



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administrative Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside, California

Thursday 9:00 A.M., April 12, 2018

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Vacancy

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John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St, 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at www.rcaluc.org.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rivco.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED ITEMS

FRENCH VALLEY AIRPORT

- 2.1 ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 144,315 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 7 office/warehouse buildings and 8 retail buildings (4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.35 to 2.21 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area). Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

Staff Recommendation: CONTINUE to 5-10-18

3.0 PUBLIC HEARING: NEW ITEMS**MARCH AIR RESERVE BASE**

- 3.1 ZAP1249MA17 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates) – City of Perris Planning Case Nos. 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review). This notice is a correction to the City case numbers and project description used in the previous ALUC notice for a public hearing dated May 11, 2017 (i.e. “PLN17-00002 Specific Plan Amendment, Design Review”). The correct City case numbers are 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review), and the correct case description is as follows: a proposal to develop a 1,189,860 square foot industrial building on 54.71 acres located easterly of Perris Boulevard, southerly of Markham Street, and northerly of Perry Street, extending easterly toward Redlands Avenue. The industrial building will be primarily for warehousing purposes (1,169,860 square feet of warehousing area, with 20,000 square feet of office area). The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation on the westerly 35.45 acres of the site from Business Professional Office to Light Industrial (the easterly 19.26 acres are already designated Light Industrial), and amend the Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

- 3.2 ZAP1299MA18 – Ming Chin Nozawa (Representative: Trittech Engineering Associates) – County of Riverside Case Nos. CZ7954 (Change of Zone) and PM37340 (Tentative Parcel Map). The applicant proposes to divide a 2.27 gross acre site (Assessor’s Parcel Number 280-060-003) located at 15600 Chicago Avenue (on the easterly side of Chicago Avenue), southerly of Gentian Avenue, and northerly of Hibiscus Avenue in the unincorporated community of Woodcrest into two parcels and change the property’s zoning from Light Agriculture 10 acre minimum (A-1-10) to Light Agriculture 1 acre minimum (A-1-1). (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area. Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

PERRIS VALLEY AIRPORT

- 3.3 ZAP1014PV18 – SDH & Associates, Inc., for Family Realty Development, LLC/Anchor Alliance Developments, Inc. – City of Perris Planning Case Nos. GPA16-05151 (General Plan Amendment), ZC16-05152 (Zone Change), DPR16-00009 (Development Plan Review), PUD16-05153 (Planned Unit Development), TTM16-05154 (Tentative Tract Map No. 37516). The applicant proposes to construct a 70-unit townhome complex (via condominium map) with open space amenities and a clubhouse on a 6.4 acre site located northerly of Alpine Drive, westerly of A Street, and southerly of Mountain Avenue. The applicant also proposes to amend the General Plan designation and zoning of the site from R-10,000 to MFR 14, and to apply a Planned Development Overlay zone (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT (GPA, Change of Zone); CONDITIONALLY CONSISTENT (Development Plan Review, Tract Map)

4.0 ADMINISTRATIVE ITEMS

4.1 Director's Approvals

4.2 Election of Airport Land Use Commission Officers

4.3 Resolution No. 18-01 Amending ALUC By-laws

4.4 Resolution No. 18-02 Extending the Authorization of the ALUC Director to Take Action on Legislative Items in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

4.5 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport

5.0 APPROVAL OF MINUTES

January 11, 2018

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

7.0 COMMISSIONER'S COMMENTS

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**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.1 ~~3-5~~

HEARING DATE: April 12, 2018 (continued from March 8, 2018 with re-advertisement)

CASE NUMBER: ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering)

APPROVING JURISDICTION: County of Riverside

JURISDICTION CASE NO: CUP03777 (Conditional Use Permit) and PM37399 (Tentative Parcel Map)

MAJOR ISSUES:

~~The applicant team thought that this project complied with nonresidential intensity criteria, but was using the single-acre intensity criteria in determining potential occupancy for the proposed buildings. Hence, the total occupancy for some of the buildings is almost twice the allowable level, when considering on a lot-by-lot basis. This will require a revised submittal with either greatly reduced square footages of building area or allocation of less intense uses. The most glaring exceedances occur in the row of buildings along Benton Road that were proposed to include restaurant dining area.~~

As of the afternoon of March 27, staff is in the process of working with the applicant team to address consistency concerns resulting from changes in the sizes of proposed lots and in light of the concerns expressed by Commissioners at the March 8 public hearing.

RECOMMENDATION:

~~Staff would be amenable to a continuance to allow for a redesign or revised allocation of uses, but, based on the current proposal, staff must recommends a finding that the public hearing be re-opened and the project further discussed, and that the proposed Conditional Use Permit and Tentative Parcel Map, considered together, are INCONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011 be CONTINUED to May 10, 2018, unless the project is further amended to achieve consistency. Such amendment may be accomplished by reducing the sizes of Buildings R2 and S2. As of the afternoon of March 27, the applicant team was considering whether to accept such a proposal.~~

PROJECT DESCRIPTION: Conditional Use Permit No. 3777 is a proposal to construct fifteen commercial buildings with a combined gross floor area of 144,315 ~~143,565~~ square feet on 14.19 ~~14.06~~ acres. The applicant envisions 7 office/warehouse and 8 retail buildings. Four of the retail buildings may include restaurants. ~~7 to 9 office/warehouse buildings, 4 retail buildings, and 5~~

~~restaurants (including portions of retail buildings).~~ Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from ~~0.5 to 1.5~~ **0.35 to 2.21** acres in size, providing individual lots for most of the proposed buildings.

PROJECT LOCATION: The site is located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road, approximately 3,500 feet northeasterly of the northerly end of Runway 18-36 at French Valley Airport.

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Airport Compatibility Zones C, B1, and D
- c. Noise Levels: 55-60 CNEL from aircraft in westerly portion of site; easterly portion below 55 CNEL

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the French Valley Airport Land Use Compatibility Plan (ALUCP), the site is located within Compatibility Zones C, B1, and D. At the time of the adoption of the 2011 Amendment, the site was listed as having a total area of 14.68 acres, including 11.74 acres in Zone C, 2.29 acres in Zone B1, and 0.65 acre in Zone D. The French Valley ALUCP permits 40 persons per acre in Zone B1, 80 persons per acre in Zone C, and 150 persons per acre in Zone D. Based on the above numbers, a total occupancy of 1,128 persons is permissible at this site.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included within the French Valley ALUCP, the following rates were used to calculate occupancy for the proposed buildings:

- Office – 1 person per 200 square feet (with 50% reduction),
- Manufacturing – 1 person per 200 square feet,
- Warehousing – 1 person per 500 square feet
- Restaurant – 1 person per 15 square feet (dining area), 1 person per 200 square feet (commercial kitchen),
- Retail (may include sales of food) – 1 person per 115 square feet,
- Non-Food Retail (home improvement, furniture, cell phones, shoes, etc.) – 1 person per 170 square feet

The project proposes a total of ~~143,565~~ **144,315** square feet of building area, which includes ~~40,281~~ **47,850** square feet of retail area, 35,200 square feet of office area, 54,195 square feet of

industrial/warehouse area, and ~~14,639~~ **7,265** square feet of restaurant area. If the retail area is unrestricted in terms of type of goods sold and the restaurant area consisted entirely of dining area, the proposed buildings would accommodate ~~1,610~~ **1,185** people. However, if we assume that the restaurants are split ~~60~~ **50** percent dining area and ~~40~~ **50** percent kitchen area, the restaurant occupancy is reduced from ~~976 to 615~~ **484 to 260** persons, reducing the total occupancy to ~~1,249~~ **961** persons. This would be **consistent on an overall basis, within the realm of potential overall consistency if the applicant team were to incorporate risk reduction measures into the site design sufficient to obtain a 12 percent bonus.**

On an overall basis, the intensity would **also** be considered consistent using the Parking Space Method. The project proposes 544 parking spaces. If we assume 1.5 persons per vehicle, this would translate into an overall occupancy of 816 persons, which would be clearly within the allowable range.

However, the applicant is also proposing a parcel map that would divide the property so as to establish separate lots for most of the buildings. Thus, each building would have to meet the intensity criteria for its individual lot. **Four The majority of the buildings, including two with restaurants, are at, or exceed, the upper limit of the numbers that the criteria would allow.**

The applicant has redesigned the lot boundaries for the second time while maintaining the square footage of each building constant and adjusting the uses of the buildings in some cases. As such, staff has completely revised the building-by-building, lot-by-lot analyses included herein.

~~Building R1 is located within a lot listed on the spreadsheet provided by the applicant team as including 0.17 acre in Zone B1 and 0.65 acre in Zone C. The prorated person allowance, then, is 58 persons $[(.17 \times 40) + (.65 \times 80)]$. The spreadsheet indicates that 71% of the building would be devoted to non-food retail and 29% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,225 square foot building, this translates as 5,130 square feet of non-food retail, 1,257 square feet of restaurant seating area, and 838 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 119 persons—a little more than twice the allowable level for the lot. If this building were entirely allocated to non-food retail use, ALUC's formula would indicate an occupancy of 43, which would be consistent. If undifferentiated retail, the building would have an occupancy of 63 persons, which would still exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk-reduction design measures.~~

Building R1 is located within a lot listed on the revised spreadsheet provided by the applicant team as including 0.65 acre in Zone B1 and 0.24 acre in Zone C. The prorated person allowance, then, is 45 persons $[(0.65 \times 40) + (.24 \times 80)]$. A 7,200 square foot building is proposed. The proposed use is non-food retail (rated at one person per 170 square feet), resulting in a total estimated occupancy of 42 persons, which would be consistent.

~~Building R2 is located within a proposed 1.02-acre lot entirely in Zone C. Thus, the total occupancy allowance is 82 persons. A 7,000 square foot building is proposed. The spreadsheet indicates that 57% of the building would be allocated to non-food retail and 43% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,000 square foot building, this translates as 3,990 square feet of non-food retail, 1,806 square feet of restaurant seating area, and 1,204 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 149 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 167—a little more than twice the allowable level. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 61 persons. Adding the 18 persons in the queue would increase the total to 79, which would still be consistent.~~

Building R2 is located within a proposed 1.5-acre lot consisting of 1.48 acres in Zone C and 0.02 acre in Zone B1. The prorated person allowance, then, is 119 persons. A 7,000 square foot building is proposed. The revised spreadsheet indicates that the building would be utilized as follows: 28.5% restaurant (at 50 percent seating area and 50 percent kitchen area) and 71.5% non-food retail. This translates as 5,000 square feet of non-food retail, 1,000 square feet of restaurant dining area, and 1,000 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 101 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 119, which is right at the limit for this lot.

However, there is a concern that relates to the provision within the French Valley ALUCP allowing for use of the one person per 170 square foot criterion for non-food retail. The provision states that buildings including restaurants and food service facilities cannot use this level in their evaluation. The concept is that buildings that include restaurants or food sales are likely to draw a greater number of customers than buildings without such facilities. If we were to utilize the one person per 115 square foot standard for retail space in this building, it would raise the total building occupancy to 115 and the total site occupancy to 133.

It should be noted that this exceedance is within 12% of the allowable level, such that the overage could potentially be addressed through risk-reduction design measures. However, no such measures are presently specified. Alternatively, the applicant could reduce the size of the building by 1,600 square feet.

~~Building R3 is located within a proposed 0.7-acre lot entirely in Zone C. Thus, the total occupancy allowance is 56 persons. A 2,600 square foot restaurant is proposed, consisting of 1,560 square feet of seating area and 1,040 square feet of kitchen area (using the same 3:2 ratio of seating area to kitchen area), resulting in a total estimated building occupancy of 109 persons. The drive-thru with an 8-car queue would add an additional 12 persons, raising the site total to 121—a little more than twice the allowable level.~~

Building R3 was previously proposed for a freestanding restaurant on a 0.7-acre lot. The proposed use has changed, such that it would now be non-food retail. The lot size has been

reduced to 0.35 acre in Zone C, reducing the prorated person allowance to 28 persons. A 2,600 square foot building is proposed. At a rate of one person per 170 square feet, the resulting total estimated building occupancy would be 15 persons. However, this number does not account for the occupancy within the drive-thru. The drive-thru with an 8-car queue would add an additional 12 persons, raising the site total to 27, which would be consistent.

~~The common problem is that restaurant seating area has a potential intensity of one person per 15 square feet. At that rate, one reaches a potential occupancy of 60 at 900 square feet, 80 at 1200 square feet, and 100 at 1500 square feet.~~

~~Buildings R4 and R5 share a 1.79-acre lot listed on the spreadsheet provided by the applicant team as including 1.58 acres in Zone C and 0.21 acre in Zone D. The prorated person allowance, then, is 157 persons $[(1.58 \times 80) + (.21 \times 150)]$. The spreadsheet indicates that 62% of the building area would be devoted to retail (including food retail) and 38% to restaurant use, of which seating area would account for 3/5 of the restaurant. With a combined floor area of 13,000 square feet, this translates as 8,060 square feet of undifferentiated retail, 2,964 square feet of restaurant seating area, and 1,976 square feet of restaurant kitchen area, resulting in a total occupancy of 278 persons. This exceeds allowable intensity levels. If the buildings were entirely undifferentiated retail, ALUC's formula would indicate an occupancy of 113 persons, which would be consistent.~~

Buildings R4 and R5 share a 2.21-acre lot listed on the spreadsheet provided by the applicant team as including 1.79 acres in Zone C and 0.42 acre in Zone D. The potential person allowance, then, is 206 persons $[(1.79 \times 80) + (.42 \times 150)]$. The revised spreadsheet indicates that 79% of the building would be devoted to food or undifferentiated retail and 21% to restaurant area (divided equally between seating and kitchen area). With a combined floor area of 13,000 square feet, this translates as 10,270 square feet of undifferentiated retail (at one person per 115 square feet), 1,365 square feet of restaurant seating area, and 1,365 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 187 persons, which would be consistent.

~~Building S2 is located within a proposed 0.72-acre lot entirely in Zone C. Thus, the total occupancy allowance is 57 persons. The spreadsheet indicates that 70% of the building would be devoted to non-food retail and 30% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 6,670 square foot building, this translates as 4,669 square feet of non-food retail, 1,201 square feet of restaurant seating area, and 800 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 112 persons—just less than twice the allowable level for the lot. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 58 persons, which would slightly exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk reduction design measures.~~

Building S2 is located within a proposed 1.36-acre lot entirely in Zone C. Thus, the total occupancy allowance is 109 persons. The spreadsheet indicates that 65% of the building

would be devoted to non-food retail and 35% to restaurant area (divided equally between seating and kitchen area). Within a 6,670 square foot building, this translates as 4,336 square feet of non-food retail, 1,168 square feet of restaurant seating area, and 1,167 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 109 persons, which is right at the limit for this lot.

While there is no drive-thru proposed here, there remains the second concern regarding the application of the one person per 170 square foot criterion, in that the building would also include restaurant area. If we were to consider the retail area as subject to the one person per 115 square foot criterion, this would raise the total estimated occupancy to 122 persons, which would be over the limit.

This exceedance is within 15% of the allowable level, such that the overage would be able to be addressed through risk-reduction design measures. However, no such measures are presently specified. Alternatively, the applicant could reduce the size of the building by 670 square feet.

~~Building S1 is located within a lot listed on the spreadsheet provided by the applicant team as including 0.44 acre in Zone B1 and 0.53 acre in Zone C. The prorated person allowance, then, is 60 persons $[(0.44 \times 40) + (.53 \times 80)]$. The spreadsheet indicates that this building would be for retail use. ALUC's formula would indicate a building occupancy of 73 persons within an 8,450 square foot building allocated to undifferentiated retail use. If limited to non-food retail, the building would accommodate 50 persons pursuant to ALUC's formula, which would be consistent. An examination of the floor plan for this building indicates that it is planned to consist of one 4,780 square foot suite and two 1,830 square foot suites. If the 4,790 square foot suite is limited to non-food retail, while the two smaller suites are permitted undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate an occupancy of 60 persons, which would be consistent.~~

Building S1 is located within a lot listed on the revised spreadsheet provided by the applicant team as including 0.36 acre in Zone B1 and 0.44 acre in Zone C. The prorated person allowance, then, is 50 persons $[(0.36 \times 40) + (0.44 \times 80)]$. With a building size of 8,450 square feet, non-food retail uses for the entire building would be evaluated at a rate of one person per 170 square feet, resulting in a total occupancy of 50 persons, which is right at the limit.

~~Building M1 is located within a lot listed on the spreadsheet provided by the applicant team as 0.53 acres, but listed on the site plan as 0.7 acres. Provided that the latter is the correct figure, the total occupancy allowance is 56 persons. A 10,000 square foot retail building is proposed. Pursuant to ALUC's formula, undifferentiated retail use would result in a building occupancy of 87 persons, while limiting the use to non-food retail would reduce the occupancy to 59 persons, which would still exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk reduction design measures.~~

Building M1 is located within a lot listed on the revised spreadsheet provided by the applicant

team as including 0.71 acre in Zone C and 0.05 acre in Zone B1. The prorated person allowance, then, is 59 persons [(0.05 x 40) + (0.71 x 80)]. With a building size of 10,000 square feet, non-food retail uses for the entire building would be evaluated at a rate of one person per 170 square feet, resulting in a total occupancy of 59 persons, which is right at the limit.

Building B3 is located within a proposed ~~1.27-acre~~ **1.28-acre** lot that is split between Compatibility Zones B1 and C. Most of the lot is located within Zone B1. If the site were entirely in Zone B1, the total occupancy allowance would be ~~50~~ **51** persons. (The actual allowance is greater, since the remaining portion of the property is in Zone C.) A 13,917 square foot building is proposed, consisting of 2,600 square feet of office area and 11,317 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 36 persons, which would be consistent. In fact, the office/manufacturing area in this building could be increased to 7,000 square feet without exceeding the **lot-by-lot** intensity limits.

~~Building B1 is located within a lot listed on the spreadsheet provided by the applicant team as including 1.52 acres in Zone C and 0.23 acre in Zone B1. The prorated person allowance, then, is 130 persons. A 22,925 square foot building is proposed, consisting of 12,800 square feet of office area and 10,125 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 85 persons, which would be consistent.~~

Building B1 is located within a lot listed on the revised spreadsheet provided by the applicant team as including 1.4 acres in Zone C and 0.19 acre in Zone B1. The prorated person allowance, then, is 120 persons [(0.19 x 40) + (1.4 x 80)]. A 22,925 square foot building is proposed, consisting of 12,800 square feet of office area and 10,125 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 85 persons, which would be consistent.

Buildings B2, B4, B5, B6, and B7 are each located in Compatibility Zone C and are consistent on a lot-by-lot basis. These lots would allow occupancies of ~~98, 72, 48, 56, and 46,~~ **75, 83, 34, 43, and 48**, respectively, while ALUC's formula indicates that the buildings, as proposed, would accommodate 41, 34, 26, 33, and 31 persons, respectively. ~~In each case, the buildings~~ **Buildings B2 and B4** could be used entirely as offices and/or manufacturing without exceeding the lot-by-lot average intensity limitations.

In summary, lot-by-lot average intensities **are at the maximum intensity limit or exceed allowable levels on seven** ~~four~~ of the fifteen lots (~~8~~ buildings).

Non-Residential Single-Acre Land Use Intensity: Pursuant to the French Valley ALUCP, single-acre intensities are limited to 80 persons in any given acre area within Zone B1, 160 within Zone C, and 450 in Zone D. While average intensity considers the intensity in comparison to the overall acreage of a project site or of a specific parcel, single-acre intensity is measured by determining how many people would be present within any given 210-foot-by-210-foot area within a site. So this is affected not simply by the occupancy of any individual building, but also by the distance between buildings

and building orientation.

~~For example, as noted above, Building R1 is not consistent as proposed on a lot-by-lot basis because its intensity, at 119 persons, exceeds the allowable intensity for a lot in Zone C or Zone B1. However, because there are no other buildings located partially within the single-acre area that includes all of Building R1, the intensity of that single-acre area, at 119, would be consistent with the allowable single-acre intensity if it were entirely within Zone C.~~

~~Farther east in the row of buildings fronting on Benton Road, the single-acre intensities climb, with intensities as high as 272 persons in the single-acre area that includes all of Building R3, and 4500 square feet of Building R2, and their associated drive-through lanes. Other single-acre intensities in the first row range from 230 to 270 persons.~~

~~Single-acre intensities in the second row in the vicinity of Buildings M1 and S2 range as high as 211 if M1 is developed as undifferentiated retail use (183 if limited to non-food retail).~~

All single-acre intensities are consistent, provided that building usage occurs in accordance with the applicant team's most recent proposal.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zones B1, C, and D.

Noise: The French Valley ALUCP depicts the westerly portion of the site as being in an area within the 55-60 CNEL range from aircraft noise. As a primarily industrial and commercial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the industrial and commercial areas would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the proposed buildings.

Part 77: The elevation of Runway 18-36 at its northerly terminus is 1,347 feet above mean sea level (1,347 feet AMSL). At a distance of approximately 3,500 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,382 feet AMSL. The finished floor elevation for the site ranges from 1,348 feet to 1,358 feet AMSL. ~~With a maximum building height of 23 feet, the top point elevation would be 1,381 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service was not required. A condition has been included limiting building heights to 23 feet and top point elevation to 1,381 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" is issued for a higher top point elevation.~~ **The application form had indicated a building height of 22 feet, 8 inches, but this was only true for two of the buildings. The maximum height is actually 29 feet (Building M1), and the top point elevation as derived by adding the finished floor elevations from the parcel map engineer to the building heights from the architectural elevations was 1,384 feet above mean sea level at Buildings R5, B6, and B7. The applicant team has since amended the building heights as necessary to provide for top**

point elevations not to exceed 1,382 feet above mean sea level, and acknowledges that, should that number be exceeded, a “Determination of No Hazard to Air Navigation” letter will be required for any building whose top point elevation exceeds the runway elevation by more than one foot for every 100 feet of distance from the northerly end of the runway at French Valley Airport.

Open Area: Compatibility Zone B1 requires 30% open area, Compatibility Zone C requires 20% open area, and Compatibility Zone D requires 10% open area. For the site as a whole, this translates as 3.1 acres of required open area. The applicant team has **provided an exhibit that specifically delineates 3.1 acres of open area.** ~~not specifically delineated open areas on the site plan. There is a possibility that parking areas, if left unobstructed, could provide the necessary open area, but the County’s parking lot shading requirements may not allow for the unobstructed area needed.~~

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, places of worship, critical community infrastructure facilities, aboveground bulk storage of more than 6,000 gallons of hazardous or flammable materials, highly noise sensitive outdoor nonresidential uses, and hazards to flight.
3. The attached notice shall be provided to all prospective purchasers of the proposed parcels and tenants or lessees of the buildings.
4. Prior to recordation of a final map or issuance of building permits, whichever comes first, the landowner shall convey an aviation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency – Aviation Division at (951) 955-9722 for additional information.
5. 4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees around the basin(s) shall not form a contiguous canopy and shall not produce seeds, fruit, or berries.
- 6.5. Buildings shall be limited to a ~~maximum height of 23 feet and~~ a maximum top point elevation of ~~1,382~~ ~~1,384~~ feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service **for any building whose top point elevation exceeds the runway elevation by more than one foot for every 100 feet of distance from the northerly end of the runway at French Valley Airport.**
- 7.6. Noise attenuation measures shall be incorporated into the design of the office areas of the proposed buildings, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
8. **Buildings R1, R3, M1, and S1 1, 6, and 7 authorized for retail and office uses shall not include any restaurants or food service facilities (establishments that are subject to retail food service inspections by the Department of Environmental Health, such as grocery stores, ice cream, yogurt, coffee, and snack sales establishments).**
9. **The size of Building R2 shall be reduced from 7,000 to 5,400 square feet. Retail and restaurant establishments are permissible in Building 2, R2, but the seating area/dining area within all restaurants within the building shall be limited to a maximum of 1,000 1,253 square feet.**
10. ~~Building 3 is envisioned as a restaurant, but the seating area/dining area shall not~~

~~exceed a maximum of 1,300 square feet and shall not be located within the westerly 35 feet of the building.~~ *Building R5 is authorized for any type of retail (non-dining) or office uses not otherwise prohibited by these conditions.*

11. Retail and restaurant uses are permissible within *Building R4* ~~Buildings 4 and 5~~, but the seating area/dining area shall not exceed a ~~combined~~ maximum of ~~1,625~~ *1,365* square feet ~~and shall not be located within the westerly 28 feet of Building 4.~~
12. *The size of Building S2 shall be reduced from 6,670 to 6,000 square feet.* Retail and restaurant establishments are permissible in Building *S2*, ~~8~~, but the seating area/dining area within all restaurants in the building shall be limited to a maximum of ~~1,050~~ *1,168* square feet, ~~and if any restaurant(s) are included in the building, no other food service establishments shall be included therein.~~ Additionally, any restaurant dining area/seating area shall not be located within the westerly 75 feet of the building.
13. Office and warehousing uses are permissible in Buildings *B5 and B6*, ~~9 and 14~~, but the proportion of *each* of these buildings utilized as office space shall not exceed 40 percent.
14. Office and warehousing uses are permissible in Building *B7*, ~~10~~, but the proportion of this building utilized as office space shall not exceed 35 percent.
15. Office and warehousing uses are permissible in Buildings *B1 and B3*, ~~11 and 15~~, but the proportion of *each* of these buildings utilized as office space shall not exceed 50 percent.
16. Office and warehousing uses are permissible in Building *B2*, ~~12~~, but the proportion of this building utilized as office space shall not exceed 15 percent.
17. A minimum of 3.1 acres of ALUC-qualifying open area shall be provided on the project site, as shown on the exhibit entitled "ALUC Exhibit – Open Space." No trees, poles, fencing, or trash enclosures, or any other permanent items greater than four feet in height and four inches in diameter shall be placed within these areas.

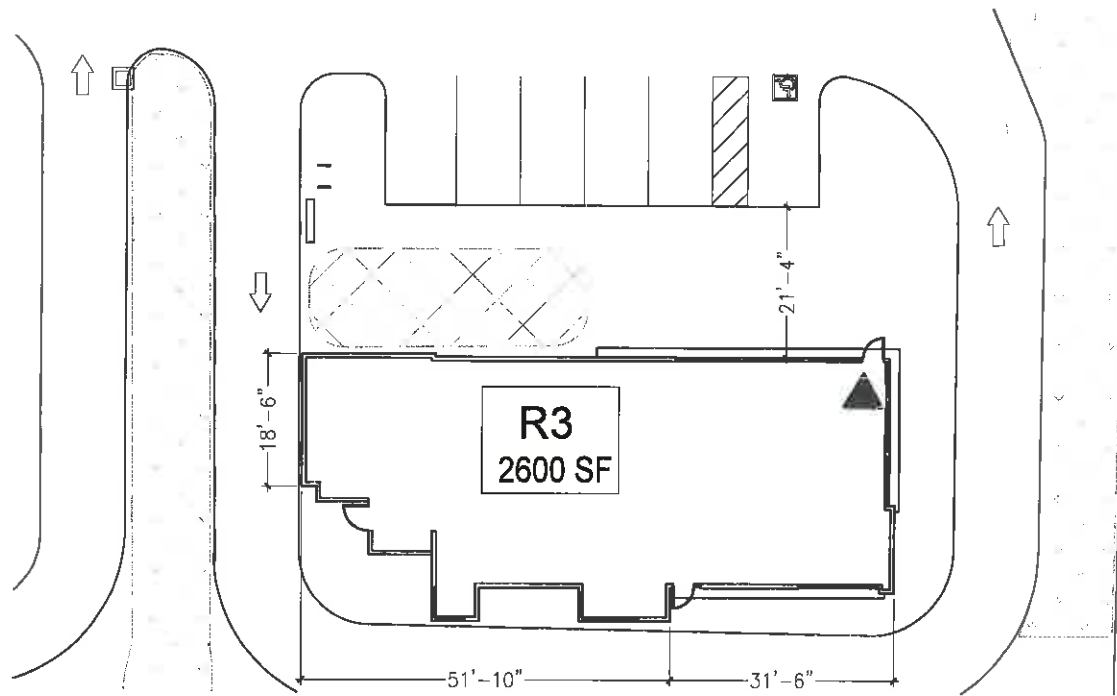
Guerin, John

From: Jim Roachelle <jim@ejrgroup.com>
Sent: Monday, March 26, 2018 4:43 PM
To: Guerin, John; Alvarez, David
Cc: Rob Mann; michael@sws-engr.com; Erin Jackson
Subject: French Valley Commons-Building R3
Attachments: 29 - R3 Floor and Roof Plans.pdf

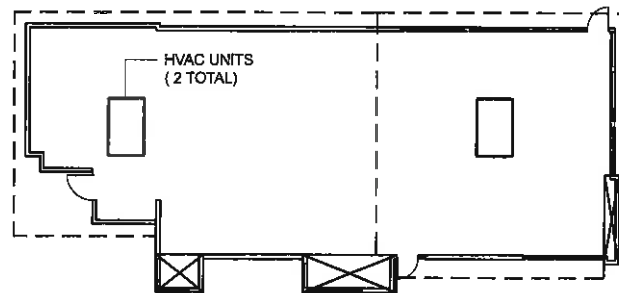
Hi John. Per our conversation today, find the updated floor plan/roof plan that shows this building without the restaurant seating area references.

Please let us know if you have any questions or need any further clarifications on info submitted to date. Thank you John for all your help.

Jim Roachelle
EJR Group
344 20th Street
Oakland, CA 94612
925-250-7118
www.ejrgroup.com



A FLOOR PLAN



B ROOF PLAN

NOTES:
1. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA
R3 BUILDING FLOOR AND ROOF PLANS



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 29
OF 36
DATE: March 23, 2016
SCALE: 1/8" = 1'-0"

A5.5

Guerin, John

From: Jim Roachelle <jroachelle@gmail.com>
Sent: Monday, March 26, 2018 11:17 AM
To: Guerin, John
Cc: Rob Mann
Subject: Fwd: Winchester
Attachments: 15-078_TM-01.pdf

Hi John. Here is the updated Tentative Map to align with the updated matrix. Let us know if you have any questions or need anything else. Thanks John.

Jim Roachelle
925-250-7118

----- Forwarded message -----

From: michael@sws-engr.com <michael@sws-engr.com>
Date: Mon, Mar 26, 2018 at 11:13 AM
Subject: Winchester
To: Jim Roachelle <jroachelle@gmail.com>
Cc: Michael Hada <mike.hada@sws-engr.com>

I will be out of the office from March 27th through the 30th and will have only occasional communication with the office. If there is an urgent issue, please contact Tracy Santucci or Bree Wong at my office.

engineering. made. possible.

Michael D. Schweitzer, P.E.

CEO / President



Corporate Office:

261 Autumn Drive, Suite 115 | San Marcos, CA 92069

p [760.744.0011](tel:760.744.0011) | f [760.744.0046](tel:760.744.0046) | c [760.884.7319](tel:760.884.7319)

TPM 37399

NOTES

1. DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD
REL. 2027A.



VICINITY MAP

NOT TO SCALE
APPLICANT / ENGINEER

SWS ENGINEERING, INC.
MICHAEL D. ROHMETZGER, P.E.
201 ALTIAM DRIVE, SUITE 119
SAN MARCOS, CA 92069
PHONE: 760.744.0011
FAX: 760.744.0044

OWNER

W DEVELOPMENT PARTNERS, LLC
ATTENTION: ROB MANN
202 SANDSTONE STREET, SUITE 1400 SAN
FRANCISCO, CA 94111 PHONE: (415) 993-3378
FAX:

ASSESSOR'S PARCEL NUMBER

A.P.N. 903-080-032
PROPERTY ADDRESS:
NW INTERSECTION OF BENTON ROAD & LEON ROAD
RIVERSIDE COUNTY, CALIFORNIA

TENTATIVE MAP DATE

DATE PREPARED: MARCH 28, 2008

ACREAGE

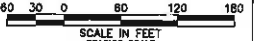
Table with 2 columns: PARCEL # and ACRES. Lists parcels 1 through 14 with their respective acreages, totaling 14.19 acres.

THOMAS BROTHERS MAP

EDITION: 2008
PAGE NUMBER: 228
COORDINATES: A-1

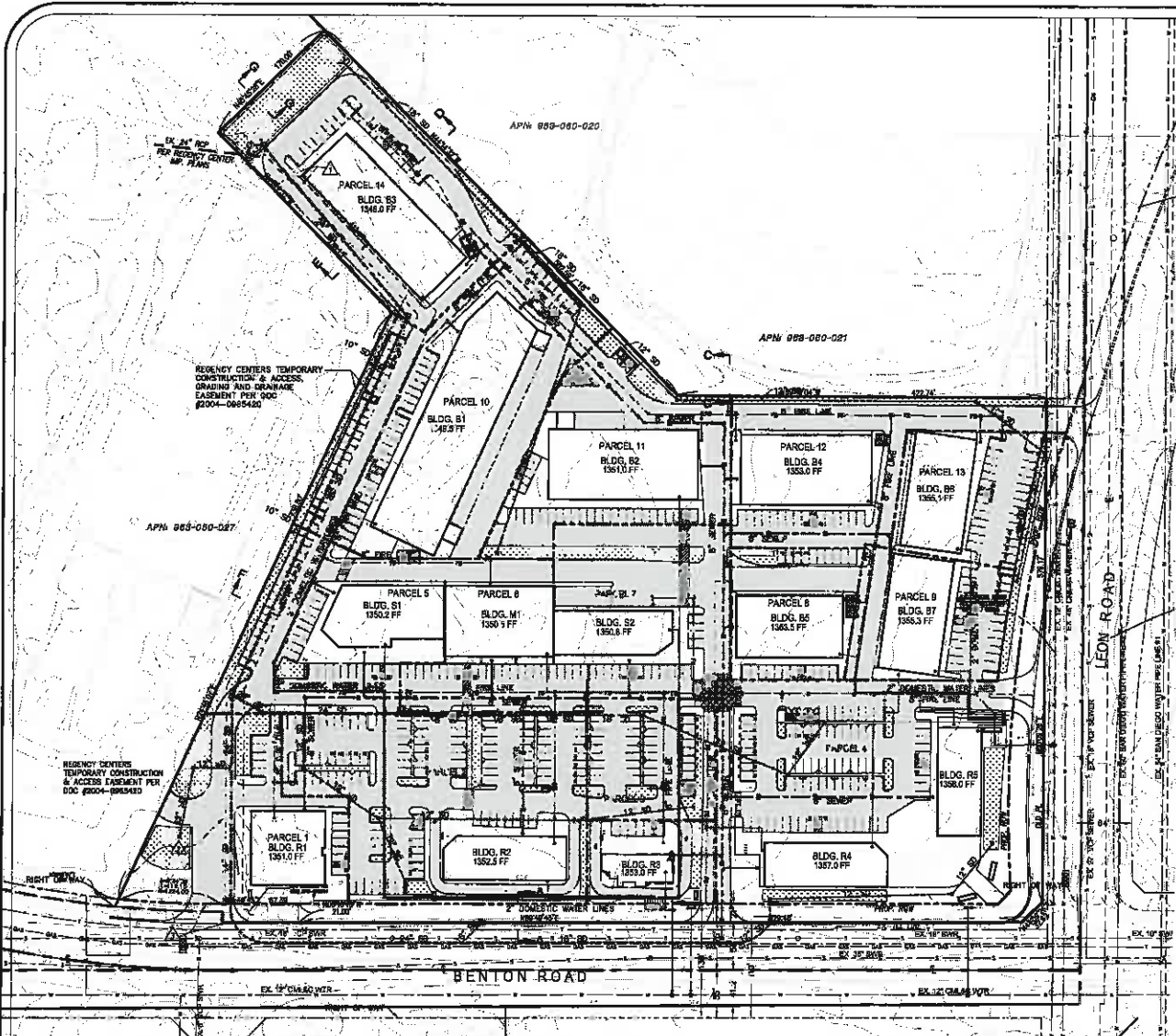
LAND USE

Table comparing existing and proposed land use, zoning, and zoning codes.



LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
A CERTAIN PORTION OF PARCELS A AND PARCELS B BY THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY THAT CERTAIN LOT LINE ADJUSTMENT NO. 4418 RECORDED DECEMBER 11, 2007 AS INSTRUMENT NO. 2007-123896 OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE MOST NORTHERLY CORNER OF SAID PARCEL A, SAID POINT BEING IN THE SOUTHWESTERLY LINE OF SAID WINCHESTER ROAD;
THENCE SOUTH 64° 54' 00" EAST, ALONG THE NORTHEASTERLY LINE OF SAID PARCEL A, A DISTANCE OF 380.15 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTAINING 330.74' OF 14° 54' EAST, A DISTANCE OF 878.80 FEET;
THENCE SOUTH 09° 00' 00" EAST, A DISTANCE OF 422.75 FEET, MORE OR LESS, TO THE NORTHERLY BOUNDARY OF THAT LOT LINE ADJUSTMENT;
THENCE SOUTH 09° 00' 00" WEST, ALONG THE NORTHERLY BOUNDARY OF SAID LOT LINE ADJUSTMENT, A DISTANCE OF 278.17 FEET;
THENCE SOUTH 44° 00' 00" WEST, A DISTANCE OF 324.3 FEET, TO THE NORTHERLY BOUNDARY OF SAID WINCHESTER ROAD;
THENCE SOUTH 09° 45' 00" WEST, ALONG THE NORTHERLY BOUNDARY OF SAID WINCHESTER ROAD, A DISTANCE OF 594.9 FEET;
THENCE NORTH 09° 15' 00" WEST, A DISTANCE OF 74.0 FEET, TO THE BEGINNING OF A NEW-TARRANT CONCRETE DRIVEWAY AND DRIVEWAY A CORNER OF 1022.00 FEET;
THENCE WESTWARD ALONG SAID DRIVEWAY THROUGH A CORNER ANGLE OF 107° 47' 31", A DISTANCE OF 184.5 FEET TO A POINT; A PARCEL LINE OF SAID DRIVEWAY THROUGH SAID POINT BEARS SOUTH 09° 45' 00" WEST;
THENCE NORTH 09° 15' 45" EAST, A DISTANCE OF 738.77 FEET TO THE POINT OF BEGINNING OF THE SOUTHWESTERLY LINE OF SAID PARCEL A, WITH A LINE THAT IS PARALLEL WITH AND DISTANT SOUTHWESTERLY 175.00 FEET, MEASURED AT RIGHT ANGLES, FROM SAID NORTHEASTERLY LINE OF PARCEL A;
THENCE NORTH 44° 14' 54" WEST ALONG SAID PARALLEL LINE A DISTANCE OF 80.15 FEET;
THENCE NORTH 45° 00' 00" EAST A DISTANCE OF 175.00 FEET TO THE TRUE POINT OF BEGINNING;
SAID LAND IS ALSO REFERRED AS "PARCEL 6" OF THAT CERTAIN LOT LINE ADJUSTMENT NO. 4414 RECORDED MARCH 14, 2008 AS INSTRUMENT NO. 2008-123896 OFFICIAL RECORDS T75, RITE SYSTEM 6



UTILITIES

WATER: EASTERN MARICOPAL WATER DISTRICT
SEWER: EASTERN MARICOPAL WATER DISTRICT
ELECTRIC: SOUTHERN CALIFORNIA Edison
GAS: SOUTHERN CALIFORNIA GAS COMPANY
TELEPHONE: VERIZON
TELEVISION / CABLE: INDIVIDUAL RECEPTION / CABLE

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS MAP AS SHOWN ON PARCEL MAP 176/73-78 OF RIVERSIDE COUNTY RECORDS, SAID BEARING BEING NORTH 31° 57' 00" WEST.

PRELIMINARY EARTHWORK

CUT: 11,238 CY
FILL: 14,759 CY
IMPORT: 8,020 CY

NOTE:
1. THERE ARE CURRENTLY NO STREET LIGHTS ALONG BENTON ROAD ADJACENT TO THE PROJECT SITE.

SWS ENGINEERING, INC.
281 Avenida Duarte, Suite 112 | 11845 Telegraph Parkway, Suite 201
San Marcos, CA 92069 | Temecula, CA 92592
P: 760-744-0011 | F: 760-744-0044 | P: 951-394-3407 | F: 951-394-4811

APPROVED
PLANNING DEPARTMENT

REVISIONS

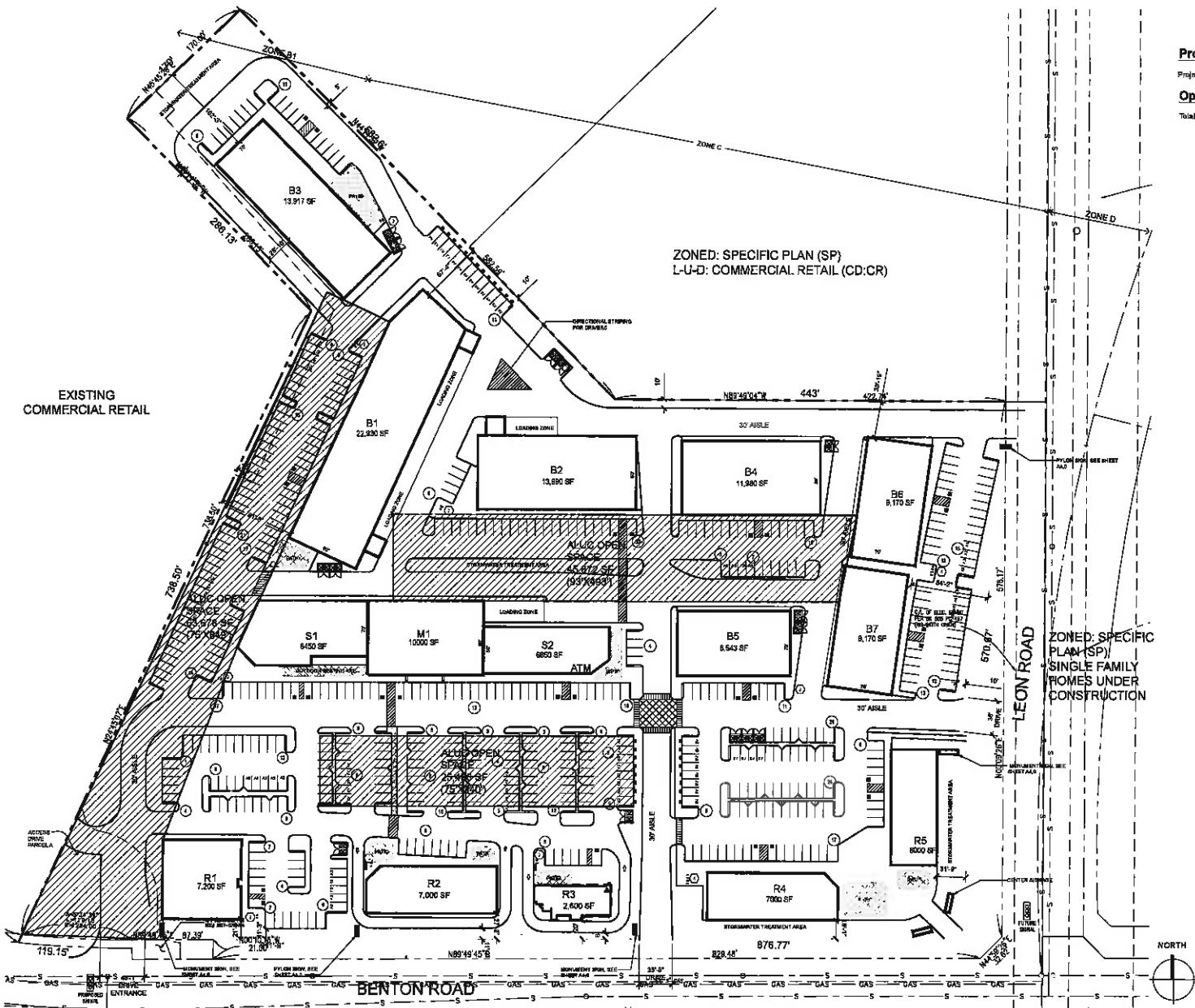
Table with 4 columns: NO., DATE, DESCRIPTION, DRAWN BY.

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
PLANNING DEPARTMENT

TENTATIVE PARCEL MAP
PM 37399
APN: 963-060-032

WINCHESTER CROSSROADS

SHEET 1 OF 2
SWS ENG. JOB NO. 15-078



EXISTING
COMMERCIAL RETAIL

Project Data

Project Address: Benton Road and Leon Road, French Valley, CA

Open Space Data

Total Open Space Provided: 3.1 AC

ZONED: SPECIFIC PLAN (SP)
L-U-D: COMMERCIAL RETAIL (CD:CR)

ZONED: SPECIFIC PLAN (SP)
SINGLE FAMILY HOMES UNDER CONSTRUCTION

FRENCH VALLEY COMMONS
ALUC EXHIBIT - OPEN SPACE

FRENCH VALLEY, CALIFORNIA



W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 02
OF 38
DATE: March 20, 2018
SCALE: 1"= 50'-0"

A0.2

Guerin, John

From: Jim Roachelle <jim@ejrgroup.com>
Sent: Friday, March 23, 2018 3:25 PM
To: Guerin, John
Cc: michael@sws-engr.com; Rob Mann; Erin Jackson
Subject: Updated Occupancy Matrix and Site Plan
Attachments: 15-078_ALUC_Area Calculations-032318 Update.pdf; 02 - Preliminary Site Plan 032318 Update.pdf

Hi John. Attached is the updated Matrix showing the updated parcel sizing and occupancy densities per parcel with the drive thru counts included. Once I receive the TM sheet from SWS, I will forward that to you.

Please let us know if have any questions or require any further clarification or edits. Thanks John.

--
Jim Roachelle
EJR Group
344 20th Street
Oakland, CA 94612
925-250-7118
www.ejrgroup.com

Analysis - Per Parcel at the Maximum per Acre

Category	Parcel # / Building #	Parcel Size (Ac.)	Building SF	Total Occupants	Ac. Zone B1	Allowable Occupancy - Zone B1	Ac. Zone C	Allowable Occupancy - Zone C	Ac. Zone D	Allowable Occupancy - Zone D	Total Allowable Occupancy
4	1 - R1	0.890	7200	42	0.65	26	0.24	19	0	0	45
1	2 - R2 - 28.5% Restaurant / 71.5% Non-Food Retail	1.504	7000	119	0.024	1	1.48	118	0	0	119
4	3 - R3	0.350	2600	27	0	0	0.35	28	0	0	28
6	4 - R4 & R5 - 21% Restaurant/79% Food Retail	2.208	13000	187	0	0	1.79	143	0.418	63	206
3	10 - B1	1.592	22925	73	0.192	8	1.4	112	0	0	120
3	11 - B2	0.939	13690	44	0	0	0.939	75	0	0	75
3	14 - B3	1.280	13917	45	0.92	37	0.36	29	0	0	66
3	12 - B4	1.005	11980	38	0	0	0.974	78	0.031	5	83
3	8 - B5	0.427	8543	27	0	0	0.427	34	0	0	34
3	13 - B6	0.507	9170	29	0	0	0.479	38	0.028	4	43
3	9 - B7	0.566	9170	29	0	0	0.525	42	0.041	6	48
4	6 - M1	0.761	10000	59	0.051	2	0.71	57	0	0	59
4	5 - S1	0.800	8450	50	0.36	14	0.44	35	0	0	50
1	7 - S2 - 35% Restaurant/65% Non-Food Retail	1.360	6670	109	0	0	1.36	109	0	0	109

14.19

880

1.197

88

11.474

918

0.518

78

Building Use Category

- 1 - Restaurant and non-food
- 2 - 100% Food
- 3 - 15% Office, 85% Warehouse
- 4 - 100% non food retail
- 5 - Restaurant, Retail Food and Non Food Retail
- 6 - Restaurant and Food Retail

50% seating / 50% kitchen

88

917.92

77.7

Guerin, John

From: Jim Roachelle <jroachelle@gmail.com>
Sent: Friday, March 23, 2018 11:46 AM
To: Guerin, John
Cc: michael@sws-engr.com; Rob Mann; Housman, Simon; Erin Jackson
Subject: Re: Latest Revisions at French Valley

Hi John. We will update the info to reflect the drive thru addition but believe we should be able to accommodate those additions with some other minor adjustments.

Regarding the density calcs/categories, as we discussed, we believe the proper way to calculate the density is based on actual proposed uses (i.e. 1/170 for retail, not 1/115). Even if a building has a mix of retail and restaurant, the retail use itself should not be over burdened and should be calculated based on the actual use.

Please let us know if you concur with our assessment and once we send over the updated information, let us know if you need anything else from us.

Thank you John for all your efforts.

Jim Roachelle
925-250-7118

On Thu, Mar 22, 2018 at 2:43 PM, Guerin, John <JGUERIN@rivco.org> wrote:

~~Building R2 is located within a proposed 1.02-acre lot entirely in Zone C. Thus, the total occupancy allowance is 82 persons. A 7,000 square foot building is proposed. The spreadsheet indicates that 57% of the building would be allocated to non-food retail and 43% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,000 square foot building, this translates as 3,990 square feet of non-food retail, 1,806 square feet of restaurant seating area, and 1,204 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 149 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 167—a little more than twice the allowable level. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 61 persons. Adding the 18 persons in the queue would increase the total to 79, which would still be consistent.~~

Building R2 is located within a proposed 1.54-acre lot consisting of 1.62 acres in Zone C and 0.02 acre in Zone B1. The prorated person allowance, then, is 122 persons. A 7,000 square foot building is proposed. The revised spreadsheet indicates that the building would be utilized as follows: 35.7% restaurant (at 50 percent seating area and 50 percent kitchen area), 35.7% non-food retail, and 28.5% food retail. This translates as 2,500 square feet of non-food retail, 2,000 square feet of food retail, 1,250 square feet of restaurant dining area, and 1,250 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 122 persons, which is right at the limit for this lot.

This indicates the applicant team's intent to comply with ALUC criteria. However, there are two concerns with this approach. The first is that this number does not allow for the occupancy within the drive-thru. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 140.

The second concern relates to the provision within the French Valley ALUCP allowing for use of the one person per 170 square foot criterion for non-food retail. The provision states that buildings including restaurants and food service facilities cannot use this level in their evaluation. The concept is that buildings that include restaurants or food sales are likely to draw a greater number of customers than buildings without such facilities. If we were to utilize the one person per 115 square foot standard for all retail in this building, it would raise the total building occupancy to 129 and the total site occupancy to 147.

Possible risk-reduction design measures? (17% bonus would be required.)

~~Building R3 is located within a proposed 0.7-acre lot entirely in Zone C. Thus, the total occupancy allowance is 56 persons. A 2,600 square foot restaurant is proposed, consisting of 1,560 square feet of seating area and 1,040 square feet of kitchen area (using the same 3:2 ratio of seating area to kitchen area), resulting in a total estimated building occupancy of 109 persons. The drive thru with an 8-car queue would add an additional 12 persons, raising the site total to 121—a little more than twice the allowable level.~~

Building R3 was previously proposed for a freestanding restaurant on a 0.7-acre lot. The proposed use has changed, such that it would now be food sales without an indoor seating area. The lot size has been reduced to 0.29 acre (net) in Zone C, reducing the prorated person allowance to 23 persons. A 2,600 square foot building is proposed. At a rate of one person per 115 square feet, the resulting total estimated building occupancy would be 23 persons, which is right at the limit for this lot. However, this number does not allow for the occupancy within the drive-thru. The drive-thru with an 8-car queue would add an additional 12 persons, raising the site total to 35. *Now that this building is food sales rather than a restaurant, do you still need the drive-thru?*

In the first revision, the lot sizes of Buildings R2 and R3 had been increased to 1.98 and 1.36 acres, respectively. An additional 0.32 acre of Zone C in the "R2" lot and an additional 0.15 acre in the "R3" lot would bring R2 and R3 back into consistency.

~~Building S2 is located within a proposed 0.72-acre lot entirely in Zone C. Thus, the total occupancy allowance is 57 persons. The spreadsheet indicates that 70% of the building would be devoted to non-food retail and 30% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 6,670 square foot building, this translates as 4,669 square feet of non-food retail, 1,201 square feet of restaurant seating area, and 800 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 112 persons—just less than twice the allowable level for the lot. If this building were entirely allocated to undifferentiated retail use, with~~

~~no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 58 persons, which would slightly exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk-reduction design measures.~~

Building S2 is located within a proposed 1.36-acre lot entirely in Zone C. Thus, the total occupancy allowance is 109 persons. The spreadsheet indicates that 65% of the building would be devoted to non-food retail and 35% to restaurant area (divided equally between seating and kitchen area). Within a 6,670 square foot building, this translates as 4,336 square feet of non-food retail, 1,168 square feet of restaurant seating area, and 1,167 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 109 persons, which is right at the limit for this lot.

While there is no drive-thru proposed here, there remains the second concern regarding the application of the one person per 170 square foot criterion, in that the building would also include restaurant area. If we were to consider the retail area as subject to the one person per 115 square foot criterion, this would raise the total estimated occupancy to 122 persons, which would be over the limit.

However, this exceedance would be within 15% of the allowable level, such that the overage would be able to be addressed through risk-reduction design measures. Alternatively, the applicant could reduce the size of the building by 1,461 square feet.

FYI – Spreadsheet lists Buildings M1 and S1 as Category 3 buildings. Category 3 is office/warehouse. However, the occupancy level is calculated using the non-food retail 1 person per 170 standard.

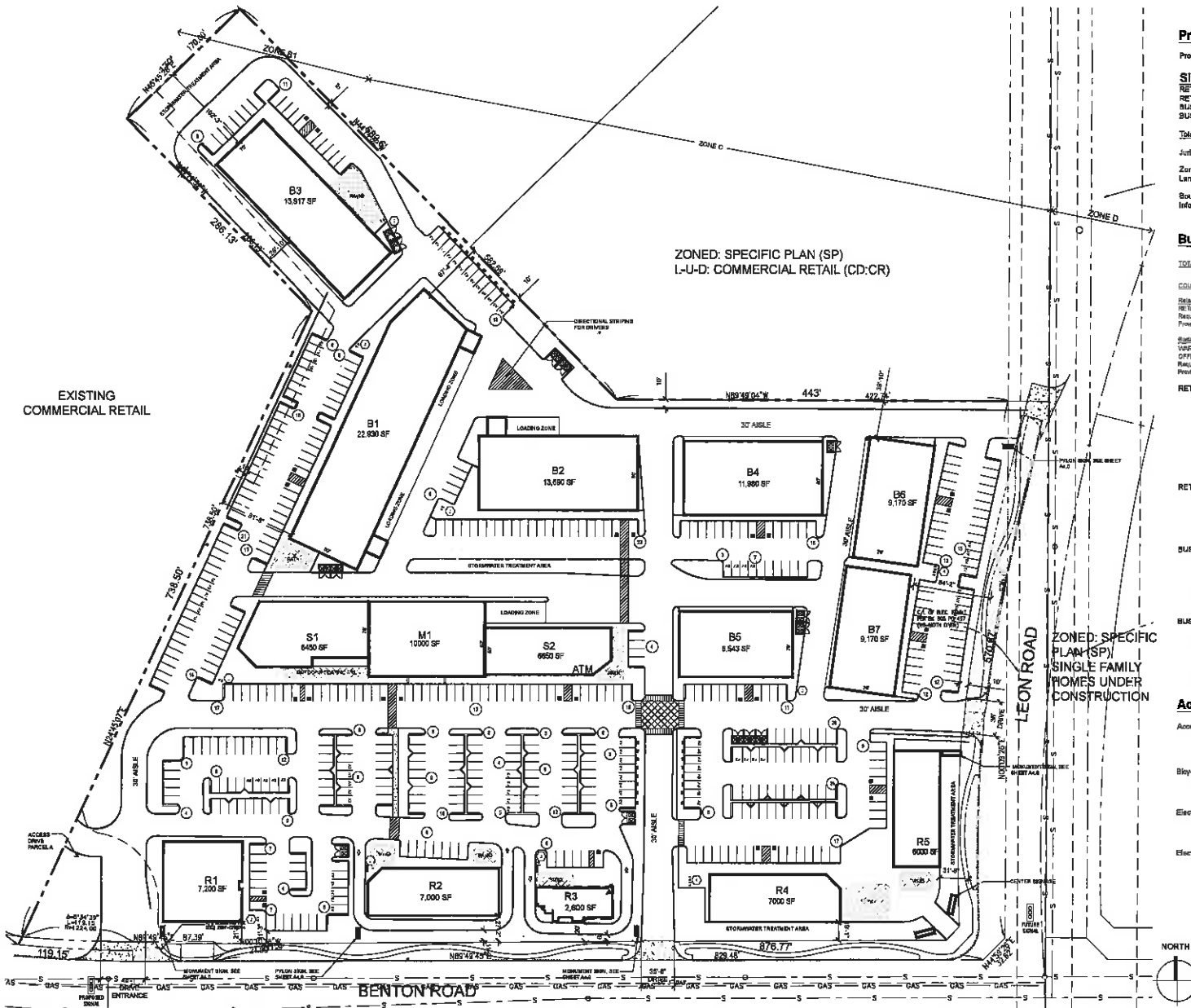
Business park numbers on site plan (office square footage) do not necessarily correspond to the 15/85 split referenced in the spreadsheet.

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[County of Riverside California](#)



Project Data

Project Address: Benton Road and Leon Road, French Valley, CA

Site Data

RETAIL PHASE 1	244,767.40 SF	(5.866 AC)
RETAIL PHASE 2	58,160.48 SF	(1.328 AC)
BUSINESS PARK PHASE 1	196,037.18 SF	(4.511 AC)
BUSINESS PARK PHASE 2	198,292.04 SF	(4.565 AC)
Total:	616,247.03 SF	(14.19 AC)

Jurisdiction: County of Riverside
 Zoning: Specific Highway Commercial (C-PS)
 Land Use Designation: Commercial Retail (CD:CR)

Boundaries Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWS ENGINEERING INC.

Building/ Parking Data

TOTAL GROSS FLOOR AREA: 143,965 SF

COUNTY PARKING REQUIREMENTS

Retail Gross Floor Area: 54,930 SF
 RETAIL MAX. 5-1/2 Spaces/1,000 SF Floor Area
 Required: 302 Spaces
 Provided: 317 Spaces

Business Park Gross Floor Area: 89,035 SF

WAREHOUSE: 1 Spaces/1,000 SF Floor Area
 OFFICE: 4.1 Spaces/1,000 SF Floor Area
 Required: 48 Spaces
 Provided: 297 Spaces

RETAIL PHASE 1:

BUILDING AREA	PARKING PROVIDED:	PARCEL:	DRIVE THRU QUEUE
B1 = 10,000 SF	66 (6,611,000)	0.761	
B1 = 8,450 SF	68 (7,411,000)	0.800	
B2 = 6,450 SF	37 (6,411,000)	1.360	
B1 = 7,200 SF	37 (6,111,000)	0.880	
B2 = 7,000 SF	40 (6,711,000)	1.584	12 CARS
B3 = 2,600 SF	27 (5,411,000)	0.250	7.5 CARS
Total: 41,900 SF	283 CARS (6,571,000)	6.684 AC	

RETAIL PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:
R4 = 7,000 SF	37 (6,411,000)	1.360
R5 = 6,000 SF	31 (5,611,000)	1.120
Total: 13,000 SF	78 CARS (6,011,000)	2.208 AC

BUSINESS PARK PHASE 1:

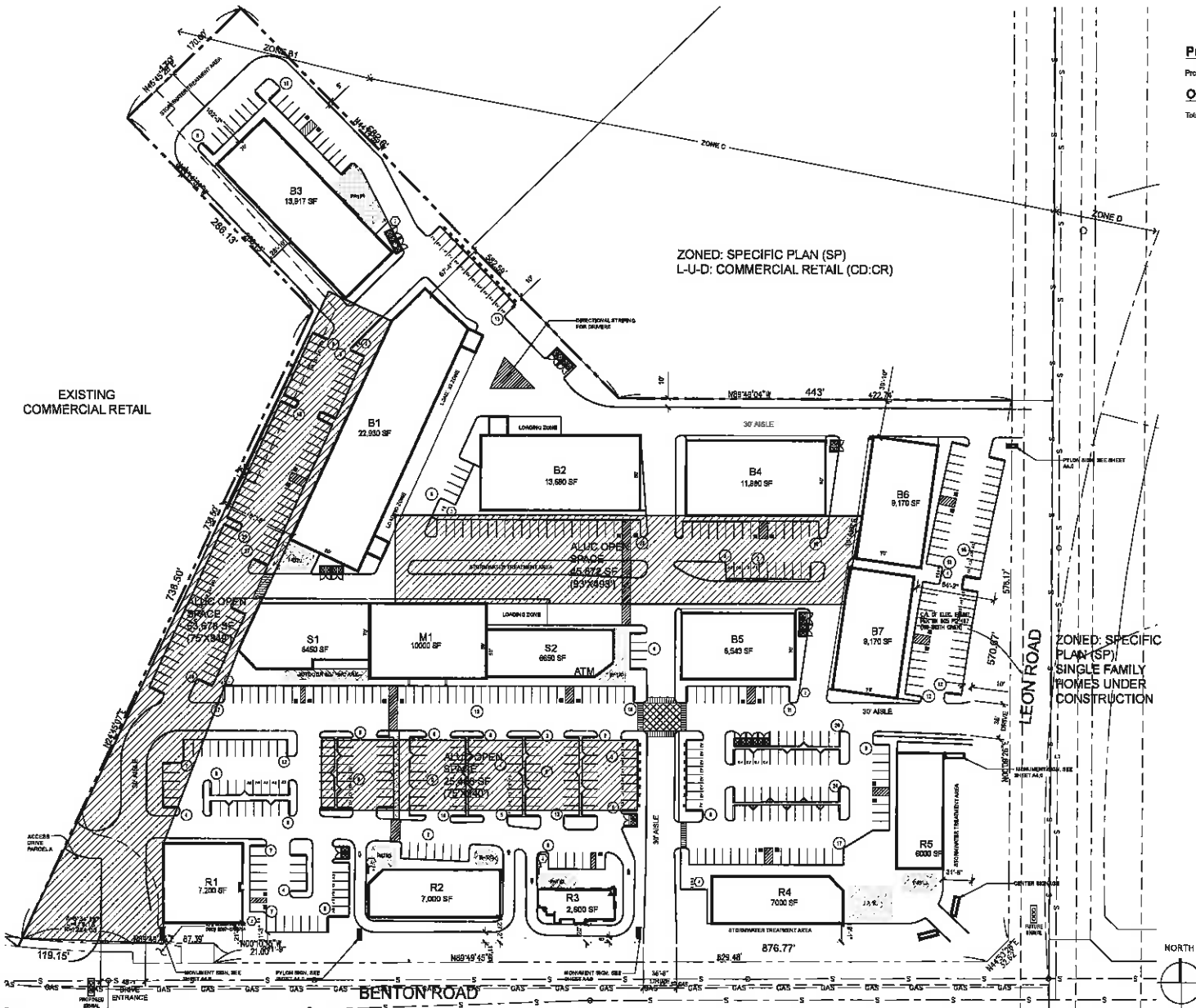
BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B1 = 21,800 SF	68 (6,611,000)	1.582	12,800 SF
B2 = 13,800 SF	28 (6,011,000)	0.938	4,800 SF
B3 = 13,817 SF	18 (1,411,000)	1.280	4,200 SF
Total: 49,417 SF	118 CARS (2,211,000)	3.811 AC	19,800 SF

BUSINESS PARK PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B4 = 11,800 SF	22 (2,611,000)	1.008	3,400 SF
B5 = 8,543 SF	17 (2,911,000)	0.427	2,900 SF
B6 = 9,170 SF	27 (6,911,000)	0.937	4,800 SF
B7 = 9,170 SF	24 (2,611,000)	0.588	4,200 SF
Total: 38,683 SF	94 CARS (2,411,000)	2.606 AC	16,000 SF

Additional Parking Data

- Accessible Parking Stalls:
 Total Parking Stalls: 559 Stalls
 Required: 12 Stalls
 Provided: 34 Stalls (2 Van, x Standard)
- Bicycle Parking:
 Required: 28 Spaces (5% of Visitor Parking)
 Provided: 28 Spaces
- Electric Vehicle Parking:
 Required: 45 Stalls (per 2016 CAL Green Code Table 5.109.5.2)
 Provided: 45 Stalls
- Electric Vehicle Charging Stations (EVCS):
 Required: 34 Charging Stations
 Provided: 34 Charging Stations



Project Data

Project Address: Benton Road and Leon Road, French Valley, CA

Open Space Data

Total Open Space Provided: 3.1 AC

ZONED: SPECIFIC PLAN (SP)
L-U-D: COMMERCIAL RETAIL (CD:CR)

ZONED: SPECIFIC PLAN (SP)
SINGLE FAMILY HOMES UNDER CONSTRUCTION

FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA
ALUC EXHIBIT - OPEN SPACE



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 02
OF 98
DATE: March 20, 2018
SCALE: 1"=50'-0"

A0.2

Guerin, John

From: Jim Roachelle <jim@ejrgroup.com>
Sent: Friday, March 23, 2018 12:43 PM
To: Guerin, John; Alvarez, David
Cc: michael@sws-engr.com; Rob Mann; Erin Jackson
Subject: Fwd: ALUC - Building Heights
Attachments: ALUC Building Heights.pdf; French Valley Building Elevations.pdf

Hi John. Following up on our conversations related to the building heights, please see attached a matrix showing the height of all buildings and all the exterior elevations matching the matrix.

Please let us know if you have any questions or need further clarification. Thanks again John.

Jim Roachelle
925-250-7118

----- Forwarded message -----

From: Erin Jackson <erin@ejrgroup.com>
Date: Fri, Mar 23, 2018 at 12:02 PM
Subject: ALUC - Building Heights
To: Jim Roachelle <jim@ejrgroup.com>

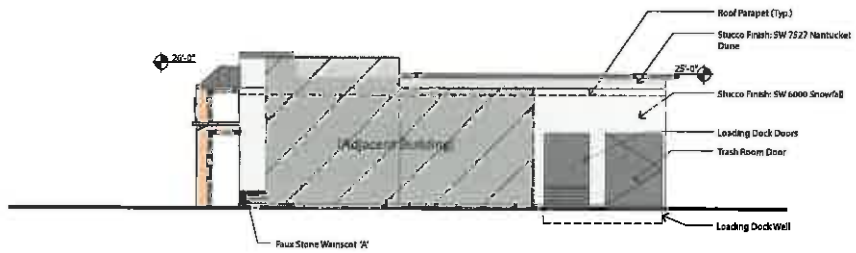
Please see attached.

Erin Jackson

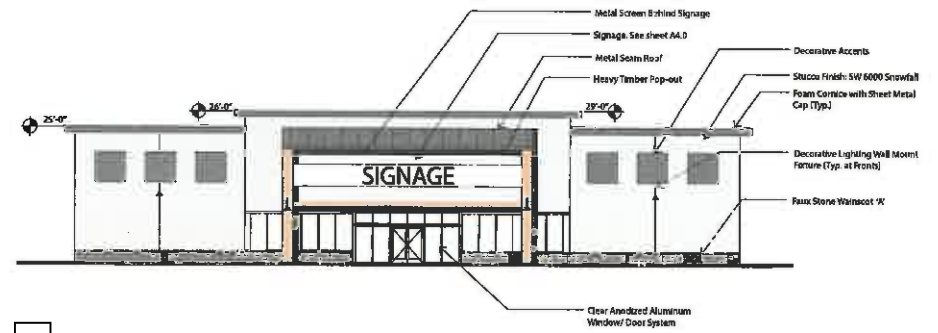
EJR Group
344 20th Street
Oakland CA 94612
[415-254-6571](tel:415-254-6571)
www.ejrgroup.com

Jim Roachelle
EJR Group
344 20th Street
Oakland, CA 94612
925-250-7118
www.ejrgroup.com

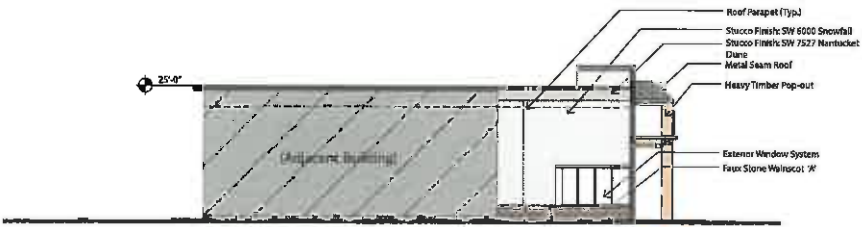
Parcel / Building	FFE	Max Elevation (23')	Current Max Height	Current Elevation	Difference in 1382	Notes
2 - R1 - 29% Restaurant/71% Non-Food Retail	1351.00	1374.00	22.66	1373.66	8.34	
3 - R2 - 43% Restaurant/57% Non-Food Retail	1352.50	1375.50	25	1377.50	4.50	
4 - R3 - 100% Restaurant	1353.00	1376.00	21	1374.00	8.00	
5 - R4 & R5 - 38% Restaurant/62% Food Retail	1357.00	1380.00	25	1382.00	0.00	
	1358.00	1381.00	24	1382.00	0.00	
11 - B1	1349.50	1372.50	28	1377.50	4.50	
12 - B2	1351.00	1374.00	28	1379.00	3.00	
15 - B3	1348.00	1371.00	28	1376.00	6.00	
13 - B4	1353.00	1376.00	28	1381.00	1.00	
9 - B5	1353.50	1376.50	28	1381.50	0.50	
14 - B6	1355.10	1378.10	26	1381.10	0.90	
10 - B7	1355.30	1378.30	26	1381.30	0.70	
7 - M1	1350.50	1373.50	29	1379.50	2.50	
6 - S1	1350.20	1373.20	24.83	1375.03	6.97	
8 - S2 - 30% Restaurant/70% Non-Food Retail	1350.80	1373.80	27.41	1378.21	3.79	
Pylon Benton	1352.8	1375.80	25	1377.80	4.20	
Pylon Leon	1355	1378.00	25	1380.00	2.00	



C Right Side Elevation



A Front Elevation



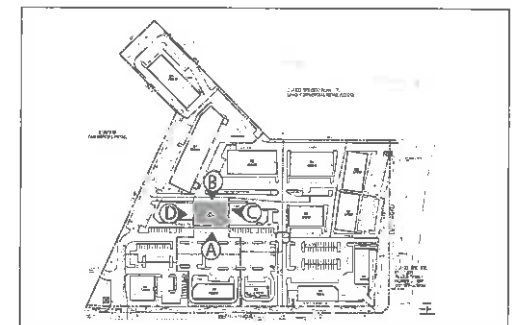
D Left Side Elevation



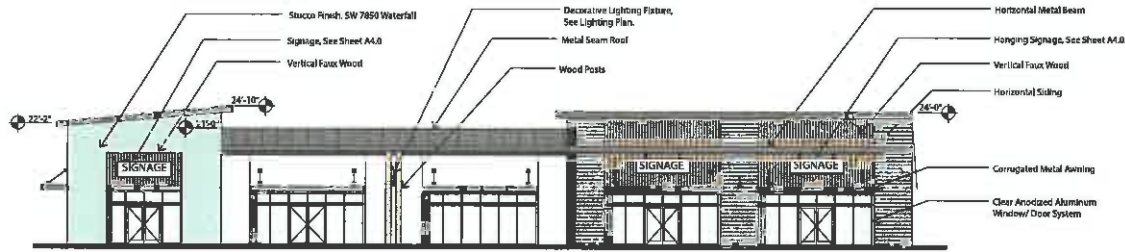
B Back Elevation

NOTES:

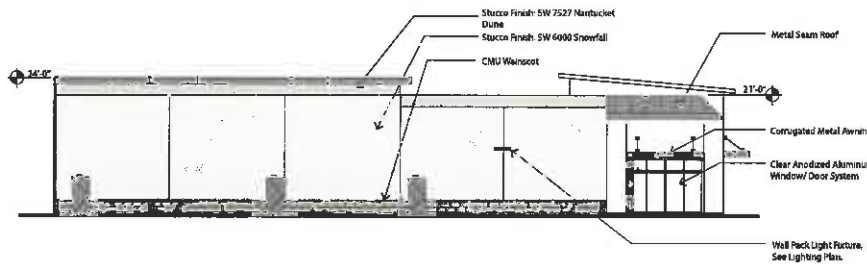
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



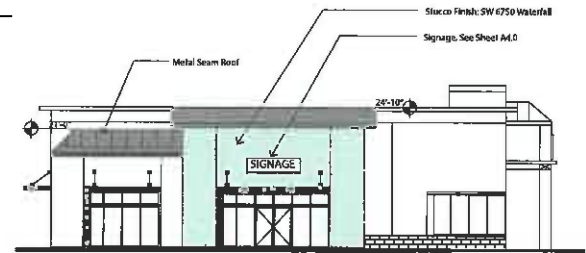
KEY MAP



A Front Elevation



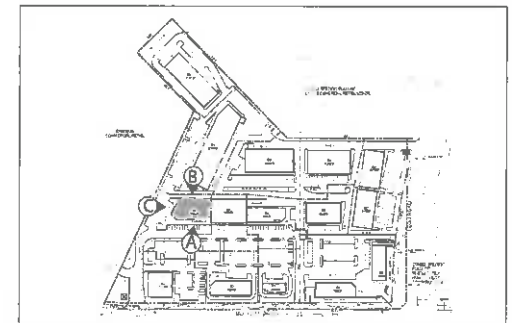
B Back Elevation



C Side Elevation

NOTES:

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

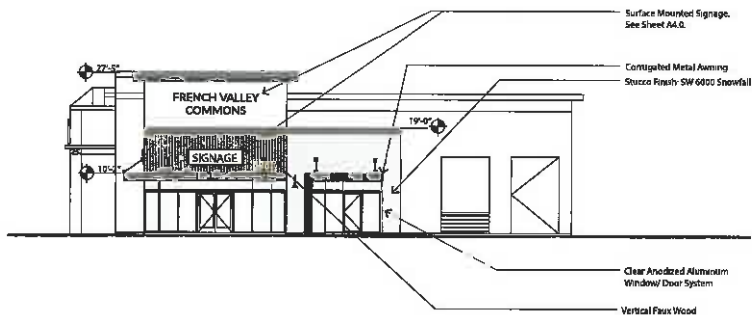
FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA
S1 BUILDING ELEVATIONS



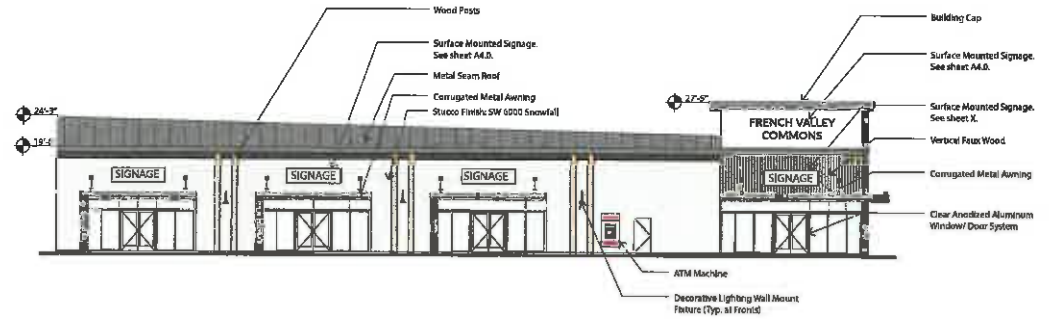
W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 10 OF 36
DATE: January 23, 2018
SCALE: 1" = 10'-0"

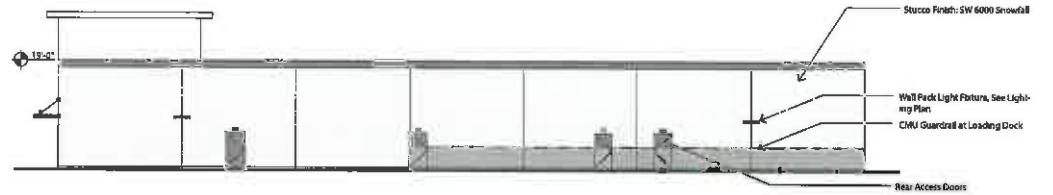
A3.1



C Side Elevation

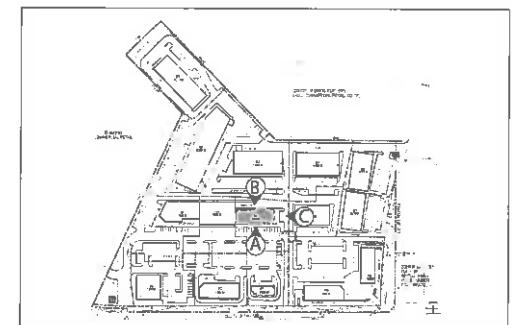


A Front Elevation



B Back Elevation

NOTES:
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

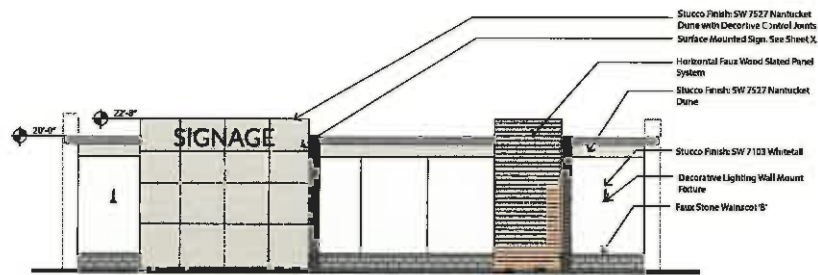
FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA
S 2 BUILDING ELEVATIONS



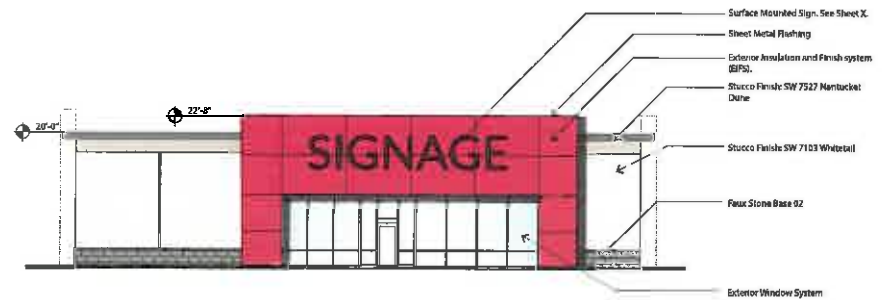
W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 11
OF 36
DATE: January 23, 2018
SCALE: 1" = 10'-0"

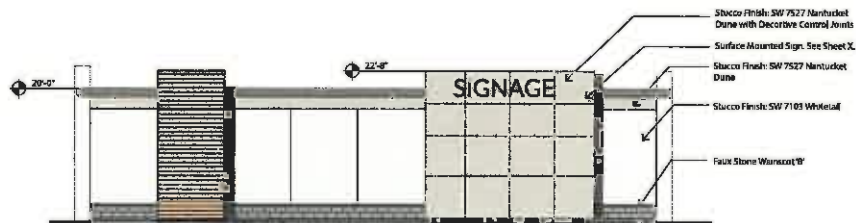
A3.2



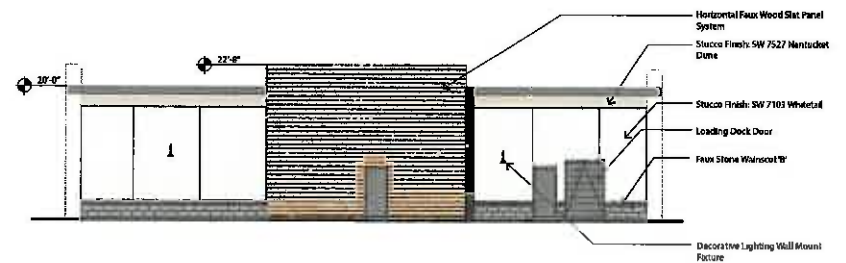
C Rear Elevation (Street)



A Front Elevation

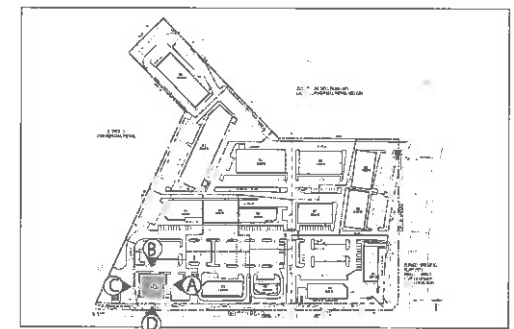


D Left Side Elevation



B Right Side Elevation

NOTES:
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

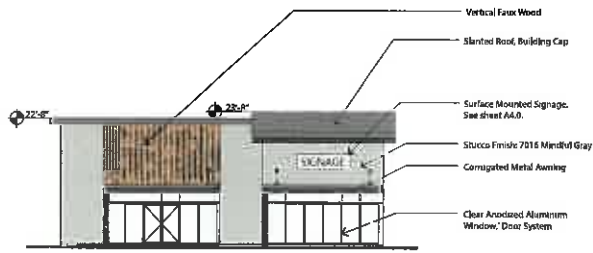
FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA
R 1 BUILDING ELEVATIONS



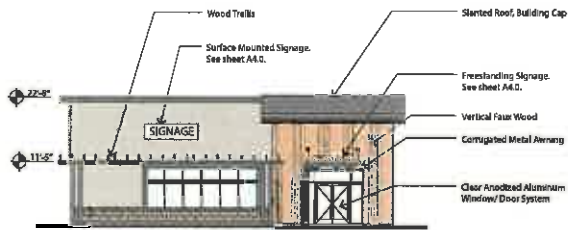
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 12 OF 36
DATE: January 23, 2016
SCALE: 1" = 10'-0"

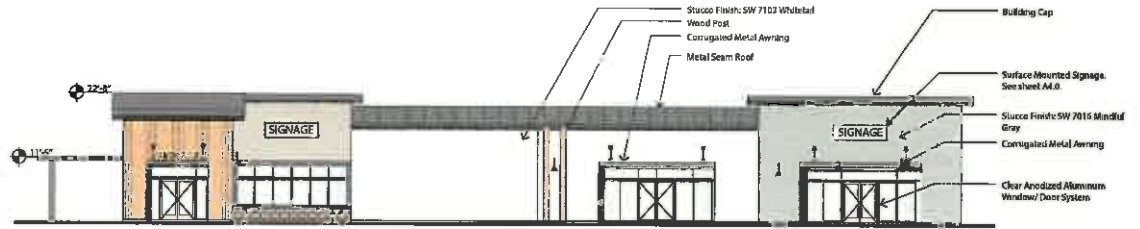
A3.3



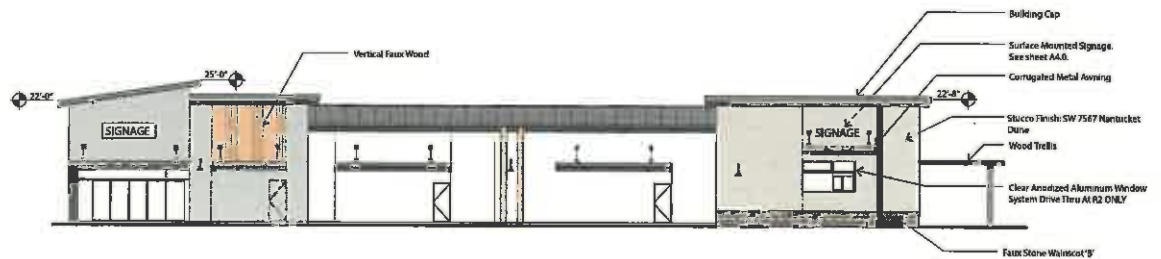
C Left Side Elevation (Bldg. R2 - Reversed)



D Right Side Elevation (Bldg. R2 - Reversed)



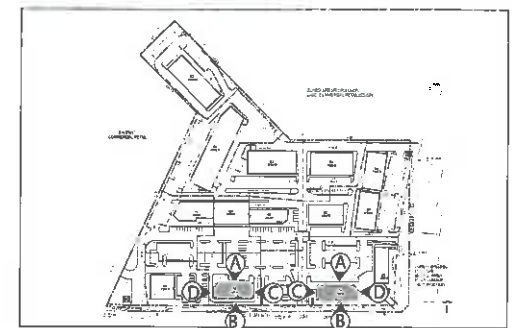
A Elevation



B Elevation

NOTES:

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

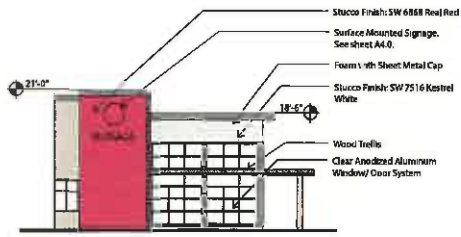
FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA
R 2 and R 4 BUILDING ELEVATIONS



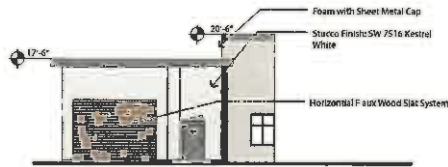
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 13 OF 36
DATE: January 23, 2018
SCALE: 1" = 10'-0"

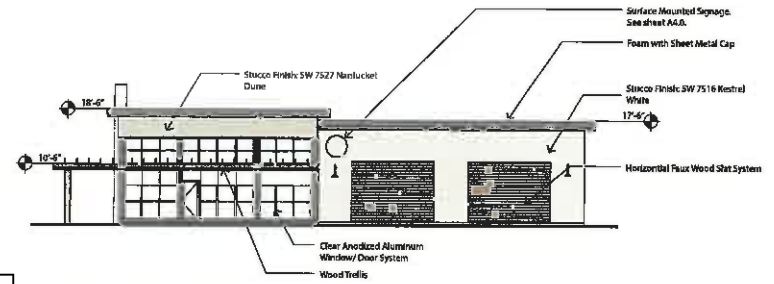
A3.4



C Right Side Elevation



D Left Side Elevation



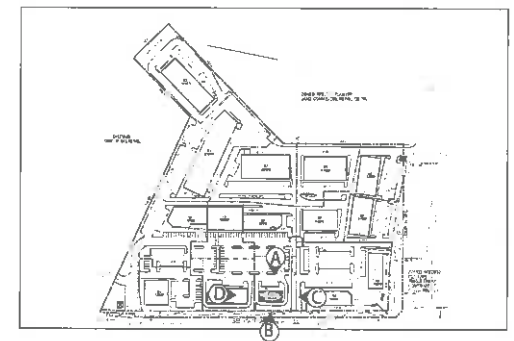
A Front Entry Elevation



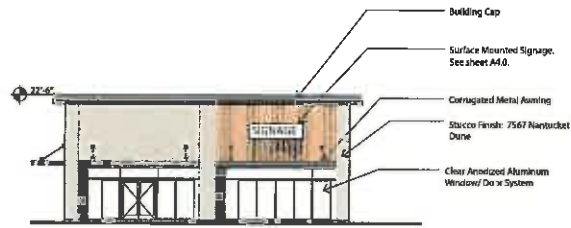
B Rear Elevation

NOTES:

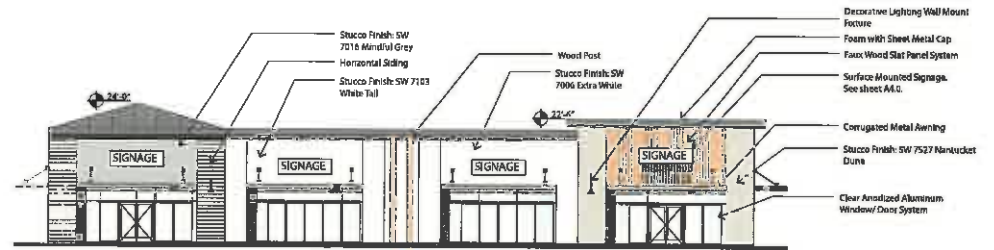
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP



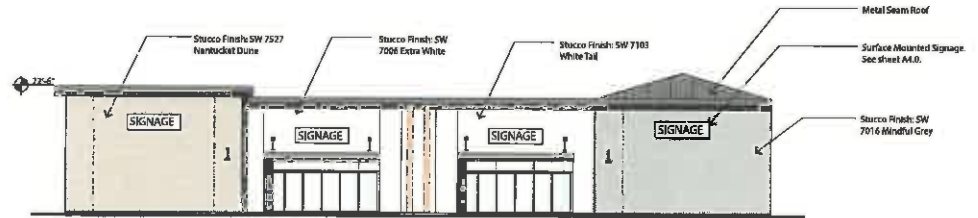
C Side Elevation



A Front Elevation

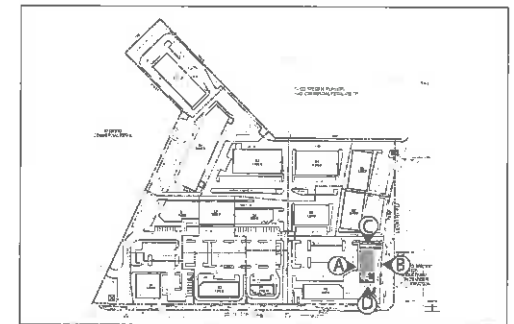


D Side Elevation



B Back Elevation

NOTES:
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

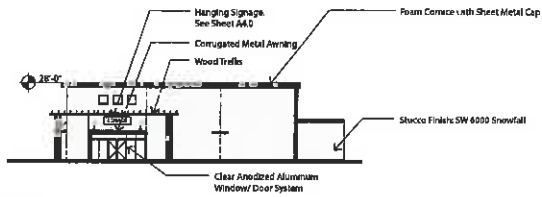
FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA
R5 BUILDING ELEVATIONS



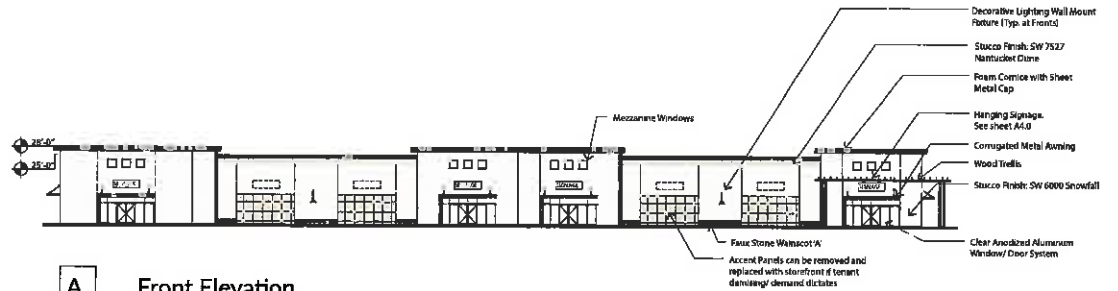
W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 15
OF 36
DATE: January 23, 2018
SCALE: 1" = 10'-0"

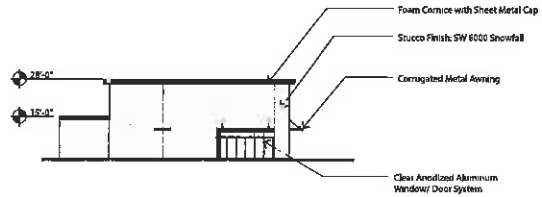
A3.6



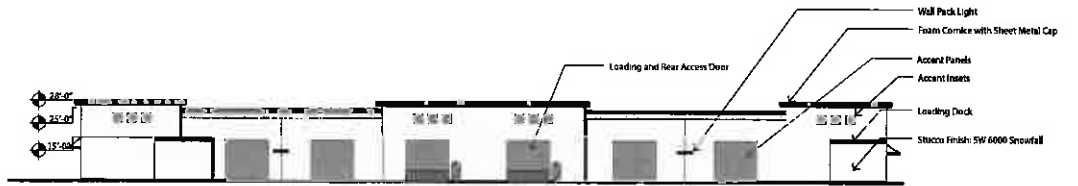
C Right Side Elevation



A Front Elevation

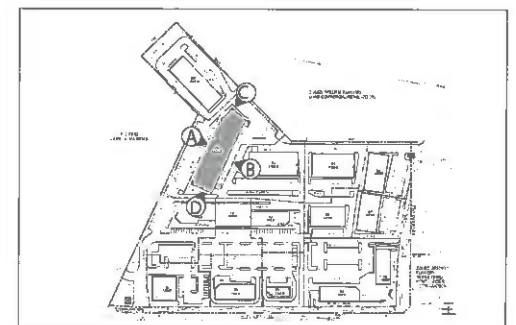


D Left Side Elevation

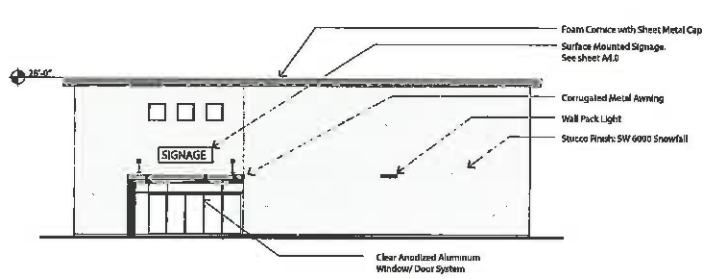


B Back Elevation

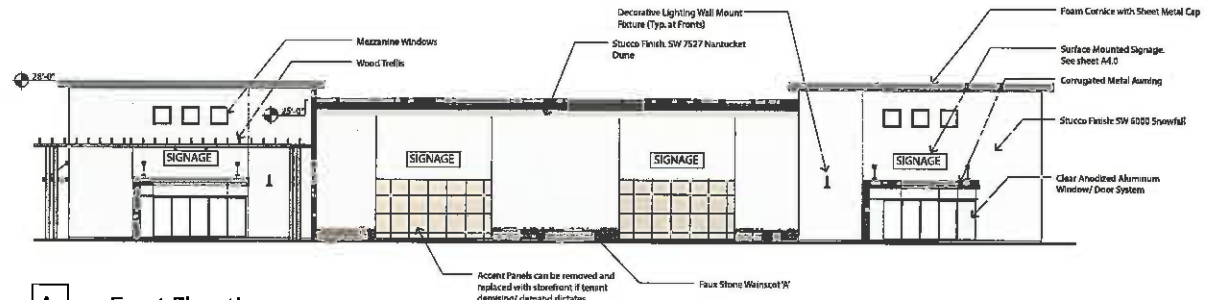
NOTES:
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



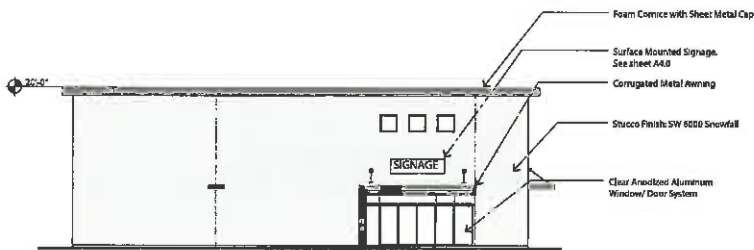
KEY MAP



C Right Side Elevation



A Front Elevation

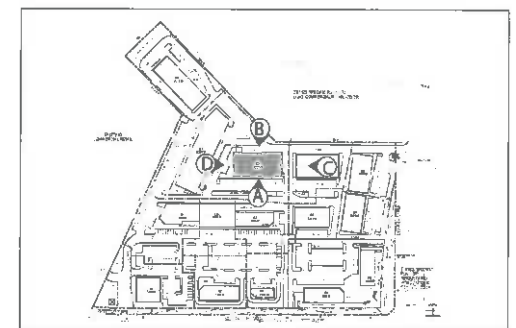


D Left Side Elevation

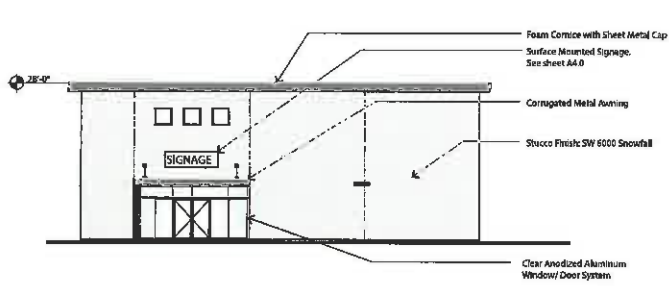


B Back Elevation

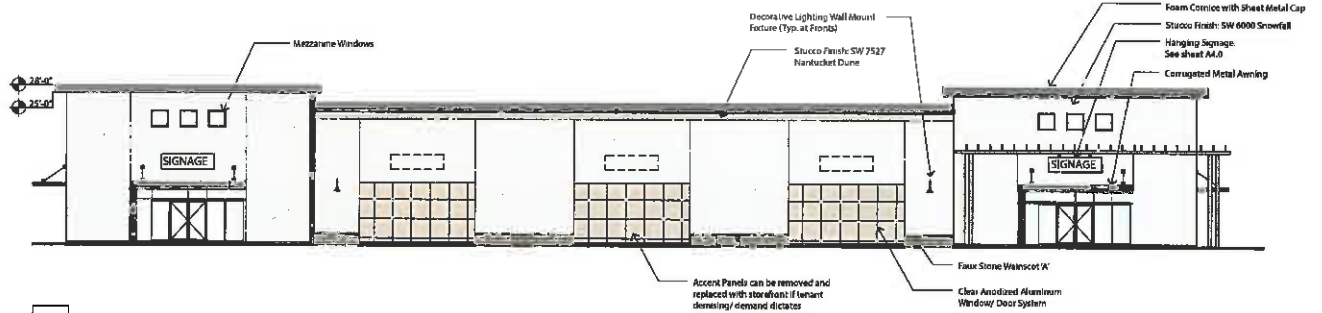
NOTES:
 SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR MORE INFORMATION.



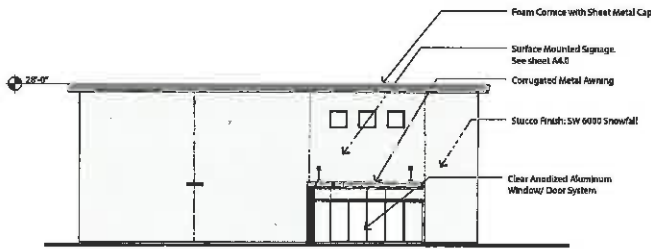
KEY MAP



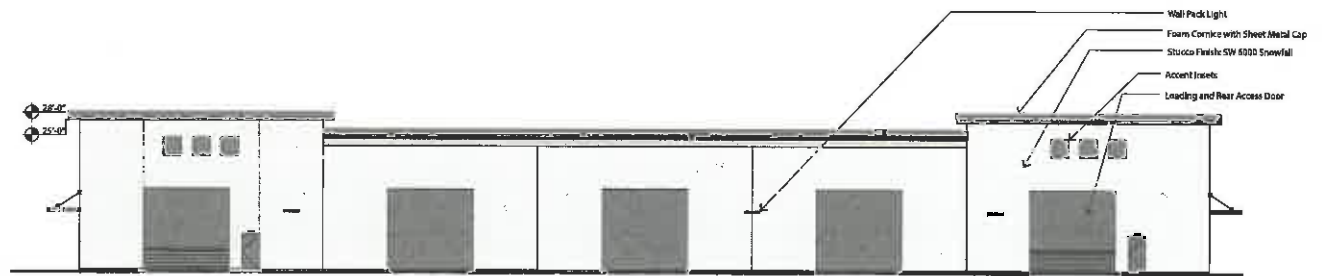
C Right Side Elevation



A Front Elevation



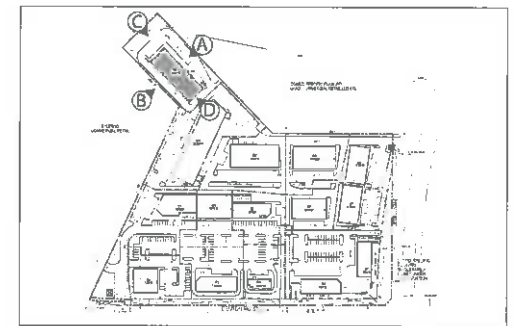
D Left Side Elevation



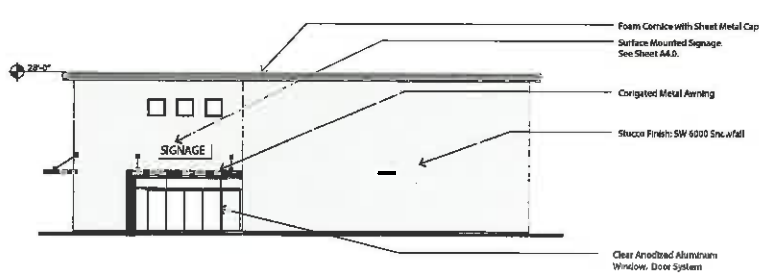
B Back Elevation

NOTES:

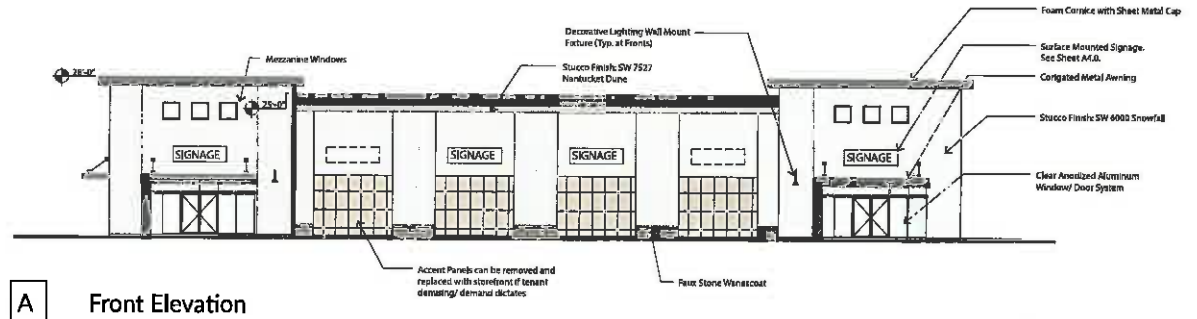
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



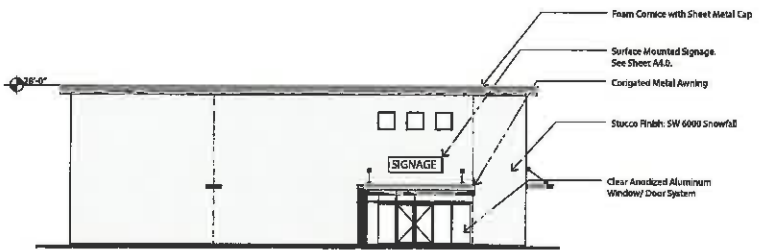
KEY MAP



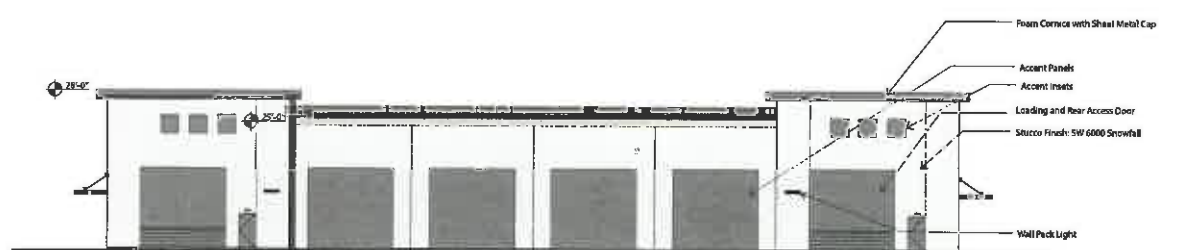
C Right Side Elevation



A Front Elevation



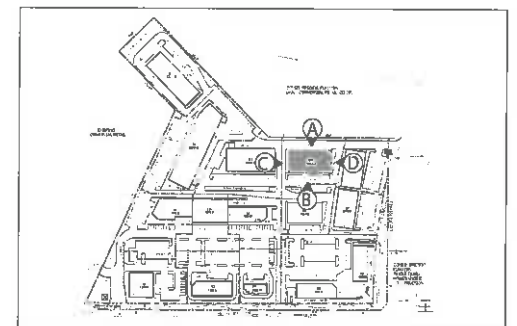
D Left Side Elevation



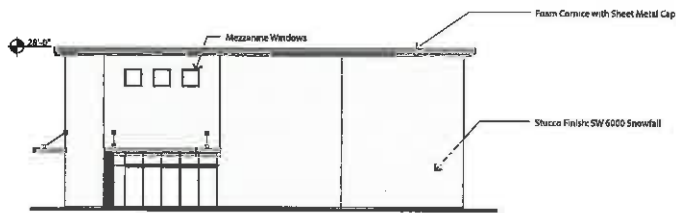
B Back Elevation

NOTES:

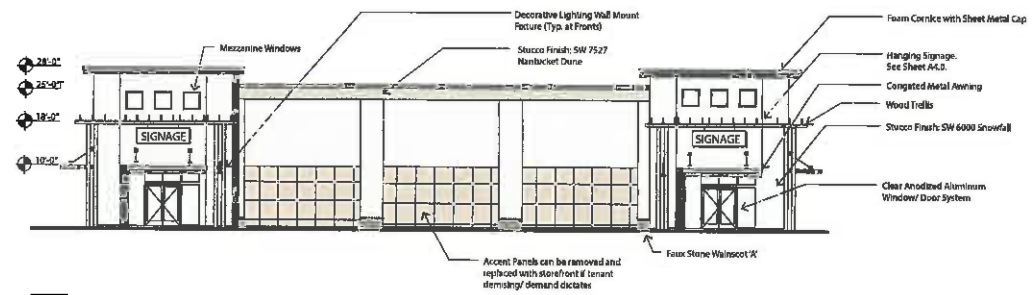
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



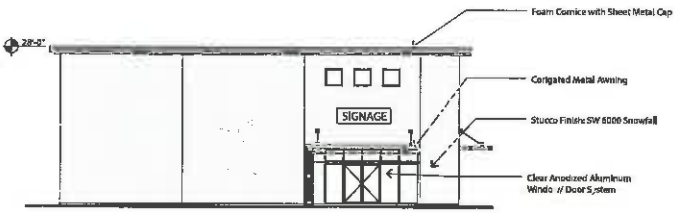
KEY MAP



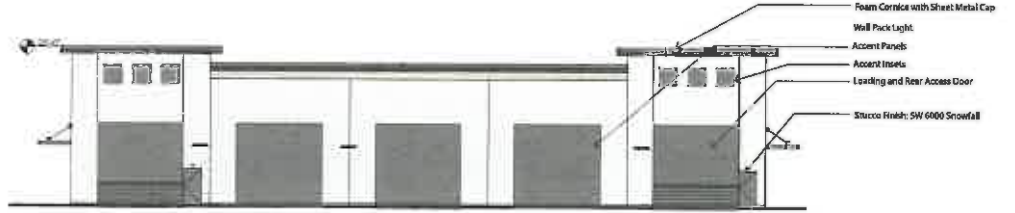
C Left Side Elevation



A Front Elevation

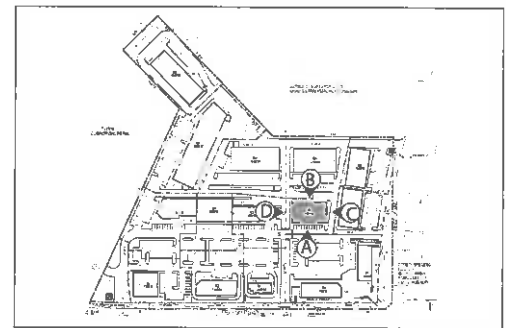


D Right Side Elevation

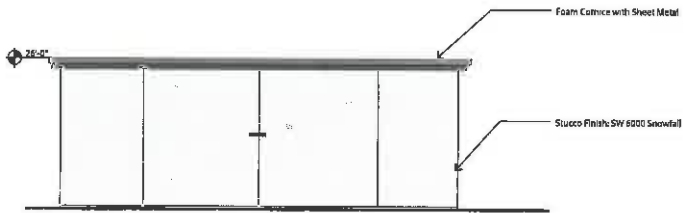


B Rear Elevation

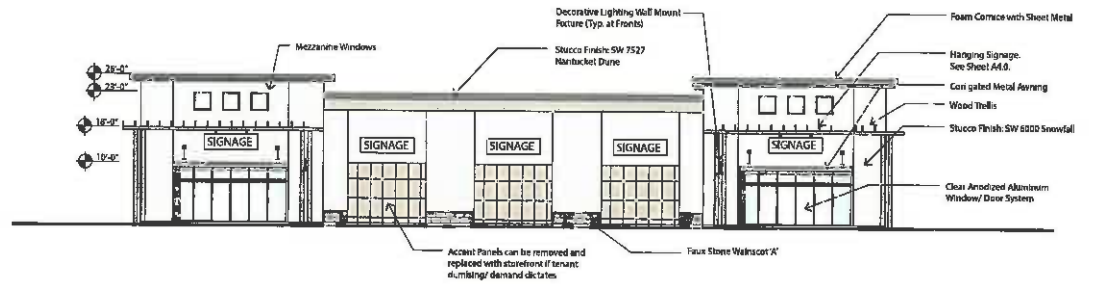
NOTES:
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



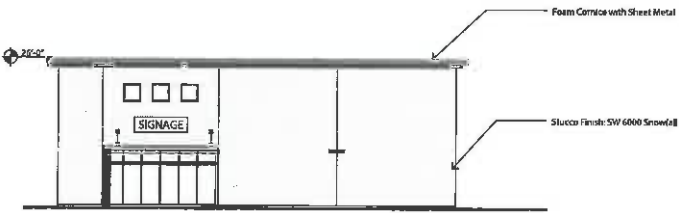
KEY MAP



C Side Elevations



A Front Elevation



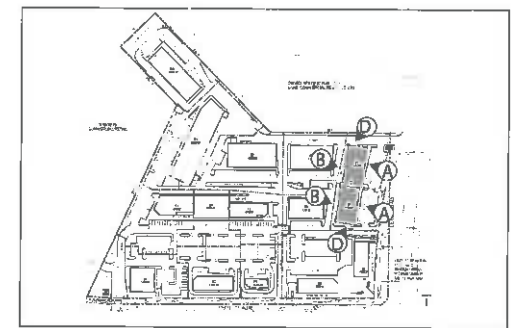
D Side Elevations



B Rear Elevation

NOTES:

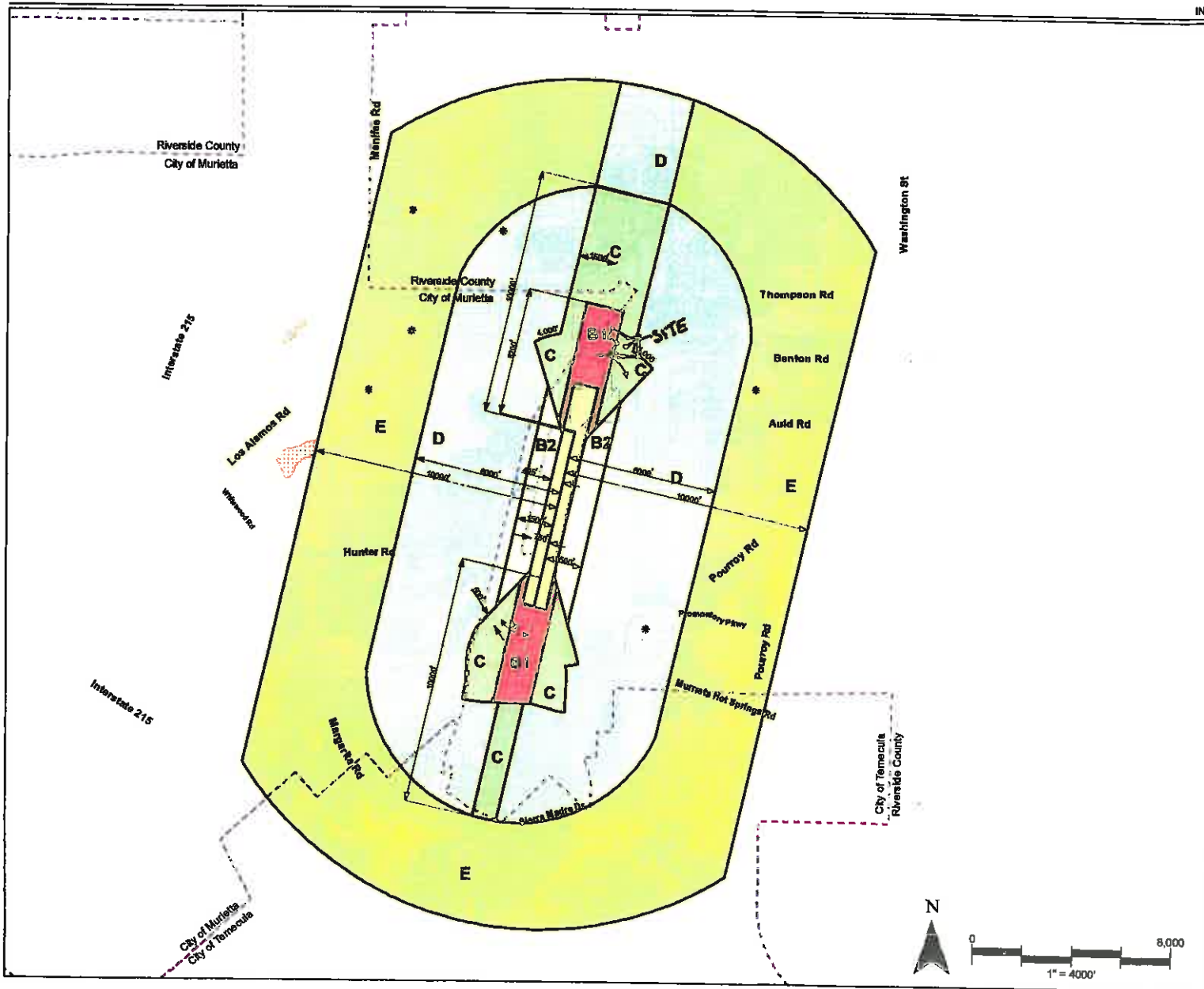
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
- Boundary Lines**
- Airport Property Line
 - - - City Limits
 - ⊛ Height Review Overlay Zone

Note

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

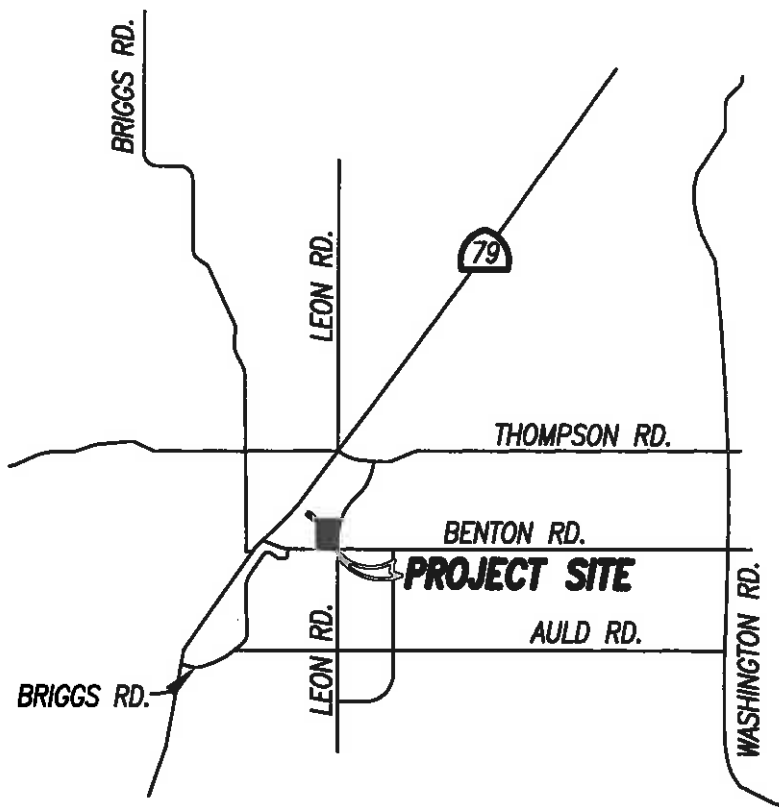
Riverside County
 Airport Land Use Commission

Riverside County
 Airport Land Use Compatibility Plan
 Policy Document

(April 2010)

Map FV-1

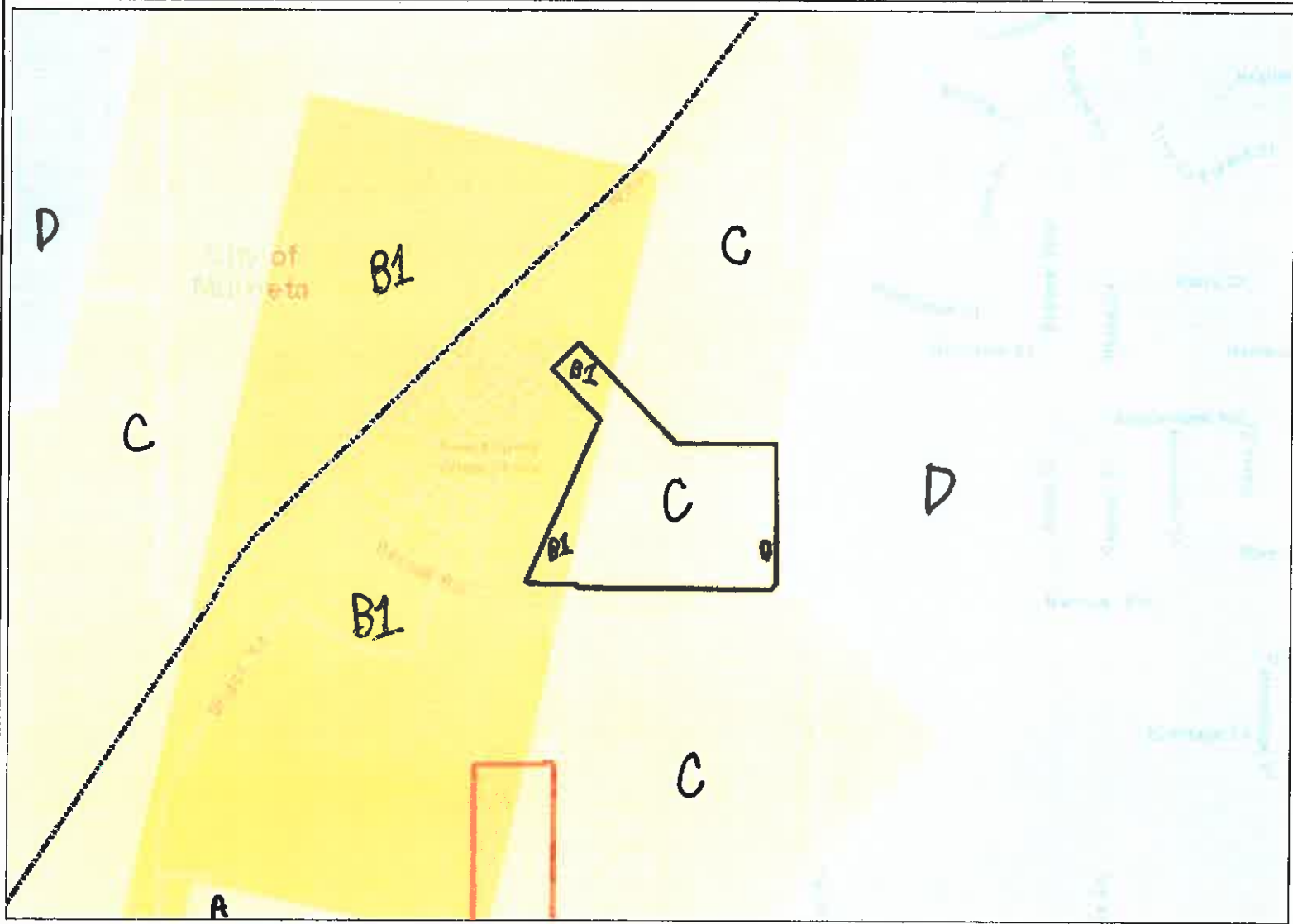
Compatibility Map
 French Valley Airport



VICINITY MAP

NOT TO SCALE

Map My County Map



Legend

- Runways
- Airports
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

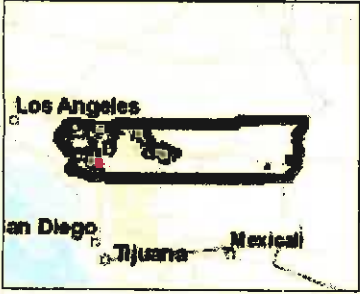


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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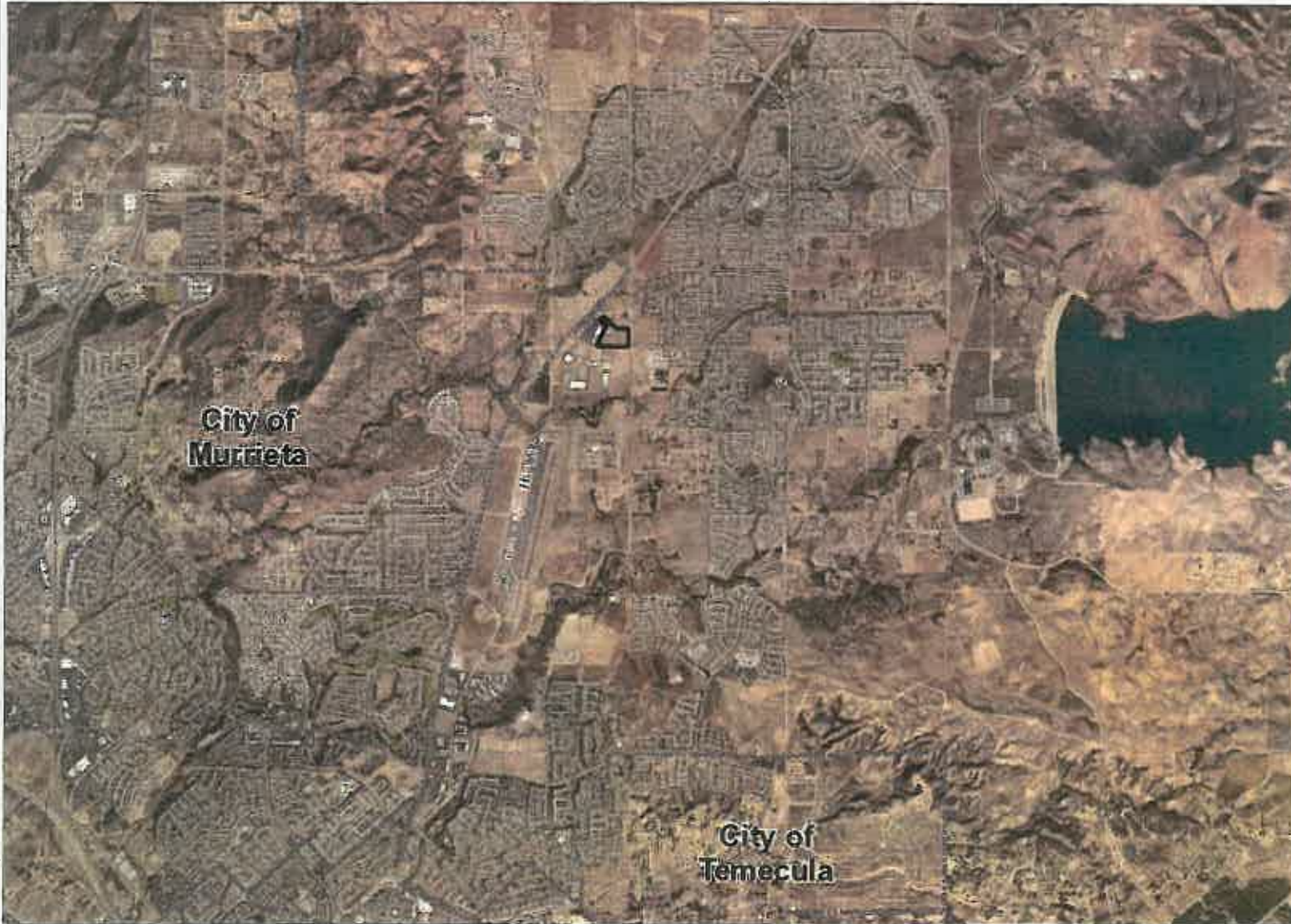


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Notes

Map My County Map



- Legend**
- City Areas
 - World Street Map



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Notes



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Map My County Map



Legend

-  Runways
-  Airports
-  City Areas
-  World Street Map



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0 1 3,079 Feet
539

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Notes

Map My County Map



Legend

- Runways
- Airports
- City Areas
- World Street Map



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Notes

0 770 1,539 Feet

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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - City Areas
 - World Street Map



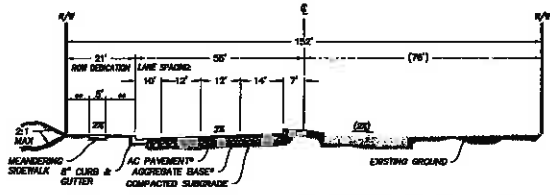
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 385 770 Feet

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Notes

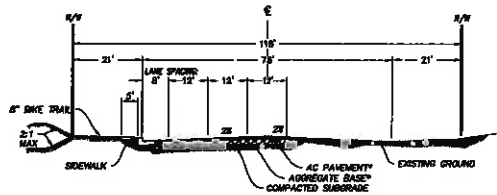


*THICKNESS OF AB AND AC TO BE DETERMINED BY A SOIL TEST AT THE TIME OF GRADING. DISTANCE FROM SIDEWALK TO R/W VARIES.

BENTON ROAD SECTION

N.T.S.

NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.



*THICKNESS OF AB AND AC TO BE DETERMINED BY A SOIL TEST AT THE TIME OF GRADING. DISTANCE FROM SIDEWALK TO R/W VARIES.

LEON ROAD SECTION

N.T.S.

NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.

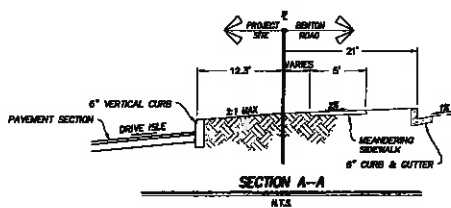
LEGEND

DESCRIPTION	SYMBOL
PROPOSED PROJECT BOUNDARY	---
PROPOSED RIGHT OF WAY	---
EXISTING STREET CENTERLINE	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN PIPE	---
PROPOSED STORM DRAIN CURB INLET	□
PROPOSED STORM DRAIN JUNCTION STRUCTURE	□
EXISTING SANITARY SEWER PIPE	○
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED SANITARY SEWER PIPE	○
PROPOSED SANITARY SEWER MANHOLE	○
EXISTING WATER PIPE	---
PROPOSED DOMESTIC WATER PIPE	---
PROPOSED FIRE LINE	---
PROPOSED FIRE HYDRANT	+
EXISTING GAS LINE	---
EXISTING TELEPHONE LINE	---
PROPOSED BIOFILTRATION BASIN	▨

EXISTING EASEMENTS

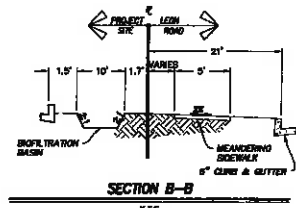
REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. #2004-0965-1501	△
REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-0885-1501	△
R/W DESIGNATION PER DOC. # 2007-0768744	△

NOTE: THERE ARE CURRENTLY NO STREET LIGHTS ALONG BENTON ROAD ADJACENT TO THE PROJECT SITE.



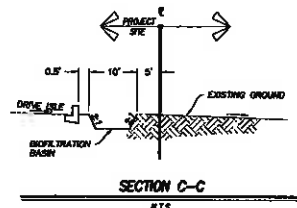
SECTION A-A

N.T.S.



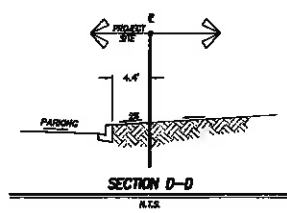
SECTION B-B

N.T.S.



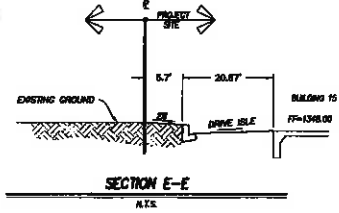
SECTION C-C

N.T.S.



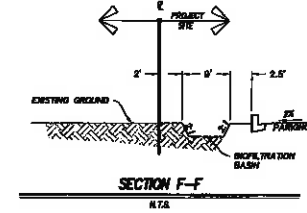
SECTION D-D

N.T.S.



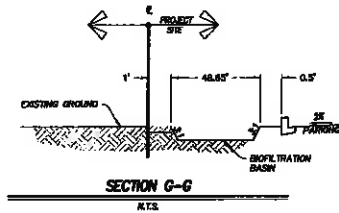
SECTION E-E

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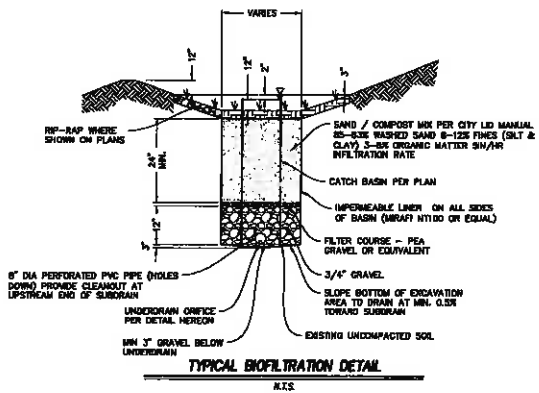
SECTION F-F

N.T.S.



SECTION G-G

N.T.S.



TYPICAL BIOFILTRATION DETAIL

N.T.S.

SVS ENGINEERING INC.
 2700 West 11th Street, Suite 111
 Fort Collins, CO 80504
 P: 970-226-1111 F: 970-226-1112
 WWW.SVS-ENGINEERING.COM

APPROVED
 PLANNING DEPARTMENT

REVISIONS		
NO.	DATE	DESCRIPTION

SHEET 2 OF 2
 SWS ENG. JOB NO. 15-078

COUNTY OF RIVERBEND
 TRANSPORTATION AND LAND MANAGEMENT AGENCY
 PLANNING DEPARTMENT

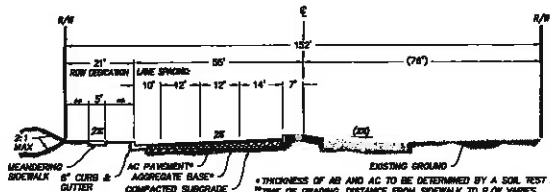
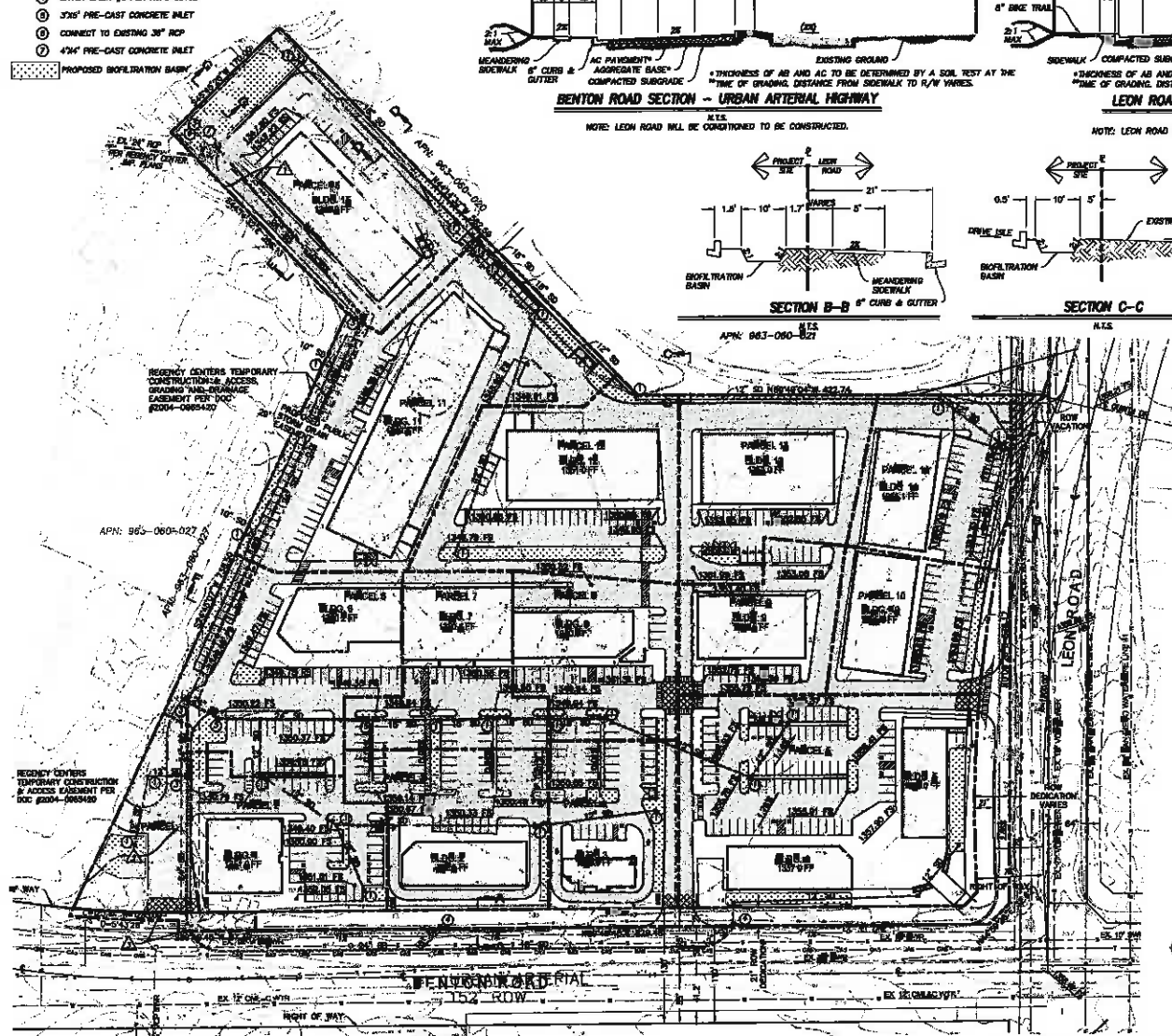
TENTATIVE PARCEL MAP
 PM 37390
 APN: 003-060-032

WINGHESTER CROSSROADS

CONSTRUCTION NOTES

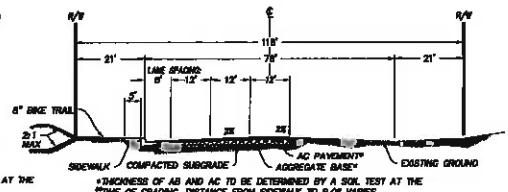
- ① 2'x2' PRE-CAST CONCRETE INLET
- ② CONCRETE HEADWALL
- ③ STEEL DRAIN MANHOLE PER R/CFC MFD#1
- ④ CATCH BASIN #6 PER R/CFC C#102
- ⑤ 3'x6' PRE-CAST CONCRETE INLET
- ⑥ CONNECT TO EXISTING 36" RCP
- ⑦ 4'x4' PRE-CAST CONCRETE INLET

PROPOSED INFILTRATION BASIN



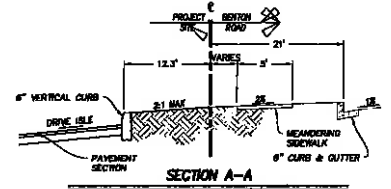
BENTON ROAD SECTION - URBAN ARTERIAL HIGHWAY

NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.

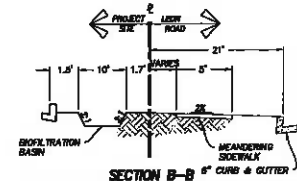


LEON ROAD SECTION - MAJOR HIGHWAY

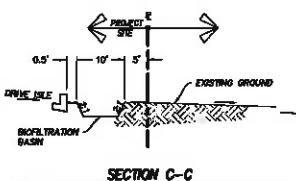
NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.



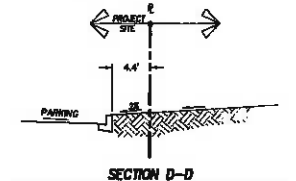
SECTION A-A



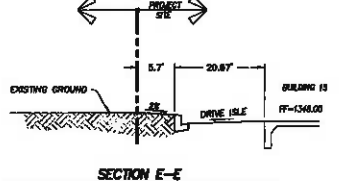
SECTION B-B



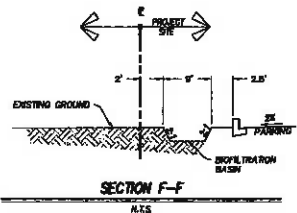
SECTION C-C



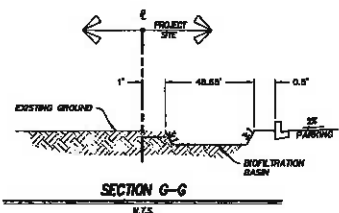
SECTION D-D



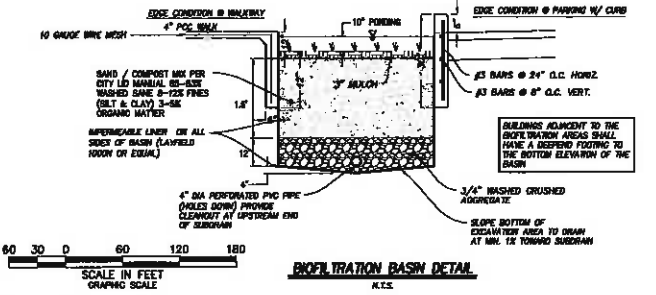
SECTION E-E



SECTION F-F



SECTION G-G



INFILTRATION BASIN DETAIL

SCALE IN FEET GRAPHIC SCALE

EXISTING EASEMENTS

- REGISTRY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. #2004-085420
- REGISTRY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-085420
- R/W DEDICATION PER DOC. # 2007-070814

NOTES

- 1. DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD NO. 307A.
- 2. THERE ARE CURRENTLY NO STREET LIGHTS ON BENTON ROAD ADJACENT TO THE PROJECT SITE.

PRELIMINARY EARTHWORK

CUT	11,736 CY
FILL	16,700 CY
IMPORT	4,000 CY



SVS ENGINEERING INC.
 211 Amador Street, Suite 1111, San Francisco, CA 94102
 415.774.8888
 www.svs-engineering.com

FRENCH VALLEY COMMONS

BENTON ROAD AND LEON ROAD, FRENCH VALLEY, CA

PLANNING REVIEW RESUBMITTAL
DECEMBER 01, 2017
APN 963-060-032
CUP 03777

PROJECT DIRECTORY

APPLICANT:

ROB MANN
W DEVELOPMENT PARTNERS OF TEMECULA, LLC
P.O. BOX 77564
SAN FRANCISCO, CA 94107
PHONE: (415) 990-3378

JIM ROACHELLE
MANN PROPERTY COMPANY
W DEVELOPMENT PARTNERS OF TEMECULA, LLC
P.O. BOX 77564
SAN FRANCISCO, CA 94107
PHONE: (925) 250-7118

ENTITLEMENTS AND PLANNING:

ERIN JACKSON
EJR GROUP
344 20TH STREET
OAKLAND, CA 94612
PHONE: (415) 254-6571

CIVIL ENGINEER/SURVEY:

MICHAEL SCHWEITZER
SWS ENGINEERING, INC.
261 AUTUMN DRIVE #115
SAN MARCOS, CA 92069
PHONE: (760) 444-0011

TRAFFIC ENGINEERING:

JOHN A. BOARMAN, P.E. (X236)
CARA HILGESON (X232)
LINSOTT, LAW & GREENSPAN, ENGINEERS
4542 RUFFNER STREET, SUITE 100
SAN DIEGO, CA 92111
PHONE: (858) 300-8800

BIOLOGICAL CONSULTANT:

PRINCIRE AND ASSOCIATES
29881 LOS NOGALES ROAD
TEMECULA, CALIFORNIA 92591
PHONE: (951) 699-8040

GEOTECHNICAL ENGINEER:

STEPHEN M. POOLE, PE, GE
EARTH-STRATA, INC.
26047 JEFFERSON AVENUE, SUITE C
MURRIETA, CA 92562
PHONE: (951) 461-4028

CULTURAL RESOURCES CONSULTANT:

JEAN A. KELLER, PH.D.
1042 N. EL CAMINO REAL SUITE B244
ENCINITAS, CA 92024
PHONE: (760) 295-9909

PHOTOMETRICS:

KURT TOMASOVICH
IMPERIAL LIGHTING
41905 BOARDWALK SUITE G
PALM DESERT, CA 92211
PHONE: (760) 636-0762

NOISE, AIR QUALITY AND GREEN HOUSE GAS CONSULTANTS:

HASEEB QURESHI
URBAN CROSSROADS, INC.
260 BAKER ST E
COSTA MESA, CA 92626
PHONE: (949) 336-5987



VICINITY MAP

PROJECT DATA

Site Data: 612,405 SF (14.06 AC)
Jurisdiction: County of Riverside
Zoning: CP5 Scenic Highway Commercial
Land Use Designation: Commercial Retail (CP- CR)

THIS PROJECT SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF CALIFORNIA CONSTRUCTION CODES AND ALL COUNTY OF RIVERSIDE ORDINANCES

SHEET INDEX

1	A0.0	TITLE SHEET
2	A1.0	PRELIMINARY SITE PLAN
3	A1.1	PHASING PLAN
4	C1.0	PRELIMINARY GRADING PLAN
5	C2.0	PRELIMINARY UTILITY PLAN
6	C3.0	WATER TABLES
7	L1.0	PRELIMINARY LANDSCAPE PLAN
8	A2.0	PHOTOMETRIC STUDY
9	A3.0	M1 BUILDING ELEVATIONS
10	A3.1	S1 BUILDING ELEVATIONS
11	A3.2	S2 BUILDING ELEVATIONS
12	A3.3	R1 BUILDING ELEVATIONS
13	A3.4	R2 and R4 BUILDING ELEVATIONS
14	A3.5	R3 BUILDING ELEVATIONS
15	A3.6	R5 BUILDING ELEVATIONS
16	A3.7	B1 BUILDING ELEVATIONS
17	A3.8	B2 BUILDING ELEVATIONS
18	A3.9	B3 BUILDING ELEVATIONS
19	A3.10	B4 BUILDING ELEVATIONS
20	A3.11	B5 BUILDING ELEVATIONS
21	A3.12	B6 and B7 BUILDING ELEVATIONS
22	A4.0	SITE SIGNAGE/ TRASH ENCLOSURE
23	A4.1	COLOR AND MATERIALS BOARD
24	A5.0	M1 BUILDING FLOOR PLAN AND ROOF PLAN
25	A5.1	S1 BUILDING FLOOR PLAN AND ROOF PLAN
26	A5.2	S2 BUILDING FLOOR PLAN AND ROOF PLAN
27	A5.3	R1 BUILDING FLOOR PLAN AND ROOF PLAN
28	A5.4	R2 and R4 BUILDING FLOOR PLAN AND ROOF PLAN
29	A5.5	R3 BUILDING FLOOR PLAN AND ROOF PLAN
30	A5.6	B1 BUILDING FLOOR PLAN AND ROOF PLAN
31	A5.7	B2 BUILDING FLOOR PLAN AND ROOF PLAN
32	A5.8	B3 BUILDING FLOOR PLAN AND ROOF PLAN
33	A5.9	B4 BUILDING FLOOR PLAN AND ROOF PLAN
34	A5.10	B5 BUILDING FLOOR PLAN AND ROOF PLAN
35	A5.11	B6 and B7 BUILDING FLOOR PLAN AND ROOF PLAN
36	A5.12	B6 and B7 BUILDING FLOOR PLAN AND ROOF PLAN

FRENCH VALLEY COMMONS
TITLE SHEET

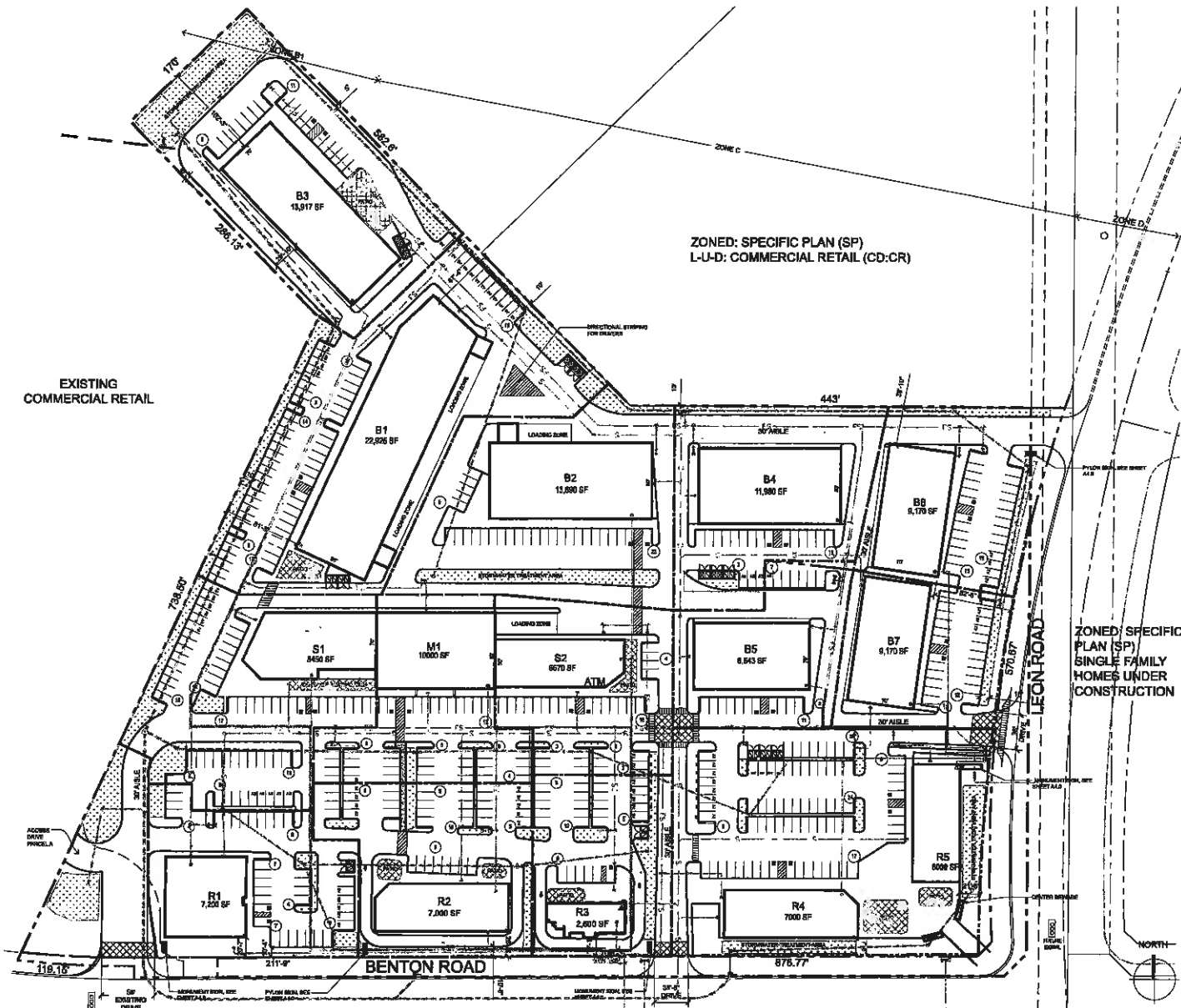
FRENCH VALLEY,
CALIFORNIA



W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 01
OF 36
DATE: December 01, 2017
SCALE: NTS

A0.0



Project Data

Project Address: Benton Road and Leon Road, French Valley, CA

Site Data

RETAIL PHASE 1 207,616 SF (4.76 AC)
 RETAIL PHASE 2 78,119 SF (1.80 AC)
 BUSINESS PARK PHASE 1 186,854 SF (4.27 AC)
 BUSINESS PARK PHASE 2 121,628 SF (2.80 AC)
 PARCELA ACCESS DRIVE 18,169 SF (0.44 AC)
 Totals: 612,405 SF (14.06 AC)

Jurisdiction: County of Riverside
 Zoning: Specific Highway Commercial (C-P-S)
 Land Use Designation: Commercial Retail (CR)

Boundaries Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWB ENGINEERING INC.

Building/ Parking Data

TOTAL GROSS FLOOR AREA: 143,266 SF

COUNTY ZONING REQUIREMENTS:

Retail Gross Floor Area: 61,400 SF
 RETAIL MIX: 5-10 Percent 1,000 SF Floor Area
 Required: 300 Spaces
 Provided: 337 Spaces

Business Park Gross Floor Area: 84,848 SF
 WHOLESALE: 3 Percent 1,000 SF Floor Area
 OFFICE: 8-11 Percent 600 SF Floor Area
 Required: 40 Spaces
 Provided: 217 Spaces

RETAIL PHASE 1:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	DRIVE THRU CABLE
B1 = 22,826 SF	66 (2.81,000)	30,806	
B2 = 15,800 SF	61 (2.41,000)	45,200	
B3 = 15,917 SF	37 (5.81,000)	31,235	
B4 = 11,900 SF	37 (5.11,000)	32,446	
B5 = 8,543 SF	40 (5.71,000)	34,887	
B6 = 9,170 SF	27 (10.41,000)	30,432	
B7 = 9,170 SF	27 (10.41,000)	30,432	
B8 = 9,170 SF	27 (10.41,000)	30,432	
Total: 41,826 SF	259 CARS (8.21,000)	207,616 SF	12 CARS 7.3 CARS

RETAIL PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:
R4 = 7,000 SF		
R5 = 6,000 SF		
Total: 13,000 SF	78 CARS (8.21,000)	78,119 SF

BUSINESS PARK PHASE 1:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B1 = 22,826 SF	66 (2.81,000)	76,400	12,800 SF
B2 = 15,800 SF	28 (2.01,000)	63,792	4,800 SF
B3 = 15,917 SF	18 (1.41,000)	55,492	2,800 SF
Total: 48,743 SF	113 CARS (2.21,000)	185,684 SF	18,000 SF

BUSINESS PARK PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B4 = 11,900 SF	22 (1.21,000)	30,421	2,400 SF
B5 = 8,543 SF	17 (2.01,000)	28,023	2,000 SF
B6 = 9,170 SF	27 (2.91,000)	31,131	4,800 SF
B7 = 9,170 SF	24 (2.91,000)	25,244	4,200 SF
Total: 38,783 SF	84 CARS (2.91,000)	121,429 SF	14,000 SF

Additional Parking Data

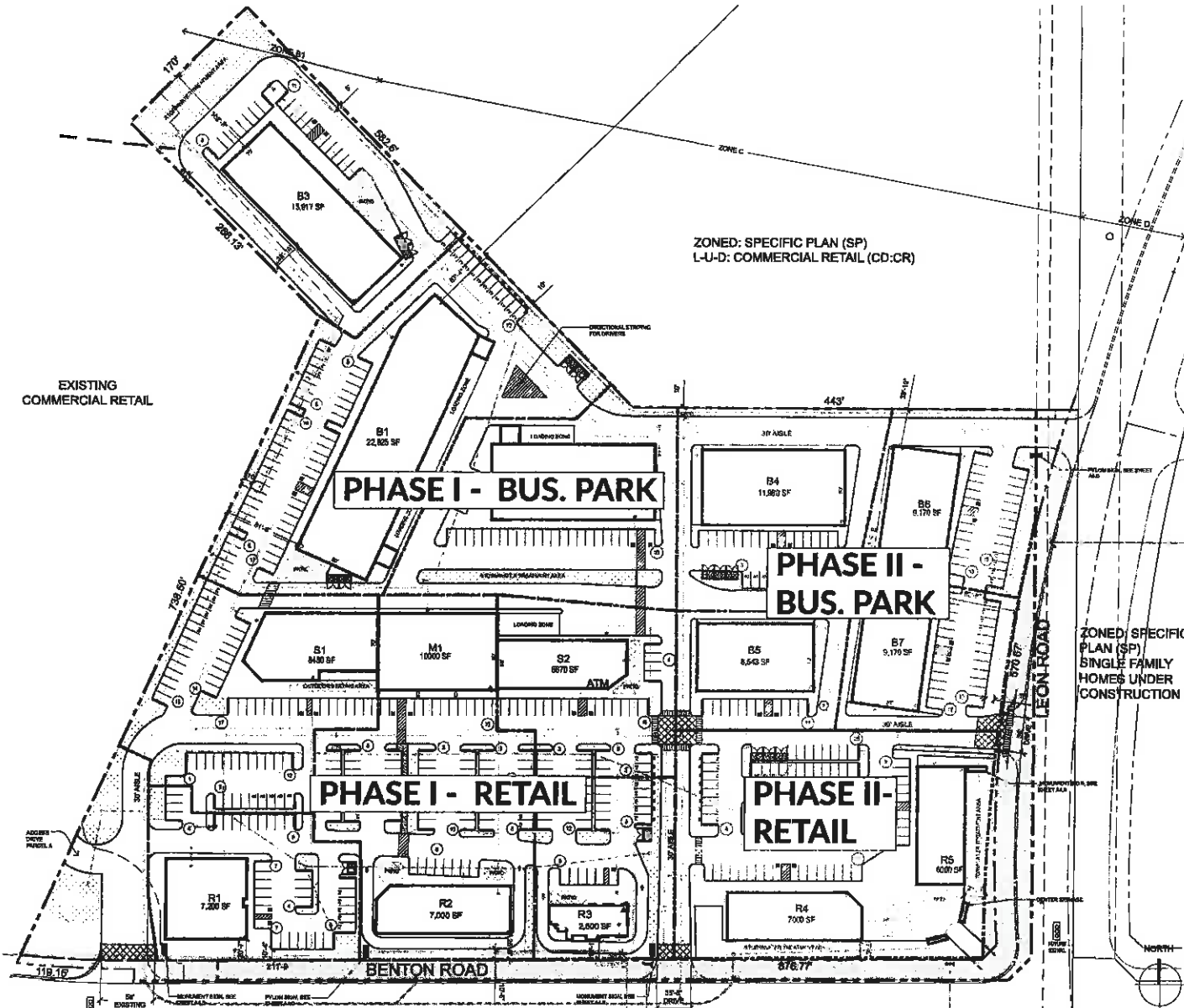
Accessible Parking Stalls: 530 Stalls
 Total Parking Stalls: 12 Stalls
 Required: 34 Stalls (2 Van, x Standard)
 Provided: 34 Stalls (2 Van, x Standard)

Bicycle Parking:
 Required: 28 Spaces (5% of Visitor Parking)
 Provided: 28 Spaces

Electric Vehicle Parking:
 Required: 48 Stalls (per 2018 CAL Green Code Table 5.106.5.2)
 Provided: 48 Stalls

Electric Vehicle Charging Stations (EVCS):
 Required: 34 Charging Stations
 Provided: 34 Charging Stations





Project Data

Project Address: Benton Road and Leon Road, French Valley, CA

Site Data

RETAIL PHASE 1	207,816 SF (4.76 AC)
RETAIL PHASE 2	78,118 SF (1.80 AC)
BUSINESS PARK PHASE 1	165,894 SF (3.77 AC)
BUSINESS PARK PHASE 2	121,808 SF (2.80 AC)
PARCELA ACCESS DRIVE	99,198 SF (0.44 AC)

Total: 812,406 SF (14.06 AC)

Jurisdiction: County of Riverside
 Zoning: Romo Highway Commercial (C-P-8)
 Land Use Designation: Commercial Retail (CP: CR)

Boundaries Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWS ENGINEERING, INC.

Building/ Parking Data

TOTAL GROSS FLOOR AREA: 1,458,859 SF

COUNTY PARKING REQUIREMENTS:

Build Area Floor Area: 14,879 SF
 RETAIL: 1,842 Spaces / 1,800 SF Floor Area
 Required: 383 Spaces
 Provided: 387 Spaces

Business Park Gross Floor Area: 89,849 SF
 WORKSPACES: 1 Required / 1,000 SF Floor Area
 OFFICE: 5 / 1,000 SF Floor Area
 Required: 45 Spaces
 Provided: 577 Spaces

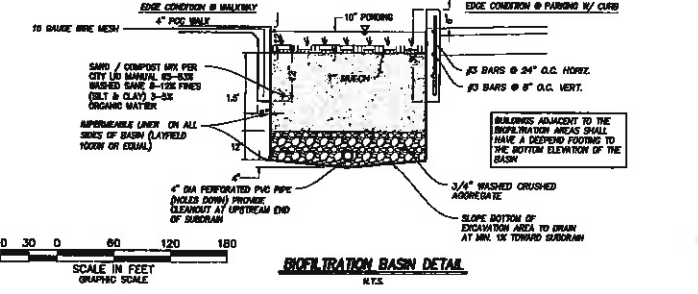
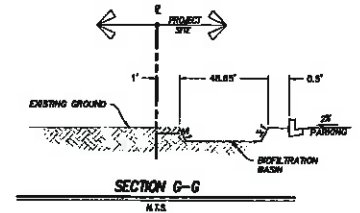
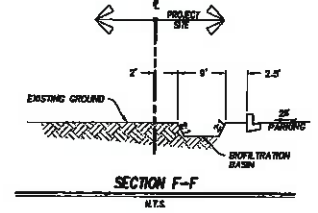
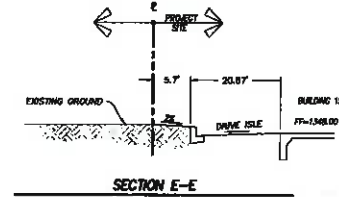
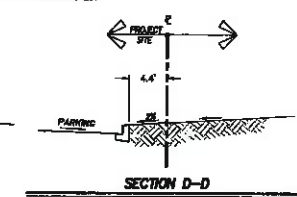
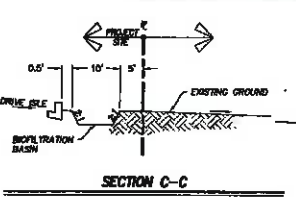
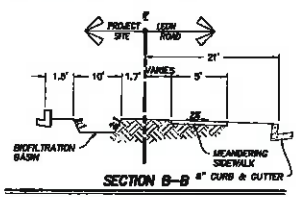
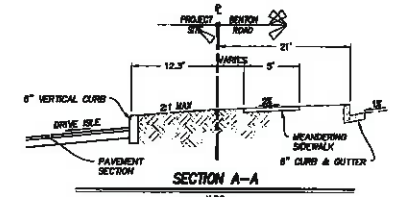
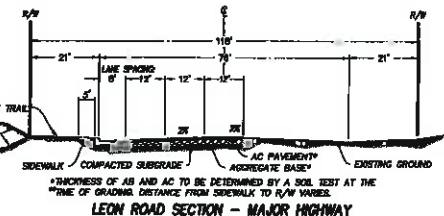
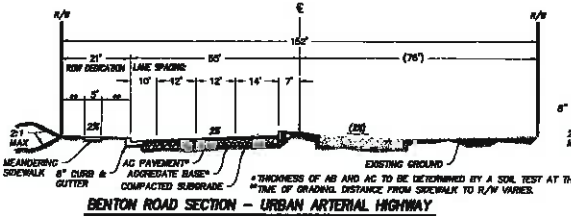
RETAIL PHASE 1:

BUILDING AREA:	PARKINGS PROVIDED:	PARCEL:	DRIVE THRU QUEUE
B1 = 10,000 SF	B5 (5,574,000)	30,006	
B1 = 5,400 SF	B3 (7,441,000)	48,202	
B2 = 6,870 SF	B7 (5,874,000)	21,235	
R1 = 7,200 SF	B7 (5,474,000)	32,448	
B2 = 7,000 SF	B3 (5,771,000)	34,897	12 CARS
B3 = 2,800 SF	B7 (10,471,000)	30,432	7.5 CARS
Total: 41,870 SF	289 CARS (8,241,000)	287,816 SF	

Right of Way Work and Drive Aisle to be Done by Developer

CONSTRUCTION NOTES

- ① 2'x2' PRE-CAST CONCRETE INLET
- ② CONCRETE HEADWALL
- ③ STORM DRAIN MANHOLE PER PERC MESH
- ④ CATCH BASIN AS PER PERC CENTER
- ⑤ 3'x3' PRE-CAST CONCRETE INLET
- ⑥ CONNECT TO EXISTING 30" RCP
- ⑦ 4'x4' PRE-CAST CONCRETE INLET



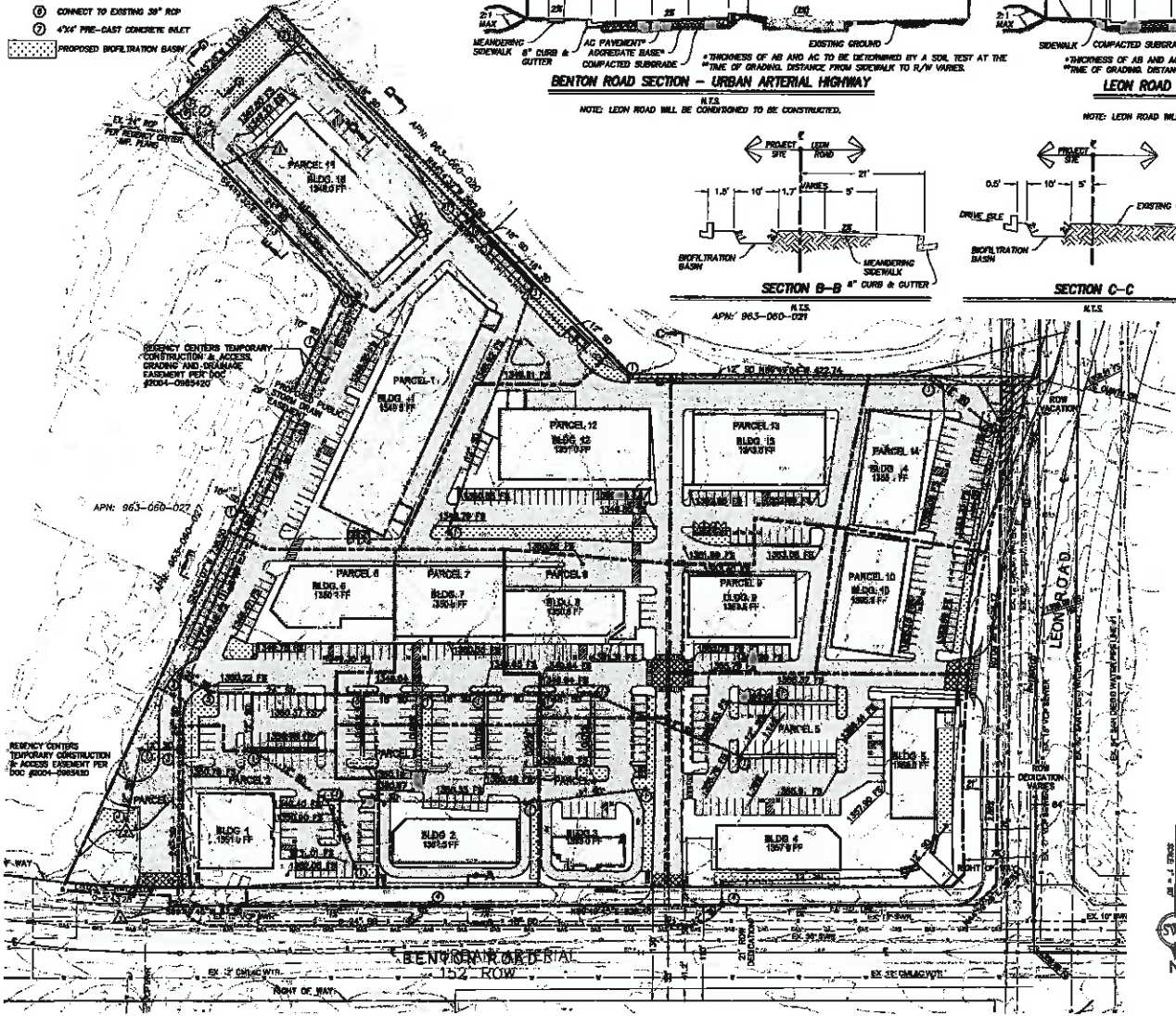
- EXISTING EASEMENTS**
- ▲ RESIDENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. #2004-008420
 - ▲ RESIDENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-008420
 - ▲ R/W DEDICATION PER DOC. # 2007-076874

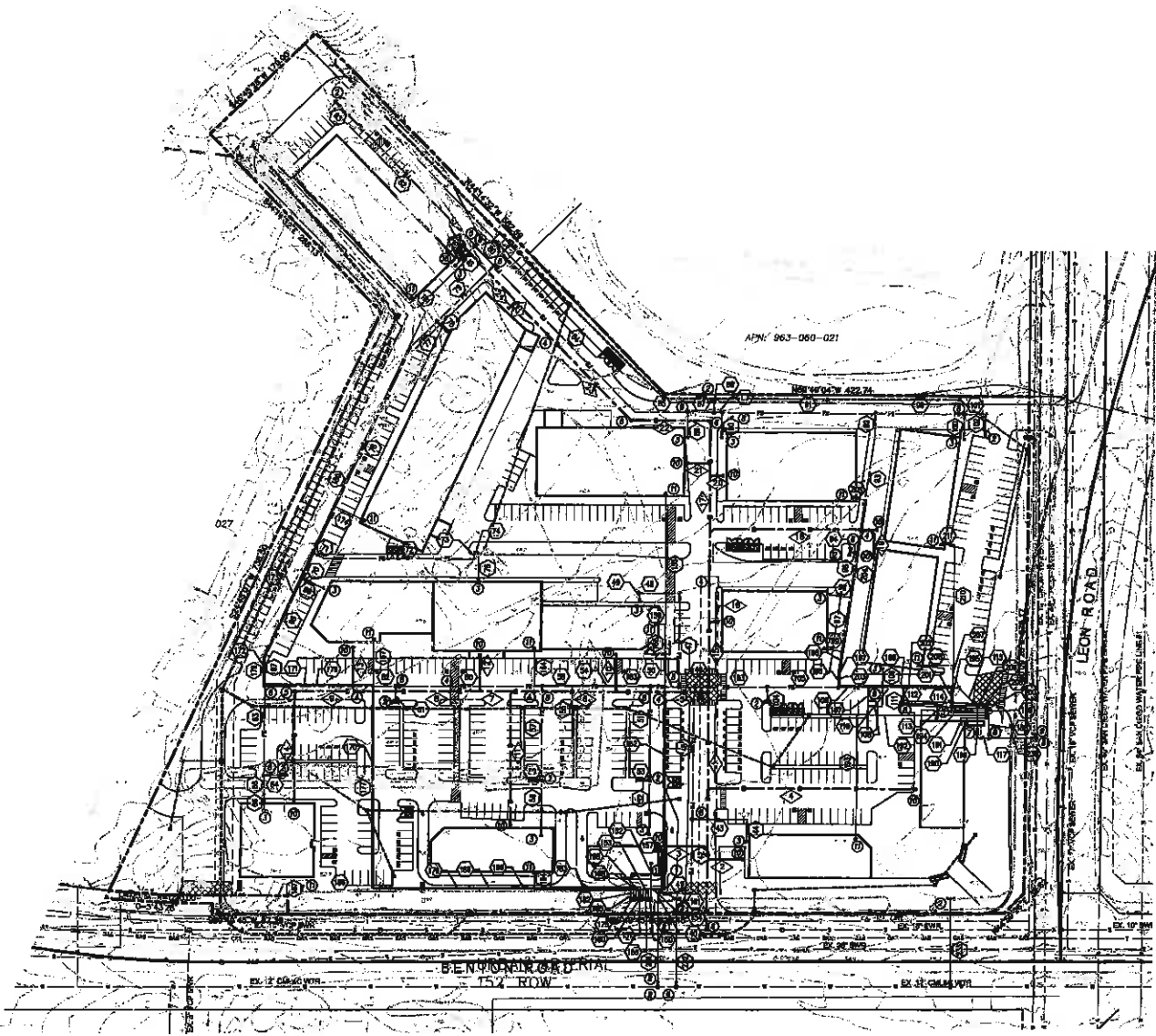
- NOTES**
- DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD NO. 007A.
 - THERE ARE CURRENTLY NO STREET LIGHTS ON BENTON ROAD ADJACENT TO THE PROJECT SITE.

PRELIMINARY EARTHWORK

CUT	11,730 CY
FILL	18,700 CY
IMPORT	4,020 CY

SWS ENGINEERING, INC.
 Civil Engineering & Land Resources
 101 North Main Street, Suite 110
 San Diego, CA 92101
 P: 760-441-1111 F: 760-441-1112
 www.sws-engineering.com





APN: 963-060-021

NE 1/4 422.74

PRELIMINARY UTILITY

PUBLIC WATER DATA TABLE			
SYM	LENGTH	DELTA/BRG.	DESCRIPTION
22	54.60'	S88°40'10"W	12" SDI 40 PIG
23	97.30'	N00°10'00"W	12" SDI 40 PIG
24	101.60'	N00°10'00"W	8" C-300 PIG
25	101.60'	S00°11'00"E	8" C-300 PIG

SEWER DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
1	274.90'	S00°00'00"E	8" SDR-35
2	41.25'	N00°00'00"W	8" SDR-35
3	35.80'	S88°49'44"W	8" SDR-35
4	241.81'	N00°00'00"W	8" SDR-35
5	86.37'	N00°00'00"E	8" SDR-35
6	140.83'	N00°00'00"E	8" SDR-35
7	100.00'	N00°00'00"E	8" SDR-35
8	99.89'	N00°00'00"E	8" SDR-35
9	79.05'	N00°00'00"E	8" SDR-35
10	44.40'	S00°00'00"E	8" SDR-35
11	182.75'	S00°10'16"E	8" SDR-35
12	43.54'	S00°00'00"E	8" SDR-35
13	51.90'	S00°00'00"E	8" SDR-35
14	128.30'	N00°00'00"E	8" SDR-35
15	123.04'	S00°00'00"E	8" SDR-35
16	10.67'	N00°00'00"W	8" SDR-35
17	189.00'	N00°00'00"E	8" SDR-35
18	194.28'	N00°00'00"W	8" SDR-35
19	32.63'	N00°00'00"E	8" SDR-35
20	15.40'	N00°00'00"W	8" SDR-35
21	28.54'	S88°49'44"W	8" SDR-35
22	92.02'	N88°48'04"W	8" SDR-35
23	140.07'	N44°4'32"W	8" SDR-35
24	141.17'	N44°4'32"W	8" SDR-35
25	11.97'	N40°45'28"E	8" SDR-35
26	11.97'	N45°45'28"E	8" SDR-35

CONSTRUCTION NOTES

- 1 1" WATER METER & BACKFLOW PREVENTER
- 2 FIRE HYDRANT
- 3 PDC & RIV
- 4 4" SEWER CLEANOUT
- 5 8" SEWER CLEANOUT
- 6 SS MANHOLE
- 7 8" GATE VALVE
- 8 CONNECT TO EXISTING 12" GALVANIZED
- 9 4" SS P.O.C. TO BUILDING
- 10 1" DOMESTIC WATER P.O.C. TO BUILDING

NOTE: SEE SHEET 2 FOR WATER AND FIRE SERVICE DATA TABLES



SWS ENGINEERING, INC.
 Civil Engineers • Land Planners • Surveyors
 201 Avenida Del Mar, Suite 105 Temecula, CA 92592
 P: 951-346-8811 F: 951-346-8811 R: 951-346-8811

FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA
 PRELIMINARY UTILITY PLAN

W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 05 OF 38
 DATE: December 01, 2017
 SCALE: NTS
C2.0

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
40	8.18'	N0010'00"W	1" C-800 PWC
41	38.09'	N90'00'00"E	1" C-800 PWC
42	86.17'	S002'44"W	1" C-800 PWC
43	83.11'	N90'00'00"W	1" C-800 PWC
44	28.18'	N00'00'00"E	1" C-800 PWC
45	133.42'	N00'24'47"E	1" C-800 PWC
46	17.86'	N90'00'00"E	1" C-800 PWC
47	108.18'	S00'00'00"E	1" C-800 PWC
48	48.39'	N90'00'00"E	1" C-800 PWC
49	7.90'	N00'00'00"E	1" C-800 PWC
50	33.48'	N90'00'00"E	1" C-800 PWC
51	108.71'	N00'00'00"E	1" C-800 PWC
52	82.88'	N00'00'00"E	1" C-800 PWC
53	11.13'	N90'00'00"E	1" C-800 PWC
54	80.10'	N90'00'00"E	1" C-800 PWC
55	83.41'	N00'00'00"E	1" C-800 PWC
56	148.88'	N90'00'00"E	1" C-800 PWC
57	108.17'	N00'00'00"E	1" C-800 PWC
58	83.82'	N00'00'00"E	1" C-800 PWC
59	11.18'	N90'00'00"E	1" C-800 PWC
60	188.84'	N90'00'00"E	1" C-800 PWC
61	18.89'	N00'00'00"E	1" C-800 PWC
62	151.31'	N90'00'00"E	1" C-800 PWC
63	103.42'	N00'00'00"E	1" C-800 PWC
64	24.89'	N90'00'00"W	1" C-800 PWC
65	23.04'	N00'00'00"E	1" C-800 PWC
66	20.13'	N00'00'00"E	1" C-800 PWC
67	33.04'	S00'00'00"E	1" C-800 PWC
68	100.89'	S2'44'07"W	1" C-800 PWC
69	27.22'	N85'14'33"W	1" C-800 PWC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
70	31.87'	N24'45'07"E	1" C-800 PWC
71	14.17'	N80'14'53"W	1" C-800 PWC
72	172.44'	S89'52'29"E	1" C-800 PWC
73	7.81'	S00'04'21"W	1" C-800 PWC
74	8.53'	N90'00'00"E	1" C-800 PWC
75	32.14'	S00'00'00"E	1" C-800 PWC
76	284.81'	N24'46'07"E	1" C-800 PWC
77	41.81'	N48'48'28"E	1" C-800 PWC
78	18.04'	N44'14'32"W	1" C-800 PWC
79	91.47'	N43'40'28"E	1" C-800 PWC
80	31.88'	N44'14'32"W	1" C-800 PWC
81	31.83'	S43'45'28"W	1" C-800 PWC
82	216.78'	N44'14'32"W	1" C-800 PWC
83	28.01'	N44'14'32"W	1" C-800 PWC
84	238.50'	N44'14'32"W	1" C-800 PWC
85	81.73'	S82'49'04"E	1" C-800 PWC
86	28.32'	N00'10'58"E	1" C-800 PWC
87	30.81'	S82'49'04"E	1" C-800 PWC
88	18.18'	S00'13'28"W	1" C-800 PWC
89	9.24'	S89'49'04"E	1" C-800 PWC
90	28.32'	N00'10'58"E	1" C-800 PWC
91	177.89'	S89'49'04"E	1" C-800 PWC
92	24.03'	N00'10'58"E	1" C-800 PWC
93	138.81'	S08'26'39"W	1" C-800 PWC
94	8.83'	S78'24'51"E	1" C-800 PWC
95	51.82'	S08'26'39"W	1" C-800 PWC
96	23.94'	S81'33'21"E	1" C-800 PWC
97	88.23'	S08'26'39"W	1" C-800 PWC
98	18.48'	S00'00'00"E	1" C-800 PWC
99	102.89'	S89'48'04"E	1" C-800 PWC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
100	29.32'	N00'10'58"E	1" C-800 PWC
101	24.68'	S89'49'04"E	1" C-800 PWC
102	22.39'	N00'10'58"E	1" C-800 PWC
103	84.20'	N90'00'00"E	1" C-800 PWC
104	17.28'	S00'00'00"E	1" C-800 PWC
105	88.68'	N90'00'00"E	1" C-800 PWC
106	34.73'	N90'00'00"E	1" C-800 PWC
107	21.11'	N00'00'00"E	1" C-800 PWC
108	18.17'	N90'00'00"W	1" C-800 PWC
109	44.50'	N00'00'00"E	1" C-800 PWC
110	40.82'	N90'00'00"E	1" C-800 PWC
111	18.28'	N00'00'00"E	1" C-800 PWC
112	38.81'	N90'00'00"W	1" C-800 PWC
113	18.10'	S00'00'00"E	1" C-800 PWC
114	63.91'	N90'00'00"E	1" C-800 PWC
115	31.08'	N43'00'00"W	1" C-800 PWC
116	35.78'	N00'00'00"E	1" C-800 PWC
117	13.32'	N89'48'10"E	1" C-800 PWC
118	15.79'	S27'38'30"W	1" SCH 40 PWC
119	23.12'	S89'38'20"W	1" SCH 40 PWC
120	26.77'	N00'00'00"E	1" SCH 40 PWC
121	8.30'	N00'21'40"W	1" SCH 40 PWC
122	19.38'	S89'38'20"W	1" SCH 40 PWC
123	497.48'	S00'21'40"E	1" SCH 40 PWC
124	8.30'	N00'21'40"W	1" SCH 40 PWC
125	21.25'	S89'38'20"W	1" SCH 40 PWC
126	307.18'	S00'21'40"E	1" SCH 40 PWC
127	16.28'	N89'38'20"E	1" SCH 40 PWC
128	10.90'	N00'21'40"W	1" SCH 40 PWC
129	23.20'	S89'38'20"W	1" SCH 40 PWC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
130	234.97'	S00'21'40"E	1" SCH 40 PWC
131	148.88'	N90'00'00"E	1" SCH 40 PWC
132	43.14'	S00'00'00"E	1" SCH 40 PWC
133	12.90'	N00'21'40"W	1" SCH 40 PWC
134	309.33'	N89'38'20"E	1" SCH 40 PWC
135	288.85'	S00'21'40"E	1" SCH 40 PWC
136	11.80'	N00'21'40"W	1" SCH 40 PWC
137	307.43'	N89'38'20"E	1" SCH 40 PWC
138	237.10'	S00'21'40"E	1" SCH 40 PWC
139	128.21'	N90'00'00"E	1" SCH 40 PWC
140	31.28'	S00'00'00"E	1" SCH 40 PWC
141	191.48'	S34'48'07"W	1" SCH 40 PWC
142	36.40'	N83'14'53"W	1" SCH 40 PWC
143	10.90'	N00'21'40"W	1" SCH 40 PWC
144	303.79'	N89'38'20"E	1" SCH 40 PWC
145	837.10'	S00'21'40"E	1" SCH 40 PWC
146	128.22'	N90'00'00"E	1" SCH 40 PWC
147	32.48'	S00'00'00"E	1" SCH 40 PWC
148	441.03'	S24'48'07"W	1" SCH 40 PWC
149	22.85'	S44'12'33"E	1" SCH 40 PWC
150	9.80'	N00'21'40"W	1" SCH 40 PWC
151	114.81'	N89'38'20"E	1" SCH 40 PWC
152	18.53'	S00'10'42"E	1" SCH 40 PWC
153	8.50'	N00'21'40"W	1" SCH 40 PWC
154	378.74'	N89'38'20"E	1" SCH 40 PWC
155	9.84'	N00'00'00"E	1" SCH 40 PWC
156	27.88'	S00'10'30"E	1" SCH 40 PWC
157	14.60'	N00'00'00"E	1" SCH 40 PWC
158	26.13'	N90'00'00"E	1" SCH 40 PWC
159	8.87'	N00'00'00"E	1" SCH 40 PWC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
160	148.88'	N90'00'00"E	1" SCH 40 PWC
161	143.43'	N00'00'00"E	1" SCH 40 PWC
162	40.39'	N90'00'00"W	1" SCH 40 PWC
163	28.98'	S00'00'00"E	1" SCH 40 PWC
164	128.82'	N90'00'00"E	1" SCH 40 PWC
165	12.38'	S00'00'00"E	1" SCH 40 PWC
166	33.88'	S08'26'39"W	1" SCH 40 PWC
167	31.37'	S81'33'21"E	1" SCH 40 PWC
168	38.38'	N90'00'00"W	1" SCH 40 PWC
169	28.04'	S00'00'00"E	1" SCH 40 PWC
170	129.82'	N90'00'00"E	1" SCH 40 PWC
171	18.30'	S00'00'00"E	1" SCH 40 PWC
172	198.81'	S08'26'39"W	1" SCH 40 PWC
173	18.80'	S81'33'21"E	1" SCH 40 PWC
174	38.38'	N90'00'00"W	1" SCH 40 PWC
175	48.27'	S00'00'00"E	1" SCH 40 PWC
176	38.17'	N90'00'00"E	1" SCH 40 PWC
177	37.38'	N90'00'00"E	1" SCH 40 PWC
178	188.24'	S00'00'00"E	1" SCH 40 PWC
179	14.89'	N90'00'00"E	1" SCH 40 PWC

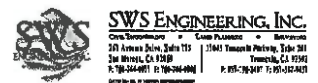
FRENCH VALLEY COMMONS PRELIMINARY WATER TABLE

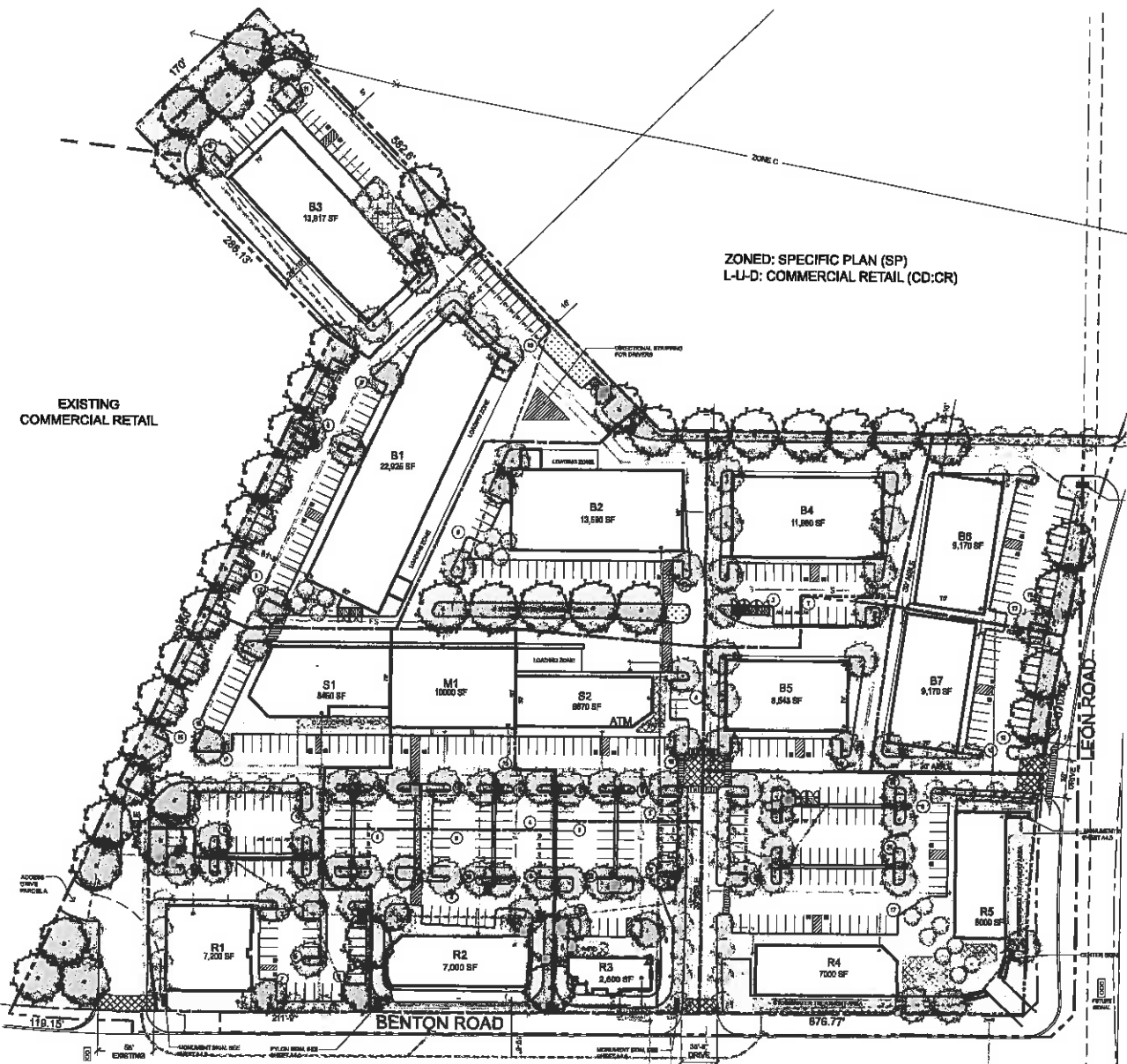
FRENCH VALLEY, CALIFORNIA

W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 06 OF 96
DATE: December 01, 2017
SCALE: NTS

C3.0





Preliminary Planting Legend:

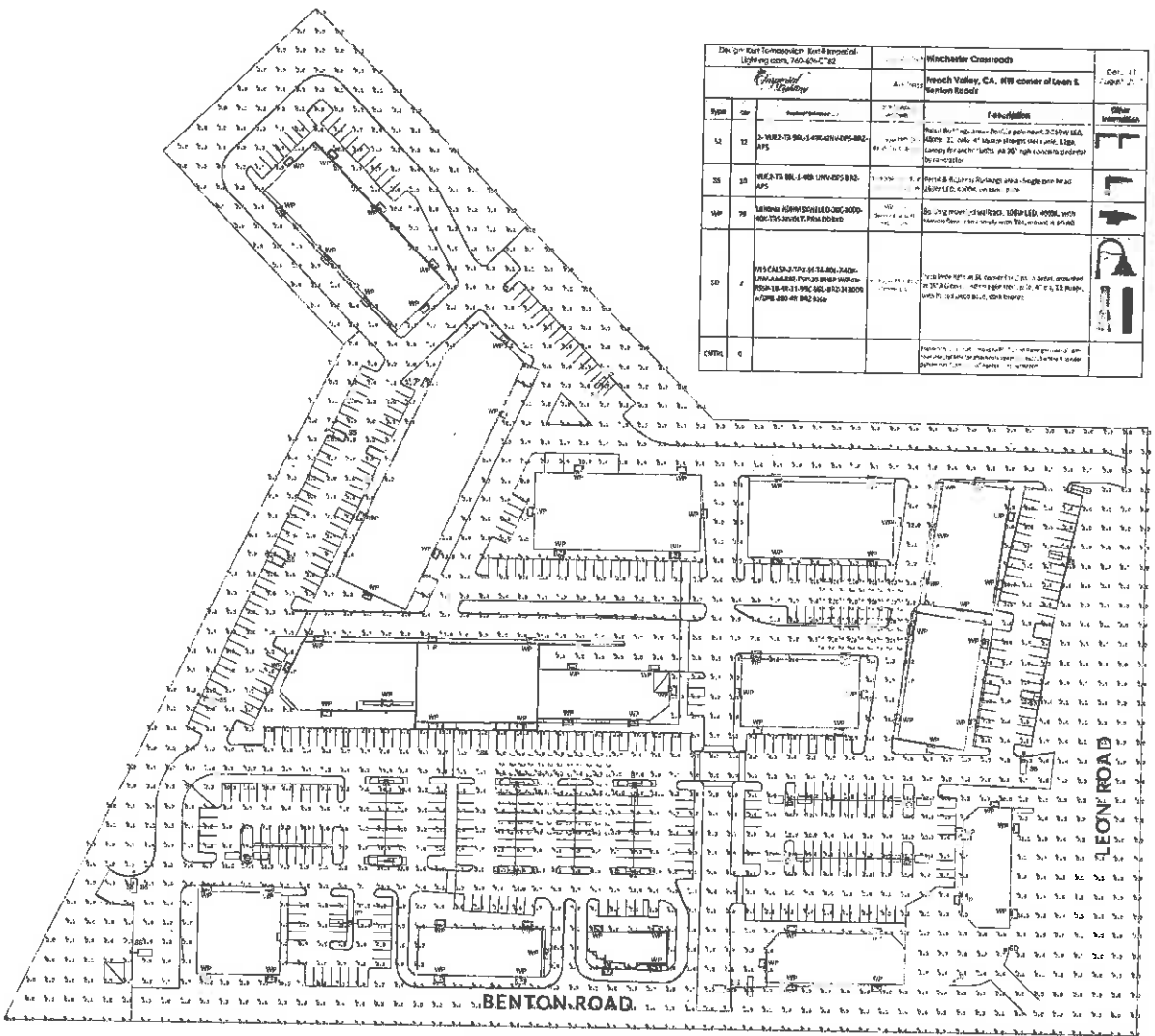
Symbol	Botanical / Common Name	Size	Spacing (O.C.)	WUCOLS	Comments
	<i>Oliva europaea</i> 'Sunset' / Sunset Hill Olive	24" Box	As Shown	L	Standard
	<i>Lagerstroemia lylei</i> 'Mustoge' / Lavender Flowering Cape Myrtle	24" Box	As Shown	M	Standard
	<i>Ulmus parvifolia</i> 'Drake' / Drake Bergreen Elm	24" Box	As Shown	M	Standard
Shrubs, Perennials, Groundcovers, and Ornamental Grasses:					
	<i>Abelia x grandiflora</i> 'Sunset' / Sunset Variegated Abelia	3 gal.	3'	M	
	<i>Arctostaphylos 'Sunset' / Sunset Manzanita</i>	5 gal.	4'	L	
	<i>Achillea x 'Companion Gold' / Companion Gold Yarrow</i>	1 gal.	2'	L	
	<i>Argemone 'Rediva' / Bush Gems Kangaroo Paw</i>	5 gal.	2.5'	L	
	<i>Arctostaphylos 'Pacific Mist' / Pacific Mist Arctostaphylos</i>	1 gal.	0'	L	
	<i>Callistemon viminalis 'Little John' / Little John Bottlebrush</i>	2 gal.	2'	M	
	<i>Franseria californica 'Eve Case' / Eve Case Coffeeberry</i>	5 gal.	0'	L	
	<i>Franseria californica 'Seaview' / Seaview Coffeeberry</i>	1 gal.	0'	L	
	<i>Festuca glauca / Blue Fescue</i>	1 gal.	18"	M	
	<i>Lantana 'New Gold' / New Gold Lantana</i>	1 gal.	18"	L	
	<i>Lavandula angustifolia 'Thymbella Leigh' / English Lavender</i>	2 gal.	2'	L	
	<i>Lavandula stoechas 'Olio Quest' / Olio Quest Spanish Lavender</i>	1 gal.	2'	L	
	<i>Muhlenbergia rigens / Deer Grass</i>	1 gal.	3'	M	
	<i>Ronmarcus officinalis 'Prostratus' / Prostrate Rosemary</i>	1 gal.	5'	L	
<i>Salvia leucantha 'Santa Barbara' / Santa Barbara Sage</i>	5 gal.	3'	L		
Shrublets/Treatment Areas:					
	<i>Quercus virginiana 'Heritage' / Heritage Southern Live Oak</i>	24" Box	As Shown	M	Standard
Perennial/ Ornamental Grasses:					
	<i>Carex / Sedge</i>	1 gal.	1'	M	
	<i>Cornifolium 'Pyriformis' / California Ulic</i>	5 gal.	4'	M	
	<i>Festuca californica 'River House Blue' / California Fescue</i>	1 gal.	3'	L	
	<i>Muhlenbergia rigens / Deer Grass</i>	1 gal.	3'	L	
	<i>Calamagrostis x acutiflora 'Karl Foerster' / Feather Road Grass</i>	1 gal.	2'	M	

Landscape Data:

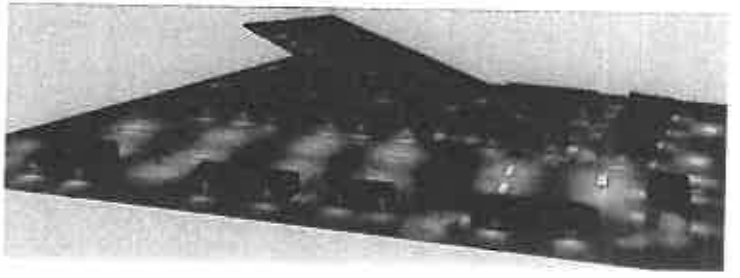
Total Site Area: 612,405 SF
 Landscape Area Required: 67,366 SF (SD+ spaces = 11% landscape)
 Landscape Area Provided: 167,171 SF (27%)
 Landscape Shading Requirement: 130,845 SF (SD+ spaces = 50% of parking lot)
 Landscape Shading Provided: 157,523 SF (52%)
 Shade Cals based on a 15 year maturity

Notes:

- The Irrigation system will be a water efficient low flow, point source system designed to provide adequate watering to support plant growth and insure deeply rooted plant material while avoiding excess water application. The system will be programmable, allowing operation during late night and/or early morning hours, with multiple start times and cycles. The system will interface with a weather based sensor that will adjust the amount of water applied to the plant material based on daily weather conditions. Irrigation materials specified for the site will be selected on the basis of availability and ease of maintenance. Landscape Irrigation will comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO).
- MAMA: 8,250.245
 ETWA: 3,471.654
 ETWU: conforms with MAMA
- Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 859-3; Ordinance 348, Ordinance 461; project Conditions of Approval; and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.
- Planting Legend Plants are all listed on the County of Riverside California Friendly Plant List.
- Per Ordinance 348 Section 18.12 a 12" concrete walkway shall be constructed along and parking stalls adjacent to parking spaces.



Detailed Item Description: See Appendix A for Lighting Item, 100-400-2-02		Quantity	Manufacturer	Notes	
Winchester Crossroads French Valley, CA - NW corner of Leon & Benton Roads					
Item	Qty	Manufacturer	Notes	Other Information	
12	25	2-100W 120V 5000K 2400LM LED	4000K 2400LM LED	2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED	⌊
23	15	150W 120V 5000K 2400LM LED	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED	⌊
14	75	150W 120V 5000K 2400LM LED	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED	⌊
15	2	150W 120V 5000K 2400LM LED	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED	⌊
Winchester Crossroads French Valley, CA - NW corner of Leon & Benton Roads					
150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED, 150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED					
150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED, 150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED					
150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED, 150W 120V 5000K 2400LM LED, 4000K 2400LM LED, 2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED					



Winchester Crossroads - French Valley, CA
 Special Lighting Photometric Drawing
 12/01/17

Category	Item	Description	Quantity	Manufacturer	Notes
Lighting	12	2-100W 120V 5000K 2400LM LED	25	4000K 2400LM LED	2-100W 120V 5000K 2400LM LED, 4000K 2400LM LED
	23	150W 120V 5000K 2400LM LED	15	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED
Signage	14	150W 120V 5000K 2400LM LED	75	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED
	15	150W 120V 5000K 2400LM LED	2	4000K 2400LM LED	150W 120V 5000K 2400LM LED, 4000K 2400LM LED

FRENCH VALLEY COMMONS

PHOTOMETRIC STUDY

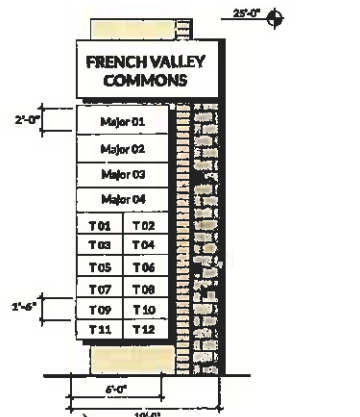
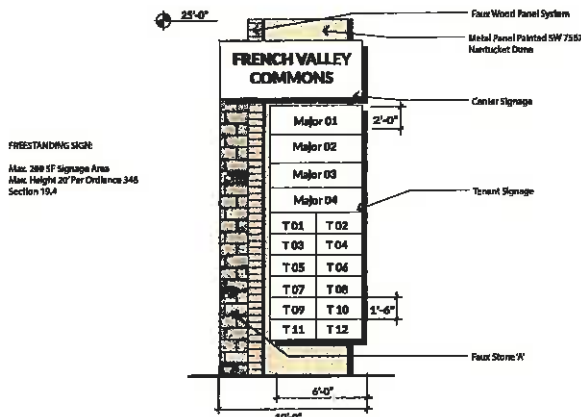
FRENCH VALLEY, CALIFORNIA



W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG: 08
 OF 36
 DATE: December 01, 2017
 SCALE: NTS

A2.0



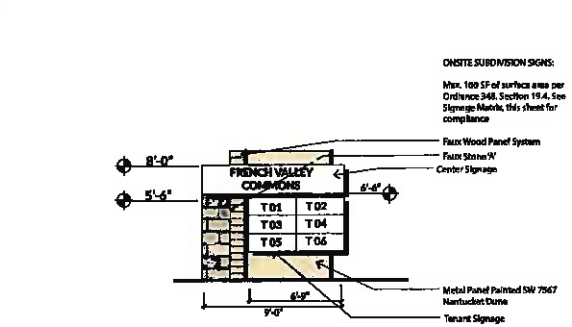
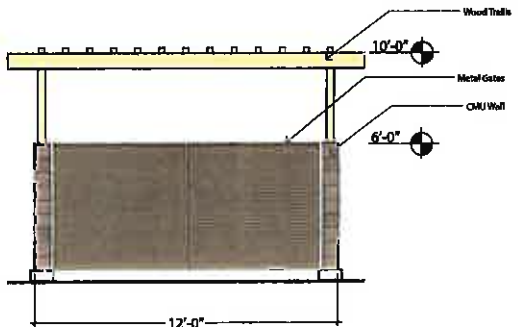
A Pylon Sign - Front and Back Elevations (2 Locations)

SIGNAGE MATRIX

French Valley Commons Package Description	Total Proposed Signage	Building Wall Dimensions	Total Wall Surface Footage	Total Signage Allowed
M1- Front Sign A	212	110'x22'	2420	172.5
Pod 01-Front Sign A	54.0	9'-0" x 11'-0"	990	158.5
Pod 01-Side Sign B	60.0	30'x11'	3300	158.5
Pod 02-Front Sign A	54.0	9'-0" x 11'-0"	990	158.5
Pod 02-Side Sign B	60.0	30'x11'	3300	158.5
Pod 10-Front Sign A	118.0	60' x 12'-0"	7200	158.5
Pod 10-Side Sign B	72	45' x 10'	4500	158.5
Pod 10-Overlapping Center Side Sign C	72	45' x 10'	4500	158.5
Pod 15-Corner Signage	86	110'x10'	1100	158.5
Pod 15-West Side Signage	24	20'x10'	2000	158.5
Pod 15-East Side Signage	24	20'x10'	2000	158.5
Pod 05-Street-to-Entry Direction Sign	12.0	10'x10'	1000	158.5
Pod 05-Street-to-Side Sign	45.0	15'x11'	1650	158.5
Pod 05-Street-to-Street Sign	25.0	10'x10'	1000	158.5
Pod 04-Corner Signage	80	10'-0" x 10'-0"	1000	158.5
Pod 04-West Side Signage	30	20'-0" x 10'	2000	158.5
Pod 04-East Side Signage	30	20'-0" x 10'	2000	158.5
Pod 04-Corner Signage	96	110'x10'	1100	158.5
Pod 04-West Side Signage	24	20'x10'	2000	158.5
Pod 04-East Side Signage	24	20'x10'	2000	158.5
Pod 01-Front Sign A	200	200'x10'x10'	2000	158.5
Pod 01-Rear Sign B	200	200'x10'x10'	2000	158.5
Pod 01-Side Sign C	25	10'x10'	1000	158.5
Pod 02-Front Sign A	200	171'x10'x10'	1710	158.5
Pod 02-Rear Sign B	200	171'x10'x10'	1710	158.5
Pod 02-Side Sign C	25	10'x10'	1000	158.5
Pod 03-Front Sign A	200	171'x10'x10'	1710	158.5
Pod 03-Rear Sign B	200	171'x10'x10'	1710	158.5
Pod 03-Side Sign C	25	10'x10'	1000	158.5
Pod 04-Front Sign A	200	169'x10'x10'	1690	158.5
Pod 04-Rear Sign B	200	169'x10'x10'	1690	158.5
Pod 04-Side Sign C	25	10'x10'	1000	158.5
Pod 04-Side Sign D	25	10'x10'	1000	158.5
Pod 05-Front Sign A	200	152'x10'x10'	1520	158.5
Pod 05-Rear Sign B	200	152'x10'x10'	1520	158.5
Pod 05-Side Sign C	25	10'x10'	1000	158.5
Pod 05-Side Sign D	25	10'x10'	1000	158.5
Pod 06-Front Sign A	200	152'x10'x10'	1520	158.5
Pod 06-Rear Sign B	200	152'x10'x10'	1520	158.5
Pod 06-Side Sign C	25	10'x10'	1000	158.5
Pod 07-Front Sign A	200	152'x10'x10'	1520	158.5
Pod 07-Rear Sign B	200	152'x10'x10'	1520	158.5
Pod 07-Side Sign C	25	10'x10'	1000	158.5
Totals	3,885.00		11,700.00	

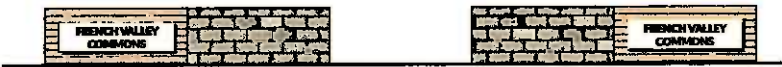
Pylon Sign-Per Single Side: 250
 Center ID Signage per Single Side: 50
 Monument Sign - Per Double Side: 75

NOTES:
 SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



D Trash Enclosure - Front Elevation

B Monument Sign - Front Elevation (3 Total)



C Center ID Singage



Standing Seam Metal Roof
Manufacturer: Berridge Manufacturing or Equal
Color Name: Charcoal Gray



Heavy Timber/ Glu-lam Beam 4x Timber
Color: Natural Stain



Foam with Sheet Metal Cap
Paint:
Brand: Sherwin Williams
Brand Number: SW 2849
Color Name: Westchester Gray



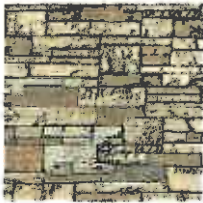
Precedent Imagery

A Metal Seam Roof

B Heavy Timber Pop-out

C Foam Cornice with Sheet Metal Cap

D Corrugated Metal Awning



Faux Stone Wainscot 'A'
Manufacturer: Cultured Stone by Boral
Product: Country LedgeStone
Color: Aspen



Faux Stone Wainscot 'B'
Manufacturer: Cultured Stone by Boral
Product: Country LedgeStone
Color: Chardonnay



Faux Wood Slat Panel System
Manufacturer: Nichina
Product: Vintage Wood
Color: Cedar



Horizontal Siding
Manufacturer: Boral
Product: Channel Siding
Paint:
Brand: Sherwin Williams
Brand Number: SW 7641
Color Name: Colonnade Gray

Precedent Image

E Faux Stone Wainscot 'A'

F Faux Stone Wainscot 'B'

G Faux Wood Slat Panel System

H Horizontal Siding

Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 6000
Color Name: Snowfall



Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 6750
Color Name: Waterfall



Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 6868
Color Name: Real Red

Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 7006
Color Name: Extra White

I Stucco Finish - SW 6000

J Stucco Finish - SW 6750

K Stucco Finish - SW 6868

L Stucco Finish - SW 7006



Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 7016
Color Name: Mindful Gray

Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 7103
Color Name: Whitefall



Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 7516
Color Name: Kestrel White

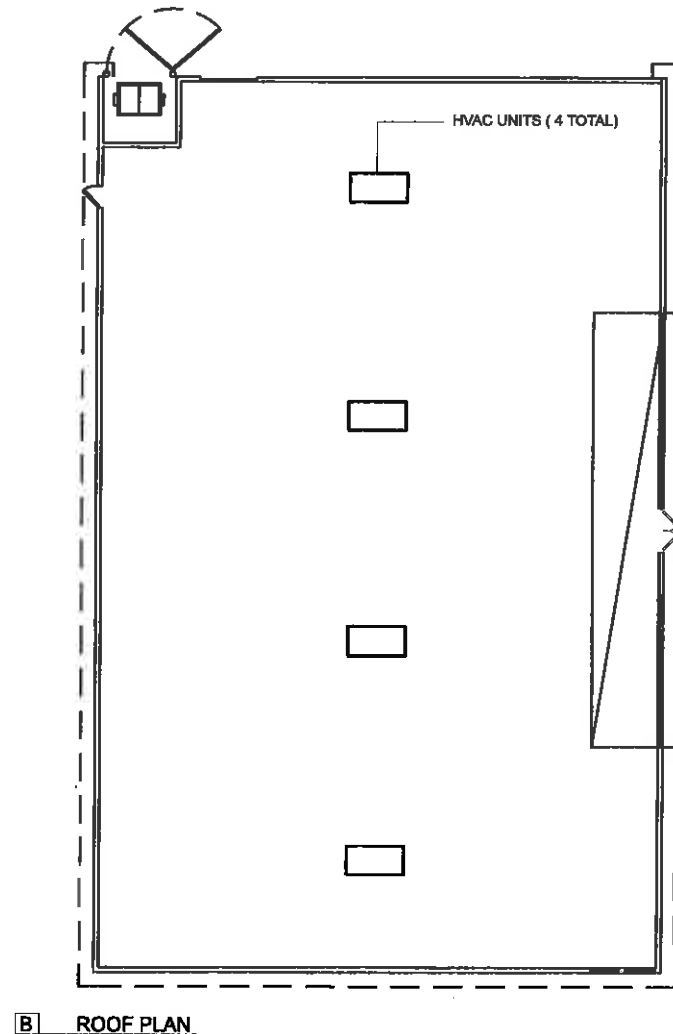
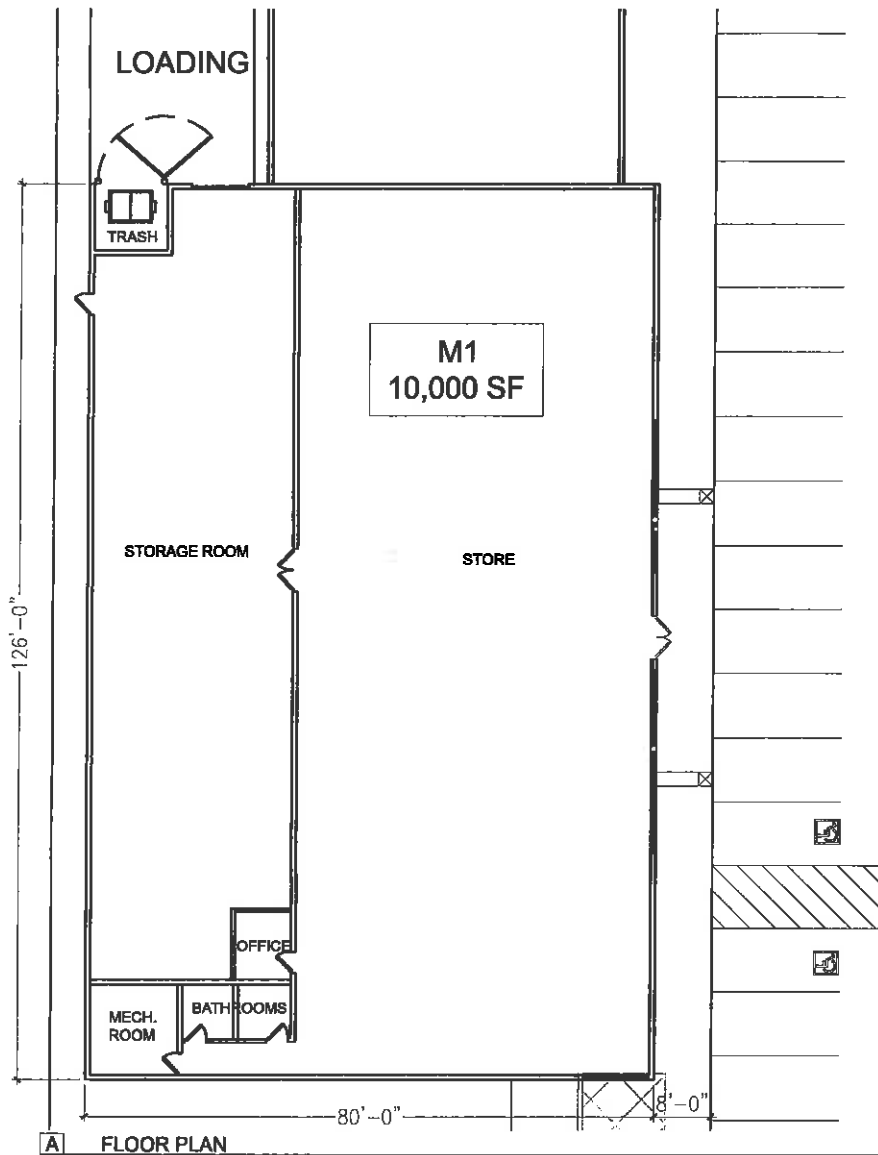
Stucco Finish
Paint:
Brand: Sherwin Williams
Brand Number: SW 7567
Color Name: Nantucket Dune

L Stucco Finish - SW 7016

M Stucco Finish - SW 7103

N Stucco Finish - SW 7516

O Stucco Finish - SW 7567



NOTES:
1. SINGLE TENANT - NON FOOD/RETAIL



FRENCH VALLEY COMMONS
M1 BUILDING FLOOR AND ROOF PLANS

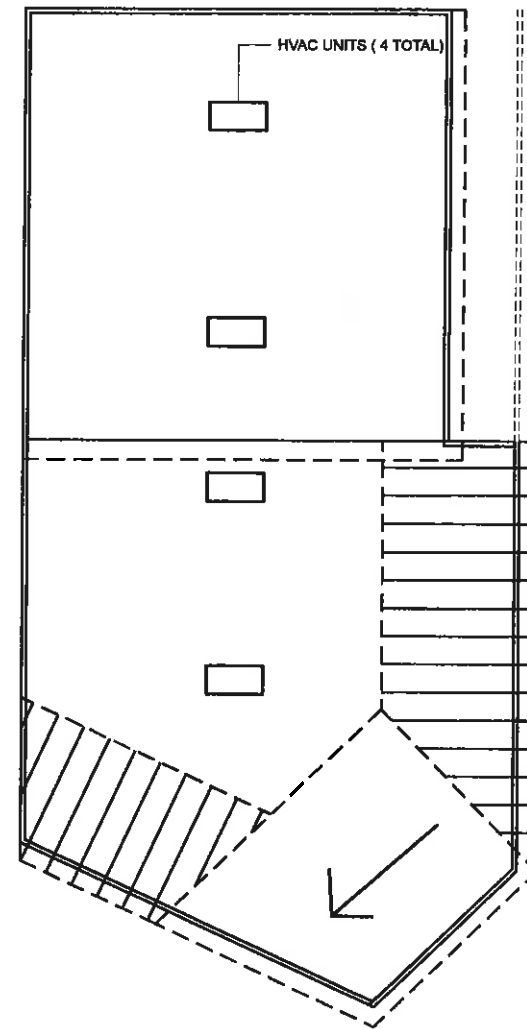
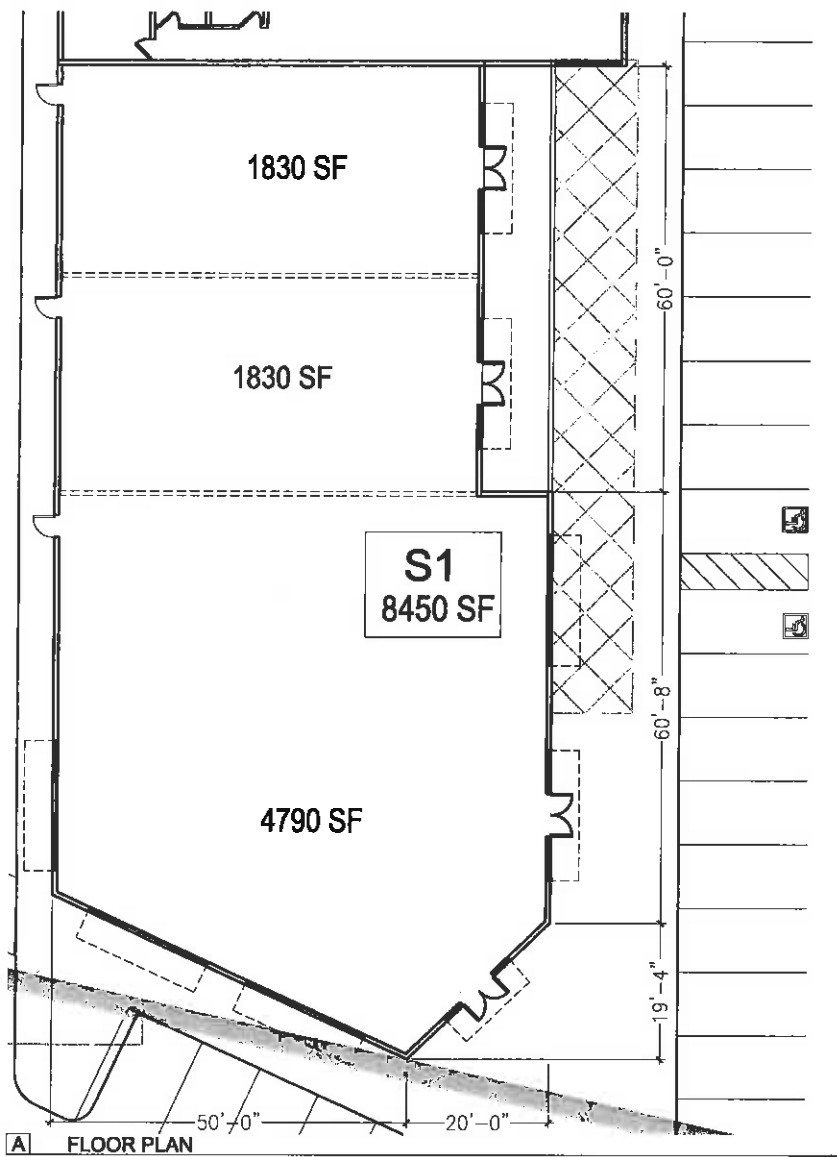
FRENCH VALLEY,
CALIFORNIA



W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 24
OF 36
DATE: December 01, 2017
SCALE: 1/8" = 1'-0"

A5.0



NOTES:
 1. MULTIPLE TENANT - NON FOOD/RETAIL



FRENCH VALLEY COMMONS
 S1 BUILDING FLOOR AND ROOF PLANS

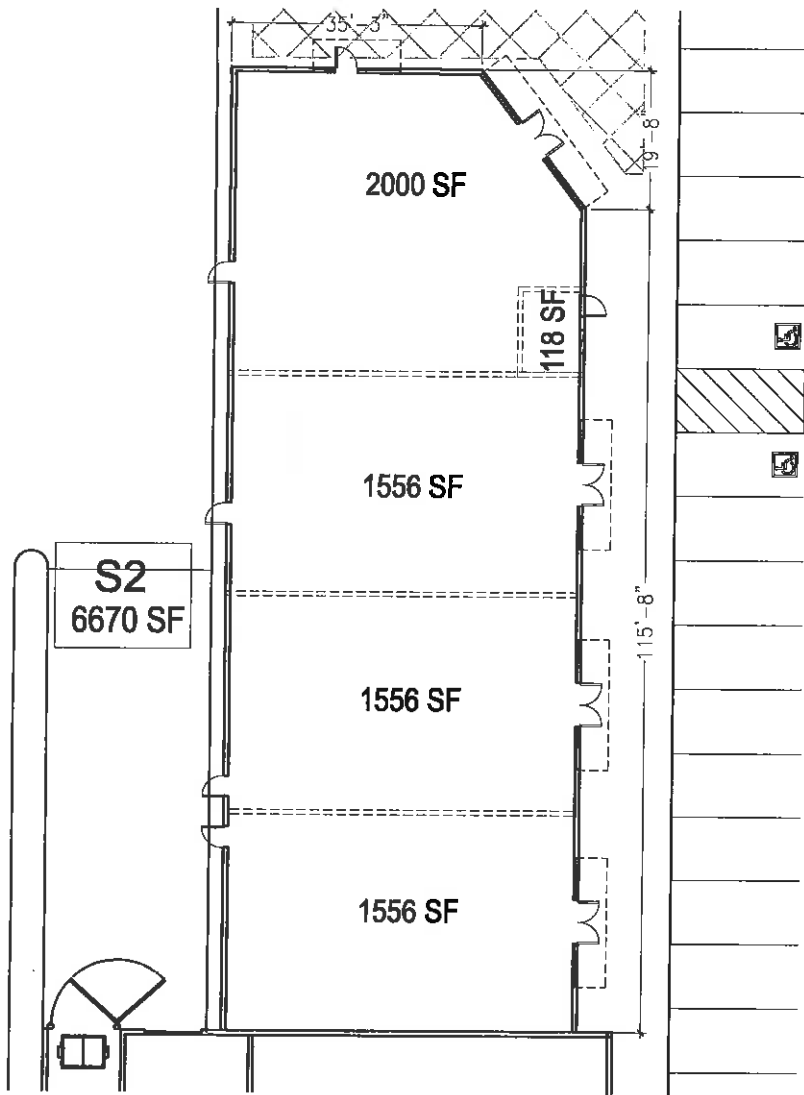
FRENCH VALLEY,
 CALIFORNIA



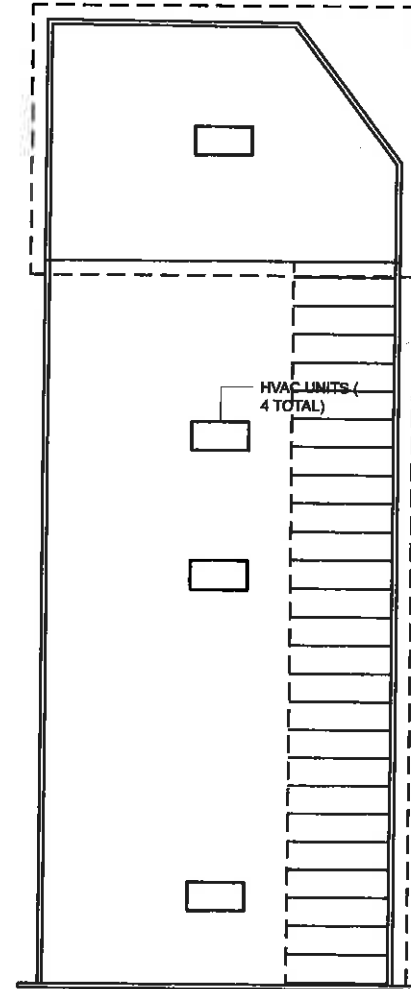
W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG: 25
 OF 36
 DATE: December 01, 2017
 SCALE: 1/4" = 1'-0"

A5.1



A FLOOR PLAN



B ROOF PLAN

- NOTES:
 1. MULTIPLE TENANTS:
 30% FOOD (2,000 SF MAX)
 70% NON-FOOD/RETAIL (4,670 SF MAX)



FRENCH VALLEY COMMONS
 S2 BUILDING FLOOR AND ROOF PLANS

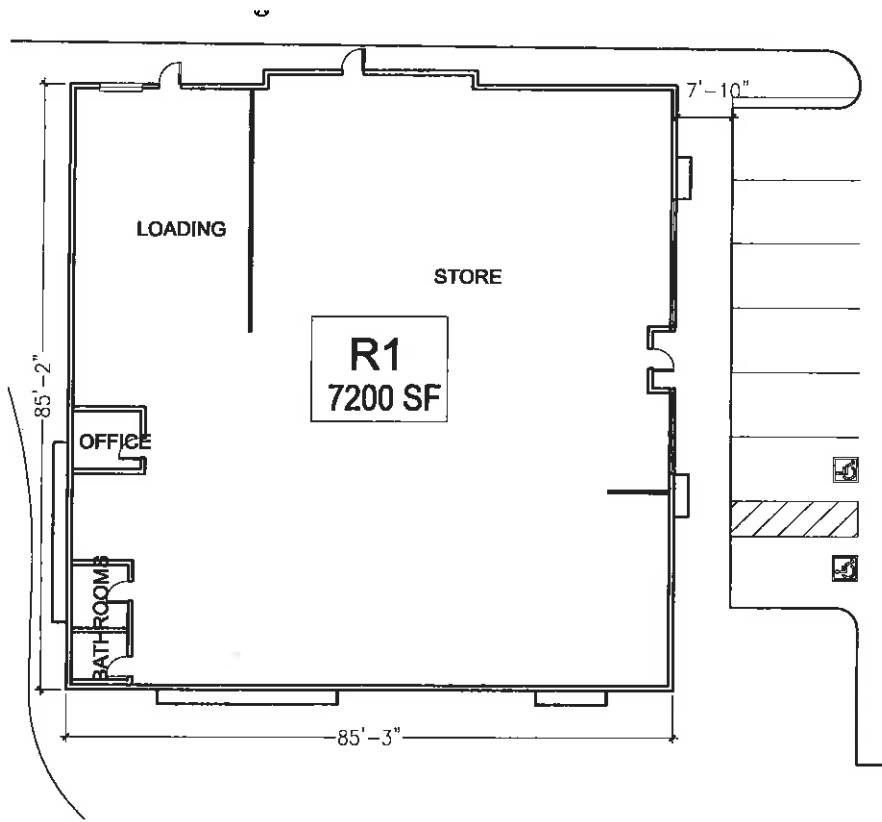
FRENCH VALLEY,
 CALIFORNIA



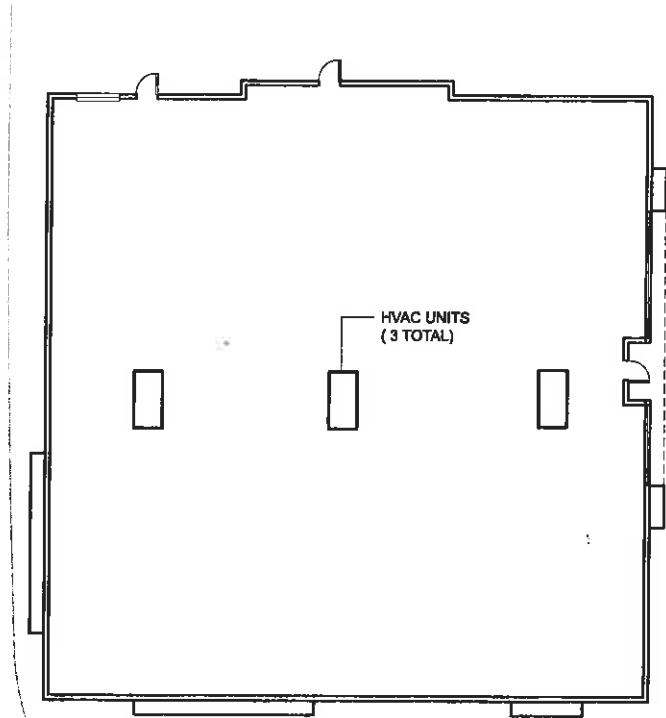
W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG - 26
 OF 36
 DATE: December 01, 2017
 SCALE: 1/8" = 1'-0"

A5.2



A FLOOR PLAN

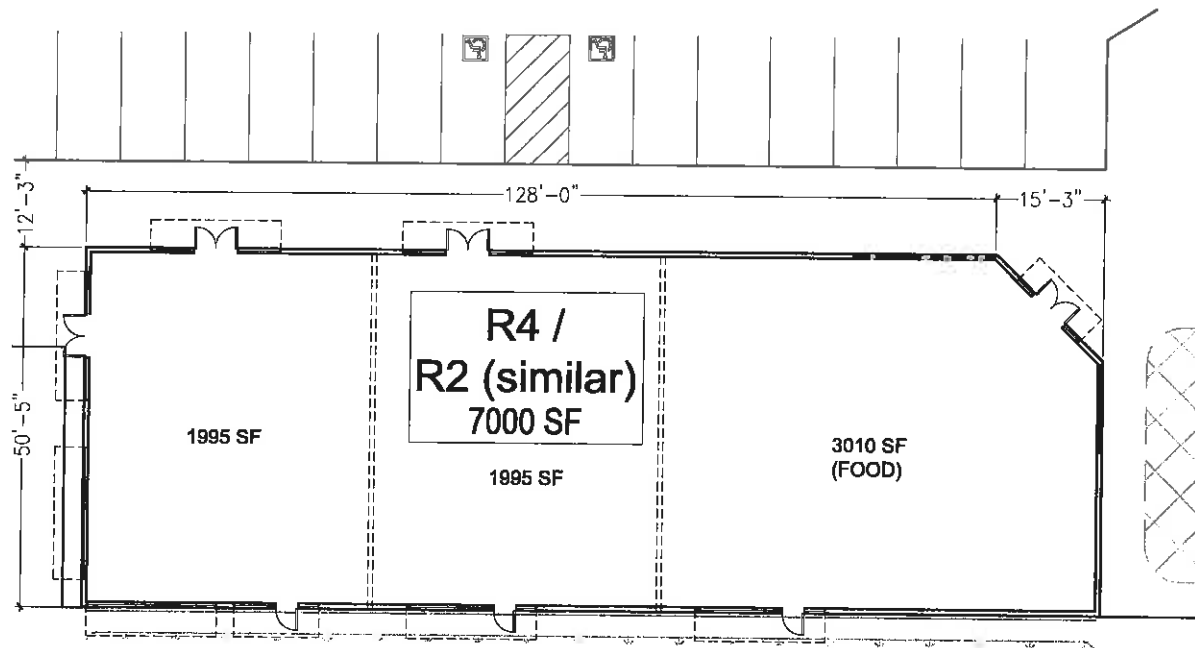


B ROOF PLAN

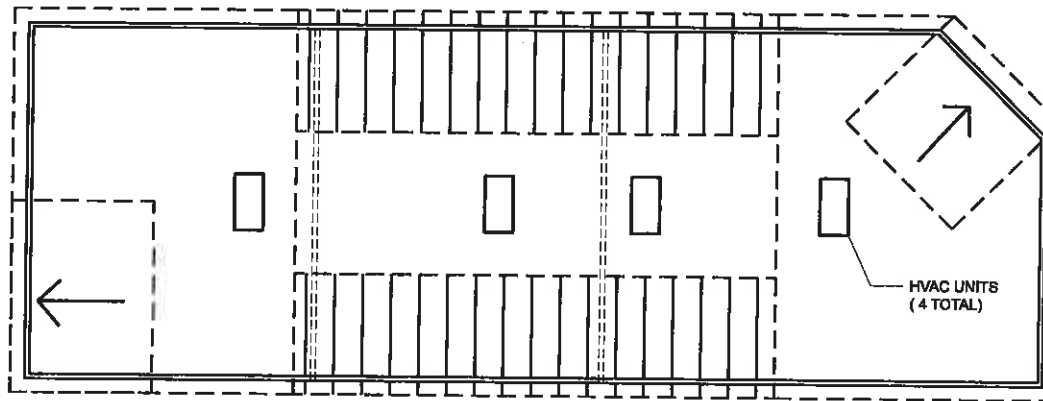
NOTES:
1. SINGLE TENANT - NON-FOOD/RETAIL



FRENCH VALLEY COMMONS R1 BUILDING FLOOR AND ROOF PLANS	FRENCH VALLEY, CALIFORNIA		W DEVELOPMENT PARTNERS OF TEMECULA, LLC	DWG: 27 <small>OF 36</small>	A5.3
				DATE: December 01, 2017 SCALE: 1/8" = 1'-0"	



A FLOOR PLAN



B ROOF PLAN

- NOTES:**
- R2 - MULTIPLE TENANTS:
 43% FOOD (3,010 SF MAX)
 57% NON-FOOD/RETAIL (3,990 SF MIN)
 - R4 - MULTIPLE TENANTS (FLEX WITH R5):
 38% FOOD (2,660 SF MAX)
 62% NON-FOOD/RETAIL (4,340 SF MIN)



FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA

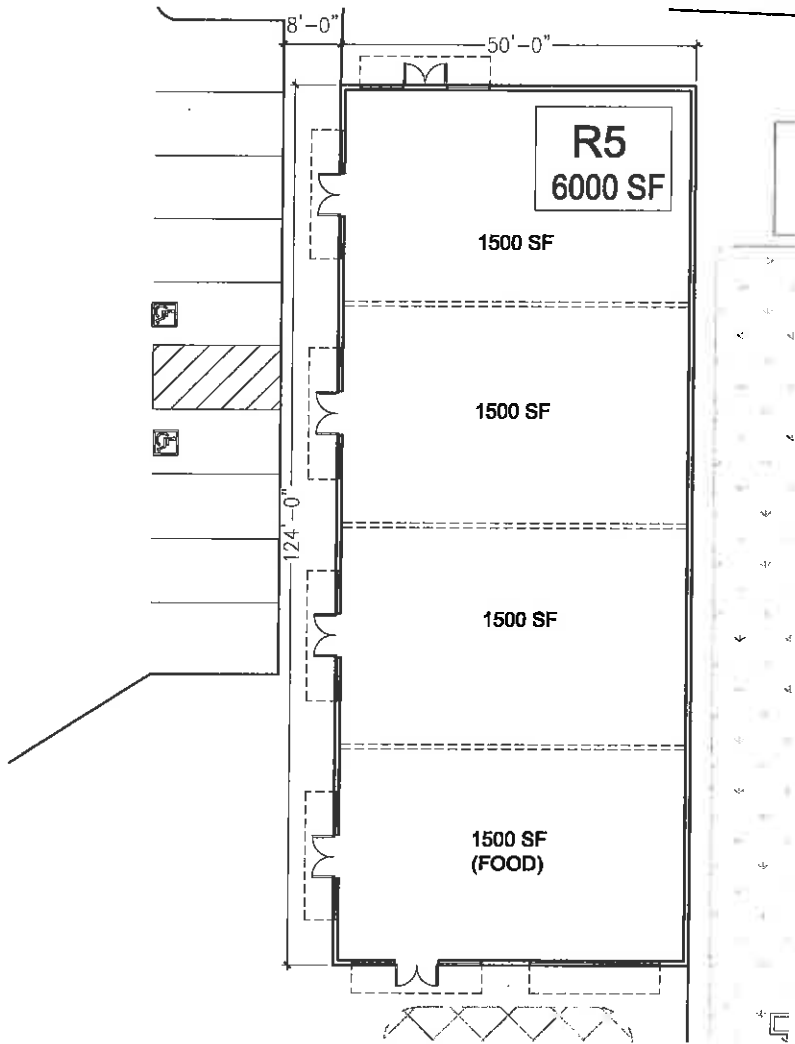
R2 and R4 BUILDING FLOOR AND ROOF PLANS



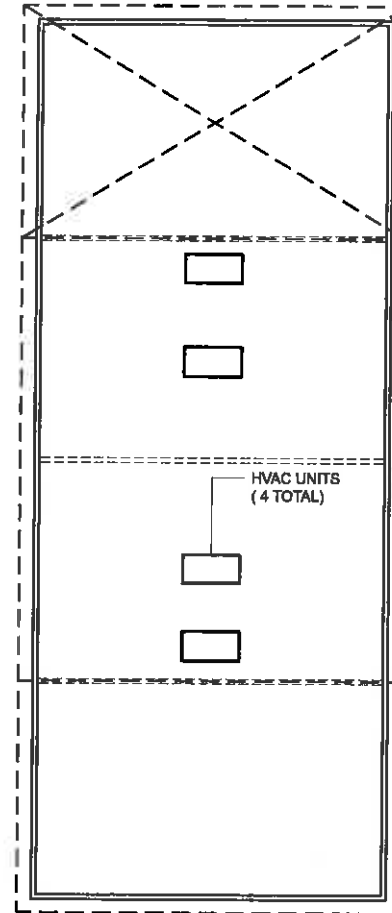
W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG - 28
 OF 36
 DATE: December 01, 2017
 SCALE: 1/4" = 1'-0"

A5.4

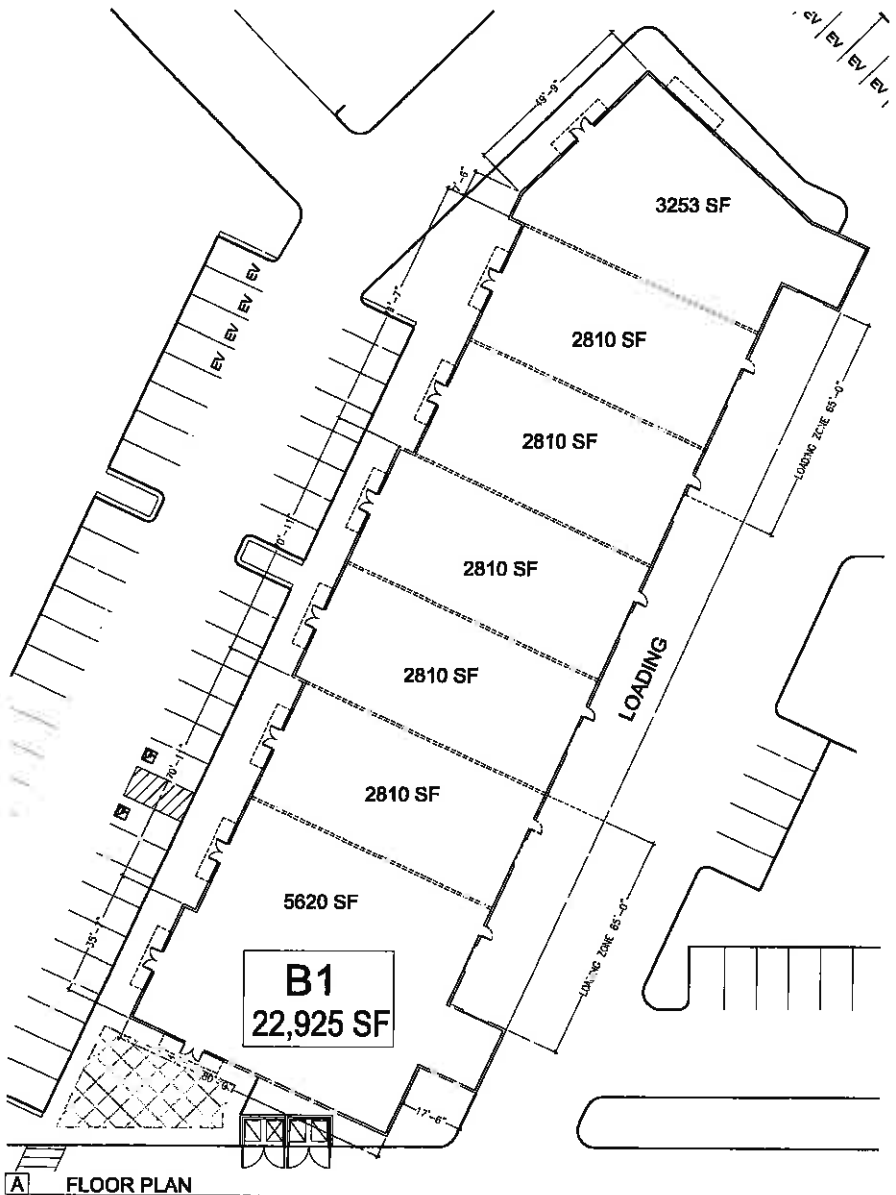


- NOTES:
1. R5 - MULTIPLE TENANTS (FLEX WITH R4):
38% FOOD (2,680 SF MAX)
62% NON-FOOD/RETAIL (4,340 SF MIN)

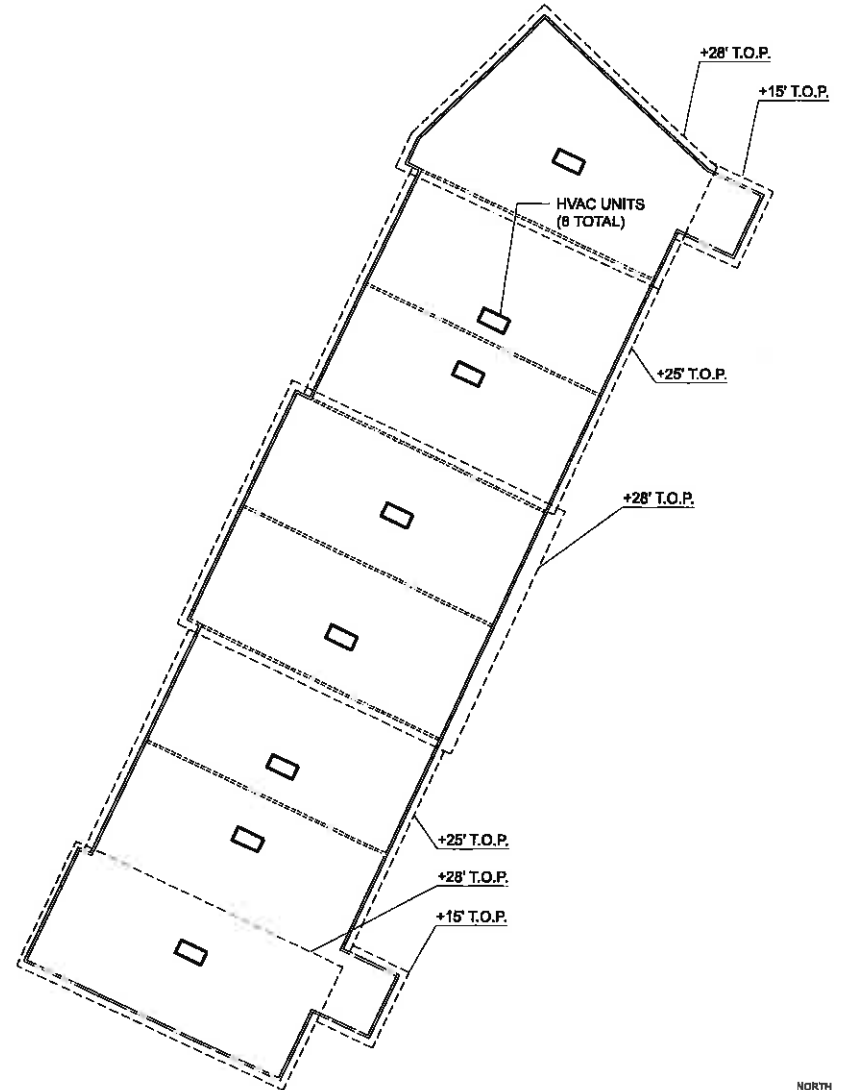


A FLOOR PLAN

B ROOF PLAN



A FLOOR PLAN



B ROOF PLAN

FRENCH VALLEY COMMONS
 B1 BUILDING FLOOR AND ROOF PLANS

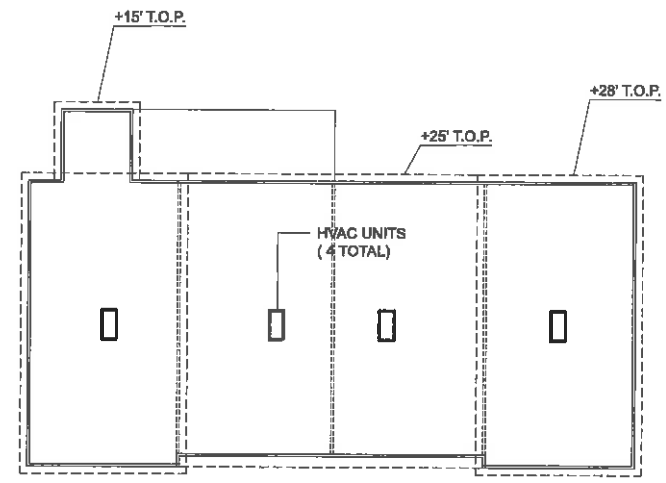
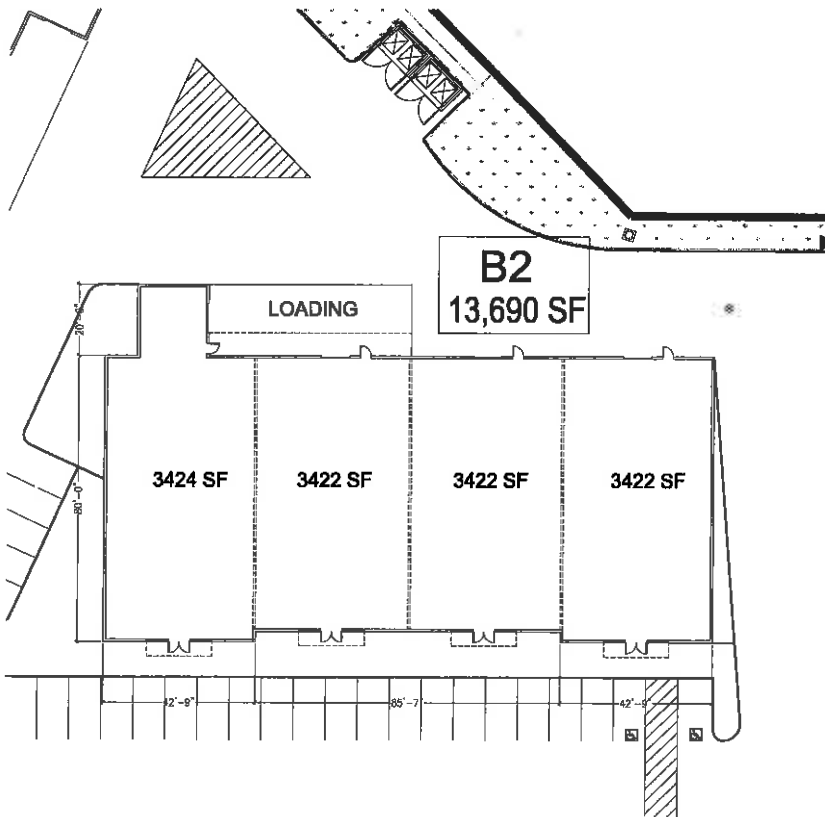
FRENCH VALLEY,
 CALIFORNIA



W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG: 31
 OF 36
 DATE: December 01, 2017
 SCALE: 1/16" = 1'-0"

A5.7

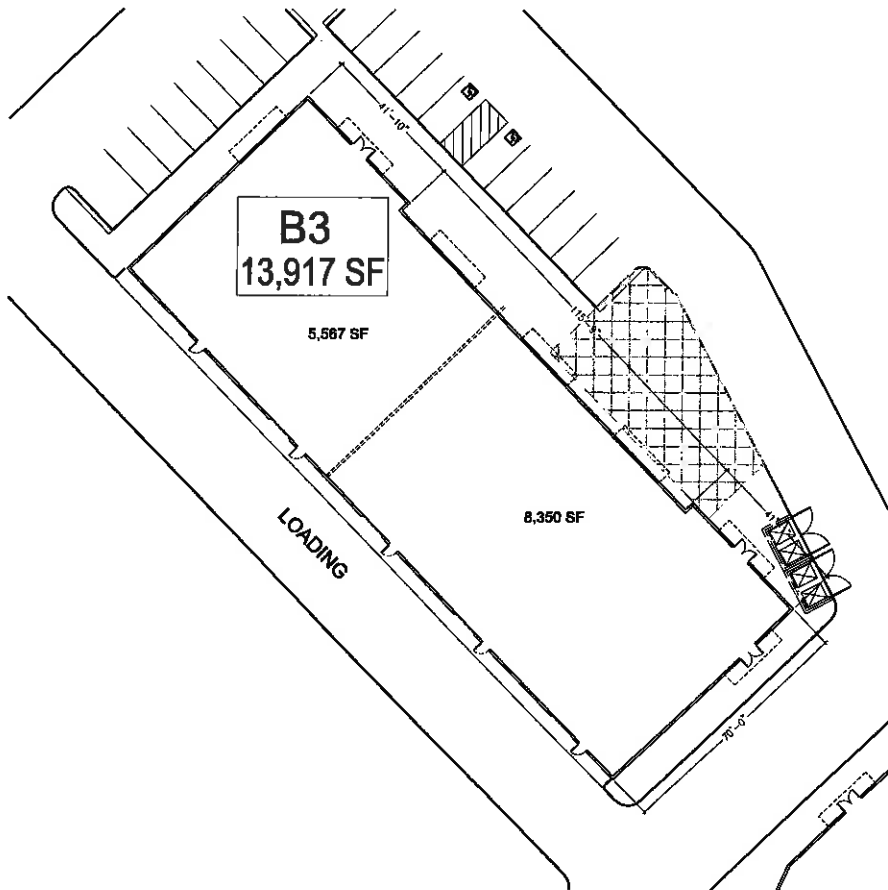


A FLOOR PLAN

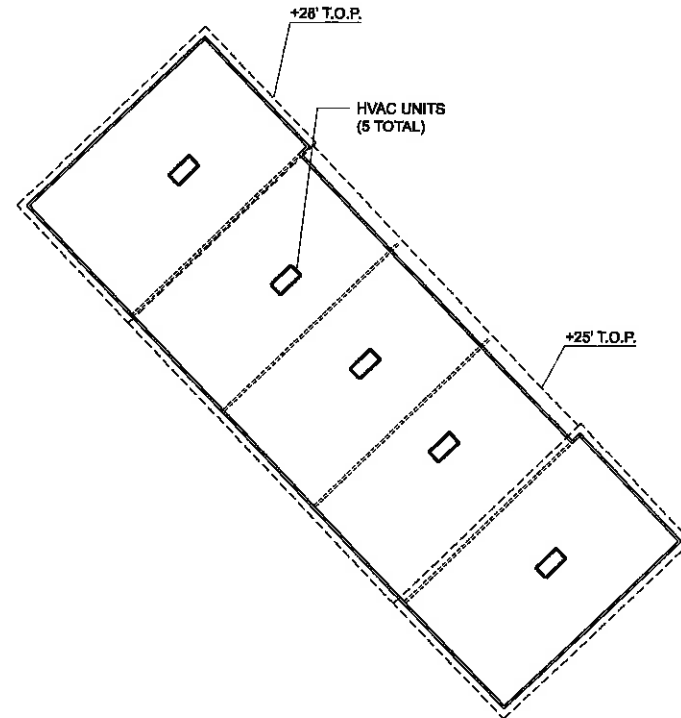
B ROOF PLAN



<p>FRENCH VALLEY COMMONS</p> <p>B2 BUILDING FLOOR AND ROOF PLANS</p>	<p>FRENCH VALLEY, CALIFORNIA</p>		<p>W DEVELOPMENT PARTNERS OF TEMECULA, LLC</p>	<p>DWG: 32 OF 35</p> <p>DATE: December 01, 2017</p> <p>SCALE: 1/8" = 1'-0"</p>	<p>A5.8</p>
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[A] FLOOR PLAN



[B] ROOF PLAN



FRENCH VALLEY COMMONS
 B3 BUILDING FLOOR AND ROOF PLANS

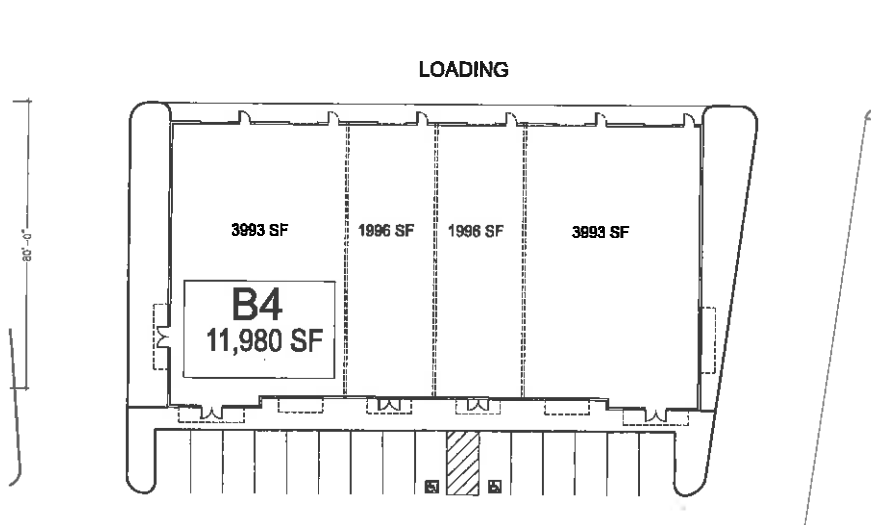
FRENCH VALLEY,
 CALIFORNIA



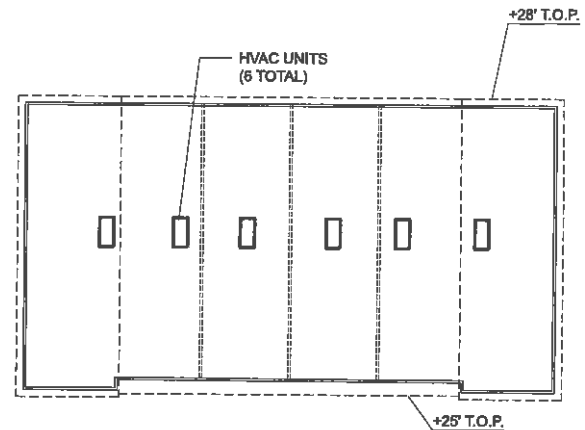
W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG: 33
 OF 36
 DATE: December 01, 2017
 SCALE: 1/16" = 1'-0"

A5.9



A FLOOR PLAN



B ROOF PLAN



FRENCH VALLEY COMMONS
B4 BUILDING FLOOR AND ROOF PLANS

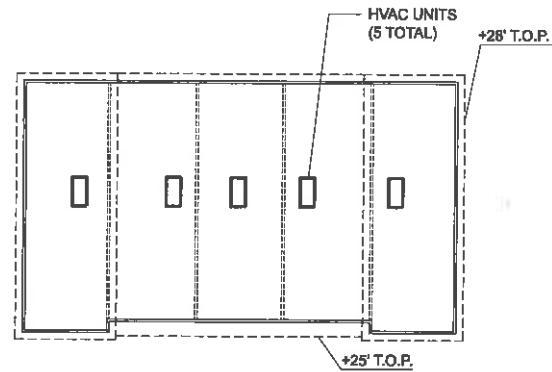
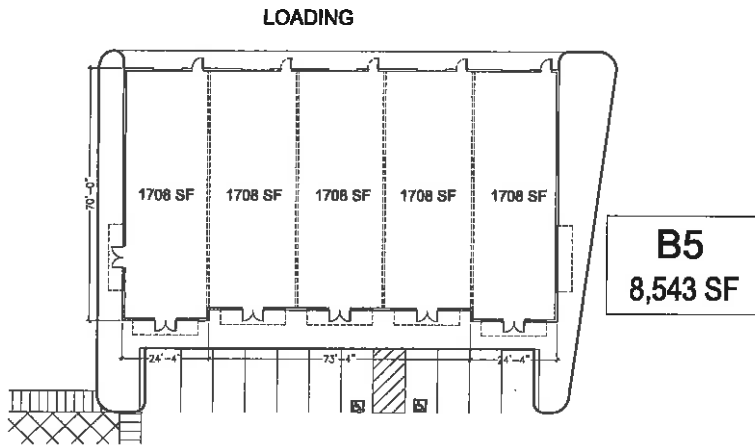
FRENCH VALLEY,
 CALIFORNIA



W DEVELOPMENT
 PARTNERS OF
 TEMECULA, LLC

DWG: 34
 OF 38
 DATE: December 01, 2017
 SCALE: 1/16" = 1'-0"

A5.10



A FLOOR PLAN

B ROOF PLAN



FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA

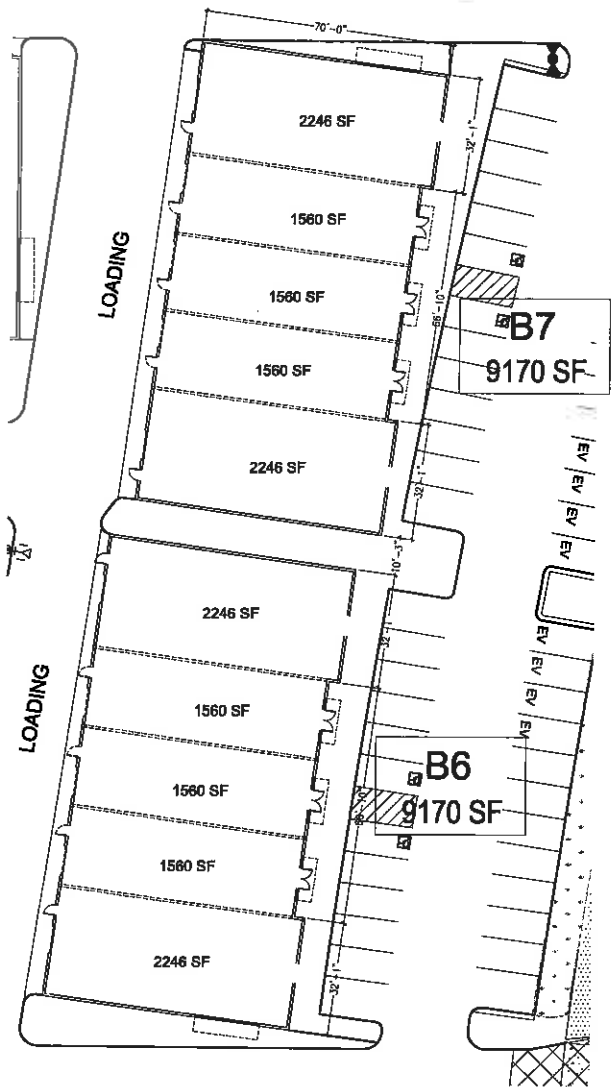
B5 BUILDING FLOOR AND ROOF PLANS



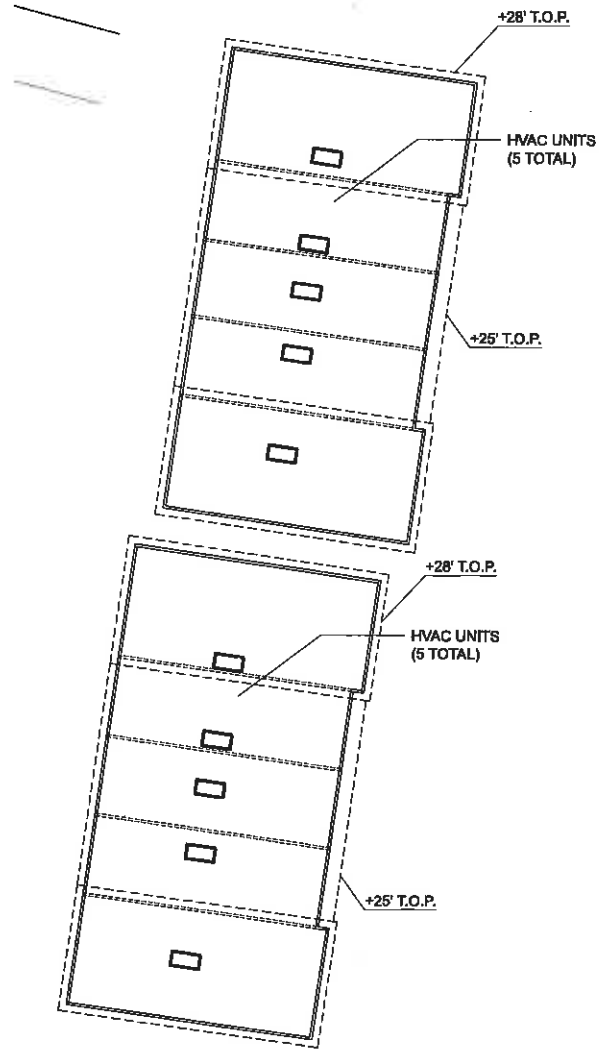
W DEVELOPMENT
PARTNERS OF
TEMECULA, LLC

DWG: 35
OF 98
DATE: December 01, 2017
SCALE: 1/16" = 1'-0"

A5.11



A FLOOR PLAN



B ROOF PLAN



FV. FRENCH VALLEY AIRPORT

FV.1 Compatibility Map Delineation

- 1.1 *Airport Master Plan Status:* The Master Plan adopted by the Riverside County Board of Supervisors on September 28, 2010 provides the basis for the French Valley Airport Compatibility Map. The Airport Layout Plan drawing was updated in April 2010.
- 1.2 *Airfield Configuration:* There are no planned changes to the present 6,000-foot runway.
- 1.3 *Airport Activity:* Updated projections completed for this *Compatibility Plan* indicate that airport activity will increase from approximately 97,700 annual operations in 2008 to 149,200 in 2030. The overall mix and character of use of the airport will be very similar in the future.
- 1.4 *Airport Influence Area:* The airport influence area boundary coincides with the outer edge of the Federal Aviation Regulations (FAR) Part 77 conical surface for the airport to the north and south. To the east and west, the airport influence area encompasses the normal aircraft traffic patterns.

FV.2 Additional Compatibility Policies

- 2.1 *Zone B2 Building Height:* Notwithstanding the limitation of two aboveground habitable floors indicated in Table 2A of Chapter 2, any nonresidential building in *Compatibility Zone B2* at French Valley Airport may have up to three aboveground habitable floors, provided that no such building or attachments thereto shall penetrate the airspace protection surfaces defined for the airport in accordance with FAR Part 77.
- 2.2 *Calculation of Zone D Residential Densities:* Residential densities in Zone D shall be calculated on a “net” rather than “gross” basis. For the purposes of this *Compatibility Plan*, the net acreage of a project equals the overall developable area of the project site exclusive of permanently dedicated open lands (as defined in Policy 4.2.4) or other open space required for environmental purposes.

2.3 *Industrial/Commercial Area:* The following usage intensity criteria shall apply:

(a) In *Compatibility Zone B1:*

- (1)** An average of 40 people per acre shall be allowed on a site, and up to 80 people shall be allowed to occupy any single acre of the site.
- (2)** If the percentage of qualifying open land on the site (see Countywide Policy 4.2.4) is increased from 30 percent to at least 35 percent, the site shall be allowed to have an average of up to 45 people per acre, and any single acre shall be allowed to have up to 90 people per acre.
- (3)** If the percentage of qualifying open land on the site is increased to 40 percent or more, the site shall be allowed to have an average of up to 50 people per acre, and any single acre shall be allowed to have up to 100 people per acre.

(b) In *Compatibility Zone C:*

- (1)** An average of 80 people per acre shall be allowed on a site, and up to 160 people shall be allowed to occupy any single acre of the site.
- (2)** If the percentage of qualifying open land on the site is increased from 20 percent to at least 25 percent, the site shall be allowed to have an average of up to 90 people per acre, and any single acre shall be allowed to have up to 180 people per acre.
- (3)** If the percentage of qualifying open land on the site is increased to 30 percent or more, the site shall be allowed to have an average of up to 100 people per acre, and any single acre shall be allowed to have up to 200 people per acre.

(c) To the extent feasible, open land should be situated along the extended runway centerlines or other primary flight tracks.

CHAPTER 3 INDIVIDUAL AIRPORT POLICIES AND COMPATIBILITY MAPS

- (d) The above bonuses for extra open land on a site are in addition to the intensity bonuses for risk-reduction building design indicated in Table 2A. In both cases, incorporation of the features necessary to warrant the intensity bonuses is at the option of the land use jurisdiction (County of Riverside or City of Murrieta) and the project proponents and is not required by ALUC policy.
- 2.4 *Zone D Non-residential Intensities:* The criteria set forth in Countywide Policies 3.1.1, 3.1.4, and 4.2.5(b)(5) and the Basic Compatibility Criteria matrix (Table 2A) notwithstanding, the following usage criteria shall apply within Zone D: An average of 150 people per acre shall be allowed on a site, and up to 450 people shall be allowed to occupy any single acre of the site.
- 2.5 *Calculation of Concentration of People:* The provisions of Table C1 in Appendix C notwithstanding, retail sales and display areas or “showrooms” (excluding restaurants and other uses specifically identified separately from retail in Table C1), excluding those in buildings including restaurants or food service facilities, shall be evaluated as having an intensity in persons per square foot of one person per 170 gross square feet of building area without eligibility for a 50 percent reduction. If the building includes restaurants or food service facilities, such retail and display areas or “showrooms” shall be evaluated as having intensity in persons per square foot of one person per 115 square feet of gross floor area without eligibility for the 50 percent reduction. In no case shall intensity of retail and display areas be evaluated in such a manner as to be less than 17 percent more intense than similar areas devoted to office uses. For the purpose of this paragraph, a food service facility includes any establishment that is subject to retail food service inspections by the Department of Environmental Health, including restaurants; grocery stores; ice cream, yogurt, and juice stores; coffee shops; concessionaires; food courts; and take-out only facilities.

<u>Use</u>	<u>Minimum Square Feet per Occupant</u>
1. Aircraft Hangars (no repair)	500
2. Auction Rooms	7
3. Assembly Areas, Concentrated Use (without fixed seats)	7
Auditoriums	
Churches and Chapels	
Dance Floors	
Lobby Accessory to Assembly Occupancy	
Lodge Rooms	
Reviewing Stands	
Stadiums	
Waiting Areas	3
4. Assembly Areas, Less Concentrated Use	15
Conference Rooms	
Dining Rooms	
Drinking Establishments	
Exhibit Rooms	
Gymnasiums	
Lounges	
Stages	
Gaming	11
5. Bowling Alley (assume no occupant load for bowling lanes)	4
6. Children's Homes and Homes for the Aged	80
7. Classrooms	20
8. Congregate Residences	200
9. Courtrooms	40
10. Dormitories	50
11. Dwellings	300
12. Exercising Rooms	50
13. Garage, Parking	200
14. Health-Care Facilities	80
Sleeping Rooms	120
Treatment Rooms	240
15. Hotels and Apartments	200
16. Kitchen - Commercial	200
17. Library Reading Room	50
Stack Areas	100
18. Locker Rooms	50
19. Malls	Varies
20. Manufacturing Areas	200
21. Mechanical Equipment Room	300
22. Nurseries for Children (Daycare)	35
23. Offices	100
24. School Shops and Vocational Rooms	50
25. Skating Rinks	50 on the skating area; 15 on the deck
26. Storage and Stock Rooms	300
27. Stores - Retail Sales Rooms	
Basements and Ground Floors	30
Upper Floors	60
28. Swimming Pools	50 for the pool area; 15 on the deck
29. Warehouses	500
30. All Others	100

Source: California Building Code (1998), Table 10-A

Table C1

Occupancy Levels—California Building Code

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 9:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Board Chambers
Riverside, California

DATE OF HEARING: April 12, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 144,315 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 9 office/warehouse buildings and 6 retail buildings (4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.29 to 2.21 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. David Alvarez of the Riverside County Planning Department at (951) 955-5719.

FV
B1, C, D



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1079FV18 DATE SUBMITTED: 1/18/18

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant JIM ROACHELLE Phone Number 925.250.7118
Mailing Address 344 20th Street Email jroachelle@gmail.com
Oakland, CA 94612

Representative SWS ENGINEERING Phone Number 760.744.0011
Mailing Address 261 AUTUMN DR #115 Email michael@sws-engr.com
SAN MARCOS CA 92069

Property Owner Applicant Phone Number _____
Mailing Address _____ Email _____

LOCAL JURISDICTION AGENCY

Local Agency Name County of Riverside Phone Number 951.955.3220
Staff Contact Dave Alvarez Email _____
Mailing Address 4080 Lemon Ave Case Type _____
Riverside, CA 92502
 General Plan / Specific Plan Amendment
 Zoning Ordinance Amendment
 Subdivision Parcel Map / Tentative Tract
 Use Permit
 Site Plan Review/Plot Plan
 Other

Local Agency Project No CUP03777; PM37399

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address NW corner Leon's Benton
Assessor's Parcel No. 963-060-032 Gross Parcel Size 14.1
Subdivision Name Winchester Cross Roads Nearest Airport French Valley
Lot Number _____ and distance from Airport 0.71 miles

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use Vacant
(describe) _____

Proposed Land Use (describe)	<i>Mixed Use - retail, office, industrial</i>		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	_____	
For Other Land Uses (See Appendix C)	Hours of Operation	_____	
	Number of People on Site	Maximum Number	_____
	Method of Calculation	_____	
Height Data	Site Elevation (above mean sea level)	<i>1357 ±</i>	ft.
	Height of buildings or structures (from the ground)	<i>22' - 8"</i>	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	If yes, describe	_____ _____ _____	

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
- ✓ 1..... Completed ALUC Application Form
 - ✓ 1..... ALUC fee payment
 - ✓ 1..... Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 - ✓ 1..... Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 - ✓ 1..... CD with digital files of the plans (pdf)
 - ✓ 1..... Vicinity Map (8.5x11)
 - ✓ 1..... Detailed project description
 - ✓ 1..... Local jurisdiction project transmittal
 - ✓ 3..... Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 - ✓ 8..... Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

* Projects involving heliports/helicopter landing sites will require additional noticing procedures.



SWS ENGINEERING, INC.

Civil Engineering | Land Surveying | Land Planning

January 19, 2018

Proj. No. 15-078

John Guerin
ALUC
County of Riverside
4080 Lemon Street, 14th Floor
Riverside, CA 92501

RE: WINCHESTER CROSSINGS

Dear John,

The proposed project is located at the NW corner of Leon and Benton Roads in the County of Riverside. The project is approximately 0.71 miles NE of the French Valley Airport. The project is just over 14 acres in size and will construct 15 buildings. These buildings will be a mixture of retail, office and industrial. The breakdown is represented on the project spreadsheet which describes the occupancy levels per the requirements of ALUC.

The project is within three (3) airport zones; B1, C and D. A majority of the site is within the C Zone. The project is adjacent to an existing retail center located to the west of the proposed project.

Sincerely,

A handwritten signature in black ink, appearing to read "MS", is written over the word "Sincerely,".

Michael D. Schweitzer, P.E.
CEO / President



SWS ENGINEERING, INC.

Civil Engineering | Land Surveying | Land Planning

TRANSMITTAL

Recipient: County of Riverside
4080 Lemon Street
Riverside, CA 92501

Attn: John Guerin - 14th Floor

Phone #:

Date: 01/19/18

PN: 15-078

Project Name: Winchester

Submittal Type: 1st

BGR/Plan Ref #:

Submitted by: Mike S

We are providing you with the following documents:

Quantity	Type	Description
1	Original	Check # 1409 - \$2,662.00
1	Original	Application
1	Copy	ALUC Exhibit
1	Copy	Tentative Map - full size and 8x11
1	Copy	Preliminary Grading and Utility Plan - full size and 8x11
1	Copy	Architectural Package - full size and 8x11

Comments:

Empty box for comments.

Sent Via: US Mail UPS Delivery

Delivered by: Latoya **Picked-up by:** _____ **Received by:** _____

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.1 3.3

HEARING DATE: April 12, 2018 (original hearing May 11, 2017)

CASE NUMBER: ZAP1249MA17 – Duke Realty, Adam Schmid
(Representative: Albert A. Webb Associates)

APPROVING JURISDICTION: City of Perris

JURISDICTION CASE NO: ~~PLN17-00002, PLN17-05060~~ 17-05074 (Specific Plan Amendment), 17-00002 (~~Design~~ Development Plan Review)

MAJOR ISSUES: This project has been returned to the Commission’s agenda because the City case numbers referenced in the May 11, 2017, public hearing notice, agenda, staff report, and determination letter [“PLN17-00002 Specific Plan Amendment, Design Review”] were incorrect. The correct case number references are 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review). The original project description for the proposed specific plan amendment was also incomplete, and is now updated with the correct addition of amending the Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street. Neither of these updates affects staff’s original analysis or recommendations. On May 11, 2017 the Commission found the project consistent. ~~None~~

RECOMMENDATION: Staff recommends that the Commission find the proposed Specific Plan Amendment CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed ~~Design~~ Development Plan Review CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to develop a 1,189,860 square foot industrial building on 54.71 acres. The industrial building will be primarily for warehousing purposes (1,169,860 square feet of warehousing area, with 20,000 square feet of office area). The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation on the westerly 35.45 acres of the site from Business Professional Office to Light Industrial (the easterly 19.26 acres are already designated Light Industrial), **and to amend the Specific Plan’s Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street.**

PROJECT LOCATION: The site is located easterly of Perris Boulevard, southerly of Markham Street, westerly of Redlands Avenue, and northerly of Perry Street, in the City of Perris, approximately 8,330 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone D
- c. Noise Levels: Below 60 CNEL from aircraft

BACKGROUND:

Non-Residential Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone D. Non-residential intensity is not restricted in Compatibility Zone D.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the warehouse area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the building.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 8,330 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,571.3 feet AMSL. The site's finished floor elevation is 1,460 feet AMSL and the proposed building height is 45 feet, for a top point elevation of 1,505 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service was not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

CONDITIONS:

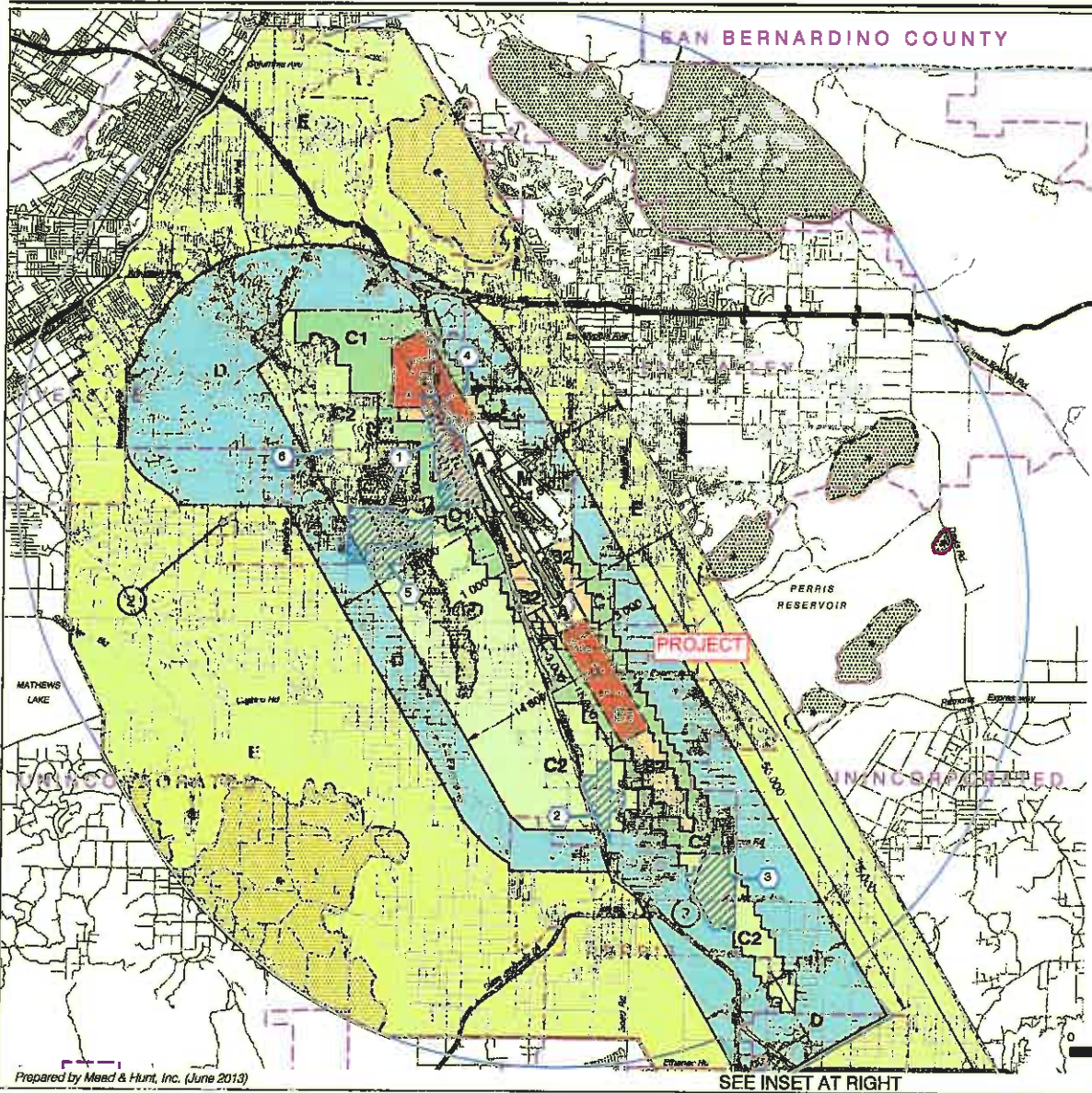
1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an

initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
 4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
 6. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

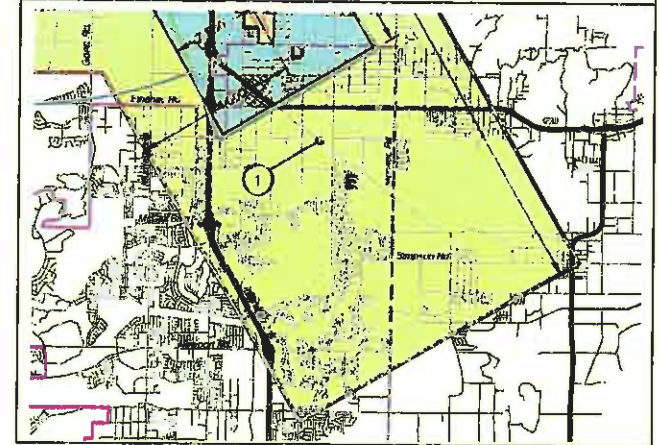
Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 (LS) approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

INSET



Note:
All dimensions are measured from runway end and centerlines.



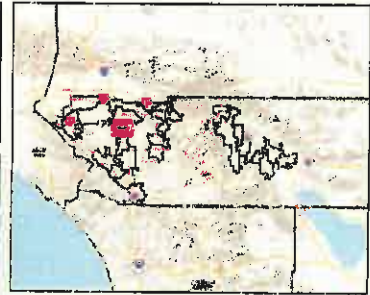
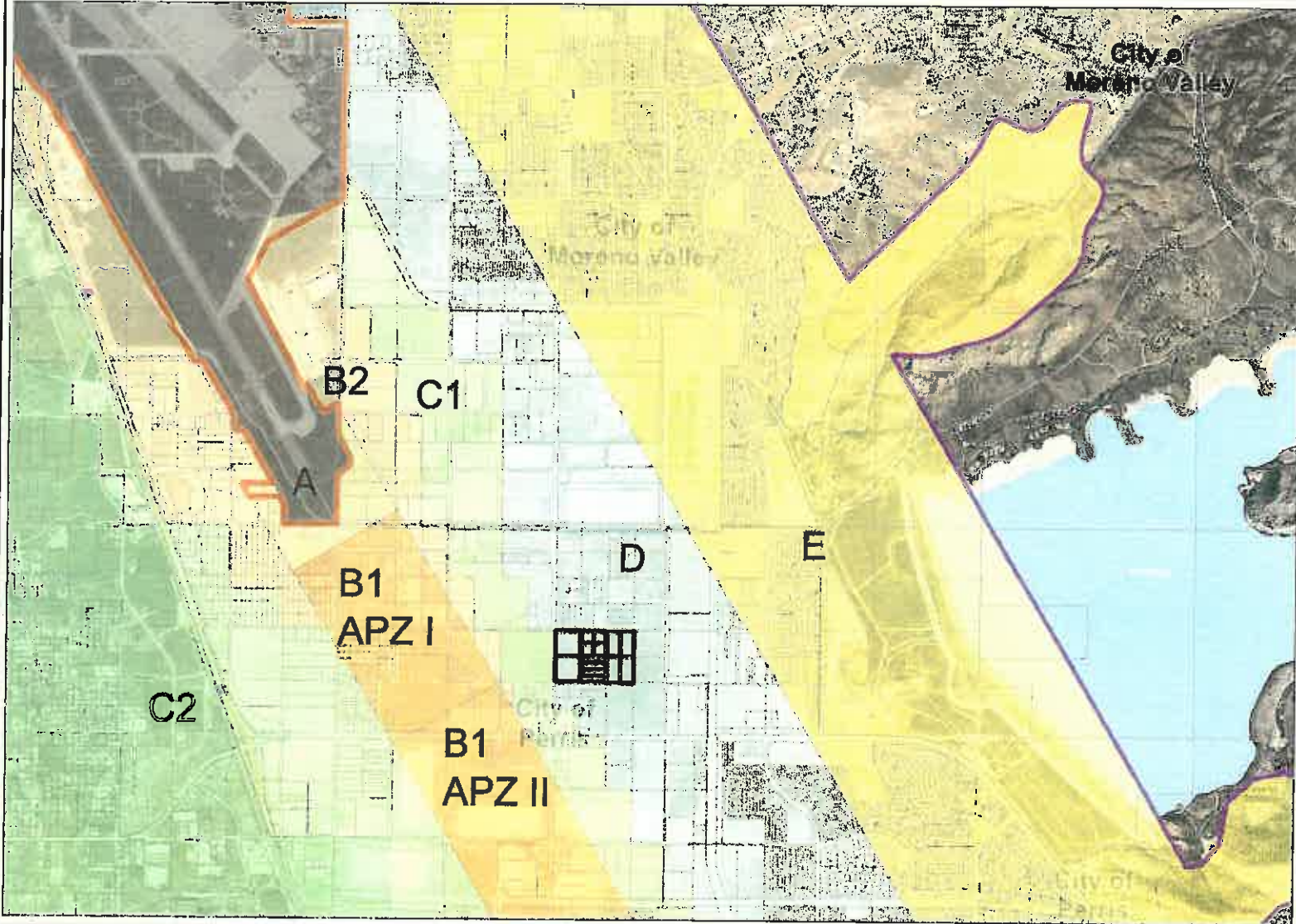
Base map source: County of Riverside 2013

**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

Map MA-1

Compatibility Map
March Air Reserve Base / Inland Port Airport

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 4,587 9,174 Feet



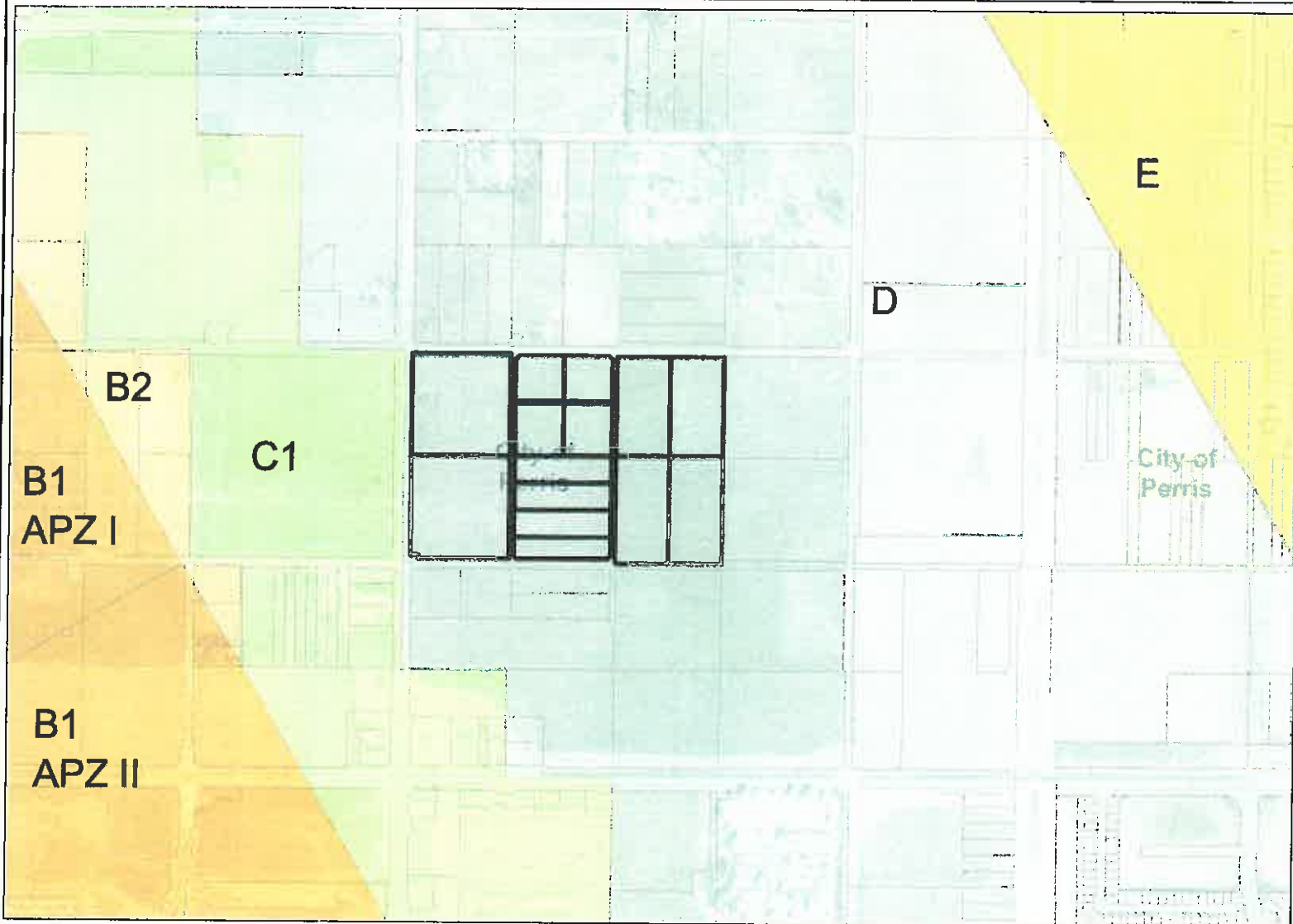
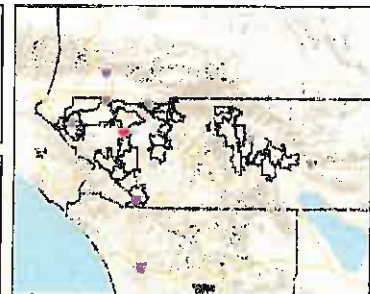
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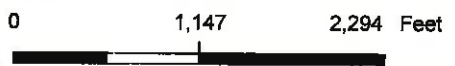
Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



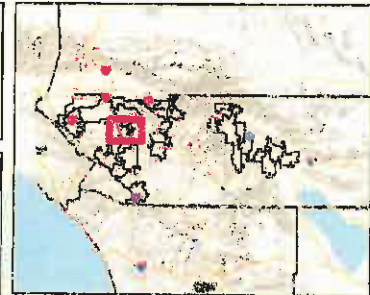
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Notes

My Map



- ### Legend
- City Boundaries
 - Cities
 - adjacent_highways**
 - Interstate
 - Interstate 3
 - State Highways; 60
 - State Highways 3
 - US HWY
 - OUT
 - highways_large**
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - USHWY
 - counties
 - cities



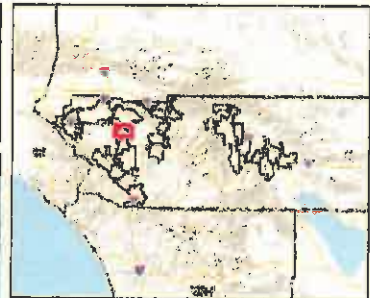
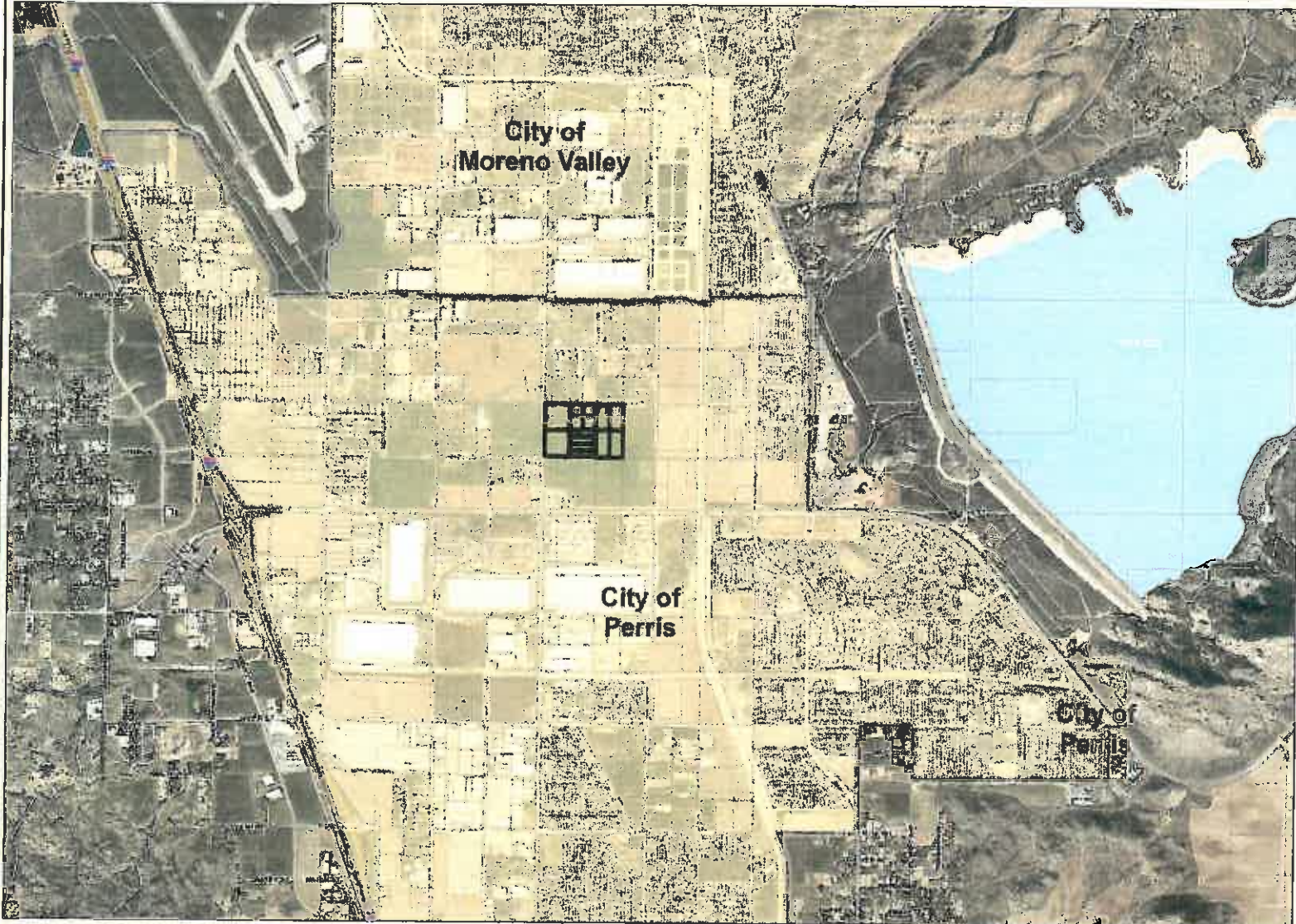
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Notes

My Map



Legend

- City Boundaries
- Cities**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



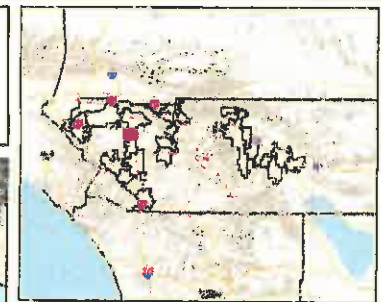
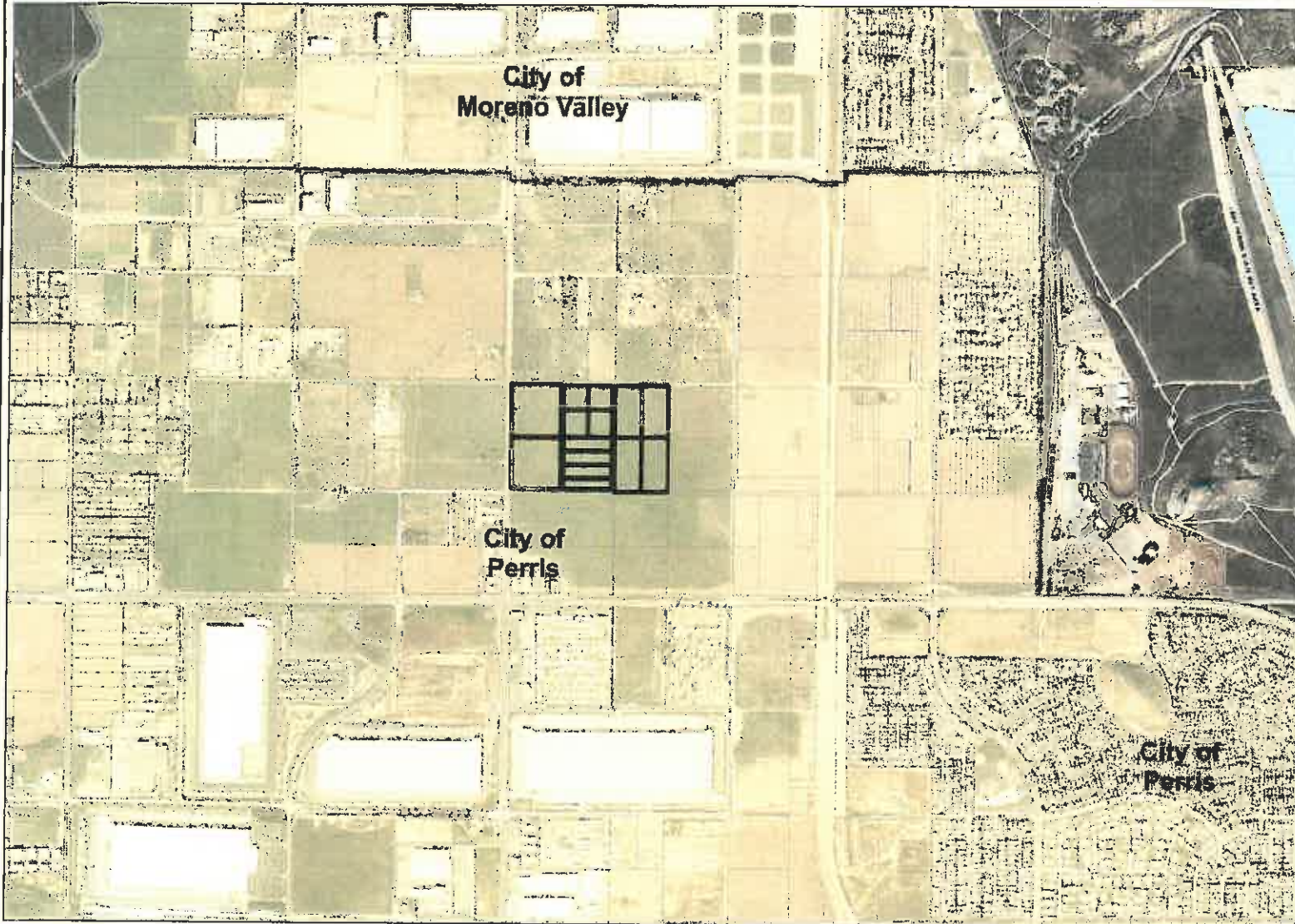
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Notes

My Map



- Legend**
- City Boundaries
 - Cities
 - roadsanno**
 - highways**
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - roads**
 - Major Roads
 - Arterial
 - Collector
 - Residential
 - counties
 - cities
 - hydrographylines**
 - waterbodies**
 - Lakes
 - Rivers



0 2,294 4,587 Feet



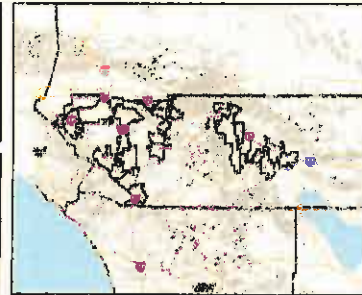
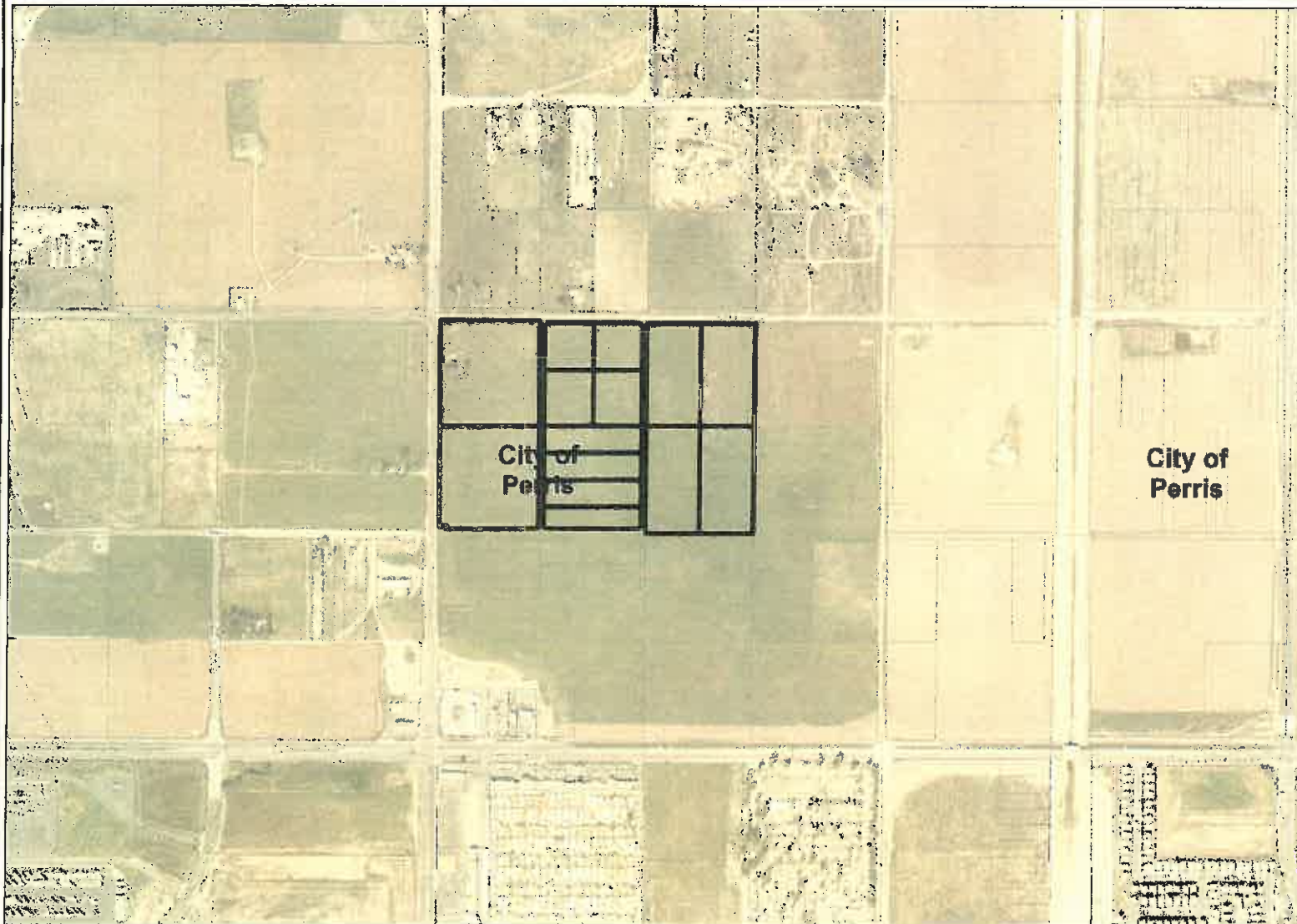
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,147 2,294 Feet



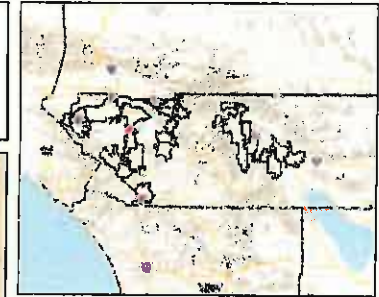
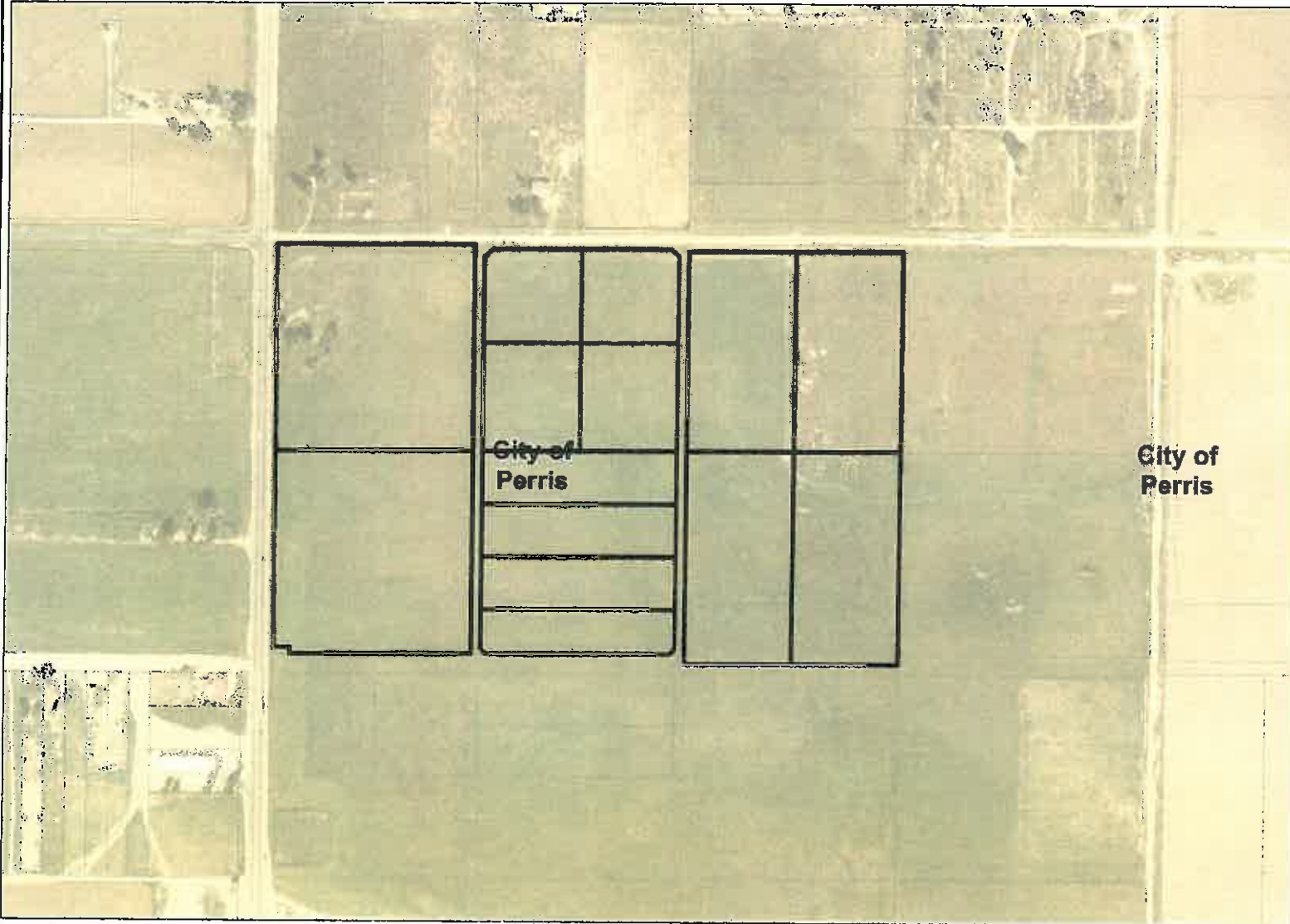
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 573 1,147 Feet



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Notes

Perris Valley Commerce Center Specific Plan Amendment No. **56**

City of Perris

Prepared by:
Albert A. Webb Associates
3788 McCray Street
Riverside CA 92506

Approved: January 10, 2012, Ordinance No. 1284
Amendment No. 1 Approved: September 25, 2012, Ordinance No. 1288
Amendment No. 2 Approved: November 27, 2012, Resolution No. 4538
Amendment No. 3 Approved: February 9, 2016, Ordinance No. 1324
Amendment No. 4 Approved: February 9, 2016, Ordinance No. 1323
Amendment No. 5 Approved: February 14, 2017, Ordinance No. 1323
Amendment No. 6 – SC1 Submitted March 2017

**This document reflects all amendments
to ~~February 2016~~ **March 2017****

Amendment No.	Case No.	Details of Amendment	Approval Date
1	12-04-0010	The purpose of Amendment No. 1 is to modify Table 12.0-1, Land Use Restrictions to clarify allowable industrial land uses particularly related to storage in Airport Potential Zone 1 (APZ-1).	9/25/2012 Ordinance # 1288
2	11-12-2012	The purpose of Amendment No. 2 is to update all graphics to reflect the street vacation of Nance and Markham Streets between Redlands Avenue and the Perris Valley Storm Channel. This amendment also reflects the street vacation and general plan amendment (GPA 12-02-0001) to the circulation element for the removal of Harley Knox Blvd. from Redland Avenue to Perris Valley Storm Channel.	11/27/2012 Resolution # 4548
3	12-10-0006	The purpose of Amendment No. 3 is to modify Figure 2.01-1, Specific Plan Land Use Designation and Figure 4.0-16, Residential Buffer, Figure 3.0-1, Circulation Plan, Figure 3.01-2 Truck Route Plan, and Table 2.0-1, Land Use Comparison to reflect the change in the land use designation of approximately 68.99 acres from Commercial (C) (52.99 acres) and Business Professional Office (BPO) (16 acres) to Light Industrial (LI) located south of Markham Street, north Ramona Expressway, west N. Webster Avenue, and east of the Patterson Avenue; and to modify the circulation of Patterson Avenue which traverses in an east west direction between Markham Street and Ramona Expressway in the northwestern portion of the Project site.	02/09/2016 Ordinance # 1324
4	14-04-0001	The purpose of Amendment No. 4 is to modify Figure 2.01-1, Specific Plan Land Use Designation and Figure 4.0-16, Residential Buffer, and Table 2.0-1, Land Use Comparison to reflect the change in land use designation of approximately 16 acres from General Industrial (GI) to Light Industrial (LI) located just north of Markham Street, south of Nance Street, west of Markham Street, south of Patterson Avenue, and east of Patterson Avenue in the northwestern portion of the Project site for the properties.	02/09/2016 Ordinance # 1323

Document Updates



Perris Valley
Commerce Center



5

14-04-0001

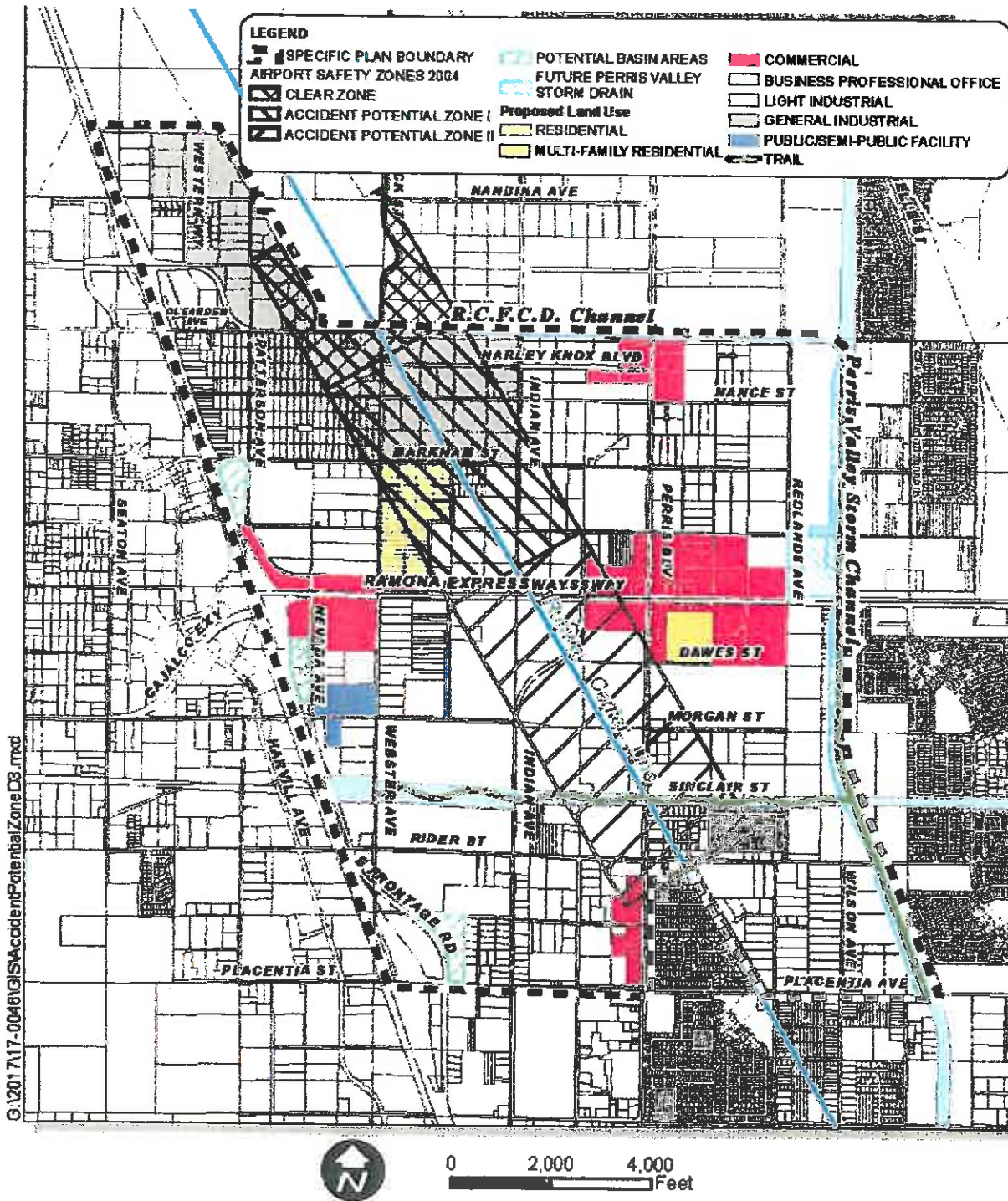
The purpose of Amendment No. 5 is to modify Figure 2.0-1, Specific Plan Land Use Designation, Figure 4.0-16, Residential Buffer, and Table 2.0-1, Land Use Comparison to reflect a change in land use designation from Commercial-Retail (CR) to Light Industrial (LI), for the properties bound by Interstate 215 to the east, Harley Knox Boulevard to the south and west, and W. Oleander Avenue to the north consisting of approximately 36 acres.

02/14/2017
Ordinance # 1323

6

The purpose of Amendment No. 6 is to modify Figure 2.0-1, Specific Plan Land Use Designation, Figure 4.0-16, Residential Buffer, and Table 2.0-1, Land Use Comparison to reflect a change in land use designation from Business Professional Office (BPO) to Light Industrial (LI), for the properties bound by Johnson Avenue to the east, Perry Street to the south, Perris Boulevard to the west, and Markham Street to the north consisting of approximately 36 acre.

Figure 2.0-1 SPECIFIC PLAN LAND USE DESIGNATION





new residential development, schools or churches. It should be noted that there is some existing residential development in this area.

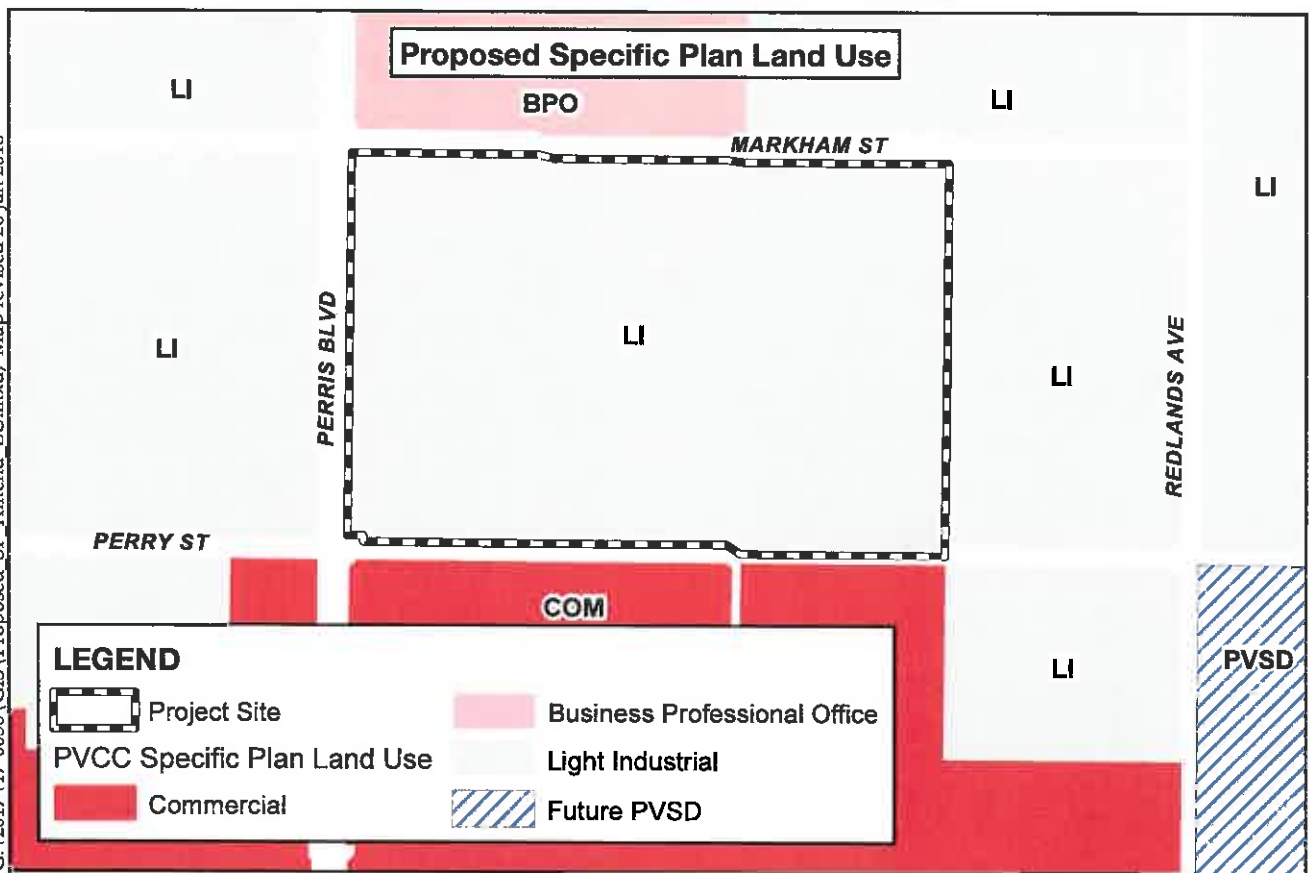
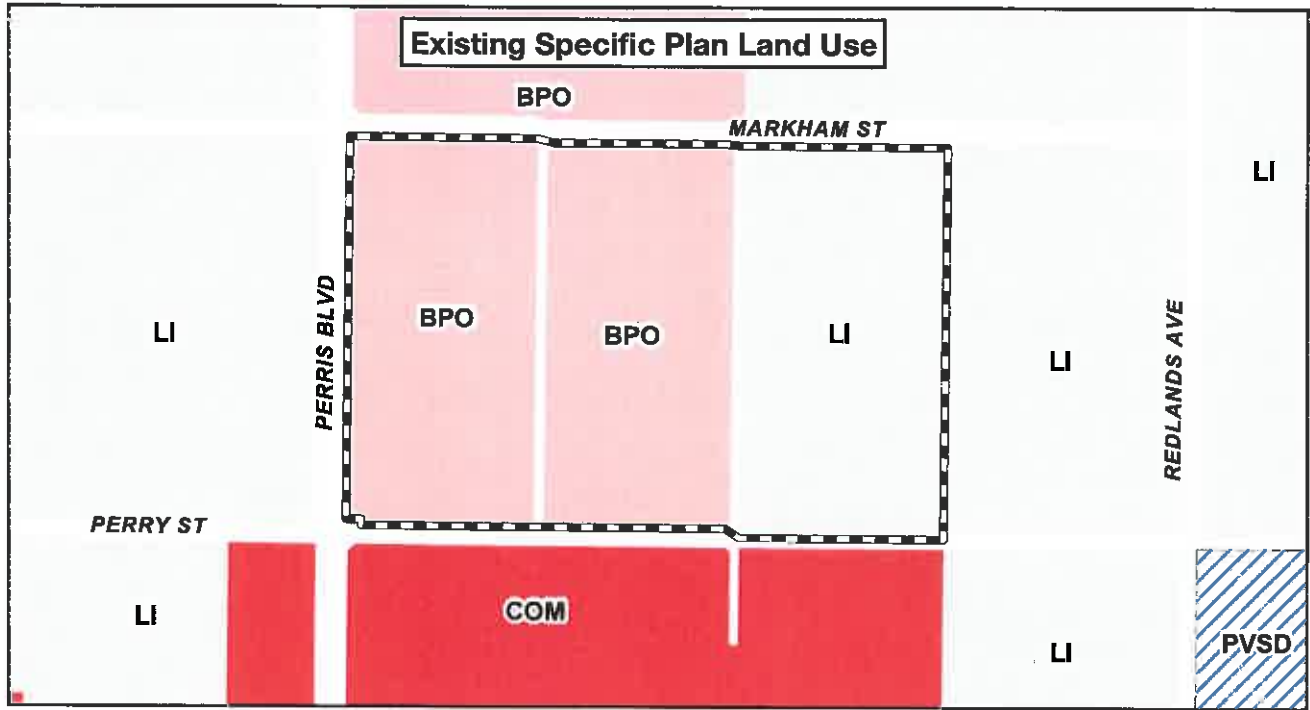
Accident Potential Zone II (APZ-II): This zone prohibits many uses that involve hazardous materials (such as gas stations), and those uses that have higher densities of people per acre. Non-residential development will be limited to those uses that have not more than 50 persons per acre at any time, including hotels and motels. This zone prohibits new residential development, schools or churches.

2.2 Summary of Perris Valley Commerce Center Land Use Comparison

Generally, the City of Perris General Plan Land Use designations correspond with the Perris Valley Commerce Center Specific Plan land use designations with the following exceptions. The Community Commercial (CC) and Neighborhood Commercial (NC) have been combined into one designation - Commercial (C). Business Park (BP) and Professional Office (PO) have been combined to form one designation - Business/Professional Office (BPO). Public/Semi-Public/Utilities (P) and Park, Recreational, and Natural Open Space (OS) have been combined to Public (P). Table 2.0-1 as shown below, provides a comparison of the land use between the City of Perris existing General Plan designations and the Perris Valley Commerce Center Specific Plan designations.

Table 2.0-1 LAND USE COMPARISON

General Plan Land Use	Existing Acres	Proposed Acres
Business Park/Professional Office (BPO)		
Professional Office (PO)	317	327 291
Business Park (BP)		
Commercial (C)		
Community Commercial (CC)	462	260
Neighborhood Commercial (NC)		
General Industrial (GI)	423	392
Light Industrial (I)	1,620	1,987 2,023
Multi-Family Residential		
Residential (Multi-Family) (MFR-14)	0	22
Public (P)		
Public/Semi-Public/Utilities	120	194
Park, Recreational and Natural Open Space (OS)		
Residential (R)		
Residential (Single-Family) (R-6,000)	59	0
Residential (R)		
Residential (Single-Family)(R-20,000)	63	63
Specific Plan (SP)	190	0
Other (ROW, Basin, etc)f3	329	338
Total Acres	3,583	3,583



LEGEND

- Project Site
- Business Professional Office
- Light Industrial
- Commercial
- Future PVSD

G:\2017\17-0058\GIS\Proposed_SP_Amend_LU.mxd, Map revised 26 Jan 2018

Source: PVCC Specific Plan, 2011

Figure 1-7 - Proposed Specific Plan Amendment Land Use Plan

Duke Warehouse at Perris Boulevard and Markam Street Project

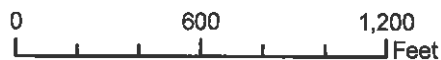
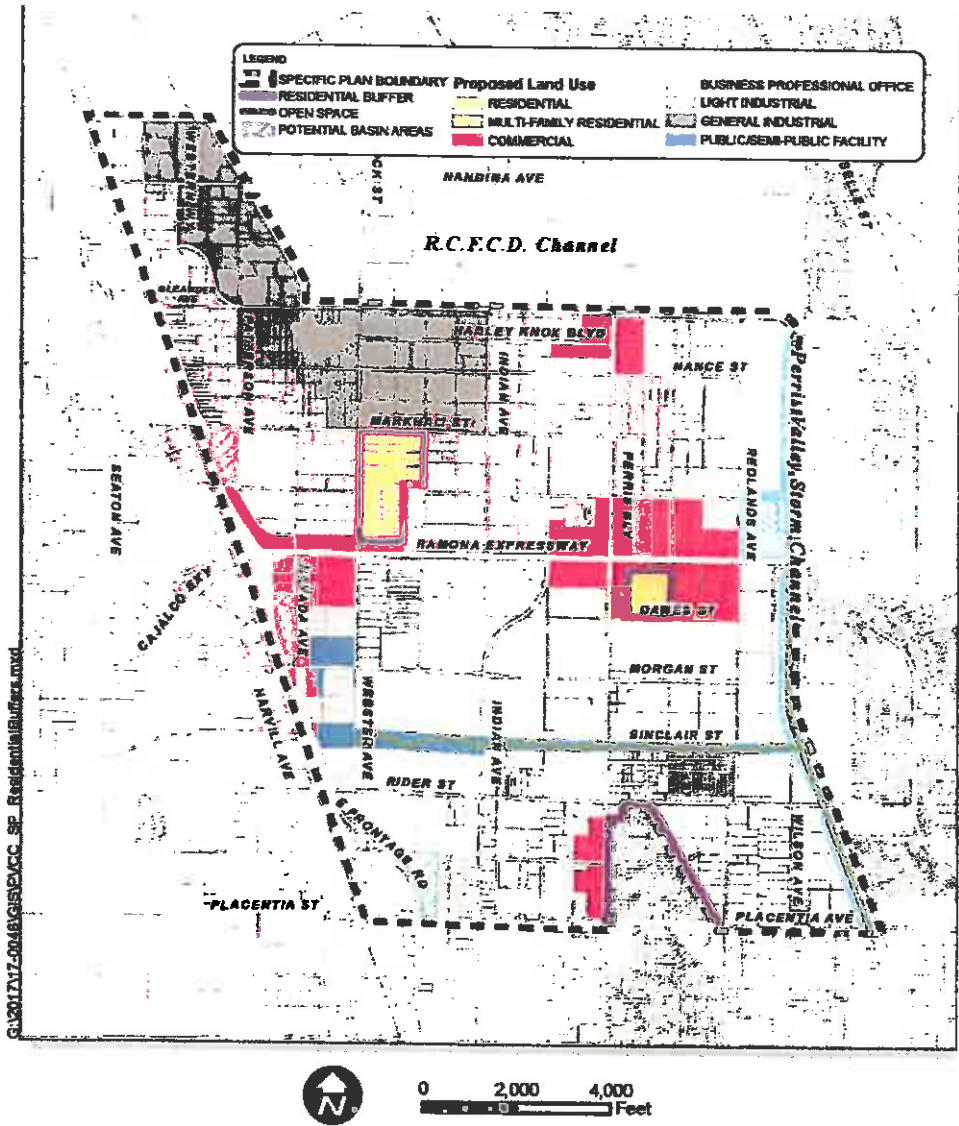
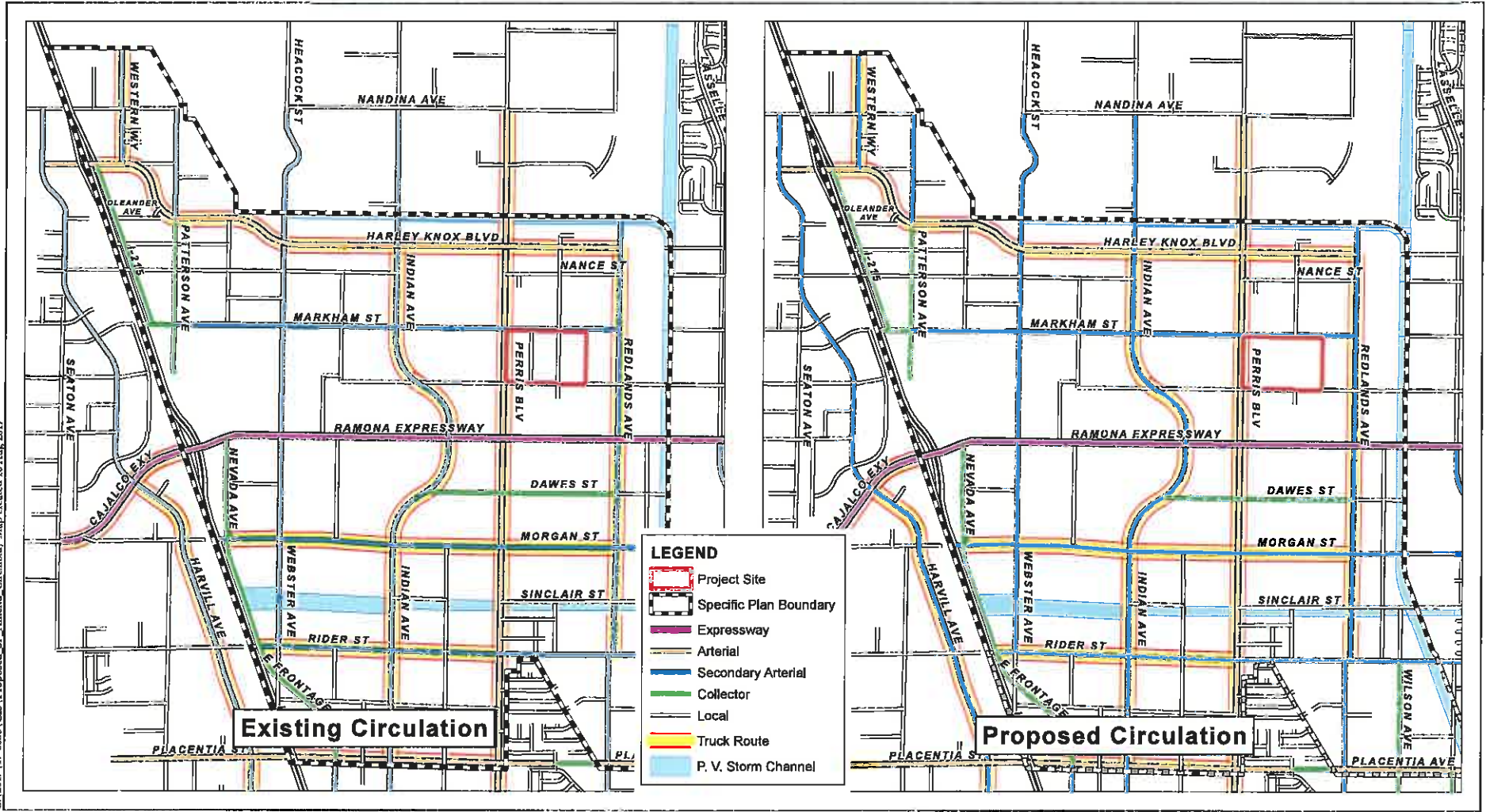




Figure 4.0-16 RESIDENTIAL BUFFER



G:\2017\17-0058\GSI\Proposed_SP_Amend_Circ.mxd: Map created 10 Aug 2017



Source: PVCG Specific Plan, 2011

Figure 1-8 - Proposed Specific Plan Amendment Circulation Plan

Duke Warehouse at Perris Boulevard and Markam Street Project

DEVELOPMENT PLAN REVIEW NO.

DUKE REALTY - PERRIS BOULEVARD & MARKHAM STREET

CONCEPTUAL GRADING & DRAINAGE PLAN

PROPERTY OWNERS

APN 302-120-004
TAMM GRACE REALTY
GRACE REALTY TRUST
BOB STANDISH DRIVE
DIAMOND BAR, CA 91765

APN 302-120-001
JIM GUARRELL
ONE CHATELAIN BARNHILL
1040 FLOWER WAY
OCEANVIEW CA 92691

APN 302-120-006
LUSHE BARTON TRUSTEE
2006 OLD HIGHWAY 945
FALLBROOK, CA 92028

APN 302-120-007
LUSHE BARTON TRUSTEE
2010 OLD HIGHWAY 945
FALLBROOK, CA 92028

APN 302-120-011
DUKE REALTY
200 SPECTRIUM CENTER DRIVE
SUITE 1000
IRVINE, CA 92614

APN 302-120-028
SERVIS, LP
2006 OLD HIGHWAY 945
FALLBROOK, CA 92028

APN 302-120-026
RANLFO & PABLO REYNOLDO
4248 N. PEPPER AVENUE
VENUE, CA 92683

APPLICANT/DEVELOPER
DUKE REALTY CORPORATION
ATTN: ADAM SCHMID
200 SPECTRIUM CENTER DRIVE, SUITE 1000
IRVINE, CA 92614
TEL: (949) 747-7000
FAX: (949) 747-1000

A.P.N.
302-120-004, 302-120-006, 302-120-011 THROUGH
302-120-022

LEGAL DESCRIPTION
REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY
REPORTS NO-718021-012 DATED 3/06/2017,
NO-889243-012 DATED 3/06/2017,
NO-889243-012 DATED 3/06/2017, T18021-1 DATED
3/06/2017, T18021-2 DATED 3/06/2017, T18021-3 DATED
3/06/2017, T18021-4 DATED 4/8/2016, T18021-5 DATED
4/8/2016, T18021-6 DATED 3/06/2017, AND T18021-7
DATED 3/06/2017 FOR A DETAILED LEGAL DESCRIPTION.

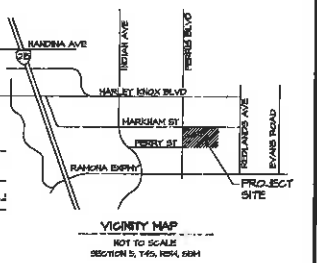
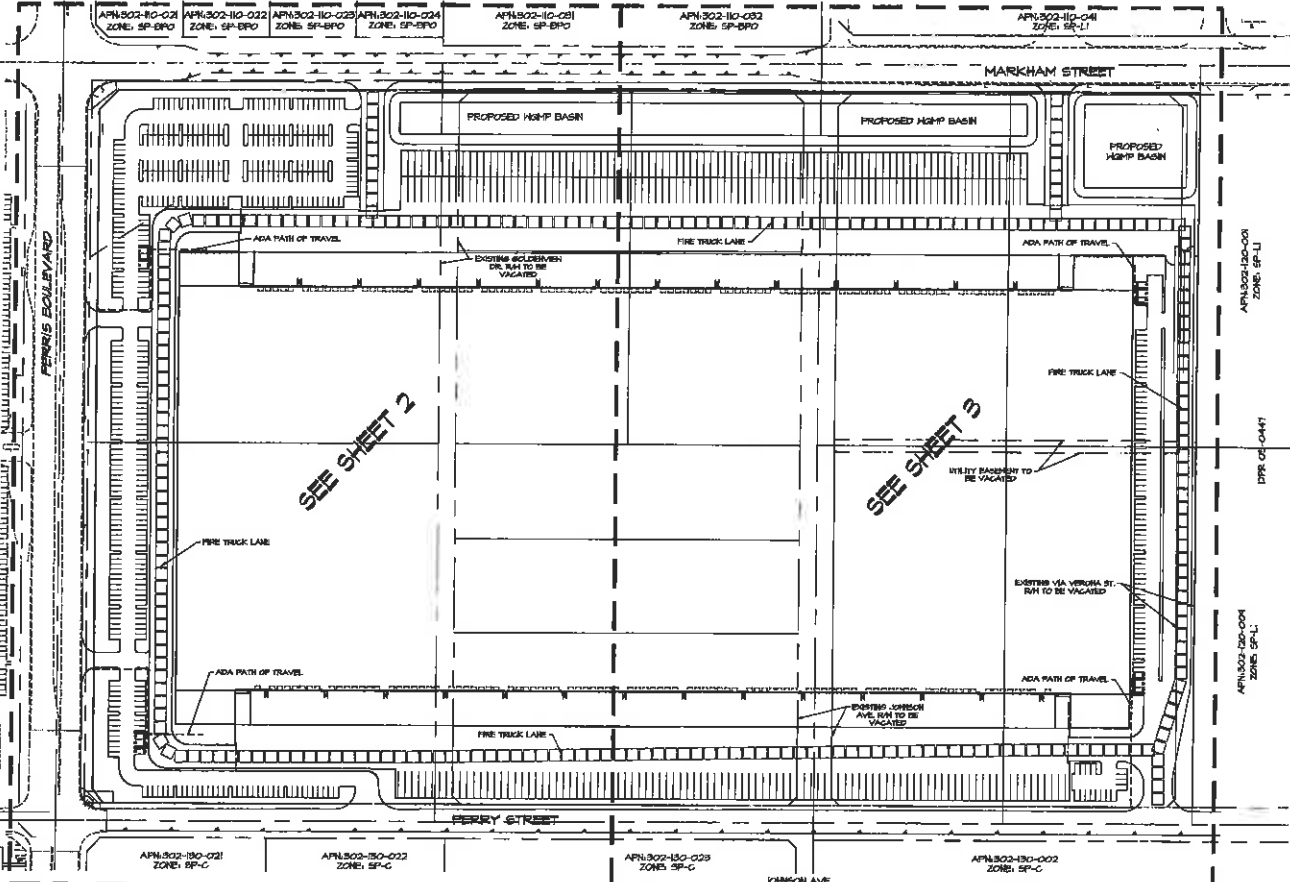
LAND USE
EXISTING ZONE/GENERAL PLAN USE: SP-BP
PROPOSED ZONE/GENERAL PLAN USE: SP-LI
EXISTING LAND USE: VACANT
PROPOSED LAND USE: WAREHOUSE DISTRIBUTION

UTILITY COMPANIES
WATER: EASTERN MUNICIPAL WATER DISTRICT
PHONE: (800) 438-8486
SEWER: EASTERN MUNICIPAL WATER DISTRICT
PHONE: (800) 438-8486
ELECTRIC: SOUTHERN CALIFORNIA EDISON COMPANY
PHONE: (800) 655-4355
TELEPHONE: GENERAL TELEPHONE COMPANY
PHONE: (800) 894-6969
GAS: SOUTHERN CALIFORNIA GAS COMPANY
PHONE: (800) 431-9200
SCHOOL: VAL VERDE UNIFIED SCHOOL DISTRICT
PHONE: (949) 440-6100

EARTHWORK ESTIMATE
CUT: 124,000 CY
FILL: 83,000 CY
SHRINKAGE: 17,000 CY (REPORT)
NET: 30,000 CY (REPORT)

PROJECT DESCRIPTION
DEVELOPMENT PLAN REVIEW FOR A CLASS A CROSS DOCK
WAREHOUSE DISTRIBUTION FACILITY CONSISTING OF 1
BUILDING TOTALING 1,046,660 SQUARE FEET ON 54.73 NET
ACRES.

- NOTES:**
- 2002 THOMAS BROTHERS MAP, PAGE 147, GRID E-7 & F-7, PARCELS T18, G50 & H-1.
 - THIS AREA IS NOT SUBJECT TO MODERATE TO HIGH LIQUIDATION POTENTIAL.
 - THIS AREA IS WITHIN THE PERRIS VALLEY COMMERCE SPECIFIC PLAN.
 - THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
 - THE PROJECT IS WITHIN HARBOR AIRPORT COMPATIBILITY OVERLAY ZONE D.
 - ALL PARCELS WITHIN PROJECT BOUNDARY TO BE CONVEYED VIA PARCEL MAP.



PROJECT DATA

ACRES	54.73 AC.
NET SITE AREA	236,266 SF.
BUILDING AREA	1,046,660 SF.
WAREHOUSE OFFICE	20,000 SF.
TOTAL AREA	1,066,660 SF.
LOT COVERAGE PROVIDED	45.8%
MAX. ALLOWED	50%

PARKING REQUIREMENTS

OFFICE @ 1500 SF. IF EXCESS LOS OF GFA	104 STALLS
EX. 2.5 @ 15000 SF.	32 STALLS
2ND, 20% @ 12000 SF.	10 STALLS
EXCESS @ 15000 SF.	250 STALLS
TOTAL PARKING PROVIDED	386 STALLS

PARKING FOR OFFICE AREA COVERING LESS THAN 10% OF THE TOTAL GROSS SQUARE FOOTAGE OF THE BUILDING SHALL BE INCLUDED IN THE CALCULATION.

PARKING PROVIDED

STANDARD (P007)	494 STALLS
LANDSCAPE (P007)	12 STALLS
TOTAL	486 STALLS
TRAILER (P2X09)	278 STALLS

LANDSCAPED AREA

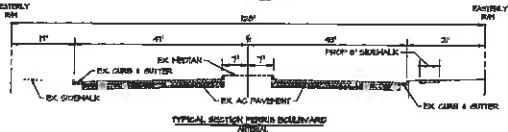
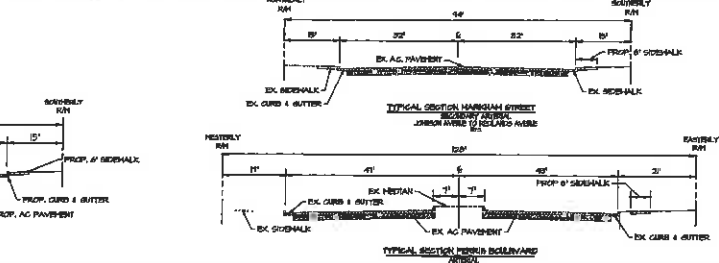
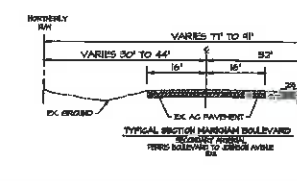
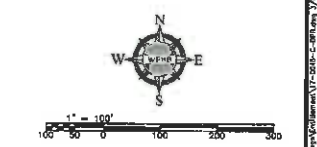
LANDSCAPED AREA REQUIRED	128
LANDSCAPED AREA PROVIDED	12.68
LANDSCAPED AREA PROVIDED	30,836 SF.

LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- ADA PATH OF TRAVEL
- PROPOSED SCREEN MALL
- GRADE/BREAK/ROD/BELINE
- FLOOR LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN
- EXISTING GAS LINE
- EXISTING ELECTRICAL LINE
- FINISHED FLOOR
- FINISHED GROUND
- FINISHED SURFACE
- FLOOR LINE
- GRADE BREAK
- INVERT
- LANDSCAPE AREA
- LOH POINT
- MADEUP
- PROPERTY LINE
- RIGHT OF WAY
- TYPICAL

SHEET INDEX

INDEX MAP	SHEET 1
CONCEPTUAL GRADING	SHEET 2-3



SCALE: 1" = 10'
DATE: MARCH 2017
DESIGNED: CH
CHECKED: SH
REV. OR. REF:
E.C.

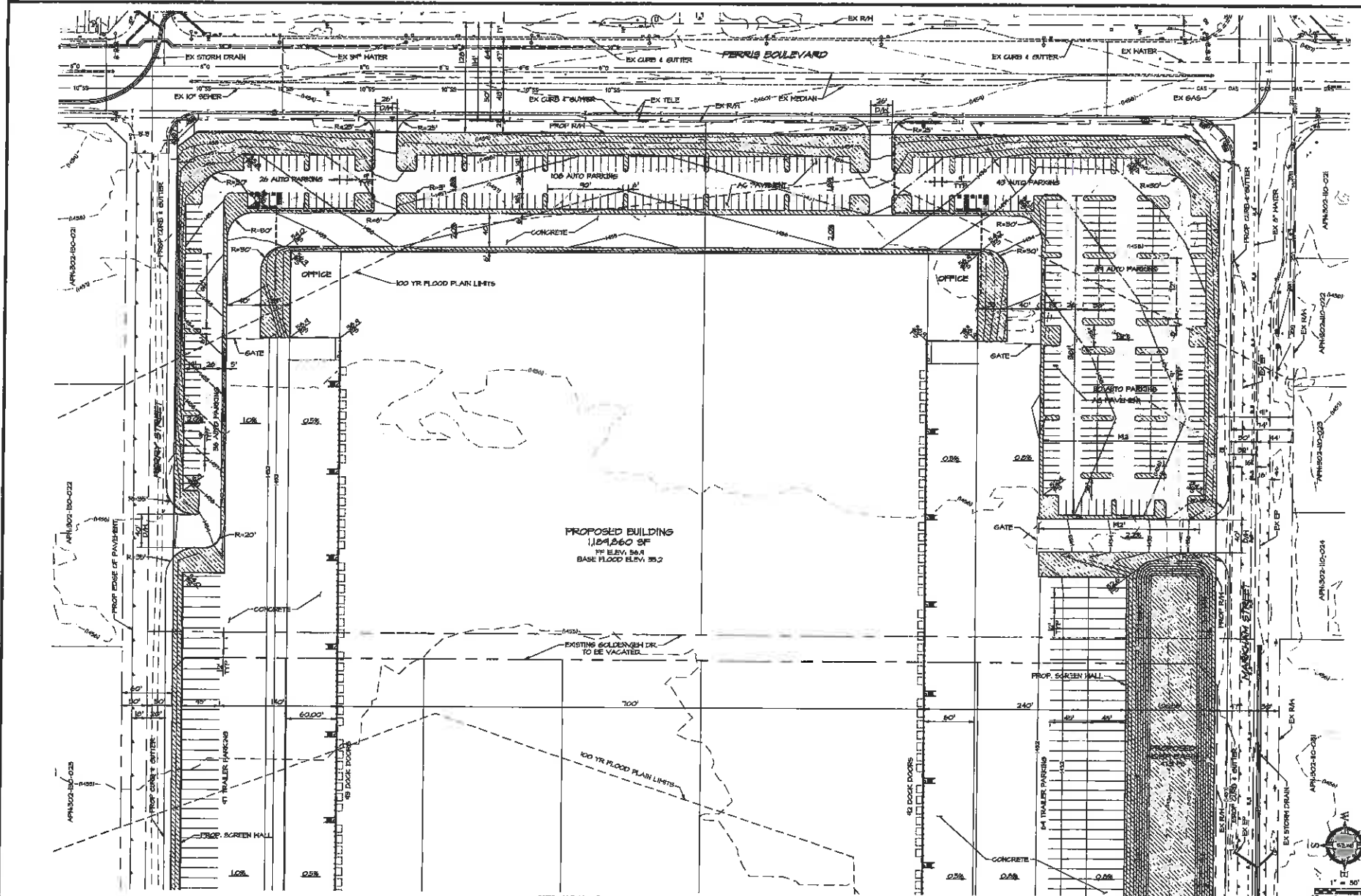
WEBB ASSOCIATES
ENGINEERING CONSULTANTS
1708 BROADWAY STREET
ANN ARBOR, MI 48106
PH: (313) 963-1000
FAX: (313) 786-1256

PLAT DATE: 14-Mar-17

CITY OF PERRIS
DEVELOPMENT PLAN REVIEW #

DUKE REALTY PERRIS BOULEVARD & MARKHAM STREET

NO. 307-0040
SHEET 1
OF 3 SHEETS
DWG. NO.



PROPOSED BUILDING
1,214,260 SF
FF ELEV. 54.4
BASE FLOOD ELEV. 35.2

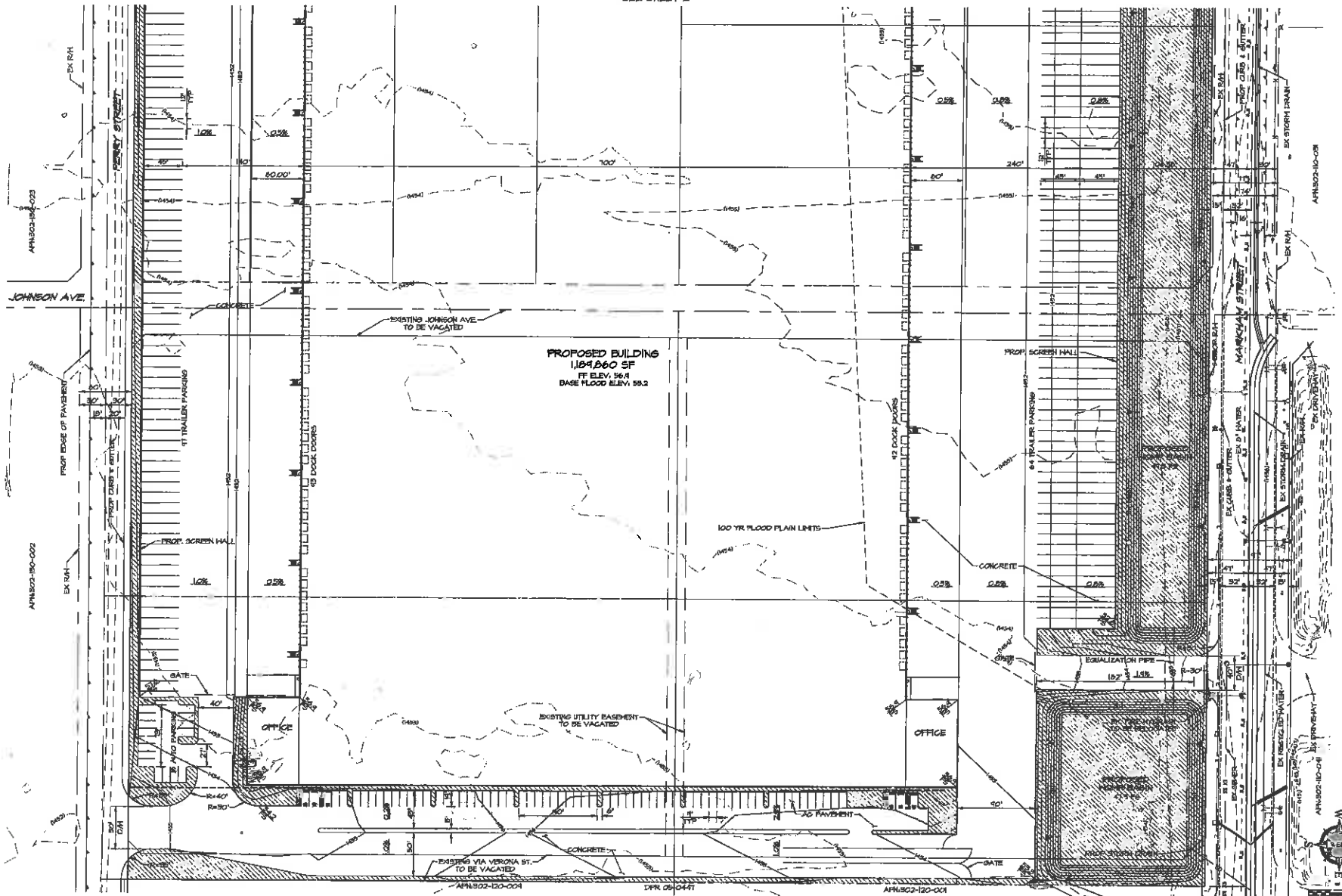
SEE SHEET B

SCALE: 1" = 50'	ALBERT A. WEBB & ASSOCIATES ENGINEERING ARCHITECTS 2700 Mackay Street Feris, Michigan 49504 PH: (267) 288-1377 FAX: (267) 788-1278
DATE: MARCH 2017	
DESIGNED: CUI	
CHECKED: SM	
PLN OR REV:	
PLN OR REV:	PLN DTD: 14-MAR-17

CITY OF FERRIS
DEVELOPMENT PLAN REVIEW #
DUKE REALTY FERRIS BOULEVARD & MARKHAM STREET

PLN. NO. 2017-0248
SHEET 2
OF 2 SHEETS
DRG. NO.

SEE SHEET 2



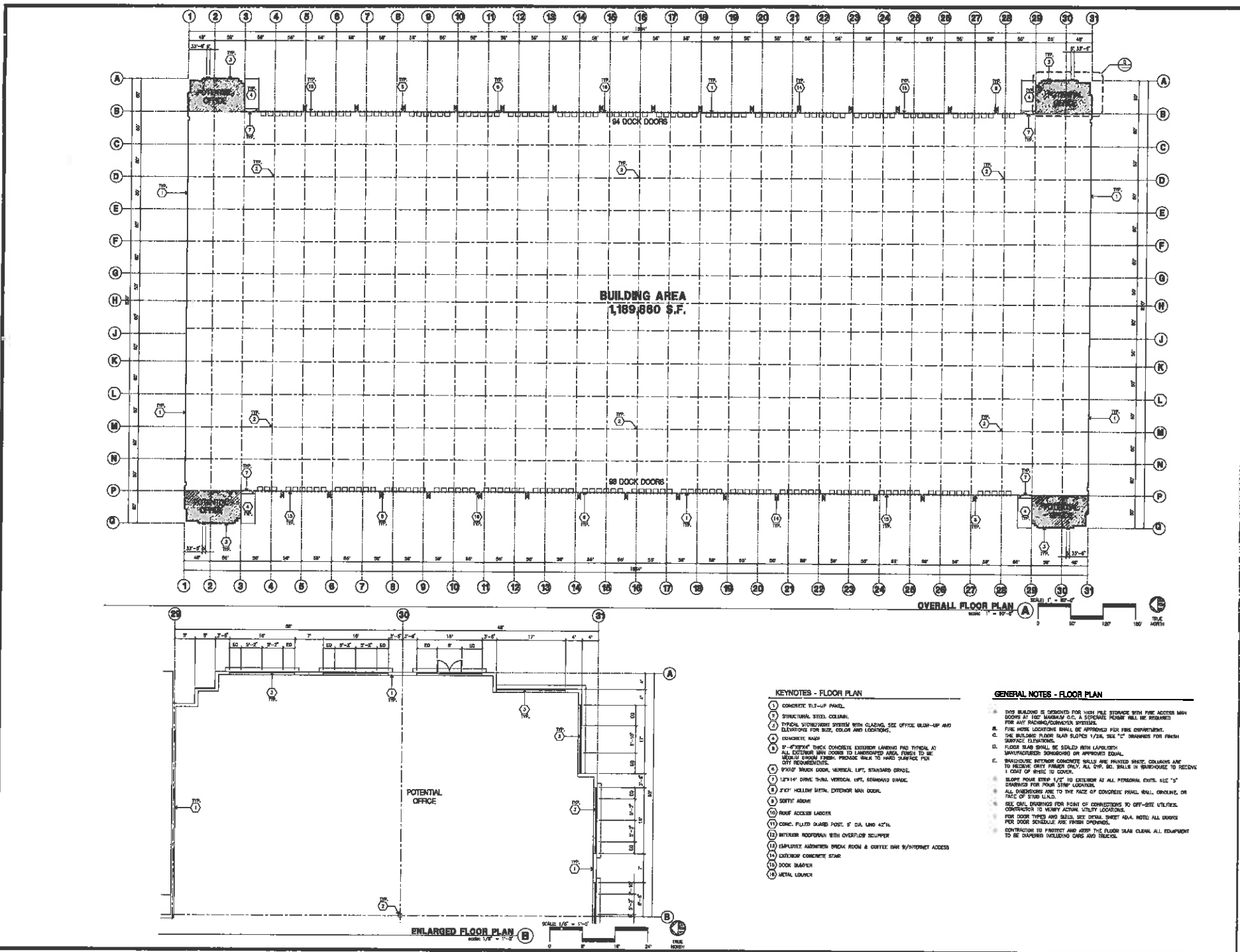
SCALE: 1" = 50'
 DATE: MARCH 2017
 DESIGNED: CRT
 CHECKED: SM
 PLN OR REV:
 E.A.

WEBB
 ASSOCIATES

ENGINEERING CONSULTANTS
 3708 MCKAY STREET
 RIVERSIDE, CA 92506
 PH: (951) 506-1070
 FAX: (951) 298-1238

CITY OF FERRIS
 DEVELOPMENT PLAN REVIEW #
 DUKE REALTY FERRIS BOULEVARD & MARKHAM STREET

NO. 2017-0044
 SHEET 3
 OF 3 SHEETS
 DWG. NO.



BUILDING AREA
1,189,880 S.F.

OVERALL FLOOR PLAN
SCALE: 1/8" = 1'-0"

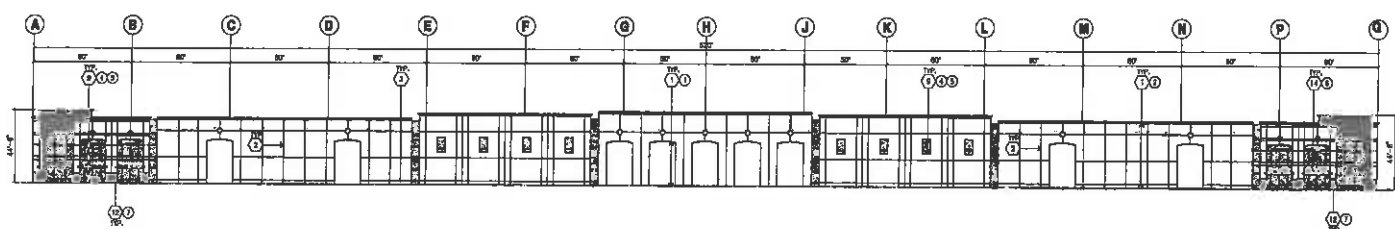
ENLARGED FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL WOODWORK SPECIES WITH GLAZING. SEE OFFICE BLENK-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP.
- 5 4" - 8" THICK CONCRETE EXTERIOR FINISHING PER TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA PERISH TO BE SEISMIC BRIDGE FLOOR. PROVIDE SINK TO HARD SURFACE PER CITY REQUIREMENTS.
- 6 3/4" x 7" TRUCK DOOR, VERTICAL LIFT, STANDARD GRADE.
- 7 1/2" x 1/2" CORE BRILL VERTICAL LIFT, STANDARD GRADE.
- 8 2' x 2' HOLLOW METAL EXTERIOR MAN DOOR.
- 9 VERIFY ABOVE.
- 10 ROOF ACCESS LADDER.
- 11 CONC. FILLED GUARD POST, 6" DIA. LIND 4274.
- 12 INTERIOR ROOFFORM WITH OVERFLOW SCUMPER.
- 13 EMPLOYEE ASSISTANCE BREAK ROOM & COFFEE BAR 9/ANTENNA ACCESS.
- 14 EXTERIOR CONCRETE STAIR.
- 15 DOOR SWAPPER.
- 16 METAL LOUVER.

GENERAL NOTES - FLOOR PLAN

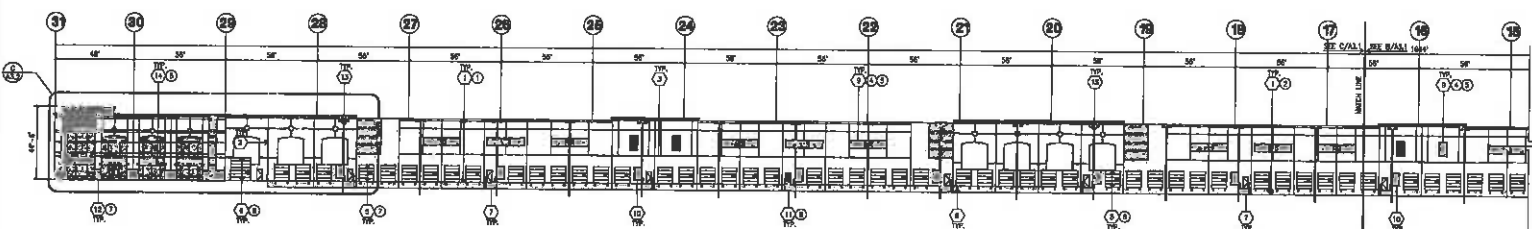
- A THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 10' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY BACKGROUND STORAGE.
- B FIRE HOSE LOCATIONS SHALL BE APPROVED FOR FIRE DEPARTMENT.
- C THE BUILDING FLOOR SLAB THICKNESS SHALL BE 12" DIMENSIONS FOR FINISH SURFACE ELEVATIONS.
- D FLOOR SLAB SHALL BE SEALED WITH LAMINATE MANUFACTURER: SOMMERHOF OR APPROVED EQUAL.
- E INTERIOR EXTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO BE PAINTED GREY FINISH ONLY. ALL CIVIL IS TO BE IN BRICKWORK TO RECEIVE 1 COAT OF WHITE TO COVER.
- F SLOPE FLOOR STEPS 1/4" TO EXTERIOR AT ALL PERSONAL EXITS. SEE "S" DIMENSIONS FOR POUR STRIP LOCATIONS.
- G ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, BRINKING, OR FACE OF STEEL I/L.D.
- H SEE C.A.M. DRAWINGS FOR BEAM OF CONNECTIONS TO OFF-SITE UTILITIES. CONSTRUCTION TO VERIFY ACTUAL UTILITY LOCATIONS.
- I FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET 9/4.4. NOTE ALL DOORS FOR DOOR SCHEDULE AND FINISH DRAWINGS.
- J CONTRACTOR TO VERIFY AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DAMAGED INCLUDING CURS AND TRUCKS.



- KEYNOTES - ELEVATIONS**
- ① CONCRETE TILT-UP PANEL (PAINTED)
 - ② PANEL JOINT
 - ③ PANEL BORDA
 - ④ CONCRETE TILT-UP SCREEN WALL
 - ⑤ IMPROVED DOOR @ DOCK LEVEL
 - ⑥ IMPROVED DOOR @ DRIVE LEVEL
 - ⑦ CONCRETE SOAK, LANDING AND CONC. CANTILEVER
 - ⑧ DOOR SWAPEN
 - ⑨ ALUMINUM STRENGTHENED WINDOW W/ TENSIONED GLASSING AT ALL BORDS
 - ⑩ SCHEDULED WINDOW TO MATCH AND GLAZING W/ MATCHING LESS THAN 1/4" ABOVE F.F. ELEVATION
 - ⑪ WINDOW (TYPE AND LOCATION APPROX. ONLY)
 - ⑫ WINDOW WITH SHIELD
 - ⑬ WINDOW WITH SHIELD
 - ⑭ WINDOW WITH SHIELD
 - ⑮ WINDOW WITH SHIELD
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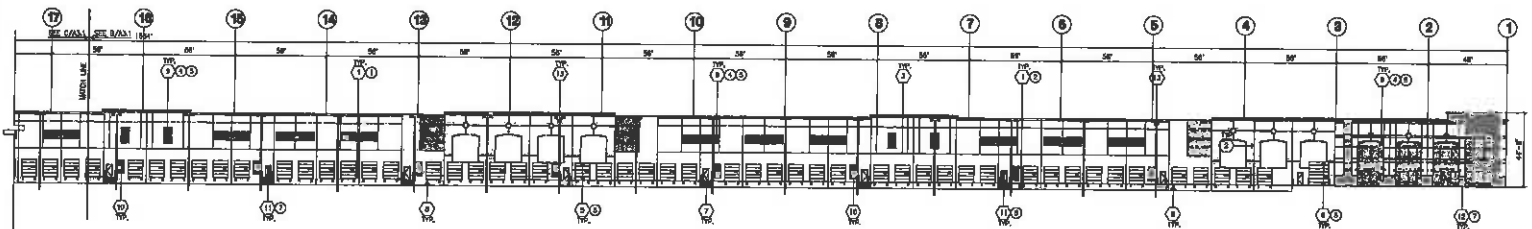
NORTH ELEVATION
SCALE 1" = 30'-0"

- COLOR SCHEDULE - ELEVATIONS**
- | | | | | |
|--------------------------|-------------|---|----------|-----------------|
| ① CONCRETE TILT-UP PANEL | PAINT BRAND | SUPERIOR WALLS | BY T-118 | HEAVY DUTY GRAY |
| ② CONCRETE TILT-UP PANEL | PAINT BRAND | SUPERIOR WALLS | BY T-118 | HEAVY DUTY GRAY |
| ③ CONCRETE TILT-UP PANEL | PAINT BRAND | SUPERIOR WALLS | BY T-118 | HEAVY DUTY GRAY |
| ④ BUILDING | FINISH | GLAZ. ANODIZED | | |
| ⑤ GLAZING | COLOR | GREEN REFLECTIVE GLAZING | | |
| ⑥ METAL CHASSIS | PAINT BRAND | ASPH/FLY LATH WITH 5/8" HIGH GLASS/ W/ 100% PERFORMANCE OF SPLIT LINESPHERE | | |
| ⑦ CONCRETE STONE VENEER | COLOR | SUBMIT ONLY | | |
| ⑧ BRICK | COLOR | MATCH BUILDING COLOR | | |

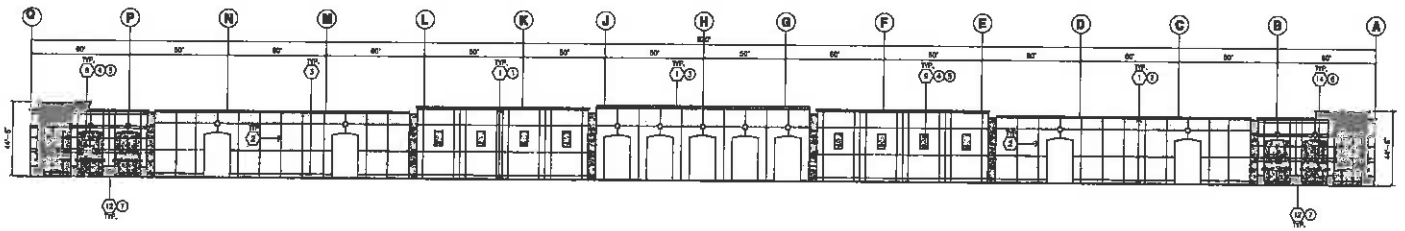


WEST ELEVATION
SCALE 1" = 30'-0"

- GLAZING LEGEND**
- ① TENSIONED VENEER GLASS
 - ② TENSIONED SPANGLER GLASS
- GENERAL NOTES - ELEVATIONS**
- A. ALL PAINT COLOR CHANGES TO OCCUR AT BORDS UNLESS NOTED OTHERWISE.
 - B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 - C. T.O.D. = TOP OF FINISH - ELEVATION.
 - D. T.F. = FINISH FLOOR ELEVATION.
 - E. STRUCTURAL CONSTRUCTION OF GLASS, METAL, CHASSIS AND LATHING SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE T.F. WIND. CONCRETE SHALL BE SPLIT SHOP NUMBER PRIOR TO INSTALLATION.
 - F. CONTRACTOR SHALL PAINT ONE CONCRETE PANEL W/ SELECTED COLOR, ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.



WEST ELEVATION CONT.
SCALE 1" = 30'-0"



EAST ELEVATION
SCALE 1" = 30'-0"

Duke Realty
2500 Cambridge Road
Suite 100
Phoenix, AZ 85019

Int. Inc.
11.211 Jackson Avenue - W. 4100
Tucson, AZ
85718
Tel: 520-885-1170
Fax: 520-885-0851

Consultants

C. O. W. J. H. W. J. H.

Markham & Johnson

780 PERRIS, CA

MARKHAM & JOHNSON

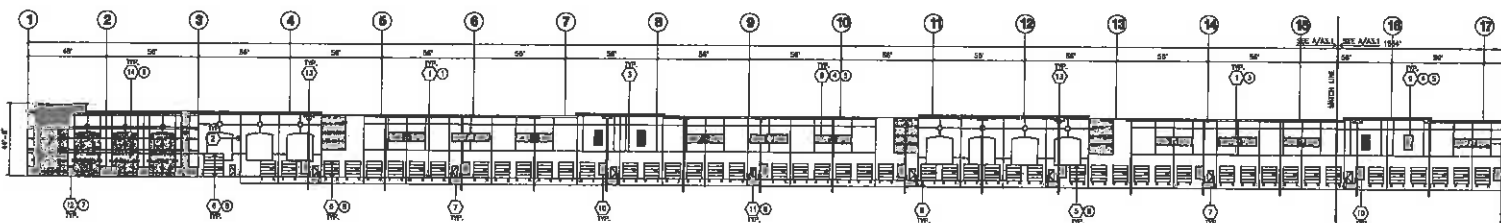
REGISTERED ARCHITECT
C-28451
3817 N. 16th Ave.
PHOENIX, AZ 85016

Scale

Sheet No. 1 of 1

A3.1

18882



- ### KEYNOTES - ELEVATIONS
- 1 CONCRETE TILT-UP PANEL (SHADED).
 - 2 PANEL JOINT.
 - 3 PANEL BEVEL.
 - 4 CONCRETE TILT-UP SCREEN WALL.
 - 5 OVERHEAD DOOR @ DOCK LEVEL.
 - 6 OVERHEAD DOOR @ DRIVE LEVEL.
 - 7 CONCRETE BRICK LAMING AND CONC. CURTAINING.
 - 8 DOCK RAMBER.
 - 9 ALUMINUM THERMOFORM FRAMING BY TENSORED GLASS AT ALL DOORS. RESULTS ADJUSTED TO DOORS AND GLAZING BY NOTATION LESS THAN 1/2" DOORS 7'-0" ELEVATION.
 - 10 LEANING RAILS AND LOCATION APPROVAL ONLY.
 - 11 HOLLOW METAL DOORS.
 - 12 GAVLEND STEEL VENER.
 - 13 ANTERIOR ROOF DRAIN WITH OVERLAP SCUPPER.
 - 14 EXTERIOR CHIMNEY.

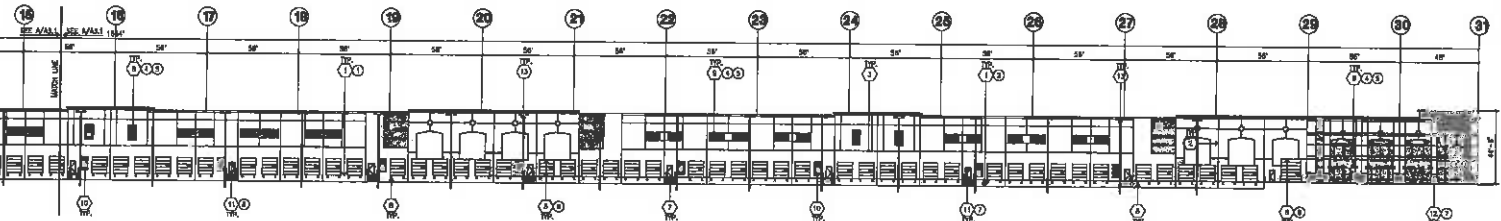
COLOR SCHEDULE - ELEVATIONS

1	CONCRETE TILT-UP PANEL	PAINT BRAND	EXTERIOR WALLS SEE TITLE BLOCK, GRAY
2	CONCRETE TILT-UP PANEL	PAINT BRAND	EXTERIOR WALLS SEE TITLE BLOCK
3	CONCRETE TILT-UP PANEL	PAINT BRAND	EXTERIOR WALLS SEE TITLE BLOCK
4	MARLING	FRESH	GLAZING
5	GLAZING	COLOR	GREEN REFLECTIVE GLAZING
6	METAL CANOPY	PAINT BRAND	AGRICULTURAL LATEX PAINTS WITH EXCELLENT WEATHER PERFORMANCE SEE TITLE BLOCK
7	CONCRETE STONE VENEER	COLOR	DRYBRICK GRAY
8	DOORS	COLOR	MATCH BUILDING GRAY

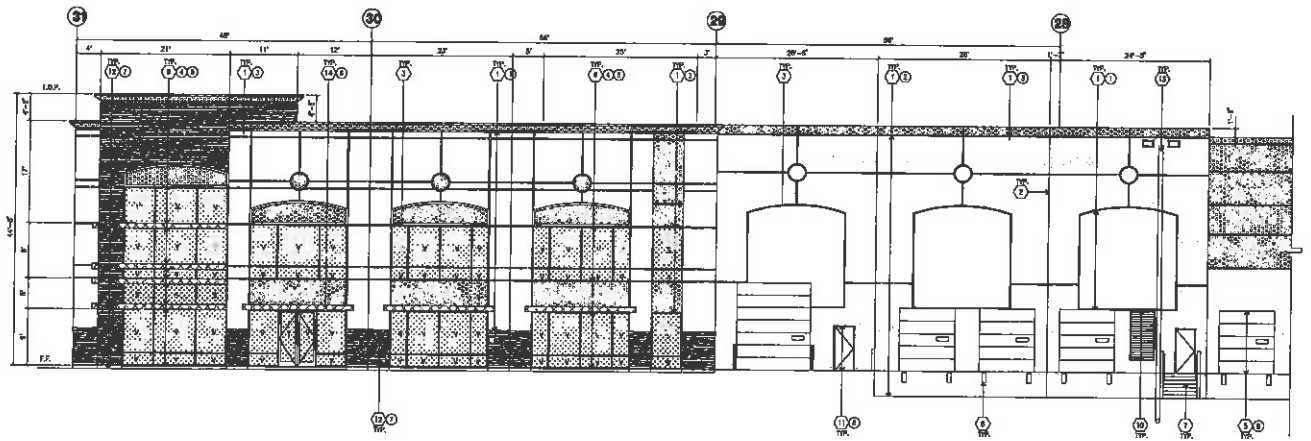
GLAZING LEGEND

[Pattern]	TEMPERED WIND GLASS	[Pattern]	TEMPERED SPANDREL GLASS
-----------	---------------------	-----------	-------------------------

- ### GENERAL NOTES - ELEVATIONS
- A. ALL PAINT COLOR CHANGES TO DOOR AS NOTED CONFORM UNLESS NOTED OTHERWISE.
 - B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
 - C. F.F. = TOP OF FINISH FLOOR ELEVATION.
 - D. F.F. = FINISH FLOOR ELEVATION.
 - E. THERMOFORM CONSTRUCTION GLASS, METAL ATTACHMENTS AND LAMINATES SHALL BE DESIGNED TO RESIST 90 MPH EXPOSURE 1/2" SPANS. CONTRACTOR SHALL SUBMIT SHOP DRAWING PRIOR TO INSTALLATION. CONTRACTOR SHALL FULLY FINISH ONE CONCRETE PANEL BY SELECTED COLOR, ARCHITECT AND OWNER SHALL APPROVE PRIOR TO FINISHING REMAINDER OF BUILDING.



EAST ELEVATION CONT. (B)
SCALE 1/8" = 1'-0"



ENLARGED WEST ELEVATION (D)
SCALE 1/8" = 1'-0"

Duke REALTY
Duke Realty
2550 Comstock Road
Suite 110
Perris, AZ 85116

12201 Harbor Blvd - 2nd Fl
Perris, CA 92412
Tel: 951-952-1270
Fax: 951-952-0851

Consultants

CA: 2	1888
Source:	
Architect:	
PL: 7-17	
CS: 28	
DATE:	
Author/Designer:	
DATE:	
Project:	

DATE:	
REVISION:	
NO.:	
DATE:	
BY:	
DATE:	

MARKHAM & JOHNSON
180 PERRIS, CA



Drawn:

A3.2

16362

CITY OF PERRIS DUKE PERRIS TENTATIVE PARCEL MAP 37304

BEING ALL OF LOT 5 IN BLOCK 7 OF THE RIVERSIDE TRACT, AS SHOWN BY MAP ON FILE IN BOOK 14 PAGE 669 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA ALONG WITH LOT 4 IN BLOCK 7 OF RIVERSIDE TRACT AS SHOWN BY MAP ON FILE IN BOOK 14 PAGE 668 OF MAPS, ALONG WITH PARCELS 1 THROUGH 4, INCLUSIVE THEREOF, OF PARCEL MAP THIS AS SHOWN BY MAP ON FILE IN BOOK 44 PAGE 50 AND 51 OF PARCEL MAPS, ALONG WITH PARCELS 1 THROUGH 4, INCLUSIVE THEREOF, OF PARCEL MAP THIS AS SHOWN BY MAP ON FILE IN BOOK 53 PAGE 85 OF PARCEL MAPS, ALONG WITH PARCELS 1 THROUGH 4, INCLUSIVE THEREOF, OF PARCEL MAP THIS AS SHOWN BY MAP ON FILE IN BOOK 12 PAGE 13 AND 14 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA ALONG WITH VACATED PORTIONS OF GOLDENVIEW DRIVE, JOHNSON AVENUE, AND VIA VERONA STREET

APPLICANT:
 COMPANY: DUK REALTY CORPORATION
 CONTACT: ADAM SHAM
 ADDRESS: 200 SPECTRUM CENTER DRIVE
 SUITE 100 IRVINE, CA 92618
 PHONE: (949) 971-1000
 FAX:

ENGINEER:
 COMPANY: ALBERT A. VEBB ASSOCIATES
 CONTACT: D.J. ARELLANO
 ADDRESS: 3788 NEGLAND ST
 RIVERSIDE, CA 92506
 PHONE: (951) 688-4070
 FAX: (951) 788-1286

ARCHITECT:
 COMPANY: TSP ARCHITECTS
 CONTACT: STEVE HARRIS
 ADDRESS: 1848 BARRETT AVE, SUITE 100
 IRVINE, CA 92614
 PHONE: (949) 862-3822
 FAX:

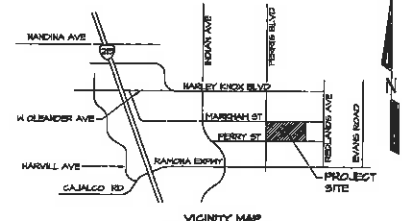
TOPOGRAPHY:
 COMPANY: T&L AERIAL SERVICES, INC.
 CONTACT: TERRY A. ABLETTON
 ADDRESS: 171 ARLINGTON AVE, SUITE A
 RIVERSIDE, CA 92503
 PHONE: (951) 487-4272
 FAX: (951) 487-4272
 DATED: 12-04-2006

APNs:
 802-120-004, 802-120-006,
 802-120-011 THROUGH 802-120-022

UTILITY COMPANIES:
 WATER: EASTERN MUNICIPAL WATER DISTRICT
 SEWER: EASTERN MUNICIPAL WATER DISTRICT
 ELECTRIC: SOUTHERN CALIFORNIA Edison COMPANY
 GAS: SOUTHERN CALIFORNIA GAS COMPANY
 TELEPHONE: VERIZON

LEGAL DESCRIPTION:
 REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY REPORTS N63-71802R-GA2 DATED 3/30/2007, N63-80224-S-GA2 DATED 3/30/2007, N03-09214-6-GA2 DATED 12/20/2007, T1802R-1 DATED 12/20/2007, T1802R-2 DATED 12/20/2007, T1802R-3 DATED 12/20/2007, T1802R-4 DATED 4/6/2008, T1802R-5 DATED 4/4/2008, T1802R-6A DATED 12/20/2007, AND T1802R-1 DATED 12/20/2007 FOR A DETAILED LEGAL DESCRIPTION.

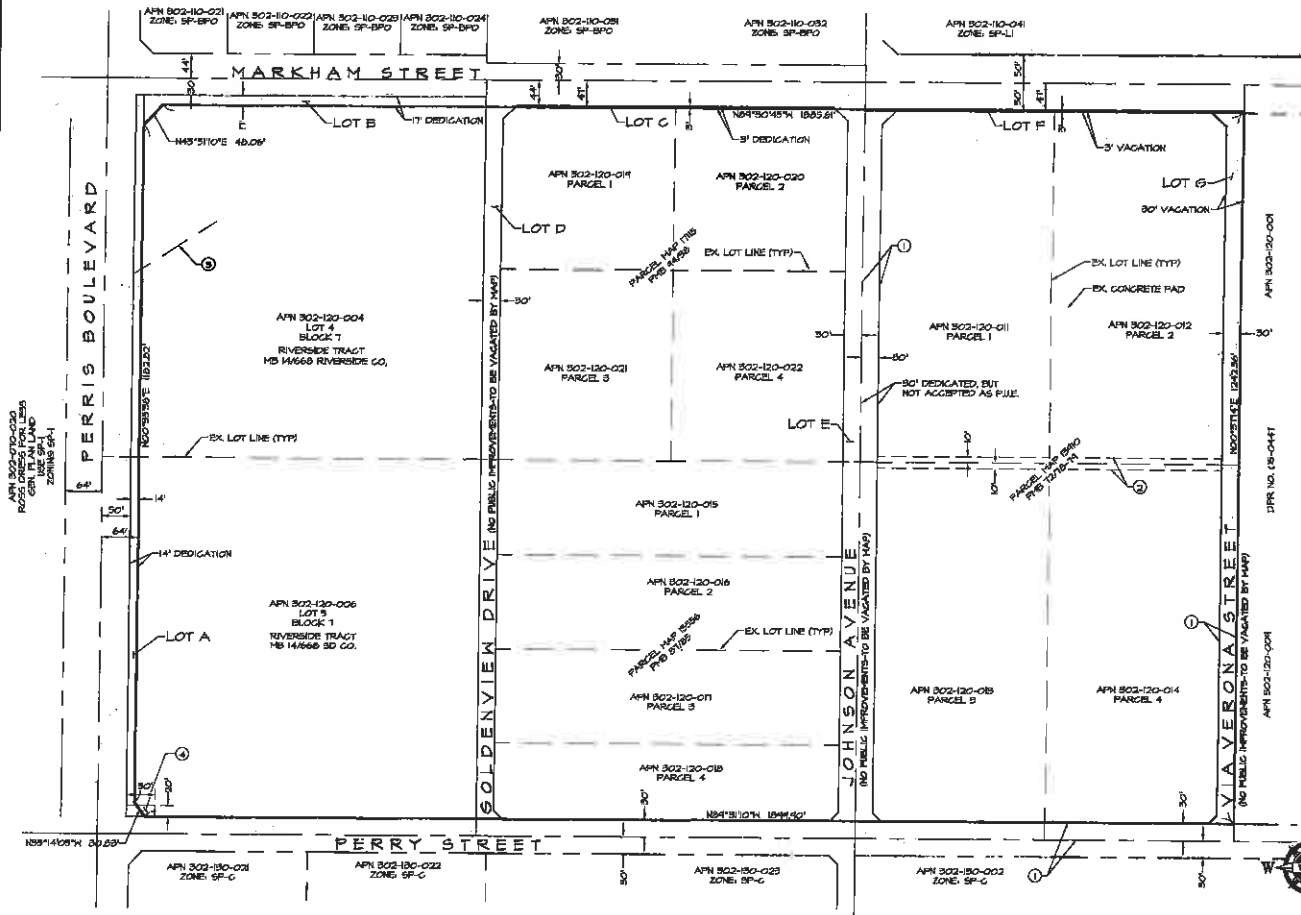
SCHOOL DISTRICT:
 VAL VERDE UNIFIED SCHOOL DISTRICT



ACREAGE:
 LOT A: 0.28 AC RIGHT OF WAY DEDICATION PERRIS BLVD.
 LOT B: 0.28 AC RIGHT OF WAY DEDICATION MARKHAM STREET
 LOT C: 0.28 AC RIGHT OF WAY DEDICATION JOHNSON AVENUE
 LOT D: 0.28 AC RIGHT OF WAY VACATION GOLDENVIEW DRIVE
 LOT E: 1.13 AC RIGHT OF WAY VACATION JOHNSON AVENUE
 LOT F: 0.28 AC RIGHT OF WAY VACATION MARKHAM STREET
 LOT G: 0.28 AC RIGHT OF WAY VACATION VIA VERONA STREET
 NET: 58.41 AC
 GROSS: 58.41 AC

LAND USE/ZONING:
 EXISTING ZONE/GENERAL PLAN USE: SF-BP
 PROPOSED ZONE/GENERAL PLAN USE: SF-L1
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: WAREHOUSE DISTRIBUTION

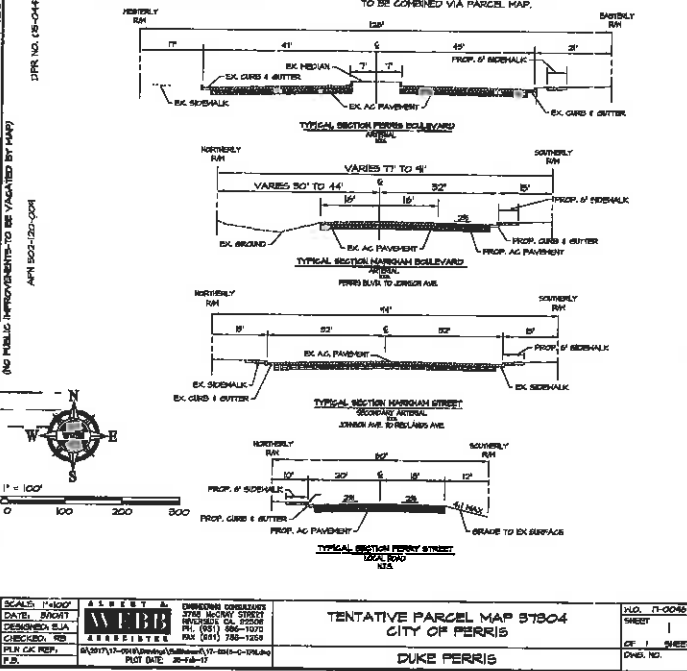
- NOTES:**
1. 2006 THOMAS BROTHERS MAP, PAGES 747, GRID E-1 & F-1, PAGE 777, GRID G-1 & H-1.
 2. THIS AREA IS NOT SUBJECT TO MODERATE TO HIGH LIQUEFACTION POTENTIAL.
 3. THIS AREA IS WITHIN THE PERRIS VALLEY COMMERCIAL SPECIFIC PLAN.
 4. THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
 5. THE PROJECT IS WITHIN MARLBOROUGH AIRPORT COMPATIBILITY OVERLAY ZONE D.
 6. ALL PARCELS SITHIN PROJECT BOUNDARY TO BE COVERED VIA PARCEL MAP.



- EASEMENT NOTES**
1. AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS, OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 09, M&O AS INSTRUMENT NO. 80-18940 OF OFFICIAL RECORDS, TO BE OUTLAINED.
 2. AN EASEMENT FOR SEWERS AND INCIDENTAL PURPOSES, RECORDED JUNE 21, 1974 AS INSTRUMENT NO. 15452 OF OFFICIAL RECORDS, TO BE OUTLAINED.
 3. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 25, 1959 IN BOOK 1454, PAGE 46 OF OFFICIAL RECORDS, TO BE OUTLAINED.
 4. GRANTED TO JOHN L. GARAT & RESERVED TO SOUTHERN CALIFORNIA Edison RECORDED JULY 25, 1977 AS INSTRUMENT NO. 177-161400 OF OFFICIAL RECORDS, TO BE OUTLAINED.

PROPERTY OWNERS:

APN 802-120-004 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-006 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-011 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-012 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-013 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-014 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618
APN 802-120-015 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-016 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-017 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-018 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-019 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618	APN 802-120-020 DUKE REALTY 200 SPECTRUM CENTER DRIVE IRVINE, CA 92618



NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Board Chambers
Riverside, California

DATE OF HEARING: April 12, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1249MA17 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates) – City of Perris Planning Case Nos.17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review). This notice is a correction to the City case numbers and project description used in the previous ALUC notice for a public hearing dated May 11, 2017 (i.e. "PLN17-00002 Specific Plan Amendment, Design Review"). The correct City case numbers are 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review), and the correct case description is as follows: a proposal to develop a 1,189,860 square foot industrial building on 54.71 acres located easterly of Perris Boulevard, southerly of Markham Street, and northerly of Perry Street, extending easterly toward Redlands Avenue. The industrial building will be primarily for warehousing purposes (1,169,860 square feet of warehousing area, with 20,000 square feet of office area). The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation on the westerly 35.45 acres of the site from Business Professional Office to Light Industrial (the easterly 19.26 acres are already designated Light Industrial), and amend the Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Diane Sbardellati of the City of Perris Planning Department at (951) 943-5003.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP 1249MA17

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application _____

Property Owner _____

See Attached

Phone Number _____

Mailing Address _____

See Attached

Agent (if any) _____

Duke Realty c/o Adam Schmid

Phone Number _____

949-797-7038

Mailing Address _____

200 Spectrum Center Drive, Suite 1600, Irvine, CA 92618

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address _____

South of Markham Street, ^{east} west of Perris Blvd., north of Perry St., and ^{west} east of Redlands Avenue

Assessor's Parcel No. _____

302-120-004, 302-120-006, 302-120-011 thru -022

Parcel Size _____

55 acres

Subdivision Name _____

Lot Number _____

Zoning _____

Classification _____

PVCC-BPO & LI

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) _____

The existing land use is vacant.

Proposed Land Use (describe) _____

A proposed 1,197,050 SF distribution warehouse in the PVCC Specific Plan at the southeast corner of Markham Street and Perris Blvd. Project is zoned SP and has a land use designation of Light Industrial and Business Park/Office. The LI is consistent with what we are proposing and we are currently processing a specific plan amendment to rezone the BPO to LI.

For Residential Uses _____

Number of Parcels or Units on Site (exclude secondary units) _____

N/A

For Other Land Uses _____

Hours of Use _____

Spec building, TBD

(See Appendix C) _____

Number of People on Site _____

Maximum Number _____

Spec Building, TBD

Method of Calculation _____

Height Data _____

Height above Ground or Tallest Object (including antennas and trees) _____

44.6

ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site _____

1456.9

ft.

Flight Hazards _____

Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?

Yes

No

If yes, describe _____

Much D

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)

Date Received _____

Agency Name _____

City of Perris

101 N. D Street, Perris CA 92570

Staff Contact _____

DIANE SBARDELLATI

Phone Number _____

951-943-5003

Agency's Project No. _____

PLN17-00002

PLN17-05060

Type of Project

General Plan Amendment

Zoning Amendment or Variance

Subdivision Approval

Use Permit

Public Facility

Other TPM, Design Review, and SPA

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1. Completed Application Form
- 1. Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1. Completed Application Form
- 1. Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. Elevations of Buildings - Folded
- 1. 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1. Check for review—See Below

Property Owners:

APN: 302-120-004

GRACE KUEI-CHUN TNAG, A MARRIED WOMAN AS HER SOLE AND SEPARATE PROPERTY
1306 Stardust Drive, Diamond Bar, CA 91765

APN: 302-120-006

EUGENE M. GABRYCH, AS TRUSTEES OF THE GEBRYCH FAMILY TRUST, ESTABLISHED OCTOBER 9, 2007
2006 Old Highway 395, Fallbrook, CA 92028

APN: 302-120-011 and 012, -013, -014

Duke Realty Limited Partnership
200 Spectrum Center Drive, Suite 1600, Irvine, CA 92618

APN: 302-120-015

GENUS, L.P., A CALIFORNIA LIMITED PARTNERSHIP
2006 Old Highway 395, Fallbrook, CA 92028

APN: 302-120-016

RANULFO G. REYNOSO, A MARRIED MAN AND PABLO REYNOSO, A MARRIED MAN, EACH AS TO AN
UNDIVIDED ½ INTEREST.
4245 W. Feemster Avenue, Visalia, CA 3277

APN: 302-120-017 and 018

JUNE CHAPPELL AND JUNIE CHAPPELL BAERWALD
1040 Plover Way, Oceanside, CA 92057

**APN: 302-120-019 (PARCEL 1 OF PARCEL A), 021 (PARCEL 2 OF PARCEL A), 021 (PARCEL 3 OF PARCEL B)
AND 022 (PARCEL 4 OF PARCEL B)**

HSU SHAO-PING LIN, A MARRIED WOMAN AND HUNG-YI LIN A SINGLE MAN AS JOINT TENANTS AS TO
AN UNDIVIDED 38% INTEREST AND GEORGE CHUNG HAO CHANG, A MARRIED MAN AS HIS SOLE AND
SEPARATE PROPERTY, AS TO UNDIVIDED 31% INTEREST; AND CHARLES CHUNG YUNG CHANG, A SINGLE
MAN, AS TO AN UNDIVIDED 31% INTEREST.

20960 E. Walnut Canyon Road, Walnut, CA 91789

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: April 12, 2018

CASE NUMBER: ZAP1299MA18 – Ming Chin Nozawa (Representative: Tritech Engineering Associates)

APPROVING JURISDICTION: County of Riverside

JURISDICTION CASE NO: CZ7954 (Change of Zone), PM37340 (Tentative Parcel Map)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Parcel Map CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: A proposal to divide a 2.27 acre site into two parcels and change the site's zoning from Light Agriculture 10 acre minimum (A-1-10) to Light Agriculture 1 acre minimum (A-1-1).

PROJECT LOCATION: The site is located at 15600 Chicago Avenue (on the easterly side of Chicago Avenue), southerly of Gentian Avenue, and northerly of Hibiscus Avenue, within the unincorporated community of Woodcrest, approximately 22,800 feet westerly of the northerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone D
- c. Noise Levels: Below 60 CNEL from aircraft

BACKGROUND:

Residential Density: The tentative parcel map/change of zone site is located within Compatibility Zone D of March Air Reserve Base/Inland Port Airport Influence Area. Pursuant to the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (ALUCP), residential densities in Compatibility Zone D are not restricted. Therefore, the proposed parcel map and change of zone to

allow single-acre lots are consistent with the residential density criterion.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). At a distance of approximately 22,800 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review could be required for any structures with top of roof exceeding 1,763 feet AMSL. The site elevation is approximately 1,545 feet AMSL. No buildings are proposed with this project at this time; however, a single-family residence would be approximately 30 feet in height, resulting in a top point elevation of 1,575 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service would not be required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

CONDITIONS:

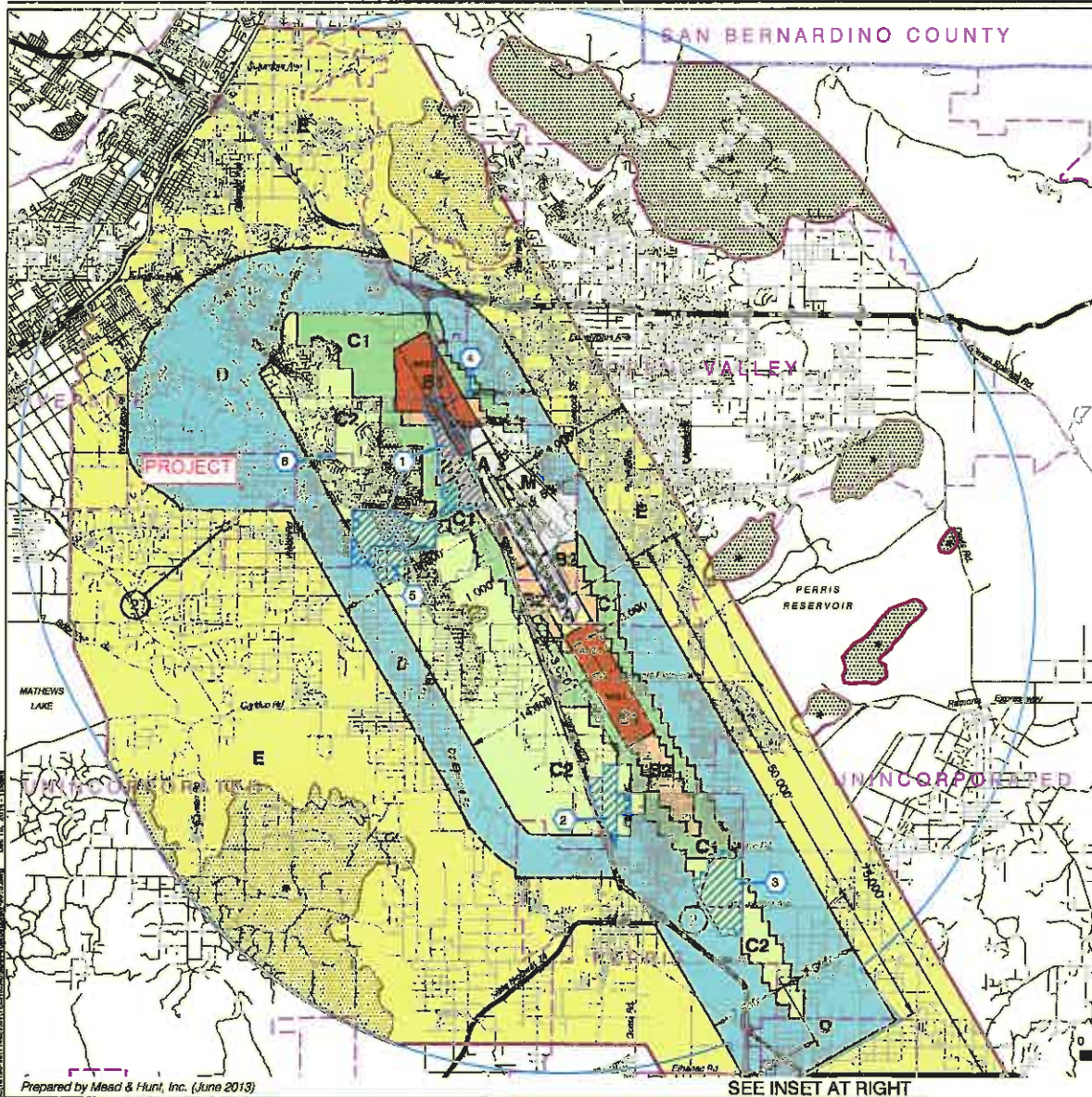
1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible

wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the proposed lots and to the tenants of the homes thereon, and shall be recorded as a deed notice.
- 4. No detention basins are shown on the parcel map. Any new detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

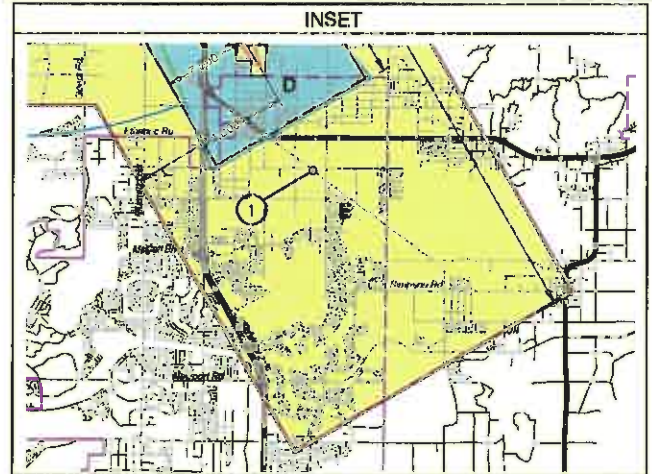
Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)
 - 1 March JPA: March Business Center/Meridian
 - 2 Peris: Harvest Landing
 - 3 Parris: Park West
 - 4 Moreno Valley: Affordable Housing
 - 5 March JPA: Ben Clark Training Center
 - 6 Riverside: Ridge Crest Subdivision

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County
Airport Land Use Commission**

**March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan**

(Adapted November 13, 2014)

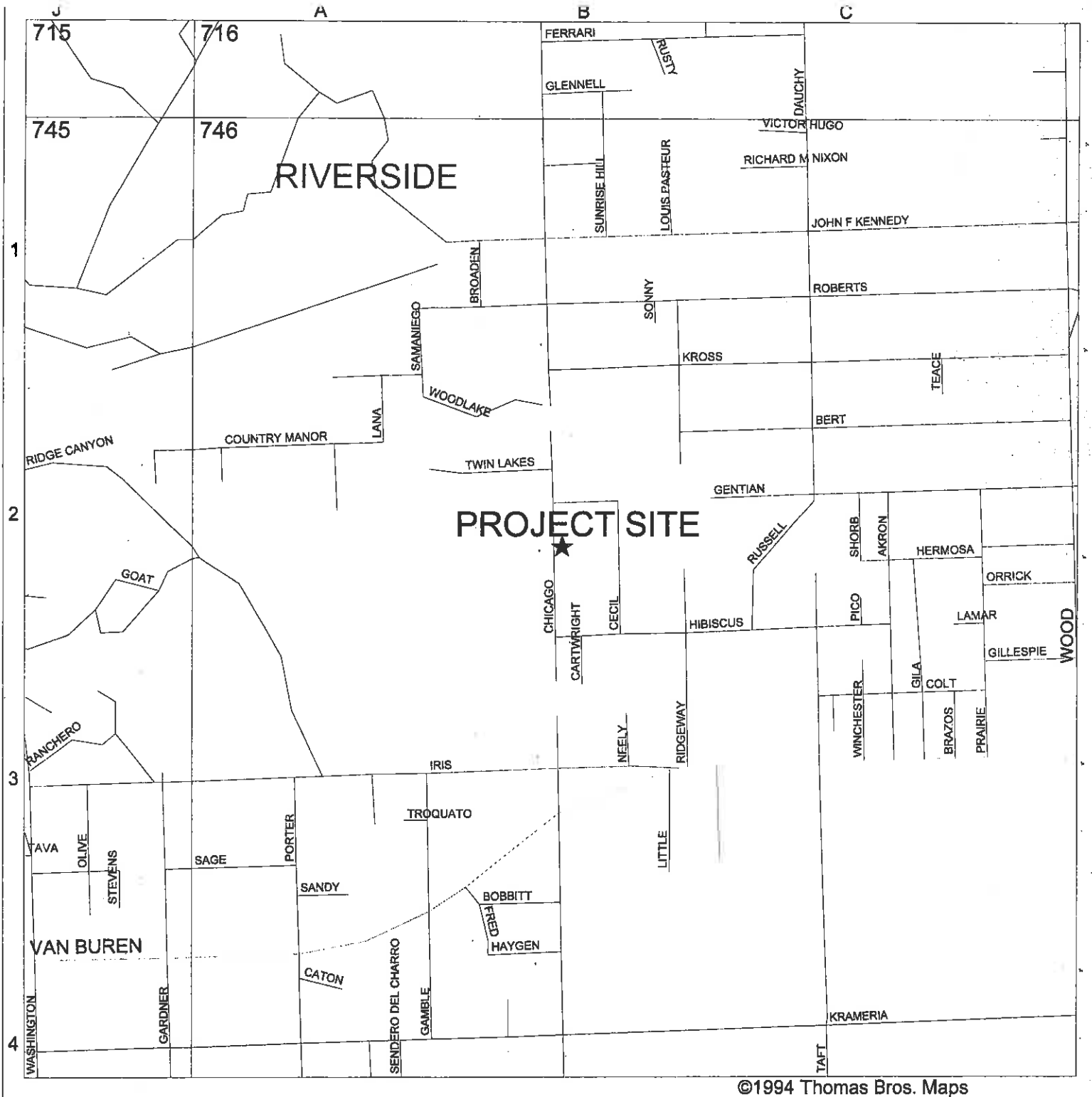
Map MA-1

Compatibility Map
March Air Reserve Base / Inland Port Airport

Note:
All dimensions are measured from runway ends and centerline.



Base map source: County of Riverside 2013



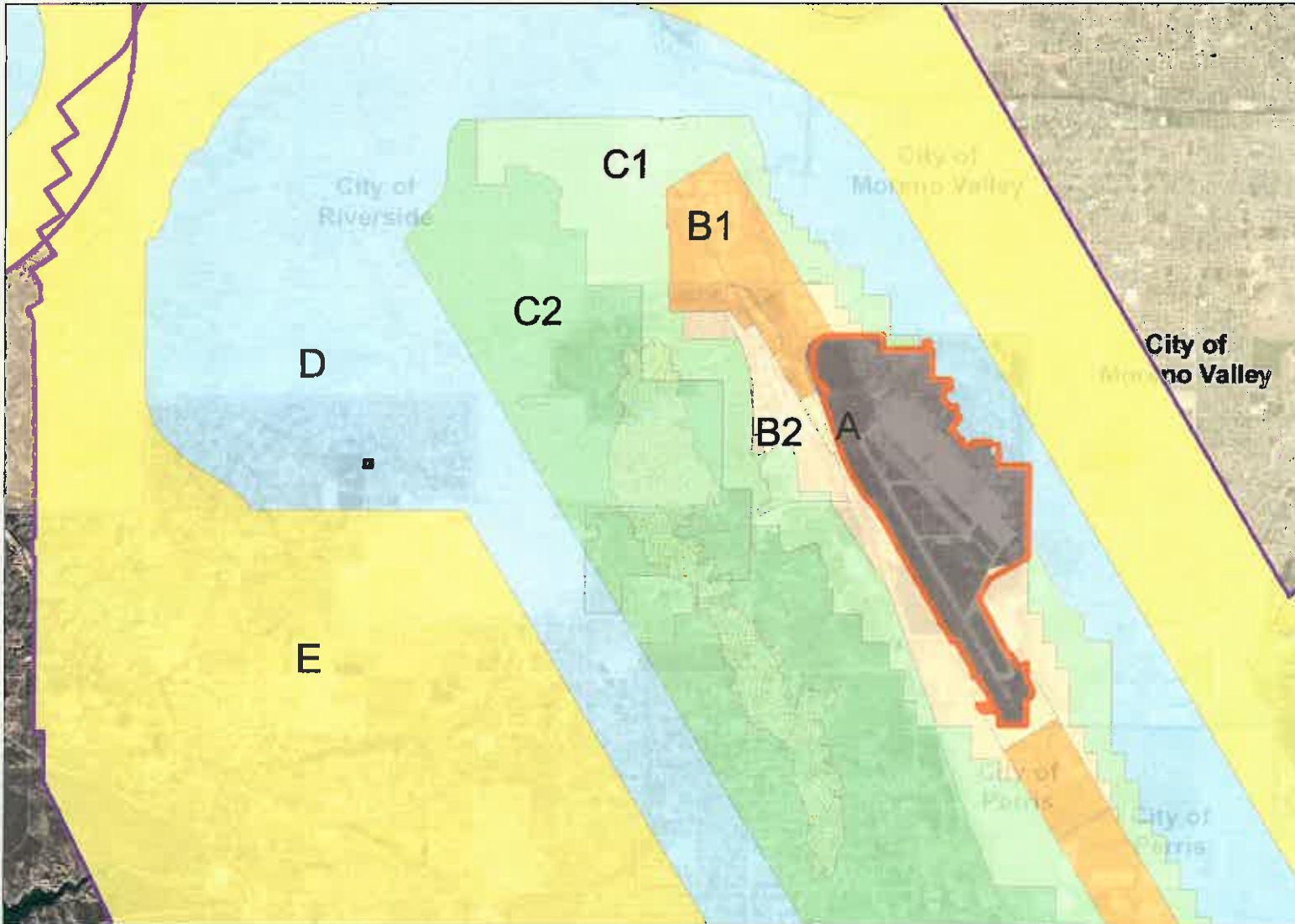
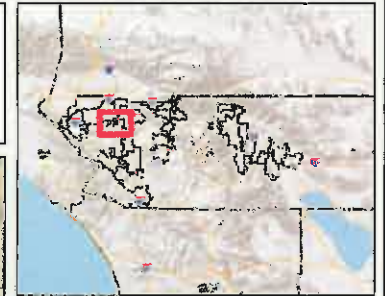
©1994 Thomas Bros. Maps

VICINITY MAP

SITE : 15600 CHICAGO AVENUE


GC MAPPING SERVICE, INC.
 3055 WEST VALLEY BOULEVARD
 ALHAMBRA CA 91803
 (626) 441-1080, FAX (626) 441-8850
GCMAPPING@RADIUSMAPS.COM

My Map




Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC6
- C2-EXC6
- C2-HIGHT



0 8,967 17,934 Feet



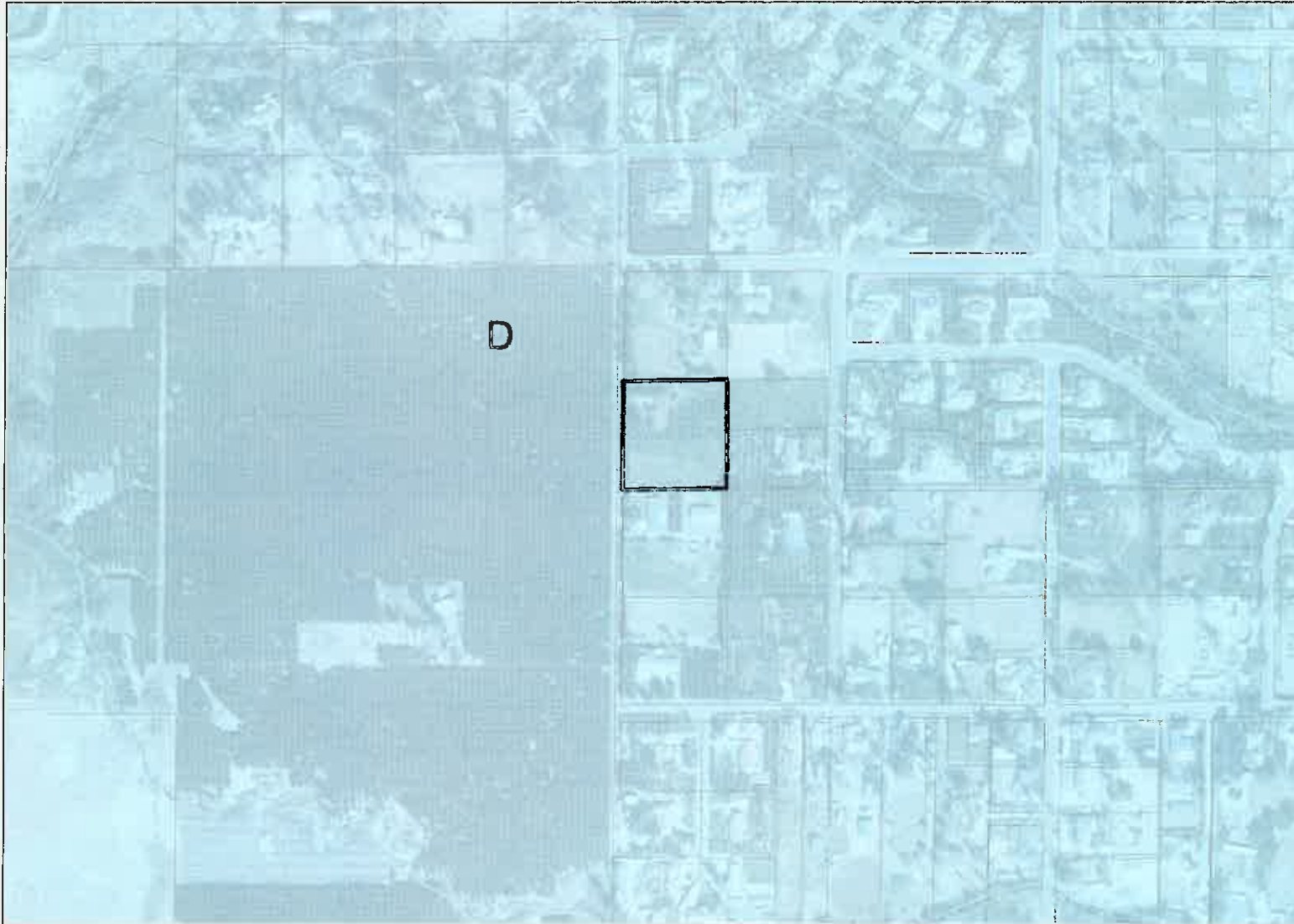
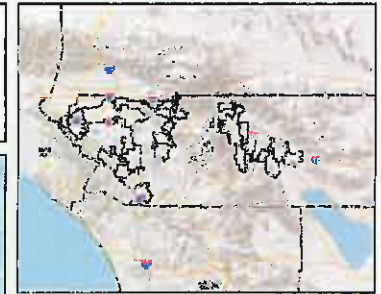
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Notes

My Map



Legend

-  Airports
-  AIA
- Airport Compatibility**
-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-FXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT



0 560 1,121 Feet



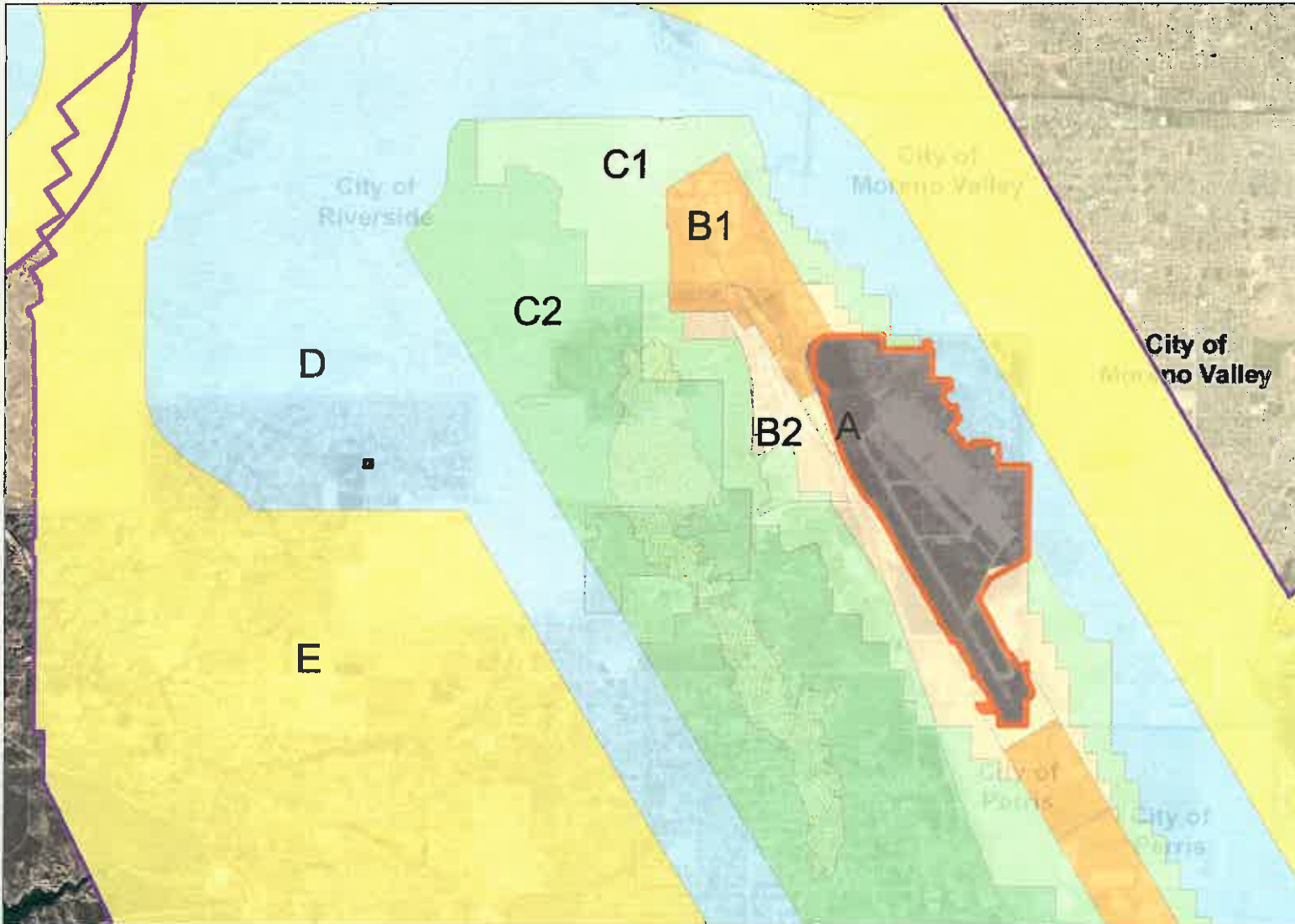
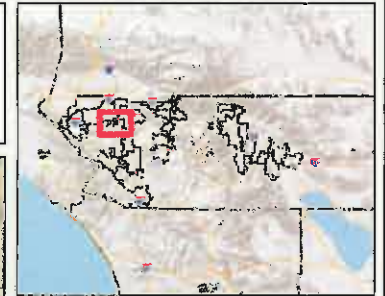
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Notes

My Map




Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC6
- C2-EXC6
- C2-HIGHT



0 8,967 17,934 Feet



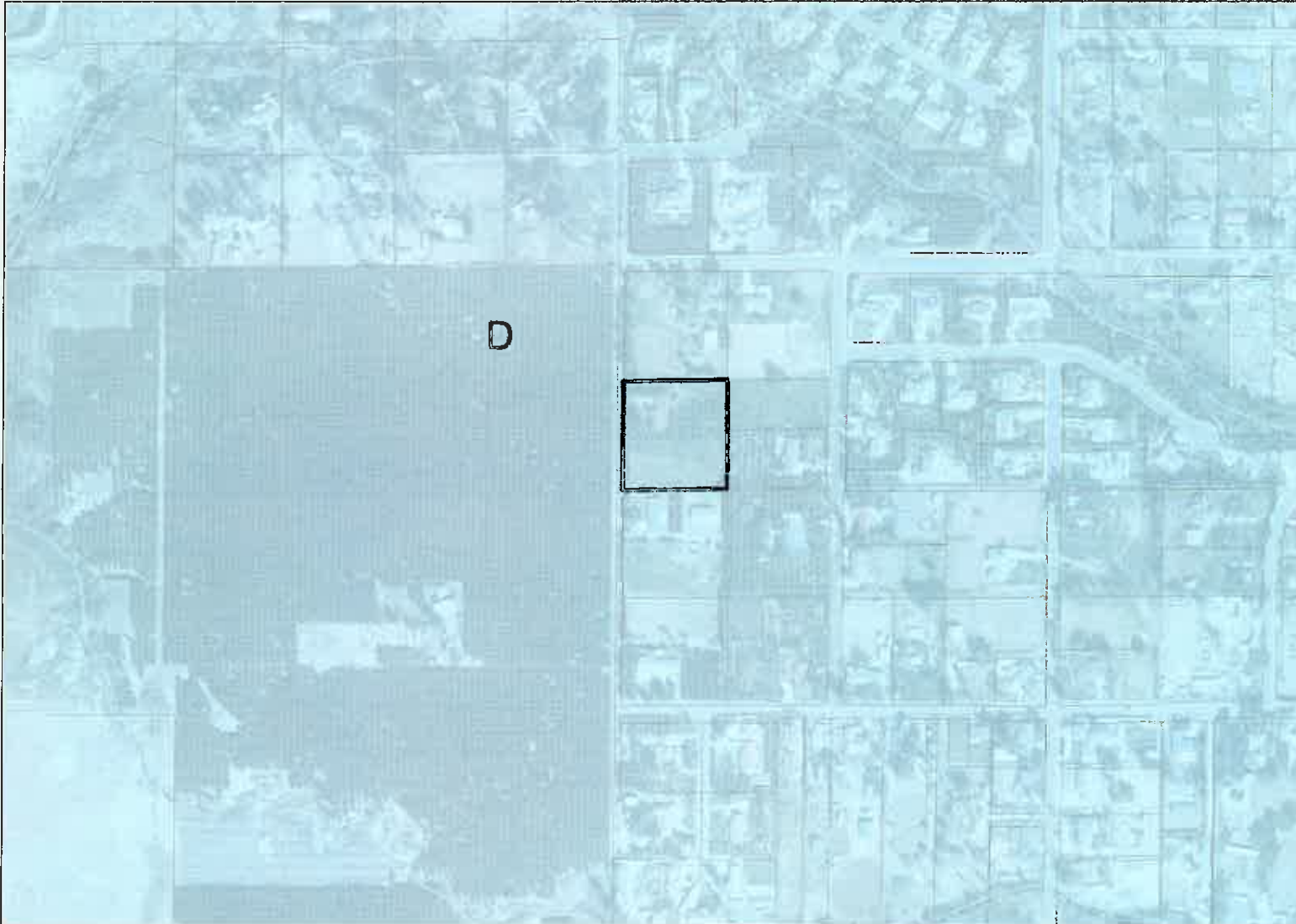
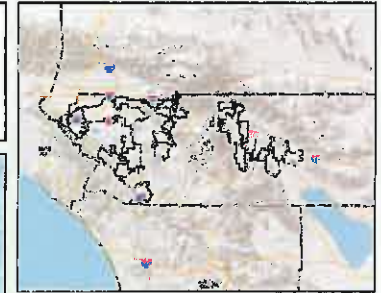
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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-FXC1
- B2
- B2-EXC1
- C
- C1
- C1-FXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
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- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 560 1,121 Feet



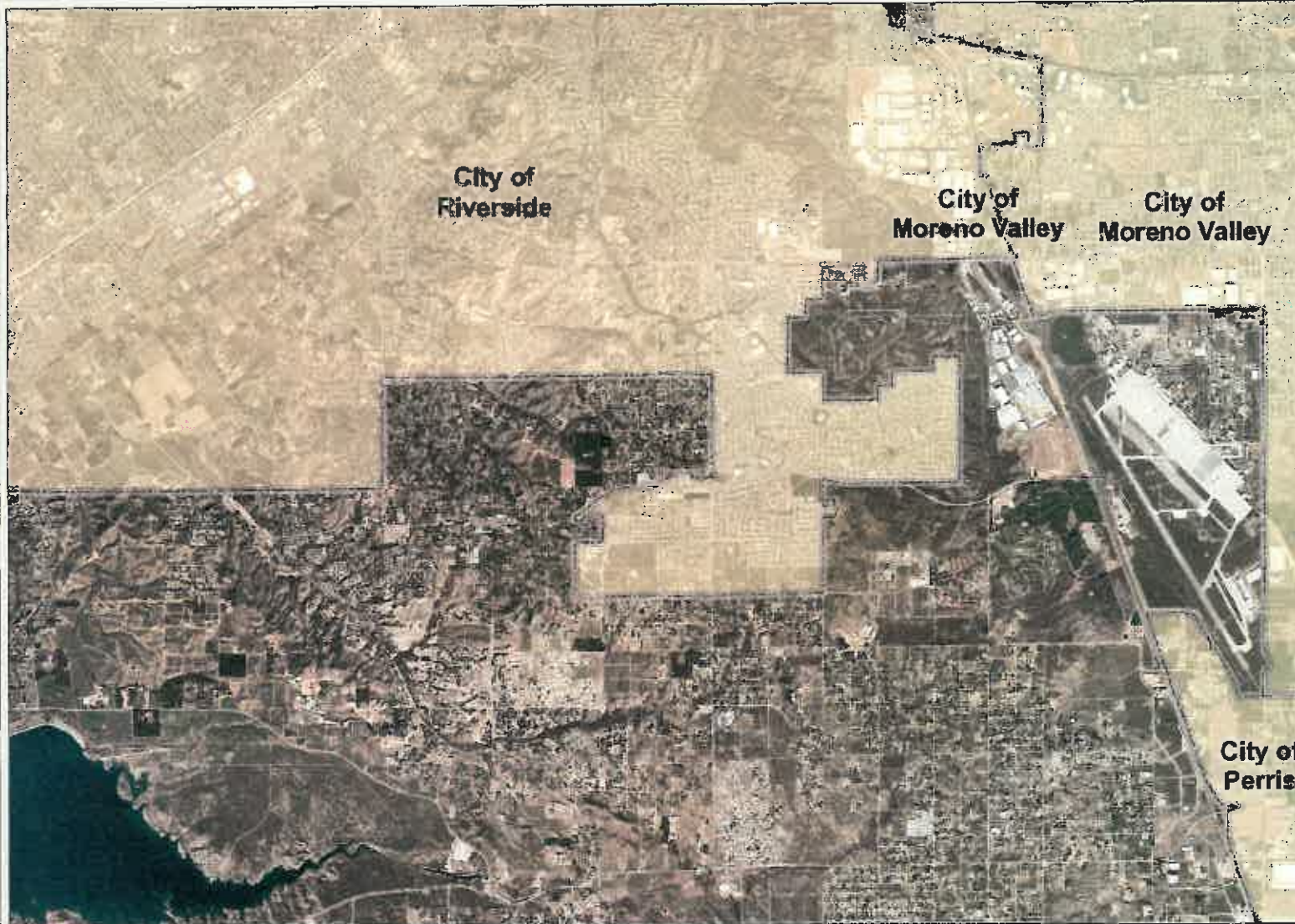
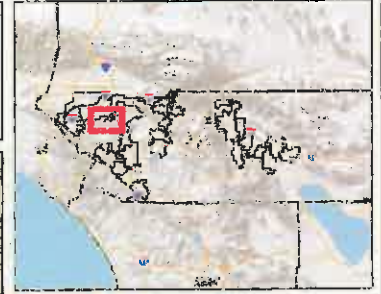
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Notes

My Map



Legend

- City Boundaries
- Cities
- adjacent_highways**
 - Interstate
 - Interstate 3
 - State Highways; 60
 - State Highways 3
 - US HWY
 - OUT
- highways_large**
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - USHWY
- counties
- cities



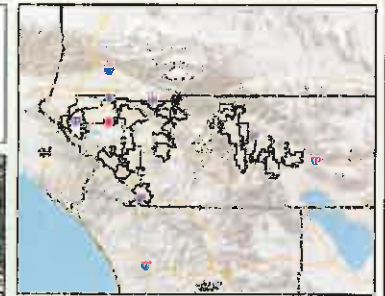
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 1,121 2,242 Feet



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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 280 560 Feet



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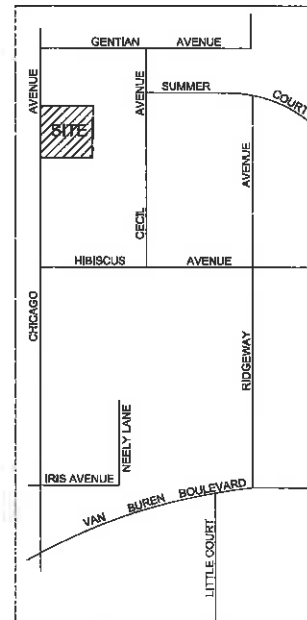
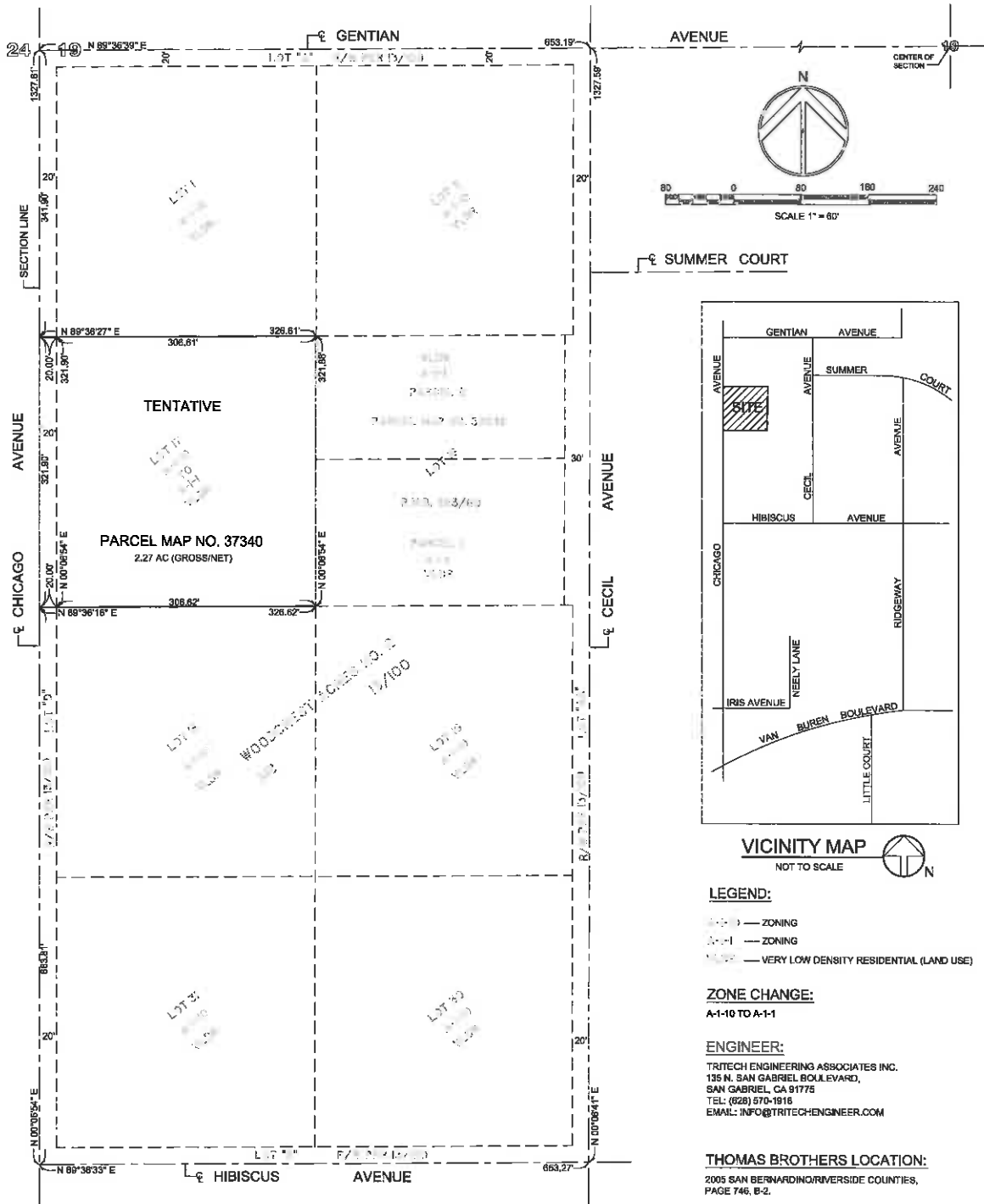
Notes

CHANGE OF ZONE PRIMARY EXHIBIT

SHEET 1 OF 1 SHEET

SECTION 19, T.3 S., R. 4 W., S.B.M.

WOODCREST AREA



VICINITY MAP
NOT TO SCALE

LEGEND:

- ZONING
- ZONING
- VERY LOW DENSITY RESIDENTIAL (LAND USE)

ZONE CHANGE:

A-1-10 TO A-1-1

ENGINEER:

TRITECH ENGINEERING ASSOCIATES INC.
135 N. SAN GABRIEL BOULEVARD,
SAN GABRIEL, CA 91775
TEL: (628) 570-1916
EMAIL: INFO@TRITECHENGINEER.COM

THOMAS BROTHERS LOCATION:

2005 SAN BERNARDINO/RIVERSIDE COUNTIES,
PAGE 746, B-2.

FEMA FLOOD ZONING:

(TENTATIVE PARCEL MAP NO. 37340)
FEMA FLOOD ZONE D-UNDESIGNATED AREA
FEMA SPECIAL FLOOD HAZARD AREA: OLT

UTILITY PURVEYORS:

WATER: WMWD
SEWER: WMWD
GAS: SOUTHERN CALIFORNIA GAS COMPANY
ELECTRIC: SOUTHERN CALIFORNIA EDISON
TELEPHONE: VERIZON
CABLE TV: TIME WARNER
STORM DRAIN: RCFD
SCHOOL DISTRICT: RIVERSIDE UNIFIED

PROPERTY ADDRESS:

ADDRESS:
15600 CHICAGO AVENUE,
RIVERSIDE, CA 92508

ASSESSOR'S PARCEL NUMBER:

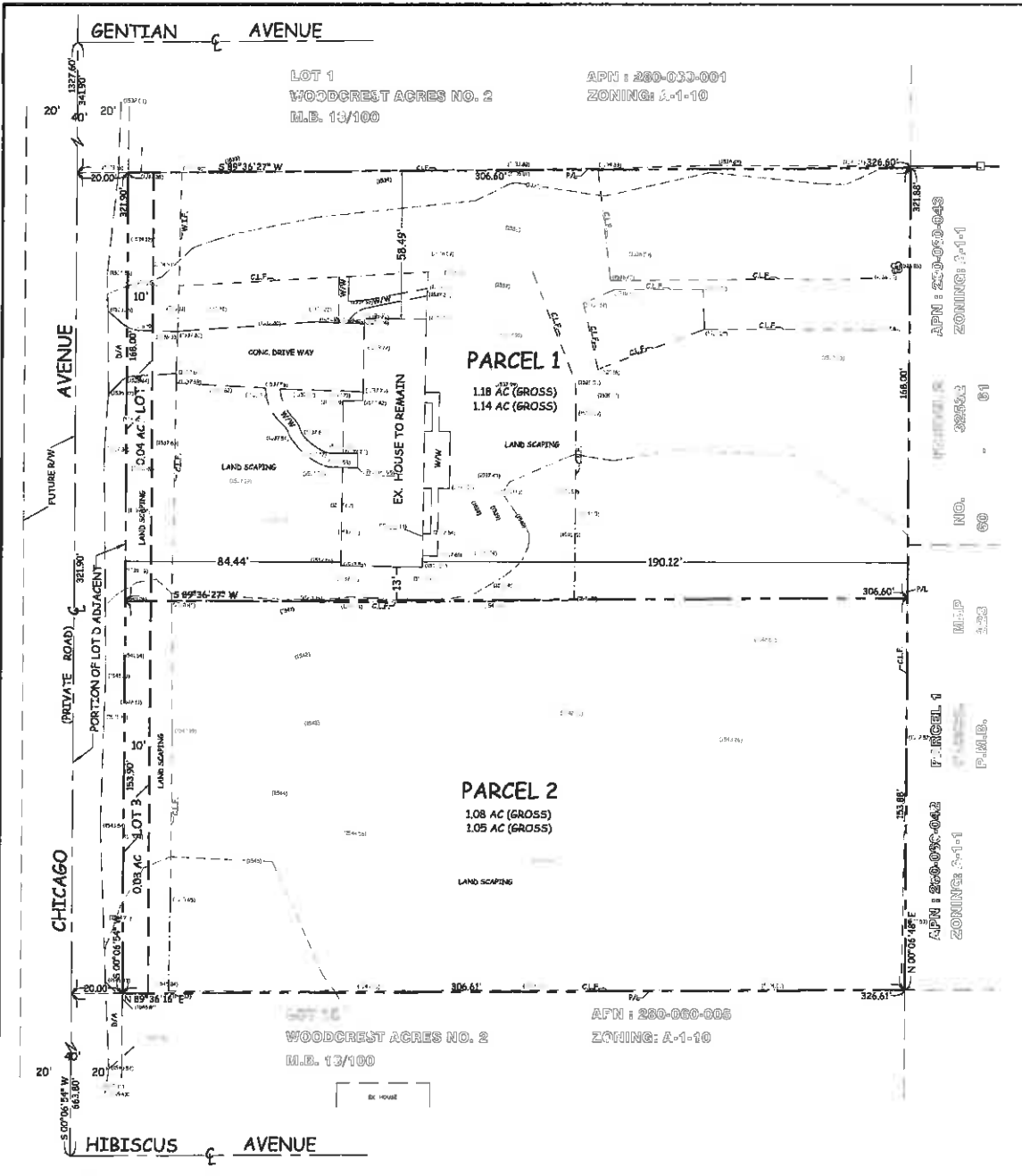
APN: 280-060-003

LEGAL DESCRIPTION:

LOT 17 AND PORTION OF "D" OF WOODCREST ACRES NUMBER 2,
IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER
MAP RECORDED IN BOOK 13 PAGE 160 OF MISCELLANEOUS
MAPS, IN THE OFFICE OF THE COUNTY RECORDER FOR SAID
COUNTY.

OWNER/APPLICANT:

MING CHIN NOZAWA AND SHOZO NOZAWA
6223 ORANGE STREET,
ROSEMEND, CA 91770
TEL: (628) 227-5289
EMAIL: TIGER8223@HOTMAIL.COM



TENTATIVE PARCEL MAP NO. 37340

IN UNINCORPORATED TERRITORY OF RIVERSIDE COUNTY, STATE OF CALIFORNIA

BEING SUBDIVISION OF LOT 17 AND PORTION OF LOT "D" (ALSO KNOWN AS CHICAGO AVENUE) LYING ADJACENT TO SAID LOT 17 OF WOODCREST ACRES NO. 2, AS PER MAP RECORDED IN BOOK 13, PAGE 100 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PROJECT:
2 PARCELS SUBDIVISION
15600 CHICAGO AVENUE, RIVERSIDE, CA
RIVERSIDE, CA 92508

OWNER:
KING GUN NOZAWA
3223 CHAMBER STREET
RIVERSIDE, CA 92507
TEL: (951) 227-5299

SUBJECT PROPERTY DATA:

APN: 280-060-003
RECORDED SIZE: 2.27 ACRES
RECORDED BOOK/PAGE: AB 13/100
SUBDIV NAME: WOODCREST AC 2
LOT 17
COUNTY SUPERVISOR: KEVIN JEFFRIES, DISTRICT 1
808 BUSTER, DISTRICT 1
COUNTY SERVICE AREA: NOT WITHIN A SERVICE AREA
FLOOD DISTRICT: RIVERSIDE COUNTY FLOOD CONTROL DISTRICT
ZONING DISTRICTS AND ZONING AREAS: WOODCRES. DIST.

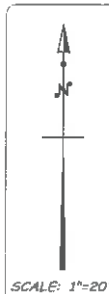
ZONING CODE(S) ORD. 348
- R-A-10
GENERAL PLAN LANDUSE DESIGNATION: RCH-10R
TAX RATE AREA: 080007
SCHOOL DISTRICT: RIVERSIDE UNIFIED
SPECIFIC PLAN: NOT WITHIN
WATER DISTRICT: WAWWD

TAX ASSESSMENT DISTRICTS:
- COUNTY FREE LIBRARY
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE INCARCIN HEAVY DIST
- 104 LB
- FLOOD CONTROL ADMIN
- FLOOD CONTROL ZN 2 GENERAL
- GENERAL PURPOSE
- 4000 WEST 120099
- NW MOUNTAIN A VECTOR CNTL DIST
- 3000 RESIDENTIAL PARK & OPEN SP
- RTV OGDONIA RESOURCE CONSERVATION
- RIVERSIDE CITY COMMUNITY COLLEGE
- RIVERSIDE CO OFFICE OF EDUCATION
- RIVERSIDE UNIFIED SCHOOL
- SO CALIF. 27 (IN 30, 33, 36, 37, 38)
- WESTERN MUNICIPAL WATERS
- WAWWD IAP DIST 1

NEAREST FIRE STATION:
WOODCREST FIRE STATION
1555A TRISHA WAY,
RIVERSIDE, CA 92504
(951) 780-9820

NEAREST POLICE STATION:
RIVERSIDE POLICE DEPARTMENT
888 LINCOLN AVE
RIVERSIDE, CA 92504
(951) 951-6099

NEAREST SHERIFF STATIONS:
RIVERSIDE COUNTY SHERIFF'S DEPARTMENT
4039 LEMON ST
RIVERSIDE, CA 92503
(951) 955-2400



SURVEYOR:
MAJMOUD KHALLIL SAMANE, L.S. 8756
TRITECH ENGINEERING ASSOCIATES, INC.
131 N. SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
TEL: (951) 370-9511
EMAIL: INFO@TRITECHENGINEERING.COM



T.S. 746-32
VICINITY MAP
NOT TO SCALE

EASEMENT NOTE:
A BLANKET EASEMENT OF SOUTHERN CALIFORNIA Edison COMPANY, A CORPORATION FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED JANUARY 31, 2000 AS INSTRUMENT NO. 34958, O.A.

BASIS OF BEARINGS:
THE BEARING IS 00°06'54"E OF THE CENTERLINE OF CHICAGO AVENUE, AS SHOWN IN PARCEL MAP NO. 22597, P.A.S. 22597-0-01, RECORDS OF RIVERSIDE COUNTY.

ABBREVIATIONS:		LEGEND:		
AC	Asphalt Concrete	(100.28)	Existing Elevation	
CONC	Concrete	101	Ex. Ground Center Line	
C&G	Ceiling core and gutter	---X---	Chain Link Fence	
D/A	Driveway Apron	---	Wrought Iron Fence	
D/W	Driveway	---	Ex. Structure	
E.C.	End of curve	---	Street Light	
EP	Eddon Point	---	Ex. Tree, Diameter	
EX	Existing	---	Property Boundary Line	
FL	Flow Line Elevation	---	---(---)	---(---)
P.C.	Point of compound curve	---	---(---)	
P.L.	Property Boundary Line	---	---	
R/W	Right of Way	---	---	
R/W	Retaining Wall	---	---	
S/W	Steeper Roadbed	---	---	
TC	Top of Curb Elevation	---	---	
WT	Wetland Probed	---	---	
WB	Water Meter	---	---	
WV	Water Valve	---	---	
W/W	Walkway	---	---	

COUNTY OF RIVERSIDE BENCH MARK:
B.M. NUMBER: V.B. 12-64
ELEVATION: 1582.88 FEET DATE: 1971
DESCRIPTION: AT SE COR. OF INT. OF CHICAGO AVE. & VAN BUREN BLVD. 597 FT. E OF CHICAGO AVE. 1167 FT. & 50" VAN BUREN BLVD. 27 FT. E OF A MARKER POST IN THE TOP OF SET A 877 X 777 GRANITE SOLIDAR A BRASS DISK FLUSH & MARKED V.B. 12-64



SUBDIVISION LAND SURVEY CIVIL ENGINEERING & DESIGN
131 N. SAN GABRIEL BLVD.
SAN GABRIEL, CA 91775
TEL: (951) 370-9511
EMAIL: INFO@TRITECHENGINEERING.COM

TENTATIVE PARCEL MAP NO. 37340

SCALE: 1"=20'	APN: 280-060-003	DRAWN BY: #2
DATE: 05/13/21		REVISED:
15600 CHICAGO AVENUE, RIVERSIDE, CA 92508		
SHEET 1 OF 1	JOB NO.	170411

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside will hold hearings on this item and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: April 12, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1299MA18 – Ming Chin Nozawa (Representative: Trittech Engineering Associates) – County of Riverside Case Nos. CZ7954 (Change of Zone) and PM37340 (Tentative Parcel Map). The applicant proposes to divide a 2.27 gross acre site (Assessor's Parcel Number 280-060-003) located at 15600 Chicago Avenue (on the easterly side of Chicago Avenue), southerly of Gentian Avenue, and northerly of Hibiscus Avenue in the unincorporated community of Woodcrest into two parcels and change the property's zoning from Light Agriculture 10 acre minimum (A-1-10) to Light Agriculture 1 acre minimum (A-1-1). (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Desiree Bowie of the County of Riverside Planning Department at (951) 955-8254.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1299MA18 DATE SUBMITTED: 2-7-18

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Ming Chin Nozawa	Phone Number 626-227-5299
Mailing Address	8223 Orange Street	Email tiger8223@hotmail.com
	Rosemead, CA 91770	

Representative	Tritech Engineering Associates	Phone Number 626-570-1918
Mailing Address	135 N San Gabriel Blvd	Email linda@tritechengineer.com
	San Gabriel, CA 91775	

Property Owner	Ming Chin Nozawa & Shozo Nozawa	Phone Number 626-227-5299
Mailing Address	8223 Orange Street	Email tiger8223@hotmail.com
	Rosemead, CA 91770	

LOCAL JURISDICTION AGENCY

Local Agency Name	County of Riverside Planning Department	Phone Number 951-955-8254
Staff Contact	Desiree Bowdan	Email dbowie@rcplma.org
Mailing Address	4080 Lemon St., 12th Floor	Case Type
	Riverside, CA 92502	<input type="checkbox"/> General Plan / Specific Plan Amendment
		<input checked="" type="checkbox"/> Zoning Ordinance Amendment
		<input checked="" type="checkbox"/> Subdivision Parcel Map / Tentative Tract
		<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Site Plan Review/Plot Plan
		<input type="checkbox"/> Other
Local Agency Project No	CZ7954	
	PM37340	

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	15600 Chicago Ave	
	Riverside, CA 92508	
Assessor's Parcel No.	280-060-003	Gross Parcel Size 2.27 acres
Subdivision Name	Woodcrest AC 2	Nearest Airport and distance from Airport
Lot Number	17	March JPA

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Single Family Residential

March
D

Proposed Land Use (describe)	Proposing to subdivide 2.27 acre parcel into 2 parcels and change the zoning of the site from A-1-10 to A-1-1		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	1	
For Other Land Uses (See Appendix C)	Hours of Operation		
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1534 to 1545	ft.
	Height of buildings or structures (from the ground)	1550	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	If yes, describe		

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.3

HEARING DATE: April 12, 2018

CASE NUMBER: ZAP1014PV18 – SDH & Associates, Inc., for Family Realty Development, LLC/Anchor Alliance Developments, Inc.

APPROVING JURISDICTION: City of Perris

JURISDICTION CASE NO: GPA16-05151 (General Plan Amendment), ZC16-05152 (Zone Change), DPR16-00009 (Development Plan Review), PUD16-05153 (Planned Unit Development), TTM16-05154 (Tentative Tract Map No. 37516).

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Zone Change CONSISTENT with the 2010/11 Perris Valley Airport Land Use Compatibility Plan and 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the Development Plan Review, Tentative Tract Map, and Planned Unit Development CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

PROJECT DESCRIPTION: The applicant proposes to construct a 70-unit townhome complex (condominium map) with open space amenities and a club house on a 6.4 acre site. The applicant also proposes to amend the General Plan land use designation and zoning of the site from R-10,000 to MFR 14, and to apply a Planned Development Overlay zone.

PROJECT LOCATION: The site is located northerly of Alpine Drive, westerly of A Street, and southerly of Mountain Avenue in the City of Perris, approximately 4,780 feet westerly from the southerly terminus of the Perris Valley Airport Runway 15-33, and approximately 36,720 feet southerly from the southerly terminus of the March Air Reserve Base Runway 14-32.

LAND USE PLAN: 2010/2011 Perris Valley Land Use Compatibility Plan, 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan,

a. Airport Influence Area: Perris Valley Airport, March Air Reserve Base/Inland Port Airport

- b. Land Use Policy: Perris Valley Airport Compatibility Zone E, March Air Reserve Base/Inland Airport Compatibility Zone E
- c. Noise Levels: below 55 CNEL from Perris Valley Airport aircraft,
below 60 CNEL from March Air Reserve Base/Inland Port Airport aircraft

BACKGROUND:

Residential Density: The site is located within airport compatibility zones of two different airports: Zone E of Perris Valley Airport and Zone E of March Air Reserve Base Inland Port Airport. Residential density is not restricted in Zone E of either the March Air Reserve Base Inland Port Airport or the Perris Valley Airport Influence Areas.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited in Compatibility Zone E of Perris Valley Airport and March Air Reserve Base/Inland Port Airport.

Noise: The site is located well outside the March Air Reserve Base/Inland Port Airport 60 CNEL contour relative to aircraft noise and outside the 55 CNEL contour for Perris Valley Airport. Therefore, no special noise attenuation measures are required for this residential land use.

Part 77: The site is located approximately 36,720 feet from the southerly terminus of Runway 14-32 at March, but the closest public use airport is Perris Valley Airport, with its Runway 15-33 having an elevation of 1,413 feet above mean sea level (AMSL). The site is located 4,780 feet from the runway, so Federal Aviation Administration Obstruction Evaluation Service (FAA OES) notice and review would be required for any structures with top of roof exceeding 1,460.8 feet AMSL. The project's maximum finished floor elevation is 1,449 feet AMSL. With a building height of 27 feet, the maximum top point elevation would be 1,476 feet AMSL, which would exceed the notification threshold. A submittal to FAA OES has been made, and the project has been assigned Aeronautical Study Number 2018-AWP-6928-OE. At the time of writing of this staff report, no determination has been made, but the study is in a "Work in Progress" status.

Open Area: Open areas are not required in Compatibility Zone E of Perris Valley Airport and March Air Reserve Base/Inland Port Airport.

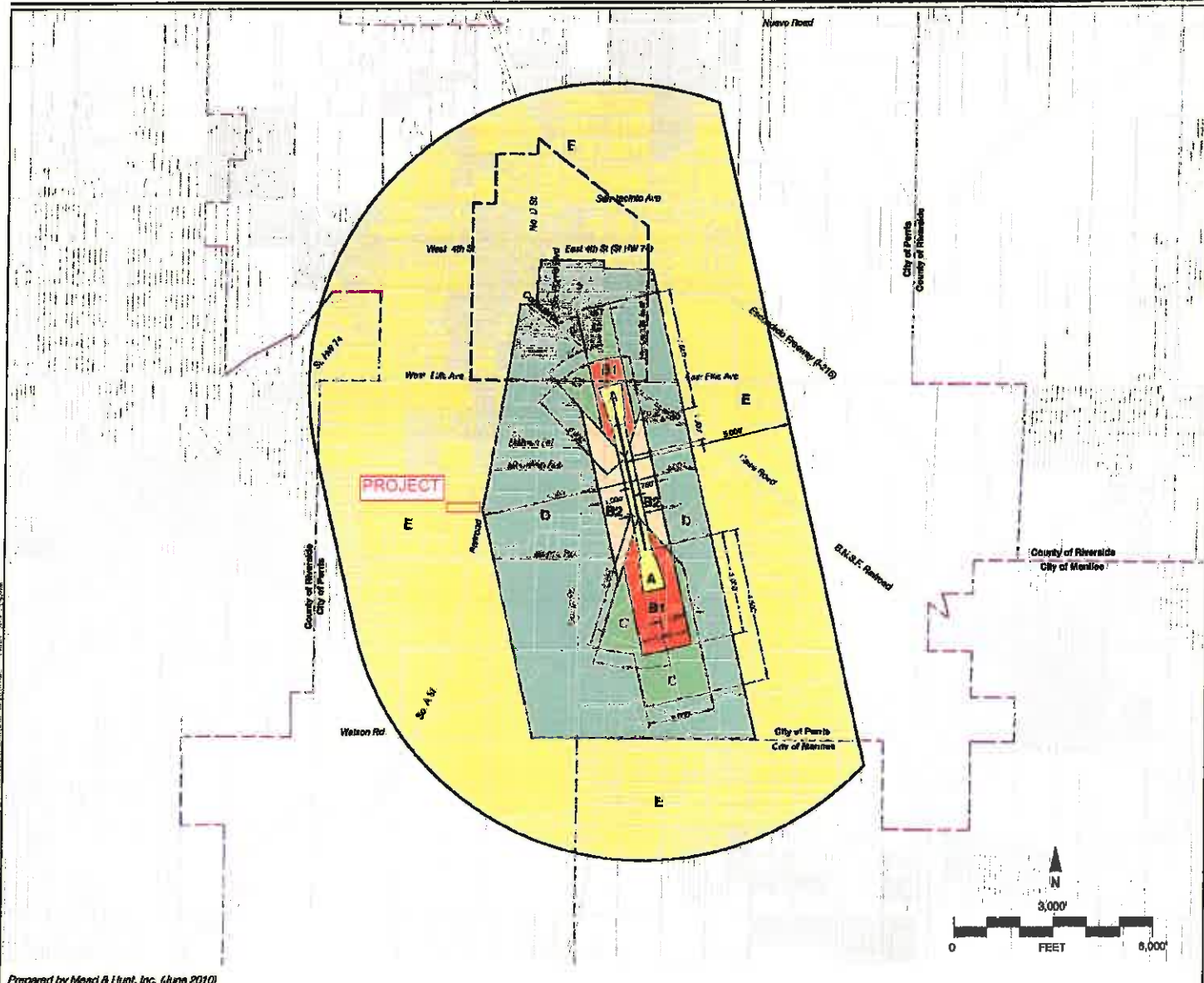
CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfers stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal and incinerators).
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached disclosure notice shall be provided to all potential purchasers of the property and to tenants of the homes thereon.
4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

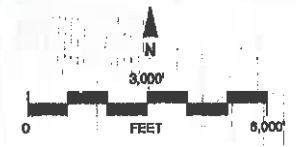
Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line
- City Limits
- Downtown Specific Plan

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(July 2010 Draft)

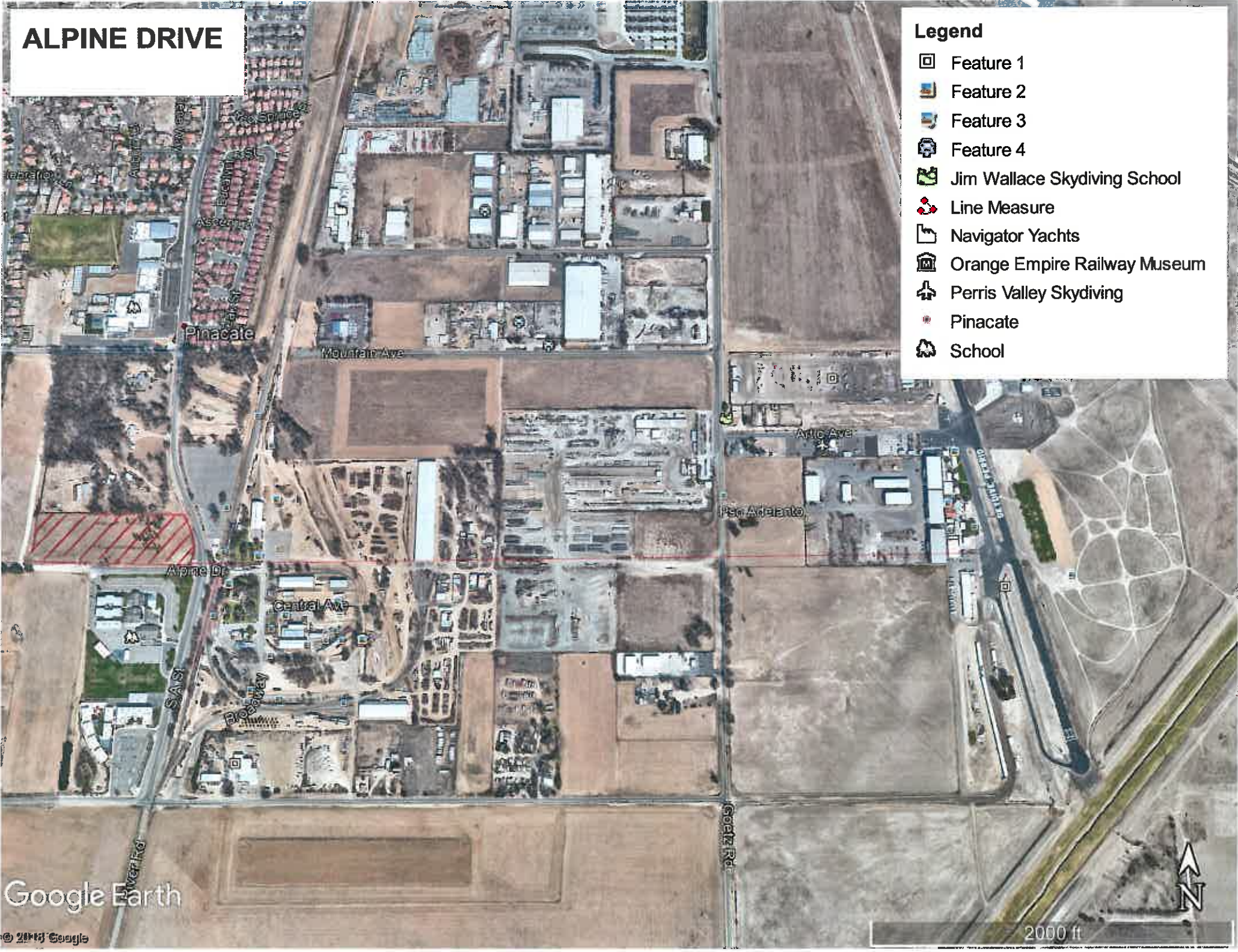


Prepared by Mead & Hunt, Inc. (June 2010)

ALPINE DRIVE

Legend

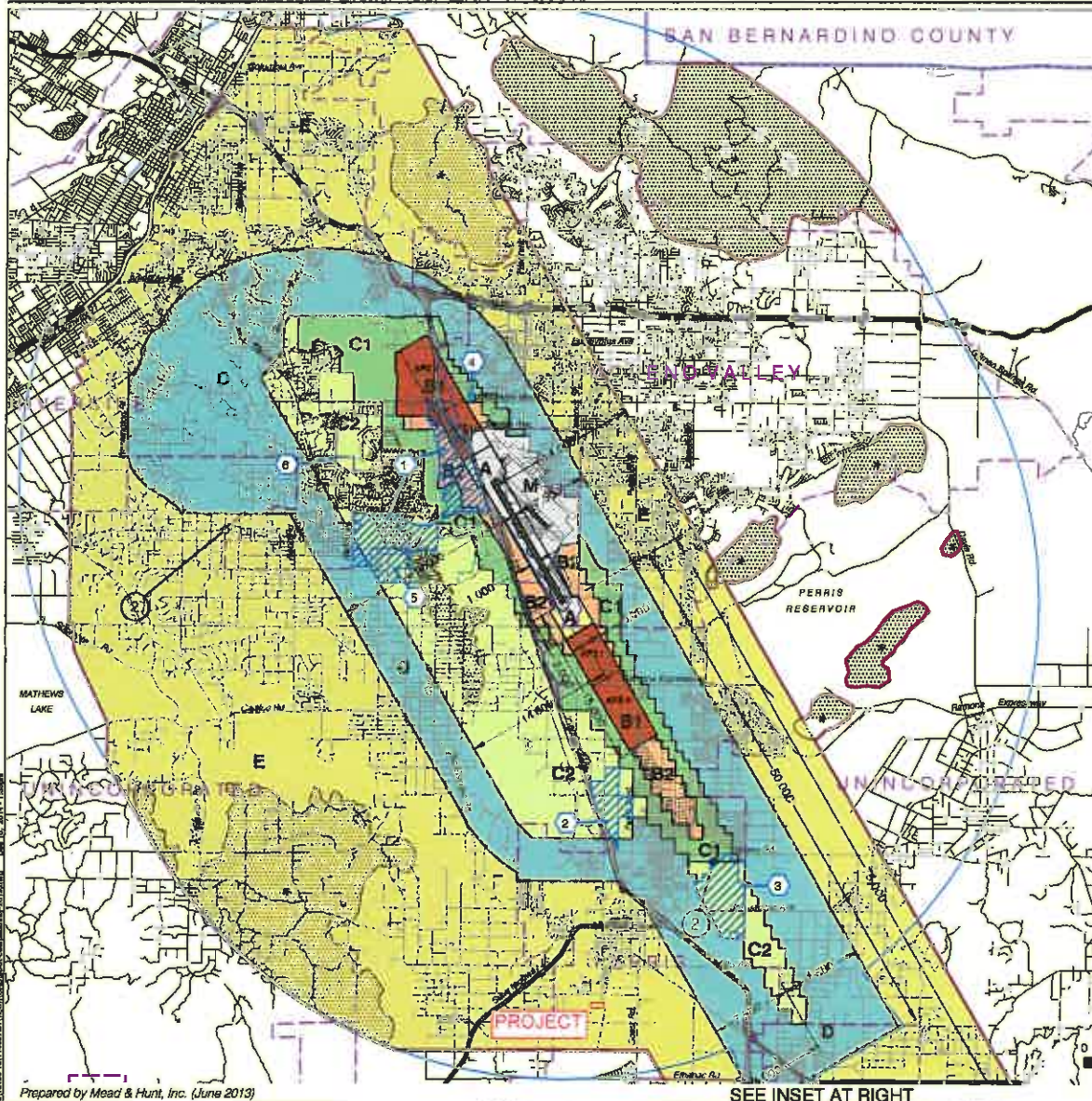
- Feature 1
- Feature 2
- Feature 3
- Feature 4
- Jim Wallace Skydiving School
- Line Measure
- Navigator Yachts
- Orange Empire Railway Museum
- Perris Valley Skydiving
- Pinacate
- School



Google Earth

© 2017 Google

2000 ft



LEGEND

Compatibility Zones

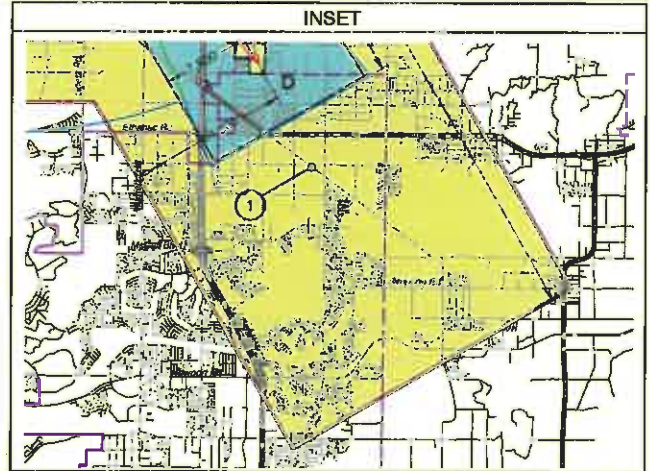
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.

- 1 March JPA: March Business Center/Maridian
- 2 Perris: Harvest Landing
- 3 Perris: Park West
- 4 Moreno Valley: Affordable Housing
- 5 March JPA: Ben Clark Training Center
- 6 Riverside: Ridge Crast Subdivision



**Riverside County
Airport Land Use Commission**

**March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan**

(Adopted November 13, 2014)

Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

Note:
All dimensions are measured from runway ends and centerlines.

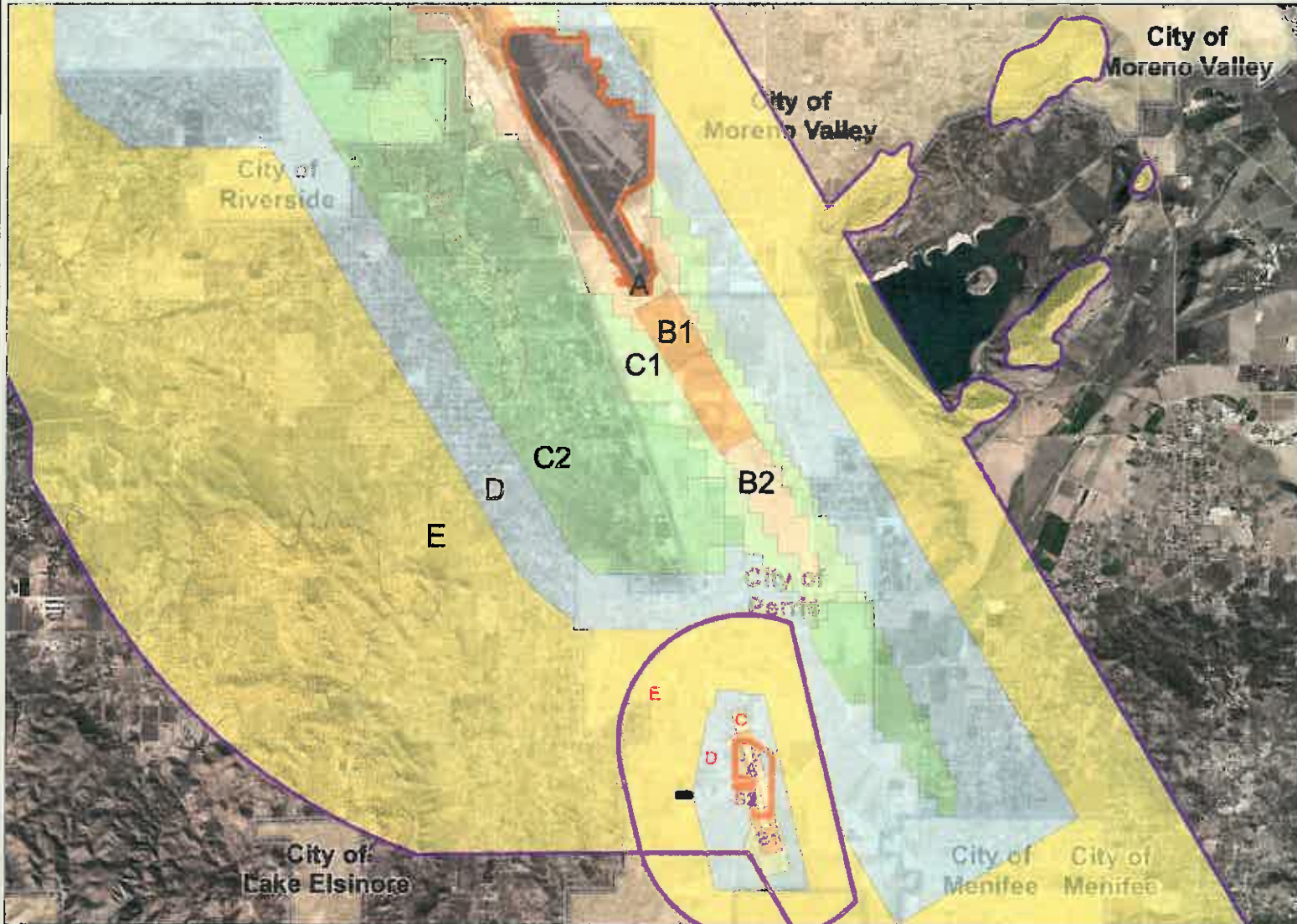
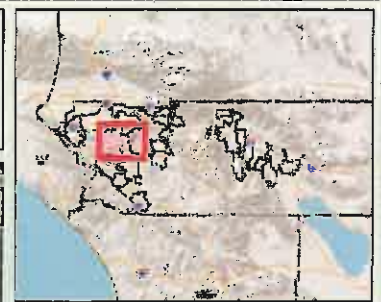


Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

My Map



Legend

- Airports
- AIA

Airport Compatibility

- OTHER_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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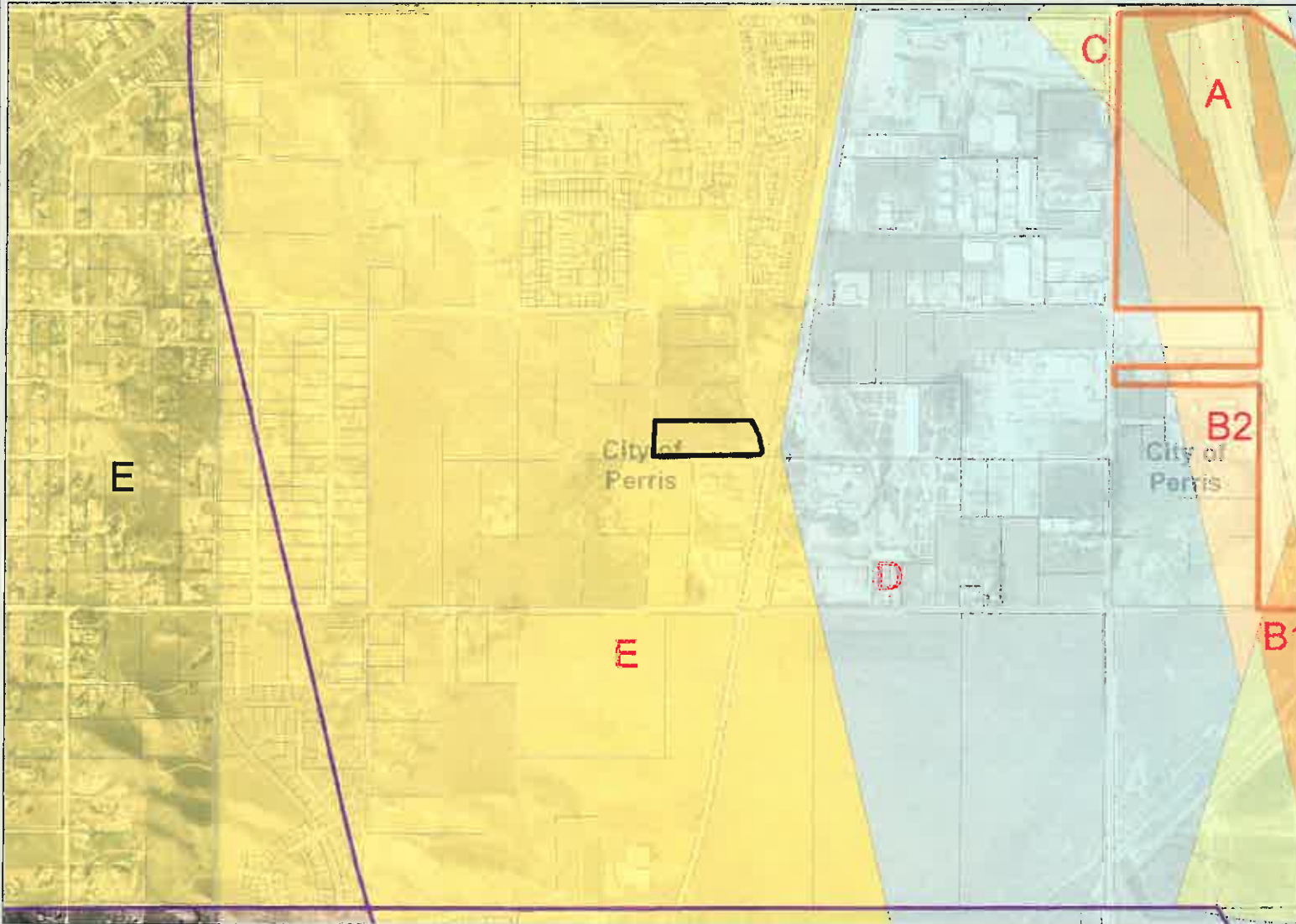
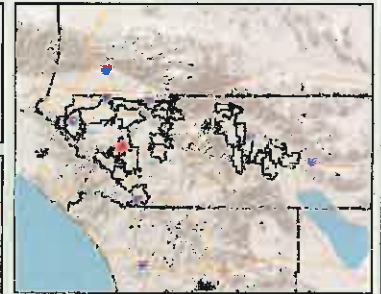


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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 1,654 3,308 Feet



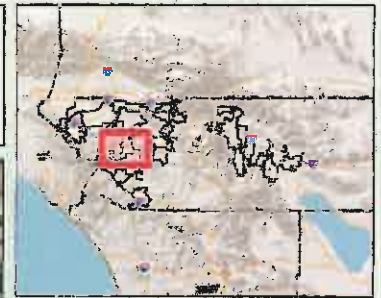
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Notes

My Map



Legend

- City Boundaries
- Cities
- adjacent_highways
 - Interstate
 - Interstate 3
 - State Highways: 60
 - State Highways 3
 - US HWY
 - OUT
- highways_large
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - USHWY
- counties
- cities



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0 13,231 26,463 Feet

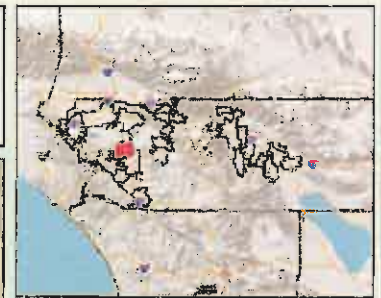


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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- roads
 - Major Roads
 - Arterial
 - Collector
 - Residential
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 3,308 6,616 Feet



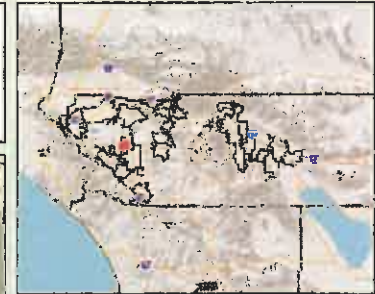
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,654 3,308 Feet



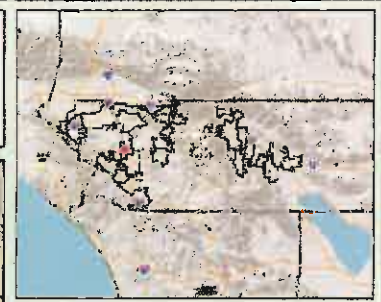
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Notes

My Map



Legend

-  City Boundaries
-  Cities
- roadsanno
- highways
 -  HWY
 -  INTERCHANGE
 -  INTERSTATE
 -  OFFRAMP
 -  ONRAMP
 -  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
 -  Lakes
 -  Rivers



0 827 1,654 Feet



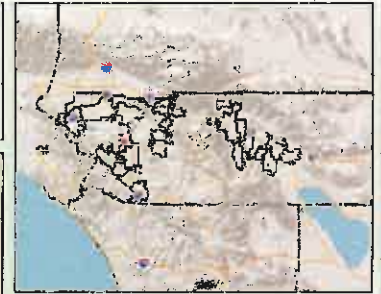
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 207 413 Feet

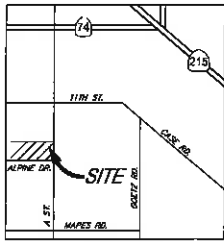


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Notes



OWNER/DEVELOPER
 FAMILY REALTY DEVELOPMENT LLC
 1055 WEST 20th STREET, 13RD FLOOR
 LOS ANGELES, CA 90017
 VOICE: (924) 354-2185

ENGINEER
 SDH & ASSOCIATES, INC.
 5225 CANYON CREST DRIVE 71439
 RIVERSIDE, CA 92507
 VOICE: (951) 883-3891
 FAX: (951) 788-2314

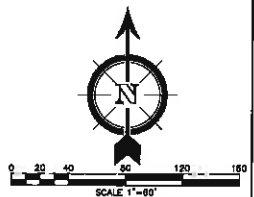
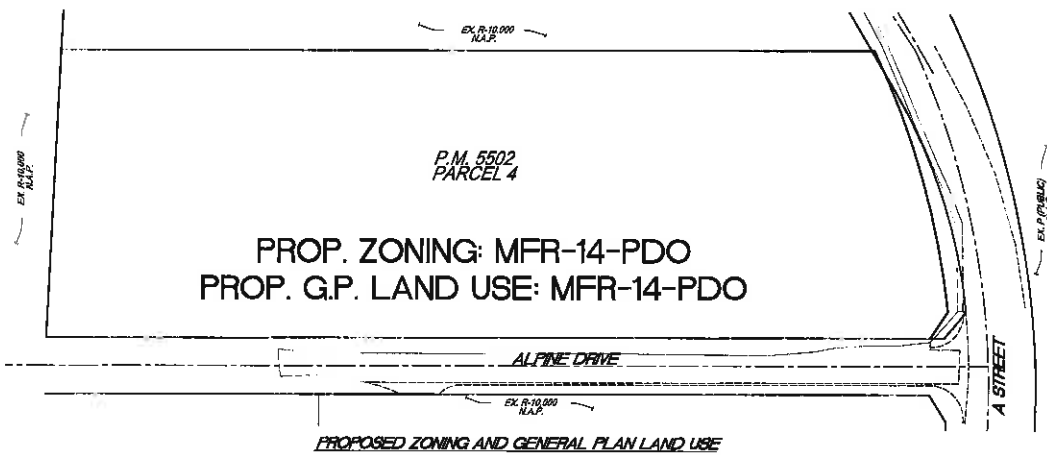
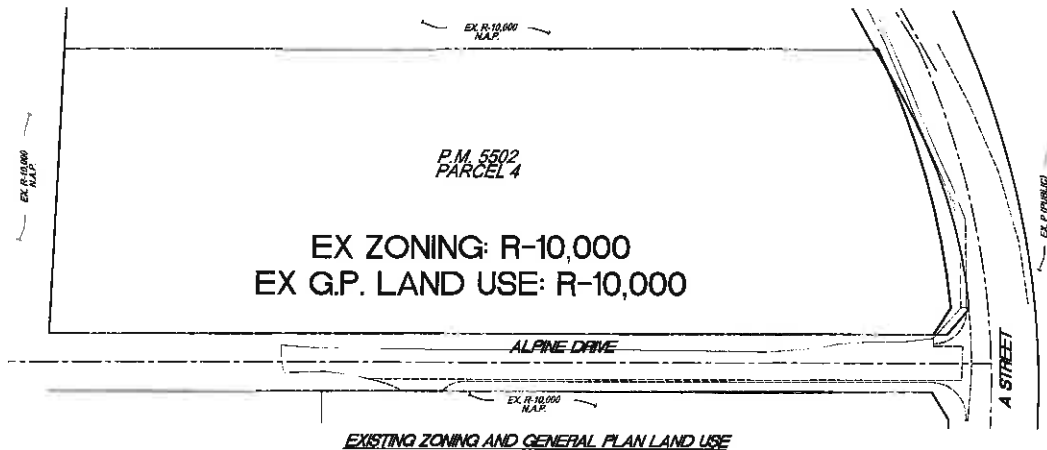
ZONING AND LAND USE
 PROPOSED ZONING - MFR-14
 EXISTING ZONING - R-10,000
 PROPOSED LAND USE - MULTI FAMIL RES.
 EXISTING LAND USE - MCHWT

SURROUNDING ZONING
 NORTH..... R-10,000
 EAST..... P (PUBLIC)
 SOUTH..... R-10,000
 WEST..... R-10,000

SURROUNDING LAND USE
 NORTH..... R-10,000 (SINGLE FAMILY RESIDENCES)
 EAST..... P (PUBLIC) HOUSES
 SOUTH..... R-10,000 (ELEMENTARY SCHOOL)
 WEST..... R-10,000 (MCHWT)

APN
 330-020-027

LEGAL DESCRIPTION
 PARCELS 4 OF PM 5502 PAR 14/03
 RIVERSIDE COUNTY



PLAN PREPARED BY:

 SDH AND ASSOCIATES INC.
 5225 CANYON CREST DRIVE 71439
 RIVERSIDE, CALIFORNIA 92507
 TEL: (951) 883-3891 FAX: (951) 788-2314

CITY OF PERRIS		SHEET NO.
ZONING AND G.P. LAND USE EXHIBIT		1
70 UNIT CONDOMINIUM DEVELOPMENT		SHEET NO.
FOR		1
FAMILY REALTY DEVELOPMENT		

PRELIMINARY SITE AND GRADING PLAN 70 UNIT CONDOMINIUM DEVELOPMENT CITY OF PERRIS, CA DECEMBER 2017

ZONING AND LAND USE

PROPOSED ZONING - MFR-14
EXISTING ZONING - R-10,000
PROPOSED LAND USE - MULTI-FAM. RES.
EXISTING LAND USE - VACANT

SURROUNDING ZONING

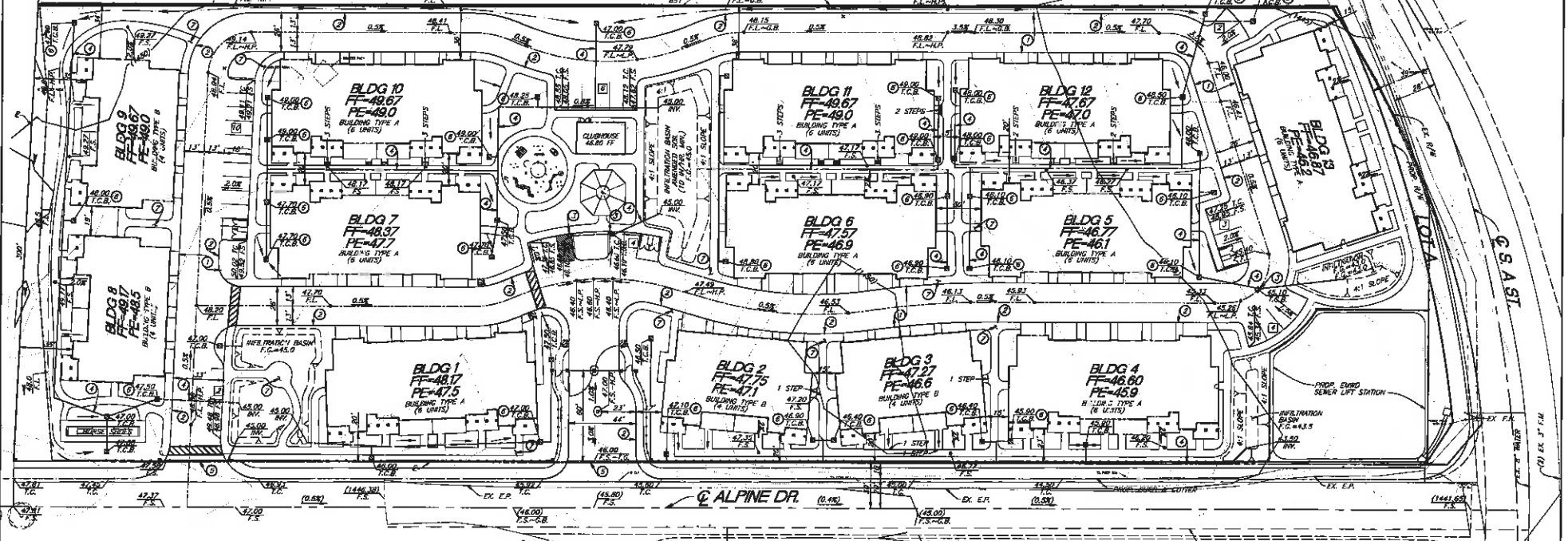
NORTH..... R-10,000
EAST..... O1
SOUTH..... R-10,000
WEST..... R-10,000

SURROUNDING LAND USE

NORTH..... SINGLE FAMILY
EAST..... M.C. ROAD MUSEUM
SOUTH..... INSTITUTIONAL (SCHOOL)
WEST..... VACANT

PROJECT AREA CALCS

TOTAL SIZE - 274,824 S.F. (6.35 AC)
STREET & PARKING - 57,240 S.F.
BUILDINGS - 85,858 S.F.
COMMON LANDSCAPE - 130,826 S.F.
LOT COVERAGE - 31%



OWNER/DEVELOPER
FAMILY REALTY DEVELOPMENT LLC
1205 WEST 7TH STREET, 3RD FLOOR
LOS ANGELES, CA 90017
VOICE: (826) 354-2165

ARCHITECT
AQUAR DESIGN GROUP
CORONA, CA 92682
VOICE: (951) 358-8086

ENGINEER
SDH & ASSOCIATES, INC.
5225 CANYON CREST DRIVE 7143B
RIVERSIDE, CA 92507
VOICE: (951) 683-3681
FAX: (951) 788-2314

UTILITY SURVEYORS
WATER..... SD&W
GAS..... SD, CALIF. GAS
ELECTRICAL..... DISSON
TELEPHONE..... VERIZON
SEWER..... CITY OF PERRIS/ EMDW
CABLE..... VERIZON

SCHOOL DISTRICT
PERRIS ELEMENTARY SCHOOL DISTRICT
PERRIS UNIFIED HIGH SCHOOL DISTRICT

APN
370-090-027
LEGAL DESCRIPTION
PARCELA 4 OF PM 5502 PHB 14/13
RIVERSIDE COUNTY

LEGEND

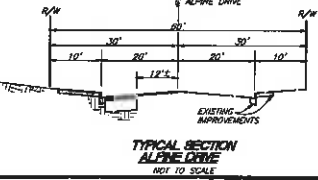
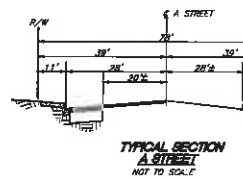
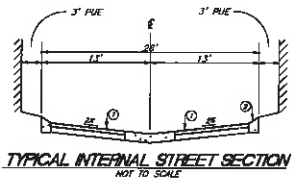
L.P.	LOW POINT
H.P.	HIGH POINT
F.S.	FINISHED SURFACE
F.L.	FLOW LINE
EX.	EXISTING
P.E.	PAV. ELEVATION
G.R.	GRADE BREAK
T.C.B.	TOP OF CATCH BASIN
---	EXISTING CONTOUR LINE
---	CURB AND GUTTER
---	CENTERLINE
---	SLOPE
---	180 RETENT. W. CELL

PARKING TABULATION

PARKING REQUIRED PROPOSED	COVERED	OPEN	TOTAL
70	140	31	171

PROJECT INFO
TOTAL UNITS - 70
ACTIVE OPEN SPACE - 7,581 S.F.
PASSIVE OPEN SPACE - 132,863 S.F.

PROPOSED AMENITIES
1) GRASS PLAY
2) MOORE SIDE COURT
3) SPLASH PAD PLAY AREA



CONSTRUCTION NOTES

- CONSTRUCT 3" OVER 5" BASE PAVING
- CONSTRUCT TRENCH DRAIN
- CONSTRUCT 6" CURB ONLY
- CONSTRUCT 12" CATCH BASIN
- CONSTRUCT PCC SIDEWALK

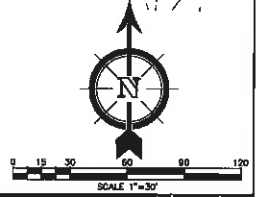
PLAN PREPARED BY:

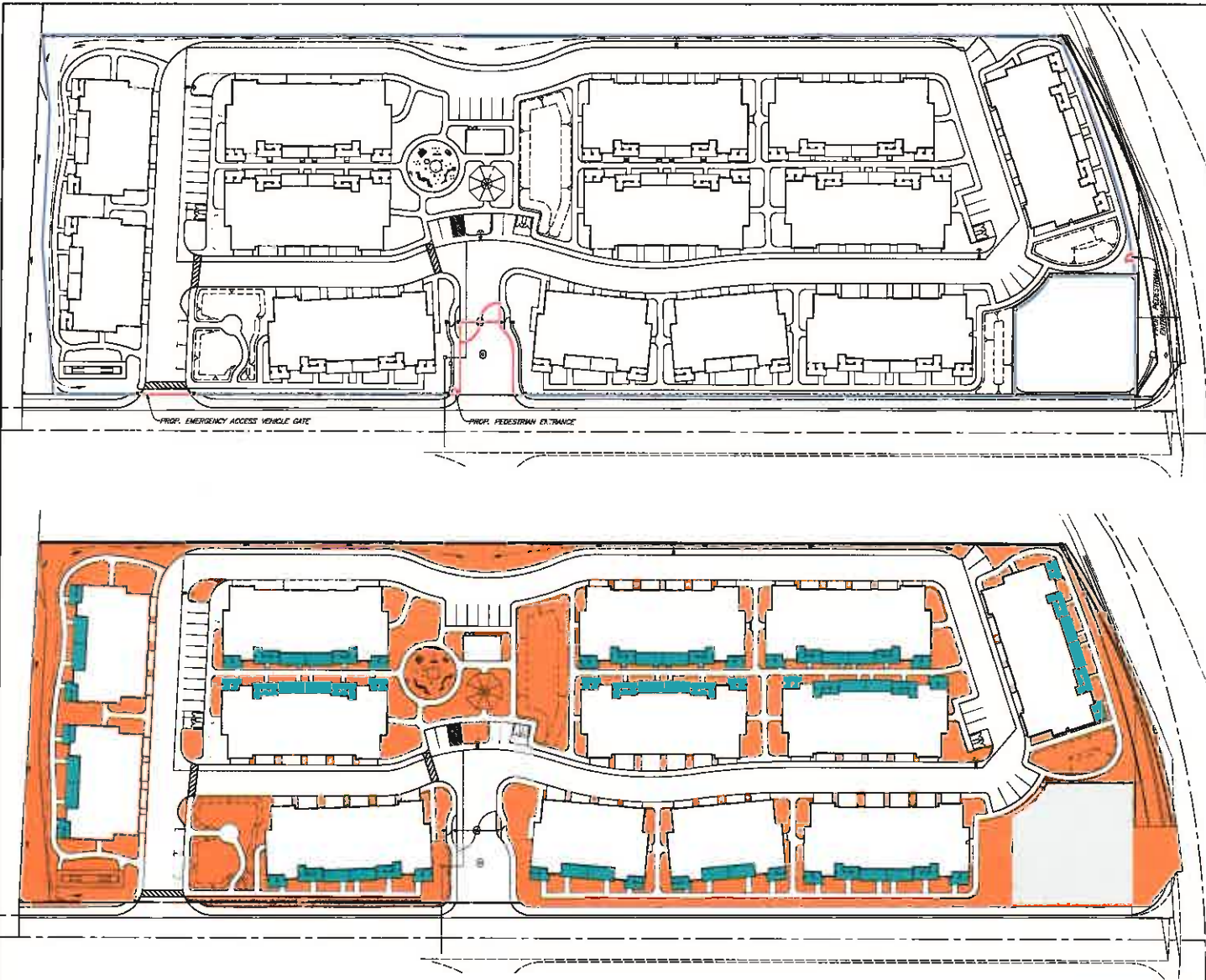
SDH AND ASSOCIATES, INC.
5225 CANYON CREST DRIVE 7143B
RIVERSIDE, California 92507
TEL: (951) 683-3681 FAX: (951) 788-2314

IN THE CITY OF PERRIS
PRELIMINARY GRADING AND SITE PLAN
70 UNIT CONDOMINIUM DEVELOPMENT

SHEET NO. 1
SHEET NO. 2

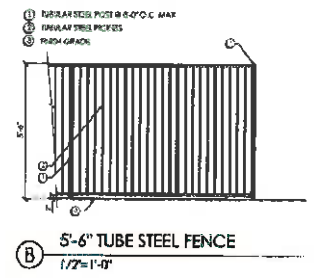
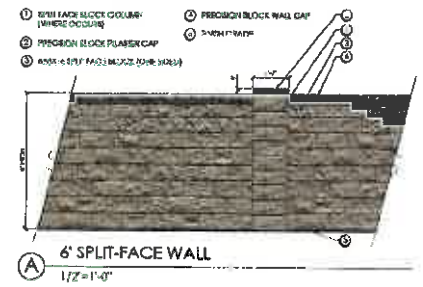
FOR
FAMILY REAL ESTATE DEV.





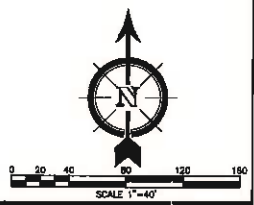
FENCE AND WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL
—	6' PERIMETER WALL - SPLIT FACE BLOCK - TAN	A
—	EXIST. 40' FENCE - TO REMAIN	N/A
—	5'-6" TIGHT TUBULAR STEEL FENCE/ GATES - BLACK	B
□	MASONRY PLASTER - SPLIT FACE BLOCK - TAN	A



MAINTENANCE LEGEND

SYMBOL	DESCRIPTION
Orange fill	PRIVATELY MAINTAINED
Teal fill	HOMEOWNER ASSOCIATION MAINTAINED
White fill	EMWD MAINTAINED



PLAN PREPARED BY:

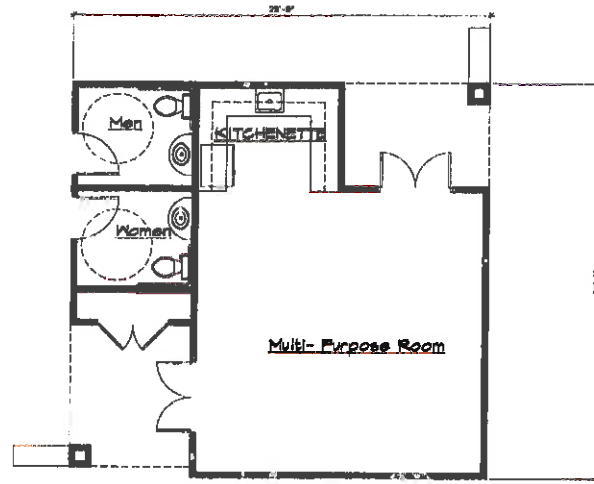
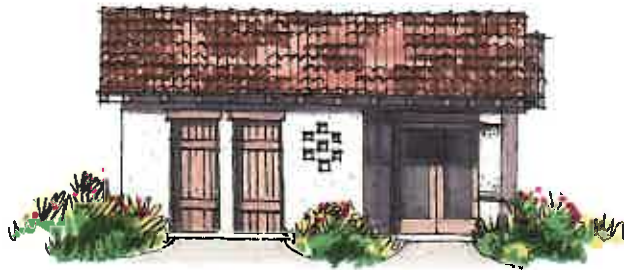
SDH ASSOCIATES
INCORPORATED

SDH AND ASSOCIATES INC.
5225 CANYON CREST DRIVE 71439
RIVERSIDE, CALIFORNIA 92507
TEL: (951) 888-3651 FAX: (951) 788-2614

IN THE CITY OF PEPPERS
WALL + FENCE PLAN / MAINTENANCE EXHIBIT
70 UNIT CONDOMINIUM DEVELOPMENT

SHEET NO.
2
SHEET NO.
2

FOR:
FAMILY REAL ESTATE DEV.



51'-0"



AGUILAR
design group
951339-6066

DATE:
JUNE 23, 2015
OCTOBER 2, 2015

FAMILY REALTY DEVELOPMENT

**ALPINE DRIVE
CITY OF PERRIS**

PROJECT #15-240

DESCRIPTION

**MULTI-PURPOSE
BUILDING**

SHEET

M.1

THIS SHEET IS THE PROPERTY OF AGUILAR DESIGN GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF AGUILAR DESIGN GROUP IS PROHIBITED.



**BUILDING B
FRONT ELEVATION**



AGUILAR
design group, LLC
1234567890



BUILDING B
REAR ELEVATION



AGUILAR
design group, LLC
551 251 4000 Office



**BUILDING B
TYPICAL SIDE**



AGUILAR
design group, LLC
11111 11111



**BUILDING A
TYPICAL SIDE**



AGUILAR
design group, LLC
11111 11111



**BUILDING A
REAR ELEVATION**





**BUILDING A
FRONT ELEVATION**





AGUILAR
design group

(951)359-4066

DATE:

JUNE 23, 2015

OCTOBER 2, 2015

FAMILY REALTY DEVELOPMENT

**ALPINE DRIVE
CITY OF PERRIS**

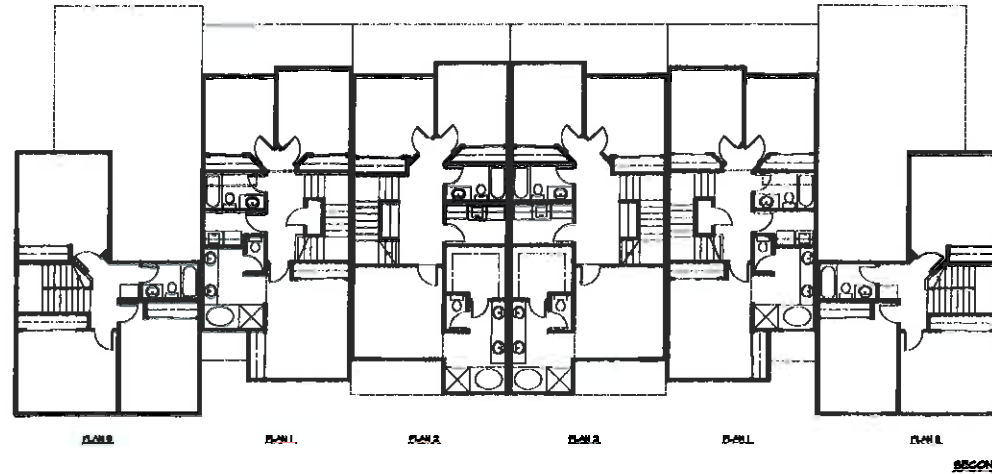
PROJECT #15-200

DESCRIPTION

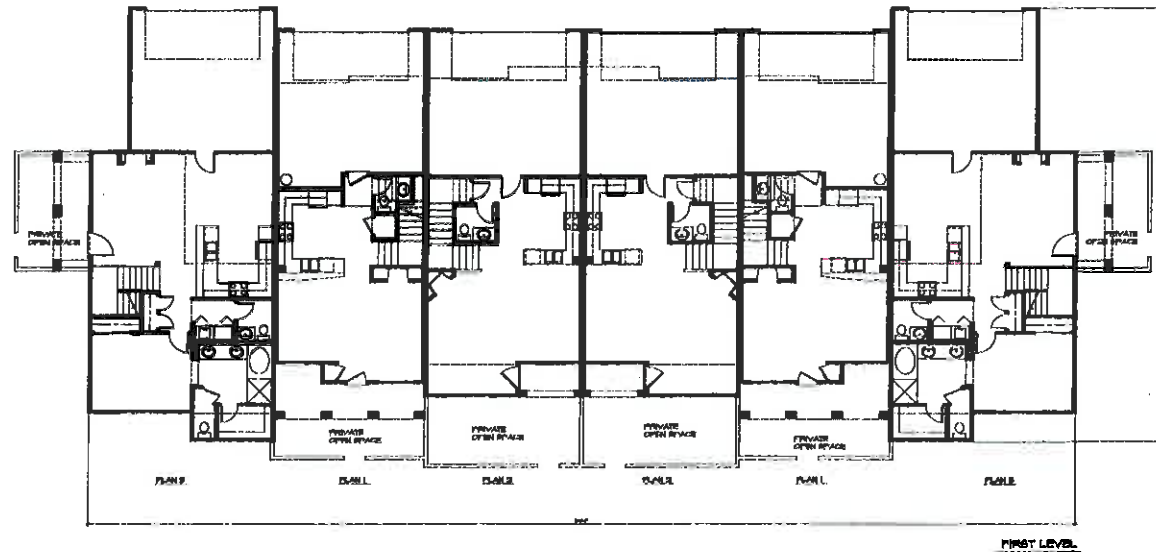
**BUILDING
TYPE A**

SHEET

A.1



SECOND LEVEL



FIRST LEVEL



AGUILAR
design group
(913)337-4064

Prep:
JUNE 23, 2015
OCTOBER 2, 2015

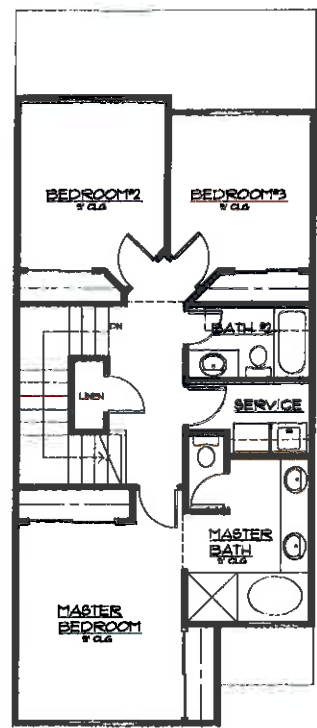
FAMILY REALTY DEVELOPMENT
ALPINE DRIVE
CITY OF PERRIS

PROJECT #10-240

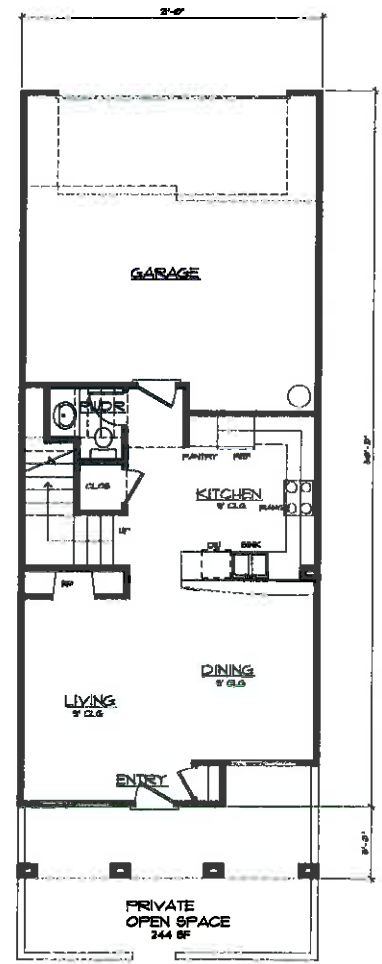
DESCRIPTION

PLAN 1
SHEET

A.3



SECOND LEVEL



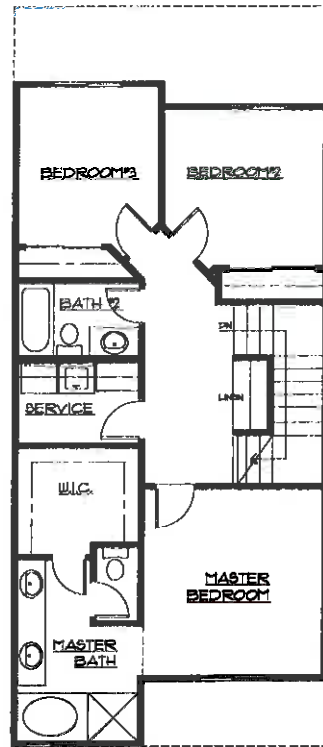
PLAN 1
1357 SF
FIRST LEVEL

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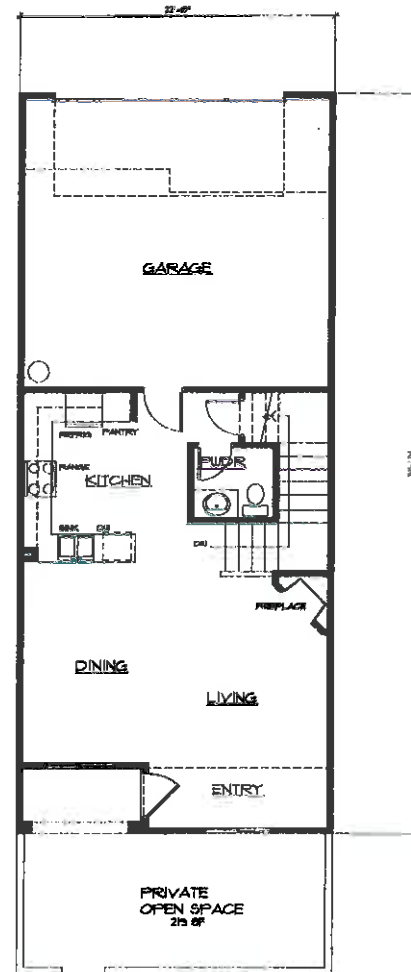


AGUILAR
design group
(951) 369-4066

Date:
JUNE 23, 2015
OCTOBER 2, 2015



SECOND LEVEL



PLAN 2
1514 SF

FIRST LEVEL

FAMILY REALTY DEVELOPMENT
ALPINE DRIVE
CITY OF PERRIS

PROJECT #15-240

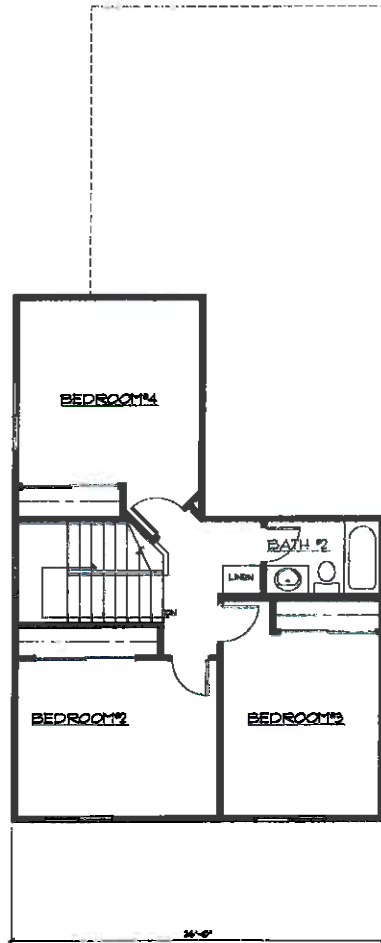
DESCRIPTION

PLAN 2

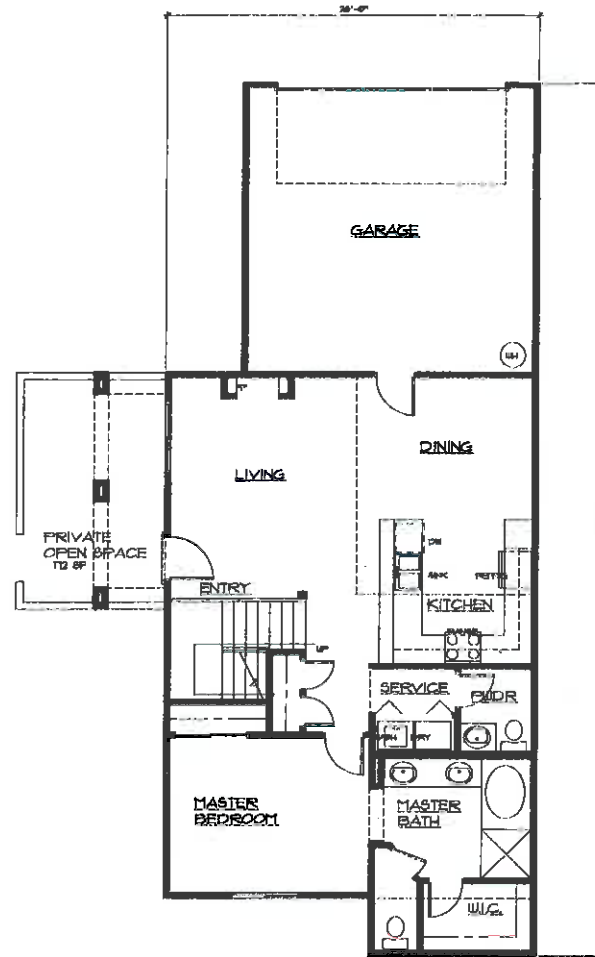
SHEET

A.4

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SECOND LEVEL



PLAN 3
1671 SF

FIRST LEVEL



AGUILAR
design group
(951) 357-4064

Issue:

JUNE 23, 2015

OCTOBER 2, 2015

FAMILY REALTY DEVELOPMENT

**ALPINE DRIVE
CITY OF PERRIS**

PROJECT #10-240

DESCRIPTION

PLAN 3

Sheet

A.5

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AGUILAR
design group
(951) 859-6066

Year
JUNE 23, 2015
OCTOBER 2, 2015

FAMILY REALTY DEVELOPMENT
ALPINE DRIVE
CITY OF PERRIS

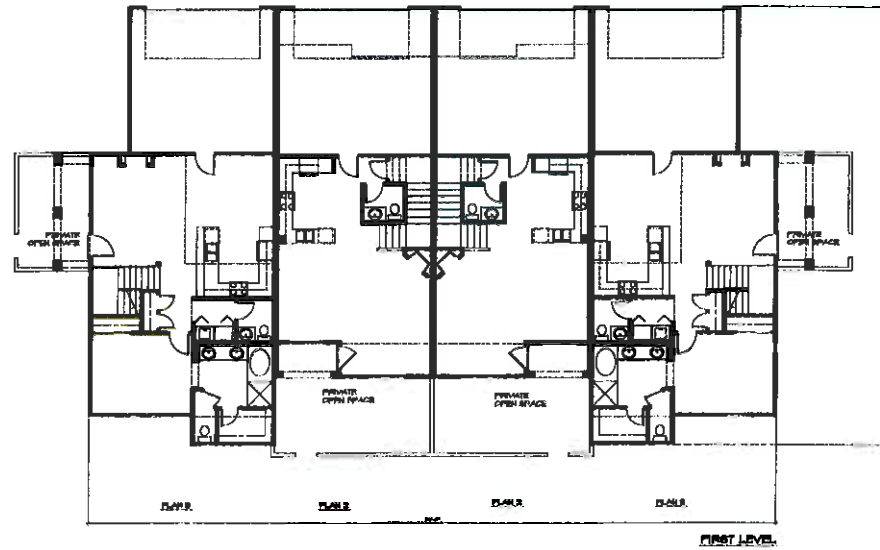
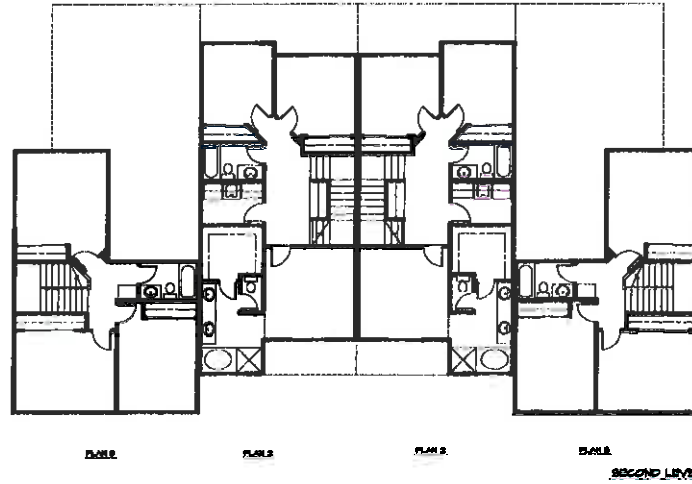
PROJECT #15-240

DESCRIPTION

BUILDING
TYPE B

SHEET

A.6



AGUILAR DESIGN GROUP, ARCHITECTS, 14400 UNIVERSITY AVENUE, SUITE 100, PERRIS, CA 92404. THIS PLAN AND SET TO BE PREPARED, CHECKED OR CORRECTED BY ARCHITECTS, ENGINEERS OR OTHER PROFESSIONALS, AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF AGUILAR DESIGN GROUP.

**NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
 4080 Lemon St., 1st Floor Board Chambers
 Riverside, California

DATE OF HEARING: April 12, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1014PV18 – SDH & Associates, Inc., for Family Realty Development, LLC/Anchor Alliance Developments, Inc. – City of Perris Planning Case Nos. GPA16-05151 (General Plan Amendment), ZC16-05152 (Zone Change), DPR16-00009 (Development Plan Review), PUD16-05153 (Planned Unit Development), TTM16-05154 (Tentative Tract Map). The applicant proposes to construct a 70-unit townhome complex (via condominium map) with open space amenities and a clubhouse on a 6.4 acre site located northerly of Alpine Drive, westerly of A Street, and southerly of Mountain Avenue. The applicant also proposes to amend the General Plan designation and zoning of the site from R-10,000 to MFR 14, and to apply a Planned Development Overlay zone (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Nathan Perez of the City of Perris Planning Department at (951) 943-5003.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP 1014 PV 18 DATE SUBMITTED: 2-2018

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant SDHE ASSOCIATES, INC. Phone Number (951) 683-3691
 Mailing Address 5225 CANYON CREST DR. #71-439 Email rob@sdhinc.net
RIVERSIDE, CA 92507
ROB VAN ZANTEN

Representative _____ Phone Number _____
 Mailing Address _____ Email _____

Property Owner FAMILY REALTY DEVELOPMENT, LLC Phone Number (626) 354-2165
 Mailing Address 1055 W. 7TH ST. 33RD FLOOR Email henry.szu@hotmail.com
LOS ANGELES, CA 90017
HENRY SZU

ALA
 March
 PV

 March
 E
 VE

LOCAL JURISDICTION AGENCY

Local Agency Name CITY OF PERRIS Phone Number (951) 943-5003 (257)
 Staff Contact 135 NORTH D STREET Email _____
 Mailing Address PERRIS, CA 92570 Case Type _____
NATHAN PEREZ

Local Agency Project No DPR 16-00009, PUD 16-05153
TTM 16-05154, ZC 16-05152, CPA 16-05151

General Plan / Specific Plan Amendment
 Zoning Ordinance Amendment
 Subdivision Parcel Map / Tentative Tract
 Use Permit
 Site Plan Review/Plot Plan
 Other

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address (NOT ASSIGNED)

Assessor's Parcel No. 330-050-027 Gross Parcel Size 276,634 S.F.
 Subdivision Name PK 5502 Nearest Airport PERRIS VALLEY
 Lot Number PARCEL 4 and distance from Airport 4,600'
MARCH AFB 36,975'

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT LAND WITH MINIMAL VEGETATION

Proposed Land Use (describe)	70-UNIT CONDOMINIUM DEVELOPMENT WITHIN 13 BUILDINGS, TOGETHER WITH A CLUBHOUSE AND AMENITIES.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	70-UNITS	
For Other Land Uses (See Appendix C)	Hours of Operation		
	Number of People on Site	Maximum Number	358
	Method of Calculation	MAX. OCCUPANCY (1/300 SF)	
Height Data	Site Elevation (above mean sea level)	1449.67 FF	ft.
	Height of buildings or structures (from the ground)	27	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	
	If yes, describe	<input checked="" type="checkbox"/> No	

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

4.1 Director's Approvals.

- A. During the period of February 14, 2018 through March 16, 2018, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed six non-legislative cases within Zones D and E of Airport Influence Areas and issued determinations of consistency.

ZAP1026BA17 (Banning Municipal, Zone D) pertains to City of Banning Case No. CUP 17-8003 (Conditional Use Permit), a proposal to replace an existing 60 foot high wooden football field light pole at the sports facilities located on a 9.5-acre parcel with an address of 124 E. Wilson Street (on the south side of Wilson Street, northerly of George Street and Nicolet Middle School, westerly of Alessandro Street, and easterly of San Gorgonio Avenue) with a new 60 foot high steel pole that would support wireless communication facilities (including six panel antennas and one microwave antenna), as well as the existing ball field light array. (The use permit would also provide for an equipment enclosure.) The site is located within Compatibility Zone D of the Banning Municipal Airport Influence Area. Zone D restricts nonresidential intensity to 200 persons per average acre and a maximum of 800 people in any single-acre area. The proposed project is an unmanned wireless facility with no onsite occupancy. The site is located 6,100 feet from the westerly terminus of Runway 8-26 at Banning Municipal Airport. The elevation of the runway at this point is 2,219 feet above mean sea level (2219 feet AMSL). At a distance of 6,100 feet, structures with a top point elevation exceeding 2,280 feet AMSL would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES). The existing elevation of the site is 2,406 feet AMSL, and the proposed light pole/wireless facility structure is 60 feet in height, resulting in a maximum elevation at top point of 2,466 feet AMSL. Therefore, FAA OES review for height/elevation reasons was required. Verizon submitted Form 7460-1 to the FAA OES in 2017. A "Determination of No Hazard to Air Navigation" letter was issued for Aeronautical Study No. 2017-AWP-11919-OE on January 1, 2018. The study revealed that, while the structure would exceed Section 77.19(b) obstruction standards by 47 feet and exceed the conical surface due to "Significantly rising natural terrain," upon further review, it was determined that the proposed construction "would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation" provided conditions are met. These FAA conditions have been incorporated into ALUC's recommended conditions. ALUC Director Simon Housman issued a determination of consistency for this project on February 21, 2018, once the FAA OES appeal period ended and the Determination of No Hazard to Air Navigation became final.

ZAP1300MA18 (March Air Reserve Base/Inland Port, Zone E) pertains to City of Riverside Case Nos. P17-0881 (Design Review) and P17-0882 (Variance), which propose construction of six storage silos at a height of 65 feet on a 3.33-acre parcel already improved with an industrial building located at 1575 Omaha Court, westerly of Atlanta Avenue and southerly of Marlborough Avenue. The site is located within Compatibility Zone E, where nonresidential intensity is not restricted. The elevation of the site is more than 500 feet lower than the elevation of March's Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean

sea level). The site is located more than 20,000 feet from the runways at Riverside Municipal Airport. The site is located 18,042 feet from the northeasterly terminus of the runway at Flabob Airport, but the notice radius for that airport is 10,000 feet and the notification slope is 50:1, since the runway length does not exceed 3,200 feet. Therefore, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on February 28, 2018.

ZAP1060PS18 (Palm Springs International, Zone E) pertains to City of Cathedral City Case No. CUP 17-035 (Conditional Use Permit), a proposal to construct a 39,600 square foot building on 6.51 acres located at 68-587 Canyon Plaza Drive for use as a cannabis cultivation facility. The site is located approximately 12,820 feet from the southerly terminus of Runway 13R-31L at Palm Springs International Airport, which has an elevation of 395.5 feet above mean sea level (AMSL). The finished floor elevation of the proposed building is 332 feet AMSL, and the tallest proposed structure height is 22 feet, resulting in a maximum top point elevation of 354 feet AMSL (41 feet lower than the runway elevation). Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 8, 2018.

ZAP1052HR18 (Hemet-Ryan, Zone E) pertains to City of Hemet Case No. SDR18-002 (Site Development Review), a proposal to construct a 7,381 square foot retail building for sales of automobile parts and Supplies (Auto Zone) on a 0.97-acre lot located on the northerly side of Stetson Avenue, opposite its intersection with Sapphire Place (which does not extend northerly of Stetson Avenue), easterly of Gilbert Street and westerly of State Street. The site is located within Compatibility Zone E of the Hemet-Ryan Airport Influence Area, where nonresidential intensity is not restricted. The elevation of Runway 5-23 at its existing northeasterly terminus is approximately 1,508 feet above mean sea level (1,508 feet AMSL). At a distance of approximately 12,870 feet from the existing northeasterly terminus of the runway (and 12,370 feet from the future northeasterly terminus), FAA review would be required for any structures with top of roof exceeding 1,631 feet AMSL. The site elevation is 1,585 feet AMSL, and the proposed building has a maximum height of 25 feet, for a maximum top point elevation of 1,610 feet AMSL. Therefore, notice to, and review by, the Federal Aviation Administration Obstruction Evaluation Service (FAA OES) for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 8, 2018.

ZAP1059PS18 (Palm Springs International, Zone D) pertains to City of Cathedral City Case No. TTM37473 (Tentative Tract Map), a proposal to divide 2.06 acres located southerly of Diamond Road/30th Avenue, easterly of San Joaquin Drive, and northwesterly of the curve where San Mateo Drive becomes San Antonio Drive in the Dream Homes Estates neighborhood into 12 single family residential lots. The site is located within Compatibility Zone D of the Palm Springs International Airport Influence Area. The proposal to divide 2.06 acres into 12 lots results in a density of almost 6 dwelling units per acre, which is consistent with the Zone D residential density criterion allowing residential development at densities above five dwelling units per acre. The elevation of Runway 13R-31L at Palm Springs International Airport at its southerly terminus is approximately 395.5 feet above mean sea level (395.5 feet AMSL). At a distance of approximately 2,760 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) notice and review would be required for any structures with top of roof exceeding 423.1 feet AMSL. The site elevation is 407 feet AMSL, and the tallest proposed structure height is 12 feet, resulting in a maximum top point elevation of 419 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. However, a condition is included requiring Determinations of No Hazard to Air Navigation for any structures greater than 16 feet in height, or with top

of roof exceeding 423 feet AMSL. ALUC Director Simon Housman issued a determination of consistency for this project on March 15, 2018.

ZAP1301MA18 (March, Zone E) pertains to County of Riverside Case Nos. CUP03782 (Conditional Use Permit)/PP26367 (Plot Plan), which propose an 80,362 square foot commercial center (including a 3,062 square foot convenience store with gasoline sales) and a self-storage complex of 120,000 square feet on 18.37 acres located on the southwest corner of Domenigoni Parkway and Leon Road, and County of Riverside Case No. PM35671R1 (Revised Tentative Parcel Map) proposing division of this site into nine (9) commercial parcels. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where nonresidential intensity is not restricted. The site is more than 20,000 feet from all public-use airports, and no structures greater than 200 feet in height are being proposed. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 15, 2018.

- B. Additionally, ALUC Director Simon Housman reviewed one legislative cases with associated non-legislative cases within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port pursuant to ALUC Resolution No. 2015-01, and issued determinations of consistency.

ZAP1303MA18 includes one legislative case and two non-legislative cases in the City of Riverside. City Case No. P15-0877 (Specific Plan Amendment) is a proposal to amend the University Avenue Specific Plan to allow hotels with buildings up to 100 feet in height within Sub District 4a. Sub District 4a is located northerly of University Avenue, easterly of Iowa Avenue, and southwesterly of Interstate 215/State Highway Route 60, entirely within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where nonresidential intensity is not restricted. City of Riverside Case Nos. P16-0066 (Conditional Use Permit) and P16-0067 (Design Review) propose to establish a 122,459 square foot seven story (93 foot tall) mixed use hotel, including 126 guest rooms for long-term stays and three restaurants, on a 0.83-acre parcel ("Lot K") with an address of 1277 University Avenue and located easterly of Iowa Avenue, northerly of University Avenue, and southerly of Linden Street. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where nonresidential intensity is not restricted. The elevation of the site is more than 500 feet lower than the elevation of March's Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level). The site is located more than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport. Therefore, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 15, 2018.

4.2 Election of Airport Land Use Commission Officers

This time has been set for the regularly scheduled election of the Commission Chairman and Vice-Chairman.

4.3 Resolution No. 18-01 Amending ALUC By-laws

A copy of the proposed Resolution is attached, for the Commission's consideration.

4.4 Resolution No. 18-02 Extending the Authorization of the ALUC Director to Take Action on Legislative Items in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

A copy of the proposed Resolution is attached, for the Commission's consideration.

4.5 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport

Y:\ALUC\ALUC Administrative Items\Admin Item 04-12-18.doc

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



February 21, 2018

**CHAIR
VACANCY**

Mr. Mark de Manincor, Contract Planner
City of Banning Planning Division
99 E. Ramsey Street
Banning CA 92220

VICE CHAIRMAN
Steve Manos
Lake Elsinore

COMMISSIONERS

Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Steven Stewart
Palm Springs

STAFF

Director
Simon Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lennon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1026BA17
Related File No.: CUP17-8003 (Conditional Use Permit)
APN: 541-020-014

Dear Mr. de Manincor:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Banning Case No. CUP17-8003 (Conditional Use Permit), a proposal to replace an existing 60 foot high wooden football field light pole at the sports facilities located on a 9.5 acre parcel with an address of 124 E. Wilson Street (on the south side of Wilson Street, northerly of George Street and Nicolet Middle School, westerly of Alessandro Street, and easterly of San Gorgonio Avenue) with a new 60 foot high steel pole that would support wireless communication facilities (including six panel antennas and one microwave antenna), as well as the existing ball field light array. (The use permit would also provide for an equipment enclosure.)

The site is located within Airport Compatibility Zone D of the Banning Municipal Airport Influence Area (AIA). Zone D restricts nonresidential intensity to 200 people per average acre and 800 people per single acre. The proposed project is an unmanned wireless facility with no onsite occupancy.

The elevation of Runway 8-26 at Banning Municipal Airport is approximately 2,219 feet above mean sea level (2219 feet AMSL). At a distance of approximately 6,100 feet from the runway to the above-referenced parcel, Federal Aviation Administration (FAA) review would be required for any structures with top point exceeding 2,280 feet AMSL. The existing site elevation is approximately 2,406 feet AMSL. The proposed light pole/wireless facility structure is 60 feet in height, for an approximate total maximum elevation of 2,466 feet AMSL. Therefore, FAA Obstruction Evaluation Service review for height/elevation reasons was required. Verizon submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service (FAAOES) in 2017. A "Determination of No Hazard to Air Navigation" letter for Aeronautical Study No. 2017-AWP-11919-OE was issued on January 1, 2018. The study revealed that, while the structure would exceed Section 77.19(b) obstruction standards by 47 feet and exceed the

AIRPORT LAND USE COMMISSION

Conical Surface due to the “significantly rising natural terrain,” upon further review, it was determined that the proposed construction “would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation” provided conditions are met. These FAAOES conditions have been incorporated into this finding.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016, provided that the City of Banning applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants of any building(s) thereon, and shall be recorded as a deed notice.
4. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be used in project

AIRPORT LAND USE COMMISSION

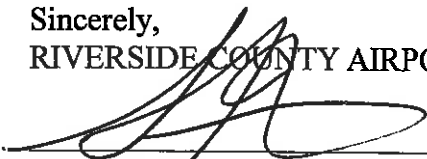
landscaping.

5. The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2017-11919-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.
6. The maximum height of the proposed structure to top point shall not exceed 60 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 2,467 feet above mean sea level.
7. The specific coordinates, height, top point elevation, frequencies, and power of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
8. Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
9. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structure.

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity
Aeronautical Study No. 2017-AWP-11919-OE

cc: Verizon Wireless Attn: Kelly McDonough (applicant)
Smartlink LLC, Attn: James Rogers (representative)
Banning Union High School District, Attn: Kookie Williams (property owner)
Carl Szoyka, Airport Manager, City of Banning
ALUC Case File

AIRPORT LAND USE COMMISSION

Y:\AIRPORT CASE FILES\Banning\ZAP1026BA17\ZAP1026BA17.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2017-AWP-11919-OE

Issued Date: 01/01/2018

Regulatory
 Los Angeles SMSA Limited Partnership
 5055 North Point Pkwy
 NP2NE Network Engineering
 Alpharetta, GA 30022

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Monopole Hays - A - 2241037
 Location: Banning, CA
 Latitude: 33-55-54.19N NAD 83
 Longitude: 116-52-34.17W
 Heights: 2407 feet site elevation (SE)
 60 feet above ground level (AGL)
 2467 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 07/01/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.

- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before January 31, 2018. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager of the Airspace Policy Group. Petitions can be submitted via mail to Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591, via email at OEPetitions@faa.gov, or via facsimile (202) 267-9328.

This determination becomes final on February 10, 2018 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Policy Group via telephone – 202-267-8783.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact Karen McDonald, at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2017-AWP-11919-OE.

Signature Control No: 348884898-352117569

(DNH)

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Frequency Data

Map(s)

cc: FCC

Additional information for ASN 2017-AWP-11919-OE

The proposal, submitted by Los Angeles SMSA Limited Partnership, will construct a 60-foot above ground level (agl) Monopole, on significantly rising natural terrain in Banning, California. The site approximately 1.37 nautical miles (NM) northwest of the Banning Municipal (BNG) airport reference point. The BNG Field Elevation (FE) is 2,222 feet above mean sea level (amsl). BNG is the closest civilian public-use landing area. The site elevation of this proposal is 2,407 feet amsl.

The structure height exceeds the obstruction standards of Title 14 Code of Federal Regulations (CFR) Part 77 as follows:

Section 77.19(b) by 47 feet, because of the significantly rising site terrain - a height exceeding the BNG Conical Surface.

Details of the proposal were not circularized for public aeronautical comment because internal FAA evaluation finds that the adverse effect of this structure is known. Similar structures are in the area. There would be no derogation of the navigable airspace overlying the site. Existing obstacles and terrain control the development of future approach and departure instrument Terminal Procedures at BNG. Therefore, no further attempt to negotiate the structure to a lower height was considered necessary. This does not affect the right to petition for review determinations regarding structures which exceed the subject obstruction standards.

AERONAUTICAL STUDY FOR POSSIBLE EFFECT UPON THE OPERATION OF AN AIR NAVIGATION AID:

- None.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- The proposal would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- The proposal would have no effect on any existing or proposed IFR minimum flight altitudes.

AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

- The proposal would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
- The proposal would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known civilian public-use or military airports, including BNG. The proposal does not penetrate the maneuvering area associated with VFR Traffic Pattern operations at BNG to a significantly greater degree than existing structures and natural terrain. Aircraft at normal Traffic Pattern altitudes and standard rates of descent have reasonable clearance above this structure.

- The proposal would not penetrate those altitudes normally considered available to airmen for VFR en route flight.

The cumulative impact of the proposed structure, when combined with other existing structures is not considered significant. Study did not disclose any adverse effect on existing or proposed public-use or military airports or navigational facilities. Nor would the proposal affect the capacity of any known existing or planned civilian public-use or military airport.

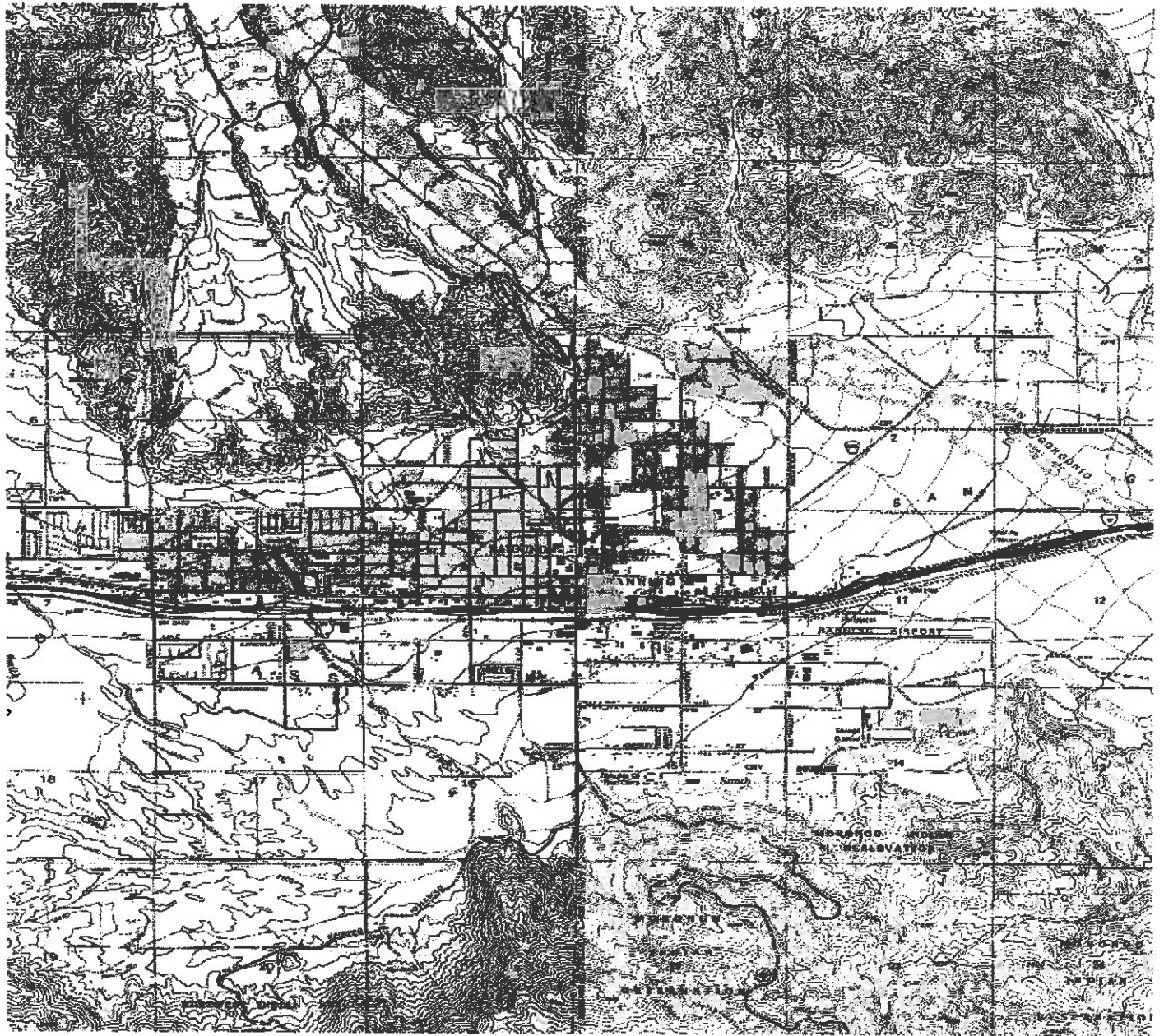
Therefore, it is determined that the proposed construction would not have a substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on any air navigation facility and would not be a hazard to air navigation.

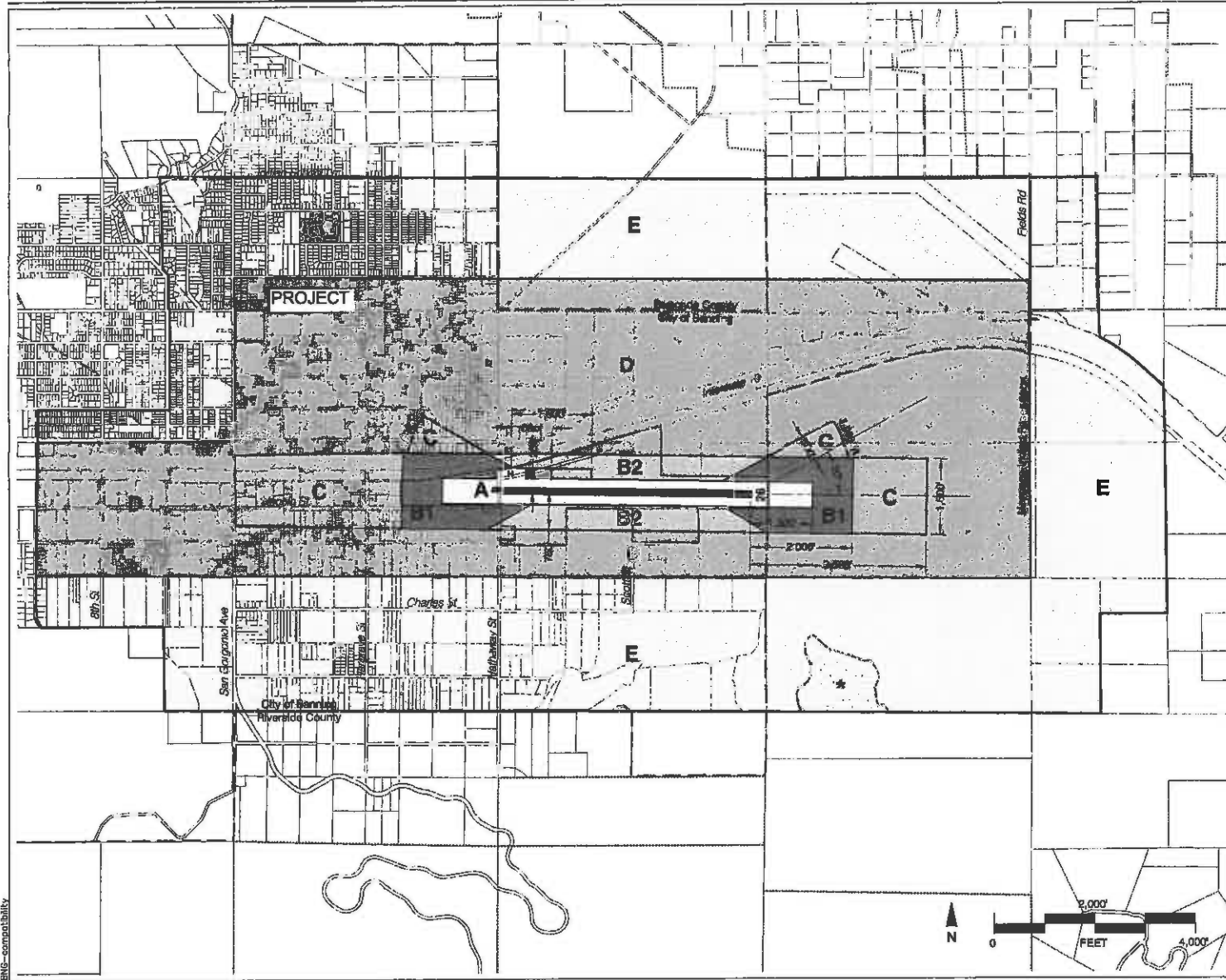
This determination, issued in accordance with Part 77, concerns the effect of the proposal on the safe and efficient use of the navigable airspace by aircraft and does not relieve the sponsor of any compliance responsibilities relating to laws, ordinances, or regulations of any Federal, state, or local governmental bodies.

Determinations, which are issued in accordance with Part 77, do not supersede or override any state, county, or local laws, aviation easements, or ordinances, or local zoning maximum heights.

Frequency Data for ASN 2017-AWP-11919-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W





Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits
- Morongo Indian Reservation

Note

Dimensions measured from runway ends and centerlines.
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
**Riverside County
Airport Land Use Compatibility Plan
Policy Document**
(Adopted October 2004)

Map BN-1

Compatibility Map
Banning Municipal Airport

BNG-compatibility

HAYS

Verizon Wireless



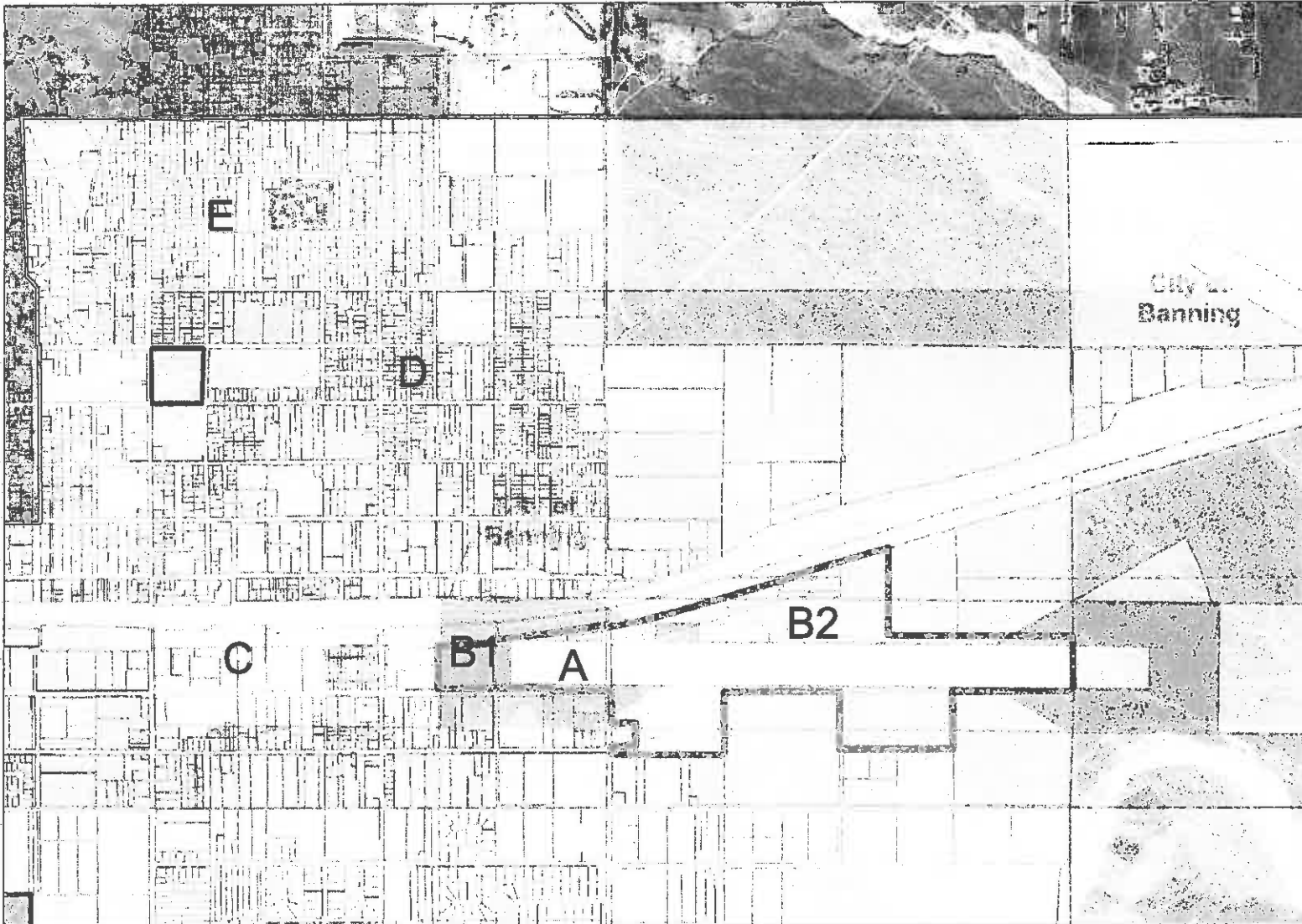
Legend

◆ Hays - Distance to Banning Municipal Airport

Google Earth

500 ft

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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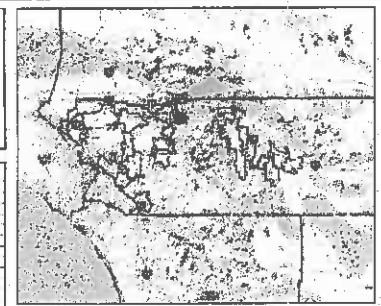
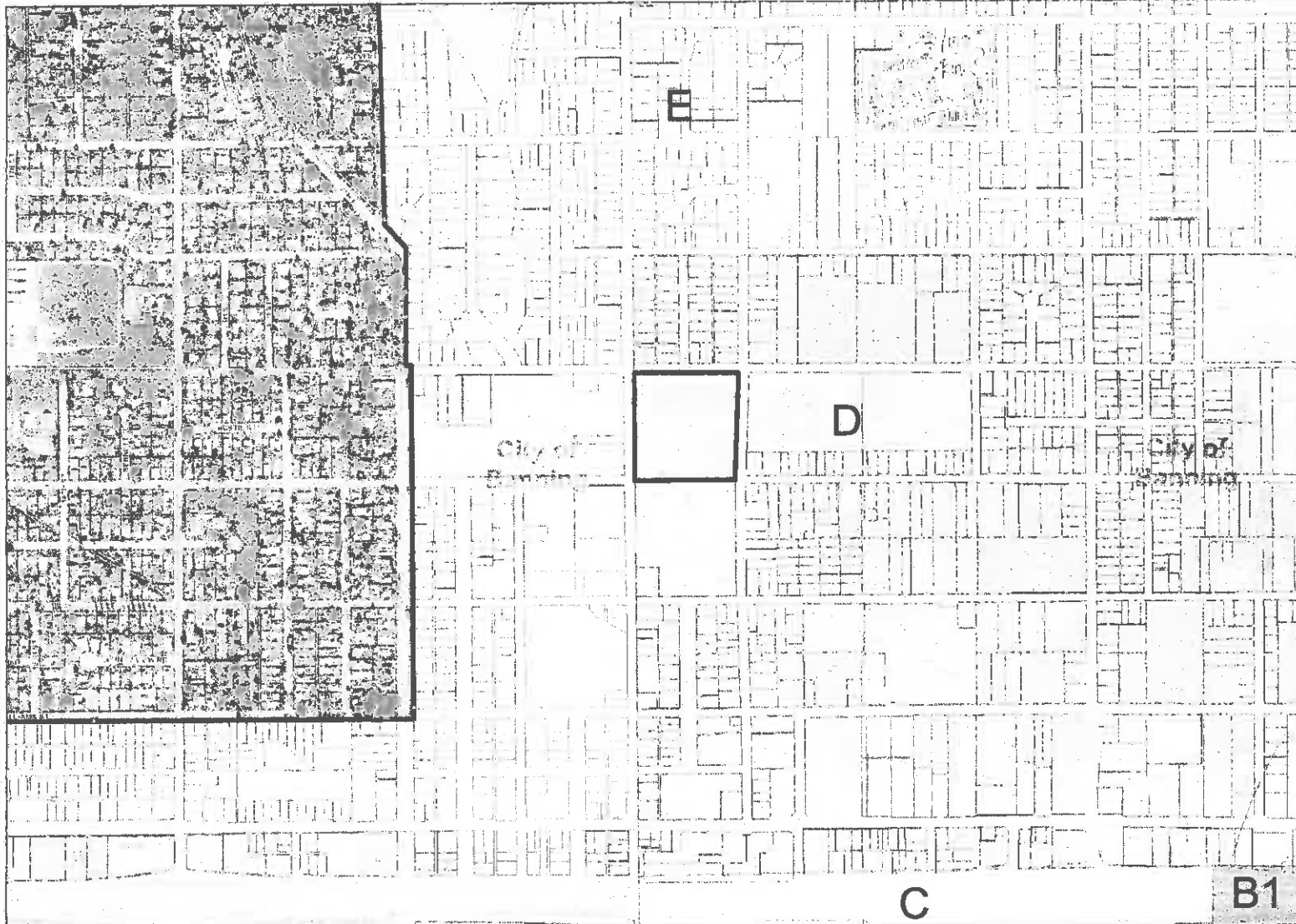


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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



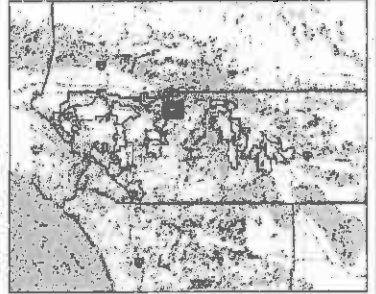
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Notes

My Map



Legend

- City Boundaries
- Cities**
- highways**
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
 - Lakes
 - Rivers



0 4,317 8,634 Feet



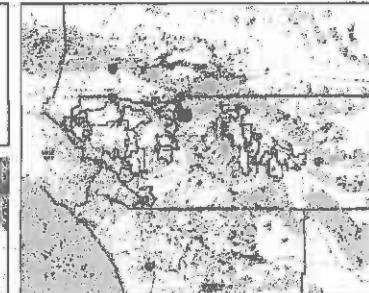
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Notes

My Map



Legend

-  City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
-  counties
-  cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



0

2,158

4,317 Feet



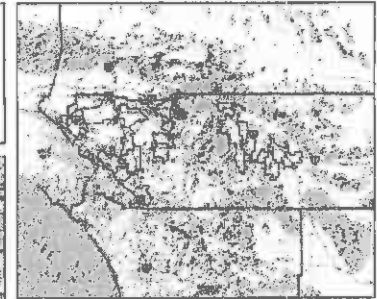
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 540 1,079 Feet



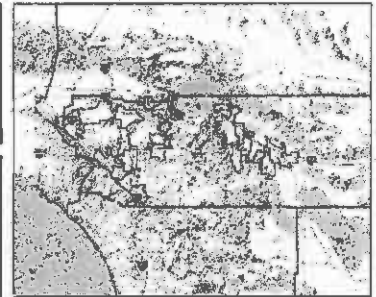
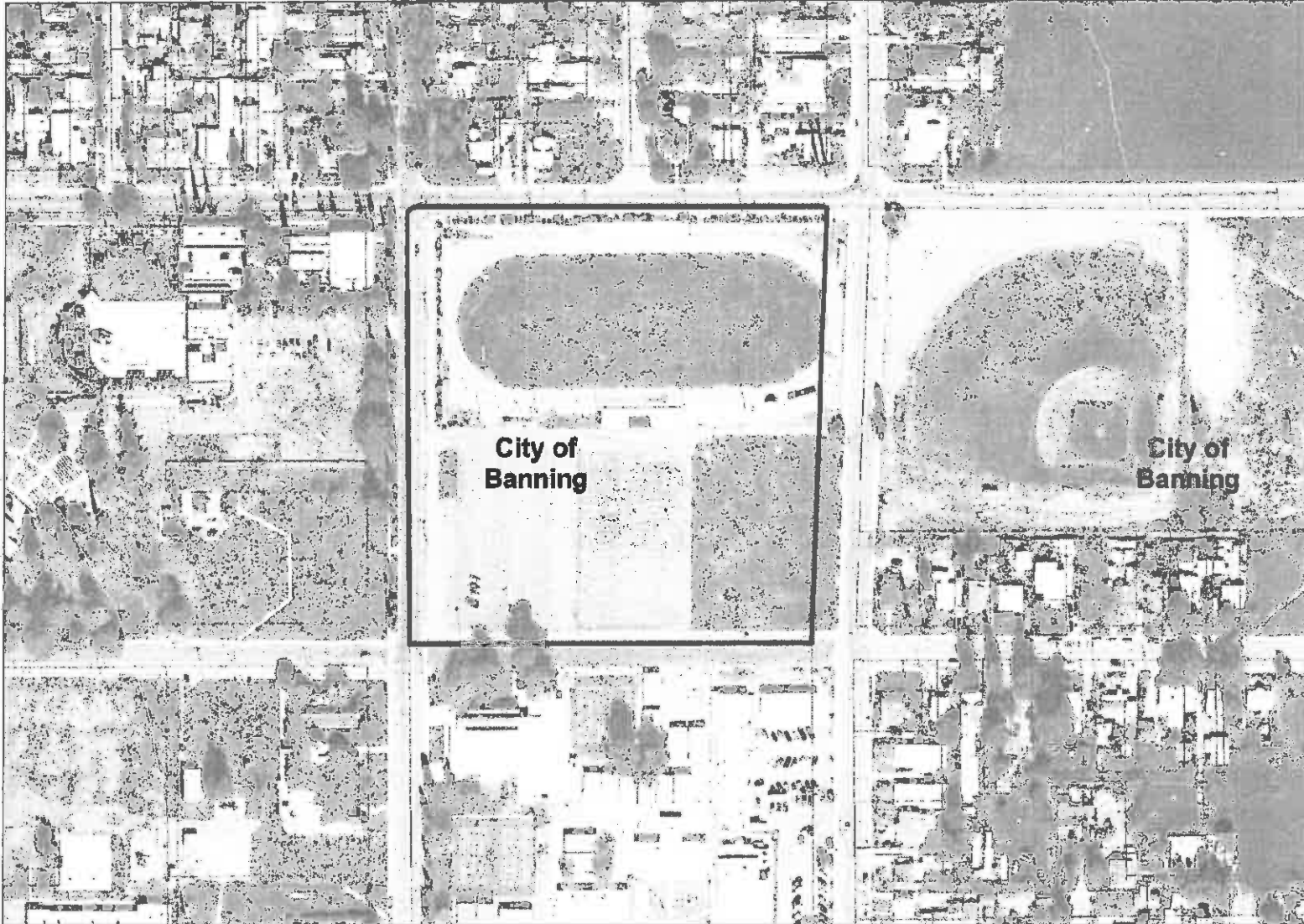
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roads**
 - anno
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines**
- waterbodies**
 - Lakes
 - Rivers



0 270 540 Feet

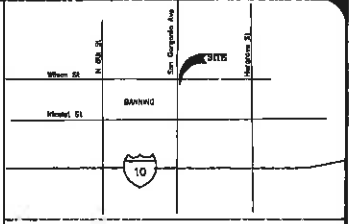
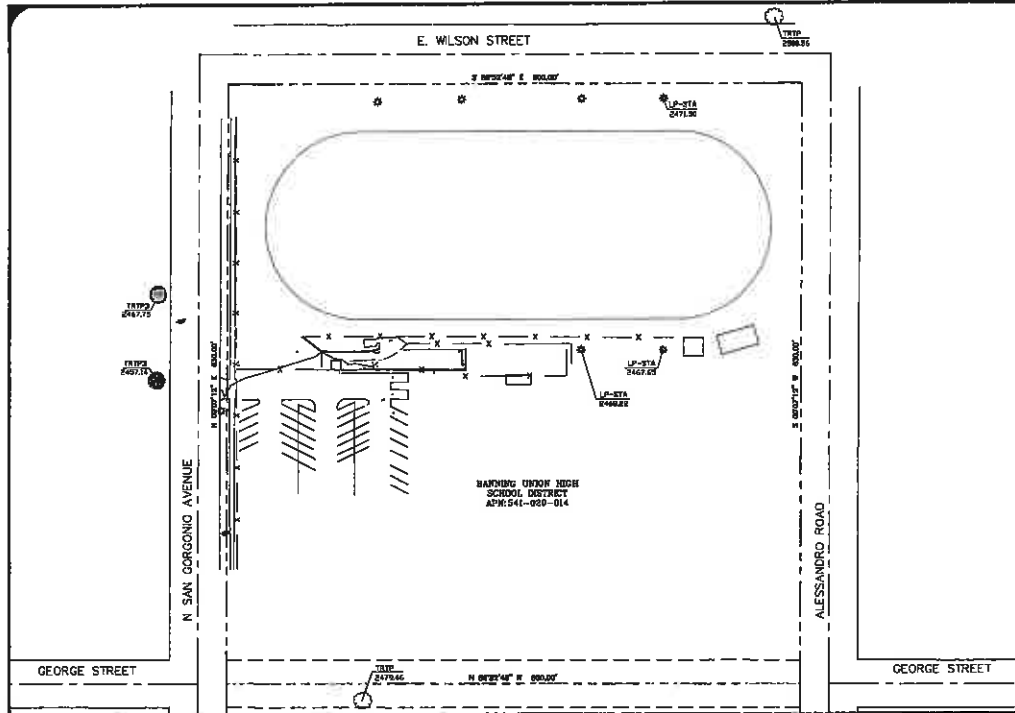


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Notes



LEGEND

These standard symbols will be found in the drawing.

- ⊠ ELECTRIC BOX
- ⊠ HANDY CAP SYMBOL
- ⊕ LIGHT POLE
- ⊙ LIGHT STADIUM
- ⊙ MARKLE MISC
- ⊙ MONUMENT FOUND
- ⊙ TREE TOP DECIDUOUS
- ⊙ TREE TOP CONIFEROUS
- ⊙ UTILITY POLE

- ASPH ASPHALT SURFACE
- EC EDGE OF CONCRETE
- FP EDGE OF PAVEMENT
- FNCP FENCE TOP
- LP LIP OF GUTTER
- NS GROUND SPOT ELEVATION
- PS PAINT STOPPING
- RTOP ROOF TOP
- RW RECLAIMING WALL TOP
- SW SIDEWALK
- TC TOP OF CURB
- TC TREE TOP DECIDUOUS
- TRIP3 TREE TOP CONIFEROUS

- BOUNDARY LINE
- CENTER LINE
- MISC. PROPERTY LINE
- MISC. TIE LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- FENCE LINE
- BUILDING EDGE

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0		DATE SURVEY	DF

FLOYD SURVEYING
 34008 GALLERON STREET
 TEMESCALA, CA 92582
 OFFICE: (949) 200-8248
 EMAIL: floyd@floydsurveying.com

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 IRVINE, CA 92618



HAYS
 730 N SAN GERONIMO AVENUE
 BANNING, CA 92220

SHEET TITLE:
**SITE SURVEY
 GENERAL INFORMATION**

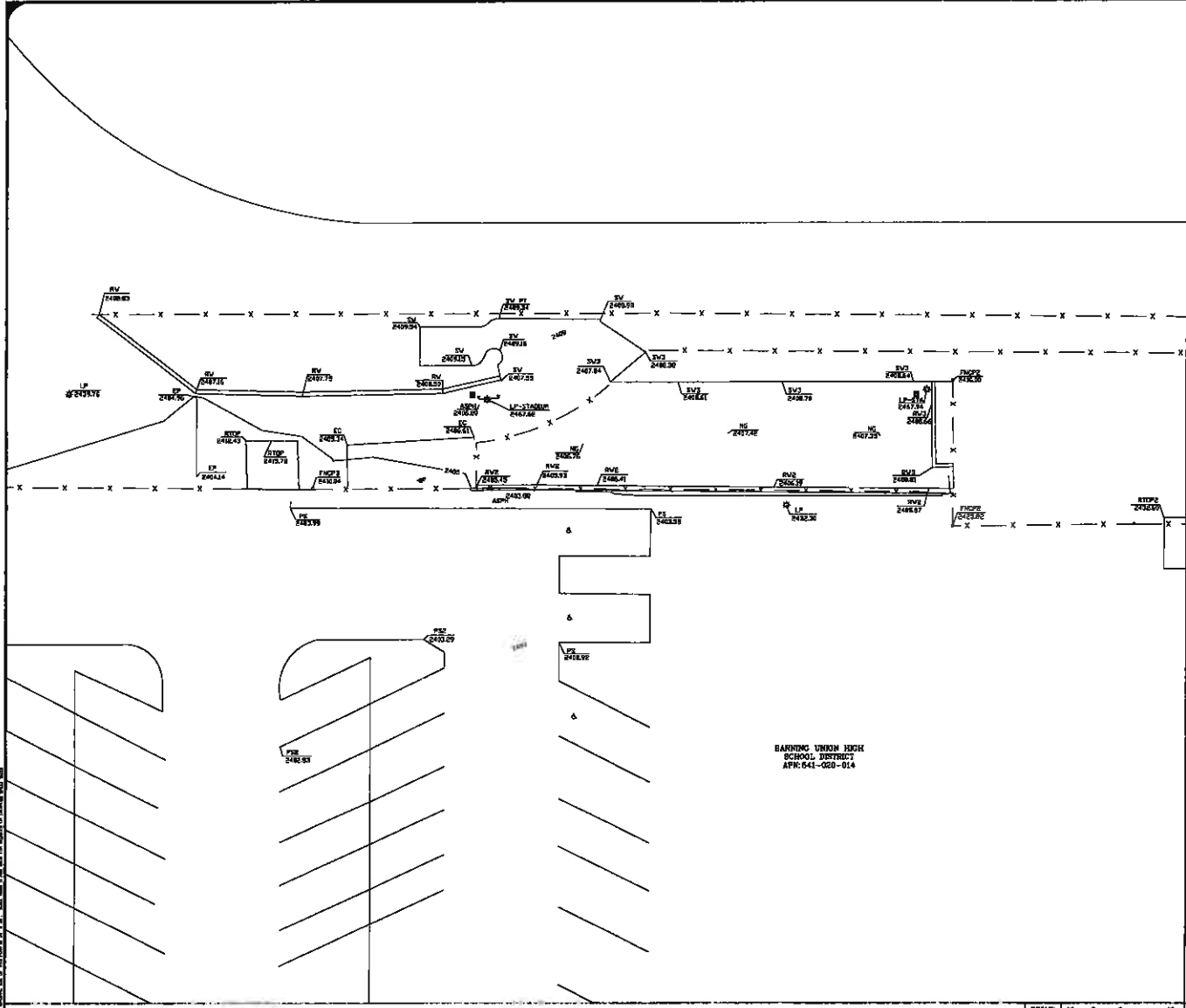
LS1

OVERALL SITE PLAN		STADIUM LIGHT POLE DETAIL	
WAITING FOR TITLE	WAITING FOR TITLE	SCALE: 1"=50'	SCALE: 1"=50'
PROPERTY LEGAL DESCRIPTION	TITLE REPORT NOTES	FEMA FLOOD ZONE INFORMATION	LEGEND

OWNER'S NAME: BANNING UNION HIGH SCHOOL DISTRICT
ASSESSOR'S PARCEL NUMBER(S): 041-020-014
BASIS OF BEARINGS: (NAD 83; Epoch 2010)
 THE BEARINGS SHOWN HEREON ARE BASED ON NAD 1983 CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 9, AS DETERMINED BY C.P.S. OBSERVATIONS, USING TRIMBLE 5705/5050 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.
BASIS OF ELEVATIONS: NAVD 1988
 ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM TWO NATIONAL GEODETIC SURVEY C.O.R.E. REFERENCE STATIONS: 1) FLOS, ELEVATION = 45.07' AND 2) BILL, ELEVATION = 1505.81' WITH GEOID 2012A CORRECTIONS APPLIED.

SITE DATA
FEMA FLOOD ZONE DESIGNATION:
 County: RIVERSIDE Effective Date: 8/28/2005
 Map/Zone: 0005C0617C
 The Flood Zone Designation for this site is: ZONE: X

- ### LEGEND
- This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying transferred the topographic survey to record information using the two found monuments shown hereon. No Blis research was performed by Floyd Surveying.
 - Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.
 - These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written consents shall take preference over notes & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.
 - Field survey completed on MARCH 21, 2017.



LEGEND

- These standard symbols will be found in the drawing.
- ELECTRIC BOX
 - ▲ HARDY CAP SYMBOL
 - LIGHT POLE
 - LIGHT STAND
 - MANHOLE MISC
 - MONUMENT FOUND
 - TREE TOP DECIDUOUS
 - TREE TOP CONIFEROUS
 - ▼ UTILITY POLE
- ASPH ASPHALT SURFACE
 - EC EDGE OF CONCRETE
 - EP EDGE OF PAVEMENT
 - FENC FENCE TOP
 - NO GROUND SPOT ELEVATION
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 - MISC. TIE LINE
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - FENCE LINE
 - BUILDING EDGE

LEGEND

- 1) This is not a boundary survey. This is a specialized topographic map. The property line and easements shown hereon are from record information or noted hereon. Floyd Surveying limited the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.
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- 4) Field survey completed on MARCH 21, 2017.

DETAIL SITE PLAN



LEGEND

ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	02/28/17	DATE SURVEY	

FLOYD SURVEYING
 3400B GALLERON STREET
 TEMECULA, CA 92592
 OFFICE: (949) 200-0926
 EMAIL: info@floyd-surveying.com

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verizon
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 IRVINE, CA 92618



HAYS
 790 N SAN Geronimo AVENUE
 BANNING, CA 92220

SHEET TITLE:
SITE SURVEY
 GENERAL INFORMATION

LS2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	04/25/17	90% ZONING	PL
1	04/27/17	90% ZONING	PL
2	04/28/17	100% ZONING	SHS
3	05/01/17	100% ZONING	SHS

INFINIGY8 Engineering & Architecture

28488 RANCHO PRVY, SOUTH
LIME FOREST, CA 92680
OFFICE: 949.763.8887
PAGE 040170-002

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF
DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO
VERIZON WIRELESS

ANY USE OR DISCLOSURE OTHER THAN AS IT RELATED
TO VERIZON WIRELESS IS STRICTLY PROHIBITED



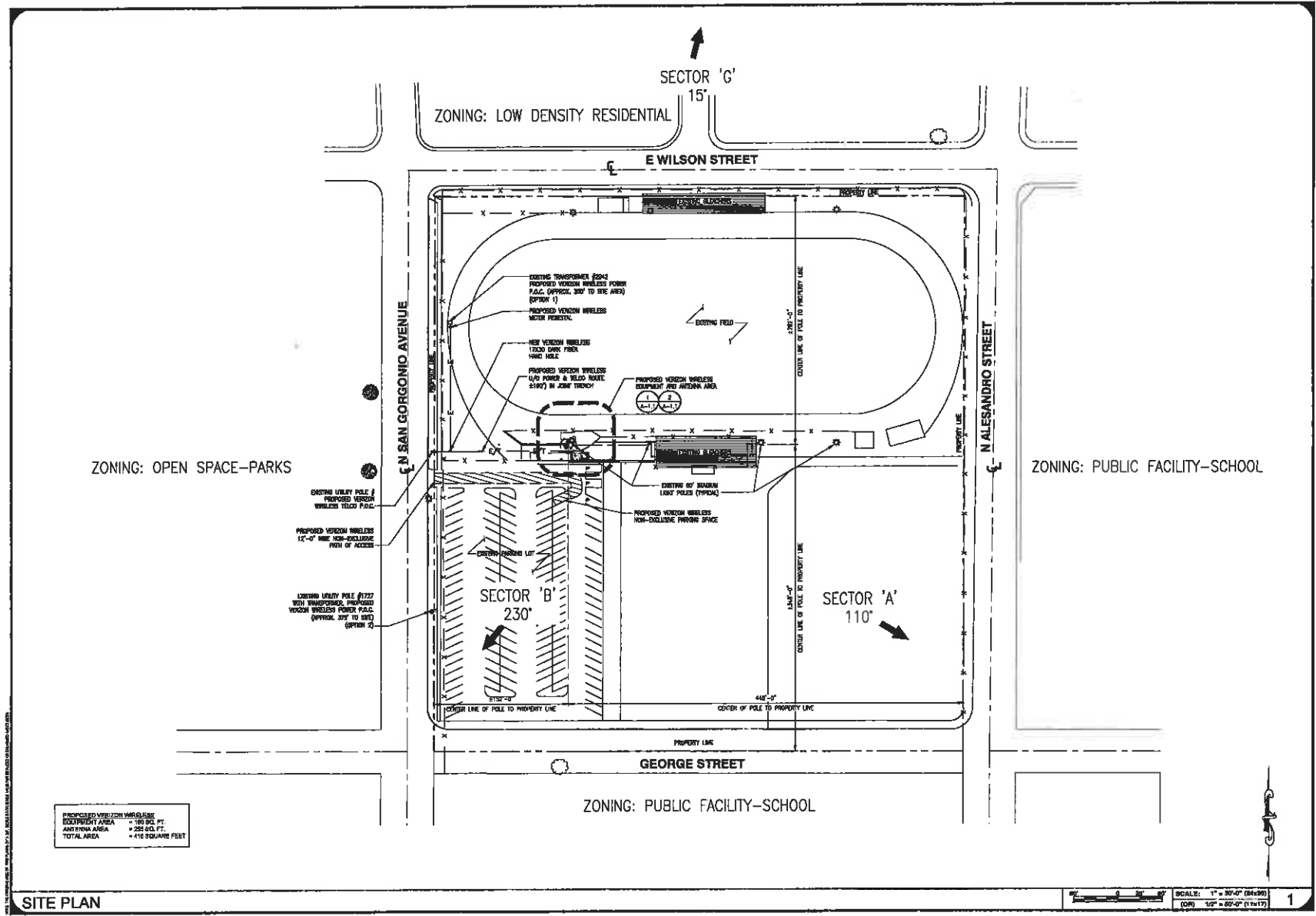
1506 SAND CANYON AVENUE, D1
IRVINE, CA 92618

HAYS

100-124 E. WILSON STREET
BANNING, CA 92220

SHEET TITLE:
SITE PLAN

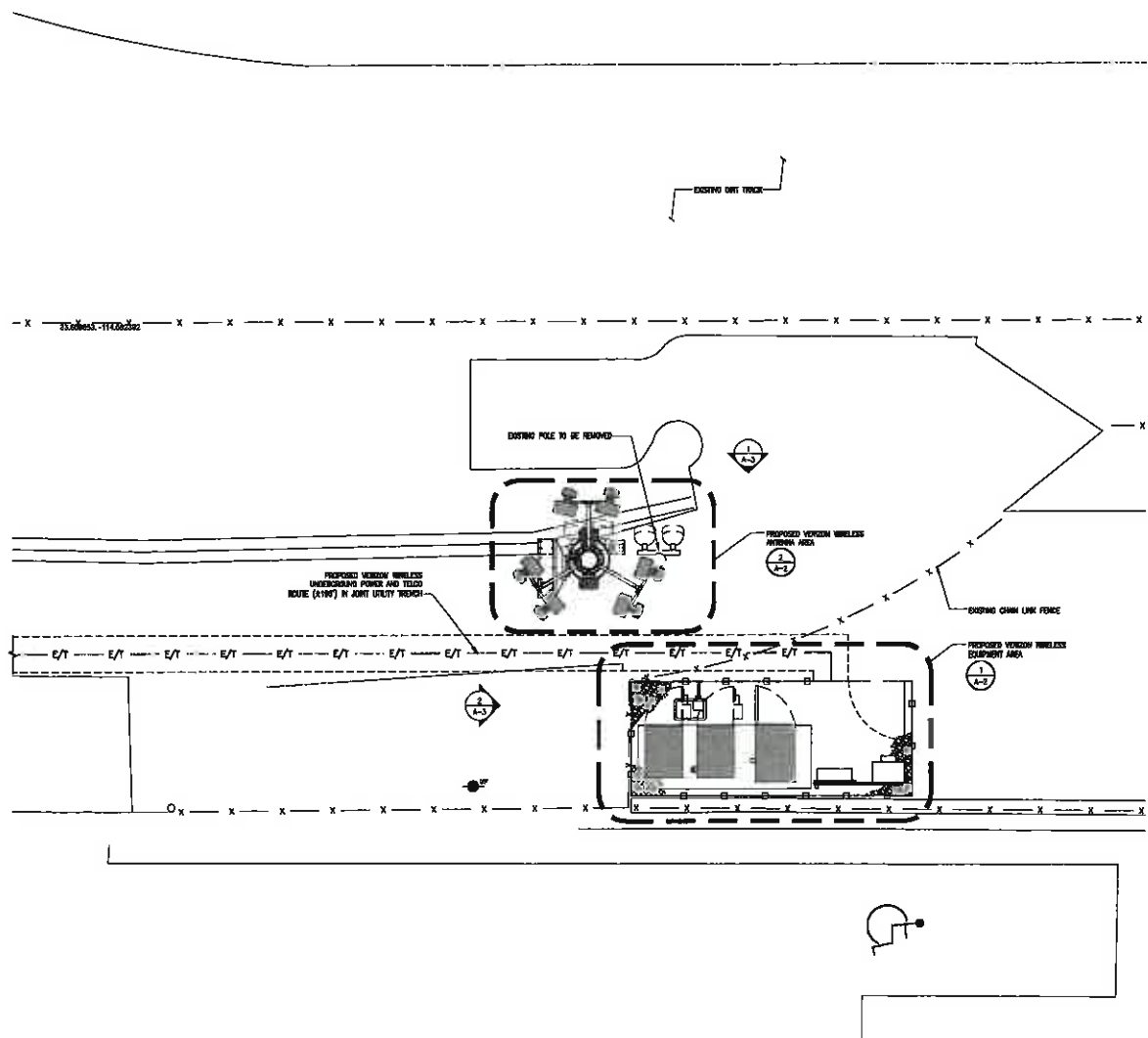
A-1



PROPOSED VERIZON WIRELESS
EQUIPMENT AREA
= 180 SQ. FT.
ANTENNA AREA
= 220 SQ. FT.
TOTAL AREA
= 400 SQUARE FEET

SITE PLAN

SCALE: 1" = 30'-0" (N=30)
(OR) 1/8" = 30'-0" (N=17)



PROPOSED VERIZON WIRELESS EQUIPMENT AREA
 ANTENNA AREA = 180 SQ. FT.
 ANTENNA HOUSING = 255 SQ. FT.
 TOTAL AREA = 435 SQUARE FEET

ENLARGED AREA PLAN

SCALE: 1/4" = 1'-0" (AS SHOWN)
 (DO NOT SCALE) 1/8" = 1'-0" (11/17)

REV.	DATE	DESCRIPTION	BY
0	04/12/17	80% ZONING	PL
1	04/12/17	90% ZONING	PL
2	05/05/17	100% ZONING	SM
3	05/22/17	100% ZONING	SM

INFINIGY8
 20456 RANCHO PIGAY, SOUTH
 LAKELAND, CA 92509
 OFFICE: 949.783.8877
 FAX: 949.783.8877

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verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618



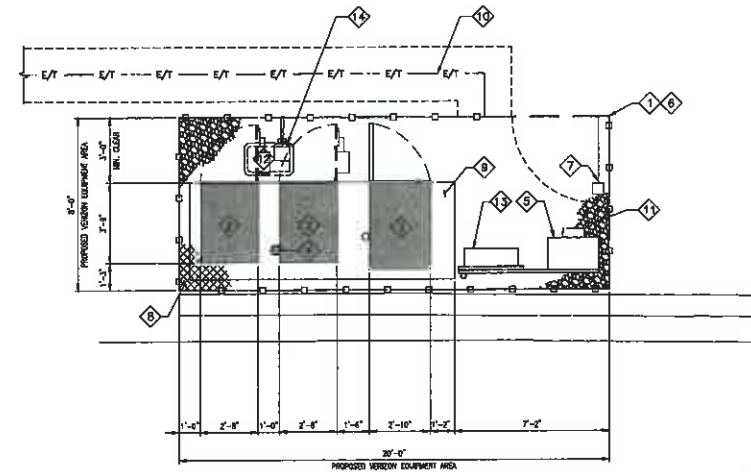
HAYS
 100-124 E. WILSON STREET
 BANNING, CA 92220

SHEET TTTI F:
 ENLARGED AREA PLAN

A-1.1

EQUIPMENT KEYNOTES:

- ① PROPOSED VERIZON WIRELESS EQUIPMENT AREA (100 SQ. FT.)
- ② PROPOSED VERIZON WIRELESS (2) RACK EQUIPMENT CABINETS
- ③ PROPOSED VERIZON WIRELESS STAND-BY DIESEL POWERED DC GENERATOR WITH 54 GALLONS FUEL TANK
- ④ PROPOSED VERIZON WIRELESS GPS ANTENNA
- ⑤ PROPOSED VERIZON WIRELESS TOWER BOX, AND INTEGRATED LOAD CENTER MOUNTED ON PROPOSED H-FRAME
- ⑥ PROPOSED VERIZON WIRELESS BROUGHT FROM FENCE WITH PRIVACY SLATS ENCLOSURE
- ⑦ PROPOSED VERIZON WIRELESS 4'-0" WIDE BROUGHT FROM FENCE GATE WITH PRIVACY SLATS
- ⑧ PROPOSED VERIZON WIRELESS BROUGHT FROM L.O.
- ⑨ PROPOSED VERIZON WIRELESS EQUIPMENT 4'-0" x 12'-0" EQUIPMENT CONCRETE PAIL
- ⑩ PROPOSED VERIZON WIRELESS UNDERGROUND POWER AND FIBER/OPTIC ROUTE (2100') IN TRENCH
- ⑪ PROPOSED VERIZON WIRELESS SIGNAL WISSE ENCLOSURE
- ⑫ PROPOSED VERIZON WIRELESS 17" x 30" TOWER PULL BOX
- ⑬ PROPOSED VERIZON WIRELESS INTEGRATED LOAD CENTER
- ⑭ PROPOSED VERIZON WIRELESS SERVICE LIGHT



PROPOSED VERIZON WIRELESS
EQUIPMENT AREA = 100 SQ. FT.
ANTENNA AREA = 250 SQ. FT.
TOTAL AREA = 410 SQUARE FEET

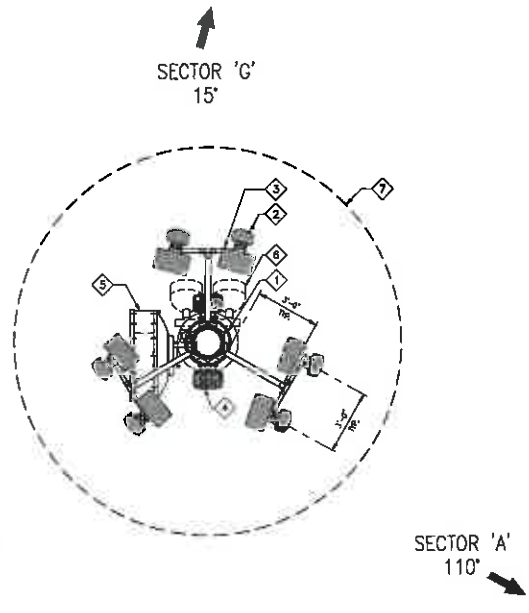
EQUIPMENT PLAN

SCALE: 3/8" = 1'-0" (R1439)
(20X) 3/16" = 1'-0" (R1417)

1

ANTENNA KEYNOTES:

- ① EXISTING 40-FT HIGH TOWER FIELD WOODEN LIGHT POLE TO BE REMOVED AND REPLACED WITH PROPOSED VERIZON WIRELESS 67 HIGH STEEL LIGHT POLE.
- ② PROPOSED VERIZON WIRELESS 6'-FT TALL PANEL ANTENNA (2) PER SECTOR, (3) SECTORS, (6) TOTAL
- ③ PROPOSED VERIZON WIRELESS RHODOS/ROHS (4) PER SECTOR, (3) SECTORS, (12) TOTAL, STACKED
- ④ PROPOSED VERIZON WIRELESS SURGE SUPPRESSION (2) TOTAL
- ⑤ PROPOSED VERIZON WIRELESS 4'x PARABOLIC ANTENNA AZIMUTH = TO BE DETERMINED.
- ⑥ PROPOSED FIELD LIGHTS ABOVE
- ⑦ PROPOSED VERIZON WIRELESS 18' AZIM. DIMETER



SECTOR 'B'
230'

SECTOR 'G'
15'

SECTOR 'A'
110'

ANTENNA PLAN

SCALE: 3/8" = 1'-0" (R1439)
(20X) 3/16" = 1'-0" (R1417)

2

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
0	10/20/17	100% 201803	PL
1	04/17/17	80% 201803	PL
2	08/01/17	100% 201803	MR
3	08/01/17	100% 201803	MR

INFINIGY8 Design

28488 RANCHO PROVO, SOUTH
LAKE FOREST, CALIFORNIA
OFFICE # (949) 779-3077
FAX # (949) 779-3033

PROPRIETARY INFORMATION
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verizon

15005 SAND CANYON AVENUE, D1
IRVINE, CA 92618

HAYS

130-124 E. WILSON STREET
BANNING, CA 92220

SHEET TITLE:
**EQUIPMENT
& ANTENNAS PLANS**

A-2

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	04/27/17	20% DESIGN	PL
1	04/27/17	20% DESIGN	PL
2	08/04/17	100% TO PERM	MSH
3	08/09/17	100% COMPLETE	MSH

INFINIGY8

2648 RANCHO PIEMonte, SOUTH
LAKE FOREST, CA 92630
OFFICE: (949) 755-4867
FAX: (949) 755-4823

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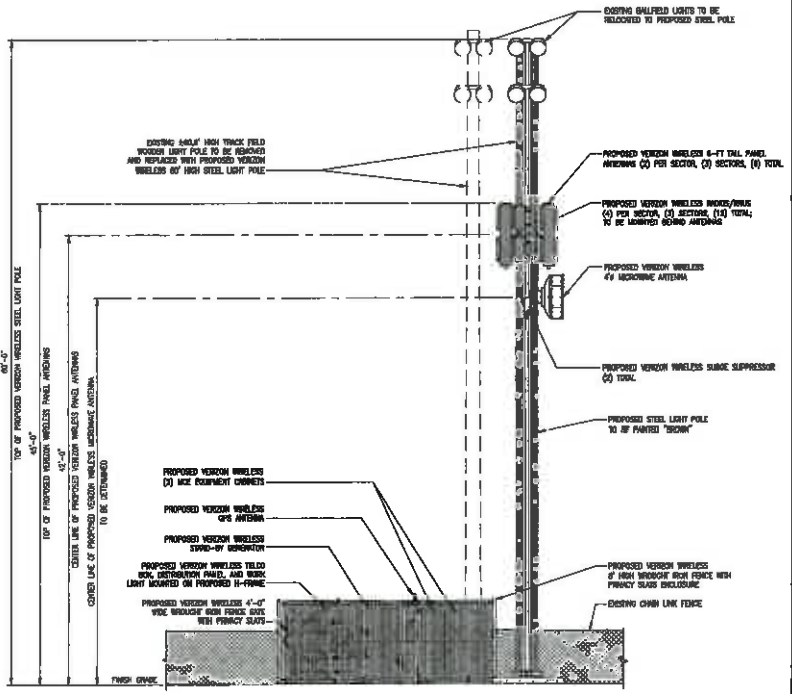


15505 SAND CANYON AVENUE, D1
IRVINE, CA 92618

HAYS
100-124 E. WILSON STREET
BANNING, CA 92220

SHEET TITLE:
ELEVATIONS

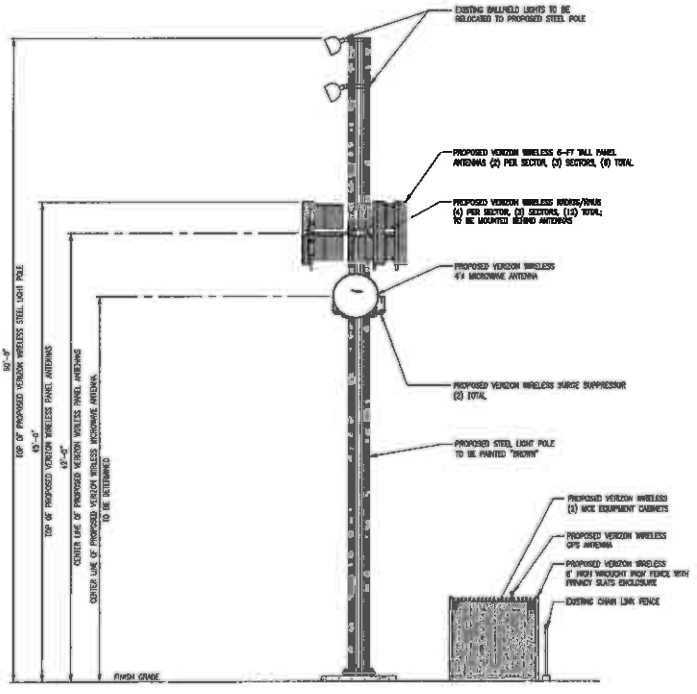
A-3



NORTH ELEVATION

SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)

1



WEST ELEVATION

SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)

2

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

February 28, 2018

**CHAIR
VACANCY**

**VICE CHAIRMAN
Steve Manos
Lake Elsinore**

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Riverside**

**John Lyon
Riverside**

**Glen Holmes
Hemet**

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Desert Hot Springs**

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Palm Springs**

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**Director
Simon A. Housman**

**John Guerin
Paul Rull
Barbara Santos**

**County Administrative Center
4080 Lennon St., 14th Floor
Riverside, CA 92501
(951) 955-5132**

www.rcaluc.org

Mr. Sean Kelleher, Associate Planner
City of Riverside Community Development Department/Planning Division
3900 Main Street, Third Floor
Riverside, CA 92522

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR’S DETERMINATION

File No.: ZAP1300MA18
Related File No.: P17-0881 (Design Review) and P17-0882 (Variance)
APN: 249-100-046

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case Nos. P17-0881 (Design Review) and P17-0882 (Variance), which propose construction of six storage silos at a height of 65 feet on a 3.32-acre parcel already improved with an industrial building located at 1575 Omaha Court, westerly of Atlanta Avenue and southerly of Marlborough Avenue.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of the site is more than 500 feet lower than the elevation of March’s Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level). The site is located more than 20,000 feet from the runways at Riverside Municipal Airport. The site is located 18,042 feet from the northeasterly terminus of the runway at Flabob Airport, but the notice radius for that airport is 10,000 feet and the notification slope is 50:1, since the runway length does not exceed 3,200 feet. Therefore, Federal Aviation Administration Obstruction Evaluation Service review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

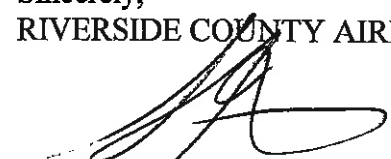
CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to lessees of the structure(s) thereon.
4. No detention basins are depicted on the site plan. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

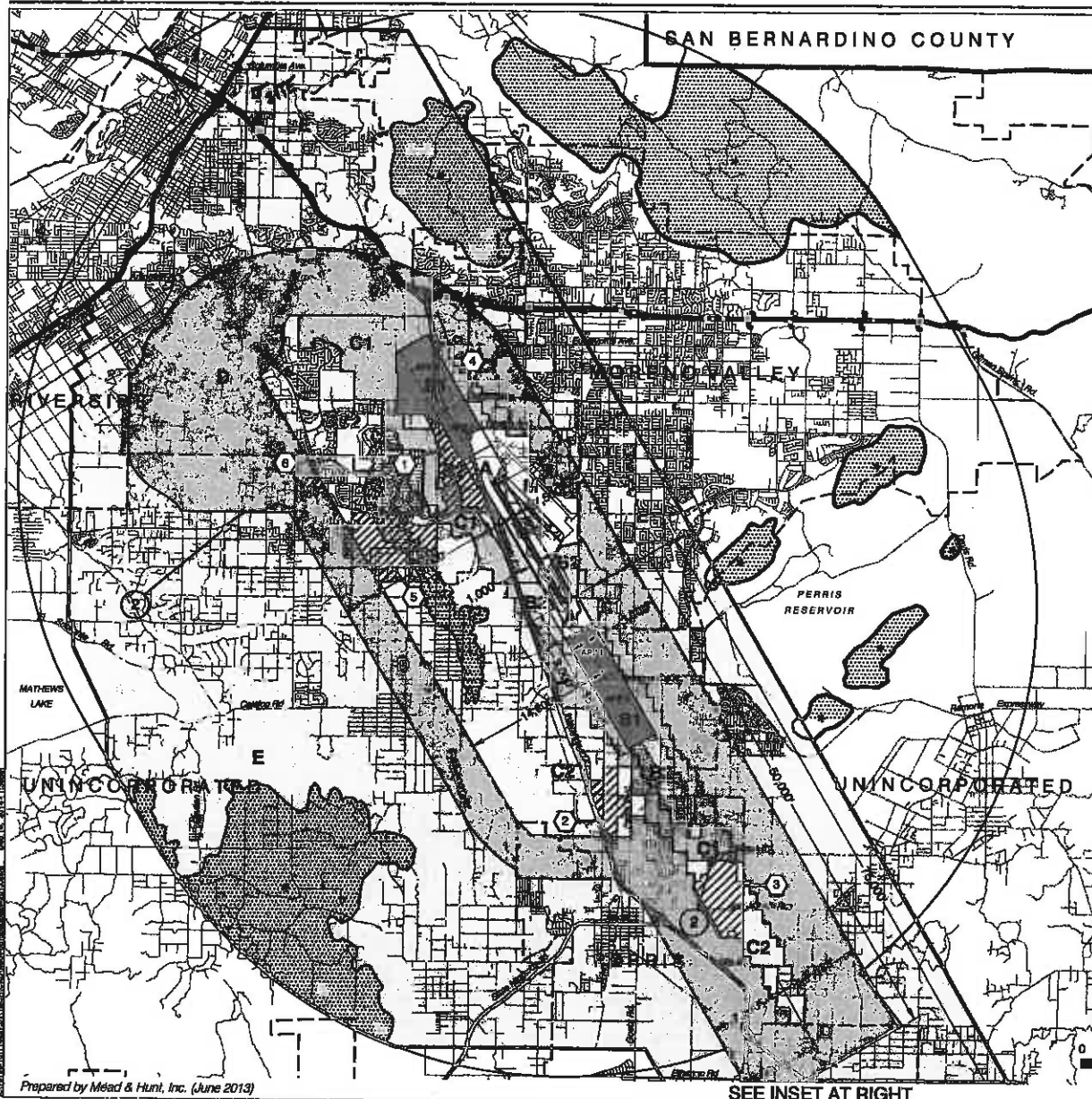
Attachments: Notice of Airport in Vicinity

cc: Baltazar Mejia, BM Extrusion, Inc. (applicant/landowner)
James Broeske, Broeske Architects & Associates, Inc. (representative)
Richard Ortiz, Studio ROCA (additional representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Denise Hauser or Daniel Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1300MA18\ZAP1300MA18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

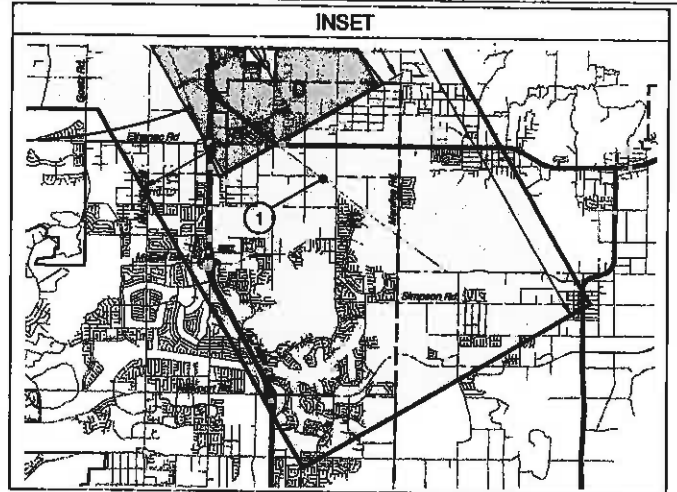
- Airport Influence Area Boundary
- ▨ Zone A
- ▨ Zone B1
- ▨ Zone B2
- ▨ Zone C1
- ▨ Zone C2
- ▨ Zone D
- ▨ Zone E
- ▨ Zone M
- ▨ High Terrain Zone
- ▨ FAR Part 77 Military Outer Horizontal Surface Limits
- ▨ FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Rkige Crest Subdivision



**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

Note:
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

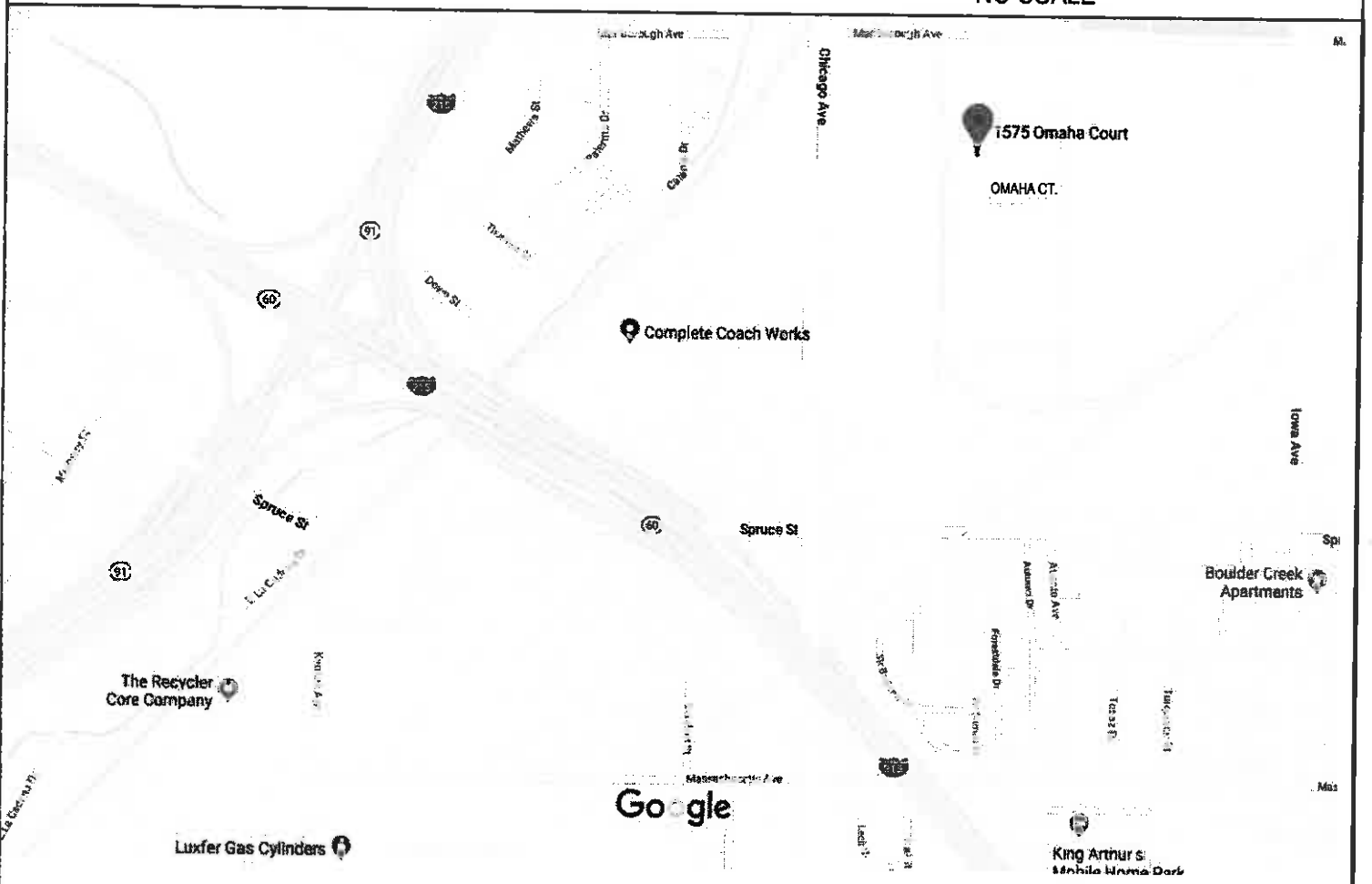
SEE INSET AT RIGHT

Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

VICINITY MAP

NO SCALE



1575 OMAHA CT, RIVERSIDE, CA 92507



Map My County Map



Legend

World Street Map



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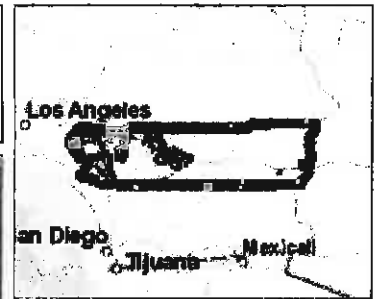
Notes

0 12, 24,075 Feet
037

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Map My County Map



Legend

- Runways
- Airport Influence Areas
- World Street Map



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Notes



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Map My County Map



Legend

-  Parcels
-  Runways
-  Airport Influence Areas
- World Street Map



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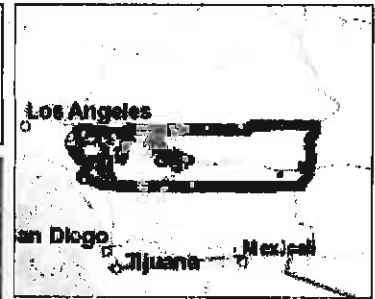
Notes

0 752 1,505 Feet

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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airport Influence Areas
 - World Street Map



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Notes



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Map My County Map



- Legend**
- Parcel APNs
 - Parcels
 - Runways
 - ◻ Airport Influence Areas
 - World Street Map



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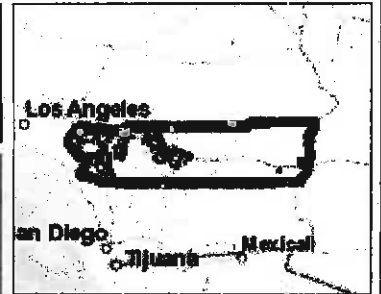
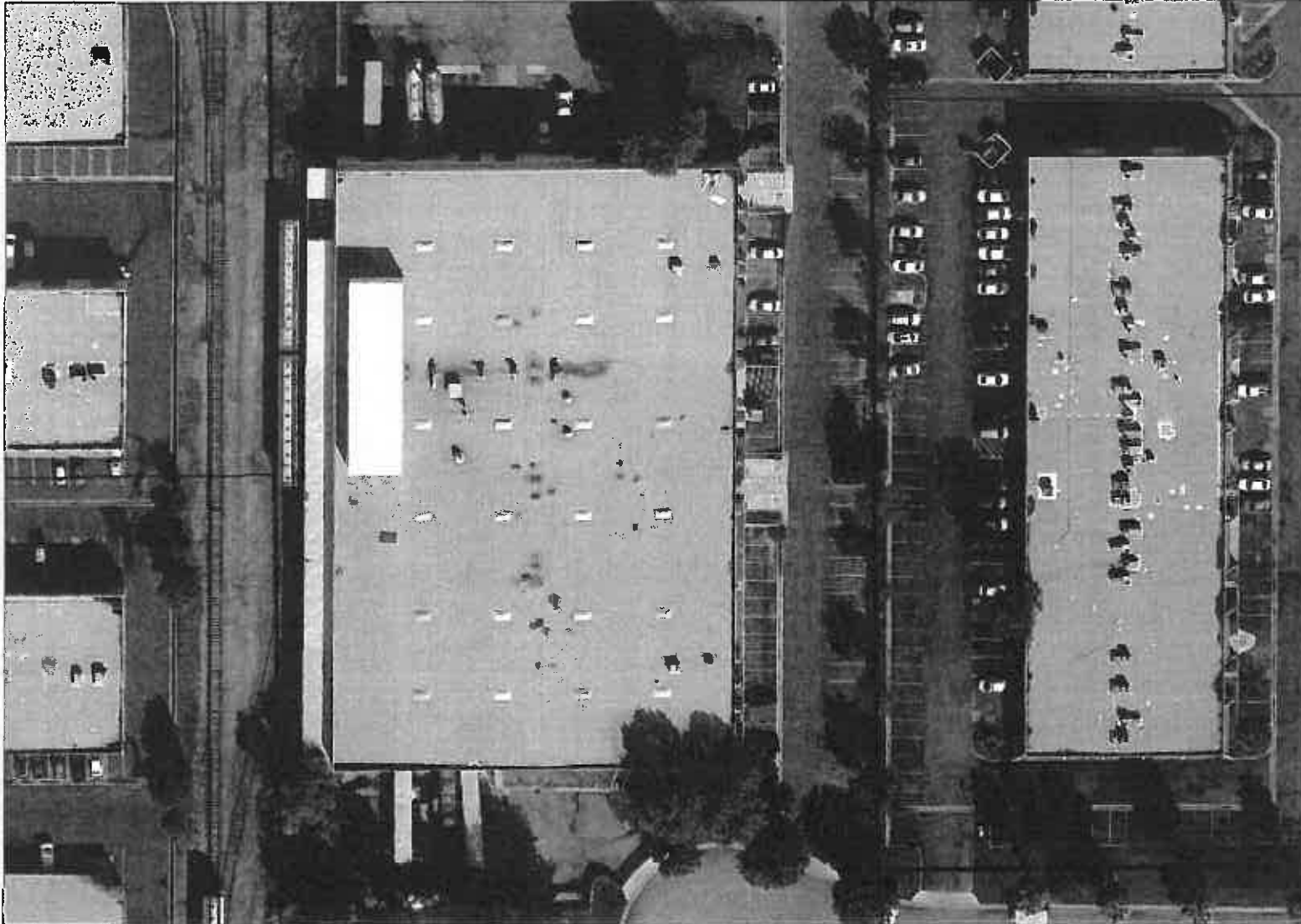


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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airport Influence Areas
- World Street Map



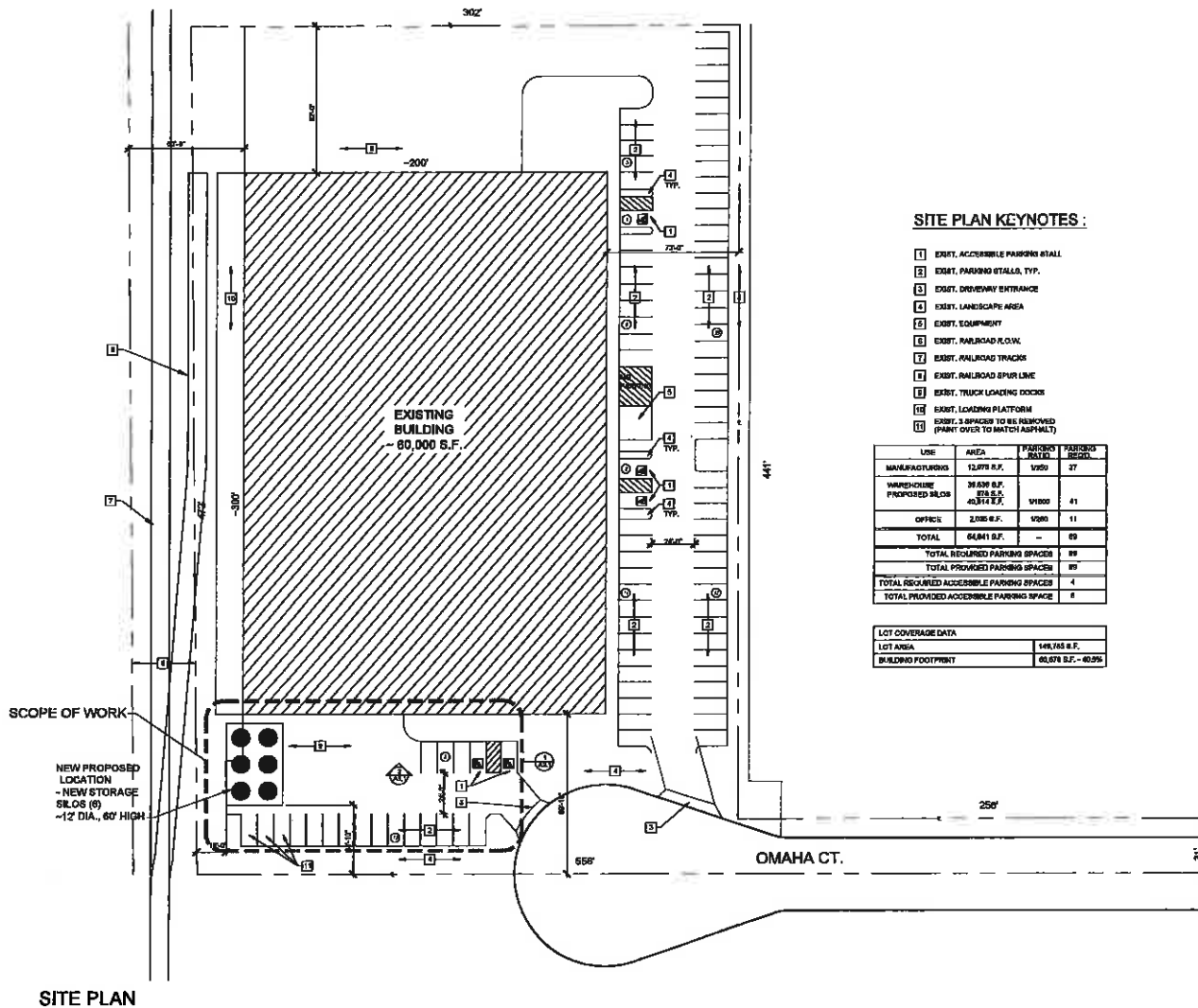
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Notes

0 94 188 Feet

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SITE PLAN KEYNOTES :

- 1) EXIST. ACCESSIBLE PARKING STALL
- 2) EXIST. PARKING STALLS, TYP.
- 3) EXIST. DRIVEWAY ENTRANCE
- 4) EXIST. LANDSCAPE AREA
- 5) EXIST. EQUIPMENT
- 6) EXIST. RAILROAD ROW
- 7) EXIST. RAILROAD TRACKS
- 8) EXIST. RAILROAD SPUR LINE
- 9) EXIST. TRUCK LOADING DOCKS
- 10) EXIST. LOADING PLATFORM
- 11) EXIST. 3 SPACES TO BE REMOVED (PAINT OVER TO MATCH ASPHALT)

USE	AREA	PARKING SPACES	PARKING SPACES
MANUFACTURING	12,179 S.F.	1,950	27
WAREHOUSE PROPOSED SILOS	38,839 S.F. 325 S.F. ADJUNCT.	1,900	41
OFFICE	2,085 S.F.	1,000	11
TOTAL	64,103 S.F.	-	89
TOTAL REQUIRED PARKING SPACES		89	
TOTAL PROVIDED PARKING SPACES		89	
TOTAL REQUIRED ACCESSIBLE PARKING SPACES		4	
TOTAL PROVIDED ACCESSIBLE PARKING SPACE		8	

LOT COVERAGE DATA	
LOT AREA	148,745 S.F.
BUILDING FOOTPRINT	60,878 S.F. - 40.9%

**BM EXTRUSION
- STORAGE SILO
ADDITION**

1575 OMAHA CT.
RIVERSIDE, CALIFORNIA 92507

PROJECT DATA

SCOPE OF WORK: INSTALL 8 NEW STORAGE SILOS FOR EXISTING MANUFACTURING FACILITY
PREVIOUSLY SUBMITTED AND APPROVED PLAN CHECK No. 15-2344

OCCUPANCY TYPE: BUILDING: I-1, SLD: S2
CONSTRUCTION TYPE: I-3 (SPRINKLED)

TOTAL BUILDING AREA: ~80,000 SQ. FT.
NUMBER OF STORIES: 1

SCOPE OF WORK CONSTRUCTION LIMIT AREA: ~2,500 SQ. FT.

SITE DATA: APN: 240-100-048
TOTAL SITE AREA: 144,819 S.F. (3.32 AC)

ZONING: OMP

ALLOWABLE BUILDING AREA: 26,000 S.F. (TABLE 503)

ALLOWABLE AREA INCREASE:
CBC 606.2: $A = (FP - 4,250) \times 1000$
 $A = (80,000 - 25) \times 0.001 = 7$

CBC 506.1: $A = (A1 + (A1 \times B) + (A1 \times C))$
 $A = (25,000 + (25,000 \times .7) + (25,000 \times 2))$
 $A = 92,500 S.F. ALLOWABLE AREA$

ALL WORK SHALL COMPLY WITH:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE

VICINITY MAP



PROJECT LOCATION



**BM EXTRUSION
- STORAGE SILO
ADDITION**

1575 OMAHA CT., RIVERSIDE, CA 92507

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DATE	10/16/2018
DATE	08/14/2017
DRAWN BY	CMH
DESIGNED BY	
CHECKED BY	
SCALE	
REVISION	

SITE PLAN

A1.1

PROJECT DIRECTORY

OWNER/CLIENT INFORMATION
B.M. EXTRUSION, INC.
1575 OMAHA CT.
RIVERSIDE, CA 92507-2444
(951) 782-8020

ARCHITECT INFORMATION
BIOESQUE ARCHITECTS & ASSOCIATES, INC.
JAMES L. BROESKE
4344 HILLVIEW ST., SUITE 100
RIVERSIDE, CA 92504
(951) 500-1866 (951) 500-1848 fax

1" = 30'

PAGE BREAK



**AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY**



March 8, 2018

**CHAIR
VACANCY**
VICE CHAIRMAN
Steve Manos
Lake Elsinore

Mr. Salvador Quintanilla, Project Planner
City of Cathedral City Planning Department
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

COMMISSIONERS
Arthur Butler
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

John Lyon
Riverside

File No.: ZAP1060PS18

Related File No.: CUP 17-035

Glen Holmes
Hemet

APN: 687-510-029

Russell Betts
Desert Hot Springs

Dear Mr. Quintanilla:

Steven Stewart
Palm Springs

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Cathedral City Case No. CUP 17-035 (Conditional Use Permit), a proposal to construct a 39,600 square foot cannabis cultivation facility building on 6.51 acres located at 68-587 Canyon Plaza Drive.

STAFF

Director
Simon A. Housman

The site is located within Airport Compatibility Zone E of the Palm Springs International Airport Influence Area (AIA). Within Compatibility Zone E of the Palm Springs International Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 13R-31L at Palm Springs International Airport at its southerly terminus is approximately 395.5 feet above mean sea level (395.5 feet AMSL). At a distance of approximately 12,820 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 523.7 feet AMSL. The proposed finished floor elevation is 332 feet AMSL, and the tallest proposed structure height is 22 feet, resulting in a maximum top point elevation of 354 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Palm Springs Airport Land Use Compatibility Plan, provided that the City of Cathedral City applies the following recommended conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

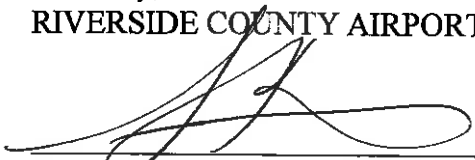
www.rcaluc.org

2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached "Notice of Airport in Vicinity" shall be provided to all potential purchasers of the property and to the tenants of the buildings.
4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

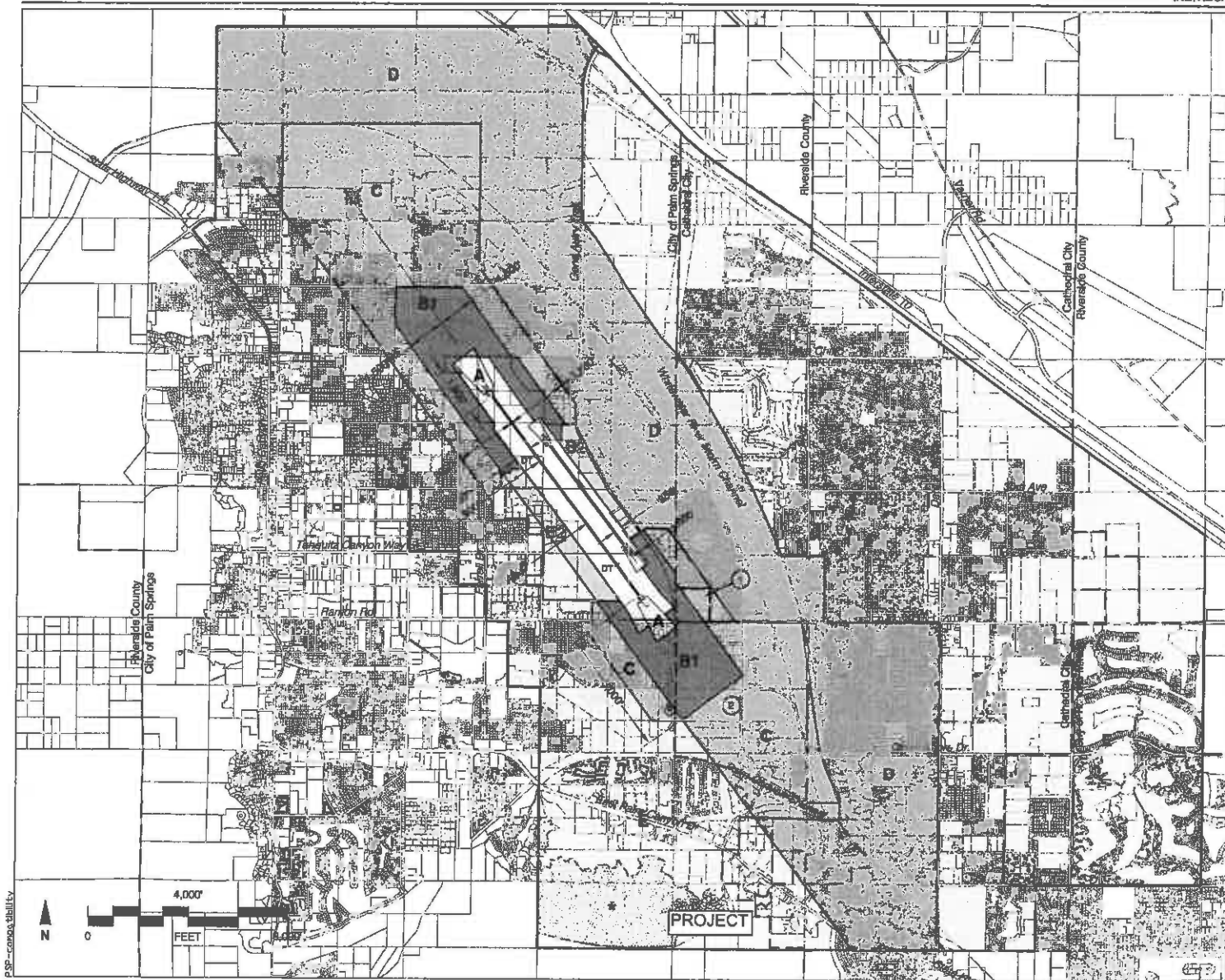
Attachment: Notice of Airport in Vicinity

cc: Greenscape, LLC, Craig Bouman (applicant)
Sanborn Architecture Group, Inc., Allen Sanborn (representative)
Grit Development, LLC, Michael Bruan (listed as property owner on application)
John Oswald (Park City) (fee-payer)
John Wessman, Wessman Development (listed property owner – Assessor roll))
Thomas Nolan, Executive Director, Palm Springs International Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Palm Springs\ZAP1060PS18\ZAP1060PS18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

- Notes**
- All dimensions measured from runway ends and centerlines.
 - DT = Displaced Threshold
 - See Chapter 2, Table 2A for compatibility criteria associated with this map.
 - See Policy PS.2.1.

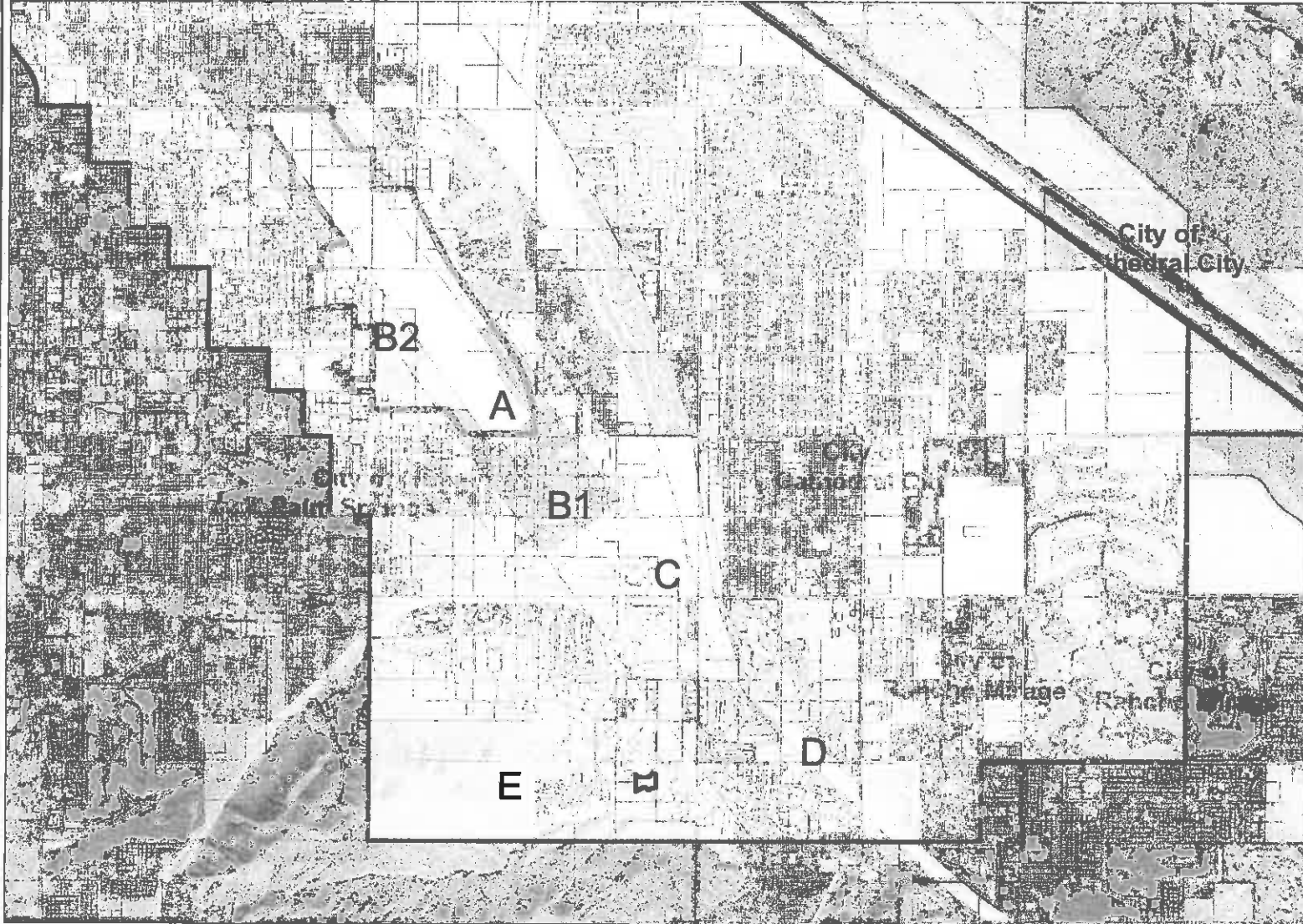
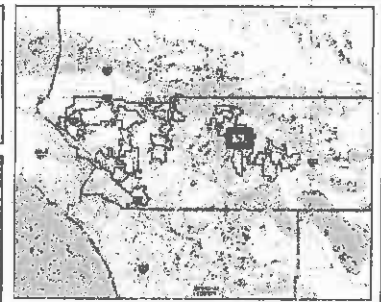
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map PS-1

Compatibility Map
Palm Springs International Airport

PS-Compatibility

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 6,065 12,129 Feet



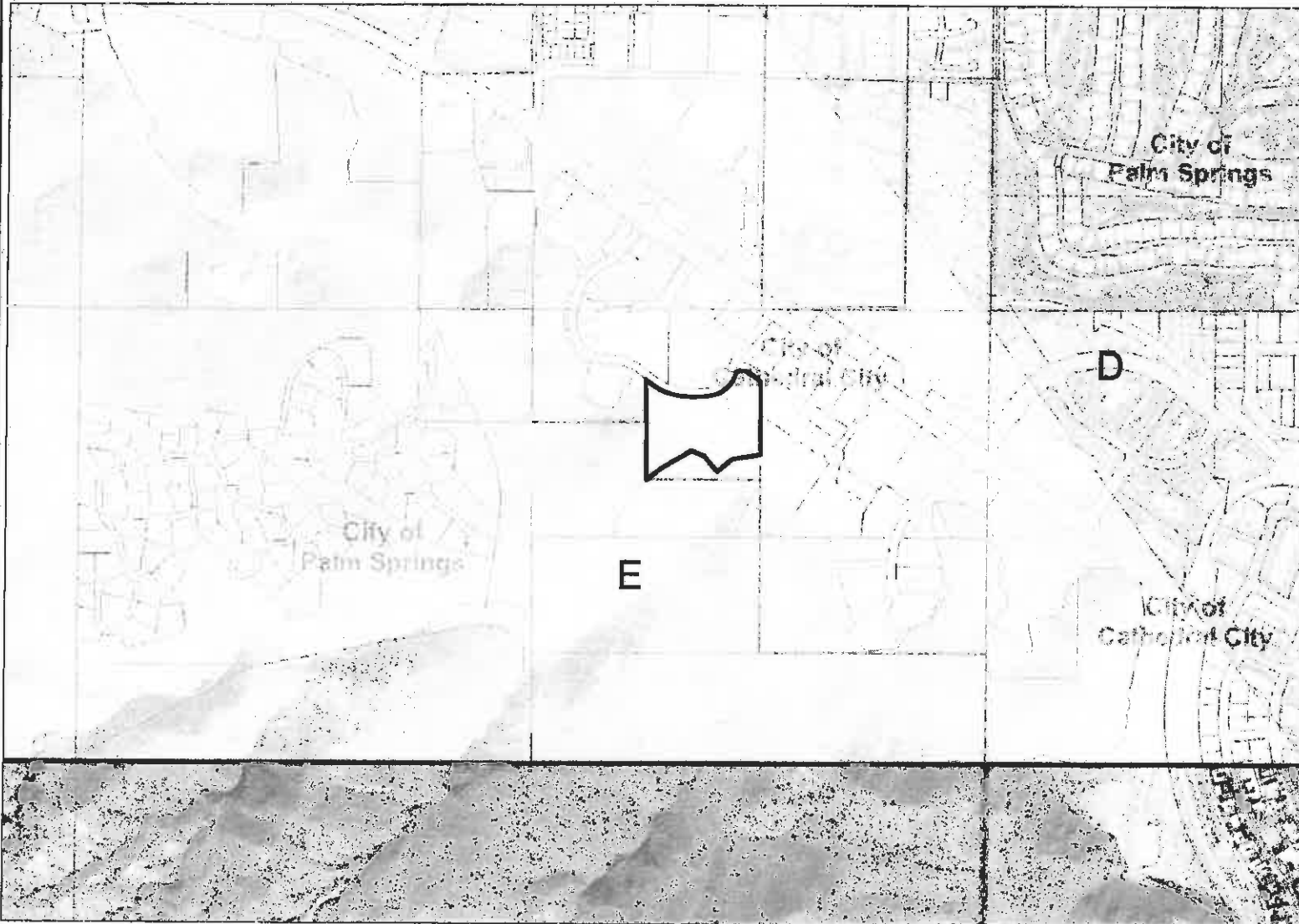
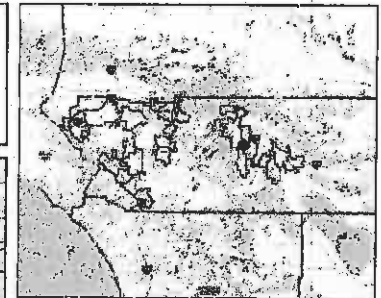
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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



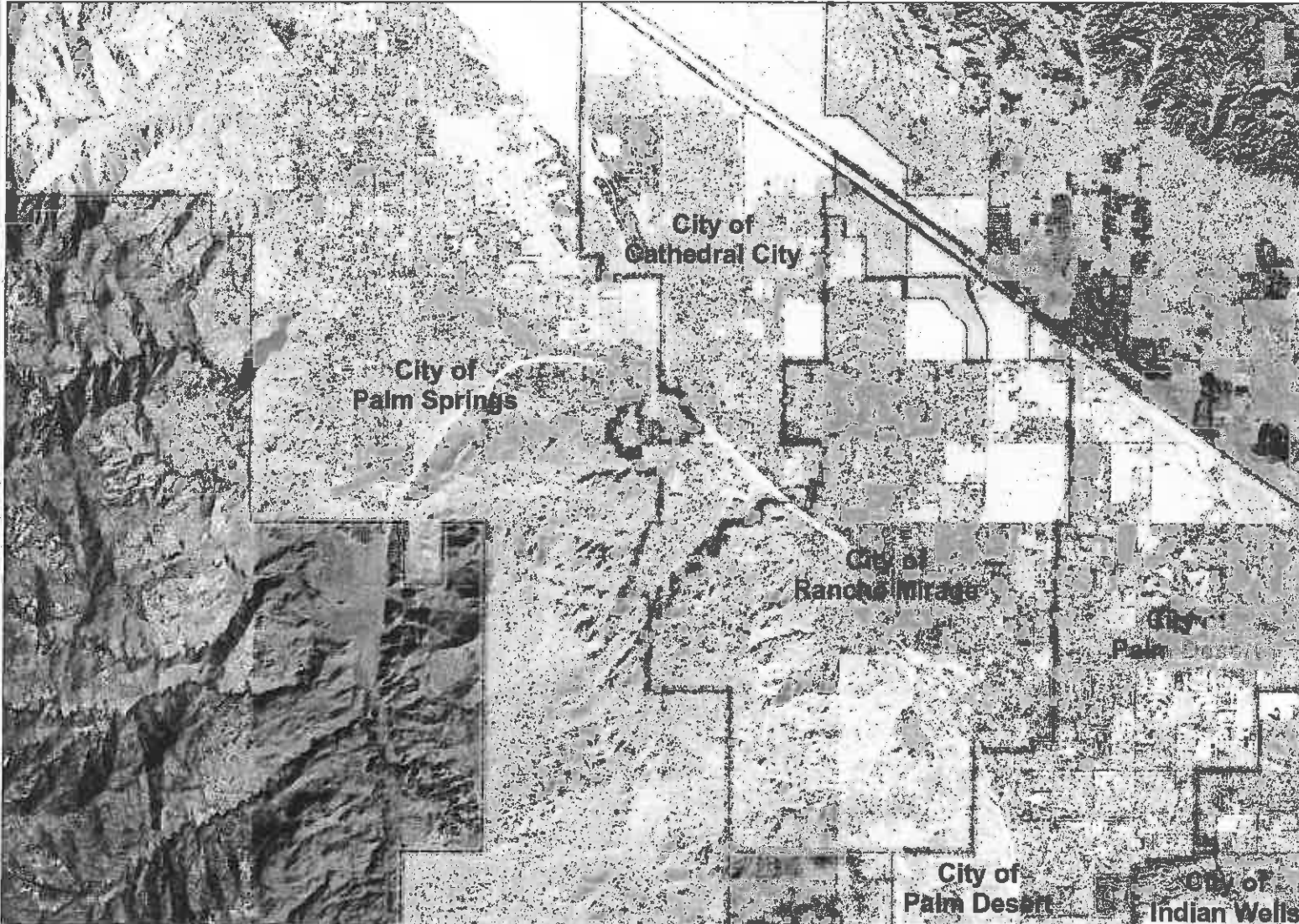
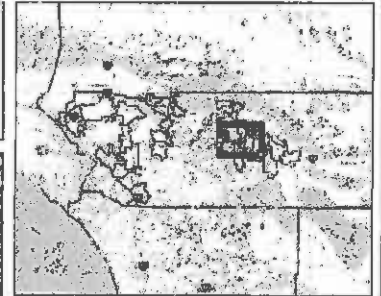
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Notes

My Map



Legend

-  City Boundaries
- Cities**
- adjacent_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
-  counties
-  cities



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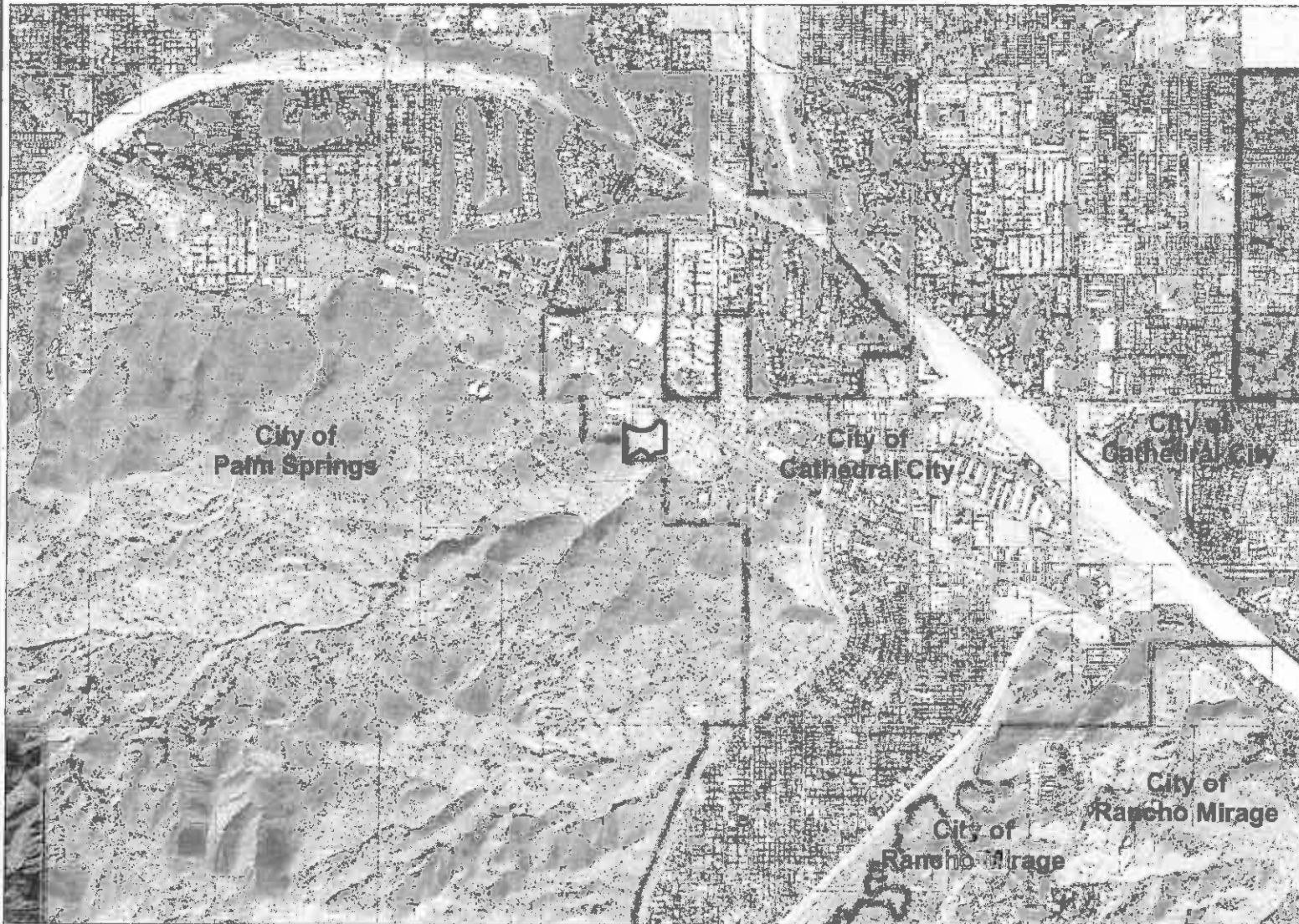
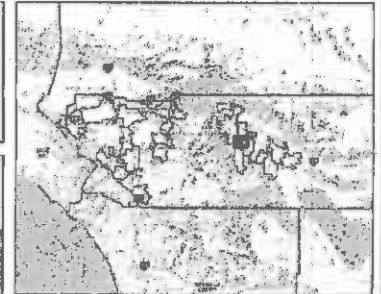
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roads**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



0 3,032 6,065 Feet



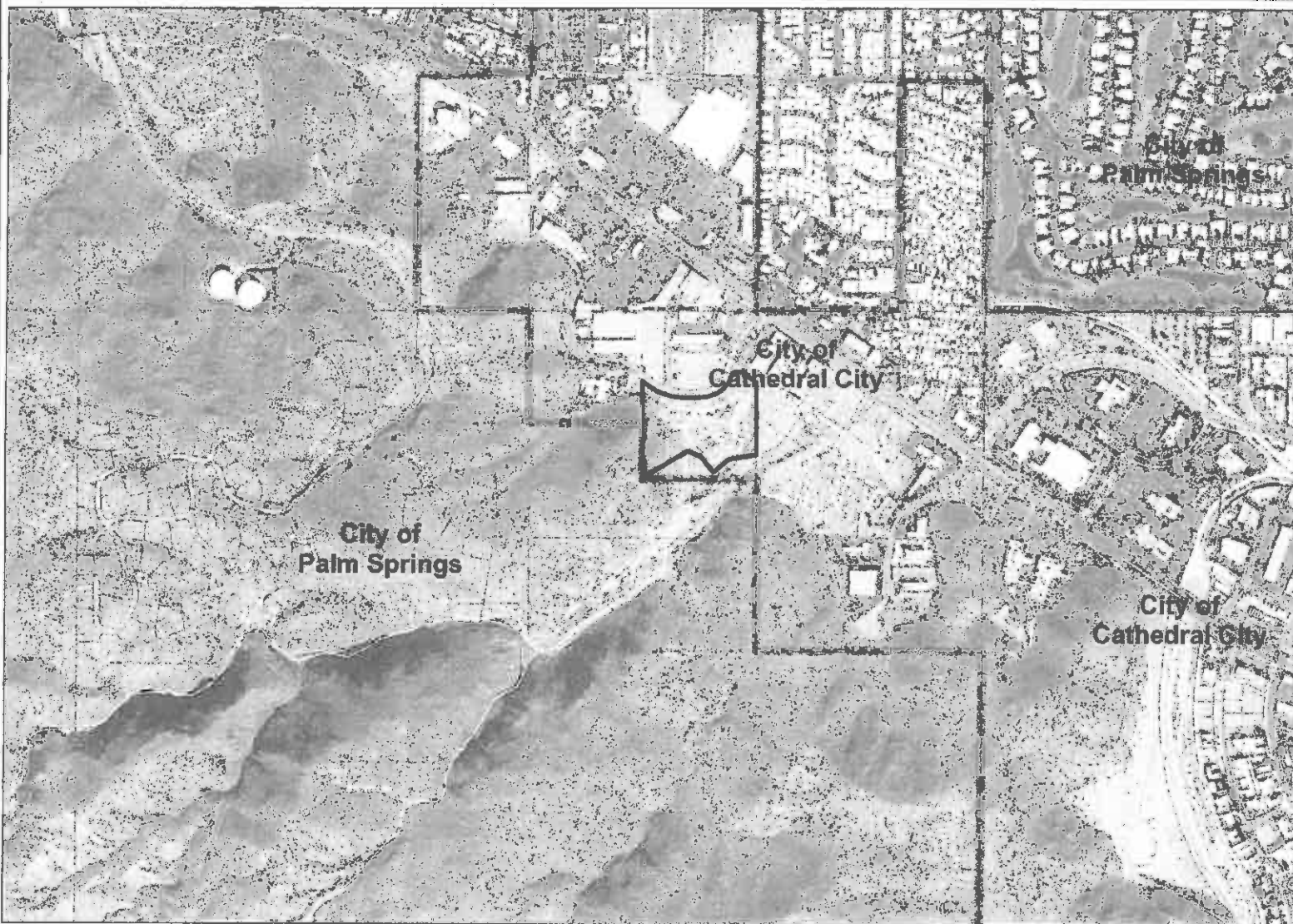
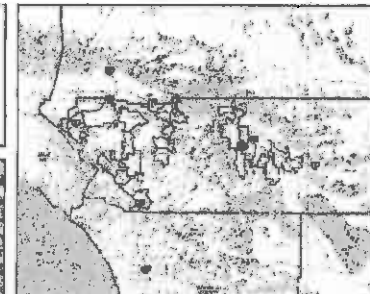
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,085 2,170 Feet



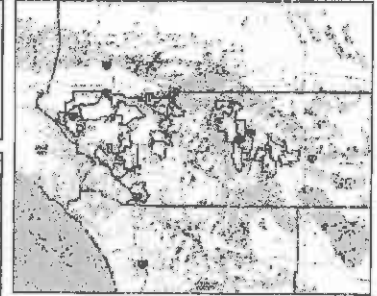
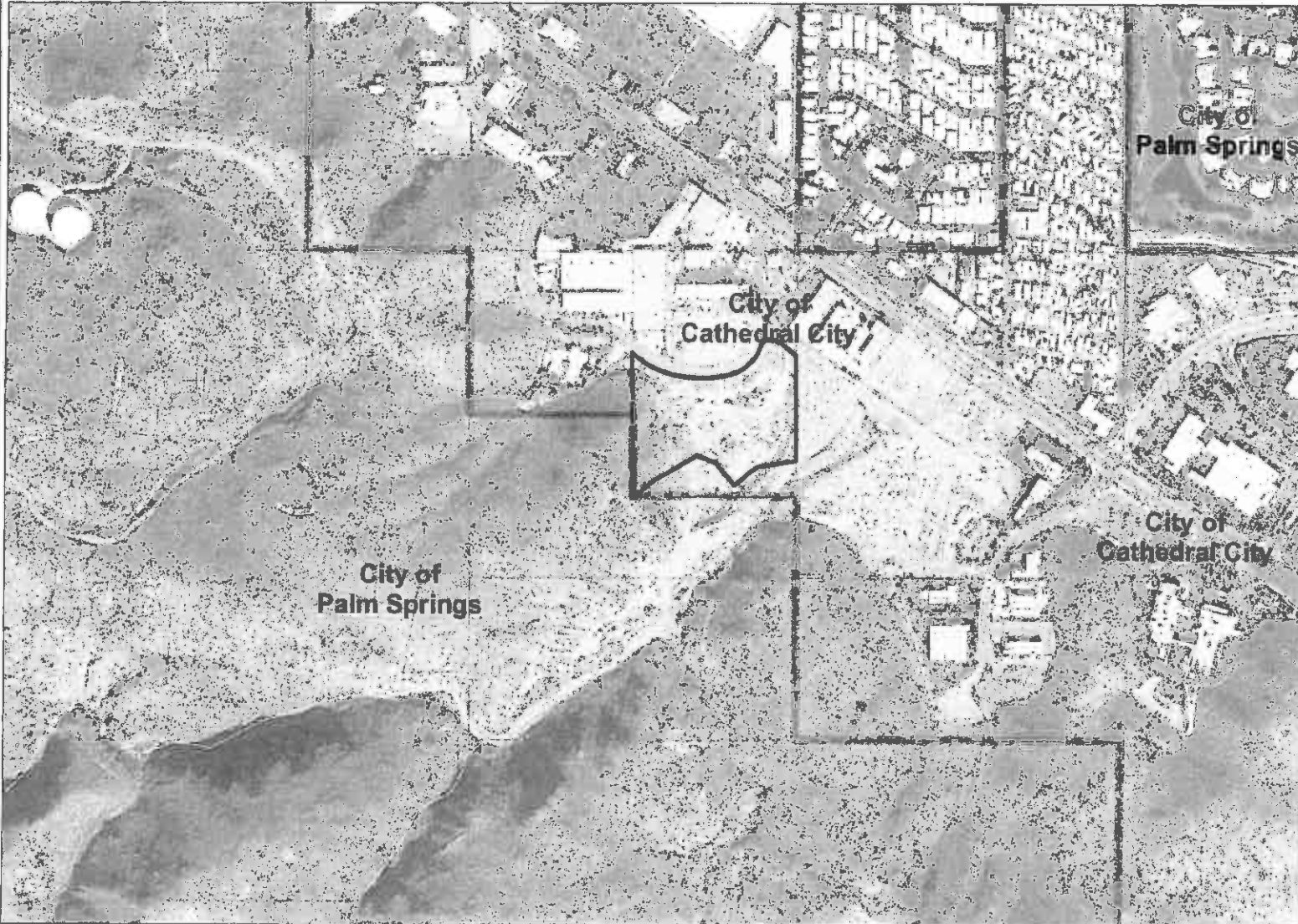
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 758 1,516 Feet



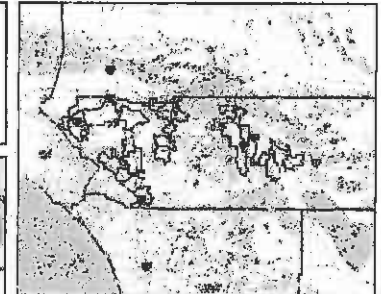
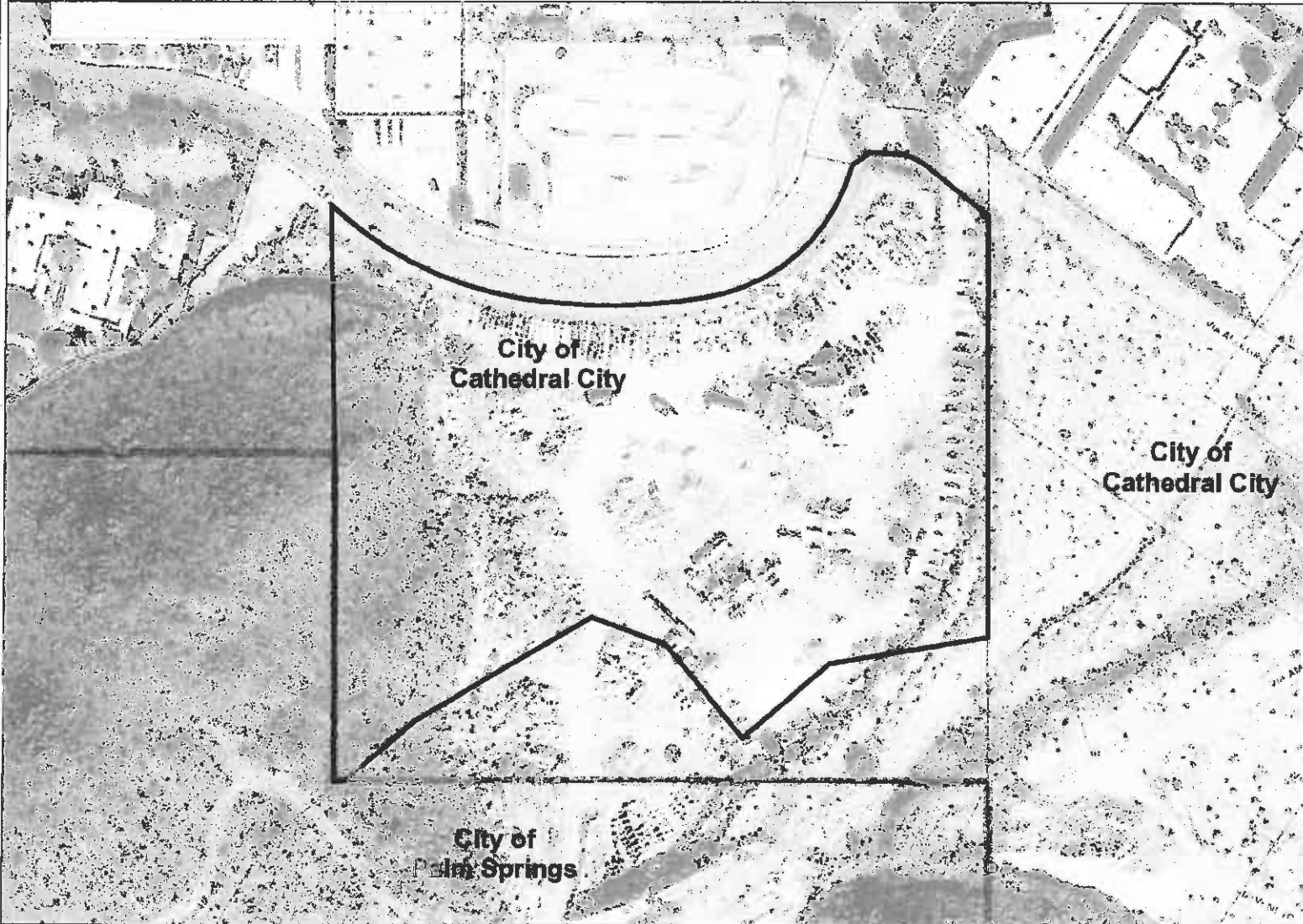
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 190 379 Feet



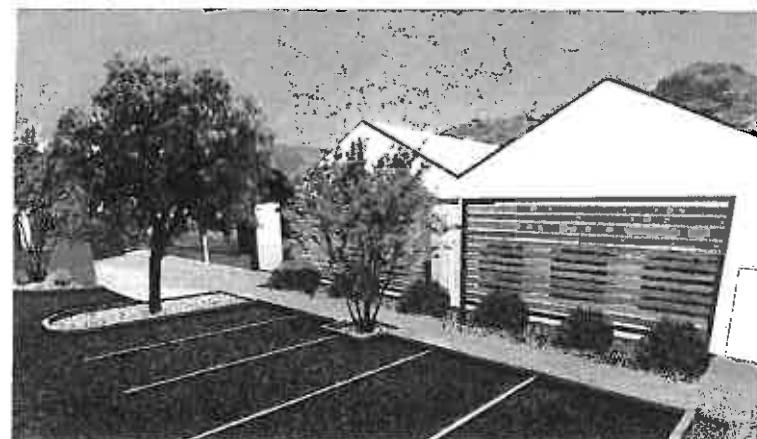
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Notes

IN THE CITY OF CATHEDRAL CITY, CALIFORNIA
GREENSCAPE L.L.C.
 CONDITIONAL USE PERMIT - PHASE 1



SHEET INDEX

- 1- CUP SITE PLAN - PHASE 1
- 2- ENLARGED SITE PLAN - PHASE 1
- 3- DEMOLITION SITE PLAN
- 4- DIMENSION SITE PLAN
- 5- PRELIMINARY GRADING PLAN
- A2.0 FLOOR PLAN - PHASE 1
- A2.1 ENLARGED FLOOR PLAN
- A3.0 WALL PLAN & ELEVATIONS
- A4.0 ROOF PLAN
- A5.0 EXTERIOR ELEVATIONS
- A6.0 SITE PHOTOS
- L1.0 LANDSCAPE PLAN



ALLEN H. SANBORN
 ARCHITECT



3-180 SAN JACINTO DR.
 SUITE 7
 RANCHO MESA, CA 92270
 TEL: (760) 475-0100
 FAX: (760) 475-0105

PROJECT TITLE:
ALCHEMY WORKS

68-587 Canyon Plaza
 Cathedral City, CA.

SHEET TITLE:
COVER

REVISIONS

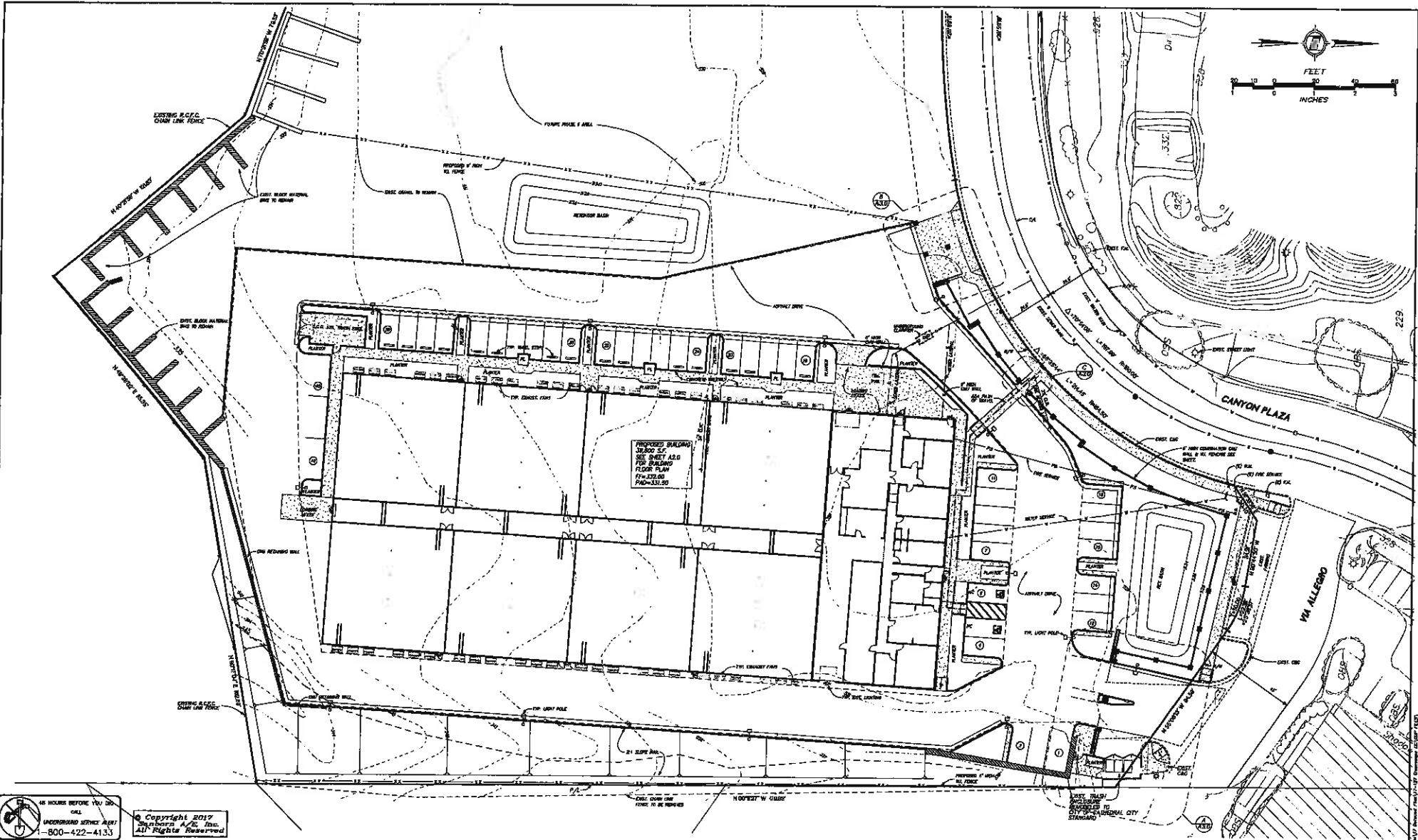
NO.	DESCRIPTION

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NO.	17-177	SCALE
FILE NAME	ALCO ELEVATIONS	
SAVE DATE	1/24/2009	
DRAWN	Allen Sanborn	
SHEET NO.		

C1.0



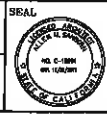
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 UNDERGROUND SERVICE ALERT
 1-800-422-4133

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REVISIONS
 NO. DATE BY
 1
 2
 3

DATE BY MARK APPROVED
 DRAWN BY A.M.S. DESIGNED BY K.A.C. CHECKED BY K.A.C.

APR: 607-910-029
 PROPERTY ADDRESS:
 78-507 CANYON PLAZA
 CATHRAL CITY, CA 92334



APPROVED BY: CITY OF CATHRAL CITY
 JOHN A. CORREIA, P.E. DATE
 R.E. NO. 04580
 PREPARED BY: ALLEN M. SANBORN, ARCHITECT & ASSOCIATES DATE

SCALE: 1"=20'-0"
 DATE: 1/24/2018
 PROPOSED: C.C. #185 ELEV. = 337.40
 BY THE AUTHOR OR BY AUTHORITY OF THE BOARD OF ARCHITECTS OF THE STATE OF CALIFORNIA OR BY THE BOARD OF PROFESSIONAL ENGINEERS OF THE STATE OF CALIFORNIA



CITY OF CATHRAL CITY
 ENLARGED SITE PLAN - PHASE I
 GREENSCAPE, LLC
 68-507 CANYON PLAZA
 APR: 887-510-029
 P.B. 17-127

DRAWING NO.
 SHEET NO. 2
 OF 5 SHEETS

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PROJECT TITLE:
ALCHEMYWORKS

48-581 Canyon Plaza
Cathedral City, CA.

SHEET TITLE:
EXTERIOR ELEVATIONS

REVISIONS

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S.D. 17-127 SCALE 1/8"=1'-0"

FILE NAME Add ELEVATIONS

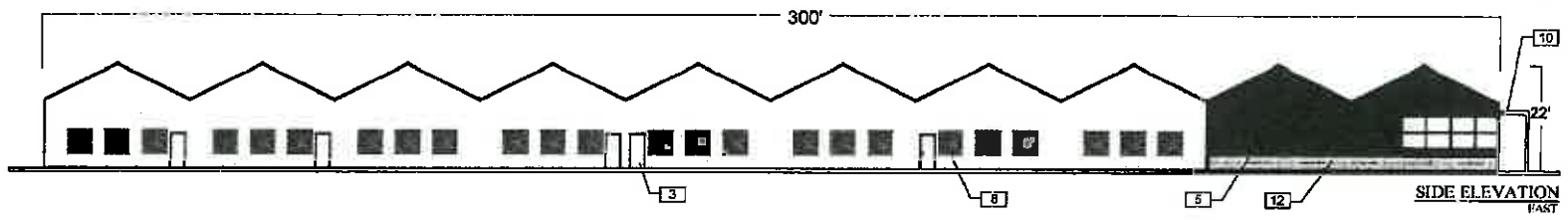
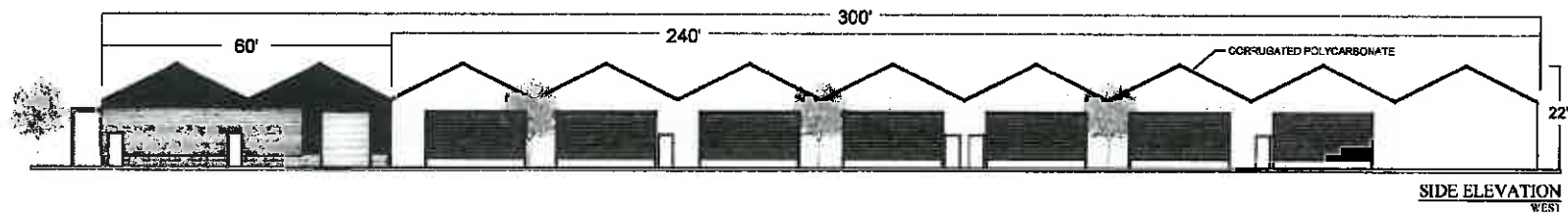
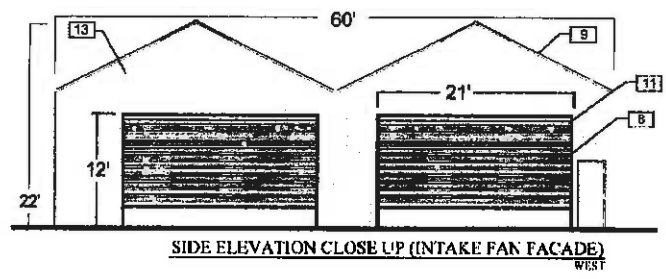
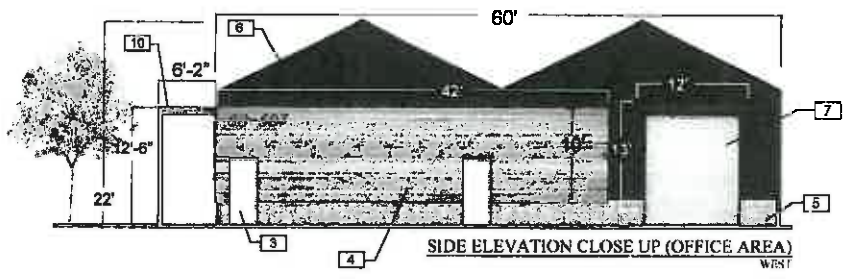
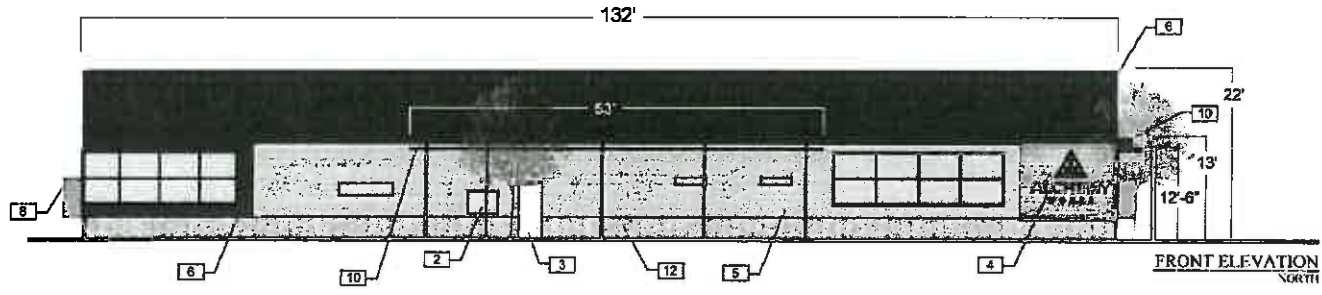
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DRAWN Allen Sanborn

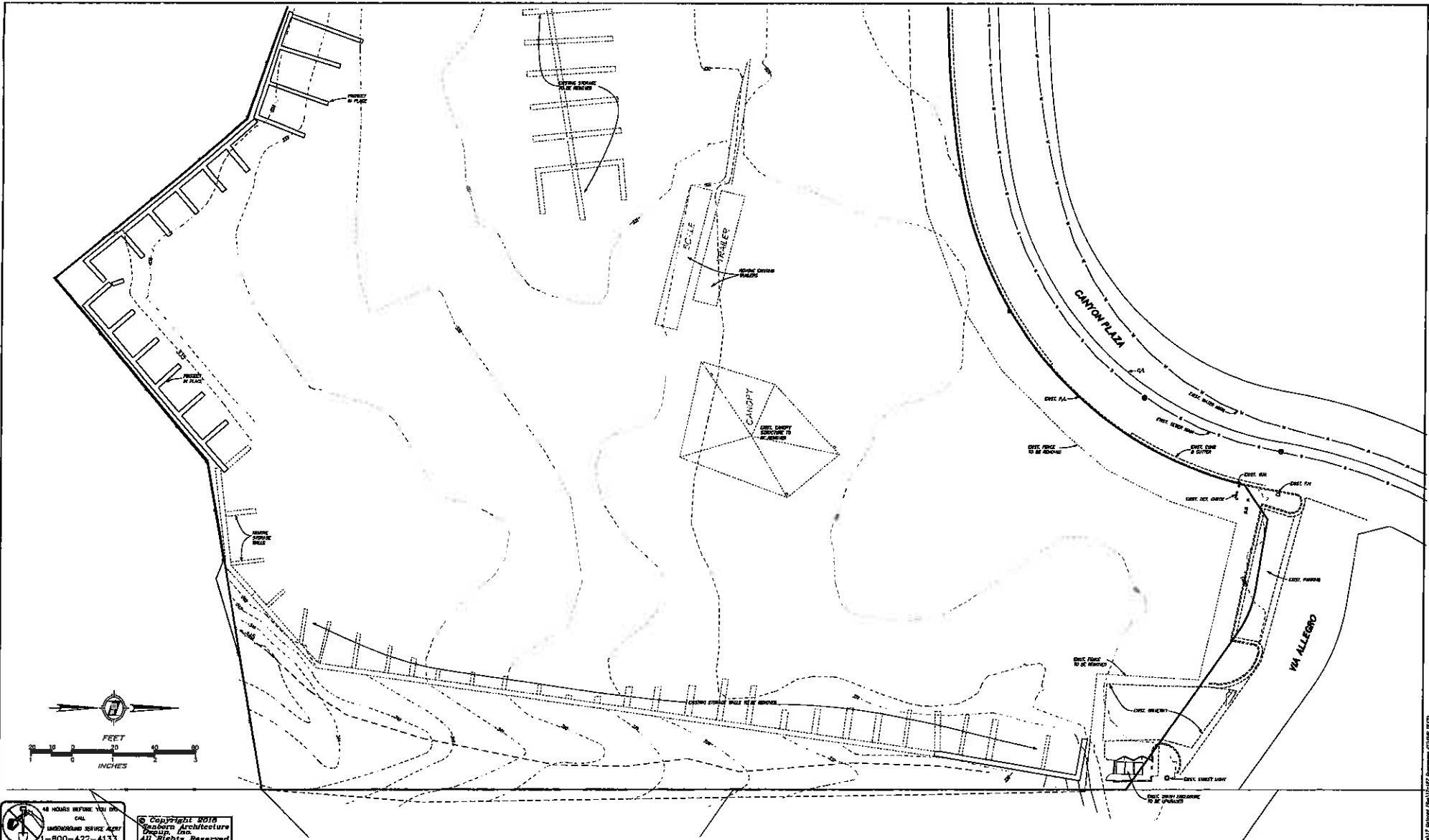
SHEET NO.

A5.0

- KEYNOTES**
1. 12' x 12' GARAGE DOOR
 2. BULLY PROOF WINDOW
 3. UTILITY STEEL DOOR
 4. LOGO SIGN & WOOD ACCENT
 5. PRO-PANEL II - ASH GREY (25)
 6. PRO-PANEL II - CHARCOAL (17)
 7. 10' x 12' GARAGE DOOR
 8. INTAKE FANS
 9. DYNA GLAS
 10. STEEL & WOOD AWNING
 11. INTAKE FANS FACADE
 12. MASONRY BLOCKS
 13. PRO-PANEL II - WHITE



BUILDING SECTION



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 UNIFORMED SERVICES UNIT
 1-800-422-4133

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PRIVATE DEMOLITION NOTIFICATION
 PROPERTY OWNER/OWNER'S AGENT: [Blank]
 PROJECT ADDRESS: [Blank]
 PROJECT PERMIT NO.: [Blank]
 PROJECT START DATE: [Blank]
 PROJECT END DATE: [Blank]
 PROJECT CONTACT: [Blank]
 PROJECT PHONE: [Blank]
 PROJECT FAX: [Blank]
 PROJECT EMAIL: [Blank]
 PROJECT WEBSITE: [Blank]
 PROJECT SOCIAL MEDIA: [Blank]
 PROJECT OTHER: [Blank]

DATE	BY	NAME	REVISIONS	APPR. DATE

APN: 687-510-029
 PROPERTY ADDRESS:
 68-587 CANYON PLAZA
 CATHEDRAL CITY, CA 92014



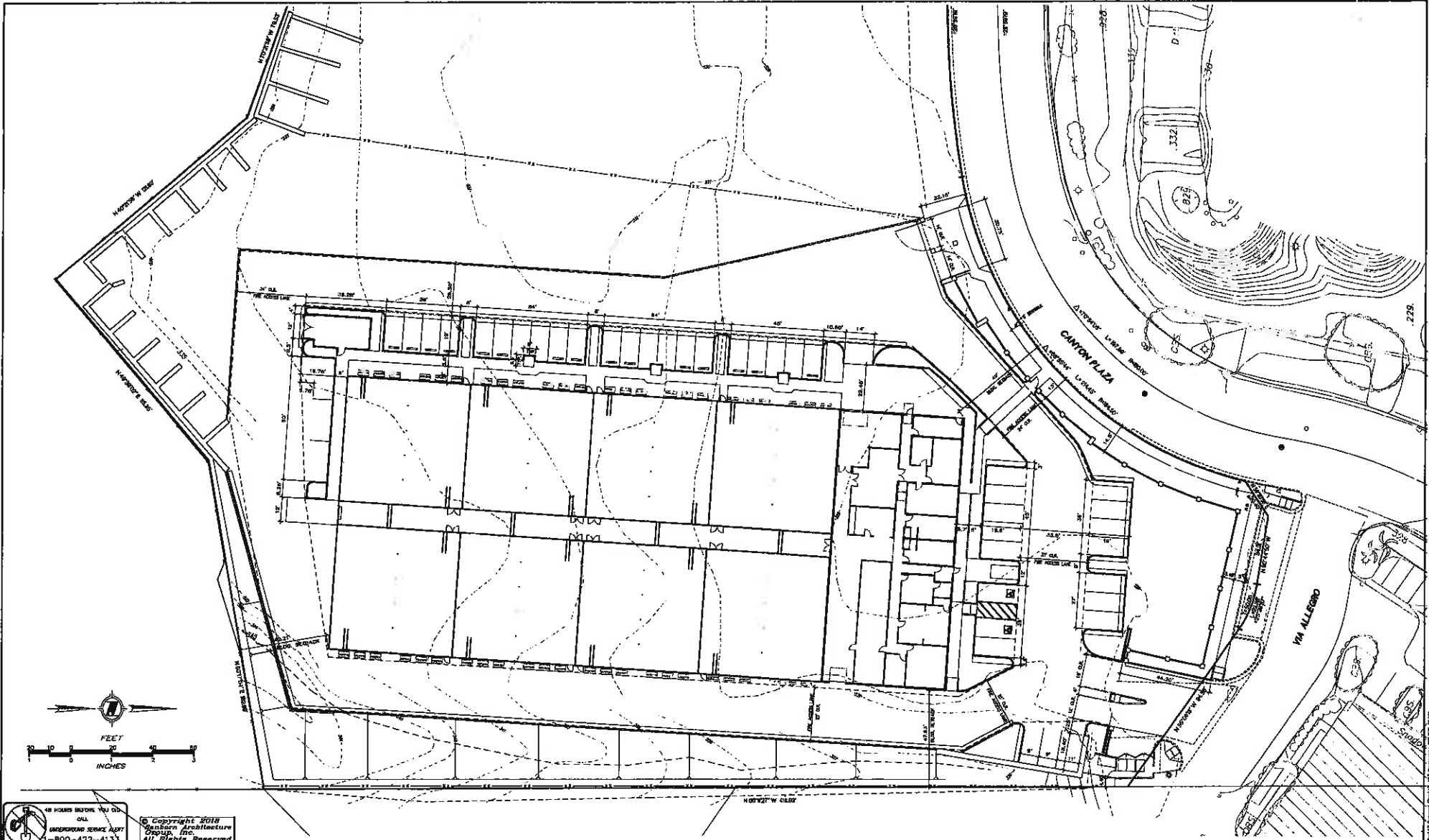
APPROVED BY: CITY OF CATHEDRAL CITY
 JOHN A. CORRELL, A.E. DATE: [Blank]
 PREPARED BY: ALLEN M. SANBORN, ARCHITECT DATE: [Blank]

SANBORN ARCHITECTURE GROUP, INC.
 7178 SAN JACINTO DR.
 RANCHO MIRAMonte, SUITE 200
 P.O. BOX 281-2800
 CATHEDRAL CITY, CA 92014
 TEL: (760) 328-2800
 FAX: (760) 328-2801
 WWW.SANBORNARCHITECTURE.COM

CITY OF CATHEDRAL CITY
DEMOLITION SITE PLAN
GREENSCAPE, LLC
 68-587 CANYON PLAZA
 APN: 687-510-029

DRAWING NO. [Blank]
 SHEET NO. **3**
 OF **5** SHEETS
 R.O. 17-127
 FOR GREENSCAPE L.L.C.

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CALL
UNDERGROUND SERVICE ALERT
1-800-422-4133

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PERMITS AND APPROVALS:
 ALL PERMITS AND APPROVALS MUST BE OBTAINED FROM THE CITY OF CATHEDRAL CITY. THE ARCHITECT AND ARCHITECTURAL GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT AND ARCHITECTURAL GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT AND ARCHITECTURAL GROUP SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DATE	BY	NAME	REVISIONS	APPR. DATE

APN: 657-510-029
 PROPERTY ADDRESS:
 65-587 CANYON PLAZA
 CATHEDRAL CITY, CA 92244



APPROVED BY: CITY OF CATHEDRAL CITY
 JOHN A. CORRELL, P.E. DATE
 S.E.C. MR. SAEED
 PREPARED BY: ALLEN M. SANBORN, ARCHITECT DATE
 C. LIND

SANBORN ARCHITECTURE GROUP, INC.
 17188 SAN JACINTO DR.
 RANCHO MIRAGE, CA 92703
 TEL (714) 483-5863
 FAX (714) 483-5863

SCALE: 1/8" = 1'-0"
 DATE: 1/24/2018
 PROJECT: C.C. #128 ELEV. = 327.40
 BY THE ARCHITECT OR ARCHITECTURAL GROUP OR BY THE ARCHITECT OR ARCHITECTURAL GROUP OR BY THE ARCHITECT OR ARCHITECTURAL GROUP



CITY OF CATHEDRAL CITY
 DIMENSION SITE PLAN
GREENSCAPE, L.L.C.
 66-587 CANYON PLAZA
 APN: 657-510-029

FOR GREENSCAPE L.L.C.
 F.B. 17-127
 W.O. 17-127
 DRAWING NO. SHEET NO. 4 OF 5 DATE

DATE PLOTTED: 1/24/2018 10:00 AM

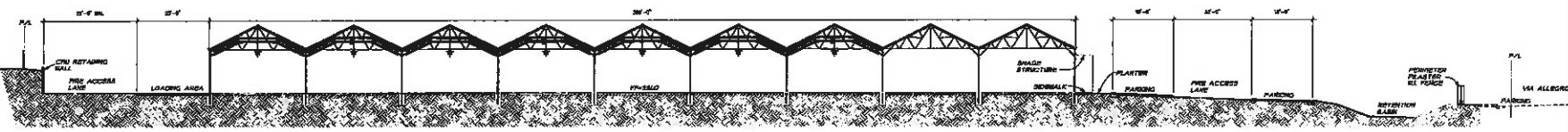


SANBORN
ARCHITECTURE
GROUP, Inc.

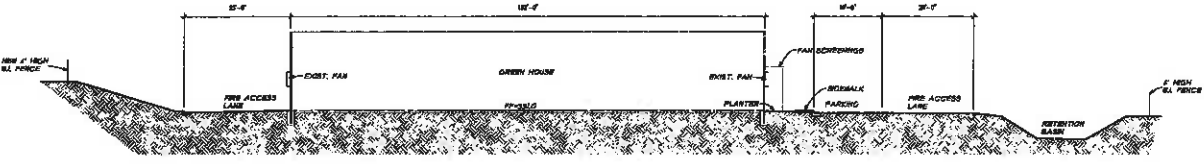
ALLEN M. SANBORN
ARCHITECT



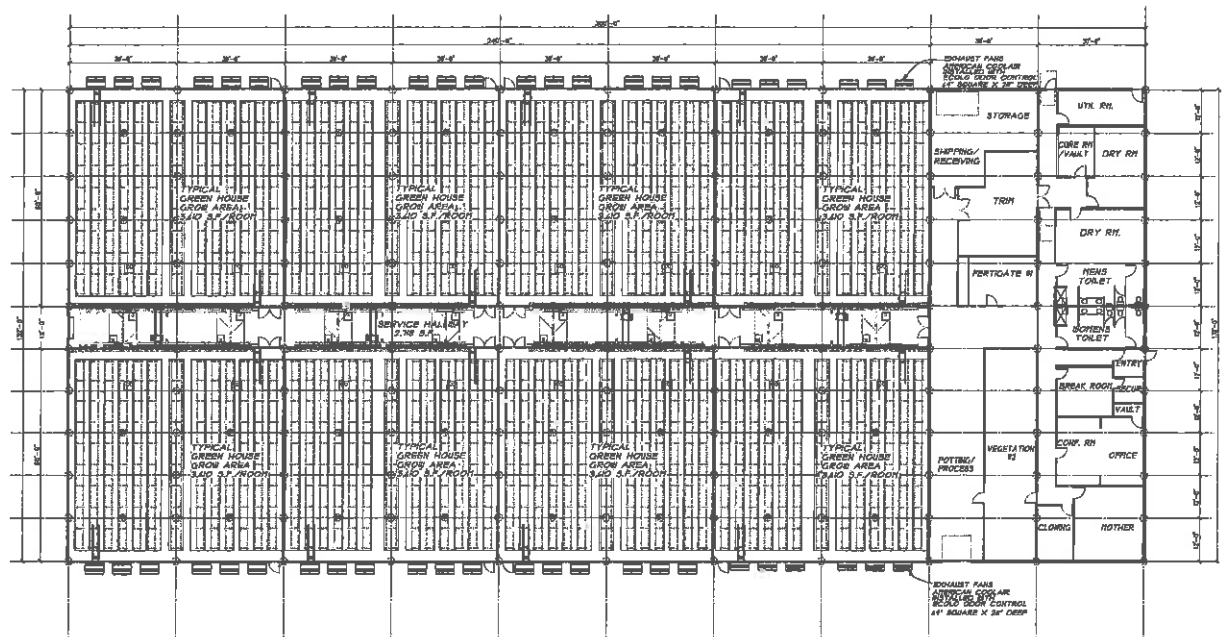
7-190 SAN JACINTO DR.
SUITE 201
RANCHO TRINIDAD, CA. 92210
TEL: (760) 428-0000
FAX: (760) 428-0003



NORTH-SOUTH SITE SECTION



EAST-WEST SITE SECTION



FLOOR PLAN

PROJECT TITLE:
**GREENSCAPE
ALCHEMY WORKS**

68-581 Canyon Plaza
Cathedral City, CA.

SHEET TITLE:
**SITE SECTIONS
PHASE I
FLOOR PLAN
PHASE I**

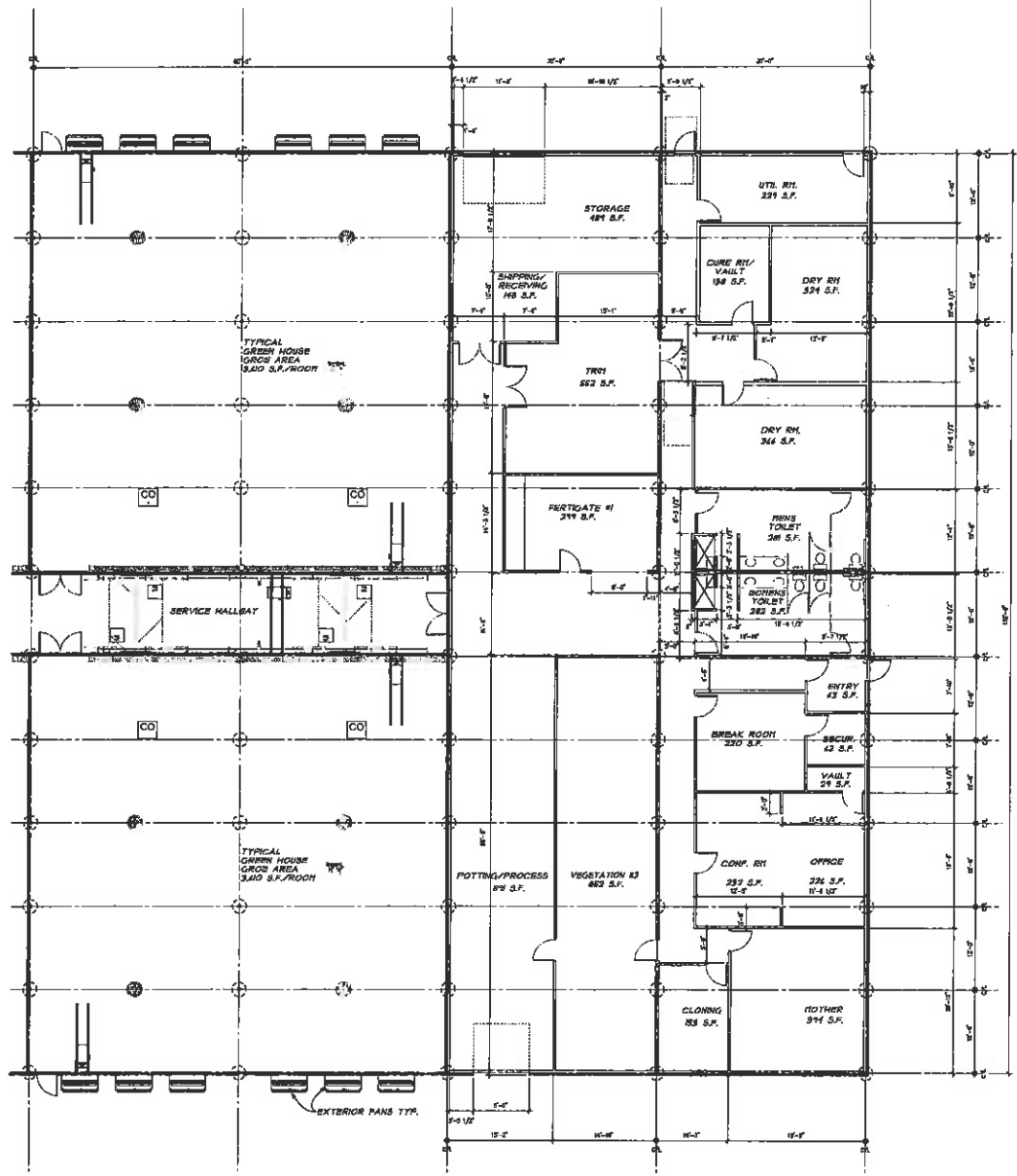
REVISIONS

NO.	DESCRIPTION

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S.D.	17-127	SCALE	1/8"=1'-0"
FILE NAME	ASO FLOOR PLANS		
SAVE DATE	1/24/2008		
DRAWN	Felpa		
SHEET NO.			

A2.0



ENLARGED FRONT OF HOUSE FLOOR PLAN



ALLEN M. SANBORN
ARCHITECT

REGISTERED ARCHITECT
ALLEN M. SANBORN
NO. 2-1628
EX. 107/283
STATE OF CALIFORNIA

3-100 SAN JACINTO DR.
RANCHO, CA.
RANCHO PRADO, CA. 92110
TEL (714) 423-0500
FAX (714) 423-0103

PROJECT TITLE:
**GREENSCAPE
ALCHEMY WORKS**

48-581 Canyon Plaza
Cathedral City, CA.

SHEET TITLE:
**ENLARGED
FLOOR PLANS-
PHASE I**

REVISIONS

NO.	DESCRIPTION

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NO. 17-127 SCALE 1/8"=1'-0"

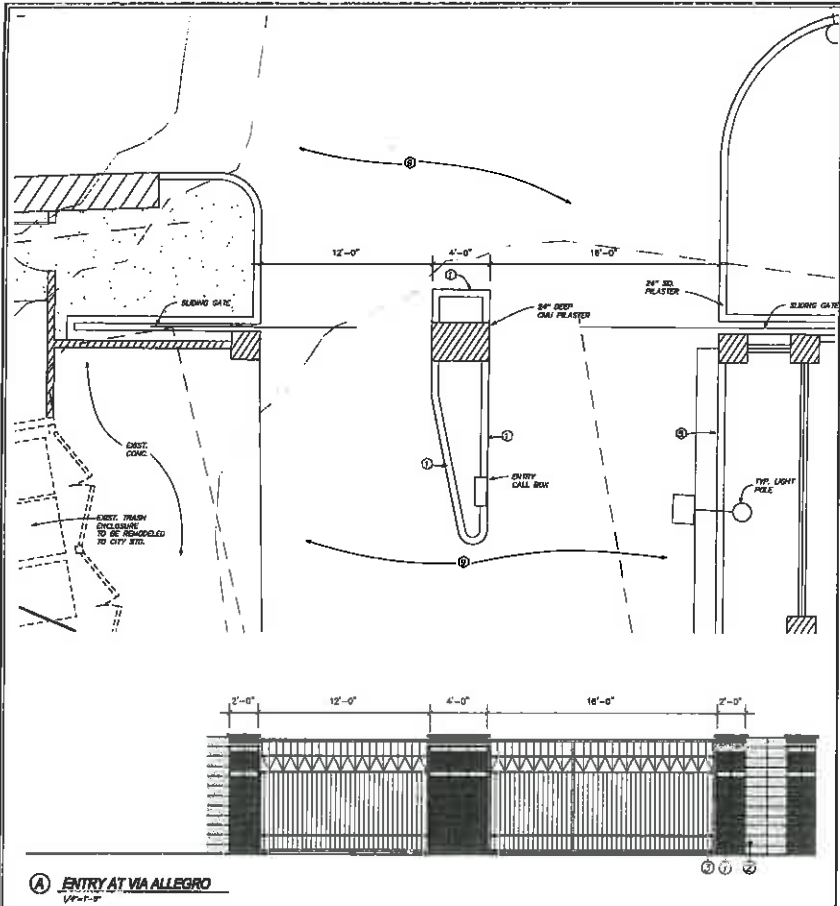
FILE NAME A30 FLOOR PLANS

SAVE DATE 1/23/2008

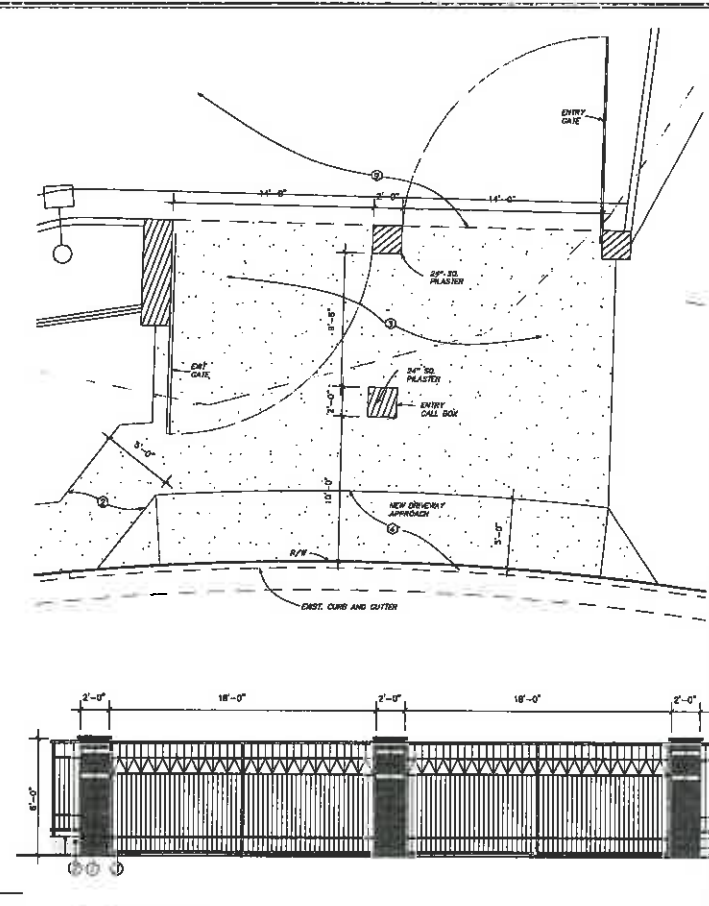
DRAWN Pappa

SHEET NO.

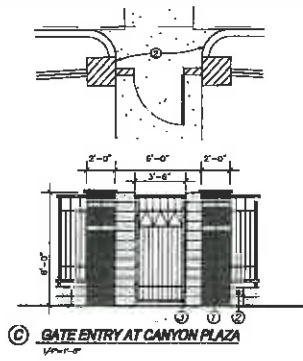
A2.1



A ENTRY AT VIA ALLEGRO
VPA-1-2



B ENTRY AT CANYON PLAZA
VPA-1-2

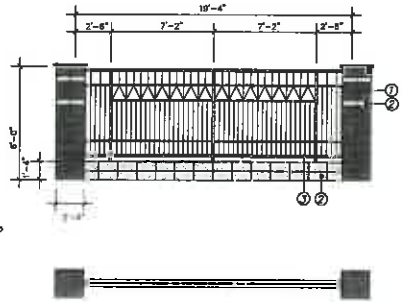


C GATE ENTRY AT CANYON PLAZA
VPA-1-2

- CONSTRUCTION NOTES**
1. CONSTRUCT 6" CURB TYPE "A" PER REV. CO. STD. SPEC. NO. 204
 2. CONSTRUCT 4" P.C.C. SLOPEWAY PER REV. CO. STD. SPEC. NO. 400
 3. CONSTRUCT 6" P.C.C. OVER 4" GLASS # AGGREGATE BASE OVER 12" SUBGRADE COMPACTED 95%
 4. CONSTRUCT P.C.C. DRIVEWAY PER REV. CO. STD. SPEC. NO. 306
 5. CONSTRUCT 6" CURB & GUTTER TYPE "A" PER REV. CO. STD. SPEC. NO. 201
 6. INSTALL 6" STORM DRAIN PVC PIPE
 7. INSTALL 6" GRAVEL BASE
 8. INSTALL 6" SO. CATCH BASIN
 9. INSTALL 3" ASPHALT OVER 4" GLASS # AGGREGATE BASE OVER 12" SUBGRADE COMPACTED 95%
 10. ADJUST TO GRADE

MATERIALS LEGEND:

- 1 DRID BLOCK BLACK 300 SURFACE
- 2 DRID BLOCK GREY 100 PRECISON
- 3 ALL FINISHING EDWIN EDWARDS DIV 777 - MEADOWOOD



D TYPICAL PERIMETER WALL
VPA-1-2



ALLEN H. SANBORN ARCHITECT

REGISTERED ARCHITECT
ALLEN H. SANBORN
NO. C-10881
EXP. 12/31/2017
STATE OF CALIFORNIA

11780 SAN JACINTO DR.
SUITE 101
RANCHO TRIRAGE, CA. 92370
TEL (760) 793-0100
FAX (760) 325-0103

PROJECT TITLE:
**GREENSCAPE
ALCHEMY WORKS**

68-587 Canyon Plaza
Cathedral City, CA.

SHEET TITLE:
**WALL PLANS
& ELEVATIONS**

REVISIONS

NO.	DESCRIPTION

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S.O. 17-127 SCALE 1/4"=1'-0"

FILE NAME: WALL DETAILS

SAVE DATE: 1/24/2018

DRAWN: Allen Sanborn

SHEET NO.

A3.0



ALLEN N. SANBORN
ARCHITECT

REGISTERED ARCHITECT
ALLEN N. SANBORN
NO. C-10991
EXP. 12/31/2017
STATE OF CALIFORNIA

71-180 SAN JACINTO DR.
BLDG. 10
RANCHO TRINIDAD, CA. 92210
TEL (760) 435-0100
FAX (760) 433-0103

PROJECT TITLE:
ALCHEMY WORKS

48-587 Canyon Plaza
Cathedral City, CA.

SHEET TITLE:
ROOF PLAN

REVISIONS

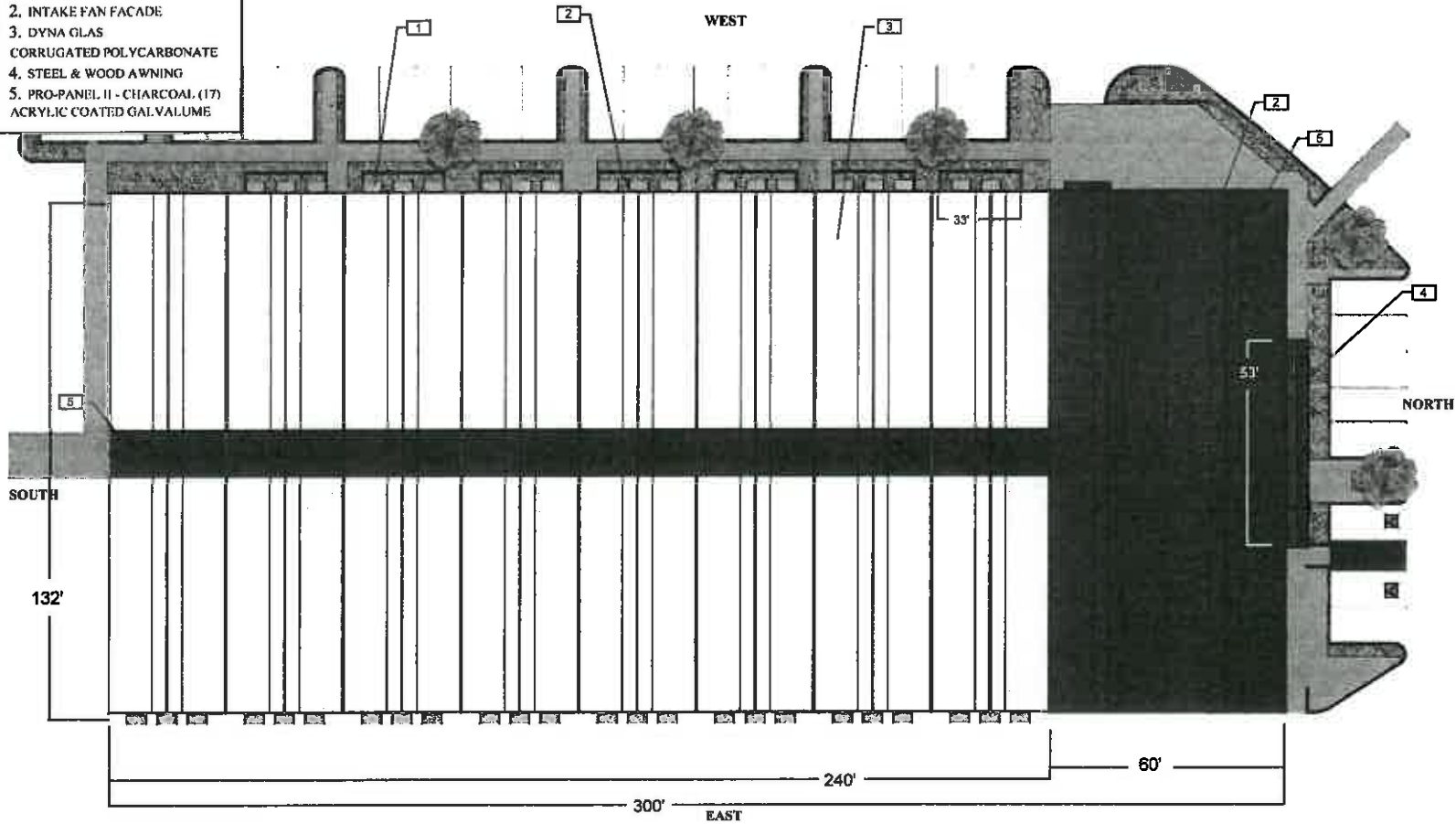
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S.G. 17-127 SCALE 1/16"=1'-0"
FILE NAME A40 ELEVATIONS
SAVE DATE 1/24/2018
DRAWN Allen Sanborn
SHEET NO.

A4.0

- KEYNOTES**
1. INTAKE FANS
 2. INTAKE FAN FACADE
 3. DYNA GLAS CORRUGATED POLYCARBONATE
 4. STEEL & WOOD AWNING
 5. PRO-PANEL II - CHARCOAL (17) ACRYLIC COATED GAL. VALUME



PLAN VIEW
ALCHEMY WORKS

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



March 8, 2018

**CHAIR
VACANCY**

Mr. H. P. Kang, Principal Planner
City of Hemet Community Development Department – Planning Division
445 E. Florida Avenue
Hemet CA 92543

**VICE CHAIRMAN
Steve Manos
Lake Elsinore**

COMMISSIONERS

**Arthur Butler
Riverside**

**John Lyon
Riverside**

**Glen Holmes
Hemet**

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1052HR18
Related File No.: SDR18-002 (Site Development Review)
APN: 446-290-015

**Russell Betts
Desert Hot Springs**

Dear Mr. Kang:

**Steven Stewart
Palm Springs**

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Hemet Case No. SDR18-002 (Site Development Review), a proposal to construct a 7,381 square foot retail building for sales of automobile parts and supplies (Auto Zone) on a 0.97-acre lot located on the northerly side of Stetson Avenue, opposite its intersection with Sapphire Place (which does not extend northerly of Stetson Avenue), easterly of Gilbert Street and westerly of State Street.

STAFF

**Director
Simon A. Housman**

**John Guerin
Paul Rull
Barbara Santos**

The site is located within Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area (AIA). Within Compatibility Zone E of the Hemet-Ryan Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 5-23 at its existing northeasterly terminus is approximately 1,508 feet above mean sea level (AMSL). At a distance of approximately 12,870 feet from the existing northeasterly terminus of the runway (and 12,370 square feet from the future northeasterly terminus), FAA review would be required for any structures with top of roof exceeding 1,631 feet AMSL. The site elevation is 1,585 feet AMSL, and the proposed building has a maximum height of 25 feet, for a maximum top point elevation of 1,610 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

www.rcaluc.org

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, provided that the City of Hemet applies the following recommended conditions:

County Administrative Center
4080 Larron St., 14th Floor
Riverside, CA 92501
(951) 955-5132

AIRPORT LAND USE COMMISSION

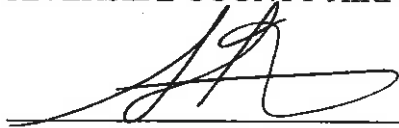
CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and to any tenants or lessees of the proposed structure.
4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The maximum height of the proposed structure shall not exceed 46 feet, and the maximum elevation at top point (including all roof-mounted equipment) shall not exceed 1,631 feet above mean sea level, unless the Federal Aviation Administration Obstruction Evaluation Service conducts an aeronautical study and issues a "Determination of No Hazard to Air Navigation."

If you have any questions, please contact John Guerin, ALUC Principal Planner, at (951) 955-0982.

AIRPORT LAND USE COMMISSION

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

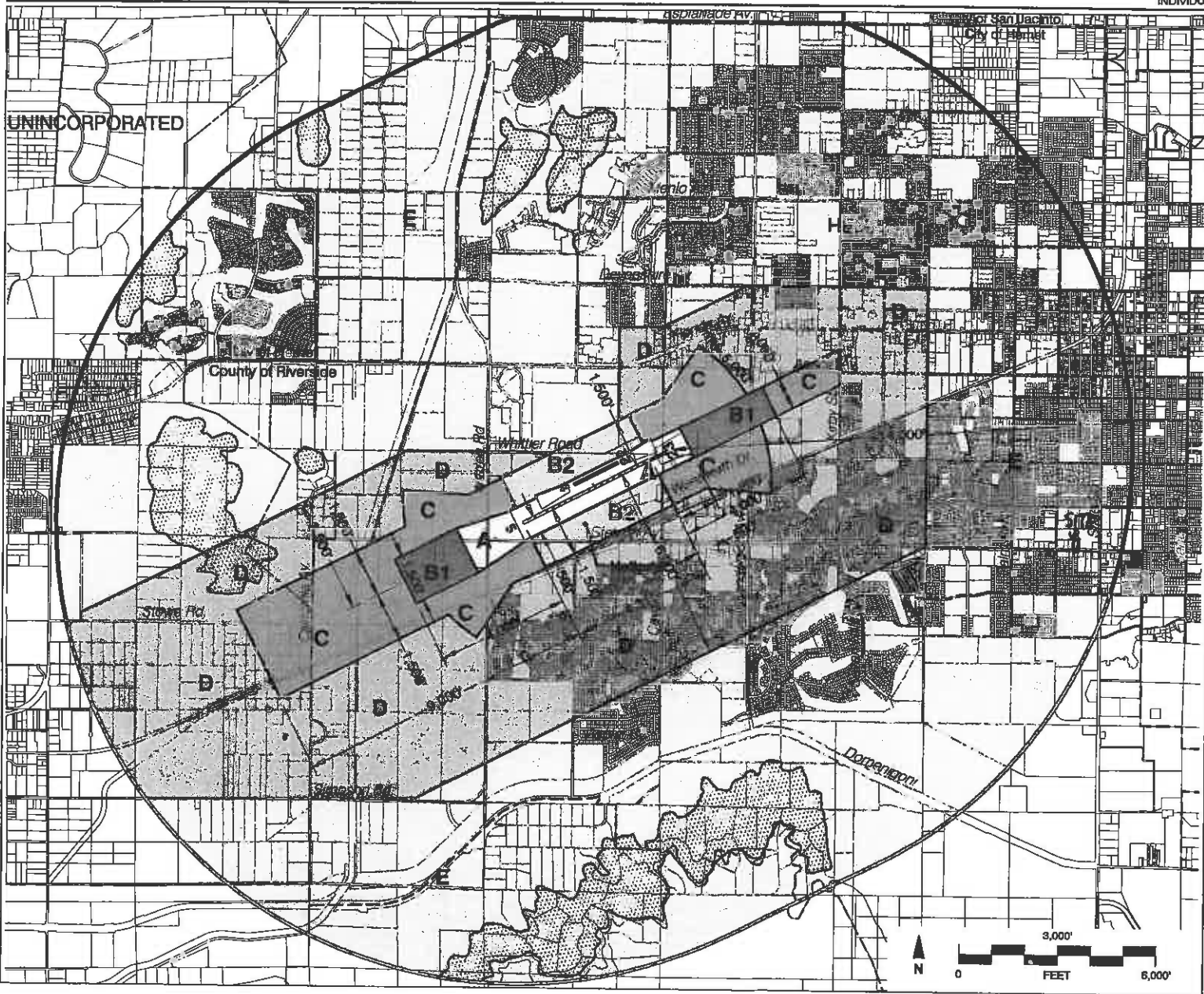
Attachment: Notice of Airport in Vicinity

cc: Auto Zone (Memphis TN) (applicant/fee payer)
Jacob Glaze, Kimley-Horn Associates (Orange CA) (representative)
Juanita C. Fernandez (property owner)
Vince Yzaguirre, Riverside County Economic Development Agency – Aviation Division
ALUC Case File

Y:\AIRPORT CASE FILES\Hemet- Ryan\ZAP1052HR18\ZAP1052HR18LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

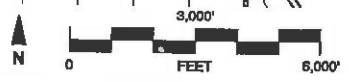
- Boundary Lines**
- Airport Property Line
 - City Limits
 - City Sphere of Influence

Note
 Airport Influence Area boundary measured from a point 200 feet beyond ends of proposed future 4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of existing 4,815 foot runway.

Riverside County
 Airport Land Use Commission
Hemet-Ryan Airport
 Land Use Compatibility Plan
 (Adopted February 9, 2017)

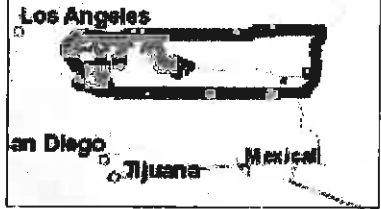
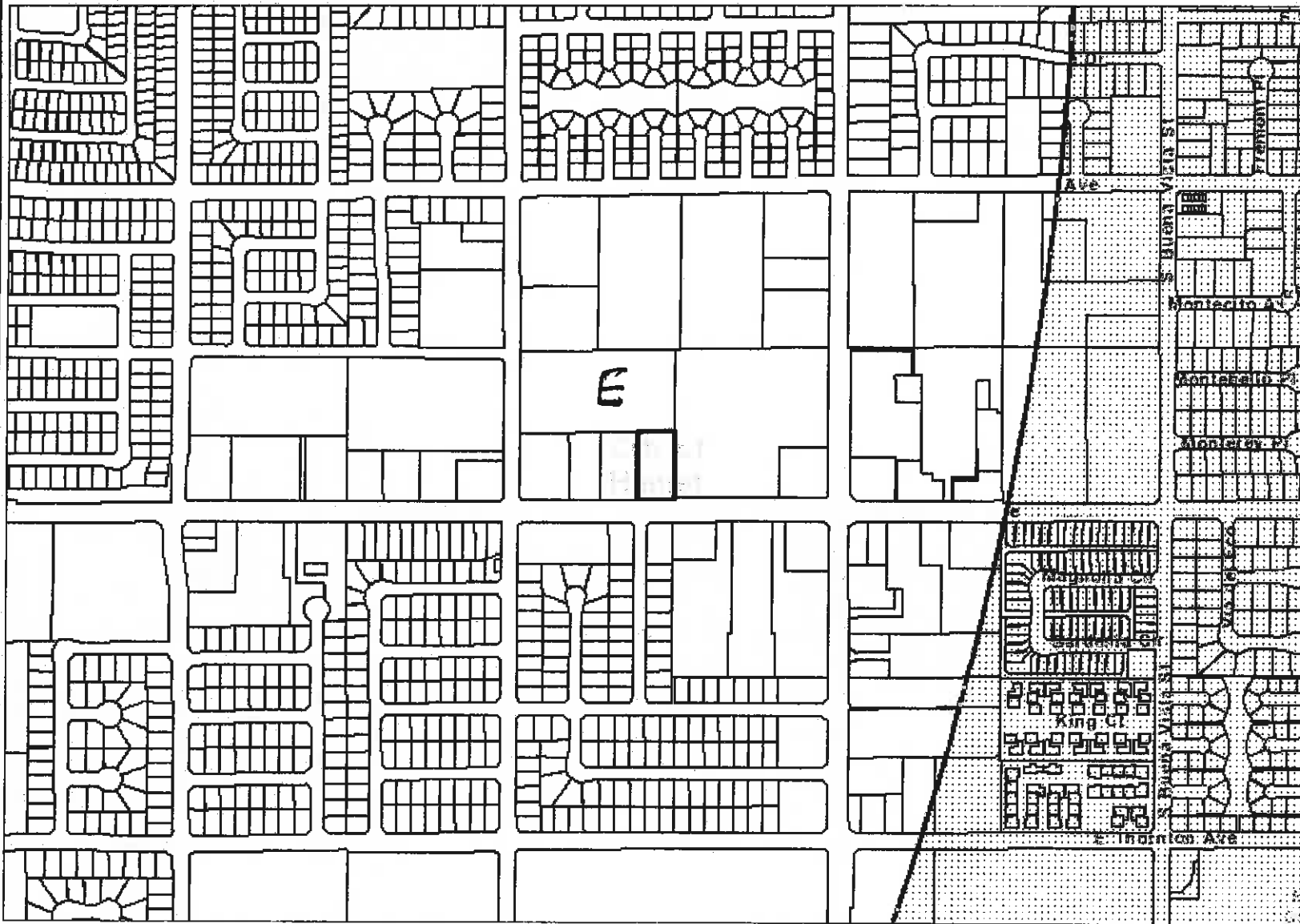
Map HR-1

Compatibility Map
 Hemet-Ryan Airport



X:\1816010\115826.dwg (115826.dwg) - compatibility 2016.dwg Feb 23, 2017 - 10:47 am

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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0 752 1,505 Feet

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Notes



AUTOZONE HEMET VICINITY MAP

N.T.S.



Kimley»Horn
© 2008 Kimley-Horn and Associates, Inc.
 716 3rd City Drive
 Eugene, OR 97401

Map My County Map



Legend

- Runways
- ▣ Airports
- ▣ Airport Influence Areas
- Blueline Streams
- ▣ City Areas
- World Street Map



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Notes

Map My County Map



Legend

- Runways
- ▣ Airports
- ▣ Airport Influence Areas
- Blueline Streams
- ▣ City Areas
- World Street Map



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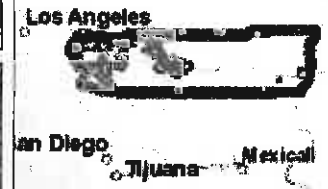
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505

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Notes

Map My County Map



Legend

-  Parcels
-  Runways
-  Airports
-  Airport Influence Areas
-  Blueline Streams
-  City Areas
-  World Street Map



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0 752 1,505 Feet

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Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Blueline Streams
- City Areas
- World Street Map



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0 376 752 Feet

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Notes

Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Blueline Streams
 - City Areas
 - World Street Map



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Notes

Map My County Map



Legend

-  Parcels
-  Runways
-  Airports
-  Airport Influence Areas
-  Blueline Streams
-  City Areas
-  World Street Map



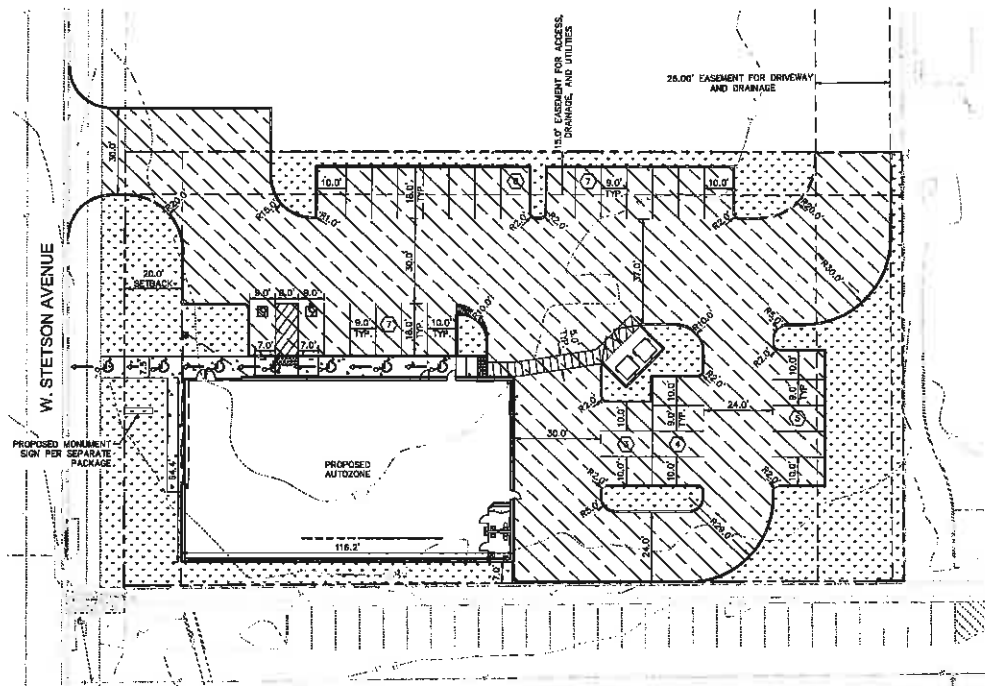
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0 94 188 Feet

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Notes



LEGEND

	LEASE LINE
	BEARING RETRAIL LINE
	EASEMENT LINE
	NECESSARY DRIVE LOCKDOWN PERMITTED ONLY ON HOT PAVEMENT
	NECESSARY PARKING SPACE
	NUMBER OF PARKING SPACES
	ASPHALT PAVING
	CONCRETE SIDEWALK
	LANDSCAPING SEE CONCEPTUAL LANDSCAPE PLAN

DATA SUMMARY

ZONING DISTRICT:	COMMERCIAL (C-1)	
LAND USE:	COMMERCIAL	
FLOOD ZONE:	ZONE X - AREA OF 0.2% ANNUAL CHANCE FLOOD FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD	
LEASE COVERAGE		
TOTAL SITE AREA:	40,947 S.F.	100%
BUILDING AREA:	7,381 S.F.	18.1%
IMPERVIOUS AREA:	22,358 S.F.	55.3%
LANDSCAPE AREA:	10,978 S.F.	26.6%
FLOOR AREA RATIO:		18.1%

MIN. SIDEWALK WIDTH	20.0'
MIN. DRIVEWAY WIDTH	N/A
MIN. DRIVEWAY CLEARANCE	N/A
MIN. DRIVEWAY CLEARANCE	N/A

PARKING SUMMARY

PARKING REQUIREMENTS: (7,381 S.F. + 4 STALL (1,000 S.F.) = 30 STALLS REQUIRED PER CITY CODE
ADA PARKING FOR 25-50 PARKING STALLS = 2 ADA PARKING STALLS REQUIRED PER CALIFORNIA BUILDING CODE

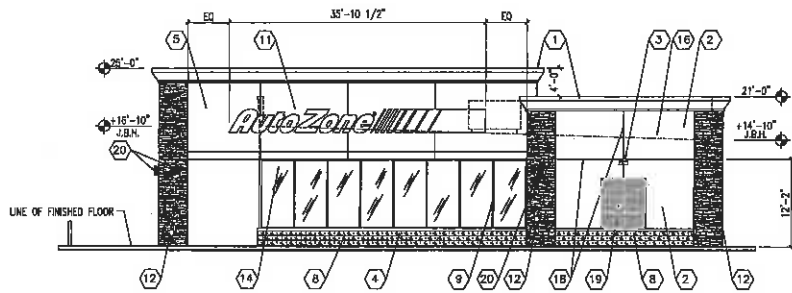
ASPHALT PAVING	22,358 S.F.	55.3%
CONCRETE SIDEWALK	10,978 S.F.	26.6%
LANDSCAPING	10,978 S.F.	26.6%

AUTOZONE - HEMET OVERALL CONCEPTUAL SITE PLAN - 12/15/17

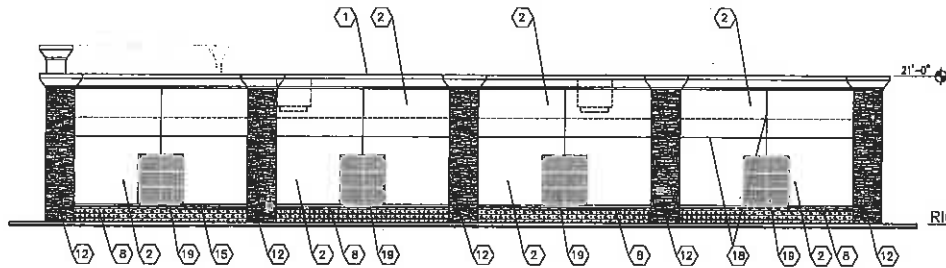
Kimley»Horn

© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
785 W. CITY DRIVE, SUITE 200, DUNSMITH, CALIFORNIA 92526
PHONE: 714-703-3374

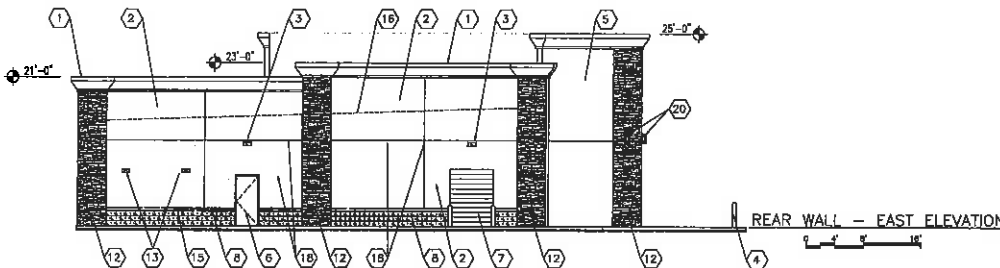
© CONCRETE AUTO



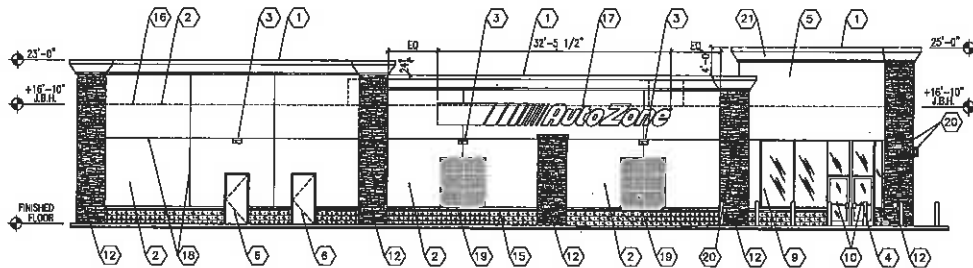
FRONT WALL - WEST ELEVATION



RIGHT SIDE WALL - SOUTH ELEVATION



REAR WALL - EAST ELEVATION



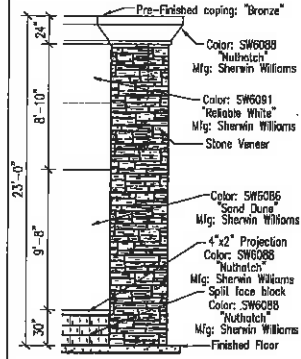
LEFT SIDE WALL - NORTH ELEVATION



⊕ J.B.H. = JOIST BEARING HEIGHT

- 1 TWO PIECE COMPRESSION TRIM SEE DETAIL 4/AM. COLOR DARK BRONZE
- 2 SMOOTH FACE CONCRETE MASONRY UNITS W/ STUCCO FINISH. SEE WALL COLOR SCHEME THIS SHEET.
- 3 WALL MOUNTED LIGHT FIXTURE
- 4 PIPE ELBOW WITH RED SLEEVE
- 5 1\"/>

2 ELEVATION KEY NOTES



3 EXTERIOR WALL COLOR SCHEME

REVISIONS	
1	REV1
2	REV2
3	REV3
4	REV4
5	REV5
6	REV6

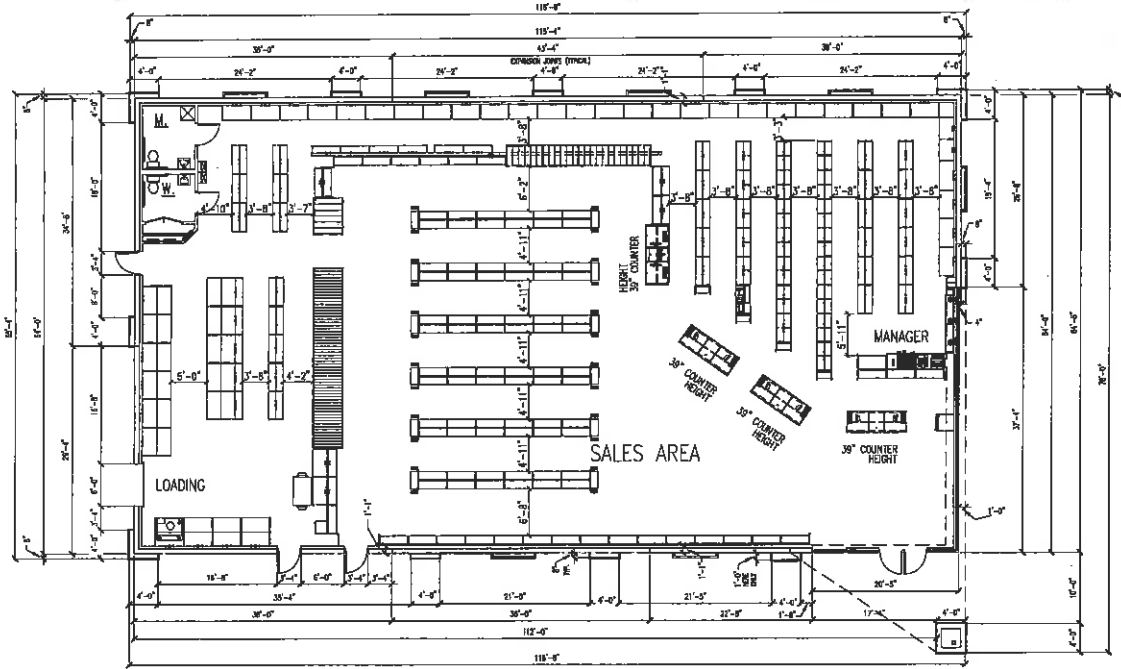
AUTOZONE Store No. 4299
 STETSON AND STATE
 HEMET CA 92543
 COLOR ELEVATIONS

AUTOZONE DEVELOPMENT
 AUTOZONE STORE 3316
 NYG CORNER ACADEMY & GRANDE VISTA
 THOUSAND OAKS, CA 91320

12-14-17
7N2-R

PS-2

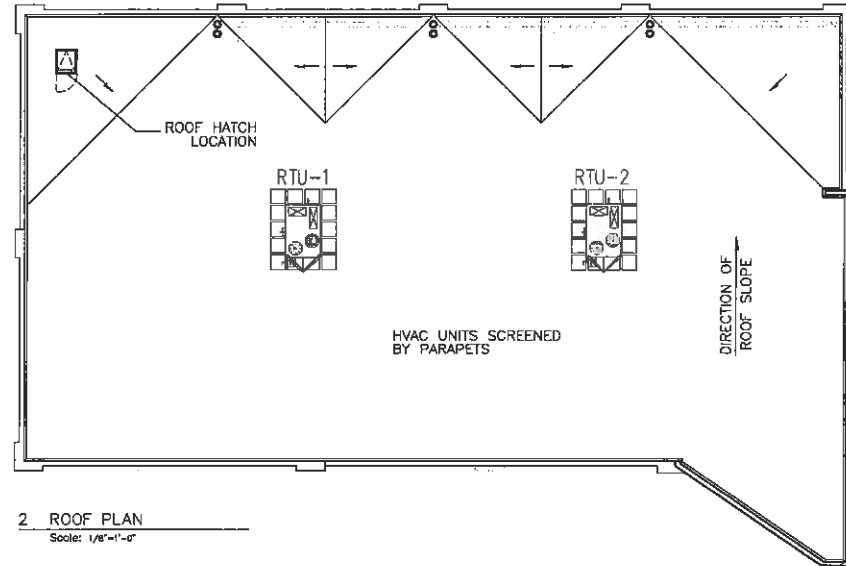
© COPYRIGHT 2007



1 FLOOR PLAN
Scale: 1/8"=1'-0"

BUILDING AREA TABULATION:

CONSTRUCTION TYPE: VB
 OCCUPANCY: M (MERCHANTILE)
 BUILDING AREA ALLOWED: 9,000 SF
 BUILDING AREA PROVIDED: 7,380 SF
 SPRINKLED: YES
 BUILDING HEIGHT ALLOWED: 2 STORIES (60' FT)
 BUILDING HEIGHT PROVIDED: 1 STORY (25 FT)
 AREA INCREASE FOR SPRINKLERS: 27,000 SF MAX AREA



2 ROOF PLAN
Scale: 1/8"=1'-0"

REVISIONS	
1	4
2	5
3	6

AutoZone Store No. 4799
 STETSON AND STATE
 HEMET CA 92543
FLOOR PLAN AND ROOF PLAN

AUTOZONE DEVELOPMENT
 AUTOZONE STORE 3316
 HWY CORNER ACADEMY & GRANDE VISTA
 THOUSAND OAKS, CA 91320

12/04/17
 7N2-R

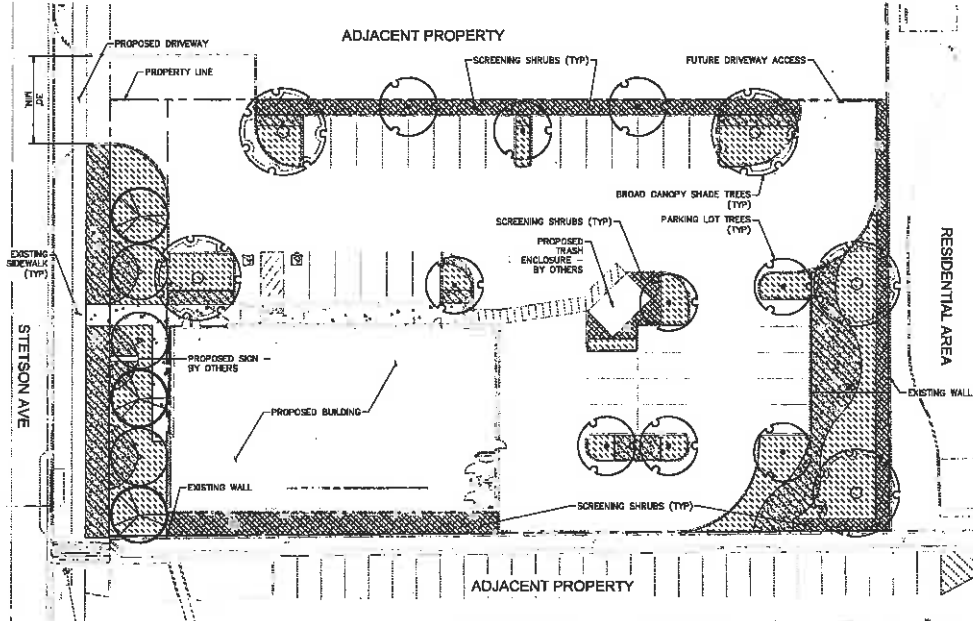
PS1

LANDSCAPE SCHEDULE (SYMBOLS NOT TO PLAN SCALE)

PROPOSED TREES	QTY	CONTR	GAL.	SPACING	WUCOLS
TYP. TREES ALONG STREET FRONTAGE INCLUDE: BRACHYCTON POPULNEUS / BOTTLE TREE KODIADUTRIA PANICULATA / GOLDEN RAIN TREE	3	24" BOX	1" GAL	SEE PLAN	LOW
	3	24" BOX	1" GAL	SEE PLAN	LOW
TYP. PARKING LOT TREES INCLUDE: QUERCUS AGRIFOLIA / COAST LIVE OAK RHUS LANCEA / AFRICAN SUMAC	5	24" BOX	1" GAL	SEE PLAN	LOW
	9	24" BOX	1" GAL	SEE PLAN	LOW
PROPOSED SCREENING SHRUBS	QTY	CONTR	SPACING	WUCOLS	
ILEX VOMITORIA / YALPON HOLLY RAAPHIHELIS WICKIA / INDIAN HAWTHORN	2,809 SF	5 GAL	48" O.C.	LOW	
	5 GAL	48" O.C.	LOW	MODERATE	
PROPOSED ACCENT SHRUBS	QTY	CONTR	SPACING	WUCOLS	
CALLISTEMON VIMINALIS 'LITTLE JOHN' / DWARF WEEPING BOTTLEBRUSH OSTIA X PURPUREUS / ORCHID ROCKROSE FESTUCA GLAUCA 'SISKIYOU BLUE' / SISKIYOU BLUE FESCUE PITISPODIUM TORBA 'CREAM DE MINT TM' / DWARF MEXICAN ORANGE	3,140 SF	5 GAL	48" O.C.	LOW	
	5 GAL	48" O.C.	LOW	LOW	
	1 GAL	18" O.C.	LOW	MODERATE	
	5 GAL	30" O.C.	LOW	MODERATE	
PROPOSED GROUND COVERS	QTY	CONTR	SPACING	WUCOLS	
CEANOTHUS MARITIMUS 'VALLEY VIOLET' / MARITIME CEANOTHUS MYOPORUM PARVIFOLIUM / TRAILING MYOPORUM ROSMARINUS OFFICINALIS PROSTRATUS / TRAILING ROSEMARY CEANOTHUS MARITIMUS 'VALLEY VIOLET' / MARITIME CEANOTHUS DYMONDIA MARGARETAE / DYMONDIA	5,084 SF	1 GAL	24" O.C.	LOW	
	1 GAL	24" O.C.	LOW	LOW	
	1 GAL	24" O.C.	LOW	LOW	
	1 GAL	24" O.C.	LOW	LOW	

STATE OF CALIFORNIA ESTIMATED WATER USE						
TOTAL WATER USE IS CALCULATED BY SUMMING THE AMOUNT OF WATER ESTIMATED FOR EACH HYDROZONE. WATER USE FOR EACH HYDROZONE IS ESTIMATED WITH THE FOLLOWING FORMULA: EWI (HYDROZONE) = ESTIMATED WATER USE (GAL / YEAR) ETO = REFERENCE EVAPOTRANSPIRATION (INCHES / YEAR) PF = PLANT ETO ADJUSTMENT FACTOR HA = HYDROZONE AREA (S.F.) .62 = CONVERSION FACTOR IE = IRRIGATION EFFICIENCY SLA = SPECIAL LANDSCAPE AREA (S.F.) EWU (HYDROZONE) = (ETO * PF * HA * .62) / IE						
HYDROZONE A (SUB-SURFACE IN-LINE DRIP)						
ETO	PF	HA	IE	CONVERSION FACTOR	EWI GAL/YEAR	
57.0	.3	10,663	.81	.62	139,629.60	
HYDROZONE B (TREE BUBBLERS)						
ETO	PF	HA	IE	CONVERSION FACTOR	EWI GAL/YEAR	
57.0	.3	320	.81	.62	4,188.44	
ESTIMATED TOTAL WATER USE (ETWU)					144,017.04	
MAWA (MAXIMUM APPLIED WATER ALLOWANCE)						
ETO	ET ADJUSTMENT FACTOR	TOTAL HA	CONVERSION FACTOR	MAWA		
57.0	.45	11,003	.62	174,980.71		
ESTIMATED ANNUAL WATER USE (% OF MAWA)				82%		

NOTE:
ESTIMATED WATER USE CHART IS FOR REFERENCE ONLY. WATER USE DEMAND MAY CHANGE BASED ON FINAL DESIGN PLAN.



LANDSCAPE DATA TABLE			
CITY OF HEMET MUNICIPAL CODE	REQUIRED	PROPOSED	
FRONT SETBACKS AND SIDE SETBACKS ABUTTING A STREET SHALL BE LANDSCAPED AND MAINTAINED	YES	YES	YES
5% MINIMUM OF PARKING AREA SHALL BE LANDSCAPED (TOTAL PARKING AREA = 30,056 SF)	5% 1503 SF	56%	10,663 SF
PARKING AREA LANDSCAPE SHALL INCLUDE TREES, SHRUBS, AND GROUNDCOVER	YES	YES	YES
10' WIDE MINIMUM LANDSCAPE STRIP ADJACENT TO RESIDENTIAL AREA SHALL BE PLANTED WITH TREES, SHRUBS, AND GROUNDCOVER	YES	YES	YES
3' WIDE MINIMUM LANDSCAPE STRIP WITH TREES, SHRUBS, AND GROUNDCOVER IN PARKING LOT AREAS	YES	YES	YES
LANDSCAPE OVER 3' HEIGHT SHALL NOT BE ALLOWED WITHIN A TRAFFIC VISIBILITY AREA	YES	YES	YES
1 TREE PER 5 PARKING SPACES MAX. WITH ADDITIONAL LANDSCAPE THROUGHOUT PARKING AREA (34 STALLS/5 = 7 TREES)	7 TREES	10 TREES	

WUCOLS PLANT FACTOR:
THIS PROJECT IS LOCATED IN 'WUCOLS' REGION 4 - SOUTH INLAND VALLEY.
H = HIGH WATER NEEDS
M = MODERATE WATER NEEDS
L = LOW WATER NEEDS
VL = VERY LOW WATER NEEDS

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.
MICHAEL P. MADSEN, LLA 5798

NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THIS LANDSCAPE FOR 90 DAYS FOLLOWING COMPLETION.

**AUTOZONE - HEMET
OVERALL CONCEPTUAL LANDSCAPE PLAN - 12/15/17**

Kimley»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
788 THE CITY DRIVE, SUITE 300, ORANGE, CALIFORNIA 92668
PHONE: 714-765-1374

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



March 15, 2018

Mr. Pat Milos, Community Development Director
City of Cathedral City Planning Department
68-700 Avenida Lalo Guerrero
Cathedral City, CA 92234

CHAIR
vacancy

VICE CHAIRMAN
Steve Manos
Lake Elsinore

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
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Hemet

Russell Betts
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STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Leron St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1059PS18
Related File No.: TTM37473
APNs: 677-291-021 and -022

Dear Mr. Milos:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Cathedral City Case No. TTM37473 (Tentative Tract Map), a proposal to divide 2.06 acres located southerly of Diamond Road/30th Avenue, easterly of San Joaquin Drive, and northwesterly of the curve where San Mateo Drive becomes San Antonio Drive in the Dream Homes Estates neighborhood into 12 single family residential lots.

The site is located within Airport Compatibility Zone D of the Palm Springs International Airport Influence Area (AIA). Within Compatibility Zone D of the Palm Springs International Airport Land Use Compatibility Plan, residential density is restricted to either below 0.2 dwelling units per acre or above 5.0 dwelling units per acre. The proposal to divide 2.06 acres into 12 single family residential lots results in a density of almost 6 dwelling units per acre, which is consistent with the Zone D density criterion.

The elevation of Runway 13R-31L at Palm Springs International Airport at its southerly terminus is approximately 395.5 feet above mean sea level (395.5 feet AMSL). At a distance of approximately 2,760 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 423.1 feet AMSL. The site elevation is 407 feet AMSL, and the tallest proposed structure height is 12 feet, resulting in a maximum top point elevation of 419 feet AMSL. Therefore, review by the FAA OES was not required. However, a condition is included requiring Determinations of No Hazard to Air Navigation for any structures 16 feet or greater in height, or with top of roof exceeding 423 feet AMSL.

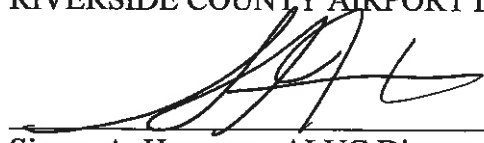
As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Palm Springs Airport Land Use Compatibility Plan, provided that the City of Cathedral City applies the following recommended conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached "Notice of Airport in Vicinity" shall be provided to all potential purchasers of the lots and to the tenants of the homes thereon, and shall be recorded as a deed notice.
4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. Residences and any other buildings shall be limited to a maximum height of 16 feet (including any roof-mounted equipment) and a maximum top point elevation of 423 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

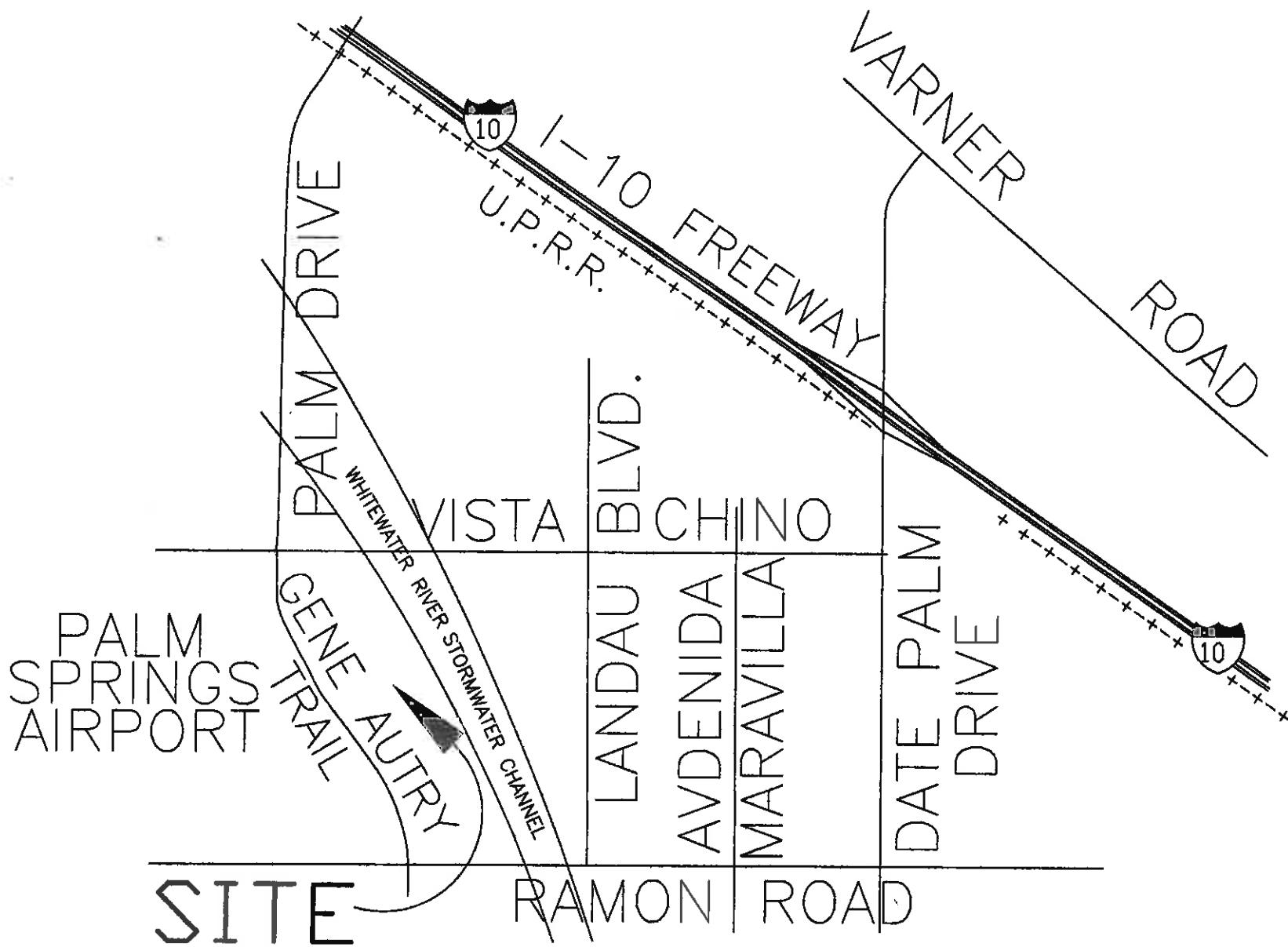
Attachment: Notice of Airport in Vicinity

cc: Chris Ifeanyi, Elyon Development/Valley Property Ventures (applicant/landowner)
Robert J. Mainiero (representative)
Mr. Thomas Nolan, Executive Director, Palm Springs International Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Palm Springs\ZAP1059PS18\ZAP1059PS18.LTR.doc

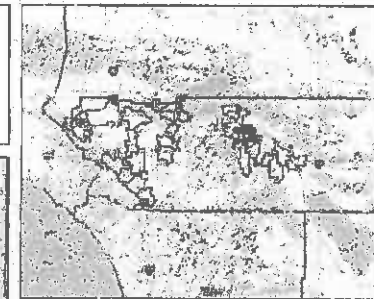
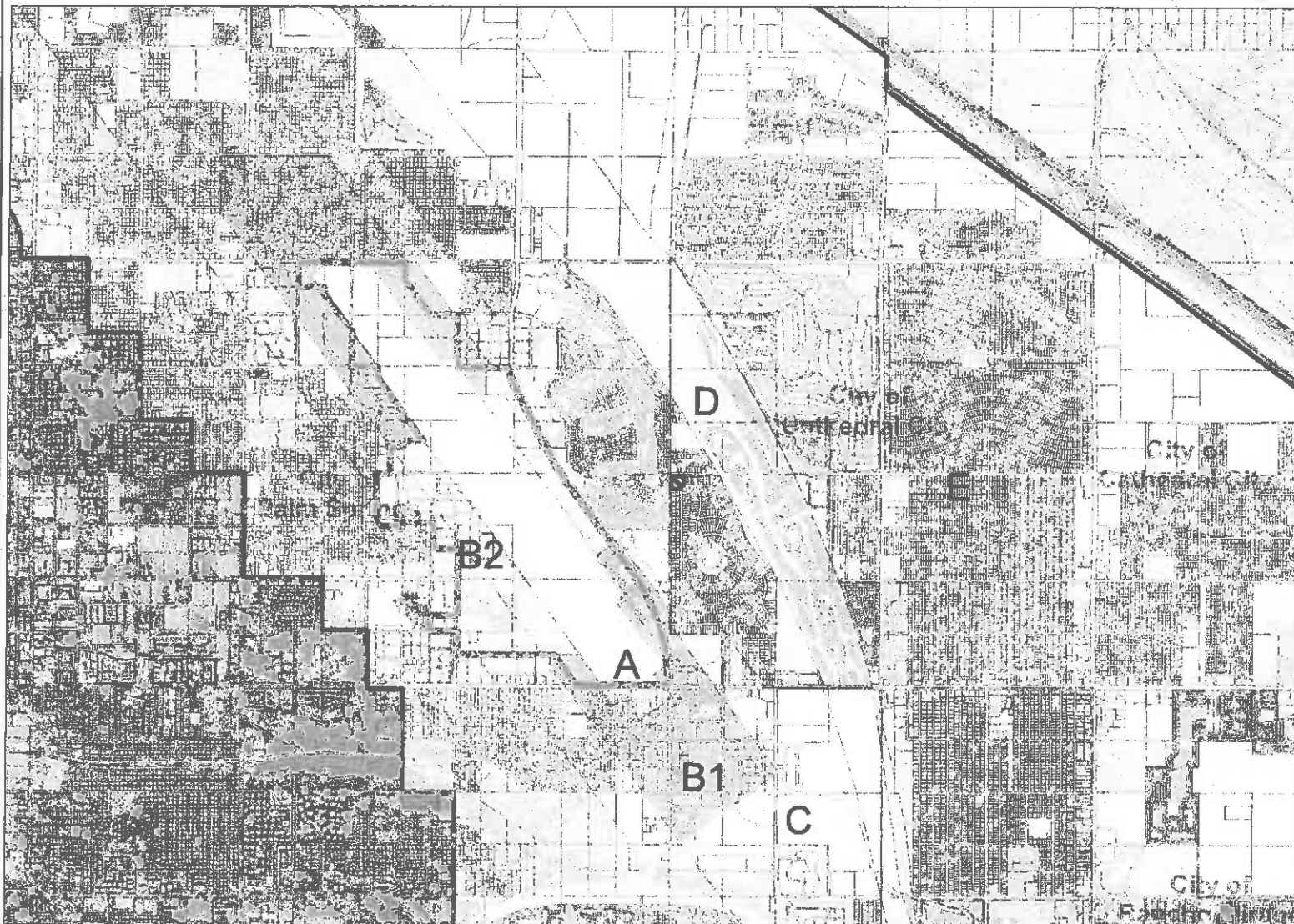
NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



VICINITY MAP
NTS

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-FXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 4,660 9,320 Feet



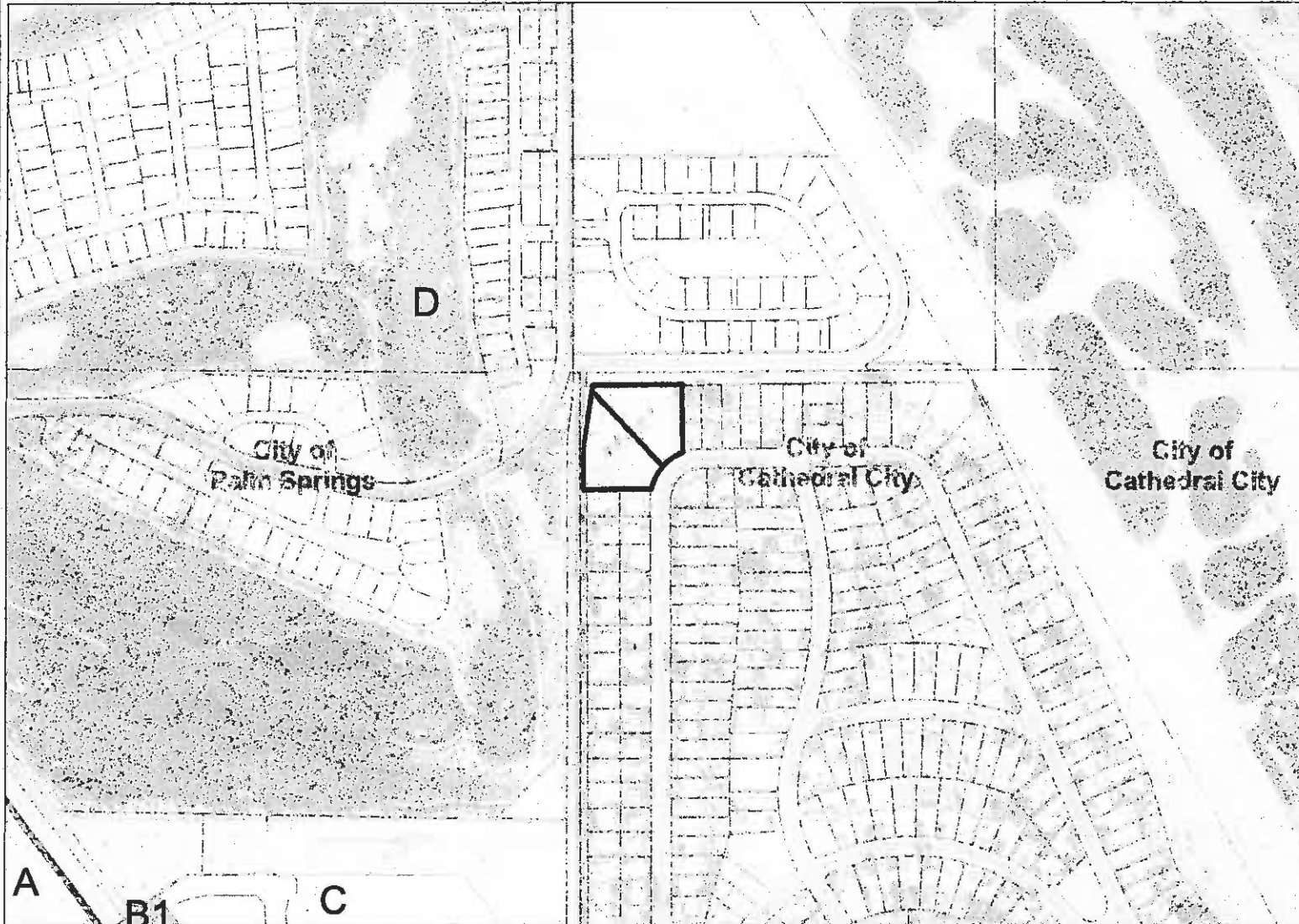
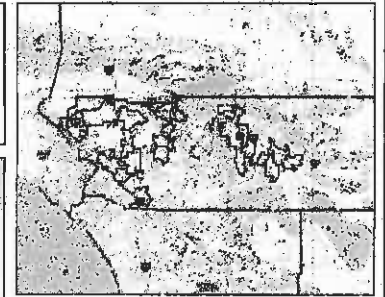
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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 582 1,165 Feet



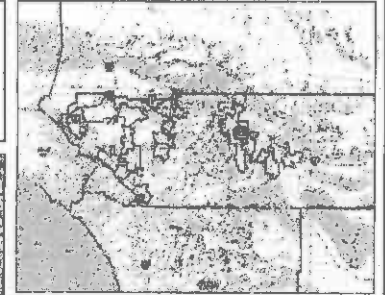
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Notes

My Map



Legend

- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography
- waterbodies
- Lakes
- Rivers



0 2,330 4,660 Feet



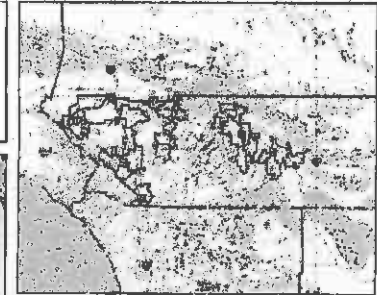
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 582 1,165 Feet



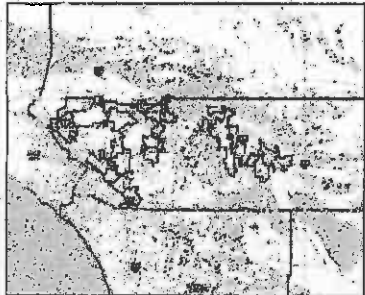
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 146 291 Feet



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Notes

Tentative Tract Map No. 37473

Elyon Development 2 Acres Single-Family Development

Southeast Corner of San Joaquin Drive/Diamond Road

APN's 677-291-021 and 677-291-022

Portion of the Northwest Quarter of Section 17, T4S, R5E, SBM

Project Description

The Project consists of the subdivision of two acres of vacant land, located immediately adjacent to the existing Palm Springs Country Club Estates, also commonly known as the "Dream Homes" subdivision. It is located at the very northerly end of San Joaquin Drive at Diamond Road.

Single-family residential lots will be created for buildout by the Project Proponent Elyon Development. Lots will be 7,200 Square Feet. Maximum height will be 12 feet.

NO.	REVISION	APPROVED	DATE

Escena Golf Club

IN THE CITY OF CATHEDRAL CITY,
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
**TENTATIVE
TRACT MAP NO. 37473**
BEING A SUBDIVISION OF A PORTION OF
SECTION 17, T.4 S., R.5 E., S.B.M.
MARCH 2018

PROPERTY OWNER
VALLEY PROPERTY VENTURES, LLC
3727 WEST MAGNOLIA BOULEVARD #750
BURBANK, CALIFORNIA 91502
PHONE - (919) 350-5100
MR. CHRIS FEARTT
E-MAIL: CHR08@valcoconspg.com

DEVELOPER
ELVON DEVELOPMENT
3727 WEST MAGNOLIA BOULEVARD #750
BURBANK, CALIFORNIA 91505
PHONE - (919) 350-5112
MR. CHRIS FEARTT
E-MAIL: CHR08@valcoconspg.com

ENGINEER
ROBERT J. MAHERO, P.E.
P.O. BOX 2410
PALM SPRINGS, CALIFORNIA 92283
PHONE - (760) 413-7127
FAX - (760) 778-8904
ROBERT J. MAHERO, R.C.E. 25658

GENERAL NOTES:
EXISTING LAND USE: RL RESIDENTIAL LOW DENSITY
PROPOSED LAND USE: SAME AS ABOVE
EXISTING ZONING: R1 RESIDENTIAL SINGLE-FAMILY
PROPOSED ZONING: SAME AS ABOVE
STREETS: DEDICATED TO THE PUBLIC
GROSS ACRES: 2.0 ACRES
SCHOOL DISTRICT: PALM SPRINGS UNIFIED SCHOOL DISTRICT

FLOOD ZONE: THE FLOOD ZONE FOR THIS MAP IS
ZONE X - AREA OF 0.2% CHANCE OF FLOOD;
AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT;
AREA PROTECTED BY LEVEE FROM 1% ANNUAL CHANCE FLOOD;
AS SHOWN ON FLOOD INSURANCE RATE MAP
COMMUNITY NO. 50300N
MAP NUMBER 06885C1687C DATED AUGUST 26, 2008

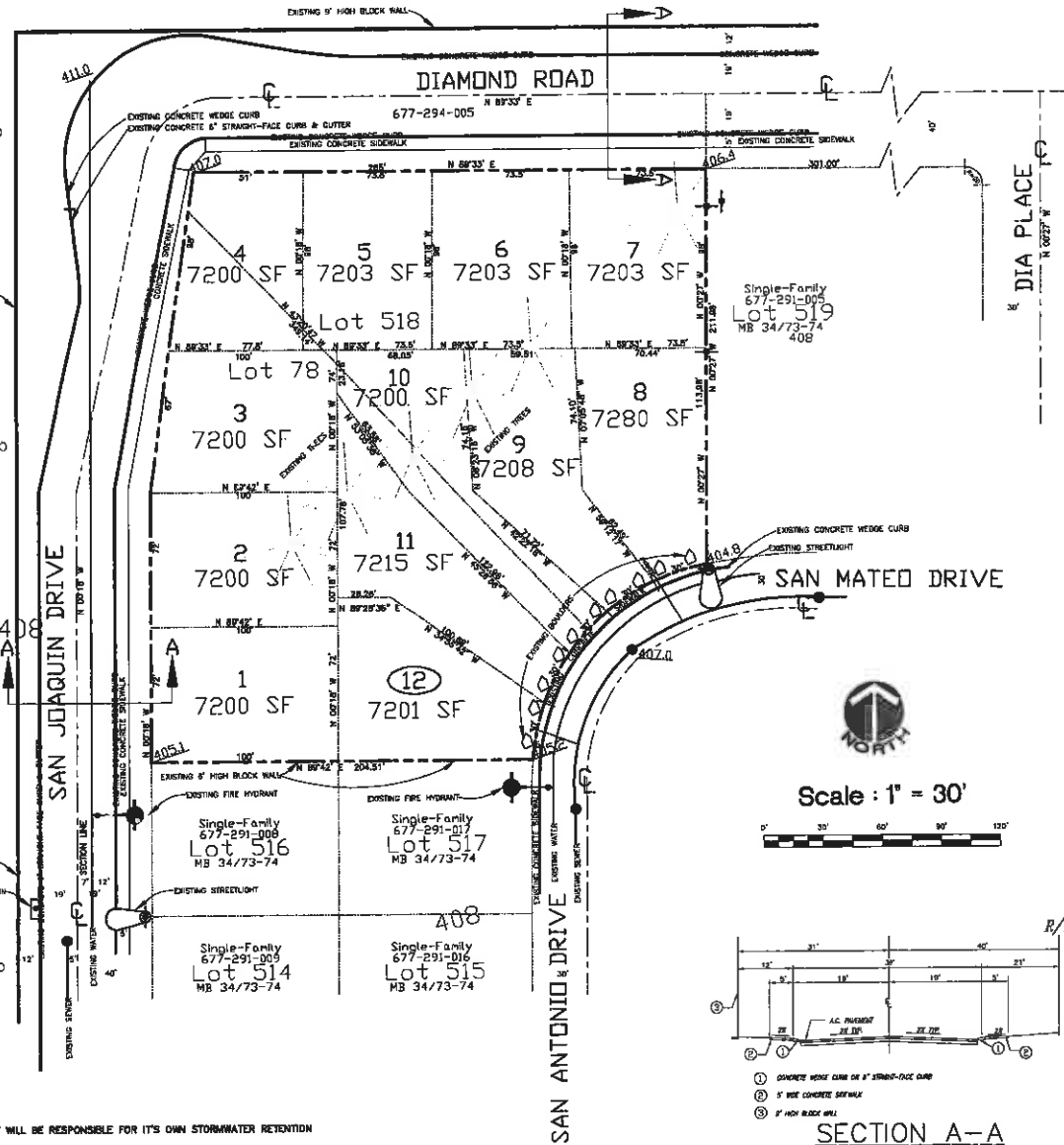
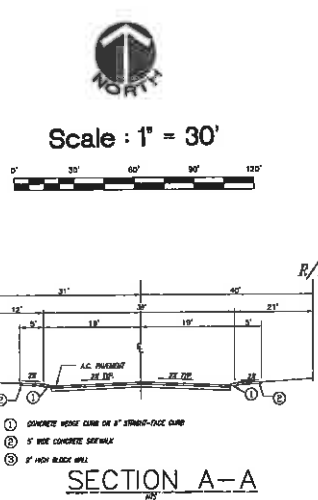
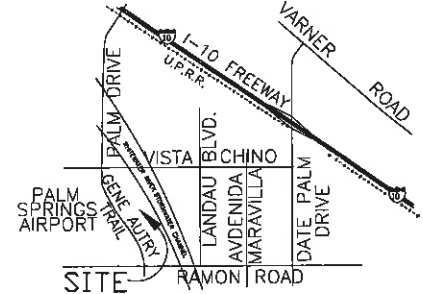
TOPOGRAPHY SOURCE: RIVERSIDE COUNTY FLOOD CONTROL DISTRICT
THOMAS BROTHERS REFERENCE (2007): PAGE 787 B1

ASSESSORS PARCEL NUMBERS
877-21-021 877-21-022

LEGAL DESCRIPTION
LOT 74 OF PALM SPRINGS COUNTRY CLUB STATES
IN THE CITY OF CATHEDRAL CITY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
AS SHOWN ON FLOOD INSURANCE RATE MAP
COMMUNITY NO. 50300N
AS SHOWN ON FLOOD INSURANCE RATE MAP
COMMUNITY NO. 50300N
LOT 518 OF PALM SPRINGS COUNTRY CLUB STATES
IN THE CITY OF CATHEDRAL CITY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
AS SHOWN ON FLOOD INSURANCE RATE MAP
COMMUNITY NO. 50300N
AS SHOWN ON FLOOD INSURANCE RATE MAP
COMMUNITY NO. 50300N

UTILITIES

WATER	DESERT WATER AGENCY	(760) 323-4971
SEWER	DESERT WATER AGENCY	(760) 323-4971
GAS	THE GAS COMPANY	(760) 323-1651
ELECTRIC	SOUTHERN CALIFORNIA EDISON COMPANY	(760) 203-4211
TELEPHONE	VERIZON	(760) 323-1331
CABLE TV	SPECTRUM TV	(760) 345-1312 EXT. 281
USA	UNDERGROUND SERVICE ALERT	(800) 227-2600



Escena Golf Club

Escena Golf Club

Escena Golf Club

NOTE: EACH LOT WILL BE RESPONSIBLE FOR ITS OWN STORMWATER RETENTION

PAGE BREAK



**AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY**



March 15, 2018

**CHAIR
VACANCY**

Mr. Brett Dawson, Contract Planner
Riverside County Planning Department
4080 Lemon Street, 14th Floor
Riverside, CA 92501

**VICE CHAIRMAN
Steve Manos
Lake Elsinore**

COMMISSIONERS

(VIA HAND DELIVERY)

**Arthur Butler
Riverside**

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

**John Lyon
Riverside**

**Glen Holmes
Hemet**

File No.: ZAP1301MA18
Related File No.: CUP03782 (Conditional Use Permit)/PP26367 (Plot Plan) and
PM35671R1 (Revised Tentative Parcel Map)

**Russell Betts
Desert Hot Springs**

APN: 461-190-082

**Steven Stewart
Palm Springs**

Dear Mr. Dawson:

STAFF

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case Nos. CUP03782 (Conditional Use Permit) and PP26367 (Plot Plan) proposing an 80,362 square foot commercial center (including a 3,062 square foot convenience store with gasoline sales) and a self-storage complex of 120,000 square feet on 18.37 acres located on the southwest corner of Domenigoni Parkway and Leon Road and County of Riverside Case No. PM35671R1 (Revised Tentative Parcel Map) proposing division of this site into nine (9) commercial parcels.

**Director
Simon A. Housman**

**John Guerin
Paul Rull
Barbara Santos**

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The site is located more than 20,000 feet from all public-use airports, and no structures greater than 200 feet in height are being proposed. Therefore, Federal Aviation Administration Obstruction Evaluation Service review for height/elevation reasons was not required.

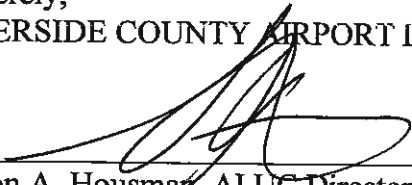
As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants of the building(s) thereon.
4. All new aboveground (surface) detention and/or water quality management basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The following uses are specifically prohibited at this location to prevent the creation of wildlife attractants: trash transfer stations that are open on one or more sides; commercial composting operations; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; aquaculture; incinerators.

If you have any questions, please contact John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

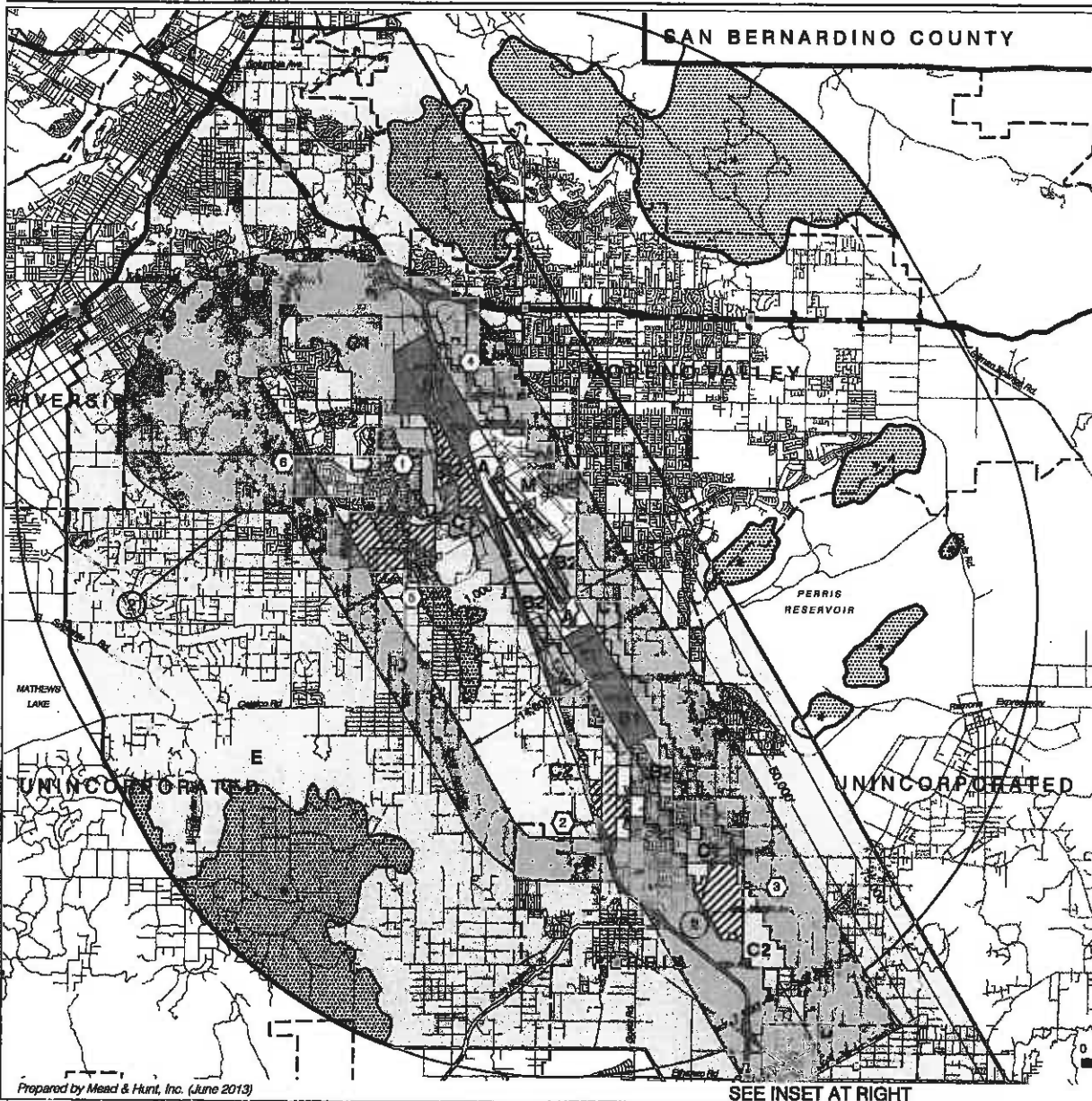
cc: Jennell Lawrence, Rancon/Ranch RV & Self Storage – Winchester, LLC (applicant)
John King, Rancon/Rancon Winchester Valley 85, LLC (landowner)
Jennifer Gillen, Albert A. Webb Associates (additional representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel “Rock” Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1301MA18\ZAP1301MA18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

SAN BERNARDINO COUNTY



LEGEND

Compatibility Zones

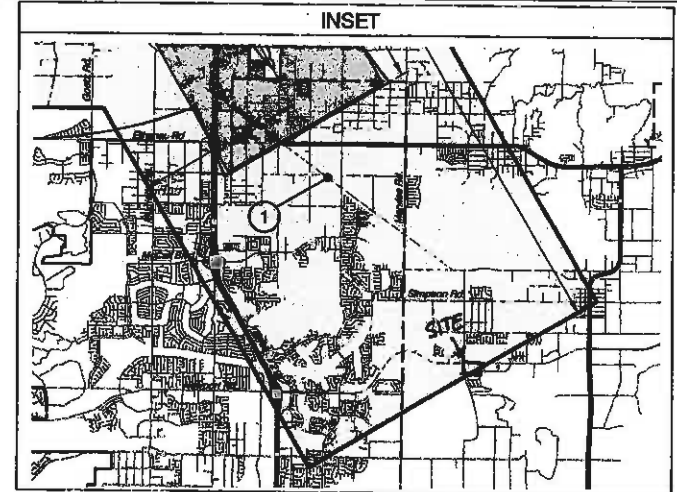
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)
- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

INSET



Note:
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

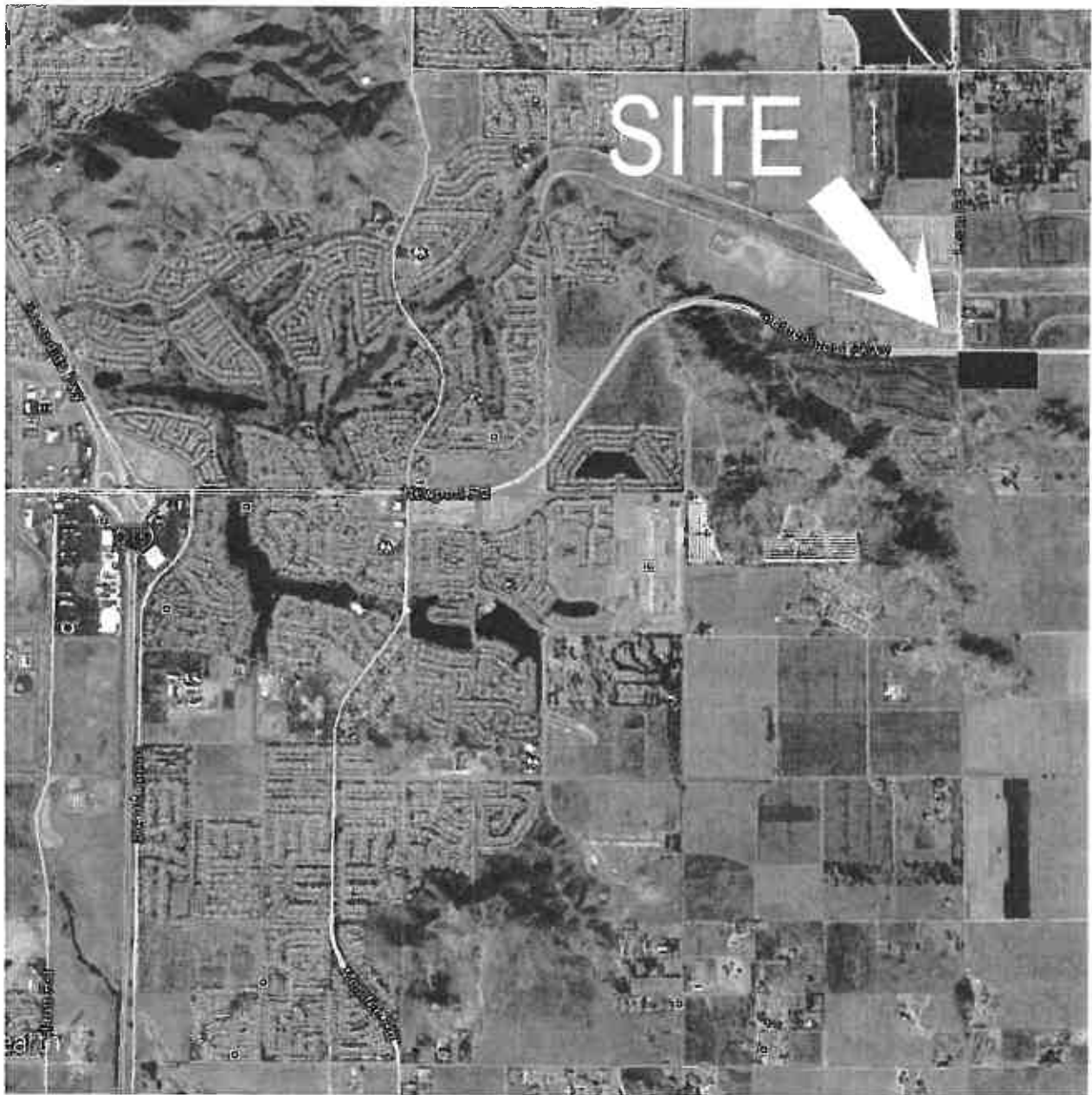
Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

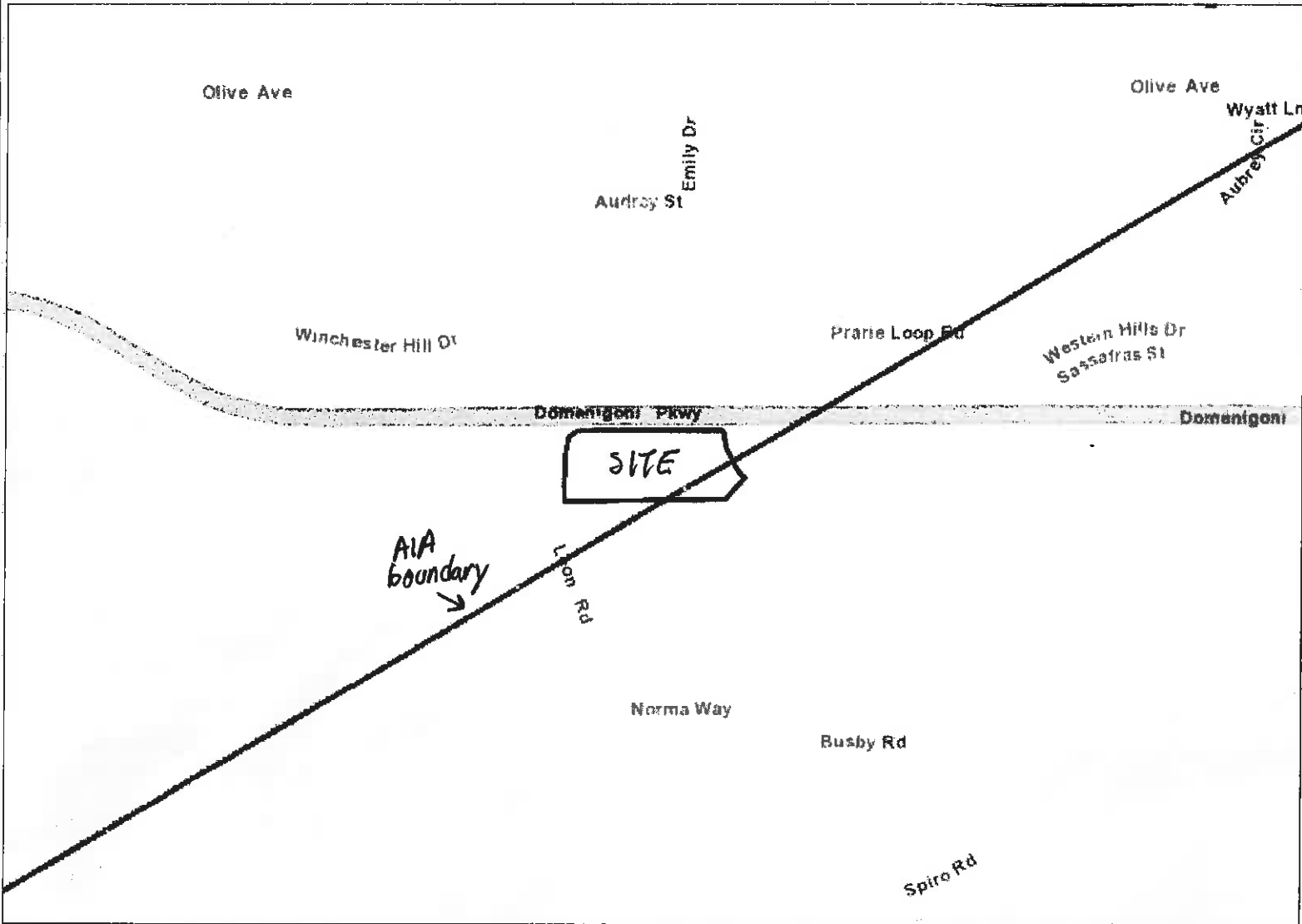
SEE INSET AT RIGHT

Vicinity Map

South side of Domenigoni Parkway / East side of Leon Road



Map My County Map



- Legend**
- Runways
 - ▣ Airports
 - ▣ Airport influence Areas
 - Blueline Streams
 - ▣ City Areas
 - World Street Map



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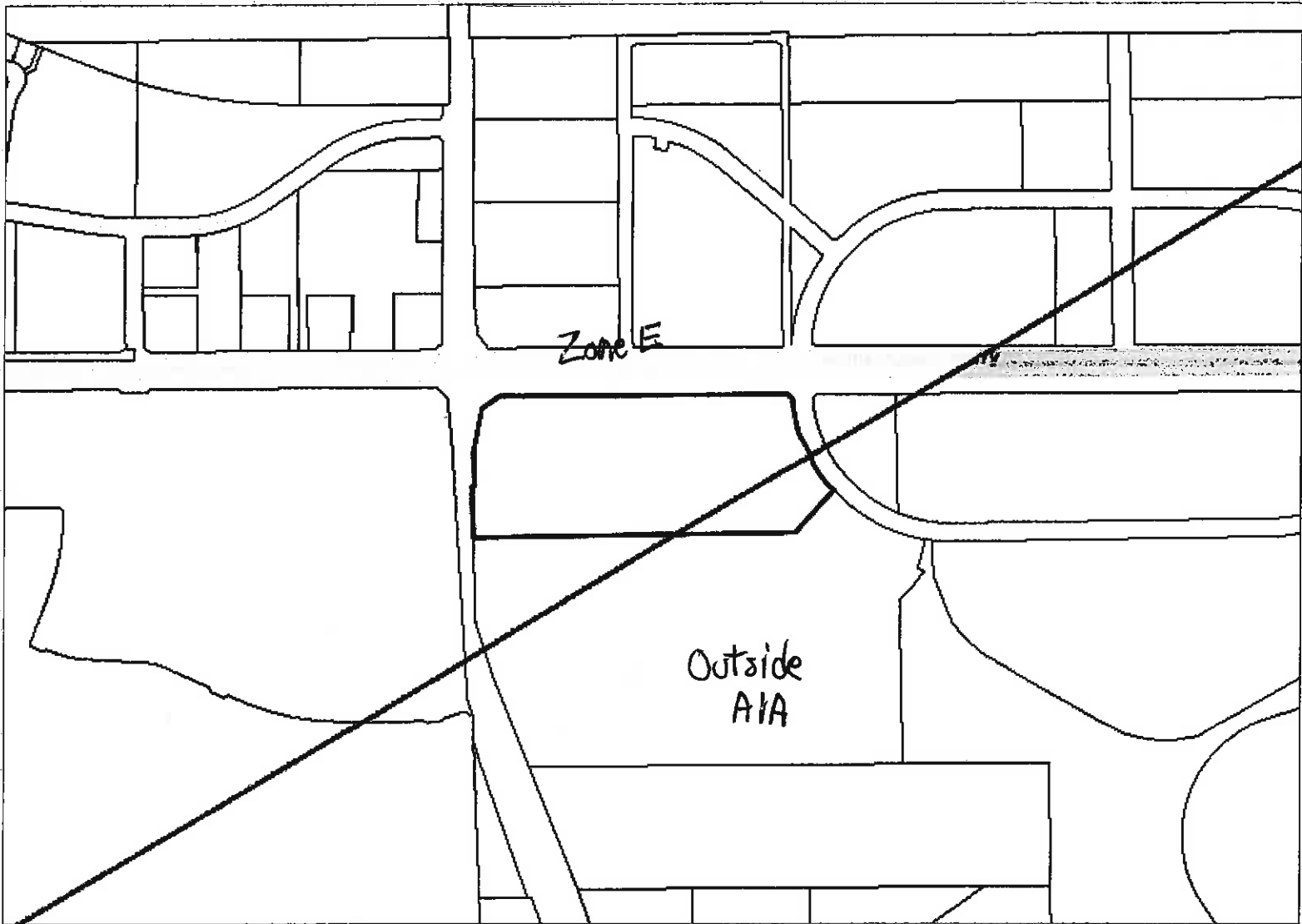


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Notes

Map My County Map





Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas

Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5

0 752 1,505 Feet

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Notes

Map My County Map



- Legend**
- City Areas
 - World Street Map



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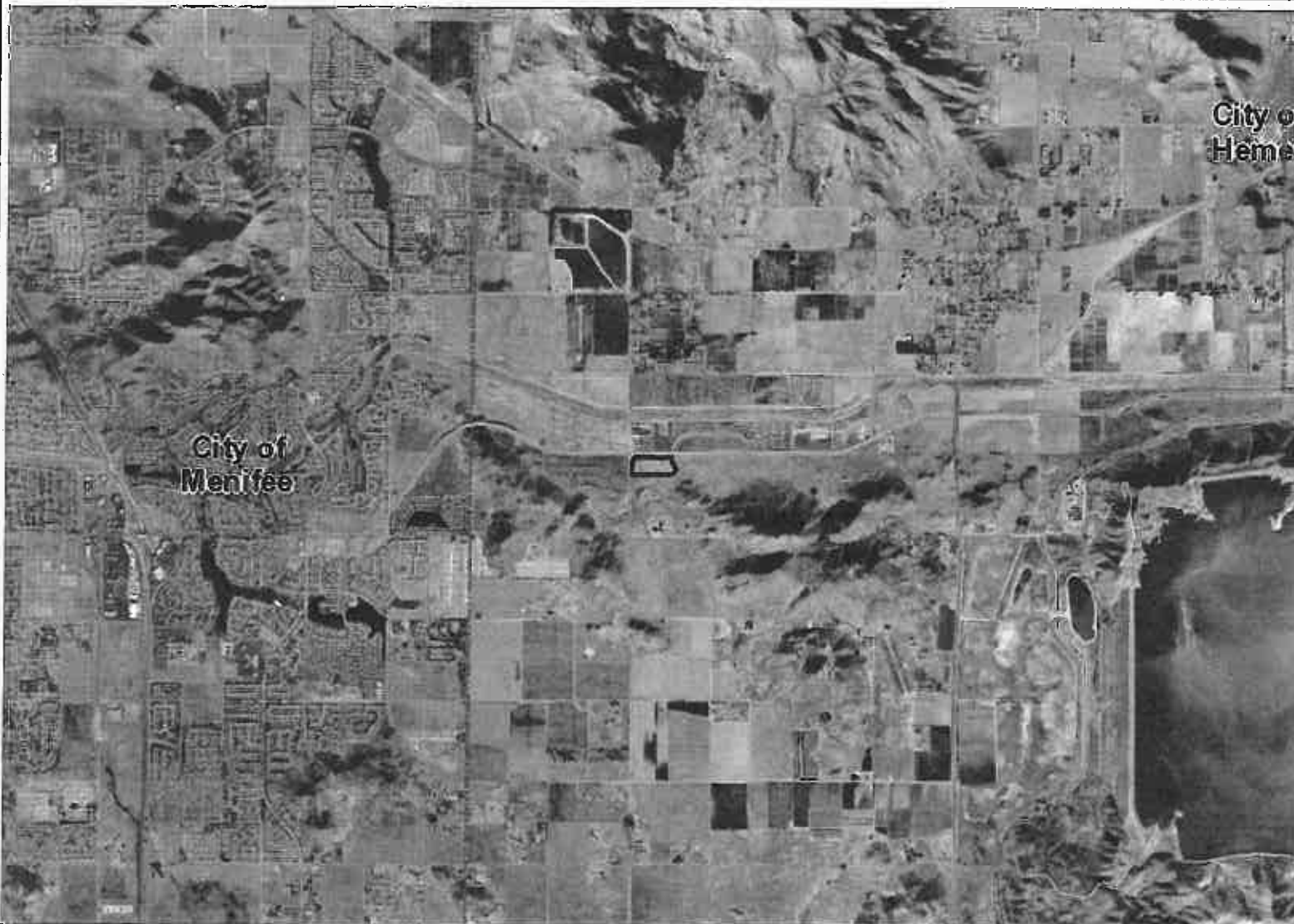


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Notes

Map My County Map



- Legend**
- City Areas
 - World Street Map



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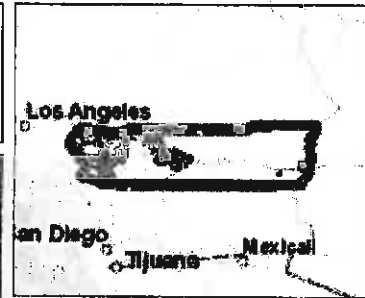
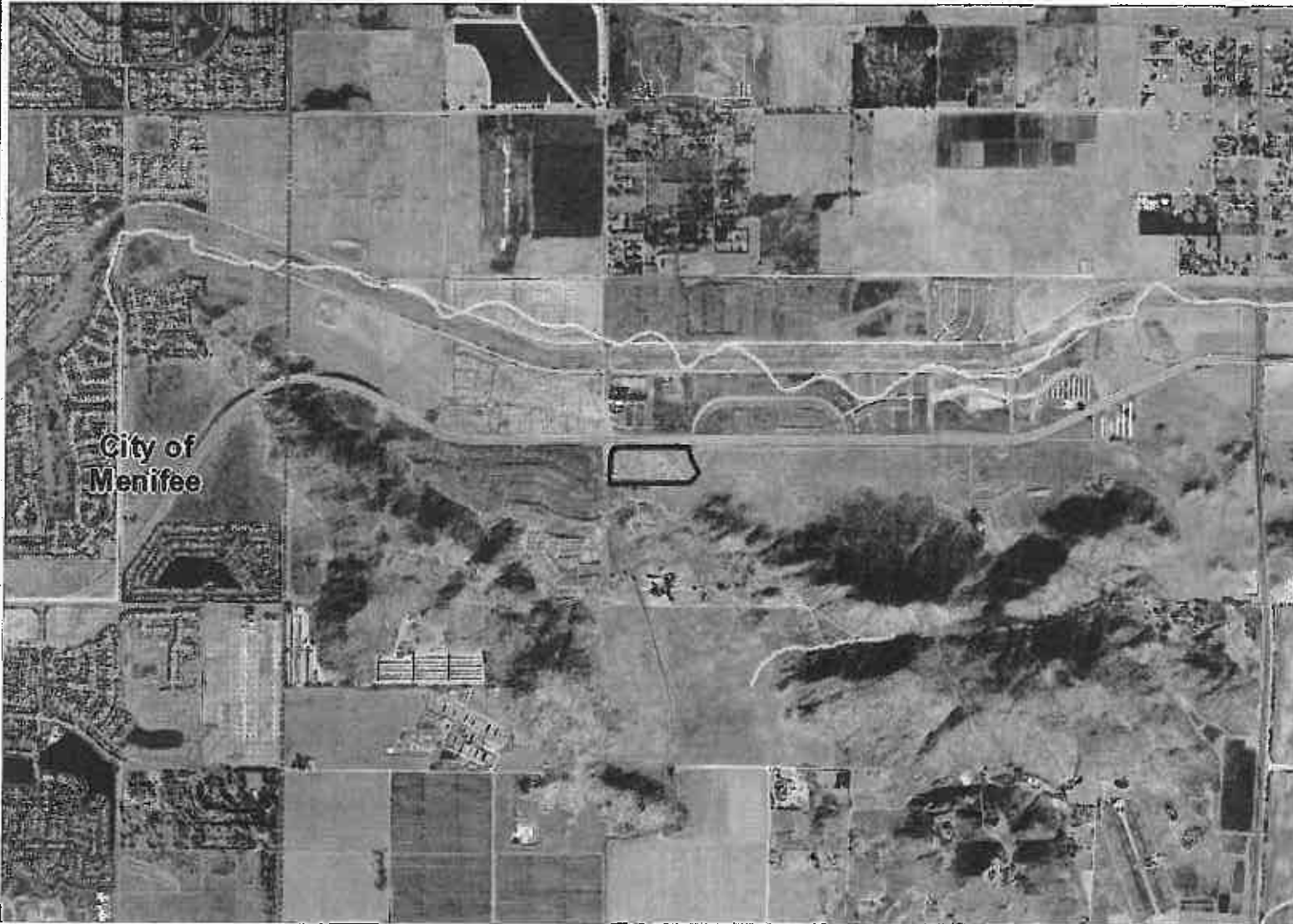


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Notes

Map My County Map



Legend

- Runways
- Airports
- Blueline Streams
- City Areas
- World Street Map



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0 3 6,019 Feet
009

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Notes

Map My County Map



Legend

- Runways
- ▣ Airports
- Blueline Streams
- ▣ City Areas
- World Street Map



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Notes

Map My County Map



Legend

-  Parcels
-  Runways
-  Airports
-  Blueline Streams
-  City Areas
-  World Street Map



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Notes

Map My County Map



Legend

-  Parcels
-  Runways
-  Airports
-  Blueline Streams
-  City Areas
-  World Street Map



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0 376 752 Feet

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Notes

Winchester Valley 85 Marketplace

Project Description:

The project is located South of Domenigoni Parkway and East of Leon Road. The proposed plot plan will be for the entire commercial center and the Conditional Use Permit will be for the Gas Station and Mini Storage.

WINCHESTER RANCH MARKETPLACE

MAJOR DEVELOPMENT PLAN



VICINITY MAP - RTs

SHEET INDEX

COVER SHEET	01
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PHOTOMETRIC PLAN	03
PLAN AND ELEVATIONS - MAJOR 1 AND SHOPS 2	04
PLAN AND ELEVATIONS - SHOPS 3 AND SHOPS 4	05
PLAN AND ELEVATIONS - SHOPS 1	06
PLAN AND ELEVATIONS - C-STORE	07
COLOR AND MATERIALS BOARD	08
OVERALL PRELIMINARY LANDSCAPE PLAN	11.1
PRELIMINARY LANDSCAPE PLAN ENLARGEMENTS	12.1
PRELIMINARY LANDSCAPE PLAN ENLARGEMENTS	12.2
PRELIMINARY LANDSCAPE PLAN ENLARGEMENTS	12.3
CONCEPTUAL LIGHTING PLAN	13.1
PARKING LOT TREE SHADING PLAN	14.1
IRRIGATION PLAN	15.1
ENTRY MONUMENT PLAN AND DIAGRAM	16.1
WALL, FENCING AND TRAIL PLAN	17.1
BIKE RACKS PLAN	18.1

DOMENIGONI PARKWAY

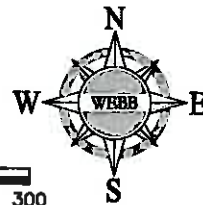
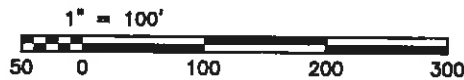
LEON ROAD

FRONTIER 1200

PHASE I

PHASE 2

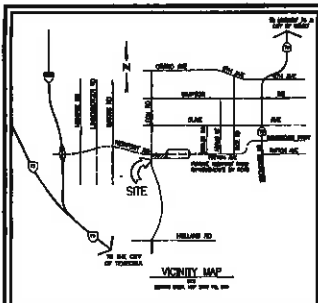
PHASE I



ALBERT A.
WEBB
 ASSOCIATES

ENGINEERING CONSULTANTS
 3788 McCRAY STREET
 RIVERSIDE CA. 92506
 PH. (951) 688-1070
 FAX (951) 788-1256

w.o. 16-0316
 SHEET
 1
 OF 1 SHEETS



OWNER/APPLICANT:
 THE RANSON GROUP
 4950 CALIMA STREET, SUITE 200
 HUNTERIA, CA 92502
 ATTN: DANNY LONG
 PH: (951) 200-2881

APPLICANT:
 ARCHITECTS ORANGE
 144 NORTH ORANGE STREET
 ORANGE, CA 92668
 ATTN: DILL PERCINS
 PH: (714) 654-1850 x 235

ENGINEER/DESIGNER:
 ALBERT A. HEBB ASSOCIATES
 3700 MCGRAW STREET
 RIVERSIDE, CA 92505
 ATTN: JENNIFER ELLEN
 PH: (951) 686-0710
 FAX: (951) 788-1256

UTILITIES:
 WATER - EASTERN MUNICIPAL WATER DISTRICT
 SEWER - EASTERN MUNICIPAL WATER DISTRICT
 GAS - SOUTHERN CALIFORNIA GAS COMPANY
 ELECTRIC - SOUTHERN CALIFORNIA Edison COMPANY
 TELEPHONE - VERIZON
 TELEVISION - INDIVIDUAL RECEIPT/CABLE

SCHOOL DISTRICT:
 HE-07 UNIFIED SCHOOL DISTRICT

LEGEND:

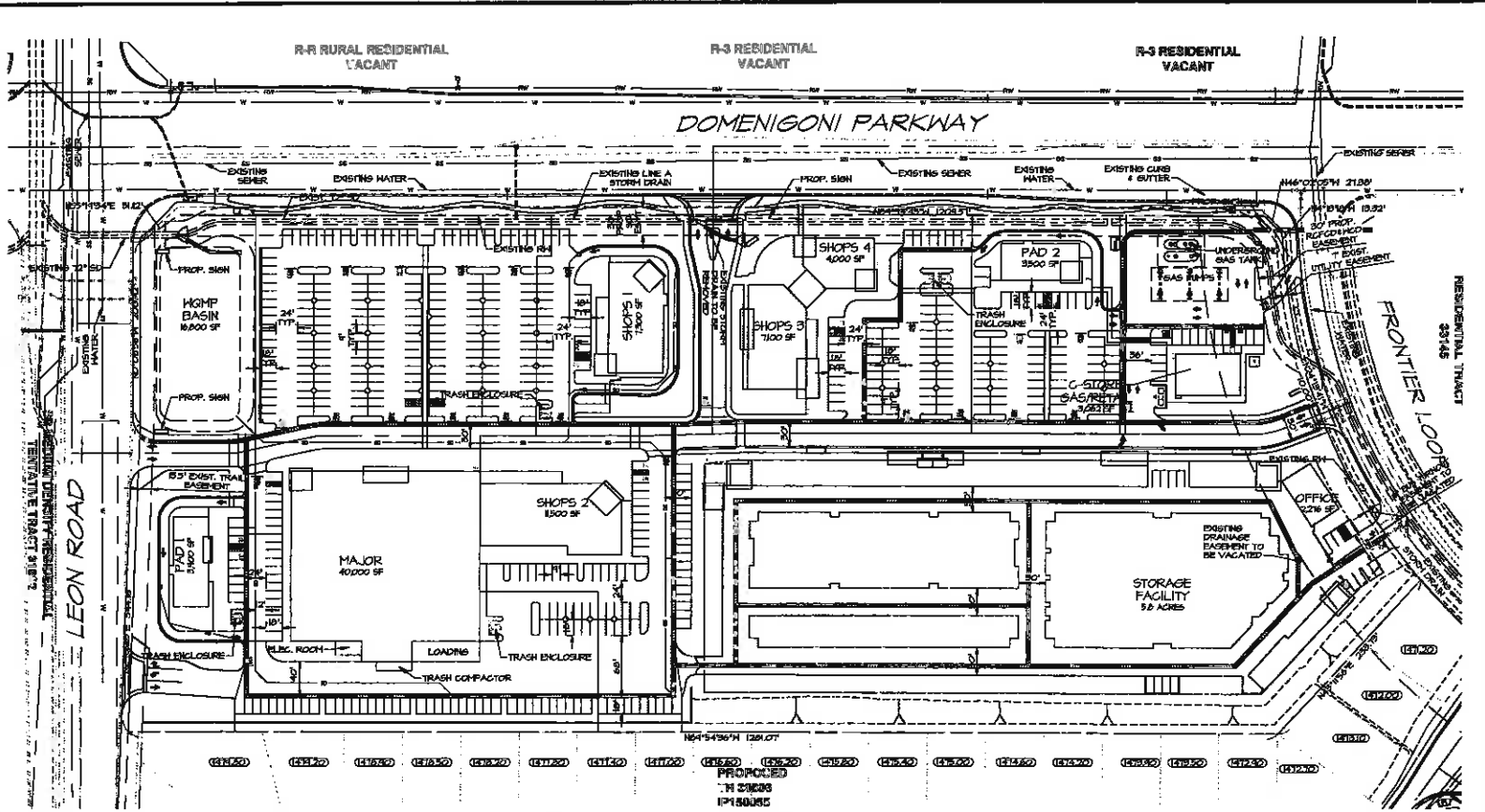
IN	INGRESS AND EGRESS
FF	FINISH FLOORS
TC	TOP OF CURB
FL	FINISH FLOOR
HP	HIGH POINT
GB	GRADE BREAK
FS	FINISH SURFACE
FG	FINISH GRADE
LP	LOW POINT
TS	TOP OF SLATE
TH	TOP OF HALL
FL	FLOOR FINISH
SD	STORM DRAIN

LAND USE / ZONING:
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: COMMERCIAL

EXISTING ZONING: SP - COMMERCIAL (SP1000)
PROPOSED ZONING: SP - COMMERCIAL (SP1000)

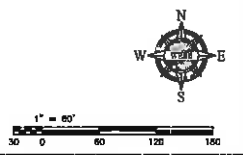
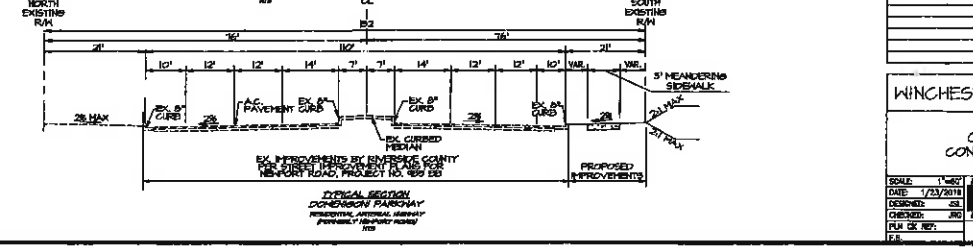
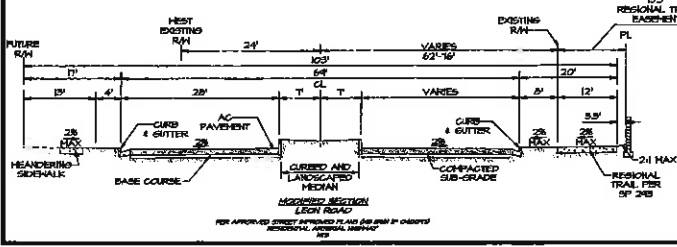
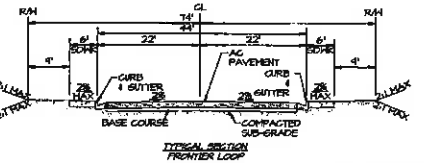
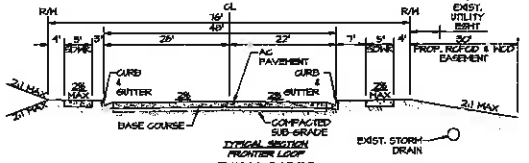
LEGAL DESCRIPTION:
 PARCEL 2 OF LLA NO. 478 RECORDED 10/10/2004, DOC. NO. 2004-037814, INTEREST OF RIVERSIDE COUNTY, CA, LOCATED IN SECTION 25, T. 29, R. 24, S. 24, IN THE COUNTY OF RIVERSIDE

- NOTES:**
- 2004 THOMAS BROS. MAP-PAGE 046, GRID S-4.
 - THIS AREA IS NOT SUBJECT TO LIQUIDATION OR OTHER GEOLOGICAL HAZARDS WITHIN THE SPECIAL STUDIES ZONE.
 - PPMA COMMUNITY PANEL NO. 060248-3125 IS ZONE C DATED SEPTEMBER 30, 1969 (ZONING OF 500 YEAR FLOOD PLANE, COUNTY OF RIVERSIDE).
 - THIS PROPERTY IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
 - SUBSURFACE SEPTIC SYSTEM IS NOT INTENDED FOR THIS SITE.
 - ALL EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE IN LOCATION AND SIZE.
 - THERE ARE NO TYPICAL BRIDGE PLANS OR COMPOSITE IMAGES BUT ARE UNDERSTANDING GAS TANKS FOR THE GAS STATION ON THIS SITE.
 - THERE ARE NO OPEN CHANNELS ON THIS SITE, EXCEPT FOR SHALLOW VAD SHALES.
 - THERE ARE NO HILLSIDE OR REGULATORY VEHICLES ON THIS SITE.
 - THIS PROJECT IS WITHIN THE WINCHESTER HILLS SPECIFIC PLAN NO. 241.
 - THERE ARE NO EXISTING CHIMNEY OR STRUCTURES ON THIS SITE.
 - THERE ARE NO OPEN SPACE OR RECREATIONAL AREAS ON THIS SITE.
 - THERE ARE NO EXISTING WELLS ON THIS SITE.
 - A RECREATIONAL ACCESS AND PARKING BASEMENT WILL BE RECORDED WITH THE FINAL MAP.
 - ALL DRIVEWAYS ARE PER COUNTY OF RIVERSIDE STD. PLAN NO. 201.
 - THERE ARE NO EXISTING POWER POLES ON THIS SITE.



CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	TANGENT
C1	58.25	650.00	15°41'59"	71.20
C2	246.22	691.00	27°02'59"	124.81



REVISIONS	DATE BY

WINCHESTER RANCH MARKETPLACE

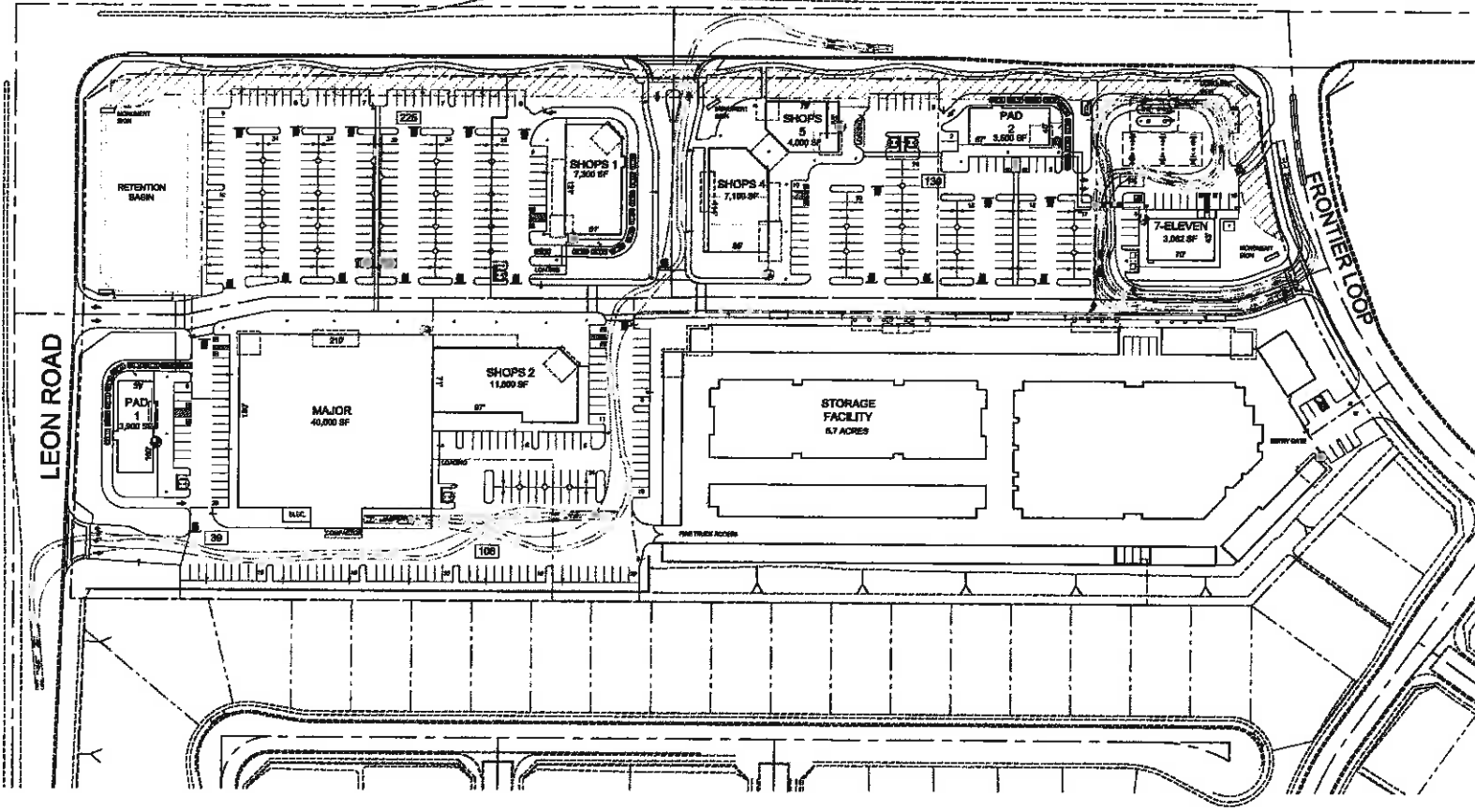
COUNTY OF RIVERSIDE
 CONDITIONAL USE PERMIT 03102

SCALE: 1/8" = 1'-0"
 DATE: 1/23/2018
 DESIGNED: [Signature]
 CHECKED: [Signature]
 PLAN NO. 03102

REGISTERED CONSULTING ENGINEER
 3700 MCGRAW STREET
 RIVERSIDE, CA 92505
 PH: (951) 986-0710
 FAX: (951) 788-1256

W.G. 16-0316
 SHEET 1
 OF 3 SHEETS
 DEC. NO.

DOMENIGONI PARKWAY



PROJECT SUMMARY

RETAIL NET SITE AREA:	13.8 ACRES
C-STORE NET SITE AREA:	1.0 ACRES
STORAGE FACILITY NET SITE AREA:	5.7 ACRES
TOTAL NET SITE AREA:	17.5 ACRES
RETAIL PARKING PROVIDED:	502 STALLS
RETAIL PARKING RATIO PROVIDED:	6.5/ 1,000 SF
RETAIL BUILDING AREA:	77,300 SF
RETAIL BUILDING COVERAGE:	16.5%
C-STORE BUILDING AREA:	3,062 SF
C-STORE BUILDING COVERAGE:	6.8%
STORAGE FACILITY BUILDING AREA:	125,000 SF
STORAGE FACILITY COVERAGE:	50.3%

LEGEND:

● BIKE RACK LOCATION

SITE DATA

SITE AREA (5.5 ACRES) 239,530 SQ. FT.
 TOTAL FLOOR AREA 148,831 SQ. FT.

OWNER/DEVELOPER

RANCON WINCHESTER VALLEY 85
 42300 KALAMA STREET, SUITE 200
 MURRIETA, CA 92562
 CONTACT: PH: 951/ 696-0000
 E-MAIL:

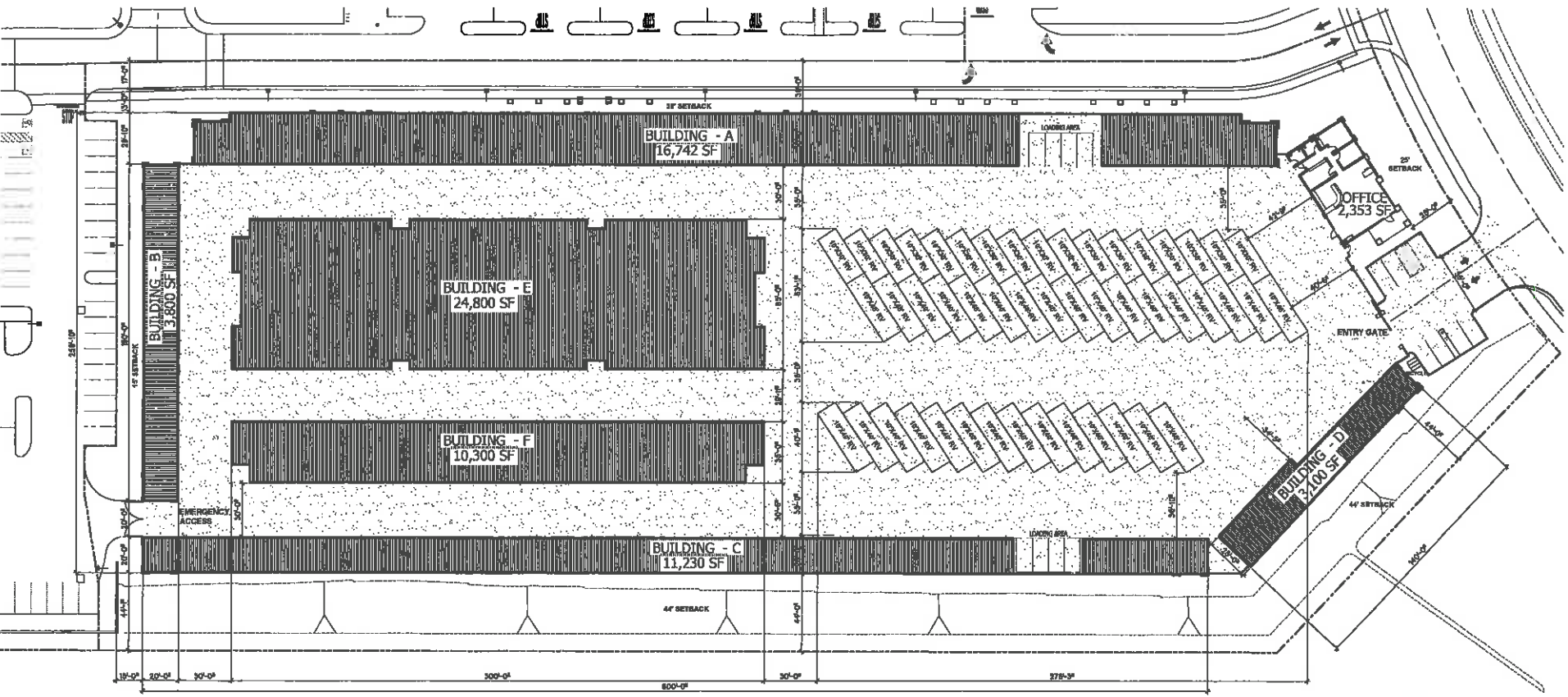
BUILDING DATA

BLDG. 'A' 1 STORY 16,742 SQ. FT.
 BLDG. 'B' 1 STORY 3,800 SQ. FT.
 BLDG. 'C' 1 STORY 11,230 SQ. FT.
 BLDG. 'E' 1 STORY 24,800 SQ. FT.
 BLDG. 'F' 1 STORY 10,300 SQ. FT.

ARCHITECT

VALLI ARCHITECTURAL GROUP
 27405 PURITA VIAL, SUITE 235
 MISSION VIEJO, CA 92691
 CONTACT: ABEL L VALLI
 PHONE: 949/ 613-4191
 E-MAIL: avl@valliarch.com

STORAGE SUBTOTAL FLOOR AREA 69,872 SQ. FT.
 OFFICE 1 STORY 2,353 SQ. FT.
 PROJECT TOTAL FLOOR AREA 72,225 S Q. FT.



RANCON SELF STORAGE WV 85 - MARKETPLACE OVERALL SITE PLAN - PHASE 1
 MURRIETA, CA

PRELIMINARY 02.07.18
 15-1227
 NORTH
 SCALE 1"=30'



SITE DATA

SITE AREA 289,500 SQ. FT.
(6.5 ACRES)
TOTAL FLOOR AREA 146,633 SQ. FT.

OWNER/DEVELOPER

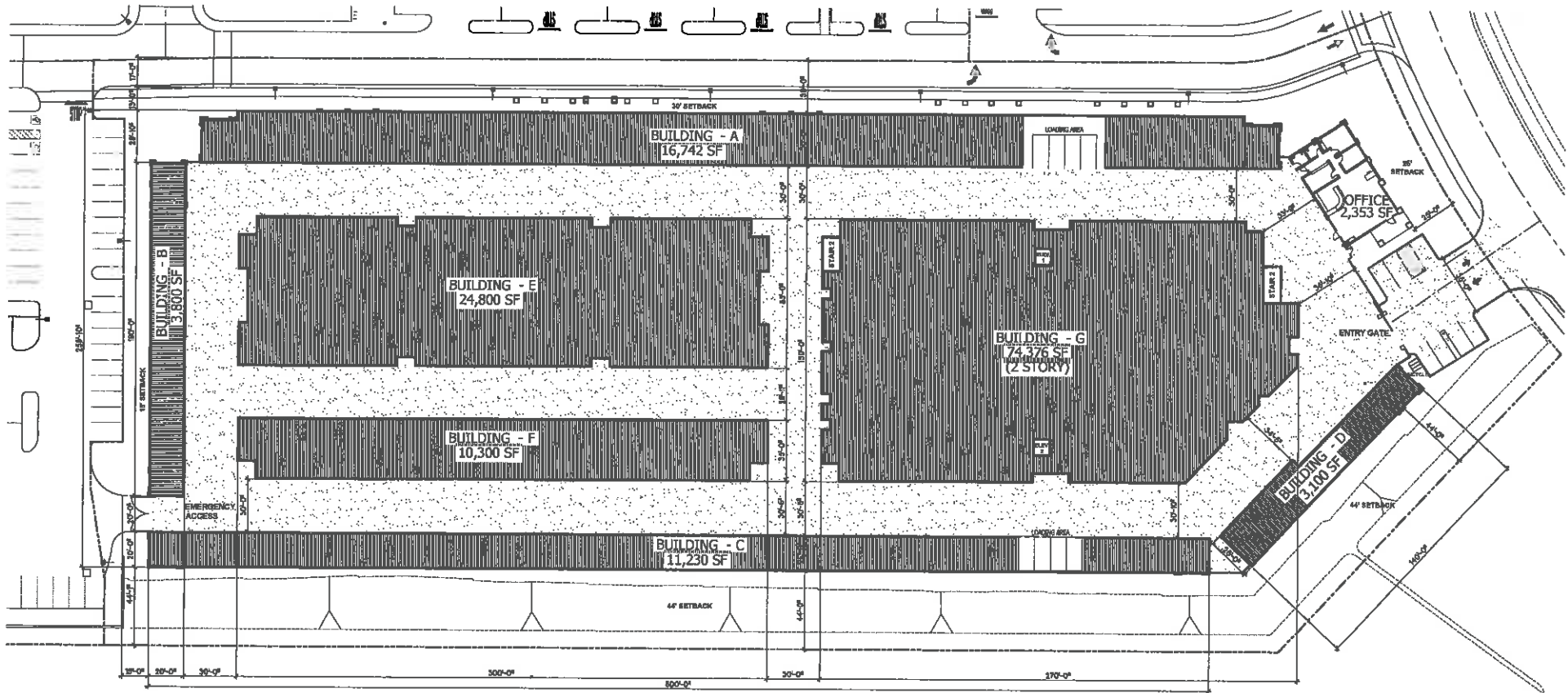
RANCON WINCHESTER VALLEY 85
4339 PALMA STREET, SUITE 200
MURRIETA, CA 92562
CONTACT: 951/286-6000
PHONE:
FAX:

BUILDING DATA

BLDG. W 1 STORY 16,742 SQ. FT.
BLDG. P 1 STORY 5,400 SQ. FT.
BLDG. V 1 STORY 11,230 SQ. FT.
BLDG. D 1 STORY 3,100 SQ. FT.
BLDG. Y 1 STORY 24,800 SQ. FT.
BLDG. F 1 STORY 10,300 SQ. FT.
BLDG. G 2 STORY 74,376 SQ. FT.
2ST FLOOR 37,367 SQ. FT.
2ND FLOOR 37,009 SQ. FT.
STORAGE SUIT TOTAL FLOOR AREA 149,300 SQ. FT.
OFFICE 1 STORY 2,353 SQ. FT.
PROJECT TOTAL FLOOR AREA 146,653 SQ. FT.

ARCHITECT

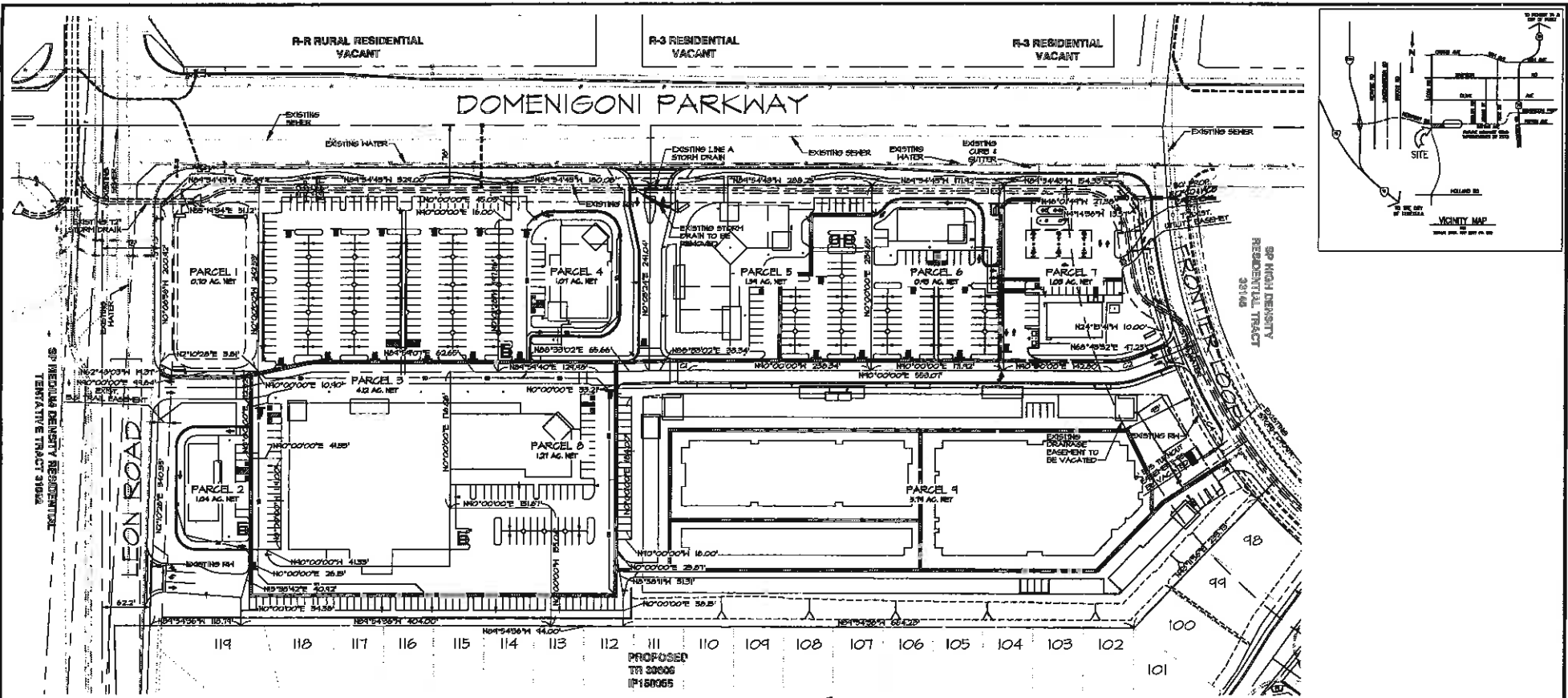
VALLI ARCHITECTURAL GROUP
2705 PUERTA REAL, SUITE 205
MISSION VIEJO, CA 92691
CONTACT: ARIEL L. VALLI
PHONE: 949/813-4191
E-MAIL: av@valliarch.com



RANCON SELF STORAGE WV 85 - MARKETPLACE OVERALL SITE PLAN - PHASE 2
MURRIETA, CA

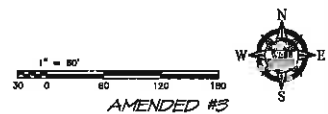
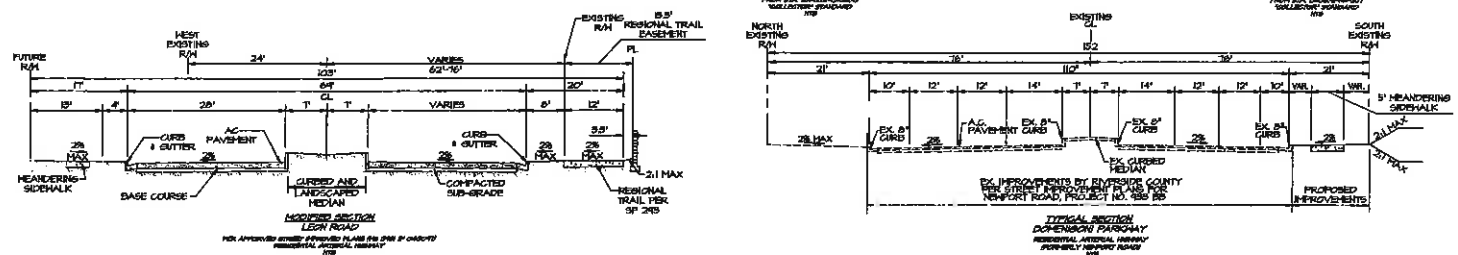
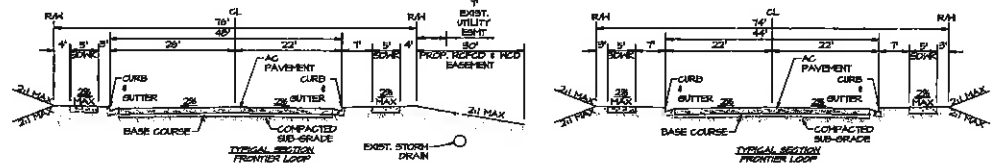
PRELIMINARY 02.07.18
16-1227 SCALE 1"=80'

VALLI ARCHITECTURAL GROUP
2705 PUERTA REAL, SUITE 205 PH: 949/813-4191
MISSION VIEJO, CA 92691 email: av@valliarch.com



CURVE DATA

CURVE #	CHORD BEARING	LENGTH	RADIUS	DELTA	TANGENT
C1	N84° 40' 32"E	16.96	141.00	117°50'	8.40
C2	N71° 21' 44"E	18.96	85.00	21°16'25"	15.86
C3	N17° 08' 39"W	85.68	856.00	15°47'59"	71.20
C4	N00° 00' 04"W	246.22	657.00	22°08'48"	124.61

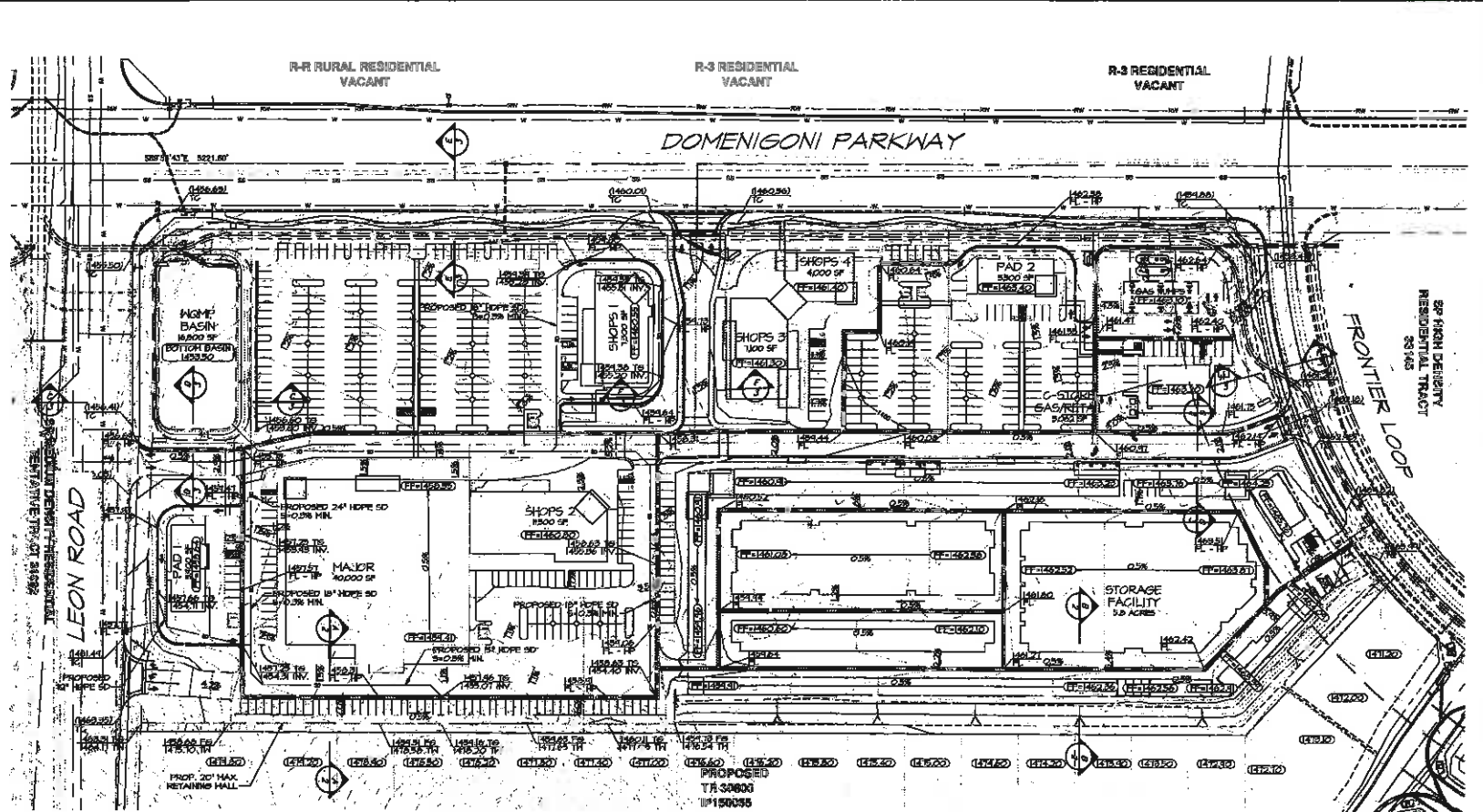
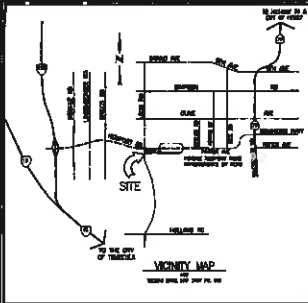


REVISION SITE PLAN	02-11-01	JRS
REVISION PER COUNTY COMMENT LETTER DATED 02-11-01	02-28-01	JRS
REVISION PER COUNTY COMMENT LETTER DATED 12-06-07	01-08-08	JRS
REVISION	02-11-08	JRS

WINCHESTER RANCH MARKETPLACE

COUNTY OF RIVERSIDE
TENTATIVE PARCEL NO. 35671

SCALE	1"=30'	ALBERT & ASSOCIATES	REGISTERED CIVIL ENGINEER	NO. 18-0318
DATE	1/28/2018	STEELE HUGHES STREET	ANN ARBOR, MI 48106	38227
DRAWN BY	JRS	PH. (817) 286-1070		2
CHECKED BY	JRS	FAX (817) 788-1225		OF 3 SHEETS
PLN OR REV.				ENC. NO.
E.R.				



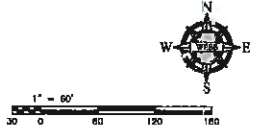
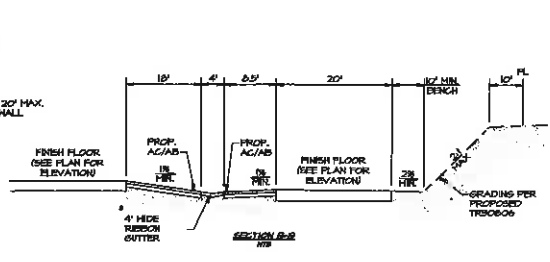
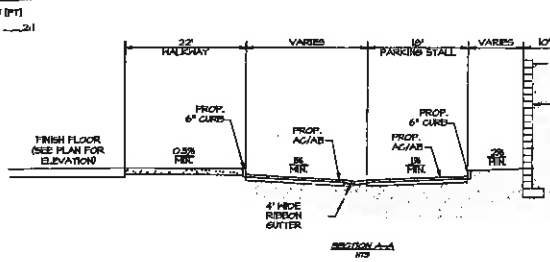
- LEGEND**
- DRESS AND ADDRESS
 - FF FINISH FLOOR
 - TC TOP OF CURB
 - FL FLOW LINE
 - HB HIGH POINT
 - GB GRAVE BREAK
 - FS FINISH SURFACE
 - PS FINISH GRADE
 - LP LOW POINT
 - TS TOP OF GRAVE
 - TH TOP OF BANK
 - FL FLOWLINE
 - SD STORM DRAIN

EARTHWORK

GRADED AREA	11.56 (ACRES)	MAX CUT DEPTH	10 (FT)
CUT QUANTITIES (BAH)	22,070 (CY)	MAX CUT SLOPE RATIO (H:V)	2:1
FILL QUANTITIES (BAH)	10,022 (CY)	MAX FILL DEPTH	17 (FT)
DIPORT	35,181 (CY)	MAX FILL SLOPE RATIO (H:V)	2:1

THIS PROJECT PROPOSES TO EXPORT 25,000 CUBIC YARDS OF MATERIAL TO THIS SITE. ALL DIPORT MATERIAL SHALL BE DEPOSITED TO A LEGAL DIPORT SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

NOTE: THE ABOVE LISTED QUANTITIES REFLECT THE ENGINEER'S ESTIMATE OF THE ACTUAL VOLUMES OF MATERIAL CUT AND FILLED. THESE QUANTITIES ARE FOR ESTIMATING AND BIDDING PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR COMPUTING HIS OWN QUANTITIES FOR CONTRACT PURPOSES. SHINKENS SUGGESTS, AND ANY REVISIONS ARE BASED ON FIELD DATA OBTAINED FROM THE SOILS ENGINEER AND ACTUAL FIELD CONDITIONS DURING CONSTRUCTION MAY VARY.



NO.	DATE	REVISIONS	DATE BY

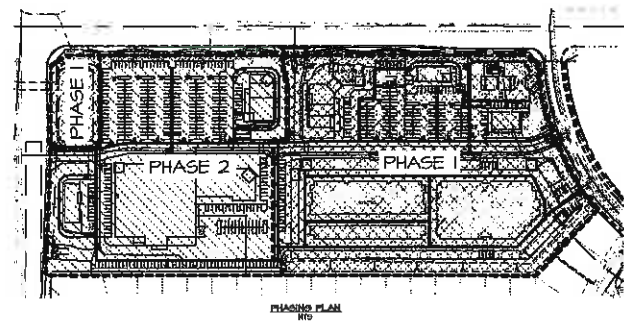
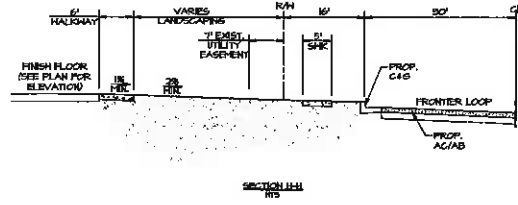
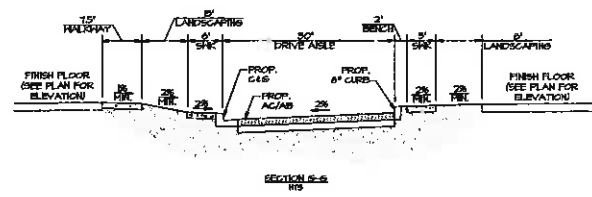
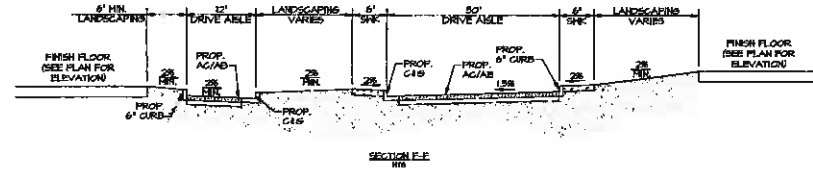
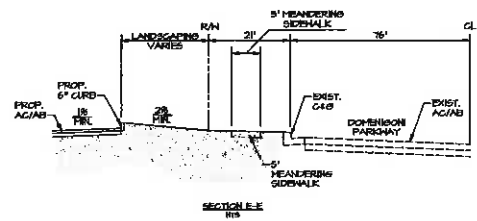
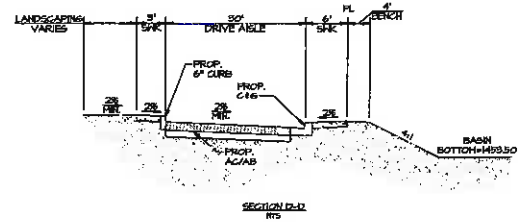
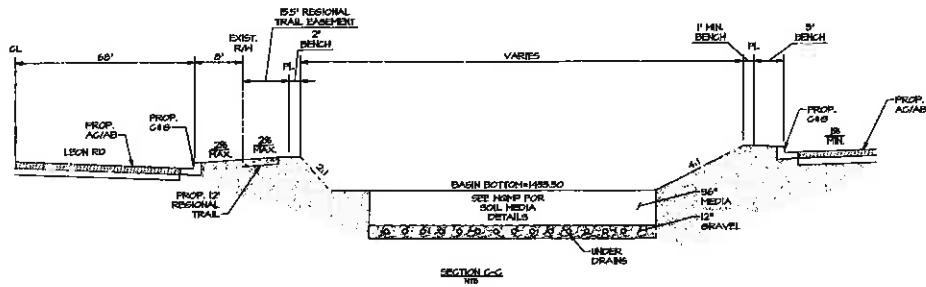
WINCHESTER RANCH MARKETPLACE

COUNTY OF RIVERSIDE
CONDITIONAL USE PERMIT 05182
CONCEPTUAL GRADING AND DRAINAGE PLAN

SCALE: 1"=50' DATE: 1/23/2010 DRAWN BY: JSL CHECKED BY: JSL PLAN OR REF. NO. SHEET NO. 2 OF 3 SHEETS

ENGINEER: **ASSET & ASSOCIATES**
3700 HIGHWAY STREET, RIVERSIDE, CA 92504
TEL: (951) 506-1070 FAX: (951) 749-1000

17-02-016 16 13-02 44



REVISIONS	DATE	BY

WINCHESTER RANCH MARKETPLACE

COUNTY OF RIVERSIDE
CONDITIONAL USE PERMIT 03102
CROSS SECTIONS

SCALE: 1"=30'	DESIGNING CONSULTANT: AWERR	W.O. 16-2316
DATE: 7/23/2016	3700 MADISON STREET RIVERSIDE, CA 92503	PROJECT: 3
PERSON: JI	PH: (951) 884-1970	SHEET: 3
CHECKED: JED	FAX: (951) 798-1294	OF 3 SHEETS
PLN OR REF:		DWG. NO.
P.S.		

C:\Users\jedi\Documents\Projects\16-0316-C-Corps\16-0316-C-Corps-17/23/2016 8:13:58 AM

Symbol	Qty	Label	Arrangement	Test Lamp Lumens	LFP	Description
⊙	24	A	SINGLE	2827	0.850	Louis Posbon " 6696, IN, LED, ALB-MIN-PT, 1.2D
⊖	30	B	SINGLE	N.A.	0.850	Sparking CL15-22-763-035
⊖	28	D	BACK-BACK	N.A.	0.850	Sparking CL15-22-763-035

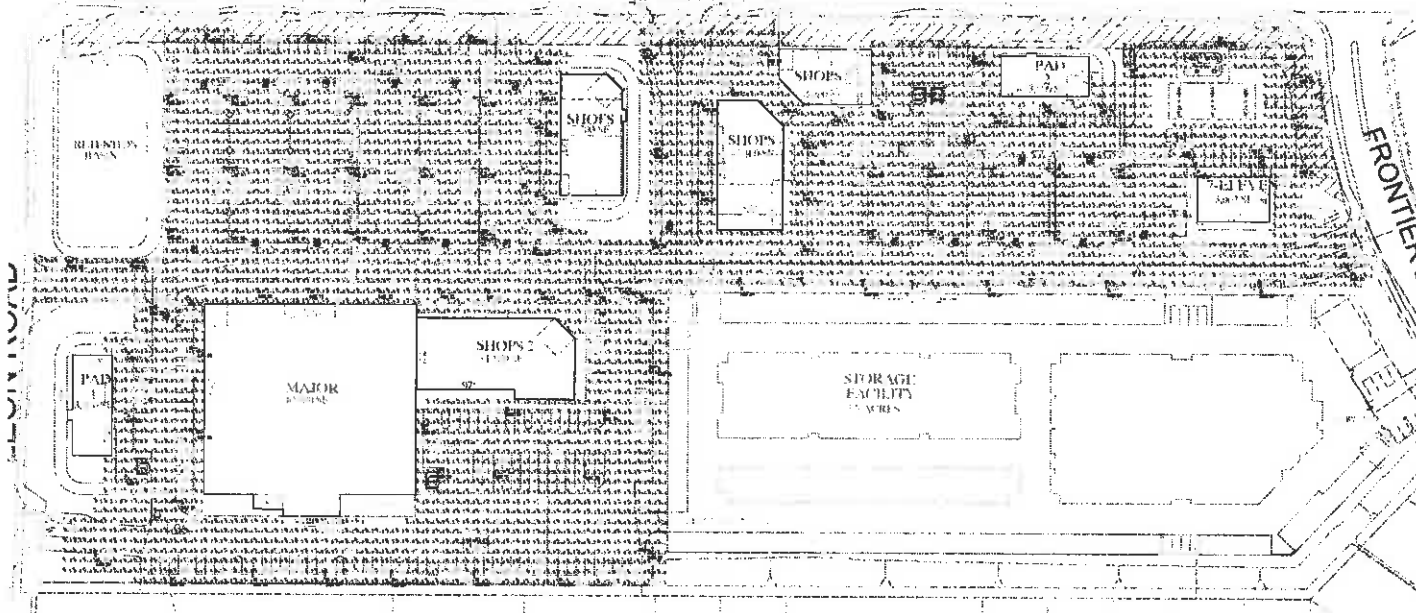
Calculative Summary

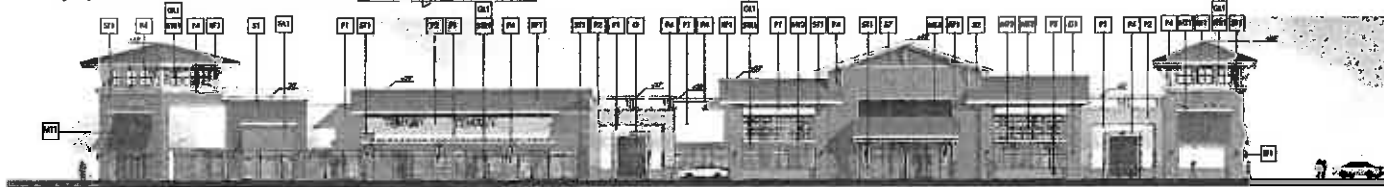
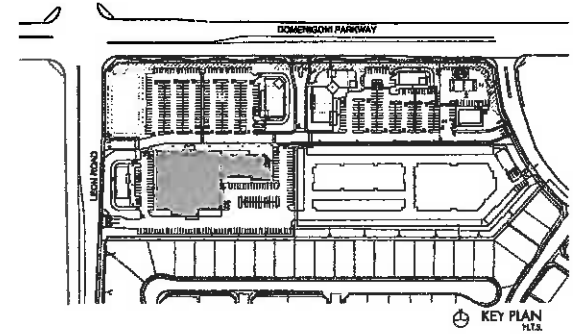
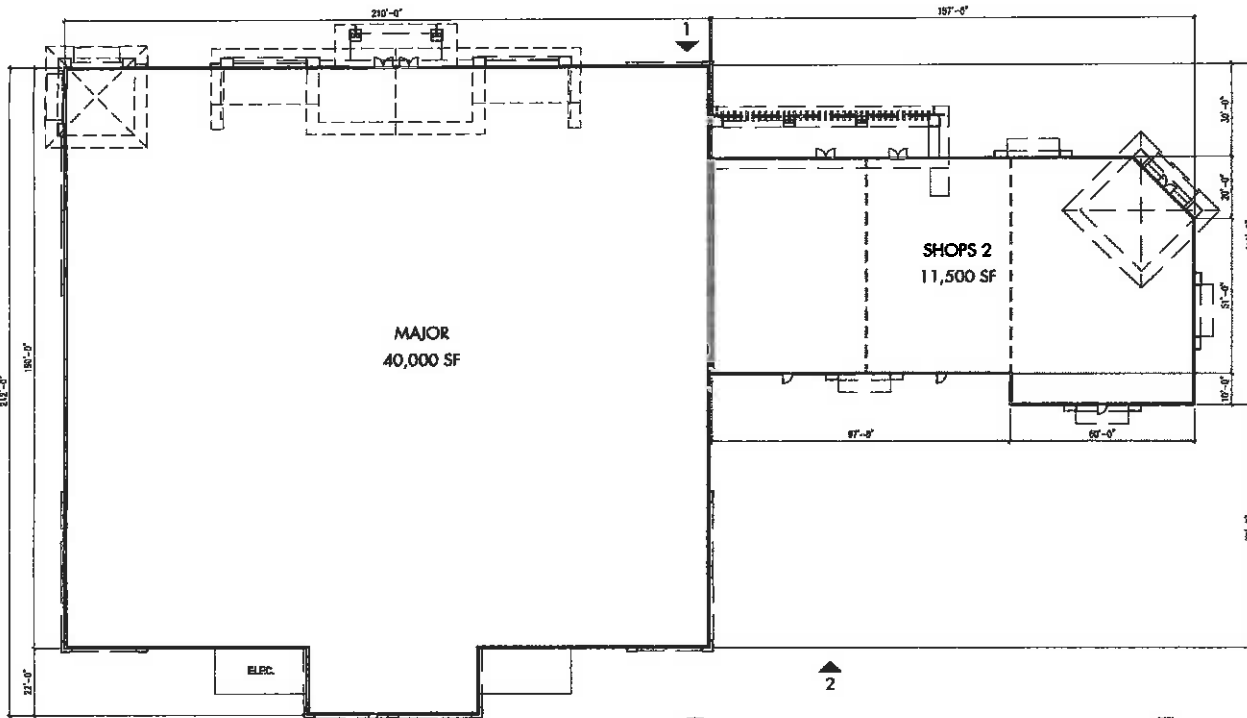
Label	CalcType	Units	Avg	Max	Min	Avg/Fm	Max/Fm
Parking	Fluorescence	Ft.	0.93	3.7	0.1	0.30	37.00

Author:
 Winchester Ranch, Merced, 2018-1-29, ACH
 Report by: Ashim Kati
 Design by: Samuel Adams, Applications Engineer
 Modeling by: See Drawing
 See Luminaire Schedule for Light Loss Factor - Unless otherwise specified by customer
 Reference: IESNA-90-020 - Unless otherwise specified by customer
 Date: 1/29/2018

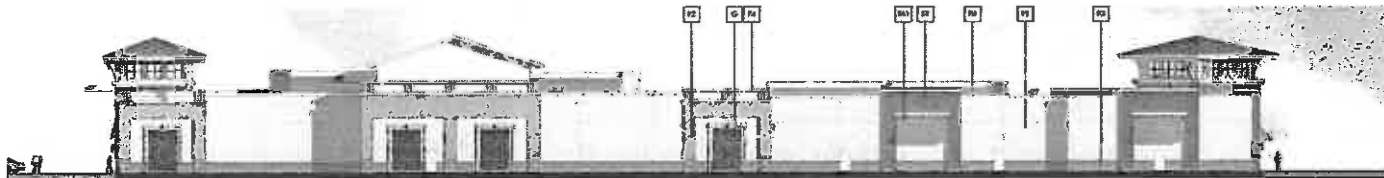
—Disclaimer—
 Luminaire data is obtained according to IES procedures under controlled laboratory conditions. Field results may differ from catalogue predictions due to many uncontrollable factors including, but not limited to: Line Voltage Variation, Lamp Performance, Ballast input watt, C.O.D. (Distance from wall, Emergency Use Only, and Fixture Condition)

DOMENIGONI PARKWAY

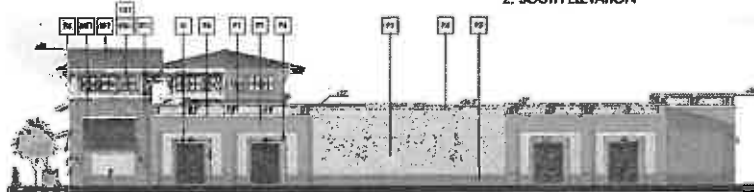




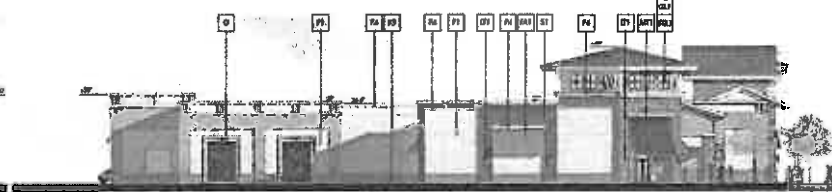
1. NORTH ELEVATION



2. SOUTH ELEVATION

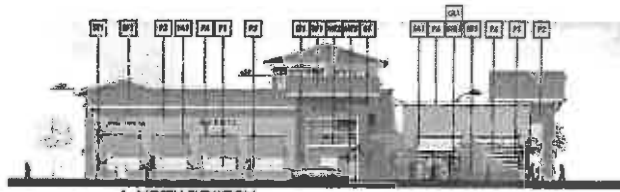
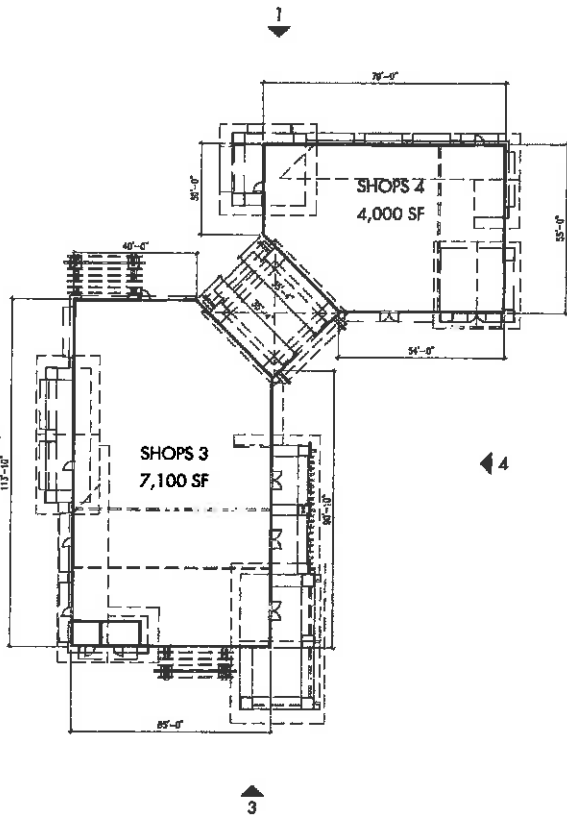


3. WEST ELEVATION

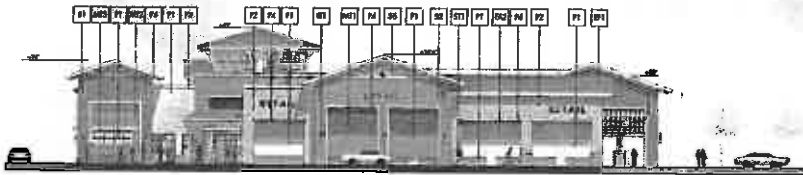


4. EAST ELEVATION

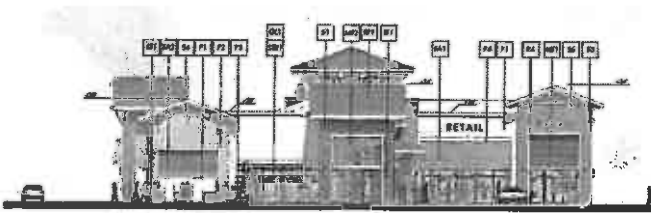
- P1 EXTERIOR CEMENT PLASTER FINISH
SEMI-SMOOTH BY OMEGA
COLOR TO MATCH DENN EDWARDS #06149 - CREAM WASHED
- P2 EXTERIOR CEMENT PLASTER FINISH
SEMI-SMOOTH BY OMEGA
COLOR TO MATCH DENN EDWARDS #06143 - ALMOND LATE
- P3 EXTERIOR CEMENT PLASTER FINISH
SEMI-SMOOTH BY OMEGA
COLOR TO MATCH DENN EDWARDS #06144 - 10KEY ROAD
- P4 EXTERIOR CEMENT PLASTER FINISH
SEMI-SMOOTH BY OMEGA
COLOR TO MATCH DENN EDWARDS #06145 - COOL DECREASE
- P5 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - COUNTRYLANE RED
- P6 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - DYNADIG BLUE
- P7 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - HEATHERED MOSS
- P8 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - WOODLAND CREAM
- P9 HARDIE VENTED SOFFIT SYSTEM - SMOOTH
COLOR - ARCTIC WHITE
- P10 HARDIE PANELS - SMOOTH W/HARDIE TRIMBATEN BOARDS -
SMOOTH
COLOR - CORNICE STONE
- P11 HARDIE PANELS - SMOOTH W/HARDIE TRIMBATEN BOARDS -
SMOOTH
COLOR - COUNTRYLANE RED
- P12 PPG IDEASCAPES, SOLARBAN 60 CLEAR
- P13 ARCADIA INC. ANODIZED CLEAR AC2
- P14 FABRIC AWNING COLOR TO MATCH "ROAST"
BY SUNBELLA, PRESSIT
- P15 FABRIC AWNING COLOR TO MATCH "TAN"
BY SUNBELLA, PRESSIT
- P16 FABRIC AWNING COLOR TO MATCH "TRIE BROWN"
BY SUNBELLA, PRESSIT
- P17 MONTECITO CLIFFSTONE DRYSTACK
BY BORDADO SCONE
- P18 VENEAGE PANELS
"CONCRETEFORM" WALLHUNG TRUSS PANELS
- P19 B & C AWNINGS INC. ANODIZED ALUMINUM SERIES
METAL AWNING - MEDIUM BRONZE BY BERGDOE
- P20 B & C AWNINGS INC. ALUMINUM TUBE WALL COLUMN -
SHASTA WHITE BY BERGDOE
- P21 B & C AWNINGS INC. STAINLESS SERIES
METAL CANOPY SHASTA WHITE BY BERGDOE
- P22 BRAND METAL PANELS WALL SIDING
TRUSS BY METAL SALES/PUR (KONAMAROO) PAINT
SYSTEM/ARCHITECT FINISH
- P23 SCOF TRUSS - FABRIC ROOFING "PONDROBA" - COLOR 5502 -
ARCADIA
- P24 DECORATIVE LIGHT SCULPTURE



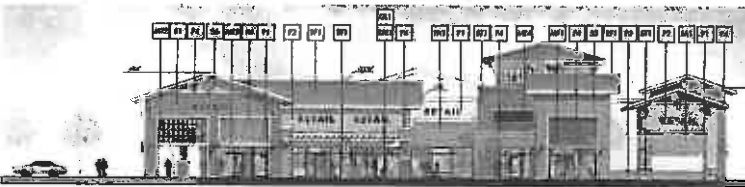
1. NORTH ELEVATION



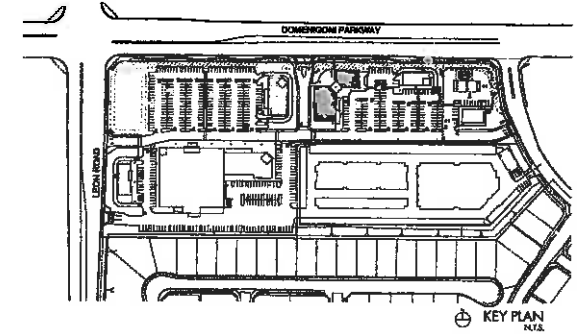
2. WEST ELEVATION



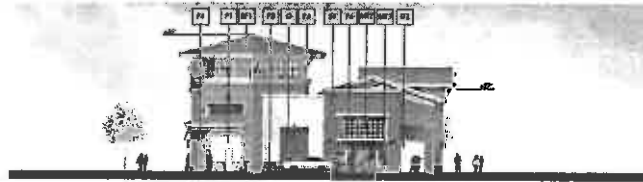
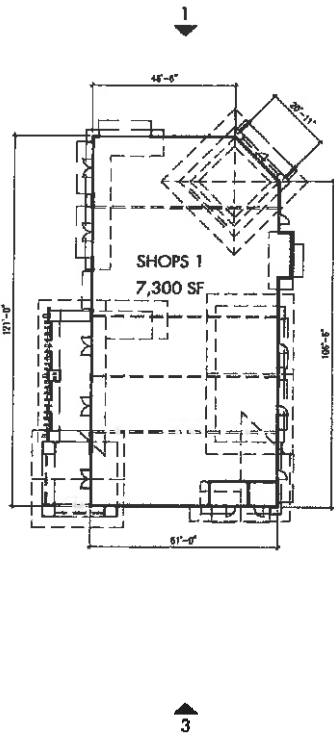
3. SOUTH ELEVATION



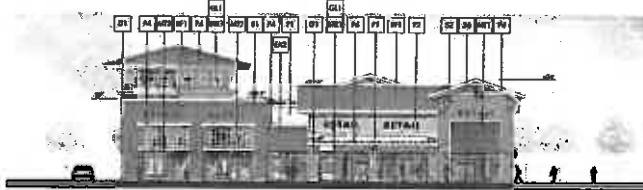
4. EAST ELEVATION



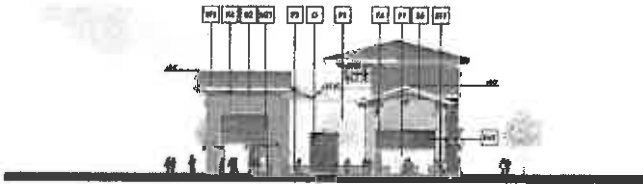
- 01 EXTERIOR CONCRETE PLASTER FINISH
SEAMSMOOTH BY CAMECA
COLOR TO MATCH DUNN EDWARDS #066149 - CREAM WASHED
- 02 EXTERIOR CONCRETE PLASTER FINISH
SEAMSMOOTH BY CAMECA
COLOR TO MATCH DUNN EDWARDS #056143 - ALMOND LITE
- 03 EXTERIOR CONCRETE PLASTER FINISH
SEAMSMOOTH BY CAMECA
COLOR TO MATCH DUNN EDWARDS #066144 - LONEW ROAD
- 04 EXTERIOR CONCRETE PLASTER FINISH
SEAMSMOOTH BY CAMECA
COLOR TO MATCH DUNN EDWARDS #066144 - LONEW ROAD
- 05 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - COUNTRYMANE RED
- 06 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - EVENING BLUE
- 07 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - HEATHLED MOSS
- 08 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - WOODLAND CREAM
- 09 HARDIE VENTED SOFFIT SYSTEM - SMOOTH
COLOR - ARCTIC WHITE
- 10 HARDIE PANELS - SMOOTH W/HARDE TIMBATTEN BOARDS
SMOOTH
COLOR - COUNTRYMANE RED
- 11 HARDIE PANELS - SMOOTH W/HARDE TIMBATTEN BOARDS
SMOOTH
COLOR - COUNTRYMANE RED
- 012 PPO IDEASCAPES, SOLARBAN 60 CLEAR
- 013 ALCADIA INC, ANOZZEO CLEAR ACZ
- 014 FABRIC AWNING COLOR TO MATCH "FOAST"
BY SUNBELLA, FREEST
- 015 FABRIC AWNING COLOR TO MATCH "TAY"
BY SUNBELLA, FREEST
- 016 FABRIC AWNING COLOR TO MATCH "TIRE BRONZE"
BY SUNBELLA, FREEST
- 017 MONTECITO CLAYSTONE (KEYSTACK)
BY ELDERADO STONE
- 018 VINTAGE PANELS
"ORIGINATED" WALL HUNG TRUSS PANELS
- 019 B & C AWNING INC, ANOZZEO ANOZZEO SERIES
METAL AWNING - MEDUSA TRUCKS BY BEREDGE
- 020 B & C AWNING INC, ALUMINUM TUBE WALL COVER -
SHASTA WHITE BY BEREDGE
- 021 B & C AWNING INC, STAINLESS SERIES
METAL CANOPY SHASTA WHITE BY BEREDGE
- 022 EARED METAL PANELS WALL SIDING
R1322 BY METAL SALES/POF (BYNARDSON PAINT)
SYSTEM/METAL BRONZE
- 023 ROOF TILE - EAGLE ROOFING "CONDROSA" - COLOR 3501 -
ARCADIA
- 024 DECORATIVE LIGHT SCENCE



1. NORTH ELEVATION



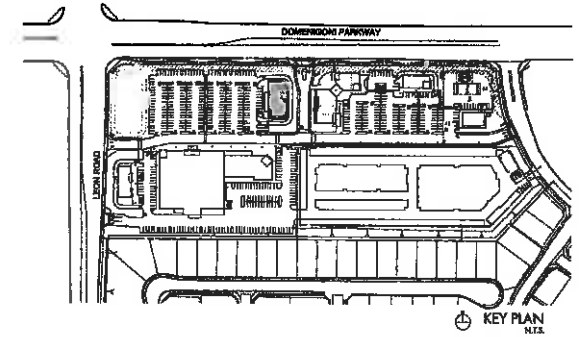
2. WEST ELEVATION



3. SOUTH ELEVATION

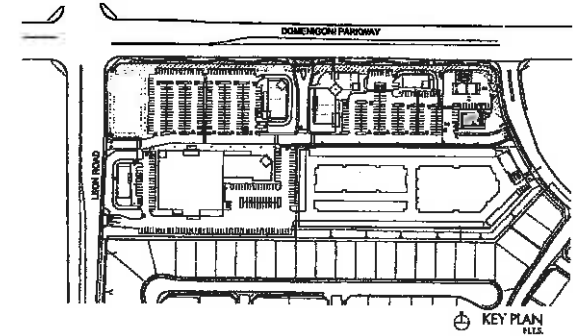
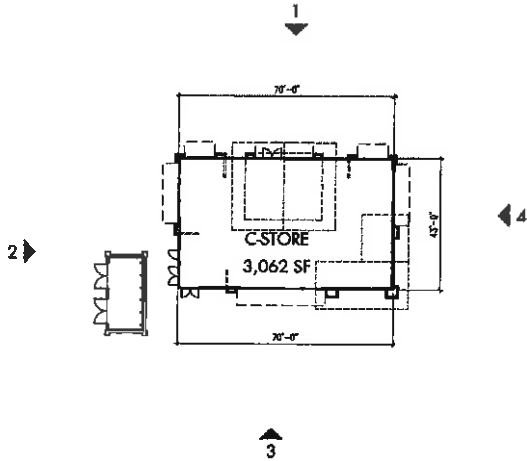
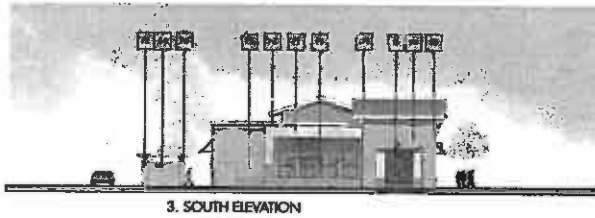
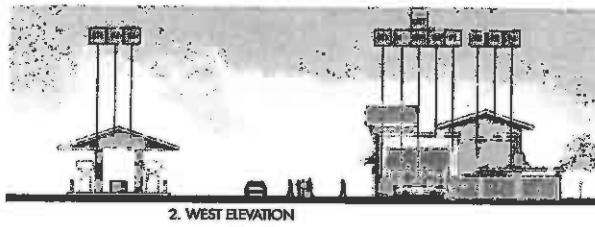
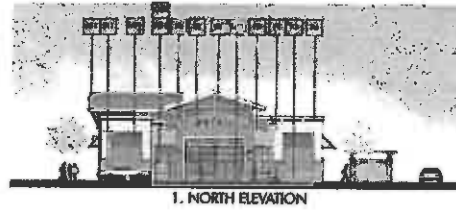


4. EAST ELEVATION

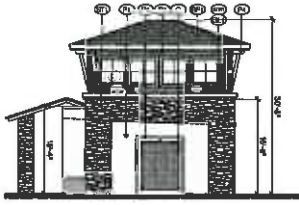


KEY PLAN
N.T.S.

- P1 EXTERIOR CEMENT PLASTER FINISH
REB-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #066149 - CREAM WASHED
- P2 EXTERIOR CEMENT PLASTER FINISH
REB-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #064143 - ALMOND LITE
- P3 EXTERIOR CEMENT PLASTER FINISH
REB-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #066146 - LONEY ROAD
- P4 EXTERIOR CEMENT PLASTER FINISH
REB-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #069263 - COOL DECORER
- S1 HARDE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - COUNTRYLAME RED
- S2 HARDE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - EVENING BLUE
- S3 HARDE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - HEATHERED MOSS
- S4 HARDE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - WOODLAND CREAM
- R0 HARDE VENTED SOFFIT SYSTEM - SMOOTH
COLOR - ARCTIC WHITE
- M1 HARDE PANELS - SMOOTH W/HARDE TRIMBATTEN BOARDS - SMOOTH
COLOR - COBBLE STONE
- P7 HARDE PANELS - SMOOTH W/HARDE TRIMBATTEN BOARDS - SMOOTH
COLOR - COUNTRYLAME RED
- W1 PPG IDEASCAPES, SOLARBAN 60 CLEAR
- W2 ARCADIA INC. ANOXIZED CLEAR AGC
- A1 FABRIC AWNING COLOR TO MATCH "TOAST"
BY SUNBELLA, FREESTY
- A2 FABRIC AWNING COLOR TO MATCH "TAN"
BY SUNBELLA, FREESTY
- A3 FABRIC AWNING COLOR TO MATCH "TRUE BROWN"
BY SUNBELLA, FREESTY
- E1 MONTECITO CHEYSTONE (ENSTACK)
BY ELDERADO STONE
- G VINEAGE FINISHES
"GREENSCREEN" WALL HUNG TRELLIS PANELS
- M2 B & C AWNING INC. ANOXIZED AIRFLOW SERIES
METAL AWNING - MEDIUM BRONZE BY BERBIDGE
- M3 B & C AWNING INC. ALUMINUM TUBE WALL LOUVER -
SHASTA WHITE BY BERBIDGE
- M4 B & C AWNING INC. SHARP SERIES
METAL CANOPY SHASTA WHITE BY BERBIDGE
- M5 RIBBED METAL PANELS WALL SIDING
1U122 BY METAL BAKESUP (BYN42500) PAINT
SYSTEM-MEDIUM BRONZE
- R1 ROOF TRE - RAKE ROOFING "PONDEROSA" . COLOR 3102 -
ARCADIA
- L1 DECORATIVE LIGHT SCIENCE



- #1 EXTERIOR CEMENT PLASTER FINISH
SMA-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #005149 - CREAM W/ANGED
- #2 EXTERIOR CEMENT PLASTER FINISH
SMA-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #005143 - ALMOND LATE
- #3 EXTERIOR CEMENT PLASTER FINISH
SMA-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #005146 - LONEY ROAD
- #4 EXTERIOR CEMENT PLASTER FINISH
SMA-SMOOTH BY OMEGA
COLOR TO MATCH DUNN EDWARDS #005155 - COOL DECEMBER
- #51 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - COUNTRYMANE RED
- #52 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - EVENING BLUE
- #53 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - HEATHERED MOSS
- #54 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH
COLOR - WOODLAND CREAM
- #55 HARDIE VENTED SOFFIT SYSTEM - SMOOTH
COLOR - ARCTIC WHITE
- #56 HARDIE PANELS - SMOOTH W/HARDIE TRIMBATEN BOARDS -
SMOOTH
COLOR - COBBLE STONE
- #57 HARDIE PANELS - SMOOTH W/HARDIE TRIMBATEN BOARDS -
SMOOTH
COLOR - COUNTRYMANE RED
- #58 PIG IRIDESCENTES, SOLARBAN 60 CLEAR
- #59 ARCADIA INC. ANOZED CLEAR AC2
- #60 FABRIC AWNING COLOR TO MATCH "TOAST"
BY SUNBELLA, TRESST
- #61 FABRIC AWNING COLOR TO MATCH "TAP"
BY SUNBELLA, TRESST
- #62 FABRIC AWNING COLOR TO MATCH "BLUE BROWN"
BY SUNBELLA, TRESST
- #63 MONITECTO CUFFSTONE (BRYSTACK)
BY ELDORADO STONE
- #C VENEAGE PANELS
"ORION-SCHEN" WALL PIERO TRUSS PANELS
- #M1 B & C AWNING INC. ANGLED AIRFLOW SERIES
METAL AWNING - MEDIUM BRONZE BY BERBROCK
- #M2 B & C AWNING INC. ALUMINUM TUBE WALL LOUVER.
SHASA WHITE BY BERBROCK
- #M3 B & C AWNING INC. STASH UP SERIES
METAL CANOPY SHASA WHITE BY BERBROCK
- #M4 BRIBED METAL TRUSS WALL SIDING
TL-22 BY METAL SALES/POV POT/ASTON PAINT
SYSTEM/MEDIUM BRONZE
- #M5 ROOF TIE - EAGLE ROOFING "PONDERSIA" - COLOR 5502 -
ARCADIA
- #M6 DECORATIVE LIGHT SOURCE



BUILDING A - WEST

SCALE: 1/4" = 1'-0"

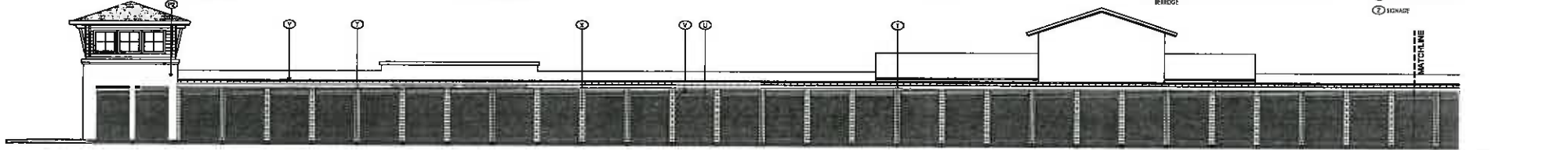


BUILDING A - EAST

SCALE: 1/4" = 1'-0"

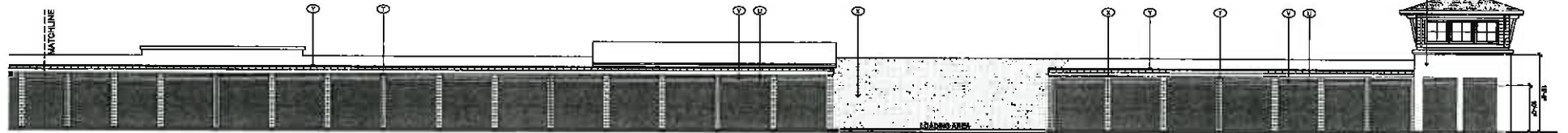
ELEVATION KEY NOTES

- 11 EXTERIOR CEMENT PLASTER FINISH SHADINGS BY OMEGA COLOR TO MATCH DUANE EDWARDS FOR 145 - CREAM WASHED
- 12 EXTERIOR CEMENT PLASTER FINISH SHADINGS BY OMEGA COLOR TO MATCH DUANE EDWARDS FOR 145 - ALABASTO LATITE
- 13 EXTERIOR CEMENT PLASTER FINISH SHADINGS BY OMEGA COLOR TO MATCH DUANE EDWARDS FOR 145 - LONELY ROAD
- 14 EXTERIOR CEMENT PLASTER FINISH SHADINGS BY OMEGA COLOR TO MATCH DUANE EDWARDS FOR 145 - COOL DECEASER
- 15 HARDIE PLANK LAP SIDING SYSTEM - SHADING COLOR - CONVENTLANE RED
- 16 HARDIE PLANK LAP SIDING SYSTEM - SHADING COLOR - FENDING BLUE
- 17 HARDIE PLANK LAP SIDING SYSTEM - SHADING COLOR - HARVEST GREEN
- 18 HARDIE VIMBRO ZONIT SYSTEM - SHADING COLOR - ARCTIC WHITE
- 19 HARDBE PANEL - SHADING/WEATHER-BATTEN BOARD - SHADING COLOR - CONVENTLANE
- 20 HARDBE PANEL - SHADING/WEATHER-BATTEN BOARD - SHADING COLOR - CONVENTLANE RED
- 21 PPO ON ASCAPS, EXTERIOR AS CLEAR
- 22 ARCADIA INC. ANCOBRED CLEAR 600-2
- 23 FABRIC AWNING COLOR TO MATCH "TOMMY" BY SUNSPILLA, PRIST
- 24 FABRIC AWNING COLOR TO MATCH "TIRE SHOWN" BY SKIMELLA, PRIST
- 25 MANTICRO CLIPSTONE BRITANNIC BY ELDORADO STONE
- 26 VINTAGE PANEL - GREENCREST WALL BRICK BRICK PANELS
- 27 B & C AWNING INC., ANCOBRED ARYLON SERIES METAL AWNING - MEDIUM BROUTE BY BRADGEE
- 28 B & C AWNING INC., ALUMINUM BEE WALL COVER - SHASSA WHITE BY BRADGEE
- 29 B & C AWNING INC., BARR-UP DEEP METAL CANOPY - SHASSA WHITE BY BRADGEE
- 30 FINED METAL PANEL WALL BOARD 16-22 BY METAL SALES - P/OF 25"X40"X2 PANEL SYSTEM - MEDIUM BROWN
- 31 EDGE T-1 - SINGLE ROOMING PONDERS 25" - COLOR 3803 - JACARANDA CANYON BROWN
- 32 METAL CURBS AND DOWNPOUTS, COLOR TO MATCH MANTICRO BRICK 300 "SHADINGS" COLOR
- 33 ANVIL REFRIGERATIONAL SOIL BY DOCK HERL, COLOR "POLAR BLUE"
- 34 JAMES REFRIGERATIONAL DOOR COLOR "POLAR BLUE"
- 35 DOOR METAL BRASSON PANEL, MANTICRO BRICK 300 "SHADINGS" COLOR
- 36 METAL PANEL, VERTICAL MANTICRO BRICK 300 "SHADINGS" COLOR
- 37 WINDOW REFRIGERATIONAL GLASS AT OFFICE
- 38 FRIGERON CHS, COLOR TO MATCH DUANE EDWARDS FOR 145 - CREAM WASHED
- 39 SILE FACE CHAL, COLOR TO MATCH DUANE EDWARDS FOR 145 - LONELY ROAD
- 40 STANDING SEAM METAL ROOF
- 41 SIGNAGE



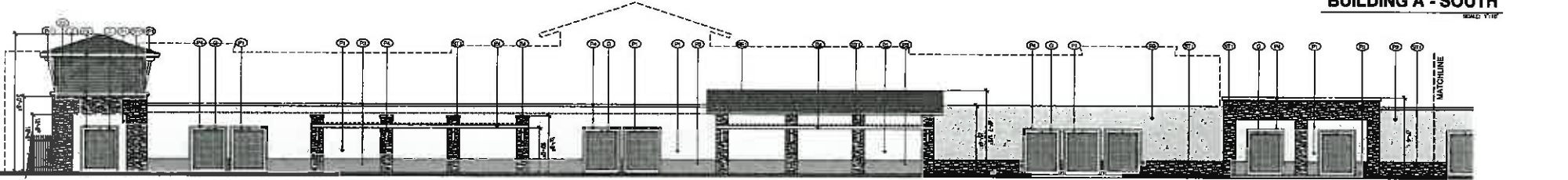
BUILDING A - SOUTH

SCALE: 1/4" = 1'-0"



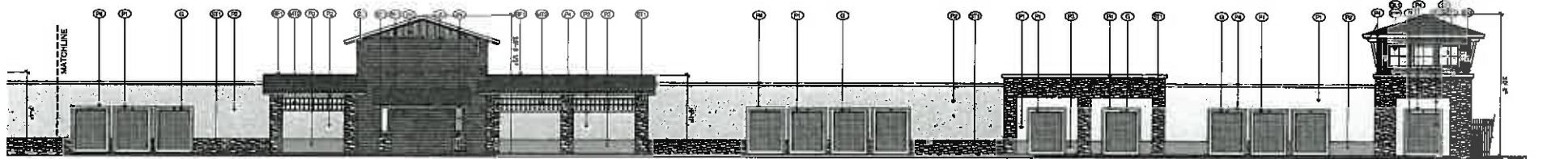
BUILDING A - SOUTH

SCALE: 1/4" = 1'-0"



BUILDING A - NORTH

SCALE: 1/4" = 1'-0"



BUILDING A - NORTH

SCALE: 1/4" = 1'-0"

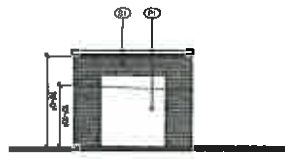
RANCON SELF STORAGE WV 85 - MARKETPLACE
MURRIETA, CA

BUILDING ELEVATIONS

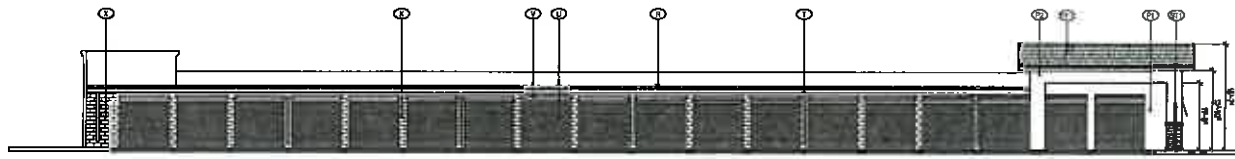
PRELIMINARY 02.07.18

16-1227

VALLI ARCHITECTURAL GROUP
2245 FUERTA REAL, SUITE 225 PH: 949/ 813-4191
MISSION VIEJO, CA 92691 e-mail: vand@valliand.com



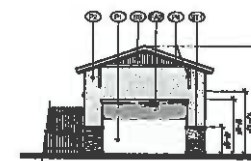
BUILDING B - SOUTH
SCALE: 1/16"



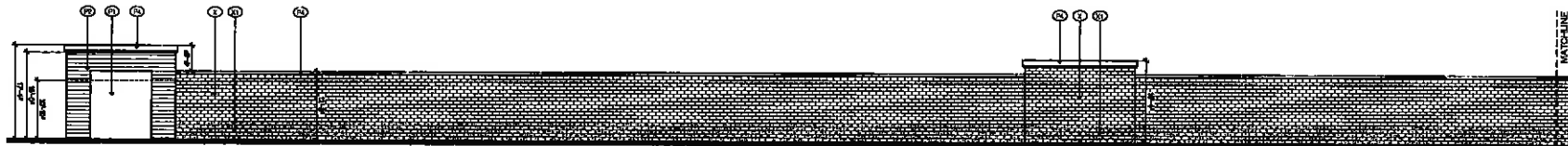
BUILDING B - EAST
SCALE: 1/16"

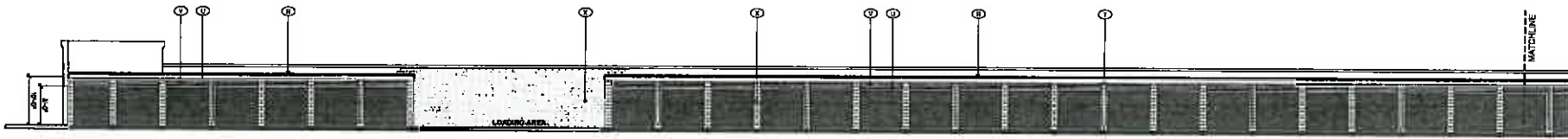


BUILDING B - WEST
SCALE: 1/16"



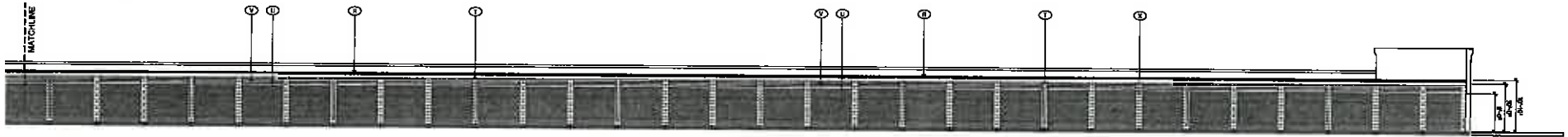
BUILDING B - NORTH
SCALE: 1/16"





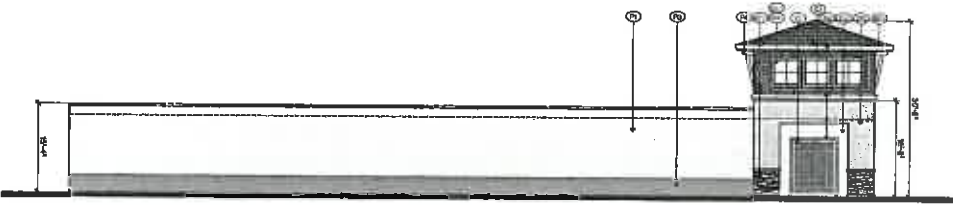
BUILDING C - NORTH

SCALE: 1/4"=1'-0"



BUILDING C - NORTH

SCALE: 1/4"=1'-0"

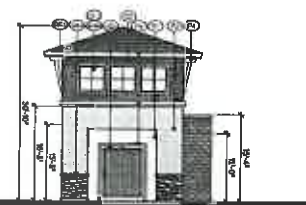


BUILDING D - SOUTH EAST

SCALE: 1/4"=1'-0"

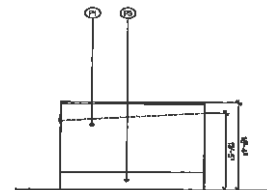
ELEVATION KEY NOTES

- (1) EXTERIOR CONCRETE PLASTER FINISH SHOWN BY OMEGA COLOR TO MATCH DUNN EDWARDS F02814 - CREAM WASHED
- (2) EXTERIOR CONCRETE PLASTER FINISH SHOWN BY OMEGA COLOR TO MATCH DUNN EDWARDS F02814 - ALMOND LATE
- (3) EXTERIOR CONCRETE PLASTER FINISH SHOWN BY OMEGA COLOR TO MATCH DUNN EDWARDS F02814 - HONEY BOLD
- (4) EXTERIOR CONCRETE PLASTER FINISH SHOWN BY OMEGA COLOR TO MATCH DUNN EDWARDS F02814 - COCK COCCABLE
- (5) HARDY PLANK LAP SIDING SYSTEM - SMOOCH COLOR - COUNTRY LANE RD
- (6) HARDY PLANK LAP SIDING SYSTEM - SMOOCH COLOR - PAVING BLUE
- (7) HARDY PLANK LAP SIDING SYSTEM - SMOOCH COLOR - HEATHERED LACES
- (8) HARDY PLANK LAP SIDING SYSTEM - SMOOCH COLOR - HAZEL CREAM
- (9) HARDY VENTED SYSTEM - SMOOCH COLOR - ANCTIC WHITE
- (10) HARDY PANELS - SMOOCH HAZEL CREAM/HEATHERED LACES - SMOOCH COLOR - COUNTRY LANE
- (11) HARDY PANELS - SMOOCH HAZEL CREAM/HEATHERED LACES - SMOOCH COLOR - COUNTRY LANE
- (12) PPG ISOLACAPS, SOLARBAN 40 CLEAR
- (13) ARCADIA INC., ANODIZED CLE 1/2" x 2"
- (14) FABRIC AWNING COLOR TO MATCH "ROAD" BY SUNBELLA, WEST
- (15) FABRIC AWNING COLOR TO MATCH "LAP" BY SUNBELLA, WEST
- (16) MONTECRO CLIFFSIDE BENTFACE BY ELDOBADO STONE
- (17) VINEAGE PANELS "GREENGLAZED" WALLING MALLER PANELS
- (18) B & C AVENUES INC., ANODIZED ALUMINUM BEAMS METAL AWNING - ANODIZED BRONZE BY BERRIDGE
- (19) B & C AVENUES INC., ALUMINUM TUBE WALL LOUVER - SANDIA WHITE BY BERRIDGE
- (20) B & C AVENUES INC., SLABWIP EDGE METAL CANOPY - SANDIA WHITE BY BERRIDGE
- (21) RIBBED METAL PANELS WALL SIDING 8'-12" BY METAL GALD - PVCY (BY NASSCO) PART 12138H - MEDICAL BRIDGE
- (22) DOOR TRAIL - EAGLE SIDING "PONDURDS" - COLOR 502 - ARCHER CANYON BROWN
- (23) METAL GUTTER AND DOWNSPOUTS, COLOR TO MATCH METAL SIGNATURE 300 "SIGNATURE"
- (24) JAVIS INTERNATIONAL BOLL 67 DOOR (RP 3, COLOR "POLAR BLUE"
- (25) JAVIS INTERNATIONAL ECOL, COLOR "POLAR BLUE"
- (26) DOOR METAL TRIM/BOTTOM PANEL, DESIGN #192 300 "SIGNATURE"
- (27) METAL PANEL, VERTICAL, ANCI. SIGNATURE 300 "SIGNATURE"
- (28) WINDOW WOODGRANT GLASS AS OFFICE.
- (29) PRECISION CHAIR, COLOR TO MATCH DUNN EDWARDS F02814 - CREAM WASHED
- (30) SILENCE CAR, COLOR TO MATCH DUNN EDWARDS F02814 - HONEY BOLD.
- (31) STANDING BEAM METAL ROOF.
- (32) SIGNAGE



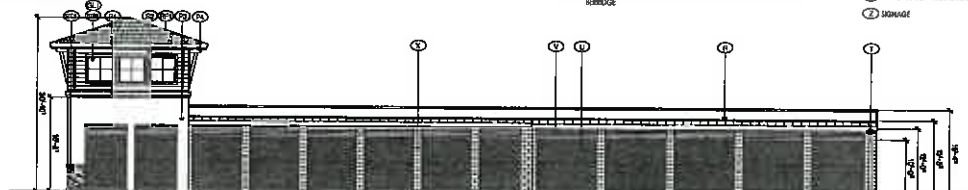
BUILDING D - NORTH EAST

SCALE: 1/4"=1'-0"



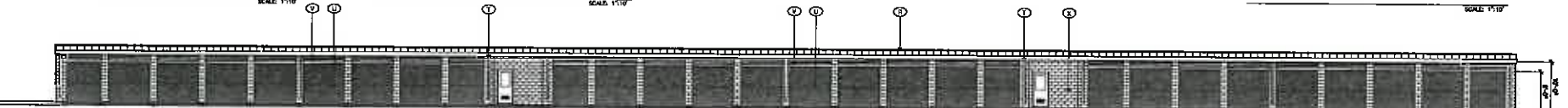
BUILDING D - SOUTH WEST

SCALE: 1/4"=1'-0"



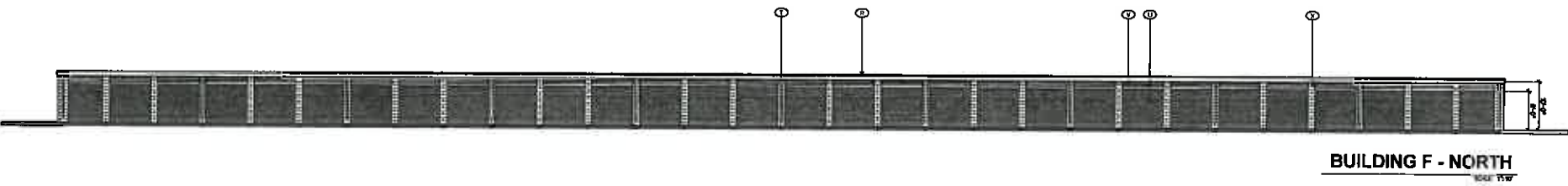
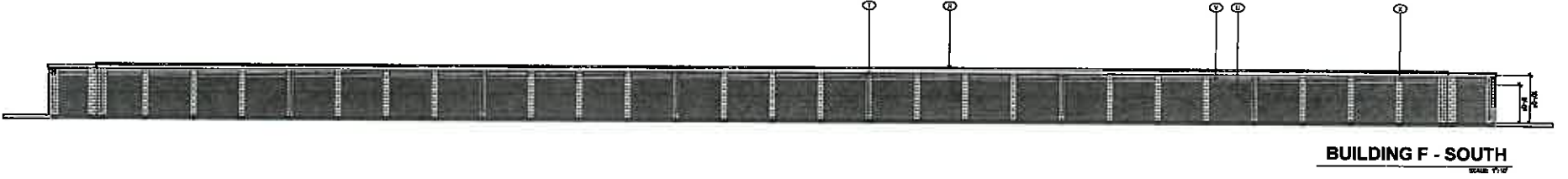
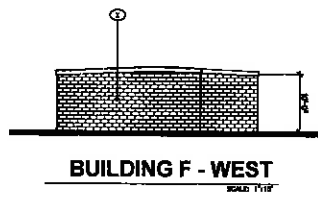
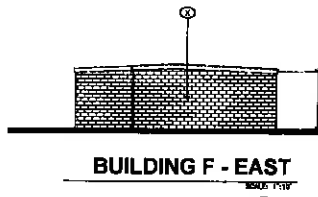
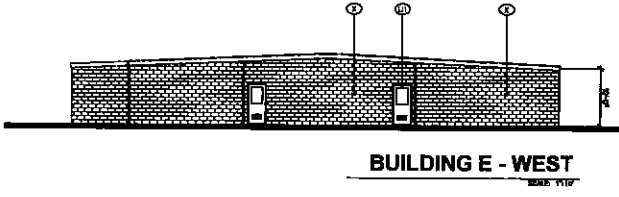
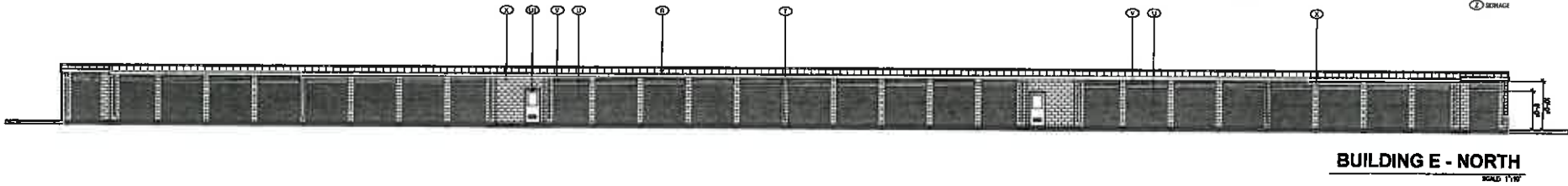
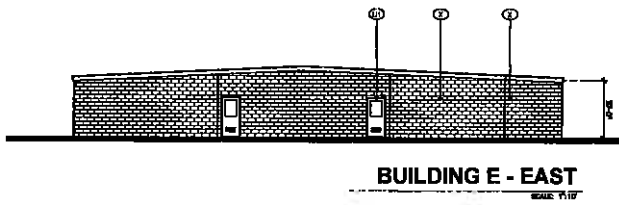
BUILDING D - NORTH WEST

SCALE: 1/4"=1'-0"



BUILDING E - SOUTH

SCALE: 1/4"=1'-0"





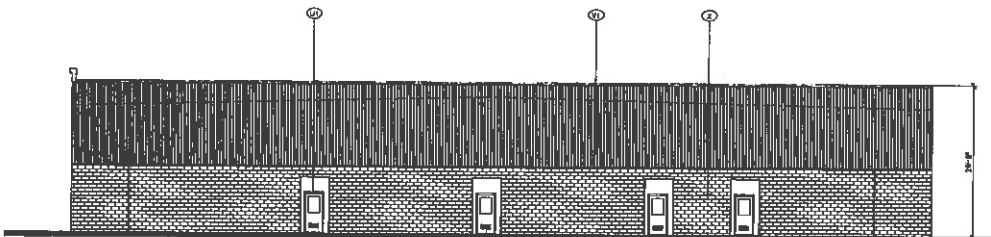
BUILDING G - SOUTH

SCALE: 1/8" = 1'-0"



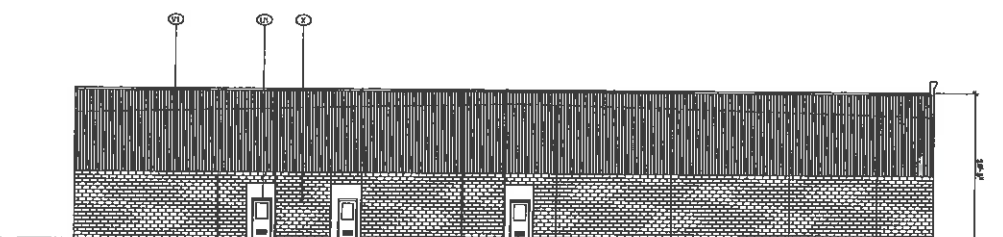
BUILDING G - NORTH

SCALE: 1/8" = 1'-0"



BUILDING G - WEST

SCALE: 1/8" = 1'-0"



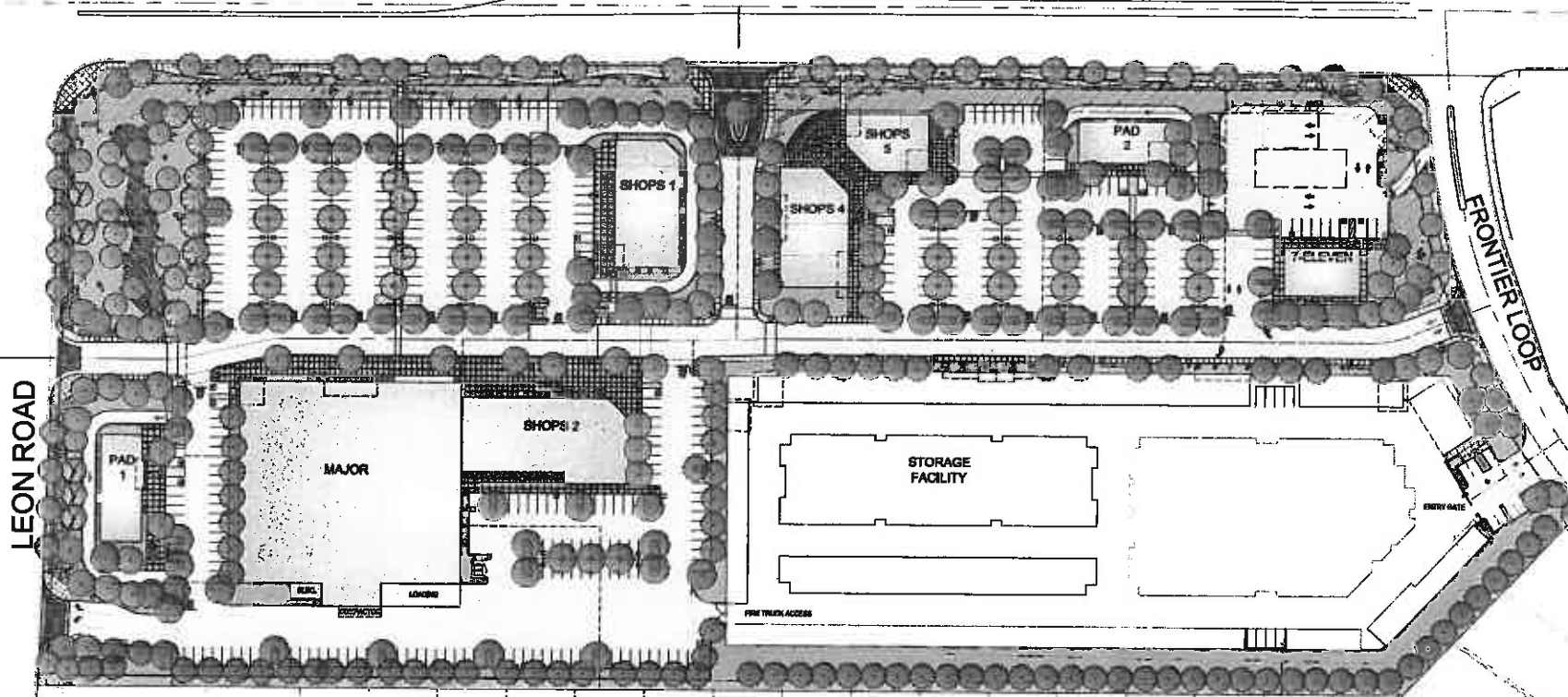
BUILDING G - EAST

SCALE: 1/8" = 1'-0"

ELEVATION KEY NOTES

- 1. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #20147 - CREAM WASHED
- 2. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #20147 - CREAM WASHED
- 3. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #20147 - CREAM WASHED
- 4. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #20147 - CREAM WASHED
- 5. EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH TO MATCH BROWNSTONE
- 6. HARDY PLANK LAP SIDING SYSTEM - SHOOBI COLOR - COUNTRYLANE RED
- 7. HARDY PLANK LAP SIDING SYSTEM - SHOOBI COLOR - FINING BLUE
- 8. HARDY PLANK LAP SIDING SYSTEM - SHOOBI COLOR - HEATED OAK
- 9. HARDY PLANK LAP SIDING SYSTEM - SHOOBI COLOR - HABS CREAM
- 10. HARDY VERES SORBE STEAK - SHOOBI COLOR - ARCTIC WHITE
- 11. SHOOBI PANELS - SHOOBI WYARDE 18Wx24Wx8 SHOOBI - SHOOBI COLOR - COUNTRYLANE RED
- 12. PFG DISCARCEL SQUARE 4x4 CLEAR
- 13. ARCADIA INC. ANODIZED CLEAR 1/2"
- 14. FABRIC FINISH COLOR TO MATCH "TAN" BY SUNBELLA, FIRST
- 15. FABRIC FINISH COLOR TO MATCH "TAN" BY SUNBELLA, FIRST
- 16. FABRIC FINISH COLOR TO MATCH "TAN" BY SUNBELLA, FIRST
- 17. MONTECRO CUESKONE BRICKS BY BROADMOOR STONE
- 18. SHOOBI PANELS - SHOOBI WYARDE 18Wx24Wx8 SHOOBI - SHOOBI COLOR - COUNTRYLANE RED
- 19. S & C FINISHES INC. ALUMINUM EXTERIOR METAL ANODIZED - ALUMINUM BRUSH BY BIRCHCO
- 20. S & C FINISHES INC. ALUMINUM EXTERIOR METAL ANODIZED - SHARA WHITE BY BIRCHCO
- 21. S & C FINISHES INC. ALUMINUM EXTERIOR METAL ANODIZED - SHARA WHITE BY BIRCHCO
- 22. BRUSH METAL PANELS WALL SIDING 1x12 BY METAL SAFF - PVDF EXTERIOR PAINT 50% SOL - MEDIUM BRUSH
- 23. ROOF TILES - ENGLE BRICKING "POMERANIA" - COLOR 1001 - ARCADIA LANTERN BROWN
- 24. METAL LETTER AND DOWNPOUR COLORED TO MATCH HABS CREAM 300 "BROWNSTONE"
- 25. LAMINATED DIMENSIONAL DOOR 1/2" DOOR TRIM 3, COLOR "YOKO BE" BLUE
- 26. LAMINATED DIMENSIONAL DOOR 1/2" DOOR TRIM 3, COLOR "YOKO BE" BLUE
- 27. DOOR METAL FINISH PANEL, MEDIUM BRUSH 300 "BROWNSTONE"
- 28. METAL PANEL, VERTICAL HABS CREAM 300 "BROWNSTONE"
- 29. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
- 30. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
- 31. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
- 32. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
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- 98. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
- 99. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16
- 100. WINDOW WINDOW PROFILE 6x14 1/2 ON 16x16

DOMENIGONI PARKWAY



PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CERCIDMUM FLORIDUM	BLUE PALM VERDE	24" BOX
	IRREA LANCEA	AFRICAN BUMBAC	24" BOX
	QUERCUS VIRORIANA	SOUTHERN LIVE OAK	24" BOX
	FRAXINUS OXYCARPA	RAYWOOD ASH	24" BOX
	LIQUIDAMBAR STYRACIOLA	LIQUIDAMBAR	24" BOX
	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24" BOX
	FRAXINUS OXYCARPA	AFRICAN BUMBAC	24" BOX
	QUERCUS AGROFOLIA	COAST LIVE OAK	LARGE BOX TREE
	LAGERSTROEMIA INDICA	GRAPE MYRTLE	24" BOX
	ALNUS RHOMBIFOLIA	WHITE ALDER	24" BOX
SHRUBS AND GROUNDCOVERS			
	AGAVE AMERICANA	CENTURY PLANT	15 GAL
	AGAVE ATTENUATA	FORTAL AGAVE	6 GAL
	ALOE ABERDEENIENSIS	EMERALD ALOE	5 GAL
	CELANOTHUS ORNATUS	CARMEL CRISPER	5 GAL
	CESTRUM PURPUREUM	ORCHID NOCKROSE	5 GAL
	CAREX TURBIDA	BERKLEY BEDGE	1 GAL
	DASYLIRION WHEELERI	ONEY DESERT SPOON	5 GAL
	EREMOPHILA MACULATA	YEDDY	1 GAL
	FICUS FUMIDA	CAUSEYING FIG VINE	1 GAL
	HEPERALOE PARVIFLORA	RED YUCCA	3 GAL
	HELICTOTRICHOW SEMPERVERENS	BLUE OAT GRASS	1 GAL
	LANTANA MONTENSIS	LANTANA	5 GAL
	LEUCOSPORA LILIA LANGSHANENSIS	RED BAYO RANGER	5 GAL
	MESQUITUS TRANSPIRANSORIBENSIS	EVERGREEN MESQUITUS	1 GAL
	MALVA EMBORGA TEGAL	PIKAK MIMLY	1 GAL
	OSMANTHUS FRAGRANS	SWEET OLIVE	5 GAL
	ROSMARINUS O. TURCICUS	TURSCAN BLUE ROSEMARY	5 GAL
	ROSMARINUS O. INDICA	INDIAN HAWTHORN	5 GAL
	ROSMARINUS O. TRADITRATUS	PROSTRATE ROSEMARY	1 GAL
RED-RED-TOPIC BRED BUD			
	Artemisia tridentata	Artemisia tridentata	1.5 FT
	Artemisia tridentata	Artemisia tridentata	3.00
	Artemisia tridentata	Artemisia tridentata	6.00
	Artemisia tridentata	Artemisia tridentata	2.00
	Artemisia tridentata	Artemisia tridentata	2.00
	Artemisia tridentata	Artemisia tridentata	4.00
	Artemisia tridentata	Artemisia tridentata	4.00
	Artemisia tridentata	Artemisia tridentata	2.00
	Artemisia tridentata	Artemisia tridentata	2.00
	Artemisia tridentata	Artemisia tridentata	2.00
	Artemisia tridentata	Artemisia tridentata	2.00
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	Artemisia tridentata	Artemisia tridentata	2.00

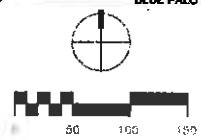
- NOTES:**
- LANDSCAPE AND IRRIGATION SHALL BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH DEVELOPMENT STANDARDS.
 - ALL LANDSCAPING DESIGN FOR THE ROADWAYS, ENTRIES, AND PUBLIC AREAS WILL INCLUDE TREES, SHRUBS AND GROUND COVER WHICH ARE DROUGHT TOLERANT, COMPATIBLE WITH NATURAL VEGETATION ON-SIT, AND SUCH AREA WILL BE FITTED WITH A RECLAIMED WATER SYSTEM.
 - REFER TO SECTION IV FOR SPECIFIC DESIGN GUIDELINES AND RELATED DESIGN CRITERIA.

"Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 858.3; Ordinance 348, Ordinance 461; project Conditions of Approval; and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change."

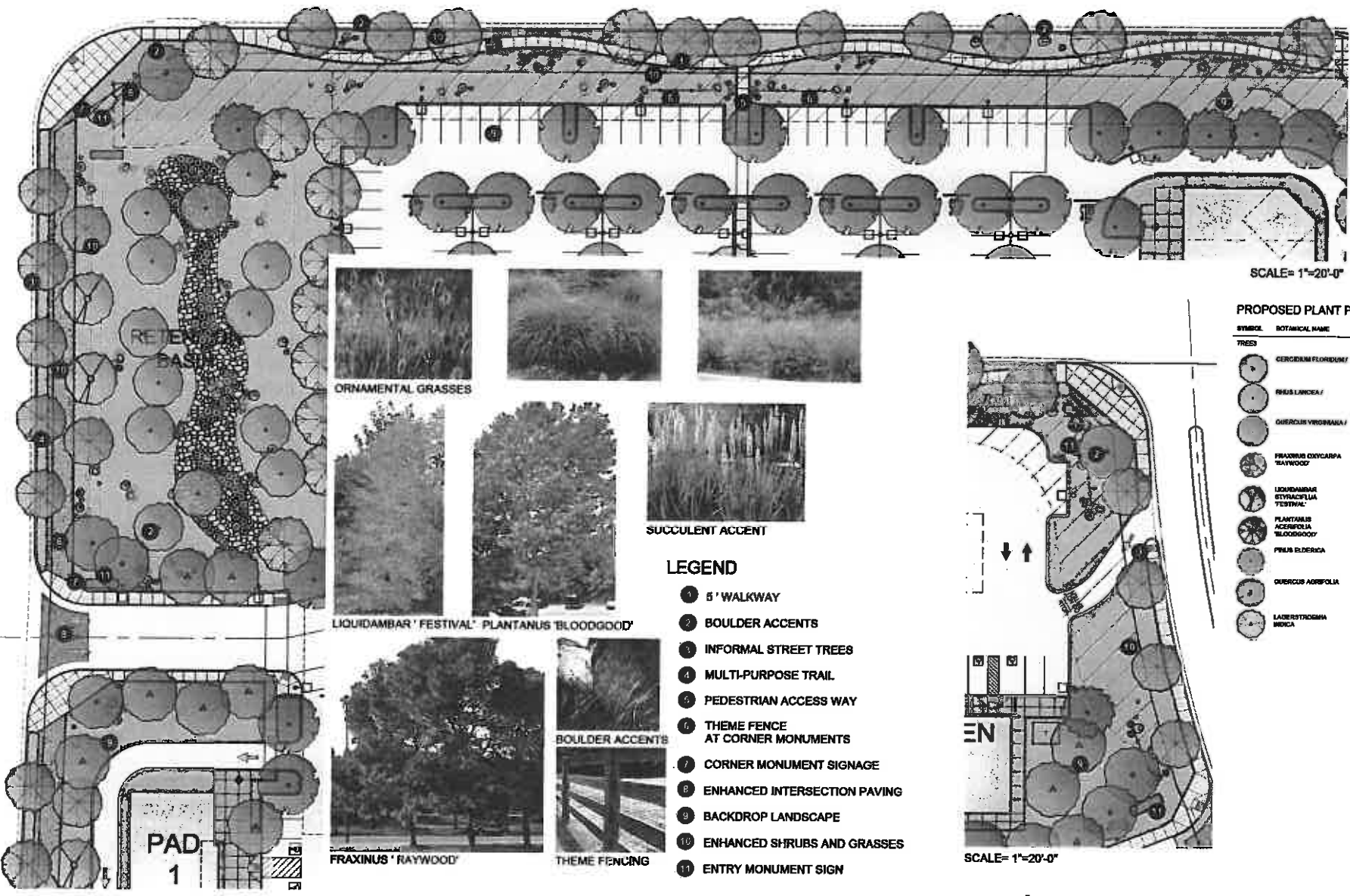


WINCHESTER RANCH MARKETPLACE
 NEWPORT ROAD & FRONTIER LOOP
 MURRIETA, CA
 01.30.2018

OVERALL PRELIMINARY LANDSCAPE PLAN



RANCON WINCHESTER VALLEY 85, LLC 41391 KAMLA STREET, STE 200 MURRIETA, CA 92562 951-696-0600



ORNAMENTAL GRASSES



LIQUIDAMBAR 'FESTIVAL' PLANTANUS 'BLOODGOOD'



SUCCULENT ACCENT



FRAXINUS 'RAYWOOD'



BOULDER ACCENTS



THEME FENCING

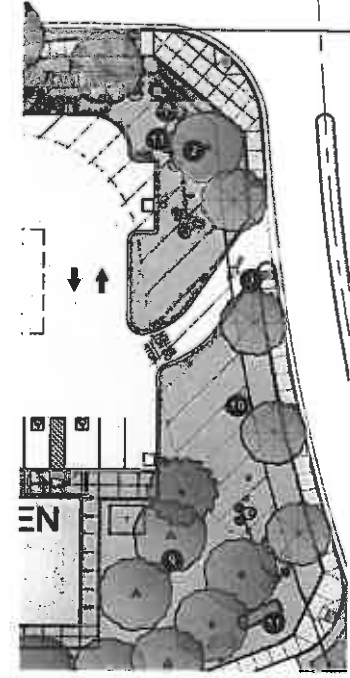
LEGEND

- 1 5' WALKWAY
- 2 BOULDER ACCENTS
- 3 INFORMAL STREET TREES
- 4 MULTI-PURPOSE TRAIL
- 5 PEDESTRIAN ACCESS WAY
- 6 THEME FENCE AT CORNER MONUMENTS
- 7 CORNER MONUMENT SIGNAGE
- 8 ENHANCED INTERSECTION PAVING
- 9 BACKDROP LANDSCAPE
- 10 ENHANCED SHRUBS AND GRASSES
- 11 ENTRY MONUMENT SIGN

SCALE= 1"-20'-0"

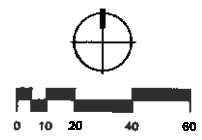
PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	CERIDONIUM FLOREUNT	BLUE PALO VERDE	24" BOX
	BURSERIA LANCEA	AFRICAN BURSER	24" BOX
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX
	FRAXINUS OXYCARPA 'RAYWOOD'	RAYWOOD ASH	24" BOX
	LIQUIDAMBAR STYRACIFLUA 'FESTIVAL'	LIQUIDAMBAR	24" BOX
	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX
	PIRUS ELDERICA	AFRICAN PINE	24" BOX
	QUERCUS AGRIFOLIA	COAST LIVE OAK	LARGE BOX TBD
	LABURNUM ALBA	CRANE WHITE	24" BOX

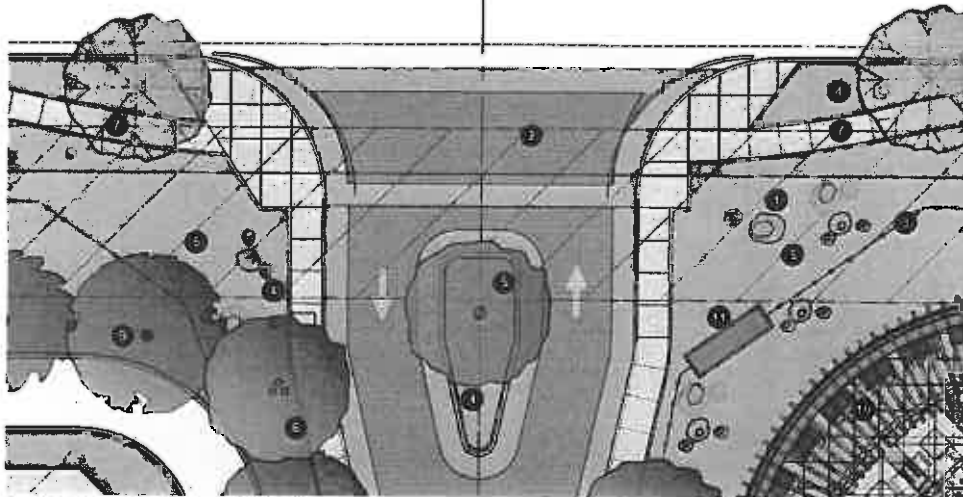


SCALE= 1"-20'-0"

PRELIMINARY LANDSCAPE PLAN ENLARGEMENT

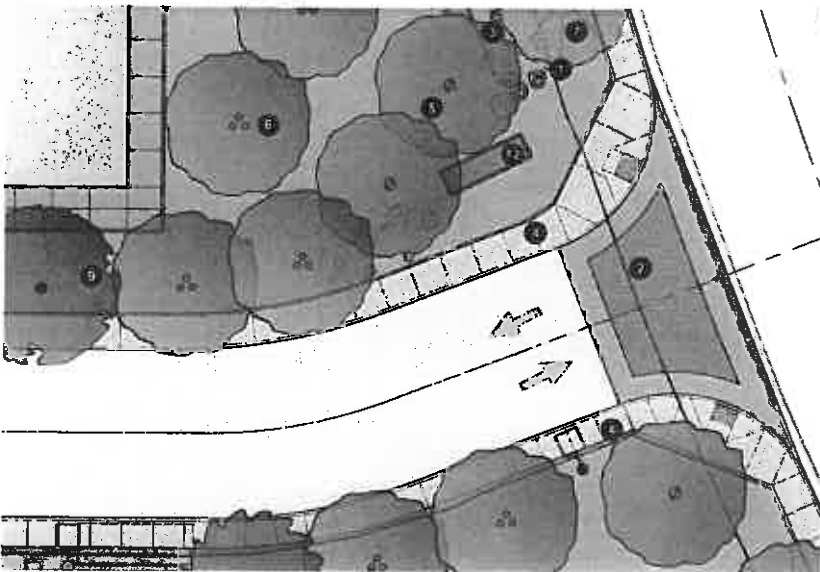


L2.1



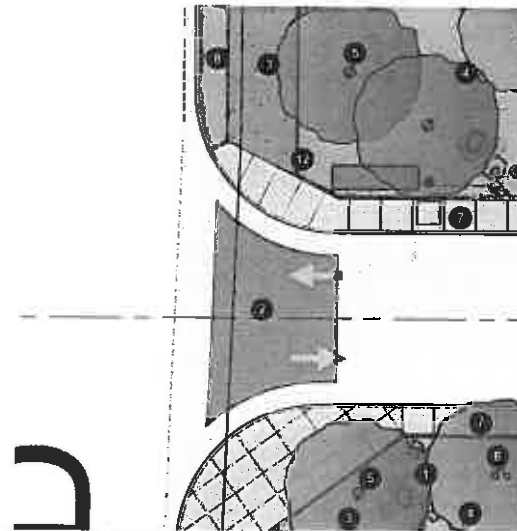
NEWPORT ROAD ENTRY ENLARGEMENT

SCALE= 1"=10'-0"



FRONTIER LOOP ENTRY ENLARGEMENT

SCALE= 1"=10'-0"



LEON ROAD ENTRY ENLARGEMENT

SCALE= 1"=10'-0"

PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
1	CERCIDUM FLORIDUM	BLUE PALM VERGE	18" BOX
2	RHIS LANCEA	AFRICAN BUMAC	24" BOX
3	QUERCUS VERBENANA	SOUTHERN LIVE OAK	24" BOX
4	FRAXINUS OXYCARPA	RAYWOOD ASH	24" BOX
5	LIQUIDAMBAR STRYCIPIUA	LIQUIDAMBAR	24" BOX
6	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24" BOX
7	PIKIA ELDERICA	AFRICAN PINE	24" BOX
8	QUERCUS AGROFOLIA	COAST LIVE OAK	LARGE BOX TBD
9	LAGERSTROMIA INDICA	GRAPE MYRTLE	24" BOX

LEGEND

- 1 ACCENT BOULDERS
- 2 PAVING LOGO
- 3 THEME RAIL FENCING
- 4 ENHANCED LANDSCAPE PLANTING
- 5 SPECIMEN OAK TREES
- 6 ACCENT PALO VERDE TREES
- 7 5' WALK
- 8 MULTI PURPOSE TRAIL
- 9 BACKDROP TREES
- 10 PLAZA BEYOND
- 11 MAJOR MONUMENT SIGN
- 12 ENTRY MONUMENT WALL



ACCENT BOULDERS



THEME FENCING



PAVING ACCENT LOGO



ACCENT SUCCULENTS



ACCENT ORNAMENTAL GRASSES



MONUMENT CHARACTER



SPECIMEN CANOPY OAK



ACCENT GRASSES

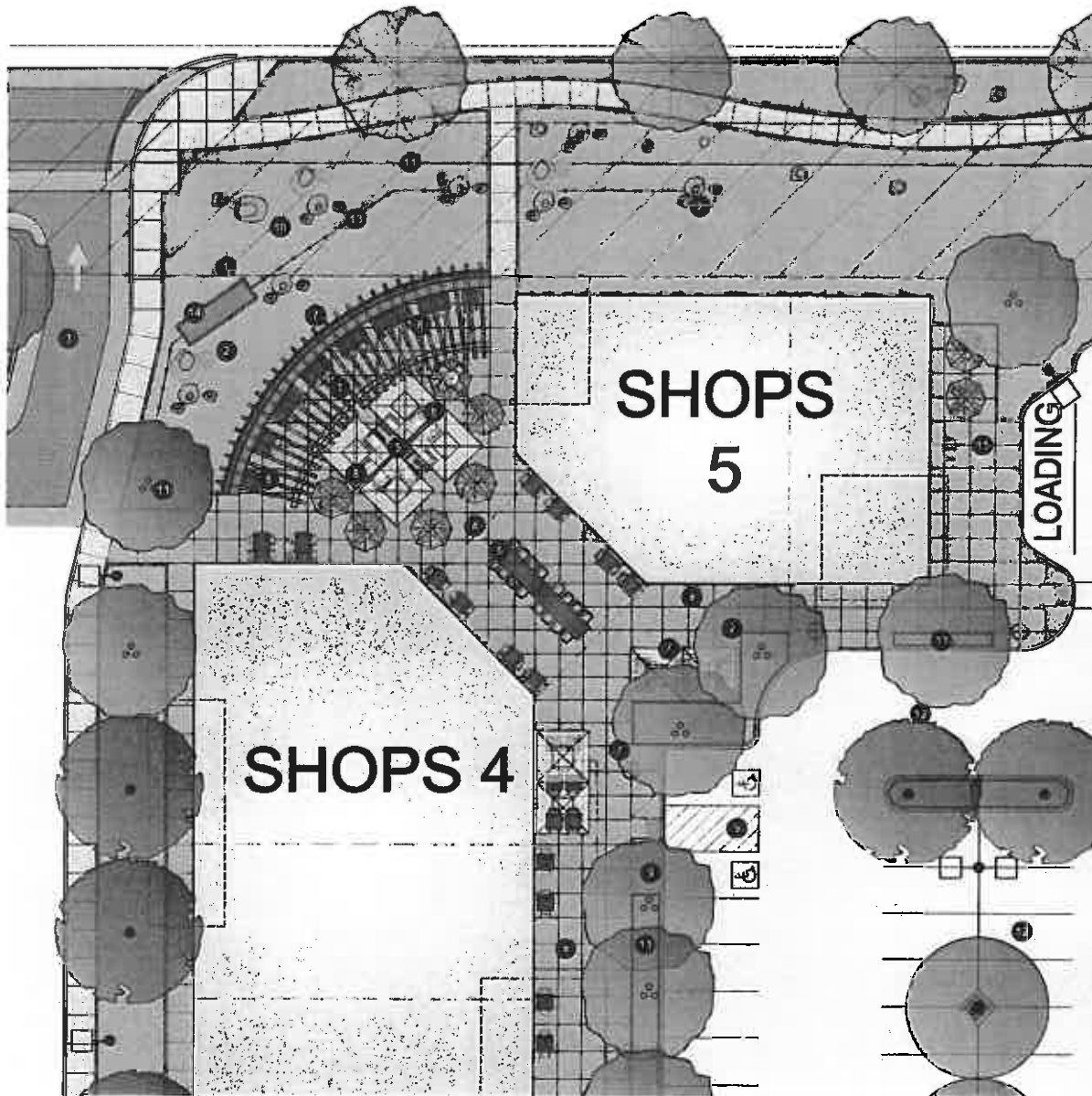


PALO VERDE ACCENT TREE



PRELIMINARY LANDSCAPE PLAN ENLARGEMENT



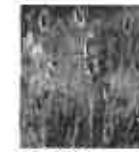


PLAZA SPACE ENLARGEMENT

SCALE= 1"=10'-0"



LOUNGE SEATING



GRASSES



SUCCULENT LANDSCAPE



SUCCULENTS



RETAIL FRONTAGE



BOULDERS



RETAIL FRONTAGE



GRASSES



NIGHT LIFE



PLAZA SPACE



ENHANCED LANDSCAPE



LANDSCAPE CHARACTER



ORNAMENTAL GRASSES

PROPOSED PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
1	CERONJUM FLORIDUM /	BLUE PALO VERDE	24" BOX
2	RAUJA LANCEA /	AFRICAN BLANK	24" BOX
3	QUERCUS VIRGINICA /	SOUTHERN LIVE OAK	24" BOX
4	FRAXINUS OXYCARPA /	RAYWOOD ASH	24" BOX
5	LIQUIDAMBAR STYRACIFLUA 'FESTIVAL'	LIQUIDAMBAR	24" BOX
6	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX
7	PHILUS ELZEUGICA	AFGHAN PINE	24" BOX
8	QUERCUS AGRIFOIA	COAST LIVE OAK	LARGE BOX TBD
9	LAGERSTROEMIA MENKA	GRAPE MYRTLE	24" BOX

LEGEND

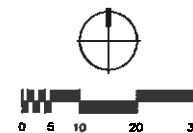
- 1 MONUMENT ENTRY STRUCTURE
- 2 BOULDERS
- 3 ENHANCED ENTRY PAVING
- 4 ENHANCED PLAZA PAVING
- 5 FIRE PIT GATHERING
- 6 GROUP DINNING TABLES
- 7 SHADED LOUNGE SEATING
- 8 SHADED DINNING SEATING
- 9 HANDICAP PARKING
- 10 SPECIMEN OAK TREES
- 11 ACCENT PALO VERDE TREES
- 12 PARKING LOT TREES
- 13 THEME FENCING
- 14 ENTRY MONUMENT WALL
- 15 BIKE RACKS

WINCHESTER RANCH MARKETPLACE
NEWPORT ROAD & FRONTIER LOOP

RANCON WINCHESTER VALLEY 85, LLC 41391 KAMLA STREET, STE 200 MURRIETA, CA 92562 951-696-0600

01.30.2018

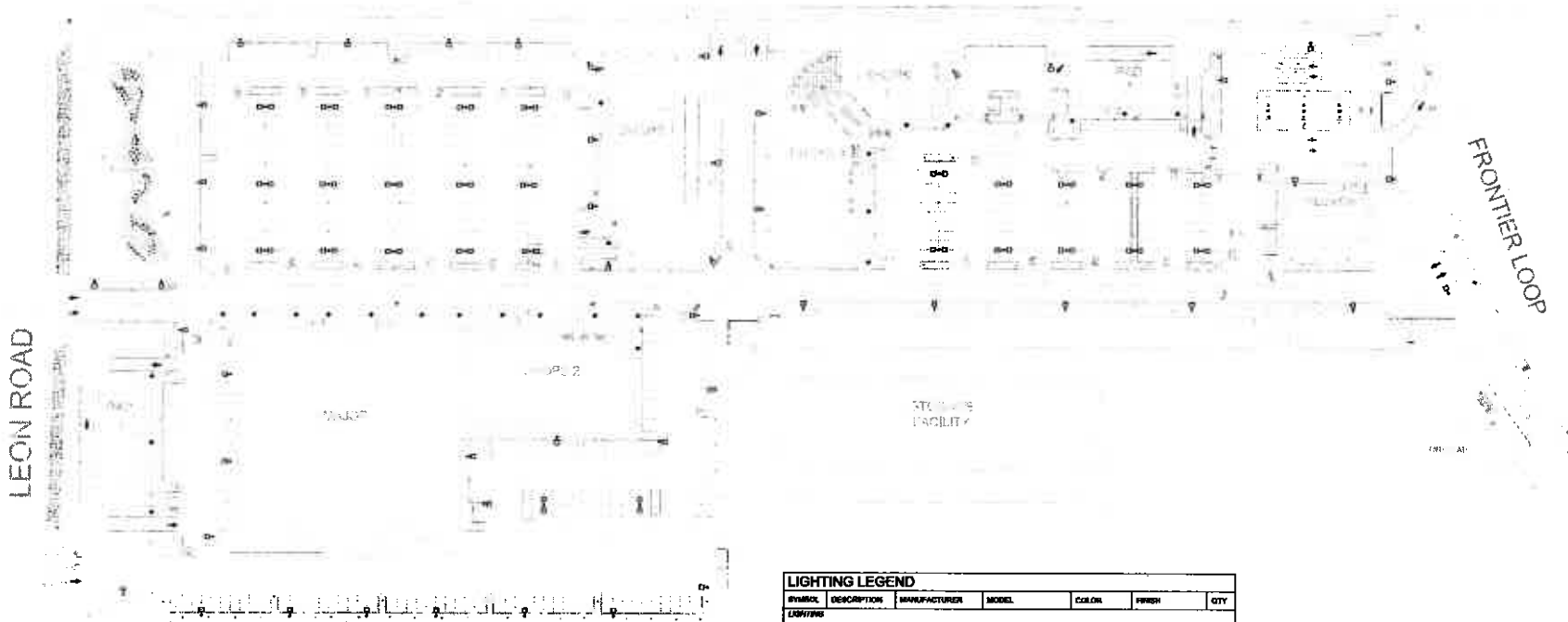
PRELIMINARY LANDSCAPE
PLAN ENLARGEMENT



ARCHITECTS ORANGE

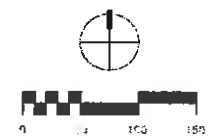
L2.3

DOMENIGONI PARKWAY



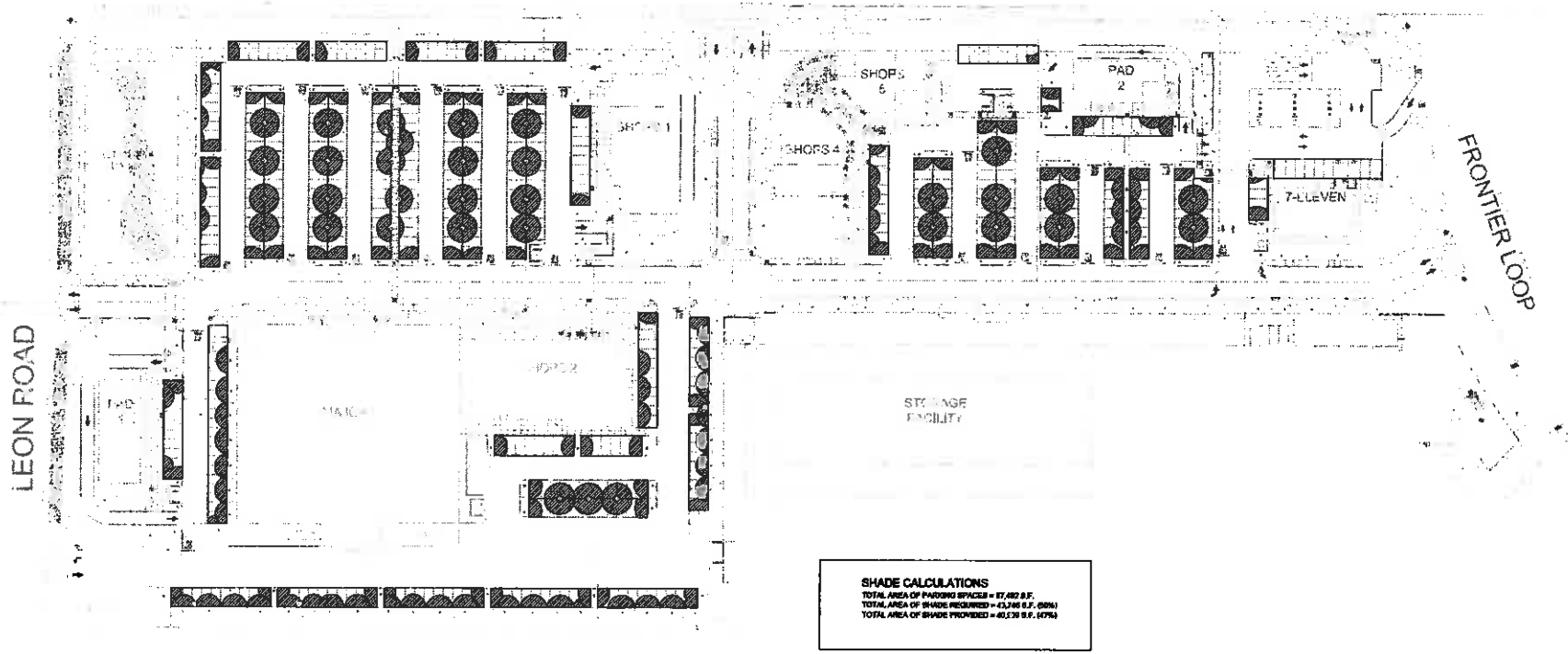
LIGHTING LEGEND						
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	COLOR	FEET	QTY
	PARKING LOT LIGHT	TBD	TBD	TBD	TBD	75
	POST TOP LIGHT	TBD	TBD	TBD	TBD	25

CONCEPTUAL LIGHTING PLAN



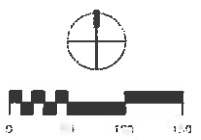
L3.1

DOMENIGONI PARKWAY



SHADE CALCULATIONS
 TOTAL AREA OF PARKING SPACES = 87,882 S.F.
 TOTAL AREA OF SHADE REQUIRED = 43,766 S.F. (50%)
 TOTAL AREA OF SHADE PROVIDED = 40,128 S.F. (47%)

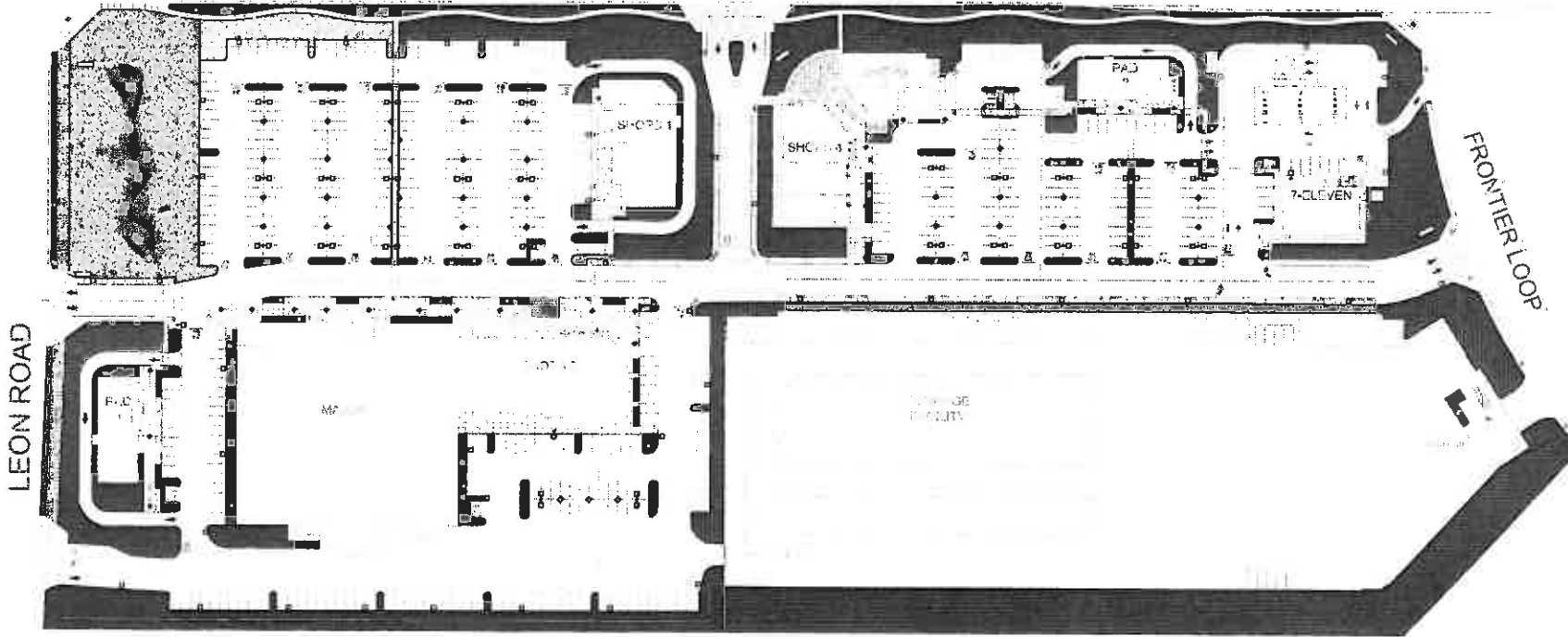
PARKING LOT TREE SHADING PLAN



ARCHITECTS ORANGE

L4.1

DOMENIGONI PARKWAY



AS 1001 "MWELO" WATER BUDGET CALCULATIONS **OWIS Station # 237**

Maximum Allowed Water Allowance (MAWA)

The project's Maximum Allowed Water Allowance shall be calculated using the equation:

$$MAWA = (ETW) \times (EAF) \times (EAS) \times (LA) + (EUS) \times (SLA)$$

Site Potential Evapotranspiration (ETW) = 63.42

EAF (Evapotranspiration Adjustment Factor) = 0.65

EUS (Evapotranspiration Adjustment Factor - LA) = 0.55

LA (Total Landscaped Area including SLA) = 375,500 sq ft

SLA (Special Landscaped Area) = 0 sq ft

EAS (Coverage Factor)

Area	ETW	EAF	LA or SLA (sq ft)	Coverage	MAWA (Gallons Per Year)
MAWA for LA =	63.42	0.65	375,500	0.65	3,000,000
MAWA for SLA =	63.42	0.55	0	0.55	0
Total =					3,000,000

Maximum Allowed Water Allowance (MAWA) = 3,000,000 gal/yr 4000 ccf/yr

Estimated Total Water Use (ETWU)

The project's Estimated Total Water Use shall be calculated using the equation:

$$ETWU = (EAF) \times (EUS) \times (EAS) \times (LA) + (EUS) \times (SLA)$$

ETWU = Estimated Total Water Use per year (gallons)

EAF = Evapotranspiration Adjustment Factor = 0.65 (Gallons per year)

EUS = Evapotranspiration Adjustment Factor (see equation above)

EAS = Evapotranspiration Adjustment Factor (see equation above)

LA = Special Landscaped Area (see equation above)

SLA = Coverage Factor

SLA = Special Landscaped Area (see equation above)

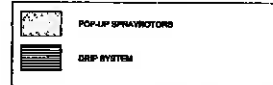
Area	ETW	Coverage	PP	SLA (sq ft)	E	Estimate
Hydrozone Area #1 - Alarm Only (EAF)	63.42	0.65	0.20	140,000	0.65	2,800,000
Hydrozone Area #2 - Shrub (EAF)	63.42	0.65	0.20	30,000	0.20	400,000
Total =						3,200,000

Estimated Total Water Use (ETWU) = 3,200,000 gal/yr 400 ccf/yr

Percentage of savings over MAWA = 16.6%

The Winner Must Be Positive

IRRIGATION ZONES



STATEMENT OF WATER CONSERVATION

Please note the following principles of design utilized on this project directed specifically to conserve water and improve the efficiency of the irrigation system:

- All hard spaced lawn to meet 80% of manufacturer's recommended radius.
- All applicable hard-spaced irrigation systems and check valves.
- All outdoor faucets utilize pressure compensating aerators.
- Turfgrass spacing utilized for hard spaced throughout irrigation system.
- Irrigation zones separated by plant material types.
- Irrigation zones separated by landscape and elevation.
- Location of irrigation system master valve.
- Location of irrigation system flow meter.
- Utilization of this shut-off device connected to irrigation controller.
- Utilization of controller with water budgeting feature.

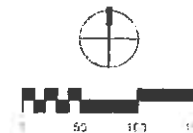
IRRIGATION SYSTEMS SHALL BE TESTED AND MAINTAINED ON A MONTHLY BASIS BY THE MAINTENANCE STAFF. AN IRRIGATION AUDIT, IN COMPLIANCE WITH THE STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM, SHALL BE PERFORMED BY A CERTIFIED IRRIGATION AUDITOR PRIOR TO THE START OF PROJECT AND EVERY 2 YEARS THEREAFTER. THE REGULAR MAINTENANCE SCHEDULE COULDED WITH THE AUDIT SHOULD HELP TO MAINTAIN THE IRRIGATION EFFICIENCY AS INTENDED IN THE DESIGN.

WINCHESTER RANCH MARKETPLACE

RANCON WINCHESTER VALLEY 65, LLC 41391 KAMLA STREET, STE 200 MURRIETA, CA 92562 951-696-0600

MURRIETA, CA
01.30.2018

IRRIGATION PLAN

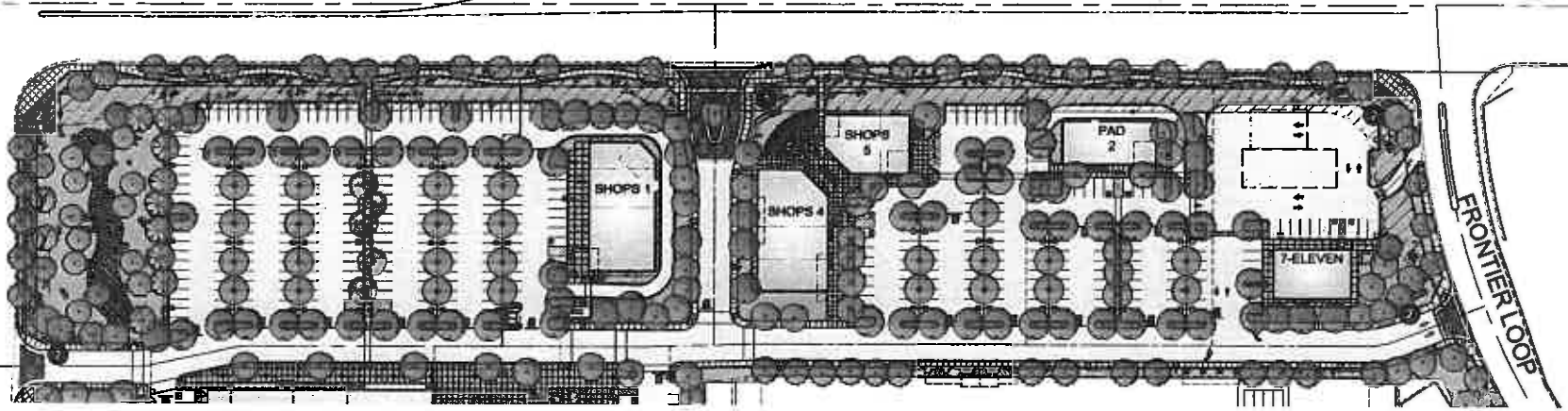


ARCHITECTS ORANGE

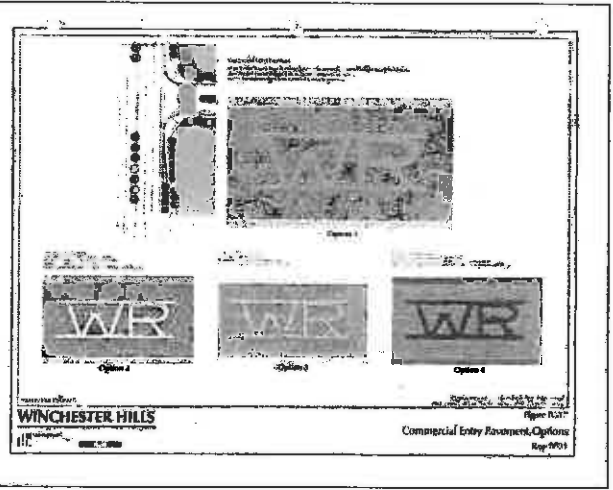
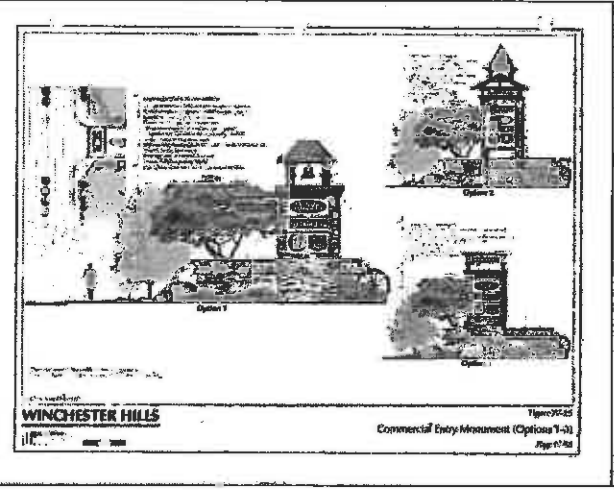


L5.1

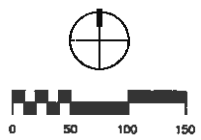
DOMENIGONI PARKWAY

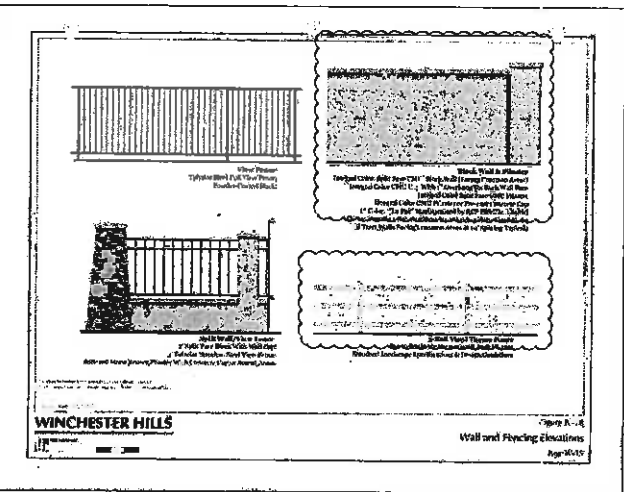
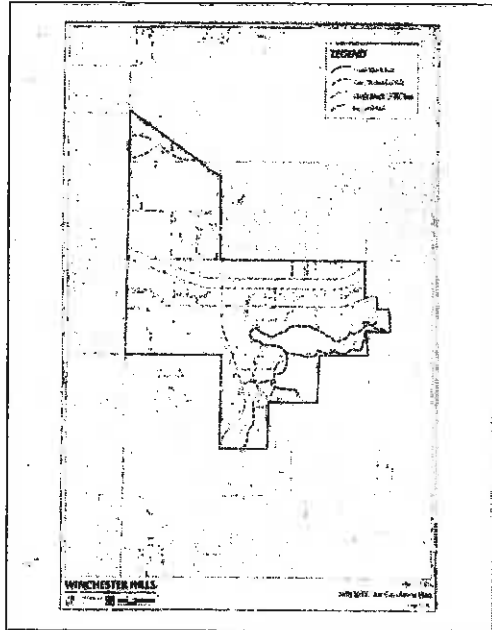
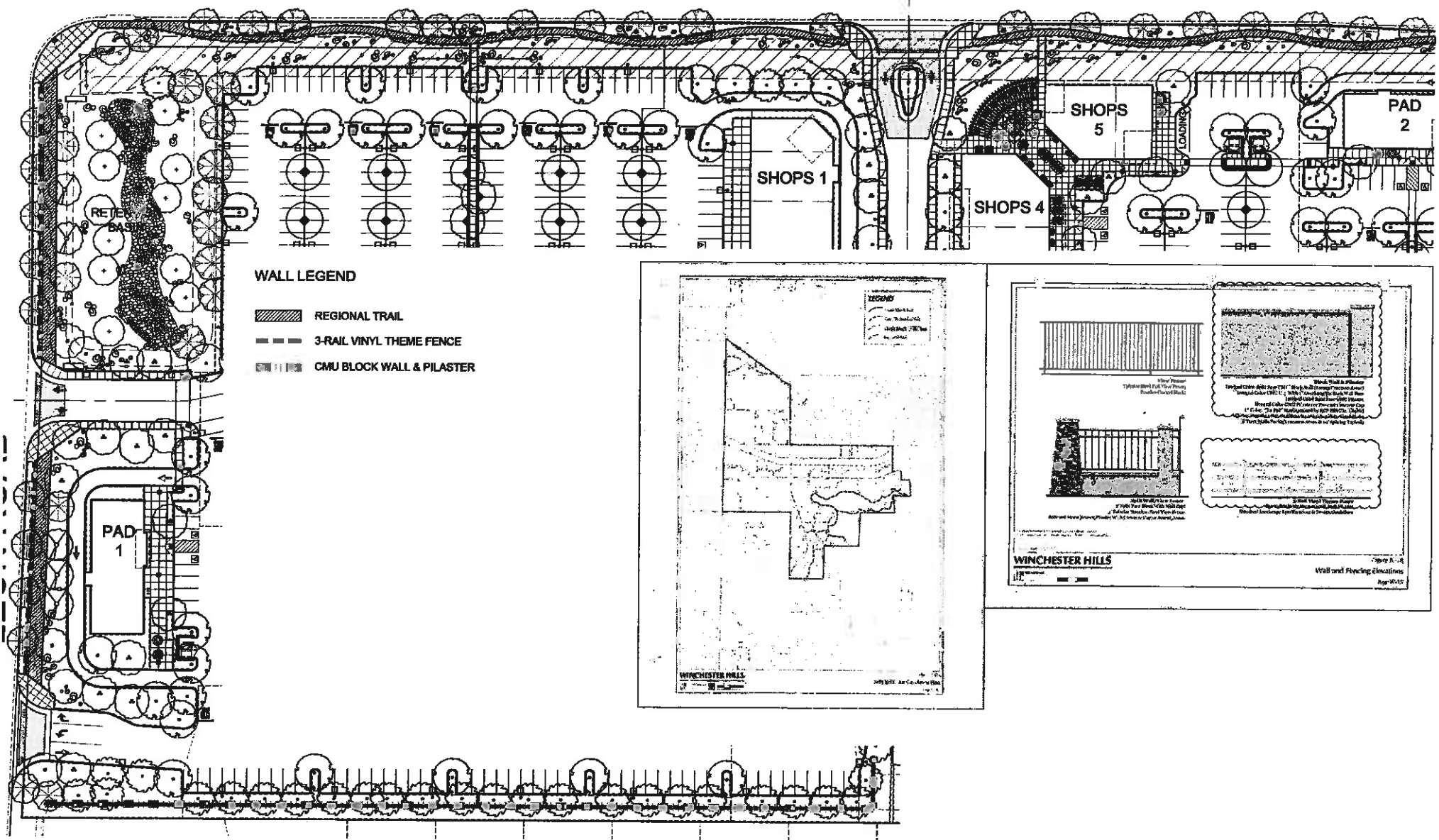


- LEGEND**
- 1 COMMERCIAL ENTRY MONUMENT
 - 2 MINOR COMMUNITY ENTRY MONUMENT

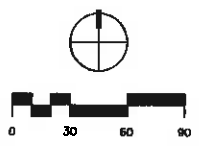


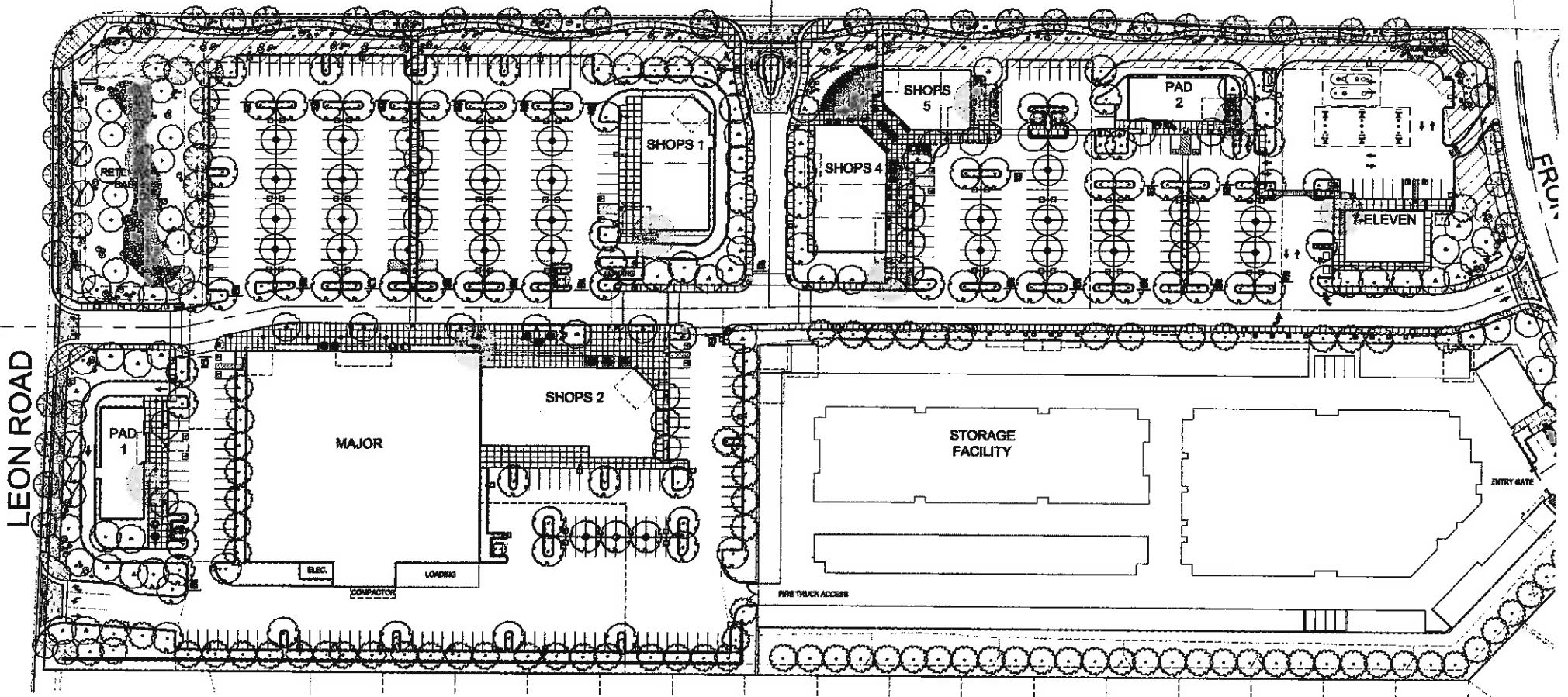
**ENTRY MONUMENT
 PLAN AND DIAGRAM**





WALL, FENCING, AND TRAIL PLAN

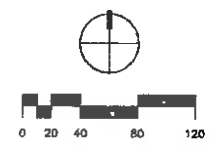




LEGEND



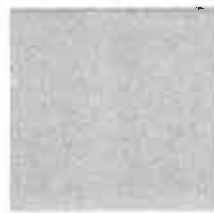
BIKE RACKS PLAN



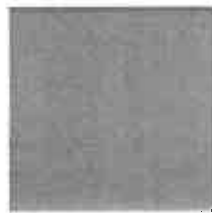
L8.1



P1



P2



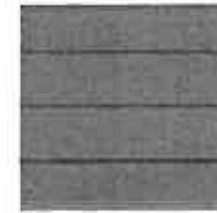
P3



P4



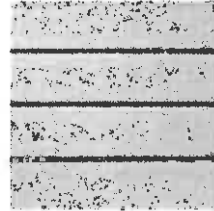
S1



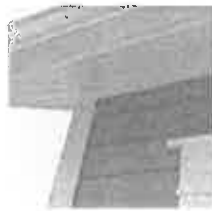
S2



S3



S4



S5



S6



S7

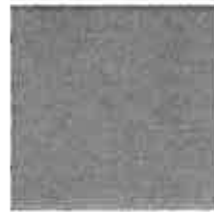


STR1

GL1



FA1



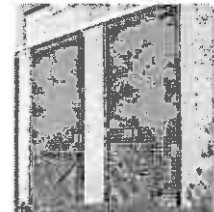
FA2



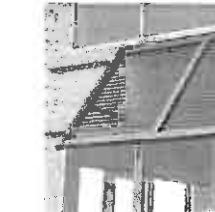
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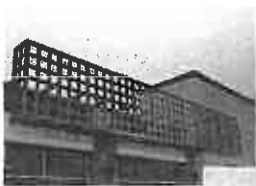
ST1



G



MT1

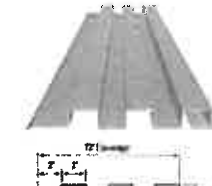


MT2



MT3

SHASTA WHITE



MT4

MEDIUM BRONZE



RF1

- P1 EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #DE0148 - CREAM WASHED
- P2 EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #DE143 - ALMOND LATTE
- P3 EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #DEB146 - LONELY ROAD
- P4 EXTERIOR CEMENT PLASTER FINISH SEMI-SMOOTH BY OMEGA COLOR TO MATCH DUNN EDWARDS #DEW293 - COOL DECEMBER
- S1 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH COLOR - ARCTIC WHITE
- S2 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH COLOR - EVERING BLUE
- S3 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH COLOR - HEATHERED MOSS
- S4 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH COLOR - WOODLAND CREAM
- S5 HARDIE PLANK LAP SIDING SYSTEM - SMOOTH COLOR - ARCTIC WHITE
- S6 HARDIE PANELS - SMOOTH W/ HARDIE TRIM - BATTEN BOARDS - SMOOTH COLOR - COBBLESTONE
- S7 HARDIE PANELS - SMOOTH W/ HARDIE TRIM - BATTEN BOARDS - SMOOTH COLOR - COUNTRYLANE RED
- GL1 PPG INTERSCOPIC SOLARBAN 80 CLEAR
- STR1 ARCADIA INC ANOZONED CLEAR #02
- FA1 FABRIC FINISH COLOR TO MATCH "FOAST" BY SUNBRELLA, FIREBILT
- FA2 FABRIC FINISH COLOR TO MATCH "TAY" BY SUNBRELLA, FIREBILT
- FA3 FABRIC FINISH COLOR TO MATCH "IRVIE BRUNN" BY SUNBRELLA, FIREBILT
- ST1 MONTECITO CLIFFSTONE (CRYSTAL) BY ELDRADO STONE
- G VINEAGE PANELS "GREENSCREEN" WALL PANEL TRUSS PANELS
- MT1 B & C AWNINGS INC. ANGLED AIRFLOW SERIES METAL AWNING - MEDIUM BRONZE BY BERRODGE
- MT2 B & C AWNINGS INC. ALUMINUM TUBE WALL LOUVER - SHASTA WHITE BY BERRODGE
- MT3 B & C AWNINGS INC. STARSHIP SERIES METAL CANOPY - SHASTA WHITE BY BERRODGE
- MT4 RIBBED METAL PANELS WALL SIDING TL-122 BY METAL SALES - PVDF #019AR500 PAINT SYSTEM - VETERAN BRONZE
- RF1 ROOF TILE - EAGLE ROOFING "PONDEROSA" - COLOR 052 - ARGENTA

PAGE BREAK



AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY



March 22, 2018

CHAIR
VACANCY
VICE CHAIRMAN
Steve Manos
Lake Elsinore

Mr. Sean Kelleher, Associate Planner
City of Riverside Planning Division
3900 Main Street, 3rd Floor
Riverside CA 92522

COMMISSIONERS

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR’S DETERMINATION – REVISED LETTER

Arthur Butler
Riverside

File No.: ZAP1303MA18 (letter 1 of 2)

John Lyon
Riverside

Related File No.: P15-0877 (Specific Plan Amendment)

Glen Holmes
Hemet

APNs: Sub District 4a of Specific Plan: 250-240-037; 250-240-033; 250-240-036; 250-250-020; 250-250-027; 250-250-030; 250-250-032; 250-250-033 through 250-250-036

Russell Betts
Desert Hot Springs

Dear Mr. Kelleher:

Steven Stewart
Palm Springs

This revised Director’s Determination letter supersedes the letter dated March 15, 2018 for ZAP1303MA18 (letter 1 of 2) for P15-0877 (Specific Plan Amendment). Specifically, the use regulations relating to hotels that could be established in Sub District 4a will include some of the same regulations as would apply to hotels that could be established in Sub District 3, but not all of the regulations in Sub District 3 would apply in Sub District 4. The attachments to this revised letter include Chapters 6 and 7 of the University Avenue Specific Plan in their entirety. The amendment would allow hotels in Sub District 4a with a maximum building height of 100 feet. Such hotels must provide at least 100 rooms and a 24-hour staffed front office. (Hotels in Sub District 3 are limited to a height of 75 feet, are required to provide a full-service coffee shop, and rooms must be accessible by interior corridors.)

STAFF

Director
Simon A. Housman

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lerron St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Riverside Case No. P15-0877 (Specific Plan Amendment), a proposal to amend the University Avenue Specific Plan to allow hotels with buildings up to 100 feet in height within **Sub District 4a**.

~~Sub District 4a, subject to the same provisions (other than height limits) applicable to hotels that could be proposed within Sub District 3. Specifically, such hotels shall include not less than 100 rooms, a full-service coffee shop, and a 24-hour staffed front office, and rooms shall be accessed from interior corridors (rather than directly onto parking areas, as with motels).~~

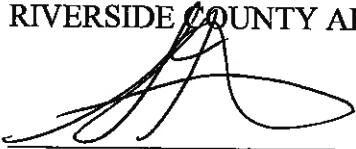
Sub District 4a is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan ("March ALUCP").

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Paul Lin, University Campus Hotel/Prime Investment Intl. (applicant/landowner)
Kristin Werksman, Rick Engineering Company (representative)
UR Village (additional Sub District 4a landowner)
University Village Towers (additional Sub District 4a landowner)
1147 University (additional Sub District 4a landowner)
Hyrosen Prop. Inc. (additional Sub District 4a landowner)
Schools First Federal Credit Union (additional Sub District 4a landowner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

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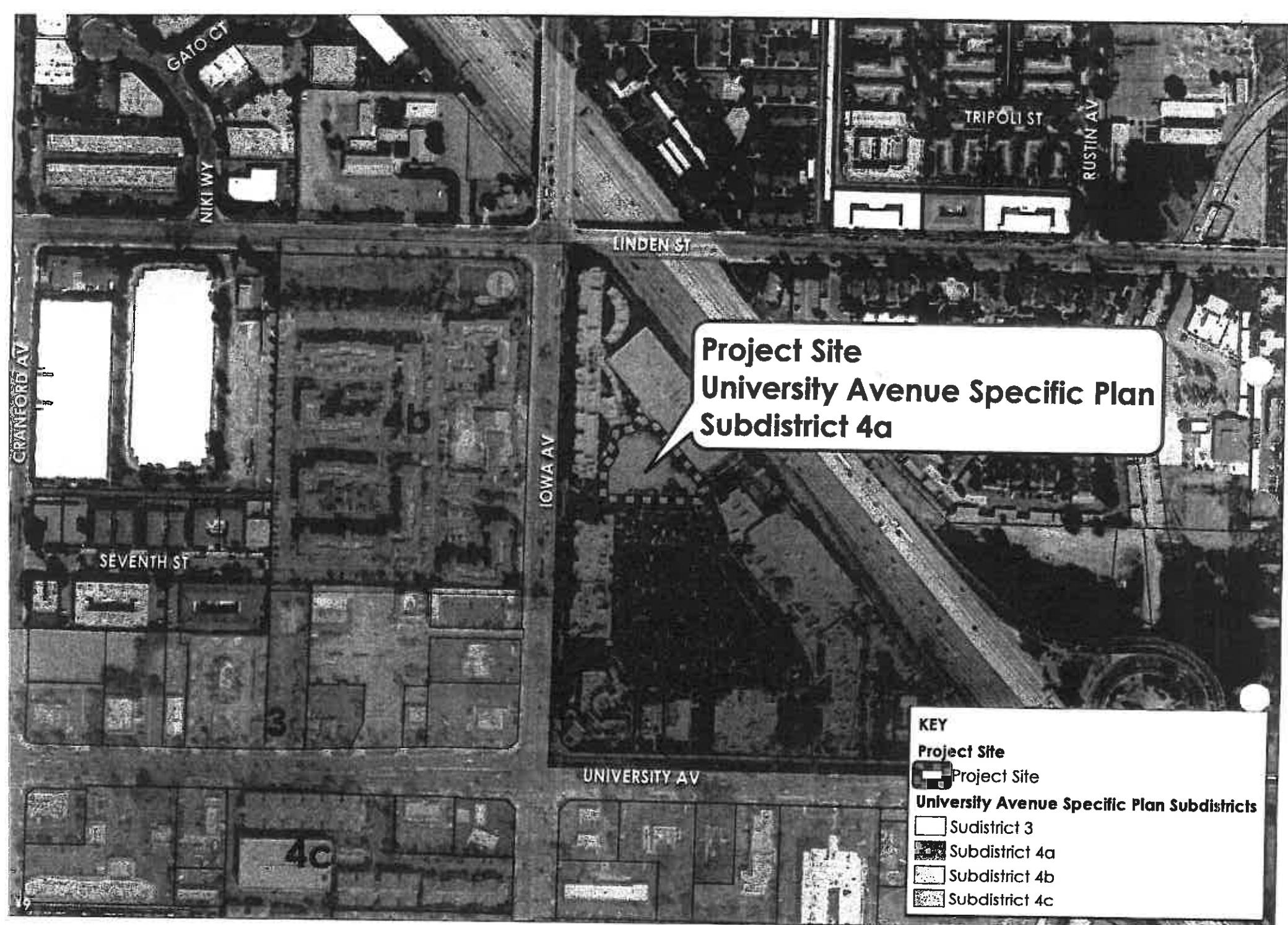


Exhibit 5 - University Avenue Specific Plan Subdistrict Map



P15-0877 - Specific Plan Amendment University Avenue Specific Plan

6.0 LAND USE REGULATIONS

The policies, standards and design guidelines in this Specific Plan are formulated to implement portions of the overall vision and development strategies presented in the University Avenue Strategic Development Plan and to address additional concerns of the Citizen Advisory Task Force. This chapter outlines objectives and policies for the first of the major plan components - subdistricts and land use.

6.1 Definitions

For the purposes of this Specific Plan, the meanings of words and phrases ascribed to them in Chapter 19.04 of the Riverside Municipal Code shall apply. Additionally, for the purposes of this Specific Plan, the following words and phrases, whenever used in this Plan, shall be construed as defined in this Chapter, unless from the context, a different meaning is specifically defined and more particularly directed to the use of such words or phrases:

- **Check Cashing Facility** shall mean a person or business that for compensation engages, in whole or in part, in the business of cashing checks, payday advances, warrants, drafts, money orders or other commercial paper serving the same purpose. "Check cashing facilities" do not include a State or Federally chartered bank, savings associations, credit union or industrial loan company. "Check cashing facilities" also does not include a retail seller engaged primarily in the business of selling consumer goods, including consumables, to retail buyers that cash checks or issue money orders for minimum flat fee as a service that is incidental to its mail purpose or business.
- **Consolidated Block Development** shall mean a project submitted for approval under a single application, 1) containing an entire block of lots fronting on University Avenue between intersecting streets and which eliminates all curb cuts directly from University Avenue, or 2) consisting of contiguous lots totaling 2 acres or more, which substantially reduces curb cuts on University Avenue and improves pedestrian/vehicular circulation and landscaped image.
- **Indoor Swap Meet** shall mean any store event where merchandise is offered or displayed for sale or exchange and in which the sales area has been subdivided to allow for individual sales booths that are available for lease to individual tenants. For purposes of this definition, areas bounded by permanent floor-to-ceiling walls or windows, in which all entryways are capable of being closed and locked, shall be considered separate stores and not subdivisions of one store. No store in which one vendor occupies at least eighty percent (80%) of the floor area used for sale of goods shall be considered an indoor swap meet. For purposes of this section, a vendor is each person offering goods for sale in a store who is subject to a permit from the State Board of Equalization to engage in or conduct business as a seller at that store. Each such vendor shall be deemed a tenant in that store. The term swap meet is interchangeable with and applicable to flea markets, auctions, farmer's markets (except certified farmer's market as defined in Chapter 19.04 of the Riverside

Municipal Code) or other similarly named or labeled activities; but the term does not include the usual supermarket or department store retail operations.

- **Mini Mall** (see zoning code).
- **Planned Mixed-Use Commercial/Residential Development** (also "Mixed-Use" Development) shall mean a project submitted for approval under a single application, which project contains a combination of commercial and residential on a lot or a group of contiguous lots which constitute a single building site, and which is characterized by an integrated architecture, site design, function and purpose.
- **Shared Parking Analysis** shall mean an evaluation of the total parking requirement of all individual land uses within a "Planned Mixed Use Commercial/Residential Development" in order to determine the number of such required parking spaces which may be shared by two or more individual land uses without conflict, thus reducing the total parking requirement for the development.
- **Streetscape** is a term for improving the visual and pedestrian environment of a street by providing landscaping, street trees, pedestrian scale lighting, sidewalks, street furniture and other pedestrian amenities.
- **Tobacco Store/Smoke Shop** shall mean a business with the sale of tobacco, either loose or prepared as cigarettes, and products for the smoking of tobacco constituting more than thirty percent of gross sales and/or thirty percent of net lease area.

6.2 Intent of the Land Use Regulations

Land uses within the Specific Plan area are discussed below in terms of: 1) overall objectives 2) the relationship of Specific Plan land uses to those in the Land Use Element of the General Plan and Specific Plan Land Use Designations 3) land uses permitted within the Specific Plan area.

The Specific Plan incorporates the following in order to achieve the expressed intent of the plan:

- Encourage and appropriate mix of land uses and investment on the Avenue to revitalize and bring about a demonstrable change in the Avenue's character.
- Limit or prohibit certain objectionable uses or over concentration of uses along certain segments of University Avenue including gas stations, some auto uses, fast food drive-in facilities, liquor stores, and motels.
- Provide land use and development standards incentives to encourage mixed-use developments and the conversion of nonconforming land uses to new uses that reflect the long-term vision for the corridor.
- Implement the land use concept of the University Community Plan, which includes distinctions between land uses east and west of Chicago Avenue.

6.2.1 Relationship to the General Plan Land Use Element

It is important that the General Plan and the Specific Plan remain consistent.

The Specific Plan interprets and refines the General Plan designations for this Specific Plan as follows:

- In general, retail, commercial, and office uses are permitted along the entire corridor.
- In addition, Planned Mixed-Use Commercial/Residential Development are encouraged with a Site Plan Review Permit.

6.2.2 Land Uses Permitted Within the Specific Plan or by Subdistrict and Limitations

Table 2 and Table 3 list limitations on these permitted uses.

Key To Land Use Classifications

The symbols in Table 2 designate the following land use classifications within each of the University Avenue Subdistricts:

- The letter "P" designates use classifications PERMITTED in the University Avenue Specific Plan Area.
- The letter "L" designates use classifications in the University Avenue Specific Plan Area, which are subject to certain LIMITATIONS prescribed by the number or numbers following the "L" designator shown in Table 2. Prescribed limitations can be found in Table 3, "Additional Use Regulations," that follow.
- The letter "C" designates use classifications only permitted in the University Avenue Specific Plan Area subject to the granting of a CONDITIONAL USE PERMIT. The granting of such permits may be for a specified, limited period of time as determined through the approval process.
- The letter "M" designates use classifications only permitted in the University Avenue Specific Plan Area subject to the granting of a MINOR CONDITIONAL USE PERMIT. The granting of such permits may be for a specified, limited period of time as determined through the approval process.
- The letter "SP" designates use classifications permitted in the University Avenue Specific Plan Area subject to the granting of a Site Plan Review permit.
- The symbol "-" (a dash) designates use classifications NOT PERMITTED in the University Avenue Specific Plan Area.

Using Tables 2 and 3

Land Uses Permitted In Each Subdistrict. The land uses permitted in each Subdistrict shall be only those uses expressly permitted in Table 2.

This table of land uses is based upon uses that are listed in the underlying zones within the University Avenue Specific Plan Area. These zones are the Commercial Retail (CR) Zone, Commercial General (CG) Zone, Mixed-Use Urban (MU-U) Zone, and Multiple Family Residential ("R-3") Zone. In order to implement the vision for University Avenue, the applicability of these uses has been modified or expanded as appropriate. Land uses are arranged alphabetically in Table 2.

The criteria established in this Specific Plan shall apply to all land uses permitted in the University Avenue Specific Plan Area and shall govern where conflicts arise with any regulations of an underlying zone. Unless specifically otherwise indicated in Table 2, all uses within the University Avenue Specific Plan Area, shall be conducted wholly within a building, except for off-street parking. Exceptions to this would be outdoor dining, food carts and kiosks. Outdoor dining is acceptable in association with any restaurant, subject to the approval of design and location factors by the Design Review Board. Food carts and kiosks are anticipated to be part of potential mixed-use projects. Provisions for these would be made as part of the conditional use permit process.

Limitations On Permitted Land Uses. Land uses permitted in each Subdistrict of the Specific Plan Area shall be subject to certain limitations indicated in Table 3, Additional Use Regulations, and prescribed by the number or numbers following the "L" designator in Table 2.

Uses Not Listed in Table 2

Any use not specifically permitted is prohibited, except uses that are determined by the Planning Director to be similar to the listed uses.

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Addressing service office	P	P	P	P	--
Advertising agency office	P	P	P	P	--
Administrative offices	P	P	P	P	--
Ambulance service	--	--	--	--	--
Antique shop	P	P	P	P	--
Appliance store	P	P	P	P	--
Appraiser office	P	P	P	P	--
Architect office	P	P	P	P	--
Art shop or gallery	P	P	P	P	--
Art supply store	P	P	P	P	--
Attorney at law office	P	P	P	P	--
Adult entertainment uses as defined in Chapter 19.61 of the Zoning Code	--	--	--	--	--
Automobile dismantling facility	--	--	--	--	--
Automobile storage garage, commercial	--	--	--	--	--
Automobile, van and truck sales	--	--	--	--	--
Automobile painting facility, including incidental body and fender work	--	--	--	--	--
Automobile rental	--	--	--	--	--
Automobile service station	--	--	--	--	--
Automobile service center	--	--	--	--	--
Automobile parts and accessories, retail (no service)	C	C	C	--	--
Automobile tire recapping	--	--	--	--	--
Automobile wash facility (car wash), hand or mechanical, including detailing	--	--	--	--	--
Bail bond agency	--	--	--	--	--
Bakery, retail	P, L26	P, L26	P, L26	P, L26	--
Bar, cocktail lounge, tavern	C	C	C	C	--
Barbershop	P	P	P	P	--
Beauty shop	P	P	P	P	--
Beverage container recycling facility (except auth., state-mandated collection points)	--	--	--	--	--
Billiard or pool hall	C, L27	C, L27	C, L27	C, L27	--
Bicycle shop	P	P	P	P	--
Boat sales or rentals	--	--	--	--	--

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Book store	P	P	P	P	--
Bowling alleys	--	C	C	C	--
Bus terminal	--	--	--	--	--
Business and management consultant office	P	P	P	P	--
Camera store	P	P	P	P	--
Catering establishment	P	P	P	--	--
Cemeteries, columbariums, crematories, mausoleums - offices connected with and incidental to such uses	--	--	--	--	--
Check cashing facility (payday advance)	M	M	M	M	--
Chiropodist office	P	P	P	P	--
Chiropractor office	P	P	P	P	--
Churches, church schools, parsonages, monasteries, convents and recreational or entertainment uses incidental to church purposes	C	C	C	C	--
City planner office	P	P	P	P	--
Cleaning and dyeing establishment (dry cleaners)	P	P	P	P	--
Clothing and wearing apparel shop	P	P	P	P	--
Clubs and lodges (private, nonprofit)	C, L8	C, L8	C, L8	C, L8	--
Coffeehouse	P	P	P	P	--
Collection agency office	P	P	P	P	--
Commercial coaches	P, L1	P, L1	P, L1	P, L1	--
Computer hardware & software store	P	P	P	P	--
Computer sales & service	P	P	P	P	--
Confectionery store	P	P	P	P	--
Consumer electronics store	P	P	P	P	--
Contractor storage yard	--	--	--	--	--
Copy shop	P	P	P	P	--
Commercial radio and television transmitting and receiving station and antennas	--	--	--	--	--
Creamery or other dairy processing facility	--	--	--	--	--
Credit reporting agency office	P	P	P	--	--
Day nursery, nursery school, house for children, and day care facility	C	C	C	C	--
Decorating or drapery shop	P	P	P	--	--
Delicatessen	P	P	P	--	--

**Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT**

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Department store	P	P	P	P	--
Dental laboratory	P, L2	P, L2	P, L2	P, L2	--
Detective agency office	P	P	P	P	--
Dry goods or notions store	P	P	P	P	--
Drug store	P	P	P	P	--
Economist office	P	P	P	P	--
Educational institutions and private elementary and high schools	C	C	C	C	--
Employment agency office	P	P	P	P	--
Engineer and surveyor office	P	P	P	P	--
Establishments involving large assemblages of people or automobiles, such as open-air theaters, stadiums, auditoriums, exhibition halls and sports arenas	--	C, L9	C, L9	C, L9	--
Farm and garden implement sales or rentals	--	--	--	--	--
Film processing - retail	P, L7	P, L7	P, L7	P, L7	--
Financial institutions, including banks, thrifts and credit unions		P	P	P	--
Florist shop	P	P	P	P	--
Frozen foods locker	P	--	--	--	--
Furniture store	P	P	P	P	--
Furniture reupholstery shop	P	--	--	--	--
Grocery, fruit or vegetable store or meat market	P	P	P	P	--
Gun shop / gun smithing	--	--	--	--	--
Hardware store	P	P	P	P	--
Health studio, reducing salon or gymnasium	--	C	C	C	--
Heliport and helistop	--	--	--	--	--
Homes for the aged, convalescent homes, rest homes, nursing homes and homes for mental patients	C	C	C	--	--
Hospital and sanitarium	--	--	--	--	--
Hotel - commercial	--	--	C, L30	C, L31--	--
Ice cream store	P	P	P	P	--
Ice sales facility	--	--	--	--	--
Ice skating rink	--	C	C	C	--
Insurance broker office	P	P	P	P	--
Jewelry store	P	P	P	P	--

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Keeping animals or fowl, including poultry, pigeons, rabbits, horses, mules, ponies, goats, sheep, cows, reptiles, exotic or similar animals	--	--	--	--	--
Laboratory	P, L28	P, L28	--	--	--
Land title company office	P	P	P	P	--
Landscape architect office	P	P	P	P	--
Laundry agency	--	--	--	--	--
Laundry - commercial	--	--	--	--	--
Laundry - self-service (laundromat)	P	P	P	--	--
Leather goods or luggage store	P	P	P	P	--
Libraries and museums (nonprofit)	C	C	C	C	--
Liquor store	--	--	--	--	--
Liquor sales - ancillary use	C, L29	C, L29	C, L29	C, L29	--
Manufacturer's representative office	P	P	P	P	--
Mental health counseling - outpatient facility	P	P	P	P	--
Millinery shop	P	P	P	C	--
Mini mall	C, L35	--	C, L35	--	--
Mineral extraction / surface mining	--	--	--	--	--
Mixed-use development, planned commercial/residential	SP, L11	SP, L11	SP, L11	SP, L11	SP, L11
Mixed Use (5 th Cycle Housing Element Rezone Program Sites with Mixed Use Zoning)	SP, L11	SP, L11	SP, L11	SP, L11	SP, L11
Mobile home sales	--	--	--	--	--
Motel	--	--	C, L30	--	--
Mortuary and associated chapel	--	--	--	--	--
Movie theater	C	C	C	C	--
Multiple-family residences	--	C, L10	--	C, L10	P
Multiple-family residences (5 th Cycle Housing Element Rezone Program Sites with Mixed Use Zoning)	P, L36	P, L36	P, L36	P, L36	P, L36
Museum (commercial)	C	C	C	--	--
Music store, record store	P	P	P	P	--
Newspaper publishing or printing	P	P	P	--	--
Newsstand	P	P	P	P	--
Night club	--	C	C	C	--

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Oculist office	P	P	P	P	--
Optician office	P	P	P	P	--
Optometrist office	P	P	P	P	--
Outdoor dining as defined in Section 19.04.394 of the Zoning Code	P	P	P	P	--
Osteopath office	P	P	P	P	--
Parking, off-street (independent lot)	P	P	P	P	--
Patio furniture sales	P	P	P	--	--
Pawnshop / pawnbroker	--	--	--	--	--
Pet shop	P	P	P	P	--
Photocopying and blueprinting	P	P	P	P	--
Photographer studio	P, L6	P, L6	P, L6	P, L6	--
Physical therapist	P	P	P	P	--
Physician office	P	P	P	P	--
Plant nursery, retail	P, L18	P, L18	P, L18	--	--
Post office	P	P	P	P	--
Prescription pharmacy	P	P	P	P	--
Psychiatrist office	P	P	P	P	--
Psychologist office	P	P	P	P	--
Public accountant office	P	P	P	P	--
Public notary office	P	P	P	P	--
Public relations consultant offices	P	P	P	P	--
Public uses	C	C	C	C	C
Publishing company office	P, L3	P, L3	P, L3	P, L3	--
Public utility service office	P	P	P	P	--
Public stenographer office	P	P	P	P	--
Real estate broker office	P	P	P	P	--
Research offices	P, L4	P, L4	P, L4	P, L4	--
Restaurant or cafe - with no on-site liquor sales	P	P	P	P	--
Restaurant or cafe - with on-site liquor sales	MC	MC	MC	MC	--
Restaurant - with drive-thru pursuant to specified development standards in Table 4	C, L33	C, L33	C, L33	C, L33	--
Roller skating rink	--	C	C	C	--
Shoe repair shop	P	P	P	P	--

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Shoe store	P	P	P	P	--
Smoke shop	--	--	--	--	--
Soda fountain	P	P	P	P	--
Sporting goods store	P	P	P	P	--
Stationery store	P	P	P	P	--
Stockbroker office	P	P	P	P	--
Studio or school - art, music, voice, dance or modeling	P	P	P	P	--
Substance abuse facility	--	--	--	--	--
Supermarket	P	P	P	--	--
Surgeon office	P	P	P	P	--
Swap meet - indoor	C	--	--	--	--
Swap meet - outdoor	--	--	--	--	--
Tabulation and computing service office	P	P	P	P	--
Tailor shop - custom making	P	P	P	P	--
Taxidermist	--	--	--	--	--
Telegraph consumer service office	P	P	P	P	--
Telephone answering service office	P	P	P	P	--
Theater, excluding outdoor theater	C	C	C	C	--
Ticket office / ticket agency	P	P	P	P	--
Tobacco shop	--	--	--	--	--
Tobacco sales – Ancillary to a permitted use	P	P	P	P	--
Toy shop	P	P	P	P	--
Trade associations, labor organizations, fraternal and social organizations	P, L5	P, L5	P, L5	P, L5	--
Trailer sales or rentals	--	--	--	--	--
Transportation ticket agency office	P	P	P	P	--
Travel bureau or agency	P	P	P	P	--
Vocational and self improvement school	C, L19	C, L19	C, L19	C, L19	--
Variety store	P	P	P	P	--
Veterinary clinic and small animal hospital	C, L23	C, L23	--	--	--
Video / game arcade	--	C	--	C	--
Video / game arcade, ancillary use	P	P	P	P	--
Video sales / rental store	P	P	P	P	--
Watch and clock repair shop	P, L15	P, L15	--	--	--

Table 2
LAND USES PERMITTED IN EACH SUBDISTRICT

Land Use Classification	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4a	Subdistrict 4b
Wedding chapel or parlor	C	--	C	--	--
Yogurt shop	P	P	P	P	--

Table 3
ADDITIONAL USE REGULATIONS

- L1 Only as temporary offices during the construction of a permanent building.
- L2 Subject to the limitation that manufacture, fabricating or selling of any article or commodity other than that incidental to dental offices shall not be permitted.
- L3 Provided that printing operations are not included.
- L4 Provided that such research offices are for the conduct of scientific research, theoretical studies and investigations by or under the supervision of professional scientists and/or highly trained specialists in the fields of physical, economic or social research; and provided that such research shall not involve the manufacture, fabrication, processing or sale of products on the premises; and provided that such research shall not be obnoxious or offensive by reason of emission of dust, gas, smoke, noise, fumes, odors, vibrations and potential release of hazardous materials or other similar causes.
- L5 Provided that the use is limited to administrative or executive offices only.
- L6 Provided that wholesale commercial sales of equipment or supplies shall not be permitted; but incidental film processing may be included.
- L7 Provided that wholesale commercial sales of equipment or supplies shall not be permitted.
- L8 Private catering business in conjunction with such uses may be included as an ancillary function provided that the conditional use permit specifically includes the catering business.
- L9 Only within an auditorium as a part of a hotel or educational facility.
- L10 Only as an integral part of a mixed-use development containing at least 15-acres in accordance with the provisions of this Specific Plan.
- L11 Refer to Zoning Code Table 19.120.050 (Mixed-Use Zones Development Standards) for development standards for Planned Residential and Commercial Mixed-Use Developments. See Section 7.2 of the Specific Plan for applicability.
- L12 (Reserved)
- L13 In accordance with the provisions of Chapter 19.40 of the Zoning Code; except that the sale of beer, wine and other closed container alcoholic beverages shall not be permitted.
- L14 (Reserved)
- L15 Excluding the sale of any merchandise or product except necessary parts sold in connection with the repair of watches and clocks.
- L16 (Reserved)
- L17 (Reserved)
- L18 Need not be conducted wholly within a completely enclosed building, provided that plants shall be the only items stored or displayed outside an enclosed building; and further provided that storage of fertilizers, plant food, mulches, potting soils, planters, flower pots, garden tools and similar items shall be screened from views from public rights-of-way and common private access ways.
- L19 Provided that schools involving the use or storage of goods, articles or substances which are combustibles, inflammable or explosive or likely to create a fire, radiation or explosive hazards and schools using equipment or processes permitted only in the C-3, M-1, M-2 and AIR Zones shall be prohibited; and further and provided that such use shall not be obnoxious or offensive by reason of emission of dust, gas, smoke, noise, fumes, odors, vibrations and potential release of hazardous materials or other similar causes.
- L20 (Reserved)
- L21 (Reserved)
- L22 In accordance with the provisions of Section 19.30.020(63) of the Zoning Code.

Table 3

ADDITIONAL USE REGULATIONS

- L23 Provided that the use is restricted to the medical treatment and incidental care such as bathing, the trimming of common household pets on an outpatient basis only, except that temporary boarding in connection with medical treatment shall be permitted and except that short-term boarding shall be permitted.
- L24 (Reserved)
- L25 (Reserved)
- L26 Provided the use involves retail sales only, and the products are sold only on the premises.
- L27 Provided that such use does not include the sale of alcoholic beverages, including beer and wine.
- L28 Provided that such laboratory shall not involve the use or storage of goods, articles or substances which are combustible, inflammable or explosive or likely to create a fire, radiation or explosive hazard; and further provided that such laboratory use shall not be obnoxious or offensive by reason of emission of dust, gas, smoke, noise, fumes, odors, vibrations, potential releases of hazardous materials or other similar causes.
- L29 Closed container sale of alcoholic beverages, including beer and wine, shall be permitted only as an ancillary use incidental to the sale of consumer soft goods; and further provided that space allocated to the sale of such alcoholic beverages is limited to no more than 15% of the total floor area devoted to the sale of such goods within the establishment.
- L30 Provided that the facility includes no less than 100 rooms and that on-site amenities include a full-service coffee shop, a 24-hour staffed front-office and rooms accessible by interior corridors. Rate sign advertising shall not be permitted. Commercial Hotel shall not mean a motel or a facility designed for single-room occupancy purposes, care facilities, half-way houses, or similar special purpose residential lodging facilities.
- L31 Provided that the facility includes no less than 100 rooms and a 24-hour staffed front-office. Rate sign advertising shall not be permitted. Commercial Hotel shall not mean a motel or a facility designed for single-room occupancy purposes, care facilities, half-way houses, or similar special purpose residential lodging facilities.~~(Reserved)~~
- L32 (Reserved)
- L33 Restaurant Drive-thru lanes, operations and service shall be permitted, to the approval of a Conditional Use Permit and the criteria found in Table 4, Development Standards.
- L35 Subject to the provisions of the Zoning Code.
- L36 For properties zoned as Mixed-Use Village (MU-V) or as Mixed Use-Urban (MU-U) as part of the 5th Cycle Housing Element Rezone Program to meet the City's Regional Housing Needs Allocation (RHNA), mixed use, and multiple-family residential uses shall be subject to the provisions of the Zoning Code. As provided in the Zoning Code, the mixed-use zoning for these sites shall allow stand-alone multi-family residential use by right per State Law (Government Code Section 65583.2).

7.0 DEVELOPMENT STANDARDS

7.1 Intent of the Development Standards

As stated in the preceding chapter, the policies, standards and design guidelines in this Specific Plan are formulated to implement an overall vision and development strategy for University Avenue as articulated through a number of means, not the least of which are the Strategic Development Plan for University Avenue and concerns raised through the public review process. This chapter outlines a further tier of objectives and policies pertaining to the plan's second major component - development standards.

The development standards contained in this section are regulatory in nature and govern all development within the Specific Plan Area. The standards should be used in combination with the Design Standards and Guidelines set forth in Section 8.0.

The densities proposed are consistent with the General Plan and, therefore, the roadway widths and types provided for in the Circulation Element will accommodate anticipated traffic demands. Major projects will, of course, be supplemented with specific traffic studies designed to address traffic impacts on a project specific basis. Where traffic would impact State Route 91 and Interstate 215, Cal-Trans will be invited to comment on any proposed projects. In addition, the Planning Department's environmental review function will address traffic impacts through such "Traffic Management Association" (TMA), considerations as flex-time work scheduling, on-site rideshare coordination and the like. In addition, the City's current fee schedule assesses fees for traffic impacts from project development.

7.2 Organization of the Development Standards into Three Tables

Table 4 lists development standards by Subdistrict. For Mixed-Use Developments as defined in Section 6.1.1 (Definitions), the standards contained in Table 19.120.050 (Mixed-Use Zones Development Standards) of the Zoning Code shall apply based upon the mixed-use zone corresponding to the General Plan Land Use Designation of the subject site, with the exception of Subdistrict 4a where the development standard for building height shall prevail.

Table 4 DEVELOPMENT STANDARDS BY SUBDISTRICT				
Section	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4
7.1 Building				
7.1.1 Intensity (Floor Area Ratio)	Maximum of 0.35 except for Consoli-dated Block De-velopment (see 7.2.7 of this Table).	Maximum of 0.50 except for Planned Mixed Use Commer-cial/ Residential Development, a maximum of 2.0 (see Table 5). For drive-thru restaurants in Subdistrict 2 (see section 7.6).	Maximum of 0.35 except for Consoli-dated Block Devel-opment (see 7.2.7 of this Table).	Maximum of 0.50 except for Planned Mixed Use Commer-cial/ Residential Development, a maxi-mum of 2.0 (see Table 6).
7.1.2 Height ¹	Maximum of 35 feet.	Maximum of 35 ft. within 50 ft. of a residential zone; other-wise a maximum of 55 ft. except for Planned Mixed Use Commercial/ Residential Development (see Table 5).	Maximum of 75 ft.	Maximum of 35 ft. except for Planned Mixed Use Commer-cial/ Residential Development, <u>Maximum of 100 ft. in Subdistrict 4a (see Table 6).</u>
7.1.3 Blank Walls	No building wall facing a public street or adjacent residential uses shall extend more than 25 feet vertically or horizontally without a visual break created by a minimum 2-ft. recess articulation in the exterior wall or architectural detailing.			
7.1.4 Ground Floor Front Facade Treatment	At least 75% of the area of the ground floor building wall fronting University Avenue shall be devoted to pedestrian entrances, display windows and other techniques in order to provide visual interest and establish a pedestrian environment along University Avenue.			
7.1.5 Compatibility with Surrounding Development	The rear and side walls of buildings which are visible from adjacent lots or streets shall be treated the same as the front wall. The walls of any parking structure or that portion of any structure used for parking shall be designed to substantially screen vehicles in the structure from a view of a person on a public street. The walls of the parking structure shall be similar in color, material and architectural detail with the building it serves.			
7.2 Site Design				
7.2.1 Building Location	Buildings shall be located as close as possible to the front setback line of University Avenue and parking shall be located to the rear or side of the parcels. For drive-thru restaurants in Subdistrict 2 see section 7.6.			

¹ Roof structures specified in Section 19.68.030 of the Zoning Code shall be permitted in addition to heights specified for each Subdistrict.



Table 4 DEVELOPMENT STANDARDS BY SUBDISTRICT				
Section	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4
7.2.2 Required Front Yard Setback	<p>For the purposes of these standards, the front yard is the yard adjacent to University Avenue.</p> <p>The minimum setback along University Avenue shall be 20 ft. from the property line.</p> <p>Within this setback area, the following is permitted:</p> <ul style="list-style-type: none"> • Pedestrian access walkways and plazas • Vehicular access driveways, but not parking • Lights to illuminate pedestrian access ways and vehicular access driveways and landscaped areas or buildings • Signs in accordance with the provisions of this Section • Open trellis structures or arcades over sidewalk areas are permitted, subject to Design Review approval • Landscaped areas • Pedestrian amenities such as decorative trash receptacles, benches, water elements, bicycle parking areas, public art and sculpture, bus/shuttle stops subject to Design Review approval. • Outdoor dining areas and fences defining these dining areas subject to a Conditional Use Permit and Design Review approval. <p>Within this setback area the following landscaping shall be required:</p> <ul style="list-style-type: none"> • From Park to Iowa Avenue plant a minimum of 24-inch box canopy trees spaced approximately 60 ft. on center in a 10 to 12-ft. wide planting strip adjacent to the public sidewalk, coordinating with the Streetscape Concept Plans for University Avenue or subsequently refined plans. (See Figure 29 of the Design Guidelines.) Concrete paving with a broom finish shall connect University Avenue and buildings on the property and a minimum of 50% of the area shall be in ground cover. • From Iowa to I-215, plant a minimum of 24-inch box canopy trees spaced in a staggered pattern with proposed shade trees planned for the public rights-of-way as a part of the Streetscape Concept Plans for University Avenue or subsequently refined plans. Decorative brick-like and concrete paving as per Design Review Guidelines for University Avenue. <p>Within this setback area, the following appurtenances shall not be permitted:</p> <ul style="list-style-type: none"> • News racks. • Vending machines. • Public telephones. 			
7.2.3 Required Street Side Yard	Minimum of 10 ft.	Minimum of 10 ft.	Minimum of 10 ft.	Minimum of 10 ft.
7.2.4 Required Side Yard Adjacent to Residentially Zoned Property and All Rear Yards	Minimum 20 feet side and rear yards, of which no more than 15 feet may include parking.	Minimum 20 feet side and rear yards, of which no more than 15 feet may include parking.	Minimum 20 feet side and rear yards, of which no more than 15 feet may include parking.	Minimum 20 feet side and rear yards, of which no more than 15 feet may include parking.
7.2.5 Lot Area ²	Minimum of 20,000 s.f.	Minimum of 80,000 s.f. For drive-thru restaurants in Subdistrict 2 see section 7.6.	Minimum of 20,000 s.f.	Minimum of 80,000 s.f.

² Applicable to all lots created after the date of adoption of this Specific Plan.

Section	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4
7.2.6 Lot Width ³	Minimum 100 ft.	Minimum 100 ft.	Minimum 100 ft.	Minimum 100 ft.
7.2.7 Lot Consolidation ⁵	See Footnote Below	N/A	See Footnote Below	N/A
7.2.8 Off-Street Parking Required Spaces	In accordance with Chapter 19.74 of the Zoning Code, unless otherwise specified for a particular use or mixed use in a subdistrict.			
7.2.9 Curb Cuts	The number of curb cuts on property fronting on University Avenue shall not be increased; curb cuts shall be eliminated where possible. Access to parking and service areas shall be provided from an alley or adjacent side street where such exists adjacent to the property, if feasible. Initiation and/or continuation of reciprocal access and parking easements may be required so that existing or future properties or developments may be interconnected, thereby reducing the need for additional curb cuts. Arrangements for future driveway removal may also be required.			
7.2.10 Walls and Fences Adjacent to a Residential Zone	Six-ft. high masonry walls shall be erected and maintained along property lines adjoining any lot in any residential zone.			
7.2.11 Screening				
Required Walls for On-Site Parking	Walls located along a lot which abuts a public street other than University Avenue shall be set back a minimum of 5 ft. from the property line adjacent to that street. The area between the sidewalk and wall shall be landscaped in accordance with the Design Guidelines. When a greater wall setback is required elsewhere in the Design Guidelines, the greater setback shall be required.			
Trash	A trash enclosure, six feet in height, constructed of similar material of the building, shall be provided on site. The trash enclosure shall be enclosed on all sides, and shall be six feet in height with a solid gate providing access to the trash area. Trash enclosed within the enclosure shall not exceed the height of the enclosure. No trash shall be stored in any section of the site except within an enclosed structure.			
Roof Appurtenances	All heating, ventilation, air conditioning equipment and ducts and other equipment or appurtenances located on roofs shall be screened from the view of people at ground level or adjacent buildings. Screens must be at least as high as the equipment.			
Loading Areas	All loading areas shall be screened from view from adjacent lots and public streets by a solid fence or wall not less than 6 feet in height.			
7.2.12 Pedestrian Linkages	A clearly defined pedestrian walkway shall be provided to connect building entrances to parking spaces and to adjacent sidewalks.			
7.2.13 Light and Glare	All exterior lighting shall be of an indirect nature, shielded to minimize illumination of adjacent properties and to reduce glare. Freestanding light poles shall not exceed a maximum height of fourteen feet.			
7.2.14 Utilities	All utility connections from the main line in the public right-of-way to buildings shall be located underground.			

³ To eliminate curb cuts and provide opportunities for image, pedestrian, and vehicular improvements, lot consolidation is encouraged. If the project is a Consolidated Block Development as defined in Section 6.0 of this Specific Plan, subject to the granting of a Conditional Use Permit.

- The total parking requirement for a combination of restaurants, retail and offices on a Consolidated Block Development site may be reduced up to 25% from the requirements otherwise specified in this Chapter, subject to the findings of a shared use parking analysis provided by the applicant.
- The Floor Area Ratio (FAR) may be increased to 1.0, provided other development standards of the Specific Plan are satisfied.

Table 4 DEVELOPMENT STANDARDS BY SUBDISTRICT				
Section	Subdistrict 1	Subdistrict 2	Subdistrict 3	Subdistrict 4
7.3	Landscaping of Public Rights-of-Way	If an assessment district for implementation of the Streetscape Concept Plan has not been approved at the time of improvement of a property, trees shall be planted in the public right-of-way or a street tree planting easement in accordance with the specifications established by the University Avenue Design Standards and Guidelines.		
7.4	Signs	Chapter 19.76 of the Zoning Code shall apply. New billboards are prohibited.		
7.5	Subdivision	No property shall be subdivided into smaller parcels within the University Avenue Specific Plan Area, except that subdivision may be permitted within an integrated project, such as a shopping center, condominium or planned mixed use commercial/residential development in accordance with the provisions of this Specific Plan.		
7.6	Drive-thru Restaurant Design & Development Criteria	<p><i>General Standards</i></p> <ol style="list-style-type: none"> 1) Drive-thru restaurants are only permitted with the approval of a Conditional Use Permit. 2) The proposed site, either currently or proposed, shall be part of a commercial complex of eight acres or greater in size with shared access via a driveway serving the restaurant as well as the greater commercial complex. If the proposed site is on a separate parcel, the parcel should be no less than 30,000 square feet. 4) Associated indoor or outdoor playgrounds shall be prohibited. 5) Additional driveway openings to a parcel shall be discouraged and existing driveways are to be closed where feasible. 6) Buildings shall be designed with substantial mass (height and bulk) to create a strong building profile on the property as seen from the street frontage. <p><i>Drive-thru Lane and Window Standards</i></p> <ol style="list-style-type: none"> 7) Drive-thru windows are prohibited on the front building elevation directly facing a street frontage. 8) Drive thru lanes shall be designed in such a way as to be screened from view from the street through elevation differences, landscaping, arbors, trellises, canopies, walls and other architectural features used to reduce the visual presence of drive-thru operations. <p><i>Outdoor Dining Standards</i></p> <ol style="list-style-type: none"> 9) If an outdoor dining area is proposed, it shall be located fronting on the street frontage to promote pedestrian traffic. 10) All outdoor dining areas shall be designed in compliance with the City's "Outdoor Dining and Outdoor Food Preparation Requirements and Design Guidelines." 11) Outdoor dining areas may encroach to within five feet of the street frontage property line to encourage pedestrian usage. <p><i>Additional Design Standards for Drive-thrus with frontage on University Avenue</i></p> <ol style="list-style-type: none"> 12) The building shall be located in close proximity to the street frontage with parking and drive-thru lanes located to the rear of the building. 13) The restaurant should incorporate significant outdoor dining facilities, which shall be prominently visible from and integral to University Avenue. 14) No parking shall be located between University Avenue and the applicable primary building on the parcel. 15) Clear and dominant pedestrian access should be provided from University Avenue to the restaurant use. 		

**AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY**



March 15, 2018

**CHAIR
VACANCY**

**VICE CHAIRMAN
Steve Manos
Lake Elsinore**

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Riverside**

**John Lyon
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**Director
Simon A. Housman**

**John Guerin
Paul Rull
Barbara Santos**

**County Administrative Center
4080 Larron St., 14th Floor
Riverside, CA 92501
(951) 955-5132**

www.rcaluc.org

Mr. Sean Kelleher, Associate Planner
City of Riverside Planning Division
3900 Main Street, 3rd Floor
Riverside CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1303MA18 (letter 2 of 2)
Related File No.: P16-0066 (Conditional Use Permit), P16-0067 (Design Review)
APN: 250-240-037

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case Nos. P16-0066 (Conditional Use Permit) and P16-0067 (Design Review), a proposal to establish a 122,459 square foot seven story (93 foot tall) mixed use hotel, including 126 guest rooms for long-term stays and three restaurants, on a 0.83-acre parcel (“Lot K”) with an address of 1277 University Avenue and located easterly of Iowa Avenue, northerly of University Avenue, and southerly of Linden Street.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of the site is more than 500 feet lower than the elevation of March’s Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level). The site is located more than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport. (The notice radius for Flabob Airport is 10,000 feet and the notification slope is 50:1, since the runway length does not exceed 3,200 feet) Therefore, Federal Aviation Administration Obstruction Evaluation Service review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

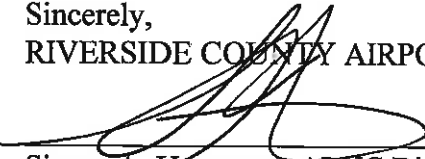
CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to lessees of the structure(s) thereon.
4. No detention basins are depicted on the site plan. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

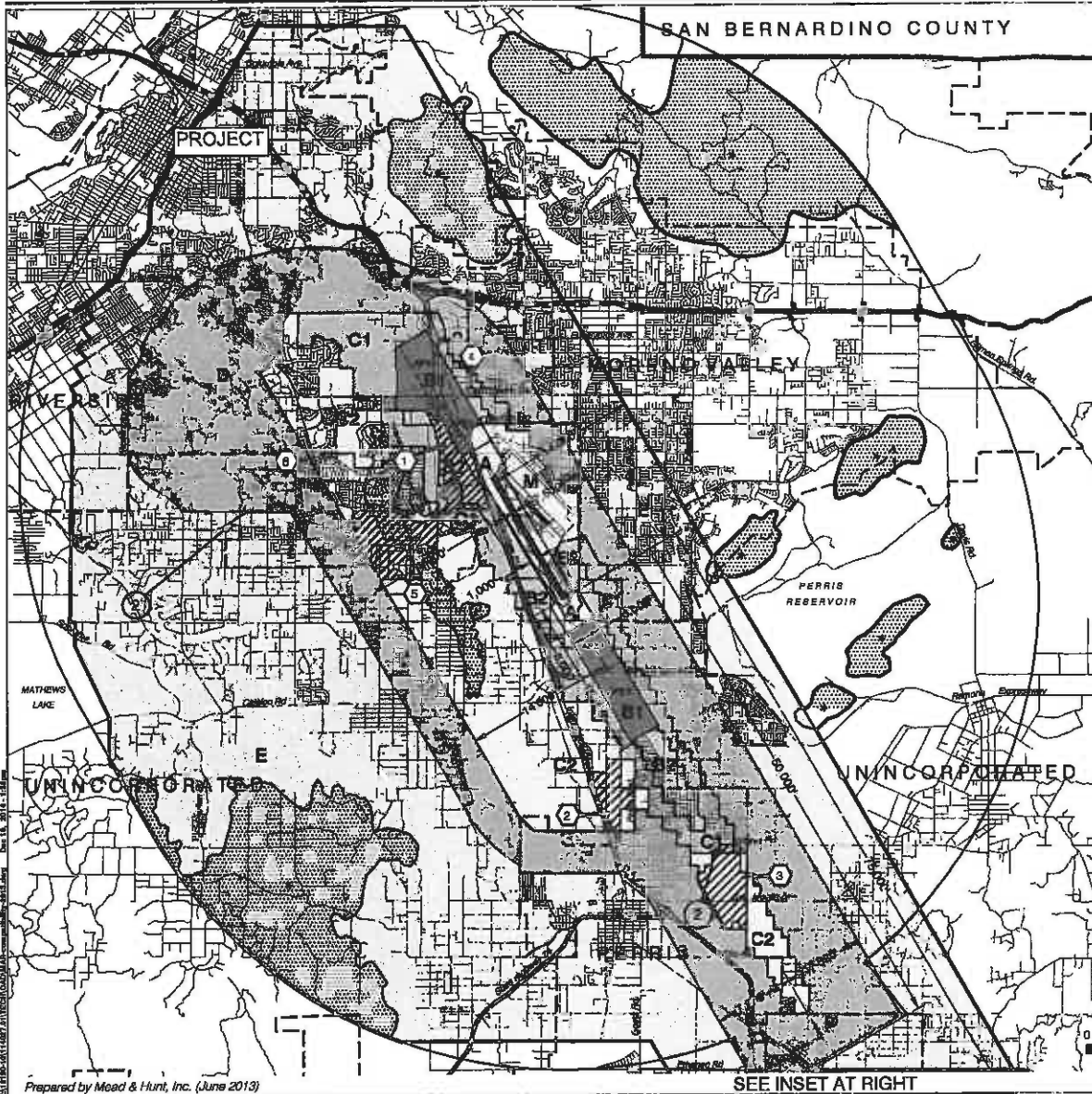
Attachments: Notice of Airport in Vicinity

cc: Rick Engineering Company, Kristin Werksman (applicant/representative)
Prime Investment International Inc, Paul Lin (property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Daniel "Rock" Rockholt, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1303MA18\ZAP1303MA18.LTR CUP.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

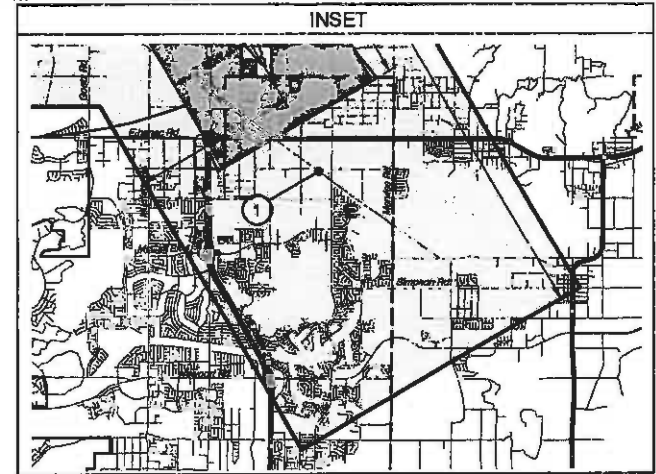
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County
Airport Land Use Commission**

**March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan**

(Adopted November 13, 2014)

Note:
All dimensions are measured from
runway ends and centerlines.



0 2 4 MILES

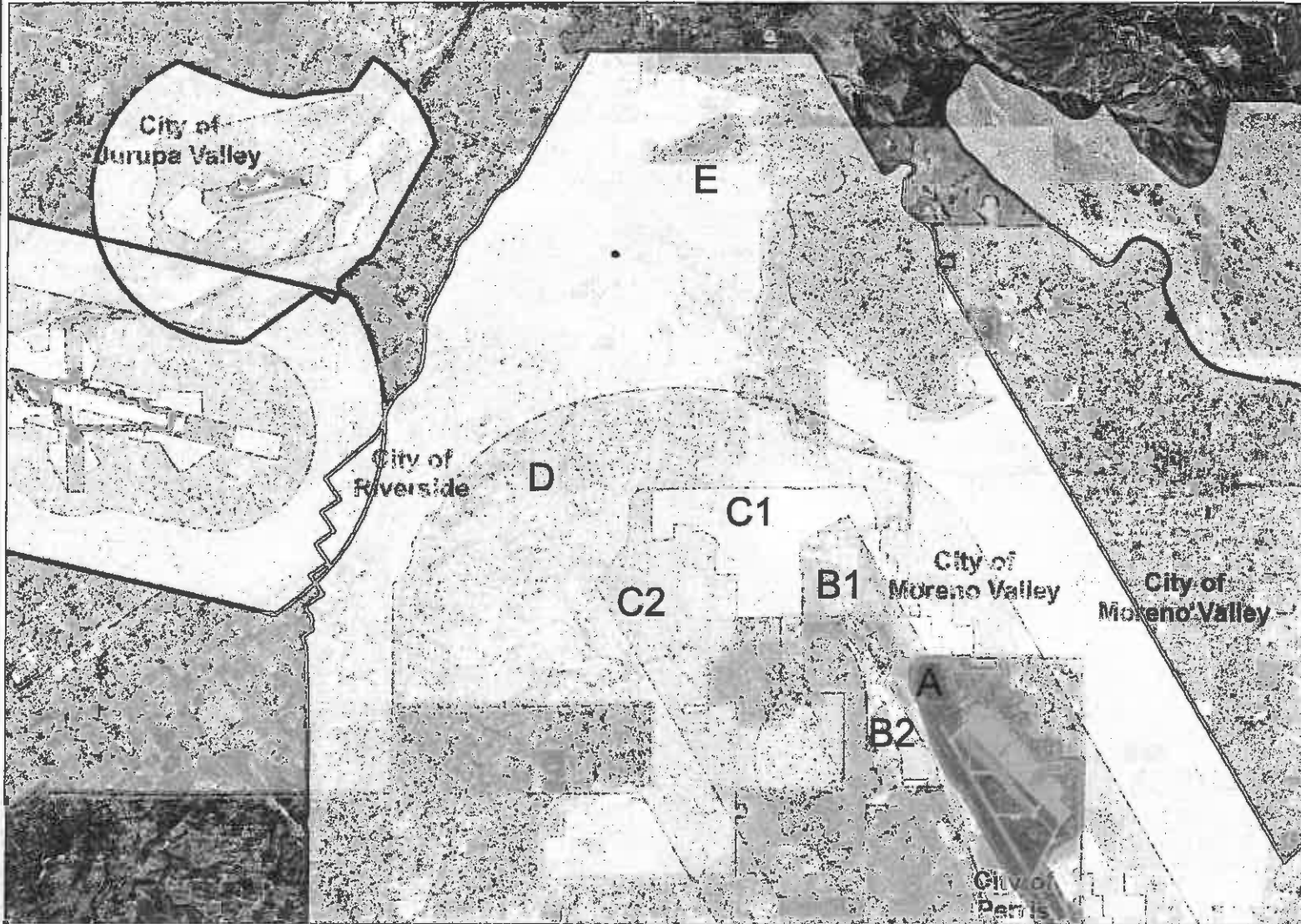
Base map source: County of Riverside 2013

Map MA-1

Compatibility Map
March Air Reserve Base / Inland Port Airport

SEE INSET AT RIGHT

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 11,482 22,964 Feet



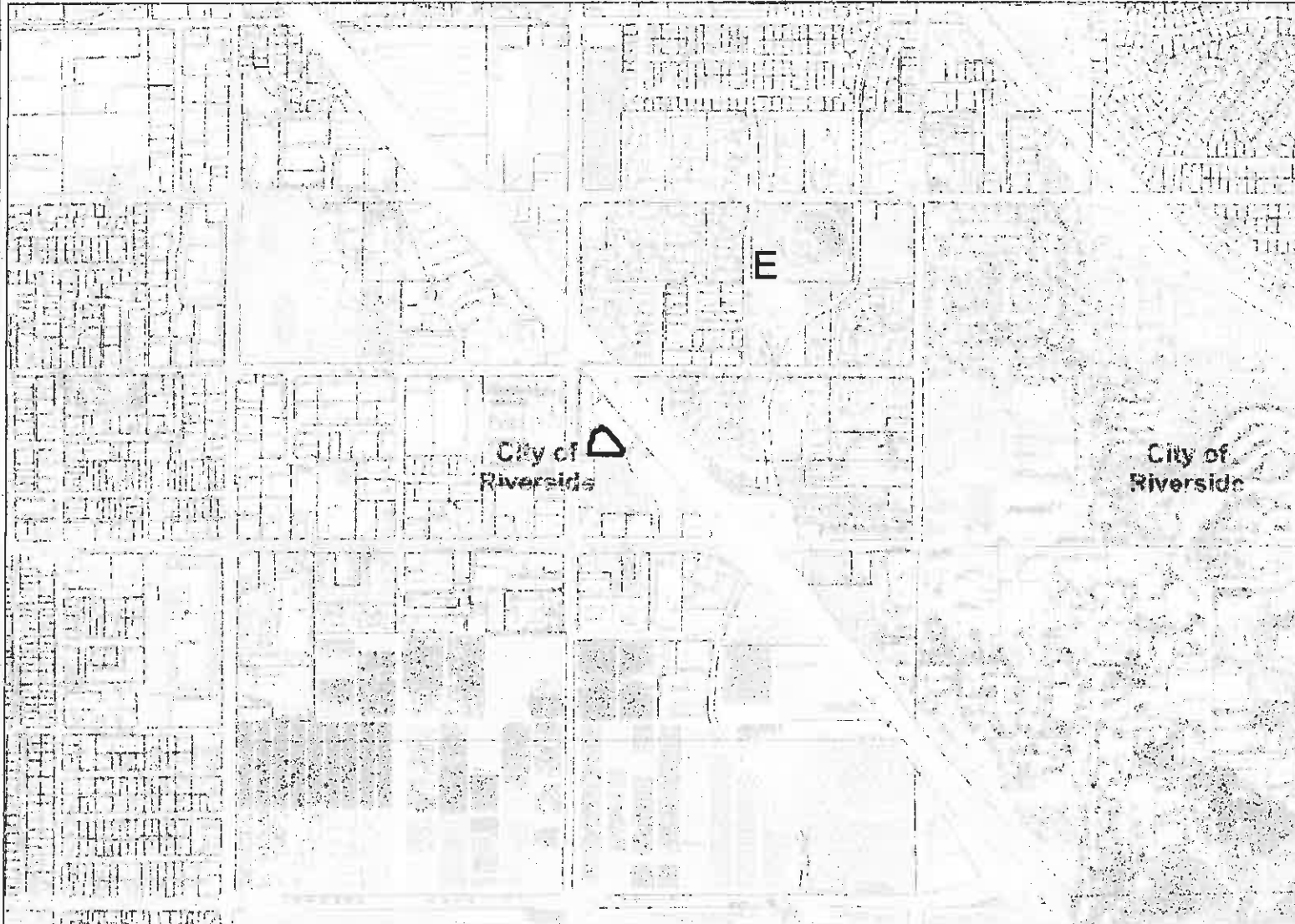
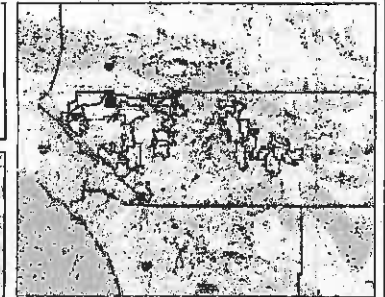
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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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0 1,435 2,871 Feet

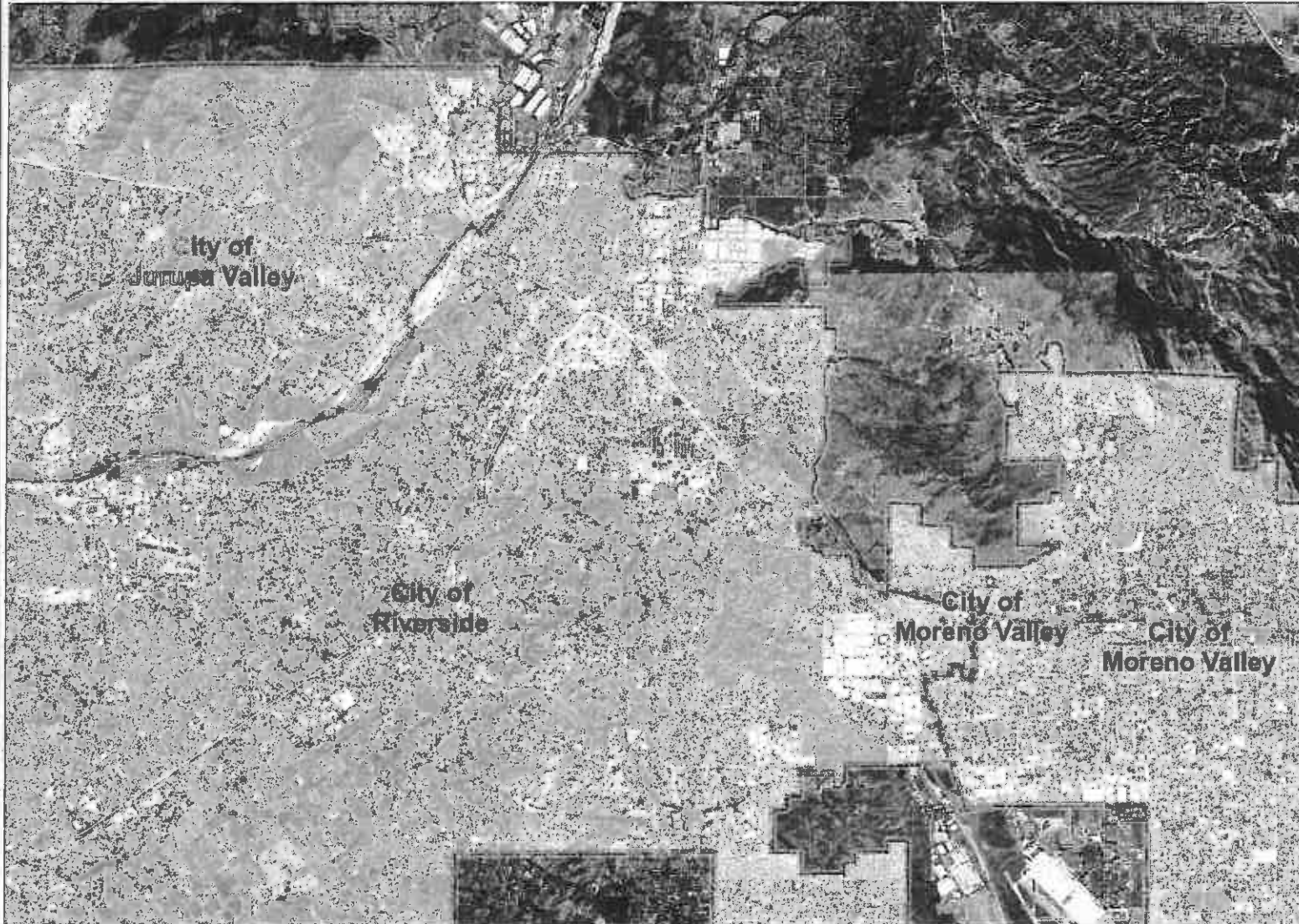
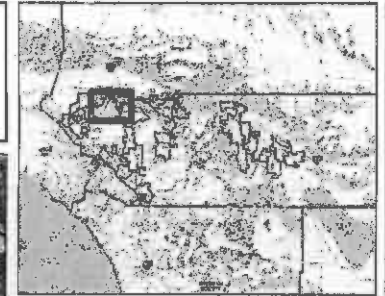


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Notes

My Map



Legend

-  City Boundaries
- Cities**
- adjacent_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
-  counties
-  cities



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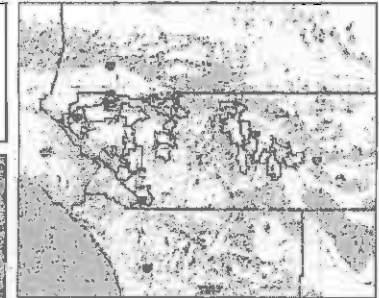
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Notes

My Map



Legend

-  City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
-  counties
-  cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,871 5,741 Feet



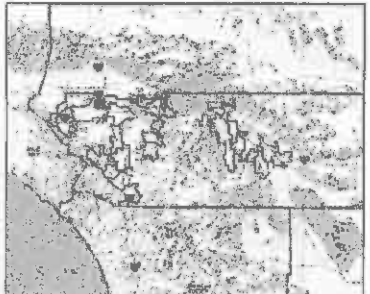
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

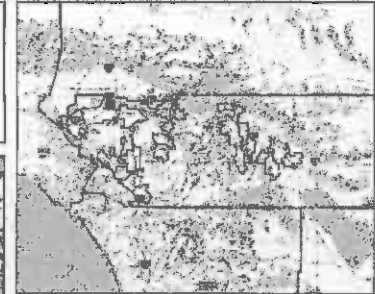


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Notes

My Map



Legend

- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 718 1,435 Feet



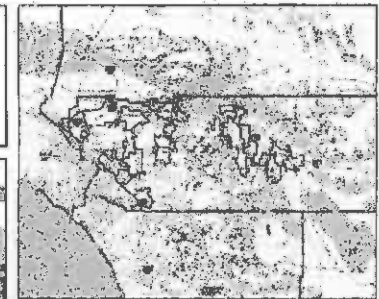
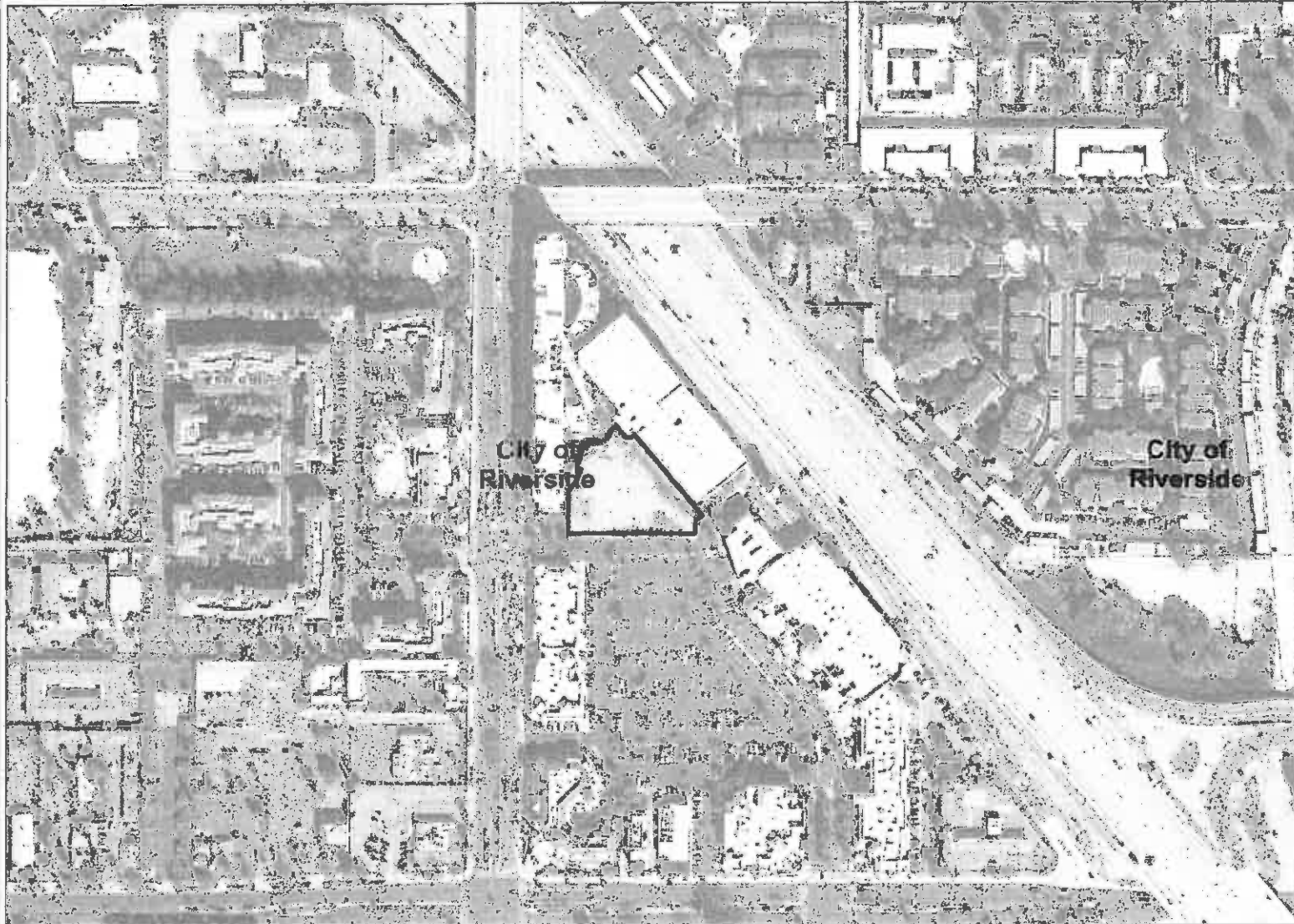
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...3/5/2018 11:41:35 AM






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Notes

My Map



Legend

-  City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
-  Lakes
-  Rivers



0 359 718 Feet



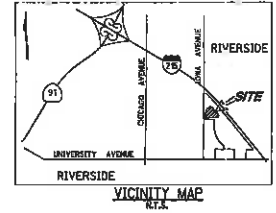
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 3/5/2018 11:42:11 AM

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Notes

IN THE CITY OF RIVERSIDE, CALIFORNIA
PLOT PLAN EXHIBIT
 UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER

PRIME INVESTMENT INTERNATIONAL, INC.
 1700 CASTLETON STREET, SUITE 405
 CITY OF INDUSTRY, CA 91748
 ATTN: PAUL LIN
 (926) 369-3311

ENGINEER/CONTACT PERSON

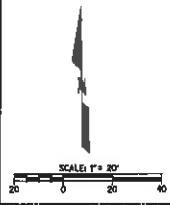
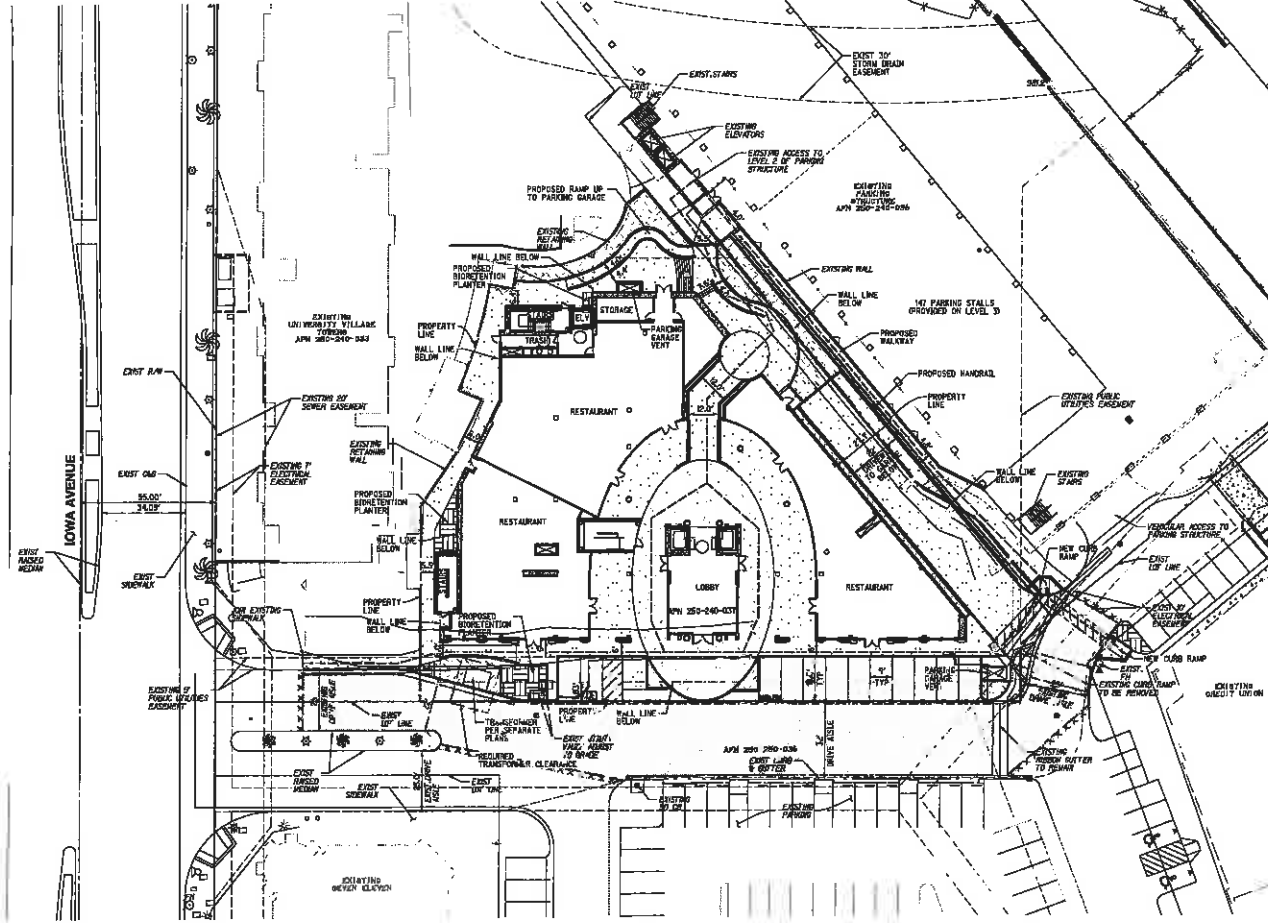
WCL ENGINEERING COMPANY
 1750 BONA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE: (951) 782-0207
 FAX: (951) 782-0722
 ATTN: MICHELE BERESMAN

ASSESSOR PARCEL NUMBER

250-240-037

LEGEND

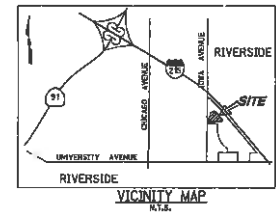
PROPERTY BOUNDARY	---
ADA PATH OF TRAVEL	---
EASEMENT	---
PLANTER AREA	PA
EXISTING SEWER LINE	---
EXISTING WATER LINE	---
EXISTING ELECTRIC	---
PROPOSED AC PAVEMENT	---
PROPOSED CONCRETE	---
PROPOSED HANDRAIL	---
PROPOSED LANDSCAPE	---
PROPOSED BIODEGRADABLE PLANTER	---
PROPOSED DECORATIVE PAVERS	---
PROPOSED TRUNCATED DOMES	---



DATE PREPARED: JANUARY 25, 2018
 REVISION: FEBRUARY 21, 2018
PLOT PLAN
UNIVERSITY VILLAGE
PAD K
 CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET 0-2



IN THE CITY OF RIVERSIDE, CALIFORNIA
PRELIMINARY GRADING EXHIBIT
 UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER
 PRIME INVESTMENT INTERNATIONAL, INC.
 1700 CASTLETON STREET, SUITE 403
 RIVERSIDE, CA 92504
 PHONE: 951-505-0707
 FAX: 951-505-2323
 ATTN: MARTIN WEISBERG

ENGINEER/CONTACT PERSON
 RICK ENGINEERING COMPANY
 1775 IOWA AVENUE, SUITE 100
 RIVERSIDE, CA 92504
 PHONE: 951-505-0707
 FAX: 951-505-2323
 ATTN: MARTIN WEISBERG

ASSESSOR PARCEL NUMBER
 250-240-037

ABBREVIATIONS

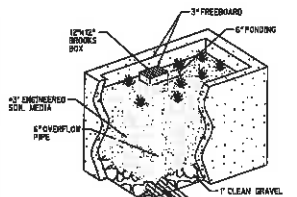
EXISTING	EXIST/EX
PROPOSED FLOOR	PF
PROPOSED GRADE	PG
PROPOSED SURFACE	PS
PIPE HYDRANT	PH
FLORLINE	FL
GRADE BREAK	GB
PUBLIC UTILITY CASEMENT	PUC
RIGHT OF WAY	R/W
STORM DRAIN	SD
TOP OF CURB	TC
TOP OF WALL	TW
PROPERTY LINE	PL
BIDIRECTIONAL PLANTER BOX	BPB
TOP OF GRADE	TG

LEGEND

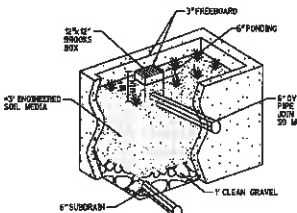
PROPERTY BOUNDARY	---
PROPOSED DRIVE	---
EXISTING WALL	---
EXISTING SEWER LINE	---
EXISTING WATER LINE	---
EXISTING ELEC. LINE	---
EXISTING STORM DRAIN	---
EXISTING ELEVATIONS	---
SLOPE	---
PROPOSED AC PAVEMENT	---
PROPOSED CONCRETE	---
PROPOSED WALL	---
PROPOSED HANDRAIL	---
PROPOSED LANDSCAPE	---
PROPOSED BIDIRECTIONAL PLANTER	---
PROPOSED DECORATIVE PAVEMENT	---
PROPOSED TRUNCATED DOME	---
PROPOSED STORM DRAIN	---

SOIL PROPERTIES

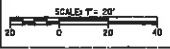
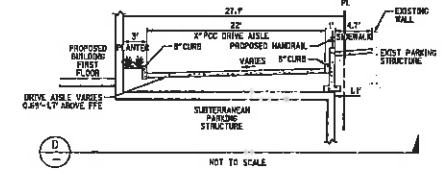
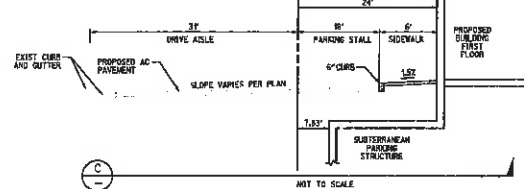
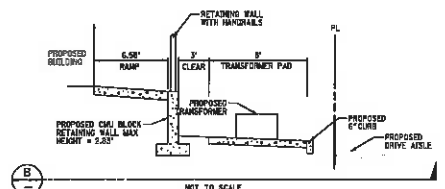
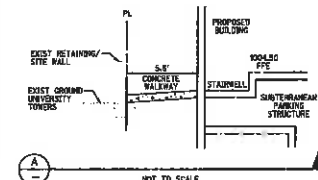
PERCENT RANGE	COMPONENT
70-80	SAND
15-20	SILT
5-10	CLAY



RAISED PLANTER BOX ISOMETRIC VIEW
 NOT TO SCALE
 BFB-1, BFB-2 & BFB-3



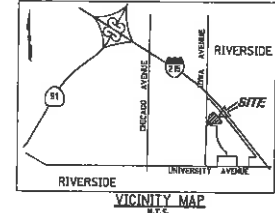
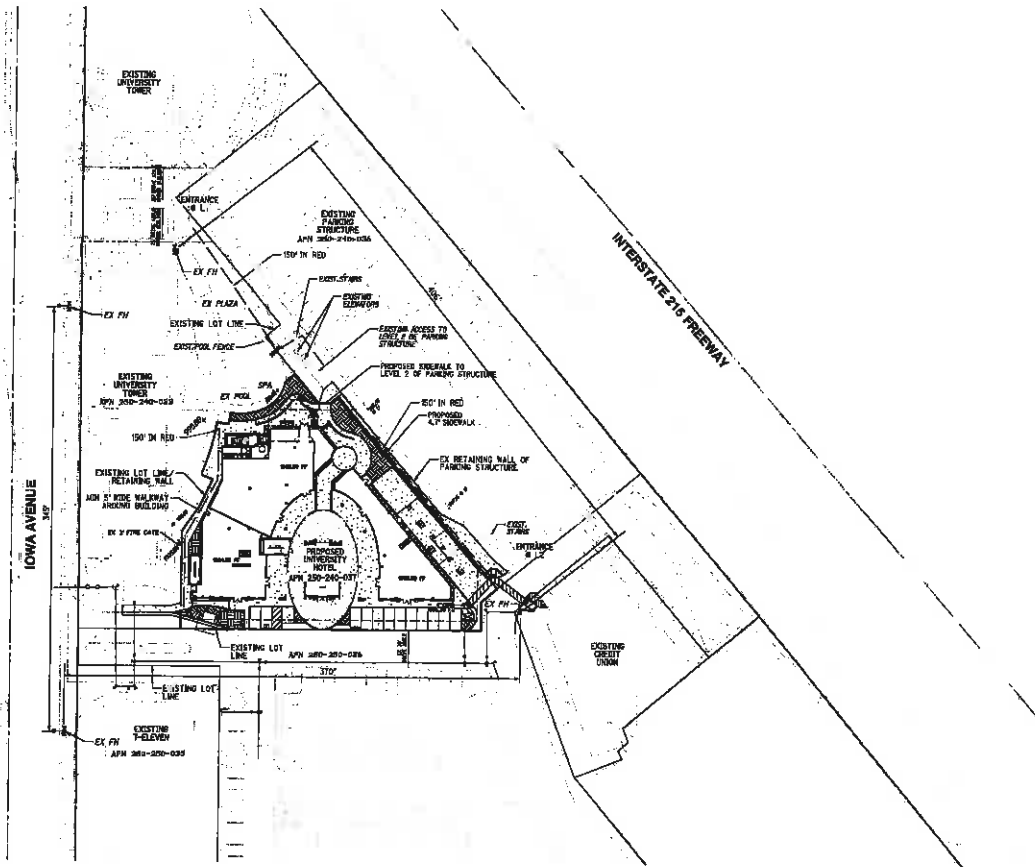
RECESSED PLANTER BOX ISOMETRIC VIEW
 NOT TO SCALE
 BFB-2, BFB-3, BFB-4



DATE PREPARED: JANUARY 25, 2019
 REVISED: FEBRUARY 21, 2019
PRELIMINARY GRADING
UNIVERSITY VILLAGE
PAD K
 CITY OF RIVERSIDE
 THE COUNTY OF RIVERSIDE, CALIFORNIA
 SHEET D-3



IN THE CITY OF RIVERSIDE, CALIFORNIA
FIRE ACCESS PLAN
 UNIVERSITY VILLAGE - PAD K



APPLICANT/OWNER/DEVELOPER
 PRIME INVESTMENT INTERNATIONAL, INC.
 1700 CASTLETON STREET, SUITE 403
 CITY OF INDUSTRY, CA 91744
 ATTN: PAUL LIU
 (951) 952-3371

ENGINEER/CONTACT PERSON
 RICK ENGINEERING COMPANY
 1710 IOWA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 PHONE: (951) 782-0707
 FAX: (951) 782-0702
 ATTN: KRISTIN WENIGMAN

ASSESSOR PARCEL NUMBER
 250-040-037

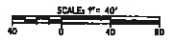
LEGEND

PROPERTY BOUNDARY	---
FIRE ACCESS	---
STREET CENTERLINE	---
EXISTING FIRE SERVICE	---
EXISTING FIRE HYDRANT	⊗
EXISTING RATE VALVE	⊙

NOTES:
 PROVIDE FOR FIRE DEPARTMENT ACCESS TO THE FACILITY AND ANY GATE, REMOVED DEVICES ARE AVAILABLE FOR USE IN THE CITY, CONTACT THE FIRE DEPARTMENT FOR APPLICATIONS AND DETAILS.
 ANY REQUIRED PUBLIC HYDRANT SHALL BE SPACED A MINIMUM OF 350 FEET. ANY PRIVATE HYDRANTS ARE BASED ON THE FIRE FLOW REQUIREMENTS PER CALIFORNIA FIRE CODE.
 FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

DATE PREPARED: JANUARY 25, 2018
 REVISION: FEBRUARY 21, 2018
PAD K
UNIVERSITY VILLAGE
1277 UNIVERSITY AVE.
 CITY OF RIVERSIDE
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA

SHEET C-4



NOTES

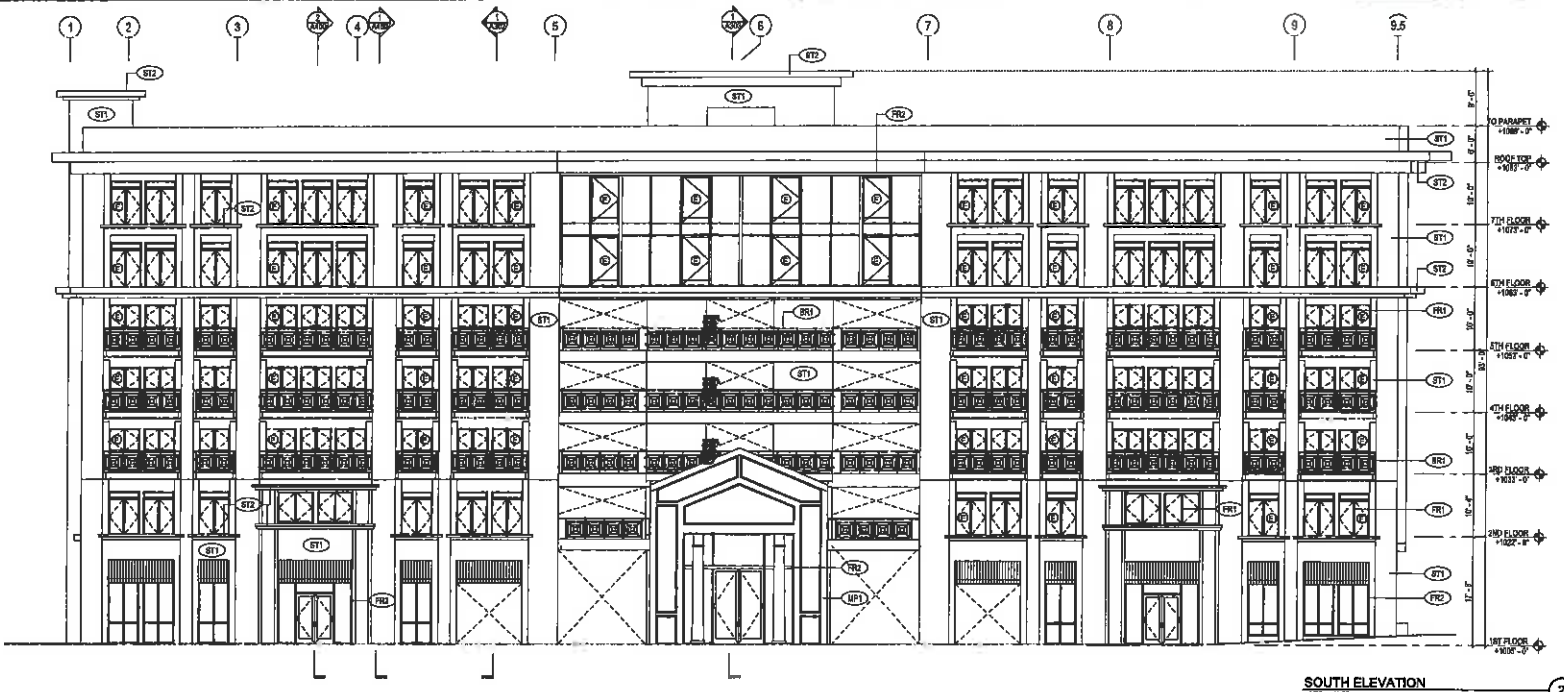
XXX

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FOL, FOM OR CENTER LINE OF WALL UNLS.
 - B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
 - C. OUTSIDE AIR WALL COVERS TO BE 10'-0" AWAY FROM ALL EXTERIORS.
- EQUALS LOUISERS TO BE 3'-4" FROM OUTSIDE AIR INLET.

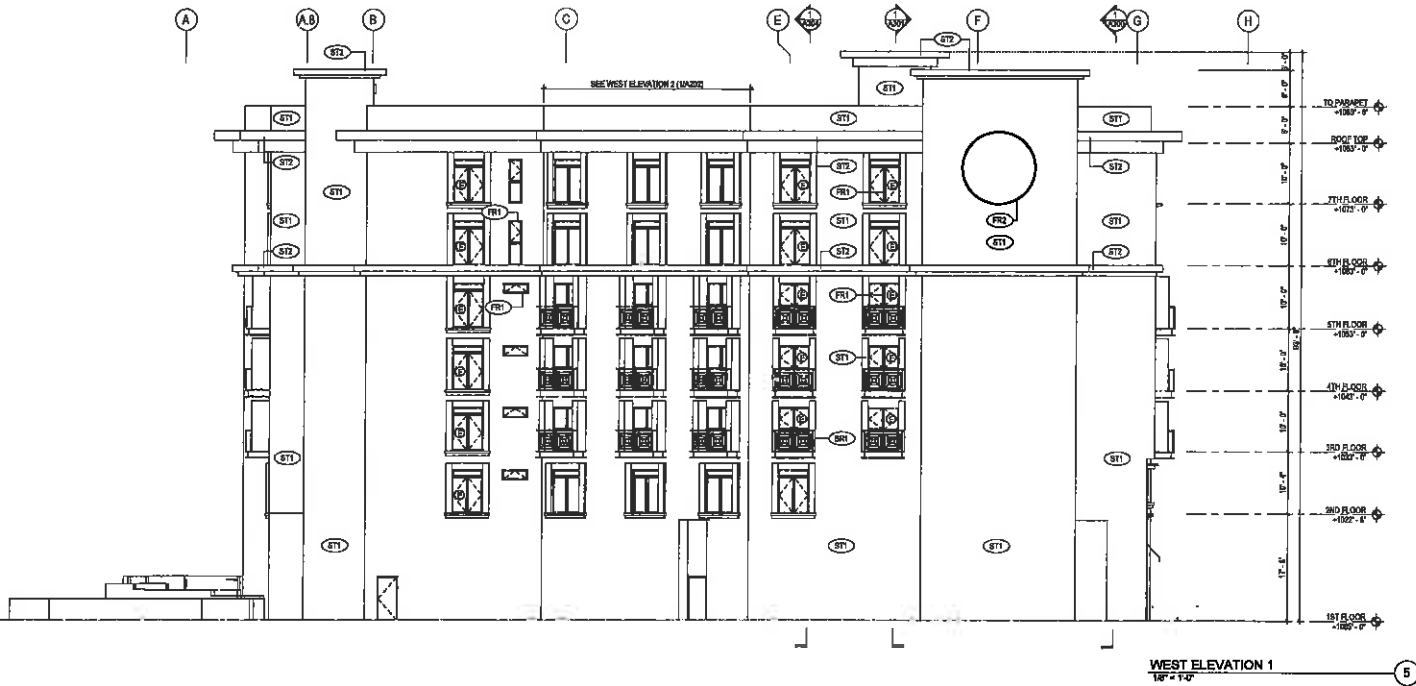
LEGEND

- ST1 FLASTER FINISH, SMOOTH TROWEL
- ST2 FLASTER FINISH, SMOOTH TROWEL, ACCENT COE OR
- SM METAL BALCONY RAILING
- VF VINYL FRAME
- PF ALUMINUM FRAME
- MP1 METAL PANEL
- MP2 METAL PENCE
- EW EGRESS WINDOW



SOUTH ELEVATION

2



WEST ELEVATION 1

5

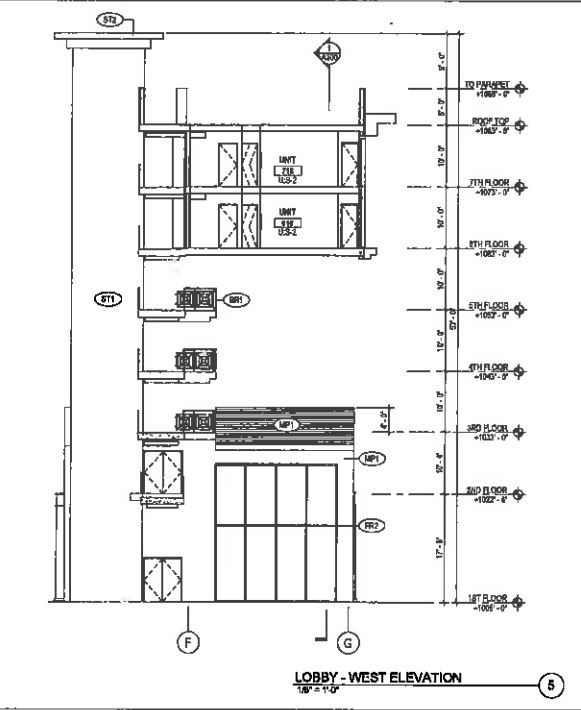
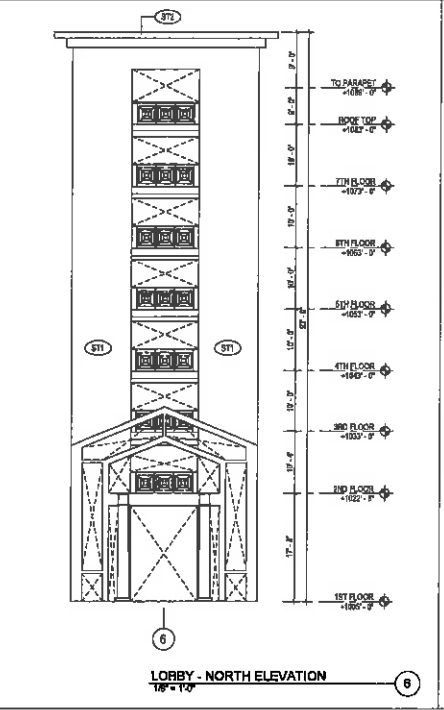
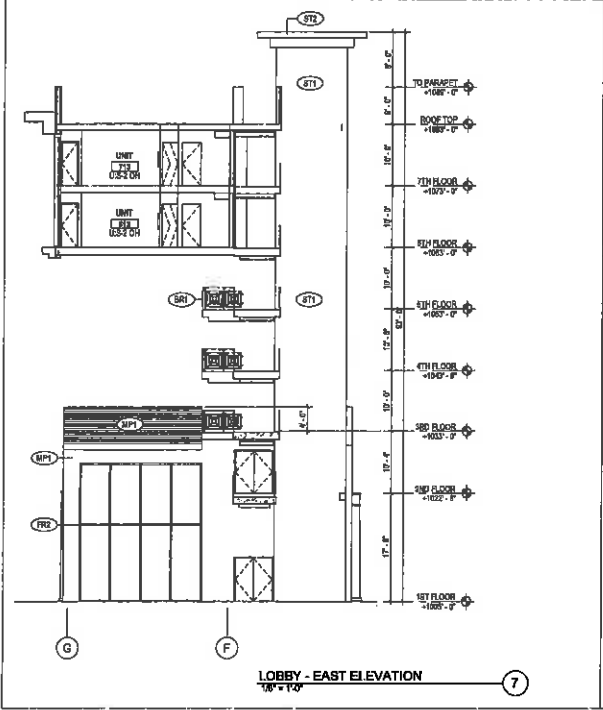
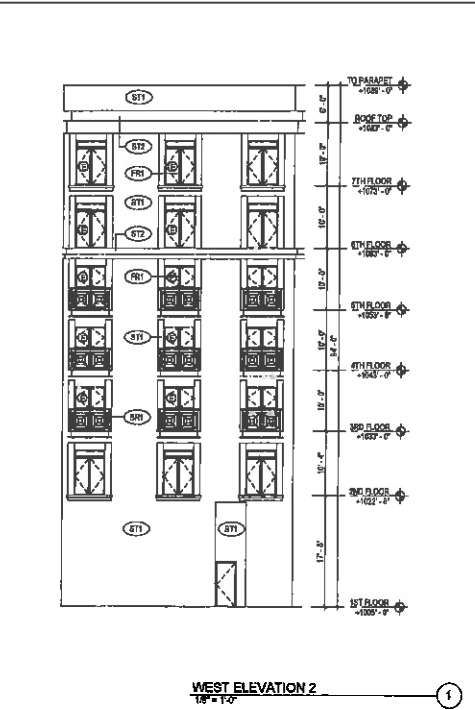
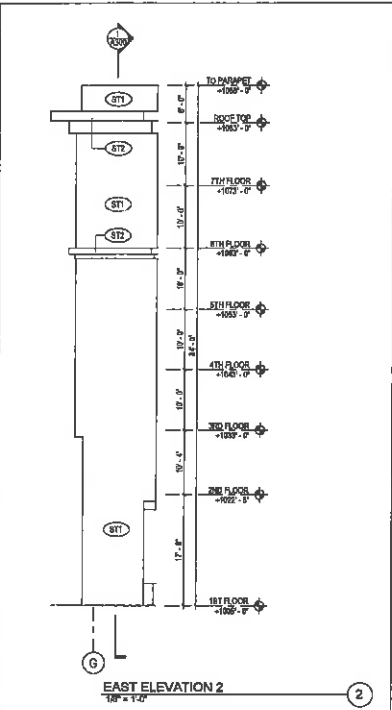
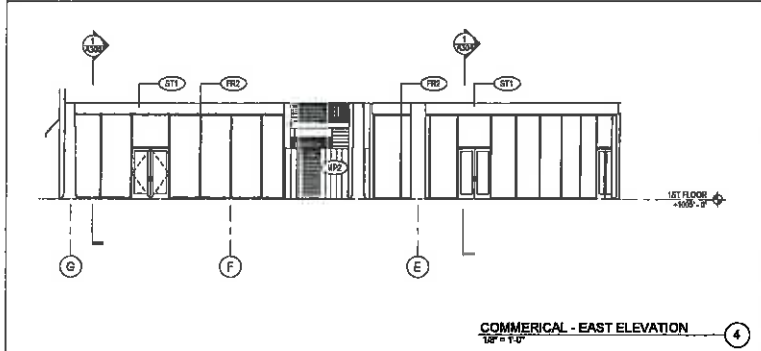
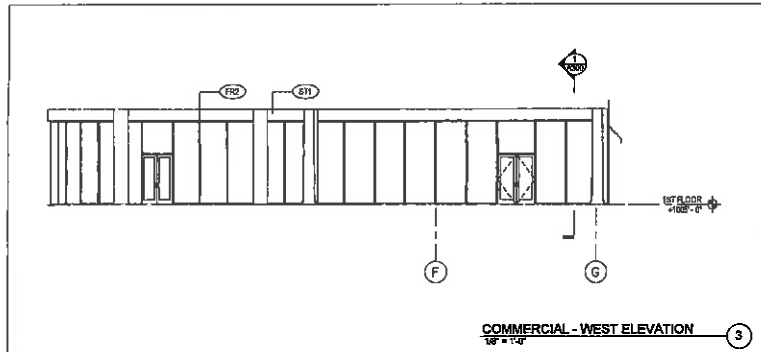
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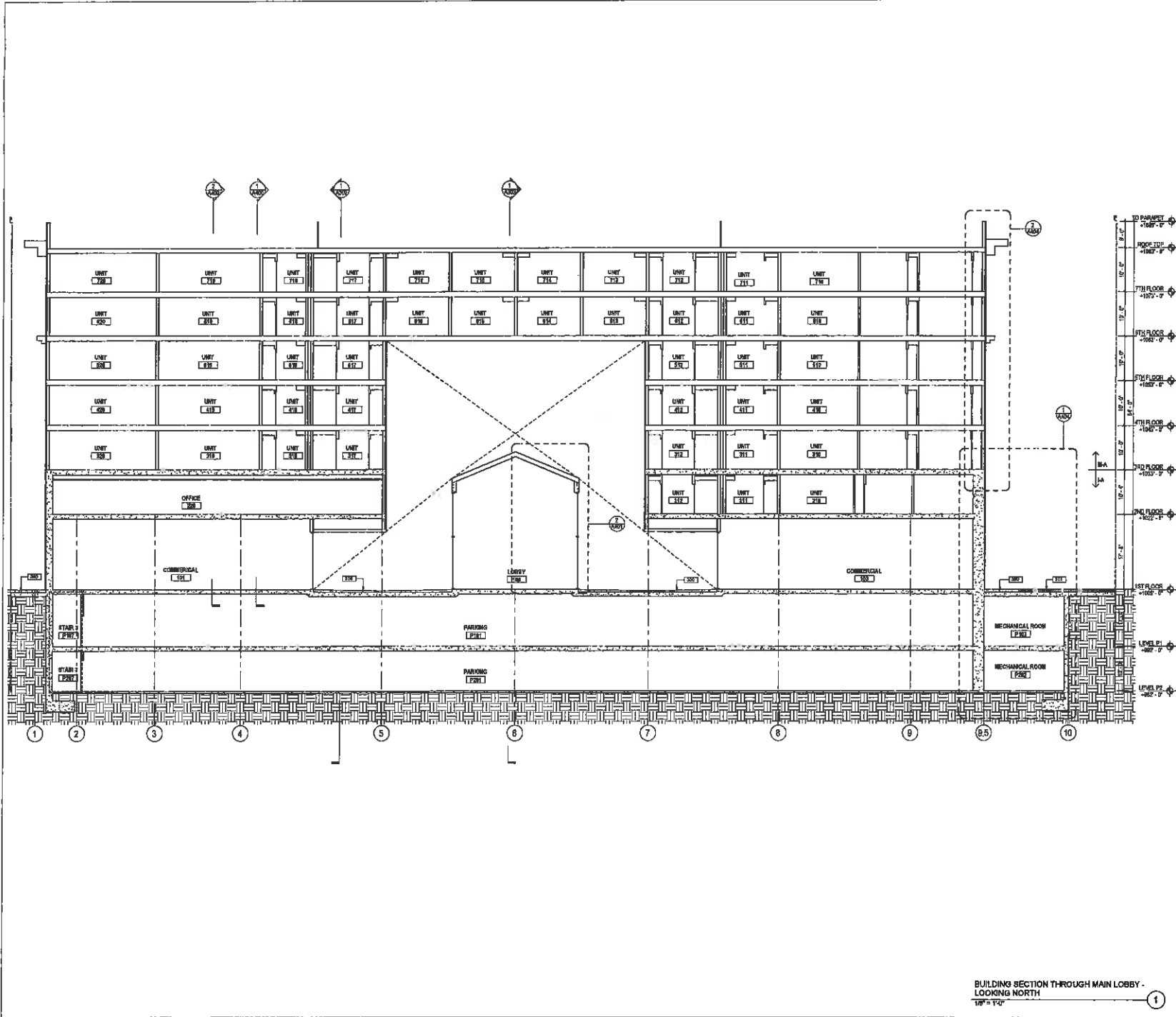
SHEET NOTES

- A. ALL DIMENSIONS ARE TO F2L FROM CENTERLINE OF WALL UNL.
- B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- C. OUTSIDE AIR WALL LOUVER TO BE 10" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVER TO BE 3'-4" FROM OUTSIDE AIR INLET.

LEGEND

- (S1) PLASTER FINISH, SMOOTH TROWEL
- (S2) PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR
- (BR) METAL BALCONY RAILING
- (V) VINYL FRAME
- (AL) ALUMINUM FRAME
- (MP) METAL PANEL
- (MF) METAL FENCE
- (C) EGRESS WINDOW





- NOTES**
- 300 CONCRETE TOPPING SLAB OVER W.P. MEMBRANE
 - 301 ASPHALT PAVING

PATRICK CHIU & ASSOCIATES
 300 W. CLARY STREET
 SAN GABRIEL, CA 91776
 951.272.7054

UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 1750 CARLTON ST., SUITE 400
 CITY OF INDUSTRY, CA, 91744

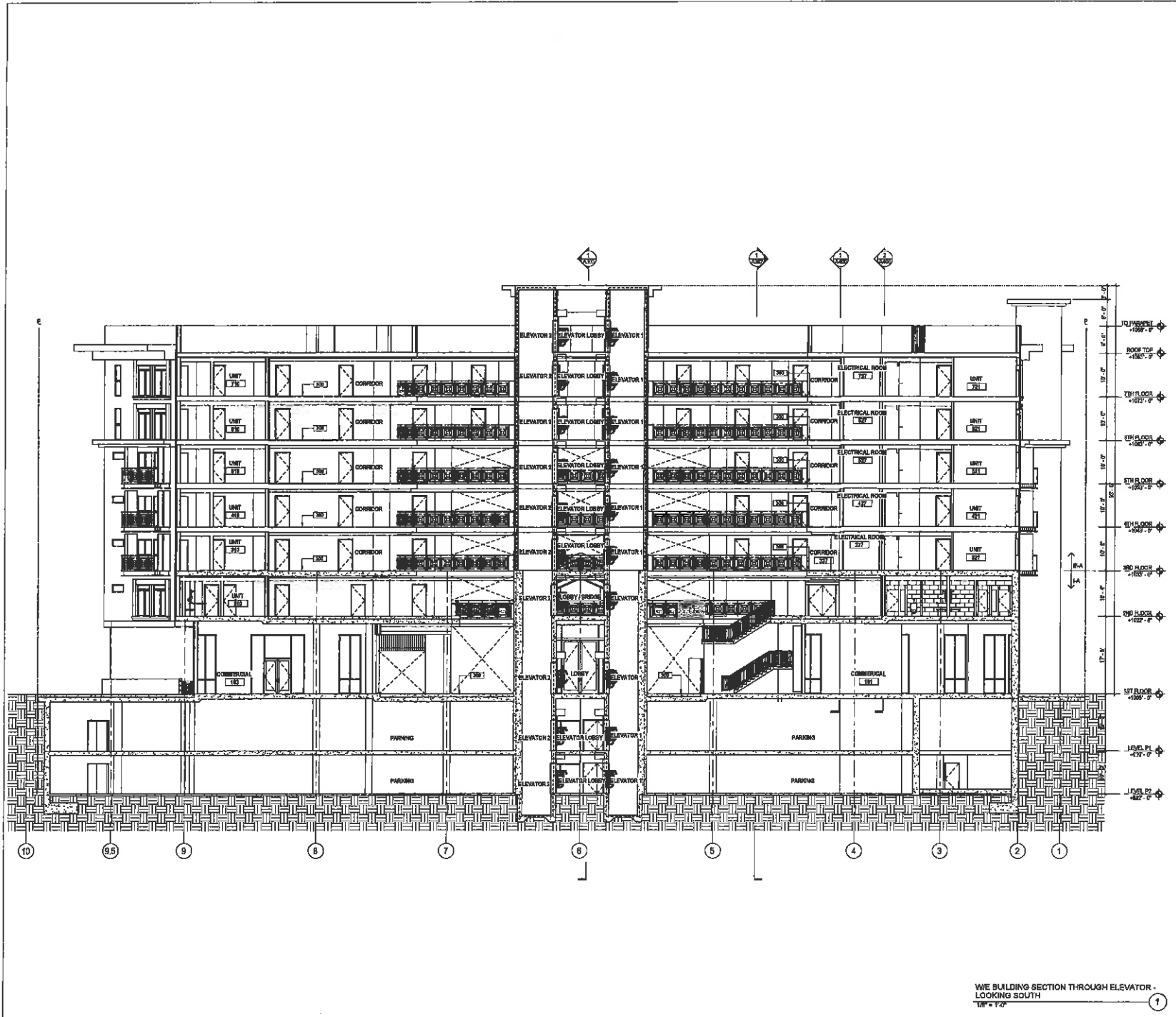
PLANNING DESIGN REVIEW
 16-012
 24 FEB 2018

LEGEND
 ----- 2HR WALL

BUILDING SECTION THROUGH MAIN LOBBY -
 LOOKING NORTH
 1/8" = 1'-0" ①

BUILDING SECTIONS

A300



NOTES

300 CONCRETE TOPPING SLAB OVER W/P. MEMBRANE

302 PLANTER

LEGEND

----- 2 HR WALL

WE BUILDING SECTION THROUGH ELEVATOR - LOOKING SOUTH
1/8" = 1'-0"

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91778
951.277.7656

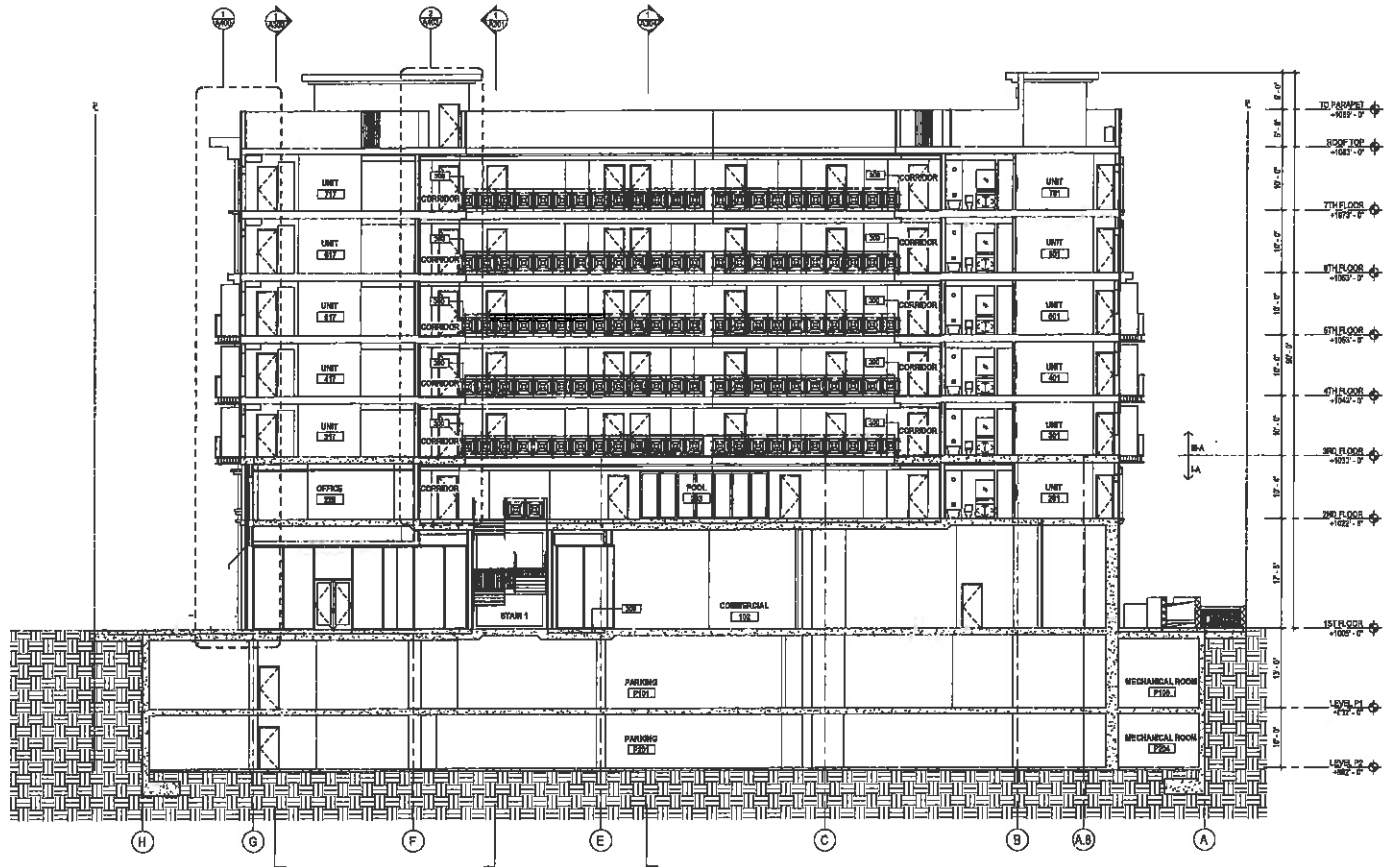
UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
1790 CHARLETON ST. SUITE 408
CITY OF INDUSTRIAL, CA 91714

PLANNING DESIGN REVIEW
16-012
21 FEB 2018

A301



NOTES
 300 CONCRETE TOPPING SLAB OVER
 W.P. MEMBRANE
 302 PLANTER
 303 RAMP

PATRICK CHIU & ASSOCIATES
 390 W. CLARY STREET
 SAN GABRIEL, CA 91779
 909.279.7658

UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT
 INTERNATIONAL, INC.
 1790 CARLETON ST., SUITE 400
 CITY OF INDUSTRY, CA 91744

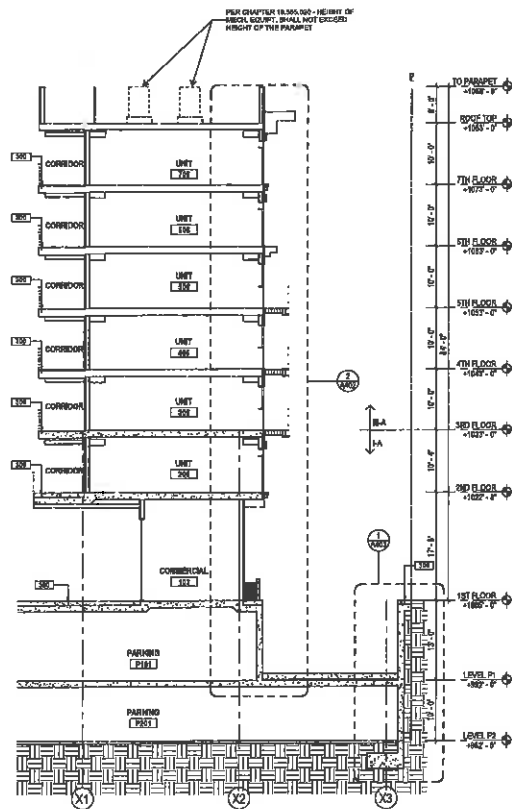
PLANNING DESIGN REVIEW
 16-012
 21 FEB 2010

LEGEND
 - - - - 2 BR WALL

BUILDING SECTIONS

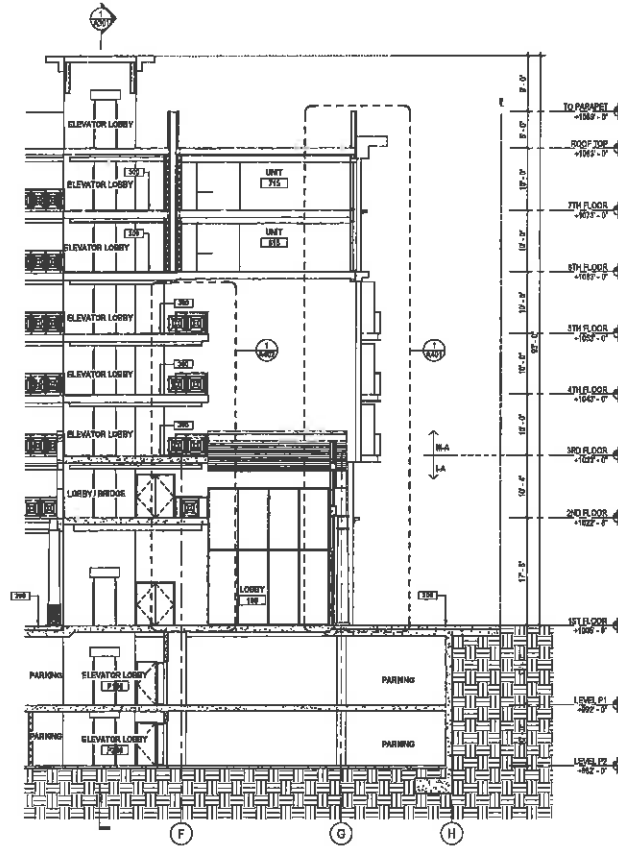
NS BUILDING SECTION - LOOKING WEST 1

A302



PARTIAL BUILDING SECTION THROUGH
PARKING RAMP - LOOKING NORTH
1/8" = 1'-0"

2



PARTIAL BUILDING SECTION THROUGH
MAIN LOBBY - LOOKING EAST
1/8" = 1'-0"

1

NOTES

- 300 CONCRETE TOPPING SLAB OVER W.F. MESH/REINFC
- 302 PLANTER

LEGEND

--- 2HR WALL

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SUN GARDEN, CA 91778
(951) 272-7658

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PHILIP INVESTMENT
INTERNATIONAL, INC.
1700 EASTON ST. SUITE 408
CITY OF RIVERSIDE, CA 92504

PLANNING DESIGN
REVIEW
15-012
21 FEB 2018

BUILDING
SECTIONS

A303
REVISION

NOTES
 00 CONCRETE TYPING: 24 FEB 2018
 BY: HENNING
 SA: DAVID ARRAF

PATRICK CHIU & ASSOCIATES
 800 W. CLARY STREET
 SAN GABRIEL, CA 91776
 626.272.7033

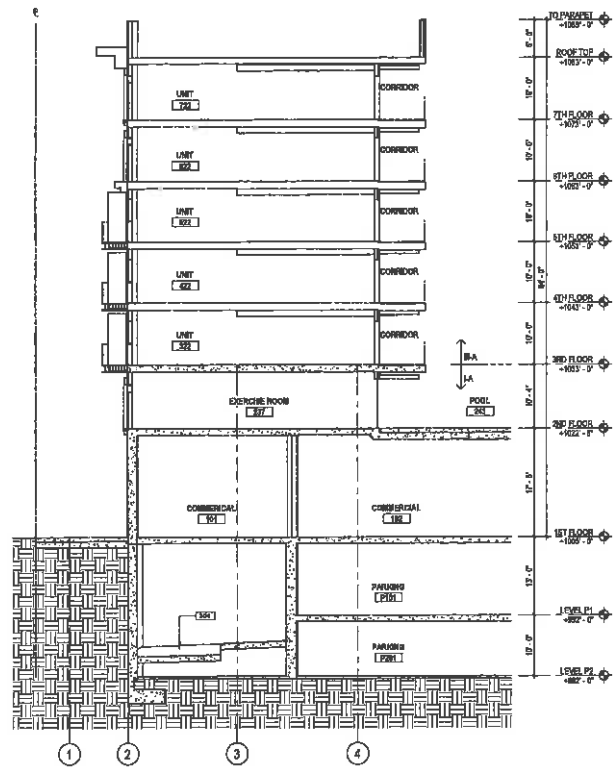
UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 5750 CALIFORNIA PL, SUITE 408
 CITY OF RIVERSIDE, CA, 92501

PLANNING DESIGN REVIEW
 16-012
 21 FEB 2018

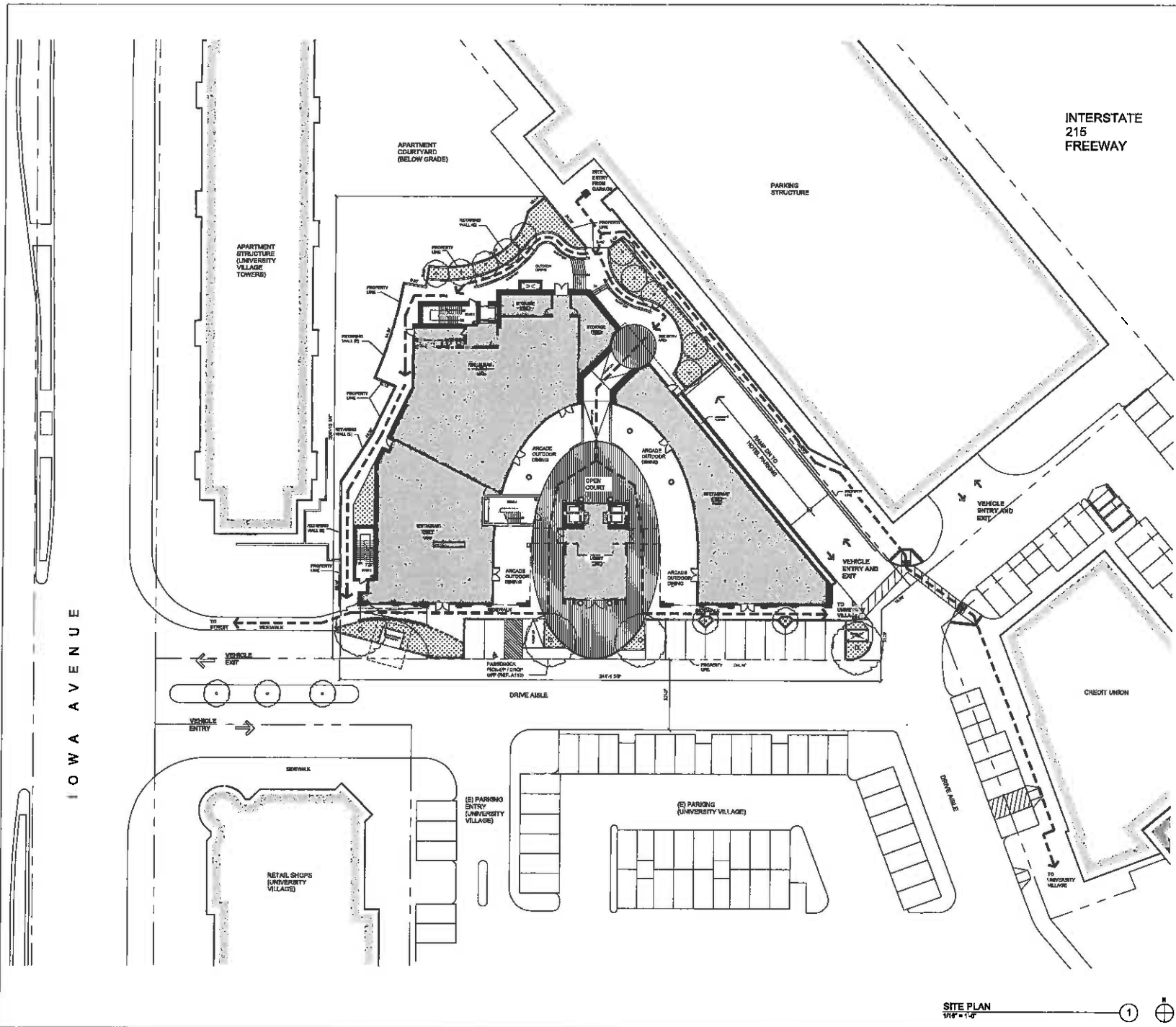
BUILDING SECTIONS

A304



PARTIAL SECTION THROUGH WEST BUILDING WING - LOOKING NORTH
 1/8" = 1'-0" ①

LEGEND
 --- (1/8" = 1'-0")



NOTES

LEGEND

- ← ACCESSIBLE PARKING TOWERS
- ▨ LANDSCAPE AREA
- ▧ TILE PATTERNS

SITE PLAN

1

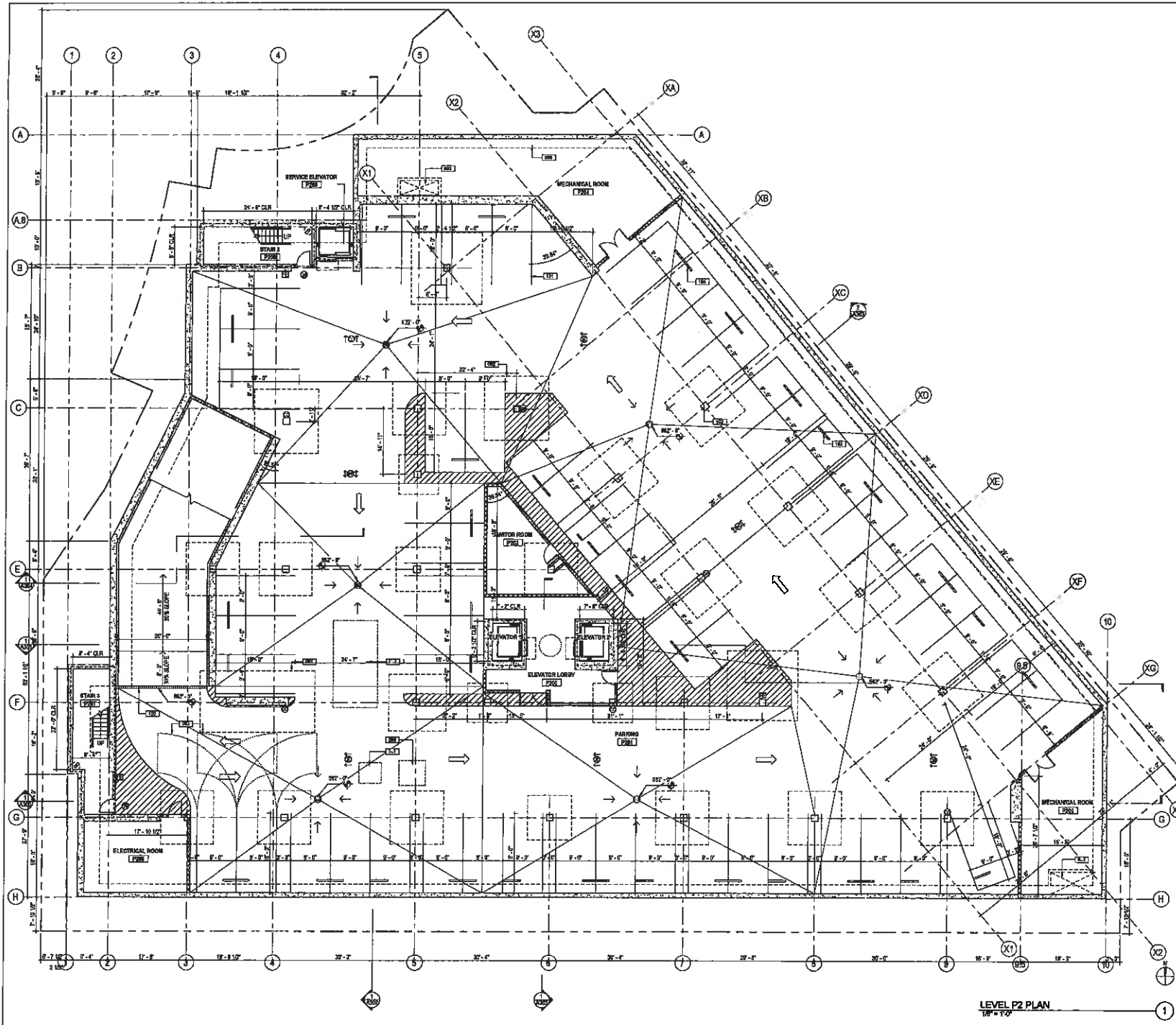
PATRICK CHIU & ASSOCIATES
 200 W. CLARY STREET
 SAN GABRIEL, CA 91776
 (916) 772-7008

UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 1708 CASTLETON STREET
 SUITE 100
 CITY OF INDUSTRY, CA 91744

PLANNING DEPT REVIEW
 18-012
 21 FEB 2018

A000



- NOTES**
- 080 PERIMETER FOOTING, PER STRUCTURAL
 - 081 SHEAR WALL FOOTING, PER STRUCTURAL
 - 082 COLUMN FOOTING, PER STRUCTURAL
 - 083 BACKING CUT TURNING MOVEMENTS FOR VEHICLE
 - 080 SEWAGE EJECTOR PER PLUMBING CODES
 - 081 SUMP PUMP PER PLUMBING CODES
 - 082 GREASE INTERCEPTOR PER PLUMBING CODES
 - 083 LINE OF OPENING ABOVE TO 2HR SHARP
 - 100 TRENCH DRAIN
 - 101 PARKING SPACE STRIPPING, TYP.
 - 102 COLUMN WITH STEEL CORNER GUARD, TYP.
 - 103 4'-0" LONG CONCRETE WHEEL STOP, TYP.
 - 104 8'-0" LONG CONCRETE WHEEL STOP, TYP.

PATRICK CHIU & ASSOCIATES
 300 W. CLARY STREET
 SAN GABRIEL, CA 91778
 925.272.7888

UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 1750 CALIFORNIA ST., SUITE 800
 CITY OF INDUSTRIAL, CA 92504

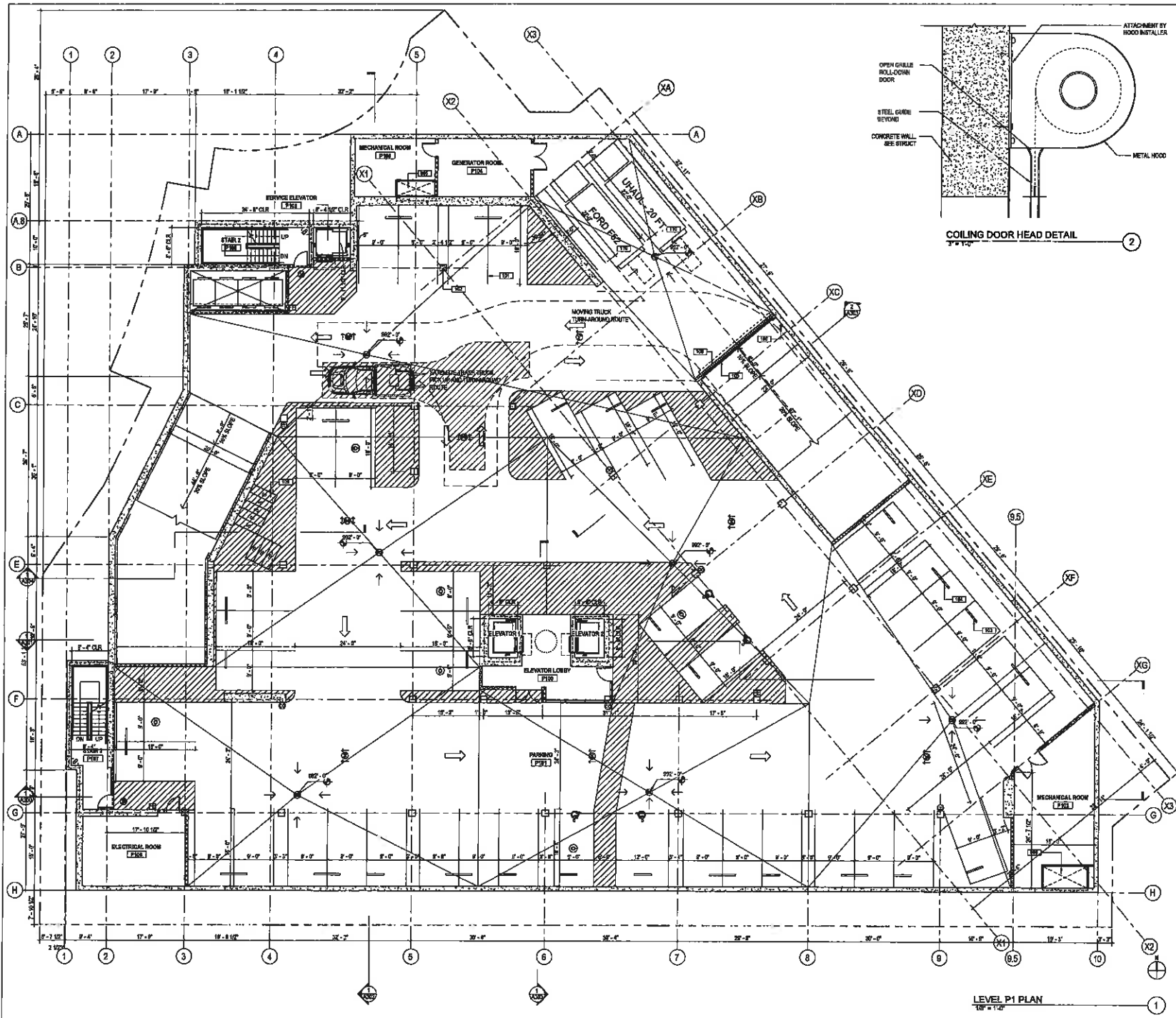
- SHEET NOTES**
- A. ALL DIMENSIONS ARE TO FOM UNL.
 - B. ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
 - C. SEE SHEETS 080-089 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
 - D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLIES.
 - E. PROVIDE PIPE GUARDS AT ALL EXPOSED PIPES.

PLANNING DESIGN REVIEW
 15-012
 21 FEB 2016

- LEGEND**
- CONCRETE BLOCK WALL
 - CONCRETE COLUMN
 - SEE SHEET 080 FOR WALL TYPES
 - EMERGENCY DRAIN, SLOPE TO DRAIN
 - CO2 SENSOR
 - STANKPIPE
 - FIRE EXTINGUISHER
 - 2 HOUR ASSEMBLY
 - EXIT SIGN
 - GROUNDING AC OUTLET FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION (20090 V. 40 AMP)

LEVEL P2 PLAN

A100
 DWG#



COILING DOOR HEAD DETAIL
1/8" = 1'-0"

- NOTES**
- 095 EXHAUST SHAFT
 - 100 INTAKE DRAFT
 - 101 TRENCH DRAIN
 - 101 PARKING SPACE STRIPING, TYP.
 - 102 COLUMN WITH STEEL CORNER CLAMP, TYP.
 - 103 4" LONG CONCRETE WHEEL STOP, TYP.
 - 104 6" LONG CONCRETE WHEEL STOP, TYP.
 - 105 GARAGE ACCESS GATE - OPEN CIRCLE HOLE - DOWN DOOR, SEE DETAIL 2
 - 106 FIRE KNOX BOX
 - 109 SIDE PARKING
 - 110 LOADING/UNLOADING ZONE

- SHEET NOTES**
- A. ALL DIMENSIONS ARE TO FOM UNO.
 - B. ALL DIMENSIONS INDICATED AS 'CL' ARE FROM FINISH TO FINISH.
 - C. SEE SHEETS A88-899 FOR TYPICAL ACCESSIBILITY REQUIREMENTS.
 - D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL, FLOOR & CEILING ASSEMBLY.
 - E. PROVIDE PIPE CURBS AT ALL EXPOSED PIPES.

- LEGEND**
- ▨ CONCRETE BLOCK WALL
 - CONCRETE COLUMN
 - ◇ SEE SHEET A50 FOR WALL TYPES
 - ⊗ EMERGENCY DRAIN SLOPE TO DRAIN
 - ⊙ CO2 SENSOR
 - ⊕ STANDPIPE
 - ⊖ FIRE EXTINGUISHER
 - ⊖ 1 HOUR ASSEMBLY
 - ⊖ EXT GSN
 - ⊖ GROUNDING AC OUTLET FOR FUTURE ELECTRICAL VEHICLE CHARGING STATION (208V, 40 AMP)

LEVEL P1 PLAN
1/8" = 1'-0"

PATRICK CHIU & ASSOCIATES
 300 W. CLARY STREET
 SAN GABRIEL, CA 91778
 951.271.7098

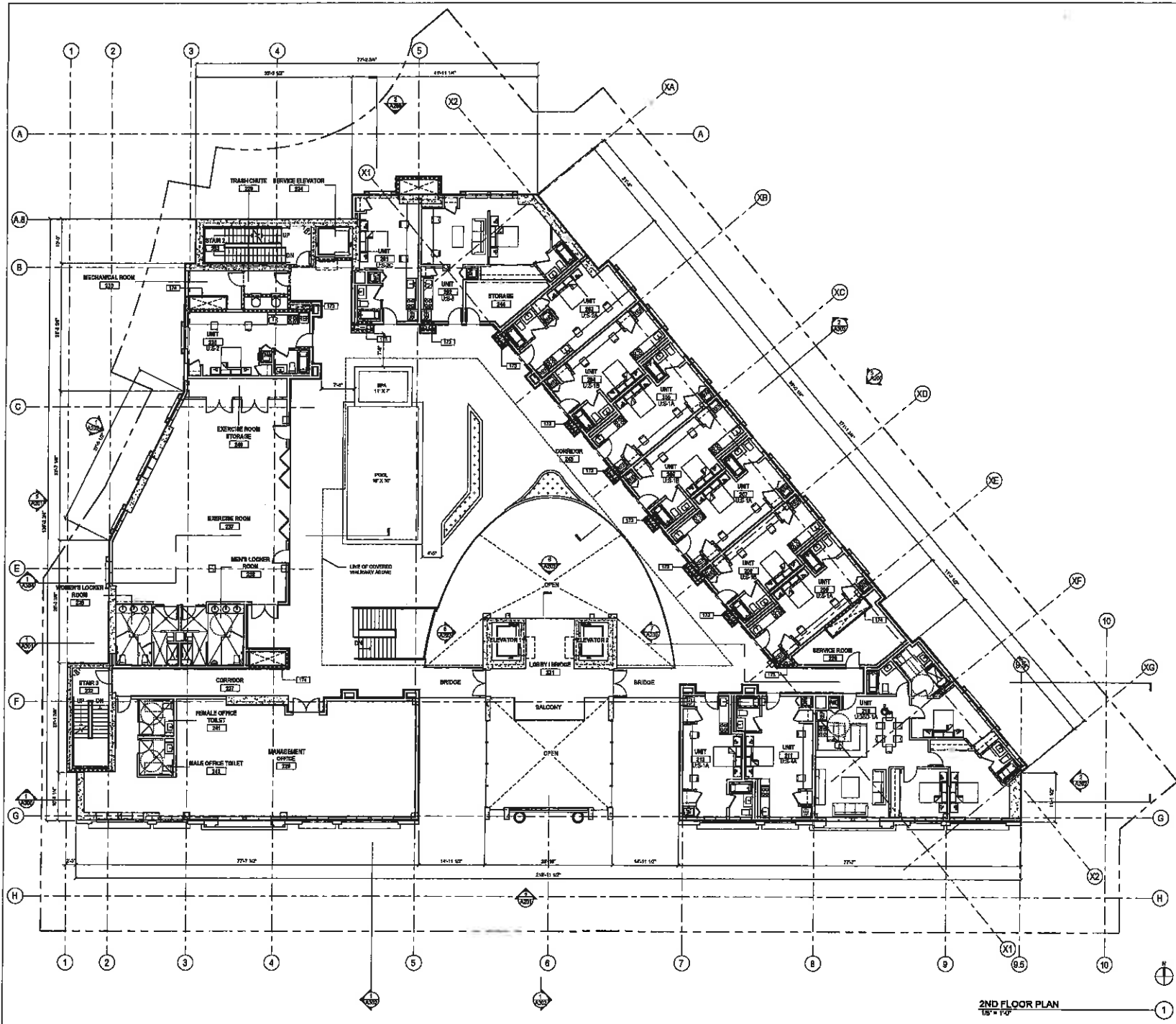
UNIVERSITY CAMPUS HOTEL
 1277 UNIVERSITY AVENUE
 RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
 1750 CALIFORNIA ST., SUITE 400
 CITY OF INDUSTRY, CA 91744

PLANNING DESIGN REVIEW
 16-012
 FEB 2016

LEVEL P1 PLAN

A101



2ND FLOOR PLAN
1/8" = 1'-0"

NOTES

175 UNIT 15 SHFT
174 COMMERCIAL GREASE EXHAUST SH-RAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	8-A	588 SF	4
STUDIO	8-B	290 SF	3
STUDIO	8-C	290 SF	1
STUDIO	8-D	297 SF	1
STUDIO	8-A-L	404 SF	1
1 BED	10B-L	628 SF	1
2 BED	20B-LA	1,299 SF	1
TOTAL			18

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE UNLESS INDICATED OTHERWISE.
- ALL DIMENSIONS INDICATED AS "CLR" ARE FROM FINISH TO FINISH.
- SEE SMT 08-04-004 FOR TYP ACCESSIBILITY REQUIREMENTS.
- ROOMS LABEL AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLY.
- DWELLING UNITS SHALL BE SEPARATED WITH 1/2" MIN. FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- SEE SMT 08-04-004 FOR SOUND TRANSMISSION CONTROL DETAILS.
- SEE SMT 08-04-004 FOR TYP FINISHING DETAILS.
- PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 3-1/2" PIPE WALL
- 2-1/2" RATED WALL
- WOOD POST PER STRUCT DIVIS
- SEE SMT 08-04-004 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- 60PPH ABOVE @ 7'-0" AFF
- DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- LANDSCAPE AREA
- ACCESSIBLE UNITS WITH MOBILITY FEATURES

PATRICK CHIU & ASSOCIATES

500 W. CLARY STREET
SAN GABRIEL, CA 91776
626.272.7255

UNIVERSITY CAMPUS HOTEL

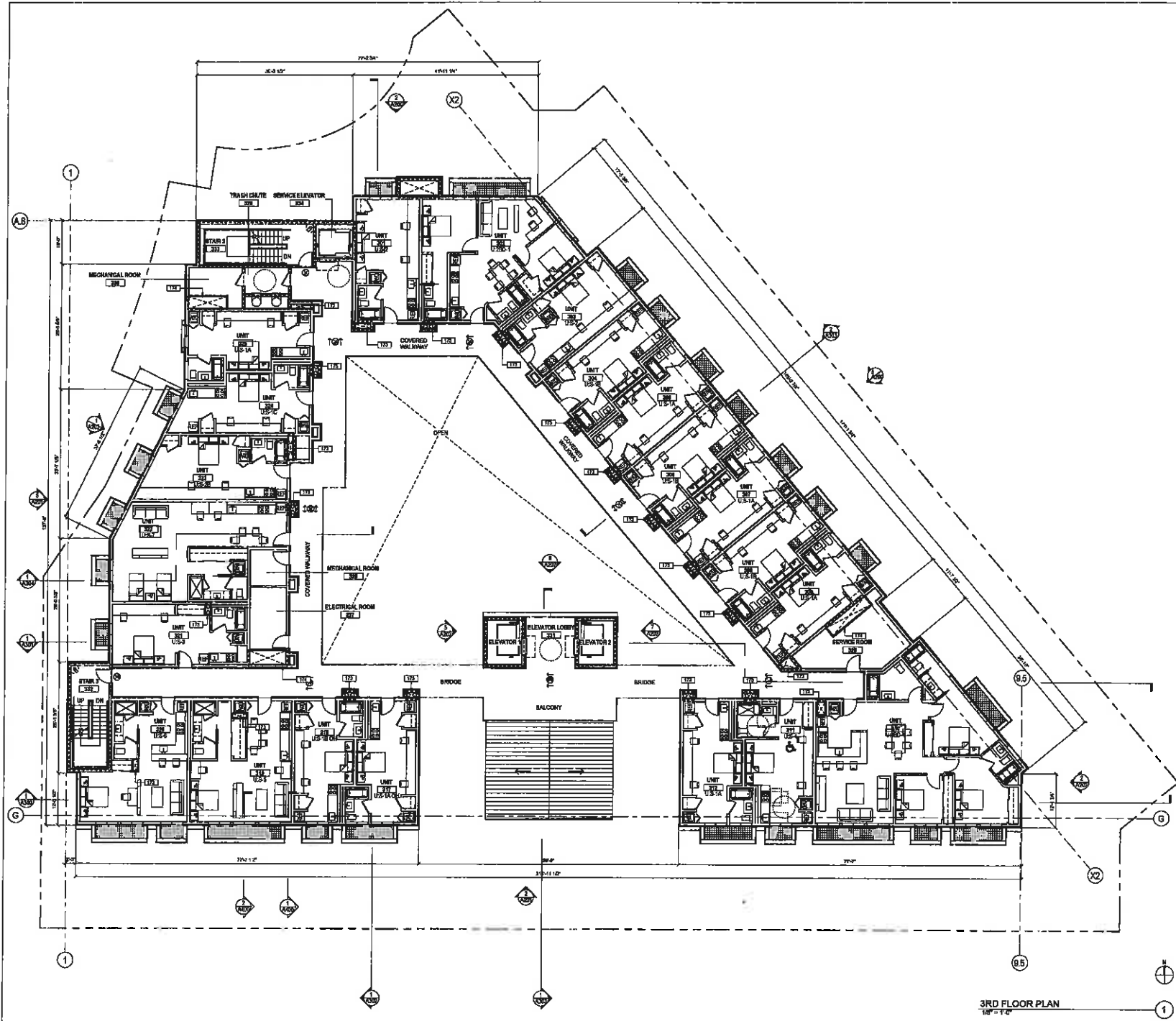
1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
1700 CANTON ST, SUITE 400
CITY OF INDUSTRIAL, CA 91748

PLANNING DESIGN REVIEW
16-012
21 FEB 2018

SECOND FLOOR PLAN

A120



3RD FLOOR PLAN
1/8" = 1'-0"

NOTES

173 UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	S-1A	294 SF	6
STUDIO	S-1B	300 SF	4
STUDIO	S-1C	378 SF	1
STUDIO	S-1D	342 SF	2
STUDIO	S-2	436 SF	1
STUDIO	S-3	401 SF	1
STUDIO	S-4	298 SF	1
STUDIO	S-5	617 SF	1
STUDIO	S-6	328 SF	1
STUDIO	S-7	162 SF	1
2 BED	2B-1	608 SF	1
3 BED	3B-1	1,383 SF	1
TOTAL			21

SHEET NOTES

- ALL DIMENSIONS ARE TO FACE FOR ROOM OR CENTERLINE OF WALL UNO.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- SEE SHTS 040-042 FOR TYP ACCESSIBILITY REQUIREMENTS.
- ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES ETC.
- CHIMNEY UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOOR.
- SEE SHIT AX05 FOR SOUND TRANSMISSION CONTROL DETAILS.
- SEE SHIT AX06 FOR TYP PRISTOPPING DETAILS.
- PROVIDE ROOM & UNIT IDENTIFICATION BRONZE.
- PROVIDE LEVEL LANDINGS @ EXIT DOORS AND GATES.

LEGEND

- 2-HR FIRE WALL
- 1-HR RATED WALL
- WOOD POST PER STRICT DIMS
- SEE SHIT AX05 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-4" AFF
- DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLASTER DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL

PATRICK CHIU & ASSOCIATES

300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.275.7558

UNIVERSITY CAMPUS HOTEL

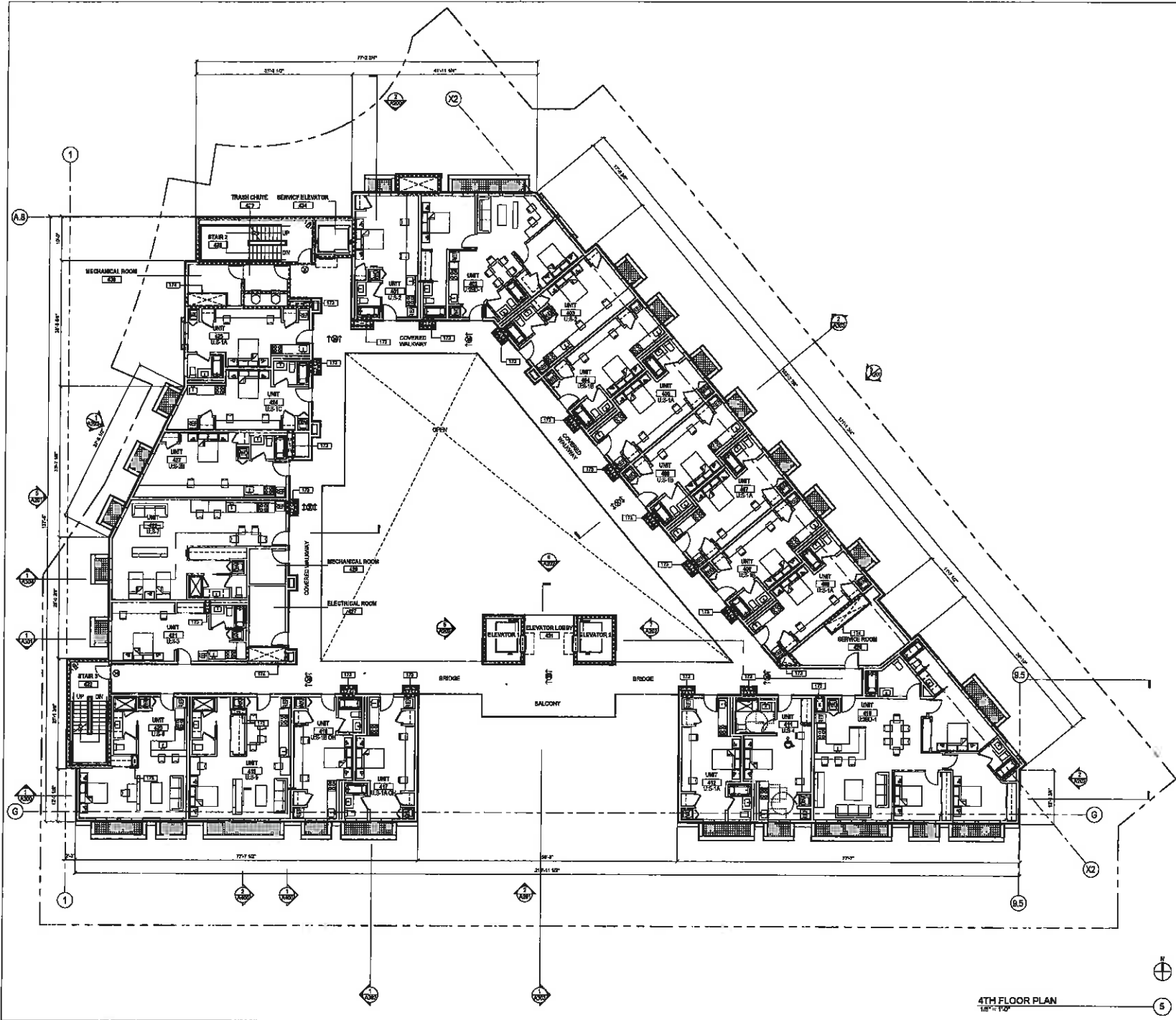
1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
1770 SHERIDAN ST., SUITE 100
CITY OF INDUSTRIAL, CA 91706

PLANNING DESIGN REVIEW
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PAGE

THIRD FLOOR PLAN

A130



NOTES
173 UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STAIR	2-1A	280 SF	1
STAIR	2-1B	330 SF	1
STAIR	2-1C	270 SF	1
STAIR	2-2	380 SF	2
STAIR	2-2A	435 SF	1
STAIR	2-4	440 SF	1
STAIR	2-5	280 SF	1
STAIR	2-5	117 SF	1
STAIR	2-4	228 SF	1
STAIR	2-7	720 SF	1
2 BED	200-1	488 SF	1
2 BED	100-1	1,343 SF	1
TOTAL			21

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FACE FOR FPM OR CENTERLINE OF WALL UNLESS NOTED.
- B. ALL DIMENSIONS INDICATED AS 'CLIP ARE FROM FINISH TO FINISH'.
- C. SEE SMT DRAWINGS FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SMT BOX FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SMT BOX FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 3-HR FIRE WALL
- 2-HR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SMT AND FOR WALL TYPES
- WATER CURTAIN
- DOWNPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- PLANTER DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL

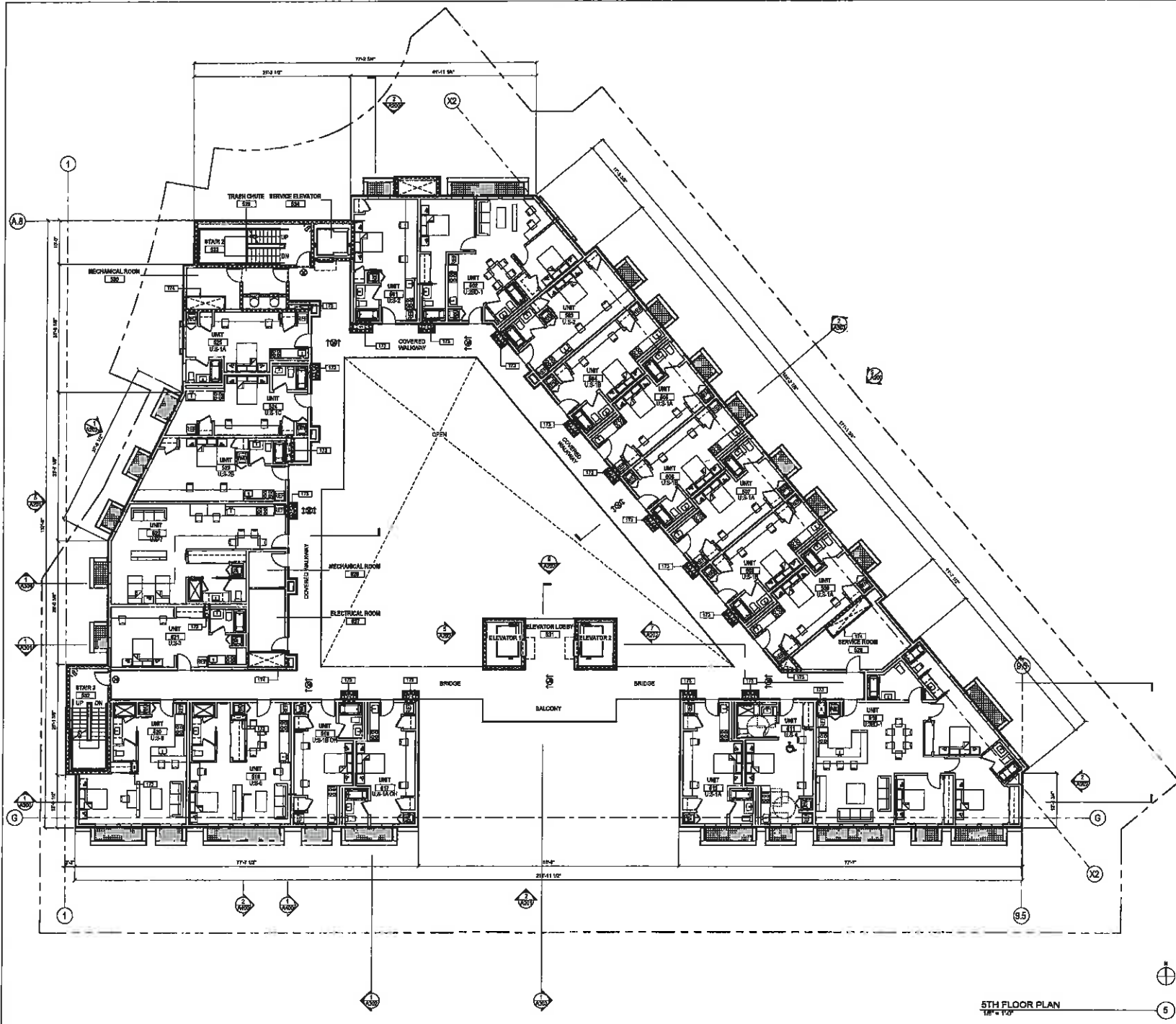
PHONE INVESTMENT
RE: ENVIRONMENTAL, INC.
1770 UNIVERSITY AVENUE, SUITE 200
RIVERSIDE, CA 92501

PLANNING DESIGN REVIEW
16-012
21 FEB 2018
16:00

FOURTH FLOOR PLAN

A140

4TH FLOOR PLAN
1/8" = 1'-0"



5TH FLOOR PLAN
1/8" = 1'-0"

NOTES

- 173 UNIT SHAWT
- 174 COMMERCIAL GREASE EXHAUST SHAWT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	8-CA	558 SF	8
STUDIO	8-CA	300 SF	4
STUDIO	8-2	276 SF	4
STUDIO	8-2	323 SF	4
STUDIO	8-2	423 SF	4
STUDIO	8-4	461 SF	4
STUDIO	8-4	286.05 SF	4
STUDIO	8-4	417 SF	4
STUDIO	8-4	626 SF	4
STUDIO	8-7	500 SF	4
2 BED	2B-1	465 SF	1
2 BED	2B-1	433 SF	1
TOTAL			21

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FACE, FROM OR CENTERLINE OF WALL, UNLESS OTHERWISE NOTED.
- B. ALL DIMENSIONS INDICATED AS 'CLIP' ARE FROM FINISH TO FINISH.
- C. SEE SITE GRADING FOR ALL ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHIT ABOVE FOR SOUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHIT ABOVE FOR TYP FIRESTOPPING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXT DOORS AND GATES.

LEGEND

- 2-HR FIRE WALL
- 2-HR RATED WALL
- WOOD POST PER STRAIT DIVIS
- ◆ SEE SHIT ABOVE FOR WALL TYPES
- WATER CURTAIN
- DOWNPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN, S. OPE TO DRAIN AT 1/4" PER FT MIN
- FLOW DRAIN, S. OPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL

PATRICK CHIU & ASSOCIATES
300 W. CLARY STREET
SAN GABRIEL, CA 91776
626.972.7222

UNIVERSITY CAMPUS HOTEL
1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT INTERNATIONAL, INC.
1700 CARLTON ST., SUITE 400
CITY OF INDUSTRY, CA 91744

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13-012
21 FEB 2016
14:16

5TH FLOOR PLAN

A150
SHEET 14-1

NOTES

- 173 UNIT SHAFT
- 174 COMMERCIAL ORISE EX-HUST SHAFT

ROOM COUNT / AREA

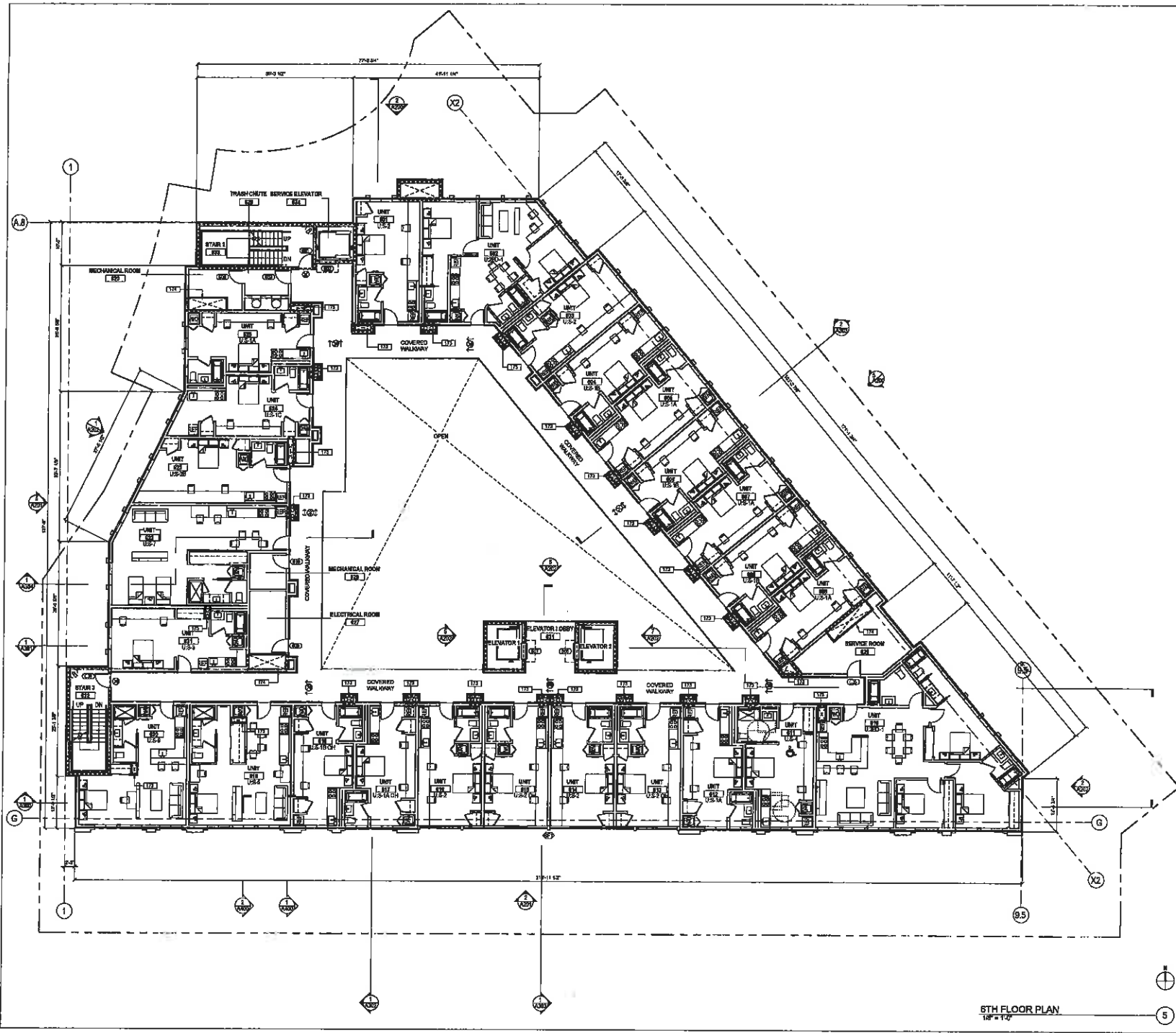
ROOM	TYPE	AREA	QUANTITY
671.000	S-1A	304 SF	8
671.000	S-6B	342 SF	4
671.000	S-1C	278 SF	1
671.000	S-2	323 SF	5
671.000	S-2B	435 SF	1
671.000	S-2	302 SF	1
671.000	S-2	298 SF	1
671.000	S-2	312 SF	1
671.000	S-2A	524 SF	1
671.000	S-7	750 SF	1
2100	200-1	800 SF	1
2101	200-1	1,200 SF	1
TOTAL			28

SHEET NOTES

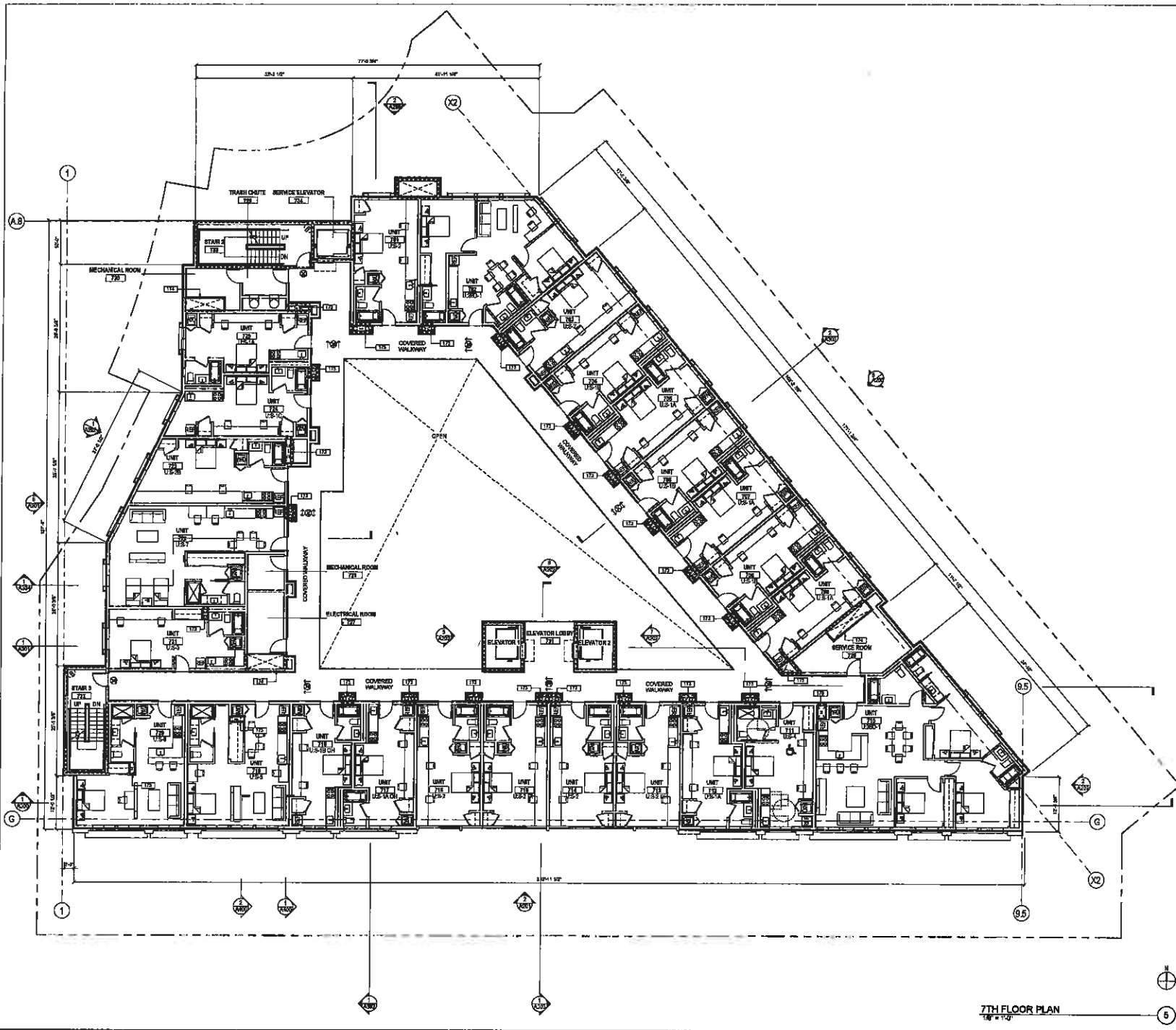
- A. ALL DIMENSIONS ARE TO FACE, TOP OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- C. SEE SHT 004-004 FOR TYP ACCESSIBILITY REQUIREMENTS.
- D. ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- E. ENCLAVE UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RESISTIVE CONSTRUCTION AT WALLS AND FLOORS.
- F. SEE SHT 003 FOR ROUND TRANSMISSION CONTROL DETAILS.
- G. SEE SHT 003 FOR TYP PRESTRESSING DETAILS.
- H. PROVIDE ROOM & UNIT IDENTIFICATION SIGNAGE.
- I. PROVIDE LEVEL LANDINGS @ EXIT DOORS AND GATES.

LEGEND

- 3-HR FIRE WALL
- 2-HR RATED WALL
- WOOD POST PER STRUCT DWGS
- SEE SHT 003 FOR WALL TYPES
- WATER CURTAIN
- DOWNSPOUT
- SOFFIT ABOVE @ 7'-0" AFF
- DECK DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- FLYER DRAIN, SLOPE TO DRAIN AT 1/4" PER FT MIN
- ELECTRICAL PANEL



6TH FLOOR PLAN
1/8" = 1'-0"



7TH FLOOR PLAN
100-110

NOTES

173 UNIT 8-SHAFT
174 COMMERCIAL GREASE EXHAUST
SHAFT

ROOM COUNT / AREA

ROOM	TYPE	AREA	QUANTITY
STUDIO	6-14	133 SF	6
STUDIO	6-18	133 SF	6
STUDIO	6-12	173 SF	1
STUDIO	6-1	268 SF	1
STUDIO	6-8	426 SF	1
STUDIO	6-3	481 SF	1
STUDIO	6-4	380 SF	1
STUDIO	6-6	877 SF	1
STUDIO	6-9	528 SF	1
STUDIO	6-7	783 SF	1
TRAC	TRAC-1	608 SF	1
TRAC	TRAC-1	1,353 SF	1
TOTAL			28

SHEET NOTES

- ALL DIMENSIONS ARE TO F.O.B. FOR OR CENTERLINE OF WALL, UNLESS SPECIFIED.
- ALL DIMENSIONS INDICATED AS "CL" ARE FROM FINISH TO FINISH.
- SEE CITY CODES FOR TYP ACCESSIBILITY REQUIREMENTS.
- ROOMS LABELED AS HAVING A FIRE RATING SHALL HAVE RATED WALL AND CEILING ASSEMBLIES.
- DWELLING UNITS SHALL BE SEPARATED WITH 1-HOUR FIRE-RATED CONSTRUCTION AT WALLS AND FLOORS.
- SEE SHT 603 FOR SOUND TRANSMISSION CONTROL DETAILS.
- SEE SHT 603 FOR TYP FIRESTOPPING DETAILS.
- PROVIDE ROOM & UNIT IDENTIFICATION GRAPHIC.
- PROVIDE LEVEL LANDINGS @ EXIT DOORS AND SATES.

LEGEND

- 1/2" THICK LINE: 1-HR FIRE WALL
- DASHED LINE: 1-HR RATED WALL
- SOLID LINE: WOOD POST PER STRUCT DRWG
- DIAMOND: SEE SHT 603 FOR WALL TYPES
- CIRCLE: WATER CURTAIN
- SQUARE: DOWNSPOUT
- DIAGONAL HATCH: SLOTTED ABOVE @ 7'-0" AFF
- RECTANGLE: DESK DRAIN, SLOPE TO DRAIN AT 1/4" PER FOOT
- CIRCLE: PLANTER DRAIN, SLOPE TO DRAIN AT 1/4" PER FOOT
- RECTANGLE: ELECTRICAL PANEL

PATRICK CHIU & ASSOCIATES
300 W. CLARY STREET
SAN GABRIEL, CA 91776
909.279.7658

UNIVERSITY CAMPUS HOTEL
1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

PRIME INVESTMENT
INTERNATIONAL, INC.
1700 CANTON ST. SUITE 200
CITY OF RIVERSIDE, CA 92504

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18-012
21 FEB 2018
2:16

A170

NOTES

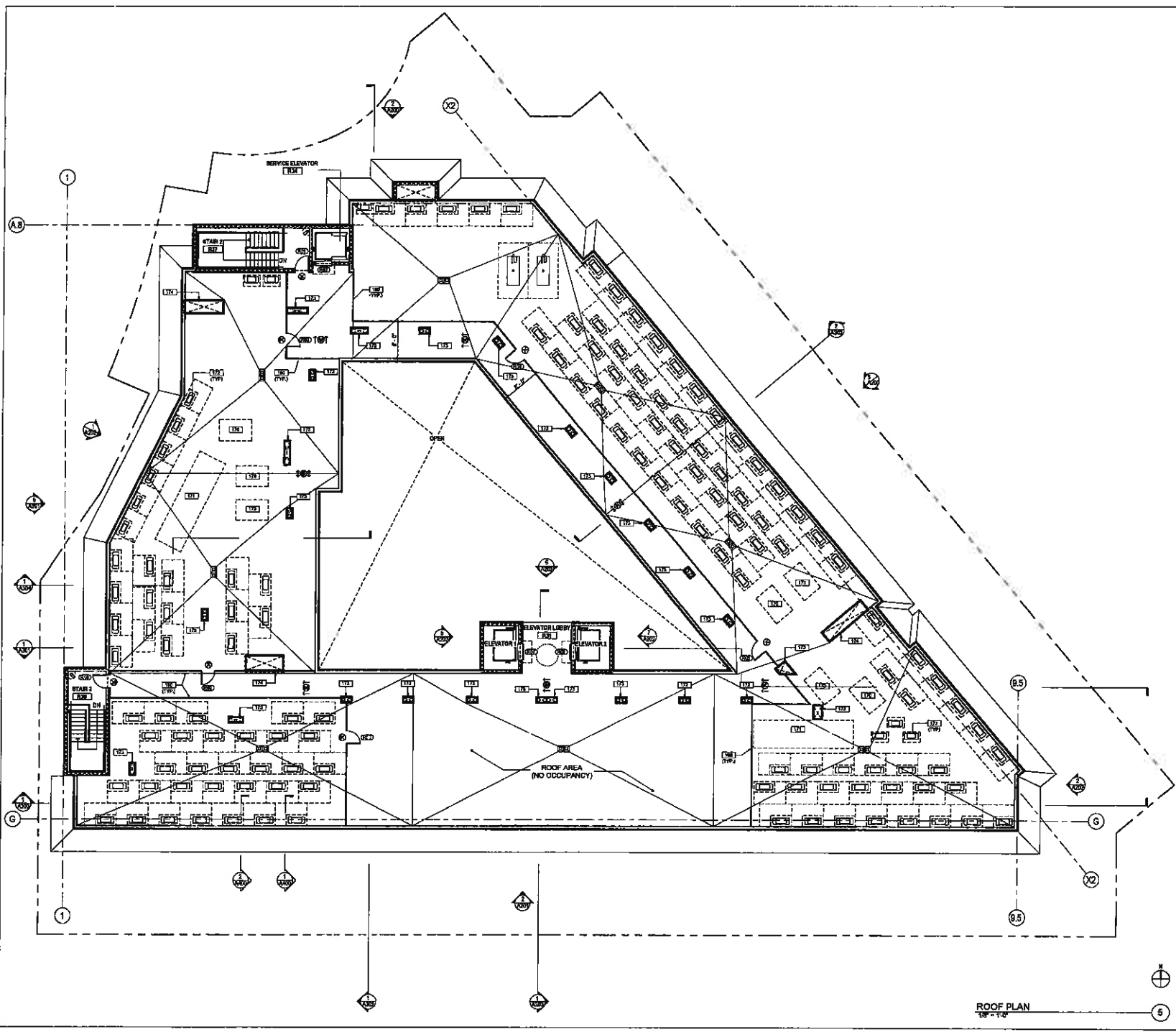
170 FUTURE EXHAUST FAN
171 EQUIPMENT PAD FOR FUTURE RESTAURANT OUTDOOR UNITS
172 MECHANICAL EQUIPMENT UNIT SHAFT
174 COMMERCIAL GREASE EXHAUST SHAFT
180 6" O.P. MECHANICAL EQUIPMENT SCREEN WALL, WALL NOT TO EXCEED HEIGHT OF PARAPET

SHEET NOTES

A. ROOF SLOPES CONTIGUOUS TO DOWNPOUT OR ROOF DRAIN, SLOPES TO BE A MINIMUM OF 1/4" PER FOOT.
B. OVERFLOW DRAINS SHALL BE THE SAME SIZE AS THE ROOF DRAIN WITH BLEED 2" ABOVE THE LOW POINT OF THE ROOF AND SHALL NOT BE CONNECTED TO THE ROOF DRAIN LINES.
C. ALL DIMENSIONS ARE TO F.F.O.S. FROM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
D. ALL DIMENSIONS INDICATED AS 'CLUT' ARE FROM FINISH TO FINISH.

LEGEND

2-HOUR FIRE WALL
DOWNSPOUT
SCUPPER / OVERFLOW SCUPPER ASSEMBLY
ROOF DRAIN WITH OVER FLOW DRAIN 2" ABOVE ROOF DRAIN
INDICATES ROOF SLOPED SECTION. ALL ROOF SLOPES TO HAVE A 2% SLOPE MIN LONG
STANDPIPE
FACED MAINTENANCE ROOF ANCHOR. SEE OTHER PLAN DRAWINGS



ROOF PLAN
1/8" = 1'-0"

NOTES

- 170 FUTURE EXHAUST FAN
- 171 EQUIPMENT PAD FOR FUTURE RESTAURANT OUTDOOR UNITS
- 172 MECHANICAL EQUIPMENT
- 173 LIFT SHAFT
- 174 COMMERCIAL GREASE EXHAUST SHAFT

SHEET NOTES

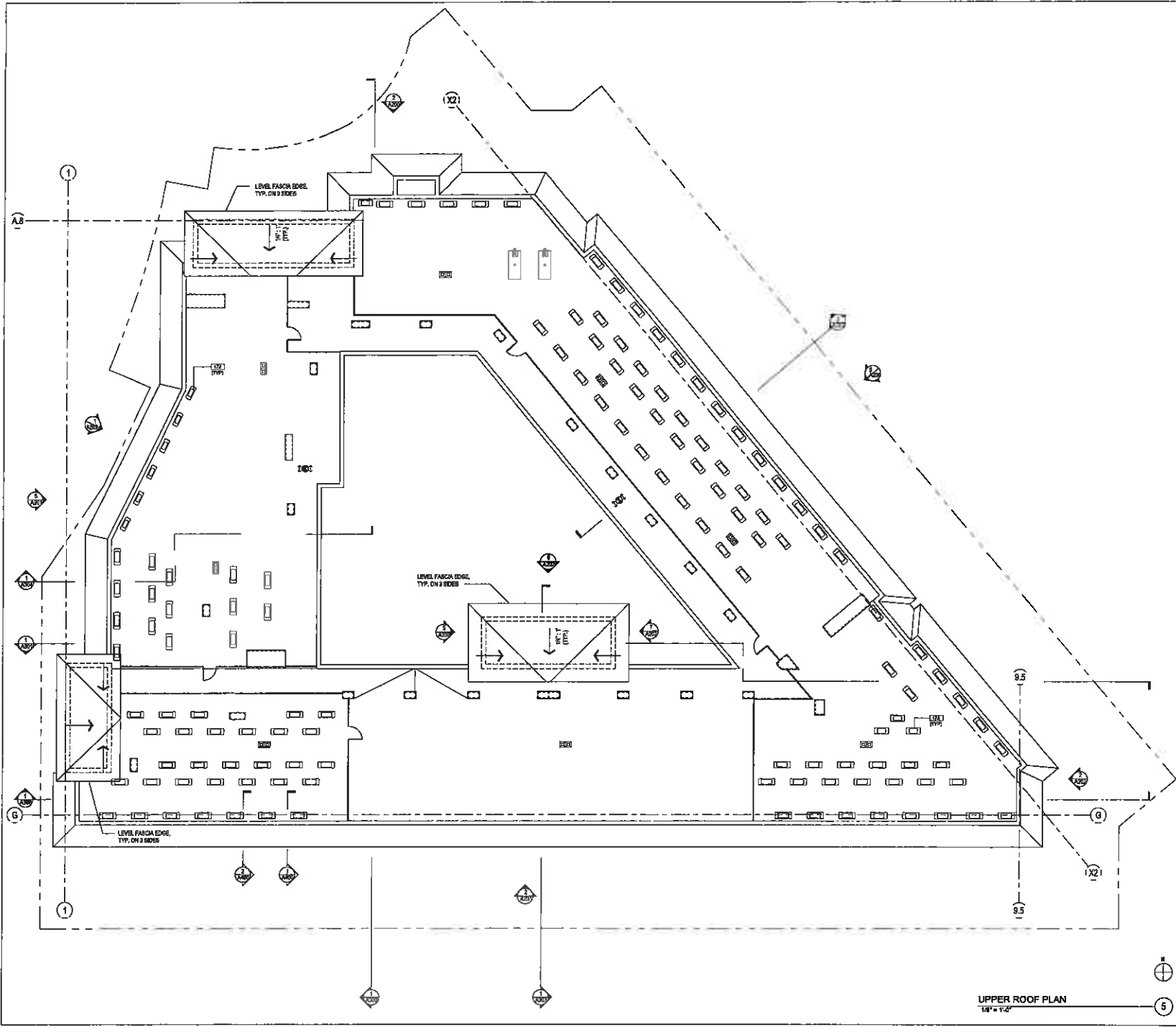
- A. ROOF SLOPES CONTINUOUS TO DOWNSPOUT OR ROOF DRAIN. SLOPES TO BE A MINIMUM OF 1/4" PER FOOT.
- B. OVERFLOW DRAINS SHALL BE THE SAME SIZE AS THE ROOF DRAIN WITH TRIP 2' ABOVE THE LOW POINT OF THE ROOF AND SHALL NOT BE CONNECTED TO THE ROOF DRAIN LINE.
- C. ALL DIMENSIONS ARE TO FUR, FIM OR CENTERLINE OF WALL UNLESS NOTED OTHERWISE.
- D. ALL DIMENSIONS INDICATED AS 'TYP.' ARE FROM FINISH TO FINISH.

BY: WISE INVESTMENT INTERNATIONAL, INC.
1732 CASTLETON STREET
SUITE 402
CITY OF INDUSTRY, CA 91748

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21 FEB 2018

LEGEND

- - - 5-HOUR FIRE WALL
- ⊙ DOWNSPOUT
- ⊕ EQUIP. / OVERFLOW SCUPPER ASSEMBLY
- ⊞ ROOF DRAIN WITH OVER FLOW DRAIN 2' ABOVE ROOF DRAIN
- INDICATES ROOF SLOPE DIRECTION. ALL ROOF SLOPES TO HAVE A 1% SLOPE MINIMUM
- ⊙ STAIRWELL
- ⊙ FACADE MAINTENANCE ROOF ANCHOR, SEE OPLS PLAN DRAWINGS



UPPER ROOF PLAN
1/8" = 1'-0"

UPPER ROOF PLAN

UNIVERSITY CAMPUS HOTEL

1277 UNIVERSITY AVENUE
RIVERSIDE, CA 92501

NOTES

SHEET NOTES

- A. ALL DIMENSIONS ARE TO FIN, FOR, FOR OR CENTERLINE OF WALL UNO.
- B. ALL DIMENSIONS INDICATED AS "OL" ARE FROM FRESH TO FRESH.
- C. OUTSIDE AIR WALL LOUVERS TO BE 1/4" AWAY FROM ALL EXHAUSTS.
- D. EXHAUST LOUVERS TO BE 3/4" FROM OUTSIDE AIR INLET.

LEGEND

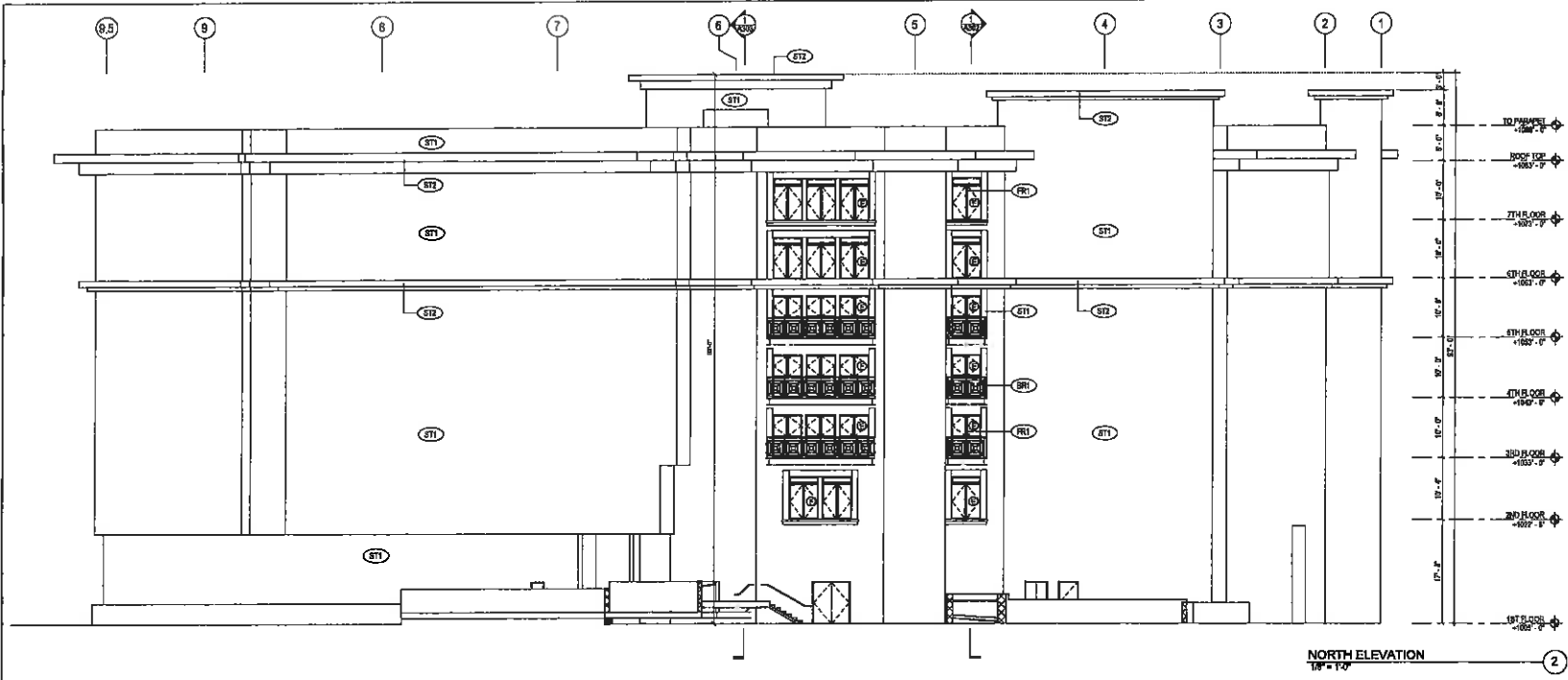
- (S1) PLASTER FINISH, SMOOTH TROWEL
- (S2) PLASTER FINISH, SMOOTH TROWEL, ACCENT COLOR
- (R1) METAL BALCONY RAILING
- (V1) VINYL FRAME
- (F1) ALUMINUM FRAME
- (M1) METAL PANEL
- (M2) METAL FENCE
- (E) EGRESS WINDOW

PRIME INVESTMENT INTERNATIONAL, INC.
1702 GATEWAY ST., SUITE 401
CITY OF INDUSTRY, CA 91744

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16-012
21 FEB 2016

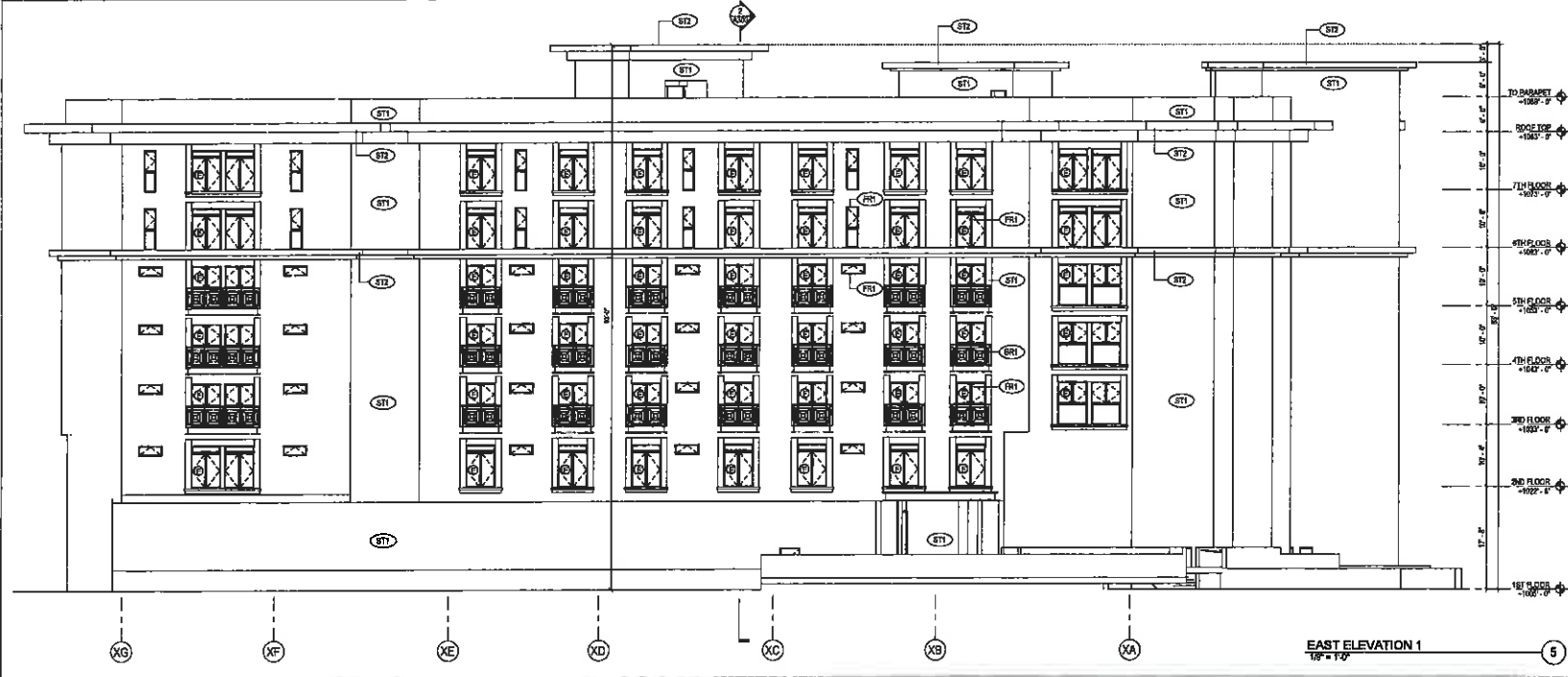
SEE ELEVATIONS

A200



NORTH ELEVATION
1/8" = 1'-0"

2



EAST ELEVATION 1
1/8" = 1'-0"

5

PAGE BREAK



403

AIRPORT LAND USE COMMISSION

COUNTY OF RIVERSIDE

RESOLUTION NO. 2018-01

**A RESOLUTION OF THE RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
(ALUC) AMENDING THE ALUC BY-LAWS**

WHEREAS, pursuant to California Public Utilities Code (PUC) section 21674(f), airport land use commissions are authorized to adopt rules and regulations as necessary to carry out their duties as set forth under PUC sections 21670 *et seq.*; and,

WHEREAS, on October 13, 2005, the Riverside County Airport Land Use Commission (ALUC) adopted By-laws providing such rules and regulations through Resolution No. 05-04; and,

WHEREAS, on January 11, 2007, the first sentence of Section 2.7(a) of the By-laws was amended as fully set forth in Resolution No. 07-01; and,

WHEREAS, on March 8, 2018, the Riverside County ALUC in open session considered proposed revisions to its By-laws and directed preparation of a resolution adopting amended By-laws incorporating the proposed revisions; and,

WHEREAS, the adoption of the amended By-laws has been placed on the agenda for consideration by ALUC at its April 12, 2018 regular meeting; now, therefore,

BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Riverside County ALUC that the amended ALUC By-laws, a copy of which is attached as Exhibit "A", are hereby adopted and shall supersede and replace all prior adopted By-laws.

The foregoing Resolution was adopted on a motion by Commissioner _____ and seconded by Commissioner _____ at a regularly scheduled meeting held on the 12th day of April, 2018 by the following vote:

AYES:

NOES:

ABSENT:

Chairman
Riverside County ALUC

WITNESS, my hand this 12th day of April, 2018.

Barbara Santos
ALUC Secretary

Bylaws of the Riverside County Airport Land Use Commission

1. GENERAL PROVISIONS

1.1. Name

The name of the Commission shall be the Riverside County Airport Land Use Commission. The name may be abbreviated as ALUC or RCALUC.

1.2. Purpose

The fundamental purpose of the ALUC is to carry out the statutory responsibilities required by Sections 21670 et seq. of the California Public Utilities Code (PUC). The statutes describe these responsibilities as being “to protect public health, safety, and welfare by ensuring the orderly expansion of airports and the adoption of land use measures that minimize the public’s exposure to excessive noise and safety hazards within areas around public airports to the extent that these areas are not already devoted to incompatible uses.”

1.3. Powers and Duties

- (a) The powers and duties of the ALUC are as enumerated within and limited by PUC Section 21674.
 - (1) The ALUC’s specific powers and duties are:
 - =To prepare and adopt an airport land use compatibility plan for each of the airports within the commission’s jurisdiction.
 - =To review the plans, regulations, and other actions of local agencies and airport operators pursuant to PUC Section 21676.
 - =To assist local agencies in ensuring compatible land uses in the vicinity of all new airports and in the vicinity of existing airports to the extent that the land in the vicinity of those airports is not already devoted to incompatible uses.

= To coordinate planning at the state, regional, and local levels so as to provide for the orderly development of air transportation, while at the same time protecting the public health, safety, and welfare.

- (2) An explicit limitation upon the ALUC's powers and duties is that the ALUC has no jurisdiction over the operation of any airport.
- (b) The ALUC may establish a schedule of fees necessary to enable it to fulfill its duties as defined by state law. The fees shall be charged to the proponents of actions, regulations, or permits, shall not exceed the estimated reasonable cost of providing the service, and shall be imposed pursuant to Section 66016 of the Government Code.

1.4. Airport Land Use Compatibility Plan

- (a) The ALUC has adopted a *Riverside County Airport Land Use Compatibility Plan* and certain other plans containing the policies to be used by the Commission in reviewing and acting upon matters submitted to it in accordance with state law. The procedures and compatibility criteria set forth in those plans are in addition to and shall be considered extensions of these Bylaws.
- (b) The ALUC shall update its review procedures and compatibility criteria as necessary to keep them current with airport conditions and state laws and guidelines.
- (c) Amendments to the *Compatibility Plan* may be instituted by the ALUC staff based upon changing conditions at an airport or may be requested by a local agency, airport operator, or affected agency. State law limits amendments to compatibility plans to once per calendar year. Although the *Riverside County Airport Land Use Compatibility Plan* is contained within a single volume, the section addressing each airport is to be considered a separate plan for the purposes of plan amendments. Thus, amendment of maps or specific policies for one airport does not preclude subsequent amendment of the maps or specific policies for another airport in the same year. Any change to the countywide policies would constitute amendment of all the individual airport plans.

1.5. Bylaw Amendments

Amendments to these Bylaws requires a majority vote of the full membership (i.e., four votes) of the entire ALUC membership, following at least seven days written notice of the proposed amendment.

1.6. Severability

If any portion of these Bylaws is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining portions.

2. MEMBERSHIP AND STAFF

2.1. Members

- (a) The ALUC shall consist of seven members, selected as follows:
 - (1) Two members representing the cities in Riverside County, appointed by a city selection committee comprised of the mayors of all the cities within the county.
 - (2) Two members representing Riverside County, appointed by the Board of Supervisors.
 - (3) Two members having expertise in aviation, appointed by a selecting committee comprised of the managers of all of the public airports within the county. For the purposes of ALUC membership, a person having “expertise in aviation” is, as defined by the Public Utilities Code, “a person who, by way of education, training, business, experience, vocation, or avocation has acquired and possesses particular knowledge of, and familiarity with, the function, operation, and role of airports, or is an elected official of a local agency which owns or operates an airport.”
 - (4) One member representing the general public, appointed by the other six members of the Commission.
- (b) All members of the ALUC shall be residents of Riverside County.

2.2. Terms of Office

- (a) The term of office of each ALUC member shall be four years (ending on the first Monday in May of the fourth year) and until the appointment and qualification of his or her successor. Terms of office shall be staggered so that no more than two members’ terms expire in any single year.
- (b) Commissioners serve at the pleasure of the appointing body and may be removed by that body at any time and for any reason. A Commissioner may be appointed to a new term of office at the option of the appointing body. The appointing body shall fill any vacancy in the ALUC membership by appointing a new member to serve the remainder of the term.

2.3. Proxies

- (a) Each Commissioner shall promptly appoint a single proxy to represent him or her in commission affairs and to vote on all matters when the Commissioner is not in attendance. The proxy shall be designated in a signed written instrument kept on file at the Commission offices.
- (b) The proxy shall serve at the pleasure of the Commissioner who appointed him or her. A Commissioner shall promptly appoint a new proxy to fill any vacancy in that position.
- (c) The proxy for a Commissioner appointed by the selecting committee of airport managers shall have expertise in aviation.

2.4. Attendance Requirements

- (a) A Commissioner who is unable to attend a meeting shall be responsible for notifying his or her proxy and shall also notify the ALUC Director that the proxy will be attending in his or her place.
- (b) If a Commissioner misses three consecutive regular meetings and the Commissioner's proxy does not attend in his or her place during that period, the Director shall notify the body that appointed the Commissioner so that it may consider whether to replace that individual.

2.5. Election and Terms of Officers

- (a) The ALUC shall elect a Chairman and Vice-Chairman. Elections shall take place at the regularly scheduled meeting in April or, if a meeting is not held in April, at the next regularly scheduled meeting.
- (b) Officers shall take office beginning in May or, if a meeting is not held in May, at the next regularly scheduled meeting and shall serve until the following May or until their successors are elected at the next ALUC meeting thereafter.
- (c) In case of a vacancy in the office of either Chairman or Vice-Chairman, the ALUC shall, at the next regularly scheduled meeting of the Commission, elect a successor to serve the unexpired term.

2.6. Duties of Officers

- (a) The Chairman shall:
 - (1) Preside at all meetings of the Commission and conduct the business of the Commission in the manner prescribed by these Bylaws.
 - (2) Confer with the Director regarding draft meeting agendas prior to their distribution.
 - (3) Perform other duties customarily performed by a Chairman.
- (b) The Vice-Chairman shall, in the Chairman's absence or inability to act, assume all powers and duties of the Chairman.
- (c) In the absence or inability to act of both the Chairman and Vice-Chairman, the Commissioners in attendance shall elect a Chairman Pro-Tempore. The Chairman Pro-Tempore shall then preside and shall exercise all of the powers and duties of the Chairman.

2.7. Staff

- (a) A staff member of the Transportation and Land Management Agency (TLMA) shall serve as the Director of the ALUC. The ALUC Director shall be responsible for the following, either directly or with assistance of other staff:

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- (1) Receipt and review of proposed actions submitted to the ALUC for review in accordance with provisions of state law and the *Riverside County Airport Land Use Compatibility Plan*.
 - (2) Coordinate and consult with staffs of local government agencies regarding specific projects those agencies refer to the ALUC for review and the manner in which the ALUC policies apply thereto; also informal consultation with project proponents.
 - (3) Consult with the ALUC Chairman regarding meeting agendas and other matters of concern to the Commission.
 - (4) Provide public notice of matters before the ALUC as may be required by state law and normal practice of the County of Riverside.
 - (5) Prepare meeting agendas and staff reports and distribute these documents to ALUC members and their proxies.
 - (6) Ensure adequate staffing is provided for ALUC meetings.
 - (7) Prepare draft resolutions for those agenda items requiring them.
 - (8) Prepare meeting minutes.
 - (9) Other matters pertaining to the business of the ALUC.
 - (10) The Director shall ensure that a copy of the meeting agenda, together with staff reports and other material pertinent to the items on the agenda is delivered to each Commissioner and his/her proxy at least two days prior to the meeting date.
- (b) The Riverside County Office of County Counsel shall serve as or provide for legal staff for the ALUC.

3. MEETINGS ARRANGEMENTS

3.1. Meeting Schedule

- (a) Regular meetings of the ALUC shall be held on the second Thursday of the month beginning at 9:00 a.m. If the regular meeting date falls on a holiday recognized by the County of Riverside, the Commission may by majority vote move the meeting. The Chairman may cancel a regularly scheduled meeting if there is no business to be conducted in that month.
- (b) Special meetings may be called by the Chairman or by a majority of the members of the Commission provided that written notice is mailed to all members at least seven days prior to the meeting.

3.2. Meeting Location

- (a) Meeting locations may vary depending upon the availability of meeting rooms and the need to hold public hearings in particular communities.

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- (b) The location of the next regular or special meeting shall, if possible, be determined prior to the close of the previous regular meeting. If the meeting location has not been determined at that time, written notice shall be mailed to all members at least seven days prior to the meeting.

3.3. Meeting Agenda

- (a) For each meeting of the ALUC, an agenda shall be prepared specifying the time, location, and order of business of the meeting.
- (b) Meeting agendas shall be accompanied by a staff report for each agenda item requiring ALUC action. The staff report shall provide background information regarding the matter at issue and indicate the Director's recommendation.

3.4. Ad Hoc Committees

- (a) An Ad Hoc Committee consisting of no more than three Commission members or their proxies may be formed to study specific issues before the ALUC.
- (b) The formation, purpose, membership, and subsequent dissolution of any Ad Hoc Committee shall be at the discretion of the Chairman or Acting Chairman presiding at a regular or special meeting of the Commission.

4. CONDUCT OF MEETINGS

4.1. Rules of Order

- (a) Except as otherwise provided in these bylaws and regulations of the Brown Act, meetings of the ALUC shall be open and public and all applicable requirements of the Brown Act shall apply.
- (b) The ALUC Chairman shall preserve order and decorum at meetings of the Commission and except as otherwise provided by 4.1 (c), shall decide rules of order.
- (c) The Commission may deliberate as to any item properly before it in accord with the Robert's Rules of Order upon a vote of the majority of those members present to deliberate an item in accord with these rules.
- (d) All questions of law shall be referred to the Office of County Counsel.

4.2. Order of Business

- (a) The order of business at a regular meeting of the ALUC shall generally be as follows:
 - (1) Call to order.
 - (2) Pledge of Allegiance.
 - (3) Roll call.
 - (4) Public hearing.

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- (5) Administrative items.
 - (6) Approval of minutes.
 - (7) Oral communication on any matter not on the agenda.
 - (8) Commissioner's comments.
 - (9) Adjournment.

4.3. Public Input

- (a) When so required by state law, the ALUC shall hold a public hearing on agenda items under consideration. The order of presentation of hearings shall normally be:
 - (1) ALUC staff and, when applicable, consultant's presentations.
 - (2) Opening of public hearing.
 - (3) Presentation by submitting agency and/or project proponent.
 - (4) Comments by other interested parties.
 - (5) Commissioner questions and speaker responses.
 - (6) Close of public hearing.
 - (7) Commission discussion and deliberation.
 - (8) Motions and voting.
- (b) At the discretion of the Chairman, the ALUC may allow public comment on agenda items for which a formal public hearing is not required.
- (c) Any person desiring to address the ALUC shall submit a speaker request card to the ALUC staff, then, when recognized by the Chairman, step to the rostrum and state his or her name and address for the record.
- (d) In order to facilitate the business of the ALUC, the Chairman may limit the amount of time allowed for each speaker.
- (e) The Chairman may waive presentation by ALUC staff and/or project proponent if the ALUC staff recommendation finds the proposed project to be consistent with the ALUCP and there are no speaker request cards submitted to the ALUC Secretary at or by the time the agenda item was called for hearing, unless there is an objection made on the record by anyone present at the hearing.

4.4. Quorums and Voting

- (a) A majority of the ALUC's seven members constitutes a quorum for the purposes of conducting business.
- (b) Any action taken by the ALUC requires a majority vote of the full membership (i.e., four votes). Actions may be voted upon by voice vote unless any seated Commissioner, or a proxy acting in the place of a Commissioner, demands a roll call vote. The Chairman may make or second any motion without stepping down from the chair.

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- (c) Proxies present at a meeting in place of a regular member shall be counted when determining the existence of a quorum or for voting purposes.
 - (d) A Commissioner shall not vote on an item continued from a previous meeting in which the Commissioner was not in attendance unless he or she has listened to the tape recording or reviewed the minutes of the previous discussion and reviewed materials pertaining to that item. This rule also applies to a proxy voting in place of the Commissioner.

4.5. Conflicts of Interest

- (a) A Commissioner shall disqualify himself or herself from participating in the discussion and action on any matter regarding which the Commissioner has a conflict of interest in accordance with the provisions of the Political Reform Act of 1975 as amended.
- (b) A Commissioner's past or pending participation, as an elected or appointed member of another body, in actions related to a matter before the ALUC shall *not* be regarded as a conflict of interest. However, when acting in their capacity as an ALUC member, Commissioners should recognize that their decisions should be based solely upon the airport land use compatibility and other aviation-related factors that are the purview of the ALUC.
- (c) A Commissioner's proxy may participate in the discussion of and action on an item for which the Commissioner has disqualified himself or herself unless the proxy also has a conflict of interest. A proxy may take the Commissioner's place for a single item at a meeting in which the Commissioner is otherwise participating.

4.6. Minutes of Meetings

- (a) The proceedings of ALUC meetings shall be tape recorded. However, a lack or malfunction of the tape recording equipment shall not prevent continuation of a meeting.
- (b) The ALUC Director shall ensure that minutes are prepared for each meeting. Meeting minutes shall reflect actions taken by the ALUC, including motions made, the names of the Commissioners or proxies making and seconding the motion, and the vote tally. The minutes should not be limited to these actions.

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4.4

RESOLUTION NO. 2018-02

A RESOLUTION OF THE RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC) EXTENDING THE AUTHORIZATION OF THE ALUC DIRECTOR TO TAKE ACTION ON LEGISLATIVE ITEMS IN AIRPORT COMPATIBILITY ZONE E OF THE MARCH AIR RESERVE BASE/INLAND PORT AIRPORT INFLUENCE AREA

WHEREAS, on August 13, 2015, the Riverside County Airport Land Use Commission (ALUC) adopted ALUC Resolution No. 2015-01 authorizing the ALUC Director to review general plan amendments, specific plan amendments, zone changes, and variance applications submitted to the ALUC for land use development located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area pursuant to Public Utilities Code section 21676 and to render a consistency determination as to any such application that is not inconsistent nor has the possibility to be inconsistent with the land use planning guidelines contained therein; and,

WHEREAS, this authorization was granted for a one-year period ending August 31, 2016; and,

WHEREAS, by the adoption of Resolution No. 2016-02, the ALUC extended the ALUC Director's authority granted pursuant to Resolution No. 2015-01 for two years to expire on August 31, 2018, unless renewed; and,

WHEREAS, the ALUC has decided that this authorization should be extended for a period of two additional years; therefore,

BE IT RESOLVED, FOUND and DETERMINED that the ALUC, by the adoption of this resolution, hereby extends the ALUC Director's authority granted pursuant to Resolution No. 2015-01 for an additional two years to expire on August 31, 2020, unless renewed.

BE IT FURTHER RESOLVED, FOUND and DETERMINED that the ALUC will continue to be advised of all proposals reviewed by the ALUC Director.

NOW, THEREFORE, the ALUC adopts by the following vote:

AYES:

NOES:

ABSENT:

Chairman
Riverside County ALUC

WITNESS, my hand this 12th day of April, 2018.

Barbara Santos
ALUC Secretary

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

A regular scheduled meeting of the Airport Land Use Commission was held on March 8, 2018 at the Riverside County Administrative Center, Board Chambers.

COMMISSIONERS PRESENT: Steve Manos, Acting Chairman
Russell Betts
Arthur Butler
John Lyon
Steven Stewart

COMMISSIONERS ABSENT: Glen Holmes
Richard Stewart

STAFF PRESENT: Simon Housman, ALUC Director
John Guerin, Principal Planner
Paul Rull, Urban Regional Planner IV
Barbara Santos, ALUC Commission Secretary
Raymond Mistica, ALUC Counsel

OTHERS PRESENT: Russell Brady, Riverside County Planning Dept.
Greg Hann, Architect
Rob Mann, Other Interested Person

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.1:** ZAP1050HR18 – Gurpreet Sing Khakh/Mobil Shop N Go Food Store (Representative: Empire Design Group) – City of Hemet Case Nos. ZC 16-005 (Zone Change) and CUP 16-008 (Conditional Use Permit). A proposal for a commercial development to be located at 855 N. Sanderson Avenue (on the southwest corner of Sanderson and Fruitvale Avenues – Assessor's Parcel Number 444-100-007). Phase I would include a 3,607 square foot convenience store, 1,500 square foot quick service restaurant, and a 16-pump service station with 4,859 square foot fuel canopy. Phase II would include a 17,500 square foot retail building with a drive-thru and a 3,278 square foot fast food restaurant with drive thru. ZC 16-005 is a proposal to change the zoning of this 4.34-acre property from R-1-7.2 (Single Family Residential, 7,200 square foot minimum lot size) to C-1 (Neighborhood Commercial). (Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the Zone Change be found CONSISTENT with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, and that the Conditional Use Permit be found CONSISTENT, subject to the conditions included herein.
- IV. **PROJECT DESCRIPTION**
The applicant is proposing to develop a 25,885 square foot retail, dining, and fueling center on 4.34 acres. The first phase will include a 3,607 square foot convenience store, a 1,500 square foot quick service restaurant, and a 16-pump service station with fuel canopy. The second phase will include a 17,500 square foot retail building with a drive-thru and a 3,278 square foot fast food restaurant with drive-thru. ZC16-005 is a proposal to change the zoning of this property from R-1-7.2 (Single Family Residential, 7,200 square foot minimum lot size) to C-1 (Neighborhood Commercial).

CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all prospective purchasers of the property and to tenants and/or lessees of the building(s) to be constructed thereon.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

The following spoke in favor of the project:

Greg Hann, Architect, 24861 Washington Ave, Murrieta, CA

No one spoke in neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 4-0 found the project **CONSISTENT**. Absent: Commissioners Holmes, Manos, Richard Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.1: TIME: 9:10 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.2: ZAP1298MA18 – Phelan Development Co., LLC (Representative: Taylor Gerry)** – City of Moreno Valley Case No. PEN 17-0036 (Site Plan Review). The applicant is proposing to develop a 98,395 square foot industrial facility at the southeast corner of Indian Street and Nandina Avenue. The building floor plan provides for 90,395 square feet of warehousing area (a portion of which could alternatively be used for manufacturing) and 8,000 square feet of office space at the northwest and southwest corners of the building, including a combined 3,000 square feet on the mezzanine level. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

- II. **MAJOR ISSUES**
None

- III. **STAFF RECOMMENDATION**
Staff recommends that the Commission find the proposed Site Plan Review CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the conditions included herein.

- IV. **PROJECT DESCRIPTION**
The applicant proposes to develop a 98,395 square foot industrial building on 4.83 acres. The building floor plan provides for 90,395 square feet of warehousing area (a portion of which could alternatively be used for manufacturing) and 8,000 square feet of office space at the northwest and southwest corners of the building, including a combined 3,000 square feet at the mezzanine level.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.)

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly such as churches and theaters, critical community infrastructure facilities, and highly noise-sensitive outdoor nonresidential uses.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
 4. Any proposed detention basins on the site (including bioswales) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around detention basins or bioswales that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Landscaping in and around detention basins or bioswales shall not include trees that produce seeds, fruits, or berries.
 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
 6. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.
 8. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature, and shall not exceed a maximum height of 53 feet.
 9. No structure, tree, or pole on-site shall exceed a maximum elevation at top point of 1,529 feet above mean sea level, unless a Determination of No Hazard to Air Navigation letter authorizing a higher top elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service.
 10. This project has been evaluated for airport land use compatibility based on the proposal for 90,395 square feet of warehouse area and 8,000 square feet of office area. No uses more intense in number of persons per acre than office, manufacturing, or warehousing uses is authorized without further review and approval by the Airport Land Use Commission. Not less than 50 percent of the floor area of the structure shall be limited to warehousing uses.

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11. No processing or manufacturing of hazardous materials shall be permitted at this location, and aboveground storage of such materials shall be limited to a maximum of 6,000 gallons, unless a larger amount is determined acceptable by the Airport Land Use Commission through a subsequent review.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 4-0 found the project **CONSISTENT**. Absent: Commissioners Holmes, Manos, Richard Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.2: TIME: 9:16 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.3:** ZAP1041TH18 – Palm Silage, Inc. (Representatives: Gary Green and Scott Baugh) – County of Riverside Case No. PPT180007 (Plot Plan). A proposal to establish an animal feed component manufacturing facility primarily utilizing palm fronds and cull dates on 19.5 acres (Assessor's Parcel Number 763-250-031) located on the northwest corner of Airport Boulevard and Tyler Street in the unincorporated community of Thermal (Airport Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area).

II. **MAJOR ISSUES**

Staff's initial major concern was whether the use would be a wildlife (bird) attractant. A second concern is that the project as submitted does not meet the open area requirements of Compatibility Zone D.

III. **STAFF RECOMMENDATION**

At this time, Staff recommends that the proposed project be CONTINUED to the April 12, 2018 hearing agenda to allow time for the applicant to amend the site plan to depict at least 1.95 acres of ALUC-qualifying open area. However, should an amended site plan be submitted prior to the hearing, staff would recommend a finding of consistency with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan, as amended in 2006.

STAFF RECOMMENDED AT HEARING

CONSISTENT with amended conditions

IV. **PROJECT DESCRIPTION**

The applicant proposes to establish an animal feed component manufacturing facility primarily utilizing palm fronds and cull dates on 19.5 acres (Assessor's Parcel Number 763-250-031).

CONDITIONS: (amended conditions adding condition #5)

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting plans, if any, shall be transmitted to Riverside County Economic Development Agency – Aviation Division personnel and to the Jacqueline Cochran Regional Airport for review and comment. (Failure to comment within thirty days shall be considered to constitute acceptability on the part of the airport manager.)
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

area. (Such uses include landscaping utilizing water features, aquaculture, livestock operations, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor non-residential uses and hazards to flight.
3. The attached notice shall be provided to all prospective purchasers of the property and shall be recorded as a deed notice.
 4. Any new detention basin(s) shall be designed so as to provide a maximum 48-hour detention period for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. A minimum of 1.95 acres of ALUC-qualifying open area shall be provided on the project site as shown on the amended site plan. No trees, poles, fencing, or trash enclosures, or any other permanent items greater than four feet in height and four inches in diameter shall be placed within these areas.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 5-0 found the project **CONSISTENT** with amended conditions. Absent: Commissioners Holmes, Richard Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.3: TIME: 9:21 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.4:** ZAP1078FV17 – Londen Land Company, LLC (Representative: NV5, Inc., Bill Warner) – County of Riverside Planning Case Nos. GPA1187 (General Plan Amendment), CZ170001 (Change of Zone), and TR37418 (Tentative Tract Map). The applicant is proposing to divide 15.6 gross acres located on the southwest corner of Auld Road and Maddalena Road into 6 single family residential lots. The proposed project requires a general plan amendment from Rural Residential within the Rural Foundation Component (R;RR) to Estate Density Residential within the Community Development Foundation Component (CD:EDR) and a change of zone from Light Agriculture, five acre minimum lot size (A-1-5) to Residential Agricultural, two acre minimum lot size (R-A-2). (Airport Compatibility Zone E of the French Valley Airport Influence Area).

II. **MAJOR ISSUES**
None

III. **STAFF RECOMMENDATION**
Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan as amended in 2011, and find the proposed Tentative Tract Map CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**
Tentative Tract Map No. 37418 is a proposal to divide 15.6 gross acres into 6 single family residential lots. The proposed project requires a general plan amendment from Rural Residential within the Rural Foundation Component (R;RR) to Estate Density Residential within the Community Development Foundation Component (CD:EDR) and a change of zone from Light Agriculture, five acre minimum lot size (A-1-5) to Residential Agricultural, two acre minimum lot size (R-A-2).

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky and shall comply with the Riverside County Ordinance No. 655. Outdoor lighting shall be downward facing.
2. The review of this Tentative Tract Map is based on the proposed uses and activities noted in the project description. The following uses/activities are not included in the proposed project and shall be prohibited at this site as hazards to flight.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor (such as incinerators) or which would attract large concentrations of birds, or which may otherwise affect safe air

**AIRPORT LAND USE COMMISSION
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navigation within the area.

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the lots and to tenants of any homes thereon.
- 4. The following uses/activities are specifically prohibited at this location due to their propensity to attract birds: aquaculture; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; artificial marshes; and wastewater management facilities.
- 5. Any proposed detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 5-0 found the project **CONSISTENT**. Absent: Commissioners Holmes, Richard Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.4: TIME: 9:28 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.5:** ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 143,565 square feet on 14.06 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 7 to 9 office/warehouse buildings, 4 retail buildings, and 5 restaurants (including portions of retail buildings). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.5 to 1.8 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area).

II. **MAJOR ISSUES**

The applicant team thought that this project complied with nonresidential intensity criteria, but was using the single-acre intensity criteria in determining potential occupancy for the proposed buildings. Hence, the total occupancy for some of the buildings is almost twice the allowable level, when considering on a lot-by-lot basis. This will require a revised submittal with either greatly reduced square footages of building area or allocation of less intense uses. The most glaring exceedances occur in the row of buildings along Benton Road that were proposed to include restaurant dining area.

III. **STAFF RECOMMENDATION**

Staff would be amenable to a continuance to allow for a redesign or revised allocation of uses, but, based on the current proposal, staff must recommend a finding that the proposed Conditional Use Permit and Tentative Parcel Map, considered together, are INCONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011.

**STAFF RECOMMENDED AT HEARING
CONSISTENT**

IV. **PROJECT DESCRIPTION**

Conditional Use Permit No. 3777 is a proposal to construct fifteen commercial buildings with a combined gross floor area of 143,565 square feet on 14.06 acres. The applicant envisions 7 to 9 office/warehouse buildings, 4 retail buildings, and 5 restaurants (including portions of retail buildings). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.5 to 1.5 acres in size, providing individual lots for most of the proposed buildings.

V. **MEETING SUMMARY**

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jguerin@rivco.org

The following spoke in favor of the project:

Rob Mann, Other Interested Person, 125 Stillman, San Francisco, CA 94107

The following spoke neither for or against the project, but added information to the decision making process:

Russell Brady, Riverside County Planning Department, 4080 Lemon Street, Riverside, CA

No one spoke in opposition to the project.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 5-0 **CONTINUED** the project to April 12, 2018.
Absent: Commissioners Holmes, Richard Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.5: TIME: 9:45 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER MARCH 8, 2018
RIVERSIDE MEETING**

I. 4.0 ADMINISTRATIVE ITEMS

4.1 Director's Approvals – Information only

4.2 Election of Successor Chairman for the Remaining Term

The ALUC Commission by a unanimous vote of 5-0 approved the Vice Chairman to serve as Chairman until the new ALUC Chairman takes office.

4.3 Consideration and Adoption of Revised ALUC Bylaws

The ALUC Commission by a vote of 5-0 approved the draft revised ALUC Bylaws. A resolution to adopt the revised Bylaws will be presented at the next ALUC Commission meeting in April.

4.4 2018 AICUZ Released

On February 21, 2018, the United States Air Force released the 2018 Air Installation Compatible Use Zone Study for March Air Reserve Base. As this is a "study," it does not require environmental analysis and, as such, there is no related public review period or adoption process. Simon Housman, ALUC Director advised that he will be meeting with the engineer from the March Air Reserve Base and teleconferencing with Mead and Hunt to discuss whether to proceed by the JLUS process before amending the March Air Reserve Base ALUCP. At the next ALUC Commission meeting staff will report the outcome of the research and ask the Commission to provide direction of which way they would like staff to proceed towards bringing the plan into consistency with the new AICUZ.

4.5 Authorization for the ALUC Director to Render Consistency Determinations for Legislative Items in Zone E of the March Air Reserve Base/Inland Port Airport Influence Area: Resolution No. 2016-02

John Guerin, ALUC staff reported that Resolution No. 2016-02 will expire on August 31, 2018. The ALUC Commission by a vote of 4-0 directed staff to bring back a Resolution extending the term an additional two years. Absent: Butler, Holmes and Richard Stewart

II. 5.0 APPROVAL OF MINUTES

The ALUC Commission by a vote of 4-0 approved the January 11, 2018 minutes. Absent: Commissioners Holmes, Butler and Richard Stewart

III. 6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

None

IV. 7.0 COMMISSIONER'S COMMENTS

None

V. 8.0 ADJOURNMENT

Steve Manos, Acting Chairman adjourned the meeting at 10:52 A.M.

VI. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 4.0: TIME IS: 10:31 A.M.