



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center  
4080 Lemon Street, 1st Floor Board Chambers  
Riverside, California

Thursday 9:00 A.M., April 14, 2016

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**  
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Director  
Ed Cooper

John Guerin  
Russell Brady  
Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lemon St, 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**NOTE:** If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at [www.rcaluc.org](http://www.rcaluc.org).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

## 1.0 INTRODUCTIONS

### 1.1 CALL TO ORDER

### 1.2 SALUTE TO FLAG

### 1.3 ROLL CALL

## 2.0 PUBLIC HEARING: CONTINUED ITEMS

- 2.1 ZAP1038PS16 – Palm Springs Unified School District (Representative: John Vega) - Environmental Impact Report State Clearinghouse No. 2015031105. Palm Springs Unified School District proposes to replace existing buildings at Agua Caliente Elementary School located at 30-800 San Luis Rey Drive inside San Gabriel Drive Circle in Cathedral City with five new buildings at different areas within the school's existing campus. The project would facilitate an increase in the capacity of the school so as to allow for an enrollment of up to 850 students, specifically including the addition of 120 pre-kindergarten students. (Airport Compatibility Zone D of the Palm Springs International Airport Influence Area). ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

Staff Recommendation: INCONSISTENT

**3.0 PUBLIC HEARING: NEW ITEMS****MARCH AIR RESERVE BASE**

- 3.1 ZAP1183MA16 – Jason Radwan (Representative: Blue Peak Engineering) – City of Perris Planning Case No. 15-05196 (Tentative Parcel Map No. 37043). Tentative Parcel Map No. 37043 is a proposal to subdivide a 3.3 gross acre parcel into two commercial parcels. The proposed area of parcel 1 is 2.9 net acres and contains existing parking stalls and storage units as part of the existing commercial shopping center. The proposed area of Parcel 2 is 0.4 net acres and contains a Del Taco restaurant and drive-thru (currently under construction) and existing parking stalls. The project site is southerly of Ramona Expressway and easterly of Perris Boulevard, within the City of Perris. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rctlma.org](mailto:prull@rctlma.org)

Staff Recommendation: CONSISTENT

- 3.2 ZAP1185MA16 – Vogel Properties (Representative: Nick Johnson) – City of Moreno Valley Case No. PA16-0002 (Site Plan Review). The applicant is proposing to develop a 446,350 square foot warehouse/distribution center on 19.61 acres. The building floor plan consists of 426,350 square feet of warehouse area, 10,000 square feet of office area, and 10,000 square feet of mezzanine area. The project site is located northerly of Harley Knox Boulevard, southerly of a straight-line westerly extension of Grove View Road and Nandina Avenue, easterly of Heacock Street, and westerly of Indian Street. (Airport Compatibility Zones B2 and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rctlma.org](mailto:prull@rctlma.org)

Staff Recommendation: CONSISTENT

- 3.3 ZAP1184MA16 – MGP X Properties LLC (Representative: Romero Thorsen Design) – City of Riverside Planning Case Nos. P15-0820 (Specific Plan Amendment) and P15-0978 (Design Review). The applicant is proposing to amend the Specific Plan Development Standards (Section IV) of the Canyon Springs Business Park Specific Plan to allow for an additional pylon sign along the 215 Freeway with a maximum height limit of 75 feet and total sign area of 760 square feet and to construct such a sign at the northwest corner of the 15.5 acre parcel that includes the Valley Gateway Plaza shopping center. The proposed sign structure will be 75 feet in height and 31.5 feet in width. The sign will be a non-LED sign and have five tenant sign panels totaling 660 square feet of sign area. The project site is located easterly of Interstate 215 and westerly of Valley Springs Parkway (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area). ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rctlma.org](mailto:prull@rctlma.org)

Staff Recommendation: CONSISTENT

**4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals

4.2 Recordings of Commission Hearings and Commission Packets

4.3 Specific Delegation of Authority: Amendment to Canyon Springs Specific Plan

4.4 Commissioner Reappointments

**5.0 APPROVAL OF MINUTES**

March 10, 2016

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

**7.0 COMMISSIONER'S COMMENTS**

7.1 March Joint Powers Authority TAC Report Update by Commissioner Ballance

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**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.1 ~~3.10~~

**HEARING DATE:** April 14 (continued from March 10, 2016)

**CASE NUMBER:** ZAP1038PS16 – Palm Springs Unified School District –  
(Representative: John Vega)

**APPROVING JURISDICTION:** Palm Springs Unified School District

**JURISDICTION CASE NO:** EIR-State Clearinghouse No. 2015031105

**MAJOR ISSUES:** The capacity of the proposed elementary school exceeds the maximum allowable average acre criterion of 100 and single-acre criterion of 300 people for Compatibility Zone D based on the Building Code Method. Additionally, children's school uses are a discouraged use within Compatibility Zone D. The proposed elementary school would replace the existing elementary school on the site, but is anticipated to increase enrollment from 599 to an enrollment capacity of 828 and so would not be subject to the provisions for continuing to operate an existing nonconforming use pursuant to Countywide Policy 3.3.2.(b).

The applicant has stated that based on School District and State requirements, total occupancy for the site would comply with the average acre criterion of 100, but Building B occupancy would exceed the single-acre criterion on its own and other single-acre areas exceed the single-acre criterion as well. Additionally, the maximum occupancy of Building E, which is primarily for assembly purposes and does not increase the permissible total enrollment, would substantially exceed the single-acre criterion.

**RECOMMENDATION:** *Staff recommends a finding of INCONSISTENCY, based on the proposed project exceeding single-acre non-residential intensity criteria for Compatibility Zone D based on the Building Code Method and the project being a discouraged use within Compatibility Zone D, unless the Commission is willing to accept the applicant's estimates for occupancy or make special circumstance findings pursuant to Countywide Policy 3.3.6.*

~~At the request of the applicant, staff recommends that consideration of the project be CONTINUED to ALUC's April 14, 2016 hearing to provide staff and the applicant additional time to review site design, including measures to mitigate potential hazards from aircraft.~~

**PROJECT DESCRIPTION:** Palm Springs Unified School District proposes to replace existing buildings at Agua Caliente Elementary School with five new buildings at different areas within the school's existing campus. Outdoor recreation areas would also be provided. The project would

facilitate an increase in the capacity of the school to allow for the enrollment of up to 828 students (originally estimated at 850-875). The project description in the Draft EIR referenced the addition of up to 120 students and associated faculty at the pre-kindergarten level (included among the 875).

**The purpose of the proposal is to rebuild the school to modernize it and make it safer for the students. The school is the central focus of the neighborhood in which it is located.**

**PROJECT LOCATION:** The site is located at 30-800 San Luis Rey Drive inside San Gabriel Drive Circle, easterly of San Antonio Drive, westerly of San Diego Drive, northerly of Santa Barbara Drive, and southerly of Asistencia Drive within the City of Cathedral City, approximately 2,730 feet easterly of the southerly end of Runway 13L-31R at Palm Springs International Airport.

**LAND USE PLAN:** 2005 Palm Springs International Airport Land Use Compatibility Plan

- a. Airport Influence Area: Palm Springs International Airport
- b. Land Use Policy: Compatibility Zone D
- c. Noise Levels: Below 60 CNEL from aircraft noise

**BACKGROUND:**

Non-Residential Average Land Use Intensity: The proposed project is located within Compatibility Zone D. Average intensity in Compatibility Zone D is limited to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following rates were used to calculate the occupancy for the proposed buildings:

- Classrooms – 1 person per 20 square feet
- Assembly – 1 person per 15 square feet
- Office – 1 person per 100 square feet
- Utility – 1 person per 200 square feet
- Storage – 1 person per 300 square feet

Based on the floor plan provided and the occupancy calculations included within them, proposed Building A would accommodate 91 people, Building B would accommodate 634 people, Building C would accommodate 501 people, Building D would accommodate 468 people, and Building E would accommodate 747 people. Building E would include the vast majority due to its use as an assembly area. This would result in a total site occupancy of 2,441 people. Given the site area of 12 net acres, this results in an average intensity of 203 people per acre, which is not compatible with the Zone D average acre criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces

provided or required by average vehicle occupancy. However, in the case of a school serving under-age pupils, the number of occupants cannot be reasonably projected utilizing the parking space method.

The applicant has stated that use of the building code method is not appropriate in this situation since School District and State enrollment allowances are based on facility resources and not simply size and use of individual rooms. Non-classroom spaces such as multipurpose rooms, libraries, and other specialty spaces are considered support spaces and do not have dedicated occupant load requirements pursuant to School District or State requirements. Based on the School District and State requirements, the applicant has stated that the actual maximum student loading is 828 and projected staff is 65 for a total of 893 persons. Below are the applicant's maximum occupancies for each building based on this approach. With a site of 12 net acres, this results in an average intensity of 74 persons per acre, which would comply with the average acre criterion of 100 persons per acre.

Building A – 0 students, 10 staff, 10 total  
Building B – 288 students, 19 staff, 307 total  
Building C – 270 students, 14 staff, 284 total  
Building D – 270 students, 11 staff, 281 total  
Building E – 0 students, 11 staff, 11 total

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone D limits maximum single-acre intensity to 300 people. Most of each building is located within a single-acre area (210' x 210'), with Buildings C and D not located entirely within a single-acre area. Additionally, a single-acre area may overlap between buildings. However, per the building occupancies noted previously, each of the buildings alone (except Building A) would exceed the single-acre criterion of 300 based on the Building Code Method.

Based on the applicant's stated maximum number of students and staff for each building as noted previously, the maximum single building occupancy would be 307 for Building B, which would exceed the single-acre criterion. Other single building occupancies would be below 300. However, additional portions of buildings would be located within a single-acre area for another building. A variety of combinations of whole and portions of buildings could be calculated, but for instance a single-acre area of all of Building A, the approximate eastern half of Building D, the westerly approximate third of Building C and northwesterly quarter of Building B could result in a total approximate occupancy of 317 applying each building's occupancy proportionally, which would also exceed the single-acre criterion of 300.

Additionally, although the applicant's calculated occupancies assume a typical use based on School District and State requirements, Building E would have a capacity of 747 people, 477 of which would be in an assembly seating area.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited in Compatibility Zone D. However, children's schools are a discouraged use within Compatibility

Zone D. While there may be other potentially viable sites to locate a new elementary school, the existing school on the project site is centrally located within, and serves the surrounding community, and redeveloping this site is less costly than acquiring and developing a new site. The applicant has provided some information noting that there are no other viable sites of residential fee land located outside a flood zone which could accommodate 600 students within the service area for this elementary school.

Noise: The Palm Springs Airport Land Use Compatibility Plan depicts the site as being in an area below 60 CNEL from aircraft. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The elevation of Runway 13L-31R at its southerly terminus is 404.4 feet above mean sea level (AMSL). At a distance of approximately 2,730 feet from the runway to the property line, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 431.7 feet AMSL. The highest proposed finished floor elevation is 394.87 feet above mean sea level. With a maximum building height of 34 feet 2 inches, the top point elevation would be 429.04 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service was not required.

Open Area: Compatibility Zone D requires a minimum of 10% open area. The project site's total gross acreage is approximately 12 acres. This would result in a total minimum open area requirement of 1.2 acres.

The proposed school includes a soccer and baseball field area in the northern portion of the site. By excluding areas not meeting the minimum 75' x 300' dimensions for qualifying area ~~and area within the southern portion of the fields with trees and likely a backstop/fence for the baseball field~~, this results in an approximate qualifying open area of ~~3.04~~**1.45** acres. This would meet the minimum 10% required open space area for Compatibility Zone D **and represents approximately 25% of the site area.**

Countywide Policy 3.3.2(b): Pursuant to Countywide Policy 3.3.2.(b), "a nonconforming nonresidential development may be continued, leased, or sold and the facilities may be maintained or altered (including potentially enlarged), provided that the portion of the site devoted to the nonconforming use is not expanded and the usage intensity (the number of people per acre) is not increased above the levels existing at the time of adoption of this Compatibility Plan." While the existing elementary school could be considered a nonconforming use, since the proposed school would increase the capacity compared to the existing school enrollment, this policy would not be applicable to find the proposed project consistent.

However, the proposed enrollment capacity of 828 is less than the actual enrollment of 845 reached during the 2005-06 school year. That level was accommodated through the addition of portable/modular classroom facilities.

Countywide Policy 3.3.6: While the project does not strictly comply with Zone D intensity criteria or the criteria for existing nonconforming uses, the Commission may choose to consider whether to find the normally incompatible intensity compatible pursuant to Countywide Policy 3.3.6 if the combination of the following facts are determined to represent “other extraordinary factors or circumstances” based on the following findings:

- The project site is in an area below 60 CNEL, thus limiting noise impacts and potential nuisance complaints.
- The project is not located beneath or near the extended centerline of the runway or within the general traffic pattern envelope, wherein approximately 80% of aircraft overflights are expected to occur.
- There are no other viable sites of residential fee land located outside a flood zone which could accommodate 600 students within the service area for this elementary school.
- The Cathedral City Fire Department has prepared a letter that notes that the proposed new school would include automatic fire sprinklers, integrated fire alarms, and additional fire access lanes and fire hydrants which do not exist at the current school, thus making the newer school less hazardous to students and staff from potential fire hazards.
- The nearby golf course and Whitewater Wash east of the project site could provide an alternative emergency landing location to minimize potential aircraft hazards to the proposed project.
- The proposed capacity of the school would not exceed the peak number of students accommodated at the facility at or slightly after the time of Plan adoption.
- **The project includes approximately 25% open area. This exceeds the minimum requirements of 10% of Compatibility Zone D. This additional open area to provide potential location for emergency landings may assist in offsetting the risk of an emergency landing on the more intense portions of the site that exceed the intensity criteria for Compatibility Zone D.**
- **Although Building E has the capacity for approximately 747 people, the use of the assembly area within the building would be rare and for limited periods of time.**
- **All proposed buildings would be constructed of reinforced masonry block.**
- **The purpose of the rebuilding is to provide for a safer school for the students.**

#### CONDITIONS:

1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight



final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hospitals, skilled nursing and care facilities, noise sensitive outdoor nonresidential uses and hazards to flight.
3. Building E shall not be made available to outside entities unless restricted to a maximum of 300 persons, until such time as the Riverside County Airport Land Use Compatibility Plan is amended to potentially allow for single-acre intensities exceeding 450 persons in Compatibility Zone D.
  4. The attached notice shall be given to all prospective purchasers of the property and shall be recorded as a deed notice.
  5. No detention basins are depicted on the site plan. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
  6. The recreation/field areas including a soccer field and baseball field as generally shown in the northern portion of the site titled ~~ALUC Diagram~~~~Overall Site Plan~~, dated ~~3/29/16~~~~10/05/2015~~ and Planting Plan dated 10/05/15 shall be kept free of structures and other major obstacles such as walls, large trees or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires excluding those trees shown on the Planting Plan and a backstop/fence for the baseball field. Small trees and shrubs that exceed 4 feet in height and/or thickness of 4 inches may be allowed along the edge of open space

areas where the area abuts a wall or other similar feature, provided that they are planted within 4 feet of the wall.


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HATCHED AREA INDICATES REGION DEVOID OF OBSTRUCTIONS GREATER THAN 4ft IN HEIGHT, OR 4INCHES IN DIAMETER. AREA PROVIDES MINIMUM DIMENSIONS OF 75'x300'

**132,588 SQUARE FEET**  
**3.04 ACRES**  
**25.3% OF SITE**

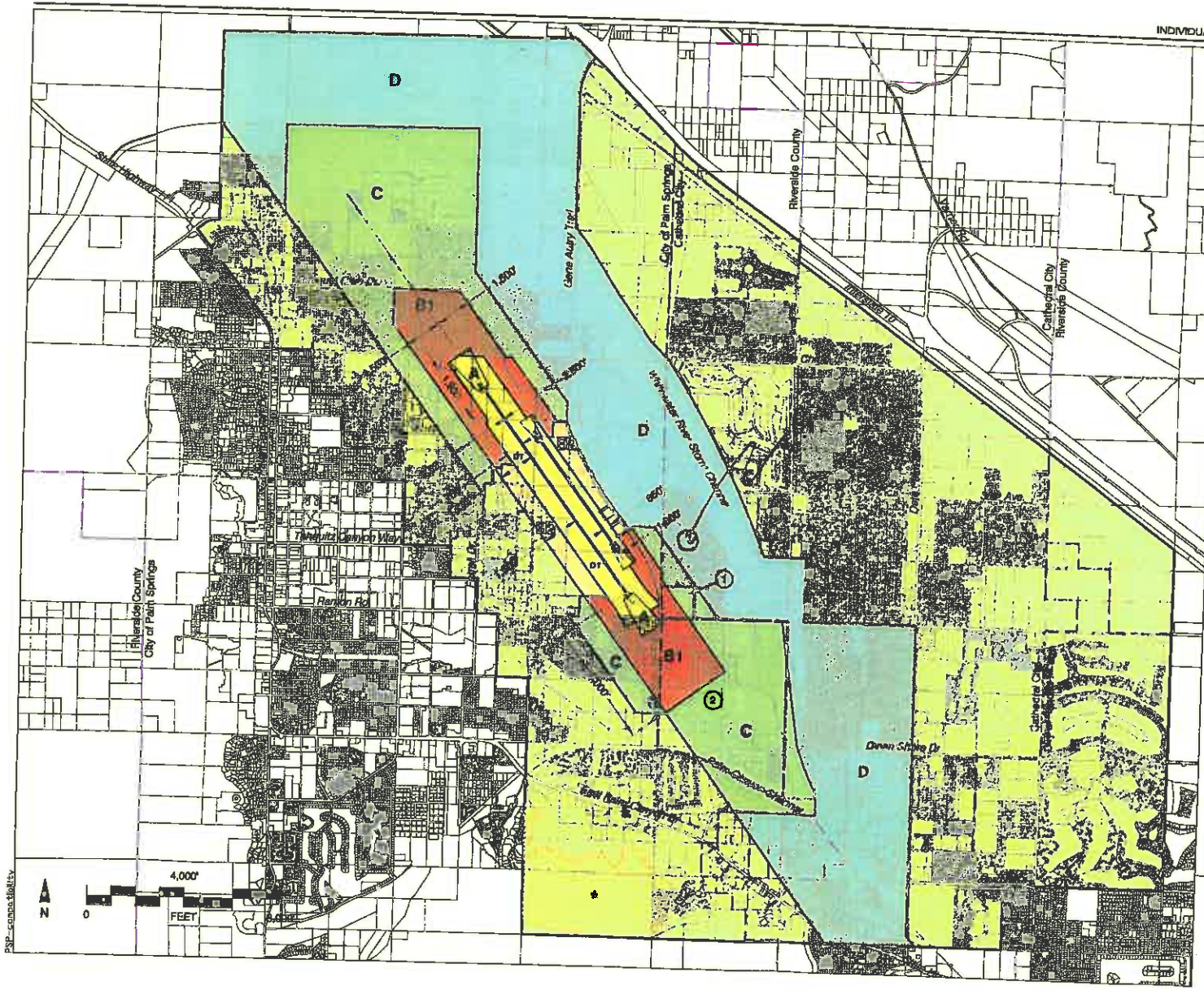
PROPOSED PLAYING FIELDS

1 SITE PLAN OVERALL  
 1" = 100'-0"

3/29/2016 1:47:53 PM	TITLE: ALUC DIAGRAM		SHEET REF:
	AGUA CALIENTE ELEMENTARY SCHOOL PALM SPRINGS UNIFIED SCHOOL DISTRICT		DOC. REF:
			CONTR. REF:
	APPL. NO: 04-114748	FILE NO:	DATE: 03/29/16
			JOB NO: 14012-00
624 Broadway, Suite 405 San Diego, California 92101		DRAWING: ALUC-1	

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



- Legend**
- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
  - City Limits

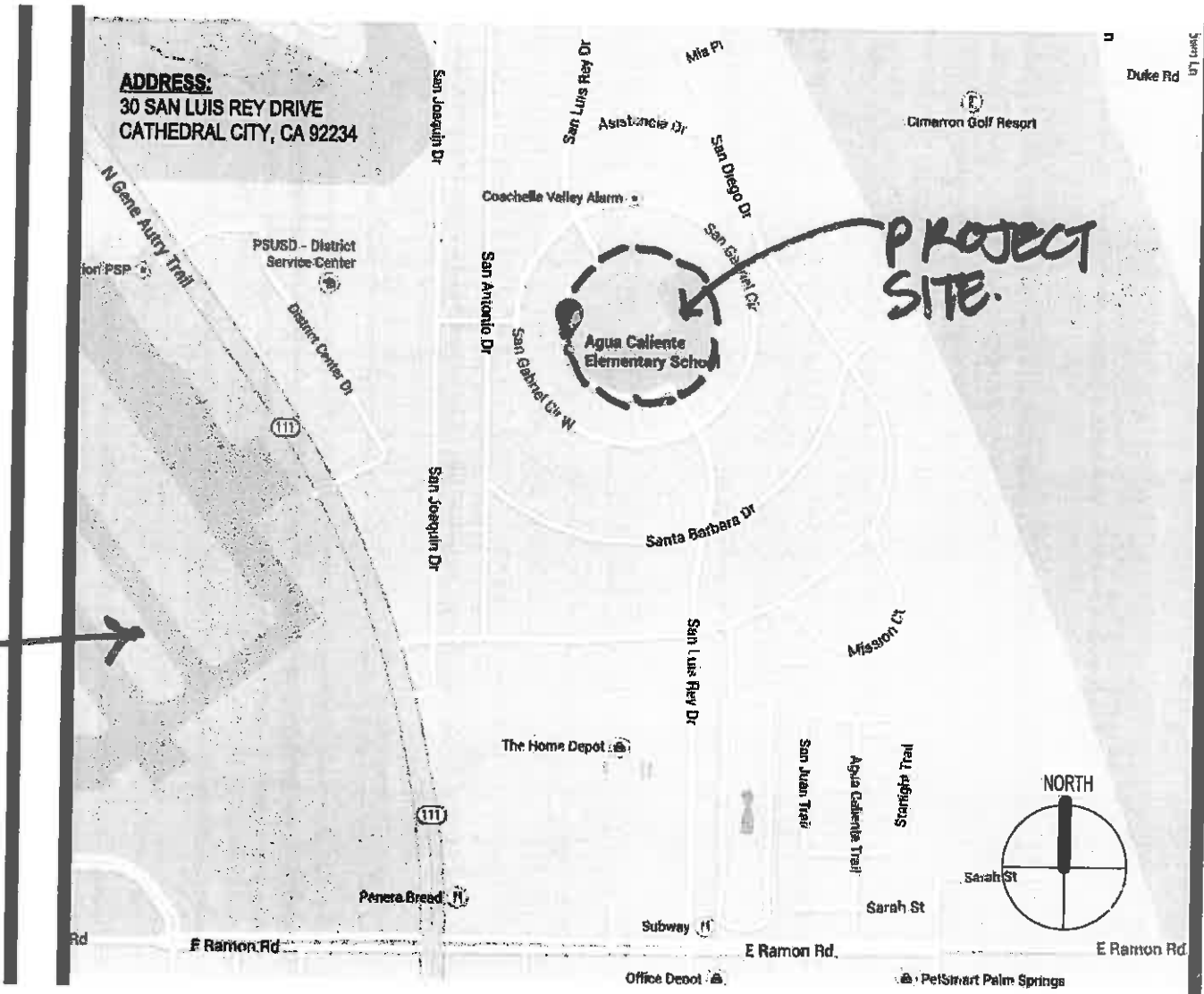
- Notes**
- All dimensions measured from runway ends and centerlines.
- DT = Displaced Threshold
- See Chapter 2, Table 2A for compatibility criteria associated with this map.
- See Policy PS.2.1.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document  
 (Adopted March 2005)

Map PS-1

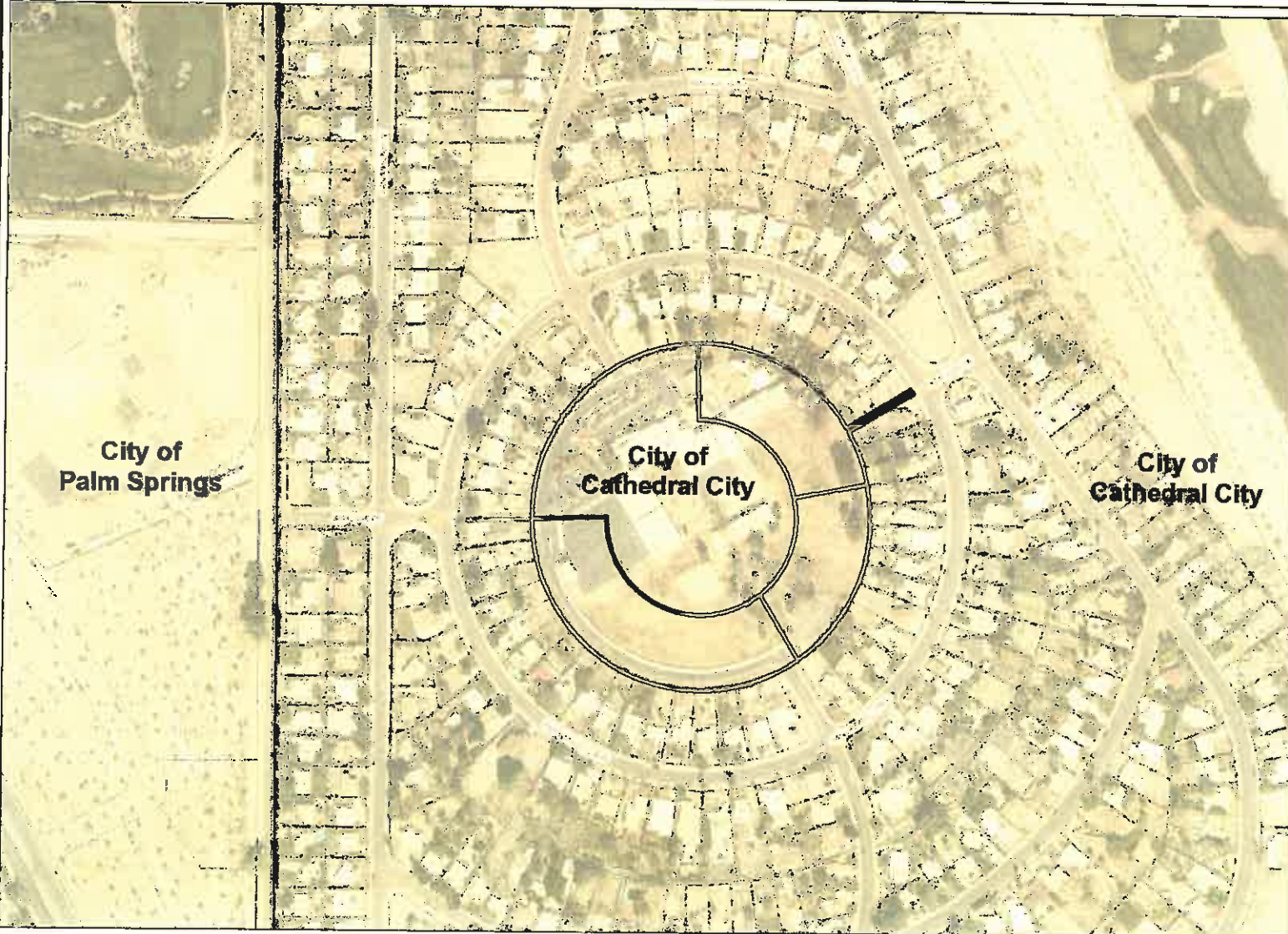
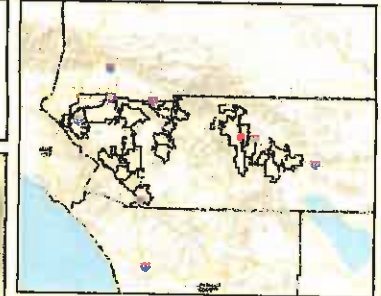
**Compatibility Map**  
 Palm Springs International Airport

ESR - escan.slighty



PROJECT IN RELATION TO AIRPORT.

# My Map



- Legend**
- Display Parcels
  - City Boundaries
  - Cities
  - roadsanno
  - highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
  - counties
  - cities
  - hydrographylines
  - waterbodies
  - Lakes
  - Rivers



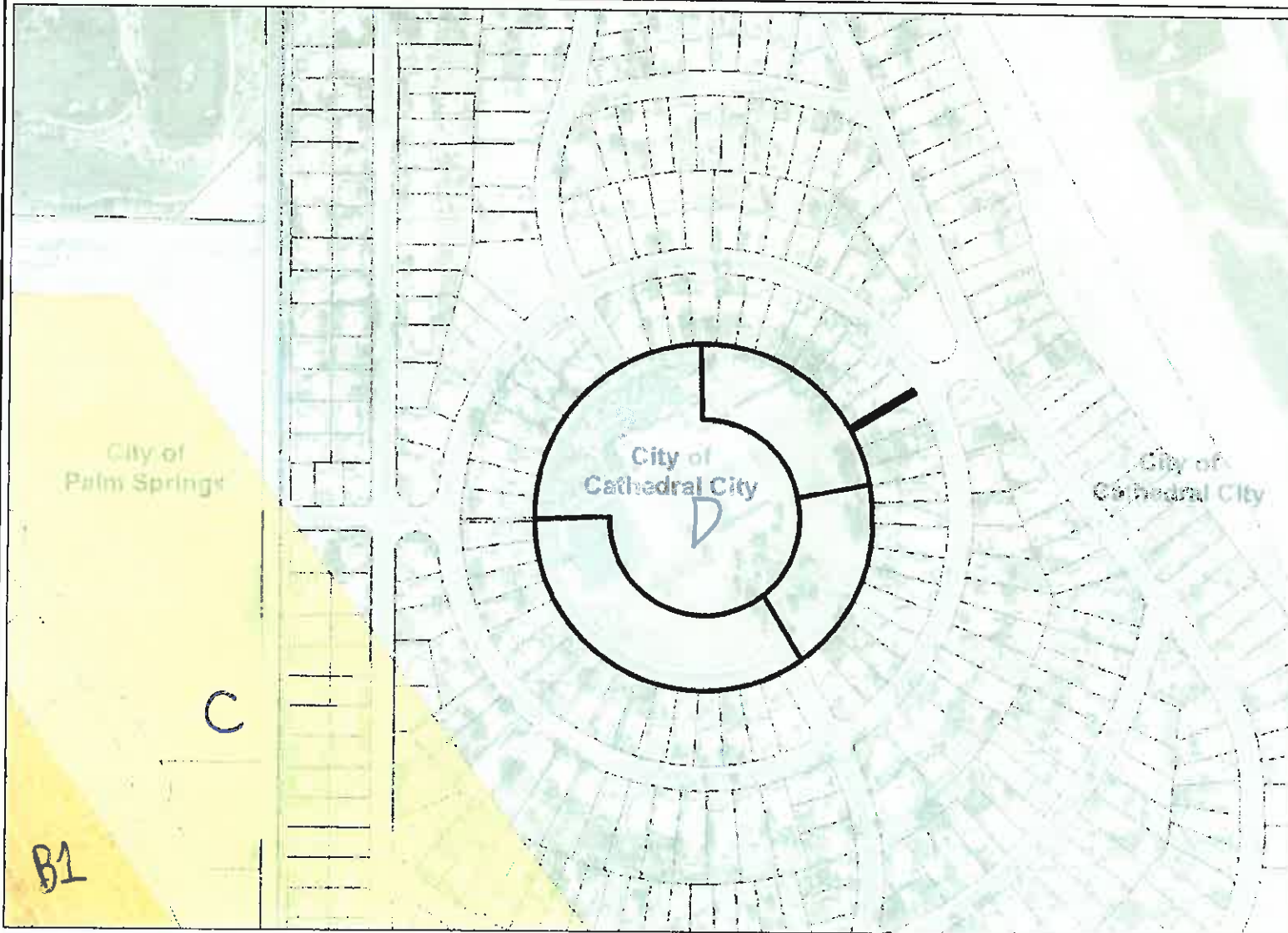
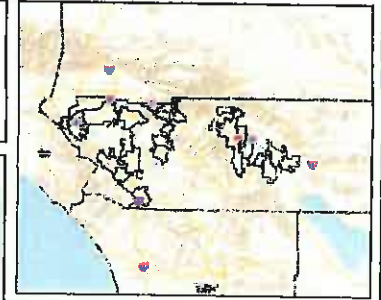
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**Notes**

# My Map



## Legend

- Display Parcels
- Airport Compatibility**
  - OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6
  - C2-HIGHT
  - C2-HIGHT-EXC1



0 448 896 Feet



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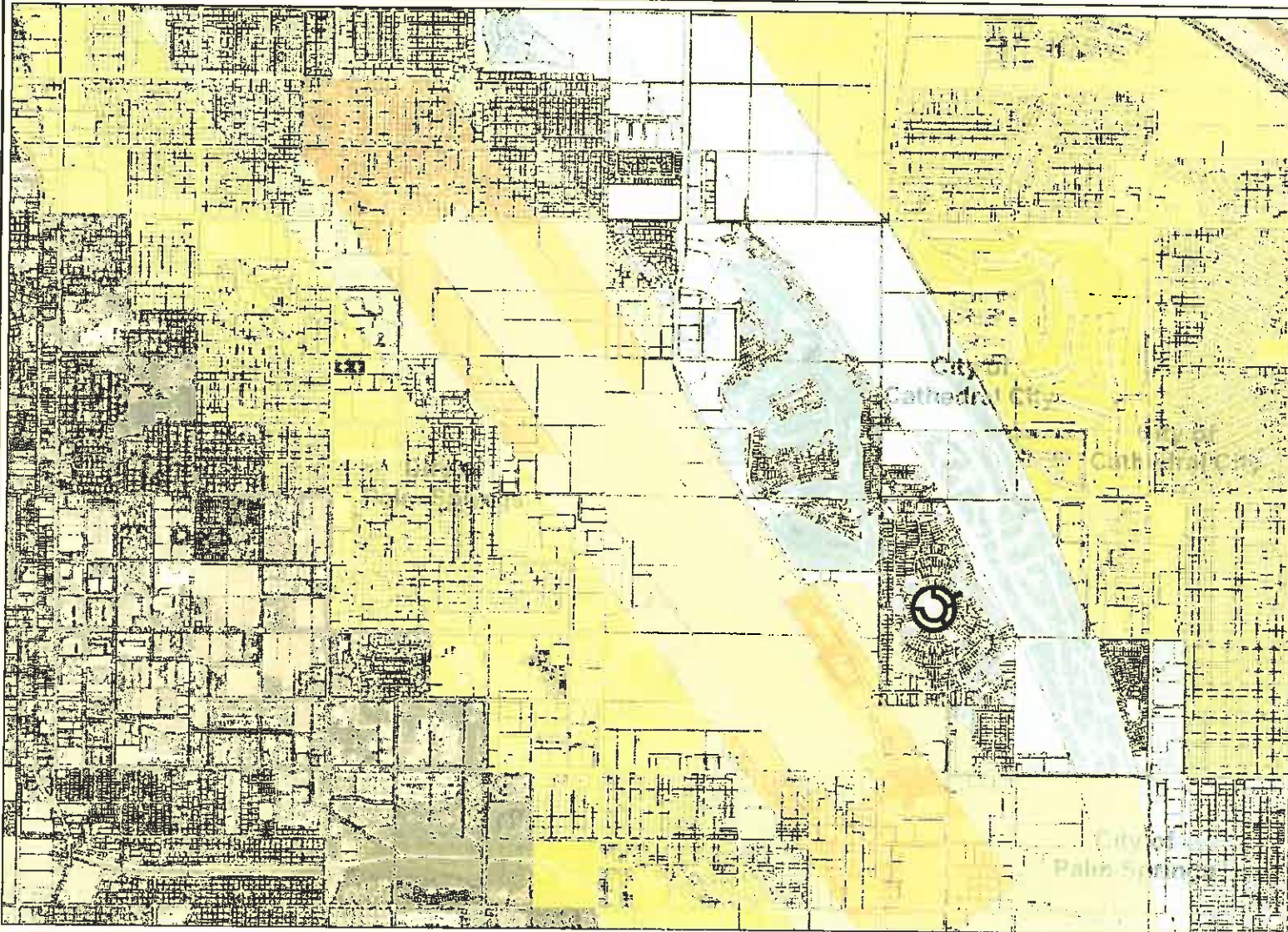
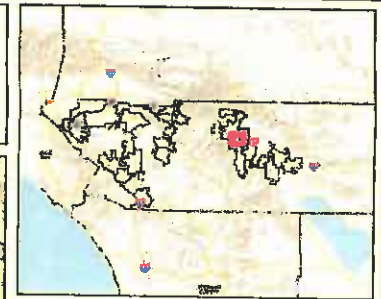
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## Notes



# My Map



## Legend

### Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
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- C2-HIGHT-EXC1
- C2-HIGHT-EXC5



0 3,585 7,169 Feet



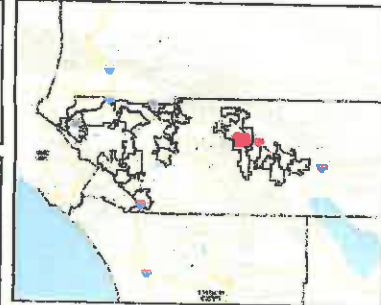
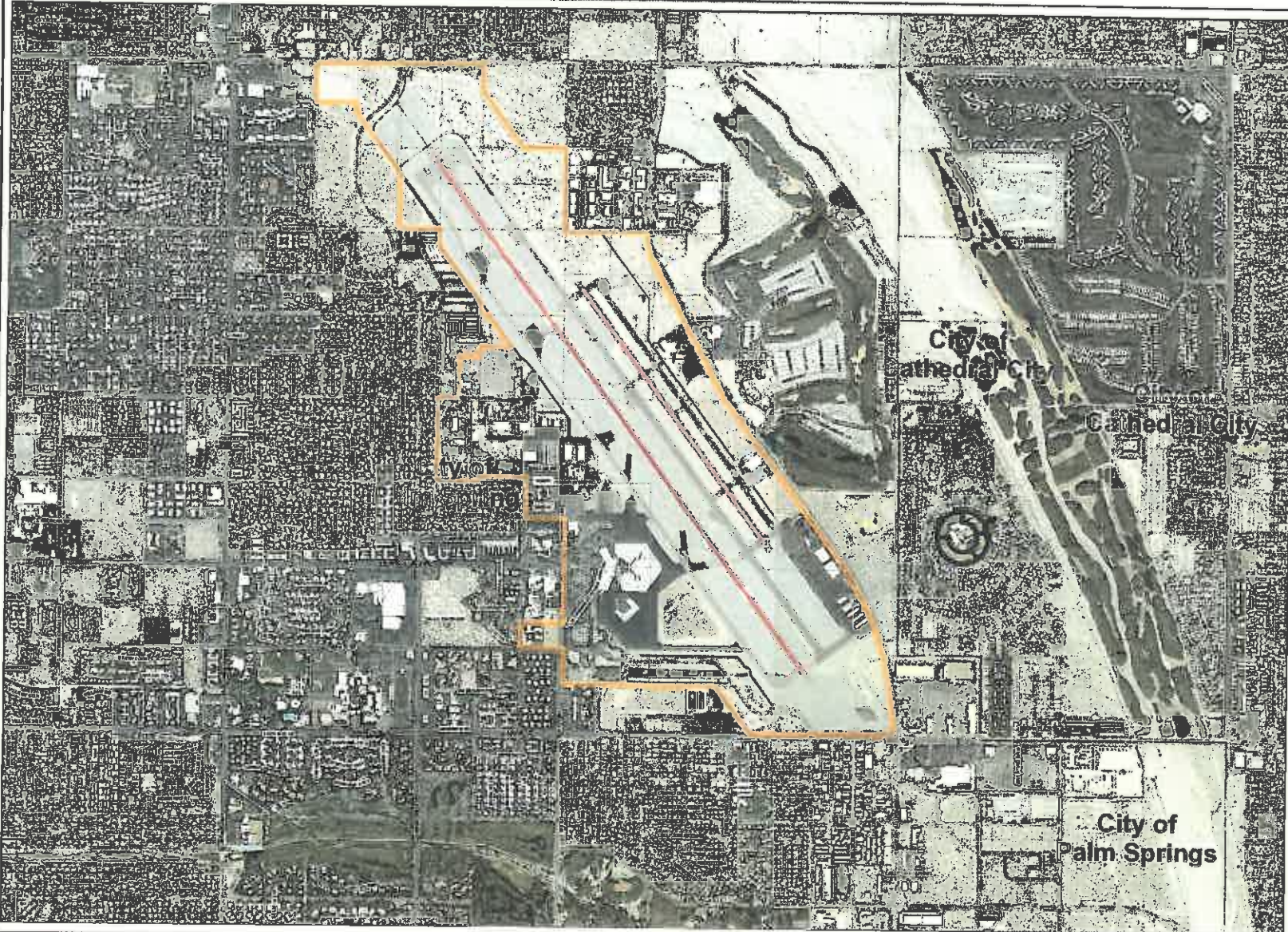
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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,934 5,867 Feet



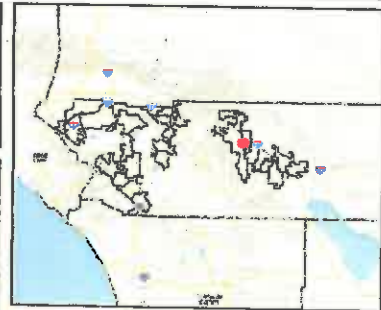
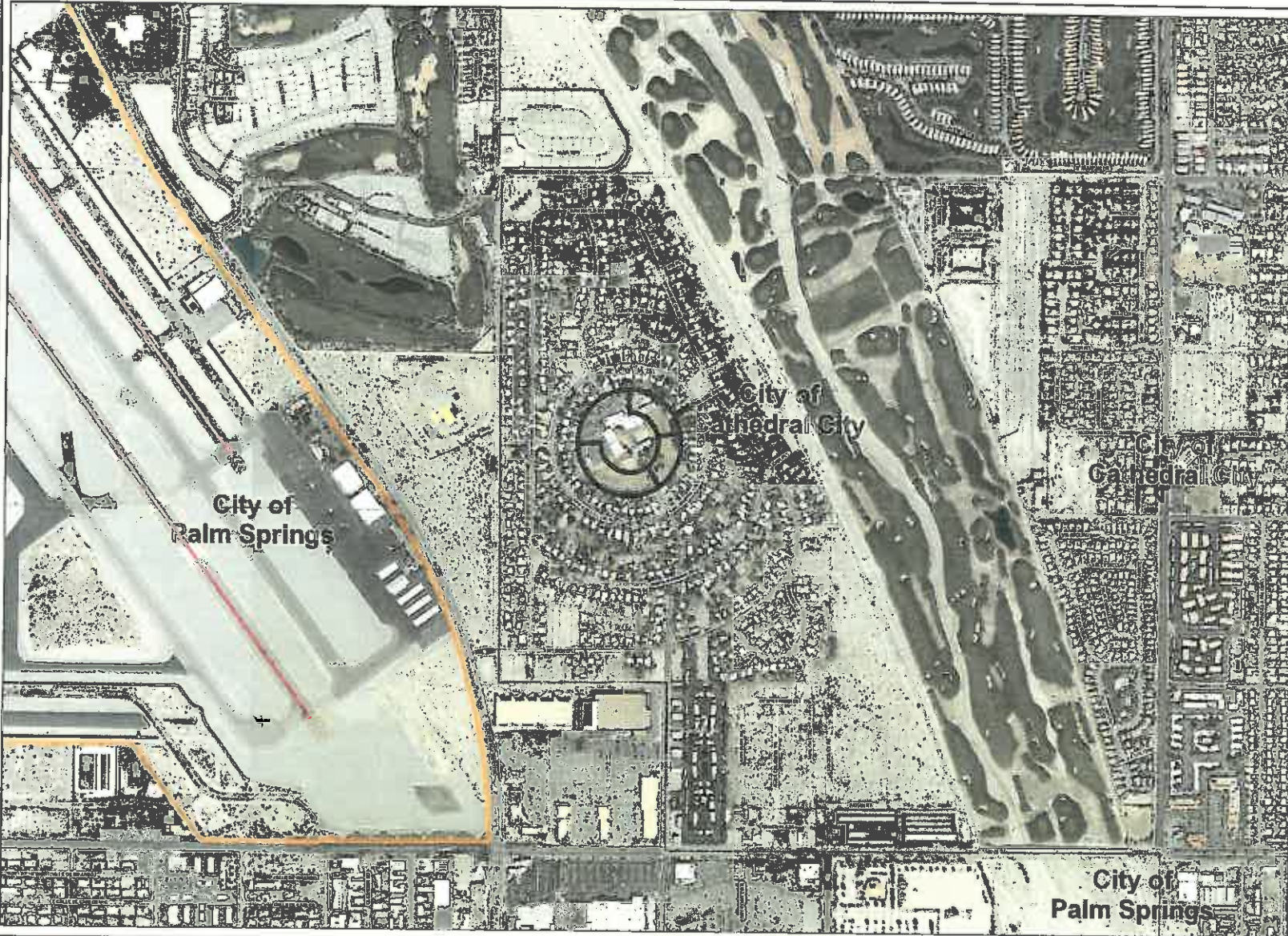
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## Notes

# My Map



- ### Legend
- Airports
  - Runways
  - City Boundaries
  - roadsanno
  - highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
  - counties
  - cities
  - hydrographylines
  - waterbodies
  - Lakes
  - Rivers



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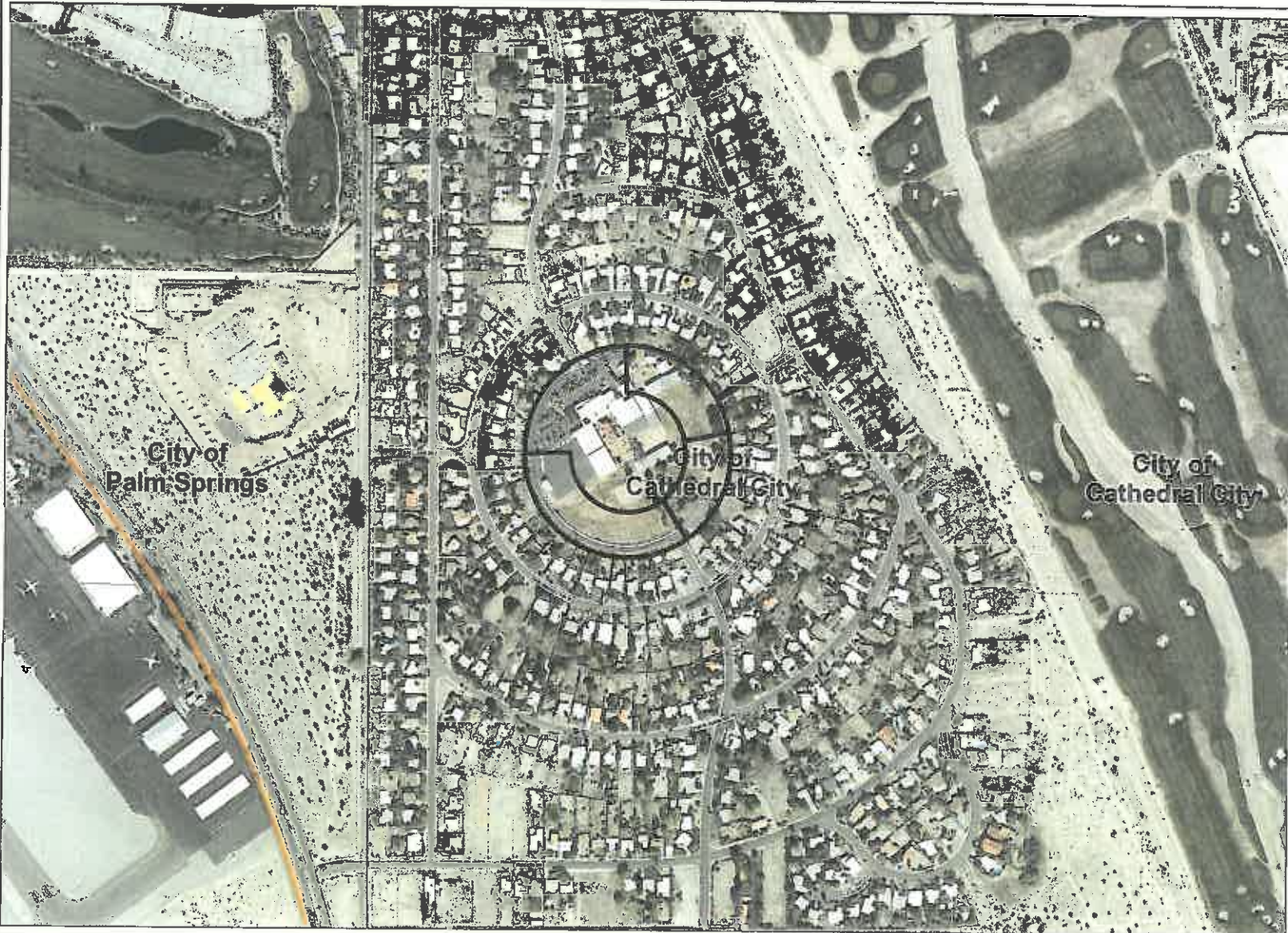


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### Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 733 1,467 Feet



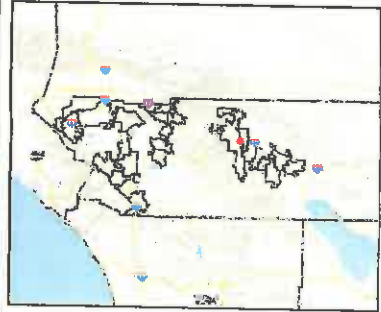
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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 367 733 Feet



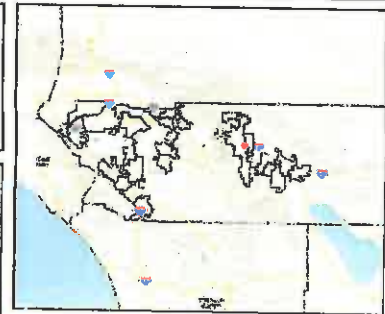
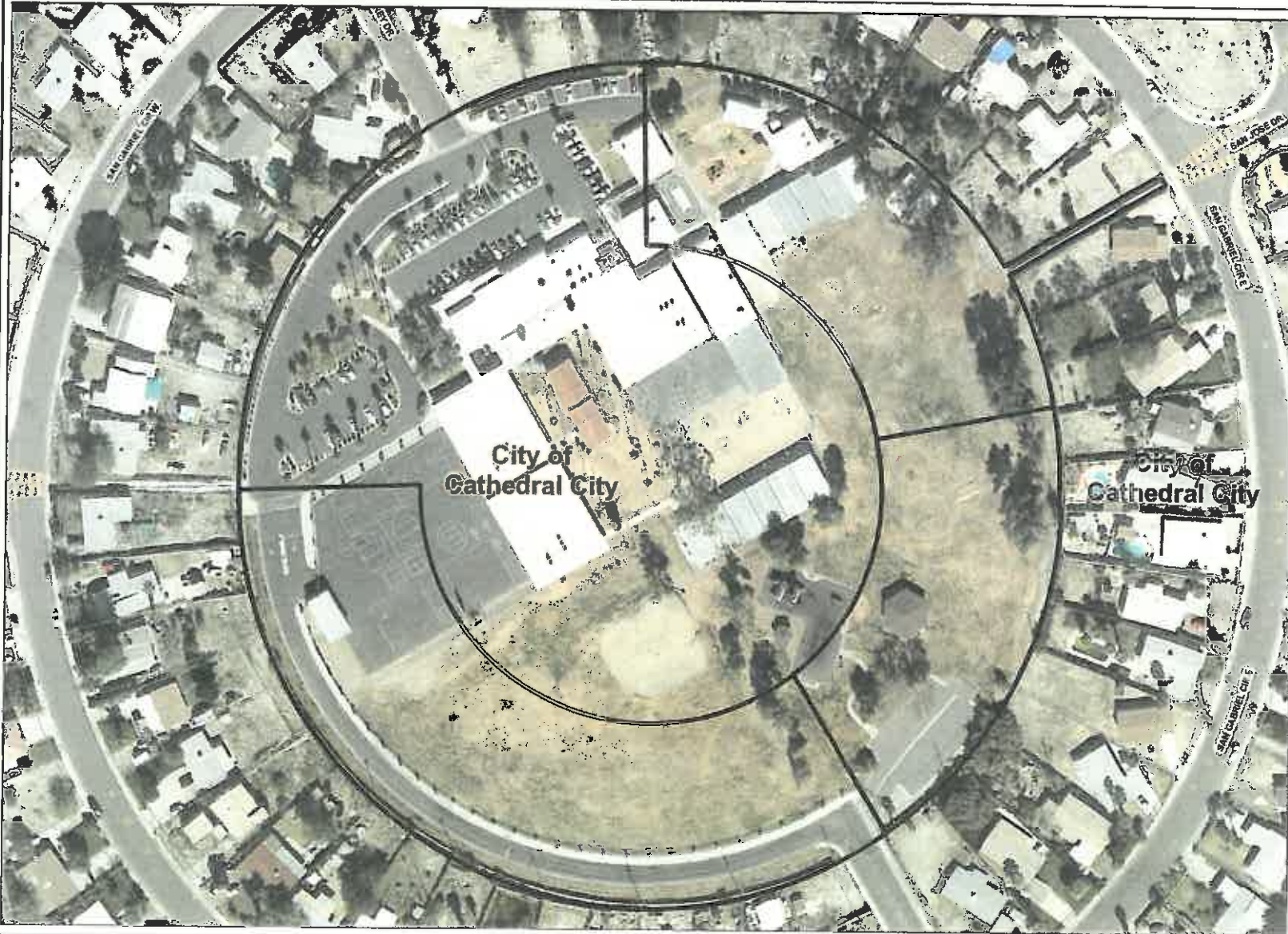
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 183 367 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# AGUA CALIENTE ELEMENTARY SCHOOL

PALM SPRINGS UNIFIED SCHOOL DISTRICT



CONSTRUCTION DOCUMENTS

10/05/2015

VOLUME 1

**BakerNowicki**  
design studio

731 Ninth Avenue, Suite A  
San Diego, California 92101  
619.795.2450



**3D VIEWS**

NO. SHEET SERIAL PROJECT NO: 14012-00  
DATE: 10/05/2015

10/05/2015 10:52 AM C:\Users\michael\Documents\Projects\Agua Caliente\3D Views





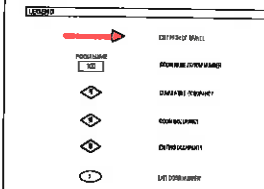




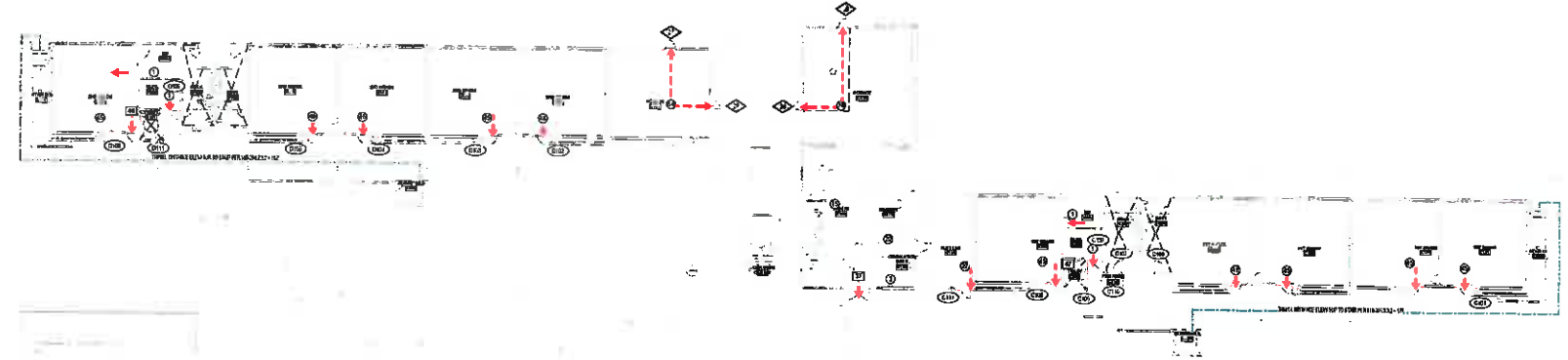




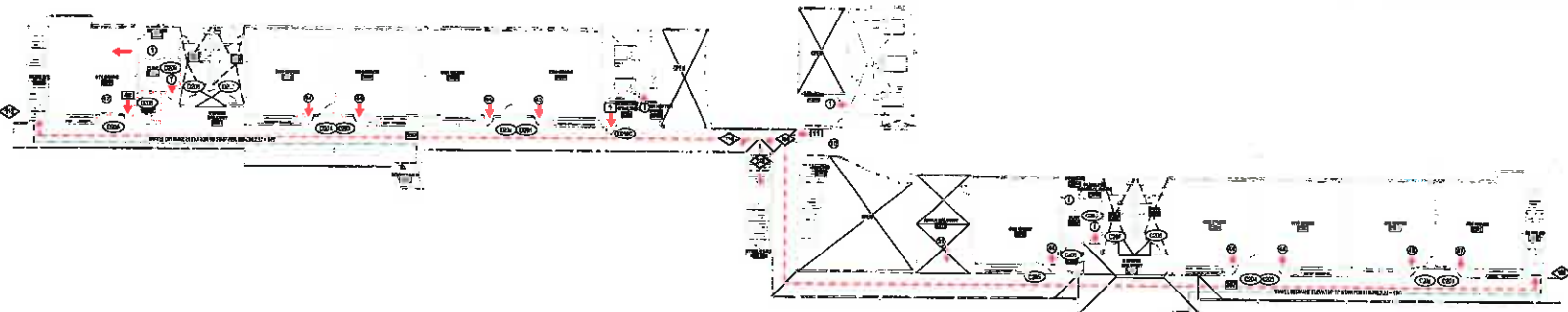




1 EXIT ANALYSIS - BLDG. C AND BLDG. D - 1ST FLOOR PLAN



2 EXIT ANALYSIS - BLDG. C & BLDG. D - 2ND FLOOR PLAN



Schedule-Exit Analysis - BLDG C

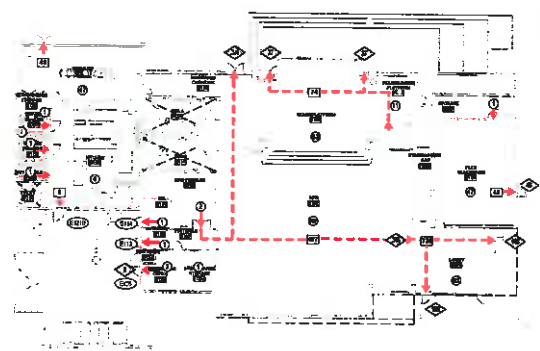
NO.	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Building ID
001	CLASS	100	1	10	1	10	10	C
002	CLASS	100	1	10	1	10	10	C
003	CLASS	100	1	10	1	10	10	C
004	CLASS	100	1	10	1	10	10	C
005	CLASS	100	1	10	1	10	10	C
006	CLASS	100	1	10	1	10	10	C
007	CLASS	100	1	10	1	10	10	C
008	CLASS	100	1	10	1	10	10	C
009	CLASS	100	1	10	1	10	10	C
010	CLASS	100	1	10	1	10	10	C
011	CLASS	100	1	10	1	10	10	C
012	CLASS	100	1	10	1	10	10	C
013	CLASS	100	1	10	1	10	10	C
014	CLASS	100	1	10	1	10	10	C
015	CLASS	100	1	10	1	10	10	C
016	CLASS	100	1	10	1	10	10	C
017	CLASS	100	1	10	1	10	10	C
018	CLASS	100	1	10	1	10	10	C
019	CLASS	100	1	10	1	10	10	C
020	CLASS	100	1	10	1	10	10	C
021	CLASS	100	1	10	1	10	10	C
022	CLASS	100	1	10	1	10	10	C
023	CLASS	100	1	10	1	10	10	C
024	CLASS	100	1	10	1	10	10	C
025	CLASS	100	1	10	1	10	10	C
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027	CLASS	100	1	10	1	10	10	C
028	CLASS	100	1	10	1	10	10	C
029	CLASS	100	1	10	1	10	10	C
030	CLASS	100	1	10	1	10	10	C
031	CLASS	100	1	10	1	10	10	C
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033	CLASS	100	1	10	1	10	10	C
034	CLASS	100	1	10	1	10	10	C
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038	CLASS	100	1	10	1	10	10	C
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042	CLASS	100	1	10	1	10	10	C
043	CLASS	100	1	10	1	10	10	C
044	CLASS	100	1	10	1	10	10	C
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050	CLASS	100	1	10	1	10	10	C
051	CLASS	100	1	10	1	10	10	C
052	CLASS	100	1	10	1	10	10	C
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079	CLASS	100	1	10	1	10	10	C
080	CLASS	100	1	10	1	10	10	C
081	CLASS	100	1	10	1	10	10	C
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098	CLASS	100	1	10	1	10	10	C
099	CLASS	100	1	10	1	10	10	C
100	CLASS	100	1	10	1	10	10	C

Schedule-Exit Analysis - BLDG D

NO.	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Building ID
001	CLASS	100	1	10	1	10	10	D
002	CLASS	100	1	10	1	10	10	D
003	CLASS	100	1	10	1	10	10	D
004	CLASS	100	1	10	1	10	10	D
005	CLASS	100	1	10	1	10	10	D
006	CLASS	100	1	10	1	10	10	D
007	CLASS	100	1	10	1	10	10	D
008	CLASS	100	1	10	1	10	10	D
009	CLASS	100	1	10	1	10	10	D
010	CLASS	100	1	10	1	10	10	D
011	CLASS	100	1	10	1	10	10	D
012	CLASS	100	1	10	1	10	10	D
013	CLASS	100	1	10	1	10	10	D
014	CLASS	100	1	10	1	10	10	D
015	CLASS	100	1	10	1	10	10	D
016	CLASS	100	1	10	1	10	10	D
017	CLASS	100	1	10	1	10	10	D
018	CLASS	100	1	10	1	10	10	D
019	CLASS	100	1	10	1	10	10	D
020	CLASS	100	1	10	1	10	10	D
021	CLASS	100	1	10	1	10	10	D
022	CLASS	100	1	10	1	10	10	D
023	CLASS	100	1	10	1	10	10	D
024	CLASS	100	1	10	1	10	10	D
025	CLASS	100	1	10	1	10	10	D
026	CLASS	100	1	10	1	10	10	D
027	CLASS	100	1	10	1	10	10	D
028	CLASS	100	1	10	1	10	10	D
029	CLASS	100	1	10	1	10	10	D
030	CLASS	100	1	10	1	10	10	D
031	CLASS	100	1	10	1	10	10	D
032	CLASS	100	1	10	1	10	10	D
033	CLASS	100	1	10	1	10	10	D
034	CLASS	100	1	10	1	10	10	D
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036	CLASS	100	1	10	1	10	10	D
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039	CLASS	100	1	10	1	10	10	D
040	CLASS	100	1	10	1	10	10	D
041	CLASS	100	1	10	1	10	10	D
042	CLASS	100	1	10	1	10	10	D
043	CLASS	100	1	10	1	10	10	D
044	CLASS	100	1	10	1	10	10	D
045	CLASS	100	1	10	1	10	10	D
046	CLASS	100	1	10	1	10	10	D
047	CLASS	100	1	10	1	10	10	D
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049	CLASS	100	1	10	1	10	10	D
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051	CLASS	100	1	10	1	10	10	D
052	CLASS	100	1	10	1	10	10	D
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055	CLASS	100	1	10	1	10	10	D
056	CLASS	100	1	10	1	10	10	D
057	CLASS	100	1	10	1	10	10	D
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062	CLASS	100	1	10	1	10	10	D
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068	CLASS	100	1	10	1	10	10	D
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072	CLASS	100	1	10	1	10	10	D
073	CLASS	100	1	10	1	10	10	D
074	CLASS	100	1	10	1	10	10	D
075	CLASS	100	1	10	1	10	10	D
076	CLASS	100	1	10	1	10	10	D
077	CLASS	100	1	10	1	10	10	D
078	CLASS	100	1	10	1	10	10	D
079	CLASS	100	1					

Schedule-Exit Analysis - BLDG E									
NO.	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	BUILDING ID
001	ADM	1000	1	3	1	0.5	6.0	6.0	1
002	ADM	1000	1	3	1	0.5	6.0	6.0	1
003	ADM	1000	1	3	1	0.5	6.0	6.0	1
004	ADM	1000	1	3	1	0.5	6.0	6.0	1
005	ADM	1000	1	3	1	0.5	6.0	6.0	1
006	ADM	1000	1	3	1	0.5	6.0	6.0	1
007	ADM	1000	1	3	1	0.5	6.0	6.0	1
008	ADM	1000	1	3	1	0.5	6.0	6.0	1
009	ADM	1000	1	3	1	0.5	6.0	6.0	1
010	ADM	1000	1	3	1	0.5	6.0	6.0	1
011	ADM	1000	1	3	1	0.5	6.0	6.0	1
012	ADM	1000	1	3	1	0.5	6.0	6.0	1
013	ADM	1000	1	3	1	0.5	6.0	6.0	1
014	ADM	1000	1	3	1	0.5	6.0	6.0	1
015	ADM	1000	1	3	1	0.5	6.0	6.0	1
016	ADM	1000	1	3	1	0.5	6.0	6.0	1
017	ADM	1000	1	3	1	0.5	6.0	6.0	1
018	ADM	1000	1	3	1	0.5	6.0	6.0	1
019	ADM	1000	1	3	1	0.5	6.0	6.0	1
020	ADM	1000	1	3	1	0.5	6.0	6.0	1
021	ADM	1000	1	3	1	0.5	6.0	6.0	1
022	ADM	1000	1	3	1	0.5	6.0	6.0	1
023	ADM	1000	1	3	1	0.5	6.0	6.0	1
024	ADM	1000	1	3	1	0.5	6.0	6.0	1
025	ADM	1000	1	3	1	0.5	6.0	6.0	1
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027	ADM	1000	1	3	1	0.5	6.0	6.0	1
028	ADM	1000	1	3	1	0.5	6.0	6.0	1
029	ADM	1000	1	3	1	0.5	6.0	6.0	1
030	ADM	1000	1	3	1	0.5	6.0	6.0	1
031	ADM	1000	1	3	1	0.5	6.0	6.0	1
032	ADM	1000	1	3	1	0.5	6.0	6.0	1
033	ADM	1000	1	3	1	0.5	6.0	6.0	1
034	ADM	1000	1	3	1	0.5	6.0	6.0	1
035	ADM	1000	1	3	1	0.5	6.0	6.0	1
036	ADM	1000	1	3	1	0.5	6.0	6.0	1
037	ADM	1000	1	3	1	0.5	6.0	6.0	1
038	ADM	1000	1	3	1	0.5	6.0	6.0	1
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040	ADM	1000	1	3	1	0.5	6.0	6.0	1
041	ADM	1000	1	3	1	0.5	6.0	6.0	1
042	ADM	1000	1	3	1	0.5	6.0	6.0	1
043	ADM	1000	1	3	1	0.5	6.0	6.0	1
044	ADM	1000	1	3	1	0.5	6.0	6.0	1
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046	ADM	1000	1	3	1	0.5	6.0	6.0	1
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055	ADM	1000	1	3	1	0.5	6.0	6.0	1
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067	ADM	1000	1	3	1	0.5	6.0	6.0	1
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070	ADM	1000	1	3	1	0.5	6.0	6.0	1
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074	ADM	1000	1	3	1	0.5	6.0	6.0	1
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079	ADM	1000	1	3	1	0.5	6.0	6.0	1
080	ADM	1000	1	3	1	0.5	6.0	6.0	1
081	ADM	1000	1	3	1	0.5	6.0	6.0	1
082	ADM	1000	1	3	1	0.5	6.0	6.0	1
083	ADM	1000	1	3	1	0.5	6.0	6.0	1
084	ADM	1000	1	3	1	0.5	6.0	6.0	1
085	ADM	1000	1	3	1	0.5	6.0	6.0	1
086	ADM	1000	1	3	1	0.5	6.0	6.0	1
087	ADM	1000	1	3	1	0.5	6.0	6.0	1
088	ADM	1000	1	3	1	0.5	6.0	6.0	1
089	ADM	1000	1	3	1	0.5	6.0	6.0	1
090	ADM	1000	1	3	1	0.5	6.0	6.0	1
091	ADM	1000	1	3	1	0.5	6.0	6.0	1
092	ADM	1000	1	3	1	0.5	6.0	6.0	1
093	ADM	1000	1	3	1	0.5	6.0	6.0	1
094	ADM	1000	1	3	1	0.5	6.0	6.0	1
095	ADM	1000	1	3	1	0.5	6.0	6.0	1
096	ADM	1000	1	3	1	0.5	6.0	6.0	1
097	ADM	1000	1	3	1	0.5	6.0	6.0	1
098	ADM	1000	1	3	1	0.5	6.0	6.0	1
099	ADM	1000	1	3	1	0.5	6.0	6.0	1
100	ADM	1000	1	3	1	0.5	6.0	6.0	1

Schedule-Exit Door - BLDG E						
NO.	SERVING ROOM	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Exit Door
001	ADM	3	0.5	6.0	6.0	1
002	ADM	3	0.5	6.0	6.0	1
003	ADM	3	0.5	6.0	6.0	1
004	ADM	3	0.5	6.0	6.0	1



1 EXIT ANALYSIS - BLDG. E - 1ST FLOOR PLAN  
1/16" = 1'-0"

REGISTERED ARCHITECT  
BRIAN REWITT  
ARCHITECT  
04-000000  
AC: \_\_\_\_\_ PLS: \_\_\_\_\_ ES: \_\_\_\_\_  
DATE: \_\_\_\_\_

EXIT ANALYSIS

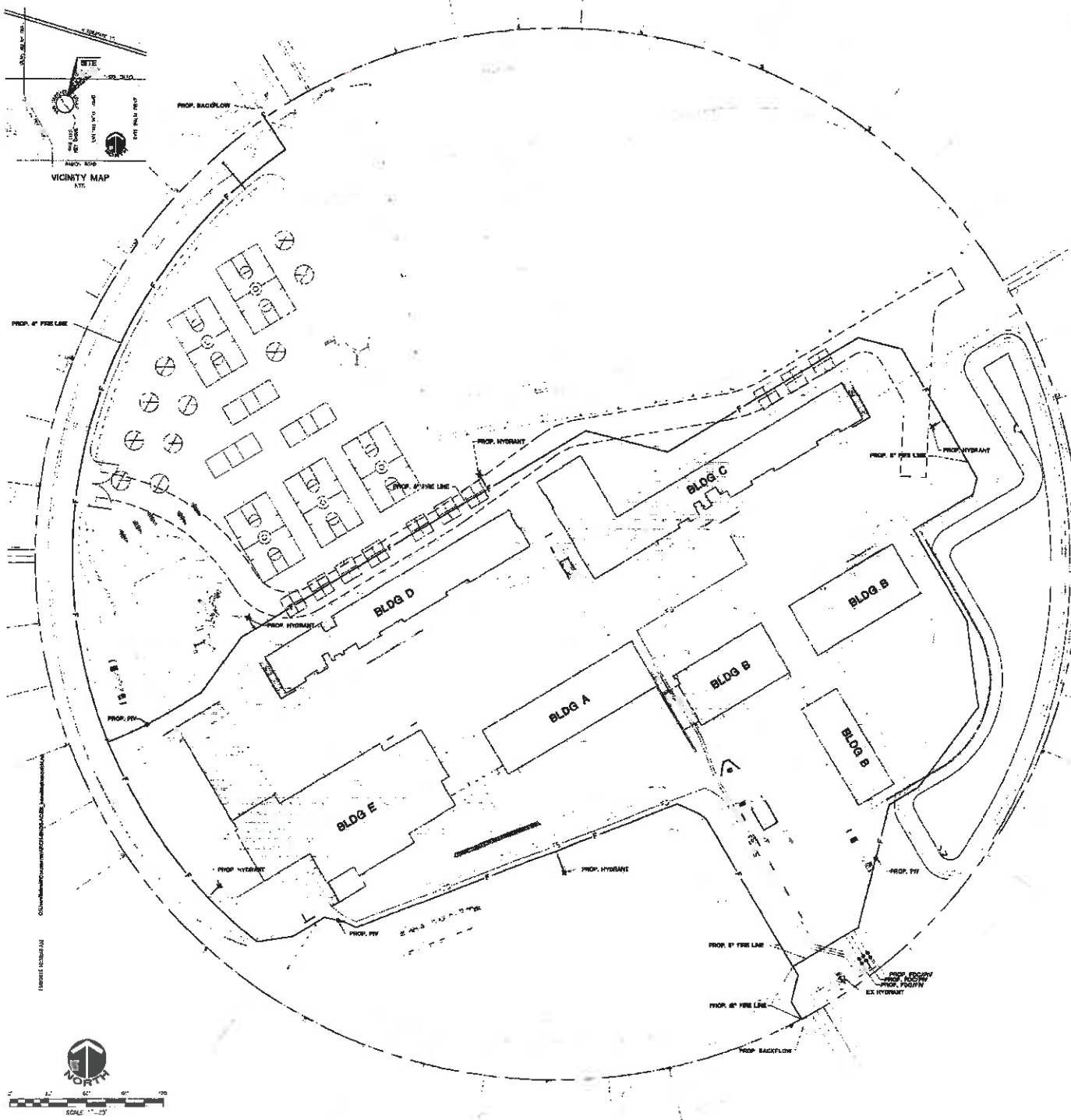
NO. DATE ISSUE PROJECT NO: 14012-00  
DATE: 10/06/2015

DRAWING  
G5.3

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**DSA**  
**LOCAL FIRE AUTHORITY REVIEW**

810



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Client: **PALM SPRINGS UNIFIED SCHOOL DISTRICT**  
 Project Name: **AGUA CALIENTE ELEMENTARY**  
 Project Address: **37300 EAGLE LANE DRIVE, PALM SPRINGS, CA 92262**

Project No: **190101**  
 Date: **06/28/2016**  
 Design: **Private Fire Service Design**  
 Scale: **1/8" = 1'-0"**  
 Project Manager: **John D. Williams**  
 Designer: **John D. Williams**  
 Checker: **John D. Williams**  
 Date: **06/28/2016**

**REVISIONS**

No.	Description	Date
1	Issue for Review	06/28/2016
2	Revised per comments	06/28/2016

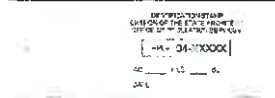
1. Check for proper fire line placement and hydrant locations. 2. Check for proper fire line placement and hydrant locations. 3. Check for proper fire line placement and hydrant locations. 4. Check for proper fire line placement and hydrant locations. 5. Check for proper fire line placement and hydrant locations. 6. Check for proper fire line placement and hydrant locations. 7. Check for proper fire line placement and hydrant locations. 8. Check for proper fire line placement and hydrant locations. 9. Check for proper fire line placement and hydrant locations. 10. Check for proper fire line placement and hydrant locations.

DATE: 06/28/2016  
 TIME: 10:00 AM  
 LOCATION: 37300 EAGLE LANE DRIVE, PALM SPRINGS, CA 92262

PALM SPRINGS UNIFIED SCHOOL DISTRICT  
 AGUA CALIENTE ELEMENTARY  
 SCHOOL

MSA CONSULTING, INC.  
 11200 New York Drive • Rancho Mirage • CA 92270  
 Telephone (760) 320-0811 • Fax (760) 322-7883

PROJECT NAME: **AGUA CALIENTE ELEMENTARY SCHOOL**  
 MAP NUMBER: **190101**  
 PLAN: **DESIGN DEVELOPMENT PRIVATE FIRE SERVICE DESIGN**  
 EXHIBIT DATE: **JUNE 28, 2016**

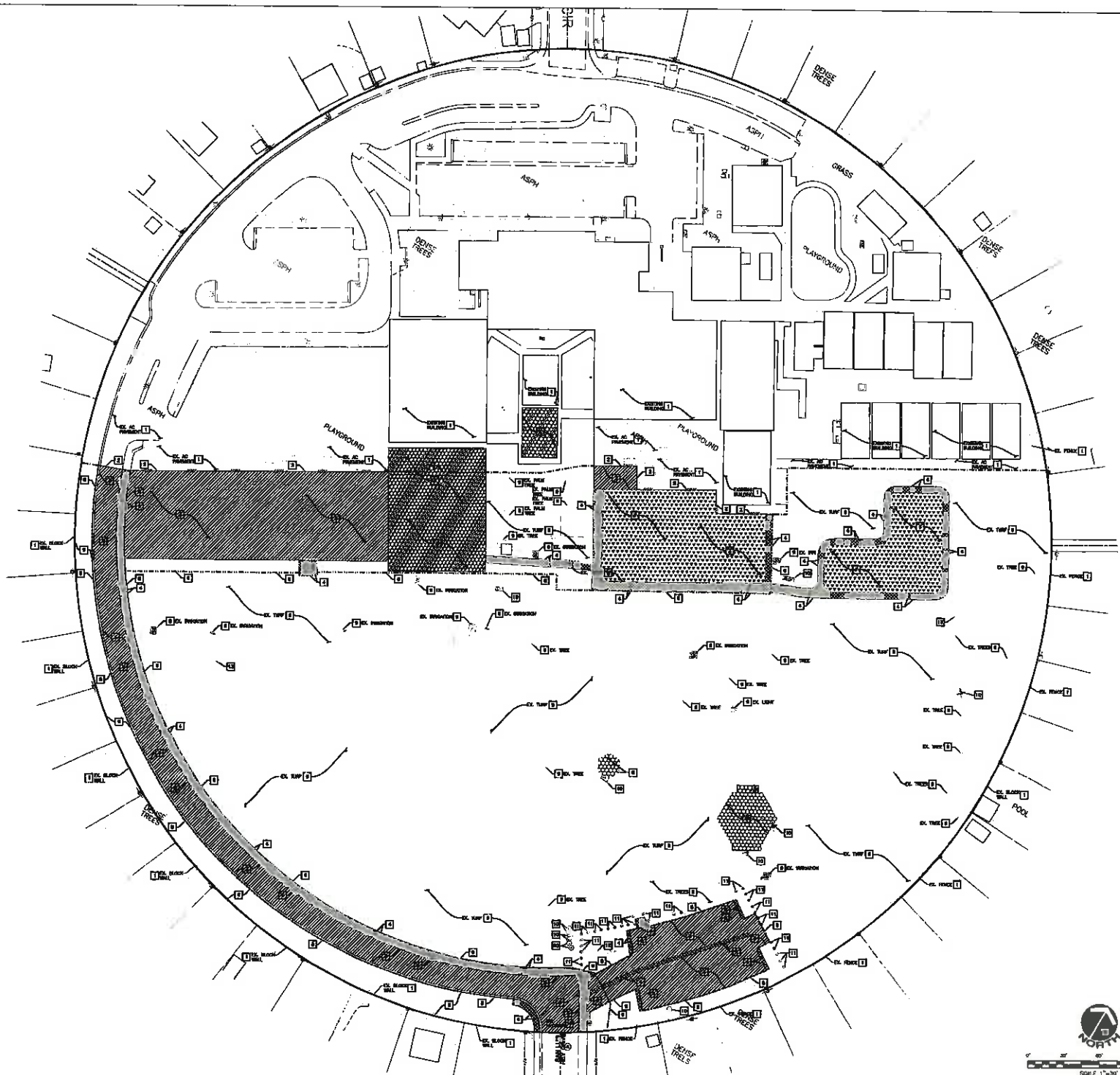


**FIRE ACCESS AND HOSE REACH EXHIBIT**

DATE: 06/28/2016  
 PROJECT NO: 190101  
 DATE: 06/28/2016

DRAWING  
**G8.0**





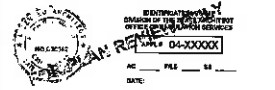
**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY  
SCHOOL**

- KEYNOTES**
- DEMOLITION NOTES**
- 1 PROTECT IN PLACE
  - 2 TAKE OUT AND SMOOTH JOIN
  - 3 REMOVE EXISTING ALL FURNISHMENT
  - 4 REMOVE EXISTING CONCRETE
  - 5 REMOVE EXISTING BARRER CURB OR CURB AND GUTTER
  - 6 REMOVE EXISTING FENCING
  - 7 REMOVE EXISTING PLAYGROUND EQUIPMENT AND SURFACE
  - 8 REMOVE EXISTING BALCONY, FRAMING, FLOOR/CEILING ETC.
  - 9 REMOVE EXISTING LANDSCAPING, TREES, BUSHES, LIGHTS AND IRRIGATION SYSTEMS
  - 10 REMOVE OR RELEASE EXISTING UTILITY
  - 11 REMOVE EXISTING AWLINGS
  - 12 REMOVE OR RELEASE EXISTING SIGN
  - 13 REMOVE EXISTING COOL STRUCTURE

- DEMOLITION LEGEND**
- INDICATES EXISTING NEAR-OR-BY
  - INDICATES EXISTING CURB AND GUTTER
  - INDICATES EXISTING WALL
  - INDICATES EXISTING FENCE
  - INDICATES EXISTING WINDOW OUTLET
  - INDICATES EXISTING CURB
  - INDICATES EXISTING EXTERIOR FINISHES
  - INDICATES EXISTING UTILITY
  - INDICATES EXISTING SIGN
  - INDICATES LIMITS OF FENCE REMOVAL
  - INDICATES REMAINING EXISTING AT FURNISHMENT
  - INDICATES REMAINING EXISTING FENCING
  - INDICATES REMAINING EXISTING AWLINGS
  - INDICATES REMAINING EXISTING SIGN
  - INDICATES REMAINING EXISTING PLAYGROUND SURFACE

**DigAlert**  
CALL TOLL FREE  
811  
AT LEAST TWO DAYS  
BEFORE YOU DIG!

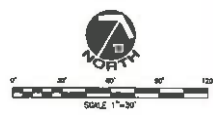
<b>MSA CONSULTING, INC.</b> PLANNERS & CIVIL ENGINEERS & LAND SURVEYORS 34205 Via Vista Drive # 3000 San Marcos CA 92078 Telephone (760) 234-2811 & FAX (760) 233-7893		
PROJECT NAME:	AGUA CALIENTE ELEMENTARY SCHOOL	SCALE BY DATE
DATE PREPARED:	PRECISE GRADING PLAN NO. 1 CONSTRUCTION DOCUMENT	DATE BY
CONTRACT DATE:	OCTOBER 08, 2008	



**PRECISE GRADING PLAN  
PHASE 1 DEMOLITION /  
DISPOSITION**

NO. DATE DRAWN PROJECT NO: 14012  
DATE: 10/08/2016

DRAWING  
**C1.1.2**





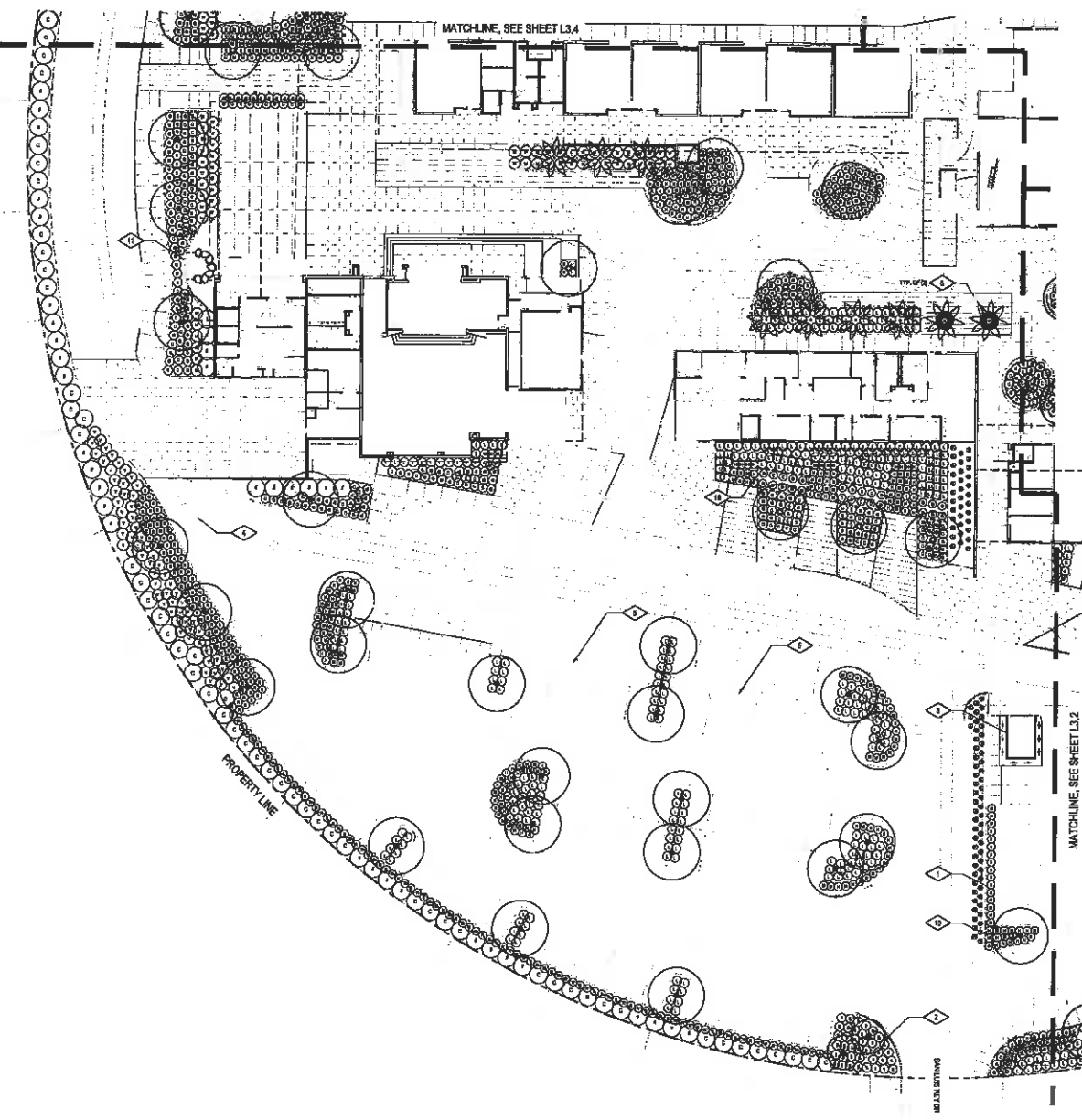












**PLANT MATERIAL LEGEND**

ALL TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.  
 REFER TO DETAIL 14.1 FOR TREE PLANTING AND SPACING.

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
EXISTING TREES - VARIOUS SPECIES			
○	24" BOX	ACACIA SALICINA	WILLOW ACACIA
○	30" BOX	CERIDOLIA X DESERT MUSEUM	D. MUSEUM PALM VERDE
△	30" BOX	LACINIA STRAUBERIANA	NATCHEZ CRAPE MYRTLE
◇	30" BOX	PROSOPIS GLANDULOSA MAVERICK	MAVERICK MESQUITE
◇	30" BOX	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK
◇	30" BOX	ULMUS PARVIFOLIA	CHINESE ELM
◇	27" ETT	WASHINGTONIA FLORIDA	CALIFORNIA FAN PALM

REFER TO DETAILS ON SHEET L.4.1 FOR SHRUB PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
A	5 GAL.	AGAVE PARVIFLORA TRUNCATA	ARTICHOKES AGAVE
⊙	5 GAL.	BOVICAMPULLEA ROSECRAN	ROSECRAN BOVICAMPULLEA
C	15 GAL.	CASSALPINE PULCHERRIMA	BANADOS PRIDE
D	15 GAL.	DASYLIRION WHEELERII	DESERT SPONON
⊙	5 GAL.	DASYLIRION WHEELERII	DESERT SPONON
#	15 GAL.	DODONAEA VISCOSA PURPUREA	PURPLE LEAFED NON-SAGE
⊙	5 GAL.	HEPERALOE PARVIFOLIA BRANDELIGHTS	RED YUCCA
⊙	5 GAL.	LEUCOPHYLLUM CANE THUNDER CLOUDY	T. CLOUDY TEXAS SAGE
⊙	1 GAL.	MALLENBERGIA CURIA	PINK MILLY
⊙	5 GAL.	SEBINA ARTEMISIOIDES	FEATHERY CASSIA
⊙	5 GAL.	SINANONDA CHENEBIS VISTA	COMPACT JOJOBA

REFER TO DETAILS ON SHEET L.4.1 FOR WINE PLANTING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
—	9 GAL.	MACHAETRA UNGUIS-CACTI	CAT'S CLAW YUCCA

REFER TO DETAILS ON SHEET L.4.1 FOR GROUND COVER PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
⊙	5 GAL.	LANTANA X NEW GOLD	NEW GOLD LANTANA
⊙	5 GAL.	ROSGARANIUS OFF. MONTENEGRO CARPET	IL CARPET ROSEMARY
⊙	ROO	ARTIFICIAL TURF - PER ARCH. PLANS	
—	FINISH	TURF - SPECIES TBD	

**PLANTING NOTES**

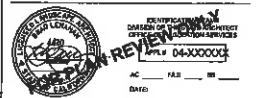
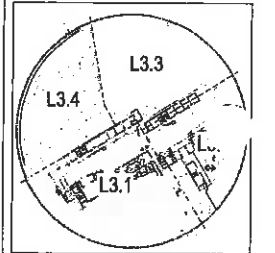
- TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.
- ALL TREES WITHIN 5 FEET OF HANDICAPTS SHALL RECEIVE EDOT BARRIERS PER SPECIFICATIONS.
- TRIPLE STAKE TREES, UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO RECEIVE MULCH. REFER TO PLAN SHEET L.4.1-14.4 FOR TYPE, SIZE, AND DEPTH.
- WHERE ROSEMARY OR LANTANA IS PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.
- WHERE ORNAMENTAL GRASSES ARE PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.

**PLANTING KEYS**

- | SYMBOL | DESCRIPTION  |
|--------|--|
| ◇      | CMU ACCENT WALL - PER ARCHITECTURAL PLANS  |
| ◇      | SIGN WALL - PER ARCHITECTURAL PLANS  |
| ◇      | UTILITY ENCLOSURE WALL PER ARCHITECTURAL PLANS                                       |
| ◇      | VEHICULAR GATE PER ARCHITECTURAL PLANS   |
| ◇      | NO PLANTING SHOWN INTENTIONALLY. AREA TO BE UNCOMPACTED GRANITE ONLY PER MULCH PLANS |
| ◇      | FENCE, PER ARCHITECTURE PLANS  |
| ◇      | RAISED STUDENT GARDEN PLANTER - SEE DETAIL 1.4.2, SHEET L.4.2                        |
| ◇      | TREE GRATE - SEE DETAILS 4.4, SHEET L.4.2  |
| ◇      | RESIDENT SURFACING, PER ARCHITECTURAL PLANS  |
| ◇      | HEADER, PER MULCH PLANS  |
| ◇      | CONCRETE MONOCURB, PER MULCH PLANS   |

PALM SPRINGS UNIFIED SCHOOL DISTRICT  
 AGUA CALIENTE ELEMENTARY  
 SCHOOL

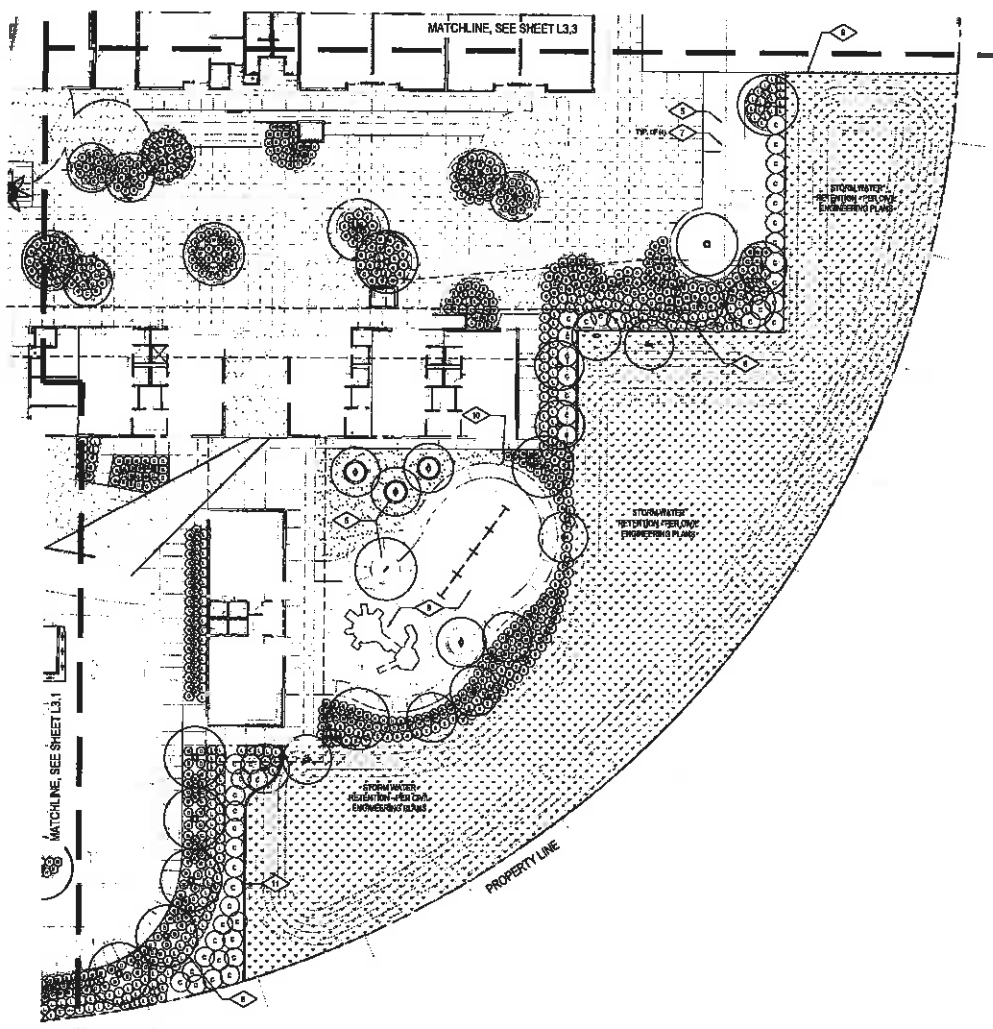
**GROUNDLEVEL**  
 Landscape  
 Architecture  
 2855 State Street, Suite B  
 San Diego, CA 92108  
 (619) 722-1290  
 gnowick@baker.com



**PLANTING PLAN**

NO. DATE TITLE PROJECT NO.: 14100  
 DATE: 10/25/15





**PLANT MATERIAL LEGEND**

ALL TREES ARE STANDARD FORM UNLESS NOTED. REFER TO DETAILS ON SHEET L3.1 FOR TREE PLANTING AND SPACING.

SYMBOL	SIZE	SCIENTIFIC NAME	COMMON NAME
+		EXISTING TREES - VARIOUS SPECIES	
—	30" BOX	ACACIA SALICINA	WILLOW ACACIA
—	30" BOX	CERCOBIUM & DESERT MUSEUM	D. MUSEUM PALO VERDE
▲	30" BOX	LASERTRICOCIA WATCHEZ	WATCHEZ CHAMP MYRTLE
◇	30" BOX	PRODRORIS GLANDULOSA "MAVERICK"	MAVERICK MESQUITE
◇	30" BOX	QUERCUS VIRGINIANA	SCOUTBERRY LIVE OAK
—	30" BOX	ULMUS PARVIFLORA	CHINESE ELM
—	20" BTH	WASHINGTONIA FLORIDA	CALIFORNIA FAN PALM

**SHRUBS** REFER TO DETAILS ON SHEET L3.1 FOR SHRUB PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	SCIENTIFIC NAME	COMMON NAME
A	5 GAL.	AGAVE PARVIFLOR VAR. TRUNCATA	ARTICHOKE AGAVE
⊙	5 GAL.	BOUTANAVILLEA ROBERTSONIA	ROBERTSONIA BOUTANAVILLEA
C	15 GAL.	CASUALPINA PALCO HERONIA	BARBADOS PINK
D	15 GAL.	DASYLIRION WHEELERI	DESERT SPOON
⊙	5 GAL.	DASYLIRION WHEELERI	DESERT SPOON
#	15 GAL.	DOONABA VISCOSA "PURPUREUS"	PURPLE LEAVED HOH-BAUSH
⊙	5 GAL.	HESPERALOE PARVIFLORA "TRIMBLEIGHTY"	RED YUCCA
⊙	5 GAL.	LEUCOPHYLLUM CANO. THUNDERBOLT	T. CLONED TEXAS SAGE
⊙	1 GAL.	ARTEMESIA BERGSA DUBA	PINE NEEDLE
⊙	5 GAL.	SENNA ARTEMESIOIDES	FEATHERY CAESBA
⊙	5 GAL.	SRIBANONDA CHENENSIS "VISTA"	CONTACT JUJUBA

**TREES** REFER TO DETAILS ON SHEET L3.1 FOR TREE PLANTING

SYMBOL	SIZE	SCIENTIFIC NAME	COMMON NAME
—	5 GAL.	MACADONIA DIVINUS-CACTI	CATIE CLAW VINE

**GROUND COVER** REFER TO DETAILS ON SHEET L3.1 FOR GROUND COVER PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	SCIENTIFIC NAME	COMMON NAME
⊙	5 GAL.	LANTANA X NEW GOLD	NEW GOLD LANTANA
⊙	5 GAL.	ROSBARONDS OFF. "WINTINGTON CARPET"	1/2 CARPET ROSEMARY
—	500	ARTIFICIAL TURF - PER ARCH PLANS	
—	HYDRO SEED	TURF - SPECIES TBD	

**PLANTING NOTES**

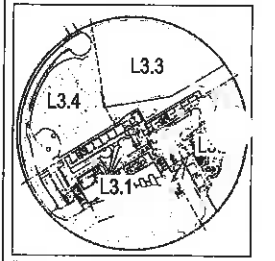
- ① TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.
- ② ALL TREES WITHIN 5 FEET OF HARDSCAPE SHALL RECEIVE ROOT BARRIERS PER SPECIFICATIONS.
- ③ TRIPLE STAKE TREES, UNLESS NOTED OTHERWISE.
- ④ ALL PLANTER AREAS TO RECEIVE MULCH. REFER TO PLAN SHEET L3.1 - L3.4 FOR TYPE, SIZE, AND DEPTH.
- ⑤ WHERE NECESSARY OR LANTANA IS PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 3" FROM EDGE OF HARD SURFACE.
- ⑥ WHERE ORNAMENTAL GRASSES ARE PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 3" FROM EDGE OF HARD SURFACE.

**PLANTING KEYS**

- ◊ CHU ACCENT WALL - PER ARCHITECTURAL PLANS
- ◊ SIGN WALL - PER ARCHITECTURAL PLANS
- ◊ UTILITY ENCLOSURE WALL - PER ARCHITECTURAL PLANS
- ◊ VEHICULAR GATE - PER ARCHITECTURAL PLANS
- ◊ NO PLANTING SHOWN INTENTIONALLY. AREA TO BE DECOMPOSED GRANITE ONLY PER MULCH PLANS.
- ◊ FENCE - PER ARCHITECTURE PLANS
- ◊ DASHED SILVERLINE GARDEN PLANTER - SEE DETAIL L 29-SHEET L3.2
- ◊ TREE GRATE - SEE DETAILS 4-8, SHEET L3.2
- ◊ RESILIENT SURFACING - PER ARCHITECTURE PLANS
- ◊ HEADER - PER MULCH PLANS
- ◊ CONCRETE MONOCURB - PER MULCH PLANS

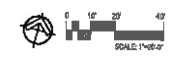


PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL

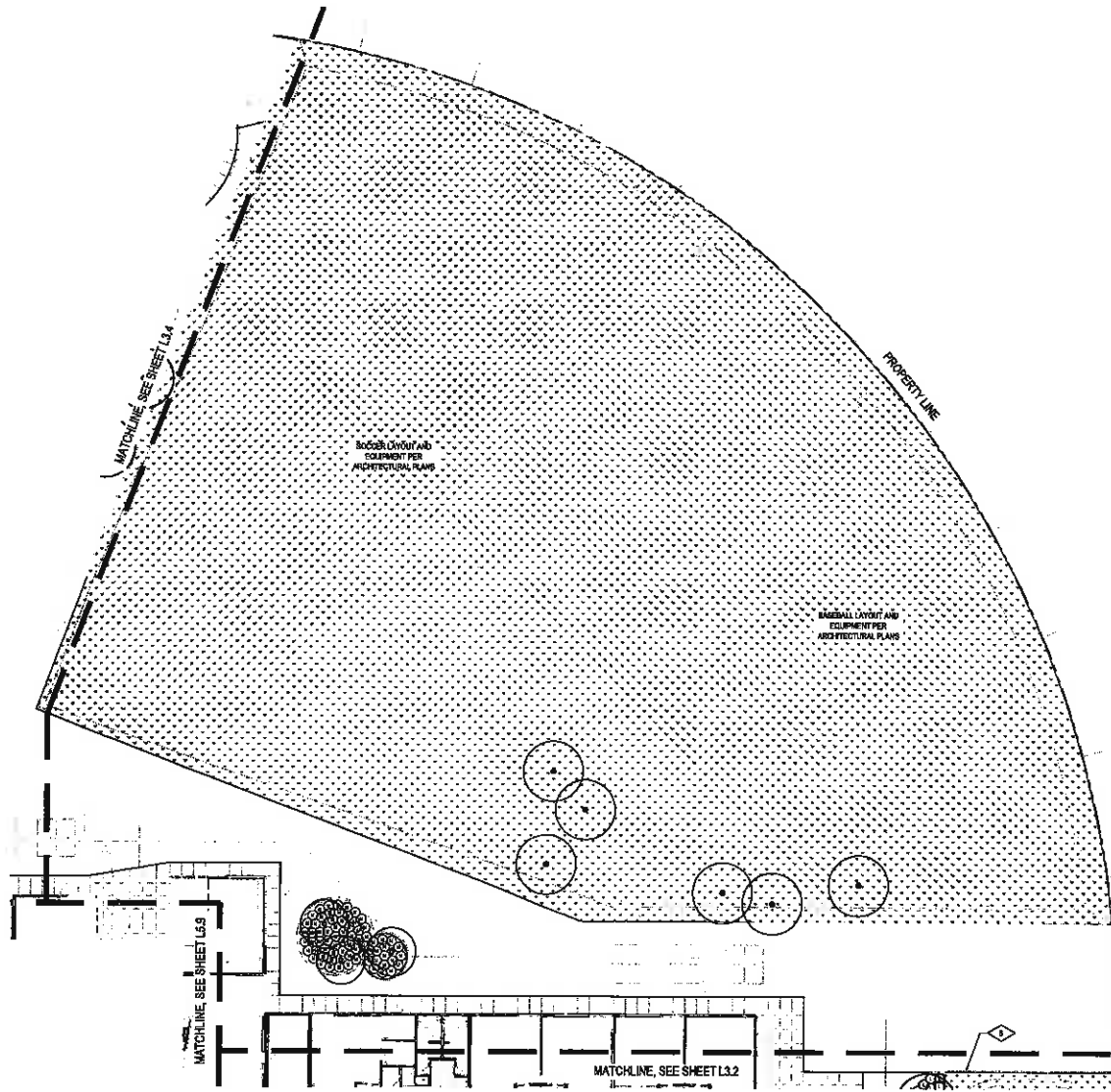


**PLANTING PLAN**

PROJECT NO: 14100  
DATE: 10/05/15



L 3.2



**PLANT MATERIAL LEGEND**

TREES ALL TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE. REFER TO DETAILS ON SHEET L3.1 FOR TREE PLANTING AND SPACING.

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
EXISTING TREES - VARIOUS SPECIES			
—	12" DBH	ACACIA SALICINA	YELLOW ACACIA
○	30" BOX	CERISEAU & THERET MUSEUM	D. MUSEUM PALM VERDE
▲	30" BOX	LAGERSTROEMIA NATCHIEZ	NATCHIEZ CHAMP MYRTLE
◆	30" BOX	PROSCOPIS GLANDULOSA SAUERBICK	HAWNECK MESQUITE
◇	30" BOX	OLEA EUROPAEA	SOUTHERN LIVE OAK
●	30" BOX	ULMUS PARVIFOLIA	CHINESE ELM
•	20" DBH	WAS ROSTOMA FELICIA	CALIFORNIA FAN PALM

SHRUBS REFER TO DETAILS ON SHEET L3.1 FOR SHRUB PLANTING AND OR CENTER SPACING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
A	5 GAL	AGAVE PARROY VIV. TURKATA	ARTICHOKE AGAVE
⊙	5 GAL	BOUGAINVILLEA ROSEANA	ROSEANA BOUGAINVILLEA
C	15 GAL	CASALPINA PUCHERANNA	BARBADOS PRIDE
D	15 GAL	DASYLIRION WHEELERII	DESERT SPOON
⊕	5 GAL	DASYLIRION WHEELERII	DESERT SPOON
E	15 GAL	DOONASA VIBICOSA PURPUREA	PURPLE LEAFED HORNBUSH
⊙	5 GAL	HEPERALOE PARVIFOLIA 'IRRAWADDI'	RED YUCCA
⊙	1 GAL	LEUCOPHYLLUM CANE. 'FRANCOIS COLETT'	T. CLOUD TEXAS SAGE
⊙	1 GAL	MILK SPIRITUS DUBIA	PINE HONEY
⊙	5 GAL	SEMA ARTEMISIODIS	FEATHERY CASSIA
⊙	5 GAL	STROPHODIA CHAMBERS VISTA	COMPACT JOUVA

VIRES REFER TO DETAILS ON SHEET L3.1 FOR VINE PLANTING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
—	5 GAL	BACOPA PENA (MILK-EGG-CACT)	CATTY CLAW VINE

GRASS COVER REFER TO DETAILS ON SHEET L3.2 FOR GRASS COVER PLANTING AND OR CENTER SPACING

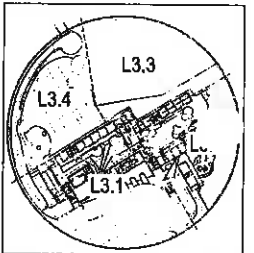
SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
⊙	5 GAL	LANTANA X NEW GOLD*	NEW GOLD LANTANA
⊙	5 GAL	ROSA MARINA OFF. HUNTINGTON CARPET	R. CARPET ROSEMARY
⊙	800	ARTIFICIAL TURF - PER ARCH. PLANS	
⊙		TURF - SPECIES TBD	

**PLANTING NOTES**

- ① TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.
- ② ALL TREES WITHIN 6 FEET OF HARDSCAPE SHALL RECEIVE ROOT BARRIERS PER SPECIFICATIONS.
- ③ TRIPLE STAKE TREES, UNLESS NOTED OTHERWISE.
- ④ ALL PLANTER AREAS TO RECEIVE MULCH. REFER TO PLANT SHEET L3.1 - L3.4 FOR TYPE, SIZE, AND DEPTH.
- ⑤ WHERE NECESSARY ON LANTANA BE PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.
- ⑥ WHERE ORNAMENTAL GRASSES ARE PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.

**PLANTING KEYS**

- ◇ C&G ACCENT WALL, PER ARCHITECTURAL PLANS
- ◇ SKIN WALL - PER ARCHITECTURAL PLANS
- ◇ UTILITY ENCLOSURE WALL PER ARCHITECTURAL PLANS
- ◇ VERTICAL GATE PER ARCHITECTURAL PLANS
- ◇ NO PLANTING SHOWN INTENTIONALLY. AREA TO BE DECOMPOSED GRANITE ONLY PER MULCH PLANS
- ◇ FENCE, PER ARCHITECTURE PLANS
- ◇ RAISED STUDENT GARDEN PLANTER - SEE DETAIL 1, SHEET L4.2
- ◇ TREE GRATE - SEE DETAILS 4-6, SHEET L4.2
- ◇ REBAR BENT SURFACING, PER ARCHITECTURAL PLANS
- ◇ HEADER, PER MULCH PLANS
- ◇ CONCRETE MONOLITH, PER MULCH PLANS

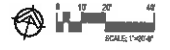


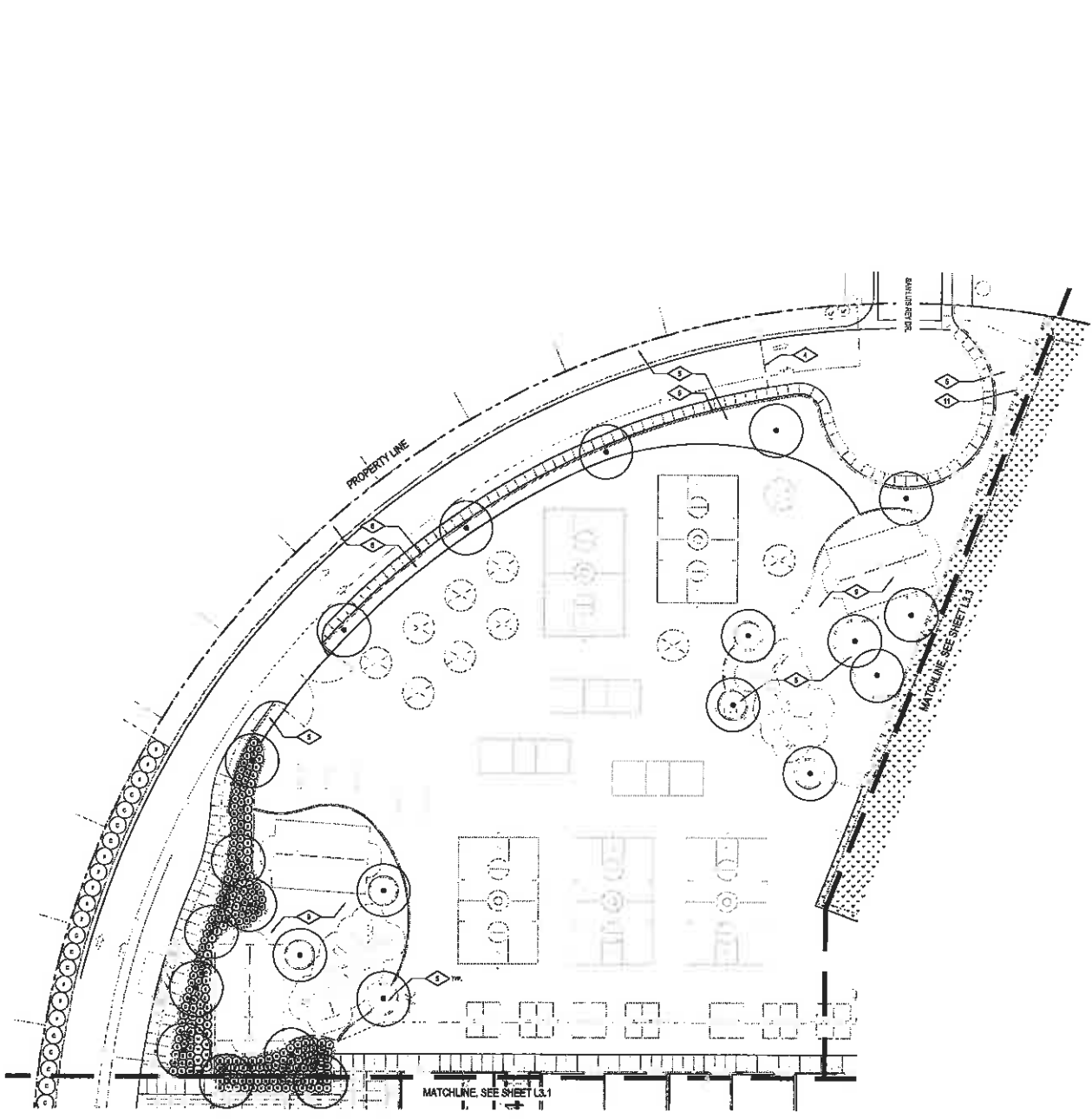
KEY MAP

DATE: \_\_\_\_\_

**PLANTING PLAN**

NO. DATE SCALE PROJECT NO: 14100  
DATE: 12/05/16





**PLANT MATERIAL LEGEND**

ALL TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.  
 REFER TO DETAILS ON SHEET L3.1 FOR TREE PLANTING AND ON CENTER SPACING.

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
+		EXISTING TREES - VARIOUS SPECIES	
+	24" BOX	ACACIA SALICINA	WILLOW ACACIA
○	30" BOX	CERDOLIA "DESERT BALSAM"	D. MARSHAL PALM VERDE
▲	30" BOX	LAGERSTROEMIA NATCHIEZ	NATCHIEZ CRAPE MYRTLE
◇	30" BOX	PROBOSIS GLANDIOSA "MAVERICK"	MAVERICK MESQUITE
◇	30" BOX	QUERCUS VAROVIANA	SOUTHERN LIVE OAK
◇	30" BOX	ULMUS PARVIFOLIA	CHINESE ELM
◇	22" BTH	WASHINGTONIA FILIFERA	CALIFORNIA FAN PALM

SHRUBS REFER TO DETAILS ON SHEET L3.1 FOR SHRUB PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
A	5 GAL	AGAVE PARVIFLOR, TRUNCATA	ARTICHOKE AGAVE
⊖	4 GAL	BOUTANIVILLEA ROSSIGNA	ROSSIGNA BOUTANIVILLEA
C	15 GAL	CAESALPINIA PALM ESQUINA	BARBADOS PRIDE
D	14 GAL	DASYLIRION WHEELERI	DESERT SPOON
⊖	5 GAL	DASYLIRION WHEELERI	DESERT SPOON
#	15 GAL	DODONAEA VISCOSA PURPUREX	PURPLE LEAVED HORSESHOE
⊖	5 GAL	HESPERALOE PARVIFLORA BRANDELICHTS	RED YUCCA
⊖	1 GAL	LEUCOPHYLLUM CANE, THAMESIA CLOUDY	T. CLOUD TEXAS SAGE
⊖	1 GAL	MORLEMBERGIA OLIVA	PINE MALLI
⊖	6 GAL	SEBINA ANTIHORBIDES	FEATHERY CAUSSIA
⊖	5 GAL	SIBIMONDISA CHENEBES "MIST"	COMPACT JUJUBA

VINES REFER TO DETAILS ON SHEET L3.1 FOR VINE PLANTING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
-	5 GAL	MACADONIA UNOLUS-CACTI	CATIE CLAMP VINE

GROUND COVER REFER TO DETAILS ON SHEET L3.1 FOR GROUND COVER PLANTING AND ON CENTER SPACING

SYMBOL	SIZE	BOTANICAL NAME	COMMON NAME
⊖	5 GAL	LANTANA "NEW GOLD"	NEW GOLD LANTANA
⊖	5 GAL	ROSGARIBUS OFF. "HUNTINGTON GARRET"	"LA GARRET" ROSEMARY
SDO		ARTIFICIAL TURF - PER ARCH PLANS	
HYDRO SEED		TURF - SPECIES TBD	

**PLANTING NOTES**

- TREES ARE STANDARD FORM UNLESS NOTED OTHERWISE.
- ALL TREES WITHIN 5 FEET OF HARDSCAPE SHALL RECEIVE FOOT BANDS PER SPECIFICATIONS. TRIPLE STAKE TREES, UNLESS NOTED OTHERWISE.
- ALL PLANTER AREAS TO RECEIVE MULCH. REFER TO PLAN SHEET L3.3 - L3.4 FOR TYPE, SIZE, AND DEPTH.
- WHERE INSTANTANEOUS OR LANTANA IS PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.
- WHERE ORNAMENTAL GRASSES ARE PLANTED NEXT TO A CURB OR SIDEWALK, HOLD CENTER OF PLANT 30" FROM EDGE OF HARD SURFACE.

**PLANTING KEYS**

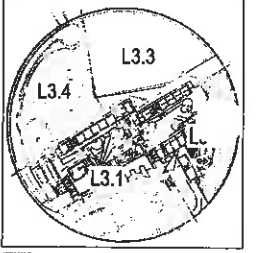
- | SYMBOL | DESCRIPTION  |
|--------|--|
| ◊      | CALL ACCENT WALL - PER ARCHITECTURAL PLANS   |
| ◊      | IRON WALL - PER ARCHITECTURAL PLANS  |
| ◊      | UTILITY ENCLOSURE WALL - PER ARCHITECTURAL PLANS                                     |
| ◊      | VEHICULAR GATE PER ARCHITECTURAL PLANS   |
| ◊      | NO PLANTING SHOWN INTENTIONALLY. AREA TO BE DISCOMPOSED GRANITE ONLY PER MULCH PLANS |
| ◊      | FENCE, PER ARCHITECTURE PLANS  |
| ◊      | RAISED BLOSSOM GARDEN PLANTER - SEE DETAIL 1, SHEET L3.2                             |
| ◊      | TREE GRATE - SEE DETAILS #4, SHEET L3.2  |
| ◊      | RESILIENT SURFACING, PER ARCHITECTURAL PLANS   |
| ◊      | HEADER, PER MULCH PLANS  |
| ◊      | CONCRETE MONOWALL, PER MULCH PLANS   |



PALM SPRINGS UNIFIED SCHOOL DISTRICT  
 AGUA CALIENTE ELEMENTARY SCHOOL

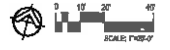
**GROUNDLEVEL**

Landscape Architecture  
 1695 State Street, Suite 9  
 San Diego, CA 92101  
 (619) 125-1919  
 info@bakernowick.com



**PLANTING PLAN**

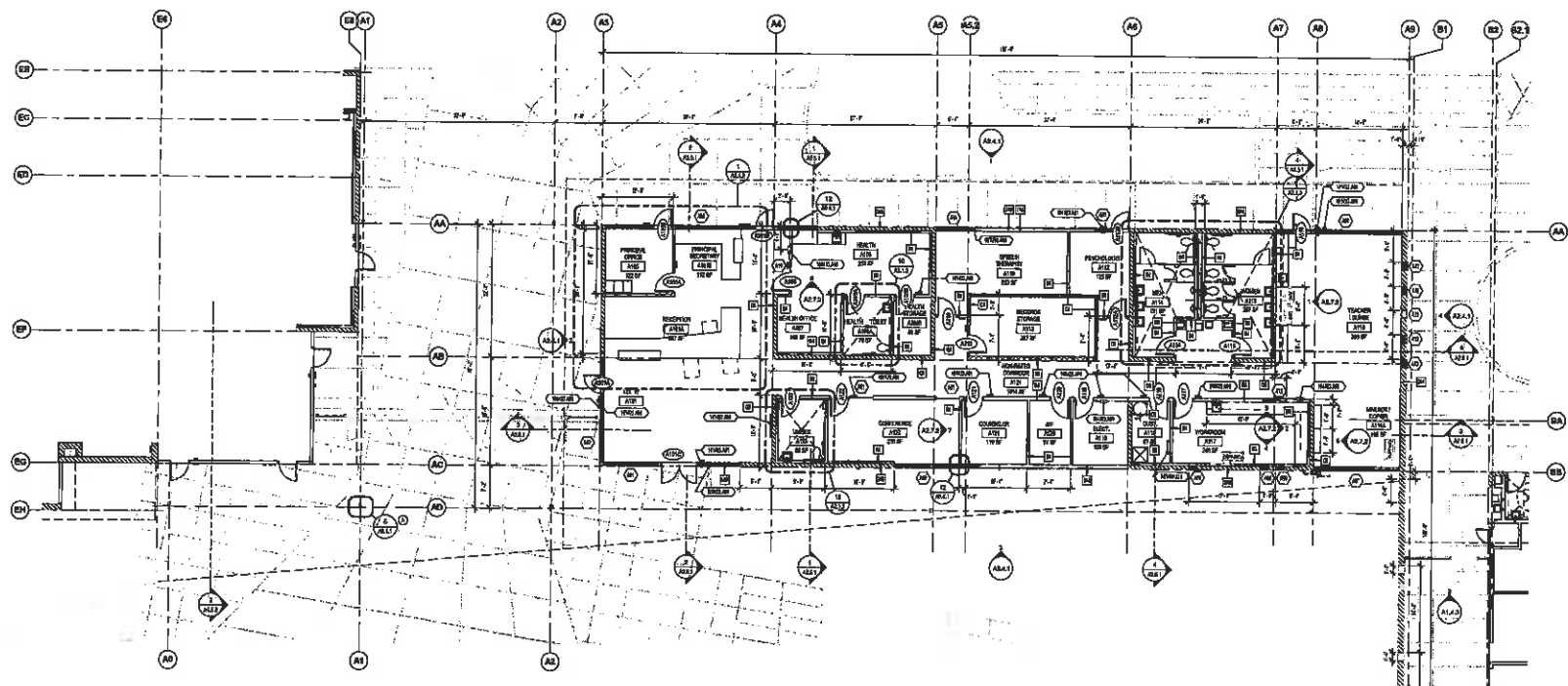
PROJECT NO: 14100  
 DATE: 10/25/16



**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL**

REVISED

051200.A00	STRUCTURAL STEEL FRAMING
081000.A11	PREFABRICATED ALUMINUM ACCESSED LADDER - (TYPE 4 WALL MOUNTED)
101423.A09	PANEL SIGNAGE
011423.A01	RD-1 ROOM IDENTIFICATION SIGN
011423.A09	BUILDING DIRECTORY
104413.A00	FIRE EXTINGUISHER CABINET



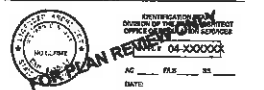
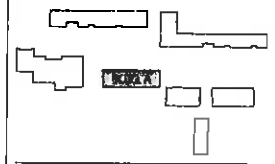
**6** BLDG. A - 1ST FLOOR PLAN  
A1A3  
N\* - 1/4"



**WALL TYPES**

[Symbol]	HALF WALL PER SHEET MARK
[Symbol]	2" MINIMUM THICKNESS PER WALL TYPE
[Symbol]	1" MINIMUM THICKNESS PER WALL TYPE PER SHEET 1
[Symbol]	1" MINIMUM THICKNESS PER WALL TYPE PER SHEET 2
[Symbol]	1" MINIMUM THICKNESS PER WALL TYPE PER SHEET 3
[Symbol]	CONCRETE MASONRY WALL - PER WALL TYPE
[Symbol]	LINE OF STRUCTURE ABOVE

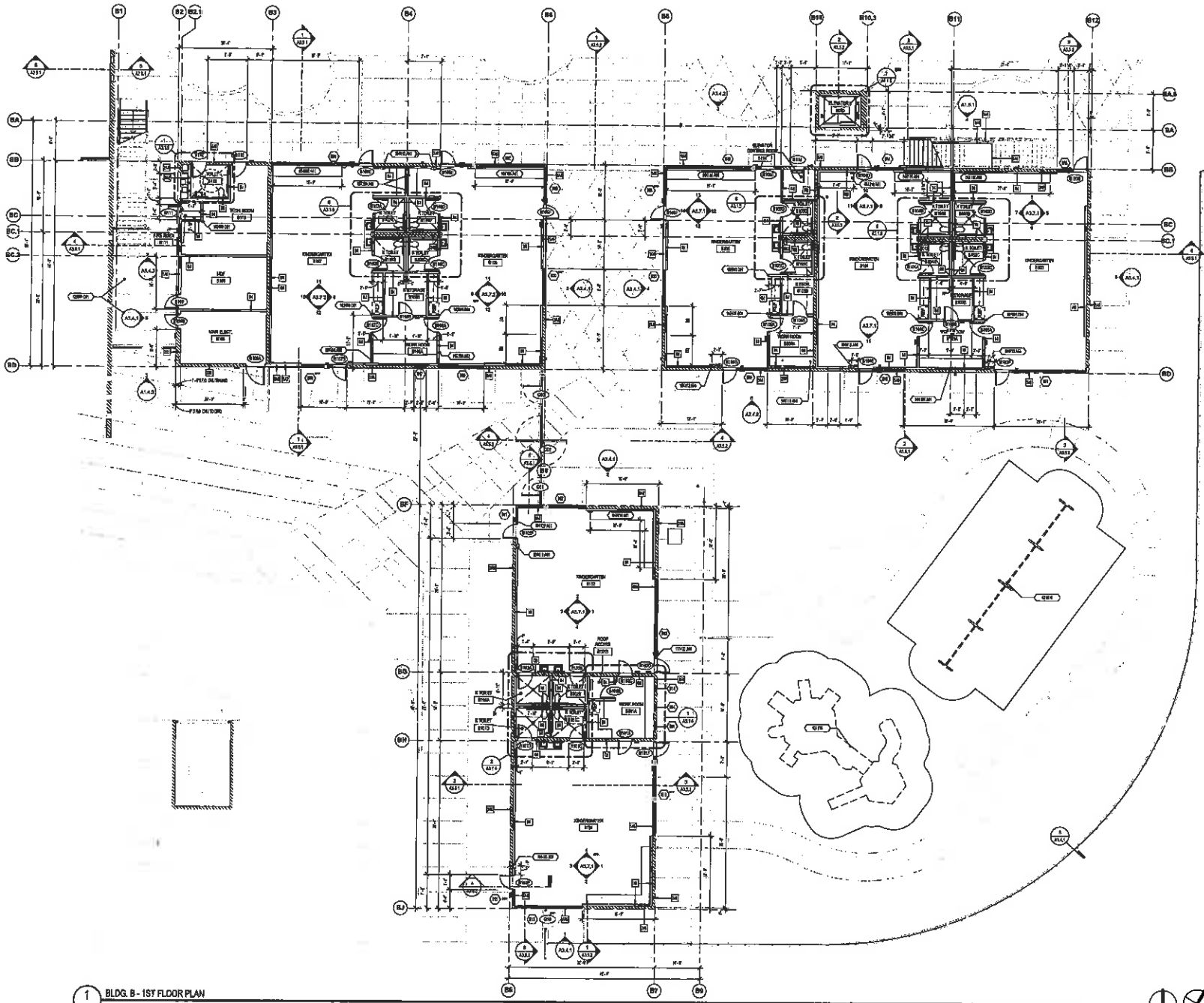
- GENERAL NOTES**
1. FURNISH AND INSTALL...
  2. ROOM FINISHES TO BE DETERMINED BY THE ARCHITECT...
  3. CONCRETE AND GROUT SHALL BE ACCORDING TO ALL APPLICABLE SPECIFICATIONS...
  4. PERMITTING AGENCY REQUIREMENTS SHALL BE SHOWN AS A SEPARATE SHEET...
  5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS...
  6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED...
  7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED...
  8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED...
  9. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED...
  10. PERMITTING AGENCY REQUIREMENTS SHALL BE SHOWN AS A SEPARATE SHEET...



**BLDG. A  
FLOOR PLAN - 1ST FLOOR**

NO. DATE ISSUE PROJECT NO. 14012-00  
DATE: 10/02/2015

DRAWING  
**A2.1.1**



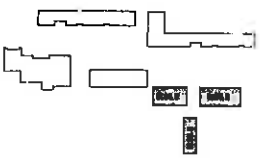
**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL**

- REVISIONS**
- 024116 SECTION 024116 - STRUCTURE DEMOLITION
  - 06116.001 PLASTIC-LAMINATE FACED COUNTERTOP
  - 097200.002 VINYL COVERED STACKABLE WALL PANEL VCT/VP
  - 191423.001 RS-1 ROOM IDENTIFICATION SIGN
  - 100000.001 CORNER GUARD
  - 194413.000 FINE PARTICULATE FILTER CABINET
  - 123000.001 BICYCLE RACK

**CALL LETTERS**

---	WALL TYPE (SEE WALL)
---	NON-ADJACENT WALL TYPE
---	1000 RATED FIRE RATED - 100 WALL TYPE
---	1000 RATED FIRE RATED - 100 WALL TYPE
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---	1000 RATED FIRE RATED - 100 WALL TYPE
---	1000 RATED FIRE RATED - 100 WALL TYPE

- GENERAL NOTES**
1. FINISHES PER PLAN.
  2. ROOM FINISHES/DETAILS REFER TO WALL SCHEDULES TO BE USED UNLESS OTHERWISE NOTED.
  3. CORRIDORS AND SERVICE AREAS LOCATIONS OF ALL FINISHES, FINISHES SPECIFIED PER FINISH SCHEDULES PER PLAN.
  4. FOR FINISHES, FINISH SCHEDULES PER PLAN # 1.1.1.1.1.1.
  5. AREA FINISHES ON SECTION SHALL BE THE SAME AS SECTION.
  6. FLOOR FINISHES SHALL BE THE SAME AS SECTION UNLESS OTHERWISE NOTED.
  7. FINISHES PER PLAN PER PLAN.
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**CREW PLAN REVIEW**  
DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

**BLDG. B  
FLOOR PLAN - 1ST FLOOR**

NO. DATE ISSUED PROJECT NO. 14012-00  
DATE: 10/26/2015

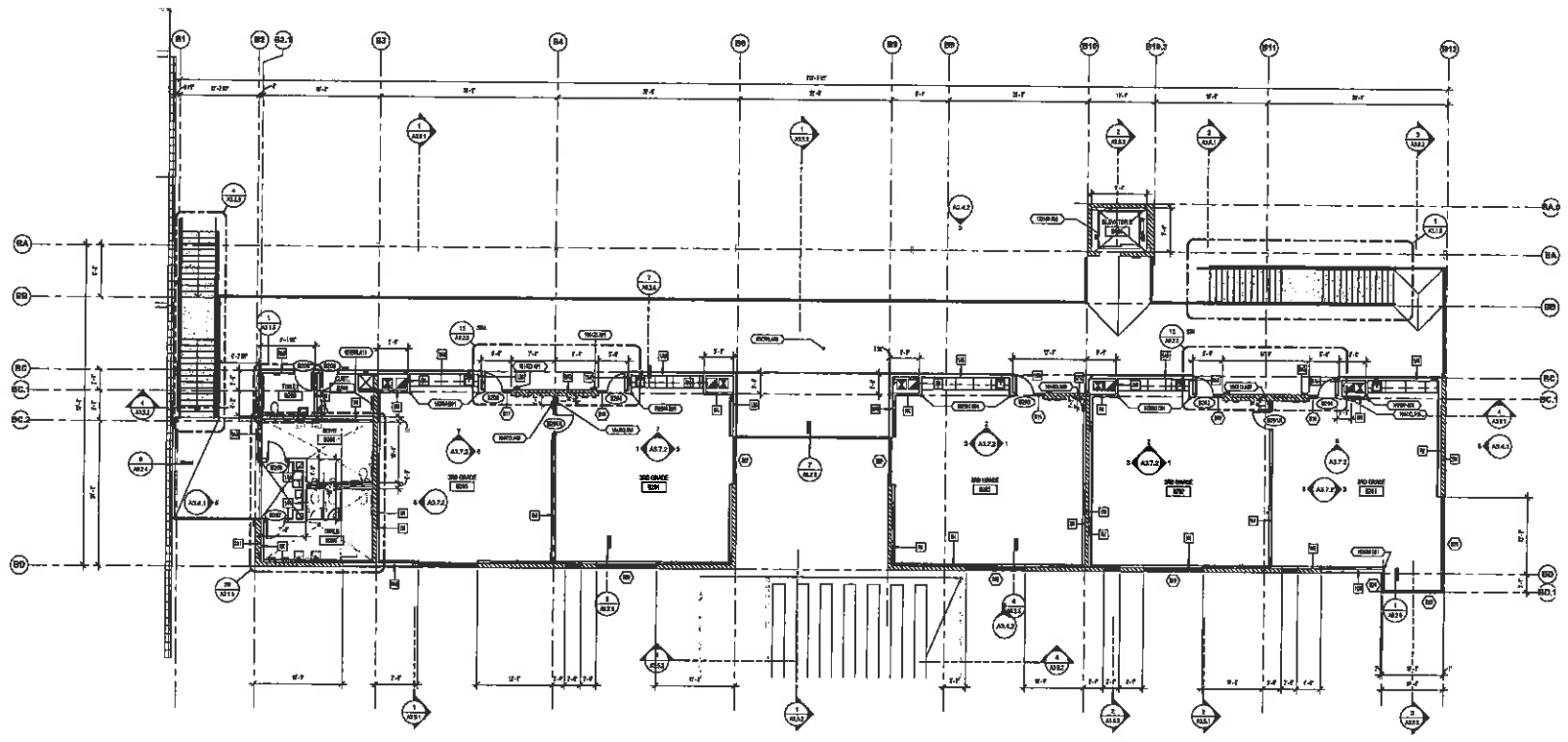
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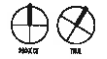
**1**  
AL4.4  
**BLDG. B - 1ST FLOOR PLAN**  
SF = 110'

**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL**

- REVISONS:
- 055300.A00 CONCRETE TOPPING
  - 055900.A11 PREFABRICATED ALUMINUM ACCESS
  - 101023.A01 LADDERS - (TYPE 4 WALL MOUNTED)
  - 105800.D01 RISER FROM IDENTIFICATION SIGN
  - 106800.D01 CORNER BLAND
  - 104413.A00 FIVE BOTTLE DISH CABINET
  - 142100.A00 ELECTRIC TRACTION ELEVATOR



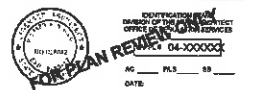
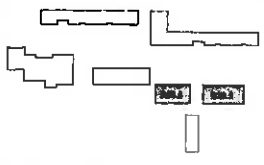
**1 BLDG. B - 2ND FLOOR PLAN**  
1/8" = 1'-0"



**FINISH LEGEND:**

	WALL PAPER PER SPEC 301
	1 MOUNTED FIXTURES - PER SPEC 305
	1 HARDWARE FOR DOORS - PER SPEC 307
	1 HARDWARE DOOR PULL - PER SPEC 307
	1 HARDWARE DOOR PULL - PER SPEC 307
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- CONSTRUCTION NOTES:**
1. PROVIDE AND INSTALL...
  2. PROVIDE AND INSTALL...
  3. PROVIDE AND INSTALL...
  4. PROVIDE AND INSTALL...
  5. PROVIDE AND INSTALL...
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**BLDG. B  
FLOOR PLAN - 2ND FLOOR**

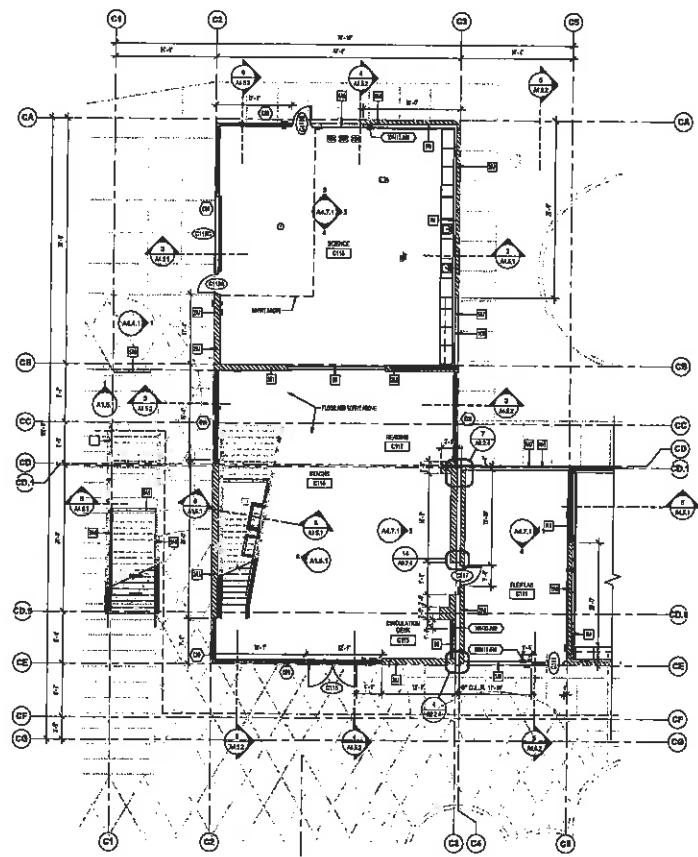
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DATE: 12/05/2015  
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**A3.1.2**



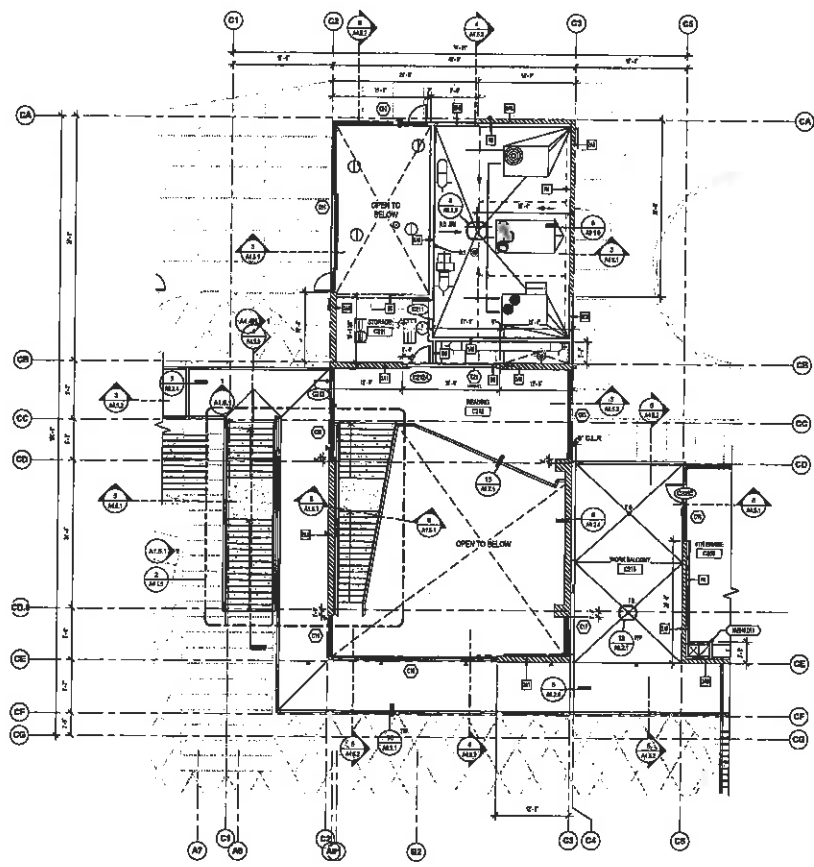


**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL**

KEYNOTES  
103000.D01 CORNER GUARD  
104413.A00 FIRE EXTINGUISHER CABINET



**1** BLDG. C - 1ST FLOOR PLAN - LIBRARY  
1/8" = 1'-0"



**2** BLDG. C - 2ND FLOOR PLAN - LIBRARY  
1/8" = 1'-0"

**WALL LEGEND**

[Symbol]	WALL FINISH: 1/2" GYP BOARD
[Symbol]	1/2" GYP BOARD, 1/2" GYP BOARD
[Symbol]	1/2" GYP BOARD, 1/2" GYP BOARD, 1/2" GYP BOARD
[Symbol]	1/2" GYP BOARD, 1/2" GYP BOARD, 1/2" GYP BOARD, 1/2" GYP BOARD
[Symbol]	CONCRETE
[Symbol]	CONCRETE

- GENERAL NOTES**
1. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
  2. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
  3. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
  4. REFER TO ALL OTHER DRAWINGS FOR DETAILS.
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  10. REFER TO ALL OTHER DRAWINGS FOR DETAILS.



DATE: \_\_\_\_\_  
AC: \_\_\_\_\_  
DATE: \_\_\_\_\_

**BLDG. C  
FLOOR PLANS - 1ST/2ND  
FLOOR - LIBRARY**

NO. DATE 15508 PROJECT NO. 14012-00  
DATE: 10/02/2015

DRAWING  
**A4.1.2**

**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
AGUA CALIENTE ELEMENTARY SCHOOL**

- REVISIONS**
- 052000 SECTION 052000 - CONCRETE TOPPING
  - 055000.A11 PREFABRICATED ALUMINUM ACCESS LADDER - (TYPE 4 WALL MOUNTED)
  - 101423.A01 RS-1 FLOOR IDENTIFICATION SIGN
  - 102800.D01 CORNER GUARD
  - 104413.A00 FIRE EXTINGUISHER CABINET
  - 142100.A00 ELECTRIC TRACTION ELEVATOR
  - 224713.A01 DRINKING FOUNTAIN
  - 224713.A02 DRINKING FOUNTAINS DF-1

**WALL FINISHES**

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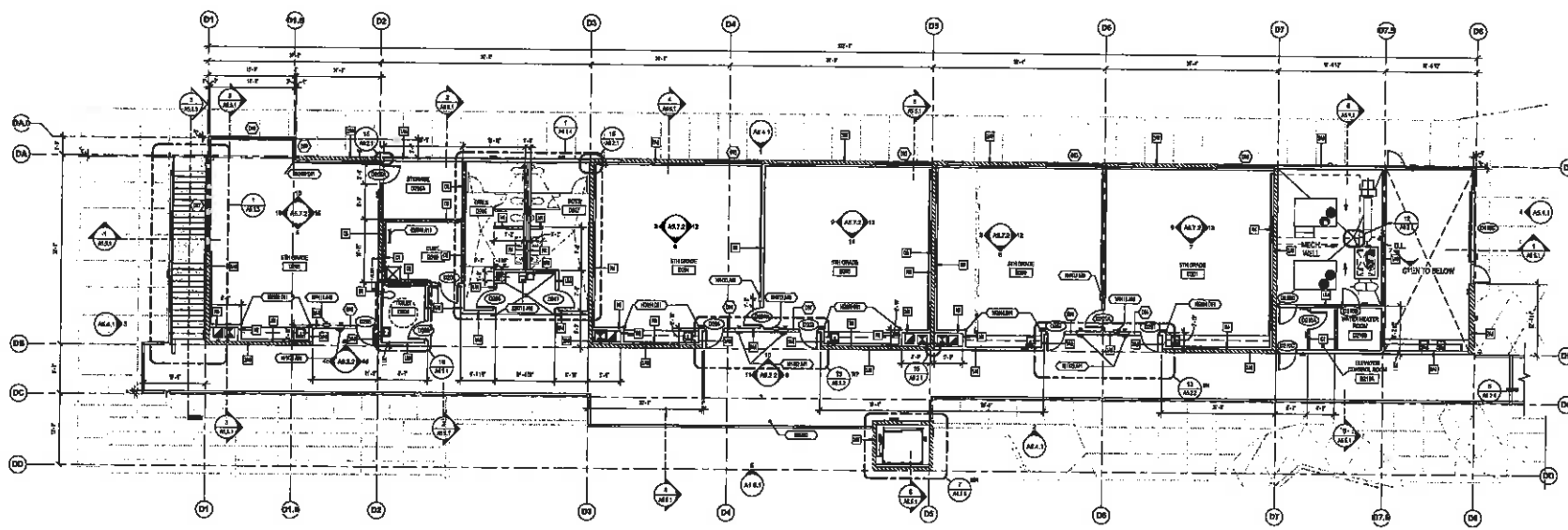
- GENERAL NOTES**
1. REFER TO ALL SPECIFICATIONS AND DRAWINGS FOR ALL MATERIALS AND METHODS OF CONSTRUCTION.
  2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE ORDINANCES.
  3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE ORDINANCES.
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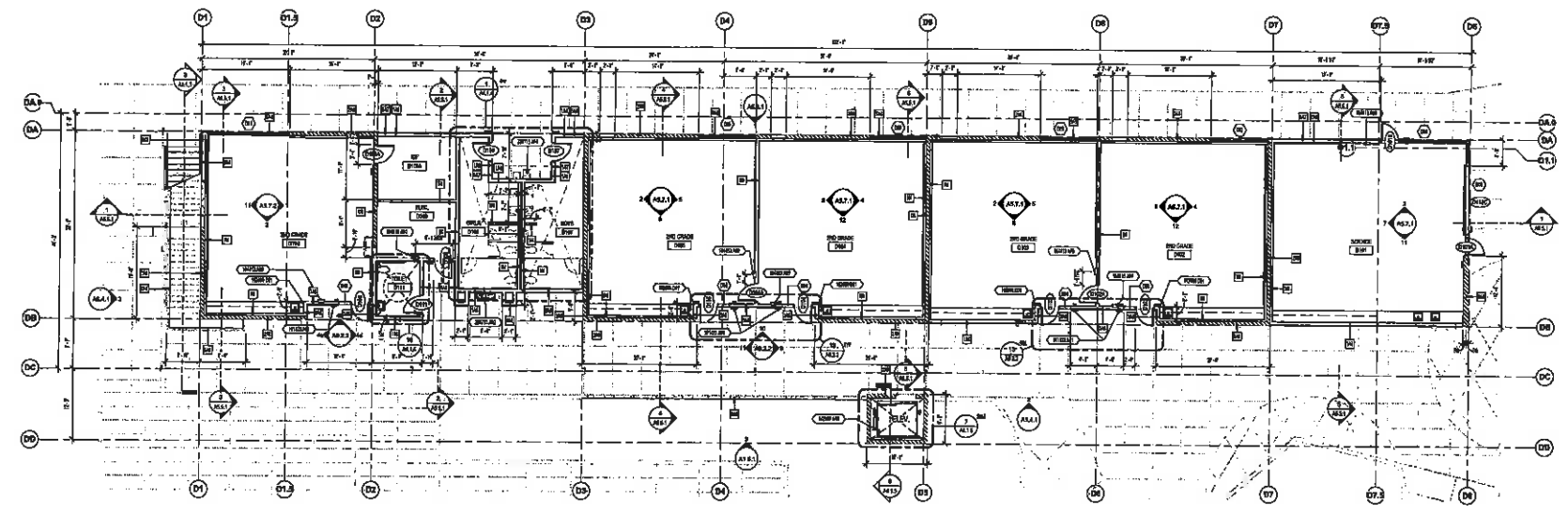
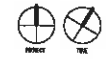
**BLDG. D  
FLOOR PLANS - 1ST/2ND  
FLOOR**

NO. DATE ISSUE PROJECT NO. 14012-00  
DATE: 10/06/2015

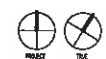
DRAWING  
**A5.1.1**



**2 BLDG. D - 2ND FLOOR PLAN**  
MP = 1/4"



**1 BLDG. D - 1ST FLOOR PLAN**  
MP = 1/4"



15/06/2015 10:28 AM C:\projects\palm\_springs\_unified\_school\_district\agua\_caliente\_elementary\_school\dwg\A5.1.1.dwg



**Schedule-Exit Analysis - BLDG A**

NO.	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Building ID
A101	LOBBY	466 SF	15	32	1	0.2	6.4	144"	A
A101A	RECEPTION	207 SF	100	3	1	0.2	0.6	72"	A
A101B	PRINCIPAL SECRETARY	112 SF	100	2	1	0.2	0.4	72"	A
A105	PRINCIPAL OFFICE	122 SF	100	2	1	0.2	0.4	36"	A
A106	HEALTH	253 SF	100	3	1	0.2	0.6	36"	A
A106B	HEALTH STORAGE	60 SF	300	1	1	0.2	0.2	36"	A
A107	HEALTH OFFICE	105 SF	100	2	1	0.2	0.4	36"	A
A110	SPEECH THERAPIST	253 SF	100	3	1	0.2	0.4	36"	A
A112	PSYCHOLOGIST	125 SF	100	2	1	0.2	0.4	72"	A
A113	RECORDS STORAGE	207 SF	300	1	1	0.2	0.2	36"	A
A114	MEN	191 SF	0		1	0.2	0	36"	A
A115	WOMEN	207 SF	0		1	0.2	0	36"	A
A116	TEACHER LOUNGE	396 SF	15	27	1	0.2	5.4	36"	A
A116A	MAILBOX / COPIER	165 SF	100	2	1	0.2	0.4	36"	A
A117	WORKROOM	248 SF	100	3	1	0.2	0.6	36"	A
A118	CUST.	67 SF	300	1	1	0.2	0.2	36"	A
A119	ELECT.	100 SF	300	1	1	0.2	0.2	36"	A
A120	IDF	74 SF	300	1	1	0.2	0.2	36"	A
A121	COUNSELOR	119 SF	100	2	1	0.2	0.4	36"	A
A122	CONFERENCE	235 SF	100	3	1	0.2	0.6	36"	A
A123	UNISEX	89 SF	0		1	0.2	0	36"	A
A124	NON-RATED CORRIDOR	1014 SF	0		1	0.2	0	144"	A

**Schedule-Exit Door - BLDG A**

NO.	SERVING ROOM	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Exit Door	Building ID
A101A					36"	Yes	A
A101B					36"	Yes	A
A101C	A101	50	0.2	10	72"	Yes	A
A116					36"	Yes	A

**Schedule-Exit Analysis - BLDG B**

NO.	ROOM NAME	AREA	LOAD FACTOR	OCCUPANT LOAD	NUMBER OF EXITS REQUIRED	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Building ID
B003	ELEVATOR B	68 SF							
B101	KINDERGARTEN	1102 SF	20	56	2	0.2	11.2	72"	B
B101A	WORK ROOM	159 SF	100	2	1	0.2	0.4	72"	B
B101B	ROOF ACCESS	27 SF	300	1	1	0.2	0.2	36"	B
B101C	K TOILET	48 SF	0		1	0.2		36"	B
B101D	K TOILET	48 SF	0		1	0.2		36"	B
B102	KINDERGARTEN	1102 SF	20	56	2	0.2	11.2	72"	B
B102A	K TOILET	48 SF	0		1	0.2		36"	B
B102B	K TOILET	48 SF	0		1	0.2		36"	B
B103	KINDERGARTEN	1034 SF	20	52	2	0.2	10.4	72"	B
B103A	WORK ROOM	145 SF	100	2	1	0.2	0.4	72"	B
B103B	K STORAGE	84 SF	300	1	1	0.2	0.2	36"	B
B103C	K TOILET	48 SF	0		1	0.2		36"	B
B103D	K TOILET	48 SF	0		1	0.2		36"	B
B104	KINDERGARTEN	1036 SF	20	52	2	0.2	10.4	72"	B
B104A	K TOILET	48 SF	0		1	0.2		36"	B
B104B	K TOILET	48 SF	0		1	0.2		36"	B
B105	KINDERGARTEN	1063 SF	20	54	2	0.2	10.8	72"	B
B105A	WORK ROOM	108 SF	100	2	1	0.2	0.4	36"	B
B105B	K STOR.	57 SF	300	1	1	0.2	0.2	36"	B
B105C	K TOILET	53 SF	0		1	0.2		36"	B
B105D	K TOILET	52 SF	0		1	0.2		36"	B
B106	KINDERGARTEN	1049 SF	20	53	2	0.2	10.6	72"	B
B106A	WORK ROOM	140 SF	100	2	1	0.2	0.4	72"	B
B106B	K STORAGE	84 SF	300	1	1	0.2	0.2	36"	B
B106C	K TOILET	48 SF	0		1	0.2		36"	B
B106D	K TOILET	48 SF	0		1	0.2		36"	B
B107	KINDERGARTEN	1029 SF	20	52	2	0.2	10.4	72"	B
B107A	K TOILET	48 SF	0		1	0.2		36"	B
B107B	K TOILET	48 SF	0		1	0.2		36"	B
B108	MAIN ELECT.	213 SF	300	1	1	0.2	0.2	36"	B
B109	MDF	215 SF	300	1	1	0.2	0.2	36"	B
B110	TECH. ROOM	261 SF	100	3	1	0.2	0.6	36"	B
B111	FIRE RISER	16 SF	0		1	0.2		36"	B
B112	TOILET	60 SF	0		1	0.2		36"	B
B114	ELEVATOR CONTROL ROOM	45 SF	300	1	1	0.2	0.2	36"	B
B201	3RD GRADE	884 SF	20	45	1	0.2	9	36"	B
B202	3RD GRADE	898 SF	20	45	1	0.2	9.2	36"	B
B203	3RD GRADE	951 SF	20	48	1	0.2	9.6	36"	B
B204	3RD GRADE	877 SF	20	44	1	0.2	9	36"	B
B205	3RD GRADE	879 SF	20	44	1	0.2	9	36"	B
B206	CUST.	67 SF	300	1	1	0.2	0.2	36"	B
B207	GIRLS	184 SF	0		1	0.2		36"	B
B208	BOYS	167 SF	0		1	0.2		36"	B
B209	TOILET	62 SF	0		1	0.2		36"	B
B210	BALCONY	277 SF	20	14	1	0.2	2.8		B
B211	EGRESS BALCONY	3162 SF							B

Schedule-Exit Door - BLDG C							
NO.	SERVING ROOM	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Exit Door	Building ID
C101	C101	47	0.2	9.4	36"	Yes	C
C102	C101	47	0.2	9.4	36"	Yes	C
C103	C101	47	0.2	9.4	36"	Yes	C
C104	C101	47	0.2	9.4	36"	Yes	C
C105	C105	47	0.2	9.4	36"	Yes	C
C106	C106				36"	Yes	C
C107	C107				36"	Yes	C
C108	C108	1	0.2	0.2	36"	Yes	C
C109	C109				36"	Yes	C
C110	C110				30"	Yes	C
C111	C111	30	0.2	6	36"	Yes	C
C201	C201	49	0.2	9.8	36"	Yes	C
C202	C202	46	0.2	9.2	36"	Yes	C
C203	C203	46	0.2	9.2	36"	Yes	C
C204	C204	46	0.2	9.2	36"	Yes	C
C205	C205	47	0.2	9.4	36"	Yes	C
C206	C206				36"	Yes	C
C207	C207				36"	Yes	C
C208	C208				36"	Yes	C
C209	C209	1	0.2	0.2	36"	Yes	C

Schedule-Exit Door - BLDG D							
NO.	SERVING ROOM	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Exit Door	Building ID
D102	D102	47	0.2	9.4	36"	Yes	D
D103	D103	47	0.2	9.4	36"	Yes	D
D104	D104	47	0.2	9.4	36"	Yes	D
D105	D105	47	0.2	9.4	36"	Yes	D
D106	D106	46	0.2	9.2	36"	Yes	D
D107	D107				36"	Yes	D
D108	D108				36"	Yes	D
D109	D109	1	0.2	0.2	36"	Yes	D
D111	D111				36"	Yes	D
D201	D201	47	0.2	9.4	36"	Yes	D
D202	D202	46	0.2	9.2	36"	Yes	D
D203	D203	46	0.2	9.2	36"	Yes	D
D204	D204	46	0.2	9.2	36"	Yes	D
D205	D205	46	0.2	9.2	36"	Yes	D

C105	C105	47	0.2	9.4	36"	Yes	C
C106	C106				36"	Yes	C
C107	C107				36"	Yes	C
C108	C108	1	0.2	0.2	36"	Yes	C
C109	C109				36"	Yes	C
C110	C110				30"	Yes	C
C111	C111	30	0.2	6	36"	Yes	C
C201	C201	49	0.2	9.8	36"	Yes	C
C202	C202	46	0.2	9.2	36"	Yes	C
C203	C203	46	0.2	9.2	36"	Yes	C
C204	C204	46	0.2	9.2	36"	Yes	C
C205	C205	47	0.2	9.4	36"	Yes	C
C206	C206				36"	Yes	C
C207	C207				36"	Yes	C
C208	C208				36"	Yes	C
C209	C209	1	0.2	0.2	36"	Yes	C

Schedule-Exit Door - BLDG D							
NO.	SERVING ROOM	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Exit Door	Building ID
D102	D102	47	0.2	9.4	36"	Yes	D
D103	D103	47	0.2	9.4	36"	Yes	D
D104	D104	47	0.2	9.4	36"	Yes	D
D105	D105	47	0.2	9.4	36"	Yes	D
D106	D106	46	0.2	9.2	36"	Yes	D
D107	D107				36"	Yes	D
D108	D108				36"	Yes	D
D109	D109	1	0.2	0.2	36"	Yes	D
D111	D111				36"	Yes	D
D201	D201	47	0.2	9.4	36"	Yes	D
D202	D202	46	0.2	9.2	36"	Yes	D
D203	D203	46	0.2	9.2	36"	Yes	D
D204	D204	46	0.2	9.2	36"	Yes	D
D205	D205	46	0.2	9.2	36"	Yes	D
D206	D206				36"	Yes	D
D207	D207				36"	Yes	D
D208	D208				36"	Yes	D
D209	D209	1	0.2	0.2	36"	Yes	D
D210C	D210	1	0.2	0.2	36"	Yes	D

Schedule-Exit Stair-BLDG C & D						
NO.	ROOM NAME	OCCUPANT LOAD	EXIT WIDTH FACTOR	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED	Building ID



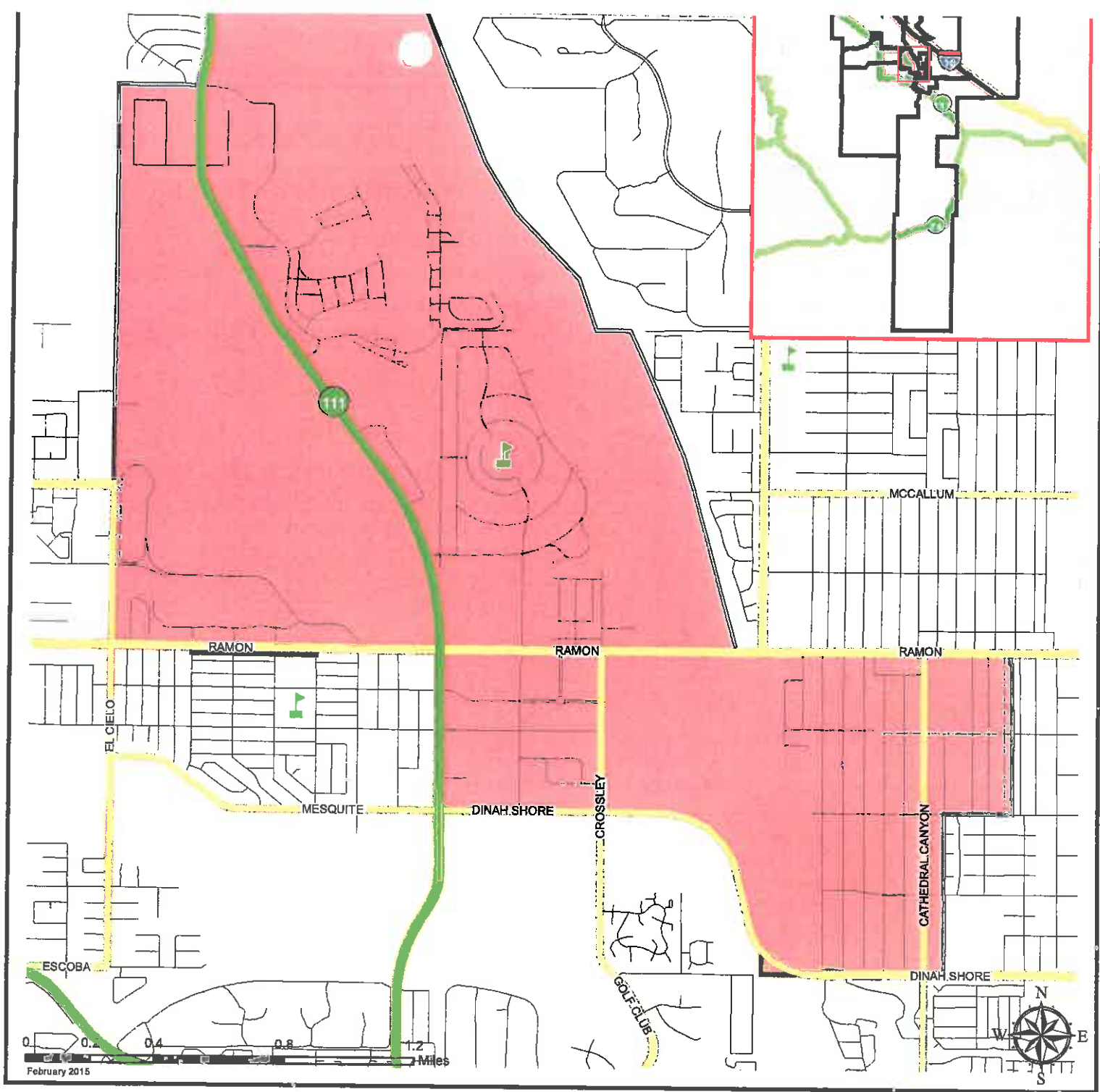
**Schedule-Exit Analysis - BLDG E**

<b>NO.</b>	<b>ROOM NAME</b>	<b>AREA</b>	<b>LOAD FACTOR</b>	<b>OCCUPANT LOAD</b>	<b>NUMBER OF EXITS REQUIRED</b>	<b>EXIT WIDTH FACTOR</b>	<b>EXIT WIDTH REQUIRED</b>	<b>EXIT WIDTH PROVIDED</b>	<b>Building ID</b>
E101	LOBBY	558 SF	7	80	1	0.2	16.6		E
E102	MPR	3337 SF	7	477	2	0.2	97		E
E104	STAGE/PLATFORM	900 SF	15	80	2	0.2	12.4		E
E104B	STAGE/ACCESS RAMP	197 SF							E
E104C	STAGE/ACCESS PLATFORM	291 SF	15	20					E
E105	FLEX CLASSROOM	929 SF	20	47	1	0.2	9.4		E
E105A	STORAGE	188 SF	300	1	1	0.2	0.2		E
E108	VESTIBULE	96 SF							E
E113	ELECT.	59 SF	300	1	1	0.2	0.2		E
E114	JDF	86 SF	300	1	1	0.2	0.2		E
E115	MPR STORAGE	343 SF	300	2	1	0.2	0.4		E
E116	BOYS	214 SF							E
E117	GIRLS	240 SF							E
E118	WALK IN COOLER	82 SF	300	1	1	0.2	0.2		E
E119	WALK IN FREEZER	82 SF	300	1	1	0.2	0.2		E
E120	DRY STORAGE	57 SF	300	1	1	0.2	0.2		E
E121	KITCHEN	1023 SF	200	6	1	0.2	1.2		E
E121A	TOILET	66 SF							E
E122	NON RATED CORRIDOR	513 SF							E
E123	SERVERY	682 SF	15	46	1	0.2	9.4		E
E125	SERVING BAGS STORAGE	39 SF	300	1	1	0.2	0.2		E
E126	MAINTENANCE OFFICE	105 SF	100	1	1	0.2	0.4		E
E126A	MAINTENANCE STORAGE	189 SF	300	1	1	0.2	0.2		E
E127	FIRE RISER	15 SF							E
E128	LUNCH SHELTER	2543 SF							E

**PALM SPRINGS UNIFIED SCHOOL DISTRICT  
PRELIMINARY ENROLLMENT PROJECTIONS - FALL 2016**

							Sub-Total	SDC	TOTAL	2015/2016	1/15/2016
ELEMENTARY	K	1	2	3	4	5				CBEDS [1]	Enrollment
Agua Caliente ES	110	90	81	91	88	124	584	0	584	592	599
Bella Vista ES	129	112	131	135	136	150	793	8	801	782	809
Bubbling Wells ES	148	136	114	90	133	121	742	33	775	798	819
Cabot Yerxa ES	144	137	127	126	135	124	793	11	804	779	774
Cahuilla ES	93	83	70	91	72	79	488	44	532	571	579
Cathedral City ES	115	109	125	122	131	150	752	26	778	744	749
Delta Lindley ES	115	92	93	105	119	97	621	11	632	652	657
Julius Corsini ES	81	75	64	67	63	82	432	27	459	479	488
Katherine Finchy ES	99	97	100	115	99	115	825	27	652	676	663
Landau ES	148	128	99	130	106	108	719	34	753	708	712
Rancho Mirage ES	92	95	54	68	59	77	445	0	445	424	425
Rio Vista ES	114	110	102	135	127	125	713	24	737	745	739
Sunny Sands ES	130	123	114	121	149	150	787	24	811	868	860
Two Bunch Palms ES	153	130	143	139	136	142	843	20	863	859	879
Vista del Monte ES	120	116	88	70	83	86	523	6	529	477	465
Desert Learning Academy	0	0	0	0	0	0	0	0	0	31	0
<b>TOTAL K-5</b>	<b>1,791</b>	<b>1,633</b>	<b>1,485</b>	<b>1,605</b>	<b>1,636</b>	<b>1,710</b>	<b>9,860</b>	<b>295</b>	<b>10,155</b>	<b>10,185</b>	<b>10,217</b>
<b>MIDDLE</b>	<b>6</b>	<b>7</b>	<b>8</b>								
Desert Springs MS	291	299	278				868	45	913	882	881
James Workman MS	421	491	425				1,337	33	1,370	1,428	1,425
Nellie Coffman MS	340	329	344				1,013	23	1,036	1,094	1,096
Painted Hills MS	286	279	275				820	18	838	837	835
Raymond Cree MS	282	239	284				805	50	855	889	868
Desert Learning Academy	0	3	5				8	0	8	44	12
<b>TOTAL 6-8</b>	<b>1,800</b>	<b>1,637</b>	<b>1,606</b>				<b>4,843</b>	<b>169</b>	<b>5,020</b>	<b>5,174</b>	<b>5,117</b>
<b>HIGH</b>	<b>9</b>	<b>10</b>	<b>11</b>	<b>12</b>							
Cathedral City HS	473	408	388	272			1,541	97	1,638	1,624	1,637
Desert Hot Springs HS	500	437	424	309			1,670	91	1,761	1,729	1,715
Palm Springs HS	425	477	464	356			1,722	41	1,763	1,781	1,752
Rancho Mirage HS	407	378	423	408			1,616	22	1,638	1,564	1,553
Desert Learning Academy	0	0	0	0			0	0	0	77	0
Mt. San Jacinto	0	0	138	302			440	0	440	432	372
<b>TOTAL 9-12</b>	<b>1,805</b>	<b>1,700</b>	<b>1,837</b>	<b>1,647</b>			<b>6,989</b>	<b>251</b>	<b>7,240</b>	<b>7,207</b>	<b>7,029</b>
<b>TOTAL K-12</b>							<b>21,692</b>	<b>715</b>	<b>22,415</b>	<b>22,666</b>	<b>22,363</b>
<b>INDEPENDENT STUDY/H&amp;H/HOME ISP/CFE</b>									<b>162</b>	<b>0</b>	<b>173</b>
<b>DISTRICT TOTAL</b>									<b>22,577</b>	<b>22,566</b>	<b>22,536</b>

Note: Projections assume current school attendance boundaries and are based on 2015/2016 student enrollment as of November 6, 2015.  
[1] 2015/2016 CBEDS Based on Enrollment on October 2, 2015.



**Boundary Description:**

The area north of Ramon Road, east of El Cielo Road for that portion north of Ramon Road and south of Chia Road, east of Gene Autry Trail for that portion north of Chia Road and south of Vista Chino, west of the Whitewater River for that portion south of Vista Chino and north of Ramon Road. The boundary also includes the area south of Ramon Road, east of the Gene Autry Trail and north of Mesquite Avenue/Dinah Shore Drive for that portion west of Wishing Well Trail and north of 33rd Avenue for that portion east of Wishing Well Trail and west of a line approximately 125 feet east of and parallel to Aurora Vista Road (the lot line between homes located on Aurora Vista Road and Desert Vista Road).



Airport Land Use Commission  
Received  
JAN 29 2016

January 26, 2016

Mr. Simon A. Housman, Chairman  
Riverside County  
Airport Land Use Commission  
Riverside County Administrative Center  
4080 Lemon Street, 14th Floor  
Riverside, CA 92501

Dear Chairman Housman,

The Cathedral City Fire Department has reviewed the Palm Springs Unified School District plans to replace the 1960 era Agua Caliente Elementary School at 30-800 San Luis Rey in Cathedral City.

The fire department supports the replacement of the school to provide a safer facility for the seven-hundred kindergarten through fifth grade students. The new school will include automatic fire sprinklers, integrated fire alarms, and additional fire access lanes and fire hydrants which do not exist at the current school.

The fire department applauds the Palm Springs Unified School District initiative to replace an outdated facility, with a new school which will include built-in life safety and fire protection features.

The construction of the new Agua Caliente Elementary School will improve the neighborhood and provide a point of pride for community members and their students.

Respectfully,

A handwritten signature in black ink, appearing to read "Paul S. Wilson".

Paul S. Wilson, Fire Chief

C.c. [REDACTED] Airport Land Use Commission, Director  
Julie Arthur, Palm Springs Unified School District -  
Executive Director of Facilities Planning  
Christine J. Anderson, Ed. D, Palm Springs Unified School District -  
Superintendent of Schools  
Charles McClendon, City of Cathedral City - City Manager

32100 DESERT VISTA RD., CATHEDRAL CITY, CA 92234  
Phone: 760-770-8200 Fax: 760-328-3902 [www.cathedralcityfire.org](http://www.cathedralcityfire.org)



**Cathedral City**

Airport Land Use Commission  
Received

FEB 04 2016

February 1, 2016

Mr. Simon A. Housman, Chairman  
Riverside County  
Airport Land Use Commission  
Riverside County Administration Center  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501

Dear Chairman Housman,

The Cathedral City Community Development Department supports the Palm Springs Unified School District in their endeavor to build a new facility at the current location of the Aqua Caliente Elementary School.

There are many benefits related to the construction of a New School Building both seen and unseen. Upon review of the proposed project it becomes obvious that the School District has exercised due diligence in the consideration of the alternatives of new construction versus retrofitting the current facility.

The current facility has served the public well since 1962 but much has changed over the past fifty years, this includes the scope of the building code which, in addition to employing the latest construction methods and materials also addresses many of society's most important concerns, including public health, safety and site security, environmental protection and air quality, use and sustainability as well as cost efficiency and investment value.

Building equipment and other components may be replaceable and upgradeable, but many aspects of building performance are "designed in" at conception, and are too expensive and difficult to retrofit, modify or change. Some new requirements such as fire safety codes and structural and seismic standards were only in the infancy at the time of the original construction. Others, such as lighting quality, acoustics and air quality which have major effects on health and productivity have undergone major advancements. In large part, building codes establish a building's quality, safety and energy performance for the future.

Sincerely,

Pat Milos, Community Development Director

C.c. Ed Cooper, Riverside County Airport Land Use Commission, Director  
Julie Arthur, Palm Springs Unified School District,  
Executive Director of Facilities Planning  
Christine J. Anderson, Ed. D, Palm Springs Unified School District,  
Superintendent of Schools  
Charles McClendon, City of Cathedral City, City Manager

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Hearing Room  
Riverside, California

DATE OF HEARING: March 10, 2016

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1038PS16 – Palm Springs Unified School District (Representative: John Vega) - Environmental Impact Report State Clearinghouse No. 2015031105. Palm Springs Unified School District proposes to replace existing buildings at Agua Caliente Elementary School located at 30-800 San Luis Rey Drive inside San Gabriel Drive Circle in Cathedral City with five new buildings at different areas within the school's existing campus. The project would facilitate an increase in the capacity of the school so as to allow for an enrollment of up to 850 students, specifically including the addition of 120 pre-kindergarten students. (Airport Compatibility Zone D of the Palm Springs International Airport Influence Area)

FURTHER INFORMATION: Contact Russell Brady at (951) 955-0549 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Julie Arthur of the Palm Springs Unified School District at (760) 416-6117.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

*SCH#2015031105*  
*ZAP 1038 PS 16*

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application *11-2-15*  
 Property Owner *PALM SPRINGS USD* Phone Number *760-416-6117*  
 Mailing Address *980 E. TANQUITZ CANYON WAY, STE. 202*  
*PALM SPRINGS, CA 92262*

Agent (if any) \_\_\_\_\_ Phone Number \_\_\_\_\_  
 Mailing Address \_\_\_\_\_

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address *30-800 SAN LUIS REY*  
*CATHEDRAL CITY, CA 92234*  
 Assessor's Parcel No. *677323013, 677333014, 677343018, 677351001* Parcel Size *(Collective) 12 ACRES*  
 Subdivision Name *PALM SPRINGS COUNTRY CLUB ESTATES*  
 Lot Number *9999* Zoning Classification *SCNDAL*

*PS*  
*D.*

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) *ELEMENTARY SCHOOL*  
 Proposed Land Use (describe) *ELEMENTARY SCHOOL*

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) *35 FT* ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site *35 FT* ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No  
 If yes, describe \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	<u>11-16-15</u>
Agency Name	<u>PALM SPRINGS USD</u>
Staff Contact	<u>JOHN VEGA</u>
Phone Number	<u>760-416-6117</u>
Agency's Project No.	<u>67173-181</u>
Type of Project	<u>PUBLIC SCHOOL (Knock down Rebuild)</u>
	<input type="checkbox"/> General Plan Amendment
	<input type="checkbox"/> Zoning Amendment or Variance
	<input type="checkbox"/> Subdivision Approval
	<input type="checkbox"/> Use Permit
	<input checked="" type="checkbox"/> Public Facility
	<input type="checkbox"/> Other

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1..... Completed Application Form
- 1..... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1..... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative *(See Proponent)*.
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1..... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1..... Completed Application Form
- 1..... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1..... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative *(See Proponent)*.
- 1 Set . Gummed address labels of the referring agency.
- 1..... Check for review—See Below



## Brady, Russell

---

**From:** Arthur, Julie (jarthur@psusd.us) <jarthur@psusd.us>  
**Sent:** Thursday, February 18, 2016 1:32 PM  
**To:** Brady, Russell  
**Cc:** Guerin, John; Vega, John (jvega@psusd.us)  
**Subject:** RE: ALUC and Agua Caliente Elementary School  
**Attachments:** Agua Caliente ES.pdf; Elementary Enrollment 2016.pdf

**Importance:** High

Hi Russell,

It seems that the review of Agua Caliente is being looked at using new school criteria. This is an existing school with 600 students and has been operating as a public school in its current location since 1962. The school is integral to the community known as the Dream Homes. Agua Caliente was built and continues to be a neighborhood walking school. To answer your question, "since children's schools are a discouraged use within Zone D, did the district consider any alternative sites?"



Attached is a copy of the Agua Caliente boundaries and a map of the surrounding area. As you can see there is no other area of 12 acres of residential fee land, not in the flood zone, which can accommodate 600 students of this neighborhood. I specify fee land as California Department of Education does not allow the district's to build schools on land they do not own nor do they allow schools to be built in flood zones. The nearby schools do not have the ability to absorb 600 more students. Busing students out of the neighborhood to other locations (potential legal challenge) would cost the district roughly \$350,000 a year in addition to adding classroom to other schools to absorb the students which would impact these schools greatly and cost taxpayers roughly \$10 million dollars. The Elementary enrollment number file is attached as well. So moving the school to another location is **not an option** as it has well serviced the Dream Home Community for 54 years.

Again, this is an existing school site which has been **in place** since 1962 **servicing** an economically challenged neighborhood. Closing of this school could potentially bring legal challenges by a number of private and public agencies, including the City of Cathedral City. The PSUSD board of education members have voted to spend district capital dollars to build new buildings on the same site and in doing so solve some of the ingress/egress challenges on the existing school site. The new buildings would meet all new building codes for fire, life and security as well as bring in a new fire line and hydrant to the school. The District had the option to renovate the existing buildings but did not feel this was economically efficient as the same cost would be necessary and the buildings would **still** be over 50-years-old and

under the 1960s building code. The same number of students exist on the school site now as they will exist in the future.

The District is requesting an approval of incompatible use by using the ALUC Plan 3.3.6 Other Special Conditions due to terrain, specific location or extraordinary factors requesting an exemption due to the natural use of Whitewater River Channel and Cimarron Golf course to the east of the school site, Gene Autry/Highway 111 to the west and the Whitewater River Channel to the north, and the existing shopping center to the south, all within 1000 feet of the Agua Caliente Elementary school.

I am available to meet on Thursday afternoon (2/25) or Friday morning (2/26). Please let me know if either of these times work for your schedule.

Thank you.

*Julie Arthur*

Executive Director  
of Facilities Planning  
760.416.6117



Do you really need to print this e-mail?

**From:** Brady, Russell [mailto:rbrady@rctlma.org]  
**Sent:** Thursday, February 18, 2016 11:10 AM  
**To:** Vega, John (jvega@psusd.us)  
**Cc:** Guerin, John; Arthur, Julie (jarthur@psusd.us)  
**Subject:** RE: You have received a Files2U package from John Vega

John, I just wanted to follow up on my prior two emails to see if you have any information regarding this and I also wanted to encourage again to meet to go over the project and our analysis and what the District's intentions are if a determination of Inconsistency is made by the Commission.

Thanks

**Russell Brady**  
Riverside County Airport Land Use Commission  
ALUC Planner

4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501  
(951) 955-0549  
(951) 955-0923 (fax)  
[rbrady@rctlma.org](mailto:rbrady@rctlma.org)

**From:** Brady, Russell  
**Sent:** Tuesday, February 16, 2016 8:48 AM  
**To:** 'Vega, John (jvega@psusd.us)'  
**Cc:** Guerin, John  
**Subject:** RE: You have received a Files2U package from John Vega

Also, forgot to note again, is there anything that prevents the school district from locating the school elsewhere or at least something that makes this site far more viable and favorable than relocating?



# PALM SPRINGS UNIFIED SCHOOL DISTRICT

980 EAST TAHQUITZ CANYON WAY  
PALM SPRINGS, CALIFORNIA 92262-0119  
(760) 416-6000

**CHRISTINE J. ANDERSON, Ed.D, Superintendent of Schools**

**BOARD OF EDUCATION:** SHARI STEWART, *President* – JOHN GERARDI, *Clerk*  
RICHARD CLAPP, *Member* – KAREN CORNETT, *Member* – JAMES WILLIAMSON, *MEMBER*

January 6, 2016

Sent Overnight Federal Express mail

John Guerin, Principal Planner  
Riverside County Airport Land Use Commission  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501

RE: Agua Caliente Elementary School Relocation project

Dear Mr. Guerin:

Attached is the following to complete PSUSD's ALUC submission package reviews items:

- Warrant in the amount of \$2,723
- 1 gummed address label of the PSUSD
- 1 set gummed address labels of all property owners within 300 foot radius of school site

The project is only referred by the school district itself, so county or city address labels are not relevant. If further items are needed, please contact me directly at 760.416.6117. Once staff has reviewed the application and if the application is deemed complete, the district would like to meet and discuss the project prior to a findings letter being sent. I can be reached at [jarthur@psusd.us](mailto:jarthur@psusd.us). Thank you.

Sincerely,

  
Julie Arthur  
Executive Director  
Facilities Planning and Development

JA:dd

Enclosures

**Document Details Report  
State Clearinghouse Data Base**

**SCH#** 2015031105  
**Project Title** Agua Caliente Elementary School  
**Lead Agency** Palm Springs Unified School District

**Type** EIR Draft EIR

**Description** The project involves the phased relocation of existing Agua Caliente Elementary School (ACES) campus facilities. The PSUSD also proposes to add up to 120 students and associated faculty for a Pre-Kindergarten level at the ACES campus. The project would construct up to 82,544 sf of building space throughout six new facilities, a playground, fields, hardcourts, and parking and bus drop-off access. Construction of the new campus facilities and demolition of the existing campus facilities would occur concurrently on the ACES campus throughout an 18-month phased development. The ACES campus would remain in operation and would incrementally vacate and relocate students and faculty into the new buildings. The PSUSD anticipates that all ACES operations would be moved into the new campus facilities by 2018.

**Lead Agency Contact**

**Name** Julie Arthur  
**Agency** Palm Springs Unified School District  
**Phone** (760) 416-6114 **Fax**  
**email**  
**Address** 980 E. Tahquitz Canyon Way, Suite 202  
**City** Palm Springs **State** CA **Zip** 92262

**Project Location**

**County** Riverside  
**City** Cathedral City  
**Region**  
**Lat / Long** 33° 49' 29.36" N / 116° 29' 22.32" W  
**Cross Streets** San Luis Rey Drive and Plaza Circle  
**Parcel No.** 677-323-013  
**Township** 4S **Range** 5E **Section** 17 **Base** SBB&M

**Proximity to:**

**Highways** SR 111  
**Airports** PSP  
**Railways**  
**Waterways** Whitewater River  
**Schools** Agua Caliente  
**Land Use** School Uses

**Project Issues** Noise; Public Services; Toxic/Hazardous; Traffic/Circulation; Water Quality; Cumulative Effects; Other Issues; Air Quality

**Reviewing Agencies** Resources Agency; Department of Fish and Wildlife, Region 6; Department of Parks and Recreation; Department of Water Resources; Caltrans, Division of Aeronautics; California Highway Patrol; Caltrans, District 8; Air Resources Board; Regional Water Quality Control Board, Region 7; Department of Toxic Substances Control; Native American Heritage Commission

**Date Received** 09/04/2015 **Start of Review** 09/04/2015 **End of Review** 10/19/2015



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

**CHAIR**  
Simon Houseman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

**COMMISSIONERS**

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Riverside

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Riverside

Glen Holmes  
Hemet

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

**STAFF**

Director  
Ed Cooper

John Guerin  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14<sup>th</sup> Floor.  
Riverside, CA 92501  
(951) 955-5132

October 19, 2015

Ms. Julie Arthur, Executive Director of Facilities Planning  
Palm Springs Unified School District  
980 East Tahquitz Canyon Way, Suite 202  
Palm Springs CA 92262

**RE: Agua Caliente Elementary School Relocation Project – Draft Environmental Impact Report**

Dear Ms. Arthur:

Thank you for providing the Riverside County Airport Land Use Commission (ALUC) with a CD copy of the Public Draft Environmental Impact Report for the proposed Agua Caliente Elementary School (relocation/expansion) Project (SCH#2015031105). The proposed facilities will be relocated within the overall boundaries of the existing campus. However, the project would facilitate an increased capacity of the site so as to allow for an enrollment of up to 850 students, specifically including the addition of 120 pre-kindergarten students.

The project site is located within Airport Compatibility Zone D of the Palm Springs International Airport Influence Area. The Draft Environmental Impact Report acknowledges on page 4.3-21 that the allowable intensity within Compatibility Zone D is limited to an average of 100 persons per acre, with a maximum intensity of 300 persons, and proceeds to indicate that total site occupancy would be 925 people, resulting in an average intensity of 83 persons per acre, which would be within the allowable intensity limits. However, the statement that the project “would not exceed the maximum intensity of 300 persons per acre” is not substantiated. The statement seems to rely on the assertion that the 61,503 square feet of new buildings “would span across approximately half of the 12-acre Project Site.” The authors may not have appreciated that the single-acre intensity standard of 300 persons relates to the maximum allowable number of people in the most intensely occupied one-acre area of the site (measured as a 210-foot-by-210-foot area).

[www.rcaluc.org](http://www.rcaluc.org)

Sub-section (f) of Section 21670 of the California Public Utilities Code (CPUC) specifies that “special districts, school districts, and community college districts are included among the local agencies that are subject to airport land use laws and other requirements of this article.” ALUC review is required for all projects within an Airport Influence Area unless the approving jurisdiction has received a determination of consistency with the presently applicable Compatibility Plan for its General Plan (or the equivalent Facilities Master Plan, in the case of a school district), or has taken action to overrule the Compatibility Plan in accordance with the process specified in the California Public Utilities Code.

In our letter of April 23, 2015 submitted in response to the Notice of Preparation and Initial Study, we advised that this project should be submitted to ALUC for official review and noted the online location at which ALUC application forms could be accessed. Had prompt action been taken, the ALUC process could have been completed this summer. The process is still a requirement of the CPUC, as referenced above.

As noted in our April 23, 2015 letter, we would need to review full-size site plans and floor

2-1

**AIRPORT LAND USE COMMISSION**

**October 19, 2015**

plans in order to fully evaluate the potential single-acre intensity levels that would be generated by this project.

2-1

In addition to project intensity, concerns that ALUC would address include open land and structure height. The site includes 12 acres of land. Pursuant to Table 2A of the 2004 Riverside County Airport Land Use Compatibility Plan, projects 10 acres or larger in size in Compatibility Zone D must set aside at least ten percent of site area as ALUC-qualifying open area, consisting of areas not less than 75 feet in width and 300 feet in length that are free of obstructions such as poles, trees larger than 4 inches in diameter at any height four or more feet above the ground, overhead wires, trash enclosures, and carport overhangs.

2-2

Notification to the Federal Aviation Administration Obstruction Evaluation Service through online Form 7460-1 (<https://oeaaa.faa.gov>) is required for projects when the elevation at the highest point (top of structures) would exceed the elevation of the nearest runway greater than 3,200 feet in length by more than one foot for every 100 feet of distance from the runway to that structure.

The elevation of the primary runway at Palm Springs International Airport at its southerly terminus is 395.5 feet above mean sea level. If we assume that the project site is approximately 2,400 feet from the runway, then any structure whose top point exceeds 419.5 feet in elevation above mean sea level would require such notice to the FAA. Based on the on-site elevation of 392 feet above mean sea level, new structures at least 27.5 feet in height (including any roof-mounted appurtenances such as elevator shafts) would require FAA notice.

2-3

Please be advised that the FAA notification requirement is independent of ALUC action and whether or not an Airport Influence Area has been established pursuant to California state law.

Thank you for the opportunity to provide comments. ALUC staff would welcome an opportunity to meet with you and the project team (as you may see fit) to evaluate the proposed project in relation to applicable airport land use compatibility criteria pursuant to the 2004 Riverside County Airport Land Use Compatibility Plan and the 2005 Palm Springs International Airport Land Use Compatibility Plan. If you have any questions, please contact John Guerin of ALUC staff at (951) 955-0982.

2-4

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Coeper, Director

JJGJG

cc: Phillip Crimmins, California Division of Aeronautics  
Thomas Nolan, Executive Director, Palm Springs International Airport  
Simon A. Housman, Chairman, Riverside County ALUC  
ALUC Staff

## COMMENT LETTER NO. 2

Riverside County Airport Land Use Commission  
Edward C. Cooper, Director  
4080 Lemon Street, 14th Floor  
Riverside, California 92501

### Response to Comment 2-1

As stated in **Section 2.0, Project Description**, the Project involves the relocation of school facilities on the existing Agua Caliente Elementary School (ACES) campus with the construction of up to 61,503 square feet of new building space across the 12-acre site. The existing structures, which are currently located on the northwestern portion of the Project Site, would be demolished upon completion of the new structures and the area would be converted for recreational and playground use. The campus would be relocated to the southern half of the existing site and simply be reconfigured to accommodate the new buildings. The campus would maintain approximately 6 acres of open and recreational play area, albeit now on the northern half of the campus.

The relocated elementary school would have a maximum capacity of 875 students. The ACES campus has been in operation since 1962 with historic enrollments over the last decade ranging from a peak enrollment of 845 students during the 2005/2006 school year to an enrollment of 621 students during the 2014/2015 school year.<sup>1</sup> The Project's proposed enrollment of 875 students does not substantially exceed (30 more than the peak enrollment in 2005/2006) this range of students that have historically occupied the Project Site in recent years. As the school has existed on the Project Site for over 50 years with enrollments similar to those proposed after the site has been reconfigured, any change in site density would be considered insignificant. Furthermore, the Riverside County Airport Land Use Commission (ALUC) has been aware of the ACES campus since it was built in 1962 and has not raised any issues of concern related to its location or operations during that time.

It should be noted that other existing uses within proximity to the Palm Springs International Airport have similar or higher population densities than those on the Project Site. Such uses include the Springs Shopping Center and the Gene Autry Plaza, which are located approximately 0.25 and 0.50 miles south of the Project Site, respectively.

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<sup>1</sup> California Department of Education, Data Reporting Office, "K-12 Public School Enrollment" <http://data1.cde.ca.gov/dataquest/DQ/EnrTimeRptSch.aspx?cYear=2014-15&Level=School&cName=Agua+Caliente+Elemen&cCode=6032387&dCode=3367173>, accessed October 2015.



The District is aware of and acknowledges the requirement to coordinate with the ALUC to ensure that the Project complies with the appropriate requirements. As such, the District will submit an application with the ALUC pursuant to Section 21670(f) of the California Public Utilities Code.

### **Response to Comment 2-2**

As previously noted, the proposed Project would relocate existing structures across the 12-acre Project Site and would retain approximately 50 percent of the site for playground and recreational space. The relocated campus would exceed the ALUC requirements for dedicated open space. The tallest structure on the Project Site would be a maximum of 35 feet, which would not exceed the ALUC's structure height requirements of 70 feet within Airport Compatibility Zone D. The reconfigured campus would remain compliant with the ALUC's open land and structure height requirements. However, District will coordinate with the ALUC to ensure that the proposed Project complies with these requirements.

### **Response to Comment 2-3**

As indicated by the ALUC, pursuant to Title 14, Part 77 of the Code of Federal Regulations, any structures on the Project Site exceeding 27.5 feet in height would require FAA notice. The proposed library building would be the tallest structure on the Project Site at a maximum of 35 feet above grade. As required, the District has notified the Federal Aviation Administration (FAA) and is currently participating in the FAA's aeronautical study filing procedures. The pending application was filed with the FAA on October 27th, 2015 and is identified by the Aeronautical Study Number (ASN) 2015-AWP-10625-OE.

### **Response to Comment 2-4**

The District is open to the opportunity to meet with the ALUC to discuss the Project in relation to applicable airport land use compatibility criteria. The comment is acknowledged.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** April 14, 2016

**CASE NUMBER:** ZAP1183MA16 – Jason Radwan (Representative: Blue Peak Engineering)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** 15-05196 (Tentative Parcel Map No. 37043)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Tentative Parcel Map, subject to the conditions included herein.

**PROJECT DESCRIPTION:** Tentative Parcel Map No. 37043 is a proposal to subdivide a 3.3 gross acre parcel into two commercial parcels. The proposed area of parcel 1 is 2.9 net acres and contains existing parking stalls and storage units as part of an existing commercial shopping center. The proposed area of Parcel 2 is 0.4 net acres and contains a Del Taco restaurant and drive-thru (currently under construction) and existing parking stalls. The Del Taco restaurant was previously reviewed by ALUC staff under ZAP1116MA15 and approved by the Airport Land Use Commission in May 2015.

**PROJECT LOCATION:** The site is located southerly of Ramona Expressway and easterly of Perris Boulevard, within the City of Perris, approximately 10,260 feet southerly of the southerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C1
- c. Noise Levels: Below 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1. Zone C1 limits average intensity to 100 people per acre. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

The average acre land use intensity for the Del Taco restaurant and drive-thru was analyzed in ZAP1116MA15 and approved by ALUC in May 2015. The average acre intensity of the restaurant was determined to be 73 people per acre, which is consistent with the Zone C1 average criterion of 100. The staff report for ZAP1116MA15 is attached to this staff report package under Attachment A.

No structural development is proposed on Parcel 1 at this time. The intensity of development on Parcel 1 would be determined at the time specific development is proposed.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

The single acre land use intensity for the Del Taco restaurant was analyzed in ZAP1116MA15 and approved by ALUC in May 2015. The single acre intensity of the restaurant was determined to be 92.5 people per single acre, which is consistent with the Zone C1 single criterion of 250. The staff report for ZAP1116MA15 is attached to this staff report package under Attachment A

No structural development is proposed on Parcel 1 at this time. The intensity of development on Parcel 1 would be determined at the time specific development is proposed.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area below the 60 CNEL range from aircraft noise. Therefore, the proposed development would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 10,260 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1590.6 feet AMSL. No structures are proposed on Parcel 1.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

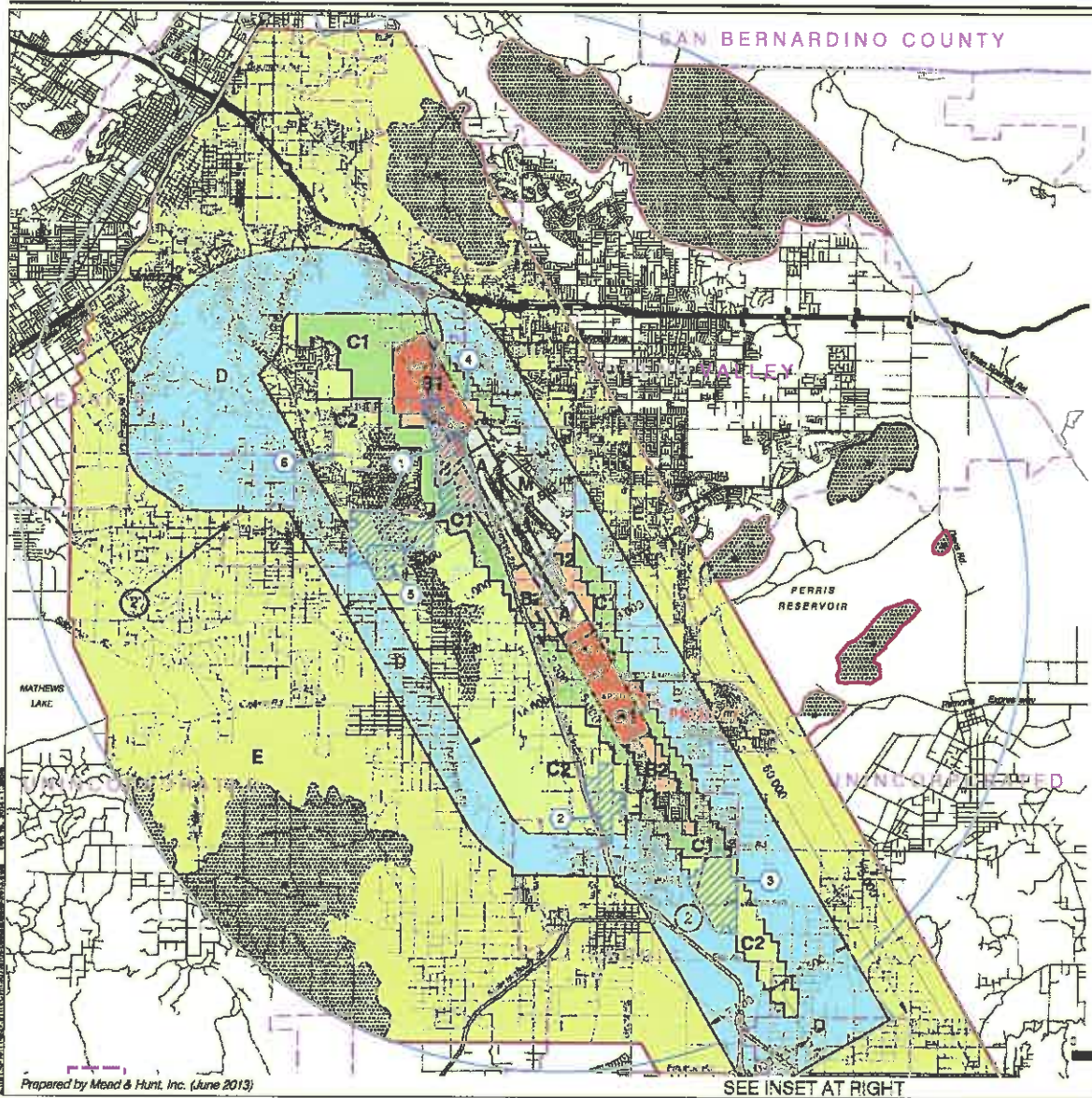
**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Noise sensitive outdoor nonresidential uses and hazards to flight.
3. The attached notice shall be given to all prospective purchasers and/or tenants of the property and shall be recorded as a deed notice.
4. Any proposed detention basin(s) on the site (including bioretention areas for water quality treatment) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the retention basin(s) shall not include trees that produce seeds, fruits, or berries.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  
6. The use within Parcel 2 of this parcel map has already been approved as a restaurant with a drive-thru. The floor plan reviewed by ALUC provides for 867 square feet of dining area. Any future tenant improvements that would increase the dining area to more than 1,100 square feet shall be submitted to ALUC as an amended review. The previous consistency determination applies specifically to use of this building as a restaurant.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

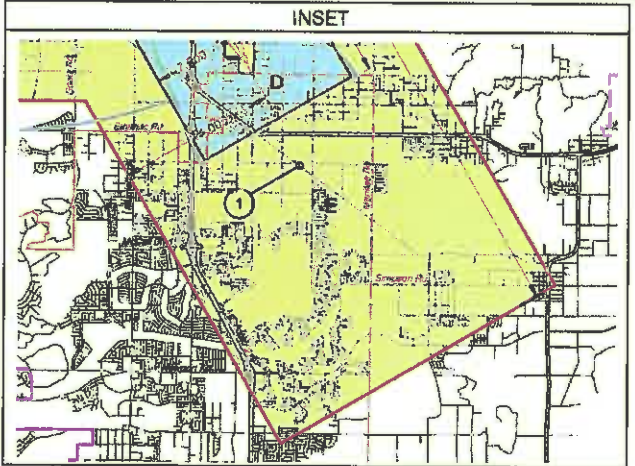
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 52 ILS approach descends below 3,000 feet above runway end. Airport Elevation is 1,595 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from  
runway ends and centerlines

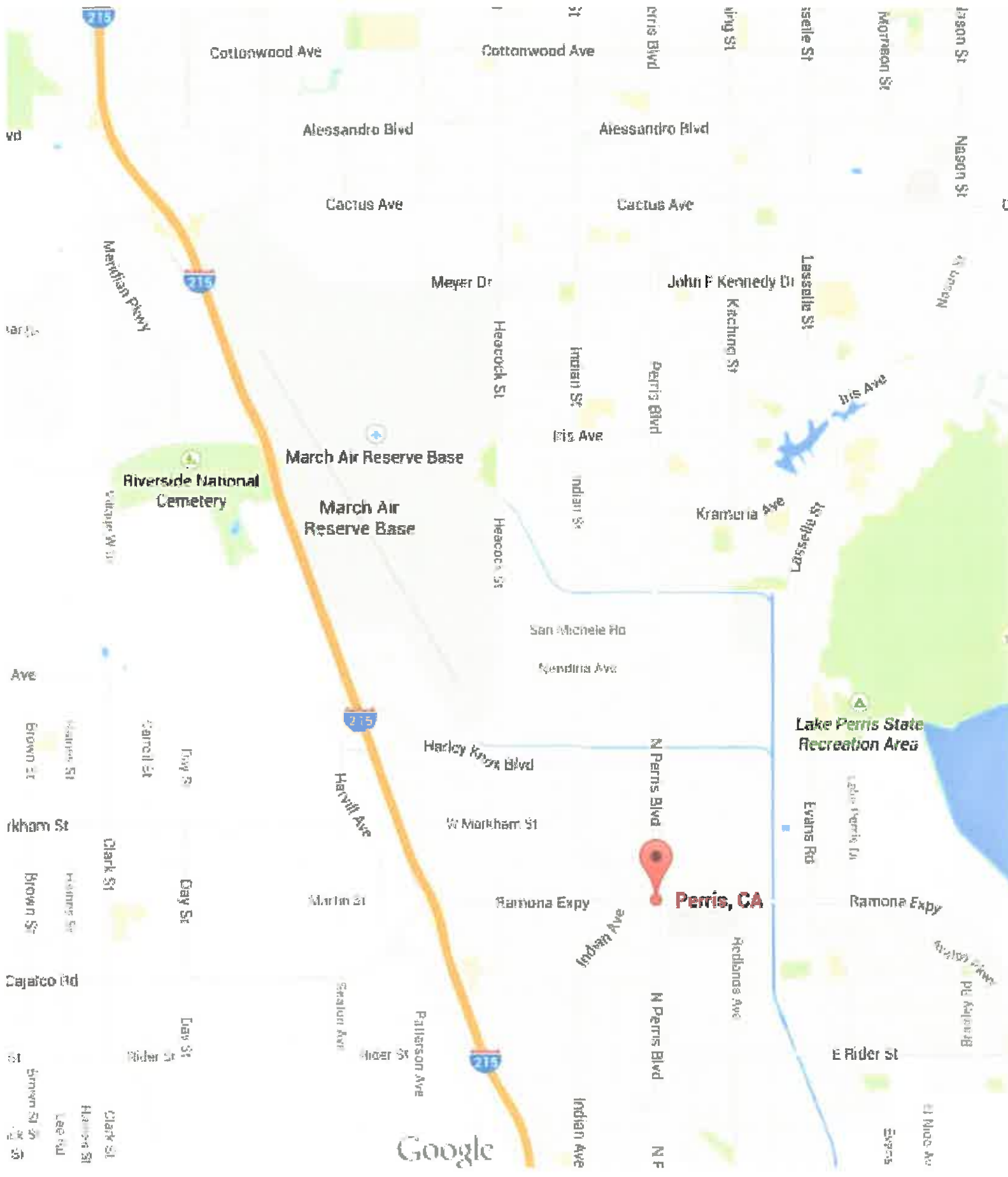


Base map source: County of Riverside 2013

Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT



Cottonwood Ave

Cottonwood Ave

Alessandro Blvd

Alessandro Blvd

Cactus Ave

Cactus Ave

Meridian Pkwy

Meyer Dr

John F Kennedy Dr

March Air Reserve Base

March Air Reserve Base

Riverside National Cemetery

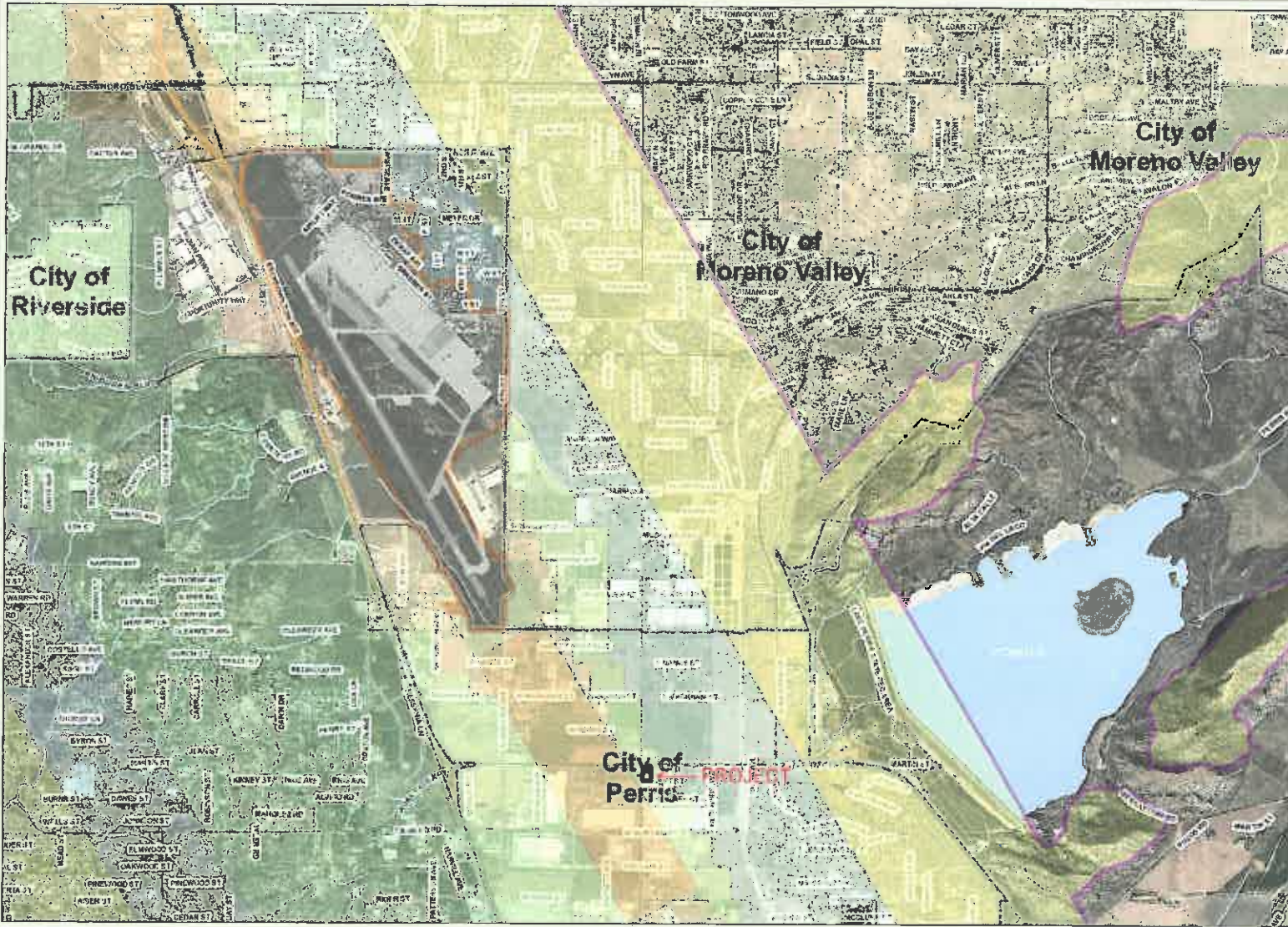
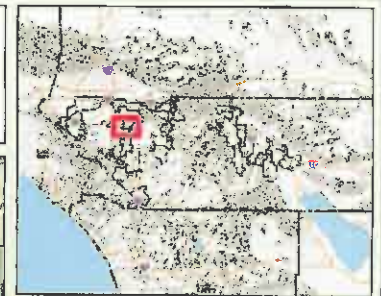
Lake Perris State Recreation Area

Perris, CA

Google



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT

## Notes



0 7,239 14,477 Feet

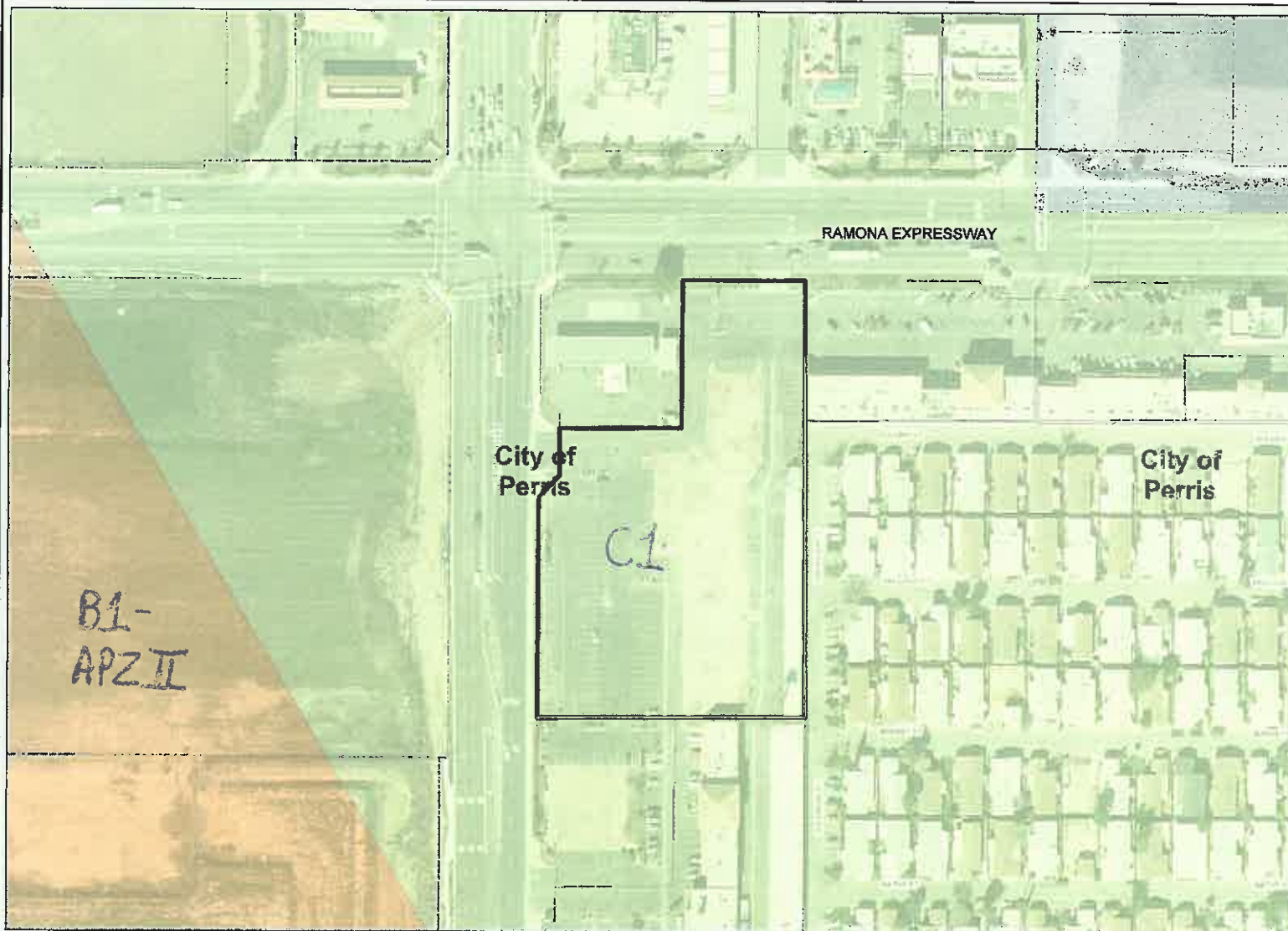
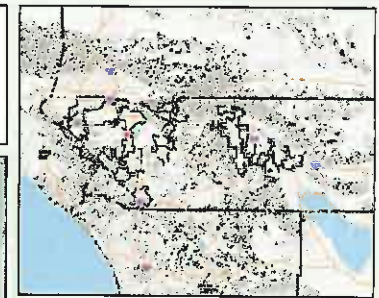


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# My Map



## Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 226 452 Feet



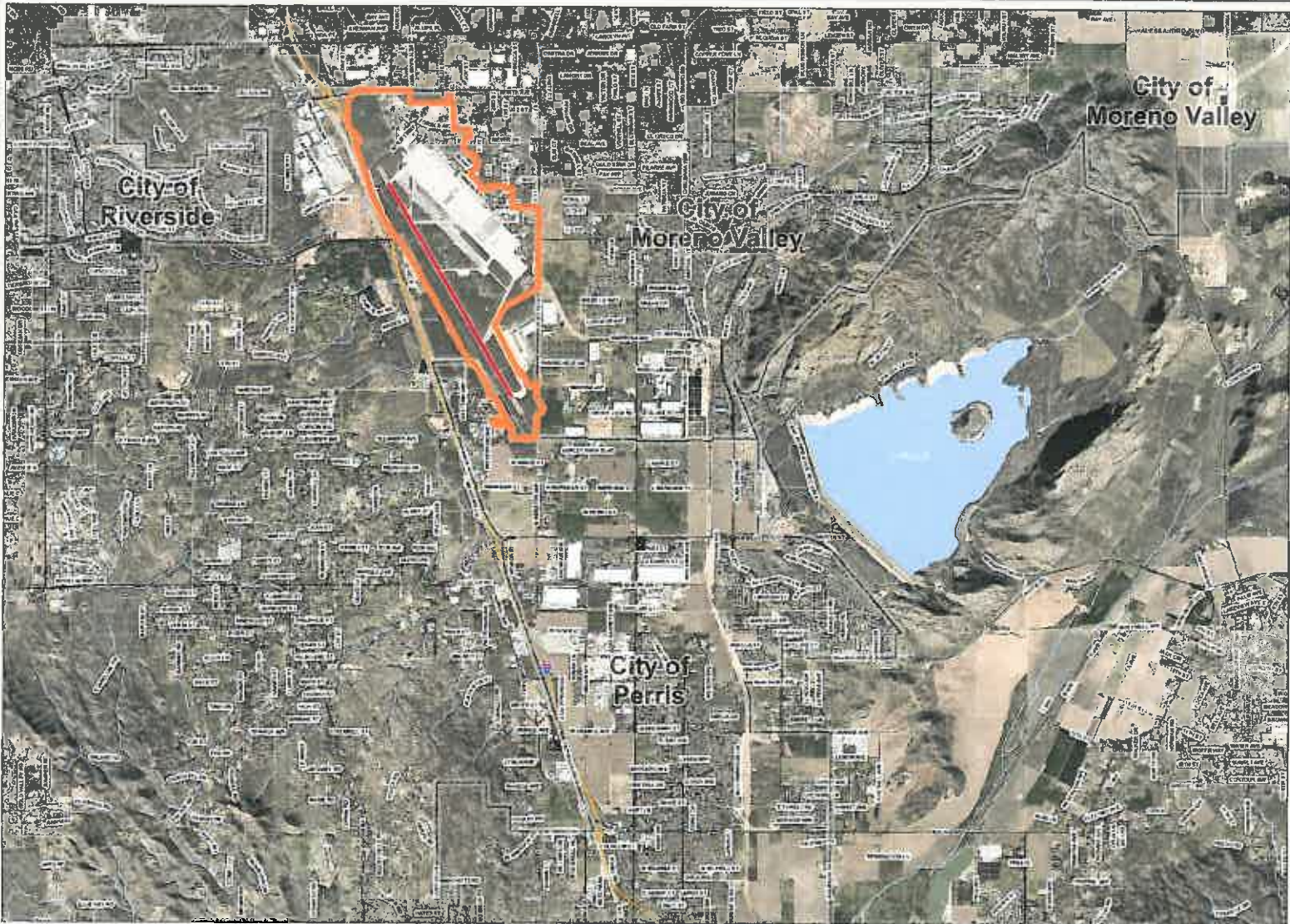
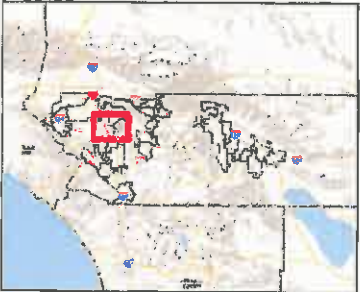
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## Notes

# My Map



### Legend

- Airports
- Runways
- City Boundaries
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



0 9,975 19,951 Feet



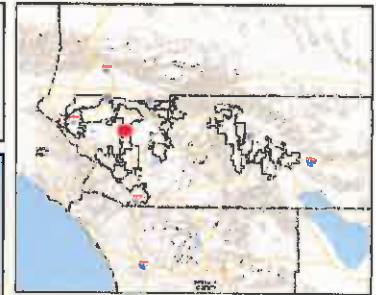
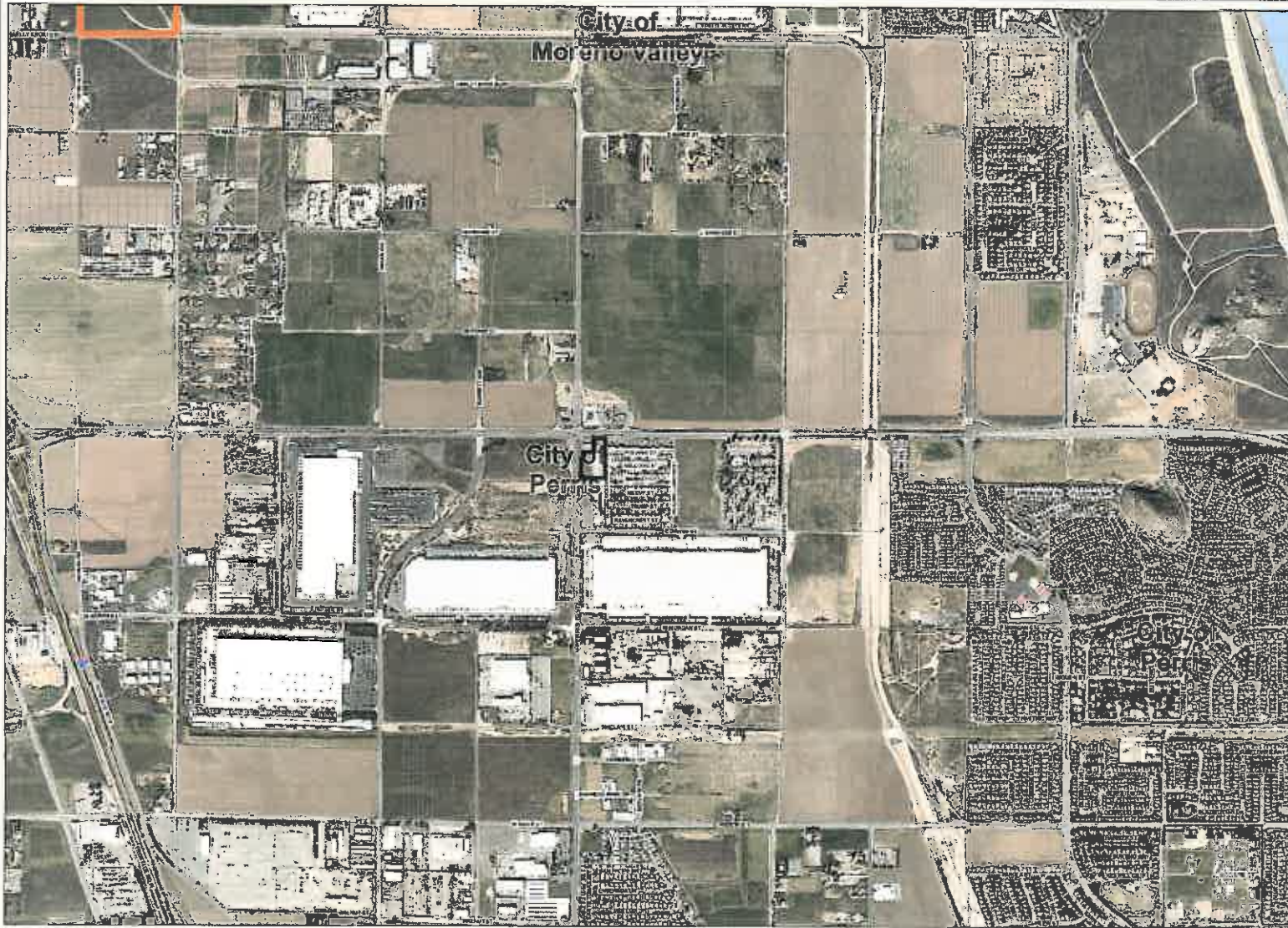
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### Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



0 2,494 4,988 Feet



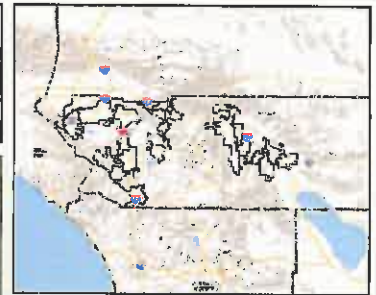
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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 623 1,247 Feet



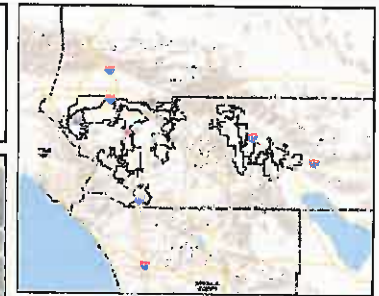
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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 156 312 Feet



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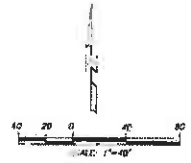
## Notes

# Tentative Parcel Map No. 37043

## IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

THIS LAND REFERRED TO HEREIN IS LOT 2 OF TRACT 21771, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP FILE NO. 37043, PAVING AND UTILITIES, PREPARED BY ROBERT J. DEFRAT, PROFESSIONAL ENGINEER, CALIFORNIA LICENSE NO. 44249, DATED NOVEMBER 2015.

**BLUE PEAK ENGINEERING, INC.**  
 ROBERT J. DEFRAT, P.E. (LIC. 44249)  
 27446 LLS



**APN:**  
335-28-012

**BUILDING AREA**  
 NET AREA: 2,807 SQ. FT.  
 STORAGE: 1,200 SQ. FT.

**LEGAL DESCRIPTION**  
 LOT 2 OF TRACT 21771, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP FILE NO. 37043, PAVING AND UTILITIES, PREPARED BY ROBERT J. DEFRAT, PROFESSIONAL ENGINEER, CALIFORNIA LICENSE NO. 44249, DATED NOVEMBER 2015.

**OWNER**  
 JAYNE BACARI  
 7121 21ST ST, SUITE B  
 PERRIS, CA 92404  
 (951) 245-2295

**ENGINEER**  
 BLUE PEAK ENGINEERING, INC.  
 27446 LLS, SUITE 100  
 PERRIS, CA 92404  
 (951) 749-3077

**UTILITY COMPANIES**  
**WATER**  
 SAN DIEGO REGIONAL WATER DISTRICT  
 P.O. BOX 2500  
 PERRIS, CA 92404  
 (951) 245-0107

**SEWER**  
 WASTE WATER TREATMENT PLANT  
 110 SWEET  
 PERRIS, CA 92404  
 (951) 245-1100

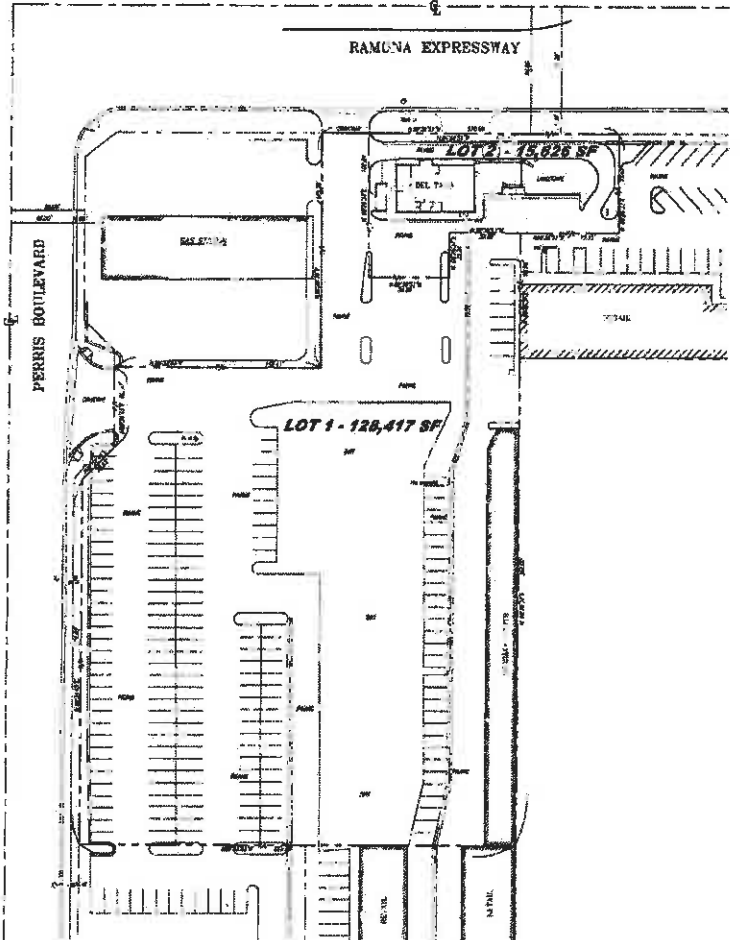
**TELEPHONE**  
 SOUTHWESTERN BELL COMPANY  
 P.O. BOX 8400  
 PERRIS, CA 92404  
 (951) 245-7100

**GAS**  
 SOUTHWESTERN GAS COMPANY  
 1400 WEST LINDEN AVENUE, SUITE 200  
 PERRIS, CA 92404  
 (951) 245-7000

**FEMA ZONE**  
 Zone 1 - Flood Hazard

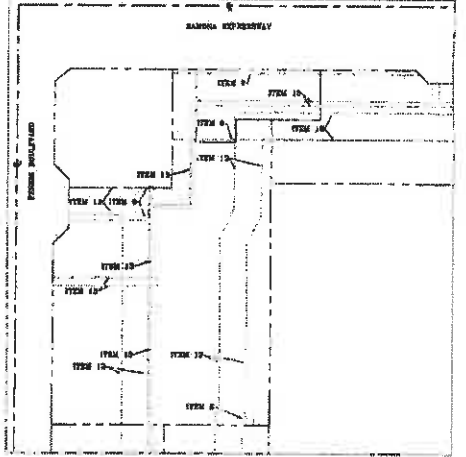
**ZONING / LAND USE**  
 R-1 - Single-Family Residential

**SCHOOL DISTRICT**  
 Perris Unified School District



**EASEMENTS**

- ITEM 1. EASEMENT FOR UTILITIES AND PREMISES PER 1971A DEED, AS SHOWN ON THE PLAN, TO BE CONVEYED TO THE ASSAULT INSURANCE COMPANY.
- ITEM 2. NON-EXCLUSIVE EASEMENT TO USE TELEPHONE TIE TO THE PERMITS AND TO BE LINED TO THE UNDERGROUND CONDUIT, MANHOLE, PIPES, CABLES, WELLS & APPURTENANCES IN LOCATION OF EASEMENT NOT TO BE INTERFERED WITH BY THE PROPERTY OWNER.
- ITEM 3. NON-EXCLUSIVE EASEMENT TO USE TELEPHONE TIE TO THE PERMITS AND TO BE LINED TO THE UNDERGROUND CONDUIT, MANHOLE, PIPES, CABLES, WELLS & APPURTENANCES IN LOCATION OF EASEMENT NOT TO BE INTERFERED WITH BY THE PROPERTY OWNER.
- ITEM 4. EASEMENT FOR WATER PIPELINE PER 1971A DEED, RECORD DOES NOT DEFINE LOCATION OF EASEMENT (NOTING PLANNING PLATS).
- ITEM 5. EASEMENT FOR WATER PIPELINE PER 1971A DEED, RECORD DOES NOT DEFINE LOCATION OF EASEMENT (NOTING PLANNING PLATS).
- ITEM 6. EASEMENT FOR PLUMBING & WATER PIPELINE PER 1971A DEED, RECORD DOES NOT DEFINE LOCATION OF EASEMENT (NOTING PLANNING PLATS).
- ITEM 7. EASEMENT FOR PLUMBING & WATER PIPELINE PER 1971A DEED, RECORD DOES NOT DEFINE LOCATION OF EASEMENT (NOTING PLANNING PLATS).
- ITEM 8. NON-EXCLUSIVE EASEMENT TO USE TELEPHONE TIE TO THE PERMITS AND TO BE LINED TO THE UNDERGROUND CONDUIT, MANHOLE, PIPES, CABLES, WELLS & APPURTENANCES IN LOCATION OF EASEMENT NOT TO BE INTERFERED WITH BY THE PROPERTY OWNER.
- ITEM 9. NON-EXCLUSIVE EASEMENT TO USE TELEPHONE TIE TO THE PERMITS AND TO BE LINED TO THE UNDERGROUND CONDUIT, MANHOLE, PIPES, CABLES, WELLS & APPURTENANCES IN LOCATION OF EASEMENT NOT TO BE INTERFERED WITH BY THE PROPERTY OWNER.
- ITEM 10. NON-EXCLUSIVE EASEMENT TO USE TELEPHONE TIE TO THE PERMITS AND TO BE LINED TO THE UNDERGROUND CONDUIT, MANHOLE, PIPES, CABLES, WELLS & APPURTENANCES IN LOCATION OF EASEMENT NOT TO BE INTERFERED WITH BY THE PROPERTY OWNER.
- ITEM 11. EASEMENT FOR PLUMBING & WATER PIPELINE PER 1971A DEED, RECORD DOES NOT DEFINE LOCATION OF EASEMENT (NOTING PLANNING PLATS).



**ENGINEER'S CERTIFICATE**



**BLUE PEAK ENGINEERING, INC.**  
 18042 TOSHIBA BLVD, SUITE 100  
 TOSHIBA BLVD, SUITE 100  
 PERRIS, CA 92404  
 714.240.3077

# **NOTICE OF PUBLIC HEARING**

## **RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

**ATTENTION:** ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris may hold hearings on this project and should be contacted on non-ALUC issues.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
Riverside, California

**DATE OF HEARING:** April 14, 2016

**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:**

ZAP1183MA16 – Jason Radwan (Representative: Blue Peak Engineering) – City of Perris Planning Case No. 15-05196 (Tentative Parcel Map No. 37043). Tentative Parcel Map No. 37043 is a proposal to subdivide a 3.3 gross acre parcel into two commercial parcels. The proposed area of parcel 1 is 2.9 net acres and contains existing parking stalls and storage units as part of the existing commercial shopping center. The proposed area of Parcel 2 is 0.4 net acres and contains a Del Taco restaurant and drive-thru (currently under construction) and existing parking stalls. The project site is southerly of Ramona Expressway and easterly of Perris Boulevard, within the City of Perris. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

**FURTHER INFORMATION:** Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Nathan Perez of the City of Perris Planning Division at (951) 943-5003.



**APPLICATION FOR MAJOR LAND USE ACTION REVIEW  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP 1183MA16

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

out 1116 MA 15  
PLS  
DATE

Date of Application 2/29/16  
Property Owner JASON RADWAN  
Mailing Address 26371 AVERY PKWY, # B  
MISSION VIEJO, CA 92692

Phone Number (949) 545-2595

Agent (if any) BLUE PEAK ENGINEERING  
Mailing Address 18543 YERBA LINDA BL, #235  
YERBA LINDA, CA 92886

Phone Number (714) 749-3077

March  
C1

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address SR RAMONA EXPWY  
PEKIS, CA 92571

Assessor's Parcel No. 303-100-018

Parcel Size 15,626 SF

Subdivision Name TR 21771

Zoning PERPIS VALLEY  
Classification PVCC-SP

Lot Number 2

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) DELTAO DRIVE-THRU

Proposed Land Use (describe) DELTAO DRIVE-THRU

For Residential Uses Number of Parcels or Units on Site (exclude secondary units)

For Other Land Uses Hours of Use 24 HRS

(See Appendix C) Number of People on Site Maximum Number 52

Method of Calculation 2013 CPC-TABLE A  
OCCUPANT LOAD FACTOR

Height Data Height above Ground or Tallest Object (including antennas and trees) 23.5 ft.

Highest Elevation (above sea level) of Any Object or Terrain on Site 1473.50 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	
Agency Name	<u>City of Perris Planning Div.</u>
Staff Contact	<u>Nathan Perez</u>
Phone Number	<u>951-943-5003 ext. 279</u>
Agency's Project No.	<u>City of Perris Case No. 1505196 Tentative Parcel Map No. 37043</u>
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input checked="" type="checkbox"/> Subdivision Approval <u>Parcel Map</u> <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other _____

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review—See Below

## **ATTACHMENT A**

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.1

**HEARING DATE:** May 14, 2015

**CASE NUMBER:** ZAP1116MA15 – Ramona Exp/Perris Inv (Representative:  
Blue Peak Engineering)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** CUP 15-00010 (Conditional Use Permit)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends a finding of CONSISTENCY for the Conditional Use Permit, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The Conditional Use Permit proposes a fast food restaurant with drive-thru (Del Taco). The proposed fast food restaurant would consist of a 2,067 square foot building with dining and kitchen areas and an exterior patio dining area on an approximately 0.80-net acre site (including the project's paved parking area).

**PROJECT LOCATION:** The site is located southerly of Ramona Expressway, easterly of Perris Boulevard, westerly of Painted Canyon Street, and northerly of Polaris Street, within the City of Perris, approximately 10,260 feet southerly of the southerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C1
- c. Noise Levels: Below 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1. Zone C1 limits average intensity to 100 people per acre. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large

aircraft weighing more than 12,500 pounds.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for each proposed building:

- Dining/serving area – 1 person per 15 square feet
- Commercial kitchen – 1 person per 200 square feet

Based on the site plan and floor plan provided, the building includes 867 square feet of dining area and 1,100 square feet of kitchen area (with the remaining 100 square feet for bathrooms) for an estimated building occupancy of 63 people. With the 16 seats on the patio and 9 vehicles for the drive-thru queue (1.5 person per vehicle), the total site occupancy would be 92.5 people. As previously noted, the site has a net area of approximately 0.80 acres. However, including the half width along the site's frontage would yield a total gross acreage of 1.27 acres. Based on the gross acreage, the project would result in an average intensity of 73 people per acre, which is compatible with the Zone C1 average acre criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle in the absence of more precise data). Based on the number of parking spaces provided of 33, the total occupancy would be estimated at 49.5 people. Based on the 1.27 gross acres, this results in an average intensity of 39 people per acre, which is also compatible with the Zone C1 average acre criterion of 100.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds. Based on the site plan provided and the occupancy as previously noted, the total occupancy would not exceed the single-acre criterion of 250 people.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area below the 60 CNEL range from aircraft noise. Therefore, the proposed development would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 10,260 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1590.6 feet AMSL. The project proposes a maximum finished floor elevation of 1454 feet AMSL. The proposed buildings have a maximum height of 23.5 feet for a potential maximum

building elevation of 1477.5 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Noise sensitive outdoor nonresidential uses and hazards to flight.
3. The attached notice shall be given to all prospective purchasers and/or tenants of the property and shall be recorded as a deed notice.
4. Any proposed detention basin(s) on the site (including bioretention areas for water quality treatment) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s)

that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the retention basin(s) shall not include trees that produce seeds, fruits, or berries.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The floor plan reviewed by ALUC provides for 867 square feet of dining area. Any future tenant improvements that would increase the dining area to more than 1,100 square feet shall be submitted to ALUC as an amended review.
7. This consistency determination applies specifically to use of this building as a restaurant.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.2

**HEARING DATE:** April 14, 2016

**CASE NUMBER:** ZAP1185MA16 – Vogel Properties (Representative: Nick Johnson)

**APPROVING JURISDICTION:** City of Moreno Valley

**JURISDICTION CASE NO:** PA16-0002 (Site Plan Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Site Plan Review be found CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The Site Plan Review is a proposal to develop a 446,350 square foot warehouse/distribution center on 19.61 acres. The building floor plan consists of 426,350 square feet of warehouse area, 10,000 square feet of office area, and 10,000 square feet of mezzanine area.

**PROJECT LOCATION:** The site is located northerly of Harley Knox Boulevard, southerly of the westerly extension of Grove View Road, easterly of Heacock Street, and westerly of Indian Street, within the City of Moreno Valley, approximately 2,950 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone B2 and C1
- c. Noise Levels: 60-65 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones B2 and C1. Both zones limit average intensity to 100 people per acre.



Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed building in Compatibility Zones B2 and C1:

- Warehouse – 1 person per 1,428 square feet (35% of building code of 1 person per 500 square feet)
- Office – 1 person per 200 square feet (with 50% reduction)

The proposed building would include a total of 426,350 square feet of warehouse area, 10,000 square feet of first floor office space, and 10,000 square feet of second floor mezzanine (assumed as office space), resulting in a total occupancy of 398 people and an average intensity of 20 people per acre, which is consistent with the Zones B2 and C1 average acre criterion of 100.

Although the planned warehouse is designed and anticipated to be used as high-cube warehouse, if the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4 (50% of 1 person per 500 square feet), the building would accommodate a total occupancy of 526 people, resulting in an average intensity of 26 people per acre, which is also compatible with the Zones B2 and C1 average acre criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces provided of 207 and truck dock spaces of 53 and trailer spaces of 52, the total occupancy would be estimated at 415 people. This total occupancy within the 19.64 acre area results in an average intensity of 21 people per acre, which is also consistent with the Zones B2 and C1 average acre criterion of 100.

If the entire building were utilized as office space (with the 50 percent reduction) or for manufacturing (at 1 person per 200 square feet), the average intensity of 113 persons per acre would exceed the average intensity limit of 100 persons. However, this scenario is not being proposed and is also unrealistic as the site would not be able to provide the necessary number of parking stalls to cater to an all office use.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zones B2 and C1 limit maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area for the building would consist of 5,000 square feet of first floor office area, 10,000 square feet of second floor mezzanine/office area, and 32,782 square feet of warehouse area. A portion of the single-acre area, 5,778 square feet of non-buildable area proposed as truck parking, is located outside

of the building and does not affect occupancy counts. This would result in a single-acre occupancy of 98, which would be consistent with the Zone B2 and C1 single-acre criterion of 250.

If the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the maximum single-acre area of 5,000 square feet of ground floor office area, 10,000 square feet mezzanine/office, and 32,782 square feet as fulfillment center would total 108 people, which would also be consistent with the Zone B2 and C1 single-acre criterion.

If the most intense single-acre area were entirely utilized as office space (with the 50 percent reduction) or for manufacturing uses (at 1 person per 200 square feet), the single-acre intensity would be 239 persons, which is consistent with the single-acre intensity limit of 250 persons.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones B2 and C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area between 60-65 CNEL range from aircraft noise. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the manufacturing/warehouse area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the building.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1488 AMSL). At a distance of approximately 2,950 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1517.5 feet AMSL. The maximum finished floor elevation is 1472.5 feet AMSL. With a maximum building height of 43 feet, the top point elevation would be 1515.5 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service is not required. Condition No. 9 requires submittal to the Federal Aviation Administration Obstruction Evaluation Service if any roof-top structures exceed the maximum building parapet height of 43 feet.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including churches and theaters), buildings with more than 3 aboveground habitable floors, noise sensitive outdoor nonresidential uses, critical community infrastructure facilities and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an aviation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
4. The attached notice shall be given to all prospective purchasers of the property and tenants of the building.
5. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.

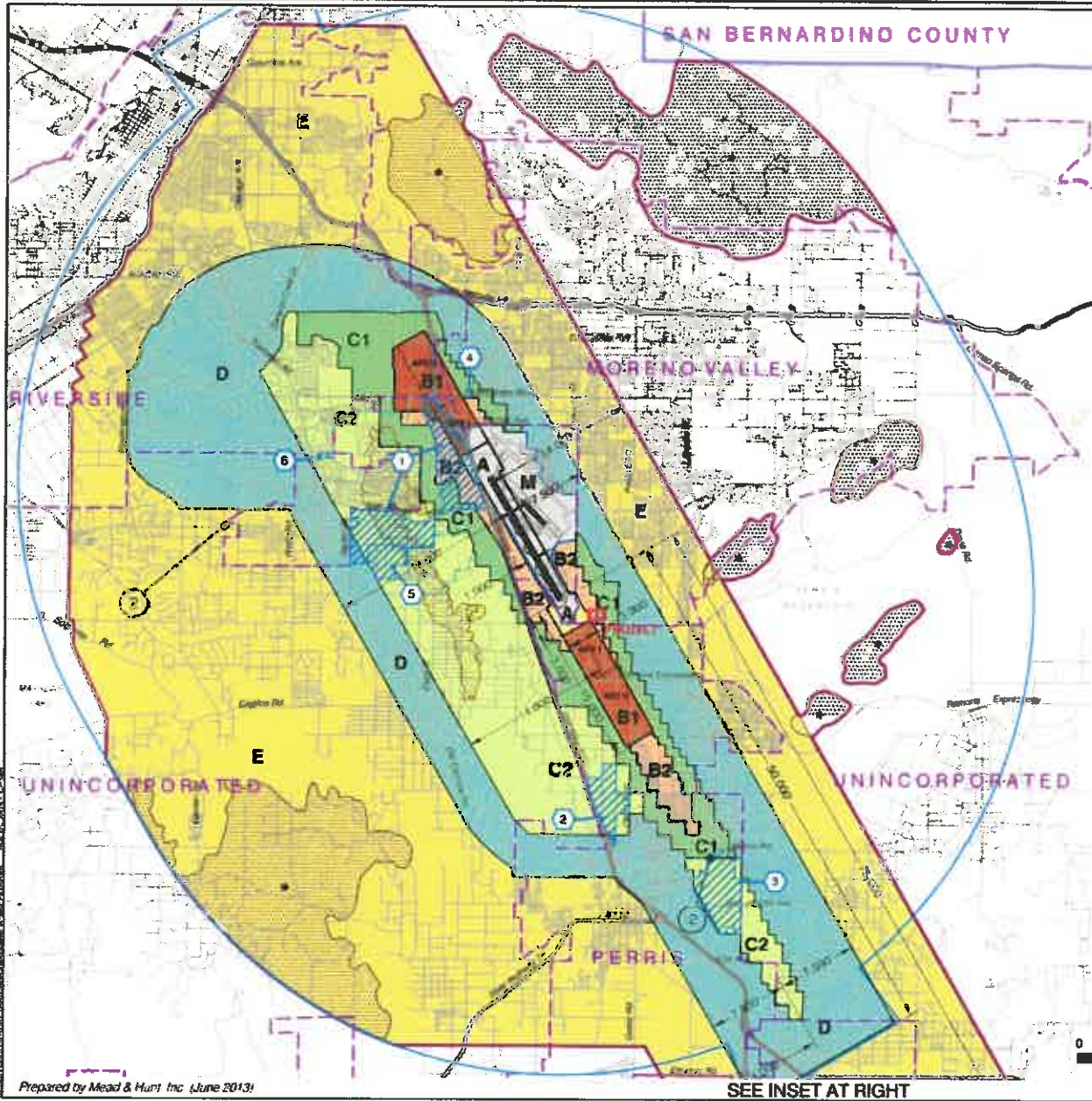
6. This project has been evaluated as a proposal for the establishment of an industrial warehouse with not more than 20,000 square feet of office area in any given acre. The City of Moreno Valley shall require additional review by the Airport Land Use Commission prior to the establishment of any of the following uses in this structure:

Auction rooms, auditoriums, bowling alleys, call centers, care facilities, churches and other places of worship, conference rooms larger than 1,500 square feet in area, classrooms, courtrooms, dance floors, dormitories, drinking establishments, exercise rooms, exhibit rooms, health care facilities, gymnasiums, locker rooms, lounges, retail sales, skating rinks, stages, swimming pools, and all other uses that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) pursuant to California Building Code (1998) Table 10-A.

7. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
8. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
9. Any roof-top equipment that exceeds the building parapet height of 43 feet will require Form 7460-1 submittal, review, and issuance of a "Determination of No Hazard to Air Navigation" by the Federal Aviation Administration Obstruction Evaluation Service.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

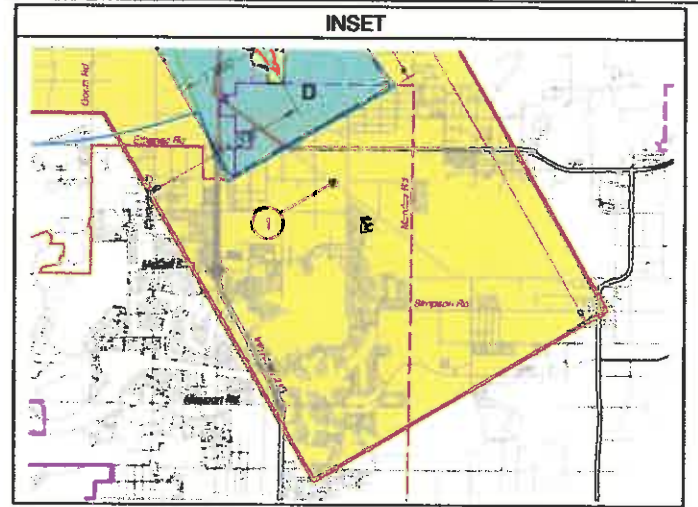
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

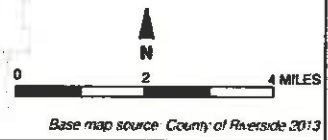
**Points of Interest:**

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.
- ③ March JPA, March Business Center Menards
- ④ Perris Harvest Landing
- ⑤ Perris Park West
- ⑥ Moreno Valley Affordable Housing
- ⑦ March JPA, Ben Clark Training Center
- ⑧ Riverside Ridge Crest Subdivision



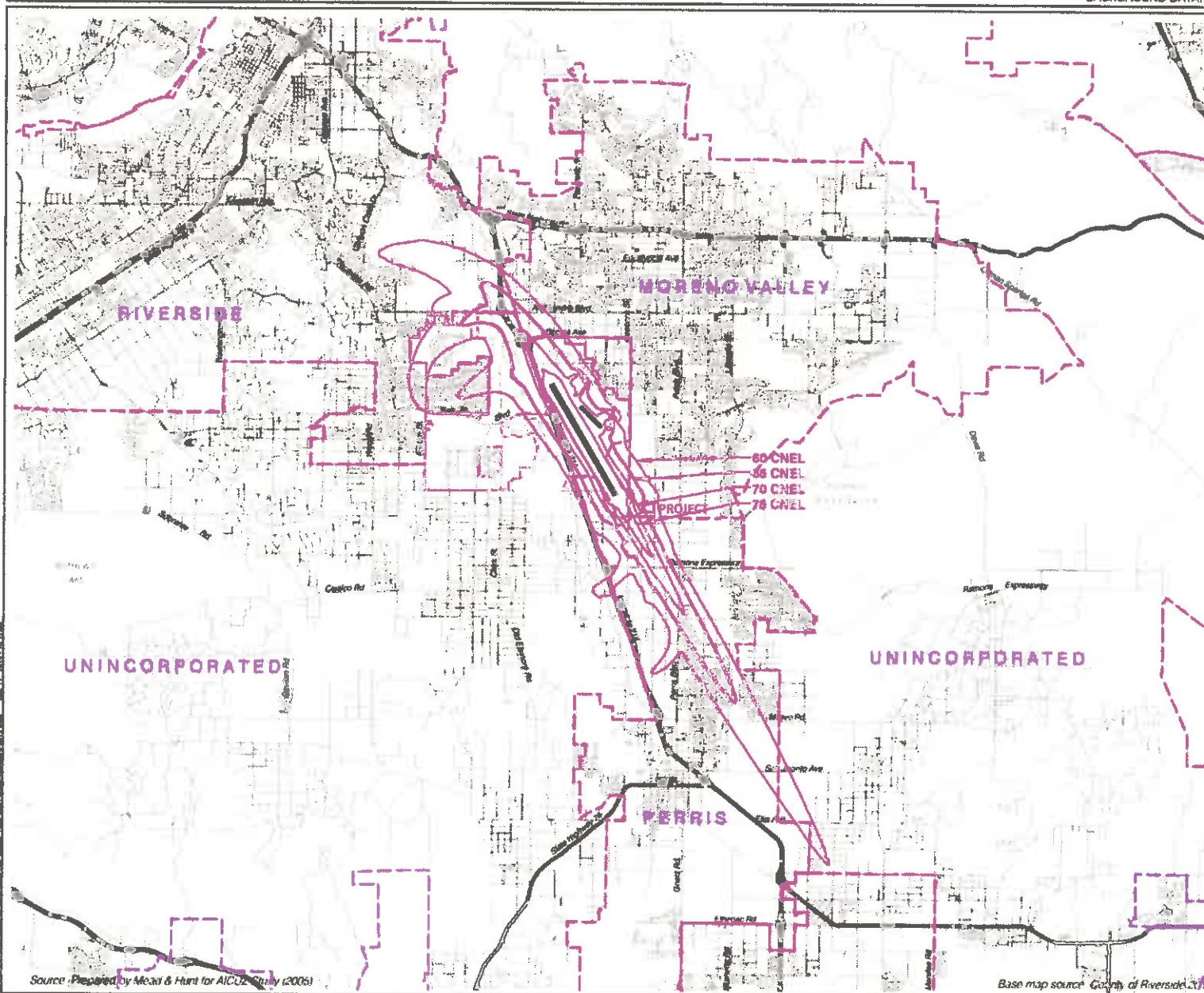
**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from  
runway ends and centerlines.



Map MA-1  
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

SEE INSET AT RIGHT



**LEGEND**

**Noise Contours**

- 60 dB CNEL
  - 65 dB CNEL
  - 70 dB CNEL
  - 75 dB CNEL
- } Projected Activity Level (75,104 operations)

**Boundary Lines**

- March Air Reserve Base / Inland Port Airport
- March Joint Powers Authority Property Line
- - - City Limits

**Projected Activity Level**

Annual Operations	75,104
Average Annual Day	206

**Note:**

Contours represent composite of noise contours from four sources.

- Forecasts and noise contours from Air Installation Compatible Use Study for March Air Reserve Base (August 2005).
- Environmental Assessment for Proposed Military Construction and Total Force Integration at March Air Reserve Base (Air Force Reserve Command, June 2010); Environmental Impact Report for March Inland Port General Aviation Facilities Development (March Joint Powers Authority, August 2012)
- F-15 Aircraft Conversion Environmental Impact Statement 144th Fighter Wing California Air National Guard Fresno-Yosemite International Airport (National Guard Bureau, March 2013)



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Exhibit MA-4

**Noise Impact Area  
March Air Reserve Base / Inland Port Airport**

Source: Prepared by Mead & Hunt for AICUZ Study (2006)

Base map source: County of Riverside, 2013



March Air Reserve Base

17845 Indian St

Google earth

Perris Reservoir

1 mi



March Air  
Reserve Base

17845 Indian Street

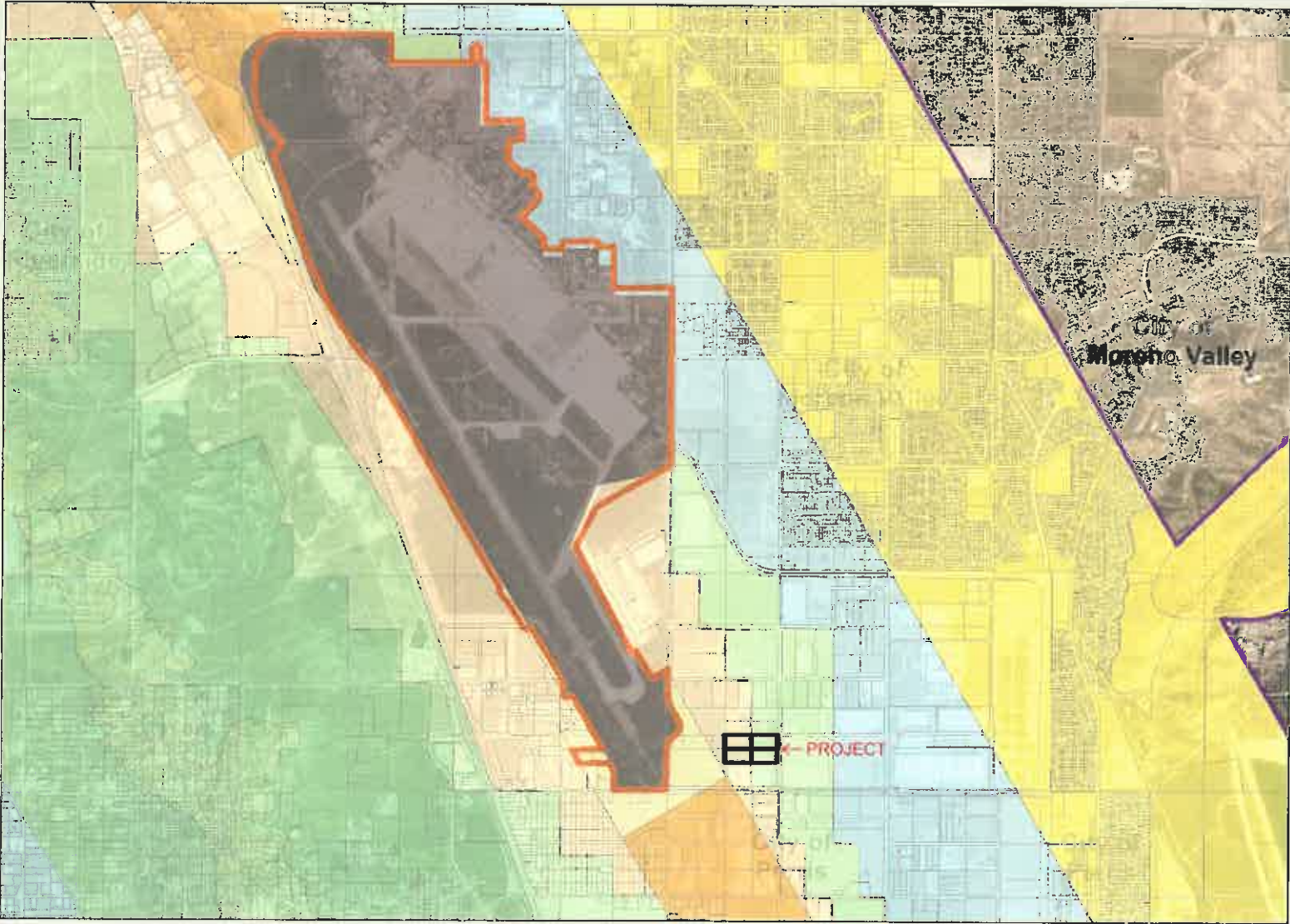
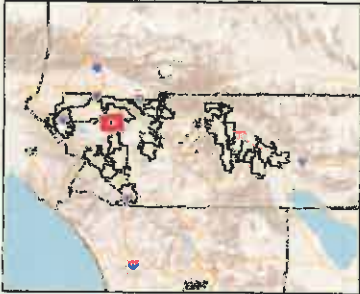
© 2015 Google

Google earth

2002

33°51'41.12" N 117°19'01.08" W elev 1467 ft eye alt 8004 ft

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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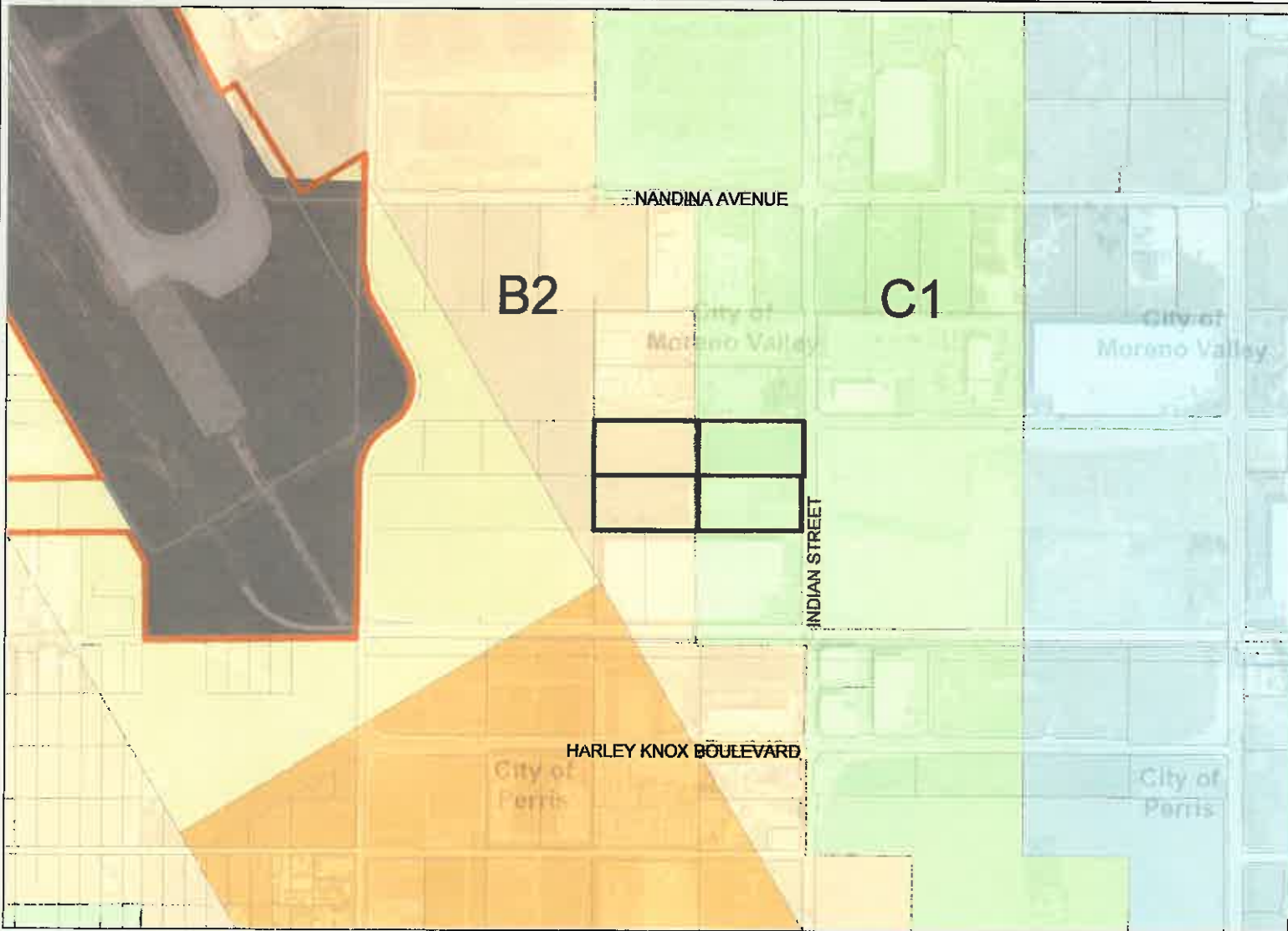
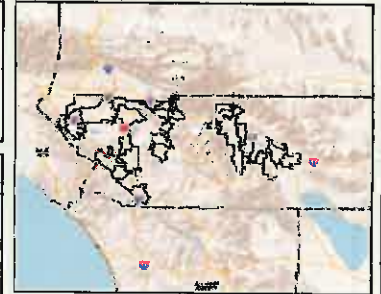
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## Notes

# My Map



## Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 1,144 2,289 Feet



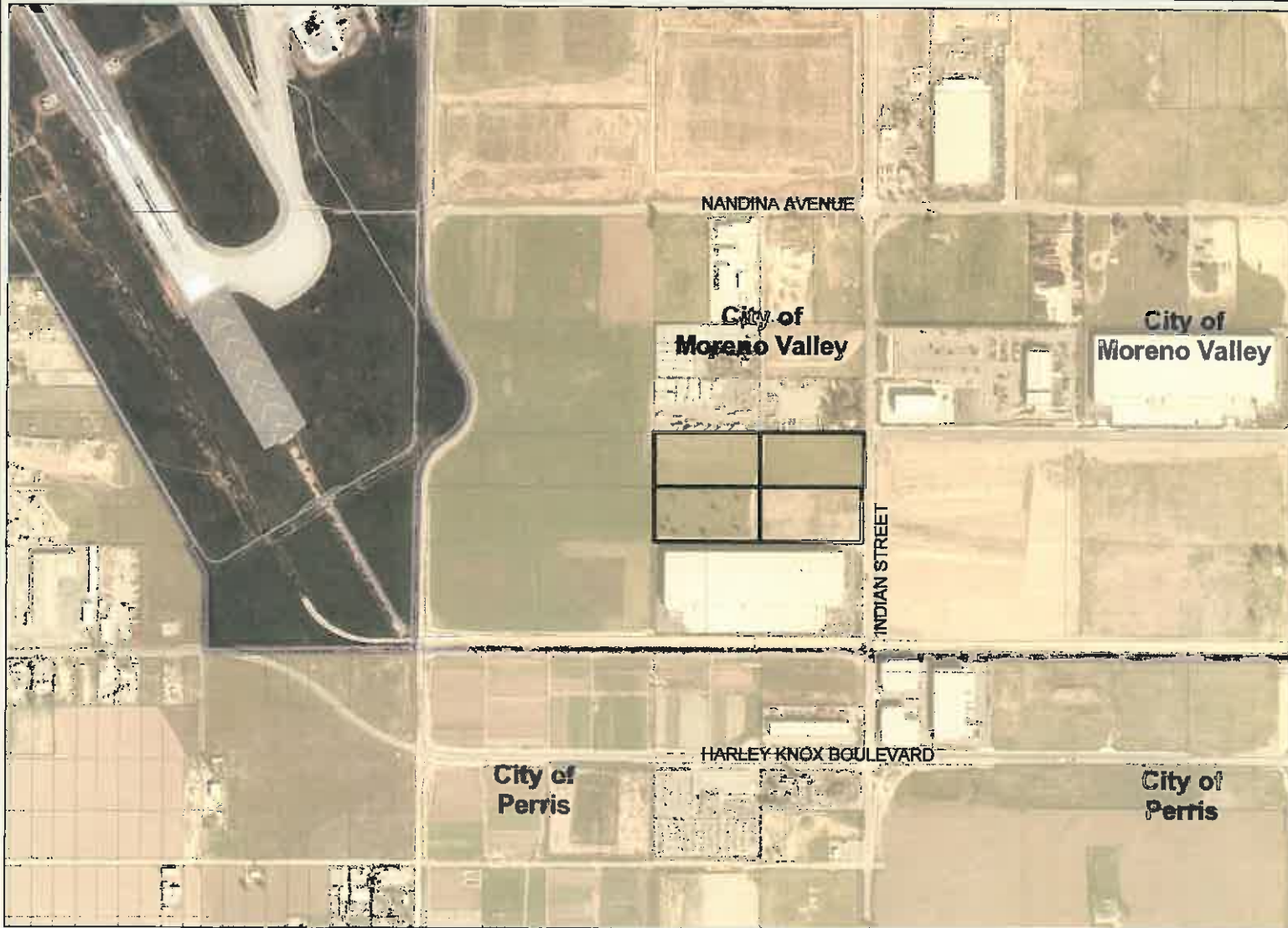
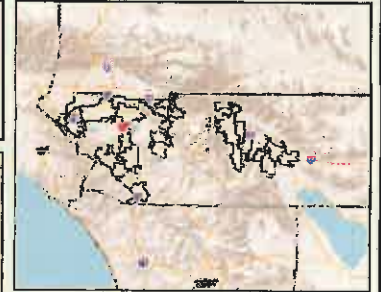
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0 1,144 2,289 Feet



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## Notes

March Air  
Reserve Base

17845 Indian Street

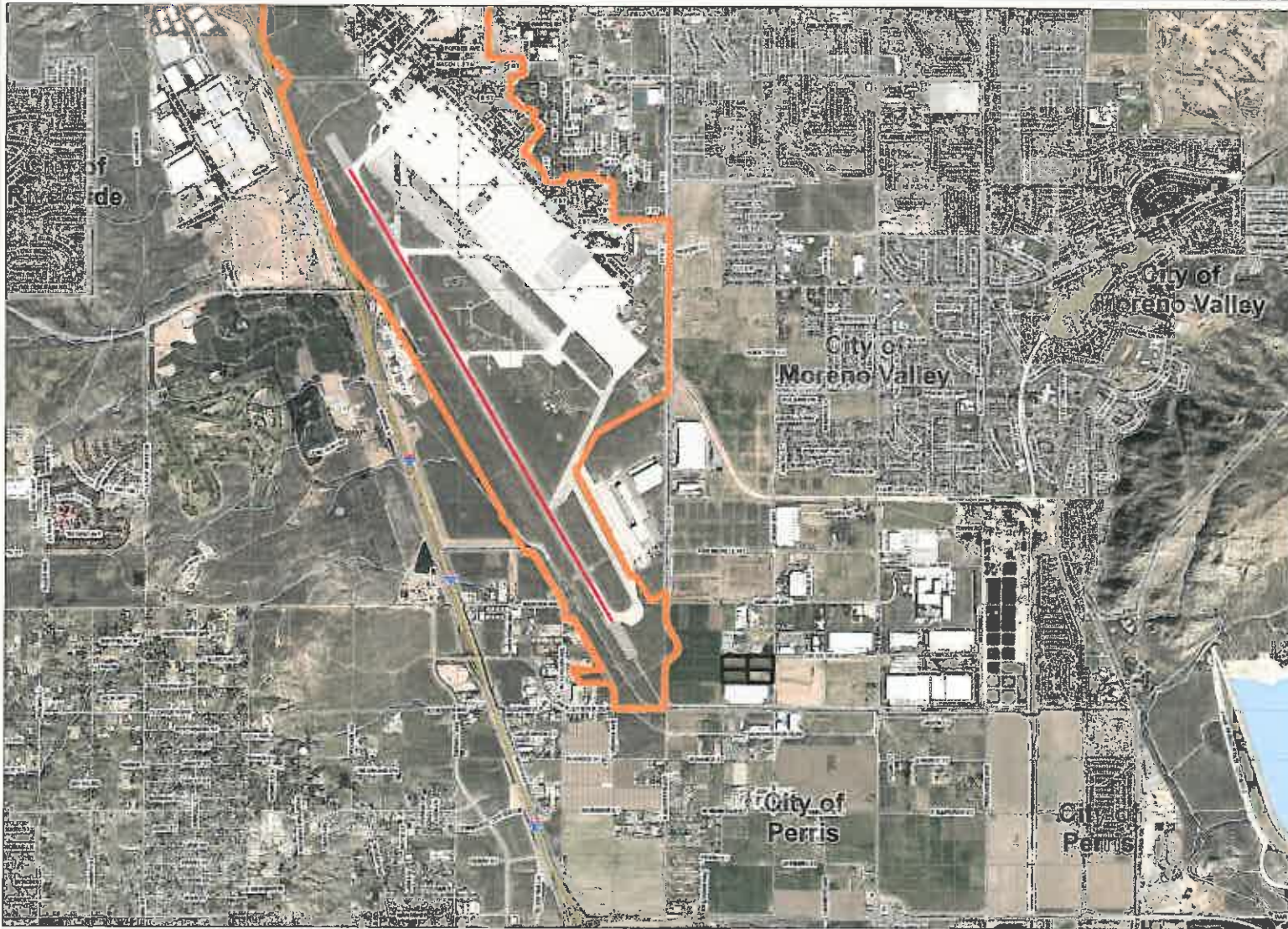
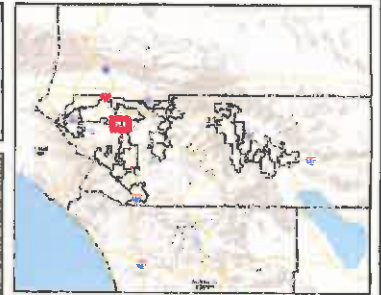
© 2015 Google

Google earth

2002

33°51'41.12" N 117°15'09.23" W elev: 1467 ft eye at 8004 ft

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



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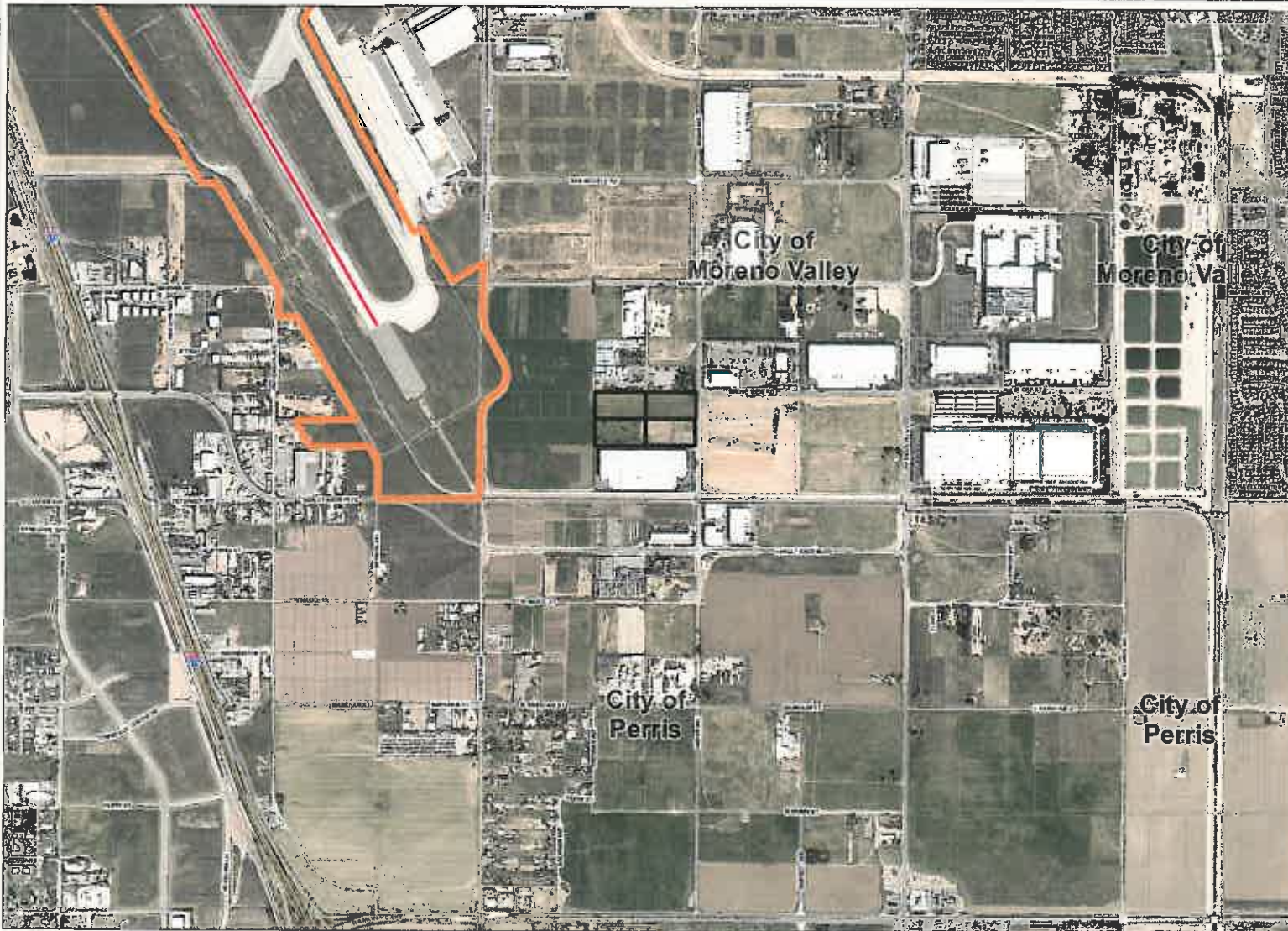
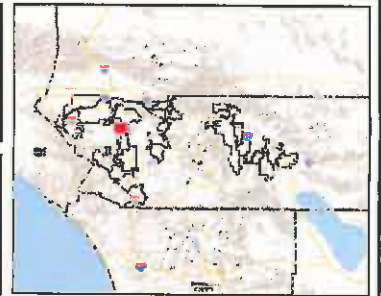
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## Notes

# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roads
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 2,365 4,731 Feet



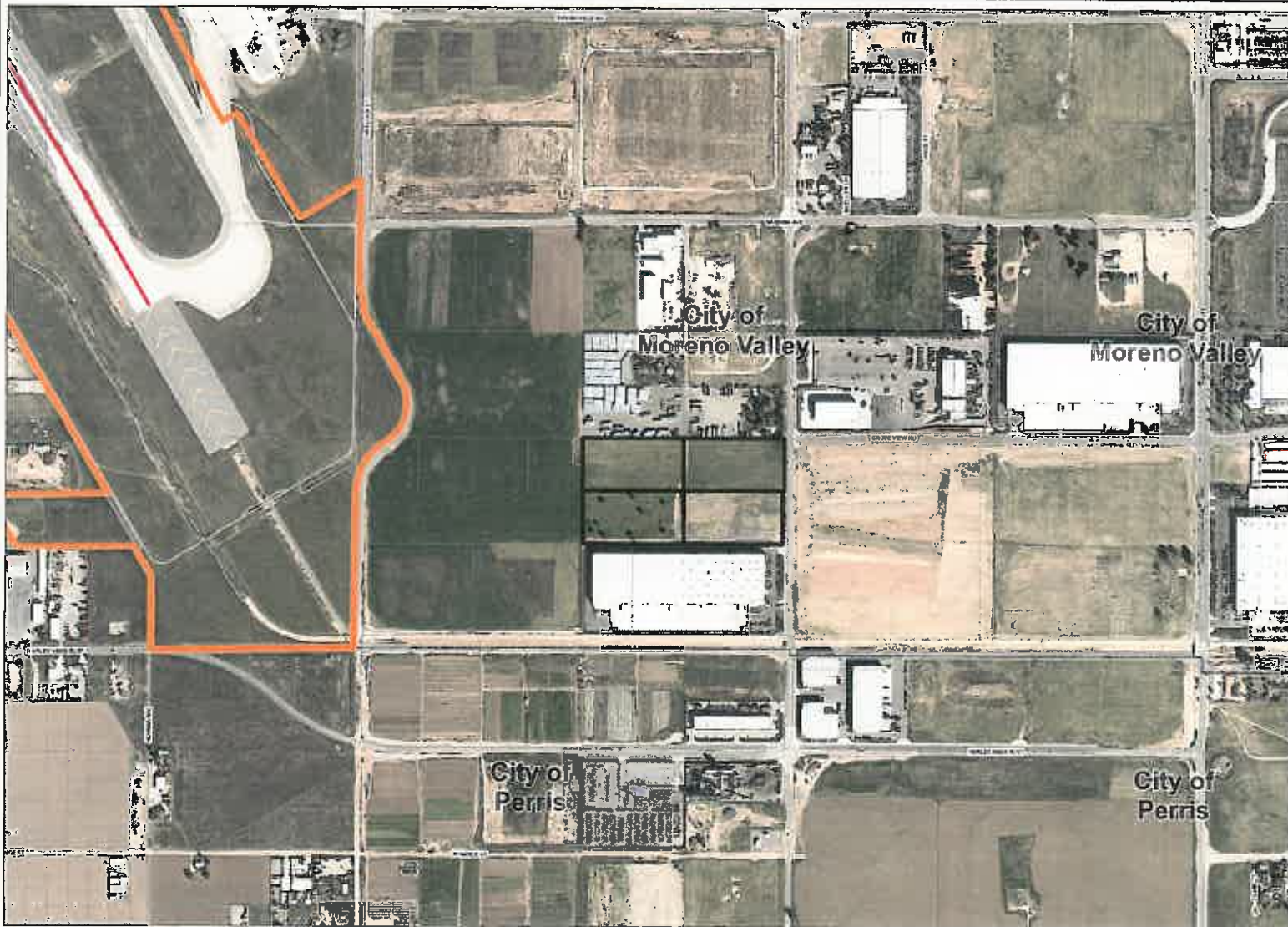
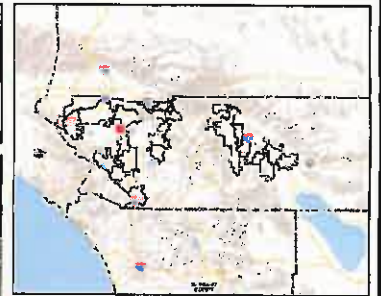
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## Notes

# My Map



### Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



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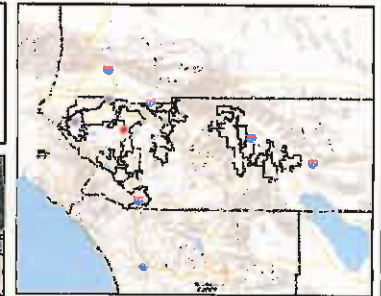
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### Notes



# My Map



## Legend

- Airports
- Runways
- City Boundaries
- roadsanno
- highways
- HWY
- INTERCHANGE
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- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 591 1,183 Feet



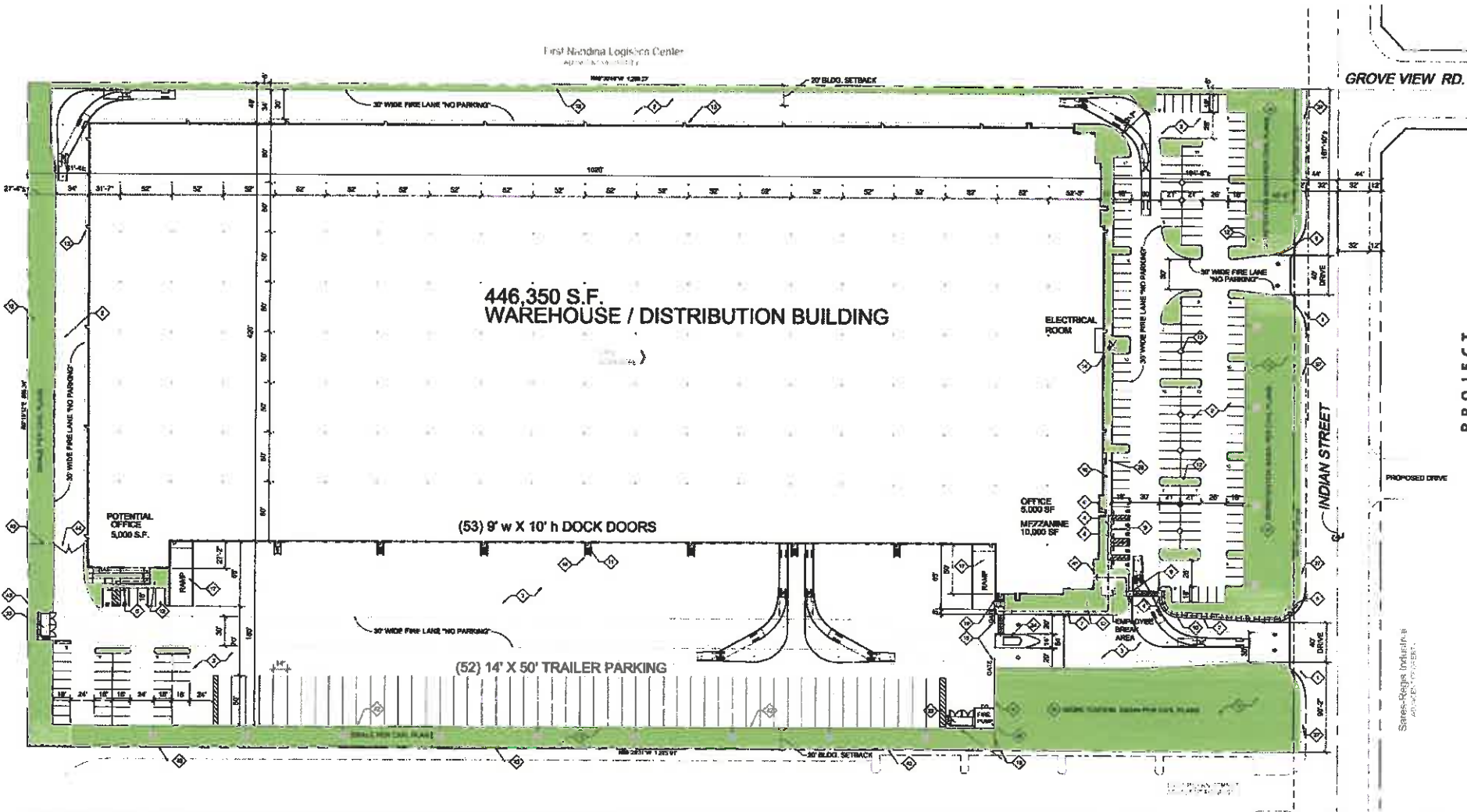
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## Notes

First Nandina Logistics Center  
APR 11, 2017



SARES-REGIS  
MORENO VALLEY, CA

PROJECT

PROPOSED DRIVE

Sares-Regis (Initials)  
04/11/2017

A CONCEPTUAL SITE PLAN

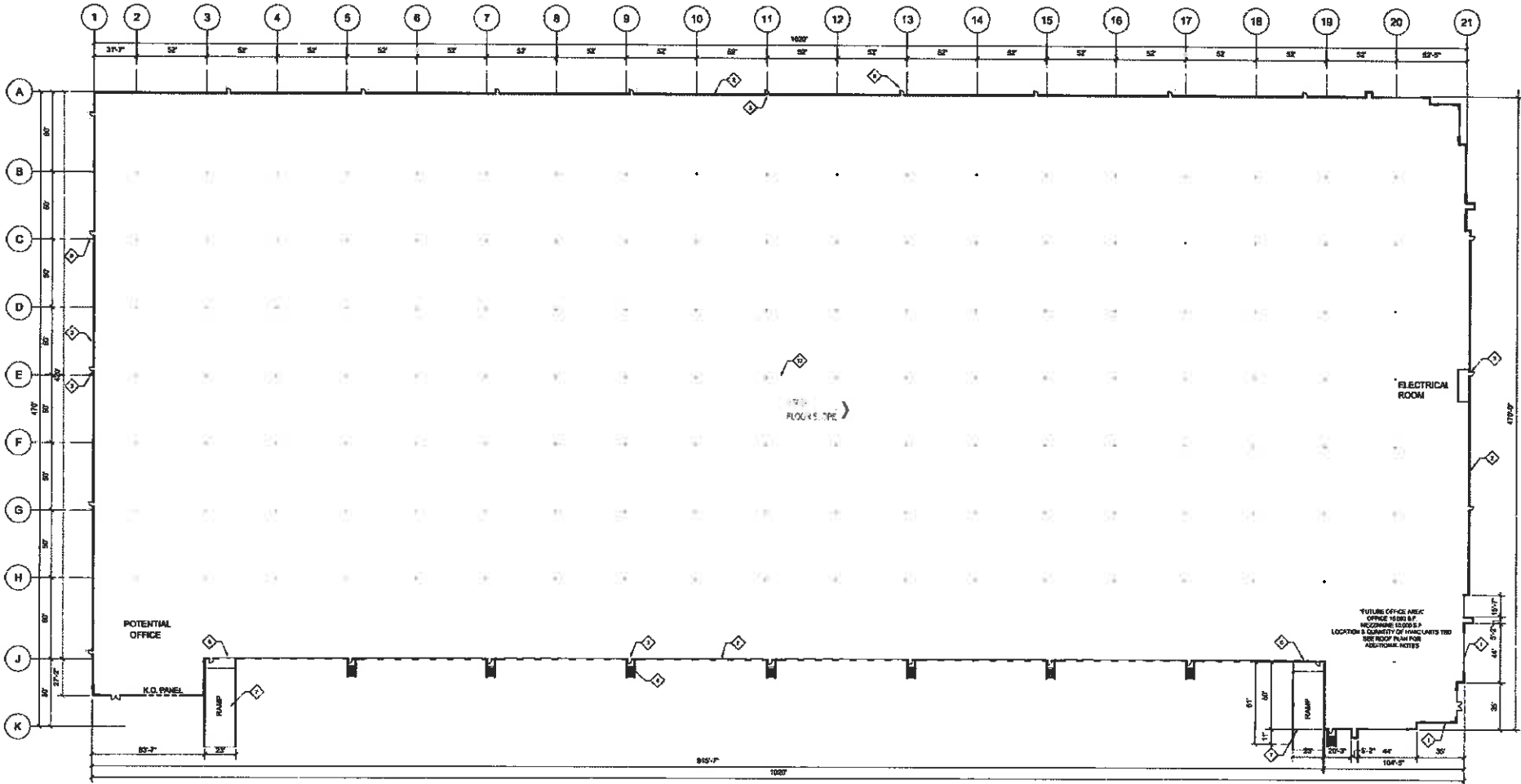
SCALE: 1" = 40'

LEGAL DESCRIPTION	UTILITY PROVIDERS	PROJECT INFORMATION	SITE LEGEND	SITE LEGEND	SITE PLAN KEY NOTES	
<p><b>PARCEL 4, SHEET 19</b> SURRENDERED SARES-REGIS LOGISTICS CENTER 2200 WINDMILL ROAD INDIAN VALLEY, CA 92546 PROJECT NO. 1701 (951) 538-3177</p> <p><b>OWNER</b> SARES-REGIS LOGISTICS CENTER 2200 WINDMILL ROAD INDIAN VALLEY, CA 92546 (951) 538-3177</p> <p><b>DESIGNER</b> HERDMAN RIERSON ARCHITECTURE + DESIGN INC. 18201 SCENIC WAY INDIAN VALLEY, CA 92546 (951) 538-3177</p> <p><b>DATE</b> APRIL 11, 2017</p> <p><b>PROJECT INFORMATION</b> CONSTRUCTION TYPE: 010 NUMBER OF FLOORS: 1 OCCUPANCY: 1 FIRE SEPARATION: YES (SFP)</p> <p><b>ZONING</b> INDIAN VALLEY INDUSTRIAL AREA PLANNING MAP INDUSTRIAL (I-1) (SFP)</p> <p><b>BLINDING STRADDLES</b> LINE SUBJECT TO BUILDING SETBACK - 30'-0" LINE SUBJECT TO SETBACK - 30'-0" LINE NEAR MULTIPLE SETBACK - 0'-0" (1) OF 7'-0" (2) (3)</p>	<p><b>TELEPHONE</b> SARES-REGIS HERDMAN RIERSON ARCHITECTURE + DESIGN INC.</p> <p><b>PROJECT INFORMATION</b> TOTAL PROJECT AREA: 25.00 AC TOTAL BUILDING AREA: 446,350 SF TOTAL TRAILER PARKING: 4,500 SF TOTAL OFFICE: 10,000 SF TOTAL GARAGE: 20,000 SF TOTAL STORAGE: 20,000 SF TOTAL CONCRETE: 100,000 SF</p> <p><b>LANDSCAPE PROVIDED</b> 111,111 SF 23.2%</p> <p><b>LANDSCAPE REQUIRED</b> WATERWAYS @ 1/2" @ 2' 0" DIA: 20 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 TOTAL REQUIRED: 50</p> <p><b>LANDSCAPE PROVIDED</b> STANDARD: 100 STALLS ADA: 7 ADAIC TRAILER STALLS: 52 TRAILER</p>	<p><b>PROJECT INFORMATION</b> TOTAL PROJECT AREA: 25.00 AC TOTAL BUILDING AREA: 446,350 SF TOTAL TRAILER PARKING: 4,500 SF TOTAL OFFICE: 10,000 SF TOTAL GARAGE: 20,000 SF TOTAL STORAGE: 20,000 SF TOTAL CONCRETE: 100,000 SF</p> <p><b>LANDSCAPE PROVIDED</b> 111,111 SF 23.2%</p> <p><b>LANDSCAPE REQUIRED</b> WATERWAYS @ 1/2" @ 2' 0" DIA: 20 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 LANDSCAPE @ 1/2" @ 2' 0" DIA: 10 TOTAL REQUIRED: 50</p> <p><b>LANDSCAPE PROVIDED</b> STANDARD: 100 STALLS ADA: 7 ADAIC TRAILER STALLS: 52 TRAILER</p>	<p><b>LANDSCAPE</b></p> <p><b>FIRE ACCESS LANE</b></p> <p><b>CONCRETE FINISH</b></p> <p><b>COMPACT PAVING STALL</b></p> <p><b>STANDARD PAVING STALL</b></p> <p><b>CLEAN AIR VEHICLE PARKING STALL</b></p> <p><b>TRAILER STALL</b></p> <p><b>12" HIGH CURB</b></p>	<p><b>LIGHT POLE 8' BY 8' HIGH POLE MOUNTED ON TOP OF 2' DIA X 4' HIGH 1" X 2" SFP</b></p> <p><b>EXIST SIGN</b></p> <p><b>TACKLE STORAGE</b></p> <p><b>FIRE HYDRANT</b></p> <p><b>ADA PATH OF TRAVEL</b></p> <p><b>PROPERTY LINE</b></p> <p><b>SETBACK LINE</b></p> <p><b>DRIVE CENTER LINE</b></p> <p><b>VICINITY MAP</b></p>	<p><b>KEY DRIVE C/L, ADA PATH OF TRAVEL STANDARDS REFER TO LANDSCAPE DRAWINGS FOR DIMENSIONS. PROVIDE SIGNAGE AS APPROPRIATE. REFER TO DIMENSIONS FOR ADDITIONAL INFO.</b></p> <p><b>ASPHALT FINISH. REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DIMENSIONS.</b></p> <p><b>CONCRETE FINISH. REFER TO GEA DIMENSIONS FOR SECTION AND FINISH. C/L TO CONCRETE WITH 2" S &amp; REPORT REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DIMENSIONS AT THESE SPACES IF APPLICABLE.</b></p> <p><b>FRAGMENTED BONES</b></p> <p><b>ADA SITE ENTRY SIGN PER CODE T.1.P</b></p> <p><b>ADA PARKING STALL SIGN PER CODE T.1.P PROVIDE AT ALL ADA STALLS</b></p> <p><b>ADA PATH OF TRAVEL</b></p> <p><b>PRECAST CONCRETE WHEEL STOP</b></p> <p><b>ZERO DUNE FACE</b></p> <p><b>LANDSCAPE FINISH. SEE SITE PLAN FOR ADA PATH OF TRAVEL. REFER TO LANDSCAPE DRAWINGS FOR DIMENSIONS. PROVIDE SIGNAGE AS APPROPRIATE. REFER TO DIMENSIONS FOR ADDITIONAL INFO.</b></p> <p><b>EXTENDED CONCRETE SIGN REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.</b></p> <p><b>CONCRETE LANDING PAD &amp; STAIRS AS BIDDING. EXISTING SIGNAGE. REFER TO GEA DIMENSIONS FOR ADDITIONAL INFORMATION.</b></p> <p><b>PROVIDE A TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.</b></p> <p><b>PROVIDE TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.</b></p> <p><b>PROVIDE TRANSFORMER LOCATION. PROVIDE BOLLARDS PER UTILITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.</b></p> <p><b>CONCRETE TRUCK BUMP WITH 4" HIGH CONCRETE GUARD-RAIL. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL AND SECTION DETAILS.</b></p> <p><b>CONCRETE SCHEDULE HALL WITH HIGH PAINTED.</b></p> <p><b>PUBLIC SIGNAGE. REFER TO CIVIL DRAWINGS.</b></p> <p><b>RECYCLE BICYCLE MARK. REFER TO LANDSCAPE DRAWINGS FOR MODEL, SPECIFICATION AND ADDITIONAL INFORMATION.</b></p> <p><b>PHOTIC REDIRECTION. REFER TO THE SIGN BIDDING TO CIVIL DRAWINGS &amp; LANDSCAPE DRAWINGS.</b></p>	<p><b>FINISH BOUNDARY</b></p> <p><b>BOUNDARY</b></p> <p><b>TRASH COLLECTION</b></p> <p><b>PUMP HOUSE</b></p> <p><b>WATERMETER</b></p> <p><b>17'-0" HIGH STEEL TUBING BOLLARD PROVIDE OVER PAD FOR FIC DPT. #10</b></p>

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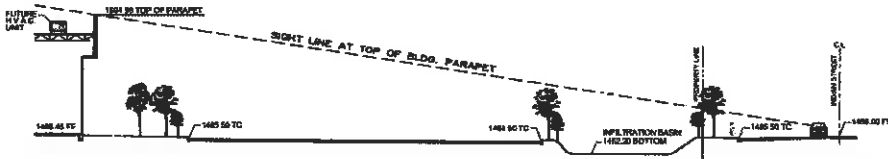
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**CONCEPTUAL SITE PLAN A1**



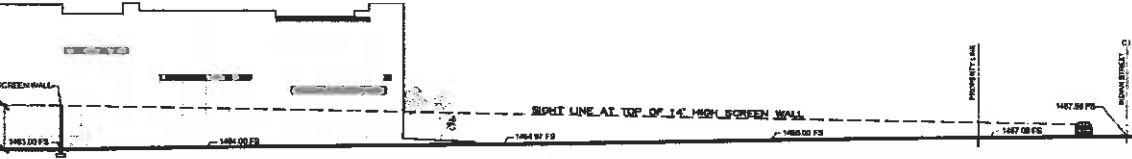
A CONCEPTUAL FLOOR PLAN

SCALE: 1" = 30'



B SIGHT LINE FROM INDIAN STREET TO BUILDING PARAPET

SCALE: 1/16" = 1'-0"



C SIGHT LINE FROM INDIAN STREET TO 12' HIGH SCREEN WALL

SCALE: 1/16" = 1'-0"

FLOOR PLAN WALL LEGEND	FLOOR PLAN GENERAL NOTES	FLOOR PLAN KEY NOTES
<p>CONCRETE IN F.F.P. (SI)</p> <p>SLIGHTPOINT SYSTEM - SEE ELEVATION FOR AREAS WITH THIS</p> <p>PAVED WALKWAYS SHOWN WITH FLOOR SLAB PER GENERAL NOTES</p>	<p>1. FINISH FLOOR SLAB IS SCOURED, REFER TO CIVIL DRAWINGS FOR ALL LATHING AND REINFORCEMENT.</p> <p>2. PROVIDE STIFF STRIP 1/4" MINIMUM BENEATH SLAB FOR MANUFACTURING AND FINISHING AND PER SLAB REPORT TO BE SUBMITTED TO THE PROJECT ARCHITECT BY 10/15/2016. SEE 10/15/2016 REPORT FOR MANUFACTURING AREAS.</p> <p>3. REFER TO STRUCTURAL DRAWINGS FOR SECTION OF FOUNDATION.</p> <p>4. FOUNDATION IS TO BE CONFORM TO A SEPARATE REPORT.</p> <p>5. PROVIDE FIRE RESISTANT WALLS AS REQUIRED BY FIRE DEPARTMENT AND DESIGN.</p> <p>6. PROVIDE ALUMINA FLOOR FINISH AT ALL LEVELS FOR ALL AREAS EXCEPT REAR STAIRS. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES.</p> <p>7. ALL FLOOR FINISHES TO BE REVIEWED TO CHECK FINISH AND FINISHING TO BE SCALED.</p> <p>8. PROVIDE FIRE RESISTANT WALLS AS REQUIRED BY FIRE DEPARTMENT AND DESIGN.</p> <p>9. PROVIDE ALUMINA FLOOR FINISH AT ALL LEVELS FOR ALL AREAS EXCEPT REAR STAIRS. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES.</p> <p>10. PROVIDE ALUMINA FLOOR FINISH AT ALL LEVELS FOR ALL AREAS EXCEPT REAR STAIRS. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES.</p> <p>11. FLOOR FINISH TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>12. FLOOR FINISH TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>13. FLOOR FINISH TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>14. 1/4" MIN. FINISHES IN CONCRETE SLAB ARE TO BE CLASS V.</p> <p>15. SLAB FINISH TO BE SPEC. FORTY FIVE TRIMS, SUBMIT SAMPLES.</p> <p>16. DIMENSIONS ARE TO FACE OF CONCRETE PANELS, UNLESS FACE OF OTHER MATERIALS IS SPECIFIED OTHERWISE.</p> <p>17. PROVIDE FIRE RESISTANT WALLS AS REQUIRED BY FIRE DEPARTMENT AND DESIGN. SEE 10/15/2016 REPORT FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES.</p>	<p>14. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>15. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>16. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>17. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>18. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>19. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>20. ALL WALL DOORS, CORNER DOORS AND HALL UP DOORS TO BE CLASS V FOR ACCESS-AN SEE 2" SEE CIVIL SHEETS.</p> <p>21. PROVIDE SITE, BELL AND BELL WITH CONCRETE AND FINISHES FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES. REFER TO ARCHITECTURAL DRAWINGS FOR FINISHES.</p> <p>22. SCOURING TO BE PROVIDED TO MAINTAIN A CLEAN FLOOR SLAB. ALL TRIMS AND EQUIPMENT TO BE DAMAGED.</p>

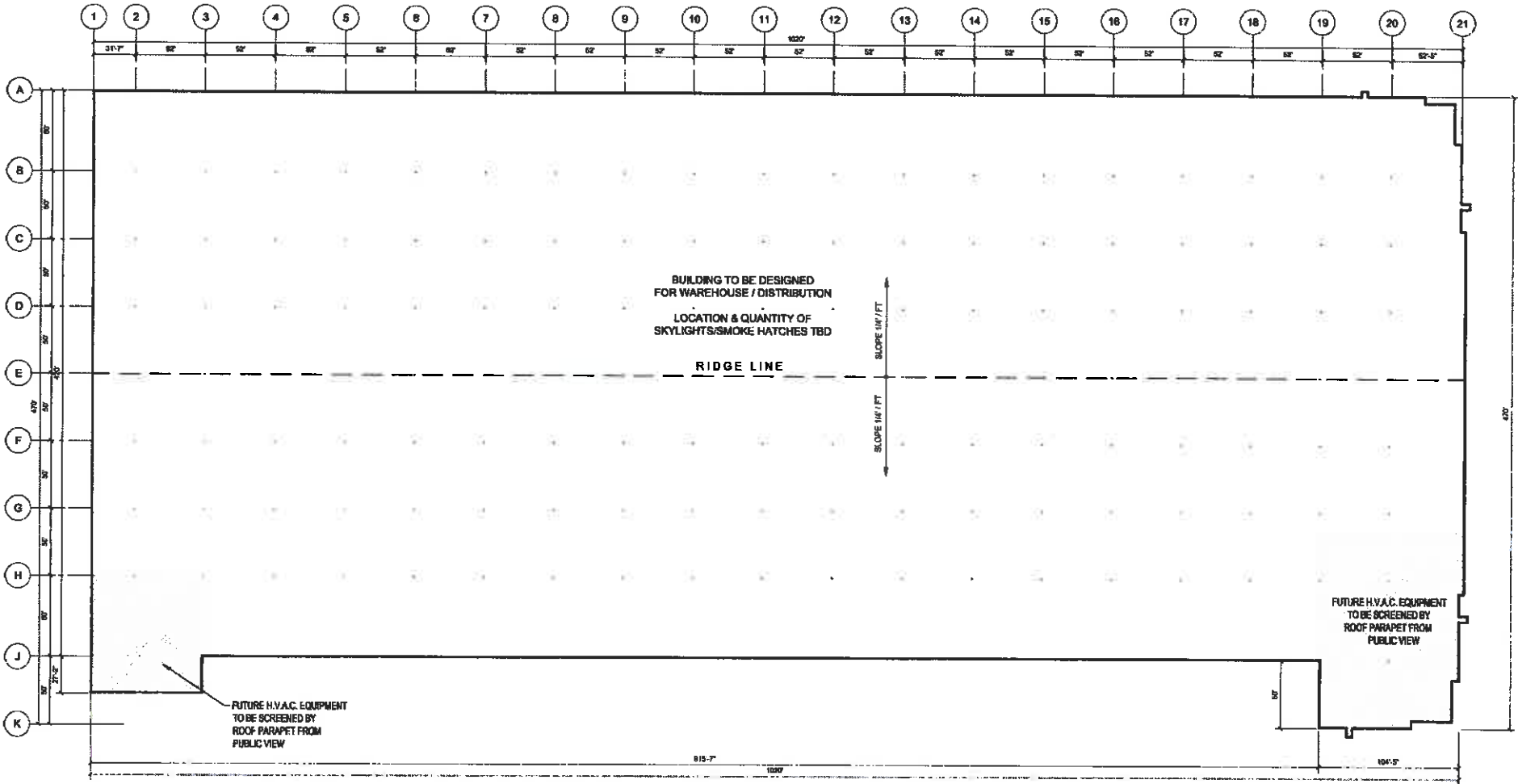
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10/15/2016  
BY: 11/2016  
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**CONCEPTUAL  
FLOOR PLAN**

**A2**



A CONCEPTUAL ROOF PLAN

SCALE: 1" = 30'

**ROOF PLAN LEGEND**

- FUTURE OFFICE WITH "CORNER" OF EQUIPMENT TBD.
- PROPOSED WAREHOUSE AREA. LOCATION OF SMOKE HATCH OR SMOKE EXHAUST TBD.

**ROOF PLAN GENERAL NOTES**

1. VERIFY POSITIVE ROOF DRAINAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING ROOF SHELL AND/OR ROOFING. SEE "S" DRAWINGS FOR CONTRACT. ETC.
2. BEST PRACTICE TO BE CLASSED IN LISTED ROOFING ASSEMBLY DESIGNED TO RESIST WINDS OR AIR RESISTANCE.
3. SEE ARCHITECTURAL DRAWINGS FOR ROOF ELEVATIONS, ETC.
4. REFER TO DETAIL 1441 FOR PARAPET ROOF SECTION.
5. PROVIDE DETAILS ON SMOKE HATCH/ALL ALL MECHANICAL UNITS AND ROOF EQUIPMENT AT SKYLIGHTS & SMOKE HATCHES. PROVIDE POSITIVE DRAINAGE AROUND UNITS AT 1/2" FOR SLOPE MINIMUM.
6. COORDINATION TO COORDINATE ALL ROOF PENETRATIONS. SEE ROOF DETAIL SHEET FOR PENETRATIONS.
7. ALL VENTILATING INFORMATION IS TO BE REFERRED TO ALL APPLICABLE CODES AND LOCAL JURISDICTIONS.
8. ALL MECHANICAL COMMUNITY DRAINS TO BE BE OFF ROOF.
9. O.D. TO EXCEED PER REQUIREMENT FOR ROOF WALK PANELS WITH DRAINS.
10. ROOFING CAP WALK TO HAVE UNBARRICADED SQUARE RIBBED AND EQUAL TO OR GREATER THAN O.C. AND AN IRREGULAR TO OR GREATER THAN PER FOR LOAD CAPACITY OF USE. MINIMUM RATING: STRONGFLOOR TABLE 20 105 1.2.2.
11. ROOF ELEVATIONS TO BE VERIFIED WITH ARCHITECTURAL DRAWINGS.
12. FOR ALL SPECIFICATIONS/NOTATIONS THAT ROOFING SHALL DETAIL ON AND VERIFY ALL CONTRACTORS TO BE FROM P.A.C. UNITS MUST BE VERIFIED BEFORE ROOFING.
13. ALL MECHANICAL EQUIPMENT AT ROOF'S ARE OPERATING UNITS.
14. PROVIDE A FULL TASK USE SIGNATURE INSPECTION AND CAP DISTANCE. BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE CONSTRUCTION INSPECTION FIRM TO BE OBTAINED FROM THE STATE OF ANY ALL UP ROOFING WORK.
15. SEE PROVISIONS TO BE FULFILLED.
16. ROOF ELEVATION SHALL BE CATERED DIRECTLY ABOVE A DRAINAGE GRID. VERIFY WITH P.E. INSPECTION PLANS PRIOR TO INSTALLATION.
17. ALL MECHANICAL UNITS SHALL BE "TANK" STYLE DRAIN COATED AS MANIPULATED BY APPROVED EQUAL.
18. ALTERNATIVE DRAINAGE SYSTEMS WORKING MORE THAN 100' DIAMETER SHALL BE APPROVED BY AN APPROVED LOCAL PROPERTY. OR PROVIDE STORM SERVICE, OR A LOCAL, ALTERNATIVE DRAINAGE SIGNAL, AT CONSTANTLY ATTENDED LOCATION.

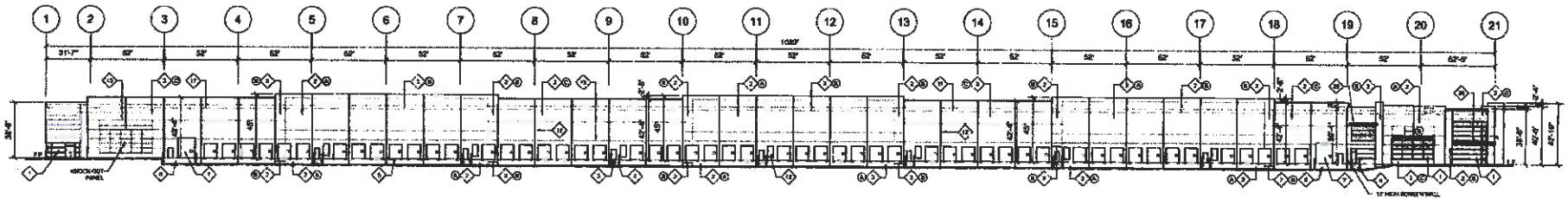
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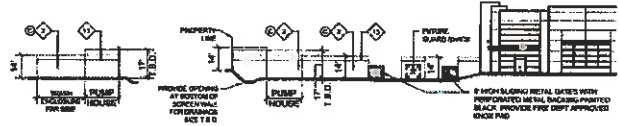


**CONCEPTUAL  
ROOF PLAN  
A3**



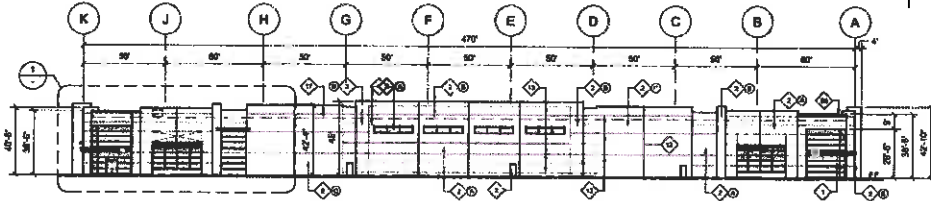
A | SOUTH EXTERIOR ELEVATION

SCALE: 1" = 30'



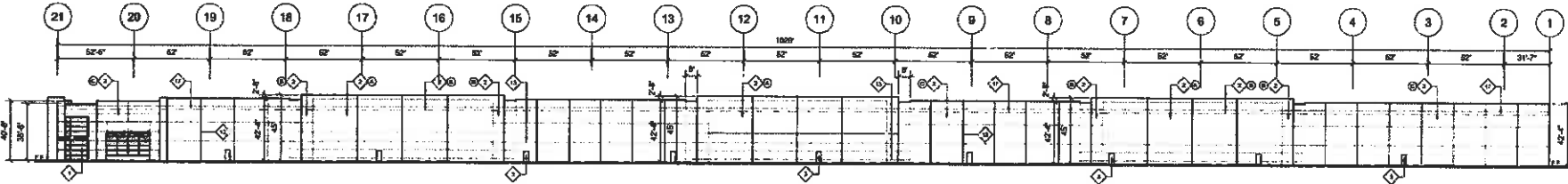
B.2 | SCREEN WALL ELEV.

B.1 | SCREEN WALL ELEV. SCALE: 1" = 30'



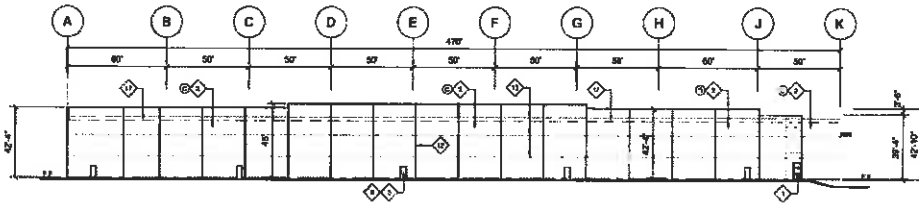
B | EAST EXTERIOR ELEVATION

SCALE: 1" = 30'



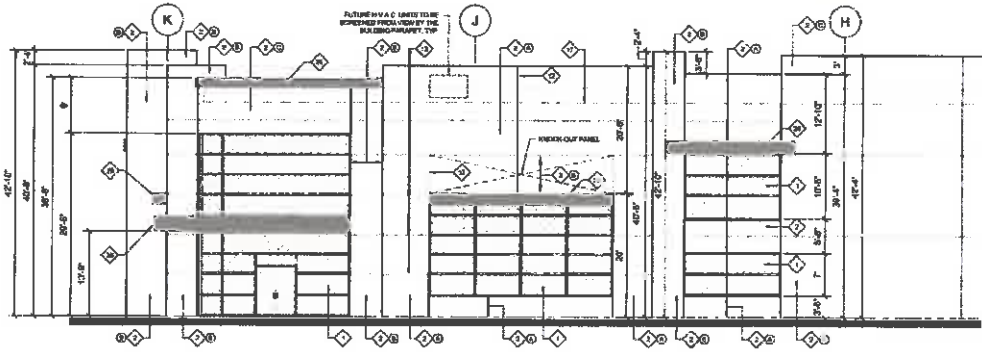
C | NORTH EXTERIOR ELEVATION

SCALE: 1" = 30'



D | WEST EXTERIOR ELEVATION

SCALE: 1" = 30'



1 | ENLARGED EAST EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

- ELEVATION KEY NOTES**
- ① STRUCTURAL FRAMING, SEE EXTERIOR COLOR SCHEDULE
  - ② CONCRETE SLIP-UP PANEL, FYP PAINTED, SEE EXTERIOR COLOR SCHEDULE
  - ③ EXTERIOR WINDOW FRAME, SEE EXTERIOR COLOR SCHEDULE
  - ④ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑤ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑥ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑦ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑧ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑨ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑩ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑪ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑫ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑬ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑭ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑮ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑯ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑰ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑱ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑲ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ⑳ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE
  - ㉑ EXTERIOR WINDOW GLASS, SEE EXTERIOR COLOR SCHEDULE

- EXTERIOR COLOR SCHEDULE**
- ① DARK FERRUGINOUS EXTERIOR PAINT COLOR: DFC 400 TRIM: TAP
  - ② DARK CHERRYWOOD EXTERIOR PAINT COLOR: DFC 400 TRIM: TAP
  - ③ DARK CHERRYWOOD EXTERIOR PAINT COLOR: DFC 400 TRIM: TAP
  - ④ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ⑤ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ⑥ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ⑦ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ⑧ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ⑨ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
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  - ⑳ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM
  - ㉑ EXTERIOR METAL: CONCRETE FINISH WITH MATCH DARK ANODIZED ALUMINUM

- LEGEND**
- ① WINDOW GLAZING
  - ② WINDOW GLAZING
  - ③ WINDOW GLAZING
  - ④ WINDOW GLAZING
  - ⑤ WINDOW GLAZING
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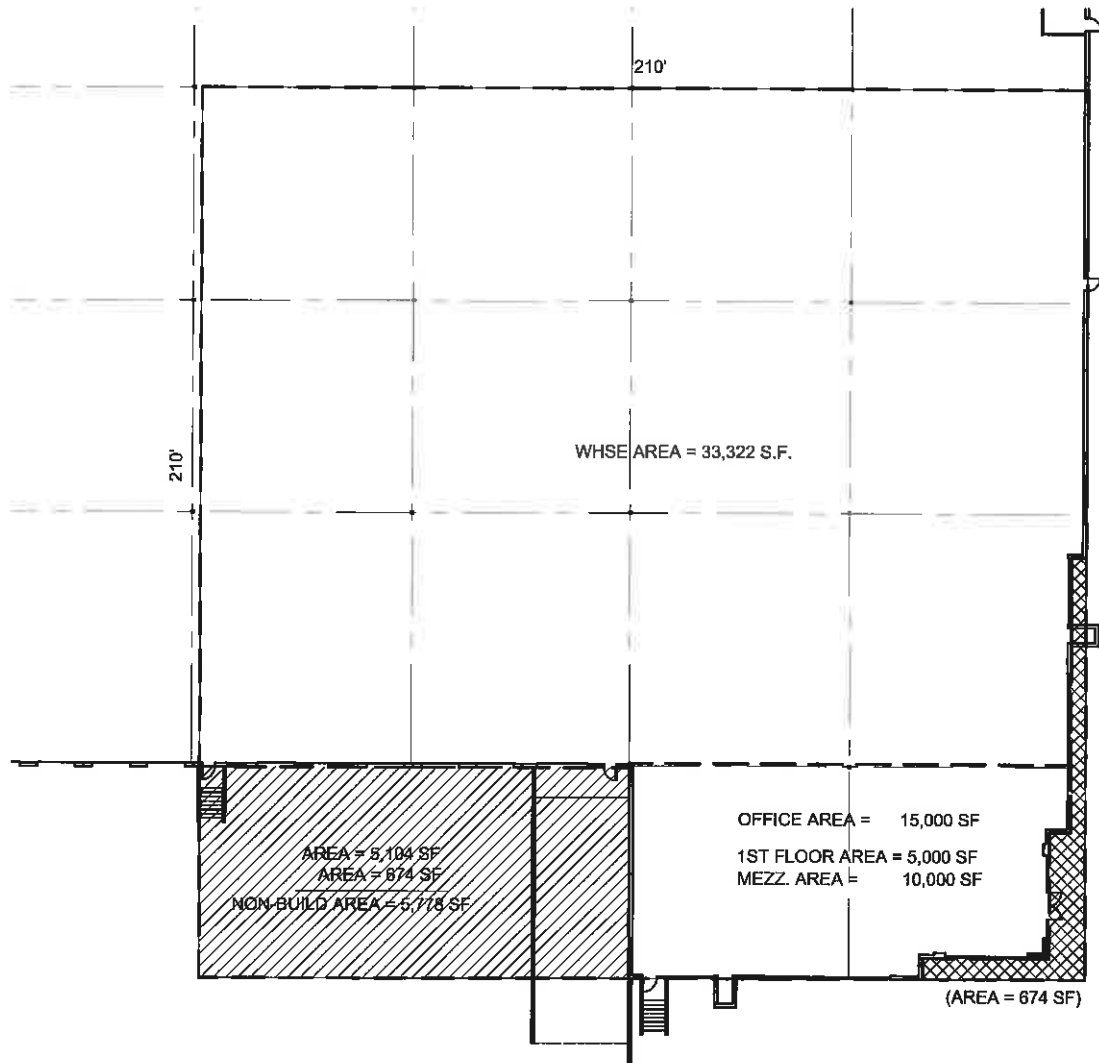
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A15-0571  
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**EXTERIOR  
ELEVATIONS**  
**A4.0**



WHSE AREA = 33,322 SF  
 OFFICE AREA = 15,000 SF  
 NON-BUILDABLE AREA = 5,778 SF

- (2) To ensure compliance with these criteria, an acoustical study shall be required to be completed for any development proposed to be situated where the aviation-related noise exposure is more than 20 dB above the interior standard (e.g., within the CNEL 60 dB contour where the interior standard is CNEL 40 dB). Standard building construction is presumed to provide adequate sound attenuation where the difference between the exterior noise exposure and the interior standard is 20 dB or less.

#### 2.4 *Supporting Compatibility Criteria for Safety:*

- (a) Countywide Policy 4.2.3: The acceptability of land uses of special concern within certain compatibility zones around March ARB/IPA shall be evaluated in accordance with the criteria indicated in Table MA-2. The criteria listed in Countywide Policy 4.2.3 do not apply.
- (b) Countywide Policy 4.2.4: The requirements for open land do not apply to the vicinity of March ARB/IPA except with regard to Compatibility Zones A and B1.
- (c) Countywide Policy 4.2.5: For the vicinity of March ARB/IPA, new nonresidential development shall not be clustered in a manner that would result in a usage intensity within any one acre (the number of people per single acre) exceeding the limits specified in Table MA-2. Clustering of residential development is encouraged, but the density within any one acre shall be limited to no more than 4.0 times the allowable average density for the zone in which the development is proposed.
- (d) Countywide Policy 4.2.6: The policy concerning risk reduction through building design is not applicable to the March ARB/IPA influence area.
- (e) Calculation of Usage Intensities for Retail Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of retail sales and display areas (a.k.a. mercantile areas) or “showrooms” (excluding restaurants and other uses specifically identified separately from retail/mercantile in Table C1) shall be evaluated as having an occupancy level of 115 gross square feet per person without eligibility for the 50 percent reduction in the resulting usage intensity (people per acre) as described in the appendix.
- (f) Calculation of Usage Intensities for Warehouse Uses: Notwithstanding the provisions of Appendix C and Table C1 of the *Riverside County Airport Land Use Compatibility Plan*, the usage intensities of warehouses, distribution centers, e-commerce centers, fulfillment centers, and similar uses in buildings larger than 200,000 gross square feet, exclusive of offices, conference rooms, break rooms and other uses identified separately from warehouses in Table C1, shall be calculated as follows:
  - (1) High-cube warehouses and distribution centers, other than e-commerce centers and fulfillment centers, shall be evaluated on the basis of 35% of the usage intensity that results from the occupancy level indicated in Table C1.
  - (2) E-commerce centers, fulfillment centers, and other similar uses shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1.

- (3) Office space in these buildings shall be evaluated on the basis of 50% of the usage intensity that results from the occupancy level indicated in Table C1. All other separately identified uses shall be evaluated on the basis of the occupancy level listed for the respective use in Table C1.

2.5 *Supporting Compatibility Criteria for Airspace Protection:*

- (a) *Countywide Policy 4.3.3:* For proposed objects in the March ARB/IPA vicinity, the heights requiring ALUC review shall be as specified in Table MA-2.
- (b) *Countywide Policy 4.3.4:* Heights of objects shall be restricted in accordance with the airspace protection surfaces depicted in Table MA-2.
- (c) *Countywide Policy 4.3.5:* The compatibility zones within which dedication of an aviation easement shall be required as a condition of development is as indicated in Table MA-2. Except within Compatibility Zone A, aviation easements shall be dedicated to the March Inland Port Airport Authority or other civilian agency that may supersede it (successor-in-interest). Any aviation easements required within Zone A shall be dedicated to the United States of America.
- (d) *Countywide Policy 4.3.7:* Additional hazards to flight as listed in Table MA-2 are to be avoided in the vicinity of March ARB/IPA.

2.6 *Supporting Compatibility Criteria for Overflight:*

- (a) *Countywide Policy 4.4.3:* The compatibility zones within which a deed notice shall be required as a condition of development are as indicated in Table MA-2.

2.7 *Site-Specific Exceptions:*

Four development projects near March ARB have received entitlements in the form of Development Agreements or Disposition and Development Agreements from the respective jurisdictions prior to adoption of the *ALUCP* by the Riverside County ALUC. As such, exceptions to the compatibility criteria outlined in the preceding subsections are granted for these projects provided that they meet the conditions indicated below. (The locations of these exceptions are shown on Map MA-1 and the numbers below correspond to the numbering on that map.)

Exceptions for Sites 1 through 4 are valid only as long as the indicated specific plans and associated development agreements remain in effect. Any changes to the specific plans must be reviewed by the ALUC to ensure that increases in intensity of the proposed development would not result from the changes. Further, if the development agreements should expire, the criteria applicable to the property for which these exceptions apply shall revert to the underlying compatibility criteria indicated in this *ALUCP*.

- (a) *(Exception Site 1) March Business Center Specific Plan (SP-1) and Meridian (SP-5), March Joint Powers Authority*
- (1) Situated in Compatibility Zones B1, B2, C1, C2 and D.
- (2) March Business Center, a 1,032-acre, non-residential business park located at the southwest corner of Alessandro Boulevard and I-215 freeway within the March Joint Powers Authority, approved with specific airport compatibility provisions



# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

**ATTENTION:** ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Moreno Valley may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
Riverside, California

DATE OF HEARING: April 14, 2016

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1185MA16 – Vogel Properties (Representative: Nick Johnson) – City of Moreno Valley Case No. PA16-0002 (Site Plan Review). The applicant is proposing to develop a 446,350 square foot warehouse/distribution center on 19.61 acres. The building floor plan consists of 426,350 square feet of warehouse area, 10,000 square feet of office area, and 10,000 square feet of mezzanine area. The project site is located northerly of Harley Knox Boulevard, southerly of a straight-line westerly extension of Grove View Road and Nandina Avenue, easterly of Heacock Street, and westerly of Indian Street. (Airport Compatibility Zones B2 and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

**FURTHER INFORMATION:** Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Julia Descoteaux of the City of Moreno Valley Planning Department at (951) 413-3000, ext.3209.

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 3/3/2016

The attached property owners list was prepared by Riverside County GIS

APN (s) or case numbers 316-210-019, 020, 057, 077 For

Company or Individual's Name Planning Department

Distance buffered 300'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

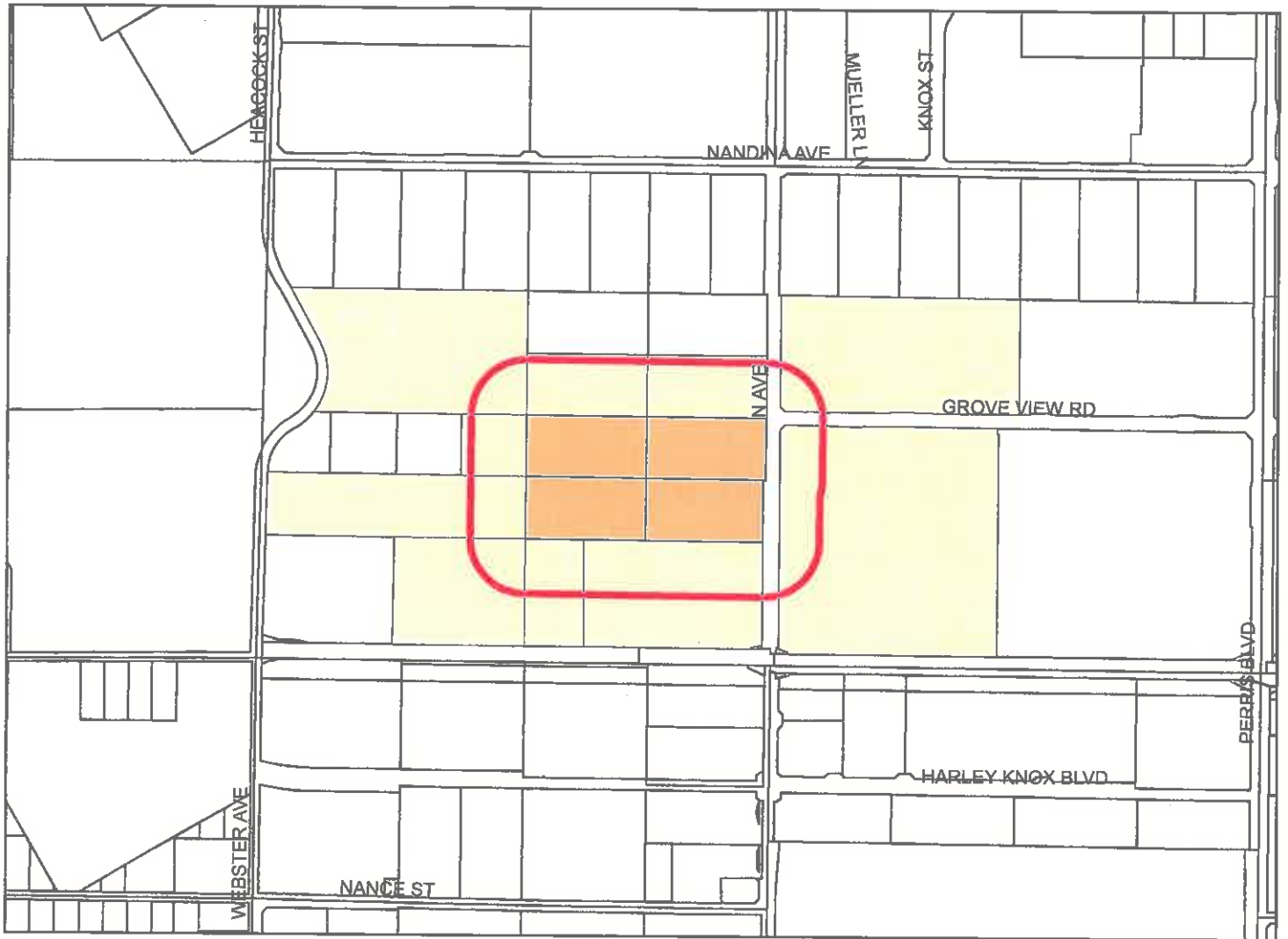
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2<sup>nd</sup> Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

**APN: 316-210-019, 020, 057, 077 (300 feet buffer)**



**Selected Parcels**

316-210-009 316-210-011 316-210-017 316-210-018 316-210-055 316-210-026 316-210-069 316-210-085 316-210-080 316-210-025  
316-210-019 316-210-020 316-210-057 316-210-077



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**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP 1185MA16

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application March 2, 2016  
 Property Owner Vogel Properties Phone Number 714.389.2800  
 Mailing Address 300 Paseo Tesoro  
Walnut, CA 92701

Agent (if any) Nick Johnson Phone Number 818.606.3560  
 Mailing Address 6524 Deerbrook Road  
Oak Park, CA 91377

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 17845 Indian Street  
Moreno Valley, CA 92552  
 Assessor's Parcel No. 316-210-019, -020, -057, -077 Parcel Size 19.64 acres  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification Business Park, Industrial

March  
B2, C1

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

MWL B2 + C1

Existing Land Use (describe) Vacant land.

Proposed Land Use (describe) One industrial warehouse and related site and access improvements.  
Additional details about proposed land use is provided as an attachment to this application.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) 1  
 For Other Land Uses Hours of Use 24 hours.  
 (See Appendix C) Number of People on Site Maximum Number 527  
 Method of Calculation California Building Code.  
Calculation table provided as an attachment to this application.

Height Data Height above Ground or Tallest Object (including antennas and trees) 60 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1,469 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received \_\_\_\_\_

Agency Name \_\_\_\_\_

City of Moreno Valley

Staff Contact \_\_\_\_\_

Julia Descoteaux

Phone Number \_\_\_\_\_

(951) 413-3000 x3209

Agency's Project No. \_\_\_\_\_

PA16-0002 (Site Plan)

Type of Project

General Plan Amendment

Zoning Amendment or Variance

Subdivision Approval

Use Permit

Public Facility

Other Site Plan

julia.d@moval.org

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- . . . . . 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 . . . . . Check for Fee (See Item "C" below)

- 1 . . . . . Completed Application Form
- 1 . . . . . Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 . . . . . Elevations of Buildings - Folded
- 1 . . . . . 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 . . . . . Check for review–See Below

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.3

**HEARING DATE:** April 14, 2016

**CASE NUMBER:** ZAP1184MA16 – MGP X Properties LLC (Representative:  
Romero Thorsen Design)

**APPROVING JURISDICTION:** City of Riverside

**JURISDICTION CASE NO:** P15-0820 (Specific Plan Amendment), P15-0978 Pylon Sign  
(Design Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed Specific Plan Amendment CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Design Review CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant is proposing to amend the Specific Plan Development Standards (Section IV) of the Canyon Springs Business Park Specific Plan to allow for an additional pylon sign along the 215 Freeway with a maximum height limit of 75 feet and total sign area of 760 square feet and to construct such a sign at the northwest corner of the 15.5 acre parcel that includes the Valley Gateway Plaza shopping center. The proposed sign structure will be 75 feet in height and 31.5 feet in width. The sign will be a non-LED sign and will include a 100 square foot sign identifying the name of the shopping center, plus five tenant sign panels totaling 660 square feet of sign area.

**PROJECT LOCATION:** The project site is located easterly of Interstate 215, northerly of the westerly extension of Corporate Center Place, southerly of Canyon Crossing, and westerly of Valley Springs Parkway within the City of Riverside, approximately 15,900 feet northwest of the northwesterly terminus of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area: March Air Reserve Base/Inland Port Airport

b. Land Use Policy: Airport Compatibility Zone C1

c. Noise Levels: Below 60 CNEL from aircraft

**BACKGROUND:**

Non-Residential Average and Single-Acre Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the project site is located within the C1 Compatibility Zone, which limits average intensity to 100 people per acre and single-acre intensity to 250 people. The proposed sign does not affect the potential capacity of on-site structures.

Prohibited and Discouraged Uses: The proposed sign is not prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area outside the 60 CNEL aircraft noise contour.

Part 77: The elevation of Runway 14-32 at its northwesterly terminus is approximately 1,535 feet above mean sea level (AMSL). The project site is located 15,900 feet from the runway at March Air Reserve Base. At this distance, structures exceeding a top point elevation of 1694 feet AMSL would require notice pursuant to the online Form 7460-1 process. The elevation of the pylon sign is 1550 AMSL, and the proposed sign height is 75 feet, for a total maximum elevation of 1625 feet. This number is below the required threshold and therefore review of the proposed project by the FAA Obstruction Evaluation Service is not required for height/elevation reasons.

Open Area: Within the March Air Reserve Base/Inland Port Airport Influence Area, Airport Compatibility Zone C1 does not require land to be set aside as open areas.

**CONDITIONS (applicable to the proposed Design Review):**

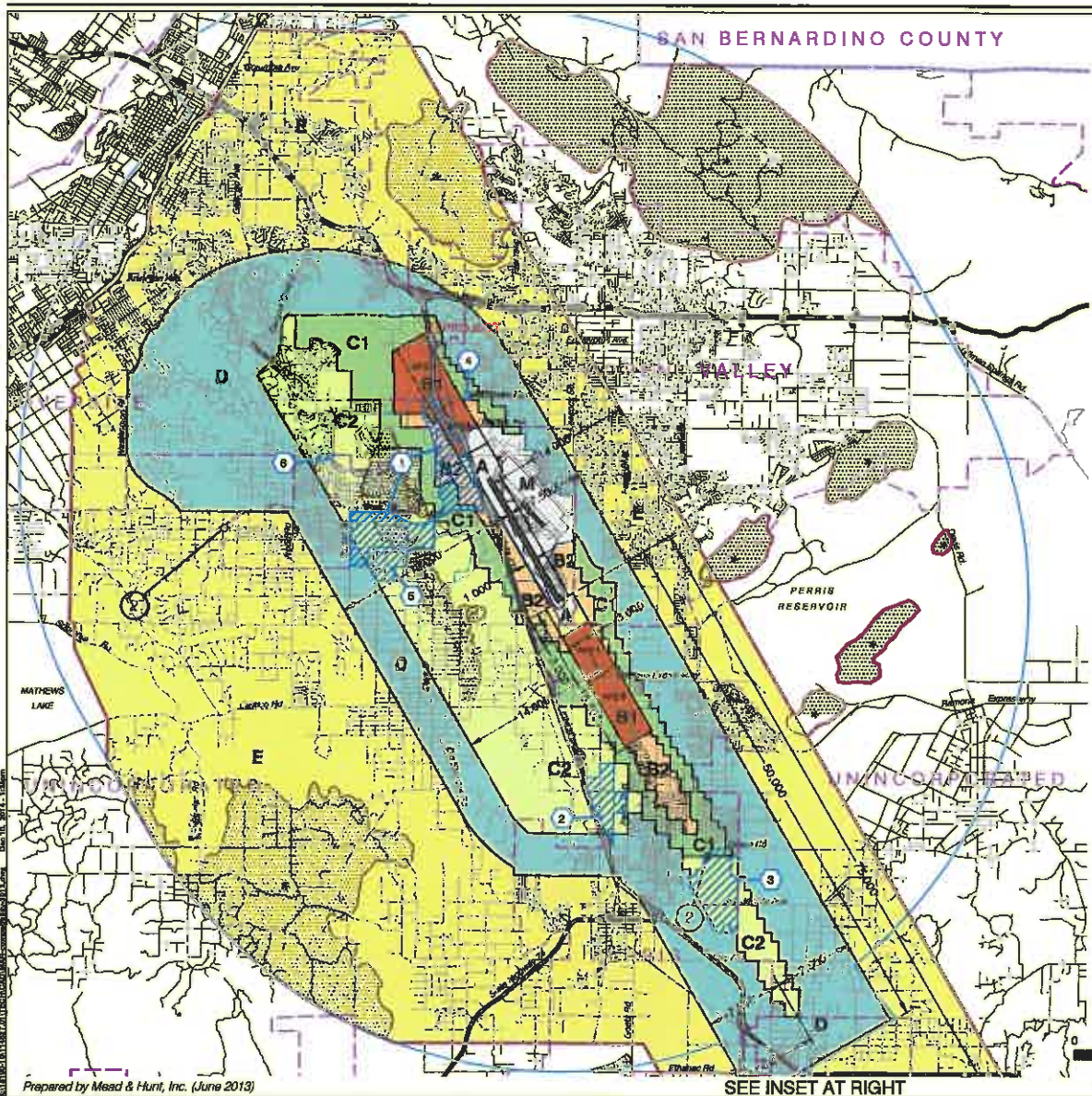
1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) The use of any structures on this site as children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly-entertainment, or places of assembly-non-entertainment, excluding such uses as may have been established prior to November 13, 2014.
3. The attached disclosure notice shall be provided to all prospective purchasers of the property and tenants of the buildings, and shall be recorded as a deed notice.
4. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.



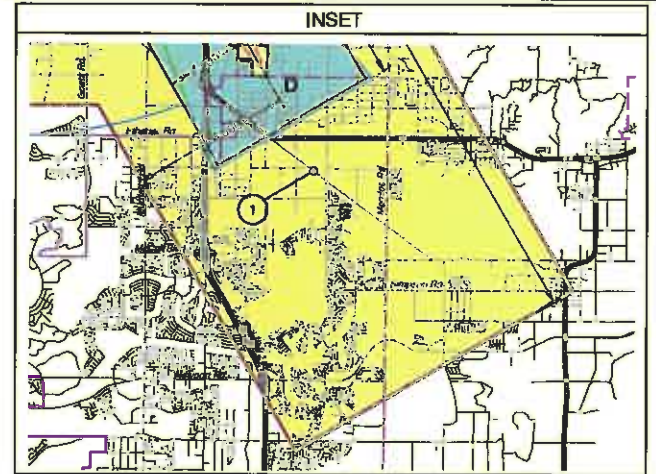
# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

- |   |  |
|---|--|
| <p><b>Compatibility Zones</b></p> <ul style="list-style-type: none"> <li>— Airport Influence Area Boundary</li> <li>— Zone A</li> <li>— Zone B1</li> <li>— Zone B2</li> <li>— Zone C1</li> <li>— Zone C2</li> <li>— Zone D</li> <li>— Zone E</li> <li>— Zone M</li> <li>— High Terrain Zone</li> <li>— FAR Part 77 Military Outer Horizontal Surface Limits</li> <li>— FAR Part 77 Notification Area</li> </ul> | <p><b>Boundary Lines</b></p> <ul style="list-style-type: none"> <li>— March Air Reserve Base / Air Force Property</li> <li>— March Joint Powers Authority Property Line</li> <li>— County Boundary</li> <li>— City Limits</li> <li>— Site-Specific Exceptions (existing local agency commitments to development projects)</li> </ul> |
|---|--|
- 
- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.</li> <li>② Point at which departing aircraft typically reach 3,000 feet above runway end.</li> </ul> | <ul style="list-style-type: none"> <li>① March JPA: March Business Center/Meridian</li> <li>② Perris: Harvest Landing</li> <li>③ Perris: Park West</li> <li>④ Moreno Valley: Affordable Housing</li> <li>⑤ March JPA: Ben Clark Training Center</li> <li>⑥ Riverside: Ridge Crest Subdivision</li> </ul> |
|---|--|



Note:  
All dimensions are measured from runway ends and centerlines.



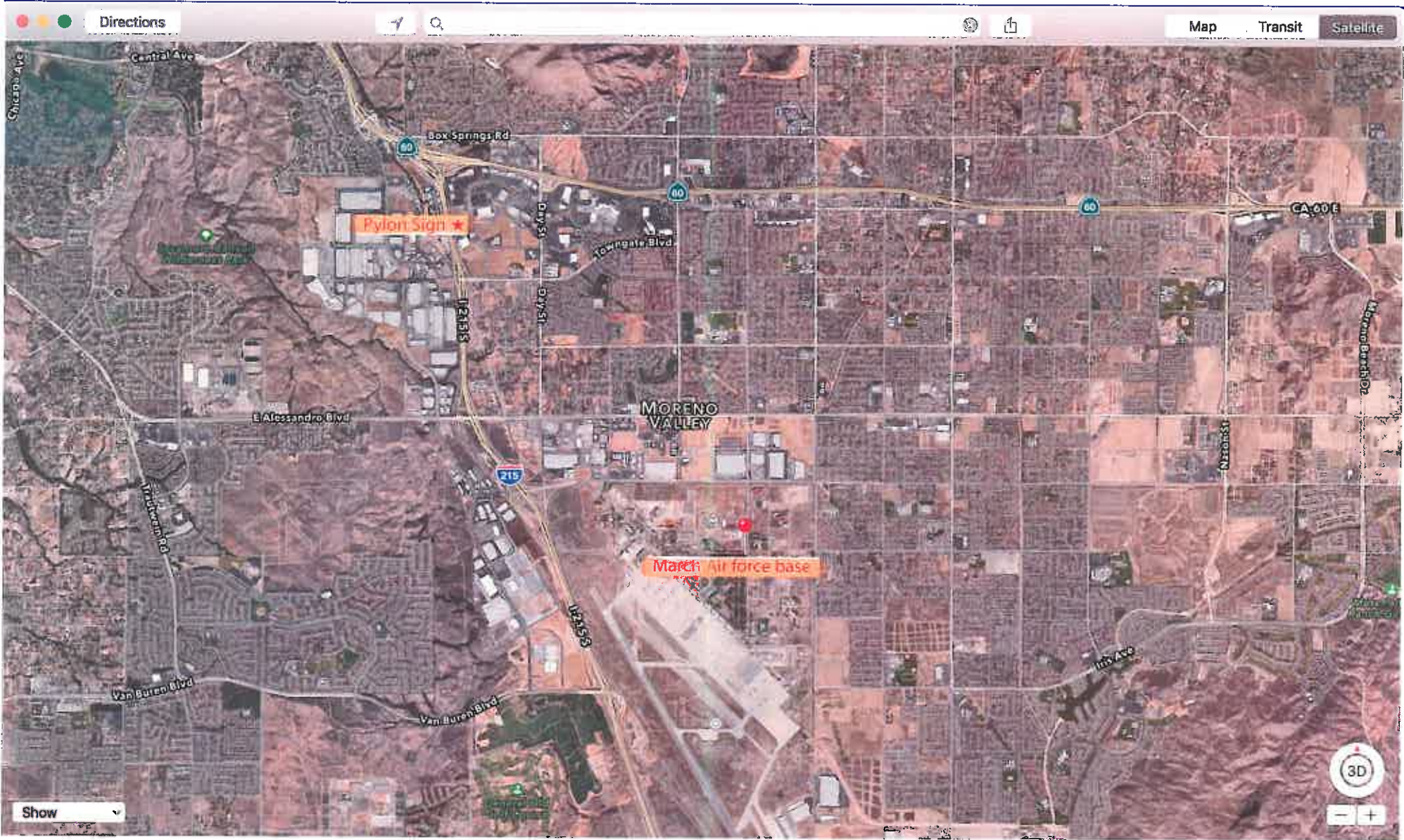
Base map source: County of Riverside 2013

**Riverside County**  
**Airport Land Use Commission**  
**March Air Reserve Base / Inland Port Airport**  
**Land Use Compatibility Plan**  
 (Adopted November 13, 2014)

Map MA-1  
  
**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT



Directions



Map Transit Satellite

Pylon Sign

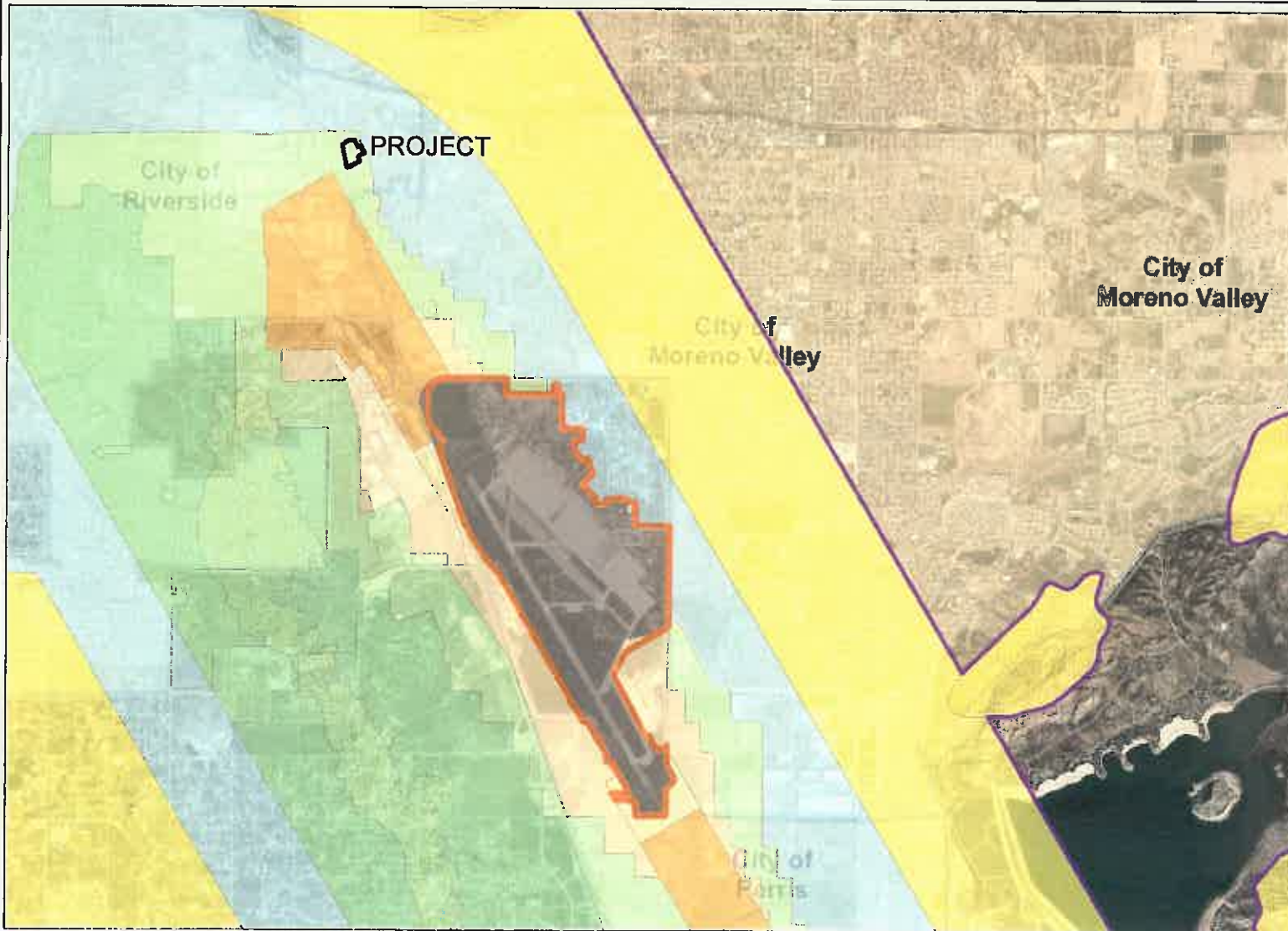
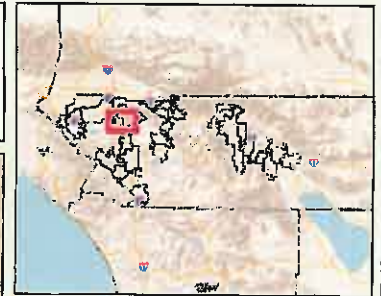
March Air force base

MORENO VALLEY

Show



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 7,952 15,904 Feet



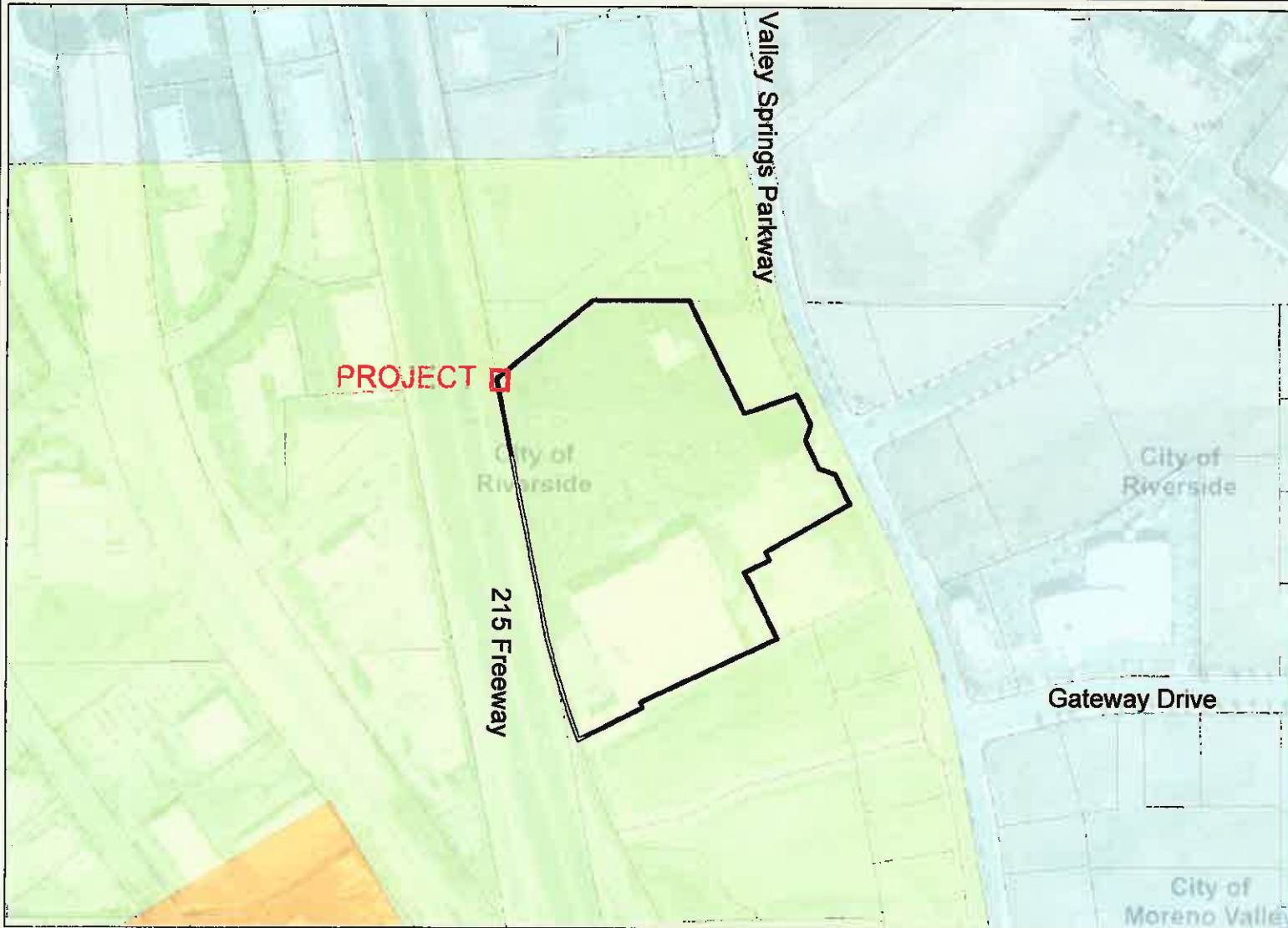
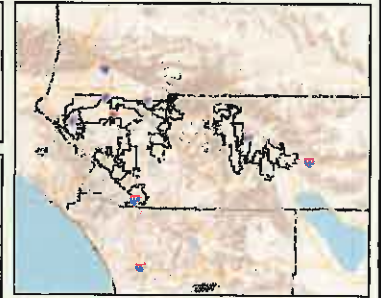
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## Notes

# My Map



## Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility
  - OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6



0 497 994 Feet



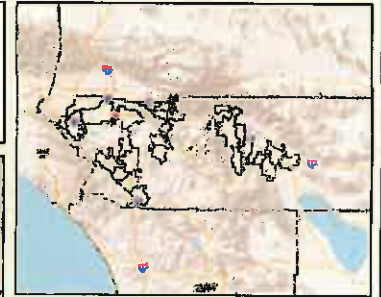
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0 497 994 Feet



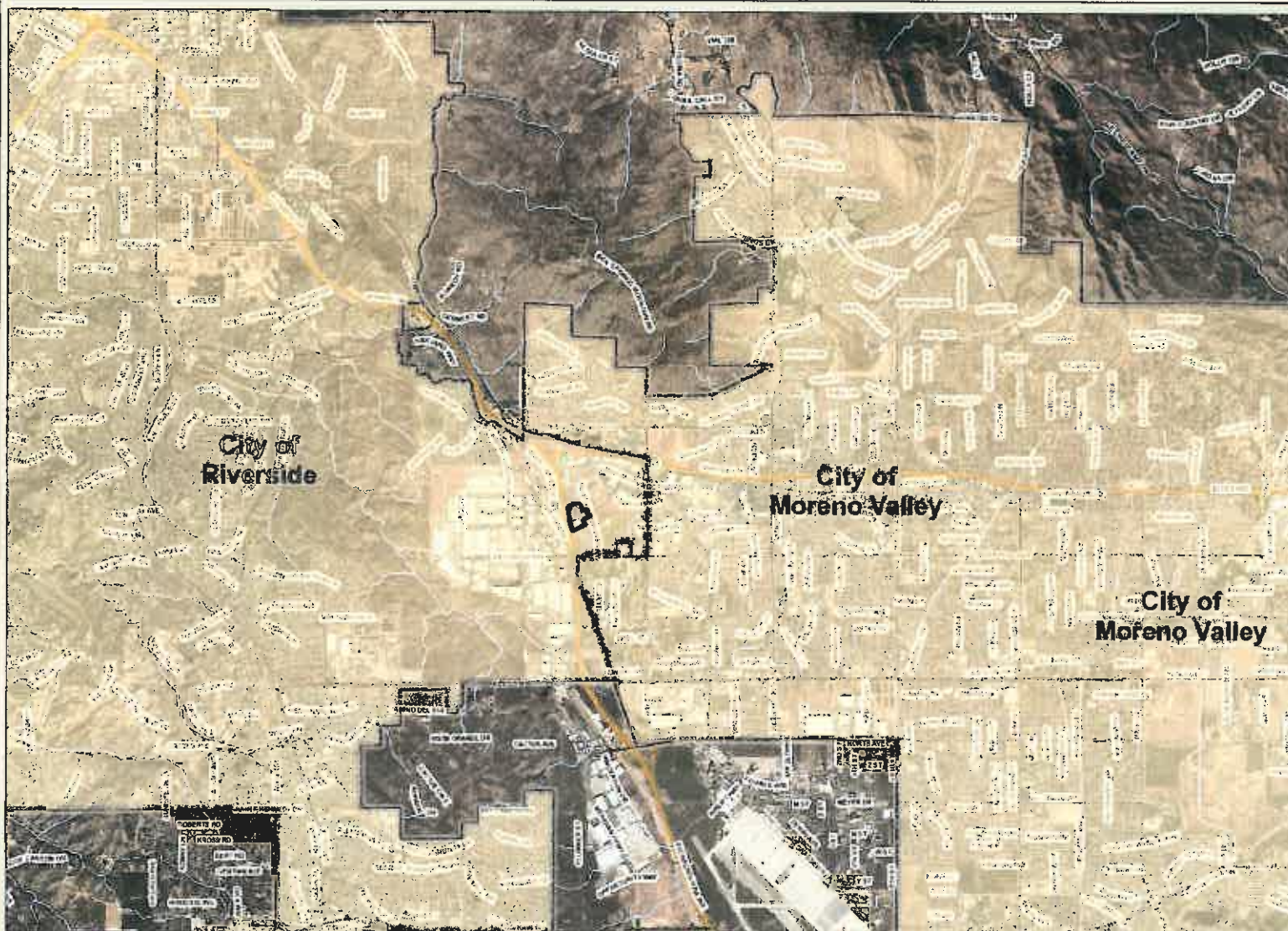
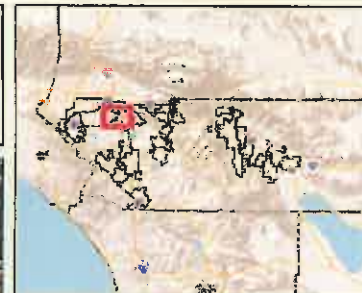
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- majorroads
- counties
- cities



0 7,965 15,930 Feet



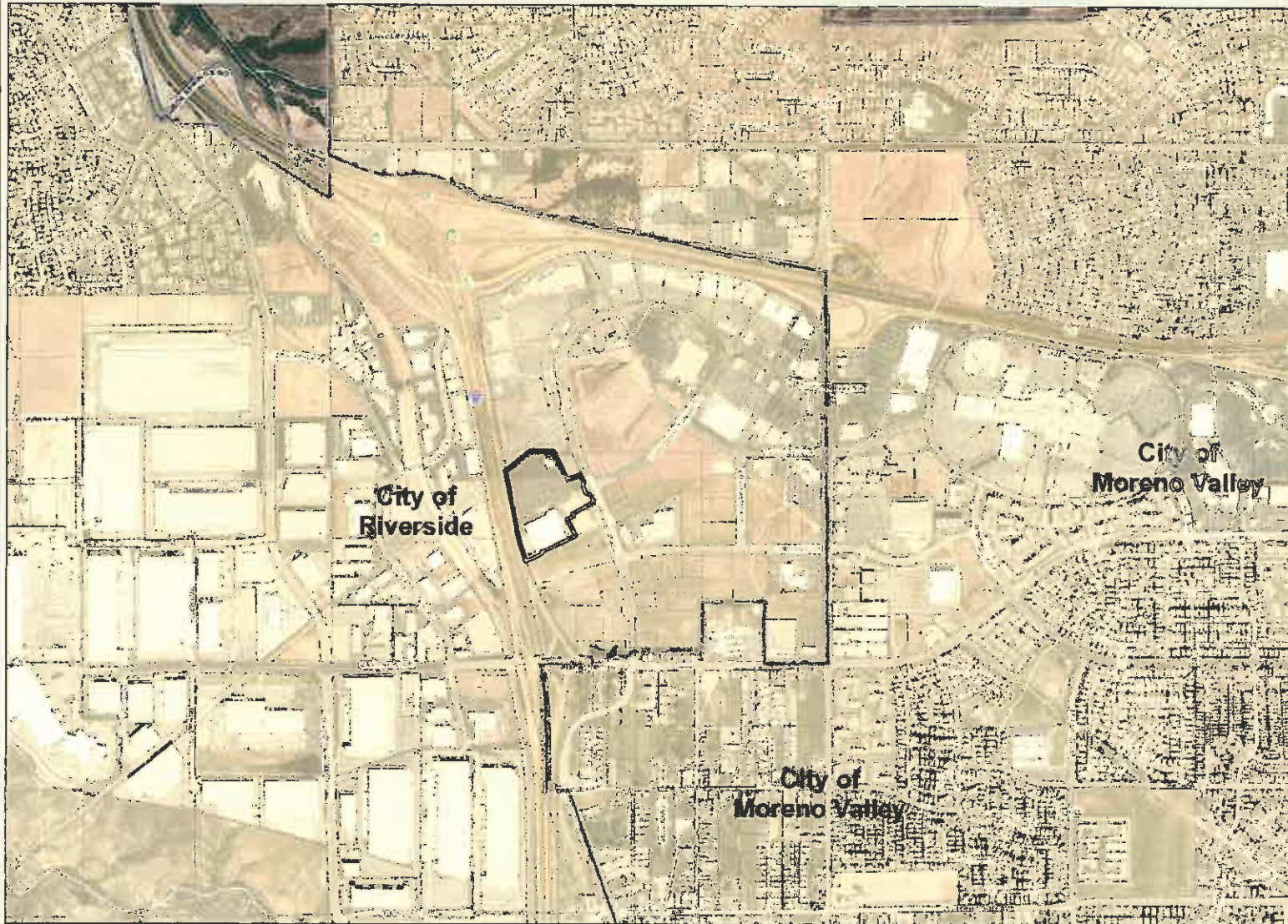
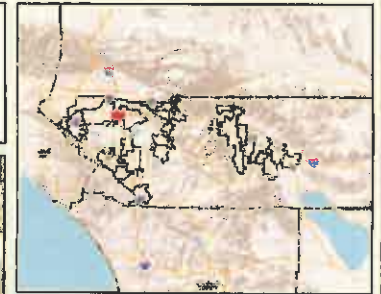
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 1,991 3,982 Feet



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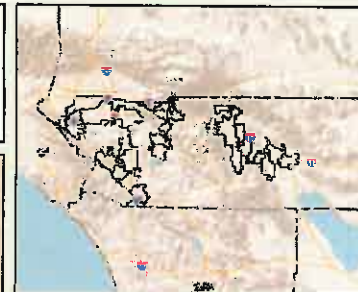
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## Notes



# My Map



### Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



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### Notes

## **Canyon Springs Business Park Specific Plan**

**Section IV. Specific Plan Development Standards**

**Subsection B) Overall Development Plan**

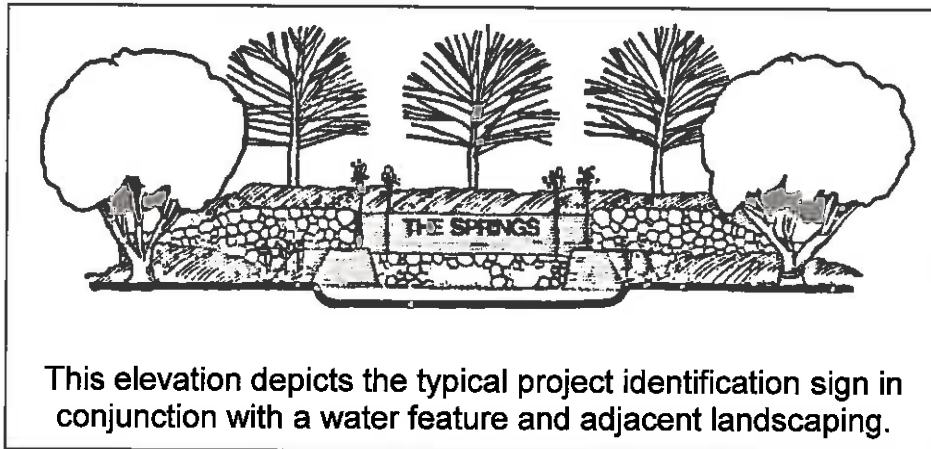
**Subsection 3) Design Concepts**

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**e. Master Signing Programs**

A master signing program will be established for the project and will conform to local sign regulations. In the spirit of high commercial aesthetics, and with sensitivity to Interstate 215 and State Route 60, pylon (pole) signs will be limited in number and will be of high quality.

The signing program for THE SPRINGS will consist of the project name routed into wood or depressed in cast concrete in conjunction with accent water elements and landscaped setbacks at major street intersections.



The Regional Shopping Center will be identified through the individual letter and/or script letter identification of department stores and major tenants having independent entrances. Shops having an orientation only to the interior pedestrian mall will not have outdoor identification other than on-site project directories.

The support commercial uses will be independently signed, and multiple tenant structures will use sign identification consisting of wall signs and low level monument signs. No roof signs will be permitted. A theatre marquee will be permitted for the multiple screen theatre.

Signs will be controlled in terms of design, materials and colors to provide harmony while allowing individuality of identity. The following pages show the types of signs and criteria which will be required for establishments in THE SPRINGS.

A

# TENANT

**SIGN TYPE A FASCIA - Sample**  
INTERALLY ILLUMINATED CHANNEL LETTERS  
Cut-out Letters  
Fascia mounted

B



**SIGN TYPE B UNDER CANOPY - Sample**

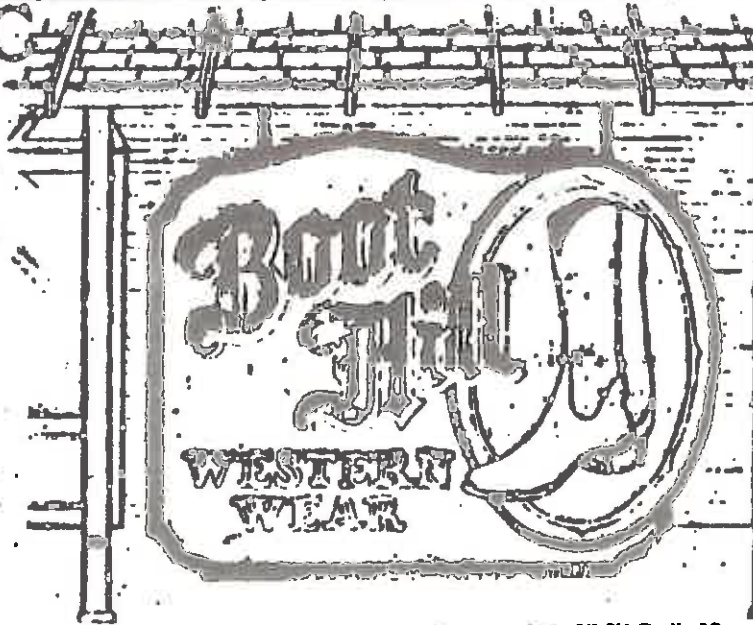
Sample 1 - Sandblasted copy and design on mirror with custom wood frame

Wall mounted

Sample 2 - Raised border with round route  
Sandblasted background  
Raised copy and fillarea

Bracket hung

C



**SIGN TYPE C CUSTOM - Sample**

Border and area around copy raised

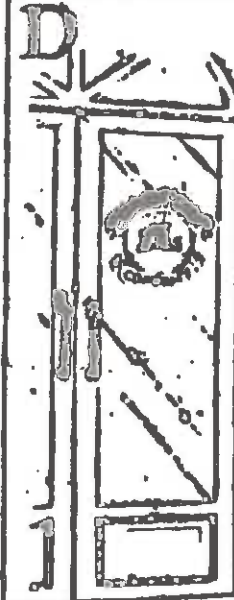
Background sandblasted

Main copy invert blasted

Leafs raised

Chain hung

D



**SIGN TYPE D WINDOW - Sample**

Gold leaf design

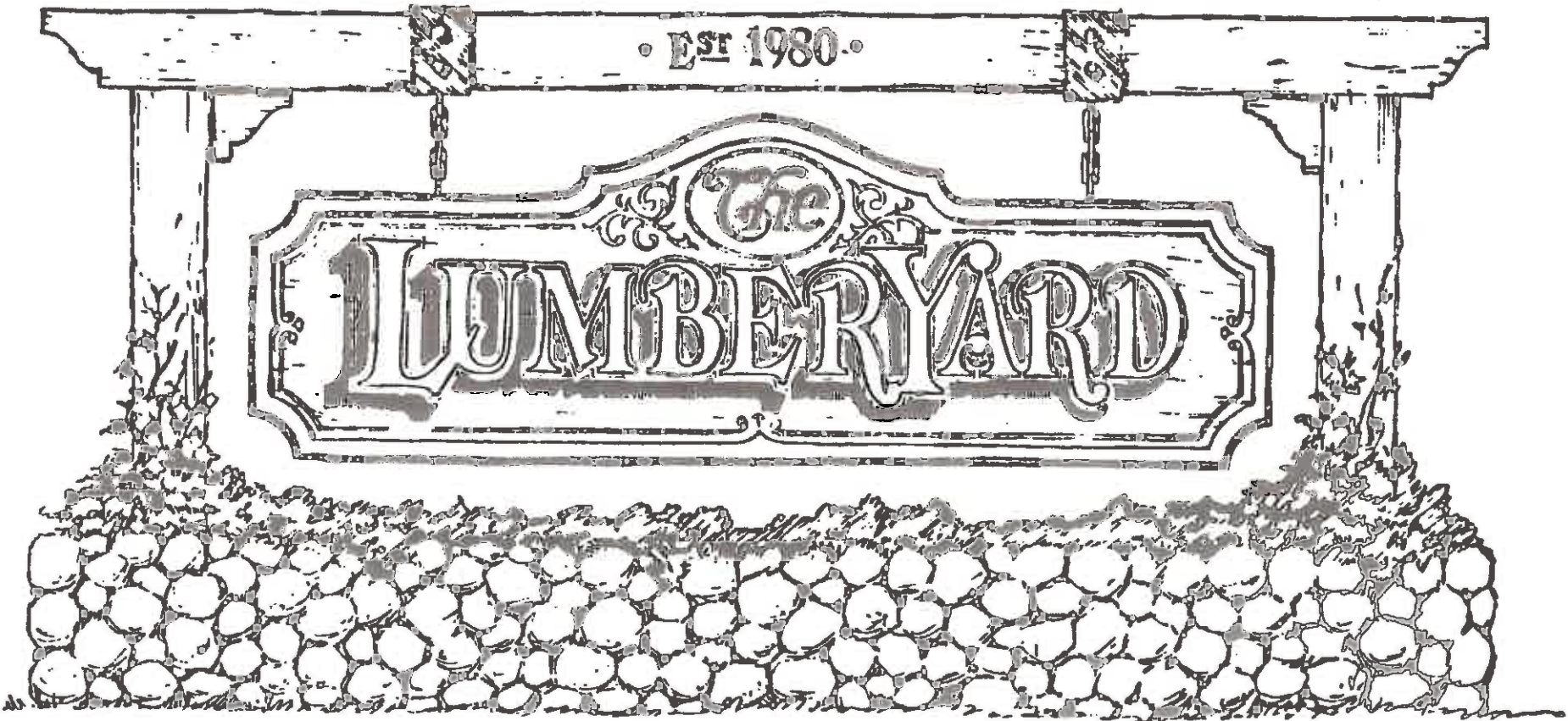
Hand painted copy

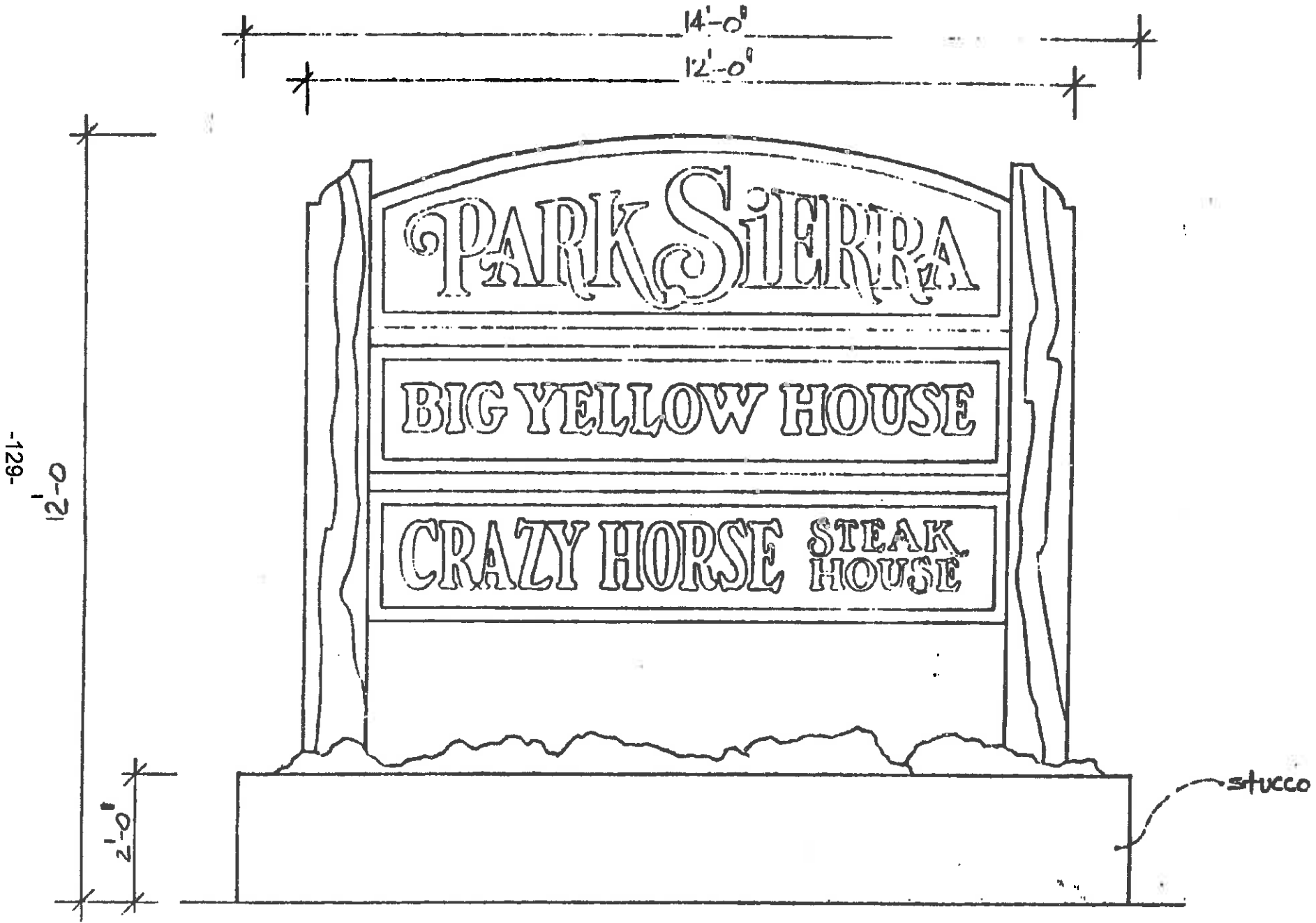
Rold leaf logo leaving clear negative space

Paint on glass

• EST 1980 •

The  
LUMBERYARD

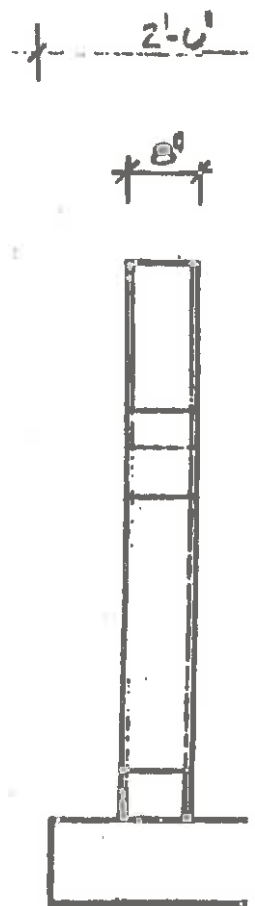


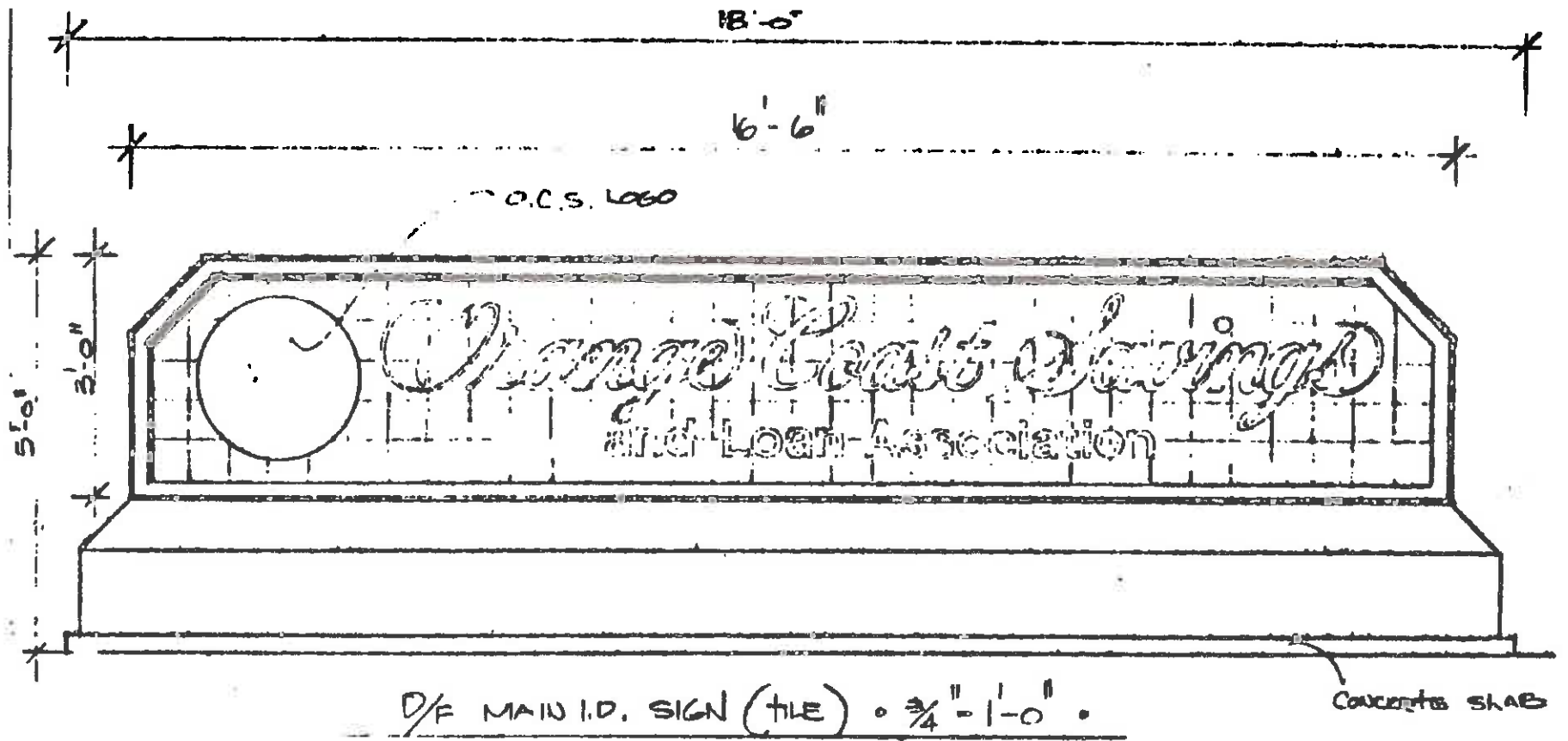


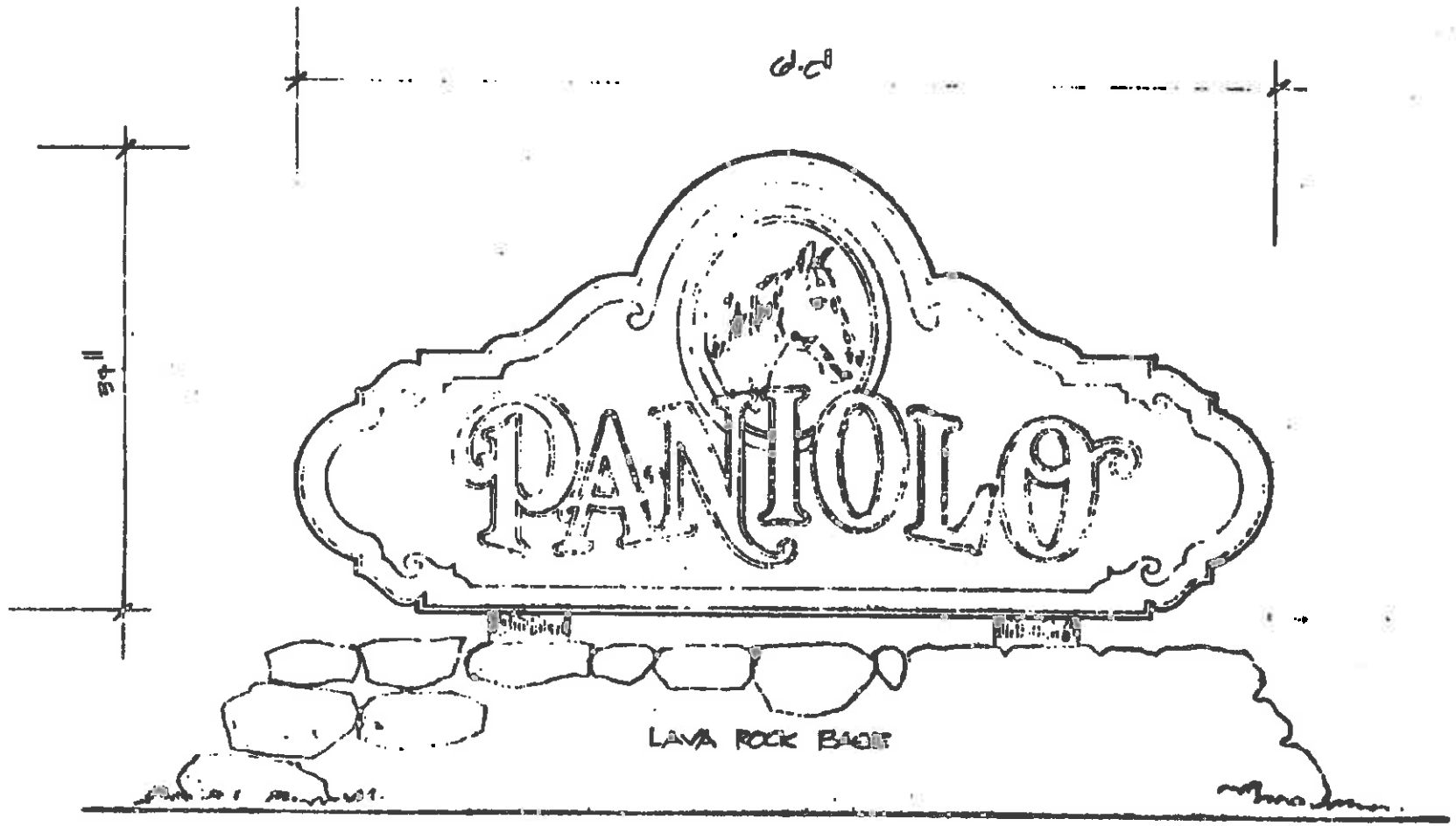












## **Permitted Freeway Pylon Signs Size, Design and Location**

### Pylon Sign A

~~Is a~~ freeway oriented pylon sign ~~shall be~~ permitted along the SR 60 Freeway at the general location shown in Exhibit "1". The sign shall be a maximum of 75 feet high, with one 225 square foot sign panel at the top and three 90 square foot panels below, with a total sign area of 600 square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1", except that specific design details are subject to Design Review administrative approval.

### Pylon Sign BE

~~Is a freeway oriented pylon sign permitted along the I 215 Freeway at the general location of Planning Area 6 (Sam's Club Parcel) shown in Exhibit "1". The sign shall be a maximum of 75 feet high, with one 260 square foot sign panel at the top followed by one 200 square foot panel followed by one 100 square foot panel and concluding with two 50 square foot panels at the bottom, with a total sign area of 660 square feet. A 100 square foot sign, area identifying the "VALLEY GATEWAY PLAZA" will be located at the uppermost portion of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1", except that specific design details are subject to Design Review administrative approval.~~

### Pylon Sign GF

~~Is a~~ second freeway oriented pylon sign shall be permitted along the I 215 Freeway at the general location shown in Exhibit "1". The sign will be a maximum of 45 feet high, with one 225 square foot sign panel at the top and three 90 square foot panels below, with a total sign area of 600 square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1" except that specific design details are subject to Design Review administrative approval. The Planning Department shall have the administrative ability to increase the: height of the sign by up to 15 feet, dependent upon line of sight information submitted at the time construction is proposed.

## **Assignment of Freeway Sign Rights by Planning Area**

### Pylon Sign A

~~The SR 60 freeway sign panels s~~shall ~~identify~~~~be granted to~~ Planning Areas 1 and 5 combined (one sign), 3 (two signs) and 4, with panels assigned to the

majority property owners at the time of construction.

Pylon Sign BE

Shall identify Planning Areas 2 and 6, with panels assigned to the majority property owners at the time of construction.

Pylon Sign GF

~~The I-215 freeway sign s~~shall identify Planning Areas 2, 6 (two signs) and 7 and the commercial portion of Planning Area 1, with panels assigned to the majority property owners at the time of construction.

Specific details related to the assignment of individual sign panels, details of sign maintenance and other pertinent issues shall be the subject of a recorded agreement between the City and the property owner responsible for construction of the sign. The document is subject to approval of the Planning, Development and Legal Departments and shall be recorded prior to issuance of any building permits.

The sign rights assigned to each identified property would initially run with the land, with use of the sign panel determined by the property owner. The sign panel rights may be transferred to adjacent properties, either through a temporary rental/lease agreement or through permanent sale. Once the identification right to the freeway sign is established, the sign panel rights will be left to the property owners to do with as they see fit.

Along with the ability to transfer sign rights, property owners that obtain two or more sign rights would also be permitted to combine these rights to create larger sign panels. In this manner, two, three or four sign panels may be combined to create larger signs, though the overall sign area will remain the same, at 600 square feet.

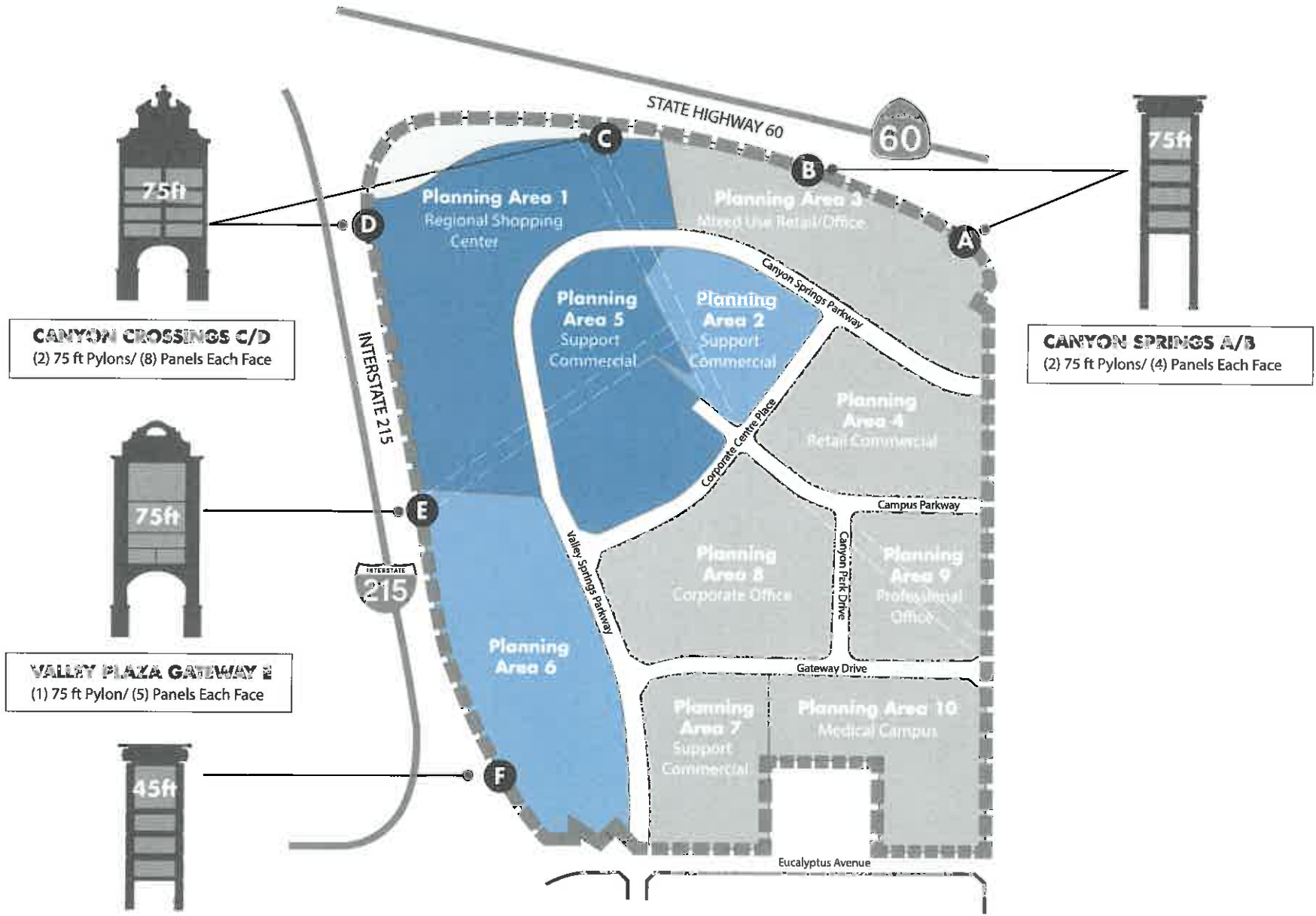
***Permitted On-Site Pylon Signs for Planning Areas 1-7***

On-site pole signs for commercial centers ten acres or larger in Planning Areas 1-7 shall be entitled to one 15 foot high, 100 square foot pylon sign, consistent with the design depicted in the Specific Plan.

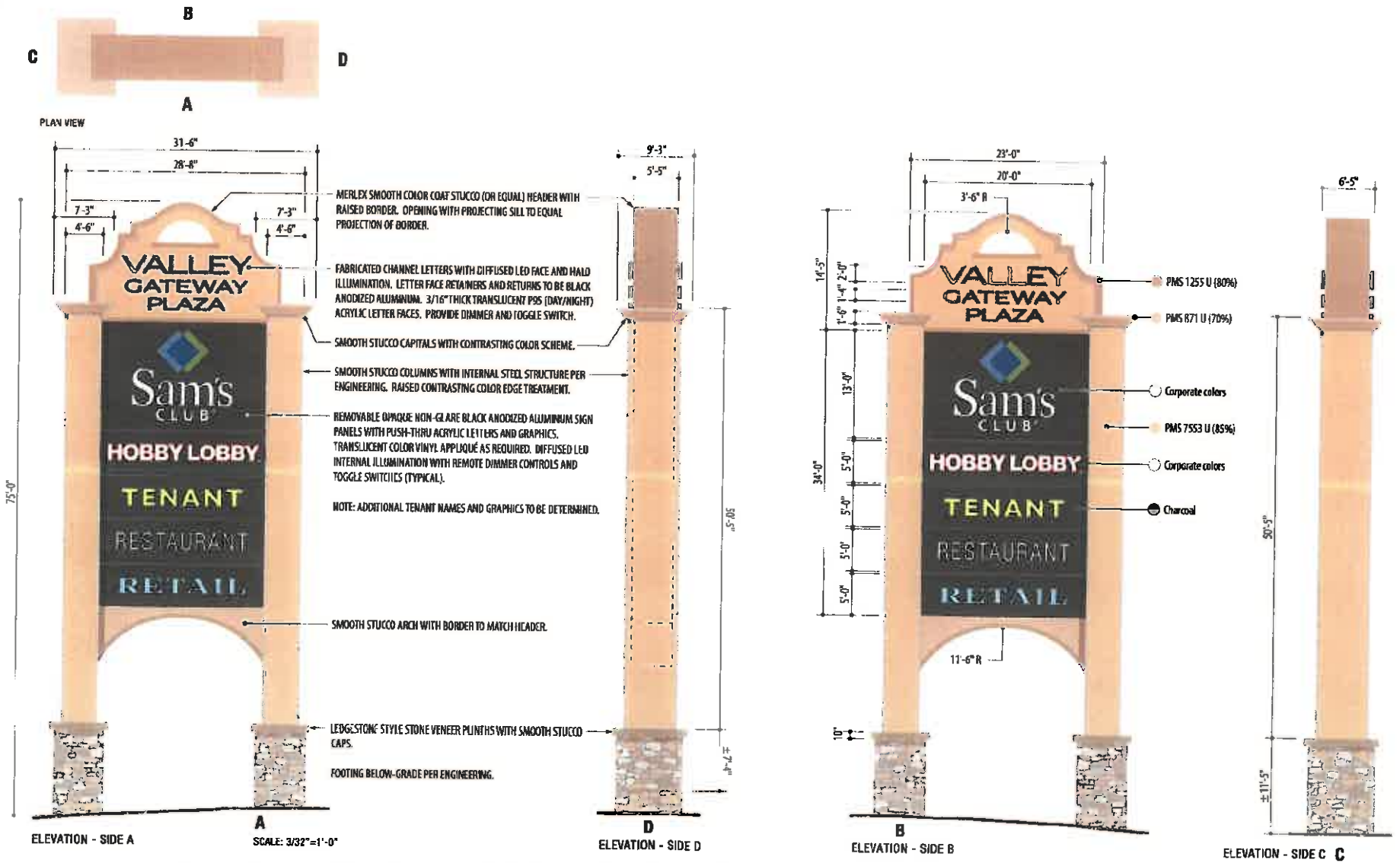
***Permitted On-Site Pylon Signs for Planning Area 4***

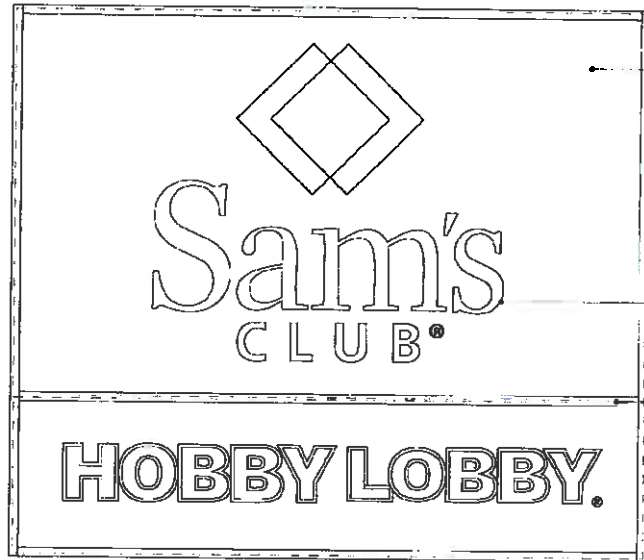
Planning Area 4 shall be entitled to two on-site pylon signs, each 15 feet high and each with a total of 100 square feet of sign area, consistent with the design depicted in the Specific Plan.

No additional monument signs will be allowed for this Planning Area.

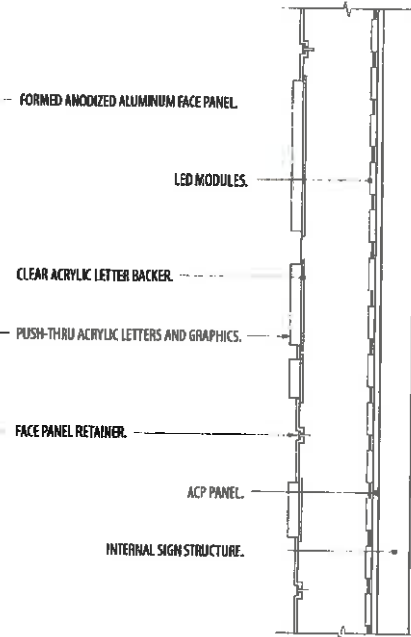


**EXHIBIT 1**  
**FREEWAY ORIENTATED SIGNAGE**

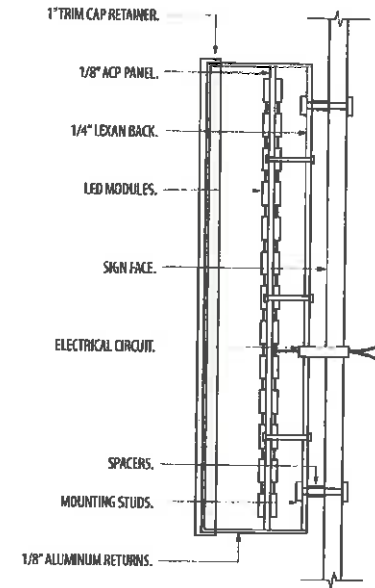




TYPICAL REMOVABLE SIGN FACE  
SCALE: 1/4"=1'-0"



SECTION  
SCALE: 1/4"=1'-0"



TYPICAL CHANNEL LETTER  
SCALE: NTS





VIEW NORTHBOUND - SIDE A


**ROMERO | HORSE | N DESIGN**  
 3325 Pine Boulevard Santa Monica, California 90404  
 tel 310.315.5577 fax 310.315.1972 www.rtd-d.com

**Notes:**  
 The data in this document, including proprietary rights of RTCDesign. Any party accepting this document does so in confidence and agrees that it shall not be duplicated in whole or in part nor disclosed to others, without the consent of RTCDesign. Contractor shall verify all conditions on job site and notify the project manager of any variations from the dimensions shown on these drawings prior to the commencement of any fabrication.

**Project:**  
**VALLEY GATEWAY PLAZA**

**Drawn By:** KS  
**Date:** 08/15/15  
**Scale:** AS NOTED  
**Revised:**

**Drawing Title:**  
**FREWAY PYLON SIGN**  
**POINT OF VIEW**

**Sheet Number:**  
**VGP.04**



VIEW SOUTHBOUND - SIDE B

**rtd** ROMERO THORSEN DESIGN  
 3325 Pico Boulevard Santa Monica, California 90405  
 tel 310.315.3577 fax 310.598.1973 www.rtd-la.com

**Notice:**  
 The data in this document incorporates proprietary rights of RTDesign. Any party accepting this document does so in consideration and agrees that it shall not be duplicated in whole or in part nor disclosed to others, without the consent of RTDesign. Contractor shall verify all conditions on job site and notify the project manager of any variances from the dimensions shown on these drawings prior to the commencement of any fabrication.

**Project:**  
**VALLEY  
 GATEWAY PLAZA**

**Drawn By:** KS  
**Date:** 06/15/15  
**Scale:** AS NOTED  
**Revisions:**

**Drawing Title:**  
**FREEWAY PYLON SIGN**  
**POINT OF VIEW**

**Sheet Number:**

**VGP.05**

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Riverside may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
Riverside, California

DATE OF HEARING: April 14, 2016

TIME OF HEARING: 9:00 A.M.

### CASE DESCRIPTION:

ZAP1184MA16 – MGP X Properties LLC (Representative: Romero Thorsen Design) – City of Riverside Planning Case Nos. P15-0820 (Specific Plan Amendment) and P15-0978 (Design Review). The applicant is proposing to amend the Specific Plan Development Standards (Section IV) of the Canyon Springs Business Park Specific Plan to allow for an additional pylon sign along the 215 Freeway with a maximum height limit of 75 feet and total sign area of 760 square feet and to construct such a sign at the northwest corner of the 15.5 acre parcel that includes the Valley Gateway Plaza shopping center. The proposed sign structure will be 75 feet in height and 31.5 feet in width. The sign will be a non-LED sign and have five tenant sign panels totaling 660 square feet of sign area. The project site is located easterly of Interstate 215 and westerly of Valley Springs Parkway (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Sean Kelleher of the City of Riverside Planning Division at (951) 826-5712.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP 1184MA 1G

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application February 10, 2016  
 Property Owner MGP X Properties, LLC Phone Number (858) 350-1977  
 Mailing Address 3580 Camel Mountain Road  
Suite 260  
San Diego, Ca 92130  
 Attention: Warren Dennis email: wdennis@merlonegeier.com

Agent (if any) Romero Thorsen Design Phone Number (310) 351-0102  
 Mailing Address 3325 Pico Boulevard  
Santa Monica, Ca 90405  
 Attention: Marc Romero email: marc@rtd-la.com

*March  
C1*

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 6363 Valley Springs Parkway  
Moreno Valley, Ca 92553  
 Assessor's Parcel No. 291450041-4 Parcel Size 15.50 Acres  
 Subdivision Name Sams Club Zoning  
 Lot Number 7 Classification C1

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) Retail with surface parking

Proposed Land Use (describe) Erect two sided 75 foot high Pylon Sign adjacent to the 215 Freeway Non-I. F.D. Sign (Static)

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use (Section Not Applicable)  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 75 feet ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site Not Known ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  
 No  
 If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	<u>JULY 10<sup>TH</sup> 2015</u>
Agency Name	<u>CITY OF RIVERSIDE</u>
Staff Contact	<u>MATTHEW TAYLOR</u>
Phone Number	<u>SEAN KELLNER</u>
Agency's Project No.	<u>(951) 820-5712</u>
	<u>VALLEY GATEWAY PLAZA</u>
	<u>PYLON PIS-0998</u>
	<u>SPECIFIC PLAN AMENDMENT PIS-0820</u>
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input checked="" type="checkbox"/> Other <u>DESIGN REVIEW</u>

+ SPECIFIC AMENDMENT. NEED FEE \$1,447

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1. .... Completed Application Form
- 1. .... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. .... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. .... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1. .... Completed Application Form
- 1. .... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. .... Elevations of Buildings - Folded
- 1. .... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1. .... Check for review–See Below

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

- 4.1 Director's Approvals. During the period of February 26, 2016 through March 29, 2016, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Ed Cooper reviewed three non-legislative cases within the March Air Reserve Base/Inland Port Airport Influence Areas and issued determinations of consistency.

ZAP1182MA16 (March, Zone D) pertains to City of Moreno Valley Case Nos. PA15-0047 through PA15-0051 and PA16-0012, each an element of an 8.54-acre proposed development located on the northeast corner of Eucalyptus Avenue and Day Street. Together these cases propose two four-story hotels, a 6,300 square foot multi-tenant retail/restaurant building, a 4,100 square foot convenience store, and a service station, and division of the site into six commercial parcels. Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area, non-residential intensity is not restricted. The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (AMSL). At a distance of 13,000 feet from the runway, structures with a top point elevation exceeding 1,665 feet AMSL require notification to the Federal Aviation Administration (FAA) Obstruction Evaluation Service. The site has an existing maximum elevation of 1,585 feet AMSL and buildings will not exceed a height of 51 feet, so the proposed top point elevation will not exceed 1,636 feet AMSL. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on March 29, 2016.

ZAP1186MA16 (March, Zone E) pertains to City of Riverside Case No. P15-0702 (Design Review), a proposal to expand the parking area (adding 17 additional truck trailer parking spaces) of an existing industrial warehouse complex located at 797-799 Palmyrita Avenue within the City of Riverside. The site is more than 500 feet lower than the elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport and is more than 20,000 feet from runways at Riverside Municipal Airport and Flabob Airport, so FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on March 25, 2016.

ZAP1187MA16 (March, Zones D and E) pertains to City of Riverside Case No. P15-0945 (Conditional Use Permit), a proposal to construct a 60 foot high wireless facility within a 685 square foot development footprint at an existing City fire station located at 725 Central Avenue (on the northerly side of Central Avenue, easterly of its intersection with Canyon Crest Drive). The top point elevation will be more than 300 feet lower than the elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport, and the site is more than 20,000 feet from runway at Riverside Municipal Airport and Flabob Airport. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on March 28, 2016.

Copies of these consistency letters and background documents are attached, for the Commission's information.

- 4.2 Recordings of Commission Hearings and Commission Packets. For the last decade, Commissioners have received with their agenda packets CD recordings of the last prior ALUC meeting (except when meetings have been held at locations where such recordings were not available). ALUC meetings held at the County Administrative Center are now available on video at our website ([www.rcaluc.org](http://www.rcaluc.org), click Agenda). Therefore, staff would propose that CD recordings no longer be provided to Commissioners on an ongoing basis. CD recordings will still be made and will be available to the public at a cost of \$12.50. They will also be available to Commissioners upon request. Staff recommends that the Commission discuss this procedural change, which will be fiscally beneficial, and advise as to its acceptability.
- 4.3 Specific Delegation of Authority: Amendment to Canyon Springs Specific Plan. In addition to the new pylon sign that is scheduled for consideration on today's agenda because of the requirement for a Specific Plan Amendment, there is one more signage-related amendment to the Canyon Springs Specific Plan under consideration by the City of Riverside. In this second case, the applicant is proposing to add an additional tenant sign to an existing pylon sign (Pylon Sign A) located in the northeasterly portion of the Specific Plan along Highway 60. As the Specific Plan limits the allowable total square footage of this sign, the approval of the additional tenant sign requires an amendment to the portion of the Specific Plan text describing this sign. From ALUC's standpoint, the project would clearly have no impact, since the tenant sign would be attached to the bottom of the existing advertising signage, with no increase in the height of the structure. This proposal would qualify as a non-impact legislative amendment if it were proposed by a local jurisdiction, but, since it is being proposed by a private sector applicant, the provisions of Resolution No. 2011-02 authorizing action by the ALUC Director do not apply. Therefore, this project would normally require Commission review. However, the proponent would have to wait until May for Commission consideration. Staff recommends that the Commission consider the applicant's request for a specific delegation of authority to the ALUC Director to render a no impact consistency finding for this project.
- 4.4 Commissioner Reappointments. The City Selection Committee reappointed Commissioner Steve Manos by unanimous vote at its meeting of March 14, 2016. The Board of Supervisors reappointed Commissioner Arthur Butler by unanimous vote (4-0, Supervisor Washington absent) at its meeting of March 29, 2016.

Y:\ALUC\ALUC Administrative Items\Admin. 2016\ADmin Item 04-14-16.doc



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

4.1

March 29, 2016

**CHAIR**  
Simon Housman  
Rancho Mirage

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Jeff Bradshaw, Project Planner  
City of Moreno Valley Planning Department  
14177 Frederick Street  
Moreno Valley CA 92552

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

Glen Holmes  
Hemet

File No.: ZAP1182MA16  
Related File No.: PA15-0047 (Parcel Map), PA15-0048 (Master Plot Plan),  
PA15-0049 (Plot Plan), PA15-0050 (Plot Plan), PA15-0051  
(Conditional Use Permit), PA16-0012 (Plot Plan)  
APN: 291-650-013, 291-650-014, 291-650-015, 291-650-016

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Steve Manos  
Lake Elsinore

Dear Mr. Bradshaw:

**STAFF**

**Director**  
Ed Cooper

John Guerin  
Paul Rull  
Russell Brady  
Barbara Santos

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed: PA15-0047 (Tentative Parcel Map No. 37058) to subdivide the project site of 8.54 acres into six commercial parcels, PA15-0048 (Master Plot Plan) for development of a six parcel commercial development, PA15-0049 (Plot Plan) to develop a 4-story 77,000 square foot hotel, PA15-0050 (Plot Plan) to develop a 4-story 59,000 square foot hotel, PA15-0051 (Conditional Use Permit) to develop a 6 pump service station with 4,100 square foot convenience store, and PA16-0012 (Plot Plan) to develop a 6,300 square foot multi-tenant retail/restaurant building, located on the northeast corner of Eucalyptus Avenue and Day Street.

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of the project site is between 1560 and 1585 feet above mean sea level. The elevation of the site is 50 feet higher than the elevation of Runway 14-32 (1535 feet above mean sea level) at March Air Reserve Base/Inland Port Airport (March ARB/IP). March's runway applicable slope ratio is 100:1. The project site is approximately 13,000 feet away from Runway 14-32. Therefore, at this distance, FAA review for height/elevation reasons would not be required for any buildings with peak elevations less than 1665 feet AMSL. The project site has an existing maximum elevation of 1585 feet AMSL and the tallest proposed building height of 51 feet, for a total maximum potential elevation of 1636 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service for height/elevation reasons is not



required.

As ALUC Director, I hereby find the above-referenced Tentative Parcel Map, Master Plot Plan, Plot Plans, and Conditional Use Permit **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to tenants of structures on those lots.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave

**AIRPORT LAND USE COMMISSION**

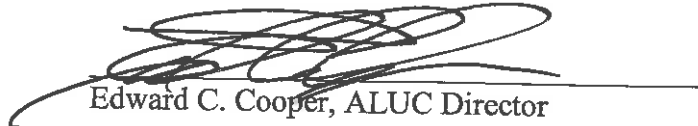
**March 29, 2016**

transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, ALUC Director

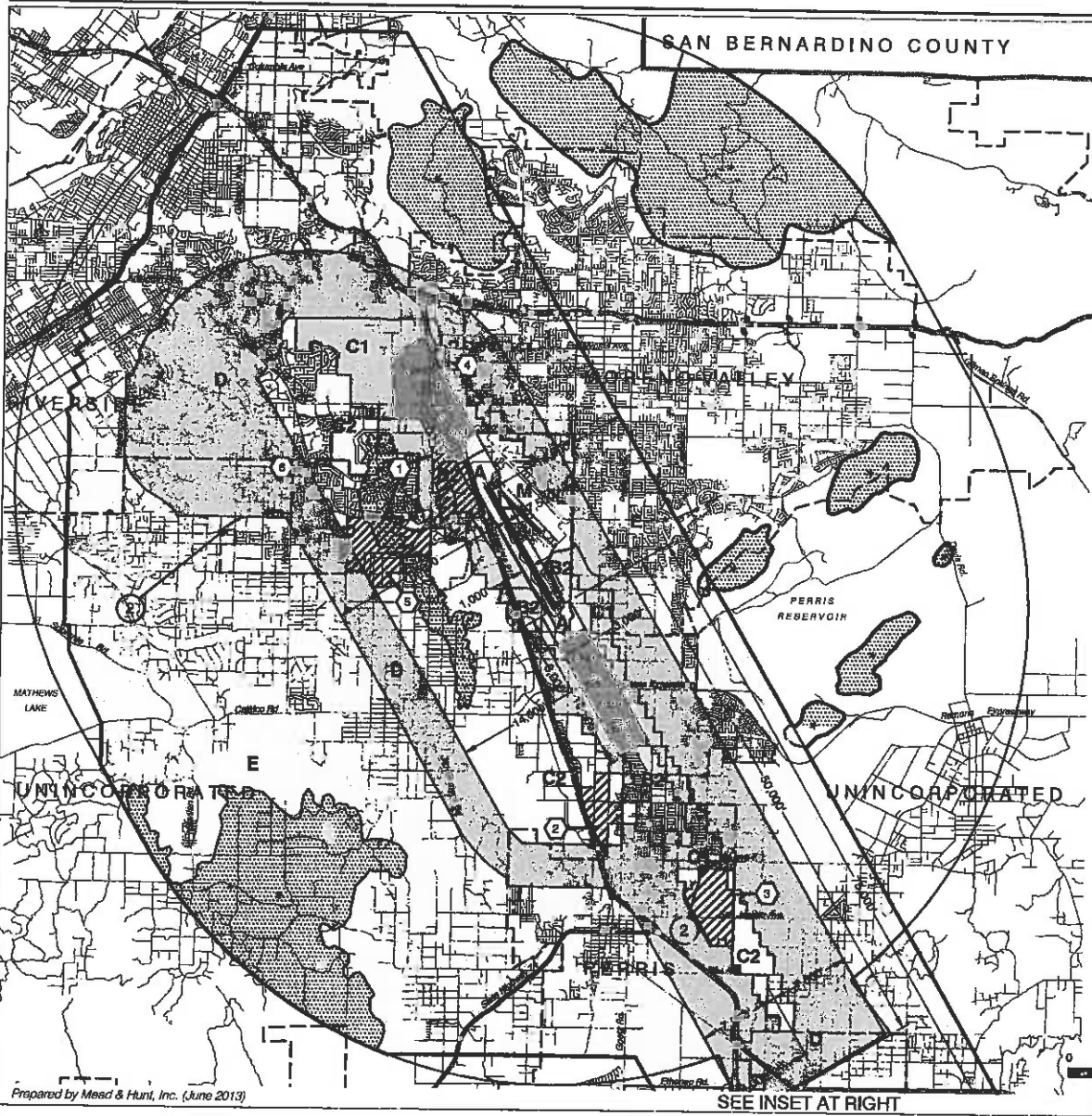
Attachments: Notice of Airport in Vicinity

cc: Day & Eucalyptus LLC (applicant)  
MPA-Architects, John Rumsey (representative/payee)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1182MA16\ZAP1182MA16.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

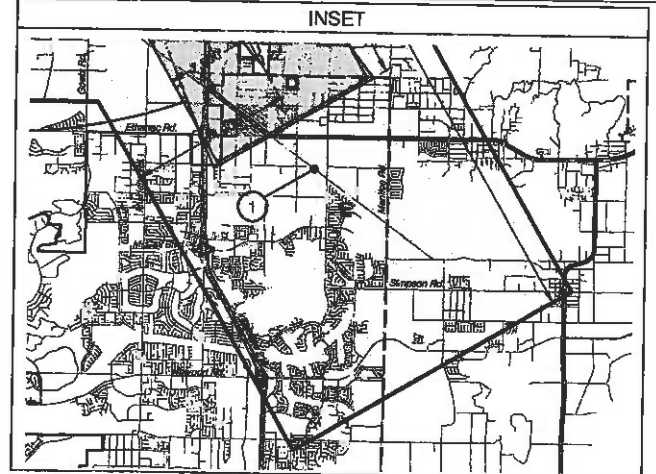
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

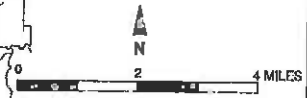
② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ban Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)**

Note:  
 All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

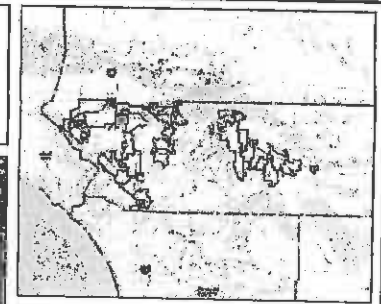
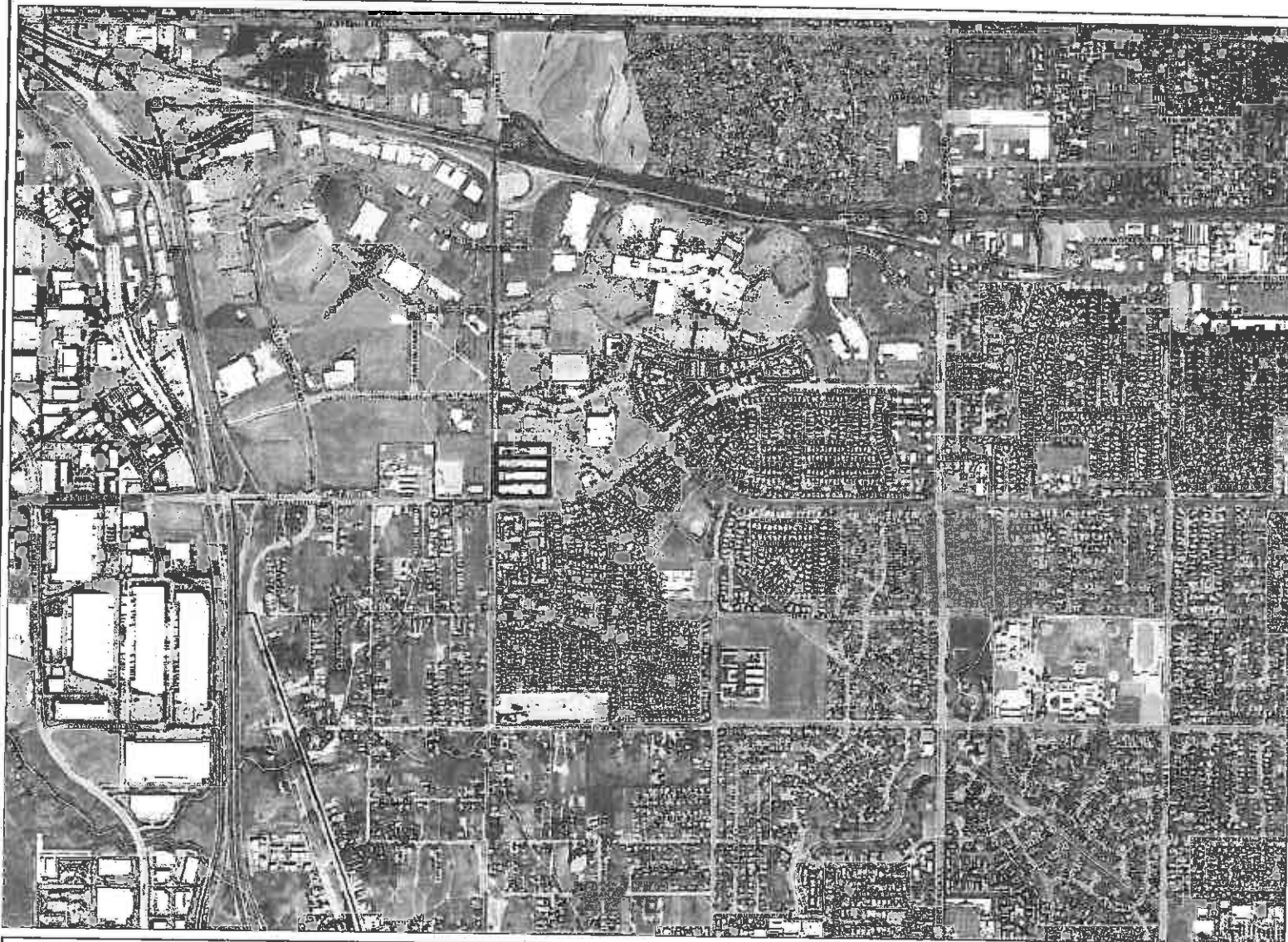
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

**Compatibility Map  
 March Air Reserve Base / Inland Port Airport**

# My Map



**Legend**

- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- roads
  - Major Roads
  - Arterial
  - Collector
  - Residential
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



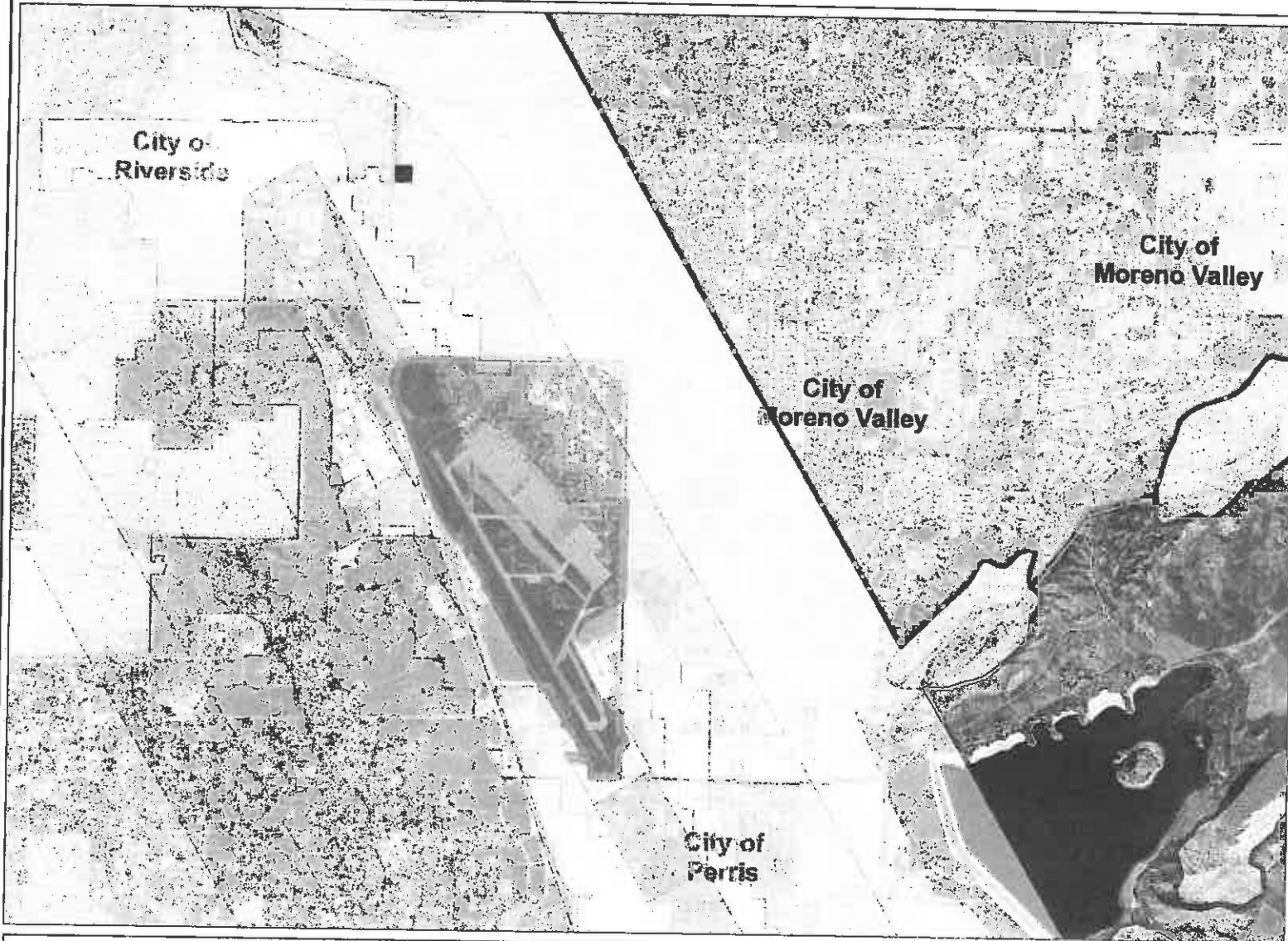
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**Notes**

# My Map



- Legend**
- Airports
  - AIA
- Airport Compatibility**
- OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6
  - C2-HIGHT



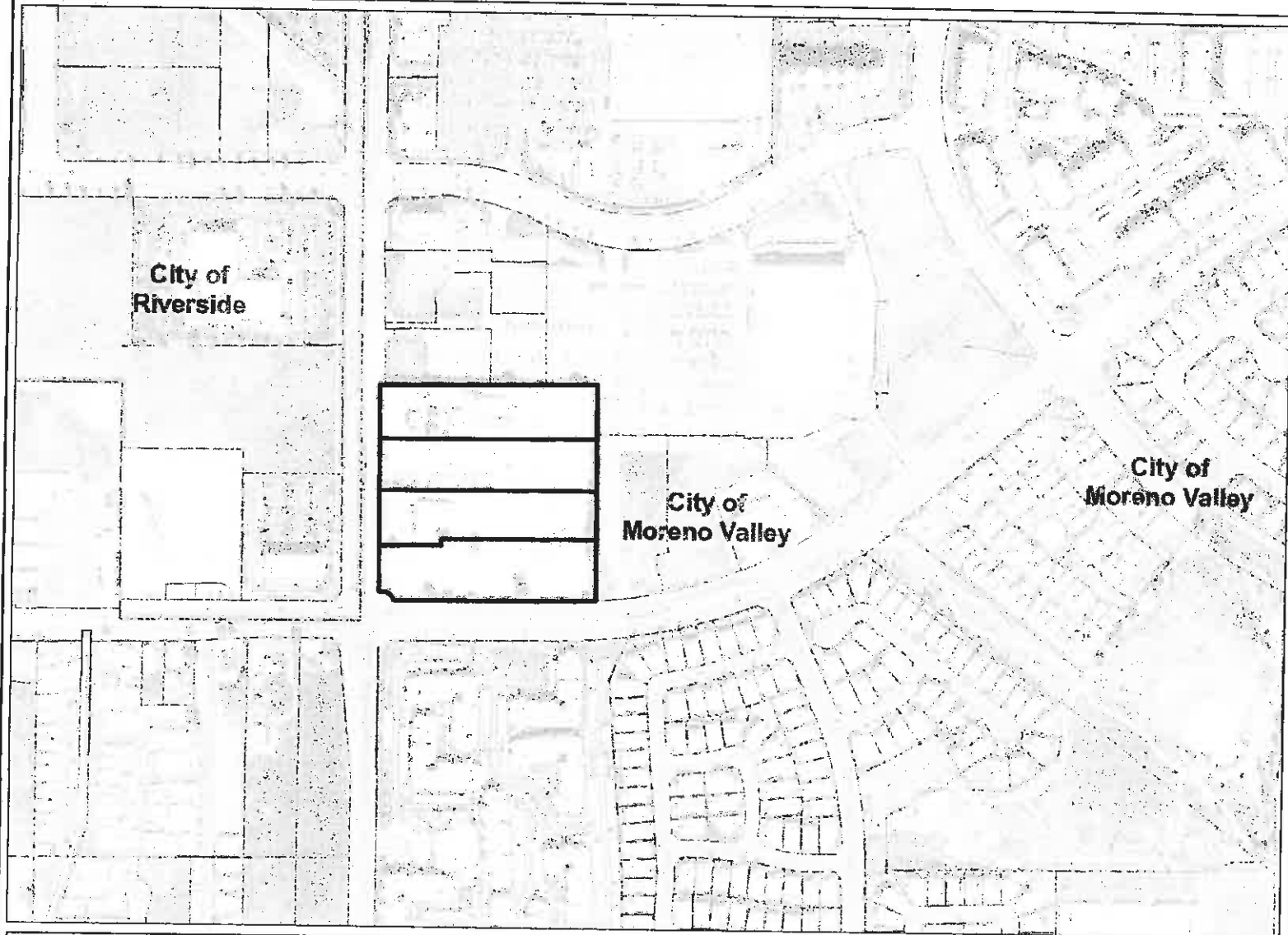
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## Notes

# My Map



- Legend**
- Display Parcels
  - Airports
  - AIA
  - Airport Compatibility**
    - OTHER ZONE
    - A
    - A-EXC1
    - B1
    - B1-APZ I
    - B1-APZ I-EXC1
    - B1-APZ II
    - B1-APZ II-EXC1
    - B1-EXC1
    - B2
    - B2-EXC1
    - C
    - C1
    - C1-EXC1
    - C1-EXC3
    - C1-EXC4
    - C1-HIGHT
    - C2
    - C2-EXC1
    - C2-EXC2
    - C2-EXC3
    - C2-EXC5
    - C2-EXC6



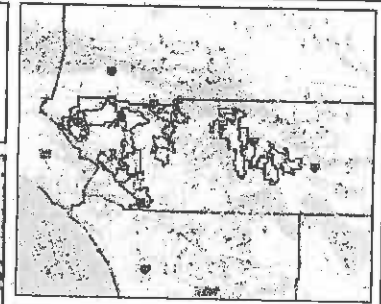
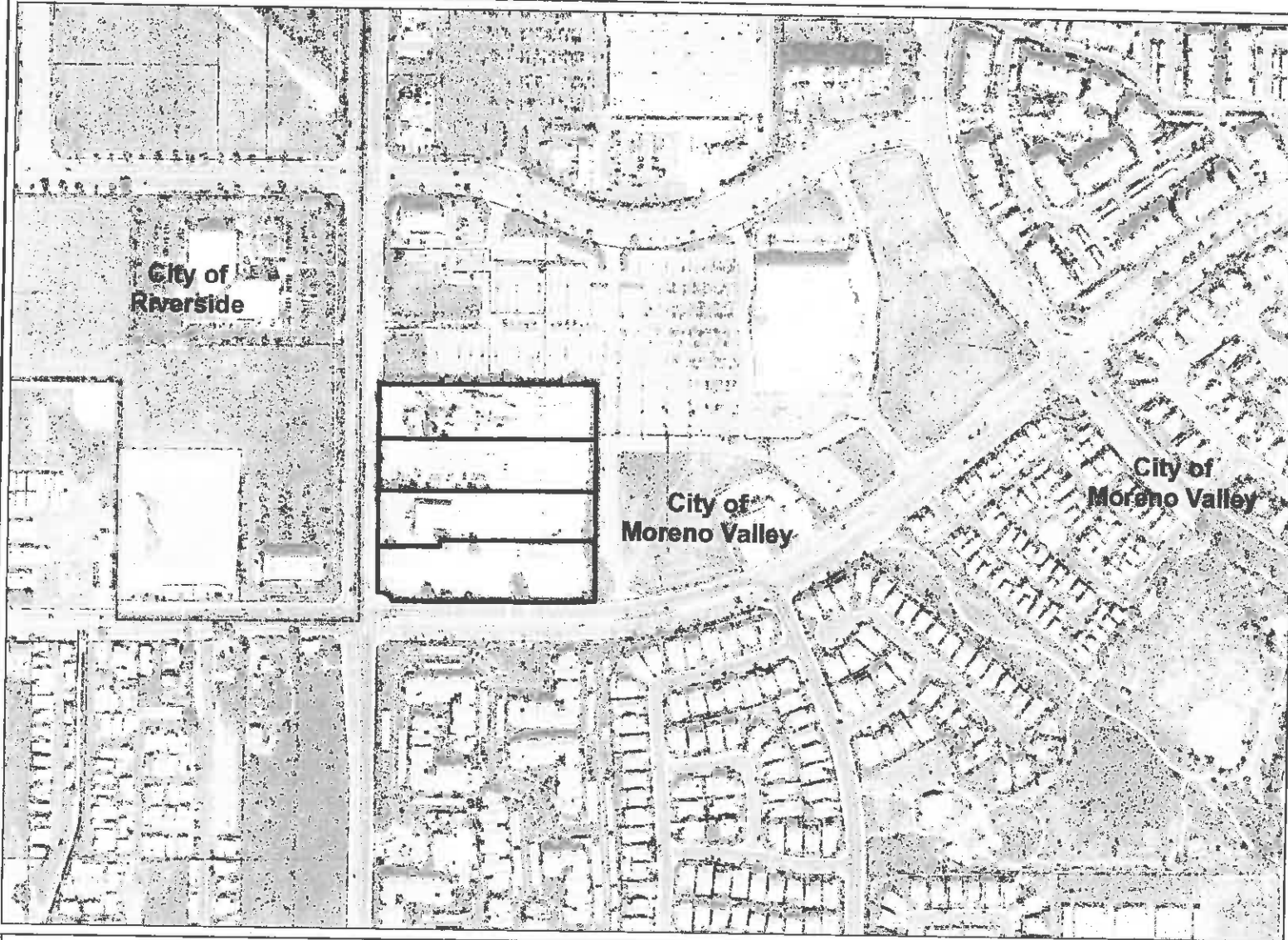
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**Notes**

# My Map



**Legend**

- Display Parcels
- City Boundaries
- Cities

**Notes**



0 518 1,037 Feet



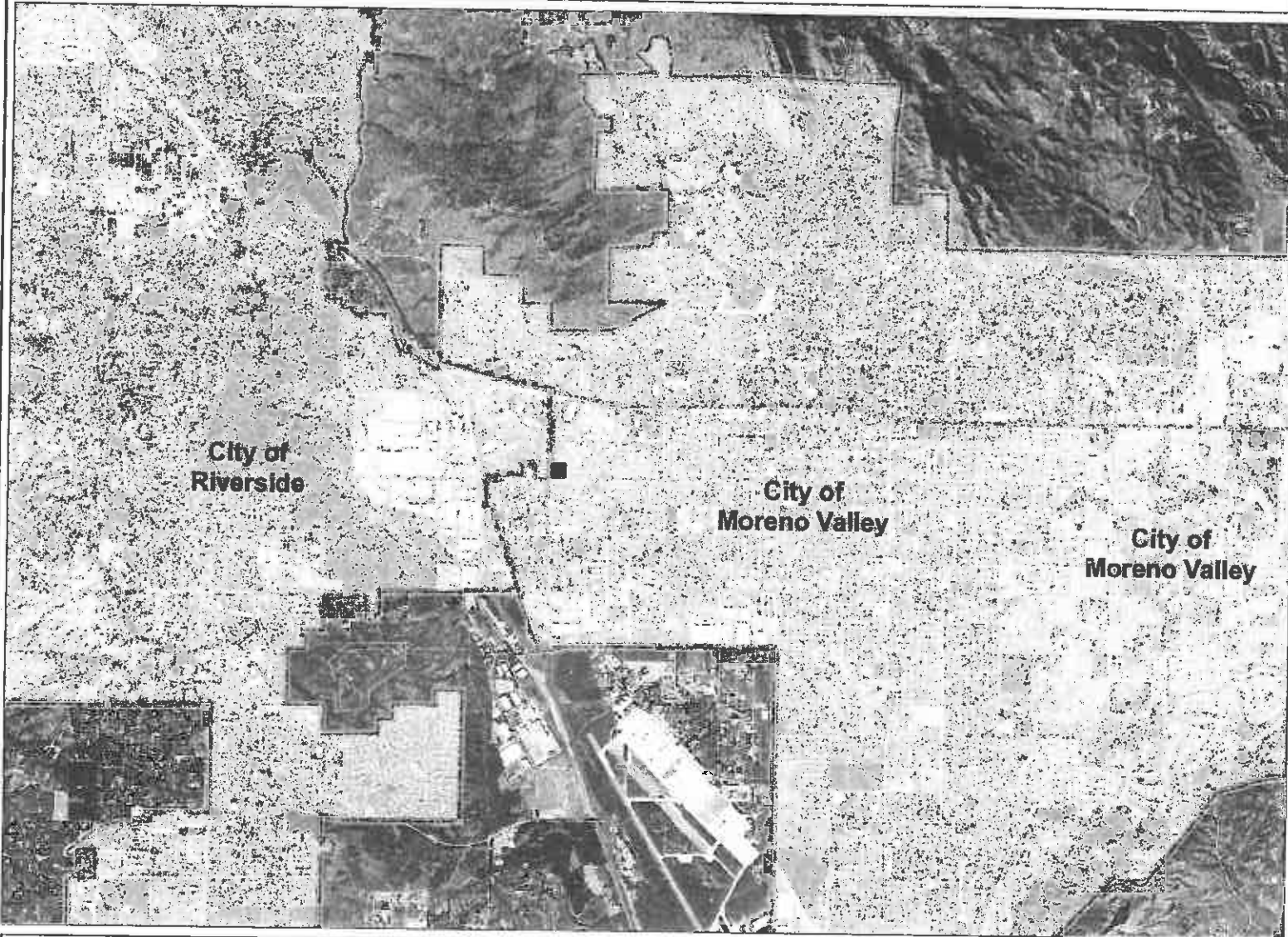
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# My Map



## Legend

-  City Boundaries
-  Cities



0 8,681 17,361 Feet



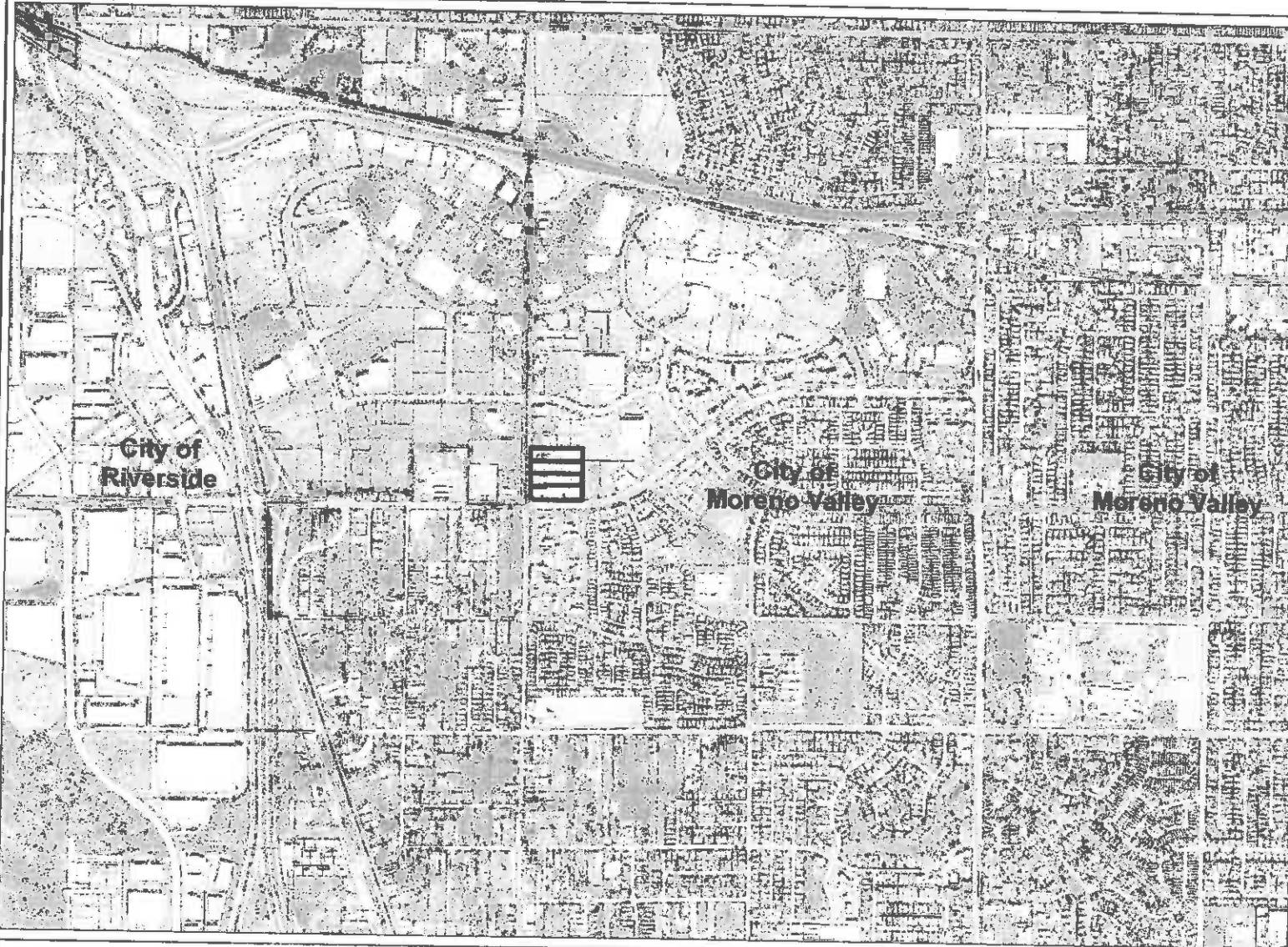
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## Notes

# My Map



## Legend

-  City Boundaries
-  Cities



0 2,170 4,340 Feet



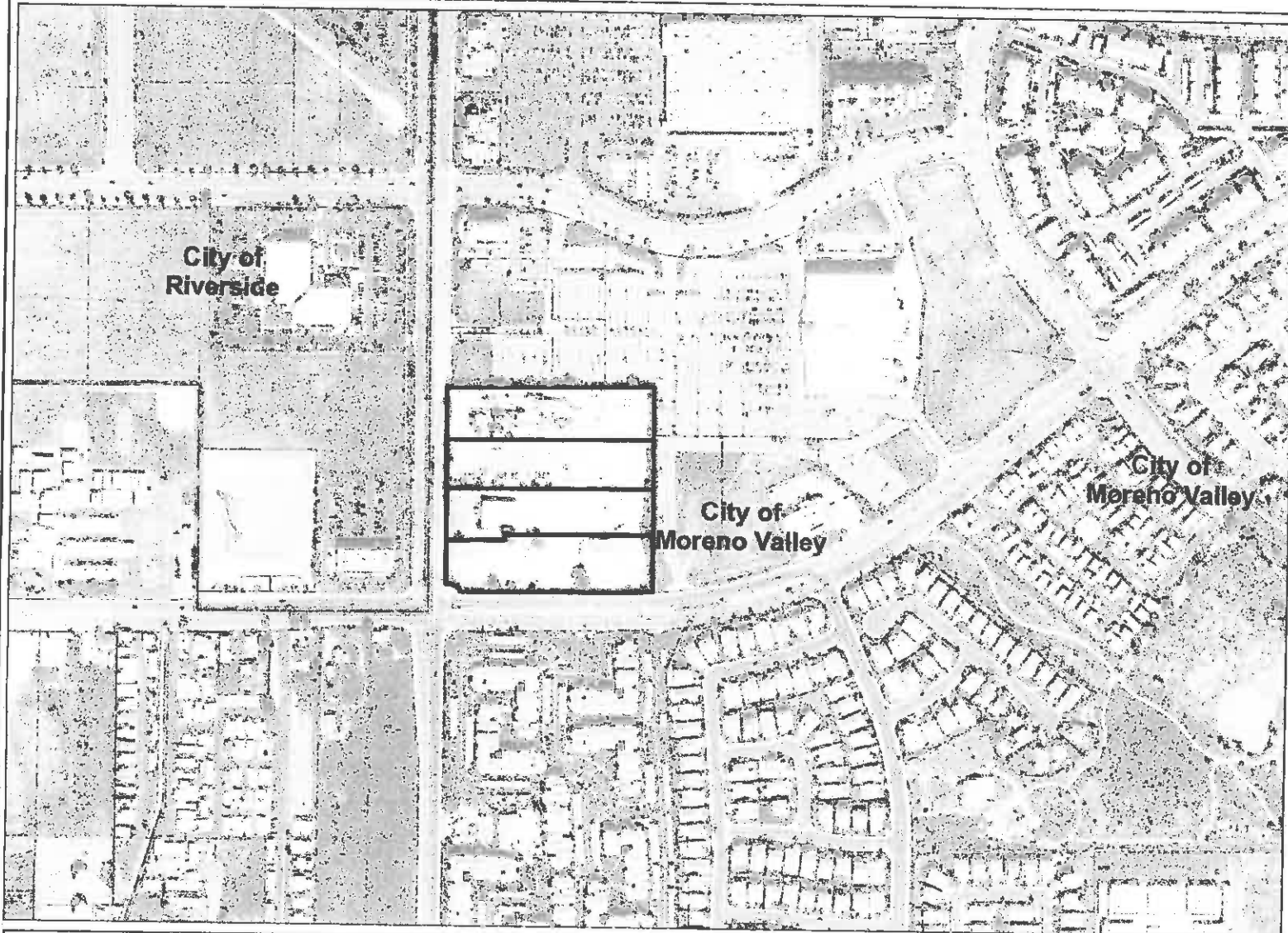
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0

543

1,085 Feet



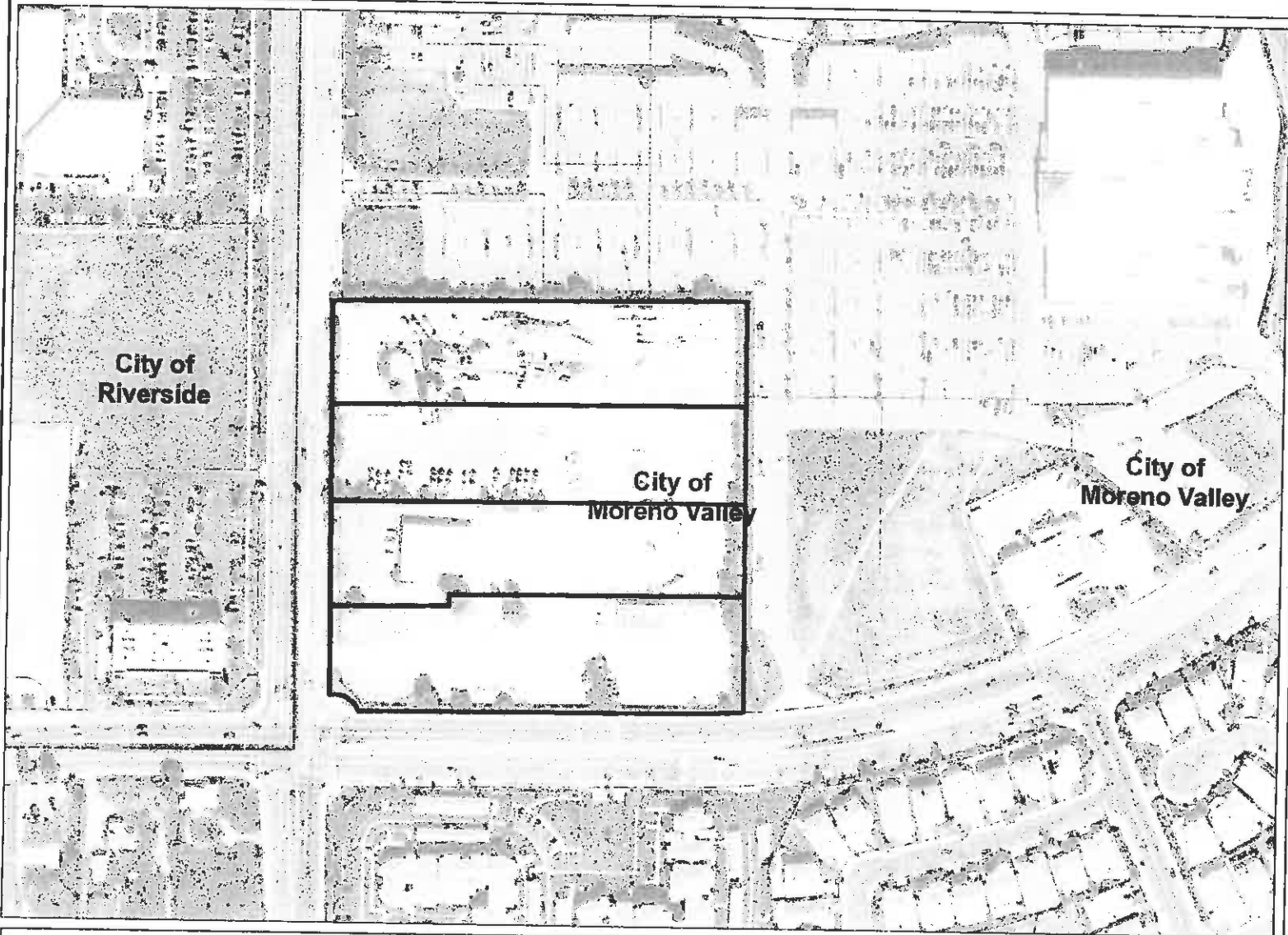
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0 271 543 Feet

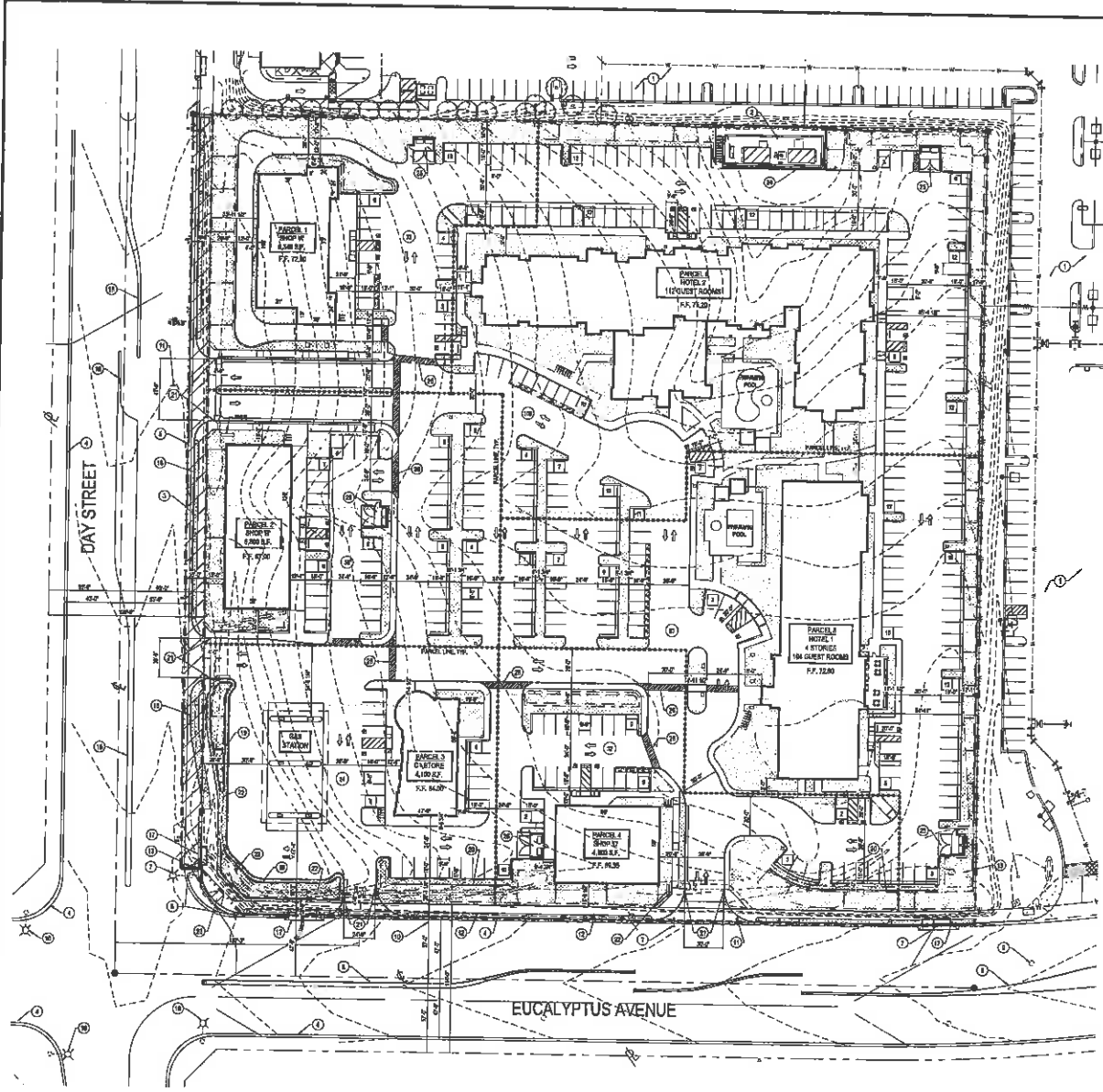


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## Notes



**APN AND LEGAL DESCRIPTION**  
 APN 99-080-018, 99-080-019, 99-080-020 AND 99-080-021  
 PARCELS 1, 2, 3 AND 4 PARTIAL MAP ADMIN BY THE CITY OF MORENO VALLEY, COUNTY OF CALIFORNIA, STATE OF CALIFORNIA. BUSINESS MAP SHEET 16, BOOK 15, PAGE 18 OF PUBLIC MAP, IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY.

**COVER SHEET NOTES**  
 ALL MATERIALS, IMPROVEMENTS, THEIR CONSTRUCTION AND THE UTILITIES AS SHOWN ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO APPROVAL AT THE COUNTY ENGINEER'S OFFICE.  
 THIS PRELIMINARY SITE PLAN IS BASED ON INFORMATION FURNISHED TO BPA ARCHITECTS, INC. AND IS FOR USE TO VERIFY THE LEGAL, SURVEY AND CONVEYANCE RECORDS ETC. THE ENGINEER HAS REVIEWED A REPRESENTATIVE LIST TO VERIFY TYPE, SIZE, LOCATION, TERMS OR OCCUPANCY OF ANY BUILDING AROUND THIS CENTER.  
 ALL ROOF DRAINAGE SHALL BE DIRECTED TO A LANDSCAPE SWALE, NOT DIRECTLY TO THE PARKING LOT.

**AMERICAN DISABILITIES ACT STATEMENT**  
 THIS PROJECT WILL BE IN FULL COMPLIANCE WITH CURRENT ADA ACCESSIBILITY REQUIREMENTS TO THE EXTENT FEASIBLE FOR THE CITY OF MORENO VALLEY.

**SCOPE OF WORK**  
 A PROPOSED COMMERCIAL DEVELOPMENT ON SAID ACRES, THE PROJECT WILL BE DIVIDED INTO SEVERAL PARCELS. THE DEVELOPMENT WILL INCLUDE 24 STOREFRONTS, A SERVICE STATION WITH CONVENIENCE STORE AND A 4-STOREY 150,000 SQ. FT. RESTAURANT BUILDING. ALSO INCLUDED ARE 2 STOREFRONTS FOR THE SERVICE DRIVE FRONT OF A 1-STOREY 100,000 SQ. FT. RESTAURANT BUILDING AND A 1-STOREY MEDICAL OFFICE BUILDING. THE SITE IMPROVEMENTS INCLUDE CONCRETE DRIVEWAYS, LANDSCAPE AND HARDSCAPE DESIGN, PAVEMENT PATTERNS AND PAVEMENT AREAS.

**AREA ANALYSIS**  
 SITE AREA: 12.0 ACRES  
 NET AREA: 1,200,000 SQ. FT.  
 NET HEIGHT: 40 FT.  
 USE: COMMERCIAL  
 LANDSCAPED AREA: 10% (120,000 SQ. FT.)  
 EXISTING: 10% (120,000 SQ. FT.)  
 FUTURE: 10% (120,000 SQ. FT.)

**CASE # PA15-0048**  
 6,700 SQ. FT. RETAIL  
 6,700 SQ. FT. RESTAURANT  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

**PARCEL ANALYSIS**  
 PARCEL 1: 4.15 AC. 50 FT. FRONT SETBACK  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

**PARCEL 2: 4.47 AC. 30 FT. FRONT SETBACK**  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

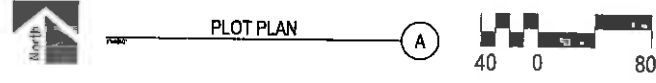
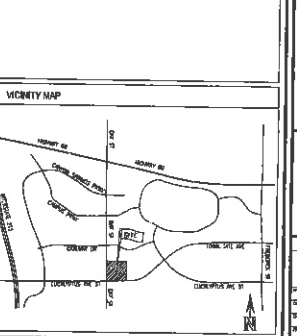
**PARCEL 3: 4.41 AC. 30 FT. FRONT SETBACK**  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

**PARCEL 4: 4.21 AC. 30 FT. FRONT SETBACK**  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

**PARCEL 5: 4.18 AC. 30 FT. FRONT SETBACK**  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

**PARCEL 6: 4.15 AC. 30 FT. FRONT SETBACK**  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE  
 1,100,000 SQ. FT. OFFICE

- SHEET INDEX**
- 1 EXISTING PAVED LOT BY RT 67
  - 2 EXISTING TOWER WALL
  - 3 EXISTING AREA SHOWING EXISTING FOOTING
  - 4 EXISTING CONC. DRIVEWAY
  - 5 EXISTING LOT TO BE REMOVED
  - 6 EXISTING PART OF DRIVEWAY TO BE REMOVED
  - 7 EXISTING STREET LIGHT FOUND
  - 8 EXISTING DRIVEWAY
  - 9 EXISTING DRIVEWAY
  - 10 EXISTING DRIVEWAY
  - 11 EXISTING DRIVEWAY
  - 12 EXISTING DRIVEWAY
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  - 97 EXISTING DRIVEWAY
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  - 99 EXISTING DRIVEWAY
  - 100 EXISTING DRIVEWAY



**BPA ARCHITECTS, INC.**  
 5075 20th Street  
 San Diego, CA 92104  
 V. 619.233.0695  
 F. 619.233.0537  
 WWW.BPA-ARCHITECTS.COM  
 OWNER: AMERICAN METROPOLIS OF AMERICA  
 CLIENT

**DAY & EUCALYPTUS, LLC**  
 801 SAN NICOLAS DRIVE, STE. 100  
 NEWPORT BEACH, CA 92660  
 TEL. (949) 714-0868  
 INFO@EUCALYPTUS.COM

**THE QUARTER**  
 N.E.C. DAY ST. & EUCALYPTUS AVE.  
 MORENO VALLEY, CA 92553

**REVISIONS**

NO.	DESCRIPTION	DATE
1		

**SHEET TITLE**  
 PLOT PLAN

**SCALE**  
 1" = 40'-0"

**DATE**  
 12/14/15

**PROJECT NO.**  
 1504

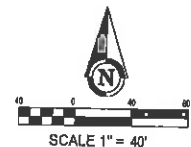
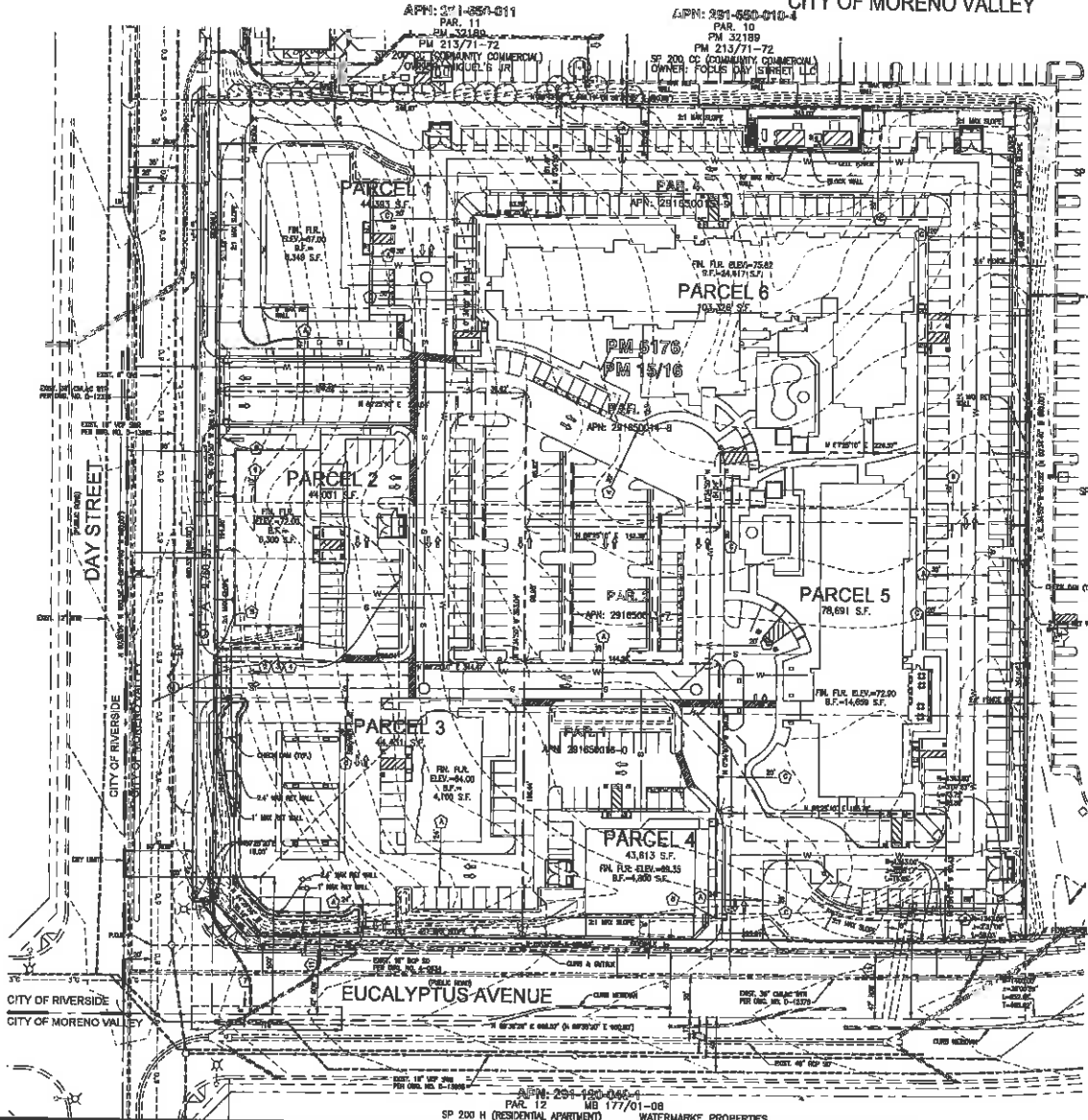
**SCALE**  
 A1.0



# PARCEL MAP NO. 37058

APN 291-650-013, 291-650-014, 291-650-015, 291-650-016

CITY OF MORENO VALLEY



NO.	DATE	BY	DESCRIPTION	REC.	APPRO.	DATE
1	3/2/2014	DR	REVISED SITE PLAN			
REVISION						

**ARCHITECT & ENGINEER CONSULTING INCORPORATED**  
 22400 UNIVERSITY AVENUE, SUITE 200, MORENO VALLEY, CA 92553  
 TEL: 951-251-3700 FAX: 951-251-3701

CITY OF MORENO VALLEY  
 PARCEL MAP NO.  
 37058

DATE: 3/2/2014  
 SHEETS: 2 OF 2

### GENERAL NOTES

1. ALL WORK CALLED FOR ON THE PLANS SHALL BE IN COMPLIANCE WITH CURRENT CITY STANDARDS PLANS ADOPTED BY THE CITY COUNCIL.
2. A CONSTRUCTION PERMIT MUST BE OBTAINED FROM THE LAND DEVELOPMENT DIVISION OF THE PUBLIC WORKS DEPARTMENT CONFORMING TO THE CITY ENGINEER'S GRADING AND/OR CONSTRUCTION WORK OF ANY TYPE WITHIN THE PUBLIC RIGHT-OF-WAY.
3. AN ENCROACHMENT PERMIT IS REQUIRED IN ALL CASES WHERE WORK WILL INTERFERE WITH HIGHWAY OR ROADWAY TRAFFIC.
4. CITY INSPECTION OF THE WORK CALLED FOR ON THE PLANS SHALL NOT IN ANY WAY RELIEVE THE CONTRACTOR FROM THE OBLIGATION OF HIS OWNERSHIP TO PERFORM THE WORK IN COMPLIANCE WITH THE PLANS.
5. ANY ALTERATIONS OR VARIANCES FROM THE PLANS, EXCEPT MINOR ADJUSTMENTS IN THE FIELD TO MEET EXISTING CONDITIONS, SHALL BE REQUESTED BY WRITTEN AND MAY BE INSTALLED ONLY APPROVED BY THE CITY ENGINEER OR DESIGNATED REPRESENTATIVE ACTING SPECIFICALLY ON HIS/HER INSTRUCTIONS.
6. THE GRADING AND/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO(2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS FOR THE CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES AND POLICIES.
7. ALL ELEVATIONS SHOWN ON THE PLAN ARE ESTABLISHED BY LOCAL BENCH MARK. SURVEY MONUMENTS SHALL BE PROTECTED IN PLACE.
8. QUANTITIES AS SHOWN ON THE PLAN ARE ESTIMATED AND THE CONTRACTOR IS ADVISED THAT ALL FINAL QUANTITIES OF MATERIALS AND WORK IN PLACE MAY BE SOMEWHAT GREATER OR LESS THAN THOSE INDICATED ON THE PLANS.
9. CONCRETE FOOTINGS, ALLEY APPROACHES, DRIVEWAYS AND OTHER CONCRETE ITEMS SUBJECT TO VEHICULAR TRAFFIC SHALL BE CONSTRUCTED WITH NO VEHICULAR TRAFFIC PERMITTED FOR A PERIOD NO LONGER THAN SEVEN (7) DAYS FOLLOWING THE PLACEMENT OF SAID CONCRETE ITEMS. WHEN THE ORIGINAL PROFESSIONALS CALL FOR THE USE OF SAID CONCRETE ITEMS FOR THROUGH TRAFFIC OTHER THAN THE SEVEN (7) DAY PERIOD FOR COMMENCEMENT OF OPERATION OR WHEN THE CONTRACTOR SO DESIRES, CONCRETE CONTINUING CURB SHOULD BE CONSTRUCTED PER PLAN. SUCH CURB SHALL BE USED UNDER THE DIRECTION OF THE CITY ENGINEER TO ALLOW TRAFFIC AFTER 72 HOURS OF PLACEMENT OF CONCRETE.
10. BARRIAGE LINE WITHIN ANY CITY STREET SHALL HAVE A THIRTY (30) MINIMUM COVER FROM FINISH GRADE UNLESS SAID BARRIAGE LINE IS ENCASED IN CONCRETE OR REINFORCED WITH A SPECIAL CONCRETE COVER.
11. THE CONTRACTOR SHALL OPERATE IN A MANNER COMPLIANT WITH ALL APPLICABLE SECTIONS OF THE MUNICIPAL CODE AND COMPLIANT WITH ALL APPLICABLE CITY CODES, REGULATIONS.
12. THE LOCATION OF UNDERGROUND UTILITY OR BARRIAGE LINES AS SHOWN ON THE PLANS IS APPROXIMATE AND SINCE THE ACTUAL LOCATION MAY BE SOMEWHAT DIFFERENT FROM THAT SHOWN, THE CONTRACTOR IS REQUIRED TO CONTACT THE INTERESTED UTILITY OR OWNER COMPANY BEFORE EXCAVATING IN THE VICINITY OF ANY SUCH LINES.
13. FURNITURE TREES INSTALLED BY THE DEVELOPER SHALL BE PLANTED AND MAINTAINED IN COMPLIANCE WITH THE APPROPRIATE CITY STANDARD.
14. ALL STREET NAME AND TRAFFIC REGULATORY SIGNS INDICATED ON THE PLANS WILL BE INSTALLED BY THE DEVELOPER IN ACCORDANCE WITH APPROPRIATE CITY STANDARDS.
15. ALL STREET LIGHTS INDICATED ON THE PLANS SHALL BE INSTALLED BY THE LOCAL ELECTRIC UTILITY COMPANY. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF COMPANY WHEN THE LIGHTS ARE TO BE SERVED FROM AN UNDERGROUND SYSTEM.
16. AN APPROVED REEF KILLER SHALL BE APPLIED TO THE PREPARED BASE PRIOR TO ASPHALT PAVING IN ALL AREAS WHERE THERE IS ANY EVIDENCE OF HERBICIDE OR OTHER HAZARDOUS PRESENT IN THE BASE (OTHER THAN CITY APPLICATED). MATERIAL, ALL KILLERS SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
17. PROVISIONS SHALL BE MADE BY THE CONTRACTOR FOR CONTRIBUTORY DRAINAGE AT ALL TIE-INS.
18. WHEN APPLICABLE, ALL ANY-DROUGHT COATING SHALL BE WITHIN M-BUILD SURFACE GRADED DRAINAGE FOR CONCRETE BLOCKS OF AN EQUAL APPROVED BY THE CITY ENGINEER.
19. HOURS OF OPERATIONS ARE 7:00 A.M. - 6:00 P.M. MONDAY-FRIDAY, SATURDAYS BY PRIOR APPROVAL ONLY, 7:00 A.M. - 3:00 P.M. (INDUSTRIAL/COMMERCIAL), 8:00 A.M. - 4:00 P.M. (RESIDENTIAL). NO WORK ON SUNDAY OR PUBLIC HOLIDAYS WITHOUT PRIOR CITY APPROVAL.

### GRADING NOTES

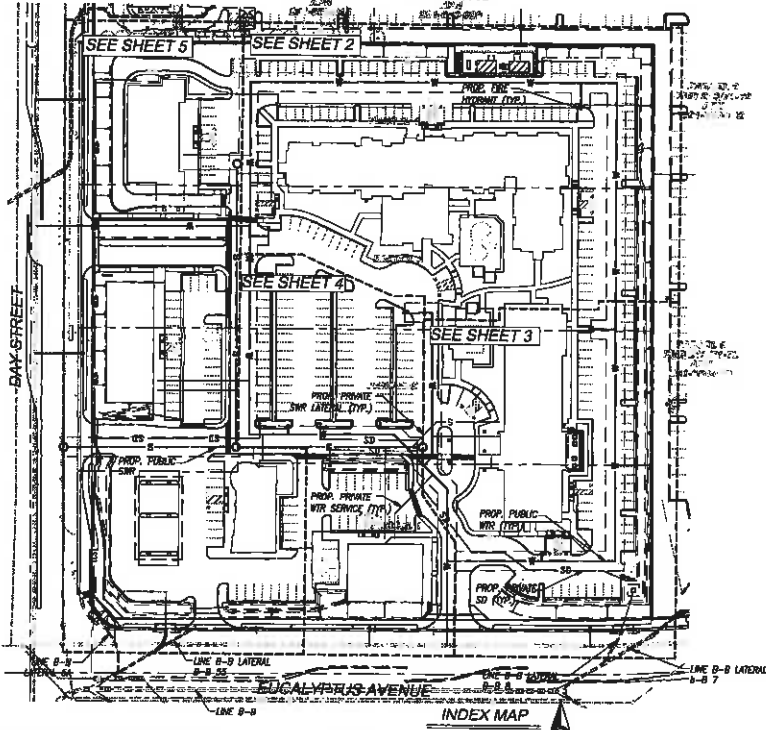
1. ALL WORK SHALL CONFORM TO THE CITY OF MORENO VALLEY GRADING REGULATIONS, THE APPLICABLE CALIFORNIA BUILDING CODE, AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES OR STRUCTURES ABOVE OR BELOW GROUND, SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGE TO ANY UTILITIES OR STRUCTURES CAUSED BY HIS OPERATION.
3. ADJACENT STREETS ARE TO BE CLEARED DAILY OF ALL DIRT AND DEBRIS THAT ARE THE RESULT OF OPERATIONS.
4. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS.
5. HOURS OF OPERATION ARE 7 A.M. TO 6 P.M. MONDAY THROUGH FRIDAY, SATURDAYS BY PRIOR APPROVAL ONLY, 7:00 A.M. TO 3:00 P.M. (INDUSTRIAL/COMMERCIAL), 8:00 A.M. - 4:00 P.M. (RESIDENTIAL). NO WORK ON SUNDAY OR PUBLIC HOLIDAYS WITHOUT PRIOR CITY APPROVAL.
6. THE CITY ENGINEERING DEPARTMENT SHALL BE CONDUCTED AT (881) 413-3120 TO SCHEDULE A PRE-GRADING MEETING 48 HOURS PRIOR TO BEGINNING OF GRADING.
7. ALL GRADING SHALL BE COMPLETED UNDER THE SUPERVISION OF A REGISTERED SOILS ENGINEER OF RECORD IN CONFORMANCE WITH RECOMMENDATIONS OF THE PRELIMINARY SOILS INVESTIGATION BY HANSEN & ASSOCIATES, INC. DATED DECEMBER 28, 2009.
8. TWO SETS OF THE FINAL SOILS REPORT SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE SOILS REPORT SHALL REFLECT THE FACT THAT CONSTRUCTION HAS BEEN COMPLETED AND DRY AT THE BUILDING AND LOCATIONS, BUT IN THE VICINITY OF THE SITE, INCLUDING THE SLOPES, FINAL SOILS GRADING CERTIFICATION SHALL BE SUBMITTED BY THE SOILS ENGINEER OF RECORD THAT THE FINAL GRADING CONFORMS TO APPENDER J OF THE CALIFORNIA BUILDING CODE (CBC) AND THE APPROVED GRADING PLAN.
9. ALL SLOPES SHALL BE A MAXIMUM OF 2:1, CUT OR FILL, UNLESS OTHERWISE RECOMMENDED BY REGISTERED SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER.
10. ALL PADS AND STALLS SHALL HAVE A MINIMUM OF 1% TO STREETS OR DRIVES.
11. ALL TRENCH SHIELDS SHALL BE TESTED AND CERTIFIED BY THE SOILS ENGINEER OF RECORD TO NOT LESS THAN SIX (6) INCHES DEPTH AS DETERMINED BY A STANDARD SOIL COMPACTION TEST D1557-76. THE TOP 12 IN. OF SOILS BELOW THE STREET PAVEMENT STRUCTURAL SECTION SHALL BE COMPACTION TO 98% RELATIVE COMPACTION.
12. SEPARATE PERMITS SHALL BE REQUIRED FOR ANY IMPROVEMENT WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
13. CUT SLOPES GREATER THAN 3 FEET IN VERTICAL HEIGHT, AND FILL SLOPES GREATER THAN 3 FEET IN VERTICAL HEIGHT SHALL BE PLANTED WITH APPROVED GRASS COVER OR OTHER APPROVED SOILS GRASS COVER. THE SOILS ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR OBTAINING AN APPROVED COVERING IN ACCORDANCE WITH THE GRADING REGULATIONS.
14. SEPARATE PERMITS SHALL BE REQUIRED FOR ALL IMPROVEMENTS FOR ALL WALLS.
15. ALL SLOPES ADJACENT TO THE PUBLIC RIGHT-OF-WAY SHALL BE SET BACK 2 FEET IF HEIGHT IS LESS THAN 10 FEET, AND 3 FEET IF HEIGHT IS GREATER THAN 10 FEET.
16. DAMAGED OR ALTERED PUBLIC IMPROVEMENTS SHALL BE REPAIRED OR REPLACED AS REQUIRED BY THE CITY ENGINEER.
17. ALL "NO-TO-BE-DROUGHT PLANS" SHALL BE SUBMITTED AT THE COMPLETION OF WORK AND PRIOR TO THE ISSUANCE OF THE CONSTRUCTION PERMIT.
18. CERTIFICATION BY THE R.C.E. OF RECORD THAT THE GRADING AND/OR CONSTRUCTION HAS BEEN COMPLETED PER REFS. 2, 8, AND 11 AND THE SITE CONFORMS TO THE PLAN AS TO LINE AND GRADE SHALL BE REQUIRED PRIOR TO COMMENCEMENT OF BUILDING PERMIT.
19. THE R.C.E. OF RECORD BEINGS THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREIN, IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE R.C.E. OF RECORD SHALL BE RESPONSIBLE FOR OBTAINING AN ACCEPTABLE SOLUTION AND REQUESTING THE PLANS FOR APPROVAL BY THE CITY ENGINEER.
20. ALL IMPROVED SOIL SHALL HAVE A CERTIFICATE GIVEN TO THE CITY ENGINEER SHOWING THAT THE SOIL IS FREE FROM CONTAMINANTS BEFORE SOIL IS GRADABLE.

### ENGINEER'S NOTICE TO CONTRACTORS

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN FIELD BY THE CONTRACTOR. SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENTS, THE CONTRACTOR IS REQUESTED TO TAKE THE PRELIMINARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

## CONCEPTUAL GRADING PLAN

MORENO VALLEY, CA



### DECLARATION OF ENGINEER OF RECORD

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLETES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES, AS THE ENGINEER IN RESPONSIBLE CHARGE OF DESIGN OF THESE IMPROVEMENTS, I ACCEPT FULL RESPONSIBILITY FOR SUCH DESIGN, I UNDERSTAND AND ACKNOWLEDGE THAT THE LIMITED PURPOSE OF ENGINEERING THAT THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS ENGINEER OF RECORD (R.C.E.), I AGREE TO INDENTURE AND HOLD THE CITY OF MORENO VALLEY, THE MORENO VALLEY HOUSING AGENCY, AND THE MORENO VALLEY COMMUNITY SERVICE DISTRICT (CSO), ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIM, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM THE NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD. I HAVE READ AND INFORMED THE PROJECT APPLICANT/DEVELOPER THAT APPROVAL OF THESE PLANS DO NOT RELIEVE THEM FROM THE REQUIREMENTS OF THE CONDITIONS OF APPROVAL (ATTACHED HEREIN OR IN OTHER APPROVED IMPROVEMENT PLANS).

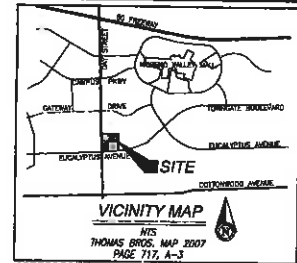
I ALSO HEREBY DECLARE THAT I HAVE COMPARED THESE PLANS WITH ALL APPLICABLE ADA TITLE II AND TITLE III REQUIREMENTS FOR ACCESSIBILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THESE REQUIREMENTS.

DATE: 11/30/15  
 SIGNATURE: DENNIS G. AMUNDSON, REGISTERED PROFESSIONAL ENGINEER, R.C.E. #25318

### LEGEND

- 3" or OVER 4" CLS GIB
- N/W
- AC JOIN LINE
- EXIST. CONTOUR
- EXIST. WATER
- EXIST. WALKER (SIZE PER PLAN)
- EXIST. SENIOR (SIZE PER PLAN)
- EXIST. GAS (SIZE PER PLAN)
- EXIST. ELECTRIC (SIZE PER PLAN)
- EXIST. TELEPHONE (SIZE PER PLAN)
- EXIST. GUTTER
- EXIST. CURB
- EXIST. E
- PROP. PCC 5/8"
- PROP. LUSP
- PROP. WATER
- PROP. SEWER
- PROP. GAS
- PROP. STORM DRAIN
- PROP. CURB
- PROP. GUTTER
- PROP. E
- PROP. RET. WALL
- PROP. CONTOUR

DATE PREPARED: 11-30-2015 PA15-XXXX



ASSESSOR'S PARCEL NO. 281-850-013-018  
 SITE ADDRESS: 414 N MAIN ST, MORENO VALLEY, CA 92550  
 ZONING: R15  
 OWNER: DEVLIN & ASSOCIATES, LLC  
 DEVELOPER: DEVLIN & ASSOCIATES, LLC

CONSULTANTS:  
 CIVIL ENGINEER: DENNIS G. AMUNDSON, R.C.E. #25318  
 SOILS ENGINEER: HANSEN & ASSOCIATES, INC., R.C.E. #25318

LEGAL DESCRIPTION:  
 PARCELS 1, 2, 3, AND 4, AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 18728 FILED IN THE OFFICE OF THE CLERK OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA ON OCTOBER 8, 1974, IN BOOK 15, PAGE 18. THIS MAP IS A PART OF PARCEL MAP NO. 18728.

SITE TOPOGRAPHY

EXISTING SITE TOPOGRAPHY HAS BEEN DERIVED FROM A TOPOGRAPHIC SURVEY COMPLETED BY J.E. MILLER & ASSOC. DATED SEPTEMBER 2015 TOGETHER WITH A TOPOGRAPHIC FIELD SURVEY COMPLETED BY CORBIN SURVEYING, INC. DATED DECEMBER 2014

SITE INFORMATION

SITE AREA	336,472 SF (ROSS) / 332,565 SF (NET)
LANDSCAPING	302
CITY CONTOUR	302
PARKING REQUIRED	302 STALLS
PARKING PROVIDED	300 STALLS
IMPROVED AREA	336,472 SF

SERVICE PROVIDERS

MORENO VALLEY ELECTRIC SERVICES	(951) 811-8200
SANITARY CHL. DIVISION	(951) 854-8123
THE GAS COMPANY	(951) 437-2500
EASTON MUNICIPAL WATER DISTRICT	(951) 425-8000
WASTE MANAGEMENT OF INLAND VALLEY	(951) 425-8000
STREET LIGHTING	(951) 413-1100
MORENO VALLEY	(951) 483-3000
ART	(951) 310-2325
INDUSTRIAL TRAVEL AGENCY	(951) 881-0500
MORENO VALLEY UNIFIED SCHOOL DISTRICT	(951) 571-7000
VAL. WASTE UNIFIED SCHOOL DISTRICT	(951) 940-8100

EARTHWORK (RAW QUANTITIES)

36,008 CY (CUT)	
4,633 CY (FILL)	
TOTAL EXCAVATION	41,641 CY

BENCHMARK

BENCHMARK 85-18  
 TBM ELEVATION 108.78  
 OBSERVATION: 30' BENCH MARK SCRIPED CITY OF RIVERSIDE OPS ELEVATION 86 1891  
 CORNER SET IN THE TOP OF A CHAIN BISC ALONG THE NORTHERLY SIDE OF CANTON STREET 100' 0.0' WEST OF 040 STREET.

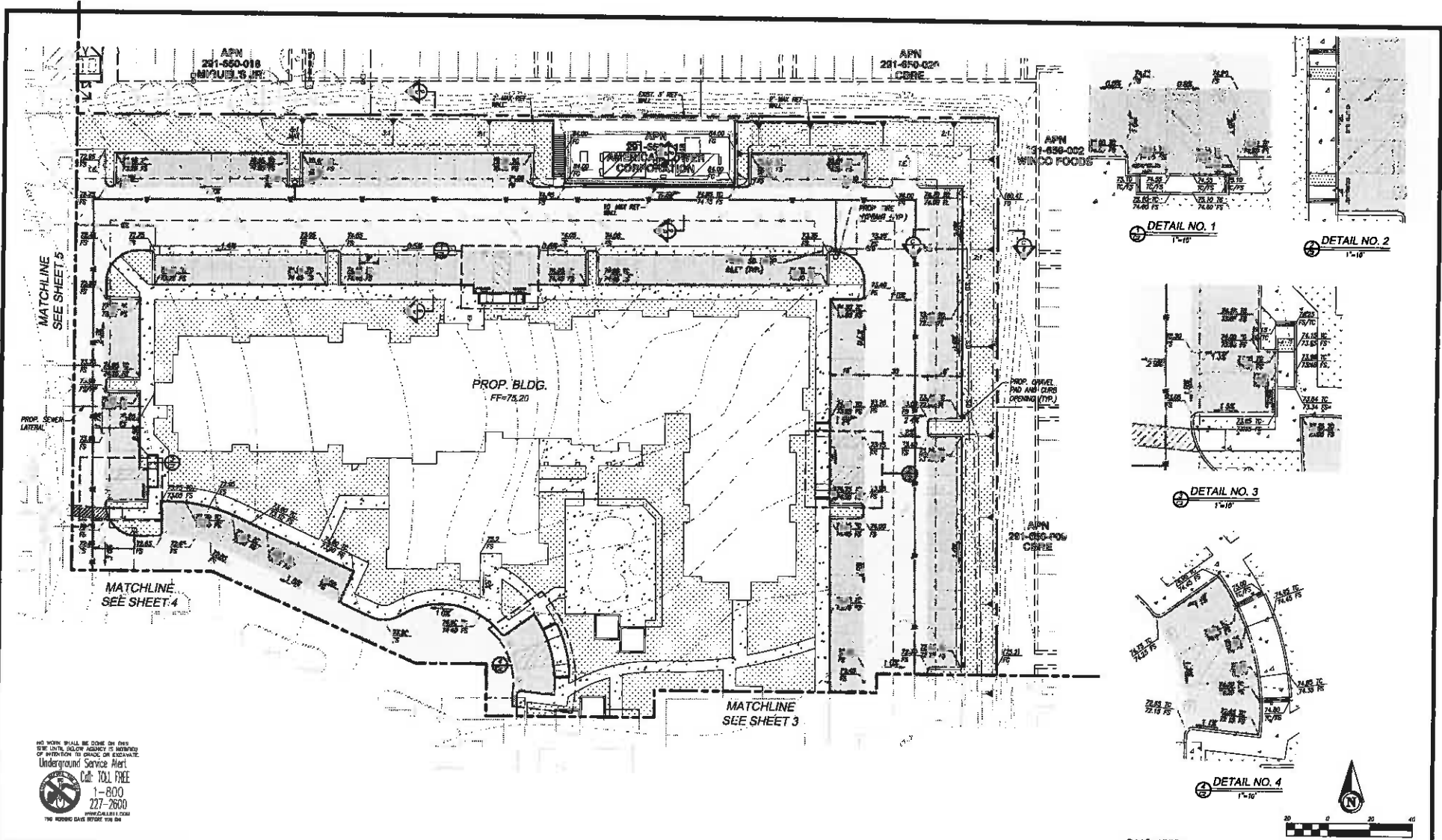
SHEET INDEX

TITLE SHEET	1
PREFACE GRADING PLAN	2-5
DETAIL SHEET	6-7



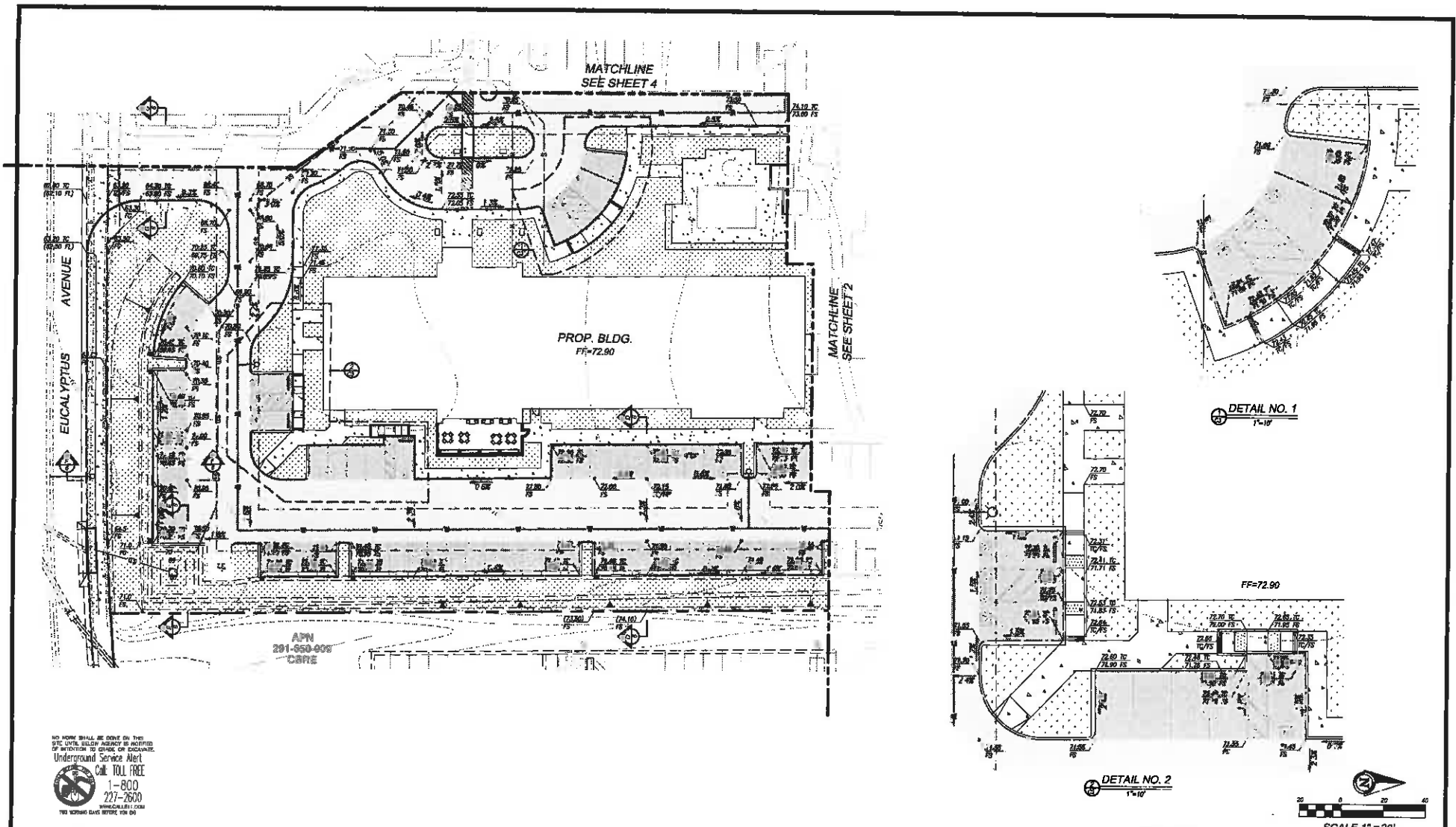
BENCHMARK		BASIS OF BEARING		REVIEW BY CITY STAFF		CITY OF MORENO VALLEY APPROVALS		ENGINEER OF RECORD'S SEAL		CITY OF MORENO VALLEY	
LOCATION: BETWEEN ALHAMBRA BLVD AND SHERRILL AVE ON DAY STREET, 40' SOUTH OF BARRIAGE LINE, 44' EAST OF DAY STREET, 20' WEST OF POWER POLE NO. 107, 10' SOUTH OF POWER POLE NO. 108, 10' WEST OF POWER POLE NO. 109, 10' WEST OF POWER POLE NO. 110, 10' WEST OF POWER POLE NO. 111, 10' WEST OF POWER POLE NO. 112, 10' WEST OF POWER POLE NO. 113, 10' WEST OF POWER POLE NO. 114, 10' WEST OF POWER POLE NO. 115, 10' WEST OF POWER POLE NO. 116, 10' WEST OF POWER POLE NO. 117, 10' WEST OF POWER POLE NO. 118, 10' WEST OF POWER POLE NO. 119, 10' WEST OF POWER POLE NO. 120, 10' WEST OF POWER POLE NO. 121, 10' WEST OF POWER POLE NO. 122, 10' WEST OF POWER POLE NO. 123, 10' WEST OF POWER POLE NO. 124, 10' WEST OF POWER POLE NO. 125, 10' WEST OF POWER POLE NO. 126, 10' WEST OF POWER POLE NO. 127, 10' WEST OF POWER POLE NO. 128, 10' WEST OF POWER POLE NO. 129, 10' WEST OF POWER POLE NO. 130, 10' WEST OF POWER POLE NO. 131, 10' WEST OF POWER POLE NO. 132, 10' WEST OF POWER POLE NO. 133, 10' WEST OF POWER 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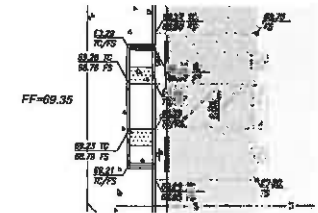
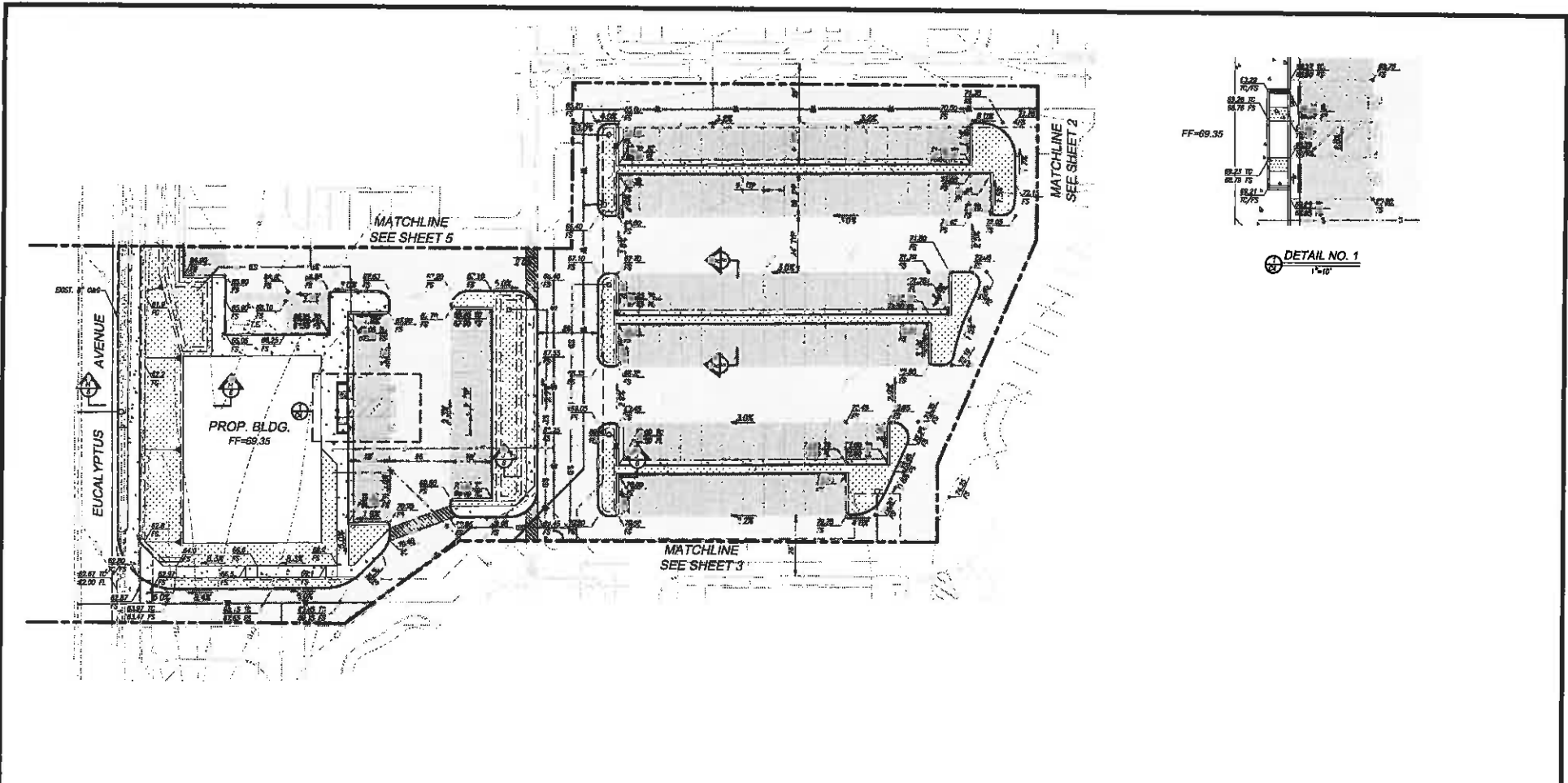
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 Underground Service Alert  
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 1-800-227-7660  
 780 W. BROADWAY SUITE 100 SAN ANTONIO, TEXAS 78205

<b>BENCHMARK</b> LOCATION: INTERSECTION ALVARADO BLVD. AND BROADWAY AVE. ON DAY STREET, 1/4 MILE SOUTH OF BROADWAY AVE., 1/4 MILE SOUTH OF DAY STREET, 500' WEST OF POWER LINE NO. 12004, AS PER MAP FILED IN BOOK 1774, PAGES 1 THROUGH 11 OF THE PUBLIC RECORDS OF SACRAMENTO COUNTY, CALIFORNIA. ELEVATION: 1551.102		<b>BASIS OF BEARING</b> THE SPANISH CROWN MERIDIAN ARE BASED ON THE CENTERLINE OF DAY STREET BEING NORTH OF THE NEAREST AS SHOWN ON TRACT NO. 12004, AS PER MAP FILED IN BOOK 1774, PAGES 1 THROUGH 11 OF THE PUBLIC RECORDS OF SACRAMENTO COUNTY, CALIFORNIA. THE SPANISH CROWN MERIDIAN ARE BASED ON THE CENTERLINE OF DAY STREET BEING NORTH OF THE NEAREST AS SHOWN ON TRACT NO. 12004, AS PER MAP FILED IN BOOK 1774, PAGES 1 THROUGH 11 OF THE PUBLIC RECORDS OF SACRAMENTO COUNTY, CALIFORNIA.		<b>REVIEW BY CITY STAFF</b> <table border="1"> <thead> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>ENGINEERING DIVISION MANAGER</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>TRANSPORTATION</td> <td></td> <td></td> </tr> <tr> <td>PARKS AND COMMUNITY SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL DISTRICT</td> <td></td> <td></td> </tr> <tr> <td>STORM WATER MANAGEMENT PRGM</td> <td></td> <td></td> </tr> </tbody> </table>		OFFICE	INITIAL	DATE	ENGINEERING DIVISION MANAGER			LAND DEVELOPMENT			PLANNING			TRANSPORTATION			PARKS AND COMMUNITY SERVICES			SPECIAL DISTRICT			STORM WATER MANAGEMENT PRGM			<b>CITY OF MORENO VALLEY APPROVALS</b> RECOMMENDED: PRITHI KUMAR DEPUTY PV IN ASSISTANT CITY ENGINEER R.C.E. #24453 DATE: _____ APPROVED: ANIRAD H. ANSARI PUBLIC WORKS DIRECTOR/CITY ENGINEER R.C.E. #251518 DATE: _____		<b>ENGINEER OF RECORD'S SEAL</b>  UNDER THE SUPERVISION OF: DENNIS G. ARMSTRONG R.C.E. #48734 (EXP. 8/30/2016) DATE: _____		PA15-XXXX SCALE 1" = 20' <b>CITY OF MORENO VALLEY</b> CONCEPTUAL GRADING PLAN GRADING PLAN SHEET 2 of 7 CITY ID No. _____	
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NO WORK SHALL BE DONE ON THIS SITE UNTIL A PERMITS AGENCY OR AGENCIES OF INTENTION TO GRADE OR EXCAVATE. Underground Service Alert. Call TOLL FREE 1-800-227-7600

<b>BENCHMARK</b> LOCATION: SOUTHERN ALPINE RD. AND SOUTHERN AVE. ON DAY STREET, 100' SOUTH OF SOUTHERN AVE., 40' EAST OF DAY STREET, 20' NORTHWEST OF POWER POLE NO. 177A. CORNER OF A 1/4 SECTION 17, T17N, R17E, S4E, COUNTY OF CALIFORNIA. MARK: 1/4" DIA. BRASS DISK ELEVATION: 1551.102		<b>BASIS OF BEARING</b> THE BEARINGS SHOWN HEREON ARE BASED ON THE DEFINITION OF DAY STREET BEING NORTH 02°45'00" WEST AS SHOWN ON TRACT NO. 22344-03 FOR APT. PLD. BY BOOK 177, PAGES 1 THROUGH 8 OF MAP, RECORD OF DIVISION COUNTY, CALIFORNIA.		<b>REVIEW BY CITY STAFF</b> <table border="1"> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> <tr> <td>ENGINEERING DIVISION MANAGER</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>TRANSPORTATION</td> <td></td> <td></td> </tr> <tr> <td>PARKS AND COMMUNITY SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL DISTRICTS</td> <td></td> <td></td> </tr> <tr> <td>STORM WATER MANAGEMENT PROGRAM</td> <td></td> <td></td> </tr> </table>		OFFICE	INITIAL	DATE	ENGINEERING DIVISION MANAGER			LAND DEVELOPMENT			PLANNING			TRANSPORTATION			PARKS AND COMMUNITY SERVICES			SPECIAL DISTRICTS			STORM WATER MANAGEMENT PROGRAM			<b>CITY OF MORENO VALLEY APPROVALS</b> RECOMMENDED: PREM KLIMAR DEPUTY PUBLIC WORKS ASSISTANT CITY ENGINEER R.C.E. #253443 DATE _____ APPROVED: AHMAD H. ANSARI PUBLIC WORKS DIRECTOR/CITY ENGINEER R.C.E. #253118 DATE _____		<b>ENGINEER OF RECORD'S SEAL</b> UNDER THE SUPERVISION OF: JAMES G. ZAMBININI R.C.E. #46758 (EXP. 9/30/2018) DATE _____		<b>CITY OF MORENO VALLEY</b> CONCEPTUAL GRADING PLAN GRADING PLAN SHEET 3 OF 7 CITY ID No.	
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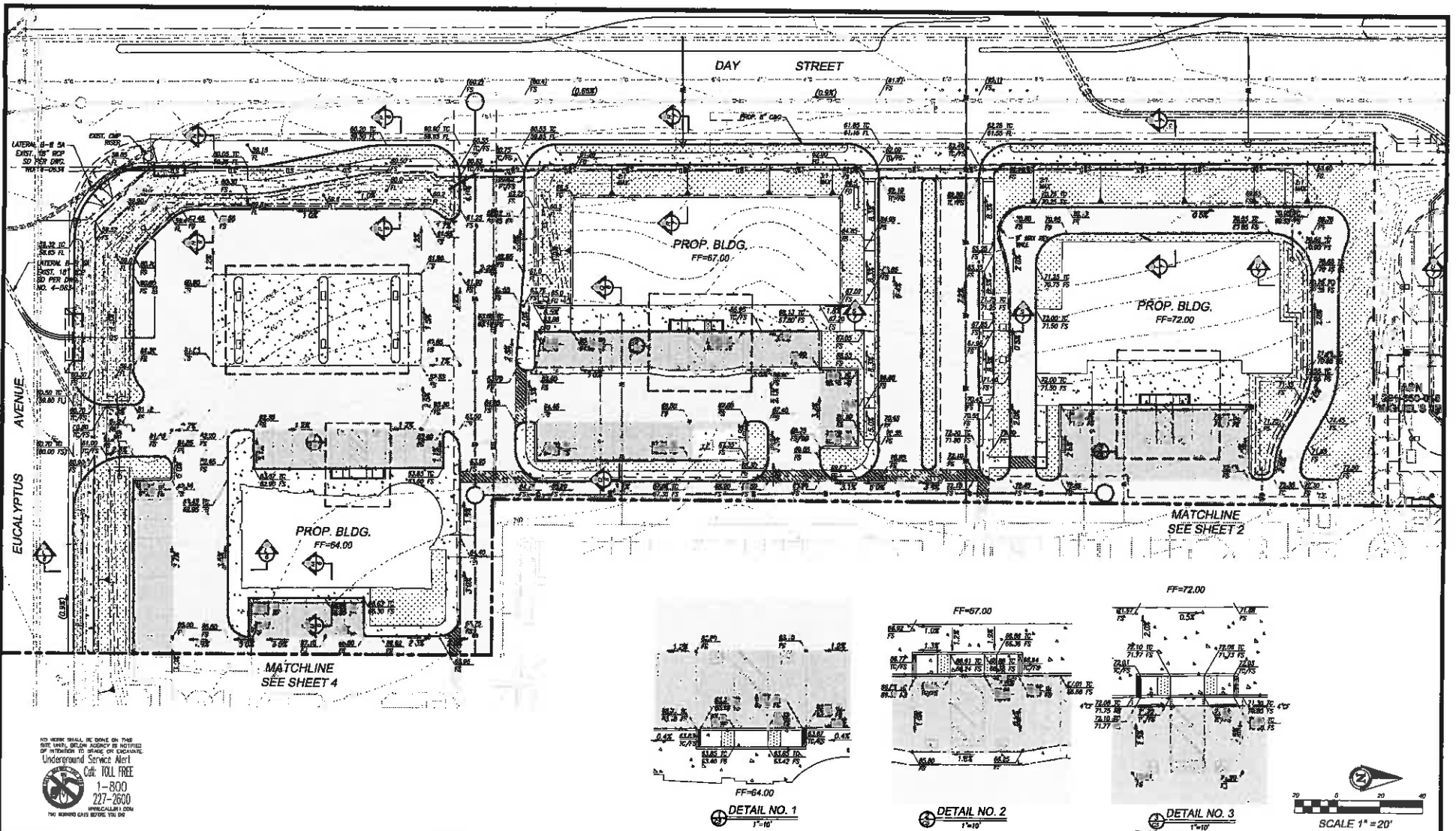
DETAIL NO. 1  
1"=10'

NO WORK SHALL BE DONE ON THIS SITE UNLESS SETBACK ADJUSTED AS ADVISED BY APPROVED BY GRADING OR EXCAVATION UNDERGROUND SERVICE ALERT  
Call: TOLL FREE  
1-800-227-2600  
WWW.CALL811.COM  
FOR SETBACK DATA BEFORE YOU GO!



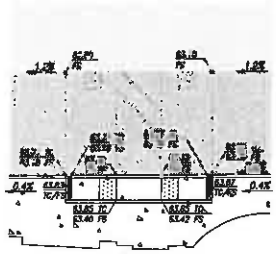
PA15-XXXX

<b>BENCHMARK</b> LOCATION: BETWEEN ALAMEDA BLVD AND SPANISH AVE. ON DAY STREET, EAST SIDE OF SPANISH AVE., 44' EAST OF DAY STREET, 34' INTERSECTION OF POWER POLE NO. 1773, PAGES 1 THROUGH 6 OF PUBLIC C.M.T. 12 BOUNDARY OF A PORTION OF THE SOUTHWEST CORNER OF A 1/4 SECTION 16, T12N, R12E, S12E, SHARPER 14-62-80 IN THE TOP 1/4 OF A CONCRETE PLOT. ELEVATION: 1881.108		<b>BASIS OF BEARING</b> THE BENCHMARK HEATHEN ARE BASED ON THE CONTINUING OF DAY STREET NAMED NORTH 02°34'00" WEST AS SHOWN ON TRUST NO. 1773, AS PER MAP FILED IN BOOK 1773, PAGES 1 THROUGH 6 OF MAPS, RECORDS OF SANDHOG COUNTY, CALIFORNIA		<b>REVIEW BY CITY STAFF</b> <table border="1"> <thead> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>ENGINEERING DIVISION MANAGER</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>TRANSPORTATION</td> <td></td> <td></td> </tr> <tr> <td>PURSES AND COMMUNITY SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL DISTRICTS</td> <td></td> <td></td> </tr> <tr> <td>STORM WATER MANAGEMENT PRGM</td> <td></td> <td></td> </tr> </tbody> </table>		OFFICE	INITIAL	DATE	ENGINEERING DIVISION MANAGER			LAND DEVELOPMENT			PLANNING			TRANSPORTATION			PURSES AND COMMUNITY SERVICES			SPECIAL DISTRICTS			STORM WATER MANAGEMENT PRGM			<b>CITY OF MORENO VALLEY APPROVALS</b> RECOMMENDED: PREM KUMAR _____ DATE _____ DEPUTY FIRE DEPT/ASSISTANT CITY ENGINEER R.C.C. #253463 APPROVED: AHMAD N. ANSARI _____ DATE _____ PUBLIC WORKS DIRECTOR/CITY ENGINEER R.C.C. #29128		<b>ENGINEER OF RECORD'S SEAL</b>  UNDER THE SUPERVISION OF: DENNIS G. ZIMMERMAN _____ DATE _____ R.C.C. #46798 (EXP. 9/30/2016)		<b>CITY OF MORENO VALLEY</b> CONCEPTUAL GRADING PLAN GRADING PLAN SHEET 4 OF 7 CITY ID No	
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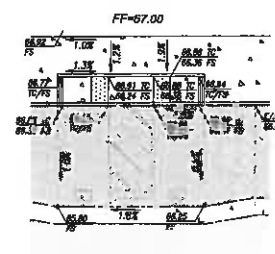


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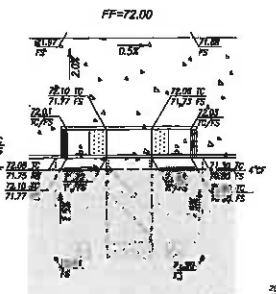
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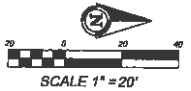
DETAIL NO. 1  
1"=10'



DETAIL NO. 2  
1"=10'

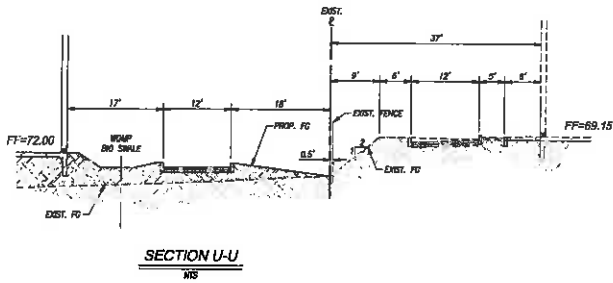
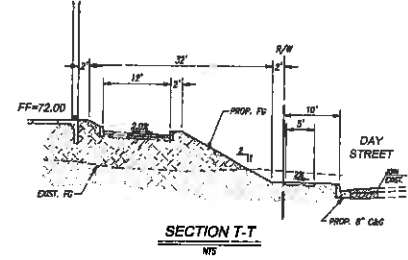
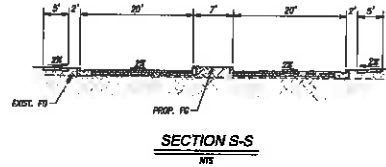
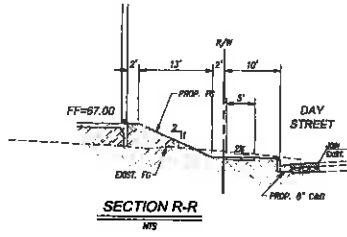


DETAIL NO. 3  
1"=10'




<b>BENCHMARK</b> LOCATION: SECTION 15550000 BLDG. AND SHEPHERD AVE. ON DAY STREET, 100' SOUTH OF SHEPHERD AVE., 40' EAST OF DAY STREET. METHOD: AS SHOWN ON TRUST SURVEY NO. 10000, 100' SOUTH OF DAY STREET, 100' EAST OF DAY STREET, 100' SOUTH OF DAY STREET, 100' EAST OF DAY STREET. ELEVATION: 1551.102		<b>BASIS OF BEARING</b> THE BENCHMARKS SHOWN HEREON ARE BASED ON THE CENTERLINE OF DAY STREET BEING NORTH 80° 00' 00" WEST AS SHOWN ON TRUST SURVEY NO. 10000, 100' SOUTH OF DAY STREET, 100' EAST OF DAY STREET, 100' SOUTH OF DAY STREET, 100' EAST OF DAY STREET.		<b>REVIEW BY CITY STAFF</b> <table border="1"> <thead> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>ENGINEERING DIVISION MANAGER</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>TRANSPORTATION</td> <td></td> <td></td> </tr> <tr> <td>PARKS AND COMMUNITY SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL DISTRICTS</td> <td></td> <td></td> </tr> <tr> <td>STORM WATER MANAGEMENT PROGRAM</td> <td></td> <td></td> </tr> </tbody> </table>		OFFICE	INITIAL	DATE	ENGINEERING DIVISION MANAGER			LAND DEVELOPMENT			PLANNING			TRANSPORTATION			PARKS AND COMMUNITY SERVICES			SPECIAL DISTRICTS			STORM WATER MANAGEMENT PROGRAM			<b>CITY OF MORENO VALLEY APPROVALS</b> RECOMMENDED: <table border="1"> <tr> <td>PREM KUMAR</td> <td>DATE</td> </tr> <tr> <td>DEPUTY PW OR ASSISTANT CITY ENGINEER</td> <td></td> </tr> <tr> <td>R.C.L. #23463</td> <td></td> </tr> </table> APPROVED: <table border="1"> <tr> <td>ANMAD R. ANSARI</td> <td>DATE</td> </tr> <tr> <td>PUBLIC WORKS DIVISION/CITY ENGINEER</td> <td></td> </tr> <tr> <td>R.C.L. #23463</td> <td></td> </tr> </table>		PREM KUMAR	DATE	DEPUTY PW OR ASSISTANT CITY ENGINEER		R.C.L. #23463		ANMAD R. ANSARI	DATE	PUBLIC WORKS DIVISION/CITY ENGINEER		R.C.L. #23463		<b>ENGINEER OF RECORD'S SEAL</b>  UNDER THE SUPERVISION OF: <table border="1"> <tr> <td>DENNIS W. JENSEN</td> <td>DATE</td> </tr> <tr> <td>R.C.L. #46758 (EXP. 3/30/2018)</td> <td></td> </tr> </table>		DENNIS W. JENSEN	DATE	R.C.L. #46758 (EXP. 3/30/2018)		<b>CITY OF MORENO VALLEY</b> CONCEPTUAL GRADING PLAN GRADING PLAN SHEET 5 OF 7 CITY ID No.	
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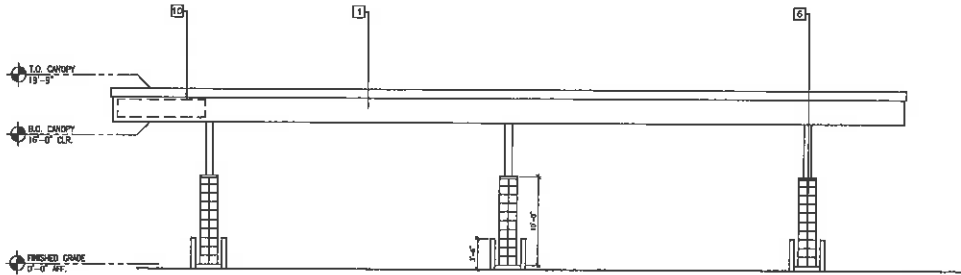




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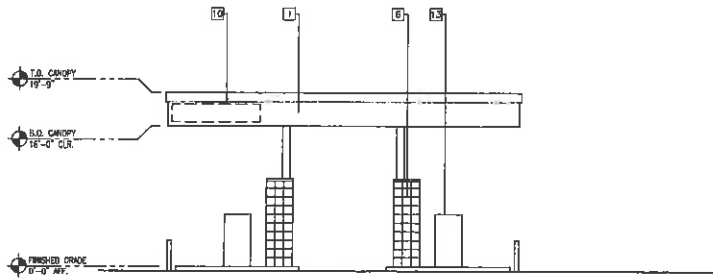
PA15-XXXX

<b>BENCHMARK</b> LOCATION: BETWEEN ADELPHIWAY BLVD. AND SHADYWAY AVE. ON DAY STREET, WEST SIDE OF SHADYWAY AVE., 45' SOUTH OF DAY STREET, SW CORNER OF POWER POLE NO. 22541, AS PER MAP FILED IN BOOK 277, PAGES 1 THROUGH 8 OF MAPS, RECORDS OF FAYATASE COUNTY, CALIFORNIA. CHAIN LAMP PINS, 1" SOUTH OF A 6" DIA. PIPE, 1" DIAMETER, 20" STAMPED M-62-89 IN THE TOP OF A CONCRETE PILE. ELEVATION: 1551.102		<b>BASIS OF BEARING</b> THE BEARING BEING HEREON ARE BASED ON THE CONTINENTAL OF DAY CENTER BEING NORTH 0°00'00" WEST AS SHOWN ON PLAT NO. 22541, AS PER MAP FILED IN BOOK 277, PAGES 1 THROUGH 8 OF MAPS, RECORDS OF FAYATASE COUNTY, CALIFORNIA.		<b>REVIEW BY CITY STAFF</b> <table border="1"> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> <tr> <td>ENGINEERING DIVISION MANAGER</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>TRANSPORTATION</td> <td></td> <td></td> </tr> <tr> <td>PUBLIC AND COMMUNITY SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL DISTRICTS</td> <td></td> <td></td> </tr> <tr> <td>STORM WATER MANAGEMENT PRGM</td> <td></td> <td></td> </tr> </table>		OFFICE	INITIAL	DATE	ENGINEERING DIVISION MANAGER			LAND DEVELOPMENT			PLANNING			TRANSPORTATION			PUBLIC AND COMMUNITY SERVICES			SPECIAL DISTRICTS			STORM WATER MANAGEMENT PRGM			<table border="1"> <thead> <tr> <th>MARK</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>REC.</th> <th>APPR.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td>REVISION</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		MARK	DATE	INITIAL	DESCRIPTION	REC.	APPR.	DATE				REVISION				<b>CITY OF MORENO VALLEY APPROVALS</b> RECOMMENDED: PREM KUMAR DATE DEPUTY P.E. OR ASSISTANT CITY ENGINEER R.C.E. #C2463 APPROVED: AHMAD R. ANSARI DATE PUBLIC WORKS DIRECTOR/CITY ENGINEER R.C.E. #C5316		<b>ENGINEER OF RECORD'S SEAL</b>  UNDER THE SUPERVISION OF: DENNIS G. AMERBROG DATE R.C.E. #48758 (EXP. 9/30/2018)		<b>CITY OF MORENO VALLEY</b> CONCEPTUAL GRADING PLAN SECTIONS & DETAIL SHEET 2 of 2 CITY ID NO	
OFFICE	INITIAL	DATE																																																	
ENGINEERING DIVISION MANAGER																																																			
LAND DEVELOPMENT																																																			
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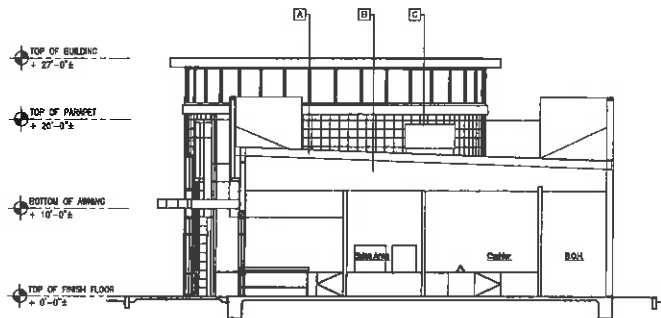
East / West Elevation

SCALE: 3/8" = 1'-0"



North / South Elevation

SCALE: 3/8" = 1'-0"



Building Section

SCALE: 3/8" = 1'-0"

Reference Notes

- 1 UPPER WALL & CORNICE COLOR  
WORKKEY WHITE (BENJAMIN MOORE, HC-21)
- 2 LOWER ACCENT WALL COLOR  
CONCORD HORY (BENJAMIN MOORE, HC-12)
- 3 MAIN WALL COLOR  
SHELBORNE BUFF (BENJAMIN MOORE, HC-28)
- 4 WALL BASE COLOR  
WINDSOROCK TAN (BENJAMIN MOORE, HC-25)
- 5 AWNING FINISH  
SAMBRELLA (BROOK BLACK)
- 6 CURT STROME NUMBER  
ASG SLATE (PRIMA, BLDG)
- 7 STOREFRONT & EASINGS & CANTILEVERED CANOPY  
CLEAR ALUMINUM
- 8 CLEAR GLAZING
- 9 SPANDREL GLASS  
SOLDER TO MATCH ADJACENT EXISTING OFFICE BUILDING
- 10 STORAGE BY OTHER UNDER SEPARATE PERMIT
- 11 LIGHT FIXTURE BY LOUIS POULSEN,  
SATURN BOWL WALL OR EQUAL
- 12 1/2" PLY REVEAL DCS-50-75 COLOR TO MATCH ADJACENT
- 13 MPD, SEE SITE PLAN

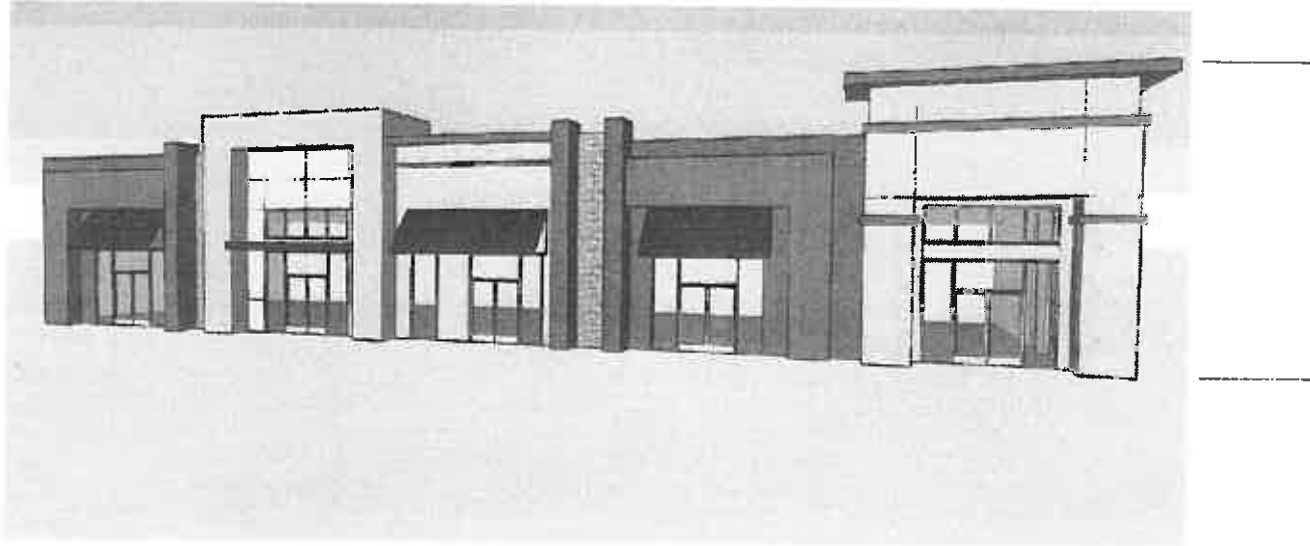
**W&W** Land Design Consultants, Inc.  
 Planning - Architecture - Interiors - Civil Engineering - CEI/EM  
 2025 W. 10th Street, Suite 1000, Santa Ana, CA 92703  
 (714) 266-2000 FAX (714) 266-2001

NO.	REVISIONS	DATE



PROJECT: L.A. ENTRADA  
 GAS STATION, C-STORE & Q.S.R.  
 N.E.C. OF DAY ST., & ECICALYPTUS AVE.,  
 MORENO VALLEY, CA 92553  
 SHEET: CANOPY ELEVATIONS & BUILDING SECTION (PROPOSED)

DATE:	---
CHECKED:	---
DRAWING FILE:	---
PROJECT NO.:	---
SHEET NUMBER:	---
<b>A3.02</b>	
OF	13 SHEETS
SCALE:	---



3576 36th Street, San Diego, CA 92104  
 TEL: 619.592.1925 F: 619.592.1927  
 www.mpa-architects.com

Date: October 22, 2015  
 MPA Job #: TED

As prepared this drawing is intended to provide a general impression of the proposed development. It is not intended to be used for construction purposes. It is not intended to be used for any other purpose. It is not intended to be used for any other purpose.

PROPOSED DEVELOPMENT - NEC DAY ST. AND EUCALYPTUS AVE., MORENO VALLEY, CA

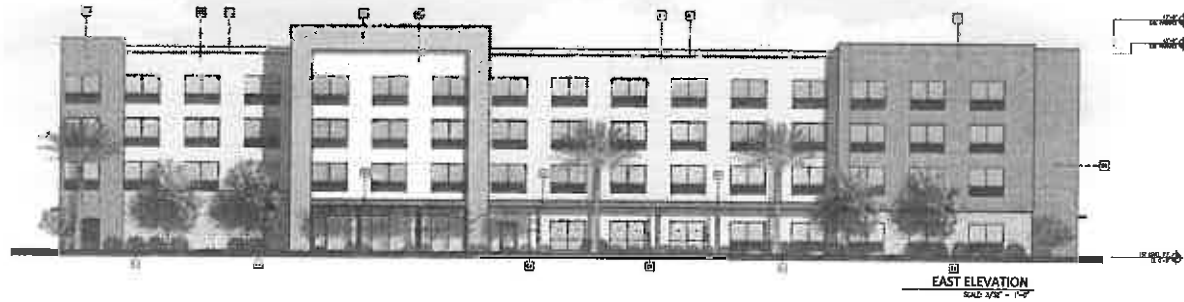
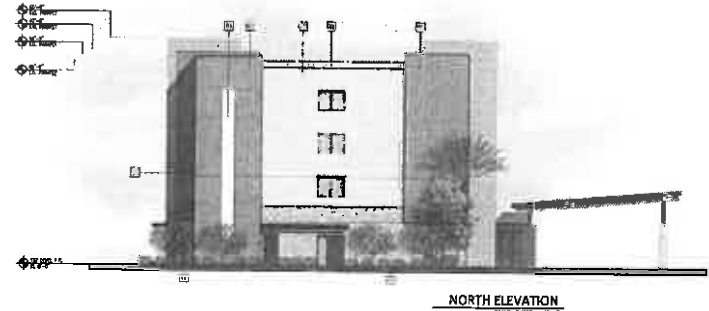
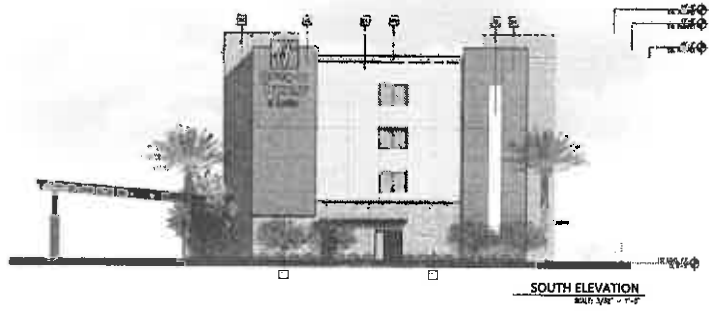
PAD 2 - CONCEPTUAL ELEVATION

DAY & EUCALYPTUS, LLC

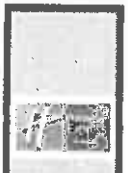
567 San Nicolas Drive, Suite 100, Newport Beach, CA 92660  
 T: 949.714.0066 F: 949.714.0067  
 www.dayandeu.com

DATE: 2-2-16





**pk**  
ARCHITECTS  
PK ARCHITECTS, PC  
14000 MORENO DRIVE, SUITE 100  
MORENO VALLEY, CALIFORNIA 92553  
PHONE: 951-251-8811



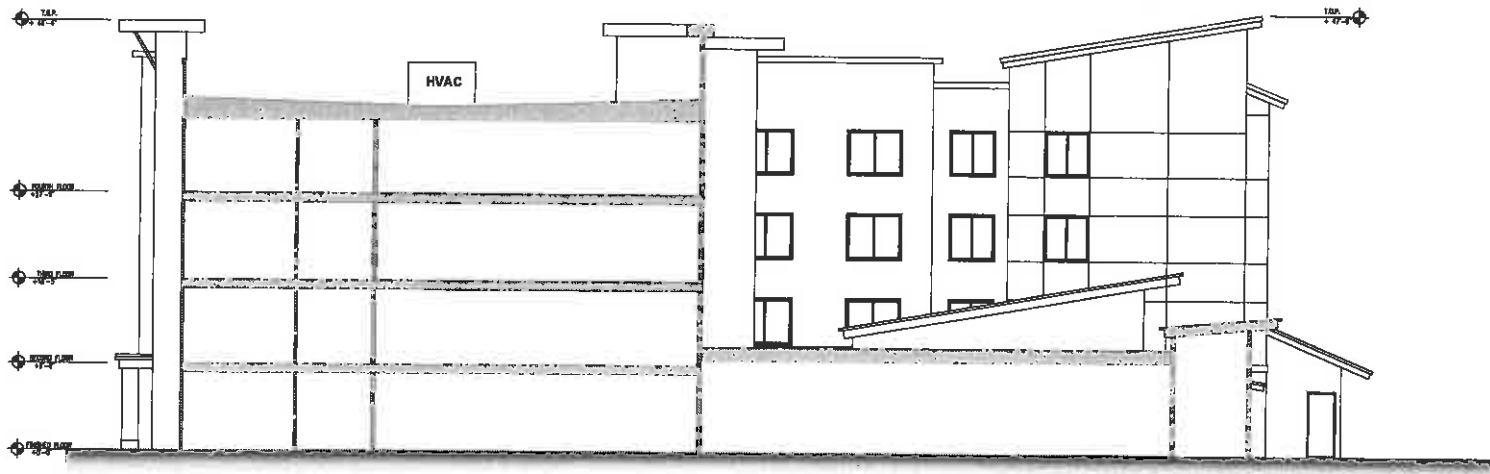
MORENO  
VALLEY,  
CALIFORNIA



PROJECT NO: 15-220  
PROJECT DATE: 02-11-2016  
PROJECT NAME: SLP  
PREPARED BY: SK/CP

DATE: 02/11/16  
EXTERIOR  
ELEVATIONS

DATE: 02/11/16  
**A3.1**



**BUILDING SECTION**  
 Scale 3/8" = 1'-0"



**pk**  
 ARCHITECTS

PK ARCHITECTS, PC  
 4415 S. JACOBO ROAD, SUITE 200  
 TREAT, ARIZONA, 85281  
 PHONE: (480) 351-1500  
 FAX: (480) 351-1501

**Residence Inn**  
 Marriott

MORENO VALLEY, CALIFORNIA

PROJECT NO. 15-208  
 DATE 12/10/2015  
 DRAWN BY SK  
 CHECKED BY SK

**BUILDING SECTION**

**A3.2**

PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

**CHAIR**  
Simon Housman  
Rancho Mirage

March 25, 2016

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Ms. Candice Assadzadeh, Project Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

Glen Holmes  
Hemet

File No.: ZAP1186MA16  
Related File No.: P15-0702 (Design Review)  
APN: 255-120-027

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Dear Ms. Assadzadeh:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case No. P15-0702, a design review to expand an existing industrial warehouse building parking lot by 17 truck trailer parking spaces on 20 acres, located at 797-799 Palmyrita Avenue, within the City of Riverside.

**STAFF**

Director  
Ed Cooper

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

John Guerin  
Paul Rull  
Russell Brady  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

The elevation of the site is more than 500 feet lower than the elevation of March's Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level), and the site is located more than 20,000 feet from runways at Riverside Municipal Airport and Flabob Airports. Therefore, FAA Obstruction Evaluation Service review was not required.

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced Design Review **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

## CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants of the building(s) thereon, and shall be recorded as a deed notice.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



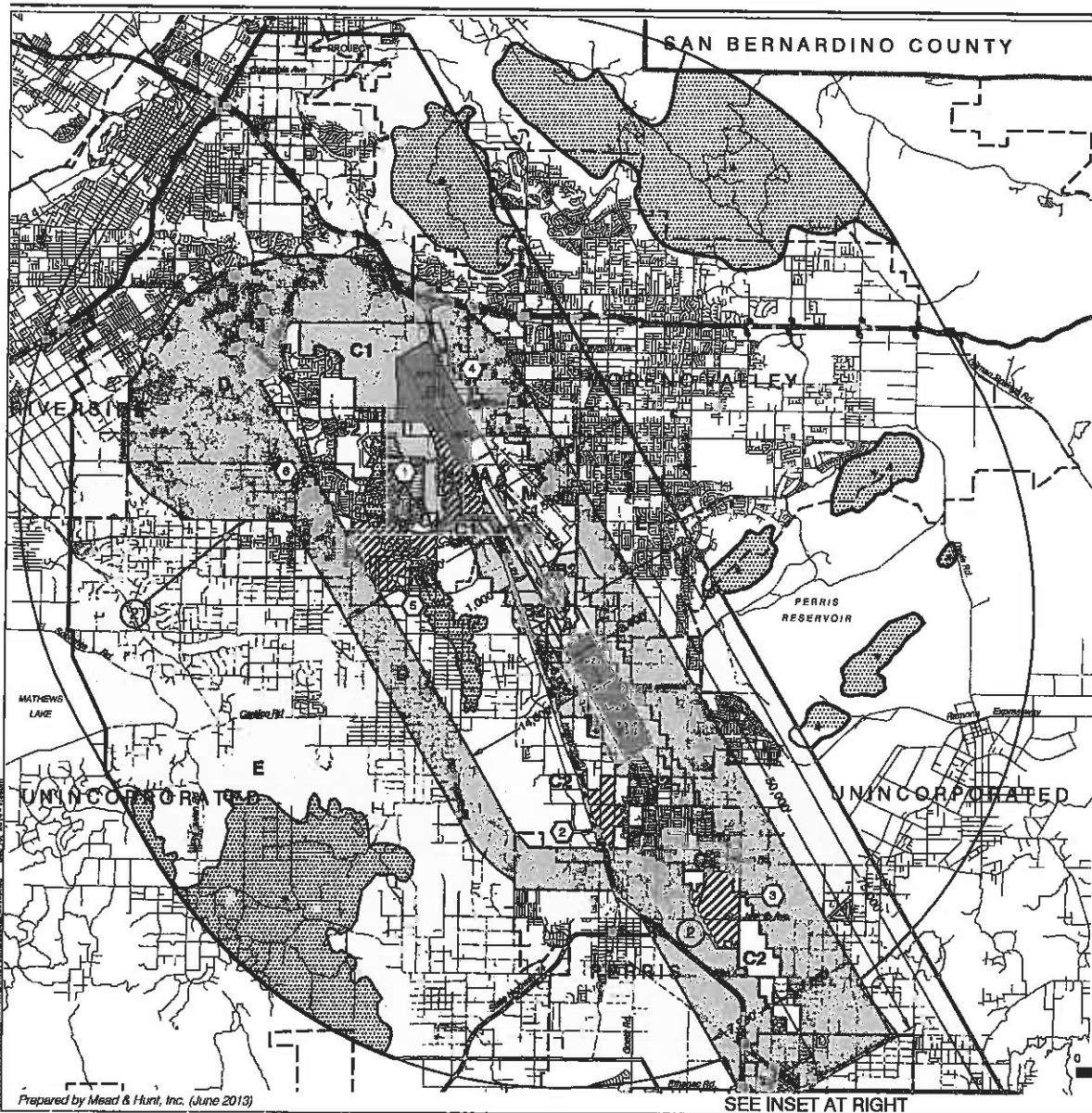
Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

cc: LBA Realty (applicant)  
Lilia Guerrero/Ware Malcomb (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

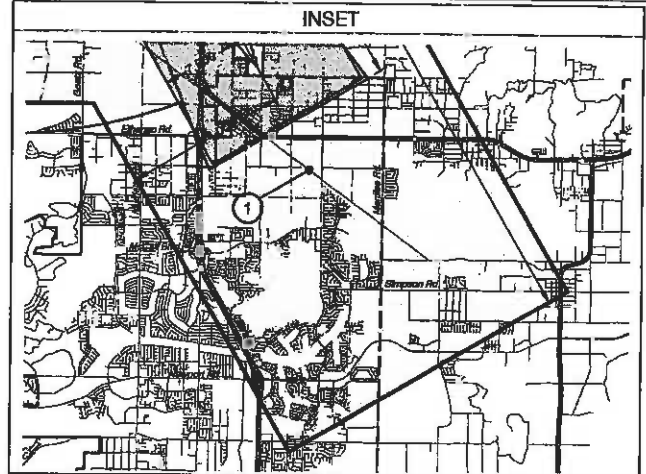
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ban Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from  
runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

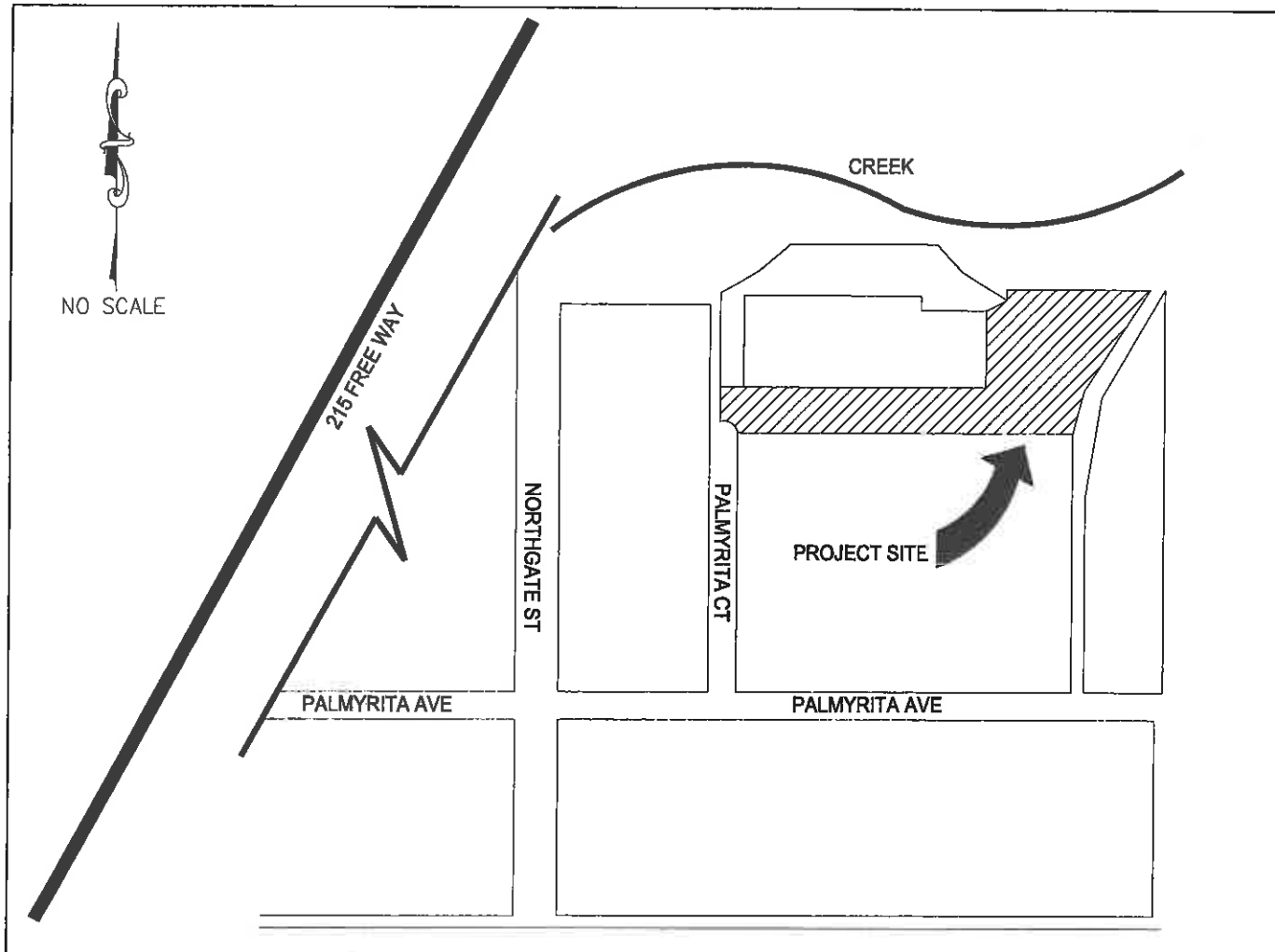
**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

# LBA REALTY

## CITY OF RIVERSIDE

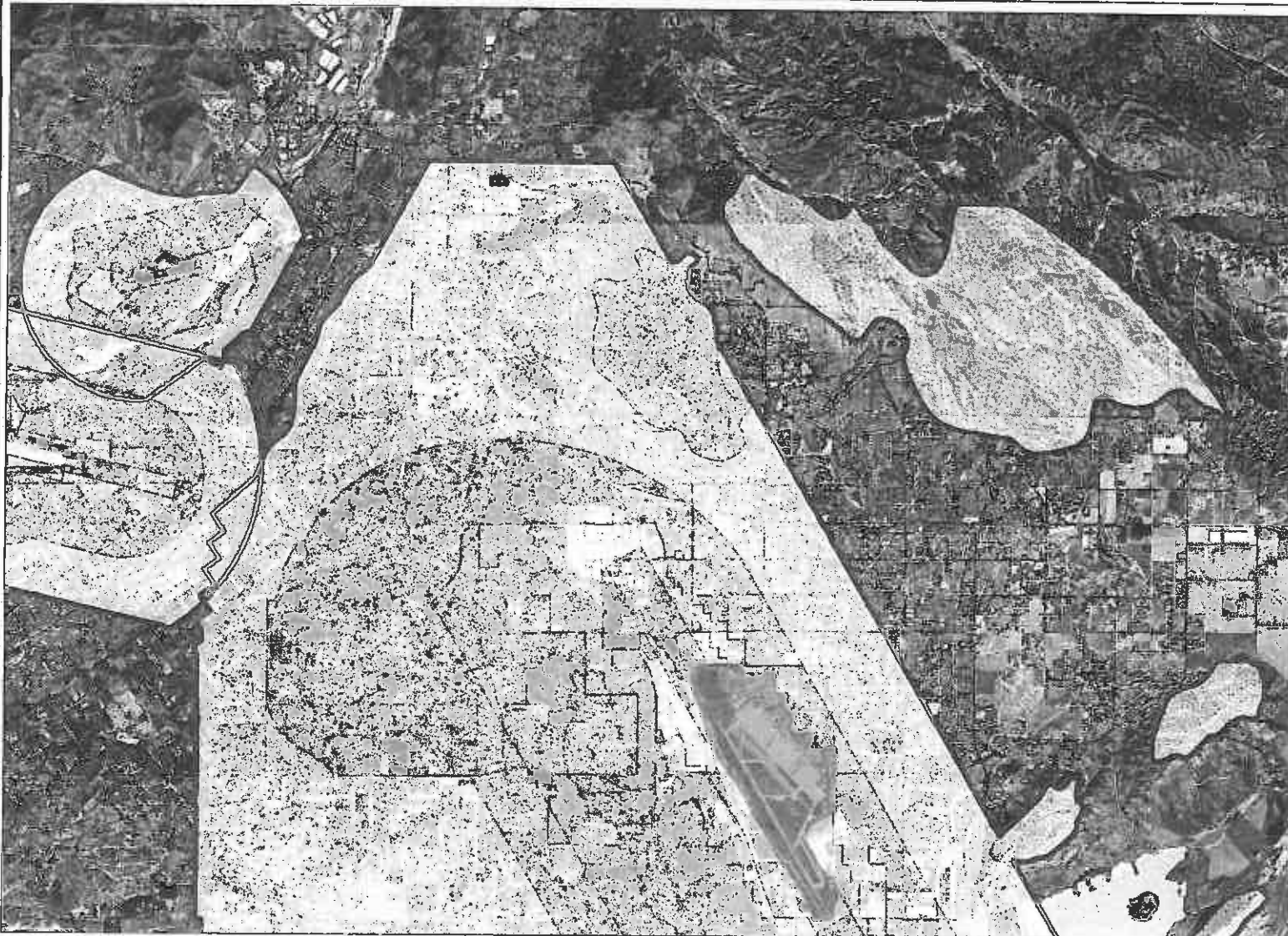
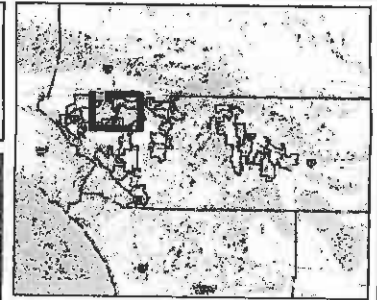
797 & 799 PALMYRITA AVE.  
RIVERSIDE, CA 92507

### VICINITY MAP





# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 13,885 27,770 Feet



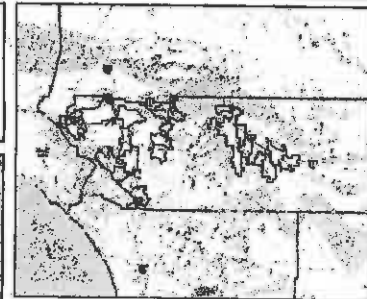
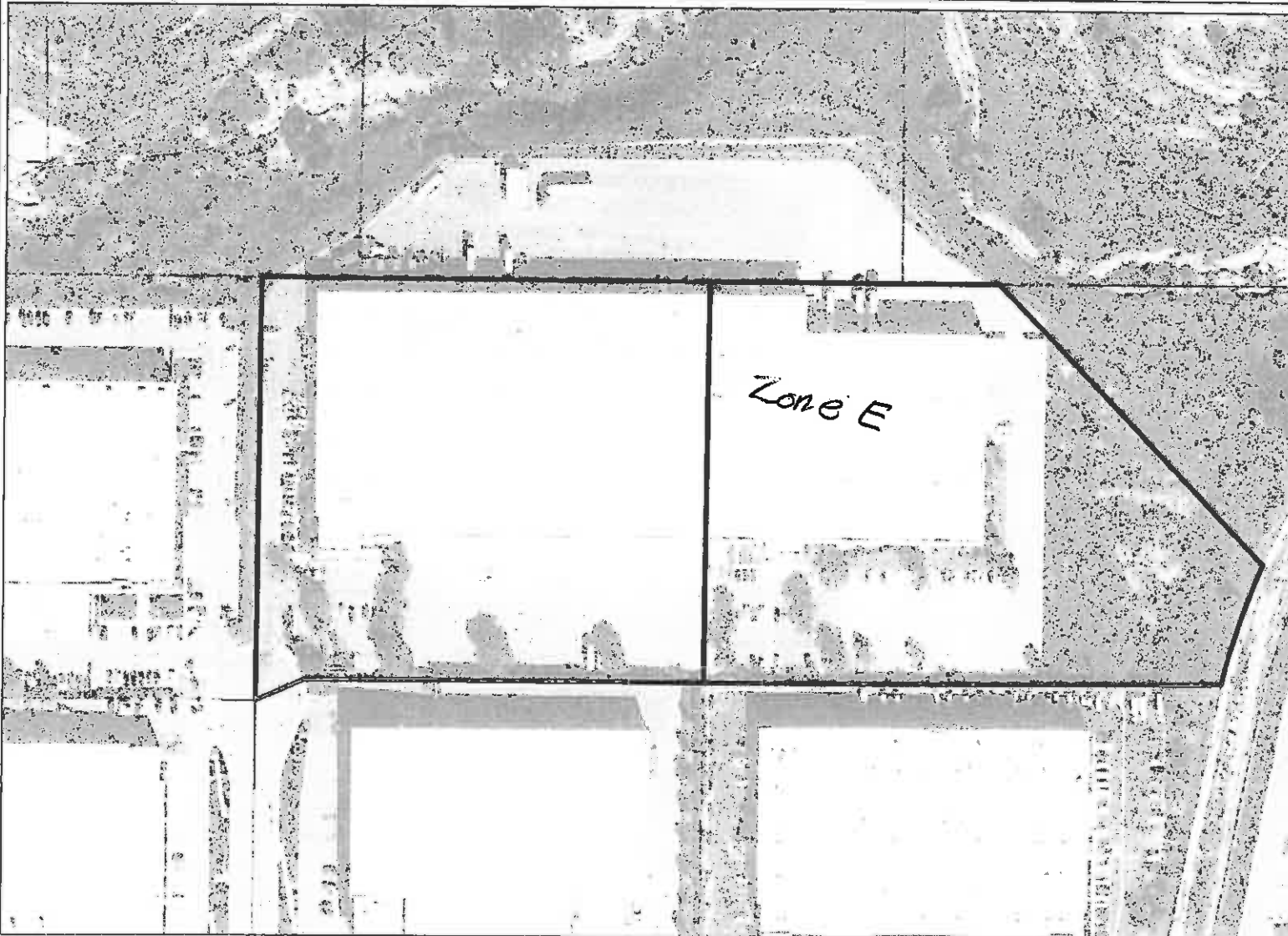
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0

217

434 Feet



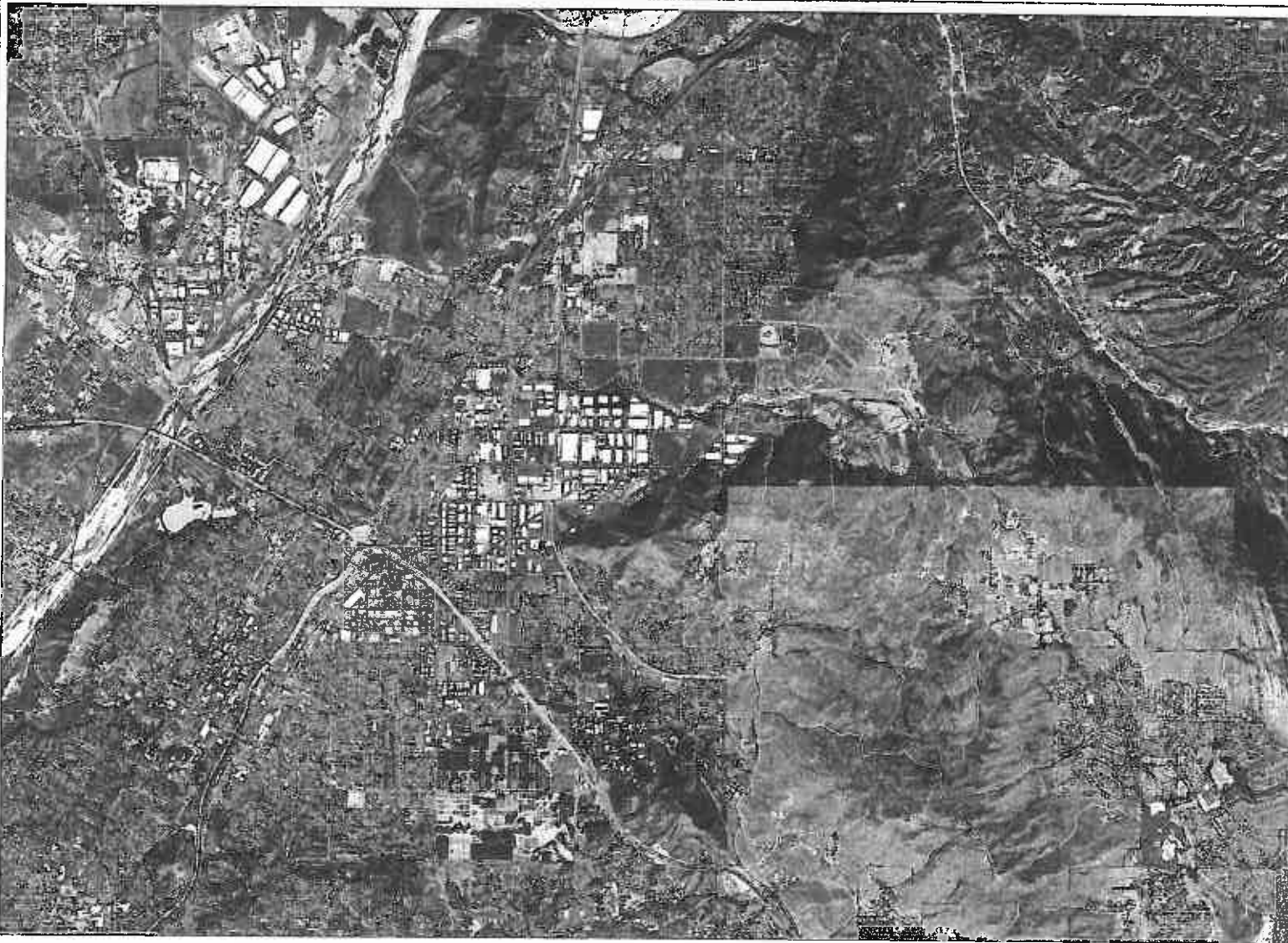
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## Notes

# My Map



## Legend

- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- majorroads
- counties
- cities



0 6,942 13,885 Feet



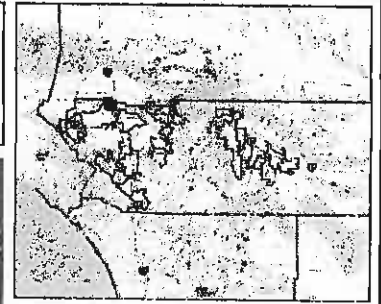
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## Notes

# My Map



## Legend

- Display Parcels
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,736 3,471 Feet



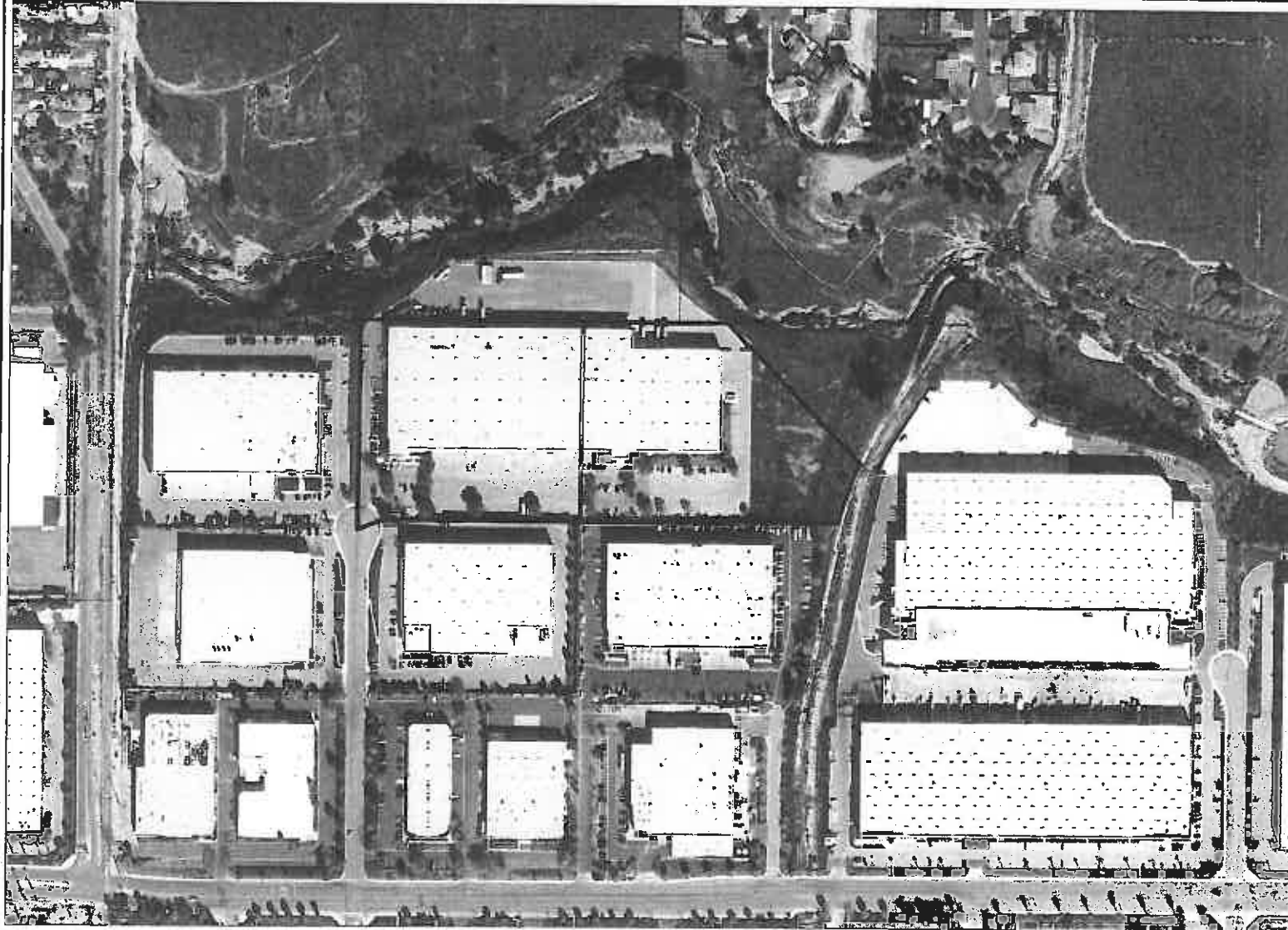
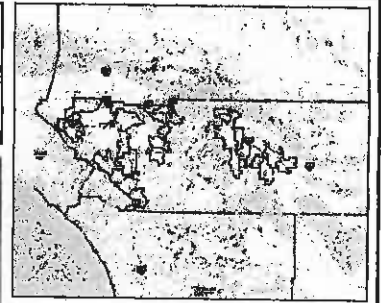
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## Notes

# My Map



## Legend

- Display Parcels
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 434 868 Feet



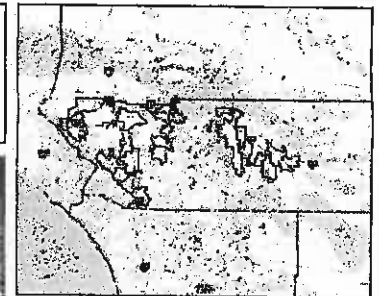
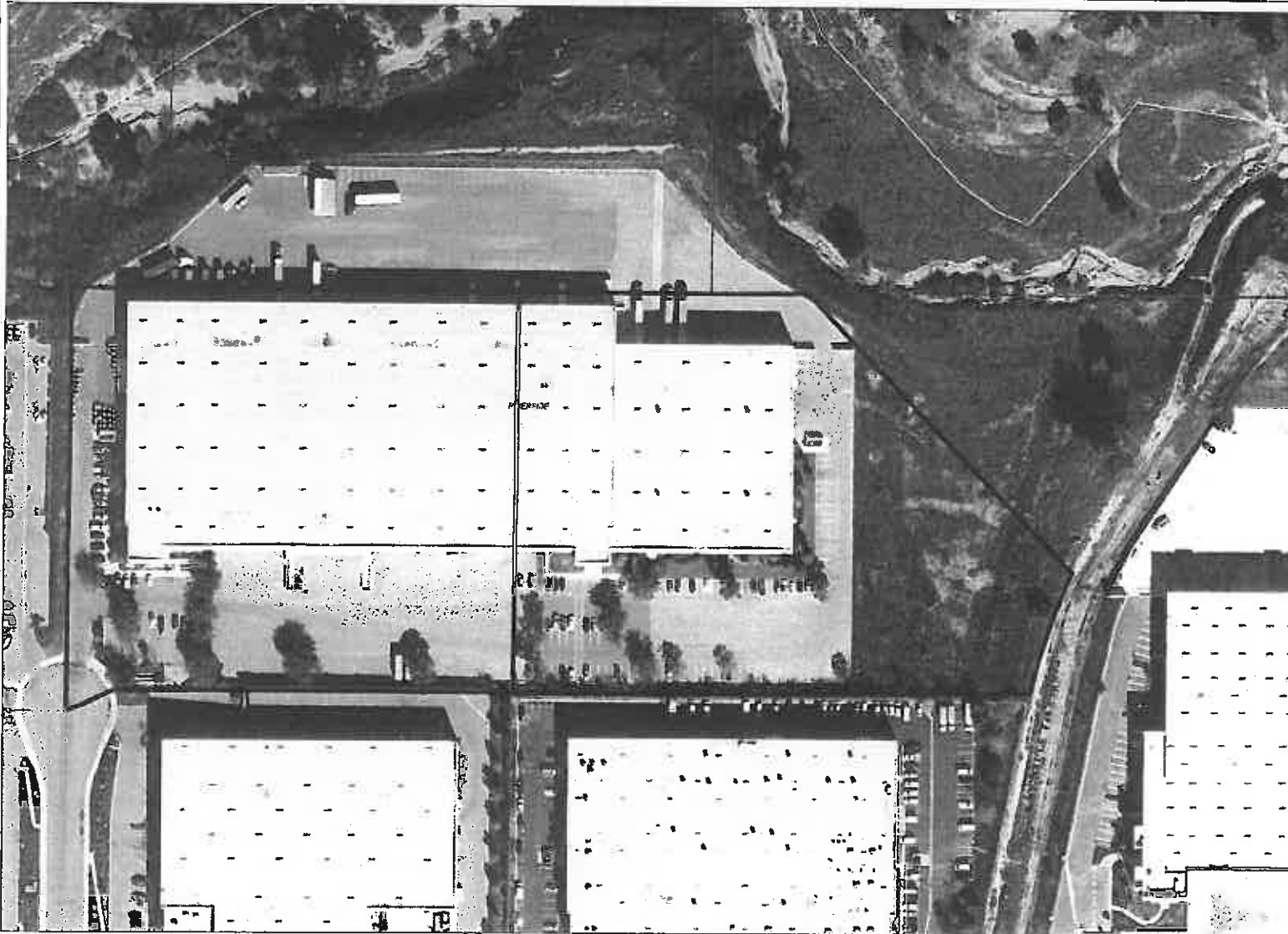
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## Notes

# My Map



## Legend

- Display Parcels
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 217 434 Feet



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## Notes

## GRADING NOTES

- ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND APPENDIX CHAPTER 33, VOL. 1 OF THE CURRENT CITY-ADOPTED EDITION OF THE UNIFORM BUILDING CODE.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY CHJ CONSULTANTS, DATED OCTOBER 16, 2016 SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERT. NO. \_\_\_\_\_ EXP. DATE \_\_\_\_\_
- THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON-SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRAINAGE LOCATIONS OR SIZES, PAVING LOT STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, ON-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
- CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN, AND A COMPACTION REPORT FROM THE SOIL ENGINEER FOR ALL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
- CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
  - ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING REGULAR GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUND COVER. (SEE LANDSCAPE PLANS FOR FINAL GROUND COVER).
  - ALL SLOPE PROTECTION SHOULDS TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
  - THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SHIPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, SAND-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF SILT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR OTHER ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 15 TO APRIL 15.
  - AFTER A RAINFALL, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS AND CHECK DAMS, SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
- ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW AND A BUILDING PERMIT FROM THE BUILDING DIVISION, PLANNING DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING INSPECTOR BEFORE ISSUANCE OF THE GRADING PERMIT. APPROVED SLOPED GRADINGS WITH 1 1/2:1 MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS.
- ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPOINTMENTS ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
- IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE CONDUCTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING ALL AREAS OUTSIDE THE BUILDING PADS AND ON ALL SLOPES.
- IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL, AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL SLOPES.
- EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
- FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
- GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEDNESDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO. 8273)

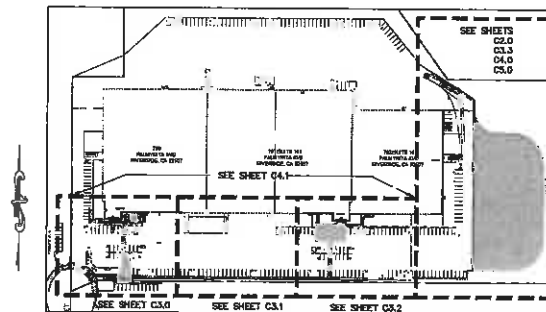
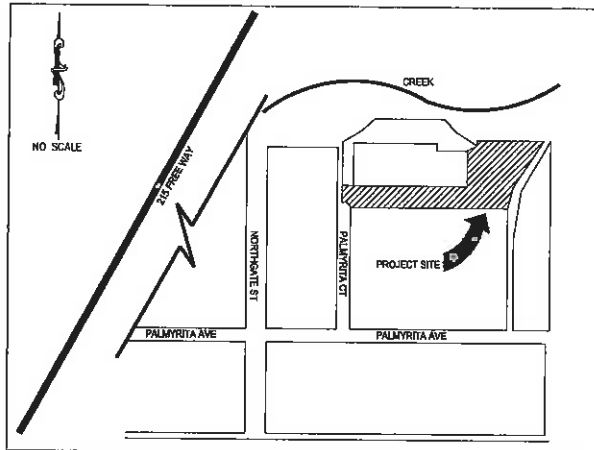
## GRADING NOTES

- NO WORK WHATSOEVER SHALL BE STARTED WITHOUT NOTIFYING THE CITY OF RIVERSIDE 48 HOURS PRIOR TO BEGINNING WORK.
- THE DESIGN ENGINEER SHALL EXERCISE SUPERVISORY CONTROL DURING GRADING AND CONSTRUCTION TO ENSURE COMPLIANCE WITH THE APPROVED PLANS WITHIN HER AREA OF TECHNICAL SPECIALTY.
- ALL CURB, SAND, MUD, OR DEBRIS DEPOSITED OR SPILLED UPON PUBLIC STREETS DURING ANY GRADING, HAULING, OR EXPORT OPERATIONS SHALL IMMEDIATELY BE CLEANED UP BY DEVELOPER, HIS CONTRACTOR OR SUBCONTRACTOR.
- GRADING OPERATIONS SHALL BE LIMITED TO THE HOURS BETWEEN 7:00 A.M. AND 7:00 P.M. ON THE WEEKDAYS.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANS PRIOR TO START OF GRADING OPERATIONS. ANY DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON PLANS AND THE CONTRACTOR'S QUANTITIES SHALL BE REPORTED TO THE ENGINEER.
- PLANTED SLOPES SHALL BE WATERED AND MAINTAINED.
- APPROVED EROSION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN PLACE AT THE END OF EACH DAY'S WORK AND BEFORE PRECIPITATED RAINY WEATHER.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITEE.

## LBA REALTY CITY OF RIVERSIDE

797 & 799 PALMYRITA AVE.  
RIVERSIDE, CA 92507

## VICINITY MAP



## INDEX MAP

NO SCALE



Know what's below.  
Call 811 before you dig.

PROJECT TEAM	
SITE DATA:	APN: 285-120-027, 248-211-001 ADDRESS: 797 & 799 PALMYRITA AVE. RIVERSIDE, CA 92507 GROSS AREA = 20 AC DISTURBED ACREAGE = 0.98 AC
OWNER/DEVELOPER:	MICHAEL DEARNEY LBA REALTY COMPANY 9, LP 17501 VON KARMAN, SUITE 350 IRVINE, CA 92619 PHONE: (949) 855-9319 FAX: (949) 855-8375
SCHOOL DISTRICT:	RIVERSIDE UNIFIED SCHOOL DISTRICT
LAND USE/ZONING:	EXISTING LAND USE: INDUSTRIAL EXISTING ZONING: INDUSTRIAL EXISTING GENERAL PLAN: B/UP PROPOSED LAND USE: TO REMAIN PROPOSED ZONING: TO REMAIN
CIVIL ENGINEER:	WARE MALCOMB 10 ESKLAW, IRVINE, CA 92618 (949) 860-8128
LANDSCAPE ARCHITECT:	COLEEN M. NOLAN, LANDSCAPE ARCHITECT, 25423 7 RD, RIELE BIANCHI BARBARITA, CA 92685 (714) 743-7815
ELECTRICAL ENGINEER:	FOSTER DESIGN GROUP-CONSULTING ENGINEERS 1701 CORVAN, SUITE 230 IRVINE CALIFORNIA 92614 ALLAN GECAPATAN, JOHN F. BRANNAM (981) 340 7123
SURVEYOR:	

SHEET INDEX	
SHEET DESCRIPTION	SHEET
COVER SHEET	C1.0 (SHEET 1 OF 13)
COVER SHEET NOTES	C1.1 (SHEET 2 OF 13)
HORIZONTAL CONTROL PLAN	C2.0 (SHEET 3 OF 13)
GRADING	C3.0 (SHEET 4 OF 13)
GRADING	C3.1 (SHEET 5 OF 13)
GRADING	C3.2 (SHEET 6 OF 13)
GRADING	C3.3 (SHEET 7 OF 13)
EROSION CONTROL PLAN	C4.0 (SHEET 8 OF 13)
EROSION CONTROL PLAN	C4.1 (SHEET 9 OF 13)
UTILITY PLAN	C5.0 (SHEET 10 OF 13)
PUMP DETAILS	C5.1 (SHEET 11 OF 13)
DETAILS	C5.0 (SHEET 12 OF 13)
FIRE TRUCK ACCESS	C7.0 (SHEET 13 OF 13)
LANDSCAPING PLAN	L1.0 (SHEET 1 OF 1)
SITE LIGHTING PLAN	L1.0 (SHEET 1 OF 1)

## EARTHWORK QUANTITY

RAW CUT	1,330 CY
RAW FILL	1,050 CY
NET CUT	280 CY

NOTE: 1. THE EARTHWORK QUANTITIES LISTED ON THESE PLANS ARE STATED ONLY FOR CALCULATION OF GRADING AND ROADWORK PERMIT FEES. THESE QUANTITIES DO NOT INCLUDE EXCESS OR EXCESSIVE EROSION CONTROL OR WALLS FROM CONSTRUCTION EXCESSIVE OR OTHER MATERIALS. THE ENGINEER MAKES NO REPRESENTATION THEREIN. THE CONTRACTOR SHALL OBTAIN ALL OWNERS' OWN EARTHWORK QUANTITIES AND MAKE HER OWN ACCORDINGLY. 2. VARIATIONS IN UTILITY LOCATIONS, DEPTHS, PAVING AND SLOPE, REEFER TO RELEVANT PLANS AND SPECIFICATIONS.

C1.0

4022.00

LBA REALTY  
COVER SHEET  
797 & 799 PALMYRITA

PW15-0702

SHEET 1 OF 13

HORIZONTAL SCALE: 1" = 48' NOTED

**IMPORTANT NOTICE**  
This is a preliminary plan. It is not to be used for construction. It is subject to change without notice. The engineer's responsibility is limited to the design of the earthwork. The contractor is responsible for the construction. The engineer's office is located at 10 Esklaw, Irvine, CA 92618. Phone: (949) 860-8128. Fax: (949) 860-8129.

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LEADING DESIGN FOR COMMERCIAL REAL ESTATE

DATE: R.C.E. 01.204 (EXP. 6-30-2017)

DESIGN OF EARTHWORK  
CITY OF RIVERSIDE BENCHMARK ID 05232; A GRASS  
COVER BENCHMARK ID 1307 18'0" 36 FEET SOUTH OF THE  
CENTRAL OF PALMYRITA 31.6 FEET EAST OF THE  
EAST END OF THE BRIDGE TRACKS IN THE NORTH EDGE  
OF A UTILITY AND STATIONING.  
ELEVATION SHALL FEET (INDICATED)

DATE: \_\_\_\_\_

DESIGNED BY: \_\_\_\_\_

RECOMMENDED BY: \_\_\_\_\_

PLANNING DIVISION

DATE: \_\_\_\_\_

REGISTERED CIVIL ENGINEER  
No. 6184  
Exp. 6-30-2017

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LEADING DESIGN FOR COMMERCIAL REAL ESTATE

PLANNING DIVISION

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: \_\_\_\_\_

# GENERAL CONSTRUCTION NOTES

- UNLESS SPECIFIED IN THE PROJECT SPECIFIC CONSTRUCTION DOCUMENT, ALL CONSTRUCTION SHOWN HEREON SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY ADOPTED VERSION OF THE UNIFORM BUILDING CODE, THE "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" (CURRENT EDITION) AND THE "STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION" (CURRENT EDITION).
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENTS CAN BE MADE IN A JOINT MEETING PRIOR TO THE START OF CONSTRUCTION. IMPROVEMENTS, THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL POSITION OF ALL POINTS OF CONNECTION TO EXISTING STRUCTURES. THIS SHALL INCLUDE BOTH ABOVE GROUND AND BELOW GROUND POINTS OF CONNECTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
- THICKNESS OF PAVEMENT AND BASE MATERIAL SHOWN HEREON IS PRELIMINARY ONLY. FINAL PAVEMENT SECTION TO BE DETERMINED BY SOIL TEST AND RECOMMENDED BY THE SOILS ENGINEER UPON COMPLETION OF SOILS BORINGS.
- CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE PRIVATE ENGINEER ISSUING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISIONS TO THE PLANS ACCORDINGLY.

# ABBREVIATIONS

(450.00)	INDICATES EXISTING ELEVATION
(450.00)	INDICATES PROPOSED ELEVATION
AG	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
BC	BEGINNING OF CURVE
CA TV	CABLE TELEVISION
CA	CENTERLINE
CL	CLEAR
CMC	CONCRETE
D	DROP INLET
EG	EXISTING GROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
EX	EXISTING
FD	FIRE DEPARTMENT CONNECTION
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FIRE SERVICE or FINISH SURFACE
GB	GRADE BREAK
GS	GROUND SURFACE
HP	HIGH POINT
ICV	IRRIGATION CONTROL VALVE
INV	INVERT ELEVATION
IRR	IRRIGATION
JB	JUNCTION BOX
L/S	LANDSCAPE
LIP	LIP OF GUTTER
LP	LOW POINT
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
NO.	NUMBER
O.C.	ON CENTER
PCC	PORTLAND CEMENT CONCRETE
PERF	PERFORATED
PIV	POST INDICATOR VALVE
PL	PROPERTY LINE
PS	FOOTINGS PER SQUARE INCH
R/W	RIGHT OF WAY
RET.	RETAINING
RM	RM ELEVATION
ROW	RIGHT OF WAY
RWL	RAIN WATER LEADER
S/W	SIDEWALK
SD	STORM DRAIN
SDCB	STORM DRAIN CATCH BASIN
SDOD	STORM DRAIN CLEAN OUT
SS	SANITARY SEWER
SSPW	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION
TC	TOP OF CURB
TR	TOP OF RAMP
TW	TOP OF WALL
TYP.	TYPICAL
W	WITH
W	WATER LINE

CONSTRUCTION NOTES	QUANTITIES
1 CONSTRUCT CONCRETE CURB OR CURB AND GUTTER PER DETAIL 1/25.0	2400 LF
2 CONSTRUCT CONCRETE VALLEY GUTTER PER DETAIL 2/25.0	50 LF
3 CONSTRUCT 0.40" ASPHALT CONCRETE PAVEMENT OVER 1.10" AGGREGATE BASE, CLASS 2 FOR 14. & THE PROPOSED PAVEMENT SECTION SHALL MEET THE GEOTECHNICAL REPORT RECOMMENDATIONS. IF DEFICIENT, WITH THE GEOTECHNICAL RECOMMENDATION SUPERSEDES.	41,500 SF
4 CONSTRUCT ADA HANDRAIL	1 EA
5 RE-CONSTRUCT CONCRETE SIDEWALK TO MATCH EXISTING SECTION	150 LF
6 SAWCUT AC PAVEMENT	80 LF
7 PROTECT IN PLACE EXISTING CURB	70A
8 PAVING TO REMAIN IN PLACE	10A
9 GRADE LANDSCAPED AREA TO MATCH THE NEW BACK OF WALK FINISHED SURFACE	10A
10 CONSTRUCT ADA TRUNCATED DOMES	1 EA
11 RECONSTRUCT PAVING TO MATCH EXISTING	2,210 LF
12 RECONSTRUCT ASPHALT PAVEMENT TO MATCH EXISTING SECTION OR AS RECOMMENDED BY GEO-TECHNICAL ENGINEERING REPORT	800 SF
13 RECONSTRUCT CURB ONLY PER DETAIL 1/5.8. PROTECT EXISTING GUTTER IN PLACE	2 EA
14 RECONSTRUCT CURB ONLY PER DETAIL 1/5.8	214 LF
15 REMOVE EXISTING CONCRETE CURB AND WALK AND CONSTRUCT ACCESSIBLE CURB RAMP PER DETAIL HEREON	1 EA
16 REMOVE EXISTING RAMP AND RECONSTRUCT THE AC PAVEMENT TO MATCH EXISTING SECTION	2 EA
17 CONSTRUCT 6" FGD OVER COMPACTED SOIL AT MIN. RELATIVE COMPACTION OF 95% ON THE UPPER 12" OF SUBGRADE SOILS. SEE GEOTECH REPORT FOR DETAILS	200 SF
18 PROPOSED LANDSCAPE AREA. SEE 1/5 PLANS FOR DETAILS	NA

# UTILITY CONSTRUCTION NOTES

- CONSTRUCT 24" SQUARE CONCRETE CATCH BASIN, 14-20 RATED, DEPTH PER PLAN.
- INSTALL MORE STORM DRAIN PIPE PER PRINCO PRODUCTS OR EQUAL DIAMETER AND LENGTH PER PLAN. TRENCH BACKFILL PER CITY OF MERSEDE STANDARD DRAWING 453.
- INSTALL 36" DIAM. DUAL-WALL CATCH BASIN BY PRINCO PRODUCTS OR EQUAL, 30" IN DEPTH PER PLAN.
- INSTALL STORMWATER QUALITY TREATMENT UNIT PRINCO 4022A PER MANUFACTURER SPECIFICATIONS. SEE DETAIL HEREON.
- STENCIL ON PAVEMENT OR ON SOLID COVERS WITH THE SIGN "DO NOT DRIP - IT DRAINS TO THE OCEAN". SEE DETAIL 5.
- CONSTRUCT SINGLE AND STRAIGHT CONCRETE HEADWALL PER CALTRANS STANDARD DRAWING DES. SIZE: D=12", H=2'-0", L=5'. SEE DETAIL 3 ON SHEET 12 (05-0)
- INSTALL PER MANUFACTURER SPECIFICATIONS A MDS 2413 HEAVY DUTY, 24" SQUARE CAST IRON GRATE WITH BLACK POWER COATING, 1" OPENING, 14-20 RATED.
- CONSTRUCT A STORM WATER STORAGE UNIT PRINCO HYDROSTOR H580 PRODUCT DETAILS AND SPECIFICATION FOR A DESIGNED CAPACITY OF 2235 OF IN 16' X 44' FOOTPRINT. SEE DETAILS ON SHEET 03.1
- INSTALL 36" DIAM. HARCO DRAIN BASIN WITH WEIR PLATE AND HARCO GRATE BY HARBRITON CORPORATION PER DETAIL SHOWN ON 03.1. CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTALLATION SPECIFICATIONS.

File: U:\Projects\0700 - 0700\Drawings\0700-0700-01-01.dwg, Date: 2/2/2017, 10:11 AM, User: jmalcomb

**IMPORTANT NOTICE**  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF WARE MALCOMB AND SHALL BE KEPT IN THE OFFICE OF THE ENGINEER. ANY REVISIONS TO THESE PLANS SHALL BE MADE BY THE ENGINEER. ANY UNAUTHORIZED REVISIONS SHALL BE AT THE USER'S RISK.  
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Date:                      R.C.E. 01.304 (Exp. 6-30-2017)

BASE OF ELEVATION: CITY OF MERSEDE BENCHMARK IS CLOSED; A BRASS CURB STAMPED "5 1307 10/97" IS 30 FEET SOUTH OF THE CENTERLINE OF PALMYRA, 01.0 FEET EAST OF THE EAST END OF THE BRSS TRACKS IN THE NORTH EDGE OF A UTILITY AND FENCELINE. ELEVATION GREAT FEET (NAVD83)

NO. SET	DATE	BY	REVISIONS	APPR.	DATE

PLANNING DIVISION  
 ENGINEERING REVIEW REQUIRED

DESIGNED BY:                      RECOMMENDED BY:                     

PLANNING DIVISION DATE:                     

**LBA REALTY**  
**COVER SHEET NOTES**  
 797 & 799 PALMYRITA

HORIZONTAL SCALE: 1" = AS NOTED

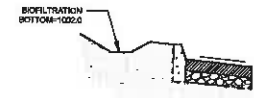
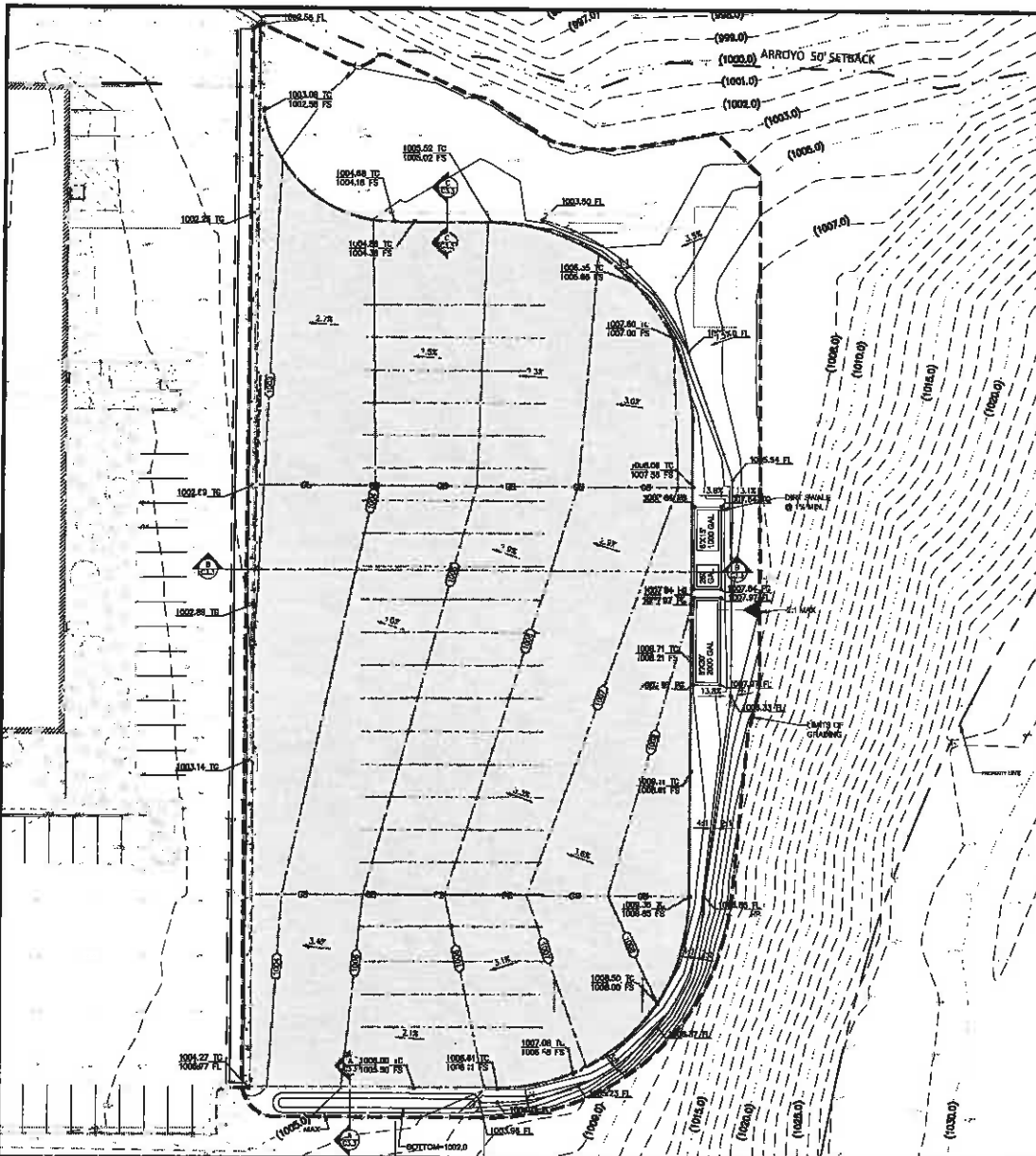
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AKZC 08

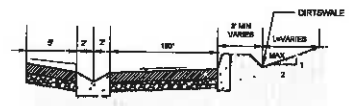
**PW15-0702**

SHEET 2 OF 13





SECTION A-A: SECTION CUT  
SCALE: N.T.S.

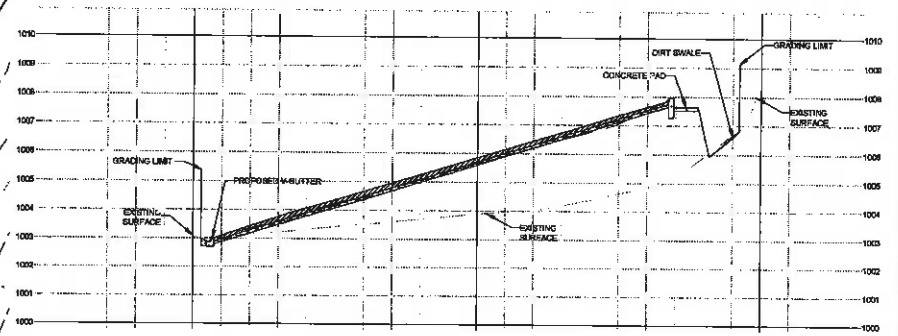


SECTION B-B: SECTION CUT  
SCALE: N.T.S.



SECTION C-C: SECTION CUT  
SCALE: N.T.S.

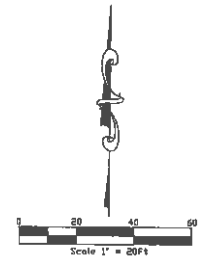
LEGEND	
	LANDSCAPE, REFER TO LANDSCAPE PLANS
	NEW AC PAVING SECTION 4" AC 1 1/2" FOR 11-4. GEOTECHNICAL CENTER WEST CONTROL
	CONCRETE
	LIMITS OF CONSTRUCTION
	SURVEYED ARROYO LIMITS
	50' ARROYO SET BACK
	PROPERTY LINE
	EXISTING CENTERLINE
	PROPOSED CONTOUR
	GRADE BREAK
	AC PAVEMENT SECTION
	FLAGSTONE BASE SECTION



SECTION B-B

HORIZONTAL SCALE : 1" = 20'  
VERTICAL SCALE : 1" = 2'

PAVEMENT THICKNESS PER GEOTECHNICAL REPORT



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DATE: 11-13-2014  
C.E. 61384 (EXP. 6-30-2017)

NO.	REVISION	DATE

PLANNING DIVISION  
DATE

LBA REALTY  
GRADING PLAN  
797 & 799 PALMYRITA

C3.3  
FW15-0702  
SHEET 7 OF 10



**D.S. LD BMP Rating**

Each LD BMP must be designed to receive the runoff from the contributing area. The runoff is calculated by the attached BMP, Inc. 45.0.0.0. The design capacity for each LD BMP shall be the maximum of the runoff from the contributing area plus the runoff from the adjacent area. The design capacity for each LD BMP shall be the maximum of the runoff from the contributing area plus the runoff from the adjacent area. The design capacity for each LD BMP shall be the maximum of the runoff from the contributing area plus the runoff from the adjacent area.

Runoff	Design	Storage	Retention	Release	Flow
1.0	1.0	1.0	1.0	1.0	1.0
2.0	2.0	2.0	2.0	2.0	2.0
3.0	3.0	3.0	3.0	3.0	3.0
4.0	4.0	4.0	4.0	4.0	4.0
5.0	5.0	5.0	5.0	5.0	5.0
6.0	6.0	6.0	6.0	6.0	6.0
7.0	7.0	7.0	7.0	7.0	7.0
8.0	8.0	8.0	8.0	8.0	8.0
9.0	9.0	9.0	9.0	9.0	9.0
10.0	10.0	10.0	10.0	10.0	10.0

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**HYDRONWATER SOLUTIONS SYBRAC® CHAMBERS**

**Performance**

**System Design**

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**HydroStar HS100**

**PrinSCO**

**Specifications Drawing**

**HydroStar HS100**

**HARCO**

**The Weir Structure is a**

**Weir Structure Details:**

**Ordering Information:**

**HARCO DRAIN BASIN WITH WEIR PLATE**

**Specifications Drawing**

**Harco Drain Basin with Weir Plate**

File: I:\Users\jmc... 2/7/2016 10:14 AM

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PLANS PREPARED UNDER SUPERVISION OF

BRUCE OF ELEMENTS

CITY OF IRVINE BENCHMARK ID 62822; A BRIDGE NUMBER "1307 1878" IS FEET SOUTH OF THE CENTERLINE OF PALMVIEW DRIVE, FEET EAST OF THE EAST END OF THE BRIDGE TRACINGS IN THE NORTH EDGE OF A UTILITY AND FOUNDATION

ELEVATION GREAT FEET (INCHES)

NO.	REVISIONS	APPR.	DATE

DESIGNED BY \_\_\_\_\_ REVIEWED BY \_\_\_\_\_

PLANNING DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

**LBA REALTY**

**WQMP DETAILS**

797 & 799 PALMYRITA

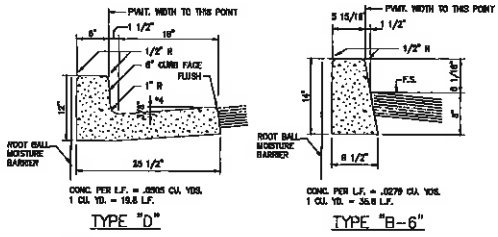
HORIZONTAL SCALE: 1" = AS NOTED

C5.1

ACT. 81

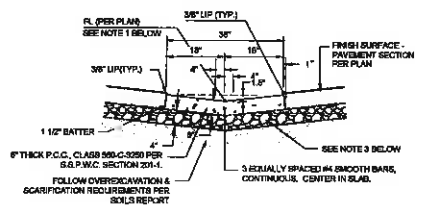
**PW15-0702**

SHEET 11 OF 13



- NOTES:**
1. ALL CURBS & GUTTERS SHALL BE PORTLAND CEMENT CONCRETE
  2. CONSTRUCTION JOINTS AT 10 FOOT INTERVALS
  3. PAVEMENT SHALL BE FLUSH WITH EDGE OF CURB
  4. DOWNSTOP CUTTER IRING FROM 3/8" TO 2" TO MATCH EXISTING
- ROOT BALL MOISTURE BARRIER NOTES:**
1. 10 MIL. PLASTIC LINER
  2. APPLY HENRY'S STD. ASPHALT EMULSION 90/10 TO BACK OF CURB, AND BOTH SIDES OF PLASTIC LINER IN CONTACT WITH CURB. KEEP TOP OF LINER 4" BELOW GRADE.
  3. 24" MIN DEPTH

**MODIFIED 6" CURB AND CURB & GUTTER DETAIL** ①  
 SCALE: N.T.S.



**STENCIL DETAIL** ④  
 SCALE: N.T.S.



**CONCRETE HEADWALL DETAIL** ③  
 SCALE: N.T.S.

**TABLE 1: STRAIGHT HEADWALLS**

NO.	H	L	TYPE		CONC.	COST
			STRAIGHT	DOUBLE		
1	1.0	1.0	1.0	1.0	1.0	1.0
2	1.0	2.0	2.0	2.0	2.0	2.0
3	1.0	3.0	3.0	3.0	3.0	3.0
4	1.0	4.0	4.0	4.0	4.0	4.0
5	1.0	5.0	5.0	5.0	5.0	5.0
6	1.0	6.0	6.0	6.0	6.0	6.0
7	1.0	7.0	7.0	7.0	7.0	7.0
8	1.0	8.0	8.0	8.0	8.0	8.0
9	1.0	9.0	9.0	9.0	9.0	9.0
10	1.0	10.0	10.0	10.0	10.0	10.0

**TABLE 2: 1/2" HEADWALLS**

NO.	H	L	TYPE		CONC.	COST
			1/2"	1"		
1	1.0	1.0	1.0	1.0	1.0	1.0
2	1.0	2.0	2.0	2.0	2.0	2.0
3	1.0	3.0	3.0	3.0	3.0	3.0
4	1.0	4.0	4.0	4.0	4.0	4.0
5	1.0	5.0	5.0	5.0	5.0	5.0
6	1.0	6.0	6.0	6.0	6.0	6.0
7	1.0	7.0	7.0	7.0	7.0	7.0
8	1.0	8.0	8.0	8.0	8.0	8.0
9	1.0	9.0	9.0	9.0	9.0	9.0
10	1.0	10.0	10.0	10.0	10.0	10.0

**TABLE 3: 1" HEADWALLS**

NO.	H	L	TYPE		CONC.	COST
			1"	1 1/2"		
1	1.0	1.0	1.0	1.0	1.0	1.0
2	1.0	2.0	2.0	2.0	2.0	2.0
3	1.0	3.0	3.0	3.0	3.0	3.0
4	1.0	4.0	4.0	4.0	4.0	4.0
5	1.0	5.0	5.0	5.0	5.0	5.0
6	1.0	6.0	6.0	6.0	6.0	6.0
7	1.0	7.0	7.0	7.0	7.0	7.0
8	1.0	8.0	8.0	8.0	8.0	8.0
9	1.0	9.0	9.0	9.0	9.0	9.0
10	1.0	10.0	10.0	10.0	10.0	10.0

**TABLE 4: CORRUGATED METAL PIPE ARCH CULVERT HEADWALLS**

NO.	H	L	TYPE		CONC.	COST
			1"	1 1/2"		
1	1.0	1.0	1.0	1.0	1.0	1.0
2	1.0	2.0	2.0	2.0	2.0	2.0
3	1.0	3.0	3.0	3.0	3.0	3.0
4	1.0	4.0	4.0	4.0	4.0	4.0
5	1.0	5.0	5.0	5.0	5.0	5.0
6	1.0	6.0	6.0	6.0	6.0	6.0
7	1.0	7.0	7.0	7.0	7.0	7.0
8	1.0	8.0	8.0	8.0	8.0	8.0
9	1.0	9.0	9.0	9.0	9.0	9.0
10	1.0	10.0	10.0	10.0	10.0	10.0

- NOTES:**
1. No deduction made in quantities for sidewalks or pipe walls.
  2. All reinforcement shall be lap, all vertical and horizontal ties use 1" minimum spacing.
  3. Length of wall 10' may be varied to suit conditions indicated in the field and straight line interpolation may be used to calculate quantities.
  4. Quantities are for design purposes only.
  5. Take rolling to be included on top of headwall when shown in profile plan, see Standard Plan 811-17 for details rolling details.

**PIPE CULVERT HEADWALLS STRAIGHT AND "L"**  
 NO SCALE  
 D88

THE L.A. COUNTY PUBLIC WORKS DEPARTMENT HAS REVIEWED THIS PLAN AND APPROVES IT FOR CONSTRUCTION UNDER THE SUPERVISION OF THE PUBLIC WORKS ENGINEER.

**IMPORTANT NOTICE**  
 Underground Service Alert  
 1-800-227-2600

architect  
 planners  
 interior  
 graphic  
 civil engineering

**WARE MALCOMB**  
 Leading Design for Commercial Real Estate  
 10 Wilshire  
 Irvine, CA 92618  
 p 949.609.1328  
 f 949.803.1591



PLANS PREPARED UNDER SUPERVISION OF  
 Date: 11/28/2017  
 R.C.E. #1284 EXP. 8-30-2017

DESIGNED BY: FEZEY  
 RECORDED BY: \_\_\_\_\_

PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED  
 DATE: \_\_\_\_\_

**LBA REALTY DETAILS**  
 797 & 799 PALMYRITA  
 HORIZONTAL SCALE 1" = AS NOTED

AWC, INC.  
**PW15-0702**  
 SHEET 11 OF 12

C6.0

PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

**CHAIR**  
Simon Housman  
Rancho Mirage

March 28, 2016

**VICE CHAIRMAN**  
Rod Ballance  
Riverside

Mr. Brian Norton, Project Planner  
City of Riverside Community Development Department/Planning Division  
3900 Main Street, Third Floor  
Riverside, CA 92522

**COMMISSIONERS**

Arthur Butler  
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

Glen Holmes  
Hemet

File No.: ZAP1187MA16  
Related File No.: P15-0945 (Conditional Use Permit)  
APN: 253-240-004

John Lyon  
Riverside

Greg Pettis  
Cathedral City

Dear Mr. Norton:

Steve Manos  
Lake Elsinore

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case No. P15-0945, a conditional use permit to construct a 60 foot high wireless facility with a 685 square foot development footprint at an existing City fire station located at 725 Central Avenue (on the northerly side of Central Avenue, easterly of its intersection with Canyon Crest Drive).

**STAFF**

Director  
Ed Cooper

John Guerin  
Paul Rull  
Russell Brady  
Barbara Santos

The site is located within Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area (March AIA). Within Compatibility Zones D and E of the March AIA, non-residential intensity is not restricted.

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

The elevation of Runway 14-32 at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). The existing maximum site elevation is approximately 1138 feet AMSL. The proposed monopine structure is 60 feet in height, for an approximate total maximum elevation of 1198 feet AMSL. Thus, the top point elevation will be more than 300 feet lower than March's runway elevation. The site is also located more than 20,000 feet from runways at Riverside Municipal Airport and Flabob Airport. Therefore, FAA Obstruction Evaluation Service review for height/elevation reasons was not required.

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced Conditional Use Permit **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and to tenants of the proposed building, and shall be recorded as a deed notice.
4. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

**AIRPORT LAND USE COMMISSION**

**March 28, 2016**

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

Attachments: Notice of Airport in Vicinity

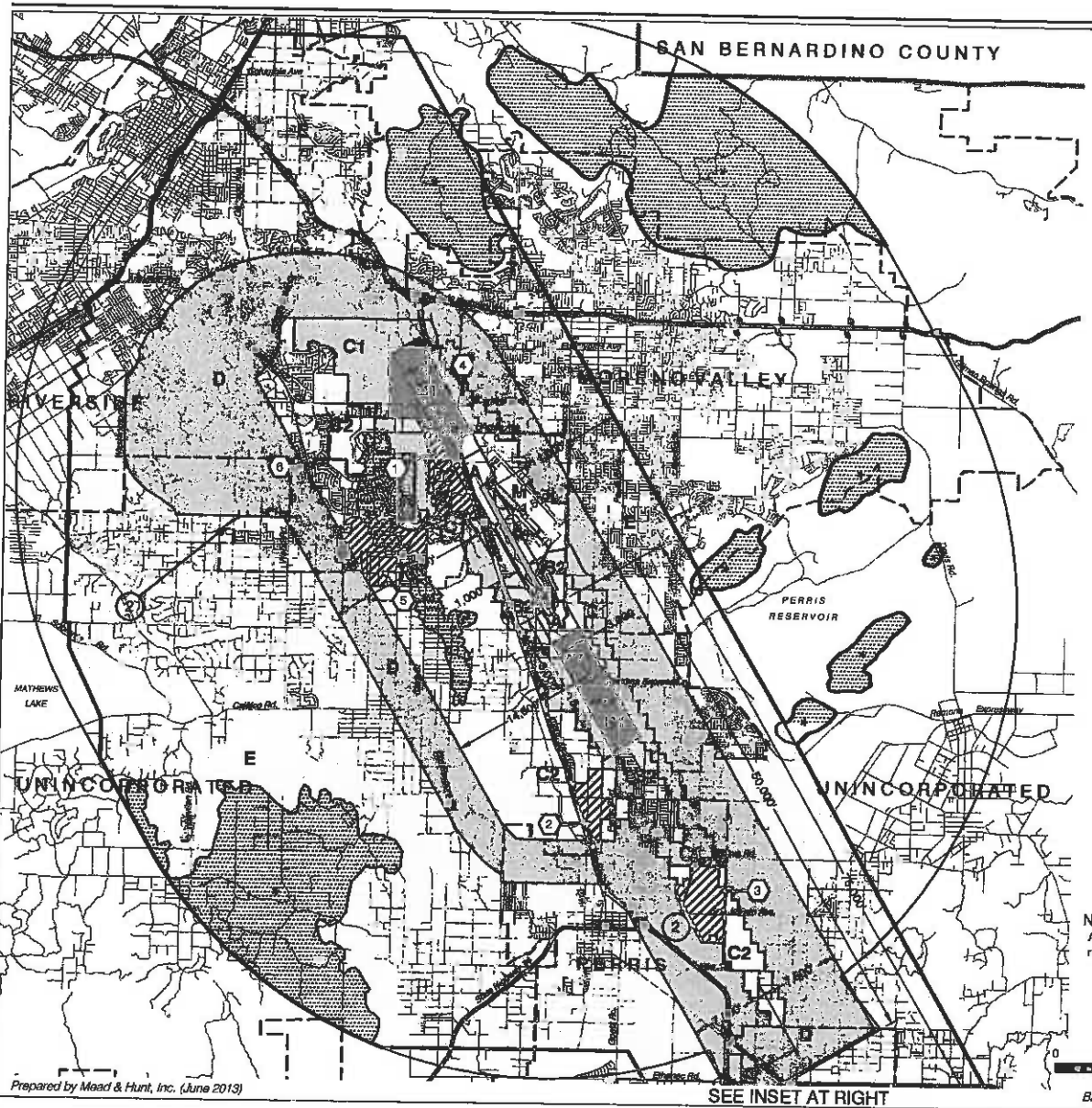
cc: City of Riverside (applicant)  
Verizon Wireless c/o Cortel/Andrea Urbas (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Denise Hauser or Sonia Pierce, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1187MA16\ZAP1187MA16.LTR.doc



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

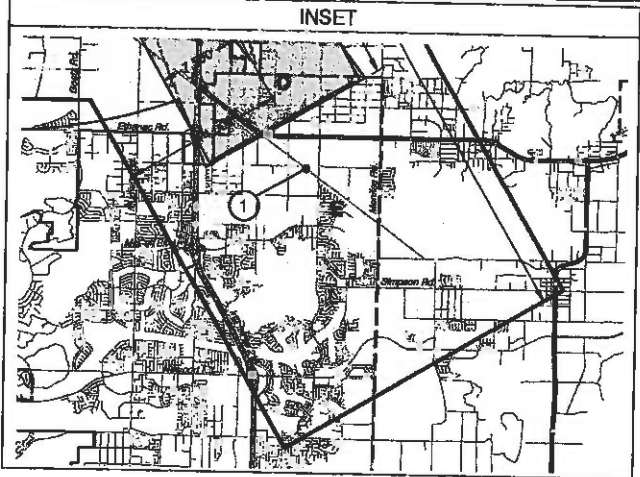
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision

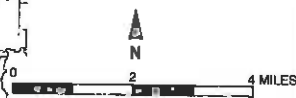


DATE: 06/13/13

Prepared by Maad & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Note:  
All dimensions are measured from runway ends and centerlines.



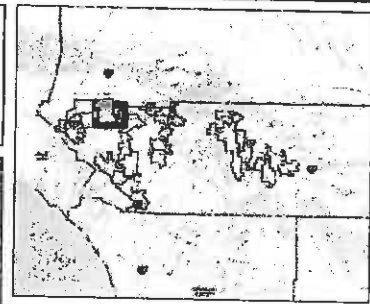
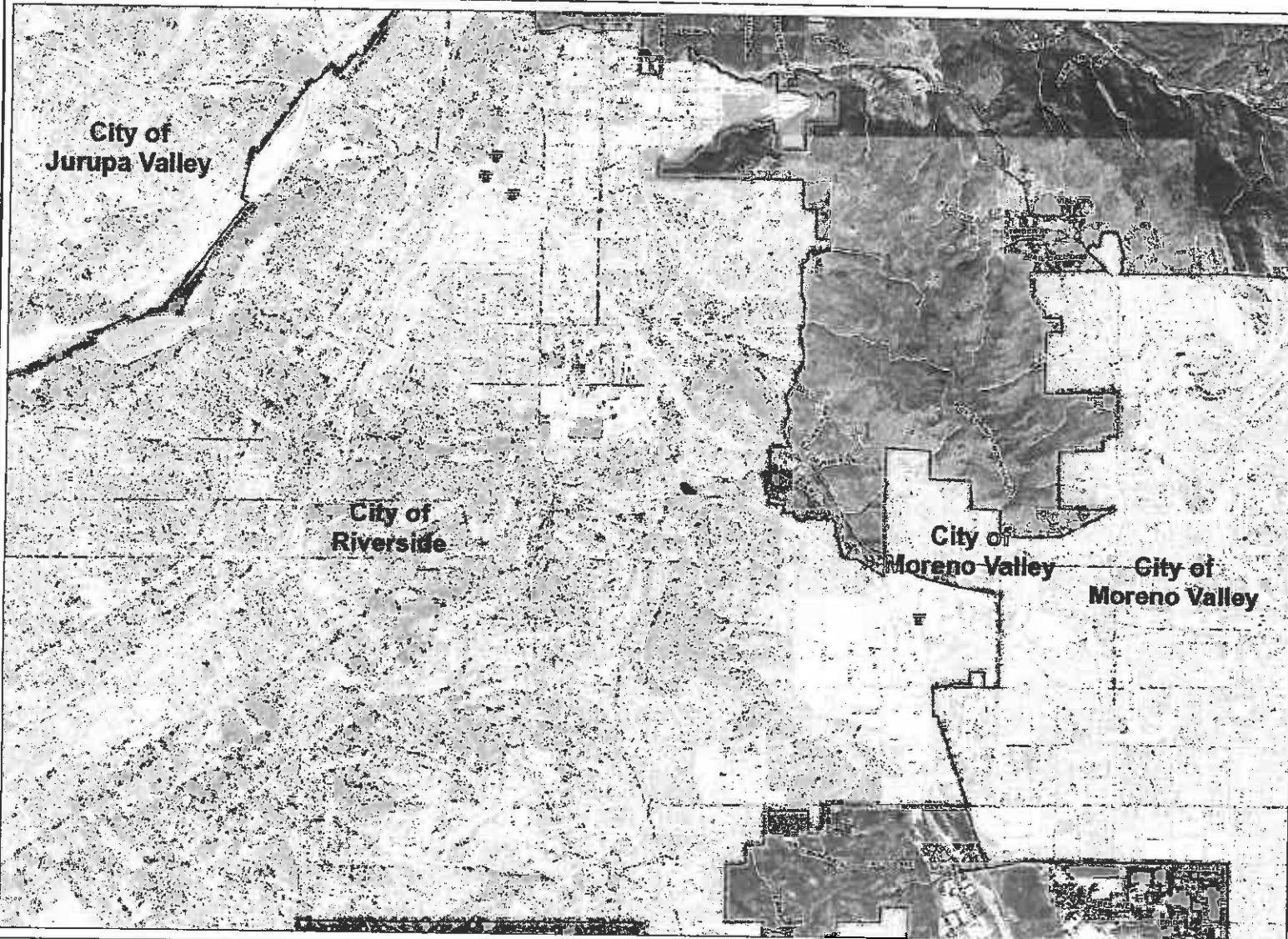
Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission**  
**March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan**  
(Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

# My Map



**Legend**

- City Boundaries
- Cities**
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



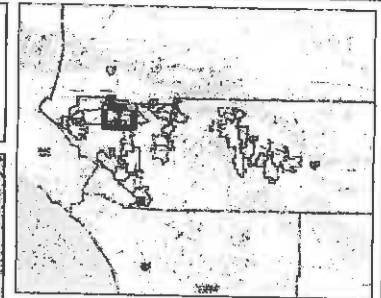
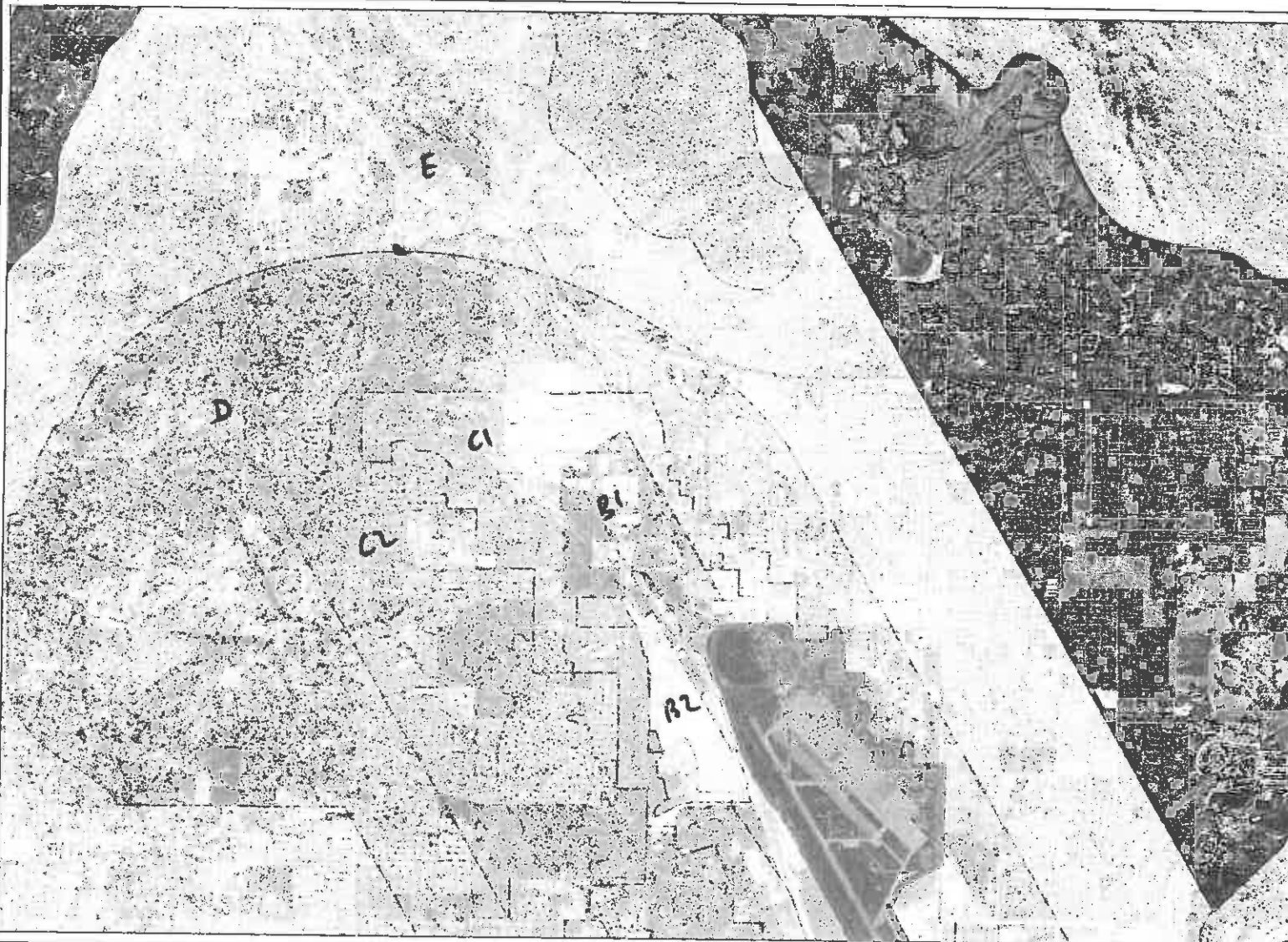
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**Notes**

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 8,436 16,872 Feet



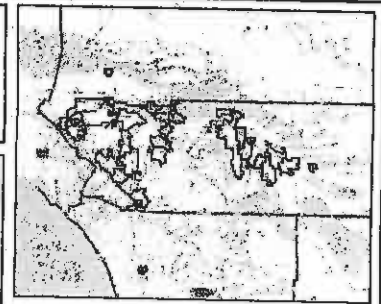
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## Notes

# My Map



## Legend

- Display Parcels
  - Airports
  - AIA
- Airport Compatibility**
- OTHER ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC6



0 132 264 Feet



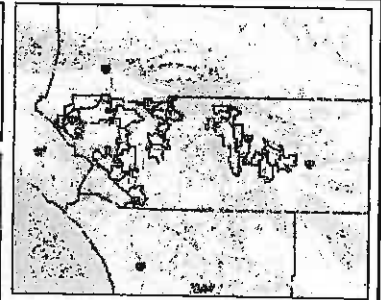
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## Notes

# My Map



## Legend

Display Parcels



0 132 264 Feet



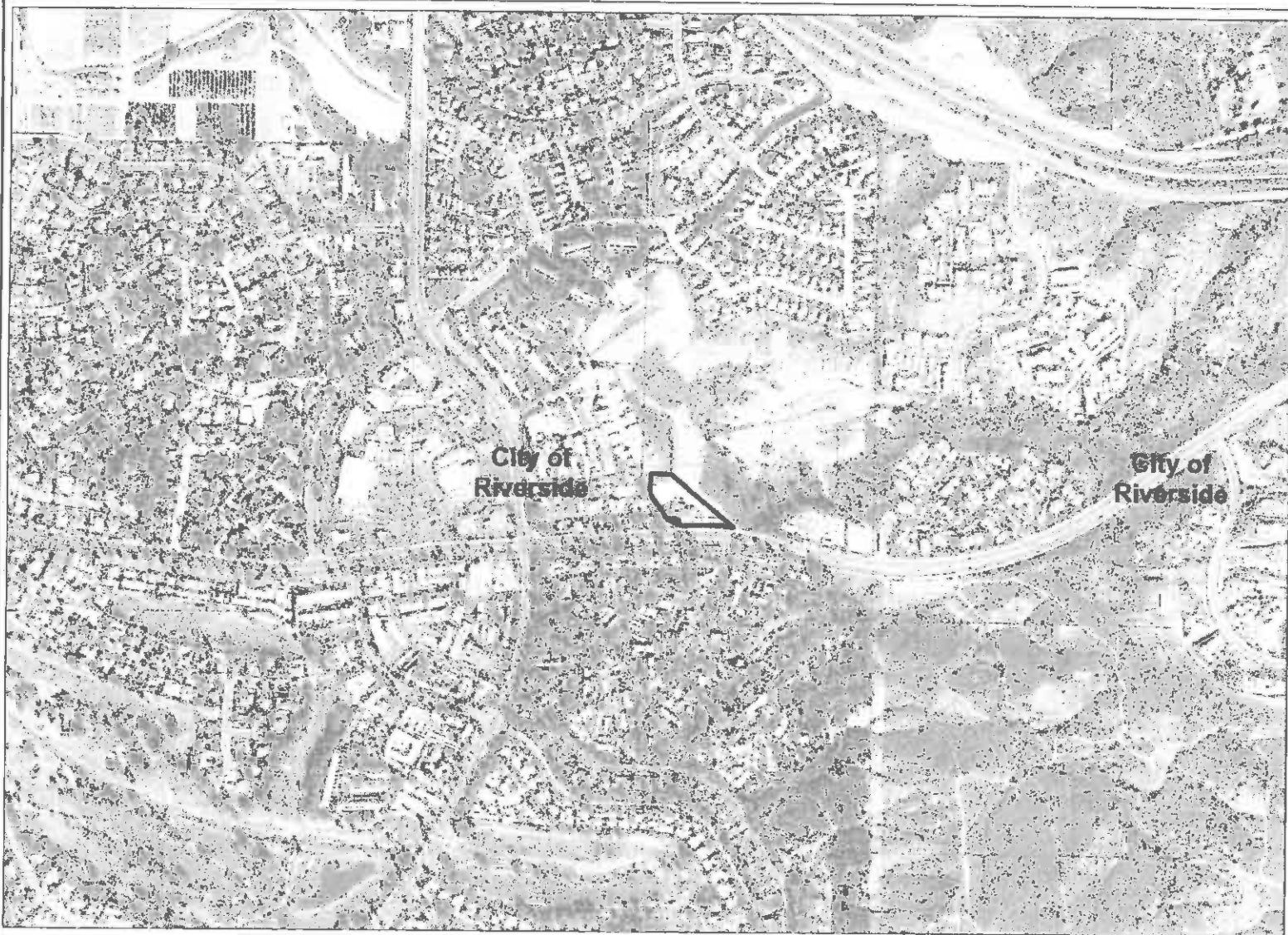
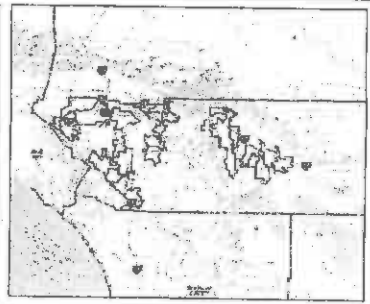
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries  
Cities



0 1,055 2,109 Feet



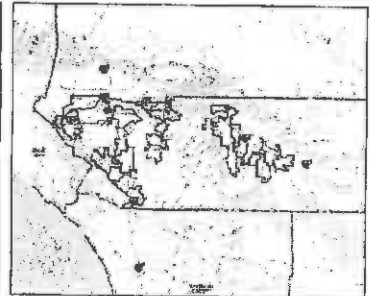
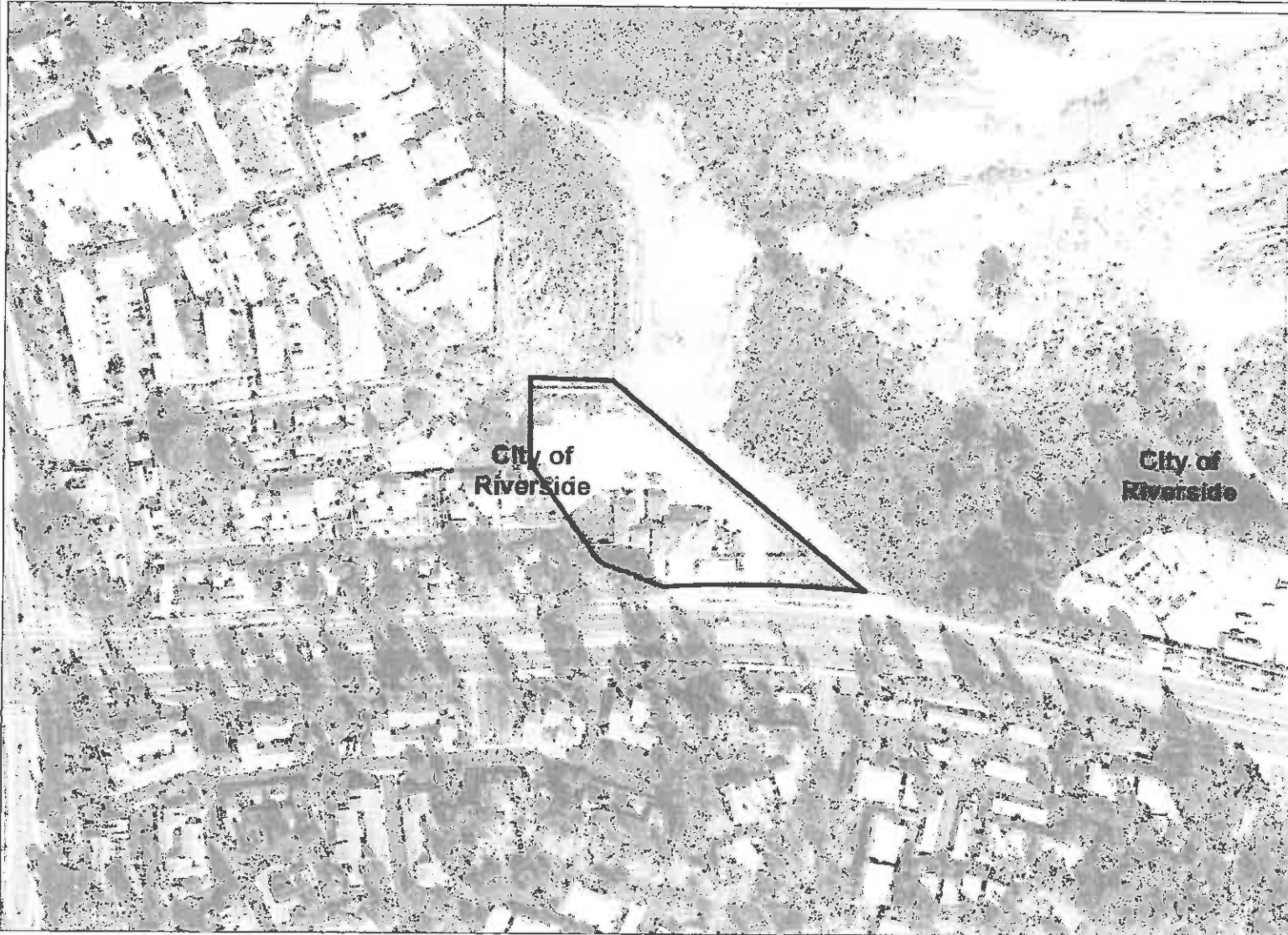
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## Notes

# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0 264 527 Feet



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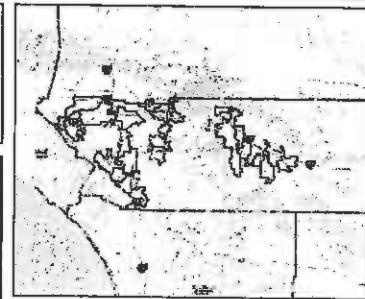
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## Notes



# My Map



## Legend

- Display Parcels
- City Boundaries
- Cities



0 132 264 Feet



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## Notes



# QUAIL RUN

MTX44-BSC13  
MCE  
725 CENTRAL AVENUE  
RIVERSIDE, CA 92507

### ISSUE STATUS

REV	DATE	DESCRIPTION	BY
1	02/01/16	100% ZONING	JMC
2	02/01/16	RELEASED DWS TO	JMC
3	02/01/16	100% ZONING	DTM



WT COMMUNICATION  
DESIGN GROUP, LLC

15505 SAND CANYON AVENUE, SUITE 100  
IRVINE, CALIFORNIA 92618  
TEL: (949) 261-2624  
WWW.WTDESIGNGROUP.COM

PROPRIETARY INFORMATION  
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO  
VERIZON WIRELESS

NO USE OR DISSEMINATION OF THESE DRAWINGS IS PERMITTED  
WITHOUT THE WRITTEN PERMISSION OF VERIZON WIRELESS



15505 SAND CANYON AVENUE, SUITE 100  
IRVINE, CA 92618

QUAIL RUN  
725 CENTRAL AVENUE  
RIVERSIDE, CA 92507

SHEET TITLE:  
TITLE SHEET &  
PROJECT DATA

T-1

OVERALL HEIGHT  
80 FT

### PROJECT TEAM

#### SITE ACQUISITION

COTTEL, LLC  
14521 ARROYO VIEJO  
SAN DIEGO, CA 92127  
PROJECT MANAGER: DAN DAVIS  
NUMBER: (619) 285-9288  
ZONING CONSULTANT: ANDREA URBAN  
NUMBER: (949) 285-9289  
LEASING MANAGER: IVAN DOUGLAS  
NUMBER: (619) 301-5154

#### ARCHITECT/PLANNING/PROFESSIONAL ENGINEER:

1677 CORNING INNOVATION DESIGN GROUP, LLC  
8500 S. EASTERN AVE. SUITE 8200  
LAS VEGAS, NV 89123  
DIRECTOR: IVAN DOUGLAS  
NUMBER: (702) 598-1012  
PROJECT MANAGER: MARCELLA M. RODRIGUEZ  
NUMBER: (702) 598-1027

#### SURVEYOR:

ORANCOBACH LAND SURVEYING  
5500 FORT APACHE RD SUITE 210  
LAS VEGAS, NV 89138  
CONTACT: BOB COOK  
TELEPHONE: (702) 833-3297

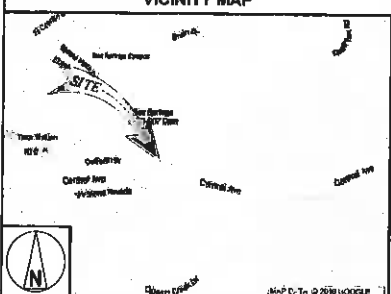
#### UTILITY COORDINATOR:

VINCILIBUS SERVICES, INC.  
10 PARKVIEW, SUITE 100  
IRVINE, CA 92618-3815  
CONTACT: SCOTT CLOUGH  
TELEPHONE: (949) 533-8951

### PROJECT DESCRIPTION

- THIS PROJECT IS A VERIZON WIRELESS UNMANNED TELECOMMUNICATION WIRELESS FACILITY  
IT WILL CONSIST OF THE FOLLOWING:
- PROPOSED 80' HIGH MONOPILE (6114 SQ. FT.)
  - PROPOSED 8'4" HIGH CONCRETE WALL COMPOUND & LEASE AREA (8471 SQ. FT.) TOTAL 4885 SQ. FT.
  - (2) PROPOSED EQUIPMENT CABINETS ON PROPOSED CONCRETE PAD
  - (1) PROPOSED STANDBY GENERATOR WITH FUEL TANK
  - (1) PROPOSED PANEL ANTENNA ON PROPOSED SECTION FRAME
  - (1) PROPOSED RAYCAP BOILER ON PROPOSED SECTION FRAME
  - (1) PROPOSED PARASOLIC ANTENNA ON MONOPILE
  - (1) PROPOSED GNB ANTENNA ON PROPOSED EQUIPMENT CABINET
  - PROPOSED 100AMP VERIZON WIRELESS POWER SERVICES WITH (1) PROPOSED 100AMP METER
  - CONNETION AS REQUIRED FOR POWER AND TELCO SERVICES
  - DC & TRIP CIRCUITS INSTALLED ON INSIDE OF TOWER

### VICINITY MAP



### DRIVING DIRECTIONS

FROM VERIZON OFFICE TO 725 CENTRAL AVENUE RIVERSIDE, CA 92507  
DEPART SAND CANYON AVE TOWARD BARRANCA PKWY. TAKE THE 1ST LEFT ONTO BARRANCA PKWY. TURN RIGHT ONTO PACIFIC. TURN RIGHT ONTO THE STATE HIGHWAY 153 N RAMP. MERGE ONTO CA 91 N. MERGE ONTO CA 91 N. KEEP RIGHT AT THE TOP. FOLLOW SIGNS FOR CA-51 RIVERSIDE TO TAKE EXIT 296 AND MERGE ONTO CA 91 E. USE THE RIGHT 2 LANES TO TAKE EXIT 291 FOR CA 91 EAST. TAKE RIGHT ONTO SAND CANYON MERGE ONTO CA 91 E. MERGE ONTO CA 91 E. TAKE EXIT 30 B FOR CENTRAL AVE TOWARD VARIATIONS DR. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO CENTRAL AVE  
TURN RIGHT AT 725 CENTRAL AVENUE RIVERSIDE, CA 92507

### PROJECT SUMMARY

**APPLICANT/LESSEE:** VERIZON  
15505 SAND CANYON AVENUE, SUITE 100  
IRVINE, CA 92618  
OFFICE: (949) 285-7000

**ASSESSOR'S PARCEL NUMBER:** APR 282-261-024

**APPLICANT'S REPRESENTATIVE:** COTTEL, LLC  
14521 ARROYO VIEJO  
SAN DIEGO, CA 92127  
PROJECT MANAGER: DAN DAVIS  
NUMBER: (619) 285-9289

**PROPERTY OWNER:** CITY OF RIVERSIDE, A CALIFORNIA CHAPTER CITY AND MUNICIPAL CORPORATION  
8095 LINCOLN AVENUE  
RIVERSIDE, CA 92504  
CONTACT: KENNETH FRUTKIN  
CONTACT NUMBER: (951) 384-6154

**TOWER OWNER:** CHRYSLER VERIZON WIRELESS

**PROPERTY INFORMATION:**  
SITE NAME: QUAIL RUN  
SITE ADDRESS: 725 CENTRAL AVENUE  
RIVERSIDE, CA 92507  
JURISDICTION: CITY OF RIVERSIDE

**CONSTRUCTION INFORMATION:**  
AREA OF CONSTRUCTION: AERIAL (6114 SQ. FT.) GROUND (8471 SQ. FT.) TOTAL (4885 SQ. FT.)  
ECCO/FINANCY: BAU  
TYPE OF CONSTRUCTION: T1  
CURRENT ZONING: RF  
ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION  
MACHINERY SPACES ARE SEPARATE FROM ACCESSIBILITY REQUIREMENTS PER THE CGO SECTION 118-130.8

### GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS.  
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

### STRUCTURAL NOTE

WITH SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHALL BE PERFORMED.

### CODE COMPLIANCE

- 2015 CALIFORNIA BATTERY CODE
- 2013 CALIFORNIA BUILDING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA FIRE CODE
- 2013 CALIFORNIA GREEN BUILDING CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 NATIONAL FIRE ALARM CODE
- 2013 SPRINKLER CODE

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET & PROJECT DATA	3
A-1	OVERALL SITE PLAN	3
A-2	ENLARGED EQUIPMENT PLAN	3
A-2.1	ENLARGED ANTENNA PLAN	3
A-3	LANDSCAPING PLAN	3
A-4	PROPOSED ELEVATION 1	3
A-5	PROPOSED ELEVATION 2	3

### ZONING DRAWINGS

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN CALIFORNIA, PLEASE CALL 811 OR VISIT [WWW.811.ORG](http://www.811.org)  
TOLL FREE: 1-800-227-2600 OR  
www.811.org  
CALIFORNIA STATEwide REGISTRATION OF 3 WORKING DATA NOTICE BEFORE YOU DIG CAMPAIGN

Know what's below. Call before you dig.

W-T Communication Design Group's Commitment to Quality

PLEASE USE QR CODE OR VISIT WWW.WTDESIGNGROUP.COM TO VISIT OUR ONLINE SURVEY.

### VERIZON WIRELESS SIGNATURE BLOCK

DISCIPLINE	SIGNATURE	DATE
RE VENDOR:		
AS E VENDOR:		
AS E COORDINATOR:		
UTILITY VENDOR:		
RF:		
RE:		
CE:		
EE:		
TRANSPORT:		

**ABBREVIATIONS:**

AC	AIR CONDITIONING	LINE	FOUNDATION
AD	ADJUST	MAX	MAXIMUM
ADJX	APPROXIMATELY	MCH	MECHANICAL
BLDG	BUILDING	MFL	METAL
BLK	BLOCKING	MFR	MANUFACTURER
CLC	CLEAR	MGR	MANAGER
CLD	CLEAR	MIR	MIRAGE
CMC	CONCRETE	MISC	MISCELLANEOUS
CONST	CONSTRUCTION	NA	NOT APPLICABLE
CONT	CONTINUOUS	NIC	NOT IN CONTRACT
DBL	DOUBLE	NTS	NOT TO SCALE
DBA	DIAMETER	OC	ON CENTER
DRAG	DIAGONAL	OD	OUTSIDE DIAMETER
DRN	DRAIN	PLIND	PLYWOOD
DET	DETAIL	PROJ	PROJECT
DRWG	DRAWING	PROP	PROPERTY
EA	EDGE	PT	PRESSURE TREATED
ELEV	ELEVATION	RF	RADIUM
ELEC	ELECTRICAL	RJ	ROOM
EQ	EQUAL	RO	ROUGH OPENING
EQUIP	EQUIPMENT	RSH	RASID RESURFACE ROAD
EXT	EXTENSION	SMT	SHIRT
FIN	FINISH	SMLR	SIMILAR
FLOOR	FLOOR	SPEC	SPECIFICATION
FLR	FLOOR	SF	SQUARE FOOT
FT	FOOT	SS	STAINLESS STEEL
GA	GALVANIZED	STL	STRUCTURAL
GALV	GALVANIZED	STD	STANDARD
GC	GENERAL CONTRACTOR	SUP	SUSPENDED
GRD	GRASS	THRU	THROUGH
GYP	GYPSONUM WALL BOARD	THA	THROUGH MOUNT
HORIZ	HORIZONTAL	TMR	TOWER
HR	HOUR	TY	TYPICAL
HT	HEIGHT	UNO	UNLESS NOTED OTHERWISE
HVAC	HEATING VENTILATION AIR CONDITIONING	VERT	VERTICAL
ID	INSIDE DIAMETER	VERIF	VERIFY IN FIELD
IN	INCH	WF	WITH
INFO	INFORMATION	WFO	WITHOUT
INSUL	INSULATION	WVP	WATER PROOF
INT	INTERIOR		
INTL	INTERNATIONAL		
INTL	INTERNATIONAL BUILDING CODE		

**LEGEND**

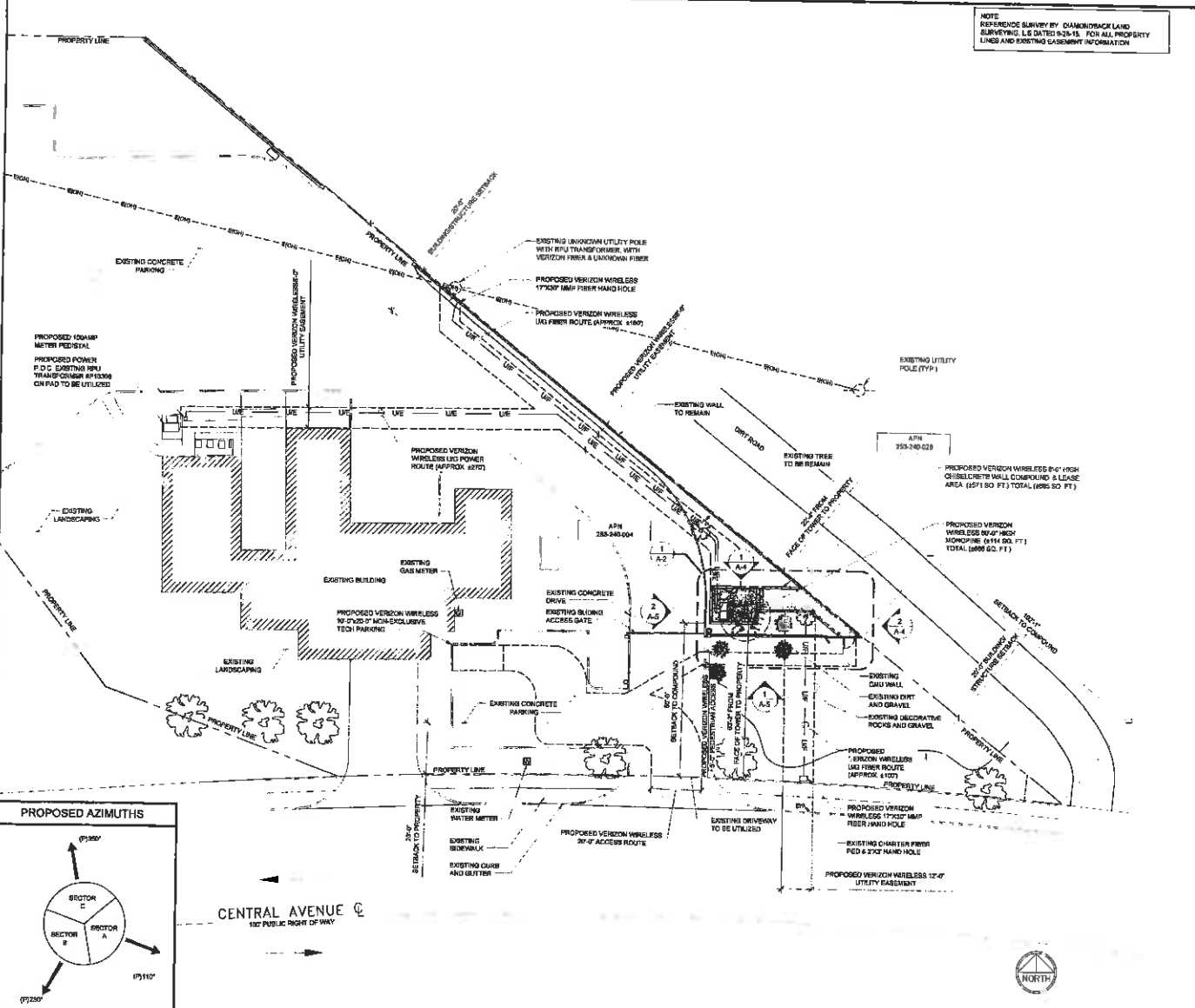
---	SUBJECT BOUNDARY LINE
---	RIGHT-OF-WAY CENTERLINE
---	RIGHT-OF-WAY LINE
---	ADJACENT BOUNDARY LINE
---	OVERHEAD LINE
---	UNDERGROUND ELECTRICAL LINE
---	UNDERGROUND TELCO LINE
---	BURIED GAS LINE
---	OVERHEAD TELEPHONE LINE
---	BURIED TELEPHONE LINE
---	BURIED WATER LINE
---	BURIED SANITARY SEWER
---	BURIED STORM DRAIN
---	CHAIN LINK FENCE
---	WROUGHT IRON FENCE

⊠	TRANSFORMER	⊕	FIRE HYDRANT
⊠	LIGHT STANDARD	⊕	CATE VALVE
⊠	POWER VAULT	⊕	WATER METER
⊠	UTILITY BOX	⊕	CATCH BASIN, TYPE I
⊠	UTILITY POLE	⊕	CATCH BASIN, TYPE II

NOTE: CONTRACTOR TO INSTALL A 1"X6" PULL BOX FOR POWER & TELCO AFTER EVERY 300' OR AFTER EVERY TWO 90° BENDS.

NOTE: ALL WORK WITHIN PUBLIC ROW WILL BE UNDER SEPARATE PERMIT.

IF THE SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE, NEW ANTENNA SPOONS ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHALL BE PROVIDED.



NOTE: REFERENCE SURVEY BY CHAMBERLAIN LAND SURVEYING, L.S. DATED 04-15-15. FOR ALL PROPERTY LINES AND EXISTING EASEMENT INFORMATION.

**ISSUE STATUS**

REV	DATE	DESCRIPTION	BY
1	05/16/16	ISSUE FOR PERMITS	JVC
2	05/27/16	REVISION 001, 2D	LM
3	05/16/16	WORK 2016-01	DVP

**WT**  
 WAT COMMUNICATION DESIGN GROUP, L.L.C.  
 15500 SAND CANYON AVENUE, D1  
 IRVINE, CA 92618

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 15500 SAND CANYON AVENUE, D1  
 IRVINE, CA 92618

**QUAIL RUN**  
 725 CENTRAL AVENUE  
 RIVERSIDE, CA 92507

SHEET TITLE:  
**OVERALL SITE PLAN**

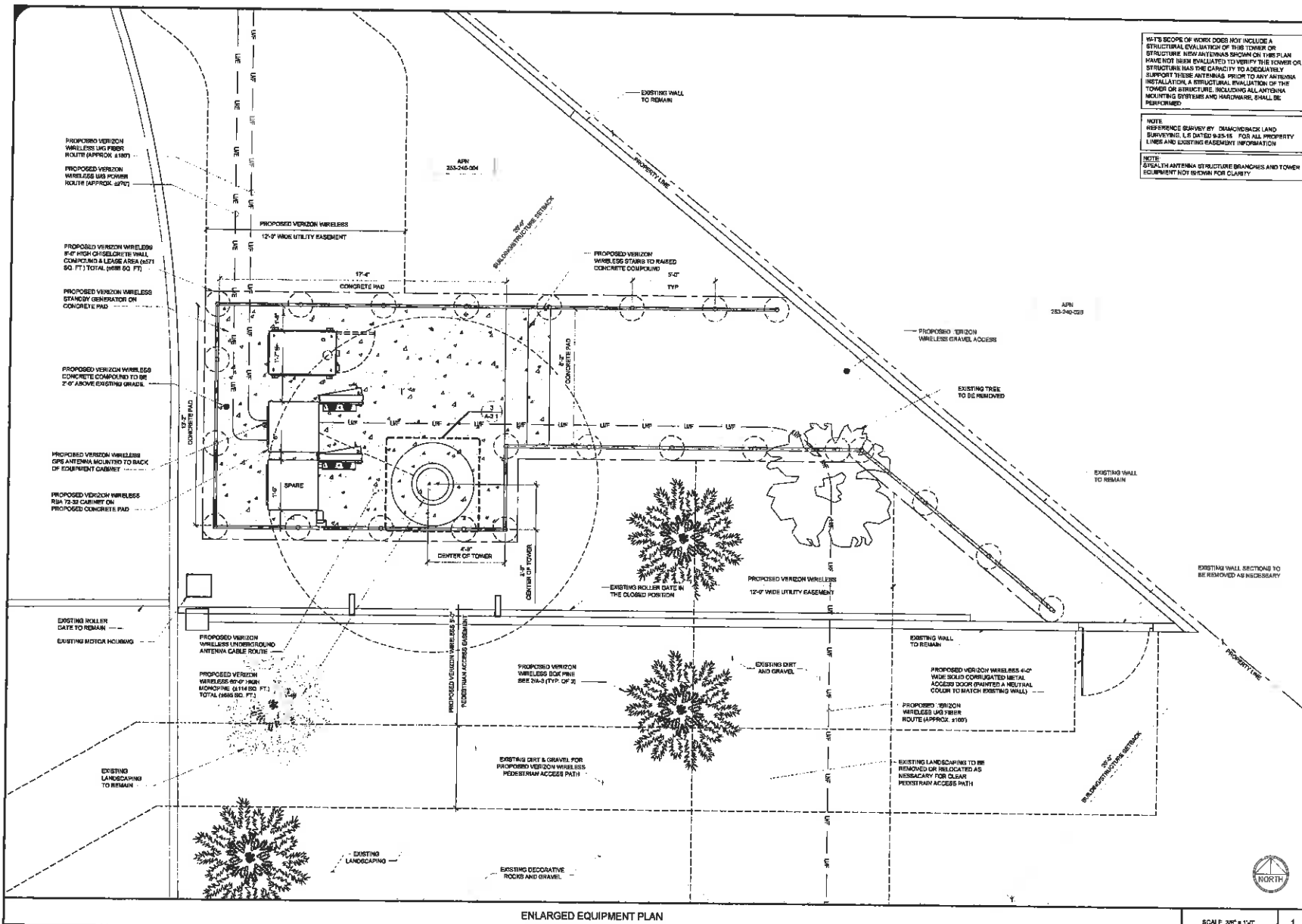
**A-1**

**ABBREVIATIONS & SYMBOLS**

**OVERALL SITE PLAN**

SCALE: 1"=30'-0"

1



WT'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHALL BE PERFORMED.

REV	DATE	DESCRIPTION	BY
1	03/25/18	10% ZONING	PLC
2	03/26/18	REVISED 10% ZD	AK
3	03/19/18	100% ZONING	DYP

NOTE: REFERENCE SURVEY BY DEANHOBACK LAND SURVEYING, L.S. DATED 9/25/16 FOR ALL PROPERTY LINES AND EXISTING EASEMENT INFORMATION.

NOTE: HEALTH ANTENNA STRUCTURE BRANCHES AND TOWER EQUIPMENT NOT SHOWN FOR CLARITY.

ISSUE STATUS			
REV	DATE	DESCRIPTION	BY

**WT**  
 WT COMMUNICATION  
 DESIGN GROUP, LLC.  
 10000 W. CENTRAL AVENUE, SUITE 200  
 RIVERSIDE, CA 92507  
 TEL: (951) 514-1100 FAX: (951) 514-1101  
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 IRVINE, CA 92618

**QUAIL RUN**  
 725 CENTRAL AVENUE  
 RIVERSIDE, CA 92507

SHEET TITLE:  
 ENLARGED  
 EQUIPMENT PLAN

**A-2**

SCALE: 3/8" = 1'-0"

1

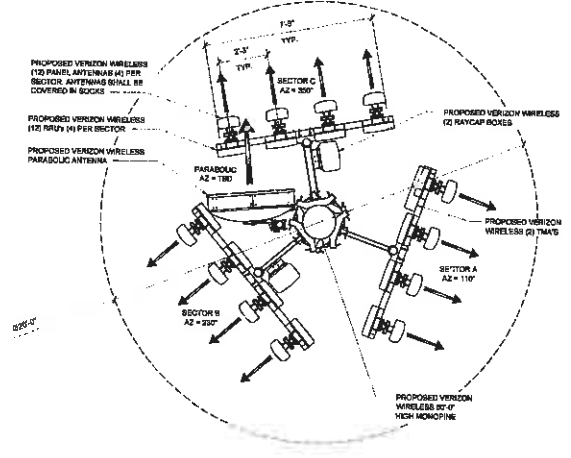
ENLARGED EQUIPMENT PLAN

NOTE:  
 THE SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS AND HARDWARE, SHALL BE PERFORMED.

NOTE:  
 REFERENCE SURVEY BY DIAMONDBACK LAND SURVEYING, L.S. DATED 02-25-15 FOR ALL PROPERTY LINES AND EXISTING EASEMENT INFORMATION.

NOTE:  
 CONTRACTOR TO PAINT ANTENNAS, CABLES, & ALL MOUNTING HARDWARE TO MATCH THE COLOR OF THE MONOPINE.

NOTE:  
 THE BRANCHES FOR THE MONOPINE SHALL START 18 FEET FROM THE BOTTOM OF THE TREE. SHALL BE SPACED AT THREE (3) BRANCHES PER FOOT & ANTENNAS SHALL BE COVERED IN ROCKS.



**CABLE/ANTENNA SCHEDULE**

ANTENNA SECTOR	AZMUTH	# OF ANT	# OF ARJ/S	CENTER LINE	CABLE GZE
ALPHA	110°	4	4	50'-0"	75P
BETA	220°	4	4	25'-0"	75P
GAMMA	330°	4	4	64'-0"	75P
PARABOLIC	0°	1		47'-0"	TRD
CRS	NA	1			TRD

NOTE: CONSTRUCTION MANAGER TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATING, OR INSTALLATION OF CABLES. CHECK REF DATA SHEET.

**ISSUE STATUS**

REV	DATE	DESCRIPTION	BY
1	12/22/15	100% SOUBAS	LINE
2	03/09/16	REVISED 60% 2D	MIS
3	02/10/16	100% SOUBAS	DYP

**WT**  
 W.T. COMMUNICATION DESIGN GROUP, LLC.  
 5015 W. HARRIS AVENUE  
 SUITE 200  
 LAYTON, UT 84040  
 PH: 201-988-1800 FAX: 201-988-1810  
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 IRVINE, CA 92618

**QUAIL RUN**  
 725 CENTRAL AVENUE  
 RIVERSIDE, CA 92507

SHEET TITLE:  
**ENLARGED ANTENNA PLAN**

A-2.1



NOT USED SCALE: NTS 1

NOT USED SCALE: NTS 2

ENLARGED ANTENNA PLAN & CABLE/ANTENNA SCHEDULE

SCALE: 3/8"=1'-0"

3

**LANDSCAPING GENERAL NOTES:**

**ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:**

- ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT
- NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FREE VERTICAL OR OTHER ABOVE GROUND UTILITY
- NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS

**NOTE:**  
 - ANY AREA ALTERED FROM CONSTRUCTION TO BE RETURNED TO ITS ORIGINAL STATE GRASS AREA SHALL BE SEEDED AND MAINTAINED UNTIL SEEDS HAVE GERMINATED.  
 \* REFERENCES SURVEY BY DIAMOND/BACK LAND SURVEYING DATED FEBRUARY 14, 2014 FOR ALL EASEMENTS & LEASE DESCRIPTIONS

**INSTALLATION STANDARDS:**

- PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION
- ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE STATE OF CALIFORNIA
- ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUPPORT A HEALTHY GROWTH
- ALL TAGS, WHEN PLASTIC TAGS AND ROPES SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL BY A PLASTIC BURLAP LIFT. IT SHALL BE REMOVED BY ITS ENTIRETY FROM THE ROOTBALL
- ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) AROUND THE BASE OF THE TREE
- TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COMBED TO PREVENT CUTTING INTO THE BARK
- ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE
- THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER

**PLANTING SEASONS:**

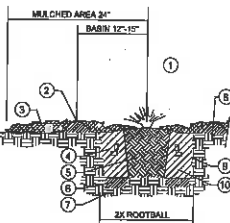
- PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST
- THE PLANTING PERIOD INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER
- THE CONTRACTOR WILL BE RELIEVED OF HIS GUARANTEED RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED

**PLANTING:**

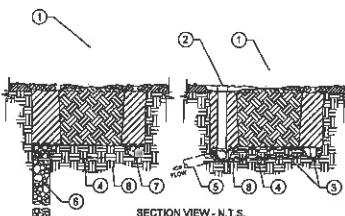
- ALL GRADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLE'S EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE
- ALL TWIGS OR ROPES MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE CORRECTED WITH PLANTING MIXTURE
- A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX
- PLANTING MIX TO CONSIST OF 1/2 TOP SOIL, 1/3 SOIL FROM EXCAVATION AND 1/3 AEROSOLIZED COMPOST FOR 1/2 BUSH HOLES

**CLEAN UP:**

- ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE
- ALL PAVEMENTS AND WALKS MUST BE SWEEP AFTER EACH DAY'S WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVE MUD OR DIRT



SECTION VIEW - N.T.S.



SECTION VIEW - N.T.S.

**PERCOLATION TEST**

DIG A HOLE 12 INCHES WIDE AND DEEP, SCARP SIDES AND BOTTOM. FILL THE HOLE WITH WATER TO PRE-MOISTEN THE SOIL. IMPORTANT FOR ACCURATE TESTS, THE NEXT DAY REFILL THE HOLE, MEASURE HOLES IF THE WATER TAKES FROM THREE TO 12 HOURS TO DRAIN, THEN THE DRAINAGE IS ADEQUATE FOR MOST LANDSCAPE PLANTS (ABOUT 1 INCH PER HOUR). IF IT TAKES MORE THAN 12 HOURS, THEN THE DRAINAGE IS POOR, BUT BEFORE CORRECTIVE ACTION IS TAKEN, DIG DEEPER TO SEE IF THERE IS AN IMPERMEABLE LAYER OF SOIL. RESTRICTIVE WATER MOVEMENT, BREAK UP ANY IMPERMEABLE LAYER AND REPEAT THE TEST

PLANTING DETAILS

SCALE: NTS

1

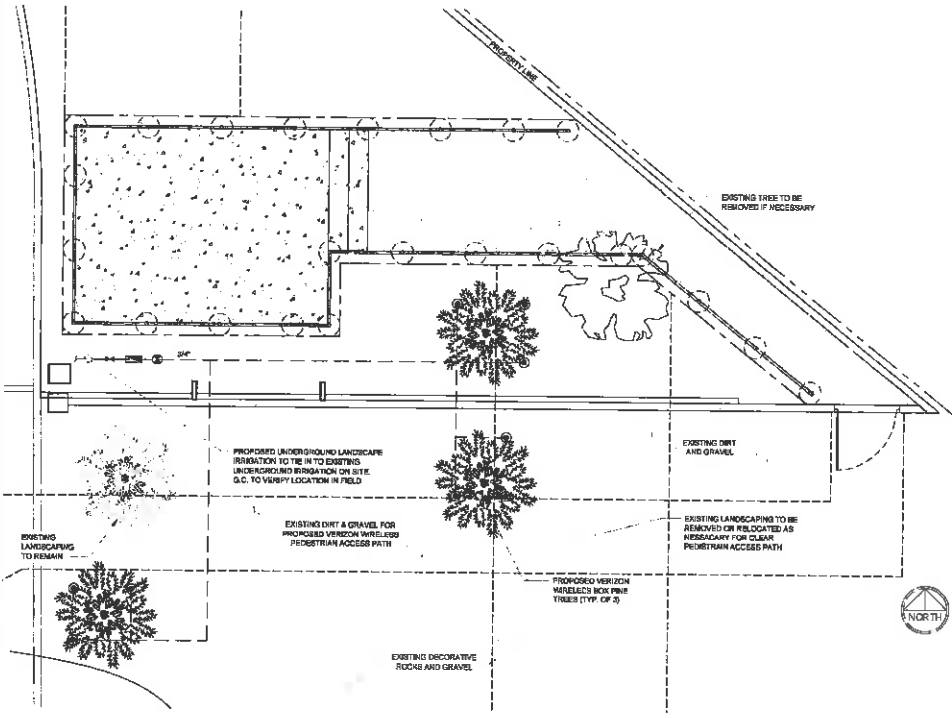
**SPRINKLER HEADS**

SYMBOL	DESCRIPTION	Q	T	DISCHARGE - GPM	K	FT TO	PGI	RADIUS	PRECIP
				H			F		RATE
5	5 SERIES STEAM BURNER SPRINKLER								
6	RAIN BIRD 8700-616 OF POP-UP	1.0					30	8 FT.	1.83 INCH G
7	SPRAY NOZZ WATERING SYSTEM								
8	RAIN BIRD 7000-1434			1.0			35		

ANN - DRAIN CHECK VALVES (ACV) SHALL BE INSTALLED AT ANY WATER OUTLET SUFFERING LOW HEAD DRAINAGE LINE RAIN BIRD BIRDS FOR POP-UPS - USE PULSER HCY 8004-RP OR VALCON VROD SERIES AT RESERVE

**EQUIPMENT LEGEND**

- M NEW WATER METER AND SERVICE LINE (VERIFY SIZE AND FUNCTION IN THE FIELD)
- FEDCO MODEL 718 BRASS PRESSURE TYPE BACKFLOW PREVENTER, 12" ABOVE HIGHEST OUTLET. USE NEW BACKFLOW ONLY IF EXISTING SYSTEM HAS NONE OR IS INOPERABLE
- MIKO 1-1137-1000A GATEBALL VALVE (LINE SIZE)
- WALKERS 1/2" WIRE STRAINER (LINE SIZE) (50 MESH OR GREATER)
- WALKERS 4500 PRESSURE REGULATOR (LINE SIZE) INSTALL ONLY IF EXISTING STATIC PRESSURE IS GREATER THAN 80 P.S.I.
- RAIN BIRD EP3-CP REMOTE CONTROL VALVE-INSTALL IN SHRUB BEDS WHEREVER POSSIBLE IN RECTANGULAR VALVE BOX AT RIGHT ANGLES TO HARDSCAPE
- RAINBIRD ESP-SMT CONTROLLER IN STATION IN OUTDOOR LOCKING WALL MOUNT BOX (INSTALL INCLUDED "WEATHER STATION" ON FIBER BOARD OR OUTDOOR RAIN PROOF BOX) SUBJECT TO HAVE CLEAR VIEW OF SKY
- PVC WATER PIPE CL. 200 2" x 1 1/2" (LATERALS)
- PVC PIPE/SLUICE BOX 40" x 2" MIN OR 2x DIA. OF PIPE OR WIRE BUNDLE. INSTALL UNDER ALL STREET OR DRIVE CROSSINGS



LANDSCAPE AND IRRIGATION PLAN

SCALE: 1/4"=1'-0"

2

**ISSUE STATUS**

NO.	DATE	DESCRIPTION	BY
1	03/21/16	ISSUE FOR PERMITS	JAC
2	03/29/16	REVISED PERMITS	JAC
3	03/29/16	ISSUE FOR PERMITS	JAC

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 FAX: 949.261.1112  
 WWW: WTDESIGN.COM

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 IRVINE, CA 92618

**QUAIL RUN**  
 725 CENTRAL AVENUE  
 RIVERSIDE, CA 92507

SHEET TITLE:  
 LANDSCAPING PLAN

**A-3**







City of Riverside  
Planning Dept. Brian Norton  
3900 Main Street, Third Floor  
Riverside CA 92522

City of Riverside  
3900 Main Street,  
Riverside CA 92522

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1554 Barton Road, #355  
Redlands CA 92373

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Riverside CA 92522

City of Riverside  
3900 Main Street,  
Riverside CA 92522

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Redlands CA 92373

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Riverside CA 92522

City of Riverside  
3900 Main Street,  
Riverside CA 92522

Verizon Wireless c/o Cortel  
1554 Barton Road, #355  
Redlands CA 92373

City of Riverside  
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3900 Main Street, Third Floor  
Riverside CA 92522

City of Riverside  
3900 Main Street,  
Riverside CA 92522

Verizon Wireless c/o Cortel  
1554 Barton Road, #355  
Redlands CA 92373

City of Riverside  
Planning Dept. Brian Norton  
3900 Main Street, Third Floor  
Riverside CA 92522

City of Riverside  
3900 Main Street,  
Riverside CA 92522

Verizon Wireless c/o Cortel  
1554 Barton Road, #355  
Redlands CA 92373

City of Riverside  
Planning Dept. Brian Norton  
3900 Main Street, Third Floor  
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3900 Main Street, Third Floor  
Riverside CA 92522

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3900 Main Street,  
Riverside CA 92522

Verizon Wireless c/o Cortel  
1554 Barton Road, #355  
Redlands CA 92373

City of Riverside  
Planning Dept. Brian Norton  
3900 Main Street, Third Floor  
Riverside CA 92522

City of Riverside  
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1554 Barton Road, #355  
Redlands CA 92373

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1187MA16

**PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)**

Date of Application March 15, 2016  
 Property Owner City of Riverside Phone Number 951.351.6154  
 Mailing Address 3900 Main Street  
Riverside, CA 92522

Agent (if any) Verizon Wireless c/o Cortel/Andrea Urbas Phone Number 909.528.6925  
 Mailing Address 1554 Barton Road, #355  
Redlands, CA 92373

**PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)**

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address 725 CENTRAL AVENUE  
 Assessor's Parcel No. 253-240-004 Parcel Size \_\_\_\_\_  
 Subdivision Name \_\_\_\_\_ Zoning \_\_\_\_\_  
 Lot Number \_\_\_\_\_ Classification \_\_\_\_\_

*March  
 OJE  
 11/88*

**PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)**

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe) City Fire Station

Proposed Land Use (describe) City Fire Station, with separate 60' monopine

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) \_\_\_\_\_  
 For Other Land Uses Hours of Use \_\_\_\_\_  
 (See Appendix C) Number of People on Site Maximum Number \_\_\_\_\_  
 Method of Calculation \_\_\_\_\_

Height Data Height above Ground or Tallest Object (including antennas and trees) 35 ft.  
 Highest Elevation (above sea level) of Any Object or Terrain on Site \_\_\_\_\_ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?  Yes  No

If yes, describe \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)**

Date Received \_\_\_\_\_

Agency Name

City of Riverside

Staff Contact

Brian Norton

Phone Number

951-826-2308

Agency's Project No.

P15-0945

Type of Project

General Plan Amendment

Zoning Amendment or Variance

Subdivision Approval

Use Permit

Public Facility

Other CUP

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. SUBMISSION PACKAGE:**

**ALUC REVIEW**

- 1..... Completed Application Form
- 1..... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1..... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1..... Check for Fee (See Item "C" below)

**STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)**

- 1..... Completed Application Form
- 1..... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1..... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1..... Check for review–See Below

PAGE BREAK





Community & Economic Development  
Department

4.3

City Arts & Innovation

March 22, 2016

Riverside County Airport Land Use Commission Members  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501

Riverside County Airport Land Use Commission Members,

This letter is being submitted by the City of Riverside in support of Springfield Global, LLC's request for the Administrative Review of a proposed amendment to the Canyon Springs Business Park Specific Plan. The proposed amendment concerns the addition of a sign panel to a seventy-five foot tall pylon sign, located adjacent to State Route 60 and Day Street. The proposal will not increase the height of the pylon sign, as the proposed sign panel will be located between the existing support posts and below all existing sign panels.

Should you have any questions regarding this matter please feel free to contact me at (951) 826-5371.

Sincerely,

Ted White  
City Planner



March 22, 2016

Mr. John Guerin  
Principal Planner  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION  
County Administrative Center  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside CA. 92501

Re: Minor Amendment to the Canyon Springs Specific Plan to modify an existing  
Multi-tenant pylon display

Dear Mr. Guerin:

We are hereby submitting an application for your consideration to modify an existing 75' high Canyon Springs multi tenant pylon display by supplementing the sign with one (1) additional double sided 6' high x 15' wide illuminated future tenant sign as depicted in the attached Pacific Neon renderings.

The existing display which is located at the south west intersection of the SR 60 Freeway and Day Street currently consists of a total of 600 square feet of sign area as follows:

- 105 square foot "CANYON SPRINGS" project identity element.
- 225 square foot sign panel for anchor tenant "TARGET".
- Three (3) 90 square foot sign panels for junior anchor tenants, 270 square foot total.

The proposed modification would add a fourth junior anchor tenant sign at 90 square feet which would increase the total sign area of this pylon sign to 690 square feet.

We respectfully request that you delegate the review authority regarding this matter to the Department Director, Mr. Ed Cooper. Thank you in advance for your time and assistance with this application.

Sincerely,  
PACIFIC NEON CO.

RALPH CUNDIFF JR.  
Vice President

Cc: Sean P. Kelleher, Associate Planner, City of Riverside  
Warren Dennis, Merlone Geier Partners  
Kasey Clark, AKC Services  
Karen Dalke, Pacific Neon Co.

### ***Permitted Freeway Pylon Signs Size, Design and Location***

A freeway oriented pylon sign shall be permitted along the SR 60 Freeway at the general location shown in Exhibit "1". The sign shall be a maximum of 75 feet high, with one 225 square foot sign panel at the top and <sup>four</sup> ~~three~~ 90 square foot panels below, with a total sign area of <sup>690</sup> ~~600~~ square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1", except that specific design details are subject to Design Review administrative approval.

A second freeway oriented pylon sign shall be permitted along the I 215 Freeway at the general location shown in Exhibit "1". The sign will be a maximum of 45 feet high, with one 225 square foot sign panel at the top and three 90 square foot panels below, with a total sign area of 600 square feet. A 105 square foot sign, identifying the Canyon Springs Business Park will be located at the top of the sign above the business identification signs. The sign shall generally conform to the illustration in Exhibit "1" except that specific design details are subject to Design Review administrative approval. The Planning Department shall have the administrative ability to increase the: height of the sign by up to 15 feet, dependent upon line of sight information submitted at the time construction is proposed.

### ***Assignment of Freeway Sign Rights by Planning Area***

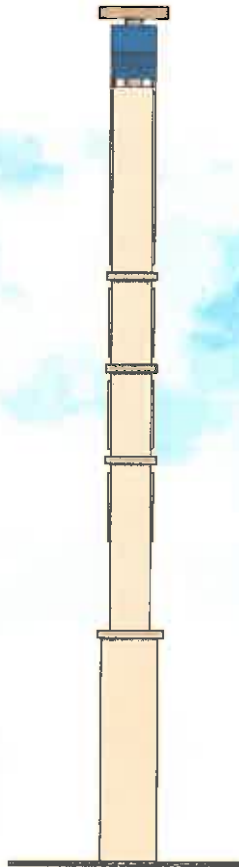
The SR 60 freeway sign panels shall be granted to Planning Areas 1 and 5 combined (one sign), 3 (two signs) and 4, with panels assigned to the majority property owners at the time of construction.

The I 215 freeway sign shall identify Planning Areas 2, 6 (two signs) and 7 and the commercial portion of Planning Area 1, with panels assigned to the majority property owners at the time of construction.

Specific details related to the assignment of individual sign panels, details of sign maintenance and other pertinent issues shall be the subject of a recorded agreement between the City and the property owner responsible for construction of the sign. The document is subject to approval of the Planning, Development and Legal Departments and shall be recorded prior to issuance of any building permits.

The sign rights assigned to each identified property would initially run with the land, with use of the sign panel determined by the property owner. The sign panel rights may be transferred to adjacent properties, either through a temporary rental/lease agreement or through permanent sale. Once the identification right to the freeway sign is established, the sign panel rights will be left to the property owners to do with as they see fit.

Along with the ability to transfer sign rights, property owners that obtain two or



Elevation



Side Elevation

**Sign A | Fabricate & Install New Cabinet**

Scale: 1/4" = 1'-0" Sign Area: 39 SF

**Material Schedule**

- ① Double walled fabricated aluminum cabinet. Paint cabinet and letters. Finish #322W Northern Plains, low-alkali finish. Marinate with Basiscant latex.
- ② White Breckle Text. Graphics by others.



2039 Academy Way  
Sacramento, California 95815

tel: 916.442.9944  
fax: 916.442.8604  
www.pacificneon.com

Project No: **14-6522-00A**

Executive: **Ralph Cornhill**

Project:

**Canyon Springs**

Address:  
**2848 Canyon Springs Pkwy.,  
Riverside, CA**

Drawn By: **Bruce Hill**

Date: **9.26.14**

Revision: **0.00.00**

UL Listed  
Signs to be manufactured to UL 58, references and will comply with the UL Listing. The sign is intended to be installed in accordance with the sign permits. Outside COB of the National Electrical Code and all other applicable local codes. This includes proper handling and loading of this sign.

Electrical Details  
Customer to provide dedicated electrical circuitry with a separate ground in the electrical panel. LED Electronics to have a separate dedicated 120V transformer. All shared neutral. Common must be elevated based on applicable.

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California Title 24 Compliant





Existing



Proposed



2913 Academy Way  
 Sacramento, California 95815  
 Tel: 916.927.0527  
 Fax: 916.927.1114  
 www.pacificneon.com

Project No: **14-6522-00A**

Account Executive: **Ralph Cundiff**

Project: **Canyon Springs**

Address: **2848 Canyon Springs Pkwy,  
 Riverside, CA**

Designed by: **Blake Heller**

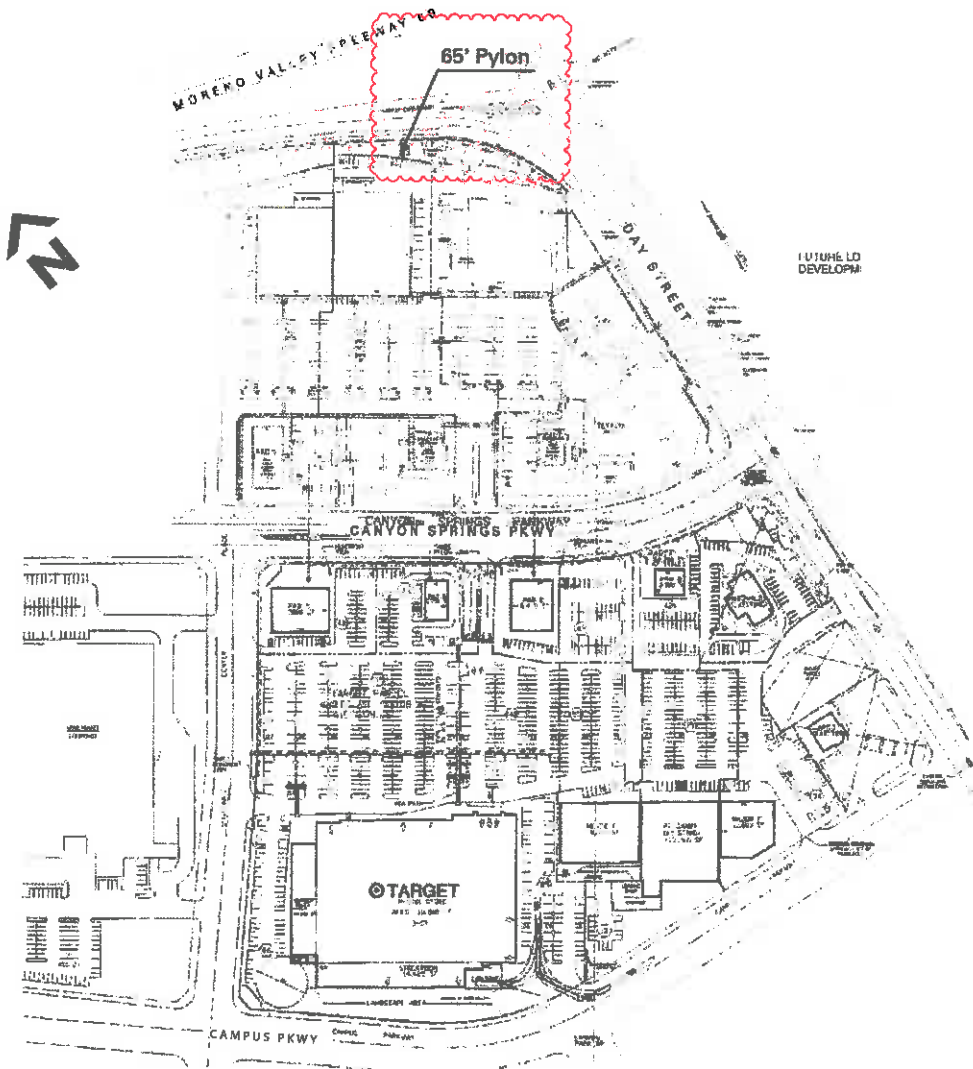
Date: **9.26.14**  
 Revision: **0.00.00**

UL Listed  
 Signs to be manufactured to UL Specifications and will bear the UL Label. The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and all other applicable local codes. To insure proper operation, the sign must be installed in accordance with the following instructions.

Electrical Circuits  
 Signs must be powered by fully regulated electric circuits with a maximum current to the electrical panel. L.E.D. Electronics to be in a separate enclosed 120V complete dust tight electrical cabinet. Connections to electrical panel acceptable.

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California Title 24 Compliant



2935 Ardeny Way  
 Sacramento, California 95815  
 tel 916.927.0527  
 fax 916.927.2414  
 www.pacificneon.com

Project No: **14-6522-00A**  
 Account Executive: **Ralph Cundiff**

Project:  
**Canyon Springs**

Address:  
**2848 Canyon Springs Pkwy,  
 Riverside, CA**

Drawn By: **Bruce Heller**

Date: **9.26.14**  
 Revision: **0.00.00**

UL Listed  
 Signs to be manufactured in U.S. to reflect and meet the UL Labelled. The sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding.

Electrical Circuits  
 Low-voltage (120V) for primary dedicated electrical circuits with a separate ground to the electrical panel, LED. Electronics to have a separate dedicated 120V circuit. Do not share with other electrical circuits.

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California Title 24 Compliant



**SITE PLAN**



www.pacificneon.com

14-6522b

Ralph Cundiff

**Canyon Springs**

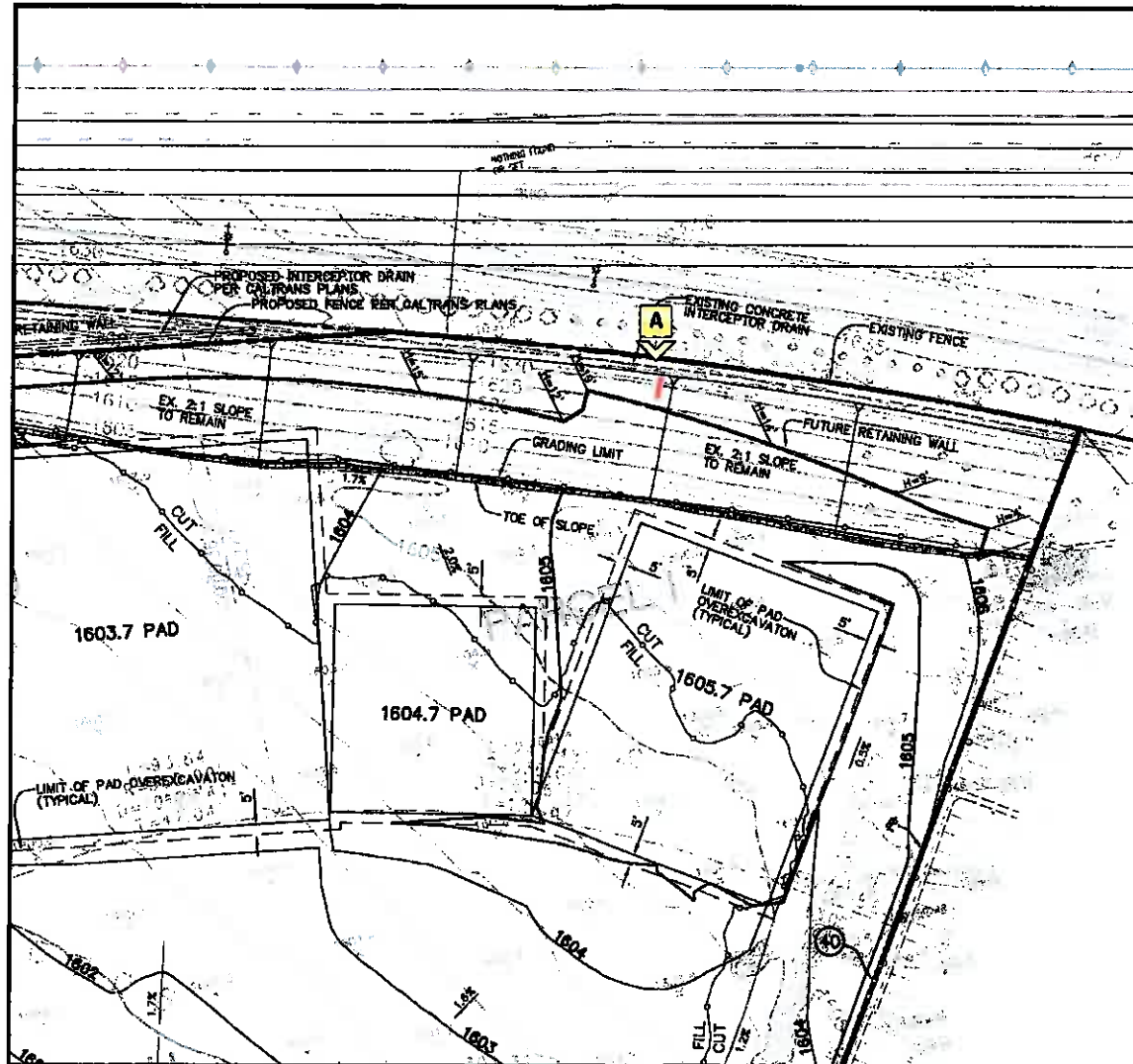
2848 Canyon Springs Pkwy,  
Riverside, CA

Bruce Heller

9.25.14  
3.25.16



**SITE PLAN**



14-6522b  
Ralph Cundiff

**Canyon Springs**  
2848 Canyon Springs Pkwy.,  
Riverside, CA

Bruce Heller  
9.26.14  
3.25.16

4.4

**MINUTES OF THE REGULAR MEETING  
of the  
CITY SELECTION COMMITTEE**

**RIVERSIDE COUNTY  
(March 14, 2016)**

**PRESENT:**

Art Welch, Mayor - City of Banning  
Jeff Hewitt, Council Member – City of Calimesa  
Stan Henry, Mayor – City of Cathedral City  
Karen Spiegel, Council Member– City of Corona  
Scott Matas, Mayor – City of Desert Hot Springs  
Ike Bootsma, Mayor – City of Eastvale  
Bonnie Wright, Mayor – City of Hemet  
Doug Hanson – Council Member - City of Indian Wells  
Verne Lauritzen, Council Member – City of Jurupa Valley  
Brian Tisdale, Mayor Pro Tem – City of Lake Elsinore  
Jeffrey Giba, Council Member – City of Moreno Valley  
Randon Lane, Mayor - City of Murrieta  
Kevin Bash, Mayor – City of Norco  
Daryl Busch, Mayor – City of Perris  
Richard Kite, Council Member – City of Rancho Mirage  
Mike Soubirous, Council Member – City of Riverside  
Bridgette Moore, Mayor – City of Wildomar

**ABSENT:**

Mike Lara, Mayor – City of Beaumont  
Joey DeConnick, Mayor – City of Blythe  
Tim Brown, Mayor - City of Canyon Lake  
Steven Hernandez, Mayor – City of Coachella  
Glenn Miller, Council Member – City of Indio  
Linda Evans, Mayor – City of La Quinta  
Scott Mann, Mayor – City of Menifée  
Robert Spiegel, Mayor – City of Palm Desert  
Robert Moon, Mayor – City of Palm Springs  
Andrew Kotyuk, Mayor – City of San Jacinto  
Mike Naggar, Mayor – City of Temecula

**OTHERS  
PRESENT:**

George Spiliotis, Director, LAFCO

**City Selection Committee Meeting**

**March 14, 2016**

**Page 2**

In the absence of the Chairman, Vice-Chairman Doug Hanson called the meeting to order. Roll call was taken, and it was established that there were seventeen (17) out of twenty-eight (28) cities represented thereby confirming that a full and legal quorum had been acquired.

\*\*\*\*\*

Scott Matas, Mayor of the City of Desert Hot Springs, made a motion to nominate and elect Doug Hanson as Chairperson, seconded by Stan Henry, Mayor of Cathedral City, and was duly carried by unanimous vote.

\*\*\*\*\*

Bonnie Wright, Mayor, City of Hemet, made a motion to nominate and elect Karen Spiegel, Council Member of the City of Corona, as Vice-Chairperson, seconded by Darryl Busch, Mayor of the City of Perris, and was duly carried by unanimous vote.

\*\*\*\*\*

The Chairman called for acceptance of the minutes of the July 27, 2015 City Selection Committee Meeting.

Randon Lane, Mayor of the City of Murrieta, made a motion to accept the minutes, seconded by Council Member Jeffrey Gibb, City of Moreno Valley and duly carried by majority vote.

Bonnie Wright, Mayor of the City of Hemet; Scott Matas, Mayor of the City of Desert Hot Springs; Jeff Hewitt, Mayor of the City of Calimesa; Bridgette Moore, Mayor of the Wildomar; and Mike Soubirous, Council Member of the City of Riverside abstained.

\*\*\*\*\*

The Chairman called for the nomination and election of one City member to the Local Agency Formation Commission (LAFCO) for a 4-year term to expire May 4, 2020. Eugene Montanez, Council Member from the City of Corona is seeking reappointment

George Spiliotis, Executive Director of LAFCO was present but did not speak.

Kevin Bash, Mayor from the city of Norco, made the motion to reappoint Eugene Montanez. The motion was seconded by Karen Spiegel, Council Member from the City of Corona. The reappointment was carried by unanimous vote.

\*\*\*\*\*

The Chairman called for the nomination and election of one alternate City member to the Local Agency Formation Commission (LAFCO) for a 4-year term to expire May 4, 2020. Randon Lane, Mayor of the City of Murrieta is seeking reappointment

Jeff Hewitt, Mayor from the city of Calimesa, made the motion to reappoint Randon Lane. The motion was seconded by Jeff Giba, Council Member from the City of Moreno Valley. The reappointment was carried by unanimous vote.

\*\*\*\*\*



The Chairman called for the nomination and election of one city member to the Airport Land Use Commission (ALUC) for a 4-year term to expire May 4, 2020. Steve Manos, Council Member, City of Lake Elsinore, is seeking reappointment.

Brian Tisdale, Mayor from the city of Lake Elsinore, made the motion to reappoint Steve Manos. The motion was seconded by Randon Lane, Mayor of the City of Murrieta. The reappointment was carried by unanimous vote.

\*\*\*\*\*

The Chairman opened the floor to any oral communications from the public on any matter which does not appear on committee agenda.


There were no requests to speak.

\*\*\*\*\*

On motion of Randon Lane, Murrieta, and seconded by Daryl Busch, the Chairman declared the meeting adjourned.

\*\*\*\*\*

Attest,

  
\_\_\_\_\_  
Lisa Wagner, Clerk

**PAGE BREAK**





**SUBMITTAL TO THE BOARD OF SUPERVISORS  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA**



**FROM:** Supervisor John J. Benoit

**SUBMITTAL DATE:** March 15, 2016

**SUBJECT:** Reappointment of Arthur Butler to the Airport Land Use Commission

**RECOMMENDED MOTION:** That the Board of Supervisors reappoint Arthur Butler to the Airport Land Use Commission

**Appointment Authority:** Public Utilities Code 21670 (a)


**Member** Arthur Butler  
1367 Lynridge Court  
Riverside, CA 92506

**Term of Appointment:** Four-year term expiring May 4, 2020

**BACKGROUND/APPOINTEE INFORMATION:**

Arthur Butler is a retired university administrator. He has served as chief of University Police and director of administrative services at California State University, San Bernardino. In the latter assignment he oversaw a division of three general fund and four auxiliary fund departments with a total 900 employees and annual revenues exceeding \$50 million. He has been active in public service including Riverside County ALUC, Riverside City Human Resources Board, Board of Governors CSUSB Foundation, and seats on a number of public non-profit boards.


He holds executive, management, and advanced certification from the California State Commission on Peace Officer Standards and Training (POST) and is certified as a community college instructor in administration of justice. He continues to serve the University as a hearing officer in student disciplinary cases. He has been a trustee of the Thomas Wathen Foundation, operating Flabob Airport. He keeps a sailplane at Hemet Ryan Airport.

  
John J. Benoit, Chairman  
Fourth District Supervisor

**MINUTES OF THE BOARD OF SUPERVISORS**

On motion of Supervisor Tavaglione, seconded by Supervisor Jeffries and duly carried, IT WAS ORDERED that the above matter is approved as recommended.

**Ayes:** Jeffries, Tavaglione, Benoit and Ashley  
**Nays:** None  
**Absent:** Washington  
**Date:** March 29, 2016  
**xc:** Supvr. Benoit, Commission, Appointee, COB

Kecia Harper-Ihem  
Clerk of the Board  
By:   
Deputy

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER MARCH 10, 2016  
RIVERSIDE MEETING**

A regular scheduled meeting of the Airport Land Use Commission was held on March 10, 2016 at the Riverside County Administrative Center, Board Chambers.

**COMMISSIONERS PRESENT:** Simon Housman, Chairman  
Rod Ballance, Vice Chairman  
Arthur Butler  
John Lyon  
Steve Manos  
Russell Betts, Alternate for Greg Pettis

**COMMISSIONERS ABSENT:** Glen Holmes  
Greg Pettis

**STAFF PRESENT:** Ed Cooper, ALUC Director  
John Guerin, Principal Planner  
Paul Rull, Urban Regional Planner IV  
Russell Brady, Contract Planner  
Barbara Santos, ALUC Commission Secretary  
Raymond Mistica, ALUC Counsel

**OTHERS PRESENT:** Raymond L. Bramel, Other Interested Person  
Joel P. Chun, Applicant Representative  
Richard Grey, Other Interested Person  
Denise Hauser, March Air Reserve Base  
Peter Kulmaticki, Perris Group, LLC  
Patricia Laurman, Other Interested Person  
Clara Miramontes, City of Perris Development Services  
Grover Moss, Taco Bell  
Richard Nickum, Other Interested Person  
Glen Pierce, GK Pierce Architects, Inc.  
Jay Pierce, Other Interested Person  
Kenneth Phung, City of Perris  
Bob Roberts, Developer  
Jon Shardlow, Lamb Energy and Stronghold Engineering  
James Thomson, Other Interested Person

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER MARCH 10, 2016  
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.1: ZAP1066FV16 – CA Watson Properties (Representative: Owen Wickstrand)** – County Case Nos. CZ 07180 (Change of Zone), PP 20682 (Plot Plan), PM 33750 (Parcel Map). The applicant proposes to develop a mini-warehousing facility and a car wash on 6.84 acres of a 10.38-acre parcel (Assessor's Parcel Number 480-170-014) located along the west side of Winchester Road, northerly of its intersection with Max Gilliss Boulevard, and easterly of the alignment of Leon Road southwesterly of Penny Cress Lane, in the unincorporated Riverside County community of French Valley. The mini-warehouse project includes four self-storage buildings with a combined floor area of 118,912 square feet and a 3,129 square foot office and apartment, along with 38 portable storage pods with a total area of 4,700 square feet and 15 recreational vehicle storage spaces. The car wash tunnel building will be 4,795 square feet in gross floor area. Tentative Parcel Map No. 33750, Amended No. 4, would divide 12.76 acres (the parcel, plus a portion of the right-of-way of Leon Road that would be vacated) into four parcels (plus 0.08 acres that would be right-of-way of Winchester Road). CZ 07180 would change the zoning of the proposed 1.66 acre car wash parcel from I-P (Industrial Park) to M-SC (Manufacturing-Service Commercial). (Airport Compatibility Zones C and D of the French Valley Airport Influence Area).
- II. **MAJOR ISSUES**  
None
- III. **STAFF RECOMMENDATION**  
Staff recommends a finding of CONSISTENCY for the Change of Zone and CONSISTENCY for the Plot Plan and Tentative Parcel Map, subject to the conditions included herein.
- IV. **PROJECT DESCRIPTION**  
The Plot Plan proposes to develop a mini-warehousing facility and a car wash on 6.84 acres of a 10.38-acre parcel. The mini-warehouse project includes four self-storage buildings with a combined floor area of 118,912 square feet and a 3,129 square foot office and apartment, along with 38 portable storage pods with a total area of 4,700 square feet and 15 recreational vehicle storage spaces. The car wash tunnel building will be 4,795 square feet in gross floor area. Tentative Parcel Map No. 33750, would divide 12.76 acres (the parcel, plus a portion of the right-of-way of Leon Road that would be vacated) into four parcels (plus 0.08 acres that would be right-of-way of Winchester Road). CZ 07180 would change the zoning of the proposed 1.66 acre car wash parcel from I-P (Industrial Park) to M-SC (Manufacturing-Service Commercial).

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. Determination of consistency for this Plot Plan is based on the proposed uses and activities noted in the project description. The following uses/activities are not included in the Plot Plan and shall be prohibited at this site, in accordance with Note A on Table 4 of the Southwest Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER MARCH 10, 2016  
RIVERSIDE MEETING**

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and the on-site caretaker or manager, and shall be recorded as a deed notice.
  4. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators.
  5. Any proposed water detention basins or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

No one spoke in favor, neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.1: TIME 9:08 A.M.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER MARCH 10, 2016  
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.2: ZAP1172MA16 – Kyle Investment Trust – Representative: Robert Furey, Groundwork, Inc.** – City of Perris Planning Case Nos. GPA 14-0094 (General Plan Amendment), ZC 14-0095 (Zone Change), PUD 14-0093 (Planned Unit Development), and TTM 14-0091 Tentative Tract Map No. 37038. The applicant proposes to develop 114 detached residential condominium units (“Citrus Court”) on 14.5 gross (13.17 net) acres located westerly of Dunlap Road, northerly of Lemon Avenue and southerly of Orange Avenue, in the City of Perris. In order to attain the requested density, the applicant proposes to amend the General Plan designation and zoning of the project site from R-6,000 (Single-Family Residential, 6,000 square foot minimum lot size) to MFR-14 (Multi-Family Residential, up to 14 dwelling units per acre), with a Planned Unit Development (PUD) Overlay. Tentative Tract Map No. 37038 provides for the subdivision that allows each unit to be purchased, while the Planned Unit Development provides the site layout and allows for variation from the lot size, dimension, coverage, setback and other requirements of the MFR-14 zone. The project would include a recreation area, two water quality management basins, and use of private streets. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

None

III. **STAFF RECOMMENDATION**

Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Tract Map and Planned Unit Development CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**

The applicant proposes to develop 114 detached residential condominium units (“Citrus Court”) on 14.5 gross (13.17 net) acres. The General Plan Amendment and Change of Zone are proposals to change the land use designation and zoning classification of the project site from R-6,000 to MFR 14 and apply a Planned Unit Development (PUD) Overlay. The Tentative Tract Map proposes to subdivide the 14.5-acre (gross) site into 114 residential condominium units. The Planned Unit Development proposes the 114 residential buildings and common open space improvements for the residential community.

**CONDITIONS** (applicable to the proposed Tentative Tract Map and Planned Unit Development):

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include

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landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

(d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

3. The attached notice shall be provided to all potential purchasers of the proposed lots and tenants of the homes thereon and shall be recorded as a deed notice.
4. Any ground-level or aboveground water retention or detention basin or facilities shall be designed so as to provide for a detention period that does not exceed 48 hours following the conclusion of the storm event for the design storm and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

No one spoke in favor, neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.2: TIME 9:08 A.M.

**AIRPORT LAND USE COMMISSION  
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RIVERSIDE MEETING**

I. **AGENDA ITEM 3.3: ZAP1177MA16 – AFG, LLC (Representative: Jim Guthrie)** – County Case Nos. CZ 07884 (Change of Zone) and TR 36763 (Tentative Tract Map No. 36763). The applicant proposes to change the zoning of a 24.86-acre lot (Assessor's Parcel Number 245-220-008) located at the westerly end of Roberts Road (also westerly of Samaniego Road, Pauls Lane, and Broaden Lane), northerly of Kross Road, and southerly of a westerly straight-line extension of John F. Kennedy Drive from R-A-2 1/2 (Residential Agricultural, 2 1/2 acre minimum lot size) to R-A-1 (Residential Agricultural, one acre minimum lot size), in order to allow for the subdivision of this parcel into one-acre lots. Tentative Tract Map No. 36763 is a proposal to divide this parcel into 24 single family residential lots with a minimum lot size of 0.51 acre, one common lot that would include an infiltration basin, several private streets, and a westerly extension of Roberts Road. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**  
None

III. **STAFF RECOMMENDATION**  
Staff recommends that the Commission find the proposed Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Tract Map CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**  
Change of Zone No. 7884 is a proposal to change the zoning classification of 24.86 acres from R-A-2½ (Residential Agricultural – 2½-acre minimum) to R-A-1 (Residential Agricultural – 1-acre minimum). Tentative Tract Map No. 36763 is a proposal to subdivide the 24.86 acres into 24 single-family residential lots with a minimum lot size of 1 acre, 1 common area lot for drainage/retention, 5 private street lots, and 1 public street lot.

**CONDITIONS (applicable to the proposed Tentative Tract Map):**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. This determination of consistency for the proposed Tentative Tract Map is based on the permissible uses within the proposed R-A-1 zone. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

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3. The attached disclosure notice shall be provided to all potential purchasers of the proposed lots and to tenants of the homes thereon, and shall be recorded as a deed notice.
4. The proposed water detention and/or infiltration basins or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; incinerators.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

The following spoke neither for or against the project, but added information to the decision making process:

Raymond L. Bramel, Other Interested Person, 17815 Roberts Rd., Riverside, CA 92508

Richard Grey, Other Interested Person, 17835 Roberts Rd., Riverside, CA

The following spoke in opposition to the project:

Richard Nickum, Other Interested Person, 17715 Country Manor Lane, Riverside, CA 92508

No one spoke in favor of the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.3: TIME 9:09 A.M.



**AIRPORT LAND USE COMMISSION  
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RIVERSIDE MEETING**

I. **AGENDA ITEM 3.4: ZAP1175MA16 – Trammell Crow Company, c/o David Drake – (Representative: Albert A. Webb and Associates)** – County of Riverside Case No.: PP25954 (Plot Plan). The applicant proposes to construct a 767,410 square foot industrial warehouse (logistics/distribution center) building (including 15,000 square feet of mezzanine area and 10,000 square feet of office area) on 35.12 net acres located northerly of Harley Knox Boulevard, southerly of Nandina Avenue, easterly of Decker Road, and westerly of Blanding Way and Harvill Avenue in the unincorporated Riverside County community of Mead Valley. The project is associated with Tentative Parcel Map No. 37054, which would consolidate 13 existing Assessor's parcels into one legal lot and vacate the segment of Diablo Drive extending from Nandina Avenue on the north to Harley Knox Boulevard on the south. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

At the time of writing of this staff report, no proof of submittal to FAA Obstruction Evaluation Service for review of the buildings proposed by the Plot Plan has been provided to staff.

III. **STAFF RECOMMENDATION**

Staff recommends that consideration of the Plot Plan be CONTINUED to ALUC's April 14, 2016 hearing to provide additional time for submittal to the FAA Obstruction Evaluation Service; however, if, prior to the March 10 hearing, proof of FAA submittal is provided and the submittal is in a "Work in Progress" status, staff will recommend that the Plot Plan be found CONDITIONALLY CONSISTENT, subject to the conditions included herein and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**STAFF RECOMMENDED AT HEARING  
CONSISTENT**

IV. **PROJECT DESCRIPTION**

The Plot Plan is a proposal to develop an industrial (predominantly warehouse) building totaling 767,410 square feet, on 35.12 gross acres. An associated case, Tentative Parcel Map No. 37054, proposes to consolidate the thirteen existing parcels into one parcel to develop the proposed industrial building.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Mead Valley Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.

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- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings, and shall be recorded as a deed notice.
  4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature.
  5. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; and incinerators.
  6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  7. **The Federal Aviation Administration has conducted an aeronautical study of the proposed structure (Aeronautical Study No. 2016-AWP-1239-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.**
  8. **The maximum height of the proposed structure shall not exceed 50 feet above ground level, and the maximum elevation of the proposed structure (including all roof-mounted equipment, if any) at top point shall not exceed 1609 feet above mean sea level.**
  9. **The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration: provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.**
  10. **Temporary construction equipment used during actual construction of the structure shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.**
  11. **Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structure.**
  12. This determination and these conditions of approval are based on the building being used for warehousing, manufacturing, and/or office uses. No authorization for uses designated as mercantile or

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assembly uses pursuant to the Uniform Building Code is granted by this determination.

**Conditions Nos. 7 through 11 were added at the Airport Land Use Commission meeting. Previous Draft Condition No. 7 was deleted, and Previous Draft Condition No. 8 became Condition No. 12.**

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbradv@rctlma.org](mailto:rbradv@rctlma.org)

No one spoke in favor, neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.4: TIME 9:21 A.M.

**AIRPORT LAND USE COMMISSION  
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RIVERSIDE MEETING**

I. **AGENDA ITEM 3.5:** ZAP1179MA16 – Brian Cornell and Amstar-Kaliber, LLC (Representative: Tom Simmons, Black Ridge) – County Case No.: PP25422 (Plot Plan) – The applicant proposes to develop two industrial (predominantly warehousing/distribution) buildings on 54.4 acres (Assessor's Parcel Nos. 297-080-007 through 297-080-010) located southerly of Alessandro Boulevard, easterly of Gem Lane and Camino Del Sol, westerly of a straight-line southerly extension of San Gorgonio Drive, and westerly of Meridian Parkway in an unincorporated area south of the City of Riverside. The northerly building will have a gross floor area of 598,190 square feet and will be separated from the residences to the west by a 200-foot-wide conservation easement. The southerly building will have a gross floor area of 216,440 square feet. (Airport Compatibility Zones B1 and B2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**  
None

III. **RECOMMENDATION:**  
Staff recommends that Plot Plan be found **CONDITIONALLY CONSISTENT**, subject to the conditions included herein and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**STAFF RECOMMENDED AT HEARING  
CONSISTENT**

IV. **PROJECT DESCRIPTION**  
The Plot Plan proposes development of two industrial (predominantly warehouse) buildings totaling 814,630 square feet, on 54.4 gross acres. Building 1 proposes a total of 598,190 square feet gross floor area, including 5,720 square feet of office space, on 35.7 gross acres. Building 2 proposes a total of 216,440 square feet gross floor area, including 4,500 square feet of office space, on 18.7 gross acres.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

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- (e) Wastewater management facilities, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, incinerators, and other hazards to flight.
  - (f) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, restaurants, aboveground storage or manufacturing of hazardous or flammable materials, and noise sensitive outdoor nonresidential uses.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  4. The attached notice shall be given to all prospective purchasers of the property and tenants of the buildings. While not required, the applicant and its successors-in-interest are encouraged to provide a copy of said notice to employees who would regularly be working at this location.
  5. The proposed detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.
  6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  7. Office area within Building 1 shall be limited to no more than 15,000 square feet in any single-acre (210'x210') area. Further ALUC review is required if proposed office area through any initial or subsequent tenant improvements result in more than 15,000 square feet. ALUC would review the amount and location of the office area and other use areas within the building to determine whether such future proposals comply with the Compatibility Zone B1 average and single-acre criteria.
  8. Zoned fire sprinkler systems shall be required throughout Building 1 located within Compatibility Zone B1.
  9. Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The County of Riverside shall require an acoustical study to ensure compliance with this requirement.
  10. **The Federal Aviation Administration has conducted aeronautical studies of the proposed structures (Aeronautical Study Nos. 2016-AWP-1130-OE and 2016-AWP-1133) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.**
  11. **The maximum height of the proposed northerly Building 1 shall not exceed 47 feet above ground level, and the maximum elevation of the proposed structure (including all roof-mounted equipment, if any) at top point shall not exceed 1678 feet above mean sea level. The maximum height of the proposed southerly Building 2 shall not exceed 42 feet above ground level, and the maximum**

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elevation of the proposed structure (including all roof-mounted equipment, if any) at top point shall not exceed 1684 feet above mean sea level.

12. The specific coordinates, height, and top point elevation of the proposed structures shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration: provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
13. Temporary construction equipment used during actual construction of the structures shall not exceed the height of the structures, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
14. Within five (5) days after construction of the structures reaches its greatest height, FAA Form 7460-2 (Part II). Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structures.

Condition Nos. 10 through 14 were added at the Airport Land Use Commission meeting.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

The following spoke in opposition to the project:

Patricia Laurman, Other Interested Person, 14212 Camino Del Oro

James Thomson, Other Interested Person, 20735 Camino Del Sol

No one spoke in favor or neutral of the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT**. Absent:  
Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.5: TIME 9:24 A.M.

**AIRPORT LAND USE COMMISSION  
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RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.6: ZAP1178MA16 – Broncs, Inc., dba WesCoast Textiles (Representative: Joel Chun)** – City of Perris Planning Case No. PLN16-00001 (Development Plan Review). The applicant proposes to construct a 185,500 square foot industrial building and establish a textile manufacturing facility therein. The 9.11 (net) acre project site (Assessor's Parcel Number 302-030-001) is located at 24455 Nance Street, at the southwesterly corner of Nance Street and Indian Avenue in the City of Perris. The applicant is the project end user and has indicated that the majority of the interior floor area would be for warehousing. The project includes 15,200 square feet of office space, of which 5,800 square feet would be on a second story level. The ground floor would include 5,000 square feet of knitting machinery, 5,000 square feet of dyeing tanks, 9,400 square feet of office areas, a recreation room for employees, 63,500 square feet of materials storage and almost 100,000 square feet of warehouse area. (Airport Compatibility Zones B1-APZ I and B2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

The applicant is proposing to construct and operate a textile manufacturing facility on a site located predominantly within the portion of Airport Compatibility Zone B1 that lies within Accident Potential Zone I, as delineated by the United States Air Force in the 2005 Air Installation Compatible Use Zone (AICUZ) study. The manufacturing of textiles is a generally incompatible use within Accident Potential Zone I, pursuant to the 2005 AICUZ and an incompatible use pursuant to subsequent (2011) Department of Defense Instruction (DODI) No. 4165.57. The 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (March ALUCP) further specifies in Table MA-2 that uses listed in the AICUZ as not compatible in APZ I or APZ II are prohibited uses within those zones.

The proposed building design provides for a 150-foot separation between areas for dyeing tanks and areas for knitting machinery. However, the information provided is not sufficient to distinguish manufacturing/fabrication areas from storage areas. The building could conceivably include a single-acre area that would be entirely in use for manufacturing/fabrication activity. Such a single-acre area would have a potential occupancy of 218 persons using the Building Code method. If manufacturing is limited to the areas not depicted as warehouse or shipping warehouse, the single-acre intensity drops to 132, but this would still exceed allowable levels in Compatibility Zone B1, where single-acre intensity is limited to a maximum of 100 persons. The applicant is the proposed end user and advises that the maximum number of occupants would be 65 persons or less at any given time.

Although staff understands and appreciates the Air Force's input and findings regarding the proposed project being generally prohibited per the AICUZ and DODI 4165.57, the rationale underlying the prohibition of this use is not clear to ALUC staff. Certain manufacturing sectors are listed as acceptable, but others are not. Textile manufacturing generally does not involve activities that would pose a hazard to flight, so the logical assumption is that the determination of incompatibility is based on intensity. However, nationwide averages of employees per establishment (in 2013 County Business Patterns) indicate that textile manufacturing plants are among the lowest in employment numbers per establishment. Is it possible that intensity assumptions regarding textile manufacturing based on outdated images of sweatshops and labor union commercials form the basis of the incompatible use determination in the DODI? The applicant anticipates that the largest shift would have not more than 65 employees and that three shifts would be used for round-the-clock production. There is some breathing room in this situation, as a maximum single-acre occupancy of 100 is permitted pursuant to the March ALUCP.

The applicant has further indicated a willingness to accept a maximum occupancy level as a project condition that would be applicable to successors-in-interest or the inclusion of a requirement that future changes in tenancy be subject to ALUC review.

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There do not appear to be any hazards present such as explosives, chemicals, glare, emissions, electronic interference, tall structures or other apparent features that could result in a hazard to flight, and the largely automated nature of the operations planned by the applicant indicate that both average and single-acre intensity limits will be observed. However, it should be noted that a future occupant could potentially employ a larger number of persons in the structure.

The project does include a second floor office area. In order to comply, the second floor area must be limited to the portion of the property in Airport Compatibility Zone B2.

**III. STAFF RECOMMENDATION**

Staff must recommend a finding of INCONSISTENCY based on the project proposing a textile manufacturing facility which is prohibited within APZ I pursuant to the Airport Installation Compatible Use Zone (AICUZ) and Department of Defense Instruction (DODI) 4165.57 and the project exceeding the Compatibility Zone B1 APZ I average and single-acre criteria based on the Building Code Method. However, provided that second floor area is limited to the portion of the property in Compatibility Zone B2 and that an occupancy cap is included as a condition of approval, the only remaining rationale for an inconsistency determination is the inconsistency with DODI 4165.57. If the Commission is willing to accept the applicant's anticipated maximum occupancy for the building as not exceeding a total of 100 at any given time and the Commission determines that the specific proposed project would not present a substantial hazard to flight, the Commission may make a finding of CONSISTENCY pursuant to Policy 3.3.6 of the Countywide Policies, based on the applicant's need to locate this facility at a site with availability of reclaimed water, subject to the attached conditions, if it accepts the concept that the "incompatible use" classification was based on intensity assumptions that do not apply to this particular facility – a concept that is allowable pursuant to the superscript and note included in the 2005 AICUZ.

**IV. PROJECT DESCRIPTION**

The applicant proposes to construct a 185,500 square foot industrial building on a 9.11-acre (net area) site and establish a textile manufacturing facility therein. The majority of the floor area would be for warehousing and storage of materials to be used in the manufacturing process and of the manufactured product in preparation for shipping. The building would include 15,200 square feet of office space, of which 5,800 square feet would be on a second story level. The ground floor would include 5,000 square feet of knitting machinery, 5,000 square feet of dyeing tanks, 9,400 square feet of office areas, and a recreation room for employees, 63,500 square feet of materials storage, and almost 100,000 square feet of warehouse space. The applicant is the projected end user, and the building design has been customized for the specific use.

**FINDINGS FOR A DETERMINATION OF CONSISTENCY PURSUANT TO POLICY 3.3.6 OF THE COUNTYWIDE POLICIES OF THE 2004 RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY PLAN:**

1. The applicant is the anticipated end user of this facility and requires a location with access to reclaimed/recycled water, which constrains the potential number of locations where the business may be operated. A reclaimed water line is located along Nance Street adjacent to the project site.
2. There do not appear to be any hazards inherent in the proposed operation of this facility that could result in a hazard to flight.
3. While the size of the proposed building is sufficiently large to potentially accommodate a larger number of persons than would be permitted pursuant to the March ALUCP, the applicant is anticipating a total of 150 employees working in three shifts, with no more than 65 employees on-site in any one shift. A



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condition has been applied limiting the total building occupancy to a maximum of 100 persons. The applicant has agreed to abide by this condition, and the City of Perris has agreed to include this condition in any approval for the proposed project.

4. While the 2005 Air Installation Compatible Use Zone Study indicates that textile manufacturing in Accident Potential Zone I is normally not compatible, this provision includes a superscript referring the reader to Note 2, which includes the following text: "Within each land use category, uses exist where further deliberating by local authorities might be needed due to the variation of densities in people and structures...."
5. The largely automated nature of the operations planned by the applicant further support the assertion that the facility can be operated with an employment level not exceeding 100 persons at any given time, and no on-site sales to the general public shall be permitted from this location.
6. A special condition is included herein to minimize potential for wildlife attraction/bird strike.
7. The proposed manufacturing and warehousing uses are not noise-sensitive, and sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to not more than CNEL 45 dB will be required for office space.
8. Therefore, the proposed development and operation of this facility will not create a safety hazard to people on the ground or aircraft in flight nor result in excessive noise exposure for the proposed use.

**CONDITIONS:**

1. This determination and these conditions of approval are predicated on the representation made by the applicant that no more than 100 persons will ever be in this structure at any one time.
2. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
3. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

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- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, restaurants, aboveground storage or manufacturing of hazardous or flammable materials, noise sensitive outdoor nonresidential uses and hazards to flight.
  - (f) Medical services, child development centers, nurseries, and educational services.
  - (g) Commercial/service uses; civic uses; churches, chapels, and other places of worship or religious activities; classrooms; gymnasiums; eating and drinking establishments; theaters; auditoriums; bowling alleys; conference or convention halls; fraternal lodges; auction rooms; gaming.
  - (h) Manufacturing of: apparel; products made from fabrics or leather; chemicals and allied products; rubber and plastic products; professional, scientific, and controlling instruments; photographic and optical goods; watches and clocks.
4. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
  5. The attached notice shall be given to all prospective purchasers of the property and tenants of the building. While not required, the applicant and any successors-in-interest are encouraged to provide a copy of said notice to employees who would regularly be working at this location.
  6. Any new detention basin(s) on the site (including aboveground infiltration areas) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around infiltration areas that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the infiltration areas shall not include trees that produce seeds, fruits, or berries.
  7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  8. The proposed project shall comply with the Compatibility Zone B1 Accident Potential Zone I single-acre criterion of 100 people (i.e., no more than 100 people in any single-acre [210' x 210'] area). Pursuant to the currently proposed building design and uses, to comply with this criterion, the manufacturing/warehouse building occupancy should not exceed 100 people. The applicant shall comply with this maximum occupancy restriction through such means as applicant may select, which may include hiring practices, hours of operation, and work schedules. Any successor to or future tenant of the applicant desiring to change the proposed land use or convert the building to more occupant-intensive uses than 100 persons in total shall be subject to subsequent ALUC review of the specific tenant improvements/floor plans to determine consistency with the applicable intensity criterion.
  9. Zoned fire sprinkler systems shall be required throughout the building.
  10. No on-site sales to the general public are permitted from this location.

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11. Second-story floor area shall be limited to those portions of the site located in Compatibility Zone B2.
12. Office space must have sound attenuation features sufficient to reduce interior noise levels from exterior aviation-related sources to no more than CNEL 45 dB. The City of Perris shall require an acoustical study to ensure compliance with this requirement.
13. In order to ensure proper functioning of the project drain system to avoid potential hazards to March Air Reserve Base flights, an additional Best Management Practice (BMP) shall be added to the project Water Quality Management Plan (WQMP). The applicant shall enter into a covenant and agreement with the City of Perris similar to the Water Quality Management Plan and Urban Runoff BMP Transfer, Access and Maintenance Agreement between March Joint Powers Authority and Sun Life Assurance Company of Canada (Document No. 2014-0030862), which shall be recorded prior to issuance of a certificate of occupancy. A copy of the recorded agreement and BMP shall be provided to the Riverside County Airport Land Use Commission. The BMP shall include the following program:
  - a. The property owner (PSG Perris or its successor(s)-in-interest, hereinafter "Owner") or its designated representative shall monitor the conditions of the infiltration areas and promptly inspect such areas following the completion of each "significant" rain event and the 48-hour period thereafter.
  - b. If any standing water remains in an infiltration area that is not beneath a rock, gravel, or other layer following the completion of the "significant" rain event and the 48 hour period thereafter, Owner or its designated representative shall arrange to have such standing water either removed or covered within the next two business days following the conclusion of the 48 hour period.
  - c. In the event that that the standing water situation recurs on a regular basis following the 48-hour detention period, the infiltration area may no longer be draining as originally designed to prevent standing water from rising above a rock, gravel or other layer (for example, due to a rise in groundwater levels or other circumstance beyond Owner's ability to control). In that situation, Owner or its designated representative shall promptly engage a licensed civil engineer to prepare a design plan to assure that such condition does not persist for more than 48 hours following the conclusion of a "significant" rain event. The required engineering design solution shall be implemented promptly, but no later than 180 days following its approval by all applicable authorities, providing that, until such time as the engineered design solution is implemented, Owner or its designated representative will maintain water levels below the rock, gravel, or other layer.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

The following spoke in favor of the project:

Joel P. Chun, Applicant Representative, 41693 Camino Lorado Dr. Temecula, CA 92592

The following spoke neither for or against the project but added information to the decision making process:

Kenneth Phung, City of Perris, 135 N. "D" Street, Perris, CA

Denise Hauser, March Air Reserve Base spoke in support of staff recommendation of inconsistency.

No one spoke in opposition to the project.

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**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a vote of 5-1 found the project **CONSISTENT**, pursuant to Countywide Policy 3.3.6, subject to the conditions included in the staff report. Chairman Housman dissenting; Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.6: TIME 9:36 A.M.

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I. **AGENDA ITEM 3.7: ZAP1176MA16 – Perris Group LLC – Representative: Peter Kulmaticki, J. D. Pierce Co.** – City of Perris Planning Case Nos. 15-05207 (General Plan Amendment), 15-05206 (Zone Change), 15-00014 (Development Plan Review), and 15-05205 PM 37014 (Tentative Parcel Map). The applicant proposes development of a 228-unit apartment project on 15.95-16.9 acres located on the easterly side of Barrett Street, westerly of Perris Boulevard, southerly of Placentia Street, and northerly of Orange Avenue in the City of Perris. The apartments will be in 38 buildings, each with six units. The project will also include a 4,813 square foot recreation building, maintenance building, automobile garages, swimming pool, soccer field, playground, and detention basin. PLN Case Nos. 15-05207 and 15-05206 propose to change the General Plan land use designation and zoning on 0.92 acres within the project site from CC (Community Commercial) to MFR-14 (Multi-Family Residential 14) so as to match the existing General Plan designation and zoning of the majority of the site. The associated Tentative Parcel Map No. 37014 would consolidate the existing parcels into a single lot. (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

The site is located within Compatibility Zone C2, where residential densities are limited to a maximum of six dwelling units per acre. However, it is adjacent on one side to land within the Heritage Landing Specific Plan designated for high density and acknowledged as an Exception Area in the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan and on two other sides by commercial and industrial designated land. Pursuant to the 1984 Riverside County Airport Land Use Plan, residential development in this area was restricted to one dwelling unit per 2 ½ acres, and the Harvest Landing Specific Plan was adopted by the City through an overrule process. This new project proposes a density of almost fourteen dwelling units per acre. The applicant proposes consideration pursuant to Section 3.3.1 (Infill). If the Commission agrees that this site meets the infill standard, a density of up to 12 dwelling units per acre could be determined to be consistent. The location of commercial and industrial uses to the north and south makes this situation different from the “textbook example,” but the densities of the surrounding residential areas (if approved vested projects are included) are sufficient to allow the 12 dwelling units per acre (192 units). The applicant also is requesting that the Commission consider allowance for the full density proposed via Section 3.3.6 (Other Special Conditions).

Additionally, clustering of dwelling units is limited to four times the allowable average density. Staff interprets this provision as limiting the maximum number of dwelling units in any given acre of this site to 24 units. Some individual acres include all of three buildings and portions of three other buildings.

III. **STAFF RECOMMENDATION**

Unless the Commission grants a Section 3.3.6 finding, staff must recommend a finding of INCONSISTENCY with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, based on the proposed density exceeding double the allowable density of six dwelling units per acre in Compatibility Zone C2.

IV. **PROJECT DESCRIPTION**

The project applicant proposes development of a 228-unit apartment complex (consisting of 38 residential buildings, each with six units, along with a 4,813 square foot recreation building, maintenance building, automobile garages, swimming pool, soccer field, playground, and detention basin) on a 15.95-16.9-acre site. Additional City of Perris approvals that would be required to implement the project include an amendment to the General Plan designation and zoning on 0.92 acres within the project site from CC (Community Commercial) to MFR-14 (Multi-Family Residential 14, up to 14 dwelling units per acre), so as to match the existing General Plan designation and zoning of the remainder of this site. The associated Tentative Parcel Map No. 37014 would consolidate the existing parcels comprising the site into one lot.

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**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rctlma.org](mailto:jguerin@rctlma.org)

The following spoke in favor of the project:

Clara Miramontes, City of Perris Development Services, Perris, CA

Peter Kulmaticki, Perris Group LLC, 2222 Martin Street, STE 100, Irvine, CA 92612

Jay Pierce, Other Interested Person, 2222 Martin Street, STE 100, Irvine, CA 92612

No one spoke in neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **INCONSISTENT**. Absent:  
Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.7: TIME: 10:33 A.M.

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- I. **AGENDA ITEM 3.8: ZAP1073RI16 – Arlington PDRC LP (Representative: Glen Pierce, G.K. Pierce Architects, Inc.)** – City of Riverside Case Nos. P15-0979 (Rezoning), P15-0980 (Conditional Use Permit), and P15-0981 (Design Review). The applicant proposes to establish a 2,200 square foot restaurant (“Cowboy, Jr.”) with drive-thru (including 585 square feet of interior dining area) on a 0.54 (net) acre (0.61 gross) parcel (Assessor’s Parcel Number 190-322-015) located at 5573 Arlington Avenue, on the northerly side of Arlington Avenue, easterly of Phoenix Avenue (easterly of the Taco Bell and westerly of the Housing Authority offices). In order to allow for the “restaurant with drive-thru” use, the applicant proposes that the site be rezoned from O-Office to GC-General Commercial. The Commission may further recommend that the project site be rezoned to GC-AP-B1 and GC-AP-C, as the site is split between Airport Compatibility Zones B1 and C, or to O-AP-B1 and O-AP-C, in the event that the change to General Commercial is not supported. (Airport Compatibility Zones B1 and C of the Riverside Municipal Airport Influence Area).

II. **MAJOR ISSUES**

Pursuant to the Building Code Method, the proposed Design Review would result in an occupancy and an average intensity that would exceed the average acre criterion of 75 people per acre for Compatibility Zone C. Staff did analyze the applicability of Countywide Policy 3.3.1 for Infill, but the existing surrounding land uses (fast food and office) result in a lower average intensity. The surrounding land uses do have higher occupancies, but due to their larger lot sizes result in lower average intensity; therefore, the infill provisions for the proposed project would not apply since the surrounding uses would not strictly be defined as similar to or more intense than the proposed project.

The proposed Rezoning to General Commercial (CG) could allow for a variety of land uses that are prohibited uses within either Compatibility Zones B1 or C. However, these are all already permitted or conditionally permitted in the current Office zone, so if the Rezoning were not proposed these would continue to be conditionally permitted. The recommended Airport Protection Overlay Zone to apply to the Rezoning would assist in identifying the site’s location within Compatibility Zone B1 and C and that these are not allowed uses within these Compatibility Zones. Without the Rezoning the Airport Protection Overlay Zone would not apply. Therefore, the Rezoning with the overlay would be better than the zoning remaining as is without the overlay.

III. **STAFF RECOMMENDATION**

Staff recommends that the proposed Rezoning be found CONSISTENT with the Riverside Municipal Airport Land Use Compatibility Plan provided that the new zoning incorporates the appropriate Airport Protection Overlay Zone suffix (-AP-B1 and -AP-C), which refers to the site’s location within the Riverside Municipal Airport Influence Area. Staff must recommend that the Design Review be found INCONSISTENT, based on the proposed project exceeding the average acre criterion of Compatibility Zone C; however, based on the relatively small size of the project site, the split Compatibility Zones, and other findings included in the staff report, the Commission may consider making special circumstance findings pursuant to Countywide Policy 3.3.6 and determine the Design Review CONSISTENT subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**

The Rezoning proposes to change the zoning of the 0.55-net acre site from Office (O) to General Commercial (CG). The Conditional Use Permit proposes to allow a drive-thru restaurant use. The Design Review proposes to develop a 2,200 square foot drive-thru restaurant.

**FINDINGS FOR A DETERMINATION OF CONSISTENCY PURSUANT TO POLICY 3.3.6 OF THE COUNTYWIDE POLICIES OF THE 2004 RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY PLAN:**

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1. Surrounding uses: The total occupancy of the proposed restaurant and drive-thru is less than the total occupancy of the surrounding uses with frontage on the northerly side of Arlington Avenue, specifically the existing adjacent fast food restaurant to the west and the County office building to the east.
2. The following special circumstances exist:
  - (a) The parcel is less than 1 acre in size and is split by the Compatibility Zone boundary between Zones B1 and C;
  - (b) The City is considering allowing for shared parking with the fast food restaurant to the west. Using the Parking Space method, the average intensity of the two lots combined would be consistent if the two lots were entirely in Compatibility Zone C;
  - (c) The proposed restaurant building would be located in the portion of the property within Compatibility Zone C;
  - (d) The noise level of 55-60 CNEL from aircraft noise is listed as clearly acceptable for service commercial uses in Table 2B; therefore, the project would not expose people to excessive noise.
3. The proposed project would not create a safety hazard to people on the ground or aircraft in flight nor result in excessive aircraft noise exposure for employees or customers of the restaurant.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators).
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, nursing homes, highly noise-sensitive outdoor nonresidential uses, places of worship, aboveground bulk storage of hazardous materials, and hazards to flight.



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3. The attached notice shall be given to all prospective purchasers and tenants of the property.
4. Prior to issuance of a building permit, the property owner shall convey an avigation easement to the City of Riverside as owner-operator of Riverside Municipal Airport.
5. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
6. Prior to issuance of a building permit, the City of Riverside shall apply zoning incorporating the Airport Protection Overlay Zone (CG-AP-B1 and CG-AP-C) to the site.
7. Any subsequent Design Review, Conditional Use Permit, Tenant Improvement, or other permitting that would alter the use and occupancy of the currently proposed building shall require ALUC review.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

The following spoke in favor of the project:

Grover Moss, Taco Bell, 1150 Ranson Rd, Riverside, CA 92506

Glenn Pierce, GK Pierce Architects, Inc., Aliso Viejo, CA 92656

Bob Roberts, Developer, 5 ½ E. State Street, Redlands, CA 92373

No one spoke in neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 found the project **CONSISTENT** pursuant to Countywide Policy 3.3.6, the special circumstances being the fact that it is a very small parcel, that it is split between two zones and the character of the surrounding uses, and that the finding of consistency be made subject to the conditions proposed in the staff report. Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.8: TIME 11:23 A.M.

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- I. **AGENDA ITEM 3.9:** ZAP1026FL16 – Lamb Energy WRL, LLC and Stronghold Engineering (Representative: Jonathan Shardlow, Gresham Savage Nolan & Tilden) – City of Jurupa Valley Case Nos. MA 15148 (Major Application) and SDP 31534 (Site Development Permit). A proposal to construct and operate an 8.1685 to 9.67 megawatt solar photovoltaic energy generation facility on 74 acres located on the site of the former West Riverside Landfill, northerly of State Highway Route 60, easterly of Hall Avenue, and westerly of the Santa Ana River in the City of Jurupa Valley. (Airport Compatibility Zone E of the Flabob Airport Influence Area).

II. **MAJOR ISSUES**

The proposed photovoltaic solar facility could present potential glare hazards for pilots using the curved approach to runway 24 from the north and within the northeasterly traffic pattern north of the airport. The Solar Glare Hazard Analysis Tool (SGHAT) based analyses concluded that potential for temporary after image could occur in certain times of the year generally in the morning for these flight paths. This is the “yellow” level that exceeds the “low potential for temporary after-image” that Federal Aviation Administration (FAA) Interim Policy deems an acceptable level of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property. Therefore, the potential for temporary after-image engendered by the project potentially represents a hazard to flight.

Staff has discussed these results with the applicant and suggested additional analysis be provided to indicate whether alternative angles to the solar panels and/or removal of certain panel areas from the project could reduce the potential for temporary after image to the low “green” level. Additionally, a more comprehensive glare analysis beyond the basic SGHAT could be justified to provide more detail in terms of where glare is experienced and at what intensity. Although staff is recommending continuance, the applicant would like to present and discuss the project and the glare analysis and receive feedback from the Commission and whether a determination of Consistency could be made at this time with additional conditions applied to the project.

III. **STAFF RECOMMENDATION**

Staff recommends that consideration of the project be CONTINUED to ALUC’s April 14, 2016 hearing to provide additional time for additional analysis to be provided regarding potential glare experienced in the pattern and curved approaches; however, if, prior to the March 10 hearing, such additional analysis is provided to staff and deemed adequate, staff may recommend that the project be found CONSISTENT, subject to the conditions included herein.

**STAFF RECOMMENDED AT HEARING  
CONSISTENT**

IV. **PROJECT DESCRIPTION**

The project proposes to construct an 8.1685 megawatt solar photovoltaic electric generating facility and associated facilities on 74 acres.

**CONDITIONS:**

1. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
- (b) Any use which would cause sunlight to be reflected in focused view towards an aircraft engaged in an

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initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
2. Any outdoor lighting installed shall be hooded and shielded to prevent either the spillage of lumens or reflection into the sky.
  3. If the panels are mounted on a framework, said framework shall have a flat or matte finish so as to minimize reflection of sunlight.
  4. The landowner shall provide the attached notice to all purchasers of the property.
  5. All photovoltaic panels installed on the project site shall have received an anti-reflective coating to minimize the potential for hazardous glare to occur to aircraft.
  6. In the event that any incidence of glint, glare, or flash affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such glint, glare, or flash. An "incidence" includes any situation that results in an accident, incident, "near-miss," or specific safety complaint regarding an in-flight experience to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. Suggested measures may include, but are not limited to, reprogramming the alignment of the panels, covering them at the time of day when incidences of glare occur, or wholly removing panels to diminish or eliminate the source of the glint, glare, or flash. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.
  7. In the event that any incidence of electrical interference affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such interference. An "incidence" includes any situation that results in an accident, incident, "near-miss," report by airport personnel, or specific safety complaint to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.
  8. Structures' location and height shall comply with those as noted in the site plan as prepared by Stronghold Engineering Inc. and dated 7/31/15. If location and height shall change, this table shall be updated to confirm whether review by the FAA Obstruction Evaluation Service is required.
  9. No detention basins are shown on the site plan, but if any detention basins are constructed, such basins shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of

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the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rctlma.org](mailto:rbrady@rctlma.org)

The following spoke in favor of the project:

Jon Shardlow, Lamb Energy & Stronghold Engineering, 550 E. Hospitality, Suite 300, San Bernardino, CA 92408

No one spoke in neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a vote of 5-0 found the project **CONSISTENT**. Recused: Commissioner Lyon; Absent: Commissioner Holmes

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.9: TIME 11:45 A.M.

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MINUTE ORDER MARCH 10, 2016  
RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.10: ZAP1038PS16 – Palm Springs Unified School District (Representative: John Vega)** - Environmental Impact Report State Clearinghouse No. 2015031105. Palm Springs Unified School District proposes to replace existing buildings at Agua Caliente Elementary School located at 30-800 San Luis Rey Drive inside San Gabriel Drive Circle in Cathedral City with five new buildings at different areas within the school's existing campus. The project would facilitate an increase in the capacity of the school so as to allow for an enrollment of up to 850 students, specifically including the addition of 120 pre-kindergarten students. (Airport Compatibility Zone D of the Palm Springs International Airport Influence Area).

II. **MAJOR ISSUES**

The capacity of the proposed elementary school exceeds the maximum allowable average acre criterion of 100 and single-acre criterion of 300 people for Compatibility Zone D based on the Building Code Method. Additionally, children's school uses are a discouraged use within Compatibility Zone D. The proposed elementary school would replace the existing elementary school on the site, but is anticipated to increase enrollment from 599 to an enrollment capacity of 828 and so would not be subject to the provisions for continuing to operate an existing nonconforming use pursuant to Countywide Policy 3.3.2.(b).

The applicant has stated that based on School District and State requirements, total occupancy for the site would comply with the average acre criterion of 100, but Building B occupancy would exceed the single-acre criterion on its own and other single-acre areas exceed the single-acre criterion as well. Additionally, the maximum occupancy of Building E, which is primarily for assembly purposes and does not increase the permissible total enrollment, would substantially exceed the single-acre criterion.

III. **STAFF RECOMMENDATION**

At the request of the applicant, staff recommends that consideration of the project be CONTINUED to ALUC's April 14, 2016 hearing to provide staff and the applicant additional time to review site design, including measures to mitigate potential hazards from aircraft.

IV. **PROJECT DESCRIPTION**

Palm Springs Unified School District proposes to replace existing buildings at Agua Caliente Elementary School with five new buildings at different areas within the school's existing campus. Outdoor recreation areas would also be provided. The project would facilitate an increase in the capacity of the school to allow for the enrollment of up to 828 students (originally estimated at 850-875). The project description in the Draft EIR referenced the addition of up to 120 students and associated faculty at the pre-kindergarten level (included among the 875).

V. **MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Russell Brady at (951) 955-0549, or e-mail at [rbrady@rcclma.org](mailto:rbrady@rcclma.org)

No one spoke in favor, neutral or opposition to the project.

VI. **ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 6-0 CONTINUED the project to April 14, 2016.

Absent: Commissioner Holmes

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER MARCH 10, 2016  
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**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rctlma.org](mailto:basantos@rctlma.org).

ITEM 3.10: TIME 11:57 A.M.

**AIRPORT LAND USE COMMISSION  
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I. **4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals – Information Only

II. **5.0 APPROVAL OF MINUTES**

The ALUC Commission by a unanimous vote of 6-0 approved the February 11, 2016 minutes.  
Absent: Holmes

III. **6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

None

IV. **7.0 COMMISSIONER'S COMMENTS**

7.1 March Joint Powers Authority TAC Report Update by Commissioner Ballance  
Nothing to report

V. **8.0 ADJOURNMENT**

Chairman Housman adjourned the meeting at 11:59 a.m.

VI. **CD**

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ITEM 4.0: TIME IS 11:57 A.M.