plot Plan by increasing the maximum building height from 44 feet to 48 feet and increasing the maximum top point elevation to 1,606 feet above mean sea level. The Variance is required in that the building height at up to 48 feet above ground level exceeds both the Specific Plan standard of 35 feet (Table III-2 of Specific Plan No. 5) and the proposed minimum rear yard setback of 44 feet. (A Variance would not have been required had all setbacks been at least 48 feet.) (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area, within the March Business Center/Meridian Exception Site 1). Continued from October 8, 2015. ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Recommendation: CONTINUANCE to 12-10-15

**3.0 PUBLIC HEARING: NEW ITEMS****MARCH AIR RESERVE BASE**

- 3.1 ZAP1159MA15 – Gary Wang & Associates for Yum Yum Donuts – City of Moreno Valley Case No. PA14-0013. A proposal to construct and operate a 4,750 square foot Winchell's donut shop/convenience store on two contiguous parcels (Assessor's Parcel Numbers 263-230-012 and 263-230-013) with a combined net area of 0.61 acre located at the northwest corner of Alessandro Boulevard and Day Street in the City of Moreno Valley. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

- 3.2 ZAP1157MA15 – Crown Castle-WTA Property (Representative: Justin Davis) – City of Riverside Case No. P15-0051 (Design Review). P15-0051 is a proposal to establish an unmanned wireless telecommunications facility consisting of antennas on a new 70-foot high monopine tower with related equipment cabinets on the grounds of Amelia Earhart Middle School, located at 20202 Aptos Street, easterly of its intersection with Gumtree Lane (Assessor's Parcel Number 294-030-039). (An existing 57-foot tower would be removed.) (Airport Compatibility Zone C2 and High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

- 3.3 ZAP1156MA15 – Miguel and Antonio Garcia (Representative: Jonathan L. Zane, Architect) – City of Perris Case No. DPR 14-10-0008. A proposal to establish a truck repair facility including a 10,724 square foot building on a 0.64-acre parcel (Assessor's Parcel Number 294-190-064) with an address of 1379 Jet Way located at the southeast corner of Western Way and Jet Way in the City of Perris. (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONDITIONAL CONSISTENCY

## RIVERSIDE MUNICIPAL AIRPORT

- 3.4 ZAP1070RI15 – R. C. Hobbs Company (Representative: Jeff Moore) – City of Riverside Case Nos. P15-0862 (General Plan Amendment), P15-0863 (Rezoning), P15-0864 (Tentative Tract Map No. 36994), and P15-0865 (Major Site Plan Review). P15-0865 is a proposal to develop 36 residential dwelling units (attached townhomes) in ten buildings (8 with 4 units each and 2 with 2 units each), plus a restroom/storage structure and swimming pool, on 2.96 acres (to wit, Assessor's Parcel Number 227-150-025) located on the easterly/northeasterly side of Jefferson Street, northerly/northwesterly of its intersection with Willow Avenue in the City of Riverside. P15-0864 (Tentative Tract Map No. 36994) is a one-lot condominium map that would provide for the proposed structures, common areas, and private open space areas. P15-0862 is a proposal to amend the City of Riverside General Plan land use designation of the site from Public Facilities/Institutional (PF) to Medium High Density Residential (MHDR) (maximum 14.5 dwelling units per acre). P15-0863 is a proposal to rezone the site from Single Family Residential, 7,000 square foot minimum lot size (R-1-7000) to Multiple-Family Residential, 3,000 square foot minimum area per dwelling unit (R-3-3,000). The Commission may further recommend that the project site be rezoned to R-3-3,000-AP-D. (Multiple-Family Residential, 3,000 square foot minimum area per dwelling unit, Airport Protection Overlay Zone D). (Airport Compatibility Zone D of the Riverside Municipal Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT; rezoning must include airport overlay

## MARCH AIR RESERVE BASE

- 3.5 ZAP1150MA15 – Trammell Crow (Representatives: Mike and Lydia Bastian, Henry-Ann Company) – County Case Nos.: GPA 01151 and GPA 01152 (General Plan Amendments), CZ 07872 and CZ 07873 (Change of Zone proposals), and PP 25837 and PP 25838 (Plot Plans). GPA 01151, CZ 07872, and PP 25838 pertain to 37.48 acres located southerly of Oleander Avenue and easterly of Decker Road (the "east site"). GPA 01151 is a proposal to amend the Mead Valley Area Plan (General Plan) land use designation on the southwesterly 10 acres of the east site from Business Park (BP) to Light Industrial (LI). CZ 07872 is a proposal to change the zoning of the east site from I-P (Industrial Park), R-R (Rural Residential) and M-M (Manufacturing-Medium) to I-P. PP 25838 is a proposal to develop a 702,645 square foot industrial warehouse building (including 15,000 square feet of office space and 10,000 square feet of mezzanine space) ("Building D") on the east site. GPA 01152, CZ 07873, and PP 25837 pertain to 33.62 acres located southerly of Oleander Avenue and westerly of Decker Road (the "west site"). GPA 01152 is a proposal to amend the Mead Valley Area Plan (General Plan) land use designation on the west site from 29.45 acres of Business Park (BP) and 4.17 acres of Rural Community-Very Low Density Residential (RC-VLDR) to Light Industrial (LI). CZ 07873 is a proposal to change the zoning of the west site from 20.01 acres of R-R-1/2 (Rural Residential, one-half acre minimum lot size), 9.45 acres of I-P (Industrial Park), and 4.17 acres of A-1-1 (Light Agriculture, one acre minimum lot size) to I-P. PP25837 is a proposal to develop a 555,615 square foot industrial warehouse building (including 15,000 square feet of office space and 10,000 square feet of mezzanine space) ("Building E") on the west site. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT (GPA, CZ); CONTINUE Plot Plans to 12-10-15

**4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals

4.2 2016 ALUC Commission Meeting Schedule

4.3 Blythe Energy Project Phase II Now Sonoran Energy Project

**5.0 APPROVAL OF MINUTES**

September 10, and October 8, 2015

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

**7.0 COMMISSIONER'S COMMENTS**

Y:\ALUC Agendas\ALUC Commission Agendas\2015 Agendas\ALUCAGDA-11-12-15.doc



**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.13-8

**HEARING DATE:** November 12, 2015 (continued from October 8, 2015)

**CASE NUMBER:** ZAP1147MA15 – John Mulvihill/One Sunlife  
(Representative: Kimley-Horn Associates, Karina Fidler)

**APPROVING JURISDICTION:** March Joint Powers Authority (March JPA)

**JURISDICTION CASE NO:** Plot Plan 13-02 A3, Variance 15-02

**MAJOR ISSUES:** *None. Prior to the previous hearing on October 8<sup>th</sup>, March JPA staff requested that the project be continued and that the FAA submittal be revised to reflect the total maximum building height from the surrounding ground elevation rather than the maximum building height from the proposed finished floor elevation. At the time of writing of this staff report, no proof of a new or revised submittal to the FAA Obstruction Evaluation Service has been provided to staff.*

**RECOMMENDATION:** *Staff recommends that the project be CONTINUED to ALUC's December 10, 2015 hearing to provide additional time for the applicant team to provide a new or revised submittal to the FAA Obstruction Evaluation Service. However, if, prior to the November 12 hearing, proof of revision to the FAA submittal is provided and the submittal is in a "Work in Progress" status, staff will recommend the project be found CONDITIONALLY CONSISTENT, subject to the conditions included herein and such additional or revised conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service. Staff recommends that the proposed project be found CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the conditions included herein.*

**PROJECT DESCRIPTION:** Plot Plan 13-02 A3 is a proposal to amend previously approved Plot Plan 13-02, which authorized development of a 510,000 square foot industrial warehouse building on 26.93 acres, by increasing the maximum height from 44 feet to 48 feet and increasing the maximum top point elevation to 1,606 feet above mean sea level. This would provide for an internal clearance height of 36 feet. The Variance proposes to allow a building height of 48 feet, which exceeds both the Specific Plan standard of 35 feet and the proposed minimum setback of 44 feet from the rear property line. A variance would not have been required had all setbacks been at least 48 feet.

**PROJECT LOCATION:** The site is located northerly and easterly of Opportunity Way, easterly of Meridian Parkway, westerly of Interstate 215, and northerly of Van Buren Boulevard, within the land

use jurisdiction of the March Joint Powers Authority, approximately 1,500 feet westerly of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone B2
- c. Noise Levels: 65-70 CNEL from aircraft

**BACKGROUND:**

Exception Area: The project is located within the March Business Center/Meridian Specific Plan, which is cited as an exception area pursuant to the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. A project located within this exception area that complies with the Specific Plan criteria would typically not require submittal to ALUC. However, the project includes a variance from the Specific Plan to allow a greater height than would typically be allowed by the Specific Plan, unless all setbacks matched or exceeded the proposed height.

Non-Residential Land Use Intensity: The site is located in Compatibility Zone B2. The land use intensity criteria for Compatibility Zone B2 limit average intensity to 100 people per acre and maximum single-acre intensity to 250 people. (There are no risk-reduction design bonuses available, as March is primarily utilized by large aircraft weighing more than 12,500 pounds.)

The proposed amendment would not alter the floor plan as previously provided so as to increase occupancy, but would simply increase the building height. Based on the site plan and floor plans provided, a total of 20,000 square feet of office and 490,000 square feet of warehouse space is proposed within the building. Assuming one person per 500 square feet in the warehouse area and one person per 200 square feet in the office area (incorporating the 50% reduction for office uses), staff's analysis in 2013 projected a total occupancy of 1,080 people in the building, for an average intensity of 42 persons per acre on the 25.74-acre site. This intensity would be consistent with the Compatibility Zone B2 average intensity criteria of 100. Since that time, the area of the project site has been increased to 26.93 acres through PP 13-02 A1 (ZAP1098MA14), and the occupancy assumption for warehousing buildings at least 200,000 square feet in gross floor area has been reduced by 50 percent pursuant to policy 2.4(f) of the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per automobile and 1.0 per truck in the absence of more precise data). Based on the number of parking spaces proposed to be provided (330 automobile and 88 truck loading spaces), the total occupancy would be estimated at 583 people for an average acre intensity of approximately 22, which is also consistent with the Zone B2 average intensity criteria.

The most intensely developed single-acre would consist of 20,000 square feet of office and 23,560 square feet of warehouse space, accommodating a total of 124 people. This intensity would be consistent with the Compatibility Zone B2 single-acre intensity criteria of 250.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone B2 within the project. However, since an end user is not specified, conditions are included herein to specify prohibited uses.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being partially within the 65-70 CNEL range, with a small portion of the site possibly falling below 65 CNEL. As warehousing is not a noise sensitive use, no special measures to mitigate aircraft-generated noise are required for most of the building. However, aircraft noise levels within office areas of the building will be required to be attenuated to a maximum interior level of 45 dBA CNEL.

Part 77: The elevation of Runway 14-32 at its northerly terminus is approximately 1535.1 feet above mean sea level (1535.1 feet AMSL). At a distance of approximately 1,500 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1550.1 feet AMSL. The highest proposed building finished floor elevation on-site is 1556.0 feet AMSL. The proposed building has a revised maximum height of 48 feet for a potential maximum elevation of 1604 feet AMSL. Review by the FAA Obstruction Evaluation Service was required. The proposed building was submitted for FAA obstruction evaluation review and assigned Aeronautical Study Nos. (ASNs) 2015-AWP-4048-OE and 2015-AWP-4049-OE. To note, the FAA submittal utilized heights of 46 and 47 feet rather than the 48 feet external maximum height since the proposed finished floor elevation is approximately 2 feet above the immediate surrounding exterior elevation. The FAA Obstruction Evaluation Service issued a "Determination of No Hazard to Air Navigation" for both ASNs. **Prior to the previous hearing on October 8<sup>th</sup>, March JPA staff requested that the project be continued and that the FAA submittal be revised to reflect the total maximum building height from the surrounding ground elevation rather than the maximum building height from the proposed finished floor elevation. At the time of writing of this staff report, no proof of a new or revised submittal to the FAA Obstruction Evaluation Service has been provided to staff.**

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

#### CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, congregate care facilities, hotels/motels, places of assembly (including churches and theaters), buildings with more than 3 aboveground habitable floors, noise sensitive outdoor nonresidential uses, and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  4. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
  5. The proposed detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
  6. This project has been evaluated as a proposal for the establishment of an industrial warehouse with not more than 20,000 square feet of office area in any given acre. March Joint Powers Authority shall require additional review by the Airport Land Use Commission

prior to the establishment of any of the following uses in this structure:

Auction rooms, auditoriums, bowling alleys, call centers, care facilities, churches and other places of worship, conference rooms larger than 1,500 square feet in area, classrooms, courtrooms, dance floors, dormitories, drinking establishments, exercise rooms, exhibit rooms, health care facilities, gymnasiums, locker rooms, lounges, retail sales, skating rinks, stages, swimming pools, and all other uses that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) pursuant to California Building Code (1998) Table 10-A.

7. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
8. The Federal Aviation Administration has conducted aeronautical studies of the proposed building (Aeronautical Study Nos. 2015-AWP-4048-OE and 2015-AWP-4049-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
9. The maximum height of the proposed structure, including all roof-mounted appurtenances (if any), shall not exceed 47 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 1,606 feet above mean sea level.
10. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.
11. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
12. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.
13. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access

gates, etc.

Y:\AIRPORT CASE FILES\March\ZAP1147MA15\ZAP1147MA15novsr.doc



Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76193

Aeronautical Study No.  
 2015-AWP-4048-OE  
 Prior Study No.  
 2013-AWP-5676-OE

Issued Date: 05/06/2015

James Camp  
 LNR Riverside II  
 4350 Von Karman Avenue Ste. 200  
 Newport Beach, CA 92660

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building 510 KSF LNR Building  
 Location: Moreno Valley, CA  
 Latitude: 33-53-46.72N NAD 83  
 Longitude: 117-16-35.20W  
 Heights: 1559 feet site elevation (SE)  
 47 feet above ground level (AGL)  
 1606 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 11/06/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within



6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-4048-OE.

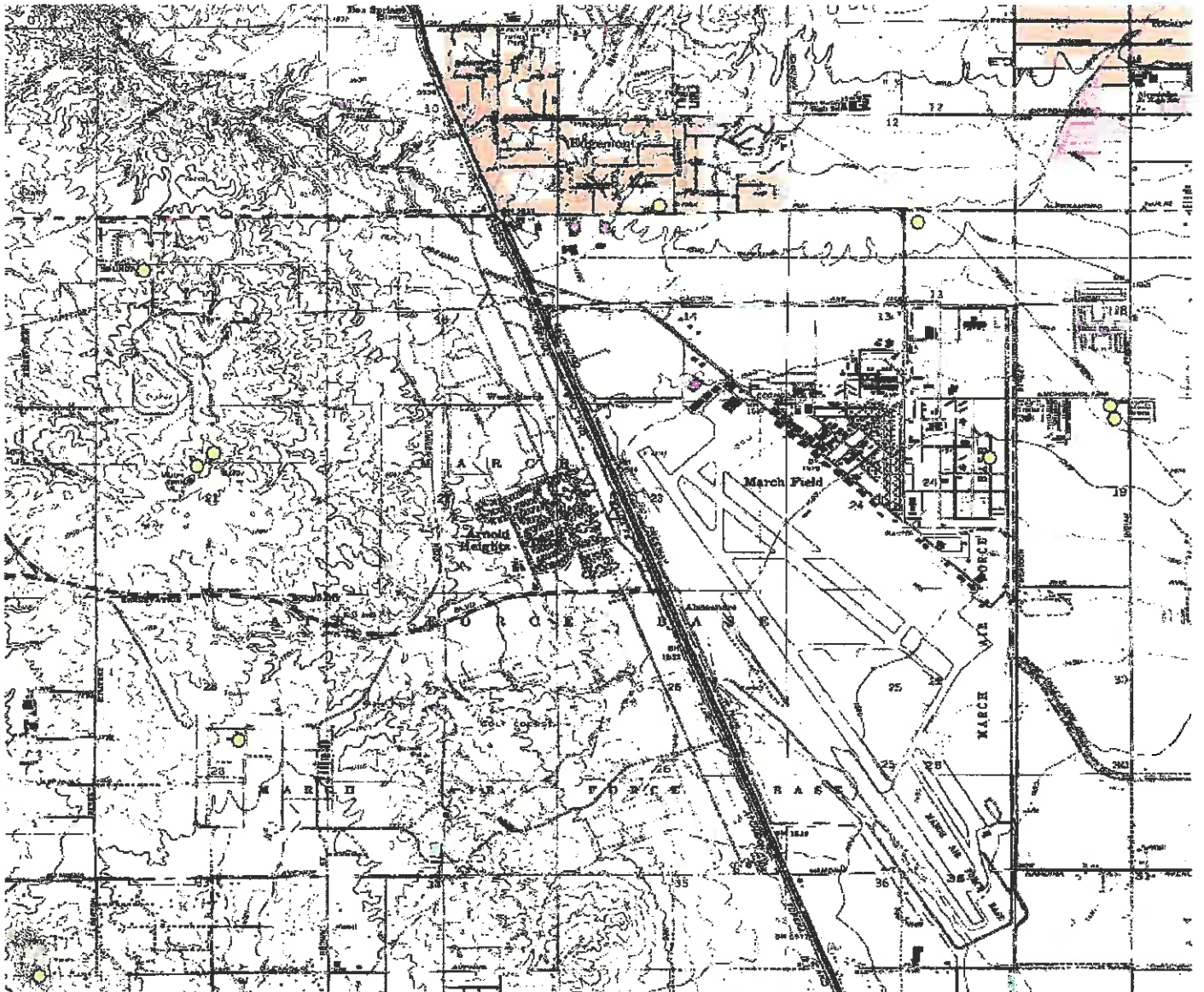
**Signature Control No: 248220125-251361145**  
Karen McDonald  
Specialist

( DNE )

Attachment(s)  
Case Description  
Map(s)

**Case Description for ASN 2015-AWP-4048-O.**

Building Finished Floor Elevation Changed to new height listed. This application is intended to supersede 2013-AWP-4797-OE. 510,000 Square Foot Warehouse. 47ft Structure Height is worst case scenario. Elevations noted in this application are MSL.





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76193

Aeronautical Study No.  
 2015-AWP-4049-OE  
 Prior Study No.  
 2013-AWP-5677-OE

Issued Date: 05/06/2015

James Camp  
 LNR Riverside II  
 4350 Von Karman Avenue Ste. 200  
 Newport Beach, CA 92660

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building 510 KSF LNR Building  
 Location: Moreno Valley, CA  
 Latitude: 33-53-37.24N NAD 83  
 Longitude: 117-16-28.45W  
 Heights: 1553 feet site elevation (SE)  
 46 feet above ground level (AGL)  
 1599 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 11/06/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-4049-OE.

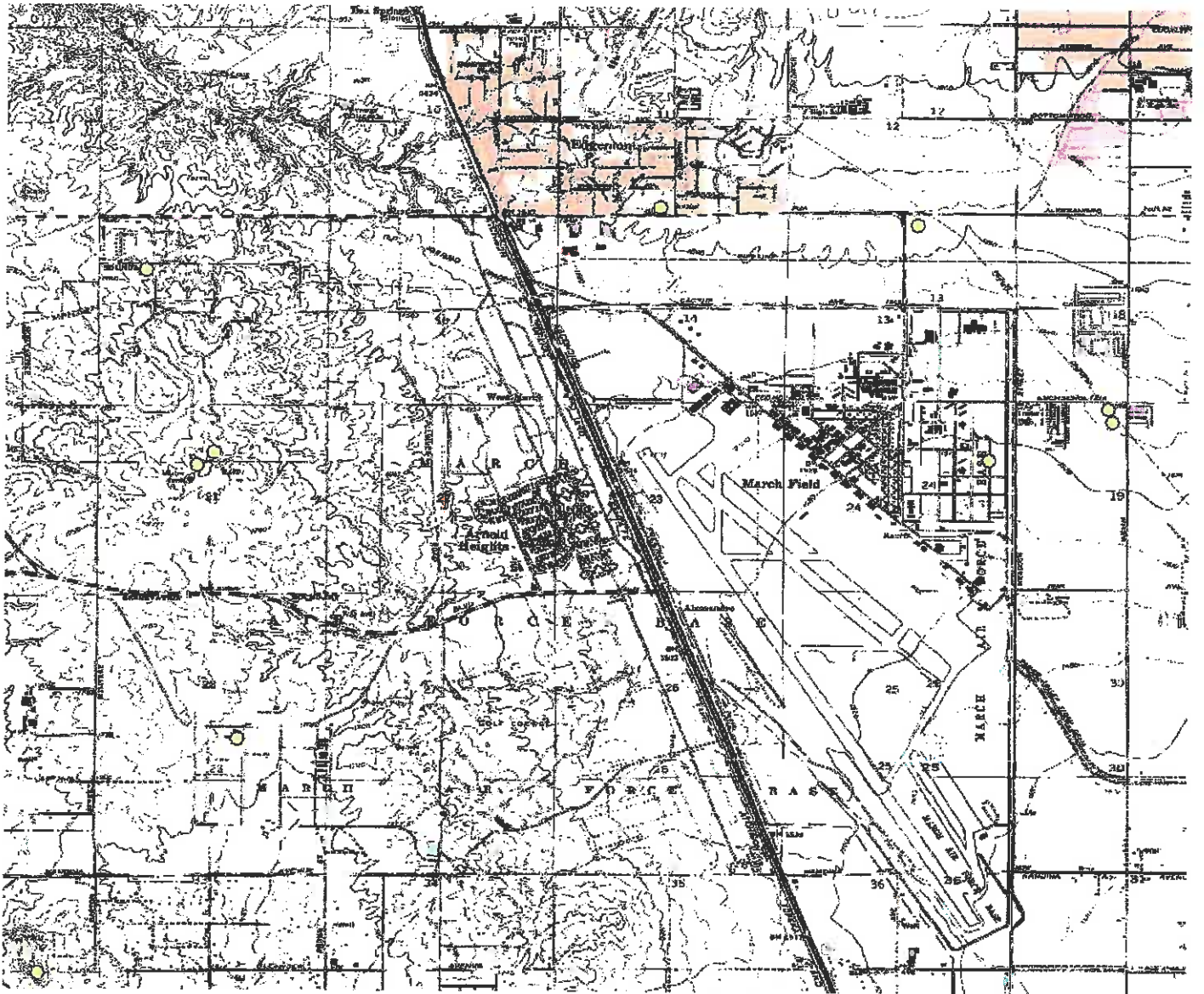
**Signature Control No: 248220126-251361144**  
Karen McDonald  
Specialist

( DNE )

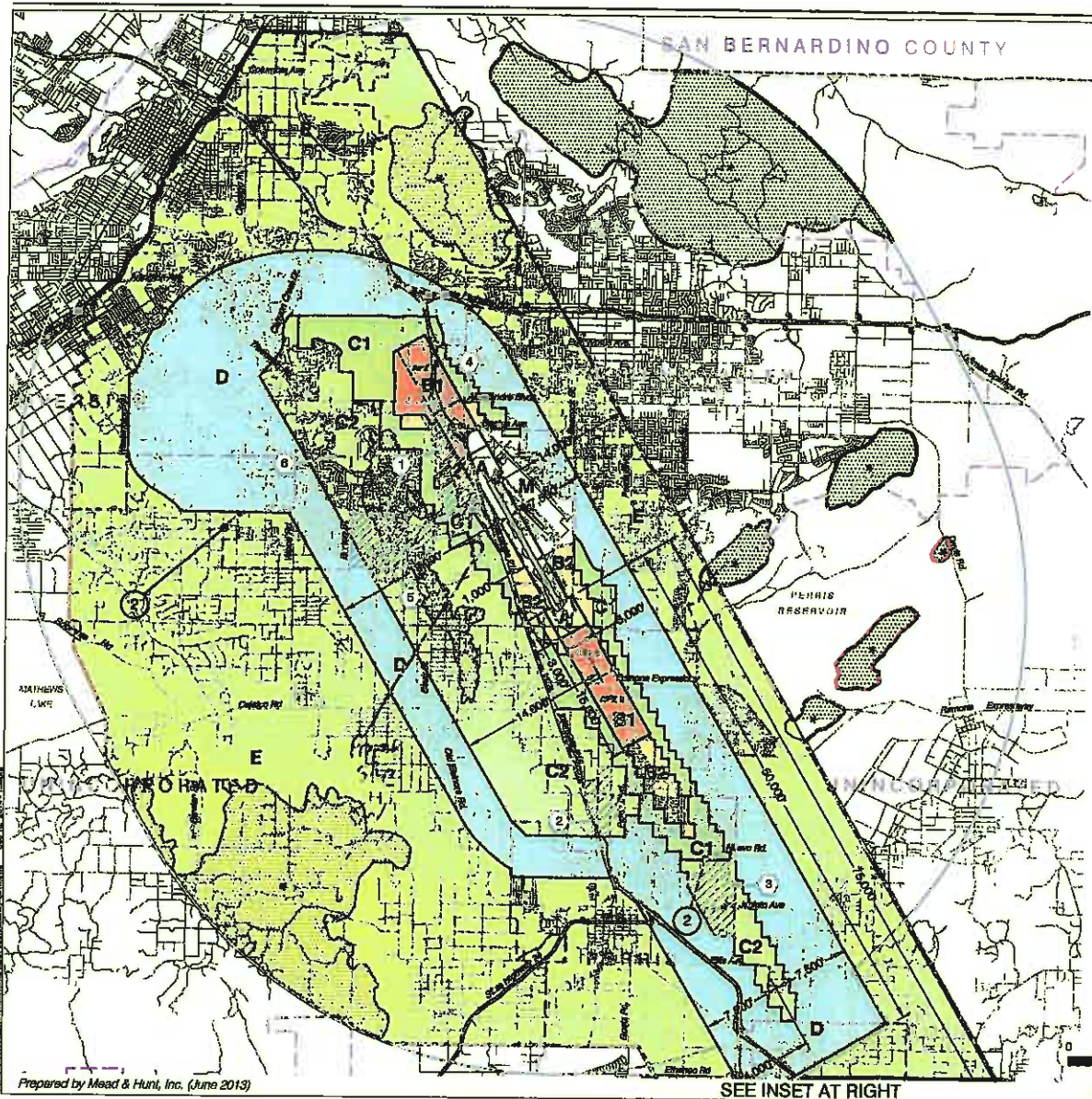
Attachment(s)  
Case Description  
Map(s)

**Case Description for ASN 2015-AWP-4049-G**

Building Finished Floor Elevation Changed to new height listed. This application is intended to supersede 2013-AWP-4797-OE. 510,000 Square Foot Warehouse. 47ft Structure Height is worst case scenario. Elevations noted in this application are MSL.







**LEGEND**

**Compatibility Zones**

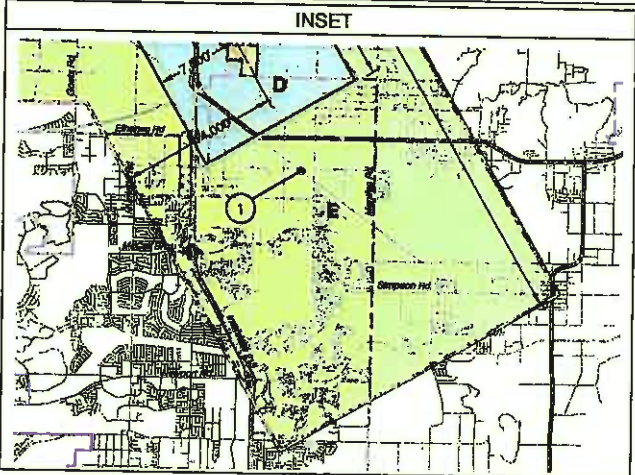
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

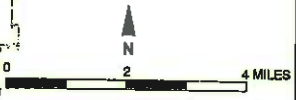
- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

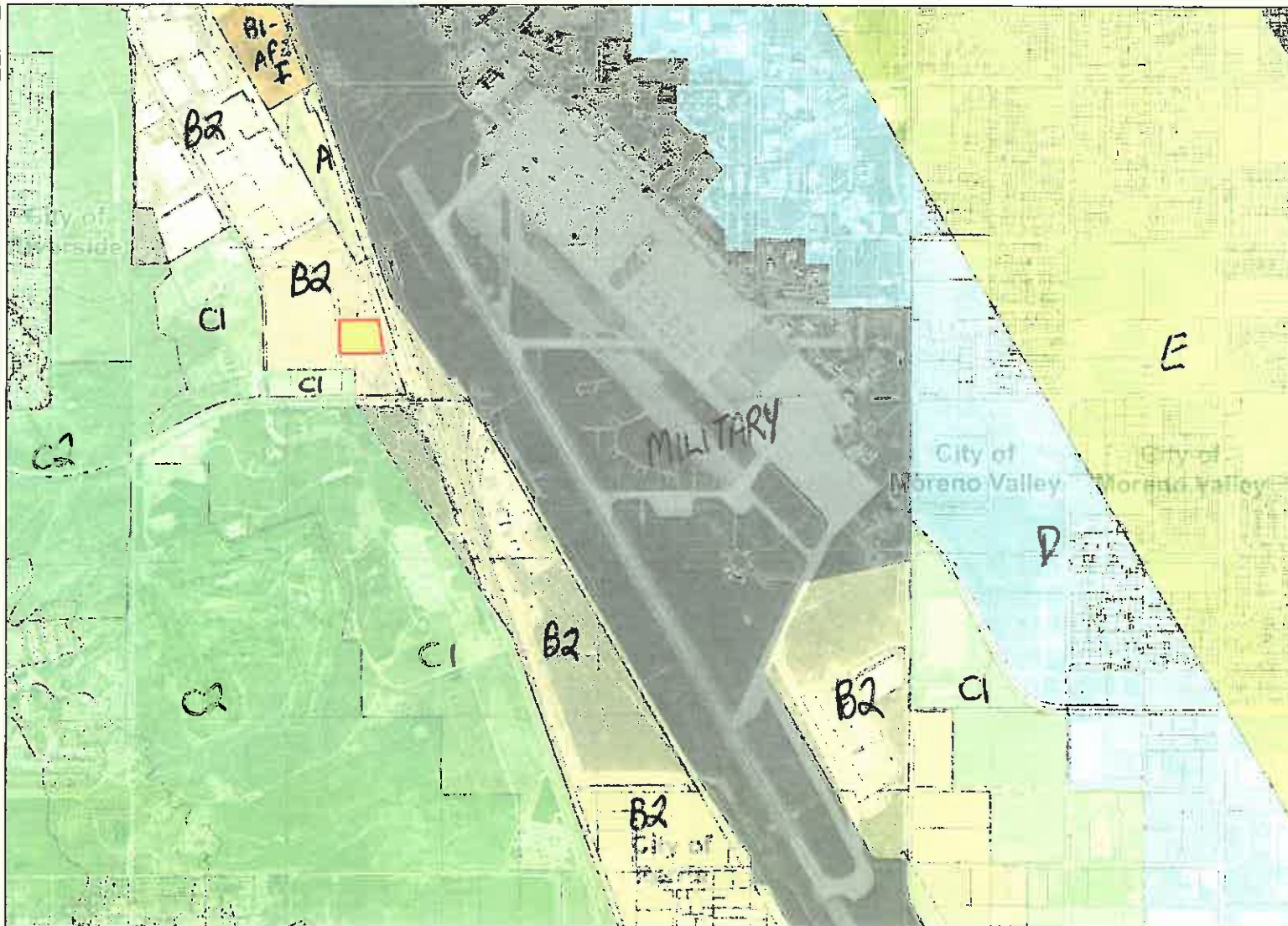
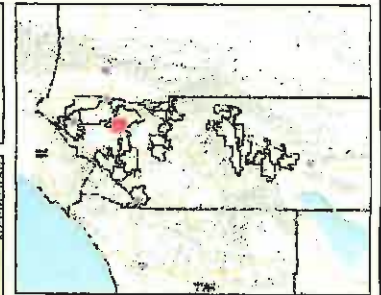
Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT



# My Map



## Legend

### Airport Compatibility

- OTHER\_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1
- C2-HIGHT-EXC5



0 3,176 6,352 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

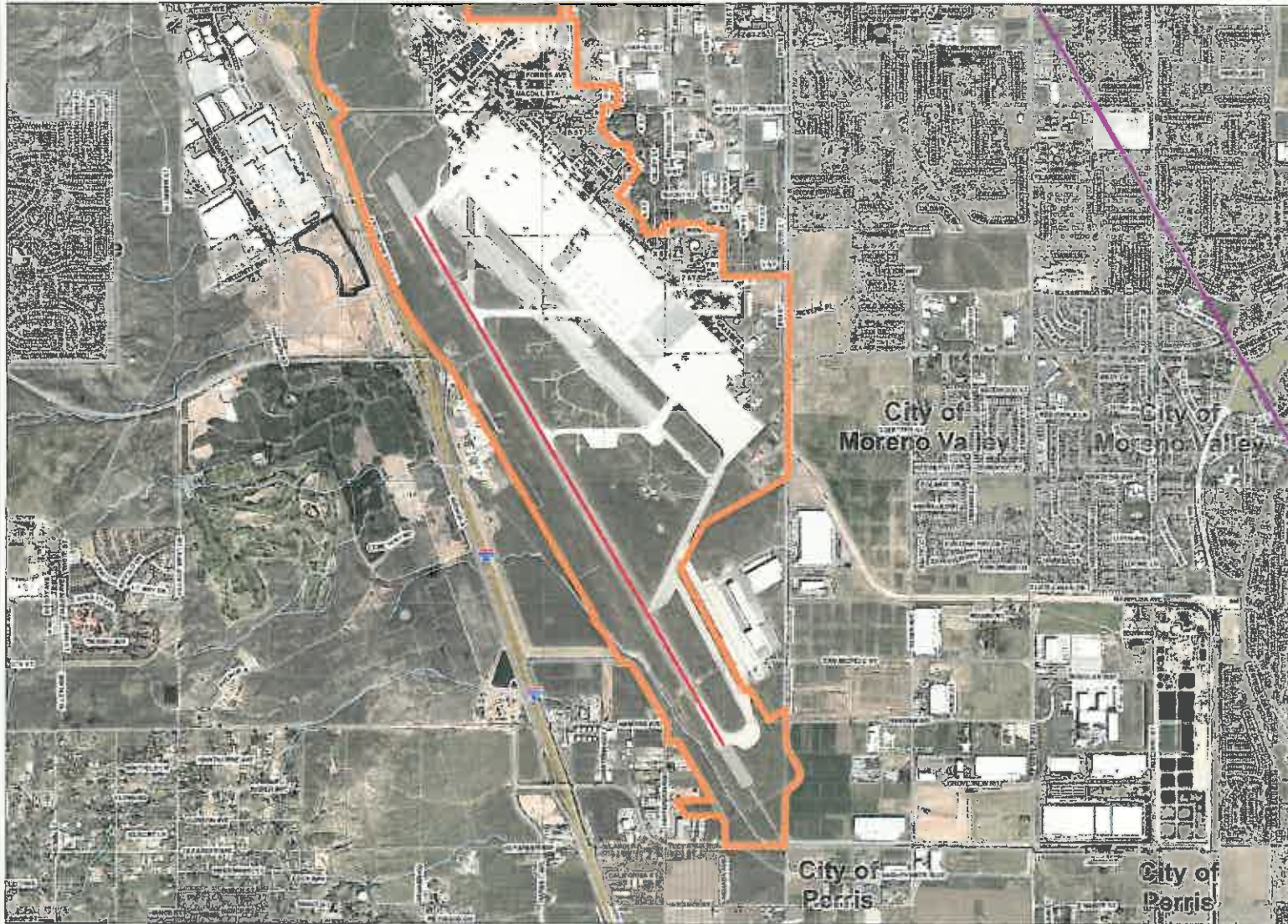
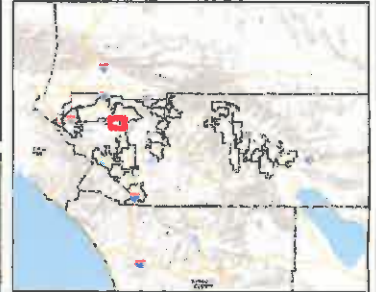
REPORT PRINTED ON... 7/16/2015 9:14:49 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 4,049 8,097 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

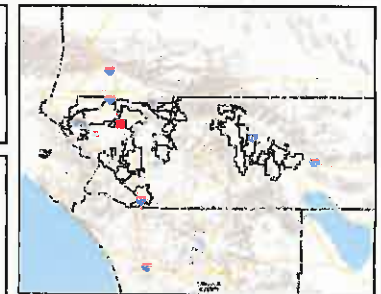
REPORT PRINTED ON... 10/28/2015 10:46:24 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,012 2,024 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

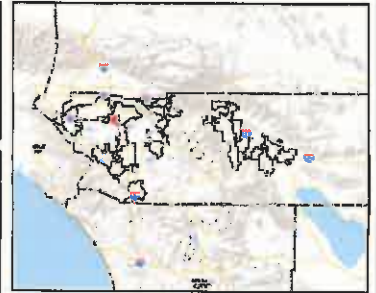
REPORT PRINTED ON... 10/28/2015 10:49:58 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,012 2,024 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

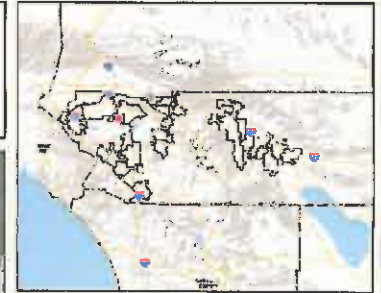
REPORT PRINTED ON... 10/28/2015 10:49:58 AM

© Riverside County TLMA GIS
















## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



0 506 1,012 Feet



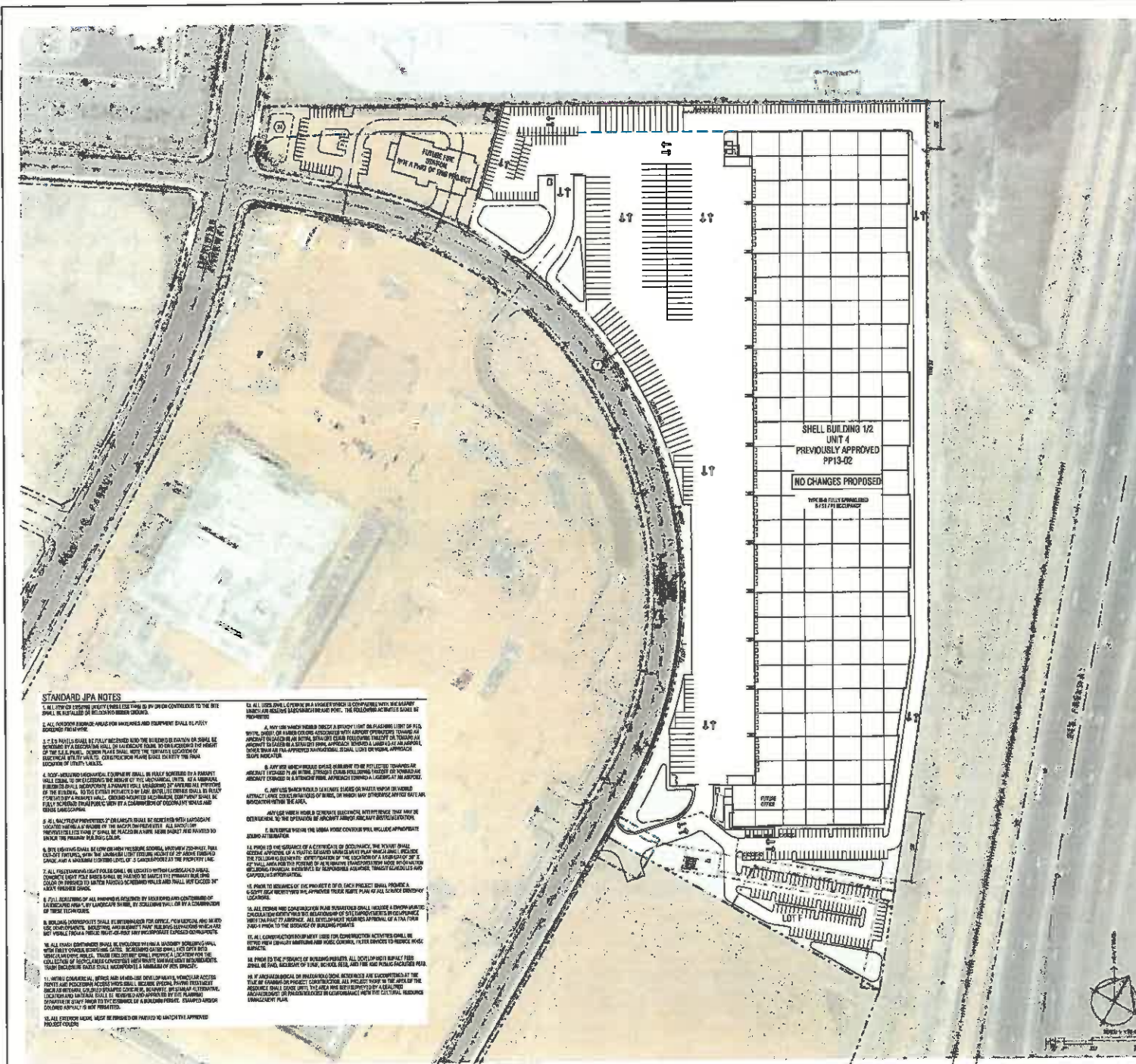
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/28/2015 10:53:48 AM

© Riverside County TLMA GIS

## Notes





**PROJECT DATA**

SITE AREA:	
EXISTING	1,121,536 SF / 25.74 AC
PROPOSED ADDED SITE AREA	51,837 SF / 1.19 AC
TOTAL SITE AREA	1,173,373 SF / 26.93 AC
BUILDING AREA (NO CHANGE):	
GROUND FLOOR	200,000 SF
MEZANINE	10,000 SF
TOTAL	210,000 SF
CONTRAGE:	43.48 %
PARKING PROVIDED (NO CHANGE):	
20,000 SF SPACE @ 1,500/1000	66 STALLS
0 - 50,000 SF @ 1,000/1000	90 STALLS
30,000 - 200,000 SF @ 0.25/1000	60 STALLS
200,000 SF @ 0.15/20,000	68 STALLS
TOTAL STALLS REQUIRED	224 STALLS
AUTO PARKING PROVIDED:	
STANDARD STALLS	313 STALLS
CARPOOL STALLS (20% MIN)	17 STALLS
TOTAL STALLS PROVIDED	330 STALLS
BIKE PARKING:	
REQUIRED @ 1/200 AUTO STALLS	17 SPACES
PROVIDED	17 SPACES
LOADING DOCK POSITIONS (NO CHANGE):	
TRUCK TRAILER STALLS 12' X 55'	88 DOCKS
(NO CHANGE)	123 STALLS
LANDSCAPE AREA PROVIDED:	
	145,125 SF
	12.97 %
MINIMUM SETBACKS REQUIRED (NO CHANGE):	
FRONT BUILDING	27'
FRONT LANDSCAPE	10'
SIDE BUILDING	0'
SIDE LANDSCAPE	0'
REAR BUILDING	20'
REAR LANDSCAPE	5'

**KEYNOTES**

**STANDARD JPA NOTES**

1. ALL FORM OF LIGHTING SHALL BE PROVIDED TO THE SITE SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
2. ALL PERSONS WORKING ON THE SITE SHALL BE FULLY TRAINED AND EQUIPPED TO HANDLE EMERGENCIES.
3. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
4. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
5. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
6. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
7. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
8. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
9. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
10. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
11. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
12. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
13. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
14. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
15. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
16. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
17. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
18. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
19. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.
20. ALL UTILITIES SHALL BE FULLY RECORDED AND THE RECORDS SHALL BE MAINTAINED BY THE DEVELOPER FOR A PERIOD OF 10 YEARS AFTER THE COMPLETION OF THE PROJECT.

**SITE PLAN**



**CONTRACTOR**

PROFESSIONAL SEAL

**MERIDIAN LOT F PARKING**

OPPORTUNITY WAY  
RIVERSIDE, CA 92518



**NEWCASTLE**

NEWCASTLE PARTNERS, INC.  
470 GREENWOOD, SUITE 116  
CORONA, CA 92680  
CONTACT: JACKSON SMITH  
951-582-0000  
jackson@newcastlepartners.com

**VICINITY MAP**



**LEGAL DESCRIPTION**

CD		
PD		
PC		
CD		
CD	SHORELINE	SHORELINE
DATE	DATE	DATE
NOA PROJECT NO.	1514920	
OWNER PROJECT NO.	0000000	
CONTRACT NAME	1514920-01	
DRAWN BY	CP	
CHECKED BY	DR	
COPYRIGHT	NOA, DESIGNER AND/OR CONTRACTOR, DESIGN	
SHEET TITLE	SITE PLAN	

**UTILITY PROVIDERS**

WATER: SERRA MUNICIPAL WATER DISTRICT  
SEWER: SERRA MUNICIPAL WATER DISTRICT  
ELECTRIC: SERRA MUNICIPAL WATER DISTRICT  
TELEPHONE: SERRA MUNICIPAL WATER DISTRICT  
GAS: SERRA MUNICIPAL WATER DISTRICT





CONSULTANT

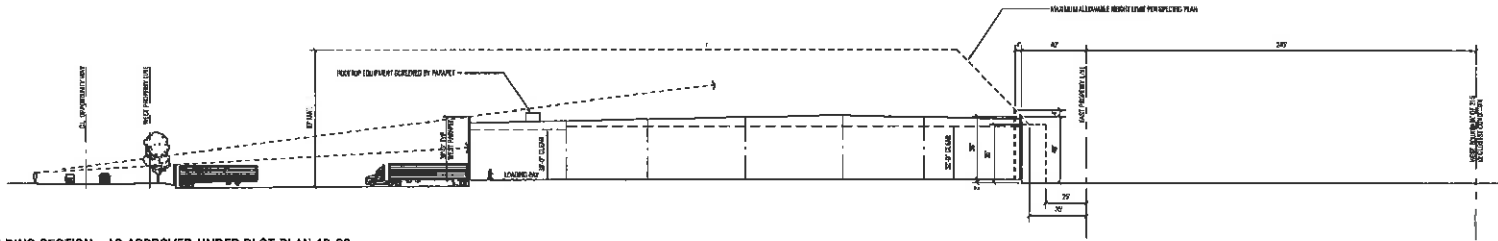
PROFESSIONAL SEAL

MERIDIAN LOT 1&2  
UNIT 4  
OPPORTUNITY WAY  
RIVERSIDE, CA 92518



CD		
BD		
PC		
ED		
SD	ISSUED	REVISIONS
MARK	DATE	DISCUSSION

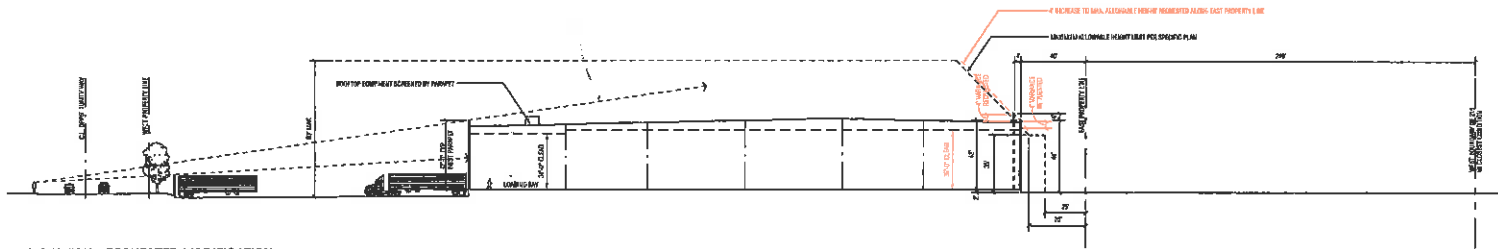
RGA PROJECT NO: 081310  
OWNER BY SUBJECT: 080810  
DRAWING NAME: 081310-4-21P  
DRAWN BY: CF  
CHECKED BY: CR  
COPYRIGHT  
RGA, OFFICE OF ARCHITECTURAL DESIGN  
SHEET TITLE  
FLOOR PLAN



SITE / BUILDING SECTION - AS APPROVED UNDER PLOT PLAN 13-02

SCALE: 1/4" = 1'-0"

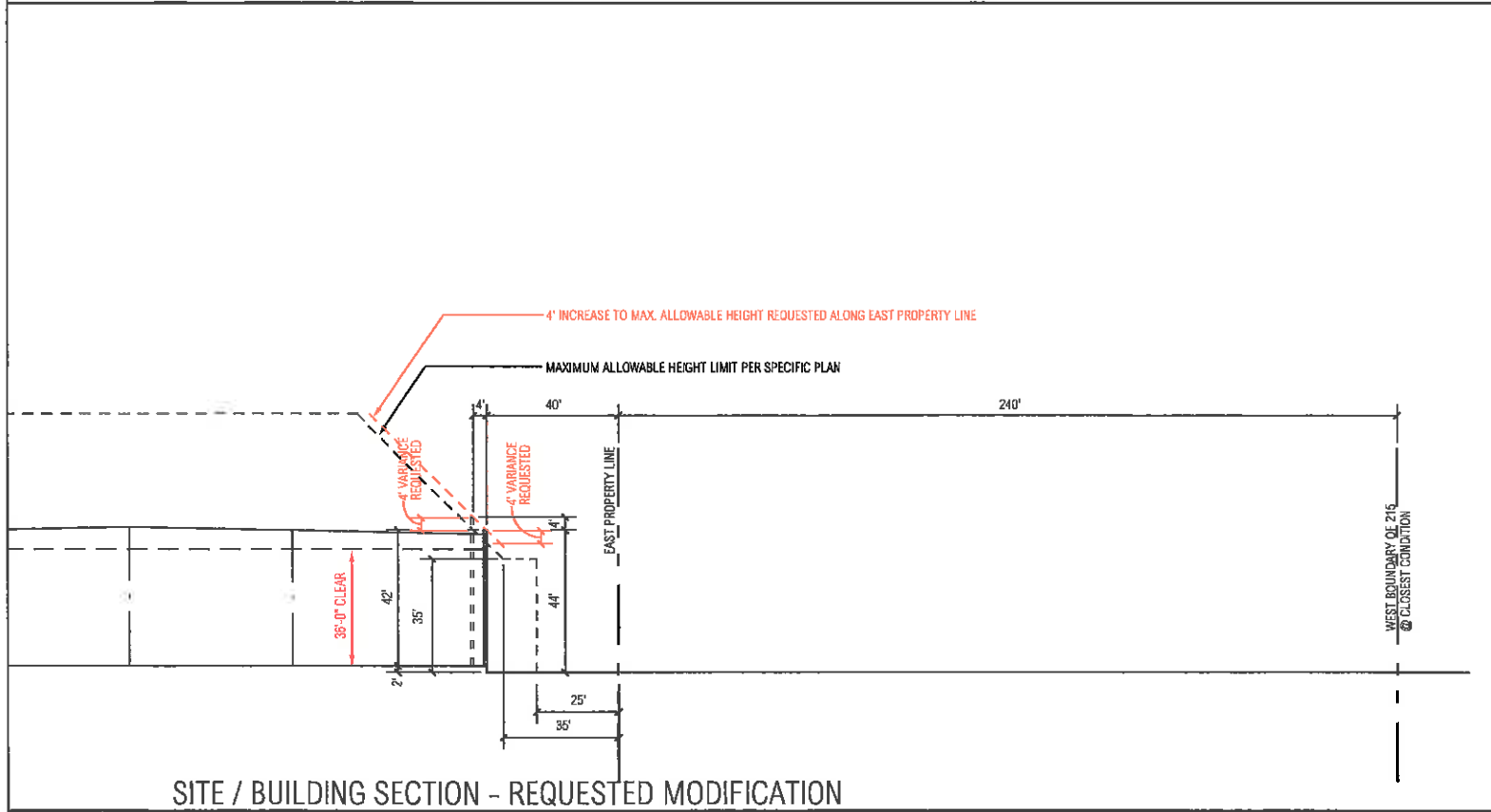
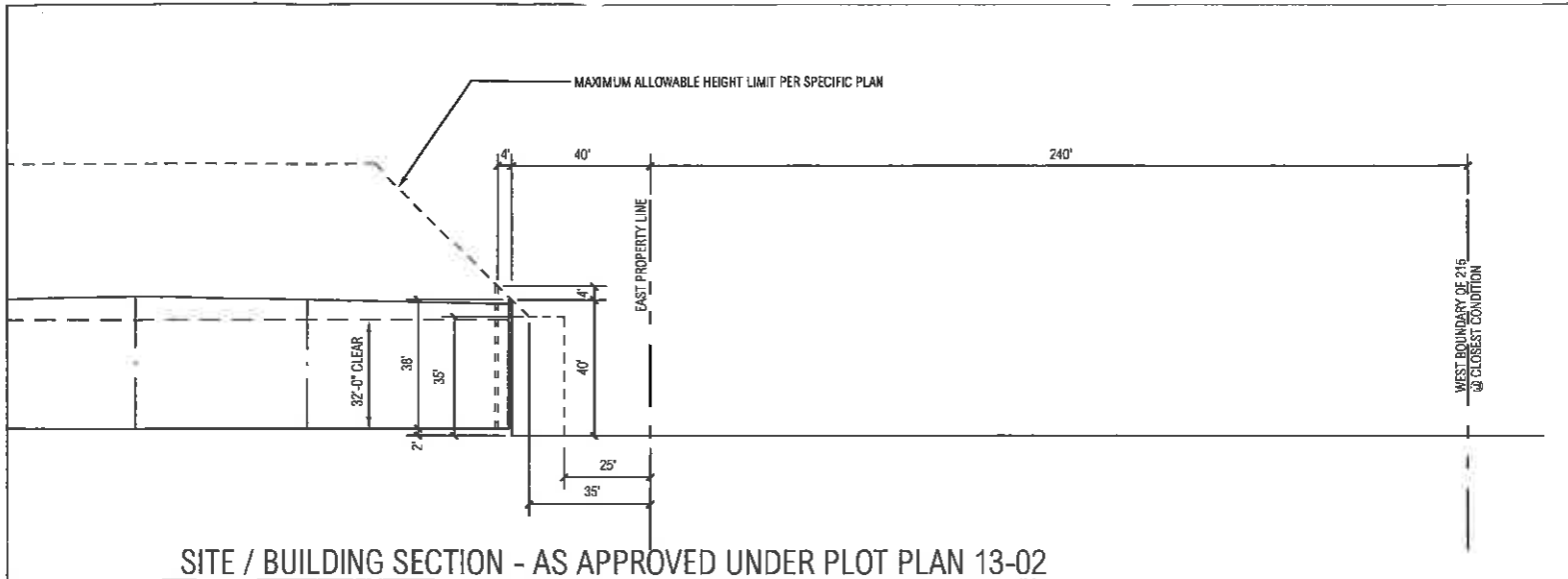
A



SITE / BUILDING SECTION - REQUESTED MODIFICATION

SCALE: 1/4" = 1'-0"

B



MERIDIAN LOT 1&2  
UNIT 4

OPPORTUNITY WAY  
RIVERSIDE, CA 92518

**Meridian 510K Building**  
**Variance Request Description & Justification**  
**July 2015**

**Introduction**

This memorandum addresses a Variance request for the 510,000 square foot speculative warehousing and distribution building on Lots 1 & 2 within the Meridian Specific Plan, referred to herein as the development or the project.

**Background**

In 1993, the federal government mandated the realignment of March Air Force Base (AFB) and a substantial reduction in its military use. In April 1996, March AFB was re-designated an Air Reserve Base (ARB). Approximately 4,400 acres of land that had historically supported March AFB were no longer needed to support the ARB. The cities of Moreno Valley, Perris, Riverside, and the County of Riverside formed the March Joint Powers Authority (JPA) to oversee the dispensation and management of the surplus land. A General Plan and Master EIR were prepared for the JPA planning area, which includes the March ARB. These documents were adopted/certified in 1999. The March Business Center Specific Plan and Final Environmental Impact Report (FEIR) (SCH #2002071089), which guides land use decisions within a 1,290 acre portion of the planning area, were adopted/certified in February 2003. Following certification of the 2003 FEIR and approval of land use entitlements, development commenced on the 696.2-acre (612 acres developable) North Campus, which is located between Alessandro Boulevard to the north and Van Buren Boulevard to the south. Numerous parcels have been developed and occupied since 2003; others are in various stages of development.

Since adoption of the March Business Center Specific Plan in 2003, the Specific Plan area has become known and marketed as “Meridian”. In 2010, the Meridian Specific Plan Amendment (which amended the March Business Center Specific Plan) and Subsequent EIR (SEIR) (SCH#2009071069) were prepared and certified to modify land uses in response to changes in market conditions since certification of the 2003 FEIR, and to accommodate the Sysco Distribution Facility on Lot 16 within the Meridian Specific Plan area. The Meridian Specific Plan Amendment focused on the undeveloped lots in the North Campus.

**Project Description**

The approved and entitled development to be constructed on the site will be a 510,000 square foot speculative warehousing and distribution building on 25.74 acres. The site is located at 2200 Opportunity Way, directly northeast across the roadway from the Sysco Distribution Facility on Lot 16. Undeveloped lots are located north and south of the site. Lots designated as Open Space are located directly east of the site, as well as Escondido Freeway (Highway 215). The building is designed as a front loading industrial building with 88 truck dock doors on the west elevation screened by a 12' screening wall. The building is consistent with the land use type and intensity found in Tables III-1 and III-2 of the Meridian Specific Plan.

The site is located adjacent to, but not within the Accident Potential Zones identified within the Accident Potential Zones identified in the 2005 March Installation Compatibility Use Zone Study (AICUZ). On September 12, 2013, the Riverside County Airport Land Use Commission found the

development to be conditionally consistent with Airport Land Use Plan for March Air Reserve Base/March Inland Port. The development was found to meet all requirements of the AICUZ and Airport Land Use Commission.

The specific tenant(s) have not been identified for the building; however, all uses must comply with requirements under the Industrial land use category and mitigation measures identified within the Meridian Specific Plan and SEIR. Any future use incorporating operations that are not consistent with provisions in the SEIR is subject to a discretionary review process by the March Joint Powers Commission.

In November 2013, Plot Plan 13-02 for the 510,000 sq. ft. speculative industrial building on Meridian Unit 4 Lots 1 and 2 was approved by the Meridian Design Implementation Committee. The March JPA determined that Plot Plan 13-02 was consistent with the Meridian Specific Plan, SEIR, the applicable portions of the March JPA Development Code, and the General Plan. No additional California Environmental Quality Act (CEQA) review was determined to be required and a Notice of Exemption was filed documenting the project's approval.

On December 3, 2014, the March Joint Powers Commission adopted Resolution #JPA 14-18 certifying the CEQA Addendum to the Meridian SP-5 Subsequent EIR (SCH#2009071069) and approving General Plan Amendment 14-01 and Plot Plan No. 13-02, Amendment No. 1. The Commission further adopted Ordinance #JPA 14-02 approving Specific Plan -5, Amendment No. 2, which amended a 1.19 acre site designation from Public Facilities to Industrial. This approval would provide 106 parking spaces on 1.19 acres that would serve the adjacent 510,000 sq. ft. speculative building (Approved Project PP13-02).

### **Current Application**

As project design has moved into a final design stage, it has been recognized by the applicant that site configuration and design considerations would greatly benefit from an increased height for the building from 44' to 48' for the eastern elevation of the building. This would represent a 4' increase in height from the approved height of 44', as indicated on the attached Site Plan, *Meridian Lot 1&2 Unit 4*. The Meridian Specific Plan allows an increased height up to 80 feet for the Industrial Zone where all building setbacks meet or exceed the proposed building height. Currently the building setback distance from the eastern property boundary is 44'. The applicant is not proposing to increase the setback an additional 4' from the eastern property boundary to coincide with the 4' increase in building height. Therefore, the applicant has made this request for a Variance to increase the building height without increasing the building setback.

The requested Variance would accommodate a 36' internal building clear height to ensure the construction of a state-of-the art facility which will be competitive in the current market for similar warehouse and distribution facilities. If the building structure were to be shifted westward in order to maintain the required setback/building height ratio, the site would be forced to sacrifice its planned truck court depth, thereby making the facility deficient and no longer able to achieve the desired high quality status. The requested Variance is, therefore, in response to a site constraint perceived by the applicant as the entitled development on the site has progressed into a final design stage.

Below is provided an overview of Variance conditions, a statement regarding potential

environmental impacts, and findings in order to qualify for the requested Variance.

### **Variance Overview**

Per Section 9.02.100 of the March JPA Development Code, a Variance is required for Building Height if a proposed structure exceeds the maximum permitted height. As defined in Table III-2 of the Meridian Specific Plan Amendment, the building height may be approved up to 80', provided the building setbacks meet or exceed the proposed building height. The purpose of this requirement is to provide flexibility in maximizing development potential on large lots, while minimizing the massing effect on adjacent properties or street right-of-ways.

The proposed building would have a maximum parapet height of 48' on its eastern elevation. This would exceed the approved height of 44' for the building based on the March JPA Development Code and the building's setback distance from the eastern property line. Therefore a Variance for a 4' height increase without the corresponding building setback distance is required for the proposed building on the site.

Section 9.02.100.D of the March JPA Development Code requires that the Joint Powers Commission make the following findings in its decision to grant a Variance:

1. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary hardship not otherwise shared by others within the surrounding area or vicinity;
2. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties in the vicinity and under the same zoning classification;
3. That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the vicinity and under the same zoning classification;
4. That the granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and under the same zoning classification;
5. That the granting of the Variance will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity; and,
6. That the granting of a Variance is consistent with the objectives and policies of the March JPA General Plan and the intent of this Code.

Findings for the proposed Variance based on the 6 criteria above are included below in *Required Findings*.

### **Environmental Impact Overview**

The environmental consequences of the March Business Center Specific Plan were disclosed in the FEIR certified in February 2003. Following certification of the FEIR, and approval of various

land use entitlements, development commenced on the North Campus of the Specific Plan area. Numerous parcels have been developed and occupied since 2003; others are in various stages of development. In July 2010, the March JPA approved an amendment to the March Business Center Specific Plan in order to make certain modifications to the North Campus to respond to market conditions and to accommodate a prospective industrial uses planning to develop a new facility on what was proposed as Lot 16. The March JPA subsequently prepared and certified the Final SEIR for the Meridian Specific Plan Amendment. The FEIR and SEIR evaluated and analyzed the potential environmental impacts associated with implementation of the March Business Center Specific Plan and the Meridian Specific Plan Amendment.

Proposed development on the site has been approved and entitled, and is consistent with the Industrial land use designation and zoning for the site. The requested Variance would not represent a substantial alteration to existing entitled and approved development on the site. An increased height of 4' for the building's parapet along the building's eastern frontage would not represent a substantial increase in height considering overall building massing on the site and in the direct surrounding vicinity of the site. Furthermore, the increased height would be limited to only one of the building's frontages (eastern).

Therefore, approval of the Variance would not represent a substantial change involving new significant environmental effects or a substantial increase in the severity of previously identified significant effects. Approval of the Variance would not alter the findings of the November 2013 Notice of Exemption filed by the March JPA regarding the project's approval. Consequently, no further additional review requirement per CEQA is required.

### **Conclusion**

With the approval of a Variance to allow for the relatively minor increase in maximum height on one building frontage without the corresponding increase in building setback, development on the site would be consistent with the development standards and proposed land use designation for the project site in the Meridian Specific Plan. The improvements will not result in an increase in intensity of use not previously analyzed in the FEIR or SEIR for the Meridian Specific Plan Amendment.

Furthermore, a similar variance for a height increase without the corresponding increase in building setback has been previously approved with the Meridian Specific Plan area in the Industrial land use designation by the March JPA (14600 Innovation Drive); therefore, the requested Variance does not represent an exceptional request.

Findings for the Variance request are provided on the following pages.

**REQUIRED FINDINGS**  
**Meridian 510K Building, Variance Request, June 2015**

Section 9.02.100 of the March Joint Powers Authority Development Code stipulates that six specific findings must be made before a Variance can be approved. This proposal meets them as follows:

1. That strict or literal interpretation and enforcement of the specified regulation would result in practical difficulty or unnecessary hardship not otherwise shared by others within the surrounding area or vicinity.

**The requested Variance would accommodate a 36' internal building clear height to ensure the construction of a state-of-the art facility which will be competitive in the current market for similar warehouse and distribution facilities. If the building structure were to be shifted westward in order to maintain the required setback/building height ratio, the site would be forced to sacrifice its planned truck court depth, thereby making the facility deficient and no longer able to achieve the desired top quality status. The requested Variance is, therefore, in response to a site constraint perceived by the applicant as the entitled development on the site has progressed into a final design stage. Given the functionality requirements of the proposed facility, a redesign of the building to accommodate an increased setback from the eastern property line as would be required without a Variance would be infeasible.**

2. That there are exceptional or extraordinary circumstances or conditions applicable to the property involved or to the intended use of the property which do not apply generally to other properties in the vicinity and under the same zoning classification.

**See discussion under Finding #1. Additionally, a similar variance for a height increase has been approved with the Meridian Specific Plan area in the Industrial land use/zoning designation by the March JPA (14600 Innovation Drive); therefore, the requested Variance does not represent an exceptional request or extraordinary circumstance.**

3. That strict or literal interpretation and enforcement of the specified regulation would deprive the applicant of privileges enjoyed by the owners of other properties in the vicinity and under the same zoning classification.

**See discussion under Finding #2.**

4. That the granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and under the same zoning classification.

**See discussion under Finding #2.**

5. That the granting of the Variance will not be detrimental to the public health, safety or



welfare, or materially injurious to properties or improvements in the vicinity.

**The requested Variance would not represent a substantial alteration to existing entitled and approved development on the site. An increased height of 4' for the building's parapet along the building's eastern frontage would not represent a substantial increase in height considering overall building massing on the site and in the direct surrounding vicinity of the site. Furthermore, the increased height would be limited to only one of the building's frontages (eastern).**

**The site is located adjacent to, but not within the Accident Potential Zones identified within the Accident Potential Zones identified in the 2005 March Installation Compatibility Use Zone Study (AICUZ). On September 12, 2013, the Riverside County Airport Land Use Commission found the development to be conditionally consistent with Airport Land Use Plan for March Air Reserve Base/March Inland Port. The development was found to meet all requirements of the AICUZ and Airport Land Use Commission.**

**Therefore, granting of the Variance will not be detrimental to the public health, safety or welfare to properties or improvements in the vicinity.**

6. That the granting of a Variance is consistent with the objectives and policies of the March JPA General Plan and the intent of this Code.

**Granting of the requested Variance would be consistent with the objectives and policies of the March JPA General Plan as the Variance would represent a minor alteration to one frontage of an entitled and approved building which will be compatible with existing and anticipated future development in the immediate vicinity of the site in the Specific Plan area. Furthermore, the requested Variance is intended to improve the overall marketability of the proposed development on the site, which can be expected to ultimately improve the likelihood of a long-term tenant occupying the building.**

- (2) To ensure compliance with these criteria, an acoustical study shall be required to be completed for any development proposed to be situated where the aviation-related noise exposure is more than 20 dB above the interior standard (e.g., within the CNEL 60 dB contour where the interior standard is CNEL 40 dB). Standard building construction is presumed to provide adequate sound attenuation where the difference between the exterior noise exposure and the interior standard is 20 dB or less.

#### 2.4 *Supporting Compatibility Criteria for Safety:*

- (a) Countywide Policy 4.2.3: The acceptability of land uses of special concern within certain compatibility zones around March ARB/IPA shall be evaluated in accordance with the criteria indicated in Table MA-2. The criteria listed in Countywide Policy 4.2.3 do not apply.
- (b) Countywide Policy 4.2.4: The requirements for open land do not apply to the vicinity of March ARB/IPA except with regard to Compatibility Zones A and B1.
- (c) Countywide Policy 4.2.5: For the vicinity of March ARB/IPA, new nonresidential development shall not be clustered in a manner that would result in a usage intensity within any one acre (the number of people per single acre) exceeding the limits specified in Table MA-2. Clustering of residential development is encouraged, but the density within any one acre shall be limited to no more than 4.0 times the allowable average density for the zone in which the development is proposed.
- (d) Countywide Policy 4.2.6: The policy concerning risk reduction through building design is not applicable to the March ARB/IPA influence area.
- (e) Calculation of Usage Intensities for Retail Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of retail sales and display areas (a.k.a. mercantile areas) or “showrooms” (excluding restaurants and other uses specifically identified separately from retail/mercantile in Table C1) shall be evaluated as having an occupancy level of 115 gross square feet per person without eligibility for the 50 percent reduction in the resulting usage intensity (people per acre) as described in the appendix.
- (f) Calculation of Usage Intensities for Warehouse Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of warehouses, distribution centers, e-commerce centers, fulfillment centers, and similar uses in buildings larger than 200,000 gross square feet, exclusive of offices, conference rooms, break rooms and other uses identified separately from warehouses in Table C1, shall be calculated as follows:
  - (1) High-cube warehouses and distribution centers, other than e-commerce centers and fulfillment centers, shall be evaluated on the basis of 35% of the usage intensity that results from the occupancy level indicated in Table C1.
  - (2) E-commerce centers, fulfillment centers, and other similar uses shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1.

- (3) Office space in these buildings shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1. All other separately identified uses shall be evaluated on the basis of the occupancy level listed for the respective use in Table C1.

2.5 *Supporting Compatibility Criteria for Airspace Protection:*

- (a) *Countywide Policy 4.3.3:* For proposed objects in the March ARB/IPA vicinity, the heights requiring ALUC review shall be as specified in Table MA-2.
- (b) *Countywide Policy 4.3.4:* Heights of objects shall be restricted in accordance with the airspace protection surfaces depicted in Table MA-2.
- (c) *Countywide Policy 4.3.5:* The compatibility zones within which dedication of an aviation easement shall be required as a condition of development is as indicated in Table MA-2. Except within Compatibility Zone A, aviation easements shall be dedicated to the March Inland Port Airport Authority or other civilian agency that may supersede it (successor-in-interest). Any aviation easements required within Zone A shall be dedicated to the United States of America.
- (d) *Countywide Policy 4.3.7:* Additional hazards to flight as listed in Table MA-2 are to be avoided in the vicinity of March ARB/IPA.

2.6 *Supporting Compatibility Criteria for Overflight:*

- (a) *Countywide Policy 4.4.3:* The compatibility zones within which a deed notice shall be required as a condition of development are as indicated in Table MA-2.

2.7 *Site-Specific Exceptions:*

Four development projects near March ARB have received entitlements in the form of Development Agreements or Disposition and Development Agreements from the respective jurisdictions prior to adoption of the *ALUCP* by the Riverside County ALUC. As such, exceptions to the compatibility criteria outlined in the preceding subsections are granted for these projects provided that they meet the conditions indicated below. (The locations of these exceptions are shown on Map MA-1 and the numbers below correspond to the numbering on that map.)

Exceptions for Sites 1 through 4 are valid only as long as the indicated specific plans and associated development agreements remain in effect. Any changes to the specific plans must be reviewed by the ALUC to ensure that increases in intensity of the proposed development would not result from the changes. Further, if the development agreements should expire, the criteria applicable to the property for which these exceptions apply shall revert to the underlying compatibility criteria indicated in this *ALUCP*.

- (a) *(Exception Site 1) March Business Center Specific Plan (SP-1) and Meridian (SP-5), March Joint Powers Authority*
- (1) Situated in Compatibility Zones B1, B2, C1, C2 and D.
- (2) March Business Center, a 1,032-acre, non-residential business park located at the southwest corner of Alessandro Boulevard and I-215 freeway within the March Joint Powers Authority, approved with specific airport compatibility provisions

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: October 8, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1147MA15 – John Mulvihill/One Sun Life (Representative: Karina Fidler, Kimley-Horn and Associates) – March JPA Case No.: Variance 15-02 [Associated case: Plot Plan 13-02 A3]. Previously approved Plot Plan 13-02 was a proposal to develop a 510,000 square foot industrial warehouse building on 25.74 acres located northerly and easterly of Opportunity Way, easterly of Meridian Parkway, westerly of Interstate 215, and northerly of Van Buren Boulevard, within the land use jurisdiction of the March Joint Powers Authority. Plot Plan 13-02 A3 would amend the previously approved Plot Plan by increasing the maximum building height from 44 feet to 48 feet and increasing the maximum top point elevation to 1,606 feet above mean sea level. The Variance is required in that the building height at up to 48 feet above ground level exceeds both the Specific Plan standard of 35 feet (Table III-2 of Specific Plan No. 5) and the proposed minimum rear yard setback of 44 feet. (A Variance would not have been required had all setbacks been at least 48 feet.) (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area, within the March Business Center/Meridian Exception Site 1).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Grace Williams of the March JPA Planning Department, at (951) 656-7000.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.  
**ZAP1147MAIS**

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 2/18/15  
 Property Owner John Mulvihill / One SunLife Phone Number (800) 786-5433  
 Mailing Address One SunLife Executive Park  
Wellesley Hills, MS 02481

Agent (if any) Karna Filler / Kimley-Horn Associates Phone Number (619) 744-0138  
 Mailing Address 401 B Street, Suite 600  
San Diego, CA 92101

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 22000 Opportunity Way  
Riverside, CA 92518

Assessor's Parcel No. 294-050-079 Parcel Size \_\_\_\_\_  
 Subdivision Name Meridian Specific Plan Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

*March  
 1st  
 City*

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Vacant

Proposed Land Use (describe) 510,000 square foot speculative warehouse on 1.25 acres.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site \_\_\_\_\_ Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) \_\_\_\_\_ ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	7/15/15
Agency Name	Maren JPA
Staff Contact	Araze Williams
Phone Number	(951) 656-7000
Agency's Project No.	Variance 15-02 Parent Case: Plot Plan 13-02
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other <u>Height Variance</u>

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review--See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** November 12, 2015

**CASE NUMBER:** ZAP1159MA15 – Gary Wang & Associates for Yum Yum Donuts – (Representative: Arche Del Rosario)

**APPROVING JURISDICTION:** City of Moreno Valley

**JURISDICTION CASE NO:** PA14-0013 (Plot Plan)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to construct a 4,750 square foot retail building for a donut/convenience store on two contiguous parcels with a combined net area of 0.61 acre.

**PROJECT LOCATION:** The site is located at the northwesterly corner of Alessandro Boulevard and Day Street, within the City of Moreno Valley, approximately 7,900 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C1
- c. Noise Levels: 60-65 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1. Average intensity in Compatibility Zone C1 is limited to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed building:

- Retail – 1 person per 115 square feet
- Commercial Kitchen – 1 person per 200 square feet
- Office – 1 person per 200 square feet (with 50% reduction)
- Storage – 1 person per 300 square feet

Based on the floor plan provided, the total proposed building would include 1,811 square feet of retail area, 460 square feet of commercial kitchen area, 59 square feet of office area, and 515 square feet of storage area, for a total occupancy of 20 people. Given the net site area of 0.61 acres, this results in an average intensity of 33 people per acre, which is compatible with the Zone C1 average acre criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). Based on the number of standard parking spaces provided of 21, the total occupancy would be estimated at 32 people. This results in an average intensity of 52 people per acre, which is also compatible with the Zone C1 average acre criterion of 100.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. However, due to the total site acreage being less than one acre, the prorated average intensity criterion is the governing factor.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area at between 60-65 CNEL range from aircraft noise. As a commercial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the building would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (AMSL). At a distance of approximately 7,900 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1614 feet AMSL. The proposed finished floor elevation is 1550.5 feet above mean sea level. With a maximum building height of 30 feet, the top point elevation would be 1580.5 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

## **CONDITIONS:**

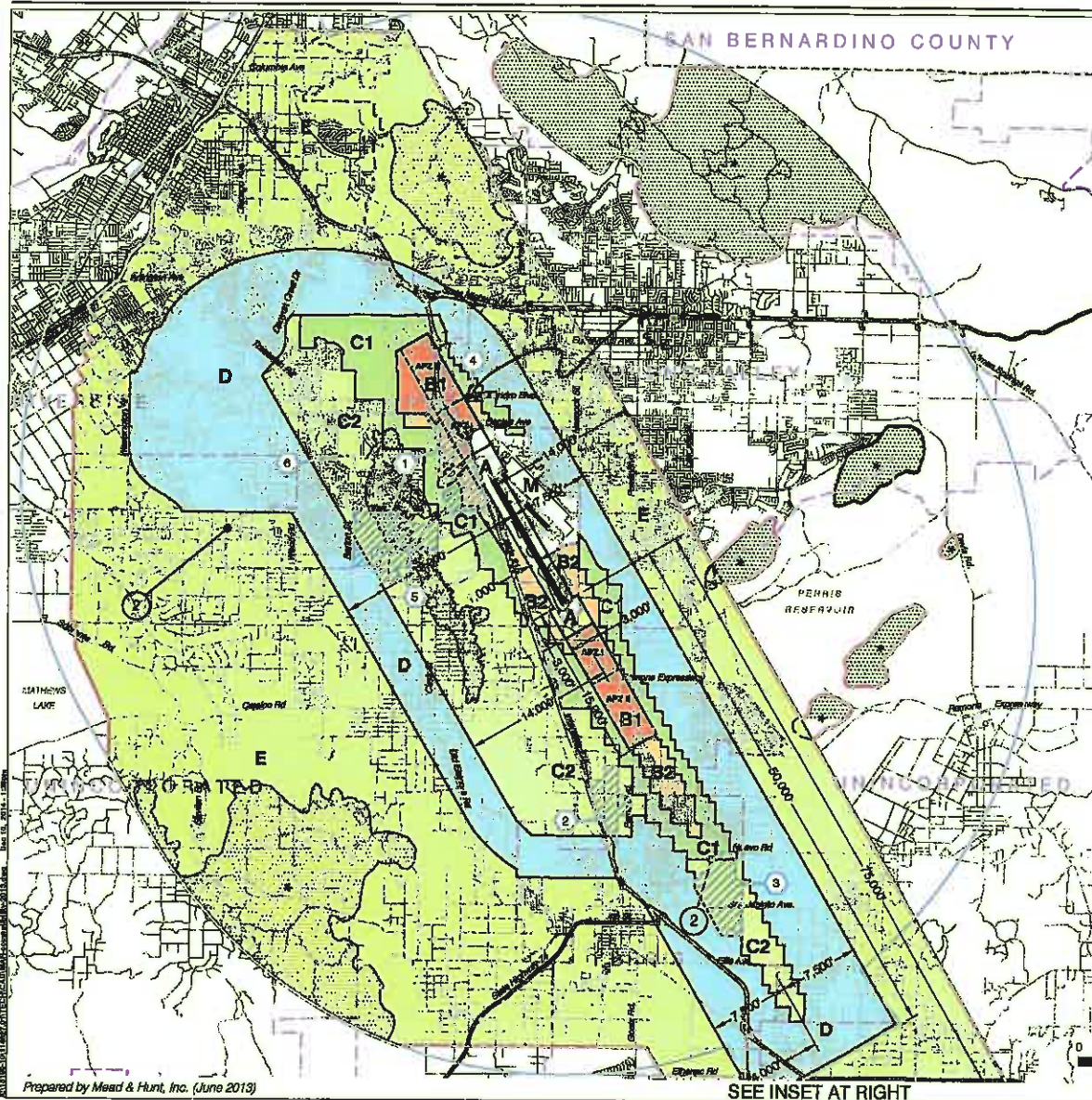


1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly, noise sensitive outdoor nonresidential uses and hazards to flight.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
4. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
5. No detention basins are depicted on the site plan. Any new detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not

more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

**LEGEND**

**Compatibility Zones**

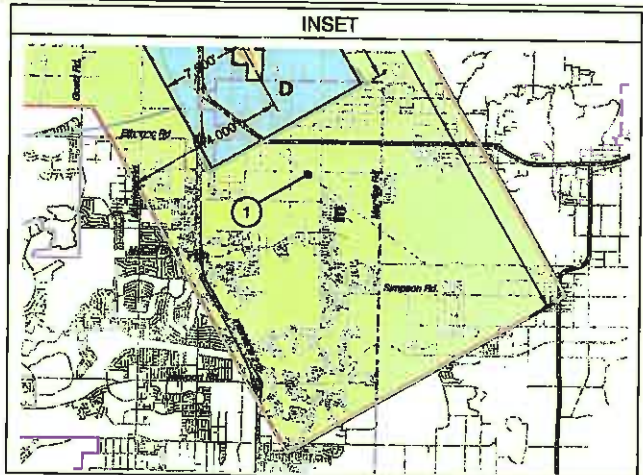
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,595 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Mendian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

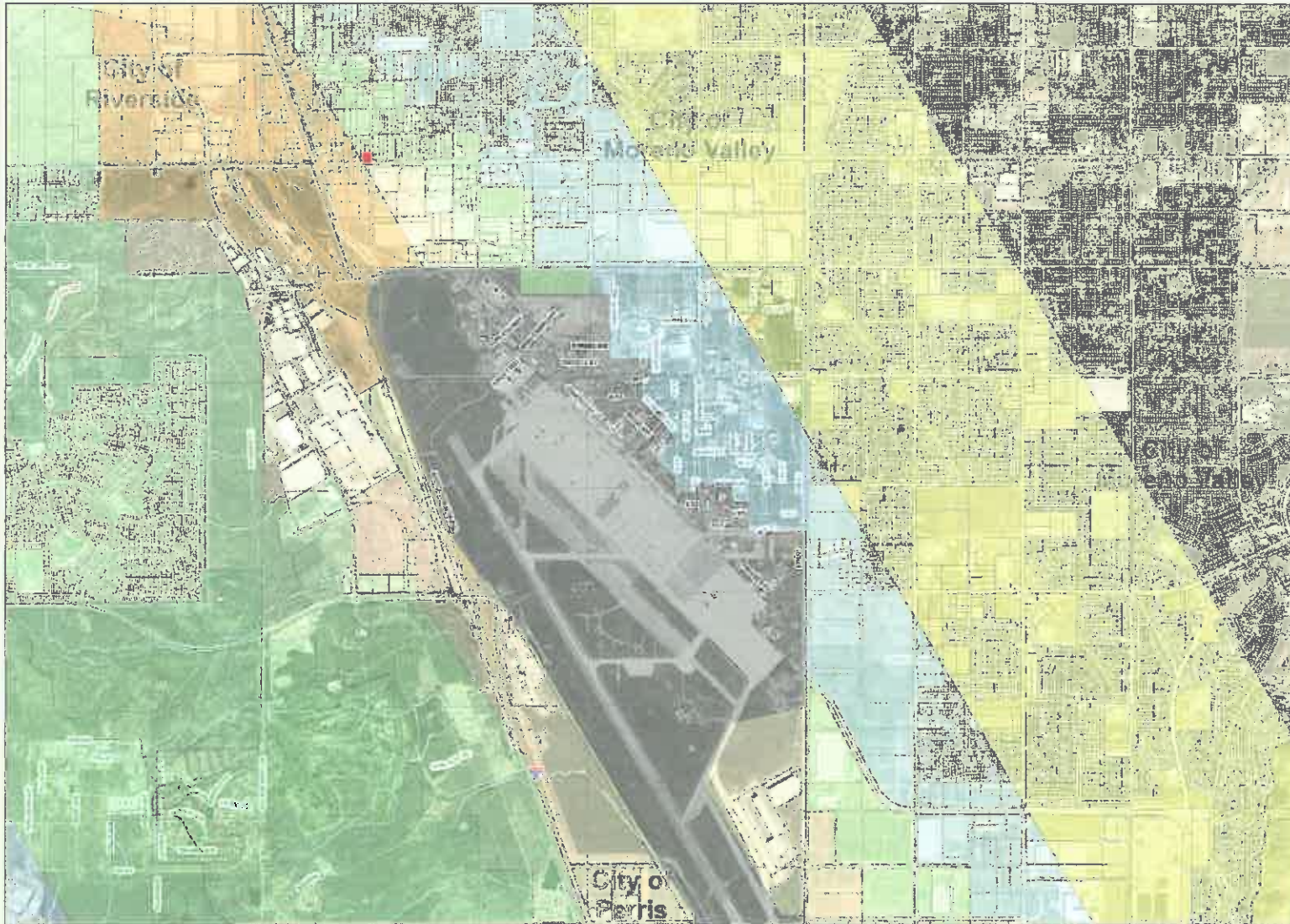
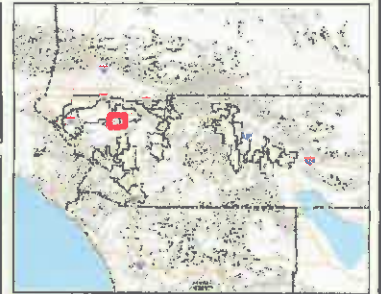
**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**




























# My Map



## Legend

### Airport Compatibility

-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT
-  C2-HIGHT-EXC1
-  C2-HIGHT-EXC5



0 4,550 9,100 Feet



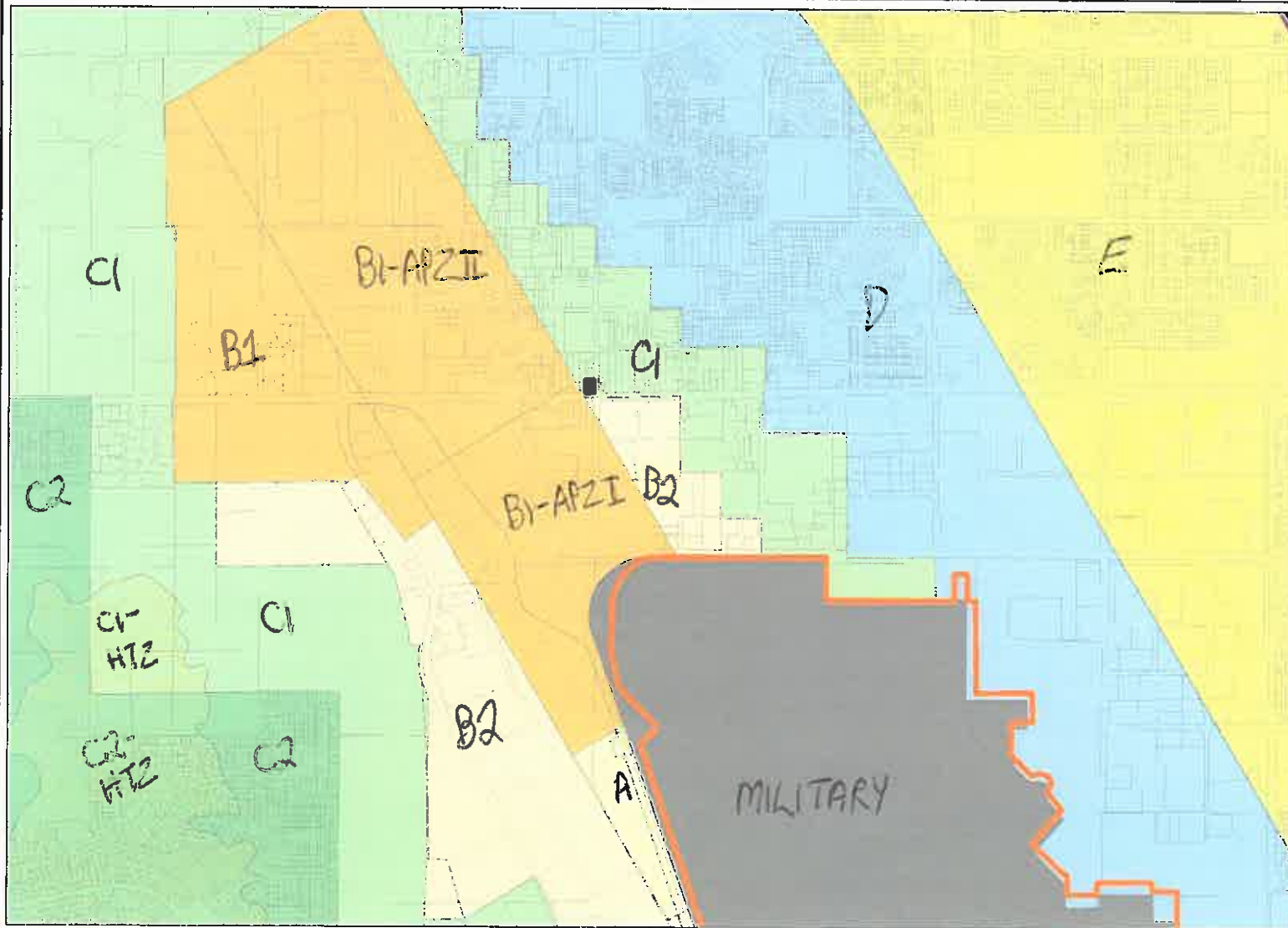
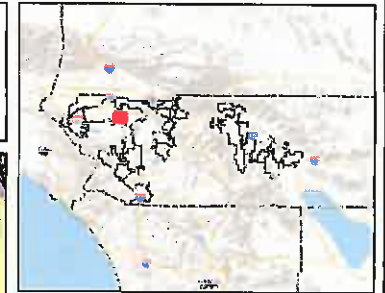
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/1/2015 1:56:51 PM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 2,920 5,841 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

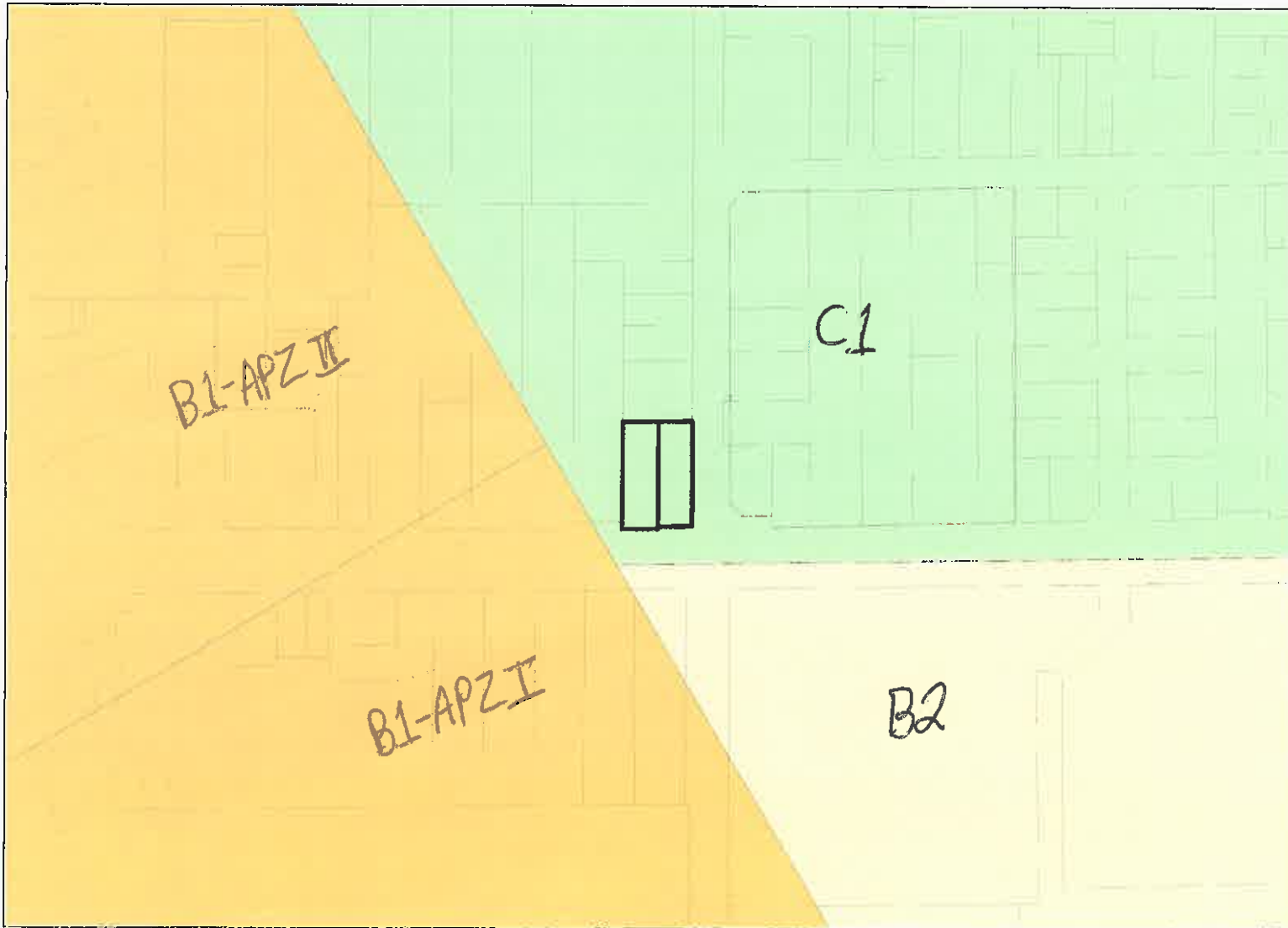
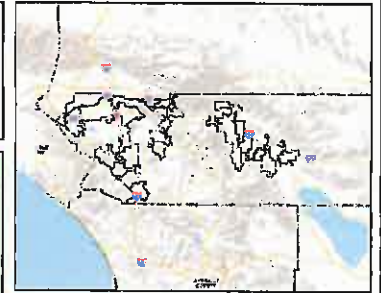
REPORT PRINTED ON... 10/28/2015 10:04:30 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 365 730 Feet



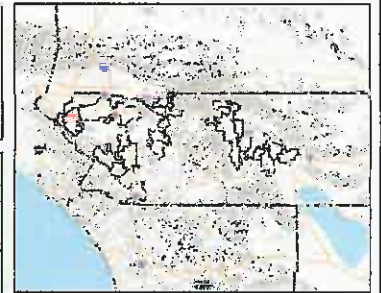
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/28/2015 10:06:02 AM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



0 284 569 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

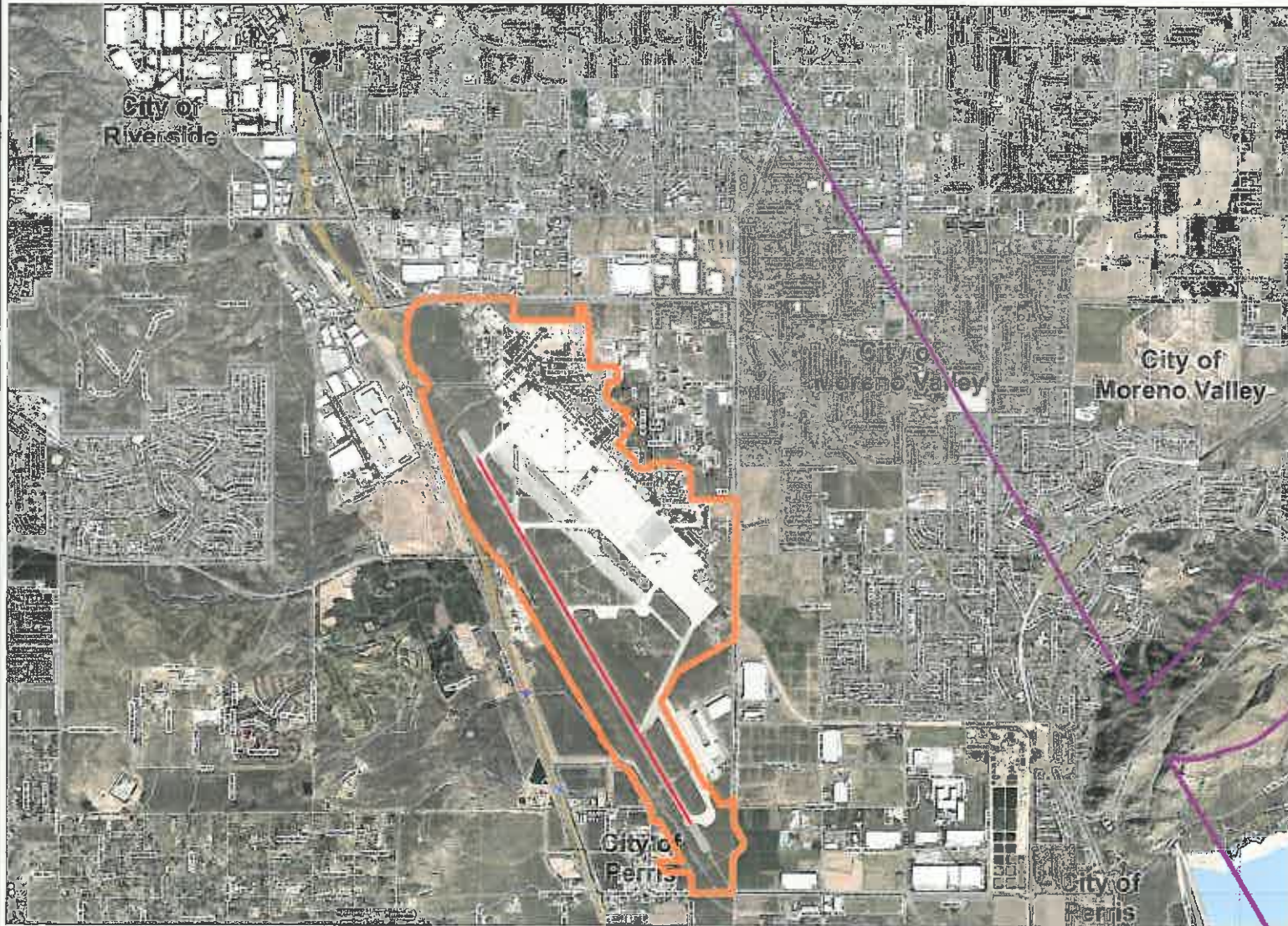
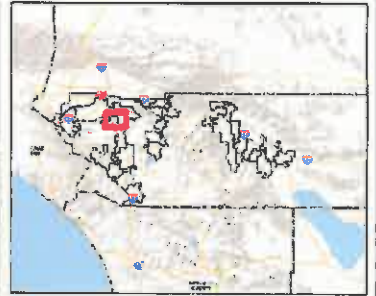
REPORT PRINTED ON... 10/1/2015 1:55:46 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Airports
- AIA
- Runways
- City Boundaries
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
  - Lakes
  - Rivers



0 5,841 11,681 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

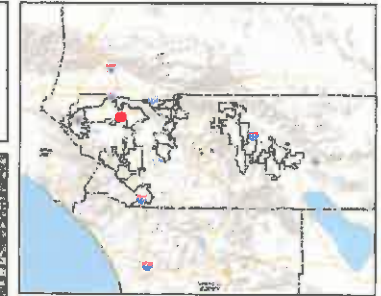
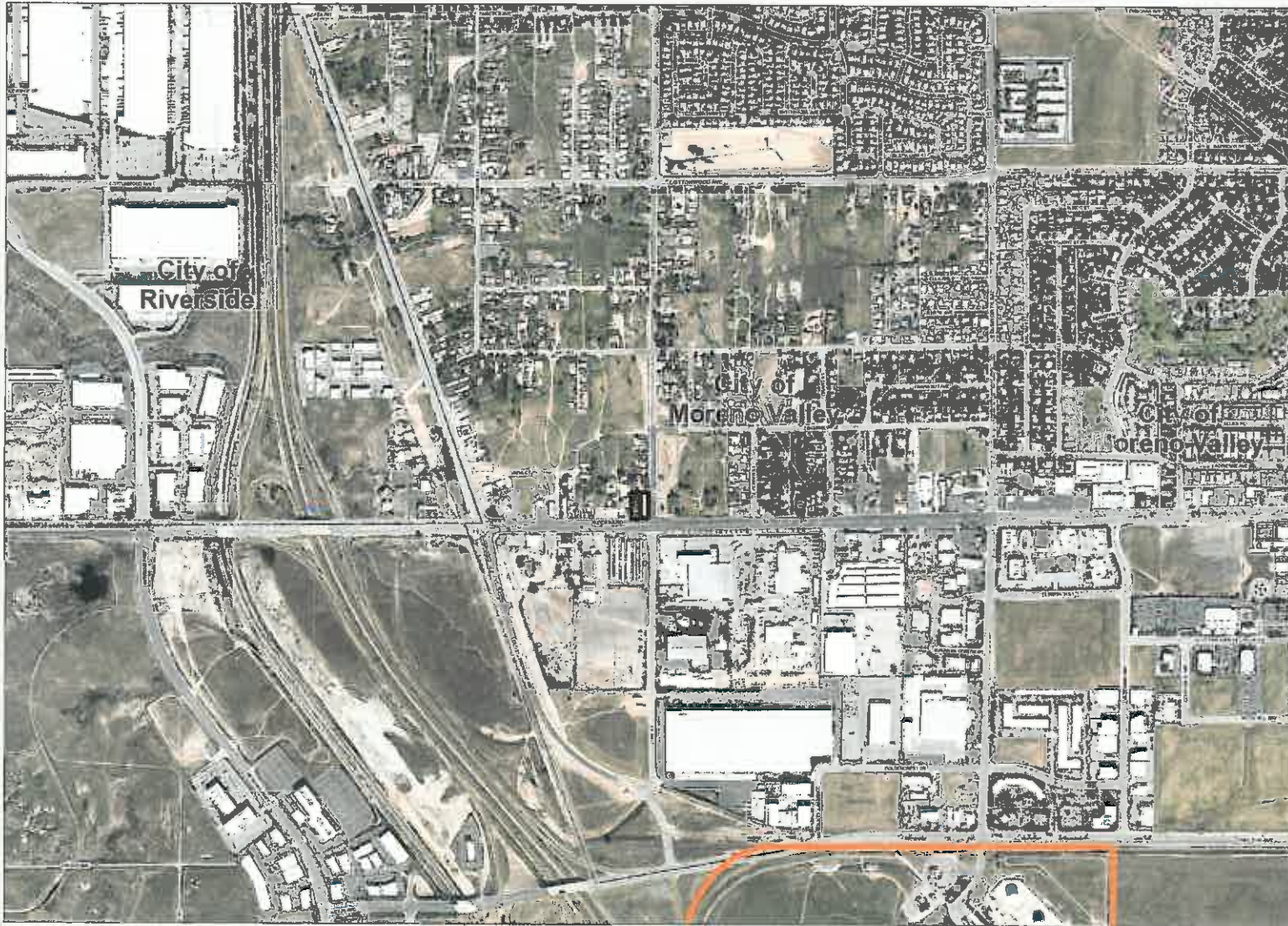
REPORT PRINTED ON... 10/28/2015 10:08:13 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

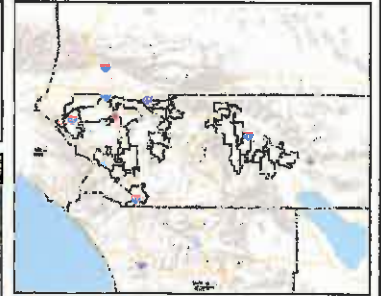
REPORT PRINTED ON... 10/28/2015 10:09:23 AM

© Riverside County TLMA GIS
















## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



0 365 730 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

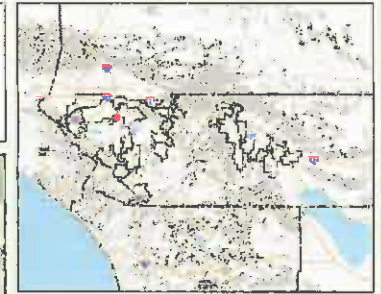
REPORT PRINTED ON... 10/28/2015 10:10:25 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 284 569 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

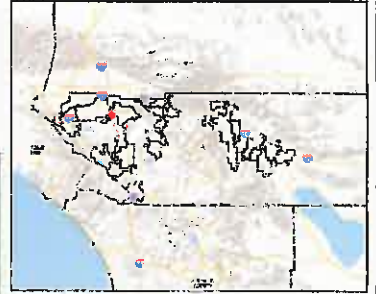
REPORT PRINTED ON... 10/1/2015 1:55:20 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

## Notes

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



0 182 364 Feet

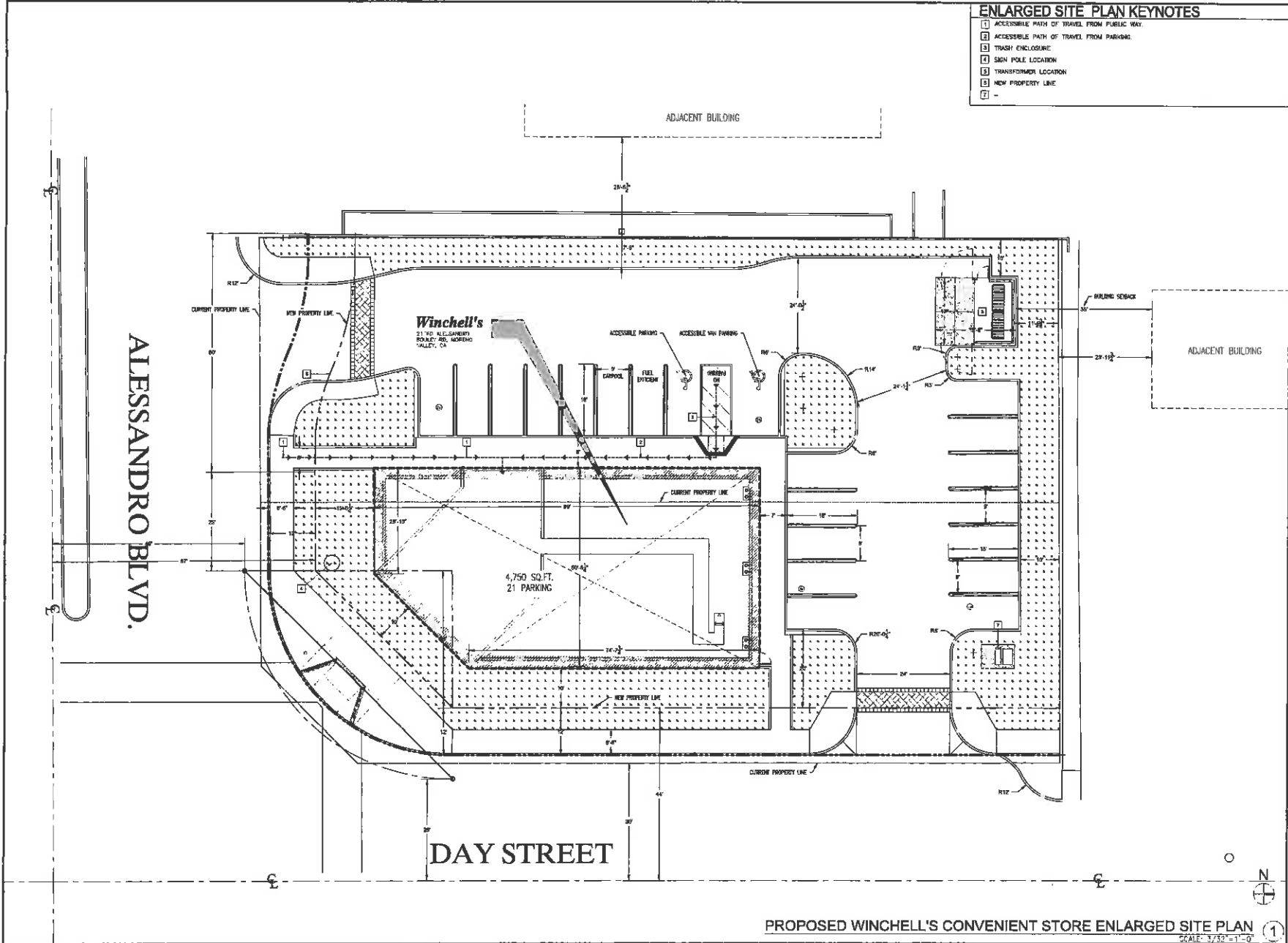


REPORT PRINTED ON... 10/26/2015 10:11:40 AM

© Riverside County TLMA GIS

**ENLARGED SITE PLAN KEYNOTES**

- 1 ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY
- 2 ACCESSIBLE PATH OF TRAVEL FROM PARKING
- 3 TRASH ENCLOSURE
- 4 SIGN POLE LOCATION
- 5 TRANSFORMER LOCATION
- 6 NEW PROPERTY LINE
- 7 -



THIS DRAWING IS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED ARCHITECT IN THE STATE OF CALIFORNIA. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OTHER THAN ARCHITECTURAL SERVICES. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OTHER THAN ARCHITECTURAL SERVICES. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OTHER THAN ARCHITECTURAL SERVICES. I AM NOT PROVIDING ANY PROFESSIONAL SERVICES OTHER THAN ARCHITECTURAL SERVICES.

ARCHITECT  
**GARY WANG**  
 & ASSOCIATES, INC.  
 10855 Cornerstone Center Dr., PH 18  
 Irvine, CA 92618  
 TEL: 949.260.8888 FAX: 949.260.1616  
 http://www.garywang.com

STAMP

PROJECT NAME/ADDRESS:  
**Winchell's**  
 21960 ALESSANDRO BLVD.  
 MORENO VALLEY, CA 92553

REVISIONS:

1	
2	
3	
4	
5	
6	
7	

ISSUE DATE:

REV	04/11/14	REV	ADD TO PLANNING
2ND	05/01/14	REV	REVISION
3RD	10/03/14	REV	2ND SUBMITTAL
4TH			
5TH			
6TH			

JOB NUMBER  
 ARCH PROJECT #: 14-074

DRAWN BY  
 AD, JG, & CL

SHEET CONTENT

ENLARGED SITE PLAN

SHEET NO

**G-1.0**

PROPOSED WINCHELL'S CONVENIENT STORE ENLARGED SITE PLAN  
 SCALE: 3/32"=1'-0"



THIS DRAWING AND SPECIFICATIONS ARE FOR THE CONSTRUCTION OF THE STORE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

ARCHITECT  
**GARY WANG & ASSOCIATES, INC.**  
 1208 Commerce Center Dr., #418  
 Modesto, CA 95231  
 TEL: (209) 523-4888 FAX: (209) 773-1101  
 http://www.garywang.com

STAMP

PROJECT NAME/ADDRESS  
**Winchell's**  
 21960 ALESSANDRO BLVD.,  
 MORENO VALLEY, CA 92553

REVISIONS:

1	
2	
3	
4	
5	

ISSUE DATE

1st	04/21/14	1ST SUB TO PLANNING
2nd	05/01/14	REVISED
3rd	10/01/14	3RD SUBMITTA
4th		
5th		

JOB NUMBER  
 ARCH PROJECT # 14074

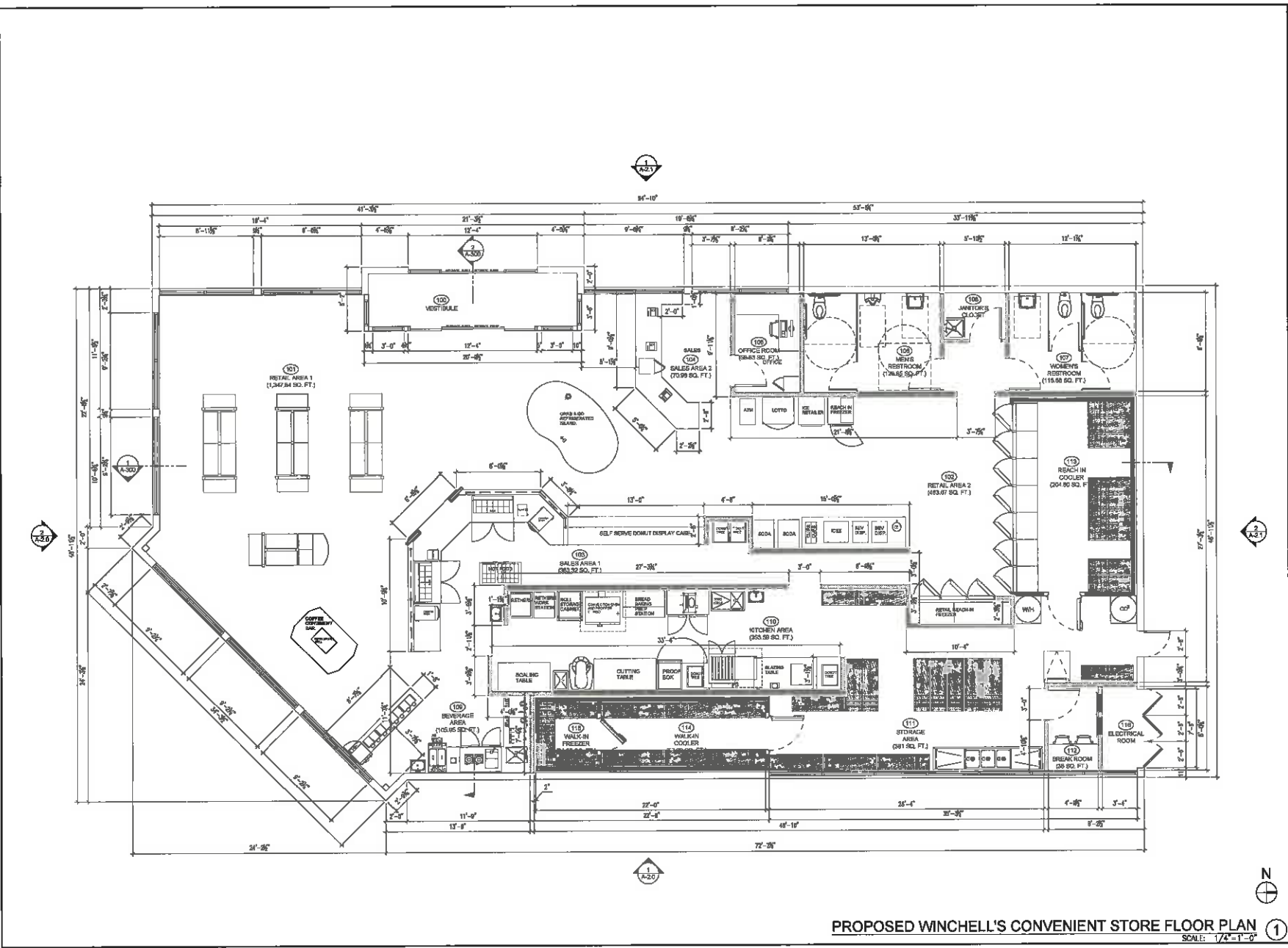
DRAWN BY  
 AD/CL/CL

INHERIT CONTENT  
 FLOOR PLAN

SHEET NO.

**A-1.0**

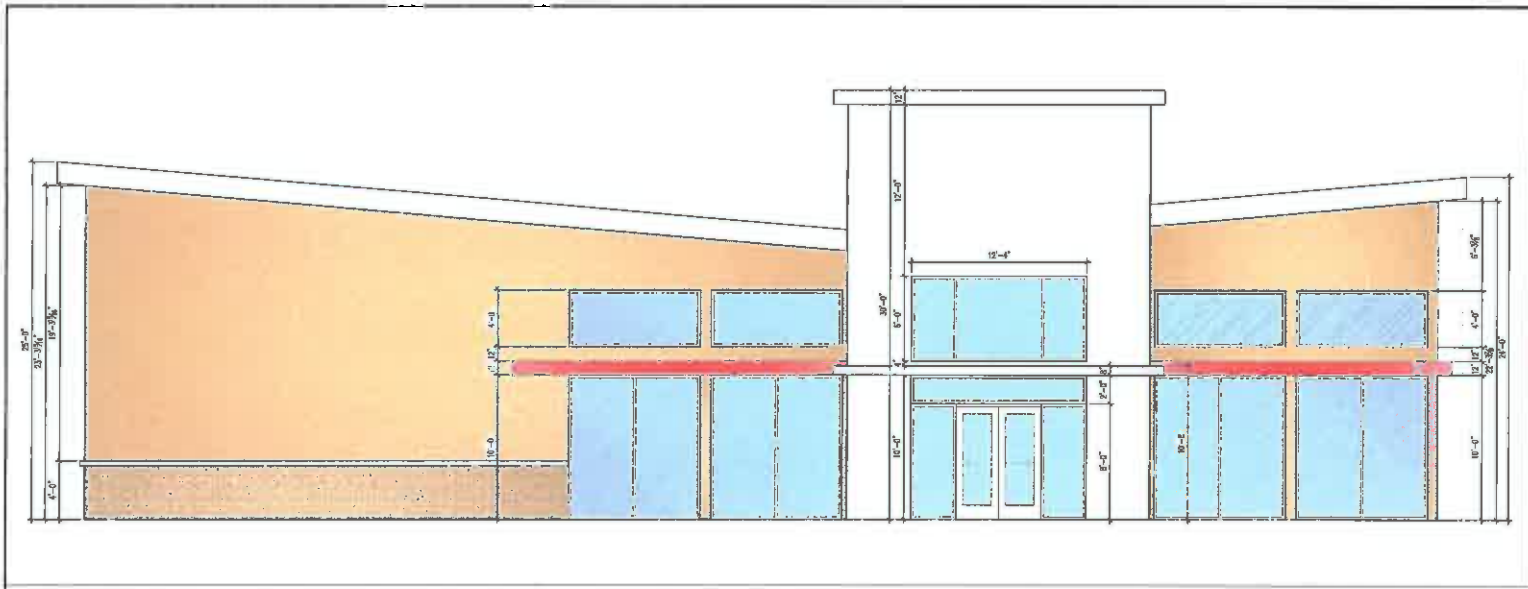
PA14-0013



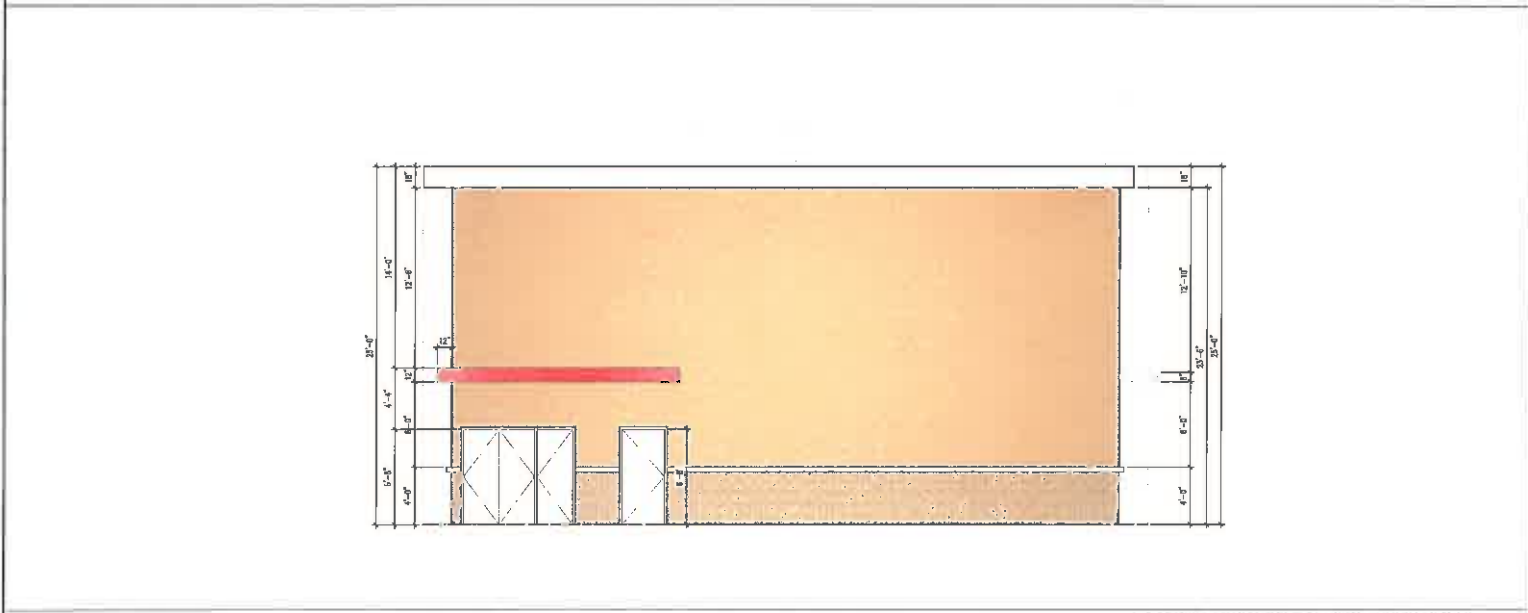
PROPOSED WINCHELL'S CONVENIENT STORE FLOOR PLAN  
 SCALE: 1/4"=1'-0" ①







PROPOSED WEST EXTERIOR ELEVATION



PROPOSED NORTH EXTERIOR ELEVATION



THESE DRAWINGS ARE PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AGENCIES.

ARCHITECT  
**GARY WANG**  
 & ASSOCIATES, INC.  
 1258 Corporate Center Dr., PMB 118  
 Menlo Park, CA 94025  
 TEL: (650) 326-8888 FAX: (650) 326-7101  
 http://www.garywang.com

STAMP

PROJECT NAME/ADDRESS:  
**Winchell's**  
 21960 ALESSANDRO BLVD.  
 MORENO VALLEY, CA 92553

REVISIONS:	
1	
2	
3	
4	
5	

ISSUE DATE:	
1ST	08/14 - 1ST SUB T3 PERMITS
2ND	08/24 - REVISED
3RD	09/14 - 2ND SUBMITTAL
4TH	
5TH	

JOB NUMBER  
 ARCH PROJECT #: 14-074

DRAWN BY  
 AD, GC & CL

SHEET CONTENT  
 EXTERIOR ELEVATIONS

SHEET NO  
**A-2.1**

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Veterans Day (Wednesday, November 11) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: November 12, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1159MA15 – Gary Wang & Associates for Yum Yum Donuts – City of Moreno Valley Case No. PA14-0013. A proposal to construct and operate a 4,750 square foot Winchell's donut shop/convenience store on two contiguous parcels (Assessor's Parcel Numbers 263-230-012 and 263-230-013) with a combined net area of 0.61 acre located at the northwest corner of Alessandro Boulevard and Day Street in the City of Moreno Valley. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Gabriel Diaz of the City of Moreno Valley Planning Division, at (951) 413-3206.

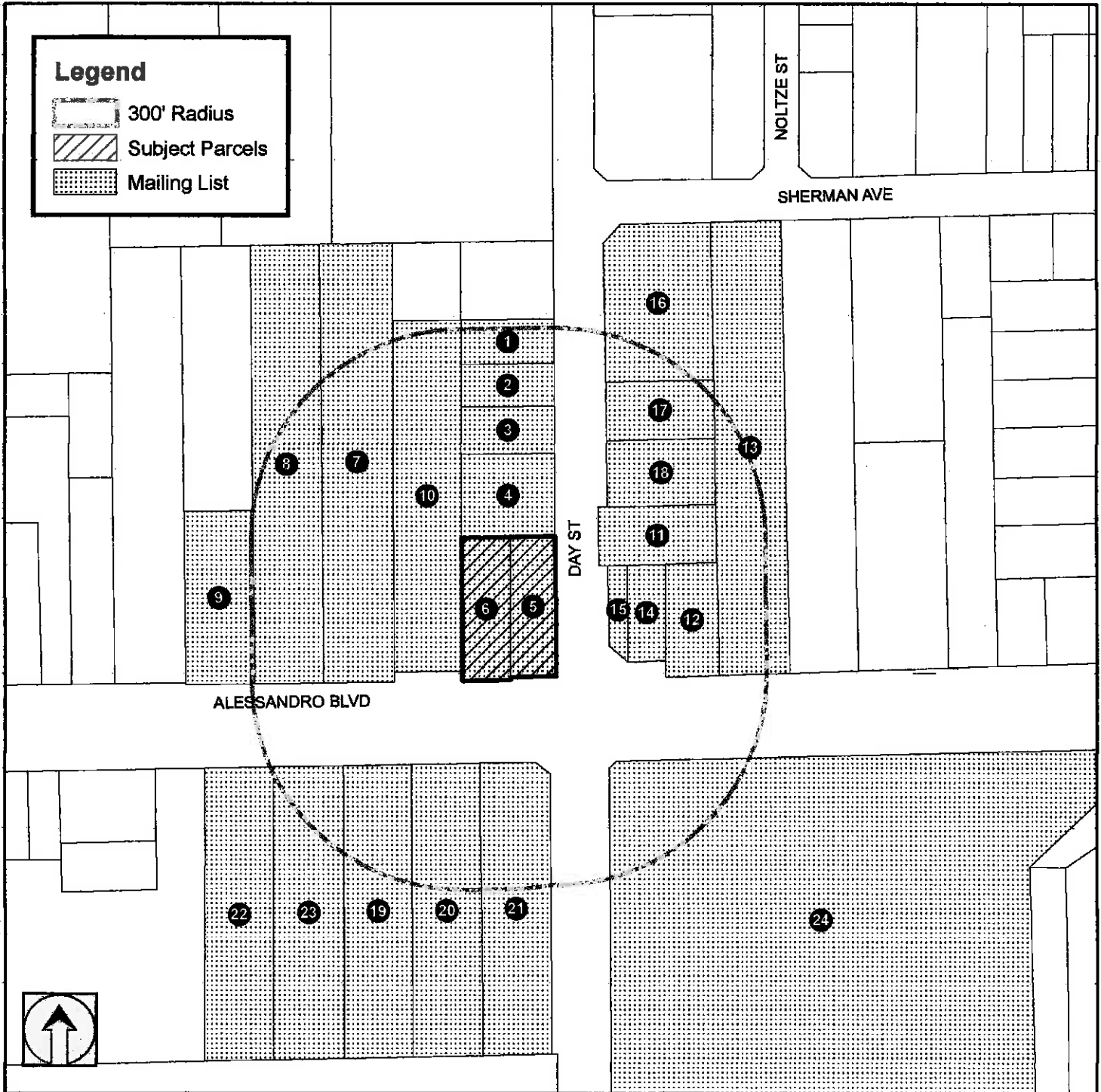
# Radius Map 300'

Map Date: 09/11/2015

## SUBJECT PROPERTY

APNs: (RIV) 263-230-012, -013  
ADDRESS: 21960 ALESSANDRO BLVD, MORENO VALLEY, CA 92553

**Data Source**  
Riverside County Geographic Information System  
Base Parcel Database (Derived from APN Maps)  
September 2015 Extraction Date  
City of Moreno Valley Area



### Notes:

Latest equalized assessment rolls obtained from the Riverside County Assessor's Office through ParcelQuest, a vendor service.  
Extraction Date: 09/11/2015

Map created with ArcGIS 10



www.radiusmaps4less.com | (909) 997-9357

1159

# APPLICATION FOR MAJOR LAND USE ACTION REVIEW RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1159MA15

## PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application \_\_\_\_\_

Property Owner

YUM YUM DONUTS

Phone Number

(626)964-1478

Mailing Address

18830 E. SAN JOSE AVE

CITY OF INDUSTRY, CA 91748

Agent (if any)

GARY WANG & ASSOCIATES

Phone Number

(626)288-6898

Mailing Address

1255 CORPORATE CENTER DR., PH 8

MONTEREY PARK, CA 91754

## PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address

21960 ALLESSANDRO BOULEVARD,

MORENO VALLEY, CA 92553

Assessor's Parcel No.

263-230-013 & 263-230-012

Parcel Size \_\_\_\_\_

Subdivision Name \_\_\_\_\_

Lot Number

THAT PORTION OF LOT 41 OF EDMONT NO. 2

Zoning

Classification

C-1

## PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use  
(describe)

COMMERCIAL - EMPTY LOT

Proposed Land Use  
(describe)

COMMERCIAL USE - CONVENIENCE STORE FOR WINCHELL'S

For Residential Uses

Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_

For Other Land Uses

Hours of Use \_\_\_\_\_

(See Appendix C)

Number of People on Site

Maximum Number \_\_\_\_\_

Method of Calculation \_\_\_\_\_

Height Data

Height above Ground or Tallest Object (including antennas and trees)

36 ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site

30 ft.

Flight Hazards

Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?

Yes

No

If yes, describe \_\_\_\_\_

March  
C1

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	<u>09/30/2015</u>
Agency Name	<u>PLANNING DIVISION CITY OF MORENO VALLEY</u>
Staff Contact	<u>MR GABRIEL DIAZ</u>
Phone Number	<u>(951) 413.3206</u>
Agency's Project No.	<u>PA14 - 0013 (WINCHELL'S / YUM YUM DONUTS)</u>
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other <u>PLOT PLAN APPLICATION</u>

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1. . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. . . . . Check for review—See Below



**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.2

**HEARING DATE:** November 12, 2015

**CASE NUMBER:** ZAP1157MA15 – Crown Castle – WTA Property  
(Representative: Justin Davis)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P15-0051 (Design Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission open the public hearing, consider testimony, and find the project CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** City of Riverside Case No. P15-0051 is a proposal to establish an unmanned telecommunications facility consisting of antennas on a 70-foot (70') high monopine tower, with associated equipment shelter, on a 457.5 square foot lease area within a 20.62-acre parcel and remove an existing 57-foot (57') monopole tower.

**PROJECT LOCATION:** The site is located on the grounds of the Amelia Earhart Middle School, on the northerly side of Aptos Street, easterly of Gumtree Lane, in the City of Riverside, approximately 11,300 feet westerly of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C2 and High Terrain Zone
- c. Noise Levels: Less than 60 CNEL from aircraft

**BACKGROUND:**

Prohibited Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C2.

Part 77: The property is located approximately 11,300 feet westerly of the northerly end of runway 14-32. Based on this distance and the runway elevation of 1535 feet above mean sea level (AMSL), any structure exceeding 1648 feet AMSL would require FAA Obstruction Evaluation review. The site has an elevation of approximately 1773 feet AMSL, and the project proposes a structure height of 70 feet for a total elevation of 1843 feet AMSL. The applicant submitted Form 7460-1 to FAA for Obstruction Evaluation in 2013. An Aeronautical Study Number (ASN) of 2013-AWP-5548-OE was assigned, and a "Determination of No Hazard to Air Navigation" was issued on November 7, 2013. An extension to November 2016 was granted on June 23, 2015.

Noise: Average noise levels on this site from aircraft operations would be below 60 dB CNEL. As a non-noise sensitive use, no special mitigation measures are necessary.

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including landscaping utilizing water features, aquaculture, livestock operations, production of cereal grains, sunflower, and row crops, artificial marshes, landfills, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, incinerators, fly ash disposal, and wastewater management facilities.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive outdoor nonresidential uses and hazards to flight.
3. Prior to the issuance of any building permits or authorization to operate the proposed

## Staff Report

Page 3 of 4

facilities, the landowner shall convey and have recorded an avigation easement to March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.

4. Any new detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
5. The attached notice shall be provided to all potential purchasers of the property and tenants and/or lessees of the buildings and facilities thereon.
6. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2013-AWP-5548-OE), and has determined that neither marking nor lighting of the structure is necessary for avigation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
7. The maximum elevation at the top of the proposed structure shall not exceed 1843 feet above mean sea level.
8. The specific coordinates, height, top point elevation of the proposed structure, frequencies, and power specified in the Federal Aviation Administration letter dated November 7, 2013 shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
9. Temporary construction equipment (such as cranes) used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
10. Within five (5) days after construction of structures reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.
11. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave

transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

Y:\AIRPORT CASE FILES\March\ZAP1157MA15\ZAP1157MA15sr.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76137

Aeronautical Study No.  
 2013-AWP-5548-OE

Issued Date: 11/07/2013

Cassandra Robbins  
 Crown Castle  
 5350 N. 48th Street, Suite 305  
 Chandler, AZ 85226

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower 879920 Van Buren  
 Location: Riverside, CA  
 Latitude: 33-53-20.40N NAD 83  
 Longitude: 117-18-31.93W  
 Heights: 1773 feet site elevation (SE)  
 70 feet above ground level (AGL)  
 1843 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
- Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 05/07/2015 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-AWP-5548-OE.

**Signature Control No: 197499979-201252126**

( DNE )

Karen McDonald  
Specialist

Attachment(s)  
Case Description  
Frequency Data  
Map(s)

cc: FCC

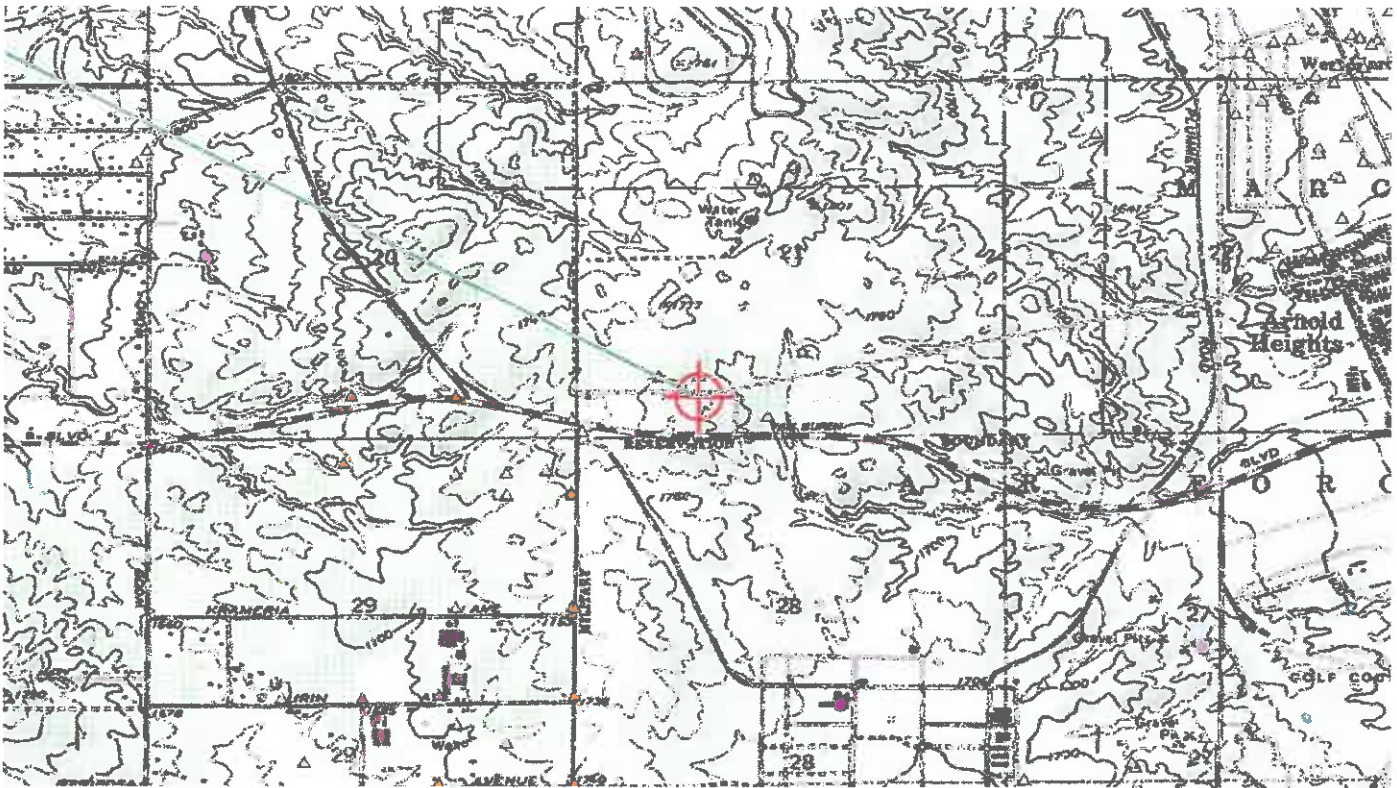
**Case Description for ASN 2013-AWP-5548-OE**

Requesting approval for new tower.

**Frequency Data for ASN 2013-AWP-5548-OE**

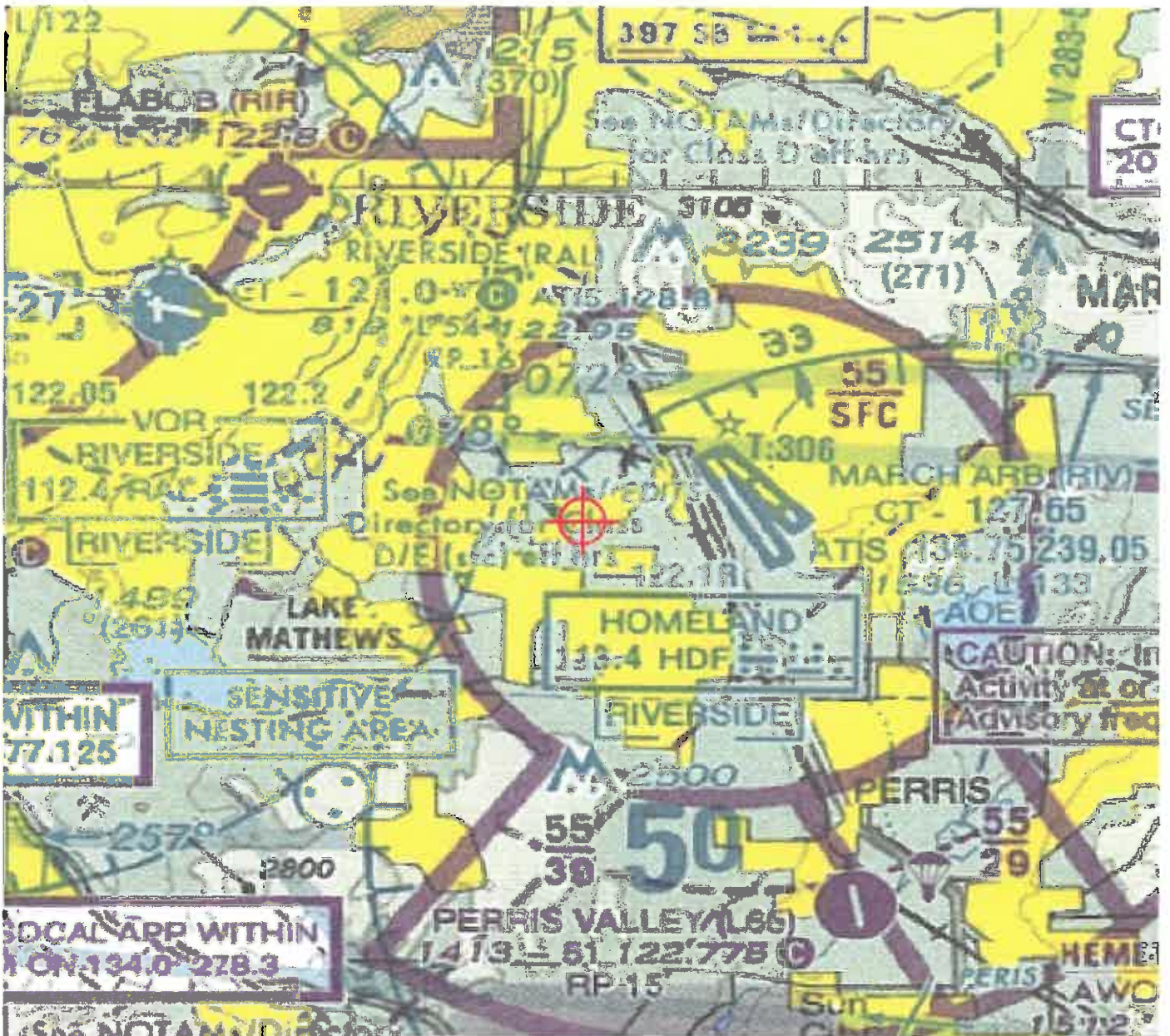
<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
5725	5875	MHz	280	W

Verified Map for ASN 2013-AWP-5548-OE





Sectional Map for ASN 2013-AWP-5548-OE





Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
2601 Meacham Boulevard  
Fort Worth, TX 76193

Aeronautical Study No.  
2013-AWP-5548-OE

Issued Date: 06/23/2015

Cassandra Robbins  
Crown Castle  
5350 N. 48th Street, Suite 305  
Chandler, AZ 85226

**\*\* Extension \*\***

A Determination was issued by the Federal Aviation Administration (FAA) concerning:

Structure:	Antenna Tower 879920 Van Buren
Location:	Riverside, CA
Latitude:	33-53-20.40N NAD 83
Longitude:	117-18-31.93W
Heights:	1773 feet site elevation (SE) 70 feet above ground level (AGL) 1843 feet above mean sea level (AMSL)

In response to your request for an extension of the effective period of the determination, the FAA has reviewed the aeronautical study in light of current aeronautical operations in the area of the structure and finds that no significant aeronautical changes have occurred which would alter the determination issued for this structure.

Accordingly, pursuant to the authority delegated to me, the effective period of the determination issued under the above cited aeronautical study number is hereby extended and will expire on 12/23/2016 unless otherwise extended, revised, or terminated by this office. You must adhere to all conditions identified in the original determination.

This extension issued in accordance with 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerns the effect of the structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this extension will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2013-AWP-5548-OE.

**Signature Control No: 197499979-255894401**  
Karen McDonald  
Specialist

(EXT)

Attachment(s)  
Additional Information  
Case Description  
Map(s)

cc: FCC

**Additional information for ASN 2013-AWP-5548-OE**

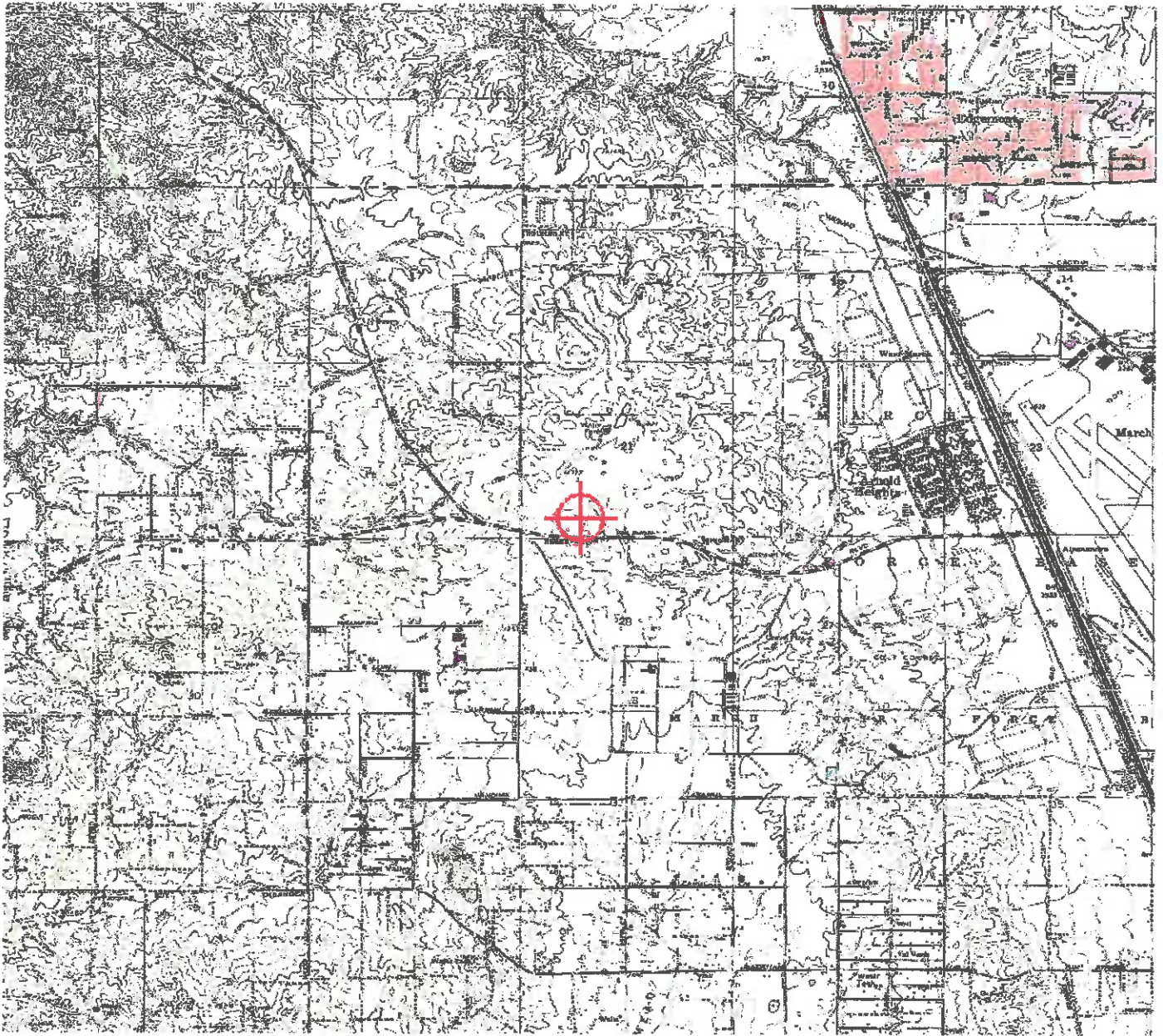
**ALL REQUIREMENTS AND CONDITIONS ON ORIGINAL AIRSPACE DETERMINATION REMAIN IN EFFECT.**

**Case Description for ASN 2013-AWP-5548-OE**

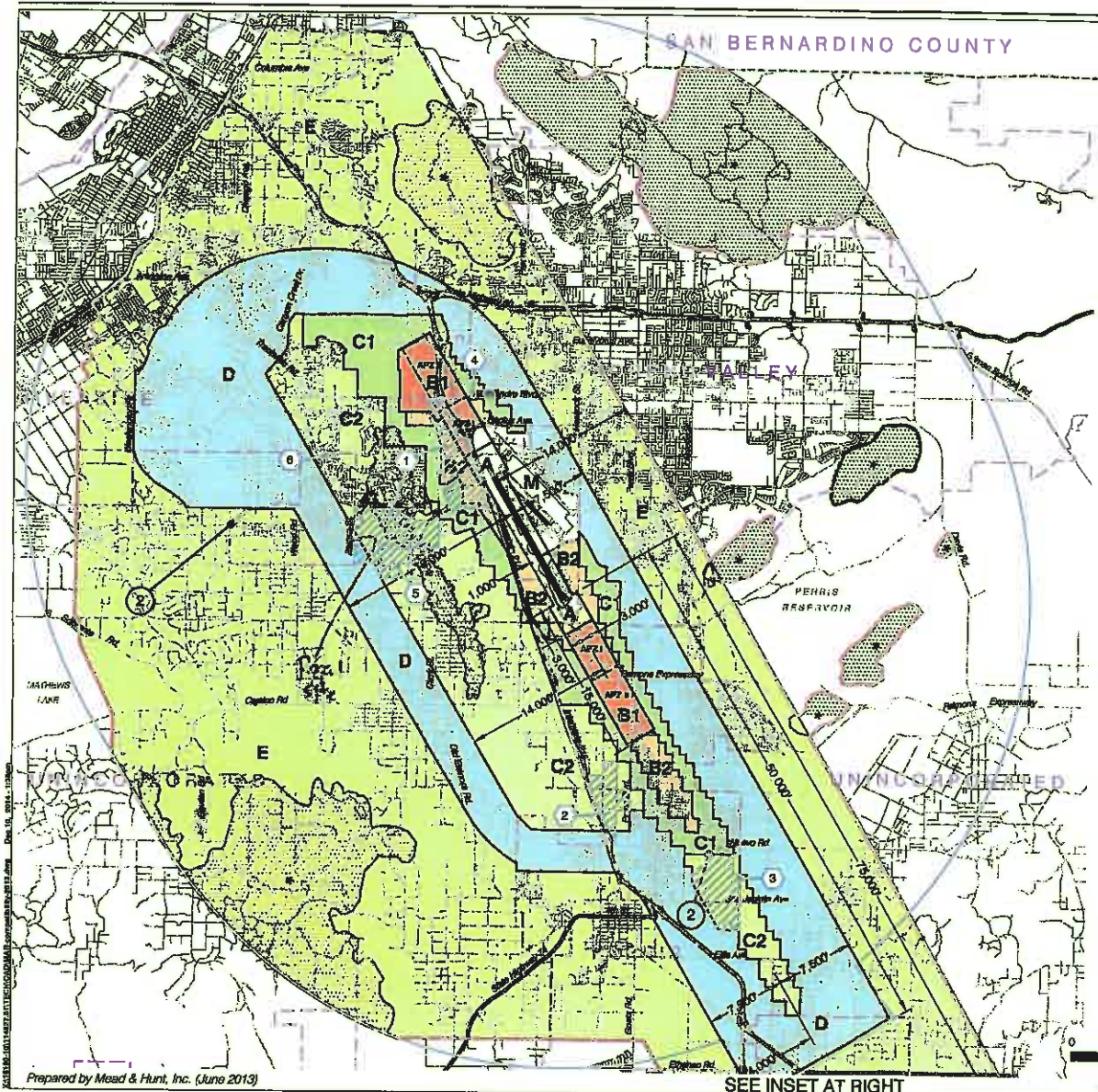
Requesting approval for new tower.



TOPO Map for ASN 2013-AWP-5548-OE

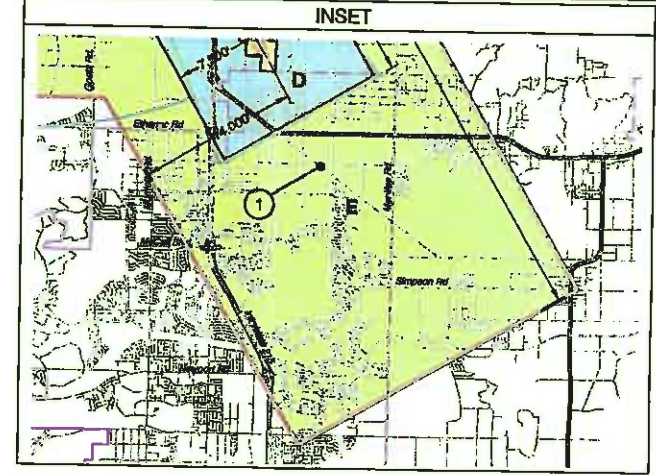






**LEGEND**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C1
  - Zone C2
  - Zone D
  - Zone E
  - Zone M
  - High Terrain Zone
  - FAR Part 77 Military Outer Horizontal Surface Limits
  - FAR Part 77 Notification Area
- Boundary Lines**
- March Air Reserve Base / Air Force Property
  - March Joint Powers Authority Property Line
  - County Boundary
  - City Limits
  - Site-Specific Exceptions (existing local agency commitments to development projects)
- Site-Specific Exceptions**
- March JPA: March Business Center/Meridian
  - Perris: Harvest Landing
  - Perris: Park West
  - Moreno Valley: Affordable Housing
  - March JPA: Ben Clark Training Center
  - Riverside: Rldge Crest Subdivision
- Notes**
- Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
  - Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from runway ends and centerlines.



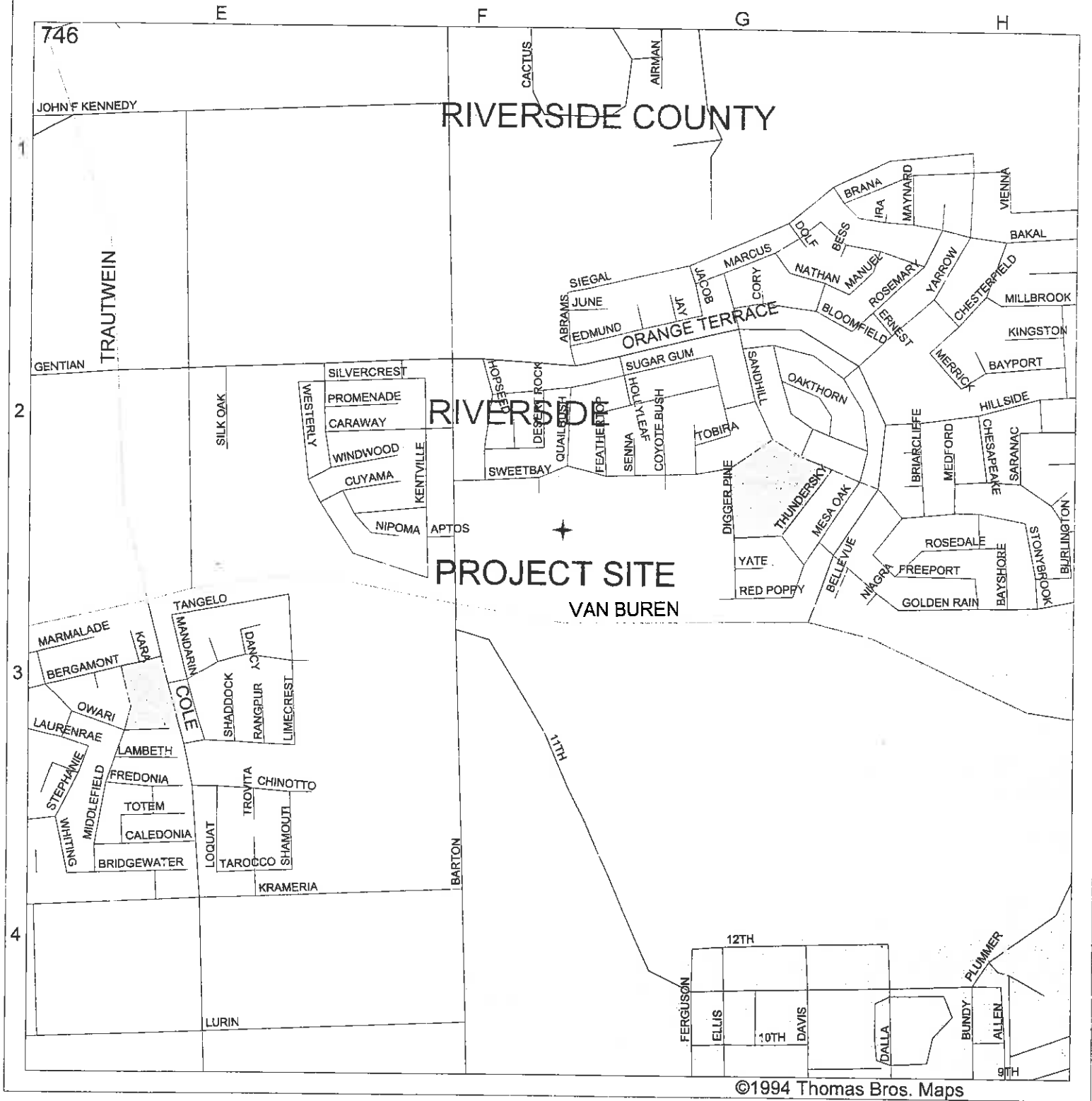
Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



**VICINITY MAP**

**SITE : 20202 APTOS STREET - #879920**

**GC MAPPING SERVICE, INC.**  
 3055 WEST VALLEY BOULEVARD  
 ALHAMBRA CA 91803  
 (626) 441-1080, FAX (626) 441-8850  
[GCMAPPING@RADIUSMAPS.COM](mailto:GCMAPPING@RADIUSMAPS.COM)

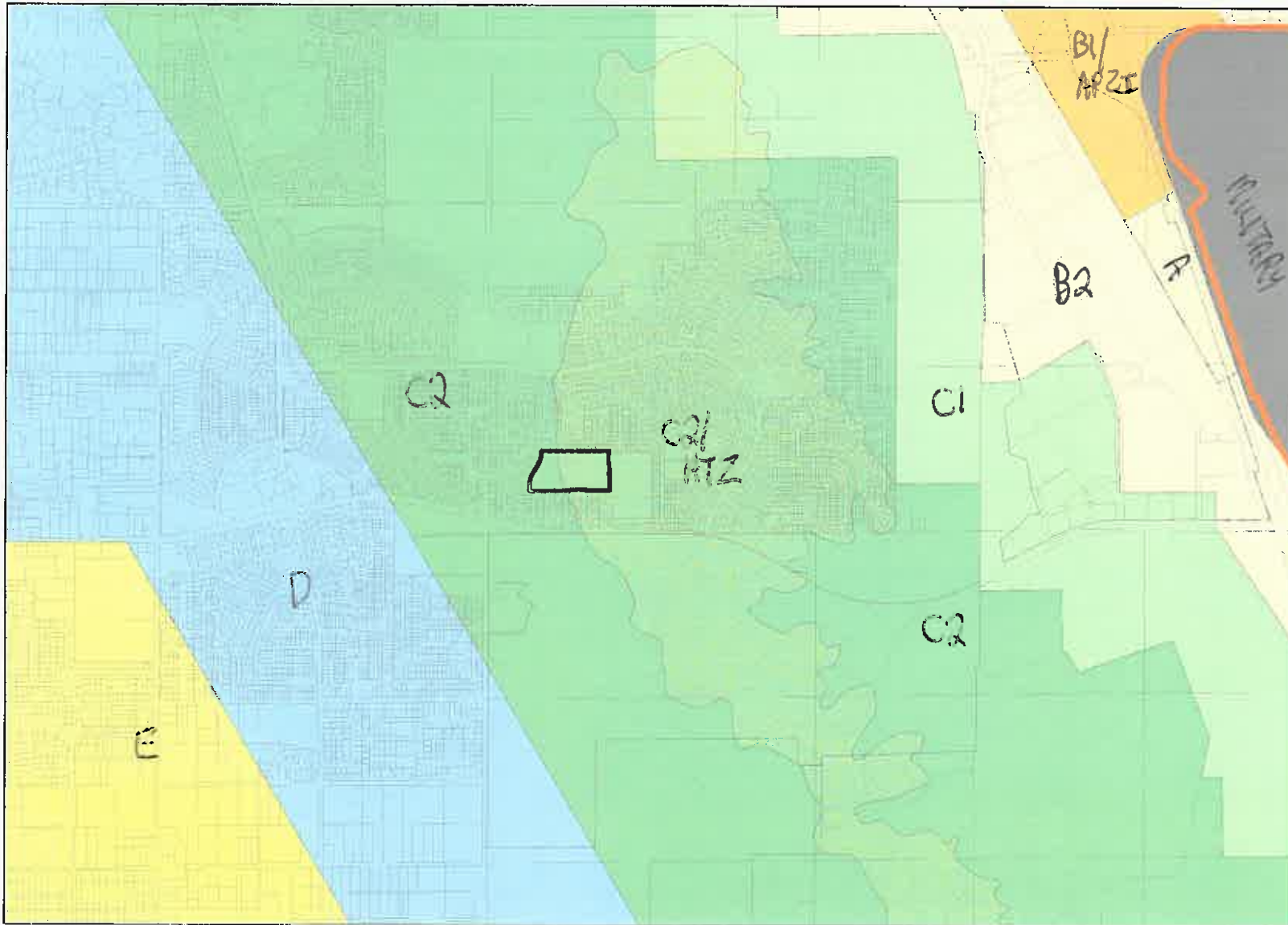
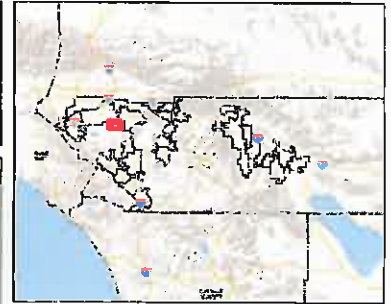
# Google Maps 20202 Aptos St



20202 Aptos St  
 Riverside, CA 92508



# My Map



### Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER\_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



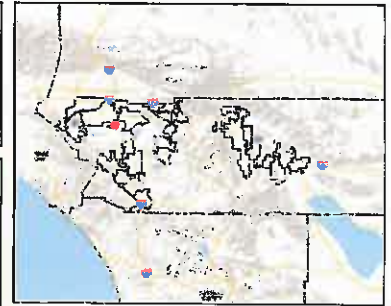
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/27/2015 10:25:28 AM

© Riverside County TLMA GIS

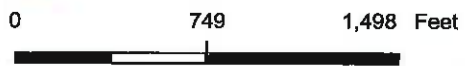
### Notes

# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

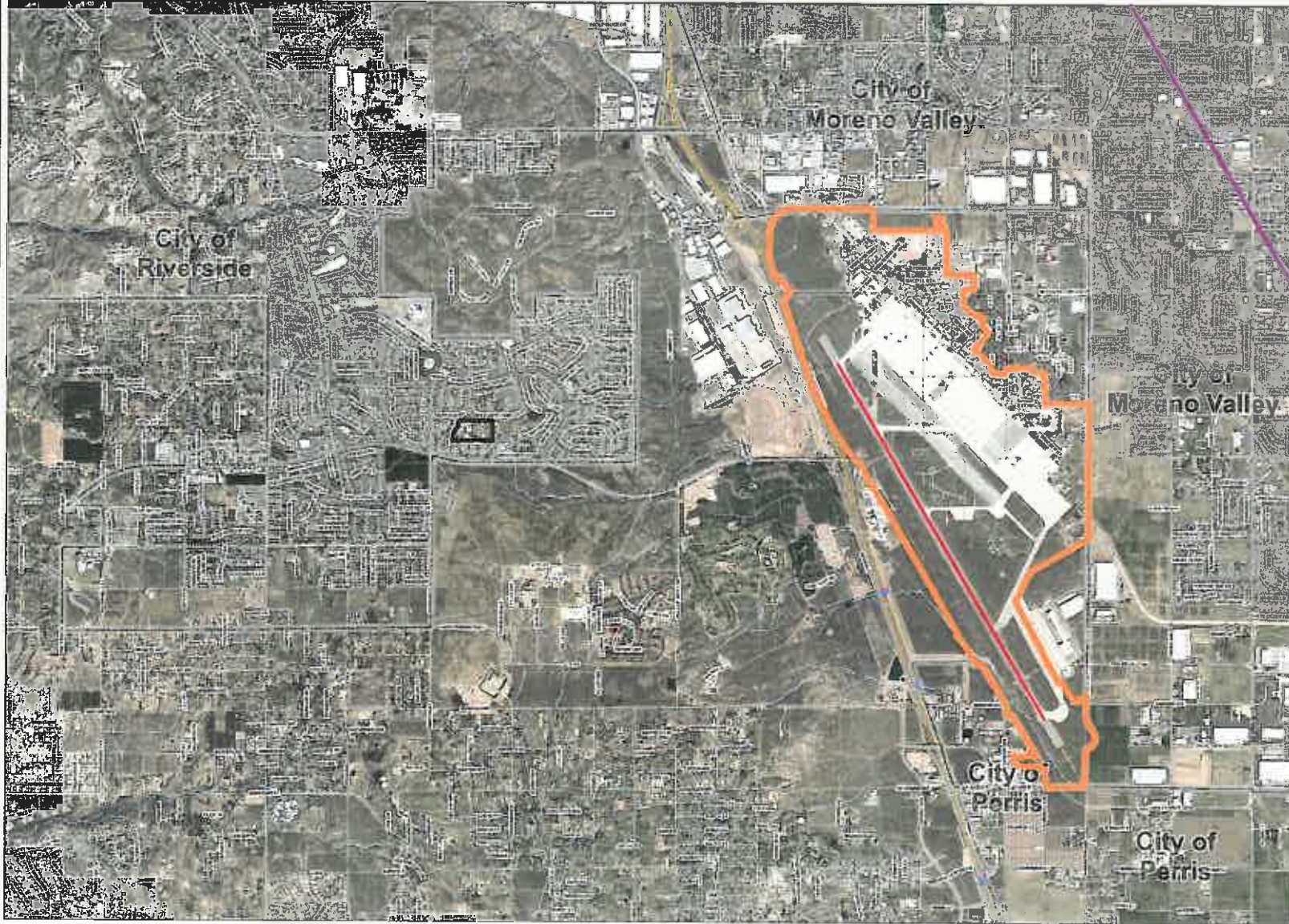
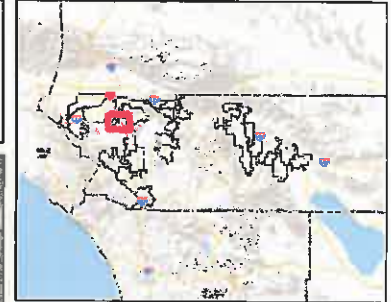
REPORT PRINTED ON... 10/27/2015 10:30:13 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Airports
- AIA
- Runways
- City Boundaries
- highways\_large
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 5,994 11,988 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

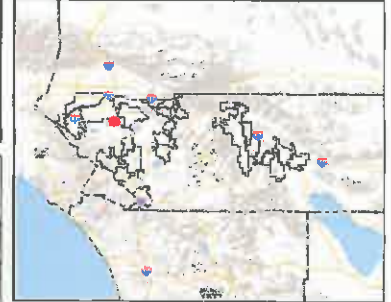
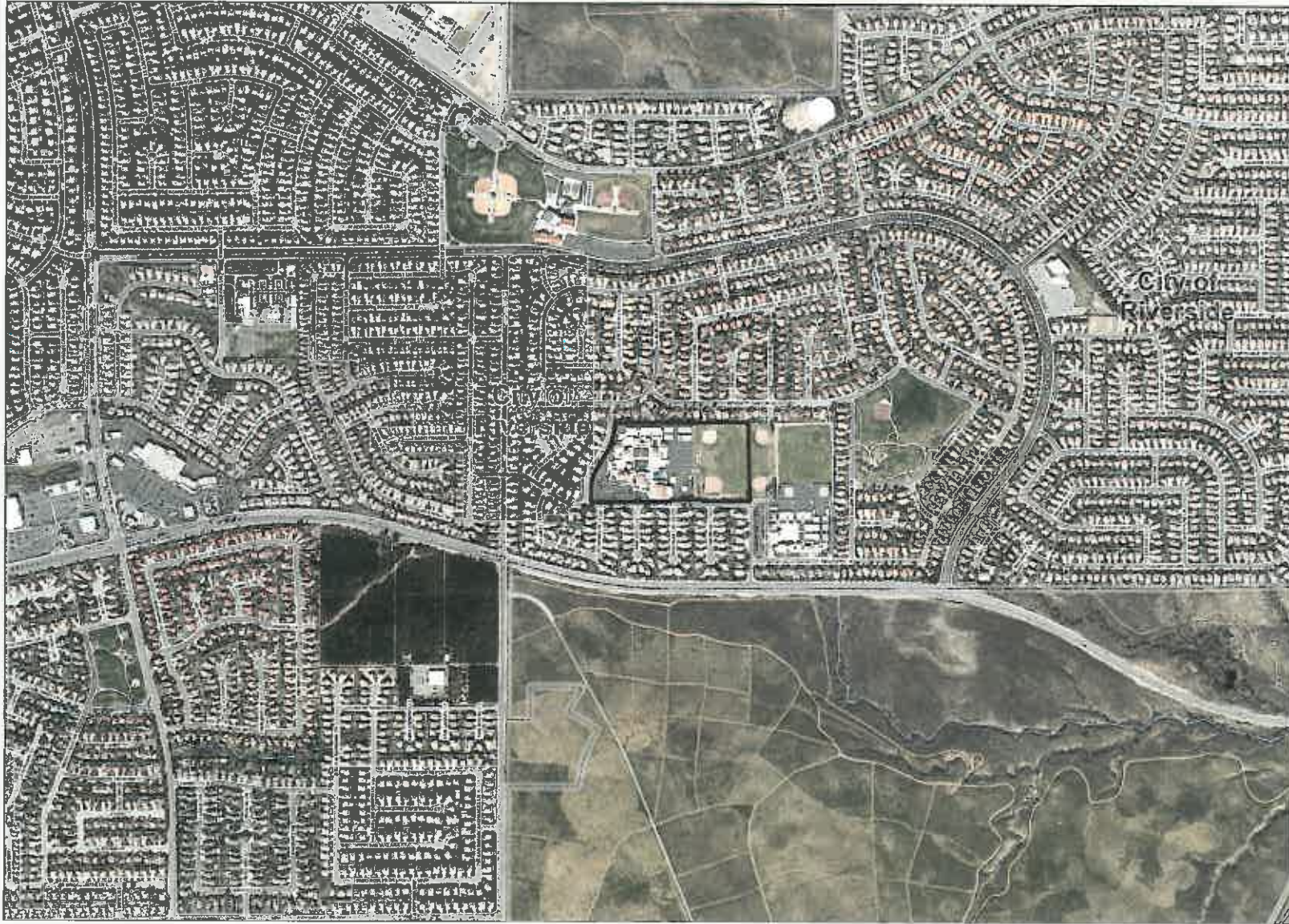
REPORT PRINTED ON... 10/27/2015 10:31:48 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

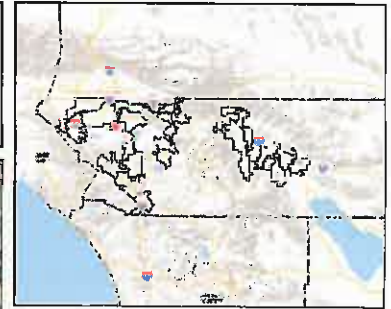
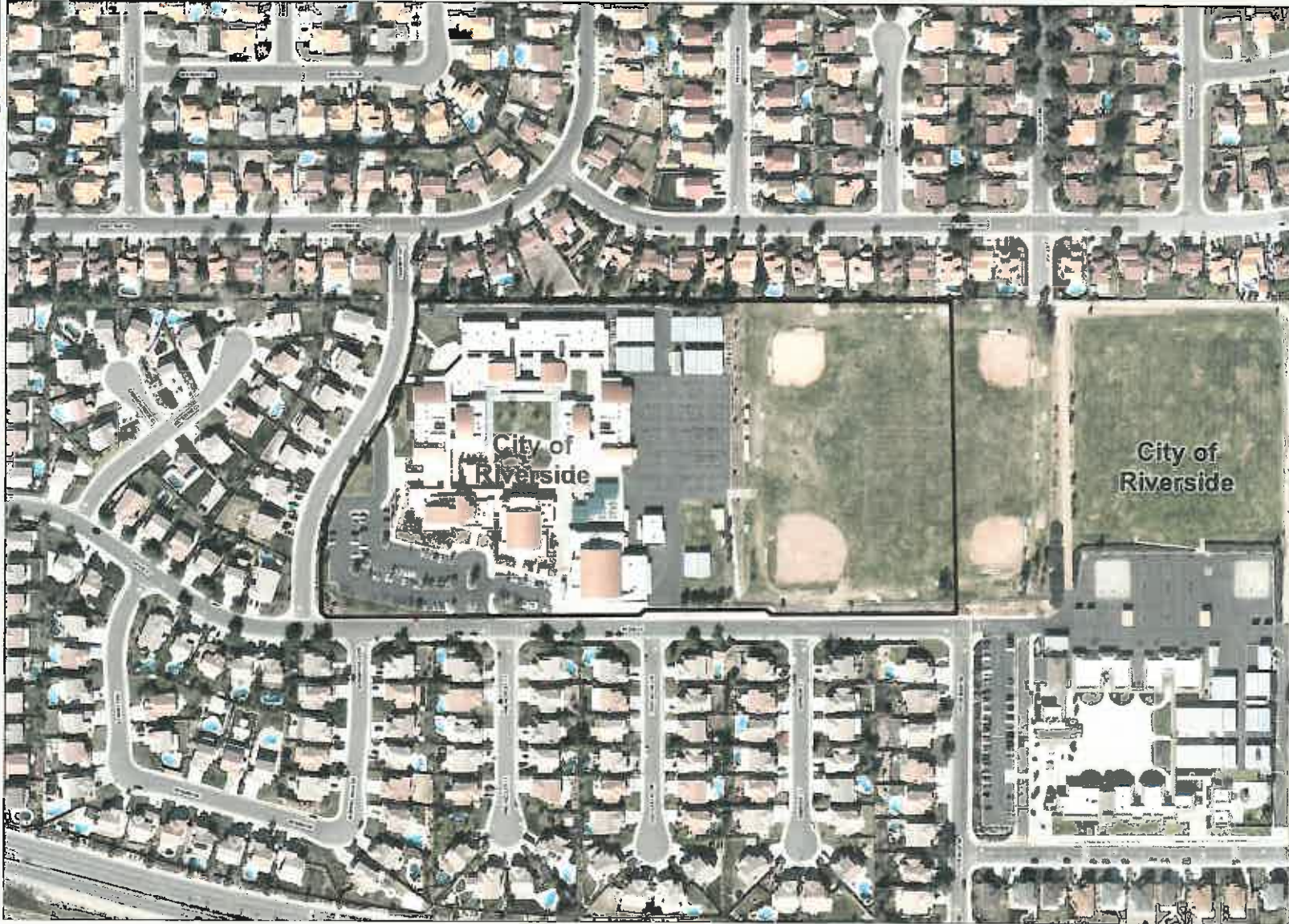
REPORT PRINTED ON... 10/27/2015 10:33:00 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 375 749 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/27/2015 10:34:04 AM

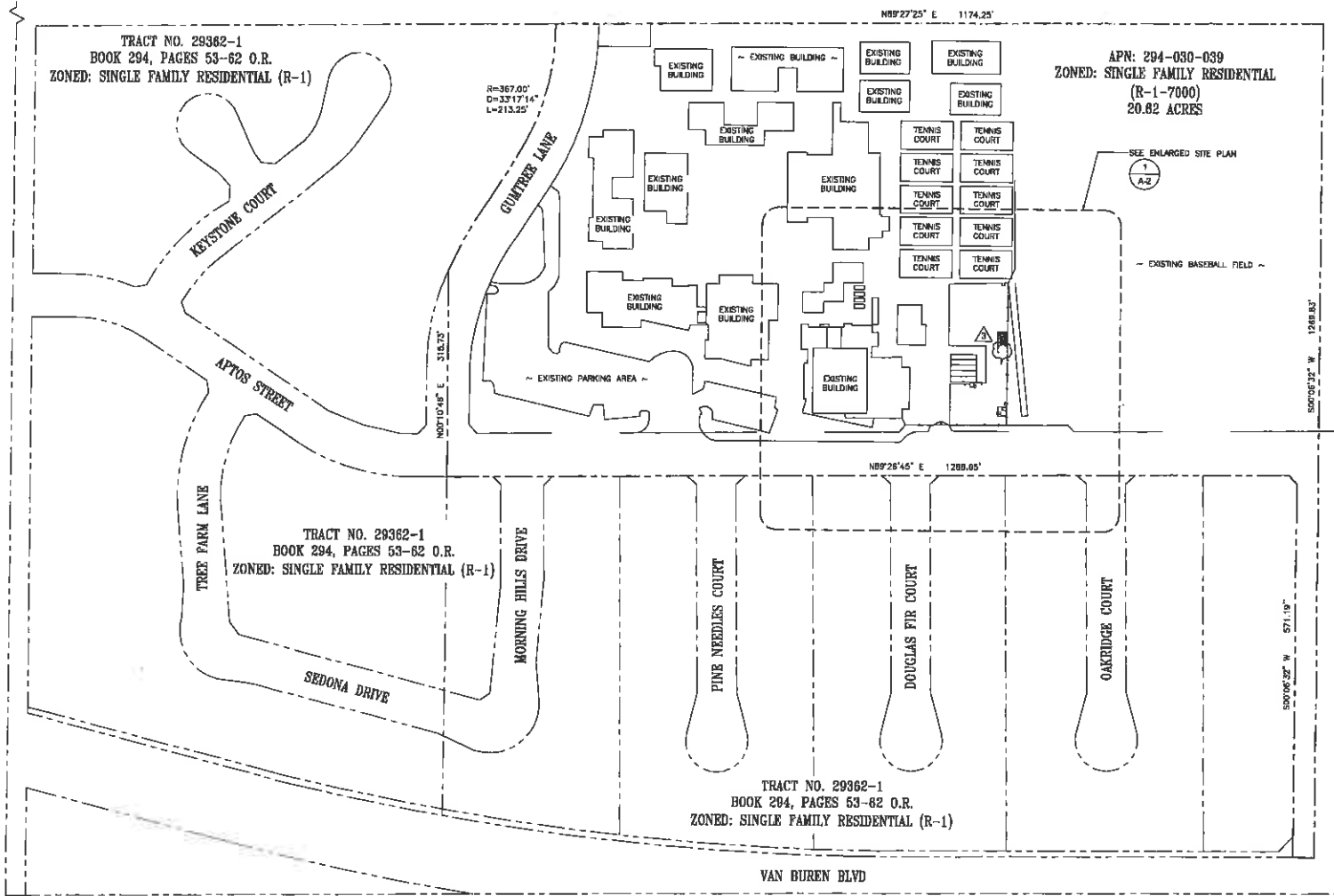
© Riverside County TLMA GIS

## Notes



**SCALE NOTE:**

IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



APPLICANT:  
**CROWN CASTLE**  
 38 TECHNOLOGY DRIVE, SUITE 250  
 IRVINE, CA 92618

**Sprint**  
 330 COMMERCE SUITE 100  
 IRVINE, CALIFORNIA 92602

PROJECT INFORMATION  
**AMELIA EARHART SCHOOL**  
 RIVERSIDE UNIFIED SCHOOL DISTRICT  
 AMELIA EARHART MIDDLE SCHOOL  
 20202 APTOS STREET  
 RIVERSIDE, CA 92508

SITE NUMBER:  
**RV54XC408 - BU# 879920**

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	HOOR ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	YM
3	07/29/15	PLANNING COMMENTS	RED

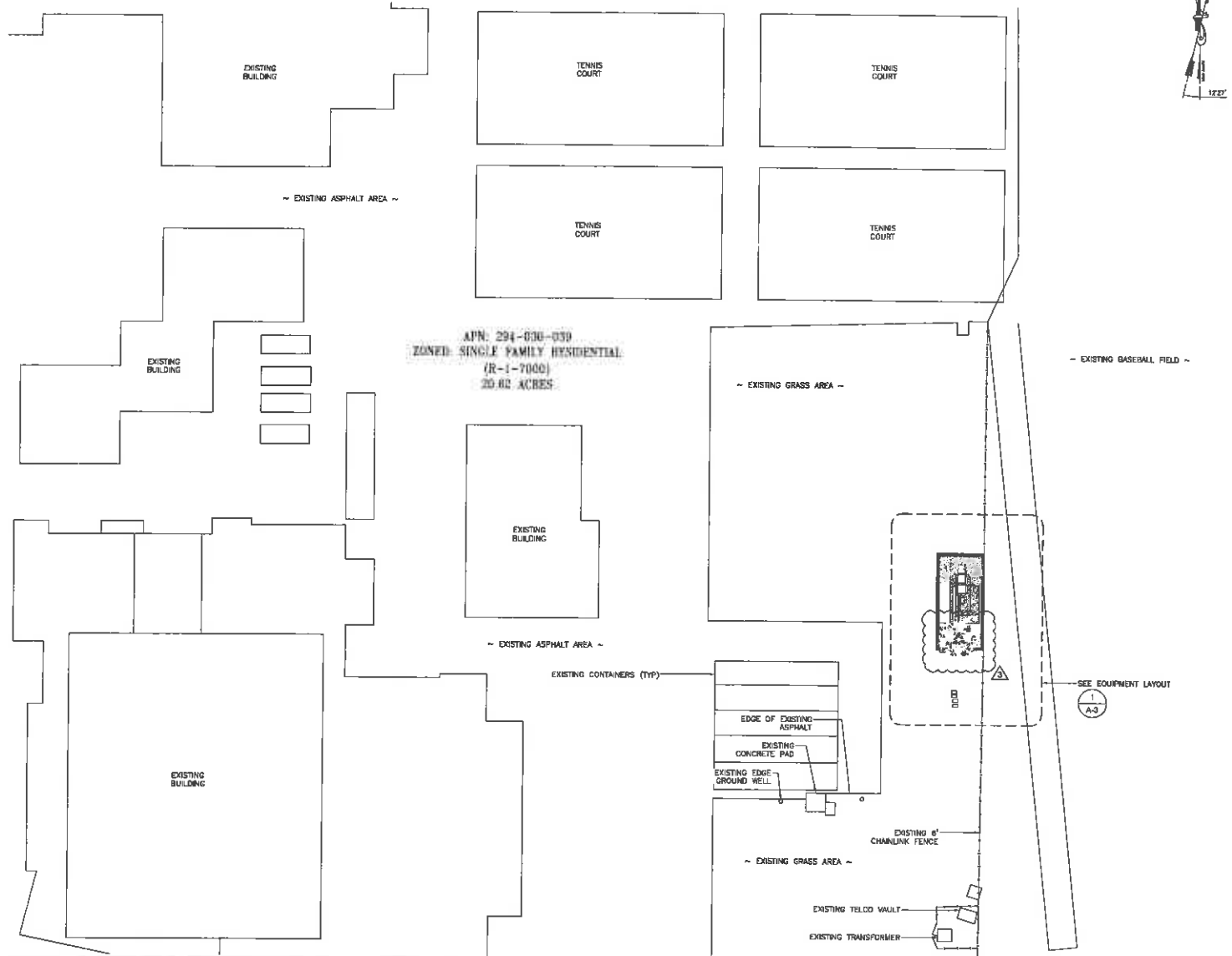
PLANS PREPARED BY:  
**PDC CORPORATION**  
  
 13225 DANIELSON ST, SUITE 200  
 POWAY, CA 92064  
 TEL: (858) 668-2828  
 FAX: (858) 668-2827

LICENSER:  
 \_\_\_\_\_

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A-1**

**SCALE NOTE:**  
 IF DIMENSIONS SHOWN ON PLAN DO NOT  
 SCALE CORRECTLY, CHECK FOR REDUCTION  
 OR ENLARGEMENT FROM ORIGINAL PLANS.



APN: 294-030-039  
 ZONED: SINGLE FAMILY RESIDENTIAL  
 (R-1-7000)  
 20.02 ACRES

APPLICANT:  
**CROWN CASTLE**  
 38 TECHNOLOGY DRIVE, SUITE 250  
 IRVINE, CA 92618

**Sprint**  
 330 COMMERCE SUITE 100  
 IRVINE, CALIFORNIA 92602

PROJECT INFORMATION:  
**AMELIA EARHART SCHOOL**  
 RIVERSIDE UNIFIED SCHOOL DISTRICT  
 AMELIA EARHART MIDDLE SCHOOL  
 20202 APTOS STREET  
 RIVERSIDE, CA 92508

SITE NUMBER:  
 RV54XC408 - BU# 879920

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	TOOK ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	VM
3	07/28/15	PLANNING COMMENTS	RED

PLANS PREPARED BY:  
**PDC CORPORATION**  
  
 13225 DANIELSON ST, SUITE 200  
 POWAY, CA 92064  
 TEL: (658) 688-2826  
 FAX: (658) 688-2827

LICENSER:

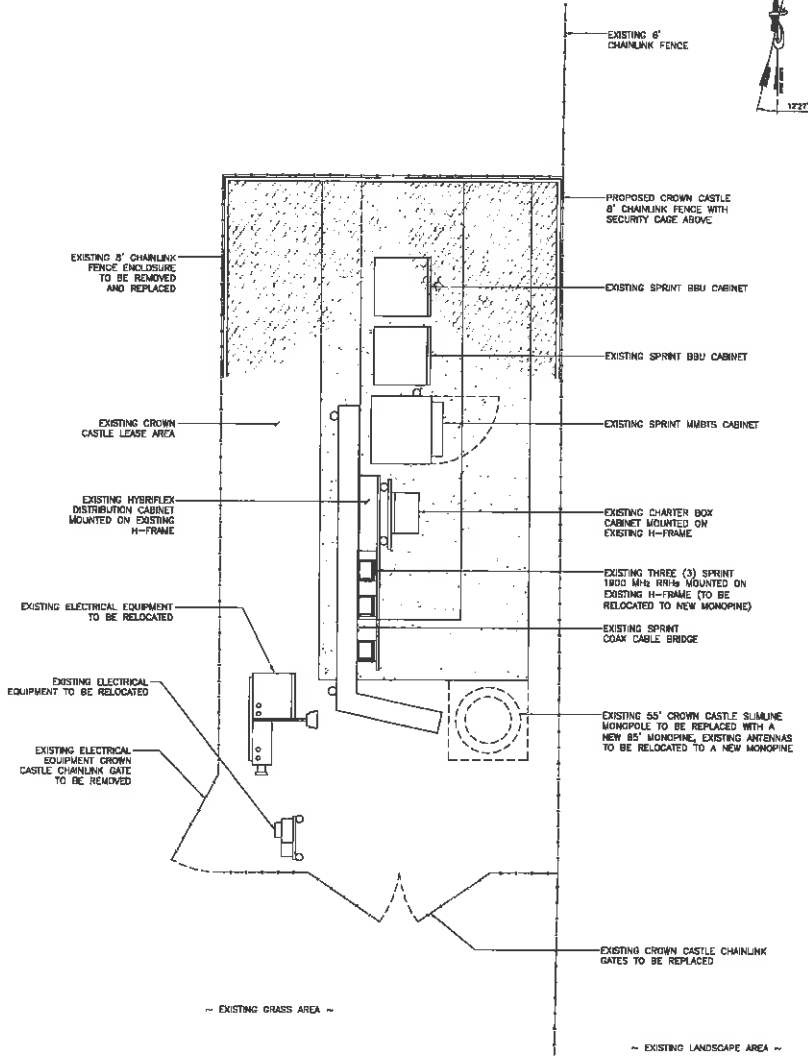
SHEET TITLE:  
**ENLARGED SITE PLAN**

SHEET NUMBER:  
**A-2**



**SCALE NOTE:**

IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.

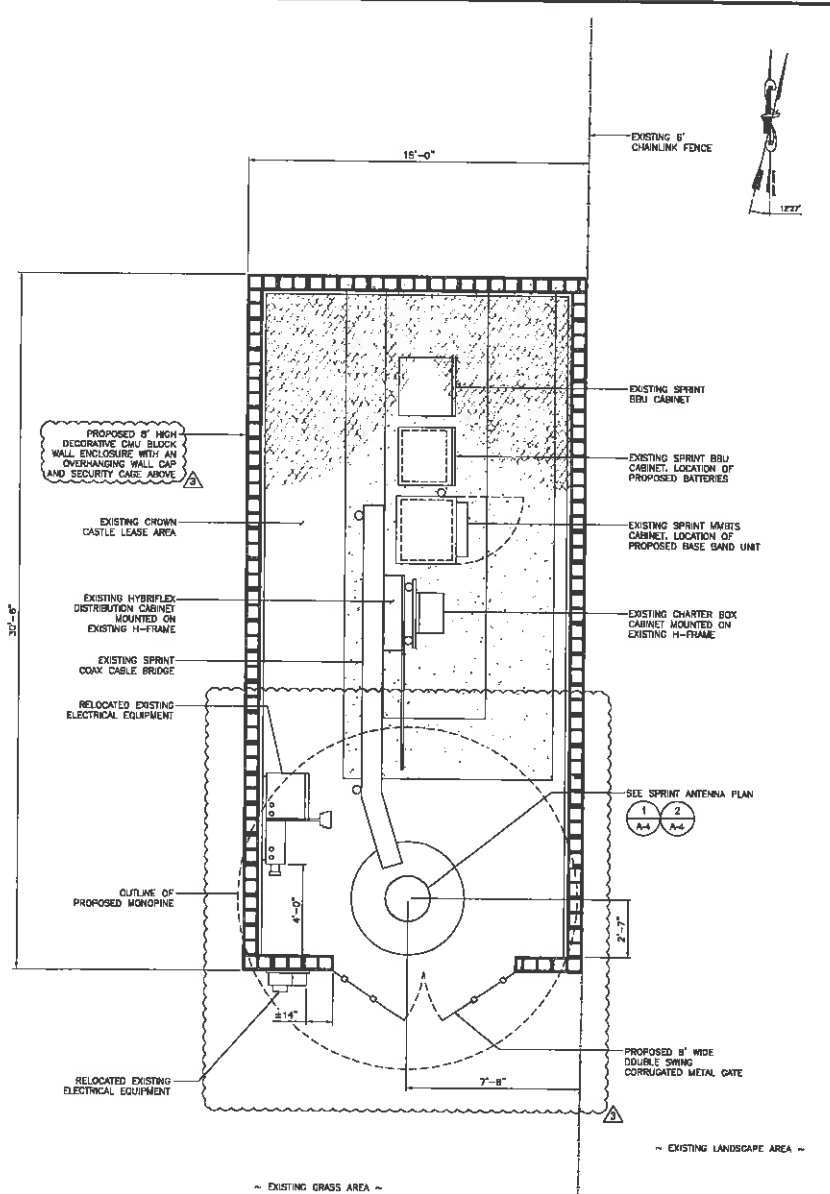


**EXISTING EQUIPMENT LAYOUT**

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"



1



**PROPOSED EQUIPMENT LAYOUT**

24"x36" SCALE: 3/8" = 1'-0"  
11"x17" SCALE: 3/16" = 1'-0"



2

APPLICANT:



38 TECHNOLOGY DRIVE, SUITE 250  
IRVINE, CA 92618



330 COMMERCE SUITE 100  
IRVINE, CALIFORNIA 92602

PROJECT INFORMATION:

AMELIA  
EARHART SCHOOL  
RIVERSIDE UNIFIED  
SCHOOL DISTRICT  
AMELIA EARHART  
MIDDLE SCHOOL  
20202 APTOS STREET  
RIVERSIDE, CA 92508

SITE NUMBER:

RV54XC408 - BU# 879920

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	100% ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	VAL
3	07/26/15	PLANNING COMMENTS	RED

PLANS PREPARED BY:

POC CORPORATION



13225 DANIELSON ST, SUITE 200  
FOWAY, CA 92584  
TEL: (858) 668-2824  
FAX: (858) 668-2827

LICENSER:

SHEET TITLE:

**EQUIPMENT  
LAYOUT**

SHEET NUMBER:

**A-3**

**SCALE NOTE:**

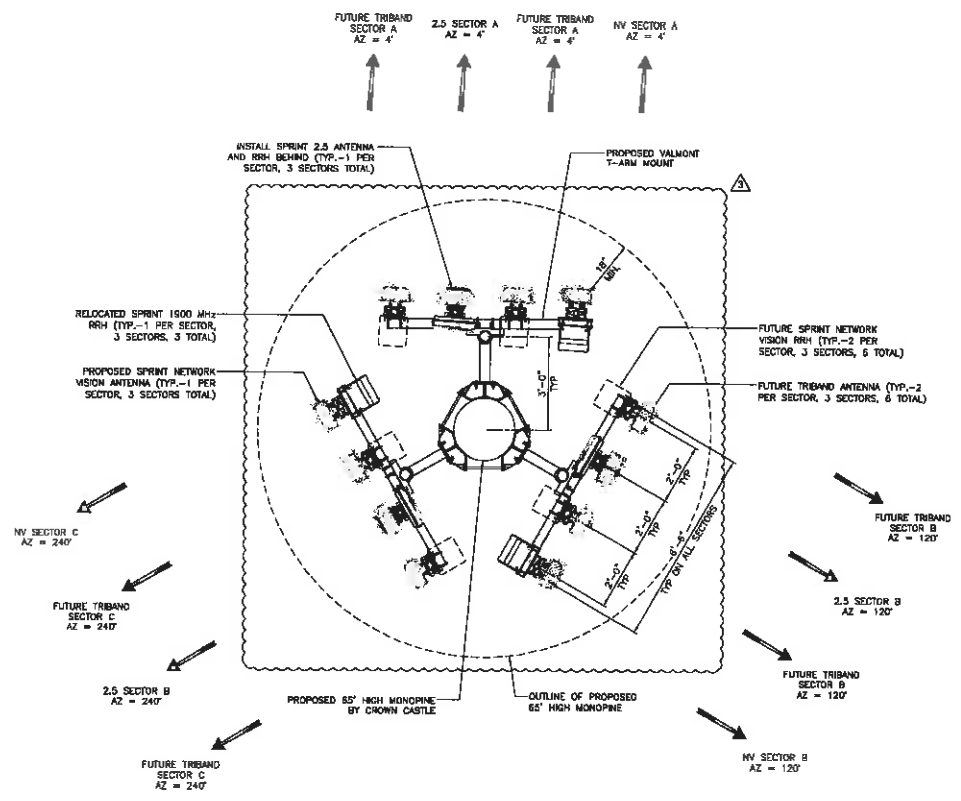
IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.

**NOTE:**

1. RHNS AND MOUNTING HARDWARE TO BE PAINTED WITH HEAT RESISTANT PAINT TO MATCH NEW MONOPINE.
2. PINE SOCKS TO BE ADDED TO ALL ANTENNAS.
3. MONOPINE BRANCHES NOT SHOWN FOR CLARITY.

**NOTE:**

1. THE MONOPINE SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING CRITERIA:
  - A. THE TREE SHALL INCLUDE A MINIMUM DENSITY OF THREE BRANCHES PER LINEAR FOOT.
  - B. 70% OF ALL BRANCHES SHALL BE EIGHT FEET IN LENGTH OR LONGER.
  - C. THERE SHALL BE A MINIMUM OF 5-FEET OVERLAP BETWEEN THE FAUX BARK AND THE BRANCHES.
  - D. THE PINE NEEDLES SHALL BE DESIGNED WITH MULTIPLE SHADES/COLORS TO ACHIEVE A REALISTIC LOOK.
  - E. THE ANTENNAS SHALL BE COVERED WITH PINE NEEDLE SOCKS.
  - F. BRANCHES SHALL EXTEND A MINIMUM OF SEVEN FEET ABOVE THE TOP OF THE ANTENNAS. NOTE THAT THE HEIGHT OF THE STRUCTURE IS MEASURED TO THE TOP OF MONOPOLE AND NOT THE ANTENNA HEIGHT.
  - G. BRANCHES SHALL EXTEND A MINIMUM OF 18 INCHES BEYOND THE ANTENNA ARRAYS.
  - H. THE ANTENNA ARRAYS SHALL HAVE A MAXIMUM WIDTH OF SIX FEET SIX INCHES (6'-6").
  - I. THE BARK ON THE MONOPOLE SHALL EXTEND A MINIMUM OF 8-FEET INTO THE BRANCH LINE. THE REMAINING PORTION OF THE POLE SHALL BE PAINTED IN A SIMILAR COLOR TO THE BARK.
  - J. ALL ANTENNAS, MOUNTS AND PERIPHERALS SHALL BE PAINTED TO MATCH AND BE COMPATIBLE WITH THE MONOPINE.



**ANTENNA PLAN**

24"x36" SCALE: 1/2" = 1'-0"  
11"x17" SCALE: 1/4" = 1'-0"

APPLICANT:

**CROWN CASTLE**  
38 TECHNOLOGY DRIVE, SUITE 250  
IRVINE, CA 92618

**Sprint**  
330 COMMORCE SUITE 100  
IRVINE, CALIFORNIA 92602

PROJECT INFORMATION:  
**AMELIA EARHART SCHOOL**  
RIVERSIDE UNIFIED SCHOOL DISTRICT  
AMELIA EARHART MIDDLE SCHOOL  
20200 APTOS STREET  
RIVERSIDE, CA 92508

SITE NUMBER:  
RV54XC408 - BU# 879920

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	100% ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	VW
3	07/29/15	PLANNING COMMENTS	RED

PLANS PREPARED BY:  
**POC CORPORATION**

13225 DANIELSON ST, SUITE 200  
POWAY, CA 92064  
TEL: (858) 849-2828  
FAX: (858) 658-2827

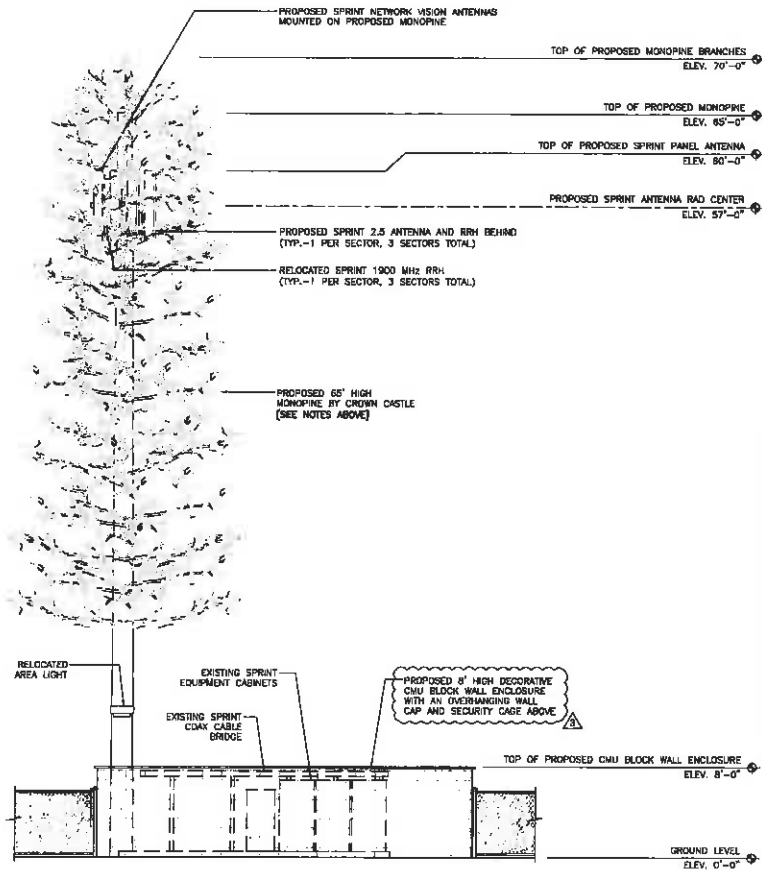
LICENSER:

SHEET TITLE:  
**ANTENNA PLAN**

SHEET NUMBER:  
**A-4**

**SCALE NOTE:**

IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS.



**EAST ELEVATION**

24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"

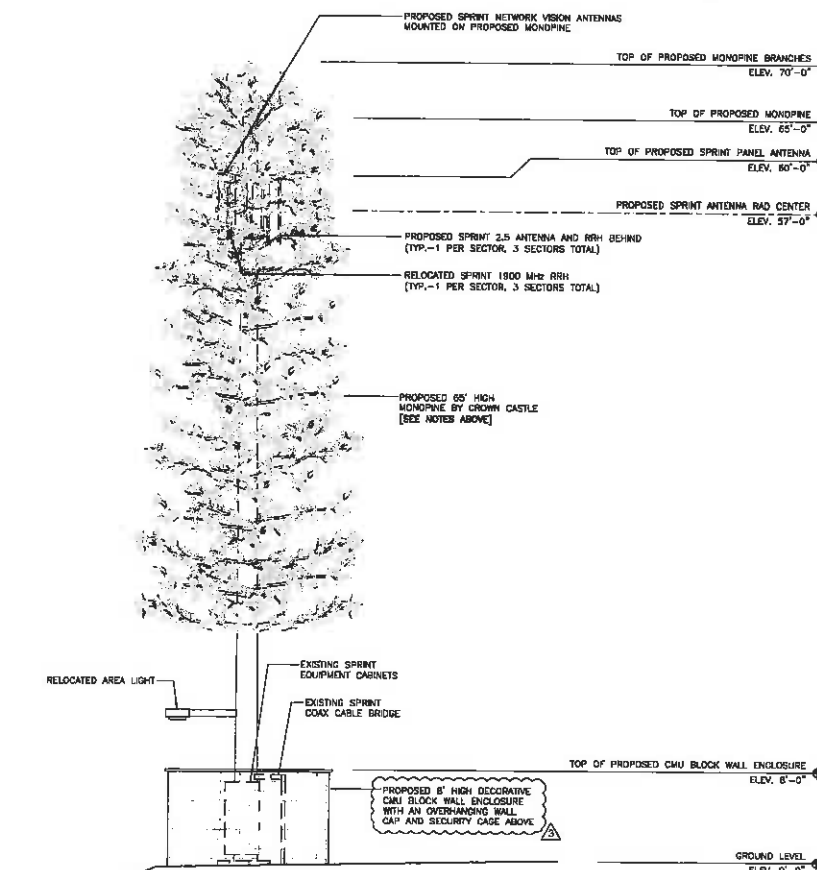


1

**NOTE:**

1. THE MONOPINE SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING CRITERIA:

- A. THE TREE SHALL INCLUDE A MINIMUM DENSITY OF THREE BRANCHES PER LINEAR FOOT.
- B. 70% OF ALL BRANCHES SHALL BE EIGHT FEET IN LENGTH OR LONGER.
- C. THERE SHALL BE A MINIMUM OF 5- FEET OVERLAP BETWEEN THE FAUX BARK AND THE BRANCHES.
- D. THE PINE NEEDLES SHALL BE DESIGNED WITH MULTIPLE SHADES/COLORS TO ACHIEVE A REALISTIC LOOK.
- E. THE ANTENNAS SHALL BE COVERED WITH PINE NEEDLE SOCKS.
- F. BRANCHES SHALL EXTEND A MINIMUM OF SEVEN FEET ABOVE THE TOP OF THE ANTENNAS. NOTE THAT THE HEIGHT OF THE STRUCTURE IS MEASURED TO THE TOP OF MONOPOLE AND NOT THE ANTENNA HEIGHT.
- G. BRANCHES SHALL EXTEND A MINIMUM OF 18 INCHES BEYOND THE ANTENNA ARRAYS.
- H. THE ANTENNA ARRAYS SHALL HAVE A MAXIMUM WIDTH OF SIX FEET SIX INCHES (6'-0").
- I. THE BARK ON THE MONOPOLE SHALL EXTEND A MINIMUM OF 5- FEET INTO THE BRANCH LINE. THE REMAINING PORTION OF THE POLE SHALL BE PAINTED IN A SIMILAR COLOR TO THE BARK.
- J. ALL ANTENNAS, MOUNTS AND PERIPHERALS SHALL BE PAINTED TO MATCH AND BE COMPATIBLE WITH THE MONOPINE.



**NORTH ELEVATION**

24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"



2

APPLICANT:



330 COMMERCE SUITE 100  
IRVINE, CALIFORNIA 92602

PROJECT INFORMATION:

**AMELIA EARHART SCHOOL**  
RIVERSIDE UNIFIED SCHOOL DISTRICT  
AMELIA EARHART MIDDLE SCHOOL  
20202 APIOS STREET  
RIVERSIDE, CA 92508

SITE NUMBER:

**RV54XC408 - BU# 879920**

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	100% ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	YH
3	07/28/15	PLANNING COMMENTS	RED

PLANS PREPARED BY:

POC CORPORATION



13225 DANIELSON ST, SUITE 200  
IRVINE, CA 92604  
TEL: (858) 668-2828  
FAX: (858) 658-2827

LICENSER:

SHEET TITLE:

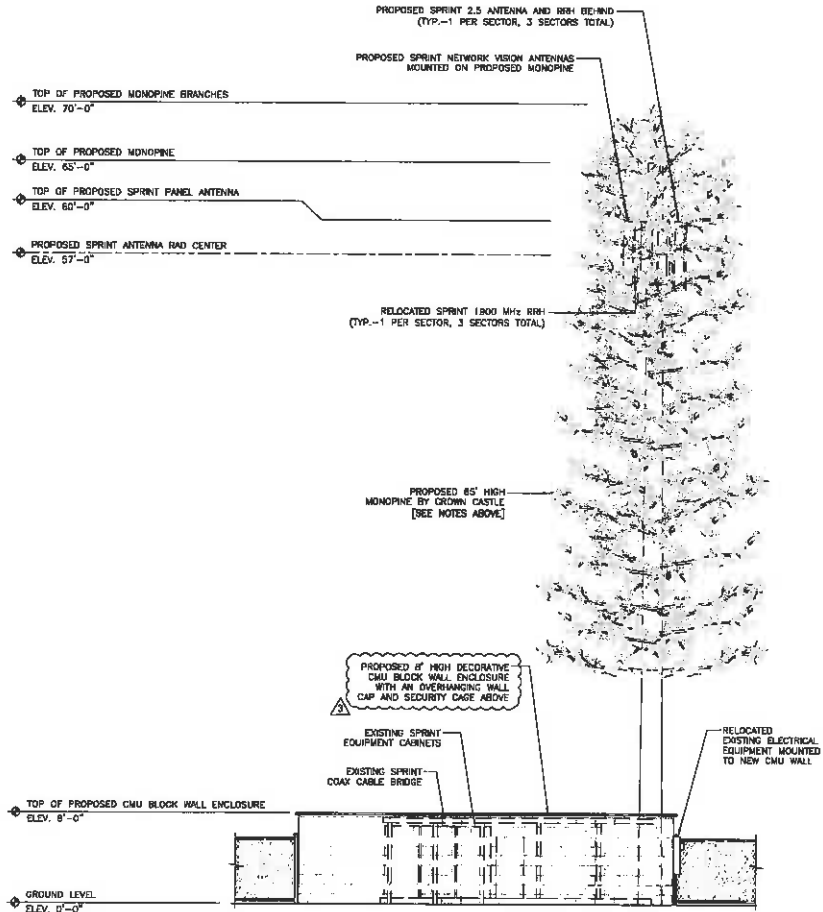
**ELEVATIONS**

SHEET NUMBER:

**A-5**

**SCALE NOTE:**

IF DIMENSIONS SHOWN ON PLAN DO NOT SCALE CORRECTLY, CHECK FOR REDUCTION OR ENLARGEMENT FROM ORIGINAL PLANS



**WEST ELEVATION**

24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"

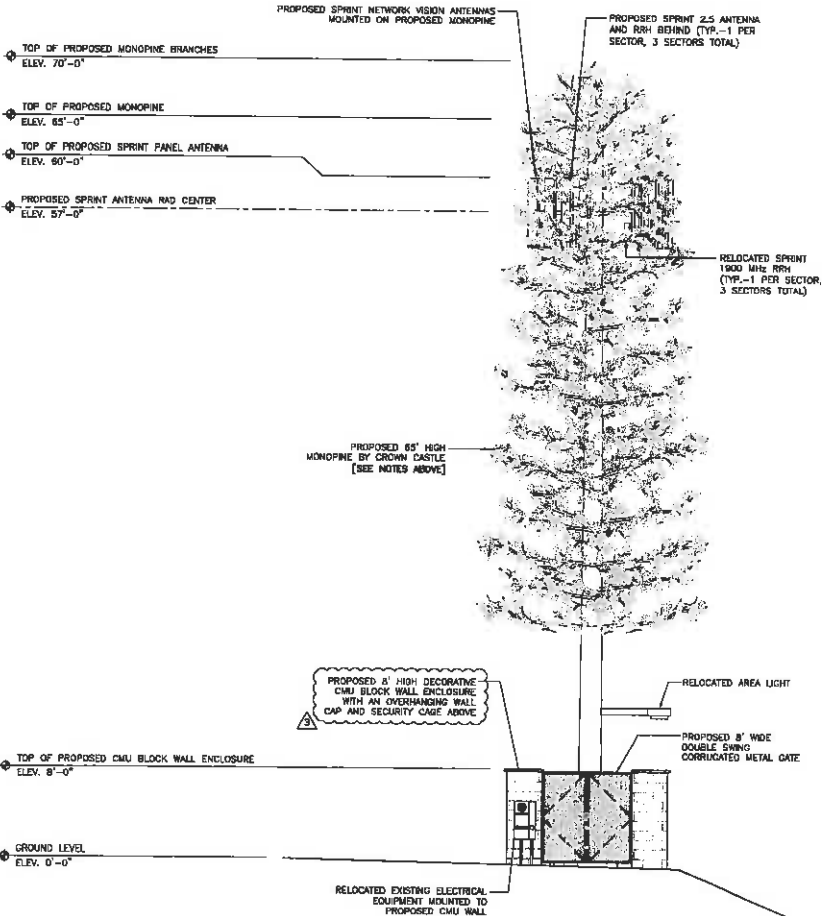


1

**NOTE:**

1. THE MONOPOLE SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING CRITERIA:

- A. THE TREE SHALL INCLUDE A MINIMUM DENSITY OF THREE BRANCHES PER LINEAR FOOT.
- B. 75% OF ALL BRANCHES SHALL BE EIGHT FEET IN LENGTH OR LONGER.
- C. THERE SHALL BE A MINIMUM OF 5-FEET OVERLAP BETWEEN THE FAUX BARK AND THE BRANCHES.
- D. THE PINE NEEDLES SHALL BE DESIGNED WITH MULTIPLE SHADES/COLORS TO ACHIEVE A REALISTIC LOOK.
- E. THE ANTENNAS SHALL BE COVERED WITH PINE NEEDLE SOCKS.
- F. BRANCHES SHALL EXTEND A MINIMUM OF SEVEN FEET ABOVE THE TOP OF THE ANTENNAS. NOTE THAT THE HEIGHT OF THE STRUCTURE IS MEASURED TO THE TOP OF MONOPOLE AND NOT THE ANTENNA HEIGHT.
- G. BRANCHES SHALL EXTEND A MINIMUM OF 18 INCHES BEYOND THE ANTENNA ARRAYS.
- H. THE ANTENNA ARRAYS SHALL HAVE A MAXIMUM WIDTH OF SIX FEET SIX INCHES (6'-5").
- I. THE BARK ON THE MONOPOLE SHALL EXTEND A MINIMUM OF 5-FEET INTO THE BRANCH LINE. THE REMAINING PORTION OF THE POLE SHALL BE PAINTED IN A SIMILAR COLOR TO THE BARK.
- J. ALL ANTENNAS, MOUNTS AND PERIPHERALS SHALL BE PAINTED TO MATCH AND BE COMPATIBLE WITH THE MONOPOLE.



**SOUTH ELEVATION**

24"x36" SCALE: 3/16" = 1'-0"  
11"x17" SCALE: 3/32" = 1'-0"



2

APPLICANT:



38 TECHNOLOGY DRIVE, SUITE 250  
IRVINE, CA 92618

**Sprint**

330 COMMERCIE SUITE 100  
IRVINE, CALIFORNIA 92602

PROJECT INFORMATION:

**AMELIA  
EARHART SCHOOL  
RIVERSIDE UNIFIED  
SCHOOL DISTRICT  
AMELIA EARHART  
MIDDLE SCHOOL**  
20202 APTOS STREET  
RIVERSIDE, CA 92505

SITE NUMBER:

**RV54XC408 - BU# 879920**

REVISIONS:

REV.	DATE	DESCRIPTION	BY
0	01/21/15	100% ZONING DRAWINGS	CC
1	01/22/15	REVISED ANTENNA PLAN	CC
2	07/24/15	REVISED ENCLOSURE	YM
3	07/28/15	PLANNING COMMENTS	RED

PLANS PREPARED BY:

POC CORPORATION



13228 DANIELSON ST. SUITE 200  
ROWAY, CA 92664  
TEL: (858) 888-2828  
FAX: (858) 888-2827

LICENSER:

SHEET TITLE:

**ELEVATIONS**

SHEET NUMBER:

**A-6**



# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Veterans Day (Wednesday, November 11) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

**DATE OF HEARING:** November 12, 2015

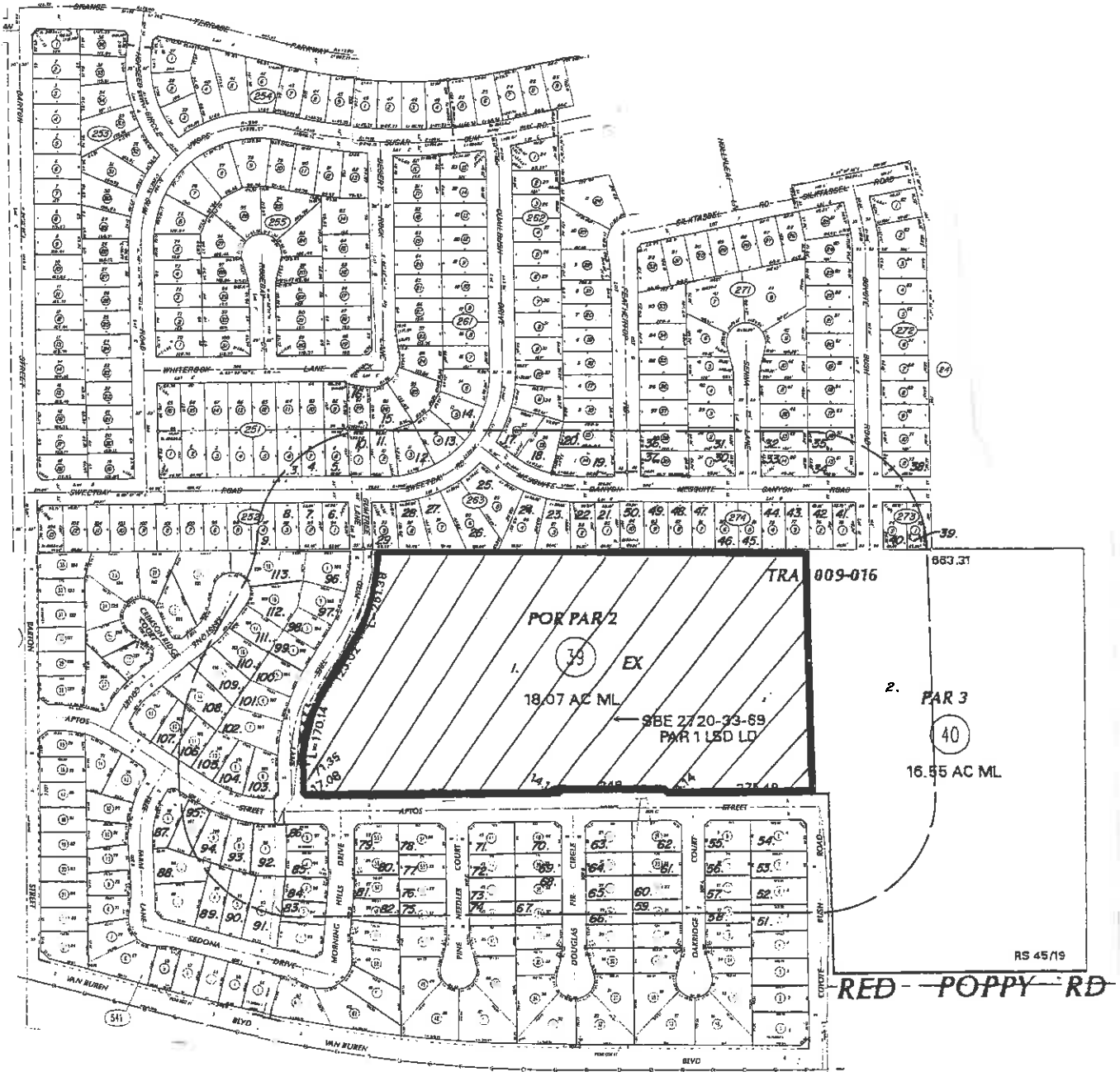
**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:**

ZAP1157MA15 – Crown Castle-WTA Property (Representative: Justin Davis)  
– City of Riverside Case No. P15-0051 (Design Review). P15-0051 is a proposal to establish an unmanned wireless telecommunications facility consisting of antennas on a new 70-foot high monopine tower with related equipment cabinets on the grounds of Amelia Earhart Middle School, located at 20202 Aptos Street, easterly of its intersection with Gumtree Lane (Assessor's Parcel Number 294-030-039). (An existing 57-foot tower would be removed.) (Airport Compatibility Zone C2 and High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area).

**FURTHER INFORMATION:** Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Candice Assadzadeh of the City of Riverside Planning Department, at (951) 826-5667.

# CITY OF RIVERSIDE



## 300 FT RADIUS MAP

**GC MAPPING SERVICE INC**  
 3055 WEST VALLEY BOULEVARD  
 ALHAMBRA CA 91803  
 (626) 441-1080, FAX (626) 441-8850  
 gcmapping@radiusmaps.com

**LEGEND**

- 5. OWNERSHIP NO.
- 1 OWNERSHIP HOOK

CASE NO.

DATE: 09 - 18 - 2015

SCALE: 1" = 200'

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1157MA15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 9/29/15  
 Property Owner Riverside Unified School District Phone Number \_\_\_\_\_  
 Mailing Address 3380 Fourteenth Street  
Riverside, CA 92501

Agent (if any) Justin Davis Phone Number 949-885-9879  
 Mailing Address 38 Technology Suite 250  
Irvine, CA 92618

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 20202 Aptos Street  
Riverside, CA 92508  
 Assessor's Parcel No. 294-030-039 Parcel Size \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) School with existing 57' monopole unmanned wireless telecommunications facility

Proposed Land Use (describe) New 70' monopine unmanned wireless telecommunications facility

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 1840.6 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1840.6 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

March  
02

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)		
Date Received	8/31/15	Type of Project
Agency Name	City of Riverside Planning Department	<input type="checkbox"/> General Plan Amendment
Staff Contact	Candice Assadzadeh	<input checked="" type="checkbox"/> Zoning Amendment or Variance
Phone Number	951-826-5667	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	P15-0540	<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other _____

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below



**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.3

**HEARING DATE:** November 12, 2015

**CASE NUMBER:** ZAP1156MA15 – Miguel and Antonio Garcia –  
(Representative: Jonathan L. Zane)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** DPR 14-10-0008 (Development Plan Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of **CONDITIONAL CONSISTENCY**, subject to the conditions included herein and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The applicant proposes to establish a 10,724 square foot truck repair facility on a 0.64-acre (net) parcel.

**PROJECT LOCATION:** The site is located easterly of Western Way, southerly of Jet Way, and northerly of Harley Knox Boulevard, within the City of Perris, approximately 2,200 feet westerly of the southerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone B2
- c. Noise Levels: Approximately 65 CNEL from aircraft

**BACKGROUND:**

**Non-Residential Average Land Use Intensity:** Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone B2. Average intensity in Compatibility Zone B2 is limited to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates

were used to calculate the occupancy for the proposed building:

- Truck Repair/Manufacturing – 1 person per 200 square feet
- Office – 1 person per 200 square feet (with 50% reduction)
- Storage – 1 person per 300 square feet
- Warehouse – 1 person per 500 square feet

Based on the floor plan provided, the total proposed building would include 5,774 square feet of truck repair area, 1,681 square feet of covered truck prep area, 1,158 square feet of office area, 655 square feet of storage area, and 466 square feet of warehouse area for a total occupancy of 46 people.

Given the net site area of 0.64 acres, this results in an average intensity of 72 people per acre, which is compatible with the Zone B2 average acre criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). Based on the number of standard parking spaces provided of 24, the total occupancy would be estimated at 36 people. This results in an average intensity of 56 people per acre, which is also compatible with the Zone B2 average acre criterion of 100.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone B2 limits maximum single-acre intensity to 250 people. However, due to the total site acreage being less than one acre, the prorated average intensity criterion is the governing factor.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone B2.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area at approximately 65 CNEL from aircraft. As an industrial use not sensitive to noise, the truck repair, storage, and warehouse areas would not require special measures to mitigate aircraft-generated noise. However, a condition is included to ensure adequate noise attenuation is provided for office areas.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (AMSL). At a distance of approximately 2,200 feet from the runway to the project site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1510 feet AMSL. The proposed finished floor elevation is 1502 feet above mean sea level. With a maximum building height of 32 feet, the top point elevation would be 1534 feet AMSL.

Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service was required. The proposed building was submitted for FAA obstruction evaluation review and assigned Aeronautical Study No. (ASN) 2015-AWP-10214-OE. As of the time of writing of this staff report the ASN is in a “Work in Progress” status and no determination from FAA has been issued.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP

require open area specifically.

**CONDITIONS:**

1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, noise sensitive outdoor nonresidential uses and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an aviation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
4. The attached notice shall be given to all prospective purchasers of the property and tenants of the building.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio

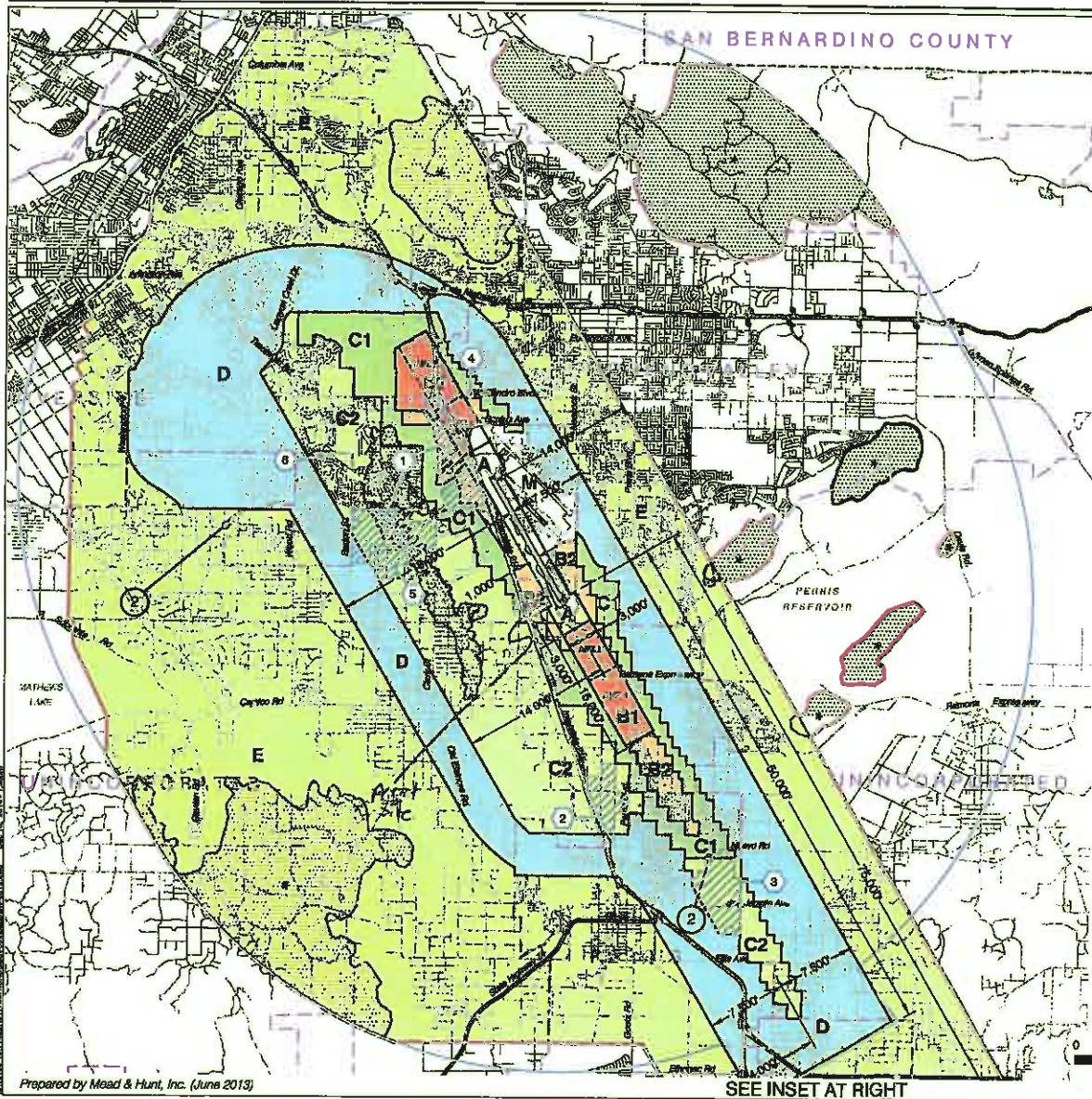
communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

6. No detention basins are depicted on the site plan. Any new detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Any additional landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
7. Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The City of Perris shall require an acoustical study to ensure compliance with this requirement.



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

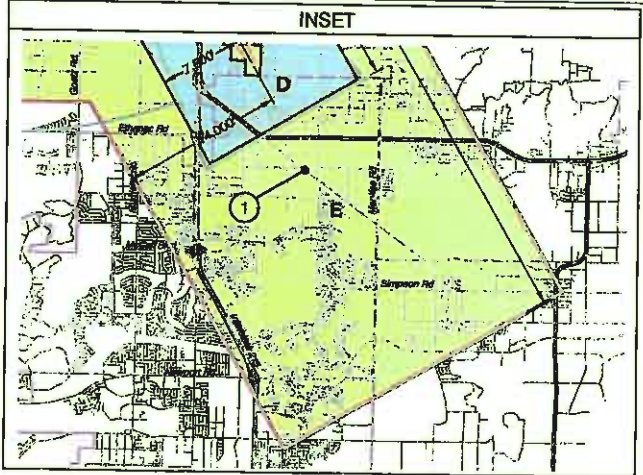
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▣ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

Note:  
All dimensions are measured from  
runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Moad & Hunt, Inc. (June 2013)

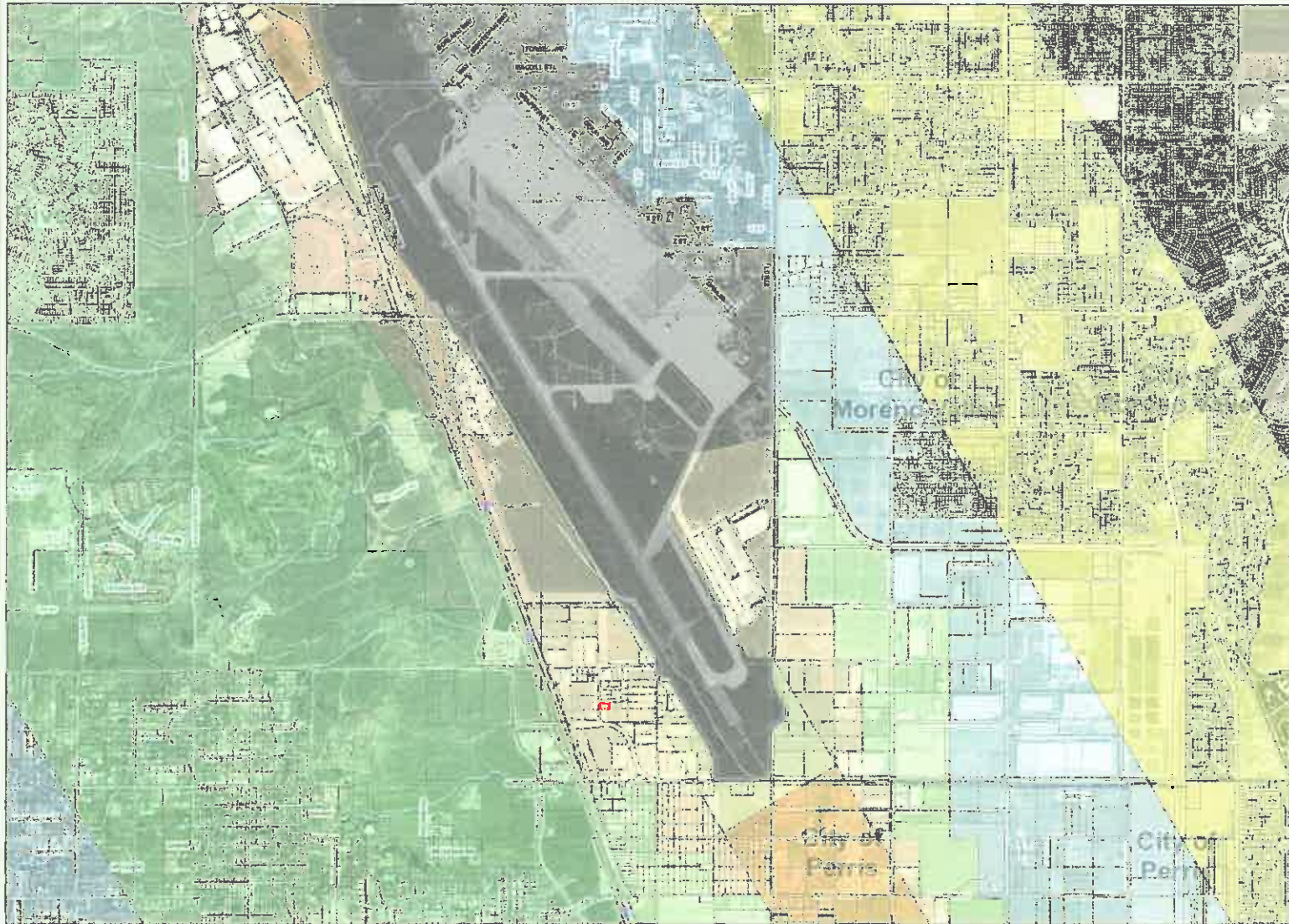
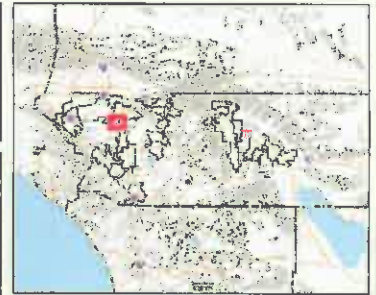
SEE INSET AT RIGHT































↑ SUBJECT PROPERTY

# My Map



## Legend

### Airport Compatibility

-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT
-  C2-HIGHT-EXC1
-  C2-HIGHT-EXC5



0 4,260 8,521 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

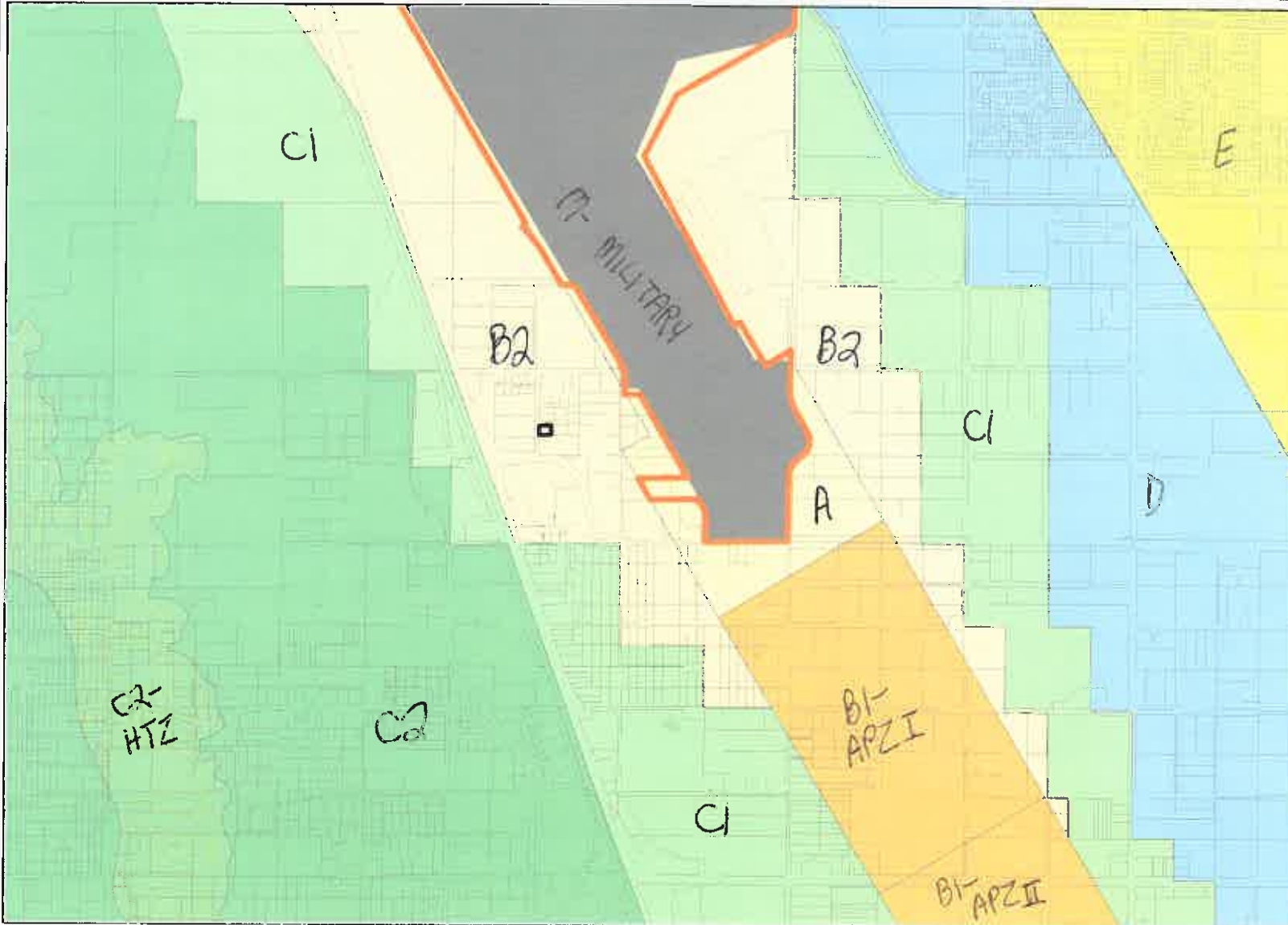
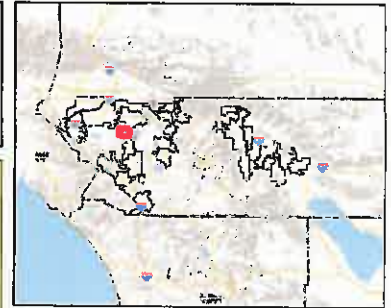
REPORT PRINTED ON... 10/1/2015 11:27:22 AM

© Riverside County TLMA GIS

## Notes



# My Map



**Legend**

- Airports
- AIA

**Airport Compatibility**

- OTHER\_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

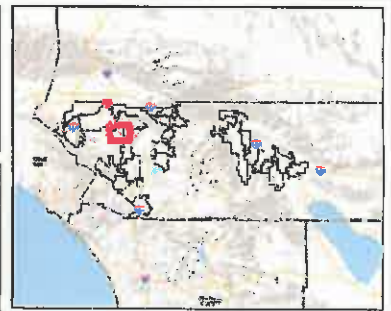
REPORT PRINTED ON... 10/27/2015 9:25:57 AM

© Riverside County TLMA GIS

**Notes**



# My Map



**Legend**

- Airports
- AIA
- Runways
- City Boundaries
- highways\_large
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

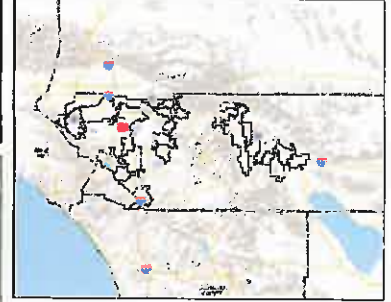
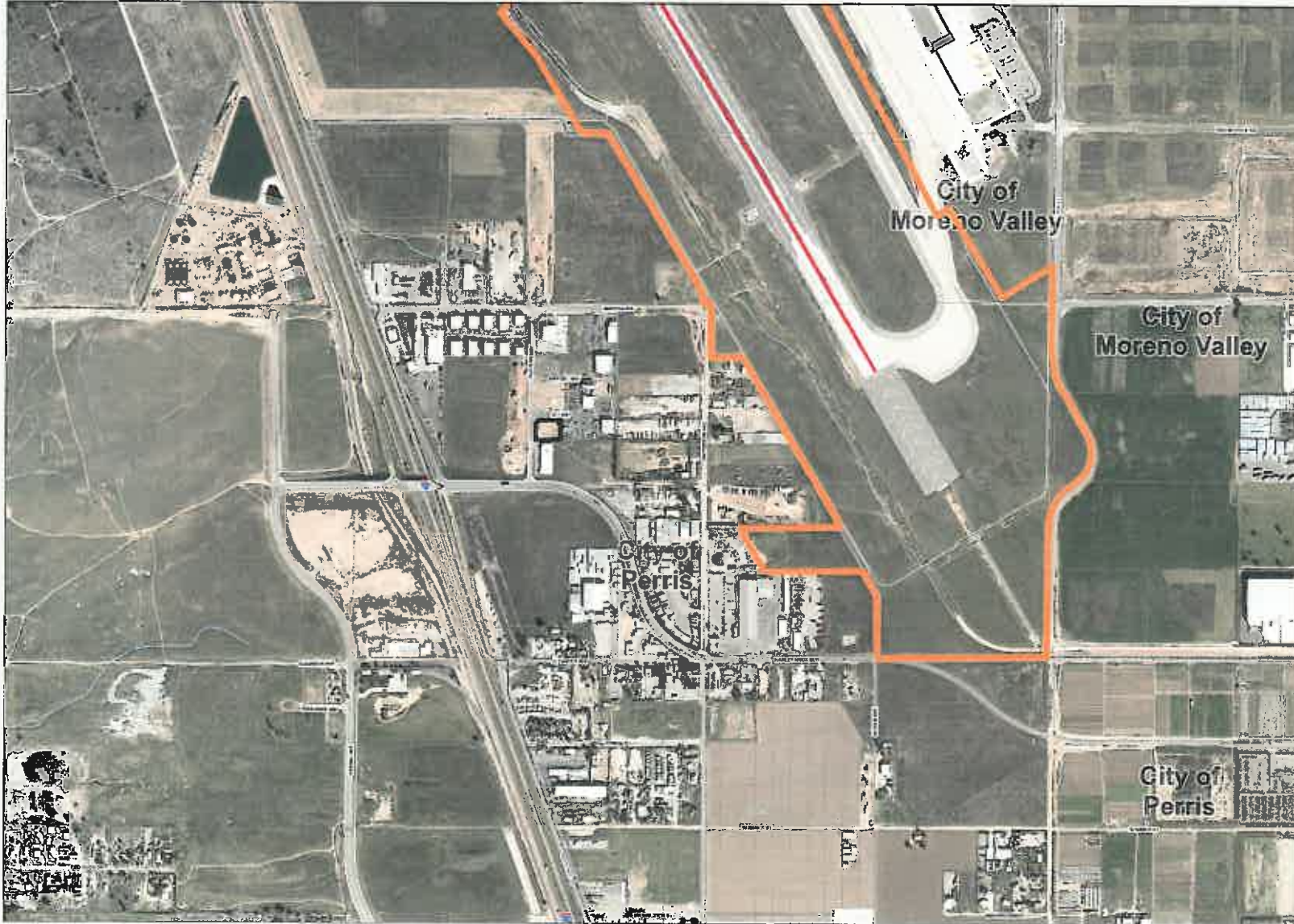
REPORT PRINTED ON... 10/27/2015 9:21:06 AM

© Riverside County TLMA GIS

**Notes**



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,417 2,834 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

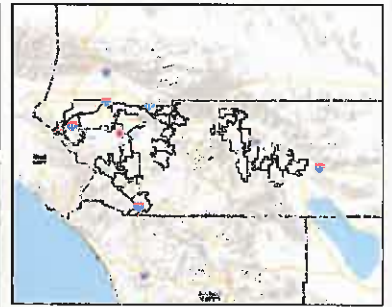
REPORT PRINTED ON... 10/27/2015 9:22:20 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0

354

708 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

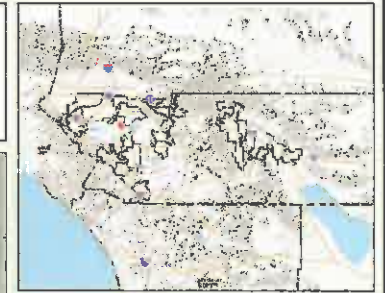
REPORT PRINTED ON... 10/27/2015 9:23:30 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 266 533 Feet



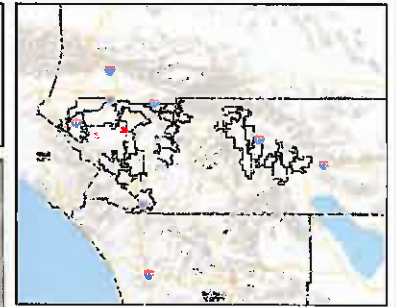
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/1/2015 11:28:41 AM
















© Riverside County TLMA GIS

## Notes

# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



0 182 364 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

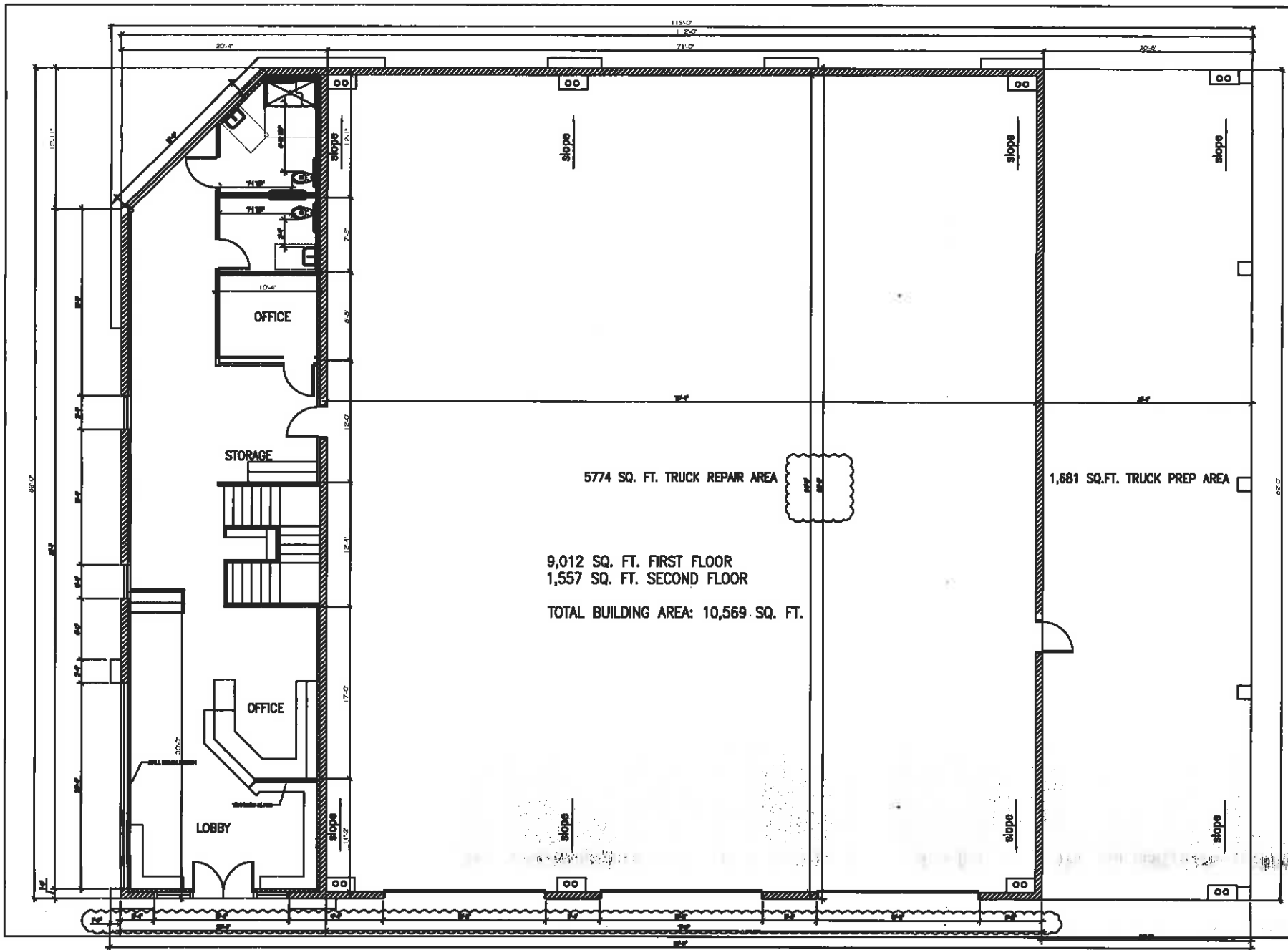
REPORT PRINTED ON... 10/27/2015 9:24:48 AM

© Riverside County TLMA GIS

## Notes







REVISIONS	
DATE	BY

**JONATHAN L. ZANE ARCHITECTURE**  
 JONATHAN L. ZANE ARCHITECT - CA, LIC. #C-40498  
 888 NORTH LA CALINDA DRIVE  
 COLTON CA 92324 PH: 951-850-1500

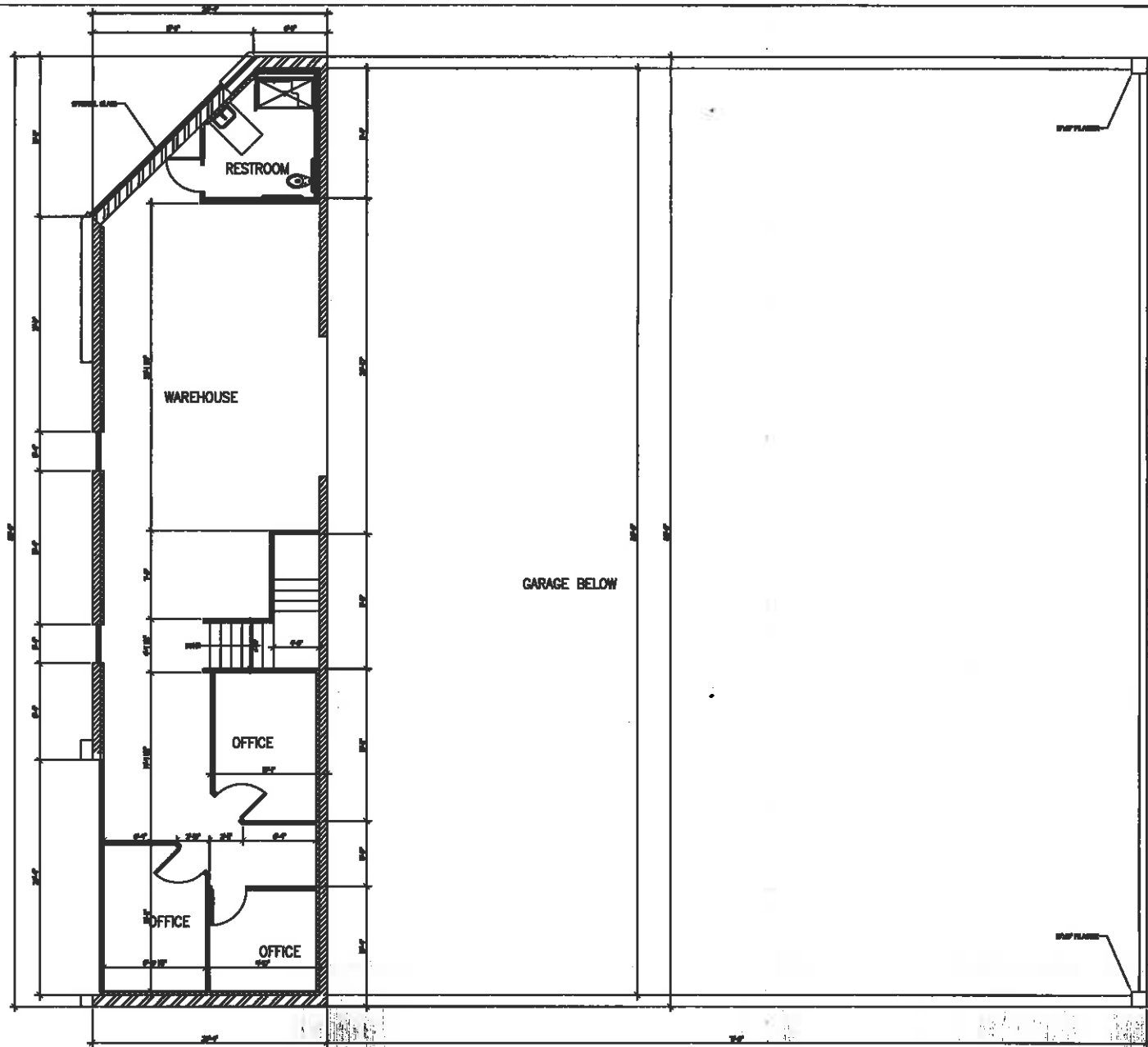
**PROJECT REP: ANDONIO & MIGUEL GARCIA**  
 ANDONIO & MIGUEL GARCIA  
 1001 W. 10TH STREET  
 PUEBLO, CO. 81001  
 A.S.P. 951-781-4444

**NOTICE:**  
 The design and slope indicated by these drawings were created for the use of this project only. Any other use of these drawings may not be used for any other purpose without the consent of Jonathan L. Zane, Architect.

DATE: \_\_\_\_\_  
 SCALE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 SHEET: \_\_\_\_\_

A-1





**WALL LEGEND:**

	1/2" OF WALL, BRICK WALL
	1/2" OF BRICK
	1/2" OF CONCRETE
	1/2" OF WALL, BRICK WALL

**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"

REVISIONS	
DATE	BY

**JONATHAN L. ZANE**  
 ARCHITECTURE  
 JONATHAN L. ZANE ARCHITECT - CA, L.S. 10-10-06  
 888 SOUTH LA CAJONA DRIVE  
 COLTON, CA 95926



**ANONIO & MIGUEL GARCIA**  
 ARCHITECTS  
 ANONIO & MIGUEL GARCIA ARCHITECTS - CA, L.S. 10-10-06  
 1234 5TH STREET  
 PERMA, CA 95751  
 AP 28 10-10-06-06

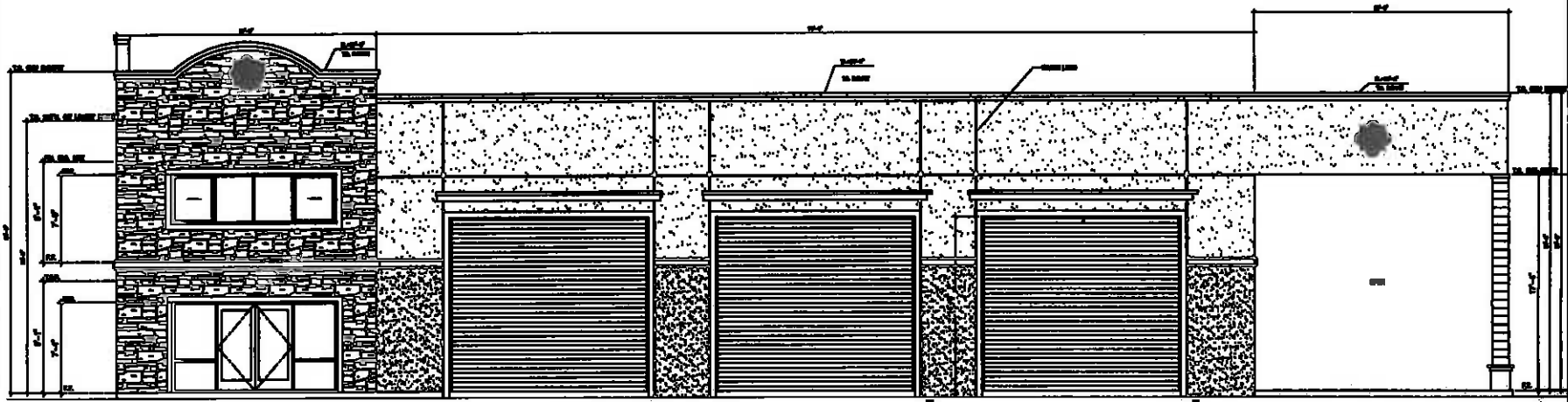
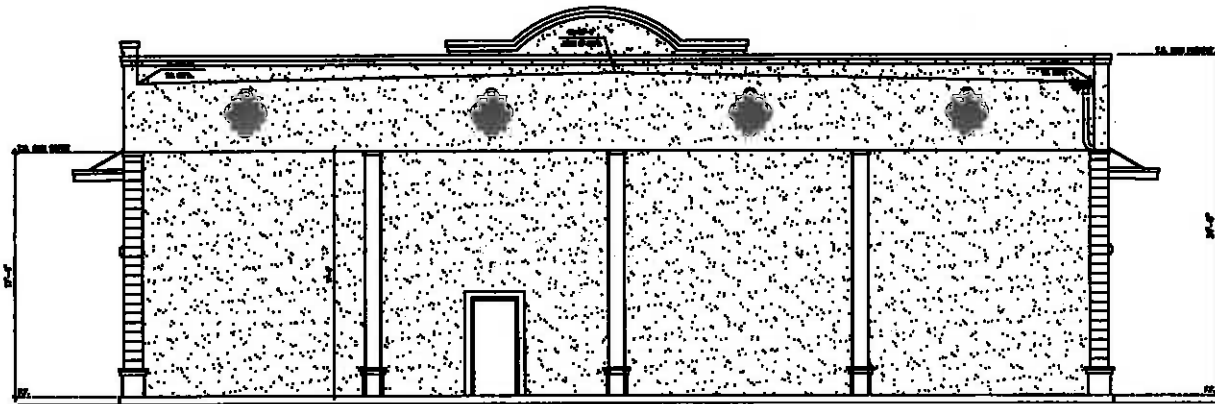
**PROJECT NO.**  
**ANONIO & MIGUEL GARCIA**  
 ARCHITECTS  
 ANONIO & MIGUEL GARCIA ARCHITECTS - CA, L.S. 10-10-06  
 1234 5TH STREET  
 PERMA, CA 95751  
 AP 28 10-10-06-06



**NOTICE:**  
 The design and ideas indicated by these drawings were created for the use of this client only. Any other use, reproduction, or distribution of these drawings without the written consent of Jonathan L. Zane, Architect, is prohibited.

**DATE:** -  
**SCALE:** -  
**DRAWN:** JMG/MS  
**APP:** JMG  
**SHEET:** A-2





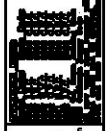
REVISION	DATE	BY

**JONATHAN L. ZANE**  
**ARCHITECTURE**  
 JONATHAN L. ZANE ARCHITECTURE - CA, LLC, 80-1000  
 100 AVENUE LA GARDIA DRIVE  
 COLTON, CA 95310 (916) 838-7800



**ANDONIO & MIGUEL GARCIA**  
 ARCHITECTS  
 1000 AVENUE LA GARDIA DRIVE  
 COLTON, CA 95310  
 (916) 838-7800

14 PAGES TOTAL



**NOTICE:**  
 The designs and ideas indicated by these drawings are the sole property of Jonathan L. Zane Architecture. These designs are not to be reproduced without the written consent of Jonathan L. Zane, Architect.

**DATE:** 11/11/11  
**SCALE:** 1/8" = 1'-0"  
**DRAWN BY:** Kenneth  
**CHECK BY:** JZ  
**DATE:** 11/11/11  
**PROJECT:**

# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Veterans Day (Wednesday, November 11) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

**DATE OF HEARING:** November 12, 2015

**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:**

ZAP1156MA15 – Miguel and Antonio Garcia (Representative: Jonathan L. Zane, Architect) – City of Perris Case No. DPR 14-10-0008. A proposal to establish a truck repair facility including a 10,724 square foot building on a 0.64-acre parcel (Assessor's Parcel Number 294-190-064) with an address of 1379 Jet Way located at the southeast corner of Western Way and Jet Way in the City of Perris. (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area)

**FURTHER INFORMATION:** Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Kenneth Phung of the City of Perris Planning Department, at (951) 943-5003, ext. 257.



# APPLICATION FOR MAJOR LAND USE ACTION REVIEW RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP 1156MAIS

### PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application SEPT, 17, 2015  
 Property Owner MIGUEL & ANTONIO GARCIA Phone Number 951-208-8839  
 Mailing Address 13444 STADIUM WAY  
MORENO VALLEY, CA 92555

Agent (if any) JONATHAN L. ZANE - ARCHITECT Phone Number 909 825-7500  
 Mailing Address 958 N. LA CADENA DR.  
COLTON, CA 92324-2750  
jzane@roadrunner.com

### PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address 1379 JET WAY  
FERRIS, CA 92570  
 Assessor's Parcel No. 294-190-064 Parcel Size .64 AC (27,870 s.f.)  
 Subdivision Name TRACT 23821 - LOT Zoning Classification GEN INDUSTRIAL  
 Lot Number LOT 14, CITY: FERRIS

March B2

### PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT LOT - EXISTING BLOCK WALL

Proposed Land Use (describe) TRUCK REPAIR FACILITY 10,724 s.f., BUILDING & PARKING FOR CARS & TRUCKS.

For Residential Uses: Number of Parcels or Units on Site (exclude secondary units) N/A  
 For Other Land Uses: Hours of Use MON - SAT - 7AM - 6 P.M.  
 (See Appendix C) Number of People on Site Maximum Num. 8-10 MAX  
 Method of Calculation 2 OFFICE WORKERS, 4 MECHANICS  
2-4 CUSTOMERS

Height Data: Height above Ground or Tallest Object (including antennas and trees) 28'-10" ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site: 1531.67' ft.

Flight Hazards: Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe N/A

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received \_\_\_\_\_

Agency Name \_\_\_\_\_

Staff Contact \_\_\_\_\_

Phone Number \_\_\_\_\_

Agency's Project No. \_\_\_\_\_

City of Perris

Kenneth Phung  
(951)

DPR 14-10-0008

Type of Project

General Plan Amendment

Zoning Amendment or Variance

Subdivision Approval

Use Permit

Public Facility

Other \_\_\_\_\_

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1 ..... Completed Application Form
- 1 ..... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 ..... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 ..... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 ..... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 ..... Completed Application Form
- 1 ..... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 ..... Elevations of Buildings - Folded
- 1 ..... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1 ..... Check for review—See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.4

**HEARING DATE:** November 12, 2015

**CASE NUMBER:** ZAP1070RI15 – R.C. Hobbs Company (Representative: Jeff Moore)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P15-0862 (General Plan Amendment), P15-0863 (Rezoning), P15-0864 (Tentative Tract Map), P15-0865 (Major Site Plan Review)

**MAJOR ISSUES:** None.

**RECOMMENDATION:** Staff recommends that the proposed General Plan Amendment be found CONSISTENT with the Riverside Municipal Airport Land Use Compatibility Plan, and that the Tentative Tract Map and Major Site Plan Review be found CONSISTENT, subject to the conditions included herein. Staff recommends that the Rezoning be found CONSISTENT, provided that the new zoning incorporates the appropriate Airport Protection Overlay Zone suffix (-AP-D), which refers to the site's location within the Riverside Municipal Airport Influence Area.

**PROJECT DESCRIPTION:** The Major Site Plan Review proposes to develop 36 residential dwelling units (attached townhomes) in ten buildings (8 with 4 units each and 2 with 2 units each), plus a restroom/storage structure and swimming pool, on 2.96 acres. The Tentative Tract Map is a one-lot condominium map that would provide for the proposed structures, common areas, and private open space areas. The General Plan Amendment proposes to amend the land use designation of the site from Public Facilities/Institutional (PF) to Medium High Density Residential (MHDR) (maximum 14.5 dwelling units per acre). The Rezoning proposes to change the zoning of the site from Single Family Residential, 7,000 square foot minimum lot size (R-1-7000) to Multiple-Family Residential, 3,000 square foot minimum area per dwelling unit (R-3-3,000).

**PROJECT LOCATION:** The site is located northeasterly of Jefferson Street, northwesterly of Willow Street, southwesterly of Euclid Court, and southeasterly of California Avenue, approximately 5,100 feet southeasterly of the southeasterly terminus of Runway 9-27 at Riverside Municipal Airport.

**LAND USE PLAN:** 2005 Riverside Municipal Airport Land Use Compatibility Plan

- a. Airport Influence Area: Riverside Municipal Airport
- b. Land Use Policy: Airport Compatibility Zone D
- c. Noise Levels: Outside the 55 CNEL contour

**BACKGROUND:**

Land Use Density/Intensity: The site is located in Airport Compatibility Zone D of the Riverside Municipal Airport Influence Area. Compatibility Zone D allows residential densities at or above 5.0 dwelling units per acre. The project proposes a total of 36 units on 2.96 acres for a density of 12.16 dwelling units per acre, which is consistent with the Zone D residential density criteria.

Noise: The site is located outside the 55 dB(A) CNEL contour from Riverside Municipal Airport. Therefore, no special measures to mitigate aircraft noise are required at this location.

Part 77: The project is located approximately 5,100 feet southeasterly of the southeasterly end of Runway 9-27 at Riverside Municipal Airport. The elevation of Runway 9-27 at its southeasterly terminus is 816 feet above mean sea level (AMSL). At the closest point of the site, structures with a top point elevation of 867 feet AMSL or greater would require notification to the Federal Aviation Administration (FAA) Obstruction Evaluation Service. Additionally, although the southerly end of Runway 16-34 is further from the site at approximately 8,540 feet, due to the substantially lower elevation of the southerly end of Runway 16-34 at 747.5 feet AMSL, this is analyzed as well. Based on the site distance and runway elevation, structures with a top point elevation of 832.9 feet AMSL or greater would require notification to the FAA Obstruction Evaluation Service. The project proposes a maximum pad elevation of 782.79 feet AMSL and a maximum building height of 29.5 feet for a maximum elevation of 812.29 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service was not required for either Runway 9-27 or 16-34.

Open Area: Compatibility Zone D requires that 10% of area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. Since the overall project size is less than 10 acres, the open area requirement is not applicable to this project.

Airport Overlay: In conjunction with adoption of its new General Plan, the City of Riverside amended its zoning ordinance to provide for Airport Protection Overlay Zones within the Airport Influence Areas of airports for which Compatibility Zones based on the "A through E" system utilized in the 2004 Riverside County Airport Land Use Compatibility Plan have been established. While the land uses permitted by the proposed R-3-3,000 zone are consistent with a location in Compatibility Zone D, application of the Airport Protection Overlay Zone suffix is recommended in order to assure that the ultimate development will comply with Compatibility Zone D. This would further the objectives of promoting the continued operations of Riverside Municipal Airport and maintaining public awareness of its proximity. The Airport Protection Overlay Zone suffix for Zone



D should be applied to these parcels (R-3-3,000-AP-D).

**CONDITIONS (to be applied to the Tentative Tract Map and Major Site Plan Review):**

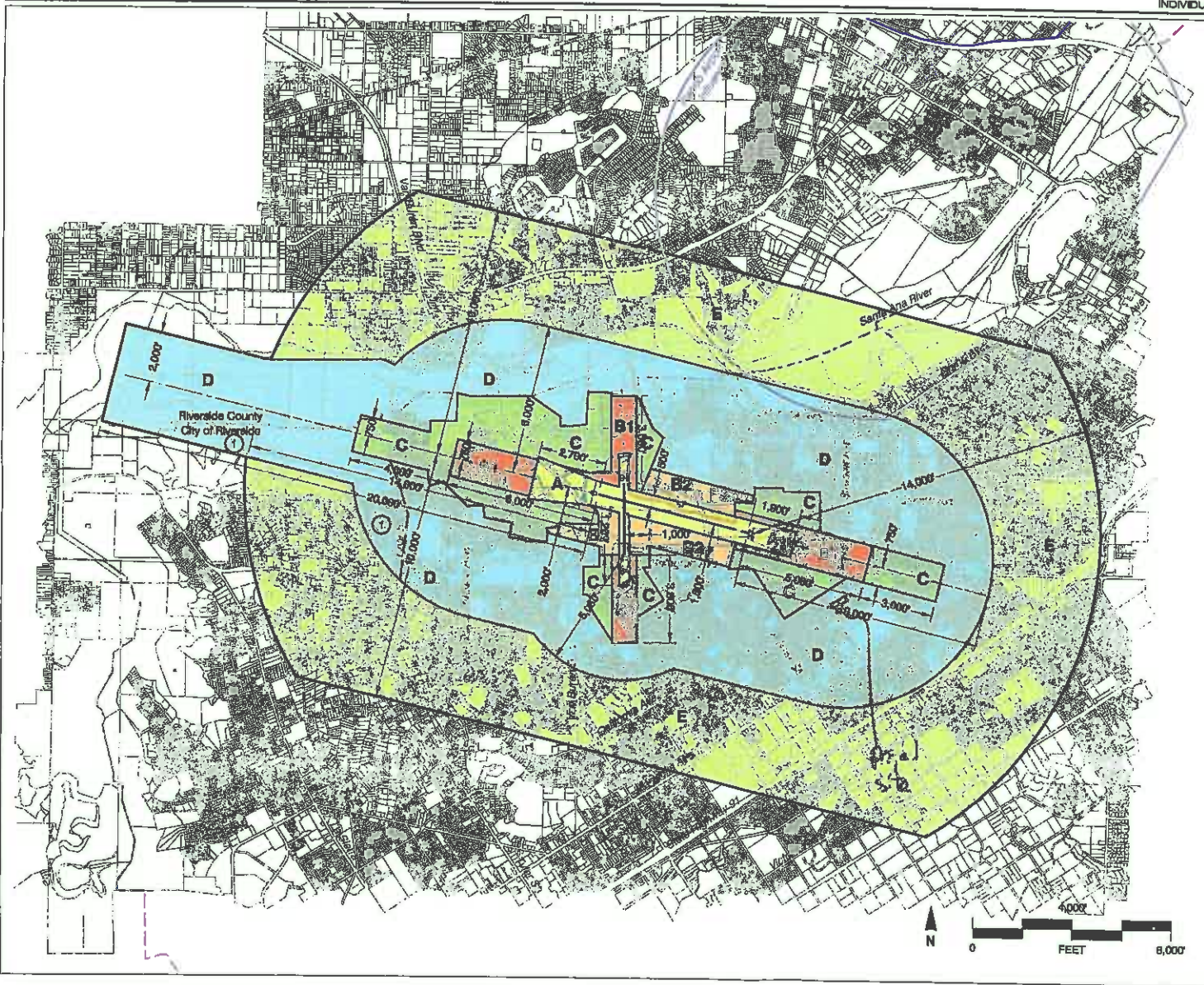
1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers and tenants of the property, and recorded as a deed notice.
4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. During initial sales of properties within the proposed subdivision, pursuant to Riverside Municipal Airport Land Use Compatibility Plan Policy 2.4(a), large airport-related informational signs clearly depicting the proximity of the property to Riverside Municipal Airport and aircraft traffic patterns shall be installed in conspicuous locations and maintained

by the developer.

6. The developer shall provide to prospective purchasers and/or tenants an informational brochure depicting the locations of aircraft flight patterns and describing the frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights. (A large-scale illustration of Exhibit RI-7, Compatibility Factors, will suffice).
7. Prior to recordation of the final map or building permit, whichever occurs first, the City of Riverside shall apply zoning incorporating the Airport Protection Overlay Zone (R-3-3,000-AP-D) to the site.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
  - City Limits

**Note**  
 Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
 (Adopted March 2005)

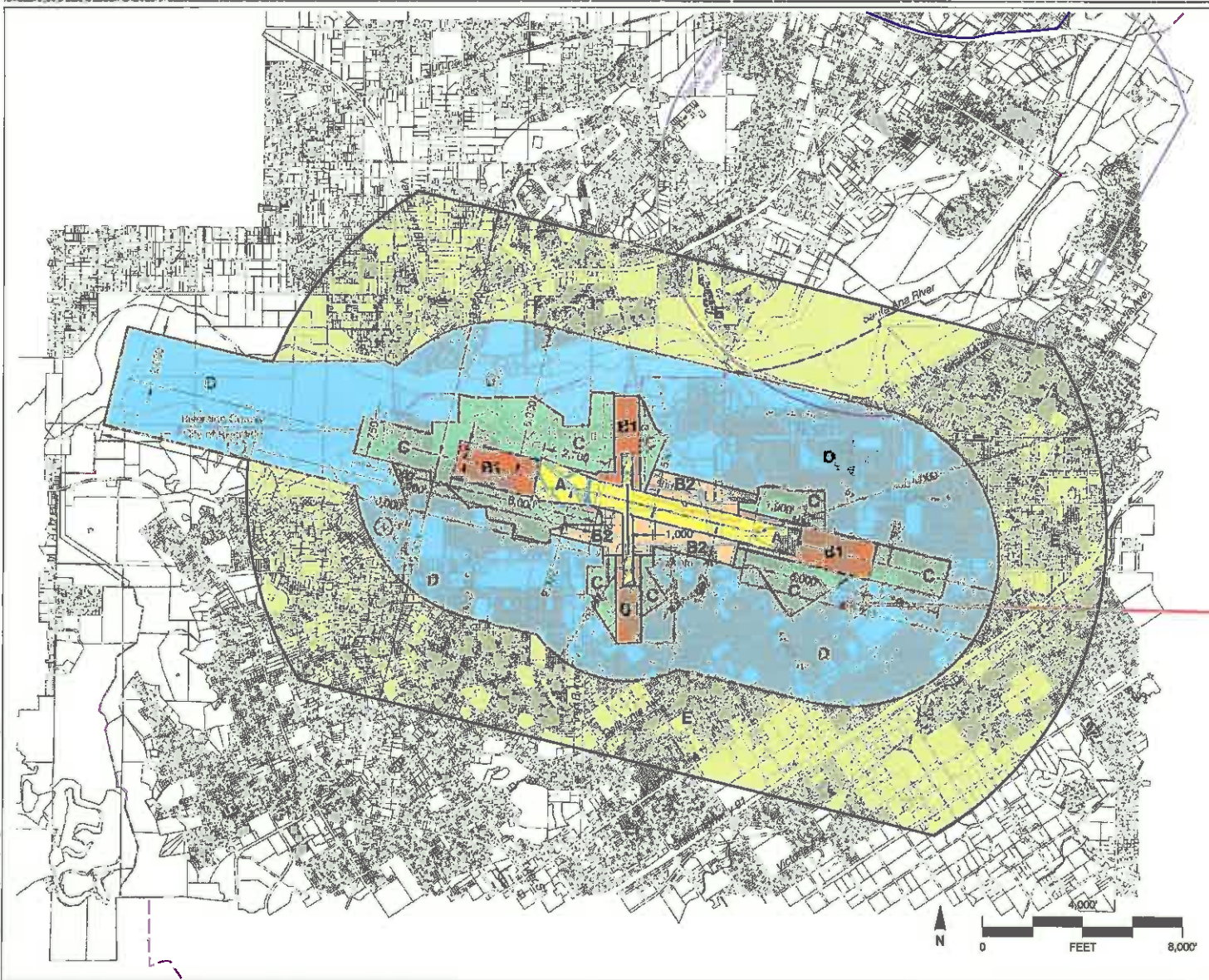
Map RI-1

**Compatibility Map**  
**Riverside Municipal Airport**



P:\RCD\Digital\Compatibility.dwg Mar 25, 2005 - 12:17pm





**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

**Boundary Lines**

- Airport Property Line
- City Limits

**Note**

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

P.I.Q

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted March 2005)

Map RI-1

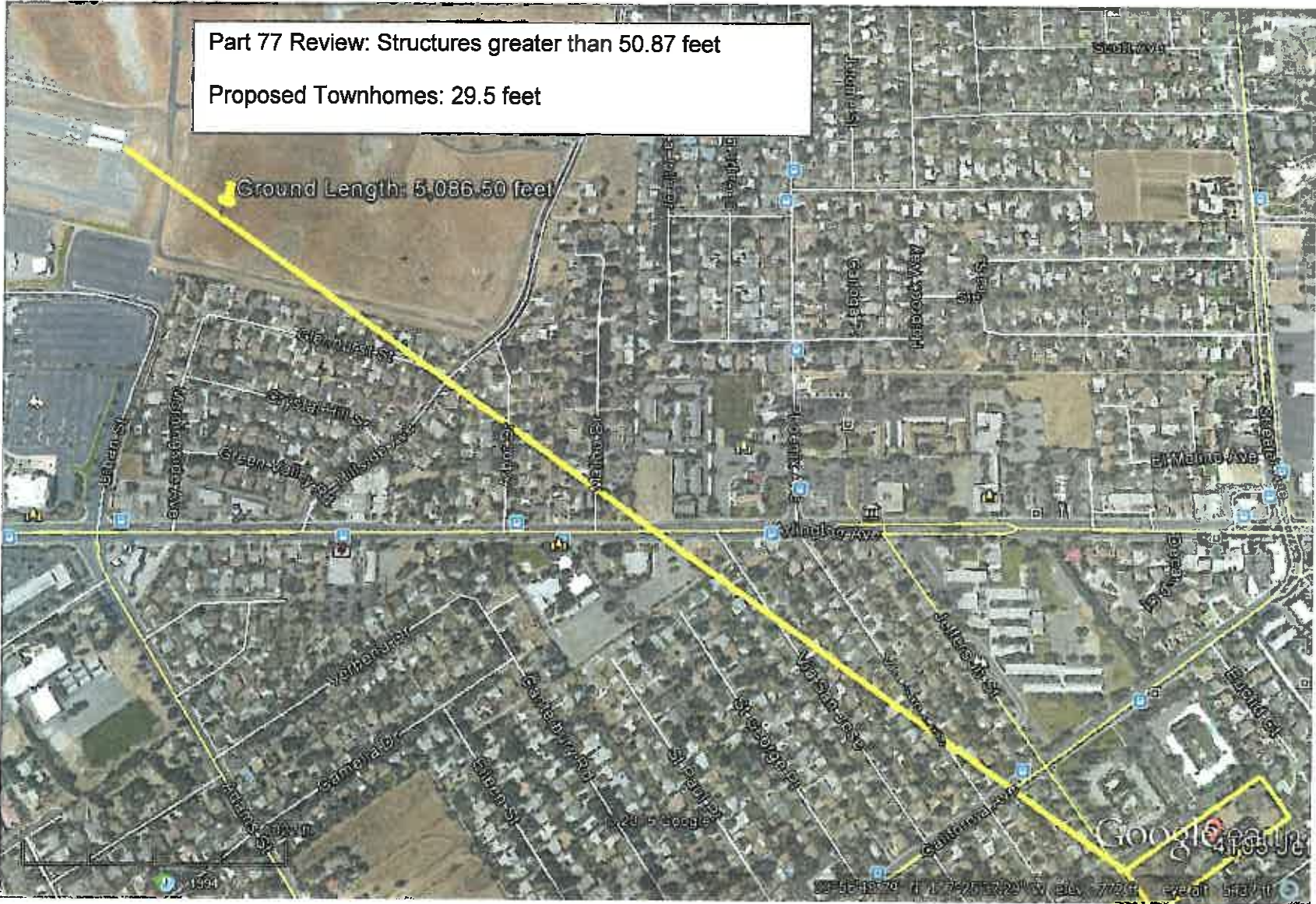
**Compatibility Map**  
 Riverside Municipal Airport



Federal Aviation Regulations Part 77 Determination  
Distance to Riverside Municipal Airport

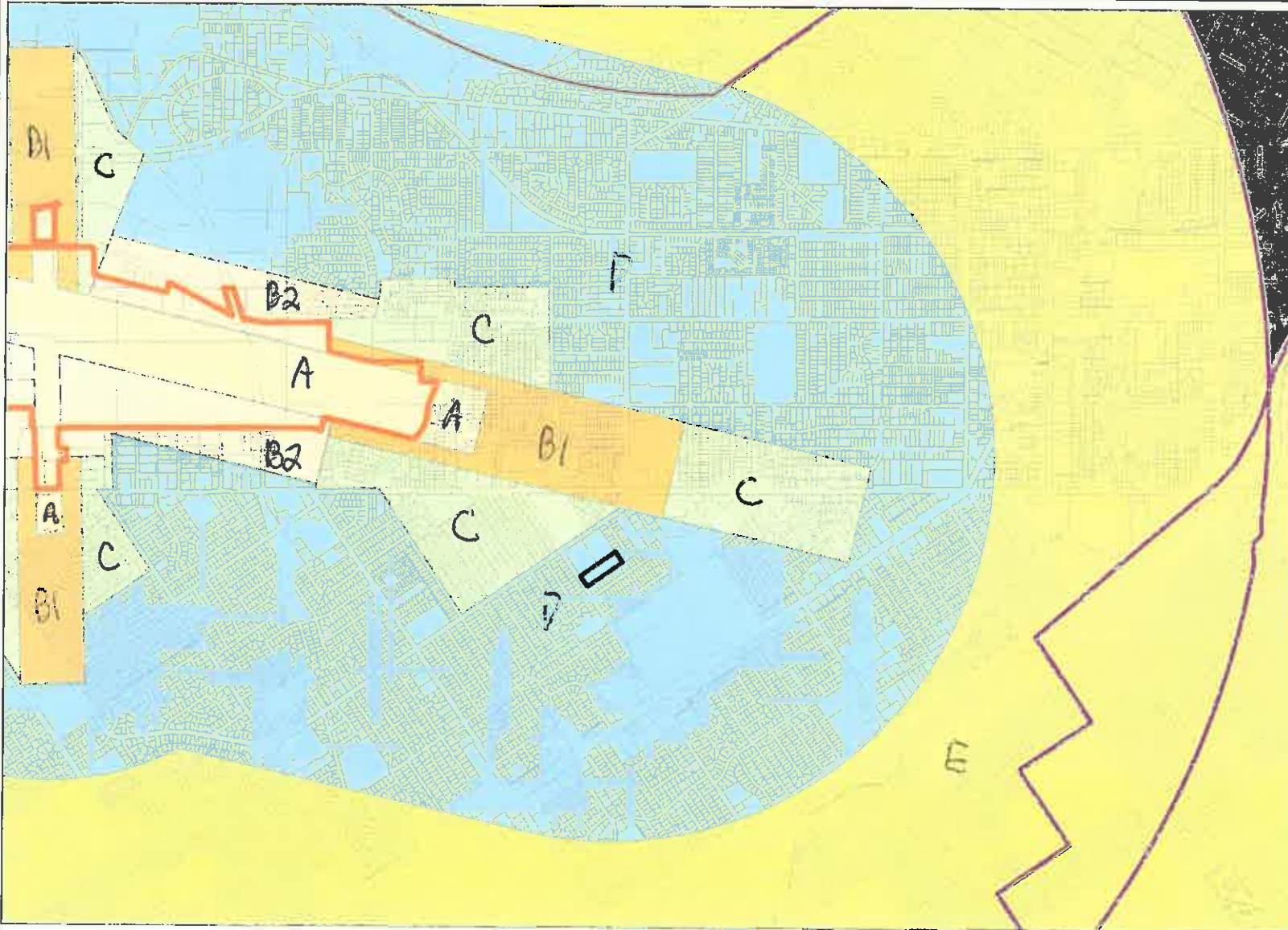
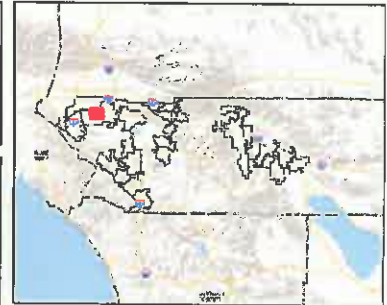
Part 77 Review: Structures greater than 50.87 feet  
Proposed Townhomes: 29.5 feet

Ground Length: 5,086.50 feet





# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 2,909 5,818 Feet



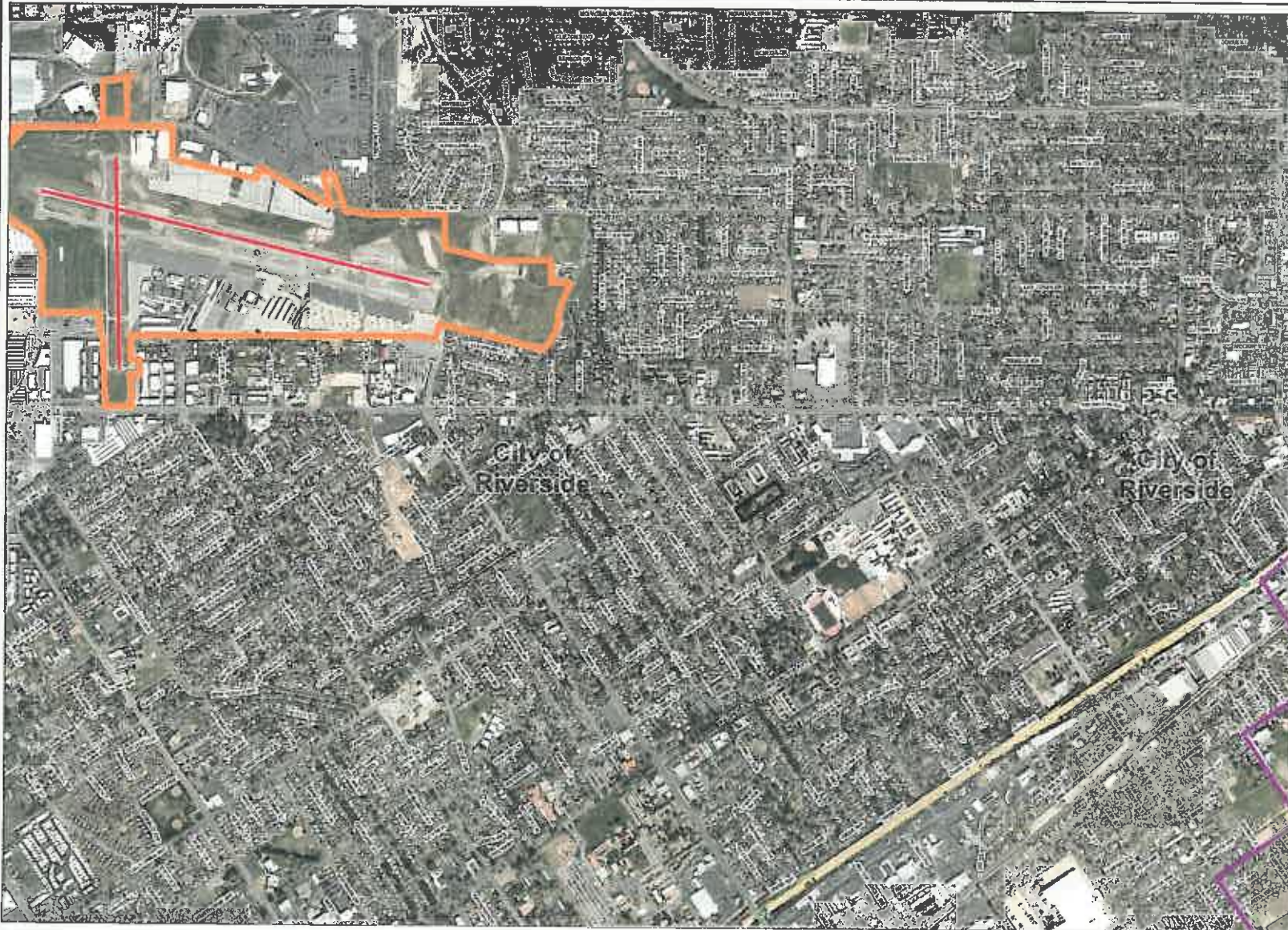
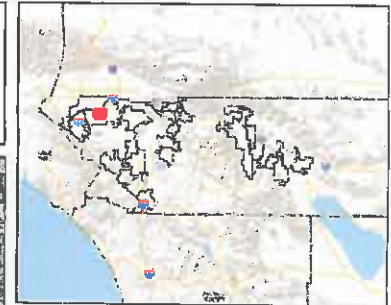
REPORT PRINTED ON... 10/27/2015 11:09:24 AM

© Riverside County TLMA GIS

## Notes



# My Map



### Legend

- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

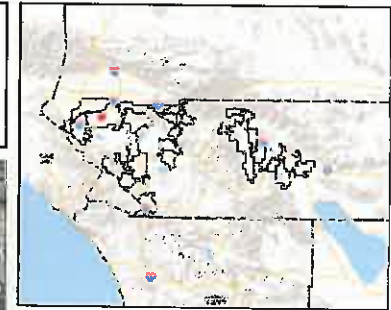
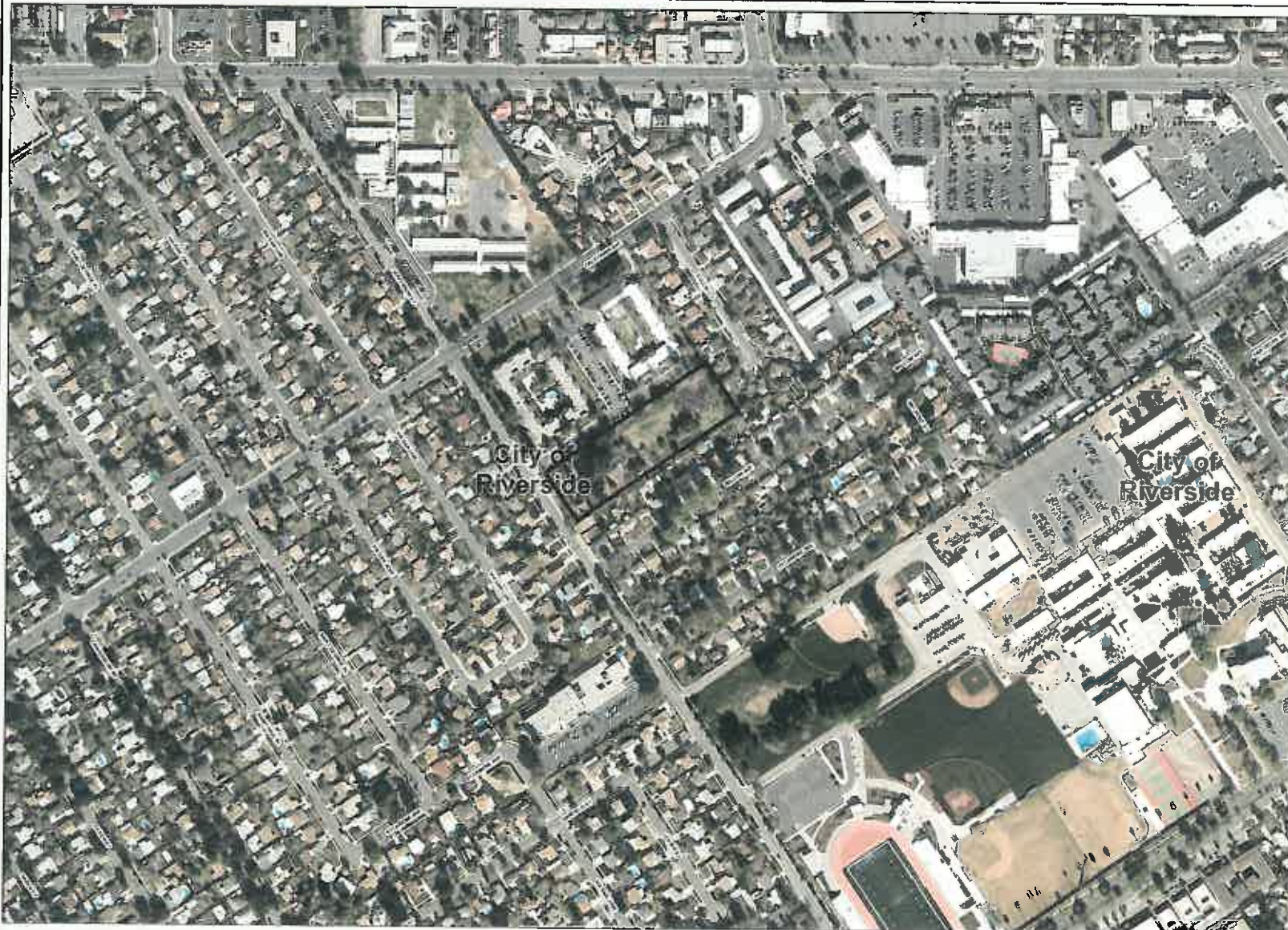
REPORT PRINTED ON... 10/27/2015 11:05:15 AM

© Riverside County TLMA GIS

### Notes

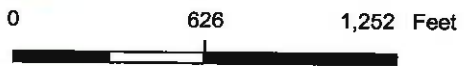


# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

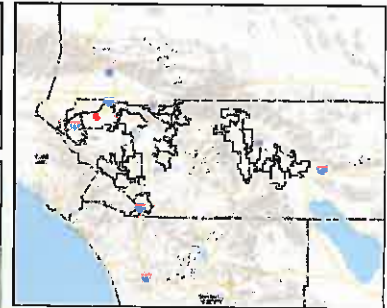
REPORT PRINTED ON... 10/27/2015 11:06:37 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 182 364 Feet



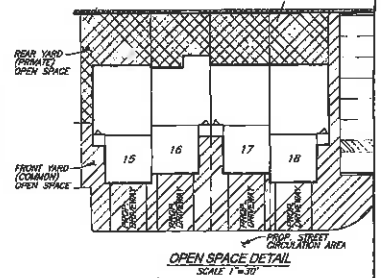
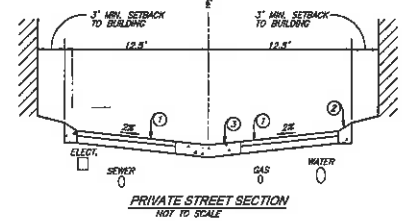
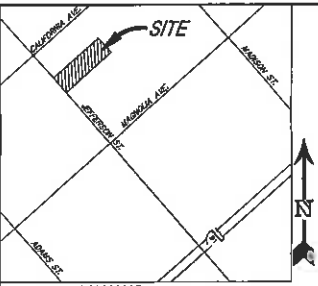
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/27/2015 11:07:38 AM

© Riverside County TLMA GIS

## Notes

IN THE CITY RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.  
**TENTATIVE TRACT MAP NO. 36994**  
**JEFFERSON COURT**  
 1 LOT CONDOMINIUM MAP - PAR 3 OF P.M. 13124  
 CITY OF RIVERSIDE, CA  
 SEPTEMBER 2015



VICINITY MAP  
 NOT TO SCALE  
 THOMAS GUIDE PAGE: 715 GRID: A7

**OWNER/APPLICANT**  
 RC HORNS COMPANY, INC.  
 1510 EAST CHATELAIN, STE. 201  
 ORANGE, CA 92668

**ENGINEER**  
 SDH & ASSOCIATES, INC.  
 8228 CHAYON CREST DRIVE #1430  
 RIVERSIDE, CA 92504  
 VOICE: (951) 983-3881  
 FAX: (951) 788-2314

**ASSESSOR'S PARCEL NO.**  
 227-130-025

**PROJECT INFO**  
 AREA OF SITE = 120,002 S.F. (2.96 AC.)  
 NUMBER OF UNITS = 36  
 FOOTPRINT = 43,814 S.F.  
 STREETS = 28,208 S.F.  
 LANDSCAPE = 52,327 S.F.

LOT #	AREA (S.F.)
1	504
2	333
3	366
4	809
5	514
6	448
7	442
8	334
9	370
10	327
11	327
12	850
13	308
14	309
15	827
16	352
17	380
18	396
19	340
20	247
21	340
22	383
23	828
24	1,088
25	290
26	332
27	368
28	314
29	444
30	332
31	384
32	437
33	364
34	333
35	362
36	368

**GENERAL PLAN DESIGNATION**  
 EXISTING -  
 PROPOSED -

**ZONING**  
 EXISTING - R-1-7000  
 PROPOSED - MDR

**SCHOOL DISTRICT**  
 RIVERSIDE, UNIFIED  
 SCHOOL DISTRICT

**UTILITY SURVEYORS**  
 WATER.....SD CALIF.  
 GAS.....CITY OF RIVERSIDE  
 TELEPHONE.....PACIFIC BELL  
 CABLE.....CANTON COMM.

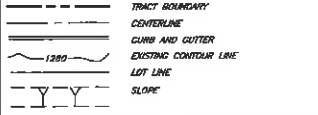
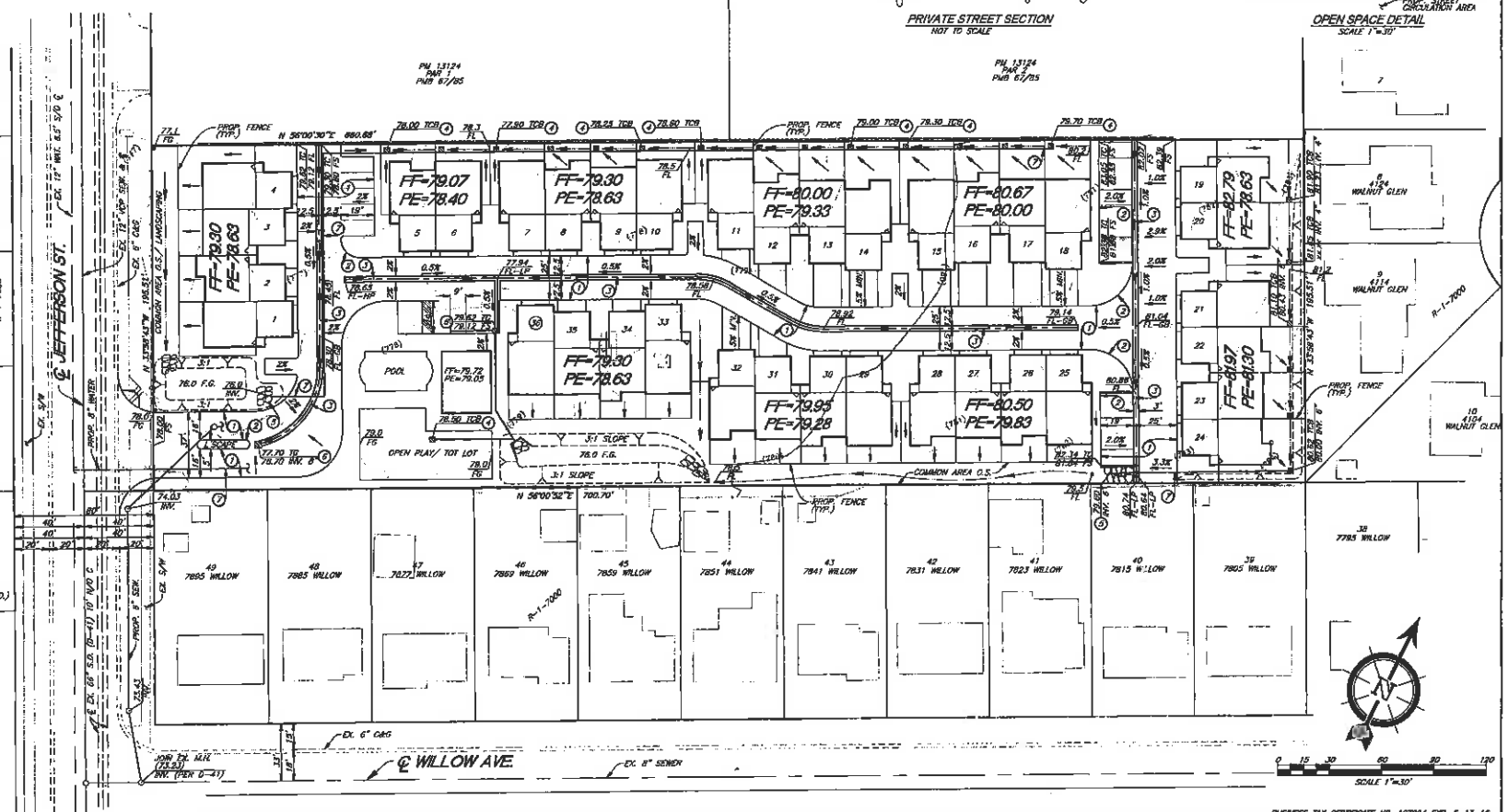
**LEGAL DESCRIPTION**  
 PARCEL 3 OF PARCEL MAP 13124  
 PAR 3/7/85

**SOURCE OF TOPO**  
 FIELD SURVEY BY HALSTON SURVEY  
 JULY 2013

- CONSTRUCTION NOTES**
- CONSTRUCT 3" OVER 5" BASE PAVING
  - CONSTRUCT 6" CURB ONLY PER RIVERSIDE STD. 200 TYPE C2 (MOD.)
  - CONSTRUCT 3" WIDE RUBBER GUTTER
  - CONSTRUCT 6" YARD DRAIN
  - CONSTRUCT 8"-12" DIA RIB PAD PAD
  - CONSTRUCT 24" CATCH BASIN
  - STORM DRAIN

**LEGEND**

T.B. - TOP OF BERM  
 F.C. - FINISHED GRADE  
 F.L. - FLOW LINE  
 H.P. - HIGH POINT  
 EXIST. - EXISTING  
 P.E. - PAD ELEVATION  
 G.R. - GRADE DRAIN



<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DESCRIPTION	DATE										<p>PREPARED BY: _____ DATE: _____</p> <p>SEAL: </p> <p>ROBERT C. VAN ZANTEN          R.C.E. NO.: 8225      EXP. 6-30-15</p>	<p>PREPARED BY: _____</p> <p>SCALE: 1"=50'</p> <p>DATE: SEPTEMBER 2015</p>	<p>BENCHMARK</p> <p>SDH &amp; ASSOCIATES, INC.          8228 CHAYON CREST DRIVE #1430          RIVERSIDE, CALIFORNIA 92504          TEL: (951) 983-3881    FAX: (951) 788-2314</p>	<p>BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-13-18          CITY OF RIVERSIDE</p> <p><b>TTM 36994</b>  <b>JEFFERSON COURT</b></p> <p>1 OF 1 SHEETS</p>
NO.	DESCRIPTION	DATE														

*HARRIS RANCH*  
*A PROPOSED NEW TOWNHOME COMMUNITY*

*R.C. HOBBS CO.*

INDEX

- A0.0 COVER SHEET AND INDEX
- A1.1 PLAN 1 - FLOOR PLANS
- A1.2 PLAN 2 - FLOOR PLANS
- A1.3 PLAN 3 - FLOOR PLANS
- A1.4 FOUR PLEX BUILDING - FIRST FLOOR PLAN
- A1.5 FOUR PLEX BUILDING - SECOND FLOOR PLAN
- A1.6 FOUR PLEX BUILDING - ROOF PLAN
- A1.7 FOUR PLEX BUILDING - FRONT AND REAR  
EXTERIOR ELEVATIONS
- A1.8 FOUR PLEX BUILDING - RIGHT AND LEFT  
EXTERIOR ELEVATIONS

HARRIS RANCH  
R.C. HOBBS CO.

COVER SHEET  
AND INDEX



Architecture

3047 E. Santa Ana Canyon Road  
Suite 100-121  
Anaheim, CA 92808  
(714) 625-3212

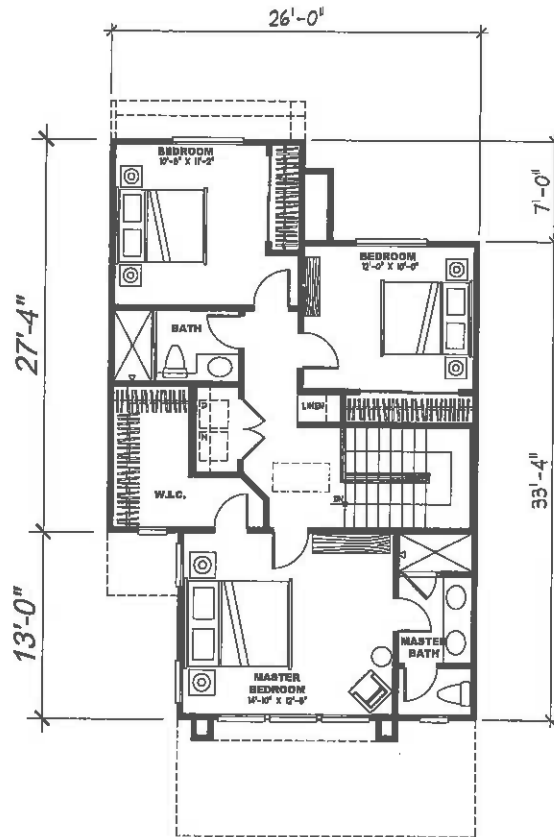
Date: 09/12/15

Sheet

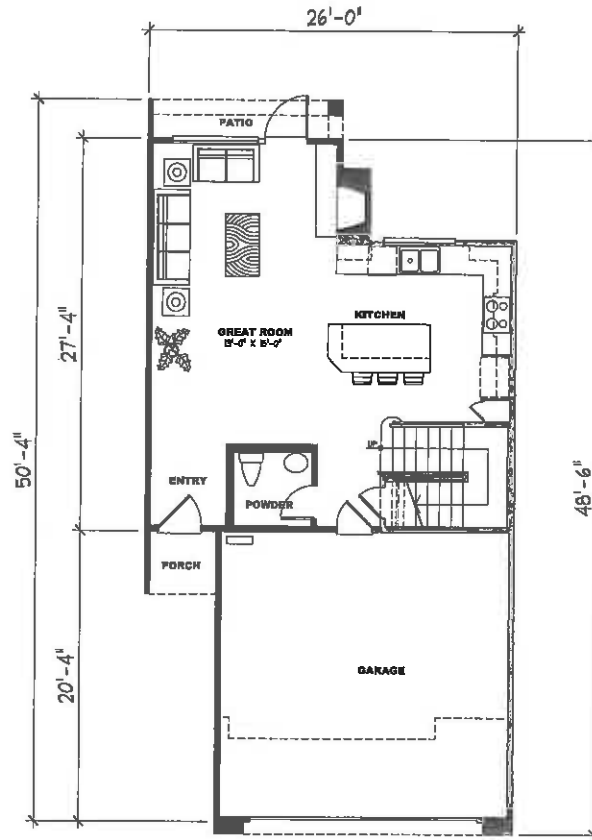
**A0.0**

Of





**SECOND FLOOR PLAN** SCALE: 1/4"=1'-0"



**FIRST FLOOR PLAN** SCALE: 1/4"=1'-0"

**SQUARE FOOTAGE**

FIRST FLOOR	624 SQ. FT.
SECOND FLOOR	632 SQ. FT.
TOTAL	1,456 SQ. FT.

**HARRIS RANCH**  
A PROPOSED NEW TOWNHOME COMMUNITY

HARRIS RANCH  
R.C. HOBBS CO.

PLAN 1  
FLOOR PLANS



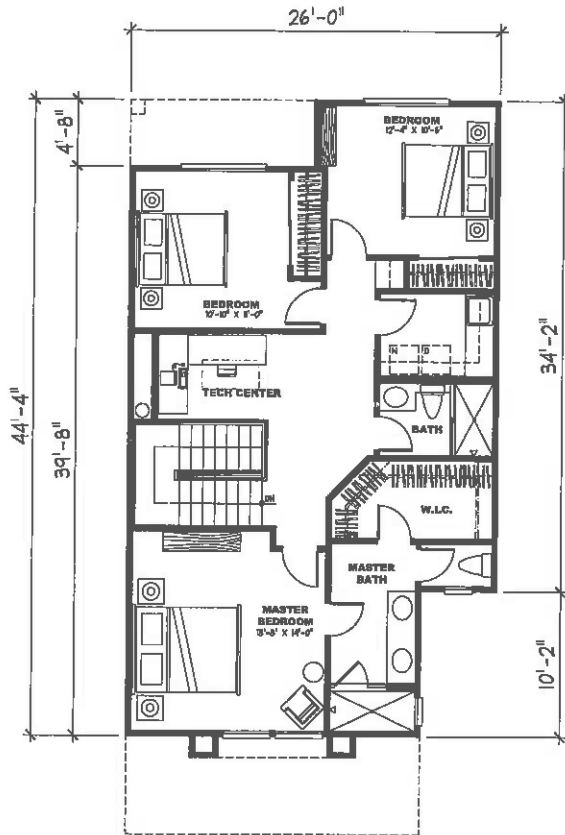
Architecture  
4018 G. South Ave. Clayton Road  
Suite 100-121  
Alhambra, CA 91804  
(949) 825-2100

Date: 09/23/15

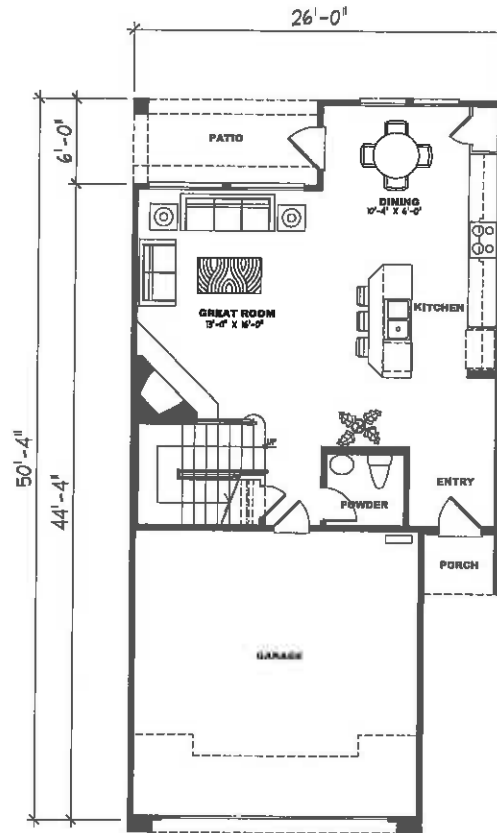
Sheet

A1.1

Of



**SECOND FLOOR PLAN** SCALE: 1/8"=1'-0"



**FIRST FLOOR PLAN** SCALE: 1/8"=1'-0"

**SQUARE FOOTAGE**

FIRST FLOOR	708 SQ. FT.
SECOND FLOOR	471 SQ. FT.
TOTAL	1,674 SQ. FT.

**HARRIS RANCH**  
A PROPOSED NEW TOWNHOME COMMUNITY

HARRIS RANCH  
R.C. HOBBS CO.

PLAN 2  
FLOOR PLANS



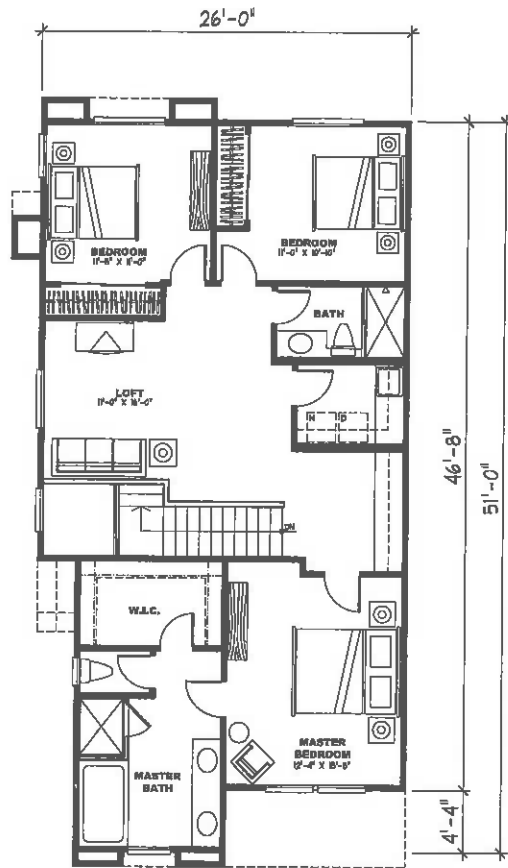
Architecture  
651 E. Santa Ana Canyon Road  
Suite 100-111  
Anaheim, CA 92819  
(949) 423-2118

Date: 09/23/15

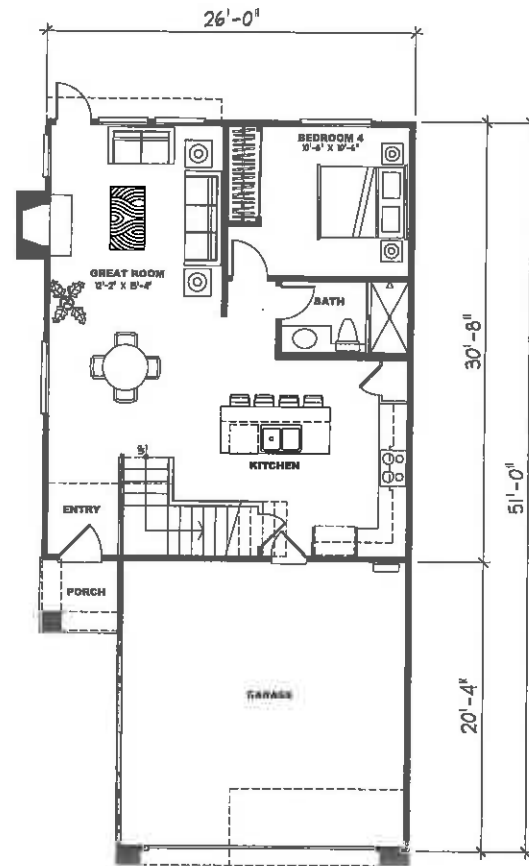
Sheet

A1.2

Of



**SECOND FLOOR PLAN** SCALE: 1/8"=1'-0"



**FIRST FLOOR PLAN** SCALE: 1/8"=1'-0"

**SQUARE FOOTAGE**

FIRST FLOOR	797 SQ. FT.
SECOND FLOOR	1,142 SQ. FT.
TOTAL	1,939 SQ. FT.

**HARRIS RANCH**  
A PROPOSED NEW TOWNHOME COMMUNITY

HARRIS RANCH  
R.C. HOBBS CO.

**PLAN 3**  
FLOOR PLANS



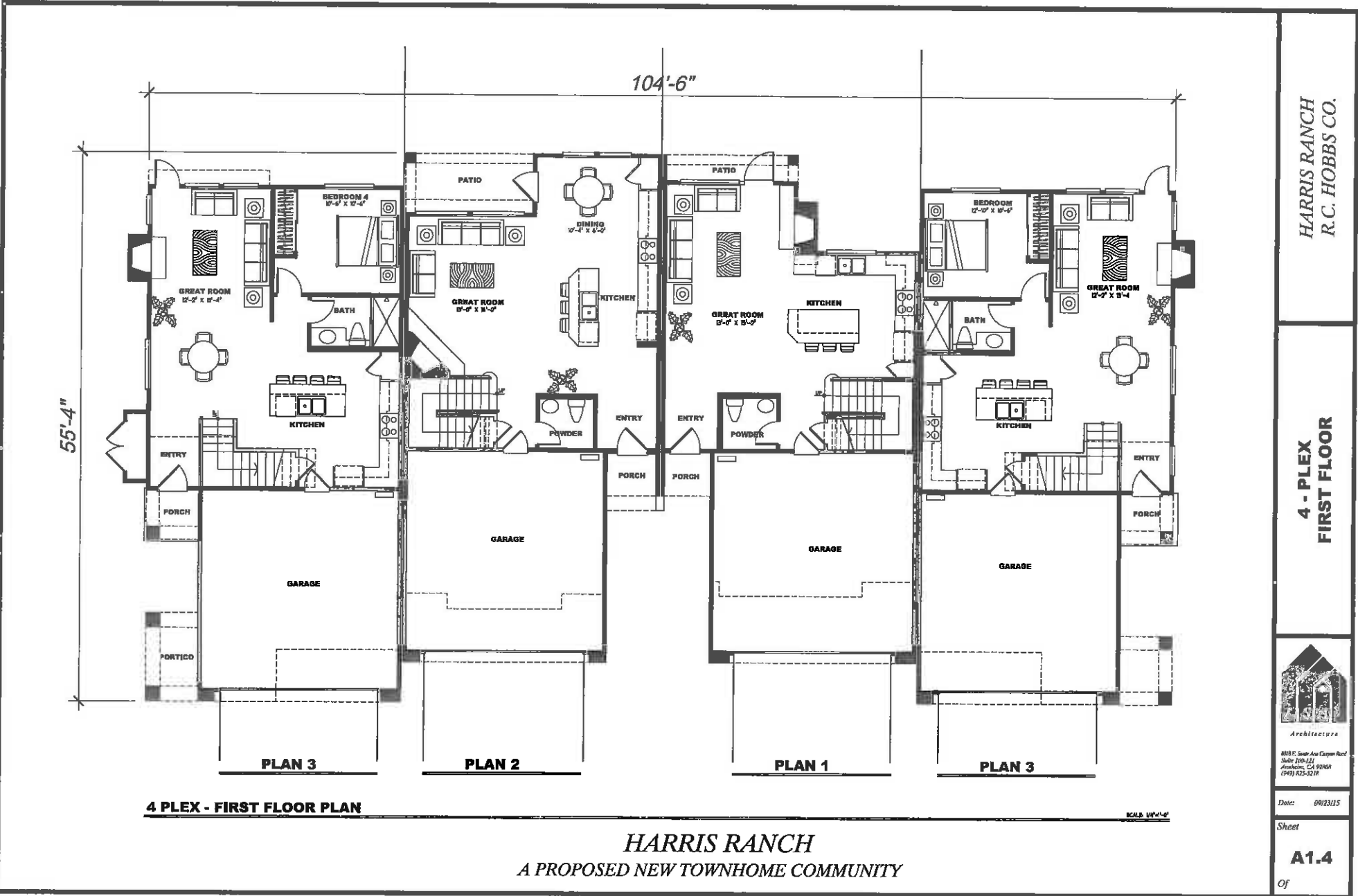
R.H.C. Architects  
1018 E. Santa Ana Canyon Road  
Suite 100-111  
Anaheim, CA 92805  
(714) 922-3218

Date: 09/23/15

Sheet

**A1.3**

Of



HARRIS RANCH  
R.C. HOBBS CO.

4 - PLEX  
FIRST FLOOR



Architecture  
4519 E. South Ave Canyon Road  
Suite 100-121  
Anaheim, CA 92801  
(714) 832-5119

Date: 09/23/15

Sheet

A1.4

Of

4 PLEX - FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

HARRIS RANCH  
A PROPOSED NEW TOWNHOME COMMUNITY



HARRIS RANCH  
R.C. HOBBS CO.

4 - PLEX  
SECOND FLOOR



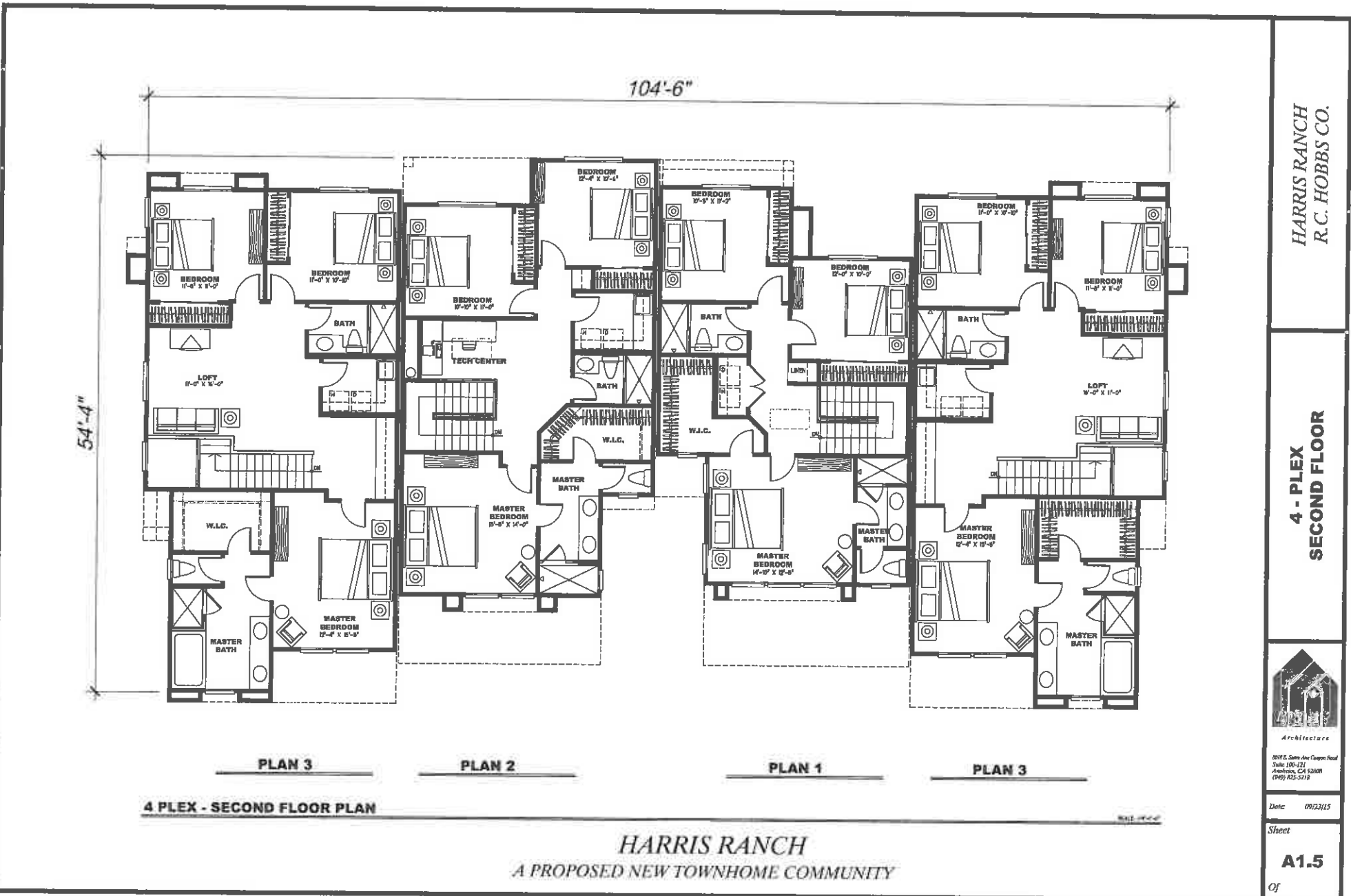
R.C. Hobbs Co. Architects  
201 E. Santa Ana Canyon Road  
Suite 100-121  
Anaheim, CA 92808  
(949) 432-1118

Date 09/23/15

Sheet

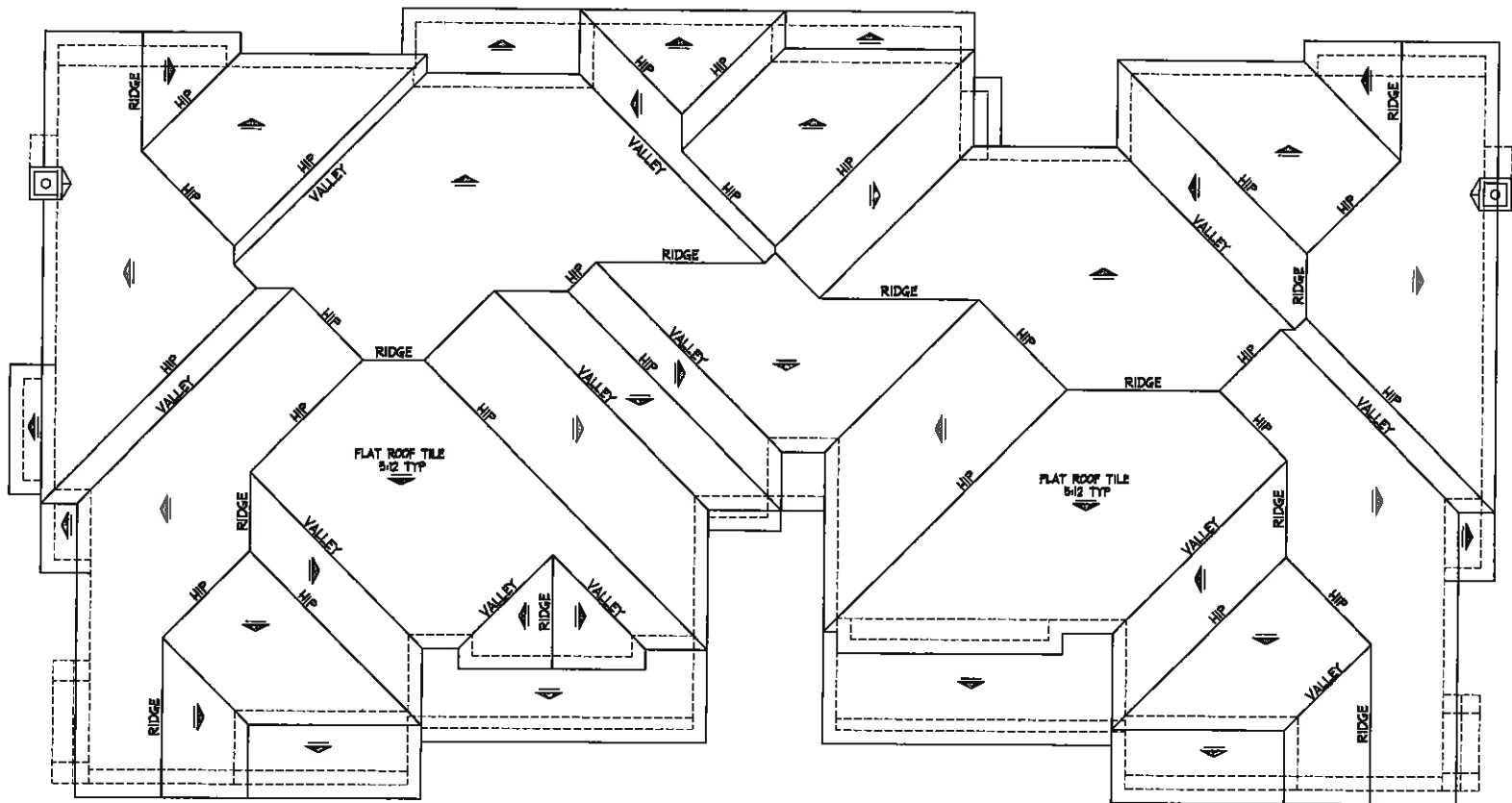
A1.5

Of



4 PLEX - SECOND FLOOR PLAN

HARRIS RANCH  
A PROPOSED NEW TOWNHOME COMMUNITY



**4 PLEX - ROOF PLAN**

SCALE: 1/4"=1'-0"

**HARRIS RANCH**  
 A PROPOSED NEW TOWNHOME COMMUNITY

HARRIS RANCH  
 R.C. HOBBS CO.

**4 - PLEX  
 ROOF PLAN**



Architecture

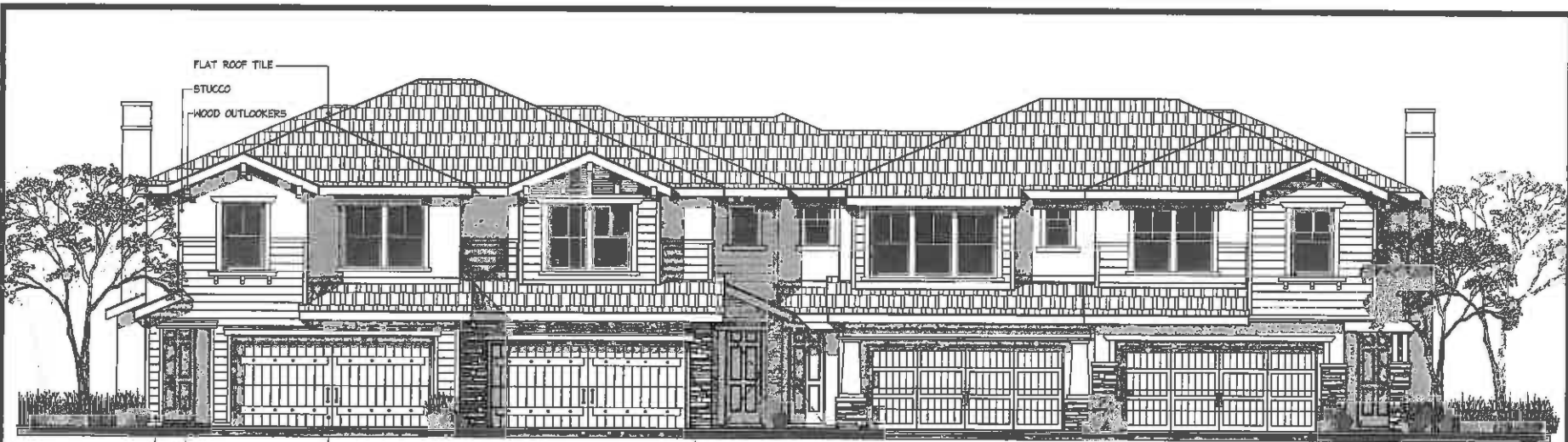
100 E. Santa Ana Canyon Road  
 Suite 100-121  
 Anaheim, CA 92808  
 (714) 932-5278

Date: 09/23/15

Sheet

**A1.6**

Of



**FRONT ELEVATION**

ENTRY DOOR  
LAP SIDING  
ROLL UP GARAGE DOOR

STONE VENEER

SCALE: 1/8"=1'-0"



**REAR ELEVATION**

SCALE: 1/8"=1'-0"

HARRIS RANCH  
R.C. HOBBS CO.

4 - PLEX  
FRONT & REAR ELEVATION



Architects  
2018 E. Santa Ana Canyon Road  
Suite 100-121  
Anaheim, CA 92801  
(714) 925-5218

Date: 09/23/15

Sheet

**A1.7**

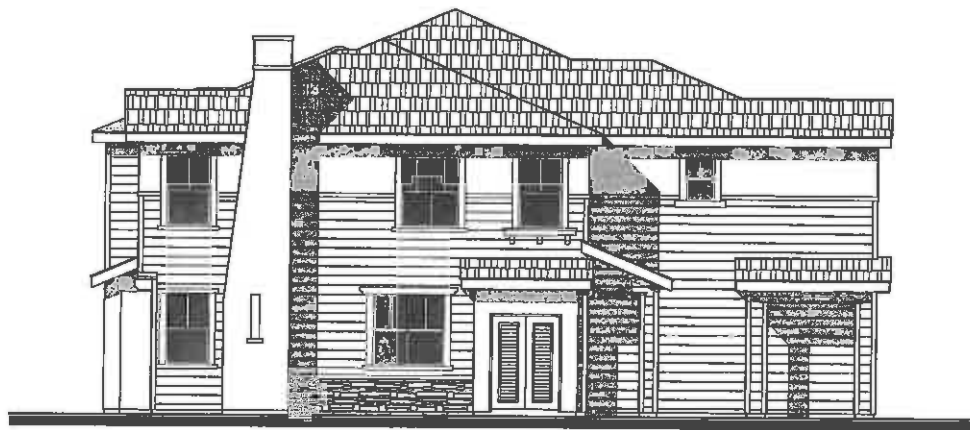
Of

**HARRIS RANCH**  
A PROPOSED NEW TOWNHOME COMMUNITY



**RIGHT ELEVATION**

SCALE: 1/4"=1'-0"



**LEFT ELEVATION**

SCALE: 1/4"=1'-0"

**HARRIS RANCH**  
 A PROPOSED NEW TOWNHOME COMMUNITY

HARRIS RANCH  
 R.C. HOBBS CO.

4 - PLEX  
 SIDE ELEVATIONS



Architecture

1011 E. Santa Ana Canyon Road  
 Suite 100-111  
 Anaheim, CA 92808  
 (714) 835-3218

Date: 09/23/15

Sheet

**A1.8**

Of



## RI. RIVERSIDE MUNICIPAL AIRPORT

### RI.1 Compatibility Map Delineation

- 1.1 *Airport Master Plan Status:* The most recent airport master plan was adopted by the City of Riverside in November 1999. The airport layout plan drawing was subsequently updated in January 2001.
- 1.2 *Airfield Configuration:* The *Airport Master Plan* proposes an easterly 750-foot extension of Runway 9-27. Establishment of a straight-in nonprecision instrument approach to Runway 27 also is contemplated. The compatibility map for Riverside Municipal Airport takes into account the traffic patterns associated with both the existing and future runway ends and approach types.
- 1.3 *Airport Activity:* For the purposes of the *Compatibility Plan*, the *Master Plan* forecasts have been extended to a level anticipated to have a time horizon of 20+ years. Specifically, a projection of 220,000 annual operations, almost double the current level, is assumed. Essentially all of this growth is expected to be in operations by turboprop aircraft, business jets, and helicopters; single-engine airplane activity is projected to remain roughly constant.
- 1.4 *Airport Influence Area:* The instrument approach route and typical extent of the airport traffic pattern define the of the airport influence area boundary for Riverside Municipal Airport. To the east and west, this boundary mostly coincides with the outer edge of the airport's FAR Part 77 conical surface. A westward extension encompasses locations where aircraft on a precision instrument approach are lower than 1,000 feet above the airport elevation.

### RI.2 Additional Compatibility Policies

- 2.1 *Noise Exposure in Residential Areas:* The limit of 60 dB CNEL set by Countywide Policy 4.1.4 as the maximum noise exposure considered normally acceptable for new residential land uses shall not be applied to the environs of Riverside Municipal Airport. For this airport, the criterion shall instead be 65 dB CNEL. This higher threshold recognizes that ambient noise conditions in the area are relatively high because of other major noise sources, particularly railroads and freeways. Dwellings may require incorporation of special noise level reduction measures into their design to ensure that the interior noise limit of 45 dB CNEL (Countywide Policy 4.1.6) is not exceeded.
- 2.2 *Zone B2 Building Height:* Notwithstanding the limitation of two aboveground habitable floors indicated in Table 2A of Chapter 2, any nonresidential building in Compatibility Zone B2 at Riverside Municipal Airport may have up to three aboveground habitable floors provided that no such building or attachments thereto shall penetrate the airspace protection surfaces defined for the airport in accordance with Federal Aviation Regulations Part 77.
- 2.3 *Zone D Residential Densities:* The criteria set forth in Countywide Policy 3.1.3(b) and the Basic Compatibility Criteria matrix (Table 2A) notwithstanding, the residential

density criteria for that portion of *Compatibility Zone D* at Riverside Municipal Airport lying within the boundary of the City of Riverside shall be as follows:

- (a) For all of the zone within the City of Riverside except west of Tyler Street, allow residential densities as low as 4.0 dwelling units per gross acre to the extent that such densities are typical of existing (as of the adoption date of this plan) residential development in nearby areas of the community. It is further noted that the intent of this policy and the high-density option for *Zone D* is not to encourage residential development densities higher than currently planned for the airport environs, only to enable the density of future development to be similar to what now is common in the area.
- (b) For the area within the City of Riverside west of Tyler Street—designated with a (1) on Map RI-1—no restrictions on residential densities shall apply.

2.4 *Expanded Buyer Awareness Measures:* In addition to the requirements for aviation easement dedication or deed notification as indicated in Table 2A, any new single-family or multi-family residential development proposed for construction anywhere within the Riverside Municipal Airport influence area, except for *Compatibility Zone E*, shall include the following measures intended to ensure that prospective buyers or renters are informed about the presence of aircraft overflights of the property.

- (a) During initial sales of properties within newly created subdivisions, large airport-related informational signs shall be installed and maintained by the developer. These signs shall be installed in conspicuous locations and shall clearly depict the proximity of the property to the airport and aircraft traffic patterns.
- (b) An informational brochure shall be provided to prospective buyers or renters showing the locations of aircraft flight patterns. The frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights shall be described (a large-scale illustration of Exhibit RI-7, *Compatibility Factors*, will suffice).

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Veterans Day (Wednesday, November 11) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: November 12, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1070RI15 – R. C. Hobbs Company (Representative: Jeff Moore) – City of Riverside  
Case Nos. P15-0862 (General Plan Amendment), P15-0863 (Rezoning), P15-0864 (Tentative Tract Map No. 36994), and P15-0865 (Major Site Plan Review). P15-0865 is a proposal to develop 36 residential dwelling units (attached townhomes) in ten buildings (8 with 4 units each and 2 with 2 units each), plus a restroom/storage structure and swimming pool, on 2.96 acres (to wit, Assessor's Parcel Number 227-150-025) located on the easterly/northeasterly side of Jefferson Street, northerly/northwesterly of its intersection with Willow Avenue in the City of Riverside. P15-0864 (Tentative Tract Map No. 36994) is a one-lot condominium map that would provide for the proposed structures, common areas, and private open space areas. P15-0862 is a proposal to amend the City of Riverside General Plan land use designation of the site from Public Facilities/Institutional (PF) to Medium High Density Residential (MHDR) (maximum 14.5 dwelling units per acre). P15-0863 is a proposal to rezone the site from Single Family Residential, 7,000 square foot minimum lot size (R-1-7000) to Multiple-Family Residential, 3,000 square foot minimum area per dwelling unit (R-3-3,000). The Commission may further recommend that the project site be rezoned to R-3-3,000-AP-D. (Multiple-Family Residential, 3,000 square foot minimum area per dwelling unit, Airport Protection Overlay Zone D). (Airport Compatibility Zone D of the Riverside Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Shonda Herold of the City of Riverside Planning Department, at (951) 826-5590.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAPI070RI15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application September 30, 2015  
 Property Owner Margaret P. Trimble Phone Number 909-597-9076  
 Mailing Address 15111 Pipeline Avenue, #178  
Chino Hills, CA 91709

Agent (if any) R.C. Hobbs Company, Inc. c/o Jeff Moore Phone Number 714-914-2505  
 Mailing Address 1110 E. Chapman Avenue, Suite 201  
Orange, CA 92866

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 4105 Jefferson Street, Riverside, CA 92504  
 Assessor's Parcel No. 227-130-025 Parcel Size 2.96 net acres  
 Subdivision Name Parcel Map 13124 Zoning R-1-7000 existing  
 Lot Number Parcel 3 Classification R-1-7000 existing

*Rov  
#D*

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Existing single-family residence with accessory uses including a barn, greenhouse, concrete irrigation pipes, fencing/walls and a debris pile. The site includes mature trees and ornamental vegetation.

Proposed Land Use (describe) 36 Single-family attached residential townhomes, a restroom/storage facility and pool. The site when developed will also include groundcover, shrubs, trees and parking fields.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 1 parcel and 36 dwelling units

For Other Land Uses Hours of Use \_\_\_\_\_

(See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_

Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 29 feet, 6 inches ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site 813 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe \_\_\_\_\_



REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	
Agency Name	City of Riverside Community Development Dept.
Staff Contact	
Phone Number	951-826-5371
Agency's Project No.	P15-0862 (GPA), P15-0863 (Rezoning), P15-0864 (Tr), P15-0865 (PP)
Type of Project	<input checked="" type="checkbox"/> General Plan Amendment <input checked="" type="checkbox"/> Zoning Amendment or Variance <input checked="" type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other Site Plan Review

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 ..... Completed Application Form
- 1 ..... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 ..... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 ..... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1 ..... Check for Fee (See Item "C" below)

- 1 ..... Completed Application Form
- 1 ..... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 ..... Elevations of Buildings - Folded
- 1 ..... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 ..... Check for review—See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.5

**HEARING DATE:** November 12, 2015

**CASE NUMBER:** ZAP1150MA15 – Trammell Crow So Cal Development, Inc.  
(Representative: Henry-Ann Company, Inc.)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** GPA01151 and GPA 01152 (General Plan Amendments), CZ07872 and CZ07873 (Changes of Zone), PP 25837 and PP25838 (Plot Plans)

**MAJOR ISSUES:** At the time of writing of this staff report, no proof of submittal to FAA Obstruction Evaluation Service for review of the buildings proposed by the Plot Plans has been provided to staff.

**RECOMMENDATION:** Staff recommends that the proposed General Plan Amendments and Changes of Zone be found CONSISTENT with the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. Staff recommends that consideration of the Plot Plans be CONTINUED to ALUC’s December 10, 2015 hearing to provide additional time for submittal to the FAA Obstruction Evaluation Service; however, if, prior to the November 12 hearing, proof of FAA submittal is provided and the submittal is in a “Work in Progress” status, staff will recommend that the Plot Plans be found CONDITIONALLY CONSISTENT, subject to the conditions included herein and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The applicant proposes development of two industrial (predominantly warehouse) buildings totaling 1,258,260 square feet, on 65.6 net (71.1 gross) acres. Plot Plan No. 25838 (Building D) proposes a total of 702,645 square feet gross floor area, including 15,000 square feet of office space and 10,000 square feet of second floor mezzanine. Plot Plan No. 25837 (Building E) proposes a total of 555,615 square feet gross floor area, including 15,000 square feet of office space and 10,000 square feet of second floor mezzanine.

GPA01151 proposes to amend the General Plan land use designation of 9.25 acres gross from Business Park (BP) to Light Industrial (LI) associated with the Building D site. GPA01152 proposes to amend the General Plan land use designation of 29.45 acres gross from Business Park (BP) to Light Industrial (LI) and 4.17 acres gross from Rural Community – Very Low Density Residential (RC-VLDR) to Light Industrial associated with the Building E site. CZ07872 proposes to change the zoning classification of 15.16 acres gross from Medium Manufacturing (M-M) to Industrial Park (I-

P) and 9.25 acres gross from Rural Residential (R-R) to Industrial Park (I-P) associated with the Building D site. CZ07873 proposes to change the zoning classification of 20.01 acres gross from Rural Residential ½ acre minimum (R-R-1/2) to Industrial Park (I-P) and 4.17 acres gross from Light Agriculture one-acre minimum (A-1-1) to Industrial Park (I-P) associated with the Building E site.

**PROJECT LOCATION:** The site is located southerly of Oleander Road, westerly of Harvill Avenue, and bisected by Decker Road, within the unincorporated community of Mead Valley, approximately 5,770 feet westerly of the southerly end of Runway 14-32 at March Air Reserve Base. Building D would be located east of Decker Road, and Building E would be located west of Decker Road.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C2
- c. Noise Levels: Less than 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C2. Zone C2 limits average intensity to 200 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed buildings in Compatibility Zone C2:

- Warehouse – 1 person per 1,428 square feet (35% of building code of 1 person per 500 square feet)
- Office – 1 person per 200 square feet (with 50% reduction)

Building D would include a total of 677,645 square feet of warehouse area, 15,000 square feet of first floor office space, and 10,000 square feet of second floor mezzanine (assumed as office space) for a total occupancy of 600 people. Building E would include a total of 530,615 square feet of warehouse area, 15,000 square feet of first floor office space, and 10,000 square feet of second floor mezzanine (assumed as office space) for a total occupancy of 497 people. This total occupancy with the site area of 34.5 acres for Building D and 31.1 acres for Building E results in an average intensity of 17 people per acre and 16 people per acre, respectively, which are consistent with the Zone C2 average acre criterion of 200.

Although the planned warehouse is designed and anticipated to be used as high-cube warehouse, if

the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4 (50% of 1 person per 500 square feet), Building D would total 803 people and Building E would total 656 people. Based on the 34.5 acres for Building D and 31.1 acres for Building E, this results in an average intensity of 23 people per acre and 21 people per acre, respectively which are also compatible with the Zone C2 average acre criterion of 200.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces provided of 320 and truck dock spaces of 109 and trailer spaces of 258, the total occupancy would be estimated at 847 people for Building D. This total occupancy within the 34.5 acre area results in an average intensity of 25 people per acre, which is also consistent with the Zone C2 average acre criterion of 200. Based on the number of standard parking spaces provided of 188 and truck dock spaces of 102 and trailer spaces of 191, the total occupancy would be estimated at 575 people for Building E. This total occupancy within the 31.1 acre area results in an average intensity of 18 people per acre, which is also consistent with the Zone C2 average acre criterion of 200.

Even if the entire buildings were utilized as office (with the 50 percent reduction) or manufacturing (at 1 person per 200 square feet), the average acre intensity would not exceed 102 persons for either building, which is consistent with the average intensity limit of 200 persons.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C2 limits maximum single-acre intensity to 500 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area for either building would consist of 15,000 square feet of first floor office area, 10,000 square feet of second floor mezzanine/office area, and 28,560 square feet of warehouse area. This would result in a single-acre occupancy of 145, which would be consistent with the Zone C2 single-acre criterion of 500.

If the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the maximum single-acre area of 15,000 square feet of ground floor office area, 10,000 square feet mezzanine/office, and 28,560 square feet as fulfillment center would total 154 people, which would also be consistent with the Zone C2 single-acre criterion.

Even if the entire buildings were utilized as office (with the 50 percent reduction) or manufacturing (at 1 person per 200 square feet), the single-acre intensity would not exceed 268 persons, which is consistent with the single-acre intensity limit of 500 persons.



Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C2.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area below 60 CNEL range from aircraft noise. Therefore, the project would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1488 AMSL). At a distance of approximately 5,770 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1545.7 feet AMSL. The maximum finished floor elevation for Building D is 1583.65 feet above mean sea level and the maximum finished floor elevation for Building E is 1624.12 feet AMSL. With a maximum building height of 44 feet for both buildings, the top point elevation could exceed 1627.65 feet AMSL for Building D and 1668.12 feet AMSL for Building E. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service was required for both buildings. At the time of writing of this staff report, no evidence of submittal to FAA has been provided.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

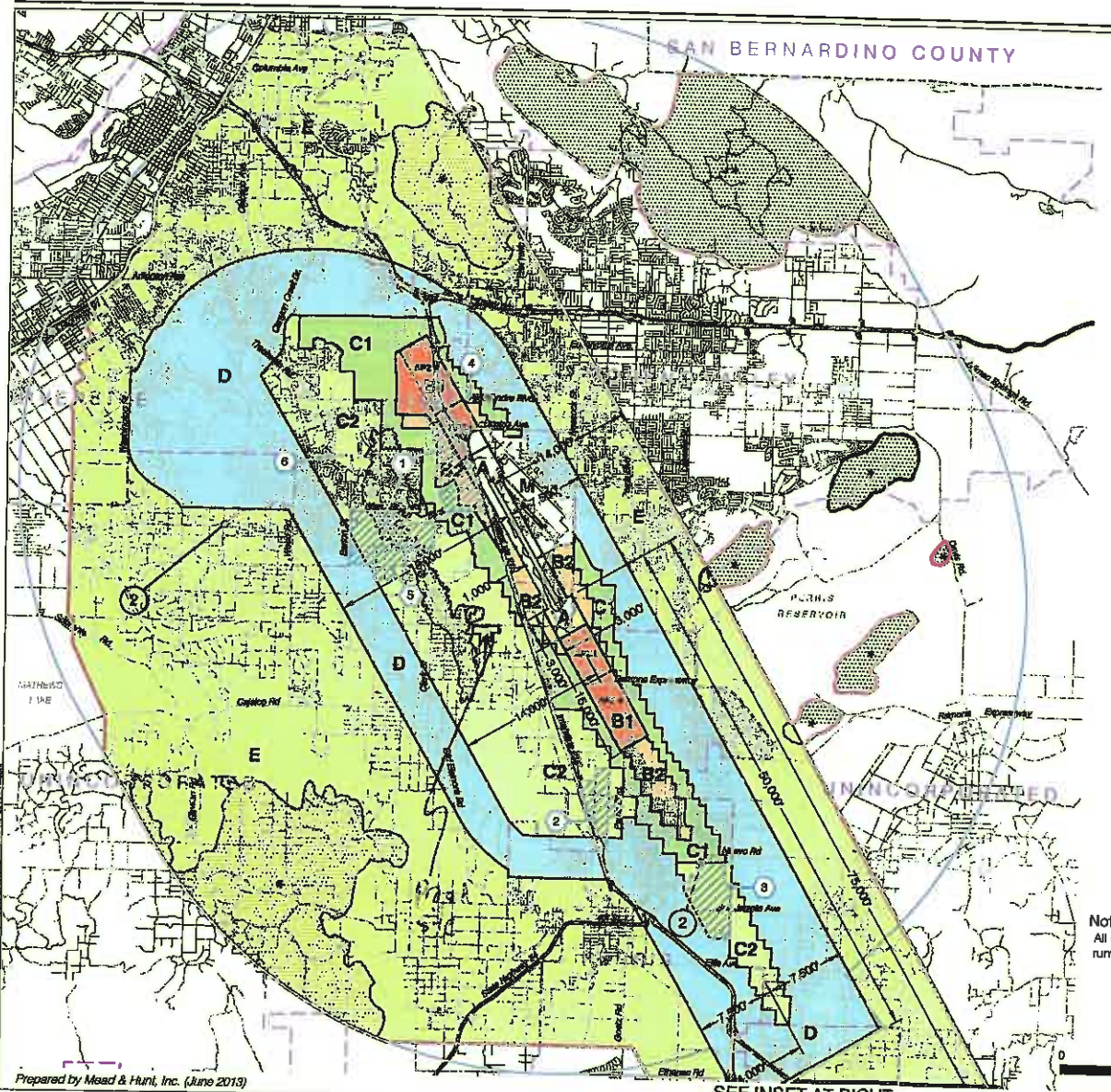
**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Mead Valley Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings, and shall be recorded as a deed notice.
- 4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
- 5. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; and incinerators.
- 6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 7. Prior to issuance of building permits for proposed Buildings D and E, the applicant shall have received a "Determination of No Hazard to Air Navigation" from the Federal Aviation Administration Obstruction Evaluation Service.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits

**Site-Specific Exceptions (existing local agency commitments to development projects)**

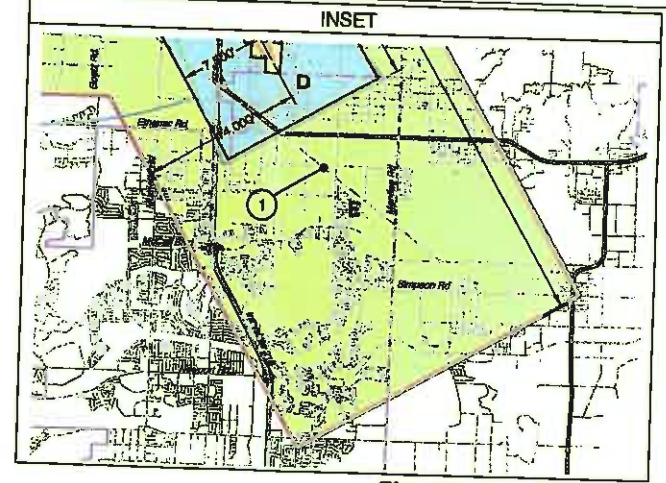
- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Bon Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

**Other Symbols**

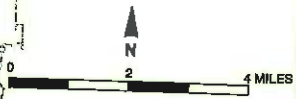
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Callouts**

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.



Note:  
All dimensions are measured from runway ends and centerlines.



Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

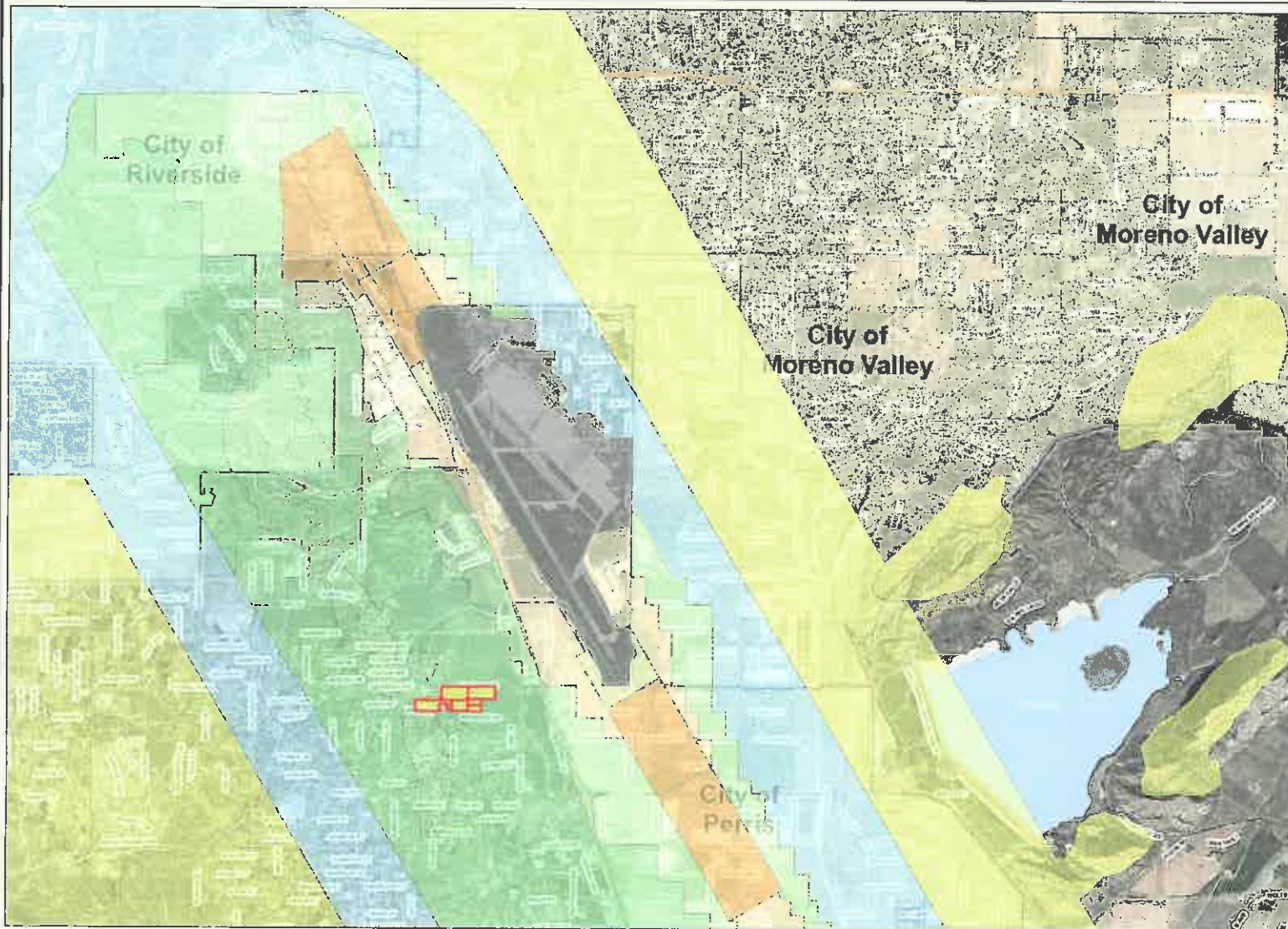
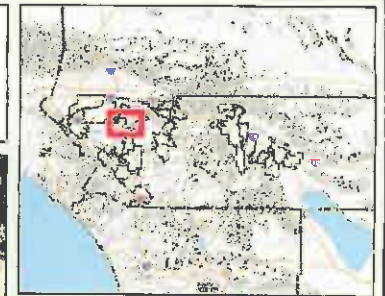
**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**





























# My Map



## Legend

### Airport Compatibility

-  OTHER\_ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT
-  C2-HIGHT-EXC1
-  C2-HIGHT-EXC5



0 9,152 18,305 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

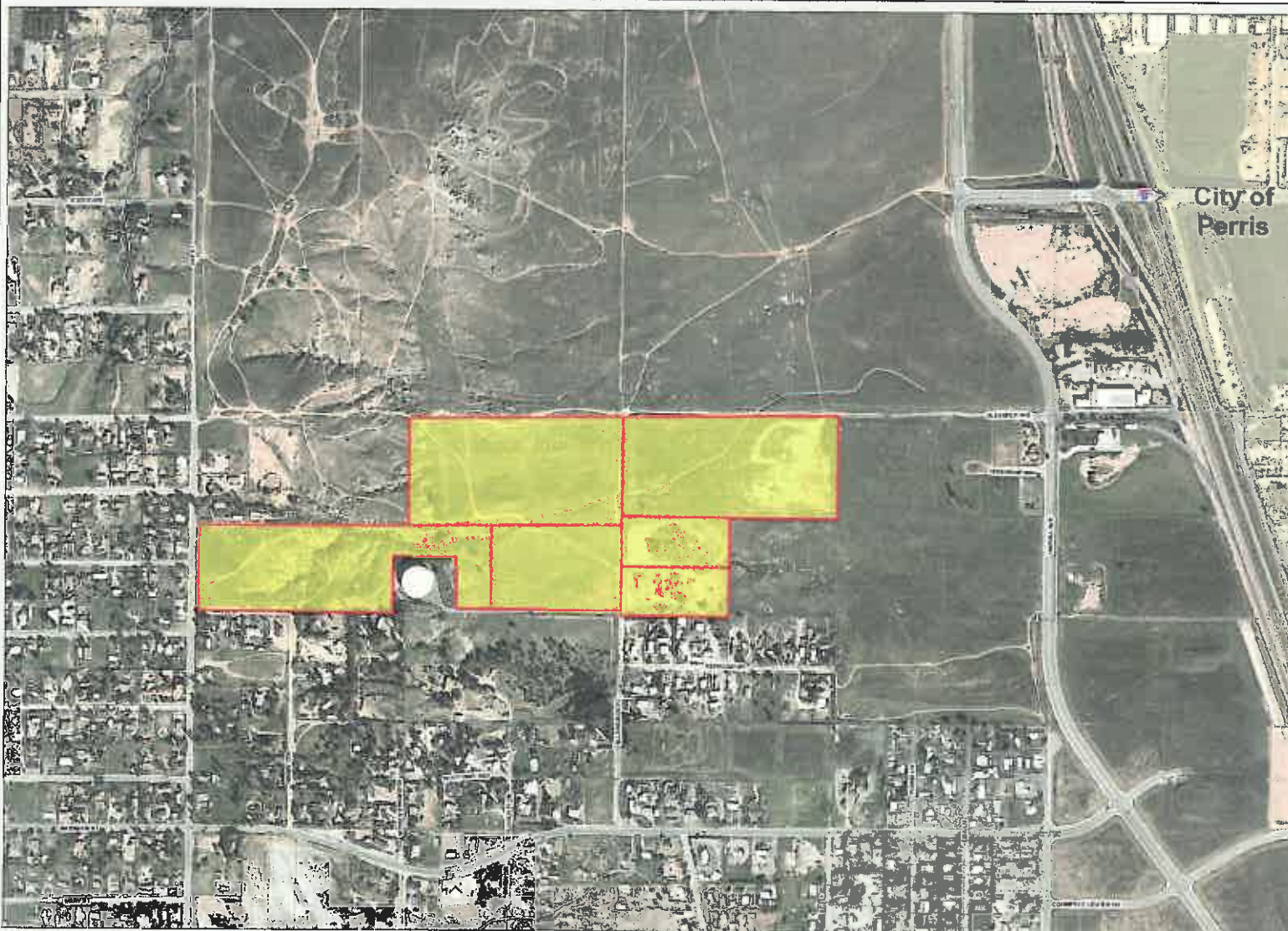
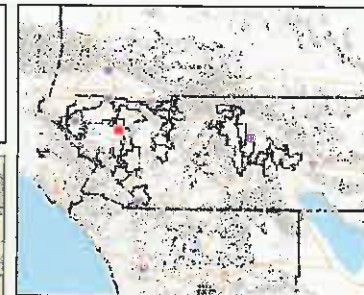
REPORT PRINTED ON... 9/22/2015 12:59:09 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,144 2,288 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

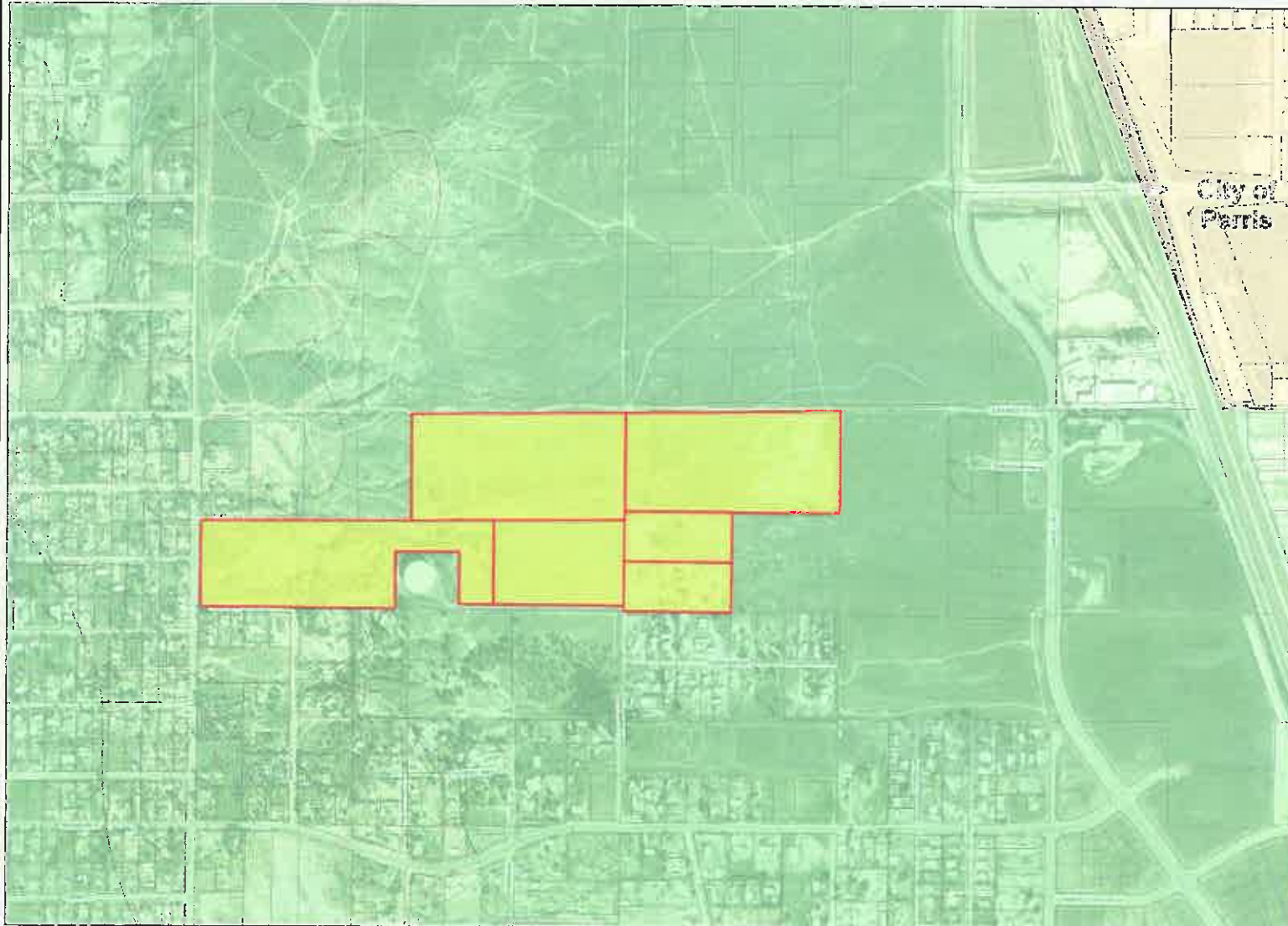
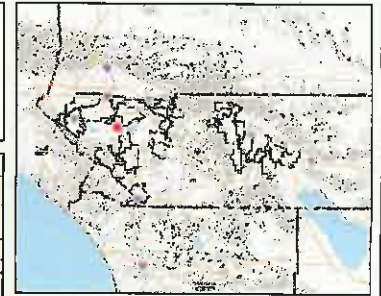
REPORT PRINTED ON... 9/22/2015 12:57:12 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



0 1,144 2,288 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

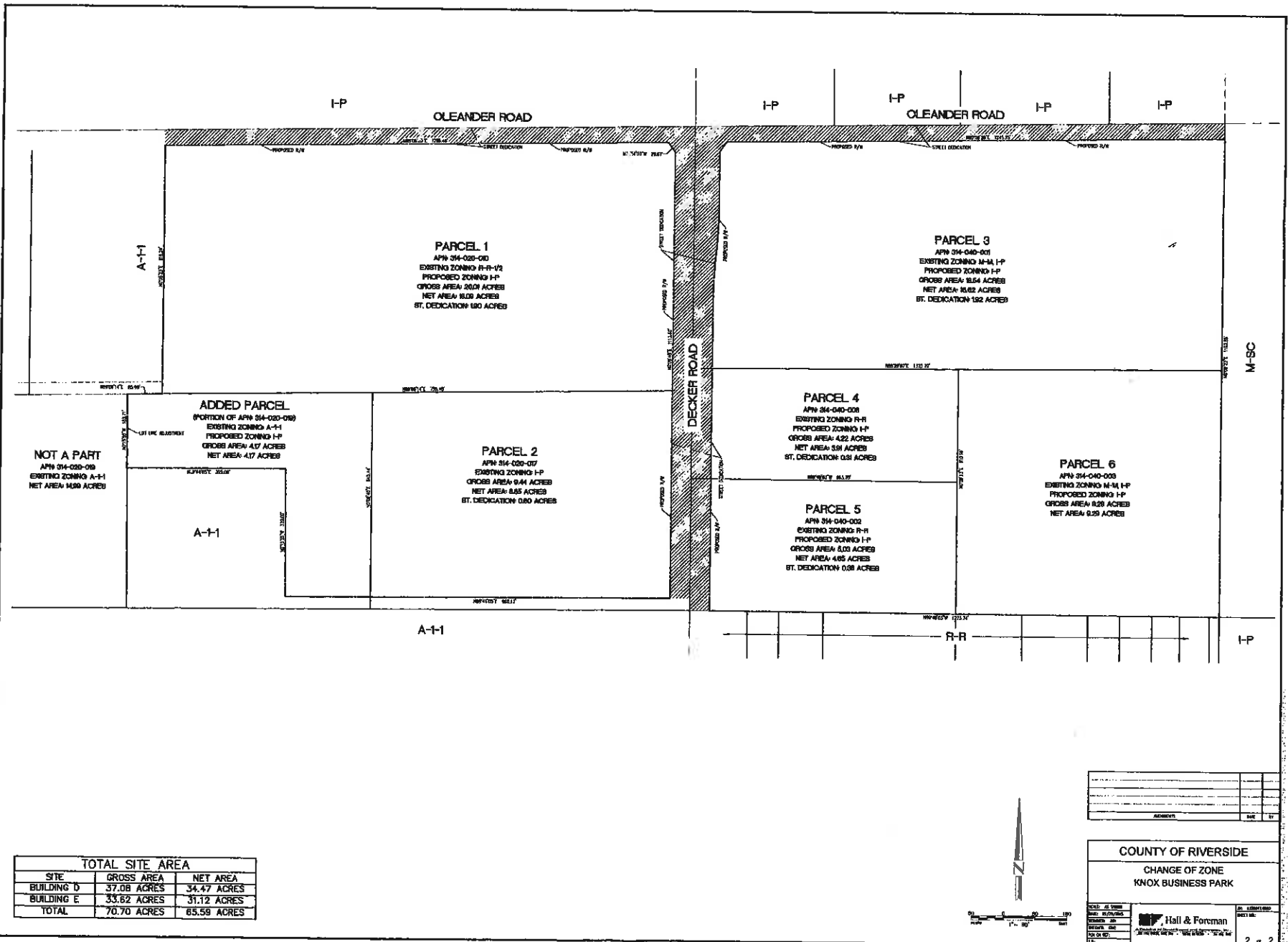
REPORT PRINTED ON... 9/22/2015 12:57:58 PM

© Riverside County TLMA GIS

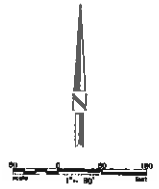
## Notes







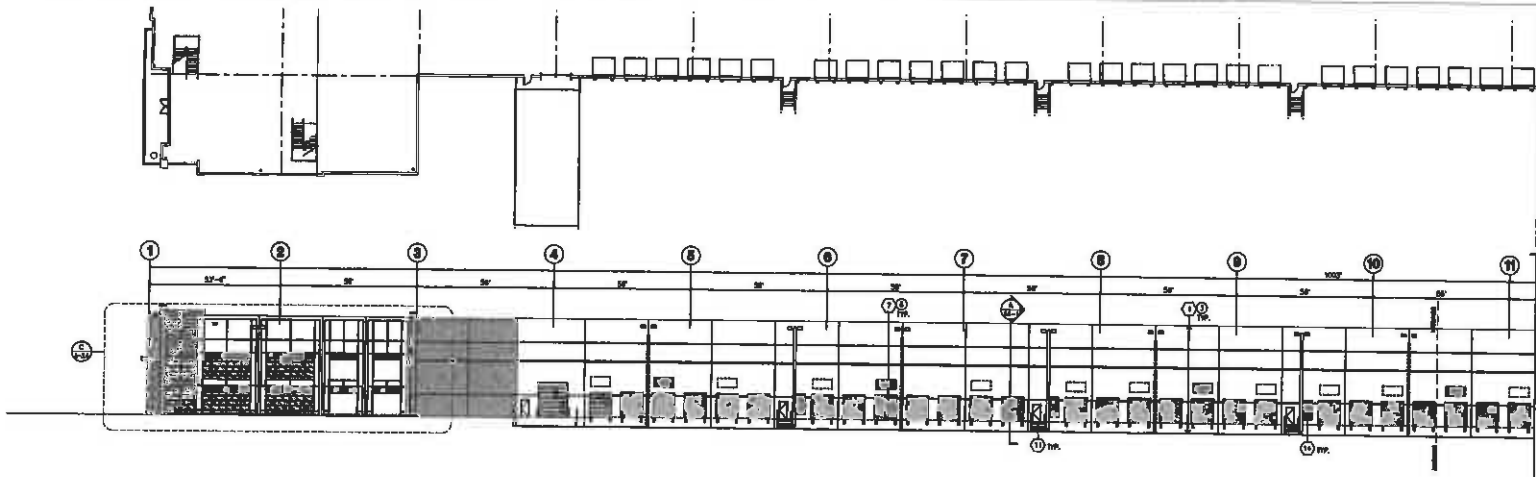
TOTAL SITE AREA		
SITE	GROSS AREA	NET AREA
BUILDING D	37.08 ACRES	34.47 ACRES
BUILDING E	33.62 ACRES	31.12 ACRES
<b>TOTAL</b>	<b>70.70 ACRES</b>	<b>65.59 ACRES</b>



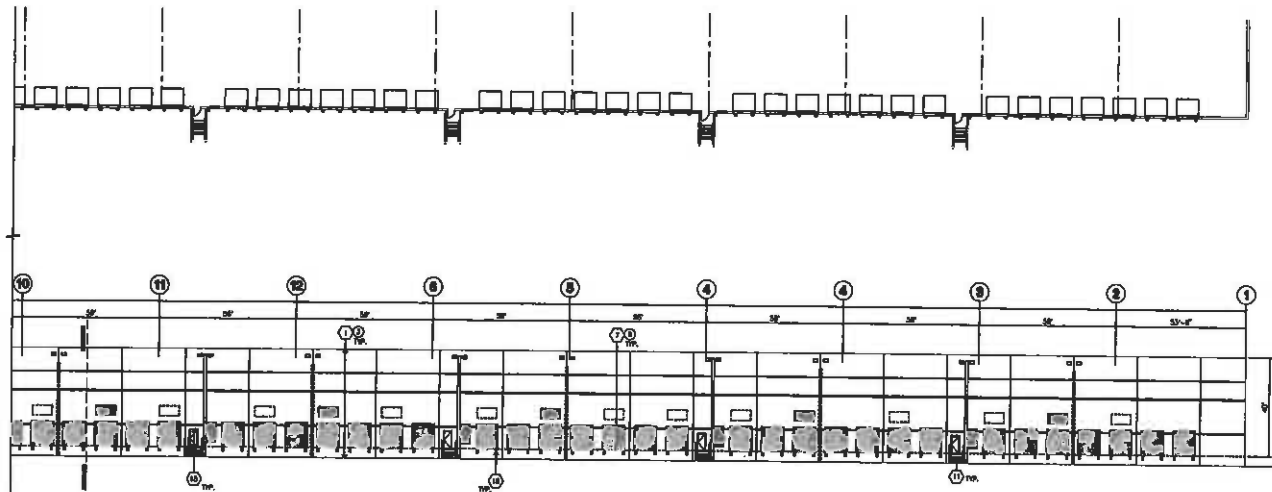
COUNTY OF RIVERSIDE	
CHANGE OF ZONE	
KNOX BUSINESS PARK	
PREPARED BY: DATE: DRAWN BY: CHECKED BY: DATE:	HALL & FOREMAN ENGINEERS, ARCHITECTS, AND PLANNERS 1000 N. GARDEN ST., SUITE 200 RIVERSIDE, CA 92507 TEL: (951) 514-1100 FAX: (951) 514-1101 WWW.HALLANDFOREMAN.COM







WEST ELEVATION A  
DATE: 11-19-07



WEST ELEVATION B  
DATE: 11-19-07

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 2 PANEL JOINT.
- 3 PANEL FINISH. ALL BEADLES TO HAVE A MAX. OF 1/8" CHAMFER. BEADLE COLOR TO MATCH ADJACENT BEADLE. BEADLE SHALL BE 1/8" MIN. OVER THE BEADLE. BEADLE SHALL BE 1/8" MIN. OVER THE BEADLE. BEADLE SHALL BE 1/8" MIN. OVER THE BEADLE.
- 4 EXPOSED CONCRETE. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 5 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 6 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 7 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 8 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 9 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 10 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 11 CONCRETE TILT-UP PANELS, SEE "C" SCHEDULE FROM DRAWING SHEET "C" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.

- 12 WALLING METAL DOORS, SEE "D" SCHEDULE FROM DRAWING SHEET "D" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 13 WALLING METAL DOORS, SEE "D" SCHEDULE FROM DRAWING SHEET "D" DIMENSIONS. UNLESS OTHERWISE NOTED, FINISH SHALL BE EXPOSED CONCRETE. ALL WEIRD SPOTS SHALL BE PATCHED TO MATCH ADJACENT FINISH. PATCH TO BE 2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT. PATCH TO BE 1/2" MIN. OVER THE WEIRD SPOT.
- 14 METAL CHIMNEY.
- 15 METAL CHIMNEY.
- 16 WOOD SHIMMER.

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHOICES TO OCCUR AT WHITE CORNER UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. TYP. CL. - TOP OF FINISH ELEVATION.
- D. TYP. - FINISH FROM DRAWING.
- E. CONTRACTOR SHALL VERIFY ALL METAL FINISHES AND LABELS SHALL BE CHECKED TO MATCH ALL DIMENSIONS OF PANELS. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT.
- F. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT. CONTRACTOR SHALL VERIFY THAT ALL DIMENSIONS ARE CORRECT.
- G. BACK SIDE OF FINISHES TO HAVE SMOOTH FINISH AND BE FINISHED WITH SUBSTRATE PANEL.
- H. FOR SPANNING GLAZING, ALLOW SPACE BEHIND SPANNERS TO BREATHE.
- I. USE FINISHES FROM DRAWING UNLESS NOTED OTHERWISE.
- J. THE FIRST COAT OF PAINT TO BE APPLIED ON AND THE SECOND COAT TO BE SPANNED-ON.

COLOR SCHED - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL. PART BRN. COLOR: BROWN BELLISSIMO BRN. FINISH: FLAT.
- 2 CONCRETE TILT-UP PANEL. PART BRN. COLOR: BRN. FINISH: FLAT.
- 3 CONCRETE TILT-UP PANEL. PART BRN. COLOR: BRN. FINISH: FLAT.
- 4 CONCRETE TILT-UP PANEL. PART BRN. COLOR: BRN. FINISH: FLAT.
- 5 CONCRETE TILT-UP PANEL. PART BRN. COLOR: BRN. FINISH: FLAT.
- 6 METAL CHIMNEY. PART BRN. COLOR: BRN. FINISH: FLAT.
- 7 GLAZING. COLOR: BRN. FINISH: FLAT.
- 8 DOORS. PART BRN. COLOR: BRN. FINISH: FLAT.
- 9 WALLING. PART BRN. COLOR: BRN. FINISH: FLAT.
- 10 METAL CHIMNEY. PART BRN. COLOR: BRN. FINISH: FLAT.

GLAZING LEGEND

CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL
CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL
CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL
CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL	CONCRETE TILT-UP PANEL

**HPA**  
ARCHITECTURE

Apex, Inc.  
10000 Lakeside Drive, Suite 100  
Apex, NC 27502  
Tel: 919-480-1770  
Fax: 919-480-6877  
www.hpaarchitect.com

Owner:  
**TRAMMELL CROW COMPANY**

3001 Ashburn Road, Suite 200  
Raleigh, North Carolina 27605  
Tel: 919-477-4701  
Fax: 919-477-4407

Project:  
**KNOX BUSINESS PARK**

Building D  
County of Alamogordo, CA

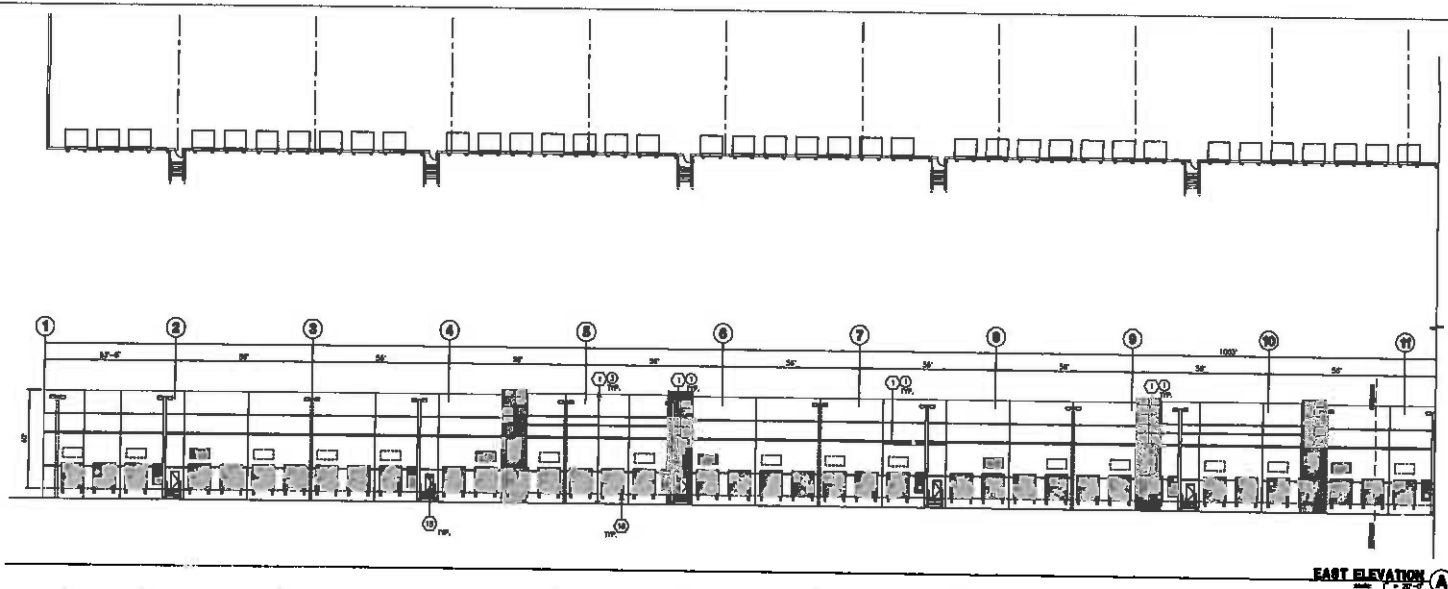
Consultants:  
WILL E. FORBANE, INC.  
CIVIL  
MECHANICAL  
ELECTRICAL  
LANDSCAPE ARCHITECTURE  
ARCHITECTURE  
INTERIORS

Sheet:  
ELEVATIONS

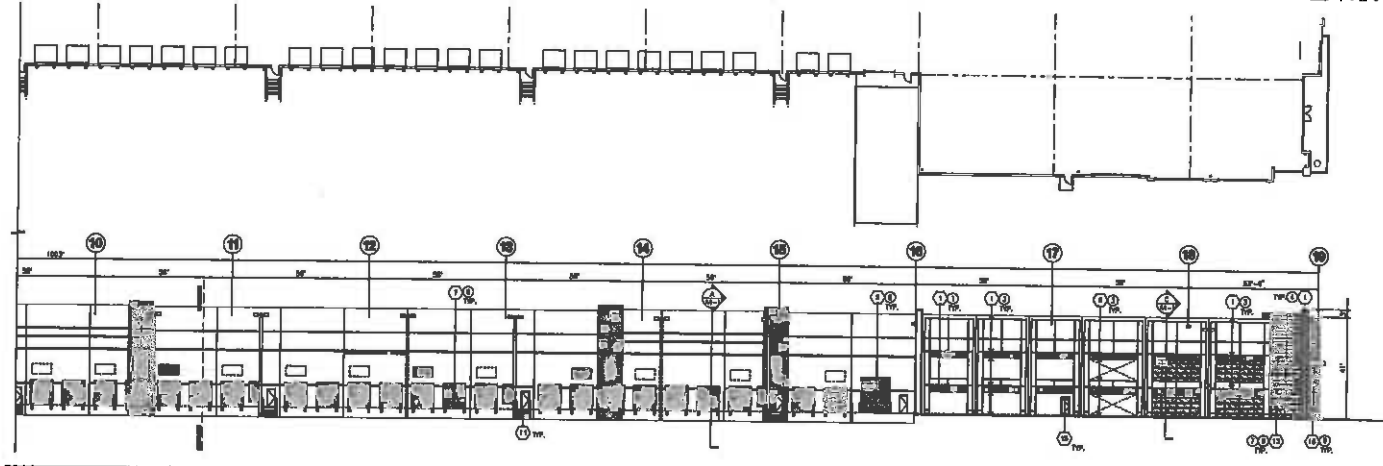
Project Number: 1410  
Client: K.C.  
Date: 04/14/04

D-DAB-3.1





**EAST ELEVATION** A



**EAST ELEVATION CONT.** B

**KEYNOTES - ELEVATIONS**

- 1. CONCRETE TILT-UP PANELS, SEE "C" DIMENSIONS. FINISH COLOR TO MATCH "C" DIMENSIONS. FINISH ALL SURFACES WITH SMOOTH, POLISHED, GLOSSY FINISH. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 2. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 3. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 4. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 5. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 6. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 7. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 8. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 9. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 10. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 11. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 12. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 13. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 14. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 15. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.
- 16. FINISH COLOR TO MATCH BUILDING COLOR. UNLESS NOTED OTHERWISE.

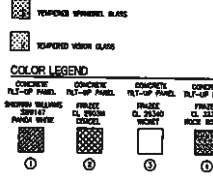
**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLORS CHANGES TO OCCUR AT NODE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. TAP, S.L. = TOP OF FINISHED ELEVATION.
- D. T.F. = FINISH FLOOR ELEVATION.
- E. FINISHING CONTRACTORS SHALL VERIFY DIMENSIONS AND LABELS SHALL BE CHECKED TO BE CORRECT. ALL DIMENSIONS TO BE CHECKED AT THE TIME OF FINISHING. CONTRACTOR SHALL VERIFY DIMENSIONS PRIOR TO INSTALLATION.
- F. CONSTRUCTION SHALL KEEP ONE COPY OF THIS DRAWING AND RELATED COPIES. CONTRACTOR SHALL APPROVE PRIOR TO FINISHING OPERATIONS OF ELEVATION.
- G. BACK SIDE OF PANELS TO BE SMOOTH FINISH AND BE FINISHED WITH FINISHING FINE.
- H. FOR SPINDLED GLAZING, ALLOW SPACER BOUNDS SPINDLES TO SPREAD. A LINE SPINDLE BOUND SPACER FOR ALL SPINDLED PANELS.
- I. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHED. - ELEVATIONS**

- 1. CONCRETE TILT-UP PANEL. PAINT BRAND: SHERWIN WILLIAMS 899147. FINISH: POLYURETHANE. COLOR: POLYURETHANE. MATCH: POLYURETHANE. MATCH: POLYURETHANE.
- 2. CONCRETE TILT-UP PANEL. PAINT BRAND: PRINCE OF WALES. FINISH: POLYURETHANE. COLOR: POLYURETHANE. MATCH: POLYURETHANE.
- 3. CONCRETE TILT-UP PANEL. PAINT BRAND: PRINCE OF WALES. FINISH: POLYURETHANE. COLOR: POLYURETHANE. MATCH: POLYURETHANE.
- 4. CONCRETE TILT-UP PANEL. PAINT BRAND: PRINCE OF WALES. FINISH: POLYURETHANE. COLOR: POLYURETHANE. MATCH: POLYURETHANE.
- 5. NOT USED.
- 6. GLAZING.
- 7. GLAZING.
- 8. GLAZING.
- 9. GLAZING.
- 10. GLAZING.
- 11. GLAZING.
- 12. GLAZING.
- 13. GLAZING.
- 14. GLAZING.
- 15. GLAZING.
- 16. GLAZING.
- 17. GLAZING.
- 18. GLAZING.
- 19. GLAZING.
- 20. GLAZING.

**GLAZING LEGEND**



**HPA**  
ARCHITECTURE

Apex, Inc.  
10001 Latham Avenue, - 4th. #100  
Dallas, TX 75243  
Tel: 972-432-1770  
Fax: 972-432-0897  
www.hpaapex.com

**Owner:**  
TRAMMELL CROW  
COMPANY

2001 Jamboree Road, Suite 200  
Houston, Texas, 77058  
Tel: (281) 477-4771  
Fax: (281) 477-8167

**Project:**  
KNOX  
BUSINESS  
PARK

**Building D**

County of Tarrant, TX

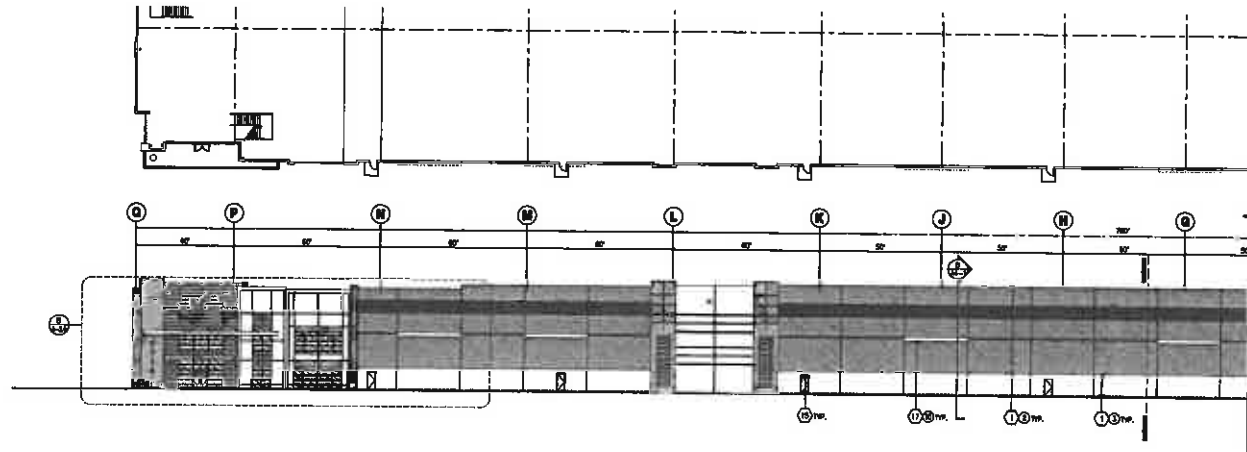
**Consultants:**

CIVIL: HILL & FORMAN, INC.  
STRUCTURAL: MCKINSTRON  
PLUMBING: ELECTRO  
LANDSCAPE: MANTER LANDSCAPE  
MECHANICAL: BOURBON

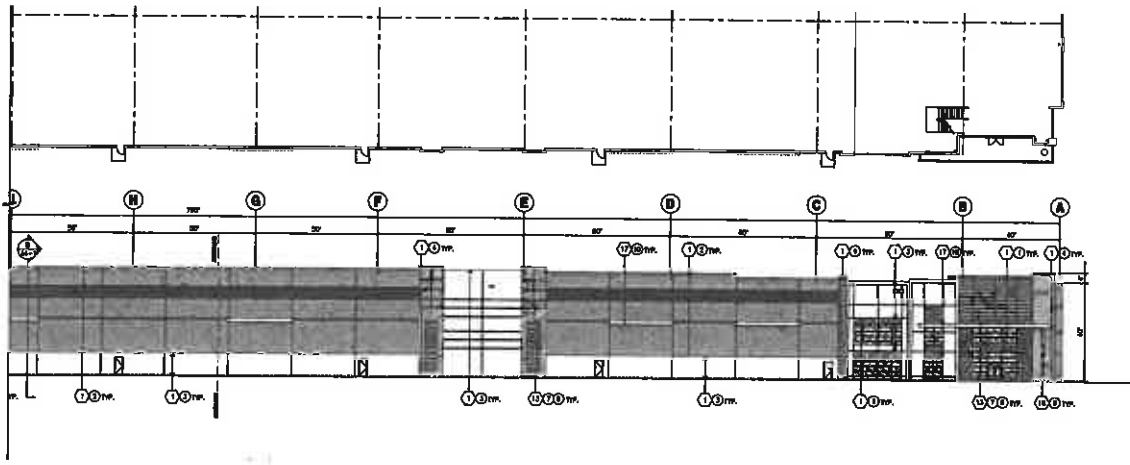
Title: ELEVATIONS

Project Number: 14488  
Drawn by: B.V.  
Date: 08/14/14  
Revision:

Sheet: D-DAB-3.2



**NORTH ELEVATION** A



**NORTH ELEVATION CONT.** B

**KEYNOTES - ELEVATIONS**

- 1. CONCRETE TILT-UP PANELS/PIERS: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 2. PANEL Joints
- 3. PANEL FINISH: ALL FINISHES TO HAVE A MIN. OF 1/8" CHAMFER. FINISH COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. UNLESS NOTED.
- 4. METAL CLADDING
- 5. CONCRETE CORNER & EDGE FINISH: THE CORNER FINISH SHALL BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH TO MATCH EXISTING.
- 6. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 7. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 8. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 9. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 10. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 11. ALL FINISHES TO MATCH EXISTING BUILDING FIELD COLOR. UNLESS NOTED.
- 12. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 13. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.

- 14. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 15. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 16. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 17. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 18. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 19. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- 20. METAL CLADDING: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.

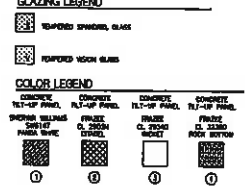
**GENERAL NOTES - ELEVATIONS**

- A. ALL FINISH COLORS CHANGES TO OCCUR AT SPAC CONCRETE UNLESS NOTED OTHERWISE.
- B. ALL FINISH FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. TILT UP FINISH TO MATCH EXISTING.
- D. 1/2" OF FINISH FLOOR FINISHING.
- E. CONSTRUCTION OF CONCRETE CORNER & EDGE FINISH SHALL BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH TO MATCH EXISTING.
- F. CONCRETE CORNER & EDGE FINISH: SEE "S" SCHEDULE. FINISH SHALL BE SMOOTH AND FINISHED TO THE BOTTOM OF THE TILT UP PANELS TO BE FINISHED WITH PRECASTER BOARD AND A MIN. 1/2" OF FINISH. FINISH TYPICAL BRUSH AT BOTTOM AND TOP TO GIVE A FINISH TO MATCH EXISTING.
- G. BACK SIDE OF FINISHES TO HAVE SMOOTH FINISH AND BE FINISHED WITH EXISTING FINISH.
- H. FOR SPANNING GLAZING, ALLOW SPAN BEHIND FINISHES TO BE FINISHED WITH EXISTING FINISH.
- I. USE FINISHES TO MATCH EXISTING BUILDING FIELD COLOR. UNLESS NOTED OTHERWISE.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

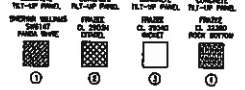
**COLOR SCHED. - ELEVATIONS**

- 1. CONCRETE TILT-UP PANEL: FINISH BRAND: BENTON BRILLIANT SW147 PEARL SHEEN
- 2. CONCRETE TILT-UP PANEL: FINISH BRAND: FINISH CO. 20340 EGGSHELL
- 3. CONCRETE TILT-UP PANEL: FINISH BRAND: FINISH CO. 20340 EGGSHELL
- 4. CONCRETE TILT-UP PANEL: FINISH BRAND: FINISH CO. 20340 EGGSHELL
- 5. METAL CLADDING: FINISH BRAND: CLEAR ANTI-REFLECT
- 6. GLAZING: FINISH BRAND: BENTON BRILLIANT SW147 PEARL SHEEN
- 7. GLAZING: FINISH BRAND: BENTON BRILLIANT SW147 PEARL SHEEN
- 8. GLAZING: FINISH BRAND: FINISHES-PRESCOR CORING SLIDER MIT 2750
- 9. METAL CLADDING: FINISH BRAND: ALUMINUM

**GLAZING LEGEND**



**COLOR LEGEND**



**HPA**  
 ARCHITECTS  
 1001 S. 10th St.  
 Phoenix, AZ 85012  
 Tel: 602-251-1770  
 Fax: 602-251-1888  
 www.hpaarchitects.com



**Owner:**  
 TRAMMELL CROW COMPANY

2001 American Road, Suite 200  
 Newport Beach, California 92660  
 Tel: (949) 471-0291  
 Fax: (949) 471-0407

**Project:**  
 KNOX BUSINESS PARK

**Building D**  
 County of Riverside, CA

**Consultants:**  
 CIVIL: WELLS FORD, INC.  
 STRUCTURAL: HENNINGSEN  
 PLUMBING: HENNINGSEN  
 ELECTRICAL: HENNINGSEN  
 LANDSCAPE: HENNINGSEN  
 MECHANICAL: HENNINGSEN

Sheet: \_\_\_\_\_

Project Number: \_\_\_\_\_

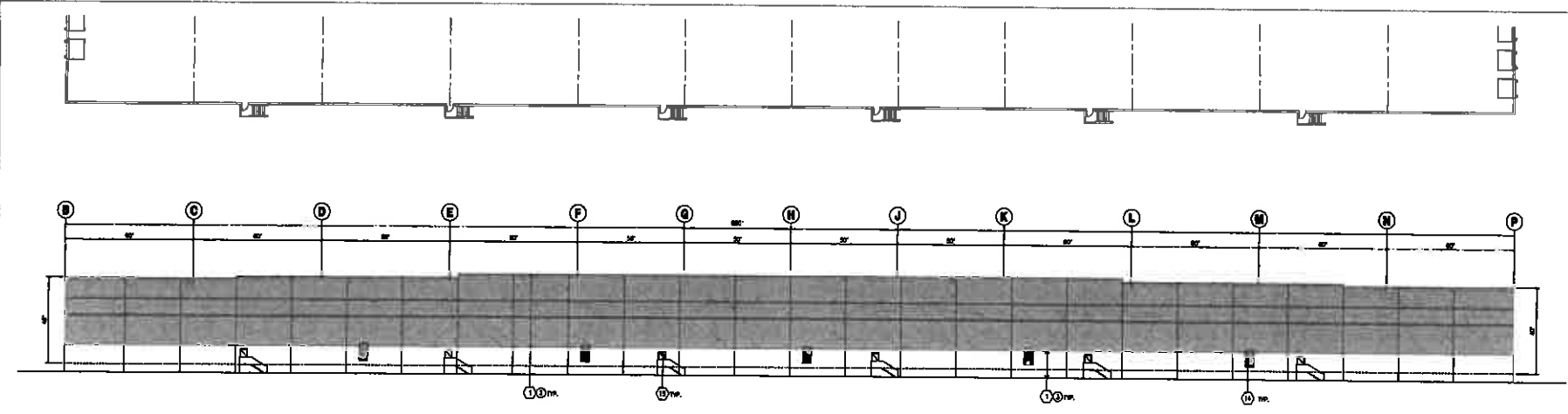
Date: \_\_\_\_\_

Drawn by: \_\_\_\_\_

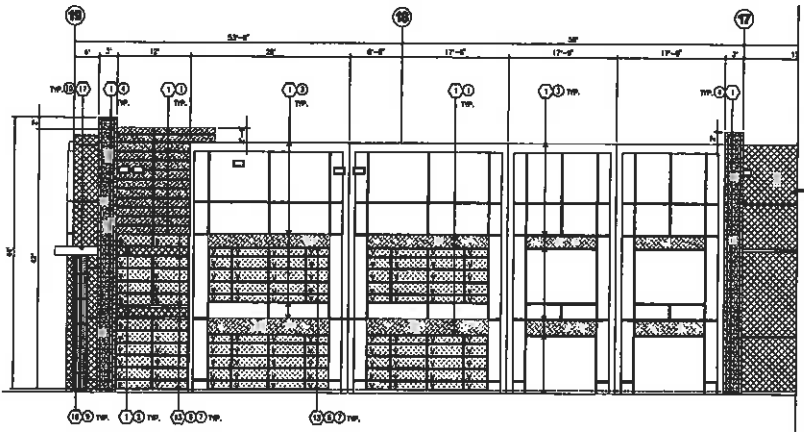
Checked by: \_\_\_\_\_

Scale: \_\_\_\_\_

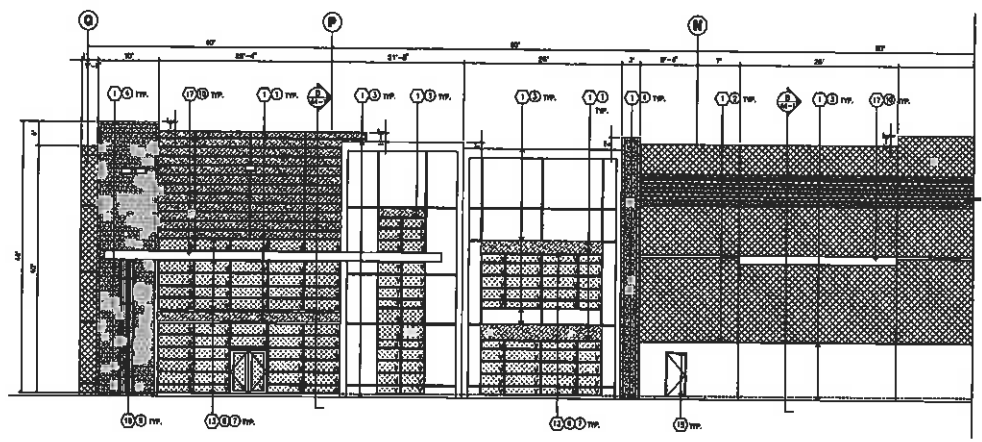
D-DAB-3.3



**SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**ENLARGED WEST ELEVATION**  
Scale: 1/4" = 1'-0"



**ENLARGED NORTH ELEVATION**  
Scale: 1/4" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1) CONCRETE TILT-UP PANELS/FRAMES: SEE "IF" SPECIFICATIONS FROM THESE DRAWINGS FOR DETAILS. UNLESS OTHERWISE NOTED, ALL WALLS BEARING LOADS TO BE CONCRETE OR BRICK. UNLESS OTHERWISE NOTED, ALL WALLS BEARING LOADS TO BE CONCRETE OR BRICK. UNLESS OTHERWISE NOTED, ALL WALLS BEARING LOADS TO BE CONCRETE OR BRICK. UNLESS OTHERWISE NOTED, ALL WALLS BEARING LOADS TO BE CONCRETE OR BRICK.
- 2) METAL PANELS: ALL METALS TO HAVE A MAX. OF 1/16" CLEARANCE FROM OTHER MATERIALS. ALL METALS TO BE GALVANNEAL STEEL UNLESS OTHERWISE NOTED.
- 3) METAL PANELS: ALL METALS TO HAVE A MAX. OF 1/16" CLEARANCE FROM OTHER MATERIALS. ALL METALS TO BE GALVANNEAL STEEL UNLESS OTHERWISE NOTED.
- 4) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 5) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 6) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 7) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 8) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 9) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 10) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 11) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 12) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 13) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 14) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 15) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 16) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 17) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 18) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 19) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.
- 20) CONCRETE TILT-UP PANELS: ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE. ALL CONCRETE TILT-UP PANELS TO BE CAST IN PLACE.

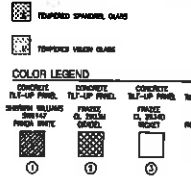
**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLORS CHANGED TO COLOR AT SPEC. CONCRETE UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. ELEV. CL. = TOP OF FINISHED ELEVATION.
- D. P.F. = FINISH FLOOR ELEVATION.
- E. UNLESS OTHERWISE NOTED, ALL WALLS, CEILING AND FLOORS TO BE CONCRETE UNLESS OTHERWISE NOTED.
- F. CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- G. ALL CONCRETE SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- H. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- I. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- J. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- K. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- L. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- M. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- N. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- O. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- P. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- Q. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- R. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- S. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- T. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- U. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- V. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- W. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- X. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- Y. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.
- Z. THE FINISH FLOOR SHALL BE CAST IN PLACE UNLESS OTHERWISE NOTED.

**COLOR SCHED. - ELEVATIONS**

- 1) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 2) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 3) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 4) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 5) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 6) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 7) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 8) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 9) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 10) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 11) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 12) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 13) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 14) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 15) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 16) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 17) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 18) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 19) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147
- 20) CONCRETE TILT-UP PANEL: PAINT BRAND: SHERWIN WILLIAMS SW6147

**GLAZING LEGEND**



**COLOR LEGEND**



**HPA**  
Arch. Inc.  
16801 Hamilton Avenue, - Ste. 210  
Dallas, TX 75244  
Tel: 972-498-1770  
Fax: 972-498-0891  
Email: hpa@hpaarch.com

**Owner:**  
TRAMMELL CROW COMPANY

3204 Anderson Road, Suite 200  
Houston, Texas, 77058  
Tel: 281-477-0711  
Fax: 281-477-0707

**Project:**  
KNOX BUSINESS PARK

**Building D**  
County of Tarrant, TX

**Consultants:**  
CIVIL: HALL & FOREMAN, INC.  
STRUCTURAL: HALL & FOREMAN, INC.  
MECHANICAL: HALL & FOREMAN, INC.  
PLUMBING: HALL & FOREMAN, INC.  
ELECTRICAL: HALL & FOREMAN, INC.  
LANDSCAPE: HALL & FOREMAN, INC.  
INTERIORS: HALL & FOREMAN, INC.  
SIGNAGE: HALL & FOREMAN, INC.

Title: ELEVATIONS

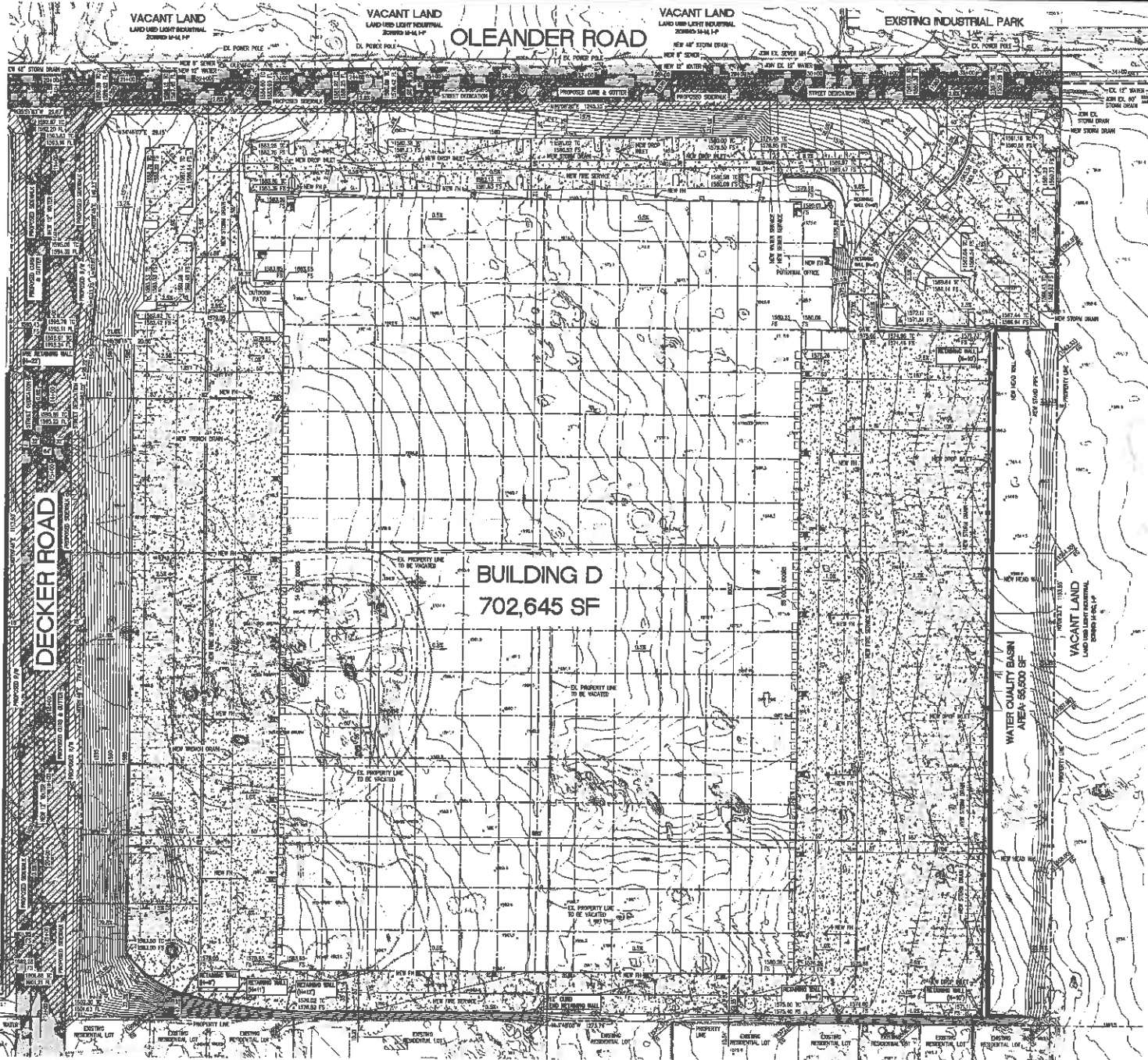
Project Number: 14188  
Drawn by: G.L.  
Date: 04/14/14

Sheet:

**D-DAB-3.4**







**LEGEND**

- NEW AC PAVEMENT
- NEW PCC PAVEMENT
- STREET DEDICATION



DATE:	DATE:
SCALE:	SCALE:
BY:	BY:
CHECKED BY:	CHECKED BY:
APPROVED BY:	APPROVED BY:

COUNTY OF RIVERSIDE  
 PLOT PLAN  
 KNICK BUSINESS PARK - BUILDING D  
 SITE PLAN - CONCEPTUAL GRADING

Hill & Foreman  
 ENGINEERS ARCHITECTS PLANNERS  
 1000 N. GARDEN ST. SUITE 200  
 RIVERSIDE, CA 92507  
 TEL: 951.514.1100  
 FAX: 951.514.1101  
 WWW.HILLANDFOREMAN.COM

**SITE PLAN KEYNOTES**

1. HEAVY BROOK FRESH CANAL, PREVENT.
2. ASPHALT CONCRETE PAVING.
3. CONCRETE CURB 18" x 12" HIGH CONCRETE TILT-UP GARD WALL ON BOTH SIDES OF ROAD.
4. DRINKING WATER TO BE CONSTRUCTED PER "C" DRAINAGE.
5. 12" x 18" x 24" AND 18" x 24" x 36" CONCRETE ENGINE LAMINAR PAVEMENT AT ALL EXTERIOR AND INTERIOR LANDSCAPED AREAS. FINISH TO BE SMOOTH FINISH BRUSH BLOCK TO BE 1/4" x 1/2" x 1/2" MAX. FINISH TO BE 1/2" x 1/2" x 1/2" MAX. FINISH TO BE 1/2" x 1/2" x 1/2" MAX. FINISH TO BE 1/2" x 1/2" x 1/2" MAX.
6. CONCRETE TILT-UP SCREEN WALL.
7. METAL REINFORCING BARS TO BE LOCK PER FIRE DEPARTMENT STANDARDS FOR DRINKING WATER.
8. TRASH ENCLOSURE.
9. EXTERIOR CONCRETE STAIRS.
10. 12"x14" HOOKS OUT PANEL FOR FUTURE USE.
11. CONCRETE FILLED GROUND FLOOR OF 5th FLOOR OF 14 LANEWAY, SEE "C" DRAINAGE. LANDSCAPE AREAS INDICATED BY SHADDED PATTERNS.
12. HANDICAP ENTRY WAY.
13. HANDICAP PARKING STALL SIZE.
14. APPROXIMATE LOCATION OF THE TRANSFORMER AND SUBSTATION.
15. EXTERIOR CORNERPOST WITH 2 OVERLAP SCOFFERS.
16. RETAINING WALL.
17. METAL FENCE.
18. GROUND SIGN.

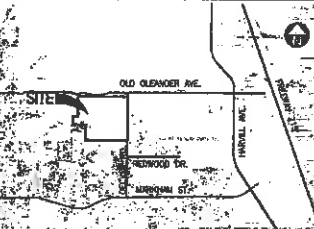
**SITE LEGEND**

- 1. LANDSCAPED AREA
- 2. CONCRETE PAVING SEE "C" DRAINAGE FOR THICKNESS
- 3. EXTERIOR CONCRETE STAIRS SEE "C" DRAINAGE
- 4. HANDICAP PARKING STALL (8' x 12')
- 5. HANDICAP PARKING STALL (5' x 12')
- 6. FINISH OF DRIVE
- 7. FINISH PROPERTY LINE

**SITE PLAN GENERAL NOTES**

1. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS NOTED OTHERWISE.
2. SEE CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND CHANNELS.
3. THE DRIVE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC REGULATOR SYSTEM.
4. PROVIDE FUTURE SERVICE HOLES FROM BUILDING TO ALL NEIGHBORING CONTROL BUILDINGS. SEE PLANS AND FOR SERVICE HOLES AND SERVICE POINTS.
5. SEE CIVIL DRAWINGS FOR FUTURE SERVICE HOLES.
6. CONCRETE SIGNAGE TO BE A MINIMUM OF 4" THICK BY 12" HIGH BY 12" WIDE. SIGNAGE SHALL BE A MINIMUM OF 1/4" THICK BY 1/2" HIGH. SIGNAGE SHALL BE A MINIMUM OF 1/4" THICK BY 1/2" HIGH. SIGNAGE SHALL BE A MINIMUM OF 1/4" THICK BY 1/2" HIGH.
7. HAVE DIMS AND PROVIDE SIGN TO BE OF THE LARGEST SIZE AS REQUIRED BY CURRENT FIRE DEPARTMENT STANDARDS (R-101).
8. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND REMOVAL OF THE DRIVE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC UTILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
9. WORK TO FINAL CITY APPROVAL, THE LANDSCAPE ARCHITECT SHALL SUBMIT A COMPLETE SET OF CONSTRUCTION DOCUMENTS FOR PUBLIC UTILITIES DEVELOPMENT.
10. ALL LANDSCAPE AND REMOVAL WORK SHALL MEET CURRENT CITY STANDARDS AS LISTED IN ORDINANCE 14 AS AMENDED FROM PUBLIC UTILITIES DEVELOPMENT.
11. LANDSCAPED AREAS SHALL BE DEMARCATED WITH A MINIMUM 5/8" DIAMETER (1/2" HIGH) CURB.
12. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO DRIVING PERMIT.
13. PROVIDE MODIFIED DRIVE BOX AT ALL MAIN ENTRY LOCATIONS.

**AERIAL MAP**



**TABULATION**

SITE AREA	REMARKS
In sq. ft.	1,355,578 s.f.
In acres	31.1 ac
<b>BUILDING AREA</b>	
Office	15,000 s.f.
Mezzanine	10,000 s.f.
Warehouse	530,615 s.f.
<b>Total</b>	<b>555,615 s.f.</b>
<b>COVERAGE</b>	<b>41.0%</b>
<b>AUTO PARKING PROVIDED</b>	
Office @ 1/250 s.f.	60 stalls
Mezzanine @ 1/250 s.f.	40 stalls
Warehouse @ 1/2,000 s.f.	266 stalls
<b>TOTAL</b>	<b>366 stalls</b>
<b>ALTO PARKING PROVIDED</b>	
Standard (8'x18')	182 stalls
Handicap (8'x18')	5 stalls
<b>TOTAL</b>	<b>187 stalls</b>
<b>TRAILER PARKING PROVIDED</b>	
Trailer (10'x35')	191 stalls
<b>ZONING ORDINANCE FOR CITY</b>	
Current Zoning Designation:	Rural Residential (R-R)
	Manufacturing Medium (M-M)
	Industrial Park (I-P)
Proposed Zoning:	Industrial Park (I-P)
<b>MAXIMUM FLOOR AREA RATIO</b>	
F.A.R. .50	
<b>BUILDING HEIGHT ALLOWED</b>	
Height - 50'	
<b>SETBACKS</b>	
Street Side = 25'	
Side = 5'	
Rear = 5'	
Adult Residential/Commercial Zoning = 50'	

**PROJECT INFORMATION**

**Applicant:**  
 TRAMMELL CROW COMPANY  
 2001 JARDINE ROAD  
 NEWPORT BEACH, CA 92660  
 TEL: (949) 477-4231  
 CONTACT: GARY DAVIS

**Owner:**  
 TRAMMELL CROW COMPANY  
 2001 JARDINE ROAD, SUITE 200  
 NEWPORT BEACH, CALIFORNIA 92660  
 TEL: (949) 477-4231  
 FAX: (949) 477-9107

**Architect:**  
 HALL AND PEREMAN, INC.  
 1700 17TH ST, SUITE 200  
 SANTA ANA, CA 92705-1810  
 TEL: (714) 844-4444  
 CONTACT: GARY DAVIS

**Civil Engineer:**  
 HALL AND PEREMAN, INC.  
 1700 17TH ST, SUITE 200  
 SANTA ANA, CA 92705-1810  
 TEL: (714) 844-4444  
 CONTACT: GARY DAVIS

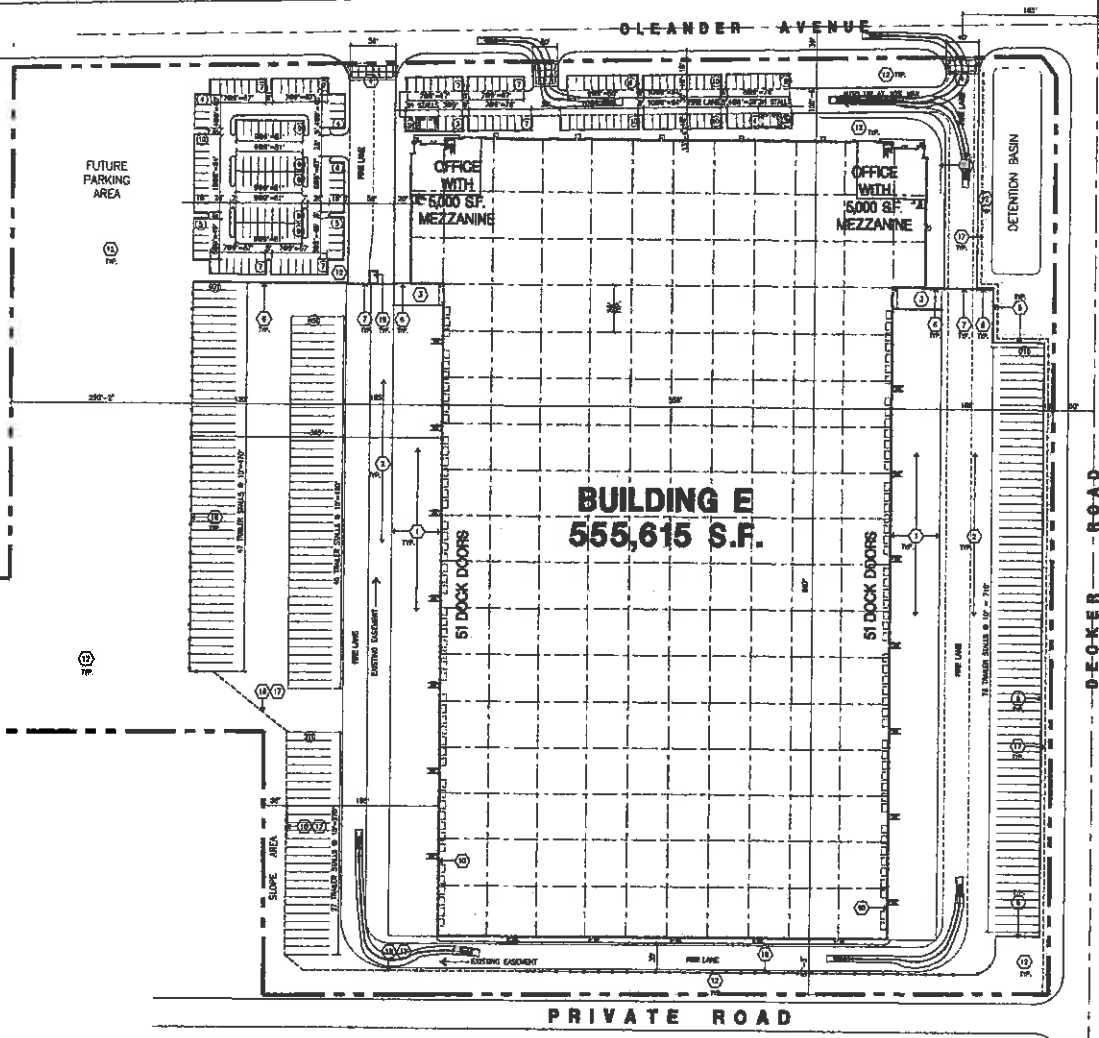
**Landscaping Architect:**  
 HALL AND PEREMAN, INC.  
 1700 17TH ST, SUITE 200  
 SANTA ANA, CA 92705-1810  
 TEL: (714) 844-4444  
 CONTACT: GARY DAVIS

**Land Use & Zoning:**  
 OFFICE USE AND WAREHOUSE  
 PREPARED LAND USE, MANUFACTURING, OFFICE, WAREHOUSE  
 OFFICE ZONING: RURAL RESIDENTIAL (R-R), MANUFACTURING MEDIUM (M-M), INDUSTRIAL PARK (I-P)  
 PREPARED ZONING: INDUSTRIAL PARK (I-P)

**Assessor's Parcel Number:**  
 476 314-003-000  
 476 314-003-017

**Construction Type:**  
 Warehouse, R-0

**Legal Description:**



**SITE PLAN**  
 DATE: 1-17-02

**HPA**  
 CONSULTANTS

**Owner:**  
 TRAMMELL CROW COMPANY

2001 Jardine Road, Suite 200  
 Newport Beach, California 92660  
 Tel: (949) 477-4231  
 Fax: (949) 477-9107

**Project:**  
 KNOX BUSINESS PARK

**Building E**

County of Riverside, CA

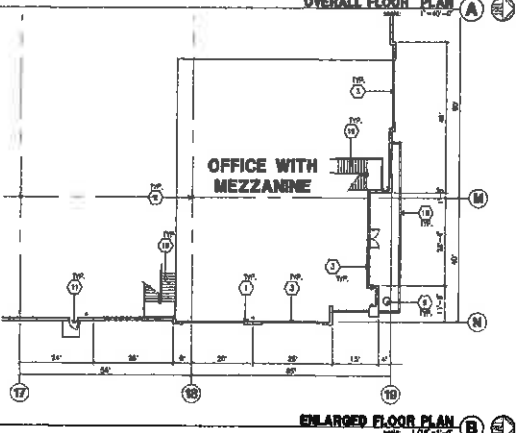
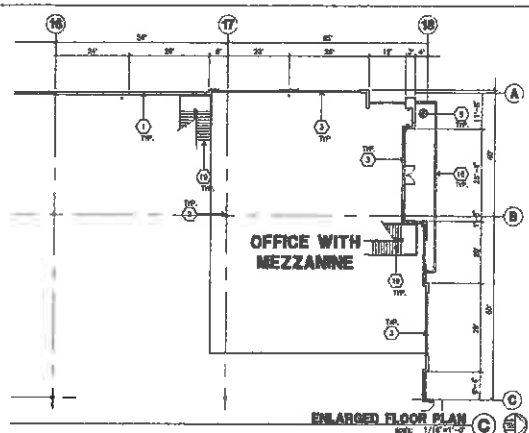
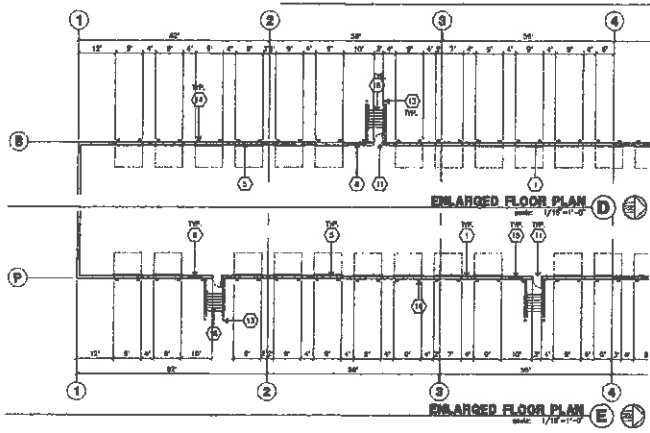
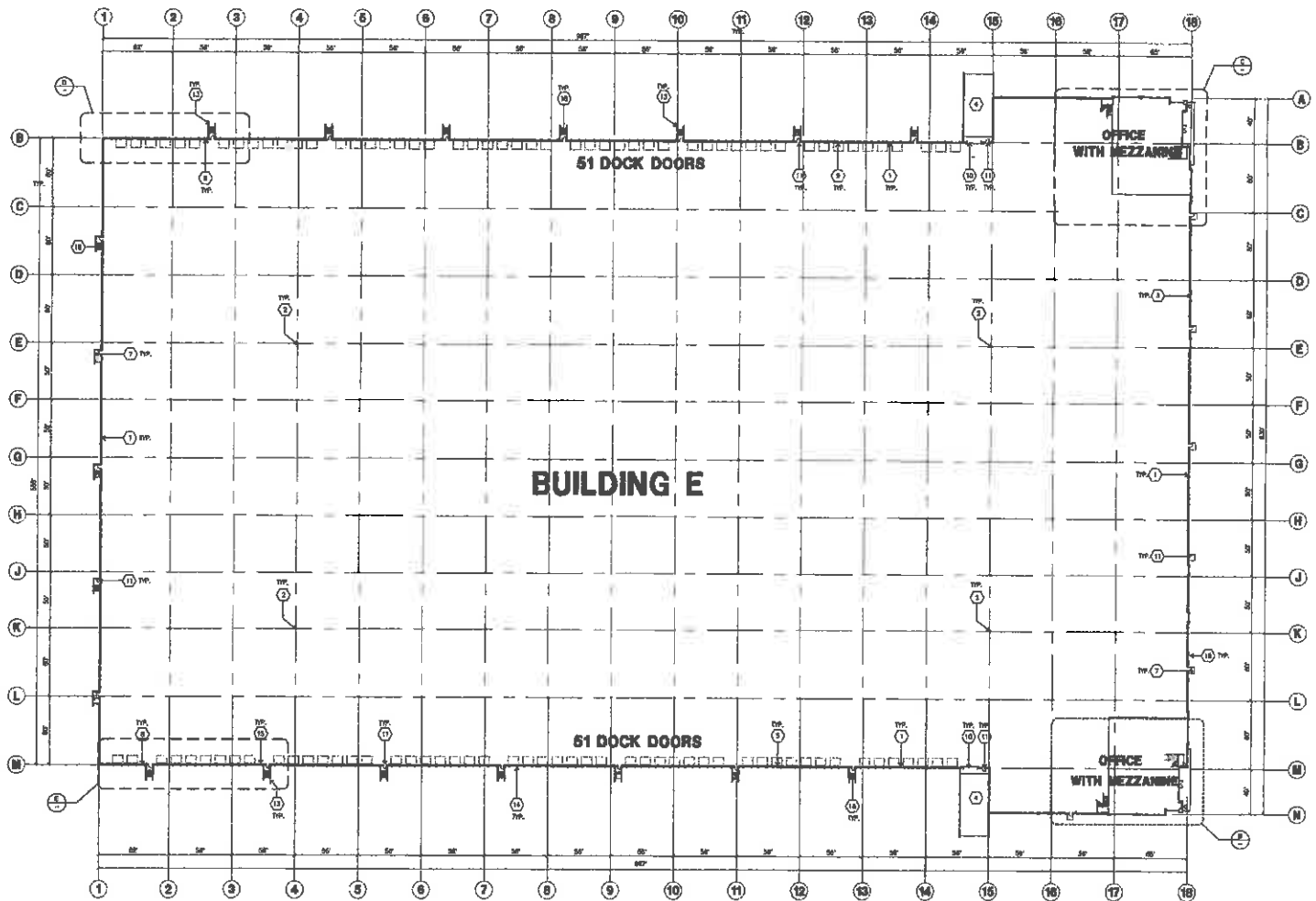
**Consultants:**  
 HALL & PEREMAN, INC.

HARTER LANDSCAPE

**Site:** SITE PLAN

Project Number: 14180  
 Drawn by: G.V.  
 Date: 06/14/14  
 Revision:

Sheet:  
**E-DAB-1.1**



HPA  
Hall & Foreman Architects  
1801 Jordan Avenue - Ste. #100  
Irvine, CA 92612  
Tel: 949-252-1770  
Fax: 949-859-0821  
email: hpa@hpaarch.com



Owner:

TRAMMELL CROW COMPANY

2311 Ambrose Road, Suite 200  
Newport Beach, California 92660  
Tel: (949) 477-4731  
Fax: (949) 477-8927

Project:

KNOX BUSINESS PARK

Building E

County of Riverside, CA

Consultants:

HALL & FOREMAN, INC.

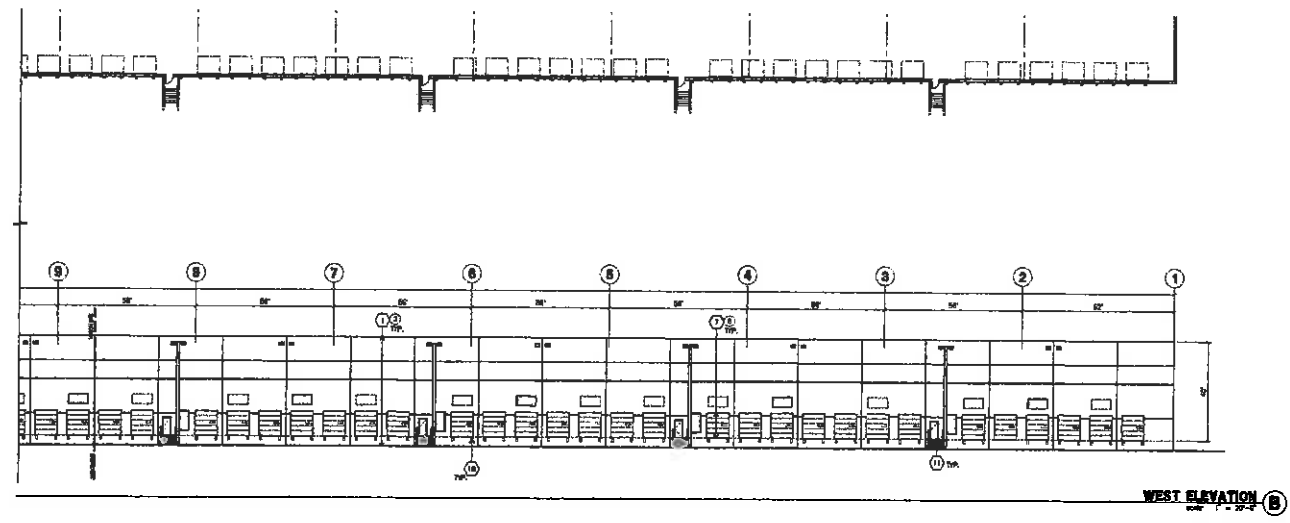
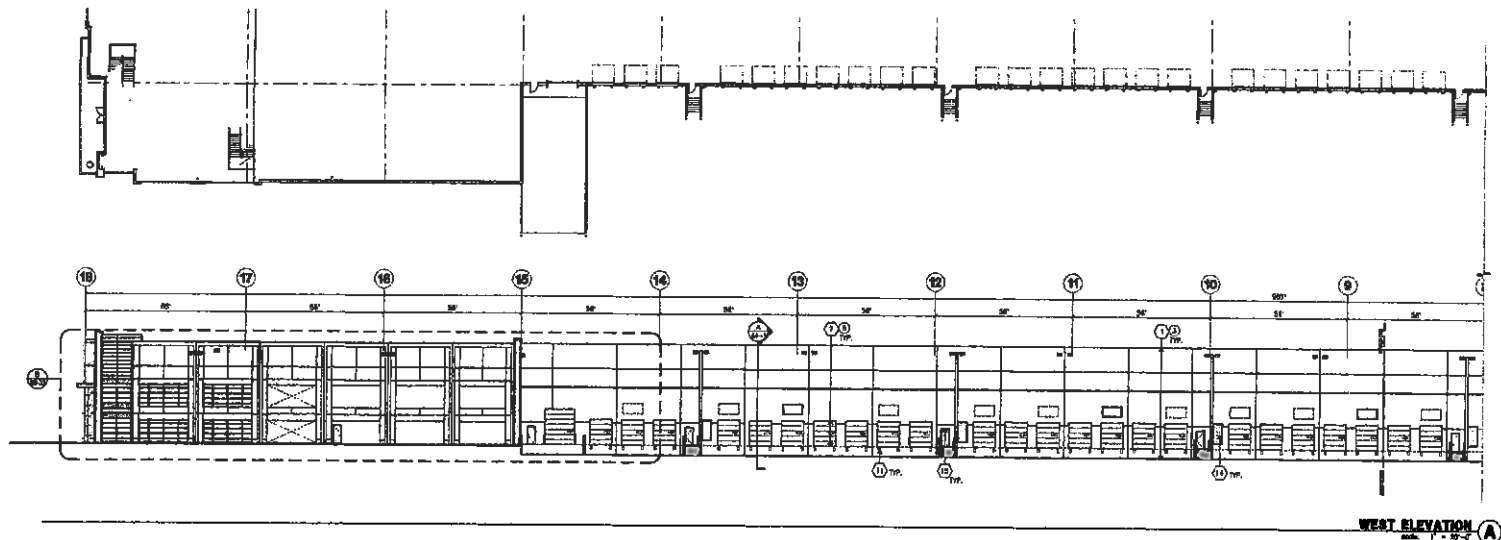
INTERLANDSCAPE

Title: FLOOR PLAN

Project Number: 1488  
Drawing: G.V.  
Date: 09/14/14  
Revision:

Sheet:

E-DAB-2.1



**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL/FRONT FACE 1" DRAINAGE FROM FRAME WARD - SEE "C" SECTION. REINFORCE ALL WALLS WITH #4 BARS @ 16" ON CENTER TO THE FINISH FACE. WALLS INTERSECTING TO BE PROTECTED WITH PROTECTIVE BOARD AND A MIN. 1" OF GROUT. FINISH FIELDS DOWN AT BOTTOM AND EXPOSED TO COVER ON SIDE TO SOME extent. NOT REQUIRED AT DOOR AND WINDOW OR AT RAMP WALLS.
- 2 PANEL FINISH - ALL DETAILS TO HAVE A MIN. OF 1/4" CHAMFER. FINISH TO MATCH ADJACENT FINISHES FIELD COLOR. LEAD. EXPOSED METAL CORNER/PROTECTOR REQUIRED.
- 3 COORDINATE DOOR & WINDOW WITH OVERLAP. FINISH TO MATCH TO FACE AND COORDINATE "C".
- 4 CONCRETE TILT-UP SOFFIT WALL. OVERLAP OVER IN DOOR AREA - SET DOWN SCHEDULE. FINISH TO MATCH ADJACENT FINISHES PROTECT FROM ALL ASPECTS. LEAD TO MATCH TO FACE AND COORDINATE "C".
- 5 DOOR ASSEMBLY REVEAL.
- 6 KNOCK-OUT PANEL.
- 7 BALCONY SCREEN FOR FIRE DEPT. REPRESENTATION. 2 1/2" x 2 1/2" TYP. FROM EXTERIOR SIDE. FINISH TO MATCH LETTER BY 1/4" PVC FACES SHOW TO MATCH. COLOR TO BE SELECTED BY ARCHITECT.
- 8 CONCRETE SILL, LINING AND CASING. BY METAL JOINT FINISHES. FINISH TO MATCH TO FACE AND COORDINATE "C".
- 9 FINISH NON SHIP SECTION TO MEET ARCHITECTS. FINISH TO MATCH ADJACENT FINISHES PROTECT FROM ALL ASPECTS. LEAD TO MATCH TO FACE AND COORDINATE "C".
- 10 CONCRETE SILL.
- 11 ALUMINUM STRENGTH FINISH WITH TYPICAL GLAZING AT ALL CORNERS. FINISH TO MATCH TO FACE AND COORDINATE "C". LEAD TO MATCH TO FACE AND COORDINATE "C".
- 12 METAL LINING.
- 13 METAL LINING TO MATCH TO FACE AND COORDINATE "C". FINISH TO MATCH ADJACENT FINISHES.
- 14 YELLOW METAL DOWN THE DOOR SCHEDULE. FINISH TO MATCH TO FACE AND COORDINATE "C".
- 15 FINISH COMPLETE FINISHES DOWN ALL FINISH DOOR. FINISH TO MATCH TO FACE AND COORDINATE "C".
- 16 FINISH TO MATCH TO FACE AND COORDINATE "C".
- 17 METAL CANOPY.
- 18 DOOR SWAPPER.

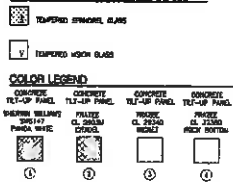
**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT MOSE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. FACE IS TOP OF FINISH GLAZING.
- D. F.F. = FINISH FLOOR SLAB/GRAB.
- E. STAIRWAY CORNER TO BE GLAZED WITH ANTI-REFLECTIVE AND LEADLINE FINISHES. FINISH TO MATCH TO FACE AND COORDINATE "C".
- F. CONTRACTOR SHALL VERIFY PAINT USE QUALITY PANEL BY SELECTED COLOR. FINISHES AND SHEET SHALL APPROVE PRIOR TO FINISHING. FINISHES TO MATCH TO FACE AND COORDINATE "C".
- G. BACK SIDE OF FINISHES TO HAVE SMOOTH FINISH AND BE FINISHED WITH ANTI-REFLECTIVE FINISH.
- H. FOR SPHERICAL GLAZING, ALLOW FINISH BOUND FINISHES TO FINISH. FINISH TO MATCH TO FACE AND COORDINATE "C".
- I. USE FINISHES WITH BOND STRENGTH FOR ALL FINISHES. FINISH TO MATCH TO FACE AND COORDINATE "C".
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHED - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 2 CONCRETE TILT-UP PANEL. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 3 CONCRETE TILT-UP PANEL. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 4 CONCRETE TILT-UP PANEL. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 5 CONCRETE TILT-UP PANEL. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 6 NOT USED.
- 7 METAL CANOPY. FINISH BRAND: CLEAR FINISHES. COLOR: METAL PERFORMANCE. OFFER ON CLEAR REFLECTIVE.
- 8 GLAZING. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 9 DOORS. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 10 COLLAR. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.
- 11 METAL CANOPY. FINISH BRAND: TRUSS. COLOR: TRUSS. FINISH BRAND: TRUSS. COLOR: TRUSS.

**GLAZING LEGEND**



**HIPAC**  
 HIPAC ARCHITECTURE  
 hipac, inc.  
 14021 Harbor Drive, -Rm. #100  
 Irvine, CA 92618  
 Tel: 949-453-1770  
 Fax: 949-453-0851  
 email: h-@hipac.com

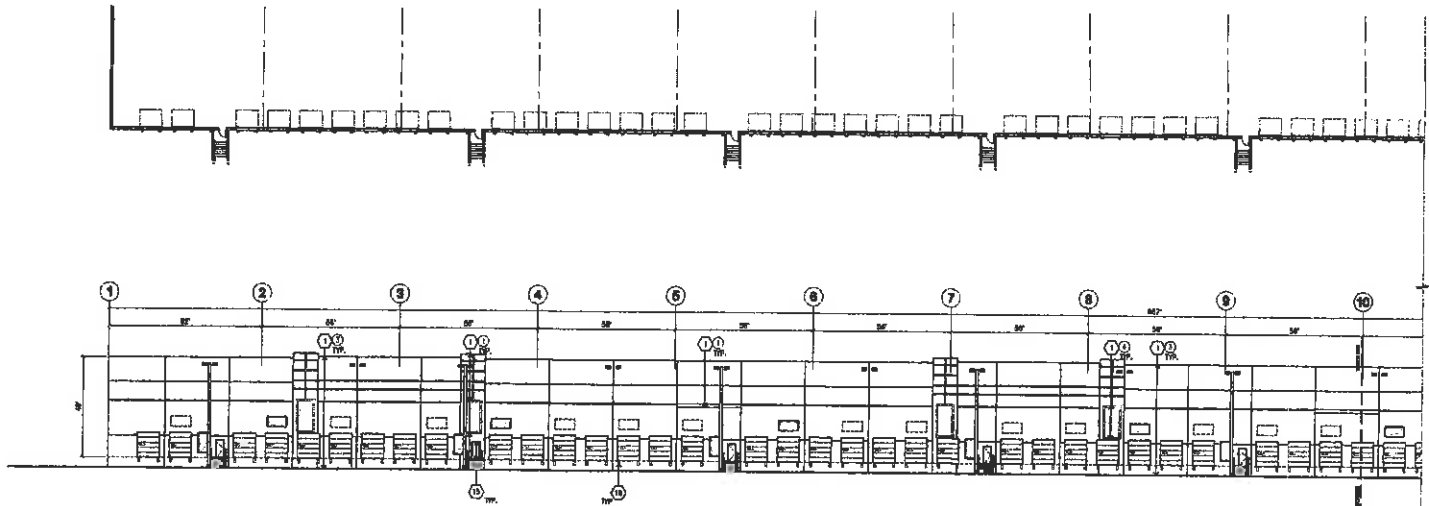
**Owner:**  
 TRAMELL CROW COMPANY  
 6891 Ardmore Road, Suite 220  
 Newport Beach, California 92660  
 Tel: (949) 477-4721  
 Fax: (949) 477-9107

**Project:**  
 KNOX BUSINESS PARK  
 Building E  
 County of Riverside, CA

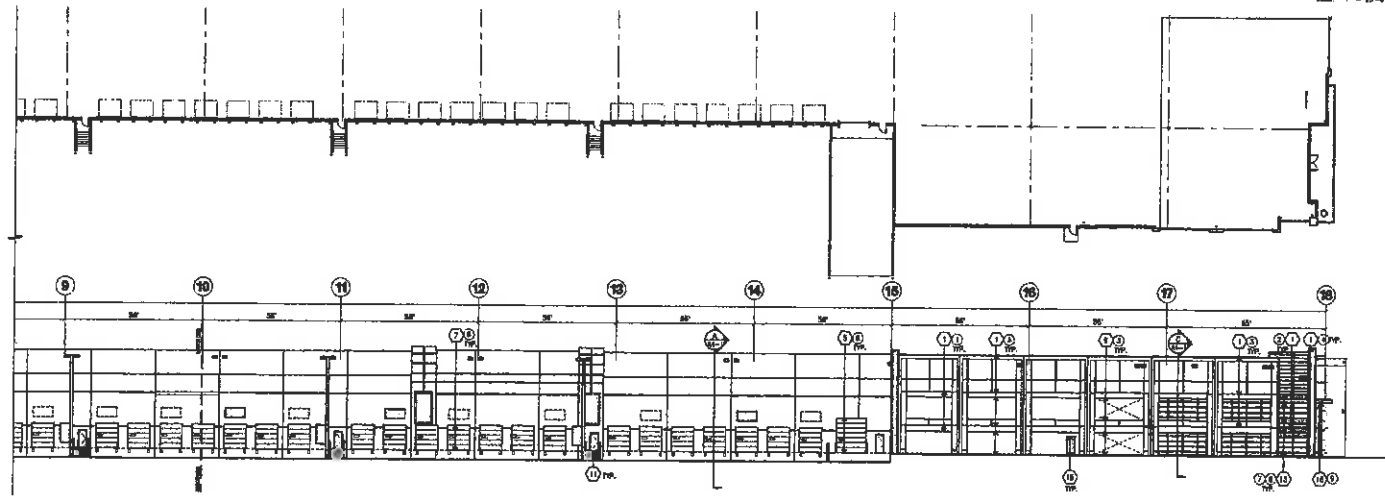
**Consultants:**  
 HALL & FOREMAN, INC.  
 HUNTER LANDSCAPE

**Title:** ELEVATIONS  
 Project Number: 14180  
 Drawn by: G.V.  
 Date: 04/14  
 Revision:  
 Sheet:  
 E-DAB-3.1





EAST ELEVATION A



EAST ELEVATION CONT. B

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANELS/PIERS. SEE "C" CHANGES FROM OTHER SHEETS. 1/2" CHANGES. UNLESS NOTED OTHERWISE ALL WALLS WERE CONSIDERED TO BE EXPOSED TO THE WEATHER ONE SIDE. INTERIOR TO BE FINISHED WITH PORTLAND CEMENT AND A MIN. OF 1/2" OF GROUT. BRIDGE BRICKS SHOWN AT BOTTOM AND INDICATE TO CLIMB OR ONE TO CLIMB. BRICKS NOT REQUIRED AT DOOR HIGH CONDITION OR AT SHAP WALLS.
- 2 PANEL JOINT.
- 3 PANEL FINISH. ALL SURFACES TO HAVE A MIN. OF 3/4" CONCRETE. FINISH COLOR TO MATCH EXISTING FINISH COLOR. U.A.O.
- 4 EXTERIOR METAL CORNER/END/CORNER FINISHES.
- 5 CONCRETE DOOR & CASE HEAD. SEE DOOR SCHEDULE. FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 6 CONCRETE TILT-UP EXPOSED WALL.
- 7 OVERPAINT DOOR & CASE HEAD. SEE DOOR SCHEDULE. FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 8 CASE, ADJACENT WALL.
- 9 ROUNDED-OFF PANEL.
- 10 FINISHES FINISHES PER THE SCHEDULE. FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 11 CONCRETE TILT-UP PANELS AND CORNERS. ALL FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 12 CONCRETE BRICK.
- 13 ALL EXTERIOR SURFACES FINISHES WITH PORTLAND CEMENT. ALL EXTERIOR SURFACES FINISHES WITH PORTLAND CEMENT. ALL FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 14 METAL CORNER.
- 15 DOOR SWAP.

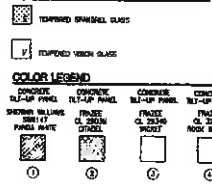
**GENERAL NOTES - ELEVATIONS**


- 1 HOLDING METAL DOORS. SEE OVER SCHEDULE. FINISHES TO MATCH EXISTING FINISHES. ALL FINISHES TO MATCH TO RIGHT OR LEFT HAND EXPOSURE "C".
- 2 1/2" DIA. METAL CORNER.
- 3 METAL CORNER.
- 4 DOOR SWAP.

**COLOR SCHED. - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL. PAINT FINISH. CLEAR GLOSS.
- 2 CONCRETE TILT-UP PANEL. PAINT FINISH. TRAZE CL. 2534B GLOSS.
- 3 CONCRETE TILT-UP PANEL. PAINT FINISH. TRAZE CL. 2534B MATT.
- 4 CONCRETE TILT-UP PANEL. PAINT FINISH. TRAZE CL. 2534B GLOSS.
- 5 NOT USED.
- 6 METAL CORNER. CLEAR GLOSS.
- 7 GLAZING. CLEAR GLOSS.
- 8 DOORS. CLEAR GLOSS.
- 9 COLONY. CLEAR GLOSS.
- 10 METAL CORNER. CLEAR GLOSS.

**GLAZING LEGEND**





HPA  
 HUNTERLANDSCAPE

Inc. Inc.  
 18031 Harbor Avenue, Ste. 9100  
 Irvine, CA  
 92612  
 Tel: 949-453-1770  
 Fax: 949-453-0851  
 Email: hpa@hpa.com

---

Owner:  
**TRAMMELL CROW COMPANY**

---

8971 Junction Road, Suite 200  
 Newport Beach, California 92660  
 Tel: (949) 477-4751  
 Fax: (949) 477-0107

---

Project:  
**KNOX BUSINESS PARK**

Building E

County of Riverside, CA

---

Consultants:  
 HALL & FOREMAN, INC.  
 HUNTERLANDSCAPE

---

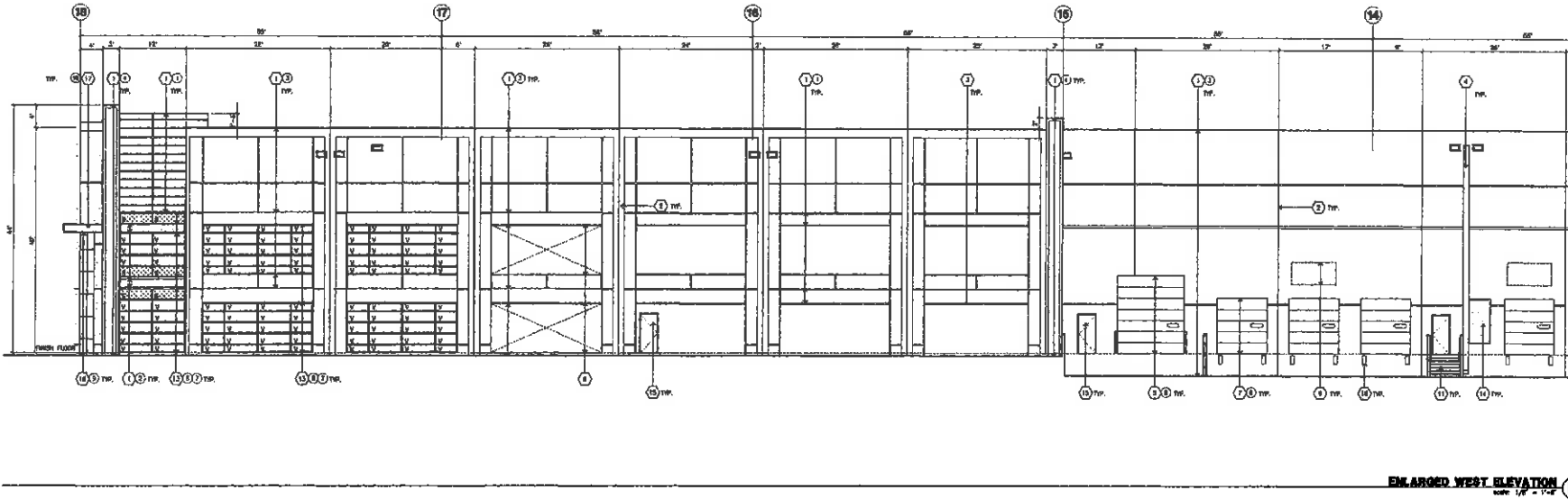
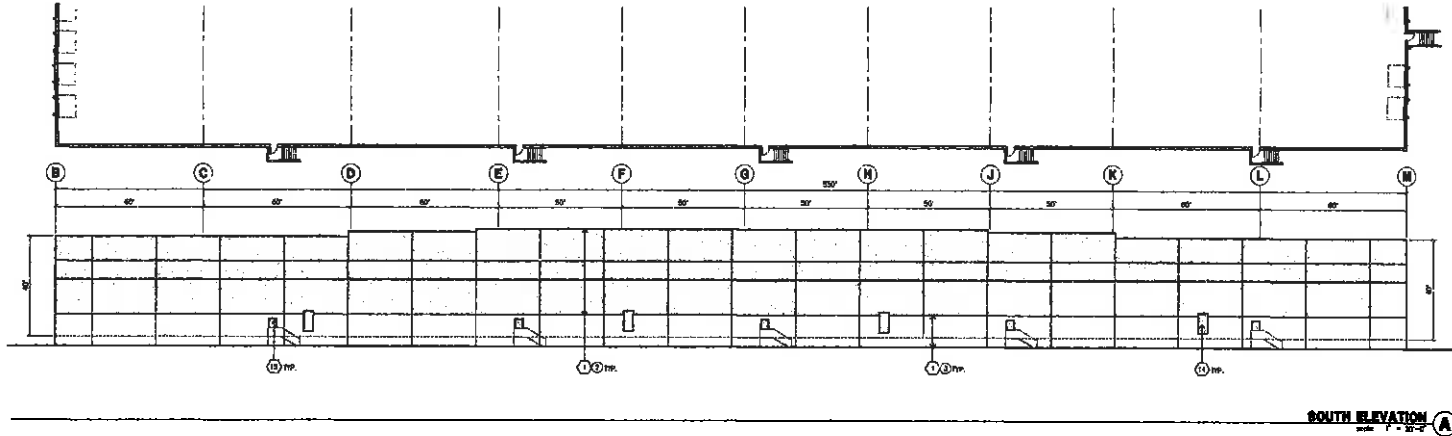
Title: ELEVATIONS

Project Number: 14189  
 Drawn by: G.V.  
 Date: 06/16/14  
 Reviser:

---

Sheet:  
**E-DAB-3.2**





**KEYNOTER - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (FINISH) SEE "F" DRAWING. PROVIDE COMPLETE FINISH TO ALL SURFACES. PROVIDE FOR DOWN DRAINAGE ABOVE DOOR. DESIGN TO RESIST 50 MPH WIND EXPOSURE "C".
- 2 PANEL GLAZING
- 3 WINDOW DOOR & DOOR HEAD SEE DOOR SCHEDULE. PROVIDE COMPLETE FINISH TO ALL SURFACES. PROVIDE FOR DOWN DRAINAGE ABOVE DOOR. DESIGN TO RESIST 50 MPH WIND EXPOSURE "C".
- 4 CORNER BRICK MASONRY
- 5 BRICK-OUT FINISH
- 6 BRICK-OUT FINISH
- 7 BRICK-OUT FINISH FOR FINISH SCHEDULES
- 8 1/4" x 1/4" BRICK WITH CENTER LINE JOINTS TO BE SET BY 1/4" FOR FINISH SCHEDULE TO BE SELECTED BY ARCHITECT
- 9 CONCRETE STAIR LANDING AND STAIRWAY BY METAL PIPE RAILING. PROVIDE NEW TREADS TO MEET AND MAINTAINANCE. PROVIDE COMPLETE FINISH TO ALL SURFACES. PROVIDE FOR DOWN DRAINAGE ABOVE DOOR. DESIGN TO RESIST 50 MPH WIND EXPOSURE "C".
- 10 CONCRETE BRICK
- 11 FINISH SCHEDULE FINISH WITH FINISHED GLAZING AT ALL GLAZING SURFACES. PROVIDE FOR DOWN DRAINAGE ABOVE DOOR. DESIGN TO RESIST 50 MPH WIND EXPOSURE "C".
- 12 METAL CANOPY
- 13 FINISH TO MEET FINISH SCHEDULE "C".
- 14 FINISH TO MEET FINISH SCHEDULE "C".

**GENERAL NOTES - ELEVATIONS**

- A. ALL FINISH COLOR FINISHES TO OCCUR AT BRICK CORNER LINERS NEED FINISHES.
- B. ALL FINISH FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE. TOP IS - TOP OF FINISH ELEVATION.
- C. FINISH FINISH ELEVATION.
- D. CONSTRUCTION CONNECTIONS GLASS, METAL ATTACHMENTS AND LIFELINES SHALL BE DESIGNED TO RESIST 50 MPH WIND EXPOSURE "C".
- E. CONTRACTOR SHALL VERIFY THE FINISHES ARE BY SELECTED COLOR, PROFILE AND FINISH SHALL VERIFY FINISH TO FINISH ELEVATION OF FINISHES.
- F. EACH SET OF FINISHES TO HAVE SMOOTH FINISH AND BE FINISH WITH FINISHES.
- G. THE FINISHES GLAZING ALLOW SPACE BEING SPACED TO BRICK.
- H. USE FINISHES FOR ALL FINISHES.
- I. THE FIRST COPY OF FINISH TO BE HELD-ON AND THE SECOND COPY TO BE SPREAD-ON.

**COLOR SCHED. - ELEVATIONS**


- 1 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 2 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 3 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 4 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 5 NOT USED
- 6 MULLIONS
- 7 GLAZING
- 8 DOORS
- 9 COLUMN
- 10 METAL CANOPY

**GLAZING LEGEND**

- 1 SHIMMER WILLIAMS 5011-17
- 2 TAMPLED SPANDREL GLASS
- 3 TEMPERED VIBRO GLASS

**COLOR LEGEND**

- 1 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 2 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 3 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".
- 4 CONCRETE TILT-UP PANEL. FINISH SCHEDULE "C".



TIPA, Inc.  
18891 Sandbar Avenue - Ste. P10  
Irvine, CA 92612  
Tel: 949-453-1770  
Fax: 949-453-0567  
Email: tipa@tipa.com

---

Owner:  
**TRAMMELL CROW COMPANY**

---

2021 Architecture Road, Suite 200  
Newport Beach, California 92660  
Tel: (949) 477-4731  
Fax: (949) 477-9107

---

Project:  
**KNOX BUSINESS PARK**

Building E

County of Riverside, CA

---

Consultants:  
**HALL & FOREMAN, INC.**

HUNTER LANDSCAPE

---

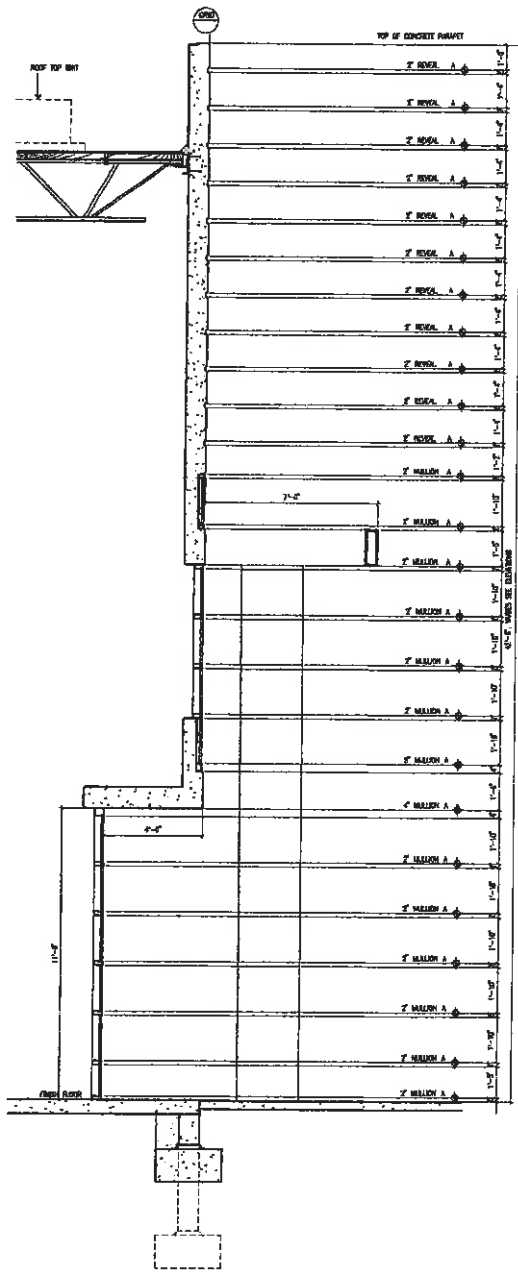
Title: ELEVATIONS

Project Number: 14180  
Drawn by: GLV  
Date: 04/14/14

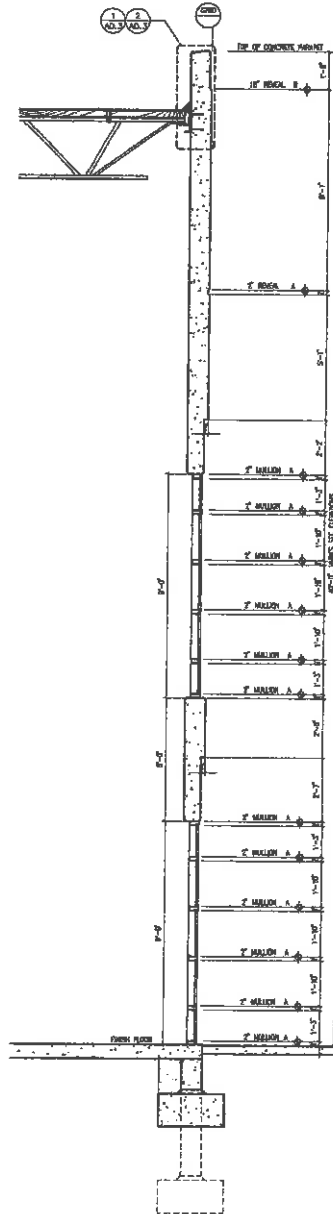
---

Sheet:

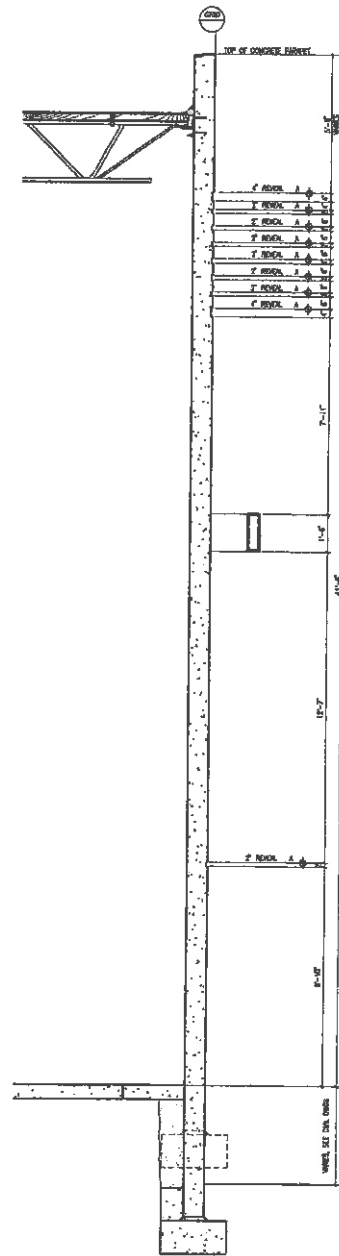
E-DAB-3.4



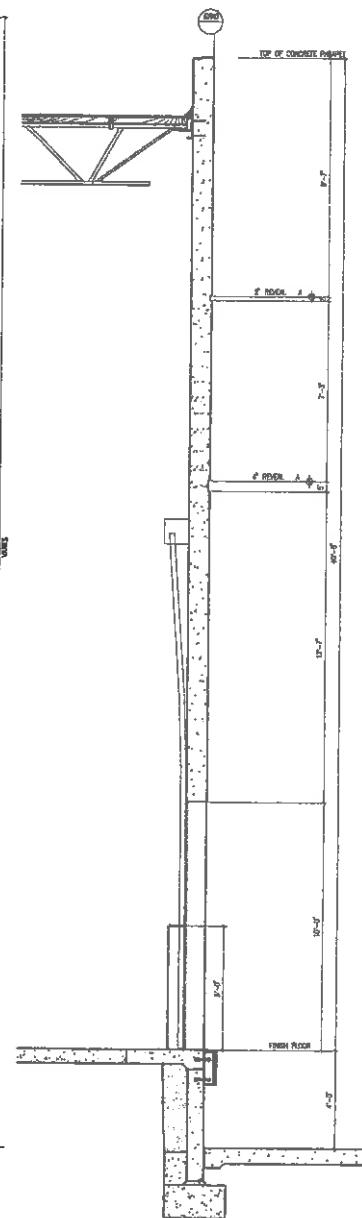
WALL SECTION AT WINDOWS **D**  
SCALE: 1/2"=1'-0"



WALL SECTION AT WINDOWS **C**  
SCALE: 1/2"=1'-0"



EXTERIOR WALL W/ REVEAL **B**  
SCALE: 1/2"=1'-0"



LOADING DOCK HIGH **A**  
SCALE: 1/2"=1'-0"



HPA, Inc.  
16891 Harbor Avenue, Ste. 4100  
Irvine, CA  
92612  
Tel: 949-453-1170  
Fax: 949-453-0881  
www.hpa@hpa.com

Owner:

TRAMMELL CROW  
COMPANY

2571 Jamboree Road, Suite 220  
Newport Beach, California 92660

Tel: (949) 477-4731  
Fax: (949) 477-9107

Project:

KNOX  
BUSINESS  
PARK

Building E

County of Fibersville, CA

Consultants:

HALL & FOREMAN, INC.

HUNTER LANDSCAPE

Title: **addrc**

Project Number: 14739  
Drawn by: G.V.  
Date: 04/14/14  
Titleblock:

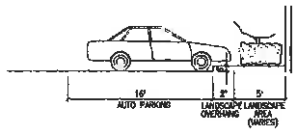
Sheet:

E-DAB-4.1

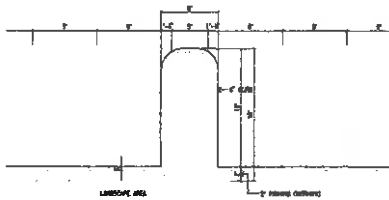




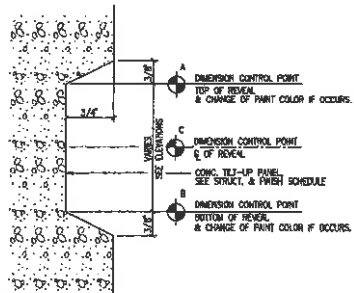
**NORTH ELEVATION**  
SCALE: 1" = 32'-0"



**TYPICAL PARKING SECTION W/ 2' OVERHANG**  
SCALE: 1/4" = 1'-0"

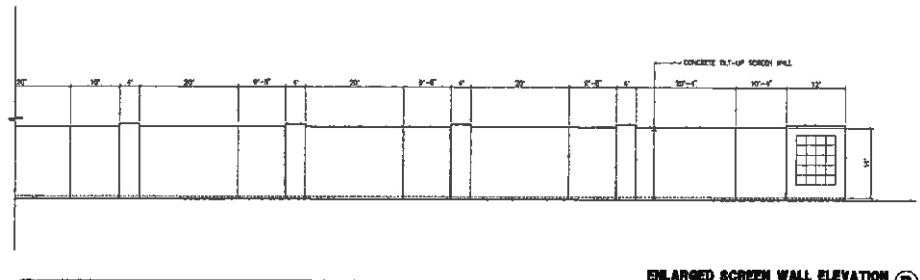


**TYPICAL PARKING SECTION W/ 2' OVERHANG**  
SCALE: 1/4" = 1'-0"

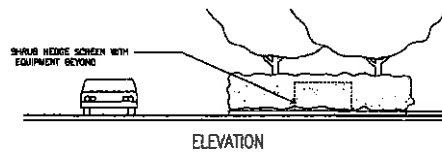


- NOTES:
1. DIMENSION CONTROL POINTS AT REVEALS AND EDGE OF CONCRETE OPENINGS WHERE OCCUR. SEE WALL SECTIONS.
  2. PAINT COLOR CHANGES TO ALWAYS OCCUR AT CONTROL POINT "K" OR "B"

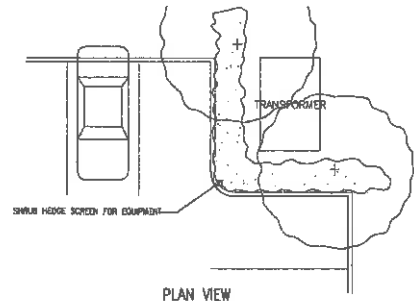
**TYPICAL CONCRETE REVEAL**  
SCALE: 1/4" = 1'-0"



**ENLARGED SCREEN WALL ELEVATION**  
SCALE: 1" = 10'-0"

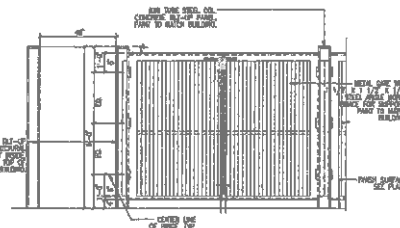


**ELEVATION**

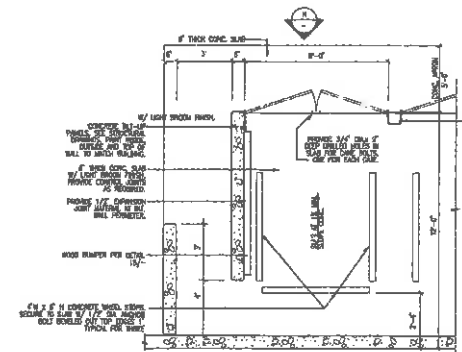


**PLAN VIEW**

**GROUND MOUNTED EQUIPMENT SCREENING, TYP.**  
SCALE: 1/4" = 1'-0"



**TRASH ENCLOSURE GATE - ELEVATION**  
SCALE: 1/4" = 1'-0"



- NOTES:
1. SEE SITE PLAN FOR LOCATION.
  2. SEE STRUCTURAL DRAWINGS FOR STEEL REINFORCING.
  3. CHECK AND PATCH ALL PANEL JOINT POINTS ON G. WALL AND PAINT TO MATCH.

**TRASH ENCLOSURE GATE**  
SCALE: 1/4" = 1'-0"



HIP, Inc.  
4231 Hardman Avenue, Ste. #100  
Irvine, CA  
92712  
Tel: 949-453-1770  
Fax: 949-453-0851  
Email: hipa@tysonco.com



Owner:  
**TRAMMELL CROW COMPANY**

3581 Ardmore Road, Suite 250  
Newport Beach, California 92660  
Tel: (949) 471-4731  
Fax: (949) 471-8107



Project:  
**KNOX BUSINESS PARK**

Building E

County of Riverside, CA



Consultants:  
HALL & FOREMAN, INC.

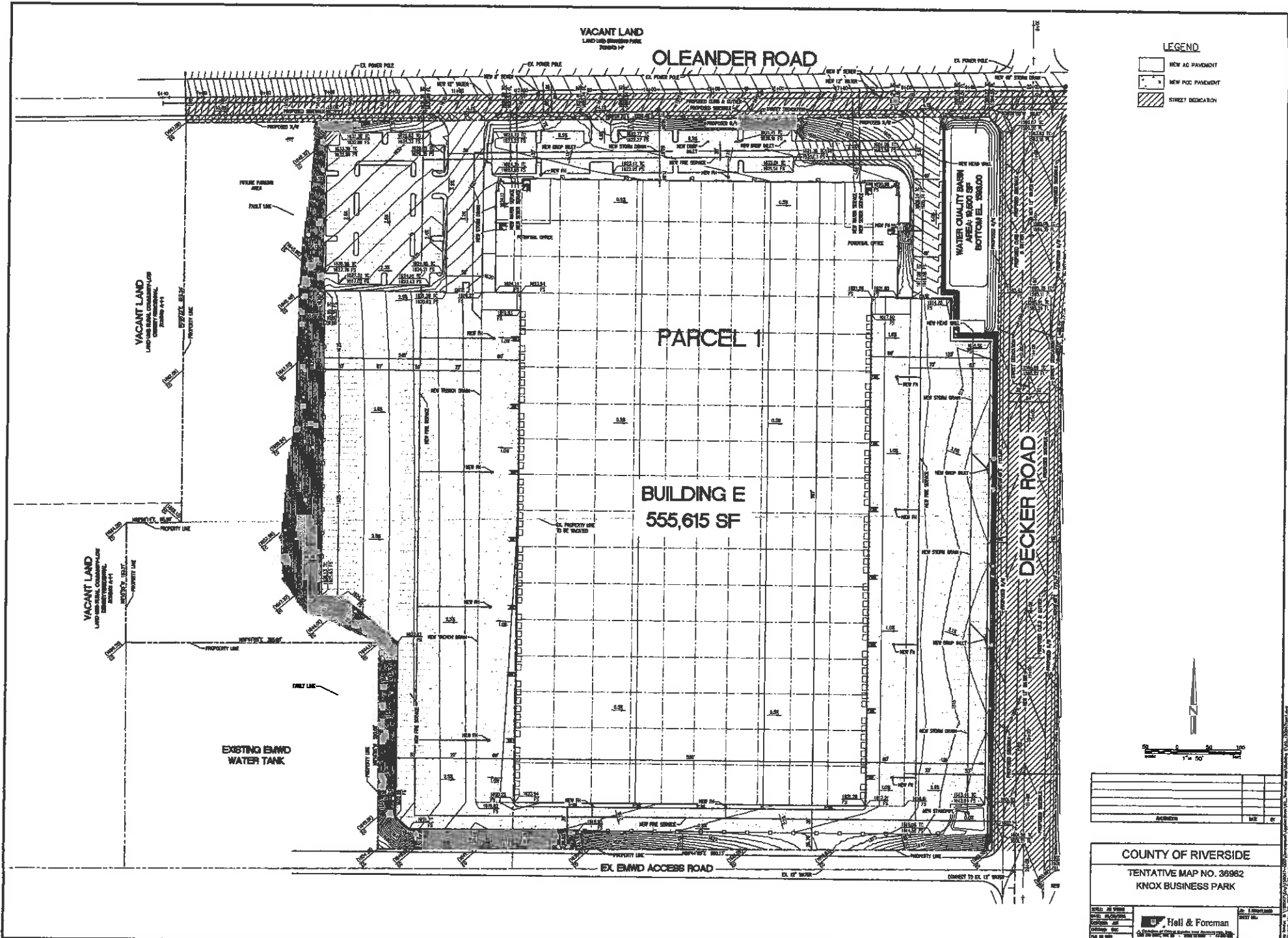
HUNTER LANDSCAPE

Title: **SCREEN WALL ELEVATIONS**

Project Number: 14182  
Drawn by: G.V.  
Date: 06/14/74  
Reviewed:

Sheet

**E-DAB-4.2**



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday, from 8:00 a.m. to 5:00 p.m., except Veterans Day (Wednesday, November 11) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: November 12, 2015

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1150MA15 – Trammell Crow (Representatives: Mike and Lydia Bastian, Henry-Ann Company) – County Case Nos.: GPA 01151 and GPA 01152 (General Plan Amendments), CZ 07872 and CZ 07873 (Change of Zone proposals), and PP 25837 and PP 25838 (Plot Plans). GPA 01151, CZ 07872, and PP 25838 pertain to 37.48 acres located southerly of Oleander Avenue and easterly of Decker Road (the “east site”). GPA 01151 is a proposal to amend the Mead Valley Area Plan (General Plan) land use designation on the southwesterly 10 acres of the east site from Business Park (BP) to Light Industrial (LI). CZ 07872 is a proposal to change the zoning of the east site from I-P (Industrial Park), R-R (Rural Residential) and M-M (Manufacturing-Medium) to I-P. PP 25838 is a proposal to develop a 702,645 square foot industrial warehouse building (including 15,000 square feet of office space and 10,000 square feet of mezzanine space) (“Building D”) on the east site. GPA 01152, CZ 07873, and PP 25837 pertain to 33.62 acres located southerly of Oleander Avenue and westerly of Decker Road (the “west site”). GPA 01152 is a proposal to amend the Mead Valley Area Plan (General Plan) land use designation on the west site from 29.45 acres of Business Park (BP) and 4.17 acres of Rural Community-Very Low Density Residential (RC-VLDR) to Light Industrial (LI). CZ 07873 is a proposal to change the zoning of the west site from 20.01 acres of R-R-1/2 (Rural Residential, one-half acre minimum lot size), 9.45 acres of I-P (Industrial Park), and 4.17 acres of A-1-1 (Light Agriculture, one acre minimum lot size) to I-P. PP25837 is a proposal to develop a 555,615 square foot industrial warehouse building (including 15,000 square feet of office space and 10,000 square feet of mezzanine space) (“Building E”) on the west site. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Mat Evans of the Riverside County Planning Department, at (951) 955-3025.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1150MA15

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application July 27, 2015

Property Owner Trammell Crow So Cal Development, Inc. (TCSDCDI) Phone Number 949-477-4741

Mailing Address 3501 Jamboree Rd. Suite 230  
Newport Beach, CA 92660

Agent (if any) Henry-Ann Company, Inc. Phone Number 951-302-2600

Mailing Address 32823 Temecula Parkway  
Temecula, CA 92592

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address \_\_\_\_\_

Assessor's Parcel No. 314-040-001, 002, 003, 008, 314-020-010, 017, 019 Parcel Size 70.07

Subdivision Name Knox Business Park Zoning Classification LI

Lot Number \_\_\_\_\_

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Vacant land (2 parcels are business park, and 2 are light industrial)

Proposed Land Use (describe) Proposed land use: light industrial

For Residential Uses Number of Parcels or Units on Site (exclude secondary units)

For Other Land Uses Hours of Use

(See Appendix C) Number of People on Site Maximum Number

Method of Calculation

Height Data Height above Ground or Tallest Object (including antennas and trees) 40 ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site 40 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe

March  
02



**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received	_____	Type of Project	
Agency Name	<u>County of Riverside</u>	<input type="checkbox"/> General Plan Amendment	
Staff Contact	<u>Mark Cocoran</u>	<input type="checkbox"/> Zoning Amendment or Variance	
Phone Number	_____	<input type="checkbox"/> Subdivision Approval	
Agency's Project No.	<u>CPA-1151, CZ 7872, PP25838-E Am- 36950, PP25837-V</u>	<input type="checkbox"/> Use Permit	
		<input type="checkbox"/> Public Facility	
		<input type="checkbox"/> Other _____	

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. . . . . Completed Application Form
- 1. . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. . . . . Elevations of Buildings - Folded
- 1. . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. . . . . Check for review–See Below

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

- 4.1 Director's Approvals. During the month of October, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Ed Cooper reviewed five non-legislative cases within Compatibility Zones D and E and issued determinations of consistency.

ZAP1060BD15 (Zone D, Bermuda Dunes AIA) pertains to County of Riverside Plot Plan Case No. 25686, a proposal to establish a 28,342 square foot two story medical office building on the southerly 2.01 acres of a four-acre property located at the southeast corner of Washington Street and 41<sup>st</sup> Avenue in the unincorporated community of Bermuda Dunes, and Tentative Parcel Map No. 36837, a proposal to divide the above-referenced four-acre property into two parcels with lot sizes of 1.99 and 2.01 acres. Both the average and single-acre intensity of the proposed building would be consistent with the intensity criteria set by the Countywide Policies for Airport Compatibility Zone D. With a site elevation 37 feet higher than the runway elevation and a building height of 38 feet, FAA Obstruction Evaluation was required for the proposed building. The FAA Obstruction Evaluation Service issued a "Determination of No Hazard to Air Navigation" for Aeronautical Study No. 2015-AWP-7127-OE. ALUC Director Ed Cooper issued a determination of consistency for this Plot Plan and Tentative Parcel Map on October 1, 2015.

ZAP1152MA15 (Zone E, March AIA) pertains to City of Menifee Case No. TTM 2015-165 (Tentative Tract Map No. 36852), a proposal to divide twenty (20) gross acres of land located southerly of Holland Road, westerly of Palomar Road, northerly of Overland Court, and easterly of a southerly straight-line extension of Hanover Lane into 68 single-family residential lots, and City of Menifee Case No. PP 2015-164 (Plot Plan), a proposal to develop a 237-unit apartment complex and a 102-unit senior living facility on 13.6 acres located northerly of Holland Road, westerly of Palomar Road, easterly of Hanover Lane, and southerly of the Menifee campus of Mt. San Jacinto College. The top point elevation of the proposed structures will be less than 100 feet higher than the elevation of the runway at March Air Reserve Base/Inland Port Airport, and the site is located more than 20,000 feet from the runways of all public use airports. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this Tentative Tract Map and Plot Plan on October 5, 2015.

ZAP1153MA15 (Zone E, March AIA) pertains to City of Riverside Case No. P15-0098, (Minor Conditional Use Permit), a proposal to construct a 58 foot tall bell tower enclosing a wireless communication facility within a 640 square foot lease area on a three-acre site located at 105 West Box Springs Road, on the northerly side of Box Springs Road, westerly of Mount Vernon Avenue and easterly of Watkins Drive, on the grounds of St. Andrew's Newman Center. This site is located more than 20,000 feet from the runways at March Air Reserve Base/Inland Port Airport and the runways at all other public use airports, at an elevation that is more than 300 feet lower than the elevation at March. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this Minor Conditional Use Permit on October 6, 2015.

ZAP1154MA15 (Zone D, March AIA) pertains to County of Riverside Plot Plan Case No. 25885, a proposal to construct a 70 foot tall monopine wireless communications facility within a 225 square foot lease area on a 4.89-acre site located at 27304 Nuevo Road, on the northerly side of Nuevo Road, easterly of Dunlap Drive and westerly of Foothill Avenue, in the unincorporated community of Nuevo. The top point elevation of the proposed structure will be less than 100 feet higher than the elevation of the runway at March Air Reserve Base/Inland Port Airport at a distance of more than 20,000 feet from that runway, but the site is located less than 20,000 feet from the runway at Perris Valley Airport. However, the top point elevation (at 1520 feet AMSL) is less than one foot above the Perris Valley Airport runway elevation (at 1413 feet AMSL) for every 100 feet of distance from the runway (14,900 feet). Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this Plot Plan on October 22, 2015.

ZAP1155MA15 (Zones D and E, March AIA) pertains to City of Riverside Case Nos. P15-0610 and P15-0611 (Conditional Use Permit and Design Review), proposals to permit and construct an 87,953 square foot two-story assisted living facility on 5.27 acres located on the northeasterly side of Alessandro Boulevard, westerly of its intersection with Glenhaven Lane. The site is located more than 20,000 feet from the runway at March Air Reserve Base/Inland Port Airport and the runways at all other public-use airports, at an elevation that is more than 300 feet lower than the elevation at March. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this Conditional Use Permit and Design Review on October 27, 2015.

Additionally, as authorized pursuant to ALUC Resolution No. 2015-01, ALUC Director Ed Cooper reviewed a multi-case proposal that included two legislative cases within the portion of the City of Riverside in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and issued a determination of consistency.

ZAP1151MA15 pertains to City of Riverside Case Nos. P13-0263, P13-0264, P14-0769, P15-0158, and P15-0269. P13-0263 is a proposal to amend the City's General Plan land use designation of 7.7 acres located southerly of Van Buren Boulevard and westerly of Little Court from Very Low Density Residential (VLDR) to Commercial (C), while P13-0264 is a proposal to rezone the same property from Single Family Residential, one-half acre minimum lot size and Specific Plan (Orangetrest) (R-1-1/2 acre-SP) to Commercial Retail, Specific Plan (Orangetrest) (CR-SP) or Commercial Retail, Specific Plan (Orangetrest), Building Setback (15 feet from street and adjacent residentially zoned property), and Building Stories (Two-stories) Overlay Zones (CR-SP-X-15-S-2). The associated cases were reviewed concurrently pursuant to Policy 1.5.2(d) of the Countywide Policies, as referenced above. P14-0769 (Design Review) is a proposal to establish a commercial center including one 4,700 square foot and one 6,000 square foot commercial building, a 10,000 square foot day care building, a 10,000 square foot two-story office building, an 8,000 square foot medical office building, and a 2,540 square foot restaurant with drive-thru on the same site, while P15-0158 and P15-0269 are Conditional Use Permits to permit the day care use and the drive-thru. The maximum elevation at the top point of the proposed structures (1717.5 feet AMSL) would be up to 183 feet higher than the elevation of the runway at March Air Reserve Base/Inland Port Airport, but the site is located beyond the 20,000 foot radius from the runway. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued determinations of consistency for the General Plan Amendment, Rezoning, and the associated Design Review and Conditional Use Permits on October 14, 2015.

Copies of these consistency letters and background documents are attached, for the Commission's information.

- 4.2 2016 ALUC Commission Meeting Schedule. Staff has prepared a draft 2016 meeting schedule for the Commission's consideration. Please note that we have not recommended a dark month, given the plethora of ALUC applications.
- 4.3 Blythe Energy Project Phase II Now Sonoran Energy Project. AltaGas Sonoran Energy, Inc. purchased the Blythe II project from the previous owner in 2014 and has filed a Petition with the California Energy Commission (CEC) seeking amendments to the Final Decision for that project, as issued in 2005. AltaGas has also renamed the project "Sonoran Energy Project." Documentation is available at the CEC's webpage for the project (<http://www.energy.ca.gov/sitingcases/sonoran>) (Docket No. 02-AFC-01C).

CEC staff members James Adams and Michael Baron met with ALUC Director Ed Cooper, County Airport Manager Daryl Shippy, and ALUC Principal Planner John Guerin on October 28, 2015 to introduce the project and requested feedback regarding issues of concern to the Airport Manager and to ALUC. They also advised that AltaGas will likely be submitting a proposal for a third combined cycle natural gas energy facility to the north of Blythe Energy Project Phase I. Staff expressed concerns relating to cumulative impacts of thermal plumes, wildlife attractants, and additional transmission lines. Attached please find information included in an environmental scoping meeting notice issued by the CEC in September.

Y:\ALUC\ALUC Administrative Items\Admin. 2015\ADmin Item 11-12-15.doc





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

October 1, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Jay Olivas, Urban Regional Planner IV  
Riverside County Planning Department  
77-588 El Duna Court, Suite H  
Palm Desert, CA 92211

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1060BD15  
Related File No.: PM 36837(Tentative Parcel Map) and PP 25686 (Plot Plan)  
APN: 607-070-018

Dear Mr. Olivas:

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed Tentative Parcel Map No. 36837 proposing to divide the above-referenced four-acre property located at the southeast corner of Washington Street and 41<sup>st</sup> Avenue in the unincorporated community of Bermuda Dunes into two parcels with lot sizes of 1.99 and 2.01 acres and Plot Plan No. 25686 proposing to establish a 28,342 square foot two story medical office building on the southerly 2.01 acre parcel of the Tentative Parcel Map.

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

The site is located within Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area (AIA). The proposed building is anticipated to accommodate a maximum of 179 people, resulting in an average intensity of 89 persons per acre within the 2.01-acre site area, which would be consistent with the Compatibility Zone D average acre criterion of 100 people. The proposed building would be entirely located within a single-acre area (210 feet by 210 feet area), but the anticipated maximum of 179 people is consistent with the Compatibility Zone D single-acre criterion of 300 people.

[www.rcaluc.org](http://www.rcaluc.org)

Based on the distance of the parcel to the end of the runway at 6,240 feet and the elevation of the westerly end of the runway at 73 feet above mean sea level (AMSL), FAA Obstruction Evaluation review would be required for any structure with a top point elevation exceeding 135.4 feet AMSL. The proposed finished floor elevation is 109.9 feet AMSL and the maximum building height proposed is 38 feet for a total elevation of 147.9 feet AMSL. Therefore, FAA Obstruction Evaluation review for height/elevation reasons was required. The proposed building was submitted for FAA obstruction evaluation review and assigned Aeronautical Study No. (ASN) 2015-AWP-7127-OE. The FAA Obstruction Evaluation Service has issued a “Determination of No Hazard to Air Navigation” for the ASN.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable.
2. The Plot Plan proposes the establishment of a two-story medical office building. The following uses are not included in the Plot Plan and shall be prohibited on this site, in accordance with Note 4 on Table 4 of the Western Coachella Valley Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the existing and proposed buildings thereon.
4. The Federal Aviation Administration has conducted an aeronautical study of the proposed building (Aeronautical Study No. 2015-AWP-7127-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
5. The maximum height of the proposed structure, including all roof-mounted appurtenances (if any), shall not exceed 38 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 148 feet above mean sea level.
6. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.

**AIRPORT LAND USE COMMISSION**

**October 1, 2015**

7. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
8. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.
9. No detention basins are depicted on the plans submitted to ALUC. Any detention basins installed on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB:bks

Attachments: Notice of Airport in Vicinity

cc: Armstrong & Brooks Consulting Engineers – Attn.: Dan Moussavi (representative)  
Omni Washington Street Medical, LLC – Attn.: Kip Dubbs (property owner)  
Jeff Porras, Manager, Bermuda Dunes Executive Airport  
ALUC Case File

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1060BD15\ZAP1060BD15LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 2601 Meacham Boulevard  
 Fort Worth, TX 76193

Aeronautical Study No.  
 2015-AWP-7127-OE

Issued Date: 07/21/2015

Kip Dubbs  
 Omni Washington Street Medical, LLC  
 23187 La Cadena Dr., Suite 102  
 Laguna Hills, CA 92653

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building JFK Medical Facility
Location:	Bermuda Dunes, CA
Latitude:	33-44-55.00N NAD 83
Longitude:	116-18-10.00W
Heights:	110 feet site elevation (SE)
	38 feet above ground level (AGL)
	148 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 01/21/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

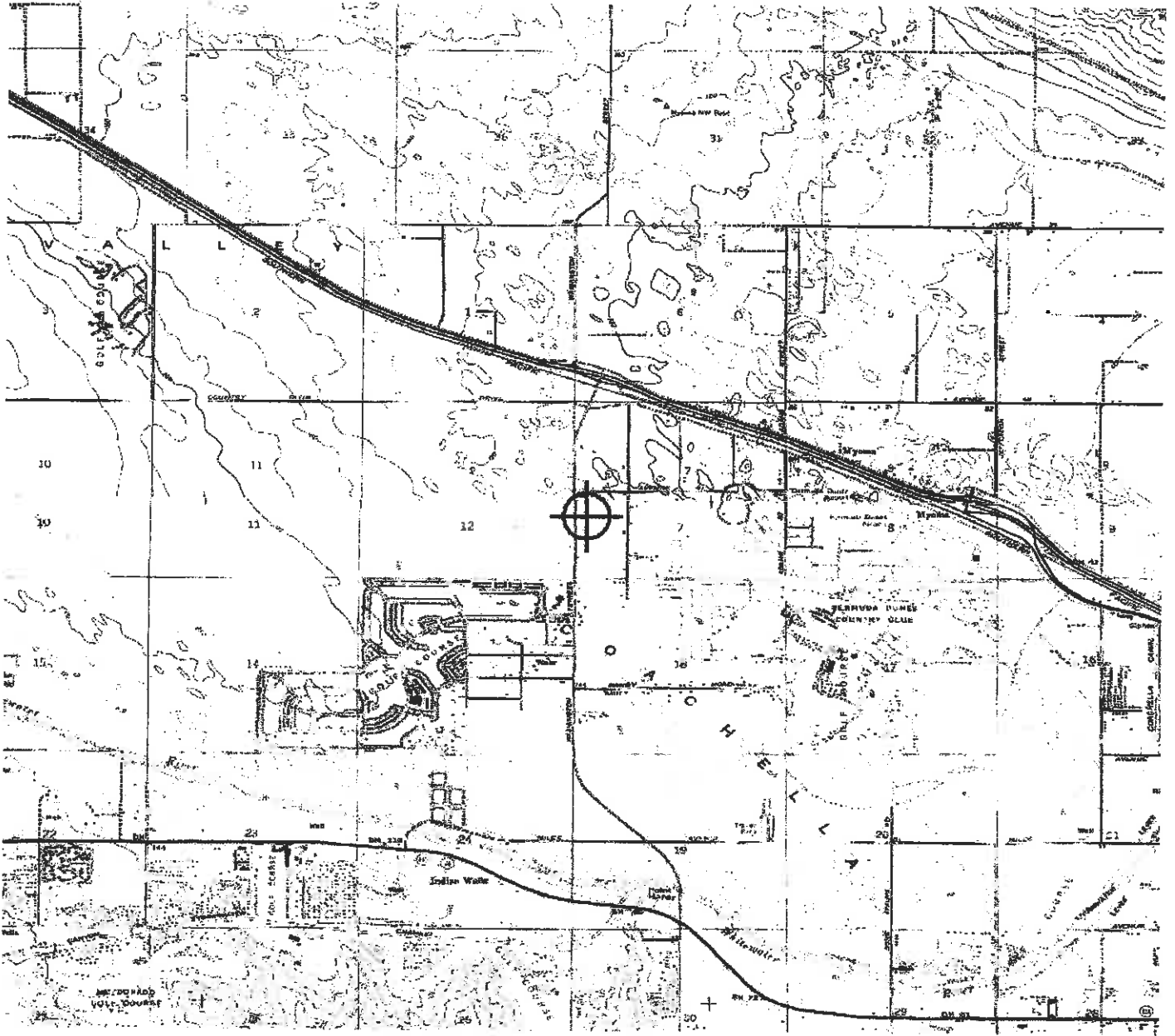
Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

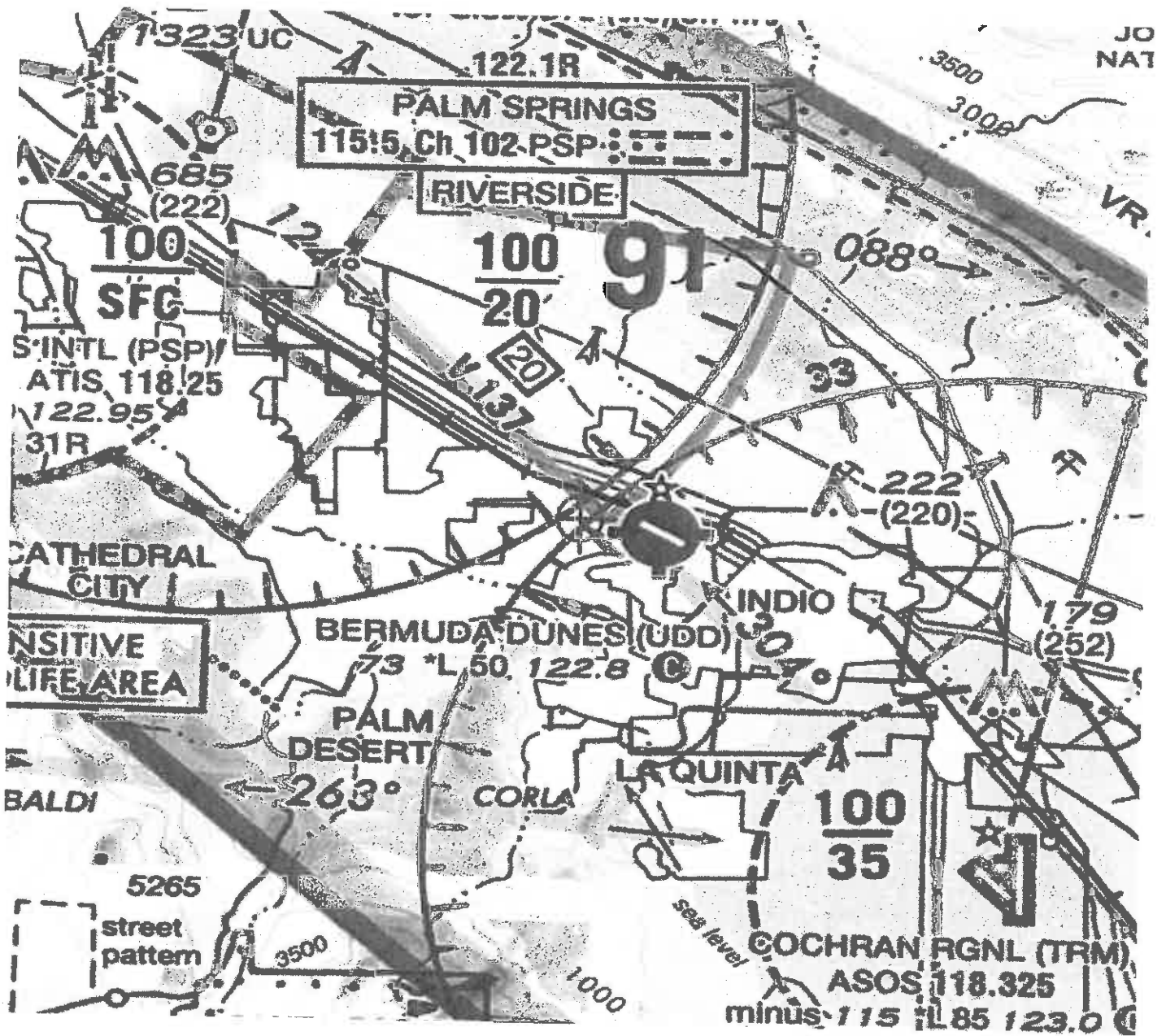
If we can be of further assistance, please contact our office at (425) 227-2625. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-7127-OE.

**Signature Control No: 257011397-258476459**  
Paul Holmquist  
Technician

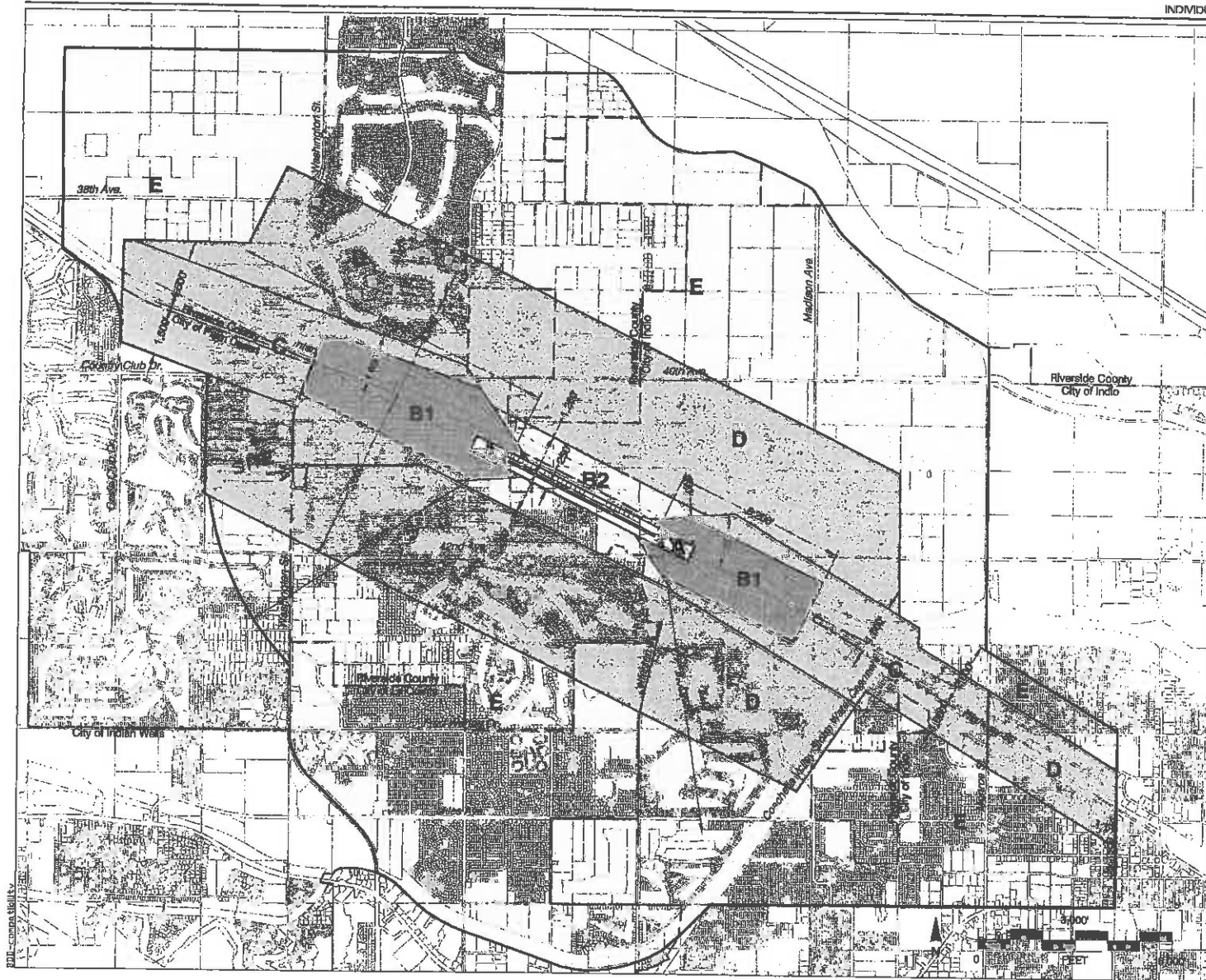
( DNE )

Attachment(s)  
Map(s)









**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- City Limits

**Note**

Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

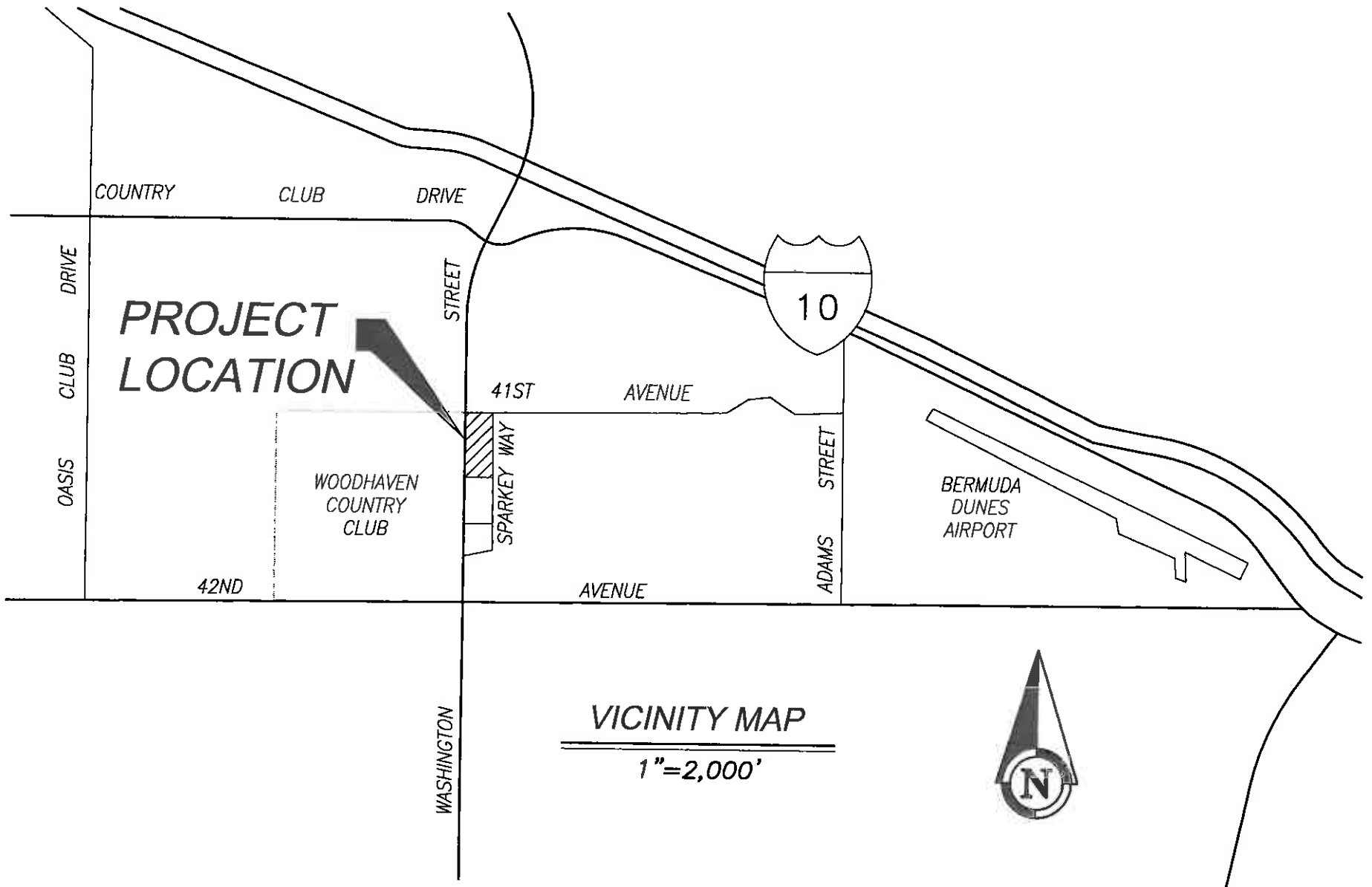
See Chapter 2, Table 2A for compatibility criteria associated with this map.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
*(Adopted December 2004)*

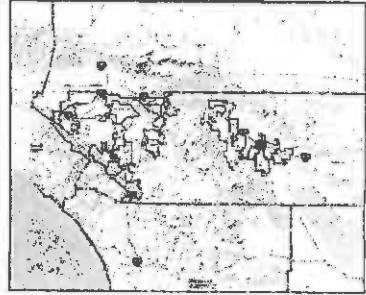
Map BD-1

**Compatibility Map**  
**Bermuda Dunes Airport**

















# VICINITY MAP JFK MEDICAL FACILITY



# My Map



### Legend

-  RCLIS Parcels
-  Cetap
-  roadsanno
-  highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
-  hydrography
-  waterbodies
-  Lakes
-  Rivers



0 1,536 3,073 Feet



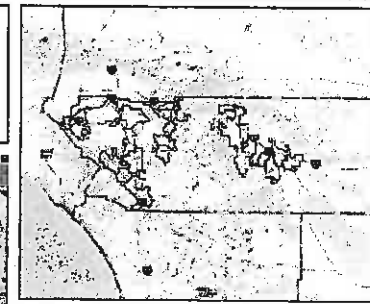
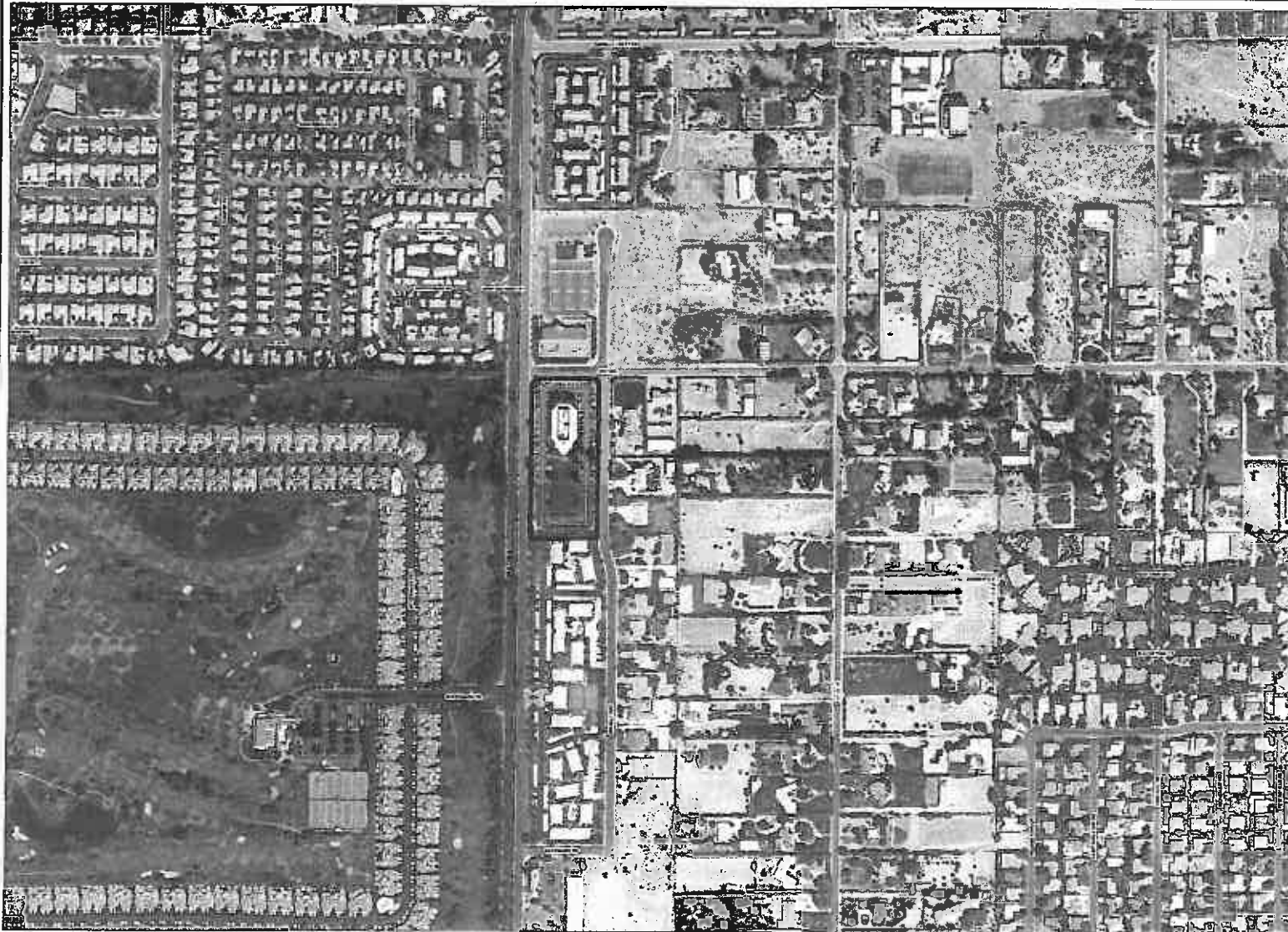
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/1/2015 11:54:08 AM

















© Riverside County TLMA GIS

### Notes

# My Map



## Legend

-  RCLIS Parcels
-  Cetap
-  roadsanno
-  highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
-  hydrographylines
-  waterbodies
-  Lakes
-  Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

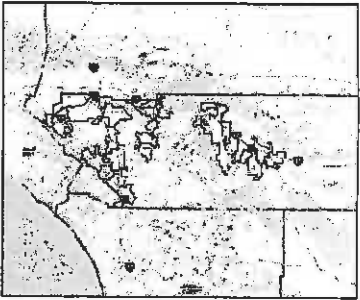
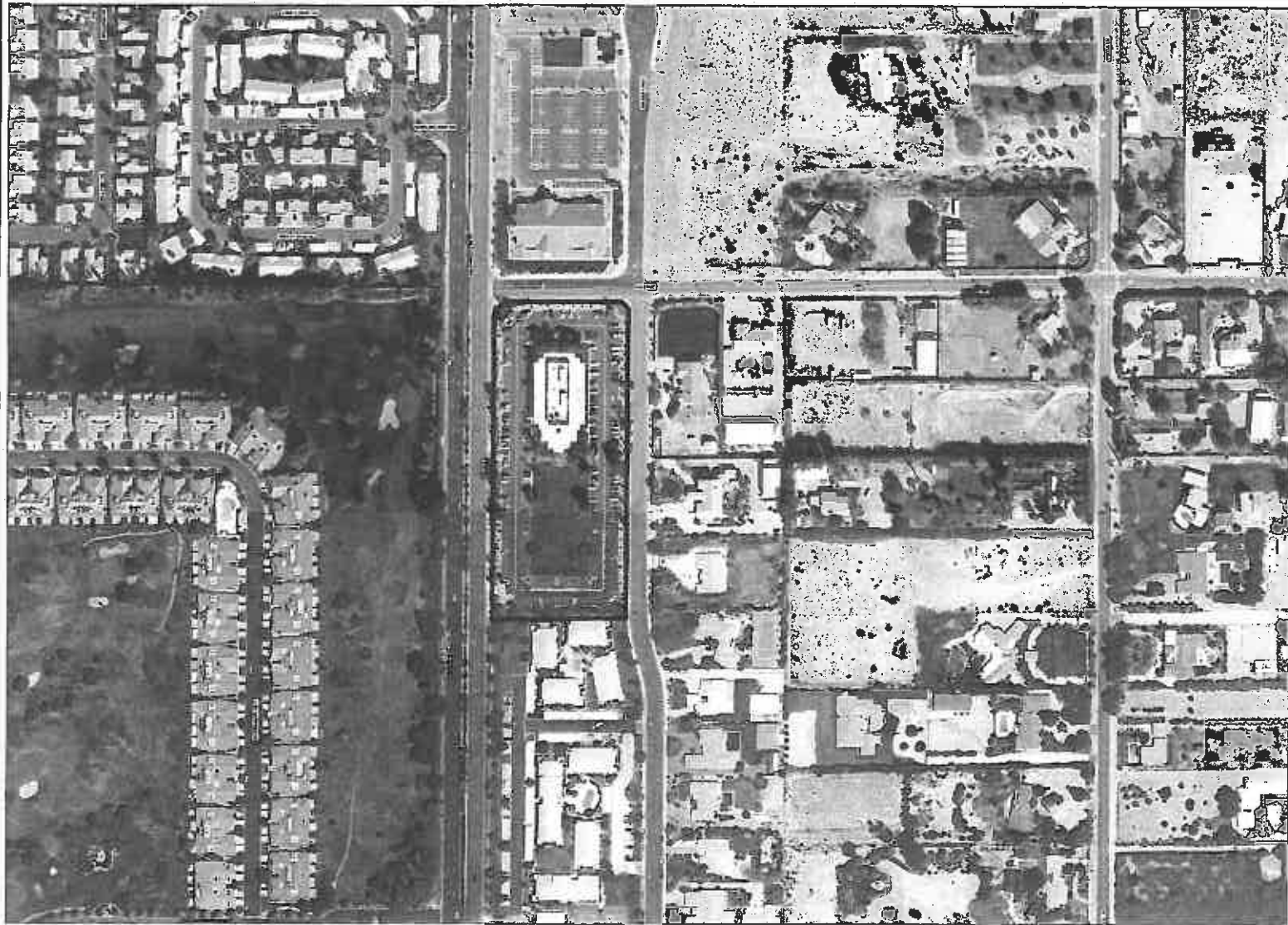
REPORT PRINTED ON... 10/1/2015 11:56:53 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Cemap
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 384 768 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/1/2015 11:58:04 AM

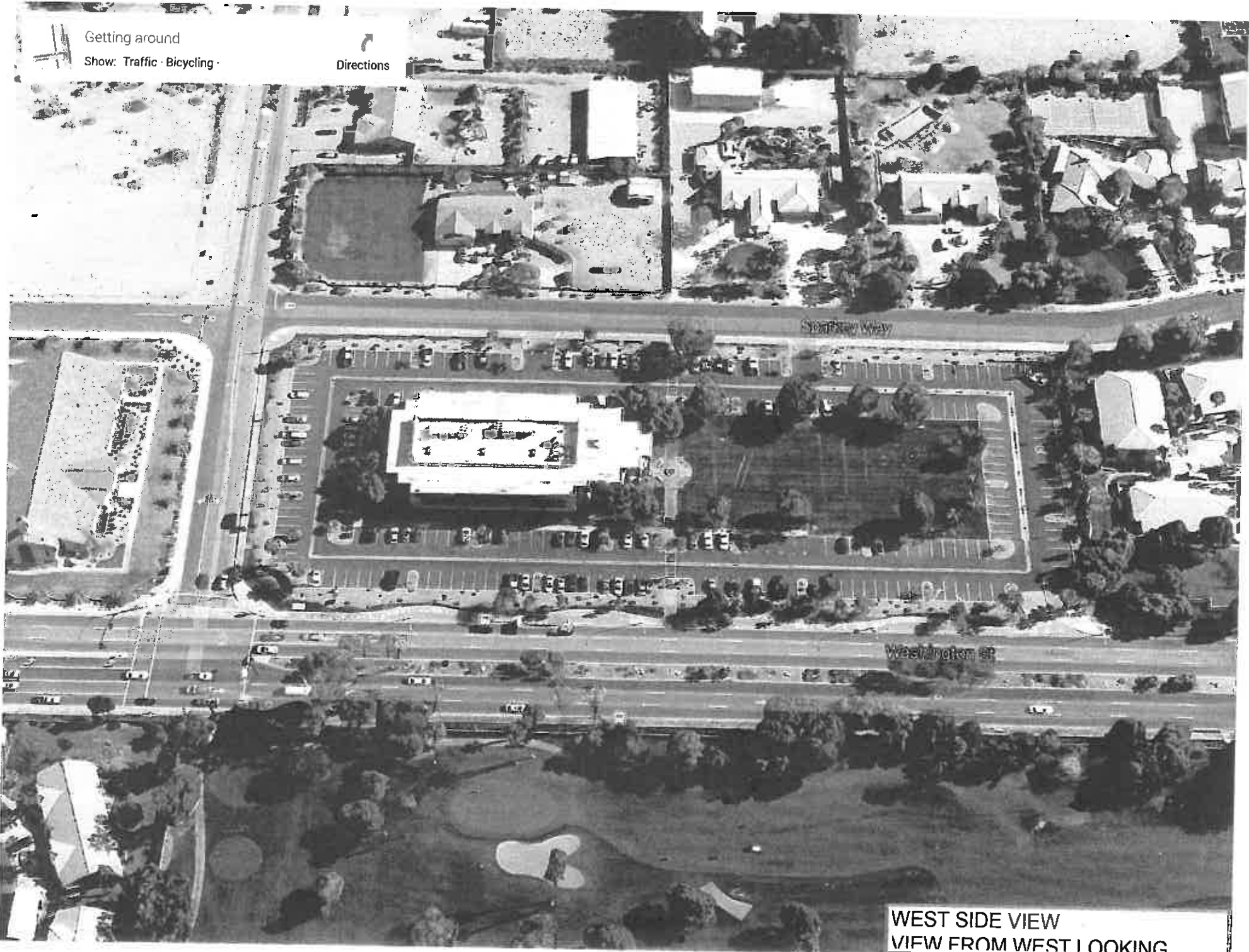
© Riverside County TLMA GIS

## Notes

Getting around

Show: Traffic · Bicycling ·

Directions



WEST SIDE VIEW  
VIEW FROM WEST LOOKING











PAGE BREAK



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



October 5, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Ryan Fowler, Associate Planner  
City of Menifee Planning Division  
29714 Haun Road  
Menifee, CA 92586

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1152MA15  
Related File No.: TTM 2015-165 (Tentative Tract Map No. 36852), PP 2015-164 (Plot Plan)  
APN: 364-070-034; 364-070-047; 372-040-043; 372-040-044

Greg Pettis  
Cathedral City

Dear Mr. Fowler:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed Tentative Tract Map No. 36852 (City of Menifee Case No. TTM 2015-165), a proposal to divide twenty (20) gross acres of land located southerly of Holland Road, westerly of Palomar Road, northerly of Overland Court, and easterly of a southerly straight-line extension of Hanover Lane in the City of Menifee into 68 single-family residential lots with a minimum lot size of 7,200 square feet, and City of Menifee Case No. PP 2015-164, a proposal to develop a 237-unit apartment complex and a 102-unit senior living facility on 13.6 acres located northerly of Holland Road, westerly of Palomar Road, easterly of Hanover Lane, and southerly of the Menifee campus of Mt. San Jacinto College.

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lennon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, residential density is not restricted.

[www.rcaluc.org](http://www.rcaluc.org)

The site is located more than 20,000 feet from the runways at all public-use airports at an elevation that is below the elevation of the runway at March Air Reserve Base/Inland Port Airport (March ARB/IP). The top point elevation of the proposed structures will be less than 100 feet higher than the elevation of the runway at March ARB/IP. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced Tentative Tract Map and Plot Plan **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:



**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to tenants of the apartments and senior living units.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

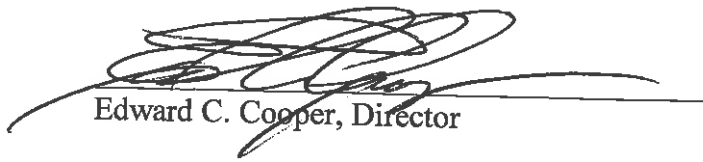
**AIRPORT LAND USE COMMISSION**

**October 5, 2015**

If you have any questions, please contact John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

cc: Eric Flodine, Strata Holland LLC (applicant/owner/payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1152MA15\ZAP1152MA15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,835 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

③ March JPA: March Business Center/Meridian

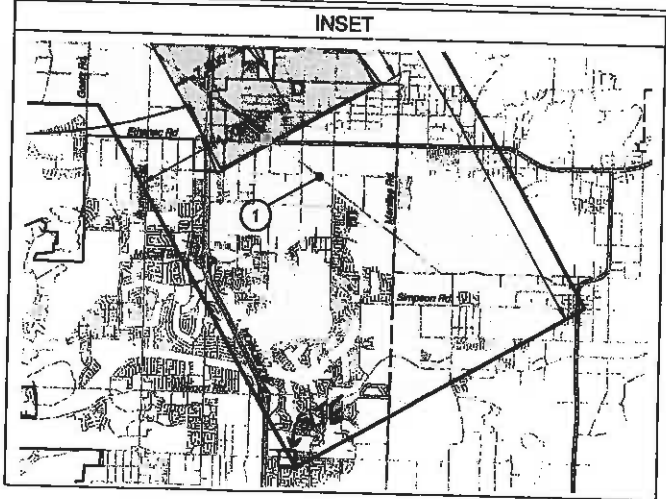
④ Perris: Harvest Landing

⑤ Perris: Park West

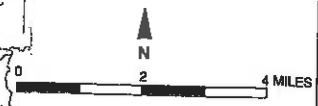
⑥ Moreno Valley: Affordable Housing

⑦ March JPA: Ben Clark Training Center

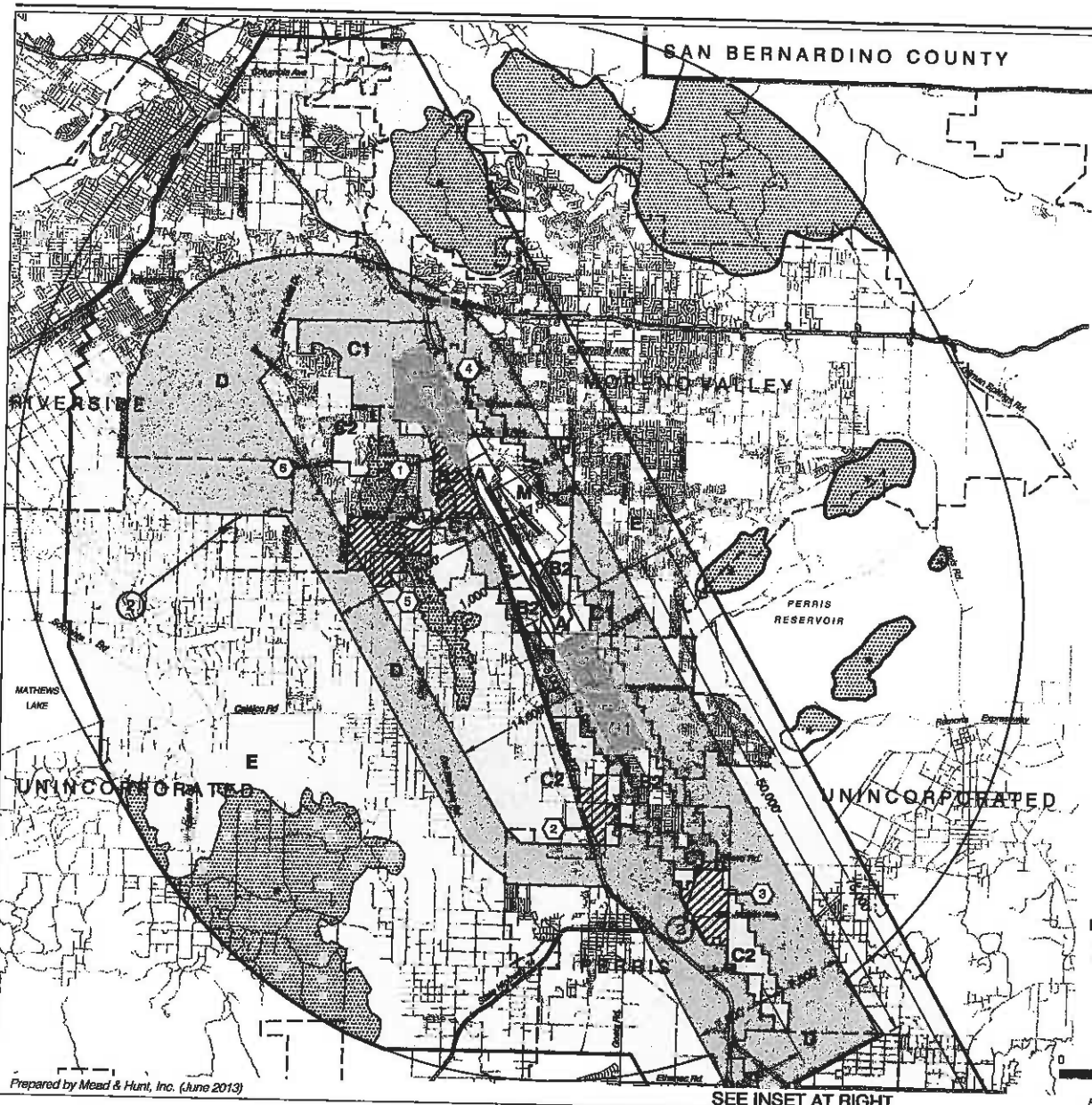
⑧ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013



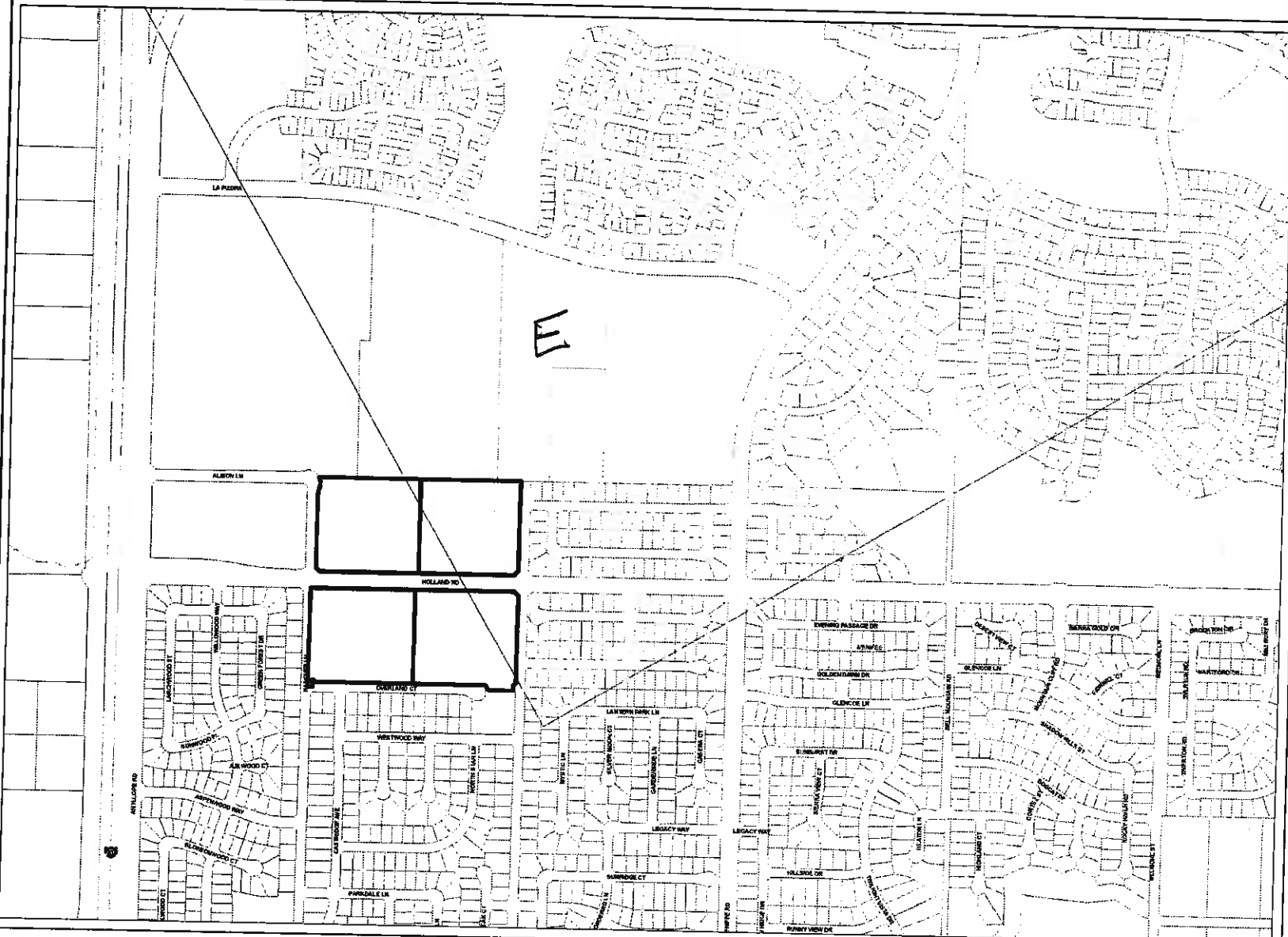
Prepared by Mead & Hunt, Inc. (June 2013)

**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



# My Map



### Legend

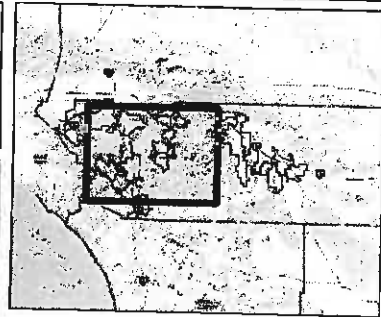
- RCLIS Parcels
- Cetap**
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT

0 1,127 2,255 Feet

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

### Notes

# My Map



## Legend

- Runways
- adjacent\_highways
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- ▣ counties
- cities



0 36,073 72,146 Feet



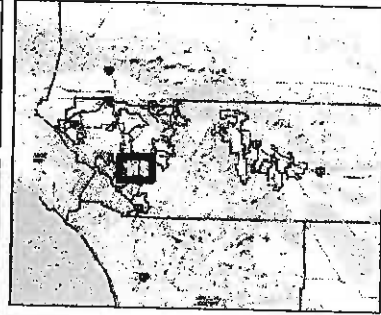
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/5/2015 12:52:28 PM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

— Runways



0 9,018 18,036 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

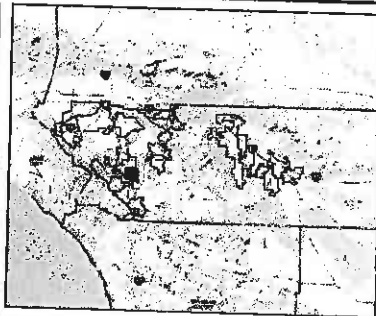
REPORT PRINTED ON... 10/5/2015 12:53:58 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

— Runways



0 2,255 4,509 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

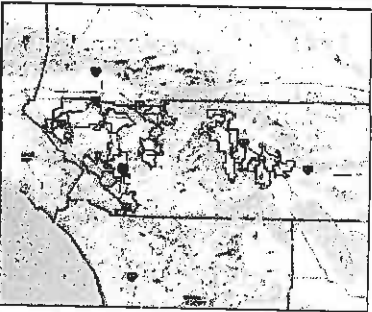
REPORT PRINTED ON... 10/5/2015 12:55:12 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Cetap
-  Runways



0 1,127 2,255 Feet

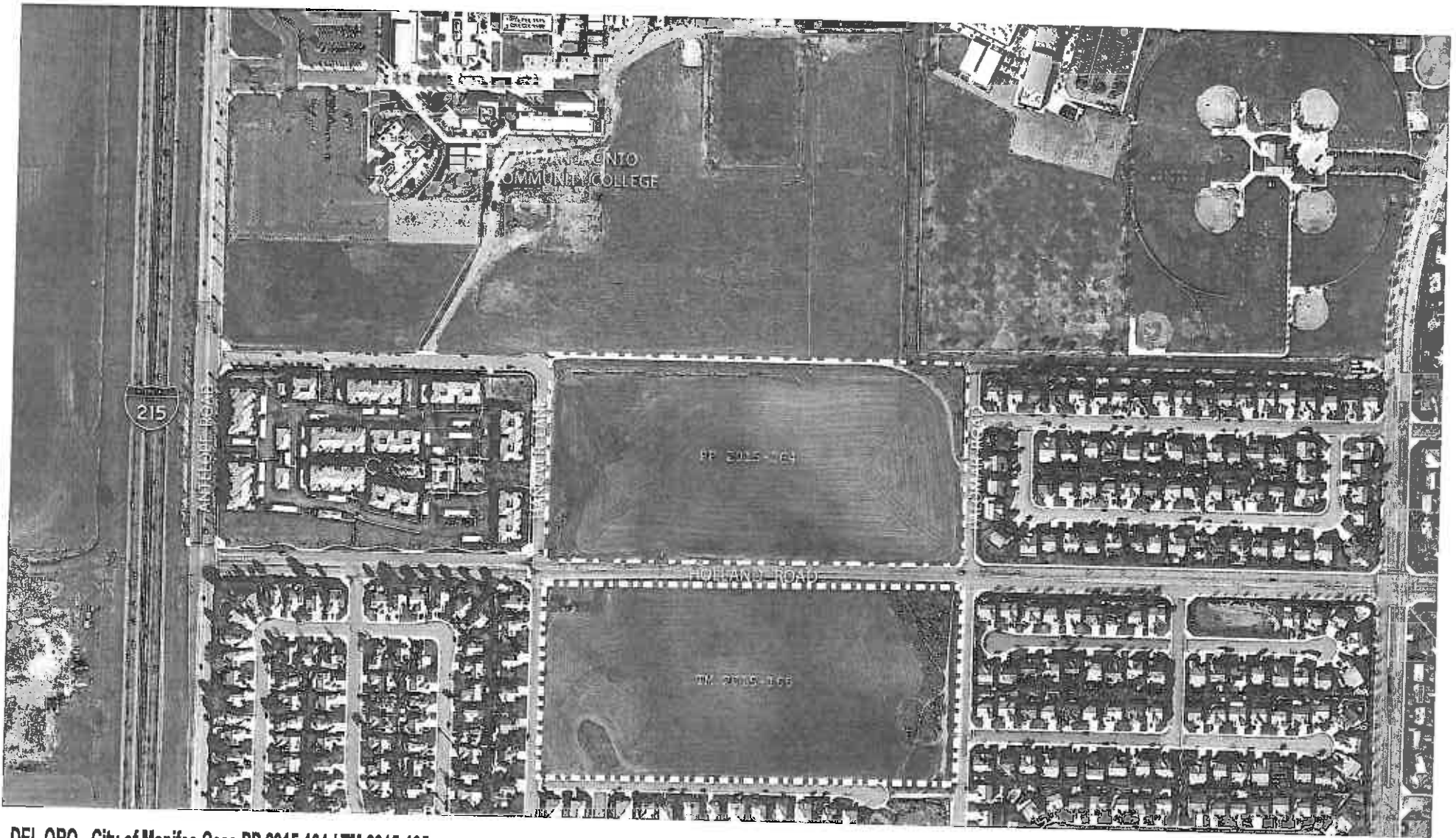


**"IMPORTANT"** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/5/2015 12:57:02 PM

© Riverside County TLMA GIS

## Notes



**DEL ORO - City of Menifee Case PP 2015-164 / TM 2015-165**



**CONTEXT AERIAL**

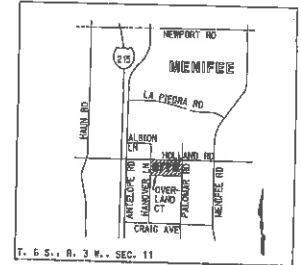
**MENFEE, CALIFORNIA**  
KITV 2015-0706

NOVEMBER 2014

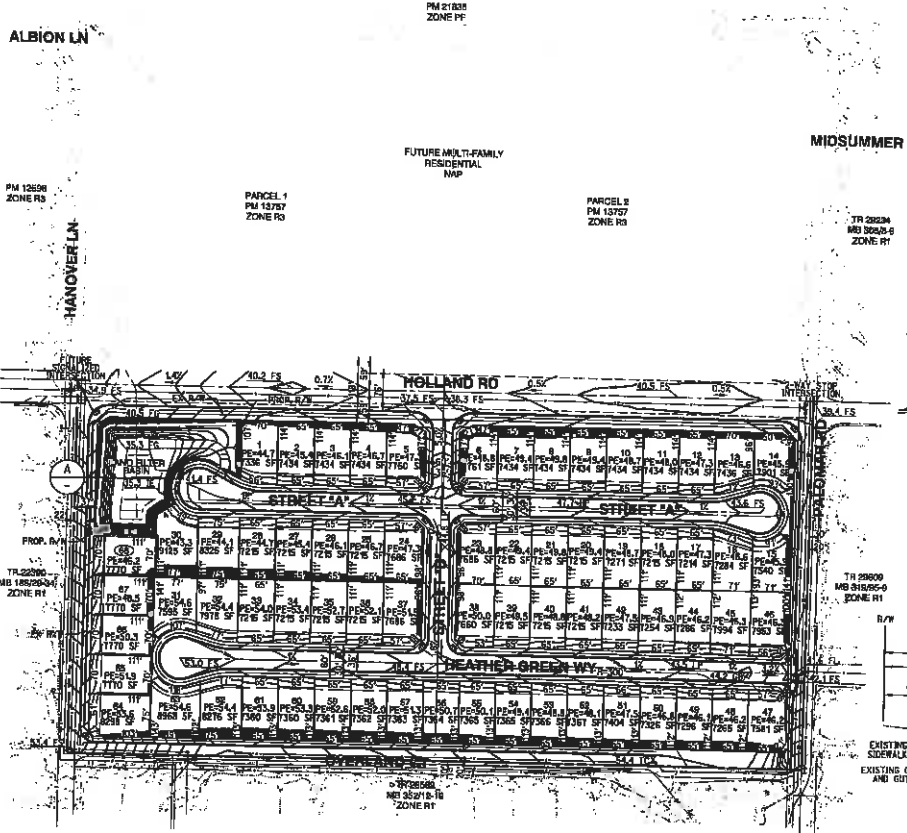
17902 Fitch  
Irvine, CA 92614  
949.851.2133  
ktgv.com

10/2014

IN THE CITY OF MENEFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TENTATIVE TRACT 36852**  
 APN'S: 372-040-043, 372-040-044  
 JULY 16, 2015



T. 6 S., R. 3 W., SEC. 11  
**VICINITY MAP**  
 N.T.S.



**LEGAL DESCRIPTION**  
 PARCELS 3 AND 4 AND LETTERED LOTS B, E, F, H, LAND J OF PARCEL MAP 13757 ON FILE IN BOOK 83, PAGE 34 OF PARCEL MAPS IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

**GENERAL NOTES**

- EXISTING ZONING: R1
- EXISTING LAND USE: 2-1-SR
- EXISTING SURROUNDING LAND USE: 2-1-SR, 5-1-SR, 20-1-24R
- PROPOSED ZONING: R1
- PROJECT LAND USE: 2-1-SR
- PROJECT ACREAGE: 20.07 ACROSS, 16.4 NET
- THOMAS BRUS MAP 2009 SAN BERNARDINO/RIVERSIDE COUNTIES, PAGE 866, GRID F4
- SCHOOL DISTRICT: MENEFEE UNION AND PERDIS UNION HIGH
- OVERLAP WITHIN THE RESIDENTIAL LOTS OF THIS TENTATIVE TRACT MAP BOUNDARY
- WATER QUALITY MEASURES ARE DESCRIBED IN PRELIMINARY WATER QUALITY MANAGEMENT PLAN.
- WATER QUALITY BASINS TO BE MAINTAINED BY THE HOA.

**ESTIMATED GRADING QUANTITIES**

ESTIMATED CUT: 24,000 C.Y.  
 ESTIMATED FILL: 36,000 C.Y.  
 ESTIMATED IMPORT: 36,000 C.Y.

NOTE: THE GRADING QUANTITIES SHOWN HEREIN ARE RAW QUANTITIES FOR PERMIT PURPOSES ONLY AND ARE NOT TO BE USED FOR FINAL PAY QUANTITIES.

**OWNER/DEVELOPER**  
 STRATA HOLLAND, LLC  
 4370 LA JOLLA VILLAGE DRIVE  
 SAN DIEGO, CA 92122  
 CONTACT: ERIC FLODINE  
 PHONE: (619) 475-2243  
 FAX: (619) 546-4775  
 EMAIL: ERIC@STRATAHQ.COM

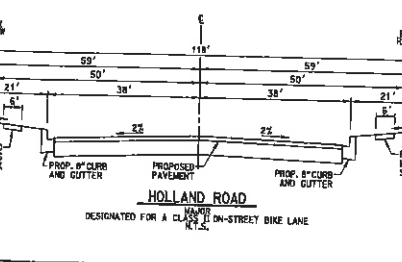
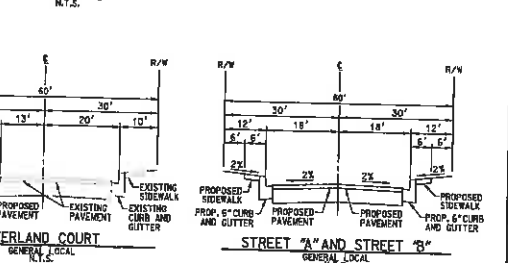
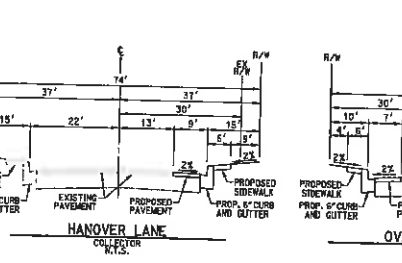
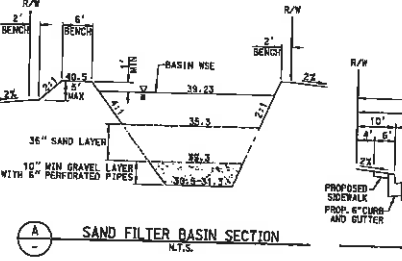
**ENGINEER**  
 ROCK ENGINEERING COMPANY  
 1770 BIRVA AVENUE, SUITE 100  
 RIVERSIDE, CA 92507  
 CONTACT: MATTHEW SMITH  
 PHONE: (951) 782-0723  
 FAX: (951) 782-0723  
 EMAIL: MATH@ROCKENGINEERING.COM

**UTILITY PURVEYORS**

SOUTHERN CALIFORNIA GAS COMPANY  
 WATER EASTERN MUNICIPAL WATER DISTRICT  
 FLOOD CONTROL/RIVERSIDE COUNTY FLOOD CONTROL DISTRICT  
 ELECTRICITY/SOUTHERN CALIFORNIA Edison  
 TELEPHONE/VERIZON  
 TELEVISION/TIME WARNER CABLE  
 TRANSPORTATION/ DRAINAGE/CITY OF MENEFEE

**LEGEND**

TRACT MAP BOUNDARY	---
CENTERLINE	---
RIGHT-OF-WAY LOT LINE	---
PROPOSED CURB	---
EXISTING EASEMENT	---
BLOCK WALL	---
PROPOSED STORM DRAIN	---
PROPOSED WATER	---
PROPOSED SEWER/STORM	---
CENTERLINE RADIUS	R=50'
FINISHED SURFACE	---
GRADE BREAK	---
STREET GRADE	---
LAST LOT NUMBER	---



**LOT TABULATIONS**

NUMBER OF RESIDENTIAL LOTS: 88  
 DENSITY: 3.4 DW/AC  
 MIN. LOT SIZE: 7,514 SF  
 MAX. LOT SIZE: 9,191 SF  
 AVG. LOT SIZE: 7,923 SF

	<b>ENGINEER OF WORK</b>			<b>PRELIMINARY</b>		NOT FOR CONSTRUCTION
	RICHARD C. O'NEIL	P.C.E. 83845		DATE	DATE	
	<b>LAND SURVEYOR</b>		WILLIAM HERNAL L.S. 8805		DESIGNED BY: [ ] CHECKED BY: [ ] APPROVED BY: [ ]	





PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

October 6, 2015

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

**Director**  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Larron St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Candice Assadzadeh, Assistant Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1153MA15  
Related File No.: P15-0098 (Minor Conditional Use Permit)  
APN: 251-253-017

Dear Ms. Assadzadeh:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed P15-0098 (Minor Conditional Use Permit), a proposal to construct a 58 foot tall bell tower enclosing a wireless communications facility within a 640 square foot lease area on a 3.0 acre site located at 105 W. Big Springs Road, on the northerly side of Big Springs Road, westerly of Mount Vernon Avenue and easterly of Watkins Drive, in the City of Riverside.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, non-residential intensity is not restricted.

The elevation of Runway 14-32 at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). The site has an existing elevation of approximately 1125 feet AMSL. The project proposes a maximum structure height of 58 feet, for a total maximum elevation of 1183 feet AMSL, which is 352 feet below the runway elevation. Additionally, the site is located more than 20,000 feet from the runway at March Air Reserve Base/Inland Port Airport and runways at all other airports. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons was not required.

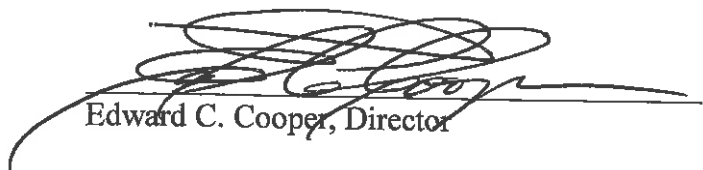
As ALUC Director, I hereby find the above-referenced Minor Conditional Use Permit **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses are prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including, but not limited to, any new landscaping utilizing water features, composting operations, trash transfer stations that are open on one or more sides, and recycling centers containing putrescible wastes.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers and/or lessees of the property and tenants of the building on-site.
4. No new detention basins are proposed through this application. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549 or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

**AIRPORT LAND USE COMMISSION**

**October 6, 2015**

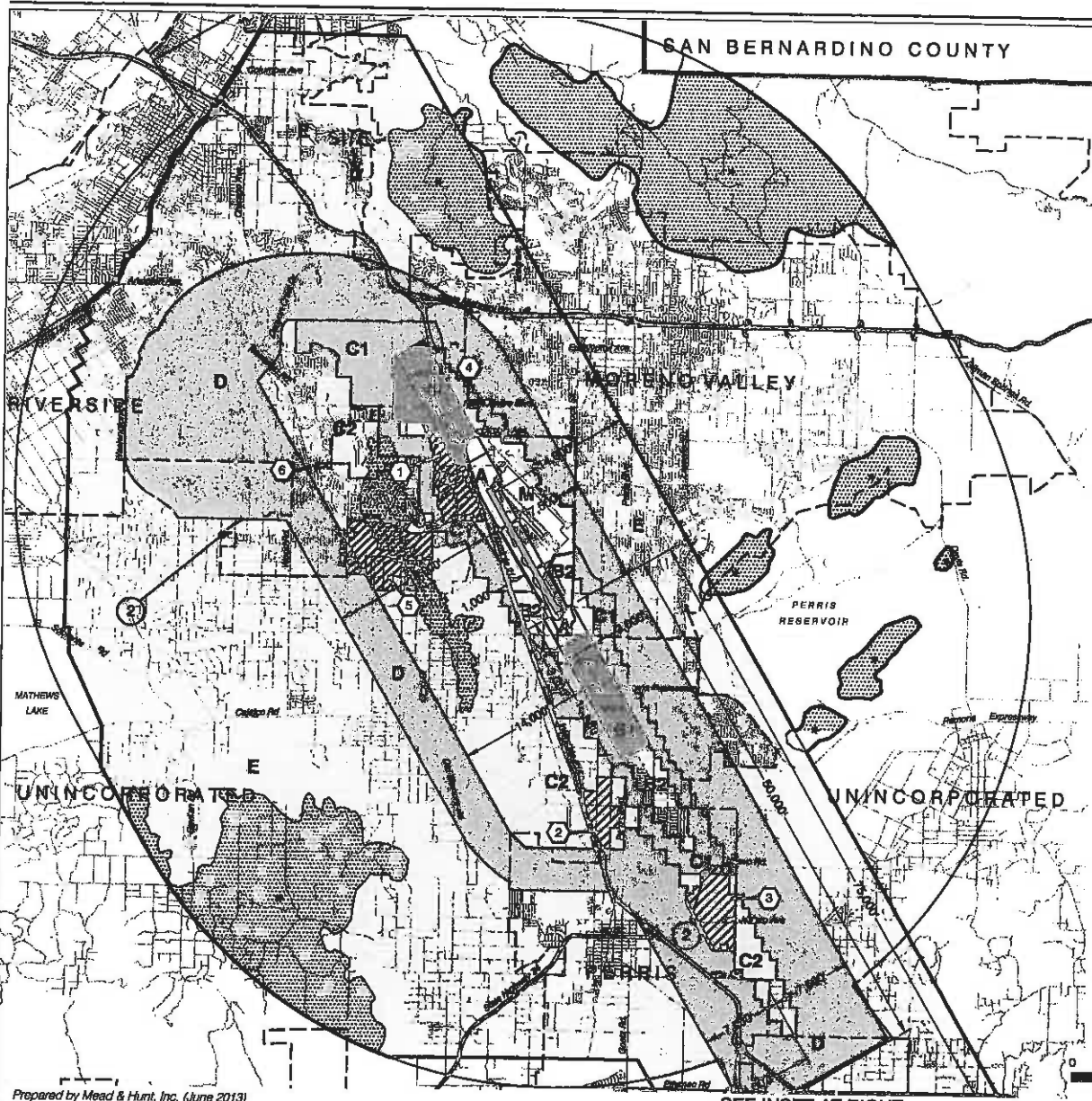
cc: Andrea Urbas, Cortel, Inc. – Redlands (project representative)  
Diocese of San Bernardino (landowner)  
Dan Davis, Cortel, Inc. – San Diego (payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1153MA15\ZAP1153MA15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**LEGEND**

**Compatibility Zones**

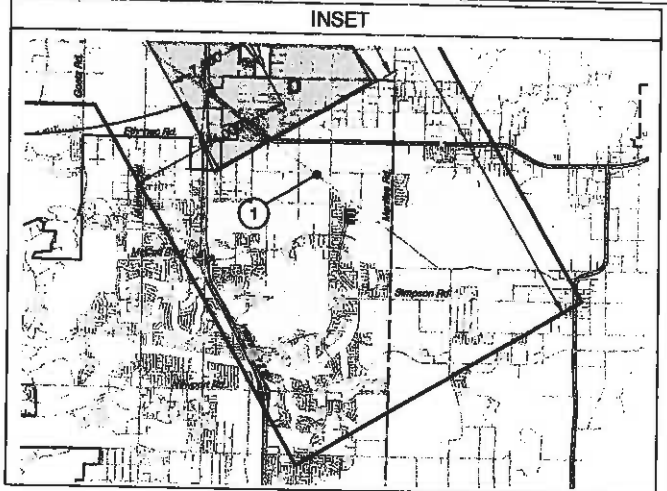
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

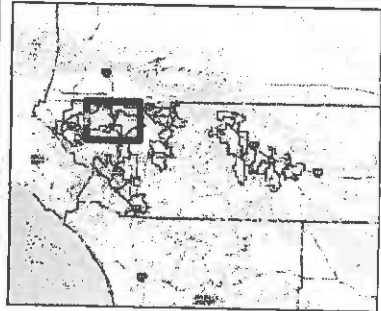
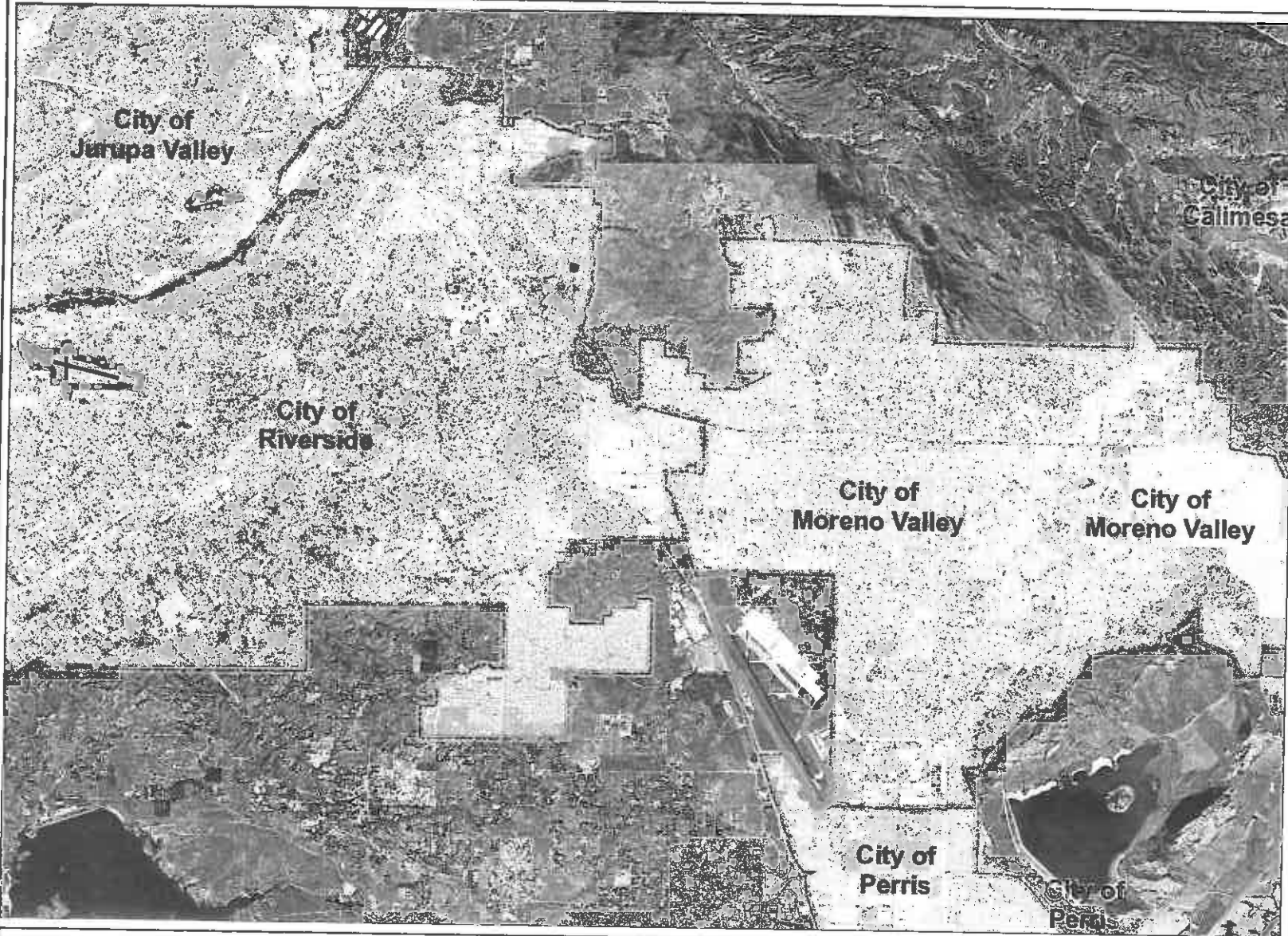
Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries
-  Cities



0 14,832 29,664 Feet



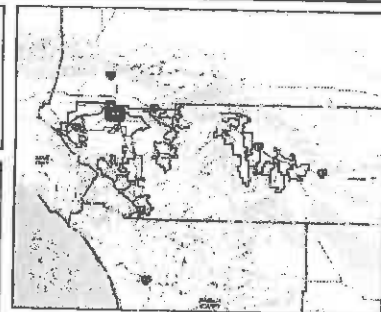
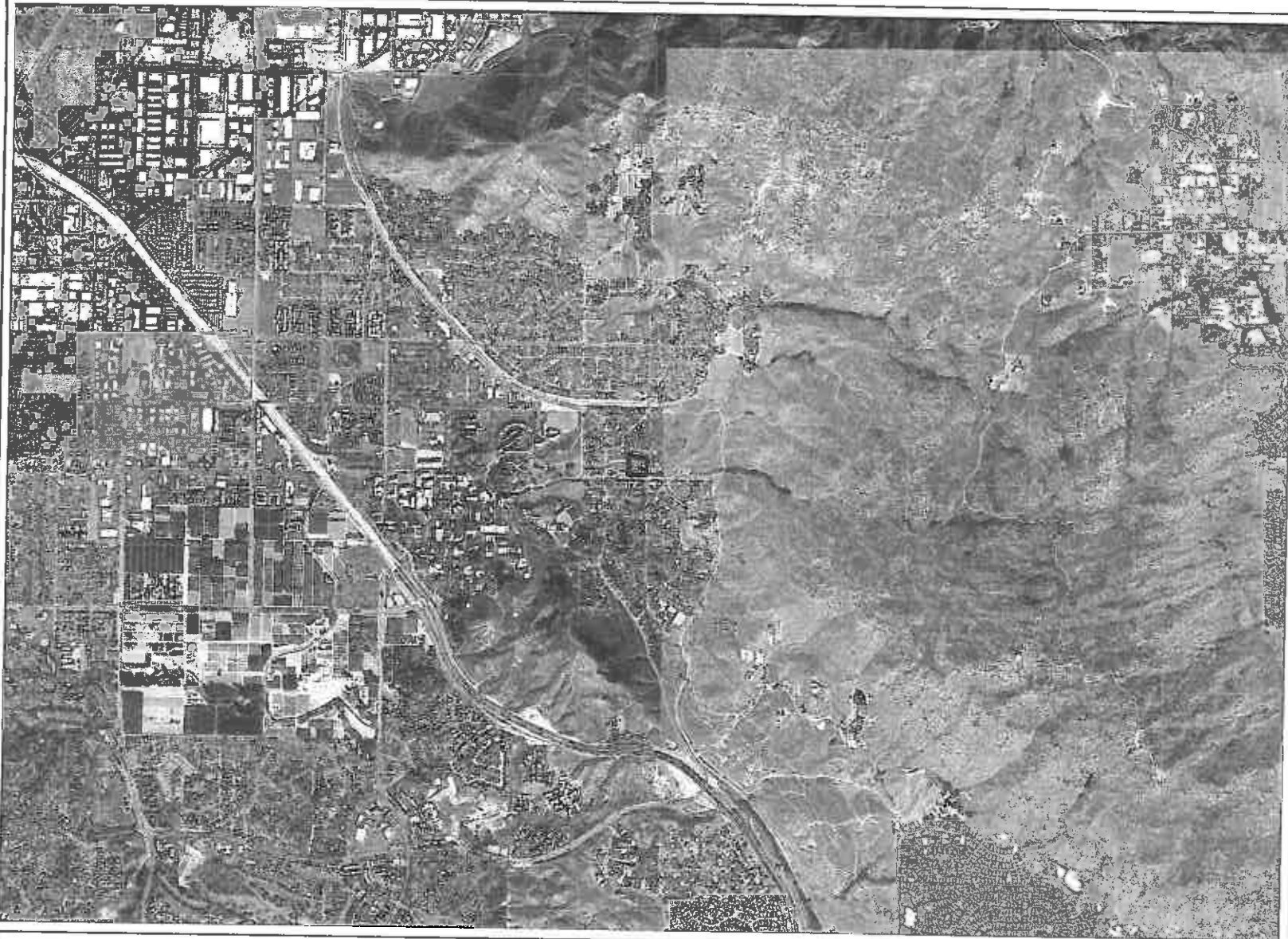
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/6/2015 3:15:56 PM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

-  Airports
-  Runways



0 3,708 7,416 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

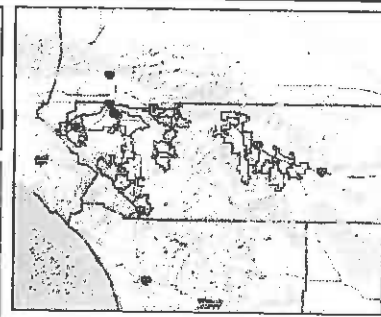
REPORT PRINTED ON... 10/6/2015 3:18:29 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  Runways



0

927

1,854 Feet



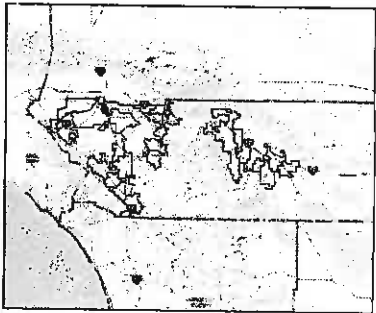
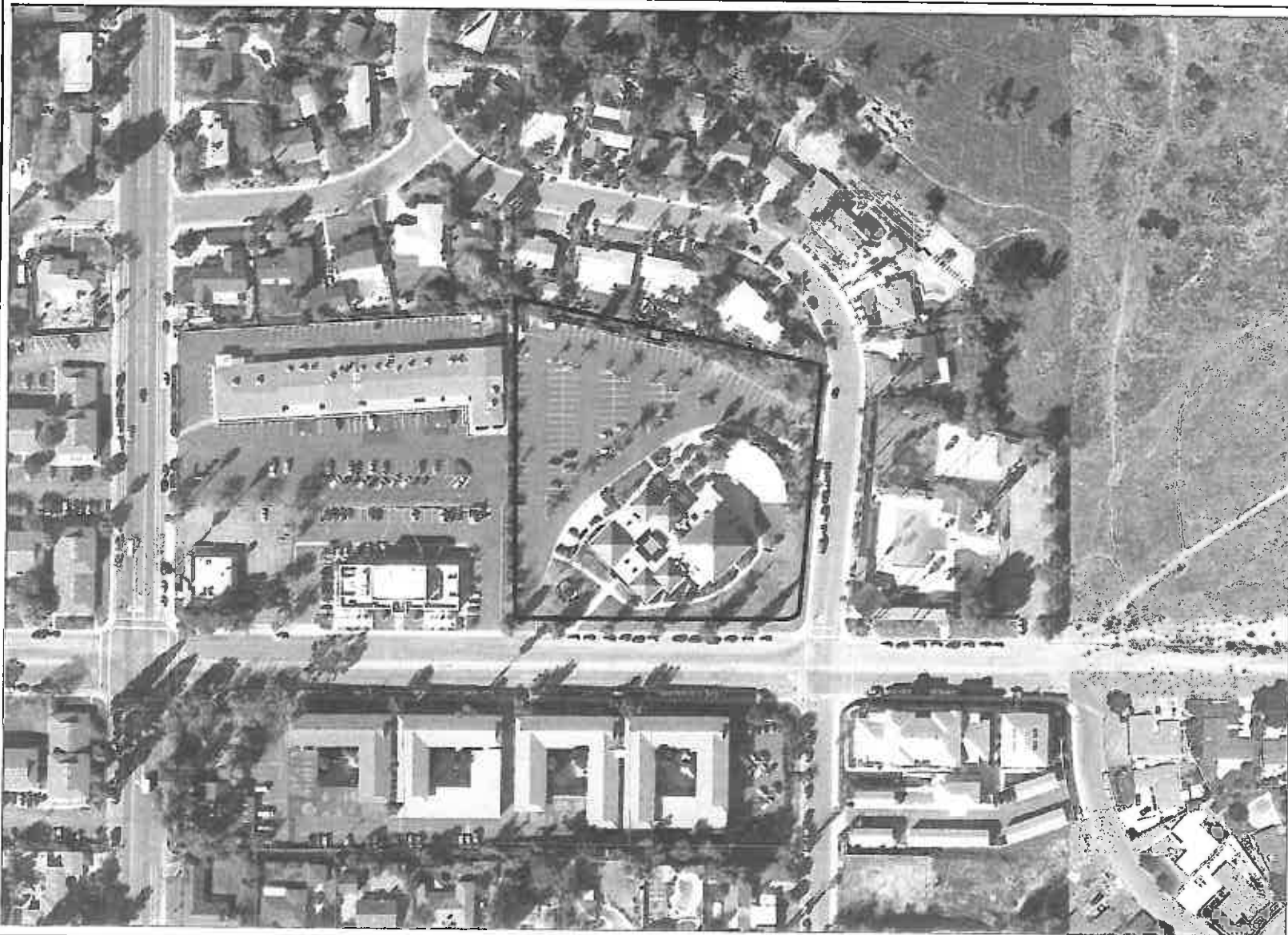
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/6/2015 3:19:48 PM

© Riverside County TLMA GIS

## Notes

# My Map



## Legend

-  RCLIS Parcels
-  Airports
-  Runways



0

232

464 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/6/2015 3:20:55 PM

© Riverside County TLMA GIS

## Notes



**ENGINEERING**

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THE FOLLOWING CODES.

- 2013 CALIFORNIA BUILDING CODE, TITLE 24 PART 2
- 2013 CALIFORNIA ADMINISTRATIVE CODE, TITLE 24 PART 1
- 2013 CALIFORNIA ELECTRICAL CODE, TITLE 24 PART 4
- 2013 CALIFORNIA MECHANICAL CODE, TITLE 24 PART 3
- 2013 CALIFORNIA PLUMBING CODE, TITLE 24 PART 5
- 2013 CALIFORNIA FIRE CODE, TITLE 24 PART 6
- 2013 CALIFORNIA FIRE CODE, TITLE 24 PART 6
- 2009 NFPA 101, LIFE SAFETY CODE
- 2010 NFPA 72, NATIONAL FIRE ALARM CODE
- 2010 NFPA 13, SPRINKLER CODE
- CITY / COUNTY ORDINANCES

**PROJECT DESCRIPTION**

THE PROJECT CONSISTS OF THE FOLLOWING:

- (1) 58'-0" HIGH BELL TOWER
- (2) RRU's
- (3) 4'-0" PANEL ANTENNAS (8) PANEL ANTENNAS AT 45' RAD CENTER AND (8) PANEL ANTENNAS AT 38' RAD CENTER
- (1) 4'-0" PARABOLIC ANTENNA
- (1) STANDBY GENERATOR WITH FUEL TANK
- (5) OUTDOOR EQUIPMENT CABINETS
- (3) GPS ANTENNAS
- 8' CHG WALL WITH WROUGHT IRON SECURITY LID (BRICK TO MATCH EXISTING BUILDING)
- CONNECTION AS REQUIRED FOR POWER AND TELCO SERVICES
- PROPOSED 16'x40' VERIZON WIRELESS LEASE AREA (940 SQ)

**SITE INFORMATION**

PROPERTY OWNER: ROMAN CATHOLIC BISHOP OF SB  
1201 HIGHLAND AVENUE  
SAN DIEGO, CA 92104  
CONTACT: MARY DYAL  
CONTACT NUMBER: (619) 482-8761

TOWER OWNER: VERIZON WIRELESS  
15505 SAND CANYON AVE.  
BLDG. 10 1st FL.  
CORONA, CA 92618

SITE CONTACT: VERIZON WIRELESS  
15505 SAND CANYON AVE.  
BLDG. 10 1st FL.  
CORONA, CA 92618  
CONTACT: PROPERTY MANAGEMENT  
CONTACT NUMBER: (949) 288-7000

COUNTY: RIVERSIDE COUNTY

LATITUDE (NAD 83): 32° 58' 33.8203"N  
33.870007

LONGITUDE (NAD 83): -117° 16' 52.7518"W  
-117.281548

ZONING JURISDICTION: CITY OF RIVERSIDE

ZONING DISTRICT: CR-NC

ARCEL #: 251-253-017

OCCUPANCY GROUP: P/U

CONSTRUCTION TYPE: 0-M

DRAW COMPANY: E.B. & B.  
CONTACT NUMBER: T.B.D.

TE ACQUISITION MANAGER: CORTEL, LLC  
14621 ARROYO HONDO  
SAN DIEGO, CA 92127  
CONTACT NAME: DAN DAVIS  
CONTACT NUMBER: (619) 255-5256

E ACQUISITION CONTACT: CORTEL, LLC  
14621 ARROYO HONDO  
SAN DIEGO, CA 92127  
CONTACT NAME: DAN DAVIS  
CONTACT NUMBER: (619) 255-5256

REYER: DIAMONDBACK LAND SURVEYING  
CONTACT NUMBER: (702) 823-3287

**CONTACT INFORMATION**

CONTACT: CORTEL, LLC  
14621 ARROYO HONDO  
SAN DIEGO, CA 92127

ACT: DAN DAVIS

E: (619) 255-5256

**ISLANDER**

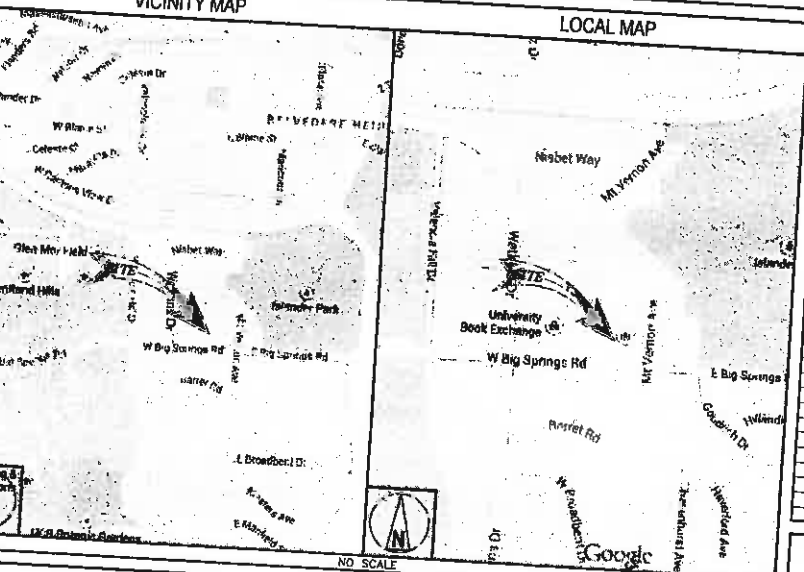
105 W. BIG SPRINGS ROAD  
RIVERSIDE, CA 92507  
RIVERSIDE COUNTY

**verizon**

11'x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

**BELL TOWER**

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME



**DRIVING DIRECTIONS FROM VERIZON WIRELESS IRVINE OFFICE**

STARTING FROM VERIZON WIRELESS IRVINE OFFICE:  
HEAD SOUTHWEST ON SAND CANYON AVE TOWARD BARRANCA PKWY, TAKE THE 1ST LEFT ONTO BARRANCA PKWY, TURN RIGHT ONTO PACIFICA, TURN RIGHT ONTO THE E/RIVERSIDE AND MERGE ONTO CA-51 E PARTIAL TOLL ROAD, TAKE THE CA-50 E/215 S EXIT TOWARD BLANKE ST, TURN LEFT ONTO 3RD ST, CONTINUE ONTO W BLANKE ST, TURN RIGHT ONTO WATKINS DR, TAKE THE 3RD LEFT ONTO W BIG SPRINGS RD, DESTINATION WILL BE ON THE LEFT.

ARRIVE AT 105 W BIG SPRINGS ROAD, RIVERSIDE, CA 92507

**GENERAL NOTES**

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE, NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

**APPROVALS**

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.

DISCIPLINE:	SIGNATURE:	DATE:
LANDLORD:		
PROJECT MANAGER:		
CONSTRUCTION MANAGER:		
RF ENGINEER:		
SITE ACQUISITION:		
ZONING MANAGER:		
UTILITY COORDINATOR:		
NETWORK OPERATIONS:		

**verizon**

15505 SAND CANYON AVE.  
BUILDING 10 1st FL.  
IRVINE, CA 92618

**W-T COMMUNICATION DESIGN GROUP, LLC.**

WIRELESS INFRASTRUCTURE  
9580 S. Eastern Ave., Suite #220  
Las Vegas, NV 89123  
PH: (702) 888-1000 FAX: (702) 888-1010  
www.wteng.com

COPYRIGHT © 2013 W-T COMMUNICATION DESIGN GROUP, LLC.

**Cortel, Inc**

14621 ARROYO HONDO  
SAN DIEGO, CA 92127

**DRAWING INDEX**

SHEET NO:	SHEET TITLE
I-1	TITLE SHEET & PROJECT DATA
LS-1	SITE SURVEY
A-1	OVERALL SITE PLAN
A-2	ENLARGED OVERALL SITE PLAN
A-3	ENLARGED EQUIPMENT & ANTENNA PLAN
A-4	ELEVATIONS
A-5	ELEVATIONS

PROJECT NO: 1142255

DRAWN BY: NEC

CHECKED BY: BJB

REV	DATE	DESCRIPTION
R	7/2/10	REVISED EXIST ZONING DRAWINGS
A	8/25/14	100% ISSUED DRAWINGS

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ISLANDER  
105 W. BIG SPRINGS ROAD  
RIVERSIDE, CA 92507  
RIVERSIDE COUNTY

SHEET TITLE  
**TITLE SHEET & PROJECT DATA**

SHEET NUMBER  
**T-1**

**811**

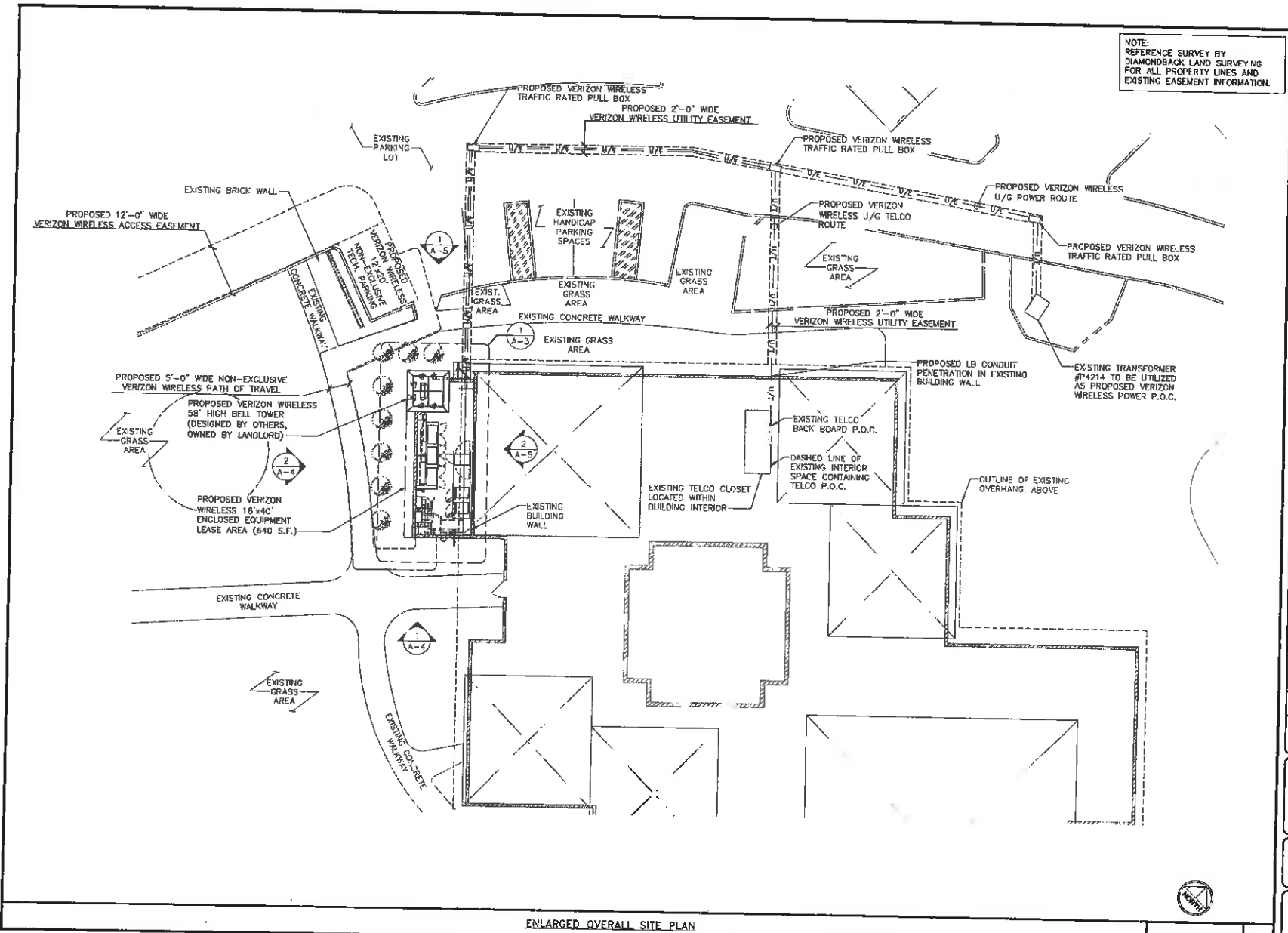
NOTE: 48 HOURS PRIOR TO DIGGING, CONTRACTOR TO NOTIFY ALL UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES.

Know what's below.  
Call before you dig.

W-T Communication Design Group's Commitment to Quality

Please take a few moments to fill out our online survey.





**verizon**  
 15505 SAND CANYON AVE.  
 BUILDING 17 1st FL.  
 IRVINE, CA 92618

**WT**  
**W-T COMMUNICATION DESIGN GROUP, LLC.**  
 WIRELESS INFRASTRUCTURE  
 8500 S. Eastern Ave, Suite #220  
 Las Vegas, NV 89125  
 PH: (702) 896-1000 FAX: (702) 896-1010  
 www.wtengineering.com  
 COPYRIGHT © 2014 W-T COMMUNICATION DESIGN GROUP, LLC

**Cortel, Inc**  
 14621 ARROYO MONDO  
 SAN DIEGO, CA 92127

PROJECT NO: 1142255  
 DRAWN BY: NEC  
 CHECKED BY: B/B

REV	DATE	DESCRIPTION
0	7/2/10	REVISED 100% ZONING DRAWINGS
1	8/23/14	100% ZONING DRAWINGS

**NOT TO BE USED FOR CONSTRUCTION**

IF IN A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ISLANDER  
 105 W. BIG SPRINGS ROAD  
 RIVERSIDE, CA 92507  
 RIVERSIDE COUNTY

SHEET TITLE  
**ENLARGED OVERALL SITE PLAN**

SHEET NUMBER  
**A-2**

ENLARGED OVERALL SITE PLAN

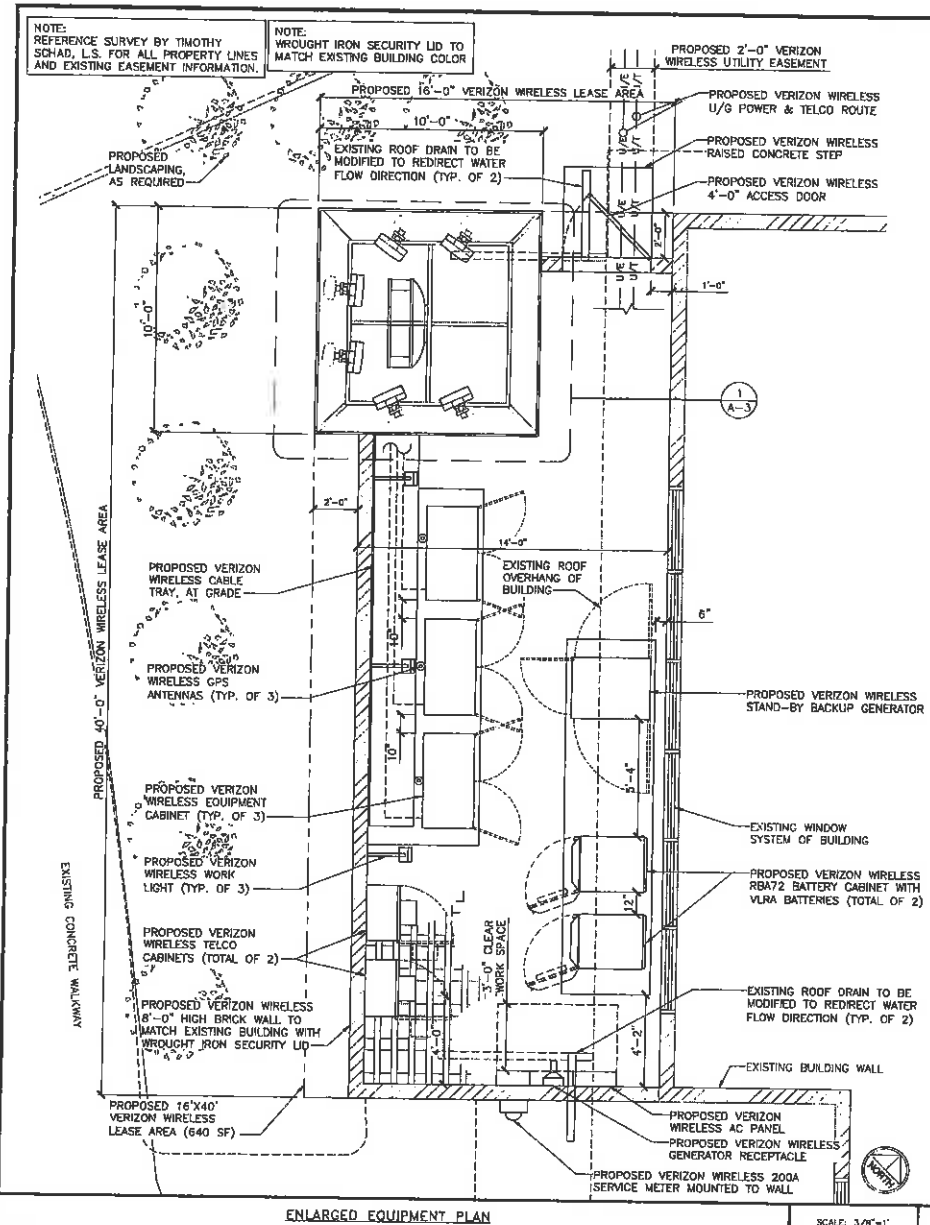


SCALE: 3/32"=1'

1

NOTE:  
REFERENCE SURVEY BY TIMOTHY  
SCHAD, L.S. FOR ALL PROPERTY LINES  
AND EXISTING EASEMENT INFORMATION.

NOTE:  
WROUGHT IRON SECURITY LID TO  
MATCH EXISTING BUILDING COLOR



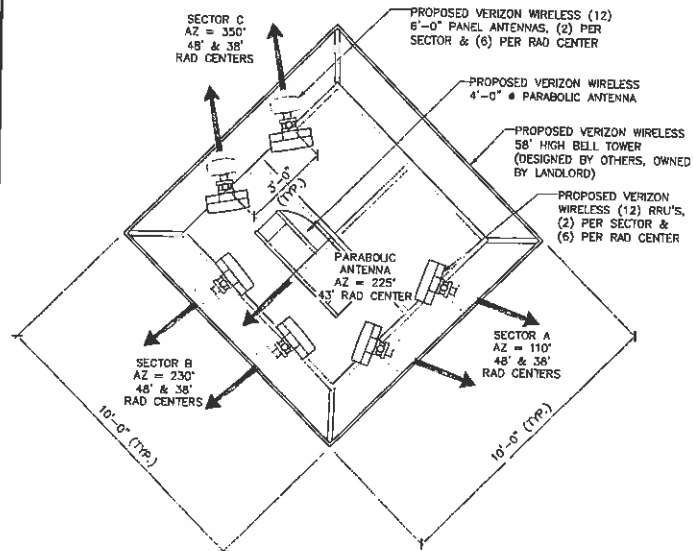
ENLARGED EQUIPMENT PLAN

SCALE: 3/8"=1'

1

NOTE:  
REFER TO BELL TOWER  
DRAWINGS BY SOI FOR  
MORE INFORMATION

NOTE:  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL  
EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS  
SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO  
VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO  
ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY  
ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE  
TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING  
SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.



ENLARGED ANTENNA PLAN

SCALE: 1/2"=1'

2

**COAX/ANTENNA SCHEDULE**  
**48' & 38' RAD CENTER ANTENNAS**

ANTENNA SECTOR	AZIMUTH	ANTENNA MAKE/MODEL	COAX LENGTH	COAX SIZE
ALPHA	110°	COMMSCOPE SBHH-1D65B (48'RAD)	80'±	7/8"
BETA	230°	COMMSCOPE SBHH-1D65B (48'RAD)	80'±	7/8"
GAMMA	350°	COMMSCOPE SBHH-1D65B (48'RAD)	80'±	7/8"
ALPHA	110°	COMMSCOPE SBHH-1D65B (38'RAD)	70'±	7/8"
BETA	230°	COMMSCOPE SBHH-1D65B (38'RAD)	70'±	7/8"
GAMMA	350°	COMMSCOPE SBHH-1D65B (38'RAD)	70'±	7/8"
PARABOLIC	225°	T.B.D.	80'±	T.B.D.
GPS	N/A	T.B.D.	15'±	1/2"

NOTE: CONSTRUCTION MANAGER TO FIELD VERIFY CABLE LENGTHS PRIOR TO OPENING, FABRICATION, OR INSTALLATION OF CABLES CHECK RF DATA SHEET.

**verizon**

15505 SAND CANYON AVE.  
BUILDING 'D' 1st FL.  
IRVINE, CA 92618

---

W-T

W-T COMMUNICATION  
DESIGN GROUP, LLC.

WIRELESS INFRASTRUCTURE  
6550 S. Eastern Ave. Suite 9220  
Las Vegas, NV 89123  
PH: (702) 898-1000 FAX: (702) 898-1010  
www.wtinfrastructure.com

COPYRIGHT © 2014 W-T COMMUNICATION DESIGN GROUP, LLC

---

Cortel, Inc

14821 ARROYO HONDO  
SAN DIEGO, CA 92127

---

PROJECT NO: T142255

DRAWN BY: NED

CHECKED BY: BJS

#	DATE	REVISED (FOR LOGGING CHANGES)
A	1/22/14	ISSUE (FOR LOGGING CHANGES)
REV	DATE	DESCRIPTION

---

NOT TO BE USED  
FOR CONSTRUCTION

---

IF IT IS A VIOLATION OF LAW FOR ANY PERSON,  
UNLESS THEY ARE ACTING UNDER THE DIRECTION  
OF A LICENSED PROFESSIONAL ENGINEER,  
TO ALTER THIS DOCUMENT.

---

ISLANDER  
105 W. BIG SPRINGS ROAD  
RIVERSIDE, CA 92507  
RIVERSIDE COUNTY

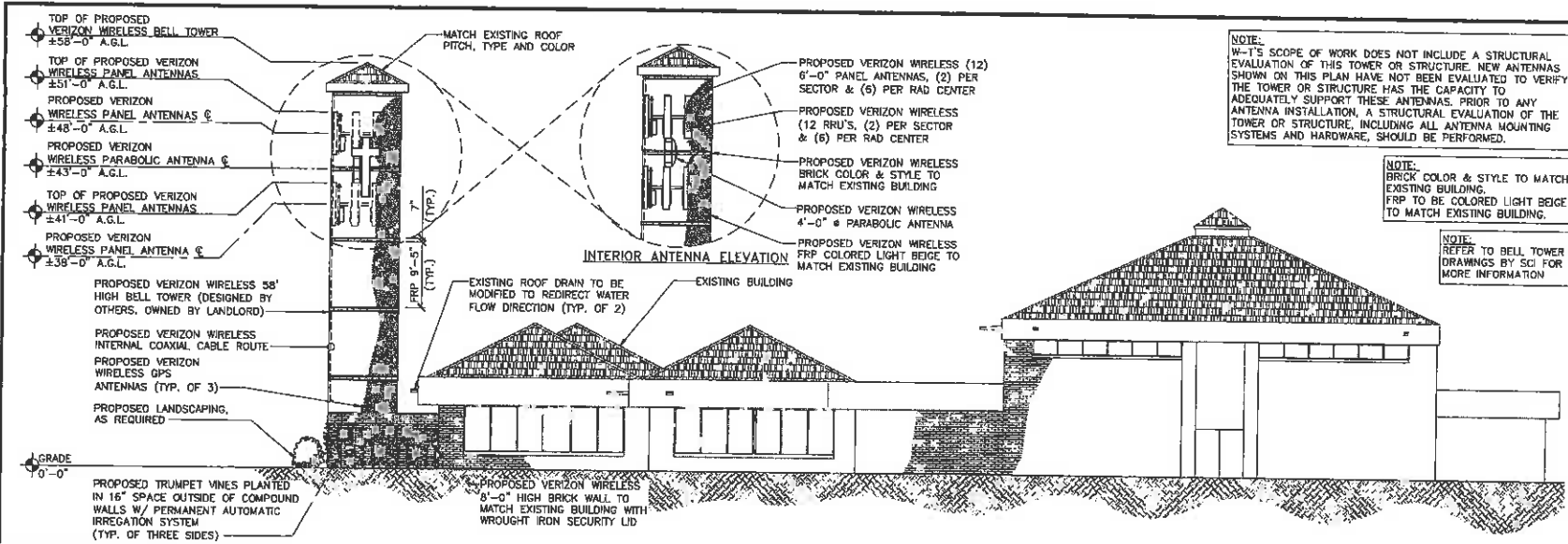
---

SHEET TITLE  
ENLARGED EQUIPMENT  
& ANTENNA PLAN

---

SHEET NUMBER

A-3



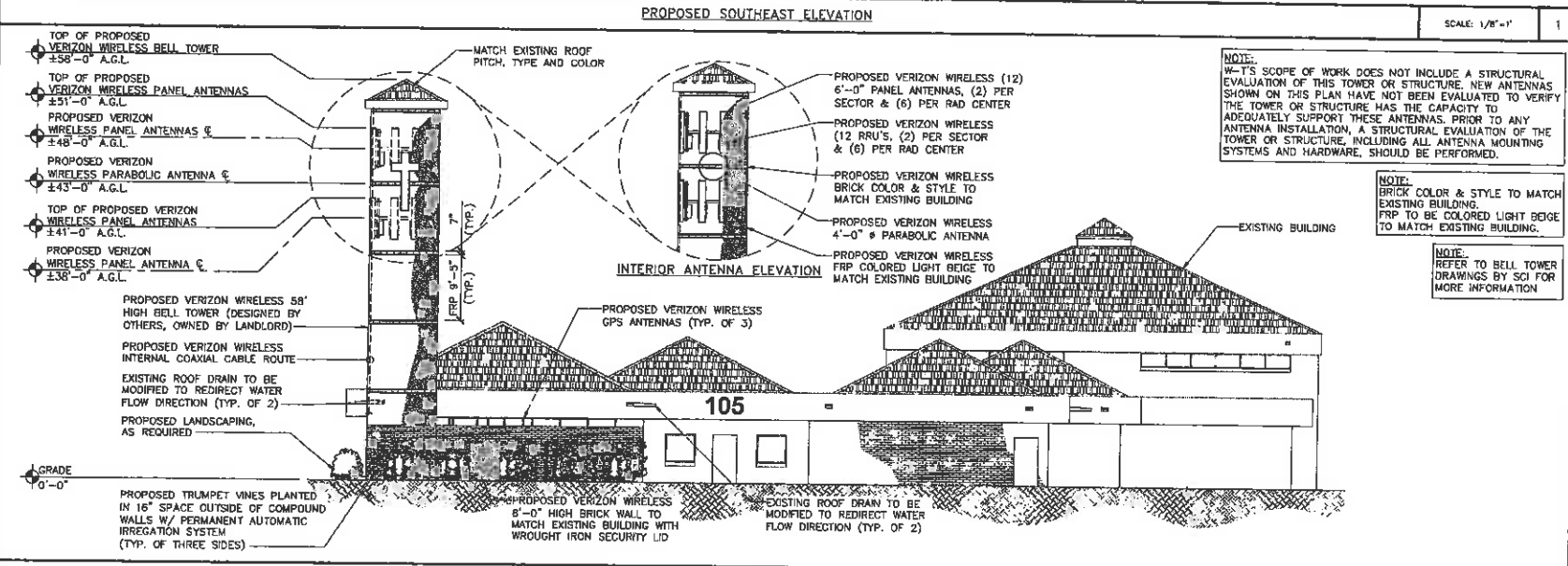
**NOTE:**  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

**NOTE:**  
BRICK COLOR & STYLE TO MATCH EXISTING BUILDING.  
FRP TO BE COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING.

**NOTE:**  
REFER TO BELL TOWER DRAWINGS BY SCI FOR MORE INFORMATION

PROPOSED SOUTHEAST ELEVATION

SCALE: 1/8"=1'



**NOTE:**  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

**NOTE:**  
BRICK COLOR & STYLE TO MATCH EXISTING BUILDING.  
FRP TO BE COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING.

**NOTE:**  
REFER TO BELL TOWER DRAWINGS BY SCI FOR MORE INFORMATION

PROPOSED SOUTHWEST ELEVATION

SCALE: 1/8"=1'



15505 SAND CANYON AVE.  
BUILDING 'D' 1st FL.  
IRVINE, CA 92618



**W-T COMMUNICATION  
DESIGN GROUP, LLC.**

**WIRELESS INFRASTRUCTURE**  
6580 S. Eastern Ave., Suite #220  
Las Vegas, NV 89123  
PH: (702) 998-1000 FAX: (702) 998-1010  
www.wtdesigngroup.com

COPYRIGHT © 2016 W-T COMMUNICATION DESIGN GROUP, LLC.



14821 ARROYO JONCO  
SAN DIEGO, CA 92127

PROJECT NO: T142255  
DRAWN BY: NEC  
CHECKED BY: BUS

REV	DATE	DESCRIPTION
0	1/2/15	ISSUED 100% ZONING ORDINANCE
1	6/23/14	100% ZONING DRAWING

**NOT TO BE USED  
FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ISLANDER  
105 W. BIG SPRINGS ROAD  
RIVERSIDE, CA 92507  
RIVERSIDE COUNTY

SHEET TITLE  
ELEVATIONS

SHEET NUMBER

**A-4**



**NOTE:**  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

**NOTE:**  
BRICK COLOR & STYLE TO MATCH EXISTING BUILDING.  
FRP TO BE COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING.

**NOTE:**  
REFER TO BELL TOWER DRAWINGS BY SCI FOR MORE INFORMATION

PROPOSED VERIZON WIRELESS (12) 6'-0" PANEL ANTENNAS, (2) PER SECTOR & (6) PER RAD CENTER

PROPOSED VERIZON WIRELESS (12) RRU'S, (2) PER SECTOR & (6) PER RAD CENTER

PROPOSED VERIZON WIRELESS BRICK COLOR & STYLE TO MATCH EXISTING BUILDING

PROPOSED VERIZON WIRELESS 4'-0" PARABOLIC ANTENNA

PROPOSED VERIZON WIRELESS FRP COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING

MATCH EXISTING ROOF PITCH, TYPE AND COLOR

TOP OF PROPOSED VERIZON WIRELESS BELL TOWER ±58'-0" A.G.L.

TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±51'-0" A.G.L.

PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±48'-0" A.G.L.

PROPOSED VERIZON WIRELESS PARABOLIC ANTENNA ±43'-0" A.G.L.

TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±41'-0" A.G.L.

PROPOSED VERIZON WIRELESS PANEL ANTENNA ±38'-0" A.G.L.

PROPOSED VERIZON WIRELESS 58' HIGH BELL TOWER (DESIGNED BY OTHERS, OWNED BY LANDLORD)

PROPOSED VERIZON WIRELESS GPS ANTENNAS (TYP. OF 3)

PROPOSED VERIZON WIRELESS 8'-0" HIGH BRICK WALL TO MATCH EXISTING BUILDING WITH WROUGHT IRON SECURITY LID

PROPOSED LANDSCAPING, AS REQUIRED

PROPOSED TRUMPET VINES PLANTED IN 16" SPACE OUTSIDE OF COMPOUND WALLS W/ PERMANENT AUTOMATIC IRRIGATION SYSTEM (TYP. OF THREE SIDES)

PROPOSED NORTHWEST ELEVATION

SCALE: 1/8"=1' 1

**NOTE:**  
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

**NOTE:**  
BRICK COLOR & STYLE TO MATCH EXISTING BUILDING.  
FRP TO BE COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING.

**NOTE:**  
REFER TO BELL TOWER DRAWINGS BY SCI FOR MORE INFORMATION

PROPOSED VERIZON WIRELESS (12) 6'-0" PANEL ANTENNAS, (2) PER SECTOR & (6) PER RAD CENTER

PROPOSED VERIZON WIRELESS (12) RRU'S, (2) PER SECTOR & (6) PER RAD CENTER

PROPOSED VERIZON WIRELESS BRICK COLOR & STYLE TO MATCH EXISTING BUILDING

PROPOSED VERIZON WIRELESS 4'-0" PARABOLIC ANTENNA

PROPOSED VERIZON WIRELESS FRP COLORED LIGHT BEIGE TO MATCH EXISTING BUILDING

MATCH EXISTING ROOF PITCH, TYPE AND COLOR

TOP OF PROPOSED VERIZON WIRELESS BELL TOWER ±58'-0" A.G.L.

TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±51'-0" A.G.L.

PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±48'-0" A.G.L.

PROPOSED VERIZON WIRELESS PARABOLIC ANTENNA ±43'-0" A.G.L.

TOP OF PROPOSED VERIZON WIRELESS PANEL ANTENNAS ±41'-0" A.G.L.

PROPOSED VERIZON WIRELESS PANEL ANTENNA ±38'-0" A.G.L.

PROPOSED VERIZON WIRELESS 58' HIGH BELL TOWER (DESIGNED BY OTHERS, OWNED BY LANDLORD)

PROPOSED NORTHEAST ELEVATION

SCALE: 1/8"=1' 2



15505 SAND CANYON AVE.  
BUILDING 01 1st FL.  
IRVINE, CA 92618



**W-T COMMUNICATION DESIGN GROUP, LLC.**

**WIRELESS INFRASTRUCTURE**  
8560 S. Eastern Ave. Suite #220  
Las Vegas, NV 89123  
PH: (702) 998-1000 FAX: (702) 998-1010  
www.wtengineering.com

COPYRIGHT © 2014 W-T COMMUNICATION DESIGN GROUP, LLC.



14821 ARROYO HONDO  
SAN DIEGO, CA 92127

PROJECT NO: T142235

DRAWN BY: NED

CHECKED BY: BJB

REV	DATE	DESCRIPTION
B	7/2/15	PROVIDE MARKING DRAWINGS
A	6/23/14	100% ZONING COMPLIANCE

**NOT TO BE USED FOR CONSTRUCTION**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

ISLANDER  
105 W. BIG SPRINGS ROAD  
RIVERSIDE, CA 92507  
RIVERSIDE COUNTY

SHEET TITLE  
ELEVATIONS

SHEET NUMBER

**A-5**

PAGE BREAK



**AIRPORT LAND USE COMMISSION  
RIVERSIDE COUNTY**



October 22, 2015

**CHAIR**

**Simon Housman**  
Rancho Mirage

Ms. Damaris Abraham, Urban Regional Planner IV  
County of Riverside Planning Department

**VICE CHAIRMAN**

**Rod Ballance**  
Riverside

4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside, CA 92501

[VIA HAND DELIVERY]

**COMMISSIONERS**

**Arthur Butler**  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

**Glen Holmes**  
Hemet

File No.: ZAP1154MA15

**John Lyon**  
Riverside

Related File No.: PP25885 (Plot Plan)

APN: 307-270-020

**Greg Pettis**  
Cathedral City

Dear Ms. Abraham:

**Steve Manos**  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed PP25885 (Plot Plan), a proposal to construct a 70 foot tall monopine wireless communications facility within a 225 square foot lease area on a 4.89-acre site located at 27304 Nuevo Road, on the northerly side of Nuevo Road, easterly of Dunlap Drive and westerly of Foothill Avenue, in the unincorporated community of Nuevo.

**STAFF**

**Director**  
**Ed Cooper**

**John Guerin**  
**Russell Brady**  
**Barbara Santos**

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D, non-residential intensity is not restricted.

County Administrative Center  
4080 Lemon St., 14th<sup>th</sup> Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (1488 feet AMSL). The site is located approximately 29,300 feet from that runway, but only approximately 14,900 feet northeasterly of the northerly terminus of Runway 15-33 at Perris Valley Airport, which has an approximate elevation of 1413 feet AMSL. At a distance of 14,900 feet from the runway, FAA review would be required for any structure with top point exceeding 1562 feet AMSL. The site has an existing elevation of approximately 1450 feet AMSL. The project proposes a maximum structure height of 70 feet, for a total maximum elevation of 1520 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced Plot Plan **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The determination of consistency relates specifically to the proposed project as described above. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lakeview/Nuevo Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the building(s) and structures on-site, and shall be recorded as a deed notice.
4. No new detention basins are proposed through this application. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; incinerators.

**AIRPORT LAND USE COMMISSION**

**October 22, 2015**

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549 or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

cc: Brett Smirl, Spectrum Services, Inc. (applicant/representative/payee)  
Ismail Abdel Hadi (landowner)  
James and Cecilia Deitemeyer (landowners in vicinity)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
Pat Conatser, Perris Valley Airport  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1154MA15\ZAP1154MA15.LTR.doc



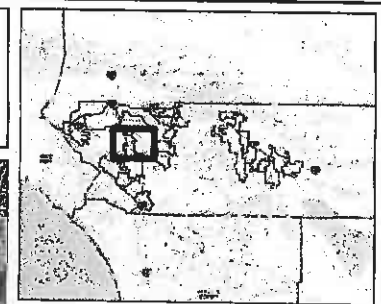
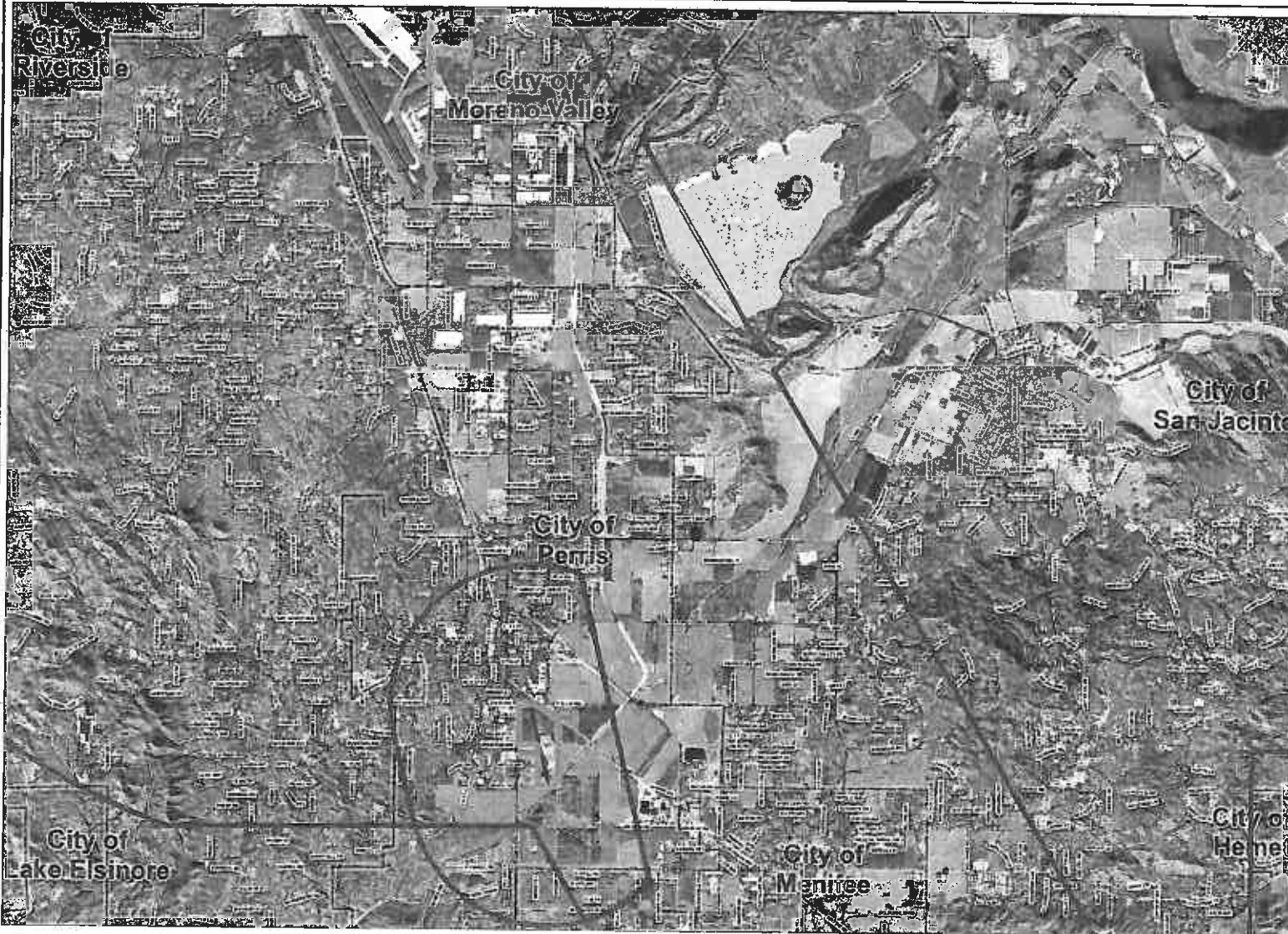
# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# Project In Relationship to Airport (Momento)



# My Map



**Legend**

- Airports
- AIA
- Runways
- City Boundaries
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

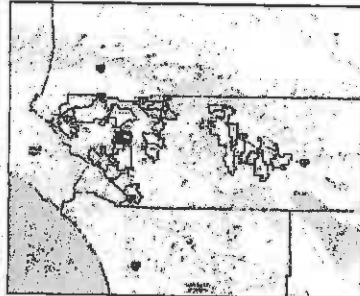
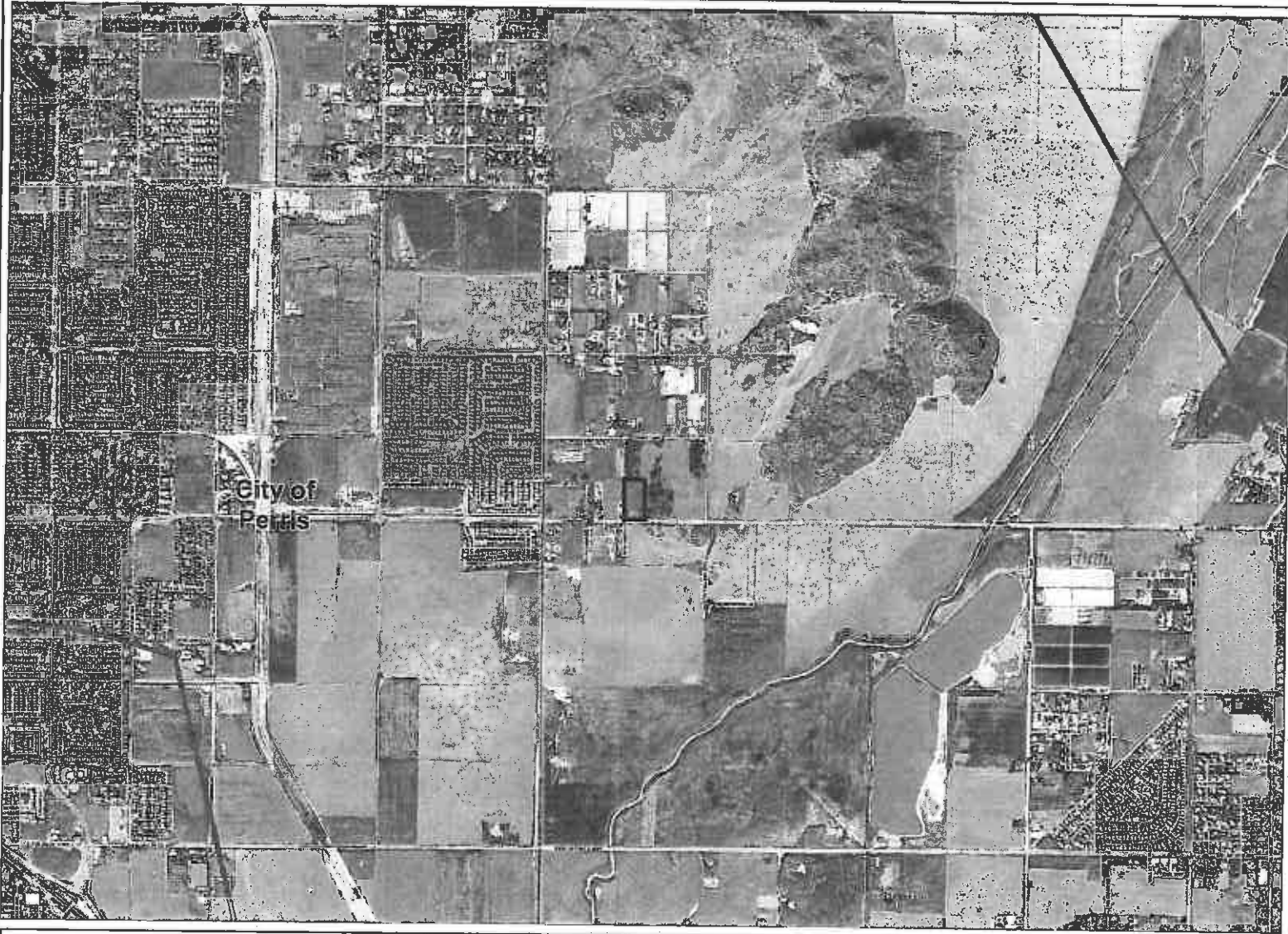
REPORT PRINTED ON... 10/22/2015 2:41:55 PM

© Riverside County TLMA GIS

## Notes




# My Map




**Legend**

- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



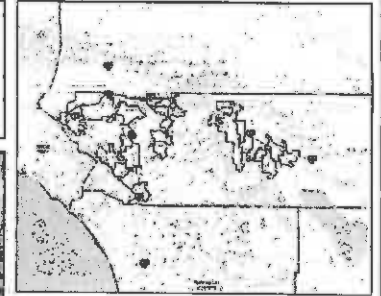
0      2,980      5,960 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

**Notes**

# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

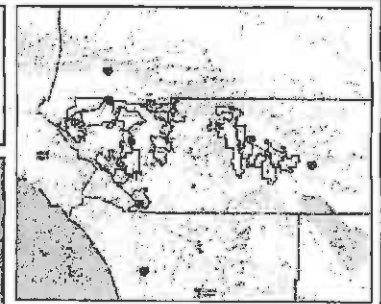
REPORT PRINTED ON... 10/22/2015 2:45:51 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 372 745 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/22/2015 2:46:52 PM

© Riverside County TLMA GIS

## Notes



**NOTES & TITLE REPORT EXCEPTIONS**

ONLY THOSE EXCEPTION(S) LISTED IN TITLE REPORT ORDER NO. 00336126-99D-004, DATED JULY 6, 2015, PREPARED BY TUDOR TITLE COMPANY OF CALIFORNIA, WHICH ARE NOT SOLELY FINANCIAL IN NATURE AND WHICH REFER TO A DOCUMENT CONTAINING A SUFFICIENT LEGAL DESCRIPTION OF AREAS AFFECTED BY SAID DOCUMENT WERE CONSIDERED FOR THIS SURVEY AND RE-LISTED BELOW. ITEM NUMBERS CORRESPOND TO ITEM NUMBERS IN SAID TITLE REPORT.

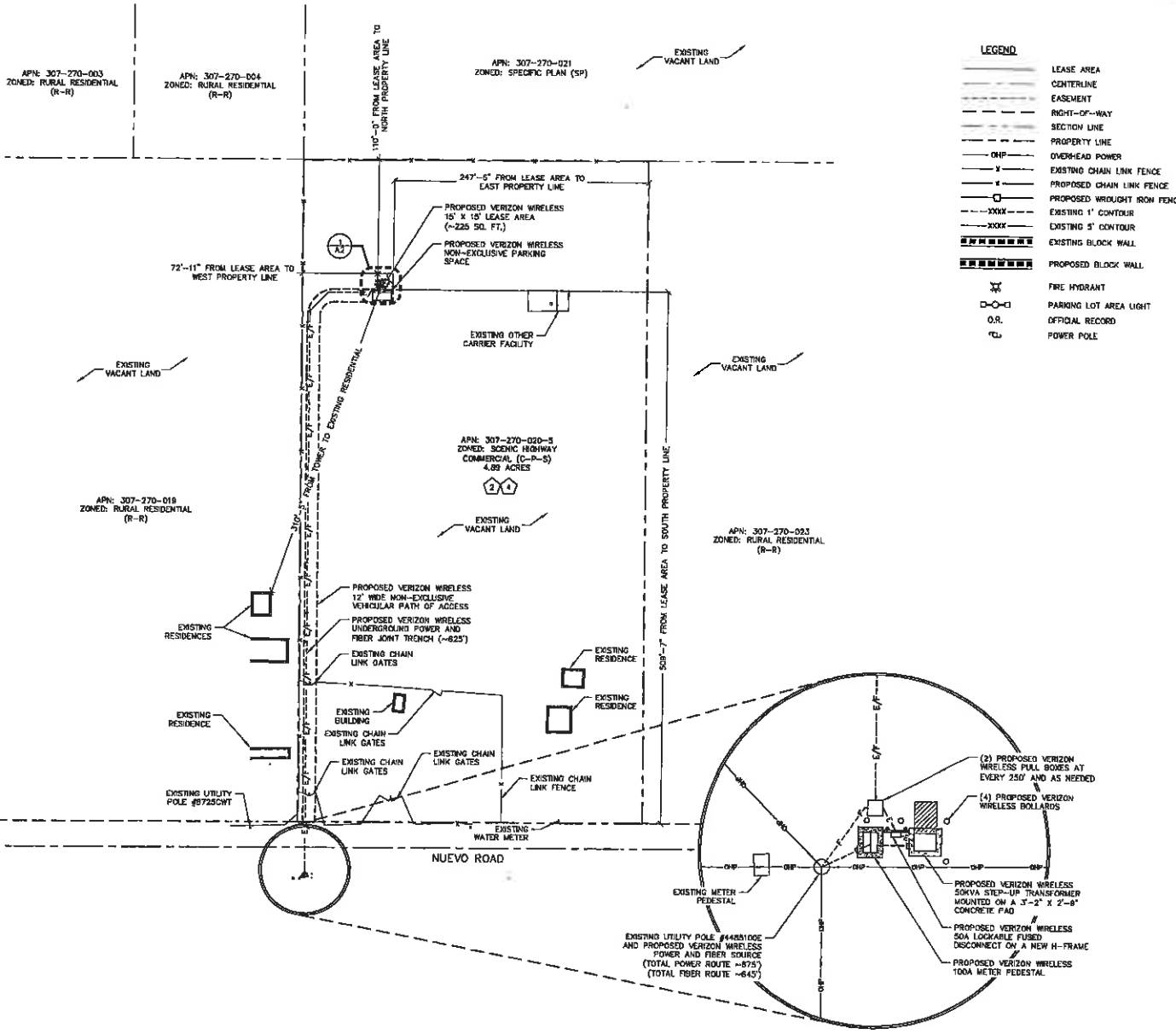
1) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF AS SET FORTH IN A DOCUMENT, IN FAVOR OF: DML FTRTH  
PURPOSE: PIPELINES  
RECORDING DATE: DECEMBER 22, 1917  
RECORDING NO.: IN BOOK 473, PAGE 275 OF DEEDS  
AFFECTS: A PORTION OF SAID LAND AS MORE PARTICULARLY DESCRIBED IN SAID DOCUMENT. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD. AFFECTS AN UNDETERMINED PORTION OF THE SUBJECT PROPERTY

2) EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THEREOF AS SET FORTH IN A DOCUMENT, IN FAVOR OF: EASTERN MUNICIPAL WATER DISTRICT  
PURPOSE: PIPELINES  
RECORDING DATE: JANUARY 28, 1954  
RECORDING NO.: IN BOOK 1548, PAGE 158, OFFICIAL RECORDS  
AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND. DOES NOT AFFECT THE SUBJECT PROPERTY

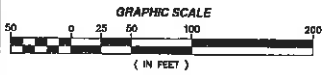
3) AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT ENTITLED: MEMORANDUM OF AGREEMENT LESSOR: ISMAIL ABDEL-HAMID LESSEE: ROYAL STREET COMMUNICATIONS CALIFORNIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: MAY 5, 2009  
RECORDING NO.: AS INSTRUMENT NO. 2009-0222858, OFFICIAL RECORDS  
ASSIGNMENT OF THE LESSEE'S INTEREST UNDER SAID LEASE,

ASSIGNOR: METROPCS NETWORKS CALIFORNIA, LLC, A DELAWARE LIMITED LIABILITY COMPANY (F/K/A ROYAL STREET COMMUNICATIONS CALIFORNIA, LLC)  
ASSIGNEE: AMERICAN TOWERS LLC, A DELAWARE LIMITED LIABILITY COMPANY  
RECORDING DATE: JANUARY 13, 2013  
RECORDING NO.: AS INSTRUMENT NO. 2013-0030691, OFFICIAL RECORDS

THE PRESENT OWNERSHIP OF THE LEASehold CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN. AFFECTS THE ENTIRE SUBJECT PROPERTY



- LEGEND**
- LEASE AREA
  - CENTERLINE
  - EASEMENT
  - RIGHT-OF-WAY
  - SECTION LINE
  - PROPERTY LINE
  - ONP
  - OVERHEAD POWER
  - X
  - EXISTING CHAIN LINK FENCE
  - PROPOSED CHAIN LINK FENCE
  - PROPOSED WROUGHT IRON FENCE
  - XXXX
  - EXISTING 1' CONTOUR
  - XXXX
  - EXISTING 5' CONTOUR
  - EXISTING BLOCK WALL
  - PROPOSED BLOCK WALL
  - FIRE HYDRANT
  - O-O
  - O.R.
  - OFFICIAL RECORD
  - POWER POLE



SITE PLAN

11" x 17" SCALE (24" x 36" SCALE)  
1" = 100' 1" = 50'



PROJECT INFORMATION:  
**MOMENTO**  
(MACRO CELL EVOLUTION)  
27304 NUEVO ROAD  
RIVERSIDE, CALIFORNIA 92571  
CURRENT ISSUE DATE:  
**08/28/15**

ISSUED FOR:  
**ZONING**

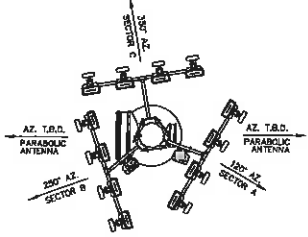
REV.	DATE	DESCRIPTION	BY
1	08/28/15	100% ZONING	R.S.
2	08/19/15	80% ZONING	R.C.

PLANS PREPARED BY:  
**SPECTRUM**  
SPECTRUM SERVICES, INC.  
4405 E. AIRPORT DRIVE, SUITE 100  
ONTARIO, CALIFORNIA 91761  
PH: (909) 456-8401  
FAX: (909) 456-8408

LICENSURE:  
SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A1**

REVISION:  
**1**  
LAX-358



ANTENNA SECTOR	AZIMUTH	# OF ANTENNAS	# OF RFRS	CENTERLINE	COAXIAL CABLE LENGTH	CABLE SIZE	COLOR CODE	TOP JUMPER LENGTH	BOTTOM JUMPER LENGTH	COMMENTS
SECTOR A	120°	4	4	81'	80'	FED FROM RRU	RED/GREEN RED/RED	5'	15'	...
SECTOR B	250°	4	4	81'	80'	FED FROM RRU	BLUE/GREEN BLUE/RED	5'	15'	...
SECTOR C	350°	4	4	81'	80'	FED FROM RRU	YELLOW/GREEN YELLOW/RED	5'	15'	...
MISC.	N/A	-	-	-	80'	(2) 1-5/8" HYBRIFLEX	-	-	-	...
PARABOLIC ANTENNA	T.B.D.	2	-	T.B.D.	-	-	-	-	-	...
GPS	N/A	2	-	-	-	1/2" COAX	GRAY	-	-	...

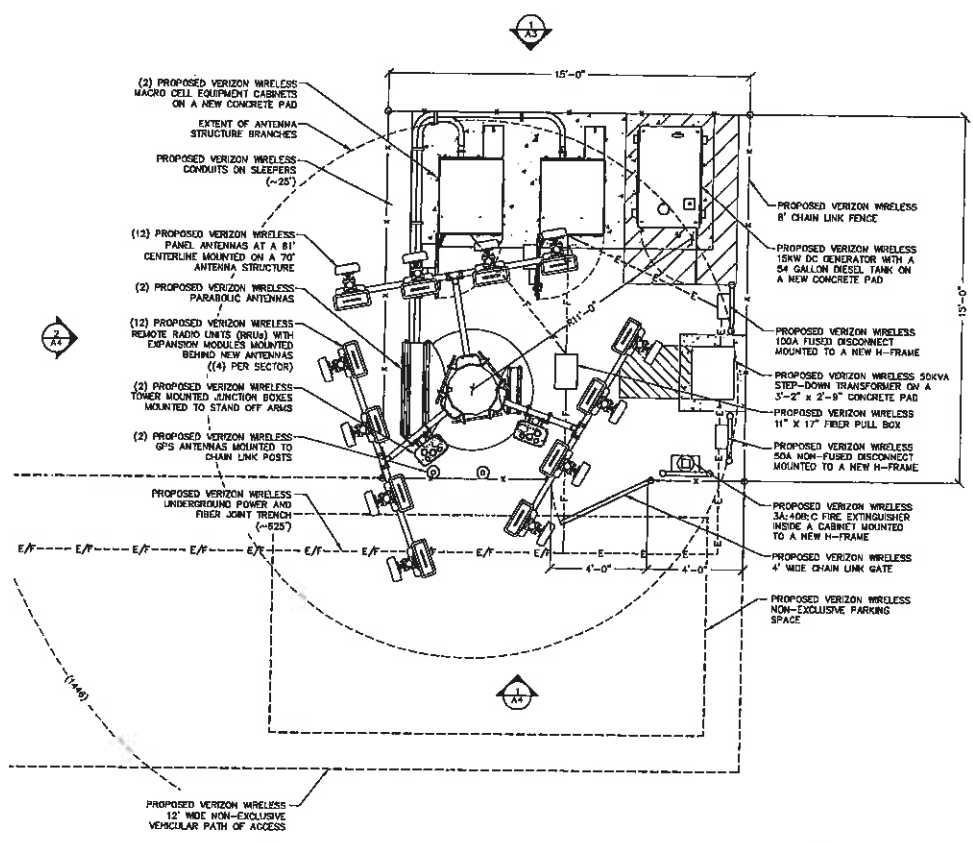
NOTE: CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF CABLES.

ANTENNA LAYOUT

11" X 17" SCALE (24" X 36" SCALE)  
1" = 10' 1" = 3'

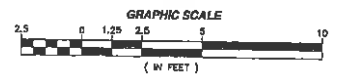
3 ANTENNA AND CABLE SCHEDULE

SCALE: 2



LEGEND

- LEASE AREA
- CENTERLINE
- EASEMENT
- RIGHT-OF-WAY
- SECTION LINE
- PROPERTY LINE
- OHF OVERHEAD POWER
- EXISTING CHAIN LINK FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED BROUGHT IRON FENCE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING BLOCK WALL
- PROPOSED BLOCK WALL
- FIRE HYDRANT
- O.C. OFFICIAL RECORD
- P.P. POWER POLE



SITE DETAIL

11" X 17" SCALE (24" X 36" SCALE)  
1" = 6' 1" = 2'-6"

**verizon wireless**  
15505 SAND CANYON AVENUE  
BUILDING 0, 1ST FLOOR  
IRVINE, CALIFORNIA 92618

PROJECT INFORMATION:  
**MOMENTO**  
(MACRO CELL EVOLUTION)

27304 NUEVO ROAD  
RIVERSIDE, CALIFORNIA 92571

CURRENT ISSUE DATE:  
**08/28/15**

ISSUED FOR:  
**ZONING**

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
08/28/15	100% ZONING	R.S.	
08/19/15	80% ZONING	R.C.	

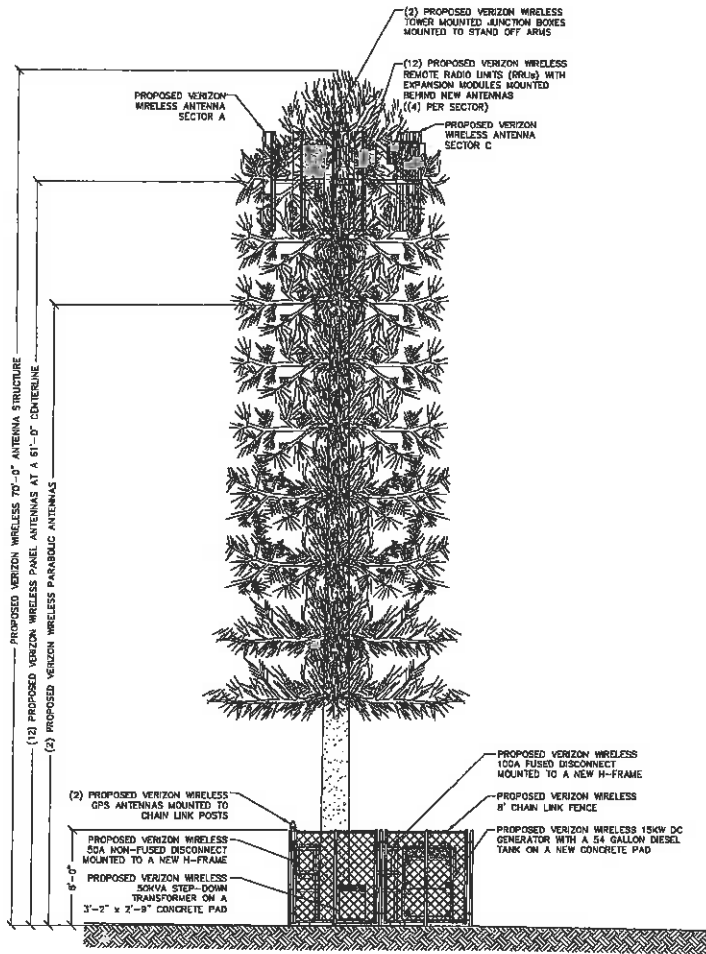
PLANS PREPARED BY:  
**SPECTRUM**  
SPECTRUM SERVICES, INC.  
4405 E. AIRPORT DRIVE, SUITE 100  
ONTARIO, CALIFORNIA 91761  
PH: (909) 456-8401  
FAX: (909) 456-8408

LICENSURE:  
SHEET TITLE:  
**SITE DETAIL,  
ANTENNA & CABLE  
SCHEDULE AND  
ANTENNA LAYOUT**

SHEET NUMBER: **A2** REVISION: **1**

LAX-358

NOTE:  
ALL PROPOSED ANTENNAS AND APPURTENANCES TO BE PAINTED TO MATCH ANTENNA STRUCTURE AND COVERED WITH RF FRIENDLY LEAF SOCKS



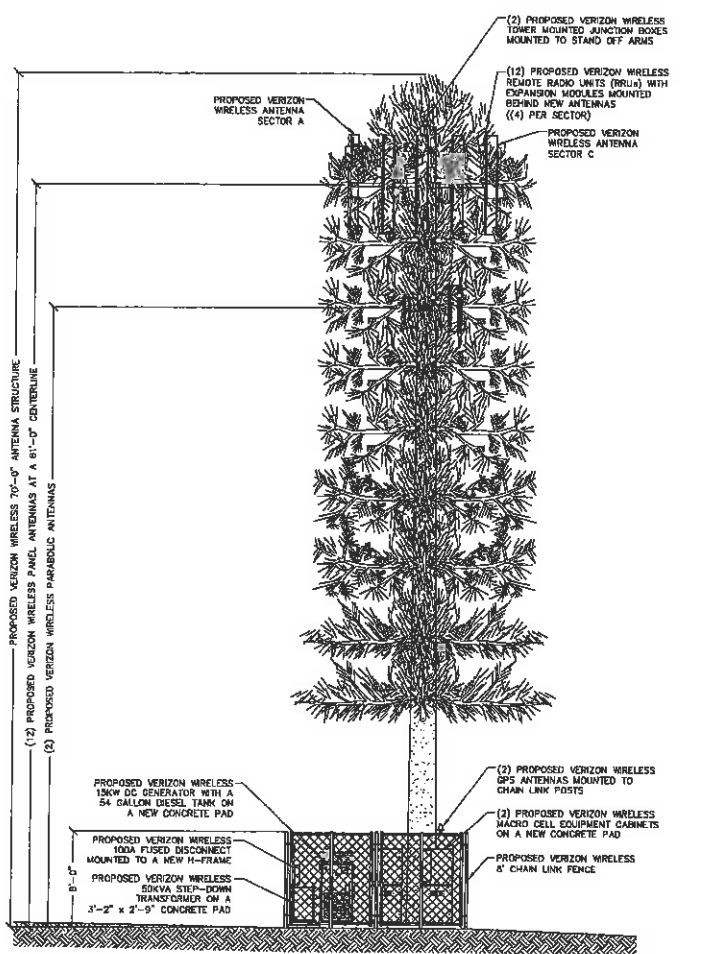
EAST ELEVATION

11" x 17" SCALE (24" x 36" SCALE)  
1" = 10' 1" = 5'

2

NORTH ELEVATION

NOTE:  
ALL PROPOSED ANTENNAS AND APPURTENANCES TO BE PAINTED TO MATCH ANTENNA STRUCTURE AND COVERED WITH RF FRIENDLY LEAF SOCKS



11" x 17" SCALE (24" x 36" SCALE)  
1" = 10' 1" = 5'

1



PROJECT INFORMATION:  
MOMENTO  
(MACRO CELL EVOLUTION)  
27304 NUEVO ROAD  
RIVERSIDE, CALIFORNIA 92571

CURRENT ISSUE DATE:  
08/28/15

ISSUED FOR:  
ZONING

REV.: DATE: DESCRIPTION: BY:

1	08/28/15	100% ZONING	R.S.
2	08/19/15	90% ZONING	R.C.

PLANS PREPARED BY:  
**SPECTRUM**  
SPECTRUM SERVICES, INC.  
4405 E. AIRPORT DRIVE, SUITE 100  
ONTARIO, CALIFORNIA 91761  
PH: (909) 455-8401  
FAX: (909) 456-8408

LICENSE: \_\_\_\_\_  
SHEET TITLE:  
NORTH & EAST ELEVATIONS

SHEET NUMBER: \_\_\_\_\_ REVISION: \_\_\_\_\_

**A3** 1  
LAX-358





PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

CHAIR  
October 27, 2015

Simon Housman  
Rancho Mirage

VICE CHAIRMAN  
Rod Ballance  
Riverside

COMMISSIONERS

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

Ms. Candice Assadzadeh, Assistant Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1155MA15  
Related File No.: P15-0610 (Conditional Use Permit), P15-0611 (Design Review)  
APN: 222-250-006

Dear Ms. Assadzadeh:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed P15-0610 and P15-0611, proposals to permit and construct an 87,953 square foot, two story assisted living facility on 5.27 acres located on the northeasterly side of Alessandro Boulevard, westerly of its intersection with Glenhaven Avenue, in the City of Riverside.

The site is located within Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The site is located more than 20,000 feet from the runways at all public-use airports at an elevation that is below the elevation of the runway at March Air Reserve Base/Inland Port Airport (March ARB/IP). The top point elevation of the proposed structures will be more than 300 feet lower in elevation than the runway at March ARB/IP. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced Conditional Use Permit and Design Review **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants of the proposed apartments and senior living units, and shall be recorded as a deed notice.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

**AIRPORT LAND USE COMMISSION**

**October 27, 2015**

If you have any questions, please contact Russell Brady, ALUC Contract Planner, at (951) 955-0549 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

cc: Wayne Sant, Oakmont Senior Living (applicant)  
Senior Living Concepts, LLC (payee) (Windsor address)  
KWC Engineers (project representative)  
Steve T. Wuo (landowner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

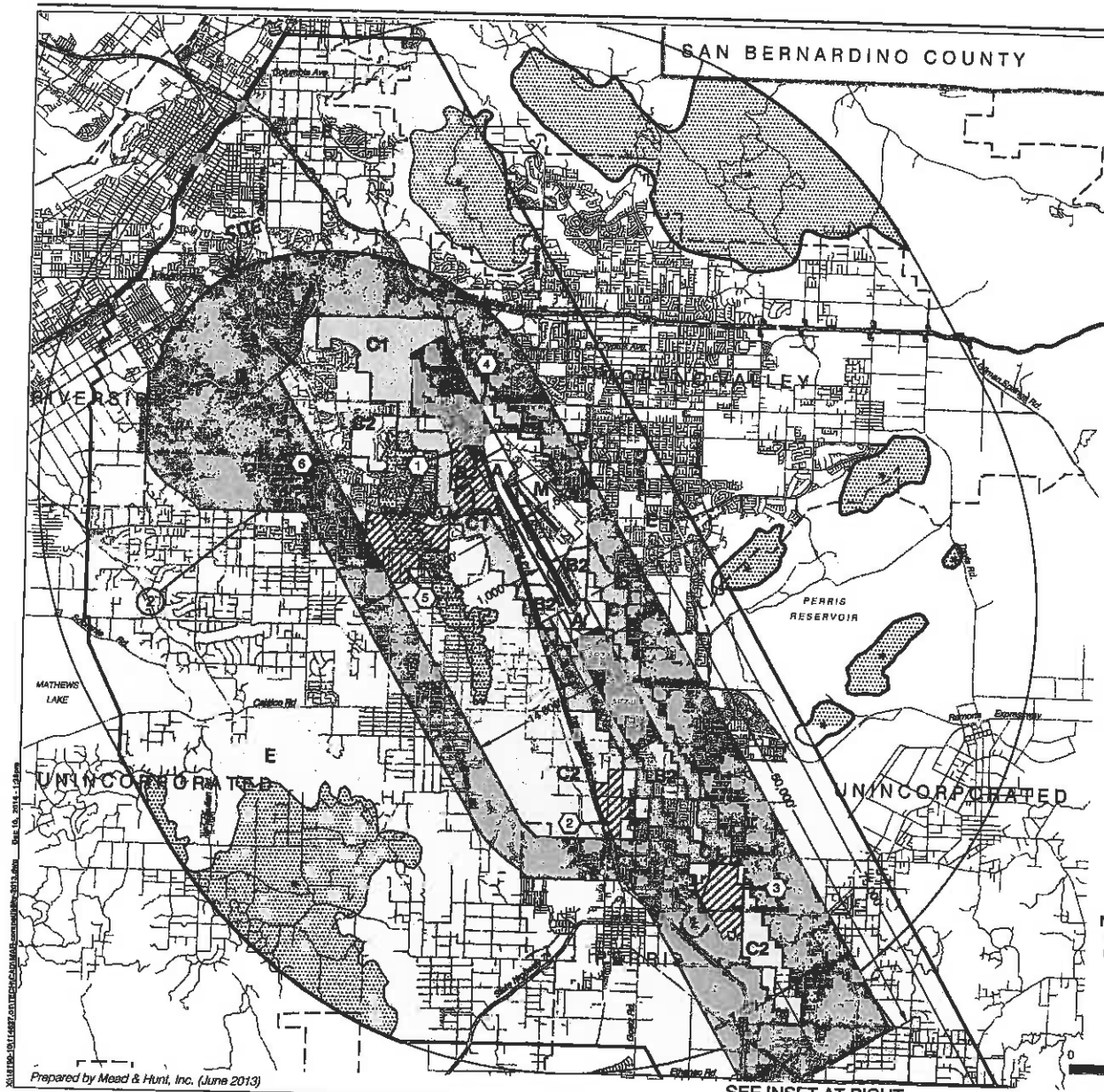
Y:\AIRPORT CASE FILES\March\ZAP1155MA15\ZAP1155MA15.LTR.doc



# NOTICE OF AIRPORT IN VICINITY

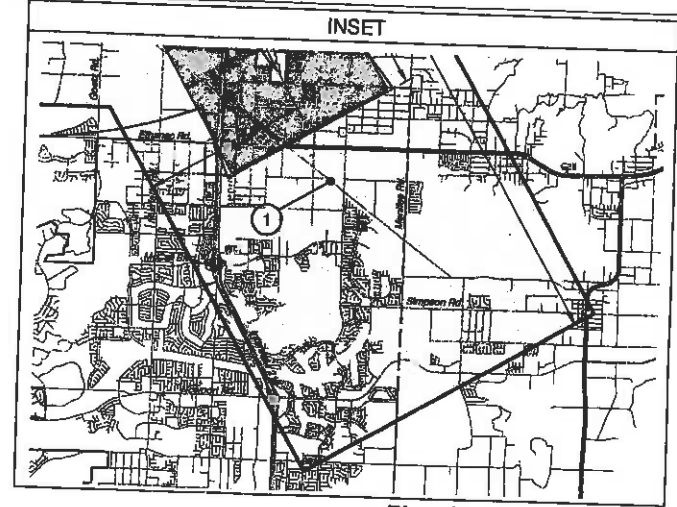
This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

SAN BERNARDINO COUNTY



**LEGEND**

- Compatibility Zones**
- Airport Influence Area Boundary
  - ▨ Zone A
  - ▩ Zone B1
  - ▧ Zone B2
  - ▦ Zone C1
  - ▥ Zone C2
  - ▤ Zone D
  - ▣ Zone E
  - ▢ Zone M
  - ▧ High Terrain Zone
  - ▩ FAR Part 77 Military Outer Horizontal Surface Limits
  - ▨ FAR Part 77 Notification Area
- Boundary Lines**
- March Air Reserve Base / Air Force Property
  - - - March Joint Powers Authority Property Line
  - ▬ County Boundary
  - ▬ City Limits
  - ▭ Site-Specific Exceptions (existing local agency commitments to development projects)
- Points of Interest**
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
  - ② Point at which departing aircraft typically reach 3,000 feet above runway end.
  - ① March JPA: March Business Center/Meridian
  - ② Perris: Harvest Landing
  - ③ Perris: Park West
  - ④ Moreno Valley: Affordable Housing
  - ⑤ March JPA: Ben Clark Training Center
  - ⑥ Riverside: Ridge Crest Subdivision



Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

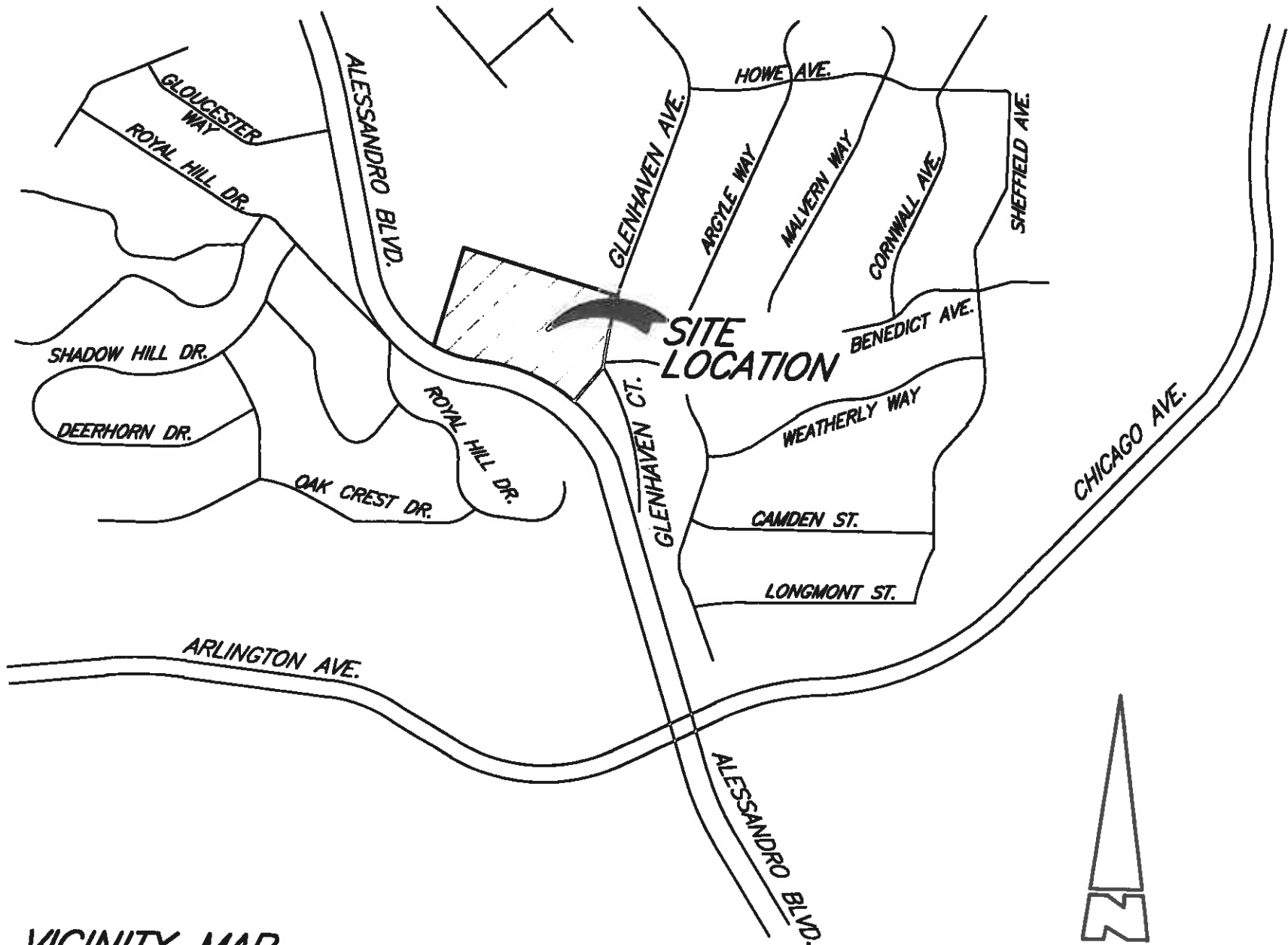
Note:  
 All dimensions are measured from  
 runway ends and centerlines.



Base map source: County of Riverside 2013

SEE INSET AT RIGHT

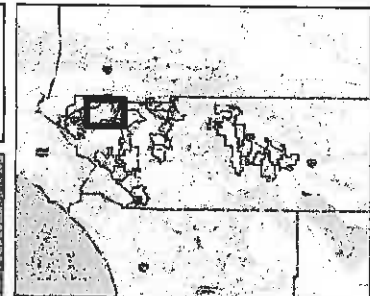
Prepared by Mead & Hunt, Inc. (June 2013)



















**VICINITY MAP**

NOT TO SCALE

# My Map



**Legend**

-  Airports
-  AIA
-  Runways
-  City Boundaries
- adjacent\_highways**
  -  Interstate
  -  Interstate 3
  -  State Highways; 60
  -  State Highways 3
  -  US HWY
  -  OUT
- highways\_large**
  -  HWY
  -  INTERCHANGE
  -  INTERSTATE
  -  USHWY
-  counties
-  cities



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

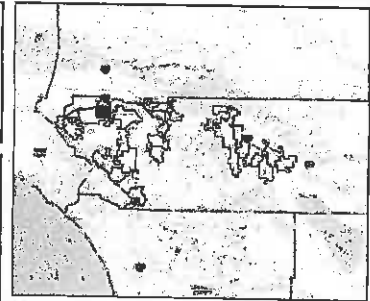


REPORT PRINTED ON... 10/22/2015 4:14:41 PM



















© Riverside County TLMA GIS

**Notes**

# My Map



## Legend

-  Airports
-  AIA
-  Runways
-  City Boundaries
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
- roads
-  Major Roads
-  Arterial
-  Collector
-  Residential
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



0 2,697 5,393 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

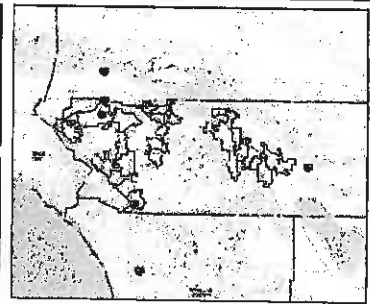
REPORT PRINTED ON... 10/22/2015 4:16:05 PM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 674 1,348 Feet



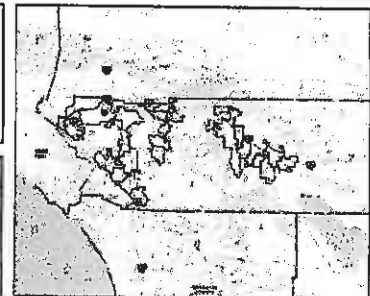
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/22/2015 4:17:09 PM

© Riverside County TLMA GIS

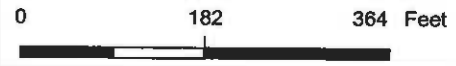
## Notes

# My Map



**Legend**

- RCLIS Parcels
- Airports
- AIA
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

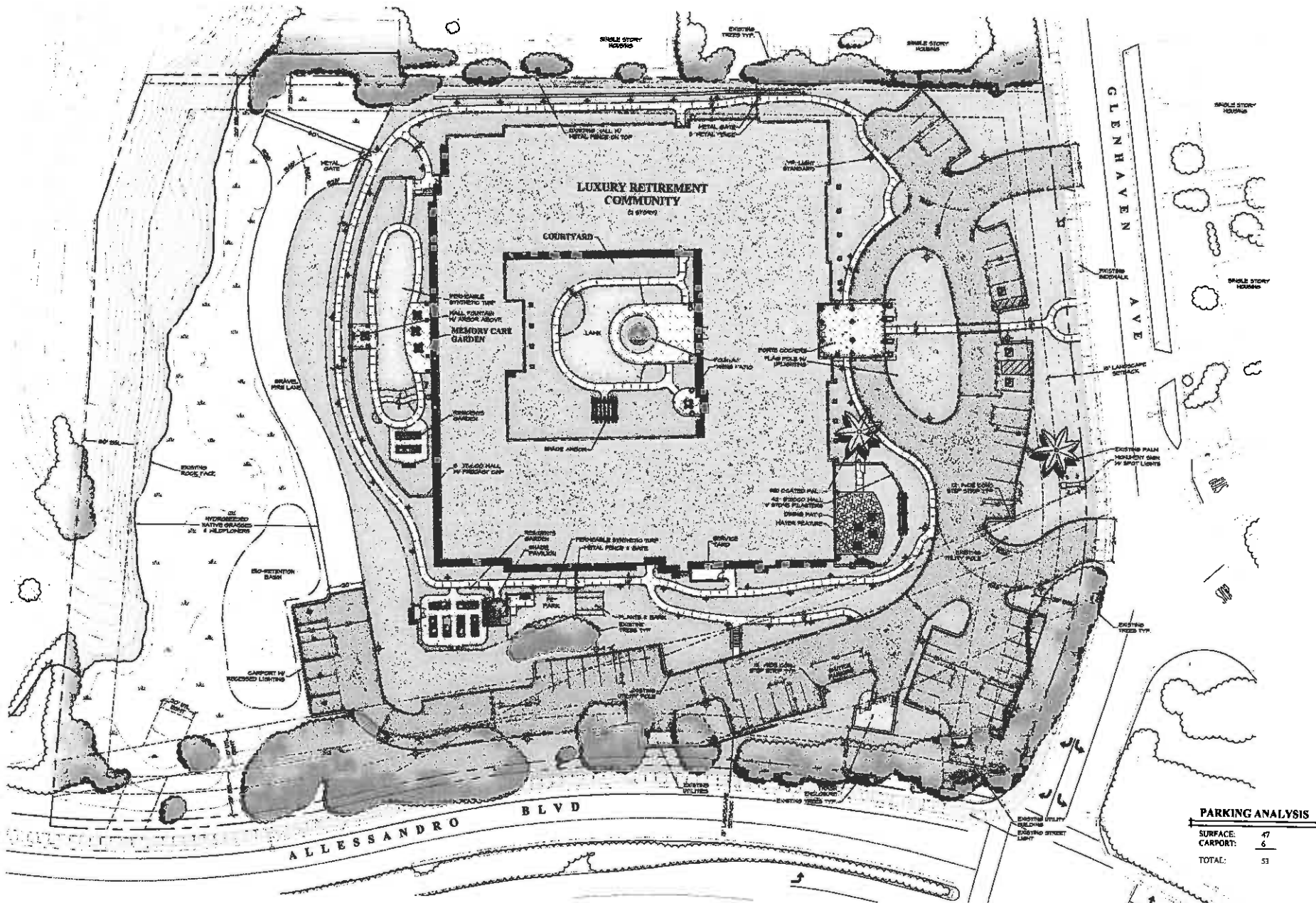


**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 10/22/2015 4:18:09 PM

© Riverside County TLMA GIS

**Notes**

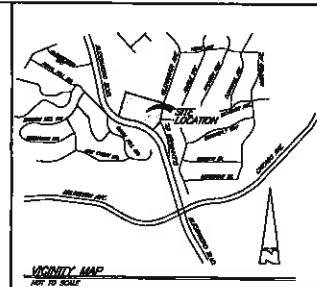






EX. RESIDENTIAL TR. 30834  
S.L.B. 308/10-8

FF EL. = 1092



GLENHAVEN AVE  
S.L.B. 30/70-91  
FARMERS ESTATES NO. 4  
S.L.B. 30/70-91

VICTORIA WOODS UNIT NO. 1  
S.L.B. 30/02-83

ALESSANDRO BLVD.  
S.L.B. 30/02-83

**LEGEND OF SYMBOLS & ABBREVIATIONS:**

1.00	1.00	1.00	1.00
1.01	1.01	1.01	1.01
1.02	1.02	1.02	1.02
1.03	1.03	1.03	1.03
1.04	1.04	1.04	1.04
1.05	1.05	1.05	1.05
1.06	1.06	1.06	1.06
1.07	1.07	1.07	1.07
1.08	1.08	1.08	1.08
1.09	1.09	1.09	1.09
1.10	1.10	1.10	1.10
1.11	1.11	1.11	1.11
1.12	1.12	1.12	1.12
1.13	1.13	1.13	1.13
1.14	1.14	1.14	1.14
1.15	1.15	1.15	1.15
1.16	1.16	1.16	1.16
1.17	1.17	1.17	1.17
1.18	1.18	1.18	1.18
1.19	1.19	1.19	1.19
1.20	1.20	1.20	1.20
1.21	1.21	1.21	1.21
1.22	1.22	1.22	1.22
1.23	1.23	1.23	1.23
1.24	1.24	1.24	1.24
1.25	1.25	1.25	1.25
1.26	1.26	1.26	1.26
1.27	1.27	1.27	1.27
1.28	1.28	1.28	1.28
1.29	1.29	1.29	1.29
1.30	1.30	1.30	1.30
1.31	1.31	1.31	1.31
1.32	1.32	1.32	1.32
1.33	1.33	1.33	1.33
1.34	1.34	1.34	1.34
1.35	1.35	1.35	1.35
1.36	1.36	1.36	1.36
1.37	1.37	1.37	1.37
1.38	1.38	1.38	1.38
1.39	1.39	1.39	1.39
1.40	1.40	1.40	1.40
1.41	1.41	1.41	1.41
1.42	1.42	1.42	1.42
1.43	1.43	1.43	1.43
1.44	1.44	1.44	1.44
1.45	1.45	1.45	1.45
1.46	1.46	1.46	1.46
1.47	1.47	1.47	1.47
1.48	1.48	1.48	1.48
1.49	1.49	1.49	1.49
1.50	1.50	1.50	1.50

**ESTIMATED EARTHWORK QUANTITIES**

ON-SITE EARTHWORK QUANTITIES

GRADING STAIRWAY	CUT (C.Y.)	FILL (C.Y.)
RAW QUANTITIES	4,000	3,000

TOTAL AREA = 5.27 ACRES  
AREA OF DISTURBANCE = 4.50 ACRES

**KUC ENGINEERS**  
CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
CONCEPTUAL GRADING PLAN  
C1

DATE: 06/27/76  
DRAWN BY: [Name]  
CHECKED BY: [Name]







**PACIFIC LIGHTING & STANDARDS CO.**  
 11000 S. GARDEN ST. SUITE 100, RIVERSIDE, CA 92504  
 TEL: (951) 514-1100 FAX: (951) 514-1101

**MM SERIES**

**Notes:**  
 1. All lighting shall meet the applicable 2018 CALIFORNIA GREEN BUILDING CODE.  
 2. ALL EXTERIOR LIGHTING SHALL BE PROVIDED WITH THEIR OWN LIGHT SOURCE AND SHALL BE ADEQUATELY ILLUMINATED AT ALL HOURS OF OPERATION TO ADEQUATELY ILLUMINATE THE PREMISES OF ANY PROPERTY ON OR ADJACENT TO THE PREMISES AND PROVIDE ADEQUATE ILLUMINATION FOR PERSONS ENTERING THE PREMISES.  
 3. SITE LIGHTING SHALL BE DESIGNED AND INSTALLED TO PREVENT OFF-SITE GLARE.  
 4. LANDSCAPE LIGHTING SHALL NOT EXCEED 6000 FOOT-CANDELS AT PROPERTY LINE. THIS DOES NOT INCLUDE ANY STREET LIGHTS.  
 5. THESE PLANS SHOW LIGHT LOCATIONS, TYPE, HEIGHT, MOUNTING, AND COORDINATE WITH OWNER.  
 6. SEE PLAN, DETAIL, OR STRUCTURAL FOR LIGHT STANDARD FOOTING TYPES AND LOCATIONS.

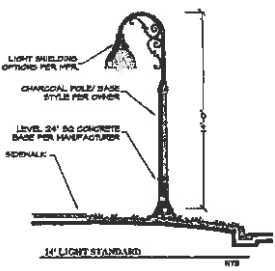
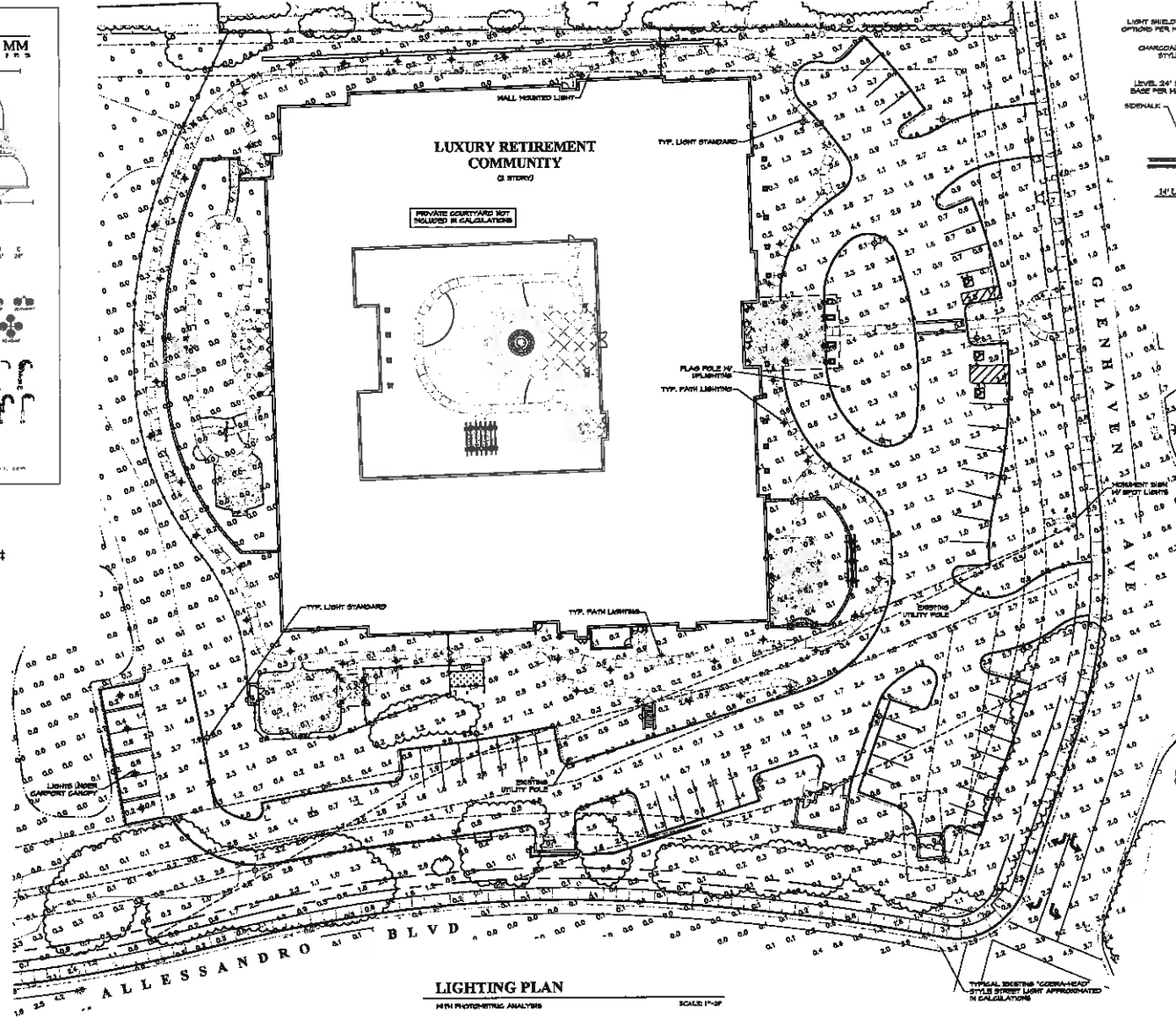
**Lighting Legend:**  
 (P) 14' LIGHT STANDARD - MOUNTED AT 14'-0" HEIGHT INSTALLED TO PROJECT OFF-SITE AND COORD. FOR DETAIL.  
 (P) PATH LIGHT - 10W LIGHTING IS DONOR-LED MOUNTED AT 14" HEIGHT.  
 (P) SMALL FLOOD LIGHT - MOUNTED AT GROUND LEVEL, AS SHOWN ON AS INDICATED ON PLAN.  
 (P) BUILDING LIGHT PER ARCHITECTURAL PLAN, MOUNTED AT 7'-0" A.P.F.  
 (P) HANGING ARCHITECTURAL LIGHT, COORDINATE WITH OWNER.  
 (P) EXISTING GEORGIA HEAD STREET LIGHT

**Photometric Parameters:**  
 LIGHT READINGS ARE ESTIMATED LEVELS IN FIELD CONDITIONS AND SHOULD NOT BE TAKEN AS EXACT READINGS.  
 FOOT CANDLE LIGHT READINGS ARE SPACED @ 1% APART.  
 LIGHT STANDARD PER LISTED STANDARD SAME FOOT TOP STYLE.  
 ARCHITECTURAL AND LANDSCAPE LIGHTING SHOWN IS SIMULATED BASED ON DATA PROVIDED FROM ITRNG, AND APPROXIMATIONS.

**Lighting Notes:**  
 1. ALL LIGHTING SHALL MEET THE APPLICABLE 2018 CALIFORNIA GREEN BUILDING CODE.  
 2. ALL EXTERIOR LIGHTING SHALL BE PROVIDED WITH THEIR OWN LIGHT SOURCE AND SHALL BE ADEQUATELY ILLUMINATED AT ALL HOURS OF OPERATION TO ADEQUATELY ILLUMINATE THE PREMISES OF ANY PROPERTY ON OR ADJACENT TO THE PREMISES AND PROVIDE ADEQUATE ILLUMINATION FOR PERSONS ENTERING THE PREMISES.  
 3. SITE LIGHTING SHALL BE DESIGNED AND INSTALLED TO PREVENT OFF-SITE GLARE.  
 4. LANDSCAPE LIGHTING SHALL NOT EXCEED 6000 FOOT-CANDELS AT PROPERTY LINE. THIS DOES NOT INCLUDE ANY STREET LIGHTS.  
 5. THESE PLANS SHOW LIGHT LOCATIONS, TYPE, HEIGHT, MOUNTING, AND COORDINATE WITH OWNER.  
 6. SEE PLAN, DETAIL, OR STRUCTURAL FOR LIGHT STANDARD FOOTING TYPES AND LOCATIONS.

**Lighting Legend:**  
 (P) 14' LIGHT STANDARD - MOUNTED AT 14'-0" HEIGHT INSTALLED TO PROJECT OFF-SITE AND COORD. FOR DETAIL.  
 (P) PATH LIGHT - 10W LIGHTING IS DONOR-LED MOUNTED AT 14" HEIGHT.  
 (P) SMALL FLOOD LIGHT - MOUNTED AT GROUND LEVEL, AS SHOWN ON AS INDICATED ON PLAN.  
 (P) BUILDING LIGHT PER ARCHITECTURAL PLAN, MOUNTED AT 7'-0" A.P.F.  
 (P) HANGING ARCHITECTURAL LIGHT, COORDINATE WITH OWNER.  
 (P) EXISTING GEORGIA HEAD STREET LIGHT

**Photometric Parameters:**  
 LIGHT READINGS ARE ESTIMATED LEVELS IN FIELD CONDITIONS AND SHOULD NOT BE TAKEN AS EXACT READINGS.  
 FOOT CANDLE LIGHT READINGS ARE SPACED @ 1% APART.  
 LIGHT STANDARD PER LISTED STANDARD SAME FOOT TOP STYLE.  
 ARCHITECTURAL AND LANDSCAPE LIGHTING SHOWN IS SIMULATED BASED ON DATA PROVIDED FROM ITRNG, AND APPROXIMATIONS.



**GENERAL PHOTOMETRIC SCHEDULE**

AVENUE FOOTCANDLES	0.5M
ROADWAY FOOTCANDLES	30.0
URBAN FOOTCANDLES	0.0
URBAN TO SUBURBAN FC RATIO	2.00
AVENUE TO SUBURBAN FC RATIO	20.0 / 0.50
URBAN TO URBAN FC RATIO	0.50 / 0.50

**LIGHTING PLAN**  
 WITH PHOTOMETRIC ANALYSIS SCALE 1/8" = 1'-0"

PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

CHAIR  
October 14, 2015

Simon Housman  
Rancho Mirage

VICE CHAIRMAN  
Rod Ballance  
Riverside

Mr. Kyle J. Smith, AICP, Senior Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

COMMISSIONERS

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

Glen Holmes  
Hemet

File No.: ZAP1151MA15 – Letter 1 of 2  
Related File No.: P13-0263 (General Plan Amendment) and P13-0264  
(Rezoning)

John Lyon  
Riverside

APNs: 266-020-021 and 266-020-065

Greg Pettis  
Cathedral City

Dear Mr. Smith:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No. 2015-01 (as adopted on August 13, 2015), staff reviewed P13-0263 (General Plan Amendment), a proposal to modify the General Plan land use designation of 7.7 acres located southerly of Van Buren Boulevard and westerly of Little Court from Very Low Density Residential (VLDR) to Commercial (C), and P13-0264 (Rezoning), a proposal to rezone the same 7.7 acres from Single-Family Residential, one-half acre minimum lot size and Specific Plan (Orangecrest) (R-1-1/2 acre-SP) to Commercial Retail, Specific Plan (Orangecrest) (CR-SP) or Commercial Retail, Specific Plan (Orangecrest), Building Setback (15 feet from street and adjacent residentially zoned property), and Building Stories (Two-stories) Overlay Zones (CR-SP-X-15-S-2).

STAFF

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, non-residential intensity is not restricted.

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced General Plan Amendment and Rezoning **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of the proposed project. As the site is located within Airport Compatibility Zone E, both the existing and the proposed general plan land use designations and zoning are consistent with the March ALUCP.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549 or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

cc: Mike Sadeghian, Sadeghian's Rental (applicant/payee)  
HPR, Tom Hunt (representative)  
Mohammad and Klara Sadeghian (landowners)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1151MA15\ZAP1151MA15.LTR1.doc





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

**CHAIR**

Simon Housman  
Rancho Mirage

October 14, 2015

**VICE CHAIRMAN**

Rod Ballance  
Riverside

Mr. Kyle J. Smith, AICP, Senior Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

Glen Holmes  
Hemet

File No.: ZAP1151MA15 – Letter 2 of 2  
Related File No.: P15-0158 and P15-0269 (Conditional Use Permits), and P14-0769 (Design Review)

John Lyon  
Riverside

APNs: 266-020-021 and 266-020-065

Greg Pettis  
Cathedral City

Dear Mr. Smith:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed P14-0769 (Design Review) a proposal to establish a commercial center including 4,700 square foot and 6,000 square foot commercial/retail buildings, 10,000 square foot day care building, 2,540 square foot drive-thru restaurant, 10,000 square foot two-story office building, and an 8,000 square foot medical office building on a 7.7 acre site located southerly of Van Buren Boulevard and westerly of Little Court, and P15-0158 and P15-0269 (Conditional Use Permits), proposals to permit a day care center use for up to 175 children and a drive-thru restaurant use on this site.

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lamon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E, non-residential intensity is not restricted.

[www.rcaluc.org](http://www.rcaluc.org)

The elevation of Runway 14-32 at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). The site has an existing maximum elevation of 1684 feet AMSL. The project proposes a maximum building height of 33.5 feet, for a total maximum elevation of 1717.5 feet AMSL. However, the site is located beyond the 20,000 foot radius from the runway at March Air Reserve Base/Inland Port Airport, and the elevation at top point does not exceed the runway elevation by more than 200 feet. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons would not be required.

As ALUC Director, I hereby find the above-referenced Design Review and Conditional Use Permits **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including, but not limited to, any new landscaping utilizing water features, composting operations, trash transfer stations that are open on one or more sides, and recycling centers containing putrescible wastes.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the proposed buildings.
4. Any new aboveground detention or bioretention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549 or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

  
Edward C. Cooper, Director

**AIRPORT LAND USE COMMISSION**

**October 14, 2015**

Attachments: Notice of Airport in Vicinity

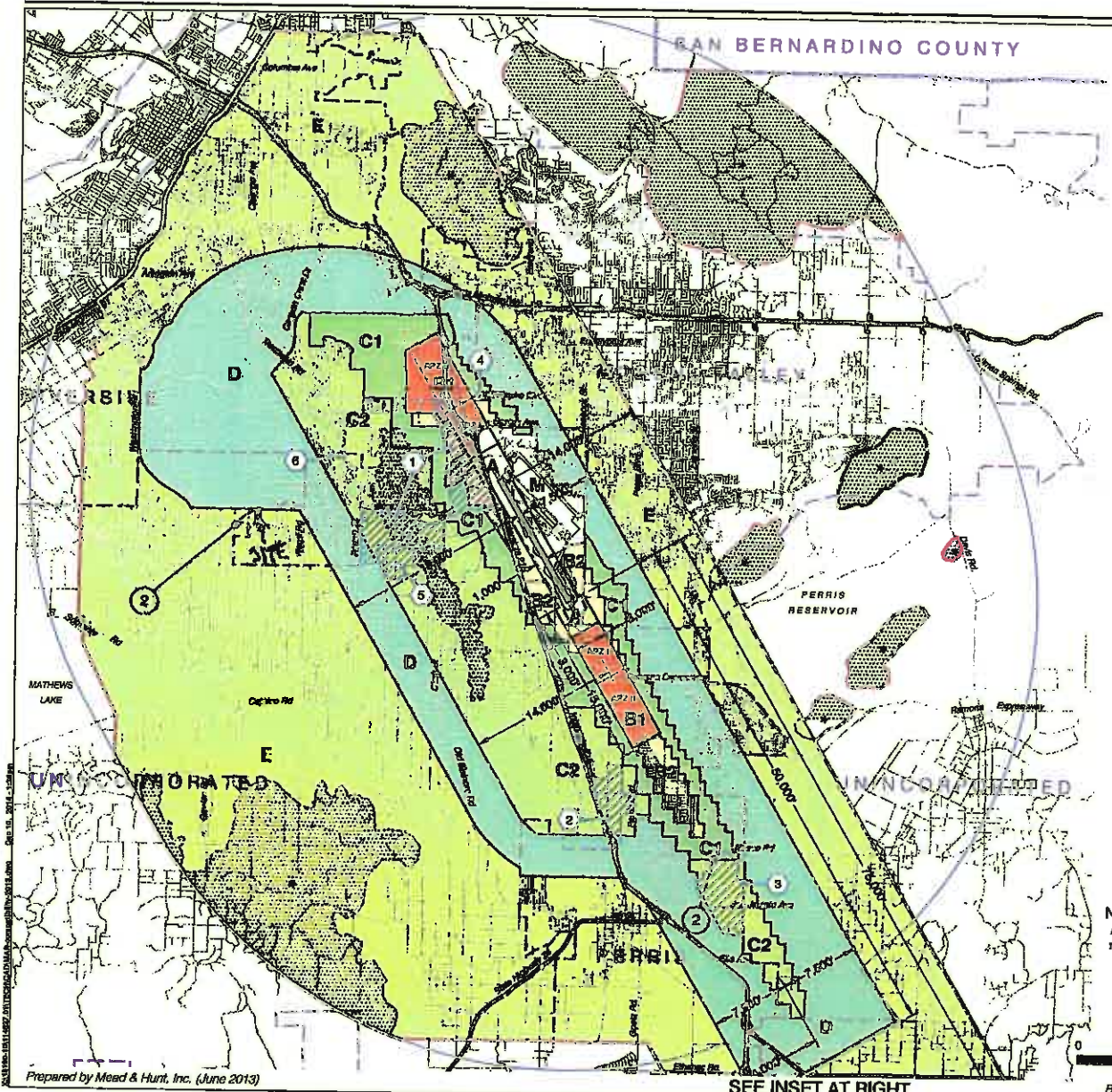
cc: Mike Sadeghian, Sadeghian's Rental (applicant/payee)  
HPR, Tom Hunt (representative)  
Mohammad and Klara Sadeghian (landowners)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1151MA15\ZAP1151MA15.LTR2.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**LEGEND**

**Compatibility Zones**

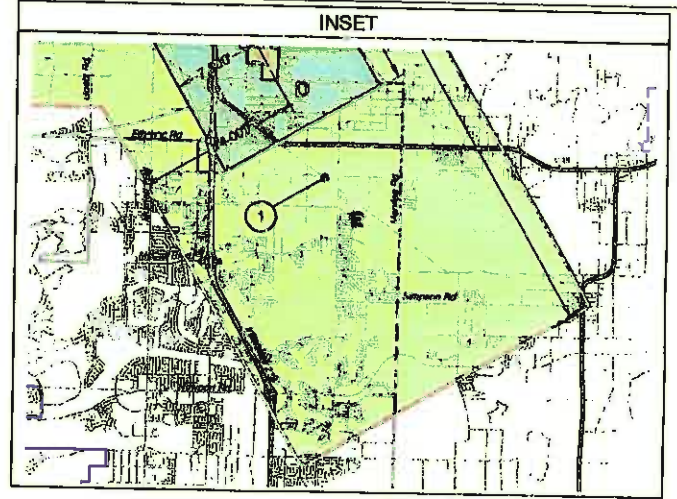
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,635 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ⊕ March JPA: March Business Center/Meridian
- ⊕ Perris: Harvest Landing
- ⊕ Perris: Park West
- ⊕ Moreno Valley: Affordable Housing
- ⊕ March JPA: Ben Clark Training Center
- ⊕ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

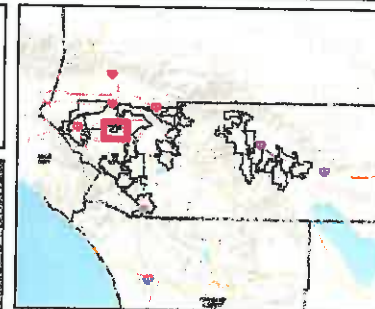
Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



# My Map



## Legend

 Historic Preservation Districts



0 6,487 12,975 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

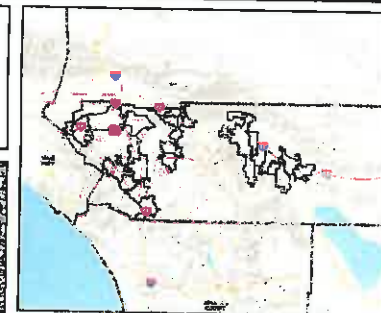
REPORT PRINTED ON... 10/14/2015 9:47:30 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Historic Preservation Districts I



0 1,622 3,244 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

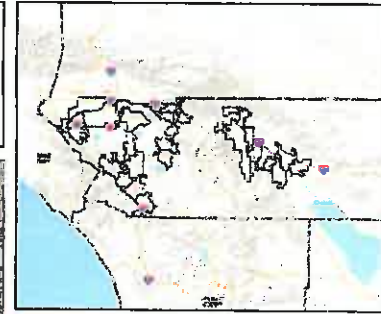
REPORT PRINTED ON... 10/14/2015 9:48:43 AM

© Riverside County TLMA GIS

## Notes



# My Map



## Legend

-  RCLIS Parcels
-  Historic Preservation Districts



0

405

811 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

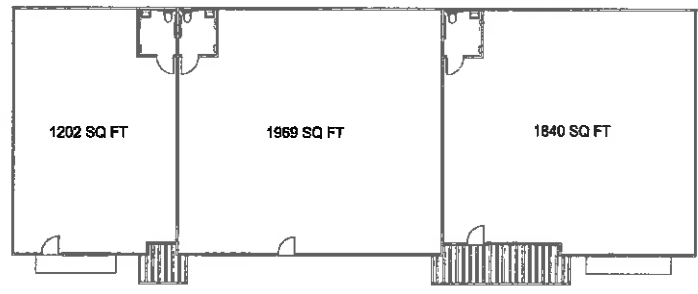
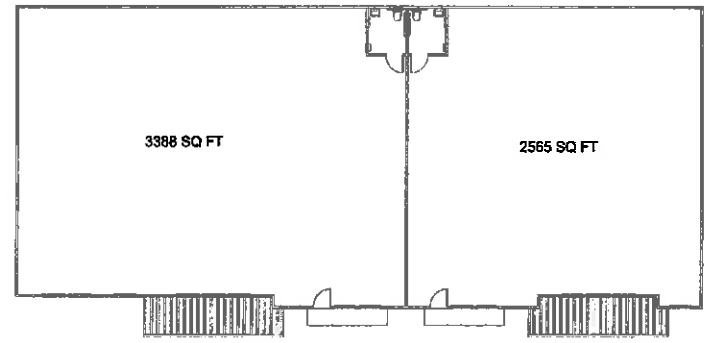
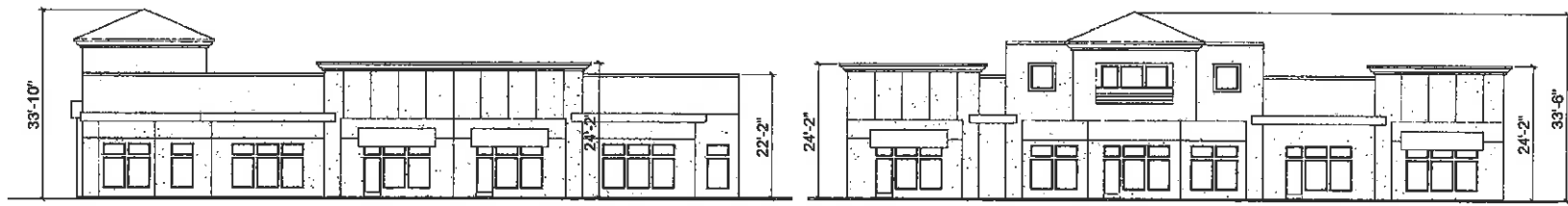
REPORT PRINTED ON... 10/14/2015 9:49:52 AM

© Riverside County TLMA GIS

## Notes



DATE	
BY	
CHKD	
REVISED	
PROJECT	C. BUREN
OWNER	



**FLOOR PLAN**  
**18171 VAN BUREN BLVD.**  
**RIVERSIDE, CA 92508**

**CHRISTIAN BERGUM ARCHITECT**  
 ARCHITECTS • PLANNERS • INTERIORS  
 14421 DICK AVE. • SUITE 100 • VAN NUYS, CA 91411  
 (818) 708-7272

**FLOOR PLAN W/ ELEVATION**  
 SCALE: 1/8" = 1'-0"





**Community & Economic Development Department**

3900 Main Street, Riverside, CA 92522 | Phone: (951) 826-5371 | [RiversideCA.gov](http://RiversideCA.gov)

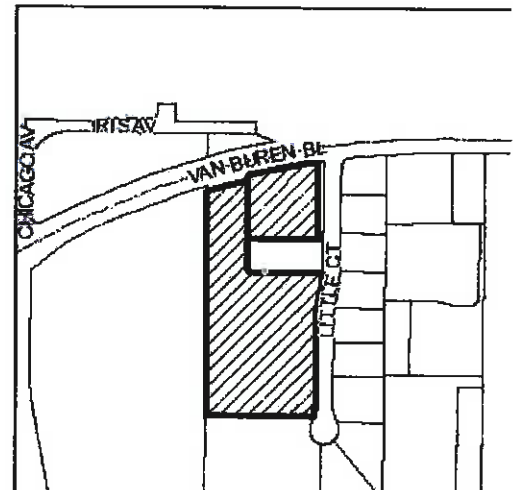
**Planning Division**

[RiversideCA.gov](http://RiversideCA.gov)

**PLANNING COMMISSION HEARING DATE: SEPTEMBER 3, 2015  
AGENDA ITEM NO.: 3**

**PROPOSED PROJECT**

<b>Case Numbers</b>	<b>P13-0263</b> (General Plan Amendment), <b>P13-0264</b> (Zone Change), <b>P14-0769</b> (Design Review), <b>P15-0269</b> (Conditional Use Permit), and <b>P15-0158</b> (Conditional Use Permit)	
<b>Request</b>	Consideration of a General Plan Amendment, Zone Change, two Conditional Use Permits, and Design Review for the construction of six buildings and associated surface parking, including: <ul style="list-style-type: none"> <li>• A 4,700 square foot shell building for future commercial/retail;</li> <li>• A 6,000 square foot shell buildings for future commercial/retail;</li> <li>• A 10,000 square foot day care center;</li> <li>• A 2,540 square foot drive-thru restaurant;</li> <li>• A 10,000 square foot two-story office building; and</li> <li>• A 8,000 square foot medical office building</li> </ul>	
<b>Applicant</b>	Mike Sadeghian, 3595 Van Buren Boulevard, #212	
<b>Project Location</b>	Two-parcel site located at 18171 Van Buren Boulevard, at the southwesterly corner of Van Buren Boulevard and Little Court	
<b>APN</b>	266-020-021 & 266-020-065	
<b>Project area</b>	7.7 acre	
<b>Ward</b>	4	
<b>Neighborhood</b>	Orangecrest	
<b>Specific Plan</b>	Orangecrest	
<b>General Plan Designation</b>	<u>Existing:</u> VLDR – Very Low Density Residential <u>Proposed:</u> C – Commercial	
<b>Zoning Designation</b>	<u>Existing:</u> R-1-1/2 Acre- SP – Single-Family Residential and Specific Plan (Orangecrest) Overlay Zones <u>Proposed:</u> CR-SP – Commercial Retail and Specific Plan (Orangecrest) Overlay Zones	
<b>Staff Planner</b>	Kyle Smith, AICP, Senior Planner; 951-826-5220; <a href="mailto:kjsmith@riversideca.gov">kjsmith@riversideca.gov</a>	



## RECOMMENDATIONS

Pursuant to Chapters 2.40 and 19.050.030 of the Riverside Municipal Code, the Planning Commission shall review the proposed project subject to its consistency with the Zoning Code (Title 19), which includes the General Plan Amendment, Zone Change, Conditional Use Permit and Design Review application. Specifically, Staff Recommends that the City Planning Commission:

1. **RECOMMEND** that the City Council **DETERMINE** that this proposed project will not have a significant effect on the environment based on the findings set forth in the case record, and recommend City Council adoption of a Mitigated Negative Declaration pursuant to Section 15074 of the CEQA Guidelines;
2. **RECOMMEND APPROVAL** of Planning Cases P13-0263 (General Plan Amendment), P13-0264 (Zone Change), P14-0769 (Design Review), P15-0269 (Conditional Use Permit), P15-0158 (Conditional Use Permit), based on the findings outlined in the staff report and summarized in the attached findings, and subject to the recommended conditions; and
3. **RECOMMEND ADOPTION** of attached exhibits 6-11 as approved project plans, subject to recommended conditions of approval.

## SITE BACKGROUND

As shown on the attached exhibits, the 7.7 acre, two-parcel, vacant site is located at 18171 Van Buren Boulevard, on the southwesterly corner of Van Buren Boulevard and Little Court. Access to the site will be from Van Buren Boulevard and Little Court. The project site has an average slope of 13.7% and generally drains generally towards to the north. Attached exhibits 3 – 5 demonstrate the project site's specific location, as well as the General Plan and Zoning designations of the site and surrounding area.

By way of background, a subdivision processed under Planning Case P06-0686 (Tentative Tract No. 34791) was approved on January 3, 2008 to subdivide the property at 18171 Van Buren Boulevard into 8 single family residential lots. With approval of the currently proposed project, Tentative Tract No. 34791 be relinquished since this proposed commercial development was on a majority of the area to be subdivided.

At the May 22, 2014 City Planning Commission meeting, a request was considered for a General Plan Amendment to establish the C – Commercial land use designation, and Zone Change to establish the CR-SP – Commercial Retail and Specific Plan (Orangecrest) Overlay Zones. The General Plan Amendment and Zone Change was requested to facilitate future development of a retail commercial center on the subject 7.7 acres. While a conceptual site plan was submitted, no formal development request was provided to the Planning Commission. The Planning Commission voted to continue the case off-calendar until a development proposal was provided.

At the December 4, 2014 City Planning Commission meeting a request was made to consider the General Plan Amendment and a Zone Change designations as discussed above, which would have facilitated the development of two shell buildings for future occupancy by commercial/retail uses, and a future restaurant pad. The proposal was only on the 1.9 acre portion of the site adjacent to the Van Buren Boulevard frontage. Following discussion, the Planning Commission recommended the project be continued off calendar, asked that the site

be revisited, that a complete project be evaluated, as well as consideration given to circulation and site distance concerns. The Commission asked that the applicant come back with a comprehensive perspective of land use along Van Buren Boulevard, and provide additional information regarding residential and commercially zoned properties in order to evaluate the overall compatibility with the Van Buren corridor.

At both Planning Commission meetings residents from the adjacent single-family homes on Little Court spoke in opposition to the proposal, expressing concerns that the commercial uses would generate future traffic, and that the traffic would impact the adjacent residences.

**PROPOSAL**

The following applications have been submitted:

- General Plan Amendment
- Zone Change
- Design Review
- Conditional Use Permit (Drive Thru business)
- Conditional Use Permit (Day Care Center)

The current proposal consists proposes the construction two shell buildings, of approximately 4,700 square feet and 6,000 square feet, for the future occupancy by commercial/retail uses; an approximate 10,000 square foot day care center; an approximate 2,540 square foot drive-thru restaurant; an approximate 10,000 square foot two-story office building; and an approximate 8,000 square foot medical office building. The associated surface parking on the project site is accessed by a singular two-way driveway on Van Buren Boulevard. No access from Little Court is proposed, except for emergency vehicles.

The project site considered under this report is the entire approximately 7.7 acre two-parcel site; which is a change from what the Planning Commission reviewed in December 2014. Staff notes that the existing flag lot developed with a single family residence at 18233 Van Buren Boulevard is not part of the project site, as the property has a different owner who is not a part of this project.

**PROJECT ANALYSIS**

<i>Authorization and Compliance Summary</i>			
	<b>N/A</b>	<b>Consistent</b>	<b>Inconsistent</b>
<p><b>General Plan 2025</b>                      The existing <b>VLDR – Very Low Density Residential</b> is inconsistent with the proposed project. The project therefor proposes the adoption of the <b>C-Commercial</b> General Plan land use designation. The section below describes the General Plan Amendment in more detail.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>Specific Plan</b>                      The <b>Orangecrest Specific Plan</b> supports the land use designations of the General Plan 2025, as well as the zoning designations of the Zoning Code. The proposed General Plan land use will be compatible with the Orangecrest Specific</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Plan. As a matter of information, the subject site was annexed into the City in 2008 as part of Annexation 107. The Orangecrest Specific Plan Overlay Zone was applied as a blanket zone for all properties annexed under Annexation 107.			
<b>Zoning Code Land Use Consistency (Title 19)</b> The existing <b>R-1-1/2 Acre - Single-Family Residential Zone</b> is inconsistent with the proposed project. The project proposed adoption of the <b>CR - Commercial Retail Zone</b> . The section below describes the rezoning request in more detail.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Compliance with Citywide Design &amp; Sign Guidelines</b> The proposed project substantially meets the objectives of the City's design guidance document, subject to the recommended conditions of approval detailed below.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Compliance with Drive-Thru Business Development Standards</b> The proposed underlying base zone (CR-Commercial Retail) required a Conditional Use Permit for establishment of a drive-thru business. Standards for drive-thru business are found in Chapter 19.475 of the Zoning Code. The application is consistent with the Zoning standards for Drive-Thru businesses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**General Plan Amendment**

The proposed **C-Commercial** General Plan land use designation will provide for future retail, sales, service and office uses that serve multiple neighborhoods within the City. The proposed Commercial land use designation can be supported, as it will be consistent with the General Plan Policy LU-75.3, which encourages local serving retail development to provide nearby shopping opportunities within the Orangecrest neighborhood. The existing General Plan land use designation of VLDR – Very Low Density Residential, is generally inconsistent with the planned and built land use pattern of parcels directly fronting on the Van Buren corridor, and is a remnant of the zoning designation that existed before the area was annexed into the City in 2008. The basis of staff's inconsistency determination is that single family residential properties and cul-de-sacs with direct access on to a major arterial street, such as Van Buren Boulevard, is discouraged. Arterial Streets carry through traffic and connect to the state highway system, generate vehicle associated noises, and generally have restricted access to abutting properties due to vehicle speeds and traffic volume.

Additionally, the Orangecrest Specific Plan supports the land use designations of the General Plan 2025, as well as the zoning designations of the Zoning Code. As such, the proposed General Plan land use will be compatible with the Orangecrest Specific Plan.

**Rezoning**

The proposed **CR - Commercial Retail** is consistent with the site's proposed General Plan land use designation. The subject property has optimal site characteristics of customer convenience and visibility due to frontage along a major arterial street (Van Buren Boulevard). The proposed Zone Change will allow for future commercial development to occur on this property. While single family residents are established along the easterly side of Little Court, the existing the existing R-1-1/2 Acre - Single-Family Residential Zone is generally inconsistent with the planned and built land use pattern of those parcels fronting directly on the Van Buren corridor.

To address site specific neighborhood compatibility concerns related to existing land use in relation to this proposed project, Staff recommends a series of traffic and operational conditions detailed in this report. Specifically, the project site shall have no vehicle access to the project from Little Court, except for emergency vehicles. In conjunction with the proposed rezoning, it is recommended that a building setback overlay zone would be applied to this site to establish a minimum 15-foot building setback along Van Buren Boulevard and the westerly property line, adjacent to the residential flag lot fronting Little Court. The 15-foot building setback is consistent with surrounding development along Van Buren Boulevard, would allow for sufficient landscape area, and would ensure an appropriate separation between residential and commercial uses. Further, a building stories overlay zone is recommended to limit buildings to a maximum of two stories, which would preserve and promote the health, safety and general welfare of the neighboring residential community.

Therefore staff recommends the following zoning be applied to the project site: **CR-SP-X-15-S-2 – Commercial Retail, Specific Plan (Orangecrest), Building Setback (15 feet from street and adjacent residentially zoned property), and Building Stories (Two-stories) Overlay Zones.** Staff notes that the proposed Project has been designed to meet all applicable development standards of the CR Zone with no variances required.

### CONDITIONAL USE PERMIT - DRIVE-THRU BUSINESS

<i>Drive-Thru Standards (Chapter 19.475)</i>					
<i>Proposed CR - Zone</i>					
<b>Standard</b>		<b>Proposed</b>	<b>Consistent</b>	<b>Conditionally Consistent</b>	<b>Inconsistent</b>
<i>Minimum Frontage</i>	100 feet	< 400 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<i>Landscape Setbacks</i>	Street Frontages	15 foot planter	15 feet min.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Interior Property Lines	5 foot planter	(Refer to Plans)	<input type="checkbox"/>	<input type="checkbox"/>
	Between Drive-Thru and Parking Lot	5 foot planter			
<i>Drive-Thru Lane Standards</i>	Minimum Length: 180 feet	~200 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Minimum Stacking: 10 vehicles	11 vehicles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Minimum Width: 12 feet	12 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



As shown in the table above, the proposed drive-thru restaurant meets all applicable standards for drive-thru businesses. No variances are required. While not ideal, the proposed drive-thru lane faces Van Buren Blvd., a Scenic Boulevard. Staff believes the drive-thru can be supported since all appropriate setbacks and development standards are met, and recommended conditions can be adopted to screen the drive thru lane and window using a combination of landscaping, architectural treatment, and masonry walls. Specifically, staff recommends a condition requiring the construction of a 4 foot wall along the easterly side of the drive-thru lane, which will limit headlight and noise impacts on the residents across Little Court. Other details related to the screening can be addressed by staff administratively, prior to the issuance of building permits.

**CONDITIONAL USE PERMIT – DAY CARE CENTER**

As shown on the attached exhibits, the "Learning Experience" is a before & after school day education program for up to 175 children and 8 staff. The day care center is proposed within the 10,000 square foot building, and has an adjacent outdoor play area located in the rear portion of the site, adjacent to the Little Court frontage. The outdoor play area will be enclosed by a security fence. The proposed hours of operation are from 6:30 AM to 6:30 PM, weekdays only. The use can be supported for this location as the proposal is consistent with all applicable site location requirements for day care centers, and is subject to operation and development standards contained in Chapter 19.290 of the Zoning Code.

**DESIGN REVIEW**

<b>Commercial and Office Development Standards (Chapters 19.110 and 19.580)</b>						
<b>Proposed CR - Zone</b>						
<b>Standard</b>		<b>Proposed</b>	<b>Consistent</b>	<b>Conditionally Consistent</b>	<b>Inconsistent</b>	
<b>Max. Building Height</b>	75 ft	(Refer to Plans)				
	Staff recommends adoption of the <b>S-2 Building Stories Overlay Zone</b> , to limit development to two stories.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>Min. Setbacks</b>	Front		0 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Interior Side		0 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Street Side		0 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Rear		0 feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Staff recommends adoption of the <b>X-15 Building Setback Overlay Zone</b> to require a 15 foot building setback from street and adjacent residentially zoned property.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

In total, 20,700 square feet of office / retail space is proposed in three buildings. Although, at this time the proposed uses are not specifically known for two retail shell buildings situated along the Van Buren Boulevard frontage, or the office building at the rear of the site, the project is designed to accommodate commercial and office uses as permitted in the proposed CR – Commercial Retail zone.

The 15-foot building setback is consistent with surrounding development along Van Buren Boulevard, and would allow for sufficient landscape area along Van Buren Boulevard. Additionally, the building setbacks are consistent with the minimum landscape setbacks required for commercial parking lots. The 15-foot setback along Little Court would further ensure greater separation of commercial uses from the residences to the east. A building stories overlay zone is recommended to limit the number of stories to a maximum of two stories, which will preserve and promote the health, safety and general welfare of the neighboring residential community.

### ***Parcel Configuration***

The 7.7 acre, two-parcel, vacant site is located at 18171 Van Buren Boulevard, situated on the southwesterly corner of Van Buren Boulevard and Little Court. While not proposed at this time, and not required to comply with Zoning Standards, the applicant could subdivide the project site in the future through the Administrative Parcel Map process. Such a future subdivision is not necessary from the City's perspective; and is normally proposed by the property owner for financial reasons.

### ***Architecture***

The proposed elevations (Exhibit 9) provide a basis for staff support of the architecture. The proposed architecture includes features of interest and variety, including a slate tile roof, canvas canopies and stacked stone veneer. Further, the proposed building provides a number of key design elements called for in the Citywide Design and Sign Guidelines, such as a second material, a decorative wainscot, building articulation, and a substantial roof cornice. With the implementation of the standard conditions of approval, the proposed building architecture can be supported, as the design elements are generally consistent with the quality and style of recent projects in this general area; and they are mostly consistent with the Citywide Design and Sign Guidelines policies.

### ***Conceptual Landscaping and walls***

The conceptual landscape plan can be supported as it complies with all applicable development standards, complements the architecture, and provides a decorative appeal. Staff recommends a condition that formal landscape and irrigation plans be submitted for staff review prior to building permit issuance. Staff recommends that fast growing vine species be planted adjacent to the perimeter walls, and be trained to grow up the perimeter walls for aesthetic purposes and to minimize graffiti.

As mentioned above, Staff recommends a condition requiring construction of a 4 foot wall along the easterly side of the drive-thru lane to limit headlight and noise impacts on residents across Little Court. As proposed, a retaining "crib" wall will be constructed along the interior southerly property line. The crib retaining wall will provide opportunities for landscaping within the wall cavities.

<b>Parking Standards (Chapter 19.580)</b>					
<b>Use</b>	<b>Ratio</b>	<b>Required</b>	<b>Proposed</b>	<b>Consistent</b>	<b>Inconsistent</b>
Office / Retail 20,700 sqft	1:250	83		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Medical Office 8,000 sqft	1:180	45			
Drive Thru – Restaurant 2,540 sqft	1:100	26			
Day Care Center	1 space/employee plus 1 space/facility vehicle plus 1 space/10 persons at facility capacity	26			
<b>TOTAL</b>		180			

**Site Access and traffic mitigation**

Overall, the proposed site plan design shown on Exhibit 8 is generally acceptable, subject to staff's recommended conditions, as it allows for arterial-facing retail storefronts and neighborhood serving uses towards the rear portion of the site.

While secondary access to the site via Little Court would typically be desired for a commercial development such as this, access to Little Court will be limited to emergency access only, in order to mitigate commercial traffic on the existing residential cul-de-sac.

To minimize traffic impacts resulting from this project, Staff recommends the following: (1) the project participate in the modification of the existing traffic signal at Dauchy Avenue & Van Buren Boulevard; (2) appropriate restriping at Cole Avenue/Trautwein Road & Van Buren Boulevard; and (3) widening of the west leg of the Wood Road & Van Buren Boulevard intersection to include additional lanes, pursuant to Public Works Department standards. Further, Staff recommends the project design and constructs a median break/left turn pocket, and install a half-signal allowing for left turns into the project driveway from Van Buren Blvd., pursuant to Public Works specifications. Compliance with these conditions will produce minimal cut-through and traffic volume impacts to the surrounding residential neighborhood.

**Other considerations - Environmental Waste**

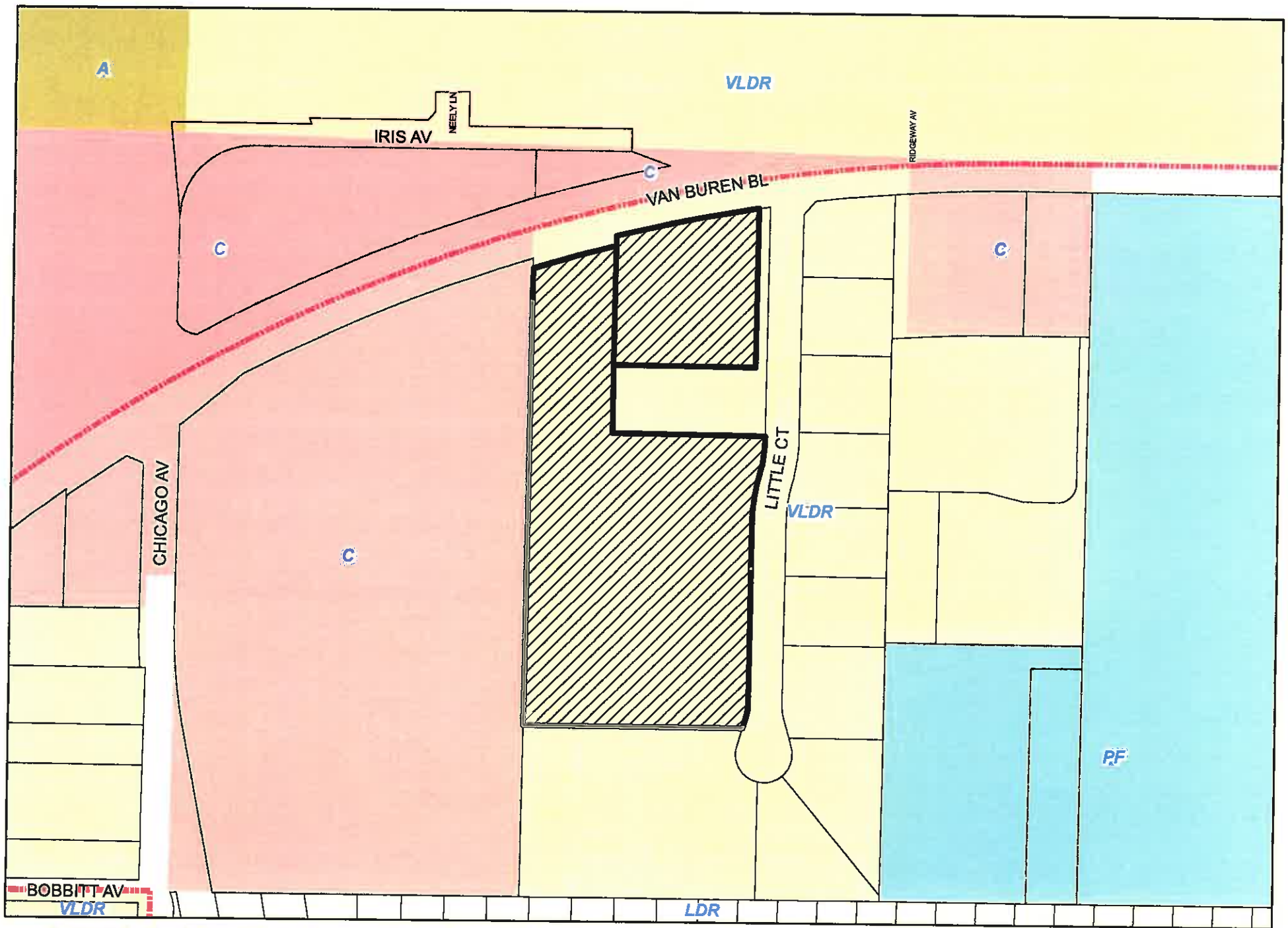
A septic system must be installed to the satisfaction of the County Department of Environmental Health, as a viable public sewer system does not serve this site. Should an on-site disposal system not be viable, the design and construction sewer pump station (lift station) and force main sewer to nearest point of connection (at Dauchy Avenue and Van Buren Boulevard) would be required. These additional sewer improvements would need to be at the developer's expense.





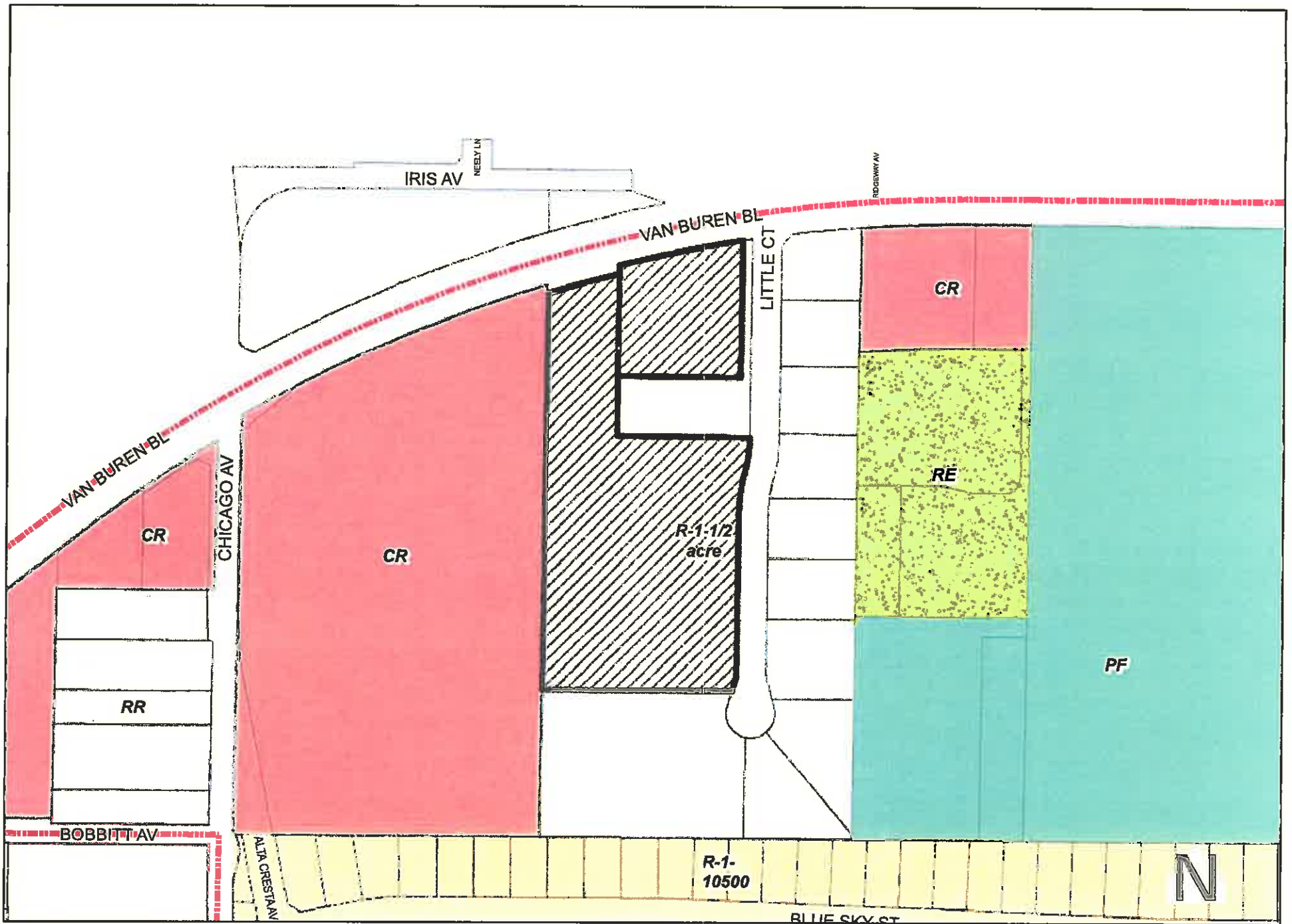
P13-0263, P13-0264, P15-0269, P15-0158 & P14-0769, Exhibit 3- 2012 Aerial Photo



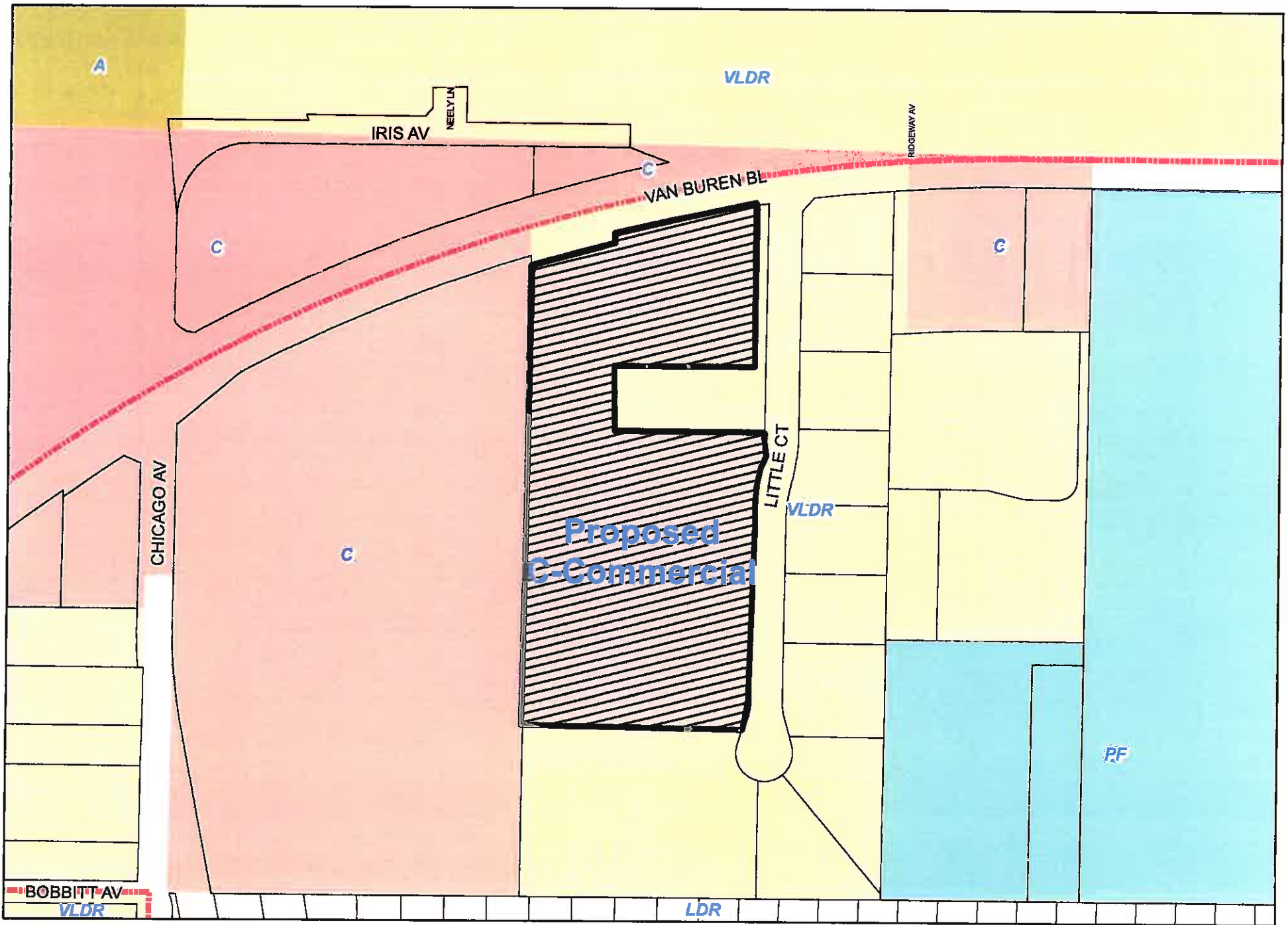


P13-0263, P13-0264, P15-0269, P15-0158 & P14-0769, Exhibit 4 - Existing GP Map

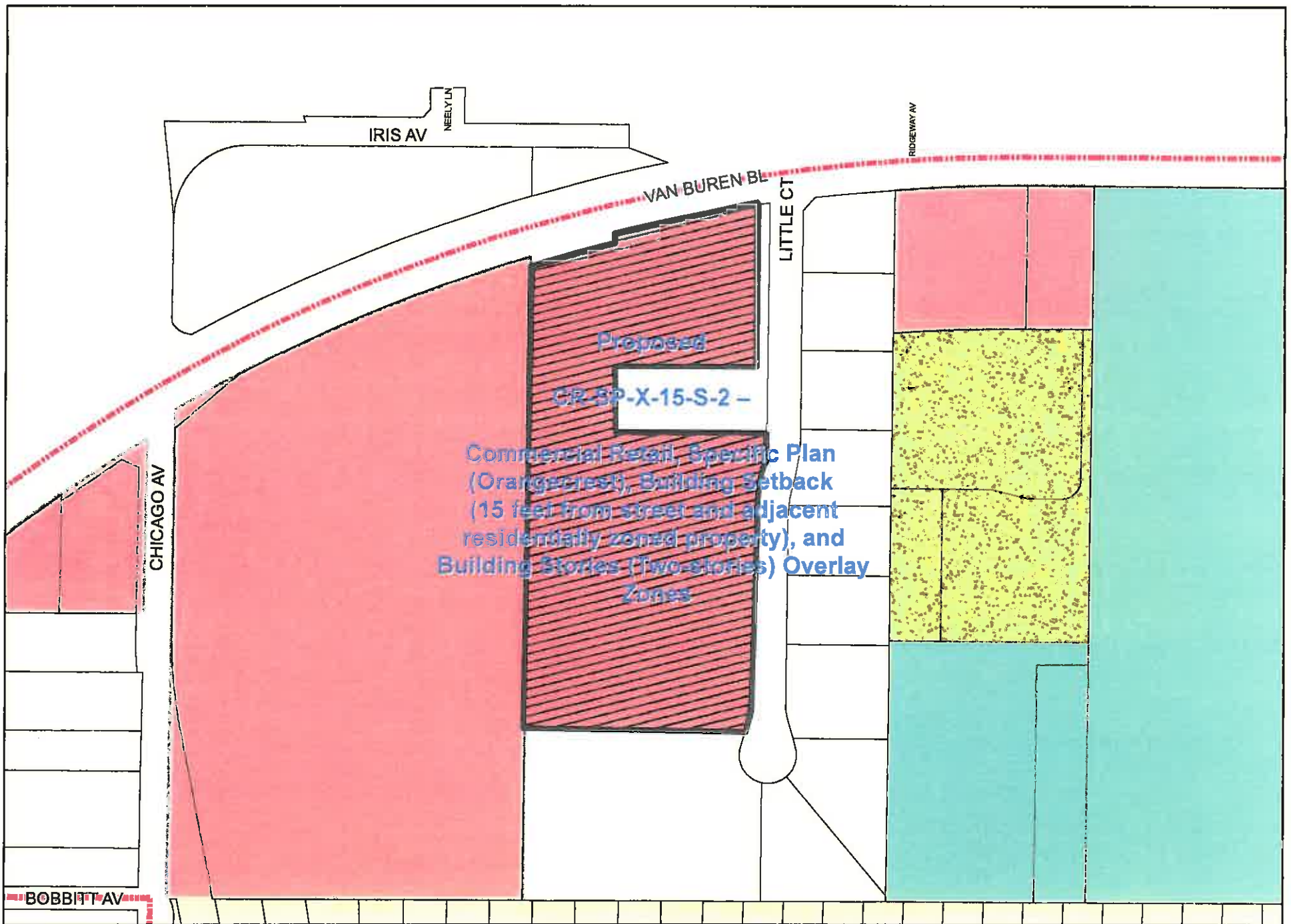




P13-0263, P13-0264, P15-0269, P15-0158 & P14-0769, Exhibit 5 - Existing Zoning



P13-0263, P13-0264, P15-0269, P15-0158 & P14-0769, Exhibit 6- Proposed GP designation



PAGE BREAK



**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC)  
PROJECT SUBMISSION SCHEDULE FOR 2016**

<b>MEETING (THURSDAY) DATE &amp; TIME *</b>	<b>LOCATION *</b>	<b>PROJECT SUBMITTAL DEADLINE</b>	<b>PUBLIC NOTICE MAILED</b>	<b>STAFF REPORT MAILED*</b>
JANUARY 14, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM - 1 <sup>ST</sup> FLOOR	12-2-15	12-30-15	1-5-16
FEBRUARY 11, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	12-30-15	1-27-16	2-2-16
MARCH 10, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	1-27-16	2-24-16	3-1-16
APRIL 14, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	3-2-16	3-30-16	4-5-16
MAY 12, 2016 @9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	3-30-16	4-27-16	5-3-16
JUNE 9, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	4-27-16	5-25-16	5-31-16
JULY 14, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	6-1-16	6-29-16	7-5-16
AUGUST 11, 2016 @9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	6-29-16	7-27-16	8-2-16
SEPTEMBER 8, 2016 @9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	7-27-16	8-24-16	8-30-16
OCTOBER 13, 2016 @9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	8-31-16	9-28-16	10-4-16
NOVEMBER 10, 2016 @9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	9-28-16	10-26-16	11-1-16
*DECEMBER 8, 2016 @ 9:00 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	10-26-16	11-23-16	11-29-16

**NOTE:**

Administrative items are reviewed within thirty (30) days.

**\* Subject to change**

**Dates and locations may change, some meetings may be eliminated or added**



**PAGE BREAK**





BEFORE THE ENERGY RESOURCES CONSERVATION AND DEVELOPMENT  
COMMISSION OF THE STATE OF CALIFORNIA  
1516 NINTH STREET, SACRAMENTO, CA 95814  
1-800-822-6228 – WWW.ENERGY.CA.GOV

**APPLICATION FOR CERTIFICATION FOR THE  
SONORAN ENERGY PROJECT**

**Docket No. 02-AFC-01C**

**NOTICE OF PUBLIC SITE VISIT, ENVIRONMENTAL SCOPING MEETING  
AND  
INFORMATIONAL HEARING**

On August 7, 2015, AltaGas Sonoran Energy Inc. ("AltaGas"<sup>1</sup>) submitted a Petition to Amend to the California Energy Commission seeking permission to make changes to the Final Decision for the Blythe Energy Project Phase II. The project owner has renamed the project "Sonoran Energy Project" (SEP). The SEP, a proposed 553 megawatt (MW) natural-gas-fired combined-cycle power plant, would be located in eastern Riverside County, approximately five miles west of the city of Blythe.

**PLEASE TAKE NOTICE** that the Energy Commission has designated a Committee<sup>2</sup> of two commissioners to conduct proceedings on the Petition to Amend. The Committee has scheduled a Public Site Visit, Environmental Scoping Meeting, and Informational Hearing as described below:

**MONDAY, SEPTEMBER 28, 2015**

**Public Site Visit begins at 4:30 p.m.**

**Blythe City Hall**

**(Complimentary bus transportation leaves Blythe City Hall  
for the site at approximately 4:40 p.m.)**

**Environmental Scoping Meeting/Informational Hearing begins at 5:30 p.m.**

**Blythe City Hall Council Chambers**

**235 North Broadway**

**Blythe, CA 92225**

**(Map attached)**

<sup>1</sup> AltaGas purchased the Blythe II project from the previous owner, Caithness Blythe II, in 2014.

<sup>2</sup> The Committee consists of Commissioner Janea Scott, Presiding Member, and Karen Douglas, Associate Member. The full Commission made this Committee assignment at an Energy Commission Business Meeting on August 12, 2015.

Prior to the Environmental Scoping Meeting and Informational Hearing, the public is invited to join the Committee on a tour of the proposed site. AltaGas will provide complimentary bus transportation from Blythe City Hall, which will depart at approximately 4:40 p.m. For site visit and bus reservations, please contact the Commission's Public Adviser's Office at (916) 654-4489 or 1-800-822-6228, or e-mail [publicadviser@energy.ca.gov](mailto:publicadviser@energy.ca.gov).

**Please make your reservation by 3:00 p.m. on or before September 21, 2015, so that we can assure you a seat on the bus.**



**TELECONFERENCE OPTION:** Parties and the Public may attend the Environmental Scoping Meeting/Informational Hearing in person at the above location or by telephone and/or by computer via our "WebEx" web conferencing system. For details on how to participate by WebEx, please see the "Participation through WebEx" directions attached to this Notice.

## **Background**

On December 14, 2005, the California Energy Commission granted a certificate to Caithness Blythe II, LLC, to construct and operate the Blythe Energy Project Phase II (BEP II), Docket Number 02-AFC-01. The approved BEP II has not been built yet. The project owner received license extensions from the Commission in 2010 and 2012. An amendment, approved in 2012, increased project output from 520 MW to 569 MW. Under the 2012 Amendment, the project would be a combined-cycle power plant consisting of two combustion turbines with fired heat recovery steam generators (HRSGs), a single steam turbine generator (STG), an 11-cell wet cooling tower, and ancillary equipment. The project site is located in eastern Riverside County, approximately five miles west of Blythe, California.

On May 9, 2014, AltaGas submitted a Notice of Name Change/Petition to Change Ownership from Caithness Blythe II, LLC to AltaGas Sonoran Energy, Inc. to the Commission. The Commission approved the name and ownership change on June 18, 2014.

Upon acquisition of the project, AltaGas evaluated the project as approved and determined that in light of current turbine technology, changes to the project design were needed to better support integration of renewables to the grid by providing fast-starting, faster-ramping, lower-minimum-load, higher-efficiency combined-cycle generation.

## **Proposed Project Modifications**

The SEP is a proposed natural gas-fired, water-cooled, combined cycle, 553 MW net electrical generating facility. The proposed changes involve the following amendments to the BEP II certificate:

- Define a new point of electrical interconnection via an approximately 1,320-foot, 161-kV transmission line to the Western Area Power Administration's Blythe substation located southeast of the project site.
- Replace the two approved, but not built, Siemens SGT6-5000F combustion turbines with a single, more efficient General Electric (GE) Frame 7HA.02 combustion turbine.
- Replace the approved, but not built, Siemens STG with a more efficient single-shaft GE D652 STG.
- Increase the size of the approved, but not built, auxiliary boiler to support the GE combustion turbine's rapid response fast-start capability.
- Decrease the size of the approved, but not built, cooling tower from an 11-cell to a 10-cell tower in response to the reduced-heat rejection requirements.
- Decrease the size of the approved, but not built, emergency diesel fire pump engine.

Operation of the proposed SEP would remain within the parameters of existing Condition of Certification WATER RES-4 and would not exceed a maximum of 2,800 acre-feet per year of water, based on the facility operating 7,000 hours per year.

Construction of the SEP is scheduled to begin in the 2nd quarter of 2016 and continue through the 2nd quarter of 2018, approximately 26 months, including 4 months of commissioning.

### **Purpose of the Public Site Visit, Environmental Scoping Meeting, and Informational Hearing**

The power plant certification, licensing and amendment process, which incorporates requirements equivalent to the environmental impact report process of the California Environmental Quality Act, considers all relevant engineering and environmental aspects of the proposed project as well as its consistency with applicable laws and development standards. The amendment review provides a public forum allowing AltaGas, Energy Commission staff ("Staff"), governmental agencies, adjacent landowners, and members of the general public to discuss the advantages and disadvantages of the proposed amendments to the project, and to propose changes, mitigation measures, and alternatives as necessary.

The September 28, 2015 Site Visit, Environmental Scoping Meeting, and Informational Hearing will provide an opportunity for members of the community in the project vicinity to obtain information, identify areas of environmental concern to be addressed during the Commission's proceeding, offer comments, and view the project site. The project

owner will explain its plans for developing the project and related facilities. Staff will explain the licensing and amendment process and their role in that process. Members of the public may present oral comments at the Environmental Scoping Meeting/Informational Hearing and no advance notice need be provided. Members of the public may also ask Staff and the project owner questions about the site and proposed facility, as well as the review process.

For more details regarding the proposed power plant and associated facilities, see the Petition to Amend. The Petition to Amend submitted to the Energy Commission is AltaGas's in-depth description of its proposed project. An electronic version has been posted on the Energy Commission's Sonoran Energy Project webpage <http://www.energy.ca.gov/sitingcases/sonoran>. Copies of the Petition to Amend are also available at the local public agencies that are involved in the review process, and at the following libraries:

Palo Verde District Library 125 W. Chanslor Way, Blythe, CA 92225	Riverside Library – Main Branch 3581 Mission Inn Ave., Riverside, CA 92501	Parker Public Library 1001 S. Navajo St. Parker, AZ 85344
Quartzsite Public Library 465 N. Plymouth Ave. Quartzsite, AZ 85346		

Copies of the Petition to Amend are also available at the Energy Commission's Library in Sacramento, the California State Library in Sacramento, and at public libraries in Eureka, San Francisco, Fresno, Los Angeles, and San Diego.

**Proposed Schedule and Issues Identification Report**

Staff will file a proposed schedule for project review and an Issues Identification Report summarizing the major issues to date. This report will also indicate what additional information is necessary to resolve issues of concern. The proposed schedule and Staff's report shall be filed by noon on September 21, 2015. AltaGas shall file its response, if any, by noon on September 24, 2015.

Copies of these documents will be posted on the Energy Commission's Internet web page at: <http://www.energy.ca.gov/sitingcases/sonoran>.

**Public Adviser and Public Participation**

The Energy Commission invites members of the public and other interested parties to participate either on an informal basis or by intervening in the proceeding. Both types of participation allow written and oral comments. At the informal participation level, written and oral comments are considered by the Commissioners and are part of the record,



but are not part of the formal evidentiary record. Intervenors have the right to introduce evidence into the evidentiary record and cross-examine the other parties' witnesses.

The Energy Commission Public Adviser's Office is available to assist the public in participating in the amendment review process. For information on how to participate, contact Alana Mathews, Public Adviser, at (916) 654-4489 or 1-800-822-6228, or by e-mail at [publicadviser@energy.ca.gov](mailto:publicadviser@energy.ca.gov).

If you have a disability and need assistance to participate in this event, contact Lourdes Quiroz no less than five days prior to the hearing at (916) 654-5146 or by e-mail at [lou.quiroz@energy.ca.gov](mailto:lou.quiroz@energy.ca.gov).

### **Information**

Questions of a legal or procedural nature should be directed to Raoul Renaud, Hearing Adviser, at (916) 651-2020, or by e-mail at [raoul.renaud@energy.ca.gov](mailto:raoul.renaud@energy.ca.gov).

Technical questions concerning the project should be addressed to Mary Dyas, Compliance Project Manager, at (916) 651-8891, or by e-mail at [mary.dyas@energy.ca.gov](mailto:mary.dyas@energy.ca.gov).

Media inquiries should be directed to the Office of Media and Public Communications at (916) 654-4989, or by e-mail at [mediaoffice@energy.ca.gov](mailto:mediaoffice@energy.ca.gov).

Information concerning the status of the project, as well as notices and other relevant documents, may be viewed on the Energy Commission's Internet web page at <http://www.energy.ca.gov/sitingcases/sonoran>.

Dated: September 11, 2015, at Sacramento, California

ORIGINAL SIGNED BY:

---

JANEA A. SCOTT  
Commissioner and Presiding Member  
Sonoran Energy Project AFC Committee

ORIGINAL SIGNED BY:

---

KAREN DOUGLAS  
Commissioner and Associate Member  
Sonoran Energy Project AFC Committee

*Mailed to List: 7088*