



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon Street, 1st Floor Hearing Room  
Riverside, California

Thursday 9:00 A.M., February 11, 2016

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**NOTE:** If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

### 1.1 CALL TO ORDER

### 1.2 SALUTE TO FLAG

### 1.3 ROLL CALL

## 2.0 PUBLIC HEARING: CONTINUED ITEMS

**NONE**

## 3.0 PUBLIC HEARING: NEW ITEMS

### PALM SPRINGS INTERNATIONAL AIRPORT

- 3.1 ZAP1037PS15 – Jennifer Guglielmo – City of Palm Springs Case No. CUP 5.1386 (Conditional Use Permit). A proposal to operate a kennel (dog day care, boarding, and training) within a 2,345 square foot suite with an address of 752 Vella Road in an existing building located on the easterly side of Vella Road, southerly of Sunny Dunes Road in the City of Palm Springs. (Airport Compatibility Zone B1 of the Palm Springs International Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: CONSISTENT

County Administrative Center  
4080 Lemon St, 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals

4.2 Completion of Current Terms of Office

4.3 Specific Delegation of Authority: Amendment to March Business Center/Meridian Specific Plan (South Campus)

4.4 Status of Compatibility Plan Amendment Proposals

**5.0 APPROVAL OF MINUTES**

January 14, 2016

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

**7.0 COMMISSIONER'S COMMENTS**

7.1 March Joint Powers Authority TAC Report Update by Commissioner Ballance

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1  
**HEARING DATE:** February 11, 2016  
**CASE NUMBER:** ZAP1037PS15 – Jennifer Guglielmo  
**APPROVING JURISDICTION:** City of Palm Springs  
**JURISDICTION CASE NO:** CUP 5.1386 (Conditional Use Permit)

**MAJOR ISSUES:** The building in which the proposed facility would be located is in Airport Compatibility Zone B1. An evaluation of the site as a whole using the Building Code Method indicates that average and single-acre criteria may be exceeded at this location, especially if a suite leased by a church is used for weekend church services. The applicant has noted that the proposed dog boarding facility would likely accommodate a maximum of 6 employees and customers at a given time, compared to an office use which would potentially accommodate 11 people in the same area. Although the proposed dog boarding facility would increase existing intensity (in comparison to the suite's continued vacancy), this use would be less intense than office uses which likely previously occupied the space. Based on this, pursuant to Countywide Policy 3.3.2(b), the proposed project would not increase usage intensity beyond the existing or previous use of the space as office.

**RECOMMENDATION:** Staff recommends that the Commission find the proposed project **CONSISTENT** with the 2005 Palm Springs International Airport Land Use Compatibility Plan, pursuant to Countywide Policy 3.3.2(b), in that the proposed project would not increase intensity above the levels that would occur if the suite were used as an office, subject to the attached conditions.

**PROJECT DESCRIPTION:** The applicant proposes to establish a 2,345 square foot dog boarding and dog day care business within an existing industrial building (developed prior to 2005) on an approximately 1.22 acre (gross) parcel. The facility would include dog kennel and play areas, as well as a reception area.

**PROJECT LOCATION:** The project site is located easterly of Vella Road, southerly of Sunny Dunes Road, northerly of Mesquite Avenue, and westerly of Williams Road, approximately 2,500 feet southerly of the southeasterly terminus of Runway 13R-31L at Palm Springs International Airport.

**LAND USE PLAN:** 2005 Palm Springs International Airport Land Use Compatibility Plan

a. Airport Influence Area: Palm Springs International Airport

b. Land Use Policy: Airport Compatibility Zone B1

c. Noise Levels: Aircraft noise levels are below 60 CNEL

**BACKGROUND:**

Non-Residential Average Intensity: The project is located within Airport Compatibility Zone B1. Within Compatibility Zone B1, the applicable intensity criteria allow an average of 25 persons per gross acre. With a gross area of approximately 1.22 acres, a total intensity of 31 people is permitted on-site. The subject parcel includes one building and a portion of a second building.

The first building located within the westerly portion of the parcel is approximately 8,850 square feet in area. A second building located within the easterly portion of the parcel (which appears to be part of a larger building located on the adjacent parcel to the east) includes approximately 3,800 square feet within this parcel. The "Building Code Method" for calculating intensity utilizes "minimum floor area per occupant" criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the total intensity of the proposed dog boarding facility would be 38 people (due primarily to a reception area with an occupancy level of one person per 7 square feet), based on the floor plan provided by the applicant. However, the applicant anticipates a maximum occupancy of 6 at a given time, consisting of 3 employees and customers intermittently picking up or dropping off their dogs.

Since the proposed use would occupy just one suite out of the five current suites between the two buildings on the subject parcel, it is important to understand what currently exists and what would be a potential maximum use of the other suites on the parcel to calculate the projected total intensity of the building. Currently, the second building and Suite 748 are vacant. A personal counseling service (which the applicant and property owner note only operates one day a week) occupies suite 756, and a church occupies the westerly suite (which primarily operates on Sundays but has some activities during the week). Based on these general uses, the building currently has a maximum occupancy of 199 people (assuming 1 person per 15 square feet of assembly area for the church) for an average intensity of 163 people based on the building code method. The proposed dog boarding facility would increase the maximum occupancy from the existing 199 to 205 people for an average intensity of 168, which would exceed the average intensity limit of 25 people per acre.

The church use accounts for the vast majority of the occupancy, at 191 people based on the building code. In actual use the church accommodates a maximum of approximately 40 people according to the property owner and applicant and operates on Sundays from 9 a.m. to 12 p.m. and Wednesdays from 6 p.m. to 7 p.m.. Substitution of this actual occupancy in place of the 191 would result in a revised existing site occupancy of 48 and average occupancy of 39. Additionally, the proposed dog boarding facility is not planned to be open to customers on Sundays and would close at 6 p.m. during the week and would typically only have one employee while closed. It is not clear how or when the church use was established; new places of worship are prohibited uses within Compatibility Zone B1.

However, the use previously existing in the suite space proposed for dog boarding was likely an

office type use since the entire suite is carpeted. An office use could have accommodated approximately 11 people on its own, for a total site occupancy of 210 and average intensity of 172 based on the building code method. Countywide Policy 3.3.2(b) would allow for nonconforming nonresidential development to be continued, leased, or sold if the nonconforming use intensity is not increased. If this office use were classified as an existing use pursuant to Countywide Policy 3.3.2.(b), the proposed project could be deemed consistent if the usage intensity does not increase above the existing land use. It is not known what the specific land use was at time of adoption of the Palm Springs International Airport Land Use Compatibility Plan, but the existing building was constructed at that time and it is reasonable to assume it was occupied by an office use or similar use. Therefore, the proposed dog boarding facility anticipating a maximum of 6 people would not increase the existing intensity on the site when considering the suite's prior use and could be deemed Consistent pursuant to Countywide Policy 3.3.2(b).

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle in the absence of more precise data). Based on the 34 existing parking spaces for the site, the total occupancy would be estimated at 51 people. This total occupancy within the 1.22 acre area results in an average intensity of 42 people per acre, which would exceed the Zone B1 average acre criterion of 25. However, although the amount of parking could indicate that the existing building could accommodate this level of occupancy, the anticipated occupancy as calculated previously would be below the Zone B1 average acre criterion.

Another alternative to determine consistency of the proposed use within an existing building would involve dividing out the allowed intensity evenly between the suites regardless of actual existing uses. The first building, where the proposed dog boarding and day care is proposed, includes four total suites all generally similar in size. The second building consists of one suite. In total the first building represents approximately 69% of the total building area and the second building (the portion located on the subject parcel) represents approximately 31% of the total building area. If the maximum allowed occupancy of 31 for the entire site were distributed evenly, the first building would be allowed a maximum of 21 people and the second building would be allowed a maximum of 10 people. Since each of the suites in the first building are relatively similar in size, each would be allowed between 5 and 6 people. The applicant anticipates a typical maximum of 6 people as previously noted. Based on this approach of the subject suite's evenly allocated maximum occupancy, the applicant's anticipated maximum of 6 people would comply with the Compatibility Zone B1 average criterion of 25 persons per gross acre.

Non-Residential Single-Acre Intensity: The project is located within Airport Compatibility Zone B1. Within Airport Compatibility Zone B1, the applicable intensity criteria allow a single-acre maximum of 50 persons for projects two acres or greater in area. However, due to the total site acreage being less than two acres, the average intensity criterion is the governing factor.

Noise: The site is located within the area subject to average aircraft noise levels below 60 CNEL. As a non-residential noise generating use, no special measures to mitigate aircraft-generated noise are

required.

PART 77: Not applicable as no new building construction is proposed.

Open Area: Compatibility Zone B1 requires that 30% of area within major projects (10 acres or larger) be set aside as open land that could potentially serve as emergency landing areas. Since the project site is less than ten acres, this criterion is not applicable.

### **CONDITIONS:**

1. This Consistency determination and these conditions of approval are based on the representation made by the applicant that no more than 6 people will occupy this facility at a given time.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light, visual approach slope indicator, or FAA-approved obstruction lighting.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, nursing homes, places of worship established after the date of this approval, aboveground bulk storage of hazardous materials, highly noise-sensitive outdoor nonresidential uses, critical community infrastructure facilities, and hazards to flight.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of the on-site buildings.
4. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either

the spillage of lumens or reflection into the sky. All new outdoor lighting shall be downward facing.

5. Prior to the issuance of occupancy permits, the landowner shall convey an avigation easement to Palm Springs International Airport, which shall be recorded, or shall provide evidence that such an easement covering the property has already been recorded, unless such easement is prohibited by law or waived by the Airport. Copies of the avigation easement, upon recordation, shall be forwarded to the City of Palm Springs Planning Department and to the Riverside County Airport Land Use Commission.
6. The City of Palm Springs shall either prohibit the following uses or shall require additional review by the Airport Land Use Commission prior to the establishment of any of the following uses in the buildings on this property:

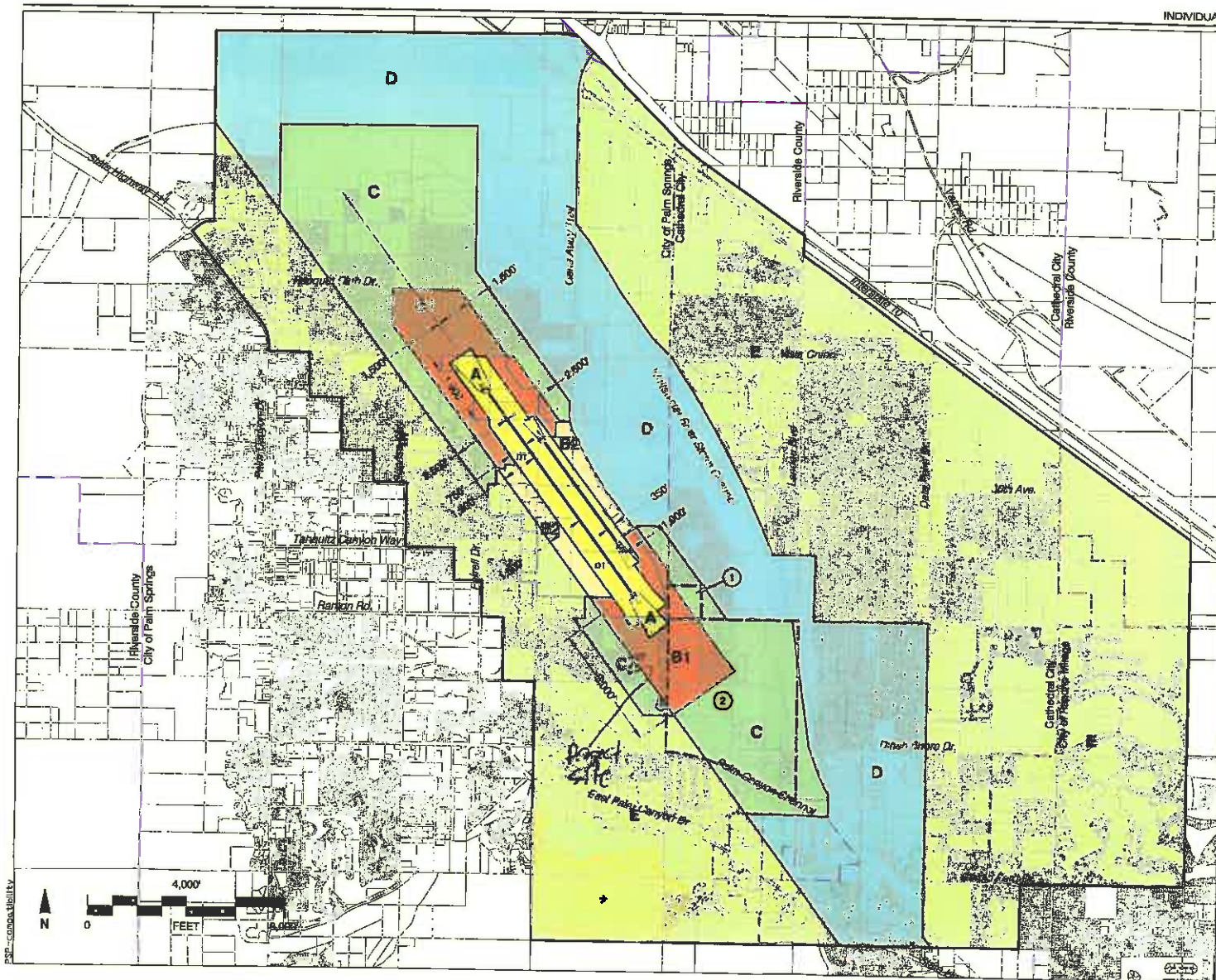
Auction rooms, assemblies of people, auditoriums, classrooms, conference rooms with a capacity of 20 or more persons, community care facilities, court rooms, dance floors, exhibit rooms, gaming (including bingo), restaurants, drinking establishments, gymnasiums, homeless shelters, lounges, retail sales facilities, reviewing stands, skating rinks, stages, swimming pools, vocational and technical schools, and other uses that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) pursuant to California Building Code (1998) Table 10-A.

This prohibition or requirement for review does not apply to uses that were established in these buildings prior to 2005 and have been in continuous operation since their establishment.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





- Legend**
- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

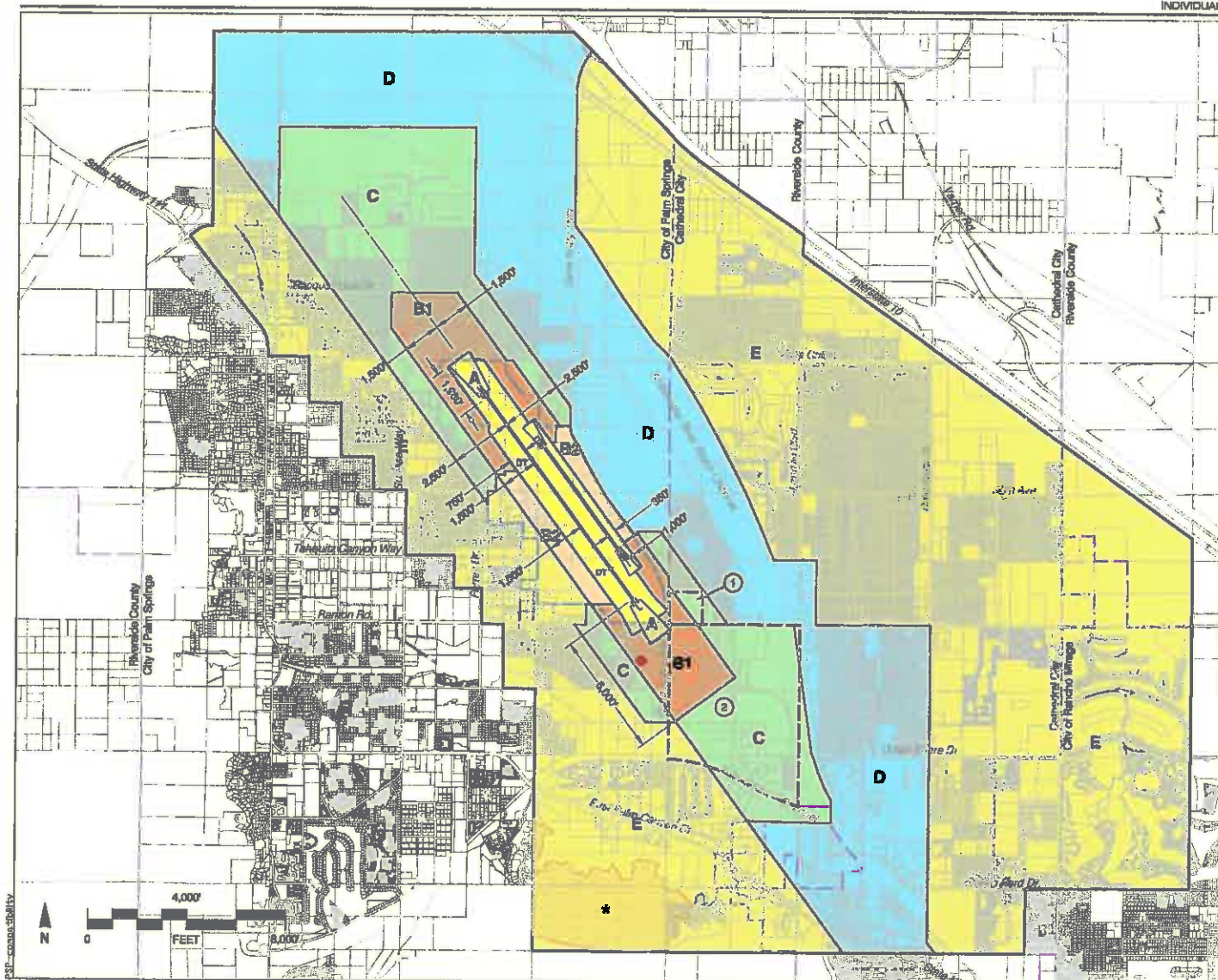
- Boundary Lines**
- Airport Property Line
  - City Limits

- Notes**
- All dimensions measured from runway ends and centerlines.
- DT = Displaced Threshold
- See Chapter 2, Table 2A for compatibility criteria associated with this map.
- See Policy PS.2.1.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted March 2005)

Map PS-1

**Compatibility Map**  
 Palm Springs International Airport



**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - ⊗ Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
  - - - City Limits

**Notes**

All dimensions measured from runway ends and centerlines.

DT = Displaced Threshold

See Chapter 2, Table 2A for compatibility criteria associated with this map.

⊗ See Policy PS.2.1.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted March 2005)

Map PS-1

**Compatibility Map**  
 Palm Springs International Airport

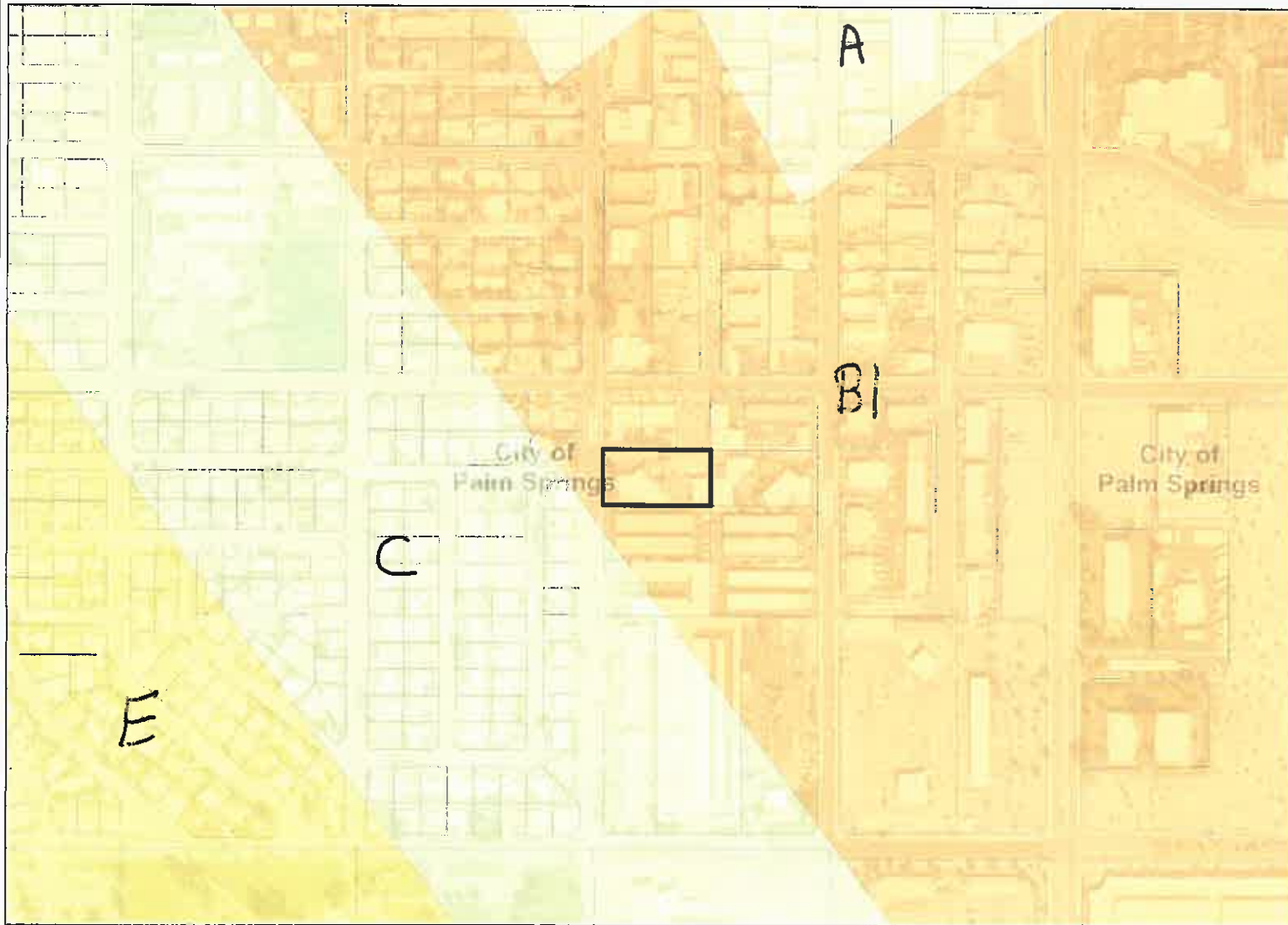
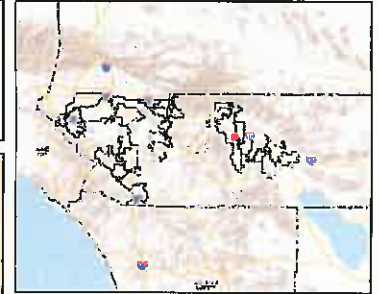
Suites  
 ● = 748 - 756 Vella Rd,  
 Palm Springs, CA 92264



Imagery ©2015 DigitalGlobe, USDA Farm Service Agency, Map data ©2015 Google 500 ft

Suites  
● = 748 - 752 Valla Rd,  
Palm Springs, CA 92264

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



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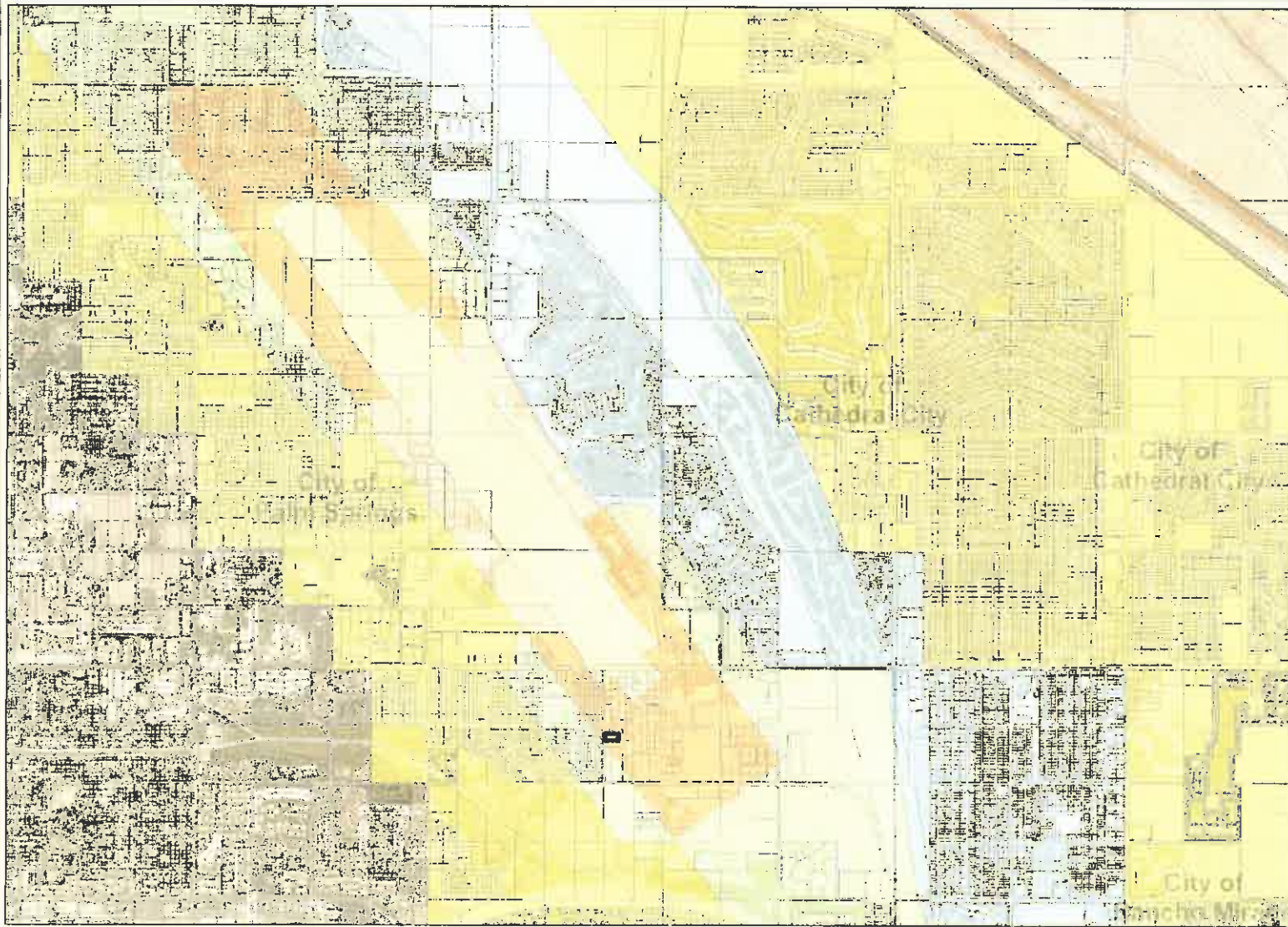
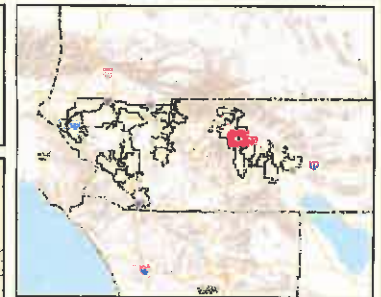
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## Notes

# My Map



## Legend

### Airport Compatibility

-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
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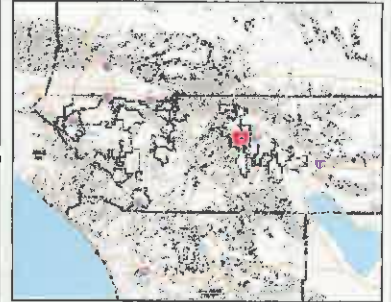
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## Notes

# My Map



## Legend

- Airports
- CSA**
- <all other values>
- #93
- #103
- #93
- BELLE MEADOWS, #148
- N PALM SPRINGS, #13
- BERMUDA DUNES, #121
- PALM SPRINGS, #15
- CABAZON, #85
- PERRIS, #89
- CHERRY VALLEY, #27
- PERRIS/WAGON WHEEL, #70
- CORONITA, #1
- PINE COVE, #38
- CORONITA, #21
- PINYON FLATS, #60
- CRESTMORE, #73
- QUAIL VALLEY, #86
- DESERT CENTER/LAKE TAMARIC
- RIPLEY, #62
- DESERT HOT SPRINGS, #115
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- SE HEMET, #94
- HEMET, #69



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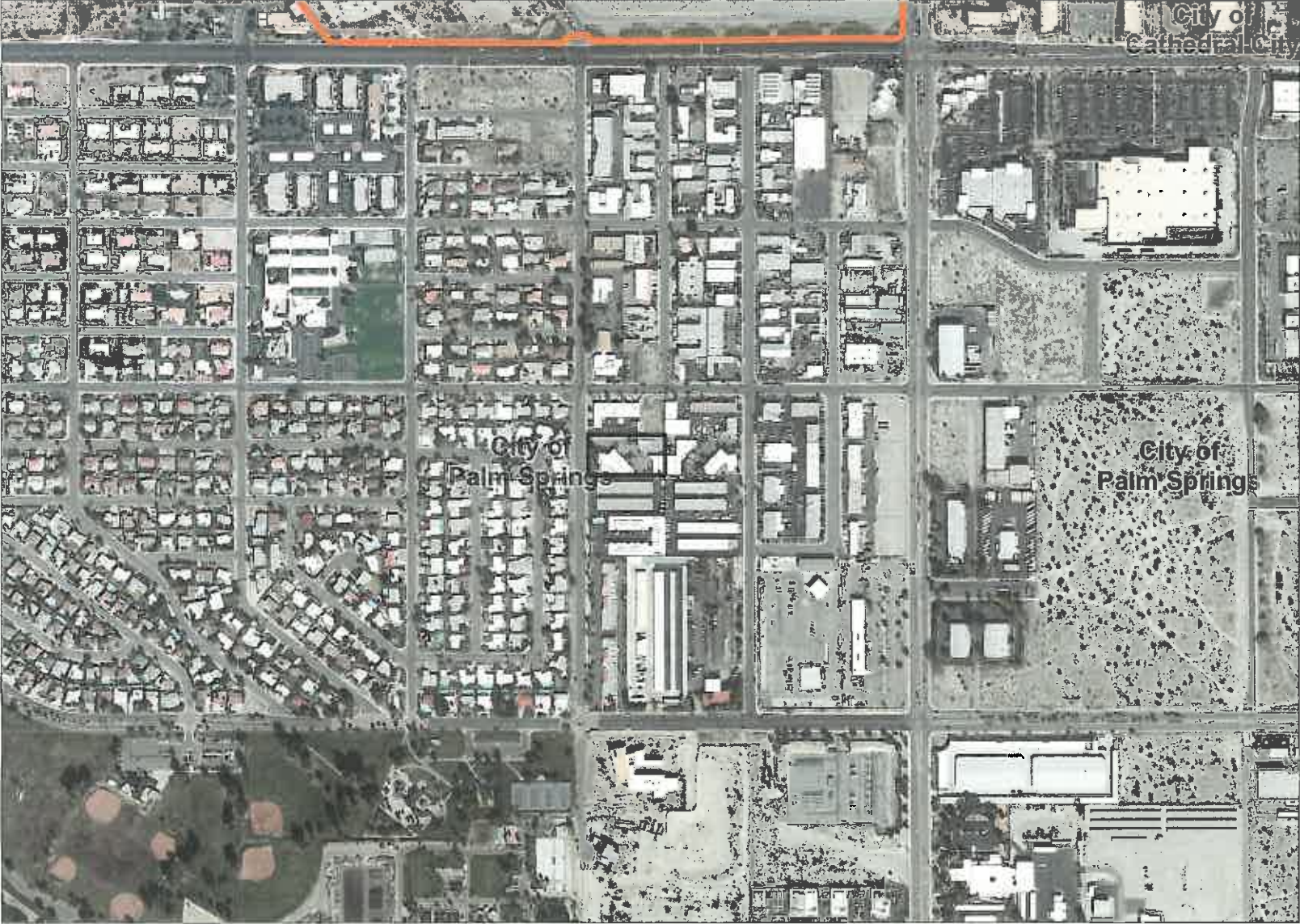
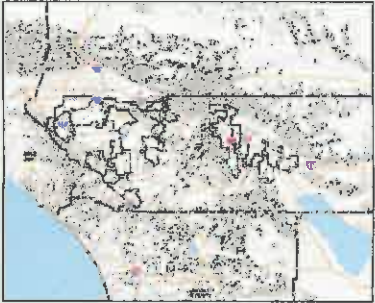
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## Notes

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### Legend

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- HEMET, #69

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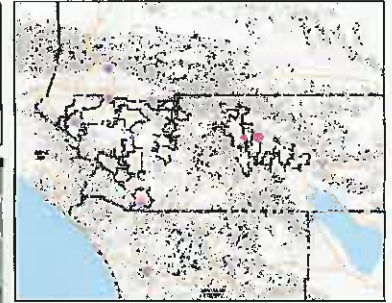
### Notes



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# My Map



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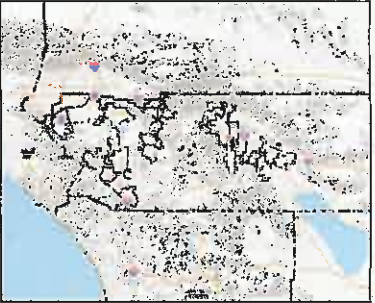
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## Notes



# My Map



## Legend

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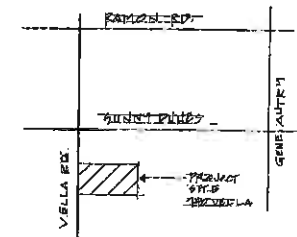


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## Notes

OWNER:  
 140-110 VELLA ROAD  
 PALM SPRINGS, CA 92264



VICINITY MAP

- Please provide a statement on the Title Sheet of the plans to show compliance with the current Codes. The following are the current codes:
- The 2010 edition of the California Building Code (CBC) except the 2012 International Building Code (IBC) and the 2012 California Amendments.
  - The 2013 edition of the California Electrical Code (CEC) except the 2011 National Electrical Code (NEC) and the 2012 California Amendments.
  - The 2013 edition of the California Mechanical Code (CMC) except the 2012 Uniform Mechanical Code (UMC) and the 2012 California Amendments.
  - The 2013 edition of the California Plumbing Code (CPC) except the 2012 Uniform Plumbing Code (UPC) and the 2012 California Amendments.
  - The 2013 edition of the California Energy Efficiency Standards.
- Provide a Building Code Data Legend on the Title Sheet. Include the following information for each building proposed:
- Occupancy Classification
  - For Shared Occupancy Buildings, state whether the "separated" or "unseparated" option was chosen from Section 605.5.6.2.4.
  - Department of Use - C.P.F.C.E.
  - Type of Construction - U.A.
  - Exits: Yes or No
  - Stories
  - Height - ft
  - Floor Area - sq ft
  - Development Load - 1/1575



BUILDINGS IS VACANT EXCEPT FOR BND SUITS HERE IS 302 BATTIS IN CURRENTLY OCCUPIED SUITS

EXISTING SITE/FLOOR PLAN

PEAK ARCHITECTURE  
 CHAD MORRIS  
 CHAD MORRIS ARCHITECTURE  
 140-110 VELLA ROAD  
 PALM SPRINGS, CA 92264  
 TEL: 760-338-4344  
 FAX: 760-338-4345  
 WWW: www.peakarch.com

APN NO.: 000-160-004  
 ZONING: M-1  
 G.L. SITE: 1,200 SQ. FT.



SCALE: 1/8" = 1'-0"

65-55  
60-216

OUTDOOR  
PLAY AREA

SUBJECT  
BUILDING  
OFFICE  
152 VILLA RD.

PLAY AREA  
PLAY AREA

APPT  
60x18  
220

UTILITY  
ROOM  
KITCHEN  
56x18  
200

DOOR  
KEMEL'S  
2x2x  
187

EMPLOYEE  
QUARTERS  
45x18  
810

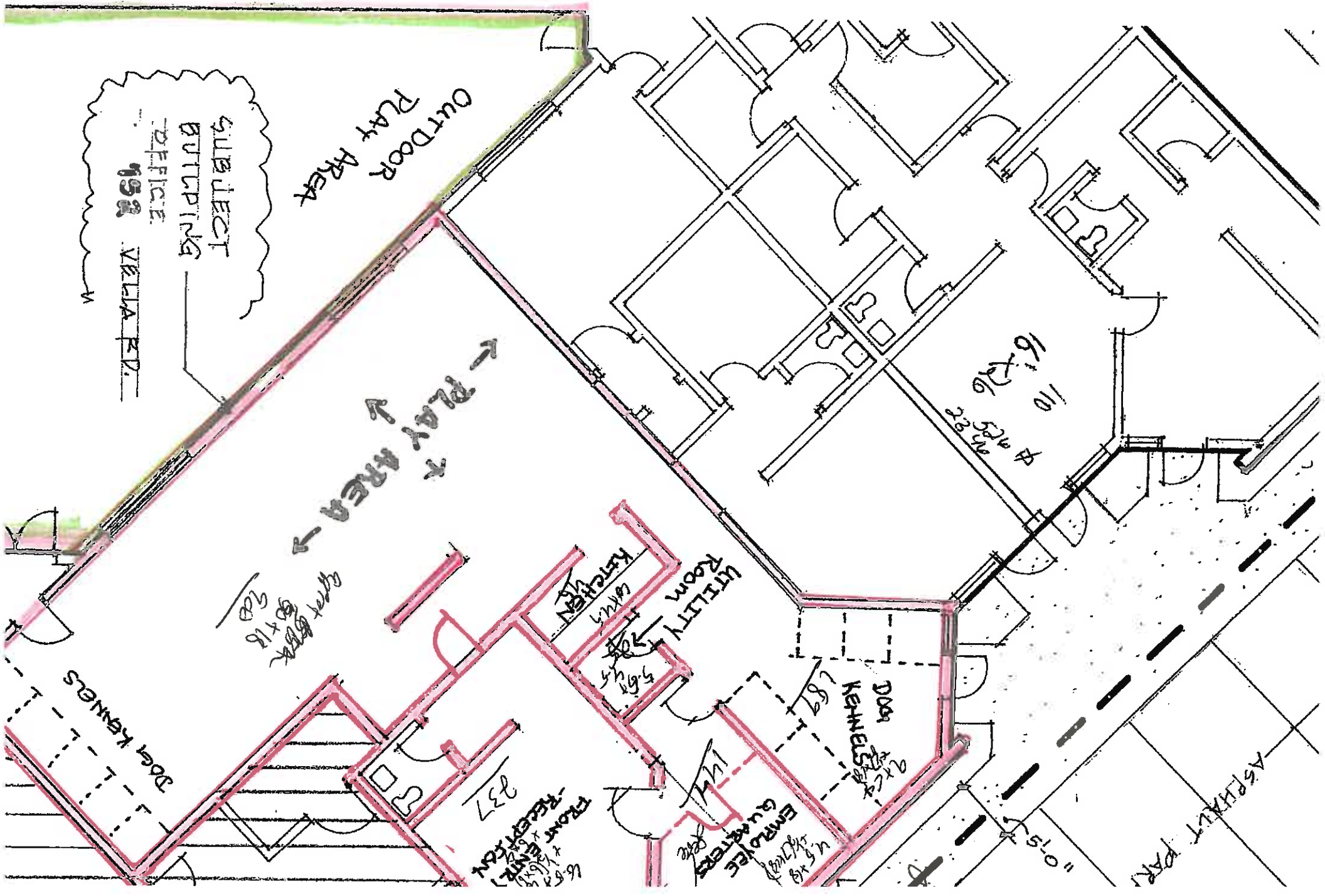
FRONT  
RECEPTION  
65x18  
1170

161x10  
1610  
22526

105x10  
1050

ASPHALT PARK

DOOR  
KEMEL'S



- (1) The average density represented by all existing lots that lie fully or partially within a distance of 300 feet from the boundary of the parcel to be divided;  
or
  - (2) Double the density permitted in accordance with the criteria for that location as indicated in the Compatibility Criteria matrix, Table 2A.
- (c) For nonresidential development, the average usage intensity (the number of people per gross acre) of the site's proposed use shall not exceed the lesser of:
- (1) The average intensity of all existing uses that lie fully or partially within a distance of 300 feet from the boundary of the proposed development; or
  - (2) Double the intensity permitted in accordance with the criteria for that location as indicated in the Compatibility Criteria matrix, Table 2A.
- (d) The single-acre and risk-reduction design density and intensity multipliers described in Policies 4.2.5 and 4.2.6 and listed in Table 2A are applicable to infill development.
- (e) Infill development on some parcels should not enable additional parcels to then meet the qualifications for infill. The ALUC's intent is that parcels eligible for infill be determined just once. Thus, in order for the ALUC to consider proposed development under these infill criteria, the entity having land use authority (Riverside County or affected cities) must first identify the qualifying locations in its general plan or other adopted planning document approved by the ALUC. This action may take place in conjunction with the process of amending a general plan for consistency with the ALUC plan or may be submitted by the local agency for consideration by the ALUC at the time of initial adoption of this *Compatibility Plan*. In either case, the burden for demonstrating that a proposed development qualifies as infill rests with the affected land use jurisdiction and/or project proponent.

3.3.2. *Nonconforming Uses:* Existing uses (including a parcel or building) not in conformance with this *Compatibility Plan* may only be expanded as follows:

- (a) Nonconforming residential uses may be expanded in building size provided that the expansion does not result in more dwelling units than currently exist on the parcel (a bedroom could be added, for example, but a separate dwelling unit could not be built). No ALUC review of such improvements is required.
- (b) A nonconforming nonresidential development may be continued, leased, or sold and the facilities may be maintained or altered (including potentially enlarged), provided that the portion of the site devoted to the nonconforming use is not expanded and the usage intensity (the number of people per acre) is not increased above the levels existing at the time of adoption of this *Compatibility Plan*. No ALUC review of such changes is required.
- (c) ALUC review is required for any proposed expansion of a nonconforming use (in terms of the site size or the number of dwelling units or people on the site). Factors to be considered in such reviews include whether the development qualifies as infill (Policy 3.3.1) or warrants approval because of other special conditions (Policy 3.3.6).

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: February 11, 2016

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION

ZAP1037PS15 – Jennifer Guglielmo – City of Palm Springs Case No. CUP 5.1386 (Conditional Use Permit). A proposal to operate a kennel (dog day care, boarding, and training) within a 2,345 square foot suite with an address of 752 Vella Road in an existing building located on the easterly side of Vella Road, southerly of Sunny Dunes Road in the City of Palm Springs. (Airport Compatibility Zone B1 of the Palm Springs International Airport Influence Area).

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. David Newell of the City of Palm Springs Department of Planning Services at (760) 323-8245.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP 1037 PSIS

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application 12-28-2015  
 Property Owner Grow Development, LLC Phone Number (951) 316-7647  
 Mailing Address Attn: Brandon O'Brien ; Richard Remington  
73-983 Highway 111  
Palm Desert, CA 92260

Agent (if any) Jennifer Guaglielmo Phone Number (818) 556-5586  
 Mailing Address 30405 Avenida Maravilla  
Cathedral City, CA 92234

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 752 Vella Rd.  
Palm Springs, CA 92264  
 Assessor's Parcel No. 680-160-024 Parcel Size 1.10 AC NT  
 Subdivision Name \_\_\_\_\_ Zoning Classification M-1  
 Lot Number Lot 1

PS  
BI

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Vacant

Proposed Land Use (describe) 752 Vella Rd, Palm Springs will operate as a dog daycare, boarding, and training facility with other incidentals such as novelty pet items. The location will be open for business 6-days per week, with dog drop off during daytime hours. The business will be staffed 24-hours on any dates dogs are boarded overnight.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use 9:00 AM - 6:00 PM, Monday - Saturday, closed Sunday.  
 (See Appendix C) Number of People on Site Maximum Number 6  
 Method of Calculation We assume that many of our customers will drop off dogs in morning and pick up in evening, being an extra 10 minutes or less each

Height Data Height above Ground or Tallest Object (including antennas and trees) 15 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	
Agency Name	City of Palm Springs
Staff Contact	David Newell
Phone Number	(760) 323-8245
Agency's Project No.	CUP S. 1386
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input checked="" type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- ✓ 1 . . . . . Completed Application Form
- ✓ 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- ✓ 1 Each . 8 ½ x 11 reduced copy of the above
- ✓ 1 . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- ✓ 1 Set . Floor plans for non-residential projects
- ✓ 4 Sets . Gummed address labels of the Owner and representative (*See Proponent*).
- ✓ 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- ✓ 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review—See Below

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

- 4.1** Director's Approvals. During the period of December 19, 2015 through January 22, 2016, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Ed Cooper reviewed four non-legislative cases within Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area and issued determinations of consistency.

ZAP1167MA15 (Zones D and E) pertains to City of Moreno Valley Case No. P15-075 (Amended Plot Plan), a proposal to construct a 610,810 square foot industrial (predominantly warehouse) building up to 45 feet in height on a 27.56-acre site located on the northerly side of Brodiaea Avenue, westerly of Graham Street and easterly of Frederick Street, in the City of Moreno Valley. The site is located approximately 7,200 feet northeasterly of the runway at March Air Reserve Base/Inland Port Airport (March ARB/IP) at a base elevation that is 31 feet higher than the runway, and the proposed building would be up to 45 feet in height, so notification to the Federal Aviation Administration (FAA) Obstruction Evaluation Service was required. Therefore, the applicant team submitted Form 7460-1 to the FAA Obstruction Evaluation Service. The FAA issued its "Determination of No Hazard to Air Navigation" on December 22, 2015. ALUC Director Ed Cooper issued a determination of consistency for this project on December 23, 2015.

ZAP1166MA15 (Zone D) pertains to Tentative Tract Map No. 36928, a proposal to subdivide 40.5 acres located northerly of a westerly extension of John F. Kennedy Drive, westerly of a northerly extension of Woodlake Drive, and southerly of an easterly extension of Bradley Street in the City of Riverside into fourteen (14) single-family residential lots, one open space lot, and two lettered lots for future streets. The site has an existing maximum elevation of approximately 1,648 feet above mean sea level – 113 feet above the March runway elevation – and the proposed structures would add up to 20 feet, for a potential top point elevation of 1,668 feet. However, the site is located approximately 25,000 feet from Runway 14-32 at March Air Reserve Base/Inland Port Airport and more than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on January 4, 2016.

ZAP1170MA15 (Zone D) pertains to City of Riverside Case No. P15-0896 (Conditional Use Permit), a proposal to construct a 43 foot tall wireless communication facility with a new street light within the right-of-way of Washington Street, northerly of Overlook Parkway, in the City of Riverside. While the site is located more than 20,000 feet from Runway 14-32 at March Air Reserve Base/Inland Port Airport at an elevation that is more than 500 feet lower than the March runway, it is located within 20,000 feet of the runways at Riverside Municipal Airport at an elevation exceeding that runway elevation by approximately 200 feet. Therefore, the applicant notified FAA Obstruction Evaluation Service prior to submittal to ALUC. The FAA issued its "Determination of No Hazard to Air Navigation" on June 25, 2015. ALUC Director Ed Cooper issued a determination of consistency for this Conditional Use Permit on January 11, 2016.



ZAP1171MA15 (Zone D) pertains to City of Perris Case No. PLN15-00010 (Design Review), a proposal to construct five industrial (predominantly warehouse) buildings totaling 161,255 square feet on 9.86 acres located westerly of Redlands Avenue, northerly of Nance Street, and southerly of Harley Knox Boulevard in the City of Perris. The top point elevation of the proposed structures would be several feet higher than the elevation of Runway 14-32 at its southerly terminus, but, at a distance of 9,150 feet from the runway to the nearest property line of the site, FAA review would be required for structures 91 feet higher than the runway elevation. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on January 11, 2016.

Copies of these consistency letters and background documents are attached, for the Commission's information.

- 4.2** Completion of Current Terms of Office. The current terms of office for Commissioners Ballance, Butler, and Manos will be completed in May, 2016. Staff respectfully inquires as to whether each of you is willing to serve an additional term. The selection process differs for each of these seats.

Commissioner Manos is an appointee of the City Selection Committee of the Riverside County Division of the League of California Cities. The Committee will hold its next meeting on Monday, March 14 at 5:00 P.M. at Monte de Oro Winery in Temecula, at which time it will determine whether to reappoint Commissioner Manos or elect a different representative.

Commissioner Ballance is an appointee of the managers of airports located in Riverside County. Staff will send out ballots to the airport managers in late March. Commissioner Butler is an appointee of the Riverside County Board of Supervisors. The seat will be filled through action by the Board.

- 4.3** Specific Delegation of Authority: Amendment to March Business Center/Meridian Specific Plan (South Campus). March Joint Powers Authority (March JPA) is presently considering a privately-initiated amendment to the March Business Center/Meridian Specific Plan (South Campus) that would realign three road segments southerly of Van Buren Boulevard (Krameria Avenue, Street M, and Village West Drive). This proposal would qualify as a non-impact legislative amendment if it were proposed by a local jurisdiction, but, since it is being proposed by an applicant/landowner, the provisions of Resolution No. 2011-02 authorizing action by the ALUC Director do not apply. Therefore, this project would normally require Commission review. However, the proponent would have to wait until April for Commission consideration, while March JPA would like to schedule this project prior to our March meeting. The realignments would have no impact on the safety of aircraft operations and would not increase the intensity of on-site land use. Staff recommends that the Commission consider the applicant's request for a specific delegation of authority to the ALUC Director to render a no impact consistency finding for this project.

- 4.4** Status of Compatibility Plan Amendment Proposals. Staff will provide an update at the meeting regarding the status of (1) proposed amendments to the Banning Municipal Airport Land Use Compatibility Plan; (2) the proposed new Hemet-Ryan Airport Land Use Compatibility Plan; and (3) the Countywide Policies and Jacqueline Cochran/Vista Santa Rosa amendment.



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

4.1

**CHAIR**  
Simon Housman  
Rancho Mirage

December 23, 2015

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Jeff Bradshaw, Associate Planner  
Planning Division

City of Moreno Valley Community Development Department  
14177 Frederick Street  
Moreno Valley CA 92553

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

Glen Holmes  
Hemet

John Lyon  
Riverside

File No.: ZAP1167MA15  
Related File No.: P15-075 (Amended Plot Plan)  
APN: 297-170-064; 297-170-065; 297-170-082

Greg Pettis  
Cathedral City

Dear Mr. Bradshaw:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. P15-075 (Amended Plot Plan), a proposal to develop a 610,810 square foot industrial (predominantly warehouse) building up to 45 feet in height on 27.56 acres located on the northerly side of Brodiaea Avenue, westerly of Graham Street and easterly of Frederick Street, in the City of Moreno Valley.

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

The site is located within Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within this AIA, non-residential land use intensity is not restricted in these Compatibility Zones.

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

The site is located approximately 7,200 feet northeasterly of the runway at March Air Reserve Base/Inland Port Airport (March ARB/IP) at a base elevation that is 31 feet higher than the runway, and the proposed building would be up to 45 feet in height, so notification to the Federal Aviation Administration Obstruction Evaluation Service through the Form 7460-1 process was required. Therefore, the applicant team submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service. A “Determination of No Hazard to Air Navigation” for Aeronautical Study No. 2015-AWP-11681-OE was issued on December 22, 2015.

As ALUC Director, I hereby find the above-referenced Amended Plot Plan **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses are prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the proposed building, and shall be recorded as a deed notice.
4. The proposed detention basin shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2015-AWP-11681-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory

Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.

7. The maximum height of the proposed structure to top point shall not exceed 45 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 1,611 feet above mean sea level.
8. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.
9. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
10. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.

If you have any questions, please contact John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity  
Aeronautical Study No. 2015-AWP-11681-OE

cc: Prologis, LLC – Attn.: Jim Jachetta [Cerritos office] (applicant)  
Deirdre McCollister, MIG Hogle-Ireland (representative)  
Prologis USLV Newca 7, LLC [Denver office] (payee)  
Prologis USLV Trs Casub [Boston office] (landowner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1167MA15\ZAP1167MA15.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
10101 Hillwood Parkway  
Fort Worth, TX 76177

Aeronautical Study No.  
2015-AWP-11681-OE

Issued Date: 12/22/2015

Deirdre McCollister  
MIG  
1500 Iowa Avenue, Suite 110  
Riverside, CA 92507

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building Prologis Bldg. #5 Moreno Valley  
Location: Moreno Valley, CA  
Latitude: 33-54-51.00N NAD 83  
Longitude: 117-15-31.00W  
Heights: 1566 feet site elevation (SE)  
45 feet above ground level (AGL)  
1611 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 L.

This determination expires on 06/22/2017 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

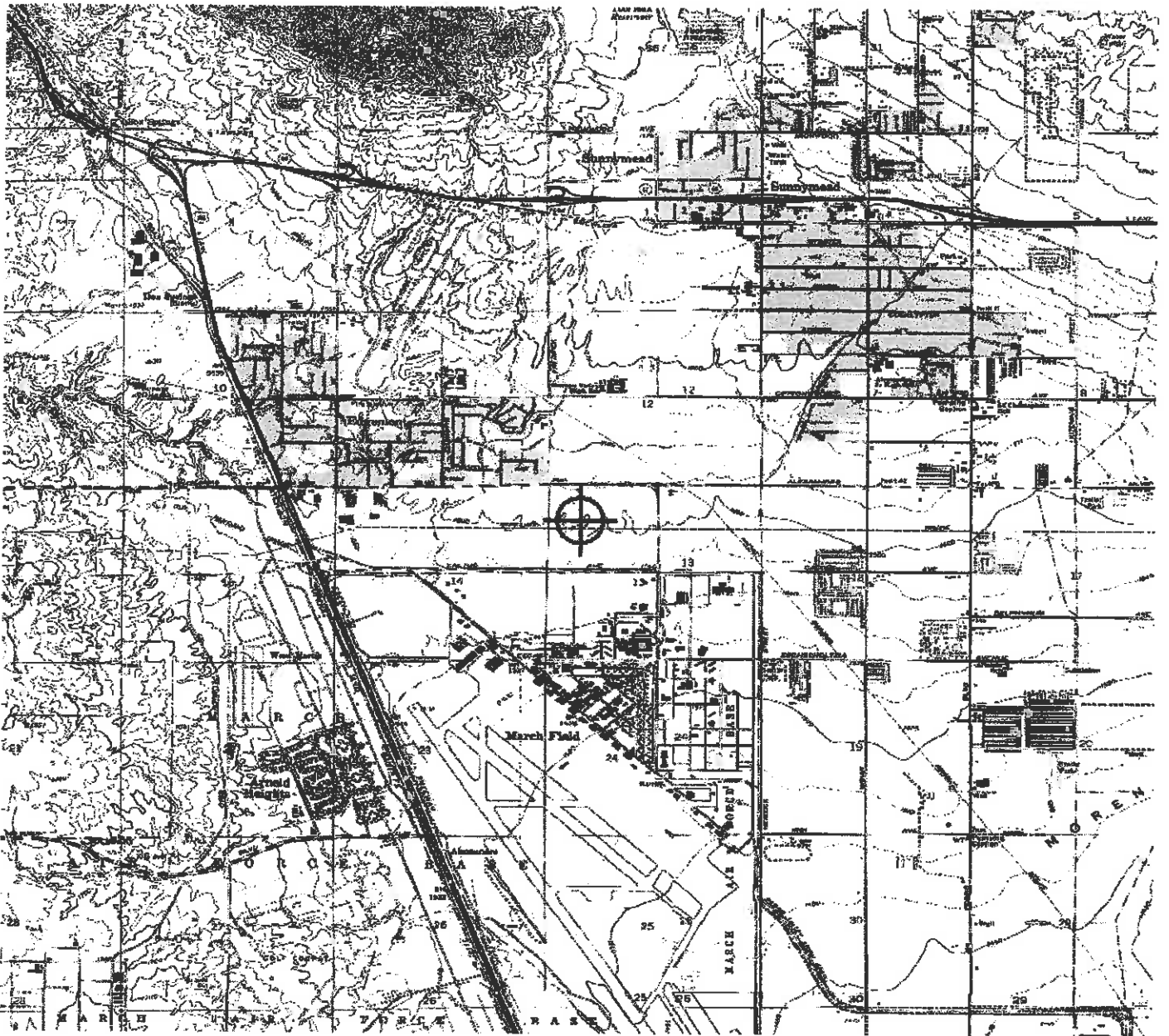
If we can be of further assistance, please contact our office at (425) 227-2625. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-11681-OE.

**Signature Control No: 274250154-276019904**  
Paul Holmquist  
Technician

( DNE )

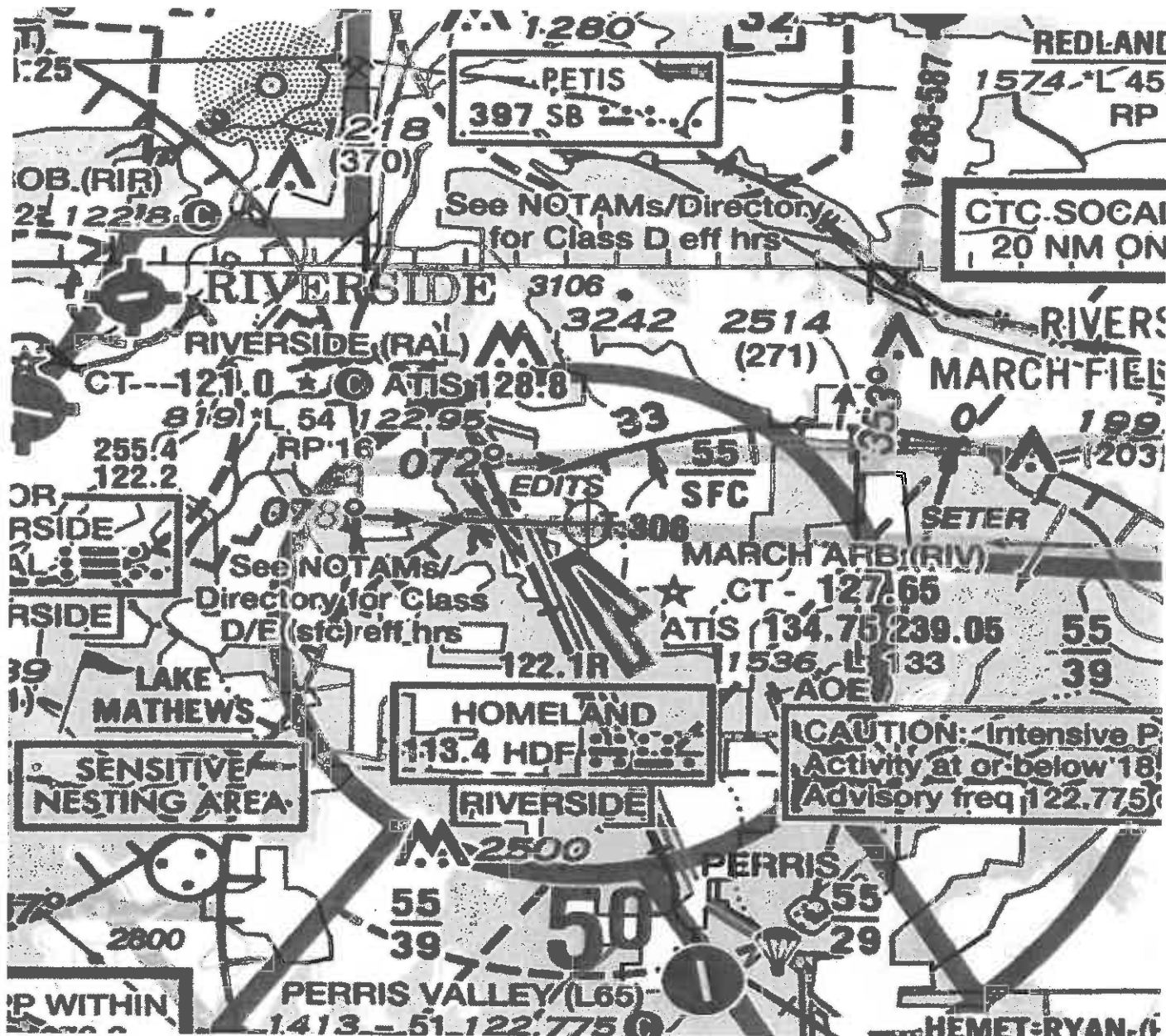
Attachment(s)  
Map(s)

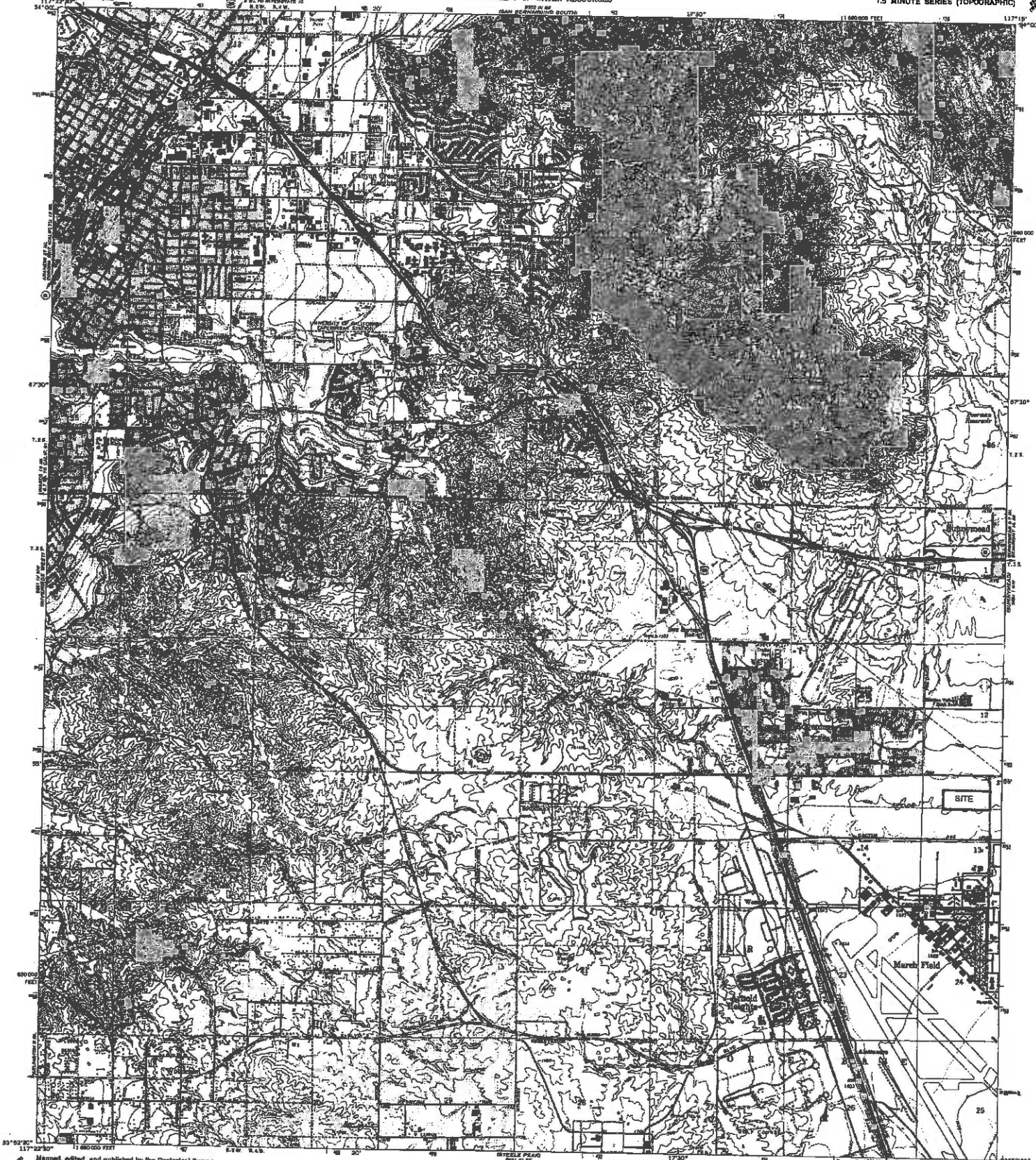
TOPO Map for ASN 2015-AWP-11681-OE





Sectional Map for ASN 2015-AWP-11681-OE





Mapped, edited, and published by the Geological Survey  
Covered by USGS and NOS/NOAA  
Topography by photogrammetric methods from aerial photographs  
taken 1961 and ground surveys 1962. Derived from aerial  
photographs taken 1966. Field checked 1967  
Polyconic projection  
10,000-foot grid based on California coordinate system, zone 8  
1000-order Universal Transverse Mercator grid scale,  
zone 12, datum is datum, 1927 North American Datum  
To plane on the specified North American Datum 1983  
from the projection from 1 meter with any  
25 centimeter scale shown by rounded corner scale  
Red line indicates areas in which only landmark buildings are shown  
Areas covered by dashed light-blue pattern  
are subject to controlled inundation  
There may be private inclusions within the boundaries  
of the Federal or State reservations shown on this map



SCALE 1:24,000  
CONTOUR INTERVAL 20 FEET  
DOTTED LINES REPRESENT JOINT CONTOURS  
NATIONAL GEODESIC VERTICAL DATUM OF 1929

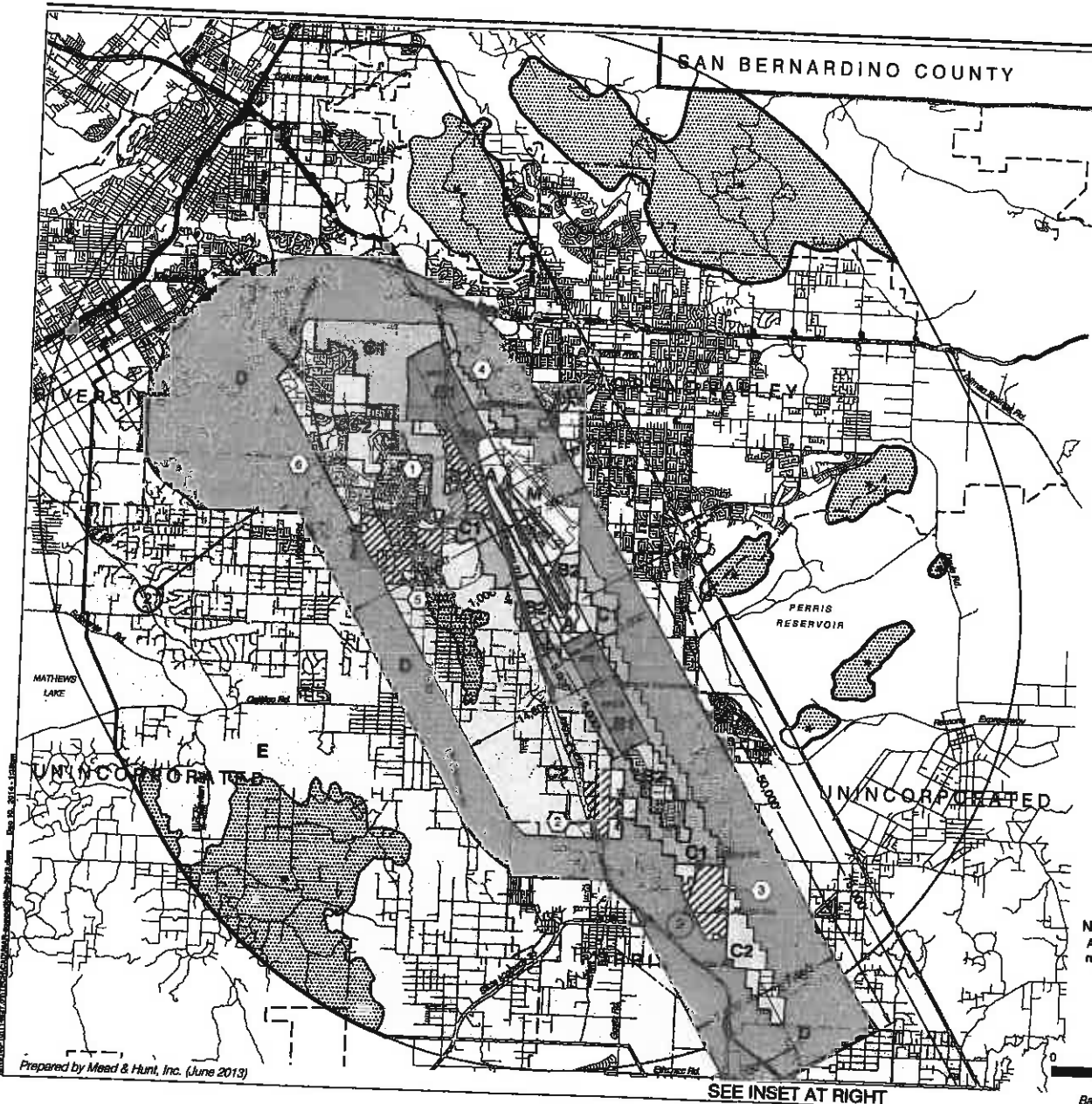
USA AND 2500 SQUARE METERS  
BOUNDARY OF COVER BY 1967  
Markings shown in purple and white/red compiled from  
aerial photographs taken 1978 and other source maps  
This information and field checked. Map dated 1980  
Purple line indicates separation of color areas

THIS MAP COMPLETES WESTERN MAP ANNUALITY STATISTICS  
FOR SALE BY U.S. GEOLOGICAL SURVEY, DENVER, COLORADO 80226, OR RESTON, VIRGINIA 20192  
A PAPER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

ROAD CLASSIFICATION  
Heavy-duty ... Light-duty  
Medium-duty ... Unimproved dirt  
U.S. Route ... State Road



RIVERSIDE EAST, CALIF.  
N3382-B-W1215/7.5  
1987  
PHOTOREPRODUCED FROM  
DATA FROM THE 7.5-MINUTE SERIES



**LEGEND**

**Compatibility Zones**

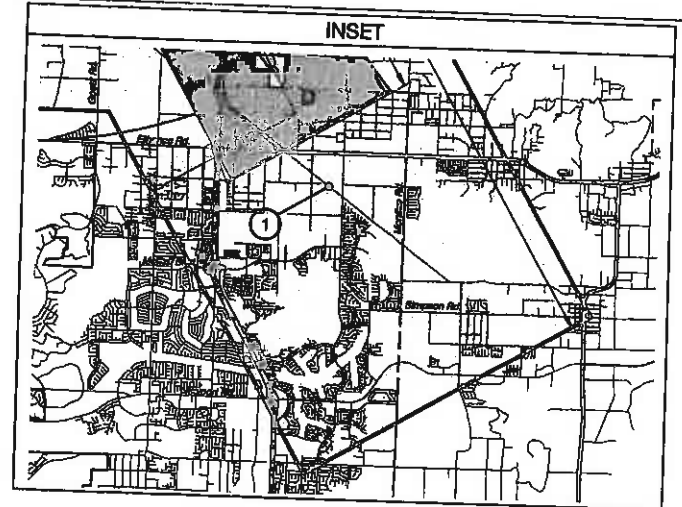
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Morano Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

Note:  
All dimensions are measured from  
runway ends and centerlines.



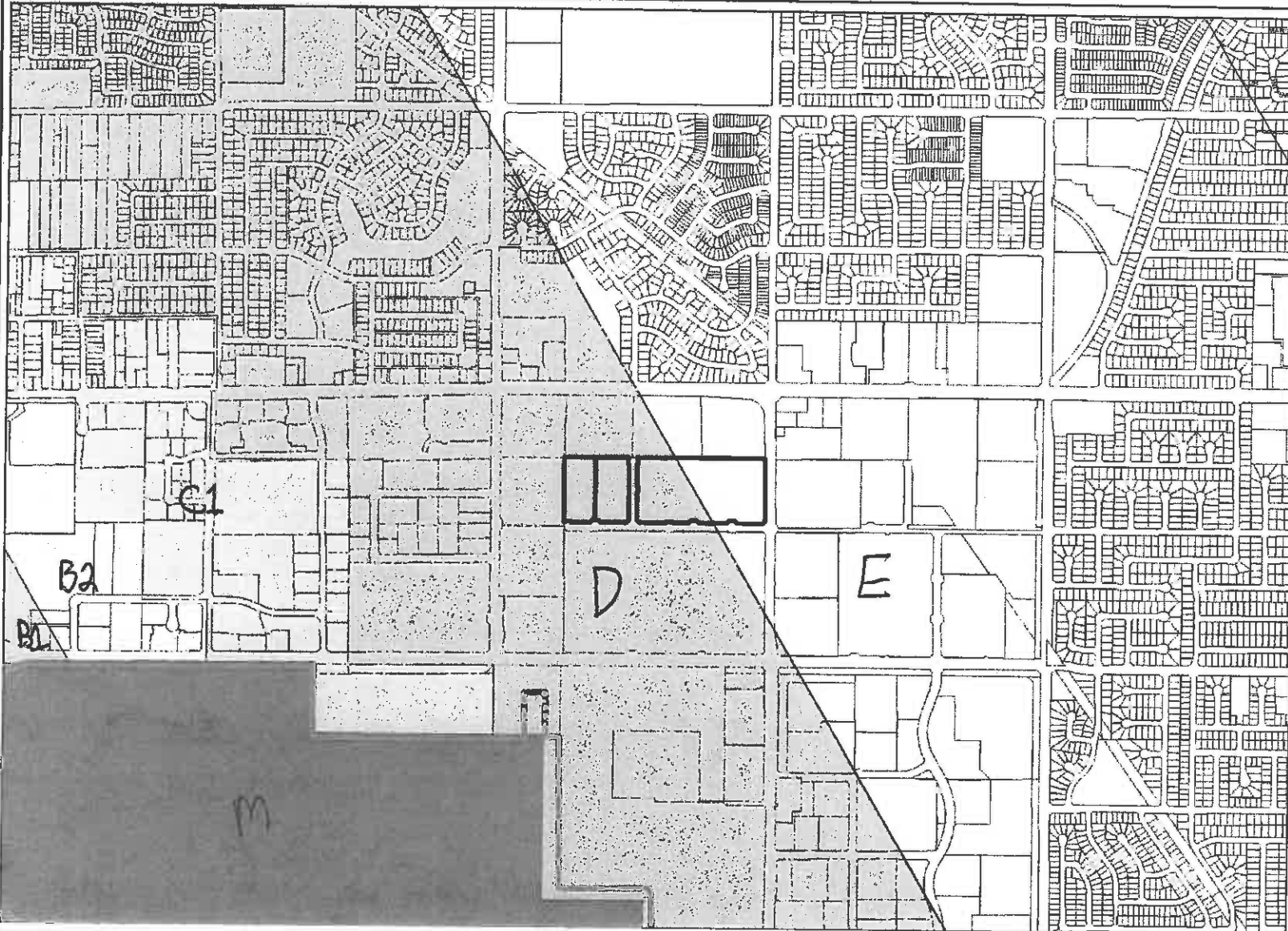
2 4 MILES

Base map source: County of Riverside 2011

SEE INSET AT RIGHT

Prepared by Mead & Hunt, Inc. (June 2013)

# My Map



**Legend**

- Airports
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT
- C2-HIGHT-EXC1



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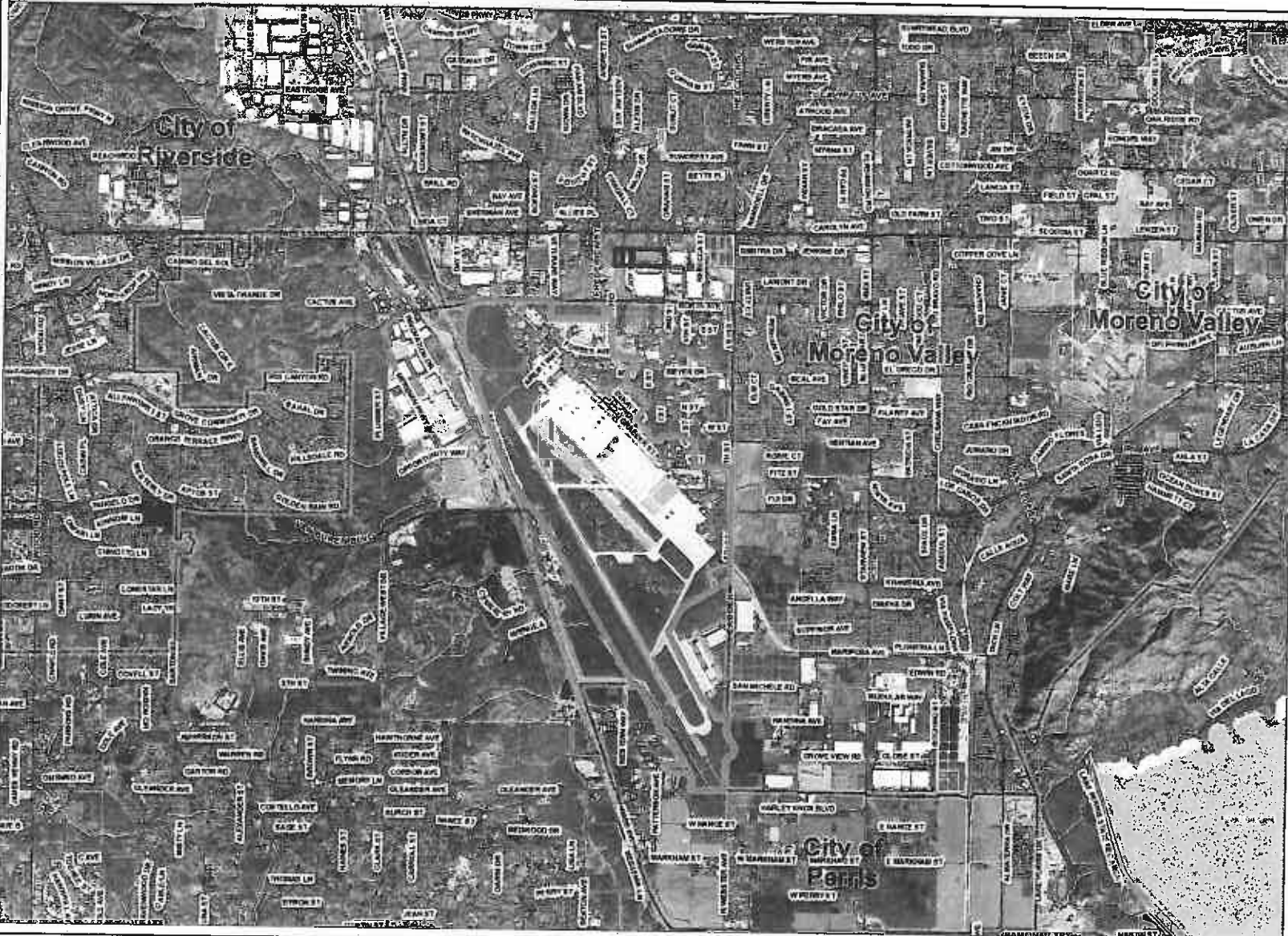


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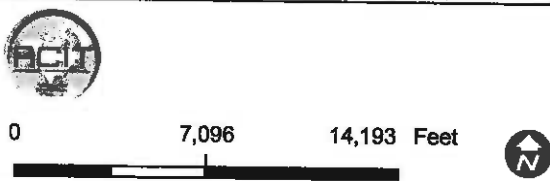
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**Notes**

# My Map



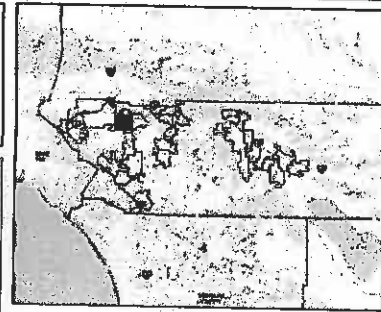
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  - Intake Boundaries**
  - <all other values>
  - NO
  - UNKNOWN
  - YES
  - Historic Preservation Districts I
  - City Boundaries
  - highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
  - majorroads
  - counties
  - cities



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### Notes

# My Map



### Legend

- Airports
- Intake Boundaries**
- <all other values>
- NO
- UNKNOWN
- YES
- Historic Preservation Districts I
- City Boundaries
- roads**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography**
- lines**
- waterbodies**
- Lakes
- Rivers



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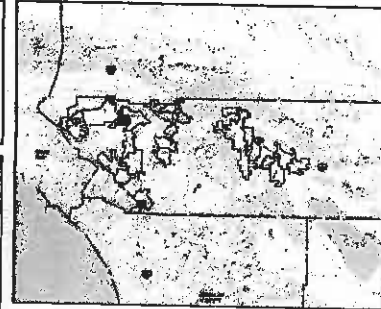


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### Notes

# My Map



## Legend

- Airports
- Intake Boundaries**
- <all other values>
- NO
- UNKNOWN
- YES
- Historic Preservation Districts I
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,774 3,548 Feet



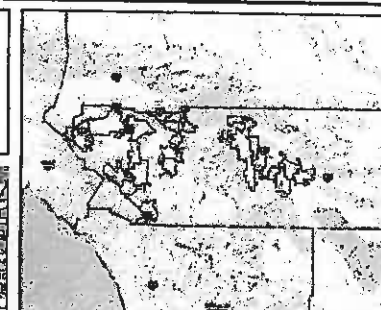
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map

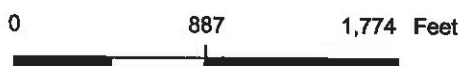


### Legend

- Airports
- Intake Boundaries**
- <all other values>
- NO
- UNKNOWN
- YES
- Historic Preservation Districts I
- City Boundaries
- roads**
- anno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



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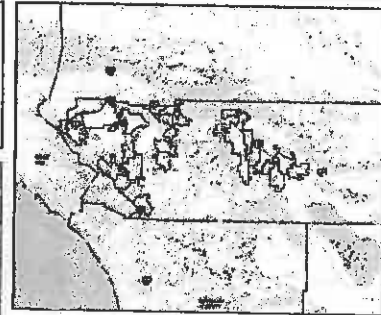
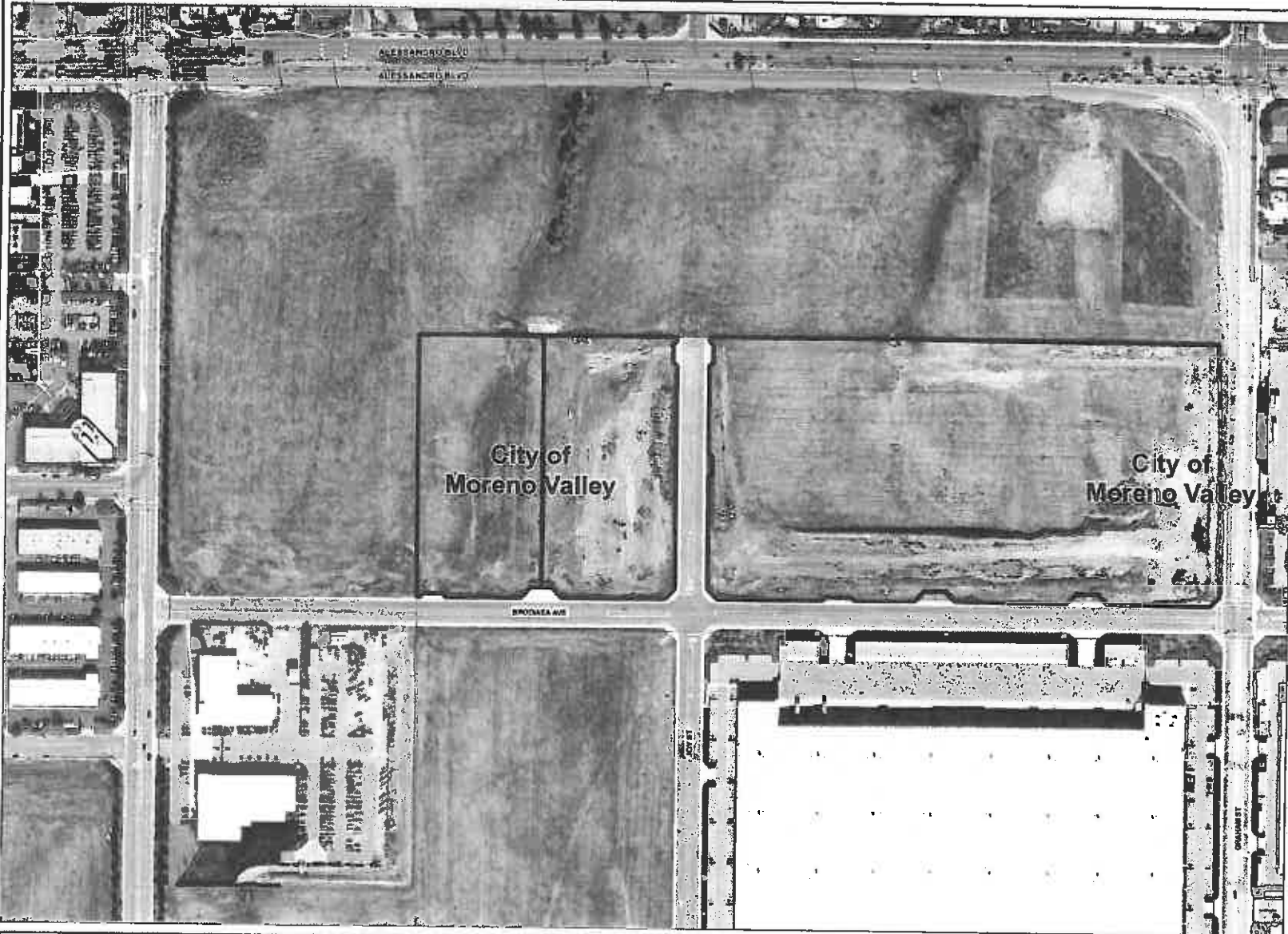
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### Notes



# My Map



**Legend**

- Airports
- Intake Boundaries**
- <all other values>
- NO
- UNKNOWN
- YES
- Historic Preservation Districts
- City Boundaries
  - roads
  - sanno
  - highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrography**
- lines**
- waterbodies**
- Lakes
- Rivers



0 444 887 Feet

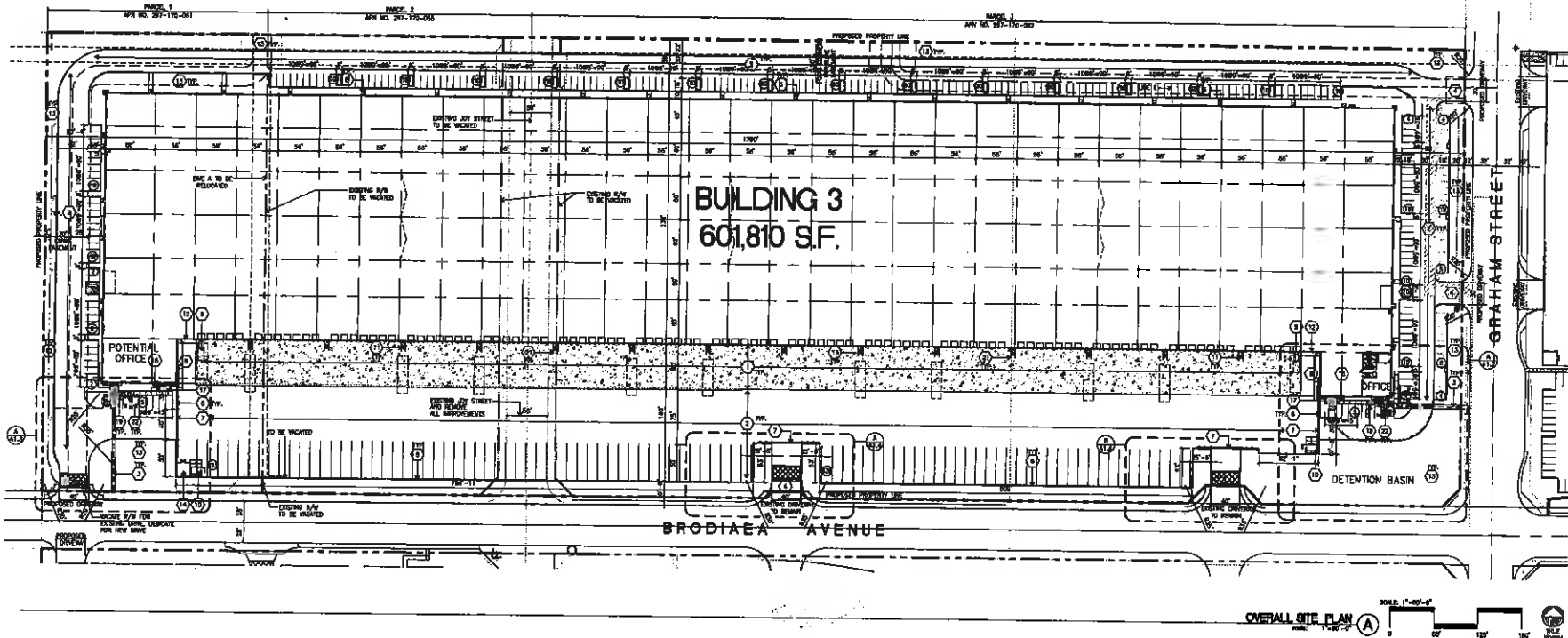


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## Notes



**SITE PLAN KEYNOTES**

- 1 HEAVY BROOK FRESH CONC. PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, SEE DETAILS 2, 8 & 7/A/0.1
- 4 DRIVEWAY APPROX TO BE CONSTRUCTED FOR 1" DRAINAGE.
- 5 1"-1/2" x 3/4" x 3/4" MIN. THICK CONCRETE EXTERIOR LANDING AND TOP 2" MIN. EXTERIOR AREA BEING TO LANDSCAPED AREA. APPROX TO BE MEDIUM BROOK FRESH CONC. PAVEMENT TO BE 1/4" 1" MIN. THICK. MAKE TO PUBLIC WAY OR DRIVE WAY 1/2" TO 3/4" AS REQ. BY CITY INSPECTOR.
- 6 14" CONCRETE TILT-UP SCREEN WALL. (UNDER SEPARATE PERMIT)
- 7 PROVIDE 8" X 16" METAL, ELECTRICALLY OPERATED GATES W/ SNOW AND LOCK FOR FIRE DEPARTMENT STAIRWAYS FOR DRIVEWAY.
- 8 CONCRETE RAMP.
- 9 TRASH CONTAINER BAY.
- 10 TRASH INCLUDING TIRE-BIN AND FULLY COVERED PER CITY STANDARD AND SET SERIES. SEE 14/A/0.1 (UNDER SEPARATE PERMIT)
- 11 EXTERIOR CONC. STAIR, SEE DETAILS 1, 2, 5 & 8/A/0.2
- 12 12" X 14" DRIVE-IN DOOR, SEE DETAILS 1, 2 & 3/A/0.4
- 13 LANDSCAPE. SEE "L" DRWG. LANDSCAPE AREAS INDICATED BY SHADDED PATTERN.
- 14 PUMP HOUSE. (UNDER SEPARATE PERMIT)
- 15 HANDBRAKED DRIVE BEAM, SEE DETAIL 10/A/0.1
- 16 WRE RACK, SEE DETAIL 10/A/0.2
- 17 STORAGE AREA. SEE DETAILS 6, 7 & 12/A/0.6
- 18 NOT USED
- 19 PRE-CAST CONC. WALL STOP, SEE DETAIL 3/A/0.1
- 20 APPROXIMATE LOCATION OF TRANSFORMER PAD.
- 21 CONC. FILLED CLUMP POST "B" DIA. 1/2" DIA. 42" H.
- 22 HANDBRAKED PARKING STALL STOP, SEE DETAIL 13/A/0.1

**SITE PLAN GENERAL NOTES**

- A. ALL UNDERGROUND ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR CURB LINE (DUAL)
- B. SEE CIVIL PLANS FOR ALL CONCRETE CURBS, DITCHES AND SWALES.
- C. THE EXISTING PROJECT SHALL BE IMMEDIATELY SURVEYED WITH AN ALTIMETER PROVIDED SPECIAL PRIOR TO INSTALLATION & AT LEAST 30 DAYS BEFORE FINAL CONSTRUCTION.
- D. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO CITY-OWN UTILITY CONNECTION SHALL VERIFY ACTUAL UTILITY CONNECTION SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- E. PROVIDE FRESH FINISHES AWAY FROM BLDG. SEE CIVIL DRAWINGS.
- F. CONNECTION TO REFER TO CIVIL DRAWINGS FOR ALL UTILITY CONNECTIONS. EXCEPTIVE SEE PLANS AND FIELD AND EXISTING UTILITY POINTS.
- G. SEE CIVIL DRAWINGS FOR FRESH CONCRETE FINISHES.
- H. CONCRETE SURFACES TO BE A MINIMUM OF 4" THICK W/ REINFORCED AS 4" DIA. CONCRETE/CONCRETE JOINTS SHALL BE A MINIMUM OF 1/2" DIA. W/ 1/2" DIA. SLIPS. DRAWINGS GOES TO UNDERGROUND UTILITY FULL BODIES OF 1/4" SEE LANDSCAPE DRAWINGS FOR FINISH.
- I. POLE CLIMB AND PRUNE CLIMB TO IMPROVE OF FIRE LINES AS REQUIRED BY FIRE DEPARTMENT.
- J. CONSTRUCTION ACTIVITIES PERTAINING TO THE LANDSCAPE AND PROTECTION OF THE EXISTING PUBLIC TREE SHALL BE CONDUCTED TO THE SCHEDULED PRIOR TO COMMENCEMENT OF BUILDING CONSTRUCTION.
- K. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ADDRESS SHALL BE IDENTIFIED AND CONSTRUCTION TO PUBLIC UTILITIES.
- L. ALL LANDSCAPE AND PROTECTION BEINGS SHALL MEET CURRENT CITY STANDARDS AS LISTED BY SCHEDULES OR AS DETERMINED FROM PUBLIC UTILITIES DEPARTMENT.
- M. UNIMPROVED AREAS SHALL BE DELIMITED WITH A MINIMUM 24" HIGH CITY HIGH CURB.
- N. APPROVED CONCEPTUAL LANDSCAPE PLAN PRIOR TO EXISTING PUMP.
- O. ALL ROOF DRAIN SHALL BE DIRECTED TO LANDSCAPED AREA.

**SITE LEGEND**

[Symbol]	LANDSCAPE AREA	[Symbol]	LIGHT STANDARD
[Symbol]	AC PAVING - SEE "L" DRWG FOR FINISHES	[Symbol]	EXISTING PUBLIC TREE INDEX
[Symbol]	CONCRETE PAVING	[Symbol]	PRIVATE TREE INDICATED APPROXIMATE LOCATION
[Symbol]	EXPANDED PARKING STALL	[Symbol]	EXISTING BASIN APPROX. LOCATION
[Symbol]	EXPANDED PARKING STALL 12' X 18' @ 1/2" DIA. 5/8" ACCESSIBLE ASSE	[Symbol]	WATER LINE - SEE CIVIL
[Symbol]	EXPANDED PARKING STALL 12' X 18' @ 1/2" DIA. 5/8" ACCESSIBLE ASSE	[Symbol]	DRG LINE - SEE CIVIL
[Symbol]	EXPANDED PARKING STALL 12' X 18' @ 1/2" DIA. 5/8" ACCESSIBLE ASSE	[Symbol]	SANITARY LATERAL - SEE CIVIL
[Symbol]	EXPANDED PARKING STALL 12' X 18' @ 1/2" DIA. 5/8" ACCESSIBLE ASSE	[Symbol]	AREA OF TOWER

**HPA**  
 hpa, inc.  
 16851 barden avenue, - ste. #110  
 Irvine, ca  
 92612  
 tel: 949-853-1770  
 fax: 949-853-0957  
 email: hpa@hpacorp.com

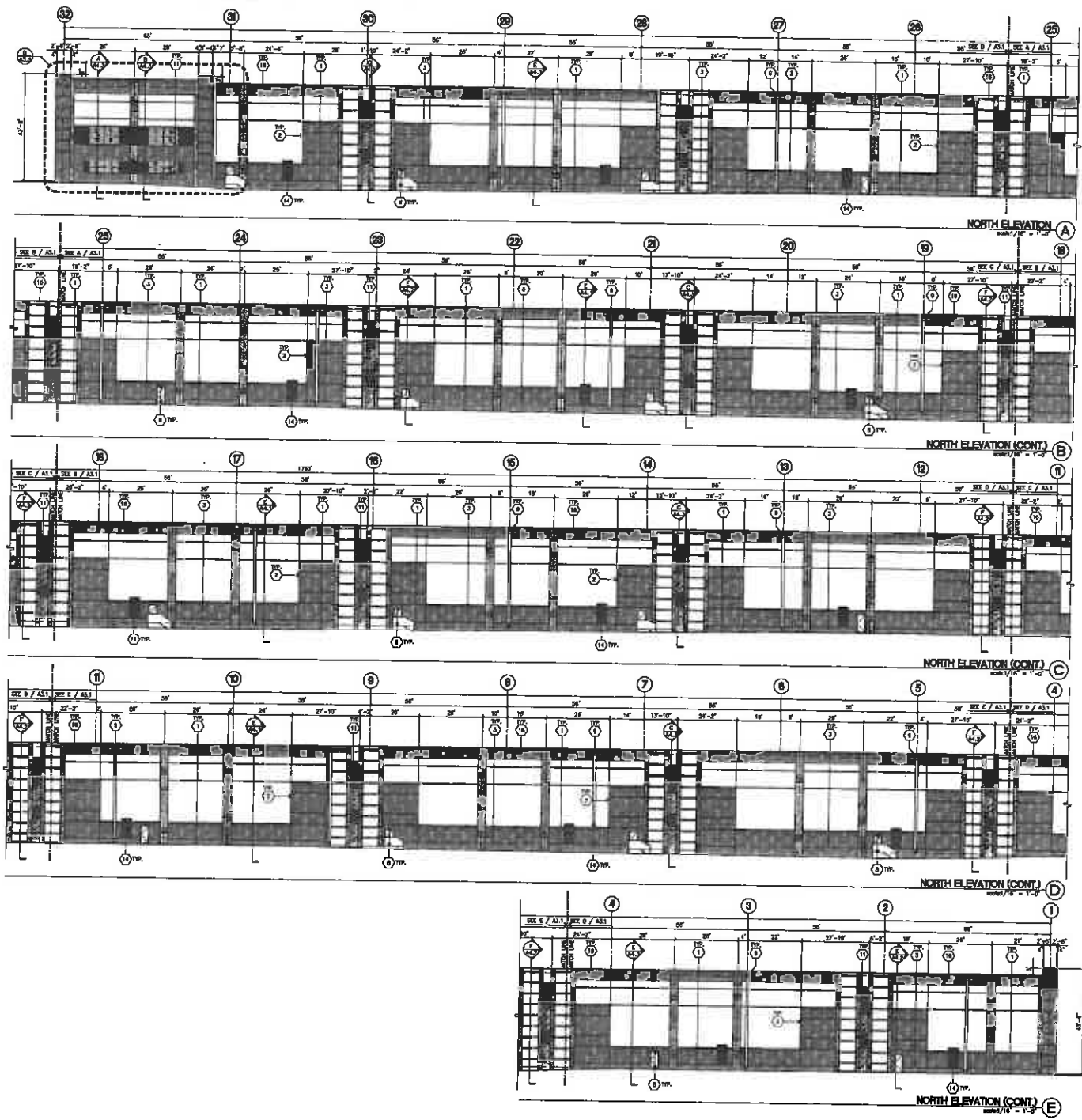
Owner:  
**KTR**  
 601 S. Figueroa Street  
 Los Angeles, CA 90017  
 tel: (714) 764-0000

Project:  
**CENTERPOINT BUSINESS PARK**  
 23450 Woodside Ave.  
 Moreno Valley, CA 92555

Consultants:  
 HoloZellars  
 Kerner Engineering  
 All Coast Systems  
 Johnson Planning  
 Grigg Electric  
 Hyster  
 Allen Automatic  
 So Cal GeoTechnical

Title: overall site plan  
 Project Number: 14485  
 Drawn by: JARNE CRUZ  
 Date: MARCH 2, 2015  
 Designer:

A1.1



**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL(PARTIAL). FINISH GRADE FINISH. SEE "I" DRAWING. WATERPROOF ALL WALLS ABOVE GRADE. IS FINISH AND EXPLODE TO THE FINISH ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 2" OF GROUND. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAINAGE TO CURB OR TIE TO STORM DRAIN. NOT REQUIRED AT DOOR WHEN CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT. SEE DETAIL 4/A0.3
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MIN. OF 3/4" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. UNLESS NOTED OTHERWISE.
- 4 FINISH GRADE FINISH. SEE DETAIL 4/A0.3
- 5 5/8" X 1 1/2" SHIMMED DOOR IN DOCK HEAD. SEE DOOR SCHEDULE. PROVIDE COMPLETE REPAIR-STRIPPING PROTECTION ALL AROUND. PROVIDE NON SLIP TREAD TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED "I" TREAD BORDER. SETTER. SET CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 METAL CANOPY. SEE DETAIL 11/A0.5
- 7 INSULATE METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE REPAIR-STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 8 EXTERIOR DOWNPOUT AND 2 OVERLAP SCUPPERS. SEE DETAILS 13, 14, 15 & 16/A0.3
- 9 DOOR HANDLES. SEE DETAIL 4/A0.4
- 10 ALUMINUM REPAIR/POINT FINISH WITH TEMPERED GLASS AT ALL DOORS. BRASS/BRONZE GLAZING WITH STYLING LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 11 INTERIOR REPAIR/POINT AND 2 OVERLAP SCUPPERS. SEE DETAILS 13, 14, 15 & 16/A0.3
- 12 EXTERIOR LINING.
- 13 2" X 6" METAL LINING. SEE DETAIL 8/A0.4
- 14 PARAPET RETURN.
- 15 ROOF LINE BOXING.

**GENERAL NOTES - ELEVATIONS**

- A ALL PAINT COLOR CHANGES TO OCCUR AT CORNER UNLESS NOTED OTHERWISE.
- B ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C T.O.P. = TOP OF PARAPET ELEVATION.
- D F.F. = FINISH FLOOR ELEVATION.
- E STAINPROOF CONCRETE/STONE GLASS. METAL ATTACHMENTS AND LABELS SHALL BE DESIGNED TO WITHSTAND 50 MPH WINDLOADING TO VERIFY COLOR. ADHESIVE AND COVER SHALL APPLY PRIOR TO PAINTING.
- F CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLOR. ADHESIVE AND COVER SHALL APPLY PRIOR TO PAINTING.
- G BRICK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H FIVE SPANNING GLAZING. ALLOW SPACE BEHIND WINDOW TO BREATHE.
- I USE ADHESIVE BRICK WOOD STRIPS FOR ALL REVEALS.
- J THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHED. - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-2 PLUM WHITE
- 2 CONCRETE TILT-UP PANEL. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-1 PINK WHITE
- 3 CONCRETE TILT-UP PANEL. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-3 STONE LIME
- 4 CONCRETE TILT-UP PANEL. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-5 NEW DASH GREEN
- 5 GLAZING. COLOR: GREEN REFLECTIVE GLAZING
- 6 MULLIONS. PAINT BRAND: CLEAR ANODIZED
- 7 DOORS. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-1 PINK WHITE
- 8 CANOPY. PAINT BRAND: SHIMON WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. PLS-2 PLUM WHITE

**GLAZING LEGEND**

- TEMPERED SPANGLER GLASS
- TEMPERED VISION GLASS

GLAZING 1/4" PG. RELIEVED OR ADHESIVE REFLECTIVE OR DOUBLE

**PAINT AND MATERIAL LEGEND**

- 1
- 2
- 3
- 4

HPA  
HARDWARE PARTS AND SUPPLIES

Hpa, Inc.  
 1881 Barton Avenue - Ste. #100  
 Irvine, CA 92612  
 Tel: 949-465-1775  
 Fax: 949-853-0851  
 Email: hpa@hpa.com

Seal of the State of California  
 C-22278  
 08-31-18  
 649

Owner:

**PROLOGIS**  
 PROLOGIS  
 17777 Center Court Drive N.  
 Costa Mesa, CA 92626  
 Tel: 949-473-8722  
 Email: jprologis@prologis.com

Project:

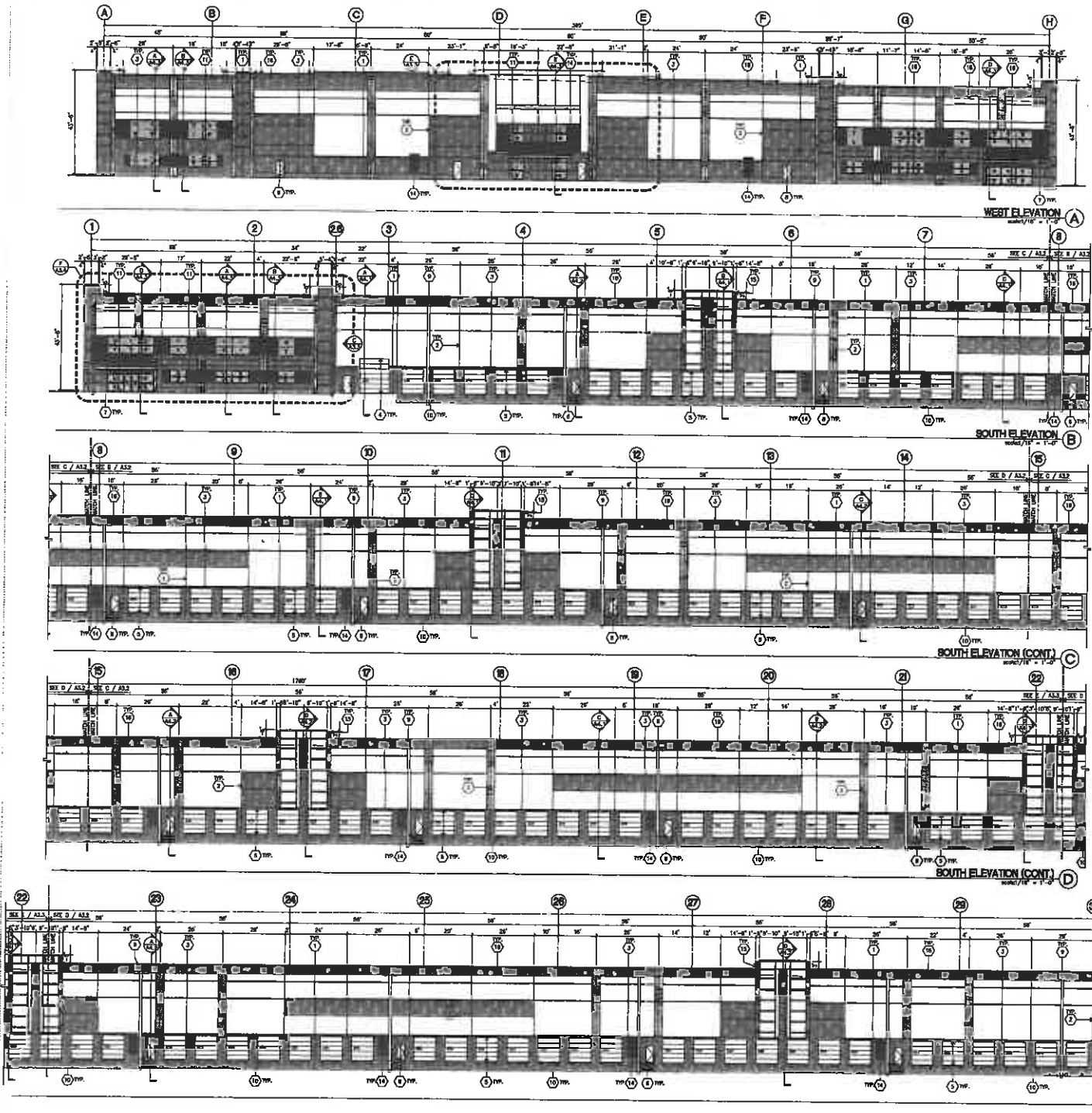
**MORENO VALLEY LOGISTICS CENTER # 5**

2940 Brodree Ave.  
Moreno Valley, CA 92555

Consultants:

H&B Zellers Keaner Engineering Air Control Systems Johnson Plumbing Gregg Electric Emerald Design Alan Automotive So Cal GeoTechnical	Title: Revision Project Number: 14456 Drawn by: JARIE GRIZZ Date: MARCH 2, 2015 Revision:
--	---

A3.1



**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL (PAINTED). FINISH GRADE WATER. SEE "COORRUP". WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER. ONE SIDE WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 2" OF INSULATION. PROVIDE TRENCH DRAIN AT BOTTOM AND DRAINAGE TO CURB OR TAKE TO STORM DRAIN. NOT INSULATED AT DOOR FROM CONDO UNIT OR RAMP WALLS.
- 2 PANEL ADJST. SEE DETAIL 4/A&J.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MIN. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT FILLING FIELD COLOR. UAT/O.
- 4 1/2" X 1/4" CHAMFER DOOR & DOOR HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL JOINTS. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL JOINTS.
- 5 1/4" X 1/4" CHAMFER DOOR & DOOR HIGH. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL JOINTS. PROVIDE HIGH SPEED RUBBER TO MEET ALL REQUIREMENTS. PROVIDE CONTINUOUS COLORED 1" NEOPRENE WEATHER-STOPPING CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 METAL CHAIRTY. SEE DETAIL 11/A&S.
- 7 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STOPPING ALL AROUND DOOR. PROVIDE FOR HAND OPERATOR ABOVE DOOR.
- 8 EXTERIOR DOWNSCAUL AND 2 OVERFLOW SCUPPERS. SEE DETAILS 13, 14, 15 & 16/A&J.
- 9 DOOR BUMPERS. SEE DETAIL 4/A&J.
- 10 ALUMINUM STRENGTH FRAMING WITH TAMPERS CLASING AT ALL DOORS. PROVIDE ROUGH TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 16" ABOVE FINISH FLOOR ELEVATION.
- 11 INTERIOR DOWNSCAUL AND 2 OVERFLOW SCUPPERS. SEE DETAILS 13, 14, 15 & 16/A&J.
- 12 EXTERIOR LIGHT.
- 13 1/4" X 1/4" METAL LAMEN. SEE DETAIL 8/A&A. PAINT TO MATCH BUILDING COLOR.
- 14 PARAPET RETURN.
- 15 ROOF LINE SYSTEM.

**GENERAL NOTES - ELEVATIONS**

- A. ALL PAINT COLOR CHANGES TO OCCUR AT BODY CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE PAINT UNLESS NOTED OTHERWISE.
- C. T.O.P. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STRENGTH CONSTRUCTION GLASS, METAL ATTACHMENTS AND LIMITS SHALL BE DESIGNED TO RESIST 50 MPH EXPOSURE WIND. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLOR. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK COAT BE INSTALLED TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANGLER GLAZING, ALLOW SPACER BOWNS SPACERS TO BE PAINT. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL POINTS.
- I. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHED. - ELEVATIONS**


- 1 CONCRETE TILT-UP PANEL PAINT BRAND PROLOGIS STD. PL-3 PURE WHITE SHERRIN WILLIAMS CUSTOM-TO-MATCH
- 2 CONCRETE TILT-UP PANEL PAINT BRAND PROLOGIS STD. PL-1 PANS WHITE SHERRIN WILLIAMS CUSTOM-TO-MATCH
- 3 CONCRETE TILT-UP PANEL PAINT BRAND PROLOGIS STD. PL-2 STONE LICH SHERRIN WILLIAMS CUSTOM-TO-MATCH
- 4 CONCRETE TILT-UP PANEL PAINT BRAND PROLOGIS STD. PL-3 NEW OAK GREEN SHERRIN WILLIAMS CUSTOM-TO-MATCH
- 5 GLAZING COLOR GREEN REFLECTIVE GLAZING
- 6 WALLINGS PAINT BRAND CLEAR ANODIZED
- 7 DOORS PAINT BRAND PROLOGIS STD. PL-1 PANS WHITE SHERRIN WILLIAMS CUSTOM-TO-MATCH
- 8 CHAIRTY PAINT BRAND PROLOGIS STD. PL-3 PURE WHITE SHERRIN WILLIAMS CUSTOM-TO-MATCH

**GLAZING LEGEND**


- TEMPERED SPANGLER GLASS
- TEMPERED VISION GLASS
- GLAZING 1/4" VEG. SOLARLORE (2) ANTI REFLECTIVE OR EQUIV.
- WALLINGS ANODIZED CLEAR

**PAINT AND MATERIAL LEGEND**





Inc. Inc.  
18811 Bardens Avenue - Ste. #100  
Irvine, CA  
92612  
Tel: 949-453-1773  
Fax: 949-453-0851  
Email: hpa@hparch.com



Owner:

**PROLOGIS**  
17777 Century Court Drive N.  
Suite 100  
Costa Mesa, CA 92626  
Tel: 949-475-8275  
Email: info@prologis.com

Project:

**MORENO VALLEY LOGISTICS CENTER #5**

23480 Brodway Ave.  
Moreno Valley, CA 92555

Consultants:

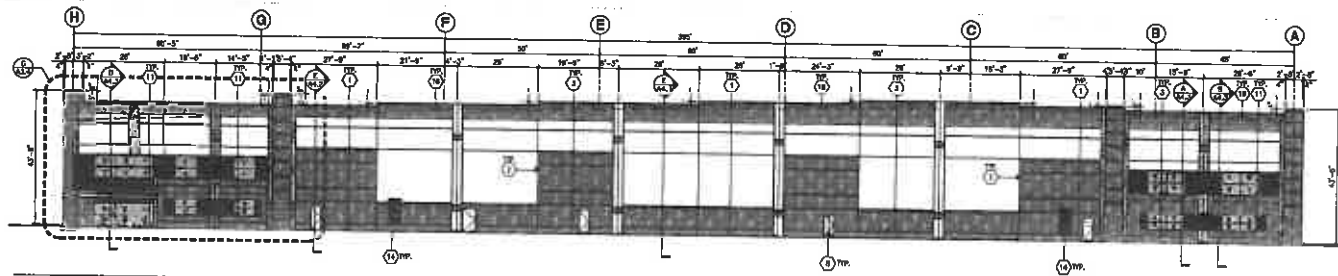
Holt-Zakaria  
Winter Engineering  
Air Control Systems  
Johnson Planning  
Gregg Electric  
Emerald Design  
Alan Architects  
So Cal GeoTechnical

Title: elevation

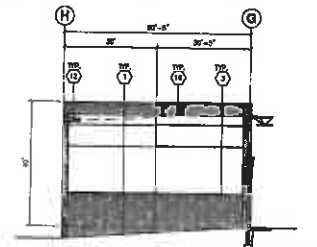
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Drawn by: JAMIE CRUY  
Date: MARCH 2, 2015  
Revised:

Sheet:

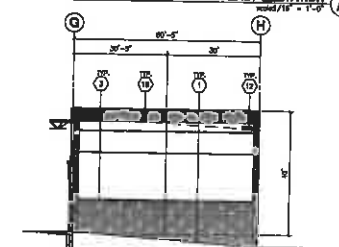
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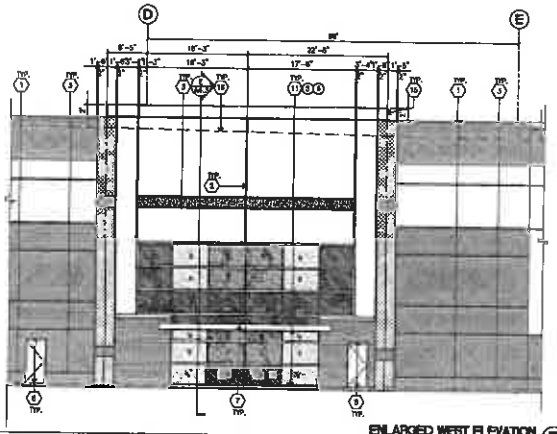
EAST ELEVATION  
scale 1/8" = 1'-0"



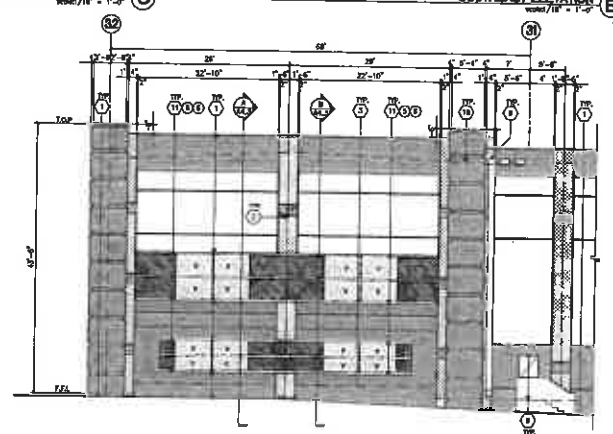
SOUTHWEST ELEVATION  
scale 1/8" = 1'-0"



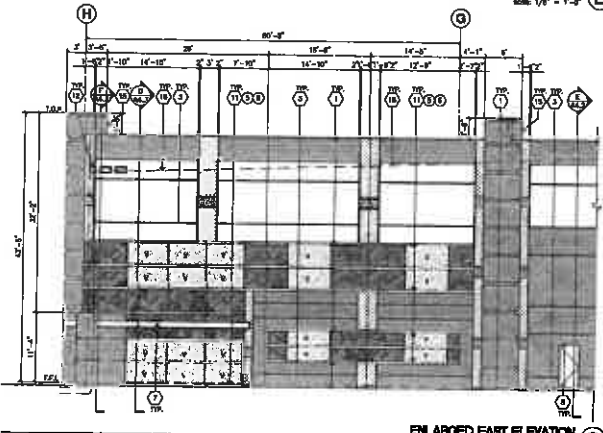
SOUTHEAST ELEVATION  
scale 1/8" = 1'-0"



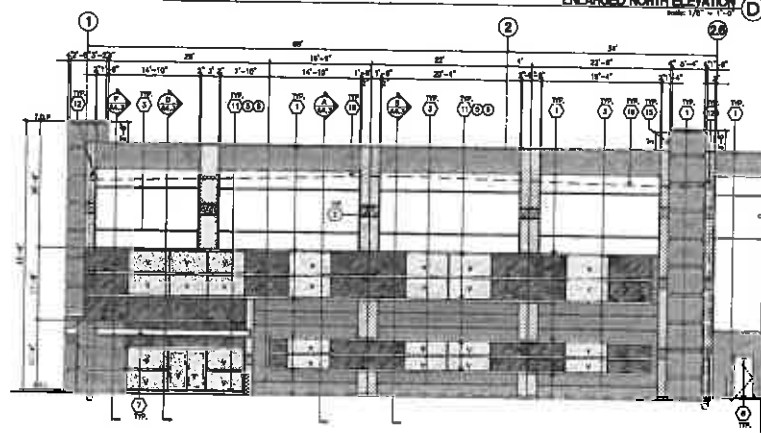
ENLARGED WEST ELEVATION  
scale 1/8" = 1'-0"



ENLARGED NORTH ELEVATION  
scale 1/8" = 1'-0"



ENLARGED EAST ELEVATION  
scale 1/8" = 1'-0"



ENLARGED SOUTH ELEVATION  
scale 1/8" = 1'-0"

**KEYNOTES - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL/WINDOWS. FINISH GRADE W/STEPS. SEE "C" DRAWING. WATERPROOF ALL WALLS W/ROCK SHAPE 2 PLYERS AND EXPOSED TO THE INSIDER ONE COAT. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A LAYER OF 1" OF GRANITE-EXTENDING TRIMMER FROM AT BOTTOM AND DOWN TO EDGE OF LINE TO STORM DRAIN. NOT REQUIRED AT DOOR FROM EXTERIOR OR AT RAMP WALLS.
- 2 PANEL JOINT, SEE DETAIL 4/A/D.3
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. UNLCO.
- 4 1/2" X 1/4" OVERHUNG DOOR IN DOCK. UNLCO. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER-STOPPING PROTECTION ALL AROUND.
- 5 CONCRETE STAIR, LANDING AND CORRIDOR. 1/2" METAL PIPE HANDRAIL. PROVIDE IRON END FISHING TO MEET ADA REQUIREMENTS. PROVIDE CONTINUING COLUMN. 1/2" W/REINFORCING FROM INTERIOR TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 6 METAL CANOPY. SEE DETAIL 11/A/D.5
- 7 HOLLOW METAL DOORS. SEE DOOR SCHEDULE. PROVIDE COMPLETE WEATHER STOPPING ALL AROUND DOOR. PROVIDE FOR REAR EXTERIOR WIND DOOR.
- 8 EXTERIOR CORNSPOUT AND 2 OVERFLOW SCUPPERS. SEE DETAILS 13, 14, 15 & 16/A/D.3
- 9 DOCK BUMPERS. SEE DETAIL 4/A/D.4
- 10 ALUMINUM STOREFRONT FRAMING WITH TINTED GLAZING AT ALL DOORS. GLAZING ADJACENT TO DOORS AND SEALING WITH BOTTOMS LESS THAN 1/8" ABOVE FINISH FLOOR ELEVATION.
- 11 INTERIOR CORNSPOUT AND 2 OVERFLOW SCUPPERS. SEE DETAILS 13, 14, 15 & 17/A/D.3
- 12 EXTERIOR LIGHT.
- 13 4" X 8" METAL LAMINAR. SEE DETAIL 6/A/D.4. PAINT TO MATCH BUILDING COLOR.
- 14 PARAPET METING.
- 15 ROOF LINE BEYOND.

**GENERAL NOTES - ELEVATIONS**

- A. ALL FINISH COLOR CHANGES TO OCCUR AT WORK CORNERS UNLESS NOTED OTHERWISE.
- B. ALL FINISH FRAMES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.U.P. CL. = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL, ATTACHMENTS AND LAMINAR SHALL BE ORDERED TO MEET TO MPAL EXPOSURE TO WHICH CONTRACTOR SHALL OBTAIN SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLOR. APPROVED AND REVIEW SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BOTH SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH LAMINATING PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BRUSH.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON.

**COLOR SCHED. - ELEVATIONS**

- 1 CONCRETE TILT-UP PANEL BRND. SHERRIN WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. FLO-2 PLUM WHITE
  - 2 CONCRETE TILT-UP PANEL PAINT BRND. PROLOGIS STD. FLO-1 PLUM WHITE
  - 3 CONCRETE TILT-UP PANEL BRND. SHERRIN WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. FLO-2 PLUM WHITE
  - 4 CONCRETE TILT-UP PANEL BRND. SHERRIN WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. FLO-3 NEW IRON GREEN
- COLOR GREEN REFLECTIVE GLAZING
- 5 GLAZING
  - 6 MILLWORK
  - 7 DOORS
  - 8 CANOPY
- PAINT BRND. SHERRIN WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. FLO-1 PLUM WHITE  
PAINT BRND. SHERRIN WILLIAMS CUSTOM-TO-MATCH PROLOGIS STD. FLO-9 PLUM WHITE

**GLAZING LEGEND**

- TEMPERED SPANDREL GLASS      TEMPERED VISION GLASS
- GLAZING 1/4" PPG EXPLORER (S) AGAIN REFLECTIVE OR EXPL. MIRRORING ANODIZED CLEAR

**PAINT AND MATERIAL LEGEND**

- 1 2 3 4

**HPA**

Inc. Inc.  
16381 Berkeley Avenue - #6, #100  
Irvine, CA  
92618  
Tel: 949-453-1770  
Fax: 949-453-0051  
email: hpa@hpa.com



Owner:

**PROLOGIS**  
PROLOGIS  
17777 Center Court Drive N.  
Suite 100  
Carrollton, GA 30075  
Tel: 770-674-8725  
email: jcarroll@prologis.com

Project:

**MORENO VALLEY LOGISTICS CENTER # 5**

23450 Bradburn Ave.  
Moreno Valley, CA 92555

Consultants:

MultiCollins  
Kemper Engineering  
Air Control Systems  
Johnson Plumbing  
Gregg Electric  
Emerald Design  
Allen Automotive  
Bo Cal Geo Technical

Title: Revision

Project Number: 14495  
Drawn by: JAMES CRUZ  
Date: MARCH 3, 2015  
Revised:

Sheet: **A3.3**

**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

January 4, 2016

**CHAIR**  
Simon Housman  
Rancho Mirage

Ms. Candice Assadzadeh, Assistant Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

Glen Holmes  
Hemet

File No.: ZAP1166MA15  
Related File No.: TM 36928 (Tentative Tract Map)  
APN: 243-240-003

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Dear Ms. Assadzadeh:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed Tentative Tract Map No. 36928, a proposal to subdivide 40.5 acres located northerly of a westerly extension of John F. Kennedy Drive, westerly of a northerly extension of Woodlake Drive, and southerly of an easterly extension of Bradley Street in the City of Riverside into fourteen (14) single-family residential lots, one open space lot, and two lettered lots for future streets.

**STAFF**

Director  
Ed Cooper

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

John Guerin  
Russell Brady  
Barbara Santos  
County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

The site is located approximately 25,000 feet from Runway 14-32 at March Air Reserve Base/Inland Port Airport (March ARB/IP). At this distance, given the runway elevation of 1535 feet above mean sea level (AMSL) at its northerly terminus, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1785 feet AMSL. The site has an existing maximum elevation of approximately 1648 feet above mean sea level. With a maximum structure height of 20 feet pursuant to the Residential Conservation zone, the top point elevation would be 1668 feet AMSL. The site is also more than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required for any airport/runway.

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced Tentative Tract Map **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to tenants of structures on those lots, and shall be recorded as a deed notice.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.




**AIRPORT LAND USE COMMISSION**

**January 4, 2016**

If you have any questions, please contact Russell Brady, ALUC Contract Planner, at (951) 955-0549 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, ALUC Director

Attachments: Notice of Airport in Vicinity

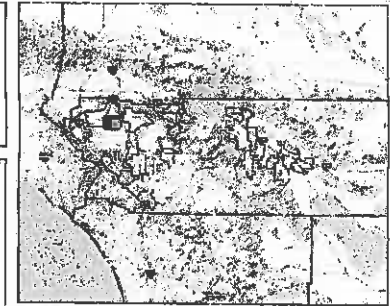
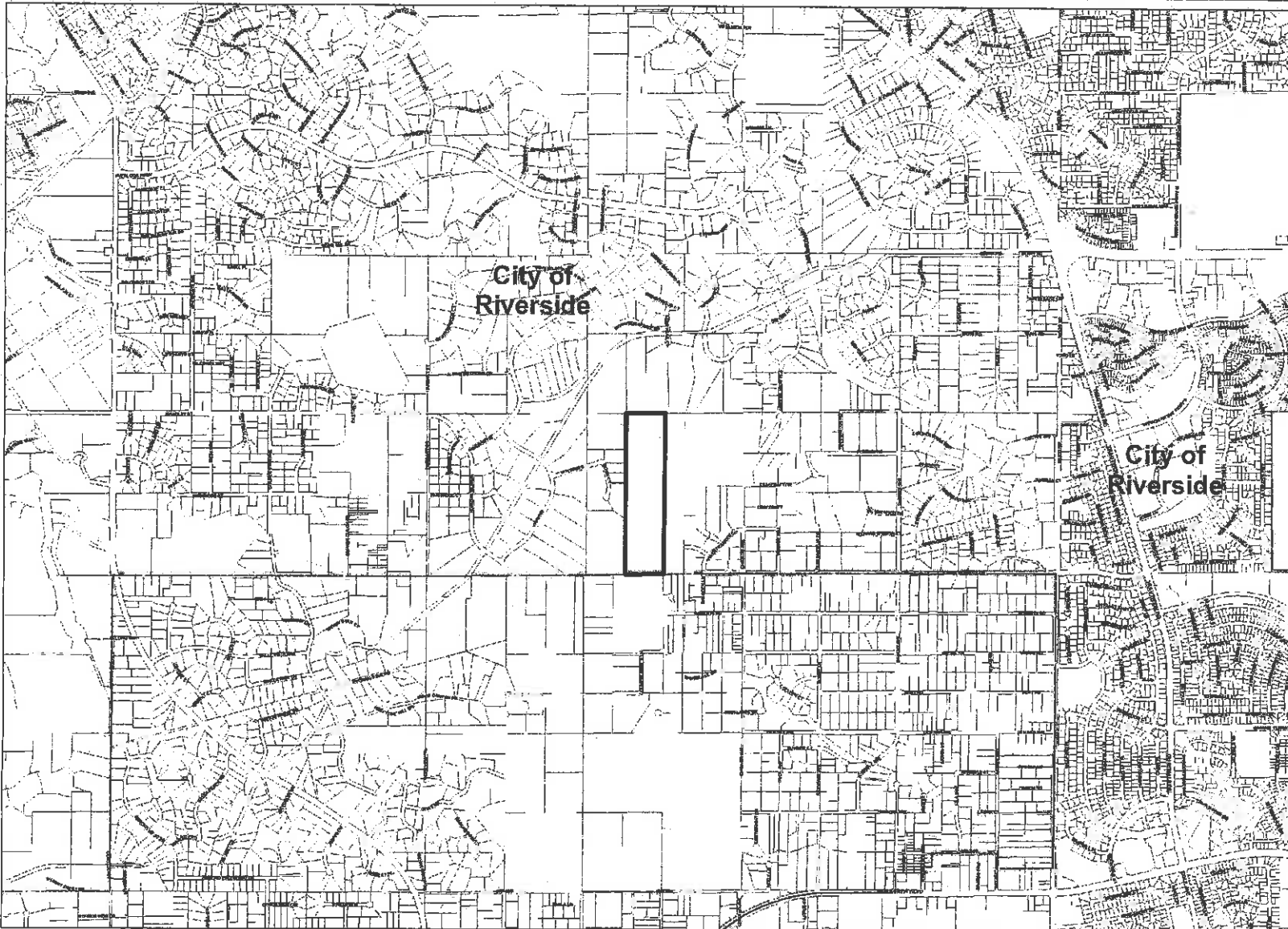
cc: Jim Guthrie, AFG Development LLC (applicant/representative/payee)  
Elisha C. and Karen A. Purdy (landowners) (Kailua Kona address)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1166MA15\ZAP1166MA15.LTR.doc






# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# My Map



## Legend

-  Airports
-  AIA
-  City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
-  counties
-  cities
- hydrographylines
- waterbodies
- Lakes
- Rivers

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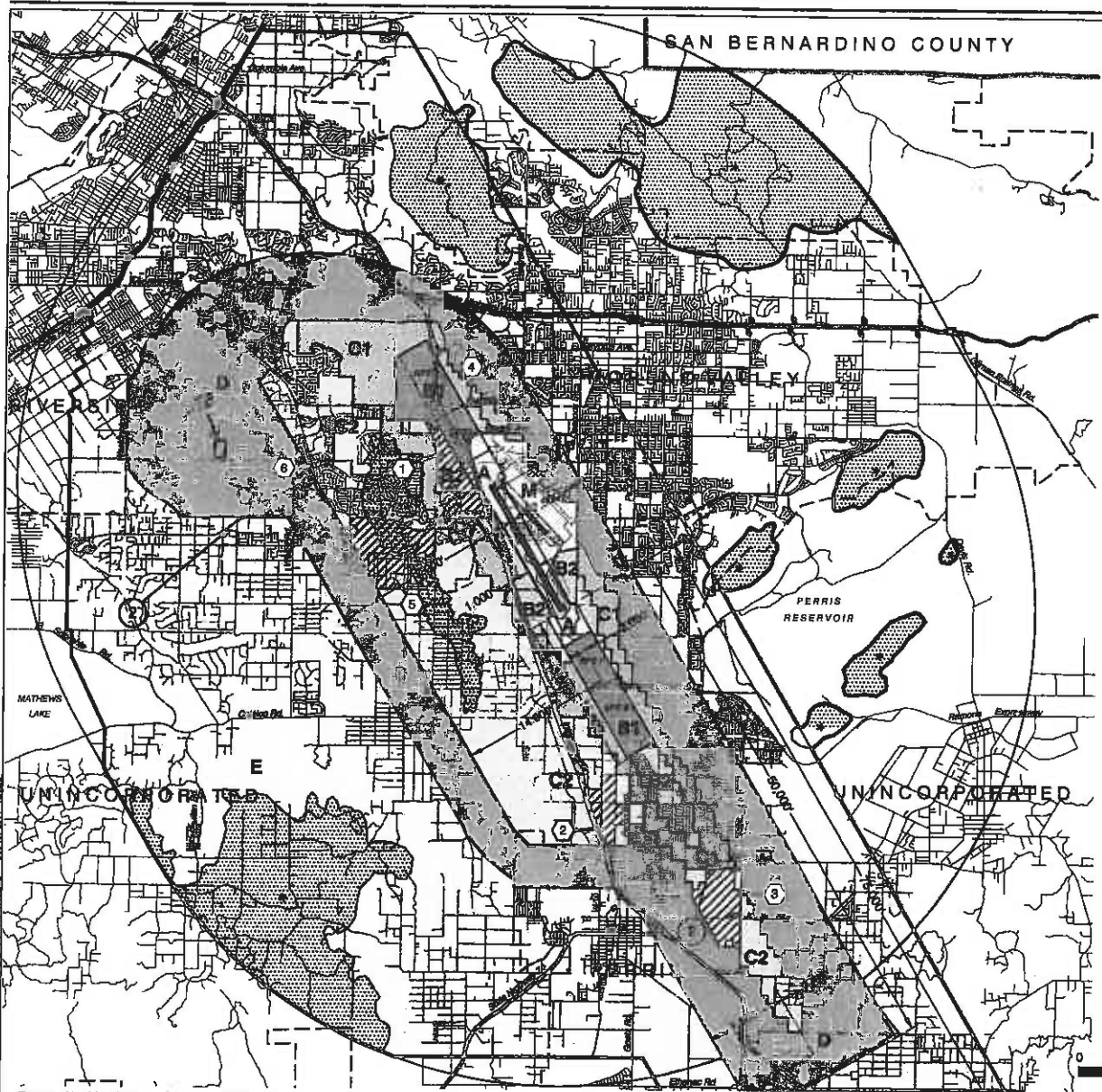
0 3,121 6,241 Feet



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## Notes



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

③ March JPA: March Business Center/Meridian

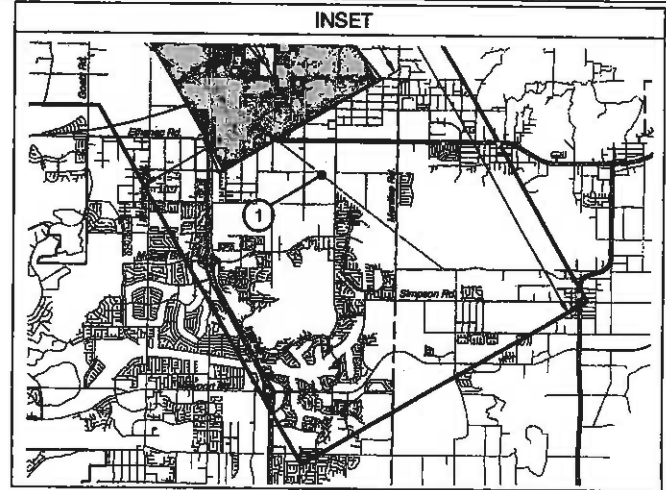
④ Perris: Harvest Landing

⑤ Perris: Park West

⑥ Moreno Valley: Affordable Housing

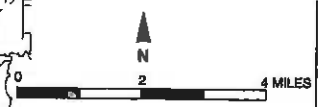
⑦ March JPA: Ben Clark Training Center

⑧ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

**Note:**  
All dimensions are measured from runway ends and centerlines.



Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries



0 12,482 24,964 Feet



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## Notes

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries



0 6,241 12,482 Feet



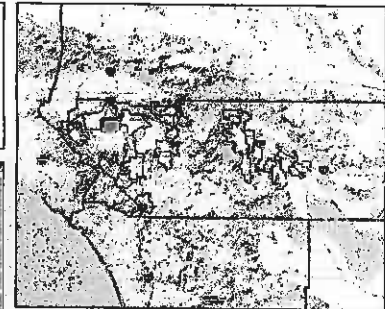
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## Notes

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries



0 3,121 6,241 Feet



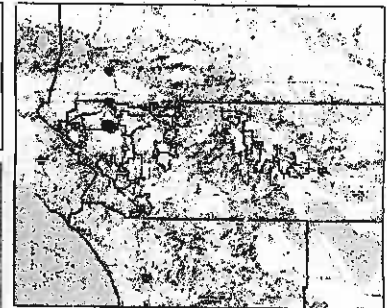
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## Notes

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries



0 1,560 3,121 Feet



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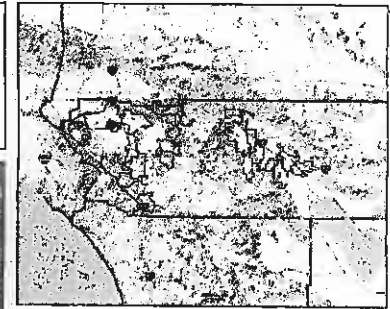
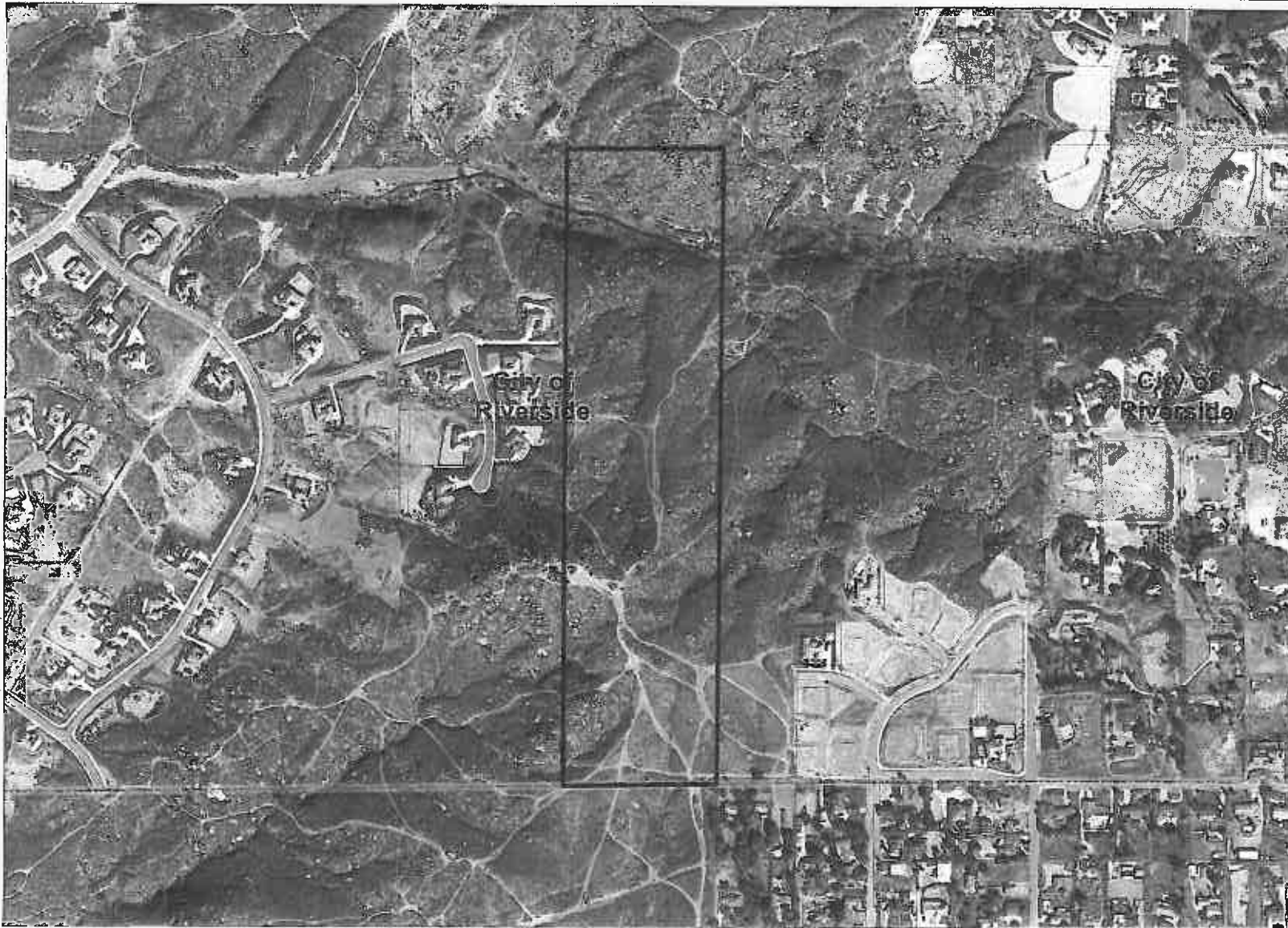
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## Notes



# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries



0 780 1,560 Feet



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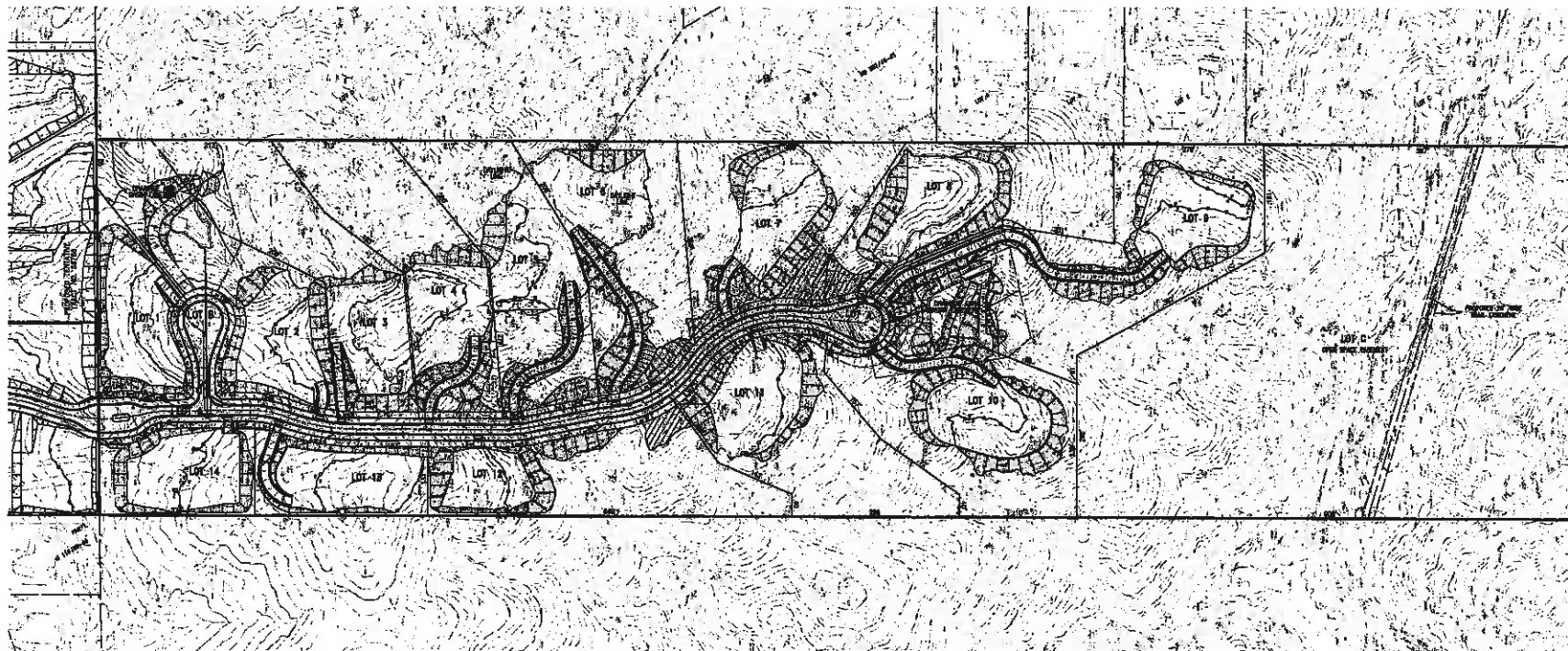
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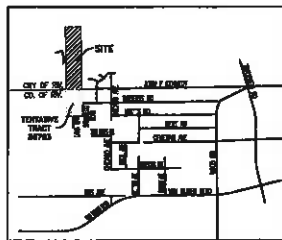
## Notes

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, CALIFORNIA  
**TENTATIVE TRACT MAP NO. 36928**

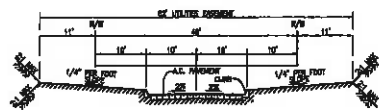
TENTATIVE TRACT SERIES	SCALE: 1"=60'



LOT	AREA	AREA AC	AREA SQ FT	AREA SQ YD
1	1.00 AC	1320	14300	1560
2	2.00 AC	2640	28600	3120
3	1.00 AC	1320	14300	1560
4	2.00 AC	2640	28600	3120
5	2.00 AC	2640	28600	3120
6	2.00 AC	2640	28600	3120
7	2.00 AC	2640	28600	3120
8	2.00 AC	2640	28600	3120
9	2.00 AC	2640	28600	3120
10	2.00 AC	2640	28600	3120
11	2.00 AC	2640	28600	3120
12	2.00 AC	2640	28600	3120
13	1.00 AC	1320	14300	1560
14	1.00 AC	1320	14300	1560
15	11.00 AC	14520	157620	17280



VICINITY MAP



TYPICAL ON-SITE PRIVATE STREET  
 'A' & 'B' STREET

**TOWN:**  
 ELIZABETH AND KAREN ANNE PURDY, AS JOINT TENANTS  
 7777 MAIN PLACE  
 MALIBU, CA 90240

**DEVELOPER:**  
 A/D DEVELOPMENT LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
 1401 REDWOOD PARK DRIVE, SUITE 400  
 RIVERSIDE, CA 92507  
 (951) 788-8840

**ASSESSOR'S PARCEL NUMBER:**  
 345-340-005

**LEGAL DESCRIPTION:**  
 A PORTION OF THE SOUTHWEST QUARTER OF SECTION 15,  
 T. 2 S., R. 8 W., S.B.M. 22A.

**ACREAGE:**  
 TOTAL PROJECT AREA: 40.00 ACRES  
 14 RESIDENTIAL LOTS  
 1 COMMON AREA LOT  
 2 PRIVATE STREET LOTS

**ZONING AND LAND USE:**  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: PRIVATE DEVELOPMENT,  
 SINGLE FAMILY RESIDENTIAL

**EXISTING ZONING:** R-2  
**PROPOSED ZONING:** R-2

**UTILITIES:**  
 ELECTRIC: CITY OF RIVERSIDE  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 WATER: CITY OF RIVERSIDE  
 SEWER: METROPOLITAN ON-SITE WASTE WATER  
 DISPOSAL SYSTEMS

**TELEPHONE:** AT&T  
**SCHOOL DISTRICT:**  
 RIVERSIDE UNIFIED SCHOOL DISTRICT

**DRAWN & REPRESENTED BY:**  
 GABEL, COOK & ASSOCIATES, INC.  
 CIVIL ENGINEERS  
 7177 BRISTOL AVE., SUITE 339  
 RIVERSIDE, CALIFORNIA 92509  
 (951) 788-8842

**NOTES:**  
 THERE ARE UNPAID OFF-SITE TERRITORY FLOWS ENTERING SITE.  
 SITE DEVELOPMENT WILL PERFORM DISTINGUISHING DISTINGUISHING  
 SET THE P-ROAD BY EARTH, ROCK & PROTECTIVE E.C. SUBMITTED  
 WITH THIS TENTATIVE TRACT MAP CASE. ALL ON-SITE SUBMITTED  
 RAINOFF WILL BE TREATED AND MANAGED, AS DESCRIBED IN THE  
 PROJECT SPECIFIC P-WMP PRIOR TO LEAVING THE PROJECT SITE.

**DRAINAGE:**  
 THE PROJECT DEVELOPER IS THE OWNER OF APN 240-220-005,  
 BEING TENTATIVE TRACT 36782.

**OPENING:**  
 OPENING WILL SUBSTANTIALLY CONFORM  
 TO THAT SHOWN ON THIS TENTATIVE MAP.

**CONTIGUOUS OWNERSHIP:**  
 THE PROJECT DEVELOPER IS THE OWNER OF APN 240-220-005,  
 BEING TENTATIVE TRACT 36782.

**STREETS:**  
 STREETS 'A' AND 'B' SHALL BE PRIVATE STREETS, MAINTAINED BY  
 THE PROPERTY OWNER'S ASSOCIATION. ALL PRIVATE STREETS WILL  
 BE CONSTRUCTED FOR THE CITY RIVERSIDE STANDARDS.

**PREPARED:** NOVEMBER 2018

**FLOOD ZONE:**  
 ZONE "X", AREA DETERMINED TO BE OUTSIDE THE 0.2%  
 ANNUAL CHANCE OF FLOODPLAIN, FOR RAIN MAP NUMBER  
 COR03004948, DATED AUGUST 29, 2006.

**TOPO SOURCE:** TERRAIN MAP IS BASED UPON FIELD SURVEY & RIGHT WAKE BY  
 GABEL, COOK AND ASSOCIATES, INC. ON 13 APRIL 2014.



<b>GABEL, COOK &amp; ASSOCIATES, INC.</b> CIVIL ENGINEERS LAND SURVEYORS AND PLANNERS 7177 BRISTOL AVE., SUITE 339 RIVERSIDE, CA 92509 (951) 788-8842 Fax: (951) 788-8844	IN THE CITY OF RIVERSIDE, RIVERSIDE COUNTY, CALIFORNIA <b>TENTATIVE TRACT MAP NO. 36928</b>	SHEET 1 OF 1 SHEET
	SCALE: 1"=60' NOVEMBER 2018 FOR: A/D DEVELOPMENT LLC	WCL 2010

PAGE BREAK



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



January 11, 2016

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Candice Assadzadeh, Assistant Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1170MA15  
Related File No.: P15-0896 (Conditional Use Permit)  
APN: N/A

Dear Ms. Assadzadeh:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case No. P15-0896 (Conditional Use Permit), a proposal to construct a 43 foot tall wireless communications facility with a new street light located within the right-of-way of Washington Street, northerly of Overlook Parkway, in the City of Riverside.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D, non-residential intensity is not restricted.

The site is located more than 20,000 feet from Runway 14-32 at March Air Reserve Base/Inland Port Airport (March ARB/IP) at an elevation that is more than 500 feet lower in elevation than the runway at March ARB/IP. However, the site is located within 20,000 feet of the runways at Riverside Municipal Airport, and the site elevation exceeds the runway elevation at Riverside Municipal Airport by approximately 200 feet. The applicant submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service prior to submittal to ALUC. A “Determination of No Hazard to Air Navigation” for Aeronautical Study No. 2015-AWP-6626-OE was issued on June 25, 2015.

As ALUC Director, I hereby find the above-referenced Minor Conditional Use Permit **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions.

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses are prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
4. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2015-AWP-6626-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.

**AIRPORT LAND USE COMMISSION**

**January 11, 2016**

5. The maximum height of the proposed structure to top point shall not exceed 44 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 1070 feet above mean sea level.
6. The specific coordinates, height, top point elevation, frequencies, and power of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.
7. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
8. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549 or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity  
Aeronautical Study No. 2015-AWP-6626-OE

cc: Verizon Wireless (applicant)  
SAC Wireless, Dail Richard (representative)  
SAC Wireless (Illinois) (payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
Kim Ellis, Airport Manager, Riverside Municipal Airport  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1170MA15\ZAP1170MA15.LTR.doc

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center  
Federal Aviation Administration  
Southwest Regional Office  
Obstruction Evaluation Group  
2601 Meacham Boulevard  
Fort Worth, TX 76193

Aeronautical Study No.  
2015-AWP-6626-OE

Issued Date: 06/25/2015

**Regulatory**

Los Angeles SMSA Limited Partnership  
1120 Sanctuary Parkway  
#150 GASA5REG  
Alpharetta, GA 30009

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole Da Vinci  
Location: Riverside, CA  
Latitude: 33-55-14.30N NAD 83  
Longitude: 117-23-00.09W  
Heights: 1026 feet site elevation (SE)  
44 feet above ground level (AGL)  
1070 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)  
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 12/25/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.



**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (425) 227-2625. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2015-AWP-6626-OE.

**Signature Control No: 254923375-256086619**  
Paul Holmquist  
Technician

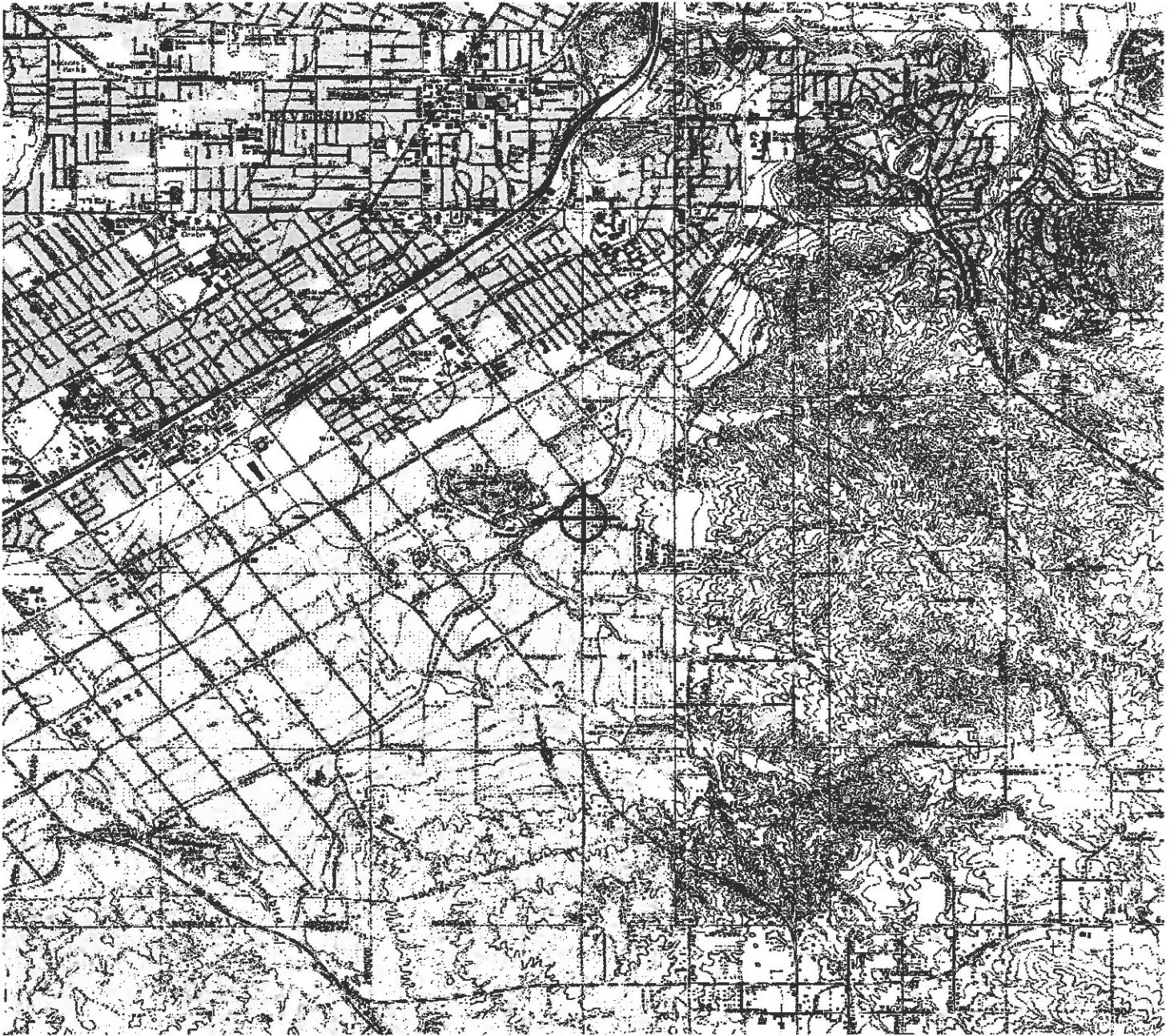
( DNE )

Attachment(s)  
Frequency Data  
Map(s)

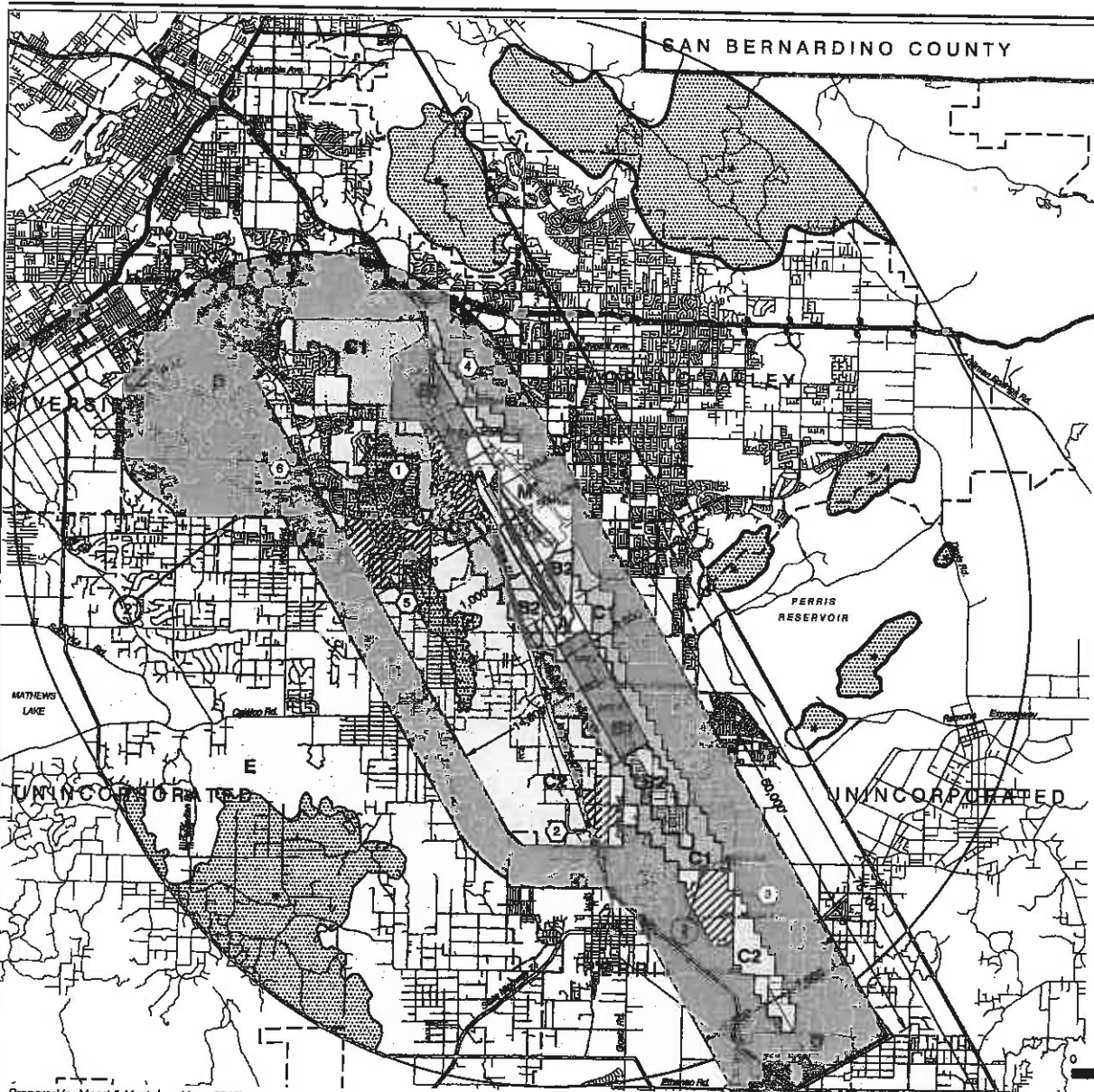
cc: FCC

Frequency Data for ASN 2015-AWP-6626-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
698	806	MHz	1000	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1850	1910	MHz	1640	W
1930	1990	MHz	1640	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W







**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- ▨ Zone A
- ▩ Zone B1
- ▩ Zone B2
- ▩ Zone C1
- ▩ Zone C2
- ▩ Zone D
- ▩ Zone E
- ▩ Zone M
- ▩ High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

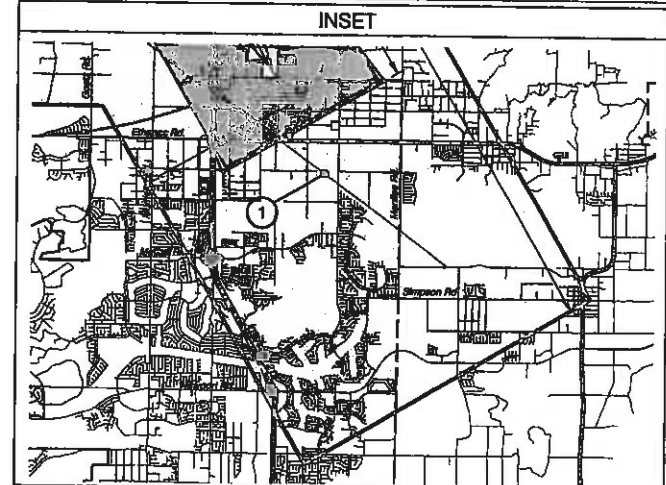
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,536 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ben Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision



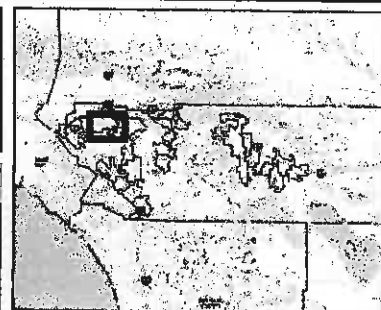
Note:  
All dimensions are measured from runway ends and centerlines.



Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)

Map MA-1  
**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

# My Map



**Legend**

- Airports
- Runways
- City Boundaries

**Faults**

- <all other values>
- ALQUIST-PRIOLO
- RIVERSIDE COUNTY

**Fault Zones**

- <all other values>
- COUNTY FAULT ZONE
- ELSINORE FAULT ZONE
- SAN ANDREAS FAULT ZONE
- SAN JACINTO FAULT ZONE



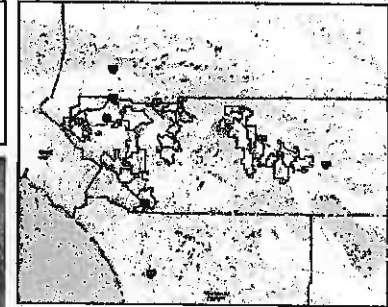
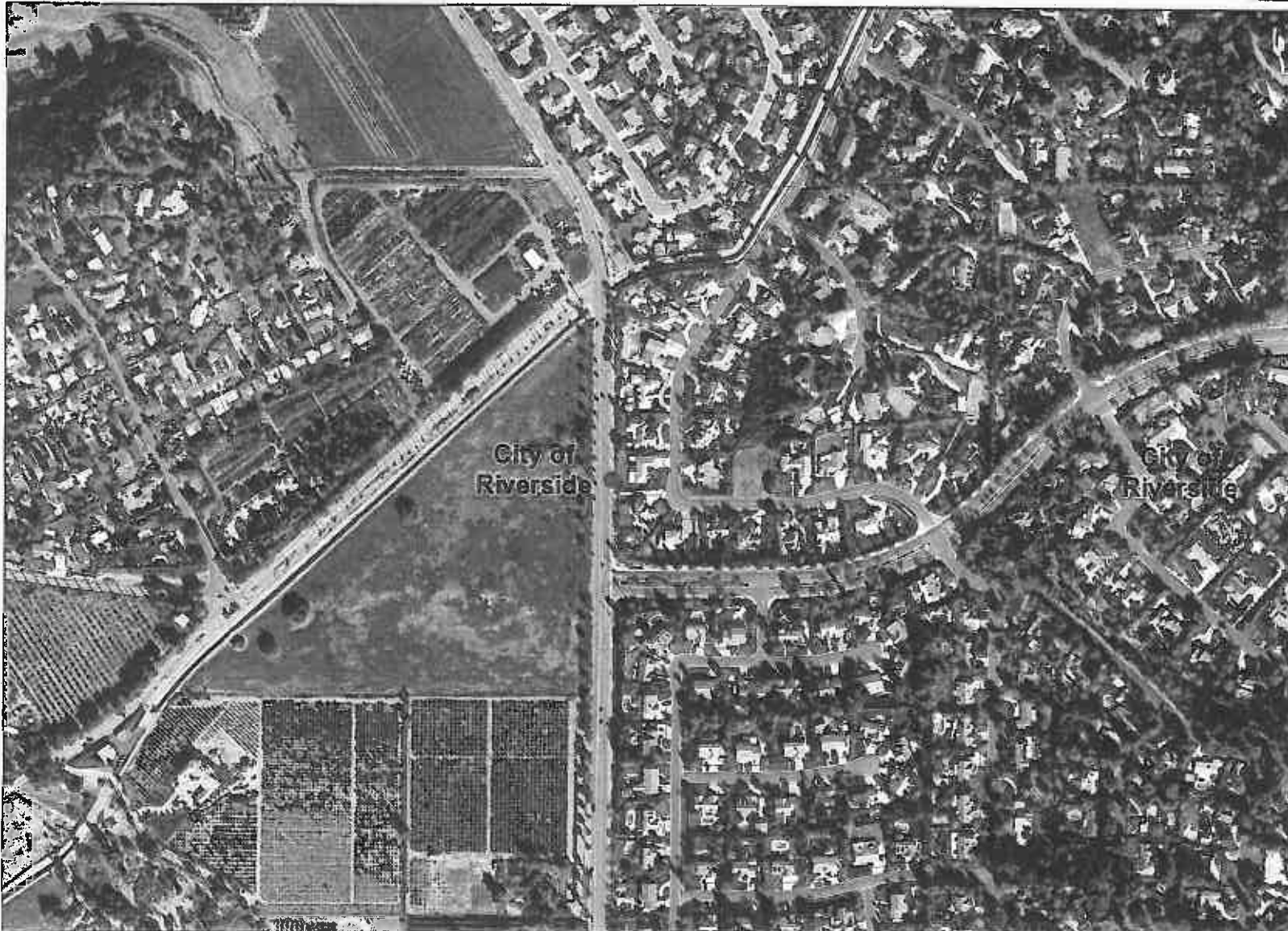
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

-  Airports
-  Runways
-  City Boundaries
- Faults**
  -  <all other values>
  -  ALQUIST-PRIOLO
  -  RIVERSIDE COUNTY
- Fault Zones**
  -  <all other values>
  -  COUNTY FAULT ZONE
  -  ELSINORE FAULT ZONE
  -  SAN ANDREAS FAULT ZONE
  -  SAN JACINTO FAULT ZONE

**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

## Notes



0 615 1,230 Feet



REPORT PRINTED ON... 1/8/2016 5:36:29 PM

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VICINITY MAP

VERIZON PROJCT - "DA VINCI"

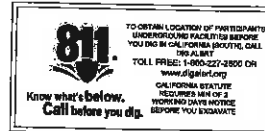
ALUC SUBMITTAL





# DA VINCI

2013 WASHINGTON ST. - R.O.W.  
RIVERSIDE, CA 92506



ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	08/20/18	60% ZONING	JL
1	11/02/18	100% ZONING	JL

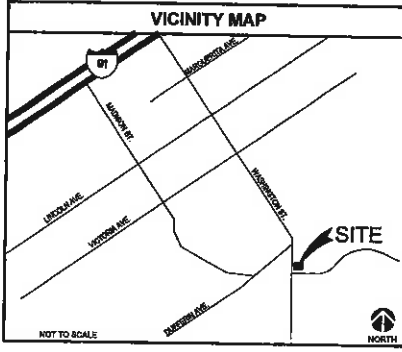
**SAC WIRELESS ENGINEERING GROUP**  
2018 SHORDHAM PLACE SUITE 150  
SAN DIEGO, CA 92122  
www.seeg.com  
619.424.1718

**PROFESSIONAL INFORMATION**  
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO SAC WIRELESS.  
ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

**verizon**  
15505 SAN CANYON AVENUE  
IRVINE, CA 92618

### PROJECT TEAM

<b>SITE ACQUISITION</b> SAC WIRELESS, LLC 6016 SHORDHAM PLACE SUITE 150 SAN DIEGO, CA 92122 CONTACT: BERTRAND ROLLER TELEPHONE: (760) 900-4154	<b>PLANNING</b> SAC WIRELESS, LLC 6016 SHORDHAM PLACE SUITE 150 SAN DIEGO, CA 92122 CONTACT: DANIEL RICHARD TELEPHONE: (602) 200-8541
<b>ARCHITECT:</b> SAC WIRELESS, LLC HECTOR RODRIGUEZ, AIA 2018 SHORDHAM PLACE SUITE 150 SAN DIEGO, CA 92122 CONTACT: JULIAN BRUNO TELEPHONE: (619) 728-2670 FAX: (619) 728-3721 JULIAN.BRUNO@SACW.COM	<b>SURVEYOR:</b> BERT HAZE AND ASSOCIATES, INC. 3184 AIRWAY AVENUE, SUITE K1 SCOTT VALLEY, CA 95050 CONTACT: BERT HAZE, PLS TELEPHONE: (714) 897-1597
<b>UTILITY COORDINATOR:</b> CB&I, INC. CONTACT: EIC MARQUEZ TELEPHONE: (800) 822-7202	



### DRIVING DIRECTIONS

FROM: 16505 SAND CANYON AVENUE  
IRVINE, CA 92618

TO: 2013 WASHINGTON ST. - R.O.W.  
RIVERSIDE, CA 92506

1. DEPART SAND CANYON TOWARD BARBARCA PARKWAY
2. TURN LEFT ONTO BARBARCA PARKWAY
3. TURN RIGHT ONTO PASADENA & TAKE THE STATE HWY 158 N RAMP
4. MERGE ONTO CA-158 N
5. MERGE ONTO CA-91 N, THEN EXIT ONTO CA-91 E TOWARD RIVERSIDE
6. EXIT ON WASHINGTON STREET & TURN RIGHT
7. TURN LEFT ONTO VICTORIA AVENUE
8. TURN RIGHT ONTO WASHINGTON STREET
9. ARRIVE AT 2013 WASHINGTON STREET, IRVINE, CA 92608

### PROJECT SUMMARY

<b>APPLICANT/LESSEE</b> verizon 16505 SAND CANYON AVENUE IRVINE, CA 92618 OFFICE: (949) 298-7000	<b>ASSESSOR'S PARCEL NUMBER</b> APIC N.Y.
<b>APPLICANT'S REPRESENTATIVE</b> SAC WIRELESS, LLC 6016 SHORDHAM PLACE SUITE 150 SAN DIEGO, CA 92122 CONTACT: DANIEL RICHARD TELEPHONE: (951) 200-8641	
<b>PROPERTY OWNER:</b> PUBLIC RIGHT OF WAY CITY OF RIVERSIDE PUBLIC UTILITIES 3760 UNIVERSITY AVENUE RIVERSIDE, CA 92503 CONTACT: DAVE BAIDE TELEPHONE: (951) 636-5421	
<b>PROPERTY INFORMATION:</b> SITE NAME: DA VINCI SITE ADDRESS: 2013 WASHINGTON ST. - R.O.W. RIVERSIDE, CA 92506 JURISDICTION: CITY OF RIVERSIDE	
<b>CONSTRUCTION INFORMATION</b> AREA OF CONSTRUCTION: 545.25 SQ FT OCCUPANCY: U TYPE OF CONSTRUCTION: V-S CURRENT ZONING: RM HANDICAP REQUIREMENTS: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, HANDICAPPED ACCESS NOT REQUIRED.	

### GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS IF NOT FULL SIZE (24 X 36)

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

### CODE COMPLIANCE

- 2013 CALIFORNIA ADMINISTRATIVE CODE (INCL. TITLE 24 & 26)
- 2013 CALIFORNIA BUILDING CODE
- 2018 CALIFORNIA ELECTRICAL CODE
- 2018 CALIFORNIA MECHANICAL CODE
- 2018 CALIFORNIA FIRE CODE
- CITY/COUNTY ORDINANCES

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	0
A-1	SITE PLAN	0
A-2	ENLARGED SITE PLAN	0
A-3	EQUIPMENT & ANTENNA LAYOUT	0
A-4	SOUTH & NORTH ELEVATIONS	0
A-5	WEST ELEVATION	0
A-6	EQUIPMENT VAULT SECTION	0

### SAC WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
PLANNER:		
CONSTRUCTION:		
LANDLORD:		

### VERIZON WIRELESS SIGNATURE BLOCK

DISCIPLINE:	SIGNATURE:	DATE:
SITE ACQUISITION:		
CONSTRUCTION:		
RADIO:		
MICROWAVE:		
TELECOM:		
EQUIPMENT:		
PROJECT ADMINISTRATOR:		
WO ADMINISTRATOR:		

### PROJECT DESCRIPTION

THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY. IT WILL CONSIST OF THE FOLLOWING:

- NEW VERIZON WIRELESS 60" x 24" x 48" 2x 8'-0" x 30" x 30" EQUIPMENT AREA
- NEW VERIZON WIRELESS SPLIT FACE CMU WALL
- (1) NEW VERIZON WIRELESS 60" ANTENNA
- (1) NEW VERIZON WIRELESS POWER PLANT
- (1) NEW VERIZON WIRELESS DEMA BATTERY STACK
- (3) NEW VERIZON WIRELESS EQUIPMENT RACKS
- (1) NEW VERIZON WIRELESS 48'-0" TALL POLE
- (3) NEW VERIZON WIRELESS 2500 UNITS
- (2) NEW VERIZON WIRELESS PANEL ANTENNAS
- (16) NEW ODDX CABLES
- (1) NEW RADOME
- (1) NEW TELECOMMER PULLBOX
- (1) NEW EQUIPMENT VAULT ACCESS & COVERING
- (1) NEW VERIZON WIRELESS METEOR FORESTAL ON A NEW 8'0" x 8'0" CONCRETE SLAB

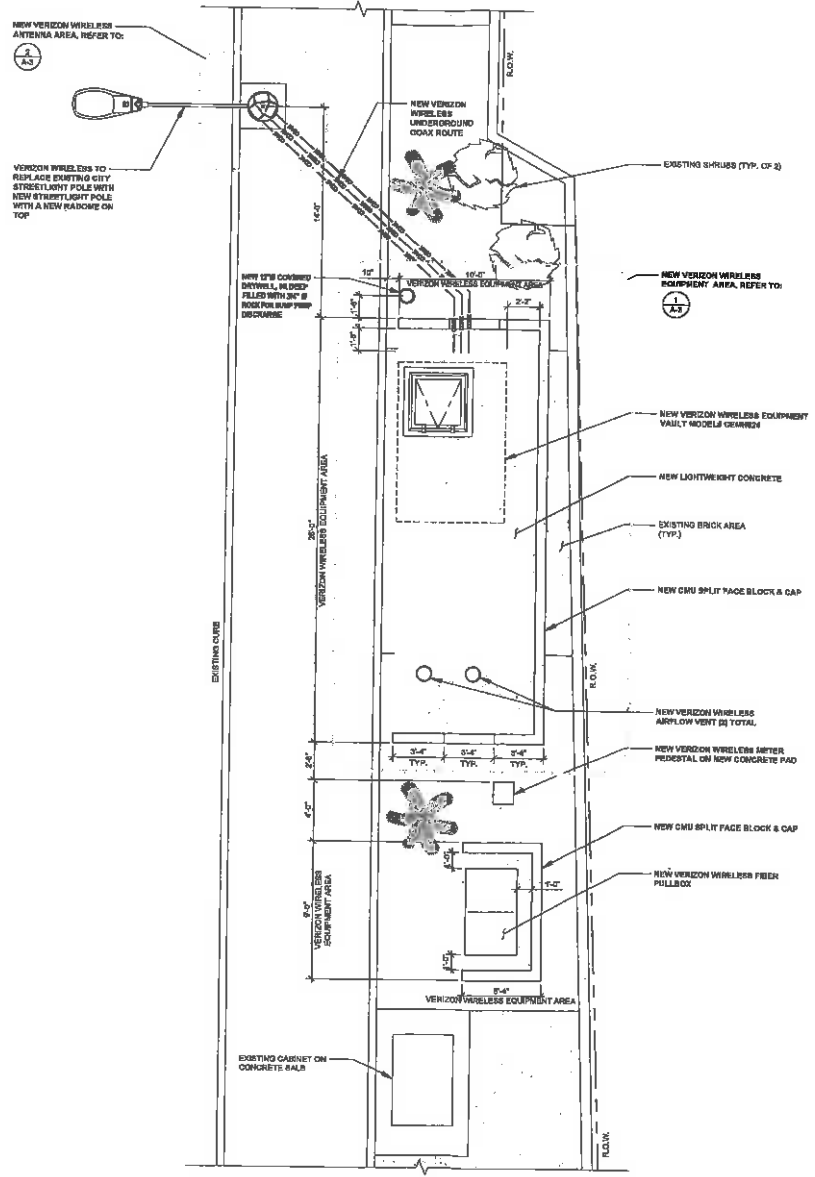
**DA VINCI**  
2013 WASHINGTON ST. - R.O.W.  
RIVERSIDE, CA 92506

SHEET TITLE:  
**TITLE SHEET**

**T-1**



**NOTE:**  
 1. THE EXISTING SIX LUMINAIRE ARM MAST WILL BE RELOCATED ON THE NEW STREET LIGHT POLE AT THE SAME HEIGHT AND ORIENTATION IN COMPLIANCE WITH CITY OF RIVERSIDE PUBLIC UTILITIES, SPECIFICATION NUMBER 3.4 FOR STREET LIGHT CONSTRUCTION.  
 2. THE PROPOSED UTILITY ROUTER (FIBER & POWER) ARE PRELIMINARY AND THEY MAY CHANGE AT THE TIME OF FINAL UTILITY DESIGN THAT WILL BE BASED FOR CONSTRUCTION BY UTILITY PROVIDERS.



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	02/20/10	50% ZONING	JL
1	11/22/11	100% ZONING	JL



**PROPRIETARY INFORMATION**  
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS.  
 ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



**DA VINCI**  
 2013 WASHINGTON ST. - R.O.W.  
 RIVERSIDE, CA 92506

SHEET TITLE:  
**ENLARGED SITE PLAN**

**A-2**

**ENLARGED SITE PLAN**

SCALE: 1/4" = 1'-0" (24x24)  
 (OR) 1/8" = 1'-0" (24x17)



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	02/20/15	90% ZONING	JL
1	11/20/15	100% ZONING	JL



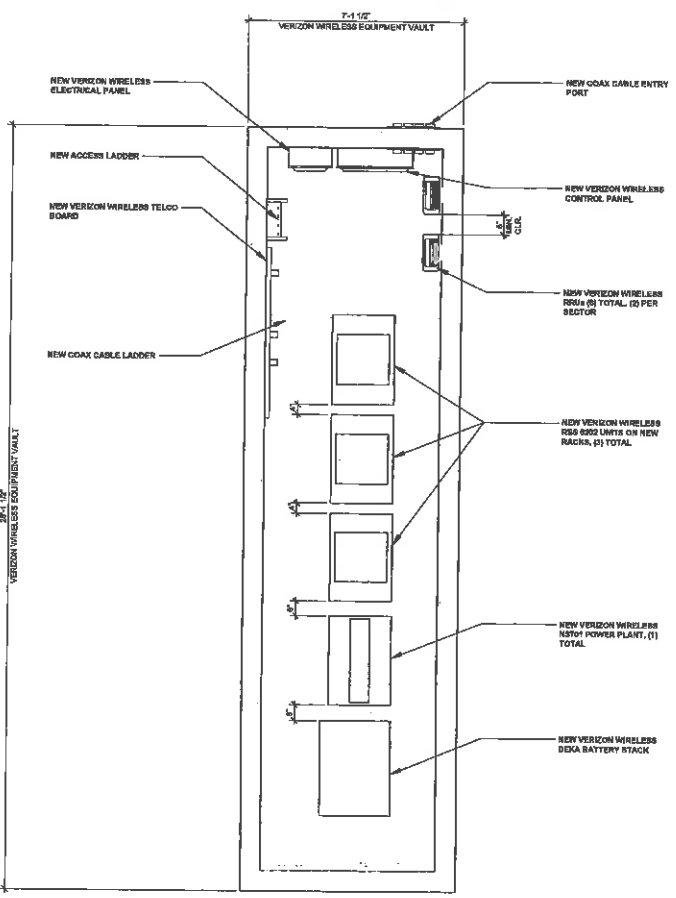
**PRELIMINARY INFORMATION**  
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PRELIMINARY & CONFIDENTIAL TO VERIZON WIRELESS.  
 ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



**DA VINCI**  
 2013 WASHINGTON ST. - R.O.W.  
 RIVERSIDE, CA 92506

SHEET TITLE:  
**EQUIPMENT & ANTENNA LAYOUT**

**A-3**

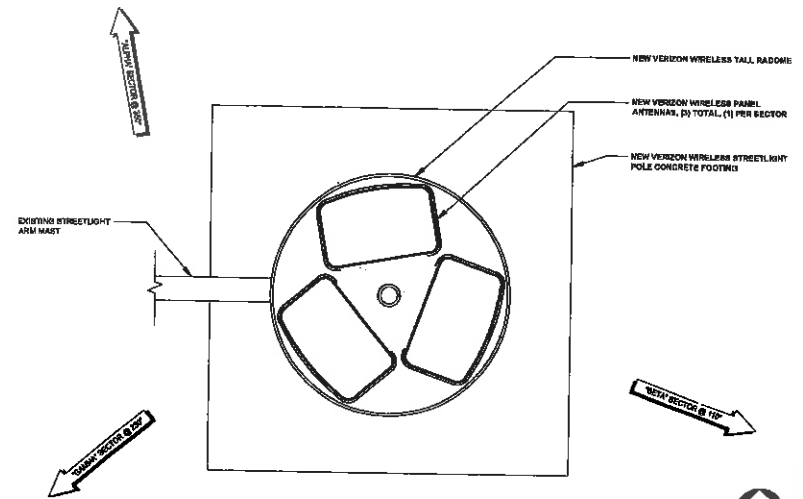


**EQUIPMENT LAYOUT**

SCALE: 1/2" = 1'-0" (24x36)  
 (OR) 1/4" = 1'-0" (12x17) **1**

**NOT USED**

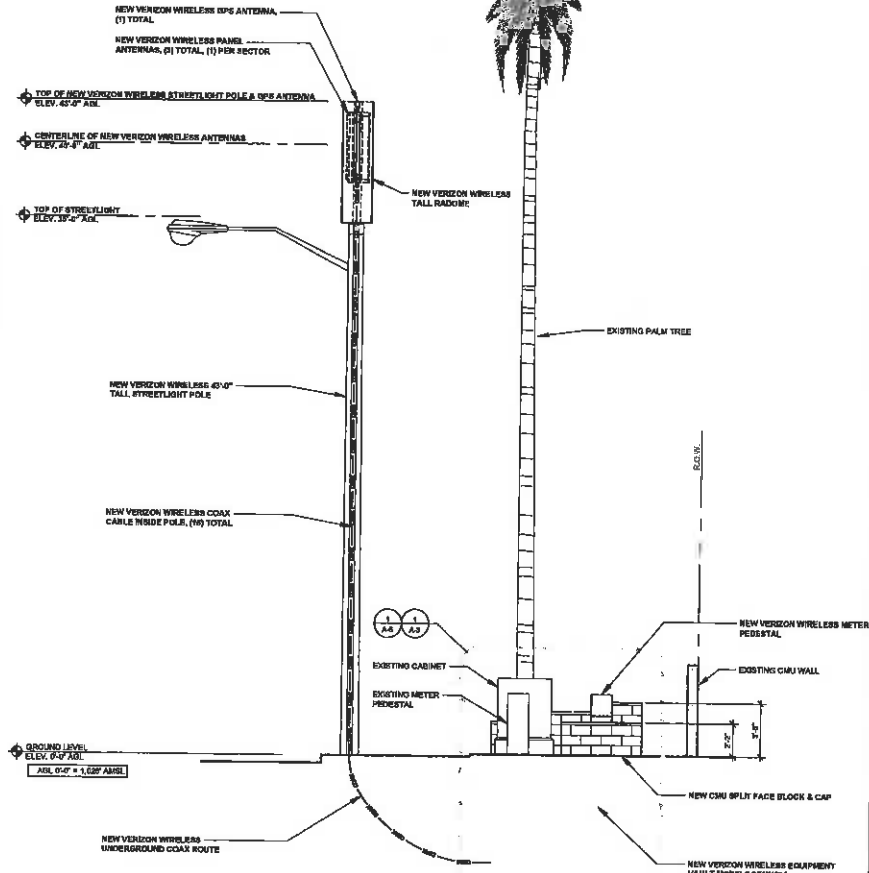
SCALE: N.T.S. **3**



**ANTENNA LAYOUT**

SCALE: 3" = 1'-0" (24x36)  
 (OR) 1" = 1'-0" (12x17) **2**

NOTE:  
 1. THE EXISTING 8FT LUMINAIRE ARM MUST BE RELOCATED ON THE NEW STREET LIGHT POLE AT THE SAME HEIGHT AND ORIENTATION IN COMPLIANCE WITH CITY OF RIVERSIDE PUBLIC UTILITIES, SPECIFICATION NUMBER 1.8 FOR STREET LIGHT CONSTRUCTION.  
 2. THE PROPOSED STREETLIGHT POLE SHALL HAVE A MARBLEITE OR PAIX GRANITE FINISH TO RESEMBLE THE ADJACENT STREETLIGHT POLES.

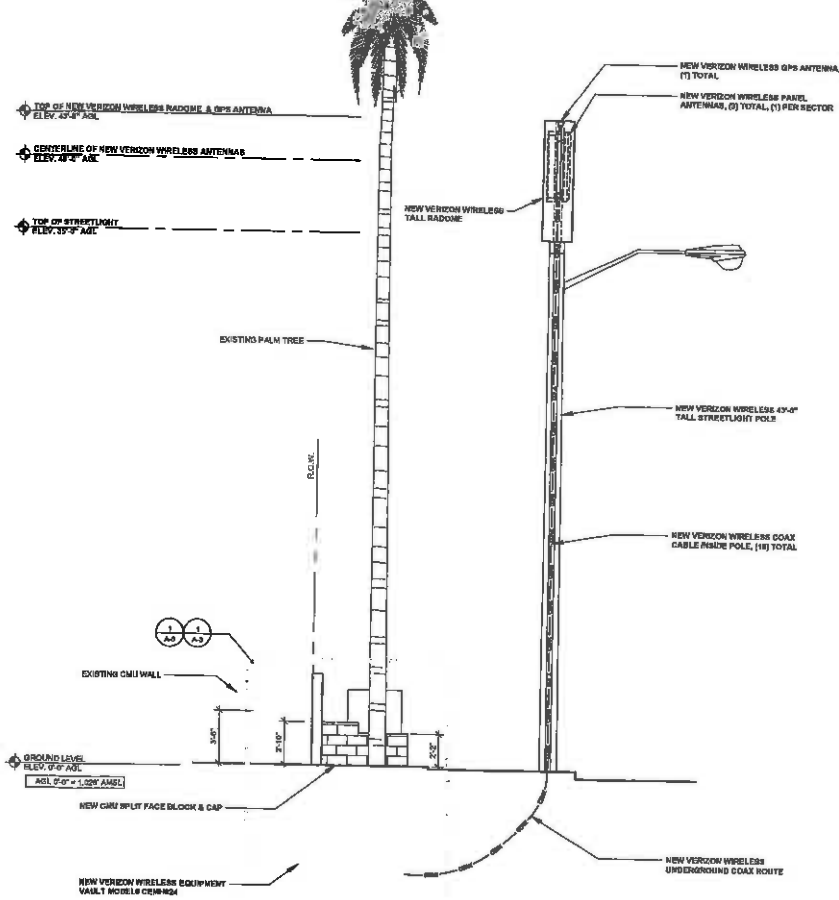


**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0" (24x36)  
 (OR) 3/8" = 1'-0" (11x17)

**1**

NOTE:  
 1. THE EXISTING 8FT LUMINAIRE ARM MUST BE RELOCATED ON THE NEW STREET LIGHT POLE AT THE SAME HEIGHT AND ORIENTATION IN COMPLIANCE WITH CITY OF RIVERSIDE PUBLIC UTILITIES, SPECIFICATION NUMBER 2.A FOR STREET LIGHT CONSTRUCTION.  
 2. THE PROPOSED STREETLIGHT POLE SHALL HAVE A MARBLEITE OR PAIX GRANITE FINISH TO RESEMBLE THE ADJACENT STREETLIGHT POLES.



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0" (24x36)  
 (OR) 3/8" = 1'-0" (11x17)

**2**

**ISSUE STATUS**

REV	DATE	DESCRIPTION	BY
0	02/28/16	ISSUE FOR PERMITS	JL
1	11/29/16	100% ZONING	JL



**PROFESSIONAL INFORMATION**  
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY AND CONFIDENTIAL TO VERIZON WIRELESS.  
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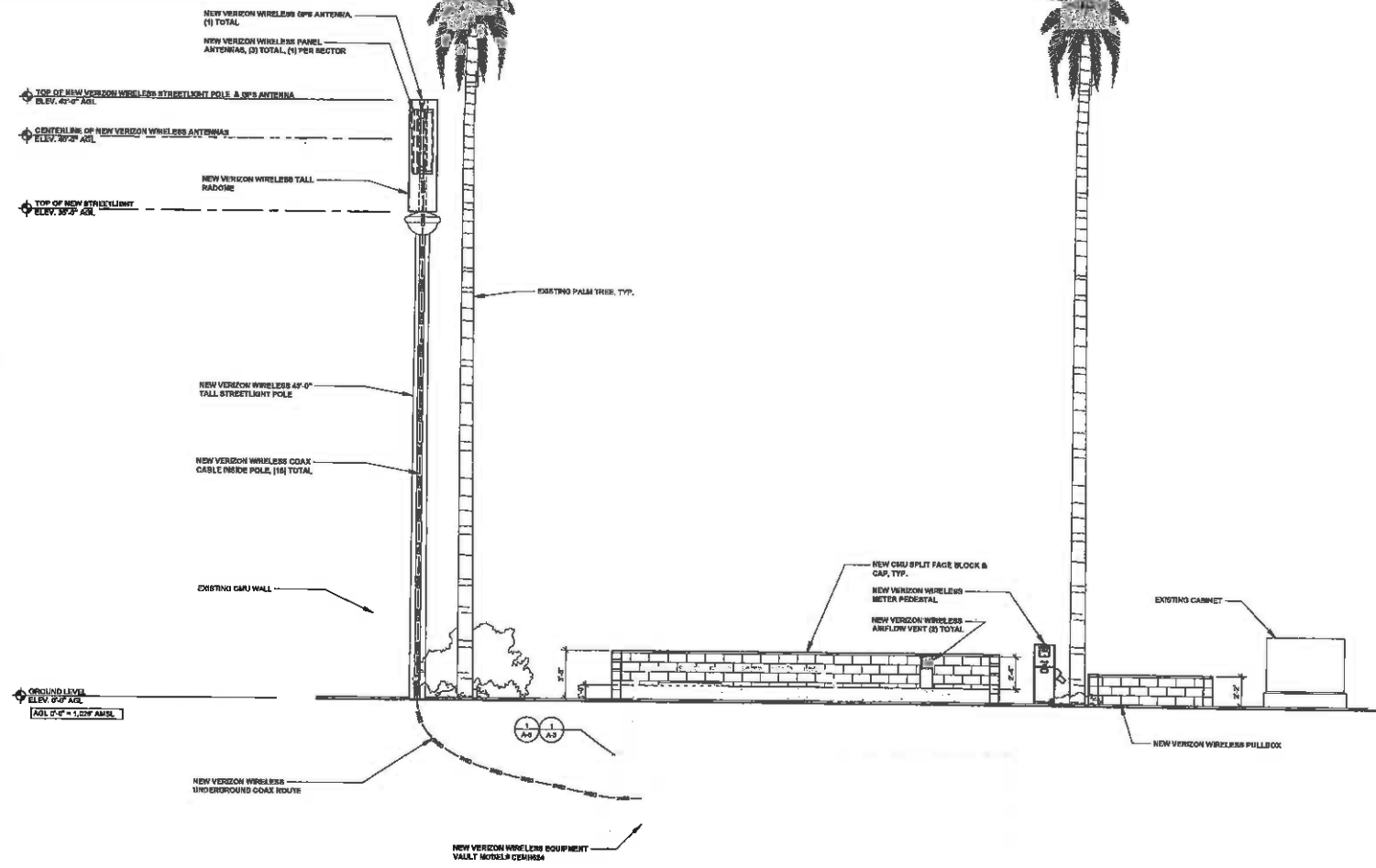


**DA VINCI**  
 2013 WASHINGTON ST. - R.O.W.  
 RIVERSIDE, CA 92506

SHEET TITLE:  
**SOUTH & NORTH ELEVATION**

**A-4**

NOTE:  
 1. THE EXISTING 6FT LUMBER POLE ALREADY WILL BE RELOCATED ON THE NEW STREET LIGHT POLE AT THE SAME HEIGHT AND ORIENTATION IN COMPLIANCE WITH CITY OF RIVERSIDE PUBLIC UTILITIES SPECIFICATION NUMBER 24 FOR STREET LIGHT CONSTRUCTION.  
 2. THE PROPOSED STREETLIGHT POLE SHALL HAVE A MARBLETE OR TRUS GRANITE FINISH TO RESEMBLE THE ADJACENT STREETLIGHT POLES.



ISSUE STATUS		
REV	DATE	DESCRIPTION
0	02/20/16	50% ZONING
1	11/20/15	100% ZONING

**SC WIRELESS**  
 ENGINEERING GROUP  
 2016 BROADWAY PLACE, SUITE 100  
 SAN DIEGO, CA 92108  
 WWW.SCENGINEERS.COM  
 619.233.2700

**PREPARE INFORMATION**  
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS UNCLASSIFIED & CONFIDENTIAL TO VERIZON WIRELESS.  
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**verizon**  
 15506 SAN CANYON AVENUE  
 IRVINE, CA 92618

**DA VINCI**  
 2013 WASHINGTON ST., - R.O.W.  
 RIVERSIDE, CA 92506

SHEET TITLE:  
**WEST ELEVATION**

**A-5**

**WEST ELEVATION**

SCALE: 1/4" = 1'-0" (24x36)  
 (OR) 1/8" = 1'-0" (11x17) **2**

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	03/25/16	90% DRAWING	JL
1	11/28/15	100% DRAWING	JL

**SC**  
WIRELESS  
ENGINEERING GROUP  
1116 PANDORA PLACE SUITE 120  
SAN DIEGO, CA 92131  
951-292-5700  
©1978-2016

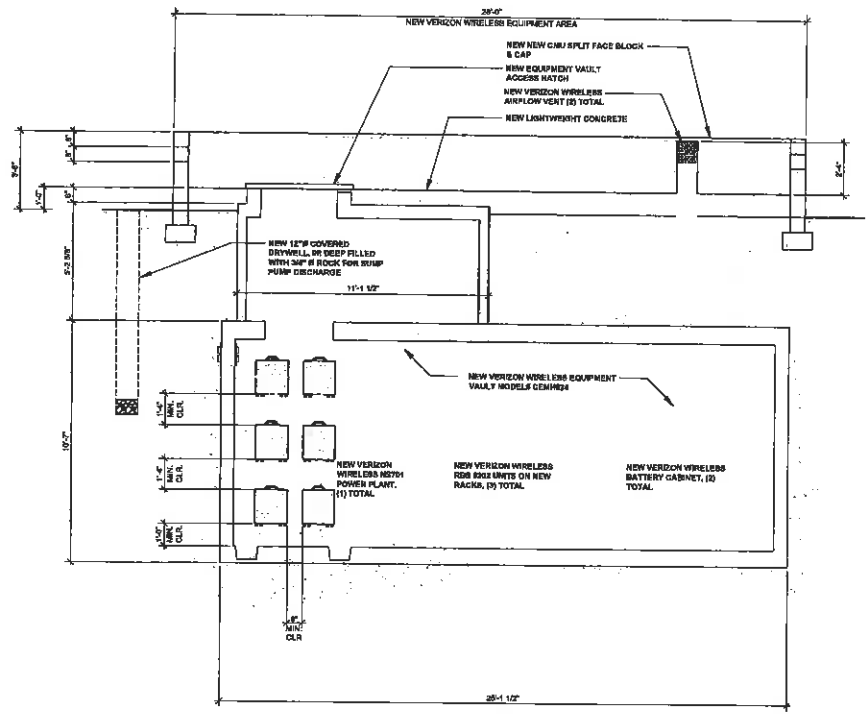
**PROPRIETARY INFORMATION**  
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ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED

**verizon**  
1500 SAN CANYON AVENUE  
IRVINE, CA 92618

**DA VINCI**  
2013 WASHINGTON ST. - R.O.W.  
RIVERSIDE, CA 92506

SHEET TITLE:  
**EQUIPMENT VAULT SECTION**

**A-6**



NOT USED

SCALE: N.T.S. **2**

**EQUIPMENT VAULT SECTION**

SCALE: 3/8" = 1'-0" (24x36)  
(OR) 3/16" = 1'-0" (12x17) **1**

**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

Arthur Butler  
Riverside

Glen Holmes  
Hemet

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**  
**Director**  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

January 11, 2016

Ms. Ilene Lundfelt, Associate Planner  
City of Perris Planning Division  
101 N. D Street  
Perris, C A 92570

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW**

File No.: ZAP1171MA15  
Related File No.: PLN15-00010 (Design Review)  
APNs: 302-100-013

Dear Ms. Lundfelt:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal to develop five industrial (predominantly warehouse) buildings totaling 161,255 square feet on 9.86 net acres located westerly of Redlands Avenue, northerly of Nance Street, and southerly of Harley Knox Boulevard, within the City of Perris.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D in this AIA, land use intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 9,150 feet from the runway to the property line, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1579.5 feet AMSL. The existing site elevation is approximately 1460 feet above mean sea level. With a maximum building height of 35 feet, the top point elevation would be approximately 1495 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.

2. The following uses are prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the proposed buildings, and shall be recorded as a deed notice.
4. Any proposed detention basins shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

**AIRPORT LAND USE COMMISSION**

**January 11, 2016**

RB:bks

Attachments: Notice of Airport in Vicinity

cc: O3M LLC (landowner)  
The Fifth Day, LLC (representative/payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

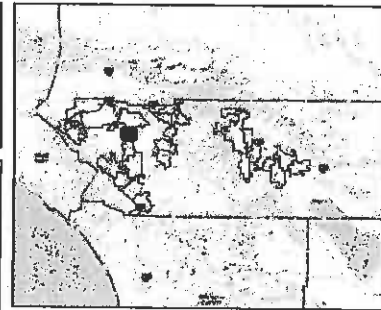
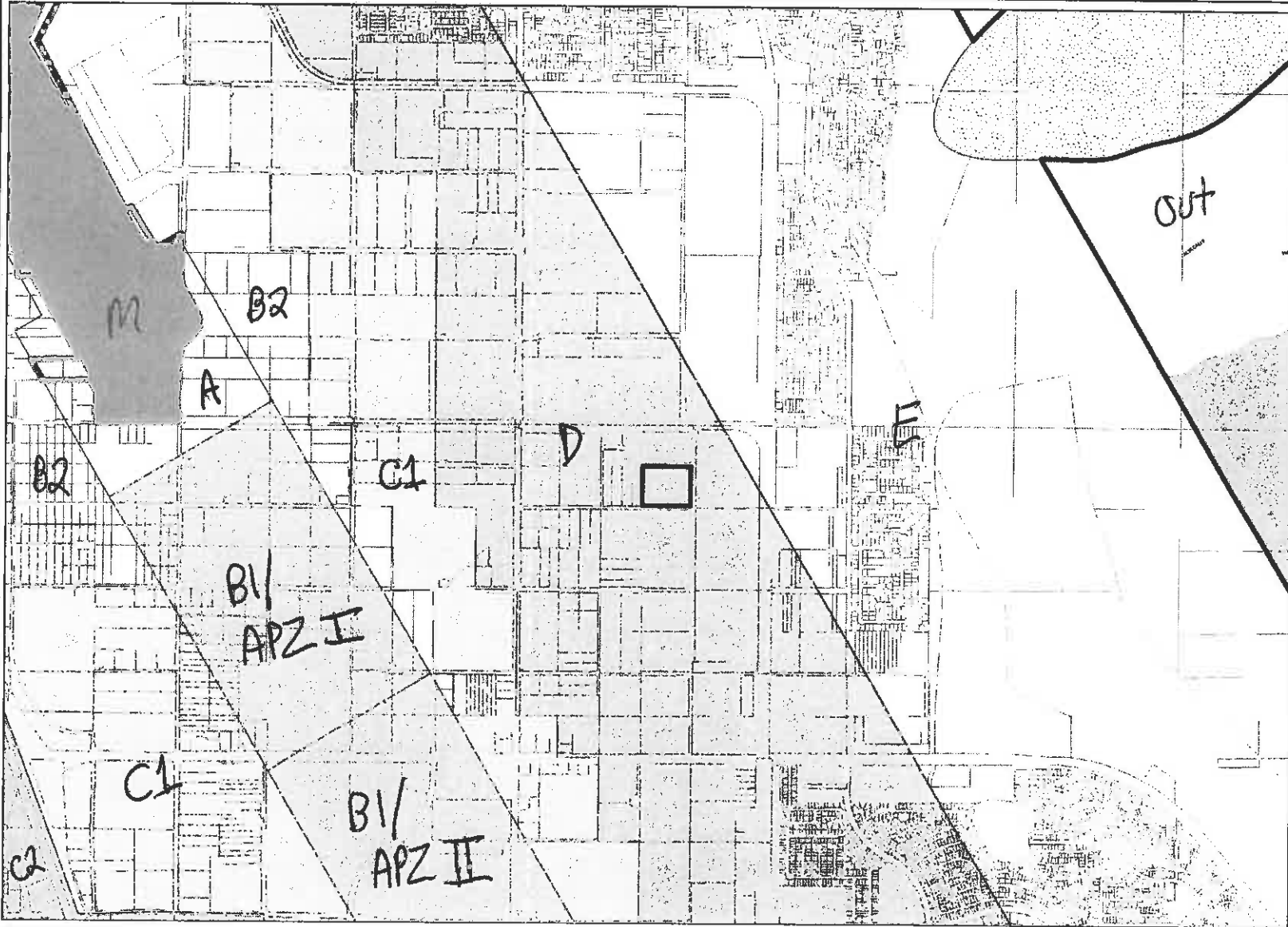
Y:\AIRPORT CASE FILES\March\ZAP1171MA15\ZAP1171MA15.LTR.doc

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 2,943 5,887 Feet



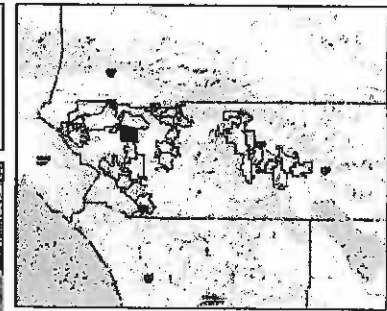
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## Notes

# My Map



## Legend

-  Airports
-  AIA
-  Runways
- Intake Boundaries
  -  <all other values>
  -  NO
  -  UNKNOWN
  -  YES
-  Historic Preservation Districts I
-  City Boundaries



0 2,943 5,887 Feet



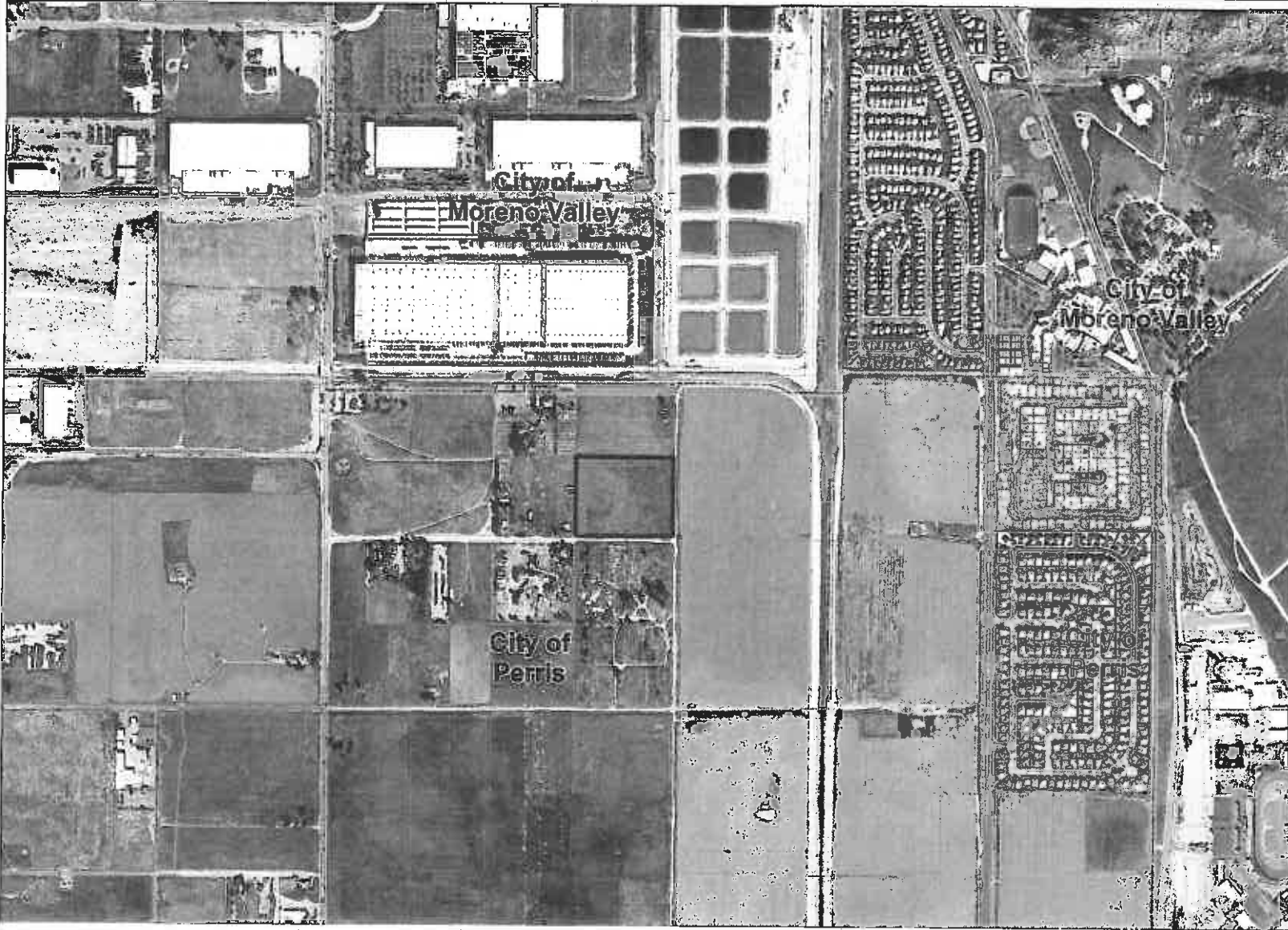
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



- Legend**
- Airports
  - AIA
  - Runways
  - Intake Boundaries**
  - <all other values>
  - NO
  - UNKNOWN
  - YES
  - Historic Preservation Districts I
  - City Boundaries



0 1,472 2,943 Feet



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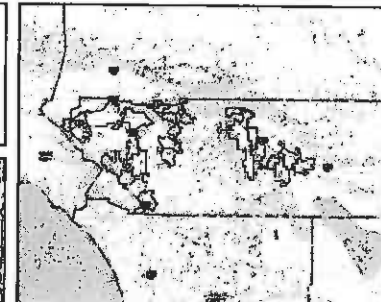
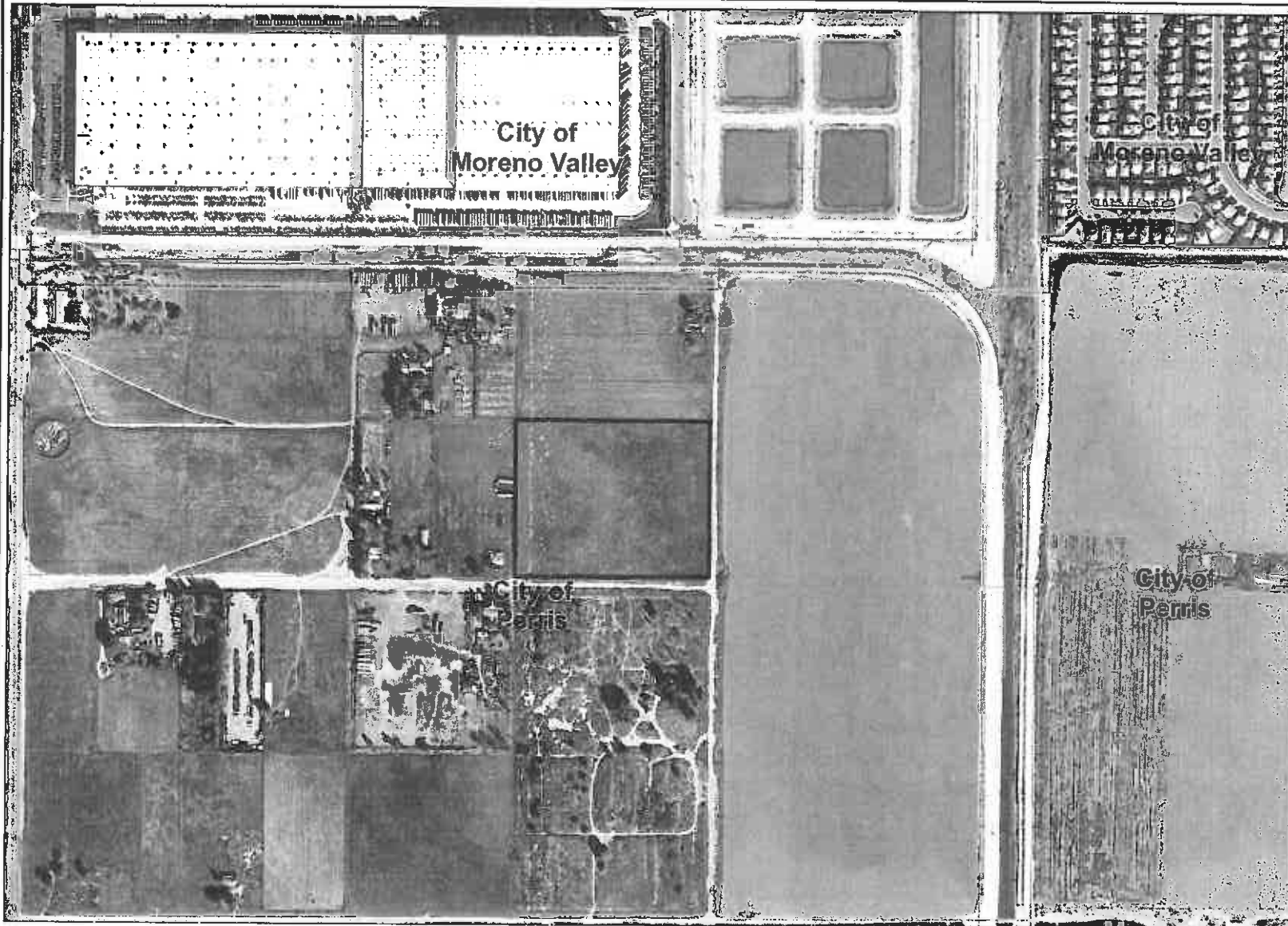
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**Notes**



# My Map



## Legend

- Airports
- AIA
- Runways
- Intake Boundaries
- /// <all other values>
- NO
- UNKNOWN
- YES
- Historic Preservation Districts I
- City Boundaries



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 736 1,472 Feet

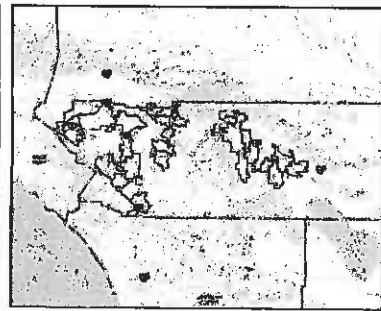


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## Notes

# My Map



- Legend**
- Airports
  - AIA
  - Runways
  - Intake Boundaries
  - /// <all other values>
  - NO
  - UNKNOWN
  - YES
  - Historic Preservation Districts I
  - City Boundaries



0 368 736 Feet



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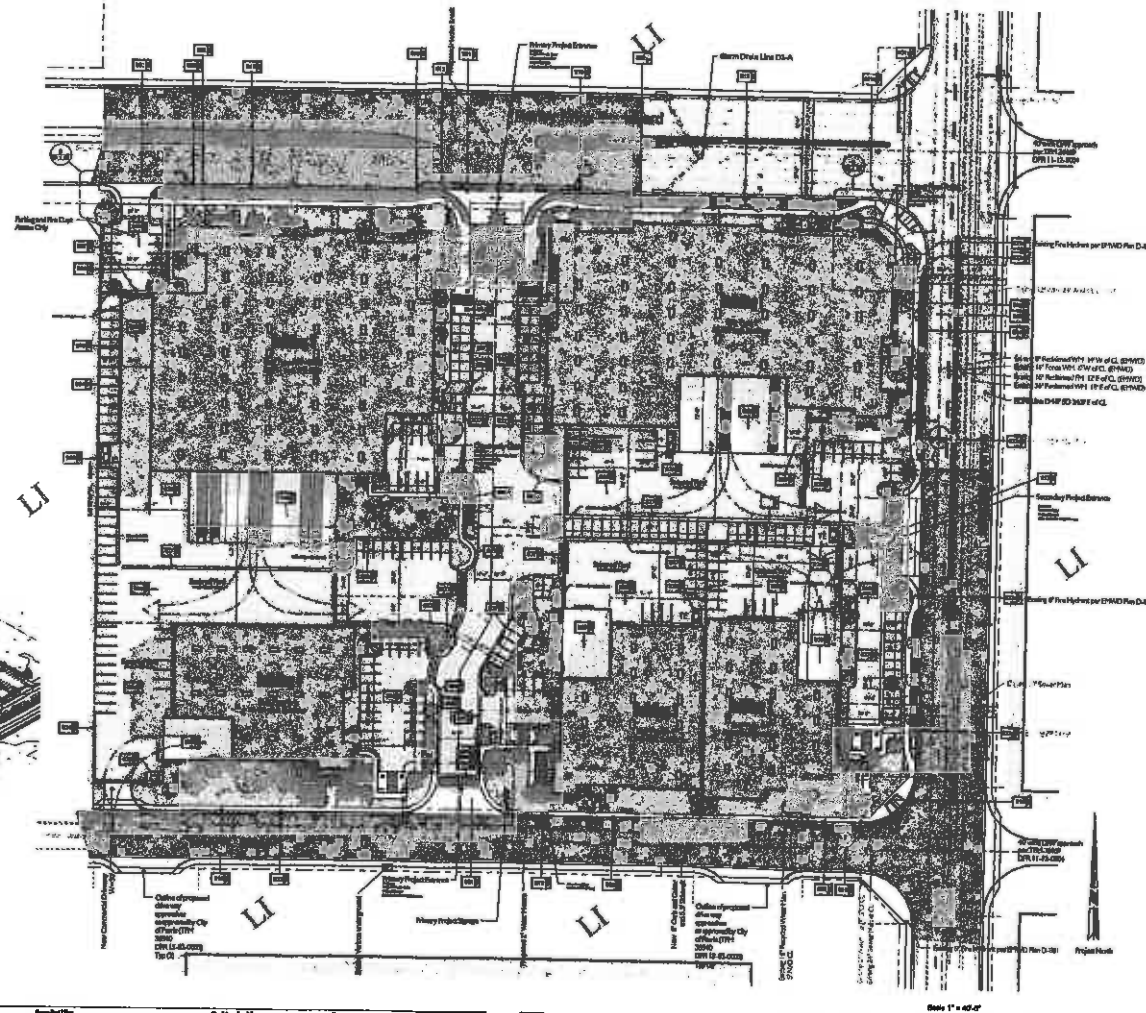
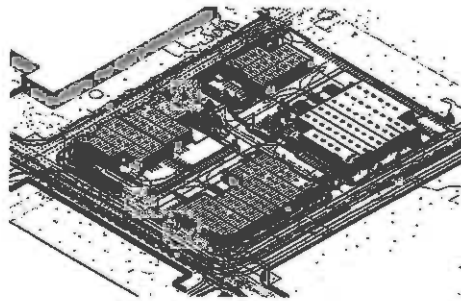
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**Notes**



**Keynote**

- | Key Note | Keynote Text                                       |
|----------|--|
| 301      | FCC Colonnade approach per R.C. Co. Bd. 207A       |
| 302      | #18 FCC Standard per R.C. Co. Bd. 207A             |
| 303      | Type D # FCC Curb per R.C. Co. Bd. 207A            |
| 304      | Type D # FCC Curb per R.C. Co. Bd. 207A            |
| 305      | Type A # FCC Curb and Column per R.C. Co. Bd. 207A |
| 306      | # Asphalt Paving                                   |
| 307      | Wheel Stop   |
| 308      | Asphalt Paving with FCC border per plan            |
| 309      | Painted Street Light Standards                     |
| 310      | # Curb Stop  |
| 311      | # Curb Stop  |
| 312      | Project Maintenance Signage                        |
| 313      | Highway Sign or Temporary Sign                     |
| 314      | ADA Wheelchair Accessible                          |
| 315      | Light Bulbs  |
| 316      | Manhole  |
| 317      | Painted Pedestrian Crossing                        |
| 318      | Painted Street Light Standards                     |
| 319      | ADA Access Ramp per R.C. Co. Bd. 402 Code A        |
| 320      | ADA Access Ramp per R.C. Co. Bd. 402 Code A        |
| 321      | FCC Wheel Stop                                     |
| 322      | Fire Hydrant                                       |
| 323      | Painted Fire Hydrant                               |
| 324      | Power Pole   |
| 325      | Power Pole   |
| 326      | Power Pole   |
| 327      | # Chain Link Fencing                               |
| 328      | Power Pole   |
| 329      | Power Pole   |
| 330      | Power Pole   |
| 331      | Power Pole   |
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| 358      | Power Pole   |
| 359      | Power Pole   |
| 360      | Power Pole   |



**Reference**

#	Building Type	Sq. Ft.	Area	Footprint	Setback	%	Area/Volume		Parking by Use				ADA Required	ADA Provided
							Cost	Volume	Required	Provided	ADA	ADA		
1	Building Type 1	120,000	2.50	30,000	40,000	16.0%	4,000	12,000	200	200	0.00	0.00	0	0
2	Building Type 2	200,000	4.50	50,000	70,000	15.0%	8,000	24,000	400	400	0.00	0.00	0	0
3	Building Type 3	300,000	6.50	75,000	100,000	15.0%	12,000	36,000	600	600	0.00	0.00	0	0
4	Building Type 4	400,000	8.50	100,000	130,000	15.0%	16,000	48,000	800	800	0.00	0.00	0	0
5	Building Type 5	500,000	10.50	125,000	160,000	15.0%	20,000	60,000	1,000	1,000	0.00	0.00	0	0
Total		1,520,000	33.00	325,000	430,000	15.0%	72,000	216,000	3,600	3,600	0.00	0.00	0	0

Parking Required by Use:  
 Office use of 1000 = 200  
 Residential = 200  
 Multi-family = 200  
 Warehouse or other = 200  
 Utility = 200

**Bookends East**

11111 1st Street  
 Suite 100  
 Denver, CO 80202

**SP.1.00**





**Keynotes**

**Wall Schedule/Legend**

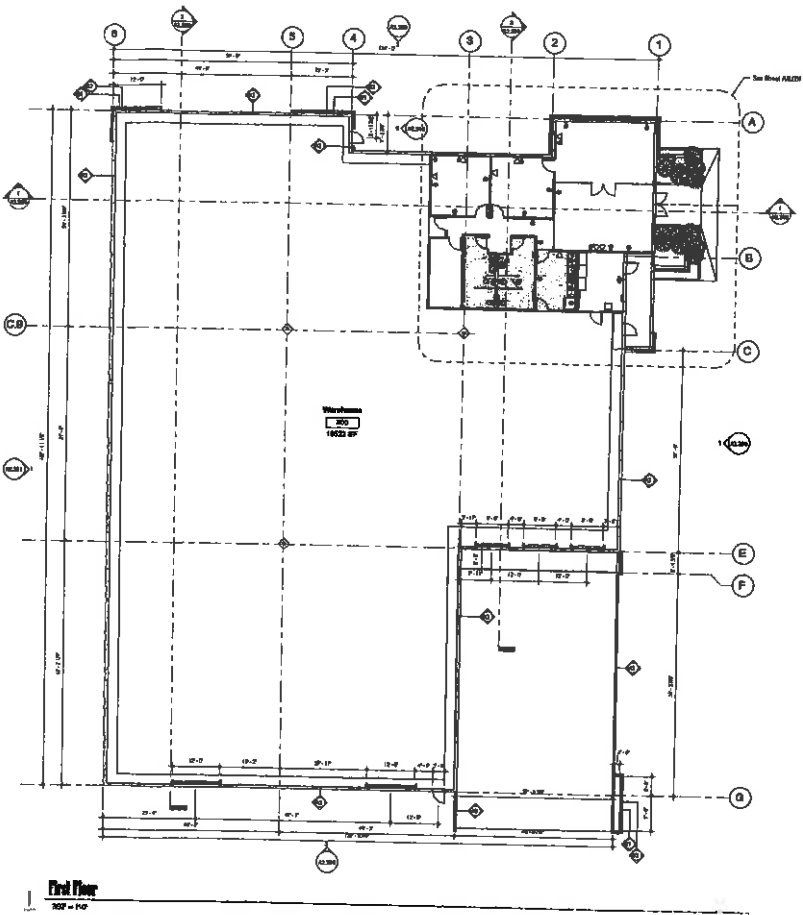
Type/Ref.	Thickness	Description
W1	8"	Concrete Tilt-up Wall
W2		Insulated
W3	2.00"	Block Masonry over all wall and exterior columns
W4	2.00"	CMU Masonry over all wall and exterior columns

Type/Ref.	Description
Type A	Concrete 8 1/2" top and bottom reinforcement
Type B	8" Top Rein. 20 ga.
Type C	8" Top Rein. 20 ga.
Type D	2.00" 8" Rein. 20 ga.
Type E	2.00" 8" Rein. 20 ga.
Type F	2.00" 8" Rein. 20 ga.
Type G	Block Masonry over 1.00" Block Board
Type H	1.00" 8" Rein. 20 ga.
Type I	CMU Masonry over 1.00" Block Board
Type J	4" 8" Rein. 20 ga.



**3D View 6**

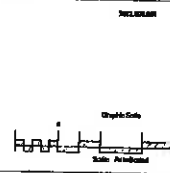
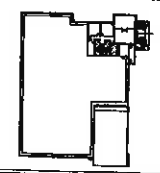


**First Floor**  
307' x 100'

**Floor Plan General Notes and References**

1. Check and verify all dimensions of columns and beams of exterior wall and roof and interior connections.
2. The floor concrete shall contain the job site in closed empty condition, free of debris and litter. Clean condition of construction site is required for all work to proceed.
3. All work shall be done in accordance with the approved plans and specifications.
4. All work shall be done in accordance with the approved plans and specifications.
5. All work shall be done in accordance with the approved plans and specifications.
6. All work shall be done in accordance with the approved plans and specifications.
7. All work shall be done in accordance with the approved plans and specifications.
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24. All work shall be done in accordance with the approved plans and specifications.
25. All work shall be done in accordance with the approved plans and specifications.
26. All work shall be done in accordance with the approved plans and specifications.
27. All work shall be done in accordance with the approved plans and specifications.
28. All work shall be done in accordance with the approved plans and specifications.
29. All work shall be done in accordance with the approved plans and specifications.
30. All work shall be done in accordance with the approved plans and specifications.

**Index Key**



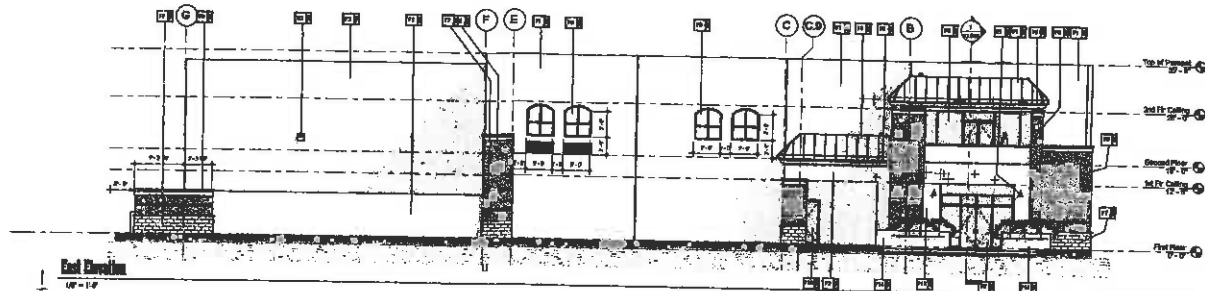
**Bookends East**  
 14000 1st St  
 Richmond, CA 94801  
 Phone: 510.835.1100  
 Fax: 510.835.1101  
 Website: www.bookendseast.com

**Building Two Floor Plan (Types 1-4)**

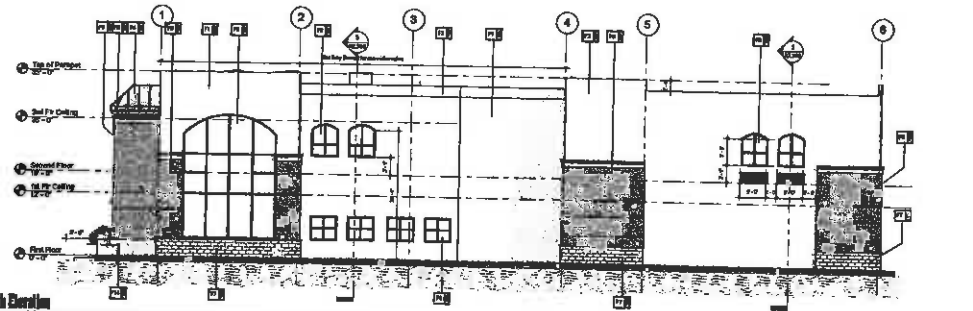
**A2.100**

**Keynote**

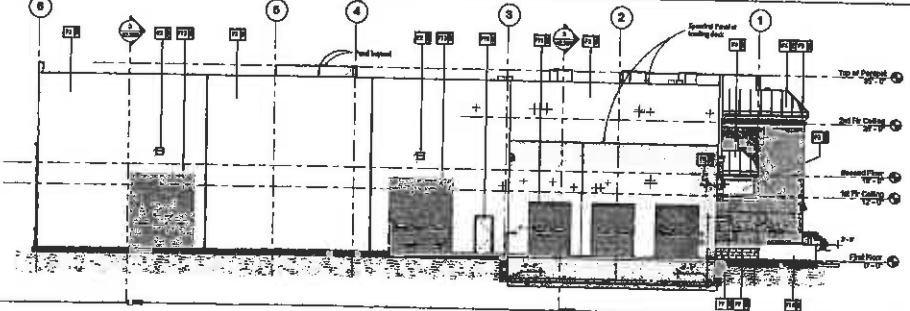
Keynote	System/Type
E1	Wall Lams - Insulat
E2	Wall Finish Light
F1	Concrete Wall painted Color M&E Acoust "Light Blk" with 20000 acoustically by Trane F&I
F2	Concrete Wall painted Color M&E Primary "White" with 20000 acoustically by Trane F&I
F3	Concrete Wall painted Color M&E Acoust "Charred Grey" with 20000 acoustically by Trane F&I
F4	Paint Standing Seam Roof - Color Copper
F5	EPDM roof decking, 1/2" to match existing concrete wall
F6	1/2" Insulation by Owens Corning "Fiberglas" System Blank, see elevations and wall sections for size and pattern
F7	CMU masonry exterior see elevations and wall sections for size and pattern
F8	Steel Vents Slating
F9	Paint Window Slating
F10	Clearer vinyl door and frame
F11	8' 0" x 12' 0" Bi-parting metal overhead door
F12	12' 0" x 16' 0" overhead metal overhead door
F13	Elabor metal steel door
F14	Painted Harder PCC concrete walls



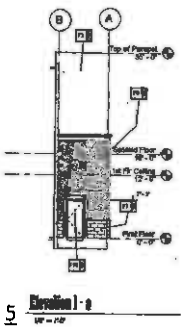
**East Elevation**  
WF = 110'



**North Elevation**  
WF = 110'



**South Elevation**  
WF = 110'



**Elevation 1-a**  
WF = 110'

**Reference**



**Bookends East**

Architectural Firm

2025 Main St  
St. Louis, MO 63103  
Tel: (314) 555-1234  
Fax: (314) 555-5678

Project: Bookends East  
Date: 10/15/2023  
Scale: As Shown

**A2.200**

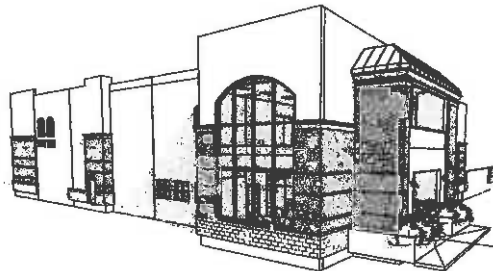


**Keynotes**

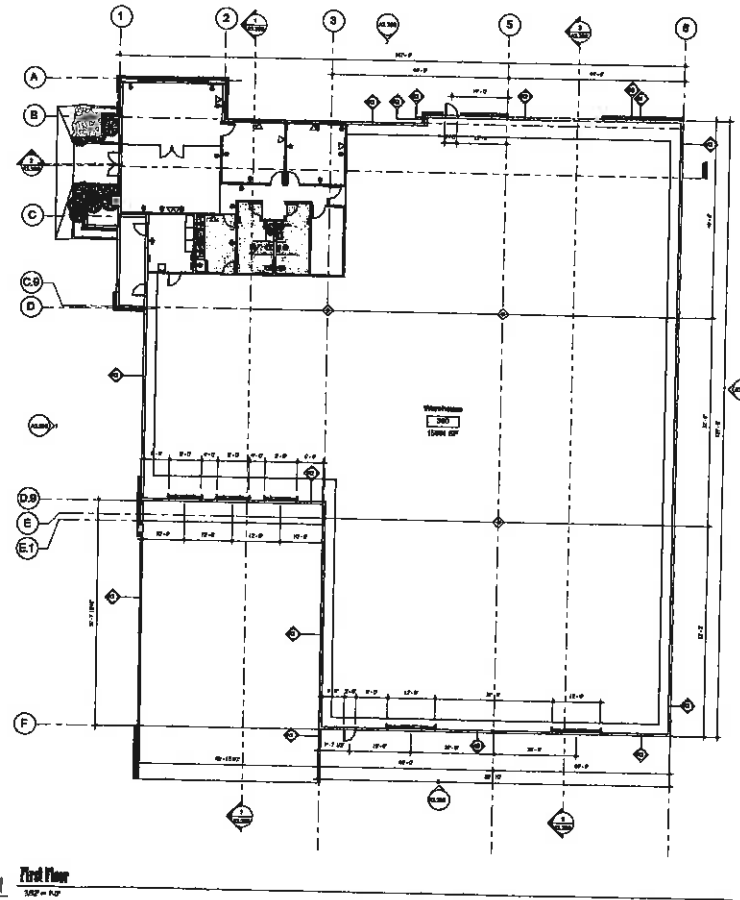
**Wall Schedule/Legend**

Type	Thickness	Description
A1	12"	Concrete Tilt-up Wall
A2	8"	8" Thin Concrete Tilt-up Wall
A3	8"	Concrete Tilt-up Wall
B1	4.5"	2.5" Top and 2" Bottom Insulation
B2	7.5"	2" Top and 2" Bottom Insulation
B3	3.5"	1.5" Top and 2" Bottom Insulation
B4	3.5"	2" Top and 1.5" Bottom Insulation
C1		Plaster
C2		Chase wall cover
E1	4.5"	2.5" Top and 2" Bottom Insulation
E2	3.5"	2" Top and 1.5" Bottom Insulation

- Type-A: Concrete tilt-up wall with insulator for exterior
- Type-B1: 2.5" Top, 2" Bottom
- Type-B2: 2" Top, 2" Bottom
- Type-B3: 1.5" Top, 2" Bottom
- Type-B4: 2" Top, 1.5" Bottom
- Type-C1: Plaster
- Type-C2: Chase wall cover
- Type-E1: 2.5" Top, 2" Bottom
- Type-E2: 2" Top, 1.5" Bottom



2 Perspective View

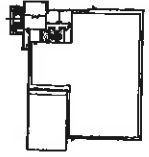


1 First Floor  
1/8" = 1'-0"

**Floor Plan General Notes and References**

- Dimensions on drawings indicate in center line of columns unless otherwise noted.
- Finish floor elevations are shown on drawings.
- Use of materials and methods shall be in accordance with the provisions of the Building Code of the City of Chicago.
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**Index Key**



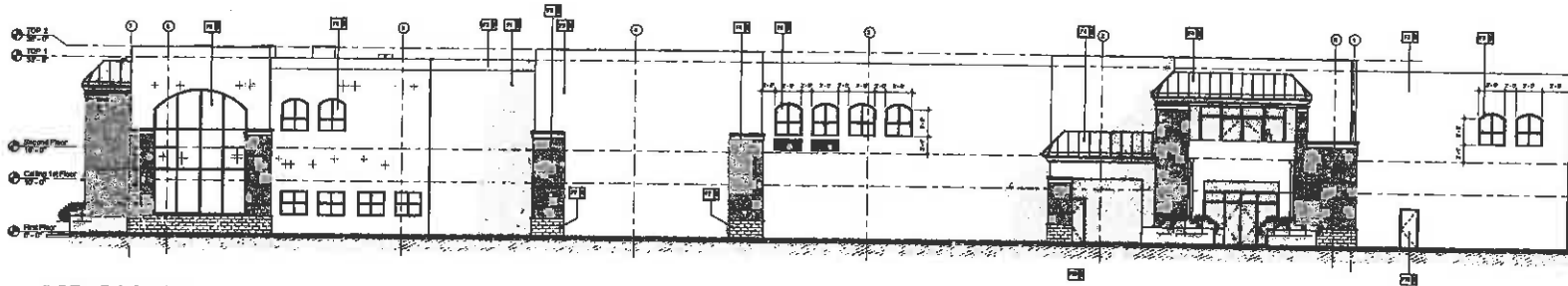
**Bookends East**  
 Building Three Floor Plans (Type 4-9)  
 05  
 100  
**A3.100**  
 01



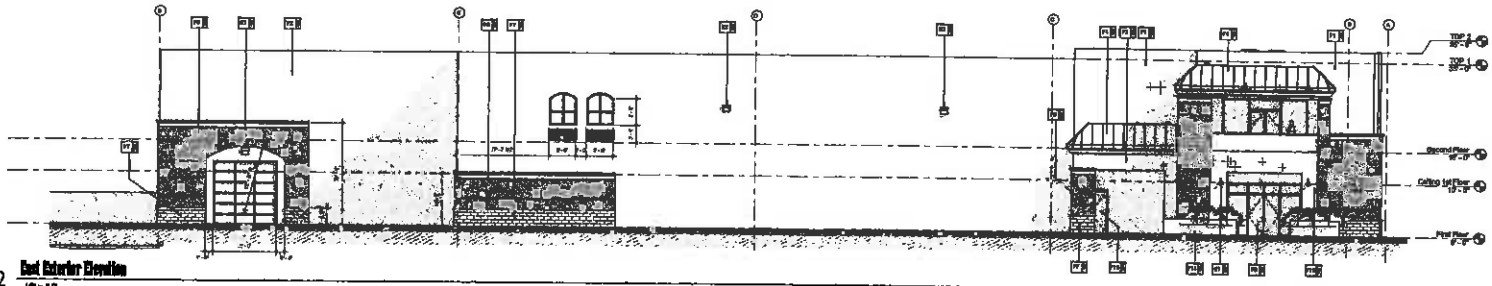


**Keynote**

Keynote	Material
E1	Wall Color - Beige
E2	Wall Color - Light
F1	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F2	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F3	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F4	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F5	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F6	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F7	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F8	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F9	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F10	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F11	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F12	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F13	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes
F14	Cladding/Wall panel Color: White / Light Grey / Dark Grey or as indicated by notes



**North Elev. Cladding Area West**  
W - 10'



**East Exterior Elevation**  
W - 10'

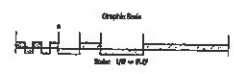
**Reference**

**Bookends East**



66  
 The First Day  
 Building Five Exterior Elevations

Project No. \_\_\_\_\_  
 Scale: **A5.200**  
 Date: \_\_\_\_\_  
 Designer: \_\_\_\_\_  
 Distributor: \_\_\_\_\_



**PAGE BREAK**



**From:** adam.corral@kimley-horn.com  
**Sent:** Wednesday, January 27, 2016 9:10 AM  
**To:** Guerin, John  
**Cc:** jgordon@waypointpg.com  
**Subject:** Meridian - Administrative Airport Land Use Consistency Determination

Good Morning John,

Thanks again for taking the time out of your afternoon yesterday to meet with us and allowing me walk through the minimal changes in the road alignments on the Meridian South Campus project. As indicated yesterday, the client revised their previous application with respect to the land use modifications that were being proposed and has elected to simply modify the roads to avoid specific impacts to an existing land fill and to coordinate connections with Ben Clark Training Center etc.

I'm hoping the Exhibits we left behind will adequately convey the minor nature of the changes we are implementing as a part of the first phase of development within the March Business Center South Campus Specific Plan area (aka Meridian). As requested, to aid your review of determining if these minor modifications can be approved Administratively, I am summarizing the changes as follows:

1. Krameria Avenue's alignment has been modified to avoid impacts to an existing Landfill known as "Installation Restoration Program 'site 6'".
  - a. To avoid impacting the mapped boundary of the Landfill, Krameria has been shifted further to the North, thus eliminating several acres of developable area which has been transferred to Lot 90 as Park/Open Space. Note, there is no longer a "Lot 3" and a "Lot 4" as these were severely impacted as a result of the shift.
2. Straightening Village West Drive
  - a. Created a 'T' intersection by straightening Village West Drive which will help improve the functionality of the intersection.
3. Realigning Street M
  - a. This is to accommodate the Ben Clark Training Center and their Master Plan with how they envision the future Road Network
  - b. This shift also results in less developable acreage. Lot 82 and 83 has decreased in size as a result of the changes.
4. Cumulative Loss of developable area is 18 Acres.

A few other items I believe are important to note/confirm:

1. The South Campus Specific Plan area is exempt from the new Airport Land Use Compatibility Plan in conformance with page 5 of the March ARB/IP Airport Compatibility Plan.
2. There have been no changes to the Development Agreement that exempts this project from compliance with the March ARB/IP Airport Compatibility plan
3. No changes in development standards, intensities, height, setback, and bulk provisions are proposed
4. No changes in permitted uses are proposed
5. No increase in building PAD elevations

For all of the above facts and reasons John, we are hoping that you and Ed can approve of these changes on an administrative level as I don't see a particular reason to take these road modifications to the Commission.

Please feel free to call me if you have any questions and would like to discuss.

All the best,

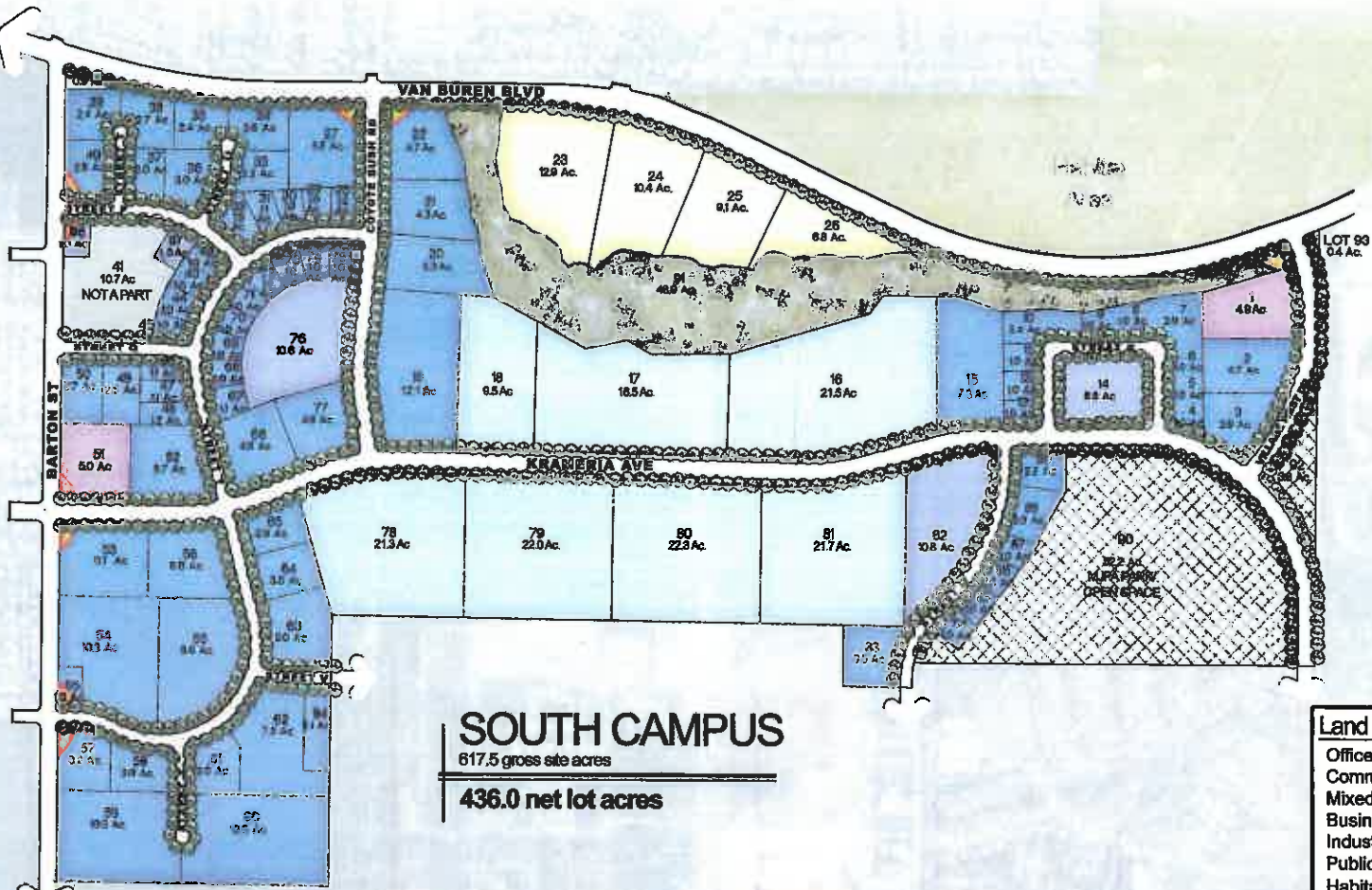
**Adam Corral, P.E.**

**Kimley-Horn** | 401 B Street, Suite 600 San Diego, CA 92101

Direct: 619-744-0129 | Mobile: 619-665-1296 | [www.kimley-horn.com](http://www.kimley-horn.com) | Main: 619-234-9411

Proud to be one of FORTUNE magazine's 100 Best Companies to Work For

To  
SR 91  
Freeway



### SOUTH CAMPUS

617.5 gross site acres

436.0 net lot acres

Land Use Legend	
Office	[Yellow Box]
Commercial	[Pink Box]
Mixed Use	[Light Blue Box]
Business Park	[Medium Blue Box]
Industrial	[Dark Blue Box]
Public Facility	[Light Yellow Box]
Habitat Area	[White Box]
Park / Recreation / Open Space	[Cross-hatch Box]

Rev. 10/02/2014



# MERIDIAN

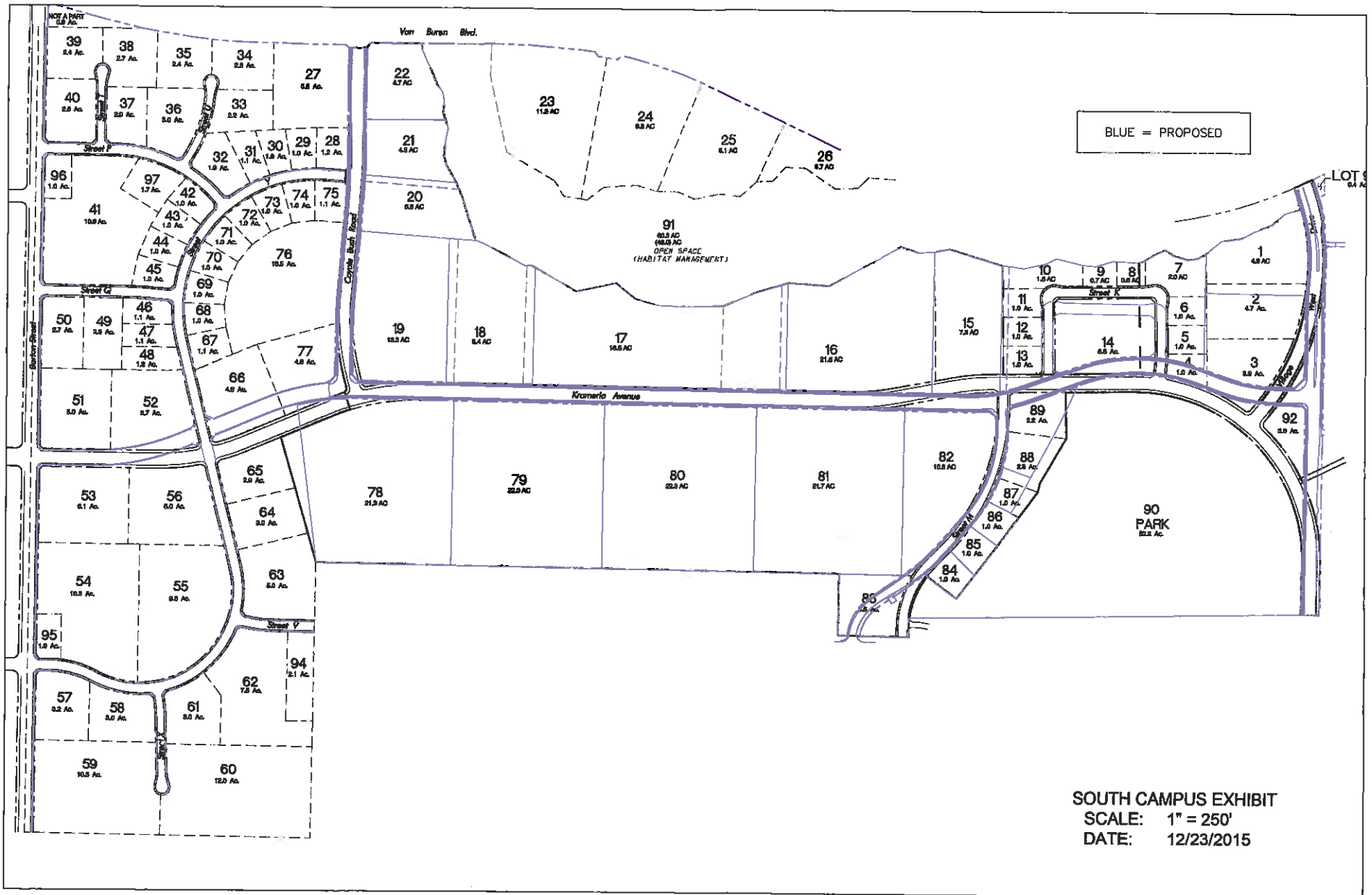
Riverside, California 92518



PLANNING CONSULTANTS

Kimley-Horn





**SOUTH CAMPUS EXHIBIT**  
 SCALE: 1" = 250'  
 DATE: 12/23/2015



**MERIDIAN**

**SOUTH CAMPUS  
PROPOSED SPECIFIC PLAN AMENDMENT  
MERIDIAN PARK LLC**



**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

**DRAFT**

A regular scheduled meeting of the Airport Land Use Commission was held on January 14, 2016 at the Riverside County Administrative Center, Board Chambers.

**COMMISSIONERS PRESENT:** Rod Ballance, Acting Chairman  
Arthur Butler  
Glen Holmes  
John Lyon  
Steve Manos  
Russell Betts, Alternate for Greg Pettis  
Steven Stewart, Alternate for Simon Housman

**COMMISSIONERS ABSENT:** Simon Housman  
Greg Pettis

**STAFF PRESENT:** Ed Cooper, ALUC Director  
John Guerin, Principal Planner  
Russell Brady, Contract Planner  
Barbara Santos, ALUC Commission Secretary  
Raymond Mistica, ALUC Counsel

**OTHERS PRESENT:** Keith and Altamonte Brewer, Other Interested Person  
Denise Hauser, March Air Reserve Base  
Tom Mungari, Applicant Representative

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.1:** ZAP1169MA15 – Mission Village Shopping Center L.P./Regional Properties, Inc. (Representative: Kristin Werksman, Rick Engineering) – City of Riverside Case Nos. P15-0983 and P15-0984 (Conditional Use Permit and Design Review). A proposal to construct and operate a 10,000 square foot child care center with a 13,050 square foot secured outdoor play area on a 1.42 (net) acre site (a portion of a shopping center) located at the northwest corner of Mission Village Drive and Northrop Drive. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**  
None

III. **STAFF RECOMMENDATION**  
Staff recommends a finding of CONSISTENCY, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**  
The Conditional Use Permit and Design Review propose to construct and operate a 10,000 square foot daycare/preschool facility on a 1.42 acre net (1.87 acre gross) parcel.

**CONDITIONS:**

1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Noise sensitive outdoor nonresidential uses and hazards to flight.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
4. March Air Reserve Base must be notified of any land use having an electromagnetic radiation

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

5. Any new detention basin(s) on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

No one spoke in favor, or neutral of the project.

The following spoke in opposition to the project:

Keith and Altamonte Brewer, Other Interested Person, 7612 Northrop Drive, Riverside, CA 92508

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 7-0 found the project **CONSISTENT**.

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.1: TIME 9:01 A.M.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.2: ZAP1168MA15 – Sa Refka, LLC (Representative: Tom Mungari, Nova Homes, Inc.)** – City of Perris Case Nos.: 15-0199 (General Plan Amendment), 15-05200 (Change of Zone), 15-05197 (Planned Development Overlay), 15-00012 (Development Plan Review), and Tentative Tract Map No. 36797. The applicant proposes to change the general plan land use designation of 18.98-19.06 acres located northerly of Water Avenue, easterly of Wilson Avenue, westerly of Murrieta Road, and southerly of a straight-line easterly extension of Lisbon Street from R-20,000 (Single Family Residential, 20,000 square foot minimum lot size) to R-10,000 (Single Family Residential, 10,000 square foot minimum lot size). The Change of Zone proposes to change the existing zoning classification of the project site from R-20,000 (Single Family Residential 20,000, square foot minimum lot size) to R-10,000 (Single Family Residential, 10,000 square foot minimum lot size) with a Planned Development Overlay with R-6,000 development standards. Tentative Tract Map No. 36797 is a proposal to divide the property into 78 residential lots, plus one lot for a detention basin and one lot for community recreational facilities, including a clubhouse, swimming pool, and tot lot. (Airport Compatibility Zones B2 and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

The project proposes a residential development within Compatibility Zones B2 and C1. Compatibility Zone B2 prohibits any new residential development, while Compatibility Zone C1 limits residential density to 3.0 dwelling units per acre or less. The project proposes an overall density of approximately 3.90 dwelling units per acre and a density of 3.63 dwelling units per acre within the portion of the project in Compatibility Zone C1. These densities exceed the maximum allowable density criterion for Compatibility Zone C1. The project is partially bordered by existing residential development, but the site is not surrounded sufficiently by existing development that is as dense as the proposed project for infill provisions pursuant to Countywide Policy 3.3.1 to apply.

III. **STAFF RECOMMENDATION**

Staff recommends a finding of INCONSISTENCY, based on the proposed project adding residential units within Compatibility Zone B2 and exceeding residential density criteria within Compatibility Zone C1.

IV. **PROJECT DESCRIPTION**

The Tentative Tract Map is a proposal to divide the 18.98-acre net (19.97-acre gross) property into 78 residential lots and 2 common area lots. The General Plan Amendment proposes a change in the General Plan land use designation of the site from R-20,000 to R-10,000. The Change of Zone proposes to change the existing zoning classification of the project site from R-20,000 to R-10,000 with a Planned Development Overlay with R-6,000 development standards. The Development Plan Review proposes the residential and community building designs and locations within the Tentative Tract Map.

V. **MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

The following spoke in favor of the project:

Denise Hauser, March Air Reserve Base, CA

No one spoke in neutral of the project.

The following spoke in opposition to the project:

Tom Mungari, applicant representative, 1232 Village Way, Suite A, Santa Ana, CA

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 7-0 found the project **INCONSISTENT**.

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.2: TIME 9:07 A.M.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER JANUARY 14, 2016  
RIVERSIDE MEETING**

I. **4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals – Information Only

4.2 December 2016 ALUC Meeting – Available Venues

The ALUC Commission by a unanimous vote of 7-0 agreed to have the December 8, 2016 ALUC Commission meeting at the Eastern Municipal Water District (EMWD) facility in Perris.

II. **5.0 APPROVAL OF MINUTES**

The ALUC Commission by a vote of 4-0 approved the December 10, 2015 minutes. (Lyon, Betts, Stewart abstained). Commissioner Manos advised that he had read the minutes.

III. **6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

6.1 March Joint Powers Authority TAC Report Update by Commissioner Ballance

Commissioner Ballance advised that he serves on the March Joint Powers Authority (JPA) Technical Advisory Committee (TAC) as a representative for Congressman Mark Takano. He noted that the TAC has been advised of two forthcoming major projects. Hillwood Development is proposing aviation-related buildings east of the primary runway and warehousing between the runway and Interstate 215. Lewis Homes is proposing reconfiguration of General Old Golf Course westerly of Interstate 215 to add housing units. He noted that the Base may have some concerns with the introduction of additional housing units within the JPA's jurisdiction. Commissioner Lyon advised that the effects of these projects should be carefully considered and that both Hillwood and Lewis were instrumental in events that led to the closure of Rialto Airport.

IV. **7.0 COMMISSIONER'S COMMENTS**

Commissioner Holmes asked if staff was aware of recent activity regarding a power plant near Blythe Airport. John Guerin, ALUC staff, advised that the project formerly known as Blythe II has been renamed "Sonoran Energy Project." The California Energy Commission (CEC) is conducting a compliance proceeding, and CEC staff has met with us and with the Airport Manager. The CEC is expected to take action within the next few months. An additional fossil fuel/natural gas facility is planned to the north of this project. ALUC staff is concerned regarding proliferation of transmission lines.

Commissioner Ballance reminded the other Commissioners on the dais to complete required Form 700 documents in accordance with State and County requirements.

V. **8.0 ADJOURNMENT**

Rod Ballance, Acting Chairman adjourned the meeting at 9:30 a.m.

VI. **CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 4.0: TIME IS 9:21 A.M.