



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administrative Center  
4080 Lemon Street, 1st Floor Board Chambers  
Riverside, California

Thursday 9:00 A.M., May 10, 2018

**CHAIR**

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Lake Elsinore

**VICE CHAIR**  
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**Director**  
**Simon A. Housman**

John Guerin  
Paul Rull  
Barbara Santos

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[www.rcaluc.org](http://www.rcaluc.org)

**NOTE:** If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at [www.rcaluc.org](http://www.rcaluc.org).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org). Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 **INTRODUCTIONS**

1.1 **CALL TO ORDER**

1.2 **SALUTE TO FLAG**

1.3 **ROLL CALL**

2.0 **PUBLIC HEARING: CONTINUED ITEMS**

**FRENCH VALLEY AIRPORT**

2.1 **ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map).** The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 138,495 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 7 office/warehouse buildings and 8 retail buildings (3 or 4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.334 to 2.01 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area). Continued from April 12, 2018. Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rivco.org](mailto:jguerin@rivco.org)

Staff Recommendation: CONSISTENT

**3.0 PUBLIC HEARING: NEW ITEMS****PALM SPRINGS INTERNATIONAL AIRPORT**

- 3.1 ZAP1061PS18 – A0685 Cathedral City, LP – City of Cathedral City Planning Case Nos. GPA16-006 (General Plan Amendment), CZ16-005 (Change of Zone), CUP16-049 (Conditional Use Permit). The applicant is proposing to develop a 60-unit apartment complex for veterans (with a 2,964 square foot community room) on 6.5 acres located on the southwest corner of Landau Boulevard and Vega Road. The proposed project requires an amendment to the City's General Plan land use designation from RL Low Density Residential to RM Medium Density Residential, and a change of zone from R1 Single-Family Residential to R2 Multiple-Family Residential. (Airport Compatibility Zone E of the Palm Springs International Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

Staff Recommendation: CONSISTENT

**PERRIS VALLEY AIRPORT**

- 3.2 ZAP1015PV18 – Everest at Perris, LLC (Representative: Casey Malone) – City of Perris Planning Case Nos. 17-05148 (Zone Change), 17-00005 (Development Plan Review). The applicant proposes to construct a 141-unit senior apartment complex on 4.22 acres located on the northwest corner of Ellis Avenue and "A" street. The applicant also proposes to change the zoning of the site from Community Commercial (CC) to R-6,000 Single Family Residential 6,000 square foot lot minimum/Senior Housing Overlay (SHO) zone. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

Staff Recommendation: CONSISTENT (Change of Zone); CONDITIONALLY CONSISTENT (Development Plan Review)

**MARCH AIR RESERVE BASE**

- 3.3 ZAP1308MA18 – Newcastle Partners, Inc., Jackson Smith (Representative: T&B Planning, George Atalla) – City of Moreno Valley Case Nos. PEN18-0023 (Plot Plan), PEN18-0024 (General Plan Amendment), PEN18-0025 (Change of Zone). The applicant proposes to construct a 203,712 square foot warehouse facility (193,712 square feet warehouse area, 10,000 square feet of office area) on an 8.8-acre site located on the northeast corner of Frederick Street and Brodiaea Avenue. The applicant also proposes to amend the site's land use designation from Office to Business Park/Light Industrial, and change the zoning from Office to Light Industrial. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

Staff Recommendation: CONSISTENT (GPA, Change of Zone); CONDITIONALLY CONSISTENT (Plot Plan)

**MARCH AIR RESERVE BASE**

- 3.4 ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey) – County of Riverside Permit No. BEL1800836 (Building Electrical Permit). A proposal to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of BNSF rail line and I-215 Freeway, and southerly of Walnut Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

Staff Recommendation: CONSISTENT

**HEMET RYAN AIRPORT**

- 3.5 ZAP1054HR18 – Lansing Stone Star, LLC (Representative: Trip Hord) – County of Riverside Planning Case Nos. CZ7833 (Change of Zone), TR36504 (Tentative Tract Map). The applicant proposes to divide 162 acres located on the northeast corner of Winchester Road and Stetson Avenue into 527 single family residential lots, including an 8.5 acre park lot, a 4.7 acre detention basin lot, and an 18 acre open space lot. The applicant also proposes to change the zoning of the site from Light Agriculture 10-acre minimum (A-1-10), Heavy Agriculture 10-acre minimum (A-2-10), Residential Agricultural 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). (Also proposed is an offsite 4.54 acre water quality basin on the adjacent 99 acre parcel located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road.) (Airport Compatibility Zones D and E of the Hemet-Ryan Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

Staff Recommendation: CONSISTENT (Change of Zone); CONDITIONALLY CONSISTENT (Tract Map)

**4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals

4.2 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport

4.3 Policy Regarding Complex Speculative Commercial Projects

**5.0 APPROVAL OF MINUTES**

April 12, 2018

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA****7.0 COMMISSIONER'S COMMENTS**

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 2.1 ~~3-5~~

**HEARING DATE:** *May 10, ~~April 12~~, 2018 (continued from March 8, 2018 and April 12, 2018, with re-advertisement for the April 12 meeting)*

**CASE NUMBER:** ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** CUP03777 (Conditional Use Permit) and PM37399 (Tentative Parcel Map)

**MAJOR ISSUES:**

~~The applicant team thought that this project complied with nonresidential intensity criteria, but was using the single-acre intensity criteria in determining potential occupancy for the proposed buildings. Hence, the total occupancy for some of the buildings is almost twice the allowable level, when considering on a lot-by-lot basis. This will require a revised submittal with either greatly reduced square footages of building area or allocation of less intense uses. The most glaring exceedances occur in the row of buildings along Benton Road that were proposed to include restaurant dining area.~~

~~As of the afternoon of March 27, staff is in the process of working with the applicant team to address consistency concerns resulting from changes in the sizes of proposed lots and in light of the concerns expressed by Commissioners at the March 8 public hearing.~~

The applicant team is requesting a 12.5% risk-reduction density bonus based on use of concrete construction and single-story design without skylights for Buildings M1, S2, and B2 in order to comply with single-acre intensity criteria.

**RECOMMENDATION:**

~~Staff would be amenable to a continuance to allow for a redesign or revised allocation of uses, but, based on the current proposal, staff must recommend a finding that the public hearing be re-opened and the project further discussed, and that the proposed Conditional Use Permit and Tentative Parcel Map, considered together, are **INCONSISTENT** with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011 be **CONTINUED** to May 10, 2018, unless the project is further amended to achieve consistency. Such amendment may be accomplished by reducing the sizes of Buildings R2 and S2. As of the afternoon of March 27, the applicant team was considering whether to accept such a proposal.~~

**Staff recommends that the proposed Conditional Use Permit and Tentative Parcel Map, as amended, be found CONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011, subject to the amended conditions specified herein.**

**PROJECT DESCRIPTION:** Conditional Use Permit No. 3777 is a proposal to construct fifteen commercial buildings with a combined gross floor area of ~~138,495~~ ~~144,315~~ 143,565 square feet on ~~14.19~~ ~~14.06~~ acres. The applicant envisions **7 office/warehouse and 8 retail buildings. Four of the retail buildings may include restaurants.** ~~7 to 9 office/warehouse buildings, 4 retail buildings, and 5 restaurants (including portions of retail buildings).~~ Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from ~~0.5 to 1.5~~ ~~0.35 to 2.21~~ **0.33 to 2.01** acres in size, providing individual lots for most of the proposed buildings.

**PROJECT LOCATION:** The site is located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road, approximately 3,500 feet northeasterly of the northerly end of Runway 18-36 at French Valley Airport.

**LAND USE PLAN:** 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

- a. Airport Influence Area: French Valley Airport
- b. Land Use Policy: Airport Compatibility Zones C, B1, and D
- c. Noise Levels: 55-60 CNEL from aircraft in westerly portion of site; easterly portion below 55 CNEL

**BACKGROUND:**

**Non-Residential Average Land Use Intensity:** Pursuant to the French Valley Airport Land Use Compatibility Plan (ALUCP), the site is located within Compatibility Zones C, B1, and D. At the time of the adoption of the 2011 Amendment, the site was listed as having a total area of 14.68 acres, including 11.74 acres in Zone C, 2.29 acres in Zone B1, and 0.65 acre in Zone D. The French Valley ALUCP permits 40 persons per acre in Zone B1, 80 persons per acre in Zone C, and 150 persons per acre in Zone D. Based on the above numbers, a total occupancy of 1,128 persons is permissible at this site.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included within the French Valley ALUCP, the following rates were used to calculate occupancy for the proposed buildings:

- Office – 1 person per 200 square feet (with 50% reduction),
- Manufacturing – 1 person per 200 square feet,

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- Warehousing – 1 person per 500 square feet
- Restaurant – 1 person per 15 square feet (dining area), 1 person per 200 square feet (commercial kitchen),
- Retail (may include sales of food) – 1 person per 115 square feet,
- Non-Food Retail (home improvement, furniture, cell phones, shoes, etc.) – 1 person per 170 square feet

The project proposes a total of ~~143,565~~ **144,315** ~~138,495~~ square feet of building area, which includes ~~40,281~~ **47,850** ~~42,340~~ square feet of retail area, 35,200 square feet of office area, 54,195 square feet of industrial/warehouse area, and ~~14,639~~ **7,265** ~~6,760~~ square feet of restaurant area. If the retail area is unrestricted in terms of type of goods sold and the restaurant area consisted entirely of dining area, the proposed buildings would accommodate ~~1,610~~ **1,185** ~~1,103~~ people. However, if we assume that the restaurants are split ~~60~~ **50** percent dining area and ~~40~~ **50** percent kitchen area, the restaurant occupancy is reduced from ~~976~~ ~~to 615~~ ~~484~~ ~~to 260~~ ~~451~~ ~~to 242~~ persons, reducing the total occupancy to ~~1,249~~ ~~961~~ **894** persons. This would be consistent on an overall basis. ~~within the realm of potential overall consistency if the applicant team were to incorporate risk reduction measures into the site design sufficient to obtain a 12 percent bonus.~~

On an overall basis, the intensity would also be considered consistent using the Parking Space Method. The project proposes 544 parking spaces. If we assume 1.5 persons per vehicle, this would translate into an overall occupancy of 816 persons, which would be clearly within the allowable range.

However, the applicant is also proposing a parcel map that would divide the property so as to establish separate lots for most of the buildings. Thus, each building would have to meet the intensity criteria for its individual lot. ~~Four~~ ~~The majority of the buildings, including two one with a restaurant, are at, or exceed, the upper limit of the numbers that the criteria would allow.~~

~~The applicant has redesigned the lot boundaries for the second time while maintaining the square footage of each building constant and adjusting the uses of the buildings in some cases. As such, staff has completely revised the building-by-building, lot-by-lot analyses included herein.~~

~~Building R1 is located within a lot listed on the spreadsheet provided by the applicant team as including 0.17 acre in Zone B1 and 0.65 acre in Zone C. The prorated person allowance, then, is 58 persons  $[(.17 \times 40) + (.65 \times 80)]$ . The spreadsheet indicates that 71% of the building would be devoted to non-food retail and 29% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,225 square foot building, this translates as 5,130 square feet of non-food retail, 1,257 square feet of restaurant seating area, and 838 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 119 persons—a little more than twice the allowable level for the lot. If this building were entirely allocated to non-food retail use, ALUC's formula would indicate an occupancy of 43, which would be consistent. If undifferentiated retail, the building would have an occupancy of 63 persons, which would still exceed the allowable level, but would be~~

~~within 10% of the allowable limit, such that the overage would be able to be addressed through risk-reduction design measures.~~

**Building R1 is located within a lot listed on the *final* revised spreadsheet provided by the applicant team as including 0.65 acre in Zone B1 and ~~0.24~~ 0.26 acre in Zone C. The prorated person allowance, then, is 45 47 persons  $[(0.65 \times 40) + (\del{0.24} \times 80) (0.26 \times 80)]$ . A 7,200 square foot building is proposed. The proposed use is non-food retail (rated at one person per 170 square feet), resulting in a total estimated occupancy of 42 persons, which would be consistent.**

~~Building R2 is located within a proposed 1.02-acre lot entirely in Zone C. Thus, the total occupancy allowance is 82 persons. A 7,000 square foot building is proposed. The spreadsheet indicates that 57% of the building would be allocated to non-food retail and 43% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,000 square foot building, this translates as 3,990 square feet of non-food retail, 1,806 square feet of restaurant seating area, and 1,204 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 149 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 167—a little more than twice the allowable level. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 61 persons. Adding the 18 persons in the queue would increase the total to 79, which would still be consistent.~~

**Building R2 is located within a proposed ~~1.5-acre~~ 1.54-acre lot consisting of ~~1.48~~ 1.52 acres in Zone C and 0.02 acre in Zone B1. The prorated person allowance, then, is ~~119~~ 122 persons. A ~~7,000~~ 5,400 square foot building is proposed. The *final* revised spreadsheet indicates that the building would be utilized as follows: ~~28.5%~~ 37% restaurant (at 50 percent seating area and 50 percent kitchen area) and ~~71.5%~~ 63% non-food *undifferentiated* retail. This translates as ~~5,000~~ 3,400 square feet of non-food *undifferentiated* retail, 1,000 square feet of restaurant dining area, and 1,000 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 101 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 119, which is right at the limit for this lot *would be consistent*.**

~~However, there is a concern that relates to the provision within the French Valley ALUCP allowing for use of the one person per 170 square foot criterion for non-food retail. The provision states that buildings including restaurants and food service facilities cannot use this level in their evaluation. The concept is that buildings that include restaurants or food sales are likely to draw a greater number of customers than buildings without such facilities. If we were to utilize the one person per 115 square foot standard for retail space in this building, it would raise the total building occupancy to 115 and the total site occupancy to 133.~~

~~It should be noted that this exceedance is within 12% of the allowable level, such that the overage could potentially be addressed through risk-reduction design measures. However, no such measures are presently specified. Alternatively, the applicant could reduce the size of the building by 1,600 square feet.~~

~~Building R3 is located within a proposed 0.7-acre lot entirely in Zone C. Thus, the total occupancy allowance is 56 persons. A 2,600 square foot restaurant is proposed, consisting of 1,560 square feet of seating area and 1,040 square feet of kitchen area (using the same 3:2 ratio of seating area to kitchen area), resulting in a total estimated building occupancy of 109 persons. The drive thru with an 8-car queue would add an additional 12 persons, raising the site total to 121—a little more than twice the allowable level.~~

**Building R3 was previously proposed for a freestanding restaurant on a 0.7-acre lot. The proposed use has changed, such that it would now be non-food retail. The lot size has been reduced to ~~0.35~~ 0.334 acre in Zone C, reducing the prorated person allowance to ~~28~~ 27 persons. A 2,600 square foot building is proposed. At a rate of one person per 170 square feet, the resulting total estimated building occupancy would be 15 persons. However, this number does not account for the occupancy within the drive-thru. The drive-thru with an 8-car queue would add an additional 12 persons, raising the site total to 27, which would be *right at the limit, but consistent*.**

~~The common problem is that restaurant seating area has a potential intensity of one person per 15 square feet. At that rate, one reaches a potential occupancy of 60 at 900 square feet, 80 at 1200 square feet, and 100 at 1500 square feet.~~

~~Buildings R4 and R5 share a 1.79-acre lot listed on the spreadsheet provided by the applicant team as including 1.58 acres in Zone C and 0.21 acre in Zone D. The prorated person allowance, then, is 157 persons  $[(1.58 \times 80) + (.21 \times 150)]$ . The spreadsheet indicates that 62% of the building area would be devoted to retail (including food retail) and 38% to restaurant use, of which seating area would account for 3/5 of the restaurant. With a combined floor area of 13,000 square feet, this translates as 8,060 square feet of undifferentiated retail, 2,964 square feet of restaurant seating area, and 1,976 square feet of restaurant kitchen area, resulting in a total occupancy of 278 persons. This exceeds allowable intensity levels. If the buildings were entirely undifferentiated retail, ALUC's formula would indicate an occupancy of 113 persons, which would be consistent.~~

**Buildings R4 and R5 share a ~~2.21-acre~~ 2.01-acre lot listed on the *final revised* spreadsheet provided by the applicant team as including ~~1.79~~ 1.59 acres in Zone C and 0.42 acre in Zone D. The potential person allowance, then, is ~~206~~ 190 persons  $[(1.79 \times 80) + (.42 \times 150)]$ . The revised spreadsheet indicates that 79% of the building would be devoted to food or undifferentiated retail and 21% to restaurant area (divided equally between seating and kitchen area). With a combined floor area of 13,000 square feet, this translates as 10,270 square feet of undifferentiated retail (at one person per 115 square feet), 1,365 square feet of restaurant seating area, and 1,365 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 187 persons, which would be consistent.**

~~Building S2 is located within a proposed 0.72-acre lot entirely in Zone C. Thus, the total occupancy allowance is 57 persons. The spreadsheet indicates that 70% of the building would be devoted to~~



~~non food retail and 30% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 6,670 square foot building, this translates as 4,669 square feet of non food retail, 1,201 square feet of restaurant seating area, and 800 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 112 persons—just less than twice the allowable level for the lot. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC’s formula would indicate a building occupancy of 58 persons, which would slightly exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk reduction design measures.~~

**Building S2 is located within a proposed 1.36-acre 1.33-acre lot entirely in Zone C. Thus, the total occupancy allowance is 109 106 persons. The *final revised* spreadsheet indicates that 65% of the building would be devoted to non-food *undifferentiated* retail and 35% to restaurant area (divided equally between seating and kitchen area). Within a 6,670 5,800 square foot building, this translates as 4,336 3,770 square feet of non-food *undifferentiated* retail, 1,168 1,015 square feet of restaurant seating area, and 1,167 1,015 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 109 106 persons, which is right at the limit for this lot.**

~~While there is no drive thru proposed here, there remains the second concern regarding the application of the one person per 170 square foot criterion, in that the building would also include restaurant area. If we were to consider the retail area as subject to the one person per 115 square foot criterion, this would raise the total estimated occupancy to 122 persons, which would be over the limit.~~

~~This exceedance is within 15% of the allowable level, such that the overage would be able to be addressed through risk reduction design measures. However, no such measures are presently specified. Alternatively, the applicant could reduce the size of the building by 670 square feet.~~

~~Building S1 is located within a lot listed on the spreadsheet provided by the applicant team as including 0.44 acre in Zone B1 and 0.53 acre in Zone C. The prorated person allowance, then, is 60 persons  $[(0.44 \times 40) + (.53 \times 80)]$ . The spreadsheet indicates that this building would be for retail use. ALUC’s formula would indicate a building occupancy of 73 persons within an 8,450 square foot building allocated to undifferentiated retail use. If limited to non food retail, the building would accommodate 50 persons pursuant to ALUC’s formula, which would be consistent. An examination of the floor plan for this building indicates that it is planned to consist of one 4,780 square foot suite and two 1,830 square foot suites. If the 4,790 square foot suite is limited to non food retail, while the two smaller suites are permitted undifferentiated retail use, with no restaurant dining or other assembly area, ALUC’s formula would indicate an occupancy of 60 persons, which would be consistent.~~

**Building S1 is located within a lot listed on the *final* revised spreadsheet provided by the applicant team as including 0.36 0.08 acre in Zone B1 and 0.44 0.34 acre in Zone C. The prorated person allowance, then, is 50 30 persons  $[(0.36 \times 40) + (0.44 \times 80)] [(0.08 \times 40) + (0.34$**

~~x 80)]. With a building size of 8,450 5,100 square feet, non-food retail uses for the entire building would be evaluated at a rate of one person per 170 square feet, resulting in a total occupancy of 50 30 persons, which is right at the limit.~~

~~Building M1 is located within a lot listed on the spreadsheet provided by the applicant team as 0.53 acres, but listed on the site plan as 0.7 acres. Provided that the latter is the correct figure, the total occupancy allowance is 56 persons. A 10,000 square foot retail building is proposed. Pursuant to ALUC's formula, undifferentiated retail use would result in a building occupancy of 87 persons, while limiting the use to non-food retail would reduce the occupancy to 59 persons, which would still exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk reduction design measures.~~

**Building M1 is located within a lot listed on the *final* revised spreadsheet provided by the applicant team as including 0.71 0.92 acre in Zone C and 0.05 0.33 acre in Zone B1. The prorated person allowance, then, is 59 87 persons  $[(0.05 \times 40) + (0.71 \times 80)]$ . With a building size of 10,000 square feet, non-food *undifferentiated* retail uses (for the entire building) would be evaluated at a rate of one person per 170 115 square feet, resulting in a total occupancy of 59 87 persons, which is right at the limit.**

~~Building B3 is located within a lot listed on the *final revised spreadsheet provided by the applicant team as including 0.92 acre in Zone B1 and 0.36 acre in Zone C. The prorated person allowance, then, is 66 persons  $[(0.92 \times 40) + (0.36 \times 80)]$ . proposed 1.27 acre 1.28-acre lot that is split between Compatibility Zones B1 and C. Most of the lot is located within Zone B1. If the site were entirely in Zone B1, the total occupancy allowance would be 50 51 persons. (The actual allowance is greater, since the remaining portion of the property is in Zone C.) A 13,917 square foot building is proposed, consisting of 2,600 square feet of office area and 11,317 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 36 persons, which would be consistent. In fact, the office/manufacturing area in this building could be increased to 7,000 square feet without exceeding the lot-by-lot intensity limits.*~~

~~Building B1 is located within a lot listed on the spreadsheet provided by the applicant team as including 1.52 acres in Zone C and 0.23 acre in Zone B1. The prorated person allowance, then, is 130 persons. A 22,925 square foot building is proposed, consisting of 12,800 square feet of office area and 10,125 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 85 persons, which would be consistent.~~

**Building B1 is located within a lot listed on the revised spreadsheet provided by the applicant team as including 1.43 acres in Zone C and 0.19 acre in Zone B1. The prorated person allowance, then, is 120 122 persons  $[(0.19 \times 40) + (1.43 \times 80)]$ . A 22,925 square foot building is proposed, consisting of 12,800 square feet of office area and 10,125 square feet of warehousing area. Pursuant to ALUC's formula, this would result in a building occupancy of 85 persons, which would be consistent.**

Buildings B2, B4, B5, B6, and B7 are each located in Compatibility Zone C and are consistent on a lot-by-lot basis. These lots would allow occupancies of 98, 72, 48, 56, and 46, ~~75, 83, 34, 43, and 48, 81, 75, 39, 41, and 45 persons~~, respectively, while ALUC's formula indicates that the buildings, as proposed, would accommodate 41, 34, 26, 33, and 31 persons, respectively. ~~In each case, the buildings~~ **Buildings B2 and B4** could be used entirely as offices and/or manufacturing without exceeding the lot-by-lot average intensity limitations. ***However, uses in Building B2 must be limited to the extent that portions of that building contribute to single-acre intensities within single-acre areas that include portions of Buildings M1 and S2.***

~~In summary, lot by lot average intensities are at the maximum intensity limit or exceed allowable levels on seven four of the fifteen lots (8 buildings).~~

Non-Residential Single-Acre Land Use Intensity: Pursuant to the French Valley ALUCP, single-acre intensities are limited to 80 persons in any given acre area within Zone B1, 160 within Zone C, and 450 in Zone D. While average intensity considers the intensity in comparison to the overall acreage of a project site or of a specific parcel, single-acre intensity is measured by determining how many people would be present within any given 210-foot-by-210-foot area within a site. So this is affected not simply by the occupancy of any individual building, but also by the distance between buildings and building orientation.

~~For example, as noted above, Building R1 is not consistent as proposed on a lot by lot basis because its intensity, at 119 persons, exceeds the allowable intensity for a lot in Zone C or Zone B1. However, because there are no other buildings located partially within the single acre area that includes all of Building R1, the intensity of that single acre area, at 119, would be consistent with the allowable single-acre intensity if it were entirely within Zone C.~~

~~Farther east in the row of buildings fronting on Benton Road, the single-acre intensities climb, with intensities as high as 272 persons in the single-acre area that includes all of Building R3, and 4500 square feet of Building R2, and their associated drive-through lanes. Other single-acre intensities in the first row range from 230 to 270 persons.~~

~~Single-acre intensities in the second row in the vicinity of Buildings M1 and S2 range as high as 211 if M1 is developed as undifferentiated retail use (183 if limited to non food retail).~~

~~**All single-acre intensities are consistent, provided that building usage occurs in accordance with the applicant team's most recent proposal.**~~

***Following the distribution of the April staff reports, the applicant team agreed to reduce the sizes of Buildings R2 and S2; however, the applicant team clarified that Building M1 was intended to be sold or leased to a retail firm whose stores would sell food and, therefore, be subject to the requirement for Environmental Health inspections. As a result, Building M1 would have to be evaluated on the basis of one person per 115 square feet, rather than one person per 170 square feet. The lot-by-lot intensity was addressed by adjusting the size of the proposed lots on the parcel***

*map, but this change raised single-acre intensity concerns. Staff identified two overlapping single-acre areas that would (or could) exceed the Zone C single-acre intensity limit of 160 persons: a single-acre area with its southwest corner at the southwest corner of Building M1 and a single-acre area with its southeast corner at the southeast corner of Building S2. One of these single-acre areas includes all of Building M1, most of Building S2, and portions of Buildings B2 and B1. The other includes all of Building S2, most of Building M1, and a portion of Building B2. Staff's initial review indicated that the intensity of the latter area could be as high as 193 if the portion of Building B2 consisted of office area. In response, the applicant team revised the floor plan for this building, changing it from a multi-suite building with multiple entry points to one with a single entry and limiting the southerly 34 feet of the westerly 122 feet to warehousing use. This brought the overall single-acre intensity down to 180, 12.5% above the Zone C intensity limit of 160 persons.*

*The Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan allow for a bonus of up to 30 percent for projects that incorporate risk-reduction design measures. The applicant team proposes to incorporate three such measures into Buildings B2, M1, and S2 (use of single-story construction, use of concrete walls, and prohibition of skylights) in order to obtain a 12.5% bonus.*

*Even with such a bonus, the single-acre intensity would remain within the allowances recommended for the Inner Turning Zone and Outer Approach/Departure Zones of suburban airports in the current edition of the Airport Land Use Planning Handbook prepared by the CALTRANS Division of Aeronautics.*

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zones B1, C, and D.

Noise: The French Valley ALUCP depicts the westerly portion of the site as being in an area within the 55-60 CNEL range from aircraft noise. As a primarily industrial and commercial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the industrial and commercial areas would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the proposed buildings.

Part 77: The elevation of Runway 18-36 at its northerly terminus is 1,347 feet above mean sea level (1,347 feet AMSL). At a distance of approximately 3,500 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,382 feet AMSL. The finished floor elevation for the site ranges from 1,348 feet to 1,358 feet AMSL. With a maximum building height of 23 feet, the top point elevation would be 1,381 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service was not required. A condition has been included limiting building heights to 23 feet and top point elevation to 1,381 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" is issued for a higher top point elevation. The application form had indicated a building height of 22 feet, 8 inches, but this was only true for two of the buildings. The

**maximum height is actually 29 feet (Building M1), and the top point elevation as derived by adding the finished floor elevations from the parcel map engineer to the building heights from the architectural elevations was 1,384 feet above mean sea level at Buildings R5, B6, and B7. The applicant team has since amended the building heights as necessary to provide for top point elevations not to exceed 1,382 feet above mean sea level, and acknowledges that, should that number be exceeded, a “Determination of No Hazard to Air Navigation” letter will be required for any building whose top point elevation exceeds the runway elevation by more than one foot for every 100 feet of distance from the northerly end of the runway at French Valley Airport.**

Open Area: Compatibility Zone B1 requires 30% open area, Compatibility Zone C requires 20% open area, and Compatibility Zone D requires 10% open area. For the site as a whole, this translates as 3.1 acres of required open area. The applicant team has **provided an exhibit that specifically delineates 3.1 acres of open area.** ~~not specifically delineated open areas on the site plan. There is a possibility that parking areas, if left unobstructed, could provide the necessary open area, but the County’s parking lot shading requirements may not allow for the unobstructed area needed.~~

#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, places of worship, critical community infrastructure facilities, aboveground bulk storage of more than 6,000 gallons of hazardous or flammable materials, highly noise sensitive outdoor nonresidential uses, and hazards to flight.
3. The attached notice shall be provided to all prospective purchasers of the proposed parcels and tenants or lessees of the buildings.
  4. Prior to recordation of a final map or issuance of building permits, whichever comes first, the landowner shall convey an avigation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency – Aviation Division at (951) 955-9722 for additional information.
  5. 4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees around the basin(s) shall not form a contiguous canopy and shall not produce seeds, fruit, or berries.
  - 6.5. Buildings shall be limited to a ~~maximum height of 23 feet and~~ a maximum top point elevation of ~~1,382~~ <sup>1,381</sup> feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service **for any building whose top point elevation exceeds the runway elevation by more than one foot for every 100 feet of distance from the northerly end of the runway at French Valley Airport.**
  - 7.6. Noise attenuation measures shall be incorporated into the design of the office areas of the proposed buildings, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
  8. **Buildings R1, R3, M1, and S1 1, 6, and 7 authorized for retail and office uses shall not include any restaurants or food service facilities (establishments that are subject to retail food service inspections by the Department of Environmental Health, such as grocery stores, ice cream, yogurt, coffee, and snack sales establishments).**
  9. ~~The size of Building R2 shall be reduced from 7,000 to 5,400 square feet.~~ Retail and restaurant establishments are permissible in Building ~~2,~~ R2, but the seating area/dining

area within all restaurants within the building shall be limited to a maximum of ~~1,000~~ **1,253** square feet.

10. ~~Building 3 is envisioned as a restaurant, but the seating area/dining area shall not exceed a maximum of 1,300 square feet and shall not be located within the westerly 35 feet of the building. Building R5 is~~ **Buildings R5 and M1 are authorized for any type of retail (non-dining) or office uses not otherwise prohibited by these conditions.**
11. Retail and restaurant uses are permissible within ~~Building R4~~ **Buildings 4 and 5**, but the seating area/dining area shall not exceed a ~~combined~~ maximum of ~~1,625~~ **1,365** square feet ~~and shall not be located within the westerly 28 feet of Building 4.~~
12. ~~The size of Building S2 shall be reduced from 6,670 to 6,000 square feet. Retail and restaurant establishments are permissible in Building S2, 8, but the seating area/dining area within all restaurants in the building shall be limited to a maximum of 1,050~~ **1,168** 1,015 square feet, ~~and if any restaurant(s) are included in the building, no other food service establishments shall be included therein. Additionally, any restaurant dining area/seating area shall be limited to the easterly 2,030 square foot suite as shown on Exhibit A5.2 and shall not include any portion of the northerly 25 feet of the westerly 10 feet thereof.~~ ~~not be located within the westerly 75 feet of the building.~~
13. Office and warehousing uses are permissible in Buildings ~~B5 and B6, 9 and 14~~, but the proportion of *each* of these buildings utilized as office space shall not exceed 40 percent.
14. Office and warehousing uses are permissible in Building ~~B7, 10~~, but the proportion of this building utilized as office space shall not exceed 35 percent.
15. Office and warehousing uses are permissible in Buildings ~~B1 and B3, 11 and 15~~, but the proportion of *each* of these buildings utilized as office space shall not exceed 50 percent.
16. Office and warehousing uses are permissible in Building ~~B2, 12~~, but the proportion of this building utilized as office space shall not exceed 15 percent, and no portion of the westerly 124 feet of the southerly 34 feet of this building shall be utilized as office space or for any use other than warehousing.
17. A minimum of 3.1 acres of ALUC-qualifying open area shall be provided on the project site, as shown on the exhibit entitled "ALUC Exhibit – Open Space." No trees, poles, fencing, or trash enclosures, or any other permanent items greater than four feet in height and four inches in diameter shall be placed within these areas.
18. Buildings M1, S2, and B2 shall be single-story buildings with exterior walls constructed of concrete, concrete masonry, or concrete tilt-up materials and no skylights.

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## Guerin, John

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**From:** Erin Jackson <erin@ejrgroup.com>  
**Sent:** Tuesday, April 17, 2018 3:23 PM  
**To:** Guerin, John  
**Cc:** Rob Mann; Jim Roachelle  
**Subject:** Re: French Valley Commons - 1 Acre Square Updates  
**Attachments:** ALUC A0.1 EXHIBIT - 1 AC SQ.pdf; 25 - S1 Floor Plans.pdf; 31 - B1 Floor Plans.pdf; 32 - B2 Floor Plans.pdf

John,

Please find the attached PDFs of; 1 Acre Square Exhibit, B1, B2, and S2 Floor Plans for your review. Also below is our response to your most recent concerns.

With regard to the easterly square, the calculation of 180 is contingent on the limitation of the westerly 123 feet of the southerly 34 feet of the B2 building to warehouse uses only. While we can recommend such a condition, the layout for the building on this lot and the parking layout indicate a multi-suite building with entrances on the south side of the building. Generally, office/warehouse suites do not have their public entrances on the warehouse side. If we assume that this is an office area, the B2 contribution increases from 8 to 21 persons, resulting in a square total of 193. How do you see this working? Are you reconsidering your design concept for this building/lot?

Response: B2 Office is located in the southeast corner of the floor plan and the left southerly entrance is exit only. With these two changes, we should still be at the 8 person count and within the 180 max.

Note: If you drop the westerly 72 feet of the southerly 34 feet of B2 (2448 square feet), the remaining 1666 square feet of the building in the square could be offices without exceeding the 180.

With regard to the westerly square, first I would change "non-food retail" to "undifferentiated retail," which allows for grocery sales, since your calculation for Building S2 is already at the 1 per 115 level (no need to bring up the discussion of the basis of the Compatibility Plan policy at this stage if not essential). Also, in regard to S2, we will be restricting the dining area to 50 percent of the easterly suite. However, I believe the Commission would balk at any attempt to further limit the 10 westerly feet of the restaurant suite to being not more than 50% dining area in the absence of a floor plan that clearly delineated the kitchen area and the dining area. Therefore, from the point of view of evaluating the single-acre intensity, we need to use the worst-case scenario and assume that the 10 westerly feet of the restaurant area is the dining area. (Also,  $3770 + 483 = 4253$ , not 4283.) If we assume 37 persons in the dining area, this raises the partial S2 count from 50 to 70. Also, without specific floor plans for B1, I would assume office use, which would raise an additional 4 people. This brings the total up from 145 to 169, but still below the easterly square total of 180.

Response: We will update the matrix to read "undifferentiated retail". S2 Floor Plan now shows the 50/50 dining/kitchen. We have added the 1-acre square outline to the plan for clarification. As you see the seating area is proposed to be outside of the left 1-acre square.

On Tue, Apr 17, 2018 at 1:07 PM, Guerin, John <JGUERIN@rivco.org> wrote:

With regard to the easterly square, the calculation of 180 is contingent on the limitation of the westerly 123 feet of the southerly 34 feet of the B2 building to warehouse uses only. While we can recommend such a condition, the layout for

the building on this lot and the parking layout indicate a multi-suite building with entrances on the south side of the building. Generally, office/warehouse suites do not have their public entrances on the warehouse side. If we assume that this is office area, the B2 contribution increases from 8 to 21 persons, resulting in a square total of 193. How do you see this working? Are you reconsidering your design concept for this building/lot?

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**From:** Erin Jackson [mailto:[erin@ejrgroup.com](mailto:erin@ejrgroup.com)]

**Sent:** Monday, April 16, 2018 4:47 PM

**To:** Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)>; Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Jim Roachelle <[jim@ejrgroup.com](mailto:jim@ejrgroup.com)>

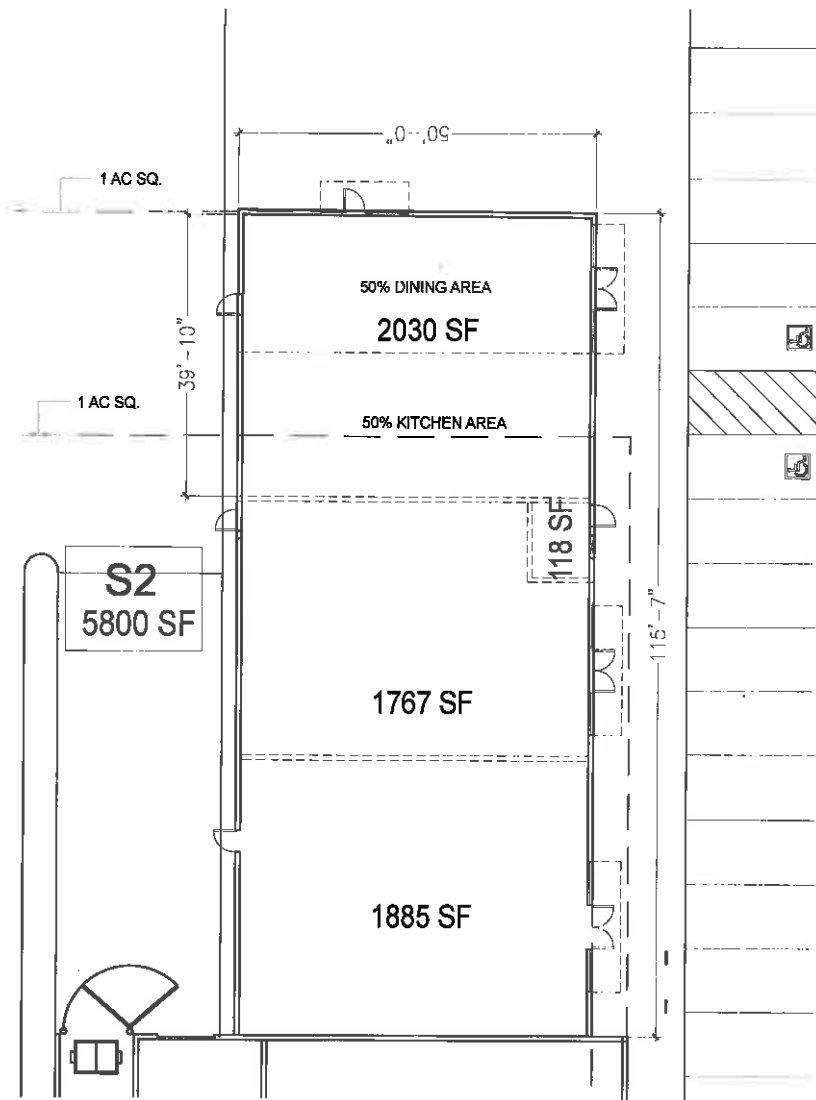
**Subject:** French Valley Commons - 1 Acre Square Updates

John.

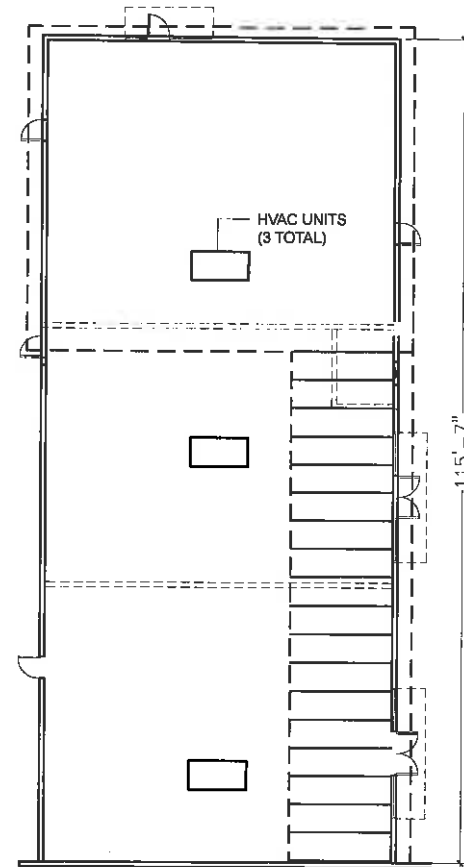
Please find our calculations on the 1 Acre Squares at M1, S2, B1, and B2 buildings for your review.

Please let us know if this solution addresses your concerns, at your earliest convenience.

Thanks,



**A** FLOOR PLAN



**B** ROOF PLAN

- NOTES:
- MULTIPLE TENANTS:  
35% FOOD (2,030 SF MAX)  
65% NON-FOOD/RETAIL (3,700 SF MAX)
  - SEE SHEET A1.0 FOR ALL PARKING INFORMATION



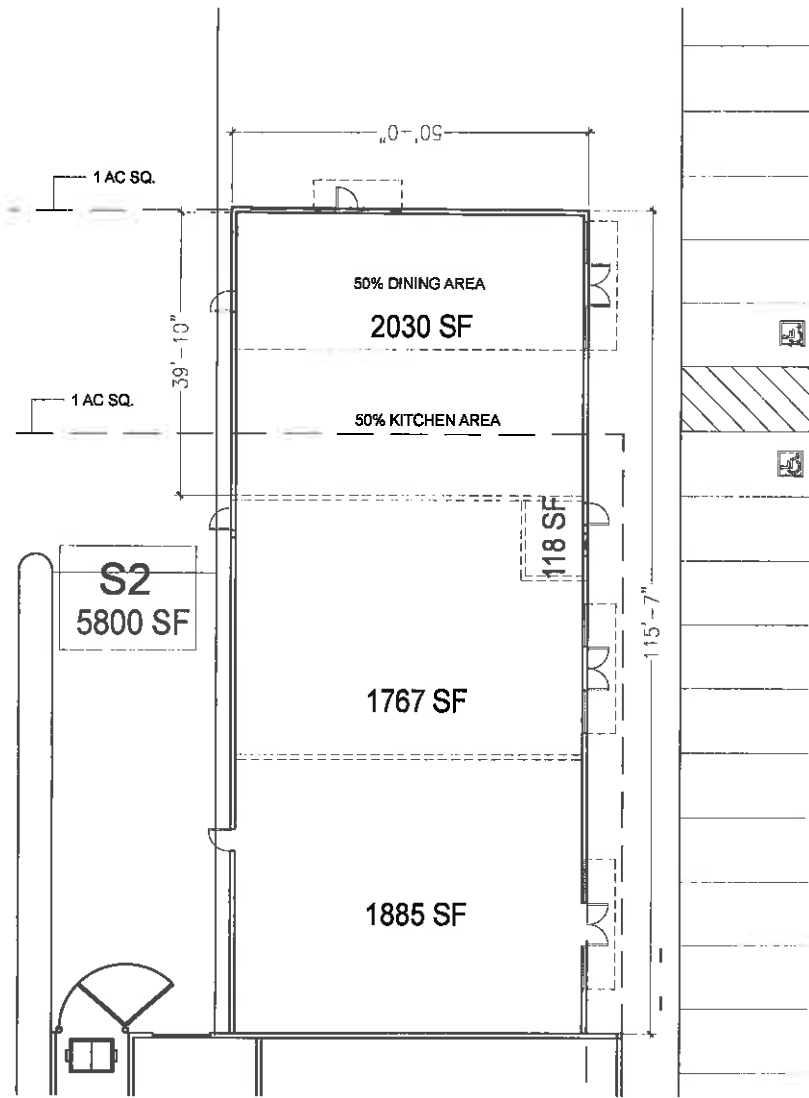
**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
S2 BUILDING FLOOR AND ROOF PLANS



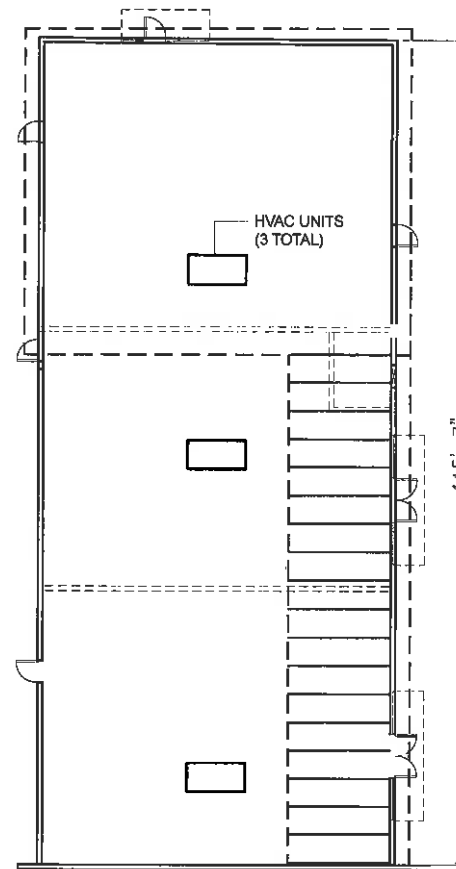
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

**DWG: 26**  
OF 36  
DATE: March 27, 2018  
SCALE: 1/8" = 1'-0"

**A5.2**



[A] FLOOR PLAN



[B] ROOF PLAN

- NOTES:
- MULTIPLE TENANTS:  
35% FOOD (2,030 SF MAX)  
65% NON-FOOD/RETAIL (3,700 SF MAX)
  - SEE SHEET A1.0 FOR ALL PARKING INFORMATION



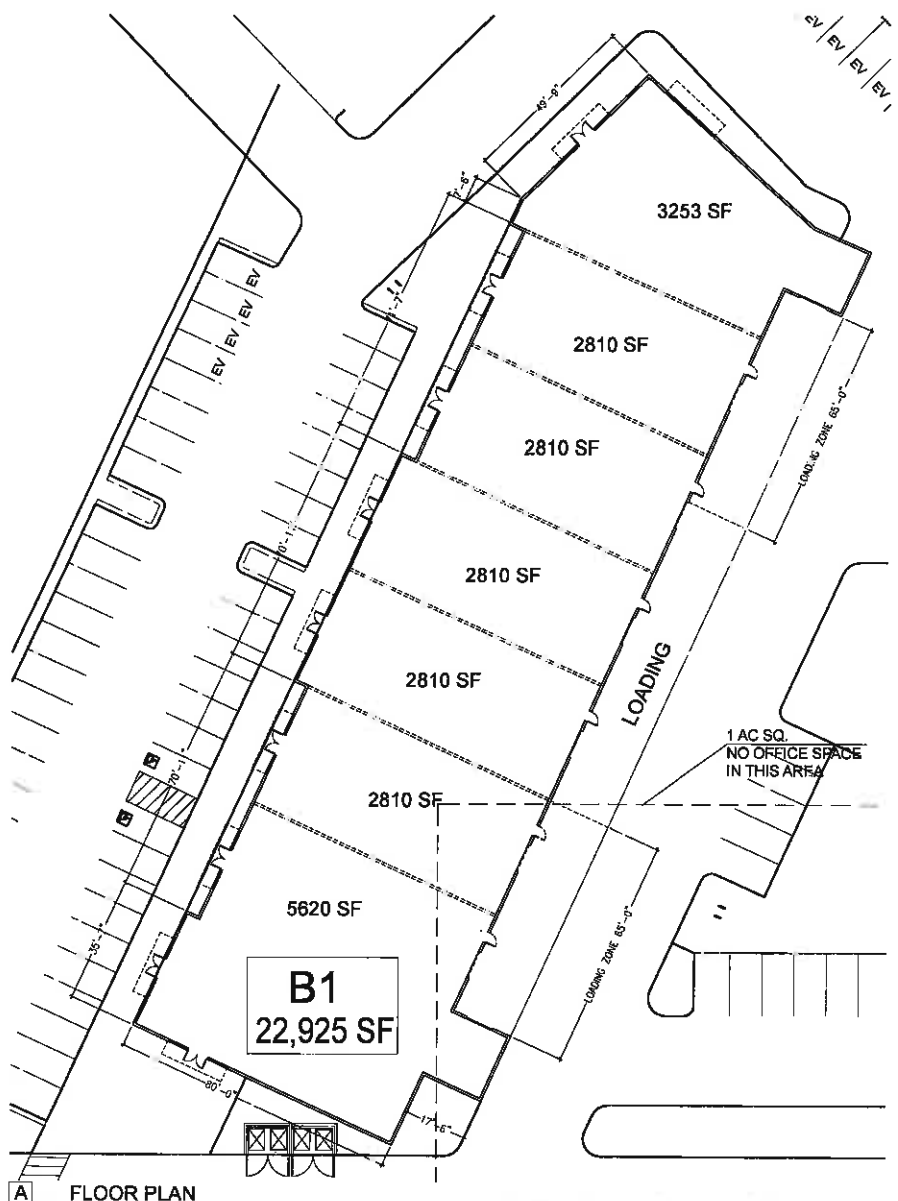
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
S2 BUILDING FLOOR AND ROOF PLANS



W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

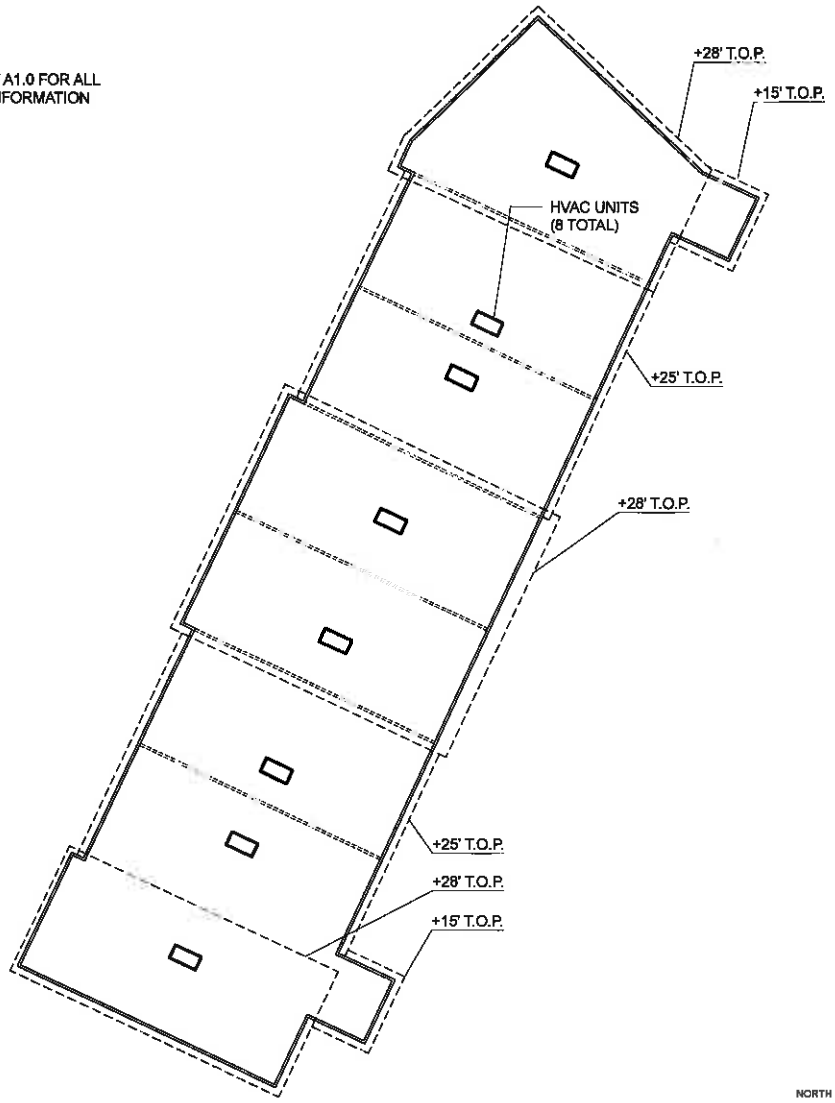
**DWG:** 26  
OF 36  
DATE: March 27, 2015  
SCALE: 1/8" = 1'-0"

**A5.2**



A FLOOR PLAN

NOTES:  
1. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



B ROOF PLAN



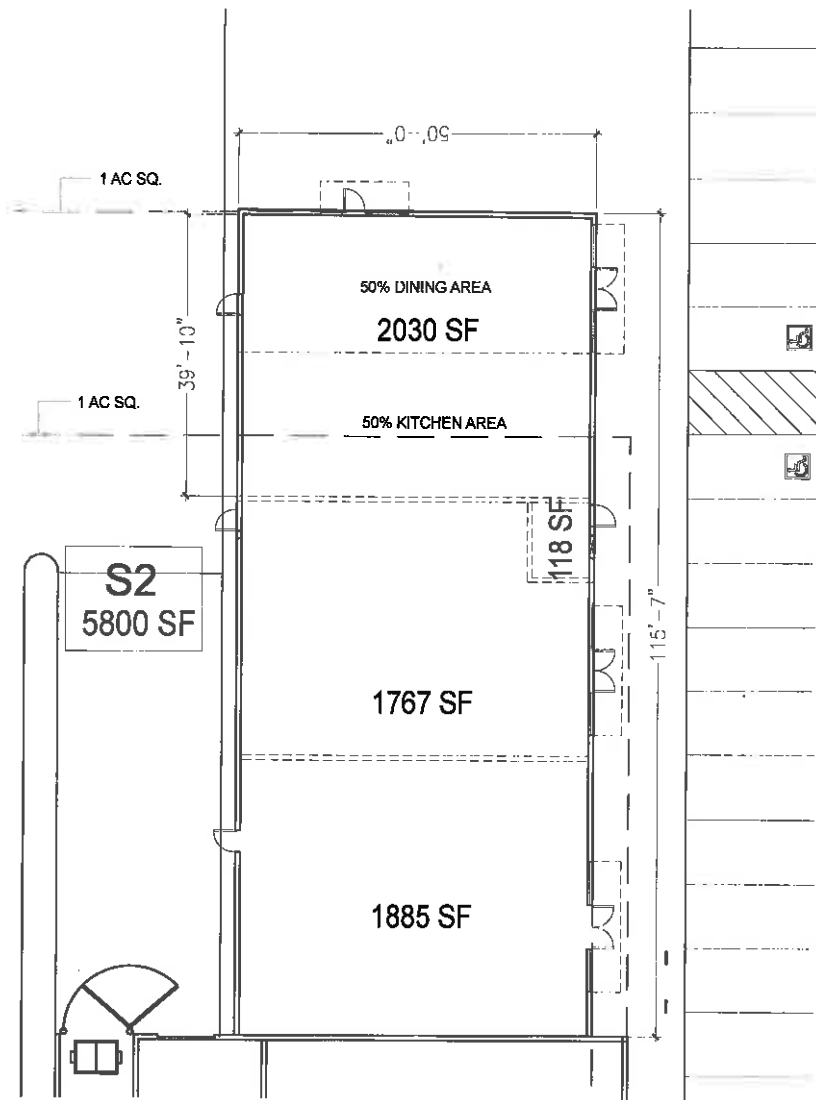
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
B1 BUILDING FLOOR AND ROOF PLANS



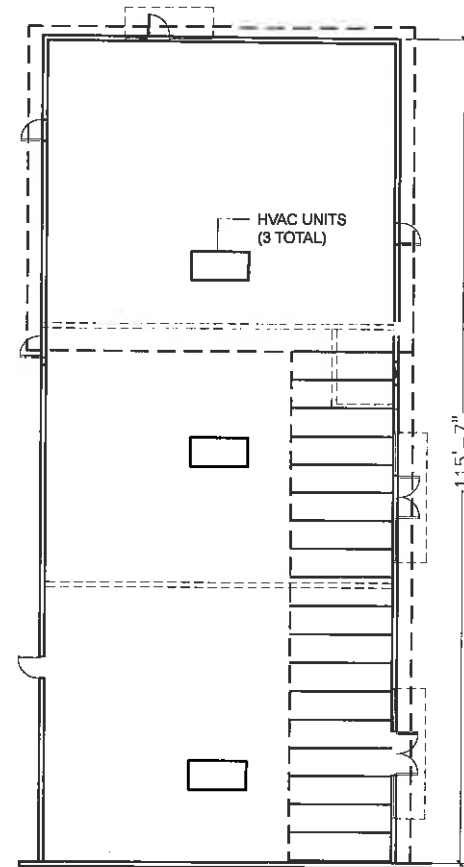
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 31 OF 36  
DATE: March 27, 2018  
SCALE: 1/16" = 1'-0"

A5.7



**A** FLOOR PLAN



**B** ROOF PLAN

- NOTES:
- MULTIPLE TENANTS:  
35% FOOD (2,030 SF MAX)  
65% NON-FOOD/RETAIL (3,700 SF MAX)
  - SEE SHEET A1.0 FOR ALL PARKING INFORMATION



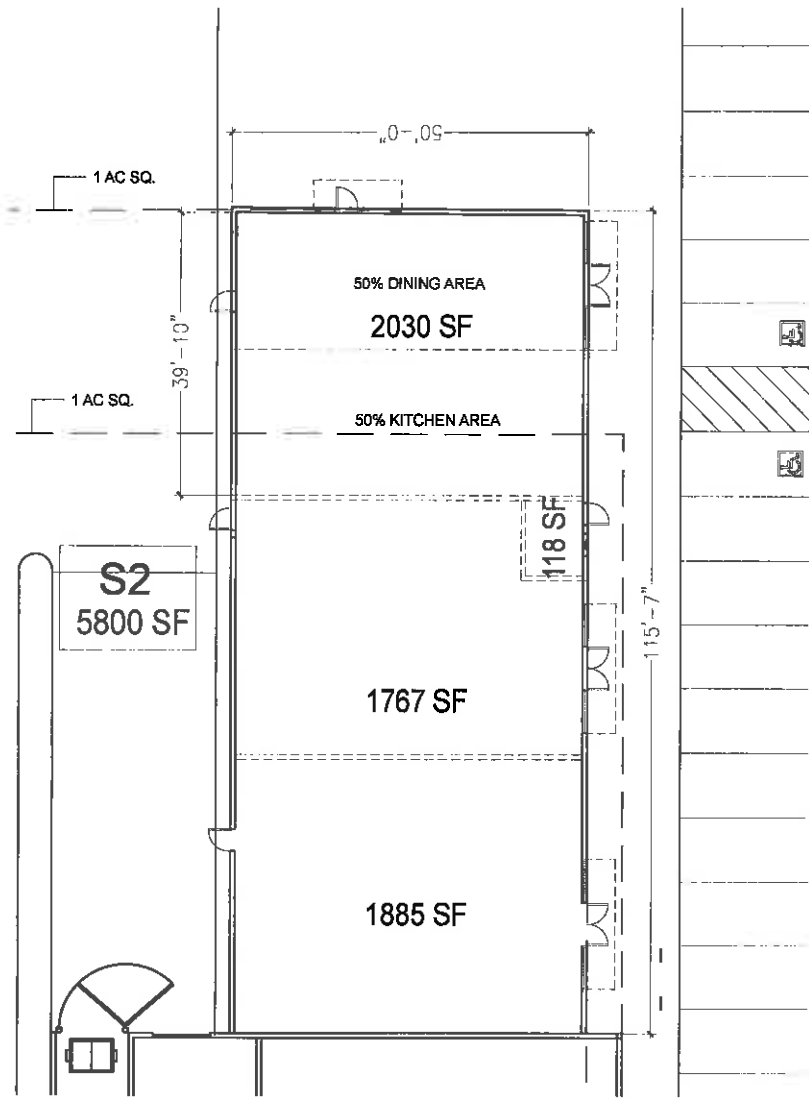
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
S2 BUILDING FLOOR AND ROOF PLANS



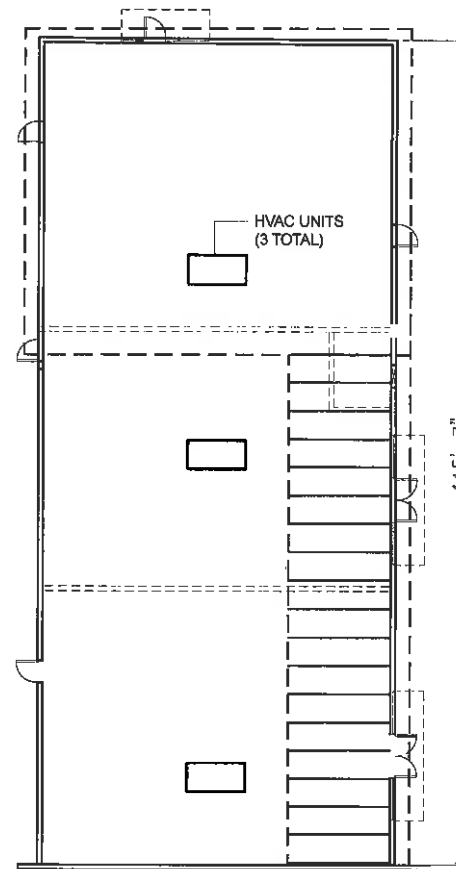
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 26**  
OF 36  
DATE: March 27, 2018  
SCALE: 1/8" = 1'-0"

**A5.2**



[A] FLOOR PLAN



[B] ROOF PLAN

- NOTES:
- MULTIPLE TENANTS:  
35% FOOD (2,030 SF MAX)  
65% NON-FOOD/RETAIL (3,700 SF MAX)
  - SEE SHEET A1.0 FOR ALL PARKING INFORMATION



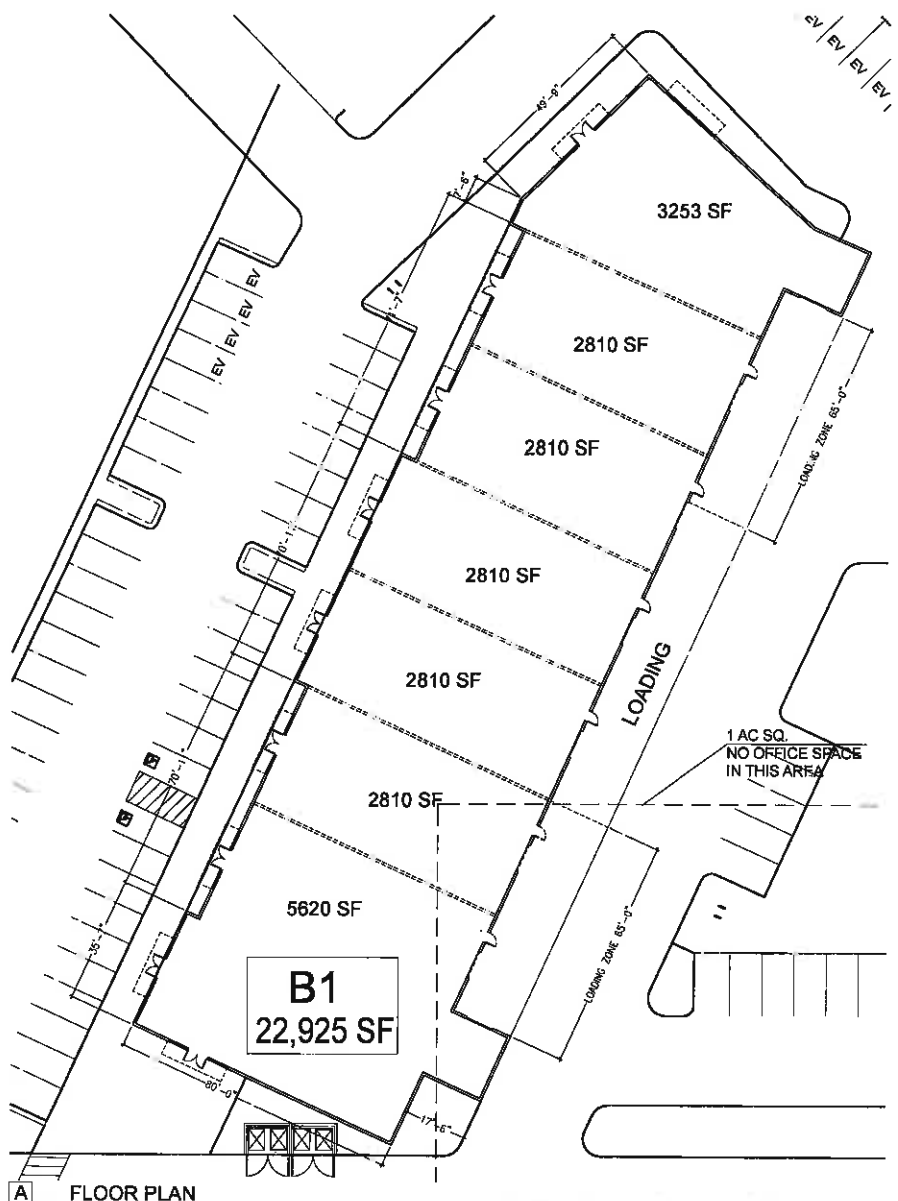
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
 S2 BUILDING FLOOR AND ROOF PLANS



W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

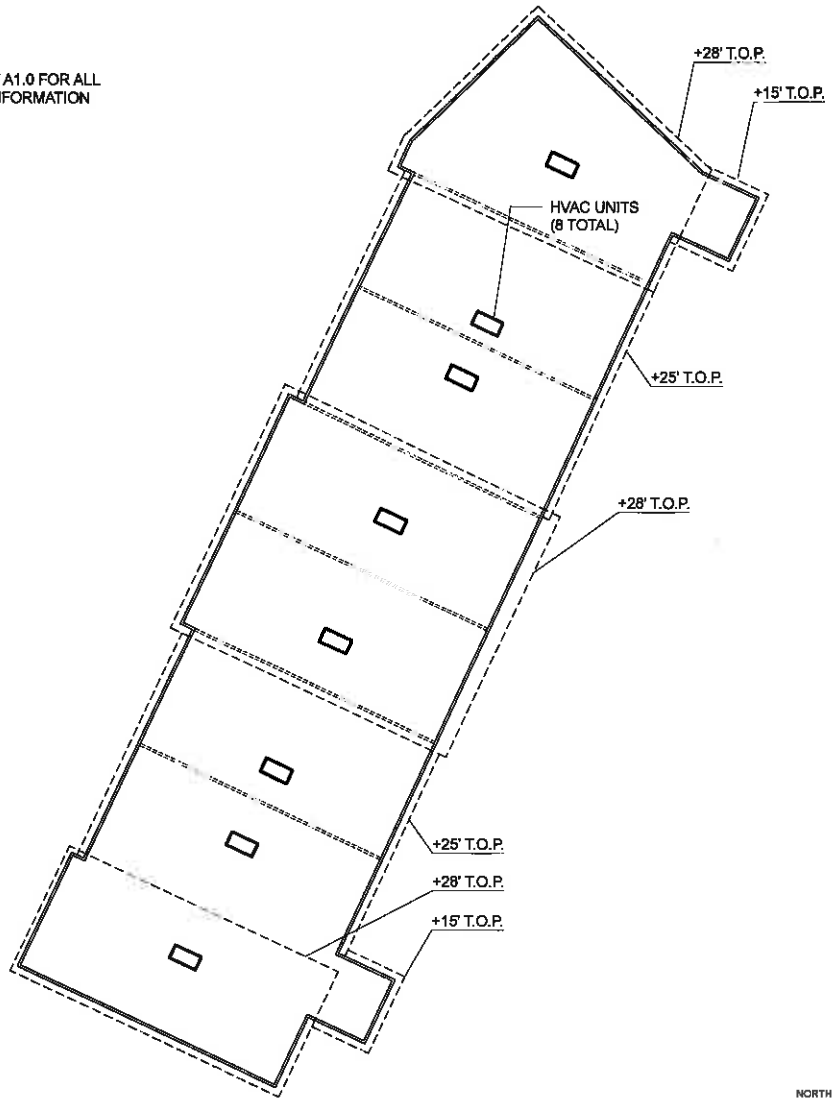
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 OF 36  
 DATE: March 27, 2015  
 SCALE: 1/8" = 1'-0"

**A5.2**



**A** FLOOR PLAN

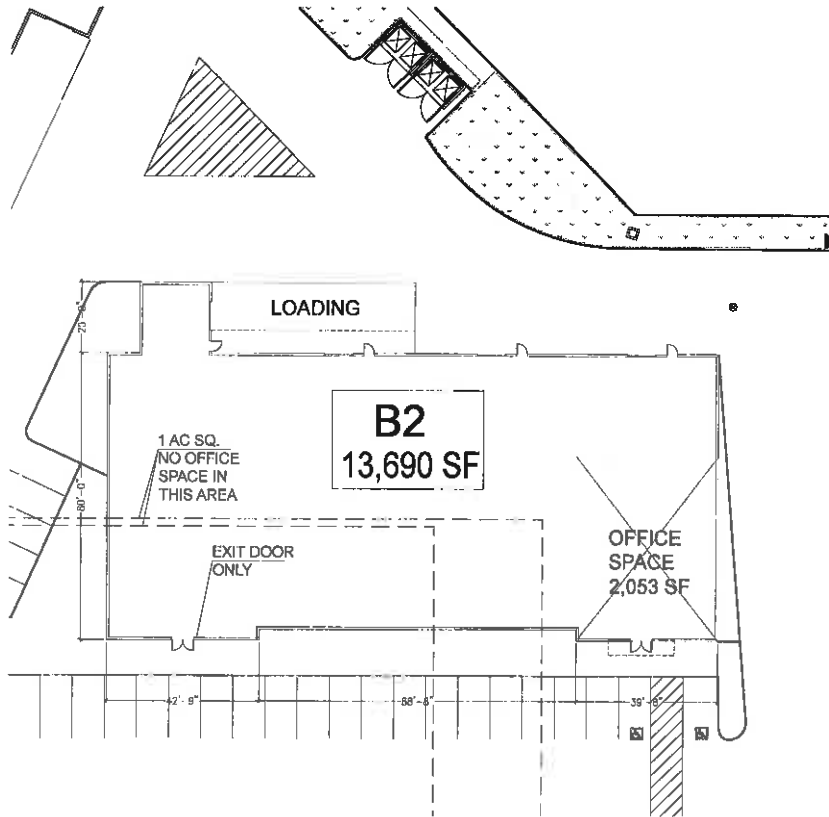
NOTES:  
 1. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



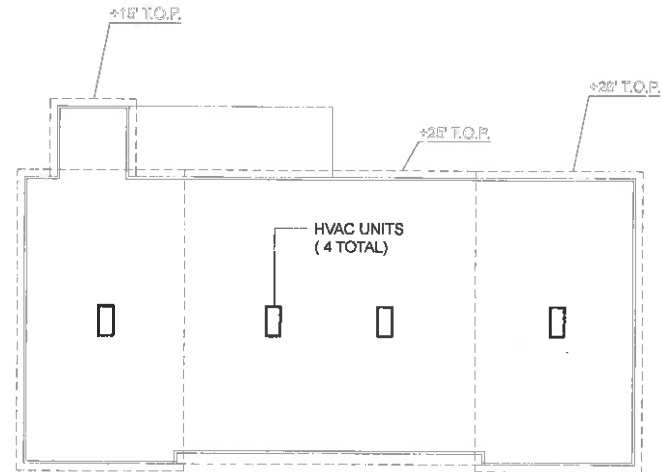
**B** ROOF PLAN







NOTES:  
1. SEE SHEET A1.0 FOR ALL  
PARKING INFORMATION



**A** FLOOR PLAN

**B** ROOF PLAN

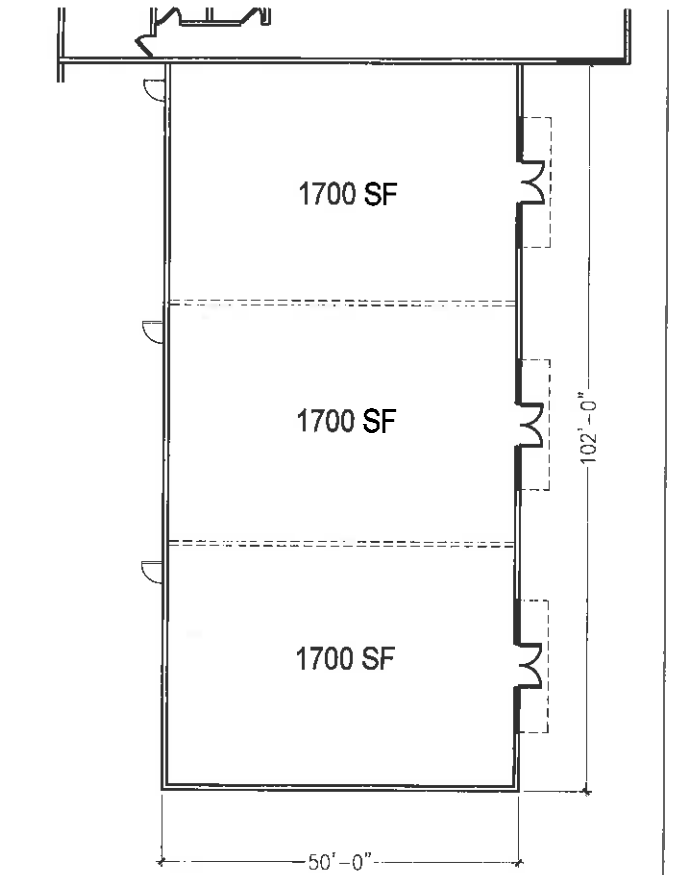
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
B2 BUILDING FLOOR AND ROOF PLANS



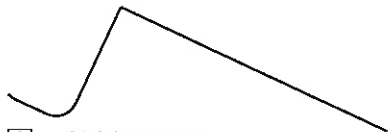
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

**DWG: 32**  
OF 36  
DATE: March 27, 2018  
SCALE: 1/16" = 1'-0"

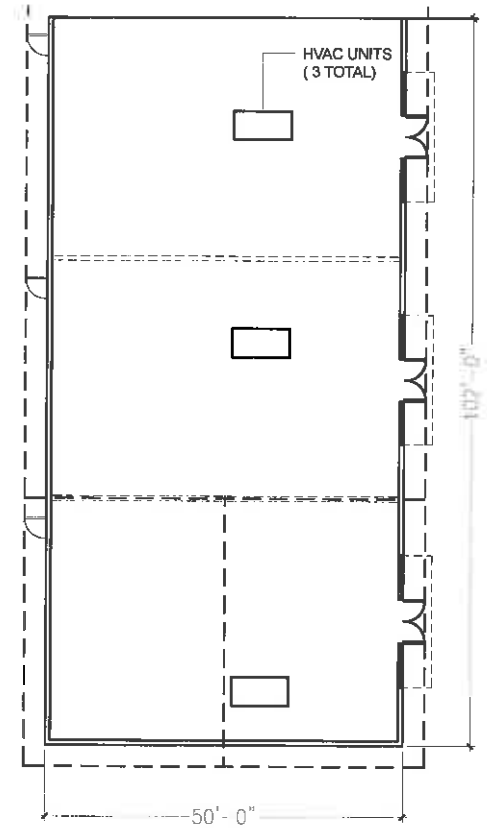
**A5.8**



**S1**  
5100 SF



[A] FLOOR PLAN



[B] ROOF PLAN

- NOTES:
1. MULTIPLE TENANT - NON FOOD/ RETAIL
  2. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



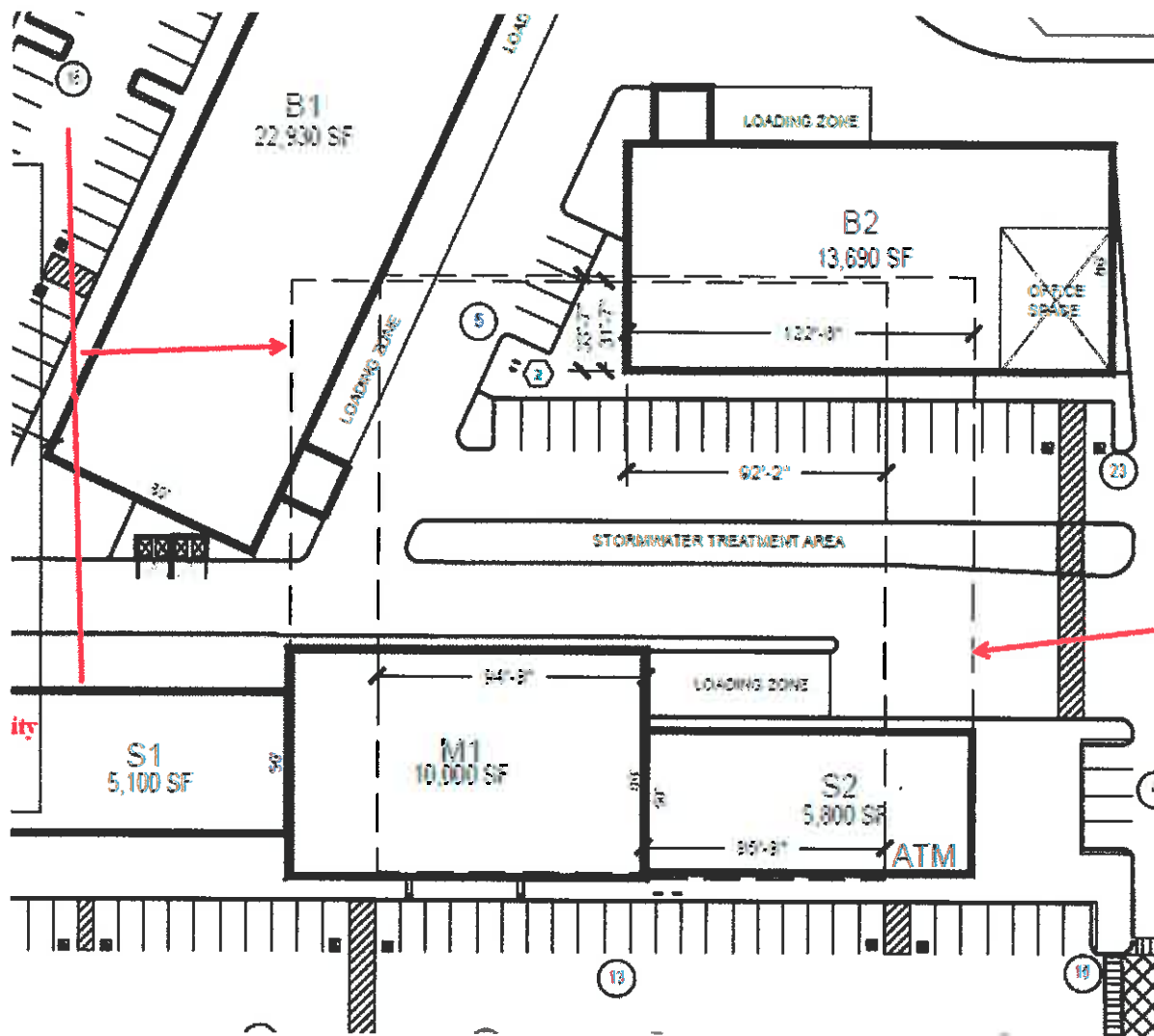
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
S1 BUILDING FLOOR AND ROOF PLANS



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 25** OF 38  
DATE: March 27, 2018  
SCALE: 1/8" = 1'-0"

**A5.1**



**M1 - 87 people**

**S2 - 4,283 SF**

3,770 SF non-food retail = 33 people

483 SF restaurant (50:50 kitchen and seating) = 17 people

**S2 total - 50 people**

**B1 - 1,100 SF (warehouse 1/500 SF) = 2 people**

**B2 - 2,911 SF (warehouse 1/500 SF) = 6 people**

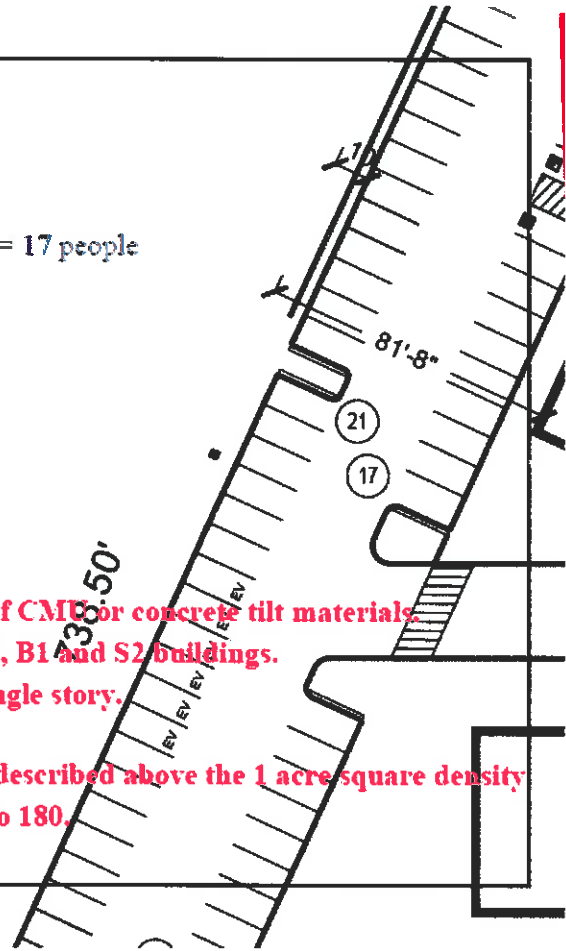
**Total - 87 + 50 + 2 + 6 = 145 people**

**Walls:** We will construct the exterior walls out of CMU or concrete tilt materials.

**Skylights:** We will eliminate skylights on the M1, B1 and S2 buildings.

**Single Store Buildings:** All 3 buildings will be single story.

**\*Note:** By constructing these three buildings as described above the 1 acre square density will increase to maximum occupancy from 160 to 180.



**S2 - 106 people**

**M1 - 7,573.33 SF = 66 people**

**B2 - 4114 SF = 8 people (warehouse 1/500 SF)**

**Total - 106 + 66 + 8 = 180 people**

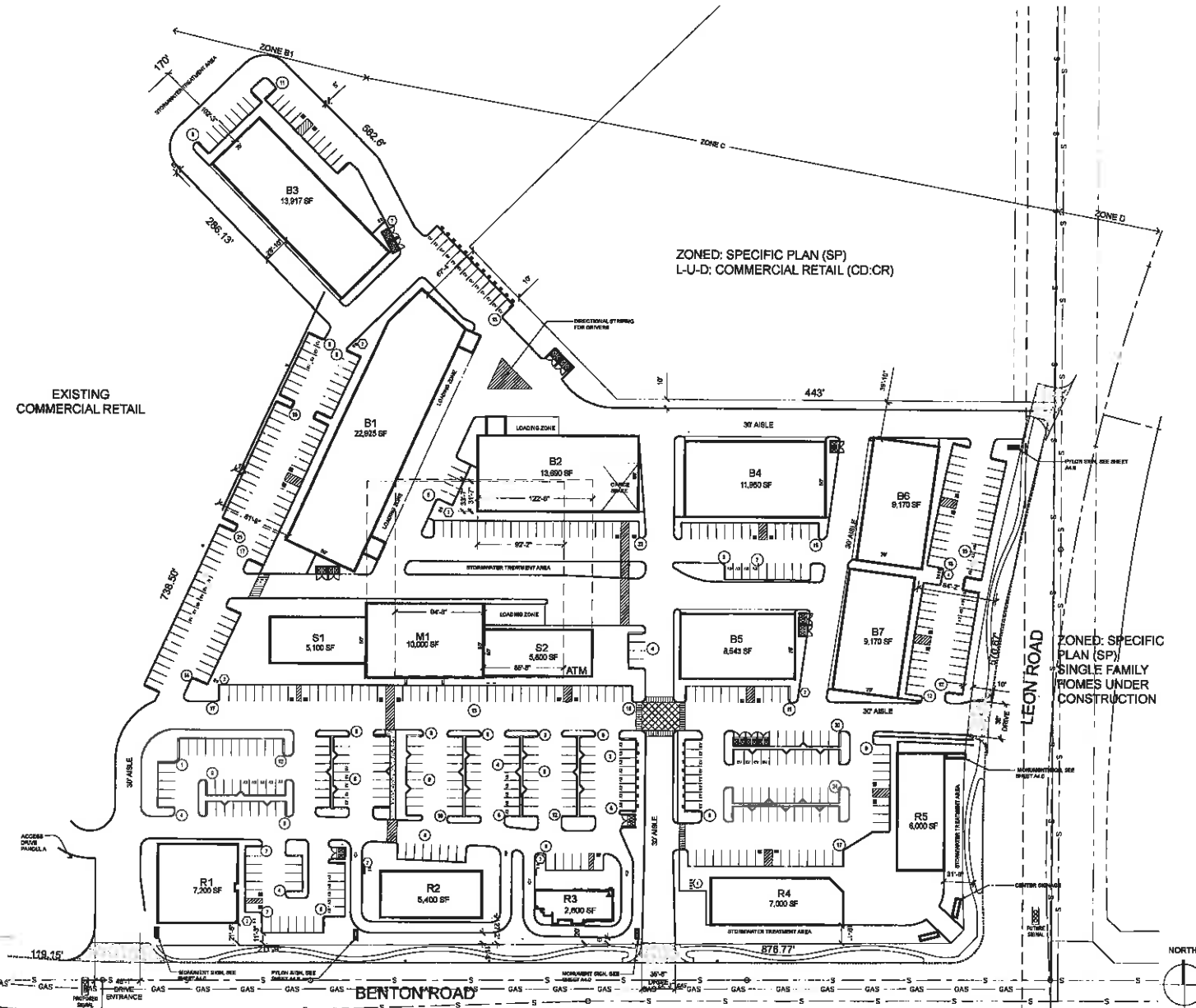
**These construction upgrades will be used;**

**Walls: We will construct the exterior walls out of CMU or concrete tilt materials.**

**Skylights: We will eliminate skylights on the M1, B1 and S2 buildings.**

**Single Store Buildings: All 3 buildings will be single story.**

**\*Note: By constructing these three buildings as described above the 1 acre square density will increase to maximum occupancy from 160 to 180.**



**FRENCH VALLEY COMMONS**  
ALUC EXHIBIT - 1 ACRE SQUARE

FRENCH VALLEY, CALIFORNIA



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 02**  
OF 36  
DATE: March 27, 2018  
SCALE: 1"=50'-0"

**A0.1**

Analysis - Per Parcel at the Maximum per Acre

Category	Parcel # / Building #	Parcel Size (Ac.)	Building SF	Total Occupants	Ac. Zone B1	Allowable Occupancy - Zone B1	Ac. Zone C	Allowable Occupancy - Zone C	Ac. Zone D	Allowable Occupancy - Zone D	Total Allowable Occupancy
4	1 - R1	0.909	7200	42	0.65	26	0.26	21	0	0	47
1	2 - R2 - 37% Restaurant / 63% Non-Food Retail	1.541	5400	119	0.024	1	1.517	121	0	0	122
4	3 - R3	0.334	2600	27	0	0	0.334	27	0	0	27
6	4 - R4 & R5 - 21% Restaurant/79% Food Retail	2.010	13000	187	0	0	1.592	127	0.418	63	190
3	10 - B1	1.625	22925	73	0.192	8	1.433	115	0	0	122
3	11 - B2	1.009	13690	44	0	0	1.009	81	0	0	81
3	14 - B3	1.280	13917	45	0.92	37	0.36	29	0	0	66
3	12 - B4	0.942	11980	38	0	0	0.911	73	0.031	5	78
3	8 - B5	0.489	8543	27	0	0	0.489	39	0	0	39
3	13 - B6	0.507	9170	29	0	0	0.479	38	0.028	4	43
3	9 - B7	0.566	9170	29	0	0	0.525	42	0.041	6	48
7	6 - M1	1.247	10000	87	0.326	13	0.921	74	0	0	87
4	5 - S1	0.419	5100	30	0.08	3	0.342	27	0	0	30
1	7 - S2 - 35% Restaurant/65% Non-Food Retail	1.325	5800	106	0	0	1.325	106	0	0	106

14.20

885

2.189	88	11.496	920	0.518	78
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Building Use Category

- 1 - Restaurant and non-food
- 2 - 100% Food
- 3 - 15% Office, 85% Warehouse
- 4 - 100% non food retail
- 5 - Restaurant, Retail Food and Non Food Retail
- 6 - Restaurant and Food Retail
- 7 - Undifferentiated Retail

50% seating / 50% kitchen
---------------------------

88	919.68	77.7
----	--------	------





## Guerin, John

---

**From:** michael@sws-engr.com  
**Sent:** Tuesday, April 10, 2018 1:01 PM  
**To:** Guerin, John; Jim Roachelle  
**Cc:** Rob Mann; Erin Jackson; Alvarez, David  
**Subject:** RE: French Valley Commons Updates

John,

if I am understanding your numbers correctly if we go with the expected 5 out of 7 risk reduction factors for buildings S1, S2 and M1 we should be able to remain compliant.

engineering. made. possible.

**Michael D. Schweitzer, P.E.**

CEO / President



**SWS Engineering, Inc.**

Corporate Office:

261 Autumn Drive, Suite 115 | San Marcos, CA 92069  
p 760.744.0011 | f 760.744.0046 | c 760.884.7319

31045 Temecula Parkway, Suite 201 | Temecula, CA 92592  
p 951.296.3407 | f 951.587.9451

*Civil Engineering | Land Surveying | Land Planning*

[WEBSITE](#) | [FACEBOOK](#) | [TWITTER](#)

*Please consider the environment before printing this email.*

**From:** Guerin, John <JGUERIN@RIVCO.ORG>  
**Sent:** Tuesday, April 10, 2018 11:06 AM  
**To:** Jim Roachelle <jim@ejrgroup.com>  
**Cc:** michael@sws-engr.com; Rob Mann <robmann@frontlinecap.com>; Erin Jackson <erin@ejrgroup.com>; Alvarez, David <daalvarez@RIVCO.ORG>  
**Subject:** RE: French Valley Commons Updates

One other impacted single-acre area would be the one with its southeast corner at the southeast corner of Building S2. This single-acre area would include 106 persons in S2, 65 in the easterly 94 feet of M1, and 22 in the southerly 35 feet of B2 if that portion of B2 constitutes office area, for a total of 193. (Note that if M1 were rated at 1 per 170, it would only contribute 44 persons and if B2 were uniformly evaluated as 15% office, 85% warehouse, it would contribute 11 persons. However, the access per floor plan and the parking arrangement strongly suggest that the office area would be concentrated in the frontage. The 15-85 ratio is more likely to be found in a single-user or dual-user warehouse with offices at the corners.) This is greater than the overlapping single-acre with its southwesterly corner at the southwest corner of Building M1, provided that the restaurant in Building S2 is limited to the easterly 41 feet of that building. That single-acre would include 87 persons in M1, 66 in the westerly 85 feet of S2 (33 in the retail in the westerly 75 feet and 33 in dining area in the 10 feet directly east therefrom), 17 in the southerly 35 feet of the westerly 93 feet of B2, and 5 in a triangular portion of the easterly portion of B1, for a total of 175. (Formerly, M1 would have only contributed 59, for a total below 160, even with the larger S2.)

A single-acre area including all of Building R5 and much of Building R4 also exceeds 160; however, as a portion of Building R5 is in Zone D, the 160-person limit is not strictly applicable in that situation.

**From:** Jim Roachelle [<mailto:jim@ejrgroup.com>]

**Sent:** Monday, April 09, 2018 2:52 PM

**To:** Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)>

**Cc:** [michael@sws-engr.com](mailto:michael@sws-engr.com); Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Erin Jackson <[erin@ejrgroup.com](mailto:erin@ejrgroup.com)>; Alvarez, David <[daalvarez@RIVCO.ORG](mailto:daalvarez@RIVCO.ORG)>

**Subject:** Re: French Valley Commons Updates

Hi John. We will be applying for risk-reduction design measures and feel we can implement a majority of those measures. Let's discuss tomorrow how this would effect the calculation and the staff's analysis/report to ALUC.

Thank you,

Jim Roachelle  
EJR Group  
344 20th Street  
Oakland CA 94612  
925-250-7118

On Apr 9, 2018, at 1:07 PM, Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)> wrote:

Okay. Presuming that we have now resolved the overall average and lot-by-lot intensity concerns, the final test is the single-acre intensity. Changing Building M1 from non-food retail to undifferentiated retail increases the intensity of single-acre areas, most notably the single-acre area (210-by-210) which has the southwest corner of Building M1 as its southwest corner. This single-acre area also includes portions of Buildings S2 (4250 sf), B1 (975 sf), and B2 (3325 sf). In the absence of risk-reduction design measures, these portions would have to be limited to 73 persons total (160 - 87).

I can see that the restaurant is at the east end of Building S2, which is very helpful. However, you might want to explore risk-reduction for the four buildings if you wish to retain the current floor plans for Buildings B1 and B2, especially B2 where the single-acre area of M1 includes the frontage portions of B2 that are most likely to include office areas.

**From:** [michael@sws-engr.com](mailto:michael@sws-engr.com) [<mailto:michael@sws-engr.com>]

**Sent:** Friday, April 06, 2018 6:17 PM

**To:** Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)>

**Cc:** Jim Roachelle <[jim@ejrgroup.com](mailto:jim@ejrgroup.com)>; Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Erin Jackson <[erin@ejrgroup.com](mailto:erin@ejrgroup.com)>; Alvarez, David <[daalvarez@RIVCO.ORG](mailto:daalvarez@RIVCO.ORG)>

**Subject:** Re: French Valley Commons Updates

John,

That's a typo on our part. The total occupancy is 27. The parcel size is in error.

Sent from my iPhone

On Apr 6, 2018, at 5:51 PM, Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)> wrote:

I will have several comments as I go through the latest information, but for now I should point out that the spreadsheet indicates a total occupancy of 27 persons in the R3 lot, but reducing the lot size from 0.35 acre to 0.33 acre reduced the total allowable occupancy as per spreadsheet to 26 persons.

**From:** Jim Roachelle [<mailto:jim@ejrgroup.com>]

**Sent:** Friday, April 06, 2018 2:14 PM

**To:** Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)>

**Cc:** [michael@sws-engr.com](mailto:michael@sws-engr.com); Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Erin Jackson <[erin@ejrgroup.com](mailto:erin@ejrgroup.com)>; Alvarez, David <[daalvarez@RIVCO.ORG](mailto:daalvarez@RIVCO.ORG)>

**Subject:** French Valley Commons Updates

Hi John. Attached is the updated site plan and matrix showing the updated density calculation for the M1 building as a Grocery Store (Dollar Tree).

We should have the tentative map shortly reflecting this change.

Let us know if you have any questions or concerns. Once we have everything on the site plan to where we need to for ALUC to approve, we will provide all updated floor plans and elevations to match the final site plan.

Thank you John.

--

Jim Roachelle  
EJR Group  
344 20th Street  
Oakland, CA 94612  
925-250-7118  
[www.ejrgroup.com](http://www.ejrgroup.com)

**Confidentiality Disclaimer**

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**County of Riverside California**

## Guerin, John

---

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**Sent:** Monday, April 09, 2018 2:52 PM  
**To:** Guerin, John  
**Cc:** michael@sws-engr.com; Rob Mann; Erin Jackson; Alvarez, David  
**Subject:** Re: French Valley Commons Updates

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**Cc:** Jim Roachelle <[jim@ejrgroup.com](mailto:jim@ejrgroup.com)>; Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Erin Jackson <[erin@ejrgroup.com](mailto:erin@ejrgroup.com)>; Alvarez, David <[daalvarez@RIVCO.ORG](mailto:daalvarez@RIVCO.ORG)>  
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**County of Riverside California**

## Guerin, John

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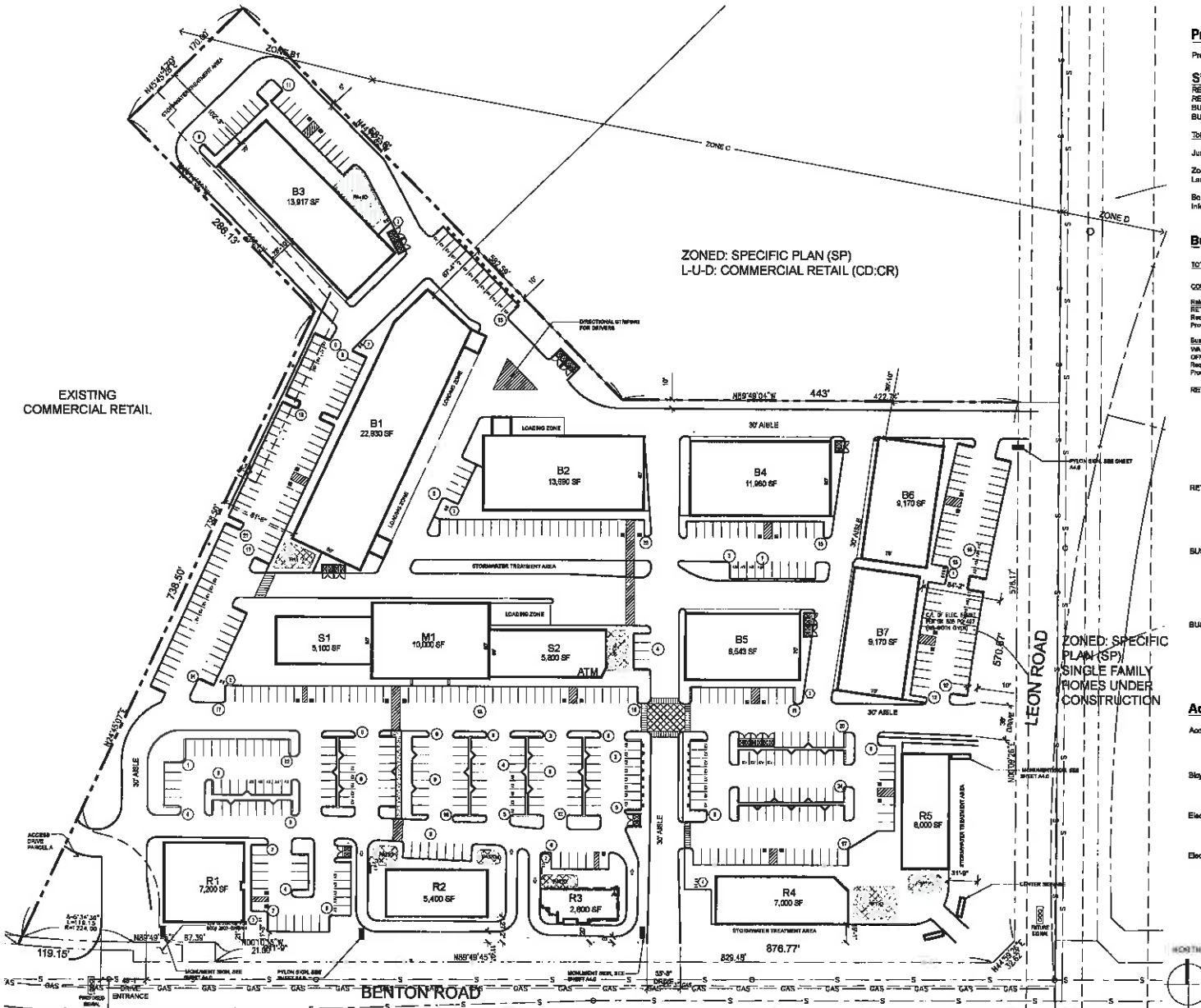
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**Project Data**

Project Address: Barton Road and Leon Road, French Valley, CA

**Site Data**

RETAIL PHASE 1	251,287.64 SF	(5,769 AC)
RETAIL PHASE 2	87,569.16 SF	(2.011 AC)
BUSINESS PARK PHASE 1	170,493.84 SF	(3.914 AC)
BUSINESS PARK PHASE 2	105,181.36 SF	(2.394 AC)
<b>Totals:</b>	<b>614,531.99 SF</b>	<b>(14.26 AC)</b>

Jurisdiction: County of Riverside  
 Zoning: Single Highway Commercial (C-P-S)  
 Land Use Designation: Commercial Retail (CP-CR)

Boundary Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWS ENGINEERING INC.

**Building/Parking Data**

TOTAL GROSS FLOOR AREA: 141,236 SF

**COUNTY PARKING REQUIREMENTS:**

Retail (Gross Floor Area: 43,100 SF)  
 RETAIL MD: 5-12 Spaces/1,000 SF Floor Area  
 Required: 210 Spaces  
 Provided: 337 Spaces

Business Park (Gross Floor Area: 98,136 SF)  
 WAREHOUSE: 2 Spaces/1,000 SF Floor Area  
 OFFICE: 5-1,000 SF Floor Area  
 Required: 45 Spaces  
 Provided: 207 Spaces

RETAIL PHASE 1:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	DRIVE THRU QUEUE
M1 = 10,000 SF	55 (5,501,000)	1.247	
B1 = 5,100 SF	63 (12,411,000)	0.420	
S2 = 5,800 SF	37 (8,311,000)	1.325	
R1 = 7,200 SF	37 (5,111,000)	0.909	
R2 = 5,400 SF	40 (7,411,000)	1.541	12 CARS
R3 = 5,800 SF	27 (10,411,000)	0.387	
<b>TOTAL: 50,100 SF</b>	<b>259 CARS (7,241,000)</b>	<b>6.759 AC</b>	<b>7.5 CARS</b>

RETAIL PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:
R4 = 7,000 SF	34 (5,111,000)	0.811 AC
R5 = 9,000 SF	34 (5,111,000)	0.811 AC
<b>Total: 16,000 SF</b>	<b>68 CARS (10,222,000)</b>	<b>1.622 AC</b>

BUSINESS PARK PHASE 1:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B1 = 22,930 SF	86 (2,911,000)	1.925	12,830 SF
B2 = 13,690 SF	28 (2,011,000)	1.009	4,900 SF
B3 = 13,817 SF	19 (7,411,000)	1.280	2,900 SF
<b>Total: 50,437 SF</b>	<b>113 CARS (2,221,000)</b>	<b>3.914 AC</b>	<b>19,830 SF</b>

BUSINESS PARK PHASE 2:

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B4 = 11,650 SF	22 (1,911,000)	0.942	3,400 SF
B5 = 8,543 SF	17 (2,911,000)	0.489	2,800 SF
B6 = 9,170 SF	27 (2,911,000)	0.307	4,300 SF
B7 = 9,170 SF	24 (2,911,000)	0.598	4,300 SF
<b>Total: 38,533 SF</b>	<b>94 CARS (2,411,000)</b>	<b>2.804 AC</b>	<b>16,800 SF</b>

**Additional Parking Data**

- Accessible Parking Stalls:  
 Total Parking Stalls: 559 Stalls  
 Required: 102 Stalls  
 Provided: 34 Stalls (2 Men, 2 Standard)
- Bicycle Parking:  
 Required: 28 Spaces (8% of Visitor Parking)  
 Provided: 28 Spaces
- Electric Vehicle Parking:  
 Required: 46 Stalls (per 2016 CAL Green Code Table 5.105.5.2)  
 Provided: 46 Stalls
- Electric Vehicle Charging Stations (EVCS):  
 Required: 34 Charging Stations  
 Provided: 34 Charging Stations

## **Guerin, John**

---

**From:** Jim Roachelle <jim@ejrgroup.com>  
**Sent:** Wednesday, April 04, 2018 1:50 PM  
**To:** Guerin, John; Alvarez, David  
**Cc:** Rob Mann; michael@sws-engr.com; Erin Jackson  
**Subject:** French Valley Commons ALUC Hearing

Hi John. Per our conversation earlier today, we will agree to staff's suggestion to continue our matter to the May 10 hearing in order for us to clean up the information so staff can provide an approval recommendation to the Commission.

2 updates that will be provided from the last staff report are:

1. We will provide an updated analysis showing M1's calculation as a Grocery Store for the Dollar Tree tenant. We will adjust as needed the S1 and S2 buildings to comply with the appropriate parcel and 1 acre square density calculations.
2. County Planning and ALUC will include appropriate condition to address the long term monitoring of the ALUC conditions of approval.

We will plan to have the updated calculations/support documentation to you by close of business tomorrow for your review.

Thank you John.

--  
Jim Roachelle  
EJR Group  
344 20th Street  
Oakland, CA 94612  
925-250-7118  
[www.ejrgroup.com](http://www.ejrgroup.com)



## Guerin, John

---

**From:** Jim Roachelle <jim@ejrgroup.com>  
**Sent:** Tuesday, March 27, 2018 6:25 PM  
**To:** Guerin, John  
**Cc:** Rob Mann; michael@sws-engr.com; Erin Jackson; Alvarez, David  
**Subject:** Updates to French Valley Commons  
**Attachments:** 15-078\_ALUC\_Area Calculations-032718 Update.xlsx; 02 - Preliminary Site Plan 032718 Update.pdf; 26 - S2 Floor and Roof Plans 032718 Update.pdf; 28 - R2 Floor and Roof Plans 032718 Update.pdf; 30 - R4 Floor and Roof Plans 032718 Update.pdf; 29 - R3 Floor and Roof Plans 032718 Update.pdf

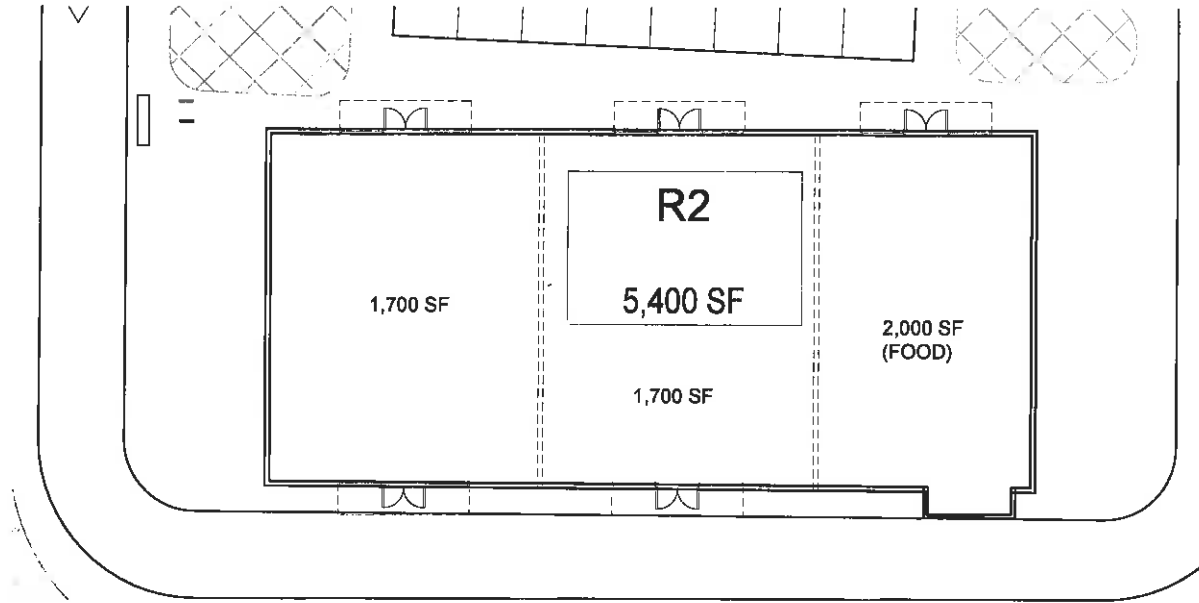
Hi John. Per our conversation and email exchange today, please find the following attached:

1. Updated Matrix showing the reduced square footage for R2 and S2 to meet the ALUC code interpretation for retail density in a building with restaurant space.
2. Updated site plan with updated square footage for R2 and S2 buildings to match matrix update.
3. Updated Floor and Roof plans for Buildings R2 and S2 with updated square footage matching the updated matrix;
4. R3 Floor and Roof Plans (the same one we sent yesterday showing retail only);
5. R4 Floor and Roof Plans showing the restaurant square footage indicated in the updated matrix.

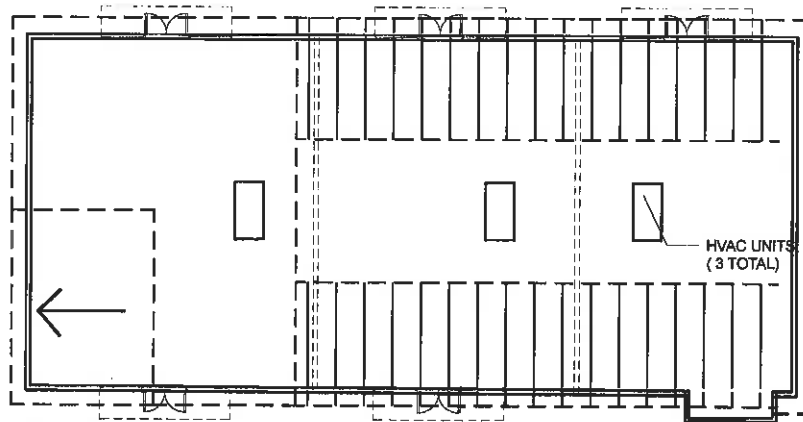
Please let us know if you have any questions or need anything else for your packet. As also discussed, please let us know if Rob and I can meet with the head of the commission, you and planning staff on Thursday when we're in town to discuss monitoring the project down stream.

Thanks John.

--  
Jim Roachelle  
EJR Group  
344 20th Street  
Oakland, CA 94612  
925-250-7118  
[www.ejrgroup.com](http://www.ejrgroup.com)



**A** FLOOR PLAN



**B** ROOF PLAN

- NOTES:
- R2 - MULTIPLE TENANTS:  
 37% FOOD (2,000 SF MAX)  
 63% NON-FOOD/RETAIL (3,400 SF MIN)
  - SEE SHEET A1.0 FOR ALL PARKING INFORMATION



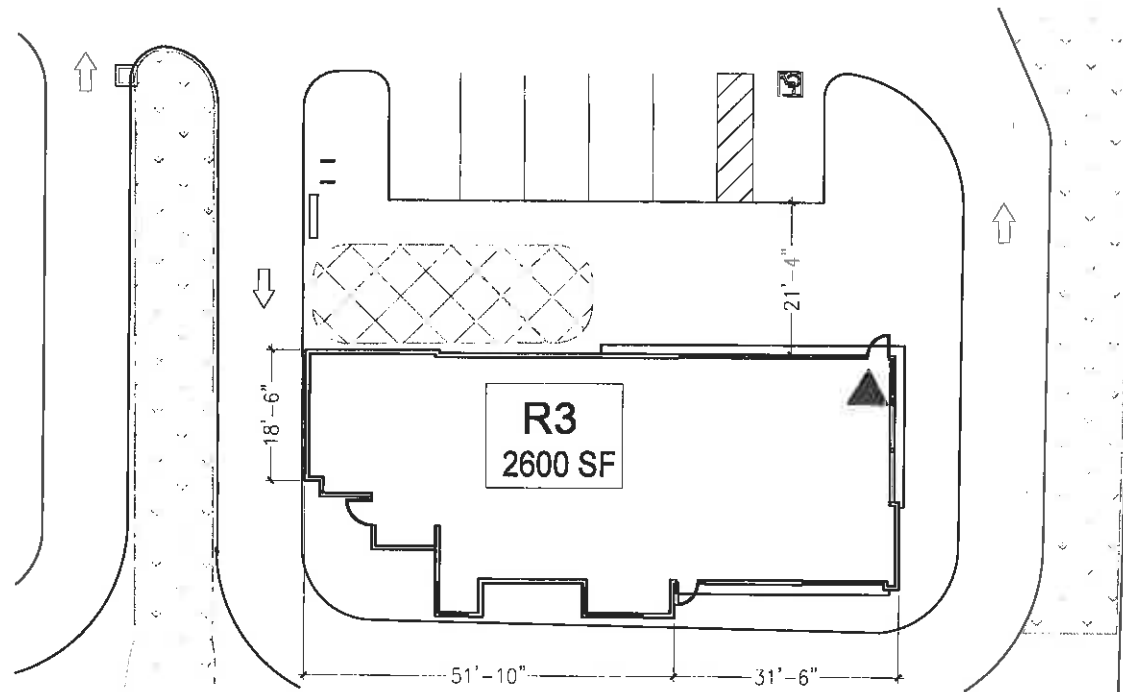
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
 R2 and R4 BUILDING FLOOR AND ROOF PLANS



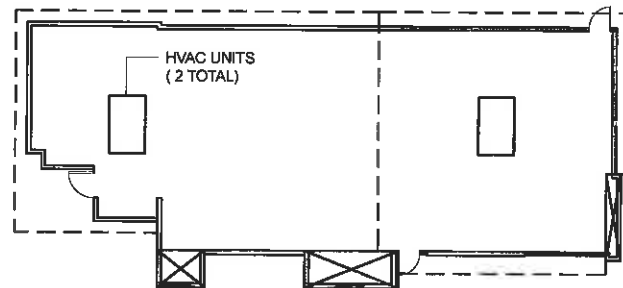
W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

**DWG: 28**  
OF 38  
 DATE: March 27, 2018  
 SCALE: 1/8" = 1'-0"

**A5.4**



**A** FLOOR PLAN



**B** ROOF PLAN

NOTES:  
 1. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



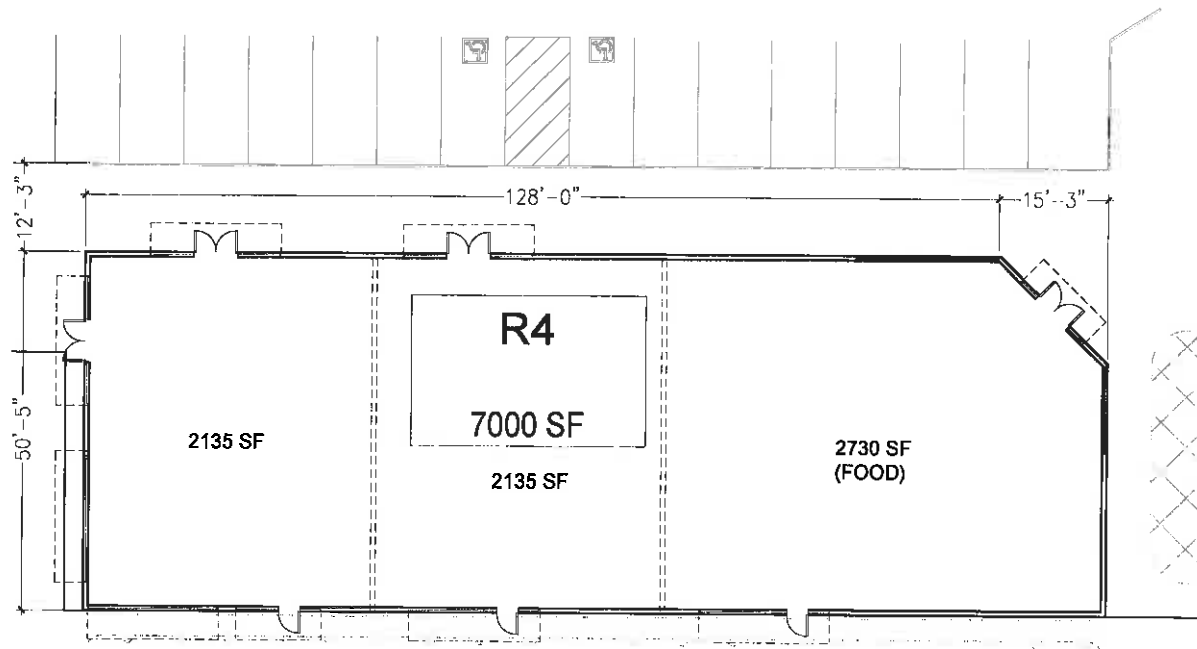
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
 R3 BUILDING FLOOR AND ROOF PLANS



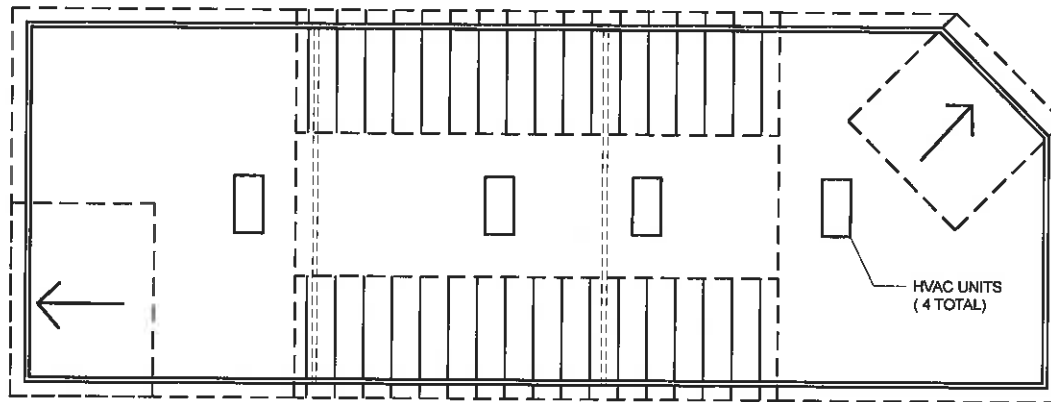
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 29**  
OF 38  
 DATE: March 23, 2016  
 SCALE: 1/8" = 1'-0"

**A5.5**



**A** FLOOR PLAN



**B** ROOF PLAN

- NOTES:
1. R4 - MULTIPLE TENANTS:  
21% FOOD (2,730 SF MAX)  
79% NON-FOOD/RETAIL (4,270 SF MIN)
  2. SEE SHEET A1.0 FOR ALL PARKING INFORMATION



## Guerin, John

---

**From:** Jim Roachelle <jim@ejrgroup.com>  
**Sent:** Tuesday, March 27, 2018 11:48 AM  
**To:** Guerin, John  
**Cc:** michael@sws-engr.com; Rob Mann; Erin Jackson  
**Subject:** Re: Updated Occupancy Matrix and Site Plan

We'd prefer to have this allocated to R4.

Rob, please chime in if you have another thought.

Thank you John.

Jim Roachelle  
EJR Group  
344 20th Street  
Oakland CA 94612  
925-250-7118

On Mar 27, 2018, at 9:44 AM, Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)> wrote:

Buildings R4 and R5 are allotted a combined total of 2,730 square feet of restaurant area (21% of 13,000), half of which is dining space (1,365 square feet). Planning had a concern with a condition relating to "combined maximum" dining space for more than one building in the same condition. Would you prefer 1365 in a single building (if so, we'd recommend Building R5), an even split (682 per building), or some other allocation between them?

**From:** Jim Roachelle [<mailto:jim@ejrgroup.com>]  
**Sent:** Friday, March 23, 2018 3:25 PM  
**To:** Guerin, John <[JGUERIN@RIVCO.ORG](mailto:JGUERIN@RIVCO.ORG)>  
**Cc:** [michael@sws-engr.com](mailto:michael@sws-engr.com); Rob Mann <[robmann@frontlinecap.com](mailto:robmann@frontlinecap.com)>; Erin Jackson <[erin@ejrgroup.com](mailto:erin@ejrgroup.com)>  
**Subject:** Updated Occupancy Matrix and Site Plan

Hi John. Attached is the updated Matrix showing the updated parcel sizing and occupancy densities per parcel with the drive thru counts included. Once I receive the TM sheet from SWS, I will forward that to you.

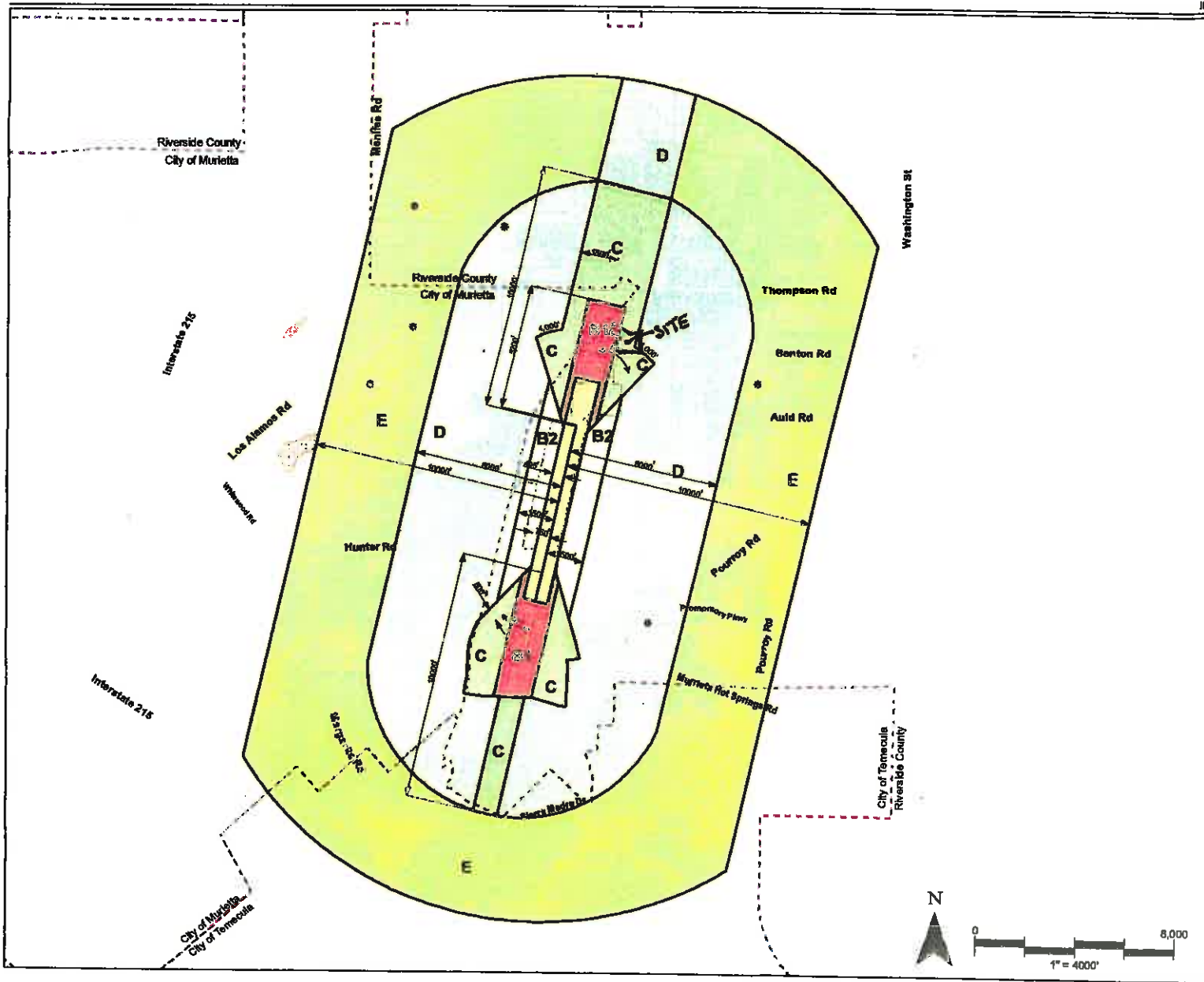
Please let us know if have any questions or require any further clarification or edits. Thanks John.

--

Jim Roachelle  
EJR Group  
344 20th Street  
Oakland, CA 94612  
925-250-7118  
[www.ejrgroup.com](http://www.ejrgroup.com)

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- - - City Limits
- ⊛ Height Review Overlay Zone

**Note**

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

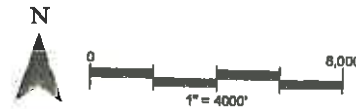
Riverside County  
Airport Land Use Commission

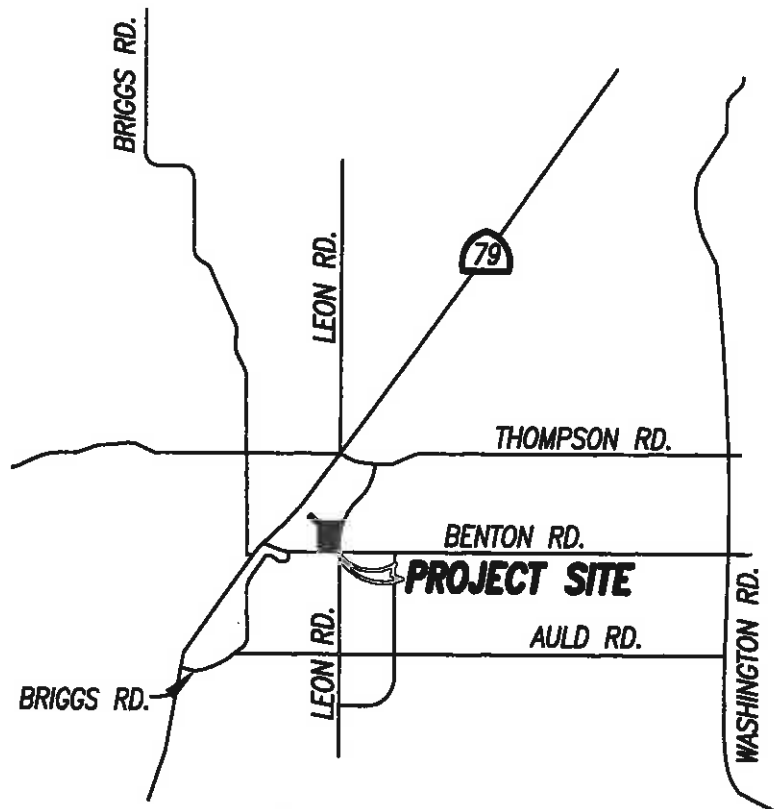
Riverside County  
Airport Land Use Compatibility Plan  
Policy Document

(April 2010)

Map FV-1

**Compatibility Map**  
French Valley Airport



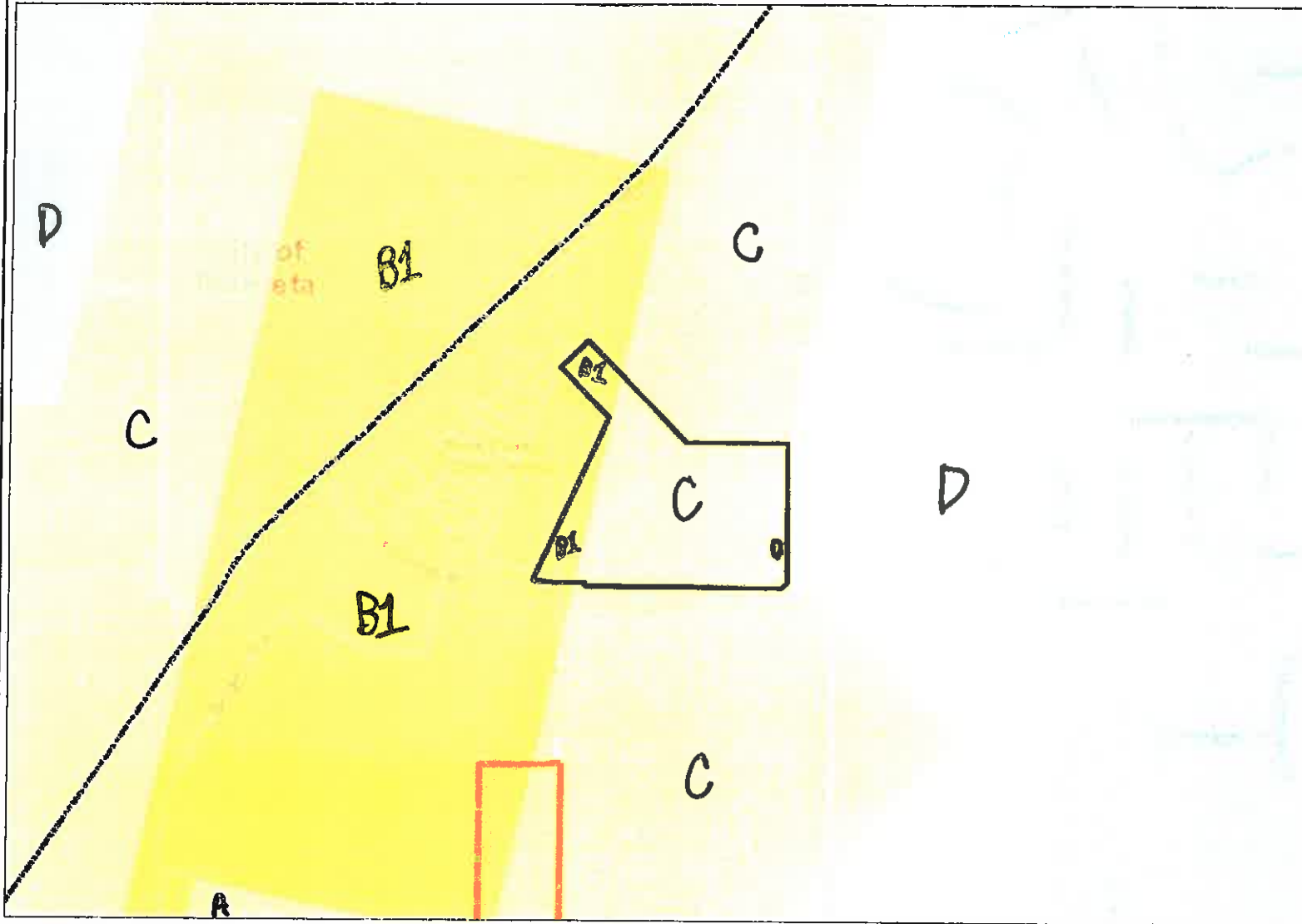


**VICINITY MAP**

NOT TO SCALE



# Map My County Map



## Legend

- Runways
- Airports
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

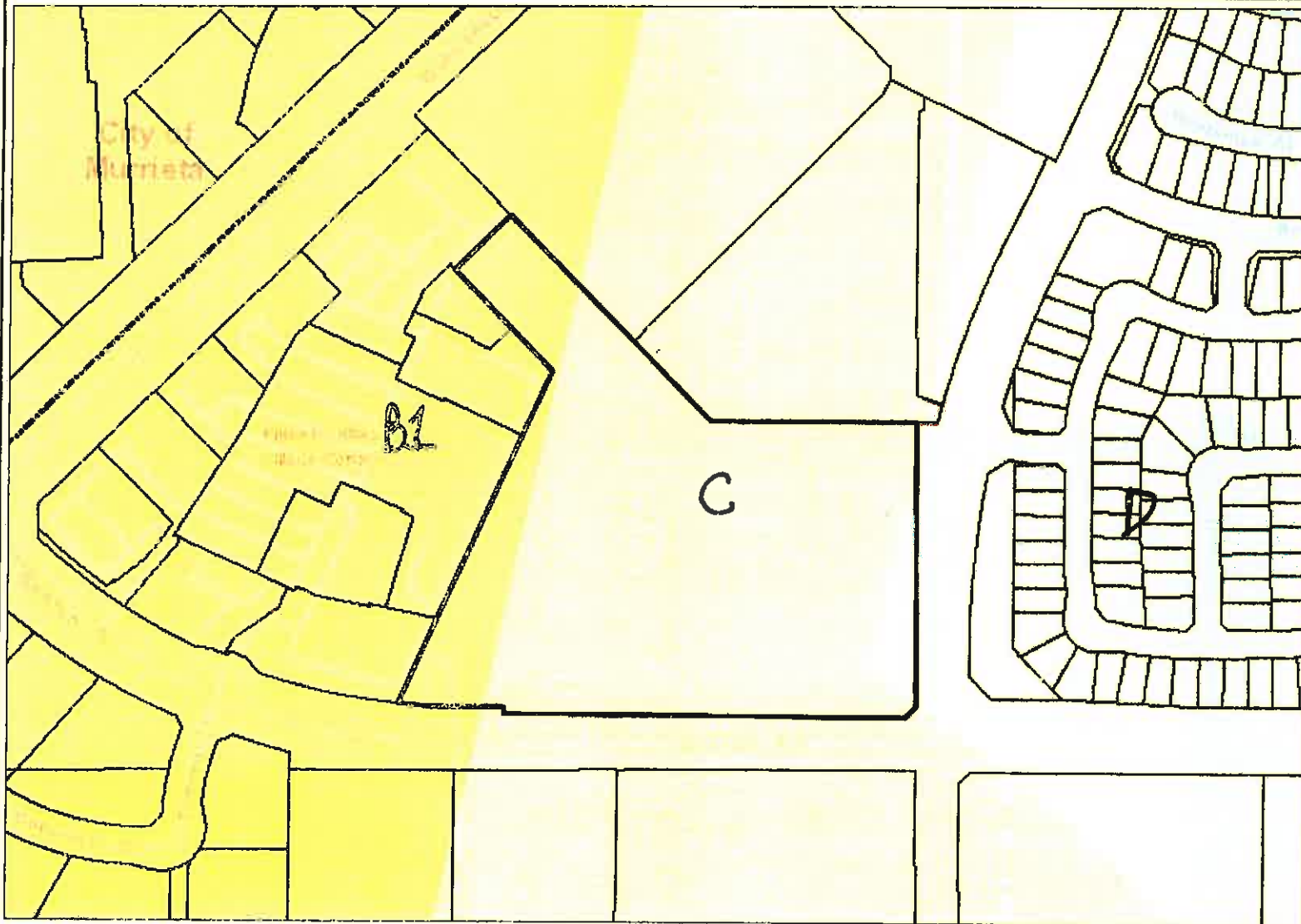
## Notes

0 770 1,539 Feet

REPORT PRINTED ON... 2/15/2018 12:35:44 PM

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# Map My County Map



## Legend

- Parcels
- Runways
- Airports
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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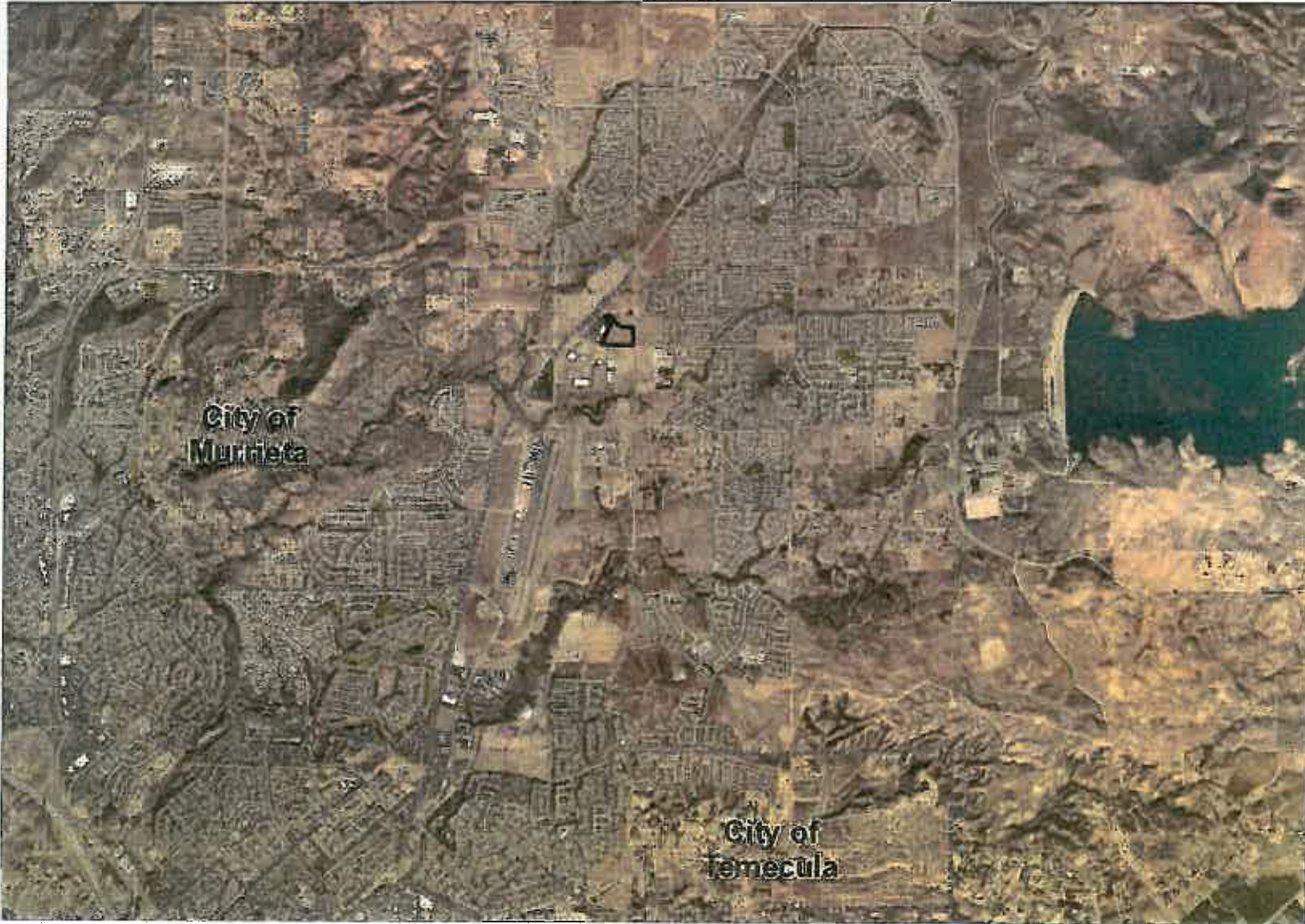
## Notes



REPORT PRINTED ON... 2/15/2018 12:36:28 PM

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# Map My County Map



## Legend

-  City Areas
-  World Street Map



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## Notes



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# Map My County Map



## Legend

- Runways
- Airports
- ▤ City Areas
- World Street Map



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0 1 3,079 Feet

REPORT PRINTED ON... 2/15/2018 12:42:43 PM

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## Notes

# Map My County Map



## Legend

- Runways
- Airports
- ▨ City Areas
- World Street Map



0 770 1,539 Feet

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## Notes

# Map My County Map



- Legend**
-  Parcels
  -  Runways
  -  Airports
  -  City Areas
  - World Street Map



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REPORT PRINTED ON... 2/15/2018 12:46:05 PM

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## Notes

## Guerin, John

---

**From:** Jim Roachelle <jroachelle@gmail.com>  
**Sent:** Monday, March 26, 2018 11:17 AM  
**To:** Guerin, John  
**Cc:** Rob Mann  
**Subject:** Fwd: Winchester  
**Attachments:** 15-078\_TM-01.pdf

Hi John. Here is the updated Tentative Map to align with the updated matrix. Let us know if you have any questions or need anything else. Thanks John.

Jim Roachelle  
925-250-7118

----- Forwarded message -----

**From:** [michael@sws-engr.com](mailto:michael@sws-engr.com) <[michael@sws-engr.com](mailto:michael@sws-engr.com)>  
**Date:** Mon, Mar 26, 2018 at 11:13 AM  
**Subject:** Winchester  
**To:** Jim Roachelle <[jroachelle@gmail.com](mailto:jroachelle@gmail.com)>  
**Cc:** Michael Hada <[mike.hada@sws-engr.com](mailto:mike.hada@sws-engr.com)>

**I will be out of the office from March 27<sup>th</sup> through the 30<sup>th</sup> and will have only occasional communication with the office. If there is an urgent issue, please contact Tracy Santucci or Bree Wong at my office.**

engineering. made. possible.

**Michael D. Schweitzer, P.E.**

CEO / President

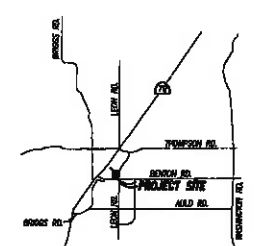


Corporate Office:

261 Autumn Drive, Suite 115 | San Marcos, CA 92069

p [760.744.0011](tel:760.744.0011) | f [760.744.0046](tel:760.744.0046) | c [760.884.7319](tel:760.884.7319)

**NOTES**  
 1. DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD NO. 207A.



**VICINITY MAP**  
 NOT TO SCALE  
**APPLICANT / ENGINEER**  
 SWS ENGINEERING, INC  
 MICHAEL D. SCHMEITZER, P.E.  
 201 AUTUMN SPRING, SUITE 110  
 SAN MARCOS, CA 92069  
 PHONE: 760.744.0071  
 FAX: 760.744.0044

**OWNER**  
 W DEVELOPMENT PARTNERS, LLC  
 ATTENTION: ROB MANN  
 505 SANDSTONE STREET, SUITE 1400 SAN  
 FRANCISCO, CA 94111 PHONE: (415) 860-3378  
 FAX:

**ASSESSOR'S PARCEL NUMBER**  
 A.P.N. 963-080-032  
 PROPERTY ADDRESS  
 NW INTERSECTION OF BENTON ROAD & LEON ROAD  
 RIVERSIDE COUNTY, CALIFORNIA

**TENTATIVE MAP DATE**  
 DATE PREPARED: MARCH 26, 2018

**ACREAGE**

PARCEL 1:	0.89 ACRES
PARCEL 2:	1.604 ACRES
PARCEL 3:	0.33 ACRES
PARCEL 4:	2.208 ACRES
PARCEL 5:	0.80 ACRES
PARCEL 6:	0.761 ACRES
PARCEL 7:	1.34 ACRES
PARCEL 8:	0.477 ACRES
PARCEL 9:	0.948 ACRES
PARCEL 10:	1.682 ACRES
PARCEL 11:	0.878 ACRES
PARCEL 12:	1.006 ACRES
PARCEL 13:	0.507 ACRES
PARCEL 14:	1.28 ACRES

TOTAL GROSS ACREAGE: 14.19 ACRES

**THOMAS BROTHERS MAP**  
 EDITION: 2008  
 PAGE NUMBER: 229  
 COORDINATES: A-1

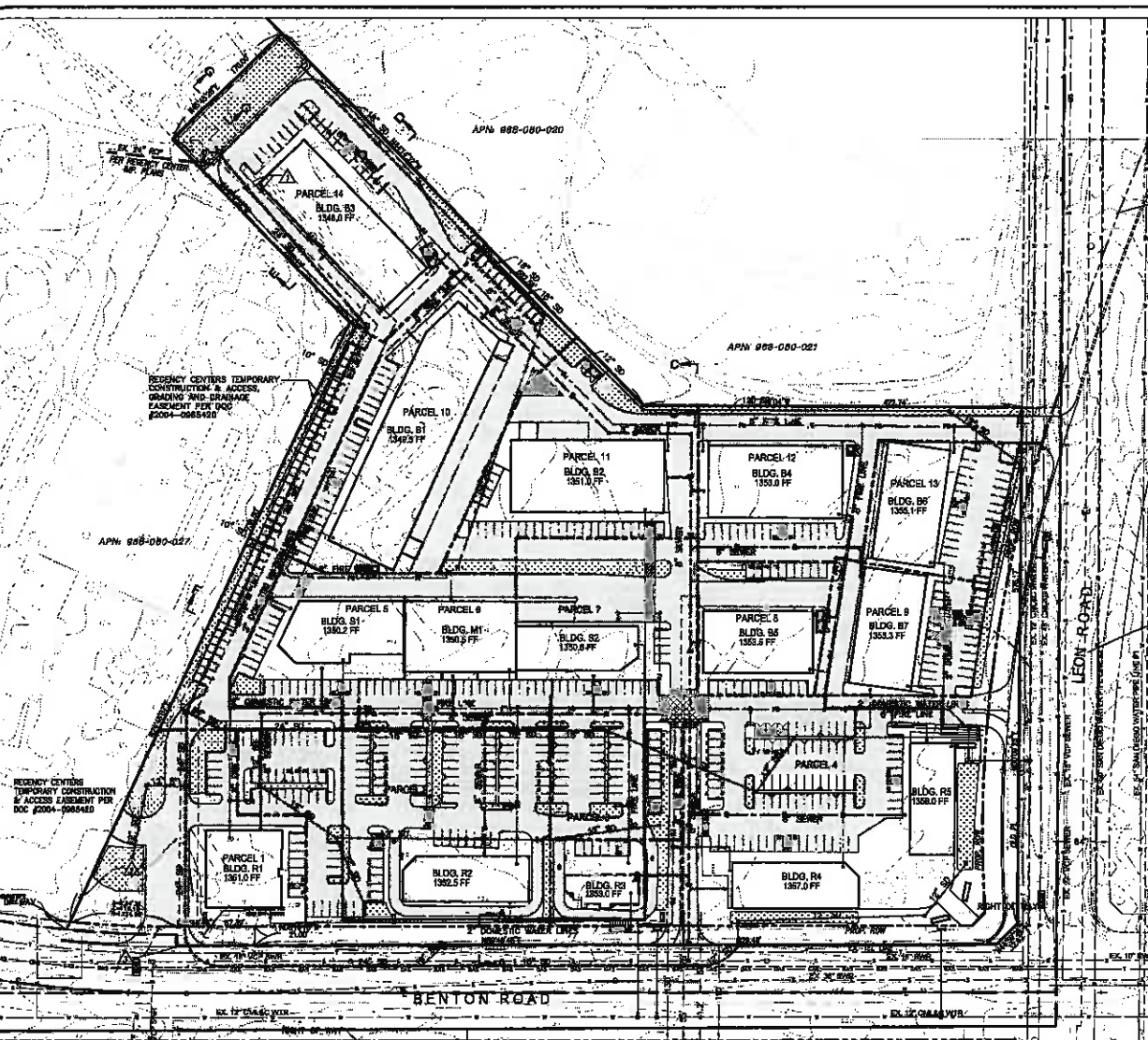
**LAND USE**

EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	COMMERCIAL
EXISTING ZONING:	C-P-S
PROPOSED ZONING:	C-P-S



SHEET 1 OF 2  
 SWS ENG. JOB NO. 15-078

**LEGAL DESCRIPTION**  
 THE LAND REFERRED TO HEREIN IS SITUATED IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:  
 THOSE PORTIONS OF PARCEL 4 AND PARCEL 8 OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN ON THAT CERTAIN LOT LINE ADJUSTMENT NO. 4463 RECORDED DECEMBER 11, 2008 AS DOCUMENT NO. 2008-0001 OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE NORTH-WEST CORNER OF SAID PARCEL 4, SAID POINT BEING IN SUBSTANTIALLY LINE OF SAID WINCHESTER ROAD;  
 THENCE SOUTH 44° 14' 54" WEST, A DISTANCE OF 175.00 FEET, TO THE WEST POINT OF BENTON ROAD;  
 THENCE CONTINUING SOUTH 44° 14' 54" WEST, A DISTANCE OF 274.00 FEET, TO THE WEST POINT OF BENTON ROAD;  
 THENCE SOUTH 00° 00' 00" WEST, A DISTANCE OF 422.00 FEET, MORE OR LESS, TO THE WEST POINT OF BENTON ROAD;  
 THENCE SOUTH 00° 00' 00" WEST, ALONG THE WESTERLY BENT-OF-WAY OF LEON ROAD, A DISTANCE OF 374.17 FEET;  
 THENCE SOUTH 44° 14' 54" WEST, A DISTANCE OF 24.54 FEET, TO THE NORTHERLY BENT-OF-WAY OF BENTON ROAD;  
 THENCE SOUTH 00° 00' 00" WEST, ALONG THE NORTHERLY BENT-OF-WAY OF BENTON ROAD, A DISTANCE OF 80.00 FEET;  
 THENCE NORTH 00° 00' 00" WEST, A DISTANCE OF 12.61 FEET, TO THE BEGINNING OF A NEW LINGUET;  
 CORNER NORTHERLY AND HAVING A RADIUS OF 163.00 FEET;  
 THENCE NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 90° OF 21', A DISTANCE OF 124.94 FEET TO A POINT, A RADIAL LINE OF SAID CURVE THROUGH SAID POINT BEING SOUTH 88° 30' 30" WEST, A DISTANCE OF 73.00 FEET TO THE POINT OF BEGINNING OF THE INTERSECTION OF THE NORTHERLY LINE OF SAID PARCEL 4, WITH A LINE THAT IS PARALLEL, WITH AND CONTIGUOUS TO THE WESTERLY LINE OF SAID PARCEL 4, WITH A LINE THAT IS PARALLEL, WITH AND CONTIGUOUS TO THE WESTERLY LINE OF SAID PARCEL 4, WITH A LINE THAT IS PARALLEL, WITH AND CONTIGUOUS TO THE WESTERLY LINE OF SAID PARCEL 4;  
 THENCE NORTH 44° 14' 54" WEST ALONG SAID PARALLEL LINE A DISTANCE OF 206.15 FEET;  
 THENCE NORTH 44° 14' 54" EAST A DISTANCE OF 175.00 FEET TO THE WEST POINT OF BENTON ROAD;  
 SAID LAND IS ALSO REFERRED AS "PARCEL 4" OF THAT CERTAIN LOT LINE ADJUSTMENT NO. 4463 RECORDED MARCH 14, 2008 AS INSTRUMENT NO. 2008-0001 OFFICIAL RECORDS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.



**UTILITIES**  
 WATER: EASTERN MUNICIPAL WATER DISTRICT  
 SEWER: EASTERN MUNICIPAL WATER DISTRICT  
 ELECTRIC: SOUTHERN CALIFORNIA Edison  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY  
 TELEPHONE / CABLE: VERIZON  
 TELEVISION / CABLE: INDIVIDUAL RECEPTION / CABLE

**BASIS OF BEARING**  
 THE BASIS OF BEARINGS FOR THIS MAP AS SHOWN ON PARCEL MAP 10772-78 OF RIVERSIDE COUNTY RECORDS, SAID BEARING BEING N67°30'00"E.

**SCHOOL DISTRICT**  
 THERESA VALLEY UNIFIED SCHOOL DISTRICT

**PRELIMINARY EARTHWORK**  
 CUT: 11,730 CY  
 FILL: 18,700 CY  
 IMPORT: 6,000 CY

**SWS ENGINEERING, INC.**  
 Civil, Mechanical, Electrical, Plumbing, Surveying  
 251 Avenida Diego, Suite 115 • San Marcos, CA 92069  
 500 Main Street, Suite 100 • Temecula, CA 92591  
 P: 760-744-0071 F: 760-744-0044

NOTE: 1. THERE ARE CURRENTLY NO STREET LIGHTS ALONG BENTON ROAD ADJACENT TO THE PROJECT SITE.

**APPROVED**  
 PLANNING DEPARTMENT

**REVISIONS**

NO.	DATE	DESCRIPTION	DRAWN BY

COUNTY OF RIVERSIDE  
 TRANSPORTATION AND LAND MANAGEMENT AGENCY  
 PLANNING DEPARTMENT

**TENTATIVE PARCEL MAP**  
 PM 37399  
 APN: 963-080-032

WINCHESTER CROSSROADS





## Guerin, John

---

**From:** Jim Roachelle <jroachelle@gmail.com>  
**Sent:** Friday, March 23, 2018 11:46 AM  
**To:** Guerin, John  
**Cc:** michael@sws-engr.com; Rob Mann; Housman, Simon; Erin Jackson  
**Subject:** Re: Latest Revisions at French Valley

Hi John. We will update the info to reflect the drive thru addition but believe we should be able to accommodate those additions with some other minor adjustments.

Regarding the density calcs/categories, as we discussed, we believe the proper way to calculate the density is based on actual proposed uses (i.e. 1/170 for retail, not 1/115). Even if a building has a mix of retail and restaurant, the retail use itself should not be over burdened and should be calculated based on the actual use.

Please let us know if you concur with our assessment and once we send over the updated information, let us know if you need anything else from us.

Thank you John for all your efforts.

Jim Roachelle  
925-250-7118

On Thu, Mar 22, 2018 at 2:43 PM, Guerin, John <JGUERIN@rivco.org> wrote:

~~Building R2 is located within a proposed 1.02-acre lot entirely in Zone C. Thus, the total occupancy allowance is 82 persons. A 7,000 square foot building is proposed. The spreadsheet indicates that 57% of the building would be allocated to non-food retail and 43% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 7,000 square foot building, this translates as 3,990 square feet of non-food retail, 1,806 square feet of restaurant seating area, and 1,204 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 149 persons. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 167—a little more than twice the allowable level. If this building were entirely allocated to undifferentiated retail use, with no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 61 persons. Adding the 18 persons in the queue would increase the total to 79, which would still be consistent.~~

**Building R2 is located within a proposed 1.54-acre lot consisting of 1.62 acres in Zone C and 0.02 acre in Zone B1. The prorated person allowance, then, is 122 persons. A 7,000 square foot building is proposed. The revised spreadsheet indicates that the building would be utilized as follows: 35.7% restaurant (at 50 percent seating area and 50 percent kitchen area), 35.7% non-food retail, and 28.5% food retail. This translates as 2,500 square feet of non-food retail, 2,000 square feet of food retail, 1,250 square feet of restaurant dining area, and 1,250 square feet of restaurant kitchen area, resulting in a total estimated building occupancy of 122 persons, which is right at the limit for this lot.**

**This indicates the applicant team's intent to comply with ALUC criteria. However, there are two concerns with this approach. The first is that this number does not allow for the occupancy within the drive-thru. The drive-thru with a 12-car queue would add an additional 18 persons, raising the site total to 140.**

**The second concern relates to the provision within the French Valley ALUCP allowing for use of the one person per 170 square foot criterion for non-food retail. The provision states that buildings including restaurants and food service facilities cannot use this level in their evaluation. The concept is that buildings that include restaurants or food sales are likely to draw a greater number of customers than buildings without such facilities. If we were to utilize the one person per 115 square foot standard for all retail in this building, it would raise the total building occupancy to 129 and the total site occupancy to 147.**

*Possible risk-reduction design measures? (17% bonus would be required.)*

~~Building R3 is located within a proposed 0.7-acre lot entirely in Zone C. Thus, the total occupancy allowance is 56 persons. A 2,600 square foot restaurant is proposed, consisting of 1,560 square feet of seating area and 1,040 square feet of kitchen area (using the same 3:2 ratio of seating area to kitchen area), resulting in a total estimated building occupancy of 109 persons. The drive thru with an 8-car queue would add an additional 12 persons, raising the site total to 121—a little more than twice the allowable level.~~

**Building R3 was previously proposed for a freestanding restaurant on a 0.7-acre lot. The proposed use has changed, such that it would now be food sales without an indoor seating area. The lot size has been reduced to 0.29 acre (net) in Zone C, reducing the prorated person allowance to 23 persons. A 2,600 square foot building is proposed. At a rate of one person per 115 square feet, the resulting total estimated building occupancy would be 23 persons, which is right at the limit for this lot. However, this number does not allow for the occupancy within the drive-thru. The drive-thru with an 8-car queue would add an additional 12 persons, raising the site total to 35. *Now that this building is food sales rather than a restaurant, do you still need the drive-thru?***

*In the first revision, the lot sizes of Buildings R2 and R3 had been increased to 1.98 and 1.36 acres, respectively. An additional 0.32 acre of Zone C in the "R2" lot and an additional 0.15 acre in the "R3" lot would bring R2 and R3 back into consistency.*

~~Building S2 is located within a proposed 0.72-acre lot entirely in Zone C. Thus, the total occupancy allowance is 57 persons. The spreadsheet indicates that 70% of the building would be devoted to non-food retail and 30% to restaurant use, of which seating area would account for 3/5 of the restaurant. Within a 6,670 square foot building, this translates as 4,669 square feet of non food retail, 1,201 square feet of restaurant seating area, and 800 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 112 persons—just less than twice the allowable level for the lot. If this building were entirely allocated to undifferentiated retail use, with~~

~~no restaurant dining or other assembly area, ALUC's formula would indicate a building occupancy of 58 persons, which would slightly exceed the allowable level, but would be within 10% of the allowable limit, such that the overage would be able to be addressed through risk-reduction design measures.~~

**Building S2 is located within a proposed 1.36-acre lot entirely in Zone C. Thus, the total occupancy allowance is 109 persons. The spreadsheet indicates that 65% of the building would be devoted to non-food retail and 35% to restaurant area (divided equally between seating and kitchen area). Within a 6,670 square foot building, this translates as 4,336 square feet of non-food retail, 1,168 square feet of restaurant seating area, and 1,167 square feet of restaurant kitchen area, resulting in a total estimated occupancy of 109 persons, which is right at the limit for this lot.**

**While there is no drive-thru proposed here, there remains the second concern regarding the application of the one person per 170 square foot criterion, in that the building would also include restaurant area. If we were to consider the retail area as subject to the one person per 115 square foot criterion, this would raise the total estimated occupancy to 122 persons, which would be over the limit.**

**However, this exceedance would be within 15% of the allowable level, such that the overage would be able to be addressed through risk-reduction design measures. Alternatively, the applicant could reduce the size of the building by 1,461 square feet.**

*FYI – Spreadsheet lists Buildings M1 and S1 as Category 3 buildings. Category 3 is office/warehouse. However, the occupancy level is calculated using the non-food retail 1 person per 170 standard.*

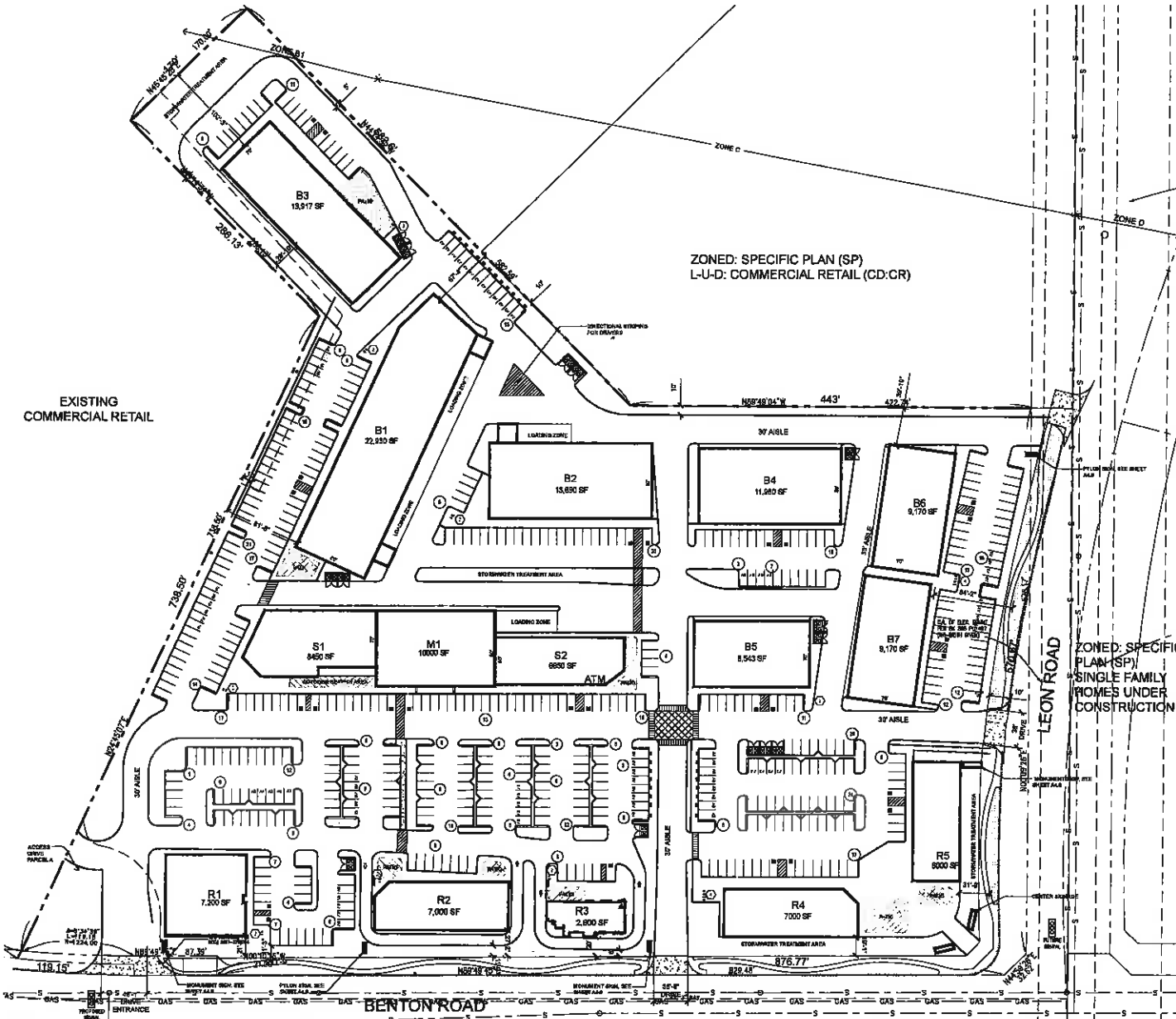
*Business park numbers on site plan (office square footage) do not necessarily correspond to the 15/85 split referenced in the spreadsheet.*

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**County of Riverside California**



**Project Data**

Project Address: Benton Road and Leon Road, French Valley, CA

**Site Data**

RETAIL PHASE 1	246,787.40 SF	(6.885 AC)
RETAIL PHASE 2	96,180.45 SF	(2.205 AC)
BUSINESS PARK PHASE 1	169,007.16 SF	(3.811 AC)
BUSINESS PARK PHASE 2	109,292.04 SF	(2.505 AC)
<b>Total:</b>	<b>619,247.08 SF</b>	<b>(14.18 AC)</b>

Jurisdiction: County of Riverside

Zoning: Specific Highway Commercial (C-S-P-6)  
Land Use Designation: Commercial Retail (CP: CR)

Disclaimer Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWS ENGINEERING INC.

**Building/ Parking Data**

TOTAL GROSS FLOOR AREA: 143,565 SF

**QUALITY PROGRAM REQUIREMENTS**

Retail Gross Floor Area: 342,967 SF  
RETAIL: 8'-10" Max Clear 1,500 SF Floor Area  
Required: 302 Spaces  
Provided: 307 Spaces

Business Park Gross Floor Area: 109,600 SF  
WORKSPACE: 5 Spaced 1,000 SF Floor Area  
OFFICE: 5 7,000 SF Floor Area  
Required: 45 Spaces  
Provided: 57 Spaces

**RETAIL PHASE 1:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	DRIVE THRU QUEUE
B1 = 13,917 SF	55 (5,311,000)	0.761	
B2 = 15,830 SF	57 (5,411,000)	0.841	
B3 = 13,917 SF	37 (5,611,000)	1.380	
B4 = 11,940 SF	37 (5,171,000)	0.849	
B5 = 8,543 SF	40 (5,711,000)	1.524	12 CARS
B6 = 8,170 SF	27 (10,411,000)	0.350	7.5 CARS
<b>Total: 41,860 SF</b>	<b>206 CARS (8,271,000)</b>	<b>6.686 AC</b>	

**RETAIL PHASE 2:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:
B7 = 7,000 SF	78 CARS (8,011,000)	2.388 AC
<b>Total: 14,000 SF</b>		

**BUSINESS PARK PHASE 1:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B1 = 22,830 SF	69 (2,811,000)	1.592	12,800 SF
B2 = 13,690 SF	26 (2,011,000)	0.908	4,800 SF
B3 = 13,917 SF	19 (1,411,000)	1.280	2,800 SF
<b>Total: 50,437 SF</b>	<b>113 CARS (2,211,000)</b>	<b>3.811 AC</b>	<b>19,600 SF</b>

**BUSINESS PARK PHASE 2:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B4 = 11,960 SF	22 (1,411,000)	1.006	3,200 SF
B5 = 8,543 SF	17 (2,011,000)	0.427	2,800 SF
B6 = 8,170 SF	27 (2,811,000)	0.807	4,800 SF
B7 = 8,170 SF	24 (2,811,000)	0.956	4,200 SF
<b>Total: 36,843 SF</b>	<b>84 CARS (2,471,000)</b>	<b>3.256 AC</b>	<b>15,000 SF</b>

**Additional Parking Data**

Accessible Parking Stalls:	559 Stalls
Total Parking Stalls:	1,206
Required:	12 Stalls
Provided:	34 Stalls (2 Van, x Standard)
Bicycle Parking:	28 Spaces (5% of Visitor Parking)
Required:	28 Spaces
Provided:	
Electric Vehicle Parking:	45 Stalls (per 2016 CAL Green Code Table 5.106.5.2)
Required:	45 Stalls
Provided:	
Electric Vehicle Charging Stations (EVCS):	34 Charging Stations
Required:	34 Charging Stations
Provided:	34 Charging Stations

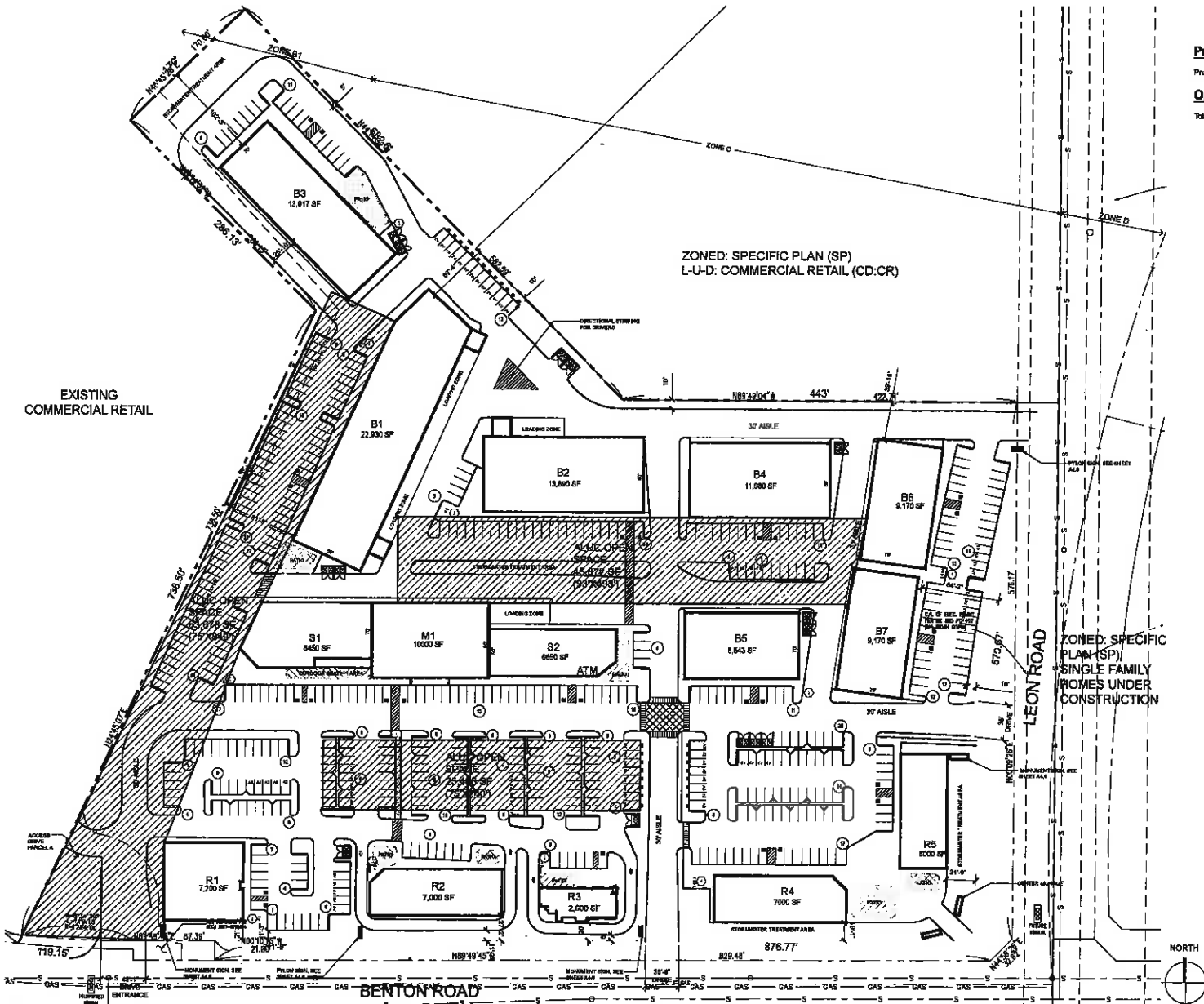
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
DEVELOPMENT SITE PLAN



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 02**  
OF 30  
DATE: March 23, 2018  
SCALE: 1"=50'-0"

**A1.0**



**Project Data**

Project Address: Benton Road and Leon Road, French Valley, CA

**Open Space Data**

Total Open Space Provided: 3.1 AC

ZONED: SPECIFIC PLAN (SP)  
L-U-D: COMMERCIAL RETAIL (CD:CR)

ZONED: SPECIFIC PLAN (SP)  
SINGLE FAMILY HOMES UNDER CONSTRUCTION

**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
ALUC EXHIBIT - OPEN SPACE



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 02 OF 38  
DATE: March 20, 2018  
SCALE: 1" = 30'-0"

A0.2

**Guerin, John**

---

**From:** Jim Roachelle <jim@ejrgroup.com>  
**Sent:** Friday, March 23, 2018 12:43 PM  
**To:** Guerin, John; Alvarez, David  
**Cc:** michael@sws-engr.com; Rob Mann; Erin Jackson  
**Subject:** Fwd: ALUC - Building Heights  
**Attachments:** ALUC Building Heights.pdf; French Valley Building Elevations.pdf

Hi John. Following up on our conversations related to the building heights, please see attached a matrix showing the height of all buildings and all the exterior elevations matching the matrix.

Please let us know if you have any questions or need further clarification. Thanks again John.

Jim Roachelle  
925-250-7118

----- Forwarded message -----

**From:** Erin Jackson <erin@ejrgroup.com>  
**Date:** Fri, Mar 23, 2018 at 12:02 PM  
**Subject:** ALUC - Building Heights  
**To:** Jim Roachelle <jim@ejrgroup.com>

Please see attached.

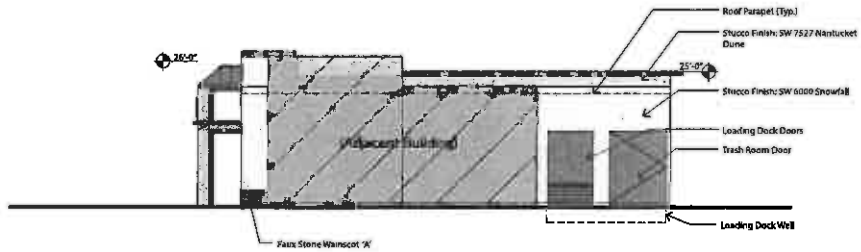
--  
Erin Jackson

EJR Group  
344 20th Street  
Oakland CA 94612  
415-254-6571  
www.ejrgroup.com

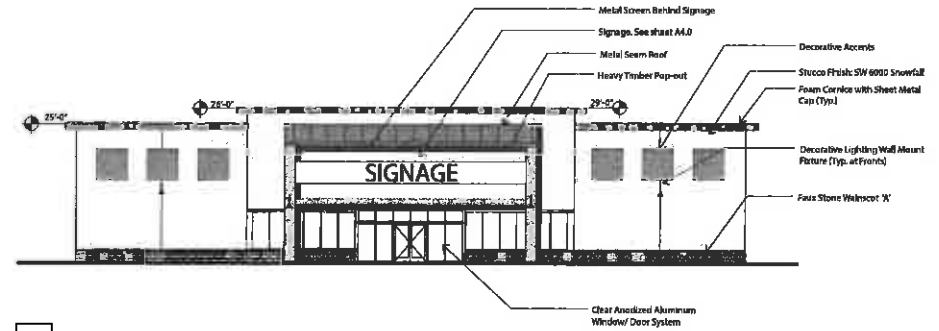
--  
Jim Roachelle  
EJR Group  
344 20th Street  
Oakland, CA 94612  
925-250-7118  
www.ejrgroup.com

<b>Parcel / Building</b>	<b>FFE</b>	<b>Max Elevation (23')</b>	<b>Current Max Height</b>	<b>Current Elevation</b>	<b>Difference in 1382</b>	<b>Notes</b>
<b>2 - R1 - 29% Restaurant/71% Non-Food Retail</b>	1351.00	1374.00	22.66	1373.66	8.34	
<b>3 - R2 - 43% Restaurant/57% Non-Food Retail</b>	1352.50	1375.50	25	1377.50	4.50	
<b>4 - R3 - 100% Restaurant</b>	1353.00	1376.00	21	1374.00	8.00	
<b>5 - R4 &amp; R5 - 38% Restaurant/62% Food Retail</b>	1357.00	1380.00	25	1382.00	0.00	
	1358.00	1381.00	24	1382.00	0.00	
<b>11 - B1</b>	1349.50	1372.50	28	1377.50	4.50	
<b>12 - B2</b>	1351.00	1374.00	28	1379.00	3.00	
<b>15 - B3</b>	1348.00	1371.00	28	1376.00	6.00	
<b>13 - B4</b>	1353.00	1376.00	28	1381.00	1.00	
<b>9 - B5</b>	1353.50	1376.50	28	1381.50	0.50	
<b>14 - B6</b>	1355.10	1378.10	26	1381.10	0.90	
<b>10 - B7</b>	1355.30	1378.30	26	1381.30	0.70	
<b>7 - M1</b>	1350.50	1373.50	29	1379.50	2.50	
<b>6 - S1</b>	1350.20	1373.20	24.83	1375.03	6.97	
<b>8 - S2 - 30% Restaurant/70% Non-Food Retail</b>	1350.80	1373.80	27.41	1378.21	3.79	
<b>Pylon Benton</b>	1352.8	1375.80	25	1377.80	4.20	
<b>Pylon Leon</b>	1355	1378.00	25	1380.00	2.00	

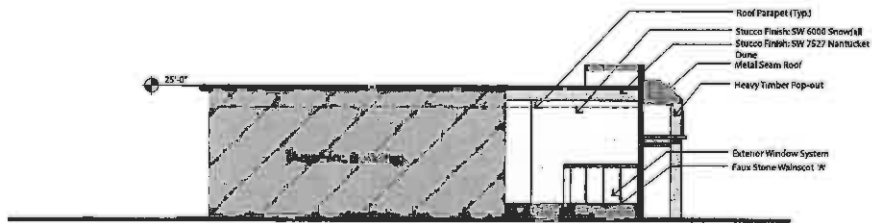




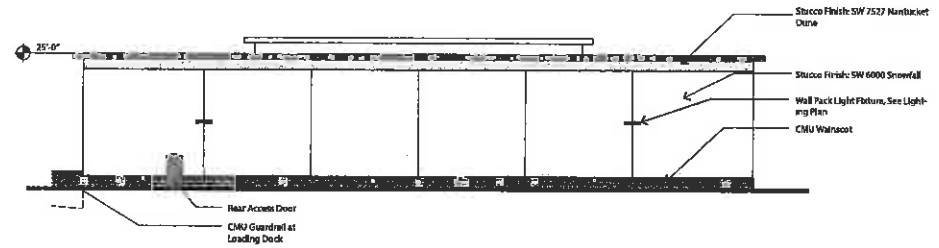
**C** Right Side Elevation



**A** Front Elevation



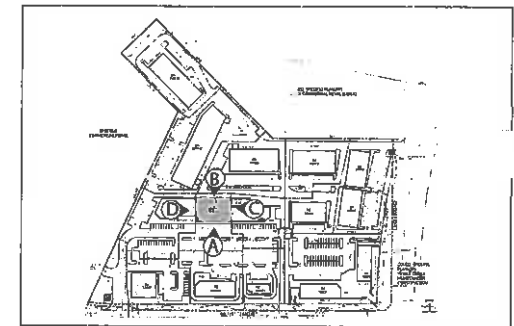
**D** Left Side Elevation



**B** Back Elevation

**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



**KEY MAP**

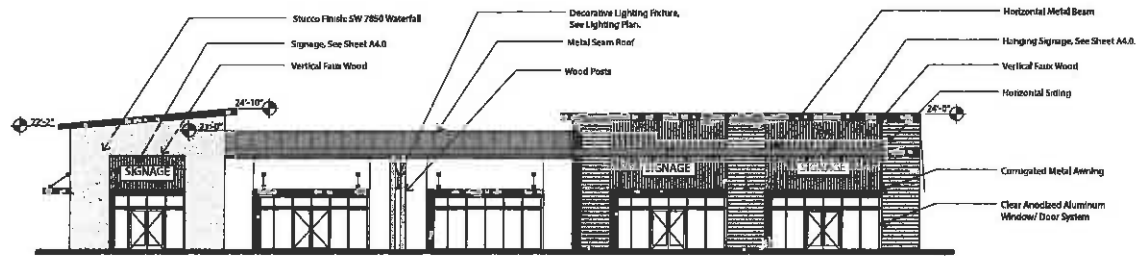
**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
M 1 BUILDING ELEVATIONS



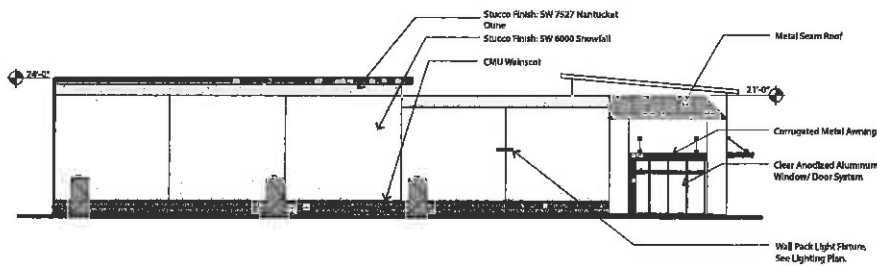
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

**DWG:** 09  
CF 98  
DATE: January 23, 2018  
SCALE: 1" = 10'-0"

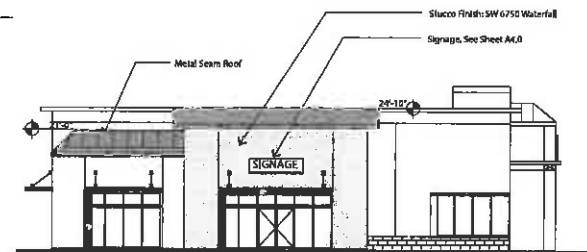
**A3.0**



**A** Front Elevation



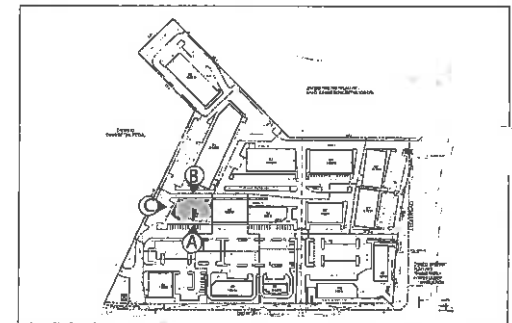
**B** Back Elevation



**C** Side Elevation

**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

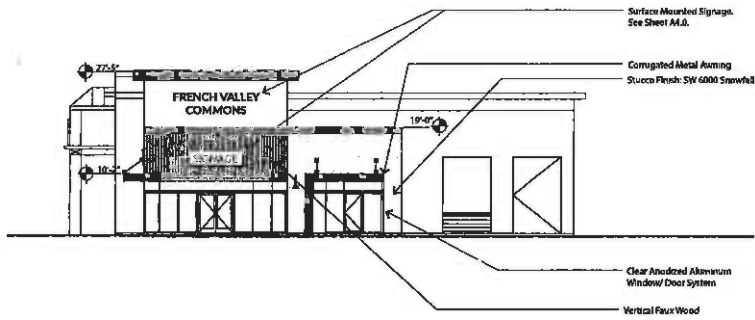
FRENCH VALLEY COMMONS FRENCH VALLEY, CALIFORNIA  
S 1 BUILDING ELEVATIONS



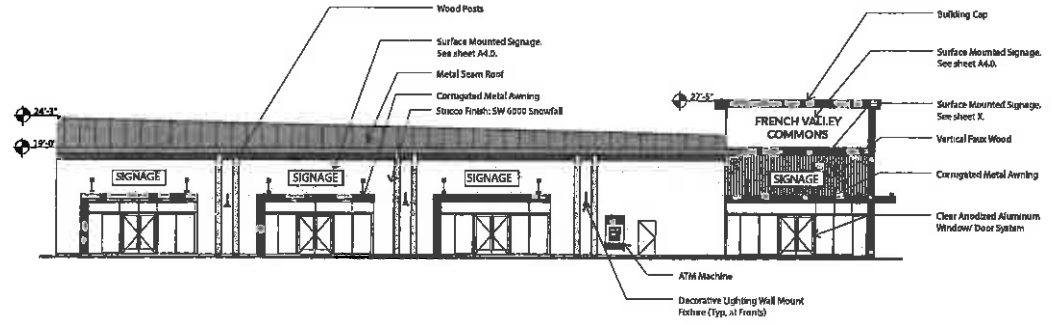
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

DWG: 10 OF 38  
DATE: January 28, 2018  
SCALE: 1" = 10'-0"

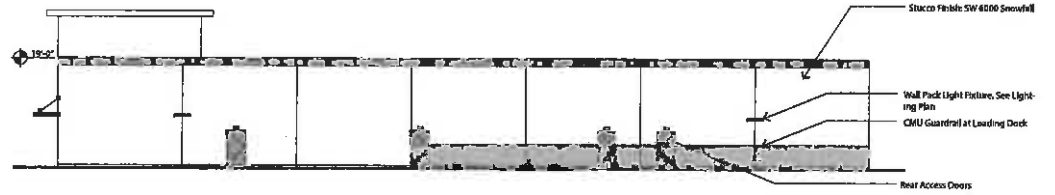
A3.1



**C** Side Elevation

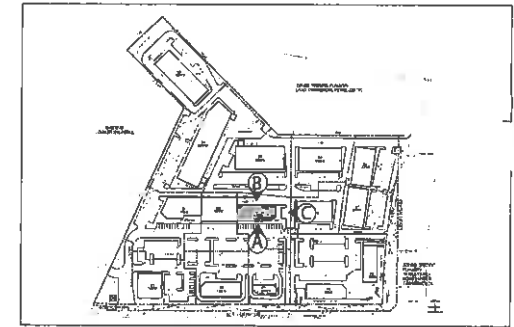


**A** Front Elevation



**B** Back Elevation

**NOTES:**  
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



**KEY MAP**

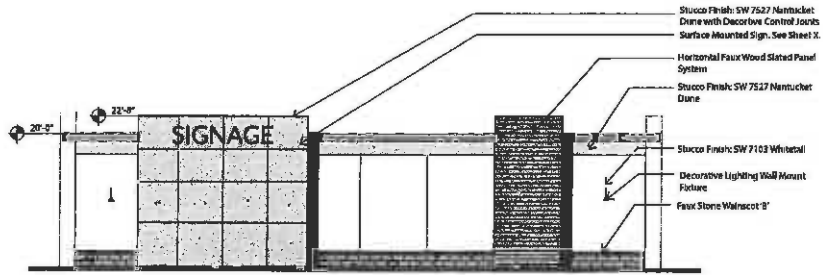
**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
S 2 BUILDING ELEVATIONS



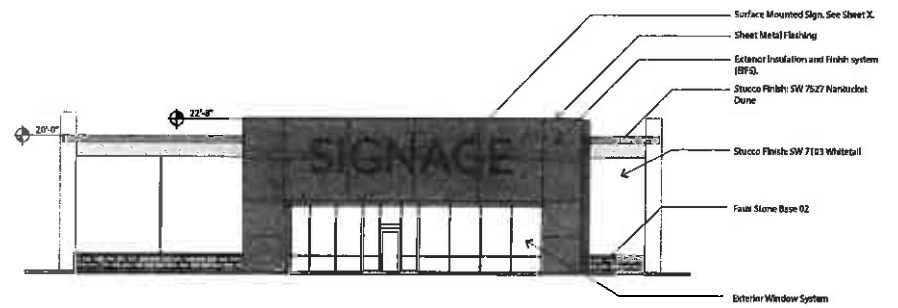
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG:** 11 OF 96  
DATE: January 23, 2018  
SCALE: 1" = 10'-0"

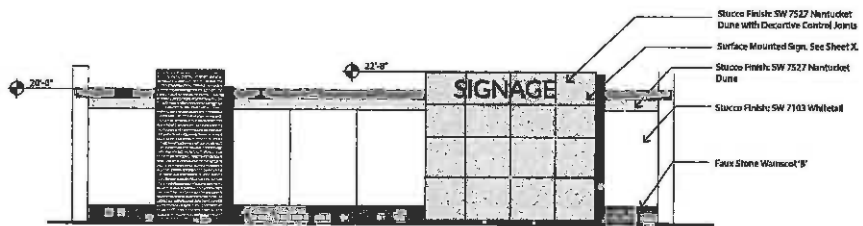
**A3.2**



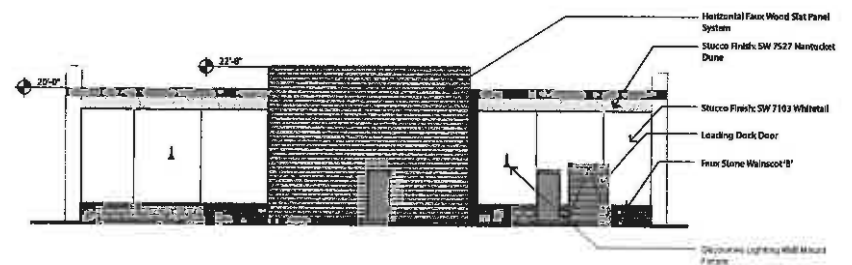
**C** Rear Elevation (Street)



**A** Front Elevation

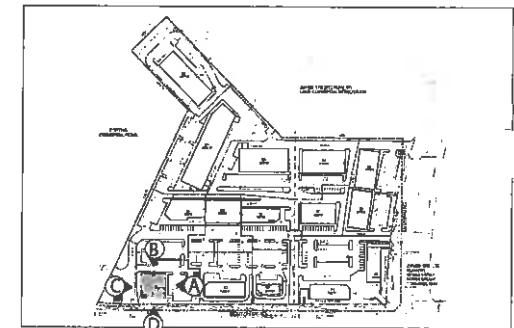


**D** Left Side Elevation

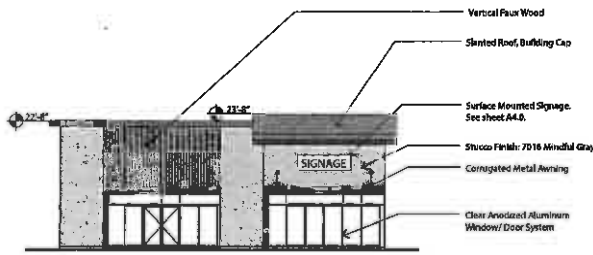


**B** Right Side Elevation

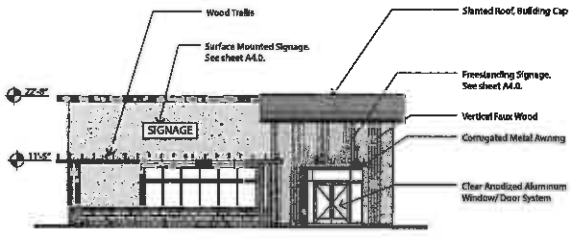
**NOTES:**  
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



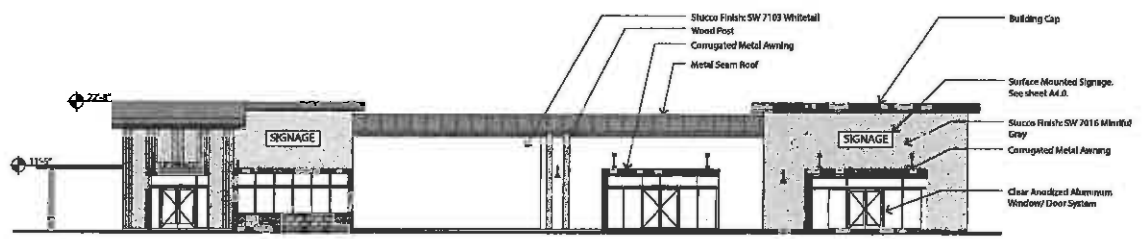
KEY MAP



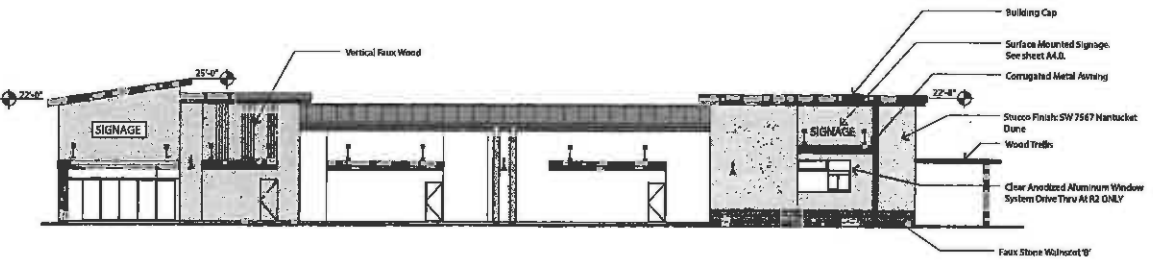
**C** Left Side Elevation (Bldg. R2 - Reversed)



**D** Right Side Elevation (Bldg. R2 - Reversed)

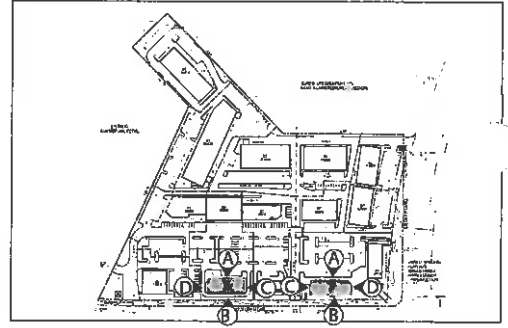


**A** Elevation

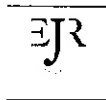


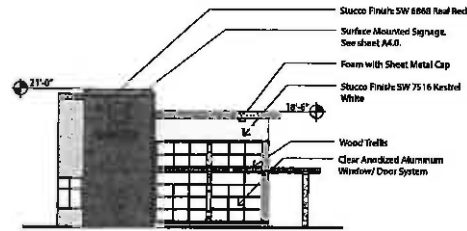
**B** Elevation

**NOTES:**  
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.

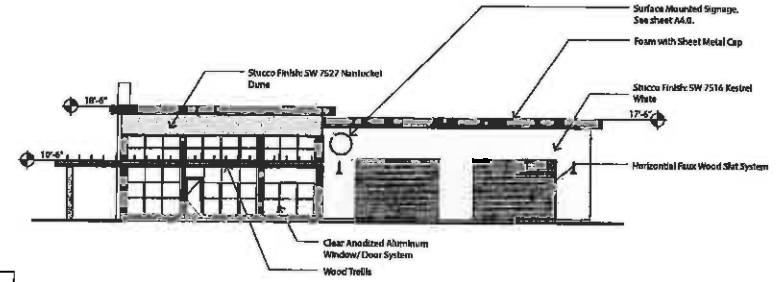


**KEY MAP**





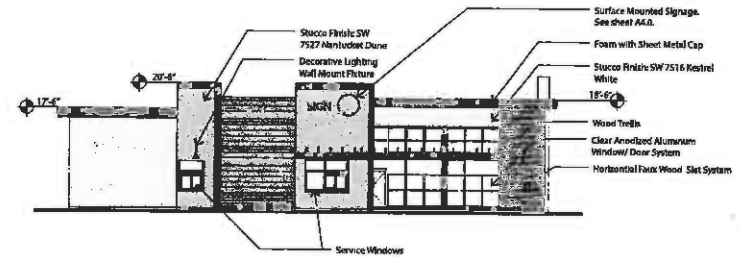
C Right Side Elevation



A Front Entry Elevation

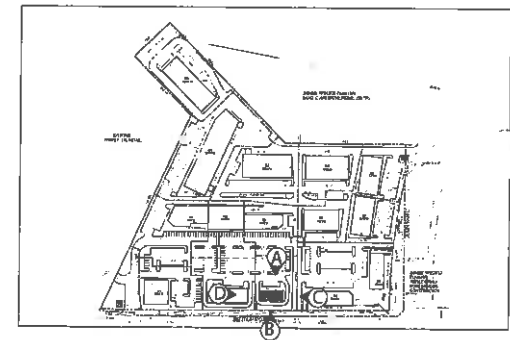


D Left Side Elevation



B Rear Elevation

**NOTES:**  
 SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

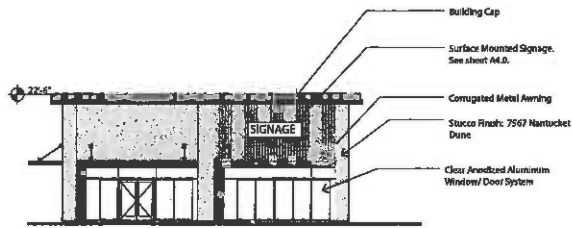
FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA  
 R 3 BUILDING ELEVATIONS



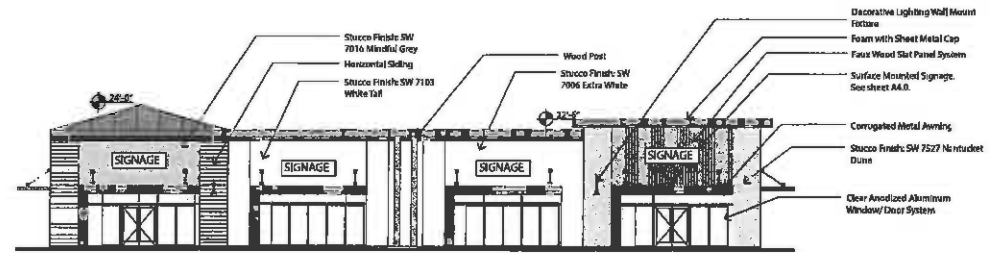
W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

DWG: 14 OF 36  
 DATE: January 23, 2018  
 SCALE: 1" = 10'-0"

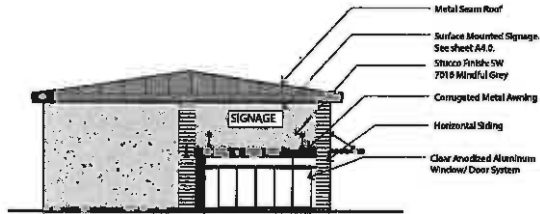
A3.5



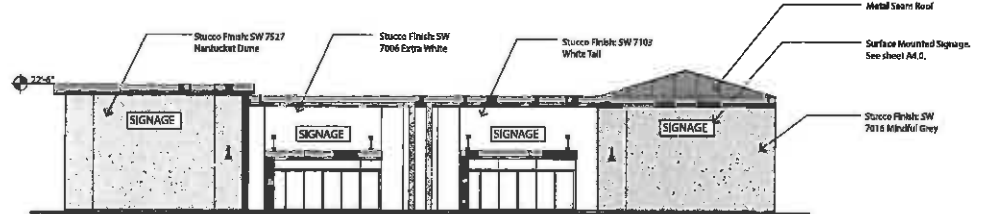
C Side Elevation



A Front Elevation



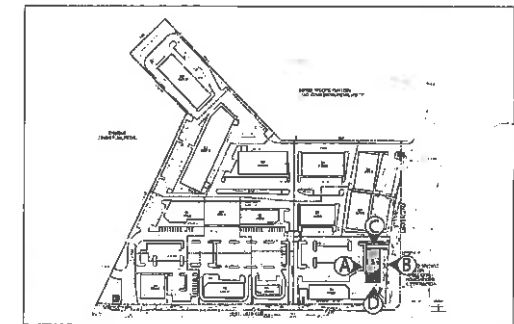
D Side Elevation



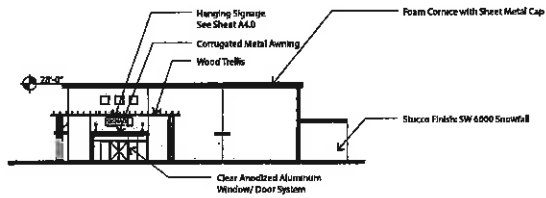
B Back Elevation

**NOTES:**

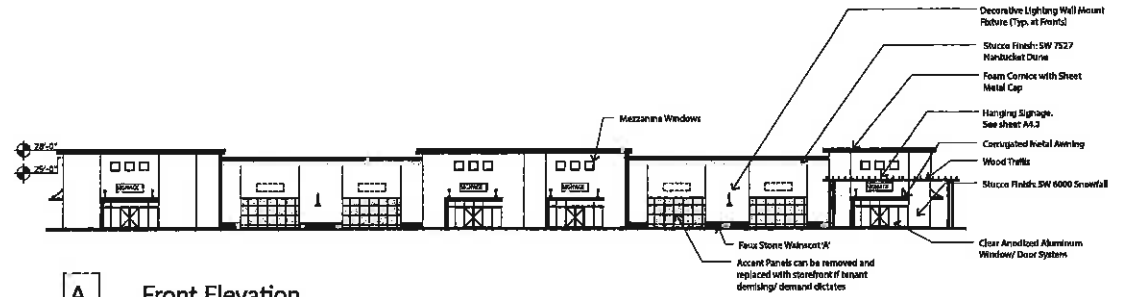
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



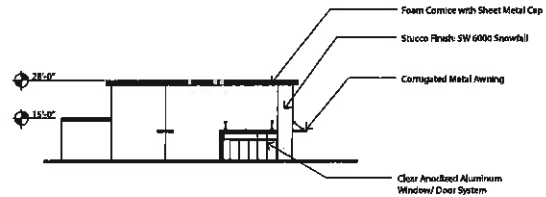
KEY MAP



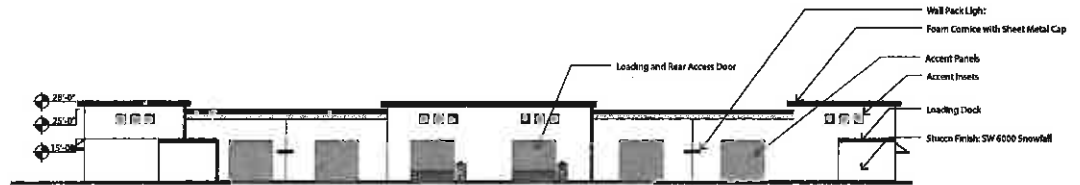
**C** Right Side Elevation



**A** Front Elevation



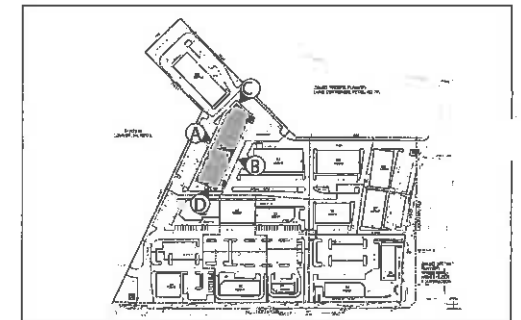
**D** Left Side Elevation



**B** Back Elevation

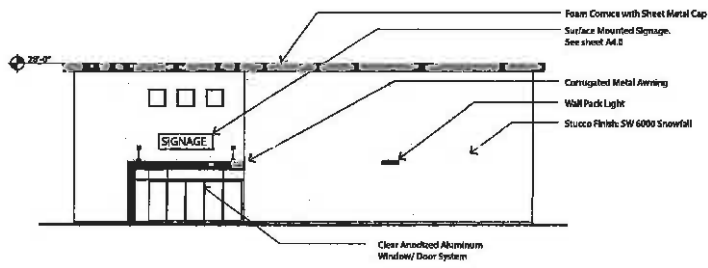
**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.

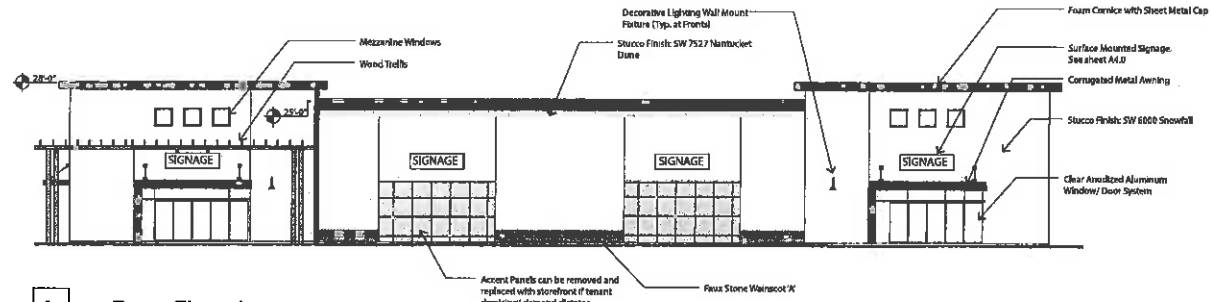


KEY MAP

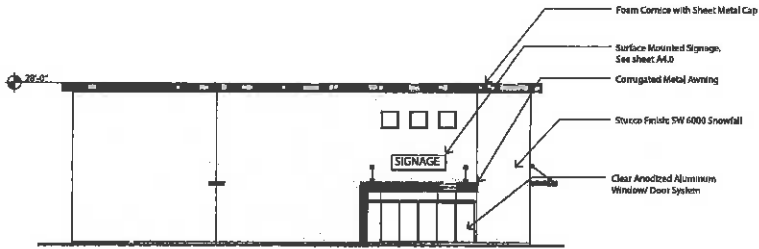




**C** Right Side Elevation



**A** Front Elevation

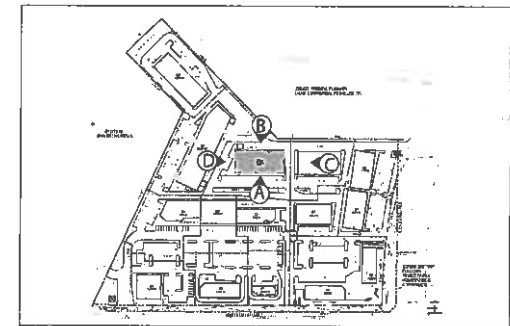


**D** Left Side Elevation

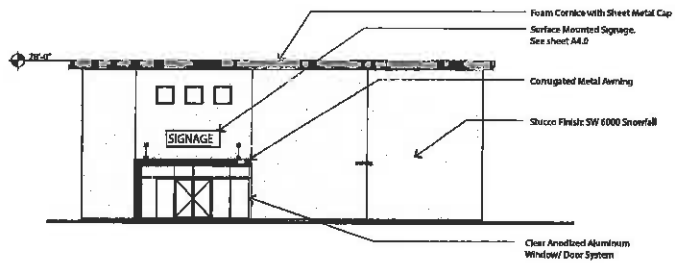


**B** Back Elevation

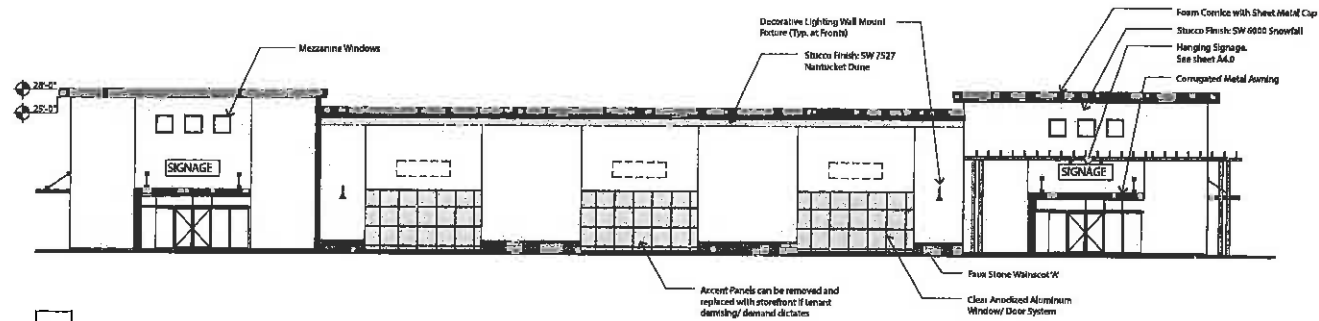
**NOTES:**  
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR MORE INFORMATION.



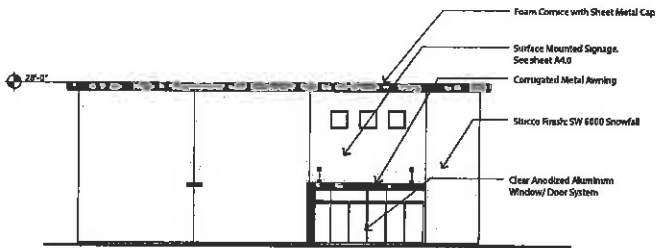
KEY MAP



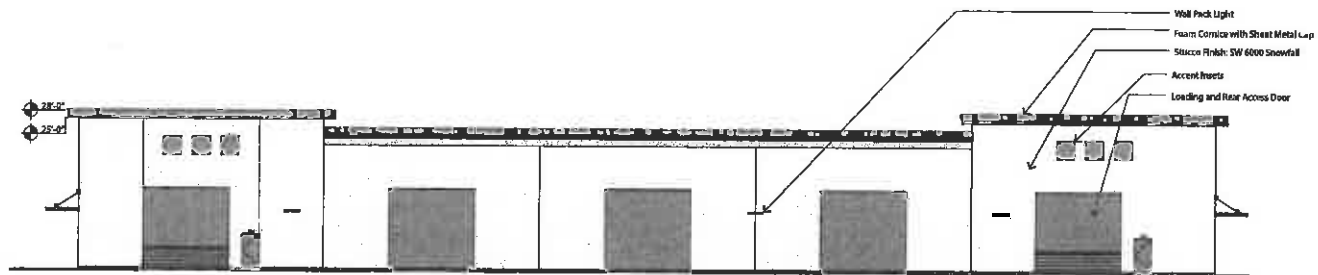
**C** Right Side Elevation



**A** Front Elevation



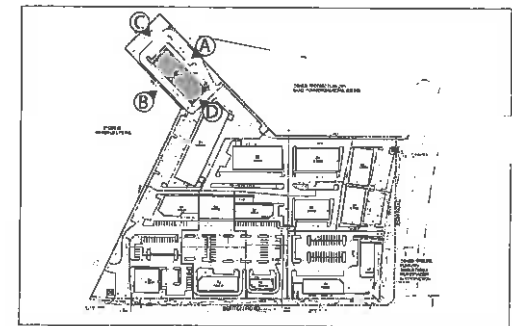
**D** Left Side Elevation



**B** Back Elevation

**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



**KEY MAP**

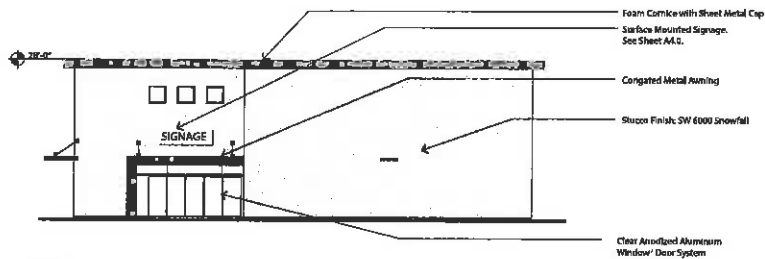
**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
 B3 BUILDING ELEVATIONS



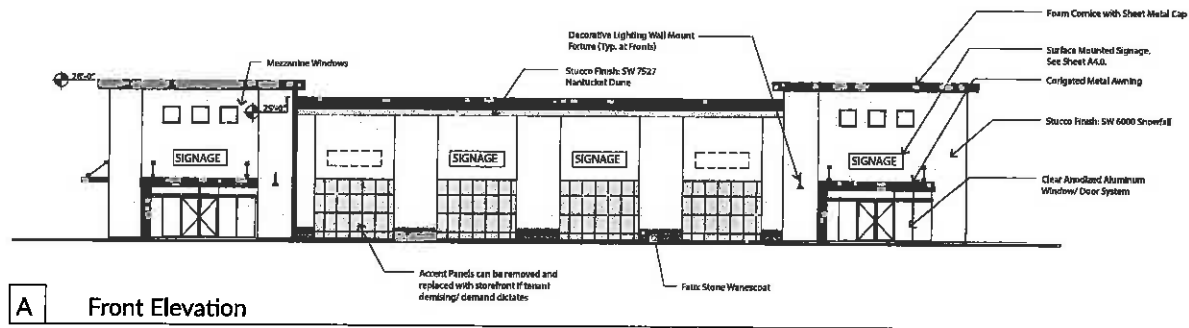
W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

**DWG: 18**  
 OF 38  
 DATE: January 28, 2018  
 SCALE: 1" = 10'-0"

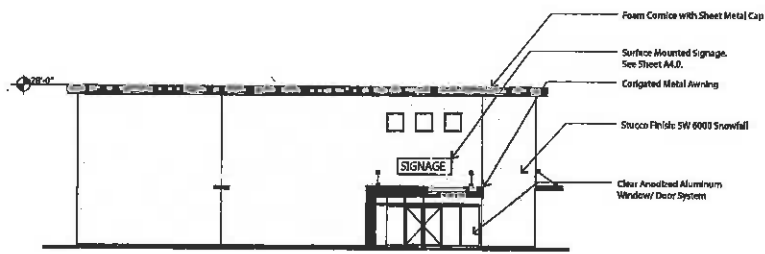
**A3.9**



**C** Right Side Elevation



**A** Front Elevation

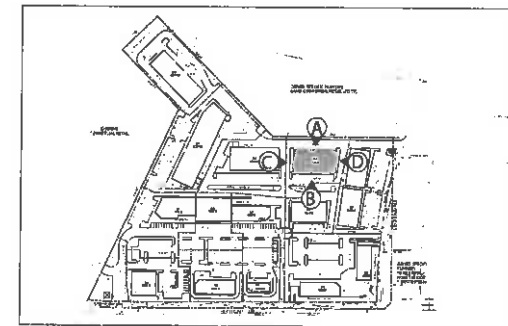


**D** Left Side Elevation



**B** Back Elevation

**NOTES:**  
SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



**KEY MAP**

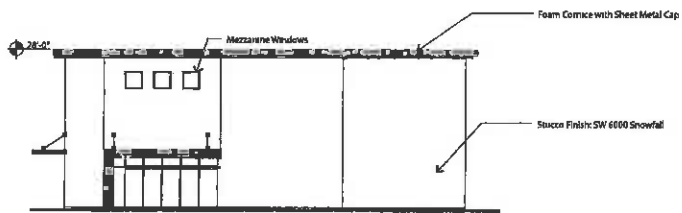
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
B 4 BUILDING ELEVATIONS



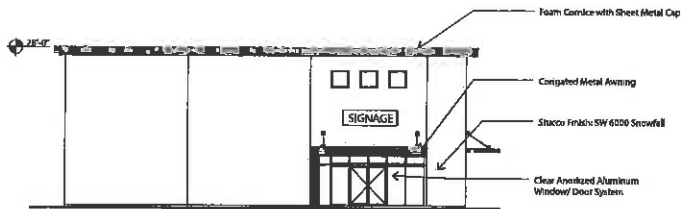
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG:** 19 OF 36  
DATE: January 23, 2018  
SCALE: 1" = 10'-0"

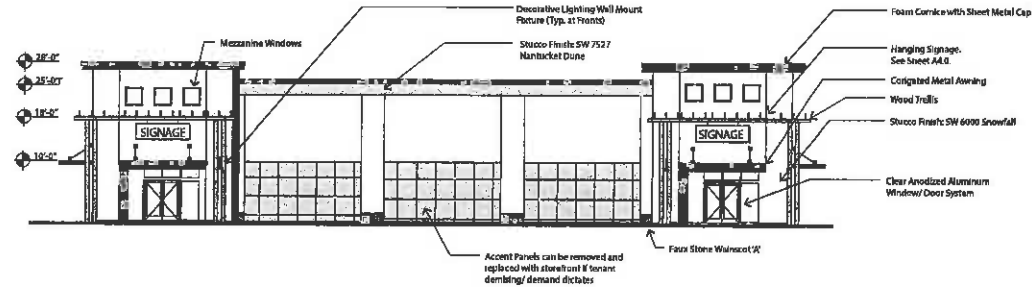
**A3.10**



**C** Left Side Elevation



**D** Right Side Elevation



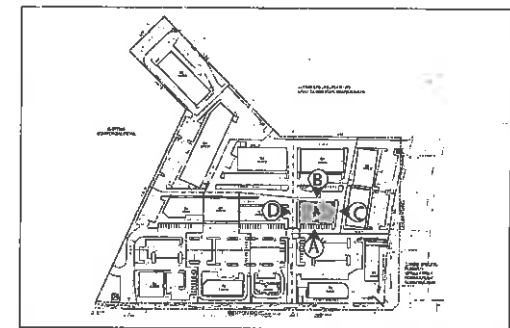
**A** Front Elevation



**B** Rear Elevation

**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



**KEYMAP**

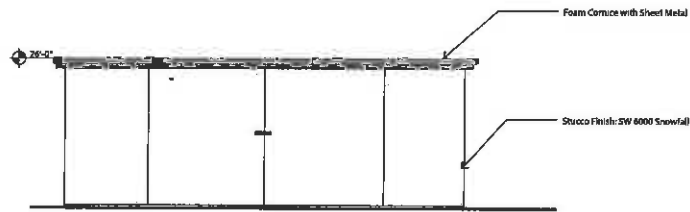
**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
 B 5 BUILDING ELEVATIONS



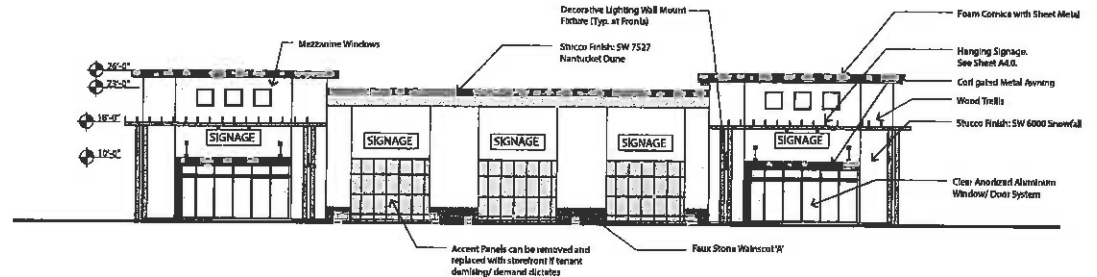
W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

**DWG: 20**  
 OF 36  
 DATE: January 23, 2018  
 SCALE: 1" = 10'-0"

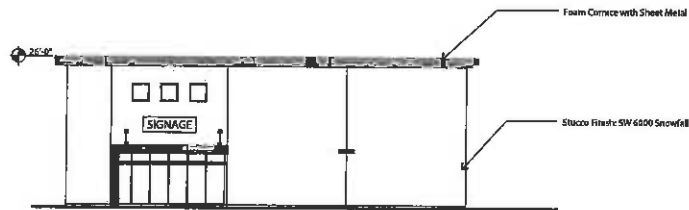
**A3.11**



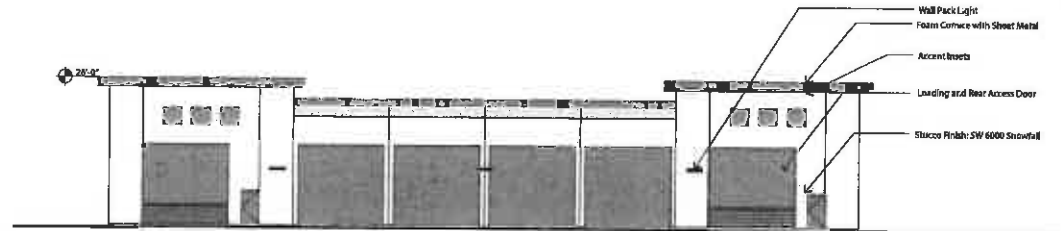
C Side Elevations



A Front Elevation



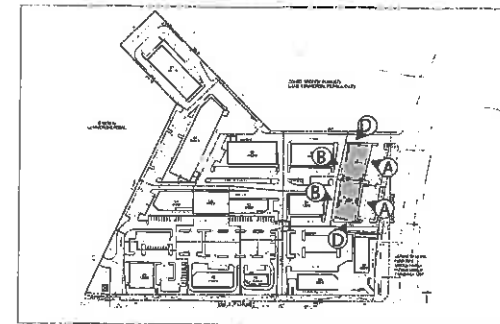
D Side Elevations



B Rear Elevation

**NOTES:**

SEE SHEET A4.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.



KEY MAP

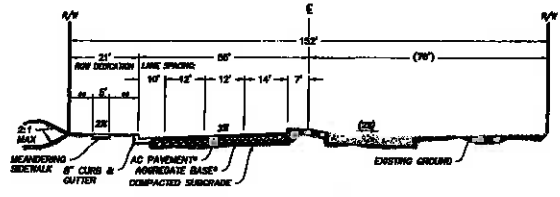
FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA  
B 6 and B 7 BUILDING ELEVATIONS



W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 21 OF 38  
DATE: JANUARY 23, 2018  
SCALE: 1" = 10'-0"

A3.12

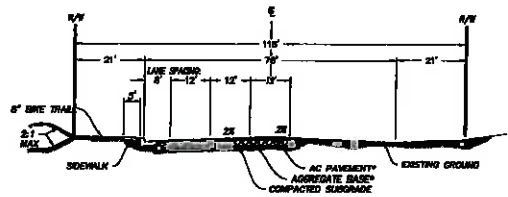


\*THICKNESS OF AB AND AC TO BE DETERMINED BY A SOIL TEST AT THE TIME OF GRADING. DISTANCE FROM SIDEWALK TO R/W VARIES.

**BENTON ROAD SECTION**

N.T.S.

NOTE: BENTON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.



\*THICKNESS OF AB AND AC TO BE DETERMINED BY A SOIL TEST AT THE TIME OF GRADING. DISTANCE FROM SIDEWALK TO R/W VARIES.

**LEON ROAD SECTION**

N.T.S.

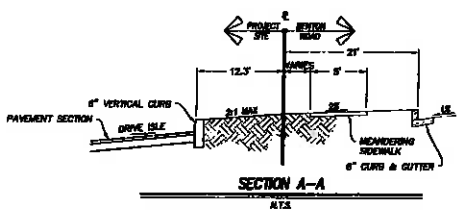
NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.

**LEGEND**

DESCRIPTION	SYMBOL
PROPOSED PROJECT BOUNDARY	---
PROPOSED RIGHT OF WAY	---
EXISTING STREET CENTERLINE	---
PROPOSED CURB AND GUTTER	---
PROPOSED STORM DRAIN PIPE	---
PROPOSED STORM DRAIN CURB INLET	□
PROPOSED STORM DRAIN ANCHOR STRUCTURE	□
EXISTING SANITARY SEWER PIPE	---
EXISTING SANITARY SEWER MANHOLE	○
PROPOSED SANITARY SEWER PIPE	---
PROPOSED SANITARY SEWER MANHOLE	○
EXISTING WATER PIPE	---
PROPOSED DOMESTIC WATER PIPE	---
PROPOSED FIRE LINE	---
PROPOSED FIRE HYDRANT	---
EXISTING GAS LINE	---
EXISTING TELEPHONE LINE	---
PROPOSED INFILTRATION BASIN	▨

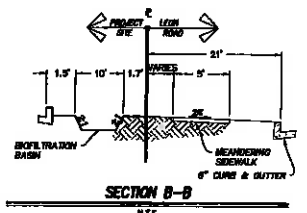
- EXISTING EASEMENTS**
- △ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS GRADING & DRAINAGE EASEMENT PER DOC. #2004-0865420
  - △ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS GRADING & DRAINAGE EASEMENT PER DOC. # 2004-0865420
  - △ R/W DEDICATION PER DOC. # 2007-0708784

NOTE:  
1. THERE ARE CURRENTLY NO STREET LIGHTS ALONG BENTON ROAD ADJACENT TO THE PROJECT SITE.



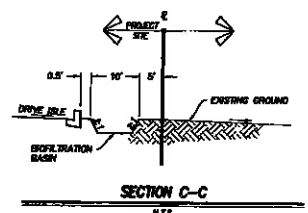
**SECTION A-A**

N.T.S.



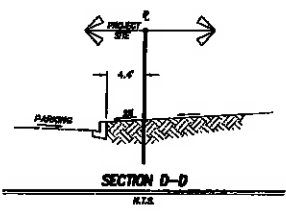
**SECTION B-B**

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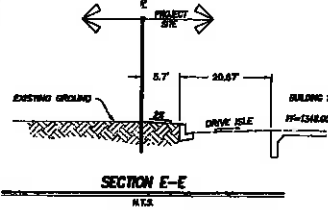
**SECTION C-C**

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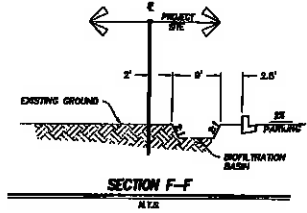
**SECTION D-D**

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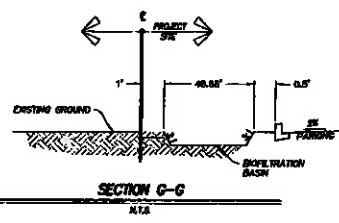
**SECTION E-E**

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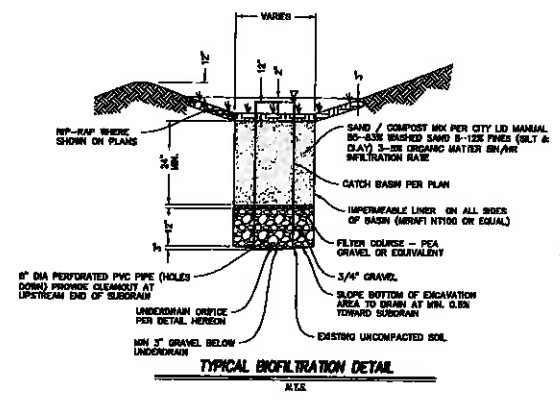
**SECTION F-F**

N.T.S.



**SECTION G-G**

N.T.S.



**SYS ENGINEERING, INC.**  
 2000 West 10th Street, Suite 100  
 Lincoln, NE 68502  
 Phone: (402) 441-1111  
 Fax: (402) 441-1112  
 Website: www.syseng.com

**APPROVED**  
 PLANNING DEPARTMENT

NO.	DATE	DESCRIPTION	DRAWN BY

SWR ENG. JOB NO. 15-078

COUNTY OF RIVERSIDE  
 TRANSPORTATION AND LAND MANAGEMENT AGENCY  
 PLANNING DEPARTMENT

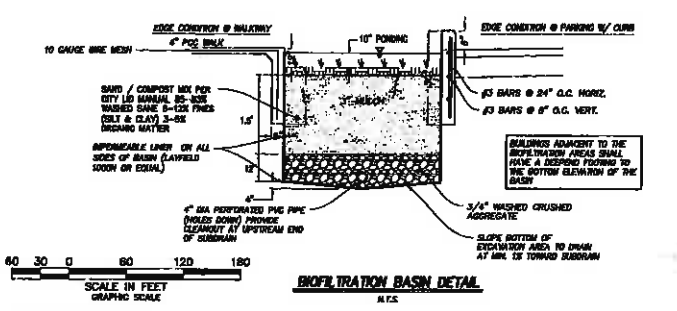
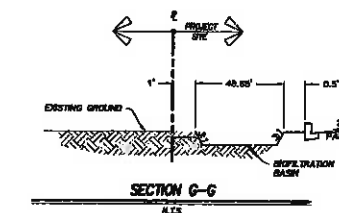
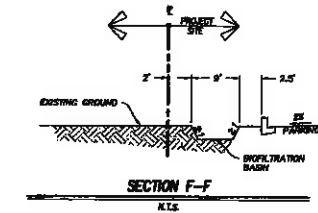
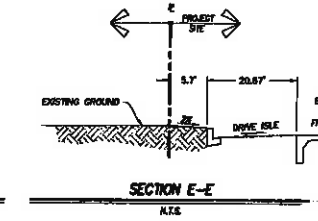
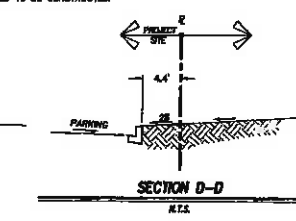
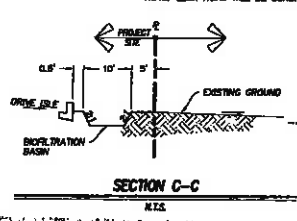
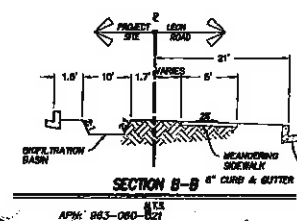
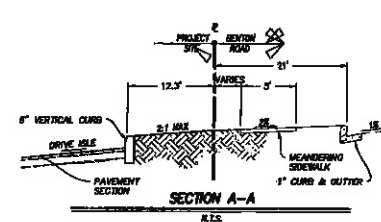
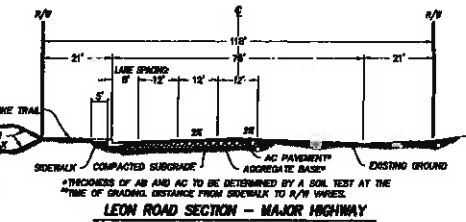
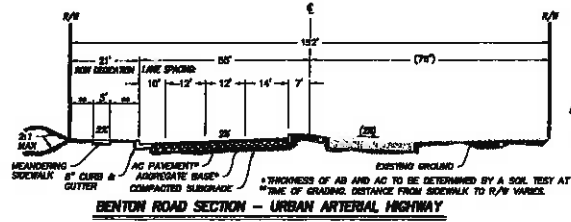
**TENTATIVE PARCEL MAP**  
 PM 37300  
 APN: 063-090-032

**WINGHESTER CROSSROADS**

**CONSTRUCTION NOTES**

- ① 2'x2' PRE-CAST CONCRETE INLET
- ② CONCRETE HEADWALL
- ③ STORM DRAIN MANHOLE PER RFD# M1231
- ④ CATCH BASIN #6 PER RFD# G5802
- ⑤ 3'x3' PRE-CAST CONCRETE INLET
- ⑥ CONNECT TO EXISTING 36" RCP
- ⑦ 4'x4' PRE-CAST CONCRETE INLET

PROPOSED INFILTRATION BASIN



**EXISTING EASEMENTS**

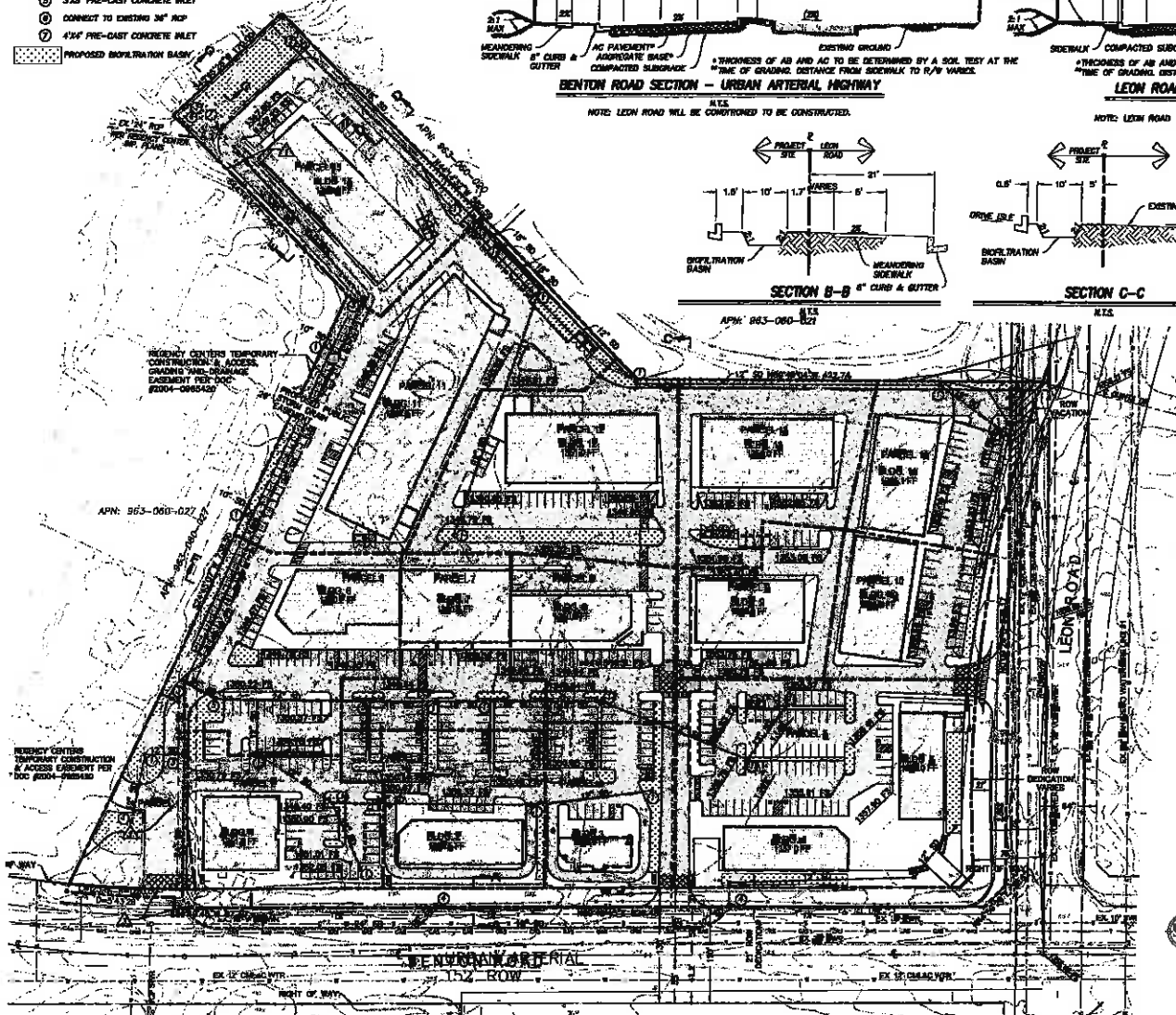
- ▲ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. #2004-0885420
- ▲ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-0885420
- ▲ R/W DEDICATION PER DOC. # 2009-0726794

**NOTES**

1. DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD MD. 2071A.
2. THERE ARE CURRENTLY NO STREET LIGHTS ON BENTON ROAD ADJACENT TO THE PROJECT SITE.

**PRELIMINARY EARTHWORK**

DATE: 11/20/13  
 FILE: 16700 CY  
 HPC#2: 8,600 CY



FRENCH VALLEY COMMONS	FRENCH VALLEY, CALIFORNIA	W DEVELOPMENT PARTNERS OF TEMECULA, LLC	DWG: 01 OF 05	C1.0
PRELIMINARY GRADING PLAN - C1.0	CUP3777	DATE: 11/20/13	SCALE: 1"=60'	

# FRENCH VALLEY COMMONS

BENTON ROAD AND LEON ROAD, FRENCH VALLEY, CA

PLANNING REVIEW RESUBMITTAL  
DECEMBER 01, 2017  
APN 963-060-032  
CUP 03777

## PROJECT DIRECTORY

### APPLICANT:

ROB MANN  
W DEVELOPMENT PARTNERS OF TEMECULA, LLC  
P.O. BOX 77564  
SAN FRANCISCO, CA 94107  
PHONE: (415) 990-6378

JIM ROACHELLE  
MANN PROPERTY COMPANY  
W DEVELOPMENT PARTNERS OF TEMECULA, LLC  
P.O. BOX 77564  
SAN FRANCISCO, CA 94107  
PHONE: (925) 250-7118

### ENTITLEMENTS AND PLANNING:

ERRI JACKSON  
EJR GROUP  
344 20TH STREET  
OAKLAND, CA 94612  
PHONE: (415) 254-6571

### CIVIL ENGINEER/SURVEY:

MICHAEL SCHWETZER  
SWS ENGINEERING, INC.  
261 AUTUMN DRIVE #115  
SAN MARCOS, CA 92069  
PHONE: (760) 444-0091

### TRAFFIC ENGINEERING:

JOHN A. BOARMAN, P.E. DC236  
CARA HILGESON DC232  
UNSCOTT, LAW & GREENSPAN, ENGINEERS  
4542 RUFFNER STREET, SUITE 100  
SAN DIEGO, CA 92111  
PHONE: (619) 300-8800

### BIOLOGICAL CONSULTANT:

PRINCIPE AND ASSOCIATES  
29881 LOS NOGALES ROAD  
TEMECULA, CALIFORNIA 92591  
PHONE: (951) 699-3040

### GEO TECHNICAL ENGINEER:

STEPHEN M. POOLE, PE, GE  
EARTH-STRATA, INC.  
26047 JEFFERSON AVENUE, SUITE C  
MURRIETA, CA 92562  
PHONE: (951) 461-4028

### CULTURAL RESOURCES CONSULTANT:

JEAN A. KELLER, PH.D.  
1042 N. EL CAMINO REAL, SUITE 2044  
ENCINITAS, CA 92024  
PHONE: (760) 295-8909

### PHOTOMETRICS:

KURT TOMASOVICH  
IMPERIAL LIGHTING  
41905 BOARDWALK SUITE G  
PALM DESERT, CA 92211  
PHONE: (760) 694-0742

### NOISE, AIR QUALITY AND GREEN HOUSE GAS CONSULTANTS:

HASEEB QURESHI  
URBAN CROSSROADS, INC.  
260 BAKER ST E  
COSTA MESA, CA 92626  
PHONE: (949) 336-5987



VICINITY MAP

## PROJECT DATA

Site Data: 612,405 SF (14.06 AC)  
Jurisdiction: County of Riverside  
Zoning: CPS Senc: Highway Commercial  
Land Use Designation: Commercial Retail (CP; CR)

THIS PROJECT SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF CALIFORNIA CONSTRUCTION CODES AND ALL COUNTY OF RIVERSIDE ORDINANCES

## SHEET INDEX

1	A0.0	TITLE SHEET
2	A1.0	PRELIMINARY SITE PLAN
3	A1.1	PHASING PLAN
4	C1.0	PRELIMINARY GRADING PLAN
5	C2.0	PRELIMINARY UTILITY PLAN
6	C3.0	WATER TABLES
7	L1.0	PRELIMINARY LANDSCAPE PLAN
8	A2.0	PHOTOMETRIC STUDY
9	A3.0	R1 BUILDING ELEVATIONS
10	A3.1	S1 BUILDING ELEVATIONS
11	A3.2	S2 BUILDING ELEVATIONS
12	A3.3	R1 BUILDING ELEVATIONS
13	A3.4	R2 and R4 BUILDING ELEVATIONS
14	A3.5	R3 BUILDING ELEVATIONS
15	A3.6	R5 BUILDING ELEVATIONS
16	A3.7	B1 BUILDING ELEVATIONS
17	A3.8	B2 BUILDING ELEVATIONS
18	A3.9	B3 BUILDING ELEVATIONS
19	A3.10	B4 BUILDING ELEVATIONS
20	A3.11	B5 BUILDING ELEVATIONS
21	A3.12	B6 and B7 BUILDING ELEVATIONS
22	A4.0	SITE SIGNAGE/TRASH ENCLOSURE
23	A4.1	COLOR AND MATERIALS BOARD
24	A5.0	M1 BUILDING FLOOR PLAN AND ROOF PLAN
25	A5.1	S1 BUILDING FLOOR PLAN AND ROOF PLAN
26	A5.2	S2 BUILDING FLOOR PLAN AND ROOF PLAN
27	A5.3	R1 BUILDING FLOOR PLAN AND ROOF PLAN
28	A5.4	R2 and R4 BUILDING FLOOR PLAN AND ROOF PLAN
29	A5.5	R3 BUILDING FLOOR PLAN AND ROOF PLAN
30	A5.6	R5 BUILDING FLOOR PLAN AND ROOF PLAN
31	A5.7	B1 BUILDING FLOOR PLAN AND ROOF PLAN
32	A5.8	B2 BUILDING FLOOR PLAN AND ROOF PLAN
33	A5.9	B3 BUILDING FLOOR PLAN AND ROOF PLAN
34	A5.10	B4 BUILDING FLOOR PLAN AND ROOF PLAN
35	A5.11	B5 BUILDING FLOOR PLAN AND ROOF PLAN
36	A5.12	B6 and B7 BUILDING FLOOR PLAN AND ROOF PLAN

FRENCH VALLEY COMMONS | FRENCH VALLEY, CALIFORNIA  
TITLE SHEET

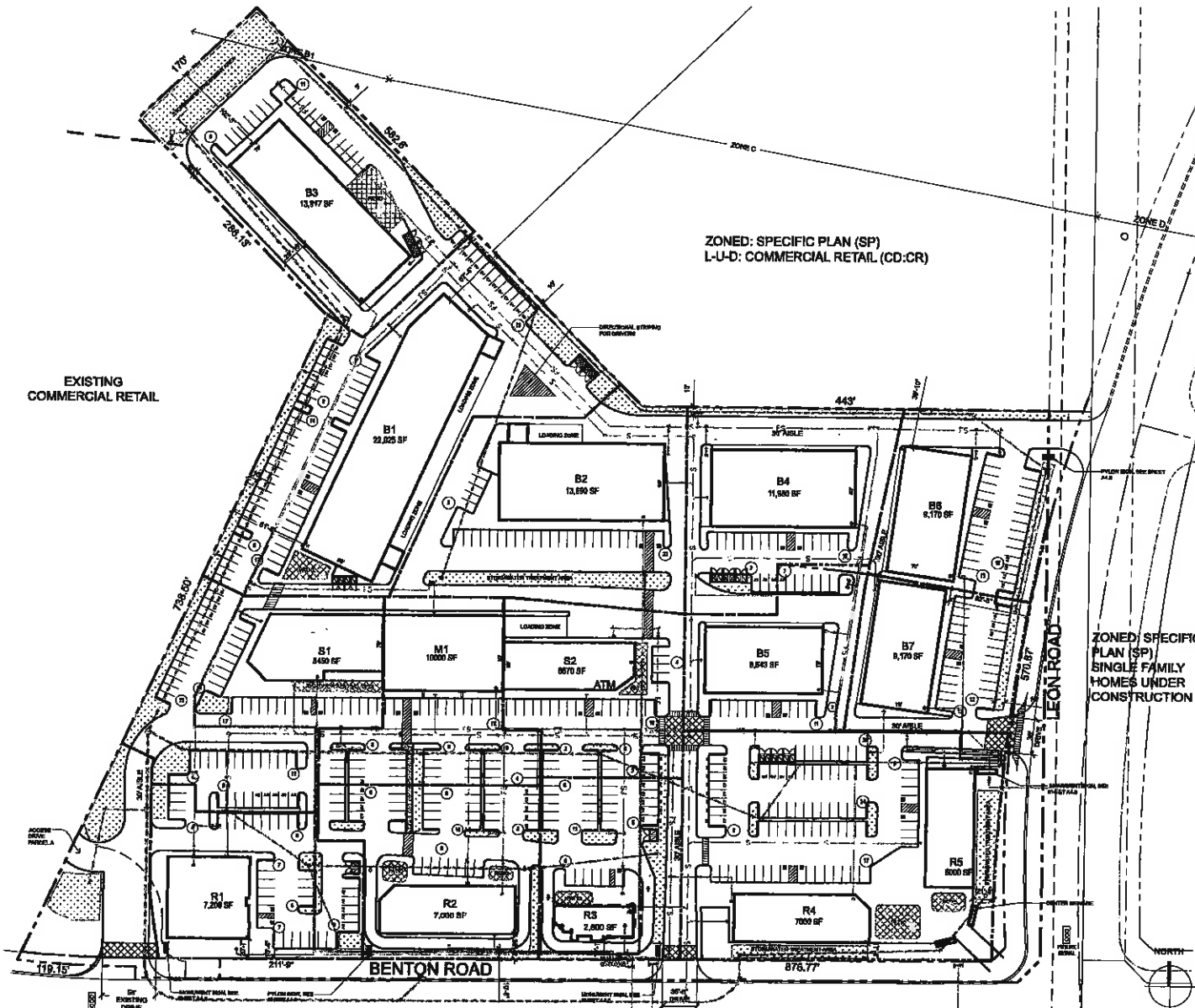


W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

DWG: 01  
OF 36  
DATE: December 01, 2017  
SCALE: NTS

A0.0





**Project Data**

Project Address: Benton Road and Leon Road, French Valley, CA

**Site Data**

RETAIL PHASE 1	207,816 SF (4.75 AC)
RETAIL PHASE 2	78,118 SF (1.80 AC)
BUSINESS PARK PHASE 1	185,894 SF (4.23 AC)
BUSINESS PARK PHASE 2	131,428 SF (2.99 AC)
PARCEL ACCESS DRIVE	18,189 SF (0.41 AC)
<b>Total:</b>	<b>813,406 SF (18.38 AC)</b>

Jurisdiction: County of Riverside  
 Zoning: Specific Highway Commercial (C-P-5)  
 Land Use Designation: Commercial Retail (CP-CR)  
 Boundaries Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWIS ENGINEERING INC.

**Building/ Parking Data**

**TOTAL GROSS FLOOR AREA: 124,386 SF**

**COUNTY PARKING REQUIREMENTS:**  
 Retail Gross Floor Area: 84,800 SF  
 RETAIL: M1-S-12 Sponsor 1,000 SF Floor Area  
 Required: 263 Spaces  
 Provided: 237 Spaces

Business Park Gross Floor Area: 39,586 SF  
 BUSINESS PARK: S-12 Sponsor 1,000 SF Floor Area  
 Required: 45 Spaces  
 Provided: 207 Spaces

**RETAIL PHASE 1:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	DRIVE THRU DOUBLE
M1 = 10,000 SF	95 (5,251,000)	30,606	
S1 = 8,450 SF	83 (7,441,000)	48,200	
S2 = 8,870 SF	37 (5,471,000)	31,235	
R1 = 7,200 SF	37 (5,141,000)	32,448	
R2 = 7,000 SF	49 (5,271,000)	34,287	12 CARS
R3 = 2,800 SF	27 (10,441,000)	30,222	7.5 CARS
<b>Total: 41,320 SF</b>	<b>286 CARS (9,211,000)</b>	<b>207,816 SF</b>	

**RETAIL PHASE 2:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:
R4 = 7,000 SF		
R5 = 8,000 SF		
<b>Total: 15,000 SF</b>	<b>78 CARS (1,011,000)</b>	<b>78,118 SF</b>

**BUSINESS PARK PHASE 1:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B1 = 22,823 SF	86 (2,841,000)	78,400	12,830 SF
B2 = 13,880 SF	28 (2,841,000)	63,782	4,800 SF
B3 = 13,872 SF	19 (1,471,000)	59,482	2,800 SF
<b>Total: 50,575 SF</b>	<b>133 CARS (3,211,000)</b>	<b>192,664 SF</b>	<b>19,000 SF</b>

**BUSINESS PARK PHASE 2:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	MAX OFFICE:
B4 = 11,360 SF	22 (1,841,000)	39,421	3,400 SF
B5 = 8,843 SF	17 (2,841,000)	28,003	2,800 SF
B6 = 8,170 SF	27 (2,841,000)	31,131	4,800 SF
B7 = 8,170 SF	24 (2,841,000)	28,244	4,200 SF
<b>Total: 36,543 SF</b>	<b>84 CARS (3,411,000)</b>	<b>127,800 SF</b>	<b>16,000 SF</b>

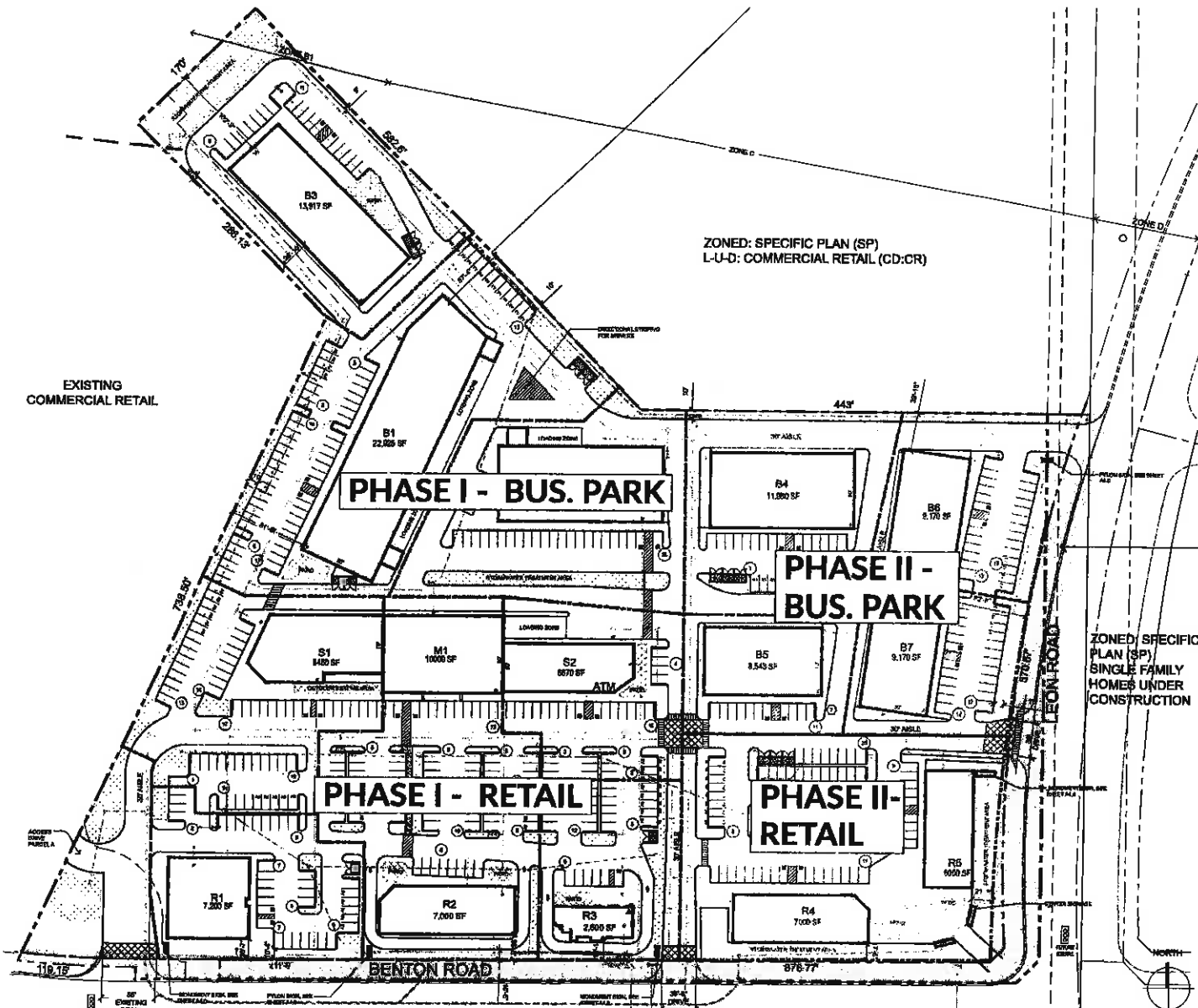
**Additional Parking Data**

**Accessible Parking Stalls:**  
 Total Parking Stalls: 899 Stalls  
 Required: 13 Stalls  
 Provided: 34 Stalls (2 Van, 2 Standard)

**Bicycle Parking:**  
 Required: 28 Spaces (5% of Visitor Parking)  
 Provided: 28 Spaces

**Electric Vehicle Parking:**  
 Required: 45 Stalls (per 2018 CAL Green Code Table 5.106.8.2)  
 Provided: 45 Stalls

**Electric Vehicle Charging Stations (EVCS):**  
 Required: 34 Charging Stations  
 Provided: 34 Charging Stations



**Project Data**

Project Address: Benton Road and Leon Road, French Valley, CA

**Site Data**

RETAIL PHASE 1 207,818 SF (4.76 AC)  
 RETAIL PHASE 2 76,168 SF (1.60 AC)  
 BUSINESS PARK PHASE 1 185,894 SF (4.27 AC)  
 BUSINESS PARK PHASE 2 121,829 SF (2.80 AC)  
 PARCELA ACCESS DRIVE 16,109 SF (0.44 AC)

Total: 612,408 SF (14.06 AC)

Jurisdiction: County of Riverside

Zoning: Specific Highway Commercial (S-P-S)  
 Land Use Designation: Commercial Retail (CP: CR)

Boundaries Information: THIS PLAN HAS BEEN PREPARED BY USING SITE DATA INFORMATION FROM SWG ENGINEERING INC.

**Building/ Parking Data**

TOTAL GROSS FLOOR AREA: 143,000 SF

**COUNTY PARKING REQUIREMENTS:**

Retail Gross Floor Area: 54,876 SF  
 RETAIL BLDG: 6-12 Spaces/1,000 SF Floor Area  
 Required: 325 Spaces  
 Provided: 337 Spaces

Business Park Gross Floor Area: 88,124 SF  
 BUSINESS PARK: 2 Spaces/1,000 SF Floor Area  
 Required: 48 Spaces  
 Provided: 297 Spaces

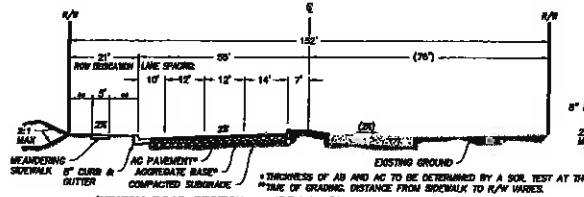
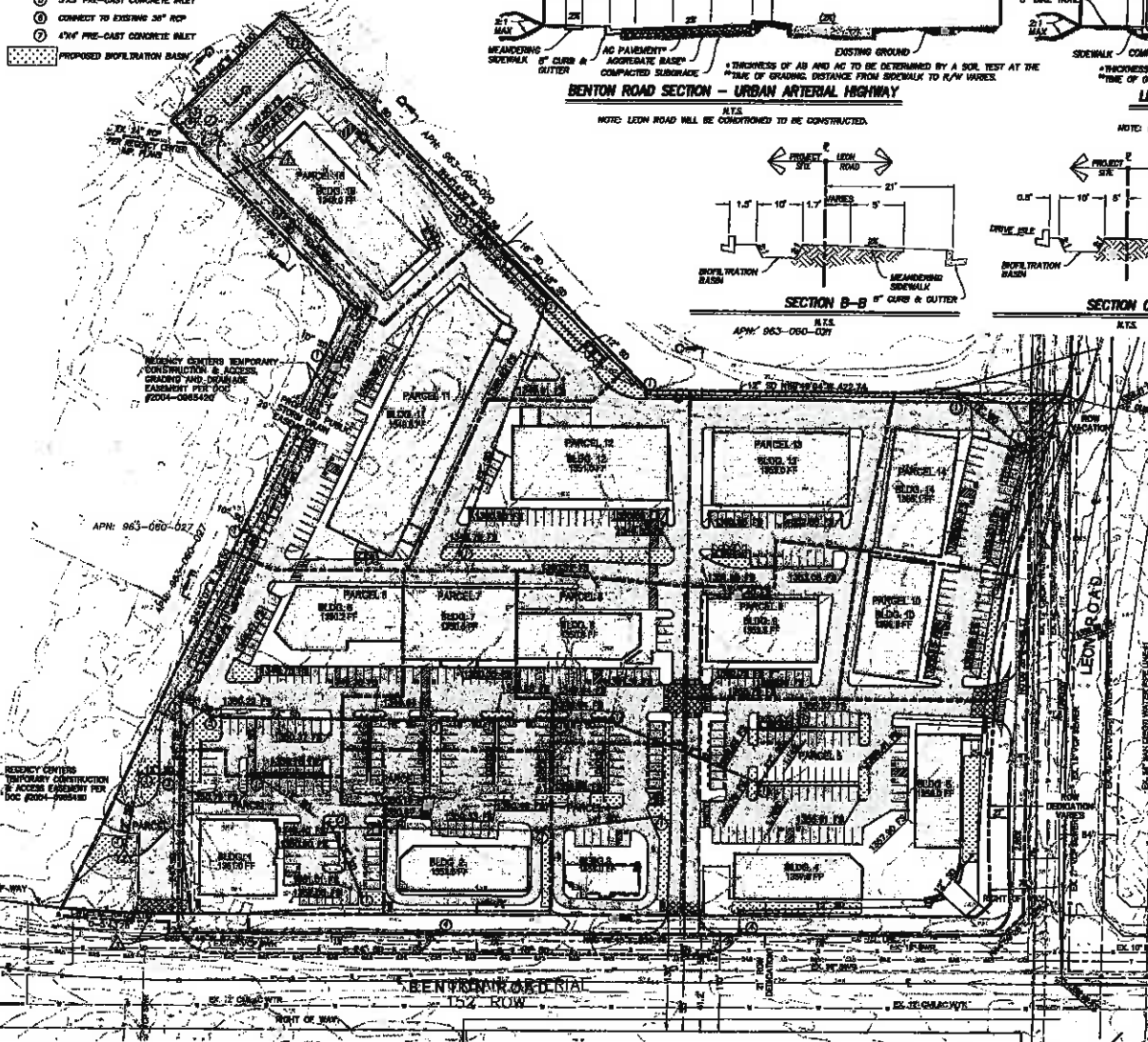
**RETAIL PHASE 1:**

BUILDING AREA:	PARKING PROVIDED:	PARCEL:	DRIVE THRU QUEUE
M1 = 10,000 SF	58 (5,811,000)	30,908	
S1 = 8,480 SF	80 (7,411,000)	48,900	
S2 = 6,870 SF	37 (5,891,000)	31,236	
R1 = 7,200 SF	37 (5,171,000)	35,448	
R2 = 7,000 SF	40 (5,171,000)	34,887	12 CARS
S3 = 2,800 SF	27 (15,411,000)	20,432	7.5 CARS
<b>Total: 41,850 SF</b>	<b>289 CARS (8,271,000)</b>	<b>267,815 SF</b>	

Right of Way Work and Drive Aisle to be Done by Developer

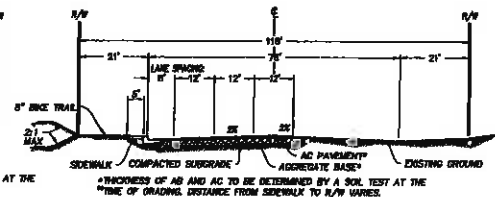
**CONSTRUCTION NOTES**

- ① 2'x2' PRE-CAST CONCRETE INLET
- ② CONCRETE REINFORCE
- ③ STORM DRAIN MANHOLE PER RWD# 0802
- ④ DATCH BASIN AS PER RWD# 0802
- ⑤ 3'x3' PRE-CAST CONCRETE INLET
- ⑥ CONNECT TO EXISTING 36" RCP
- ⑦ 4'x4' PRE-CAST CONCRETE INLET



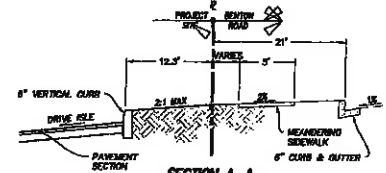
**BENTON ROAD SECTION - URBAN ARTERIAL HIGHWAY**

NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.

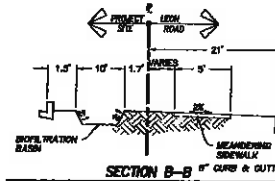


**LEON ROAD SECTION - MAJOR HIGHWAY**

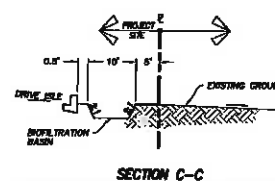
NOTE: LEON ROAD WILL BE CONDITIONED TO BE CONSTRUCTED.



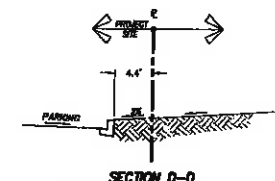
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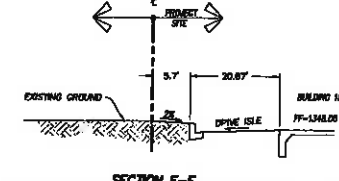
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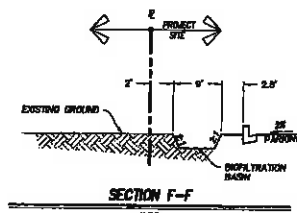
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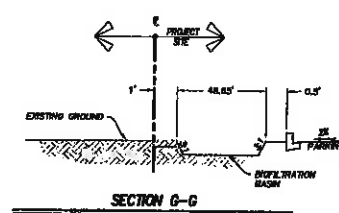
**SECTION D-D**



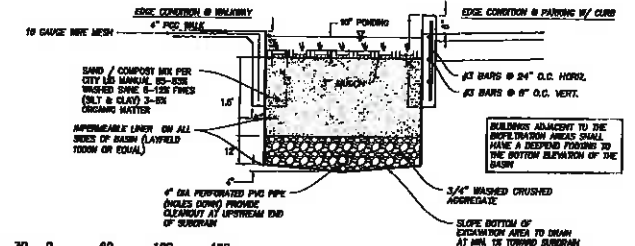
**SECTION E-E**



**SECTION F-F**



**SECTION G-G**



**BIOPERMEABLE BASKIN DETAIL**



**EXISTING EASEMENTS**

- ▲ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-0865420
- ▲ REGENCY CENTERS TEMPORARY CONSTRUCTION & ACCESS, GRADING & DRAINAGE EASEMENT PER DOC. # 2004-0865420
- ▲ R/W DEDICATION PER DOC. # 2007-0787764

**NOTES**

1. DRIVEWAYS SHALL BE CONSTRUCTED TO COUNTY STANDARD
2. THERE ARE CURRENTLY NO STREET LIGHTS ON BENTON ROAD ADJACENT TO THE PROJECT SITE.

**PRELIMINARY EARTHWORK**

CUT	11,758 CY
FILL	16,758 CY
IMPORT	8,020 CY



**SW'S ENGINEERING, INC.**  
 Civil, Mechanical & Landscape Architecture  
 701 Avenue 16th, Suite 102 | 7043 Franklin Parkway, 10th Fl.  
 San Ramon, CA 94583 | Fremont, CA 94538  
 916-724-8400 | 916-724-8400 | 916-724-8400

**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA

PRELIMINARY GRADING PLAN

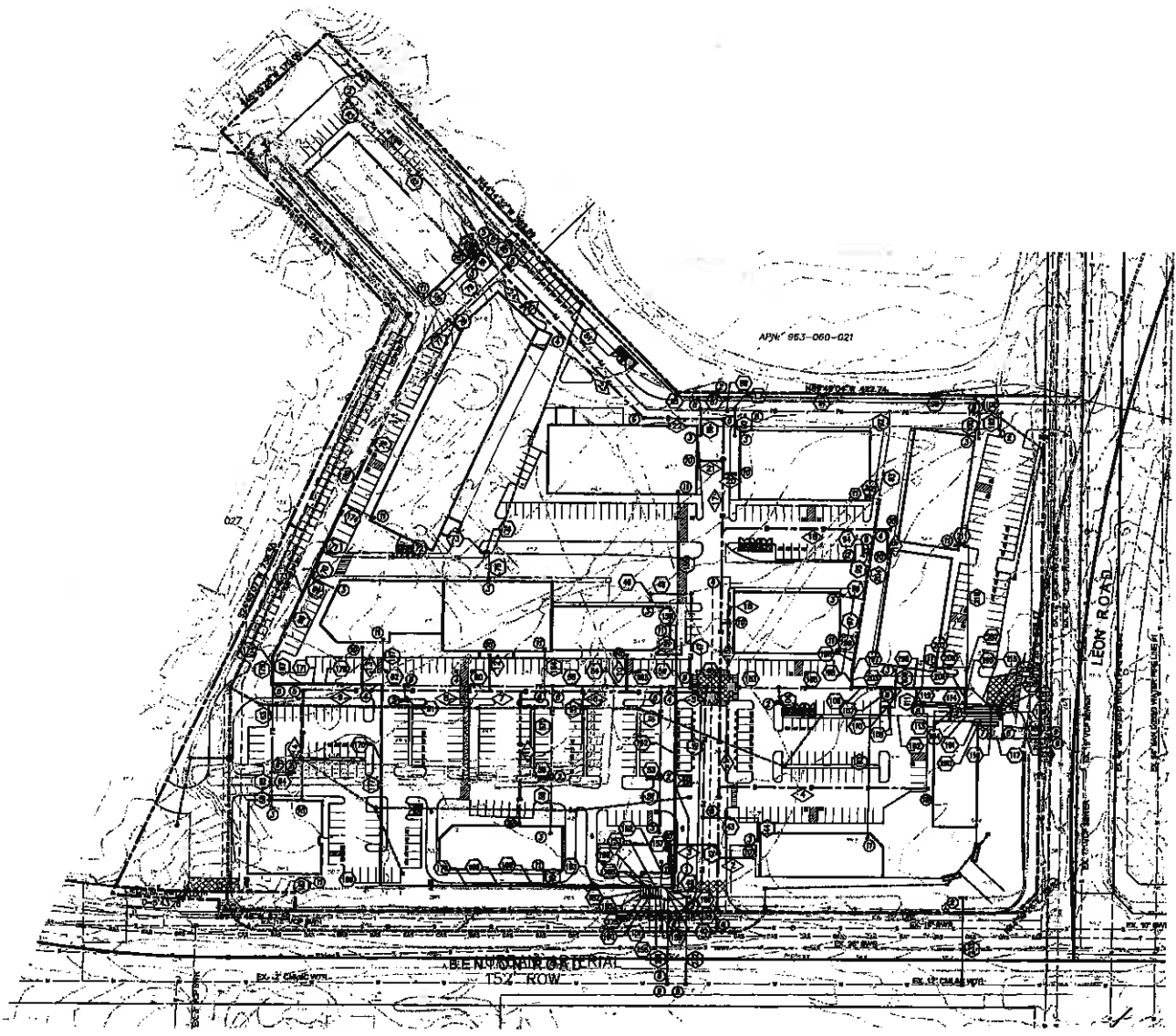
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG - 04 OF 26

DATE: December 01, 2017

SCALE: NTS

**C1.0**

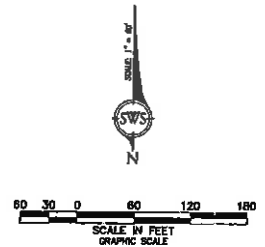


PUBLIC WATER DATA TABLE			
SYM	LENGTH	DELTA/BRG.	DESCRIPTION
②	54.88'	S88°46'10"W	12" SDI 40 PVC
②	97.38'	N00°11'00"W	12" SDI 40 PVC
②	101.08'	N00°11'00"W	12" C-900 PVC
②	101.08'	S00°11'00"E	12" C-900 PVC

SEWER DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
⑩	274.68'	S00°00'00"E	12" SDR-35
⑩	41.25'	N00°00'00"W	12" SDR-35
⑩	38.60'	S89°48'44"W	12" SDR-35
⑩	244.81'	N00°00'00"W	12" SDR-35
⑩	29.37'	N00°00'00"E	12" SDR-35
⑩	140.83'	N00°00'00"E	12" SDR-35
⑩	100.00'	N00°00'00"E	12" SDR-35
⑩	98.88'	N00°00'00"E	12" SDR-35
⑩	79.00'	N00°00'00"E	12" SDR-35
⑩	44.40'	S00°00'00"E	12" SDR-35
⑩	182.78'	S00°18'18"E	12" SDR-35
⑩	43.64'	S00°00'00"E	12" SDR-35
⑩	81.90'	S00°00'00"E	12" SDR-35
⑩	129.38'	N00°00'00"E	12" SDR-35
⑩	123.64'	S00°00'00"E	12" SDR-35
⑩	10.97'	N00°00'00"W	12" SDR-35
⑩	189.60'	N00°00'00"E	12" SDR-35
⑩	184.28'	N00°00'00"W	12" SDR-35
⑩	32.85'	N00°00'00"E	12" SDR-35
⑩	15.46'	N00°00'00"W	12" SDR-35
⑩	28.84'	S89°48'44"W	12" SDR-35
⑩	92.62'	N88°49'04"W	12" SDR-35
⑩	140.07'	N44°14'32"W	12" SDR-35
⑩	141.17'	N44°14'32"W	12" SDR-35
⑩	11.97'	N45°45'28"E	12" SDR-35
⑩	11.97'	N45°45'28"E	12" SDR-35

- CONSTRUCTION NOTES**
- ① 1" WATER METER & BACKFLOW PREVENTER
  - ② FIRE HYDRANT
  - ③ PVC & PPV
  - ④ 12" SEWER CLEANOUT
  - ⑤ 6" SEWER CLEANOUT
  - ⑥ SS MANHOLE
  - ⑦ 8" GATE VALVE
  - ⑧ CONNECT TO EXISTING 12" GALVA
  - ⑨ 4" SS P.I.C. TO BUILDING
  - ⑩ 12" DOMESTIC WATER P.I.C. TO BUILDING

NOTE: SEE SHEET 2 FOR WATER AND FIRE SERVICE DATA TABLES



**SWS ENGINEERING, INC.**  
 Civil Engineers • Land Planners • Surveyors  
 281 Arroyo Blvd., Suite 115 | Irvine, CA 92618 | (949) 261-1111  
 200 Wilshire, Suite 1000 | Beverly Hills, CA 90212 | (310) 274-2400

<h1 style="margin: 0;">FRENCH VALLEY COMMONS</h1> <p style="margin: 0;">PRELIMINARY UTILITY PLAN</p>	<p style="margin: 0;">FRENCH VALLEY, CALIFORNIA</p>	<p style="margin: 0;">W DEVELOPMENT PARTNERS OF TEMECULA, LLC</p>	<p style="margin: 0;"><b>DWG</b> 05 OF 38</p> <p style="margin: 0;">DATE: December 01, 2017</p> <p style="margin: 0;">SCALE: NTS</p>	<p style="margin: 0;"><b>C2.0</b></p>
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WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
40	9.18'	N00°00'00"E	1" C-800 PVC
41	38.09'	N00°00'00"E	1" C-800 PVC
42	86.17'	S00°24'47"W	1" C-800 PVC
43	83.11'	N00°00'00"W	1" C-800 PVC
44	26.18'	N00°00'00"E	1" C-800 PVC
45	133.42'	N00°24'47"E	1" C-800 PVC
46	17.88'	N00°00'00"E	1" C-800 PVC
47	108.15'	S00°00'00"E	1" C-800 PVC
48	48.35'	N00°00'00"E	1" C-800 PVC
49	7.90'	N00°00'00"E	1" C-800 PVC
50	33.48'	N00°00'00"E	1" C-800 PVC
51	108.71'	N00°00'00"E	1" C-800 PVC
52	82.82'	N00°00'00"E	1" C-800 PVC
53	71.13'	N00°00'00"E	1" C-800 PVC
54	80.10'	N00°00'00"E	1" C-800 PVC
55	83.41'	N00°00'00"E	1" C-800 PVC
56	148.98'	N00°00'00"E	1" C-800 PVC
57	108.17'	N00°00'00"E	1" C-800 PVC
58	83.92'	N00°00'00"E	1" C-800 PVC
59	113.3'	N00°00'00"E	1" C-800 PVC
60	198.94'	N00°00'00"E	1" C-800 PVC
61	18.85'	N00°00'00"E	1" C-800 PVC
62	191.31'	N00°00'00"E	1" C-800 PVC
63	103.42'	N00°00'00"E	1" C-800 PVC
64	24.85'	N00°00'00"W	1" C-800 PVC
65	22.04'	N00°00'00"E	1" C-800 PVC
66	20.15'	N00°00'00"E	1" C-800 PVC
67	33.04'	S00°00'00"E	1" C-800 PVC
68	100.99'	S14°02'07"W	1" C-800 PVC
69	27.22'	N03°14'53"W	1" C-800 PVC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
70	31.87'	N24°40'07"E	1" C-800 PVC
71	14.17'	N03°14'53"W	1" C-800 PVC
72	172.44'	S89°53'28"E	1" C-800 PVC
73	2.81'	S00°04'37"W	1" C-800 PVC
74	8.83'	N00°00'00"E	1" C-800 PVC
75	32.14'	S00°00'00"E	1" C-800 PVC
76	284.81'	N24°40'07"E	1" C-800 PVC
77	41.91'	N40°48'28"E	1" C-800 PVC
78	18.04'	N44°14'32"W	1" C-800 PVC
79	81.47'	N48°48'28"E	1" C-800 PVC
80	31.85'	N44°14'32"W	1" C-800 PVC
81	31.83'	S40°48'28"W	1" C-800 PVC
82	216.23'	N44°14'32"W	1" C-800 PVC
83	26.01'	N44°14'32"W	1" C-800 PVC
84	233.99'	N44°14'32"W	1" C-800 PVC
85	61.73'	S89°48'04"E	1" C-800 PVC
86	28.32'	N00°00'00"E	1" C-800 PVC
87	30.81'	S89°48'04"E	1" C-800 PVC
88	15.18'	S00°13'50"W	1" C-800 PVC
89	8.54'	S09°48'04"E	1" C-800 PVC
90	29.38'	N00°00'00"E	1" C-800 PVC
91	172.89'	S89°48'04"E	1" C-800 PVC
92	24.83'	N00°00'00"E	1" C-800 PVC
93	139.81'	S08°28'39"W	1" C-800 PVC
94	8.83'	S78°54'31"E	1" C-800 PVC
95	61.52'	S08°28'39"W	1" C-800 PVC
96	23.98'	S81°23'51"E	1" C-800 PVC
97	88.23'	S08°28'39"W	1" C-800 PVC
98	18.45'	S00°00'00"E	1" C-800 PVC
99	102.89'	S89°48'04"E	1" C-800 PVC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
100	29.32'	N00°00'00"E	1" C-800 PVC
101	34.83'	S89°48'04"E	1" C-800 PVC
102	22.38'	N00°00'00"E	1" C-800 PVC
103	54.38'	N00°00'00"E	1" C-800 PVC
104	17.25'	S00°00'00"E	1" C-800 PVC
105	82.99'	N00°00'00"E	1" C-800 PVC
106	34.73'	N00°00'00"E	1" C-800 PVC
107	21.11'	N00°00'00"E	1" C-800 PVC
108	18.27'	N00°00'00"W	1" C-800 PVC
109	44.50'	N00°00'00"E	1" C-800 PVC
110	40.82'	N00°00'00"E	1" C-800 PVC
111	18.28'	N00°00'00"E	1" C-800 PVC
112	38.91'	N00°00'00"W	1" C-800 PVC
113	18.10'	S00°00'00"E	1" C-800 PVC
114	83.91'	N48°00'00"W	1" C-800 PVC
115	31.08'	N48°00'00"W	1" C-800 PVC
116	35.79'	N00°00'00"E	1" C-800 PVC
117	13.32'	N08°48'10"E	1" C-800 PVC
118	18.78'	S09°38'20"W	1" C-800 PVC
119	24.12'	S09°38'20"W	1" C-800 PVC
120	38.77'	N00°00'00"E	1" C-800 PVC
121	6.90'	N00°21'40"W	1" C-800 PVC
122	18.38'	S02°38'20"W	1" C-800 PVC
123	467.48'	S00°21'40"E	1" C-800 PVC
124	8.90'	N00°21'40"W	1" C-800 PVC
125	21.28'	S02°38'20"W	1" C-800 PVC
126	307.18'	S00°21'40"E	1" C-800 PVC
127	10.28'	N09°38'20"E	1" C-800 PVC
128	10.80'	N00°21'40"W	1" C-800 PVC
129	23.90'	S02°38'20"W	1" C-800 PVC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
130	234.87'	S00°21'40"E	1" C-800 PVC
131	149.88'	N00°00'00"E	1" C-800 PVC
132	43.14'	S00°00'00"E	1" C-800 PVC
133	12.58'	N00°21'40"W	1" C-800 PVC
134	308.35'	N09°38'20"E	1" C-800 PVC
135	288.83'	S00°21'40"E	1" C-800 PVC
136	11.80'	N00°21'40"W	1" C-800 PVC
137	307.43'	N09°38'20"E	1" C-800 PVC
138	229.10'	S00°21'40"E	1" C-800 PVC
139	128.21'	N00°00'00"E	1" C-800 PVC
140	31.28'	S00°00'00"E	1" C-800 PVC
141	191.48'	S24°48'07"W	1" C-800 PVC
142	38.40'	N08°14'53"W	1" C-800 PVC
143	10.80'	N00°21'40"W	1" C-800 PVC
144	305.78'	N09°38'20"E	1" C-800 PVC
145	837.10'	S00°21'40"E	1" C-800 PVC
146	128.22'	N00°00'00"E	1" C-800 PVC
147	23.48'	S00°00'00"E	1" C-800 PVC
148	441.63'	S24°48'07"W	1" C-800 PVC
149	22.95'	S44°12'33"E	1" C-800 PVC
150	9.80'	N00°21'40"W	1" C-800 PVC
151	114.81'	N09°38'20"E	1" C-800 PVC
152	18.53'	S00°10'48"E	1" C-800 PVC
153	8.60'	N00°21'40"W	1" C-800 PVC
154	378.74'	N09°38'20"E	1" C-800 PVC
155	8.94'	N00°00'00"E	1" C-800 PVC
156	27.22'	S00°00'00"E	1" C-800 PVC
157	14.88'	N00°00'00"E	1" C-800 PVC
158	28.13'	N00°00'00"E	1" C-800 PVC
159	6.87'	N00°00'00"E	1" C-800 PVC

WATERLINE AND FIRE SERVICE DATA TABLE			
SYM	LENGTH	BEARING	DESCRIPTION
160	148.88'	N00°00'00"E	1" C-800 PVC
161	143.43'	N00°00'00"E	1" C-800 PVC
162	40.39'	N00°00'00"W	1" C-800 PVC
163	28.98'	S00°00'00"E	1" C-800 PVC
164	128.02'	N00°00'00"E	1" C-800 PVC
165	12.38'	S00°00'00"E	1" C-800 PVC
166	23.88'	S08°28'39"W	1" C-800 PVC
167	31.37'	S01°33'21"E	1" C-800 PVC
168	26.39'	N00°00'00"W	1" C-800 PVC
169	28.04'	S00°00'00"E	1" C-800 PVC
170	128.02'	N00°00'00"E	1" C-800 PVC
171	16.39'	S00°00'00"E	1" C-800 PVC
172	198.81'	S08°28'39"W	1" C-800 PVC
173	18.80'	S01°33'21"E	1" C-800 PVC
174	38.39'	N00°00'00"E	1" C-800 PVC
175	48.27'	S00°00'00"E	1" C-800 PVC
176	29.17'	N00°00'00"E	1" C-800 PVC
177	37.28'	N00°00'00"W	1" C-800 PVC
178	185.34'	S00°00'00"E	1" C-800 PVC
179	14.88'	N00°00'00"E	1" C-800 PVC

FRENCH VALLEY COMMONS  
PRELIMINARY WATER TABLE

FRENCH VALLEY,  
CALIFORNIA

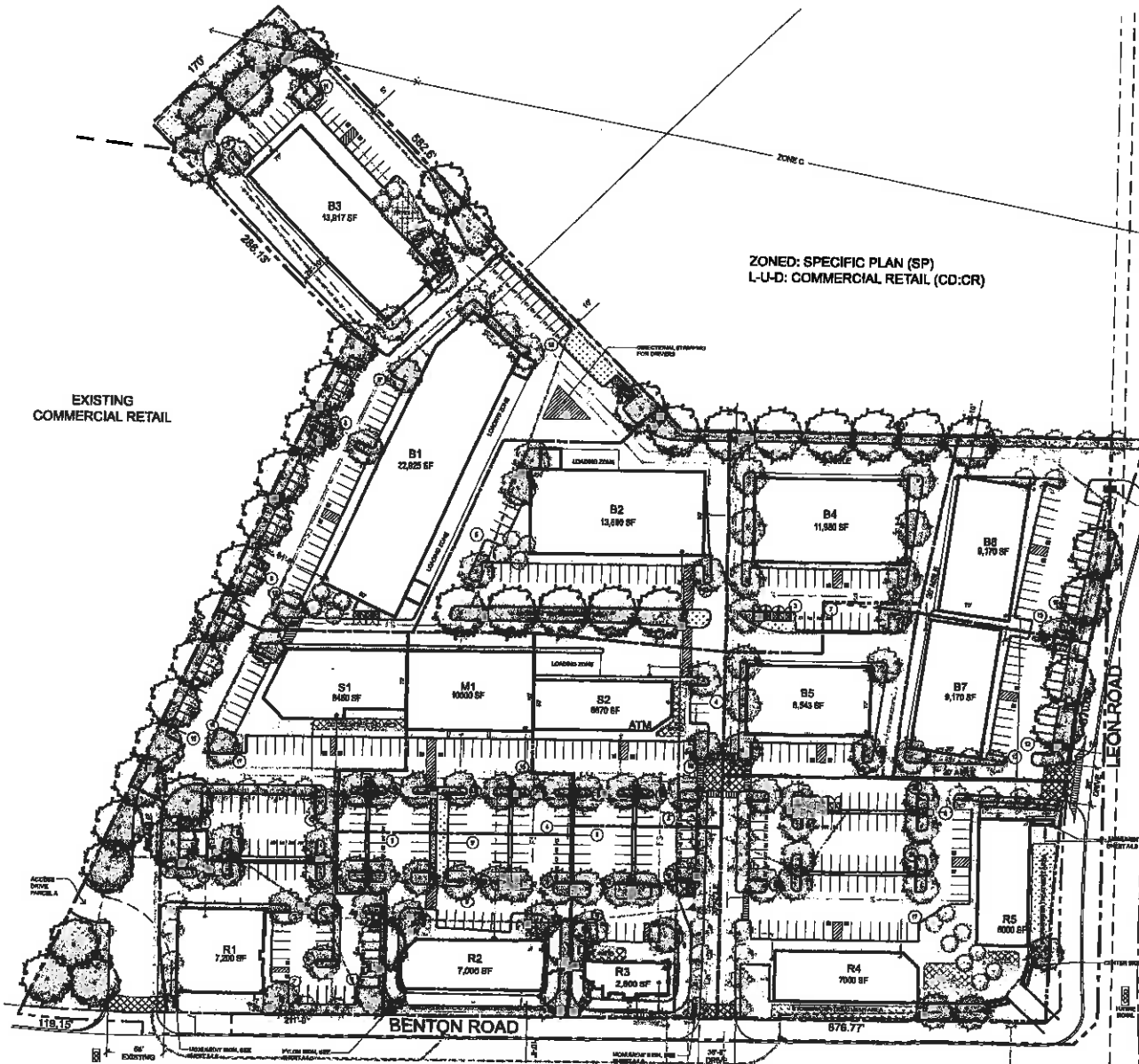
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC



SWS ENGINEERING, INC.  
Civil • Mechanical • Electrical • Surveying  
3375 Avenida Del Rio, Suite 115 | Temecula, CA 92592  
P: 951-261-0000 | F: 951-261-0001 | E: info@swseng.com

DWG: 06  
OF 36  
DATE: December 01, 2017  
SCALE: NTS

C3.0



**Preliminary Planting Legend:**

Symbol	Botanical / Common Name	Size	Spacing (O.C.)	WUCOLS	Comments
Tree	<i>Olea europaea</i> 'Svein 141' / Svein 141 Olive	24" Box	As Shown	L	Standard
	<i>Lagerströmia</i> 'Hyb. Muskogee' / Muskogee Flowering Cape Myrtle	24" Box	As Shown	M	Standard
	<i>Ulmus parviflora</i> 'Drake' / Drake Evergreen Elm	24" Box	As Shown	M	Standard
<b>Shrubs, Perennials, Groundcovers, and Ornamental Grasses:</b>					
Shrub/Perennial	<i>Abelia x grandiflora</i> 'Summit' / Summit Variegated Abelia	5 gal.	3'	M	
	<i>Arctostaphylos</i> 'Sunset' / Sunset Manzanita	5 gal.	4'	L	
	Achillea x 'Companion Gold' / Companion Gold Yarrow	5 gal.	2'	L	
	<i>Argemone</i> 'Ravens' / Ravens Gums Kangaroo Paw	5 gal.	2.5'	L	
	<i>Arctostaphylos</i> 'Pacific Mist' / Pacific Mist Arctostaphylos	1 gal.	0'	L	
	<i>Callisander</i> 'White Jade' / Little Jade Butterfly Bush	5 gal.	2'	L	
	<i>Franseria</i> 'Eve Case' / Eve Case Coffeeberry	5 gal.	4'	L	
	<i>Franseria</i> 'Savanna' / Savanna Coffeeberry	1 gal.	6'	L	
	<i>Fuchsia</i> 'Black' / Black Fuchsia	1 gal.	18"	M	
	<i>Lantana</i> 'New Gold' / New Gold Lantana	1 gal.	18"	M	
	<i>Lavandula angustifolia</i> 'Thumbelina Light' / English Lavender	1 gal.	1'	L	
	<i>Lavandula stoechas</i> 'Otto Queen' / Otto Queen Spanish Lavender	1 gal.	2'	L	
	<i>Muhlenbergia</i> 'Rivers' / Deer Grass	1 gal.	2'	M	
	<i>Ronivivus</i> 'officinalis' / Prostrate Rosemary	1 gal.	2'	L	
	<i>Salvia leucantha</i> 'Santa Barbara' / Santa Barbara Sage	5 gal.	3'	L	
<b>Shrub/Treatment Areas:</b>					
Tree	<i>Quercus virginiana</i> 'Heritage' / Heritage Southern Live Oak	24" Box	As Shown	M	Standard
<b>Perennial/Ornamental Grasses:</b>					
Perennial/Grass	<i>Cornus</i> 'Sage' / Sage	1 gal.	1'	M	
	<i>Ceanothus</i> 'Hybridus' / California Blue	5 gal.	2'	M	
	<i>Fuchsia</i> 'California' / New House Blue / California Fuchsia	5 gal.	2'	L	
	<i>Muhlenbergia</i> 'Rivers' / Deer Grass	1 gal.	2'	L	
	<i>Callisander</i> 'Karl Foerster' / Feather Reed Grass	1 gal.	3'	M	

**Landscape Data:**

Total Site Area: 612,405 SF  
 Landscape Area Required: 47,244 SF (50+ spaces = 11% landscape)  
 Landscape Area Provided: 167,171 SF (27%)  
 Landscape Shading Requirements: 150,845 SF (50+ spaces = 50% of parking lot)  
 Landscape Shading Provided: 157,523 SF (27%)  
 Shade Calc based on a 15 year maturity

**Notes:**

- The irrigation system will be a water efficient low flow, point source system designed to provide adequate watering to support plant growth and insure deeply rooted plant material while avoiding excess water application. The system will be programmable, allowing operation during late night and/or early morning hours, with multiple start times and cycles. The system will interface with a weather based sensor that will adjust the amount of water applied to the plant material based on daily weather conditions. Irrigation materials specified for this site will be selected on the basis of durability and ease of maintenance. Landscape irrigation will comply with the California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO).
- MAWA: 3,550,245  
 ETWL: 3,491,654  
 ETWL complies with MAWA
- Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 859.3; Ordinance 948; Ordinance 461; project Conditions of Approval; and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.
- Planting Legend Plants are all found on the County of Riverside California Friendly Plant List.
- Per Ordinance 348 Section 18.12 a 12" concrete walkway shall be constructed along and parking stalls adjacent to parking spaces.

**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA  
 LANDSCAPE PLAN

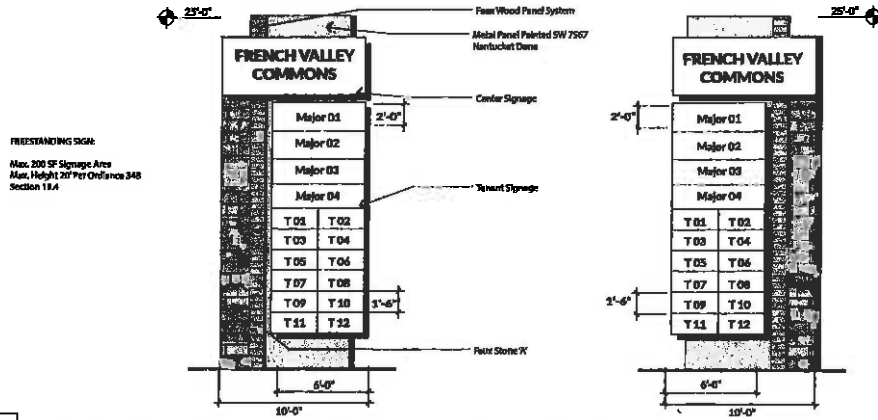


W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

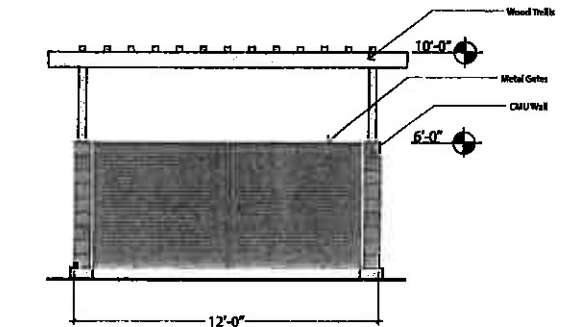
**DWG: 02**  
 OF 26  
 DATE: December 01, 2017  
 SCALE: 1" = 50'-0"

**L1.0**

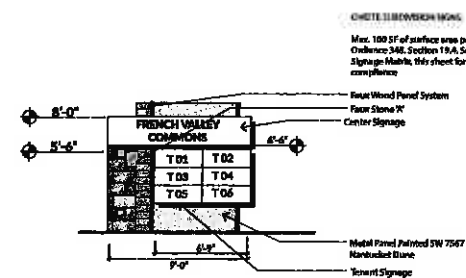




**A** Pylon Sign - Front and Back Elevations (2 Locations)



**D** Trash Enclosure - Front Elevation



**B** Monument Sign - Front Elevation (3 Total)

**SIGNAGE MATRIX**

French Valley Commons Signage Description	Total Proposed Signage	Building Total Dimensions	Total Wall Square Footage	Total Signage Allowed
42'-Tenant Sign A	171.7	25'x25'	375.4	274.4
Pool 04-Front Sign A	84.3	10'x10'x12'	1386	138.6
Pool 03-Side Sign B	84.3	7'x10'x12'	1054	105.4
Pool 02-Front Sign A	84.3	5'x10'x12'	1368	136.8
Pool 02-Side Sign B	84.3	7'x10'x12'	1054	105.4
Pool 01-Front Sign A	125.85	10'x10'x12'	1386.7	138.7
Pool 01-Side Sign B	71	10'x10'x12'	1386	138.6
Pool 01-Overlapping Center-Side Sign C	71	10'x10'x12'	1386	138.6
Pool 04-Entry Signage	94	10'x10'x12'	1330	133.0
Pool 02-West Side Signage	24	2'x10'x12'	1380	138.0
Pool 03-South Side Signage	24	2'x10'x12'	1380	138.0
Pool 03-Water/A-Water-Water Signage	12.25	10'x6'x12'	1552	155.2
Pool 03-Water/A-Water Signage	41.85	10'x6'x12'	374	37.4
Pool 03-Water/A-Water Signage	25.4	10'x6'x12'	1552	155.2
Pool 04-Entry Signage	80	10'x10'x12'	3243.2	324.3
Pool 04-West Side Signage	30	2'x10'x12'	1412.7	141.3
Pool 04-South Side Signage	40	10'x10'x12'	3041.7	304.1
Pool 03-Entry Signage	86	10'x10'x12'	1380	138.0
Pool 03-West Side Signage	24	2'x10'x12'	2340	234.0
Pool 03-South Side Signage	24	2'x10'x12'	1380	138.0
Pool 02-Front Sign A	220	20'x10'x12'	714.3	714.3
Pool 01-Front Sign B	300	30'x10'x12'	714.3	714.3
Pool 02-Right Side Sign C	25	10'x10'	2348	234.8
Pool 03-Front Sign A	130	17.1'x10'x12'	4278.1	427.8
Pool 03-South Sign B	350	17.1'x10'x12'	4278.1	427.8
Pool 03-Left Side Sign C	25	10'x10'	2340	234.0
Pool 02-Right Side Sign B	11	10'x10'	2340	234.0
Pool 03-Front Sign A	128	20'x10'x12'	4971	497.1
Pool 02-Front Sign B	113	10'x10'x12'	4971	497.1
Pool 02-Right Side Sign C	25	10'x10'	1860	186.0
Pool 04-Front Sign A	300	14'x10'x12'	3744	374.4
Pool 04-South Sign B	300	14'x10'x12'	3744	374.4
Pool 04-Left Side Sign C	25	10'x10'	2340	234.0
Pool 04-Right Side Sign B	25	10'x10'	2340	234.0
Pool 05-Front Sign A	128	12.2'x10'x12'	1071	107.1
Pool 05-South Sign B	128	12.2'x10'x12'	1071	107.1
Pool 05-Left Side Sign C	25	10'x10'	990	99.0
Pool 05-Right Side Sign B	25	10'x10'	1048	104.8
Pool 06-Front Sign A	128	13.1'x10'x12'	975	97.5
Pool 06-South Sign B	128	13.1'x10'x12'	975	97.5
Pool 06-Side Sign C	25	10'x10'	1040	104.0
Pool 07-Front Sign A	112	12.2'x10'x12'	925	92.5
Pool 07-South Sign B	112	12.2'x10'x12'	925	92.5
Pool 07-Side Sign C	15	10'x10'	1860	186.0
<b>Total</b>	<b>1,199.95</b>			<b>11,700.90</b>
Pylon Sign Per Single Side	250			300
Center ID Signage per Single Side	15			NA
Monument Sign - Per Single Side	75			300

**NOTES:**  
SEE SHEET AA.1 COLOR AND MATERIALS BOARD, FOR ADDITIONAL INFORMATION.

**C** Center ID Singage

**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA

SITE SIGNAGE

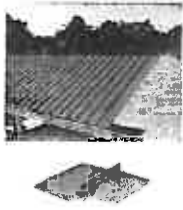
**EJR**

W DEVELOPMENT PARTNERS OF TEMECULA, LLC

DWG: 22 OF 36  
DATE: December 01, 2017  
SCALE: 1/4" = 1'-0"

**A4.0**





Standing Seam Metal Roof  
 Manufacturer: Berkeige  
 Manufacturing or Equal  
 Color Name: Charcoal Grey



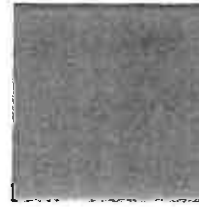
**A** Metal Seam Roof



Heavy Timber/ Glu-lam  
 Beam 4x Timber  
 Color: Natural Stain

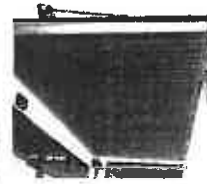
Precedent Image

**B** Heavy Timber Pop-out



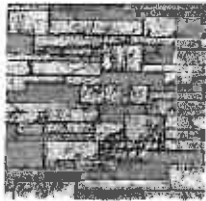
Foam with Sheet Metal Cap  
 Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 2849  
 Color Name: Westchester  
 Gray

**C** Foam Cornice with Sheet Metal Cap



Precedent Imagery

**D** Corrugated Metal Awning



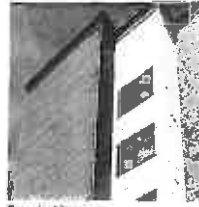
Faux Stone Wainscot 'A'  
 Manufacturer: Cultured  
 Stone by Boral  
 Product: Country Iedgestone  
 Color: Aspen

**E** Faux Stone Wainscot 'A'



Faux Stone Wainscot 'A'  
 Manufacturer: Cultured  
 Stone by Boral  
 Product: Country Iedgestone  
 Color: Chardonnay

**F** Faux Stone Wainscot 'B'



Faux Wood Slat Panel  
 System  
 Manufacturer: Nichie  
 Product: Vintage Wood  
 Color: Cedar

Precedent Image

**G** Faux Wood Slat Panel System



Horizontal Siding  
 Manufacturer: Boral  
 Product: Channel Siding  
 Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7844  
 Color Name: Colonnade Gray

Precedent Image

**H** Horizontal Siding

Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 6000  
 Color Name: Snowfall

**I** Stucco Finish - SW 6000

Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 6750  
 Color Name: Waterfall

**J** Stucco Finish - SW 6750



Stucco Finish

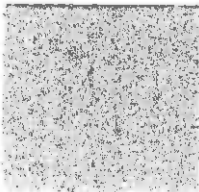
Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 6868  
 Color Name: Real Red

**K** Stucco Finish - SW 6868

Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7006  
 Color Name: Extra White

**J** Stucco Finish - SW 7006



Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7016  
 Color Name: Mindful Gray

**L** Stucco Finish - SW 7016

Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7103  
 Color Name: Whitetail

**M** Stucco Finish - SW 7103

Stucco Finish

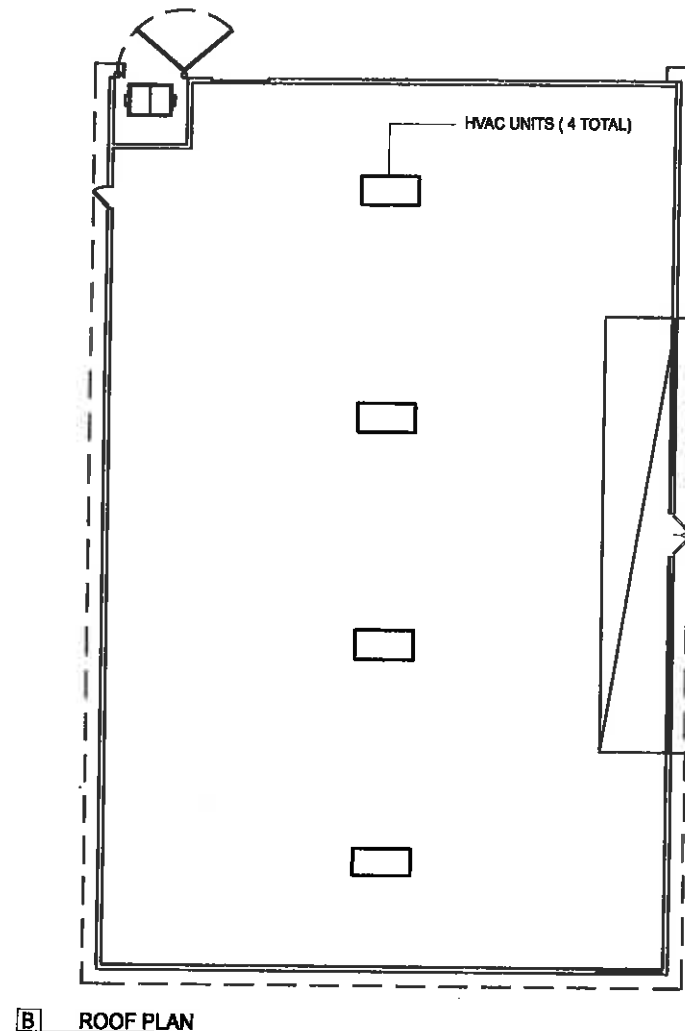
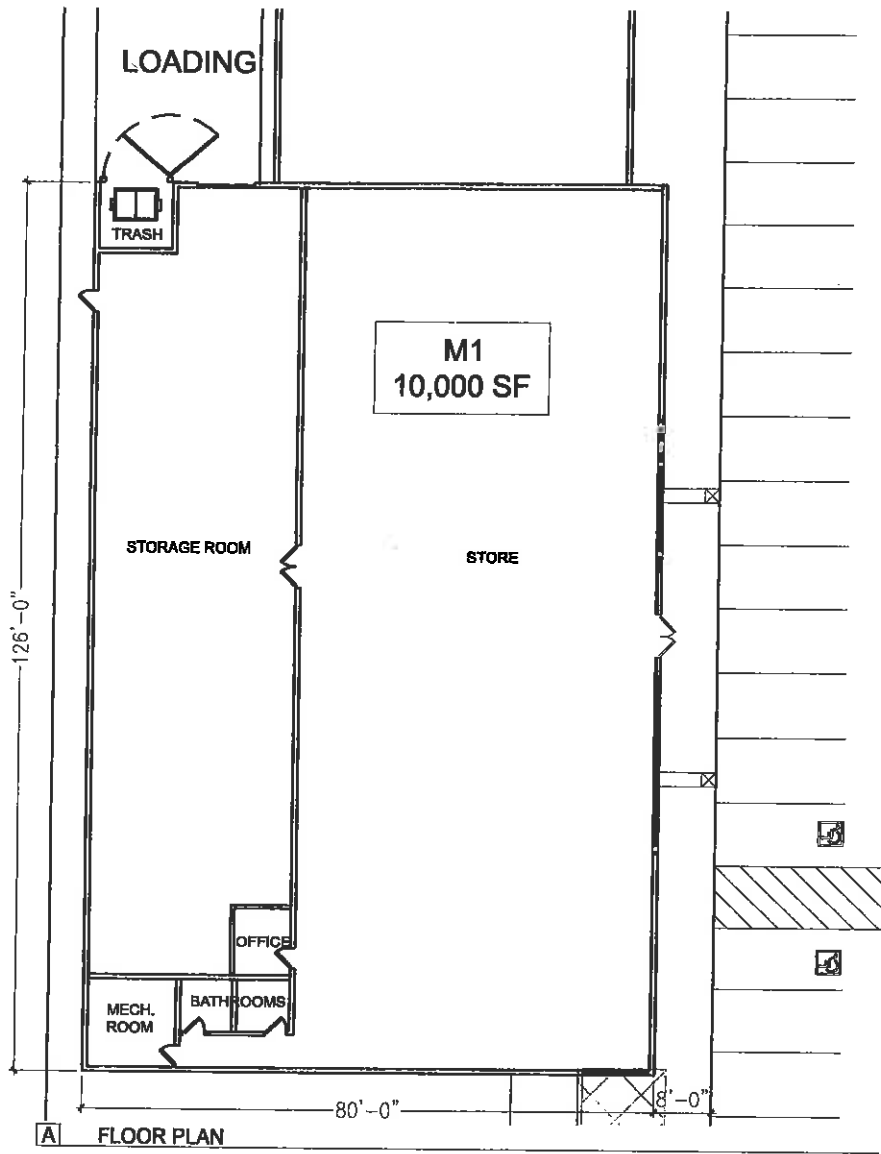
Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7516  
 Color Name: Kastrol White

**N** Stucco Finish - SW 7516

Stucco Finish

Paint:  
 Brand: Sherwin Williams  
 Brand Number: SW 7567  
 Color Name: Nantucket Dusk

**O** Stucco Finish - SW 7567



NOTES:  
1. SINGLE TENANT - NON FOOD/ RETAIL



**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA

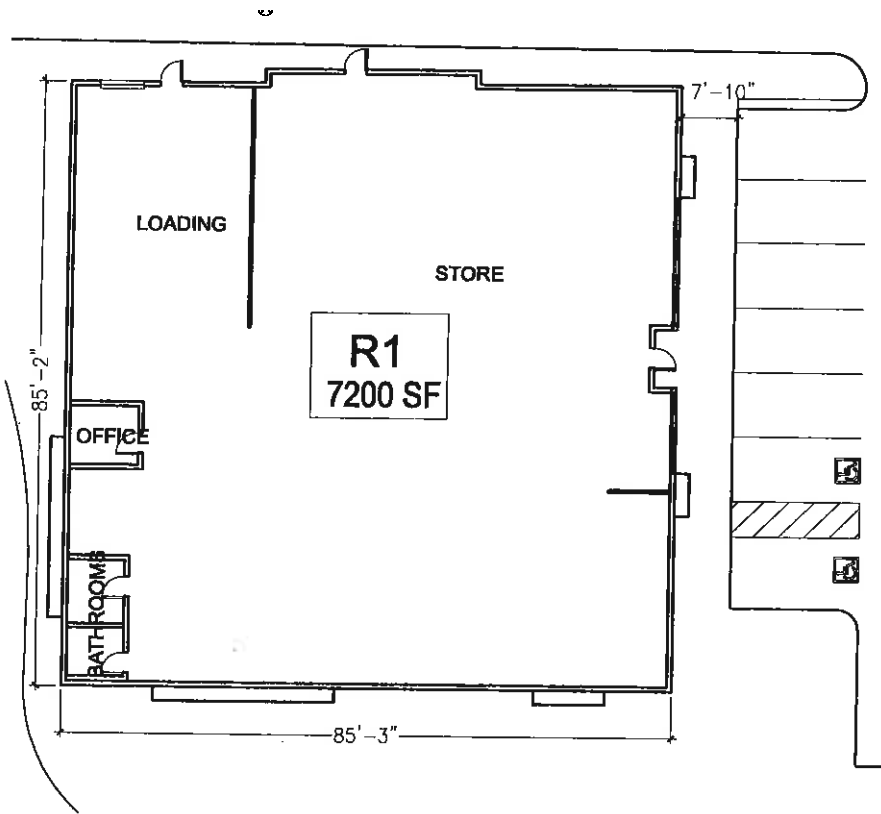
M1 BUILDING FLOOR AND ROOF PLANS



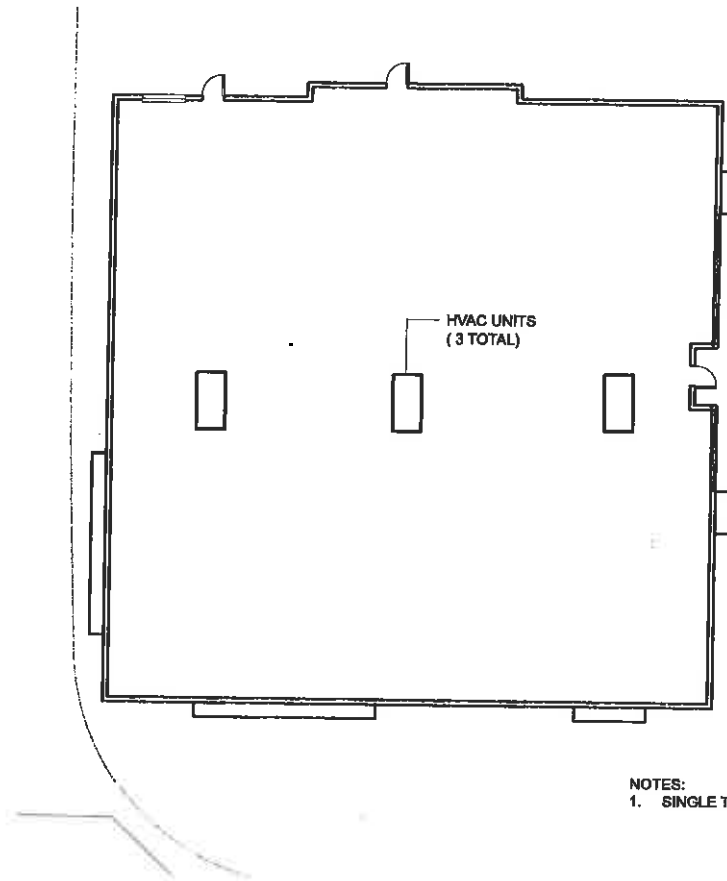
W DEVELOPMENT PARTNERS OF TEMECULA, LLC

**DWG: 24** OF 36  
DATE: December 01, 2017  
SCALE: 1/8"

**A5.0**



**A** FLOOR PLAN



**B** ROOF PLAN

NOTES:  
1. SINGLE TENANT - NON-FOOD/RETAIL



**FRENCH VALLEY COMMONS** FRENCH VALLEY, CALIFORNIA

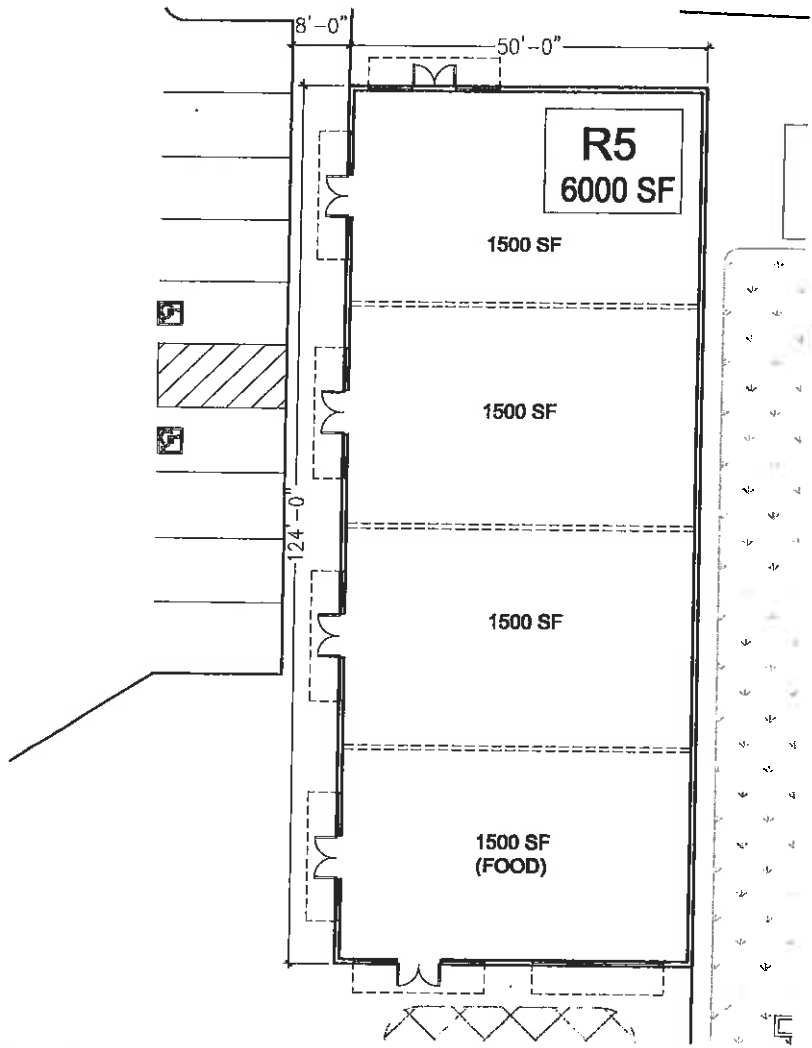
R1 BUILDING FLOOR AND ROOF PLANS



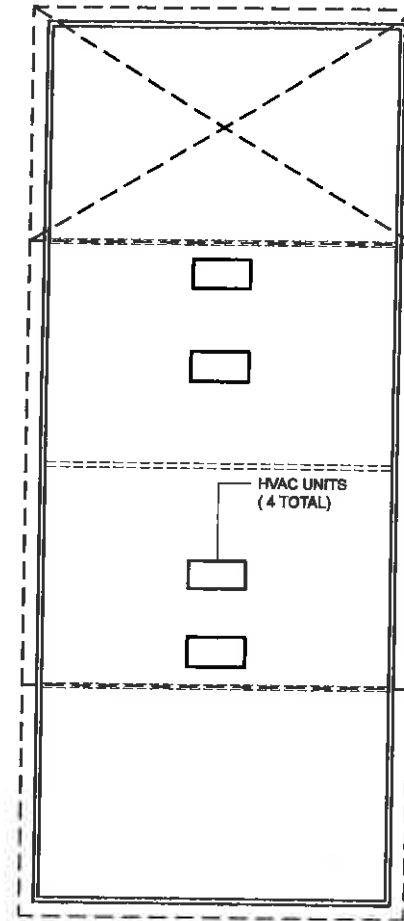
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

**DWG** - 27  
OF 36  
DATE: December 01, 2017  
SCALE: 1/8" = 1'-0"

**A5.3**



**NOTES:**  
 1. R5 - MULTIPLE TENANTS (FLEX WITH R4):  
 35% FOOD (2,680 SF MAX)  
 62% NON-FOOD/RETAIL (4,340 SF MIN)



**[A]** FLOOR PLAN

**[B]** ROOF PLAN

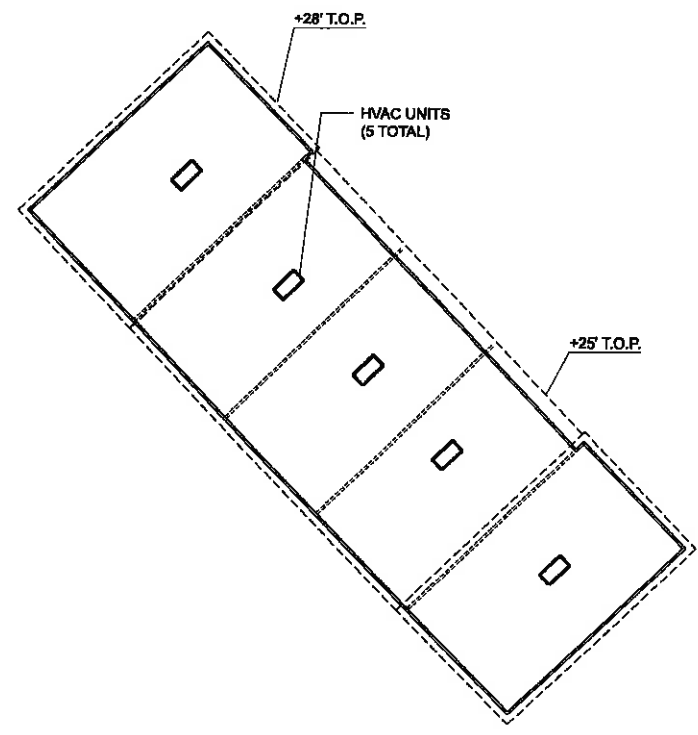
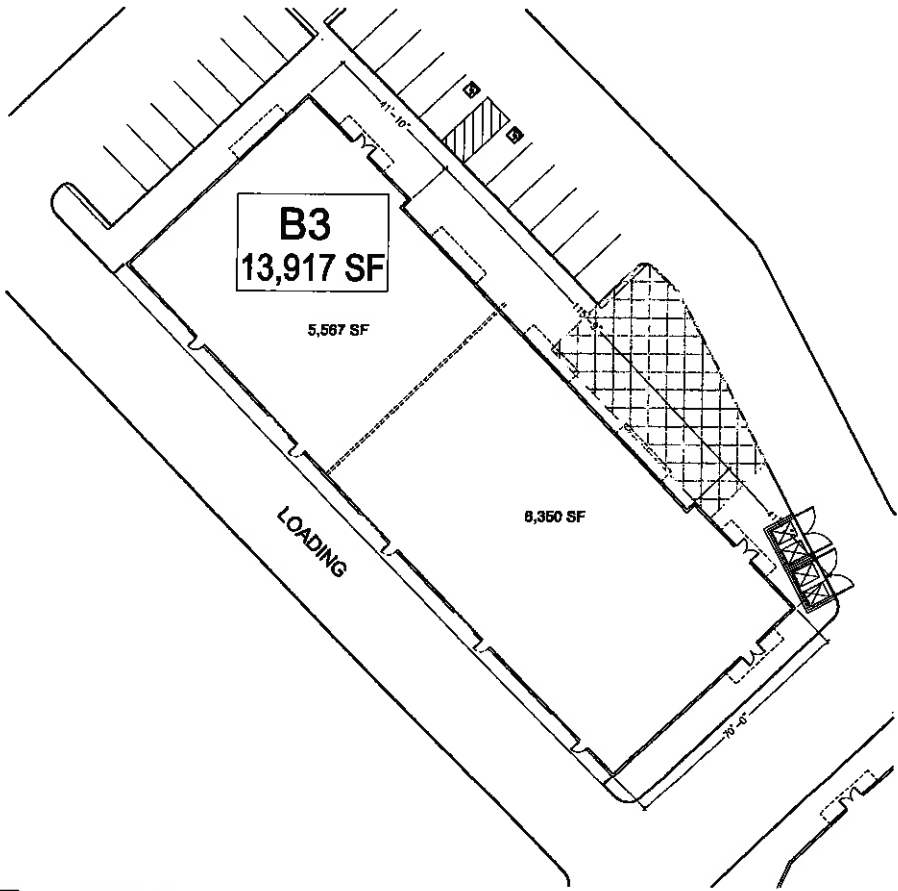
**FRENCH VALLEY COMMONS** | FRENCH VALLEY, CALIFORNIA  
 R5 BUILDING FLOOR AND ROOF PLANS



W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

**DWG: 30**  
 OF 30  
 DATE: December 01, 2017  
 SCALE: 1/8" = 1'-0"

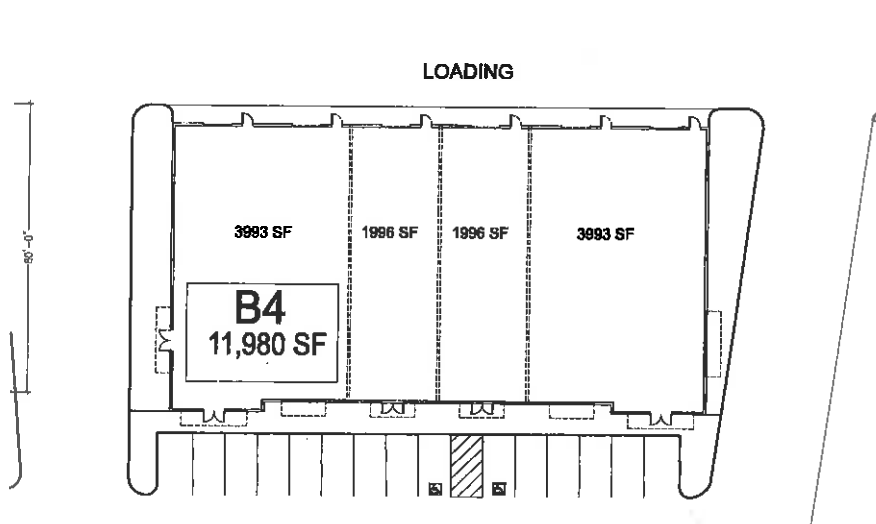
**A5.6**



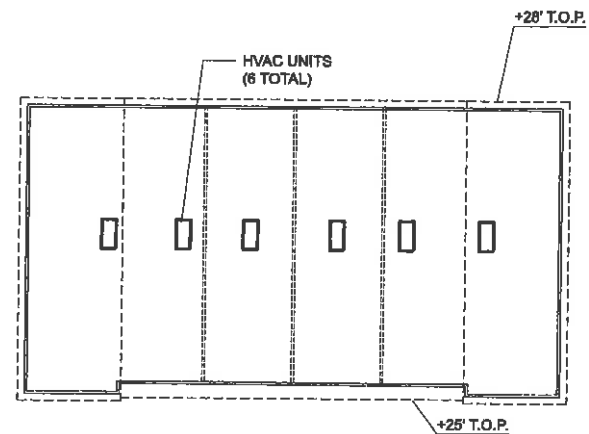
**A** FLOOR PLAN

**B** ROOF PLAN

<p style="font-size: 24px; margin: 0;"><b>FRENCH VALLEY COMMONS</b></p> <p style="margin: 0;">B3 BUILDING FLOOR AND ROOF PLANS</p>	<p style="font-size: 12px; margin: 0;">FRENCH VALLEY, CALIFORNIA</p>		<p style="font-size: 12px; margin: 0;">W DEVELOPMENT PARTNERS OF TEMECULA, LLC</p>	<p style="font-size: 18px; margin: 0;"><b>DWG</b> - 33</p> <p style="font-size: 10px; margin: 0;">OF 86</p> <p style="font-size: 10px; margin: 0;">DATE: December 01, 2017</p> <p style="font-size: 10px; margin: 0;">SCALE: 1/16" = 1'-0"</p>	<p style="font-size: 24px; margin: 0;"><b>A5.9</b></p>
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**A** FLOOR PLAN



**B** ROOF PLAN



**FRENCH VALLEY COMMONS**  
 B4 BUILDING FLOOR AND ROOF PLANS

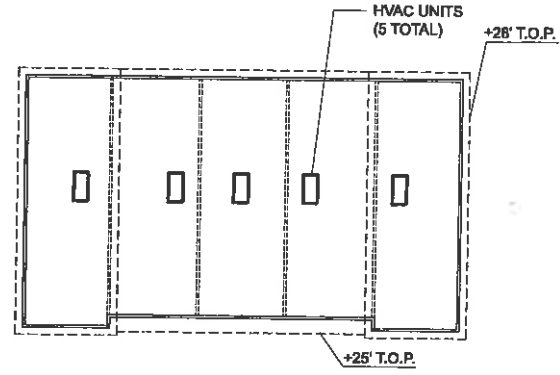
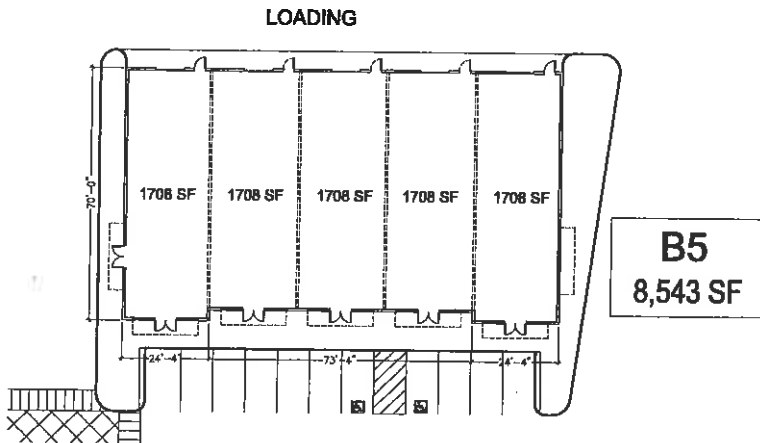
FRENCH VALLEY,  
 CALIFORNIA



W DEVELOPMENT  
 PARTNERS OF  
 TEMECULA, LLC

**DWG:** 34  
 OF 38  
 DATE: December 01, 2017  
 SCALE: 1/16" = 1'-0"

**A5.10**



[A] FLOOR PLAN

[B] ROOF PLAN



**FRENCH VALLEY COMMONS**  
B5 BUILDING FLOOR AND ROOF PLANS

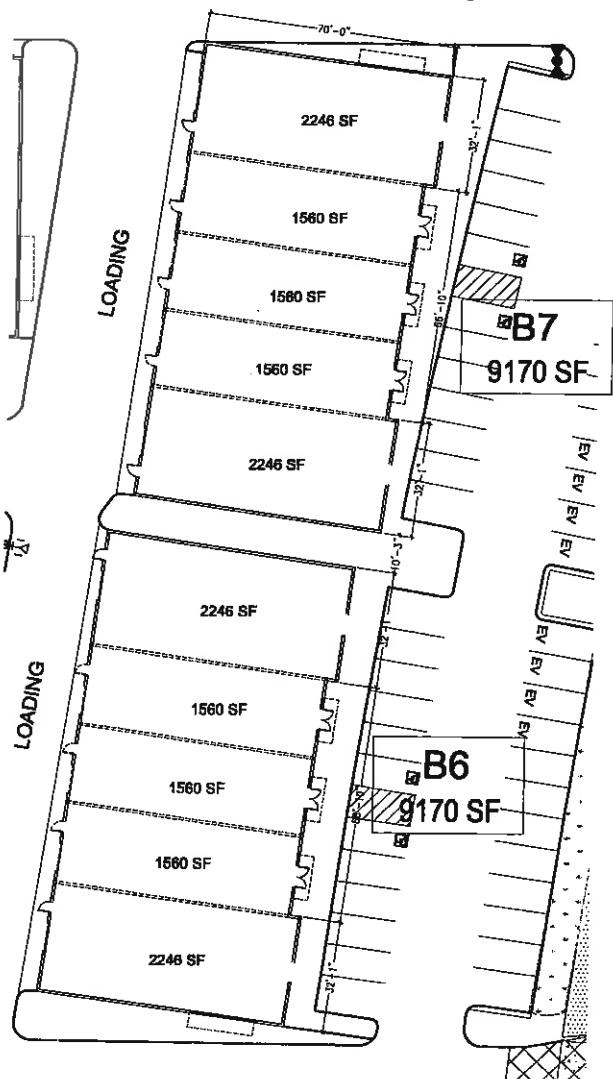
FRENCH VALLEY,  
CALIFORNIA



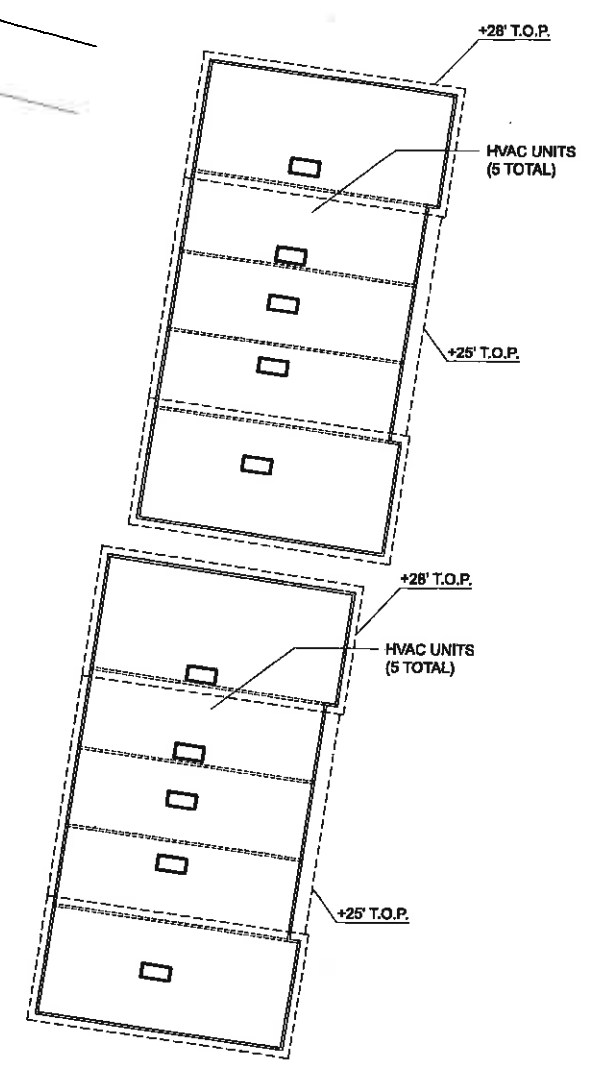
W DEVELOPMENT  
PARTNERS OF  
TEMECULA, LLC

**DWG: 35**  
OF 36  
DATE: December 01, 2017  
SCALE: 1/8" = 1'-0"

**A5.11**



**A** FLOOR PLAN



**B** ROOF PLAN



<h1 style="margin: 0;">FRENCH VALLEY COMMONS</h1> <p style="margin: 0;">B6 and B7 BUILDING FLOOR AND ROOF PLANS</p>	<p style="margin: 0;">FRENCH VALLEY, CALIFORNIA</p>		<p style="margin: 0;">W DEVELOPMENT PARTNERS OF TEMECULA, LLC</p>	<p style="margin: 0;"><b>DWG:</b> 36 OF 36</p> <p style="margin: 0;">DATE: December 01, 2017</p> <p style="margin: 0;">SCALE: 1/8" = 1'-0"</p>	<p style="margin: 0;">A5.12</p>
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## **FV. FRENCH VALLEY AIRPORT**

### **FV.1 Compatibility Map Delineation**

- 1.1 *Airport Master Plan Status:* The Master Plan adopted by the Riverside County Board of Supervisors on September 28, 2010 provides the basis for the French Valley Airport Compatibility Map. The Airport Layout Plan drawing was updated in April 2010.
- 1.2 *Airfield Configuration:* There are no planned changes to the present 6,000-foot runway.
- 1.3 *Airport Activity:* Updated projections completed for this *Compatibility Plan* indicate that airport activity will increase from approximately 97,700 annual operations in 2008 to 149,200 in 2030. The overall mix and character of use of the airport will be very similar in the future.
- 1.4 *Airport Influence Area:* The airport influence area boundary coincides with the outer edge of the Federal Aviation Regulations (FAR) Part 77 conical surface for the airport to the north and south. To the east and west, the airport influence area encompasses the normal aircraft traffic patterns.

### **FV.2 Additional Compatibility Policies**

- 2.1 *Zone B2 Building Height:* Notwithstanding the limitation of two aboveground habitable floors indicated in Table 2A of Chapter 2, any nonresidential building in *Compatibility Zone B2* at French Valley Airport may have up to three aboveground habitable floors, provided that no such building or attachments thereto shall penetrate the airspace protection surfaces defined for the airport in accordance with FAR Part 77.
- 2.2 *Calculation of Zone D Residential Densities:* Residential densities in Zone D shall be calculated on a “net” rather than “gross” basis. For the purposes of this *Compatibility Plan*, the net acreage of a project equals the overall developable area of the project site exclusive of permanently dedicated open lands (as defined in Policy 4.2.4) or other open space required for environmental purposes.

2.3 *Industrial/Commercial Area:* The following usage intensity criteria shall apply:

(a) *In Compatibility Zone B1:*

- (1) An average of 40 people per acre shall be allowed on a site, and up to 80 people shall be allowed to occupy any single acre of the site.
- (2) If the percentage of qualifying open land on the site (see Countywide Policy 4.2.4) is increased from 30 percent to at least 35 percent, the site shall be allowed to have an average of up to 45 people per acre, and any single acre shall be allowed to have up to 90 people per acre.
- (3) If the percentage of qualifying open land on the site is increased to 40 percent or more, the site shall be allowed to have an average of up to 50 people per acre, and any single acre shall be allowed to have up to 100 people per acre.

(b) *In Compatibility Zone C:*

- (1) An average of 80 people per acre shall be allowed on a site, and up to 160 people shall be allowed to occupy any single acre of the site.
- (2) If the percentage of qualifying open land on the site is increased from 20 percent to at least 25 percent, the site shall be allowed to have an average of up to 90 people per acre, and any single acre shall be allowed to have up to 180 people per acre.
- (3) If the percentage of qualifying open land on the site is increased to 30 percent or more, the site shall be allowed to have an average of up to 100 people per acre, and any single acre shall be allowed to have up to 200 people per acre.

(c) To the extent feasible, open land should be situated along the extended runway centerlines or other primary flight tracks.

- (d) The above bonuses for extra open land on a site are in addition to the intensity bonuses for risk-reduction building design indicated in Table 2A. In both cases, incorporation of the features necessary to warrant the intensity bonuses is at the option of the land use jurisdiction (County of Riverside or City of Murrieta) and the project proponents and is not required by ALUC policy.
- 2.4 *Zone D Non-residential Intensities:* The criteria set forth in Countywide Policies 3.1.1, 3.1.4, and 4.2.5(b)(5) and the Basic Compatibility Criteria matrix (Table 2A) notwithstanding, the following usage criteria shall apply within Zone D: An average of 150 people per acre shall be allowed on a site, and up to 450 people shall be allowed to occupy any single acre of the site.
- 2.5 *Calculation of Concentration of People:* The provisions of Table C1 in Appendix C notwithstanding, retail sales and display areas or “showrooms” (excluding restaurants and other uses specifically identified separately from retail in Table C1), excluding those in buildings including restaurants or food service facilities, shall be evaluated as having an intensity in persons per square foot of one person per 170 gross square feet of building area without eligibility for a 50 percent reduction. If the building includes restaurants or food service facilities, such retail and display areas or “showrooms” shall be evaluated as having intensity in persons per square foot of one person per 115 square feet of gross floor area without eligibility for the 50 percent reduction. In no case shall intensity of retail and display areas be evaluated in such a manner as to be less than 17 percent more intense than similar areas devoted to office uses. For the purpose of this paragraph, a food service facility includes any establishment that is subject to retail food service inspections by the Department of Environmental Health, including restaurants; grocery stores; ice cream, yogurt, and juice stores; coffee shops; concessionaires; food courts; and take-out only facilities.

	<u>Use</u>	<u>Minimum Square Feet per Occupant</u>
1.	Aircraft Hangars (no repair)	500
2.	Auction Rooms	7
3.	Assembly Areas, Concentrated Use (without fixed seats)	7
	Auditoriums	
	Churches and Chapels	
	Dance Floors	
	Lobby Accessory to Assembly Occupancy	
	Lodge Rooms	
	Reviewing Stands	
	Stadiums	
	Waiting Areas	
4.	Assembly Areas, Less Concentrated Use	3
	Conference Rooms	15
	Dining Rooms	
	Drinking Establishments	
	Exhibit Rooms	
	Gymnasiums	
	Lounges	
	Stages	
	Gaming	11
5.	Bowling Alley (assume no occupant load for bowling lanes)	4
6.	Children's Homes and Homes for the Aged	80
7.	Classrooms	20
8.	Congregate Residences	200
9.	Courtrooms	40
10.	Dormitories	50
11.	Dwellings	300
12.	Exercising Rooms	50
13.	Garage, Parking	200
14.	Health-Care Facilities	80
	Sleeping Rooms	120
	Treatment Rooms	240
15.	Hotels and Apartments	200
16.	Kitchen – Commercial	200
17.	Library Reading Room	50
	Stack Areas	100
18.	Locker Rooms	50
19.	Malls	Varies
20.	Manufacturing Areas	200
21.	Mechanical Equipment Room	300
22.	Nurseries for Children (Daycare)	35
23.	Offices	100
24.	School Shops and Vocational Rooms	50
25.	Skating Rinks	50 on the skating area; 15 on the deck
26.	Storage and Stock Rooms	300
27.	Stores — Retail Sales Rooms	
	Basements and Ground Floors	30
	Upper Floors	60
28.	Swimming Pools	50 for the pool area; 15 on the deck
29.	Warehouses	500
30.	All Others	100

Source: California Building Code (1998), Table 10-A

Table C1

## Occupancy Levels—California Building Code

# NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 9:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
Riverside, California

DATE OF HEARING: April 12, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 144,315 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 9 office/warehouse buildings and 6 retail buildings (4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.29 to 2.21 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. David Alvarez of the Riverside County Planning Department at (951) 955-5719.

FV  
B1, C, D



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1079FV18 DATE SUBMITTED: 1/18/18

### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant JIM ROACHELLE Phone Number 925.250.7115  
Mailing Address 344 20th Street Email jroachele@gmail.com  
Oakland, CA 94612

Representative SWS ENGINEERING Phone Number 760.744.0011  
Mailing Address 261 AUTUMN DE #115 Email michael@sws-engr.com  
SAN MARCOS CA 92069

Property Owner Applicant Phone Number \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Email \_\_\_\_\_

### LOCAL JURISDICTION AGENCY

Local Agency Name County of Riverside Phone Number 951.955.3220  
Staff Contact Dave Alvarez Email \_\_\_\_\_  
Mailing Address 4080 Lemon Ave Case Type \_\_\_\_\_  
Riverside, CA 92502

Local Agency Project No CUP 03777; PM 37399  
 General Plan / Specific Plan Amendment  
 Zoning Ordinance Amendment  
 Subdivision Parcel Map / Tentative Tract  
 Use Permit  
 Site Plan Review/Plot Plan  
 Other

### PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address NW Corner Lean's Benton  
Assessor's Parcel No. 963-060-032 Gross Parcel Size 14.1  
Subdivision Name Winchester Cross Roads Nearest Airport and distance from Airport French Valley 0.71 miles  
Lot Number \_\_\_\_\_

### PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Vacant

Proposed Land Use (describe)	<i>Mixed Use - retail, office, industrial</i>		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses (See Appendix C)	Hours of Operation		
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	<i>1357 ±</i>	ft.
	Height of buildings or structures (from the ground)	<i>22' - 8"</i>	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes
	If yes, describe		<input checked="" type="checkbox"/> No

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.

C. **SUBMISSION PACKAGE:**

- ✓ 1..... Completed ALUC Application Form
- ✓ 1..... ALUC fee payment
- ✓ 1..... Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
- ✓ 1..... Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
- ✓ 1..... CD with digital files of the plans (pdf)
- ✓ 1..... Vicinity Map (8.5x11)
- ✓ 1..... Detailed project description
- ✓ 1..... Local jurisdiction project transmittal
- ✓ 3..... Gummed address labels for applicant/representative/property owner/local jurisdiction planner
- ✓ 2..... Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \*

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.



January 19, 2018

Proj. No. 15-078

John Guerin  
ALUC  
County of Riverside  
4080 Lemon Street, 14<sup>th</sup> Floor  
Riverside, CA 92501

**RE: WINCHESTER CROSSINGS**

Dear John,

The proposed project is located at the NW corner of Leon and Benton Roads in the County of Riverside. The project is approximately 0.71 miles NE of the French Valley Airport. The project is just over 14 acres in size and will construct 15 buildings. These buildings will be a mixture of retail, office and industrial. The breakdown is represented on the project spreadsheet which describes the occupancy levels per the requirements of ALUC.

The project is within three (3) airport zones; B1, C and D. A majority of the site is within the C Zone. The project is adjacent to an existing retail center located to the west of the proposed project.

Sincerely,

A handwritten signature in black ink, appearing to read "MS", with a long horizontal line extending to the right.

Michael D. Schweitzer, P.E.  
CEO / President



**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** May 10, 2018

**CASE NUMBER:** ZAP1061PS18 – A0685 Cathedral City, LP

**APPROVING JURISDICTION:** City of Cathedral City

**JURISDICTION CASE NO:** GPA16-0006 (General Plan Amendment), CZ16-005 (Change of Zone), CUP16-049 (Conditional Use Permit)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2005 Palm Springs International Airport Land Use Compatibility Plan, and find the Conditional Use Permit CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant is proposing to develop a 60-unit apartment complex for veterans (with a 2,964 square foot community room) on 6.5 acres. The proposed project requires an amendment to the City's General Plan land use designation from RL Low Density Residential to RM Medium Density Residential, and a change of zone from R1 Single-Family Residential to R2 Multiple-Family Residential.

**PROJECT LOCATION:** The site is located on the southeast corner of Landau Boulevard and Vega Road, within the City of Cathedral City, approximately 7,000 feet northeasterly of the southerly end of Runway 13L-31R at Palm Springs International Airport.

**LAND USE PLAN:** 2005 Palm Springs International Airport Land Use Compatibility Plan

- a. Airport Influence Area: Palm Springs International Airport
- b. Land Use Policy: Compatibility Zone E
- c. Noise Levels: Below 60 CNEL from aircraft noise

**BACKGROUND:**

Residential Density: The site is located within Compatibility Zone E of Palm Springs International Airport Influence Area. Residential density is not restricted in Compatibility Zone E.

Prohibited and Discouraged Uses: The only uses prohibited in Compatibility Zone E are hazards to flight, and no hazards to flight are proposed by the project.

Noise: The Palm Springs Airport Land Use Compatibility Plan depicts the site as being in an area below 60 CNEL from aircraft. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The elevation of Runway 13L-31R at its southerly terminus is 404.4 feet above mean sea level (AMSL). At a distance of approximately 7,000 feet from the runway to the project, Federal Aviation Administration (FAA) review would be required for any structures with a top point elevation exceeding 474.4 feet above mean sea level (AMSL). The site's finished pad elevation is 385 feet AMSL and the tallest proposed building height is 26 feet, for a top point elevation of 411 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service was not required.

Open Area: Compatibility Zone E does not require any open area be set aside for emergency landings.

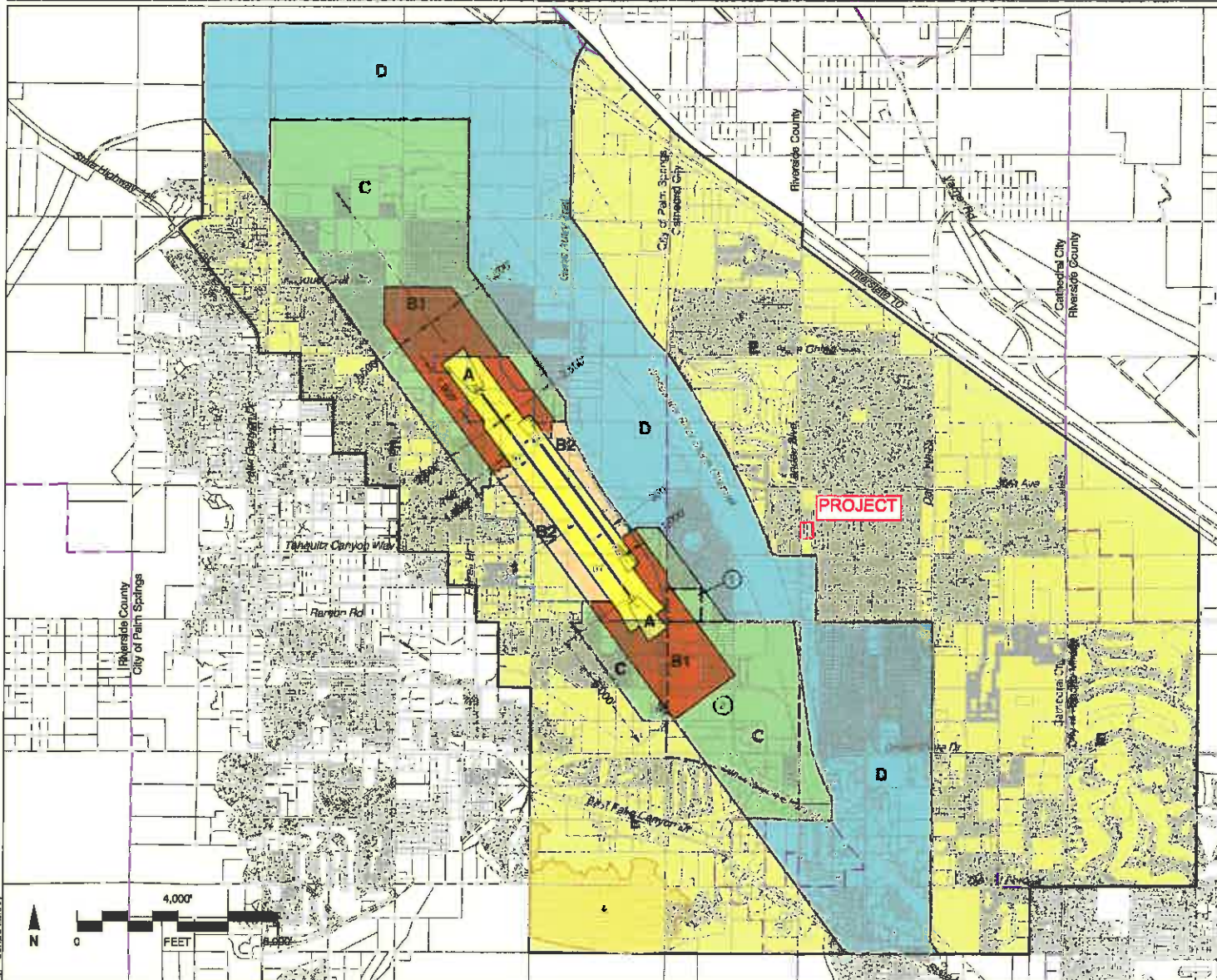
#### **CONDITIONS:**

1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be given to all prospective purchasers of the property and tenants of the proposed apartments.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

**Boundary Lines**

- Airport Property Line
- City Limits

**Notes**

All dimensions measured from runway ends and centerlines.

DT = Displaced Threshold

See Chapter 2, Table 2A for compatibility criteria associated with this map.

See Policy PS.2.1.

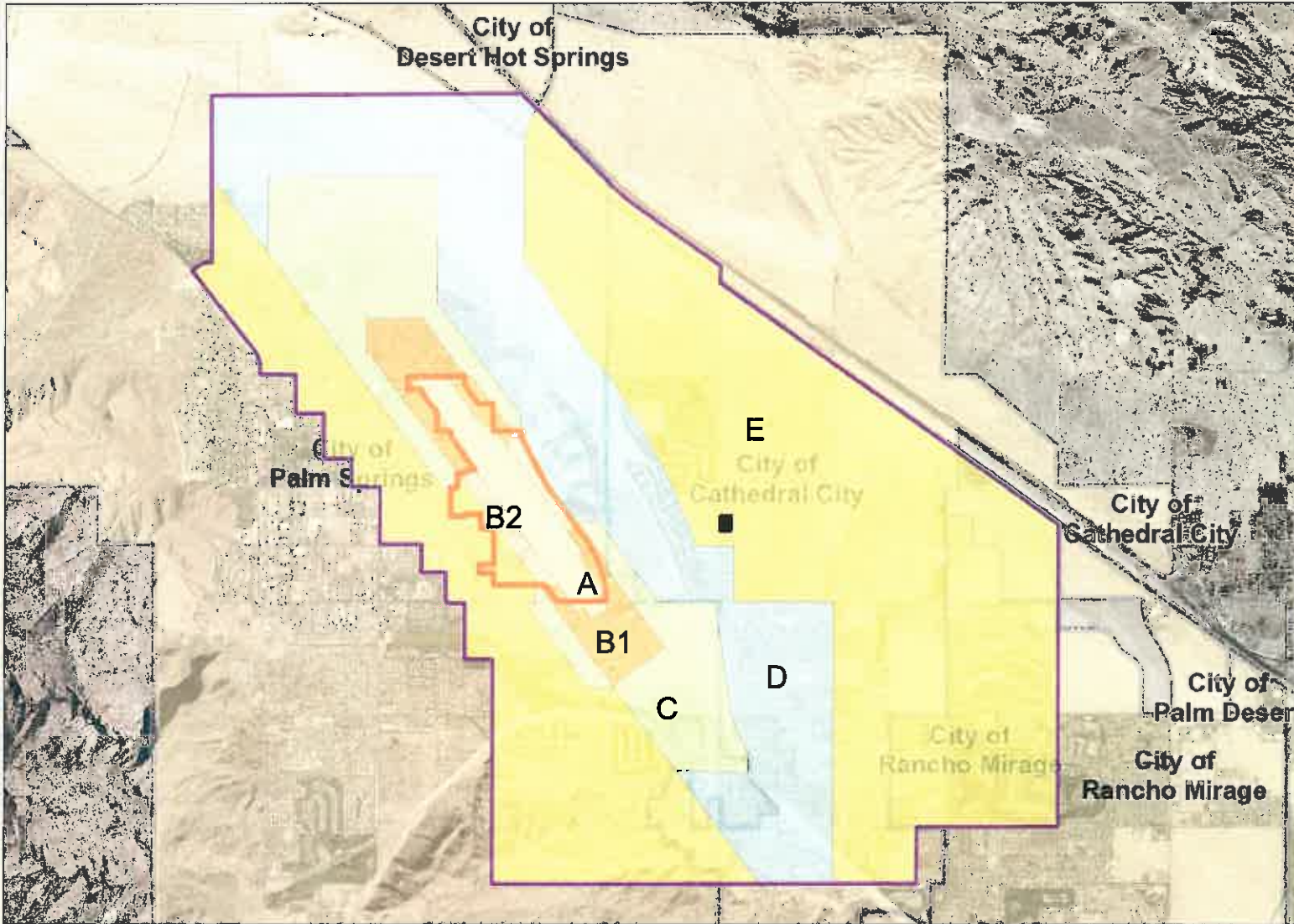
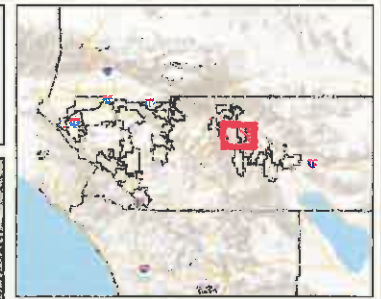
**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
 (Adopted March 2005)

Map PS-1

**Compatibility Map**  
**Palm Springs International Airport**

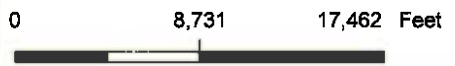
PSP-Compatibility

# My Map



**Legend**

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



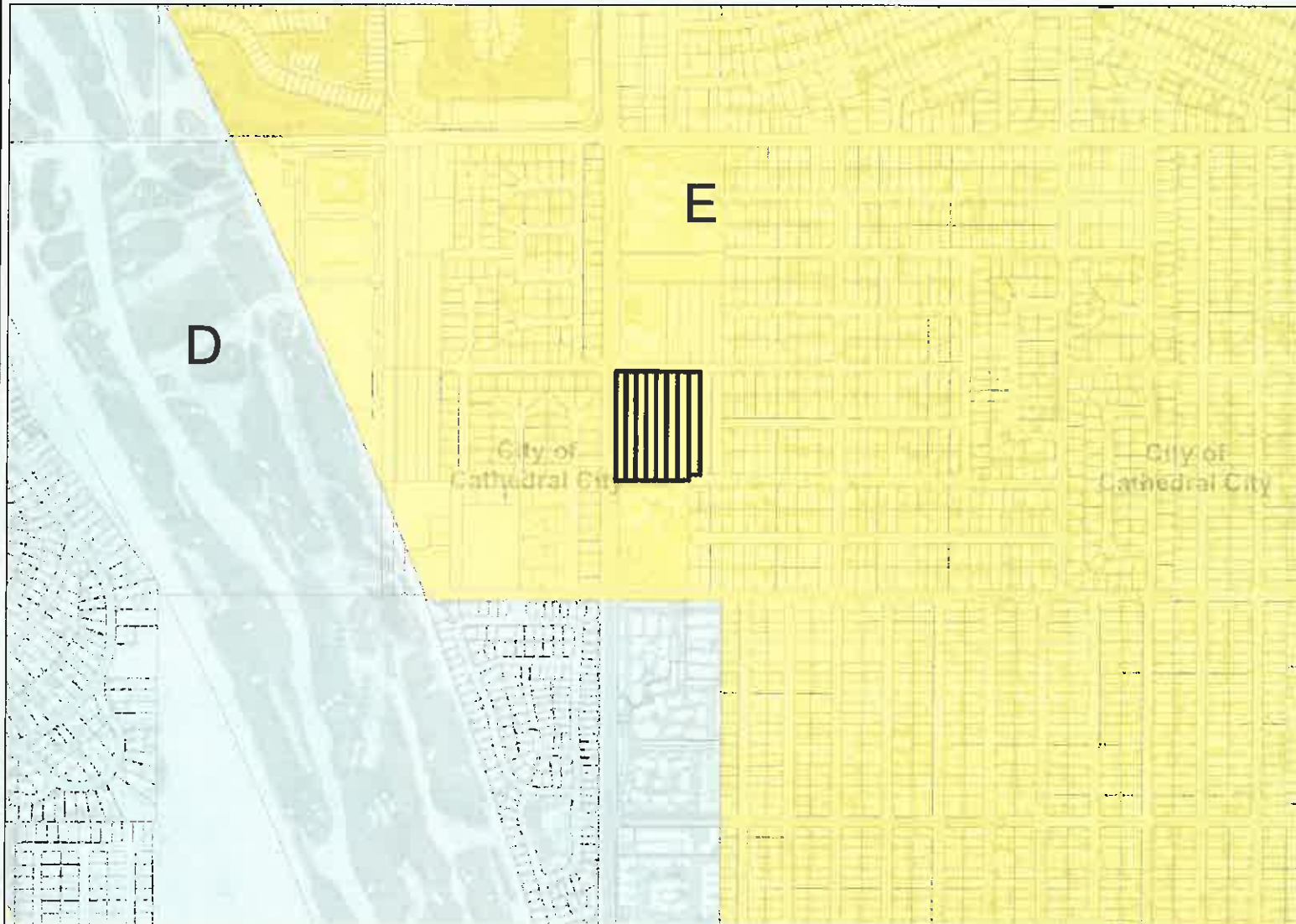
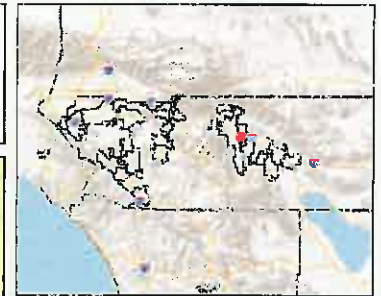
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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**Notes**

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC6
- C2-EXC8
- C2-HIGHT



0 1,091 2,183 Feet



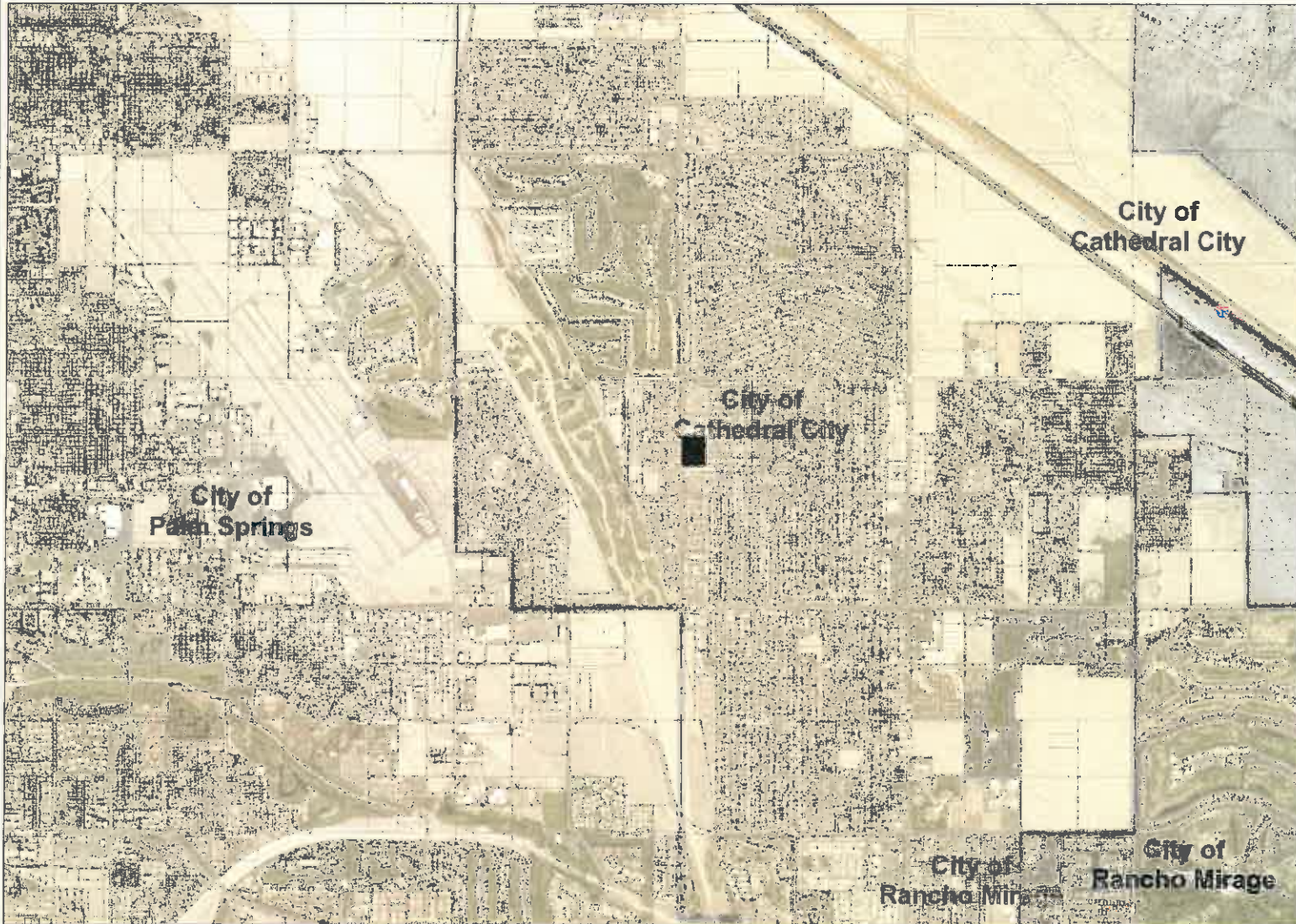
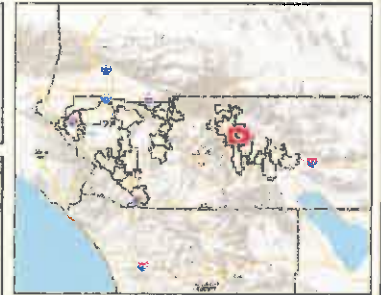
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## Notes

# My Map



**Legend**

- City Boundaries
- Cities**
- highways**

  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY

- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**

  - Lakes
  - Rivers



0 4,366 8,731 Feet



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**Notes**

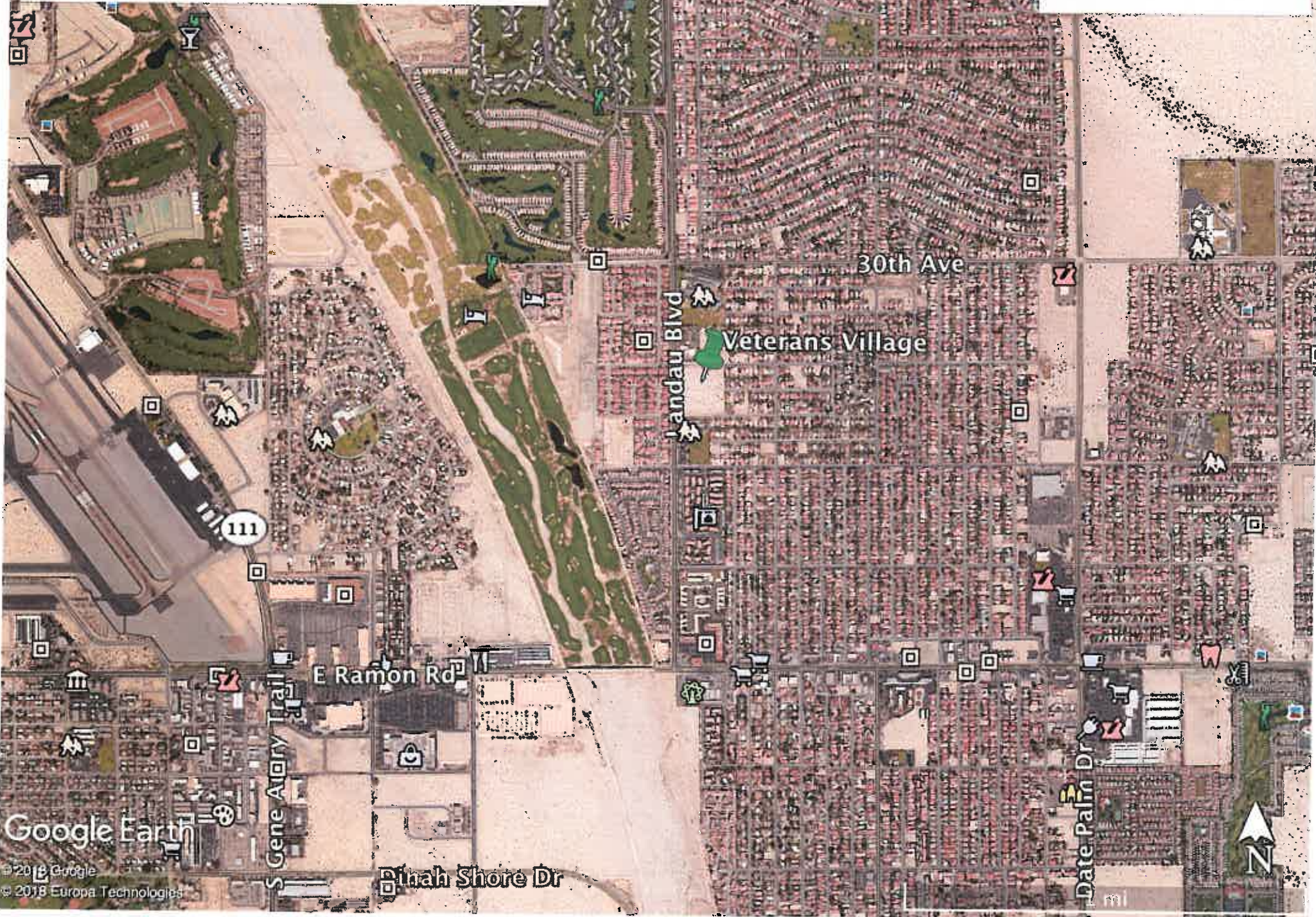


# Veterans Village of Cathedral City

Write a description for your map.

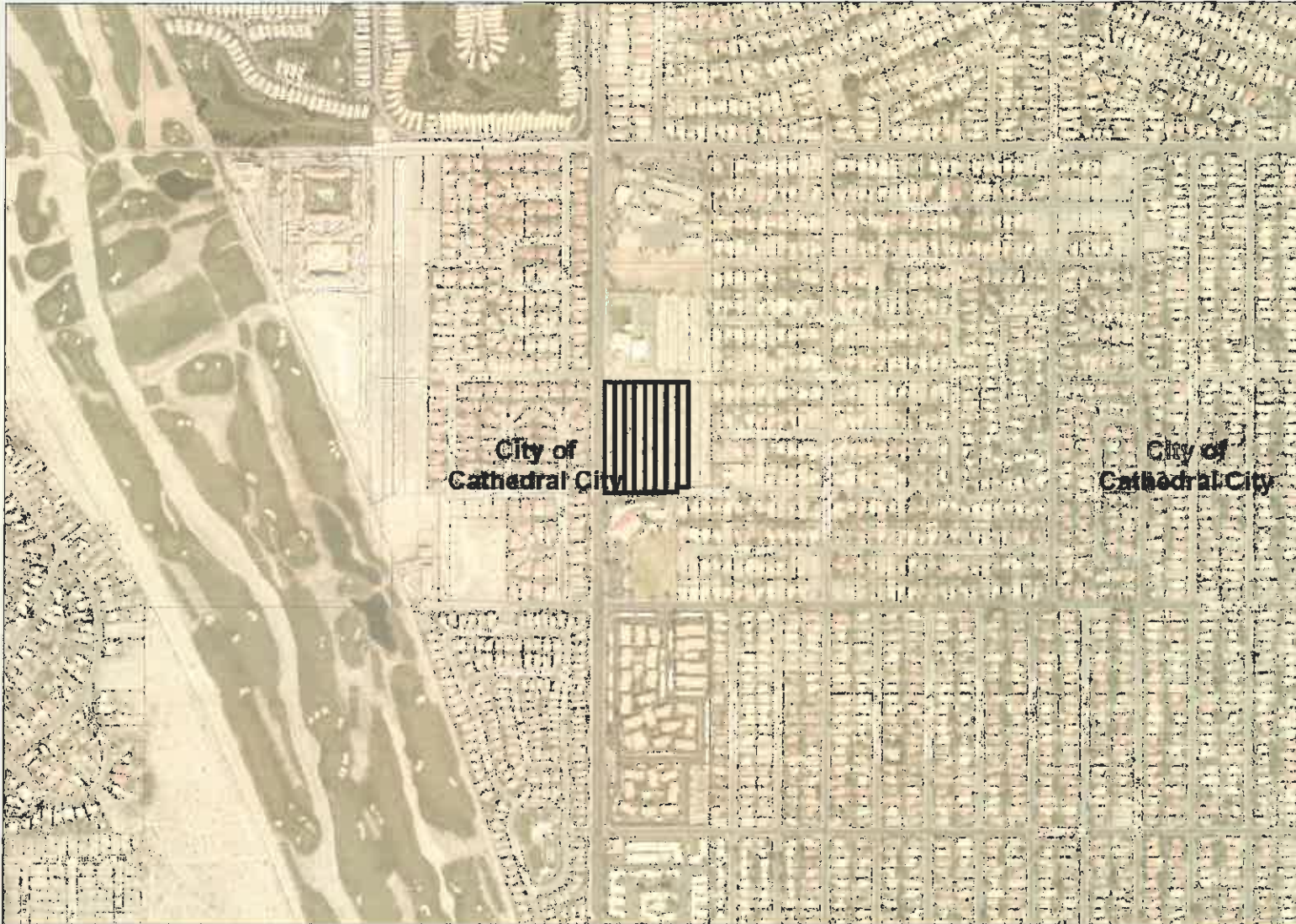
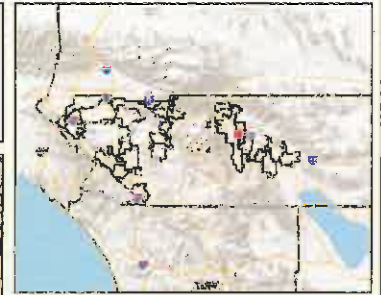
## Legend

- Palm Springs Regional





# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,091 2,183 Feet



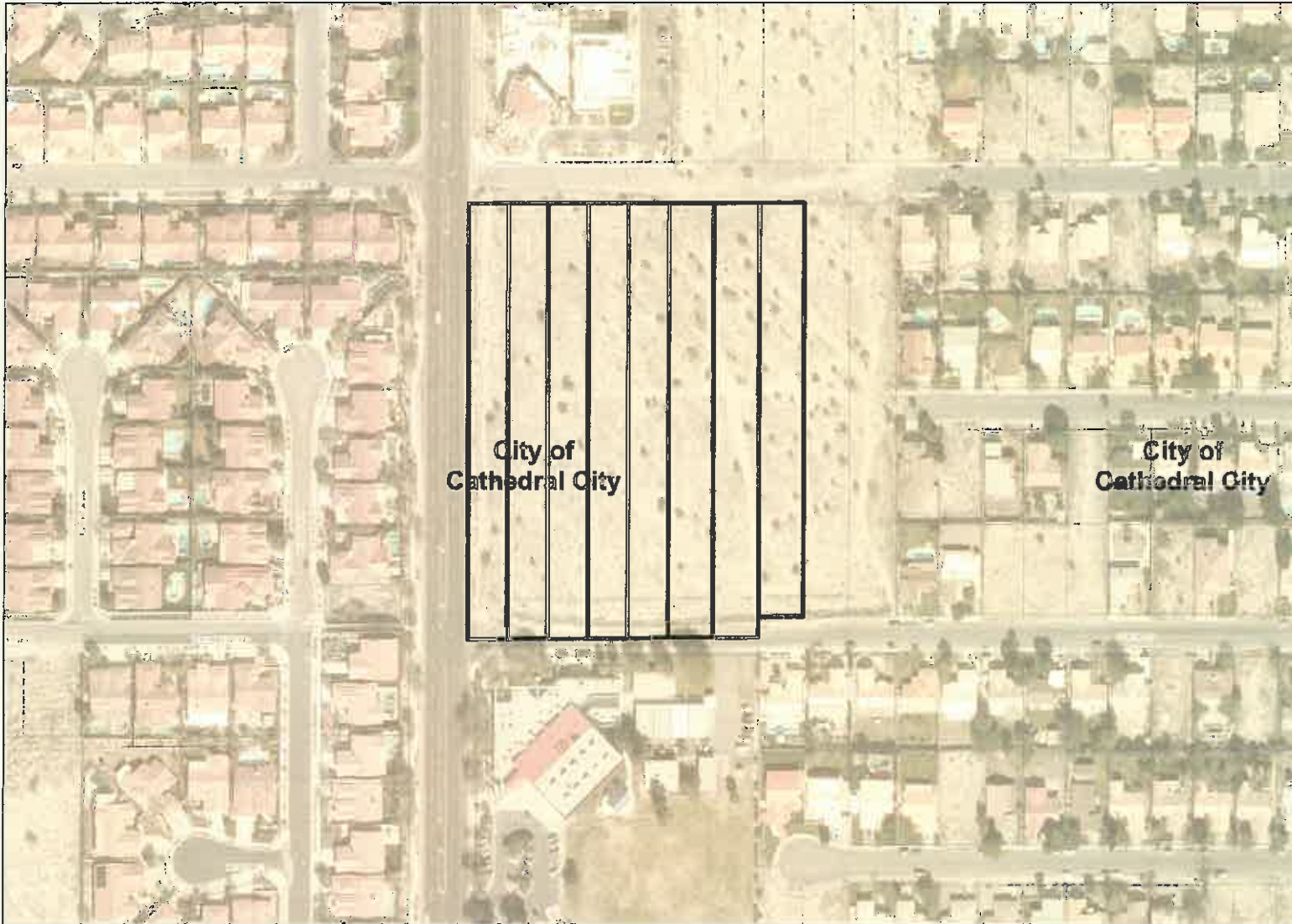
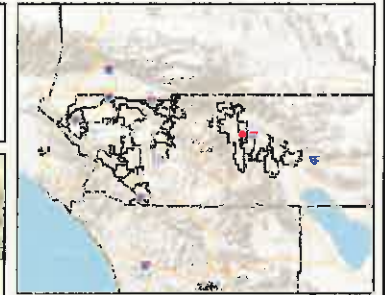
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## Notes

# My Map



### Legend

- City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



0 273 546 Feet



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### Notes

# Project Description

## Content

- a) Address of Project and APN
- b) Location of Project by Census Tract
- c) Total Number of Buildings in Community
- d) Total Number of Units by Bedroom Size in each Building
- e) Number and Bedroom Sizes
- f) Target Population, if any, of any non-HUD VASH Units
- g) New Construction: Plans, Details,
- h) Services
- i) Number of Employees
- j) Future Park Area
- k) Retention Basin

### a) Address of Project and APN

The site is approximately 6.5 acres of vacant land consisting of 8 separate, adjacent parcels located on Landau Boulevard, between Vega Road and Corta Road in Cathedral City. The APN numbers are 678-060-001 through 005, and 678-060-049, 050 and 052.

### b) Location of Property by Census Tract

The full tract number is 06065044925.

### c) Total Number of Buildings in the Community

Since the building segments are connected via walkways and roofs, the project is one building.

### d) Total Number of Units by Bedroom Size in each Building

The project is proposing a total of 60 units with a mix of 48 one-bedroom and 12 two-bedroom units.

### e) Number and Bedroom Sizes

The 48 one-bedroom units will be 661-692 sf, while the 12 two-bedroom units are 987 sf.

### f) Target Population

100% of the project's target population will be to house and serve veterans.

### g) New Construction: Plans, Details

*Veterans Village of Cathedral City* is a new construction project that will provide 60 rental units (59 low-income affordable housing units and one two-bedroom management unit) for veterans. Situated on approximately 6.5 acres, the site is flat and there are no existing structures or outbuildings.

As a result of the VASH Vouchers, affordability will range from 0% to 40% of the area median income.

Type	Units	%
One-bedroom	48	80%
Two-bedroom	11	19.34%
Two-bedroom/Mgmt Unit	1	1.66%
<b>Total</b>	<b>60</b>	<b>100%</b>

The project will consist of a single, two-story, garden style building with connecting, second story corridors that will provide 48 one-bedroom apartments, 12 two-bedroom apartments, and a community center. The one-bedroom unit size ranges from 661 sf to 692 sf. UHC will request a variance for the square footage of the one-bedroom units. Two-bedroom units are 987 sf. The community center is 2,490 sf, and is also connected to the structure by the upper corridor. There will be two elevators that provide for second-floor access. All 60 units and the site will be ADA compliant.

100 parking spaces will be allocated for the project, 60 spaces for residents and 40 additional spaces providing handicap parking and guest parking. Considering the population being served, homeless veterans, the amount of parking will be in considerable excess to the number of vehicles that the residents will have. All resident parking spaces are covered. The driveway will run along the southern, western, and northern portions of the site, providing access from Landau Blvd., Corta Road, and Vega Road.

*Veterans Village of Cathedral City* is proposed to have a slab-on-grade foundation and has been designed in an architectural style that reflects and enhances the surrounding neighborhood. The exterior material is primarily stucco with stone veneer at various locations throughout the building façade. The project has a community room with a full kitchen, computer lab, on-site leasing/manager office, media room, and service provider office. There will be an outdoor barbeque/picnic area and swimming pool. A laundry room will be located on each floor. Each laundry room will contain 4 washers and 4 dryers, for a total of 8 washers and 8 dryers.

Apartment amenities include a covered patio/balcony, dishwasher, refrigerator, range, garbage disposal, ceiling fan, and are wired for cable television. All appliances will be Energy Star rated. The units will include an emergency call system.

The project will also include solar power to provide electricity to the community room, common areas, and all units. The solar PV will be located on top of the carports.

The grounds including the courtyard, patio, walkways, recreational and perimeter areas, will be natively landscaped, which requires less maintenance and lower costs, while enhancing the beauty of the neighborhood.

This attractively designed project for veterans will serve the targeted population by providing accessibility to all units and common spaces, and providing safe environment for all tenants to live and thrive.

## **Construction Technic**

The buildings are designed with Type V wood construction.

## **Green Design**

UHC designs all projects to a minimum standard of LEED Silver, and the *Veterans Village of Cathedral City* will achieve at least the Silver level of LEED or Green Point.

Sustainable design is applied to active and inactive open space, providing a park-like setting with natural vegetation and drought tolerant plants for all residents to enjoy, improves storm water drainage and treatment.

Energy efficient design and materials will be utilized to reduce energy usage and costs for tenants and common area. At minimum, Solar Photovoltaic energy will be provided for common area. The concept of a working landscape, an edible landscape, will be incorporated into the design of the site. The following is a sample list of our typical green features:

### **Architecture-Materials**

- Manufactured floor joists
- Manufactured roof trusses
- R-19 wall insulation
- R-38 attic insulation
- R-6 insulated ducts
- Formaldehyde-Free insulation.
- Energy Star Low-E Double Pane Windows
- Radiant barrier roofs
- Energy Star appliances
- Tankless water heater
- High-efficiency plumbing fixtures
- Zero VOC interior paint
- Low VOC adhesives and sealants
- Hard surface flooring
- Fiberglass entry doors
- Solar PV for common area, If possible also for tenant via virtual net metering
- Energy saving light fixtures
- Low-Dust Stucco
- Hardiplank Siding

### **Landscape**

- Drought tolerant plants
- Reduced turf areas
- Bioswales to provide water quality
- High efficiency sprinkler systems
- Interconnected walking paths

### **h) Services**

These services are culturally competent and completely focused on the healing of service members as they attempt to re-enter society. These service centers are staffed by professionals who understand the veteran, the veteran's experience, and are truly driven to heal the warrior spirit.

Veterans Village of Cathedral City will be a true community collaboration of services to enhance and enrich the lives of both the permanent residents and the transitional residents. Veterans heal better, quicker, and lead more enriched lives when they live and heal in a community of their peers. The goal will be to provide a true continuum of care or as close to it on the site. All seven dimensions of wellness will be addressed; Physical, Intellectual, Emotional, Social, Occupational, Spiritual, and Environmental wellness will be the guiding principles of the facility. Outpatient services, residential services to include transitional housing, employment and training services, behavioral health services, intensive case management services, peer supports, education, rapid rehousing and homeless prevention, daily living classes, anger management, and family reunification services will be just a few of the needed supports to enhance our veterans lives.

#### **i) Number of Employees**

With many services being provided on site, typically, three to five professionals specifically addressing veteran services will be working on site at various times throughout the day. The property will have a full time, on-site manager as well as an on-site maintenance person. Landscaping services will be contracted and provide services on a weekly basis.

#### **j) Future Park**

The area to the east of the building and ground area of the Veterans Village will be a future park developed by the City. Retention areas have been eliminated from this area.

#### **k) Retention Basins**

The retention requirements have been designed to be located within the revised site boundaries of the Veterans Village grounds. Besides perimeter retention areas that meander adjacent to the street right of ways, two deeper basins have been added within the eastern boundary area of the project.



# VETERANS' VILLAGE OF CATHEDRAL CITY

## APPLICANT

48685 CATHEDRAL CITY L.P.  
URBAN HOUSING COMMUNITIES  
2800 E. 4TH STREET, SUITE 285  
SANTA ANA, CA 92705  
CONTACT: MARK IRVING  
PHONE: (714) 835-3995 EXT. 114

## PREPARER

RICK ENGINEERING COMPANY  
1770 IOWA AVENUE, SUITE 100  
RIVERSIDE, CA 92507  
CONTACT: RICHARD O'NEILL  
PHONE: (951) 762-9767

## APN'S

678-060-001, 678-060-002, 678-060-003,  
678-060-004, 678-060-005, 678-060-049,  
678-060-050, 678-060-051, 678-060-052,  
678-060-053

## THOMAS BROS. MAP

2009 RIVERSIDE COUNTY PAGE 787, GRID D1

## GROSS ACREAGE

9.05 ACRES

## EXISTING ZONING

R1 - SINGLE-FAMILY RESIDENTIAL

## PROPOSED ZONING

R2 - MULTIPLE-FAMILY RESIDENTIAL

## EXISTING LAND USE

RL - LOW DENSITY RESIDENTIAL  
(2-4.5 DU/AC)

## PROPOSED LAND USE

RM - MEDIUM DENSITY RESIDENTIAL  
(4.5-10 DU/AC)  
(PROJECT: 7.1 DU/AC)

## ADJACENT ZONING

R1 - SINGLE FAMILY RESIDENTIAL

## ADJACENT LAND USE

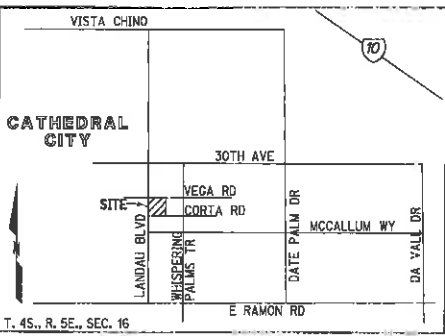
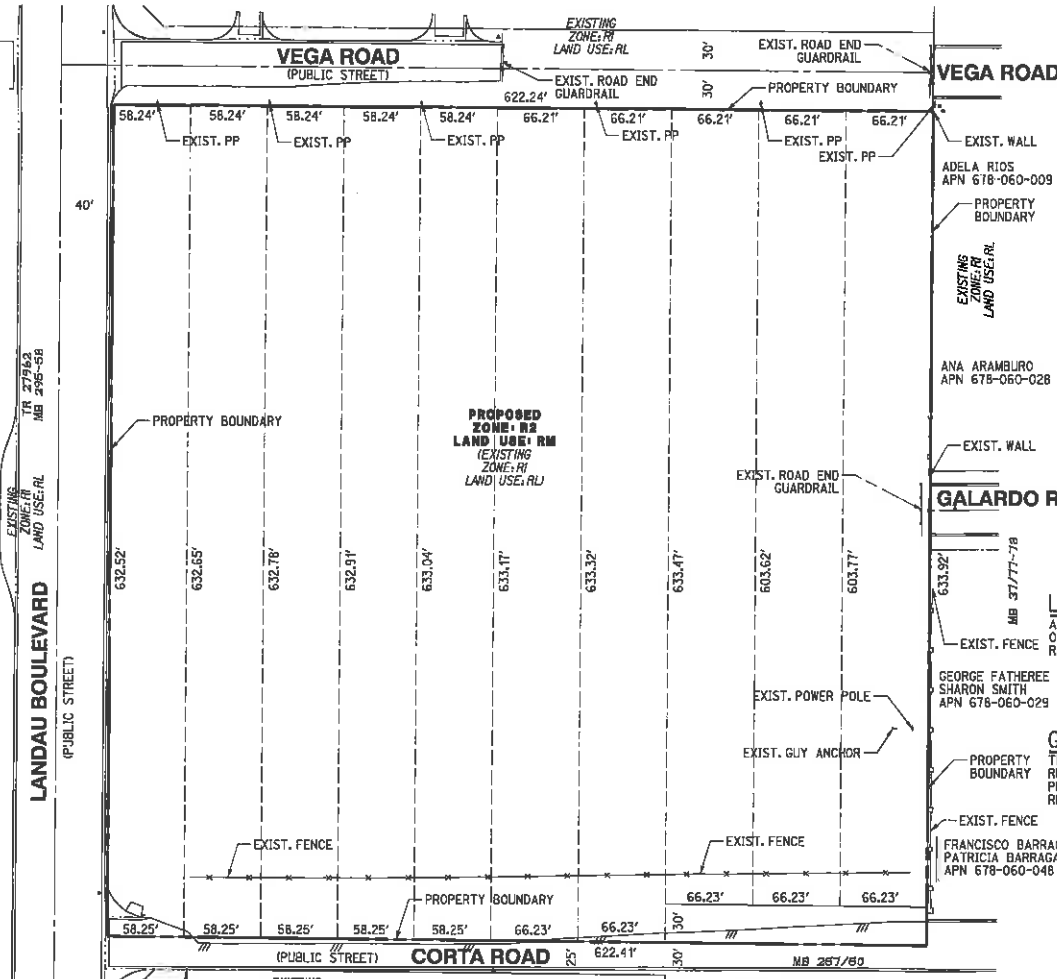
RL - LOW DENSITY RESIDENTIAL  
(2-4.5 DU/AC);  
P/S - SCHOOLS

## FEMA FLOOD ZONE

ZONE X

## UTILITY PURVEYORS

WATER: CVWD  
SEWER: CVWD  
GAS: SOUTHERN CALIFORNIA GAS CO.  
ELECTRICITY: SCE  
CABLE: TIME WARNER



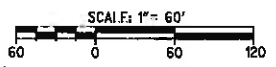
**LEGAL DESCRIPTION**  
A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 4 SOUTH RANGE 5 EAST SAN BERNARDINO MERIDIAN.

**GENERAL PLAN AMENDMENT DESCRIPTION**  
THE PRESENT GENERAL PLAN AND ZONING ARE R1, SINGLE FAMILY RESIDENTIAL. THE MULTI-FAMILY ASPECT OF THE DESIGN AND THE PROJECT SIZE OF 60 UNITS REQUIRES A GENERAL PLAN AMENDMENT AND REZONE TO THE R2, MULTIPLE FAMILY RESIDENTIAL.

# CHANGE OF ZONE & GENERAL PLAN AMENDMENT

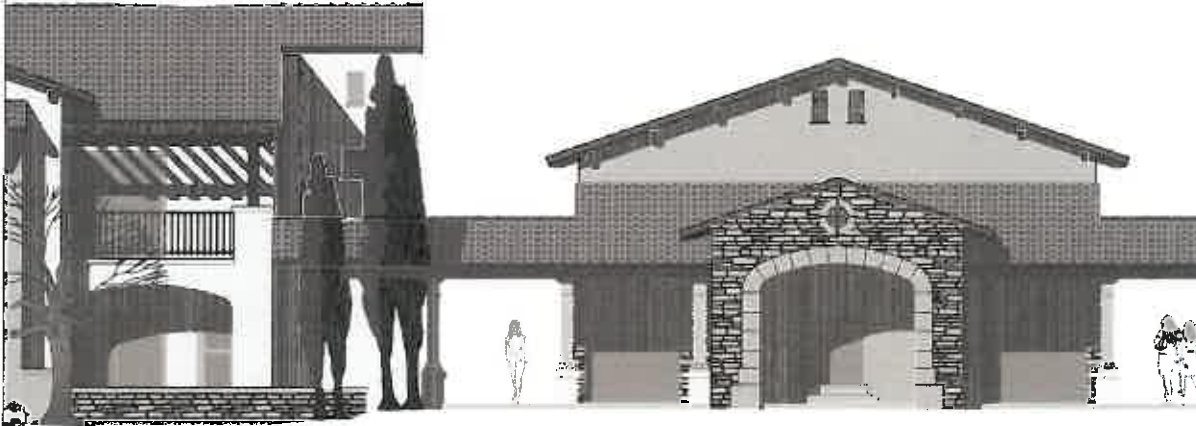
PREPARED FEBRUARY 21, 2017

DATE	BY	REVISIONS



**RICK ENGINEERING COMPANY**  
1770 IOWA AVENUE - SUITE 100  
RIVERSIDE, CA 92507  
951.762.0767  
951.762.0723  
www.rickeng.com

SHEET 1 OF 1



# Veteran's Village of Cathedral City

**Sixty unit / two story apartment building with single story community building and pool baths. On grade parking with covered carports for residents. .**

Zoning	R-2 multi-family
Lot size	6.5 acres (gross) 6.0 acres (net)
Density	10 du/acre (net)
Height	26' max
Building area*	37,624 sf
<i>*building footprint + covered walkways + patios</i>	
Building coverage	12% (net)
Open space/recreation area	200,800 sf / 50,000 sf

<b>Units</b>	
Unit A - one bedroom/one bath	28
Unit B - two bedroom/two bath	12
Unit C - one bedroom/one bath	20
Parking provided	90
Resident covered (carport)	60
Open	30
<i>(includes 4 disabled access spaces)</i>	
<b>Laundry rooms</b>	
5 washers/dryers in each of two laundry rooms	

<b>Living Area (gross)</b>	
Unit A 704 x 28	19,712
Unit B 1,008 x 12	12,096
Unit C 671 x 20	13,420
<b>subtotal</b>	<b>45,228 sf</b>
Community Building	2,964 with pool baths
Common areas (laundry, storage)	1,304
<b>Total enclosed building areas</b>	<b>49,496 sf</b>
Patio area	3,450
Deck area	2,754
Breezeways and staircases	10,341
<b>Total building</b>	<b>66,041 sf</b>

## Project Summary

1	Cover sheet / Index / Summary
2	Existing conditions
3	Site plan
4	Grading plan
5	Landscape plan
6	Site photometrics
7	Unit floor plans
8	Community building floor plan
9	First floor building plan
10	Second floor building plan
11	Roof plan
12	West elevation
13	North & South elevations
14	East elevation
15	Community building - n & s elevations
16	Breezeway elevations & sections



Vicinity map

**Owner**  
A0685 Cathedral City LP.  
2000 E. Fourth Street  
Santa Ana, CA 92705  
714.835.3955

**Developer**  
UHC  
2000 E. Fourth Street  
Santa Ana, CA 92705  
714.835.3955

**Architect**  
Michael Ball Architects  
4761 Halbrent Avenue  
Sherman Oaks, CA 91403  
818.783.8027

**Civil Engineer / Landscape**  
RICK Engineering  
1770 Iowa Avenue 100  
Riverside, CA 92507  
951.782.0707

Project Team

Index of drawings

**MICHAEL BALL Architects**  
4761 Halbrent Avenue Sherman Oaks, CA 91403

818-783-8027

**Veteran's Village of Cathedral City**  
Lanoue Boulevard, Cathedral City, California

Urban Housing Communities  
2000 E Fourth Street S205, Santa Ana, California 92705 714.835.3966

## Index Summary

Project Name	A0685 Cathedral City LP
Address	2000 E. 4th Street 92705
City	Santa Ana, CA 92705
Phone	T: 714.835.3955 F: 714.835.3975
Work Email	mrb@mba.com
Date	February 2010

Sheet No: **1**

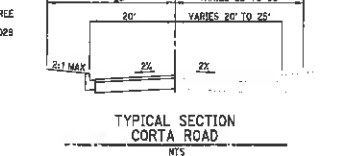
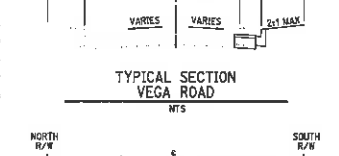
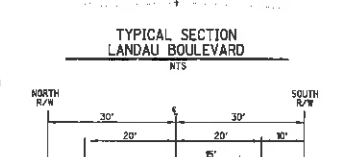
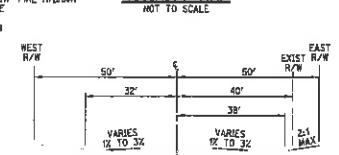
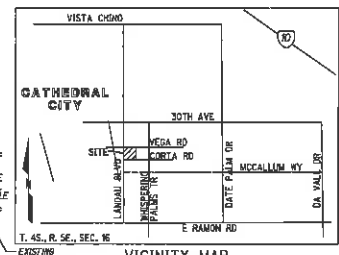
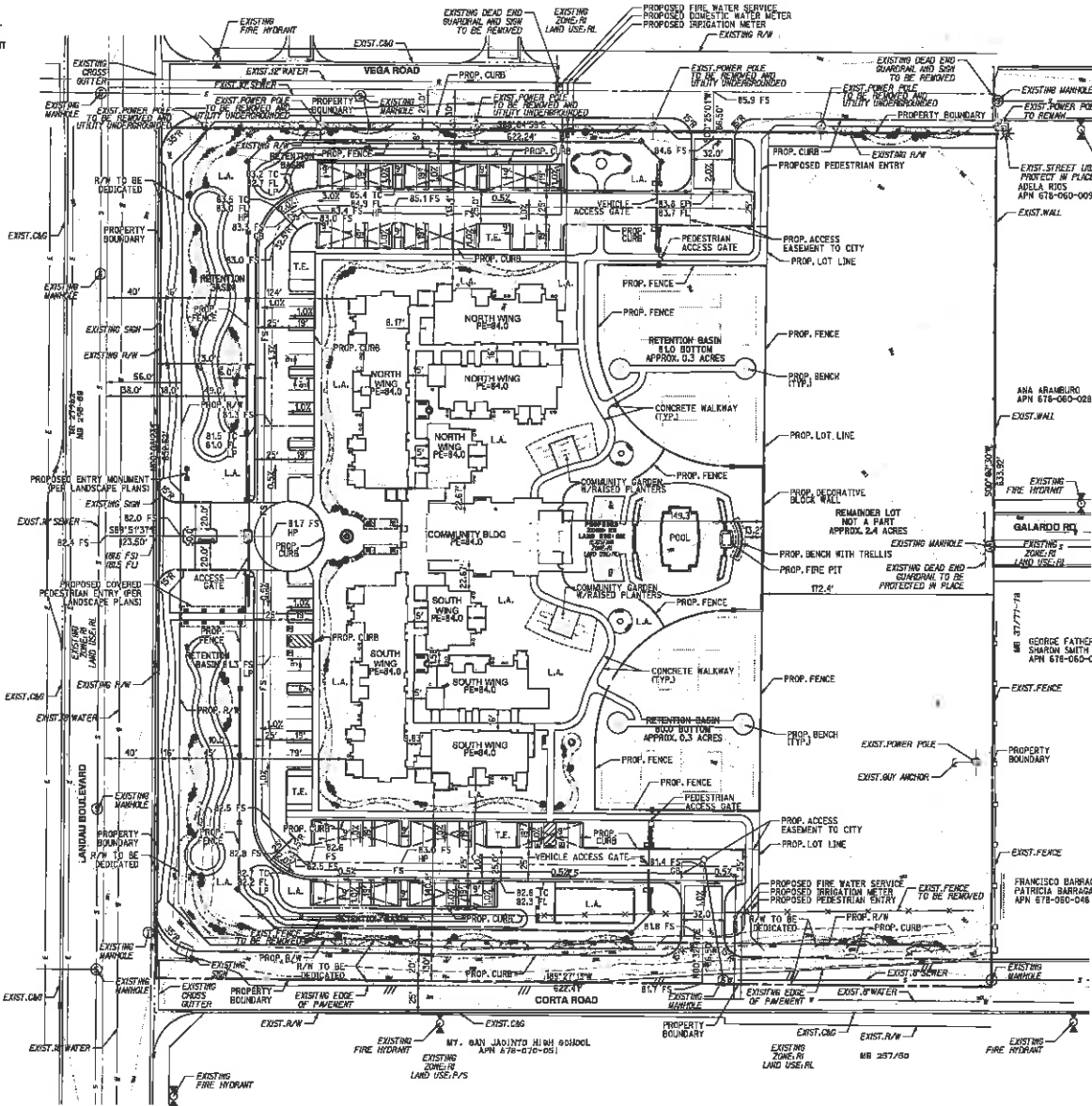


IN THE CITY OF CATHEDRAL CITY, CALIFORNIA  
**VETERAN'S VILLAGE OF CATHEDRAL CITY**

**GENERAL PLAN AND ZONING NOTE:**  
 THE PRESENT GENERAL PLAN AND ZONING ARE BY SINGLE FAMILY RESIDENTIAL. THE MULTI-FAMILY ASPECT OF THE DESIGN AND THE PROJECT SIZE OF 60 UNITS REQUIRES A GENERAL PLAN AMENDMENT AND REZONE TO THE R2, MULTIPLE FAMILY RESIDENTIAL.

**NOTE:** ALL VEHICULAR AND PEDESTRIAN ACCESS GATES WILL BE FOR RESIDENTS AND GUESTS ONLY.  
**NOTE:** ALL GROUND-MOUNTED EQUIPMENT SUCH AS ELECTRICAL CABINETS, AIR CONDITIONING EQUIPMENT AND METERS SHALL BE SCREENED WITH LANDSCAPING.

- APN'S**  
 678-060-001, 678-060-002, 678-060-003, 678-060-004, 678-060-005, 678-060-049, 678-060-050, 678-060-051, 678-060-062, 678-060-063
- THOMAS BROS. MAP**  
 2009 RIVERSIDE COUNTY PAGE 787, GRID D1
- GROSS ACREAGE**  
 6.8 ACRES
- NET ACREAGE**  
 6.0 ACRES - RESIDENTIAL  
 0.8 ACRES - STREET DEDICATION
- EXISTING ZONING**  
 RT - SINGLE-FAMILY RESIDENTIAL
- PROPOSED ZONING**  
 R2 - MULTIPLE-FAMILY RESIDENTIAL
- EXISTING LAND USE**  
 RL - LOW DENSITY RESIDENTIAL  
 (2-4.5 DU/AC)
- PROPOSED LAND USE**  
 RM - MEDIUM DENSITY RESIDENTIAL  
 (4.5-10 DU/AC)  
 (PROJECT TO DU/AC)
- ADJACENT ZONING**  
 RT - SINGLE-FAMILY RESIDENTIAL
- ADJACENT LAND USE**  
 RL - LOW DENSITY RESIDENTIAL  
 (2-4.5 DU/AC)  
 P/S - SCHOOLS
- FEMA FLOOD\_ZONE**  
 ZONE X
- UTILITY PURVEYORS**  
 WATER: CDMG  
 SEWER: CDMG  
 GAS: SOUTHERN CALIFORNIA GAS CO.  
 ELECTRICITY: SCE  
 CABLE: TIME WARNER
- LEGEND**
- FIRE HYDRANT
  - SEWER MANHOLE
  - POWER POLE
  - TELE. MANHOLE
  - LIGHT POLE
  - ELEC. POLE BOX
  - CURB & GUTTER
  - LANDSCAPE AREA
  - TRASH ENCLOSURE
  - TYPICAL
  - EXISTING
  - PROPOSED
  - RIGHT-OF-WAY
  - CARPORT
- AC CONDENSER UNIT  
 LOCATION SUBJECT TO CHANGE



SCALE: 1" = 40'

**MICHAEL BALL Architects**  
 4761 Heilbert Avenue Sherman Oaks, CA 91403

**RICK ENGINEERING COMPANY**  
 14110 VAN NEUME  
 VAN NEUME, CA 91317  
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 FAX: (626) 251-1001  
 WWW: WWW.RICKENGINEERING.COM

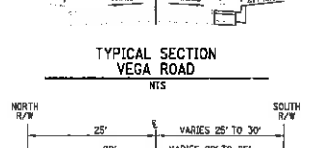
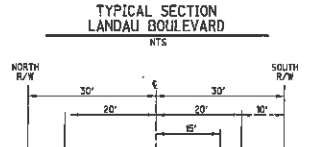
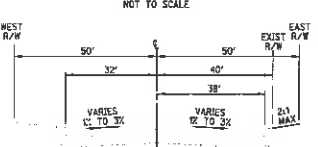
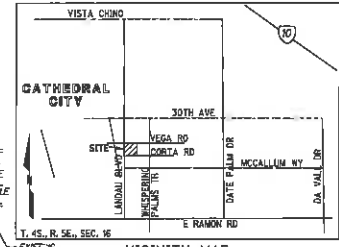
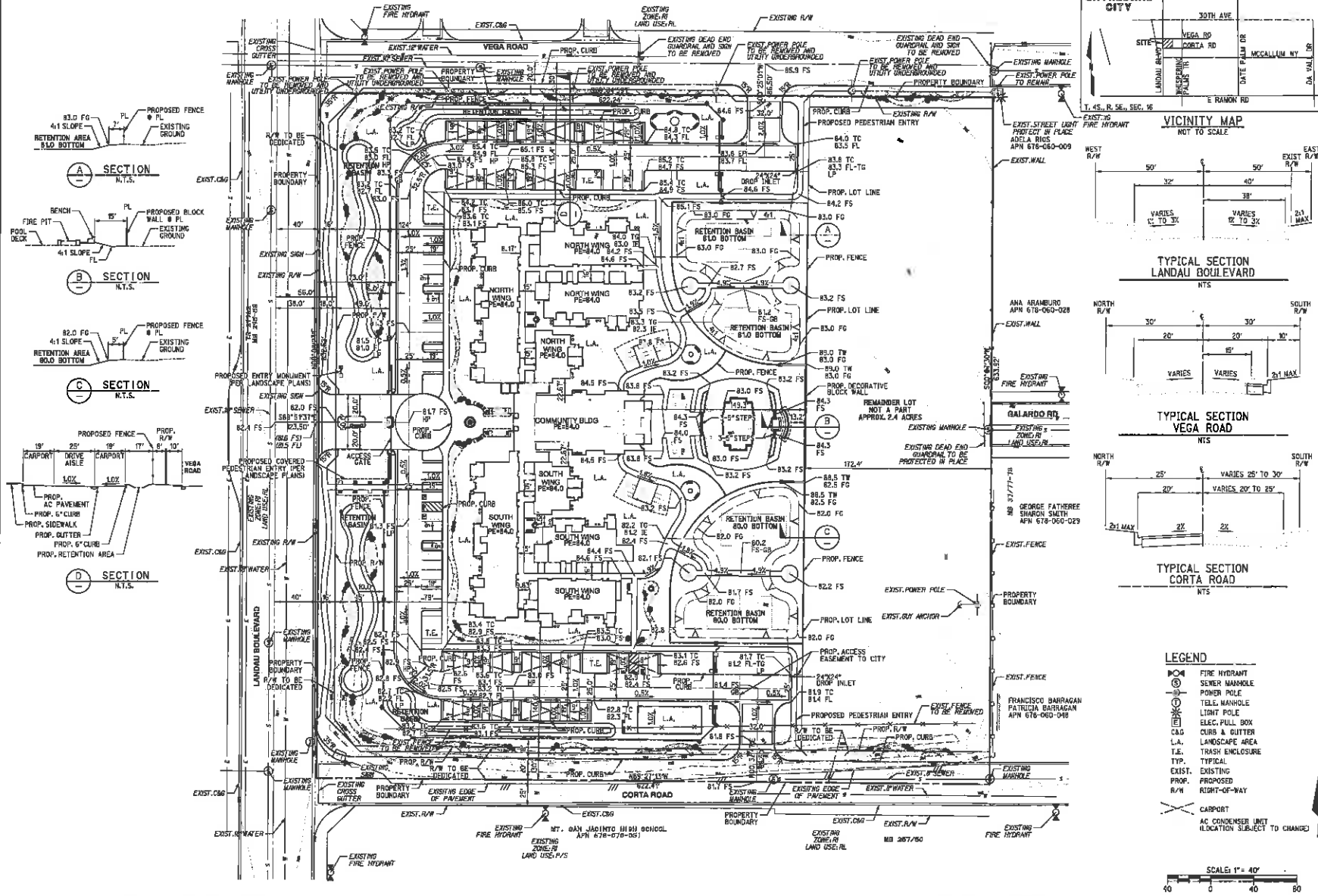
**Veteran's Village of Cathedral City**  
 Landau: Boulevard, Cathedral City, California

Urban Housing Communities  
 2000 E Fourth Street S205, Santa Ana, California 92705 714.835.3966

<b>SITE PLAN</b>	
Applicant: Address: Cathedral City LP 2000 E. 4th Street, 3205 Santa Ana, CA 92709 T: 714.835.3966 F: 714.835.3276 Mark Irving m.irving@rickinc.net	
Date: February 2016	
Sheet No:	<b>3</b>

IN THE CITY OF CATHEDRAL CITY, CALIFORNIA  
**VETERAN'S VILLAGE OF CATHEDRAL CITY**

**GENERAL PLAN AND ZONING NOTE:**  
 THE PRESENT GENERAL PLAN AND ZONING ARE (1) SINGLE FAMILY RESIDENTIAL. THE MULTI-FAMILY ASPECT OF THE DESIGN AND THE PROPOSED SIZE OF 60 UNITS REQUIRES A GENERAL PLAN AMENDMENT AND REZONE TO THE R2, MULTIPLE FAMILY RESIDENTIAL.



- LEGEND**
- ⊙ FIRE HYDRANT
  - ⊕ SEWER MANHOLE
  - ⊖ POWER POLE
  - ⊗ TELE. MANHOLE
  - ⊘ LIGHT POLE
  - ⊙ ELEC. PULL BOX
  - ⊙ CURB & GUTTER
  - L.A. LANDSCAPE AREA
  - T.E. TRASH ENCLOSURE
  - TYP. TYPICAL
  - EXIST. EXISTING
  - PROP. PROPOSED
  - R/W RIGHT-OF-WAY
  - ⊘ CARPORT
  - ⊙ AC CONDENSATE UNIT (LOCATION SUBJECT TO CHECK)
- SCALE: 1" = 40'

**MICHAEL BALL Architects**  
 4781 Haberman Avenue Sherman Oaks, CA 91403

**RICK ENGINEERING COMPANY**  
 4010 WILSON AVENUE  
 ANAHEIM, CA 92807  
 (714) 433-3885  
 FAX: (714) 433-3878  
 WWW: WWW.RICK-ENG.COM

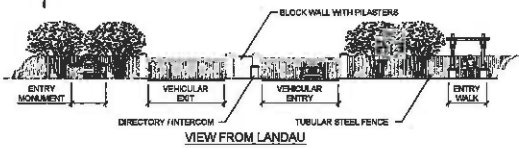
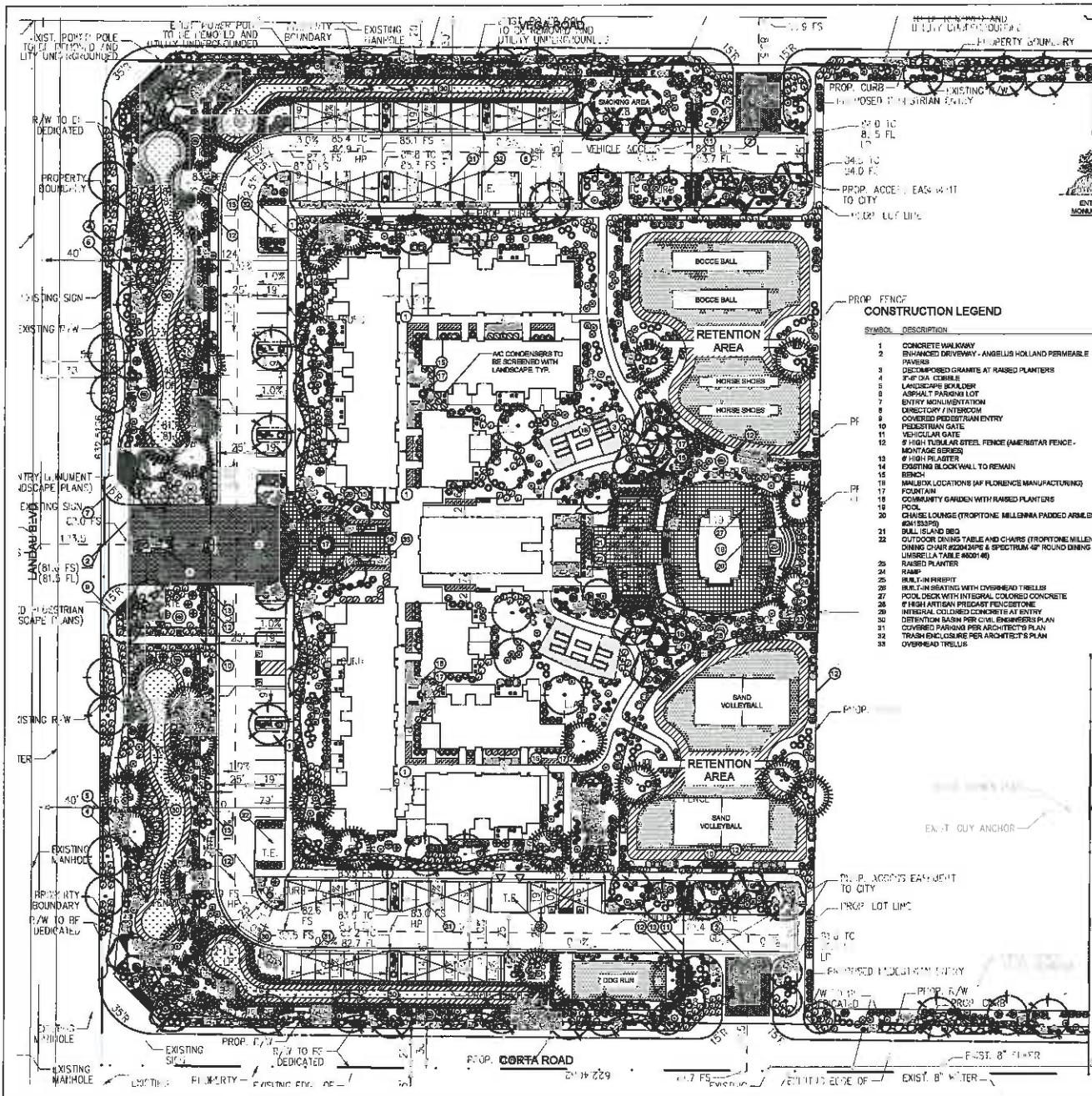
**Veteran's Village of Cathedral City**  
 Landau Boulevard, Cathedral City, California  
 Urban Housing Communities  
 2000 E Fourth Street S205, Santa Ana, California 92705  
 714.835.3966

Sheet Title  
**PRELIMINARY GRADING PLAN**

Project:  
 JONES Collocated City LP  
 2000 E. 4th Street, S205  
 Santa Ana, CA 92708  
 T: 714.835.3965 F: 714.835.3878  
 Main Invg: mhwg@ballinc.com

Date: February 2019

Sheet No: **4**



**CONSTRUCTION LEGEND**

- | SYMBOL | DESCRIPTION   |
|--------|---|
| 1      | CONCRETE WALKWAY  |
| 2      | ENHANCED DRIVEWAY - ANELLUS HOLLAND PERMEABLE PAVEMENT  |
| 3      | DESKAPED GRANITE AT RAISED PLANTERS   |
| 4      | 3"Ø DIA. COBBLE   |
| 5      | LANDSCAPE BOLLARD   |
| 6      | ASPHALT PARKING LOT   |
| 7      | ENTRY MONUMENTATION   |
| 8      | DIRECTORY / INTERCOM  |
| 9      | COVERED PEDESTRIAN ENTRY  |
| 10     | PEDESTRIAN GATE   |
| 11     | VEHICULAR GATE  |
| 12     | 5" HIGH TUBULAR STEEL FENCE (AMENISTAR FENCE - MOUNTAGE SERIES)   |
| 13     | Ø HIGH PLANTER  |
| 14     | EXISTING BLOCK WALL TO REMAIN   |
| 15     | BENCH   |
| 16     | MULTILOC LOCATIONS (AP FLORENCE MANUFACTURING)  |
| 17     | FOUNTAIN  |
| 18     | COMMUNITY GARDEN WITH RAISED PLANTERS   |
| 19     | POOL  |
| 20     | CRUISE LOUNGE (TROPICONE MILLENNIA PADDED ARMLESS Ø24" Ø34")  |
| 21     | BULL ISLAND BBQ   |
| 22     | OUTDOOR DINING TABLE AND CHAIRS (TROPICONE MILLENNIA DINING CHAIR Ø22M Ø34" & SPECTRUM 4"Ø ROUND DINING UMBRELLA TABLE Ø40"Ø) |
| 23     | RAISED PLANTER  |
| 24     | RAMP  |
| 25     | BUILT-IN PERCH  |
| 26     | BUILT-IN SEATING WITH OVERHEAD TRELLIS  |
| 27     | POOL DECK WITH INTEGRAL COLORED CONCRETE  |
| 28     | Ø HIGH ARTISAN PRECAST FENCESTONE   |
| 29     | INTERIOR COLORED CONCRETE AT ENTRY  |
| 30     | DEFENTION BASIN PER CIVIL ENGINEER'S PLAN   |
| 31     | COVERED PARKING PER ARCHITECT'S PLAN  |
| 32     | TRELLIS ENCLOSURE PER ARCHITECT'S PLAN  |
| 33     | OVERSHAD TRELLIS  |

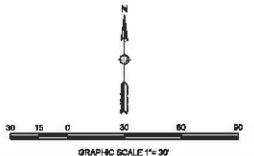
**PRELIMINARY PLANT PALETTE**

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	SPACING	MIN. CALIPER	DECI / FEET	QTY
	Olive var. 'Wilson / Wilson Fatouma Olive	24" Box	Per Plan	1.5"		
	Ligustrum indica / China Myrtle	24" Box	Per Plan	1"		
	Chibaia laetevirens / Chibaia	24" Box	Per Plan	1.5"		
	Ficus religiosa / Fig Tree	24" Box	Per Plan	2"		
	Cordyline allamanda / Blue Palm Weave	24" Box	Per Plan	1.5"		
						TOTAL TREES: 102
						% EVERGREEN: 2%

**PRELIMINARY PLANT PALETTE**

FINAL PLANT SELECTION MAY CONSIST OF:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WOODS SPACING
	Agave viviparans	Octopus Agave	15gal	L 48" x c.
	Aloe Vera	Blue Aloe	15gal	L 24" x c.
	Bougainvillea La Jolla	La Jolla Bougainvillea	15gal	L 48" x c.
	Cassipouira pauciflora	Red Bird of Paradise	5gal	L 60" x c.
	Callitriche californica	Deja Feu Duster	5gal	L 48" x c.
	Delonix reginae	Trailing Indigo Bush	1gal	L 36" x c.
	Desfontainia serotina	Desert Spirea	5gal	L 48" x c.
	Ficus religiosa	Fig Tree	5 calamin. Vt.	30" x c.
	Hesperaloe parviflora	Red Yucca	1gal	Vt. 48" x c.
	Lantana Gold Mount	Gold Mount Lantana	5gal	L 48" x c.
	Leucophyllum thaidenudum	Violet Silverchast	15gal	L 48" x c.
	Muhlenbergia rigida	Regal Mist	1gal	L 48" x c.
	Pouteria setosum	Fountain Grass	5gal	L 54" x c.
	Roupellia o. 'Hendersonia'	Prosperity Newberry	5gal	L 48" x c.
	Salvia g. 'Turner's Reef'	Turner's Red Autumn Sage	5gal	L 36" x c.
	Melaleuca unguis-cati	CAT'S CLAW	5gal	L
	Anacardium occidentale	Mt. Cashew Tree	5 Gal	M 48" x c.
	Brunfelsia pauciflora	Yellow, Today & Tomorrow	5 Gal	M 48" x c.
	Lycopodium obscurum	Silvery Starburst Lycopodium	1 Gal	M 18" x c.
	Vinca minor	Periwinkle	1 Gal	M 18" x c.
	California Meadow Sage	15gal	12" x c.	M
	Soft Rush	1gal	24" x c.	M



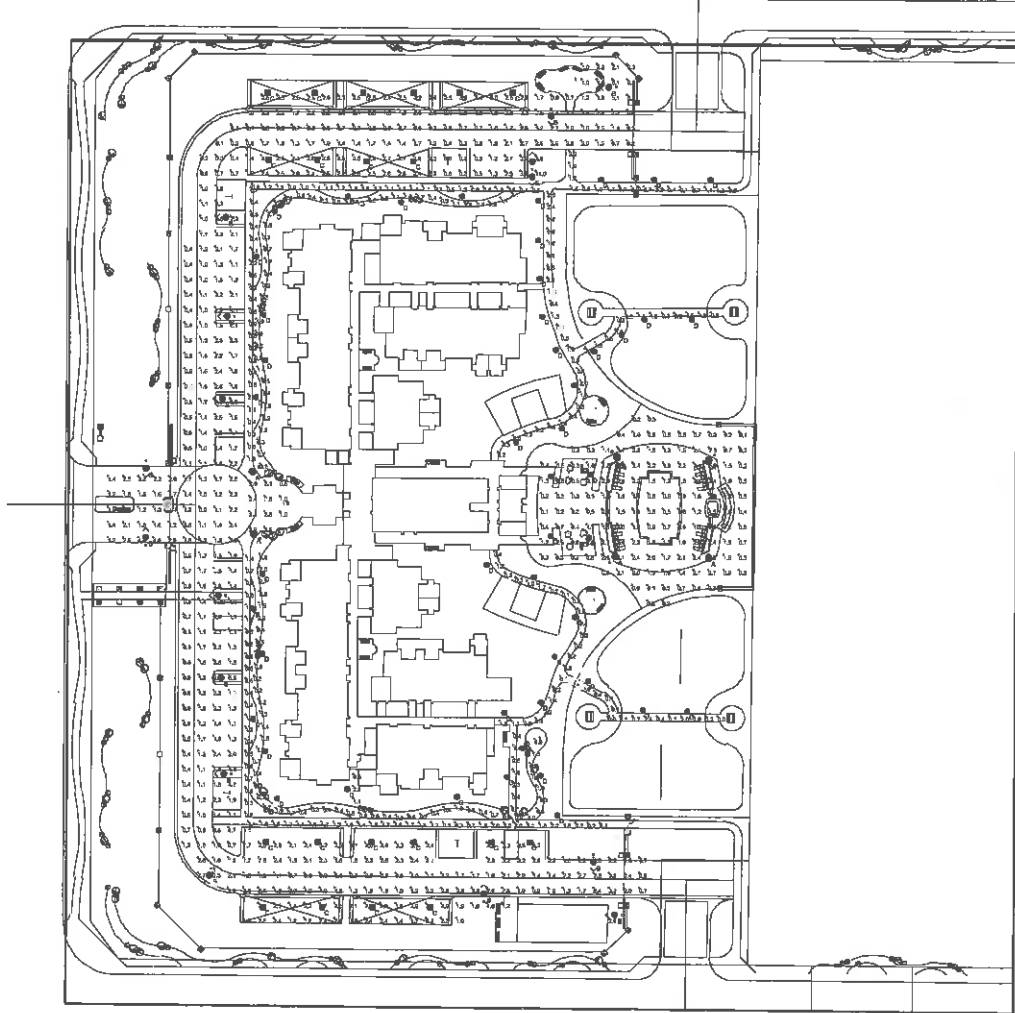
**MICHAEL BALL Architects**  
 4761 Hubbard Avenue, Sherman Oaks, CA 91403  
 818.763.8027

**RICK ENGINEERING COMPANY**  
 1718 TEMPE AVENUE, SUITE 100  
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 602.954.1111  
 www.rickeng.com

**Veteran's Village of Cathedral City**  
 Landau Boulevard, Cathedral City, California  
 Urban Housing Communities  
 2000 E Fourth Street, Santa Ana, California 92705 714.835.3966

Sheet Title: \_\_\_\_\_  
 Project: Veteran's Village of Cathedral City LP  
 2000 E. 4th Street, Santa Ana, CA 92705  
 714.835.3966 F: 714.835.3276  
 Email: mball@mba.net  
 Date: February 2018  
 Sheet No: \_\_\_\_\_



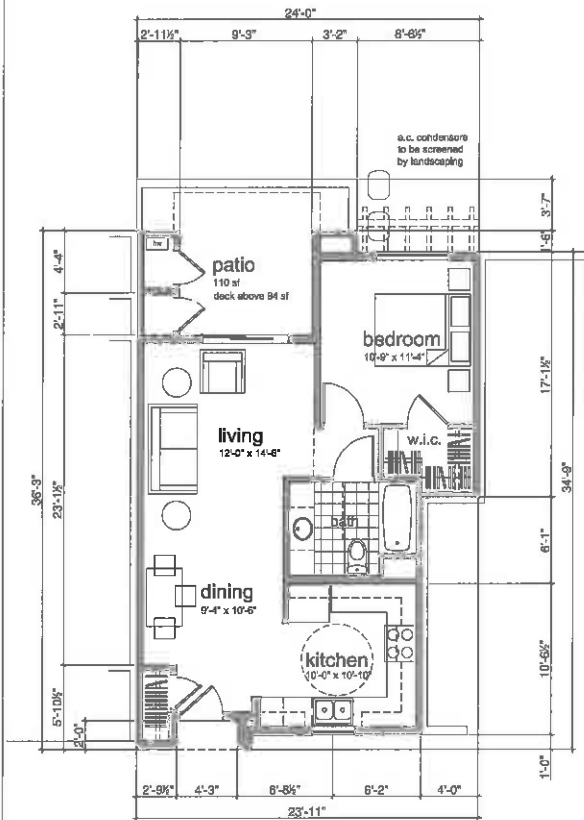


Symbol	Level	Quantity	Location	Manufacturer	Model	Notes	Beam Angle	Mounting Height	Open Area	Beam
●	A	1	LANDAU BOULEVARD	PHOTOMETRICS	PHOTOMETRICS 100 WPT	PHOTOMETRICS 100 WPT	120°	10 FT	100	100
●	B	17	ALL SIDEWALKS	PHOTOMETRICS	PHOTOMETRICS 100 WPT	PHOTOMETRICS 100 WPT	120°	10 FT	100	100
⊗	C	11	PARKING	PHOTOMETRICS	PHOTOMETRICS 100 WPT	PHOTOMETRICS 100 WPT	120°	10 FT	100	100
●	D	16	ALL SIDEWALKS	PHOTOMETRICS	PHOTOMETRICS 100 WPT	PHOTOMETRICS 100 WPT	120°	10 FT	100	100
●	E	1	ALL SIDEWALKS	PHOTOMETRICS	PHOTOMETRICS 100 WPT	PHOTOMETRICS 100 WPT	120°	10 FT	100	100

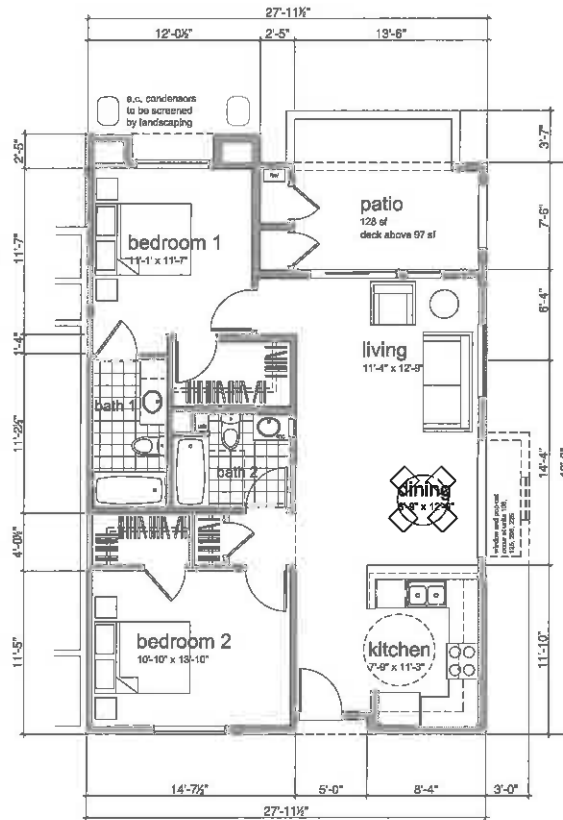
Location	Symbol	Area	Beam	Height	Beam
Landau Blvd	A	100	120°	10 FT	100
Sidewalks	B	1700	120°	10 FT	100
Parking	C	1100	120°	10 FT	100
Sidewalks	D	1600	120°	10 FT	100
Sidewalks	E	100	120°	10 FT	100

This layout design is the property of Site Lighting Systems. It cannot be used for installation of products other than specified.

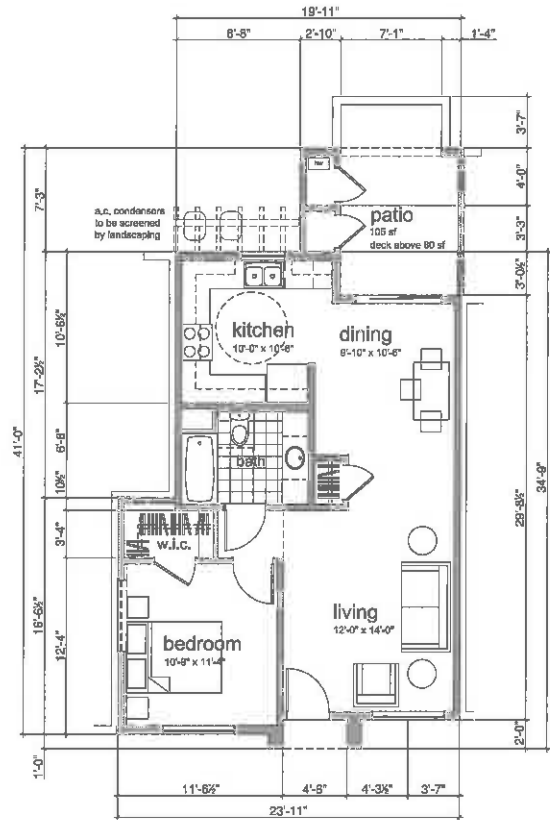




**Unit C**  
one bedroom / one bath  
671 sf



**Unit B**  
two bedroom / two bath  
1,008 sf



**Unit A**  
one bedroom / one bath  
704 sf

scale: 1/4" = 1'-0"

Sheet Title:  
**Unit plans**

Author:  
ADHS Cathedral City LP  
2000 E. 4th Street S225  
Santa Ana, CA 92705  
T: 714.835.3966 F: 714.835.3970  
Mark Irving miv@adhs.com

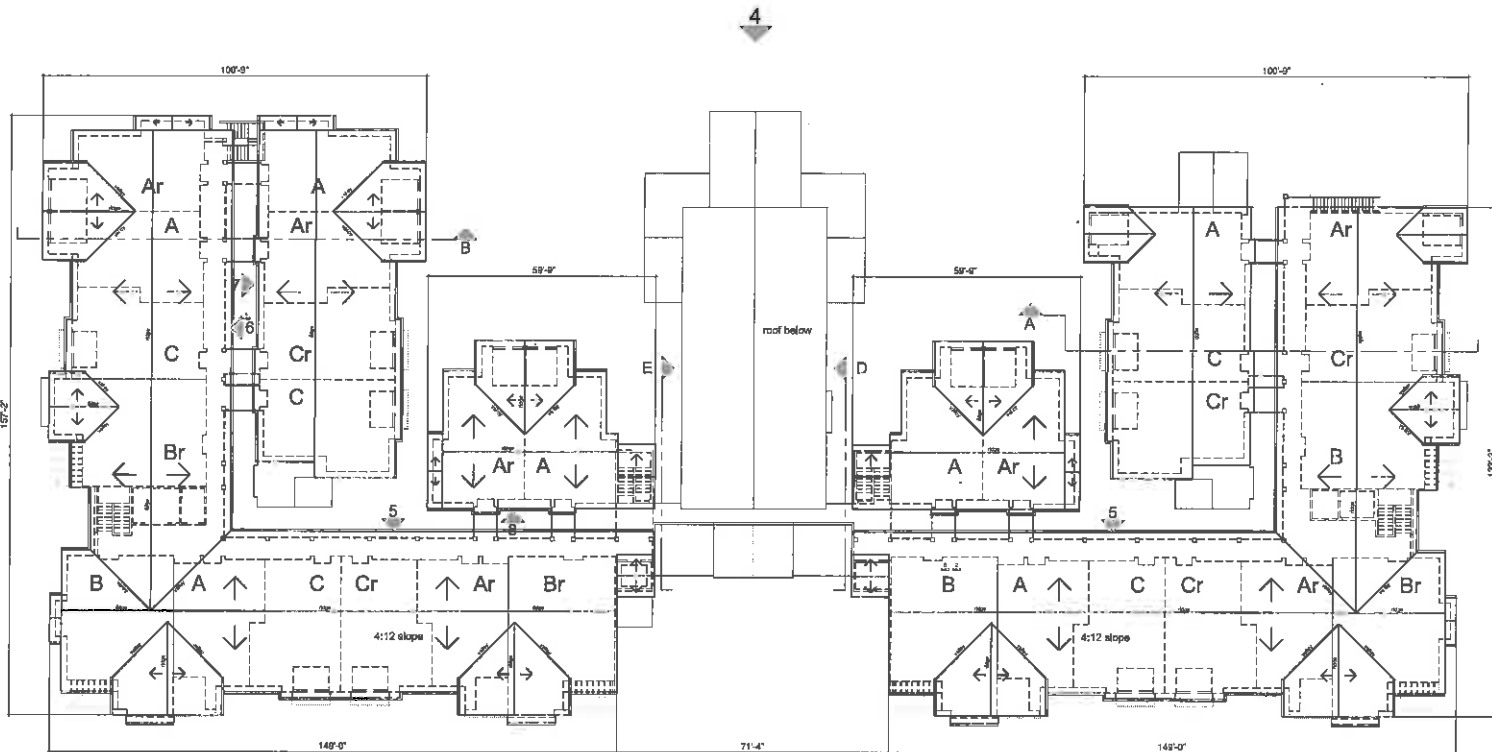
Date: February 2018

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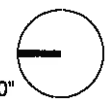
North wing

South wing

note: there is no roof mounted equipment

# Roof plan

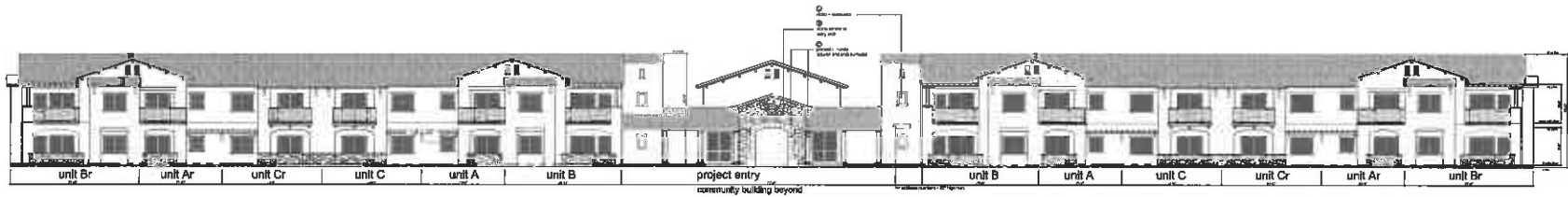
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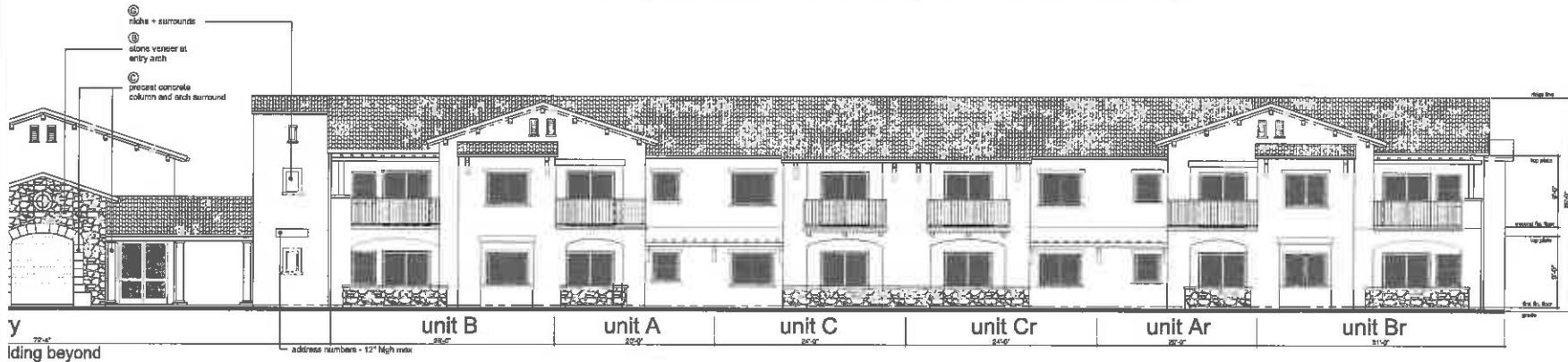
**MICHAEL BALL Architects**  
 4781 Halbrand Avenue Sherman Oaks, CA 91403  
 818-783-8027

**Veteran's Village of Cathedral City**  
 Landau Boulevard, Cathedral City, California  
 Urban Housing Communities  
 2000 E Fourth Street S205, Santa Ana, California 92705 714.835.3966

Sheet Title	Roof
Applicant	AOBIS Cathedral City LP 2000 E. 4th Street Santa Ana, CA 92705
Architect	Michael Ball Architects 4781 Halbrand Avenue Sherman Oaks, CA 91403 Tel: 818-783-8027 Fax: 818-783-8027 michael.ball@mba.com
Date	February 2016
Sheet No.	11

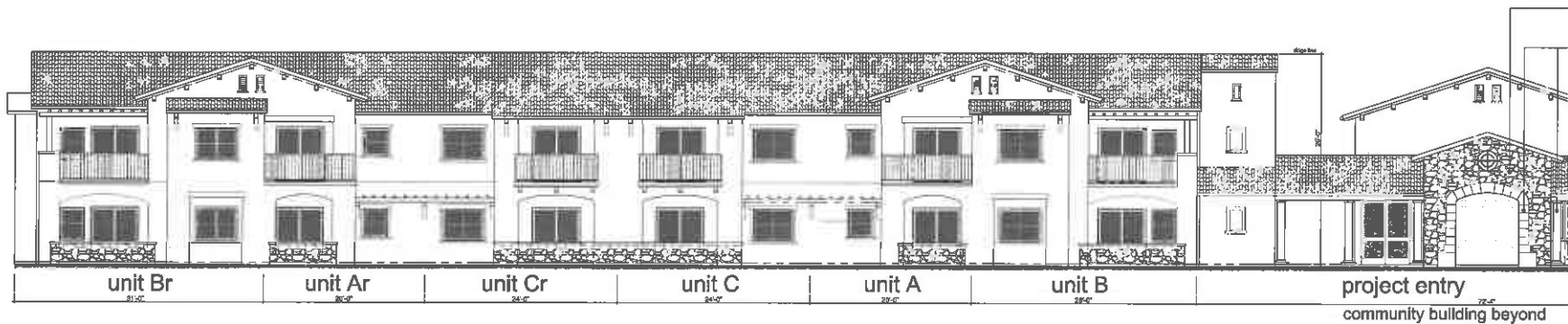


① West elevation (Landau Blvd)



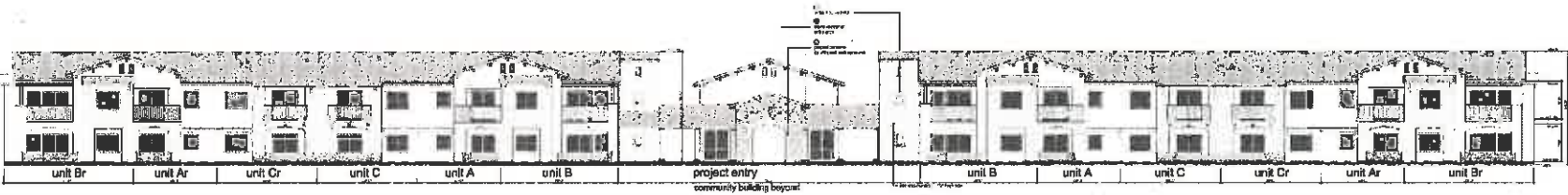
West elevation - south wing

scale: 1/8" = 1'-0"

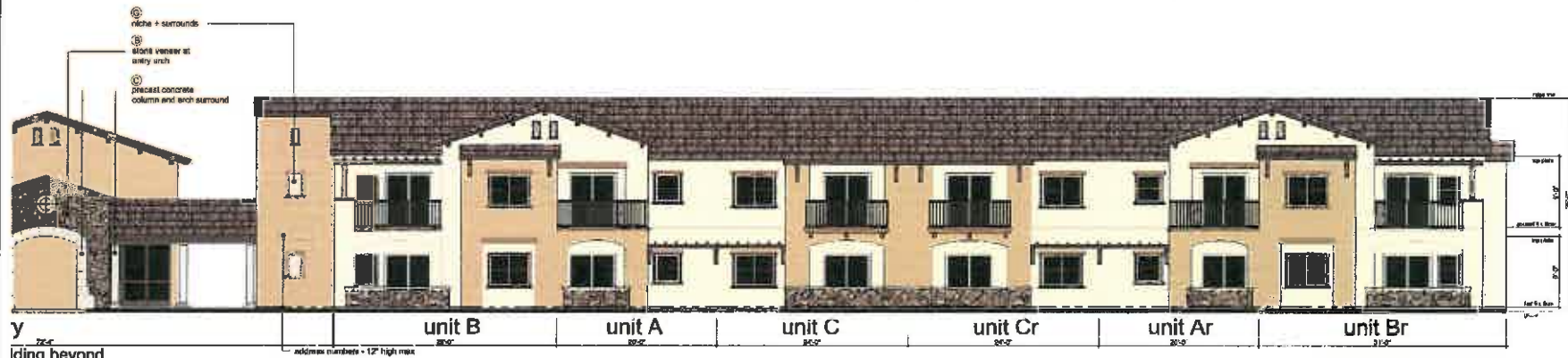


West elevation - north wing

See North & South elevations for material and finish call-outs

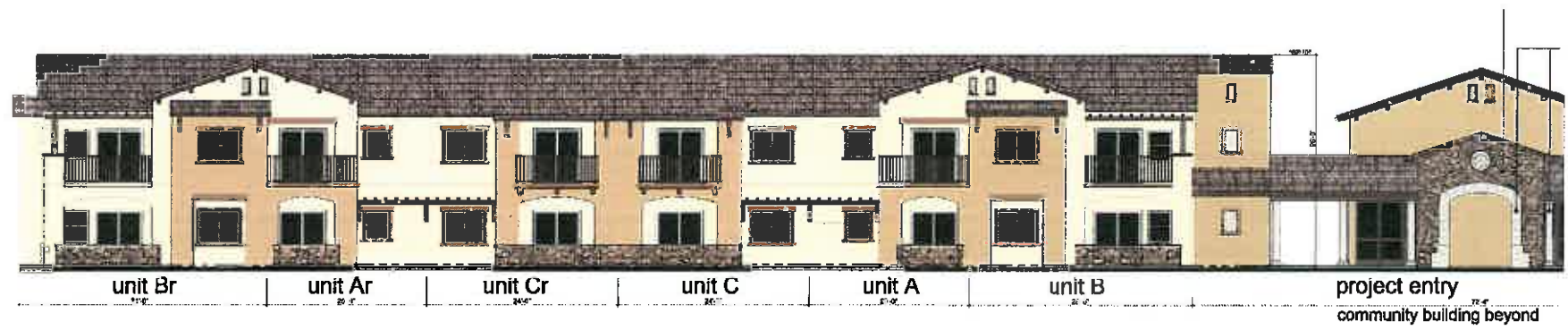


① West elevation (Landau Blvd)



West elevation - south wing

scale: 1/8" = 1'-0"



West elevation - north wing

See North & South elevations for material and finish call-outs

**MICHAEL BALL Architects**  
4781 Halbert Avenue, Sherman Oaks, CA 91403

818-783-6027

**Veteran's Village of Cathedral City**  
Landau Boulevard, Cathedral City, California

Urban Housing Communities  
2000 E Fourth Street S205, Santa Ana, California 92705 714.835.3686

**West Elevations**

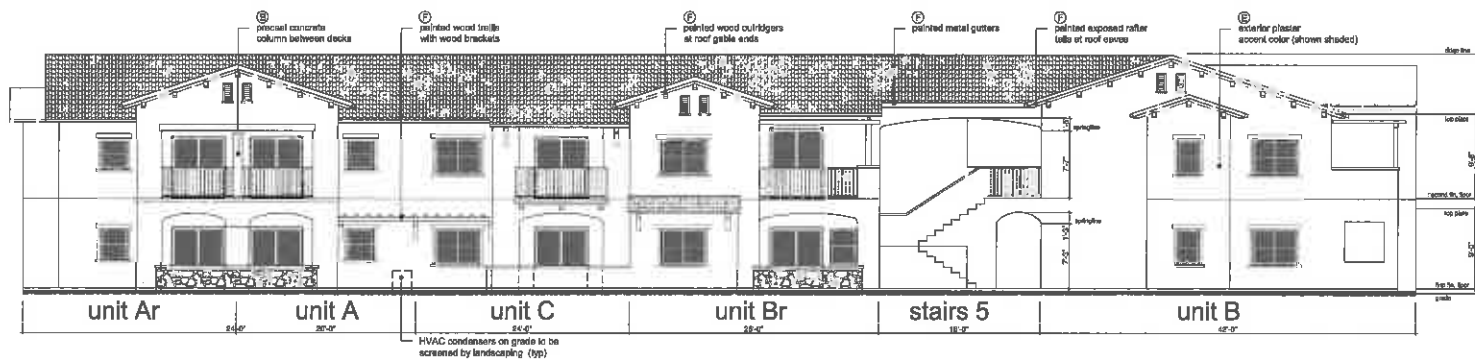
Project No: 2000 E 4th Street - S205  
Santa Ana, CA 92705  
T: 714.835.3686 F: 714.835.3675  
M: 714.835.3686  
Drawn: February 2016

Sheet No: **12**

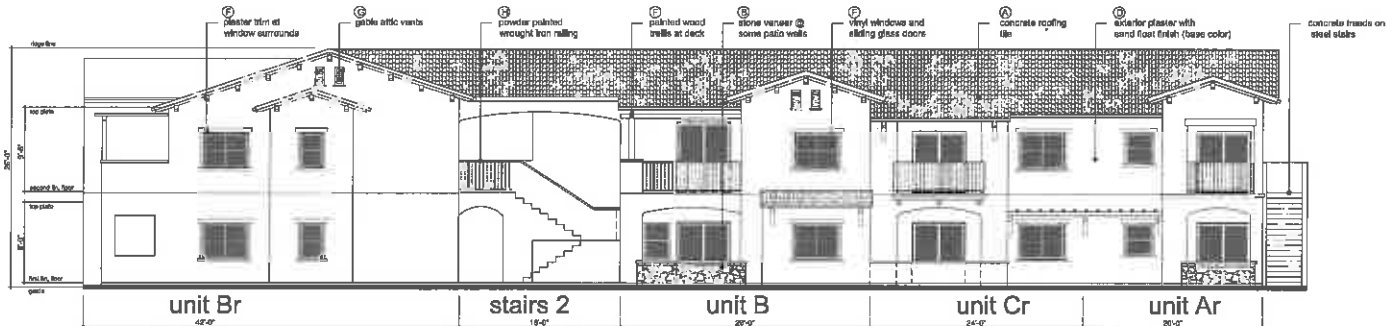
## EXTERIOR COLORS & FINISHES

- Roofing  
 (A) Eagle Roofing / Capistrano / San Raphael Blend - 3684  
 (F) Dunn Edwards DE6216 Barrel Stone
- Stone accent  
 (B) ProStone - Flakstone / Gladier Valley  
 (G) Dunn Edwards DE8215 Wooden Pig
- Pre-cast concrete  
 (C) Coronera Design Inc. / G240 Old Pewter
- Exterior plaster  
 (D) Base color to match Dunn Edwards DE8149 Cream Washed  
 (E) Accent color to match Dunn Edwards DE8161 Warm Buttercolch
- Window, door trim and gutters  
 (H) Dunn Edwards DE8216 Barrel Stone
- Gable attic vents, recessed niches  
 (I) Dunn Edwards DE8215 Wooden Pig
- Metal railings  
 (J) Tiger Drylac RAL #8018 Dark Bronze
- Down  
 (K) Dunn Edwards DE8146 Pine Cone

Windows and sliding glass doors are to be white vinyl per manufacturer



② North elevation (Vega Rd)



③ South elevation (Corta Rd)

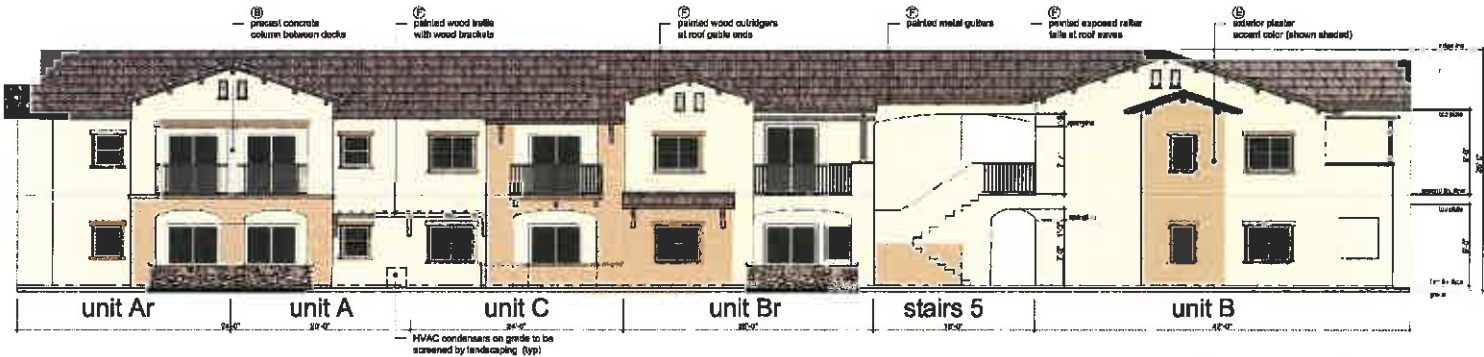
scale: 1/8" = 1'-0"



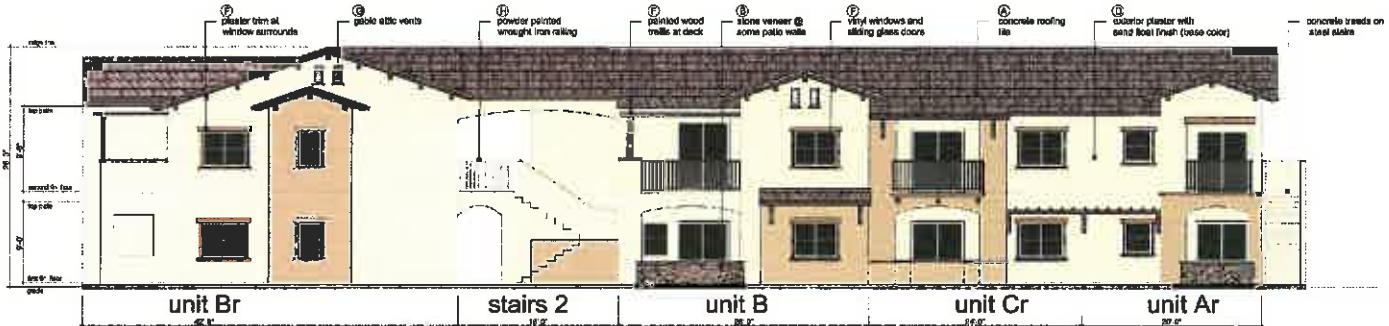
## EXTERIOR COLORS & FINISHES

- Roofing
  - ① Eagle Roofing / Capistrano / San Raphael Blend - 9694
- Stone accent
  - ② ProStone - Flakstone / Glacier Valley
- Pre-cast concrete
  - ③ Concrete Design Inc. / G040 Old Pewter
- Exterior plaster
  - ④ Base color to match Dunn Edwards DE6149 Cream Washed
  - ⑤ Accent color to match Dunn Edwards DE8151 Warm Butterscotch
- Windows, door trim and gutters
  - ⑥ Dunn Edwards DE8216 Barrel Stone
- Gable attic vents, recessed niches
  - ⑦ Dunn Edwards DE8215 Wooden Peg
- Metal railings
  - ⑧ Tiger Drylac RAL #8019 Dark Bronze
- Doors
  - ⑨ Dunn Edwards DE6048 Pine Cone

Windows and sliding glass doors are to be white vinyl per manufacturer



② North elevation (Vega Rd)



③ South elevation (Corta Rd)

scale: 1/8" = 1'-0"

**N & S Elevations**

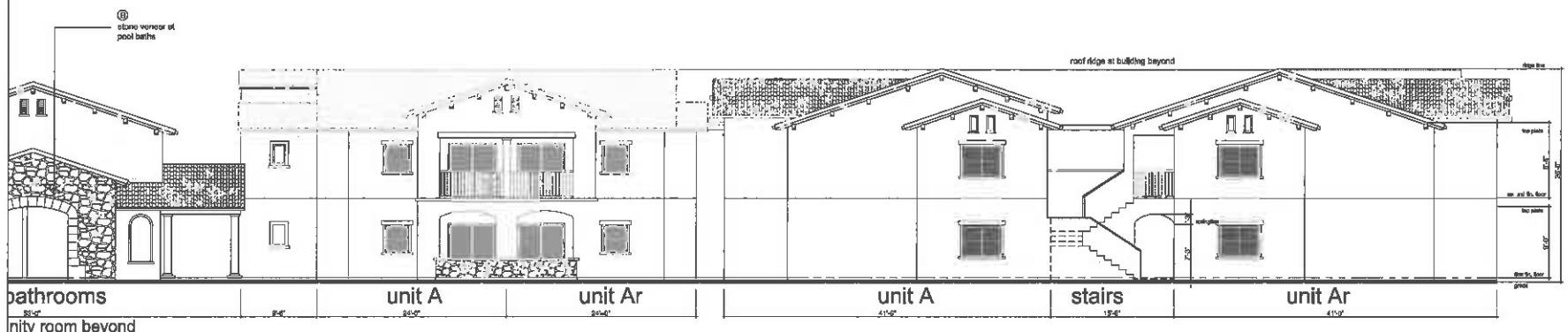
Applicant: ADOR6 Cathedral City LP  
 5000 E. 4th Street, 92655  
 Santa Ana, CA 92704  
 T: 714-835-3058 F: 714-835-5779  
 M: 714-835-3058 m.ball@nbs.com

Date: February 2018

Sheet No: **13**

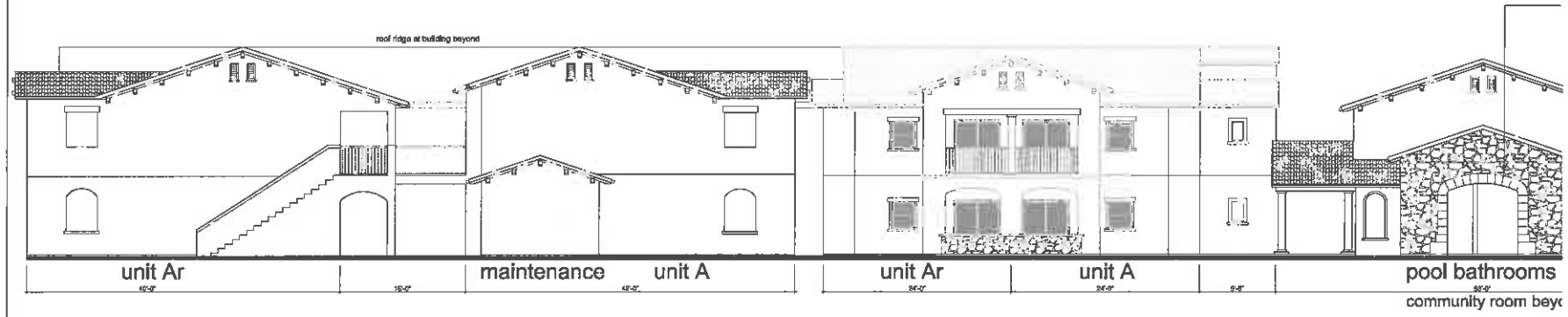


④ East elevation (park)



East elevation - north wing

scale: 1/8" = 1'-0"



East elevation - south wing

See North & South elevations for material and finish call-outs

MICHAEL BALL  
Architects  
4761 Haliburn Avenue, Sherman Oaks, CA 91403

818-783-8027

Veteran's Village of Cathedral City  
Lanau Boulevard, Cathedral City, California

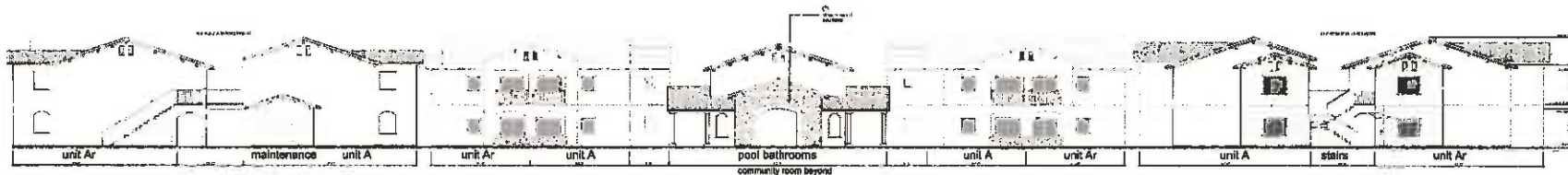
Urban Housing Communities  
2000 E Fourth Street, S205, Santa Ana, California 92705 714.835.3966

Sheet Title:  
**East Elevations**

Applicant:  
AUSM Cathedral City LP  
5800 E. 4th Street, #205  
Santa Ana, CA 92705  
Tel: 714.835.3966  
Mark Link: mlink@ballco.com

Date: February 2018

Sheet No: **14**

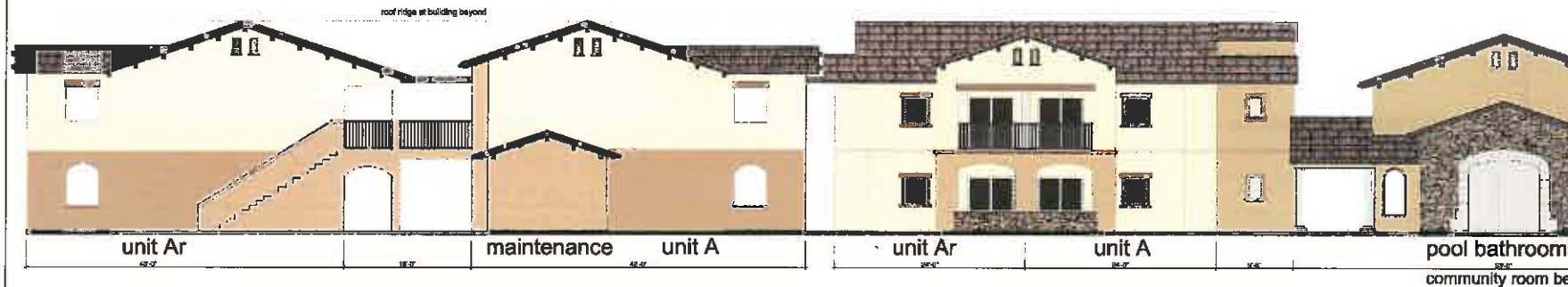


④ East elevation (park)



East elevation - north wing

scale: 1/8" = 1'-0"



East elevation - south wing

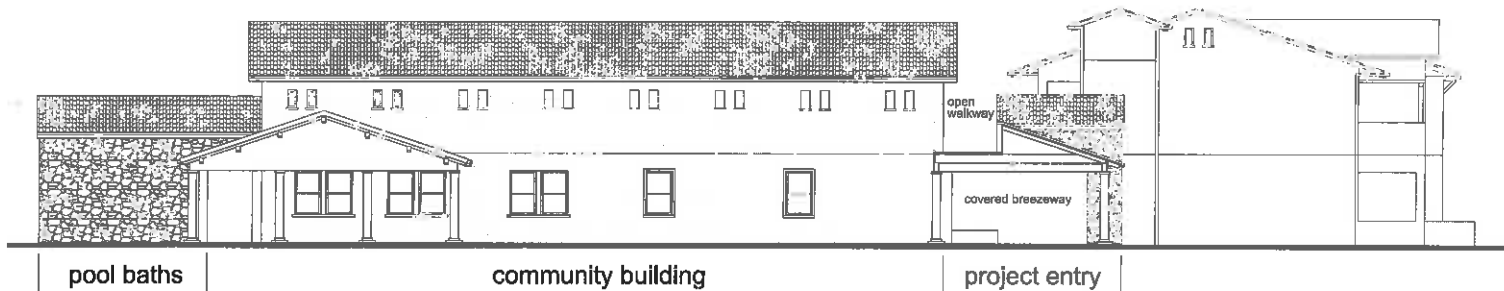
See North & South elevations for material and finish call-outs

<b>East Elevations</b>	
Applicant:	Alameda Catholic City LP
Address:	2000 E. 4th Street 5205
City:	Santa Ana, CA 92705
Phone:	T: 714 835-3866 F: 714 835-3875
Website:	www.alamedacatholic.org
Date:	February 2018
Sheet No:	14



Ⓔ Community Building south - entry section

scale: 1/8" = 1'-0"



Ⓕ Community Building north - entry section

scale: 1/8" = 1'-0"

MICHAEL BALL  
Architects  
4761 Halbrant Avenue, Sherman Oaks, CA 91403

818-783-8027

Veteran's Village of Cathedral City  
Lanadu Boulevard, Cathedral City, California

Urban Housing Communities  
2000 E Fourth Street, Santa Ana, California 92705 714.835.3966

Sheet Title  
**Community Elevations**

Applicant  
ACBAS Cathedral City LP  
2000 E. 4th Street, Box 25  
Santa Ana, CA 92705  
Tel: 714.835.3966 Fax: 714.835.3976  
Main Email: info@unhcc.com

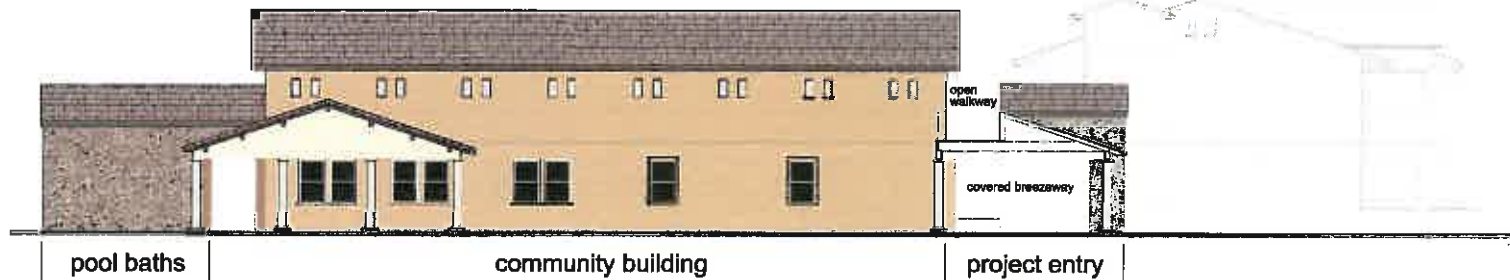
Date: February 2016

Sheet No: 15



**Ⓔ Community Building south - entry section**

scale: 1/8" = 1'-0"



**Ⓕ Community Building north - entry section**

scale: 1/8" = 1'-0"

**MICHAEL BALL Architects**  
4761 Halbrand Avenue Sherman Oaks, CA 91403

818-783-8027

**Veteran's Village of Cathedral City**  
Lantau Boulevard, Cathedral City, California

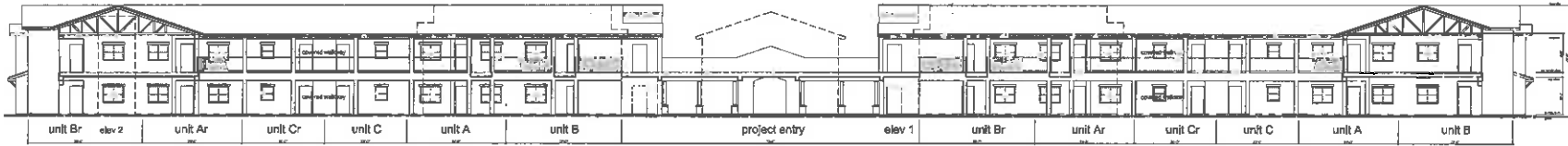
Urban Housing Communities  
2000 E Fourth Street, Suite 205, Santa Ana, California 92705 714.835.3868

**Community Elevations**

Applicant: A0662 Cathedral City LP  
Address: 48 Street 9225  
Santa Ana, CA 92705  
T: 714.835.3025 F: 714.835.3276  
Mark Irving m.irving@cbcc.com

Date: February 2018

Sheet No. **15**



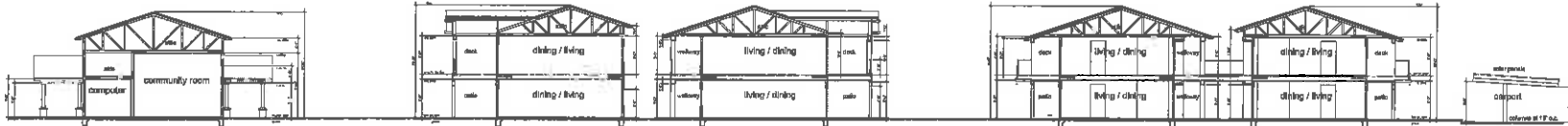
⑤ East interior breezeway elevation  
scale: 1/16" = 1'-0"



⑧ West

⑦ North

⑥ South breezeway elevation



© Community Section

③ North wing section

① South wing section

Sheet Title  
**Breezeway & Sections**

Applicant	Urban Housing Communities
Address	2000 E. 4th Street, S205
City, State, Zip	Santa Ana, CA 92705
Phone	714.835.3955
Fax	714.835.3976
Architect	Michael Ball Architects
Date	February 2018

**NOTICE OF PUBLIC HEARING  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Cathedral City will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:                 Riverside County Administration Center  
  4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
  Riverside, California

DATE OF HEARING:    May 10, 2018

TIME OF HEARING:    9:00 A.M.

**CASE DESCRIPTION:**

ZAP1061PS18 – A0685 Cathedral City, LP – City of Cathedral City Planning Case Nos. GPA16-006 (General Plan Amendment), CZ16-005 (Change of Zone), CUP16-049 (Conditional Use Permit). The applicant is proposing to develop a 60-unit apartment complex for veterans (with a 2,964 square foot community room) on 6.5 acres located on the southwest corner of Landau Boulevard and Vega Road. The proposed project requires an amendment to the City's General Plan land use designation from RL Low Density Residential to RM Medium Density Residential, and a change of zone from R1 Single-Family Residential to R2 Multiple-Family Residential. (Airport Compatibility Zone E of the Palm Springs International Airport Influence Area)

**FURTHER INFORMATION:** Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Robert Rodriguez of the City of Cathedral City Planning Department at (760) 770-0344.



# RIVERSIDE COUNTY

## AIRPORT LAND USE COMMISSION

### APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1061PS18      DATE SUBMITTED: 3-22-17

#### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	A0685 Cathedral City, LP	Phone Number	714-835-3955 #114
Mailing Address	2000 E Fourth Street, #205	Email	mirving@uhcllc.net
	Santa Ana, CA 92705		

Representative	A0685 Cathedral City, LP Attn: Mark Irving	Phone Number	714-835-3955 #114
Mailing Address	2000 E Fourth Street, #205	Email	mirving@uhcllc.net
	Santa Ana, CA 92705		

Property Owner	City of Cathedral City	Phone Number	760-770-0344
Mailing Address	68700 Avenida Lalo Guerrero	Email	rrodriguez@cathedralcity.gov
	Cathedral City, CA 92234		rrodriguez@cathedralcity.gov

PS  
E

#### LOCAL JURISDICTION AGENCY

Local Agency Name	City of Cathedral City	Phone Number	760-770-0344
Staff Contact	Robert Rodriguez	Email	rrodriguez@cathedralcity.gov
Mailing Address	68700 Avenida Lalo Guerrero	Case Type	
	Cathedral City, CA 92234	<input checked="" type="checkbox"/>	General Plan / Specific Plan Amendment
		<input checked="" type="checkbox"/>	Zoning Ordinance Amendment
		<input type="checkbox"/>	Subdivision Parcel Map / Tentative Tract
		<input type="checkbox"/>	Use Permit
		<input checked="" type="checkbox"/>	Site Plan Review/Plot Plan
		<input type="checkbox"/>	Other
Local Agency Project No	GPA 16-006, Change of Zone 16-005		
	CUP 16-049		

#### PROJECT LOCATION

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address	South of Vega Road, North of Corta Road, and East of Landau Blvd		
	Cathedral City, CA 92234		
Assessor's Parcel No.	678-060-001,002,thru 005,049,050,052	Gross Parcel Size	6.5 acres
Subdivision Name	Veterans Village of Cathedral City	Nearest Airport and distance from Airport	PS-1.15 miles
Lot Number			

#### PROJECT DESCRIPTION

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe)	Vacant land, zoned R-1



Proposed Land Use (describe)	A 60 unit permanent supportive housing project for Veterans that will include a 2,490 sf community center, pool area, 90 parking spaces on approximately 6.5 gross acres. (remaining area will be developed by the City as a future park)		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	60 UNITS	
For Other Land Uses (See Appendix C)	Hours of Operation	8 am to 5 pm (services to residents)	
	Number of People on Site	Maximum Number	140
	Method of Calculation	Assumes 2 per one bedroom, (48 units), 3 per two bedroom 8 service providers. More likely less than 100.	
Height Data	Site Elevation (above mean sea level)	379	ft.
	Height of buildings or structures (from the ground)	28	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	
	If yes, describe	<input checked="" type="checkbox"/> No	

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.

C. **SUBMISSION PACKAGE:**

1. . . . . Completed ALUC Application Form
1. . . . . ALUC fee payment
1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
1. . . . . CD with digital files of the plans (pdf)
1. . . . . Vicinity Map (8.5x11)
1. . . . . Detailed project description
1. . . . . Local jurisdiction project transmittal
3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \*

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.2

**HEARING DATE:** May 10, 2018

**CASE NUMBER:** ZAP1015PV18 – Everest at Perris, LLC (Representative: Casey Malone)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** 17-05148 (Zone Change), 17-00005 (Development Plan Review)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed Zone Change CONSISTENT with the 2010/11 Perris Valley Airport Land Use Compatibility Plan and 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the Development Plan Review CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The applicant proposes to construct a 141-unit senior apartment complex on 4.22 acres. The applicant also proposes to amend the zoning of the site from Community Commercial (CC) to R-6,000 Single Family Residential 6,000 square foot lot minimum/Senior Housing Overlay (SHO) zone.

**PROJECT LOCATION:** The site is located on the northwest corner of Ellis Avenue and “A” Street in the City of Perris, approximately 5,070 feet westerly from the northerly terminus of Perris Valley Airport Runway 15-33, and approximately 32,700 feet southerly of the southerly terminus of the March Air Reserve Base Runway 14-32.

**LAND USE PLAN:** 2010/2011 Perris Valley Airport Land Use Compatibility Plan, 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan,

- a. Airport Influence Area: Perris Valley Airport, March Air Reserve Base/Inland Port Airport
- b. Land Use Policy: Perris Valley Airport Compatibility Zone E, March Air Reserve Base/Inland Port Airport Compatibility Zone E

- c. Noise Levels:                      below 55 CNEL from Perris Valley Airport aircraft,  
   below 60 CNEL from March Air Reserve Base/Inland Port Airport aircraft

**BACKGROUND:**

Residential Density: The site is located within airport compatibility zones of two different airports: Zone E of Perris Valley Airport and Zone E of March Air Reserve Base Inland Port Airport. Residential density is not restricted in Zone E of either the March Air Reserve Base Inland Port Airport or the Perris Valley Airport Influence Areas.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited in Compatibility Zone E of Perris Valley Airport and March Air Reserve Base/Inland Port Airport.

Noise: The site is located well outside the March Air Reserve Base/Inland Port Airport 60 CNEL contour relative to aircraft noise and outside the 55 CNEL contour for Perris Valley Airport. Therefore, no special noise attenuation measures are required for this residential land use.

Part 77: The site is located approximately 32,700 feet from the southerly terminus of Runway 14-32 at March, but the closest public use airport is Perris Valley Airport, with its Runway 15-33 having an elevation of 1,413 feet above mean sea level (AMSL). The site is located 5,070 feet from the runway, so Federal Aviation Administration Obstruction Evaluation Service (FAA OES) notice and review would be required for any structures with top of roof exceeding 1,463.7 feet AMSL. The project's site elevation ranges from 1,460 to 1,480 feet AMSL. With a building height of 44 feet, the maximum top point elevation range would be 1,504 to 1,524 feet AMSL, which would exceed the notification threshold. A submittal to FAA OES has been made, and the project has been assigned Aeronautical Study Number 2018-AWP-7829-OE. At the time of writing of this staff report, no determination has been made, but the study is in a "Work in Progress" status.

Open Area: Open areas are not required in Compatibility Zone E of Perris Valley Airport and March Air Reserve Base/Inland Port Airport.

**CONDITIONS:**

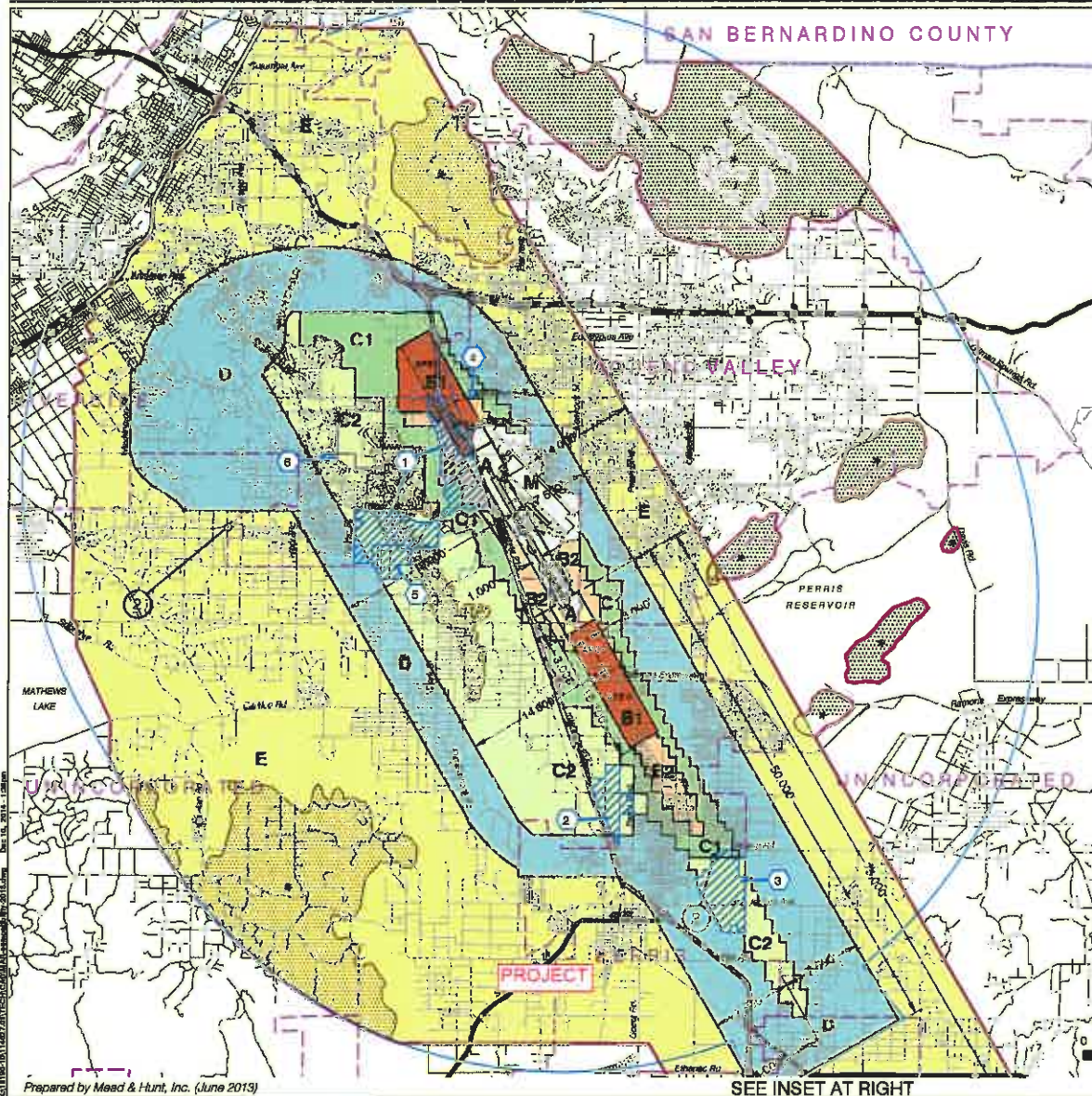
1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached disclosure notice shall be provided to all potential purchasers of the property and to tenants of the apartments thereon.
4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. An informational brochure shall be provided to prospective renters showing the locations of aircraft flight patterns. The frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights shall be described. A copy of the Compatibility Factors exhibit from the Airport Land Use Compatibility Plan shall be included in the brochure.
6. An informational sign shall be posted in the leasing/rental office clearly depicting the proximity of the project to Perris Valley Airport and aircraft traffic patterns.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**LEGEND**

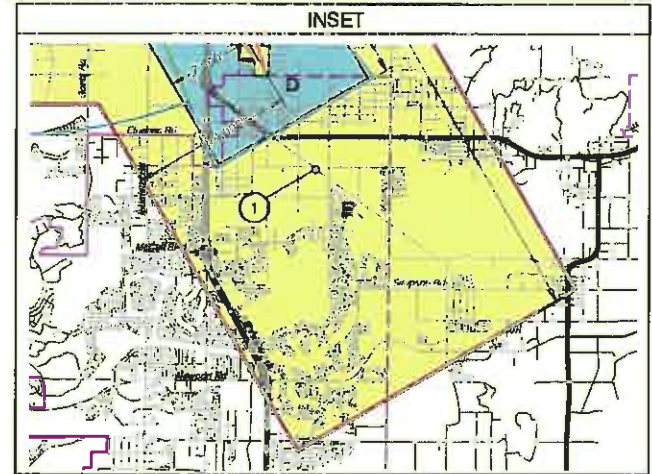
**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)
- March JPA: March Business Center/Meridian
- Perris: Harvest Landing
- Perris: Park West
- Moreno Valley: Affordable Housing
- March JPA: Ben Clark Training Center
- Riverside: Ridge Crest Subdivision

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County  
Airport Land Use Commission**

**March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan**

(Adopted November 13, 2014)

Note:  
All dimensions are measured from  
runway ends and centerlines.



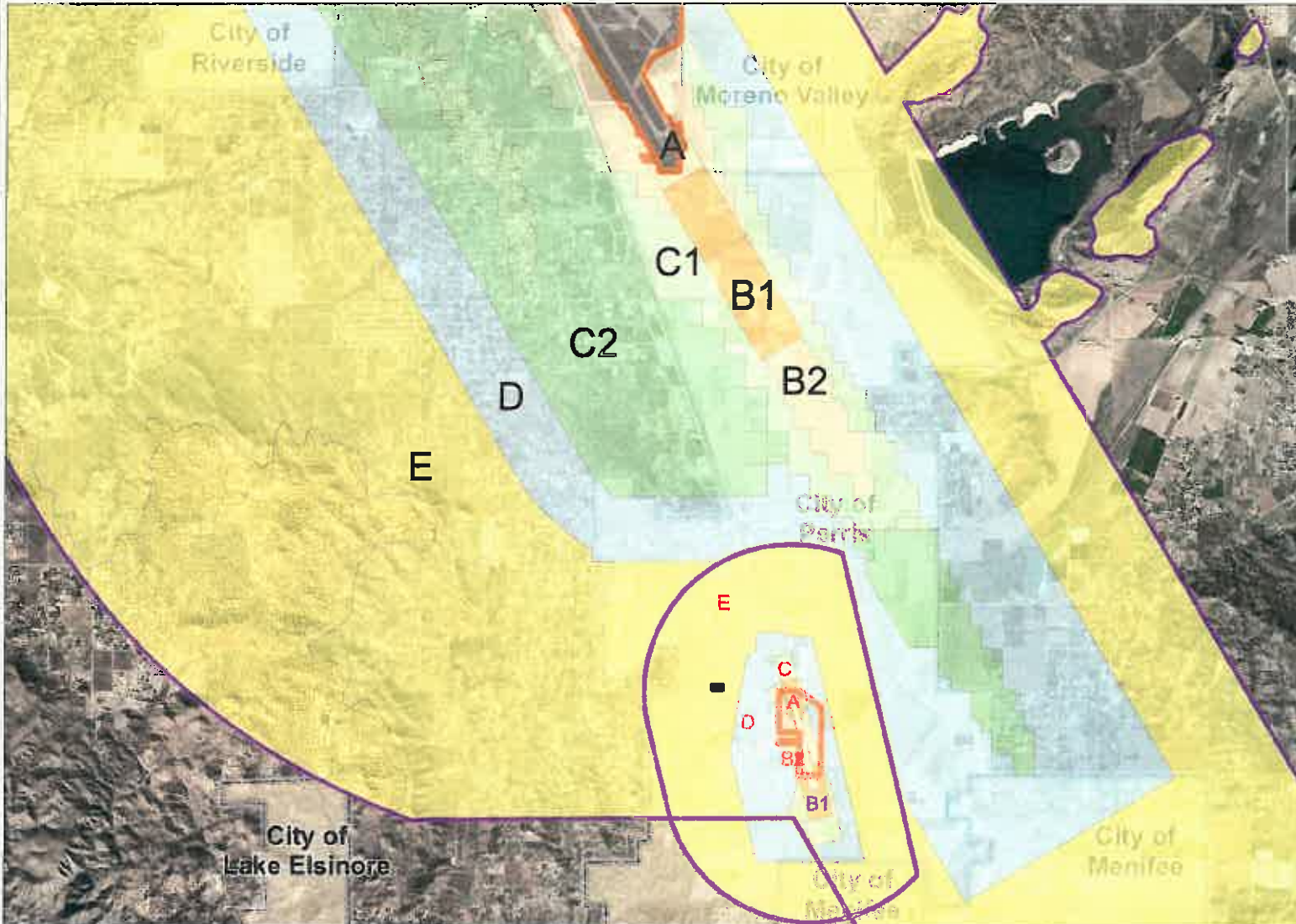
0 2 4 MILES

Base map source: County of Riverside 2013

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

# My Map



**Legend**

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-AP2 I
- B1-AP2 I-EXC1
- B1-AP2 II
- B1-AP2 II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 11,470 22,941 Feet



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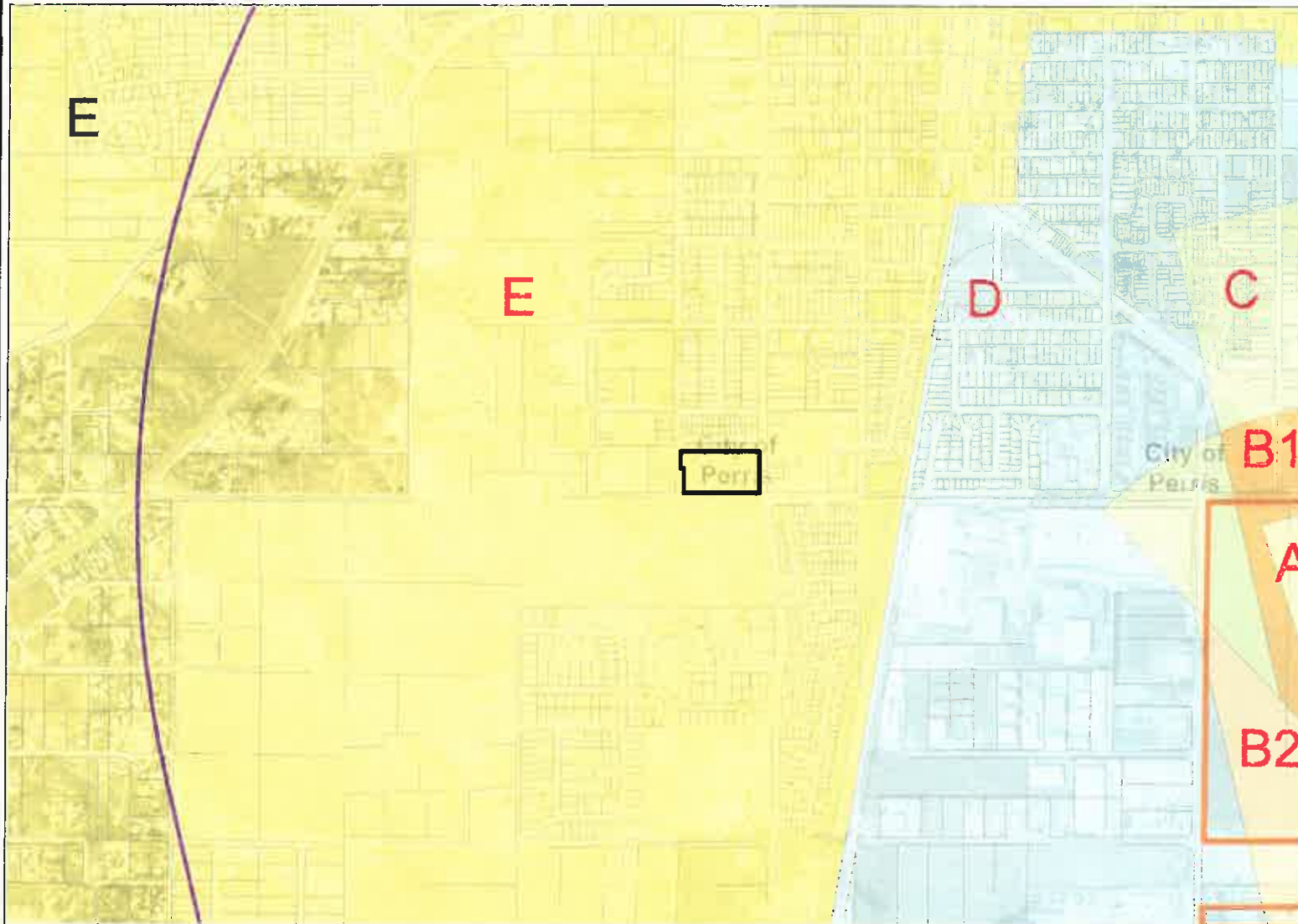
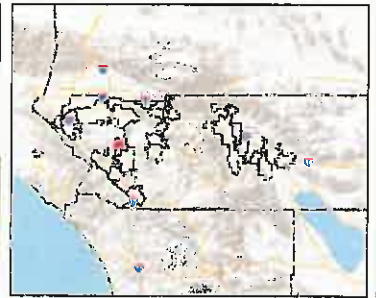
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**Notes**



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 1,434 2,868 Feet



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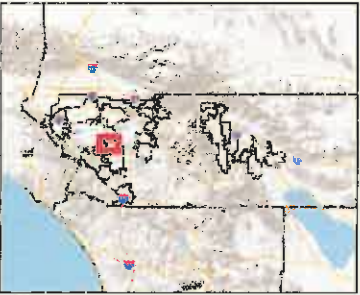
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## Notes



# My Map



### Legend

- City Boundaries
- Cities
- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 5,735 11,470 Feet



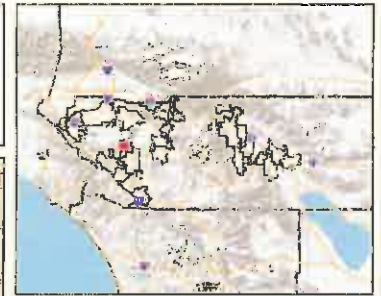
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### Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 1,434 2,868 Feet



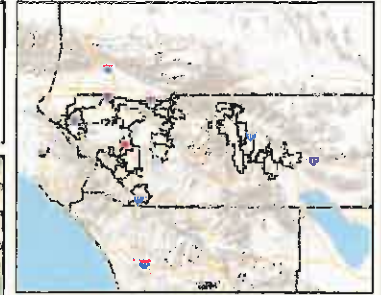
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

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## Notes

# My Map



## Legend

-  City Boundaries
- Cities**
- roads**
- anno**
- highways**
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrography**
- lines**
- waterbodies**
-  Lakes
-  Rivers



0 358 717 Feet



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

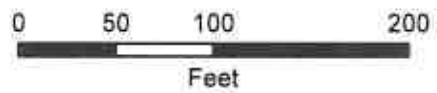
REPORT PRINTED ON... 3/23/2018 2:23:45 PM

© Riverside County RCIT GIS

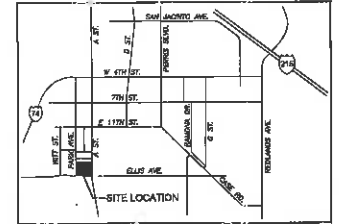
## Notes



APN: 313-222-002  
Existing Zoning: CC (Community Commercial)  
Proposed Zoning: R-6000-SHO (Senior Housing Overlay)







VICINITY MAP  
N.T.S.

**PROPERTY OWNER - APPLICANT**

EVEREST AT PERRIS LLC  
12711 HAZEL BLUFF DR. STE 100  
SAN DIEGO, CA 92130  
(619) 523-0719  
CONTACT: GREG LANSING

**PROPERTY ADDRESS**

PROPERTY IS A VACANT SITE WITH NO ADDRESS

**ASSESSOR'S PARCEL NUMBER**

313-222-002

**ZONING**

EXISTING: CC  
PROPOSED: CC-SHO

**GENERAL PLAN**

EXISTING: R-5000  
PROPOSED: SHO

**CONTOURS**

AERIAL TOPOGRAPHY SHOWN HEREIN WAS PROVIDED BY AIRPHOTOGRAPHY MAPS IN NOVEMBER 2018.  
CONTOUR INTERVAL = 1 FOOT

**AREA**

GROSS: 4.21 ACRES

**UTILITIES**

WASTEWATER SERVICE: CITY OF PERRIS  
DOMESTIC WATER SERVICE: CITY OF PERRIS  
GAS: SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC: SOUTHERN CALIFORNIA Edison

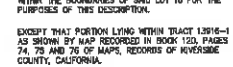
**LEGAL DESCRIPTION:**

LOT 16 OF INT'S FOOTBALL DRAIVE TRACT, IN THE CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP RECORDED IN BOOK 14, PAGE 671, OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA.

EXCEPT THAT PORTION OF SAID LOT IS DESCRIBED IN THE DEED TO PERRIS, RECORDED JULY 31, 1964 AS INSTRUMENT NO. 52651, OFFICIAL RECORDS AND BEING INCORPORATED THEREIN AS THE WEST 25.00 FEET OF THE SOUTH 185.00 FEET OF SAID LOT 16, THE 60.00 FOOT STREET ADJACENT TO SAID LOT 16, ON THE WEST AND SOUTH NOT BEING DEEMED INCLUDED WITHIN THE BOUNDARIES OF SAID LOT 16 FOR THE PURPOSES OF THIS SUBDIVISION.

EXCEPT THAT PORTION LYING WITHIN TRACT 18146-1 AS SHOWN BY MAP RECORDED IN BOOK 120, PAGES 74, 75 AND 76 OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

BASIN	HW	BTM	NO	DEPTH
A	61.5	57.5	10	4'
B	62.0	57.0	10	5'
C	63.0	57.5	10	5'
D	63.0	57.25	10	5'
E	64.0	57.5	10	6'
F	64.0	57.5	10	6'
G	64.0	57.25	10	6'
H	63.0	57.25	10	5'



BIO RETENTION BASIN DETAIL  
ALL BASINS PER ABOVE TABLE  
N.T.S.

ENGINEERED SOLE  
30% POROSITY

6" PERFORATED  
PIPE UNDERDRAIN

SCALE: 1" = 30'

30' 15' 0' 30'

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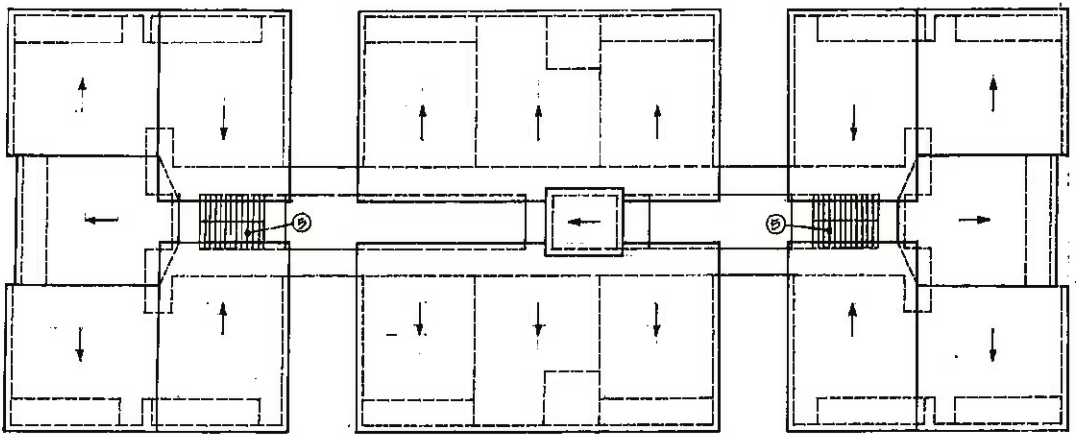


**TYPICAL SIDE ELEVATION**  
 1/8" = 1'-0"



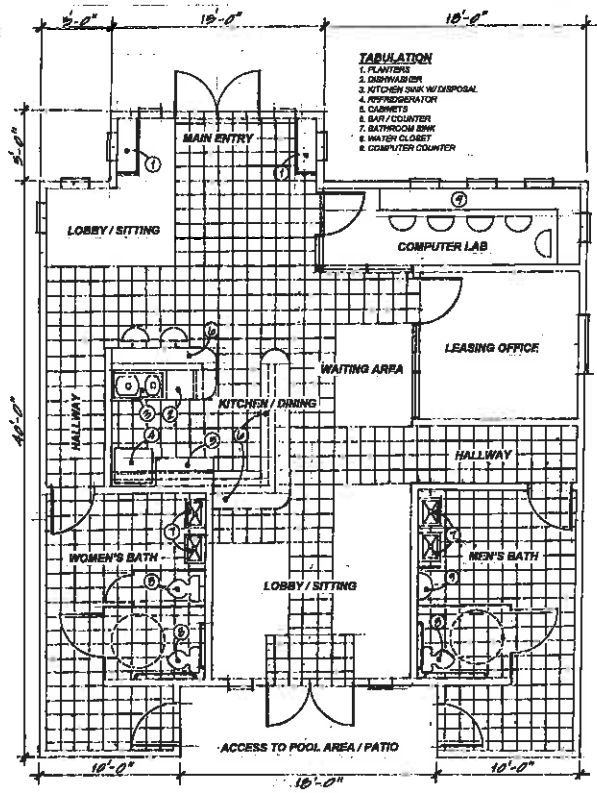
**TYPICAL END ELEVATION**  
 1/8" = 1'-0"

- LEGEND**
- 1. EXTERIOR PAINT - SAGE GREEN
  - 2. EXTERIOR PAINT - CREAM
  - 3. EXTERIOR PAINT - WHITE
  - 4. EXTERIOR WOOD SIDING - SWIFT GUM
  - 5. EXTERIOR RAILING / TRIM / STAIRWAYS - STEEL GREY
  - 6. EXTERIOR STANDING BEAM ROOF - DEEP CHARCOAL

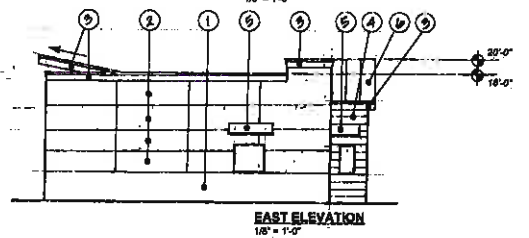
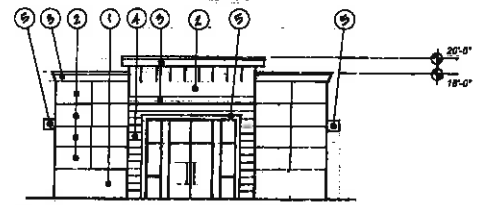
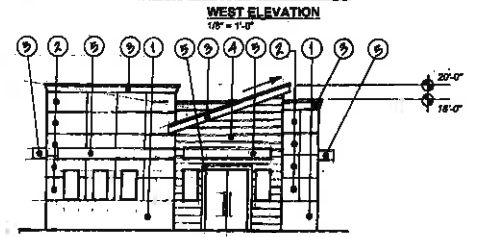
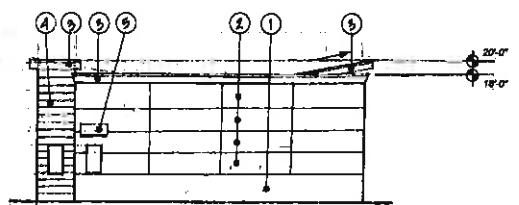


**TYPICAL ROOF PLAN**  
 1/8" = 1'-0"

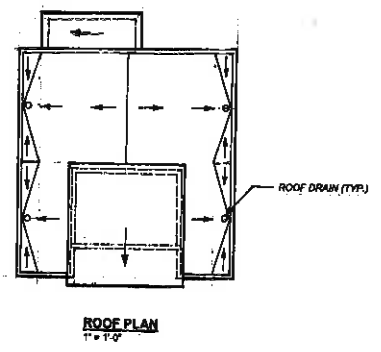
**ELLIS COMMONS A-4**  
 SENIOR HOUSING DEVELOPMENT  
 TYPICAL BUILDING ELEVATIONS

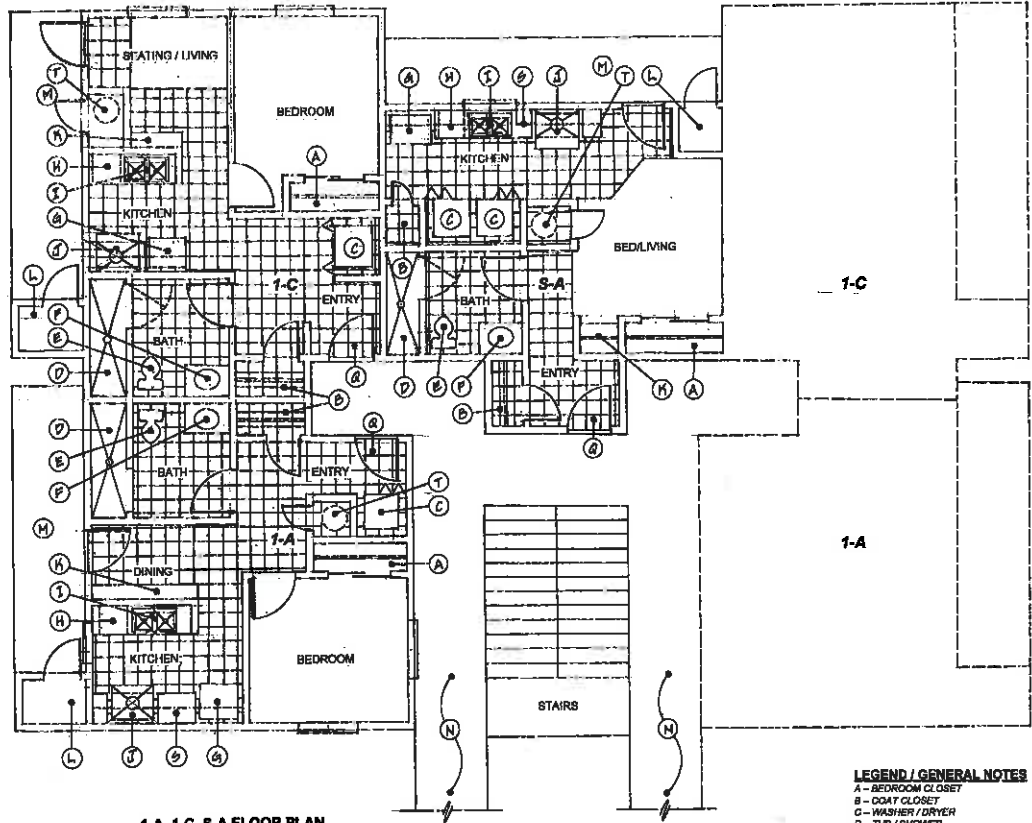


**FLOOR PLAN - MAIN OFFICE BUILDING**  
 1/4" = 1'-0"



- LEGEND**
- 1. EXTERIOR PAINT - SAEL GREEN
  - 2. EXTERIOR PAINT - CREAM
  - 3. EXTERIOR PAINT - WHITE
  - 4. EXTERIOR WOOD SIKING - SWEET GUM
  - 5. EXTERIOR RAILING / RIM / STAIRWAYS - STEEL GRAY
  - 6. EXTERIOR STANDING SEAM ROOD - DEEP CHARCOAL



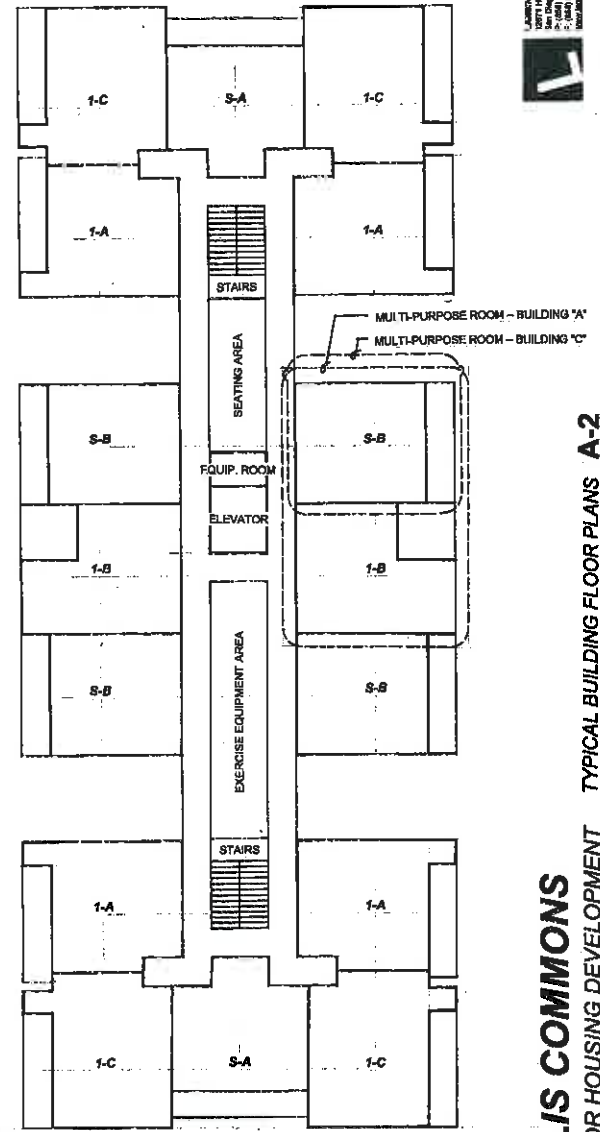


**1-A, 1-C, S-A FLOOR PLAN**  
W-1'-0"

UNIT	SQ. FT.
S-A	482
S-B	468
1-A	527
1-B	544
1-C	555

**LEGEND / GENERAL NOTES**

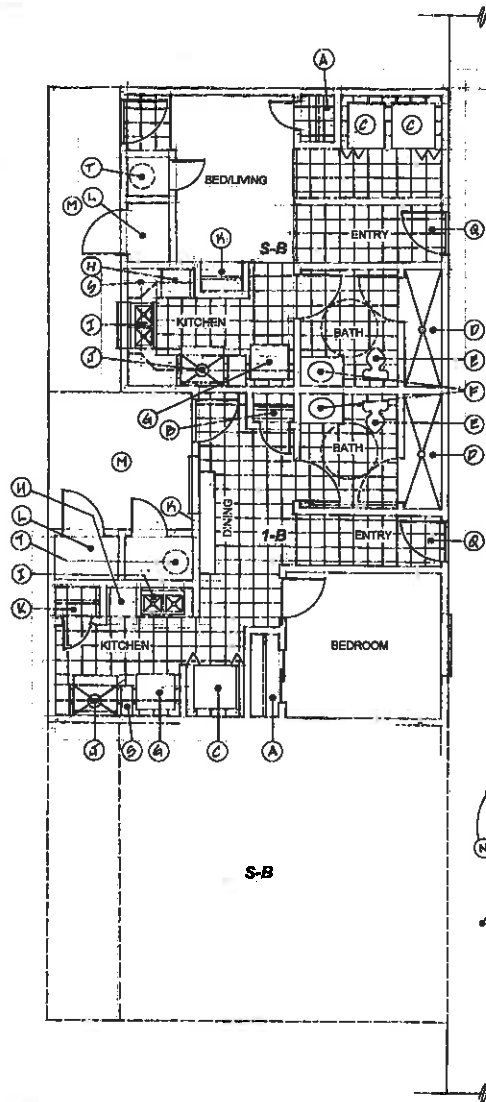
- A - BEDROOM CLOSET
- B - COAT CLOSET
- C - WASHER / DRYER
- D - TUB / SHOWER
- E - WATER CLOSET
- F - BATHROOM SINK
- G - REFRIGERATOR
- H - DISH WASHER
- I - KITCHEN SINK
- J - STOVE / OVEN
- K - DRINKING COUNTER
- L - STORE ROOM
- M - OUTSIDE PATIO - 100SF TYP.
- N - WALKWAY / BALCONY
- O - ELEVATOR
- P - EQUIPMENT ROOM
- Q - MAIN ENTRY
- R - EMERGENCY EXIT
- S - COUNTER / KITCHEN CABINETS
- T - WATER HEATER
- U - COMPUTER COUNTER
- V - SHELVES / LIBRARY
- W - FLAT SCREEN TV



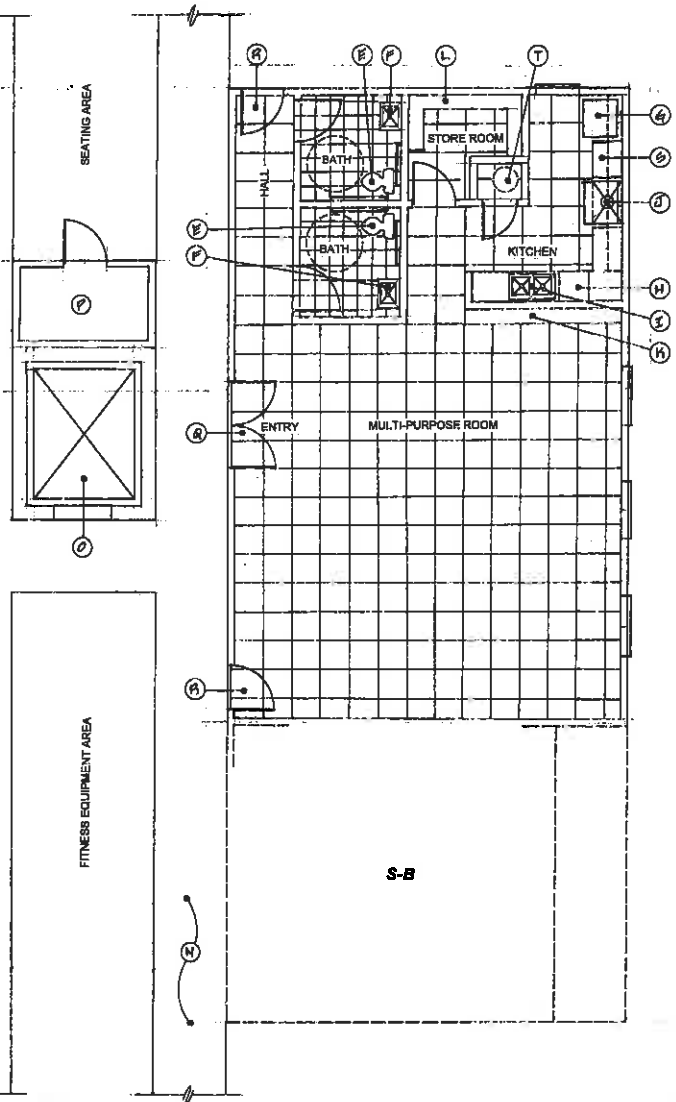
**OVERALL BUILDING FLOOR PLAN**  
1" = 1'-0"



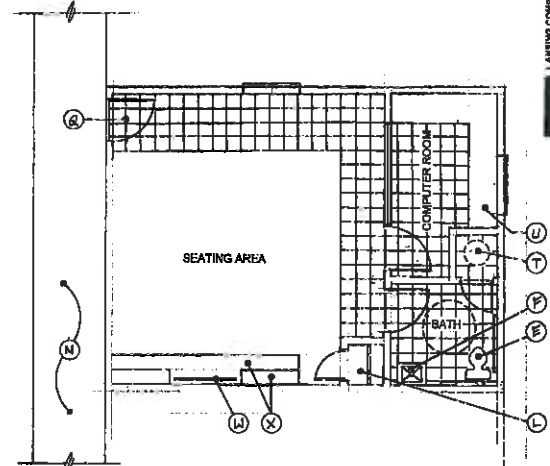
LANDING COMPANIES  
10071 High Street, Suite 100  
Dallas, TX 75243  
P: (972) 252-0710  
F: (972) 252-0700  
WWW.ELLISCOMMONS.COM



**S-B 1-B FLOOR PLAN**  
 W - 11'-0"



**MULTI-PURPOSE ROOM - BLDG. "A" FLOOR PLAN**  
 X - 11'-0"

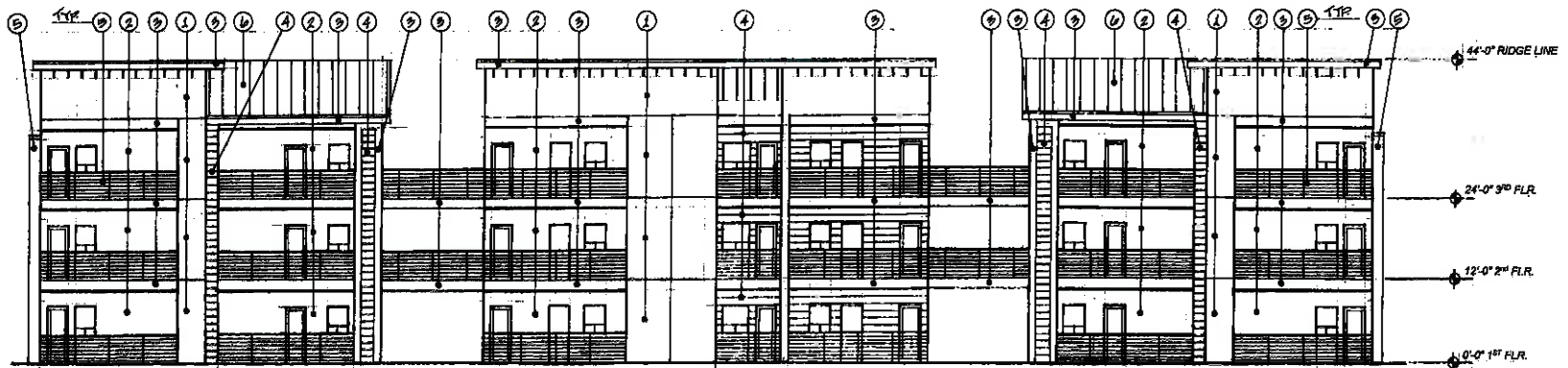


**MULTI-PURPOSE ROOM - BLDG. "C" FLOOR PLAN**  
 W - 11'-0"

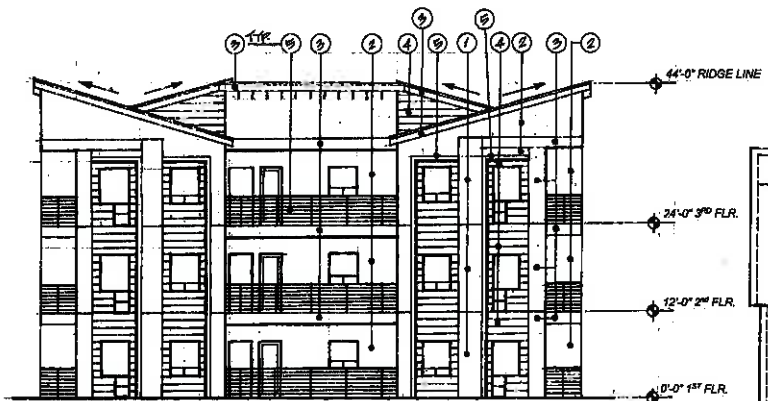
UNIT	SQ FT
S-A	482
S-B	483
S-A	327
S-B	344
S-B	383

**LEGEND / GENERAL NOTES**

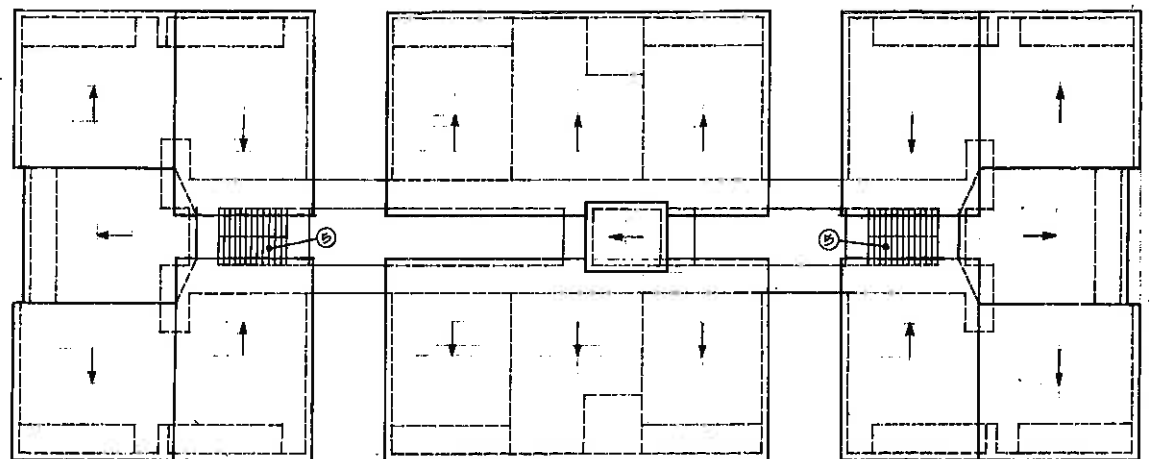
- A - BEDROOM CLOSET
- B - COAT CLOSET
- C - WASHER / DRYER
- D - TUB / SHOWER
- E - WATER CLOSET
- F - BATHROOM SINK
- G - REFRIGERATOR
- H - DISH WASHER
- I - KITCHEN SINK
- J - STOVE / OVEN
- K - DINING COUNTER
- L - STORE ROOM
- M - OUTSIDE PATIO - 100SF TYP.
- N - WALKWAY / BALCONY
- O - ELEVATOR
- P - EQUIPMENT ROOM
- Q - MAIN ENTRY
- R - EMERGENCY EXIT
- S - COUNTER / KITCHEN CABINETS
- T - WATER HEATER
- U - COMPUTER COUNTER
- V - PANTRY
- W - FLAT SCREEN TV
- X - LIBRARY / SHELVING / CABINETS



**TYPICAL SIDE ELEVATION**  
1/8" = 1'-0"



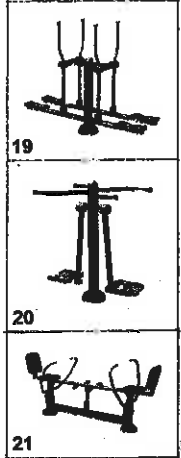
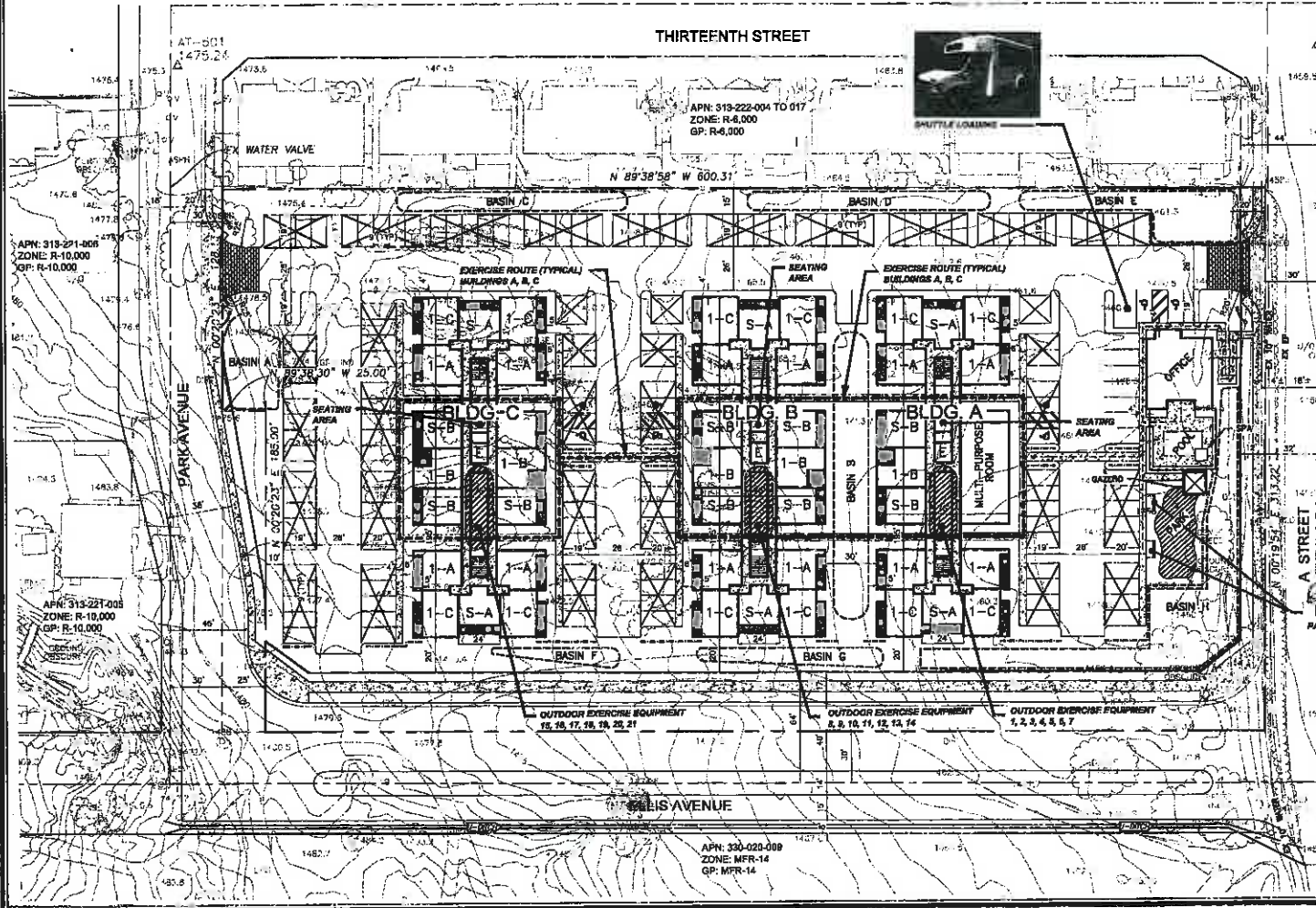
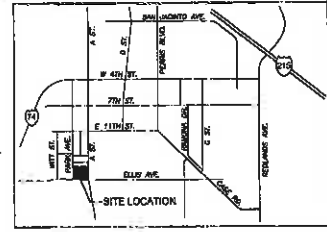
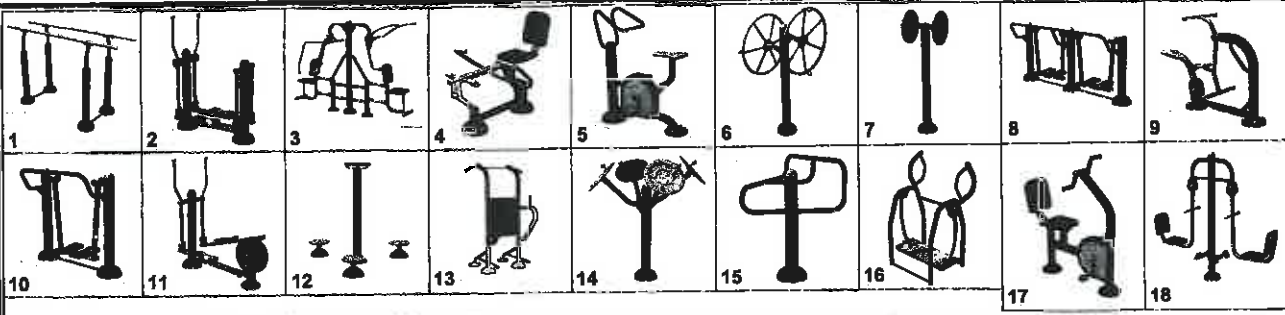
**TYPICAL END ELEVATION**  
1/8" = 1'-0"



**TYPICAL ROOF PLAN**  
1/8" = 1'-0"

- LEGEND**
- 1. EXTERIOR PAINT - SAGE GREEN
  - 2. EXTERIOR PAINT - CREAM
  - 3. EXTERIOR PAINT - WHITE
  - 4. EXTERIOR WOOD SIDING - SWISS TUM
  - 5. EXTERIOR RAILINGS / TRIM / STAIRWAYS - STEEL GREY
  - 6. EXTERIOR STANDING IS AM ROOF - L&P CHARCOAL

**ELLIS COMMONS A-4**  
 SENIOR HOUSING DEVELOPMENT  
 TYPICAL BUILDING ELEVATIONS



- EQUIPMENT LEGEND**
1. Fanfold Bike
  2. Cross Country Skier
  3. Pull Down & Chest Press Combo
  4. Self Weighted Prower
  5. The Siler
  6. Big Shoulder Wheel
  7. Strength Tester
  8. Double Air Walker
  9. The Rider
  10. Air Walker
  11. Elliptical Cross Trainer
  12. Vix Twister
  13. Leg Lift Station
  14. Tai Chi Spinning
  15. Leg Stretch
  16. Side Stepper
  17. Arm & Paddle Bike
  18. Rested Leg Press
  19. Double Cross Country Skier
  20. Air Slider
  21. Double Rowler

Note: Surface areas within all Outdoor Exercise Equipment shall consist of "Wet Pour Flooring" (Rubber Surfacing).

Note: Outdoor Exercise Routes / Equipment Signage Will be posted along the Exercise Routes and At the Entry to each of the Building Courtyards.



DECEMBER 7, 2017

**4 C PARRIS - ELLIS COMMONS SENIOR HOUSING  
AMENITIES PLAN  
PARRIS, CALIFORNIA**

Lansing Companies 12871 High Bluff Dr., Suite 150, San Diego, CA 92130 (858) 523-0719  
Project No. \_\_\_\_\_

TREES		
Botanical Name	Common Name	Size
<i>Tupania sp.</i>	Tou Tree	36" Box
<i>Platanus chinensis</i>	Chinese Platane	36" Box
<i>Acacia melanocarpa</i>	Acacia	36" Box
<i>Laurea nobilis</i>	Bursera Bay	36" Box
<i>Podocarpus gracilis</i>	Fern Pine	36" Box
<i>Rhus typhina</i>	African Sumac	36" Box
<i>Acacia salicina</i>	Willow Acacia	24" Box
<i>Lagerströmia indica</i>	Crape Myrtle	24" Box
<i>Gajneria parviflora</i>	Australian Willow	24" Box
<i>Cupressus arborescens</i>	Carrot Wood	24" Box
<i>Podocarpus macrophyllus</i> 'Mak'	Shrubby Yew Pine	15 Gallon
<i>Eriobotrya deflexa</i>	Bronze Loquat	24" Box
<i>Phacelia elaeagnifolia</i>	Carolina Laurel Cherry	24" Box
<i>Callistemon viminalis</i>	Weeping Bottlebrush	24" Box
<i>Abelia grandiflora</i>	Glossy Abelia	15 Gallon
<i>Cissampelos grandiflora</i>	Nasal Plant	15 Gallon
<i>Dodonaea viscosa</i>	Hopbush	15 Gallon
<i>Lantana bicolor</i> (L. maritima)	California Tree Mallow	15 Gallon
<i>Rhapizalis indica</i>	Indian Hawthorne	15 Gallon

SHRUBS, GROUNDCOVER, ACCENTS		
Botanical Name	Common Name	Size
<i>Zauschneria californica</i>	California Redbud	1 Gallon
<i>Agapanthus 'Queen Anne'</i>	Lily of the Nile	1 Gallon
<i>Actinophyllum edmundsii</i>	Libe Suz Manzanita	1 Gallon
<i>Hemerocallis hybrid</i>	Day Lily	1 Gallon
<i>Phlox paniculata</i>	New Zealand Flax	1 Gallon
<i>Trochodendron aralioides</i>	Star Jasmine	1 Gallon
<i>Limonium montevidense</i>	Trailing Lantana	1 Gallon
<i>Agave attenuata</i>	Fox Tail Agave	5 Gallon
<i>Salvia leucantha</i>	Mexican Sage Bush	5 Gallon
<i>Hesperaloe parviflora</i>	Red/Yellow Yucca	5 Gallon
<i>Cistus spp.</i>	Rockrose	5 Gallon
<i>Gravelia 'Nebel'</i>	Noble Gravelia	6 Gallon
<i>Arctostaphylos densiflora</i>	Sanoma Manzanita	5 Gallon
<i>Myrica heptarifolia</i>	Blue Hibiscus	5 Gallon
<i>Lantana camara</i>	Bush Lantana	5 Gallon
<i>Viburnum japonicum</i>	Viburnum	5 Gallon
<i>Dodonaea viscosa</i>	Hopbush	5 Gallon
<i>Ceanothus spp.</i>	California Wild Lilac	5 Gallon
<i>Phoradendron x fraxinifolium</i>	Fraser's Photinia	5 Gallon
<i>Pittosporum tobira</i>	Japanese Mock Orange	5 Gallon

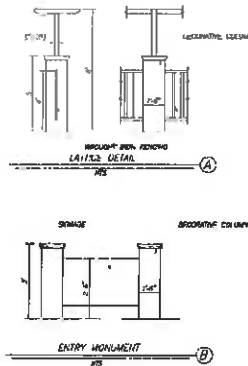
ROOTED CUTTINGS		
Botanical Name	Common Name	Size
<i>Geacaria rigens hybrid</i>	Geacaria	5 Gallon
<i>Myoporum laetifolium</i>	Prostrate Myoporum	5 Gallon
<i>Romoseris sphenoloba 'Prostrate'</i>	Prostrate Rosemary	5 Gallon

VINES ON TRELLIS		
Botanical Name	Common Name	Size
<i>Campsis radicans</i>	Common Trumpet Creeper	5 Gallon
<i>Datura innoxiosa</i>	Blood Red Trumpet Vine	5 Gallon
<i>Poligonum acedifolium</i>	Silver Lace Vine	5 Gallon
<i>Pandorea jasminoides</i>	Bower Vine	5 Gallon

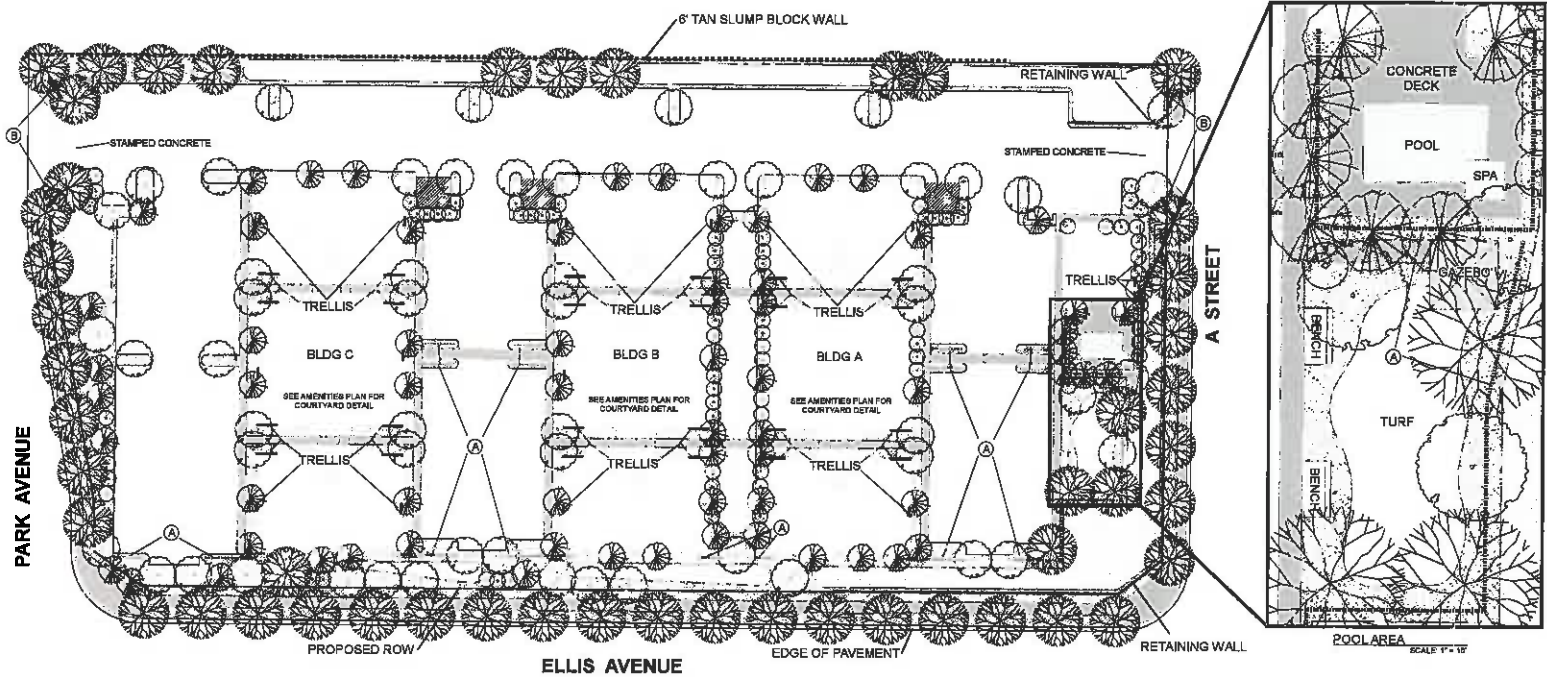
SPREYBENTON BASINS		
Botanical Name	Common Name	Size
<i>Juniperus patens</i>	California Gray Rush	1 Gallon
<i>Muhlenbergia rigens</i>	Deer Grass	1 Gallon
<i>Zauschneria californica</i>	California Redbud	1 Gallon
<i>Mehadia repens</i>	Creeeping Oregon Grape	5 Gallon
<i>Baccharis pilularis 'Pigeon Pt.'</i>	Dwarf Coyote Bush	5 Gallon
<i>Carpenteria californica</i>	Bush Anemone	5 Gallon
<i>Heteromeles arbutifolia</i>	Tayon	15 Gallon
<i>Myrica californica</i>	Pacific Wax Myrtle	15 Gallon
<i>Cercia occidentalis</i>	Western Redbud	15 Gallon

**LANDSCAPE IRRIGATION SYSTEM**

- The automatic controller will be a state of the art "SMART CONTROLLER" based on real time area, temperature, rain, connected to a local weather station with 24 hour weather information downloading. Installation of a wireless rain shut off device will automatically shut down the system during rain. System will be programmed to automatically turn back on when plant moisture levels require irrigation again. The Controller automatically re-programme itself for seasonal variations in temperature based upon weather station downloading information. Unnecessary "over-watering" is controlled and maximum water savings occur.
- All sprinklers heads are designed with low pressure, matched precipitation rate nozzles and/or drip nozzles to provide water efficiently and directly to the plant root zones eliminating overspray onto paving or non-landscaped areas.
- Check valves and automatic seal pop-pops are installed to prevent wasteful "low-head drainage" after systems are turned off.
- Plants are grouped and irrigated based on similar water requirement (in hydrozones).
- "Sun and shade" exposures are valued separately to permit efficient and optimum applications of water.
- Lawn and groundcover areas are valued separately to permit efficient water applications.
- Irrigation will be programmed to start in early morning hours when winds are minimal and sun evaporation is not a factor.
- All planter beds shall be topped with a minimum of 2" of organic shredded bark mulch to help maintain soil moisture.
- New plant materials shall be spaced upon mature growth to minimize root zone competition.
- This system will comply with the new State of California AB1661 - other conservation ordinances for efficient low water usage irrigation design and planting design.



ROCK DETAIL USED THROUGHOUT SHRUBS, GROUNDCOVER, & ACCENTS



REVISIONS		
NO.	DESCRIPTION	DATE

**LANSING COMPANIES**  
 12671 HIGH BLUFF DRIVE  
 SUITE 150  
 SAN DIEGO, CA 92130  
 P: 858-523-0719

**PRELIMINARY LANDSCAPE PLAN**  
 4 AC PERRIS-ELLIS COMMONS  
 SENIOR HOUSING DEVELOPMENT  
 PERRIS, CALIFORNIA

**SCALE: 1"=30'**  
**SHEET 1 of 1**



**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:               Riverside County Administration Center  
  4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
  Riverside, California

DATE OF HEARING:   May 10, 2018

TIME OF HEARING:   9:00 A.M.

**CASE DESCRIPTION:**

ZAP1015PV18 – Everest at Perris, LLC (Representative: Casey Malone) – City of Perris Planning Case Nos. 17-05148 (Zone Change), 17-00005 (Development Plan Review). The applicant proposes to construct a 141-unit senior apartment complex on 4.22 acres located on the northwest corner of Ellis Avenue and “A” street. The applicant also proposes to change the zoning of the site from Community Commercial (CC) to R-6,000 Single Family Residential 6,000 square foot lot minimum/Senior Housing Overlay (SHO) zone. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Diane Sbardellati of the City of Perris Planning Department at (951) 943-5003.



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1015 PV 18 DATE SUBMITTED: 3/23/18

### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Everest at Perris, LLC	Phone Number	858-523-0719
Mailing Address	12671 High Bluff Drive, Ste 150	Email	glansing@lansingcompanies.com
	San Diego, CA 92130		

Representative	Casey Malone	Phone Number	858-523-0719
Mailing Address	12671 High Bluff Drive, Ste 150	Email	cmalone@lansingcompanies.com
	San Diego, CA 92130		

Property Owner	Same as Applicant	Phone Number	
Mailing Address		Email	

### LOCAL JURISDICTION AGENCY

Local Agency Name	City of Perris	Phone Number	951-943-5003
Staff Contact	Diane Sbardellati	Email	dsbardellati@cityofperris.org
Mailing Address	135 North "D" Street	Case Type	Development Plan Review & Zone Change
	Perris, CA 92570	<input type="checkbox"/>	General Plan / Specific Plan Amendment
		<input checked="" type="checkbox"/>	Zoning Ordinance Amendment
		<input type="checkbox"/>	Subdivision Parcel Map / Tentative Tract
Local Agency Project No	DPR 17-00005, Zone Change 17-05148	<input type="checkbox"/>	Use Permit
		<input checked="" type="checkbox"/>	Site Plan Review/Plot Plan
		<input type="checkbox"/>	Other

### PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	Vacant Land at the NW corner of A Street and Ellis Ave		
	Perris, CA 92570		
Assessor's Parcel No.	313-222-002	Gross Parcel Size	4.22 AC
Subdivision Name	Witt's Foothill Orange Tract	Nearest Airport	
Lot Number	16	and distance from Airport	Perris Valley, 1 mile

### PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	The existing zoning is Community Commercial (CC) and the General Plan land use designation is R-6000
	The property is currently vacant.

ZONE E  
MARCH  
ZONE E  
PERRIS

Proposed Land Use (describe)	The proposed zoning is R-6000-SHO (Senior Housing Overlay)		
	The development will include 141 senior housing apartment units and a leasing office/community center.		
	Amenities will include a small park, pool/spa, gazebo, courtyard gathering and exercise areas.		
	Landscaping will include drought tolerant trees, shrubs and planted water quality bioretention basins		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	141 Apartment units	
For Other Land Uses (See Appendix C)	Hours of Operation		
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1460-1480	ft.
	Height of buildings or structures (from the ground)	44	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	
		<input checked="" type="checkbox"/> No	
	If yes, describe		

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. . . . . Completed ALUC Application Form
  1. . . . . ALUC fee payment
  1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
  1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  1. . . . . CD with digital files of the plans (pdf)
  1. . . . . Vicinity Map (8.5x11)
  1. . . . . Detailed project description
  1. . . . . Local jurisdiction project transmittal
  3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
  3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \*

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.3

**HEARING DATE:** May 10, 2018

**CASE NUMBER:** ZAP1308MA18 – Newcastle Partners, Inc., Jackson Smith  
(Representative: T&B Planning, George Atalla)

**APPROVING JURISDICTION:** City of Moreno Valley

**JURISDICTION CASE NO:** PEN18-0024 (General Plan Amendment), PEN18-0025  
(Change of Zone), PEN18-0023 (Plot Plan)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Plot Plan CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The applicant proposes to construct a 203,712 square foot warehouse facility (193,712 square feet warehouse area, 10,000 square feet office area) on an 8.8-acre site. The applicant also proposes to amend the site's land use designation from Office to Business Park/Light Industrial, and change the zoning from Office to Light Industrial.

**PROJECT LOCATION:** The site is located on the northeast corner of Frederick Street and Brodiaea Avenue, within the City of Moreno Valley, approximately 6,300 feet northeasterly of the northerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone D
- c. Noise Levels: Below 60 CNEL from aircraft

## **BACKGROUND:**

Non-Residential Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone D, which does not restrict average or single-acre intensity.

March Air Reserve Base/United States Air Force Input: Given that the project site is in close proximity to the March Air Reserve Base boundary, the Base staff was notified of the project and sent a package of plans for their review. As of the time this staff report was prepared, comments from the Air Force were still pending.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). At a distance of approximately 6,300 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review could be required for any structures with top of roof exceeding 1,598 feet AMSL. The site finished floor elevation is 1,563 feet AMSL, and the proposed building height is 41 feet, resulting in a top point elevation of 1,604 feet AMSL. Therefore, review of the proposed structure by the FAA Obstruction Evaluation Service is required. The applicant has submitted Form 7460-1, and FAA OES has assigned Aeronautical Study No. 2018-AWP-7253-OE to this project, which is recognized as a "Work in Progress" as of the date of this staff report.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

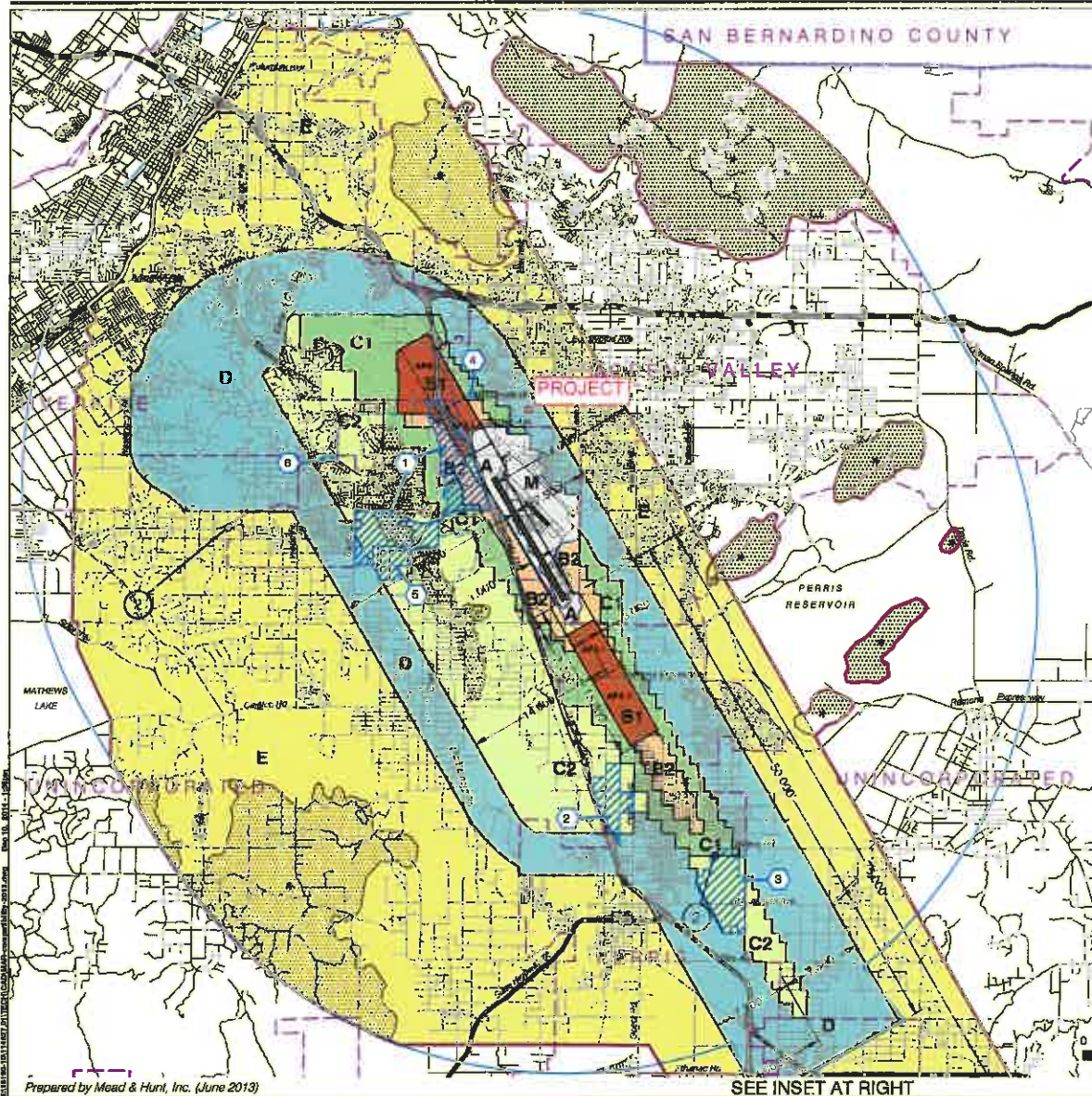
## **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and shall be recorded as a deed notice.
  4. No detention basins are shown on the plot plan. Any new detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
  5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

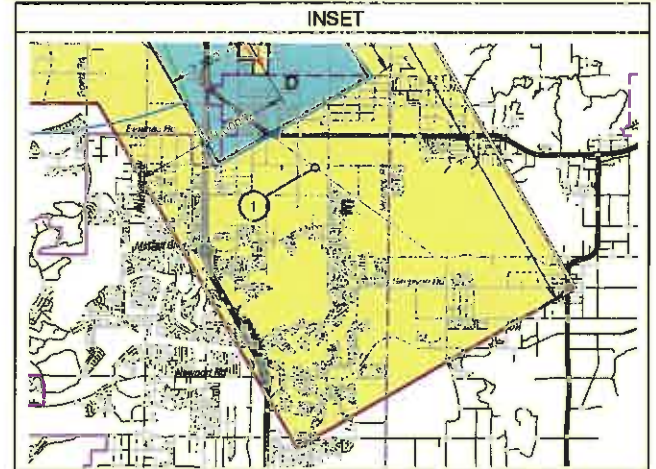
**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

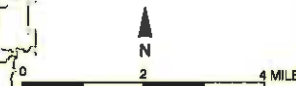
- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)
  - March JPA: March Business Center/Meridian
  - Perris: Harvest Landing
  - Perris: Park West
  - Moreno Valley: Affordable Housing
  - March JPA: Ben Clark Training Center
  - Riverside: Ridge Crest Subdivision

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from  
runway ends and centerlines.



Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

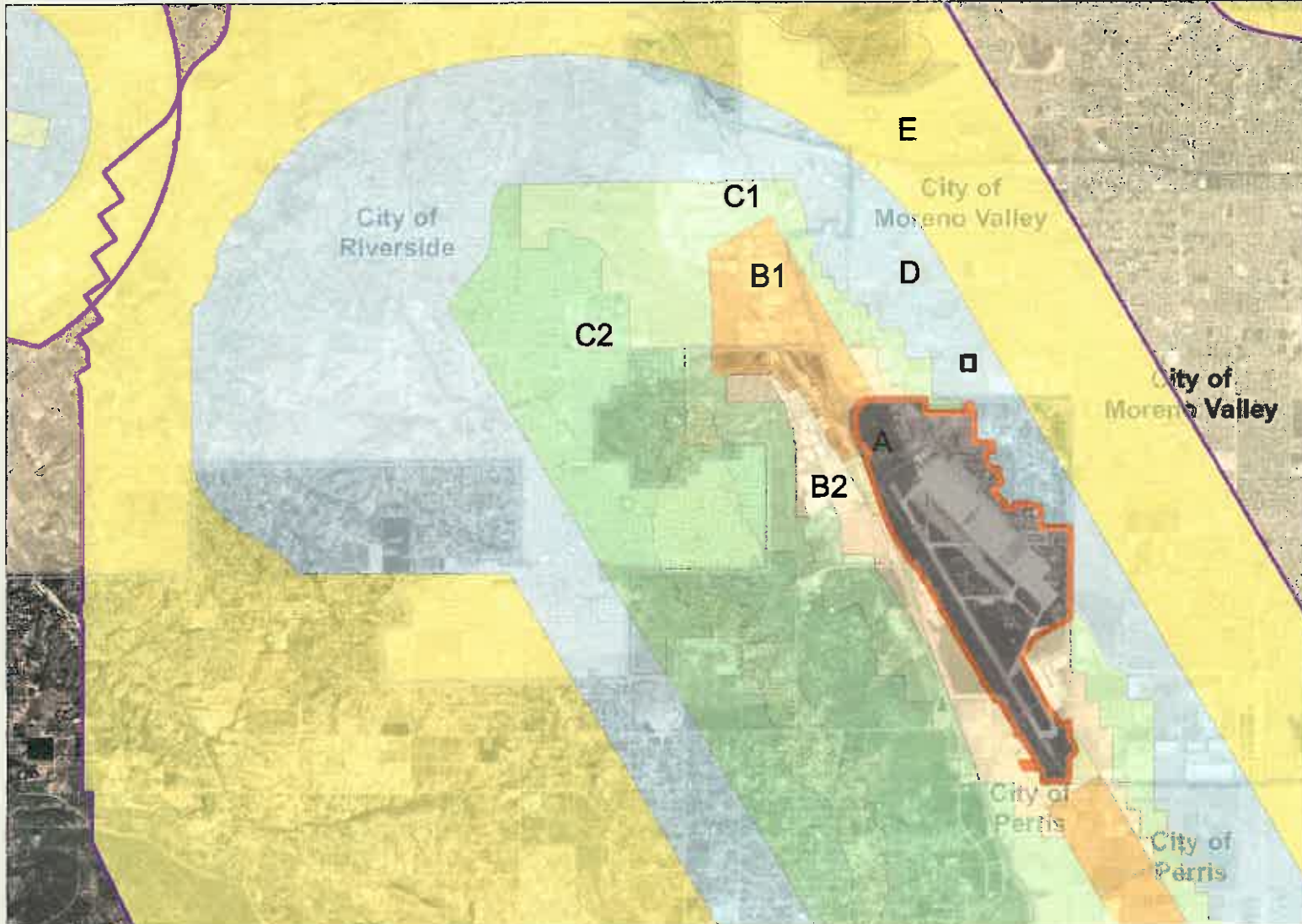
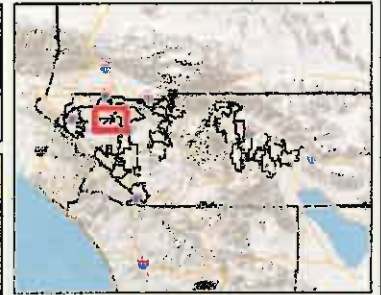
SEE INSET AT RIGHT

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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## Notes

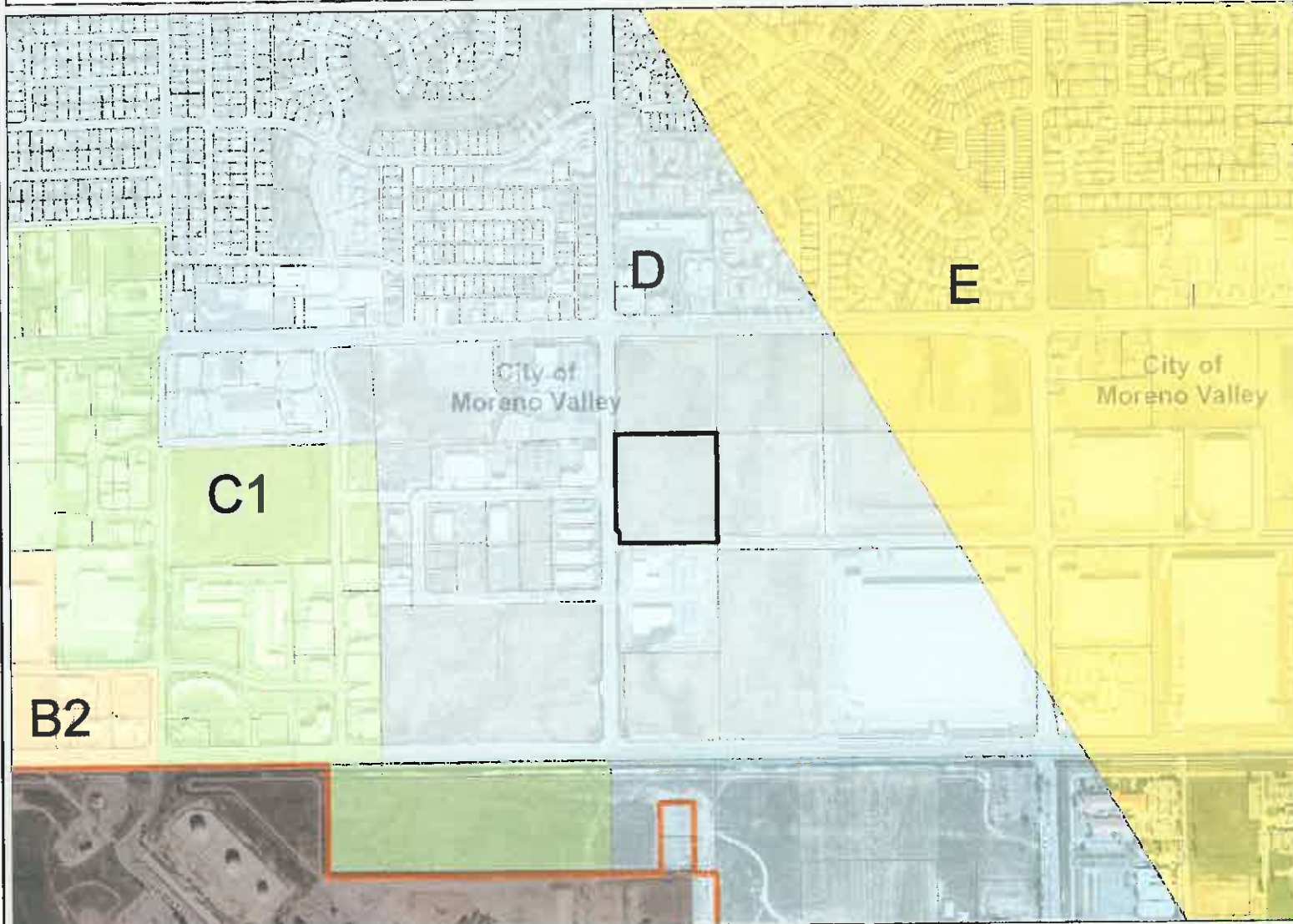
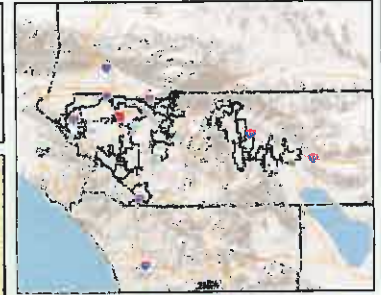
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# My Map



### Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8
- C2-HIGHT



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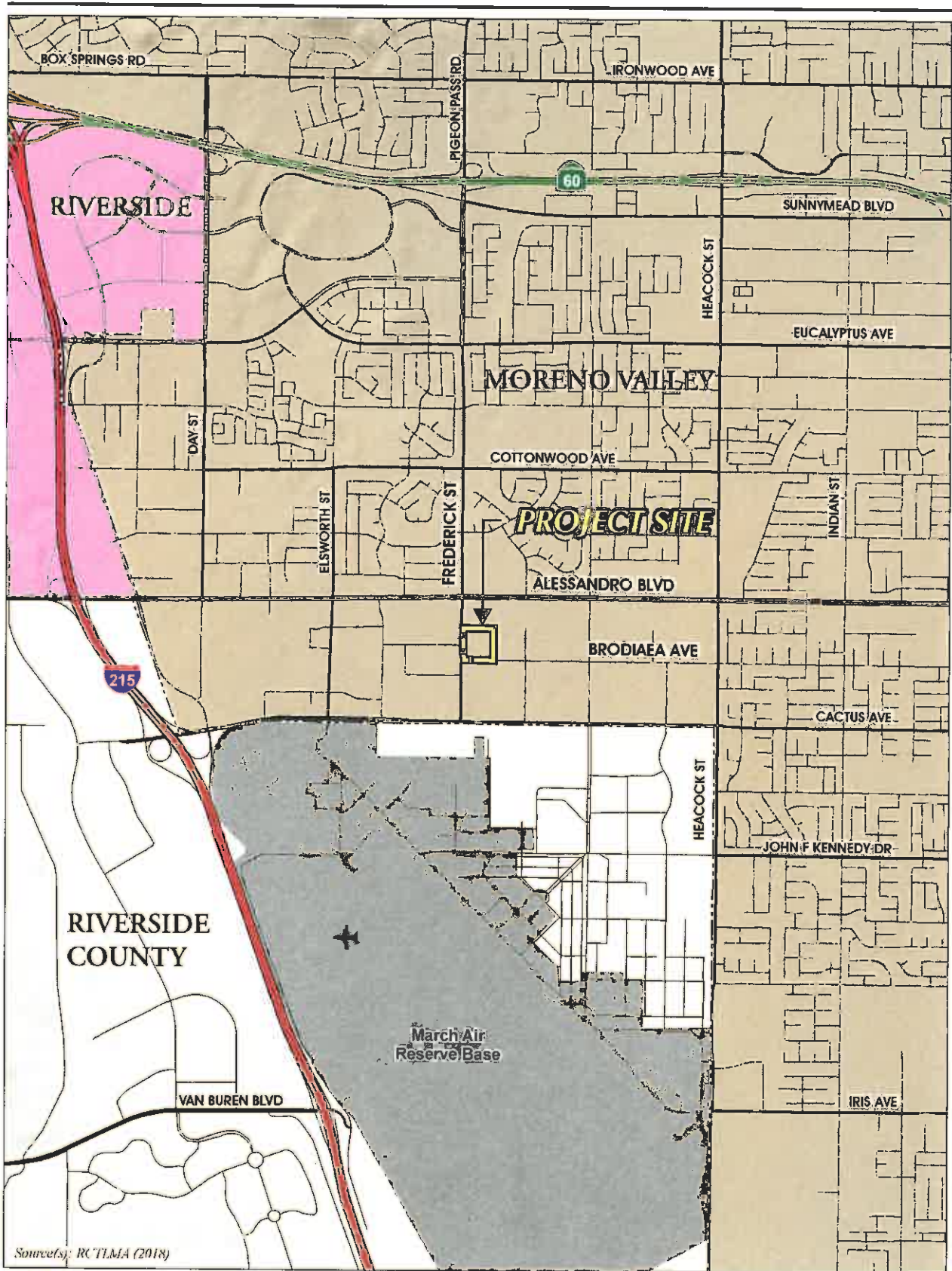


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### Notes

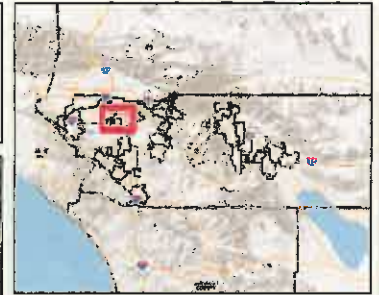


Sources: RCTMA (2018)

















VICINITY MAP

# My Map



## Legend

-  City Boundaries
-  Cities
- adjacent\_highways**
  -  Interstate
  -  Interstate 3
  -  State Highways; 60
  -  State Highways 3
  -  US HWY
  -  OUT
- highways\_large**
  -  HWY
  -  INTERCHANGE
  -  INTERSTATE
  -  USHWY
-  counties
-  cities



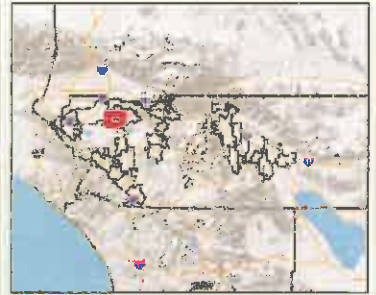
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- highways**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines
- waterbodies**
  - Lakes
  - Rivers



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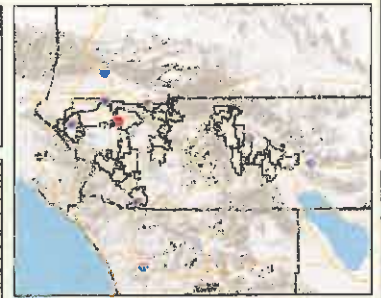
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 1,131 2,261 Feet



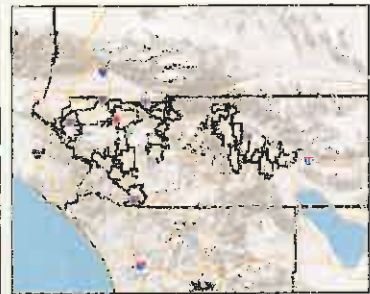
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## Notes

# My Map



### Legend

- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 565 1,131 Feet

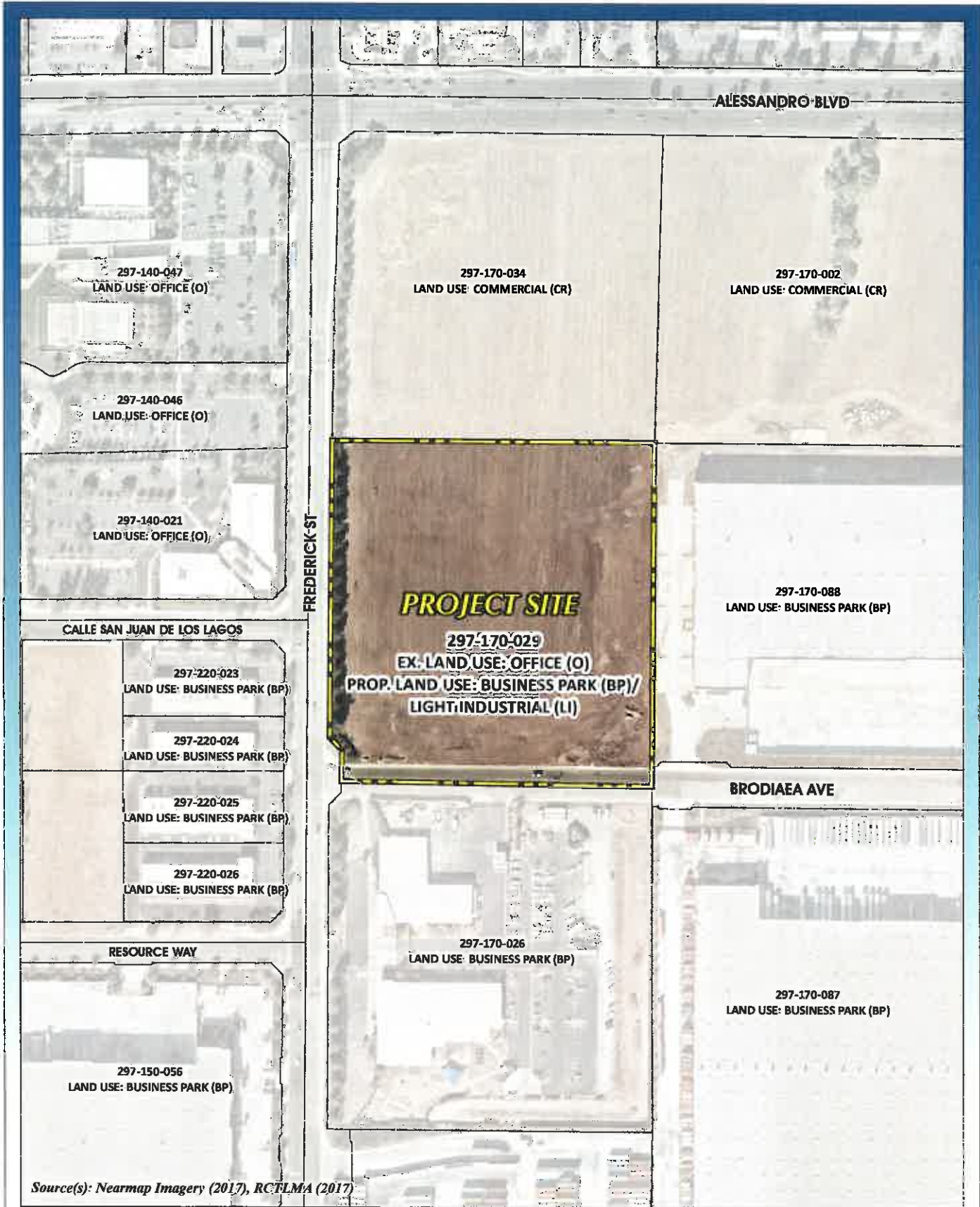


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### Notes



**CENTERPOINTE**



**GENERAL PLAN AMENDMENT**

Date: February 2018



ALESSANDRO-BLVD

297-140-047  
ZONING: OFFICE (O)

297-170-034  
ZONING: COMMUNITY COMMERCIAL DISTRICT (CC)  
OVERLAY: MIXED-USE INSTITUTIONAL ANCHOR  
OVERLAY DISTRICT

297-170-002  
ZONING: COMMUNITY COMMERCIAL DISTRICT (CC)

297-140-046  
ZONING: OFFICE (O)

297-140-021  
ZONING: OFFICE (O)

FREDERICK-ST

**PROJECT SITE**

297-170-088  
ZONING: LIGHT INDUSTRIAL (LI)

CALLE SAN JUAN DE LOS LAGOS

297-220-023  
ZONING: BUSINESS PARK (BP)

297-170-029  
EX: ZONING: OFFICE (O)  
PROP: ZONING: LIGHT INDUSTRIAL (LI)

297-220-024  
ZONING: BUSINESS PARK (BP)

297-220-025  
ZONING: BUSINESS PARK (BP)

297-220-026  
ZONING: BUSINESS PARK (BP)

BRODIAEA AVE

RESOURCE WAY

297-170-026  
ZONING: LIGHT INDUSTRIAL (LI)

297-170-087  
ZONING: LIGHT INDUSTRIAL (LI)

297-150-056  
ZONING: LIGHT INDUSTRIAL (LI)

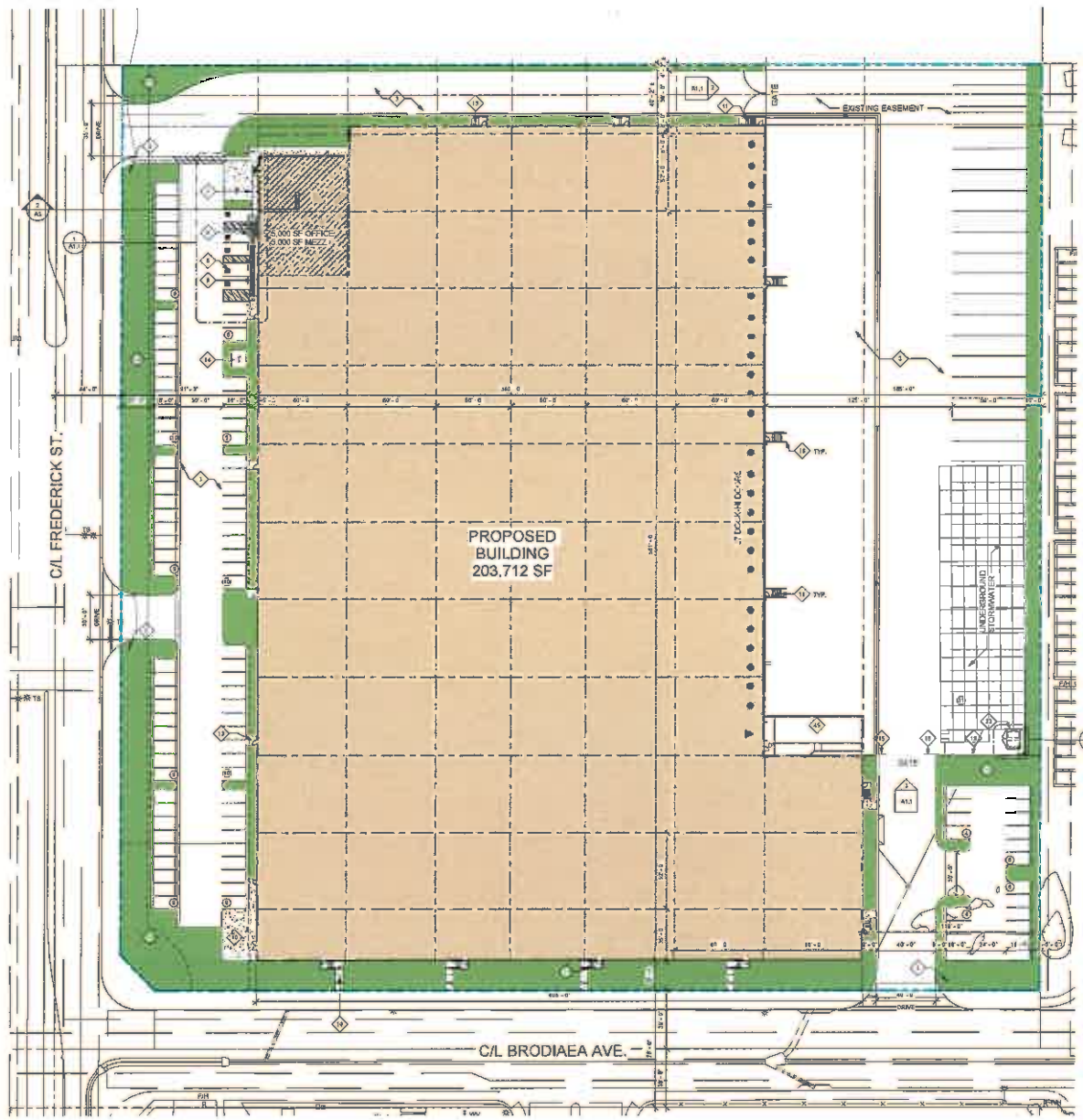
Source(s): Nearmap Imagery (2017), RCTLMA (2017)

**CENTERPOINTE**



**CHANGE OF ZONE**

Date: February 2018



<b>DEVELOPER/OWNER</b>		<b>SHEET INDEX</b>	
NEWCASTLE PARTNERS, INC. 4701 GREER ROAD, #118 ORLANDO, FL 32836 CONTACT: JACOBSON ARCHITECT PHONE: 813.482.8100 EMAIL: JACOBSON@NEWCASTLEPARTNERS.COM		A1 SITE PLAN A1.1 SITE DETAILS A1.2 FLOOR PLAN A1.3 ROOF PLAN A1.4 EXTERIOR ELEVATIONS A1.5 CONCEPTUAL LANDSCAPE PLAN A1.6 PRELIMINARY TRAFFIC PLAN A1.7 PRELIMINARY GRADING PLAN A1.8 UTILITIES & EROSION	
<b>APPLICANT'S REPRESENTATIVE/ARCHITECT</b>			
HERDMAN ARCHITECTURE & DESIGN, INC. 10201 SCIENTIFIC BLVD. SUITE 100-105 CONTACT: HERDMAN ARCHITECTURE PHONE: 714.521.2100 EMAIL: INFO@HERDMANARCH.COM			
<b>ACCESSOR PARCEL NUMBER</b>		<b>KEYNOTES</b>	
2017902		7 CONCRETE FINISH, REFER TO CIVIL DRAWINGS FOR SECTION AND FINISHES. COORDINATE WITH SOIL REPORT, REFER TO STRUCTURAL DRAWINGS FOR CONCRETE DESIGN AT TRUCK APPROX IF APPLICABLE. 8 ADA SET-UP SIGN PER CODE, TYP. 9 ADA PARKING STALL SIGN PER CODE, TYP. PROVIDE AT ALL ADA STALLS. 10 ADA SIGN OF TRAVEL. 11 PRECAST CONCRETE LABEL STOP. 12 EXISTING CURB FACE. 13 CONCRETE SHALL SEE SITE PLAN FOR ADA PATH OF TRAVEL. REFER TO CIVIL DRAWINGS FOR ADA PATH OF TRAVEL. REFER TO LANDSCAPE DRAWINGS FOR ADA PATH OF TRAVEL. REFER TO CIVIL DRAWINGS FOR ADA PATH OF TRAVEL. 14 EXTERIOR CONCRETE STAIR AND CONCRETE WALLS SHALL BE FINISHED WITH PRESTON COLOR. REFER TO CIVIL AND STRUCTURAL DRAWINGS. 15 LANDSCAPE AREA - SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION. 16 CONCRETE LANDING PAD & STEPS AS SHOWN @ EXISTING GRADE. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. 17 PRECAST TRAVEL SIGN LOCATION. PROVIDE TO LANDLORD PER CITY COMPANY REQUIREMENTS. SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. 18 REMOTE METAL GATE ELECTRICALLY OPERATED. PROVIDE CONDUIT TO GROUND RACE AND OFFICE AREA FOR GATE CONTROL. @ REFER TO PROJECT DRAWING PAD FOR FARE DEPT. UTIL. 19 PROTECTIVE MET. ENCLASURE. CONCRETE FINISH. PAINTED TYP. 20 CONCRETE SCREEN WALL. 21 CONCRETE TRASH ENCLASURE PER CITY REQUIREMENTS. 22 CONCRETE TRASH ENCLASURE PER CITY REQUIREMENTS. 23 CONCRETE TRASH ENCLASURE PER CITY REQUIREMENTS. SEE ELEVATIONS.	
<b>SCOPE OF WORK</b>			
NEW SPECIALTIES CONCRETE TILT-UP WALLING FOR GARAGE AND OFFICE USE. INCLUDES SITE IMPROVEMENTS AS NOTED.			
<b>PROJECT INFORMATION</b>			
PROJECT INFORMATION PROJECT NO: 2017902 SHEET NO: 1 OF 1 DATE: 08/14/2018 DRAWN BY: JACOBSON CHECKED BY: JACOBSON SCALE: AS SHOWN PROJECT NO: 2017902 SHEET NO: 1 OF 1 DATE: 08/14/2018 DRAWN BY: JACOBSON CHECKED BY: JACOBSON SCALE: AS SHOWN			
<b>SITE LEGEND</b>		<b>SITE PLAN GENERAL NOTES</b>	
LANDSCAPE AREA CONCRETE FINISH STANDARD PARKING STALL TYP. HANDICAP PARKING STALL W/ 5' LOADING ZONE COMPACT PARKING STALL PATH OF TRAVEL PROPERTY LINE DOOR HIGH DOOR DOOR THRU DOOR NEW FIRE HYDRANT		1. SITE PLAN SHALL MEET ALL ENGINEERING & INSURANCE REQUIREMENTS. 2. GENERAL CONTRACTOR TO REVIEW AND REPORT PREPARED BY EXISTING EQUIPMENT OPERATIONAL DATES AND ANY SUBSEQUENT AMENDMENTS, C.C. TO COMPLY COMPLIANCE. 3. REFER TO CIVIL DRAWINGS FOR ADDITIONAL UTILITY INFORMATION INCLUDING POINTS OF CONNECTION TO OFF-APPROPRIATE AND UTILITIES POINTS OF CONNECTION. 4. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION BETWEEN OFFICES, CIVIL, M.E.R. & P.P. DRAWINGS. 5. GRADES SURROUNDING BUILDING TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. 6. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS AND FINISH GRADE ELEVATIONS. 7. GENERAL CONTRACTOR TO OBTAIN AND COMPLY WITH ALL BUILDING, FIRE AND INSURANCE DEPARTMENT REGULATIONS DURING CONSTRUCTION INCLUDING ANY TEMPORARY FACILITIES REQUIRED. 8. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY 4" MIN. CONCRETE CURB UNLESS OTHERWISE SPECIFIED. 9. ALL ADA PATHS OF TRAVEL, NOTED ON PLANS TO MEET THE FOLLOWING MINIMUM REQUIREMENTS: NO OBSTACLE CHANGES IN ELEVATION ALLOWABLE ALONG THE PATH OF TRAVEL; THE SLOPE AND CROSS-SLOPE SHALL NOT EXCEED 1:20 AND 1:50 RESPECTIVELY UNLESS AN ADA COMPLIANT RAMP OR OTHER MEANS OF ACCESS BY THE CIVIL REVIEWER, A WALKWAY, CRACKS OR JOINTS ARE REPAIRED BY GENERAL CONTRACTOR OR OTHER ELEVATION BETWEEN THE PRESENT AREAS AND VERTICAL AREAS. THE BOUNDARY BETWEEN THE AREAS SHALL BE DEFINED BY A 4" TYP. CONCRETE CURB UNLESS OTHERWISE SPECIFIED. 10. ALL EXISTING UTILITIES AND DRAWINGS ARE SUBJECT TO FIELD SURVEY AND TO BE SHOWN TO THE GENERAL CONTRACTOR TO VERIFY ACCURACY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CORRECTIONS IN DRAWINGS AND SPECIFICATIONS. V.B.V.P. 11. GENERAL CONTRACTOR TO REFER TO ARCHITECTURAL DETAIL SHEETS FOR TYPICAL FINISHES AND SITE IMPROVEMENT STANDARDS. 12. CONCRETE SHALL BE FINISHED PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAINAGE SPOUT TERMINATIONS AND NON-ROOF DRAINAGE AREAS. 13. CONCRETE SHALL BE FINISHED PER ARCHITECTURAL DETAILS TO BE PROVIDED AT ALL ROOF DRAINAGE SPOUT TERMINATIONS AND NON-ROOF DRAINAGE AREAS. 14. BRASS LAYERS TO BE PROVIDED AT ALL ROOF DRAIN SPOUTS THAT DRAIN AT FACE OF BUILDING. 15. GATE, FENCES, AND WALLS MAY BE SUBJECT TO DEFERRED INSTALLATION. GENERAL CONTRACTOR TO COORDINATE WITH ALL NEARBY EXISTING SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.	
<b>VICINITY MAP</b>			

PROPOSED SITE PLAN  
1" = 30'

NEWCASTLE FREDERICK ST.  
 MORENO VALLEY, CA  
 PROJECT  
 1ST PLANNING SUBMITTAL

A17-2100  
 02.06.2018  
 NORTH  
 SITE PLAN  
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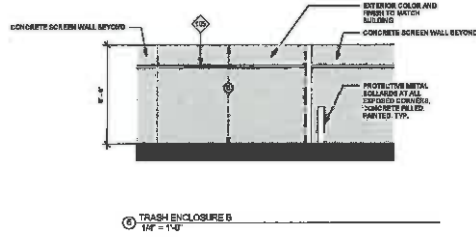
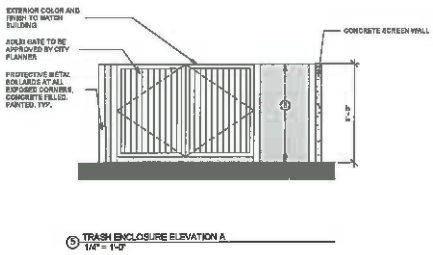
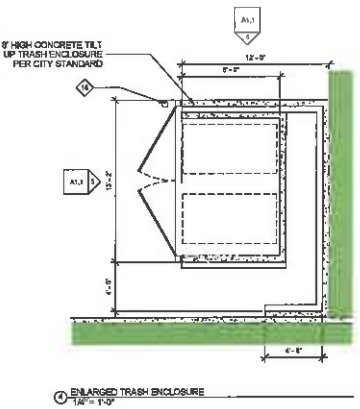
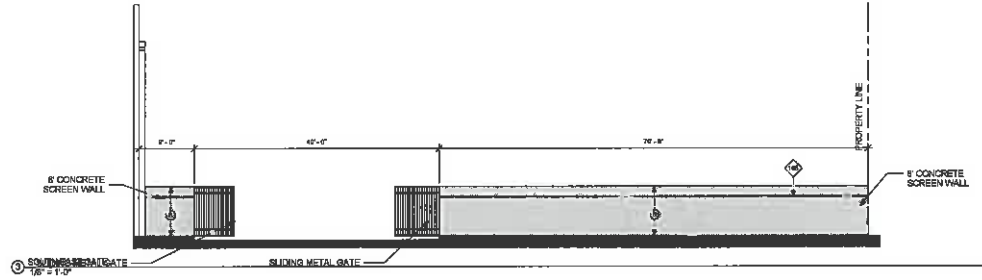
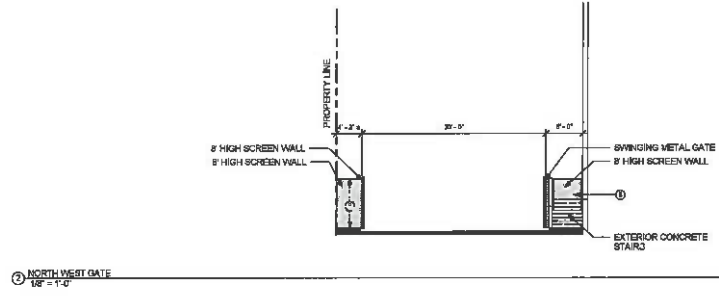
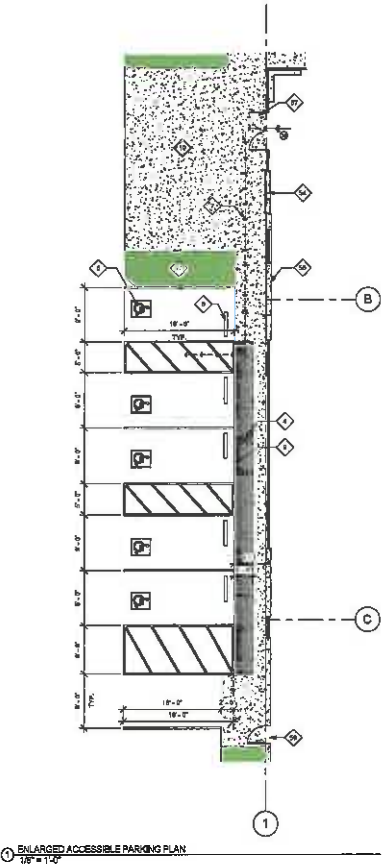


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02.04.2018  
NORTH

SITE DETAILS

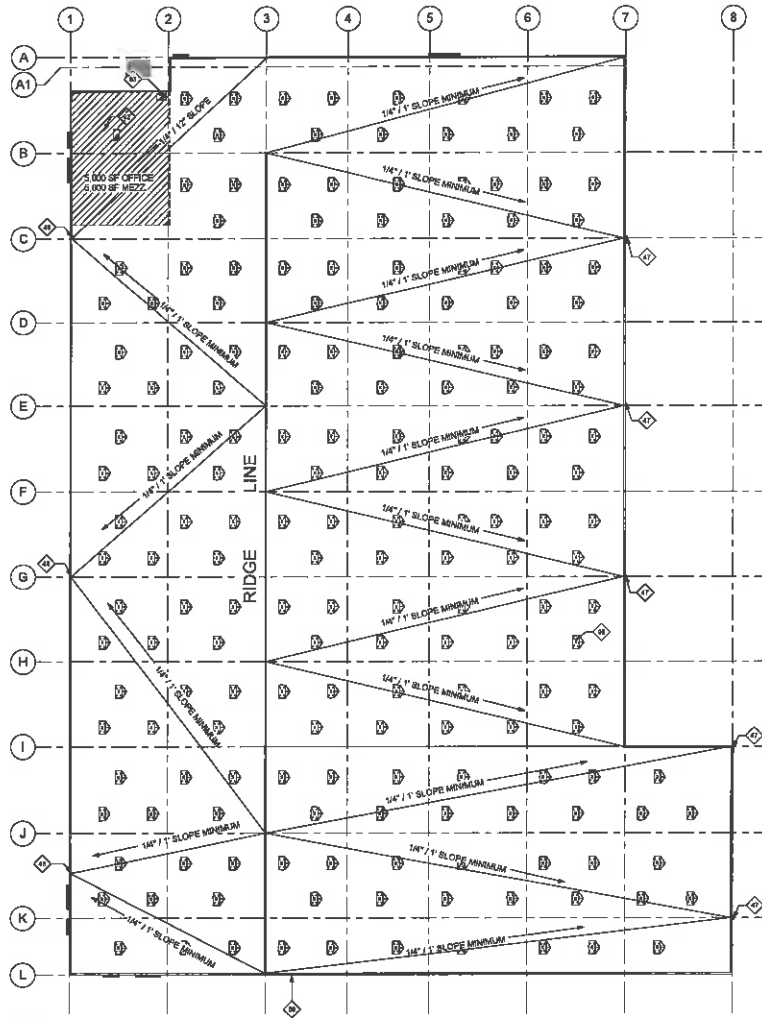
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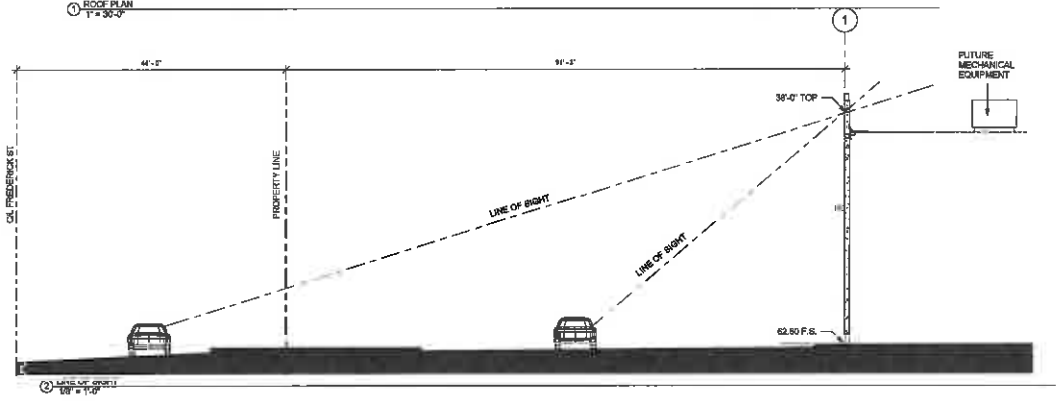


KEYNOTES	
4	TRUNCATED CORNER
6	ADA PARKING STALL SIGN PER CODE, TYP. PROVIDE ATTACHMENT STALLS.
7	ADA PATH OF TRAVEL
8	PROTECT CONCRETE WHEEL STOP
9	FORM CURB FACE
10	CONCRETE WALL - SEE SITE PLAN FOR ADA PATH OF TRAVEL. 4" MIN THICKNESS, SCORE CONCRETE @ 5' O.C., PROTECT AT LIGHT BROOM FINISH. REFER TO LANDSCAPE DRAWINGS FOR 3/4" POLYETHYLENE CONCRETE REINFORCING TYP. REFER TO SOBS BEFORE FOR ADDITIONAL SEE, ETC.
11	LANDSCAPE AREA - SEE LANDSCAPE PLAN FOR ADDITIONAL INFORMATION
12	PROTECTIVE METAL ROLLERS, CONCRETE FILL, PAINTED, TYP.
13	SCREENING - SEE ELEVATIONS & EXTERIOR COLOR SCHEDULE. C. OTHER FINISH TO BE DETERMINED TO MEET WALL LOAD AS REQUIRED BY BUILDING CODES AND LOCAL ADOPTION OF SECTION OF STRUCTURAL FRAMING SYSTEM AND STRUCTURAL CALCULATIONS TO BE APPROVED BY SEAL, REGISTERED DEFENSE SUBMITTAL.
14	CONCRETE TILUP PANEL, TYP. FINISH SEE EXTERIOR COLOR SCHEDULE. REFER TO ELEVATIONS AND "C" DRAWINGS FOR ADDITIONAL INFORMATION.
15	EXTERIOR 3/4" DIA. DOOR STOP, HOLLOW METAL, PAINTED, SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
16	SLIP-ON STURDIMENT DOOR - SEE EXTERIOR COLOR SCHEDULE & DOOR SCHEDULE FOR ADDITIONAL INFO.
17	NEGATIVE CONCRETE REVEAL WITH CHAMFERED EDGE, TYP.





1 ROOF PLAN  
1" = 30'



2 ELEVATION OF ROOF  
1/8\"/>

SKYLIGHTS NOTES	
PROVIDED IN QTY:	115.0
ROOF AREA - 115.0 SQ. FT.	
SKYLIGHTS - 24 SQ. FT. ROOF AREA = 5.51 SQ. FT.	
EACH UNIT 2.5 SQ. FT.	
UNITS PROVIDED - 115 = 5.51 SQ. FT.	
UNITS MATCHES NOTE TO BIDDING CONTRACTORS	
% OF SKYLIGHTS TO BE DETERMINED BY THE FIRE PROTECTION CONSULTANT TO MEET FIRE REQUIREMENT TO ALLOW FOR HIGH FUEL STORAGE. OBSERVED TOTAL OF SKYLIGHT MATCH = SKYLIGHTS TO EQUAL 1/3 OF TOTAL ROOF AREA.	
BIDDING CONTRACTORS NOTE TO BIDDING CONTRACTORS: QUANTITY & LOCATION OF SKYLIGHTS SHALL BE A MAJOR COMPONENT OF THE BID TO BE DETERMINED BY THE BIDDING CONTRACTOR. BIDDING CONTRACTORS TO PROVIDE SKYLIGHTS AS CHANGED PER HOWE LOCATIONS TO BE COORDINATED WITH THE ARCHITECT, STRUCTURAL DRAWINGS AND FIRE REQUIREMENTS.	
KEYNOTES	
47	EXTERIOR METAL DOWNSPOUT AND OVERFLOW SCOFFERS FINISHED TO MATCH BUILDING. REFER TO PLUMBING PLANS FOR BERRMAN SCUPPER OPENINGS AS SHOWN IN SECTION.
48	INTERIOR ROOF DRAIN AND INTERIOR OVERFLOW DRAIN.
49	SCOFFERS TO BE FINISHED TO MATCH BUILDING. SEE EXTERIOR COLORED SCOFFERS. REFER TO BIDDING CONTRACTORS AND "S" DRAWINGS FOR STRUCTURAL DETAILS.
29	DECOMMISSION METAL BROWN. REFER TO ARCHITECTURAL DRAWINGS.
50	FUTURE MECHANICAL EQUIPMENT.
51	ROOF ACCESS METAL.
52	SEE ELEVATION.
ROOF PLAN GENERAL NOTES	
1.	CONTRACTOR TO VERIFY EXISTING ROOF DAMAGE. ROOFING CONTRACTOR TO VERIFY PRIOR TO INSTALLING BARRIERS, INSULATION OR ROOFING. SEE "C" DRAWINGS FOR CHECKS, ETC.
2.	ROOF UP ROOFING TO BE CLASS 1 UN LISTED ROOFING ASSEMBLY DESIGNED TO RESIST WINDS AS REQUIRED.
3.	SEE STRUCTURAL DRAWINGS FOR ROOF ELEVATION, TYP.
4.	REFER TO DETAIL WAD.1 FOR TYPICAL ROOF SECTION.
5.	PROVIDE CONCRETE ON UNDER SIDES OF ALL MECHANICAL UNITS AND ROOF EQUIPMENT AT EXISTING'S AND NEW UNITS. PROVIDE POSITIVE DRAINAGE AROUND UNITS AT 1/4\"/>
6.	CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS. SEE ROOF METAL SHEET OR PENETRATIONS.
7.	ALL SKYLIGHTS AND SMOKE EXHAUSTS TO BE DESIGNED TO MEET UNIFORM AS DETERMINED BY THE ARCHITECT AND MECHANICAL CONSULTANT.
8.	ALL MECHANICAL CONDENSATE DRAINS TO BE INSTALLED BELOW ROOF.
9.	C.C. TO CONFORM REQUIREMENT FOR CORNER WALK PADS WITH GAMES.
10.	ROOFING CONTRACTOR TO PROVIDE MINIMUM ASH SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.80 AND PER EQUAL TO OR GREATER THAN 22 PER 2014 COUNTY OF LOS ANGELES GREEN BUILDING STANDARDS CODE.
11.	ROOF ELEVATIONS TO BE VERIFIED WITH TABLE ALL WALLS STRUCTURAL DRAWINGS.
12.	FOR ALL PRE-CAST ELEC PENETRATIONS THRU ROOF, SEE DETAILS ON "C" SHEETS.
13.	ALL CONDENSATE DRAIN FROM HVAC UNITS MUST BE INSTALLED BELOW ROOF.
14.	ALL MECHANICAL EQUIPMENT WEIGHTS ARE OFFSHORE UNITS.
15.	PROVIDE A 1/4\"/>
16.	ROOF ELEVATION SHALL BE CONFIRMED BY THE ARCHITECT AND MECHANICAL CONSULTANT. VERIFY WITH FIRE PROTECTION PLANS PRIOR TO INSTALLATION.
17.	ROOF ELEVATION SHALL BE CONFIRMED BY THE ARCHITECT AND MECHANICAL CONSULTANT. VERIFY WITH FIRE PROTECTION PLANS PRIOR TO INSTALLATION.
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NEWCASTLE FREDERICK ST.  
MORENO VALLEY, CA

PROJECT  
1ST PLANNING SUBMITTAL



A17-2100  
02.08.2016



ROOF PLAN

A3

20218 2.20.16 P8

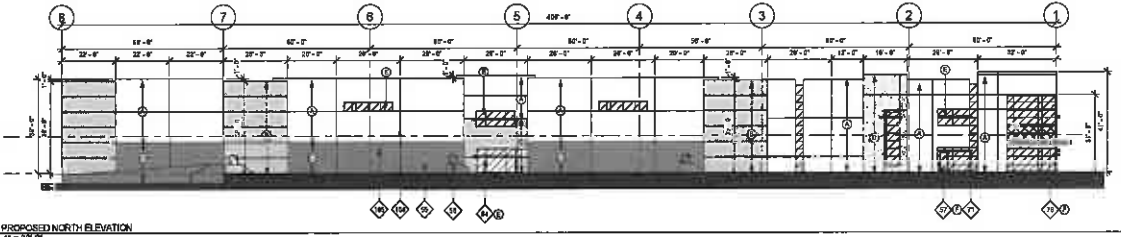


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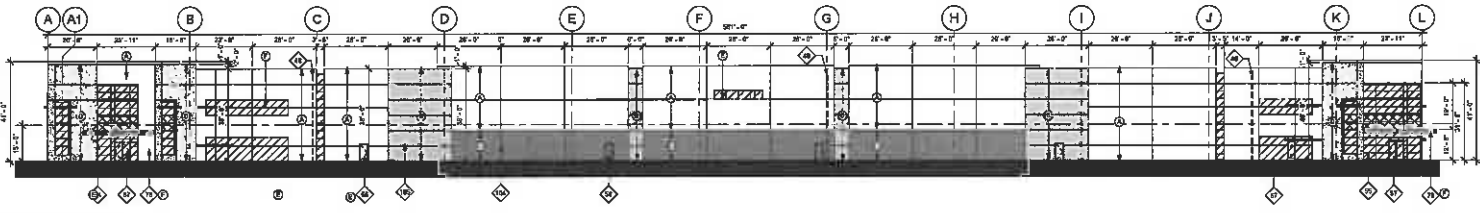
EXTERIOR ELEVATIONS

A4

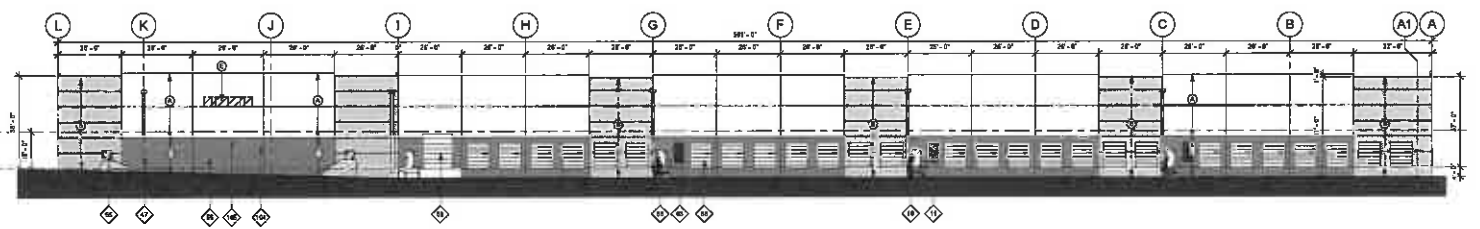
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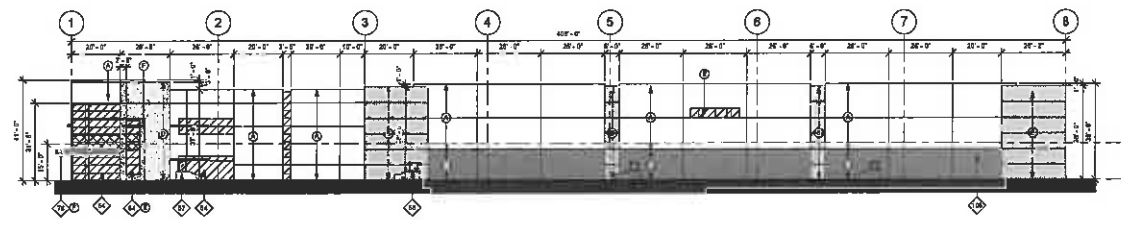
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1" = 20'-0"



2 PROPOSED WEST ELEVATION -  
FREDERICK AVE  
1" = 20'-0"

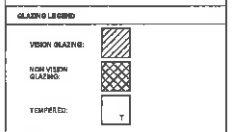


3 PROPOSED EAST ELEVATION  
1" = 20'-0"



4 PROPOSED SOUTH ELEVATION  
1" = 20'-0"

- KEYNOTES**
- 11 EXTERIOR CONCRETE STAIR WALKWAY/WALK WALL & RAILING PAINTED PERESTERON COLOR SCHEDULE. REFER TO COOL AND STRUCTURAL DRAWINGS.
  - 12 PROTECTIVE METAL BOLLARDS, CONCRETE FIELDS, PAINTED, TYP.
  - 42 EXTERIOR METAL DOWNSPOUT AND OVERFLOW DRIPPERS PAINTED TO MATCH BUILDING. REFER TO FLASHING PLAN FOR MINIMUM SLOPES. DRIPPIES AT CORNERS PER CODE.
  - 43 INTERIOR ROOF BRIMS AND INTERIOR OVERHUNG CORNER STORMFRONT. SEE ELEVATION & BATTERY COLOR SCHEDULE. STORMFRONT TO BE REFINISHED TO RESIST WIND LOAD AS RECOMMENDED BY BUILDING CODES AND LOCAL JURISDICTION. PROVIDE AN OVERHUNG TRAPPING SYSTEM AND STRUCTURAL CALCULATIONS TO BE DESIGN BUILT BY GLAZIERS DEFERRED SUBMITTAL.
  - 55 CONCRETE TILT UP PANEL, TYP. PAINTED. SEE EXTERIOR COLOR SCHEDULE. REFER TO SUBMITTANT'S "EXTERIOR COLOR SCHEDULE & BORN SCHEDULE FOR ADDITIONAL INFO.
  - 56 EXTERIOR MAIN DOOR 132" HOLLOW METAL, PAINTED, SEE EXTERIOR COLOR SCHEDULE & BORN SCHEDULE FOR ADDITIONAL INFO.
  - 57 EXTERIOR STORMFRONT DOOR. SEE EXTERIOR COLOR SCHEDULE & BORN SCHEDULE FOR ADDITIONAL INFO.
  - 58 DOOR LOADING DOOR, 84" W/ VISION GLAZING. REFER TO MANUFACTURER FOR COLOR TYPING.
  - 59 DRIVE THRU LOADING DOOR 120" W/ VISION GLAZING. REFER TO MANUFACTURER FOR COLOR SCHEDULE.
  - 63 AIR INTAKE LOADING PART TO MATCH BUILDING WALL. TYP. REFER TO ARCHITECTURAL/STRUCTURAL DETAILS.
  - 76 DECORATIVE METAL REFIN. REFER TO ARCHITECTURAL/STRUCTURAL DETAILS.
  - 104 PANEL, JUNE TYP.
  - 105 EXTERIOR CONCRETE REVEAL WITH CHAMFERED EDGES, TYP.



**NOTE:**  
REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS.

- NON VISION GLAZING NOTES:**
1. 3/8" x 5/8" PANEL GLAZING PAINT FACE OF CONCRETE PANEL, BEHIND BLACK, NO GLAZING REQUIRED.
  2. FINISHING GLAZING SYSTEM @ MANUFACTURER'S SPECIFICATIONS, NO FINE REFINISH IN CONCRETE.
  3. FINISHING GLAZING SYSTEM GLAZING AREAS EXTENDED TO BE NON-VISION WHEN TYPED BY SPANDOL, CONCRETE, TENGATE (MAY) 1/4" x 3/8" 3/8" FILTER FABRIC.

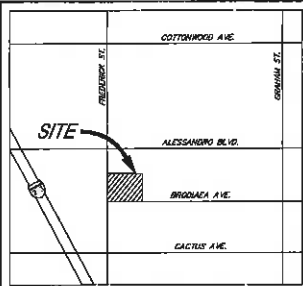
- TEMPERED GLAZING NOTES:**
1. IN SPANDOL, CONCRETE, VISIONS AND WITHIN 1" OF PANEL SURFACE TO BE TEMPERED.

- EXTERIOR COLOR SCHEDULE:**
- 1 WHITE EXTERIOR PAINT COLOR: SWH704 EIDER WHITE
  - 2 EXTERIOR WAIN COLOR: SWH75 LACER
  - 3 EXTERIOR PAINT COLOR: RIVERBANK GRAY
  - 4 STONE VENEER COLOR: COUNTRYSTONE 5 SPLF LIMESTONE - COBAM
  - 5 UNFINISHED INTERIOR PERFORMANCE BLUE REFLECTIVE GLAZING & CLEAR UNCOATED GLAZING
  - 6 ANTI-SCRATCH DECORATIVE METAL BRUSH

**TRUCK DOORS TO BE PRE-FINISHED BY MANUFACTURER IN WHITE FINISH**



IN THE CITY MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**CENTERPOINTE INDUSTRIAL**  
**PRELIMINARY GRADING PLAN**  
 PARCELS 2-4 OF PM 9959  
 FEBRUARY 2018



VICINITY MAP  
 NOT TO SCALE

**OWNER/APPLICANT**

NEWVILLE PARTNERS, INC.  
 470 GREEN AVE, STE 118  
 CORONA, CA 92780  
 TEL: (951) 522-0800  
 ATTN: JACKSON SMITH

**ENGINEER**

SDH & ASSOCIATES, INC.  
 5225 CANYON CREST DRIVE 71433  
 RIVERSIDE, CA 92507  
 VOICE: (951) 683-1801  
 FAX: (951) 788-2314

**ARCHITECT**

HERDMAN ARCHITECTURE + DESIGN  
 16201 SCIENTIFIC WAY  
 IRVING, CA 92618  
 VOICE: (714) 389-2800

**PROJECT INFO**

AREA OF SITE = 382,438 S.F. (8.78 AC)  
 LANDSCAPE AREA = 51,184 S.F. (1.16 AC)

TOTAL BUILDING AREA = 184,925 S.F. (4.2 AC)  
 - OFFICES = 5,000 S.F.  
 - WAREHOUSE = 179,925 S.F.

**UTILITY PURVEYORS**

WATER.....EAND  
 GAS.....SD, CALIF. GAS  
 ELECTRIC.....SDA  
 TELEPHONE.....PP  
 SEWER.....DAND  
 CABLE.....PP

**SHEET INDEX**

SHEET 1: TITLE SHEET  
 SHEET 2: PRELIMINARY GRADING  
 SHEET 3: SECTIONS, DETAILS, & COMPOSITE UTILITY PLAN

**EARTHWORK**

RAW CUT = 4 S.Y.  
 RAW FILL = 4 S.Y.

**ZONING AND LAND USE**

EXISTING ZONING = O OFFICE  
 PROPOSED ZONING = LI LIGHT INDUSTRIAL

**SURROUNDING ZONING**

NORTH.....OC COMMUNITY COMMERCIAL  
 EAST.....LI LIGHT INDUSTRIAL  
 SOUTH.....LI LIGHT INDUSTRIAL  
 WEST.....O OFFICE/ BP BUSINESS PARK

**SURROUNDING LAND USE**

NORTH.....IMMUNT  
 EAST.....INDUSTRIAL  
 SOUTH.....INDUSTRIAL  
 WEST.....BUSINESS PARK / TY HALL

**SCHOOL DISTRICT**

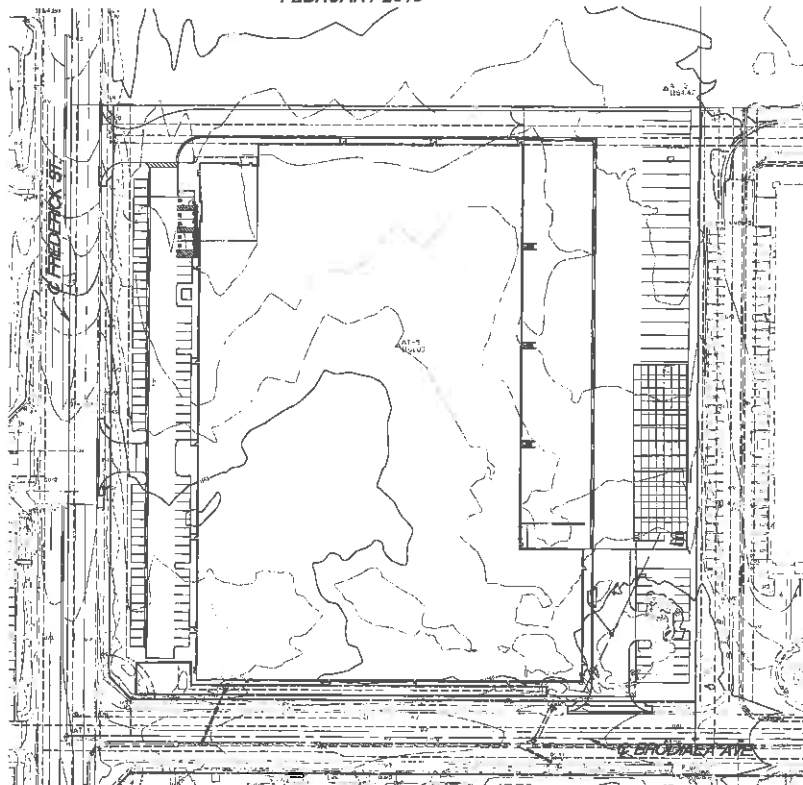
MORENO VALLEY UNIFIED  
 SCHOOL DISTRICT

**APN**

297-170-008

**LEGEND**

- T.B. - TOP OF BERM
- F.G. - FINISHED GRADE
- F.L. - FLOW LINE
- H.P. - HIGH POINT
- EXIST. - EXISTING
- P.E. - ROAD ELEVATION
- G.S. - GRADE BREAK
- TRACT BOUNDARY
- CENTERLINE
- CURB AND GUTTER
- 1200 --- EXISTING CONTOUR LINE
- LOT LINE
- SLOPE



INDEX MAP  
 1"=60'

**CONSTRUCTION NOTES**

1. CONSTRUCT P.C.C. DRIVE ISLE & PARKING AREAS
2. CONSTRUCT 6" CURB ONLY
3. CONSTRUCT 6" CURB AND GUTTER
4. CONSTRUCT P.C.C. SIDEWALK (FINISHED SURFACE MATERIALS PER ARCH. PLANS)
5. CONSTRUCT A.D.A. COMPLIANT HANDICAP RAMP
6. CONSTRUCT 3" WIDE CONC. RIBBON GUTTER
7. CONSTRUCT MODULAR WETLAND MMS-L-8-12
8. CONSTRUCT 1/2 DRILLED ANGULAR R.P.-RAP, 6"-12" DIAMETER
9. CONSTRUCT 12" HOPE DRAIN PIPE
10. CONSTRUCT 24" HOPE DRAIN PIPE
11. CONSTRUCT COMMERCIAL DRIVEWAY APPROACH
12. CONSTRUCT 6" PERFORATED UNDERDRAIN
13. CONSTRUCT 18" HOPE STORM DRAIN



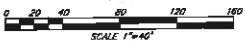
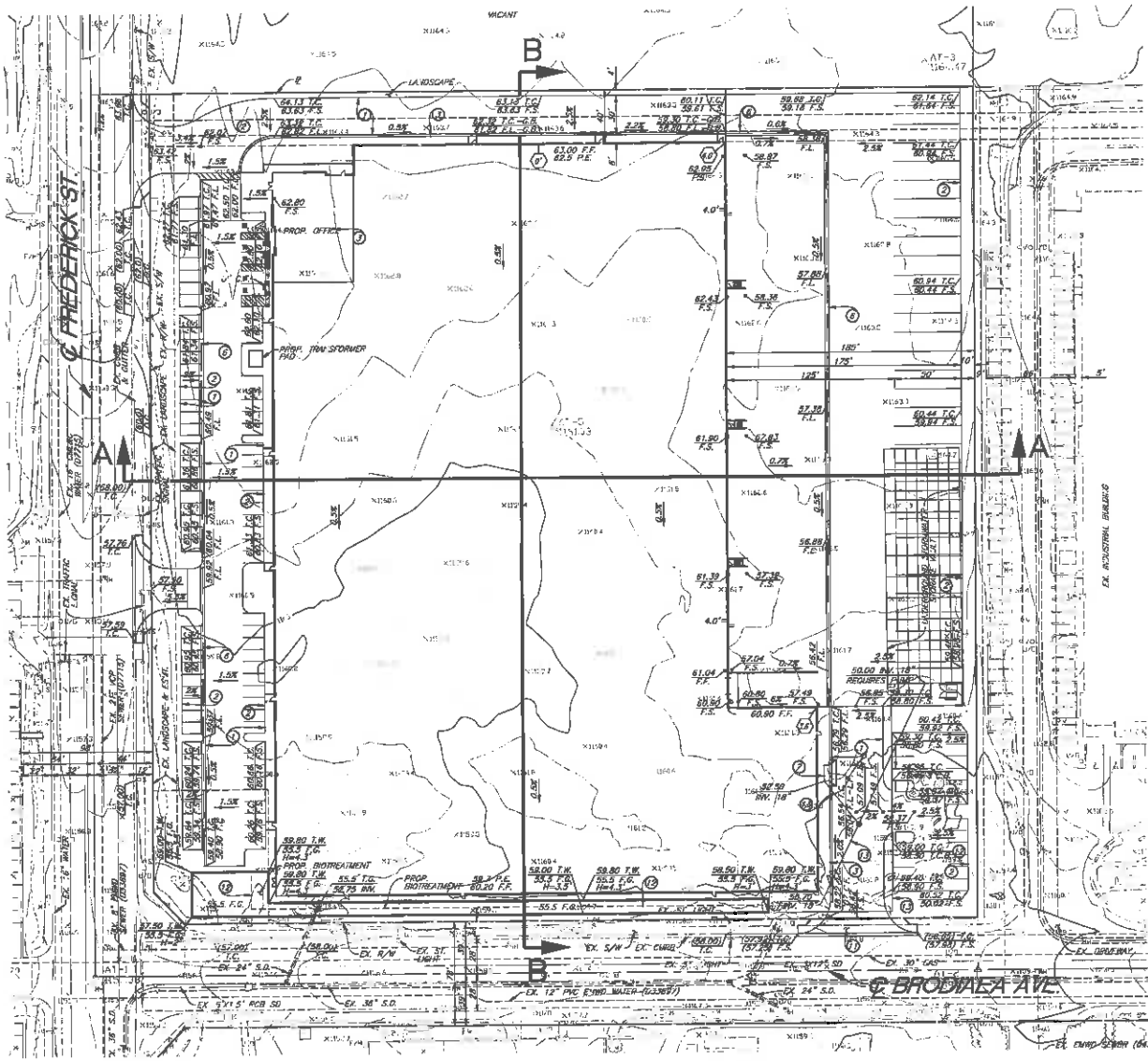
0 30 60 120 180 240  
 SCALE 1"=60'

		UNDER THE SUPERVISION OF: _____ DATE _____	<b>CITY OF MORENO VALLEY</b>		ACCT. NO.
			CENTERPOINTE INDUSTRIAL PRELIMINARY GRADING PLAN PARCELS 2-4 OF PM 9959		SHEET 1 OF 3 CITY ID. NO.

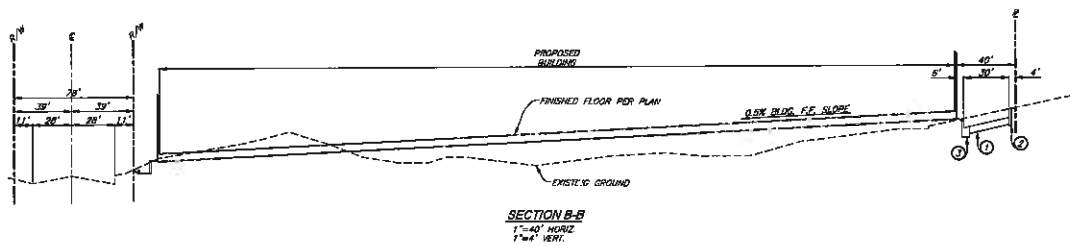
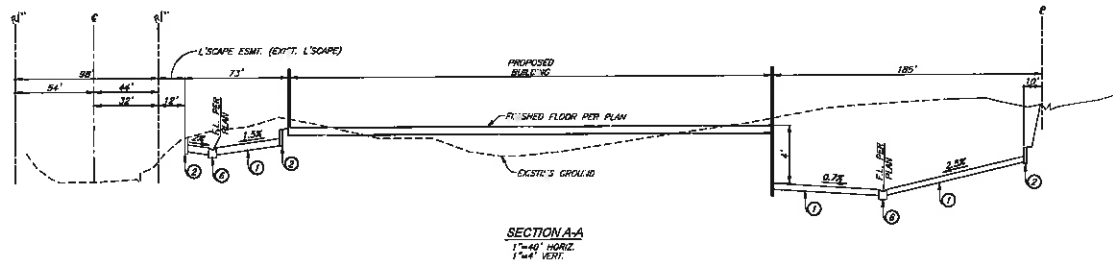


**CONSTRUCTION NOTES**

- ① CONSTRUCT P.C.C. DRIVE ISLE & PARKING AREAS
- ② CONSTRUCT 8" CURB ONLY
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- ④ CONSTRUCT P.C.C. SIDEWALK (FINISHED SURFACE MATERIALS PER ARCH. PLANS)
- ⑤ CONSTRUCT A.D.A. COMPLIANT HANDICAP RAMP
- ⑥ CONSTRUCT 1" WIDE CONC. RIBBON GUTTER
- ⑦ CONSTRUCT SIDE INLET CATCH BASIN
- ⑧ CONSTRUCT 1/2 DROULED ANGLBAR RP-34P, 6"-12" DIAMETER
- ⑨ CONSTRUCT 12" HDPE DRAIN PIPE
- ⑩ CONSTRUCT 24" HDPE DRAIN PIPE
- ⑪ CONSTRUCT COMMERCIAL DRIVEWAY APPROACH



			<p><b>CITY OF MORENO VALLEY</b></p> <p>CENTERPOINTE INDUSTRIAL PRELIMINARY GRADING PLAN PARCELS 2-4 OF PM 9959</p>	<p>ACCT. NO.</p> <p>⑥-SHEET 2 OF 3</p> <p>CITY LD. NO.</p>
<p>SDH AND ASSOCIATES INC. 2228 GAYLOR STREET, SUITE 71438 RIVERSIDE, CALIFORNIA 92507 TEL: (951) 683-3201 FAX: (951) 790-2314</p>			<p>UNDER THE SUPERVISION OF:</p> <p>DATE: _____</p>	



			<b>CITY OF MORENO VALLEY</b> CENTERPOINTE INDUSTRIAL DETAILS & SECTIONS PARCELS 2-4 OF PM 9959	ACCT. NO.  SHEET <b>3 OF 3</b> CITY ID. NO.
		SOU AND ASSOCIATES INC. 2425 CANYON DRIVE, SUITE 1743B ALHAMBRA, CALIFORNIA 91807 TEL: (626) 458-7641 FAX: (626) 798-2514	UNDER THE SUPERVISION OF:  DATE	

## **NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

**ATTENTION:** ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Moreno Valley will hold hearings on this item and should be contacted on non-ALUC issues.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California

**DATE OF HEARING:** May 10, 2018

**TIME OF HEARING:** 9:00 A.M.

**CASE DESCRIPTION:**

ZAP1308MA18 – Newcastle Partners, Inc., Jackson Smith (Representative: T&B Planning, George Atalla) – City of Moreno Valley Case Nos. PEN18-0023 (Plot Plan), PEN18-0024 (General Plan Amendment), PEN18-0025 (Change of Zone). The applicant proposes to construct a 203,712 square foot warehouse facility (193,712 square feet warehouse area, 10,000 square feet of office area) on an 8.8-acre site located on the northeast corner of Frederick Street and Brodiaea Avenue. The applicant also proposes to amend the site's land use designation from Office to Business Park/Light Industrial, and change the zoning from Office to Light Industrial. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area)

**FURTHER INFORMATION:** Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Seda Yaghoubian of the City of Moreno Valley Planning Department at (714) 401-9514.



# RIVERSIDE COUNTY

## AIRPORT LAND USE COMMISSION

### APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1308MA18 DATE SUBMITTED: 3-26-18

March  
D

#### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Newcastle Partners, Inc. (Contact: Jackson Smith)	Phone Number 951.582.9800
Mailing Address	4740 Green River Road, Suite 118 Corona, CA 92880	Email jackson@newcastlepartners.com

Representative	T&B Planning, Inc. (Contact: George Atalla)	Phone Number 714.505.6360 x 107
Mailing Address	17542 E. 17th Street, Suite 100 Tustin, CA 92780	Email gatala@tbplanning.com

Property Owner	Moreno Valley Centerpointe, LLC	Phone Number 951.880.3344
Mailing Address	4242 Market Street, Suite A Riverside, CA 92501	Email vpd47@aol.com

#### LOCAL JURISDICTION AGENCY

Local Agency Name	City of Moreno Valley	Phone Number 714.401.9514
Staff Contact	Seda Yaghoubian	Email syaghoubian@annealtagroup.com
Mailing Address	Community Development Department 14177 Frederick St. Moreno Valley, CA 92553	Case Type Land Use/Planning
Local Agency Project No	PEN18-0023, PEN18-0024, PEN18-0025	<input checked="" type="checkbox"/> General Plan / Specific Plan Amendment <input type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input checked="" type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other

#### PROJECT LOCATION

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address	Northeast of the intersection of Frederick Street and Brodiaea Avenue		
Assessor's Parcel No.	297-170-029	Gross Parcel Size	8.8 acres
Subdivision Name	n/a	Nearest Airport and distance from Airport	MARB - appr. 1.2 miles
Lot Number	n/a		

#### PROJECT DESCRIPTION

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe)	The site is currently vacant and is routinely disturbed by weed abatement activities.

Proposed Land Use (describe)	(See attached Project Description)		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	n/a	
For Other Land Uses (See Appendix C)	Hours of Operation	24 hours/day	
	Number of People on Site	n/a	Maximum Number 407 occupants (1 occupant / 500 s.f.)
	Method of Calculation	Based on RCALUC Compatibility Plan, Appendix C - The max. amount of occupants permitted within a warehouse is 1 person per every 500 square feet	
Height Data	Site Elevation (above mean sea level)	1,467	ft.
	Height of buildings or structures (from the ground)	41' 0"	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	If yes, describe	n/a	

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. . . . . Completed ALUC Application Form
  1. . . . . ALUC fee payment
  1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
  1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  1. . . . . CD with digital files of the plans (pdf)
  1. . . . . Vicinity Map (8.5x11)
  1. . . . . Detailed project description
  1. . . . . Local jurisdiction project transmittal
  3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
  3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \*

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.4

**HEARING DATE:** May 10, 2018

**CASE NUMBER:** ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** BEL1800836 (Building Electrical Permit)

**MAJOR ISSUES:** No glare would occur within the final 2 mile approach to runway 32. Low potential (“green”) level glare would occur outside the final 2 mile approach to runway 32 within the closed circuit traffic pattern envelope. FAA Interim Policy for FAA review of Solar Energy System Projects only applies to final approach within 2 miles from the end of the runway.

**RECOMMENDATION:** Staff recommends that the proposed Building Permit be found CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site.

The original project to develop a truck terminal distribution facility (ZAP1246MA17) was found consistent by the Commission on May 11, 2017.

**PROJECT LOCATION:** The site is located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of the BNSF rail line and I-215 Freeway, and southerly of Walnut Street in the unincorporated community of Mead Valley, approximately 13,910 feet southwesterly of the southerly end of Runway 14-32 at March Air Reserve Base.

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zone C2
- c. Noise Levels: Below 60 CNEL from aircraft

**BACKGROUND:**

Flight Hazard Issues: Structure height, electrical interference, and reflectivity/glare are among the issues that solar panels in the airport influence area must address. The project's 330 kW photovoltaic (PV) system would be located on the roof of a 56,000 square foot cross dock loading building within Compatibility Zone C2.

#### *Electrical and Communication Interference*

The applicant has indicated that they do not plan to utilize equipment that would interfere with aircraft communications. The PV panels themselves present little risk of interfering with radar transmission due to their low profiles. In addition, solar panels do not emit electromagnetic waves over distances that could interfere with radar signal transmissions, and any electrical facilities that do carry concentrated current will be buried beneath the ground and away from any signal transmission. There is no radar transmission or receiving facilities within the site.

#### *Glint and Glare/Reflectivity*

The applicant has prepared a glare analysis utilizing the web based Forge Solar and provided a report, a copy of which is attached hereto. The analysis was based on straight in and curved approach patterns to both runways 14 and 32. The analysis utilized a glide slope approach of 3.0 degrees for the approach, a 5 degree tilt, and array orientation of 252 degrees.

The approach analysis concluded that no glare would occur on the final 2 mile direct approach to runway 32 (flight path #10) and runway 14. The study also evaluated various flight patterns to runway 32 (as identified by the Air Force) which resulted in only one flight path (#15) resulting in a low potential for temporary after-image ("green" level) located within the closed circuit traffic pattern envelope and outside the final 2 mile approach to runway 32. The low potential glare would occur during late afternoons with a maximum duration of approximately 5 minutes during early March to early April, and early September to early October.

Based on FAA Interim Policy for FAA Review of Solar Energy System Projects on Federally Obligated Airports, "low potential for temporary after-image" ("green" level) is an acceptable level of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property.

The glare that is projected to occur is located outside the approach to runway 32 (flight path direction 222.6 degrees) when the array orientation is at 252 degrees would last up to 5 minutes a day during the times of year at the selected distances from the runway (standard times or as otherwise indicated):

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

- Early March to Early April – 5:15 p.m. to 5:55 p.m. (standard time), and Mid September to Early October – 6:00 p.m. to 6:50 p.m. (pacific daylight standard time) low potential (green)

Non-Residential Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C2. Zone C2 limits average intensity to 200 people per acre and 500 people per single acre.

The project proposes installing a 330 kW solar panel system on the roof of a 56,000 square foot cross loading dock building. The intensity of the building was previously reviewed and found consistent. The project will not generate any new occupancy/intensity.

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone C2 westerly of the runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. As of the time this staff report was prepared, we were still awaiting comments from the Air Force regarding this project.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C2.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. The project does not generate any new occupancy that would be subject to noise impacts. The primary industrial use of the building is not sensitive to noise, and the loading area would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 13,910 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,627 feet AMSL. The site's is 1,510 feet AMSL and the proposed building height is 30 feet, for a top point elevation of 1,540 feet AMSL. Review by the FAA Obstruction Evaluation Service was not required for the original buildings. The proposed solar panel system does not extend beyond the proposed height of the tallest building on site.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

## **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Mead Valley Area Plan.
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an



initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

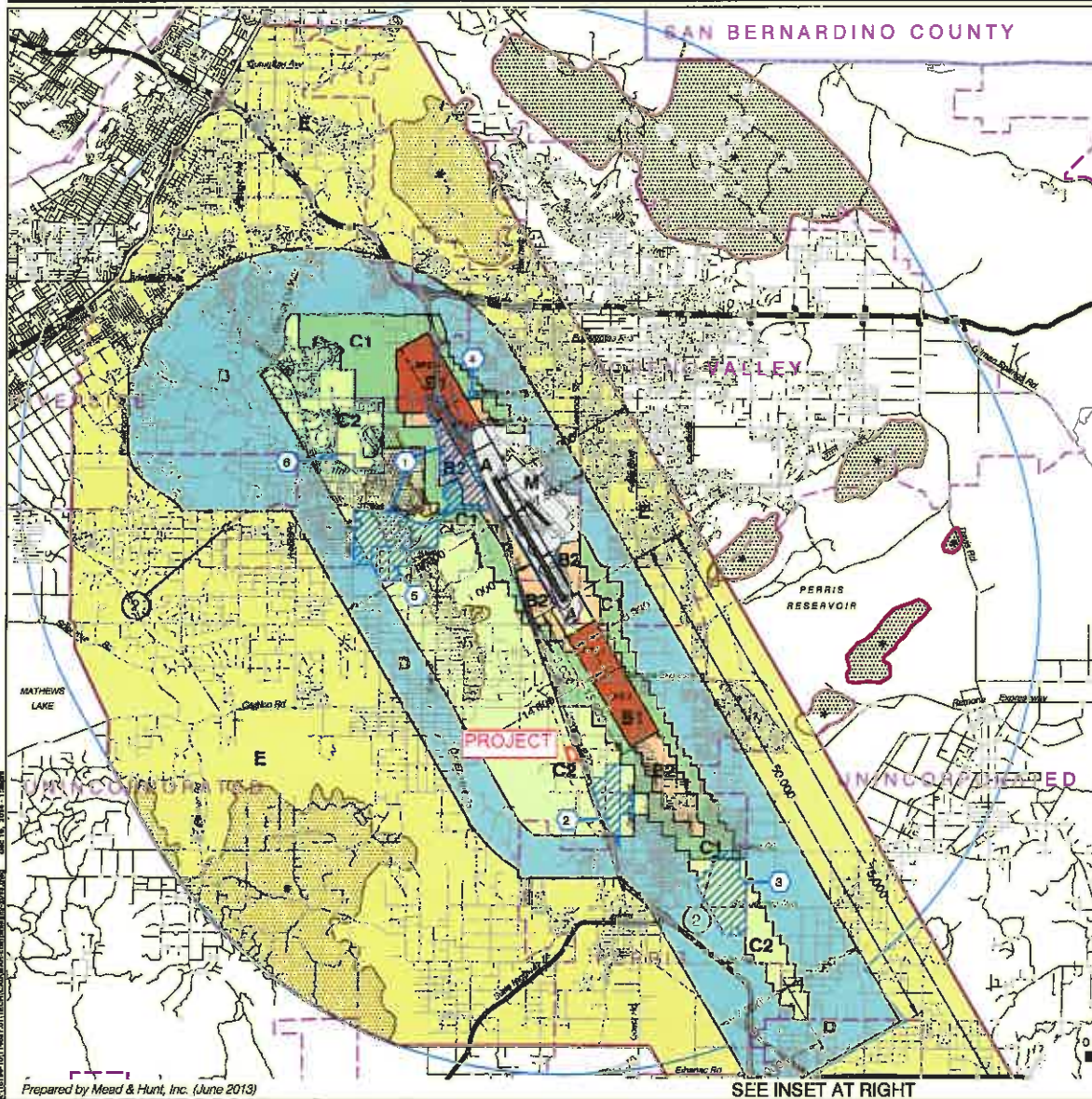
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.
4. The following uses/activities are not included in the proposed project, but, if they were to be proposed through a subsequent use permit or plot plan, would require subsequent Airport Land Use Commission review:
- Restaurants and other eating establishments; day care centers; health and exercise centers; churches, temples, or other uses primarily for religious worship; theaters.
5. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
6. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

8. Any revisions to the solar panels will require a new solar glare analysis to ensure that the project does not create significant amounts of glare, and require ALUC review.

Y:\AIRPORT CASE FILES\March\ZAP1302MA18\ZAP1302MA18.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

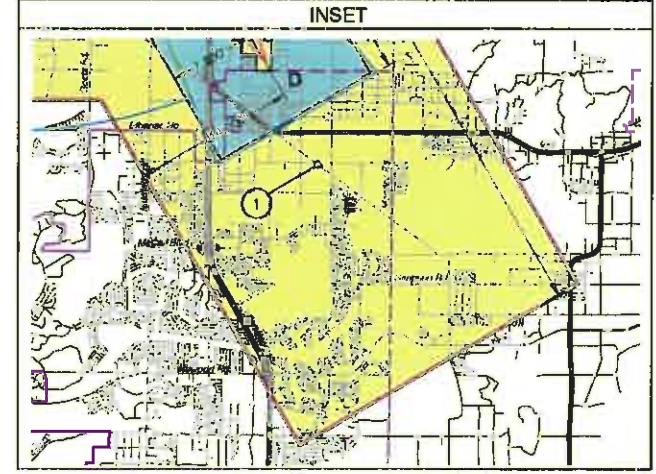
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

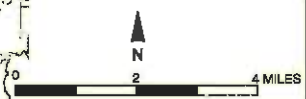
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

**Note:**  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

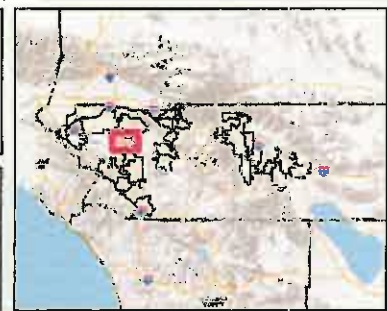
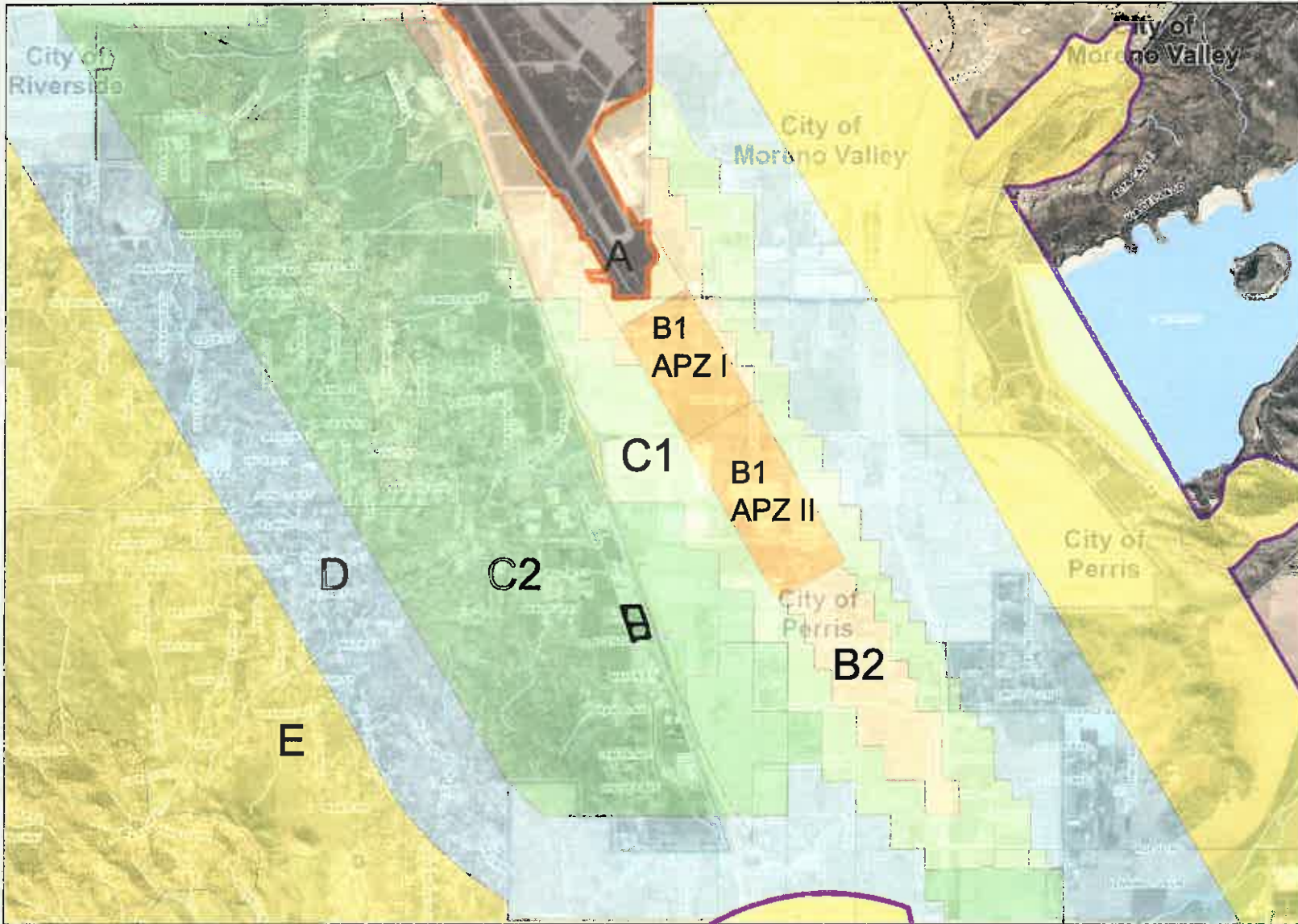
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

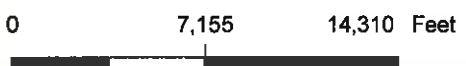
**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

# My Map



**Legend**

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



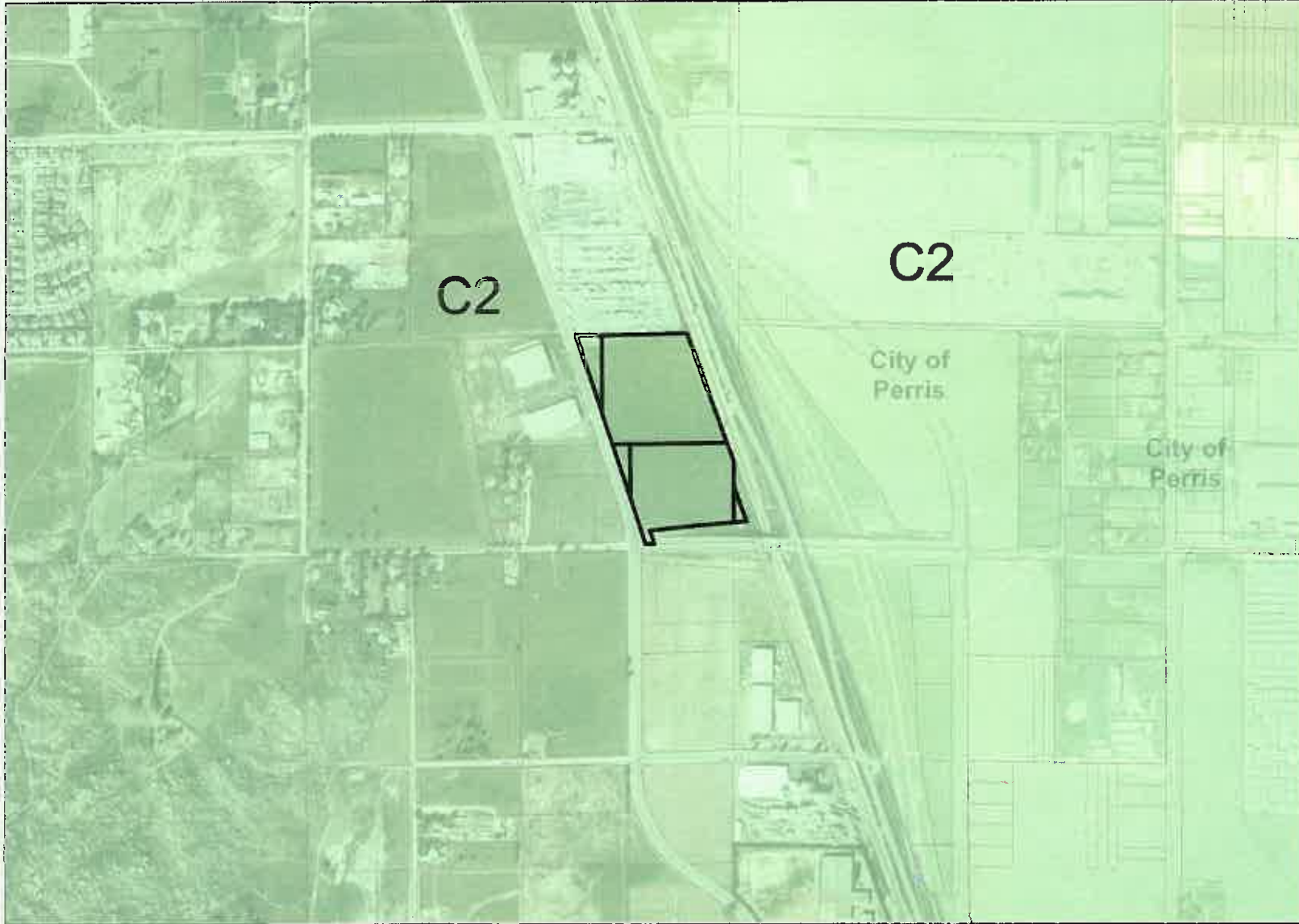
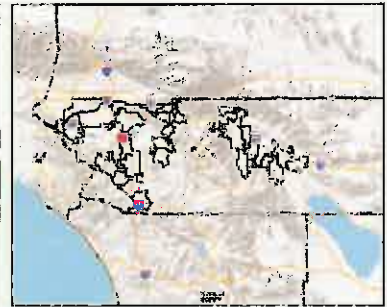
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 3/15/2017 9:51:37 AM

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**Notes**

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 1,176 2,352 Feet



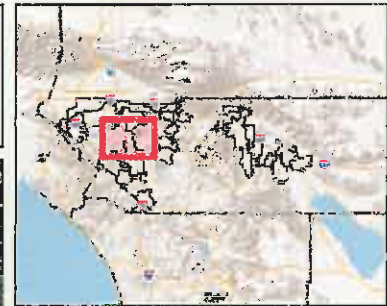
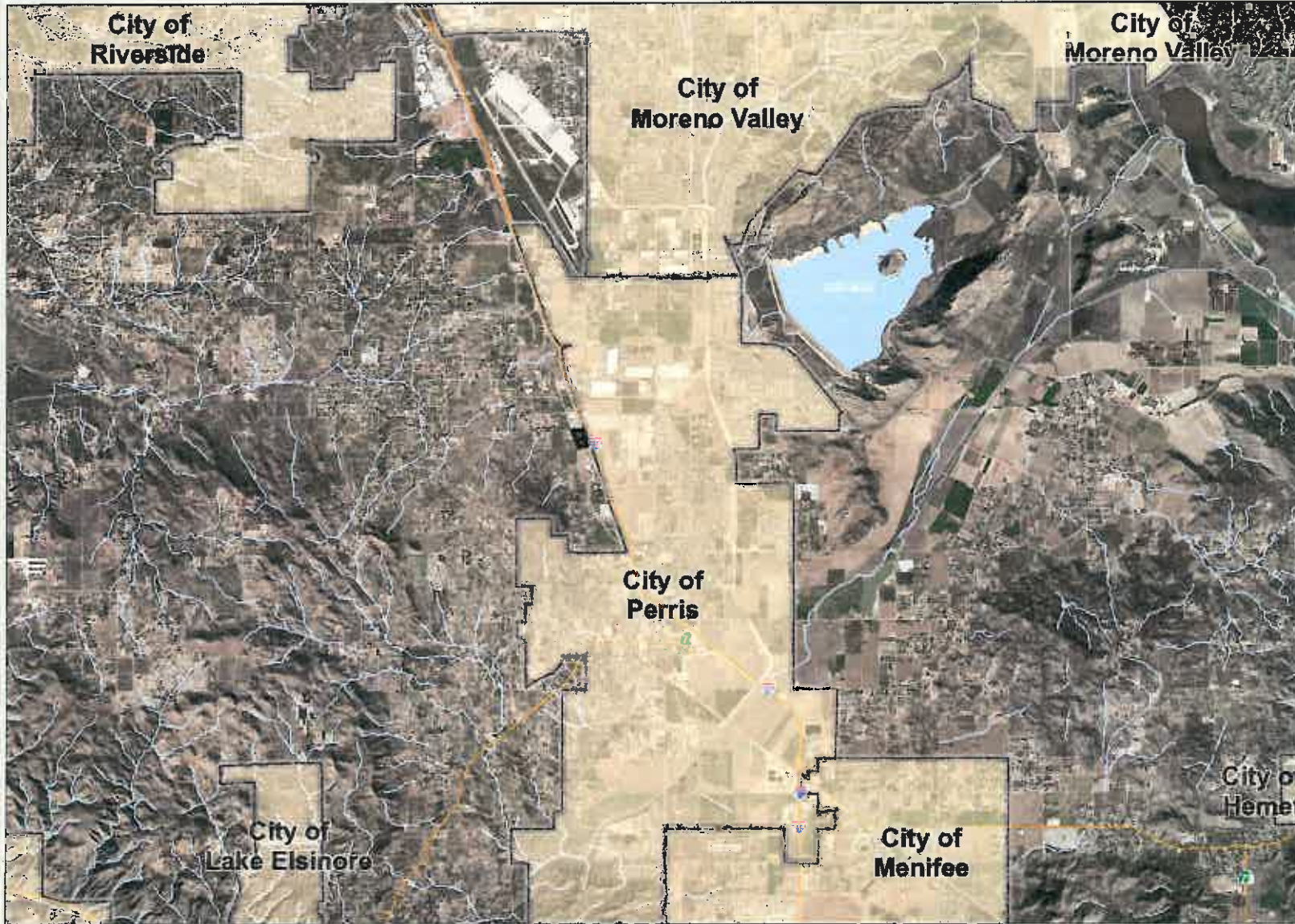
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



0 14,310 28,621 Feet



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## Notes

# My Map



### Legend

- City Boundaries
- Cities
- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- majorroads
- counties
- cities



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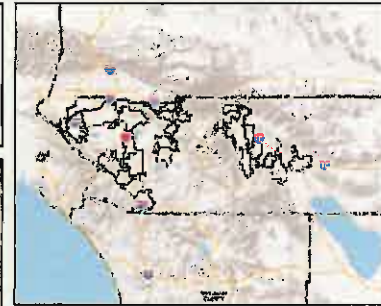
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### Notes





# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 894 1,789 Feet



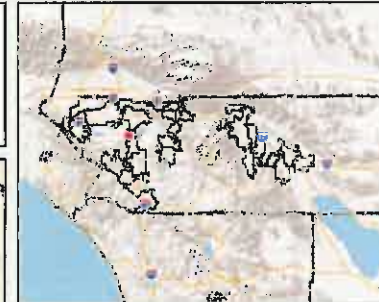
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 447 894 Feet



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## Notes



PRICING

TOOLS & SERVICES **Slope Gauge** Glare Analysis Results

## Site Configuration: Untitled

Project site configuration details and results.

Created **March 6, 2018 7:07 p.m.**  
 Updated **April 16, 2018 12:23 p.m.**  
 DNI varies and peaks at **1,000.0 W/m<sup>2</sup>**  
 Analyze every **1 minute(s)**  
**0.5** ocular transmission coefficient  
**0.002 m** pupil diameter  
**0.017 m** eye focal length  
**9.3 mrad** sun subtended angle  
 Site Configuration ID: 17218.1869

## Summary of Results Glare with low potential for temporary after-image predicted

PV name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced
	deg	deg	min	min	kWh
PV array 1	5.0	252.0	263	0	842,900,000.0

## Component Data

### PV Array(s)

**Name:** PV array 1  
**Axis tracking:** Fixed (no rotation)  
**Tilt:** 5.0 deg  
**Orientation:** 252.0 deg  
**Rated power:** 404250.0 kW  
**Panel material:** Smooth glass with AR coating  
**Vary reflectivity with sun position?** Yes  
**Correlate slope error with surface type?** Yes  
**Slope error:** 8.43 mrad

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
1	33.822556	-117.245420	1502.88	30.00	1532.88
2	33.820007	-117.245334	1513.37	30.00	1543.37
3	33.820007	-117.245012	1512.56	30.00	1542.56
4	33.822547	-117.245088	1500.93	30.00	1530.93



## Flight Path Receptor(s)

**Name:** FP 1  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 134.2 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.890206	-117.260755	1517.65	50.00	1567.65
2-mile point	33.910352	-117.285767	1563.96	557.15	2121.11



**Name:** FP 10  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 149.7 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.840024	-117.230770	1459.72	50.00	1509.72
2-mile point	33.864977	-117.248374	1487.08	576.10	2063.18



**Name:** FP 11  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 53.8 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.848603	-117.244186	1476.82	50.00	1526.82
2-mile point	33.831536	-117.272319	1646.60	433.68	2080.28



**Name:** FP 12

**Description:**

**Threshold height:** 50 ft

**Direction:** 232.3 deg

**Glide slope:** 3.0 deg

**Pilot view restricted?** Yes

**Vertical view restriction:** 30.0 deg

**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.903537	-117.292587	1638.95	50.00	1688.96
2-mile point	33.921234	-117.265007	1582.27	660.14	2242.41



**Name:** FP 13

**Description:**

**Threshold height:** 50 ft

**Direction:** 335.7 deg

**Glide slope:** 3.0 deg

**Pilot view restricted?** Yes

**Vertical view restriction:** 30.0 deg

**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.867719	-117.297386	1690.23	50.00	1740.23
2-mile point	33.841374	-117.283023	1680.26	613.43	2293.69



**Name:** FP 14

**Description:**

**Threshold height:** 50 ft

**Direction:** 333.0 deg

**Glide slope:** 3.0 deg

**Pilot view restricted?** Yes

**Vertical view restriction:** 30.0 deg

**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.840849	-117.283234	1684.30	50.00	1734.30
2-mile point	33.815076	-117.267439	1832.64	455.11	2287.76



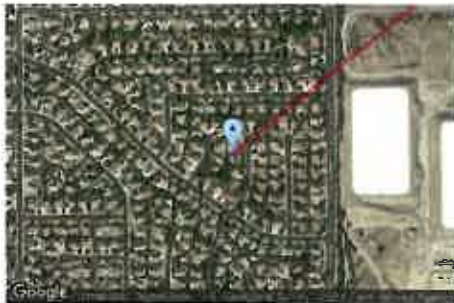
**Name:** FP 15  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 222.6 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.800032	-117.257417	1787.15	50.00	1837.16
2-mile point	33.821322	-117.233848	1456.50	934.11	2390.61



**Name:** FP 16  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 230.8 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.921148	-117.326775	1627.68	50.00	1677.68
2-mile point	33.939433	-117.299754	1545.57	685.57	2231.14



**Name:** FP 17  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 327.8 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.951390	-117.310467	1532.87	50.00	1582.87
2-mile point	33.926911	-117.291898	1532.87	603.46	2136.32



**Name:** FP 18  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 154.6 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.809584	-117.210398	1435.09	50.00	1485.10
2-mile point	33.835698	-117.225352	1455.02	583.53	2038.55



**Name:** FP 2  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 232.0 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.905879	-117.271913	1546.46	50.00	1596.46
2-mile point	33.923659	-117.244411	1591.09	558.83	2149.92



**Name:** FP 3  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 313.1 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.885224	-117.254449	1508.15	50.00	1558.15
2-mile point	33.865480	-117.228976	1466.75	644.85	2111.61





**Name:** FP 4  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 223.8 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.876103	-117.235137	1481.31	50.00	1531.31
2-mile point	33.896961	-117.210992	1511.17	573.59	2084.77



**Name:** FP 5  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 312.9 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.908806	-117.252560	1548.02	50.00	1598.02
2-mile point	33.889113	-117.227023	1511.39	640.09	2151.48



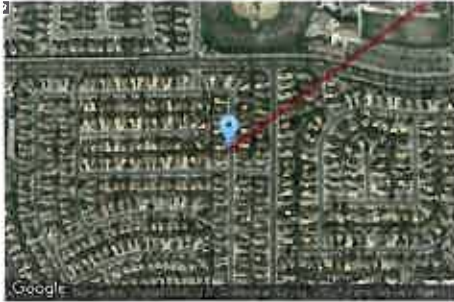
**Name:** FP 6  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 153.0 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.895667	-117.270070	1536.76	50.00	1586.77
2-mile point	33.921440	-117.285875	1530.01	610.21	2140.22



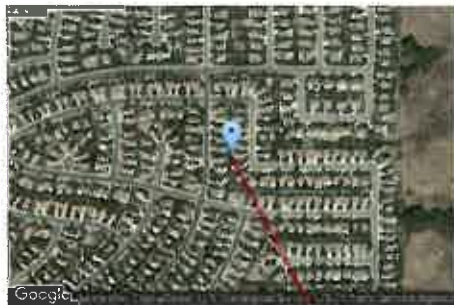
**Name:** FP 7  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 232.8 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.893376	-117.314802	1753.61	50.00	1803.61
2-mile point	33.910840	-117.287010	1555.94	801.13	2357.07



**Name:** FP 8  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 332.4 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.898862	-117.295747	1681.09	50.00	1731.09
2-mile point	33.873237	-117.279595	1598.09	686.46	2284.55



**Name:** FP 9  
**Description:**  
**Threshold height:** 50 ft  
**Direction:** 330.2 deg  
**Glide slope:** 3.0 deg  
**Pilot view restricted?** Yes  
**Vertical view restriction:** 30.0 deg  
**Azimuthal view restriction:** 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.872267	-117.279525	1600.94	50.00	1650.94
2-mile point	33.847165	-117.262225	1544.88	659.52	2204.40



# PV Array Results

## PV array 1 low potential for temporary after-image

Predicted energy output: 842,900,000.0 kWh (assuming sunny, clear skies)

Component	Green glare (min)	Yellow glare (min)
FP: FP 1	0	0
FP: FP 10	0	0
FP: FP 11	0	0
FP: FP 12	0	0
FP: FP 13	0	0
FP: FP 14	0	0
FP: FP 15	263	0
FP: FP 16	0	0
FP: FP 17	0	0
FP: FP 18	0	0
FP: FP 2	0	0
FP: FP 3	0	0
FP: FP 4	0	0
FP: FP 5	0	0
FP: FP 6	0	0
FP: FP 7	0	0
FP: FP 8	0	0
FP: FP 9	0	0

### PV array 1 - Flight Path Receptor (FP 1)

*No glare found*

### PV array 1 - Flight Path Receptor (FP 10)

*No glare found*

### PV array 1 - Flight Path Receptor (FP 11)

*No glare found*

### PV array 1 - Flight Path Receptor (FP 12)

*No glare found*

### PV array 1 - Flight Path Receptor (FP 13)

*No glare found*

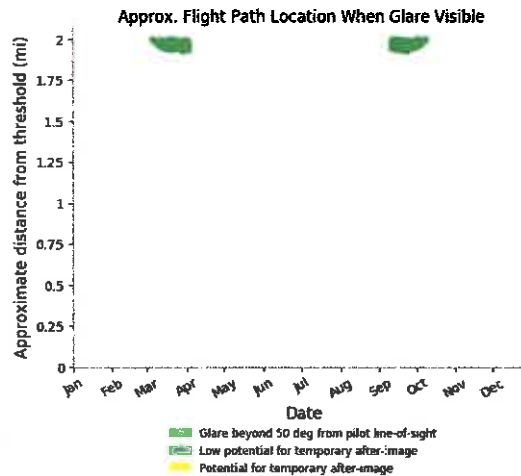
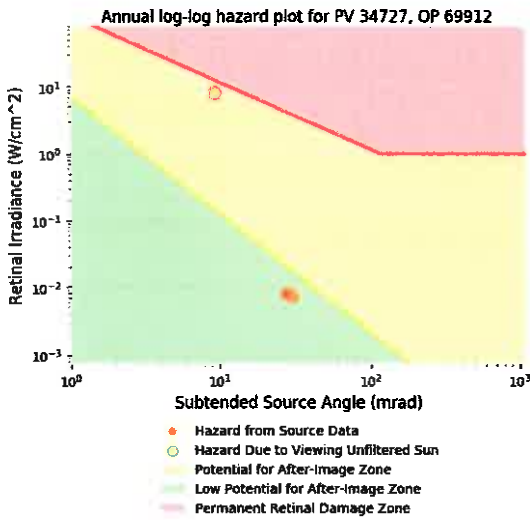
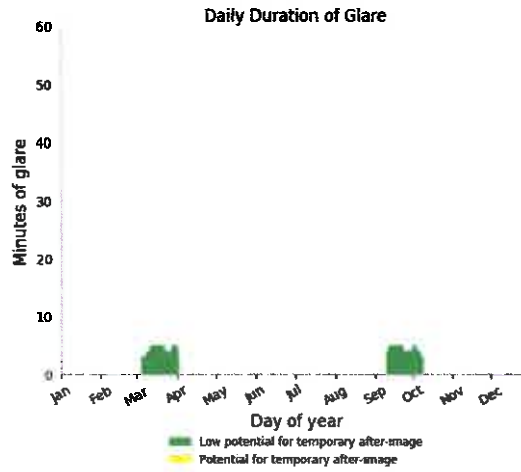
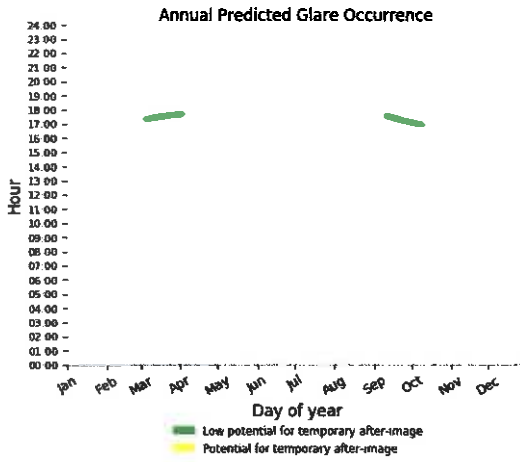
### PV array 1 - Flight Path Receptor (FP 14)

No glare found

### PV array 1 - Flight Path Receptor (FP 15)

PV array is expected to produce the following glare for observers on this flight path:

- 263 minutes of "green" glare with low potential to cause temporary after-image.
- 0 minutes of "yellow" glare with potential to cause temporary after-image.



### PV array 1 - Flight Path Receptor (FP 16)

No glare found

### PV array 1 - Flight Path Receptor (FP 17)

No glare found

**PV array 1 - Flight Path Receptor (FP 18)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 2)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 3)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 4)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 5)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 6)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 7)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 8)**

*No glare found*

**PV array 1 - Flight Path Receptor (FP 9)**

*No glare found*

## Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actual values may differ.
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.











MIKE LARA  
BUILDING OFFICIAL

COUNTY OF RIVERSIDE  
DEPARTMENT OF BUILDING AND SAFETY

PERMIT APPLICATION

DATE

<b>Permit Description-</b> Commercial Solar				Permit # BEL 1800836			
Jobsite Address 317-240-008; 013; 015; 032; & 035					Unit/Ste/Space #		
City Riverside		State CA		Zip Code		Assessor's Parcel Number	
<b>Property Owner's</b> Name- Last, First Name Southwest Premier Properties, LLC					Phone Number (602) 875-5351		
Mailing Address (if different) PO Box 1397				City Tolleson		State Arizona	Zip Code 85351
<b>APPLICANT INFORMATION</b>							
<b>Note:</b> As the applicant you will be financially responsible for <b>ALL</b> supplemental billings, fees and refunds for any and all permits per Ordinance 457. Any changes in applicant information must be made in writing by the original applicant to the Building Department. (ref. form 284-92)							
<b>Applicant- Company Name</b> Tom Malone				<b>Agent-</b>			
Mailing Address 25185 Madison Ave #A			City Murrieta		State Ca	Zip Code 92562	
Phone Number ( 951 ) 414-5132			Email tmalone@trojansolar.com				
<b>Check one:</b> _____ <b>OWNER BUILDER</b> <input checked="" type="checkbox"/> <b>CONTRACTOR</b>							
<b>Contractor -Name</b> CSS Construction				<b>Type</b> B		<b>License #</b> 1006247	
Mailing Address 27576 Commerce Center Dr Ste 110				City Temecula		State CA	Zip Code 92590
Phone Number ( 949 ) 789-7990			Email tmalone@trojansolar.com				
<b>Architect or Engineer</b> KURT ALAN WITTMAN					<b>License#</b> 16369		
Mailing Address 1781 PINNACLE COURT				City VISTA		State CA	Zip Code 92083
Phone Number (      )				Email robert@axissolardesign.com			
<b>FOR OFFICE USE ONLY</b>							
Planning Case #				Legal			
Legal Zone		SP/PA	Lot Size	Setbacks-Front	Left	Right	Rear
High Fire - Y- N		TG	SEPTIC SEWER	Assoc. Permits/CV BNR 170086			
Flood- Y- N							

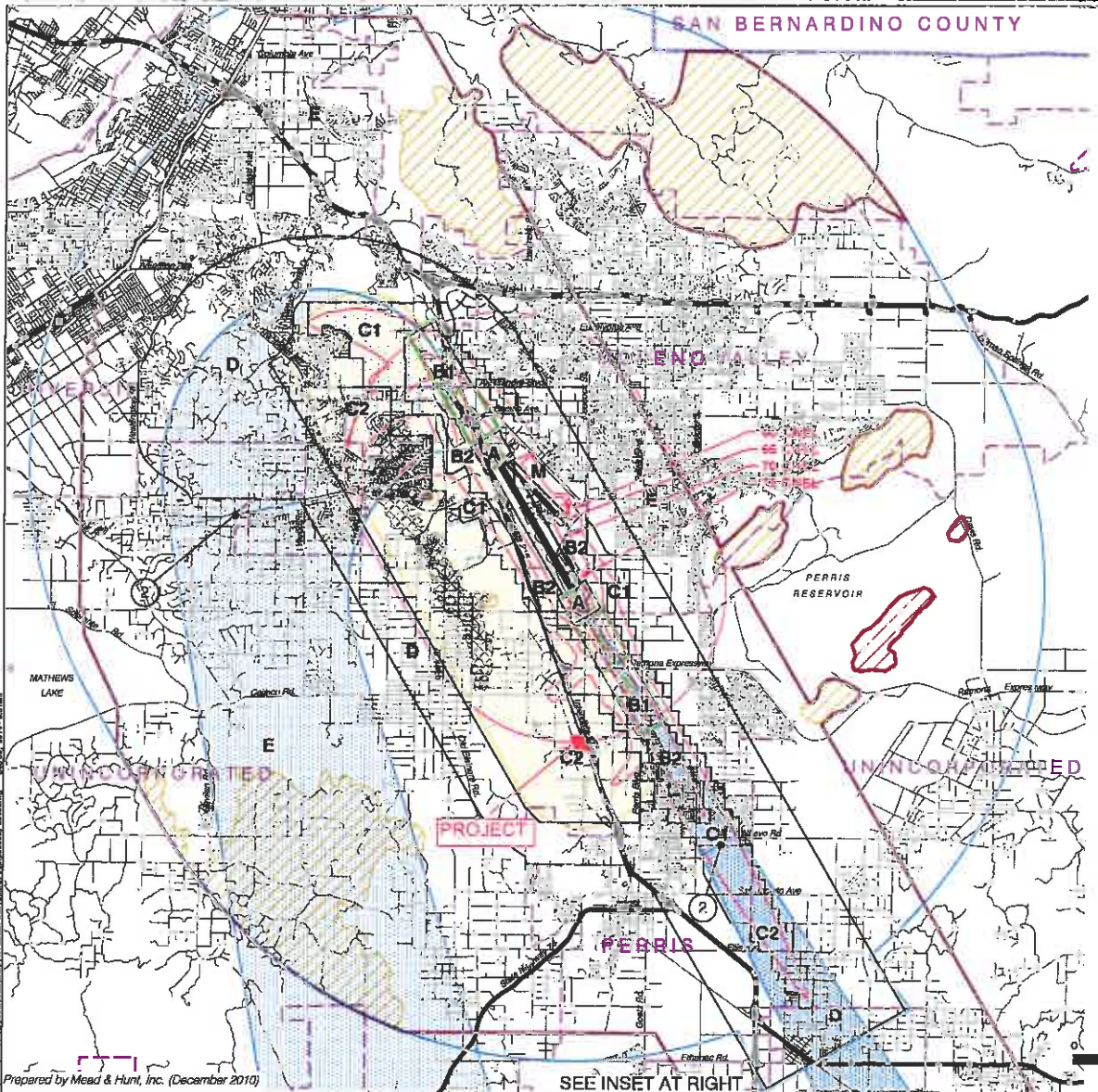
284-199 (Rev. 04-2016)

4080 Lemon Street • 9th Floor • Riverside • CA • 92502-1629

Telephone: 951-955-1800 • Fax: 951-955-1806

www.rctlma.org

BEL Land use -  
Prior to issuance.



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M

**Noise and Overflight Compatibility Factors**

- 75 dB CNEL
- 70 dB CNEL
- 65 dB CNEL
- 60 dB CNEL

Projected Activity Level (75,104 operations)

- General Approach/Departure Traffic Pattern Envelope (approximately 80% of aircraft overflights estimated to occur within these limits)
- Closed Circuit Traffic Pattern Envelope (approximately 80% of large aircraft overflights estimated to occur within these limits)

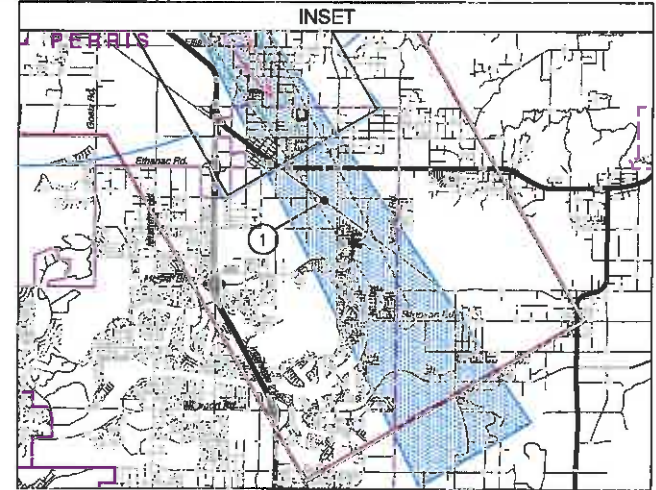
**Safety and Airspace Compatibility Factors**

- Accident Potential Zones
- FAR Part 77 Surface Limits
- Military Outer Horizontal Surface
- Civilian Conical Surface
- Terrain Penetration of FAR Part 77 Surfaces
- Military
- Civilian

**Boundary Lines**

- March Air Reserve Base / Inland Port Airport
- March Joint Powers Authority Property Line
- City Limits

- Point at which aircraft on Runway 32 ILS approach descend below 5,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- Point at which departing aircraft typically reach 3,000 feet above runway end.



Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)

Exhibit MA-5

**Compatibility Factors Map**  
 March Air Reserve Base / Inland Port Airport



Prepared by Mead & Hunt, Inc. (December 2010)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

## **NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California

DATE OF HEARING: May 10, 2018

TIME OF HEARING: 9:00 A.M.

### **CASE DESCRIPTION:**

ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey) – County of Riverside Permit No. BEL1800836 (Building Electrical Permit). A proposal to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of BNSF rail line and I-215 Freeway, and southerly of Walnut Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Charles de Chambeau of the County of Riverside Building & Safety Department at (951) 955-2036.



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1302MA18 DATE SUBMITTED: 2-28-18

March  
C2

### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant: Southwest Premier Properties, LLC Phone Number: 602-875-5351  
 Mailing Address: PO Box 1397 Tolleson, Arizona 85351 Email: \_\_\_\_\_

Representative: Teresa Harvey Phone Number: 520-470-9043  
 Mailing Address: PO Box 1397 Tolleson, Arizona 85351 Email: divinamgmt@gmail.com

Property Owner: Same as Applicant Phone Number: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_ Email: \_\_\_\_\_

### LOCAL JURISDICTION AGENCY

Local Agency Name: Riverside County 'BUILDING & SAFETY' Phone Number: 951-955-2036  
 Staff Contact: CHARLES DE CHAMBEAU Email: \_\_\_\_\_  
 Mailing Address: 4080 Lemon Street PO Box 1409, Riverside, CA 92508 Case Type: \_\_\_\_\_

Local Agency Project No: BEL-1800836

General Plan / Specific Plan Amendment  
 Zoning Ordinance Amendment  
 Subdivision Parcel Map / Tentative Tract  
 Use Permit  
 Site Plan Review/Plot Plan  
 Other

### PROJECT LOCATION

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address: Harvill and Placentia

Assessor's Parcel No.: 317-240-008; 013; 015; 032; & 035 Gross Parcel Size: 10.2 ac

Subdivision Name: \_\_\_\_\_ Nearest Airport and distance from Airport: March AFB

Lot Number: \_\_\_\_\_

### PROJECT DESCRIPTION

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe): Vacant

Proposed Land Use (describe)	CFL Trucking Terminal, including loading dock and administrative offices; add roof too Solar Panel.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses (See Appendix C)	Hours of Operation	Primary hours will be 10:00 am until 7 - 8:00 pm.	
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1535	ft.
	Height of buildings or structures (from the ground)	30	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
	If yes, describe	Installing a solar array on roof of building, however glare analysis shows little to no impact	

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. . . . . Completed ALUC Application Form
  1. . . . . ALUC fee payment
  1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
  1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  1. . . . . CD with digital files of the plans (pdf)
  1. . . . . Vicinity Map (8.5x11)
  1. . . . . Detailed project description
  1. . . . . Local jurisdiction project transmittal
  3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
  3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \*

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.5

**HEARING DATE:** May 10, 2018

**CASE NUMBER:** ZAP1054HR18 – Lansing Stone Star, LLC (Representative: Trip Hord)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** CZ7833 (Change of Zone); TR36504 (Tentative Tract Map)

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the proposed Change of Zone be found **CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan and that the proposed Tentative Tract Map be found **CONDITIONALLY CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**PROJECT DESCRIPTION:** The applicant proposes to divide 162 acres into 527 single family residential lots, an 8.5-acre park lot, 4.7-acre detention basin lot, and 18-acre open space lot. The applicant also proposes to change the zoning of the site from Light Agriculture 10-acre minimum (A-1-10), Heavy Agriculture 10-acre minimum (A-2-10), Residential Agricultural 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). (Also proposed is an offsite 4.54 acre water quality basin on the adjacent 99 acre parcel located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road.)

**PROJECT LOCATION:** The site is located on the northeast corner of Winchester Road and Stetson Avenue within the unincorporated community of Homeland/Green Acres (the proposed offsite water quality basin is located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road), approximately 11,490 feet westerly of the existing southwesterly terminus of Runway 5-23 at Hemet-Ryan Airport.

**LAND USE PLAN:** 2017 Hemet-Ryan Airport Land Use Compatibility Plan

- a. Airport Influence Area: Hemet-Ryan Airport
- b. Land Use Policy: Compatibility Zones D and E

c. Noise Levels: Outside the 55 CNEL contour

**BACKGROUND:**

Residential Density: Pursuant to the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, the project site is located within Compatibility Zones D and E. (A portion of the site is located outside the airport influence area.) Pursuant to the Hemet-Ryan ALUCP, residential densities greater than or equal to 3.0 dwelling units per net acre and residential densities less than or equal to one dwelling unit per 2 ½ acres are permitted within Compatibility Zone D. Residential density is not restricted in Compatibility Zone E. The proposed 527 single family residential lots are located within Zone E. The proposed offsite water quality basin is located within Zones D and E. Therefore, the project is consistent with Zones D and E residential density criteria.

Prohibited and Discouraged Uses: The only uses specifically prohibited in Compatibility Zones D and E of the Hemet-Ryan Airport Influence Area are highly-noise sensitive outdoor nonresidential uses and hazards to flight, of which none are proposed.

Noise: The site is located outside the 55 CNEL contour range from aircraft noise.

Part 77: The elevation of Runway 5-23 at its existing westerly terminus is approximately 1,507 feet above mean sea level (AMSL). At a distance of approximately 11,490 feet from the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would normally be required for any structures with top of roof exceeding 1,621.9 feet AMSL. The highest proposed pad elevation is 1,607 feet AMSL, and the proposed maximum building height is 25 feet, for a maximum top point elevation of 1,632 feet AMSL, which would exceed the notification threshold. A submittal to the FAA OES has been made, and the project has been assigned Aeronautical Study Number 2018-AWP-7410-OE. At the time of writing of this staff report, no determination has been made, but the study is in a “Work in Progress” status.

Open Area: The site is located within Airport Compatibility Zones D and E of the Hemet-Ryan Airport Influence Area. Compatibility Zone D requires 10% of open area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. Compatibility Zone E has no open area requirements. The proposed 527 single family residential lots are located within Zone E. The proposed offsite 4.4 acre water quality basin is located within Zone D; however, as the size of the basin is less than 10 acres, open area need not be assessed at this time.

**CONDITIONS:**

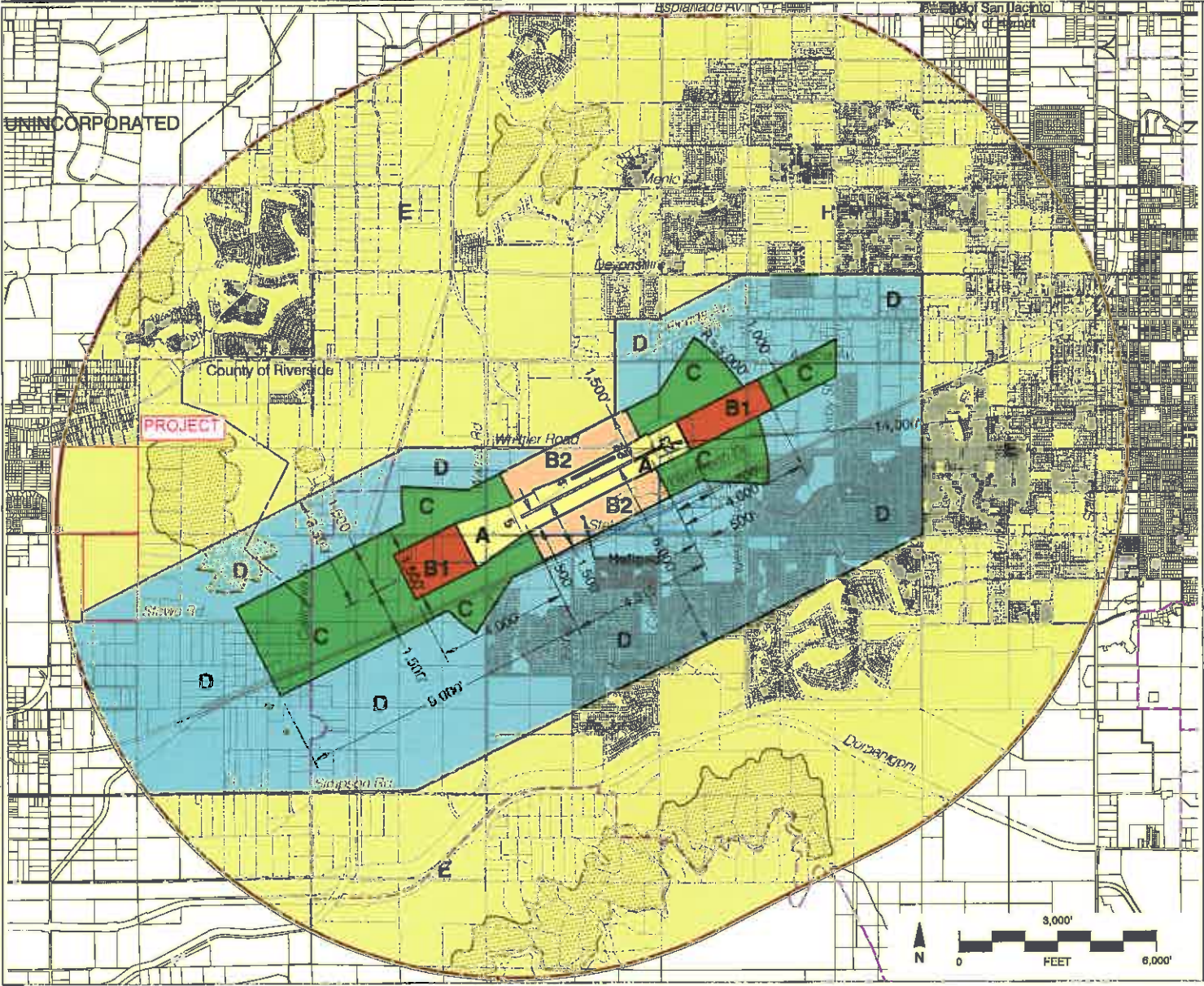
1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.



2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Harvest Valley/Winchester Area Plan:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight.
4. The attached notice shall be provided to all prospective purchasers of the proposed lots and to tenants of the homes thereon.
5. The proposed water quality basin and the detention basin shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

# **NOTICE OF AIRPORT IN VICINITY**

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

**Boundary Lines**

- Airport Property Line
- City Limits
- City Sphere of Influence

**Note**

Airport Influence Area boundary measured from a point 200 feet beyond ends of proposed future 4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of existing 4,315 foot runway.

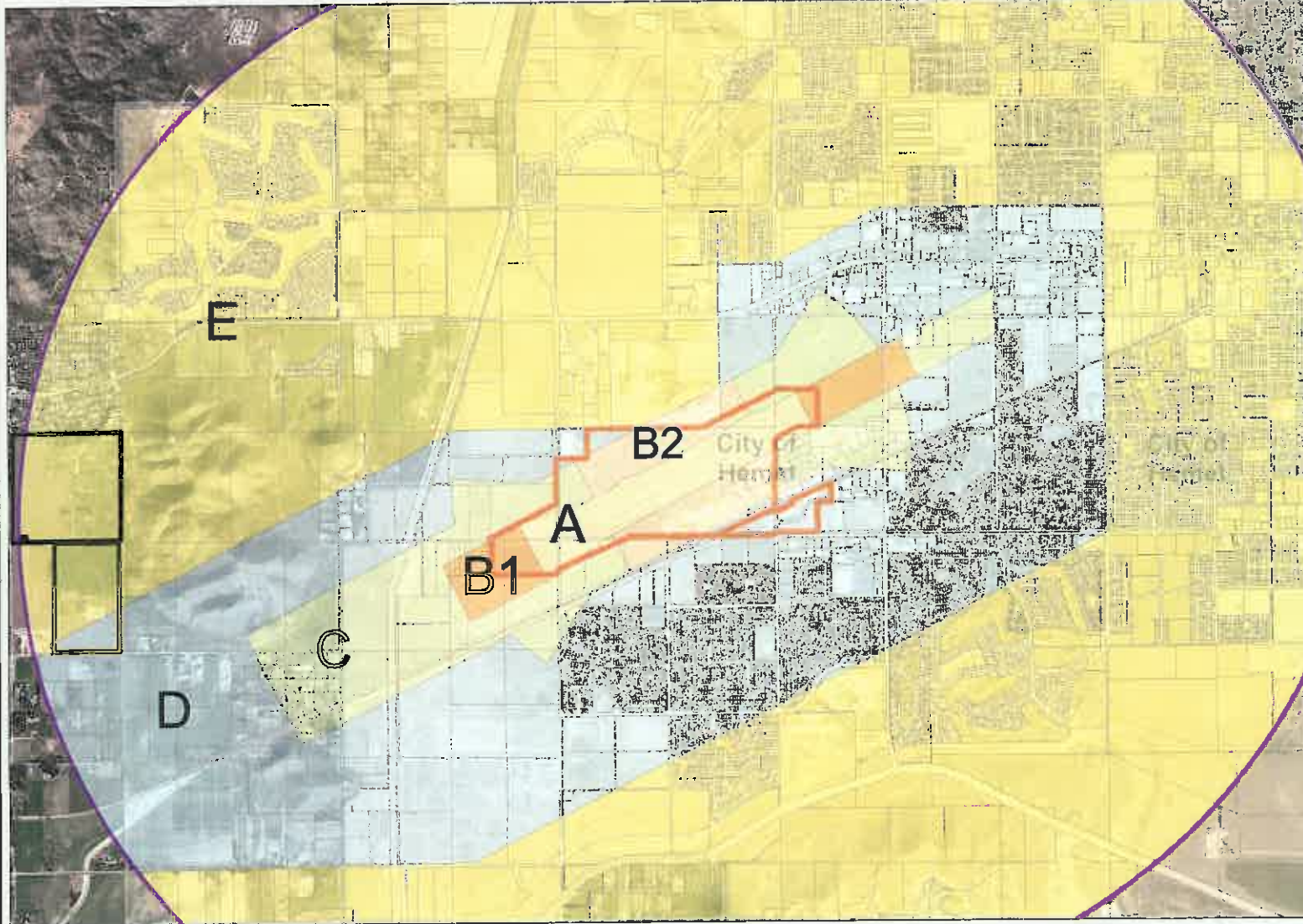
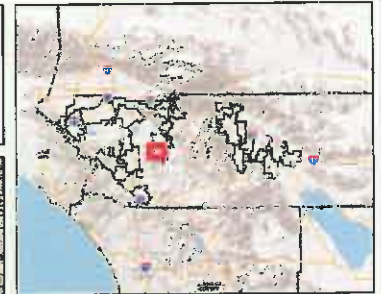
**Riverside County**  
**Airport Land Use Commission**  
**Hemet-Ryan Airport**  
**Land Use Compatibility Plan**  
*(Adopted February 9, 2017)*

Map HR-1

**Compatibility Map**  
**Hemet-Ryan Airport**

K:\11 - 011132\011132 - SADD\Feasibility Study 2016.dwg    Fe. 29, 2017 - 6:07pm

# My Map



**Legend**

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 4,517 9,034 Feet



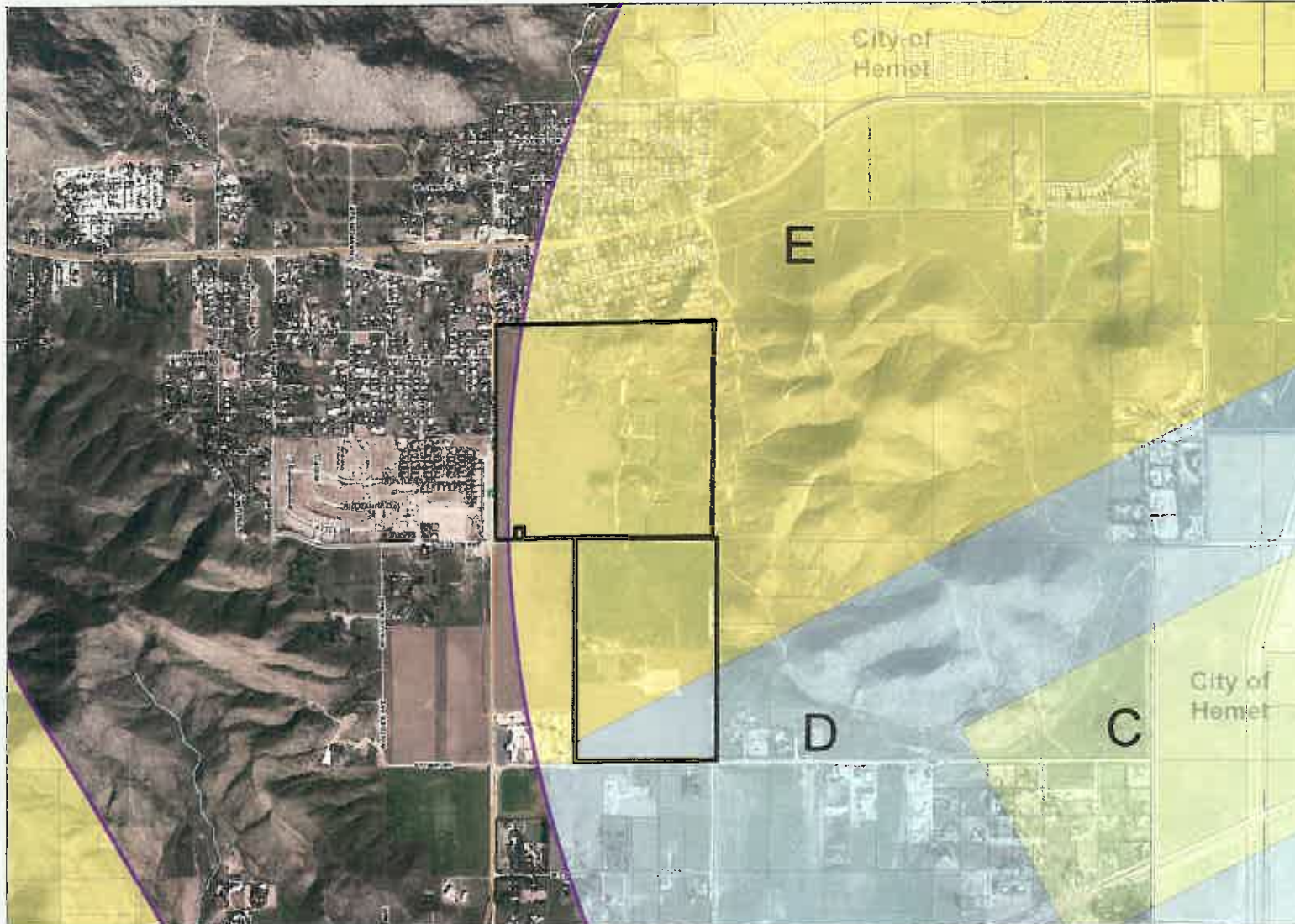
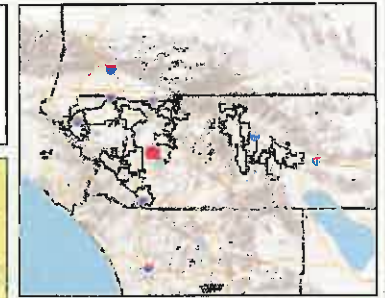
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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**Notes**

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 2,259 4,517 Feet



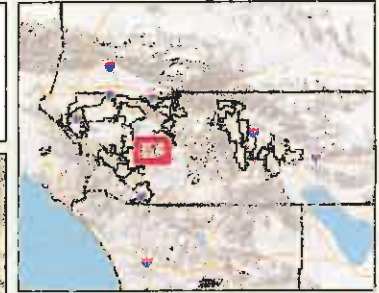
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- adjacent\_highways**
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



0 9,034 18,069 Feet



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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



0 2,259 4,517 Feet



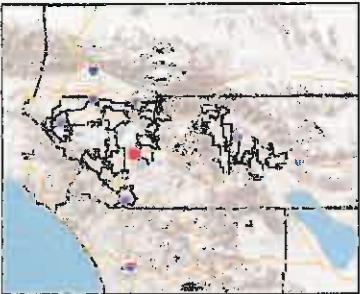
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© Riverside County RCIT GIS

## Notes

# My Map



### Legend

- City Boundaries
- Cities
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies**
- Lakes
- Rivers



0 1,819 3,639 Feet



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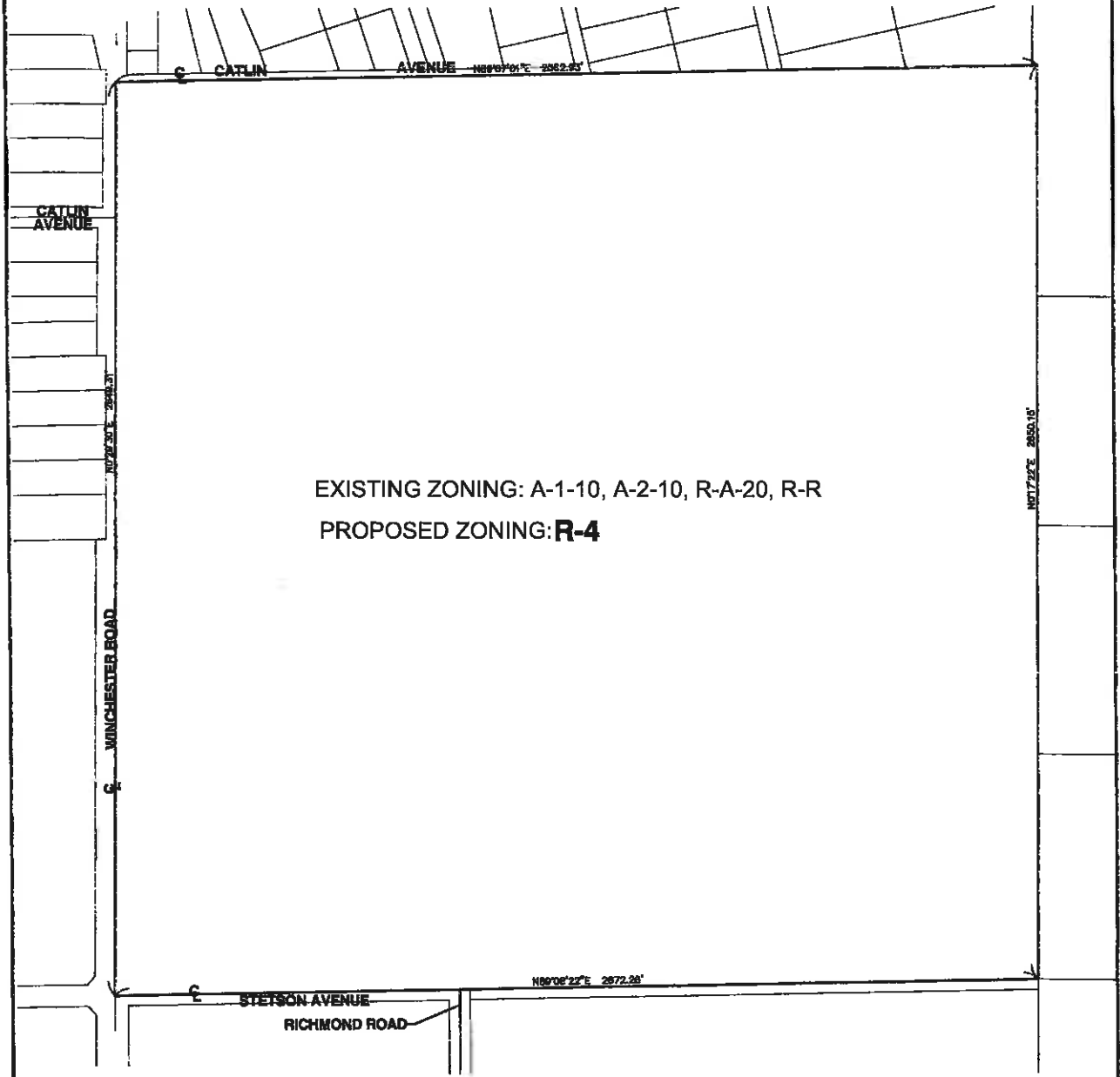
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© Riverside County RCIT GIS

### Notes

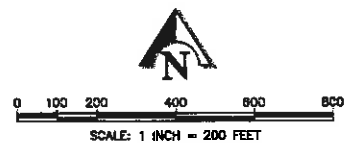


HOMELAND AREA  
SECTION 15, T5S, R2W, S.B.M.



EXISTING ZONING: A-1-10, A-2-10, R-A-20, R-R  
PROPOSED ZONING: **R-4**

**R-4** PLANNED RESIDENTIAL



MAP NO. 2  
**CHANGE OF OFFICIAL ZONING PLAN  
AMENDING  
MAP NO. 2 ORDINANCE NO. 348**  
CHANGE OF ZONE CASE NO. 7833  
ADOPTED BY ORDINANCE NO. 348  
(DATE: \_\_\_\_\_)  
RIVERSIDE COUNTY BOARD OF SUPERVISORS

ASSESSORS PARCEL NO. 455-250-012 & 013

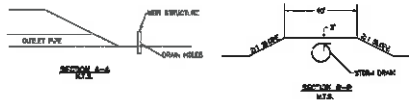
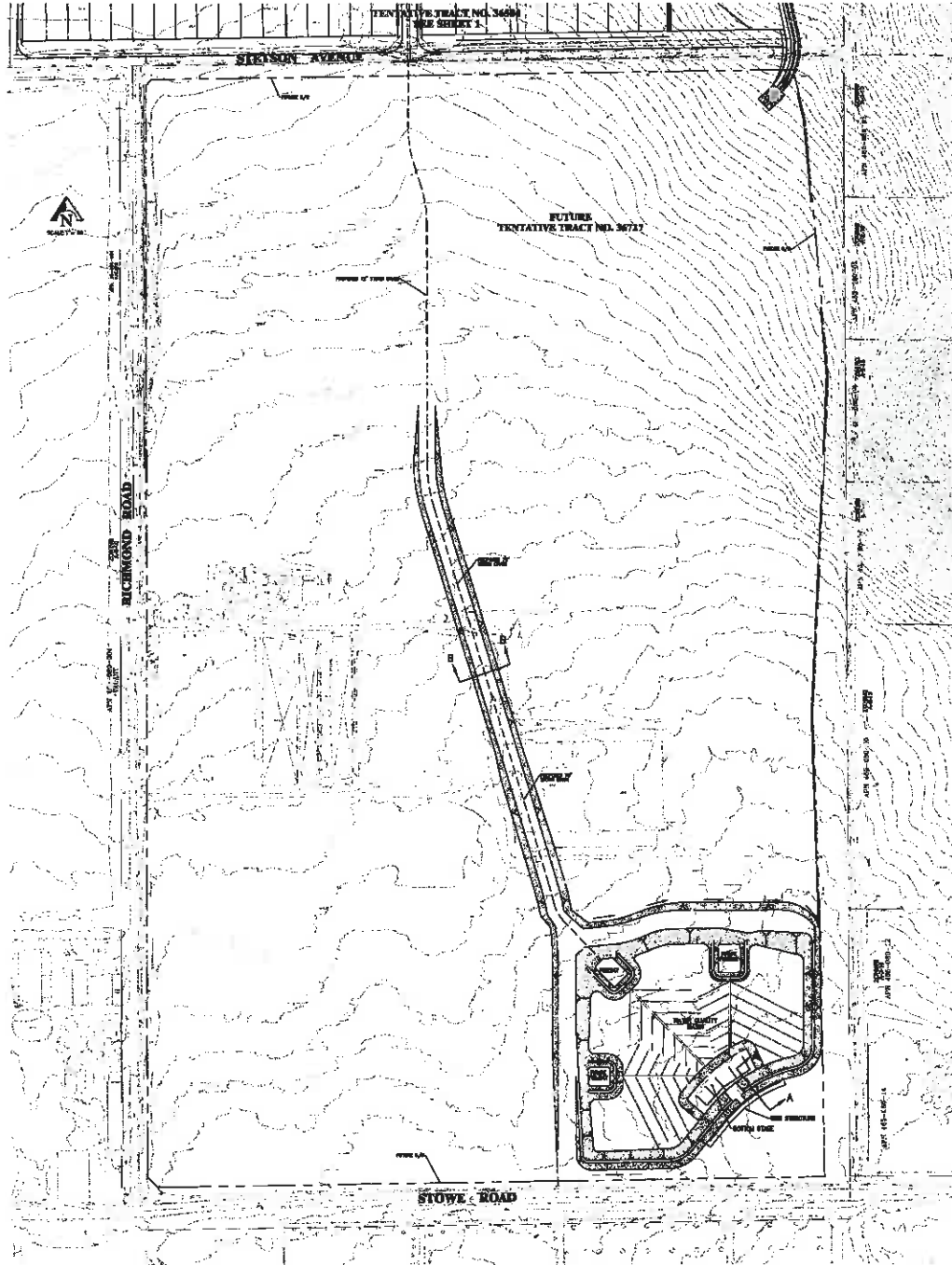
PLOT DATE: 3/12/18



# TENTATIVE TRACT NO. 36504

BEING A MEMORANDUM OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 8  
 SOUTH, RANGE 8 WEST, SAN BERNARDINO MERIDIAN,  
 SECTION 16, T8S, R8W

SHEET 2 OF 2



SECTION 16, T8S, R8W

**LAUNING**

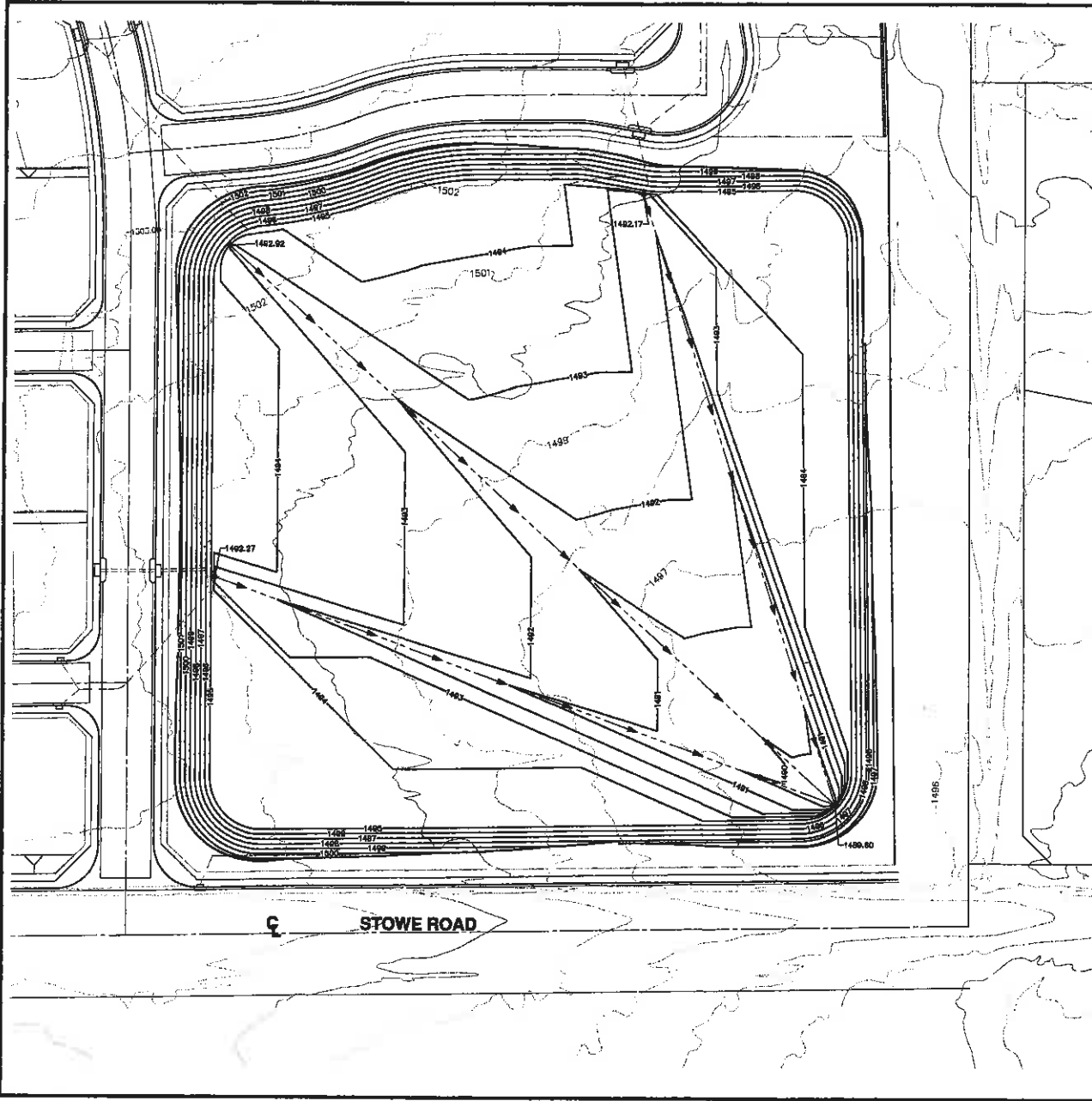
U. W. J. McKEEVER, INC.  
 CIVIL ENGINEERS  
 1000 N. GARDEN ST.  
 ANAHEIM, CALIF.

DATE: 11/15/70

SCALE: AS SHOWN

PLAT NO. 36504

4.54 ACRES  
BASIN SIZE



STOWE ROAD



**W.J. McKEEVER, INC.**  
CIVIL ENGINEERING  
100 E. WASHINGTON STREET, SUITE 200  
COSTA MESA, CALIFORNIA 92626  
TEL: (714) 832-6945  
FAX: (714) 832-6945

**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14<sup>th</sup> Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:                 Riverside County Administration Center  
  4080 Lemon St., 1<sup>st</sup> Floor Board Chambers  
  Riverside, California

DATE OF HEARING:    May 10, 2018

TIME OF HEARING:    9:00 A.M.

**CASE DESCRIPTION:**

ZAP1054HR18 – Lansing Stone Star, LLC (Representative: Trip Hord) – County of Riverside Planning Case Nos. CZ7833 (Change of Zone), TR36504 (Tentative Tract Map). The applicant proposes to divide 162 acres located on the northeast corner of Winchester Road and Stetson Avenue into 527 single family residential lots, including an 8.5 acre park lot, a 4.7 acre detention basin lot, and an 18 acre open space lot. The applicant also proposes to change the zoning of the site from Light Agriculture 10-acre minimum (A-1-10), Heavy Agriculture 10-acre minimum (A-2-10), Residential Agricultural 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). (Also proposed is an offsite 4.54 acre water quality basin on the adjacent 99 acre parcel located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road.) (Airport Compatibility Zones D and E of the Hemet-Ryan Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Russell Brady of the County of Riverside Planning Department at (951) 955-3025.



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1054HR18      DATE SUBMITTED: March 28, 2018

Hem Ryan

### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Lansing Stone Star, LLC	Phone Number 858-523-0719
Mailing Address	12671 High Bluff Dr. Ste 150 San Diego, CA 92130	Email wroberts@lansingcompanies.com
Representative	Trip Hord	Phone Number 951-684-9615
Mailing Address	P.O. Box 1235 Riverside CA 92502	Email ambrosehord@gmail.com
Property Owner	Lansing Stone Star, LLC	Phone Number 858-523-0719
Mailing Address	12671 High Bluff Dr. Ste 150 San Diego, CA 92130	Email khauser@lansingcompanies.com

### LOCAL JURISDICTION AGENCY

Local Agency Name	County of Riverside	Phone Number 951-955-3025
Staff Contact	Russell Brady	Email rbrady@rivco.org
Mailing Address	4080 Lemon St. 12th Flr Riverside CA 92502	Case Type Change of Zone 7833
Local Agency Project No	CZ 07833 TR 36504	<input type="checkbox"/> General Plan / Specific Plan Amendment <input checked="" type="checkbox"/> Zoning Ordinance Amendment <input checked="" type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other

### PROJECT LOCATION

*Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways*

Street Address	26774 Richmond Rd. Winchester CA 92545	Gross Parcel Size 162 Acres
Assessor's Parcel No.	458-250-012; 458-250-013, <u>465-060-005</u>	Nearest Airport and distance from Airport
Subdivision Name		Hemet Ryan
Lot Number		

### PROJECT DESCRIPTION

*If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed*

Existing Land Use (describe)	Vacant farm land; flat to rolling topography

Proposed Land Use (describe)	Change of Zone to R-4 (No GPA)		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	527 SFR Lots	
For Other Land Uses (See Appendix C)	Hours of Operation		
	Number of People on Site	Maximum Number	
	Method of Calculation		
Height Data	Site Elevation (above mean sea level)	1645 Max; 1554 Low	ft.
	Height of buildings or structures (from the ground)	25 Ft	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	If yes, describe		

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
- 1. . . . . Completed ALUC Application Form ✓
  - 1. . . . . ALUC fee payment ✓
  - 1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps) ✓
  - 1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  - 1. . . . . CD with digital files of the plans (pdf) ✓
  - 1. . . . . Vicinity Map (8.5x11)
  - 1. . . . . Detailed project description •
  - 1. . . . . Local jurisdiction project transmittal - *PC Agenda - 217.*
  - 3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner ✓
  - 3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (**only required if the project is scheduled for a public hearing Commission meeting**). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. \* ✓

\* Projects involving heliports/helicopter landing sites will require additional noticing procedures.

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

#### 4.1 Director's Approvals.

- A. During the period of March 19, 2018 through April 13, 2018, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed two non-legislative cases within Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area and issued determinations of consistency.

ZAP1305MA18 (March Air Reserve Base/Inland Port, Zone D) pertains to County of Riverside Case No. PM37378 (Tentative Parcel Map), a proposal to divide 5.01 acres located southerly of Sunset Avenue, northerly of Pooley Drive, and westerly of Webster Avenue in unincorporated Mead Valley into four (4) lots. The site is located within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (March AIA), and the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (March ALUCP) does not restrict residential density in Zone D. Although the project is located within the March AIA, the actual nearest runway is Runway 15-33 at Perris Valley Airport. The northerly terminus of this runway is located 13,685 feet from the project site. At this distance, given the runway elevation of 1,413 feet above mean sea level (AMSL), Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,549.8 feet AMSL. The site elevation is 1,620 feet AMSL, and the parcel map depicts building pads for new structures, although no structures are being proposed at this time. Review by the FAA OES is not a prerequisite to land division, but will be required prior to construction of new homes or any other structures on the parcels. A condition has been included requiring that the permittee obtain a "Determination of No Hazard to Air Navigation" letter from the FAA OES prior to issuance of building permits for any new structures on the property. ALUC Director Simon Housman issued a determination of consistency for this project on March 29, 2018.

ZAP1306MA18 (March, Zone E) pertains to County of Riverside Case No. PM33729 (Tentative Parcel Map), a proposal to divide 9.11 gross (8.31 net) acres located at 18000 Alder Avenue (along the easterly side of Alder Avenue, northerly of Avenue B and southerly of Markham Street in the unincorporated Glen Valley area and the Cajalco Zoning District) into four (4) one-acre (or larger) lots. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area, where residential density is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 26,100 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review could be required for any structures with a top of roof elevation exceeding 1,796 feet AMSL. Proposed pad elevations range from 1,537 to 1,550 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 29, 2018.



- B. Additionally, ALUC Director Simon Housman reviewed projects involving both legislative cases and associated non-legislative cases within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port pursuant to ALUC Resolution No. 2015-01, and issued determinations of consistency.

ZAP1307MA18 includes one legislative case and two non-legislative cases in the City of Menifee. City Case No. 2015-252 (Change of Zone) is a proposal to rezone 14.34 acres located on the southeast corner of McLaughlin Road and Barnett Road from One-Family Dwellings – 10,000 square foot minimum lot size (R-1-10,000) to General Residential (R-3). The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (March AIA), where residential density is not restricted. City of Menifee Case No. 2015-251 (Plot Plan) proposes to establish a 126-unit, two-story detached residential townhouse development on this site, while Case No. 2015-250 (Tentative Tract Map No. 36937) would divide the site into one airspace condominium map in order to enable sale of condominium interests in the individual units. Although the project is located within the March AIA, the actual nearest runway is Runway 15-33 at Perris Valley Airport. The southerly terminus of this runway is located approximately 10,880 feet from the project site. At this distance, given the runway elevation of 1,415 feet above mean sea level (AMSL), Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,524 feet AMSL. The site has a maximum pad elevation of 1,428 feet AMSL. With a maximum building height of 24 feet, the top point elevation would be 1,452 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on March 29, 2018.

ZAP1309MA18 includes two legislative cases and one non-legislative case in the City of Menifee. City Case No. 2016-140 (Specific Plan Amendment) is a proposal to amend Menifee Valley Ranch Specific Plan No. 301 (Amendment No. 3) as it applies to Planning Area 41, consisting of 19.32 acres located westerly of Briggs Road, northerly of McCall Boulevard, and easterly of Heritage Lake Drive. The proposed amendment would replace Planning Area 41, which is currently designated for Commercial uses, by dividing it into Planning Area 41A (13.9 acres) to be designated Medium High Density Residential (4,500 square foot minimum lot size) and 41B (1.1 acres) to be designated Open Space – Recreation. The proposal allows for the development of an 80-home tract map within Planning Area 41A and results in an increase in the overall dwelling unit count of the Specific Plan from 4,359 to 4,407 units. Additionally, the Specific Plan Amendment makes other changes to the Specific Plan to reflect the approvals of other implementing projects that have already occurred. City Case No. 2017-140 (Change of Zone) is a proposal to amend the City's Zoning Ordinance for Specific Plan No. 301, making the necessary changes to reflect the changes in land use referenced above. City Case No. 2016-139 (Tentative Tract Map No. 37136) is a proposal to divide the aforementioned 19.32-acre site into 80 single-family residential lots. The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (March AIA), where residential density is not restricted. Although the project site is within the March AIA, the actual nearest runway is Runway 15-33 at Perris Valley Airport. However, the closest point of that runway is located over 20,000 feet from the development project site. Additionally, the runway at March Air Reserve Base/Inland Port Airport is more than 40,000 feet away. Therefore, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on April 12, 2018.

- C. Additionally, ALUC Director Simon Housman reviewed the following jurisdiction-initiated non-impact legislative cases pursuant to ALUC Resolution No. 2011-02 and issued determinations of consistency.

ZAP1027RG18 (Countywide unincorporated areas) pertains to County of Riverside Case No. GPA1227 (General Plan Amendment), a proposal to amend the provisions of the County's General Plan Land Use Element, specifically Policies LU 21.7 and LU 22.7 in the Rural and Rural Community sections and the "sidebar" definition of "small-scale commercial uses" on page LU-49. The current policies limit the types of such uses allowable within the Rural Community and Rural Foundation Component designations to those uses allowable in the Rural Commercial (C-R) zone of Riverside County Ordinance No. 348 and further require such uses to: (1) comply with the development standards of that zone; (2) be between 0.5 and 2.5 acres in size; (3) be protective of viewsheds; (4) be located "adjacent to an arterial, a mountain arterial, or a major highway," and (5) be located a minimum distance of two miles from any land designated Commercial. The proposed amendment deletes or modifies these restrictions, requiring only that the small-scale commercial uses are adjacent to, and can safely be accessible from, a General Plan designated roadway, are designed to be compatible with the surrounding uses and rural nature of the area, and are consistent with the applicable zoning requirements and development standards. ALUC Director Simon Housman issued a determination of consistency for this project on April 5, 2018.

ZAP1026RG18 (Citywide – portions of March, Riverside Municipal, and Flabob Airport Influence Areas) pertains to City of Riverside Case No. P18-0074 (General Plan Amendment – text and tables of Housing Element), a proposal to update the tables and accompanying text of the "5<sup>th</sup> Cycle" 2014-2021 Housing Element, assessing the effectiveness of the previous Element over the course of recent years, amending program descriptions, and making editing changes. No policy changes or changes to land use designations are proposed through this "Mid-Cycle" update. As this proposal will not increase density of residential use relative to the previously reviewed "5<sup>th</sup> Cycle" Housing Element or introduce new uses within any zoning classification, there is no possibility for having an impact on the safety of air navigation. Therefore, ALUC Director Simon Housman issued a determination of consistency for this project on April 12, 2018.

- 4.2 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport
- 4.3 Policy Regarding Complex Speculative Commercial Projects

Y:\ALUC\ALUC Administrative Items\ADmin Item 05-10-18.doc



# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

March 29, 2018

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vacancy

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Lake Elsinore

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Desert Hot Springs

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Palm Springs

**STAFF**

Director  
Simon A. Housman

John Guerin  
Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor,  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Desiree Bowie, Project Planner  
County of Riverside Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501  
(VIA HAND DELIVERY)

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

File No.: ZAP1305MA18  
Related File No.: PM37378 (Tentative Parcel Map)  
APN: 322-280-005

Dear Ms. Bowie:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PM37378 (Tentative Parcel Map), a proposal to divide 5.01 acres located southerly of Sunset Avenue, northerly of Pooley Drive, and westerly of Webster Avenue in unincorporated Mead Valley into four (4) lots.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port AIA, the actual nearest runway is Runway 15-33 at Perris Valley Airport. The northerly terminus of this runway is located 13,685 feet from the project site. At this distance, given the runway elevation of 1,413 feet above mean sea level (AMSL), Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,549.8 feet AMSL. The site elevation is 1,620 feet AMSL, and the parcel map depicts building pads for new structures, although no structures are being proposed at this time. Review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division, but will be required prior to construction of new homes or any other structures on the parcels. A condition has been included requiring that the permittee obtain a "Determination of No Hazard to Air Navigation" letter from the FAA OES prior to issuance of building permits for any new structures on the property.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

# AIRPORT LAND USE COMMISSION

## CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Mead Valley Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and tenants of any homes thereon, and shall be recorded as a deed notice.
4. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The following uses are specifically prohibited at this location: trash transfer stations that are open on one or more sides; commercial composting operations; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; aquaculture; incinerators.
6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.


## AIRPORT LAND USE COMMISSION

7. Prior to issuance of building permits for any structures, the permittee shall provide to the Riverside County Department of Building and Safety a "Determination of No Hazard to Air Navigation" letter from the Federal Aviation Administration Obstruction Evaluation Service.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



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Simon A. Housman, ALUC Director

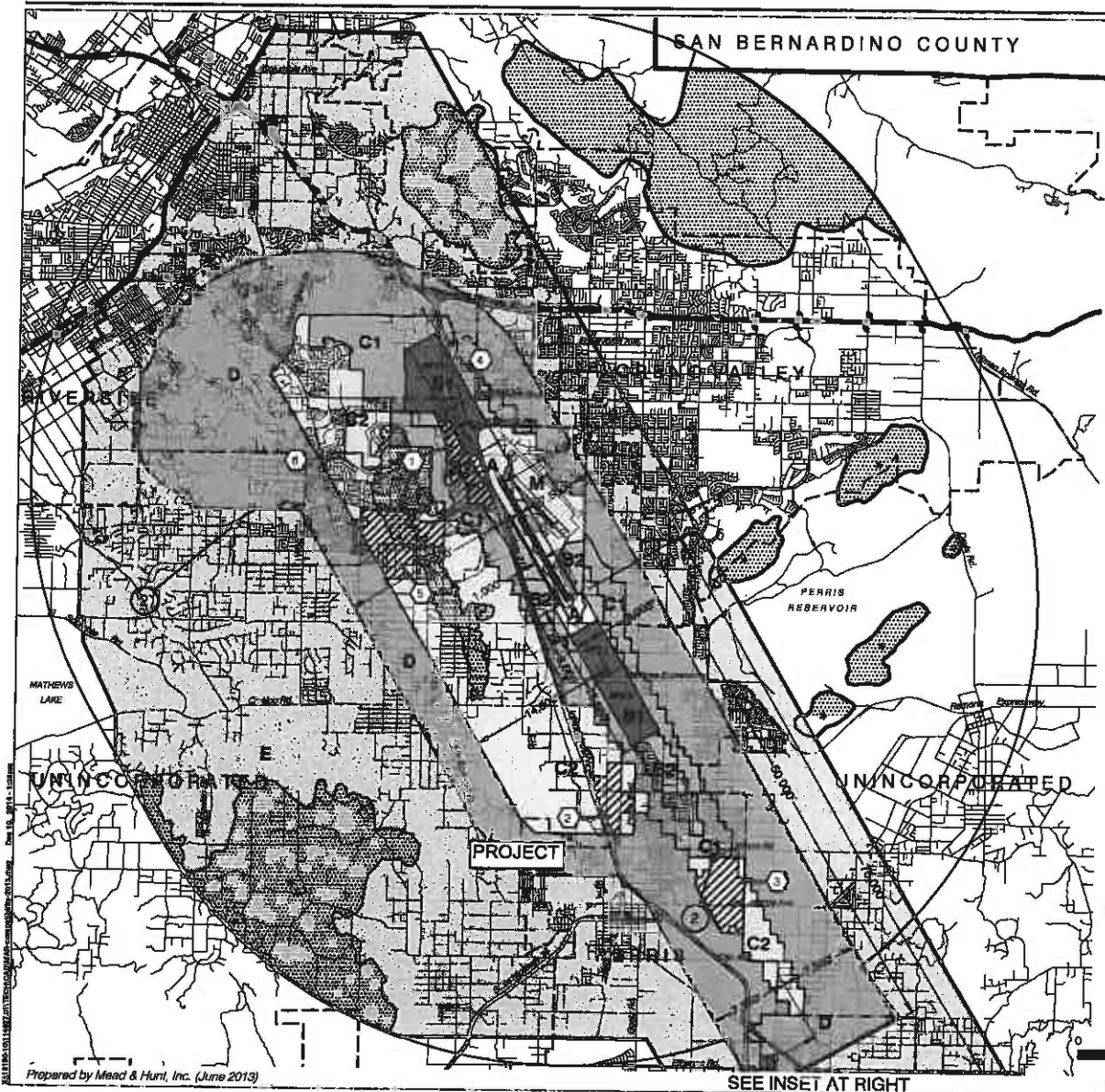
Attachments: Notice of Airport in Vicinity

cc: David & Kendra Samak (applicant)  
Rod Arsalan (representative)  
Cameron Samak, Pensco Trust Co. (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1305MA18\ZAPzap1305MA18.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

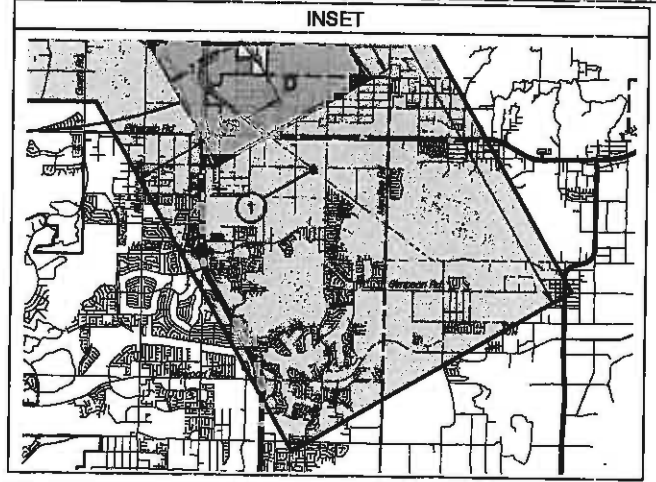
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA; March Business Center/Meridian
- ② Perris; Harvest Landing
- ③ Perris; Park West
- ④ Moreno Valley; Affordable Housing
- ⑤ March JPA; Ben Clark Training Center
- ⑥ Riverside; Hidge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

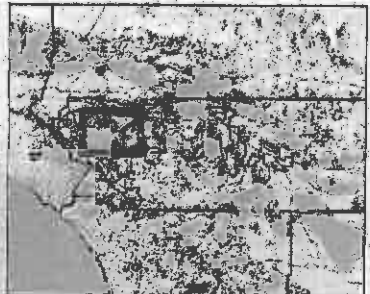
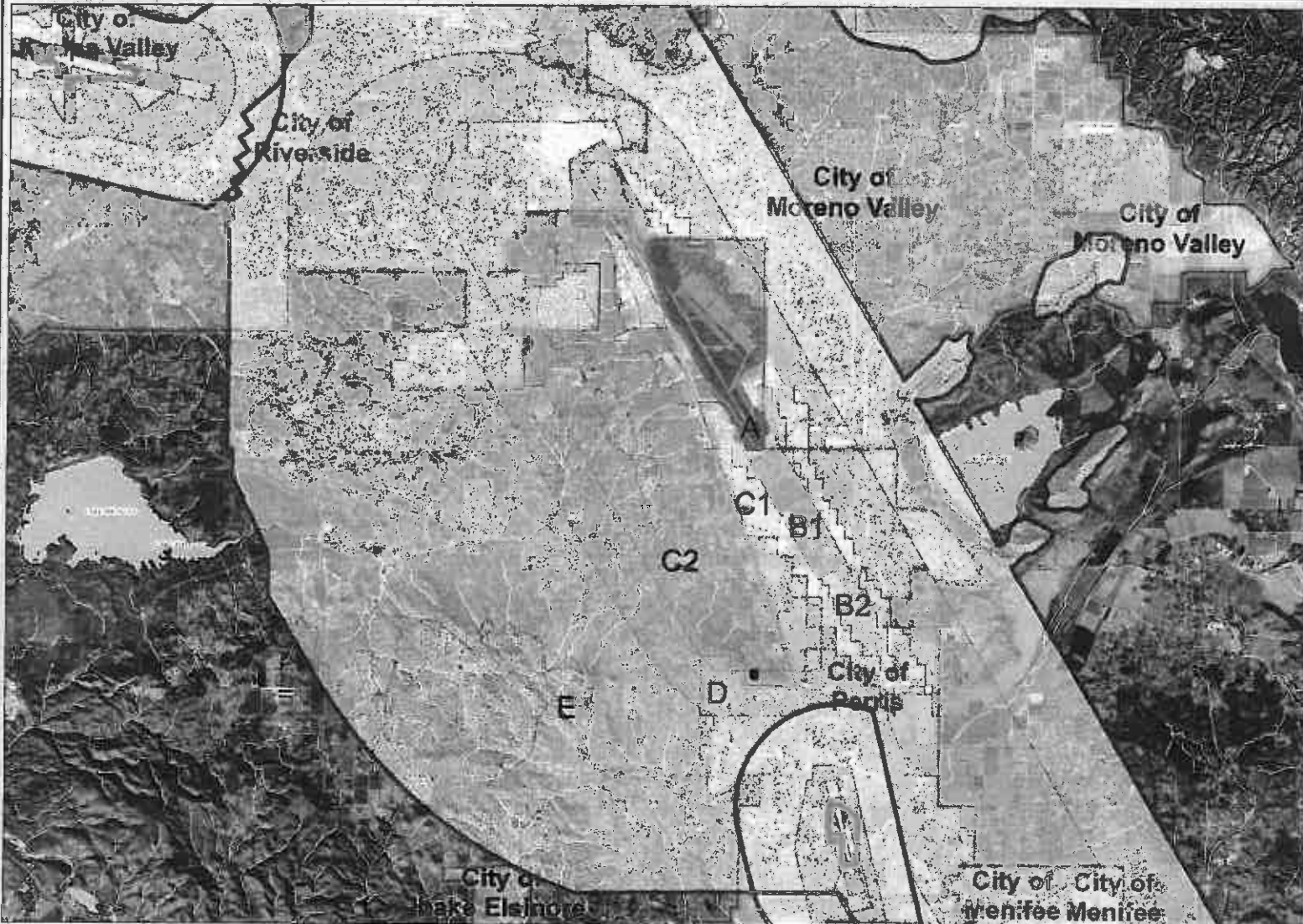
Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

# My Map



**Legend**

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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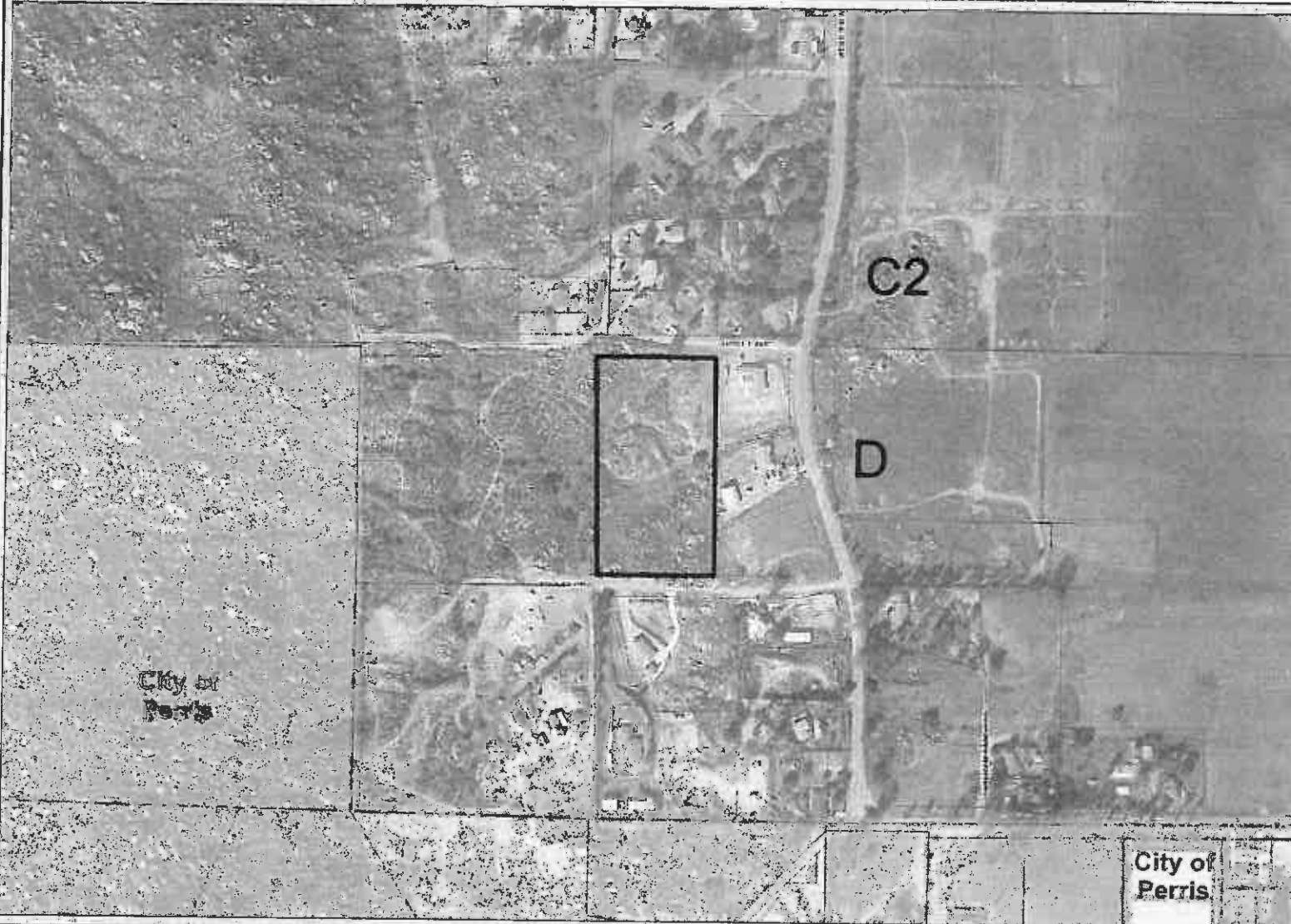
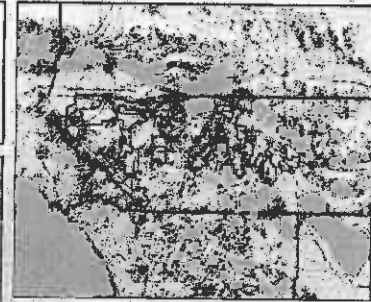
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**Notes**



# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
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- C2-EXC5
- C2-EXC6
- C2-HIGHT



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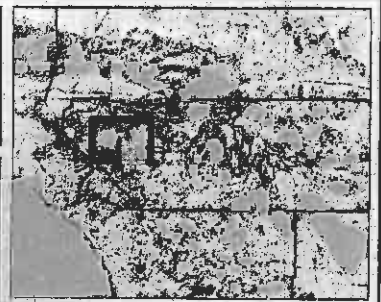
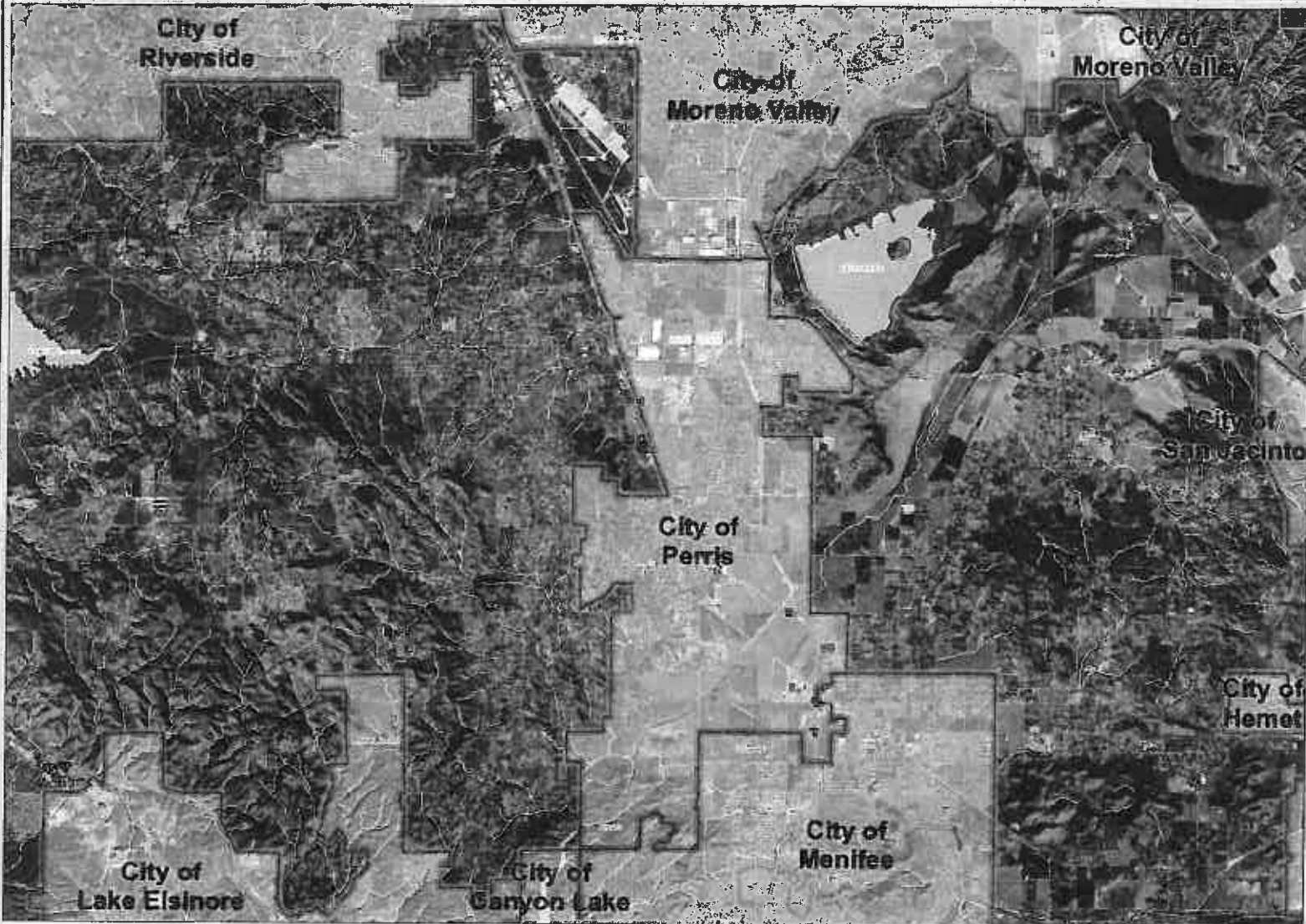
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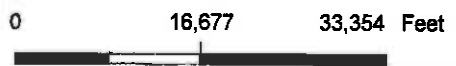
## Notes

# My Map



**Legend**

- City Boundaries
- Cities**
- adjacent\_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways\_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- counties
- cities



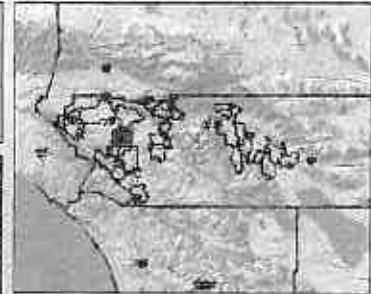
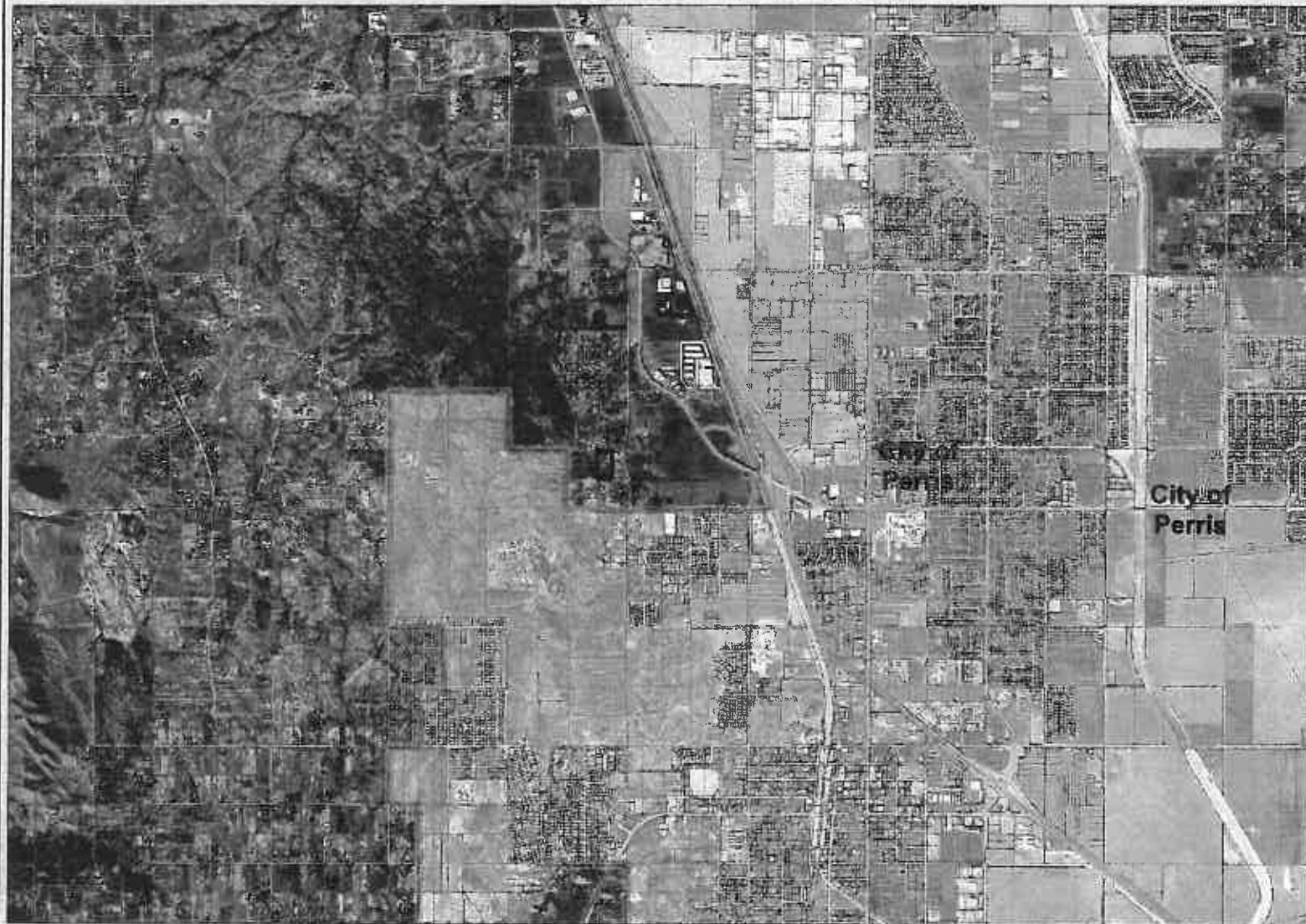
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## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- highways**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
  - Lakes
  - Rivers



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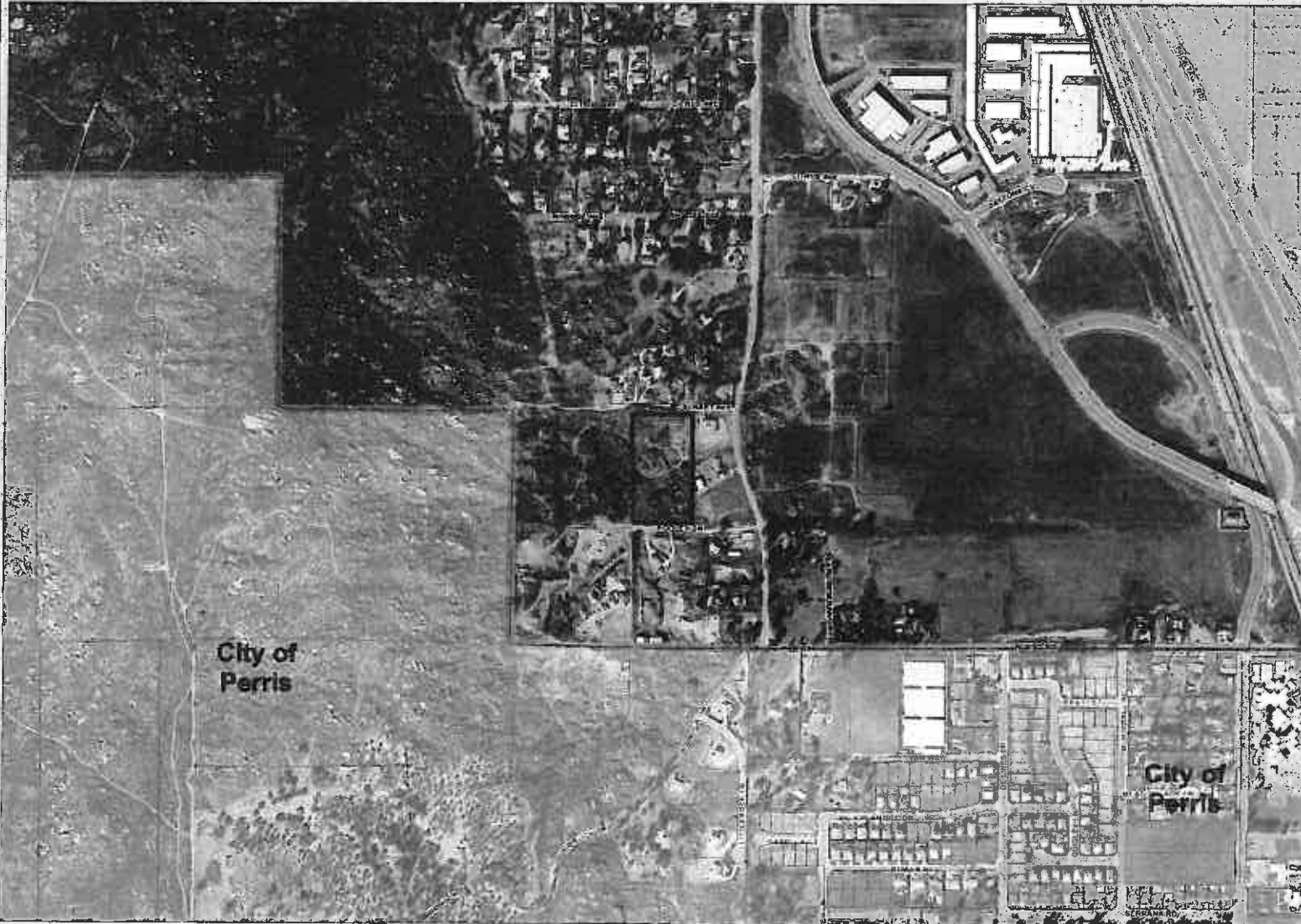
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## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- roads**
- sanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies**
- Lakes
- Rivers



0 1,042 2,085 Feet



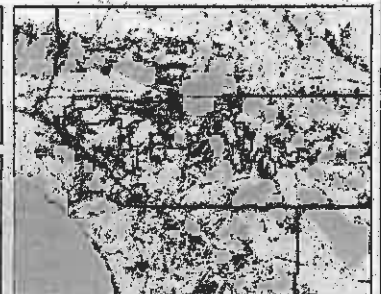
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## Notes

# My Map



## Legend

-  City Boundaries
- Cities
- roadsanno
- highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
- hydrography
- lines
- waterbodies
-  Lakes
-  Rivers



0 521 1,042 Feet



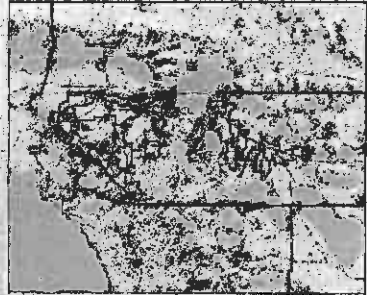
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## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers

City of Perris



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## Notes



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# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

March 29, 2018

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Lake Elsinore

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Glen Holmes  
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Russell Betts  
Desert Hot Springs

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Palm Springs

STAFF

Director  
Simon A. Housman

John Guerin  
Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Ms. Deborah Bradford, Project Planner  
County of Riverside Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501  
(VIA HAND DELIVERY)

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1306MA18  
Related File No.: PM33729 (Tentative Parcel Map)  
APN: 321-020-001

Dear Ms. Bradford:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PM33729 (Tentative Parcel Map), a proposal to divide 9.11 gross (8.31 net) acres located at 18000 Alder Avenue (along the easterly side of Alder Avenue, northerly of Avenue B and southerly of Markham Street in the unincorporated Glen Valley area and the Cajalco Zoning District) into four (4) one-acre lots.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 26,100 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,796 feet AMSL. Proposed pad elevations range from 1,537 to 1,550 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

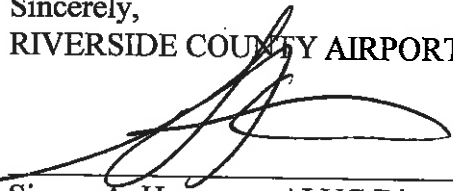
1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

## AIRPORT LAND USE COMMISSION

2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the property and tenants of any homes thereon.
4. No detention basins are depicted on the proposed parcel map. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The following uses are specifically prohibited at this location: trash transfer stations that are open on one or more sides; commercial composting operations; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; aquaculture; incinerators.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



---

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

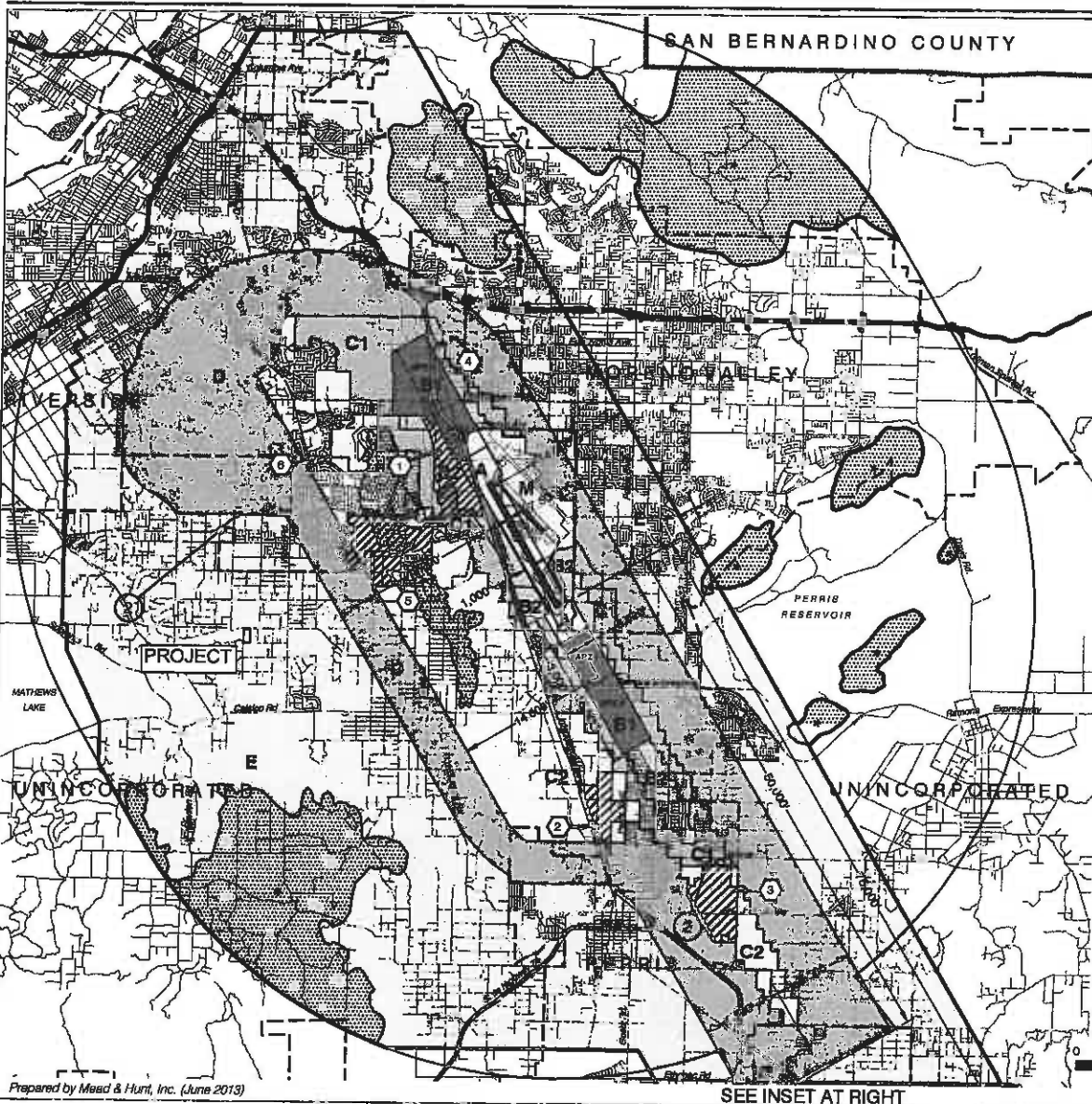
## **AIRPORT LAND USE COMMISSION**

cc: Dan Carter, D and M Carter, LLC (applicant/property owner)  
Southland Engineering, Lisa Merritt (representative)  
Mentone Beach Corporation (fee-payer)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1306MA18\ZAP1306MA18.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

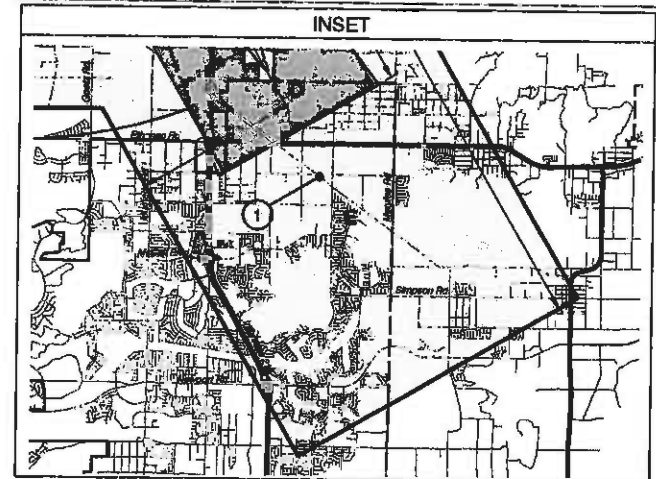
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▣ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:  
All dimensions are measured from runway ends and centerlines.

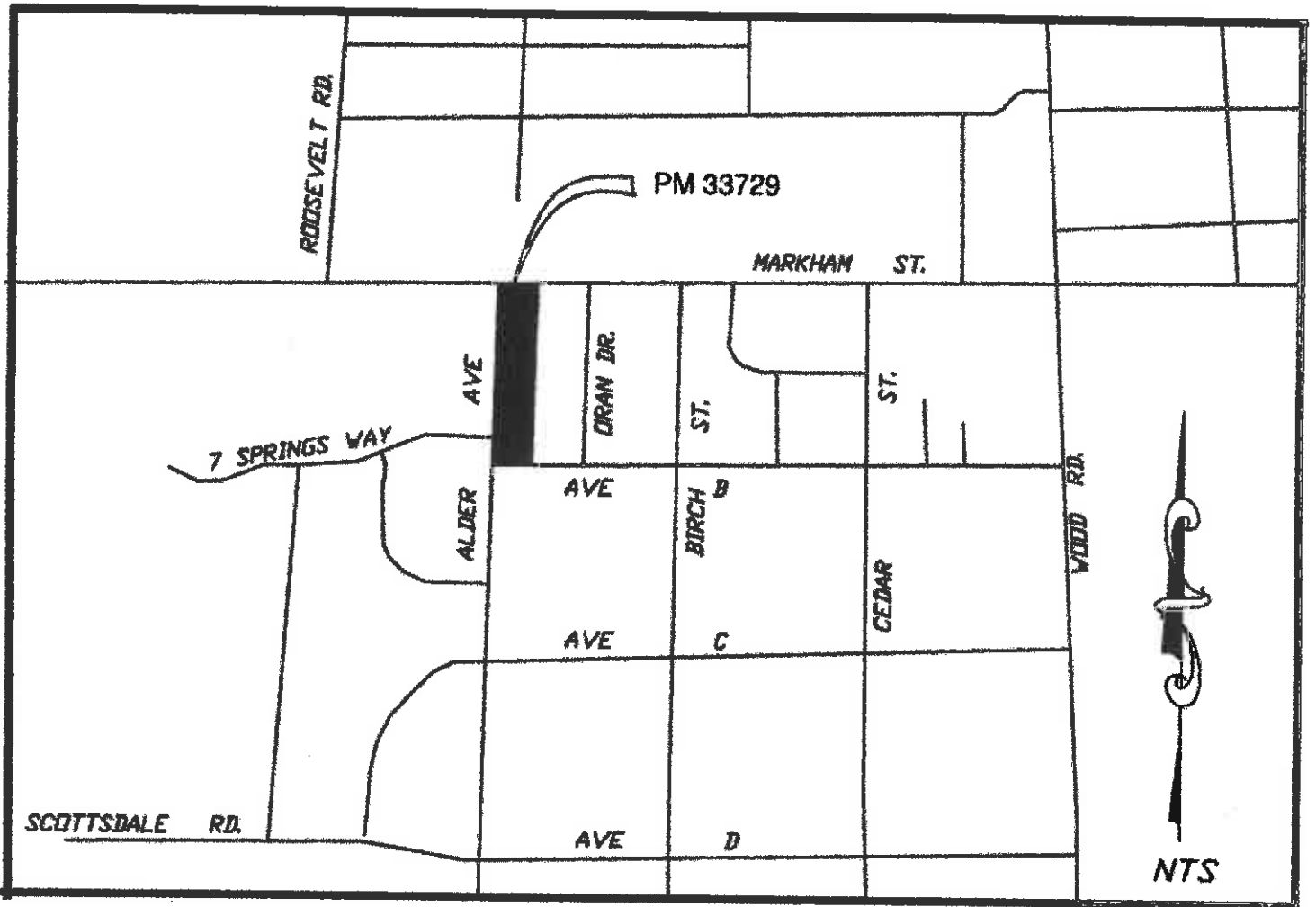


Base map source: County of Riverside 2013

**Riverside County  
Airport Land Use Commission**  
**March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan**  
(Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport



## VICINITY MAP

THOMAS GUIDE 39TH EDITION

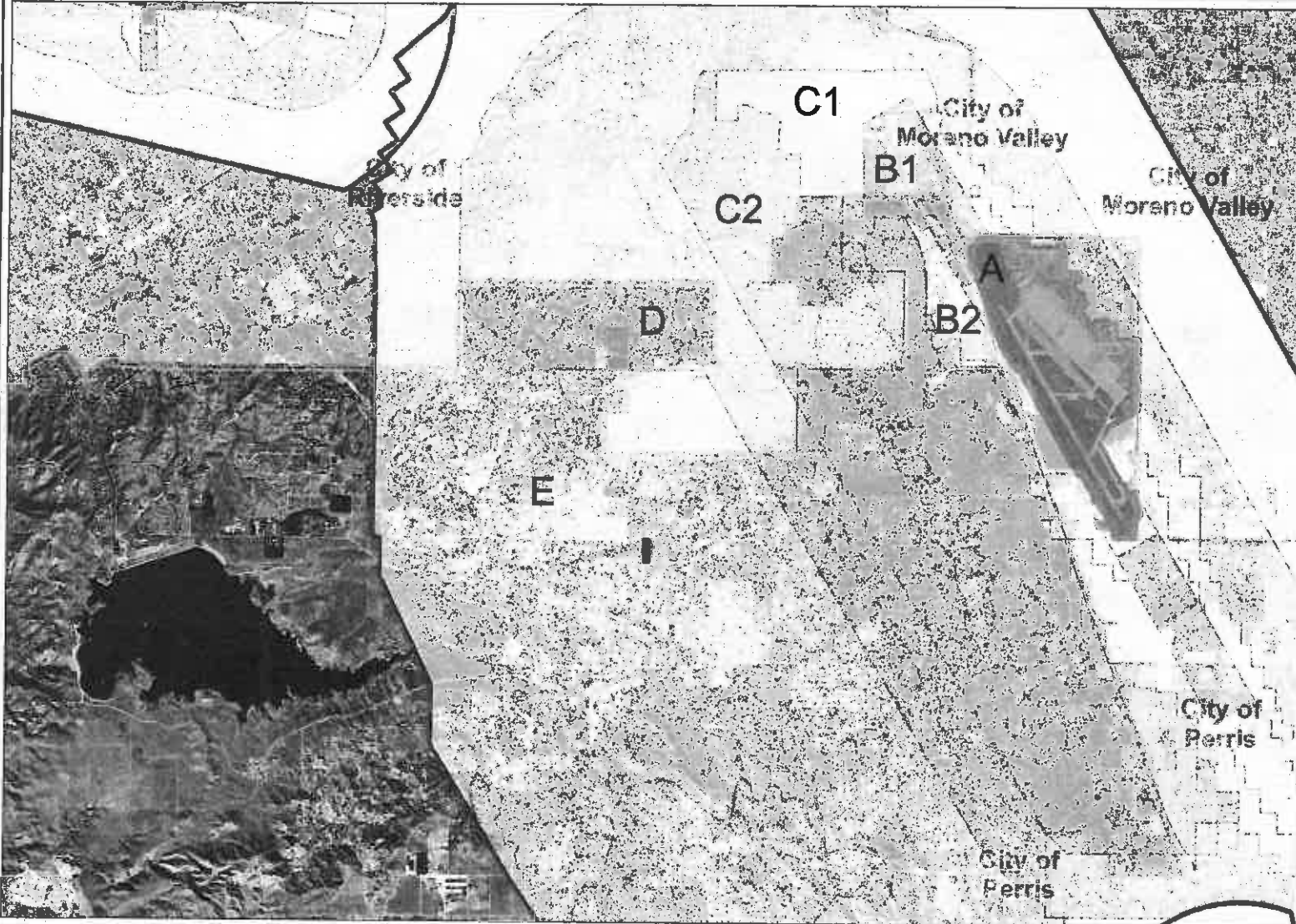
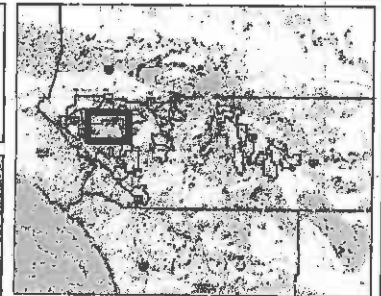
PAGE 746, COORD. C-7

GPS COORDINATES:

LATITUDE: 33°51'23"N

LONGITUDE 117°20'40"W

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 11,644 23,288 Feet



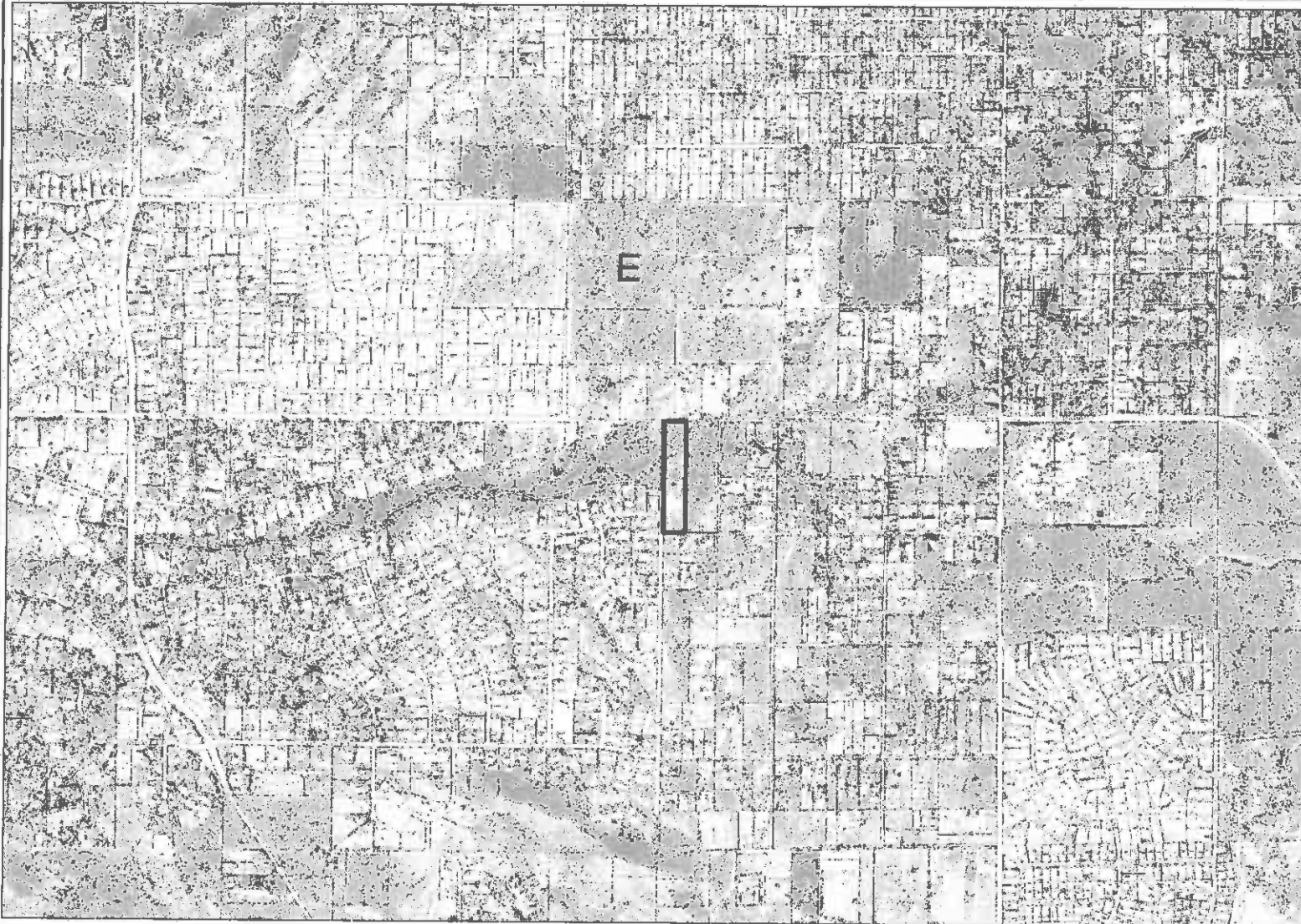
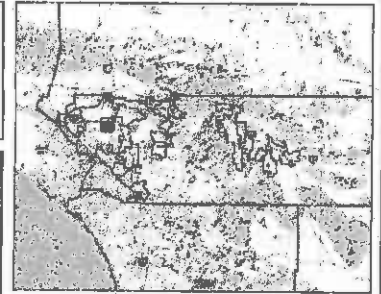
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## Notes

# My Map



## Legend

-  Airports
-  AIA
- Airport Compatibility**
-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT



0

2,279

4,558 Feet



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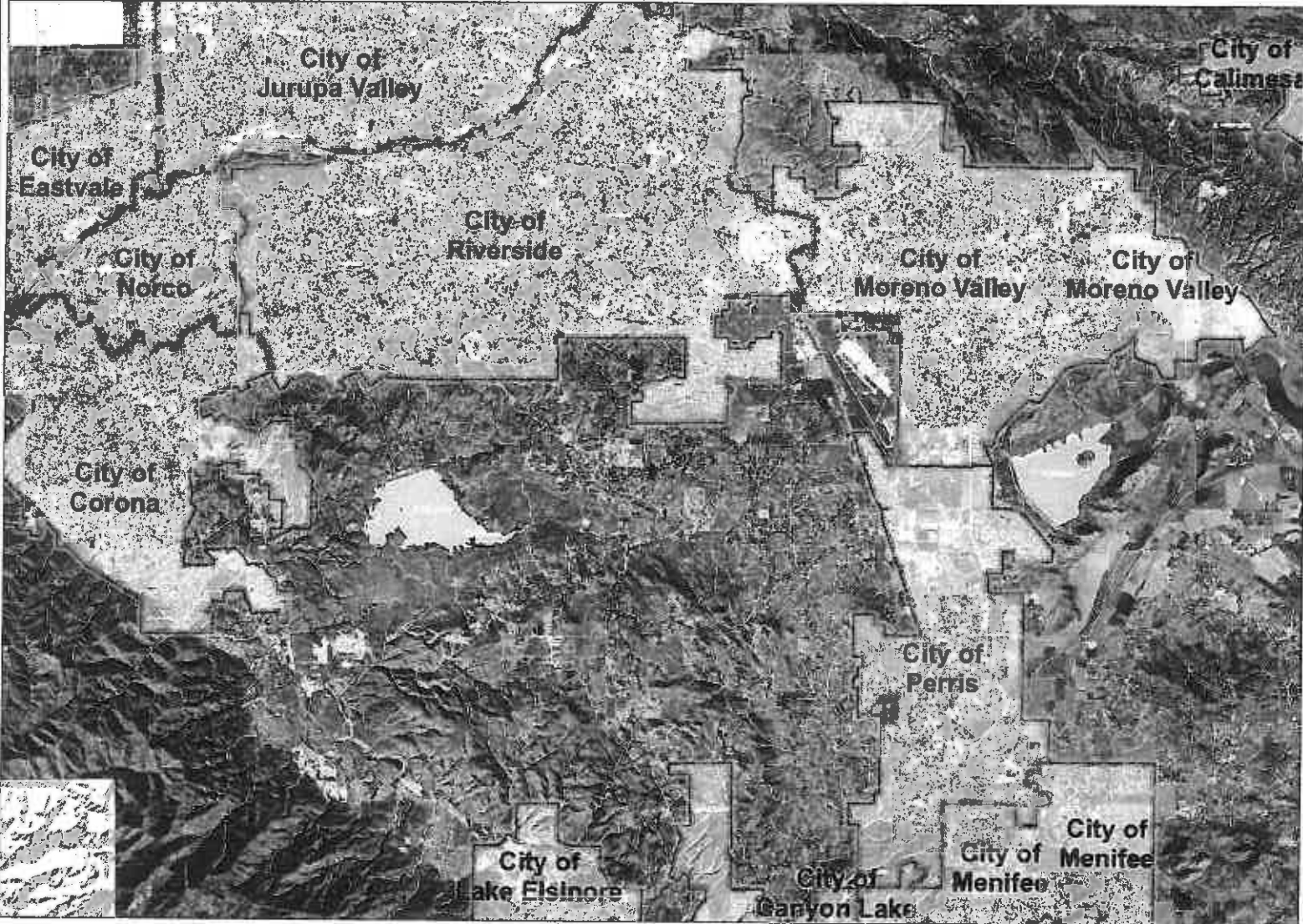
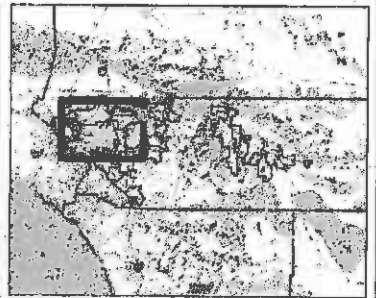
REPORT PRINTED ON... 3/20/2018 9:06:12 AM

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## Notes



# My Map



### Legend

- City Boundaries
- Cities**
- adjacent\_highways**
- Interstate
- Interstate 3
- State Highways, 60
- State Highways 3
- US HWY
- OUT
- highways\_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- counties
- cities



0 23,288 46,576 Feet



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REPORT PRINTED ON... 3/20/2016 9:24:10 AM

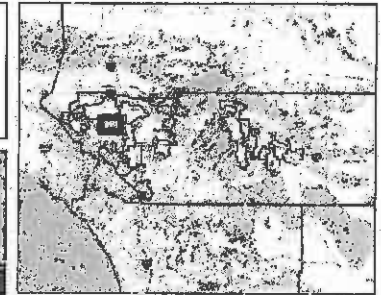
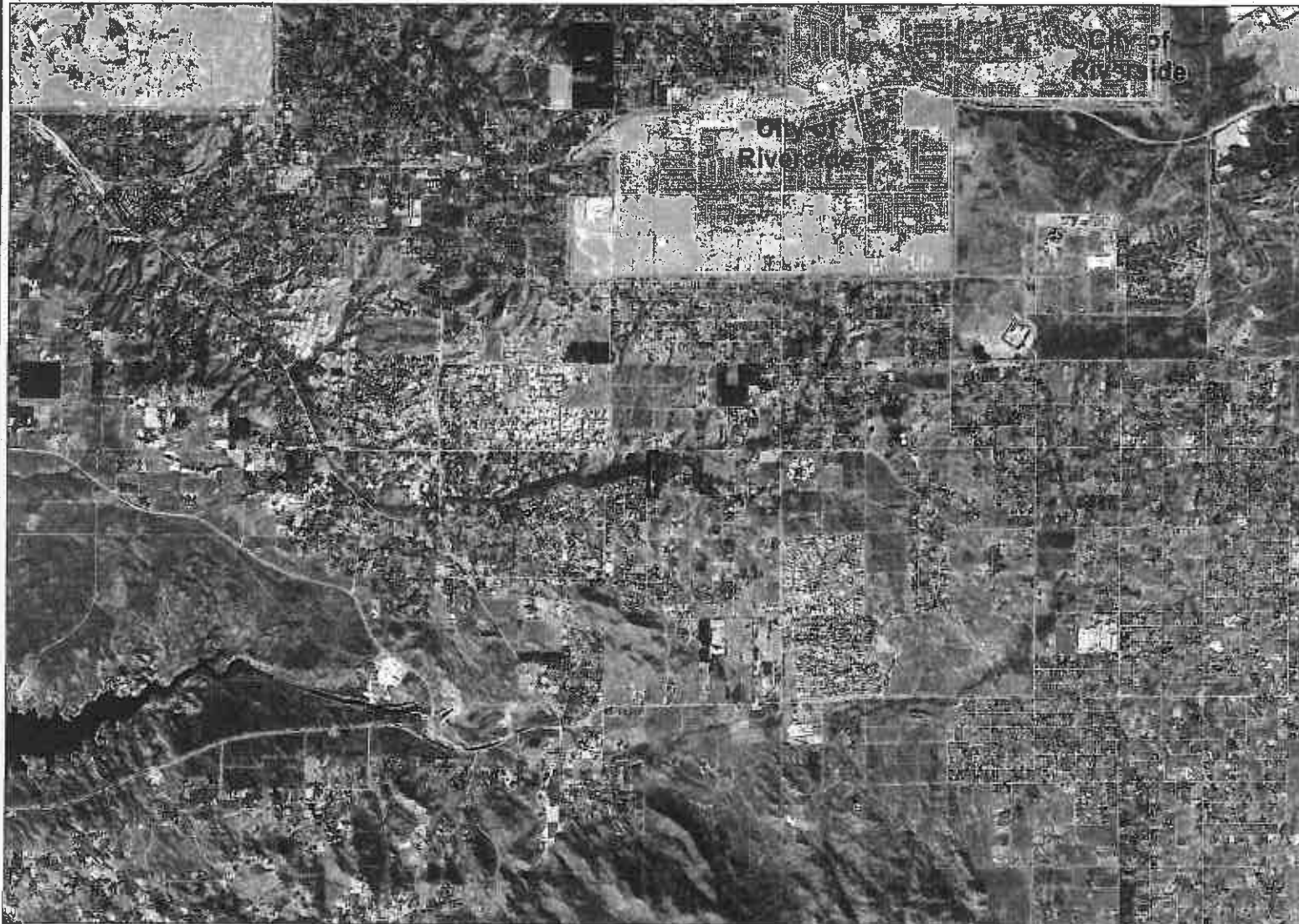
© Riverside County RCIT GIS

### Notes











# AERIAL VICINITY MAP

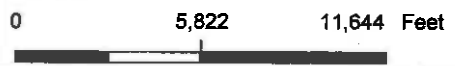


# My Map



## Legend

-  City Boundaries
- Cities
- highways\_large
  -  HWY
  -  INTERCHANGE
  -  INTERSTATE
  -  USHWY
-  majorroads
-  counties
-  cities
- hydrographylines
- waterbodies
  -  Lakes
  -  Rivers



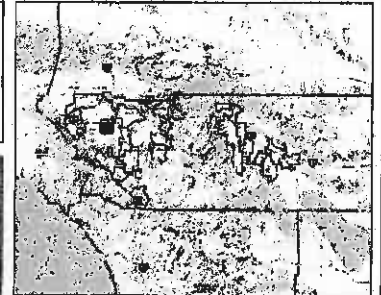
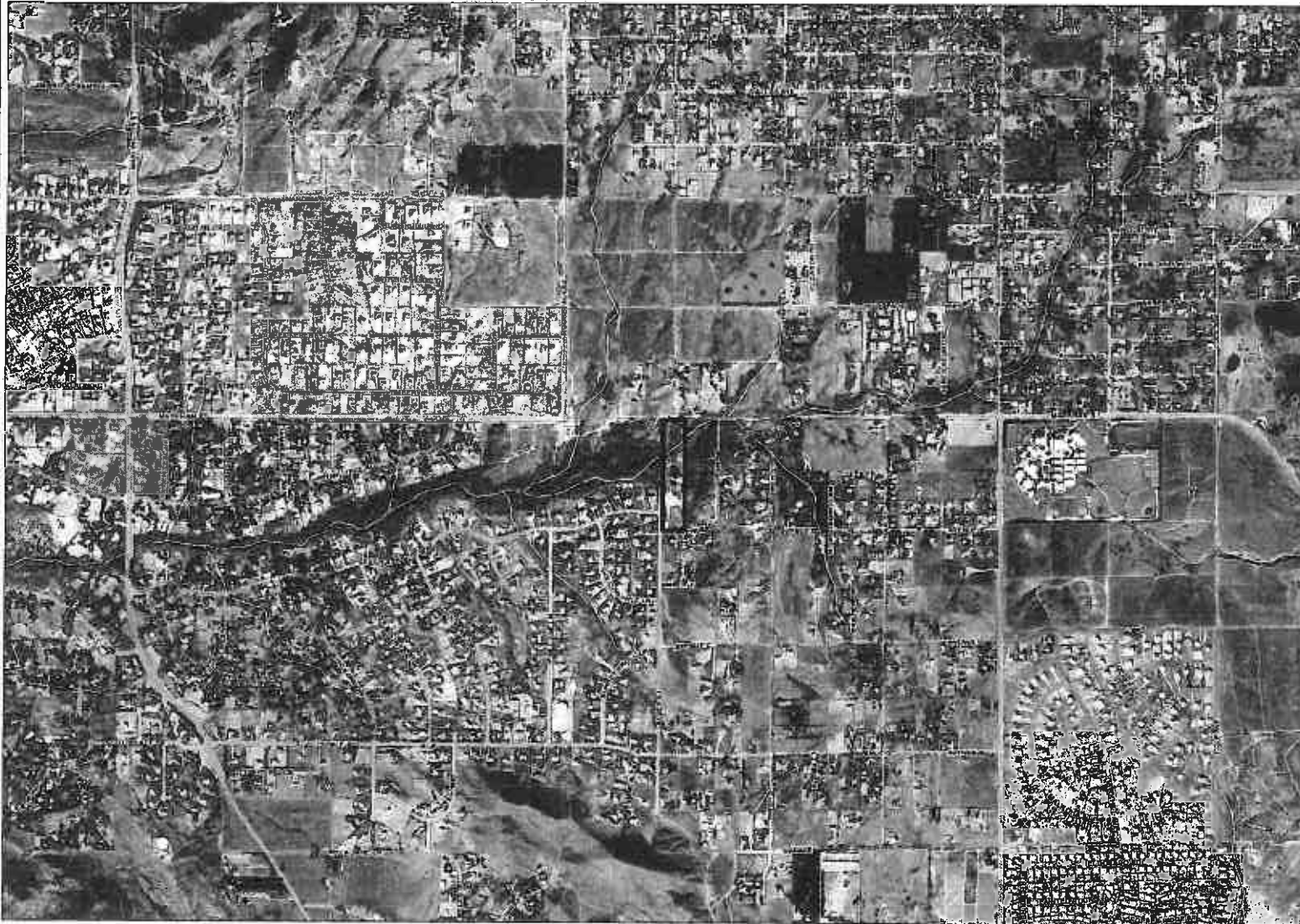
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,279 4,558 Feet



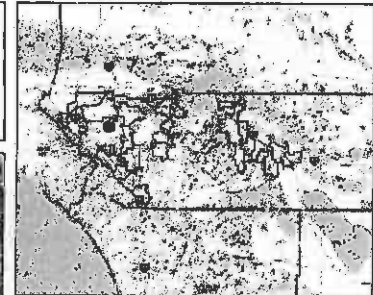
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## Notes

# My Map



## Legend

-  City Boundaries
- Cities
- roadsanno
- highways
  -  HWY
  -  INTERCHANGE
  -  INTERSTATE
  -  OFFRAMP
  -  ONRAMP
  -  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
  -  Lakes
  -  Rivers



0 1,456 2,911 Feet



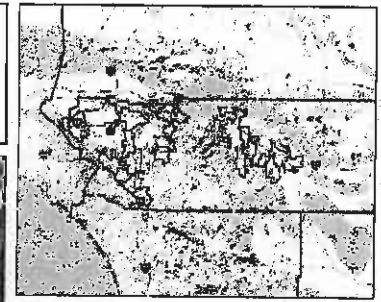
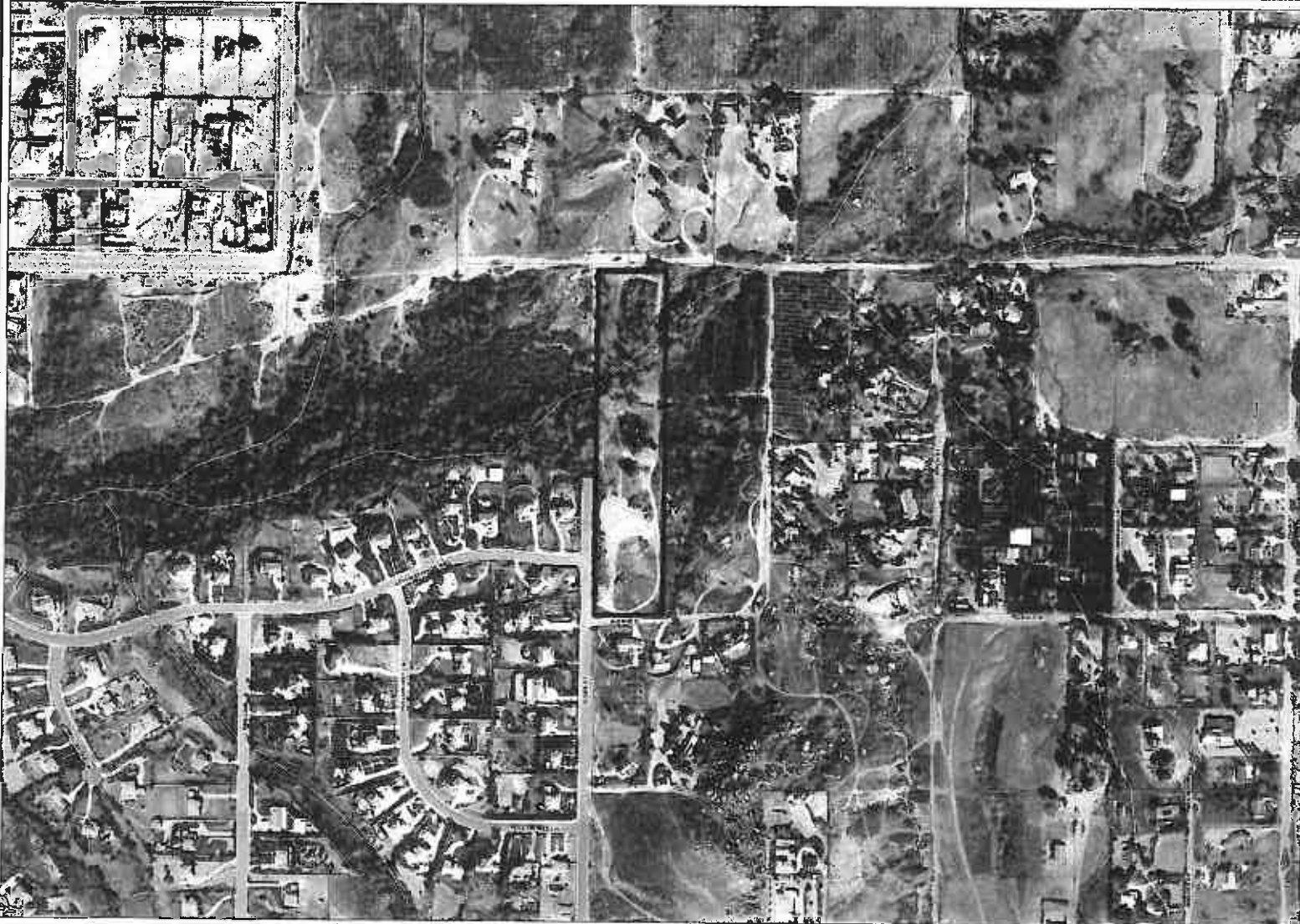
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## Notes

# My Map



## Legend

-  City Boundaries
- Cities
- roadsanno
- highways
  -  HWY
  -  INTERCHANGE
  -  INTERSTATE
  -  OFFRAMP
  -  ONRAMP
  -  USHWY
-  counties
-  cities
- hydrographylines
- waterbodies
  -  Lakes
  -  Rivers



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## Notes

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA  
**TENTATIVE PARCEL MAP 33729 AMENDED NO. 4**  
**SCHEDULE "H" PARCEL MAP**

SOUTHLAND ENGINEERING

JULY 2014

3	01/21/13	REVISED RIPARIAN RIVERINE BOUNDARY
4	11/11/14	ELIMINATED REMAINDER PARCEL
NO.	DATE	REVISION DESCRIPTION

**OWNER/DEVELOPER:**

DAV CARTER  
 DAV CARTER, LLC  
 16210 BRUNSWOOD DRIVE  
 PEASAR, CA 92579  
 (951)505-9884

**REPRESENTATIVE:**

LELA MCHEIT  
 SOUTHLAND ENGINEERING  
 2500 BUSINESS WAY, STE 100  
 RIVERSIDE, CA 92501  
 (951)789-8488

**APN:**

321-000-001

**LEGAL DESCRIPTION:**

THAT PORTION OF SECTION 6, T4S, R4W OF THE SRM  
 RECORDED AS T127474.

ALL THAT PORTION OF THE WEST ONE-HALF OF THE  
 NW QUARTER OF SAID SECTION 6, T4S, R4W OF THE  
 SRM, AS SHOWN BY SECTIONIZED SURVEY OF RANCHO  
 CL. GONZALES AND SAN JACINTO, RECORDED IN BOOK 1  
 PAGE 9 OF MAPS, RECORDS OF SAN BERNARDINO  
 COUNTY, CA, PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NW CORNER OF SAID SECTION 6;  
 THENCE EASTERNLY ALONG THE NORTHLY LINE OF SAID  
 SECTION 6 A DISTANCE OF 294.00 FEET; THENCE  
 SOUTHWESTERLY A DISTANCE OF 139.00 FEET; THENCE  
 SOUTHWESTERLY A DISTANCE OF 294.00 FEET TO A POINT ON  
 THE WEST LINE OF SAID SECTION 6; THENCE  
 NORTHERLY ALONG THE WEST LINE OF SAID SECTION 6  
 TO THE POINT OF BEGINNING.

**ACREAGE:**

GROSS ACREAGE: 8.31 ACRES  
 NET ACREAGE: 8.31 ACRES  
 PARCEL 1: 1.15 ACRES GROSS, 1.00 ACRES NET  
 PARCEL 2: 1.69 ACRES GROSS, 1.59 ACRES NET  
 PARCEL 3: 1.25 ACRES GROSS, 1.19 ACRES NET  
 PARCEL 4: 5.21 ACRES GROSS, 5.13 ACRES NET

**PROJECT DESCRIPTION:**

THIS PROJECT IS TO DIVIDE 8.31 ACRES INTO 4 PARCELS

**TOPOGRAPHY:**

AERIAL MAPPING BY AERO TECH MAPPING, DATE OF  
 PHOTOGRAPHY MAY 2014.  
 GROUND CONTROL BY SOUTHLAND ENGINEERING.

**GENERAL PLANNING ZONING:**

GENERAL PLAN RC-VLDR, NO CHANGE PROPOSED  
 ZONING R-A-1, NO CHANGE PROPOSED

**SCHOOL DISTRICT:**

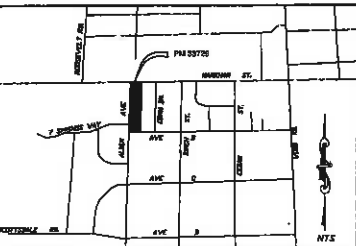
VAL VERDE UNIFIED SCHOOL DISTRICT

**UTILITY COMPANIES:**

WATER: WESTERN MUNICIPAL WATER DIST.  
 ELECTRIC: SOUTHLAND COMPANY  
 TELEPHONE: VERIZON  
 SEWER: INDIVIDUAL SEPTIC SYSTEM  
 CABLE: ALPHA

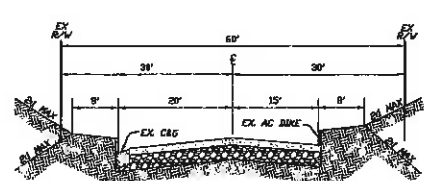
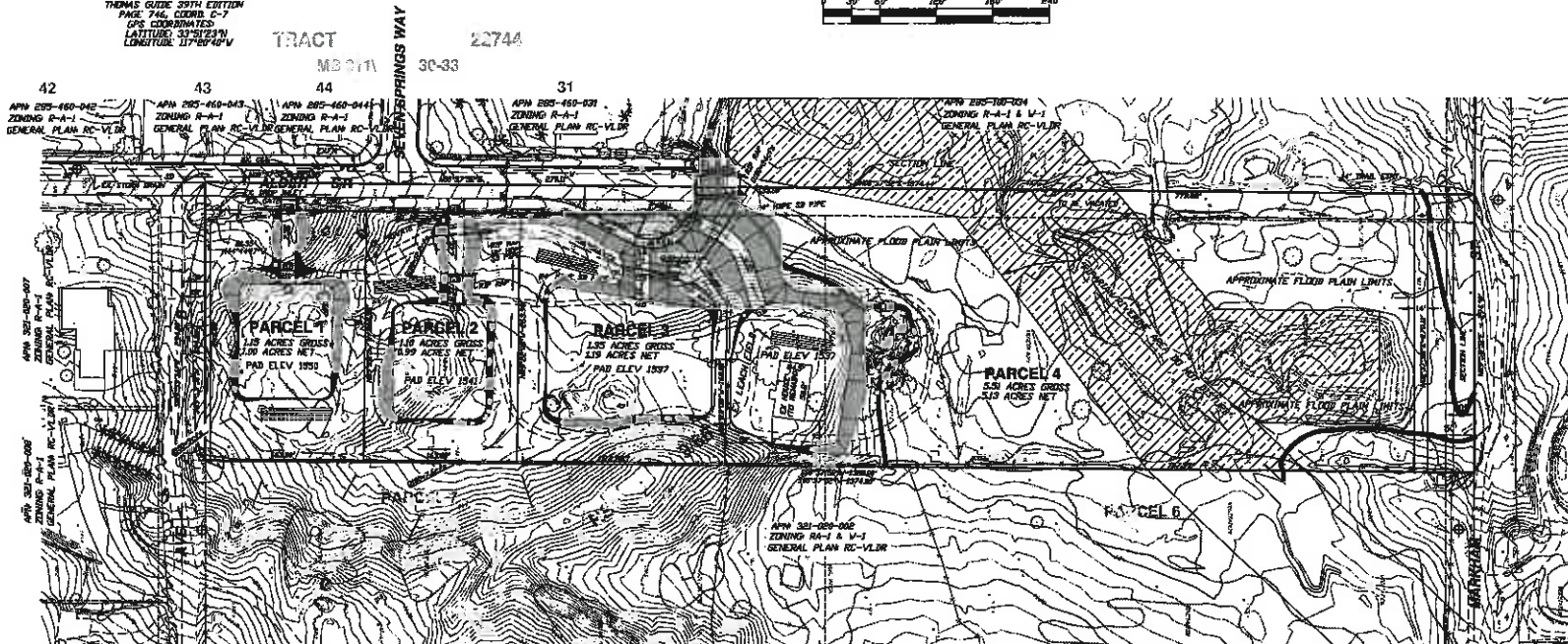
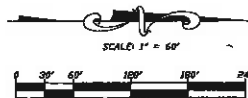
**NOTES:**

1. THIS PROPERTY IS NOT LOCATED WITHIN A SPECIFIC PLAN.
2. THOMAS GUIDE 39TH EDITION, PAGE 746, CORNER C-7.
3. THERE ARE NO PROTECTED OR CHANGING TREES THAT EXIST ON THE PROPERTY.
4. THIS PROPERTY IS NOT LOCATED WITHIN A SPECIAL STUDIES ZONE OR OTHER GEOLOGIC HAZARDOUS AREA.
5. THIS PROPERTY IS LOCATED IN FLOOD ZONE "UNSHADOWED" AREA OF NOMINAL FLOODING NO FLOOD PLAIN REVISED RIVERSIDE COUNTY MAP 06045-0800L, FEMA MAP NO. 0606090-14035.
6. THIS PROPERTY IS NOT LOCATED WITHIN A HIGH FIRE AREA.
7. THIS PROPERTY HAS NO POTENTIAL FOR LIQUEFACTION.
8. THIS PROPERTY IS LOCATED WITHIN COMMUNITY FACILITIES DISTRICT 15B.
9. THIS MAP IS A SCHEDULE "H" PARCEL MAP.
10. THIS TENTATIVE MAP INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
11. THERE ARE NO CHANNELS ON THIS PROPERTY.
12. THERE ARE EXISTING STRUCTURES ON SITE, AS SHOWN.
13. NO NEW STRUCTURES PROPOSED AT THIS TIME.
14. COMPLIANCE WITH RIVERSIDE COUNTY WATER QUALITY MANAGEMENT PLAN (WQP) IS NOT REQUIRED FOR THIS PARCEL MAP.
15. DEVELOPMENT STANDARDS ARE PER ORDINANCE 248 SECTION 6.52 AND 6.52 (G)-D.
16. WATER COURSES SHALL BE KEPT FREE OF ALL BUILDINGS AND OBSTRUCTIONS.
17. ALL CUT/FILL SLOPES SHALL BE 2:1 OR FLATTER.
18. ALL PROPOSED DRIVEWAYS ARE 16' WIDE.
19. ALL EXISTING FENCES TO REMAIN IN PLACE.

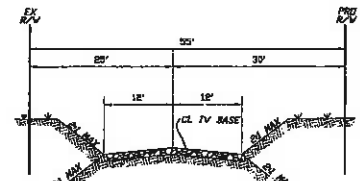


**VICINITY MAP**

THOMAS GUIDE 39TH EDITION  
 PAGE 746, CORNER C-7  
 GPS COORDINATES  
 LATITUDE: 33°21'23"N  
 LONGITUDE: 117°08'40"W



**ALDER ST.**  
 EXISTING PER TR 22744



**AVE B**

RIPARIAN/RIVERINE AREA DO NOT DISTURB

PAGE BREAK





**AIRPORT LAND USE COMMISSION  
RIVERSIDE COUNTY**



March 29, 2018

Ms. Lisa Gordon, Planning Manager  
City of Menifee Community Development Department  
29714 Haun Road  
Menifee CA 92586

**CHAIR  
VACANCY**

**VICE CHAIRMAN**  
Steve Manos  
Lake Elsinore

**COMMISSIONERS**

Arthur Butler  
Riverside

John Lyon  
Riverside

Glen Holmes  
Hemet

Russell Betts  
Desert Hot Springs

Steven Stewart  
Palm Springs

**STAFF**

**Director**  
Simon A Housman

John Guerin  
Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lamon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1307MA18 – Letter 1 of 2  
Related File No.: 2015-252 (Change of Zone)  
APN: 331-090-008

Dear Ms. Gordon:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Menifee Case No. 2015-252 (Change of Zone), a proposal to rezone 14.34 acres located on the southeast corner of McLaughlin Road and Barnett Road from One Family Dwellings - 10,000 square foot minimum (R-1-10,000) to General Residential (R-3).

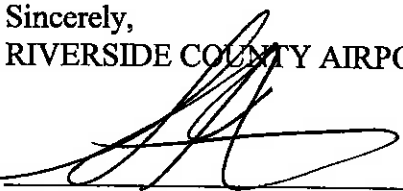
The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

As ALUC Director, I hereby find the above-referenced Change of Zone **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (“March ALUCP”).

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of the proposed Change of Zone. As the site is located within Compatibility Zone E, both the existing and proposed zoning of this property are consistent with the March ALUCP.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

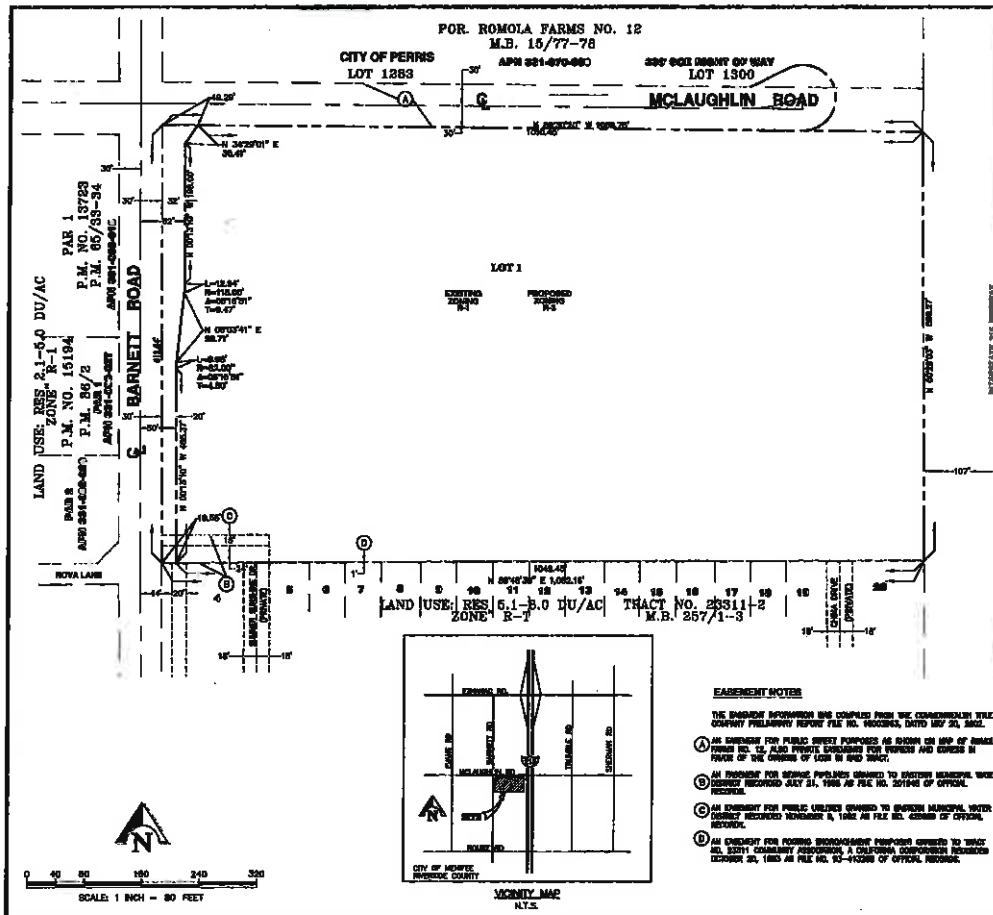
  
Simon A. Housman, ALUC Director

## AIRPORT LAND USE COMMISSION

Attachments: Notice of Airport in Vicinity

cc: McLaughlin Apartments, LLC (applicant/property owner)  
Dennis Stafford (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1307MA18\ZAP1307MA18Rezone.LTR.doc



## CHANGE OF ZONE

LOTS 1884 & 1885 AND PORTIONS OF LOTS 1886 & 1888 ROMA FARMS TRACT IN THE COUNTY OF RIVERSIDE STATE OF CALIFORNIA AS SHOWN ON MAP ON FILE IN BOOK 15, PAGE 77 AND 78 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**APPLICANT / OWNERS:**  
MCCREEVER PARTNERS, L.P.  
1000 W. 10TH STREET, SUITE 200  
PERRIS, CA 92404

**PREPARED BY:**  
W.J. MCKREEVER, INC.  
1000 W. 10TH STREET, SUITE 200  
PERRIS, CA 92404

- NOTES:**
1. ASSUMES PERMITS NUMBER: 22-08-000
  2. PERMITS NUMBER: 22-08-000
  3. PERMITS NUMBER: 22-08-000
  4. PERMITS NUMBER: 22-08-000
  5. PERMITS NUMBER: 22-08-000
  6. PERMITS NUMBER: 22-08-000
  7. PERMITS NUMBER: 22-08-000
  8. PERMITS NUMBER: 22-08-000
  9. PERMITS NUMBER: 22-08-000
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  11. PERMITS NUMBER: 22-08-000
  12. PERMITS NUMBER: 22-08-000
  13. PERMITS NUMBER: 22-08-000
  14. PERMITS NUMBER: 22-08-000
  15. PERMITS NUMBER: 22-08-000
  16. PERMITS NUMBER: 22-08-000
  17. PERMITS NUMBER: 22-08-000
  18. PERMITS NUMBER: 22-08-000
  19. PERMITS NUMBER: 22-08-000
  20. PERMITS NUMBER: 22-08-000
  21. PERMITS NUMBER: 22-08-000
  22. PERMITS NUMBER: 22-08-000
  23. PERMITS NUMBER: 22-08-000
  24. PERMITS NUMBER: 22-08-000
  25. PERMITS NUMBER: 22-08-000
  26. PERMITS NUMBER: 22-08-000
  27. PERMITS NUMBER: 22-08-000
  28. PERMITS NUMBER: 22-08-000
  29. PERMITS NUMBER: 22-08-000
  30. PERMITS NUMBER: 22-08-000

**EXHIBIT NOTE**

THE EXHIBIT INFORMATION WAS COMPILED FROM THE CORNER/BOUNDARY THE COUNTY PLAT/REPORT FILE NO. 1000000, DATED 10/21/2012.

(A) AN EXHIBIT FOR PUBLIC UTILITY PURPOSES AS SHOWN ON MAP OF QUADRA PERMITS NO. 22, AND PERMITS NUMBER FOR PERMITS AND PERMITS IN THE OFFICE OF THE COUNTY RECORDER.

(B) AN EXHIBIT FOR PERMITS PURPOSES SHOWN TO EXISTING MUNICIPAL WATER SERVICE RECEIVED PERMITS NO. 1000 AS FILE NO. 1000000 OF OFFICIAL RECORDS.

(C) AN EXHIBIT FOR PUBLIC UTILITY PURPOSES SHOWN TO EXISTING MUNICIPAL WATER SERVICE RECEIVED PERMITS NO. 1000 AS FILE NO. 1000000 OF OFFICIAL RECORDS.

(D) AN EXHIBIT FOR PERMITS PURPOSES SHOWN TO EXISTING MUNICIPAL WATER SERVICE RECEIVED PERMITS NO. 1000 AS FILE NO. 1000000 OF OFFICIAL RECORDS.

DATE 7/30/15



**W.J. MCKREEVER, INC.**  
CIVIL ENGINEERING  
1000 W. 10TH STREET, SUITE 200  
PERRIS, CA 92404  
TEL: (951) 835-2000

WILLIAM J. MCKREEVER, PECK 2000 DATE

PAGE BREAK





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

March 29, 2018

Ms. Lisa Gordon, Planning Manager  
City of Menifee Community Development Department  
29714 Haun Road  
Menifee CA 92586

CHAIR  
VACANCY

VICE CHAIRMAN  
Steve Manos  
Lake Elsinore

COMMISSIONERS

Arthur Butler  
Riverside

John Lyon  
Riverside

Glen Holmes  
Hemet

Russell Betts  
Desert Hot Springs

Steven Stewart  
Palm Springs

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1307MA18 – Letter 2 of 2  
Related File No.: 2015-251 (Plot Plan), 2015-250 (Tentative Tract Map No. 36937)  
APN: 331-090-008

Dear Ms. Gordon:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Menifee Case Nos. 2015-251 (Plot Plan) and 2015-250 (Tentative Tract Map No. 36937), a proposal to establish a 126-unit, two-story detached residential townhouse development on 14.34 acres located on the southeast corner of McLaughlin Road and Barnett Road, and to divide the site into one airspace condominium map.

STAFF

Director  
Simon A. Housman

John Guerin  
Paul Rull  
Barbara Santos

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port AIA, the actual nearest runway is Runway 19-33 at Perris Valley Airport. The southerly terminus of this runway is located approximately 10,880 feet from the project site. At this distance, given the runway elevation of 1,415 feet above mean sea level (AMSL), Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,524 feet AMSL. The site has a maximum pad elevation of 1,428 feet AMSL. With a maximum building height of 24 feet, the top point elevation would be 1,452 feet AMSL. Therefore, FAA OES review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

### CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

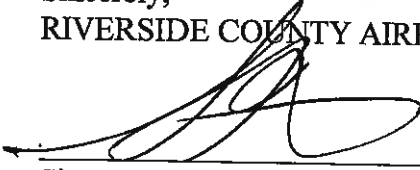
[www.rcaluc.org](http://www.rcaluc.org)

## AIRPORT LAND USE COMMISSION

2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers, lessees, and/or tenants of the residences thereon.
4. All new aboveground detention or bioretention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/bioretention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



---

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

## **AIRPORT LAND USE COMMISSION**

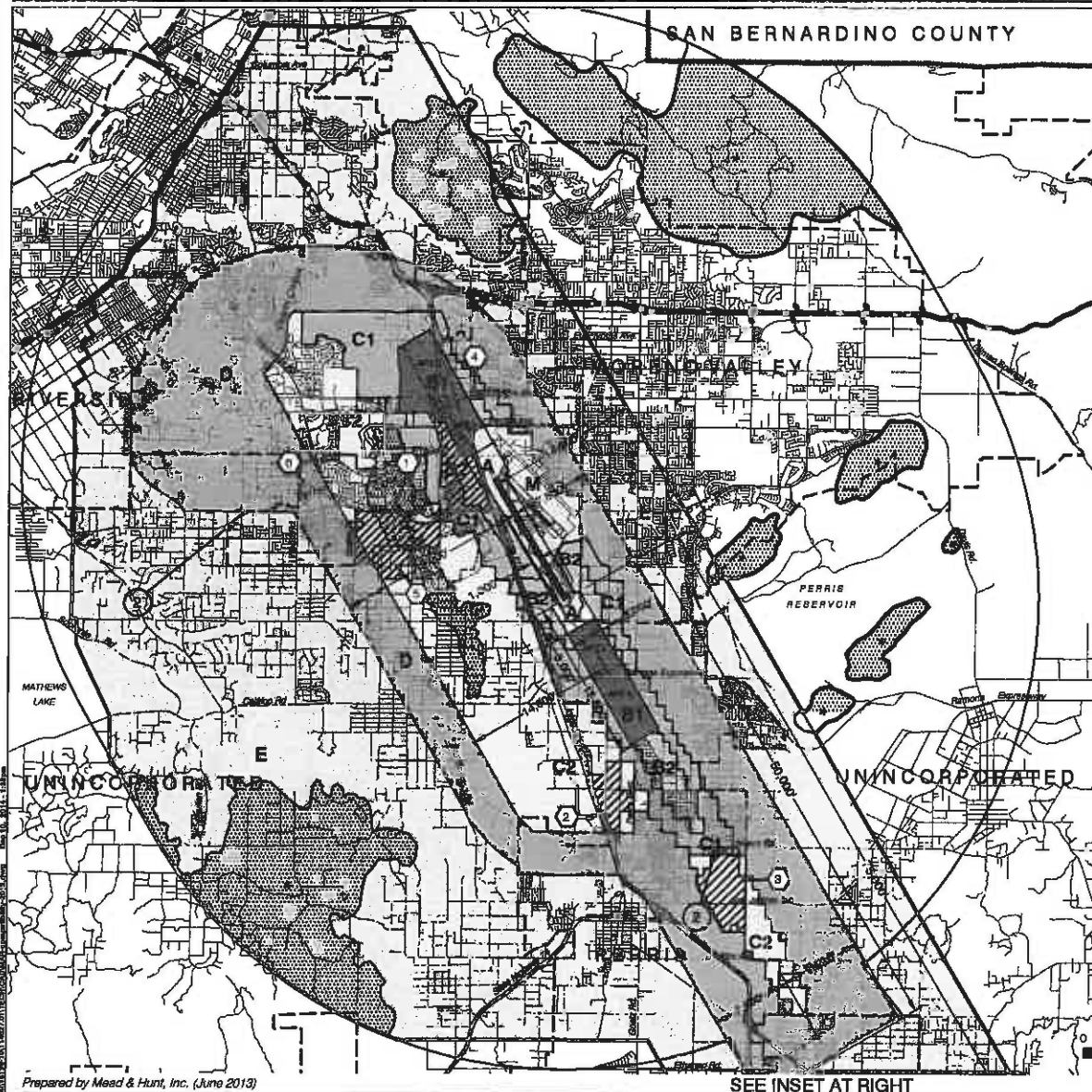
cc: McLaughlin Apartments, LLC (applicant/property owner)  
Dennis Stafford (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1307MA18\ZAP1307MA18PP.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)





**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

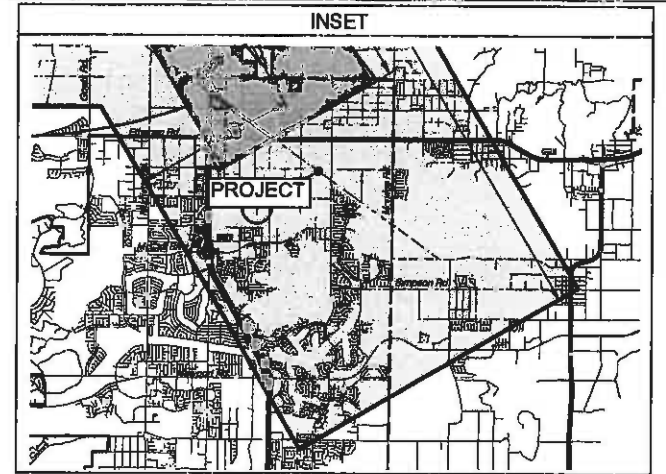
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ben Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision



Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adapted November 13, 2014)

Note:  
 All dimensions are measured from  
 runway ends and centerlines.



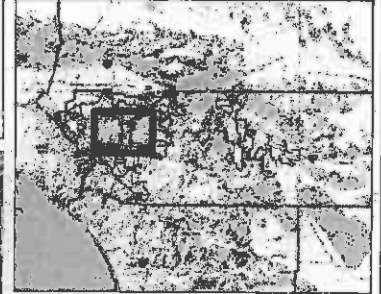
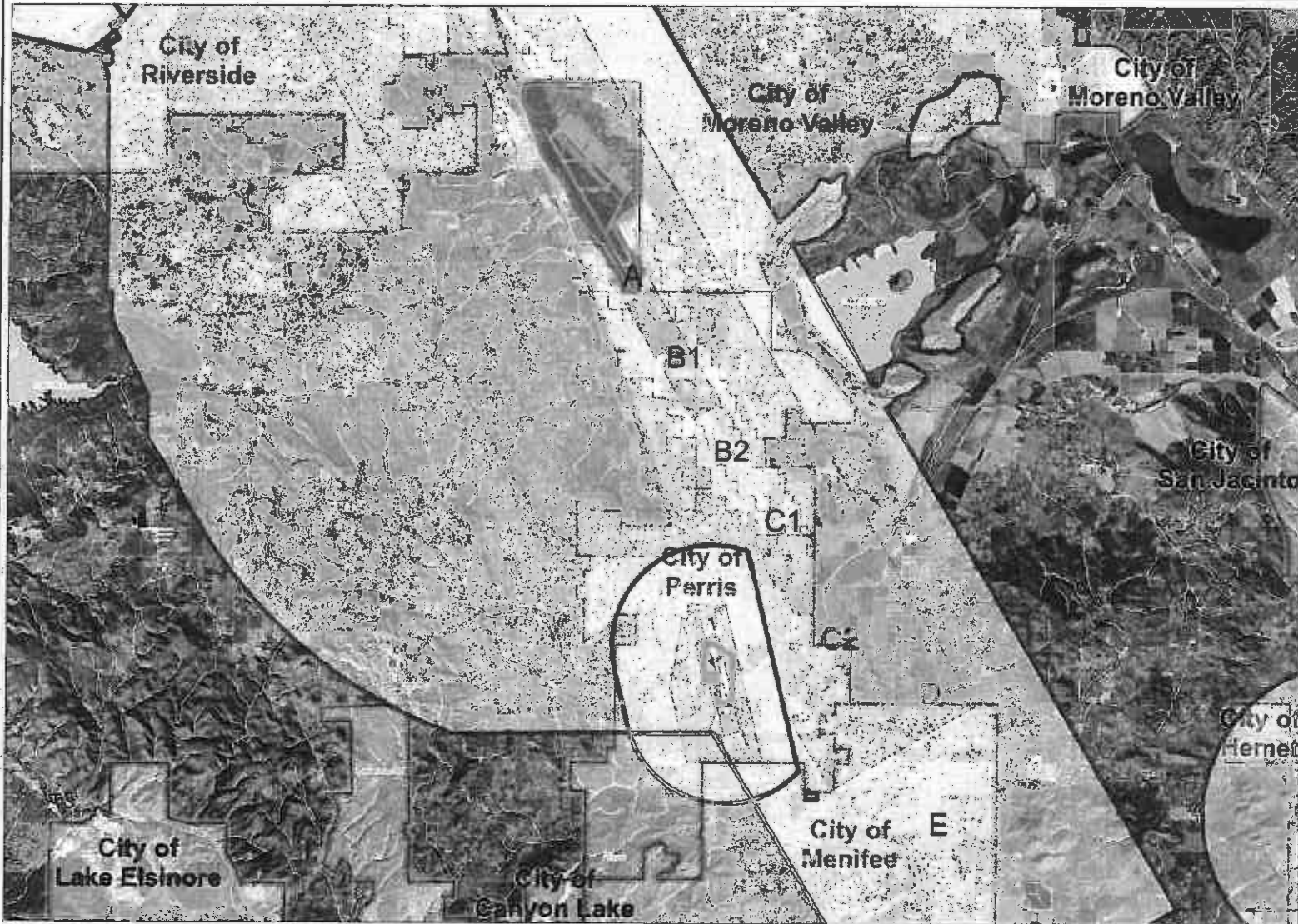
Base map source: County of Riverside 2013

Map MA-1  
**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 16,678 33,355 Feet



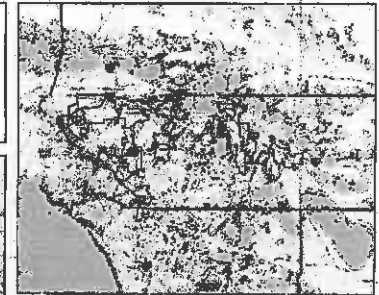
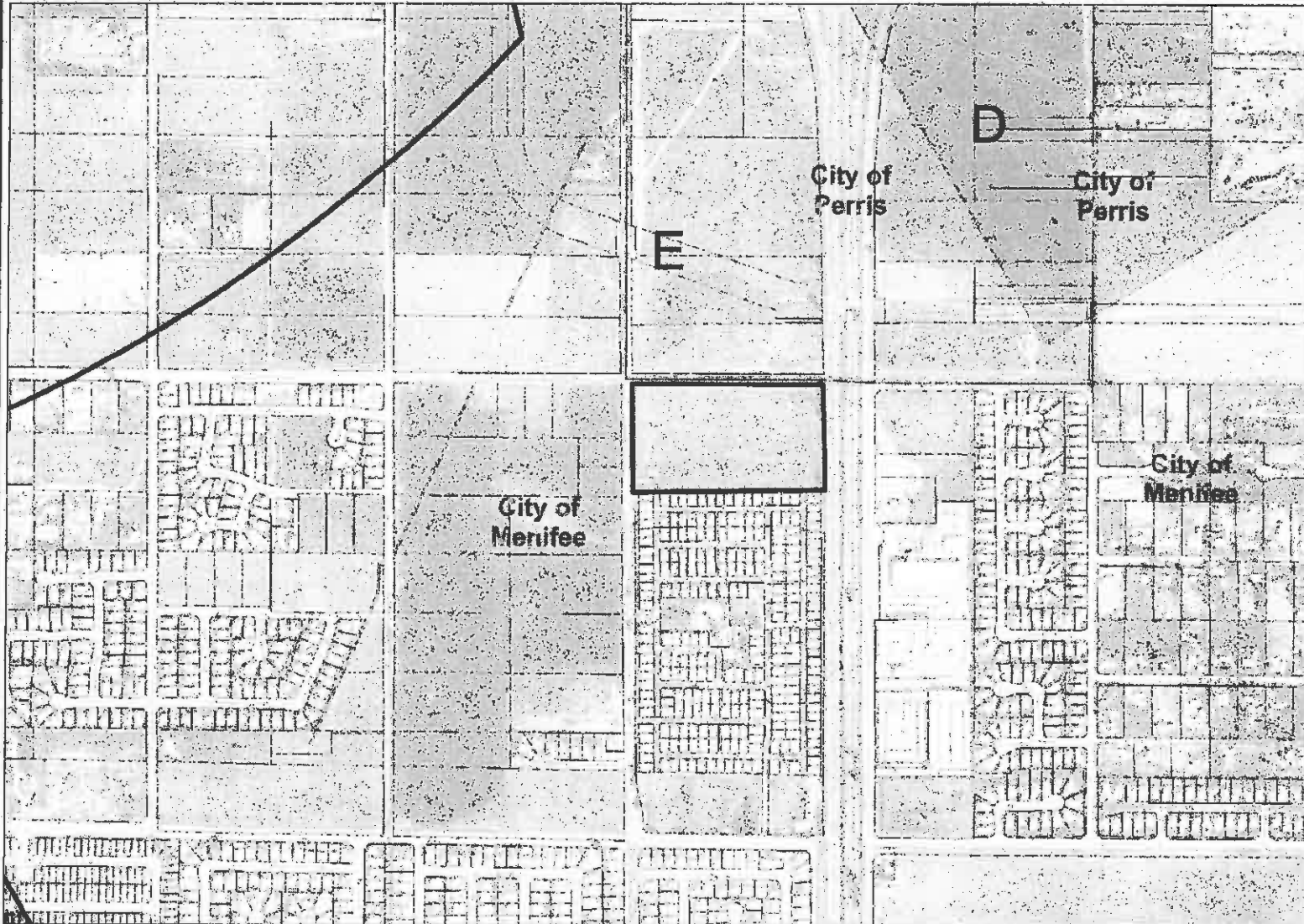
**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 3/21/2018 9:00:59 AM

© Riverside County RCIT GIS

## Notes

# My Map



## Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 1,042 2,085 Feet



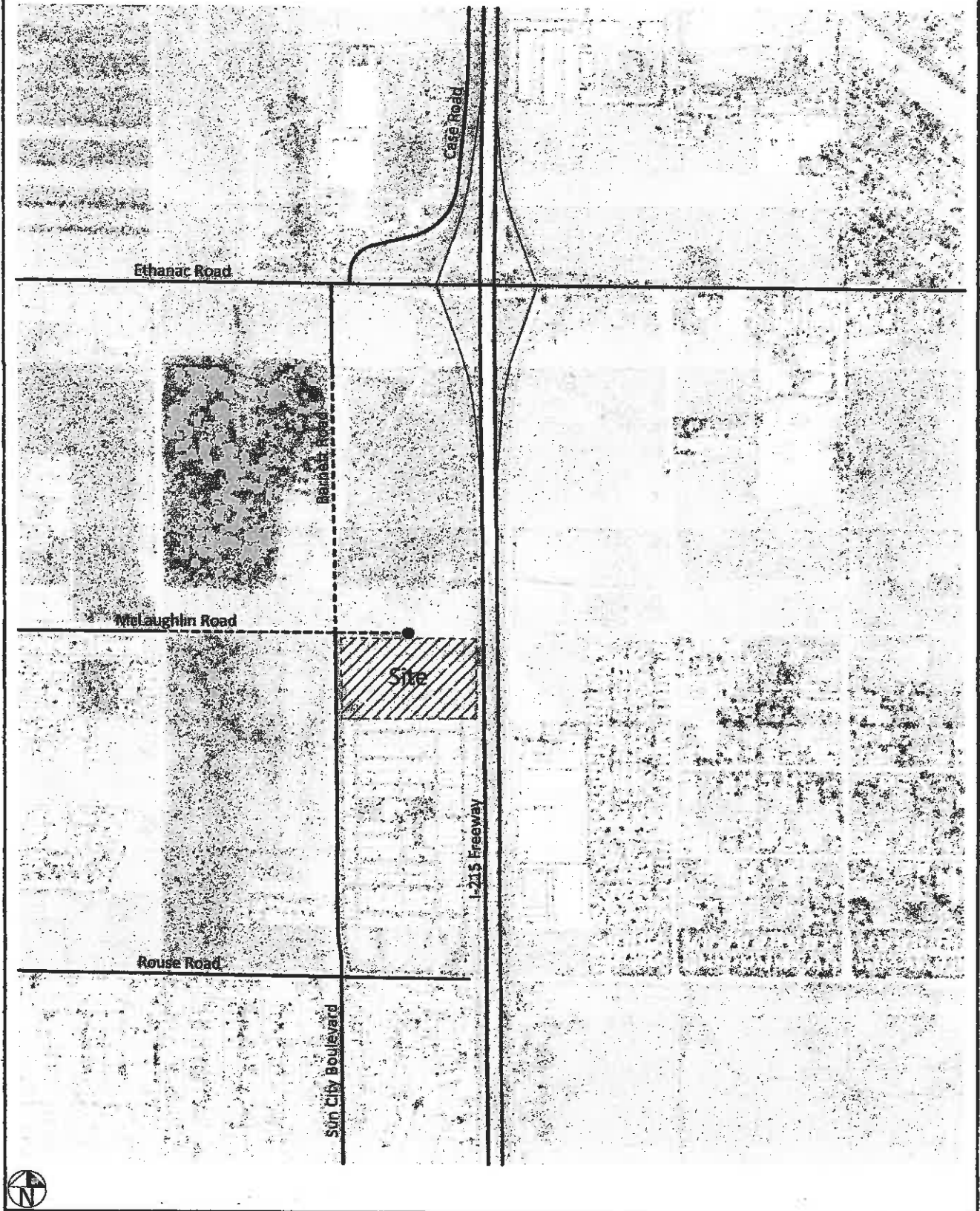
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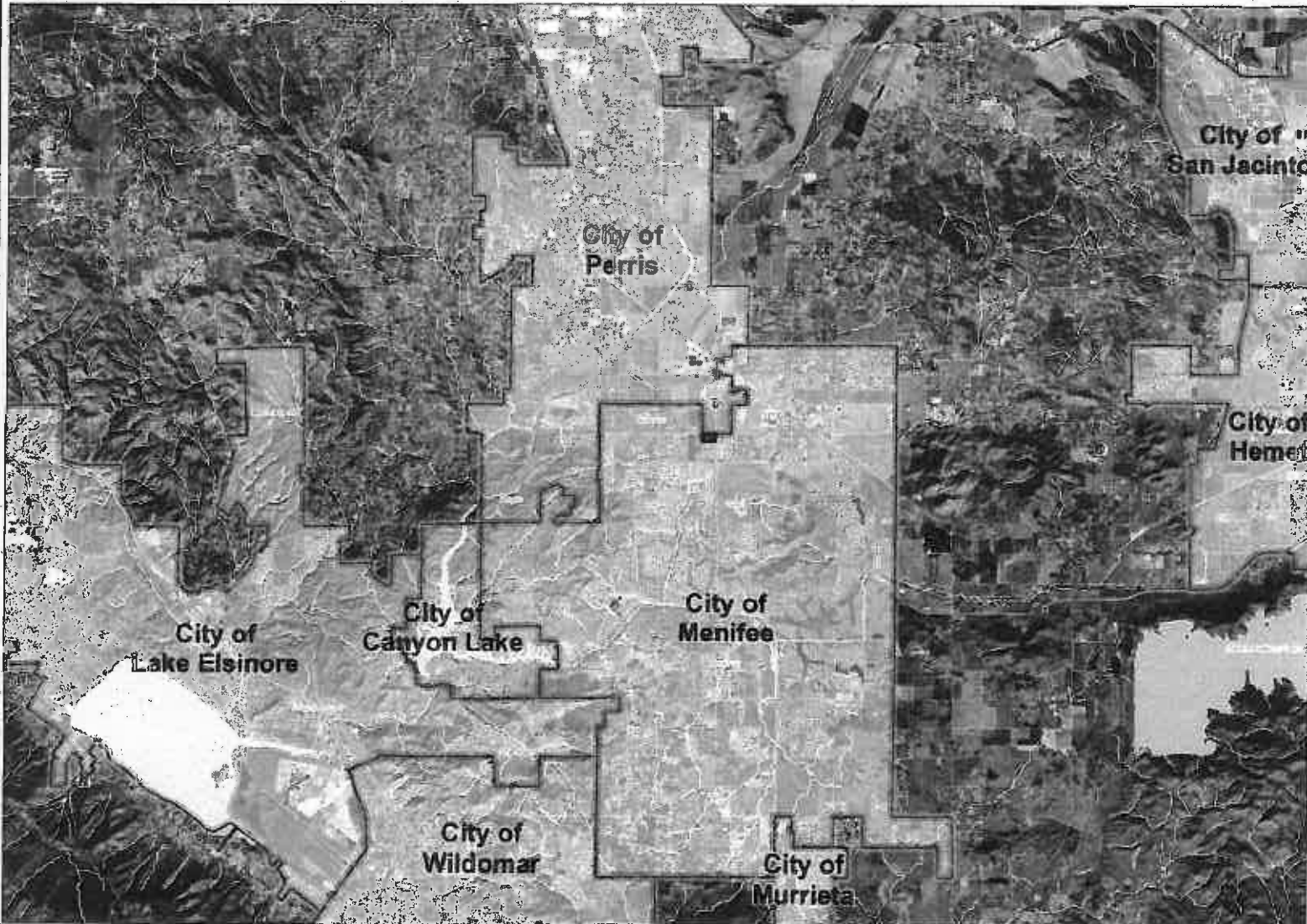
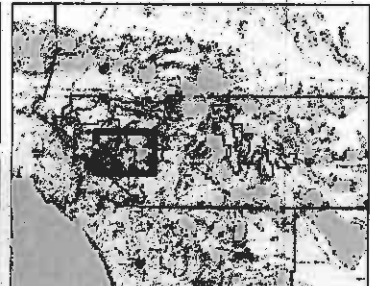
© Riverside County RCIT GIS

## Notes

# Project Location Map

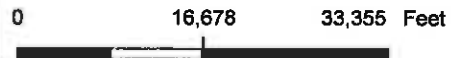


# My Map



### Legend

- City Boundaries
- Cities
- adjacent\_highways
  - Interstate
  - Interstate 3
  - State Highways; 60
  - State Highways 3
  - US HWY
  - OUT
- highways\_large
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - USHWY
- counties
- cities



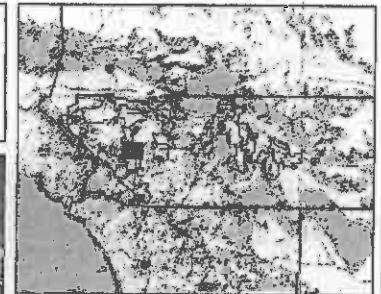
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### Notes

# My Map



## Legend

- City Boundaries
- Cities
- highways**
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
  - Lakes
  - Rivers



0 4,169 8,339 Feet



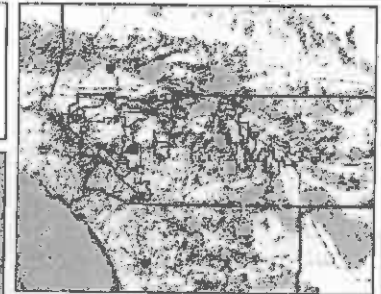
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,042 2,085 Feet



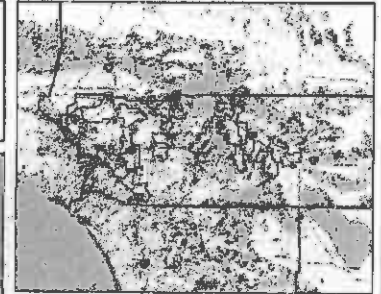
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## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- roads**
- anno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography**
- lines**
- waterbodies**
- Lakes
- Rivers



0 521 1,042 Feet



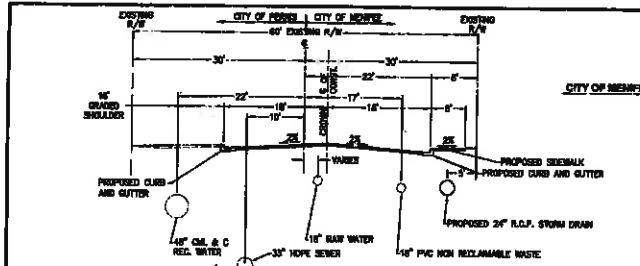
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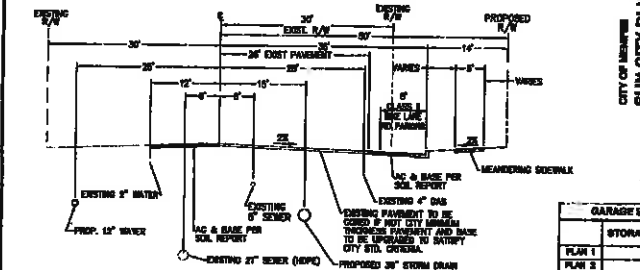
© Riverside County RCIT GIS

## Notes

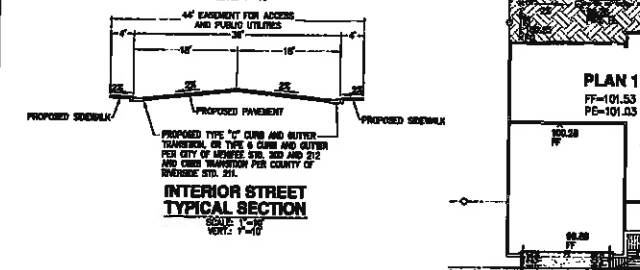




**MCLAUGHLIN ROAD TYPICAL SECTION**  
GENERAL LOCAL PER CITY OF MENIFEЕ STD. 115  
SCALE:  
HORIZ. 1" = 10'  
VERT. 1" = 10'



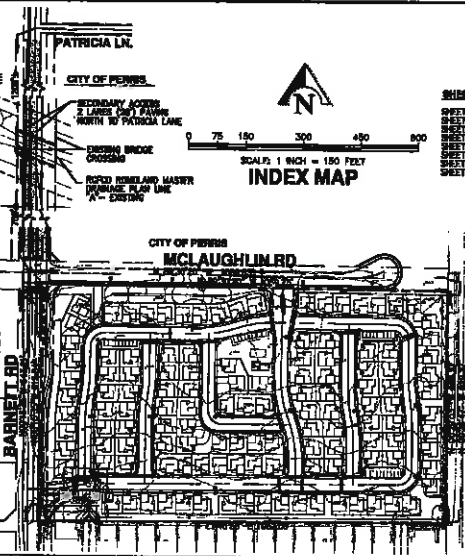
**SUN CITY BLVD. / BARNETT ROAD (SOUTH) TYPICAL SECTION**  
SECONDARY PER CITY OF MENIFEЕ STD. 111  
SCALE:  
HORIZ. 1" = 10'  
VERT. 1" = 10'



**INTERIOR STREET TYPICAL SECTION**  
SCALE:  
VERT. 1" = 10'



**BARNETT ROAD (NORTH) TYPICAL SECTION**  
NORTH OF MCLAUGHLIN ROAD  
SCALE:  
HORIZ. 1" = 10'  
VERT. 1" = 10'



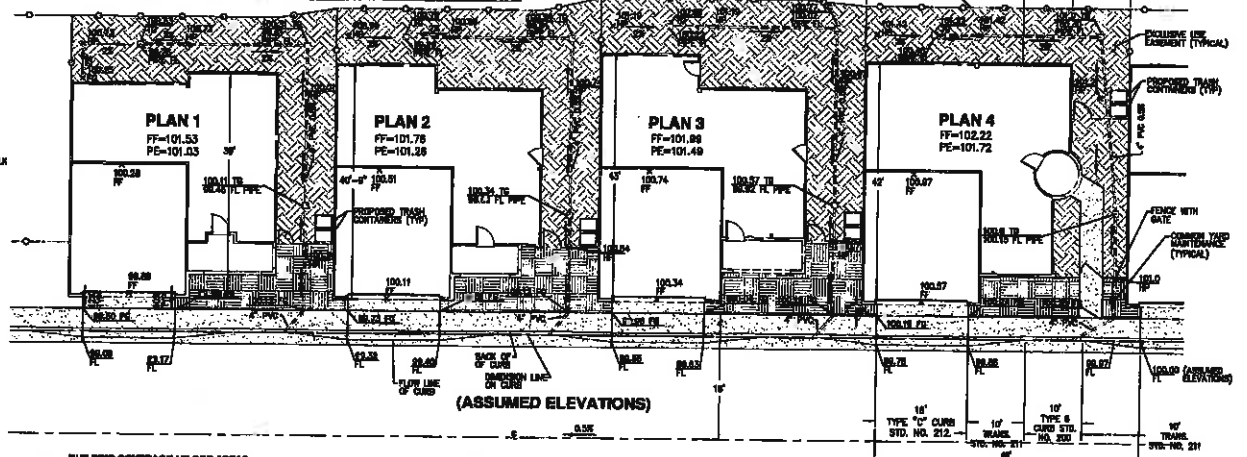
**INDEX MAP**  
SCALE: 1" = 150 FEET

**SHEET INDEX**

SHEET 1	TITLE SHEET
SHEET 2	PRELIMINARY GRADING
SHEET 3	WATER AND SEWER
SHEET 4	PAVING AND WALKWAY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 6	LANDSCAPE AREAS
SHEET 7	LANDSCAPE AREAS

**INTERIOR STORAGE (CLF)**

STORAGE	OPT. STORAGE	LIBREN	UNDER-STAIR STORAGE	CLOSET STORAGE	TOTAL
PLAN 1	280	0	40	180	600
PLAN 2	280	0	40	260	780
PLAN 3	280	0	75	80	635
PLAN 4	280	140	75	40	625



**TYPICAL UNIT DETAIL**  
SCALE: 1/4" = 1'-0"

**BUILDING COVERAGE / FLOOR AREAS**

PLAN 1		PLAN 2		PLAN 3		PLAN 4	
AREA	SF	AREA	SF	AREA	SF	AREA	SF
1ST FLOOR	747 SF	1ST FLOOR	776 SF	1ST FLOOR	760 SF	1ST FLOOR	816 SF
2ND FLOOR	1,074 SF	2ND FLOOR	1,047 SF	2ND FLOOR	1,047 SF	2ND FLOOR	1,140 SF
TOTAL	1,821 SF	TOTAL	1,823 SF	TOTAL	1,807 SF	TOTAL	1,956 SF
GARAGE	1,024 SF	GARAGE	1,023 SF	GARAGE	1,023 SF	GARAGE	1,023 SF
PORCH	91 SF	PORCH	87 SF	PORCH	83 SF	PORCH	83 SF
BUILDING COVERAGE	1,322 SF	BUILDING COVERAGE	1,330 SF	BUILDING COVERAGE	1,331 SF	BUILDING COVERAGE	1,404 SF

**MAINTENANCE NOTES**  
ALL LANDSCAPING EXCEPT EXCLUSIVE USE NEAR YARD AREAS  
RECREATION AREA  
ELECTRIC  
WATER QUALITY BASIN  
ON-SITE WASTEWATER FACILITIES  
SCOURING WATER SYSTEM  
RECYCLED WATER SYSTEM  
SEWAGE COLLECTION SYSTEM  
LANDSCAPE PLAN  
LANDSCAPING AREAS  
LANDSCAPING AREAS

**APPLICANT / OWNERS:**  
MCLAUGHLIN APARTMENTS LLC  
2007 WEST BELL ST. SUITE 200  
CULVER, CA 92024  
TEL. (951) 622-8048

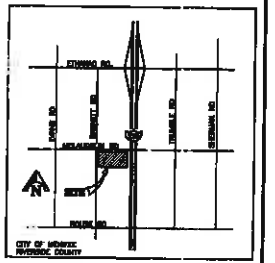
**PREPARED BY:**  
W.J. MCKEEVER, INC.  
100 S. WASHINGTON STREET, SUITE 200  
CULVER, CA 92024  
TEL. (951) 622-8048

**NOTICE:**

- ASSESSOR'S PARCEL NUMBER: 331-080-008
- PAGE 1 CONTAINS 14.38 AC
- PAGE 2 CONTAINS 14.38 AC
- THERE ARE NO EXISTING BUILDINGS LOCATED ON THIS SITE.
- THOMAS BROTHERS COORDINATOR 830 C-2
- EXISTING ZONING = RT-14/000
- PROPOSED ZONING = S3
- EXISTING LAND USE = RESIDENTIAL 61 - 14 DU/AC
- PROPOSED LAND USE = RESIDENTIAL 61-14 DU/AC
- THIS PROJECT IS NOT WITHIN AN EXISTING SPECIFIC PLAN
- WATER SERVICE: EASTERN MUNICIPAL WATER DIST.
- SEWER SERVICE: EASTERN MUNICIPAL WATER DIST.
- NATURAL GAS BY: SO CAL GAS
- ELECTRICAL SERVICES BY: SO CAL Edison CO.
- TELEPHONE & CABLE SERVICE BY: MEDIA COOL COMMUNICATIONS CORP.
- THE SITE IS WITHIN THE RIMOLA AND PENNS WAGON HIGH SCHOOL DISTRICT
- THIS TRACT IS WITHIN HOMELAND III - STREET LIGHTING - CSA.
- TOPO SOURCE AERIAL MAPPING BY INVERNE COUNTY PLANNING CONTROL DATED 3/10/2004 & FIELD TOPO SURVEY.
- THIS PROPERTY IS NOT SUBJECT TO LULULETION OR OTHER GEOTECHNICAL HAZARD, OR WITHIN A SPECIAL STUDIES ZONE.
- THIS PROPERTY IS NOT SUBJECT TO CHOPWALK, MANDATORY OR FLOOD HAZARD.
- THERE ARE NO KNOWN EXISTING WELLS ON THE PROPERTY.
- THE TRACT SHALL COMPLY WITH SPECIFIC SUPPLEMENT 7A REQUIREMENTS.
- ALL STREET SECTIONS AND PAVEMENT THICKNESS SHALL MEET MINIMUM REQUIREMENTS SET FORTH BY THE CITY OF MENIFEЕ STANDARD PLANS AND SPECIFICATIONS.

**BUILDING SUMMARY:**  
PLAN 1: 1161 SF (2 BEDROOM / 3 BATH) 28 UNITS  
PLAN 2: 1161 SF (2 BEDROOM / 3 BATH) 28 UNITS  
PLAN 3: 1161 SF (2 BEDROOM / 3 BATH) 28 UNITS  
PLAN 4: 2050 SF (4 BEDROOM / 3 BATH) 37 UNITS  
TOTAL UNITS: 128 UNITS

**ANALYSIS CALCULATIONS:**  
GROSS AREA: 14,776 ACRES  
NET AFTER DEDUCTIONS: 14.38 ACRES  
GROSS DENSITY: 128 UNITS = 8.8 DU/AC  
NET DENSITY: 128 UNITS = 8.8 DU/AC



**NEIGHBORHOOD MAP**  
N.T.S.

**W.J. MCKEEVER, INC.**  
CIVIL ENGINEERING  
100 S. WASHINGTON STREET, SUITE 200 CULVER, CA 92024  
PHONE: 951-622-8048 FAX: (951) 622-8048

PREPARED BY: WILLIAM J. MCKEEVER  
R.C.S. No. 22922  
DATE: \_\_\_\_\_

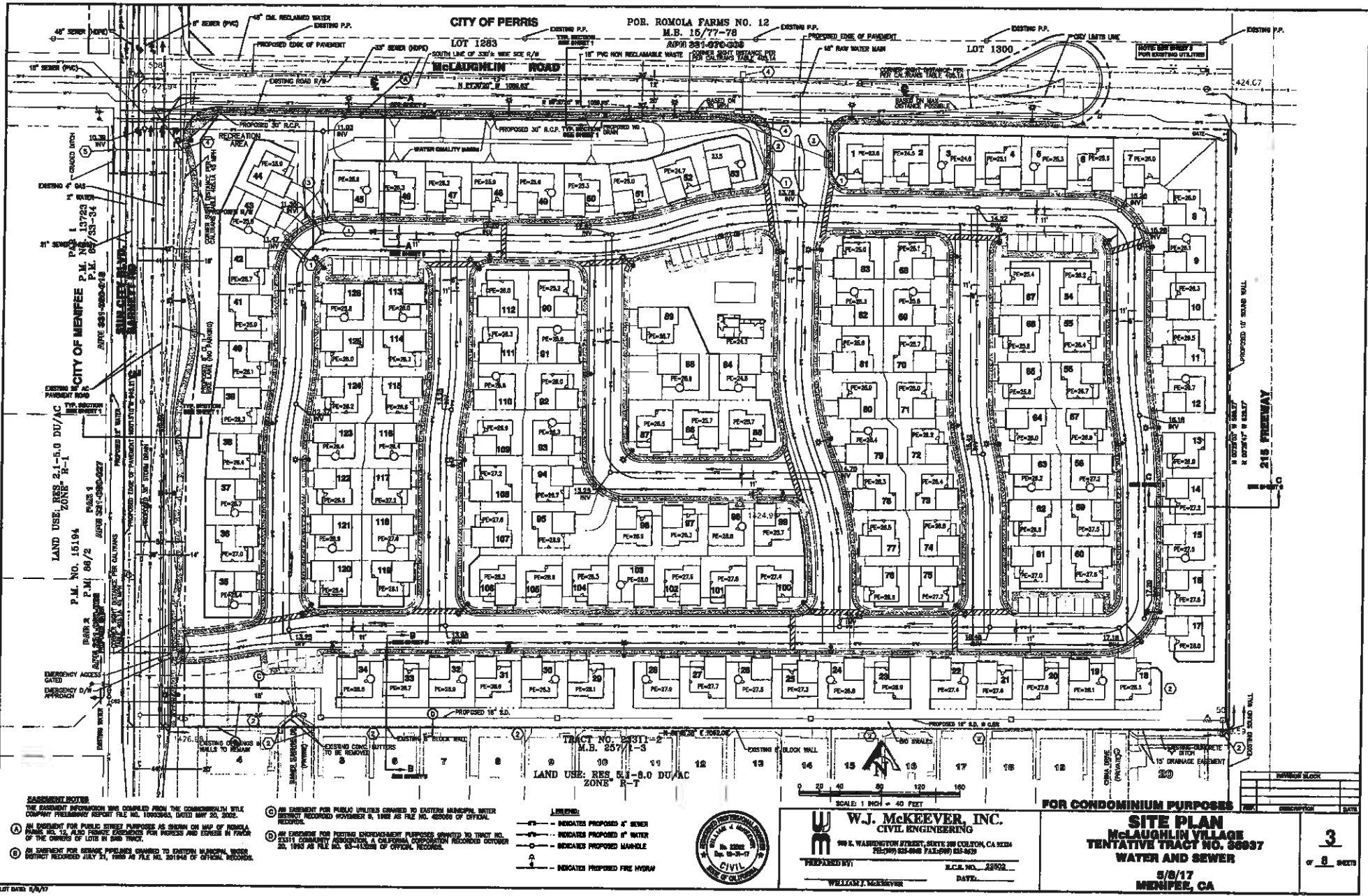
**FOR CONDOMINIUM PURPOSES**

**SITE PLAN**  
**McLaughlin Village**  
**TENTATIVE TRACT NO. 36937**  
**TITLE SHANT**

5/8/17  
MINIPEE, CA

1 OF 8 SHEETS





CITY OF PERRIS POR. ROMOLA FARMS NO. 12 M.B. 15/77-78

LAND USE, RES. 2.1-5.0 DU/AC ZONE R-1 P.M. NO. 15194

TRACT NO. 25717-2 M.B. 2577-5 LAND USE, RES. 5.1-8.0 DU/AC ZONE R-T

- SUBMITTAL NOTES**
- 1. THE EXISTING INFORMATION WAS OBTAINED FROM THE COMMERCIAL TITLE COMPANY PRELIMINARY REPORT FILE NO. 11003645, DATED MAY 20, 2002.
  - 2. AN AGREEMENT FOR PUBLIC UTILITIES SERVICES AS SHOWN ON MAP OF PERRIS, CALIF. IS TO BE PROVIDED BY THE CITY OF PERRIS TO THE DEVELOPER AND TO THE OWNERS OF LOTS IN THIS TRACT.
  - 3. AN AGREEMENT FOR SEWER PIPELINES CHANGED TO EASTERN MANHOLE RECORDS NOT RECORDED JULY 31, 1983 AS FILE NO. 92-413508 OF OFFICIAL RECORDS.
  - 4. AN AGREEMENT FOR PUBLIC UTILITIES CHANGED TO EASTERN MANHOLE RECORDS NOT RECORDED NOVEMBER 9, 1988 AS FILE NO. 482005 OF OFFICIAL RECORDS.
  - 5. AN AGREEMENT FOR FLOOD ENHANCEMENT PURPOSES GRANTED TO TRACT NO. 25717-2 EXISTING COMMUNITY ASSOCIATION A CALIFORNIA CORPORATION RECORDED OCTOBER 20, 1983 AS FILE NO. 92-413508 OF OFFICIAL RECORDS.

- LEGEND**
- INDICATES PROPOSED 6" SEWER
  - INDICATES PROPOSED 8" WATER
  - INDICATES PROPOSED MANHOLE
  - INDICATES PROPOSED FIRE HYDRANT



**W.J. McKEEVER, INC.**  
CIVIL ENGINEERING  
900 N. WASHINGTON STREET, SUITE 200 COLTON, CA 95307  
TEL: (925) 832-8866 FAX: (925) 832-8639  
PREPARED BY: WILLIAM J. McKEEVER  
DATE: 5/8/17

**FOR CONDOMINIUM PURPOSES**  
**SITE PLAN**  
**McLAUGHLIN VILLAGE**  
**TENTATIVE TRACT NO. 36897**  
**WATER AND SEWER**  
5/8/17  
MENEFEE, CA

CITY OF PERRIS

FOR ROMOLA FARMS NO. 18

LOT 1283

THE BOTTOM SHEET

M.B. 15/77-78

APR 281-030-038

LOT 1300

McLAUGHLIN ROAD

N. 100' W. 102.14'

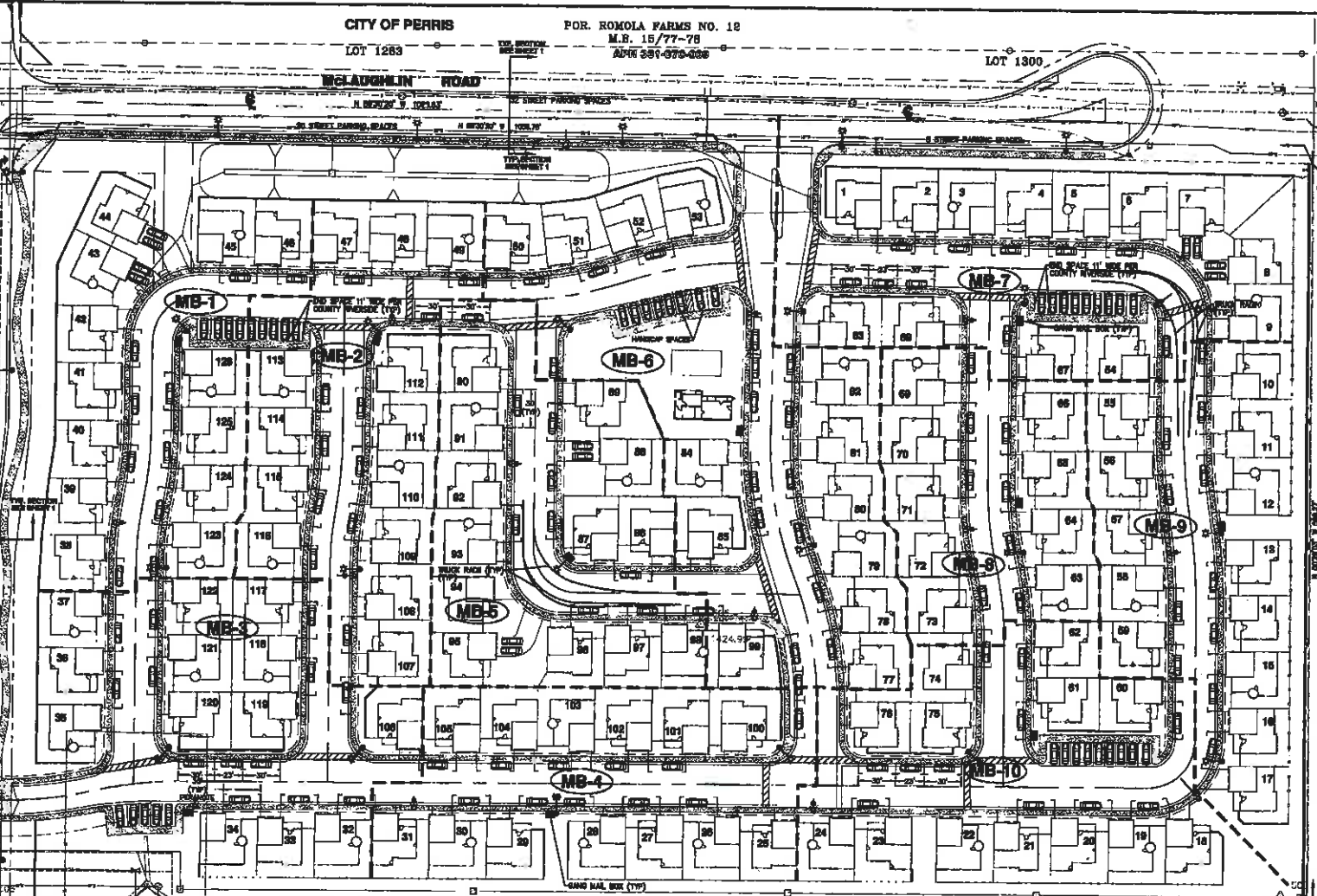
N. 100' W. 102.14'

1424.07

CITY OF MENEFEE PAR 1  
P.M. NO. 15194  
P.M. NO. 15723  
P.M. 66/83-84  
APR 281-030-038

LAND USE: RRS 2.1-5.0 DU/AC  
ZONE R-1

PAR 2 P.M. NO. 15194  
P.M. 66/83-84  
APR 281-030-038



TRACT NO. 2671-2

M.B. 2671-3

LAND USE: RRS 6.1-8.0 DU/AC  
ZONE R-7

**PARKING SUMMARY:**

REQUIRED PARKING: 126 UNITS @ 2.75 = 347 SPACES  
PROPOSED PARKING: 352 SPACES  
GARAGE: 40 SPACES  
BIKEEZ: 122 SPACES  
DRIVEWAYS: 22 SPACES  
TOTAL PROVIDED: 514 SPACES

NOTE: ALL PARALLEL AND PARKING SPACES ARE SHOWN AND ALL OTHER PARKING PARALLEL PARKING SPACES BETWEEN DRIVEWAYS ARE SHOWN.

MAIL BOX NUMBER	ASSIGNED UNITS
1	25-26, 122-123
2	107-108, 43-44
3	35-37, 117-122, 100
4	25-26, 100-103
5	80-85, 90-91
6	77-80, 81-85, 88
7	80-83
8	1-2, 54, 57, 60, 63
9	64-66, 69-70
10	10-12, 85-86
	15-20, 90-93, 24-28



SCALE: 1 INCH = 40 FEET

NOT DATE 5/8/17



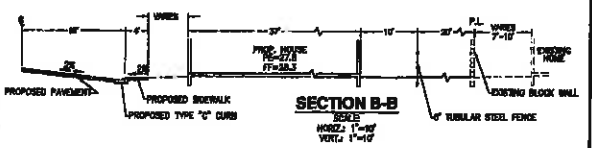
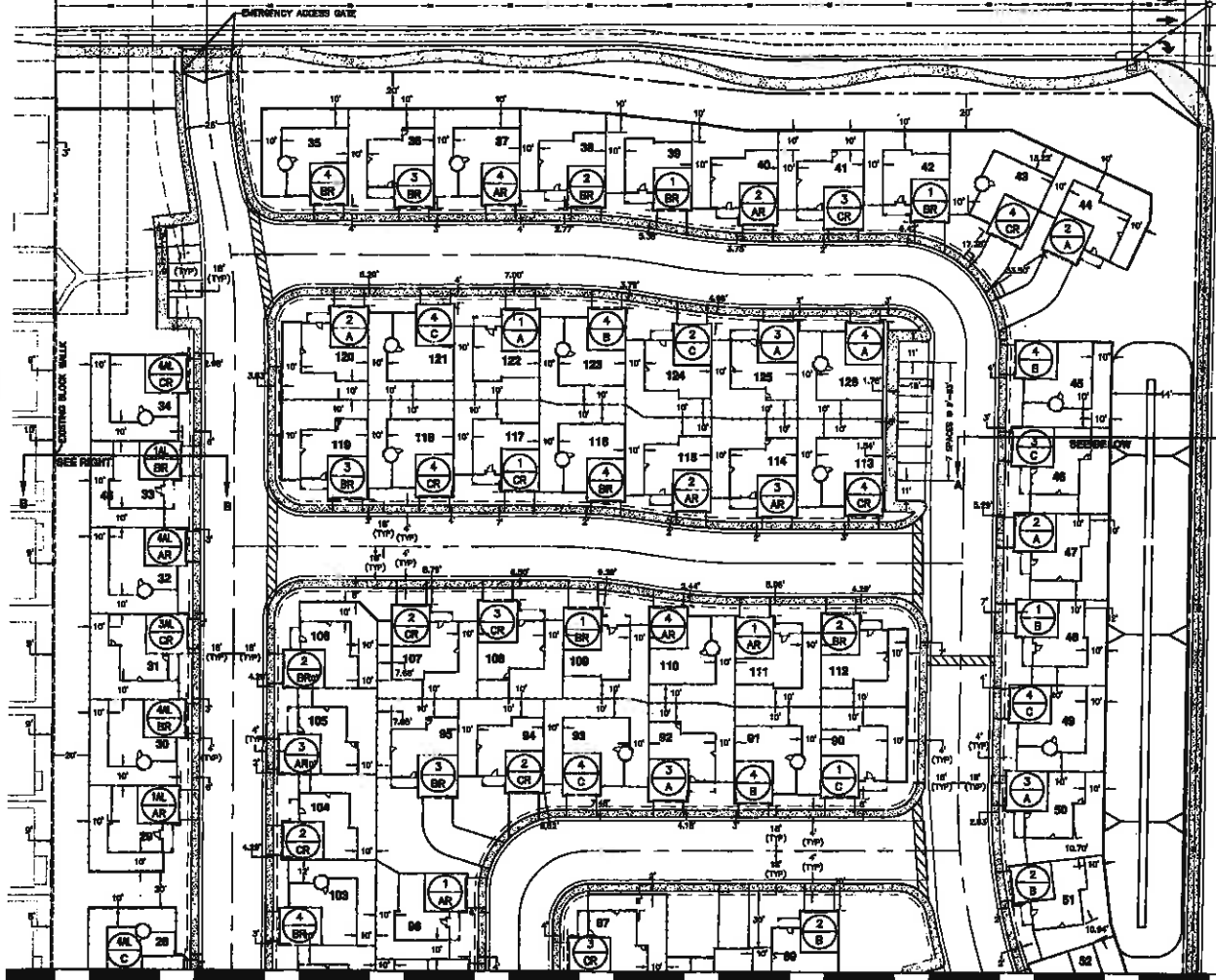
**W.J. McKEEVER, INC.**  
CIVIL ENGINEERING  
300 E. WASHINGTON STREET, SUITE 200 COLTON, CA 92324  
(760) 825-0400 FAX (760) 825-4639  
PREPARED BY: WILLIAM J. McKEEVER DATE: 5/8/17  
E.C.A. NO. 22529

**FOR CONDOMINIUM PURPOSES**

**SITE PLAN**  
McLAUGHLIN VILLAGE  
TENTATIVE TRACT NO. 36937  
PARKING AND MAIL BOX PLAN  
5/8/17  
MENEFEE, CA

CITY OF MENEFEE

SUN CITY BLVD. / BARNETT ROAD



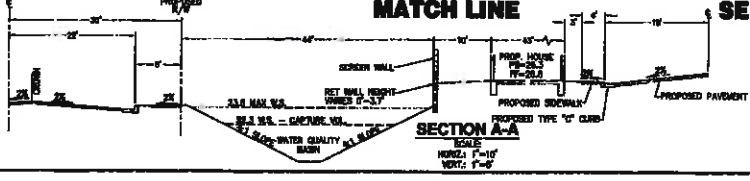
CITY OF PERRIS

McLAUGHLIN ROAD



SCALE: 1 INCH = 30 FEET

MATCH LINE SEE SHEET 6

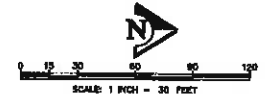
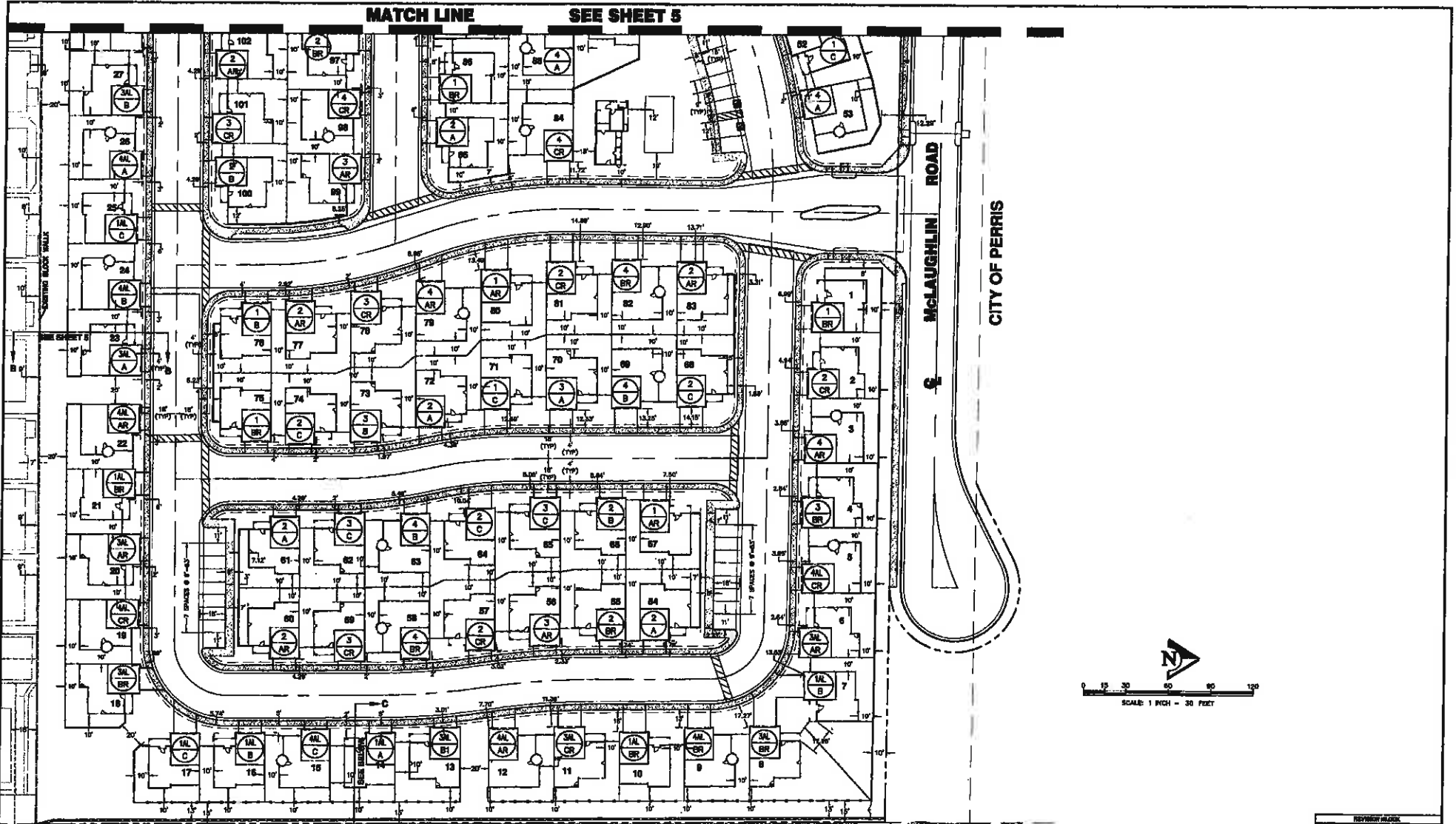


**W.J. McKEEVER, INC.**  
 CIVIL ENGINEERING  
 991 K. WASHINGTON BLVD., SUITE 200 COSTON, CA 92524  
 PH: (951) 832-8848 FAX: (951) 832-8859  
 PREPARED BY: WILLIAM J. McKEEVER R.C.R. NO. 22522 DATE: \_\_\_\_\_

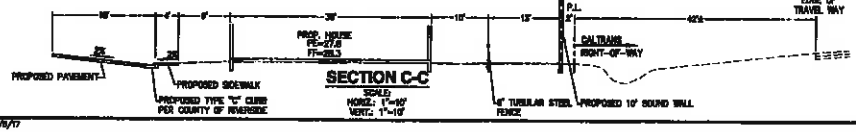
**FOR CONDOMINIUM PURPOSES**  
**SITE PLAN**  
**McLAUGHLIN VILLAGE**  
**TENTATIVE TRACT NO. 36837**  
**HOUSE SETBACKS & DIMENSION PLAN**  
 5/8/17  
 MENEFEE, CA

5  
 of 8 SHEETS

MATCH LINE SEE SHEET 5



215 FREEWAY



**W.J. McKEEVER, INC.**  
 CIVIL ENGINEERING  
 300 E. WASHINGTON STREET, SUITE 200 COLTON, CA 92324  
 TEL: (951) 852-9946 FAX: (951) 852-9629  
 PREPARED BY: WILLIAM J. McKEEVER  
 R.C.E. NO. 22802  
 DATE: \_\_\_\_\_

**FOR CONDOMINIUM PURPOSES**

**SITE PLAN**  
**McLAUGHLIN VILLAGE**  
**TENTATIVE TRACT NO. 38837**  
**HOUSE SETBACKS & DIMENSION PLAN**

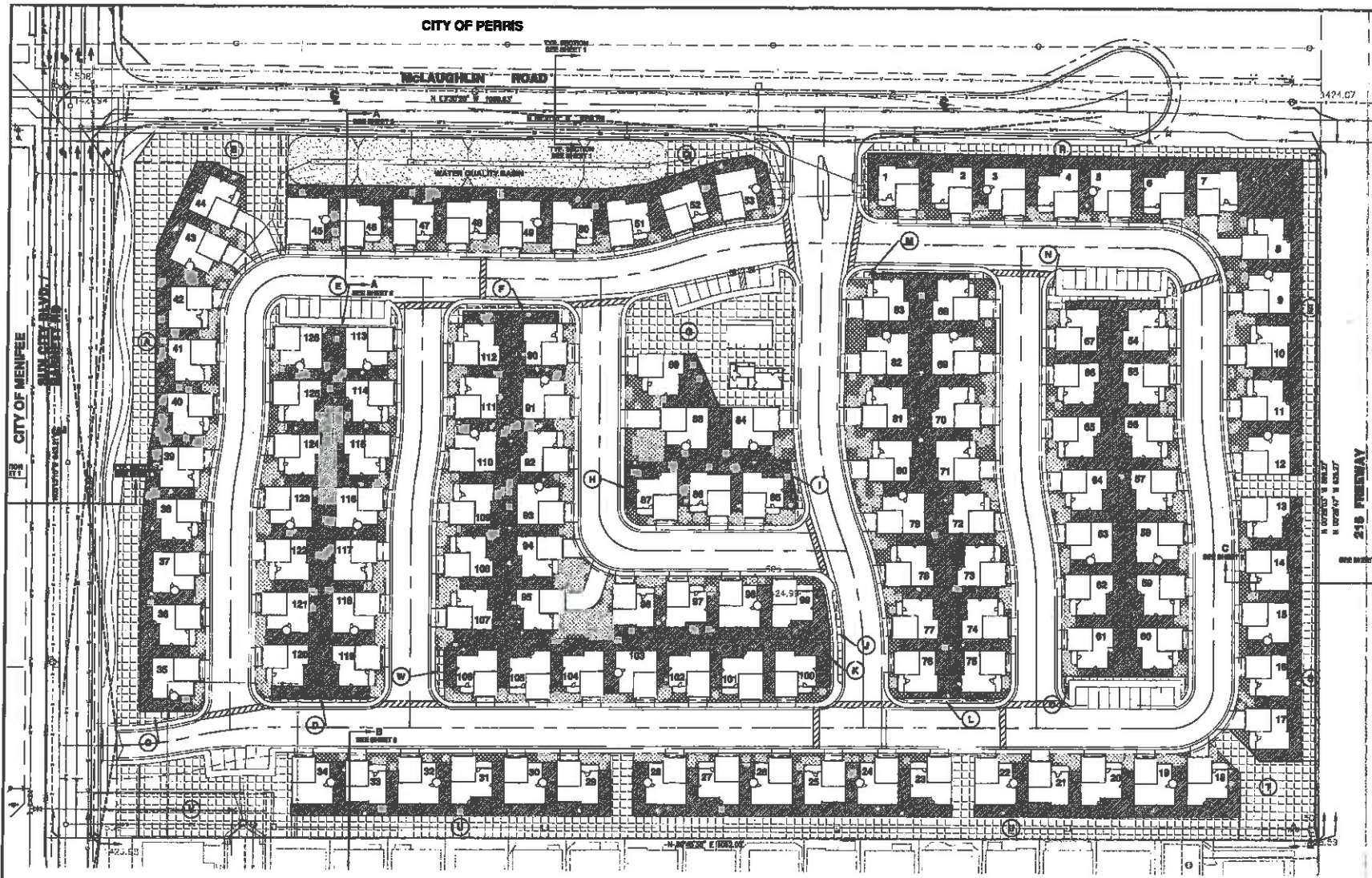
6  
 of 8 SHEETS

5/8/17  
 MENIFEE, CA

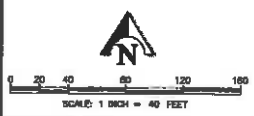
CITY OF PERRIS

McLAUGHLIN ROAD

424.07



- LANDSCAPE LEGEND:**
- INDICATES COMMON FRONT YARD
  - INDICATES PRIVATE REAR YARD
  - INDICATES LANDSCAPE SEWAGE AND OPEN SPACE AREA
  - INDICATES WATER QUALITY BASIN
- NOTE: SEE SHEET B FOR S.F. AREA TABLES



PLAT DATE: 6/4/17



**W.J. McKEEVER, INC.**  
 CIVIL ENGINEERING  
 990 N. WASHINGTON STREET, SUITE 200 COLTON, CA 92324  
 TEL: (951) 625-0041 FAX: (951) 625-6139

PREPARED BY: WILLIAM J. McKEEVER DATE: 5/8/17  
 S.C.E. NO. 22832

**FOR CONDOMINIUM PURPOSES**

**SITE PLAN**  
**McLAUGHLIN VILLAGE**  
**TENTATIVE TRACT NO. 36937**  
**LANDSCAPE AREAS**

5/8/17  
 MENEFEE, CA

REV.	DESCRIPTION	DATE

7  
 OF 8 SHEETS

**FRONT AND REAR YARD AREAS  
BUILDING AND DRIVEWAY COVERAGE**

UNIT	FRONT REAR YARD	COMMON FRONT YARD	HOUSE COVERAGE	DRIVEWAY COVERAGE	TOTAL COVERAGE
1	738.00 SF	210.00 SF	1,302.00 SF	114.77 SF	2,465.77 SF
2	870.64 SF	338.10 SF	1,302.00 SF	85.80 SF	2,596.54 SF
3	875.04 SF	236.30 SF	1,404.00 SF	81.30 SF	2,596.64 SF
4	912.72 SF	299.29 SF	1,361.00 SF	45.36 SF	2,577.37 SF
5	876.04 SF	231.22 SF	1,404.00 SF	81.30 SF	2,577.56 SF
6	912.72 SF	299.29 SF	1,361.00 SF	64.29 SF	2,598.30 SF
7	2,305.21 SF	308.18 SF	1,802.00 SF	244.95 SF	4,660.34 SF
8	1,828.47 SF	277.73 SF	1,361.00 SF	264.02 SF	3,691.22 SF
9	857.80 SF	607.83 SF	1,404.00 SF	208.00 SF	3,077.63 SF
10	796.83 SF	602.54 SF	1,302.00 SF	256.00 SF	2,977.37 SF
11	894.58 SF	609.51 SF	1,361.00 SF	188.53 SF	2,983.62 SF
12	857.80 SF	478.80 SF	1,404.00 SF	146.83 SF	2,887.43 SF
13	894.58 SF	240.00 SF	1,361.00 SF	45.80 SF	2,546.38 SF
14	796.83 SF	298.30 SF	1,302.00 SF	80.33 SF	2,477.46 SF
15	857.80 SF	196.21 SF	1,404.00 SF	32.00 SF	2,489.11 SF
16	796.83 SF	308.36 SF	1,302.00 SF	80.00 SF	2,527.19 SF
17	789.76 SF	388.22 SF	1,302.00 SF	218.00 SF	2,697.98 SF
18	887.14 SF	367.49 SF	1,302.00 SF	121.33 SF	2,677.96 SF
19	857.80 SF	224.24 SF	1,404.00 SF	48.00 SF	2,534.04 SF
20	908.26 SF	343.76 SF	1,302.00 SF	82.00 SF	2,636.24 SF
21	755.96 SF	318.29 SF	1,302.00 SF	82.00 SF	2,458.25 SF
22	858.88 SF	325.41 SF	1,404.00 SF	48.00 SF	2,636.29 SF
23	894.58 SF	248.00 SF	1,361.00 SF	32.00 SF	2,537.58 SF
24	857.80 SF	225.45 SF	1,404.00 SF	48.00 SF	2,535.24 SF
25	796.83 SF	195.04 SF	1,302.00 SF	80.00 SF	2,373.87 SF
26	857.80 SF	118.79 SF	1,404.00 SF	48.00 SF	2,528.69 SF
27	894.58 SF	248.00 SF	1,361.00 SF	32.00 SF	2,537.58 SF
28	857.80 SF	110.21 SF	1,404.00 SF	48.00 SF	2,420.11 SF
29	796.83 SF	318.17 SF	1,302.00 SF	80.00 SF	2,515.00 SF
30	857.80 SF	225.45 SF	1,404.00 SF	48.00 SF	2,535.24 SF
31	948.97 SF	187.41 SF	1,302.00 SF	32.00 SF	2,570.38 SF
32	857.80 SF	215.79 SF	1,404.00 SF	48.00 SF	2,525.69 SF
33	796.83 SF	325.04 SF	1,302.00 SF	80.00 SF	2,513.87 SF
34	857.80 SF	225.45 SF	1,404.00 SF	48.00 SF	2,535.24 SF
35	857.80 SF	225.45 SF	1,404.00 SF	64.00 SF	2,551.25 SF
36	894.58 SF	279.18 SF	1,361.00 SF	48.00 SF	2,582.76 SF
37	857.80 SF	246.29 SF	1,404.00 SF	64.00 SF	2,572.19 SF
38	912.68 SF	259.81 SF	1,302.00 SF	50.30 SF	2,524.80 SF
39	894.58 SF	271.28 SF	1,302.00 SF	116.96 SF	2,584.82 SF
40	915.08 SF	268.49 SF	1,302.00 SF	68.30 SF	2,573.87 SF
41	894.58 SF	247.78 SF	1,361.00 SF	32.00 SF	2,538.34 SF
42	796.83 SF	326.35 SF	1,302.00 SF	148.38 SF	2,583.57 SF
43	1,288.38 SF	414.30 SF	1,404.00 SF	344.88 SF	3,448.56 SF
44	1,136.30 SF	608.83 SF	1,302.00 SF	210.54 SF	3,257.67 SF
45	857.80 SF	246.29 SF	1,404.00 SF	84.00 SF	2,572.29 SF
46	884.58 SF	277.48 SF	1,302.00 SF	48.00 SF	2,512.06 SF
47	832.90 SF	332.70 SF	1,302.00 SF	48.00 SF	2,515.60 SF
48	796.83 SF	394.79 SF	1,302.00 SF	32.00 SF	2,527.62 SF
49	857.80 SF	246.29 SF	1,404.00 SF	64.00 SF	2,551.61 SF
50	948.97 SF	327.41 SF	1,302.00 SF	42.27 SF	2,620.65 SF
51	927.22 SF	261.88 SF	1,302.00 SF	48.51 SF	2,539.63 SF
52	857.80 SF	246.29 SF	1,302.00 SF	32.33 SF	2,537.42 SF
53	797.83 SF	225.51 SF	1,404.00 SF	35.16 SF	2,462.30 SF
54	1,228.01 SF	295.12 SF	1,302.00 SF	50.47 SF	3,000.60 SF
55	844.97 SF	386.09 SF	1,302.00 SF	30.87 SF	2,563.93 SF
56	857.80 SF	312.43 SF	1,361.00 SF	46.38 SF	2,597.61 SF
57	880.02 SF	372.27 SF	1,302.00 SF	72.09 SF	2,594.38 SF
58	894.58 SF	233.12 SF	1,404.00 SF	47.90 SF	2,580.46 SF
59	905.49 SF	230.77 SF	1,381.00 SF	30.00 SF	2,547.26 SF
60	730.25 SF	248.57 SF	1,302.00 SF	88.87 SF	2,369.69 SF
61	731.79 SF	265.91 SF	1,302.00 SF	68.87 SF	2,369.36 SF
62	887.87 SF	247.20 SF	1,361.00 SF	34.90 SF	2,530.97 SF
63	881.36 SF	270.09 SF	1,404.00 SF	114.90 SF	2,670.35 SF
64	876.72 SF	415.97 SF	1,302.00 SF	181.67 SF	2,786.37 SF

UNIT	PRIVATE REAR YARD	COMMON FRONT YARD	HOUSE COVERAGE	DRIVEWAY COVERAGE	TOTAL COVERAGE
65	521.85 SF	247.96 SF	1,361.00 SF	80.00 SF	2,212.81 SF
66	880.04 SF	343.63 SF	1,302.00 SF	33.47 SF	2,600.13 SF
67	1,188.28 SF	298.31 SF	1,802.00 SF	120.00 SF	3,808.59 SF
68	648.00 SF	315.44 SF	1,302.00 SF	226.45 SF	2,491.89 SF
69	848.36 SF	390.31 SF	1,404.00 SF	212.07 SF	2,854.74 SF
70	852.84 SF	348.26 SF	1,361.00 SF	157.28 SF	2,619.37 SF
71	818.33 SF	335.05 SF	1,302.00 SF	289.41 SF	2,744.79 SF
72	872.77 SF	316.00 SF	1,302.00 SF	100.17 SF	2,600.94 SF
73	934.76 SF	215.84 SF	1,361.00 SF	47.28 SF	2,558.86 SF
74	1,311.15 SF	283.33 SF	1,404.00 SF	32.00 SF	2,990.48 SF
75	882.85 SF	310.40 SF	1,302.00 SF	64.00 SF	2,559.25 SF
76	577.87 SF	281.76 SF	1,302.00 SF	44.01 SF	2,205.64 SF
77	1,248.57 SF	453.31 SF	1,361.00 SF	57.90 SF	3,063.77 SF
78	838.94 SF	478.78 SF	1,361.00 SF	69.87 SF	2,758.59 SF
79	804.17 SF	682.65 SF	1,404.00 SF	177.84 SF	3,068.66 SF
80	776.85 SF	298.21 SF	1,302.00 SF	254.54 SF	2,631.60 SF
81	854.25 SF	402.21 SF	1,302.00 SF	288.57 SF	2,847.03 SF
82	858.50 SF	315.27 SF	1,404.00 SF	263.25 SF	2,839.02 SF
83	648.00 SF	315.27 SF	1,302.00 SF	224.53 SF	2,490.80 SF
84	1,282.00 SF	308.51 SF	1,302.00 SF	100.87 SF	3,113.38 SF
85	796.83 SF	284.25 SF	1,302.00 SF	128.00 SF	2,411.08 SF
86	810.17 SF	238.34 SF	1,361.00 SF	64.00 SF	2,483.51 SF
87	858.08 SF	879.08 SF	1,404.00 SF	480.00 SF	3,701.16 SF
88	1,234.30 SF	636.98 SF	1,302.00 SF	180.00 SF	3,353.28 SF
89	797.12 SF	164.42 SF	1,302.00 SF	98.00 SF	2,361.54 SF
90	857.80 SF	238.90 SF	1,404.00 SF	48.00 SF	2,546.70 SF
91	857.80 SF	1,803.10 SF	1,361.00 SF	88.00 SF	3,036.90 SF
92	817.39 SF	318.95 SF	1,404.00 SF	118.70 SF	2,679.04 SF
93	852.50 SF	608.13 SF	1,302.00 SF	222.34 SF	2,984.97 SF
94	852.50 SF	1,434.68 SF	1,361.00 SF	770.87 SF	4,389.05 SF
95	838.34 SF	1,802.00 SF	1,302.00 SF	104.88 SF	3,947.22 SF
96	852.50 SF	215.79 SF	1,302.00 SF	48.00 SF	2,428.29 SF
97	852.50 SF	215.79 SF	1,302.00 SF	48.00 SF	2,428.29 SF
98	857.80 SF	215.79 SF	1,404.00 SF	48.00 SF	2,525.69 SF
99	858.08 SF	184.02 SF	1,361.00 SF	32.00 SF	2,345.10 SF
100	1,376.15 SF	284.16 SF	1,302.00 SF	68.67 SF	3,149.97 SF
101	894.58 SF	247.79 SF	1,361.00 SF	32.00 SF	2,538.34 SF
102	852.50 SF	230.83 SF	1,302.00 SF	58.67 SF	2,444.00 SF
103	857.80 SF	231.12 SF	1,404.00 SF	48.00 SF	2,530.02 SF
104	852.50 SF	292.54 SF	1,302.00 SF	68.67 SF	2,532.71 SF
105	894.58 SF	247.79 SF	1,361.00 SF	32.00 SF	2,538.34 SF
106	802.49 SF	281.42 SF	1,302.00 SF	68.67 SF	2,484.57 SF
107	1,170.49 SF	715.07 SF	1,302.00 SF	340.87 SF	3,528.43 SF
108	898.01 SF	386.78 SF	1,361.00 SF	204.00 SF	2,749.79 SF
109	808.30 SF	385.51 SF	1,302.00 SF	181.11 SF	2,576.92 SF
110	849.09 SF	328.90 SF	1,302.00 SF	95.84 SF	2,575.83 SF
111	951.81 SF	181.85 SF	1,302.00 SF	88.87 SF	2,524.53 SF
112	852.50 SF	181.85 SF	1,302.00 SF	88.87 SF	2,425.02 SF
113	857.80 SF	215.79 SF	1,404.00 SF	48.00 SF	2,525.69 SF
114	898.62 SF	243.70 SF	1,361.00 SF	52.00 SF	2,595.32 SF
115	886.71 SF	184.85 SF	1,302.00 SF	53.75 SF	2,430.31 SF
116	848.20 SF	198.15 SF	1,404.00 SF	48.35 SF	2,512.62 SF
117	796.83 SF	354.79 SF	1,302.00 SF	112.00 SF	2,545.62 SF
118	857.80 SF	346.29 SF	1,404.00 SF	64.00 SF	2,672.09 SF
119	894.58 SF	341.80 SF	1,361.00 SF	48.00 SF	2,644.38 SF
120	852.50 SF	284.80 SF	1,302.00 SF	84.87 SF	2,524.06 SF
121	857.80 SF	231.37 SF	1,404.00 SF	64.00 SF	2,577.17 SF
122	796.83 SF	354.79 SF	1,302.00 SF	112.00 SF	2,565.62 SF
123	846.14 SF	316.72 SF	1,404.00 SF	75.88 SF	2,648.72 SF
124	818.20 SF	444.37 SF	1,302.00 SF	90.33 SF	2,675.30 SF
125	880.15 SF	283.16 SF	1,361.00 SF	92.88 SF	2,548.24 SF
126	857.80 SF	215.79 SF	1,404.00 SF	48.00 SF	2,525.69 SF
TOTAL AREA	113,420.90 SF	42,508.51 SF	169,878.00 SF	13,791.58 SF	389,607.79 SF

**LANDSCAPE SETBACKS AND OPEN SPACE AREAS**

UNIT	OPEN SPACE
A	12,770.90 SF
B	4,244.11 SF
C	441.74 SF
D	395.64 SF
E	366.33 SF
F	900.07 SF
G	10,483.13 SF
H	97.70 SF
I	347.49 SF
J	381.45 SF
K	285.45 SF
L	354.03 SF
M	485.98 SF
N	1,781.48 SF
O	480.00 SF
P	2,598.57 SF
Q	4,720.19 SF
R	6,983.39 SF
T	6,494.07 SF
U	18,880.89 SF
V	9,540.32 SF
W	310.81 SF
TOTAL AREA	81,004.95 SF

WATER QUALITY BASIN	14,280.25 SF
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PRIVATE STREETS, SIDEWALKS AND PARKING AREAS	191,160.00 SF
--	---------------

**OPEN SPACE SUMMARY**

DESCRIPTION	AREA (SF)	PERCENTAGE (%)
COMMON LANDSCAPED OPEN SPACE	82,004.95 SF	12.08%
COMMON LANDSCAPED FRONT YARD OPEN SPACE	42,516.33 SF	6.28%
PRIVATE REAR YARD OPEN SPACE	115,400.90 SF	16.89%
LANDSCAPED WATER QUALITY BASIN	14,280.25 SF	2.27%
<b>SUBTOTAL OPEN SPACE</b>	<b>254,202.43 SF</b>	<b>40.22%</b>
BUILDING COVERAGE	169,878.00 SF	27.85%
PRIVATE STREETS, SIDEWALKS PARKING AND DRIVEWAYS	191,160.00 SF	32.93%
<b>SUBTOTAL COVERAGE</b>	<b>374,896.00 SF</b>	<b>59.78%</b>
<b>TOTAL</b>	<b>629,098.43 SF</b>	<b>100.00%</b>

DATE	DATE	DATE

**FOR CONDOMINIUM PURPOSES**

**SITE PLAN**  
McLAUGHLIN VILLAGE  
TENTATIVE TRACT NO. 36937  
**LANDSCAPE AREAS**

8/8/17  
MENIFEE, CA



**W.J. McKEEVER, INC.**  
CIVIL ENGINEERING

100 E. WASHINGTON STREET, SUITE 200 COLTON, CA 92334  
TEL: (951) 851-4000 FAX: (951) 851-4009

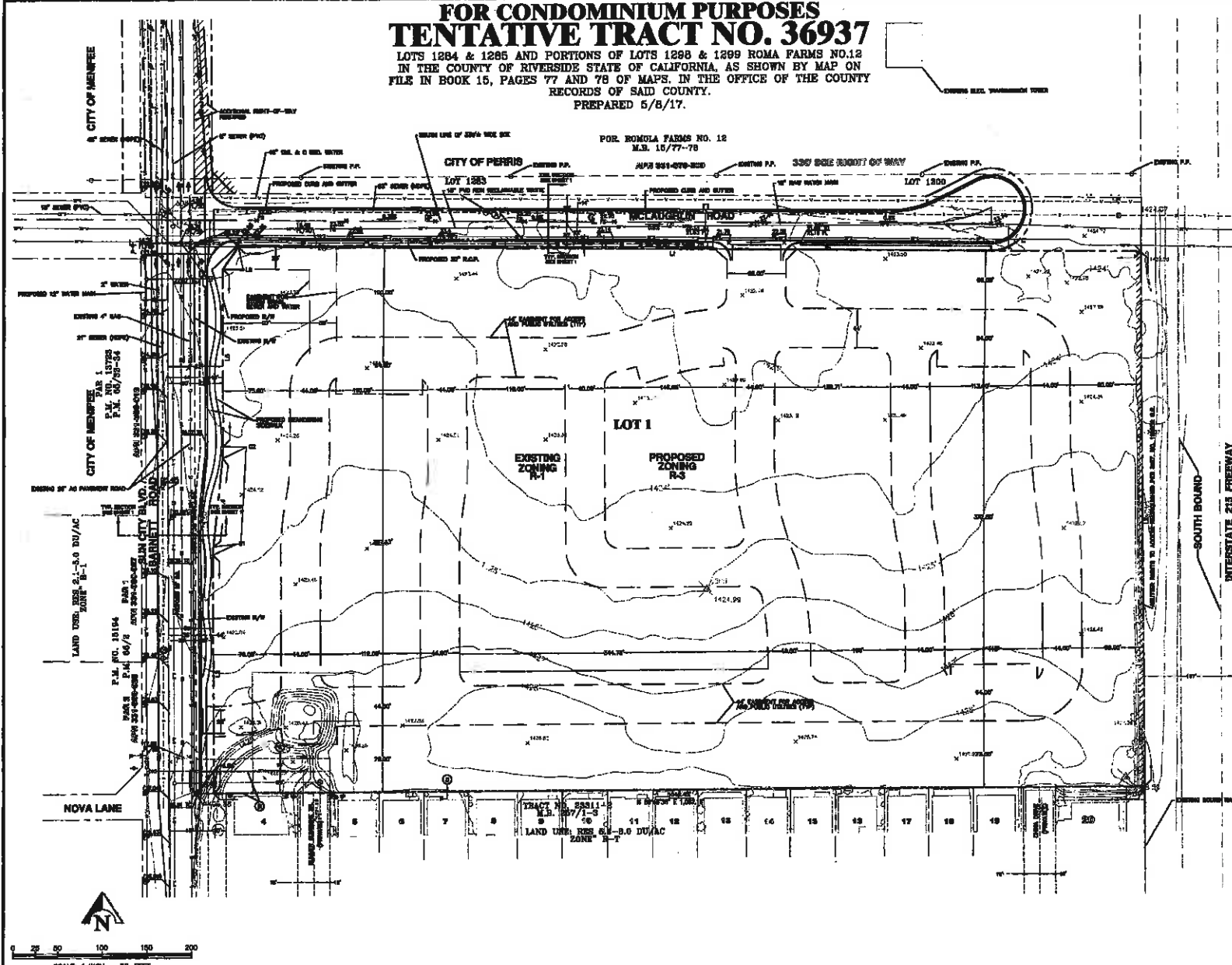
PREPARED BY: WILLIAM J. McKEEVER DATE: 8/8/17





# FOR CONDOMINIUM PURPOSES TENTATIVE TRACT NO. 36937

LOTS 1284 & 1285 AND PORTIONS OF LOTS 1288 & 1289 ROMA FARM NO.12  
IN THE COUNTY OF RIVERSIDE STATE OF CALIFORNIA, AS SHOWN BY MAP ON  
FILE IN BOOK 15, PAGES 77 AND 78 OF MAPS, IN THE OFFICE OF THE COUNTY  
RECORDS OF SAID COUNTY.  
PREPARED 5/8/17.



### REFERENCE NOTES

- THE STATEMENT INFORMATION WAS COMPILED FROM THE CONDOMINIUM TITLE COMPANY PRELIMINARY REPORT FILE NO. 10000060, DATED MAY 26, 2006.
- AN EASEMENT FOR PUBLIC STREET PURPOSES AS SHOWN ON MAP OF ROMA FARM NO. 12, 1920 FURNISH EASEMENTS FOR HIGHWAYS AND EASES IN FAVOR OF THE OWNERS OF LOTS IN SAID TRACT.
- AN EASEMENT FOR SERVICE PIPELINES GRANTED TO EASTERN MUNICIPAL WATER DISTRICT RECORDED JULY 21, 1988 AS FILE NO. 205948 OF OFFICIAL RECORDS.
- AN EASEMENT FOR PUBLIC UTILITIES GRANTED TO EASTERN MUNICIPAL WATER DISTRICT RECORDED NOVEMBER 8, 1982 AS FILE NO. 428098 OF OFFICIAL RECORDS.
- AN EASEMENT FOR FORMER ENCROACHMENT PURPOSES GRANTED TO TRACT NO. 22011 CONDOMINIUM PROJECTS, A CALIFORNIA CONDOMINIUM RECORDED OCTOBER 20, 1981 AS FILE NO. 95-412898 OF OFFICIAL RECORDS.

### LINE TABLE

L1	= N89°20'28" W	1010.00'
L2	= N82°15'00" W	298.57'
L3	= N02°15'00" W	488.37'
L4	= N82°15'00" W	68.71'
L5	= N82°15'00" W	183.00'
L6	= N34°22'01" E	30.41'

### CURVE TABLE

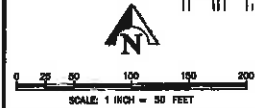
C1	L=3.86'
	R=22.00'
	A=89°15'01"
	T=4.80'
C2	L=12.84'
	R=18.00'
	A=09°15'01"
	T=3.47'

BOUND OF SERVICES FOR FINAL MAP SHALL BE BASED ON THE STATE COORDINATE SYSTEM

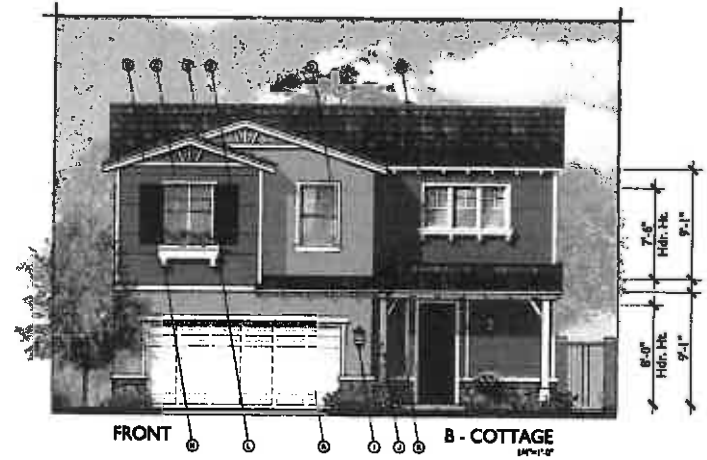
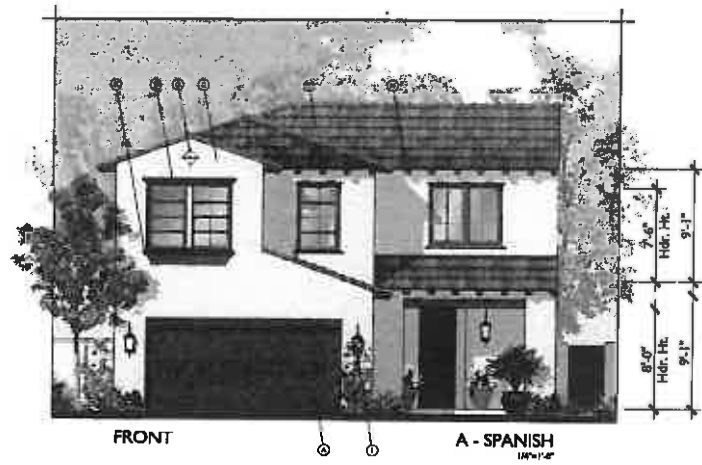
DATE 5/8/17

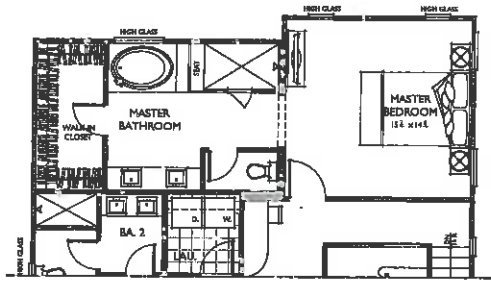


**W.J. McKEEVER, INC.**  
CIVIL ENGINEERING  
500 N. WASHINGTON STREET, SUITE 100  
COLTON, CALIFORNIA 92324  
TEL: (951) 851-5252



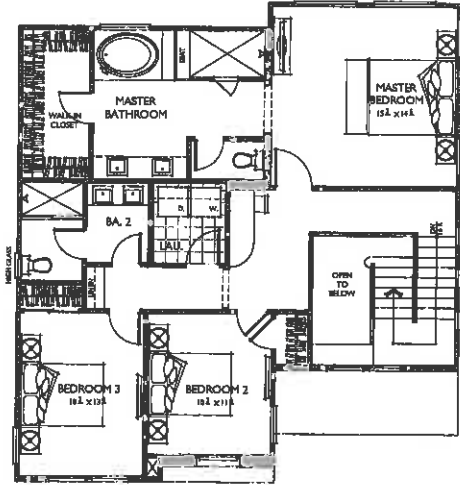
PLOT DATE: 5/8/17



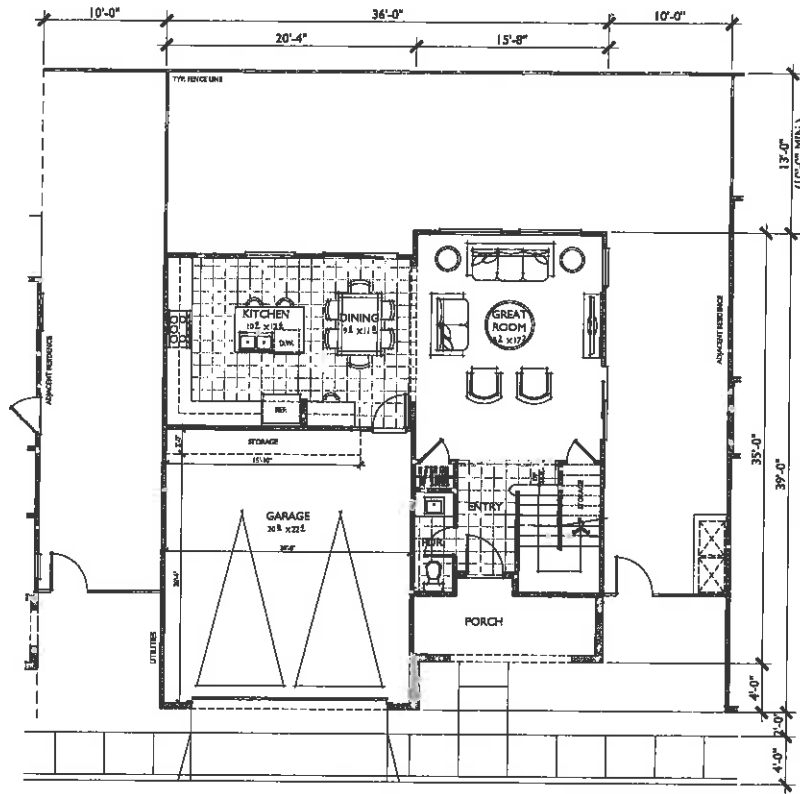


ALTERNATIVE SECOND FLOOR

6 SOUTH BOUNDARY LOTS



SECOND FLOOR



FIRST FLOOR

PLAN 1A  
 1,821 SQ. FT.  
 TARGET: 1,600 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	747 SQ. FT.
2ND FLOOR	1074 SQ. FT.
TOTAL	1,821 SQ. FT.
2 - CAR GARAGE	464 SQ. FT.
PORCH	91 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

Bassenian | Lagoni  
 ARCHITECTURE • PLANNING • INTERIORS

PLAN 1

Reflects Spanish Elevation

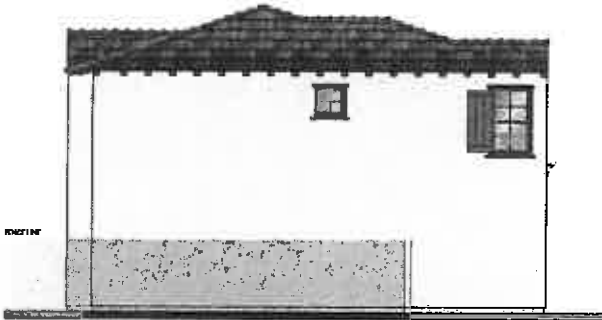
McLAUGHLIN, LLC - McLAUGHLIN VILLAGE

Menifee, CA

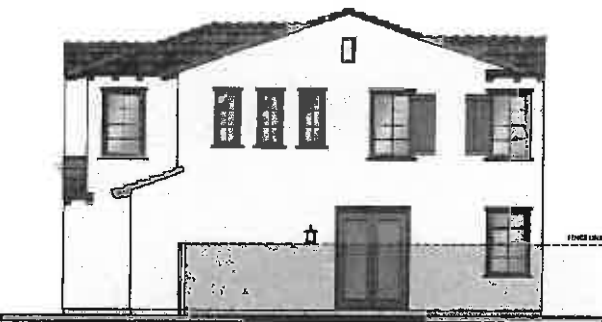
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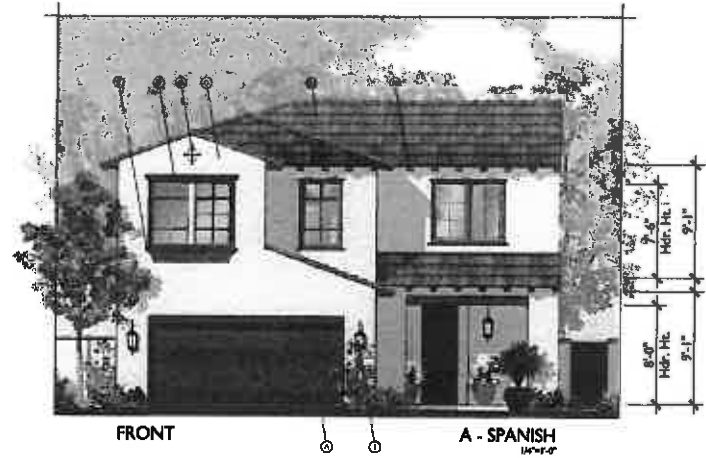
REAR



LEFT



RIGHT

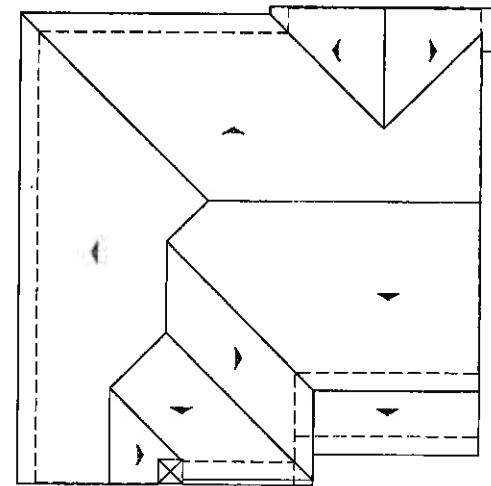


FRONT

A - SPANISH  
14'-0"

**MATERIALS LEGEND**

- |                           |                                |
|---------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR    | F. DECORATIVE SHUTTERS         |
| B. FOAM TRIM              | G. DECORATIVE GABLE END DETAIL |
| C. CONCRETE 'S' TILE ROOF | H. EXPOSED RAFTER TAILS        |
| D. SAND FINISH STUCCO     | L. DECORATIVE COACH LIGHTS     |
| E. SLOPED STUCCO SILL     |                                |



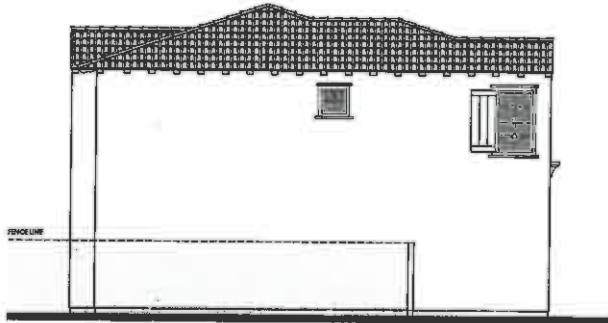
ROOF PLAN

PITCH: 4/12  
RAISE: 1"  
SPAN: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE

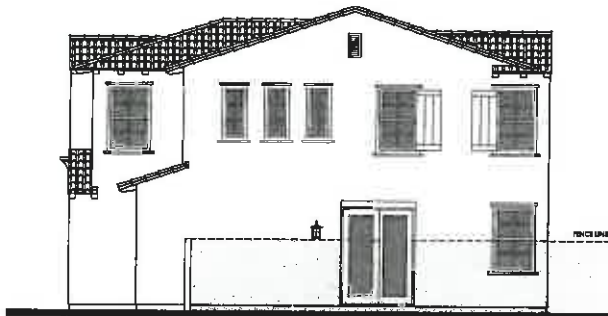
A



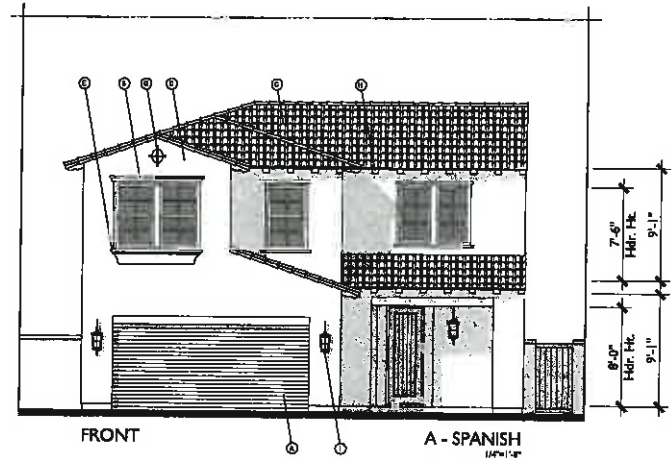
REAR



LEFT



RIGHT

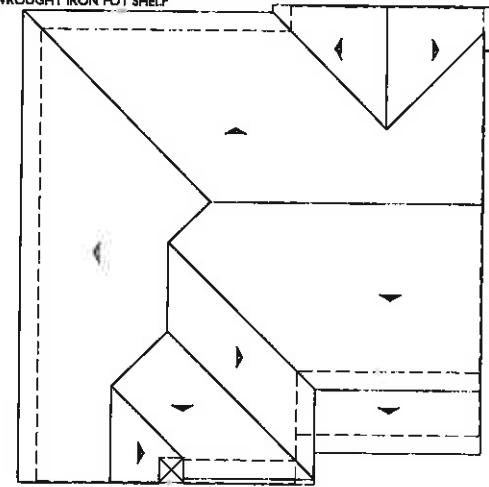


FRONT

A - SPANISH

**MATERIALS LEGEND**

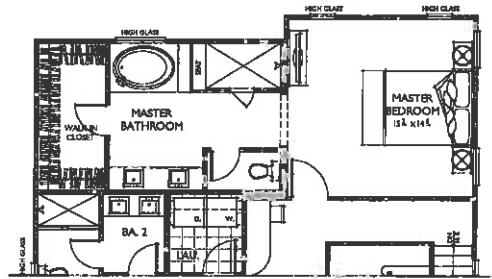
- FOAM TRIM
- SLOPED STUCCO SILL
- CONCRETE T'S TILE ROOF
- SAND FINISH STUCCO
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- 4X6 EXPOSED RAFTER TAILS
- DECORATIVE RECESSED STUCCO ACCENT
- STUCCO OVER SHAPED FOAM AT ENTRY
- DECORATIVE COACH LIGHTS



ROOF PLAN

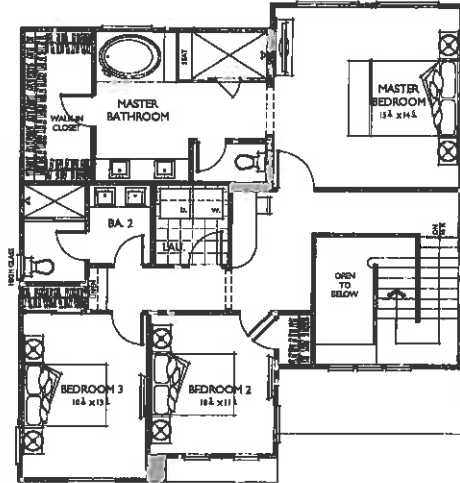
PITCH: 6/12  
 RAKE: 1"  
 GABLE: 18"  
 ROOF MATERIAL: CONCRETE T'S TILE

A

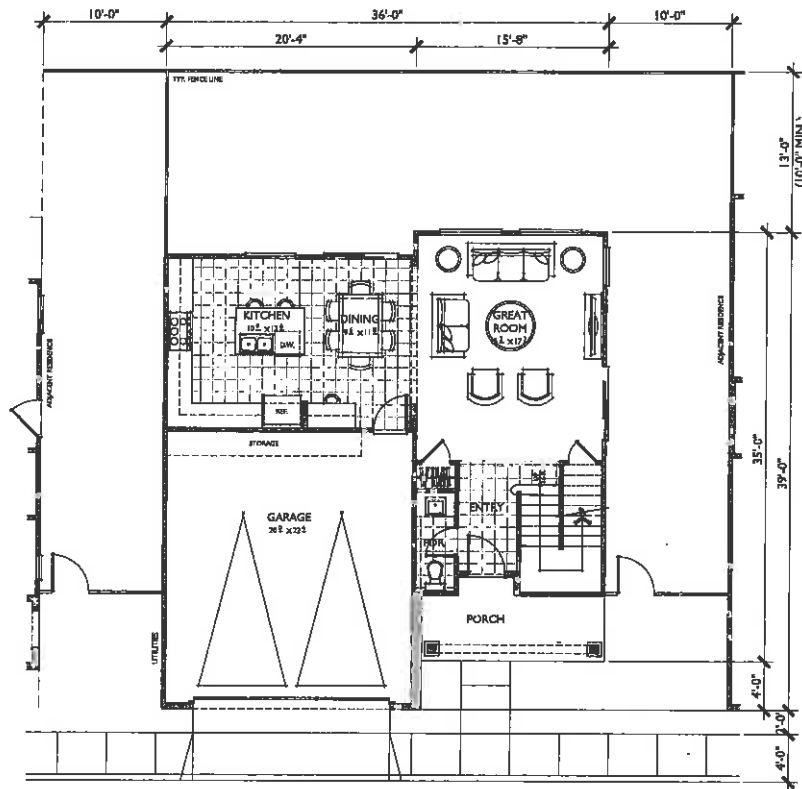


**ALTERNATIVE SECOND FLOOR**

© SOUTH BOUNDARY LOTS



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 1B**

1,821 SQ. FT.  
 TARGET: 1,600 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	747 SQ. FT.
2ND FLOOR	1074 SQ. FT.
TOTAL	1,821 SQ. FT.
2 - CAR GARAGE	464 SQ. FT.
PORCH	91 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

11.13.17

**Bassenian | Lagoni**  
 ARCHITECTURE - PLANNING - INTERIORS

**PLAN 1**

Reflects Cottage Elevation

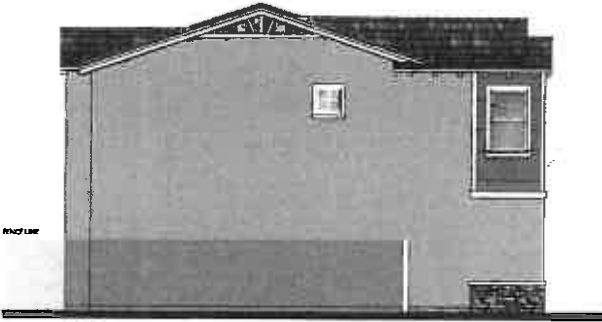
**McLAUGHLIN, LLC - McLAUGHLIN VILLAGE**

Menifee, CA

822.14336



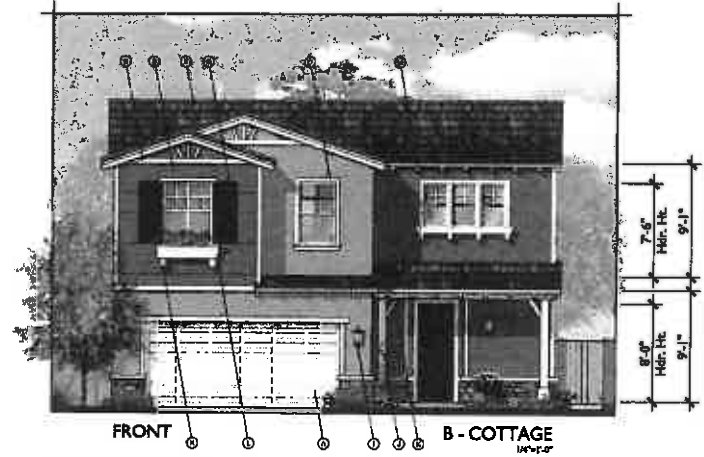
REAR



LEFT

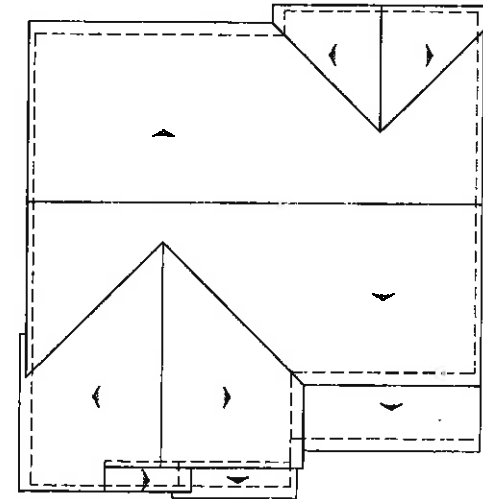


RIGHT



**MATERIALS LEGEND**

- |                          |                             |
|--------------------------|-----------------------------|
| A. ROLL UP GARAGE DOOR   | H. EXPOSED RAFTER TAILS     |
| B. STONE VENEER          | I. DECORATIVE COACH LIGHTS  |
| C. HORIZONTAL LAP SIDING | J. WOOD POST                |
| D. FOAM TRIM             | K. WOOD CORBELS             |
| E. FLAT CONCRETE TILE    | L. WOOD BOX POTSHLF         |
| F. SAND FINISH STUCCO    | M. BARGE BOARD AT GABLE END |
| G. DECORATIVE SHUTTERS   |                             |

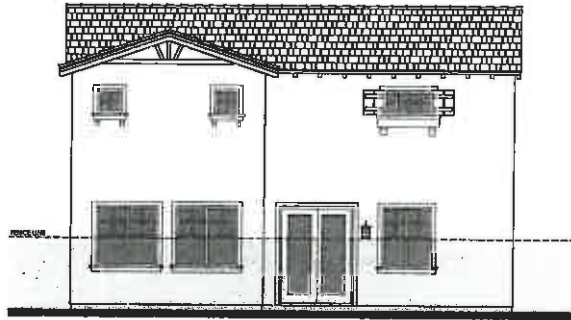


**ROOF PLAN**

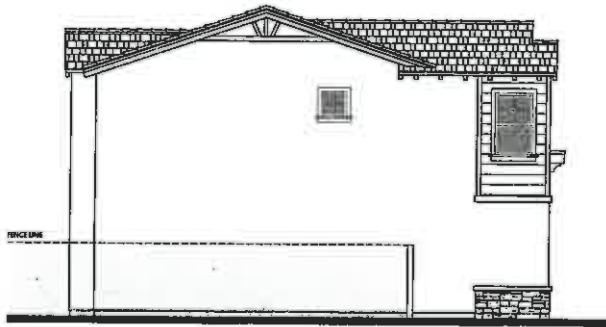
PITCH: 4:12  
 RISE: 6"  
 RUN: 12"  
 ROOF MATERIAL: FLAT CONCRETE TILE

**B**

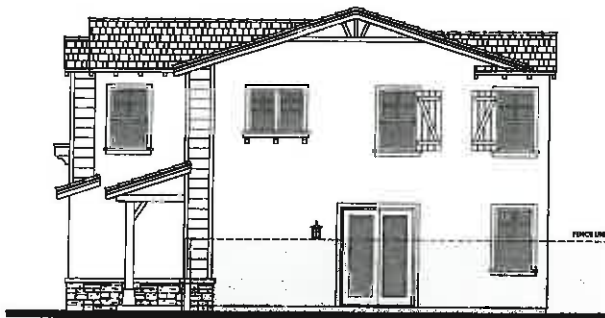




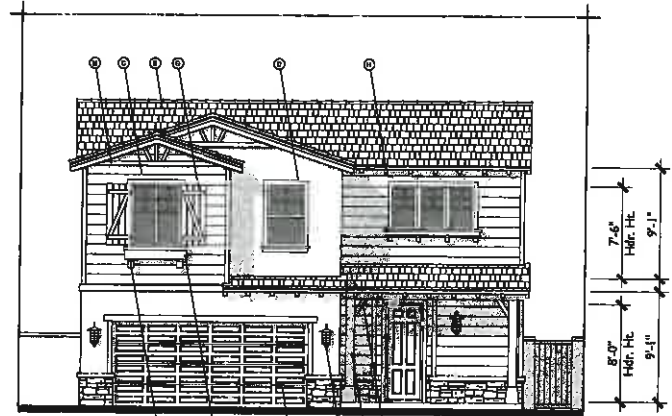
REAR



LEFT



RIGHT

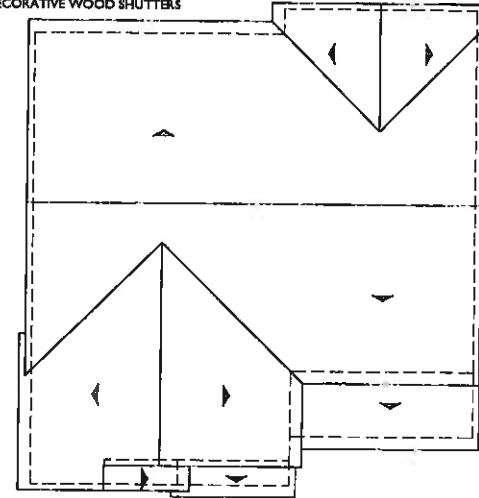


FRONT

B - COTTAGE  
14'-0" x 14'-0"

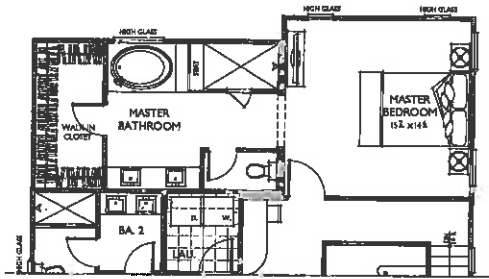
**MATERIALS LEGEND**

- FOAM TRIM
- FLAT CONCRETE TILE
- SAND FINISH STUCCO
- STONE VENEER
- HORIZONTAL LAP SIDING
- DECORATIVE WOOD SHUTTERS
- WOOD BOX POT SHELF
- 4X6 WOOD CORBELS
- 4X4 EXPOSED RAFTER TAILS
- 2X BARGE BOARD AT GABLE END
- 2X WOOD ACCENT AT GARAGE END

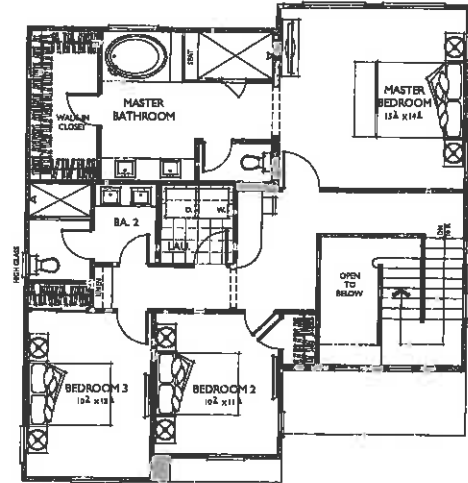


ROOF PLAN

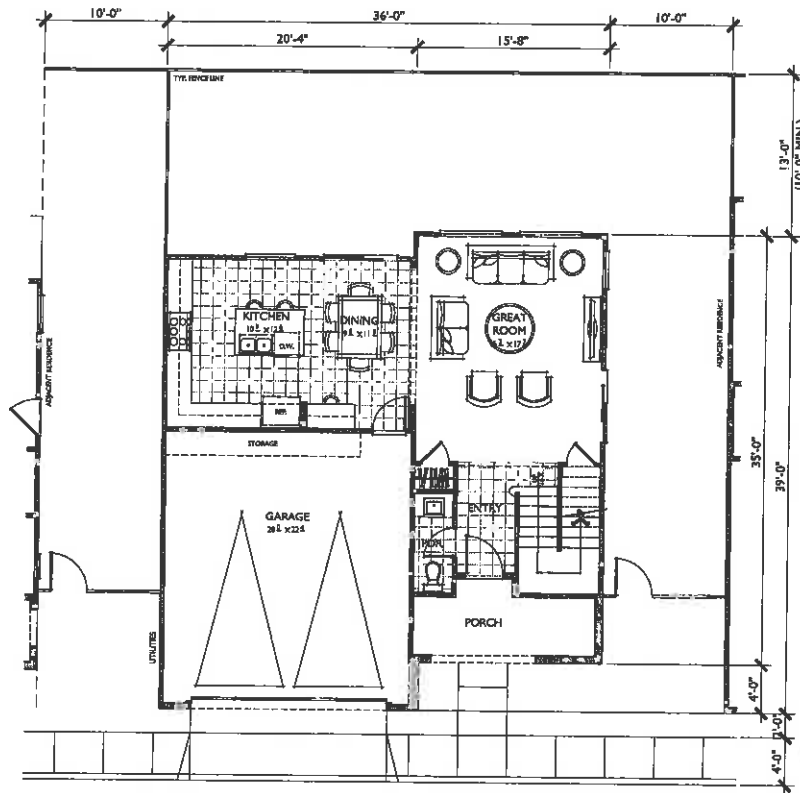
PITCH: 4:12  
RAISE: 8"  
EAVE: 12"  
ROOF MATERIAL: FLAT CONCRETE TILE



**ALTERNATIVE SECOND FLOOR**  
 G SOUTH BOUNDARY LOTS



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 1C**

1,821 SQ. FT.  
 TARGET: 1,600 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	747 SQ. FT.
2ND FLOOR	1,074 SQ. FT.
TOTAL	1,821 SQ. FT.
2 - CAR GARAGE	464 SQ. FT.
PORCH	91 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**Bassenian | Lagoni**  
 ARCHITECTURE • PLANNING • INTERIORS

**PLAN 1**

Reflects Santa Barbara Elevation

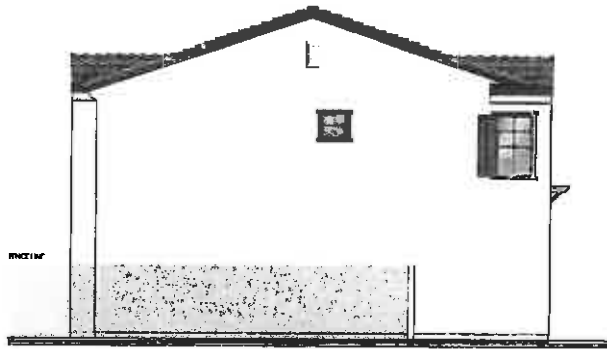
**McLAUGHLIN, LLC - McLAUGHLIN VILLAGE**

Menifee, CA

822.14336



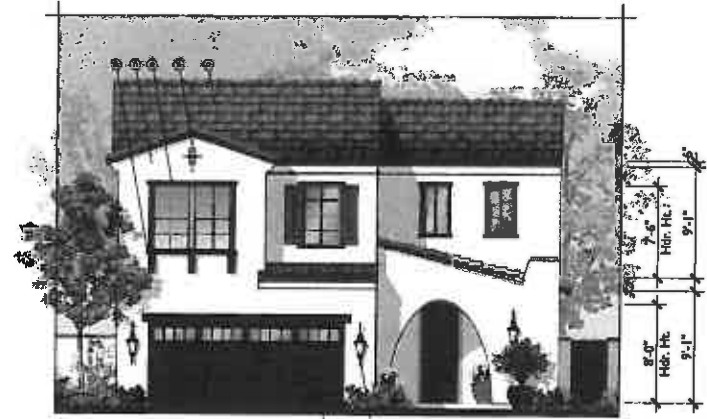
REAR



LEFT

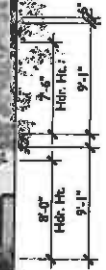


RIGHT



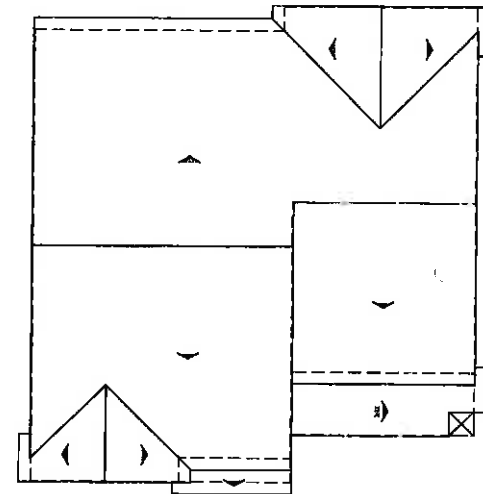
FRONT

C - SANTA BARBARA  
1/2"=1'-0"



**MATERIALS LEGEND**

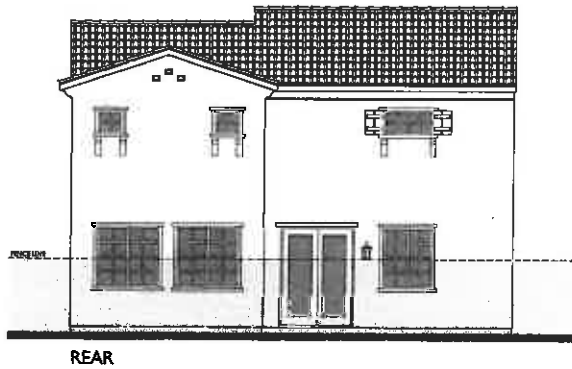
- |                          |                                |
|--------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR   | E. DECORATIVE SHUTTERS         |
| B. FOAM TRIM             | F. DECORATIVE GABLE END DETAIL |
| C. CONCRETE S' TILE ROOF | G. WOOD CORBELS                |
| D. SAND FINISH STUCCO    | H. DECORATIVE COACH LIGHTS     |



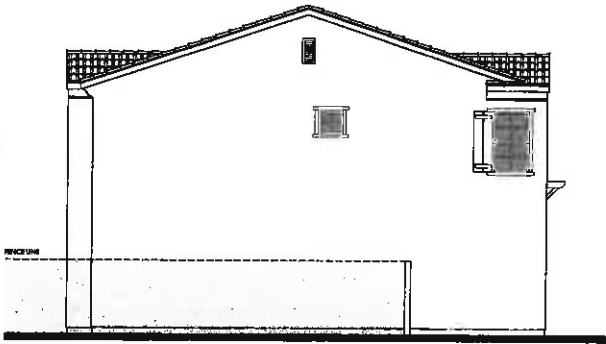
ROOF PLAN

PITCH 4/12  
RAISE 1"  
RAVE 12"  
ROOF MATERIAL CONCRETE S' TILE

C



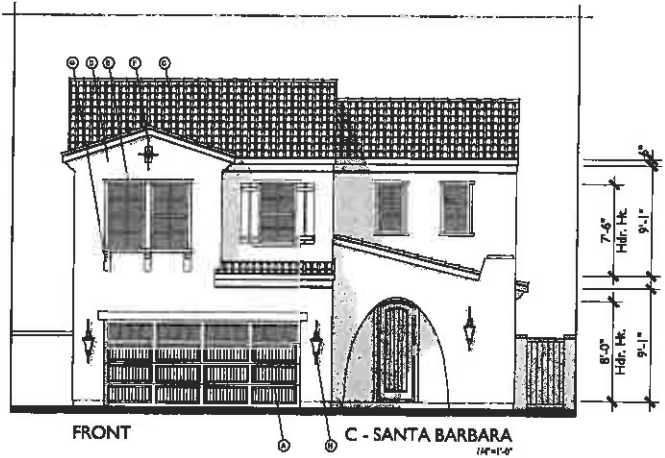
REAR



LEFT



RIGHT

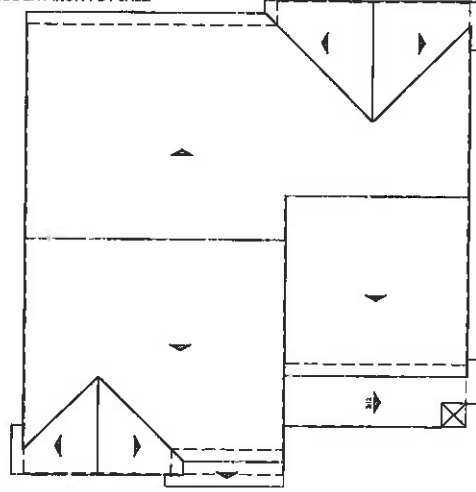


FRONT

C - SANTA BARBARA  
14'-11 1/2"

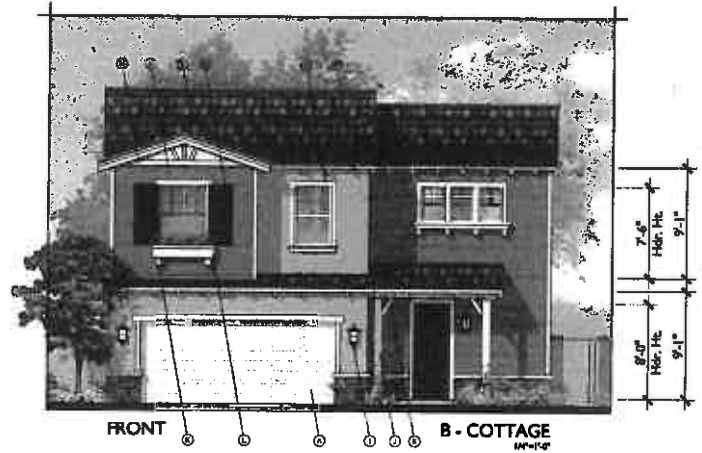
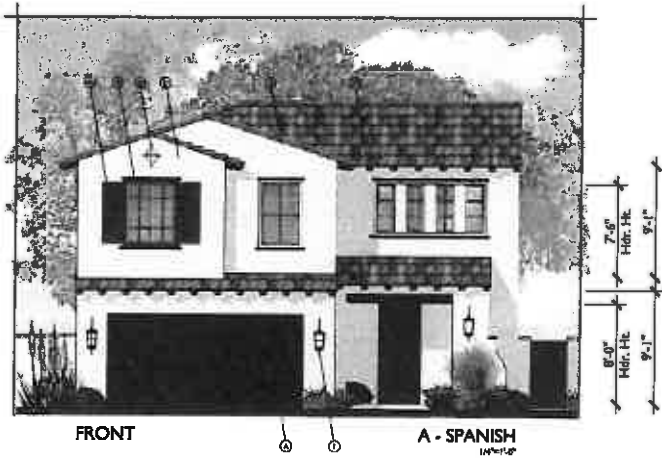
**MATERIALS LEGEND**

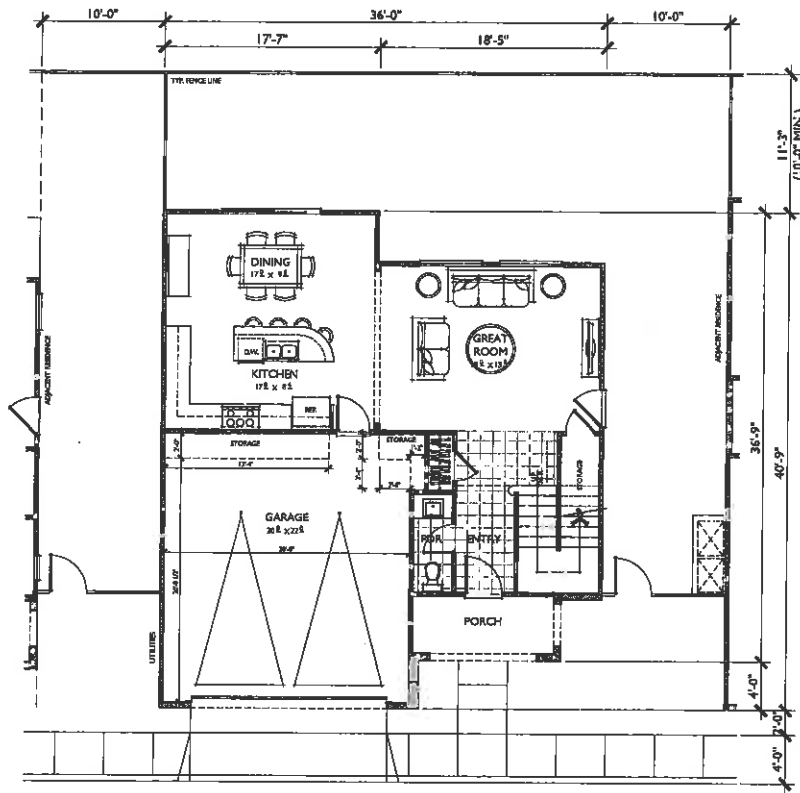
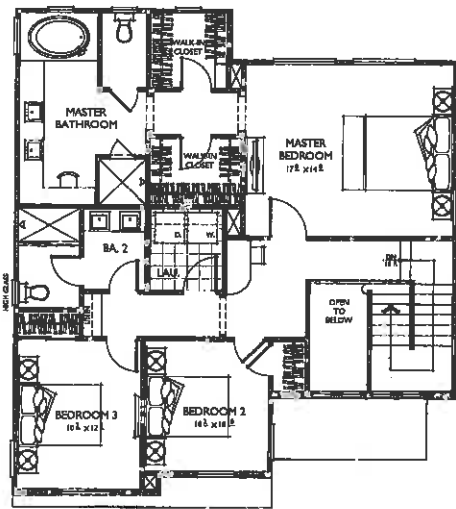
- FOAM TRIM
- CONCRETE 'S TILE ROOF
- SAND FINISH STUCCO
- SLOPED STUCCO SILL
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- 2X FASCIA WITH STUCCO OVER FOAM CORNICE
- 2X BARGE BOARD AT GABLE END
- DECORATIVE TILE ACCENT
- STUCCO OVER SHAPED FOAM AT ENTRY
- DECORATIVE COACH LIGHTS



ROOF PLAN

PITCH: 4:13  
RAISE: 1"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S TILE





**PLAN 2A**  
 1,866 SQ. FT.  
 TARGET: 1,700 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	779 SQ. FT.
2ND FLOOR	1,087 SQ. FT.
TOTAL	1,866 SQ. FT.
2 - CAR GARAGE	163 SQ. FT.
PORCH	67 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

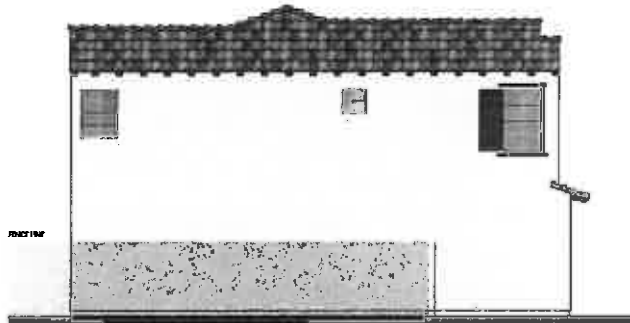
**Bessenian | Lagoni**  
 ARCHITECTURE • PLANNING • INTERIORS

**PLAN 2**  
 Reflects Spanish Elevation  
**McLAUGHLIN, LLC - McLAUGHLIN VILLAGE**  
 Manifee, CA

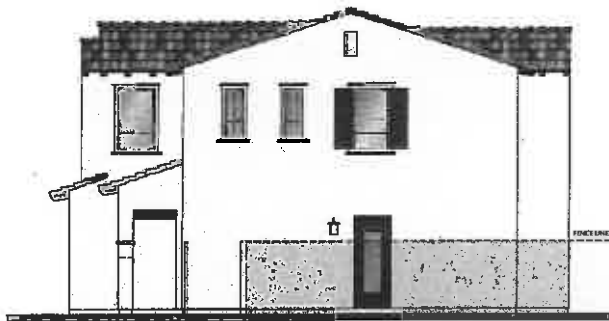
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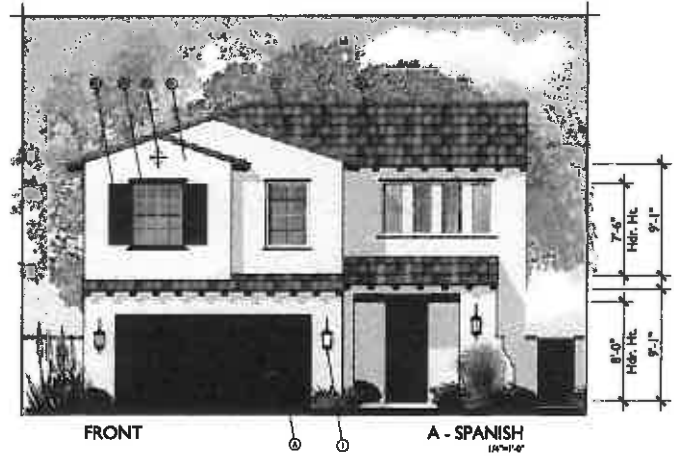
REAR



LEFT



RIGHT

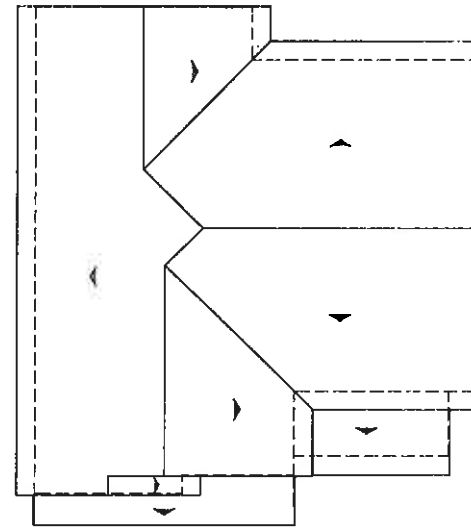


FRONT

A - SPANISH  
16'x41'-0"

**MATERIALS LEGEND**

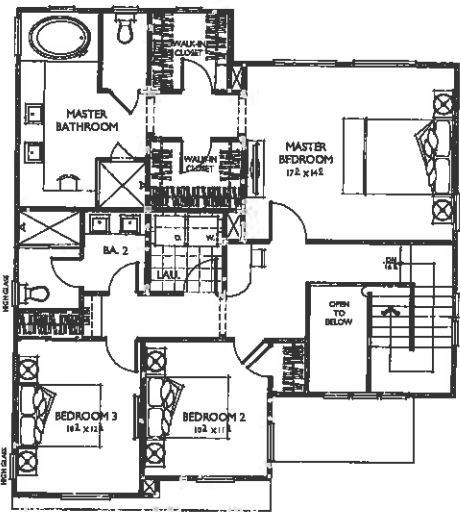
- A. ROLL UP GARAGE DOOR
- B. FOAM TRIM
- C. CONCRETE 'S' TILE ROOF
- D. SAND FINISH STUCCO
- E. SLOPED STUCCO SILL
- F. DECORATIVE SHUTTERS
- G. DECORATIVE GABLE END DETAIL
- H. EXPOSED RAFTER TAILS
- I. DECORATIVE COACH LIGHTS



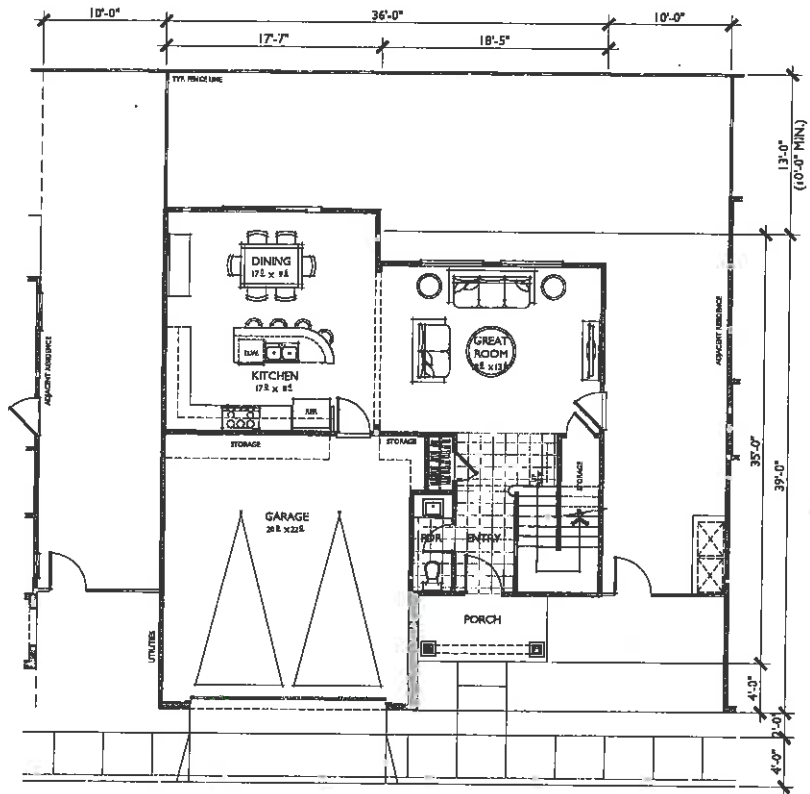
ROOF PLAN

PITCH: 4:12  
RAISE: 1"  
RAVE: 48"  
ROOF MATERIAL: CONCRETE 'S' TILE

A



SECOND FLOOR



FIRST FLOOR

**PLAN 2B**  
 1,866 SQ. FT.  
 TARGET: 1,700 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	779 SQ. FT.
2ND FLOOR	1087 SQ. FT.
TOTAL	1,866 SQ. FT.
2 - CAR GARAGE	463 SQ. FT.
PORCH	61 SQ. FT.

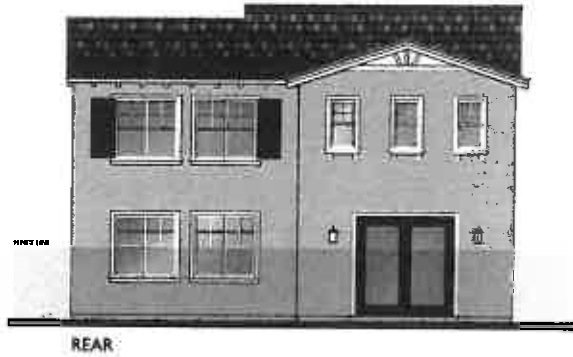
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**Bessenian | Lagoni**  
 ARCHITECTURE • PLANNING • INTERIORS

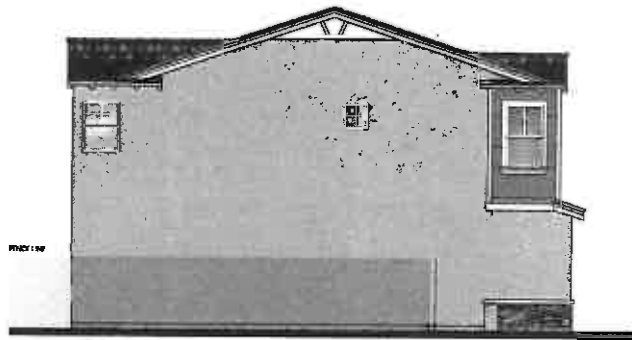
**PLAN 2**  
 Reflects Cottage Elevation  
**McLAUGHLIN, LLC - McLAUGHLIN VILLAGE**  
 Menifee, CA

822.14336

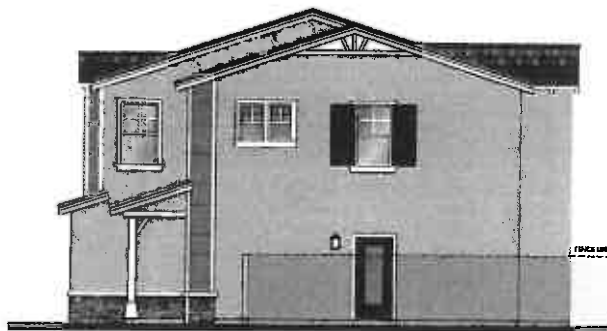




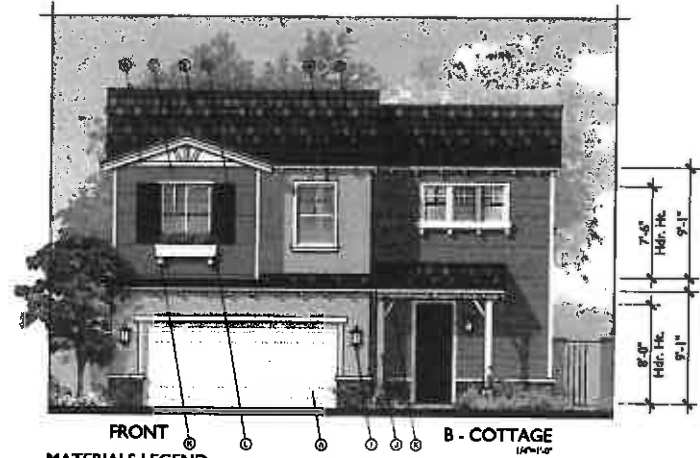
REAR



LEFT



RIGHT

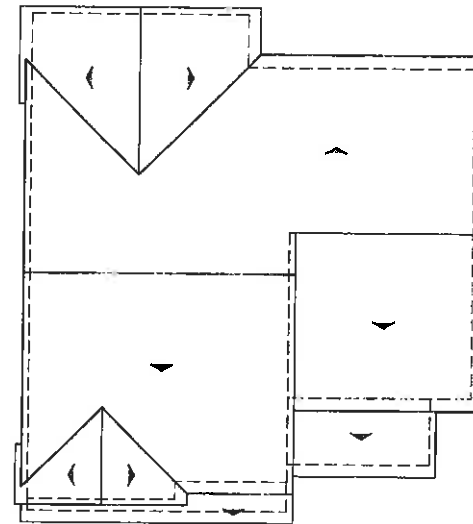


FRONT

B - COTTAGE  
1/4"=1'-0"

**MATERIALS LEGEND**

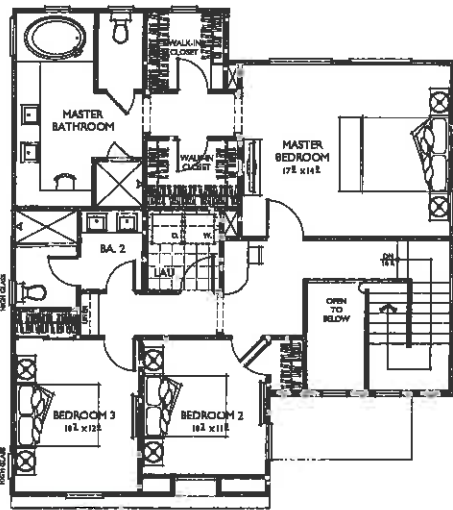
- |                          |                             |
|--------------------------|-----------------------------|
| A. ROLL UP GARAGE DOOR   | H. EXPOSED RAFTER TAILS     |
| B. STONE VENEER          | I. DECORATIVE COACH LIGHTS  |
| C. HORIZONTAL LAP SIDING | J. WOOD POST                |
| D. FOAM TRIM             | K. WOOD CORBELS             |
| E. FLAT CONCRETE TILE    | L. WOOD BOX POTSHLF         |
| F. SAND FINISH STUCCO    | M. BARGE BOARD AT GABLE END |
| G. DECORATIVE SHUTTERS   |                             |



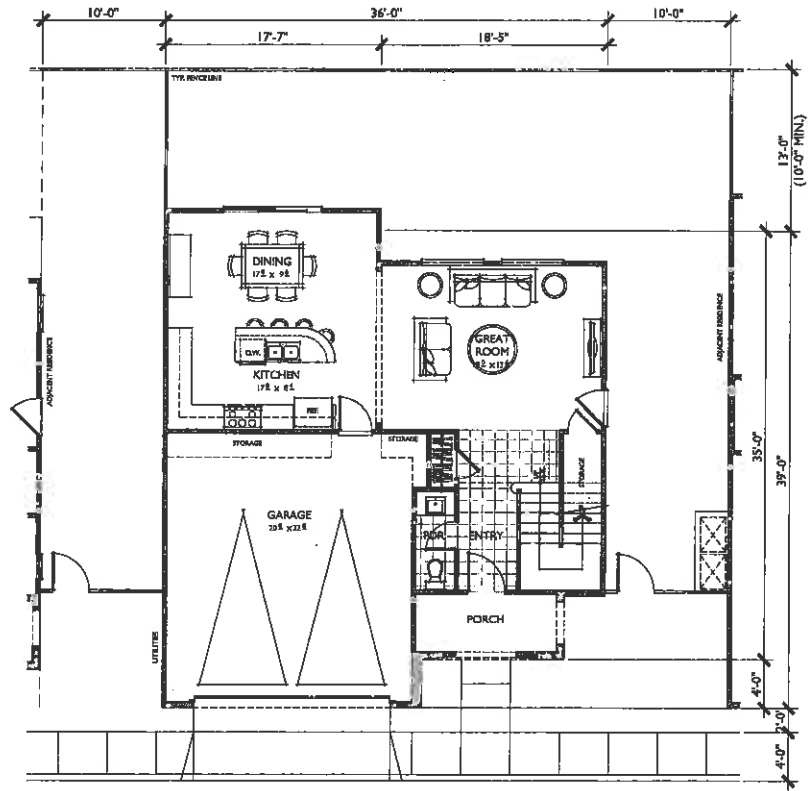
**ROOF PLAN**

PITCH: 4/12  
RAISE: 6"  
SPAN: 12"  
ROOF MATERIAL: FLAT CONCRETE TILE

B



SECOND FLOOR

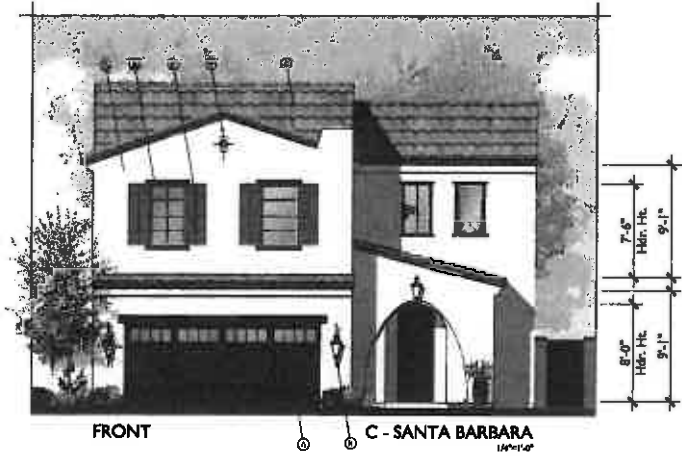
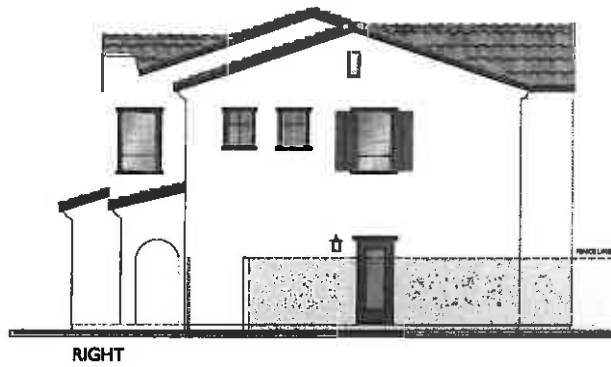
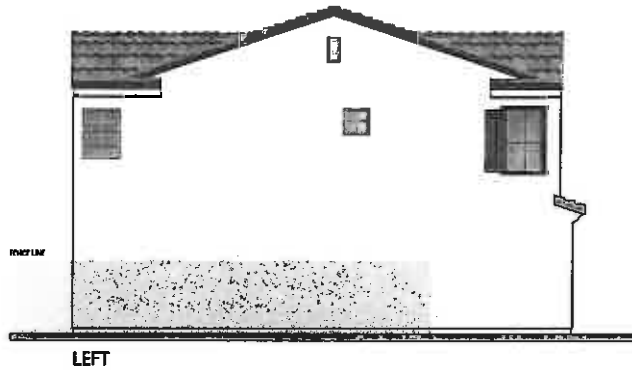


FIRST FLOOR

**PLAN 2C**  
 1,866 SQ. FT.  
 TARGET: 1,700 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

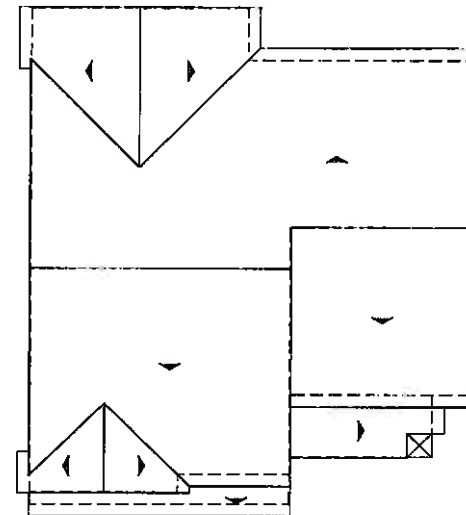
FLOOR AREA TABLE	
1ST FLOOR	779 SQ. FT.
2ND FLOOR	1087 SQ. FT.
TOTAL	1,866 SQ. FT.
2 - CAR GARAGE	463 SQ. FT.
PORCH	67 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



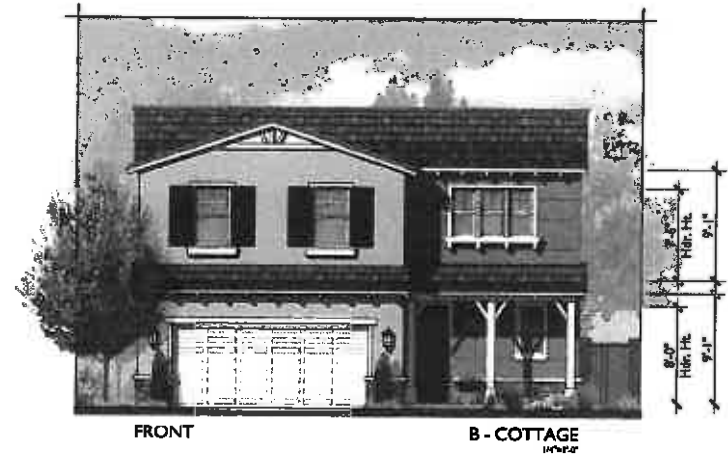
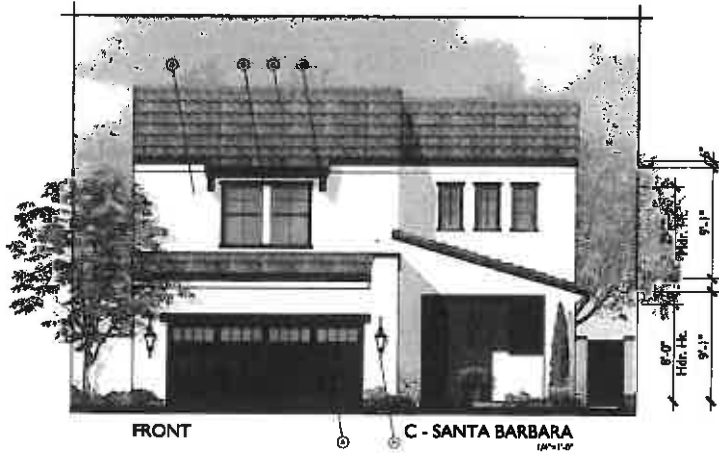
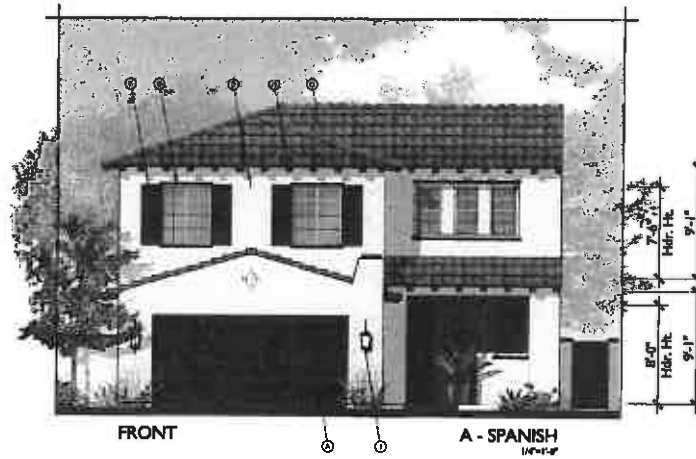
**MATERIALS LEGEND**

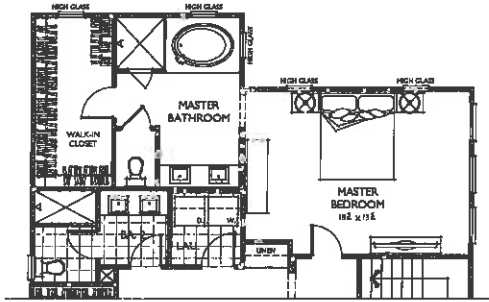
- A. ROLL UP GARAGE DOOR
- B. FOAM TRIM
- C. CONCRETE 'S' TILE ROOF
- D. SAND FINISH STUCCO
- E. DECORATIVE SHUTTERS
- F. DECORATIVE GABLE END DETAIL
- G. WOOD CORBELS
- H. DECORATIVE COACH LIGHTS



**ROOF PLAN**

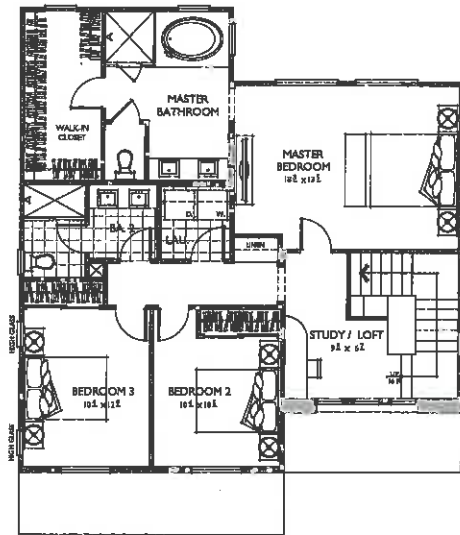
NTCH: 6/12  
 RAISE: 1"  
 SAYS: 12"  
 ROOF MATERIAL: CONCRETE 'S' TILE



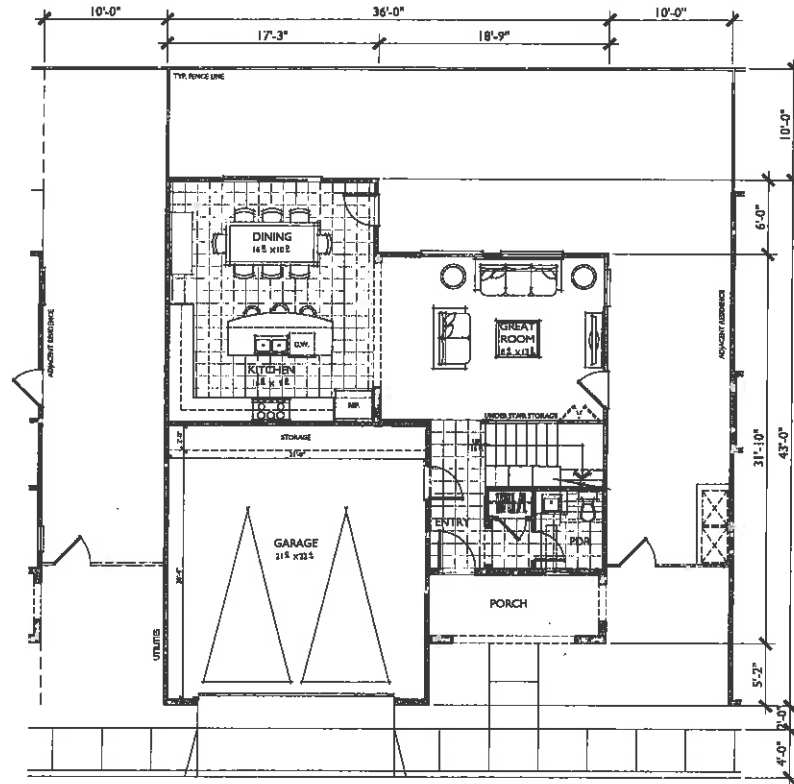


ALTERNATIVE SECOND FLOOR

9 SOUTH BOUNDARY LOTS



SECOND FLOOR



FIRST FLOOR

**PLAN 3A**

1,867 SQ. FT.  
 TARGET: 1,750 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

**FLOOR AREA TABLE**

1ST FLOOR	789 SQ. FT.
2ND FLOOR	1078 SQ. FT.
TOTAL	1,867 SQ. FT.
2 - CAR GARAGE	487 SQ. FT.
PORCH	85 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR



LEFT



RIGHT

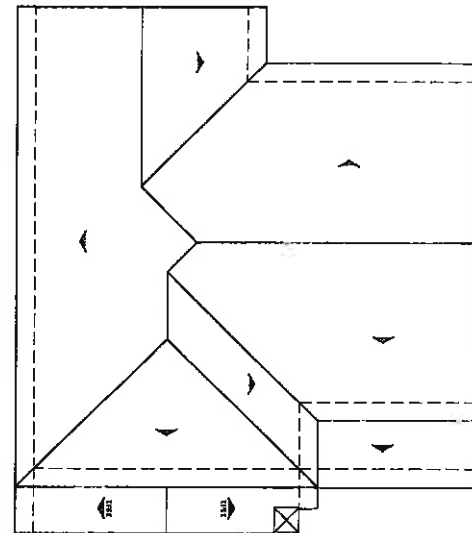


FRONT

A - SPANISH  
1/8"=1'-0"

**MATERIALS LEGEND**

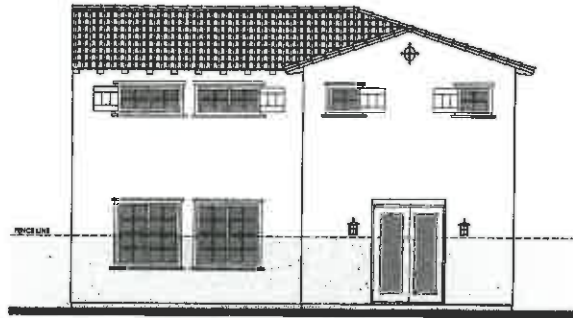
- |                           |                                |
|---------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR    | F. DECORATIVE SHUTTERS         |
| B. FOAM TRIM              | G. DECORATIVE GABLE END DETAIL |
| C. CONCRETE 'S' TILE ROOF | H. EXPOSED RAFTER TAILS        |
| D. SAND FINISH STUCCO     | I. DECORATIVE COACH LIGHTS     |
| E. SLOPED STUCCO SILL     |                                |



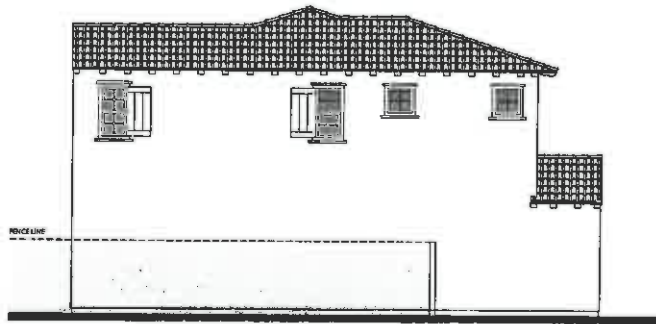
ROOF PLAN

PITCH: 4/12  
RAISE: 1"  
SAWE: 1/2"  
ROOF MATERIAL: CONCRETE 'S' TILE

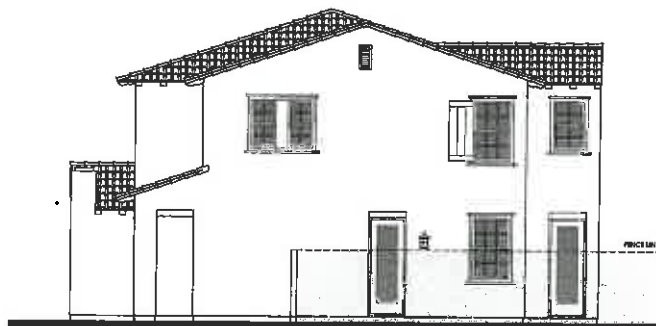
A  
1/8"=1'-0"



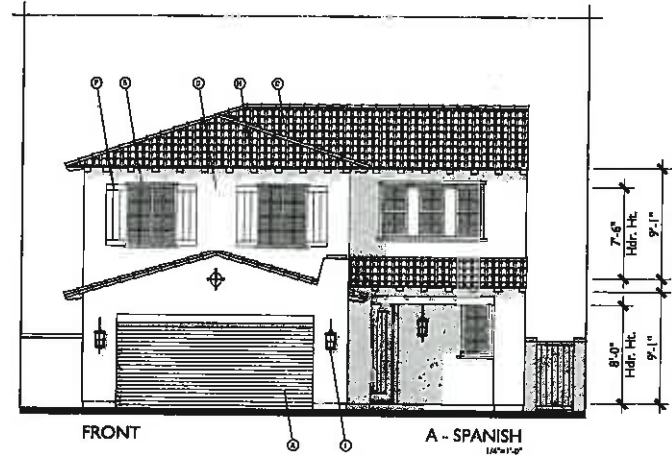
REAR



LEFT



RIGHT

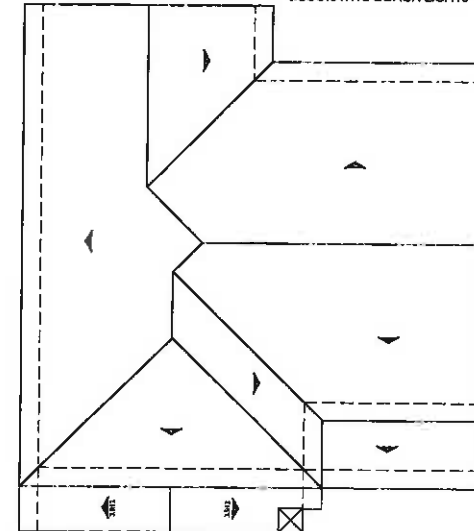


FRONT

A - SPANISH  
1/4"=1'-0"

**MATERIALS LEGEND**

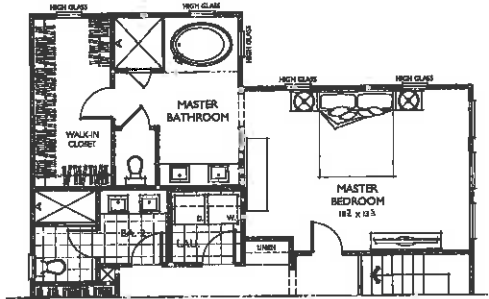
- FOAM TRIM
- CONCRETE 3 TILE ROOF
- SAND FINISH STUCCO
- SLOPED STUCCO SILL
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- STUCCO ENGAGED COLUMNS AT WINDOWS
- DECORATIVE RECESSED STUCCO ACCENT
- 4X6 EXPOSED RAFTER TAILS
- STUCCO OVER SHARPED FOAM ACCENT
- DECORATIVE COACH LIGHTS



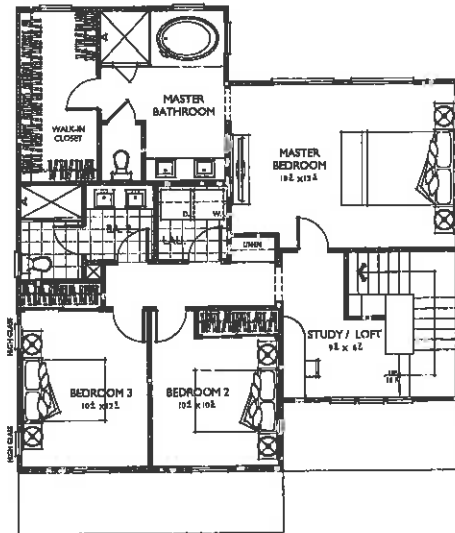
ROOF PLAN

PITCH: 6/12  
RAKE: 1"  
RAVE: 18"  
ROOF MATERIAL: CONCRETE 3 TILE

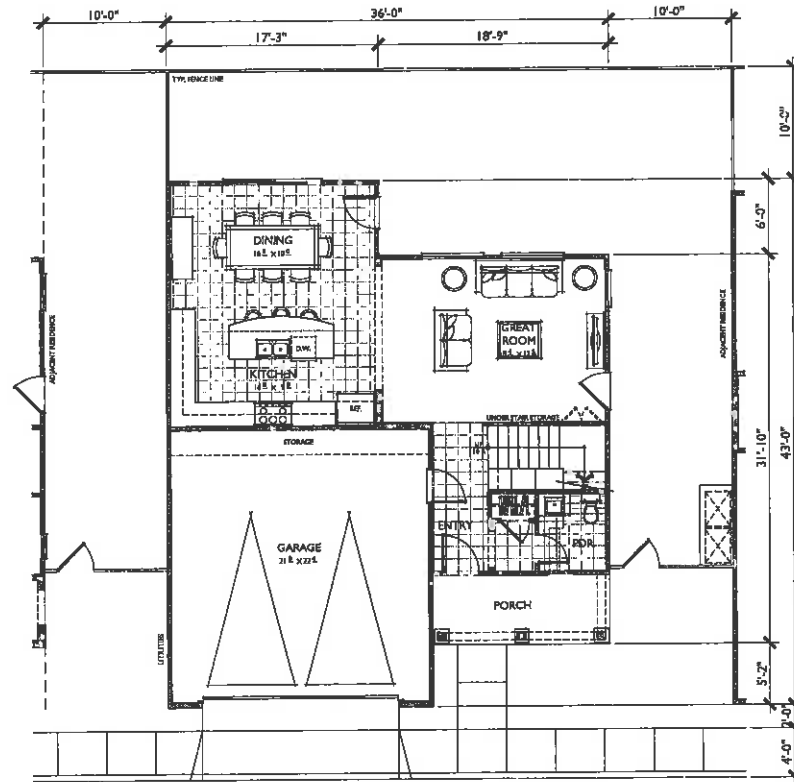
A



**ALTERNATIVE SECOND FLOOR**  
 @ SOUTH BOUNDARY LOTS



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 3B**  
 1,867 SQ. FT.  
 TARGET: 1,750 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

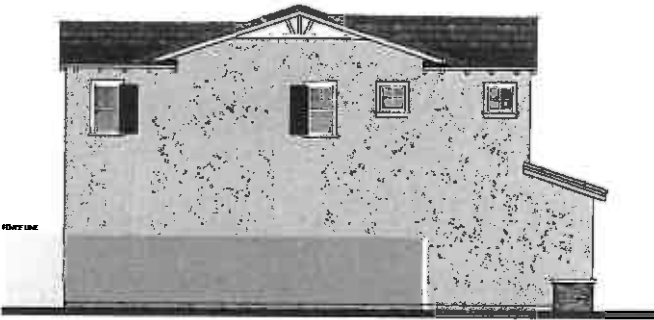
FLOOR AREA TABLE	
1ST FLOOR	789 SQ. FT.
2ND FLOOR	1078 SQ. FT.
TOTAL	1,867 SQ. FT.
2 - CAR GARAGE	487 SQ. FT.
PORCH	85 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION





REAR



LEFT



RIGHT

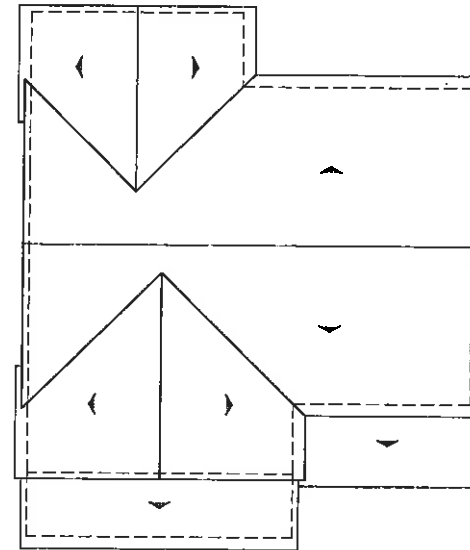


FRONT

B - COTTAGE  
14'-0"

**MATERIALS LEGEND**

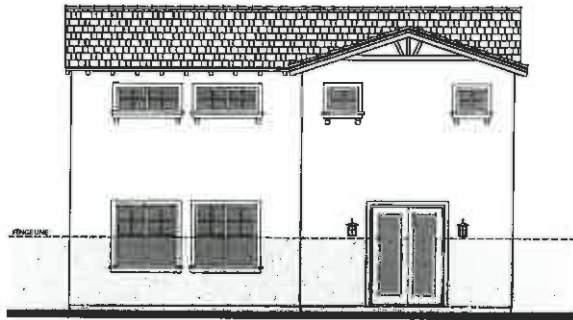
- |                          |                             |
|--------------------------|-----------------------------|
| A. ROLL UP GARAGE DOOR   | H. EXPOSED RAFTER TAILS     |
| B. STONE VENEER          | I. DECORATIVE COACH LIGHTS  |
| C. HORIZONTAL LAP SIDING | J. WOOD POST                |
| D. FOAM TRIM             | K. WOOD CORBELS             |
| E. FLAT CONCRETE TILE    | L. WOOD BOX POTSHelf        |
| F. SAND FINISH STUCCO    | M. BARGE BOARD AT GABLE END |
| G. DECORATIVE SHUTTERS   |                             |



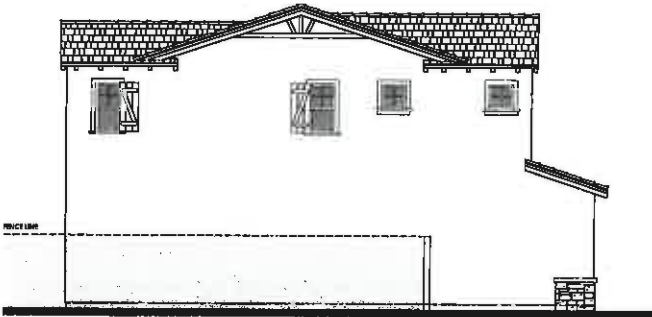
ROOF PLAN

B

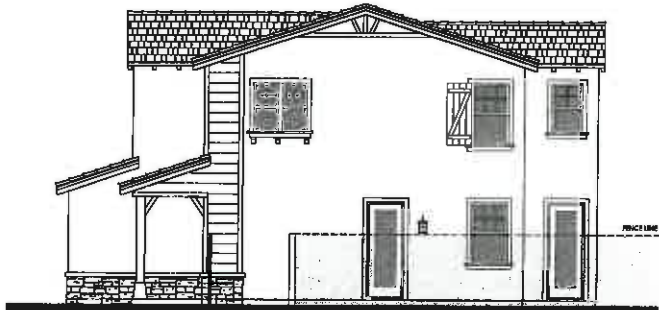
PITCH: 6/12  
RAISE: 6"  
RAVE: 12"  
ROOF MATERIAL: FLAT CONCRETE TILE



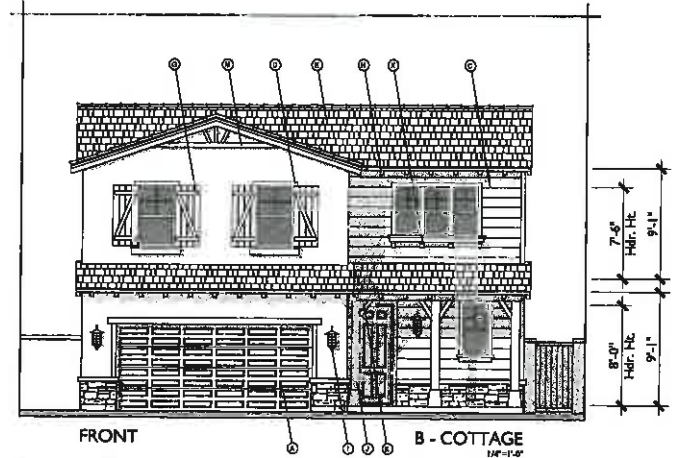
REAR



LEFT



RIGHT

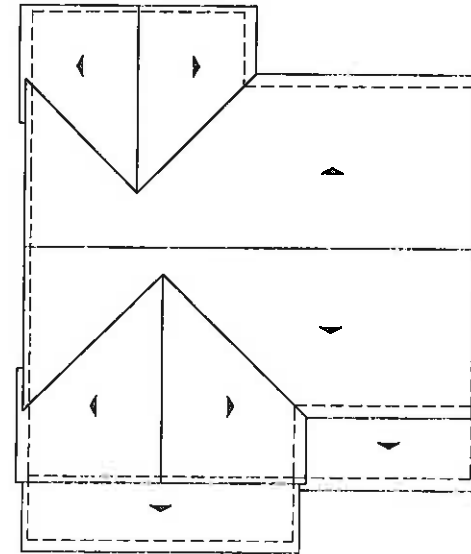


FRONT

B - COTTAGE  
1/4"=1'-0"

**MATERIALS LEGEND**

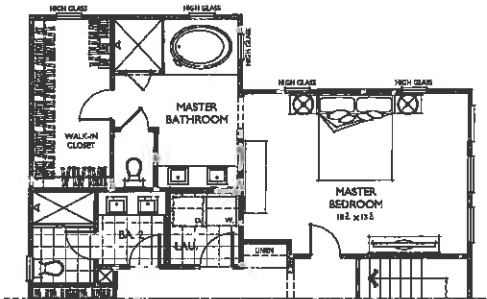
- FOAM TRIM
- FLAT CONCRETE TILE
- SAND FINISH STUCCO
- STONE VENEER
- HORIZONTAL LAP SIDING
- DECORATIVE WOOD SHUTTERS
- WOOD BOX POT SHELF
- 4X6 WOOD CORBELS
- 4X4 EXPOSED RAFTER TAILS
- 2X BARGE BOARD AT GABLE END
- 2X WOOD ACCENT AT GARAGE END



ROOF PLAN

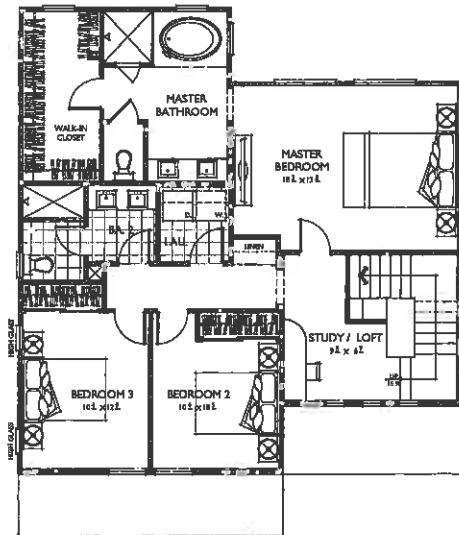
PITCH: 6/12  
RAVE: 6"  
RAVE: 12"  
ROOF MATERIAL: FLAT CONCRETE TILE

B

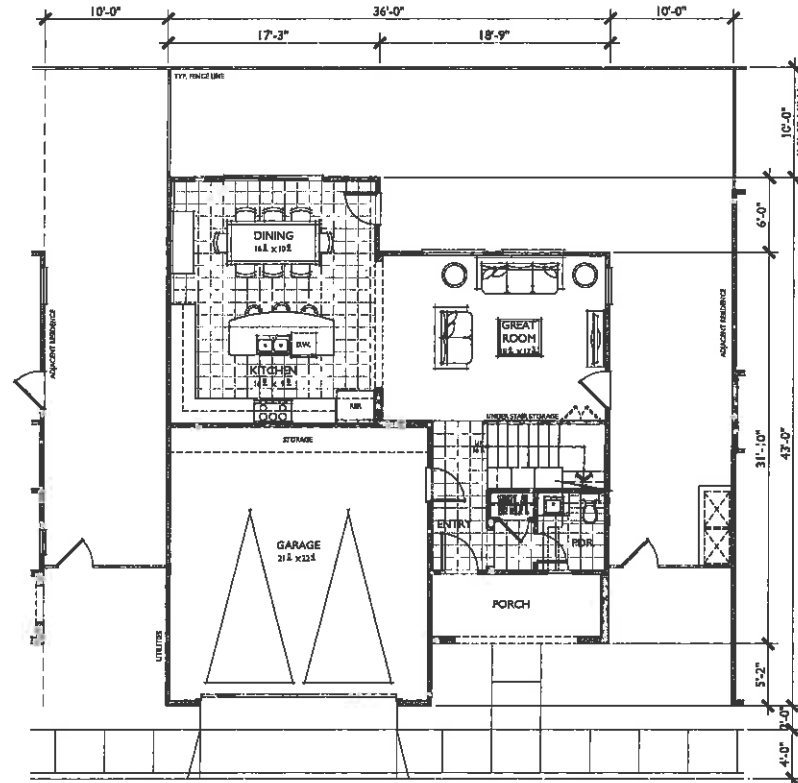


ALTERNATIVE SECOND FLOOR

@ SOUTH BOUNDARY LOTS



SECOND FLOOR



FIRST FLOOR

**PLAN 3C**

1,867 SQ. FT.  
 TARGET: 1,750 SQ. FT.  
 3 BEDROOMS / 2 BATHS  
 2 - CAR GARAGE

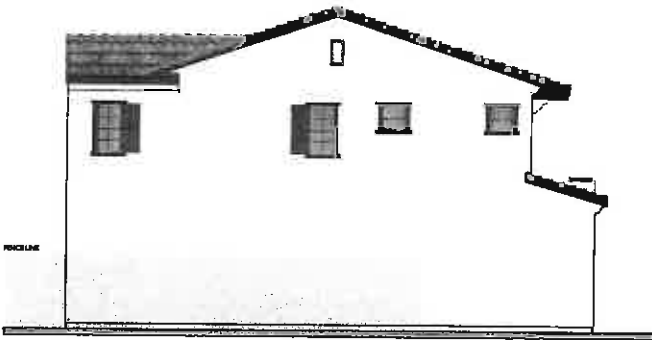
**FLOOR AREA TABLE**

1ST FLOOR	789 SQ. FT.
2ND FLOOR	1078 SQ. FT.
TOTAL	1,867 SQ. FT.
2 - CAR GARAGE	487 SQ. FT.
PORCH	85 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



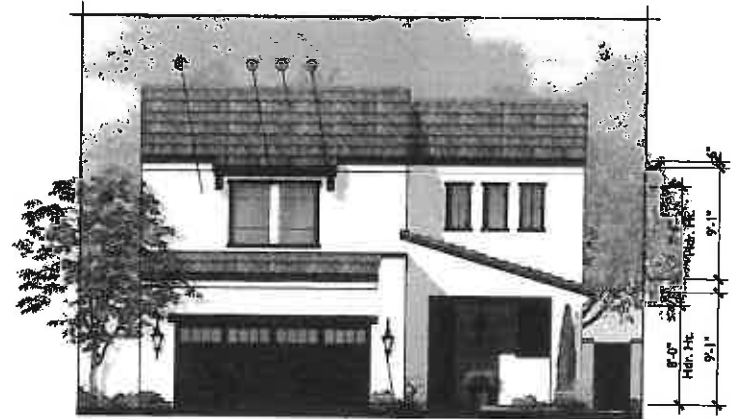
REAR



LEFT



RIGHT



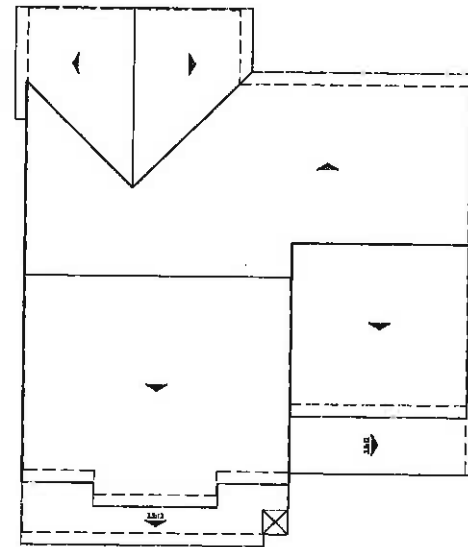
FRONT

C - SANTA BARBARA  
1/4" = 1'-0"



**MATERIALS LEGEND**

- |                           |                                |
|---------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR    | E. DECORATIVE SHUTTERS         |
| B. FOAM TRIM              | F. DECORATIVE GABLE END DETAIL |
| C. CONCRETE 'S' TILE ROOF | G. WOOD CORBELS                |
| D. SAND FINISH STUCCO     | H. DECORATIVE COACH LIGHTS     |



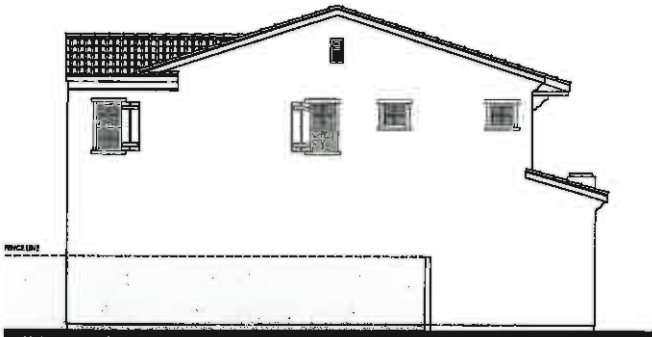
ROOF PLAN

RTCA-412  
RANK 1"

C



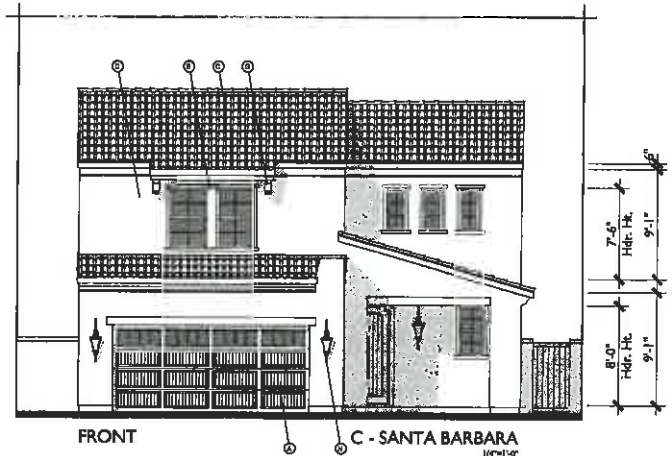
REAR



LEFT



RIGHT

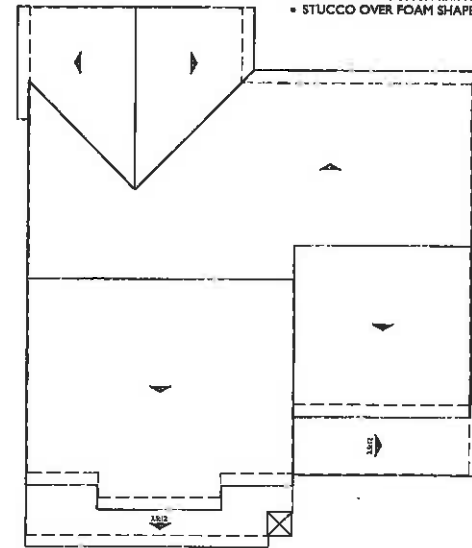


FRONT

C - SANTA BARBARA

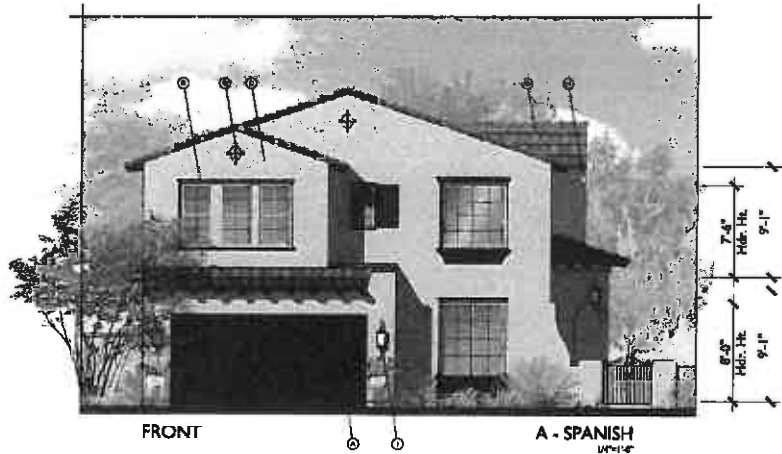
**MATERIALS LEGEND**

- FOAM TRIM
- CONCRETE'S TILE ROOF
- SAND FINISH STUCCO
- SLOPED STUCCO SILL
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- 2X FASCIA WITH STUCCO OVER FOAM CORNICE
- 2X BARGE BOARD AT GABLE END
- DECORATIVE TILE ACCENT
- STUCCO OVER SHAPED FOAM AT ENTRY
- DECORATIVE COACH LIGHTS
- STUCCO OVER FOAM SHAPED CORBEL



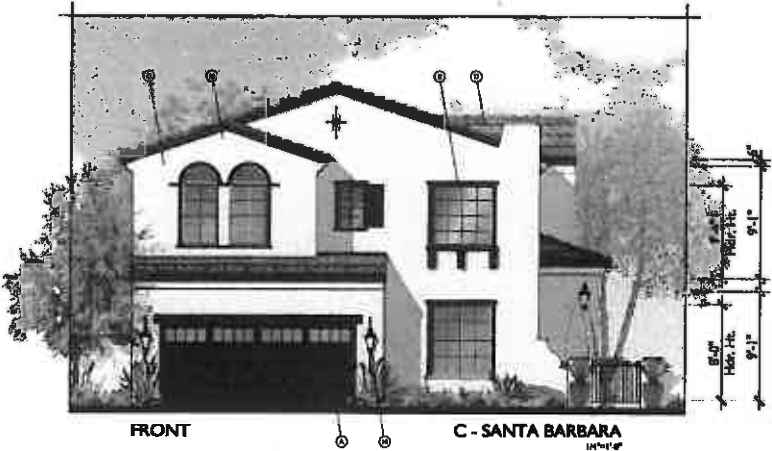
ROOF PLAN

PITCH-4:12  
RAKE 1"  
EAVE 12"  
ROOF MATERIAL: CONCRETE'S TILE



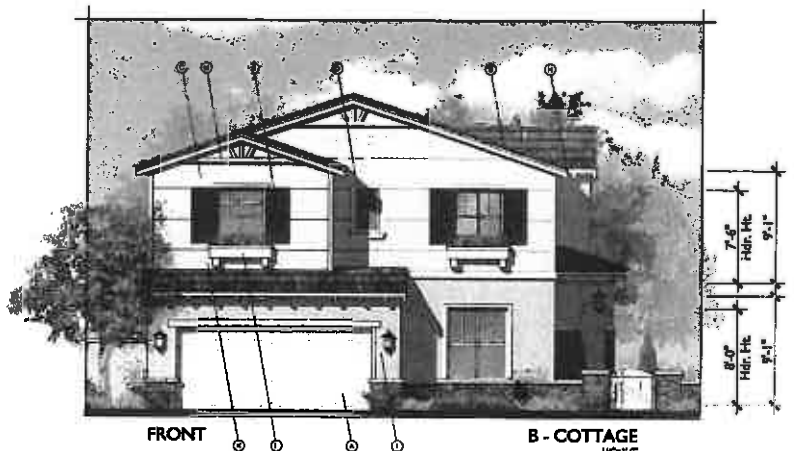
FRONT

A - SPANISH  
1/4"=1'-0"



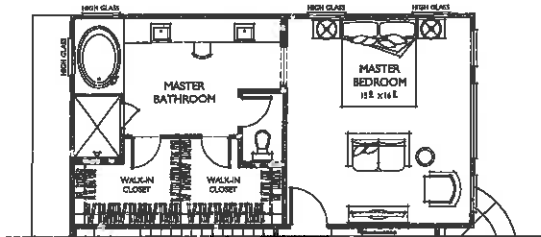
FRONT

C - SANTA BARBARA  
1/4"=1'-0"

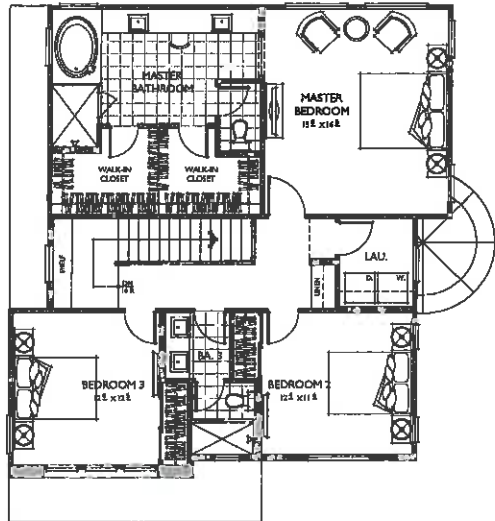


FRONT

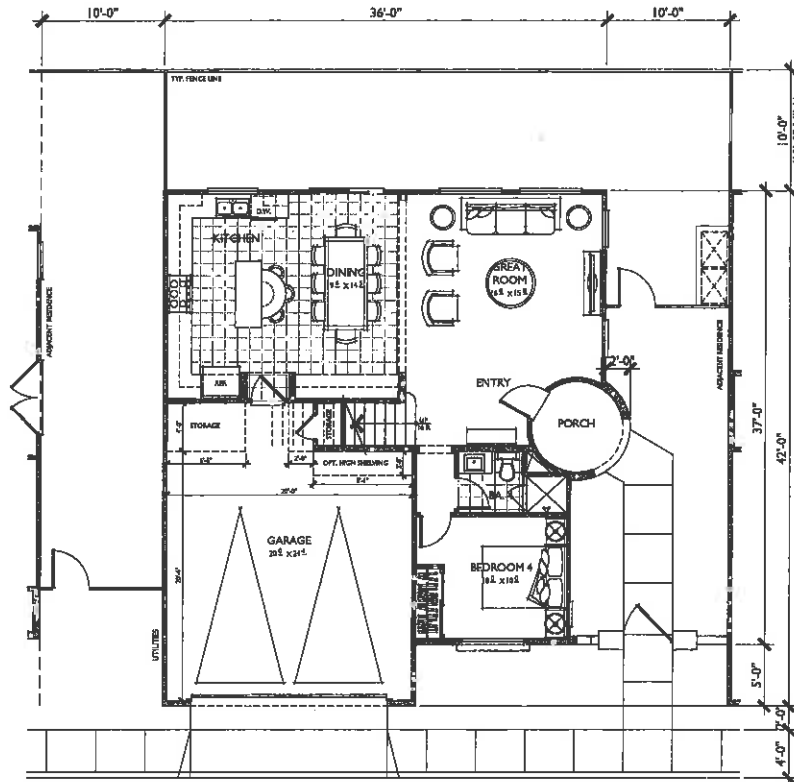
B - COTTAGE  
1/4"=1'-0"



**ALTERNATIVE SECOND FLOOR**  
@ SOUTH BOUNDARY LOTS



**SECOND FLOOR**



**FIRST FLOOR**

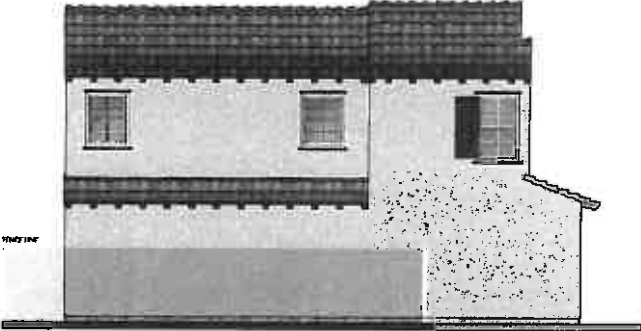
**PLAN 4A**  
2,050 SQ. FT.  
TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 3 BATHS  
2 - CAR GARAGE

<b>FLOOR AREA TABLE</b>	
1ST FLOOR	882 SQ. FT.
2ND FLOOR	1168 SQ. FT.
TOTAL	2,050 SQ. FT.
2 - CAR GARAGE	472 SQ. FT.
PORCH	50 SQ. FT.

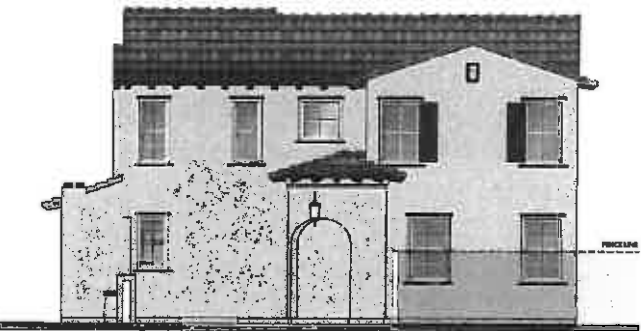
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



REAR



LEFT



RIGHT

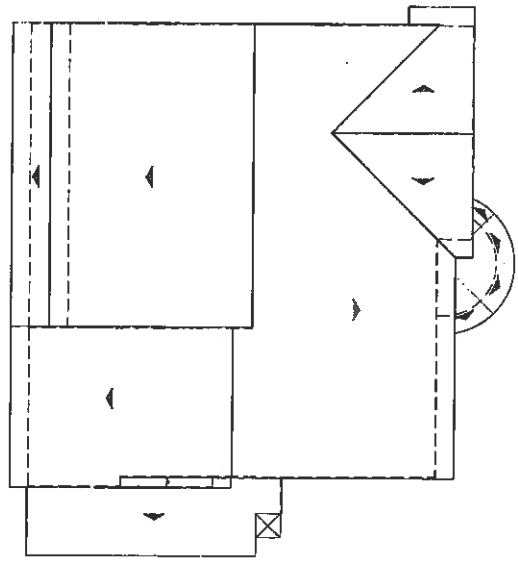


FRONT

A - SPANISH  
1/4"=1'-0"

**MATERIALS LEGEND**

- |                           |                                |
|---------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR    | F. DECORATIVE SHUTTERS         |
| B. FOAM TRIM              | G. DECORATIVE GABLE END DETAIL |
| C. CONCRETE 'S' TILE ROOF | H. EXPOSED RAFTER TAILS        |
| D. SAND FINISH STUCCO     | I. DECORATIVE COACH LIGHTS     |
| E. SLOPED STUCCO SILL     |                                |

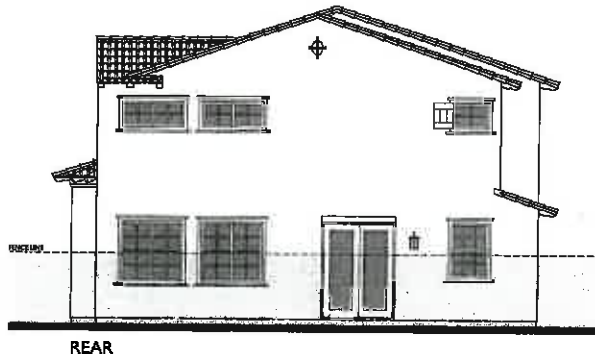


ROOF PLAN

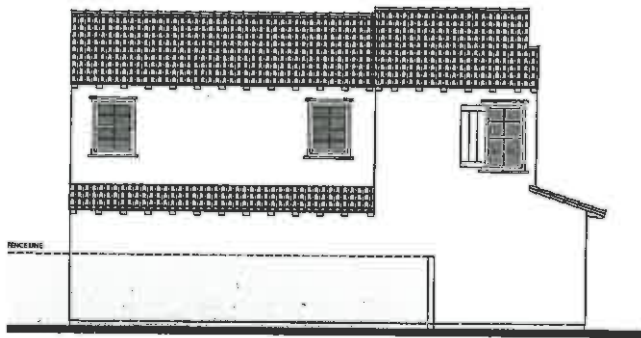
PITCH: 4:12  
RAISE: 1"  
SAVE: 1/8"  
ROOF MATERIAL: CONCRETE 'S' TILE

A

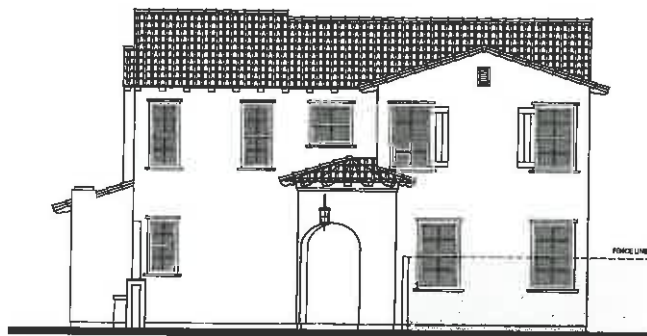




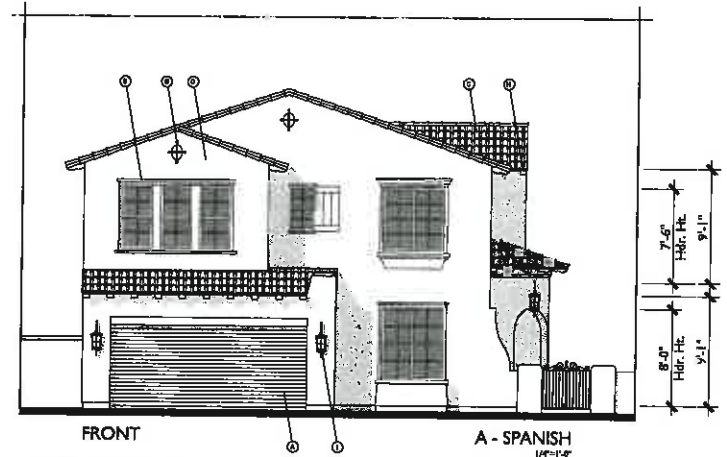
REAR



LEFT



RIGHT

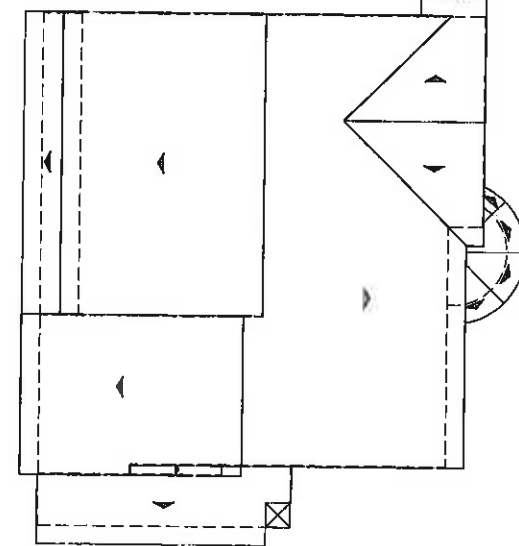


FRONT

A - SPANISH  
1/8"=1'-0"

**MATERIALS LEGEND**

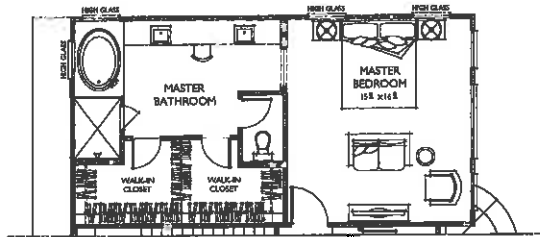
- FOAM TRIM
- SLOPED STUCCO SILL
- CONCRETE'S TILE ROOF
- SAND FINISH STUCCO
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- 2X FASCIA WITH STUCCO OVER FOAM CORNICE
- 2X BARGE BOARD AT GABLE END
- DECORATIVE TILE ACCENT
- STUCCO OVER SHAPED FOAM AT ENTRY
- DECORATIVE COACH LIGHTS
- WROUGHT IRON ENTRY GATE



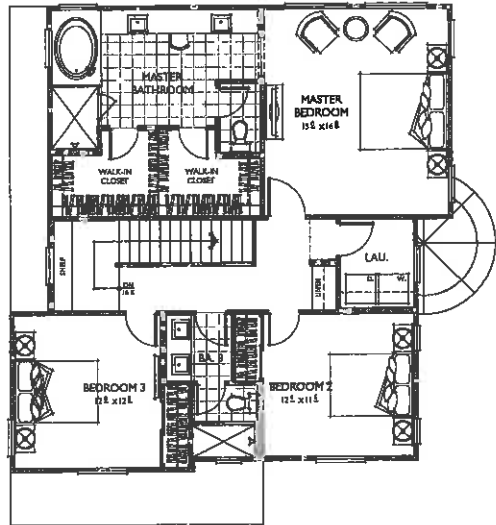
ROOF PLAN

PITCH: 6:12  
RAISE: 1"  
EAVE: 1"  
ROOF MATERIAL: CONCRETE'S TILE

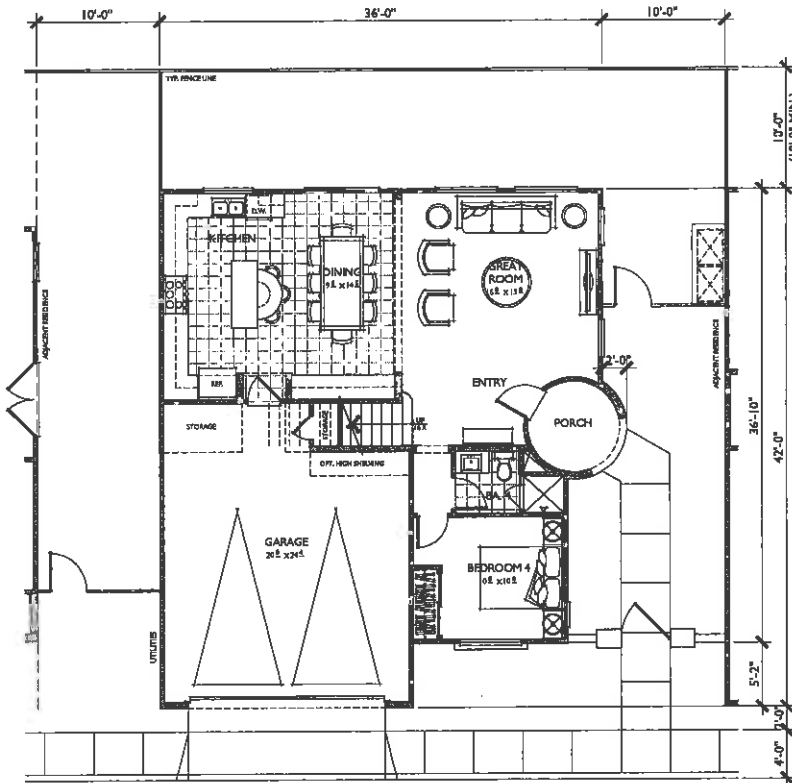
A



**ALTERNATIVE SECOND FLOOR**  
@ SOUTH BOUNDARY LOTS



**SECOND FLOOR**

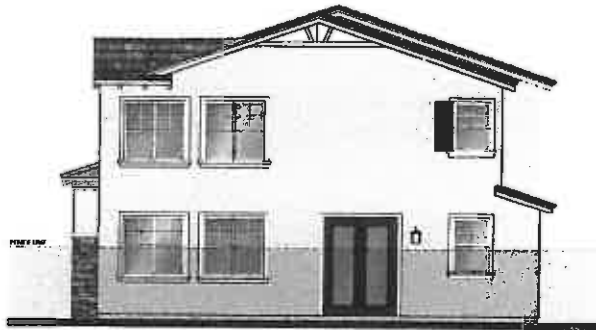


**FIRST FLOOR**

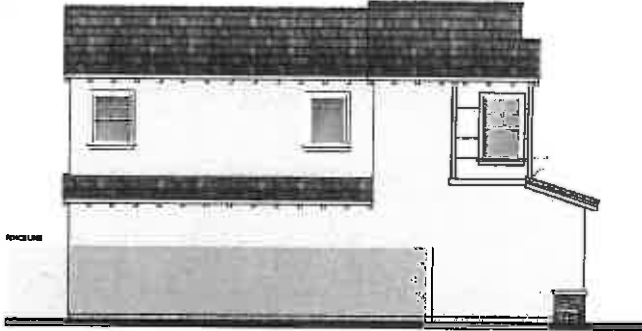
**PLAN 4B**  
2,050 SQ. FT.  
TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 3 BATHS  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	882 SQ. FT.
2ND FLOOR	1168 SQ. FT.
TOTAL	2,050 SQ. FT.
2 - CAR GARAGE	472 SQ. FT.
PORCH	50 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



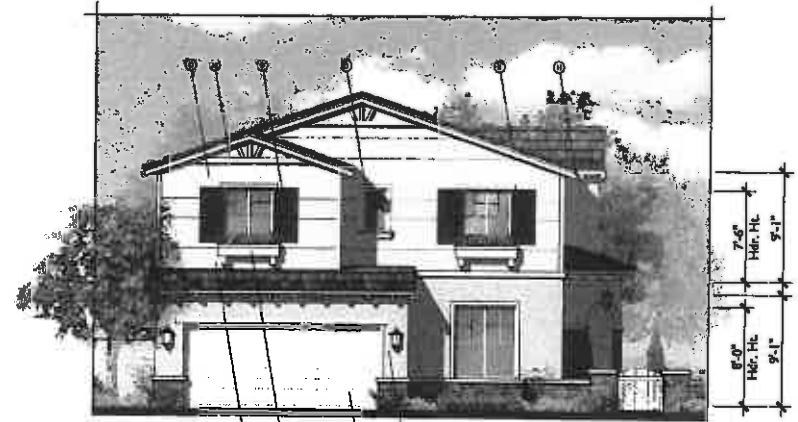
REAR



LEFT



RIGHT

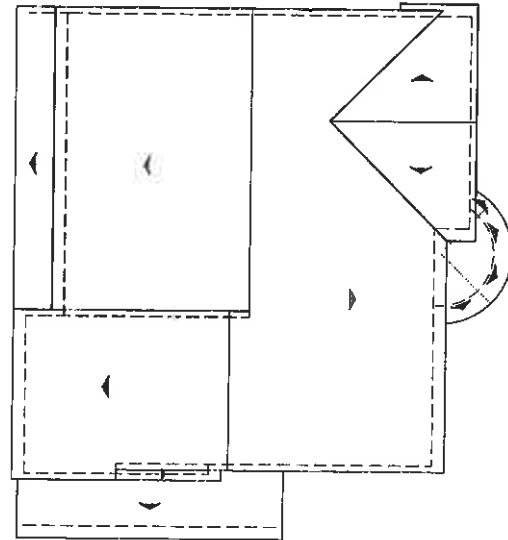


FRONT

B - COTTAGE  
11/14/17

**MATERIALS LEGEND**

- |                          |                             |
|--------------------------|-----------------------------|
| A. ROLL UP GARAGE DOOR   | H. EXPOSED RAFTER TAILS     |
| B. STONE VENEER          | I. DECORATIVE COACH LIGHTS  |
| C. HORIZONTAL LAP SIDING | J. WOOD POST                |
| D. FOAM TRIM             | K. WOOD CORBELS             |
| E. FLAT CONCRETE TILE    | L. WOOD BOX POTSHelf        |
| F. SAND FINISH STUCCO    | M. BARGE BOARD AT GABLE END |
| G. DECORATIVE SHUTTERS   |                             |



ROOF PLAN

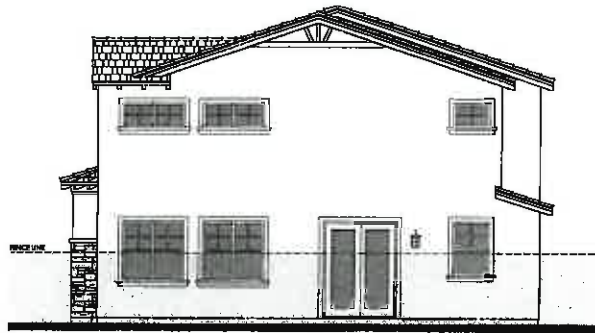
PITCH: 6/12  
RAISE: 1/2"  
RAVE: 1/2"  
ROOF MATERIAL: FLAT CONCRETE TILE

B  
11/14/17

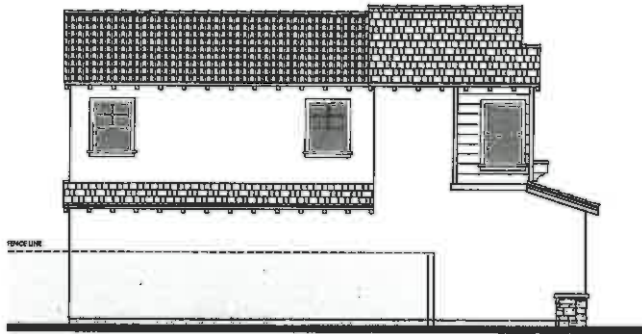
**Bassenian | Lagoni**  
ARCHITECTS - PLANNERS - INTERIORS

**PLAN 4**  
Cottage Elevation  
**McLAUGHLIN, LLC - McLAUGHLIN VILLAGE**  
Menifee, CA

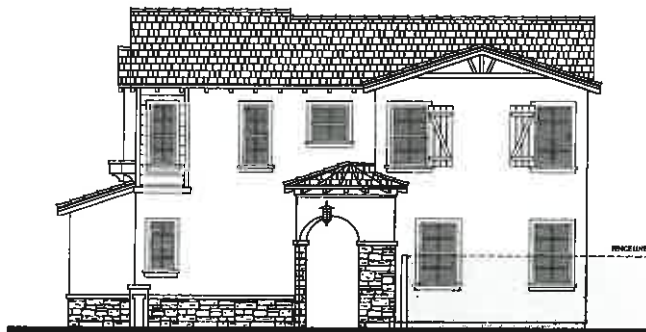
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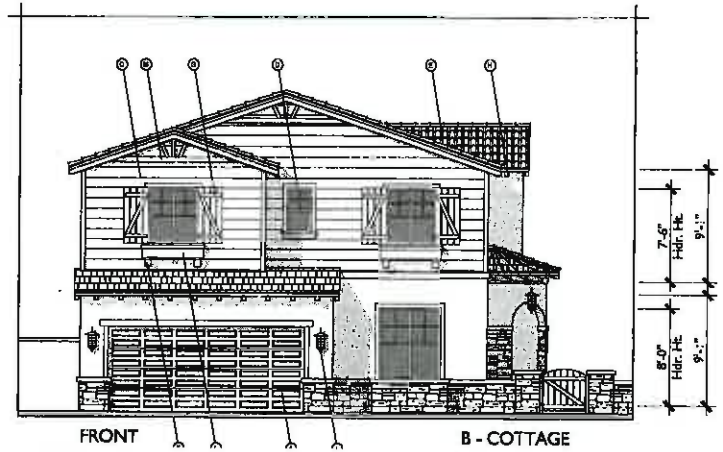
REAR



LEFT



RIGHT

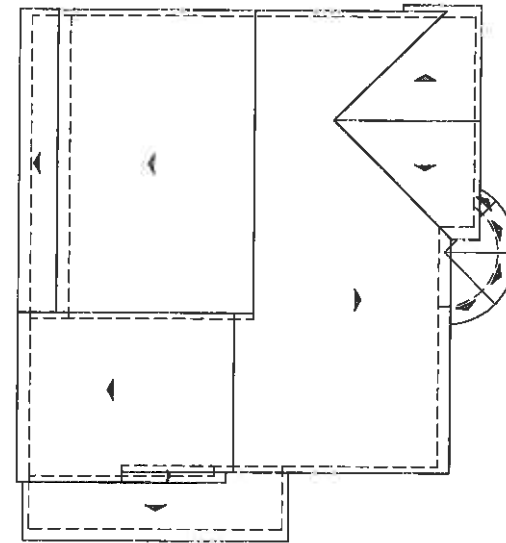


FRONT

B - COTTAGE

**MATERIALS LEGEND**

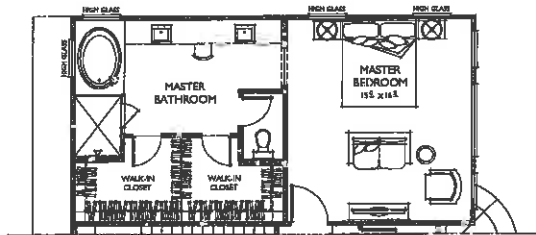
- FOAM TRIM
- SLOPED STUCCO SILL
- CONCRETE'S TILE ROOF
- SAND FINISH STUCCO
- DECORATIVE WOOD SHUTTERS
- WROUGHT IRON POT SHELF
- 2X FASCIA WITH STUCCO OVER FOAM CORNICE
- 2X BARGE BOARD AT GABLE END
- DECORATIVE TILE ACCENT
- STUCCO OVER SHAPED FOAM AT ENTRY
- DECORATIVE COACH LIGHTS
- WROUGHT IRON ENTRY GATE



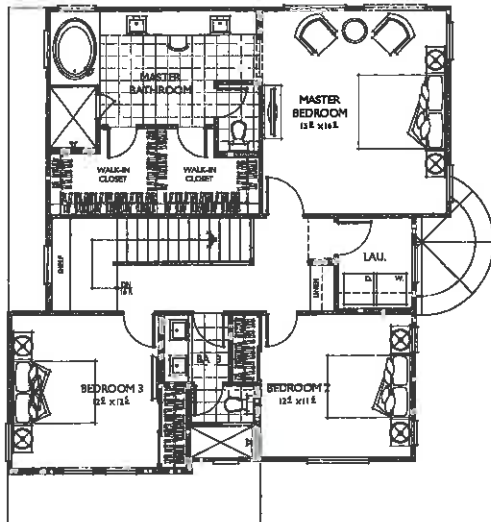
ROOF PLAN

BTCS-012  
 SCALE: 1/8"  
 DATE: 12-17  
 ROOF MATERIAL: FLAT CONCRETE TILE

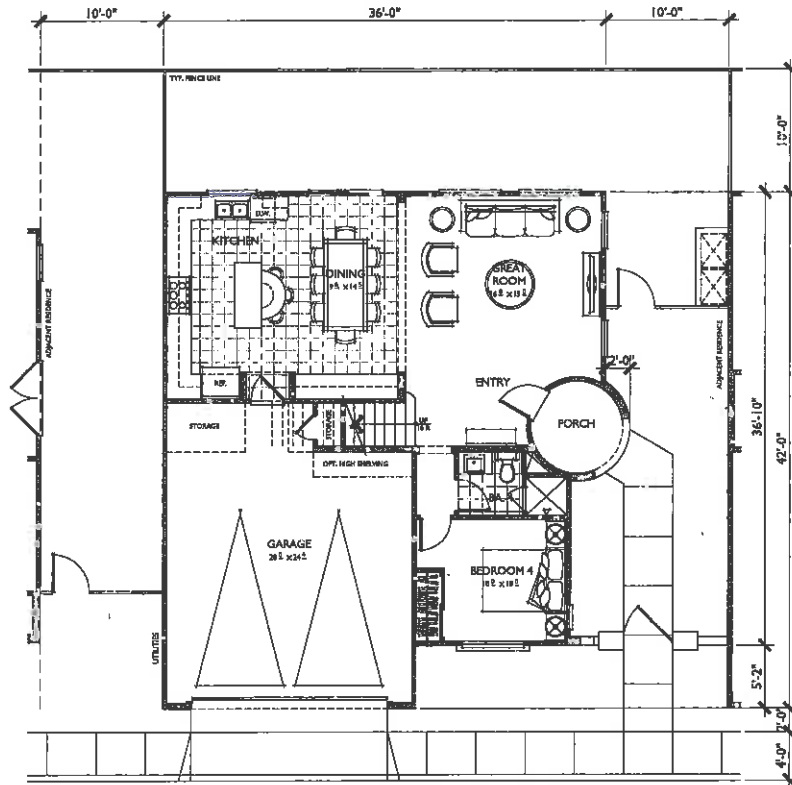
B



**ALTERNATIVE SECOND FLOOR**  
@ SOUTH BOUNDARY LOTS



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 4C**  
2,050 SQ. FT.  
TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 3 BATHS  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	882 SQ. FT.
2ND FLOOR	1168 SQ. FT.
TOTAL	2,050 SQ. FT.
2 - CAR GARAGE	472 SQ. FT.
PORCH	50 SQ. FT.

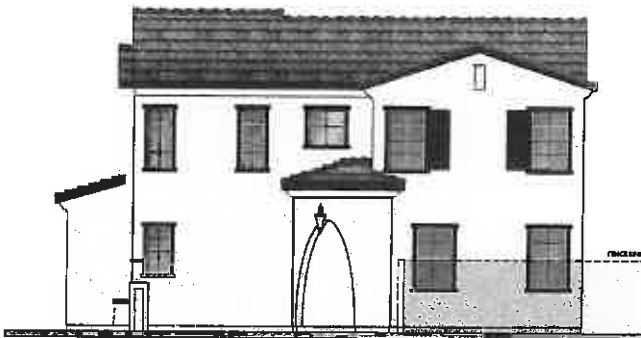
NOTE: USABLE FLOOR AREA MAY VARY DUE TO METHOD OF CALCULATION



REAR



LEFT



RIGHT

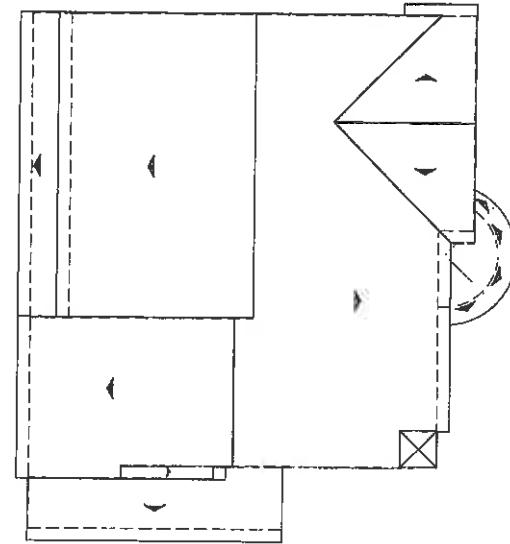


FRONT

C - SANTA BARBARA  
11/13/17

**MATERIALS LEGEND**

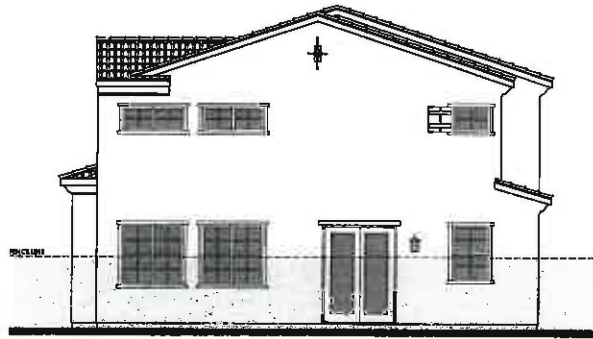
- |                           |                                |
|---------------------------|--------------------------------|
| A. ROLL UP GARAGE DOOR    | E. DECORATIVE SHUTTERS         |
| B. FOAM TRIM              | F. DECORATIVE GABLE END DETAIL |
| C. CONCRETE 'S' TILE ROOF | G. WOOD CORBELS                |
| D. SAND FINISH STUCCO     | H. DECORATIVE COACH LIGHTS     |



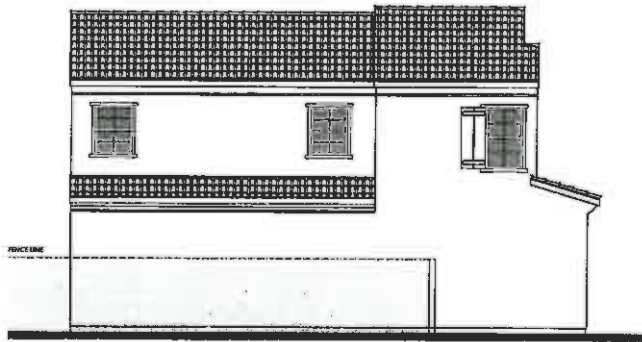
ROOF PLAN

PITCH: 4/12  
 SARE: 1/2"  
 BAYE: 1/2"  
 ROOF MATERIAL: CONCRETE 'S' TILE

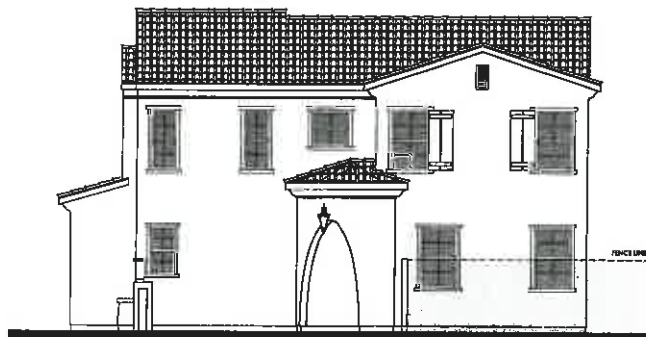
C  
 11/13/17



REAR



LEFT

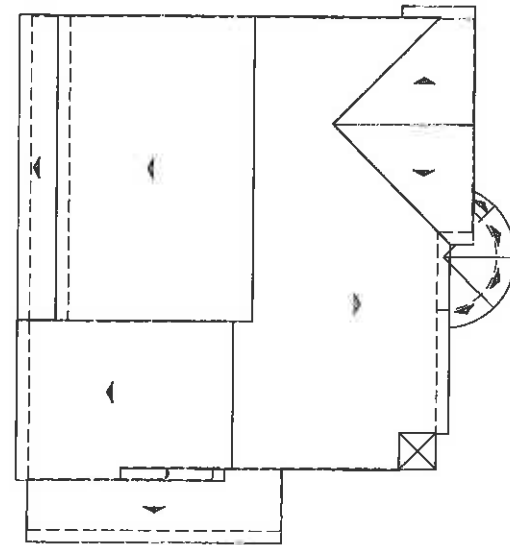


RIGHT



FRONT

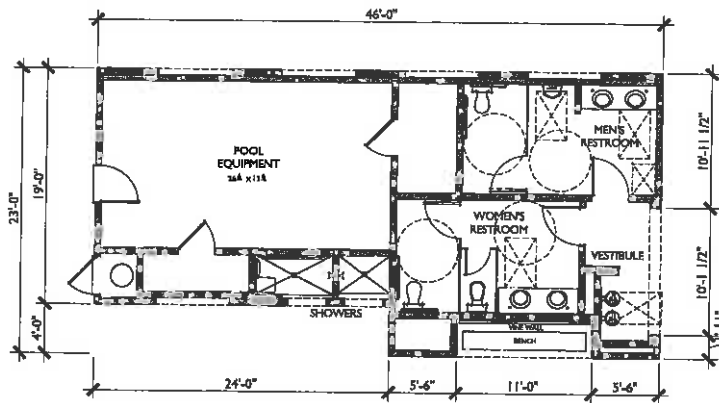
C - SANTA BARBARA  
11/11/17



ROOF PLAN

ATCH-412  
SCALE: 1"  
DATE: 12  
ROOF MATERIAL: CONCRETE S TILE

C



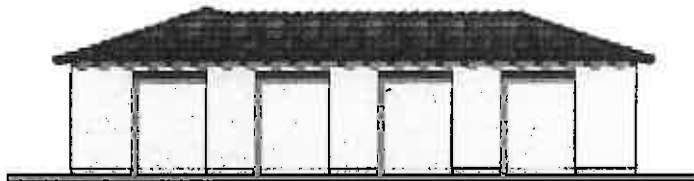
FIRST FLOOR  
(806 SF)





FRONT

A - SPANISH



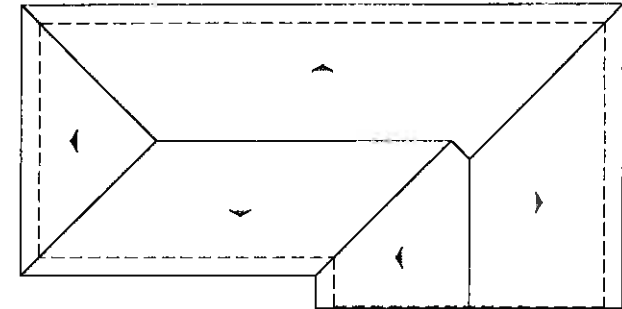
REAR



LEFT



RIGHT

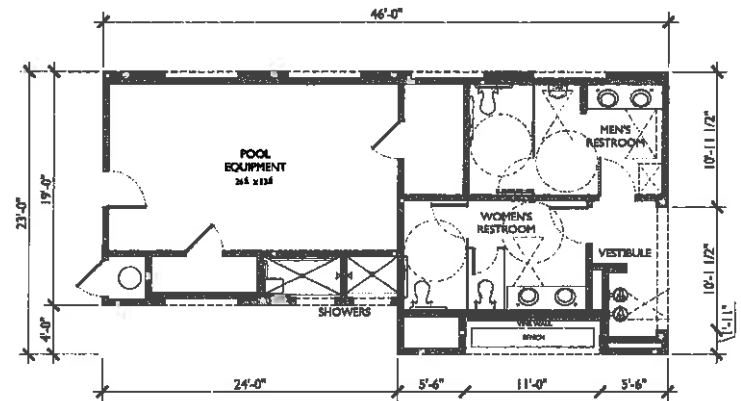


ROOF PLAN

PITCH: 4/12  
RAFE: 2"  
SABS: 18"  
ROOF MATERIAL: CONCRETE 2" TILE

**MATERIALS LEGEND**

- FOAM TRIM
- 4X6 RAFTER TAILS
- CONCRETE 2" TILE ROOF
- SAND FINISH STUCCO
- DECORATIVE RECESSED STUCCO ACCENT
- STUCCO OVER SHAPED FOAM AT OPENINGS
- DECORATIVE COACH LIGHTS



FIRST FLOOR

(86 3')



COMMUNITY POOL WITH RESTROOMS, SHADE STRUCTURES, CHAIRS LOUNGES AND PICNIC TABLES

- PLANT PALETTE**
- SHRUBS**
- Agave sp.
  - Asus sp.
  - Artemisia tridentata
  - Citrus sp.
  - Clusia roseata
  - Crataegus 'Nobis'
  - Hebe pinnatifida
  - Leucodermis 'Lemon'
  - Prunus 'Eldorado'
  - Salix sp.
  - Wickstroemia
- GROUND COVERS**
- Convolvulus 'Marianne'
  - Myoporum 'Tini'
  - Ronivictoria 'Prostrata'
  - Sarcocolla 'mauve'
  - Verbena sp.
- VINES**
- Parthenocissus 'Hoopii'
  - Delonix 'bicolorata'

**LANDSCAPE MAINTENANCE NOTE:**  
The Landscape Concept Plan includes landscape improvements for both on and off site (public right-of-way, park, etc.) areas. The Property Owner shall maintain all site areas until such time as the off site landscape areas are approved into a Special District (CED or LAUSD) and accepted by the City for maintenance purposes. The Property Owner acknowledges that separate water meters for irrigation uses are required to be installed by the Owner within the City's acceptance of the off site areas for maintenance by the Special District. In addition, Property Owner acknowledges that costs for installation into the Special District, and installation of the irrigation water meter, shall be borne by the Property Owner.

**Landscape Water Use Calculations**

**1 Medium Annual Water Allowance**  
 ETO \* Coverage Factor \* (ETAP \* Landscape Area) \* (1.07 \* 2.4) \* 0.85  
 67.0 \* 0.8 \* (0.8 \* 119,800) \* 0.8 \* 0.85 = 2,184,418 gal/yr

**2 Estimated Total Water Use**  
 ETO \* Coverage Factor \* (ETAP \* Landscape Area) \* 0.85 \* 1.07 \* 2.4  
 (67.0 \* 0.85) \* (0.8 \* 119,800) = 1,378,444 gal/yr  
 (0.25 \* 0.25) \* (1.0 \* 180) = 22,500 gal/yr  
 Total ETOU = 1,400,944  
 66.66 - ETOU = 922,400 gal/yr  
 (See number must be positive)

**TOTAL LANDSCAPE AREA**  
119,800 SQFT

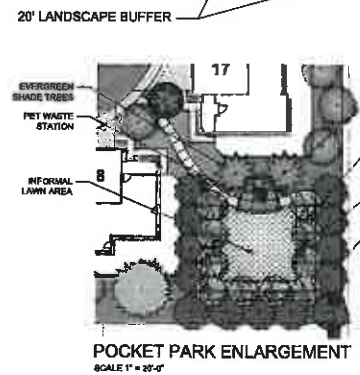
**IRRIGATION DESIGN STATEMENT**  
A permanent automatic, smart/ET analyzing irrigation system shall be designed and installed to irrigate all planting areas. The design of the irrigation system shall emphasize water conservation and provide efficient and uniform distribution of irrigation water. If the site is planned to utilize recycled water in the landscape, then the irrigation system shall be designed in accordance with State of California and Eastern Municipal Water District (EMWD) rules and regulations for recycled water use.

Drip and/or bubble irrigation, or other low-volume, low-pressure micro-irrigation system as approved by the City of Merced and EMWD, shall be installed in planter areas to provide water directly to the root zones of plants. The irrigation system may utilize efficient rotator nozzles in large planting areas, subject to the approval of the EMWD and the City. The automatic irrigation system shall be designed in accordance with the City of Merced Ordinance No. 2009-01, "Landscape Water Use Efficiency Requirements."

For sites utilizing potable water for landscape irrigation, a reduced pressure backflow preventer shall be installed. The water meter to protect the potable water supply in accordance with State of California, City of Merced, and EMWD standards and requirements.

**LANDSCAPE CONCEPT:**  
This landscape will consist of California-friendly, low and medium water use plant material. All plants have been chosen from the low or medium water use category according to WUCOLS. Plants have been chosen to create a uniform theme across the site consisting of Mediterranean and California-friendly plant material. Maintenance and longevity of plant material has been taken into consideration. Root pruned and barked will be utilized on all trees necessary, consistent with all standards and specifications. A 3" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to the current City of Merced Landscape Guidelines.

DESCRIPTION	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
AGAVE	AGAVE SP.	AGAVE	30" HIG	20'	LOW
ASUS	ASUS SP.	ASUS	30" HIG	30'	LOW
ARTEMISIA	ARTEMISIA TRIDENTATA	TRIDENTATA	30" HIG	30'	LOW
CITRUS	CITRUS SP.	CITRUS	30" HIG	30'	LOW
CLUSIA	CLUSIA ROSEATA	CLUSIA	30" HIG	30'	LOW
CRATAEGUS	CRATAEGUS NOBIS	NOBIS	30" HIG	30'	MODERATE
HEBE	HEBE PINNATIFIDA	PINNATIFIDA	12 GALLON	20'	LOW
LEUCODERMIS	LEUCODERMIS LEMON	LEMON	18 GALLON	30'	LOW
PRUNUS	PRUNUS ELDERADO	ELDERADO	18 GALLON	30'	LOW
SALIX	SALIX SP.	SALIX	18 GALLON	30'	MODERATE
WICKSTROMIA	WICKSTROMIA	WICKSTROMIA	18 GALLON	30'	LOW
VERBENA	VERBENA SP.	VERBENA	18 GALLON	30'	LOW
CONVOLVULUS	CONVOLVULUS MARIANNE	MARIANNE	18 GALLON	30'	LOW
MYOPORUM	MYOPORUM TINI	TINI	18 GALLON	30'	LOW
SARCOCOLLA	SARCOCOLLA MAUVE	MAUVE	18 GALLON	30'	LOW
DELONIX	DELONIX BICOLORATA	BICOLORATA	18 GALLON	30'	LOW
PARTENOCISSUS	PARTENOCISSUS HOOPII	HOOPII	18 GALLON	30'	LOW
FRUIT TREE	FRUIT TREE	FRUIT TREE	24" DIA	30'	LOW
PERIMETER FLOWERING / GREEN TREES	PERIMETER FLOWERING / GREEN TREES	PERIMETER FLOWERING / GREEN TREES	24" DIA	30'	LOW



**Mc LAUGHLIN VILLAGE**

**bmla**  
LANDSCAPE ARCHITECTURE

20271 MERIDIAN BLVD #101  
LA JOLLA, CA 92037  
951.737.1124 | 951.737.6551

**RECREATION CENTER ENLARGEMENT**  
SCALE 1" = 20'-0"

**LANDSCAPE LEGEND**

- OPEN SPACE / BUFFER / LANDSCAPE - FROM UNIMPROVED LANDSCAPE AREA
- WATER QUALITY BASIN - HIGH MAINTENANCE LANDSCAPE AREA
- STREETSCAPE - CITY-WIDE (M215-2) CPO UNIMPROVED LANDSCAPE AREA

**SUBMITTAL LOG**

SUBMITTAL NO.	DATE
1ST SUBMITTAL	11/23/16
2ND SUBMITTAL	04/06/17
3RD SUBMITTAL	11/17/17

**ETHANAC RD**  
**McLAUGHLIN RD**  
**ROUSE RD**  
**MCCALL BLVD**

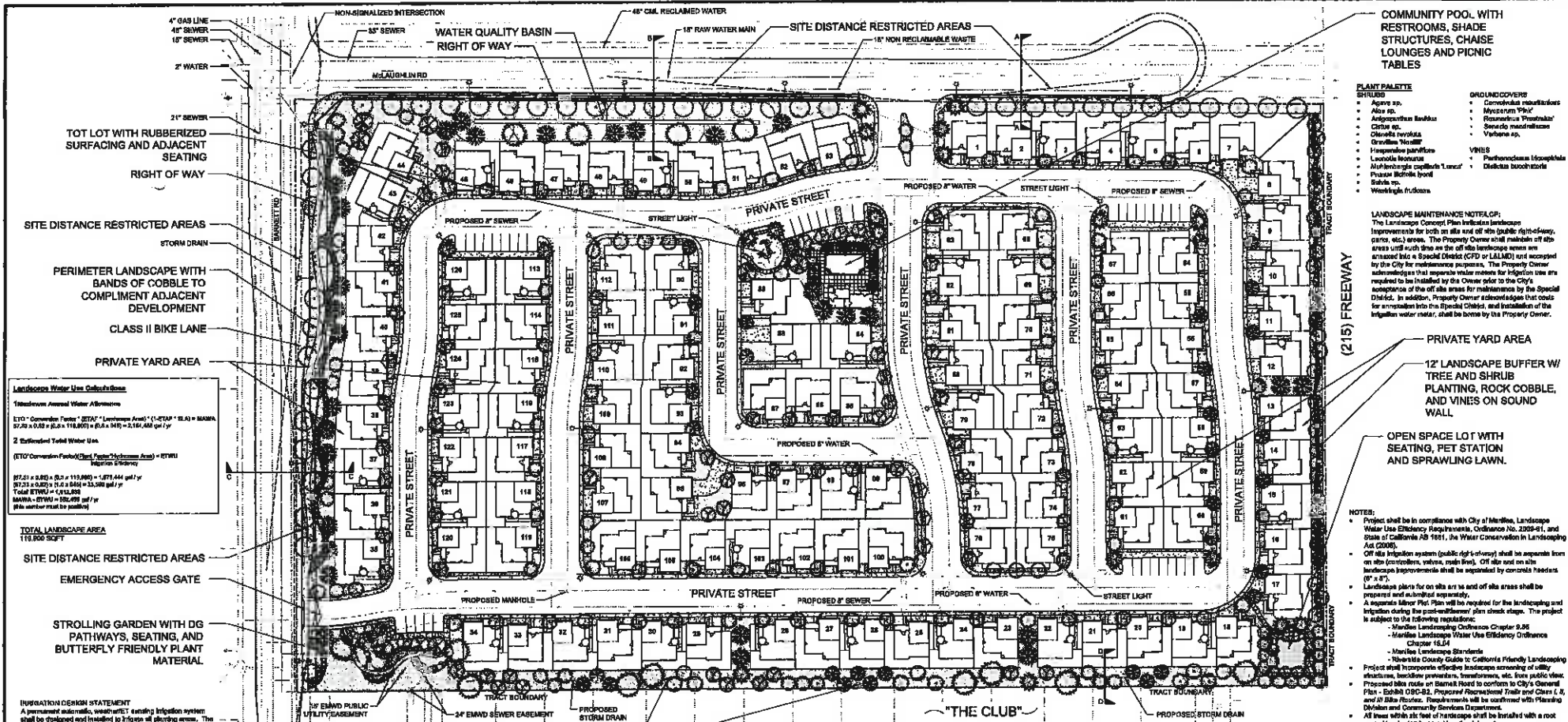
**PROJECT SITE**

**SCALE 1" = 20'-0"**

**SHEET 1 OF 5**

**CONCEPTUAL LANDSCAPE PLAN**  
Mc LAUGHLIN APARTMENTS, LLC.

20271 MERIDIAN BLVD #101 LA JOLLA, CA 92037 PH: 951.737.1400  
CITY FILE #: PP101-231 / TR 2015-250



**Landscape Water Use Calculations**

1. Estimated Annual Water Allowance

ET10' Conversion Factor (SEPA) \* (Landscape Area) \* (1.5' \* 360' \* 24) = MAWA  
 0.20 \* 0.80 \* (110,000 sq ft) \* 1.26 = 295,000 gal/yr

2. Estimated Total Water Use

ET10' Conversion Factor (Irrigation System Area) \* ETWR \* (Irrigation Frequency)

0.72 \* 0.80 \* (52,000 sq ft) \* 110,000 = 1,575,456 gal/yr  
 0.72 \* 0.80 \* (110,000 sq ft) \* 1.26 = 1,260,000 gal/yr  
 MAWA - ETWR = 300,000 gal/yr  
 (Site number must be added)

**TOTAL LANDSCAPE AREA**  
110,000 SQFT

**IRRIGATION DESIGN STATEMENT**

A permanent automatic, weatherET existing irrigation system shall be designed and installed to irrigate all planting areas. The design of the irrigation system shall incorporate water conservation and provide efficient and uniform distribution of irrigation water. If the site is planned to utilize recycled water in the landscape, then the irrigation system shall be designed in accordance with State of California and Eastern Municipal Water District (EMWD) rules and regulations for recycled water use.

Dep and/or bubbler irrigation, or other low-volume, low-pressure micro-irrigation system as approved by the City of Merced and EMWD, shall be included in planters as to provide water directly to the root zone of plants. The irrigation system may utilize efficient emitter nozzles in large planting areas, subject to the approval of the EMWD and the City. The automatic irrigation system shall be designed in accordance with the City of Merced Ordinance No. 2009-01, "Landscape Water Use Efficiency Requirements."

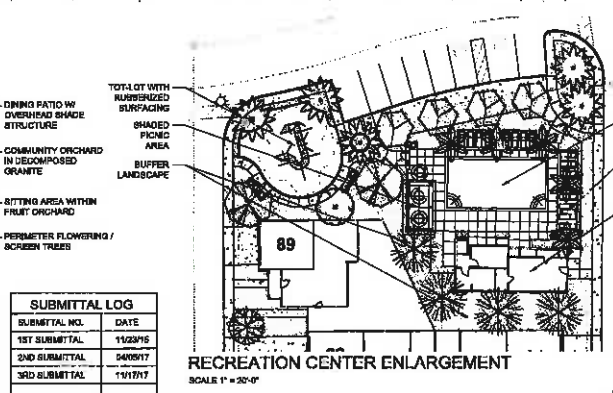
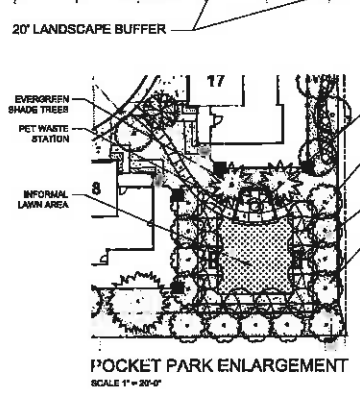
For sites utilizing potable water for landscape irrigation, a reduced pressure backflow preventer shall be installed after the water meter to protect the potable water supply in accordance with State of California, City of Merced, and EMWD standards and requirements.

**LANDSCAPE CONCEPT:**

This landscape will consist of California-Friendly, low and medium water use plant material. All plants have been chosen from the low or medium water use as a category according to WUCOLS. Plants have been chosen to create a uniform theme across the site consisting of Mediterranean and California-Friendly plants. Maintenance and longevity of plant material has been taken into consideration. Stock plants and banners will be utilized on all trees necessary, consistent with all standards and specifications. A 2" layer of bark mulch will be used in all landscape areas. All landscape areas will conform to the current City of Merced Landscape Ordinance.

**TREE PALETTE**

DESCRIPTION	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
1	YUCCA	SPYRTHUS YUCCA	24" BOLL	20'	LOW
2	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
3	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
4	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
5	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
6	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
7	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
8	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
9	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
10	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
11	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
12	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
13	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
14	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
15	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
16	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
17	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
18	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
19	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
20	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
21	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
22	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
23	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
24	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
25	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
26	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
27	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
28	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
29	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
30	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
31	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
32	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
33	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
34	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
35	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
36	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
37	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
38	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
39	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
40	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
41	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
42	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
43	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
44	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
45	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
46	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
47	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
48	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
49	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
50	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
51	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
52	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
53	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
54	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
55	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
56	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
57	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
58	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
59	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
60	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
61	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
62	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
63	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
64	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
65	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
66	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
67	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
68	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
69	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
70	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
71	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
72	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
73	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
74	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
75	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
76	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
77	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
78	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
79	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
80	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
81	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
82	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
83	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
84	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
85	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
86	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
87	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
88	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
89	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
90	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
91	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
92	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
93	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
94	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
95	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
96	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
97	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
98	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
99	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW
100	YUCCA	SPYRTHUS YUCCA	24" BOLL	30'	LOW



**SUBMITTAL LOG**

SUBMITTAL NO.	DATE
1ST SUBMITTAL	11/23/16
2ND SUBMITTAL	04/05/17
3RD SUBMITTAL	11/17/17

- COMMUNITY POOL WITH RESTROOMS, SHADE STRUCTURES, CHAIRS LOUNGES AND PICNIC TABLES**

- PLANT PALETTE**
- SHRUBS
    - Agave sp.
    - Artemisia tridentata
    - Cholla sp.
    - Olivaia foeniculifera
    - Ornithoglossum sp.
    - Yucca sp.
  - ORLANDCOVERS
    - Camelina sativifera
    - Mosses
    - Rosemary
    - Sage
    - Yucca sp.
  - VINES
    - Passiflora
    - Wisteria

**LANDSCAPE MAINTENANCE NOTICE:**

The Landscape Concept Plan indicates landscape improvements for both on site and off site (public right-of-way, easels, etc.). The Property Owner shall maintain off site areas until such time as the off site landscape areas are accepted into a Special District (CIP or LLM) and accepted by the City for maintenance purposes. The Property Owner shall submit separate water meters for irrigation on site areas required to be installed by the Owner prior to the City's acceptance of the off site areas for maintenance by the Special District. In addition, Property Owner acknowledges that costs for installation into the Special District, and installation of the irrigation water meter, shall be borne by the Property Owner.

- PRIVATE YARD AREA
- 12' LANDSCAPE BUFFER W/ TREE AND SHRUB PLANTING, ROCK COBBLE, AND VINES ON SOUND WALL
- OPEN SPACE LOT WITH SEATING, PET STATION AND SPRAWLING LAWN.

- NOTES:**
- Project shall be in compliance with City of Merced, Landscape Water Use Efficiency Requirements, Ordinance No. 2009-01, and State of California AB 1881, the Water Conservation in Landscaping Act (2009).
  - Off site irrigation system (public right-of-way) shall be separate from on site (private, yards, main line). Off site and on site landscape improvements shall be separated by concrete headers (2' x 4').
  - Landscape plants for on site and off site areas shall be prepared and submitted separately.
  - A separate Merced Fire Plan will be required for the landscaping and irrigation during the post-construction plan check stage. The project is subject to the following regulations:
    - Merced Landscape Ordinance Chapter 9.06
    - Merced Landscape Water Use Efficiency Ordinance Chapter 16.04
    - Merced Landscape Standards
    - Merced County Guide to California Friendly Landscaping
  - Project shall incorporate effective landscape screening of utility structures, backflow preventers, transformers, etc. from public view.
  - Proposed bike route on Barnhart Road to conform to City's General Plan - Sustainable Communities Program and Merced Trail and Green Line, and All Bike Routes. Road markings will be confirmed with Merced Division and County of Stanislaus Department.
  - All trees within six feet of landscape shall be installed with a root control barrier (18 feet total length minimum).
  - Vines to be provided on perimeter walls adjacent to streets at 20' on center intervals.

**Mc LAUGHLIN VILLAGE**

**bmla**  
LANDSCAPE ARCHITECTURE  
310 NORTH JOY STREET | CORONA, CA 92879  
T: 951.737.1124 | F: 951.737.6551

**CONCEPTUAL LANDSCAPE PLAN**  
Mc LAUGHLIN APARTMENTS, LLC.  
24071 HERTZ CIRCLE 101 | LAGUNA HILLS, CA 92653 | PH: 949.267-9400  
CITY FILE: 19015-251 / TR 2015-250



TYPICAL ELEVATION - COTTAGE ELEVATION - SPANISH ELEVATION



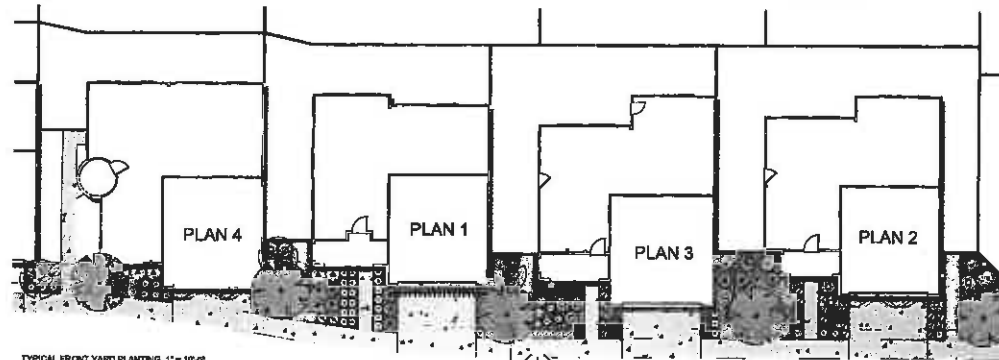
TYPICAL ELEVATION - SANTA BARBARA ELEVATION - COTTAGE ELEVATION



TYPICAL ELEVATION - COTTAGE ELEVATION - SANTA BARBARA ELEVATION



TYPICAL STREET SCENE



TYPICAL FRONT YARD PLANTING 1" = 10'-0"



TYPICAL STREET SCENE

DESCRIPTION	SPANISH THEME		COTTAGE THEME		SANTA BARBARA THEME		SIZE	SPACING	VEHICLE
	BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME	BOTANICAL NAME	COMMON NAME			
1 <sup>ST</sup> ORGANO	BRUNO	REEF TRELLIS	DRAGONFLY	RED HOT POKER	ARIZONA	RED HOT POKER	1 GALLON	2'	LOW
	AMANTHIOS	BUSH GOLD	LAUREL	SPANISH LARDER	SANTA BA	GREY			
RED ORGANO	DAWILA	LITTLE NEWFLAX	DAWILA	RED HOT POKER	DAWILA	LITTLE NEWFLAX	6 GALLON	2'	LOW
	DAWILA	LITTLE NEWFLAX	DAWILA	RED HOT POKER	DAWILA	LITTLE NEWFLAX	6 GALLON	2'	LOW
BACK ORGANO	DAWILA	LITTLE NEWFLAX	DAWILA	RED HOT POKER	DAWILA	LITTLE NEWFLAX	6 GALLON	2'	LOW
	DAWILA	LITTLE NEWFLAX	DAWILA	RED HOT POKER	DAWILA	LITTLE NEWFLAX	6 GALLON	2'	LOW
ACCENT	ALOE STRATA	CEMAL ALDE	AMORPHOSA	RED HOT POKER	AMORPHOSA	RED HOT POKER	15 GALLON	2-3'	LOW
	ALOE STRATA	CEMAL ALDE	AMORPHOSA	RED HOT POKER	AMORPHOSA	RED HOT POKER	15 GALLON	2-3'	LOW
FRUIT	FRONT YARD TREES REFER TO GENERAL SITE PLAN SHEET								
SMALL TREE	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	24" BOX	1 PER LOT	PER SITE PLAN
SHRUB	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	15 GALLON	1 PER LOT	LOW
	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	15 GALLON	1 PER LOT	LOW
VEG	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	ADONIS	FLORIDA SPUR	15 GALLON	15' C.D.	LOW

- NOTES:
- Minimum Standards from County of Riverside Guide to California Friendly Landscaping.
  - All Lots will feature 50% minimum coverage by shrubs, groundcover, and mulch.
  - All Lots will require (1) 24" box tree per lot and (1) 15 Gal. tree per lot.
  - Corner Lots will require (2) 24" box trees per lot and (1) 15 Gal. tree per lot.
  - Of this amount, 80% shall be 6 Gal. foundation shrubs and 40% shall be 1 Gal. shrubs. 50% of the area underneath the shrubs shall be covered by a vegetative, drought-tolerant groundcover, similar mulch.
  - Calculating number of shrubs: Area for shrubs to be divided by 25 sq. ft. The resulting number is the total number of shrubs that must be planted to achieve full coverage.
  - The 24" box tree shall be a minimum 2" caliper and the 15 Gal. tree shall be a minimum 1" caliper.



SPANISH ELEVATION - DECORATIVE TRELLIS



SANTA BARBARA ELEVATION - CLIMBING VINE



SANTA BARBARA ELEVATION - ACCENT POTTERY

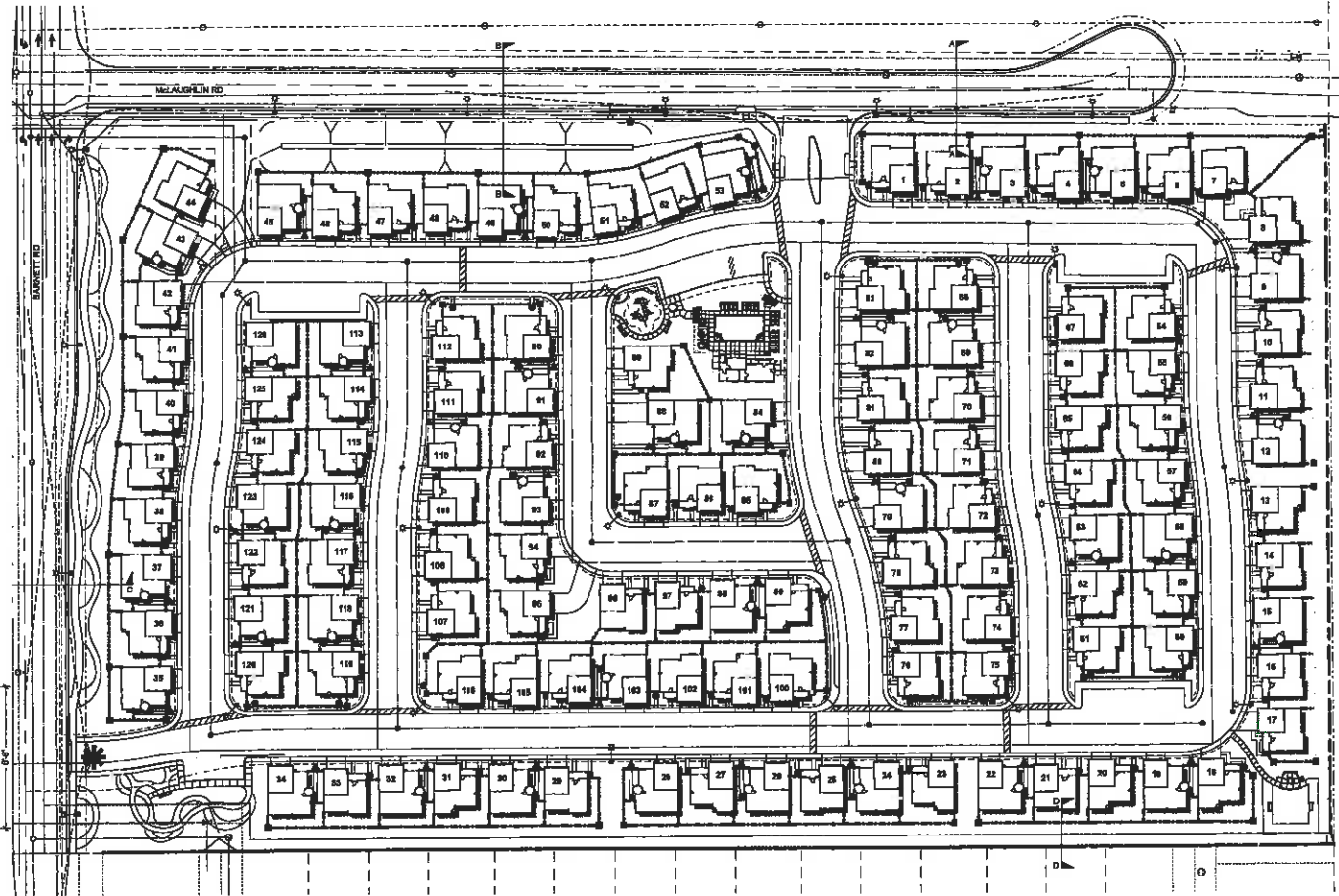
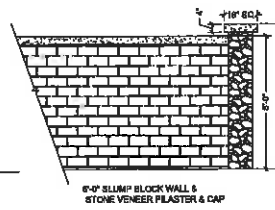
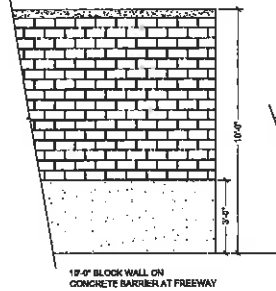
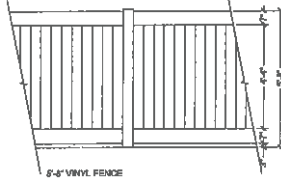
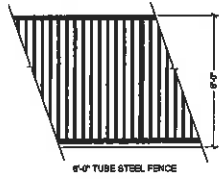
IN AN EFFORT TO ENHANCE THE STREETSCENE OF THE McLAUGHLIN VILLAGE COMMUNITY, THE DESIGN INCLUDES THE ADDITION OF THREE TYPES OF LANDSCAPE IMPROVEMENTS. THE FIRST OF THESE IMPROVEMENTS IS THE SIMPLE ADDITION OF VINES TO SURROUND THE GARAGE ON THE COTTAGE ELEVATIONS. PROVIDING PLANTING ON THE ARCHITECTURE HELPS TO SOFTEN THE APPEARANCE AND PROVIDE A MORE WELCOMING VIBE THROUGHOUT THE NEIGHBORHOOD. THE SECOND SOLUTION IS TO PROVIDE DECORATIVE POTTERY WITH ACCENT PLANTS ON THE SANTA BARBARA ELEVATIONS. THE POTTERY WILL ADD A PUNCH OF COLOR TO THE STREETSCENE AS WELL AS BRING THE ARCHITECTURE DOWN TO A PLEASING PEDESTRIAN SCALE. LASTLY, ARCHITECTURAL ENHANCEMENTS WILL BE ADDED TO THE SPANISH ELEVATION IN THE FORM OF A DECORATIVE TRELLIS. THE TRELLIS WOULD VARY DEPENDING ON THE PLAN AND COULD EITHER BE A FULL TRELLIS SPANNING THE GARAGE OR PLANTED WALL PANELS THAT WOULD FRAME THE GARAGE PROVIDING AN EXTRA SENSE OF CHARACTER UNIQUE TO THE McLAUGHLIN VILLAGE COMMUNITY.

SUBMITTAL LOG	
SUBMITTAL NO.	DATE
1 <sup>ST</sup> SUBMITTAL	11/23/15
2 <sup>ND</sup> SUBMITTAL	04/09/17
3 <sup>RD</sup> SUBMITTAL	11/17/17

# Mc LAUGHLIN VILLAGE

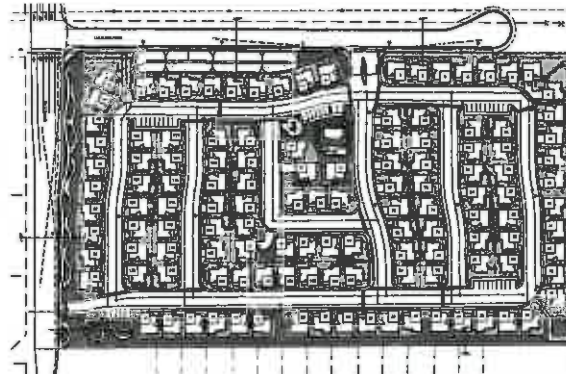


WALL AND FENCE LEGEND			
LINE TYPE	WALL/FENCE TYPE	COMMENTS	FINISH COLOR
—	8" TALL VINYL FENCE	INTERIOR WALL	WHITE
—	8" TALL STREET FACING SLUMP BLOCK WALL		TAN
—	18" TALL PERIMETER BLOCK WALL	PER CALTRANS STANDARDS	TAN
—	EXISTING RESIDENTIAL BLOCK WALL TO PROTECT IN PLACE		
—	COURTYARD LOW WALL PER ARCHITECTS PLANS		
—	6" TALL TUBE STEEL FENCE		BLACK
○	2" WIDE VINYL GATE		WHITE
△	2" WIDE LOW COURTYARD TUBE STEEL GATE		BLACK
●	4" WIDE TUBE STEEL MAINT. / POOL GATE		BLACK
■	6"-8" TALL PLASTER WITH STONE VENEER AND DECORATIVE CAP		
★	TUBE STEEL EMERGENCY ACCESS GATE		BLACK

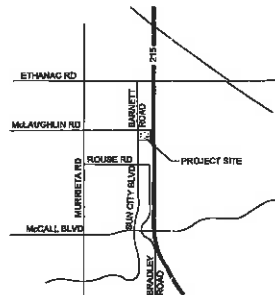


**LANDSCAPE MAINTENANCE EXHIBIT**  
SCALE: 1" = 100'-0"

LANDSCAPE MAINTENANCE LEGEND	
	OPEN SPACE / BUFFER LANDSCAPE - HOA MAINTAINED LANDSCAPE AREA
	WATER QUALITY BASIN - HOA MAINTAINED LANDSCAPE AREA
	STREETSCAPE - CITY-WIDE CFD (#2015-2) MAINTAINED LANDSCAPE AREA
	PRIVATE YARD - HOMEOWNER MAINTAINED LANDSCAPE AREA



SUBMITTAL LOG	
SUBMITTAL NO.	DATE
1ST SUBMITTAL	11/23/16
2ND SUBMITTAL	04/05/17
3RD SUBMITTAL	11/17/17



**Mc LAUGHLIN VILLAGE**

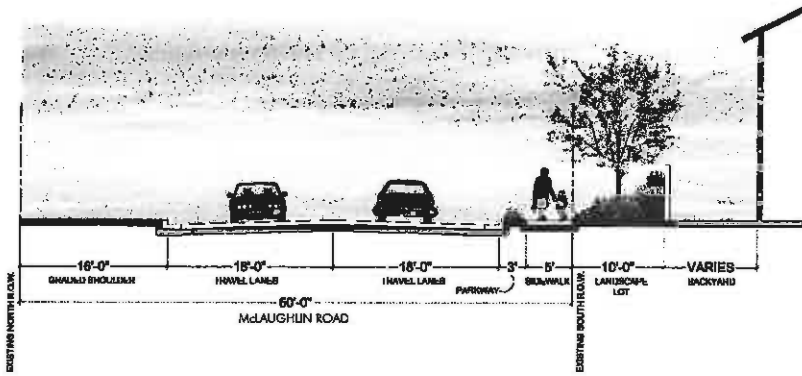


2020 MARKET BLVD SUITE 100 | LAGUNA HILLS, CA 92653  
951.737.1124 | 951.737.6561

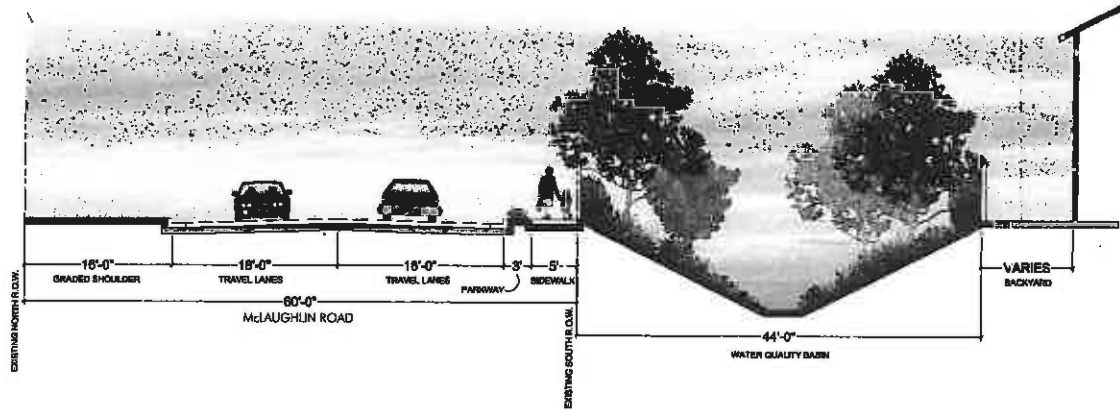
**CONCEPTUAL LANDSCAPE PLAN**

Mc LAUGHLIN APARTMENTS, I.L.C.

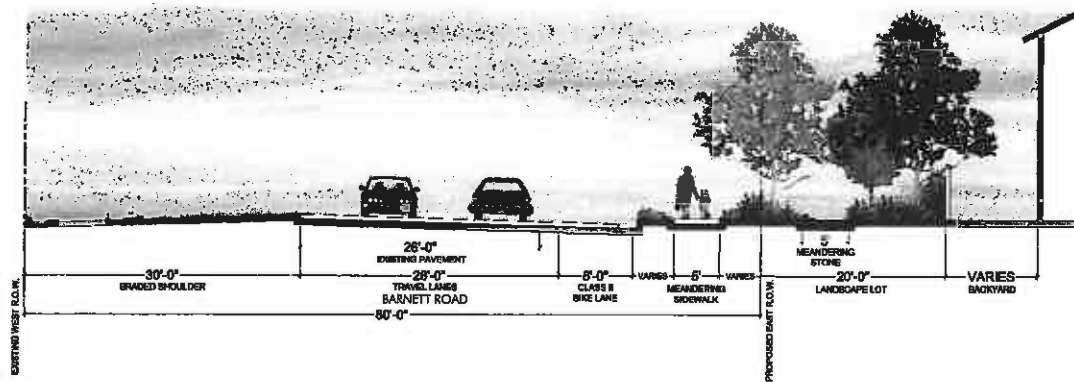
24071 MERIT CIRCLE #101 LAGUNA HILLS, CA 92653 PH: 951.267-9400  
CITY FILE#: PP2015-281 / 18.2015-290



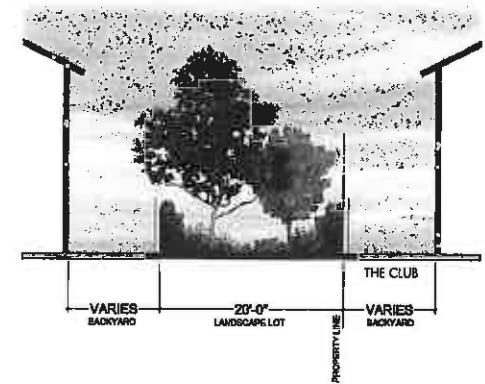
SECTION 'A' - McLAUGHLIN ROAD



SECTION 'B' - McLAUGHLIN ROAD AT WATER QUALITY BASIN



SECTION 'C' - BARNETT ROAD



SECTION 'D' - SOUTH PROPERTY LINE

# Mc LAUGHLIN VILLAGE



1 951.737.1124 | 951.737.6551

SUBMITTAL LOG	
SUBMITTAL NO.	DATE
1ST SUBMITTAL	11/23/18
2ND SUBMITTAL	04/26/17
3RD SUBMITTAL	11/17/17

SCALE: 5/16" = 1'-0"

SHEET 5 OF 5 NORTH

CONCEPTUAL LANDSCAPE PLAN  
 Mc LAUGHLIN APARTMENTS, LLC.  
 26071 HUNT CIRCLE #101 LAGUNA HILLS, CA 92653 PROJECT 5077408  
 CITY FILE#: PP2016-251 / 78 2015-250

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# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

April 12, 2018

**CHAIR  
VACANCY**

**VICE CHAIRMAN  
Steve Manos  
Lake Elsinore**

**COMMISSIONERS**

**Arthur Butler  
Riverside**

**John Lyon  
Riverside**

**Glen Holmes  
Hemet**

**Russell Betts  
Desert Hot Springs**

**Steven Stewart  
Palm Springs**

**STAFF**

**Director  
Simon A. Housman**

**John Guerin  
Paul Rull  
Barbara Santos**

**County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132**

[www.rcaluc.org](http://www.rcaluc.org)

Mr. Ryan Fowler, Senior Planner  
City of Menifee Community Development Department  
29714 Haun Road  
Menifee CA 92586

## **RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION**

File No.: ZAP1309MA18 – Letter 1 of 2  
Related File Nos.: 2016-140 (Specific Plan Amendment), 2017-140 (Change of Zone)  
APN: 333-180-028

Dear Mr. Fowler:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Menifee Case Nos. 2016-140 (Specific Plan Amendment), a proposal to amend Menifee Valley Ranch Specific Plan No. 301 (Amendment No. 3) as it applies to Planning Area 41, consisting of 19.32 acres located westerly of Briggs Road, northerly of McCall Boulevard, and easterly of Heritage Lake Drive. The proposed amendment would replace Planning Area 41, which is currently designated for Commercial uses, by dividing it into Planning Areas 41A (13.9 acres) to be designated Medium High Density Residential (4,500 square foot minimum lot size) and 41B (1.1 acres) to be designated Open Space - Recreation. Additionally, the Specific Plan Amendment makes other changes to the Specific Plan to reflect the approvals of other implementing projects that have already occurred. The proposal allows for the development of an 80-home tract map within Planning Area 41A and results in an increase in the overall dwelling unit count of the Specific Plan from 4,359 to 4,407 units.

Staff also reviewed City of Menifee Case No. 2017-140 (Change of Zone), a proposal to amend the City's Zoning Ordinance for Specific Plan No. 301, making the necessary changes to reflect the changes in land use referenced above.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.



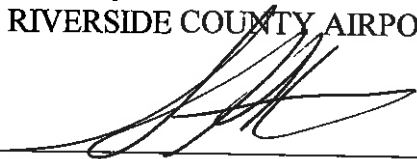
## **AIRPORT LAND USE COMMISSION**

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of the proposed Specific Plan Amendment and Change of Zone. As the site is located within Compatibility Zone E, both the existing and proposed zoning of this property are consistent with the March ALUCP.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



---

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: CalAtlantic Homes, Jarnne Gardner (applicant)  
T&B Planning, Joel Morse (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

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# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



April 12, 2018

Mr. Ryan Fowler, Senior Planner  
City of Menifee Community Development Department  
29714 Haun Road  
Menifee CA 92586

CHAIR  
vacant

VICE CHAIRMAN  
Steve Manos  
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

COMMISSIONERS

Arthur Butler  
Riverside

File No.: ZAP1309MA18 – Letter 2 of 2  
Related File Nos.: 2016-139 (Tentative Tract Map No. 37136)  
APN: 333-180-028

John Lyon  
Riverside

Dear Mr. Fowler:

Glen Holmes  
Hemet

Russell Betts  
Desert Hot Springs

Steven Stewart  
Palm Springs

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Menifee Case No. 2016-139 (Tentative Tract Map No. 37136) proposing to divide 19.32 acres located westerly of Briggs Road, northerly of McCall Boulevard, and easterly of Heritage Lake Drive into 80 single family residential lots within the Menifee Valley Ranch Specific Plan.

STAFF

Director  
Simon A. Housman

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

John Guerin  
Paul Rull  
Barbara Santos

Although the project is located within the March Air Reserve Base/Inland Port AIA, the actual nearest runway is Runway 15-33 at Perris Valley Airport. However, the closest point of this runway is located over 20,000 feet from the project site. The runway at March Air Reserve Base/Inland Port Airport is more than 40,000 feet away. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

County Administrative Center  
4080 Lerron St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Menifee applies the following recommended conditions:

## CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or

## AIRPORT LAND USE COMMISSION

amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all potential purchasers of the proposed lots and to the tenants of the homes thereon.
  4. All new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

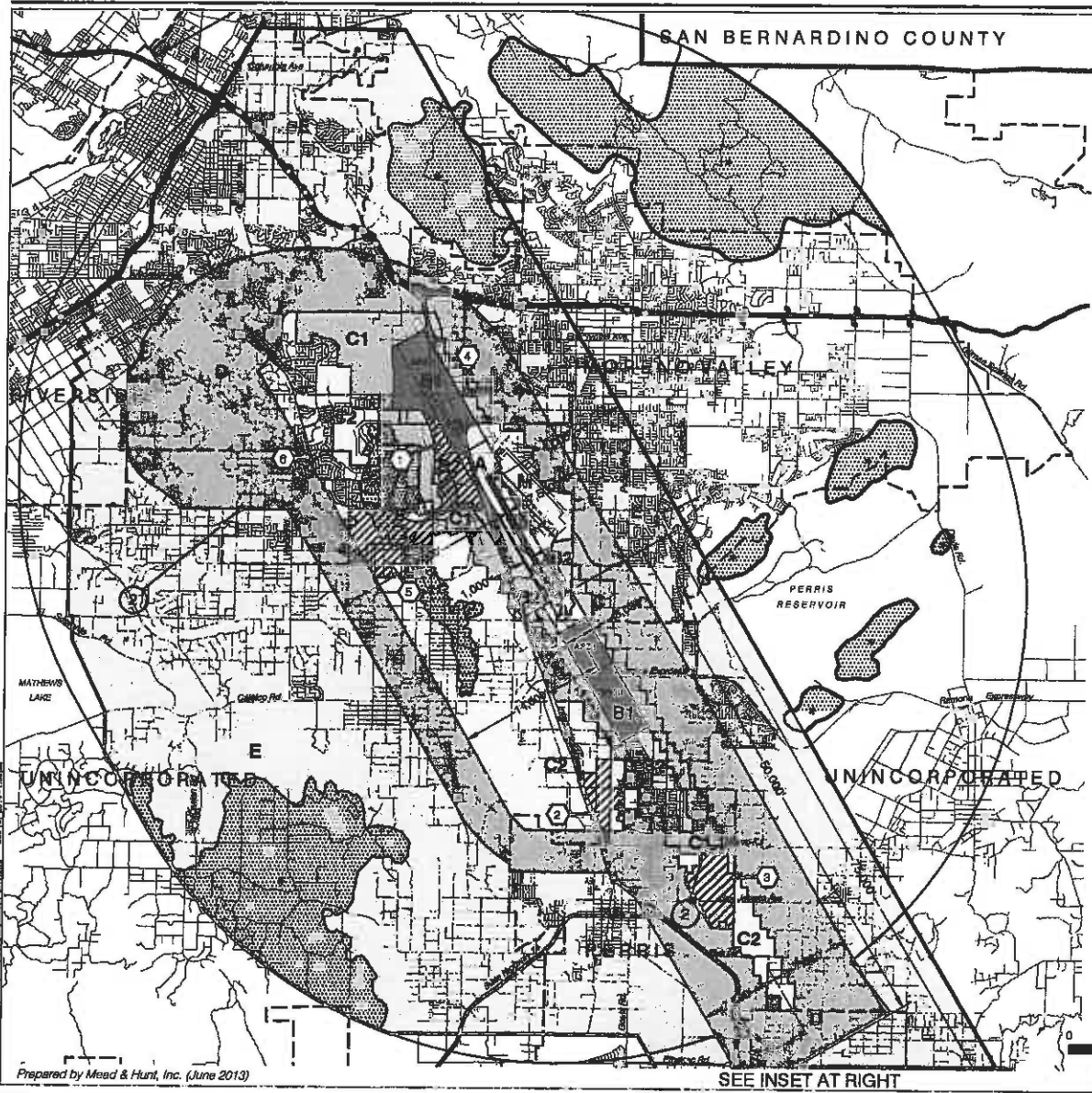
Attachments: Notice of Airport in Vicinity

cc: CalAtlantic Homes, Jarnne Gardner (applicant)  
T&B Planning, Joel Morse (representative)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Daniel Rockholt or Denise Hauser, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1309MA18\ZAP1309MA18TR.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

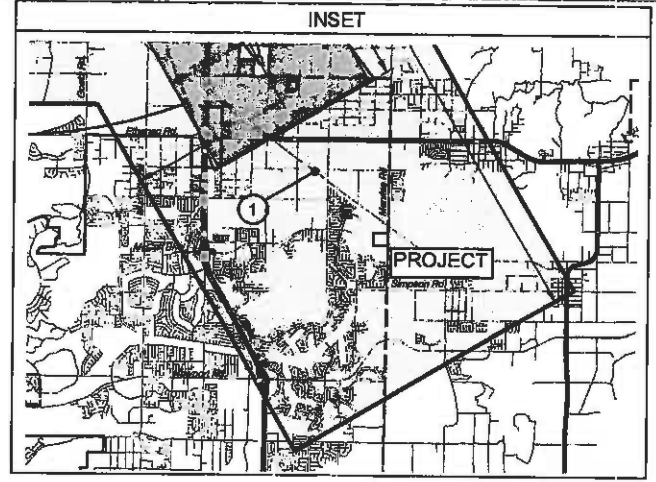
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian  
 ② Perris: Harvest Landing  
 ③ Perris: Park West  
 ④ Moreno Valley: Affordable Housing  
 ⑤ March JPA: Ban Clark Training Center  
 ⑥ Riverside: Ridge Crest Subdivision



**Riverside County**  
**Airport Land Use Commission**  
**March Air Reserve Base / Inland Port Airport**  
**Land Use Compatibility Plan**  
 (Adopted November 13, 2014)

**Note:**  
 All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

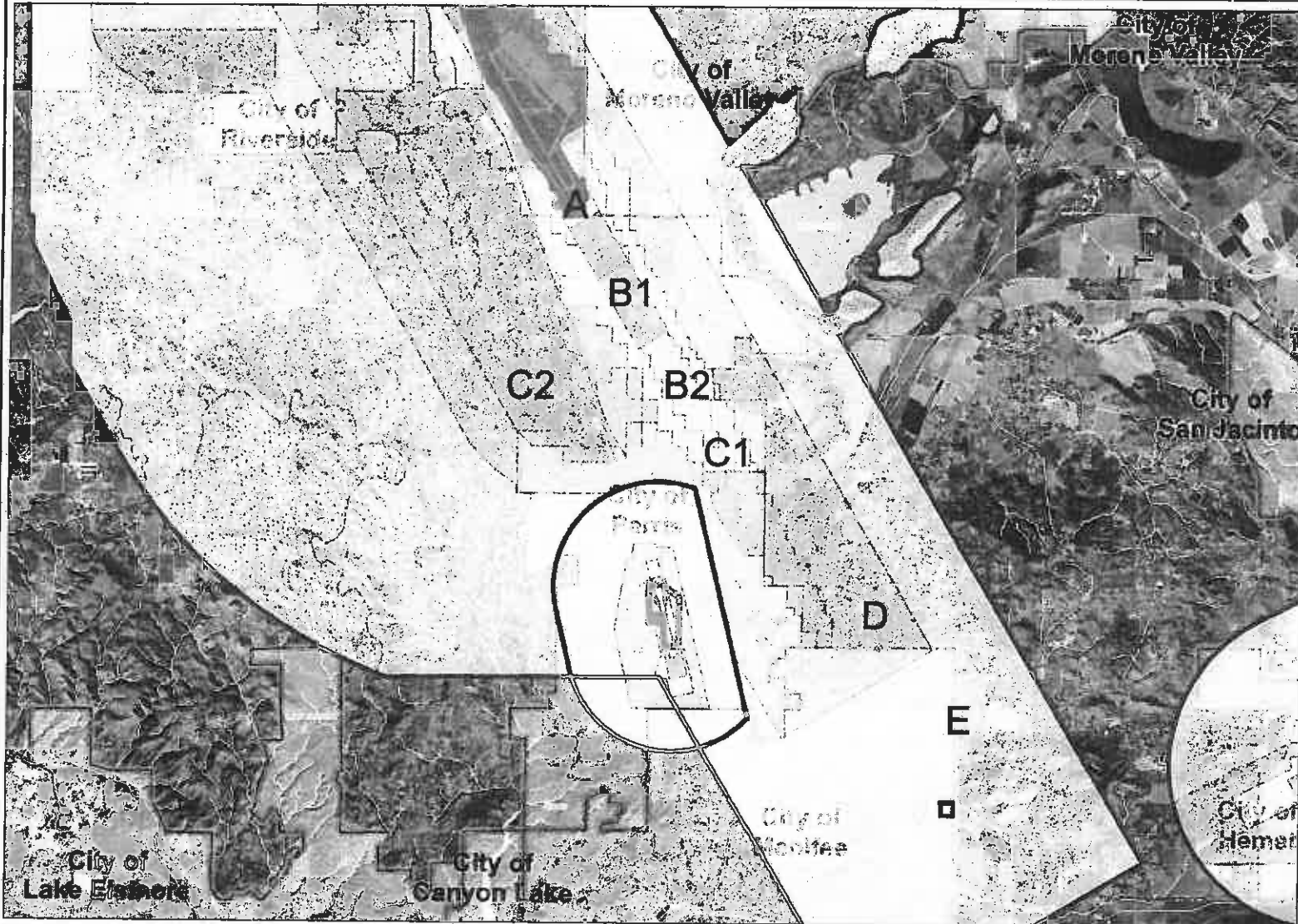
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT



























Map MA-1

**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

# My Map



## Legend

-  Airports
-  AIA
- Airport Compatibility**
-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT



0 15,964 31,928 Feet



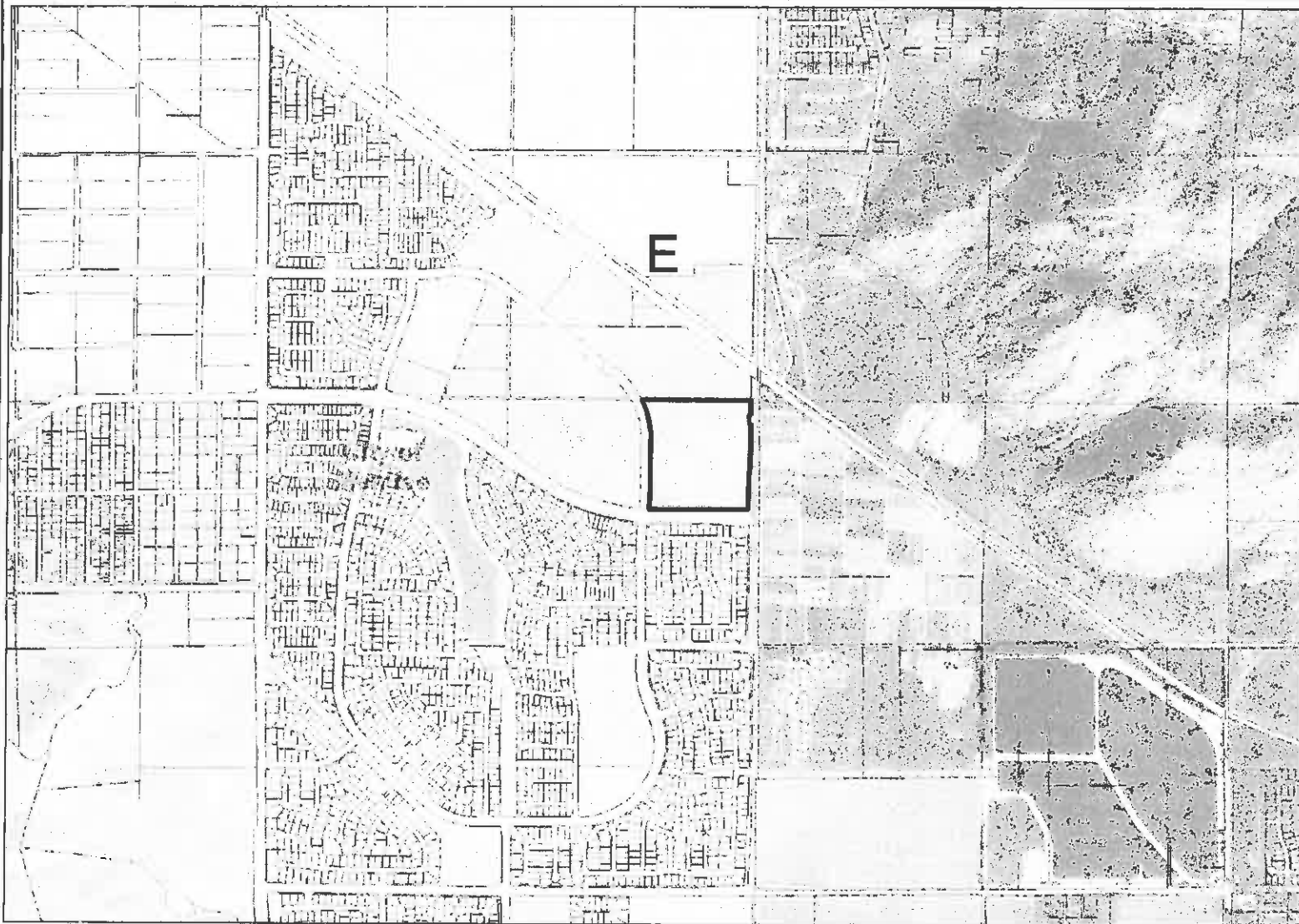
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






















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## Notes

# My Map



## Legend

-  Airports
-  AIA
- Airport Compatibility**
-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT



0 1,995 3,991 Feet



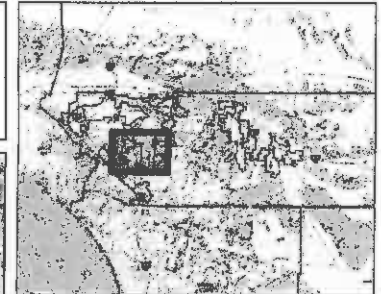
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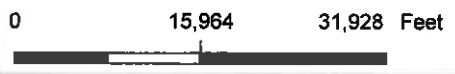
## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- adjacent\_highways**
- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- OUT
- highways\_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- counties
- cities



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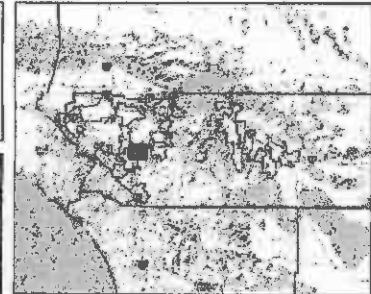
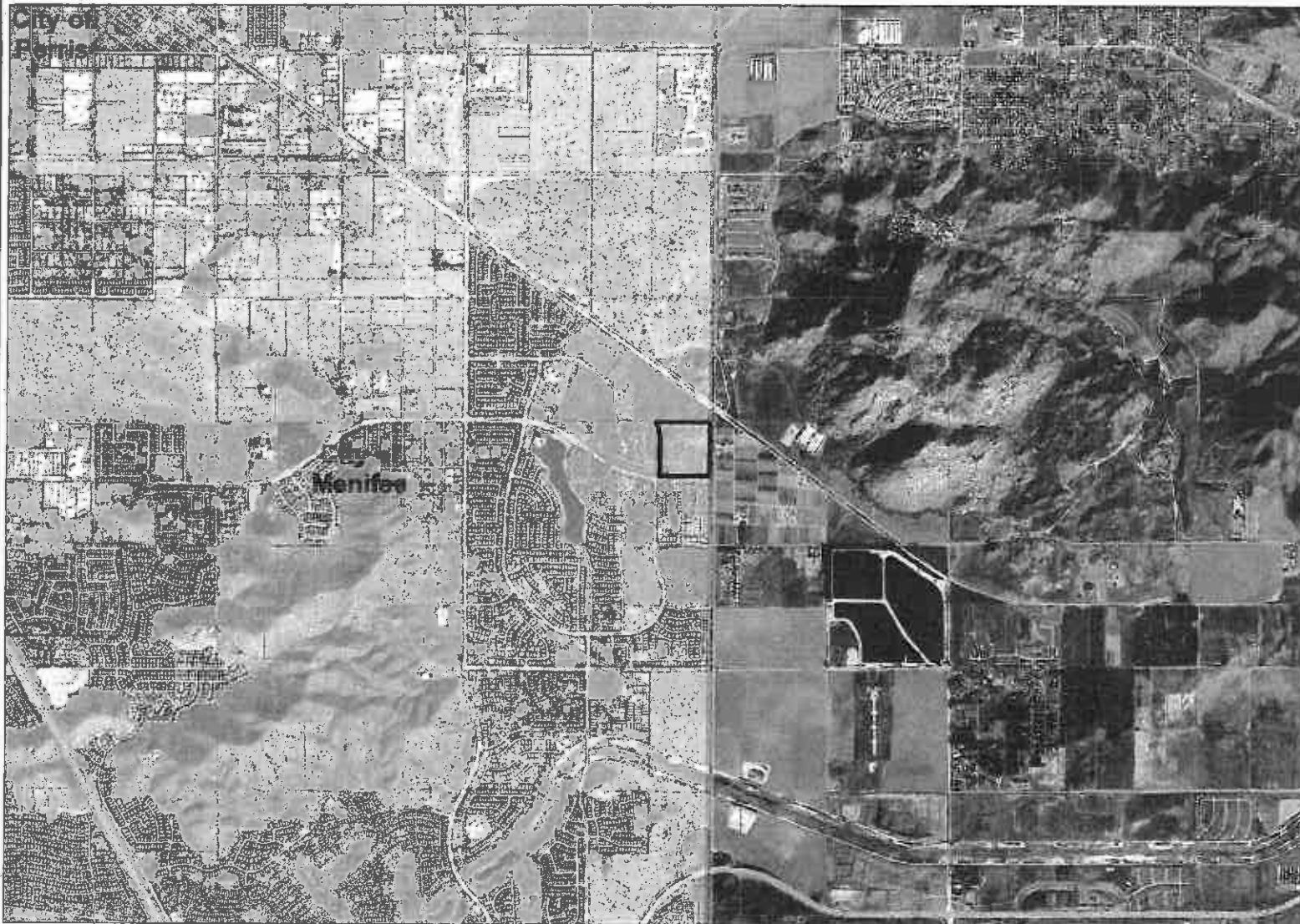
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## Notes



# My Map



## Legend

- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 3,991 7,982 Feet



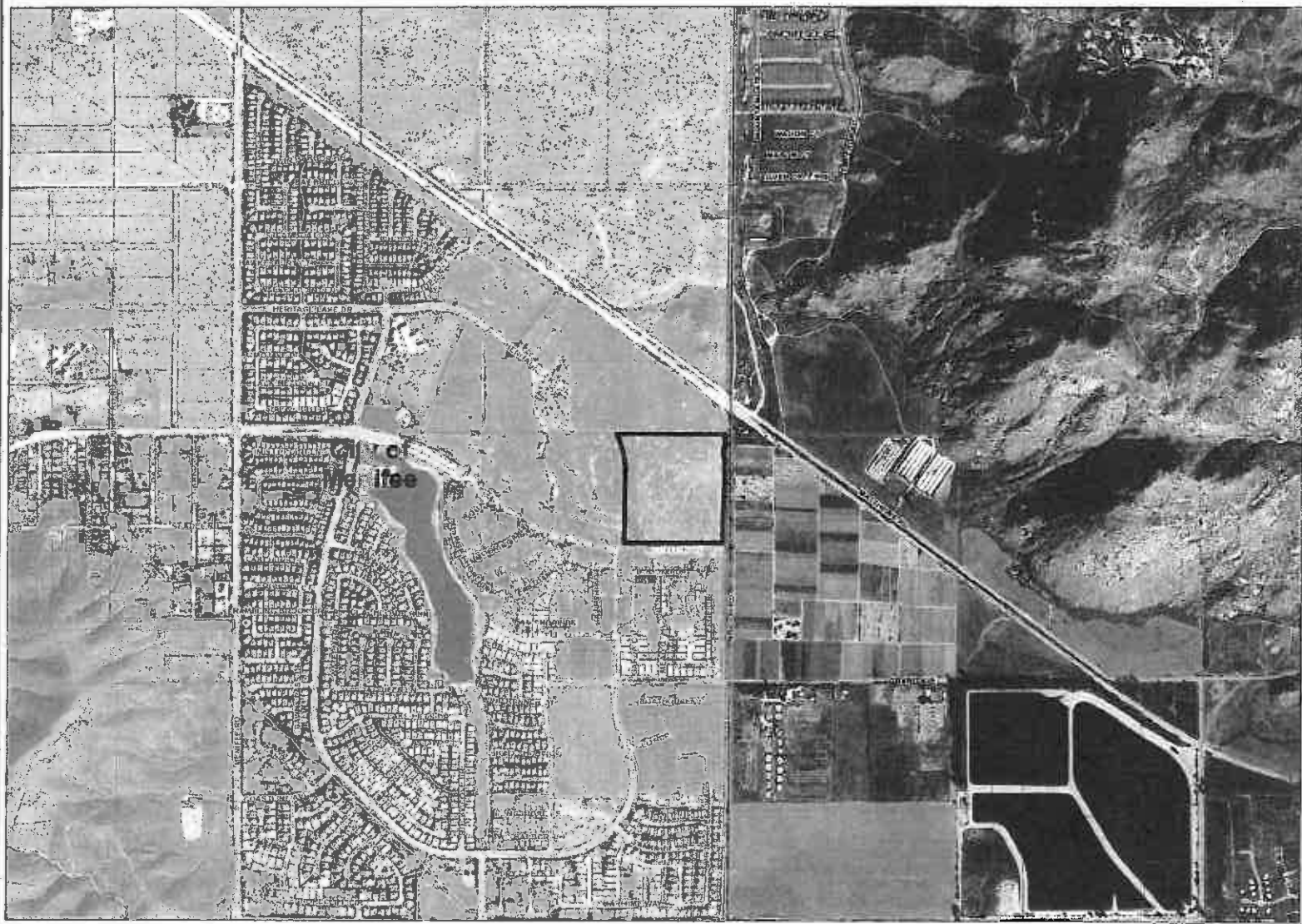
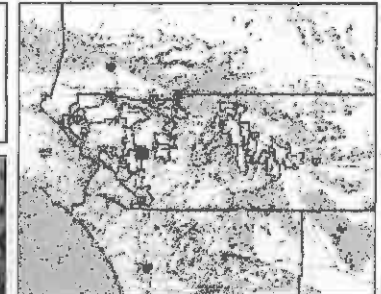
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## Notes

# My Map



## Legend

- City Boundaries
- Cities
- roadsanno
- highways
  - HWY
  - INTERCHANGE
  - INTERSTATE
  - OFFRAMP
  - ONRAMP
  - USHWY
- counties
- cities
- hydrographylines
- waterbodies
  - Lakes
  - Rivers



0 1,995 3,991 Feet



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## Notes

# My Map



## Legend

- City Boundaries
- Cities**
- roads**
- anno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography**
- lines**
- waterbodies**
- Lakes
- Rivers



0 998 1,995 Feet



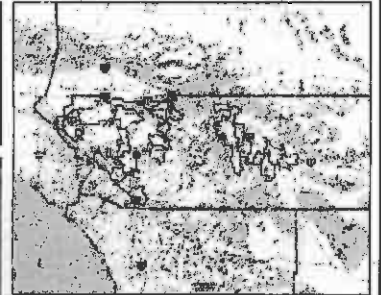
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## Notes

# My Map



## Legend

-  City Boundaries
-  Cities
-  roadsanno
-  highways
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
-  counties
-  cities
-  hydrographylines
-  waterbodies
-  Lakes
-  Rivers



0 499 998 Feet



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## Notes





1 BB. Lots shall have a minimum usable pad area of not less than seven  
2 thousand (7,000) square feet.

3 CC. Interior side yards may be reduced to accommodate zero lot line  
4 situations, except that, in no case shall the reduction in the side yard areas reduce the  
5 separation between structures to less than ten feet (10').

6 (3) Except as provided above, all other zoning requirements shall be the same  
7 as those requirements identified in Article VI, respectively of Ordinance No. 348.

8 b. Planning Areas 2 and 6

9 (1) The uses permitted in Planning Areas 2 and 6 of Specific Plan No. 301 shall be the  
10 same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the uses  
11 permitted pursuant to Section 6.1.a.(3), b.(1), (3) and (4), and c.(1) shall not be permitted.

12 (2) The development standards for Planning Areas 2 and 6 of Specific Plan No. 301 shall  
13 be the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that  
14 the development standards set forth in Article VI, Section 6.2.b.,c.,d., and e.(2), and (4) shall be  
15 deleted and replaced by the following:

16 A. Lot area shall be not less than six thousand (6,000) square feet. The  
17 minimum lot area shall be determined by excluding that portion of a lot that is used solely  
18 for access to the portion of a lot used as a building site.

19 B. The minimum average width of that portion of the lot to be used as  
20 a building site shall be fifty feet (50') with a minimum average depth of ninety feet (90').  
21 "Flag" lots shall not be permitted.

22 C. The minimum frontage of a lot shall be fifty feet (50'), except that lots  
23 fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot  
24 frontage along curvilinear streets may be measured at the building setback in accordance with  
25 zone development standards.

26 D. Side yards on interior and through lots shall be not less than five feet (5') in  
27 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
28 from the existing street line or from any future street line as shown on any specific plan of

1 highways, whichever is nearer the proposed structure, upon which the main building sides,  
2 except that where the lot is less than fifty feet (50') wide, the yard need not exceed twenty  
3 percent (20%) of the width of the lot.

4 E. Chimneys and fireplaces shall be allowed to encroach into side yards a  
5 maximum of two feet (2'). No other structural encroachments shall be permitted in the front,  
6 side or rear yard except as provided for in Section 18.19 of this Ordinance.

7 In addition, the following development standards shall also apply:

8 AA. In no case shall more than fifty percent (50%) of any lot be covered by  
9 buildings or structures that are single-story and forty-five percent (45%) for those that  
10 are two-story.

11 BB. Lots shall have a minimum net usable pad area of not less than  
12 ninety-seven percent (97%) of the minimum lot area of the zone.

13 CC. Interior side yards may be reduced to accommodate zero lot line  
14 situations, except that, in no case shall the reduction in the side yard areas reduce  
15 the separation between structures to less than ten feet (10').

16 (3) Except as provided above, all other zoning requirements shall be the same as those  
17 requirements identified in Article VI of Ordinance No. 348.

18 c. Planning Area 3

19 (1) The uses permitted in Planning Area 3 of Specific Plan No. 301 shall be the same as  
20 those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses permitted  
21 pursuant to Section 8.1.a.(3), (25) b.(1), (3) and (4), and c. shall not be permitted.

22 (2) The development standards for Planning Area 3 of Specific Plan No. 301 shall be the  
23 same as those standards identified in Article VIII, Section 8.2 of Ordinance No. 348, except that the  
24 development standards set forth in Article VII, Section 8.2.a., c., and d. shall be deleted and replaced  
25 by the following:

26 A. The minimum lot area shall be five thousand (5,000) square feet with a  
27 minimum average width of forty-five feet (45') and a minimum average depth of ninety feet  
28 (90').



1 B. Side yards on interior and through lots shall be not less than five feet (5') in  
2 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
3 from the existing street line or from any future street line as shown on any specific plan of  
4 highways, whichever is nearer the proposed structure, upon which the main building sides,  
5 except that where the lot is less than forty-five feet (45') wide, the yard need not exceed twenty  
6 percent (20%) of the width of the lot. No other structural encroachments shall be permitted in  
7 the front, side or rear yard except as provided for in Section 18.19 of Ordinance No. 348.

8 C. All buildings and structures shall not exceed two (2) stories or thirty-five feet  
9 (35') in height.

10 In addition, the following development standard shall also apply:

11 AA. Lots shall have a minimum net usable pad area of not less than ninety-  
12 seven percent (97%) of the minimum lot size.

13 BB. The minimum frontage of a lot shall be forty-five feet (45'), except that  
14 lots fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35').  
15 Lot frontage along curvilinear streets may be measure at the building setback in accordance  
16 with zone development standards.

17 (3) Except as provided above, all other zoning requirements shall be the same as those  
18 requirements identified in Article VIII of Ordinance No. 348.

19 d. Planning Areas 4A, 4B, 10, 13, 22C, 27A, 27C, 27D, 27E, 27F, 38, 39A, 39B, 42A, 42B, 42C,  
20 42D, and 42E.

21 (1) The uses permitted in Planning Areas 4A, 4B, 10, 13, 22C, 27A, 27C, 27D, 27E,  
22 27F, 38, 39A, 39B, 42A, 42B, 42C, 42D, and 42E of Specific Plan No. 301 shall be the same as those  
23 uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348.3928, except that the uses  
24 permitted pursuant to Section 8.100.a.(1), (2), (6) and (8), b.(1) and c.(1). shall not be permitted. In  
25 addition, the permitted uses identified under Section 8.100.a. shall also include detention areas,  
26 greenbelts, lake, open space, and public parks.

27 (2) The development standards for Planning Areas 4A, 4B, 10, 13, 22C, 27A, 27C,  
28 27D, 27E, 27F, 38, 39A, 39B, 42A, 42B, 42C, 42D, and 42E of Specific Plan No. 301 shall be the

1 same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

2 (3) Except as provided above, all other zoning requirements shall be same as those  
3 requirements identified in Article VIIIe of Ordinance No. 348.

4 e. Planning Areas 5A, 5B, 9, 22B, 26, and 37.

5 (1) The uses permitted in Planning Areas 5A, 5B, 9, 22B, 26, and 37 of Specific Plan No.  
6 301 shall be the same as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348,  
7 except that the uses permitted pursuant to Section 8.100.a.(1), (2), (6) and (8), b.(1) and c.(1) shall not  
8 be permitted. In addition, the permitted uses identified under Section 8.100.a. shall also include public  
9 parks and trails.

10 (2) The development standards for Planning Areas 5A, 5B, 9, 22B, 26, and 37 of Specific  
11 Plan No. 301 shall be the same as those standards identified in Article VIIIe, Section 8.101 of  
12 Ordinance No. 348.

13 (3) Except as provided above, all other zoning requirements shall be the same as those  
14 requirements identified in Article VIIIe of Ordinance No. 348.

15 f. Planning Area 11.

16 (1) The uses permitted in Planning Area 11 of Specific Plan No. 301 shall be the same  
17 as those uses permitted in Article VIIIe, Section 8.100 of Ordinance No. 348 except that uses  
18 permitted pursuant to Section 8.100.a. (1), (4), (6) and (8), b.(1) and c.(1) shall not be permitted. In  
19 addition, the permitted uses identified under Section 8.100.a. shall also include open space.

20 (2) The development standards for Planning Area 11 of Specific Plan No. 301 shall be  
21 the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

22 (3) Except as provided above, all other zoning requirements shall be the same as those  
23 requirements identified in Article VIIIe of Ordinance No. 348.

24 g. Planning Area 12A

25 (1) The uses permitted in Planning Area 12A of Specific Plan No. 301 shall be the same  
26 as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the uses permitted  
27 pursuant to Section 6.1.a.(3) and (7), b.(1), (3) and (4), and c.(1) shall not be permitted.

28 (2) The development standards for Planning Area 12A of Specific Plan No. 301 shall be

1 the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that the  
2 development standards set forth in Article VI, Section 6.2.b., c.,d., and e.(2), and (4) shall be deleted  
3 and replaced by the following:

4 A. Lot area shall be not less than five thousand (5,000) square feet. The  
5 minimum lot area shall be determined by excluding that portion of a lot that is used solely  
6 for access to the portion of a lot used as a building site.

7 B. The minimum average width of that portion of the lot to be used as a  
8 building site shall be forty-five feet (45') with a minimum average depth of ninety feet (90').  
9 "Flag" lots shall not be permitted.

10 C. The minimum frontage of a lot shall be forty-five feet (45'), except that lots  
11 fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot  
12 frontage along curvilinear streets may be measured at the building setback in accordance with  
13 zone development standards.

14 D. Side yards on interior and through lots shall be not less than five feet (5') in  
15 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
16 from the existing street line or from any future street line as shown on any specific plan of  
17 highways, whichever is nearer the proposed structure, upon which the main building sides,  
18 except that where the lot is less than forty-five feet (45') wide, the yard need not exceed twenty  
19 percent (20%) of the width of the lot. Chimneys and fireplaces shall be allowed to encroach  
20 into side yards a maximum of two feet (2'). No other structural encroachments shall be  
21 permitted in the front, side or rear yard except as provided for in Section 18.19 of Ordinance  
22 No. 348.

23 In addition, the following development standard shall also apply:

24 AA. In no case shall more than fifty percent (50%) of any lot be covered  
25 by buildings or structures that are single-story and forty-five percent (45%) for  
26 two-story.

27 BB. Lots shall have a minimum net usable pad area of not less than  
28 ninety-seven percent (97%) of the minimum lot area size.

1 (3) Except as provided above, all other zoning requirements shall be the same as those  
2 requirements identified in Article VI of Ordinance No. 348.

3 h. Planning Area 12B

4 (1) The uses permitted in Planning Area 12B of Specific Plan No. 301 shall be the same  
5 as those uses permitted in Article VIII, Section 8.1 of Ordinance No. 348, except that the uses  
6 permitted pursuant to Section 8.1.a.(3), b.(1), (3) and (4), and c. shall not be permitted.

7 (2) The development standards for Planning Area 12B of Specific Plan No. 301 shall be  
8 the same as those standards identified in Article VIII, Section 8.2 of Ordinance No. 348, except that  
9 the development standards set forth in Article VII, Section 8.2.a., c., and d. shall be deleted and  
10 replaced by the following:

11 A. The minimum lot area shall be five thousand (5,000) square feet.

12 B. Side yards on interior and through lots shall be not less than five feet (5') in  
13 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
14 from the existing street line or from any future street line a shown on any specific plan of  
15 highways, whichever is nearer the proposed structure, upon which the main building sides,  
16 except that where the lot is less than forty-five feet (45') wide, the yard need not exceed twenty  
17 percent (20%) of the width of the lot. Chimneys and fireplaces shall be allowed to encroach  
18 into side yards a maximum of two feet (2'). No other structural encroachments shall be  
19 permitted in the front, side or rear yard except as provided for in Section 18.19 of Ordinance  
20 No. 348.

21 In addition, the following development standard shall also apply:

22 AA. Lots shall have a minimum net usable pad area of not less than  
23 ninety-seven percent (97%) of the minimum lot size.

24 BB. The minimum frontage of a lot shall be forty-five feet (45'), except that  
25 the fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five  
26 feet (35') measured along the right-of-way line. Lot frontage along curvilinear streets  
27 may be measured at the building setback in accordance with zone development  
28 standards.

1 (3) Except as provided above, all other zoning requirements shall be the same as those  
2 requirements identified in Article VIII of Ordinance No. 348.

3 i. Planning Areas 14, 17, 22A, 23, 24, 31, 32, 33, 35 and 36

4 (1) The uses permitted in Planning Areas 14, 17, 22A, 23, 24, 31, 32, 33, 35 and 36 of  
5 Specific Plan No. 301 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance  
6 No. 348., except that the uses permitted pursuant to Section 6.1.a.(3), b.(1), (3) and (4), and c.(1) shall  
7 not be permitted.

8 (2) The development standards for Planning Areas 14, 17, 22A, 23, 24, 31, 32, 33, 35 and  
9 36 of Specific Plan No. 301 shall be the same as those standards identified in Article VI, Section 6.2 of  
10 Ordinance No. 348., except that the development standards set forth in Article VI, Section 6.2.c.,  
11 6.2.e.(1) and (4) shall be deleted and replaced by the following:

12 A. The minimum average width of that portion of a lot to be used as a  
13 building site shall be sixty feet (60') with a minimum average depth of one hundred feet  
14 (100'). "Flag" lots shall not be permitted.

15 B. The front yard for living areas and porches shall not be less than fifteen feet  
16 (15') from the existing street line or from any future street line as shown on any specific plan  
17 of highways, whichever is nearer the proposed structure. The face of the garage shall be  
18 setback twenty feet (20'). In a side-entry garage condition, the front yard shall not be less than  
19 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
20 building to the lot frontage. The distance from the street-side corner of the building to the lot  
21 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
22 requirements.

23 C. Chimneys, fireplaces, media niches, and air conditioning units shall be allowed  
24 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
25 encroachments shall be permitted in the front, side or rear yard except as provided for in  
26 Section 18.19 of Ordinance No. 348.

27 In addition, the following development standards shall also apply:  
28

1 AA. In no case shall more than fifty percent (50%) of any single-story and  
2 forty-five percent of any two-story lot be covered by buildings or structures.

3 BB. Lots shall have a minimum usable pad area of not less than seven  
4 thousand (7,000) square feet.

5 CC. Interior side yards may be reduced to accommodate zero lot line  
6 situations, except that, in no case shall the reduction in the side yard areas reduce the  
7 separation between structures to less than ten feet (10').

8 (3) Except as provided above, all other zoning requirements shall be the same  
9 as those requirements identified in Article VI, respectively of Ordinance No. 348.

10 j. Planning Areas 15, 20, 25, and 29

11 (1) The uses permitted in Planning Areas 15, 20, 25, and 29 of Specific Plan No. 301 shall  
12 be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the  
13 uses permitted pursuant to Section 6.1.a.(3) and (7), b.(1), (3) and (4), and c.(1) shall not be permitted.

14 (2) The development standards for Planning Areas 15, 20, 25, and 29 of Specific Plan No.  
15 301 shall be the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348,  
16 except that the development standards set forth in Article VI, Section 6.2.b., c.,d., and e.(1), (2), and  
17 (4) shall be deleted and replaced by the following:

18 A. Lot area shall be not less than five thousand (5,000) square feet. The  
19 minimum lot area shall be determined by excluding that portion of a lot that is used solely  
20 for access to the portion of a lot used as a building site.

21 B. The minimum average width of that portion of the lot to be used as a  
22 building site shall be fifty feet (50') with a minimum average depth of ninety feet (90').  
23 "Flag" lots shall not be permitted.

24 C. The minimum frontage of a lot shall be fifty feet (50'), except that lots  
25 fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot  
26 frontage along curvilinear streets may be measured at the building setback in accordance with  
27 zone development standards.

28 D. The front yard for living areas and porches shall not be less than fifteen feet

1 (15') from the existing street line or from any future street line as shown on any specific plan  
2 of highways, whichever is nearer the proposed structure. The face of the garage shall be  
3 setback twenty feet (20'). In a side-entry garage condition, the front yard shall not be less than  
4 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
5 building to the lot frontage. The distance from the street-side corner of the building to the lot  
6 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
7 requirements.

8 E. Side yards on interior and through lots shall be not less than five feet (5') in  
9 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
10 from the existing street line or from any future street line a shown on any specific plan of  
11 highways, whichever is nearer the proposed structure, upon which the main building sides,  
12 except that where the lot is less than fifty feet (50') wide, the yard need not exceed twenty  
13 percent (20%) of the width of the lot.

14 F. Chimneys, fireplaces, media niches, and air conditioner units shall be allowed  
15 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
16 encroachments shall be permitted in the front, side or rear yard except as provided for in  
17 Section 18.19 of Ordinance No. 348.

18 In addition, the following development standard shall also apply:

19 AA. In no case shall more than fifty percent (50%) of any lot be covered  
20 by buildings or structures that are single-story and forty-five percent (45%) for those  
21 that are two-story.

22 BB. Lots shall have a minimum net usable pad area of not less than  
23 ninety-seven percent (97%) of the minimum lot area.

24 CC. Building separation between adjacent dwelling units shall not be less  
25 than eight feet (8') provided that there is no less than a ten-foot (10') building  
26 separation between the garages and any adjacent structure or dwelling. Building  
27 separation shall mean the distance between the structural portions of adjoining  
28 dwellings as measured from that point where the dwellings are nearest; provided,

1                   however, that a yard encroachment permitted under Section 18.19 of this Ordinance  
2                   shall not be considered a structural portion for the determination of building separation.

3                   DD.    Interior side yards may be reduced to accommodate zero lot line  
4                   situations, except that, in no case shall the reduction in side yard areas reduce the  
5                   required separation between detached structures to less than ten feet (10').

6                   (3) Except as provided above, all other zoning requirements shall be the same as those  
7                   requirements identified in Article VI of Ordinance No. 348.

8                   k.    Planning Areas 16, 18, 19, 30, 34A, & 34B

9                   (1)    The uses permitted in Planning Areas 16, 18, 19, 30, 34A, and 34B of Specific Plan  
10                  No. 301 shall be the same as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348,  
11                  except that the uses permitted pursuant to Section 6.1.a.(3), b.(1), (3) and (4), and c.(1) shall not be  
12                  permitted.

13                  (2)    The development standards for Planning Areas 16, 18, 19, 30, 34A, and 34B of  
14                  Specific Plan No. 301 shall be the same as those standards identified in Article VI, Section 6.2 of  
15                  Ordinance No. 348, except that the development standards set forth in Article VI, Section 6.2.b.,c.,d.,  
16                  and e.(2), and (4) shall be deleted and replaced by the following:

17                        A.    Lot area shall be not less than six thousand (6,000) square feet. The  
18                        minimum lot area shall be determined by excluding that portion of a lot that is used solely for  
19                        access to the portion of a lot used as a building site.

20                        B.    The minimum average width of that portion of the lot to be used as  
21                        a building site shall be fifty feet (50') with a minimum average depth of ninety feet (90').  
22                        "Flag" lots shall not be permitted.

23                        C.    The minimum frontage of a lot shall be fifty feet (50'), except that lots  
24                        fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot  
25                        frontage along curvilinear streets may be measured at the building setback in accordance with  
26                        zone development standards.

27                        D.    The front yard for living areas and porches shall not be less than fifteen feet (15')  
28                        from the existing street line or from any future street line as shown on any specific plan



1 of highways, whichever is nearer the proposed structure. The face of the garage shall be  
2 setback twenty feet (20'). In a side-entry garage condition, the front yard shall not be less than  
3 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
4 building to the lot frontage. The distance from the street-side corner of the building to the lot  
5 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
6 requirements.

7 E. Side yards on interior and through lots shall not be less than five feet (5') in  
8 width. Side yards on corner and reversed corner lots shall not be less than ten feet (10') from  
9 the existing street line or from any future street line as shown on any specific plan of  
10 highways, whichever is nearer the proposed structure, upon which the main building sides,  
11 except that where the lot is less than fifty feet (50') wide, the yard need not exceed twenty  
12 percent (20%) of the width of the lot.

13 F. Chimneys, fireplaces, media niches, and air conditioning units shall be allowed  
14 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
15 encroachments shall be permitted in the front, side or rear yard except as provided for in  
16 Section 18.19 of Ordinance No. 348.

17 In addition, the following development standards shall also apply:

18 AA. In no case shall more than fifty percent (50%) of any single-story  
19 and forty-five percent (45%) of any two-story lot be covered by buildings or structures.

20 BB. Lots shall have a minimum net usable pad area of not less than  
21 ninety-seven percent (97%) of the minimum lot size.

22 CC. Interior side yards may be reduced to accommodate zero lot line  
23 situations, except that, in no case shall the reduction in the side yard areas reduce  
24 the separation between structures to less than ten feet (10').

25 (3) Except as provided above, all other zoning requirements shall be the same as those  
26 requirements identified in Article VI of Ordinance No. 348.

27 1. Planning Areas 21 and 27 B

28 (1) The uses permitted in Planning Areas 21 and 27B of Specific Plan No. 301 shall be

1 the same as those uses permitted in Article VIIIe, Section 8.101 of Ordinance No. 348, except that the  
2 uses permitted pursuant to Section 8.100.a.(1), (6) and (8), b.(1) and c.(1) shall not be permitted. In  
3 addition, the permitted uses identified under Section 8.100.a. shall also include public parks.

4 (2) The development standards for Planning Areas 21 and 27B of Specific Plan No. 301  
5 shall be the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348.

6 (3) Except as provided above, all other zoning requirements shall be the same as those  
7 requirements identified in Article VIIIe of Ordinance No. 348.

8 m. Planning Area 28

9 (1) The uses permitted in Planning Area 28 of Specific Plan No. 301 shall be the same  
10 as those uses permitted in Article VI, Section 6.1. of Ordinance No. 348, except that the uses  
11 permitted pursuant to Section 6.1.a.(3), b.(1), (3) and (4), and c.(1) shall not be permitted.

12 (2) The development standards for Planning Area 28 of Specific Plan No. 301 shall be  
13 the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that  
14 the development standards set forth in Article VI, Section 6.2.b.,c. e.(1) and (4) shall be deleted and  
15 replaced by the following:

16 A. Lot area shall be not less than eight thousand (8,000) square feet. The  
17 minimum lot area shall be determined by excluding that portion of a lot that is used solely  
18 for access to the portion of a lot used as a building site.

19 B. The minimum average width of that portion of a lot to be used as a building  
20 site shall be sixty-five feet (65') with a minimum average depth of one hundred feet  
21 (100'). "Flag" lots shall not be permitted.

22 C. The front yard for living areas and porches shall not be less than fifteen feet  
23 (15') from the existing street line or from any future street line as shown on any specific plan  
24 of highways, whichever is nearer the proposed structure. The face of the garage shall be  
25 setback twenty feet (20'). In a side entry garage condition, the front yard shall not be less than  
26 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
27 building to the lot frontage. The distance from the street-side corner of the building to the lot  
28

1 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
2 requirements.

3 D. Chimneys, fireplaces, media niches, and air conditioning units shall be allowed  
4 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
5 encroachments shall be permitted in the front, side or rear yard except as provided for in  
6 Section 18.19 of this Ordinance.

7 In addition, the following development standards shall also apply:

8 AA. In no case shall more than fifty percent (50%) of any lot be covered by  
9 buildings or structures that are single-story and forty-five percent (45%) for those that  
10 are two-story.

11 BB. Lots shall have a minimum usable pad area of not less than seven  
12 thousand (7,000) square feet.

13 CC. Interior side yards may be reduced to accommodate zero lot line  
14 situations, except that, in no case shall the reduction in the side yard areas reduce  
15 the separation between structures to less than ten feet (10').

16 (3) Except as provided above, all other zoning requirements shall be the same as those  
17 requirements identified in Article VI of Ordinance No. 348

18 n. Planning Area 40

19 (1) The uses permitted in Planning Area 40 of Specific Plan No. 301 shall be the same  
20 as those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the uses  
21 permitted pursuant to Section 6.1.a.(3), b.(1), (3) and (4), and c.(1) shall not be permitted.

22 (2) The development standards for Planning Area 40 of Specific Plan No. 301 shall be  
23 the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that  
24 the development standards set forth in Article VI, Section 6.2.b., c., e.(1), and (4) shall be deleted and  
25 replaced by the following:

26 A. Lot area shall be not less than nine thousand (9,000) square feet. The minimum  
27 lot area shall be determined by excluding that portion of a lot that is used solely for access to  
28 the portion of a lot used as a building site.

1           B.     The minimum average width of that portion of a lot to be used as a building  
2 site shall be sixty-five feet (65') with a minimum average depth of one hundred feet (100').  
3 "Flag" lots shall not be permitted.

4           C.     The front yard for living areas and porches shall not be less than fifteen feet  
5 (15') from the existing street line or from any future street line as shown on any specific plan  
6 of highways, whichever is nearer the proposed structure. The face of the garage shall be  
7 setback twenty feet (20'). In a side-entry garage condition, the front yard shall not be less than  
8 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
9 building to the lot frontage. The distance from the street-side corner of the building to the lot  
10 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
11 requirements.

12           D.     Chimneys, fireplaces, media niches, and air conditioning units shall be allowed  
13 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
14 encroachments shall be permitted in the front, side or rear yard except as provided for in  
15 Section 18.19 of Ordinance No. 348.

16 In addition, the following development standards shall also apply:

17           AA.    In no case shall more than fifty (50%) of any lot be covered by  
18 buildings or structures that are single-story and forty-five percent (45%) for those that  
19 are two-story.

20           BB.    Lots shall have a minimum usable pad area of not less than seven  
21 thousand (7,000) square feet.

22           (3)    Except as provided above, all other zoning requirements shall be the same as those  
23 requirements identified in Article VI of Ordinance No. 348.

24 ~~e.     Planning Area 41.~~

25 ~~(1)    The uses permitted in Planning Area 41 of Specific Plan No. 301 shall be the same as~~  
26 ~~those uses permitted in Article IXb, Section 9.50 of Ordinance No. 348 except that the uses permitted~~  
27 ~~pursuant to Section 9.50.a. (19), (30), (43), (49), (50), (52), (54), (71), (80) and (85) shall not be~~  
28

1 permitted. In addition, the permitted uses identified under Section 9.50.a. shall also include libraries,  
2 fire stations, and public parks.

3 (2) ~~The development standards for Planning Area 41 of Specific Plan No. 301 shall be~~  
4 ~~the same as those standards identified in Article IXb, Section 9.53 of Ordinance No. 348.~~

5 (3) ~~Except as provided above, all other zoning requirements shall be the same as those~~  
6 ~~requirements identified in Article IXb of Ordinance No. 348.~~

7 o. Planning Area 41A

8 (1) The uses permitted in Planning Area 41 of Specific Plan No. 301 shall be the same as  
9 those uses permitted in Article VI, Section 6.1 of Ordinance No. 348, except that the uses permitted  
10 pursuant to Section 6.1.a.(3) and (7), b.(1), (3) and (4), and c.(1) shall not be permitted.

11 (2) The development standards for Planning Area 41A of Specific Plan No. 301 shall be  
12 the same as those standards identified in Article VI, Section 6.2 of Ordinance No. 348, except that the  
13 development standards set forth in Article VI, Section 6.2.b., c.,d., and e.(1), (2), and (4) shall be  
14 deleted and replaced by the following:

15 A. Lot area shall be not less than four thousand five hundred (4,500) square feet.  
16 The minimum lot area shall be determined by excluding that portion of a lot that is used solely  
17 for access to the portion of a lot used as a building site.

18 B. The minimum average width of that portion of the lot to be used as a  
19 building site shall be fifty feet (50') with a minimum average depth of ninety feet (90').  
20 "Flag" lots shall not be permitted.

21 C. The minimum frontage of a lot shall be fifty feet (50'), except that lots  
22 fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty-five feet (35'). Lot  
23 frontage along curvilinear streets may be measured at the building setback in accordance with  
24 zone development standards.

25 D. The front yard for living areas and porches shall not be less than fifteen feet (15')  
26 from the existing street line or from any future street line as shown on any specific plan of  
27 highways, whichever is nearer the proposed structure. The face of the garage shall be setback  
28 twenty feet (20'). In a side-entry garage condition, the front yard shall not be less than

1 fifteen feet (15'). For corner lots, the front yard setback shall only apply from the front of the  
2 building to the lot frontage. The distance from the street-side corner of the building to the lot  
3 corner cutback shall be considered a portion of the side yard and adhere to side yard setback  
4 requirements.

5 E. Side yards on interior and through lots shall be not less than five feet (5') in  
6 width. Side yards on corner and reversed corner lots shall be not less than ten feet (10')  
7 from the existing street line or from any future street line a shown on any specific plan of  
8 highways, whichever is nearer the proposed structure, upon which the main building sides,  
9 except that where the lot is less than fifty feet (50') wide, the yard need not exceed twenty  
10 percent (20%) of the width of the lot.

11 F. Chimneys, fireplaces, media niches, and air conditioner units shall be allowed  
12 to encroach into side and rear yards a maximum of two feet (2'). No other structural  
13 encroachments shall be permitted in the front, side or rear yard except as provided for in  
14 Section 18.19 of Ordinance No. 348.

15 In addition, the following development standard shall also apply:

16 AA. In no case shall more than sixty percent (60%) of any lot be covered  
17 by buildings or structures that are single-story and fifty percent (50%) for those that are  
18 two-story.

19 BB. Lots shall have a minimum net usable pad area of not less than  
20 ninety-seven percent (97%) of the minimum lot area.

21 CC. Building separation between adjacent dwelling units shall not be less  
22 than eight feet (8') provided that there is no less than a ten-foot (10') building  
23 separation between the garages and any adjacent structure or dwelling. Building  
24 separation shall mean the distance between the structural portions of adjoining  
25 dwellings as measured from that point where the dwellings are nearest; provided,  
26 however, that a yard encroachment permitted under Section 18.19 of this Ordinance  
27 shall not be considered a structural portion for the determination of building separation.

28 DD. Interior side yards may be reduced to accommodate zero lot line

1 situations, except that, in no case shall the reduction in side yard areas reduce the  
2 required separation between detached structures to less than ten feet (10').

3 (3) Except as provided above, all other zoning requirements shall be the same as those  
4 requirements identified in Article VI of Ordinance No. 348.

5 p. Planning Area 41B

6 (1) The uses permitted in Planning Area 41B of Specific Plan No. 301 shall be the same  
7 as those uses permitted in Article VIIIe, Section 8.101 of Ordinance No. 348, except that the uses  
8 permitted pursuant to Section 8.100.a.(1), (6) and (8), b.(1) and c.(1) shall not be permitted.

9 (2) The development standards for Planning Areas 41B of Specific Plan No. 301 shall be  
10 the same as those standards identified in Article VIIIe, Section 8.101 of Ordinance No. 348, except  
11 Section 8.101(b) shall be replaced with the following:

12 A. Whenever a building is to be constructed on a lot in this zone, it shall have a  
13 front yard, side yard and rear yard, each of which shall be not less than twenty (20') feet. If more than  
14 one building is constructed on one lot, there shall be not less than 20 feet separation between the  
15 buildings. No structural encroachments shall be permitted in the front, side, or rear yard except as  
16 provided for in Section 18.19 of this Ordinance.

17 (3) Except as provided above, all other zoning requirements shall be the same as those  
18 requirements identified in Article VIIIe of Ordinance No. 348.

19 Section 2. This ordinance shall take effect 30 days after its adoption.

20 CITY OF MENIFEE, STATE OF CALIFORNIA

21 By \_\_\_\_\_  
22 Mayor, City of Meniffee

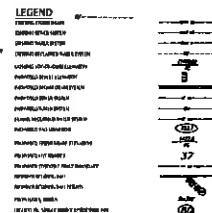
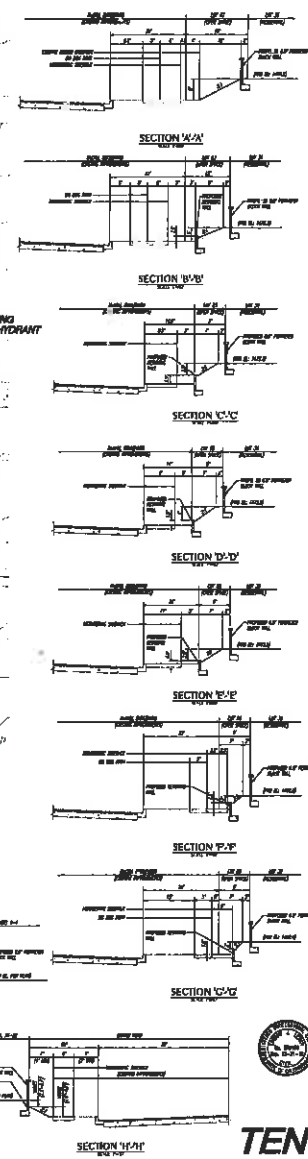
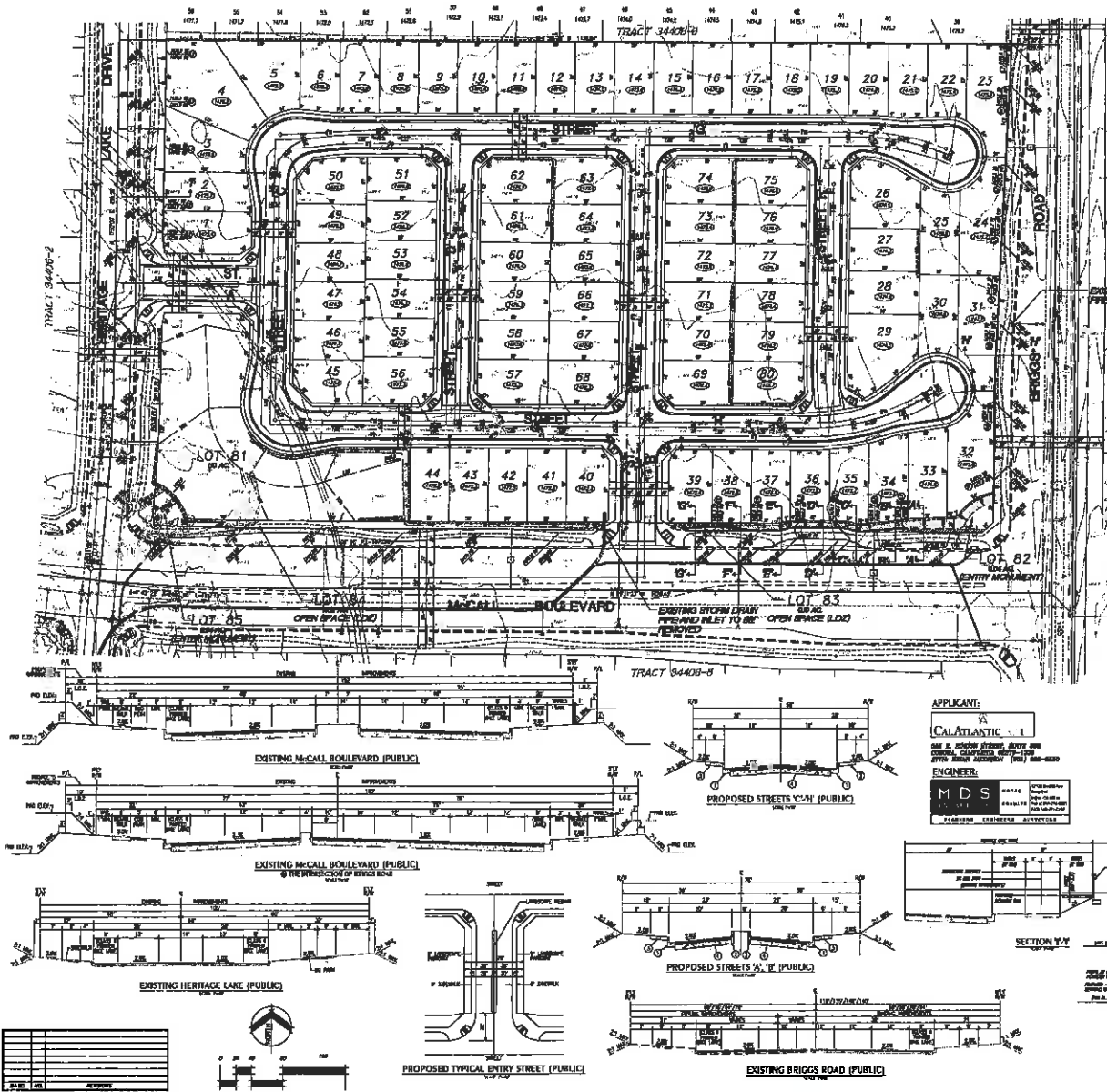
23 ATTEST:

24 By \_\_\_\_\_  
25 City Clerk

26 Approved as to form:

27 By \_\_\_\_\_  
28 City Attorney

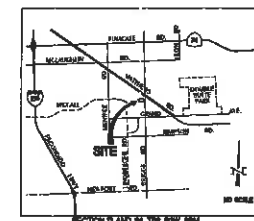
(SEAL)



**ASSESSOR'S PARCEL NUMBER**

**LOT SUMMARY**

LOT NO.	ACRES	AREA (SQ. FT.)	PERMITS (Y)
1	0.00	0.00	
2	0.00	0.00	
3	0.00	0.00	
4	0.00	0.00	
5	0.00	0.00	
6	0.00	0.00	
7	0.00	0.00	
8	0.00	0.00	
9	0.00	0.00	
10	0.00	0.00	
11	0.00	0.00	
12	0.00	0.00	
13	0.00	0.00	
14	0.00	0.00	
15	0.00	0.00	
16	0.00	0.00	
17	0.00	0.00	
18	0.00	0.00	
19	0.00	0.00	
20	0.00	0.00	
21	0.00	0.00	
22	0.00	0.00	
23	0.00	0.00	
24	0.00	0.00	
25	0.00	0.00	
26	0.00	0.00	
27	0.00	0.00	
28	0.00	0.00	
29	0.00	0.00	
30	0.00	0.00	
31	0.00	0.00	
32	0.00	0.00	
33	0.00	0.00	
34	0.00	0.00	
35	0.00	0.00	
36	0.00	0.00	
37	0.00	0.00	
38	0.00	0.00	
39	0.00	0.00	
40	0.00	0.00	
41	0.00	0.00	
42	0.00	0.00	
43	0.00	0.00	
44	0.00	0.00	
45	0.00	0.00	
46	0.00	0.00	
47	0.00	0.00	
48	0.00	0.00	
49	0.00	0.00	
50	0.00	0.00	
51	0.00	0.00	
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53	0.00	0.00	
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66	0.00	0.00	
67	0.00	0.00	
68	0.00	0.00	
69	0.00	0.00	
70	0.00	0.00	
71	0.00	0.00	
72	0.00	0.00	
73	0.00	0.00	
74	0.00	0.00	
75	0.00	0.00	
76	0.00	0.00	
77	0.00	0.00	
78	0.00	0.00	
79	0.00	0.00	
80	0.00	0.00	
81	0.00	0.00	
82	0.00	0.00	
83	0.00	0.00	



**GENERAL INFORMATION**

1. ALL INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CITY OF MENIFEE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

2. THE CITY OF MENIFEE IS NOT PROVIDING ANY INSURANCE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

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**ASSESSOR'S PARCEL NUMBER**

**UTILITY PROVIDERS**

**LEGAL DESCRIPTION**

**BENCHMARK**

**LOT SUMMARY**

LOT NO.	ACRES	AREA (SQ. FT.)	PERMITS (Y)
1	0.00	0.00	
2	0.00	0.00	
3	0.00	0.00	
4	0.00	0.00	
5	0.00	0.00	
6	0.00	0.00	
7	0.00	0.00	
8	0.00	0.00	
9	0.00	0.00	
10	0.00	0.00	
11	0.00	0.00	
12	0.00	0.00	
13	0.00	0.00	
14	0.00	0.00	
15	0.00	0.00	
16	0.00	0.00	
17	0.00	0.00	
18	0.00	0.00	
19	0.00	0.00	
20	0.00	0.00	
21	0.00	0.00	
22	0.00	0.00	
23	0.00	0.00	
24	0.00	0.00	
25	0.00	0.00	
26	0.00	0.00	
27	0.00	0.00	
28	0.00	0.00	
29	0.00	0.00	
30	0.00	0.00	
31	0.00	0.00	
32	0.00	0.00	
33	0.00	0.00	
34	0.00	0.00	
35	0.00	0.00	
36	0.00	0.00	
37	0.00	0.00	
38	0.00	0.00	
39	0.00	0.00	
40	0.00	0.00	
41	0.00	0.00	
42	0.00	0.00	
43	0.00	0.00	
44	0.00	0.00	
45	0.00	0.00	
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50	0.00	0.00	
51	0.00	0.00	
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55	0.00	0.00	
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66	0.00	0.00	
67	0.00	0.00	
68	0.00	0.00	
69	0.00	0.00	
70	0.00	0.00	
71	0.00	0.00	
72	0.00	0.00	
73	0.00	0.00	
74	0.00	0.00	
75	0.00	0.00	
76	0.00	0.00	
77	0.00	0.00	
78	0.00	0.00	
79	0.00	0.00	
80	0.00	0.00	
81	0.00	0.00	
82	0.00	0.00	
83	0.00	0.00	

**OWNERS**

**APPLICANT / DEVELOPER**

**LAND USE SUMMARY**

**TENTATIVE TRACT NO. 37136**

**HERITAGE LAKE PLANNING AREAS 41A/41B**  
**TENTATIVE TRACT NO. 37136**  
 CITY OF MENIFEE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



# MENIFEE VALLEY RANCH

Specific Plan No. 301, Amendment No. 3

City of Menifee, CA

Third Screencheck: March 2018

*Applicant:*

**LENNAR HOMES OF CALIFORNIA, INC.**  
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*Prepared by:*

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NOTE: This Executive Summary replaces in its entirety the *Request for Determination of Substantial Conformance with MENIFEE VALLEY RANCH Specific Plan No. 301* from Substantial Conformance No. 1 to Amendment No. 2 of the MENIFEE VALLEY RANCH Specific Plan No. 301. Revisions to this section are not shown in strike-out/underline.

## ES. EXECUTIVE SUMMARY

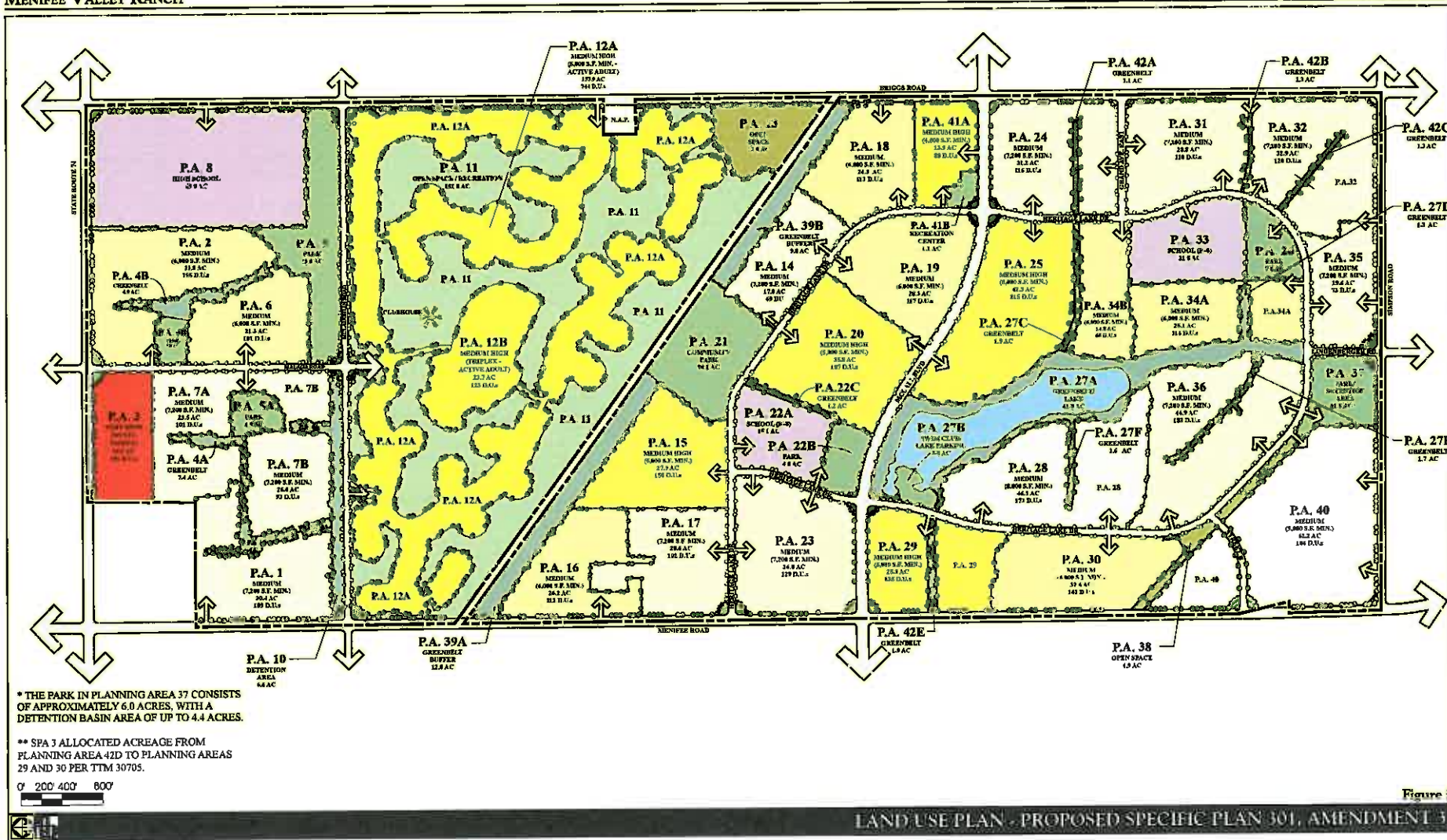
The MENIFEE VALLEY RANCH Specific Plan No. 301 is located in the northeast portion of the City of Menifee, south of SR-74, east of Menifee Road, north of Simpson Road and west of Briggs Road. This Third Amendment to the MENIFEE VALLEY RANCH Specific Plan No. 301 provides for the development of 4,407 residential units within a 1548.3-acre community in 29 residential planning areas, as shown on Figure i, *Land Use Plan - Proposed Specific Plan 301, Amendment 3*. Table ES-1, *Summary of Changes*, shows the changes made by this Specific Plan Amendment No. 3 (SPA No. 3) to each amended planning area. Figure ii, *Land Use Plan - Existing Specific Plan 301, Amendment 2, Substantial Conformance 1*, shows the existing land use of Specific Plan 301, Amendment No. 2, Substantial Conformance 1. Figure iii, *Land Use Plan - Specific Plan Amendment 3 Proposed Changes*, shows the existing land use of Specific Plan 301, Amendment No. 2, Substantial Conformance 1 with the proposed changes of Specific Plan 301, Amendment 3 in redline.

### A. PROJECT HISTORY

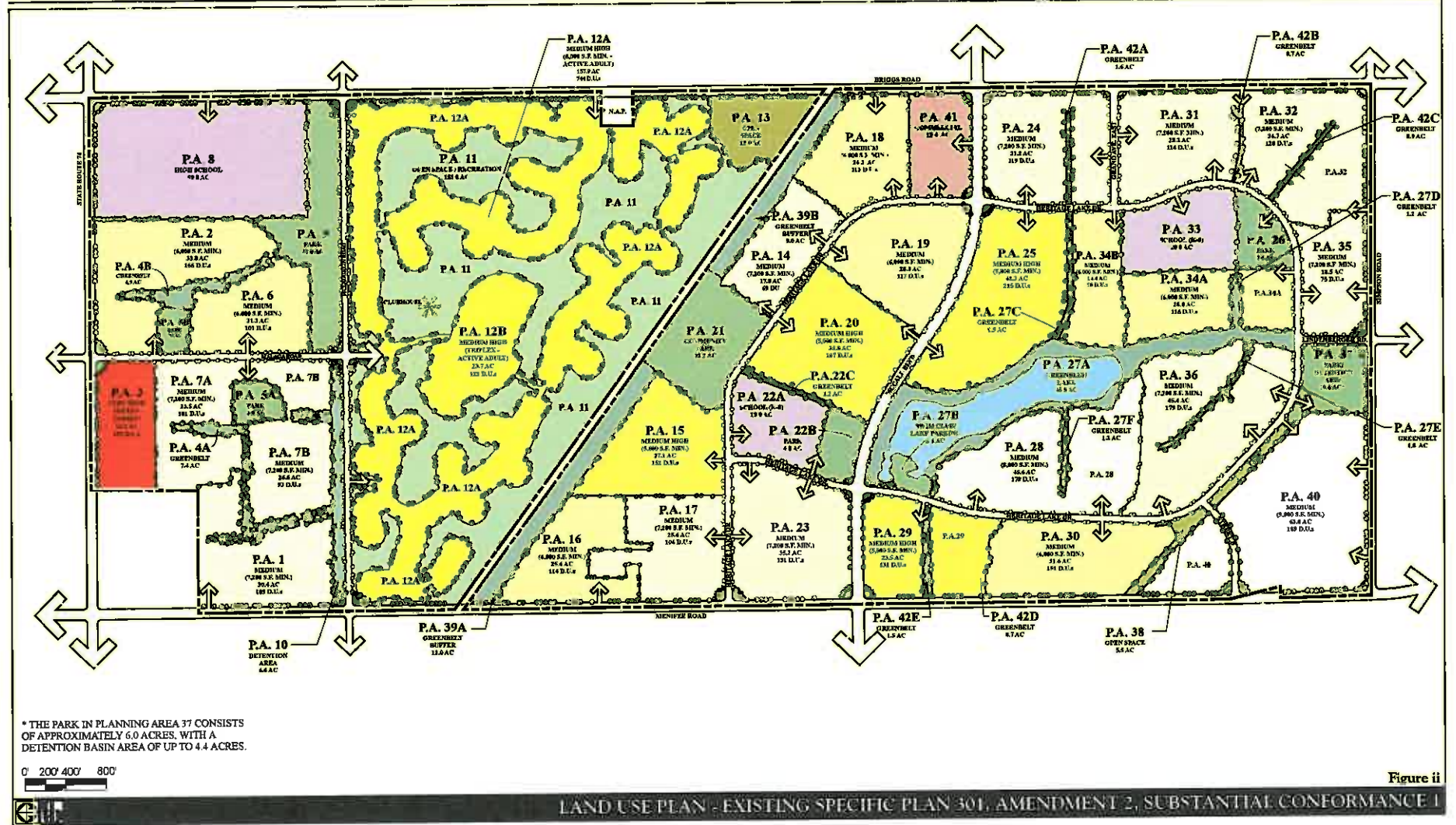
MENIFEE RANCH Specific Plan No. 301 was adopted by the Riverside County Board of Supervisors on April 29, 1997. The original approved Menifee Ranch Specific Plan provided for the development of 482 residential units on 153 acres.

On November 5, 2002, the Riverside County Board of Supervisors approved Amendment No. 1 to Specific Plan 301 and certified EIR No. 423. Amendment No. 1 renamed the specific plan MENIFEE VALLEY RANCH, and amended the adopted Specific Plan No. 301 by adding 1,395.3 acres of property to the north, south, and east of the 153-acre site and provided for the development of 4,063 residential units. However, the project that was approved that day was slightly different from what was considered in the Draft EIR and Traffic Study that was circulated for public review. In the Public Review Draft EIR No. 423 and associated traffic study, the land use plan included three separate commercial sites totaling 32.8 acres (Planning Areas 3, 4, and 41). Subsequent to public review and prior to certification of EIR 423, Riverside County directed several changes to the Land Use Plan. As part of the certification of EIR No. 423, the County made the determination that the Land Use Plan changes did not warrant recirculation of EIR 423 for public review, and that an updated traffic study was not required. Additionally, and as noted above, as part of the County's approval of SP 301A1, a total of 4.8 acres was added to Planning Area 41, increasing the size of Planning Area 41 from 11.6 acres to 16.4 acres.

On June 7, 2006, the Riverside County Board of Supervisors adopted Amendment No. 2 to the MENIFEE VALLEY RANCH Specific Plan No. 301. Amendment No. 2 amended MENIFEE VALLEY RANCH by replacing the golf course/clubhouse and associated residential uses with open space/recreation (includes a community clubhouse) and active adult housing in Planning Areas 11 and 12. Amendment No. 2 also re-designated the community commercial uses in Planning Area 3 along State Route 74 and Malaga Road to very high density residential uses. Amendment No. 2 increased the approved number of residential units from 4,063 to 4,352.



Specific Plan No. 301, Amendment No. 3

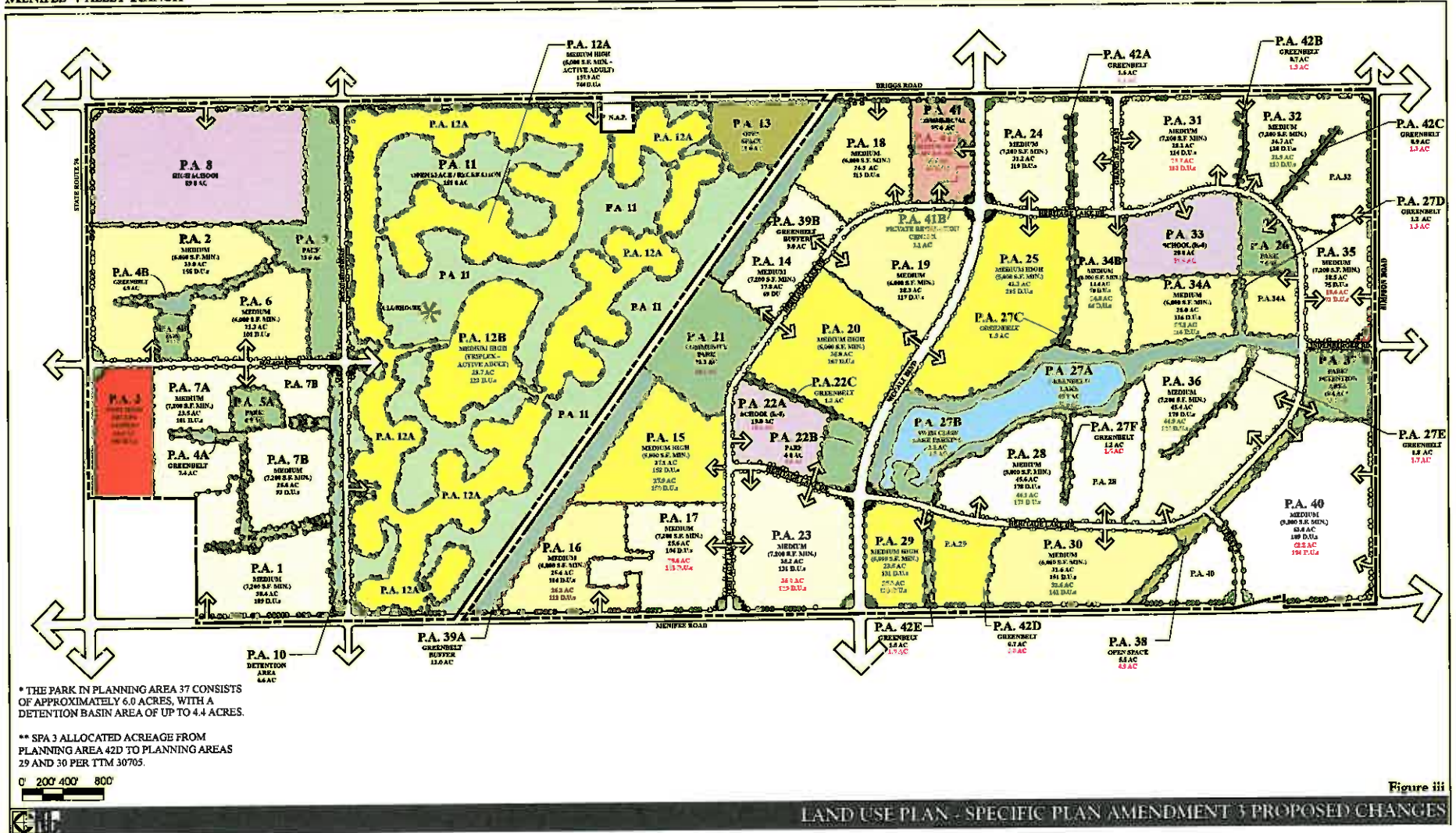


\* THE PARK IN PLANNING AREA 37 CONSISTS OF APPROXIMATELY 6.0 ACRES, WITH A DETENTION BASIN AREA OF UP TO 4.4 ACRES.

0' 200' 400' 800'

LAND USE PLAN - EXISTING SPECIFIC PLAN 301, AMENDMENT 2, SUBSTANTIAL CONFORMANCE 1

MENIFEE VALLEY RANCH



\* THE PARK IN PLANNING AREA 37 CONSISTS OF APPROXIMATELY 6.0 ACRES, WITH A DETENTION BASIN AREA OF UP TO 4.4 ACRES.

\*\* SPA 3 ALLOCATED ACREAGE FROM PLANNING AREA 42D TO PLANNING AREAS 29 AND 30 PER ITM 30705.

0 200' 400' 800'



Additionally, Amendment No. 2 to SP 301 was found to be exempt from the provisions of CEQA and no technical studies, including traffic, were required.

In April 2008, the Riverside County Board of Supervisors approved Substantial Conformance No. 1 to Amendment No. 2 of the MENIFEE VALLEY RANCH Specific Plan No. 301. Substantial Conformance No. 1 adjusted planning area boundaries, acreages, and densities within Planning Areas 14, 18 through 20, 22A, 22C, 24, 25, 27C, 32, 39B, and 41 to accommodate development as proposed by Tentative Tract Map No. 34406. Substantial Conformance No. 1 increased the approved number of residential units from 4,352 to 4,359. The County of Riverside made the determination that No Further Environmental Documentation Is Required.

On October 1, 2008, the City of Menifee was incorporated and MENIFEE VALLEY RANCH fell within the jurisdiction of the City of Menifee. The City of Menifee has taken no action regarding MENIFEE VALLEY RANCH since incorporation in 2008. The Menifee Valley Ranch Specific Plan is separated into two communities by Matthews Road and the BNSF Railroad tracks, with the northern 606.3-acres known as Minor Ranch, and the southern 977.0 acres known as Heritage Lake.

## B. SUMMARY OF CHANGES

Specific Plan Amendment No. 3 (SPA No. 3) focuses primarily on the Heritage Lake portion of SP 301. Amendment #3 modifies the Specific Plan by splitting Planning Area 41 into two Planning Areas (41A and 41B) and modifies the Land Use Designation of PA 41 from Commercial to Medium-High Density Residential (41A) and Open Space – Recreation (41B) to accommodate Tentative Tract Map No. 37136. TM 37136 proposes 80 single family homes in PA 41A and a 1.1-acre Private Recreation Center/Swimming Pool in PA 41B. Additionally, SPA No. 3 makes other, non-substantive changes throughout the document to reflect the approvals of other Tract Maps and development of other neighborhoods within the Specific Plan which have occurred since approval of Substantial Conformance No.1 to Specific Plan Amendment #2, in April, 2008. The addition of 80 units in PA 41A together with the revised unit counts related to the approved Tract Maps results in an overall increase of 48 units to the Specific Plan, as shown on Table ES-1, below.

Specifically, SPA No. 3 provides for the following substantive changes to Specific Plan No. 301:

- Increases the total number of residential units by 48 units, from 4,359 to 4,407;
- Splits Planning Area 41 into two Planning Areas (41A/41B) and modifies the Land Use Designation from 15.4 acres of Commercial to:
  - Planning Area 41A: 80 residential units on 13.9 acres with a land use designation of Medium-High Density Residential (MHDR); and,
  - Planning Area 41B: Private Recreation Center on 1.1 acres with a land use designation of Open Space-Recreation (OS-R).
- Relocates Planning Area 34B from Phase IV to Phase III of the development
- Modifies the Phasing Milestones and Requirements of Planning Area 21 (Park) from:
  - From “Designed prior to the completion of the 150<sup>th</sup> home” to “Designed prior to the completion of the 400<sup>th</sup> home in Phase IV (TM 37136)”;
  - From “Half-constructed prior to the completion of the 150<sup>th</sup> home” to “Half-constructed prior to the completion of the 500<sup>th</sup> home in Phase IV”;
  - From “Completed prior to the completion of the 350<sup>th</sup> home” to “Completed prior to the completion of the 600<sup>th</sup> home in Phase IV”.

- Modifies the Phasing Milestones and Requirements of Planning Area 39B (Greenbelt) to correlate with the construction timing of the Park within Planning Area 21.

In order to reflect approved Tract Maps and existing neighborhoods within MENIFEE VALLEY RANCH, SPA No. 3 makes non-substantive changes to the Specific Plan:

- Modifies Planning Area 15 to decrease the number of residential units from 152 to 150 and increase the acreage from 27.1 to 27.9 acres per TM 31795;
- Modifies Planning Area 16 to decrease the number of residential units from 114 to 112 and increase the acreage from 25.6 to 26.2 acres per TM 31795;
- Modifies Planning Area 17 to decrease the number of residential units from 104 to 102 and increase the acreage from 25.6 to 28.6 acres per TM 31795;
- Modifies Planning Area 21 to decrease the acreage from 22.2 to 20.1 acres per TM 34406;
- Modifies Planning Area 22A to decrease the acreage from 19.0 to 15.1 acres per TM 30705;
- Modifies Planning Area 22B to increase the acreage from 4.0 to 4.8 acres per TM 30705;
- Modifies Planning Area 23 to decrease the number of residential units from 131 to 129 and increase the acreage from 35.2 to 36.0 acres per TM 31795;
- Modifies Planning Area 27A to decrease the acreage from 45.8 to 41.8 acres per TM 30705;
- Modifies Planning Area 27B to increase the acreage from 2.1 to 3.5 acres per TM 30705;
- Modifies Planning Area 27D to increase the acreage from 1.2 to 1.3 acres per TM 34180;
- Modifies Planning Area 27E to decrease the acreage from 1.8 to 1.7 acre per TM 330705;
- Modifies Planning Area 27F to increase the acreage from 1.2 to 1.6 acres per TM 30705;
- Modifies Planning Area 28 to decrease the number of residential units from 178 to 173 and increase the acreage from 45.6 to 46.1 acres per TM 30705;
- Modifies Planning Area 29 to increase the number of residential units from 131 to 135 and increase the acreage from 23.5 to 25.3 acres per TM 30705;
- Modifies Planning Area 30 to decrease the number of residential units from 151 to 141 and increase the acreage from 31.6 to 32.6 acres per TM 30705;
- Modifies Planning Area 31 to decrease the number of residential units from 114 to 110 and increase the acreage from 28.2 to 28.8 acres per TM 34180;
- Modifies Planning Area 32 to decrease the acreage from 34.7 to 32.9 acres per TM 34180;
- Modifies Planning Area 33 to increase the acreage from 20.0 to 21.5 acres per TM 34180;
- Modifies Planning Area 34A to decrease the number of residential units from 116 to 114 and decrease the acreage from 28.0 to 25.1 acres per TM 34180;
- Modifies Planning Area 34B to decrease the number of residential units from 70 to 66 and increase the acreage from 14.4 to 14.8 acres per TM 34180;
- Modifies Planning Area 35 to decrease the number of residential units from 75 to 73 and increase the acreage from 18.5 to 19.6 acres per TM 34180;

- Modifies Planning Area 36 to increase the number of residential units from 179 to 183 and decrease the acreage from 45.4 to 44.9 acres per TM 30705;
- Modifies Planning Area 37 to increase the acreage from 10.4 to 11.5 acres per TM 30705;
- Modifies Planning Area 38 to decrease the acreage from 5.5 to 4.9 acres per TM 30705;
- Modifies Planning Area 40 to decrease the number of residential units from 189 to 184 and decrease the acreage from 63.0 to 62.2 acres per TM 30705;
- Modifies Planning Area 42A to decrease the acreage from 1.6 to 1.1 acres per TM 34406;
- Modifies Planning Area 42B to increase the acreage from 0.7 to 1.3 acres per TM 34180;
- Modifies Planning Area 42C to increase the acreage from 0.9 to 1.3 acres per TM 34180;
- Removes Planning Area 42D per TM 30705; allocates 1.8 acres from Planning Area 42D to Planning Area 29 and 0.6 acres to Planning Area 30
- Modifies Planning Area 42E to increase the acreage from 1.5 to 1.9 acres per TM 30705; and,
- Increases the acreage provided for Major Roadways from 92.2 to 93.2 acres.

As shown in Table ES-1, *Summary of Changes*, the changes to unit counts resulting from the difference between the units mapped and the unit shown in Amendment #2, Sub Con 1 to SPA 3 results in an increase of 48 units due to the approved Tract Maps and unit changes in the Planning Areas previously mentioned.

**Table ES-1 Summary of Changes**

Menifee Valley Ranch SP 301, Amendment 2, Substantial Conformance No. 1				Menifee Valley Ranch SP 301, Amendment 3			
PA	LAND USE	ACRES	DU'S	PA	LAND USE	ACRES	DU'S
15	Medium High	27.1	152	15	Medium High	27.9	150
16	Medium	25.6	114	16	Medium	26.2	112
17	Medium	25.6	104	17	Medium	28.6	102
21	Community Park	22.2	--	21	Community Park	20.1	--
22A	School (K-8)	19.0	--	22A	School (K-8)	15.1	--
22B	Park	4.0	--	22B	Park	4.8	--
23	Medium	35.2	131	23	Medium	36.0	129
27A	Greenbelt/Lake	45.8	--	27A	Greenbelt/Lake	41.8	--
27B	Swim Club/Lake Parking	2.1	--	27B	Swim Club/Lake Parking	3.5	--
27D	Greenbelt	1.2	--	27D	Greenbelt	1.3	--
27E	Greenbelt	1.8	--	27E	Greenbelt	1.7	--
27F	Greenbelt	1.2	--	27F	Greenbelt	1.6	--
28	Medium	45.6	178	28	Medium	46.1	173
29	Medium High	23.5	131	29	Medium High	25.3	135
30	Medium	31.6	151	30	Medium	32.6	141
31	Medium	28.2	114	31	Medium	28.8	110
32	Medium	34.7	120	32	Medium	32.9	120
33	School (K-8)	20.0	--	33	School (K-8)	21.5	--

Menifee Valley Ranch SP 301, Amendment 2, Substantial Conformance No. 1				Menifee Valley Ranch SP 301, Amendment 3			
PA	LAND USE	ACRES	DU'S	PA	LAND USE	ACRES	DU'S
34A	Medium	28.0	116	34A	Medium	25.1	114
34B	Medium	14.4	70	34B	Medium	14.8	66
35	Medium	18.5	75	35	Medium	19.6	73
36	Medium	45.4	179	36	Medium	44.9	183
37	Park/Detention Area	10.4	--	37	Park/Detention Area	11.5	--
38	Open Space	5.5	--	38	Open Space	4.9	--
40	Medium	63.0	189	40	Medium	62.2	184
41	Commercial	15.4	--	41A	Medium High	13.9	80
--	--	--	--	41B	Private Recreation Center	1.1	--
42A	Greenbelt	1.6	--	42A	Greenbelt	1.1	--
42B	Greenbelt	0.7	--	42B	Greenbelt	1.3	--
42C	Greenbelt	0.9	--	42C	Greenbelt	1.3	--
42D	Greenbelt	0.7	--	42D	Greenbelt	--	--
42E	Greenbelt	1.5	--	42E	Greenbelt	1.9	--
--	Major Roadways	92.2	--	--	Major Roadways	93.2	--
<b>TOTAL</b>		<b>692.6</b>	<b>1,824</b>	<b>TOTAL</b>		<b>692.6</b>	<b>1,872</b>

Note: Table ES-1, Summary of Changes, does not account for the entire Specific Plan area, but rather only the Heritage Lake portion of the Specific Plan south of the railroad tracks.

# I. INTRODUCTION

## A. DOCUMENT PURPOSE

Authorized by California Government Code §65450 *et seq.*, a Specific Plan is used for the systematic implementation of the General Plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. As such, this document provides the City of Menifee with policies and regulations to ensure efficient, orderly development of the subject property in accordance with the City's adopted General Plan.

MENIFEE VALLEY RANCH (previously known as Menifee Ranch) Specific Plan No. 301, Amendment No. 3 establishes a land development plan for the MENIFEE VALLEY RANCH planned community. The project site encompasses a total of 1,548.3 acres, located within the City of Menifee, California. The Menifee Valley Ranch Specific Plan is separated into two communities by Matthews Road and the BNSF Railroad tracks, with the northern 606.3 acres known as Minor Ranch, and the southern 977 acres known as Heritage Lake.

Menifee Ranch Specific Plan No. 301 was adopted by the Riverside County Board of Supervisors on April 29, 1997. Amendment No. 1 amended adopted Specific Plan No. 301 by adding 1,395.3 acres of property to the north, south, and east of the 153-acre site. MENIFEE VALLEY RANCH Specific Plan No. 301, Amendment No.1 encompassed the entire 1,548.3-acre project site, and was adopted by the Riverside County Board of Supervisors on December 23, 2002. On June 7, 2006, Amendment No. 2 was adopted and amended Specific Plan No. 301 by replacing the golf course/clubhouse and associated residential uses with open space/recreation (includes a community clubhouse) and active adult housing. Amendment No. 2 also re-designated community commercial uses along State Route 74 and Malaga Road with very high density residential uses. Adopted by the Riverside County Board of Supervisors on April 30, 2008, Substantial Conformance No. 1 adjusted planning area boundaries, acreages, unit counts and densities within Planning Areas 14, 18 through 20, 22A, 22C, 24, 25, 27C, 32, 39B, and 41 to accommodate development as proposed by Tentative Tract Map No. 34406.

On October 1, 2008, the City of Menifee was incorporated as a new city within Riverside County and the newly incorporated city encompasses the MENIFEE VALLEY RANCH Specific Plan area. MENIFEE VALLEY RANCH Specific Plan No. 301 Amendment No. 3 (SPA No. 3) provides the City of Menifee, along with developers, community groups, and community service districts, with a comprehensive set of plans, regulations, conditions and programs for guiding the systematic development of the project, and implements each applicable Element of the City of Menifee General Plan. SPA No. 3 focuses primarily on the Heritage Lake portion of SP 301. Amendment #3 modifies the Specific Plan by splitting Planning Area 41 into two Planning Areas (41A and 41B) and modifies the Land Use Designation of PA 41 from Commercial to Medium-High Density Residential (41A) and Open Space – Recreation (41B) to accommodate Tentative Tract Map No. 37136 (TM 37136). TM 37136 proposes 80 single family homes in PA 41A and a 1.1-acre Private Recreation Center/Swimming Pool in PA 41B.

## 1. FORMAT

This MENIFEE VALLEY RANCH Specific Plan is divided into the following sections: 1) Introduction; 2) Summary 3) Specific Plan; 4) Design Guidelines; and 5) Zoning Ordinance. This MENIFEE VALLEY RANCH Specific Plan has been prepared pursuant to the provisions of California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to §65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the specific plan area;
- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the specific plan area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the general plan, such as architectural or landscape design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the City of Menifee General Plan. By functioning as a regulatory document, the MENIFEE VALLEY RANCH Specific Plan provides a means of implementing and detailing the City's General Plan and tailoring its policies to the subject property. In this regard, all future development plans or other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, as well as all applicable City regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as vehicular and non-vehicular circulation, energy conservation, landscaping, and the provision of utilities. The MENIFEE VALLEY RANCH Specific Plan also ensures that new development meets or exceeds City standards for environmental protection, infrastructure, site planning, and aesthetic quality.

## II. SUMMARY

### A. PROJECT SITE LOCATION

The 1,548.3-acre MENIFEE VALLEY RANCH project (previously known as Menifee Ranch) is located in the City of Menifee in the southwestern portion of Riverside County, approximately 21 miles southeast of the City of Riverside, 14 miles north of the City of Temecula, two miles east of the City of Perris, and four miles west of the City of Hemet (see Figure II-1, *Regional Map*). The site is situated in the City of Menifee, east of Interstate 215 and south of State Route 74, between the communities of Homeland and Romoland (see Figure II-2, *Vicinity Map*). The property is bounded to the west by Menifee Road, to the east by Briggs Road, to the north by State Route 74, and to the south by Simpson Road, and is traversed by McCall Boulevard, McLaughlin Road, and the Burlington Northern Santa Fe Railroad.

### B. PROJECT BACKGROUND

The original Menifee Ranch Specific Plan No. 301 was adopted by the Riverside County Board of Supervisors on April 29, 1997. The adopted plan included a mix of residential and non-residential land uses on a 153-acre project site. At build-out, a maximum of 482 single-family detached homes were to be constructed on 104.2 acres. The remaining acreage was designated for non-residential uses, including a commercial/day-care facility, a middle school, parks, parkway greenbelts, and major roads. On December 23, 2002, Amendment No. 1 to Specific Plan No. 301 was adopted by the Riverside County Board of Supervisors and added 1,395.3 acres of property to the north, south, and east of the 153-acre site. On June 7, 2006, Amendment No. 2 was adopted by the Riverside County Board of Supervisors and amended Specific Plan No. 301 by replacing the golf course/clubhouse and associated residential uses with open space/recreation (includes a community clubhouse) and active adult housing. Amendment No. 2 also re-designated community commercial uses along State Route 74 and Malaga Road with very high density residential uses.

On April 30, 2008, Substantial Conformance No. 1 to Amendment No. 2 was adopted by the Riverside County Board of Supervisors and adjusted Planning Area boundaries, acreages, and densities within Planning Areas 14, 18 through 20, 22A, 22C, 24, 25, 27C, 32, 39B, and 41 to accommodate development proposed by Tentative Tract Map No. 34406. Substantial Conformance No. 1 decreased the acreage and total number of dwelling units devoted to Medium Density Residential land uses and increased the acreage and total number of dwelling units devoted to Medium High Density Residential land uses. Additionally, Substantial Conformance No. 1 decreased the acreage devoted to commercial, school, greenbelt, and circulation land uses. These changes did not affect the Specific Plan total acreage or maximum number of dwelling units, which remained at 1,548.3 acres and 4,359 units respectively.

Amendment No. 3 to the Menifee Valley Ranch Specific Plan (SP 301 A-3) amends Planning Area 41 from 15.4 acres of commercial land use to become two new Planning Areas, Planning Areas 41A and 41 B. Planning Area 41A is 13.9 acres of Medium-High Density Residential land use and 80 dwelling units. Planning Area 41B is designated as Private Recreation Center use and comprises 1.1 acres. Amendment No. 3 amends the Planning Area boundaries, acreages, and/or maximum dwelling units for Planning Areas 15, 16, 17, 21, 22A, 22B, 23, 27A, 27B, 27D, 27E, 27F, 28, 29, 30, 31, 32, 33, 34A, 34B, 35, 36, 37, 38, 40, 42A, 42B, 42C, and 42E. Planning Area 42D is removed and the

remaining acreage is allocated to Planning Areas 29 and 30. The acreage devoted to Major Roadways throughout SP 301 A-3 is increased by 1.0 acre, from 92.2 to 93.2 acres. The total acres for SP 301 A-3 remain unchanged at 1,548.3 acres, while the total dwelling units are increased by 48, from 4,359 to 4,407. Although there are 80 dwelling units proposed in Planning Area 41A, the total dwelling units for SP 301 A-3 is only increased by 48 due to the approved Tract Maps and unit changes in the Planning Areas previously mentioned.

### C. PROJECT SUMMARY

The proposed MENIFEE VALLEY RANCH project is envisioned as a master planned community, integrating residential, educational, recreational, and open space uses. The MENIFEE VALLEY RANCH Specific Plan assures that the proposed project will be developed in a coordinated manner. Infrastructure and public services, both on-site and off-site, are planned to accommodate the buildout requirements of MENIFEE VALLEY RANCH, ensuring that the County's standards for orderly growth are implemented. Design guidelines and development standards contained within the Specific Plan create a cohesive community identity, while providing flexibility to accommodate future market demands.

MENIFEE VALLEY RANCH will provide a wide range of amenities, including a lake, two K-8 schools, a high school, and recreational amenities, which include 151.0 acres of open space/recreation (includes community clubhouse), five neighborhood parks, two community parks, a Private Recreation Center, a swim club, parkway greenbelts, and open space.

The residential component of the plan provides for a maximum of 4,407 units, consisting of 3,248 single-family detached homes, 744 single-family detached and 123 attached homes for active adult housing, and 292 multi-family units including very high-density land uses, to be constructed on 978 acres of the 1,548.3 acre site. At build-out, the gross density of the project site will be 2.8 dwelling units per acre. The net residential density will average 4.5 dwelling units per acre. MENIFEE VALLEY RANCH has been designed to accommodate an affordable range of housing opportunities, targeted at first-time homebuyers and active adults.

Of the 3,248 single-family detached residences, 80 units will be developed on 4,500 square foot lots, 687 units will be developed on 5,000 square foot lots, 937 units will be developed on 6,000 square foot lots, 1,205 units will be developed on 7,200 square foot lots, 173 units will be developed on 8,000 square foot lots, and 184 units will be developed on 9,000 square foot lots. In addition, 860 units will be developed with senior housing, consisting of 744 detached units to be developed on 5,000 square foot lots and 123 attached triplex units. An additional 292 attached units will be developed with very high density residential condo units.

Roadways to be improved as part of proposed project will include State Highway 74, Menifee Road, Simpson Road, Briggs Road, McLaughlin Road, McCall Boulevard, Malaga Road, Lindenberger Road, and Grand Avenue.

The MENIFEE VALLEY RANCH project is phased in a logical sequence, in response to market demands. A total of six development phases are planned through project build-out. The proposed school facilities will be constructed to meet the needs of the Romoland School District and Perris Union High School District which serve the project site. Development of the on-site parks will occur



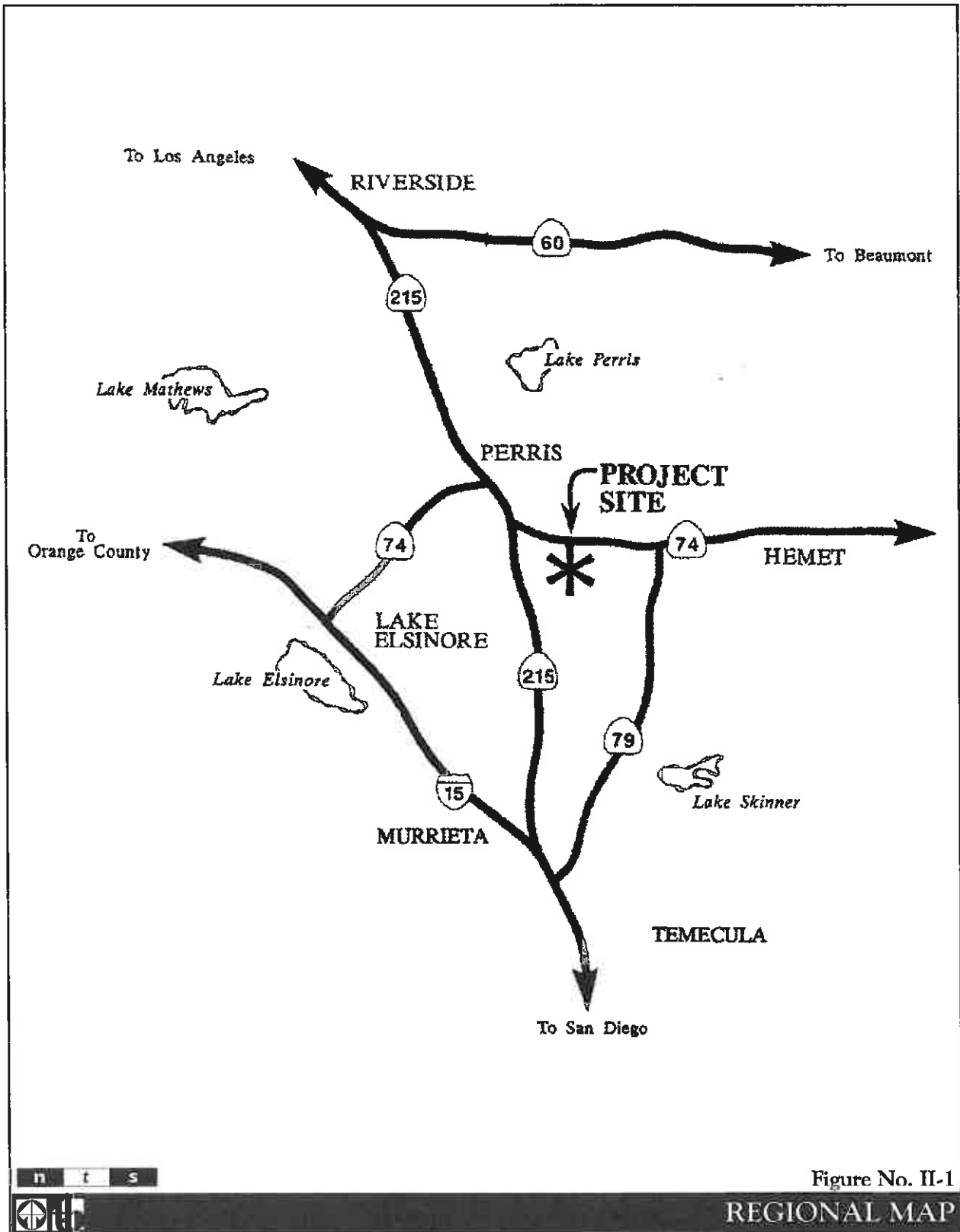
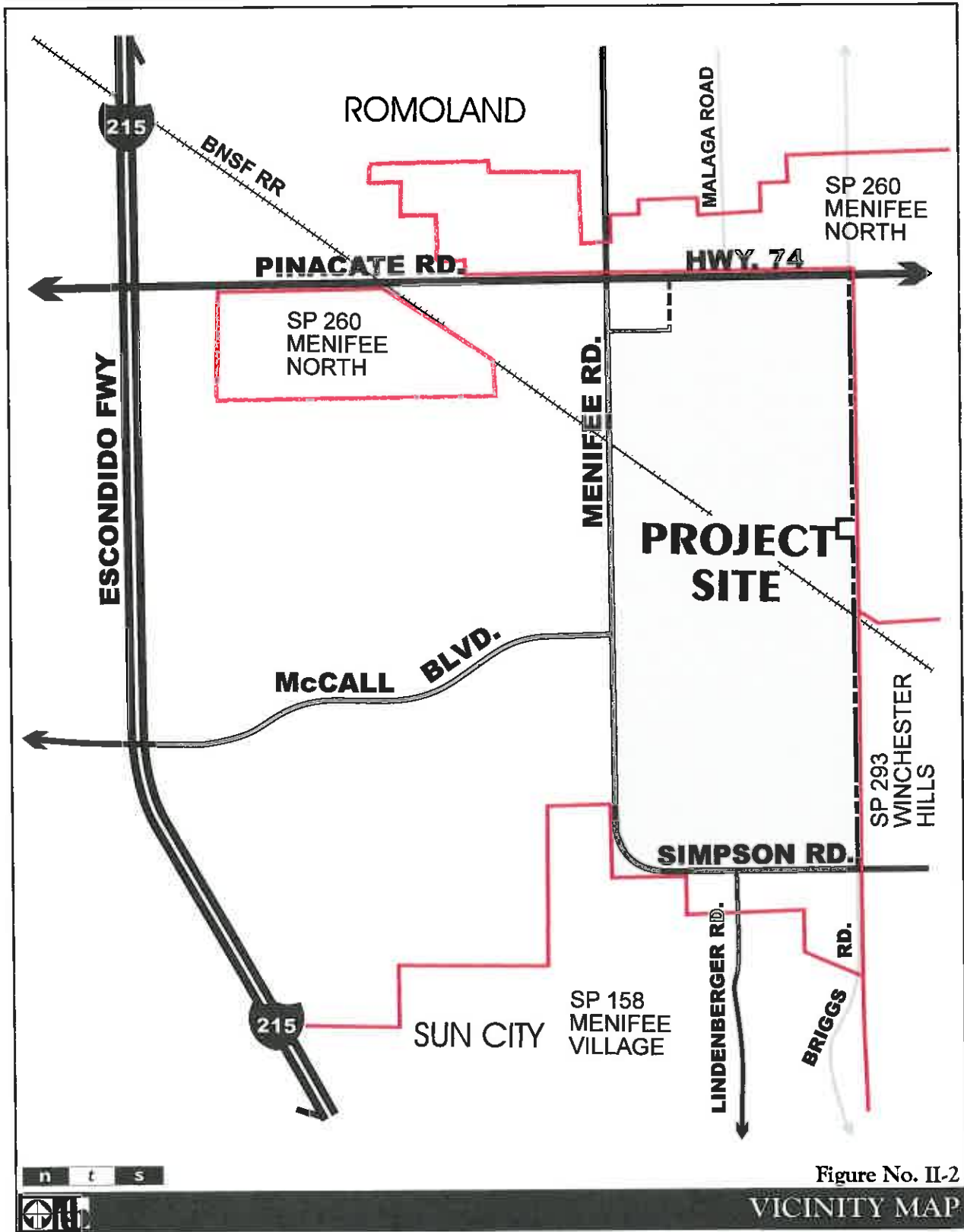


Figure No. II-1

REGIONAL MAP



concurrently with residential development according to the *Public Facilities Plan* section of the Specific Plan.

A land use summary for MENIFEE VALLEY RANCH, presenting the proposed land uses, acreage, density, and number of dwelling units by planning area is given in Table II-1, *Land Use Summary*.

## D. PROJECT OBJECTIVES

It is the intent of MENIFEE VALLEY RANCH Specific Plan No. 301, Amendment No. 3 to provide a cohesive community identity, while providing flexibility to accommodate future market demands. Specific project objectives are:

- To provide land uses which complement and expand the type of housing available within the City of Menifee.
- To reinforce the community identity of the project through the articulation of architectural and landscape architectural design elements, including design theme, entry treatments, streetscapes, and walls and fences.
- To provide active and passive recreational park space as a basic community theme.
- To create a family-oriented community that provides a high quality of life for residents.
- To reflect anticipated market needs and public demand by providing a diversity of housing types which will be marketable within the region, including first-time home buyers and active adults.
- To provide educational facilities to serve the needs of the community and surrounding area.
- To provide an aesthetic and functional recreational and open space system that responds to site conditions in its configuration and provides an extensive scenic amenity for future residents.
- To provide a variety of recreational amenities for the community such as a lake, a clubhouse, a Private Recreation Center, multi-use parks, greenbelts, bikeways, and jog paths.
- To provide an integrated system of bikeways and pedestrian paths to interconnect the residential neighborhoods and link with the parks, schools, greenbelts, and lake.
- To use of creative site planning concepts to provide variety and quality in community and neighborhood street scenes.
- Incorporation of native and drought tolerant plant materials in landscaping whenever possible to conserve water resources.
- To complete segments of the regional circulation system.

**TABLE II-1  
MENIFEE VALLEY RANCH - LAND USE SUMMARY**

LAND USE	PLANNING AREAS	ACREAGE	DENSITY	DWELLING UNITS
Medium – 9,000 s.f.	40	62.2	3.0	189
Medium – 8,000 s.f.	28	46.1	3.9	178
Medium – 7,200 s.f.	1, 7A, 7B, 14, 17, 23, 24, 31, 32, 35, 36	320.3	3.8	1,211
Medium – 6,000 s.f.	2, 6, 16, 18, 19, 30, 34A, 34B	206.4	4.5	937
Medium High – 5,000 s.f.	15, 20, 25, 29	131.3	5.3	685
Medium High – 4,500 s.f.	41A	13.9	5.8	80
Medium High – 5,000 s.f. (Active Adult)	12A	157.9	4.6	744
Medium High – Triplex (Active Adult)	12B	23.7	5.2	123
Very High – Multi-Family	3	16.2	18.0	292
<b>RESIDENTIAL SUBTOTAL</b>	--	<b>978</b>	<b>4.5</b>	<b>4,407</b>
Private Recreation Center	41B	1.1	--	--
Parks	5A, 5B, 9, 21, 22B, 26, 37	75.2	--	--
Swim Club/Lake Parking	27B	3.5	--	--
Open Space/Recreation	11	151.0	--	--
K-8 Schools	22A, 33	36.6	--	--
High School	8	59.8	--	--
Open Space/Greenbelts & Detention Areas*	4A, 4B, 10, 13, 22C, 27C-F, 38, 39A-B, 42A-E	70.1	--	--
Greenbelt/Lake	27A	41.8	--	--
Roadway Paseos	Includes areas along Menifee Loop, and undesignated greenbelts depicted on land use plan	38.0	--	--
Major Roads	--	93.2	--	--
<b>Non-Residential Subtotal</b>	--	<b>570.3</b>	<b>--</b>	<b>--</b>
<b>PROJECT TOTAL</b>	--	<b>1,548.3</b>	<b>2.8</b>	<b>4,407</b>

\*Open Space includes 38.4 acres for detention basins and flood control purposes

## E. ENVIRONMENTAL SETTING

### 1. REGIONAL SETTING

The project site is located in the City of Menifee in Riverside County. The City of Menifee and surrounding areas are bounded by the Santa Ana Mountains to the west and the San Jacinto Mountains to the east. The southern end of the City of Menifee opens into the Murrieta Valley which is enclosed by the Santa Margarita and Agua Tibia Mountains. The Santa Ana Mountains physically separate western Riverside County from Orange County and the Pacific coast, with a limited number of roads traversing the mountains.

### 2. SURROUNDING LAND USES AND DEVELOPMENT

The project lies in an urbanizing area of the City of Menifee in western Riverside County, southeast of the City of Perris and west of unincorporated Riverside County. The project area is surrounded by widely dispersed residential, agricultural and office land uses. Although much of the land surrounding the property remains vacant, several adopted specific plans exist in the vicinity of the project. These specific plans include Menifee North (SP No. 260), Menifee Village (SP No. 158), Menifee East (SP No. 247), and Winchester Hills (SP No. 293).

Regionally based commercial and office uses, including grocery stores, banks, restaurants and employment centers are planned within a two-mile radius, as evidenced by Specific Plans such as the Menifee North Specific Plan, the Winchester Hills Specific Plan, the Menifee East Specific Plan, and the Menifee Village Specific Plan. Residents of MENIFEE VALLEY RANCH will benefit from living within close proximity to these multi-functional centers. MENIFEE VALLEY RANCH residents have access to the existing commercial centers located approximately two miles west of the community on McCall Boulevard and approximately two miles southwest of the community on Newport Road.

### 3. PHYSICAL SITE CONDITIONS

The Specific Plan area is generally flat and portions of the site south of Matthews Road have been graded and developed (see Figure II-3, *Aerial Photo*). Most of the development has primarily occurred in the Heritage Lake portion of the Specific Plan including single-family homes, Heritage Lake Park, neighborhood parks, Mesa View Elementary School, Ethan A. Chase Middle School, and greenbelts. Heritage High School located at the southwestern corner of State Route 74 and Briggs Road in the northeast portion of the community is developed and in use. Roads needed to serve the community, such as McCall Boulevard and Heritage Lake Drive, have been constructed. A small hill or knoll exists on the eastern boundary, just north of the railroad tracks, and represents the maximum elevation of the site (1,622 feet above mean sea level). Although small areas of the Specific Plan have been altered by cultivation, drainage of the northern portion of the site trends generally toward the west while drainage of the southern portion is toward the south. All on-site flows at the Heritage Lake portion of the Specific Plan drain southerly through the lake and/or drainage detention areas and ultimately to the southern portion of the community at the intersection of Lindenberger Road and Simpson Road. Matthews Road crosses the central portion of the community in a northwest to southeast direction, adjacent to the Burlington Northern Santa Fe railroad tracks.



#### 4. REGIONAL CIRCULATION

Southwestern Riverside County is served principally by four freeways. Major east-west circulation is provided by the Riverside Freeway (SR-91) and the Moreno Valley Freeway (SR-60). These freeways connect the area to Los Angeles and Orange Counties to the west and Palm Springs to the east. Major north-south circulation is provided by the Corona Freeway (I-15) and the Escondido Freeway (I-215). These freeways connect the project area to Escondido and San Diego to the south and Riverside and San Bernardino to the north.

MENIFEE VALLEY RANCH is located approximately two miles east of the I-215. On- and off-ramps that will provide access to the project from the I-215 exist at SH-74, Bonnie Drive, Ethanac Road, McCall Boulevard, and Newport Road. SR-79 (Winchester Road) is an important north-south regional transportation link, located two and one-half miles east of the project site.

#### 5. PLANNING CONTEXT

##### **City of Menifee Incorporation**

On April 30, 2008, Substantial Conformance #1 to Amendment No. 2 to SP 301 was approved by the County. On October 1, 2008, the City of Menifee was incorporated as a new city within Riverside County and encompasses the MENIFEE VALLEY RANCH Specific Plan area. The MENIFEE VALLEY RANCH Specific Plan area was subject to the provisions and policies of the County General Plan and the Sun City/Menifee Valley Area Plan, but is now subject to the provisions and policies of the City of Menifee's General Plan and Municipal Code.

### III. SPECIFIC PLAN

#### A. DEVELOPMENT PLANS AND STANDARDS

##### 1. PLANNING OBJECTIVES

MENIFEE VALLEY RANCH Specific Plan No. 301 (previously known as MENIFEE RANCH), Amendment No. 3 has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues that have been thoroughly examined and considered include: City of Menifee General Plan goals and objectives, local community goals, market acceptance, economic viability, engineering feasibility, and development phasing, together with a sensitive design approach relative to environmental conditions. In order to ensure the functional integrity, environmental compatibility, and positive aesthetic effect of the Specific Plan, specific planning goals and objectives were established and subsequently supported with extensive analysis. With these specific planning goals in mind, this Specific Plan:

- Provides for a long-range comprehensive planning approach to development which cannot be accomplished on a parcel-by-parcel basis.
- Furnishes a plan for development that is sensitive to the environment as well as aesthetically pleasing, and is one that provides for noise suppression, protection of health and safety, and the promotion of the neighborhoods, community, and region.
- Considers topographic, geologic, hydrologic, and environmental opportunities and constraints to create a design that essentially conforms to the condition of the land by maintaining and using basic landforms where practical.
- Ensures a well-balanced community by incorporating residential, educational, recreational, park, and open space uses into a master-planned development.
- Implements housing type diversity by providing a variety of detached single family and active adult residential lots in traditional subdivision layouts and attached multi-family housing that will be marketable within the evolving economic profile of the City of Menifee.
- Establishes a project-wide circulation system that meets regional and local transportation needs and accommodates a variety of transportation modes.
- Encourages mobility options by providing an extensive network of sidewalks and/or bicycle paths within expanded landscaped parkways adjacent to all major project roads.
- Provides a system of public and community facilities, including a lake, two K-8 school sites, a high school site, 151.0 acres of open space/recreation (includes a community clubhouse), a Private Recreation Center, five neighborhood parks, two community parks, and a private swim club/lake parking facility to support development in an efficient and timely manner as well as meet the needs of project residents and residents of surrounding communities.
- Establishes schools and parks within walking distance of residential neighborhoods.
- Reinforces the community identity of the project through control of project design elements such as architecture, landscaping, color, paving, walls, fencing, signage, and entry treatments.



- Develops an environment that is visually attractive and efficiently and effectively organized, including a pleasing landscape palette.
- Maintains consistency with the City's Noise Element by properly mitigating noise generating uses that exceed the maximum suggested dBA level.

## 2. SPECIFIC LAND USE PLAN

### a. Project Description

Upon completion, the MENIFEE VALLEY RANCH, Specific Plan Amendment No. 3, project will consist of a high quality residential community, primarily composed of residential, educational, recreational, park, and open space land uses on 1,548.3 acres as depicted in Figures III.A-1a and IIIA-1b, *Specific Plan Land Use Plan*. When fully developed, a maximum of 4,407 dwelling units will be built in MENIFEE VALLEY RANCH. Various residential product types will be designed to meet the needs of the housing market of the City of Menifee and the Inland Empire. These residences include a range of lot sizes shown on Figures III.A-1a and IIIA-1b, *Specific Plan Land Use Plan*. While the overall project density is 2.8 dwelling units per acre, the density of the residential planning areas will range between 3.0 to 18.0 dwelling units per acre for an overall residential density of 4.5 dwelling units per acre.

Non-residential uses will consist of two K-8 schools, a high school, and recreational amenities, which will include 151.0 acres of open space/recreation (includes a community clubhouse), five neighborhood parks and two community parks, a Private Recreation Center, a private swim club/lake parking facility, open space, paseos, greenbelts and a lake. Additional uses will include drainage detention areas, roadway paseos and major roads. These uses will directly support the residential neighborhoods, and will provide the essential amenities and public facilities needed to achieve a well-balanced plan.

Specific information on each of the planning areas within MENIFEE VALLEY RANCH is provided in Table III.A-1, *Detailed Land Use Summary*, within Section III.B, *Planning Area Development Standards*, and in Figures III.B-1 through III.B-24, Planning Areas 1 to 42E.

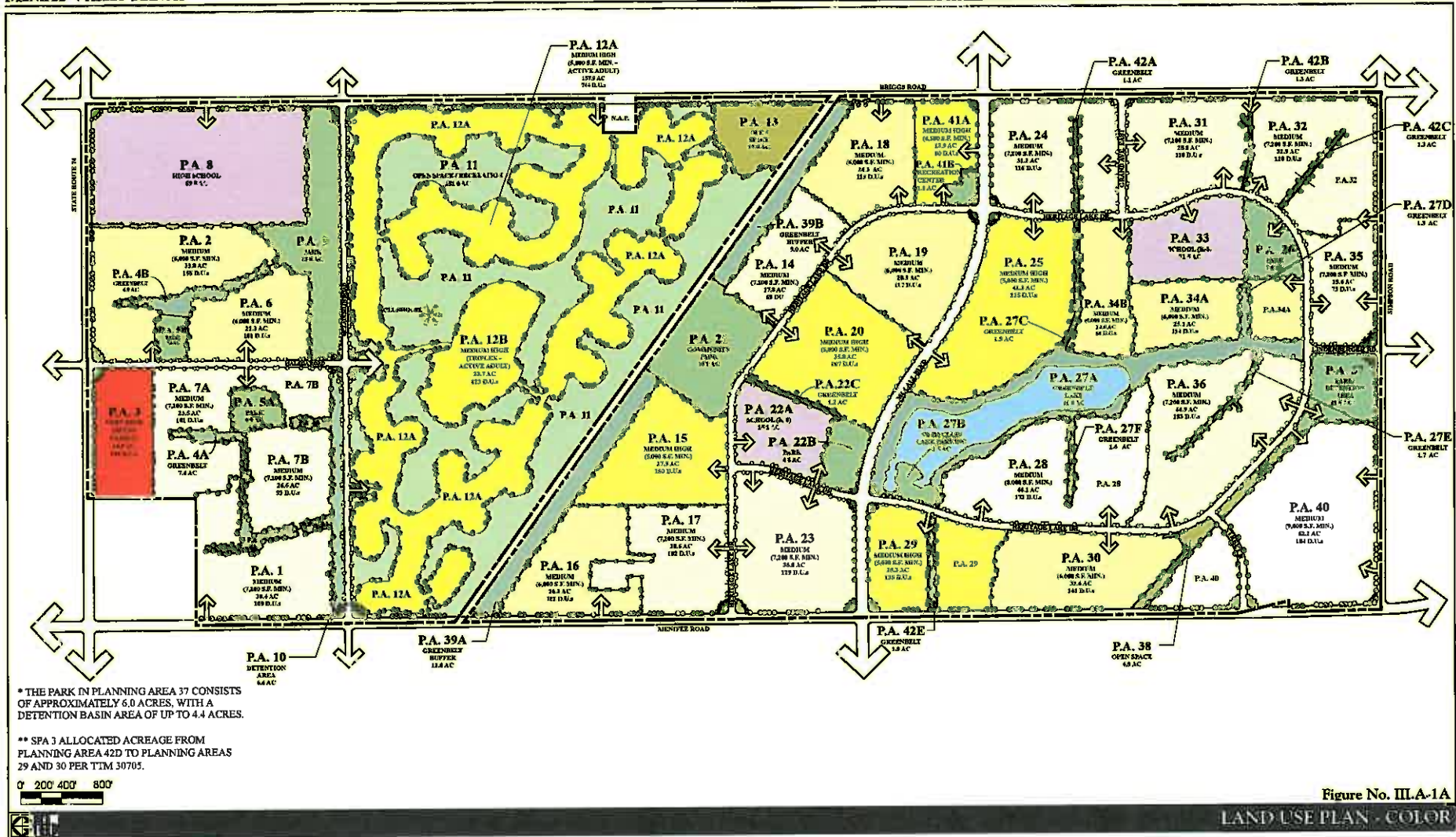
The proposed land uses within MENIFEE VALLEY RANCH are as follows:

#### (1) Residential

While the overall gross density of the project will be 2.8 dwelling units per acre, net residential densities within the project will average 4.5 dwelling units per acre.

In conformance with project goals, a variety of housing types, lot sizes and values are proposed, appealing to a wide range of future MENIFEE VALLEY RANCH residents. Residential planning areas account for 978 acres of the project site and provide 4,407 dwelling units. The housing mix falls within three density ranges, "Medium" (2.1-5 du/ac), "Medium-High" (5.1-8 du/ac), and "Very-High" (14.1-20 du/ac). The range of product types is described on the following pages.

**MENIFEE VALLEY RANCH**



\* THE PARK IN PLANNING AREA 37 CONSISTS OF APPROXIMATELY 6.0 ACRES, WITH A DETENTION BASIN AREA OF UP TO 4.4 ACRES.

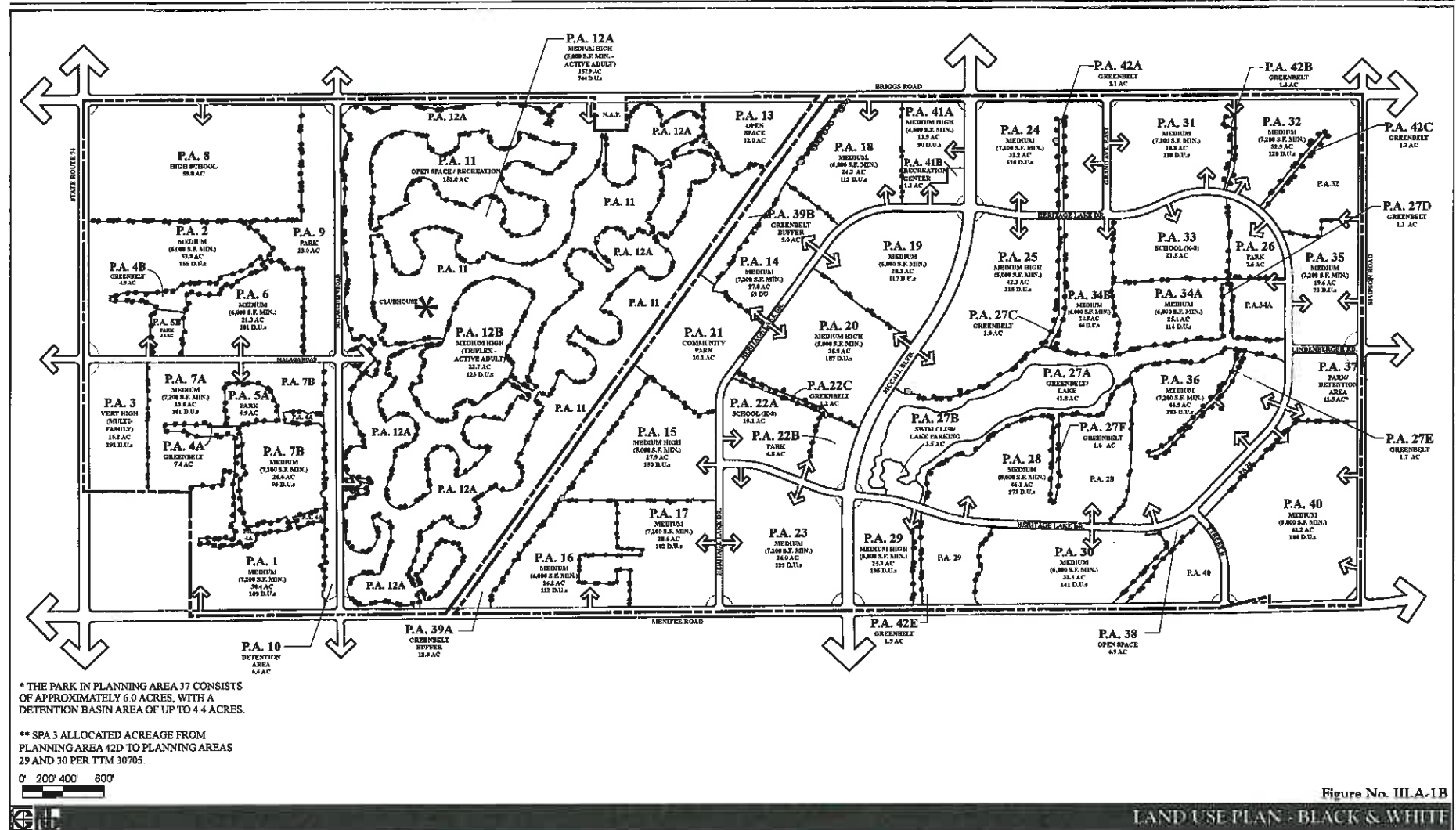
\*\* SPA 3 ALLOCATED ACREAGE FROM PLANNING AREA 42D TO PLANNING AREAS 29 AND 30 PER TTM 30705.

0 200 400 800

Figure No. III.A-1A

LAND USE PLAN - COLOR

MENIFEE VALLEY RANCH



**TABLE III.A-1  
DETAILED LAND USE SUMMARY**

LAND USE	PLANNING AREA	ACRES	DENSITY RANGE	TARGET DENSITY	MAXIMUM DU'S
<b>RESIDENTIAL</b>					
Medium - 9,000 s.f.	40	62.2	2.1-5 du/ac	3.0	184
<b>SUBTOTAL - 9,000 SF LOTS</b>		<b>62.2</b>		<b>3.0</b>	<b>184</b>
Medium - 8,000 s.f.	28	46.1	2.1-5 du/ac	3.8	173
<b>SUBTOTAL - 8,000 SF LOTS</b>		<b>46.1</b>		<b>3.8</b>	<b>173</b>
Medium - 7,200 s.f.					
	1	30.4	2.1-5 du/ac	3.6	109
	7A	21.3	2.1-5 du/ac	4.3	101
	7B	26.6	2.1-5 du/ac	3.5	93
	14	17.8	2.1-5 du/ac	3.9	69
	17	28.6	2.1-5 du/ac	3.6	102
	23	36	2.1-5 du/ac	3.6	129
	24	31.2	2.1-5 du/ac	3.7	116
	31	28.2	2.1-5 du/ac	3.8	110
	32	32.9	2.1-5 du/ac	3.6	120
	35	19.6	2.1-5 du/ac	3.7	73
	36	44.9	2.1-5 du/ac	4.1	183
<b>SUBTOTAL - 7,200 SF LOTS</b>		<b>320.3</b>	<b>---</b>	<b>3.8</b>	<b>1205</b>
Medium - 6,000 s.f.					
	2	33.8	2.1-5 du/ac	4.6	155
	6	21.3	2.1-5 du/ac	4.7	101
	16	26.2	2.1-5 du/ac	4.3	112
	18	24.3	2.1-5 du/ac	4.7	113
	19	28.3	2.1-5 du/ac	4.1	117
	30	32.6	2.1-5 du/ac	4.3	141
	34A	25.1	2.1-5 du/ac	4.5	114
	34B	14.8	2.1-5 du/ac	4.5	66
<b>SUBTOTAL - 6,000 SF LOTS</b>		<b>206.4</b>		<b>4.5</b>	<b>919</b>
Medium High - 5,000 s.f.					
	15	27.9	5.1-8 du/ac	5.4	150
	20	35.8	5.1-8 du/ac	5.2	187
	25	42.3	5.1-8 du/ac	5.1	215
	29	25.3	5.1-8 du/ac	5.3	135
<b>SUBTOTAL - 5,000 SF LOTS</b>		<b>131.3</b>		<b>5.2</b>	<b>687</b>
Medium High - 4,500 s.f.	41A	13.9	5.1-8 du/ac	5.8	80
<b>SUBTOTAL - 4,500 SF LOTS</b>		<b>13.9</b>		<b>5.8</b>	<b>80</b>
Medium High - 5,000 s.f. (Active Adult )	12A	157.9	5.1-8 du/ac	5.0	744
<b>SUBTOTAL - 5,000 SF LOTS (SENIOR)</b>		<b>157.9</b>		<b>5.0</b>	<b>744</b>
Medium High - Triplex (Active Adult )	12B	23.7	5.1-8 du/ac	5.2	123
<b>SUBTOTAL - TRIPLEX (SENIOR)</b>		<b>23.7</b>		<b>5.2</b>	<b>123</b>
Very High - Multi-Family	3	16.2	14.1-20 du/ac	18.0	292
<b>SUBTOTAL - CONDO</b>		<b>16.2</b>		<b>18.0</b>	<b>292</b>
<b>RESIDENTIAL SUBTOTAL</b>		<b>978</b>	<b>---</b>	<b>4.5</b>	<b>4,407</b>

LAND USE	PLANNING AREA	ACRES	DENSITY RANGE	TARGET DENSITY	MAXIMUM DU'S
<b>NON-RESIDENTIAL</b>					
<b>Open Space and Recreation</b>					
Open Space/Recreation	11	151.0			
Neighborhood Park	5A	4.9			
Neighborhood Park	5B	3.3			
Community Park	9	23.0			
Detention Area (usable as greenbelt)	10	6.6			
Open Space	13	12.0			
Community Park	21	22.2			
Park	22B	4.0			
Neighborhood Park	26	7.6			
Greenbelt/Lake	27A	45.8			
Swim Club/Lake Parking	27B	2.1			
Open Space	38	5.5			
Neighborhood Park/Detention Area	37	10.4			
Private Recreation Center	41B	1.1			
Greenbelt	4A	7.4			
Greenbelt	4B	4.9			
Greenbelt	22C	1.2			
Greenbelt	27C	1.9			
Greenbelt	27D	1.2			
Greenbelt	27E	1.8			
Greenbelt	27F	1.2			
Greenbelt	39A	12.0			
Greenbelt	39B	9.0			
Greenbelt	42A	1.6			
Greenbelt	42B	0.7			
Greenbelt	42C	0.9			
Greenbelt	42E	1.5			
Roadway Paseos		38.0			
<b>Subtotal</b>		<b>473.9</b>			
<b>Schools</b>					
High School	8	59.8			
K-8 School	22A	15.1			
K-8 School	33	21.5			
<b>Subtotal</b>		<b>96.4</b>			
<b>Major Roads</b>					
		93.2			
<b>NON-RESIDENTIAL SUBTOTAL</b>		<b>570.3</b>			
<b>PROJECT TOTAL</b>		<b>1,548.3</b>		<b>2.8</b>	<b>4,407</b>

- **Medium Density** - 9,000 square foot lots will consist of 184 dwelling units on a total of 62.2 acres. These units are proposed for Planning Area 40 and will achieve a target density of 3.0 du/ac. This category comprises 4 percent of the residential units to be developed within MENIFEE VALLEY RANCH.
- **Medium Density** - 8,000 square foot lots will consist of 173 dwelling units on 46.1 acres. These units are proposed for Planning Area 28 and will achieve a target density of 3.8 du/ac. This category comprises 4 percent of the residential units to be developed.
- **Medium Density** - 7,200 square foot lots will consist of 1,205 dwelling units on a total of 320.3 acres. These units are proposed for Planning Areas 1, 7A, 7B, 14, 17, 23, 24, 31, 32, 35 and 36, and will achieve a target density of 3.8du/ac. This category comprises 27 percent of the residential units to be developed.

- **Medium Density** - 6,000 square foot lots will consist of 919 dwelling units on a total of 206.4 acres. These units are proposed for Planning Areas 2, 6, 16, 18, 19, 30, 34A and 34B, and will achieve a target density of 4.5du/ac. This category comprises 21 percent of the residential units to be developed.
- **Medium-High Density** - 5,000 square foot lots will consist of 687 dwelling units on a total 131.3 acres. These units are proposed for Planning Areas 15, 20, 25, and 29, and will achieve a target density of 5.2 du/ac. This category comprises 16 percent of the residential units to be developed.
- **Medium-High Density** – 4,500 square foot lots will consist of 80 dwelling units on a total 13.9 acres. These units are proposed for Planning Area 41A and will achieve a target density of 5.8 du/ac. This category comprises 2 percent of the residential units to be developed.
- **Medium-High Density** - 5,000 square foot lots (Active Adult) will consist of 744 dwelling units on a total 157.9 acres. These units are proposed for Planning Area 12A and will achieve a target density of 5.0 du/ac. This category comprises 17 percent of the residential units to be developed.
- **Medium-High Density** - Triplex (Active Adult) will consist of 123 dwelling units on a total 23.7 acres. These units are proposed for Planning Area 12B and will achieve a target density of 5.2 du/ac. This category comprises 3 percent of the residential units to be developed.
- **Very-High Density** – Multi-Family will consist of 292 dwelling units on a total 16.2 acres. These units are proposed for Planning Area 3 and will achieve a target density of 18.0 du/ac. This category comprises 7 percent of the residential units to be developed.

## (2) Schools

School sites will occupy a total of 93.2 acres, and will serve students in grades K-8 and high school.

- **K-8 Schools** - Two K-8 school sites, Mesa View Elementary School and Ethan A. Chase Middle School, are provided on a total of 36.6 acres. The sites are 15.1 and 21.5 acres, and are located in Planning Areas 22A and 33, respectively. The schools are under the jurisdiction of the Romoland School District and serve grades K through 8. Where appropriate, the school sites are located adjacent to proposed park sites to enable the schools to take advantage of additional recreational and joint use opportunities.
- **High School** - Heritage High School is located in Planning Area 8 on 59.8 acres. This school is under the jurisdiction of Perris Union High School District and serves grades 9 through 12. Outdoor athletic equipment provided by Perris Union High School District include tennis courts, volleyball courts, a gym, baseball/softball fields, soccer fields, and a football field and track with bleachers.

## (3) Parks

Five neighborhood parks, two community parks and a swim club, totaling 78.7 acres are planned for Planning Areas 5A, 5B, 9, 21, 22B, 26, 27B, and 37. The parks offer a variety of active and passive recreational opportunities. For Planning Areas 5A and 5B, neighborhood parks consist of 4.9 and 3.3 acres, respectively. For Planning Area 9, a 23.0-acre community park is provided, adjacent to the high school in Planning Area 8. For Planning Area 21, a 20.1-acre community park feature is provided adjacent to the K-8 school in Planning Area 22A and greenbelt buffer zones. For Planning Area 22B, a 4.8-acre park is provided, adjacent to the K-8 school in Planning Area 22A. For Planning Area 26, a 7.6-acre park is provided, adjacent to the K-8 school in Planning Area 33. For Planning Area 27B, a 3.5-acre swim club and lake parking area is provided adjacent to Heritage Lake Park. Lastly, for Planning Area 37, a 7.1-acre park is provided along with a 4.4-acre detention area, and is adjacent to the open space easement in Planning Area 38. All of the parks are discussed in detail in Section IV, *Design Guidelines*.

(4) **Private Recreation**

- **Private Recreation Center:** An HOA owned and maintained 1.1-acre Private Recreation Center is provided in Planning Area 41B. This Private Recreation Center will serve the recreational needs of the residents throughout the Heritage Lake portion of MENIFEE VALLEY RANCH, by providing a pool facility, a spa, restrooms, and a parking lot. The Private Recreation Center is discussed in detail in Section IV, *Design Guidelines*.
- **Swim Club:** Planning Area 27B is comprised of 3.5 acres of Swim Club and Lake parking. The Swim Club serves the recreational needs of the residents throughout the Heritage Lake portion of MENIFEE VALLEY RANCH by providing a pool facility and parking for the lake within Planning Area 27A.

(5) **Open Space**

A total of 305.5 acres of open space is provided within MENIFEE VALLEY RANCH. Open space areas are classified as open space, open space/meadows, greenbelts/lake, detention areas, and roadway paseos.

- **Open Space/Recreation** – Planning Area 11 is comprised of 151.0 acres of open space/recreation (includes a community clubhouse). The proposed open space uses will serve the passive and active recreational needs of the senior housing provided in Planning Areas 12A and 12B.
- **Open Space** - Planning Areas 13 and 38, totaling 16.9 acres, has been left in natural open space. Planning Area 38 encompasses the gas line easement in the southwest corner of MENIFEE VALLEY RANCH, which traverses Planning Area 40.
- **Greenbelts/Lake** - Planning Area 27A will be comprised of 41.8 acres of lake and greenbelts. A 22.6-acre lake will be located within this planning area. The lake will be centrally located to the residential neighborhoods within the southern portion of MENIFEE VALLEY RANCH. Both retention and detention of drainage will be provided by the lake. The greenbelts will link with the parks in Planning Areas 22B and 37.

- **Greenbelts** – Planning Areas 4A, 4B, 22C, 27C-F, 39A-B, 42A-C, and 42E are planned to be developed with greenbelts and will occupy 46.6 acres. The proposed greenbelts will provide easy connection to various planning areas and will serve the passive recreational needs of MENIFEE VALLEY RANCH residents.
- **Detention Areas** - Areas for detaining drainage will occupy 6.6 acres and will be located within Planning Area 10. The 11.5-acre Neighborhood Park located in Planning Area 37 will also include a 4.4-acre detention area.
- **Roadway Paseos** - Expanded parkways will provide generous landscape setbacks and pedestrian walkways along community roadways. Approximately 38.0 acres of parkways are planned for the MENIFEE VALLEY RANCH community. The acreage of the parkways has been excluded from the acreage of the planning areas that are adjacent to the roadways. These areas are referred to as Landscape Development Zones (LDZ's) within Section IV, Design Guidelines.

#### (6) Major Roads

The proposed project includes the construction of 93.2 acres of primary roadways. The City of Menifee's General Plan Circulation Element as modified by the MENIFEE VALLEY RANCH Specific Plan Amendment No. 3 adequately serves future traffic volumes for the area. On-site traffic is conveyed by a hierarchical circulation system consisting of an expressway corridor (220' R.O.W.), urban arterial (152' R.O.W.), major (118' R.O.W.), secondary (100' R.O.W.), enhanced collector (80' and 74' R.O.W.), collector (74' R.O.W.), and local roads. Rights-of-way will range in width from 220 feet to 60 feet.

#### b. Land Use Plan Development Standards

To ensure the orderly and sensitive development of the land uses proposed for MENIFEE VALLEY RANCH, special mitigation measures have been created for the diverse conditions within each planning area. These standards, specific to each planning area, are thoroughly discussed in Section III.B., *Planning Area Development Standards*.

In addition to the planning area standards, project-wide development standards also have been prepared that will assist in effectively implementing the proposed development. These project-wide development standards are:

- (1) The total Specific Plan area shall be developed with a maximum of 4,407 dwelling units on 1,548.3 acres, as illustrated on Figures III.A-1A and IIIA-1B, *Specific Land Use Plan*. General permitted uses will include residential, parks, swim club/lake parking facility, golf course and clubhouse, schools, open space, open space/recreation (includes a community clubhouse), greenbelts/lake, detention areas, roadway paseos, and major roads as delineated on the *Specific Land Use Plan* and on the individual planning area figures (Figures III.B-1 through III.B-24). A maximum number of dwelling units is specified for each residential planning area. The proposed number of dwelling units contained in an implementing subdivision application may exceed the maximum units specified in any one planning area by not more than ten percent without an amendment to this plan, provided that an equal or greater number was unused in a previously or concurrently approved application



within another planning area. In no case shall the total number of dwelling units exceed 4,407.

If a transfer of dwelling units is proposed between planning areas, the Master Developer or his Assignee shall be responsible for providing the City with a Development Transfer Status Report at the time that implementing subdivisions are submitted. This report will specify the entitlement and development status of each planning area including the following information:

- a) Specific Plan Planning Area allocation of dwelling units.
- b) Number of dwelling units entitled under an Implementing Subdivision by Planning Area.
- c) Number of dwelling units transferred to or from each Planning Area that is already entitled or proposed to be entitled with an implementing subdivision.

The “Development Transfer Status Report” must demonstrate that the total number of dwelling units for the project will not exceed 4,407 and that the total number of dwelling units to be entitled within any particular planning area will not exceed its Specific Plan allocation by more than ten percent.

Dwelling units may not be transferred out of a Planning Area unless an implementing subdivision is approved (previously or concurrently) for that Planning Area. The Development Transfer Status Report shall assume that all Planning Areas for which an implementing subdivision has not been filed or approved will develop with the number of dwelling units allocated by the Specific Plan.

The City shall not approve any transfer of dwelling units between Planning Areas unless the Developer submits the Development Transfer Status Report with the application for an implementing subdivision.

~~(2) Within Planning Area 41A of MENIFEE VALLEY RANCH, there shall be a minimum of three (3) distinct architectural themes and styles. A minimum of three (3) distinct floor plan options (not including reversed plans) shall be provided within residential Planning Area 41A. Each plan shall be designed and constructed with a minimum of three (3) distinct building elevations.~~

~~(3)~~(2) Uses and development standards will be in accordance with City of Menifee ordinances, including the Menifee Municipal Code, Ordinance No. 348, and Ordinance No. 460. The MENIFEE VALLEY RANCH Specific Plan Zoning Ordinance and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, plot plans, and conditional use permits.

~~(4)~~(3) Standards relating to signage, landscape, parking and other related design elements will conform to the Zoning Ordinance of the City of Menifee ordinances, including the Menifee Municipal Code, Ordinance No. 348, and Ordinance No. 460. When appropriate and necessary to meet the goals of this Specific Plan Amendment, the standards contained within this document will exceed the zoning ordinance requirements. A Change of Zone will be processed concurrently with this Specific Plan Amendment.

- ~~(5)~~(4) Development of the property shall be in accordance with the mandatory requirements of all City of Menifee ordinances, including the Menifee Municipal Code, Ordinance No. 348, and Ordinance No. 460. This Specific Plan Amendment conforms to State laws.
- ~~(6)~~(5) Except for the Specific Plan Zone Ordinance adopted concurrently with Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- ~~(7)~~(6) A land division filed for the purpose of phasing or financing shall not be considered an implementing development. If the maintenance organization is a property owners' association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- ~~(8)~~(7) Common areas identified in the Specific Plan Amendment shall be owned and maintained as follows:
- a) A permanent master maintenance organization may be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems, and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
  - b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
  - c) The maintenance organization shall be established prior to, or concurrent with, the first land division or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
- ~~(9)~~(8) The applicant shall defend, indemnify, and hold harmless the City of Menifee or its agents, officers, and employees from any claim, action, or proceeding against the City of Menifee or its agents, officers, or employees to attach, set aside, void, or annul an approval of the City of Menifee, its advisory agencies, appeal boards, or legislative body concerning the approval process for Specific Plan. The City of Menifee will promptly notify the applicant of any such claim, action or proceeding against the City of Menifee and will cooperate fully in the defense. If the City fails to promptly notify the applicant of any such claim, action or proceeding or fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City of Menifee.
- ~~(10)~~(9) Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the City of

Menifee Community Development Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.

- ~~(11)~~(10) An environmental assessment shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement the specific plan, unless said proposal is determined to be exempt from the provisions of the California Environmental Quality Act. The environmental assessments shall be prepared as part of the review process for these implementing projects.
- ~~(12)~~(11) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
- ~~(13)~~(12) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, and/or bicycle).
- ~~(14)~~(13) If necessary, roadways, infrastructure, parks, and open space may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance and management.
- ~~(15)~~(14) Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) density transfer; f) sensitivity to neighborhood design through lot and street layouts; g) lot sizes as proposed by this Specific Plan; and h) density bonuses for affordable housing.
- ~~(16)~~(15) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
- ~~(17)~~(16) Designation and/or dedication of park land and open space acreage within the project site will be based on the final number of dwelling units and corresponding population generated by the MENIFEE VALLEY RANCH Specific Plan (as adopted by the City of Menifee, unless otherwise amended) and will satisfy both City and State requirements for park land. Unless specifically approved by a public entity having jurisdiction over park and recreation requirements, such acreage shall not be less than that set forth on Figures III.A-1A and III.A-1B, *Specific Land Use Plan*, and Table III.A-1, *Detailed Land Use Summary*.
- ~~(18)~~(17) Prior to the issuance of building permits, improvement plans for adjacent developed common open space areas, including irrigation plans, shall be submitted for Community Development Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
- ~~(19)~~(18) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:

- a) Circulation for pedestrians, vehicles, and police patrols.
- b) Lighting of streets and walkways.
- c) Visibility of doors and windows from the street and between buildings, where practical.
- d) Fencing heights and materials which are developer's responsibility.

The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:

- a) Lighted addresses.
- b) Special lighting requirements on any buildings that are grouped in such a way that individual addresses are difficult to read.

~~(20)~~(19) Development within the project shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to individuals with disabilities.

~~(21)~~(20) It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owners' association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for parking, open space areas, signing, landscaping, irrigation, common areas, and other responsibilities as necessary.

~~(22)~~(21) Construction of certain public facilities and infrastructure requirements (such as schools, sewers, water, and roadways) may be financed through a community facilities district (CFD) or similar public financing mechanism. Financing of these facilities through a CFD may substitute for the payment of fees that would have financed those facilities.

~~(23)~~(22) All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of City Ordinance No. 460, County Ordinance No. 546, and City of Menifee Ordinance No. 2013-135, subject to approval by the Riverside County Fire Department. Fire flows over 3,000 gpm shall be for three (3) hours duration.

~~(24)~~(23) Flag lots shall not be permitted within MENIFEE VALLEY RANCH unless approved by the Community Development Director and the Fire Department.

~~(25)~~(24) The use of passive solar heating techniques is encouraged within the project where feasible. Passive systems involve design elements such as orienting buildings properly, planting tree types to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated, and installing simple heat storage systems.

### 3. CIRCULATION PLAN

#### a. Circulation Plan Description

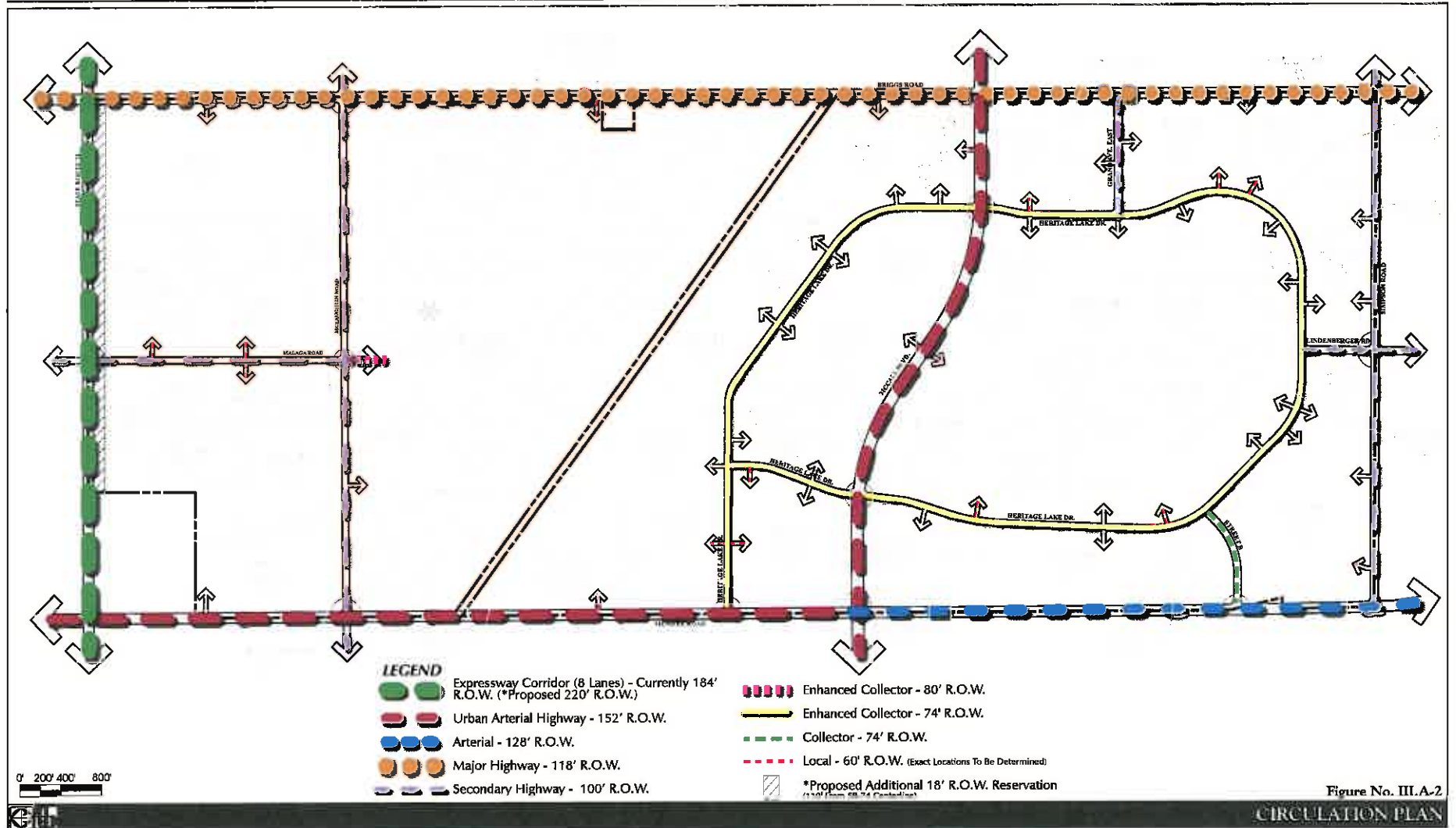
The project roadway hierarchy developed for MENIFEE VALLEY RANCH is illustrated on Figure III.A-2, *Circulation Plan*.

Primary access to the project site will be provided by State Route 74, McCall Boulevard, Briggs Road, Menifee Road, Simpson Road, and Lindemberger Road. An efficient on-site roadway network accommodates circulation through the project area. Primary north-south circulation through MENIFEE VALLEY RANCH will be provided by Menifee Road and Briggs Road, and by the proposed realignment of Malaga Road. Primary east-west circulation will be provided by State Route 74 and Simpson Road, and by the proposed realignments of McCall Boulevard and McLaughlin Road. Heritage Lake Drive forms a loop roadway through the southern portion of MENIFEE VALLEY RANCH.

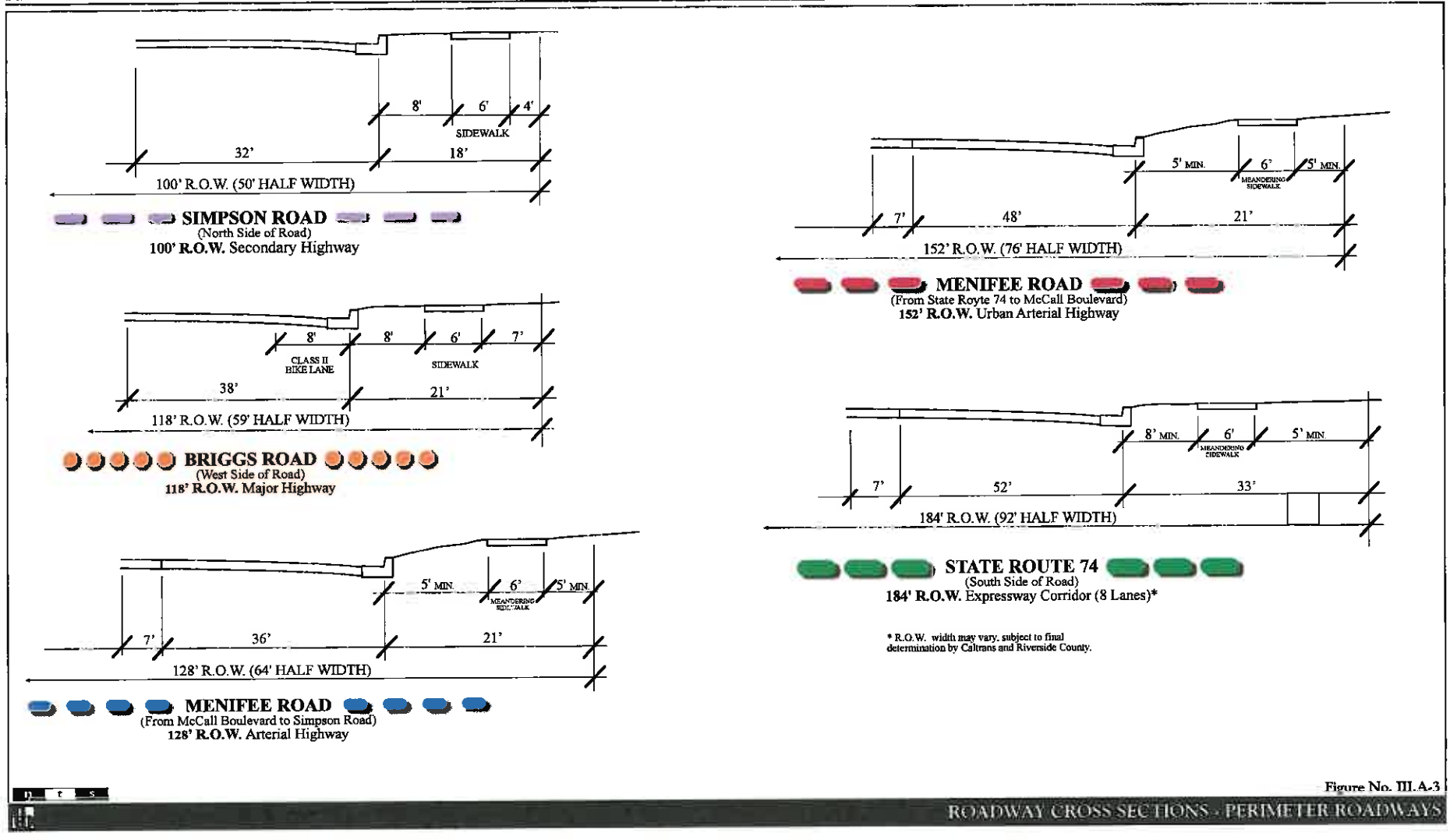
The main objective of the Circulation Plan is to provide direct and convenient access to individual residential neighborhoods, school sites, and parks through a safe and efficient network of roadways. A hierarchical system of roadway classifications has been established within the Circulation Plan in accordance with the City of Menifee General Plan Circulation Element. Roadway classifications consist of: expressway corridor, urban arterial, major highway, secondary highway, enhanced collector, collector, and local. Roadway cross sections are depicted on Figures III.A-3 through III.A-8, *Roadway Cross Sections*.

Transportation infrastructure funding may be provided through a combination of developer financing, community facilities or assessment district bond sales, and developer fees. The type of funding for specific facilities will be determined at a later date in conjunction with all cooperating agencies, including the City of Menifee. The project developer shall construct full median improvements on perimeter roadways surrounding MENIFEE VALLEY RANCH through a reimbursement agreement with the City of Menifee providing for reimbursement of one-half of the median construction costs.

The City of Menifee General Plan Circulation Element, Exhibit C-3, Roadway Network, depicts existing and City-planned roads that run through the MENIFEE VALLEY RANCH project area. The General Plan designations for these roads and their proposed designation in MENIFEE VALLEY RANCH Specific Plan No. 301, Amendment No. 3 are presented in Table III.A-2, *Circulation Plan Roadways*.



MENIFEE VALLEY RANCH



\* R.O.W. width may vary, subject to final determination by Caltrans and Riverside County.

Figure No. III.A.3

MENIFEE VALLEY RANCH

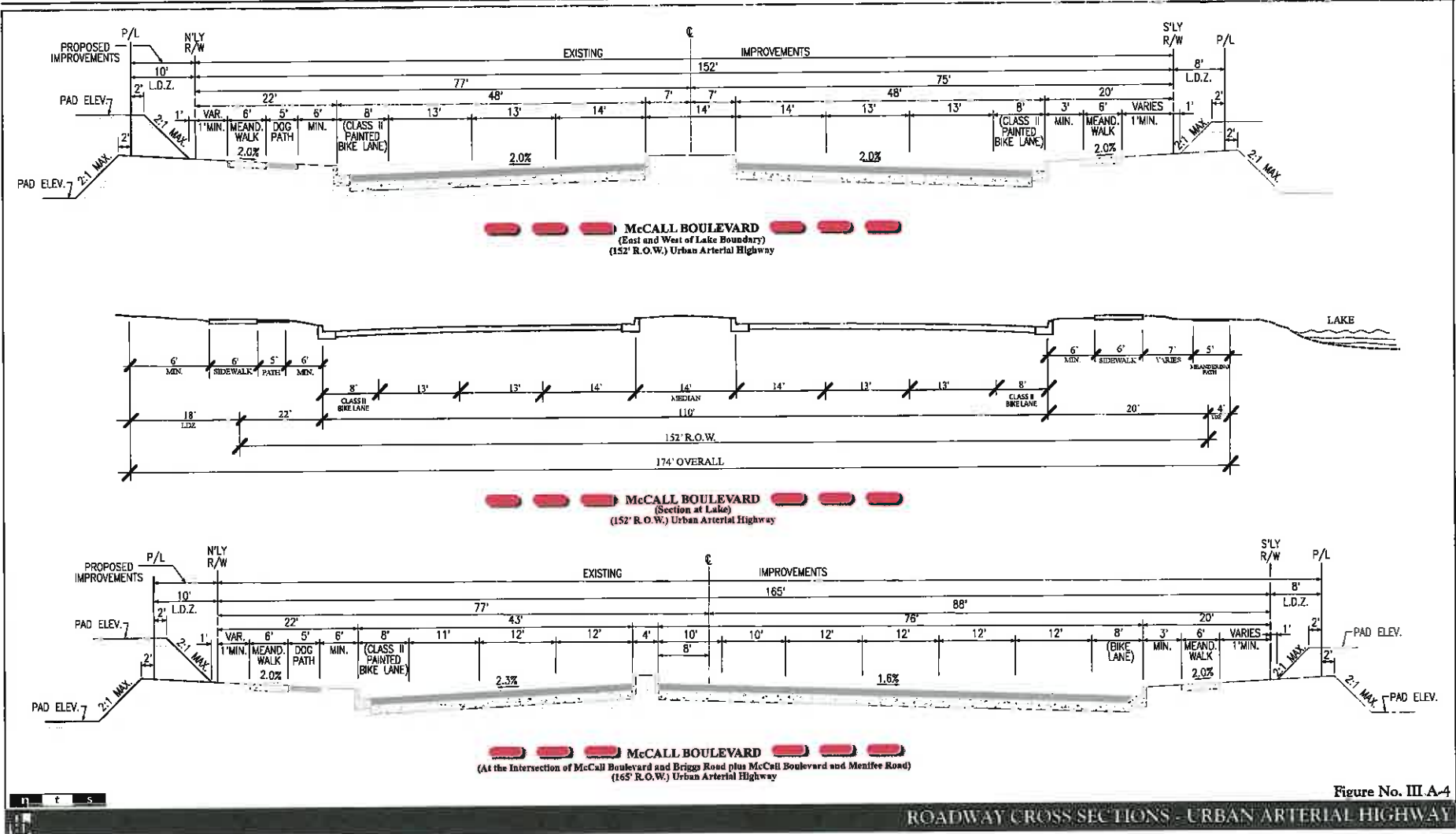


Figure No. III A-4

ROADWAY CROSS SECTIONS - URBAN ARTERIAL HIGHWAY



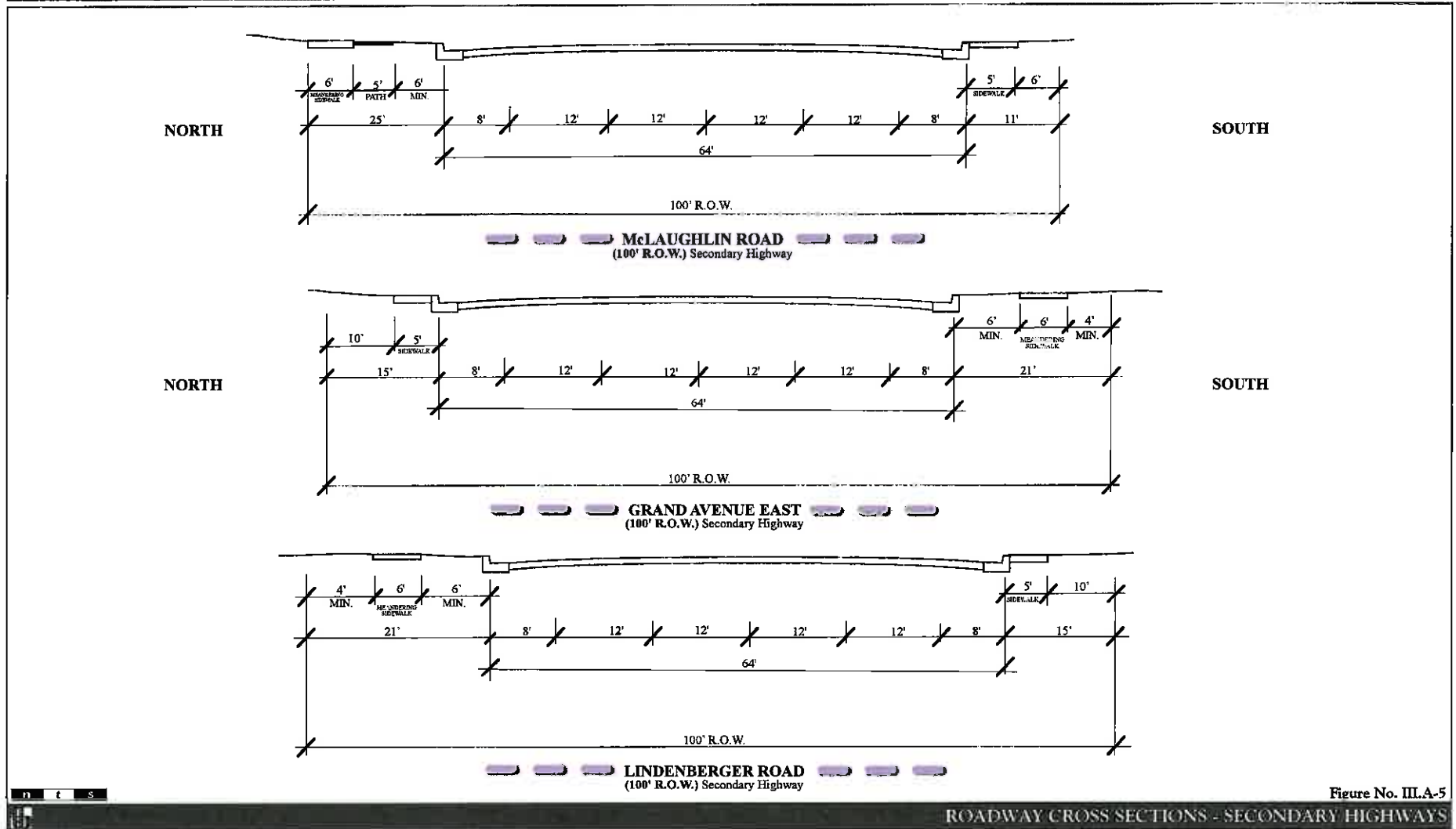


Figure No. III.A-5

ROADWAY CROSS SECTIONS - SECONDARY HIGHWAYS

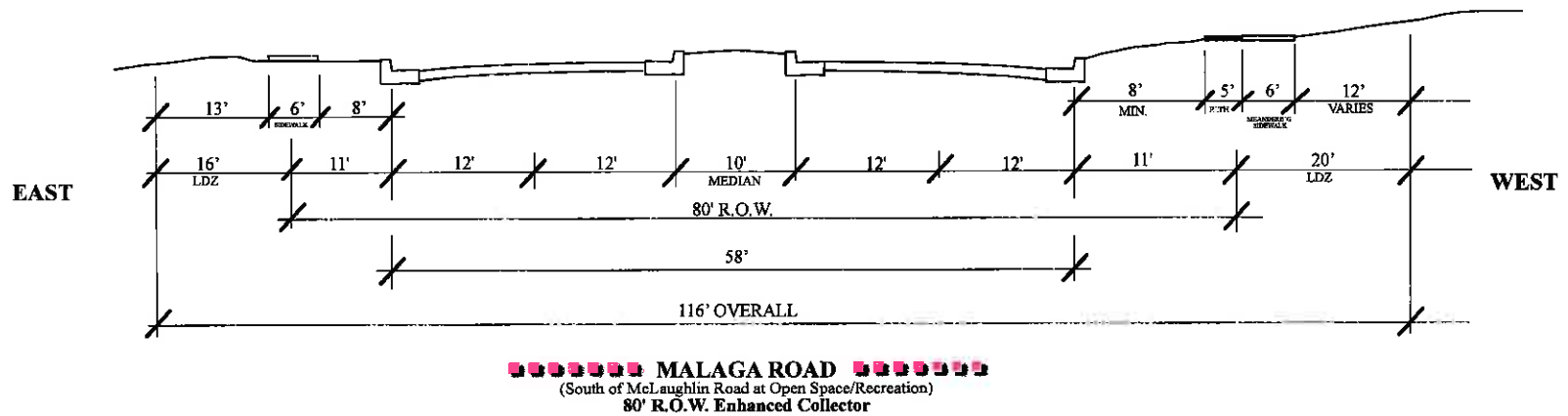
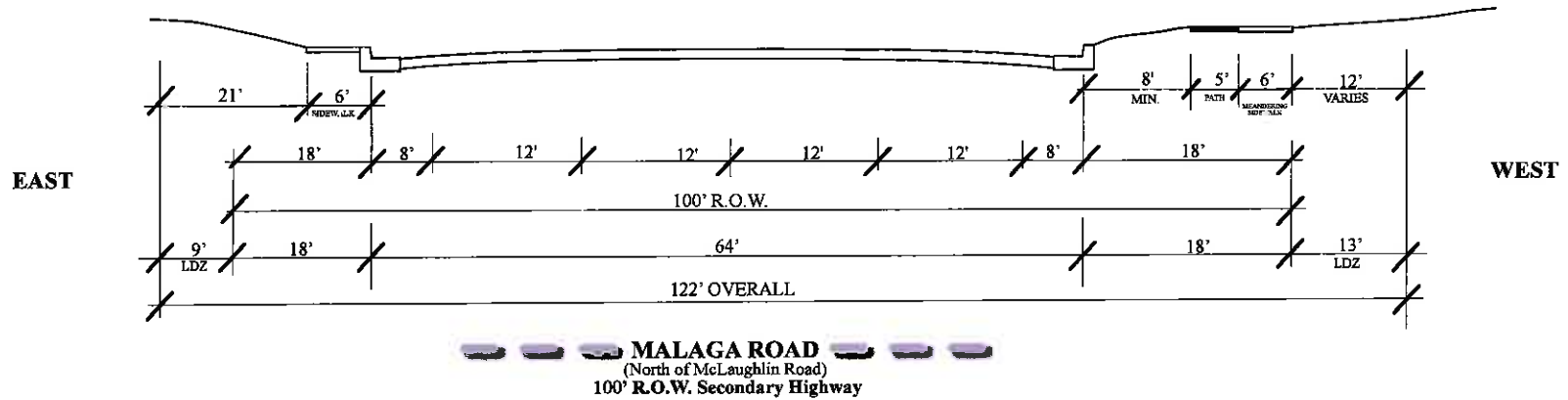


Figure No. III.A-6

ROADWAY CROSS SECTIONS - SECONDARY HIGHWAY ENHANCED COLLECTOR

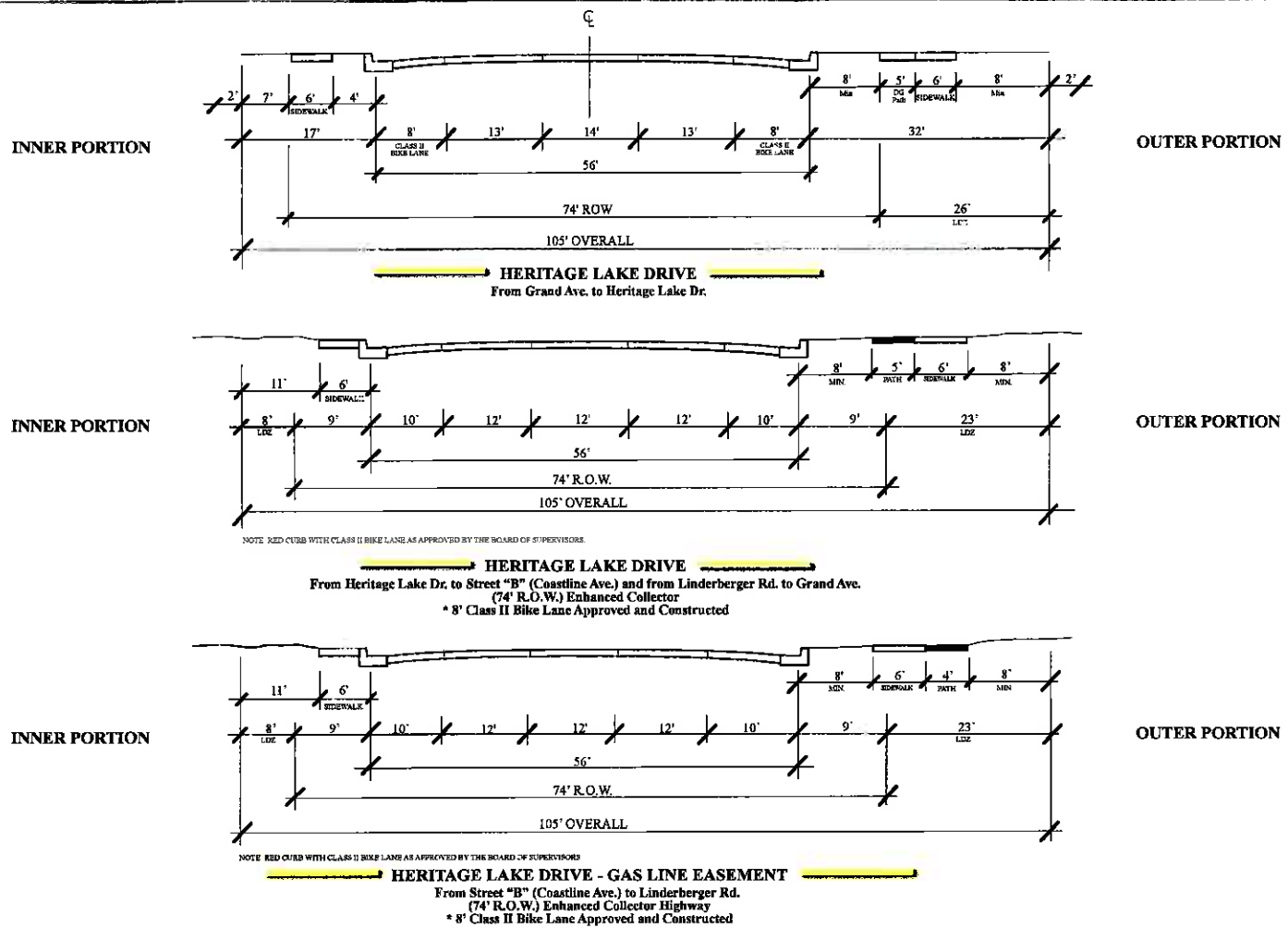


Figure No. III.A-7

ROADWAY CROSS SECTIONS - ENHANCED COLLECTOR

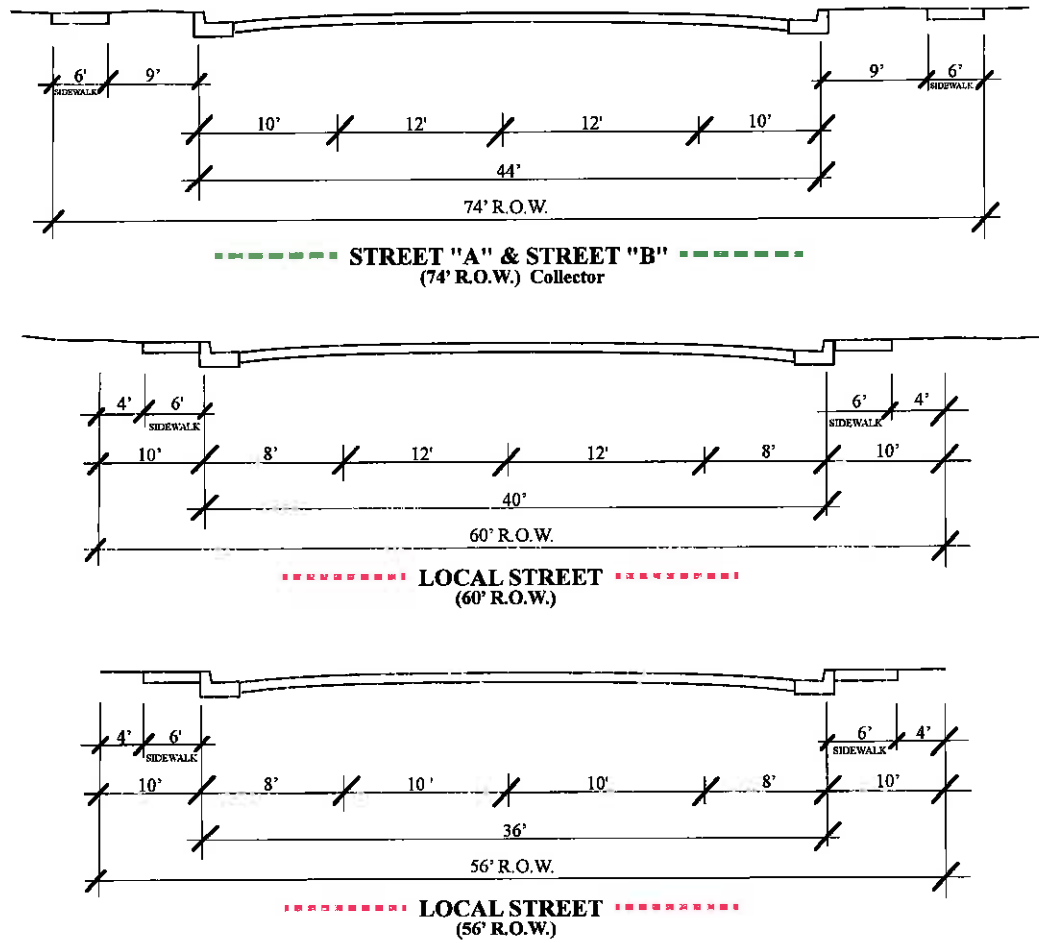


Figure No. III.A-8

ROADWAY CROSS SECTIONS - COLLECTOR LOCAL STREET

Proposed circulation improvements to be constructed as part of the MENIFEE VALLEY RANCH project include:

- State Route 74 (184 ft. R.O.W.) - half-width improvements from the west project boundary to Briggs Road. An additional 18' has been reserved for a future 220 ft R.O.W.
- Simpson Road (100 ft. R.O.W.) - half-width improvements from Menifee Road to Briggs Road
- Menifee Road (152 ft. R.O.W.) - half-width improvements from the north project boundary to ~~Simpson Road~~ McCall Boulevard
- Menifee Road (128 ft. R.O.W.) – half-width improvements from McCall Boulevard to Simpson Road
- Briggs Road (118 ft. R.O.W.) - half-width improvements from SR-74 to Simpson Road. At the Briggs Road/Simpson Road and Briggs Road/McCall Road intersections, additional right-of-way may also be needed to provide augment north-south capacity for cumulative future conditions.
- McCall Boulevard (152 ft. R.O.W.) - construct from Menifee Road to Briggs Road
- McCall Boulevard (165 ft. R.O.W.) – construct at the McCall Boulevard/Menifee Road and McCall Boulevard/Briggs Road intersections
- McLaughlin Road (100 ft. R.O.W.) - construct from Menifee Road to Briggs Road
- Lindenberger Road (100 ft. R.O.W.) - construct from Simpson Road to its terminus at Heritage Lake Drive
- Malaga Road (100 ft. R.O.W.) - construct from State Route 74 to McLaughlin Road
- Malaga Road (80 ft. R.O.W.) - construct portion south of McLaughlin Road as required
- Grand Avenue East (100 ft. R.O.W.) - construct from Briggs Road to Heritage Lake Drive
- Heritage Lake Drive (74 ft. R.O.W.) - construct entire street eastward from Menifee Road to McCall Boulevard
- Heritage Lake Drive (74 ft. R.O.W.) - construct entire street from western portion of McCall Boulevard south and west to Lindenberger Road, and then west and north to McCall Boulevard
- Street “B” (Coastline Avenue) (74 ft. R.O.W.) - construct these streets concurrent with adjacent development
- Local Street (60' R.O.W.) - construct all on-site local streets as necessary

**b. CIRCULATION PLAN DEVELOPMENT STANDARDS**

- (1) The Circulation Plan for the MENIFEE VALLEY RANCH Specific Plan, depicted on Figure III.A-2, Circulation Plan, has been derived from the Circulation Recommendations outlined in Appendix D, Traffic Analysis. The proposed Circulation Plan provides an efficient traffic design that meets the needs of the

project. The proposed, on-site roadway improvements will be phased in accordance with this plan.

- (2) On-site roads within MENIFEE VALLEY RANCH will be constructed a hierarchical roadway classification system as follows:
  - a) Expressway Corridor (Currently 184’R.O.W. Proposed 220’ R.O.W.)
  - b) Urban Arterial (152-foot R.O.W.)
  - c) Arterial (128-foot R.O.W.)
  - d) Major Highway (118-foot R.O.W.)
  - e) Secondary Highway (100-foot R.O.W.)
  - f) Enhanced Collector (74-foot to 80-foot R.O.W.)
  - g) Collector (74-foot R.O.W.)
  - h) Local (60-foot R.O.W.)
- (3) Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section. Specific Plan Schedule I Parcel Maps shall design the street system shown thereon.
- (4) Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in subsequent traffic studies for each individual project.
- (5) All roadways intersecting four-lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with the City of Menifee General Plan and Engineering Standard Details from the four-lane facility to the nearest intersection.
- (6) All typical sections shall be per City of Menifee General Plan and Engineering Standard Details, or as approved by the City Engineer.
- (7) All intersection spacing and/or access openings shall be per City of Menifee General Plan and Engineering Standard Details, or as approved by the City Engineer.

**Table III.A-2 – Proposed Changes to City General Plan Roadways**

ROADWAY NAME	GENERAL PLAN CIRCULATION ELEMENT CLASSIFICATION	MENIFEE VALLEY RANCH – SPECIFIC PLAN NO. 301 AMENDMENT NO. 3 PROPOSED CLASSIFICATION
State Route 74 (Between Palomar Road and Briggs Road)	Expressway - 216' ROW	Expressway Corridor (8 lanes) – Current 184’ ROW. Proposed 220’ ROW.
Menifee Road (Between State Route 74 and McCall Boulevard)	Urban Arterial Highway - 152' ROW	Urban Arterial Highway - 152' ROW
Menifee Road (Between McCall Boulevard and Simpson Road)	Arterial Highway - 128' ROW	Arterial Highway - 128' ROW
McCall Boulevard (Chambers Avenue) (from Menifee Road to Briggs Road)	Urban Arterial Highway (152’ ROW)	Urban Arterial Highway – 152’ R.O.W.
McLaughlin Road (Menifee Road to	Collector/Interconnected Local Road	Secondary Highway - 100' ROW

Briggs Road)	(74' ROW)	
Lindenberger Road (from Heritage Lake Drive to Simpson Road)	Collector/Interconnected Local Road - <del>100'</del> 74' ROW	Secondary Highway - 100' ROW
Malaga Road (from State Route 74 to McLaughlin Road )	Collector/Interconnected Local Road - 100' ROW	Secondary Highway - 100' ROW
<u>Grand Avenue East</u>	<u>Collector/Interconnected Lane – 74' ROW</u>	<u>Secondary Highway – 100' ROW</u>
Matthews Road (from Menifee Road to Briggs Road)	Not a General Plan road	Not a Specific Plan Road

- (8) No textured pavement accents will be allowed within the City right-of-way.
- (9) All projects, including subdivisions within the specific plan boundary, shall be subject to the Development Monitoring Program as described in Section II of this Specific Plan.
- (10) Mid-block crosswalks are not allowed.
- (11) Driveways/access points - No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Public Works/Engineering Department standard access spacing, depending upon the street's classification.
- (12) Drainage - This Specific Plan proposes no facilities to be maintained, with the exception of facilities within the road right-of way, by the City of Menifee. Therefore, all facilities other than facilities to be constructed in the road right-of-way will be private or Flood Control District facilities or the responsibility of a maintenance entity acceptable to the City of Menifee.
- (13) School/Parks - The City Engineer's policy regarding streets adjacent to school and park sites requires a minimum of 66-foot right-of-way (Standard 103).
- (14) Any landscaping within public road rights-of-way will require approval by the City Engineer and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the Public Works/Engineering Department. Landscaping within parkways is indicated as landscape development zones (LDZ's) on Figures III.A-3 through III.A-8, Roadway Cross Sections.
- (15) All bike lanes developed as part of this Specific Plan should be designated as Class II bikeways, located within roadway rights-of-way in accordance with the standards contained within Chapter 1000 of the most recent version of the California Department of Transportation - Highway Design Manual.
- (16) Heavy through-traffic volumes shall be eliminated from residential neighborhoods. Major roadways shall be constructed as limited-access roadways. Residential neighborhoods shall be served by smaller residential roadways.
- (17) Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, Design Guidelines.
- (18) Major roadway improvements may be financed through an assessment district, community facilities district, or similar financing mechanism.
- (19) All areas of MENIFEE VALLEY RANCH shall be required to participate in benefit district and/or other fee programs to implement General Plan roadway segments.

- (20) All roads within the Specific Plan project boundary shall be constructed to appropriate City full or half-width standards in accordance with Ordinance Nos. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan, subject to approval by the City Engineer.
- (21) The project proponent shall participate in the applicable Traffic Signal Mitigation Program as approved by the City of Menifee.
- (22) The project shall comply with the conditions and requirements set forth by the City's Public Works/Engineering Department.
- (23) SR-74 is identified as a corridor along the project frontage on the Draft Alternatives Development Report for Hemet to Corona/Lake Elsinore Corridor for the CETAP process. In the event that this corridor is adopted as a CETAP corridor, this project shall set aside the necessary right-of-way to accommodate a 300-foot corridor (without frontage roads), or a 400-foot corridor (with frontage roads), or a transit corridor as determined by the final adopted CETAP corridor, and, if necessary, redesign the Specific Plan accordingly. In the interim, no permanent construction shall be allowed in the area of the potential CETAP corridors along SR-74, as well as along segments of Briggs Road and Mathews Road, until a final decision is made with respect to corridor adoption, or until three years after approval of the Specific Plan, whichever is earlier. Figure III.A-2, Circulation Plan, depicts conceptual alignments of the proposed CETAP corridors on-site.
- (24) Traffic impact study reports shall be required with submittal of tentative tract maps or plot plans as required by the City of Menifee. The required format for reach report shall be determined by the City of Menifee, and shall include an evaluation of peak hour conditions at intersections significantly impacted by each phase of development. If an impacted intersection is estimated to exceed City service level standards, then appropriate link and intersection improvements shall be required to be presented for City staff review.
- (25) The improvements needed to maintain the City service level standards shall be required to be in place or fully funded and scheduled for construction prior to occupancy of the relevant development phase.
- (26) Curvilinear streets are required in the interiors of subdivisions where parcels of land lend themselves to curvilinear street design.
- (27) The use of short cul-de-sac streets is strongly encouraged in order to create a small neighborhood feeling for residents. However, no cul-de-sacs streets shorter than 150 feet measured to center of bulb are allowed. Also, no cul-de-sac streets longer than 1,320 feet shall be permitted.
- (28) "Tee" intersections are a preferred design alternative to "four-way" intersections wherever two local streets or a collector and a local street intersect.
- (29) Corner cutbacks shall be included at all intersections of roads classified as Secondary Highway or higher with all designated tract entrances. A minimum curb return radius of 35 feet shall be provided at these intersections.



#### 4. OPEN SPACE AND RECREATION PLAN

##### a. Open Space and Recreation Plan Description

An important element of the MENIFEE VALLEY RANCH Specific Plan Amendment is the Open Space and Recreation Plan. The plan provides a variety of recreational opportunities which all residents of the MENIFEE VALLEY RANCH community may enjoy. The project proposes areas for active and passive recreational opportunities, including 151.0 acres of open space/recreation (includes a community clubhouse), a Private Recreation Center, five neighborhood parks, two community parks, a lake, with private swim club/lake parking facility, detention areas, landscaped greenbelts, paseos and open space. In all, 380.7 acres (or 24 percent) of the project site have been set aside for open space and recreational uses.

The overall Open Space and Recreation Plan concept is illustrated on Figure III.A-9, *Open Space and Recreation Plan*. The elements and acreage of the program are further identified in Table III.A-3, *Open Space and Recreation Plan Summary*. Descriptions of each of the open space and recreation elements for MENIFEE VALLEY RANCH follow.

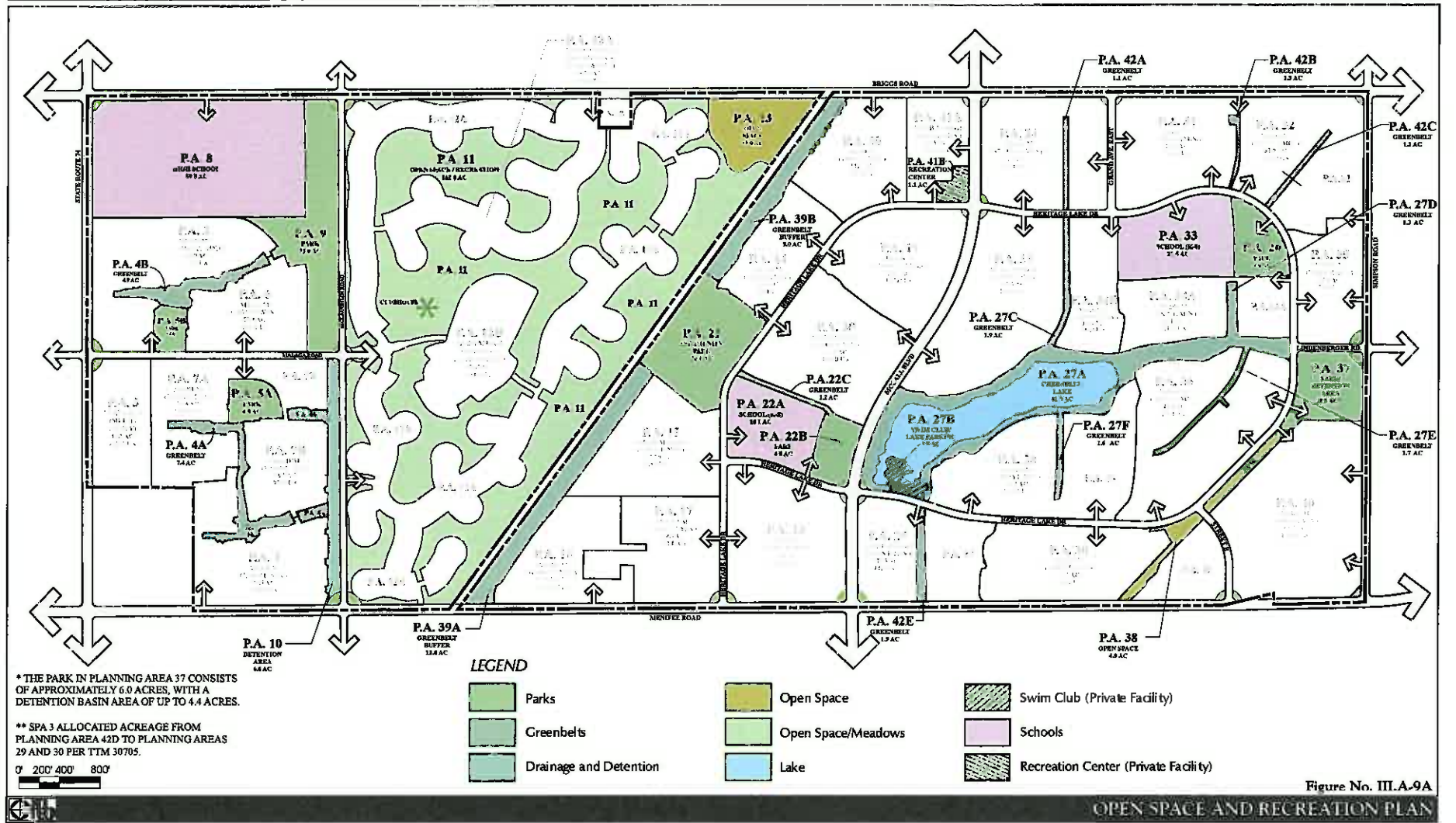
##### (1) Community and Neighborhood Parks

Typically, the County requires 3.0 acres of parkland for each 1,000 residents to satisfy Quimby Act standards, as expressed in Ordinance No. 460, Section 10.35. The required parkland for MENIFEE VALLEY RANCH is calculated as follows. Using a population factor of 3.01 persons per single-family dwelling unit (which is derived from the County's Ordinance No. 460, Section 10.35) and 1.94 persons per active/adult senior housing unit, the 4,407 dwelling units proposed for MENIFEE VALLEY RANCH would generate a population of 13,265 residents. At 3.0 acres of parkland per 1,000 residents, MENIFEE VALLEY RANCH would be required to provide 39.8 acres of active use park land. MENIFEE VALLEY RANCH significantly exceeds this standard by providing a total of 75.2 acres of parkland, consisting of 43.1 acres of community parks and 32.1 acres of neighborhood park uses. At the discretion of the school district(s), recreation facilities adjacent to parks also may be available for community use during non-school hours, which would increase the amount of recreational facilities available to project residents.

In addition to these required areas, the project also provides another 305.5 acres of land devoted to open space/recreation (includes a community clubhouse), a Private Recreation Center, a lake, open space, detention areas, greenbelts and roadway paseos, and private swim club/lake parking facility, all of which provide active and passive recreational opportunities.

Five neighborhood parks, two community parks and a swim club, totaling 78.7 acres are provided for Planning Areas 5A, 5B, 9, 21, 22B, 26, 27B, and 37. The parks offer a variety of active and passive recreational opportunities. For Planning Areas 5A and 5B, neighborhood parks are provided consisting of 4.9 and 3.3 acres, respectively. For Planning Area 9, a 23.0-acre community park is provided, adjacent to the high school in Planning Area 8. For Planning Area 21, a 20.1-acre community park feature is provided adjacent to the K-8 school in Planning Area 22A and greenbelt

MENIFEE VALLEY RANCH



buffer zones. For Planning Area 22B, a 4.8-acre park is provided, adjacent to the K-8 school in Planning Area 22A. For Planning Area 26, a 7.6-acre park is provided, adjacent to the K-8 school in Planning Area 33. For Planning Area 27B, a 3.5-acre swim club and lake parking area is provided adjacent to Heritage Lake Park. For Planning Area 37, a 7.1-acre park is provided along with a 4.4-acre detention area. Lastly, for Planning Area 41B, a 1.1-acre Private Recreation Center is provided.

**Table III.A-3 – Open Space and Recreation Plan Summary**

LAND USE		PLANNING AREAS	ACREAGE
Parks	Neighborhood Park	5A	4.9
	Neighborhood Park	5B	3.3
	Neighborhood Park	22B	4.8
	Neighborhood Park	26	7.6
	Neighborhood Park	37	11.5
			(w/ 4.4-acre detention area)
	Community Park	9	23.0
	Community Park	21	20.1
<b>Parks Subtotal</b>		---	75.2
<b>Private Swim Club/Lake Parking</b>		27B	3.5
<b>Private Recreation Center</b>		41B	1.1
Open Space	Open Space/Recreation	11	151.0
	Natural Open Space	13, 38	16.9
	Greenbelts/Lake	27A	41.8
	Greenbelts	4A, 4B, 22C, 27C, 27D, 27E, 27F, 39A, 39B, 42A, 42B, 42C, 42D, 42E	46.6
	Roadway Paseos	---	38.0
	Drainage or Detention Areas	10, 37	6.6*
<b>Open Space Subtotal</b>		---	307.0
<b>TOTAL</b>			<b>390.7</b>

\* Excludes Detention Area acreage which has been included as a part of Planning Area 37 Neighborhood Park acreage.

Preliminary designs have been prepared for each park based on Valleywide Recreation and Park District criteria and input. Each park has been designed to maximize the efficiency of organized sport league management by focusing, as feasible, on a particular sport. Specific specialty sports provided for in the parks may include soccer/football fields, baseball/softball fields, and roller hockey. Basketball or volleyball leagues would be best accommodated on the middle school or high school sites due to the typically large number of courts available. All the parks are discussed in detail in Section IV, *Design Guidelines*.

Exact amenities for the parks will be determined by Valleywide Recreation and Park District, City of Menifee or other similar public or private entity at the time subdivision maps are proposed. The parks should include facilities such as:

- Sand volleyball courts
- Picnic Facilities
- Basketball courts
- On-site parking

- Tot lots
- Night sports lighting (community sports park only)
- Restrooms (community sports park only)
- Shade tree plantings and rolling turf areas

Either the Master Developer will built the parks according to the phasing program identified in Table III.A-5, *Public Facilities Phasing*, in lieu of paying park fees, or the Master Developer will pay the required park fees to Valleywide Recreation and Park District, the City of Menifee, or other public entity will build the parks.

**(2) Open Space**

A total of 300.9 acres is proposed as open space within MENIFEE VALLEY RANCH. Open space areas are classified as open space, open space/meadows, greenbelts/lake, detention areas, and roadway paseos.

**a) Open Space** - Planning Areas 13 and 38, totaling 16.9 acres, are planned to be left in natural open space. Planning Area 38 encompasses the gas line easement in the southwest corner of MENIFEE VALLEY RANCH, which traverses Planning Area 38.

**b) Open Space/Recreation** - Planning Area 11 will be comprised of 151.0 acres of open space/recreation (includes a community clubhouse). The proposed open space uses will serve the passive and active recreational needs of the senior housing provided in Planning Areas 12A and 12B. Proposed amenities for the open space/meadows may include:

- Community Clubhouse w/ pool and spa
- Basketball courts
- Tennis courts
- Gathering spaces
- Shade tree plantings and rolling turf areas
- Picnic and barbecue facilities
- Walking and hiking trails
- Lakes and ponds
- Restrooms

**c) Greenbelts/Lake** - Planning Areas 4A, 4B, 22C, 27A, 27C-F, 39A, 39B, 42A-C, and 42E will comprise a total of 88.4 acres of lake and greenbelts. A 22.6-acre lake will be located within planning area 27A. The lake will be centrally located to the residential neighborhoods within the southern portion of MENIFEE VALLEY RANCH, and will provide an attractive visual, recreational and environmental element for the community. Parkland surrounding the lake will provide for picnicking, public gathering, and other passive recreational opportunities. The pedestrian path surrounding the lake will connect to the greenbelt system and to the pedestrian path system serving the residential neighborhoods. The greenbelts will link with the parks

in Planning Areas 21, 22B and 37. The lake and greenbelt system will serve a dual use as a centralized amenity and as a flood retention and detention area.

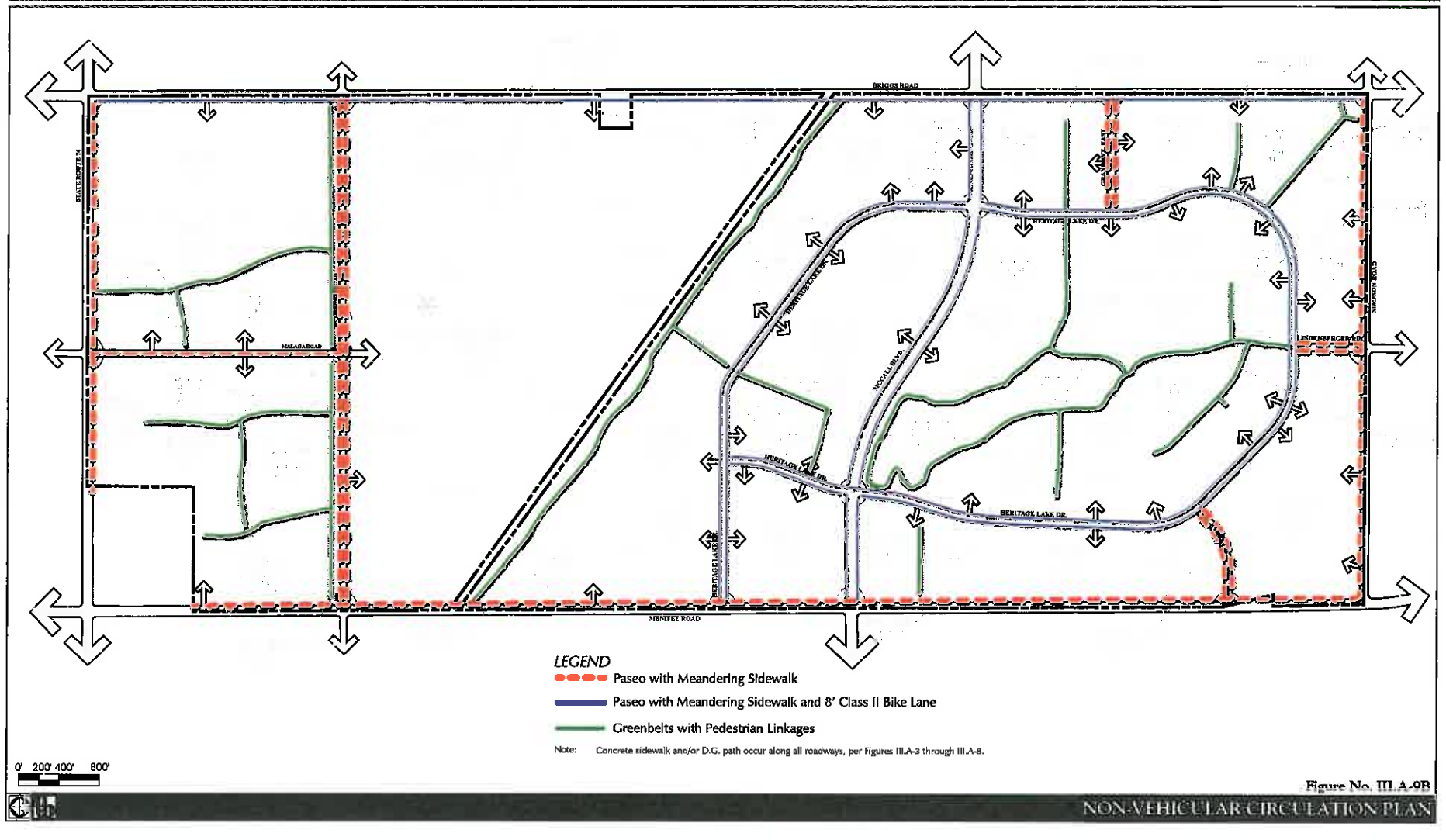
**d) Drainage and Detention Areas** - Areas for conveying or detaining drainage will occupy 6.6 acres and will be located within Planning Area 10. The 11.5-acre Neighborhood Park located in Planning Area 37 will also include a 4.4-acre detention area.

**e) Roadway Paseos** - Expanded parkways will provide generous landscape setbacks and pedestrian walkways along community roadways. Approximately 38.0 acres of parkways are planned for the MENIFEE VALLEY RANCH community. The acreage of the parkways has been excluded in the acreage of the planning areas that are adjacent to the roadways. These areas, when they occur, are referred to as Landscape Development Zones (LDZ's) within Section IV, *Design Guidelines*.

**f) Non-Vehicular Circulation** - MENIFEE VALLEY RANCH will include an integrated system of off-street pedestrian paths that will encourage non-vehicular circulation throughout the Specific Plan area. The paths will provide pedestrian connections between the residential portions of the project and the on-site schools, the community park, the neighborhood parks, the lake, and the various greenbelts. In addition, 8' wide Class II bike lanes are planned on McCall Boulevard, Briggs Road, Heritage Lake Drive, Grand Avenue East and Grand Avenue West, and Lindenberger Road. The off-street pedestrian trails and Class II bike lanes are depicted on Figure IV-9B, Non-Vehicular Circulation Plan.

**b. Open Space and Recreation Plan Development Standards**

- (1) All property within the MENIFEE VALLEY RANCH Specific Plan Amendment area is located within the City of Menifee and Valleywide Recreation and Park District.
- (2) The community park and all neighborhood parks within MENIFEE VALLEY RANCH shall be owned and maintained for the benefit of all residents within the community. Ownership and maintenance of all recreational facilities will be the responsibility of a Master Homeowners' Association, the Valleywide Recreation and Park District, City of Menifee or a similar mechanism. The maintenance mechanism shall be selected at the time that the implementing development application is submitted.
- (3) All parks within MENIFEE VALLEY RANCH shall be developed by the Master Developer or a merchant builder.
- (4) All recreational facilities will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- (5) All recreational facilities will provide parking in accordance with City of Menifee and Valleywide Recreation and Park District standards.
- (6) Landscaping within recreation and open space areas will be further governed by both the Landscaping Plan, Section III.A-9, and the Design Guidelines, Section IV of this Specific Plan Amendment.
- (7) The project is subject to fees for neighborhood and community park facilities, in accordance with the City's and/or local park districts implementation of the State's



Quimby Act (Chapter 9.569.55 of the City Municipal Code). These fees shall be paid for each dwelling unit constructed within the Specific Plan. Credit against these fees shall be granted by the relevant entity for all public park land and improvements provided by the developer.

- (8) Development applications which incorporate common areas shall be reviewed with conceptual design plans for the common area. Such plans shall specify the location and extent of landscaping, structures, and circulation (vehicular or pedestrian), and shall indicate areas that will be irrigated.

## 5. DRAINAGE PLAN

### a. Drainage Plan Description

The MENIFEE VALLEY RANCH Specific Plan Amendment project site lies within the boundaries of the Riverside County Flood Control and Water Conservation District (RCFCD), and is subject to drainage fees. The RCFCD fee drainage areas that encompass the site include the: Homeland/Romoland Area Drainage Plan, Salt Creek Channel Area Drainage Plan, and the proposed Winchester/West Winchester Area Drainage Plan, as shown on Figure III.A-10, *Regional Drainage Plan*.

#### (1) Existing Conditions

Drainage for the northern portion of the undeveloped project site flows toward the west, while drainage for the southern portion flows toward the south. The southern portion of the site accepts drainage from the area to the west and northeast. The undeveloped runoff (Q) coming into this portion of the site enters in a sheet flow manner. In the northern portion, the existing flows coming into the site from the east enter in a sheet-flow manner and are approximated by the Master Drainage Plan volume (Q) of 3,810 cfs. The developed runoff, as approximated by the District, is 3,930 cfs at the westerly boundary of the property at the main proposed drainage device called Line "A." Beyond the westerly boundary of the project, the flows continue to travel westerly toward the I-215 freeway. Approximately 2,000 feet downstream of Menifee Road at proposed Line "A" there exists a small train trestle under which the runoff must flow. Existing runoff projected for this area are approximately 4,510 cfs.

#### (2) Proposed Improvements

The project's drainage plan solutions will differ somewhat from RCFCD's proposed Master Drainage Plan. Once approved, these changes will be reflected in the amended Area Drainage Plan. The area southerly of Line "A" and northerly of the Burlington Northern Santa Fe (BNSF) Railroad tracks will drain generally to Line "A". Minor detention basins will be designed into the golf course as a means of detaining flows before joining Line "A". The remaining area southerly of the BNSF Railroad tracks will drain into a large lake, serving as a retention/detention basin. Water elevations in the lake will be controlled by the use of a low-flow outlet channel that will drain from the lake southerly to the intersection of Simpson Road and Lindenberger Road.

Current RCFCD regulations require that the rate of storm runoff to adjacent properties not be increased as a result of development. As development occurs, the construction of roadways, parking facilities and structures increases the amount of impervious surfaces within the project preventing rainfall from natural percolation into native soils. By conveying flows in roadbeds and pipelines, the time of conveyance of the flow is shortened as compared to flow in natural watercourses. The result of these two occurrences is an increase in the rate of the storm runoff that discharges at the project limits. This difference in the rate of runoff must therefore be managed on-site through the use of detention basins which will be designed to accept the increased flow and discharge only the rate of flow prior to development at all locations discharging from the project. The drainage system is designed to utilize the natural drainage patterns and courses to the maximum extent possible, while providing required erosion control and 100-year flood protection. The open space system for the project has been designed to provide detention areas that will be used to reduce run-off resulting from development of the site to pre-development levels where drainage leaves the project site. The plan has been designed to minimize drainage diversions. No diversion or alteration of drainage patterns is contemplated in conjunction with project development. The proposed on-site lake will provide both retention and detention, with an additional retention basin found adjacent to the project boundaries at Briggs Road, south of Highway 74. The construction cost of this additional basin would be covered by the overall CFD, with the maintenance provided by the Riverside County Flood Control District.

The final size and location of all the required drainage systems will ultimately be determined at the tract map stage of development, per the requirements of the City of Menifee and RCFCD. The pipe sizes noted on Figure III.A-11, *Master Drainage Plan* are based upon a preliminary hydrologic analysis and are therefore preliminary and for use in development planning only. The northern portion and the southeast corner of the project site are located within a Federal Emergency Management Agency (FEMA) Zone A flood hazard designation, which denotes areas of 100-year flood, base flood elevations and flood hazard factors not determined. Other than this natural flooding condition, there are no dams, rivers, creeks or washes which directly affect the MENIFEE VALLEY RANCH site.

**b. Drainage Plan Development Standards**

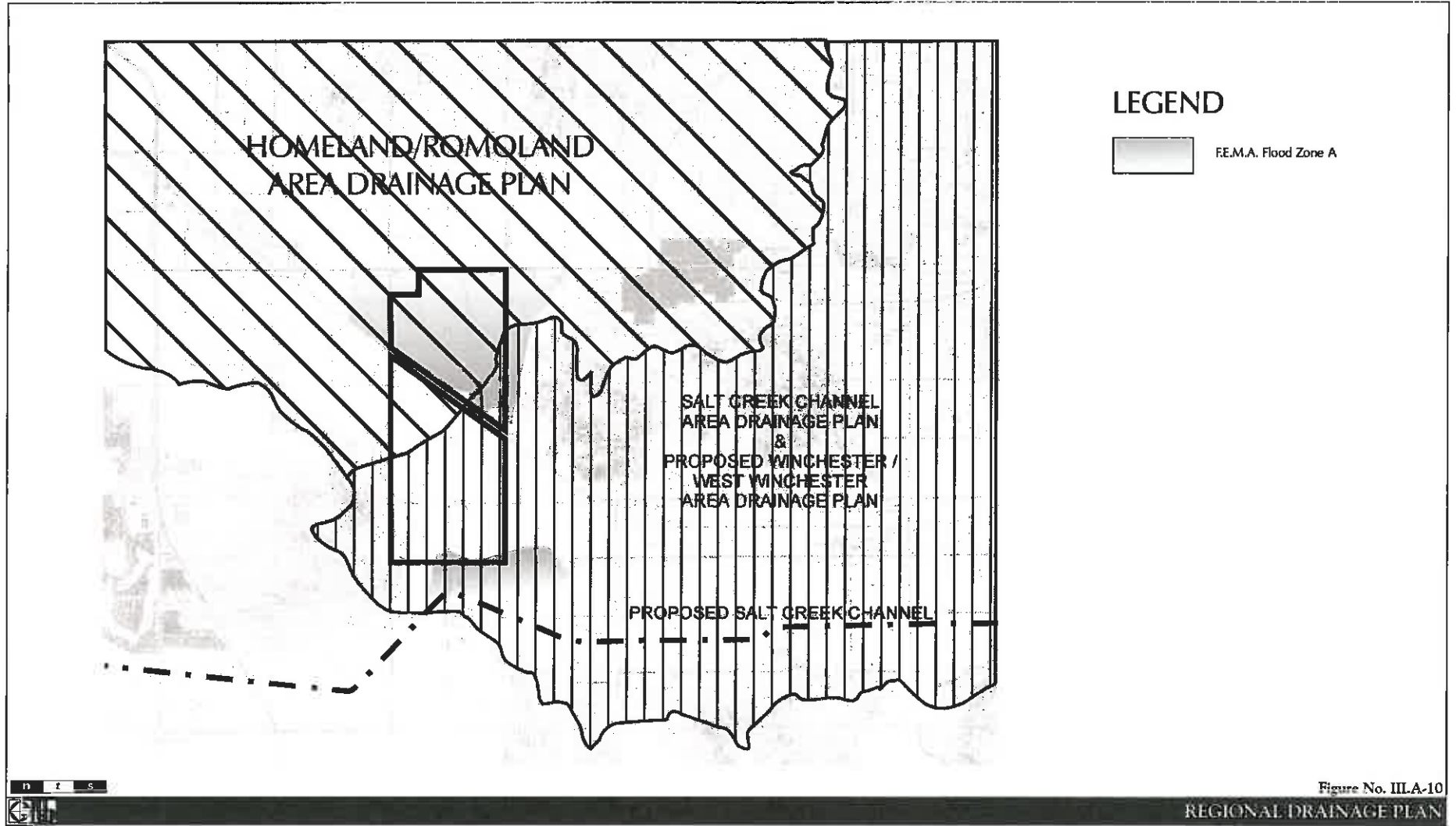
(1) Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance with RCFCD and City of Menifee requirements.

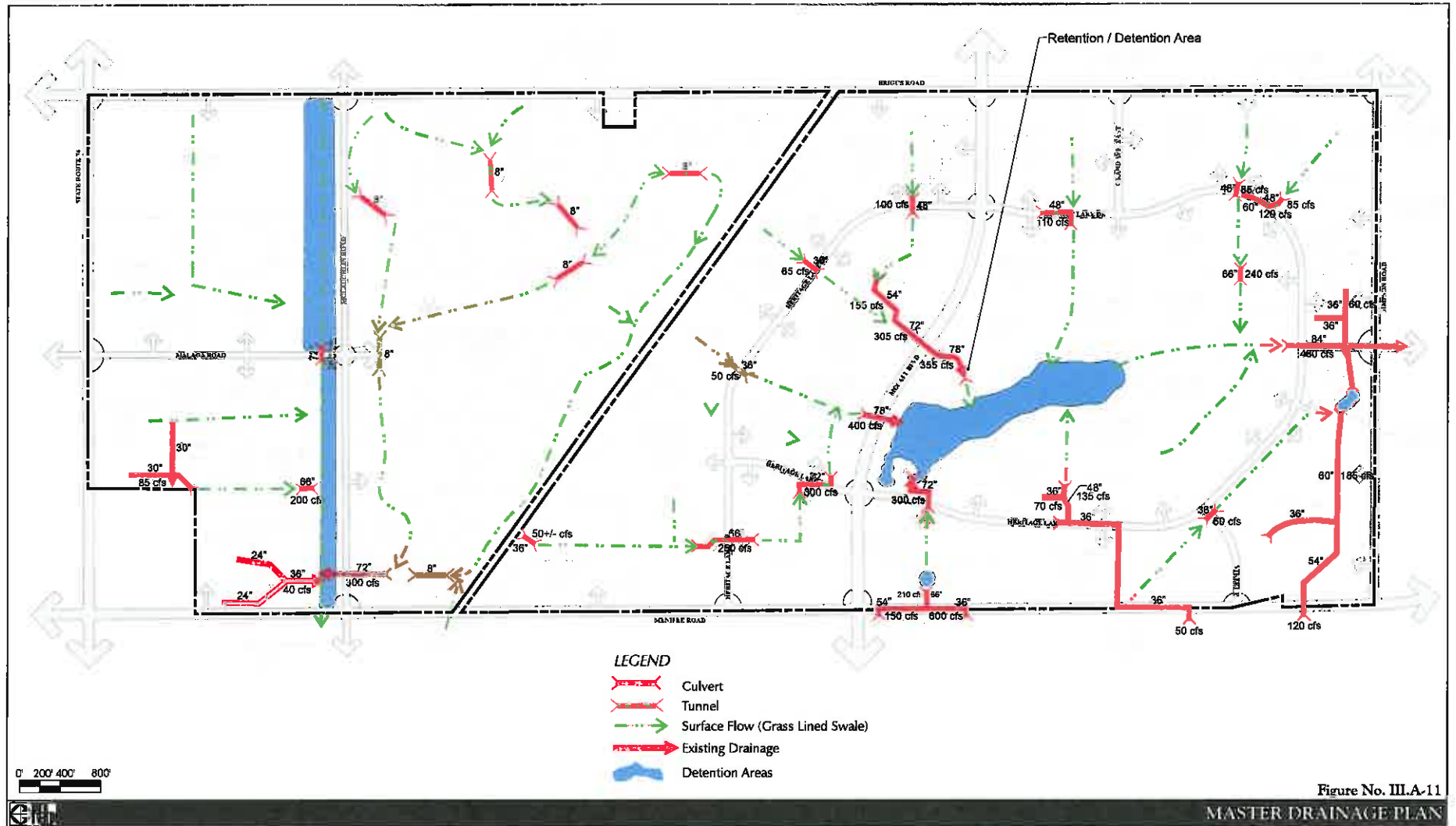
(2) Facilities 39" or larger in diameter to be constructed in road rights-of-way and drainage easements will be maintained by the RCFCD or the Riverside County Transportation. Facilities 36" and smaller to minimum size 18" to be constructed in road rights-of-way and drainage easements will be maintained by the City of Menifee. Local drainage devices not located in roadway right-of-ways will be maintained by a Master Homeowners' Association, the City of Menifee, Valley Wide Recreation and Park District, or the RCFCD. Maintenance responsibilities for local drainage facilities will be determined upon filing of individual tract maps.

(3) All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least five acres of total land area, or activity which is



part of a larger common plan of development of five acres or greater shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but not be limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; monitoring programs; etc.





## 6. WATER, RECLAIMED WATER, AND SEWER PLANS

MENIFEE VALLEY RANCH is within the Eastern Municipal Water District's (EMWD) service area for water, reclaimed water, and sewer.

### a. Water Plan Description

EMWD will be the primary provider of domestic water through build-out of MENIFEE VALLEY RANCH. The existing domestic waterlines, shown on Figure III.A-12, *Master Water Plan*, are owned and operated in accordance with EMWD's Regional Facilities Plan dated 1990.

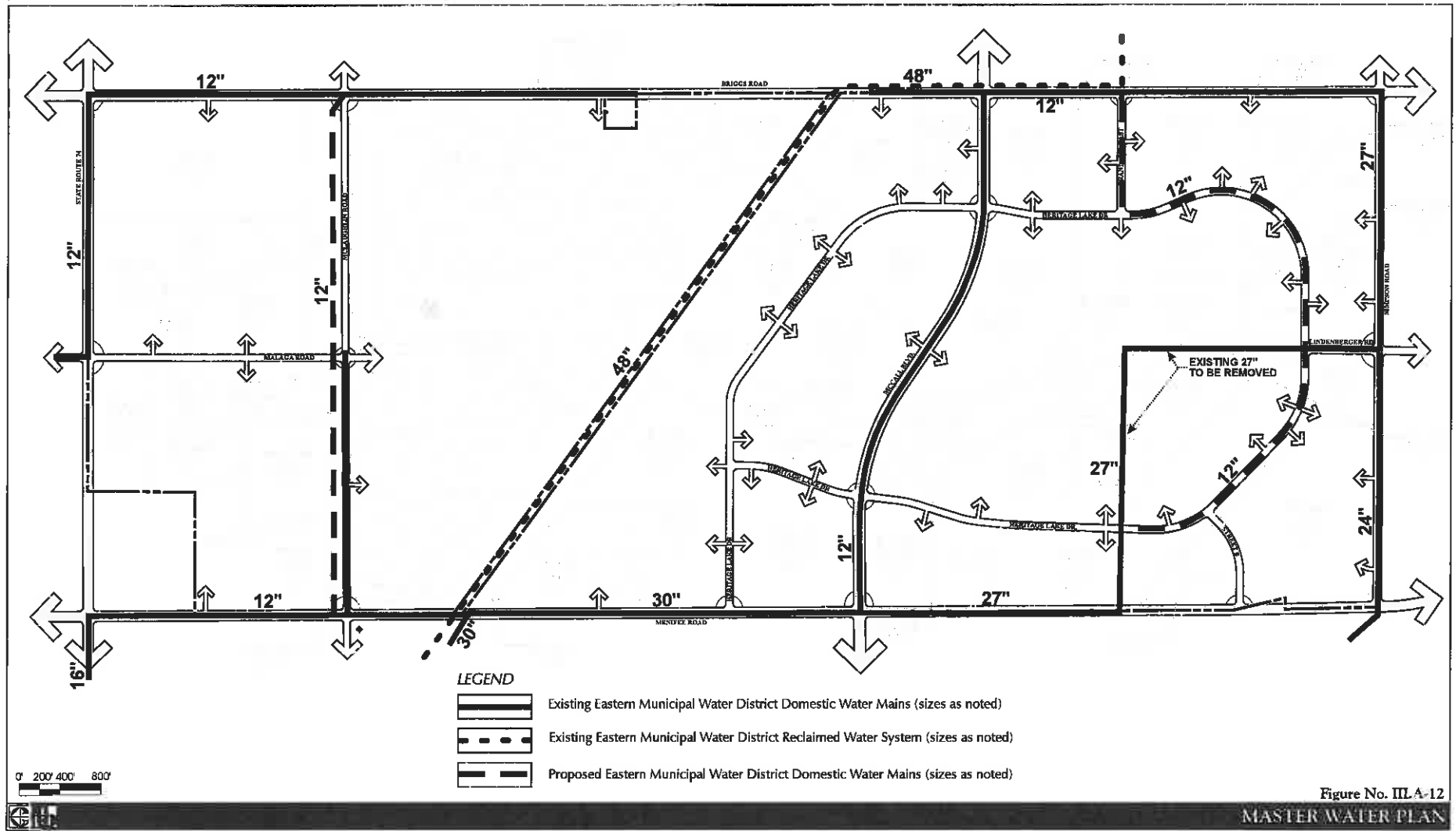
The project falls within two water pressure zones established by EMWD: the 1627 Pressure Zone which encompasses MENIFEE VALLEY RANCH south of Matthews Road, and the 1693 Ellis Pressure Zone which encompasses MENIFEE VALLEY RANCH north of Matthews Road. The 1627 Perris Valley Pressure Zone is served by the Menifee Village reservoir, which consists of a five-million gallon tank located west of Menifee Road at Simpson Road. The Menifee Village reservoir will be able to provide primary both domestic and fire protection service throughout this zone. The 1693 Pressure Zone is presently being supplied from other zones. At this time, the 1693 Ellis Pressure Zone has no reserve storage capacity. The 1693 Pressure Zone will be raised to a 1719 high water level when a new storage reservoir is constructed.

Several existing EMWD water lines are present within and adjacent to the project site, as shown on Figure III.A-12, *Master Water Plan*. Existing EMWD water lines include: 30", 27", and 12" mains in Menifee Road; a 27" main in Lindenberger Road; 27" and 24" mains in Simpson Road; a 12" main in McCall Boulevard; 16" and 12" mains in State Highway 74; and 12" mains in Briggs Road, McLaughlin Road and Malaga Road.

The proposed on-site lines, shown on Figure III.A-12, *Master Water Plan*, include: a 12" main in Grand Avenue at Briggs Road which connects to a 12" main through the southern portions of Heritage Lake Drive and Heritage Lake Drive to the existing 27" main in the western half of Grand Avenue, and realignment of the 12" main in McCall Boulevard. The average annual domestic water demand for the proposed project is estimated to be approximately 2,401,380 gallons per day (mgd).

### b. Reclaimed Water Plan Description

The Perris Valley Regional Water Reclamation Facility (P.V.R.W.R.F.), located east of I-215 in the community of Romoland, is the closest existing source of reclaimed water to the subject site. Existing reclaimed water lines, shown on Figure III.A-12, *Master Water Plan*, include: a 48" line from Matthews Road (off site) to Briggs Road, then south to Grand Avenue. The line in Matthews Road is currently used to transport reclaimed water from various treatment facilities in the area to EMWD ponds. The water in this line has already been tertiary treated. EMWD's current policy for the requirement of using reclaimed water on-site is that any project with a golf course, would require reclaimed water for the irrigation system. Pipelines will need to be built from existing pipelines to the irrigation areas. The amount of recycled water available to the subject property will be determined as the project nears development and prior to service. Estimates of potential irrigation demands will be used to size the needed pipelines to plan for the supply of recycled water. The design and construction of off-site and on-site reclaimed water system improvements will be necessary in order to accomplish the delivery of reclaimed water to the project. The actual sizes and location of these lines will be determined at the tract map stage of development in conjunction with EMWD's requirements.



**c. Sewer Plan Description**

On- and off-site improvements are necessary prior to providing adequate service to the project site. MENIFEE VALLEY RANCH is located within the Winchester Regional Water Reclamation Facility (WRWRF) waste watershed area. Sewage generated from the project site will be conveyed to the upgraded Perris Valley Regional Water Reclamation Facility. In order to provide for interceptor sewers from the project site to the Perris Valley Regional Treatment Plant, construction of off-site gravity trunk lines will be required. These lines will extend from the southerly property boundary within Grand Avenue, then head south along Lindenberger Road, before turning east in Simpson Road and eventually connecting to the Winchester Lift Station located at the corner of Simpson and Ventina Roads.

The proposed MENIFEE VALLEY RANCH project would generate an estimated average daily wastewater flow of 1,366,595 gallons per day (gpd) at build-out, Summary of Estimated Wastewater Flows. Existing sewer lines, shown on Figure III.A-13, *Master Sewer Plan*, include: two 20" force mains in Grand Avenue (off site), Briggs Road, and eastern Matthews Road; a 24" gravity main in Matthews Road; a 15" gravity main in McLaughlin Road; and 12" gravity mains in Briggs Road and McLaughlin Road (off site).

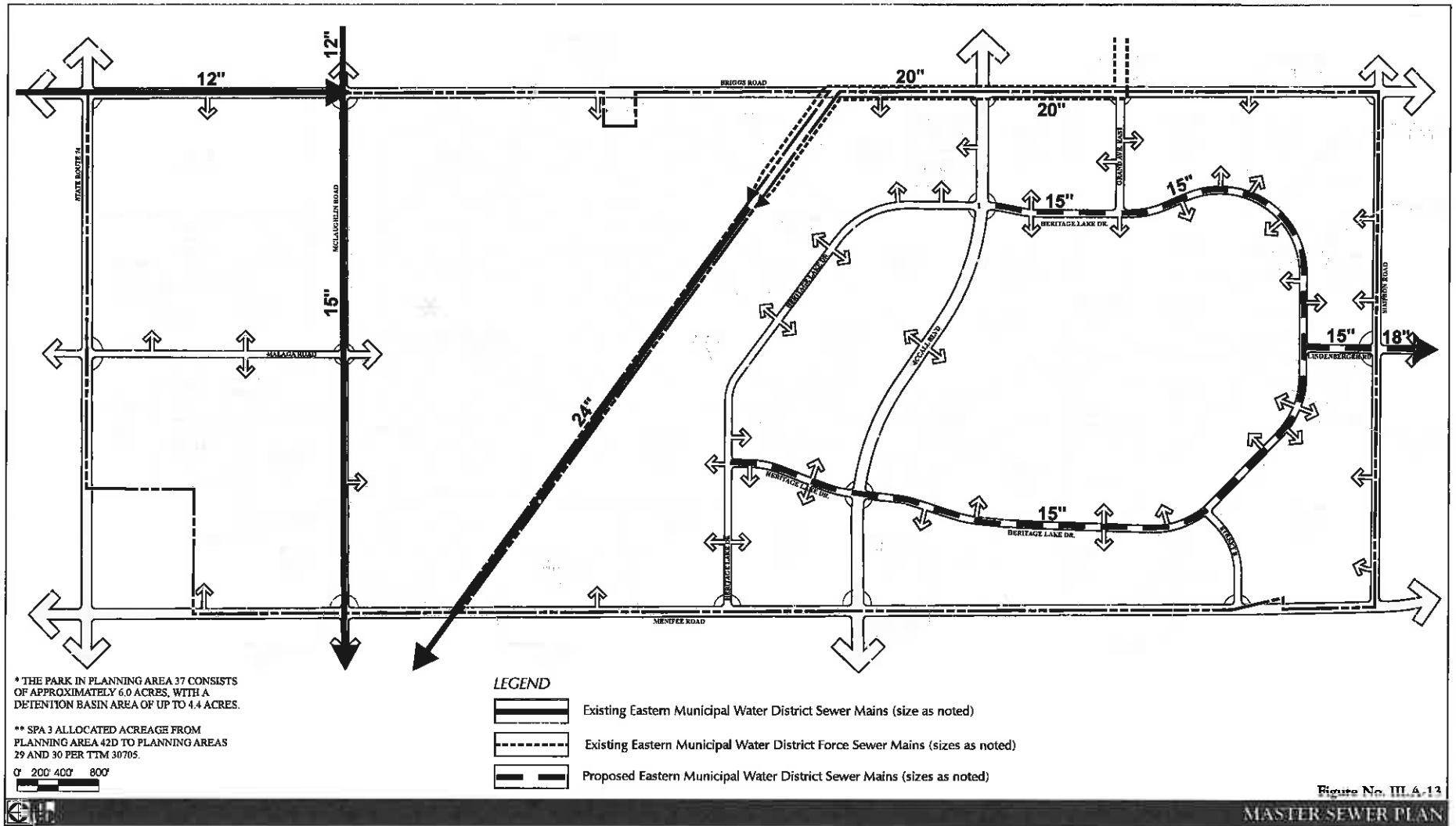
The proposed wastewater collection facilities which will serve the project area are shown on Figure III.A-13, *Master Sewer Plan*. The proposed sewer mains include: an 18" gravity main in Lindenberger Road; 12" gravity main in Heritage Lake Drive; a 15" gravity main in Grand Avenue East at Briggs Road which connects to a 15" gravity main in Heritage Lake Drive; and realignment of the 15" gravity main in McLaughlin Road.

**d. Water and Sewer Plan Development Standards**

(1) All water, reclaimed water, and sewer lines shall be placed underground, and shall be designed per the Eastern Municipal Water District's (EMWD's) standards and standard specifications.

(2) The infrastructure system will be installed to the requirements of the EMWD. Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the Riverside County Health Department.

(3) The developer of the project shall submit information which describes estimates of the project's reclaimed water demand, and landscape/irrigation conceptual plans to the EMWD for evaluation. At the time of the District' evaluation, a determination will be made regarding District requirements for reclaimed water use and system improvements by the subject project.



## 7. GRADING PLAN

### a. Grading Plan Description

The grading plan for MENIFEE VALLEY RANCH, shown on Figure III.A-14, *Conceptual Grading Plan*, is tailored to the existing topography of the project site. The existing terrain is comparatively level over most of the site ranging from a low elevation of approximately 1,443 feet above mean sea level (msl) to a high elevation of 1,622 feet above msl. It is intended that proposed site grading be sensitive to natural landforms.

According to an earthwork quantity study conducted by the project engineer, grading is expected to balance on-site. Based on the Conceptual Grading Plan, approximately 0.4 million cubic yards of material will be moved to accommodate development of the site. This quantity may vary as final grading plans are developed. The Conceptual Grading Plan has been designed to accommodate drainage and a street system that meets County of Riverside standards for acceptable infrastructure gradients.

### b. Grading Plan Development Standards

(1) All grading activities shall conform to City of Menifee standards, shall be in substantial conformance with the overall Figure III.A-14, *Conceptual Grading Plan*.

(2) Grading shall conform to City of Menifee regulations. If City requirements conflict with the project's Conceptual Grading Plan, the City regulations shall take precedence.

(3) Prior to any development within any planning area of the Specific Plan, an overall Conceptual Grading Plan for the planning area in process may be requested for Community Development Department approval. The Grading Plan for each planning area should be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.

(4) All streets shall have a gradient not to exceed 15 percent.

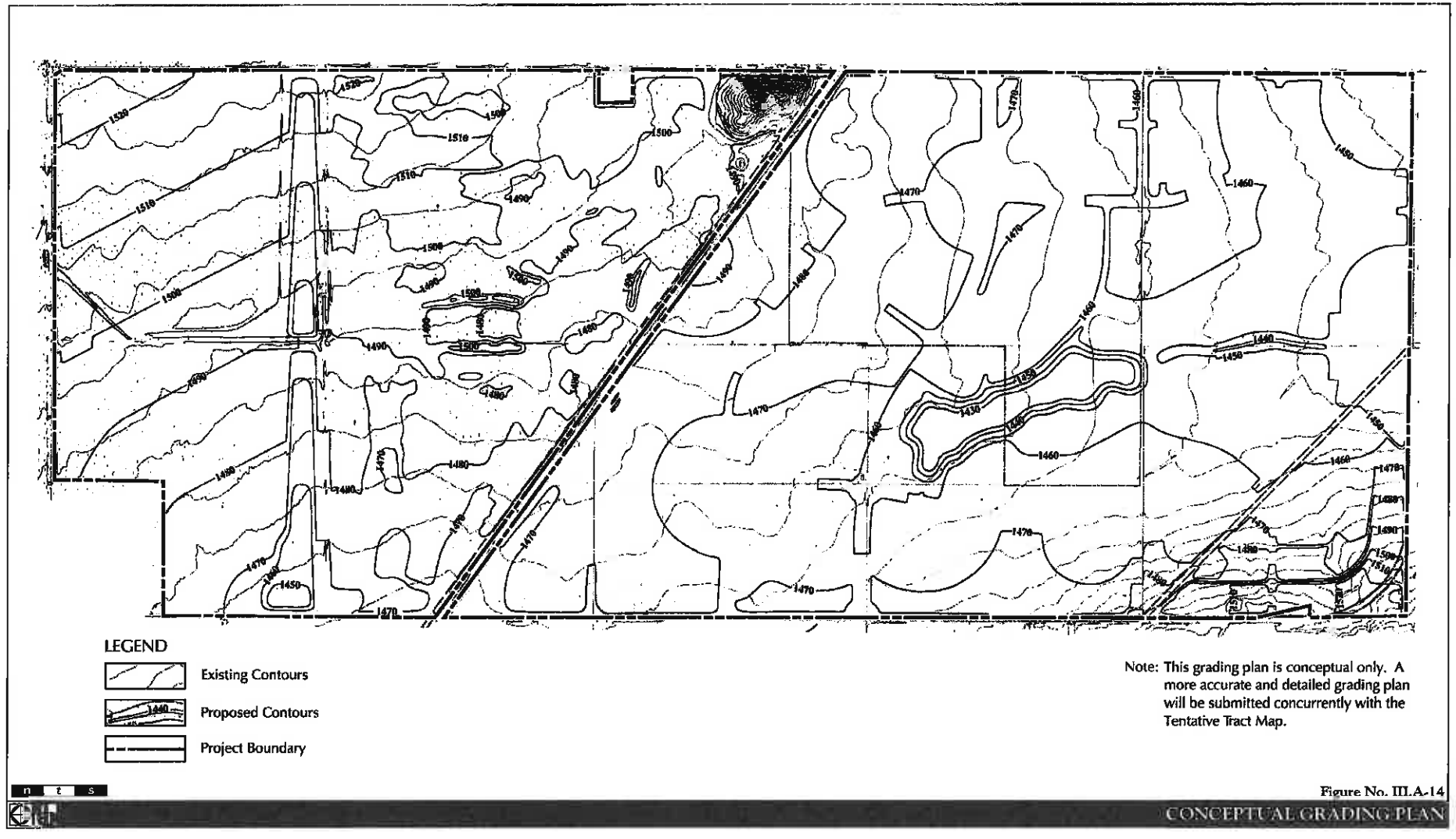
(5) Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared to analyze on-site soil conditions and slope stability and shall include appropriate measures to control erosion and dust.

Slopes steeper than 2:1 or exceeding ten feet (10') in vertical height are allowed provided they are recommended to be safe in a slope stability report prepared by a soils engineer or an engineering geologist. The slope stability report shall also contain recommendations for landscaping and erosion control. Where cut and fill slopes are created higher than three feet (3'), detailed landscaping and irrigation plans shall be submitted to the Community Development Department prior to Grading Plan approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees.

(6) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties.

(7) Grading work shall be balanced on-site whenever possible.





(8) Potential brow ditches, terrace drains or other minor swales, determined necessary by the City of Menifee at future stages of project review, shall be lined with natural erosion control materials or concrete.

(9) Graded land that is undeveloped shall be maintained and planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.

(10) Unless otherwise approved by the City, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring intended to control slope erosion.

(11) A grading permit shall be obtained from the City of Menifee prior to grading.

(12) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist shall be consulted to ascertain their significance.

(13) Soil stabilizers shall be used to control dust as required by SCAQMD Rule 403.

(14) Pursuant to requirements of the State Water Resources Control Board, a State-wide general National Pollution Discharge Elimination System (NPDES) construction permit will apply to construction activities associated with the proposed project. Construction activities include cleaning, grading, or excavation that results in the disturbance of at least five acres of total land area or activity which is part of a larger common plan of development of five acres or greater. Therefore, the developer or builder for MENIFEE VALLEY RANCH shall be required to obtain the appropriate State NPDES permits prior to commencing grading activities.

**8. PUBLIC FACILITY SITES AND PROJECT PHASING PLAN****a. Project Phasing Plan Description**

MENIFEE VALLEY RANCH is to be developed in six (6) phases over an approximate 10-year to 15-year period, in response to market demands and according to a logical and orderly extension of roadways, public utilities, and infrastructure. The development phasing is illustrated on Figure III.A-15, *Conceptual Phasing Plan*, and Table III.A-4, *Project Phasing Plan*.

**b. Schools and Parks Phasing**

To ensure timely development of public facilities, a Conceptual Phasing Plan has been prepared for the proposed park and school sites. Public facility construction shall be phased as provided by Table III.A-5, *Public Facilities Phasing*.

**c. Sewer and Water Phasing**

An agreement with the Eastern Municipal Water District (EMWD) shall be made in writing which states that the provision of services to any implementing project shall be available prior to the recordation of any tract maps.

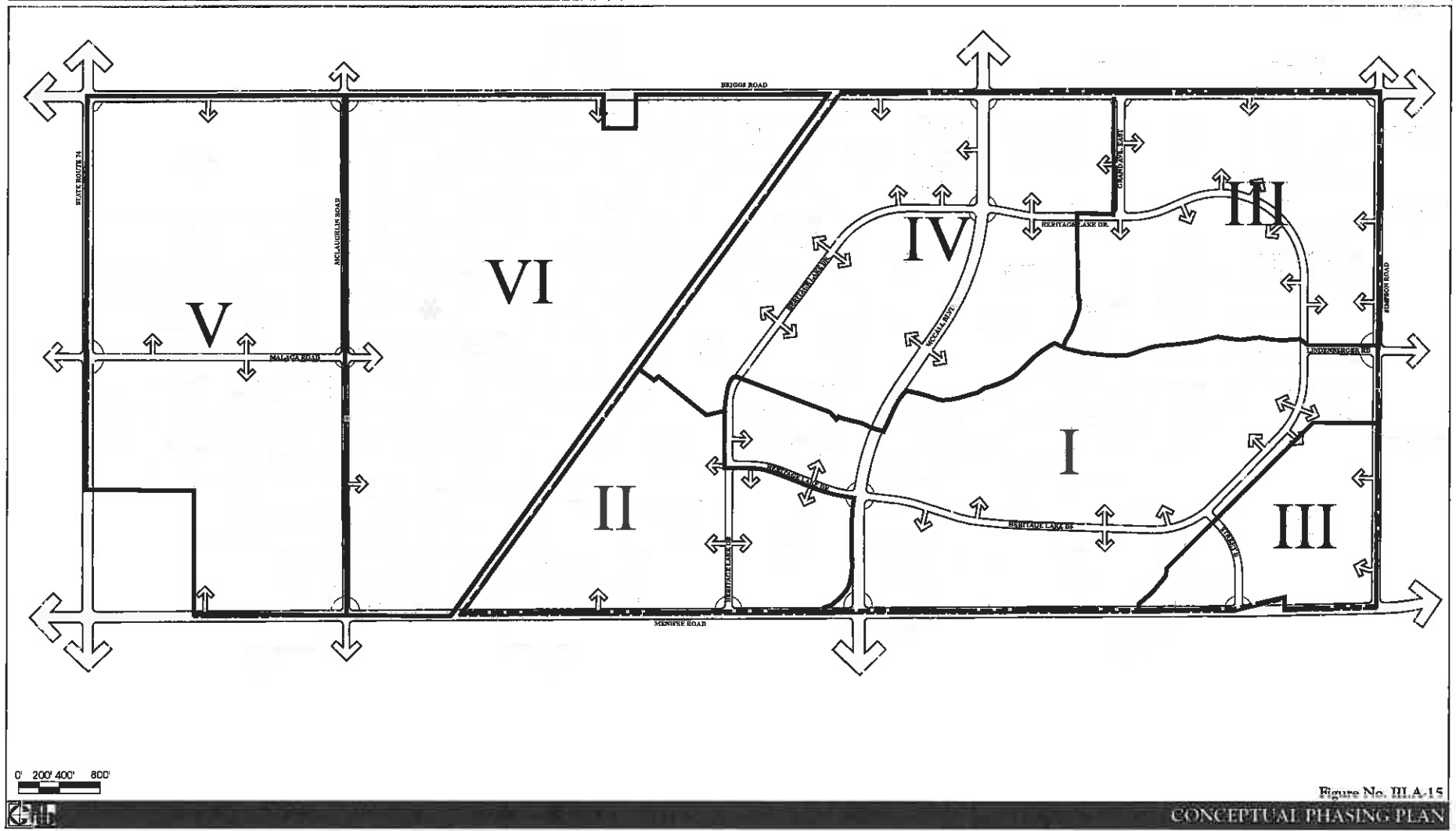
**d. Transportation Phasing**

The project phasing shall ensure that the following provisions are met:

(1) Traffic impact reports shall be required with submittal of tentative tract maps or plot plans as required by the City of Menifee. The required format for each traffic impact study report will be determined by the City. The required format will include evaluation of peak hour conditions at intersections significantly impacted by each phase of development.

(2) If an impacted intersection is estimated to exceed City service level standards, then appropriate link and intersection improvements shall be required to be presented for City staff review.

(3) The improvements needed to maintain the City service level standards will be required to be in place prior to occupancy of the relevant development phase. Because off-site improvements are generally needed to serve area-wide growth, an area-wide fee program should be established to implement General Plan roadway improvements. Without a district or fee program available, the proposed project is responsible for providing the off-site improvements necessary for adequate circulation at each project phase.



**Table III.A-4 – Project Phasing Plan**

LAND USE	PLANNING AREA	ACRES	MAXIMUM DWELLING UNITS
<b>PHASE I</b>			
Medium Density Residential	28, 30, 36	135.9	497
Medium High Density Residential	29	25.3	135
School (K-8)	22A	15.1	---
Park	22B	4.8	---
Park/Detention Area	37	11.5	---
Greenbelt/Lake	27A	41.8	---
Swim Club/Lake Parking	27B	3.5	---
Open Space	38	4.9	---
Greenbelts	27E, 27F, 42E	5.2	---
<b>PHASE I SUBTOTAL</b>		<b>248</b>	<b>632</b>
<b>PHASE II</b>			
Medium Density Residential	16, 17, 23	90.8	343
Medium High Density Residential	15	27.9	150
Greenbelts	39A	12.0	---
<b>PHASE II SUBTOTAL</b>		<b>130.7</b>	<b>493</b>
<b>PHASE III</b>			
Medium Density Residential	31, 32, 34A, 34B, 35, 40	182.6	667
School (K-8)	33	21.5	---
Neighborhood Park	26	7.6	---
Greenbelt	27C, 27D, 42A, 42B, 42C	6.9	---
<b>PHASE III SUBTOTAL</b>		<b>218.6</b>	<b>667</b>
<b>PHASE IV</b>			
Medium Density Residential	14, 18, 19, 24	101.6	415
Medium High Density Residential	20, 25, and 41A	92	482
Greenbelts	22C, 39B	10.2	---
Private Recreation Center	41B	1.1	---
Community Park	21	22.2	---
<b>PHASE IV SUBTOTAL</b>		<b>227.1</b>	<b>897</b>
<b>PHASE V</b>			
Medium Density Residential	1, 2, 6, 7A, 7B	135.6	559
Medium High Density Residential	3	16.2	292
Greenbelts	4A, 4B	12.3	---
Community Park	9	23.0	---
Neighborhood Park	5A, 5B	8.2	---
Detention Area	10	6.6	---
<b>PHASE V SUBTOTAL</b>		<b>201.9</b>	<b>851</b>
<b>PHASE VI</b>			
Medium High Density Residential (Active Adult)	12A	157.9	744
Medium High Density Residential (Triplex – Active Adult)	12B	23.7	123
Open Space/Recreation	11	151.0	---

**MENIFEE VALLEY RANCH**

A. DEVELOPMENT PLANS AND STANDARDS

Open Space	13	12.0	---
<b>PHASE VI SUBTOTAL</b>		<b>344.6</b>	---
<b>PROJECT TOTALS</b>			
Roadways Paseos/Greenbelts	---	38.0	---
Major Roads	---	93.2	---
<b>PHASE I-VI TOTAL</b>		<b>1,548.3</b>	<b>4,407</b>

\* Development of Planning Area 8, High School (59.8 acres), shall be designed and constructed at a time to be determined by applicable school district.

**Table III.A-5 – Public Facilities Phasing**

Planning Area	Public Facility	Size of Site	Milestones and Requirements
22A	K-8 School	15.1 ac	The school shall be designed and constructed at a time to be determined by applicable school district.
33	K-8 School	21.5 ac	The school shall be designed and constructed at a time to be determined by applicable school district.
8	High School	59.8 ac	The school shall be designed and constructed at a time to be determined by applicable school district.
22B	Neighborhood Park	4.8 ac	To be constructed during Phase I. The land shall be dedicated and the park shall be designed prior to the completion of the 100th dwelling unit in Planning Areas 28, 29, 30, and 36. Construction shall be finished prior to the completion of the 200th dwelling unit within Planning Areas 28, 29, 30, and 36.
26	Neighborhood Park	7.6 ac	To be constructed during Phase III. The land shall be dedicated and the park shall be designed prior to the completion of the 200th dwelling unit in Planning Areas 31, 32, 33, 34A, 34B and 35. It shall be completed and fully operable prior to the completion of the 400th dwelling unit anywhere within Planning Areas 31, 32, 33, 34A, and 35.
37	Detention Area	4.4 ac	To be constructed during Phase I. The land shall be dedicated and the detention area/park shall be designed and built prior to occupancy of the first dwelling unit in Planning Areas 28, 29, 30, and 36.
	Neighborhood Park	7.1 ac	To be constructed during Phase I. The land shall be dedicated and the park shall be designed prior to the completion of the 75th dwelling unit in Planning Areas 28, 29, 30, and 36. Construction shall be finished prior to the completion of the 150th dwelling unit within Planning Areas 28, 29, 30, and 36.
5A	Neighborhood Park	4.9 ac	To be constructed during Phase V.
5B	Neighborhood Park	3.3 ac	To be constructed during Phase V.
9	Community Park	23.0 ac	To be constructed during Phase V.
21	Community Park	20.1 ac	To be constructed during Phase IV. The land for the 22.2-acre community park in Planning Area 21 shall be dedicated and the park designed prior to the completion of the 400th dwelling unit in Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A. It shall be half constructed prior to the completion of the 500th dwelling unit anywhere within Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A. Construction shall be finished prior to the completion of the 600th dwelling unit within Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A.
39B	Greenbelt	9.0 ac	To be constructed during Phase IV. The land for the 9.0-acre Greenbelt in Planning Area 39B shall be dedicated and designed prior to the completion of the 400th dwelling unit in Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A. It shall be half constructed prior to the completion of the 500th dwelling unit anywhere within Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A. Construction shall be finished prior to the completion of the 600th dwelling unit within Planning Areas 14, 18, 19, 20, 24, 25, and 34B41A.

**e. Project Phasing Standards**

- (1) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the City Community Development Department for approval. The improvement plans shall include:
  - Final Grading Plan
  - Irrigation Plans (certified by a landscape architect)
  - Fence Treatment Plans
  - Special Treatment/Buffer Area Treatment Plans
  - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
- (2) Each planning area shall include development of adjacent common open space areas, landscape development zones, and applicable infrastructure.
- (3) Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, in Phase I, II, III, IV, V, or VI provided vehicular access, public facilities, and infrastructure is constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
- (4) The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, or in smaller increments, provided the required infrastructure and services are available at the time of development.



**9. LANDSCAPING PLAN****a. Landscaping Plan Descriptions**

The landscaping plan provides a general description and development standards for the landscaping concept for MENIFEE VALLEY RANCH. A more detailed description of the landscaping concept is provided in Section IV, Design Guidelines. The Landscaping Plan, illustrated on Figure IV-1, Conceptual Landscape Plan, will establish an overall theme that will help to create a strong sense of community.

The design concept for MENIFEE VALLEY RANCH will incorporate a California Ranch landscape theme. Characteristic elements of this theme include: generous landscape common areas and strong, rich landscape materials such as river rock, boulder outcrops, clusters and groves of trees, wood materials, earth tone colors, and a diversity of material.

The community entries and theme intersections will provide a continuity that establishes the MENIFEE VALLEY RANCH area and boundaries. Entry monumentation will provide initial definition for the site at key access points. Once within the MENIFEE VALLEY RANCH community, monumentation will continue to be used at all key intersections. The entries and intersections will be developed in a hierarchical format that reinforces a sense of place within the community. Primary community entries will lead to secondary community entries which in turn lead to neighborhood entries. Neighborhood entries will provide initial identification for each residential planning area.

Individual neighborhoods and residential development enclaves will be distinguished by varied planting themes that will serve to complement and reinforce the overall project theme. Special treatments, including land use transition areas, will be provided between certain planning areas, as identified in Section III.B, *Planning Area Development Standards*.

Landscaping also serves as a buffer between land uses. Community walls and fences a major visual element that helps unify the appearance of the community.

Roadway streetscapes are critical to maintaining a cohesive community theme. Streetscapes will be used to identify the hierarchy of the community's roadway system.

**b. Landscaping Plan Development Standards**

- (1) All detailed landscaping programs for planning areas and roadways shall be prepared by a qualified and licensed landscape architect for review by City staff and applicable decision-making agencies.
- (2) Project entries shall be designed with landscaping and architectural treatments that project a high quality image for the community development.
- (3) The landscaping design for the project site shall include trees, shrubs, and ground cover compatible with existing natural vegetation where feasible.
- (4) Special treatment areas shall be designed to provide definition to certain planning areas, as identified in Section III.B, *Planning Area Development Standards*.
- (5) Major entrance roads into MENIFEE VALLEY RANCH shall have entry monumentation and landscaped shoulders to define the project's design concept. The introductory

landscape theme shall include elements such as tree clustering to reinforce the project theme and character.

- (6) Planted raised medians (according to Engineering Standard Details and City Ordinance No. 461) may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the City Engineer
- (7) Prior to approval of any final subdivision map, improvement plans for the respective landscaped areas shall be submitted to the City Community Development Department for approval. The improvement plans shall include but not be limited to the following:
  - Final Grading Plan
  - Irrigation Plans certified by a landscape architect
  - A Landscaping Plan with seed mixes for mulching and staking methods; locations, types, size and quantity of plants
  - Fence Treatment Plans
  - Special Treatment/Buffer Area Treatment Plans
- (8) The applicant and/or master developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.
- (9) At the time of recordation of any final subdivision which contains a common open space area, the applicant and/or developer shall convey such areas to the appropriate maintenance agency.
- (10) The landscaping plan shall reflect the following water conservation methods, whenever feasible: landscape with plants that require minimal amounts of water, group plants of similar water use to reduce over-irrigation of low water using plants; use mulch extensively, because mulch applied on top of soil will improve the water holding capacity of the soil by reducing evaporation and soil compaction; and install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
- (11) The project applicant and/or developer shall comply with the planting, irrigation, implementation, and model home requirements set forth by City Municipal Code Section 9.86 and 15.04.
- (12) The irrigation system in common open space areas shall be designed to accommodate future use of reclaimed water when made available by the water district.

## 10. COMPREHENSIVE MAINTENANCE PLAN

Successful operation of maintenance districts and associations is important in maintaining quality in a project area. It is anticipated that maintenance responsibilities for public roadways will be maintained by the County through the Transportation Department. Other common project facilities may be divided among a Master Homeowners' Association, Neighborhood Associations, , Valleywide Park and Recreation District, City of Menifee and/or similar maintenance mechanisms.

Final decisions regarding maintenance entities shall be made at a future stage of project design review and in concert with County agencies. For a summary of maintenance responsibilities see Table III.A-6, *Maintenance Plan*.

**a. Master Homeowners' Association**

A Master Homeowner's Association is neither anticipated nor required, but is an accepted mechanism for maintenance if desired by the builder or developer. Common areas identified in the Specific Plan may be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation, open space, private circulation systems and landscape areas. Areas of responsibility may include open space, project signage, private recreation facilities, and landscape areas located along the project roadways.

**b. Residential Neighborhood Associations**

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, common open space areas and potential private roadways exemplify facilities that may come under the jurisdiction of a neighborhood association.

**c. Project Roadways**

All public project roadways and private streets will be designed and constructed to standards acceptable to the City of Menifee. Parkway greenbelts (otherwise referred to as LDZ's) will be maintained either by a Valleywide Park and Recreation District, a Master Homeowner's Association, City of Menifee or other maintenance entity.

**d. Schools**

It is anticipated that maintenance responsibilities for the three school sites will be overseen by the Romoland School District and Perris Union High School District.

Table III.A-6 – Maintenance Plan

	HOMEOWNERS ASSOCIATION	VALLEYWIDE PARK AND RECREATION DISTRICT, RCFCD, OR OTHER PUBLIC OR QUASI- PUBLIC AGENCY	CITY OF MENIFEE	EMWD	SCHOOL DISTRICT
Landscape Parkways		✓			
Street Lighting		✓	✓		
Public Streets			✓		
Sidewalks and Hardscape		✓	✓		
Storm Drains (in roads)		✓	✓		
Public Sewer/Water				✓	
Project Signage	✓	✓	✓		
Parks		✓	✓		
Common Open Space	✓	✓			
School Sites					✓
Private Recreation Facilities	✓				

**e. Open Space and Parks**

Any open space or park areas not directly associated with a particular neighborhood will be the responsibility of Valleywide Park and Recreation District, a Master Homeowners' Association, City of Menifee or a similar public/quasi-public agency for maintenance.

- (1) Common areas identified in the specific plan shall be owned and maintained as follows:
  - a) A permanent master maintenance organization shall be established for the specific plan area, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas. The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
  - b) Unless otherwise provided for, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
  - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division, or issuance of any building permits for any approved development permit (use permit, plot plan, etc.).
- (2) If the permanent master maintenance organization referenced above is a public organization, the developer shall comply with the following condition:

- a) Prior to the recordation of any final subdivision map, or issuance of building permits in the case of use permits and plot plans, the applicant shall convey to the City fee simple title, to all common or common open space areas, free and clear of all liens, taxes, assessments, leases (recorded and unrecorded) and easement, except those easements which in the sole discretion of the City are acceptable. As a condition precedent to the City accepting title to such areas, the subdivider shall submit the following documents and fees to the Community Development Department, which documents shall be reviewed by the office of the City Attorney:
- (1) A declaration of covenants, conditions and restriction; and
  - (2) A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
- b) The declaration of covenants, conditions and restrictions submitted for review shall (a) provide for a term of 60 years, (b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit as tenants in common and (c) contain the following provisions verbatim:

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall, if dormant, be activated, by incorporation or otherwise, at the request of the City of Menifee, and the property owner's association shall unconditionally accept from the City of Menifee, upon the City's demand, title to all or any part of the 'common area'. The decision to require activation of the property owners' association to unconditionally accept title to the "common area" shall be at the sole discretion of the City of Menifee.

In the event that the common area, or any part thereof, is conveyed to the property owners' association, the association, thereafter shall own such "common area," shall manage and continuously maintain such "common area" and shall not sell or transfer such "common area," or any part thereof, absent the prior written consent of the Community Development Director of the City of Menifee or the City's successor-in-interest. The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area', and shall have the right to lien the property of any such owner who defaults in the payment of an maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, "substantially" amended or property de-annexed therefrom absent the prior written consent of the Community Development Director of the City of Menifee or the City's successor-in-interest. A proposed amendment shall be considered "substantial" if it affects the extent, usage or maintenance of the "common area."

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners' association Rules and Regulations, if any, this Declaration shall control.

- c) Once approved, the declaration of covenants, conditions and restrictions shall be recorded by the Community Development Department with a copy retained for the file.
- (3) If the permanent master maintenance organization referenced above is a private organization, the developer shall comply with the following condition:
- a) Prior to recordation of any final subdivision map or issuance of building permits in the case of use permits and plot plans, the subdivider shall submit the following documents and fees to Community Development Department, which documents shall be subject to the approval of that department and the City Attorney:
    - (1) A declaration of covenants, conditions and restriction; and,
    - (2) A sample document conveying title to the purchaser of an individual lot or unit which provides that the declaration of covenants, conditions and restrictions is incorporated therein by reference.
    - (3) A deposit equaling three (3) hours of the current hourly fee for Review of Covenants, Conditions and Restriction established pursuant to Ordinance No. 671 at the time the above documents are submitted to the Community Development Department for review by City Attorney.
  - b) The declaration of covenants, conditions and restrictions submitted for review shall (a) provide for a term of 60 years, (b) provide for the establishment of a property owners' association comprised of the owners of each individual lot or unit as tenants in common, and (c) provide for ownership of the common area by either the property owners' association of the owners of each individual lot or unit as tenants in common and (d) contain the following provisions verbatim:
 

"Notwithstanding any provision in this Declaration to the contrary, the following provisions shall apply:

The property owners' association established herein shall, manage and continuously maintain the "common area," attached hereto, and shall not sell or transfer the "common area" or any part thereof, absent the prior written consent of the Community Development Director of the City of Menifee or the City's successor-in-interest.

The property owners' association shall have the right to assess the owners of each individual lot or unit for the reasonable cost of maintaining such 'common area' and shall have the right to lien the property of any such owner who defaults in the payment of a maintenance assessment. An assessment lien, once created, shall be prior to all other liens recorded subsequent to the notice of assessment or other document creating the assessment lien.

This Declaration shall not be terminated, “substantially” amended or property de-annexed therefrom absent the prior written consent of the Community Development Director of the City of Menifee or the City’s successor-in-interest. A proposed amendment shall be considered “substantial” if it affects the extent, usage or maintenance of the “common area.”

In the event of any conflict between this Declaration and the Articles of Incorporation, the Bylaws, or the property owners’ association Rules and Regulations, if any, this Declaration shall control.

- c) Once approved, the declaration of covenants, conditions and restrictions shall be recorded by the Community Development Department with a copy retained for the file.

## B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards and zoning regulations for MENIFEE VALLEY RANCH have been established at three levels: *Development Plans and Standards*, which were addressed in Section III.A; *Design Guidelines*, which are provided in Section IV; and *Planning Area Development Standards*, to which this section is devoted.

Planning areas were formed on the basis of logical, separate units of development. Criteria considered in this process included the following: uniformity of use as it pertains to zoning, relationship to adjoining product, and relationship to surrounding topography.

The planning area graphics for this section were derived from Figures III.A-1A and III.A-1B, *Specific Land Use Plan*. Table III.B-1, *Planning Area Land Use Summary*, describes the specific uses planned for each planning area. The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV, *Design Guidelines*, it is anticipated that actual lotting will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance was prepared and submitted separately from this Specific Plan document. The zoning provisions within that ordinance establish use restrictions for each planning area. The zoning provisions should be used in conjunction with the planning standards for each respective planning area.



**Table III.B-1  
PLANNING AREA LAND USE SUMMARY**

Planning Area	Land Use	Acreeage	Density Range	Target Density	Dwelling Units
1	Medium Density Residential (7,200 sf)	30.4	2.1-5 du/ac	3.6	109
2	Medium Density Residential (6,000 sf)	33.8	2.1-5 du/ac	4.6	155
3	Very High Density Residential (Multi-Family)	16.2	14.1-20 du/ac	18.0	292
4A	Greenbelt	7.4	---	---	---
4B	Greenbelt	4.9	---	---	---
5A	Park	4.9	---	---	---
5B	Park	3.3	---	---	---
6	Medium Density Residential (6,000 sf)	21.3	2.1-5 du/ac	4.7	101
7A	Medium Density Residential (7,200 sf)	23.5	2.1-5 du/ac	4.3	101
7B	Medium Density Residential (7,200 sf)	26.6	2.1-5 du/ac	3.5	93
8	High School	59.8	---	---	---
9	Community Park	23.0	---	---	---
10	Detention Area	6.6	---	---	---
11	Open Space/Recreation	151.0	---	---	---
12A	Medium High Density Residential (5,000 sf – Active Adult)	157.9	5.1-8 du/ac	5.0	744
12B	Medium High Density Residential (Triplex – Active Adult)	23.7	5.1-8 du/ac	5.2	123
13	Open Space	12.0	---	---	---
14	Medium Density Residential (7,200 sf)	17.8	2.1-5 du/ac	3.9	69
15	Medium Density Residential (5,000 sf)	27.9	5.1-8 du/ac	5.4	150
16	Medium Density Residential (6,000 sf)	26.2	2.1-5 du/ac	4.3	112
17	Medium Density Residential (7,200 sf)	28.6	2.1-5 du/ac	3.6	102
18	Medium Density Residential (6,000 sf)	24.3	2.1-5 du/ac	4.7	113
19	Medium Density Residential (6,000 sf)	28.3	2.1-5 du/ac	4.1	117
20	Medium High Density Residential (5,000 sf)	35.8	5.1-8 du/ac	5.2	187
21	Community Park	20.1	---	---	---
22A	School (K-8)	15.1	---	---	---
22B	Park	4.8	---	---	---
22C	Greenbelt	1.2	---	---	---
23	Medium Density Residential (7,200 sf)	36.0	2.1-5 du/ac	3.6	129
24	Medium Density Residential (7,200 sf)	31.2	2.1-5 du/ac	3.7	116
25	Medium High Density Residential (5,000 sf)	42.3	5.1-8 du/ac	5.1	215
26	Park	7.6	---	---	---
27A	Greenbelts/Lake	41.8	---	---	---
27B	Swim Club/Lake Parking	3.5	---	---	---
27C	Greenbelt	1.9	---	---	---
27D	Greenbelt	1.3	---	---	---

Planning Area	Land Use	Acreage	Density Range	Target Density	Dwelling Units
27E	Greenbelt	1.7	---	---	---
27F	Greenbelt	1.6	---	---	---
28	Medium Density Residential (8,000 sf)	46.1	2.1-5 du/ac	3.8	173
29	Medium High Density Residential (5,000 sf)	25.3	5.1-8 du/ac	5.3	135
30	Medium Density Residential (6,000 sf)	32.6	2.1-5 du/ac	4.3	141
31	Medium Density Residential (7,200 sf)	28.2	2.1-5 du/ac	3.8	110
32	Medium Density Residential (7,200 sf)	32.9	2.1-5 du/ac	3.6	120
33	School (K-8)	21.5	---	---	---
34A	Medium Density Residential (6,000 sf)	25.1	2.1-5 du/ac	4.5	114
34B	Medium Density Residential (6,000 sf)	14.8	2.1-5 du/ac	4.5	66
35	Medium Density Residential (7,200 sf)	19.6	2.1-5 du/ac	3.7	73
36	Medium Density Residential (7,200 sf)	44.9	2.1-5 du/ac	4.1	183
37	Park/Detention Area	11.5	---	---	---
38	Open Space	4.9	---	---	---
39A	Greenbelt	12.0	---	---	---
39B	Greenbelt	9.0	---	---	---
40	Medium Density Residential (9,000 sf)	62.2	2.1-5 du/ac	3.0	184
41A	Medium High Residential (4,500 sf)	13.9	5.1-8 du/ac	5.8	80
41B	Private Recreation Center	1.1	---	---	---
42 (A-C, E)	Greenbelts	5.6	---	---	---
Paseos	Roadway Paseos	38.0	---	---	---
Roads	Major Roads	93.2	---	---	---
<b>Total</b>		<b>1,548.3</b>	<b>---</b>	<b>2.8</b>	<b>4,407</b>

**1. PLANNING AREA 1: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 1, as depicted on Figure III.B-1, provides for the development of 30.4 acres of single family residential uses on minimum lot sizes of 7,200 square feet. A maximum of 109 dwelling units is planned at a target density of 3.6 du/ac (density range 2.1-5 du/ac, medium density).

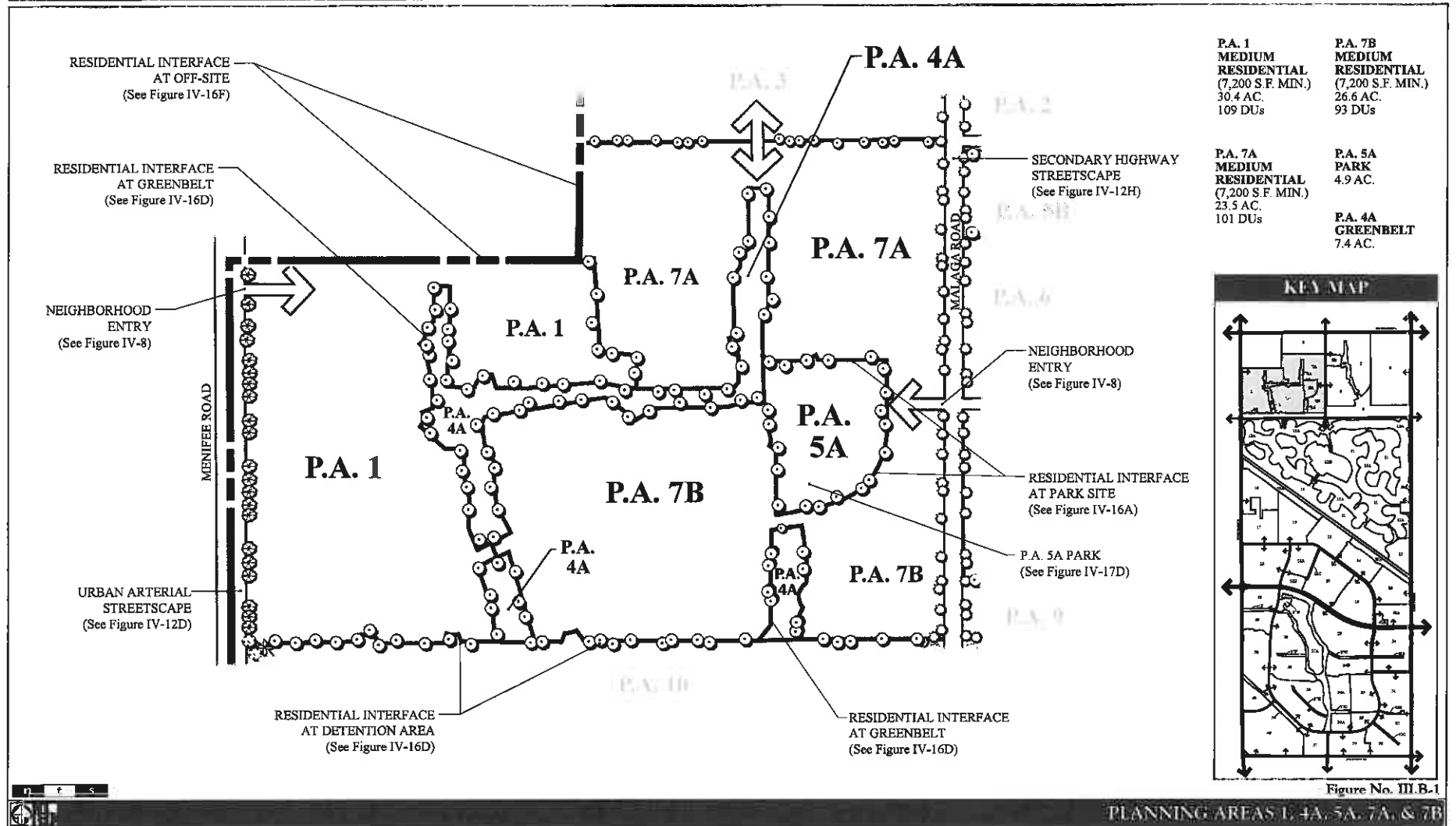
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 1 shall be provided from Menifee Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrances into Planning Area 1 from Menifee Road.
- 3) A roadway landscape treatment, as shown on Figure IV-12D, is planned along Menifee Road.
- 4) A residential interface, as shown on Figure IV-16D, is planned as a buffer between residential and the adjacent detention basin.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**2. PLANNING AREA 2: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 2, as depicted on Figure III.B-2, provides for the development of 33.8 acres of single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 155 dwelling units is planned at a target density of 4.6 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 2 shall be provided from Malaga Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 2 from Malaga Road.
- 3) Roadway landscape treatments, as shown on Figures IV-12A and IV-12H are planned along State Route 74 and Malaga Road.
- 4) Residential interfaces, as shown on Figures IV-16A and IV-16B, are planned along the southern and eastern sides of Planning Area 2 to serve as a buffer between residential, park and high school land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

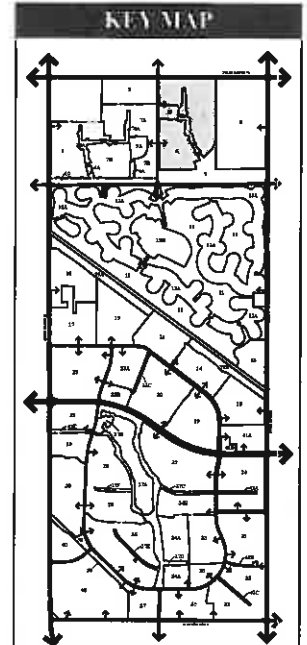
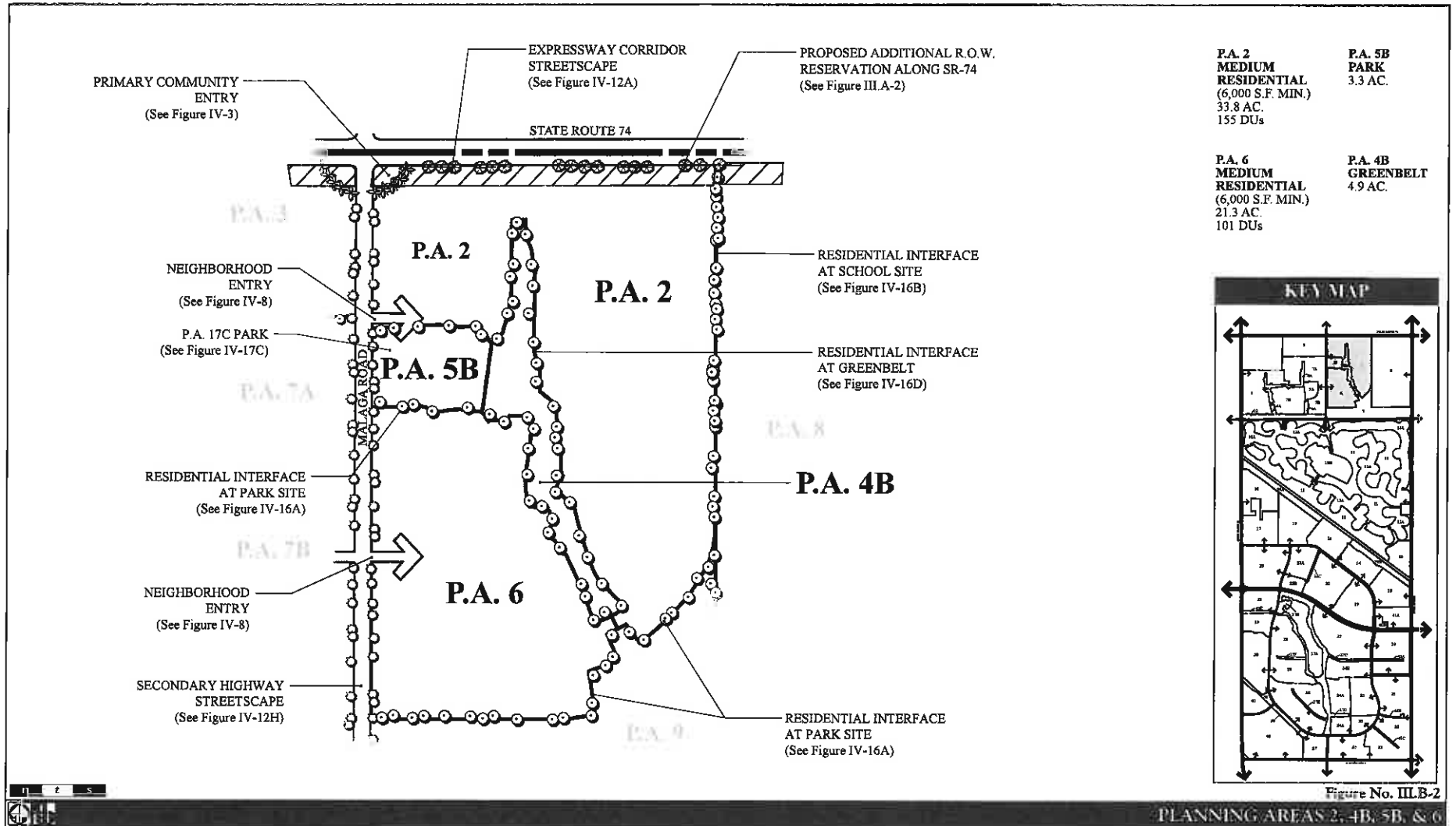


Figure No. III.B-2

PLANNING AREAS 2, 4B, 5B, & 6

**3. PLANNING AREA 3: VERY HIGH DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 3, as depicted in Figure III.B-3, provides for the development of 16.2 acres of very high density residential uses consisting of multi-family units, located adjacent to State Route 74 on the northern boundary of the project site. A maximum total of 292 dwelling units is planned at a target density of 18.0 du/ac (density range 14.1-20 du/ac, very high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 3 shall be provided from State Route 74 and Malaga Road.
- 2) A primary community entry, as shown on Figure IV-3, is planned at the intersection of State Route 74 and Malaga Road.
- 3) Roadway landscape treatments, as shown on Figures IV-12A and 12H, are planned along State Route 74 and Malaga Road.
- 4) For any development proposal located within Planning Area 3, a Substantial Conformance shall be submitted concurrently with the development application for review and approval by Planning Commission. The Substantial Conformance shall establish design standards for development of Planning Area 3 addressing at a minimum the following issues:
  - Buffering and interface along Highway 74 and adjacent single family residential uses in Planning Area 7A.
  - Connection to the greenbelt provided in Planning Area 4A.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

MENIFEE VALLEY RANCH

**P.A. 3  
VERY HIGH  
(MULTI-FAMILY)**  
16.2 AC.  
292 DUs

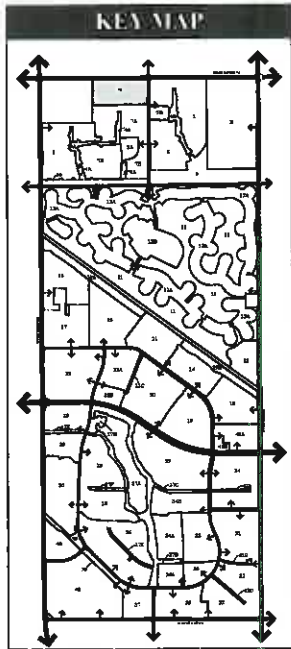
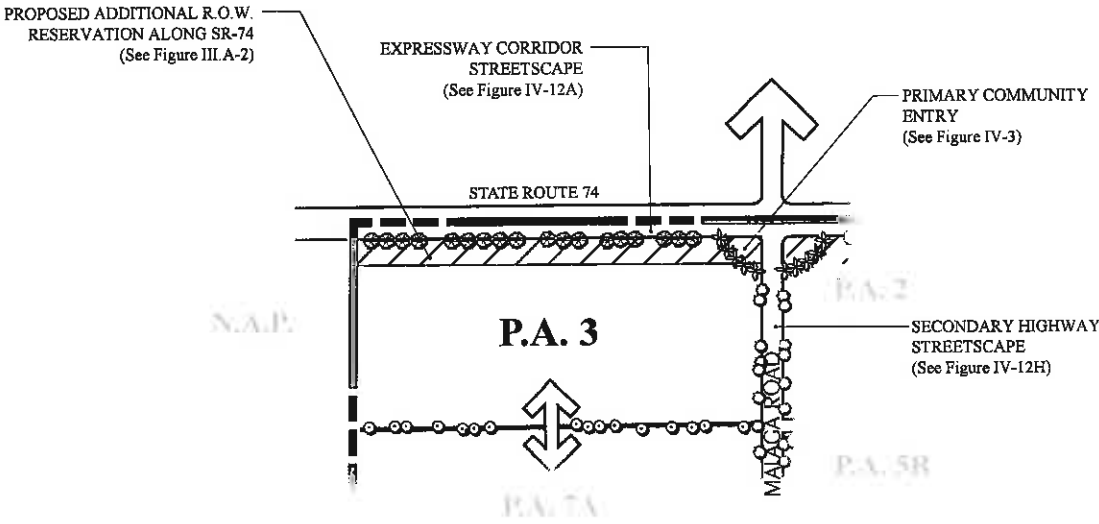


Figure No. III.B-3

**PLANNING AREA 3**



**4A. PLANNING AREA 4A: GREENBELT**

**a. Descriptive Summary**

Planning Area 4A, as depicted in Figure III.B-1, provides for the development of 7.4 acres of greenbelts to remain as open space. The greenbelts are sited adjacent to Planning Areas 1, 5A, 7A, and 7B.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**4B. PLANNING AREA 4B: GREENBELT**

**a. Descriptive Summary**

Planning Area 4B, as depicted in Figure III.B-2, provides for the development of 4.9 acres of greenbelts to remain as open space. The greenbelts are sited adjacent to Planning Areas 2 and 6.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**5A. PLANNING AREA 5A: NEIGHBORHOOD PARK**

**a. Descriptive Summary**

Planning Area 5A as depicted in Figure III.B-1, provides for the development of a 4.9-acre neighborhood park. Proposed amenities for the park may include:

- Sand volleyball courts
- Basketball courts
- Tot lot
- Shade tree plantings and rolling turf areas
- Picnic facilities
- On-site parking
- Specific specialty sports provided for may include soccer/football fields, baseball/softball fields, and roller hockey (no night lighting of sports fields shall be permitted).

The Master Developer shall be responsible for constructing this neighborhood park in Phase V.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 5A shall be provided from Malaga Road.
- 2) A secondary highway roadway landscape treatment, as illustrated in Figure IV-12H, is planned along Malaga Road.
- 3) A park interface, as shown on Figure IV-16A, is planned to serve as a buffer between the park site (Planning Area 5A) and the adjacent residential uses (Planning Areas 7A and 7B).
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**5B. PLANNING AREA 5B: NEIGHBORHOOD PARK**

**a. Descriptive Summary**

Planning Area 5B, as depicted in Figure III.B-1, provides for the development of a 3.3-acre neighborhood park. Proposed amenities for the park may include:

- Sand volleyball courts
- Basketball courts
- Tot lot
- Shade tree plantings and rolling turf areas
- Picnic facilities
- On-site parking
- Specific specialty sports provided for may include soccer/football fields, baseball/softball fields, and roller hockey (no night lighting of sports fields shall be permitted).

The Master Developer shall be responsible for constructing this neighborhood park in Phase V.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 4A shall be provided from Malaga Road.
- 2) A secondary highway roadway landscape treatment, as illustrated in Figure IV-12H, is planned along Malaga Road.
- 3) A park interface, as shown on Figure IV-16H, is planned to serve as a buffer between the park site(Planning Area 4A) and the adjacent residential uses (Planning Area 2).
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**6. PLANNING AREA 6: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 6, as depicted on Figure III.B-2, provides for the development of 21.3 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 101 dwelling units is planned at a target density of 4.7 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 6 shall be provided from Malaga Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 6 from Malaga Road.
- 3) A roadway landscape treatment, as shown on Figure IV-12H, is planned along Malaga Road.
- 4) Residential interfaces, as shown on Figures IV-16A and 16B, are planned to serve as buffers between residential, park, and school uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**7A. PLANNING AREA 7A: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 7A, as depicted on Figure III.B-1, provides for the development of 23.5 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 101 dwelling units is planned at a target density of 4.3 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 7A shall be provided from Malaga Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 7A from Malaga Road.
- 3) A roadway landscape treatment, as shown on Figure IV-12H, is planned along Malaga Road.
- 4) Residential interfaces, as shown on Figure 16G, are planned along the project boundary to serve as buffers between residential off-site land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**7B. PLANNING AREA 7B: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 7B, as depicted on Figure III.B-1, provides for the development of 26.6 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 93 dwelling units is planned at a target density of 3.5 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 7B shall be provided from Malaga Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 7B from Malaga Road.
- 3) A roadway landscape treatment, as shown on Figures IV-12H, is planned along Malaga Road.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**8. PLANNING AREA 8: HIGH SCHOOL**

**a. Descriptive Summary**

Planning Area 8, as depicted on Figure III.B-4, provides for the development of a 59.8-acre high school under the jurisdiction of the Perris Union High School District that will serve grades 9 through 12. Typical athletic equipment provided by Perris Union High School District may include tennis courts, volleyball courts, a gym, baseball/softball fields, soccer fields, and a football field and track with bleachers.

**b. Land Use and Development Standards**

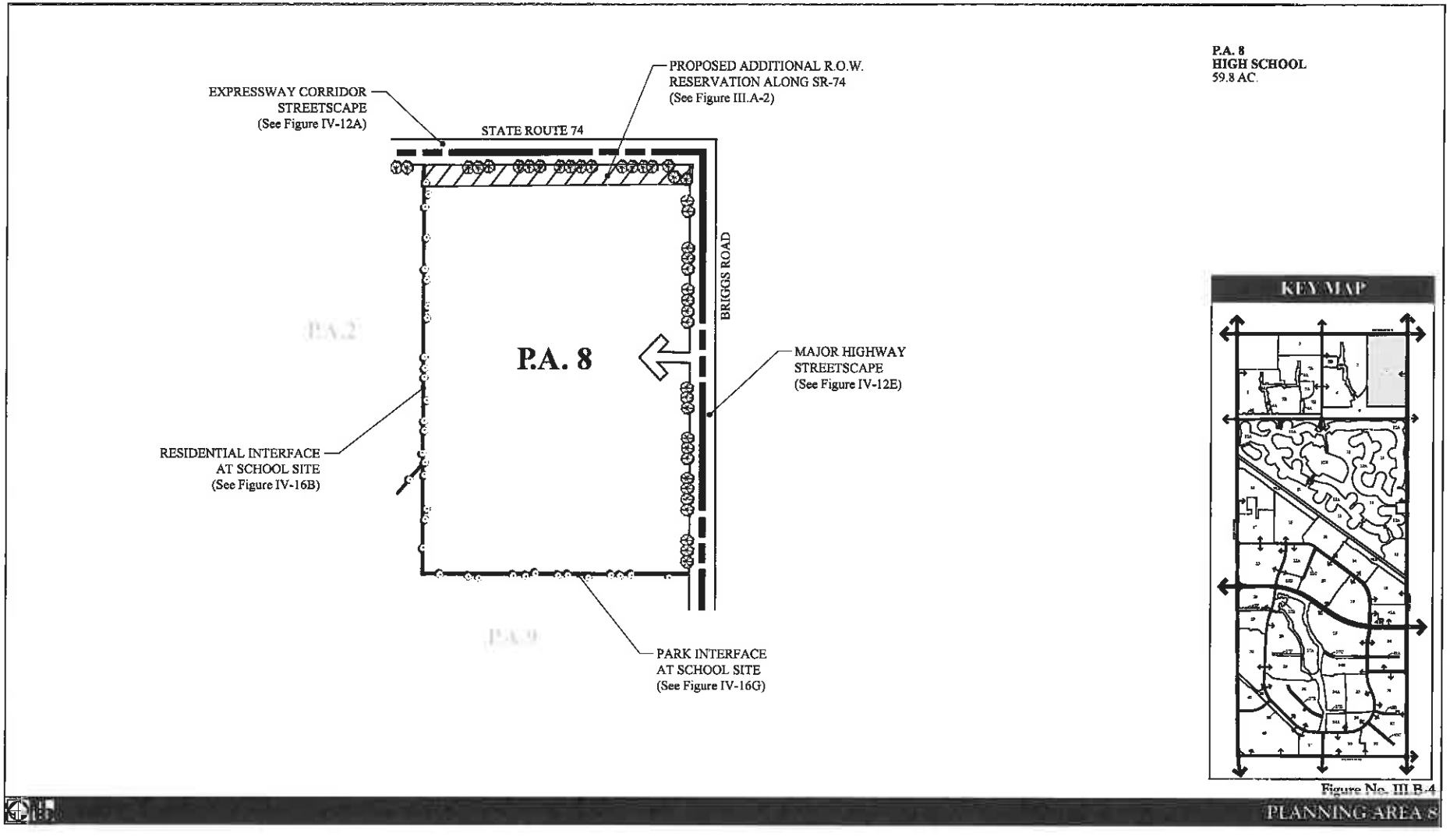
Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 8 may be provided from Briggs Road.
- 2) The high school would be constructed by the School District to its standards and those requirements of the City, in addition to Specific Plan Standards.
- 3) .
- 4) Roadway landscape treatments, as shown on Figures IV-12E, are planned along Briggs Road.
- 5) A high school interface, as shown on Figure IV-16G, is planned to serve as a buffer between the high school and the park site in Planning Area 5.
- 6) A residential interface, as shown on Figure IV-16B, is planned to serve as a buffer between the high school and adjacent residential development (Planning Areas 1 and 2).
- 7) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |





**9. PLANNING AREA 9: COMMUNITY PARK**

**a. Descriptive Summary**

Planning Area 9, as depicted in Figure III.B-5, provides for the development of a 23.0-acre community park. This area is sited adjacent to Planning Areas 6 and 8, McLaughlin Road, Malaga Road, and Briggs Road, and will be connect to the greenbelt in Planning Area 4.

The Master Developer shall be responsible for constructing this community park in Phase V.

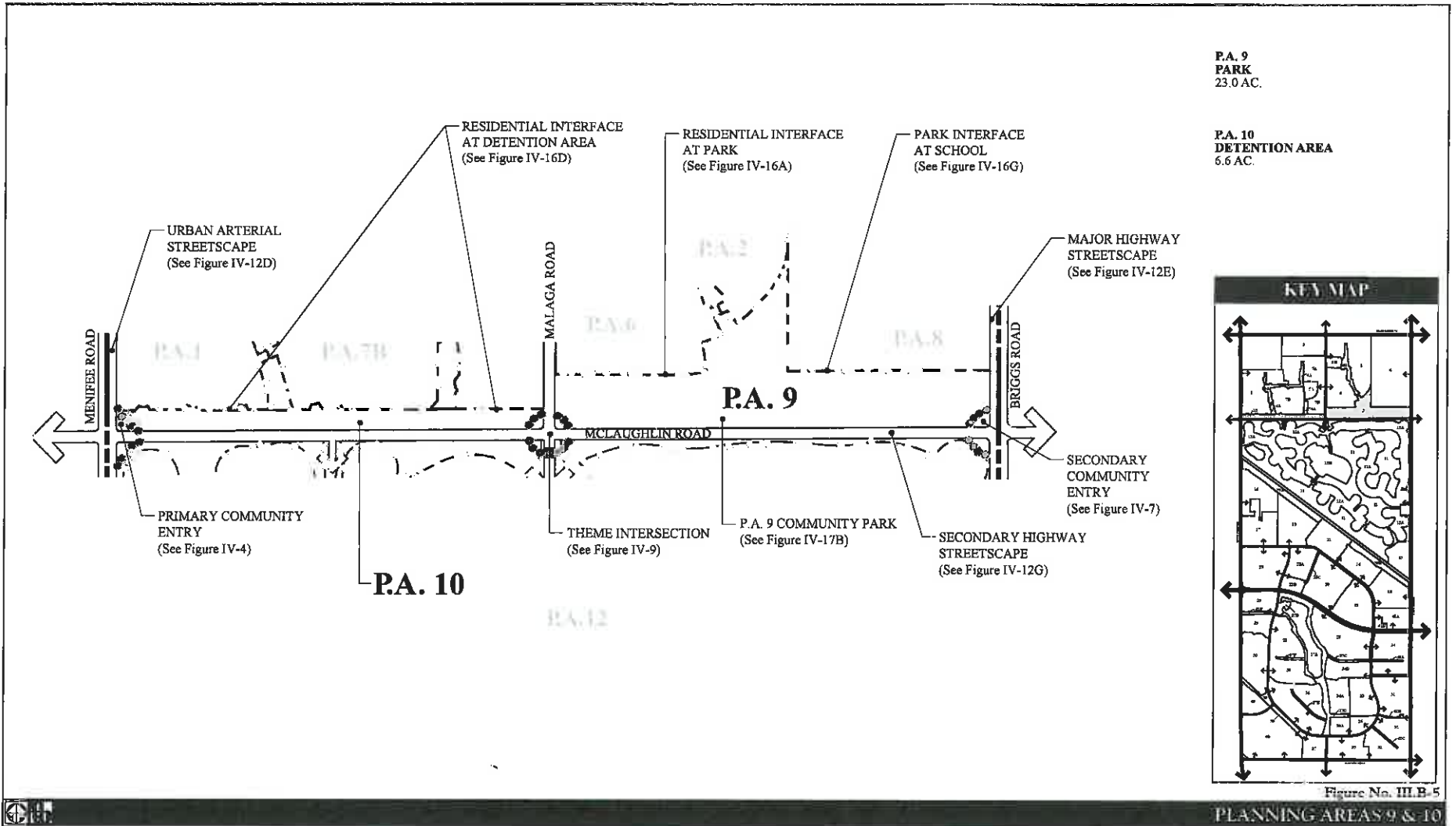
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) A primary community entry, as shown on Figure IV-4, is planned at the intersection of McLaughlin Road and Menifee Road.
- 2) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Briggs Road and McLaughlin Road.
- 3) A theme intersection, as shown on Figure IV-9, is planned at the intersection of McLaughlin Road and Malaga Road.
- 4) Roadway landscape treatments, as shown on Figures IV-12D, IV-12E, and IV-12G, are planned along Menifee Road, Briggs Road, and McLaughlin Road.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**10. PLANNING AREA 10: DETENTION AREA**

**a. Descriptive Summary**

Planning Area 10, as depicted in Figure III.B-5, provides for the development of a 6.6-acre detention area to remain as open space. This area is sited adjacent to Planning Areas 1, 5, 7A, & 7B, McLaughlin Road and Malaga Road, and will be usable as a greenbelt for walking and passive open space purposes.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) A primary community entry, as shown on Figure IV-4, is planned at the intersection of McLaughlin Road and Menifee Road.
- 2) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Briggs Road and McLaughlin Road.
- 3) A theme intersection, as shown on Figure IV-9, is planned at the intersection of McLaughlin Road and Malaga Road.
- 4) Roadway landscape treatments, as shown on Figures IV-12D, IV-12E, and IV-12G, are planned along Menifee Road, Briggs Road, and McLaughlin Road.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**11. PLANNING AREA 11: OPEN SPACE/RECREATION****a. Descriptive Summary**

Planning Area 11, as depicted in Figure III.B-6, provides for 151.0 acres of open space/recreation and will offer passive and active recreational opportunities for the senior housing planned for development in Planning Areas 12A and 12B. This area is bounded by Menifee Road, McLaughlin Road, Briggs Road and the BNSF Railroad tracks. Proposed amenities for the open space/meadows may include:

- Community Clubhouse w/ pool and spa
- Basketball courts
- Tennis courts
- Gathering spaces
- Shade tree plantings and rolling turf areas
- Picnic and barbecue facilities
- Walking and hiking trails
- Lakes and ponds
- Restrooms

**b. Land Use and Development Standards**

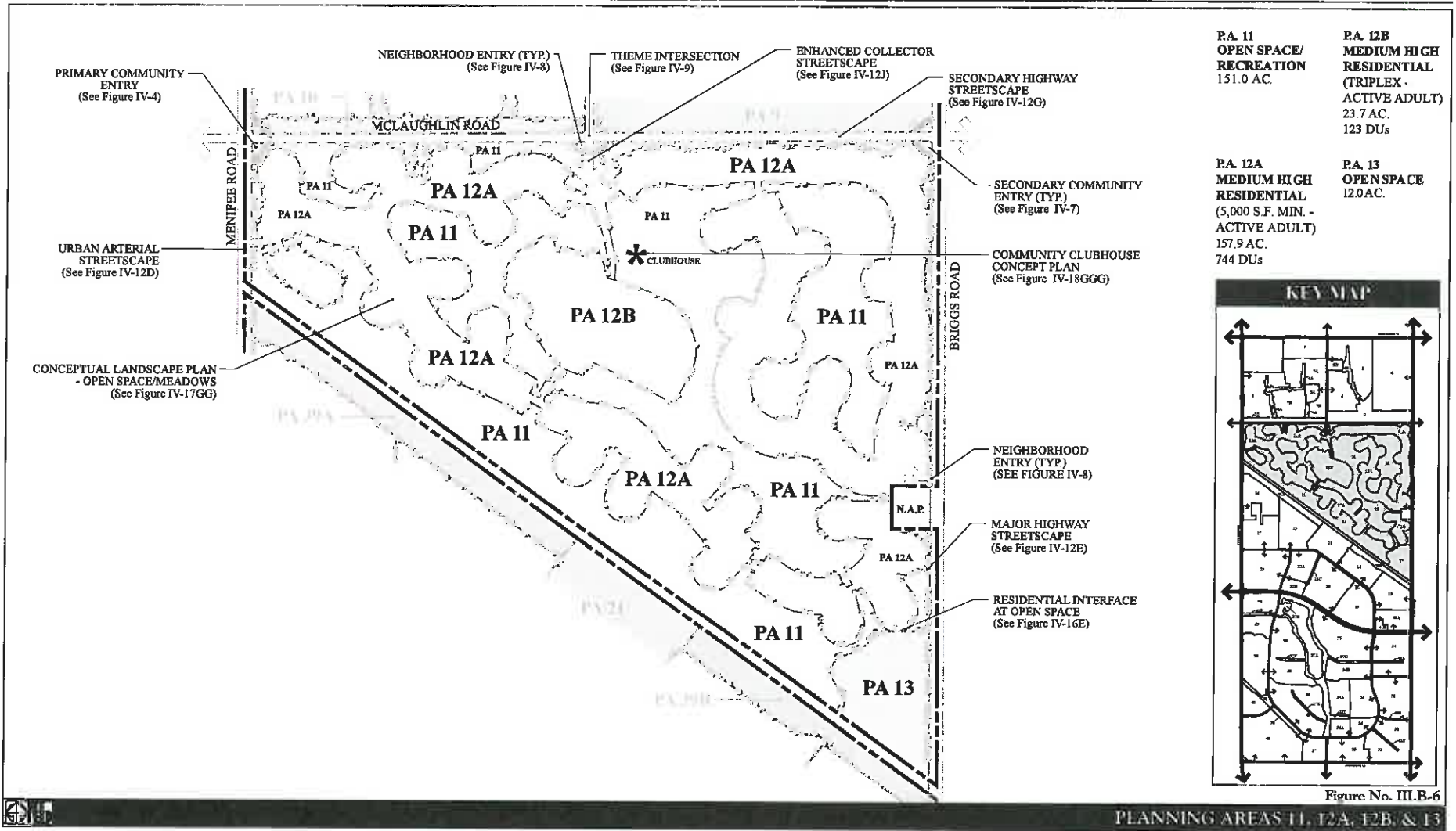
Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 11 shall be provided from Malaga Road and Briggs Road.
- 2) A primary community entry, as shown on Figure IV-4, is planned at the intersection of McLaughlin Road and Menifee Road.
- 3) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of McLaughlin Road and Briggs Road.
- 4) Roadway landscape treatments, as shown on Figures IV-12D, IV-12E, and IV-12G are planned along Menifee Road, Briggs Road, and McLaughlin Road.
- 5) Interfaces, as shown on Figures IV-16F, is planned as a buffer between residential and open space land uses.
- 6) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 12 from Malaga Road and Briggs Road.
- 7) A theme intersection, as shown on Figure IV-9, is planned at the intersection of Malaga and McLaughlin Roads.

- 8) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 9) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**12A. PLANNING AREA 12A: MEDIUM-HIGH DENSITY RESIDENTIAL – ACTIVE ADULT**

**a. Descriptive Summary**

Planning Area 12A, as depicted on Figure III.B-6, provides for the development of 157.9 acres of active adult -oriented single-family residential homes on minimum lot sizes of 5,000 square feet. A maximum of 744 dwelling units is planned at a target density of 5.0 du/ac for the senior community (density range 5.1-8 du/ac, medium-high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 12A shall be provided from Malaga Road and Briggs Road.
- 2) A primary community entry, as shown on Figure IV-4, is planned at the intersection of McLaughlin Road and Menifee Road.
- 3) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of McLaughlin Road and Briggs Road.
- 4) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 12 from Malaga Road and Briggs Road.
- 5) Roadway landscape treatments, as shown on Figures IV-12D, 12E and 12G are planned along Menifee Road, Briggs Road, and McLaughlin Road.
- 6) Residential interfaces, as shown on Figure IV-16F, are planned as buffers between residential and open space.
- 7) A theme intersection, as shown on Figure IV-9, is planned at the intersection of Malaga and McLaughlin Roads.
- 8) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 9) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**12B. PLANNING AREA 12B: MEDIUM-HIGH DENSITY RESIDENTIAL – ACTIVE ADULT**

**a. Descriptive Summary**

Planning Area 12B, as depicted on Figure III.B-6, provides for the development of 23.7 acres of active adult -oriented attached triplex homes. A maximum of 123 dwelling units is planned at a target density of 5.2 du/ac (density range 5.1-8 du/ac, medium-high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 12B shall be provided from Malaga Road and Briggs Road.
- 2) A primary community entry, as shown on Figure IV-4, is planned at the intersection of McLaughlin Road and Menifee Road.
- 3) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of McLaughlin Road and Briggs Road.
- 4) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 12 from Malaga Road and Briggs Road.
- 5) Roadway landscape treatments, as shown on Figures IV-12D, 12E and 12G are planned along Menifee Road, Briggs Road, and McLaughlin Road.
- 6) Residential interfaces, as shown on Figure IV-16F, are planned as buffers between residential and open space.
- 7) A theme intersection, as shown on Figure IV-9, is planned at the intersection of Malaga and McLaughlin Roads.
- 8) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 9) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**13. PLANNING AREA 13: OPEN SPACE**

**a. Descriptive Summary**

Planning Area 13, as depicted in Figure III.B-6, provides for 12.0 acres to remain as natural open space. This area is sited adjacent to the open space/meadows and senior residential community at the intersection of Briggs Road and the BNSF Railroad tracks.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 13 shall be provided from Briggs Road and the senior community.
- 2) A roadway landscape treatment, as shown on Figure IV-12E, is planned along Briggs Road.
- 3) An interface, as shown on Figure IV-16F, is planned as a buffer between the proposed open space area, railroad tracks, and adjacent residential land uses.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**14. PLANNING AREA 14: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 14, as depicted on Figure III.B-7, provides for the development of 17.8 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 69 dwelling units is planned at a target density of 3.9 du/ac (density range 2.1-5 du/ac, medium density).

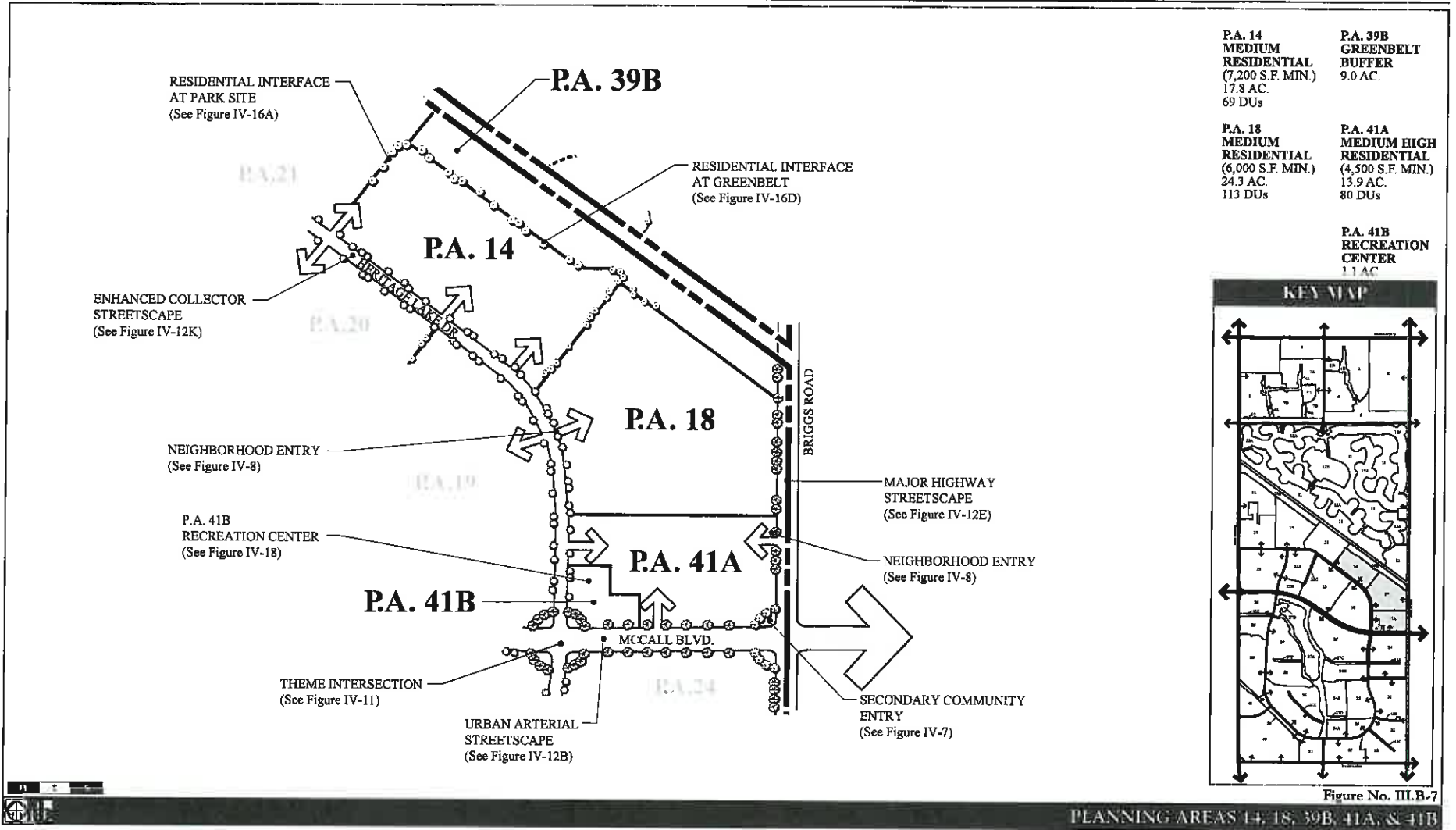
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Primary access to Planning Area 14 shall be provided from Heritage Lake Drive.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 14 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 4) A 9.0 acre greenbelt (Planning Area 39B) is planned as a buffer between the residential land uses in Planning Areas 14 and 18 and the railroad tracks.
- 5) Residential interfaces, as shown on Figures IV-16D and IV-16C, are planned as a buffer between residential and greenbelt.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**15. PLANNING AREA 15: MEDIUM-HIGH DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 15, as depicted on Figure III.B-8, provides for the development of 27.9 acres devoted to single family residential uses on minimum lot sizes of 5,000 square feet. A maximum total of 150 dwelling units are planned at a target density of 5.4 du/ac (density range 5-8 du/ac, medium-high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 15 shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 15 from Heritage Lake Drive and Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figures IV-12K, is planned along Heritage Lake Drive.
- 4) Residential interfaces, as shown on Figures IV-16A and IV-16D, are planned along the northern and eastern boundaries of Planning Area 15 to serve as a buffer between residential, greenbelt (Planning Area 39A) and park (Planning Area 21) uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

<b>P.A. 15</b> MEDIUM HIGH RESIDENTIAL (5,000 S.F. MIN.) 27.9 AC. 150 DUs	<b>P.A. 39A</b> GREENBELT BUFFER 12.0 AC.
--	--

<b>P.A. 16</b> MEDIUM RESIDENTIAL (6,000 S.F. MIN.) 26.2 AC. 112 DUs
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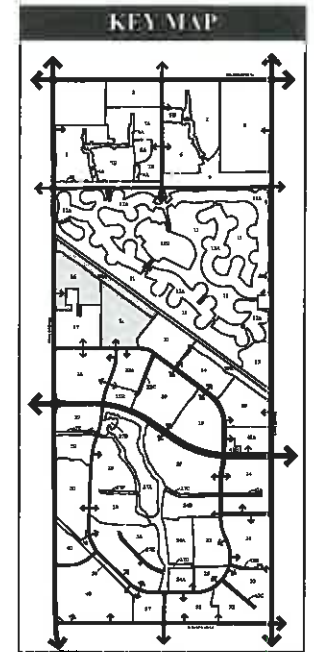
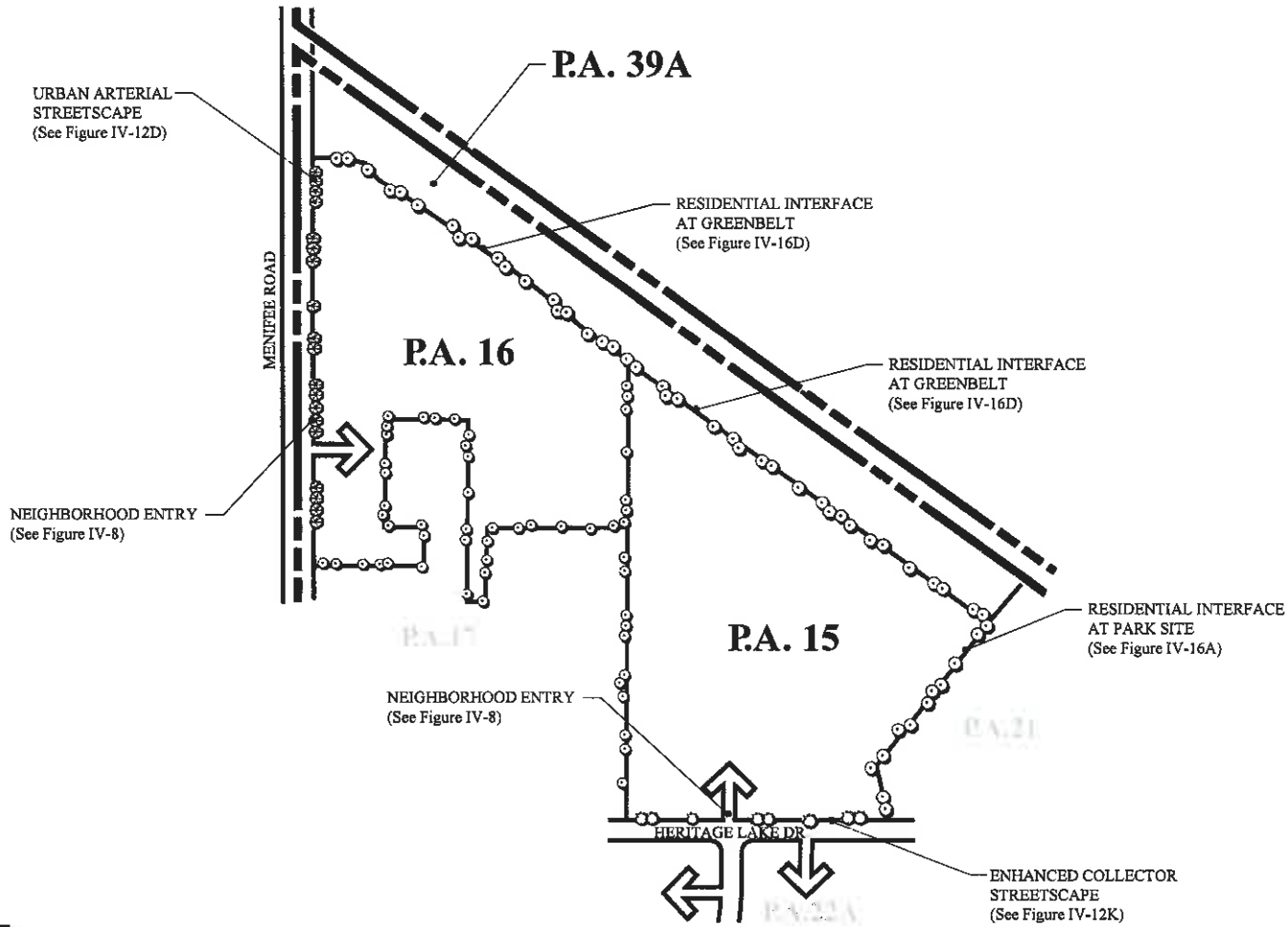


Figure No. III.B-8

PLANNING AREAS 15, 16, & 39A



**16. PLANNING AREA 16: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 16, as depicted on Figure III.B-8, provides for the development of 26.2 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 112 dwelling units is planned at a target density of 4.3 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 16 shall be provided from Menifee Road.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 16 from Menifee Road.
- 3) A roadway landscape treatment, as shown on Figure IV-12D, is planned along Menifee Road.
- 4) Residential interface, as shown on Figure IV-16D, is planned along the northern boundary of Planning Area 16 to serve as a buffer between residential and greenbelt (Planning Area 39A) uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**17. PLANNING AREA 17: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 17, as depicted on Figure III.B-9, provides for the development of 28.6 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 102 dwelling units is planned at a target density of 3.6 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

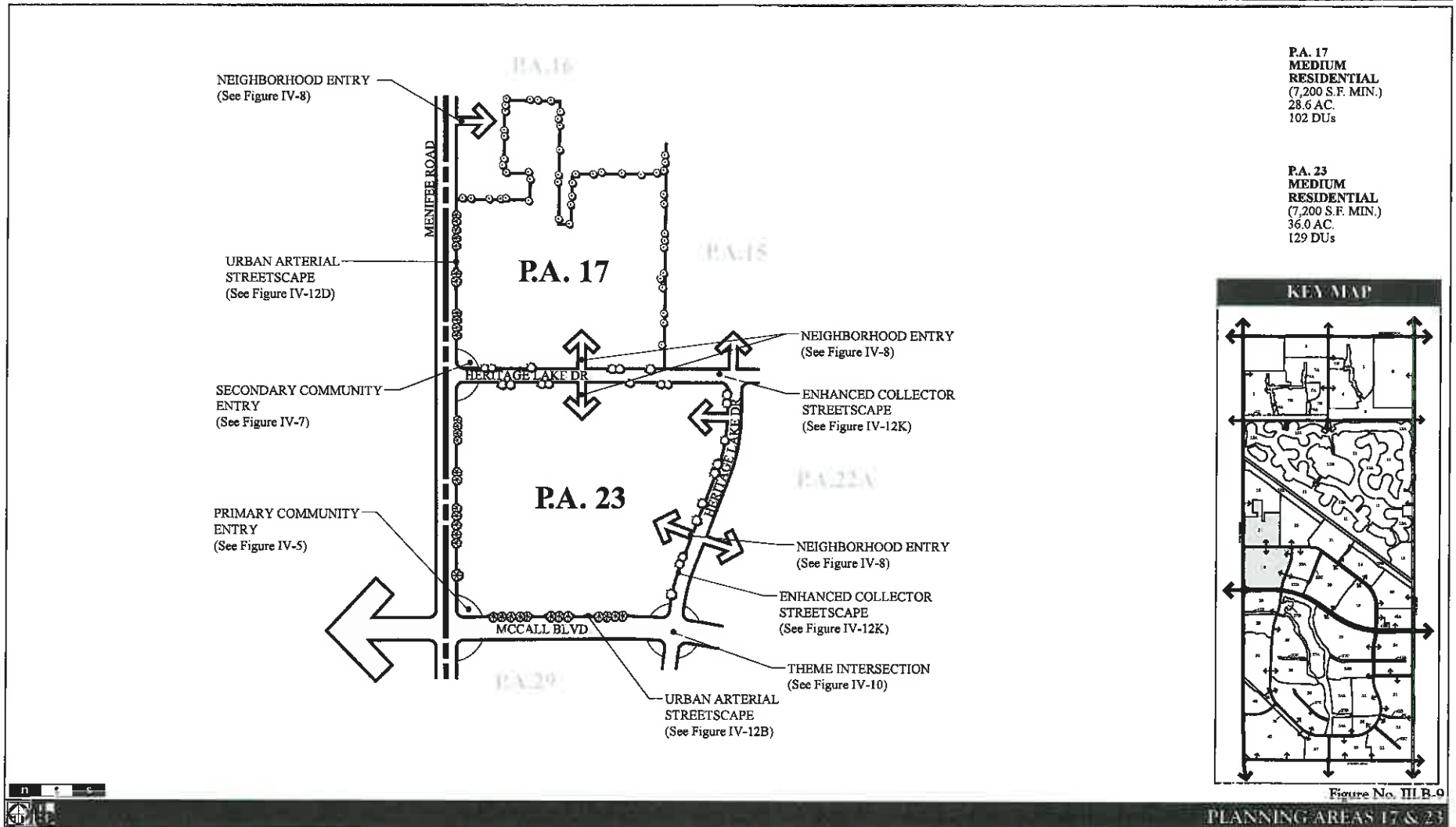
Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 17 shall be provided from Menifee Road and Heritage Lake Drive.
- 2) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Menifee Road and Heritage Lake Drive.
- 3) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 17 from Menifee Road and Heritage Lake Drive.
- 4) Roadway landscape treatments, as shown on Figures IV-12D and IV-12K, are planned along Menifee Road and Heritage Lake Drive.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |





**18. PLANNING AREA 18: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 18, as depicted on Figure III.B-7, provides for the development of 24.3 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 113 dwelling units is planned at a target density of 4.7 du/ac (density range 2.1-5 du/lac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Primary Access to Planning Area 18 shall be provided from Heritage Lake Drive.
- 2) A neighborhood entry, as shown on Figure IV-8, is planned at the entrance into Planning Area 18 from Heritage Lake Drive.
- 3) Roadway landscape treatments, as shown on Figures IV-12B, IV-12E and IV-12K, are planned along Briggs Road, McCall Boulevard and Heritage Lake Drive.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**19. PLANNING AREA 19: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 19, as depicted on Figure III.B-10, provides for the development of 28.3 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 117 dwelling units is planned at a target density of 4.1 du/ac (density range 2.1-5 du/ac, medium density).

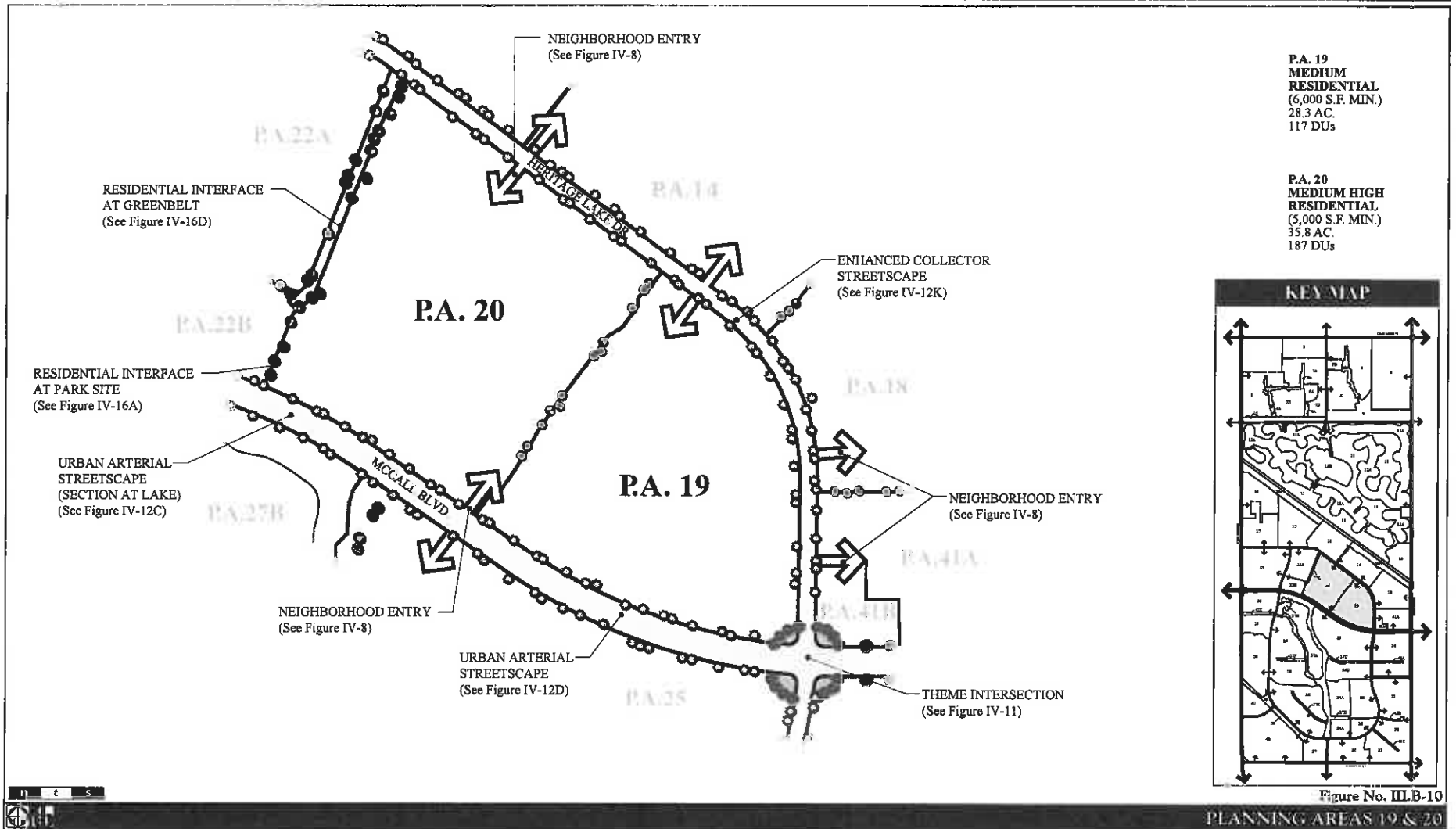
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 19 shall be provided from McCall Boulevard and Heritage Lake Drive.
- 2) A theme intersection, as shown on Figure IV-11, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 3) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 19 from McCall Boulevard and from Heritage Lake Drive.
- 4) Roadway landscape treatments, as shown on Figures IV-12B and IV-12K, are planned along McCall Boulevard and Heritage Lake Drive.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**20. PLANNING AREA 20: MEDIUM-HIGH DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 20, as depicted on Figure III.B-10, provides for the development of 35.8 acres devoted to single family residential uses on minimum lot sizes of 5,000 square feet. A maximum total of 187 dwelling units is planned at a target density of 5.2 du/ac (density range 5.1-8 du/ac, medium-high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 20 shall be provided from Heritage Lake Drive and McCall Boulevard.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrance into Planning Area 20 from Heritage Lake Drive and McCall Boulevard.
- 3) Roadway landscape treatments, as shown on Figures IV-12B and IV-12K, are planned along McCall Boulevard and Heritage Lake Drive.
- 4) Residential interfaces, as shown on Figures IV-16A and IV-16B, are planned as buffers between residential, school and park land uses.
- 5) A 1.2-acre landscaped greenbelt (Planning Area 22C) will provide a buffer between the residential uses in Planning Area 20 and the K-8 school in Planning Area 22A and serve as a visual and recreational amenity.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**21. PLANNING AREA 21: COMMUNITY PARK****a. Descriptive Summary**

Planning Area 21, as depicted on Figure III.B-11, provides for the development of a 20.1-acre community park. Proposed amenities for the park may include:

- Sand volleyball courts
- Basketball courts
- Tot lot
- Shade tree plantings and rolling turf areas
- Picnic facilities
- On-site parking
- Restrooms
- Sports fields such as soccer/football fields, baseball/softball fields, and roller hockey
- Night sports lighting

The Master Developer shall be responsible for construction of the community park in Phase IV. The land for the 22.2-acre community park in Planning Area 21 shall be dedicated and the park designed prior to the completion of the 400<sup>th</sup> dwelling unit in Planning Areas 14, 18, 19, 20, 24, ~~and-25, and 41A~~. It shall be half constructed prior to the completion of the 500<sup>th</sup> dwelling unit anywhere within Planning Areas 14, 18, 19, 20, 24, ~~and-25, and 41A~~. Construction shall be finished prior to the completion of the 600<sup>th</sup> dwelling unit within Planning Areas 14, 18, 19, 20, 24, ~~and-25, and 41A~~.

**b. Land Use and Development Standards**

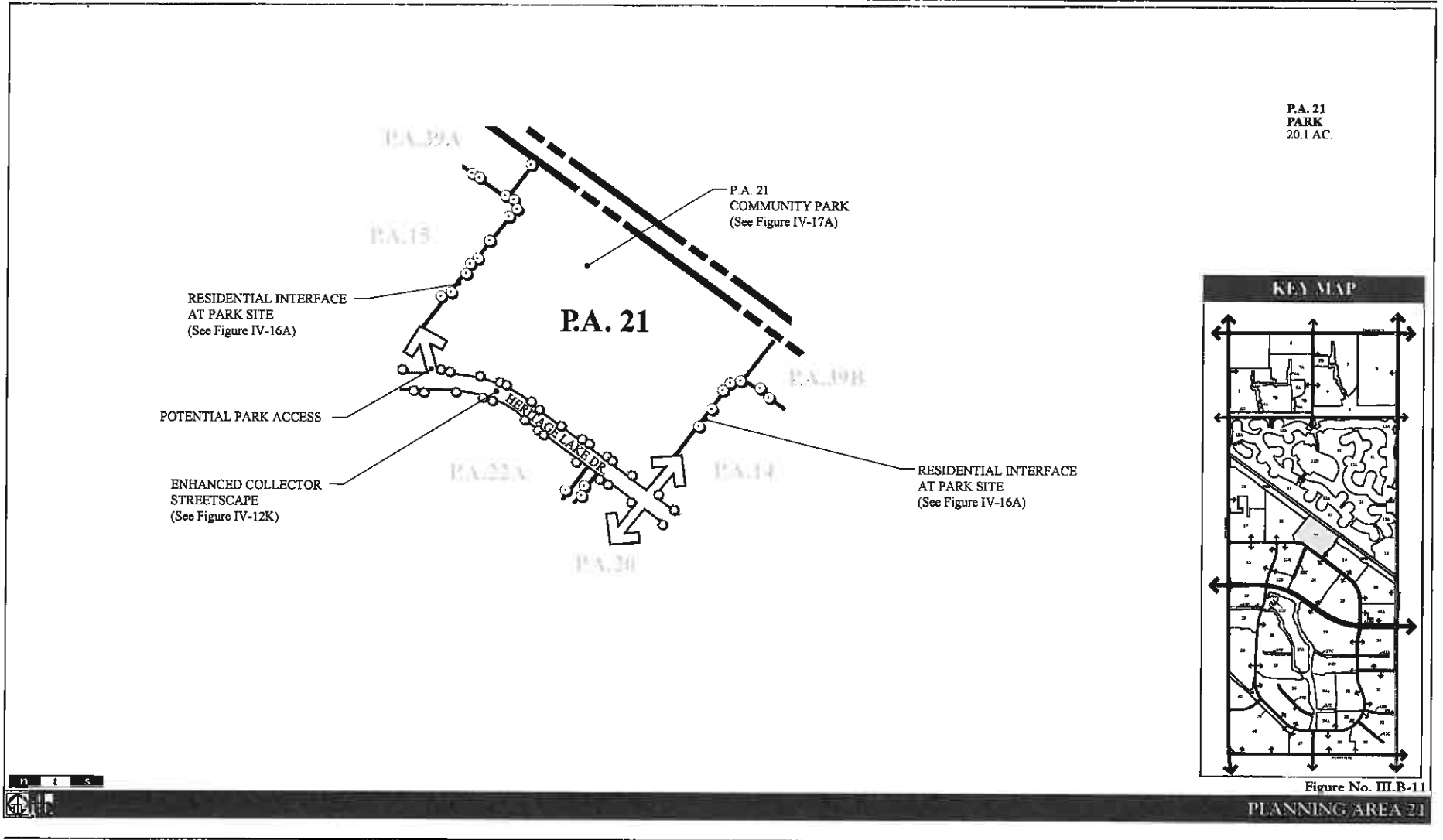
Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 21 shall be provided from Heritage Lake Drive.
- 2) Roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 3) Park interfaces, as shown on Figure IV-16A, are planned as buffers between the proposed park and the adjacent residential land uses.
- 4) The park plan shall be further delineated as conceptually shown on Figure IV-17A.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.

- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

III.A.2: Specific Land Use Plan	III.A.6: Water, Reclaimed Water & Sewer Plans
III.A.3: Circulation Plan	III.A.7: Grading Plan
III.A.4: Open Space & Recreation Plan	III.A.8: Public Facility Sites & Phasing Plan
III.A.5: Drainage Plan	III.A.9: Landscaping Plan
	III.A.10: Comprehensive Maintenance Plan





**22A. PLANNING AREA 22A: K-8 SCHOOL**

**a. Descriptive Summary**

Planning Area 22A, as depicted in Figure III.B-12, provides for the development of a 15.1-acre school under the jurisdiction of the Romoland School District that will serve grades K through 8. The school site is located adjacent to proposed park site to enable the schools to take advantage of additional recreational and joint use opportunities.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 22A shall be provided from Heritage Lake Drive and/or Heritage Lake Drive.
- 2) The K-8 school will be constructed by the School District to its standards and those requirements of the City, in addition to Specific Plan Standards.
- 4) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 5) School and park interface, as shown on Figure IV-16H, is planned to serve as buffers between the school and adjacent park land uses.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

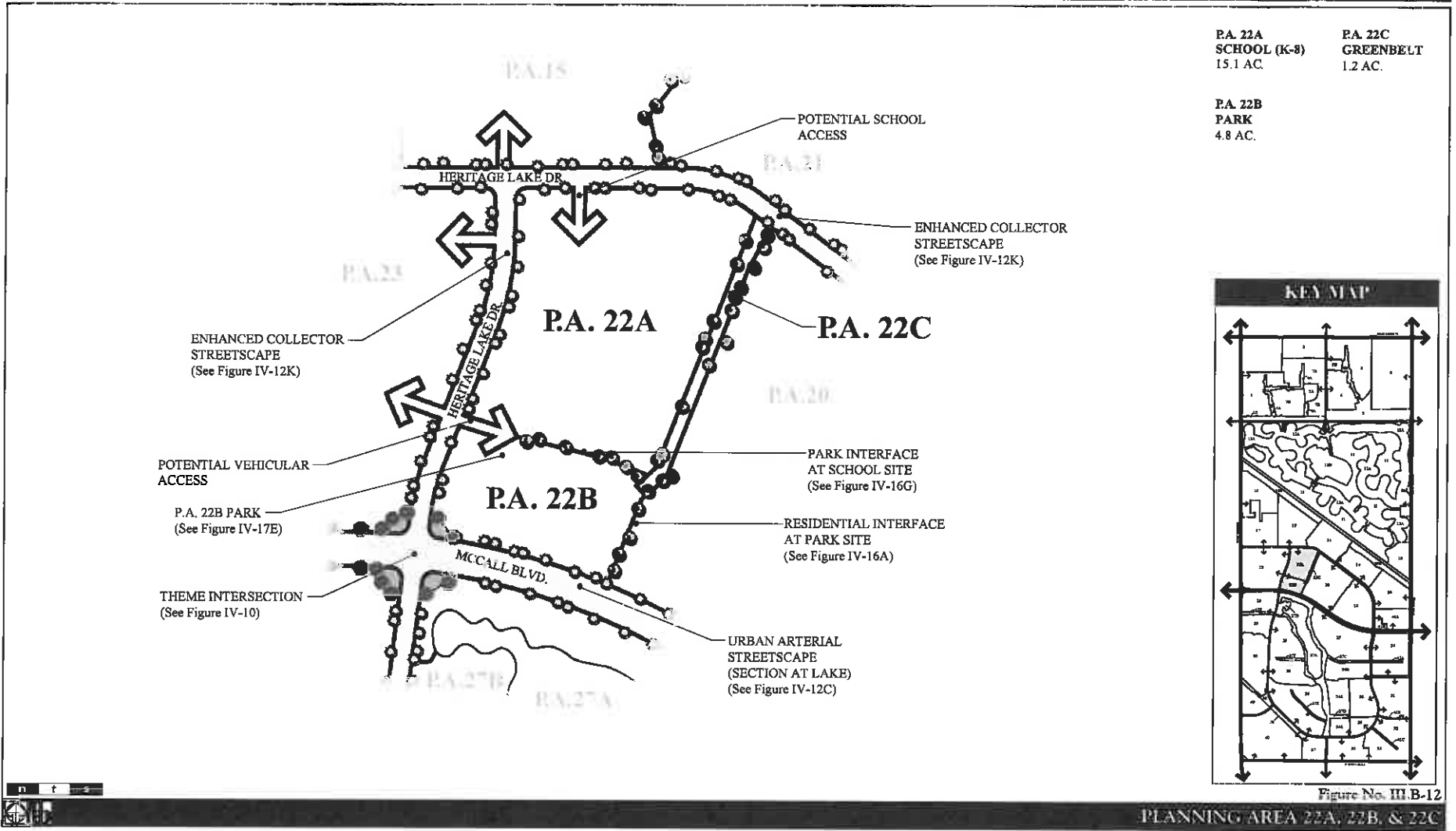


Figure No. III.B-12  
PLANNING AREA 22A, 22B, & 22C

**22B. PLANNING AREA 22B: NEIGHBORHOOD PARK**

**a. Descriptive Summary**

Planning Area 22B, as depicted in Figure III.B-12, provides for the development of a 4.8-acre neighborhood park. The park is expected to include basketball court, playground, benches, shade trees, and rolling turf areas. A limited number of on-site parking is provided, since the park is intended to serve primarily pedestrians. The park is planned to be primarily passive and reflective in nature. Off-street parking is expected to be available in the evenings and weekends at the adjacent K-8 school.

The park in Planning Area 22B will be constructed in Phase I by the Master Developer. The land shall be dedicated and the park shall be designed prior to the completion of the 100<sup>th</sup> dwelling unit in Planning Areas 28, 29, 30, and 36. Construction shall be finished prior to the completion of the 200<sup>th</sup> dwelling unit within Planning Areas 28, 29, 30, and 36.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Vehicular access to Planning Area 22B, if provided, shall be from Heritage Lake Drive. No vehicular access shall be permitted from McCall Boulevard.
- 2) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 3) The park plan shall be further delineated as conceptually shown on Figure IV-17C.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**22C. PLANNING AREA 22C: GREENBELT**

**a. Descriptive Summary**

Planning Area 22C, as depicted in Figure III.B-12, provides for the development of a 1.2-acre greenbelt sited adjacent to Planning Areas 20, 21, 22A, & 22B. This planning area is part of a network of open space designed to provide access between the parks located in Planning Areas 21, 22B, 27A, and 37.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**23. PLANNING AREA 23: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 23, as depicted on Figure III.B-9, provides for the development of 36.0 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 129 dwelling units is planned at a target density of 3.6 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 23 shall be provided from Heritage Lake Drive and Heritage Lake Drive.
- 2) A primary community entry, as shown on Figure IV-5, is planned at the intersection of Menifee Road and McCall Boulevard.
- 3) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Menifee Road and Heritage Lake Drive.
- 4) A theme intersection, as depicted on Figure IV-10, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 5) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances to Planning Area 23 from Heritage Lake Drive and Heritage Lake Drive.
- 6) Roadway landscape treatments, as shown on Figures IV-12B, IV-12D and IV-12K, are planned along McCall Boulevard, Menifee Road, Heritage Lake Drive and Heritage Lake Drive.
- 7) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**24. PLANNING AREA 24: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 24, as depicted on Figure III.B-13, provides for the development of 31.2 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 116 dwelling units is planned at a target density of 3.7 du/ac (density range 2.1-5 du/ac, medium density).

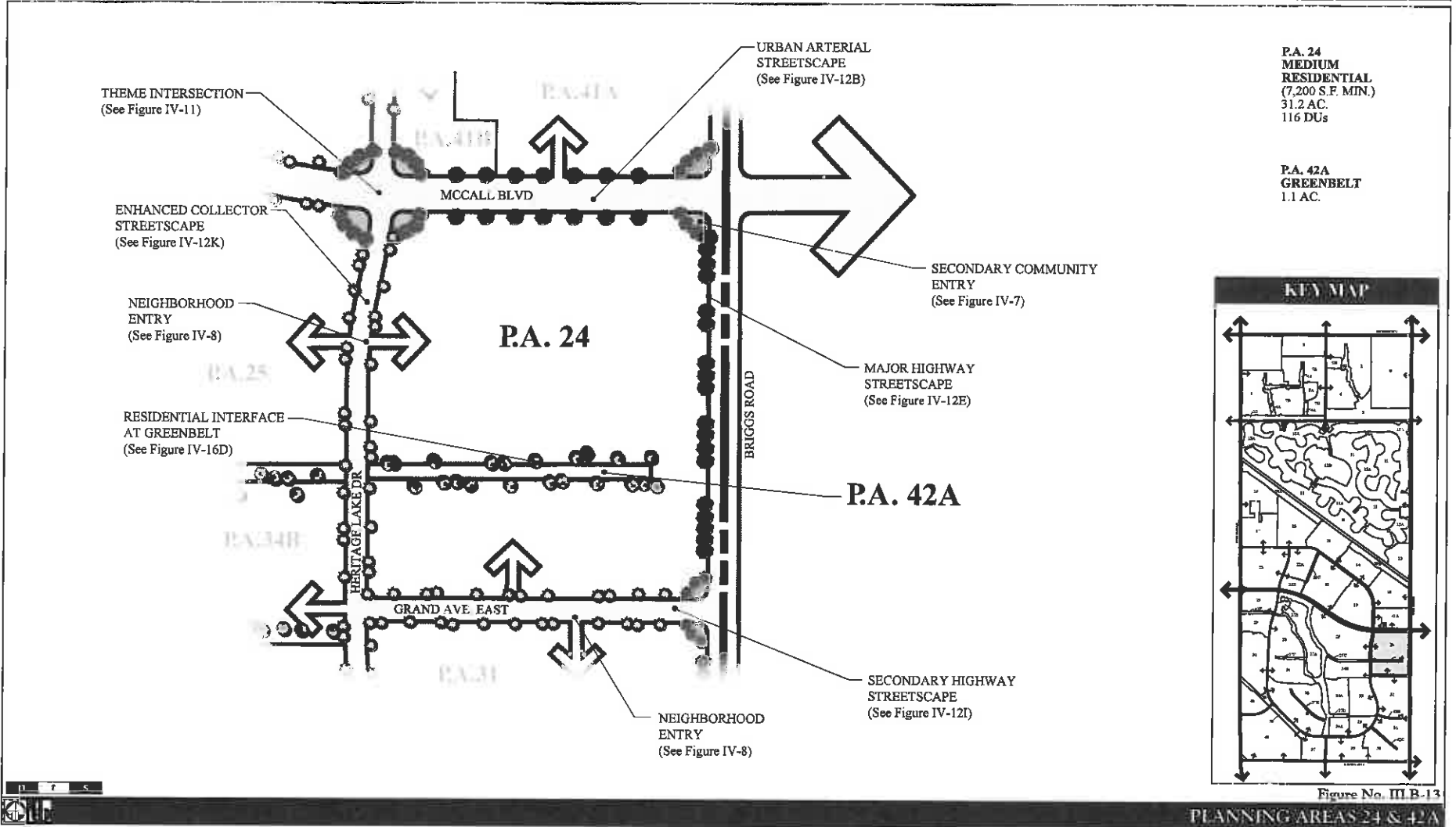
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 24 shall be provided from Grand Avenue East and Heritage Lake Drive.
- 2) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Briggs Road and McCall Boulevard.
- 3) A theme intersection, as shown on Figure IV-11, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 4) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances to Planning Area 24 from Grand Avenue East and Heritage Lake Drive.
- 5) Roadway landscape treatments, as shown on Figures IV-12B, IV-12E, IV-12I and IV-12K, are planned along McCall Boulevard, Briggs Road, Grand Avenue East and Heritage Lake Drive.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**25. PLANNING AREA 25: MEDIUM-HIGH DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 25, as depicted on Figure III.B-14, provides for the development of 42.3 acres devoted to single family residential uses on minimum lot sizes of 5,000 square feet. A maximum total of 215 dwelling units is planned at a target density of 5.1 du/ac (density range 5.1-8 du/ac, medium high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 25 shall be provided from McCall Boulevard and Heritage Lake Drive.
- 2) A theme intersection, as shown on Figure IV-11, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 3) Neighborhood entries, as shown on Figure IV-8, is planned at the entrance into Planning Area 25 from McCall Boulevard.
- 4) Roadway landscape treatments, as shown on Figures IV-12B and IV-12K, are planned along McCall Boulevard and Heritage Lake Drive.
- 5) Residential interfaces, as shown on Figure IV-16D, are planned along the southern and western boundaries of this planning area to serve as buffers between residential, greenbelt and lake land uses.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**P.A. 25  
 MEDIUM HIGH  
 RESIDENTIAL  
 (5,000 S.F. MIN)  
 42.3 AC.  
 215 DUs**

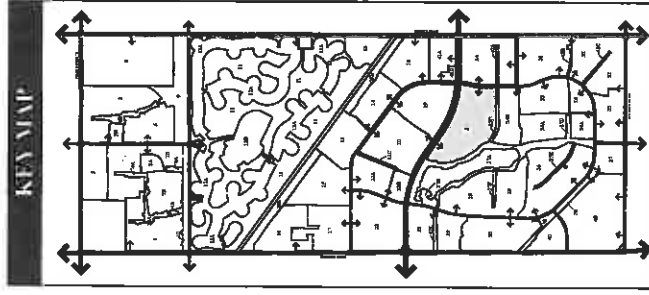
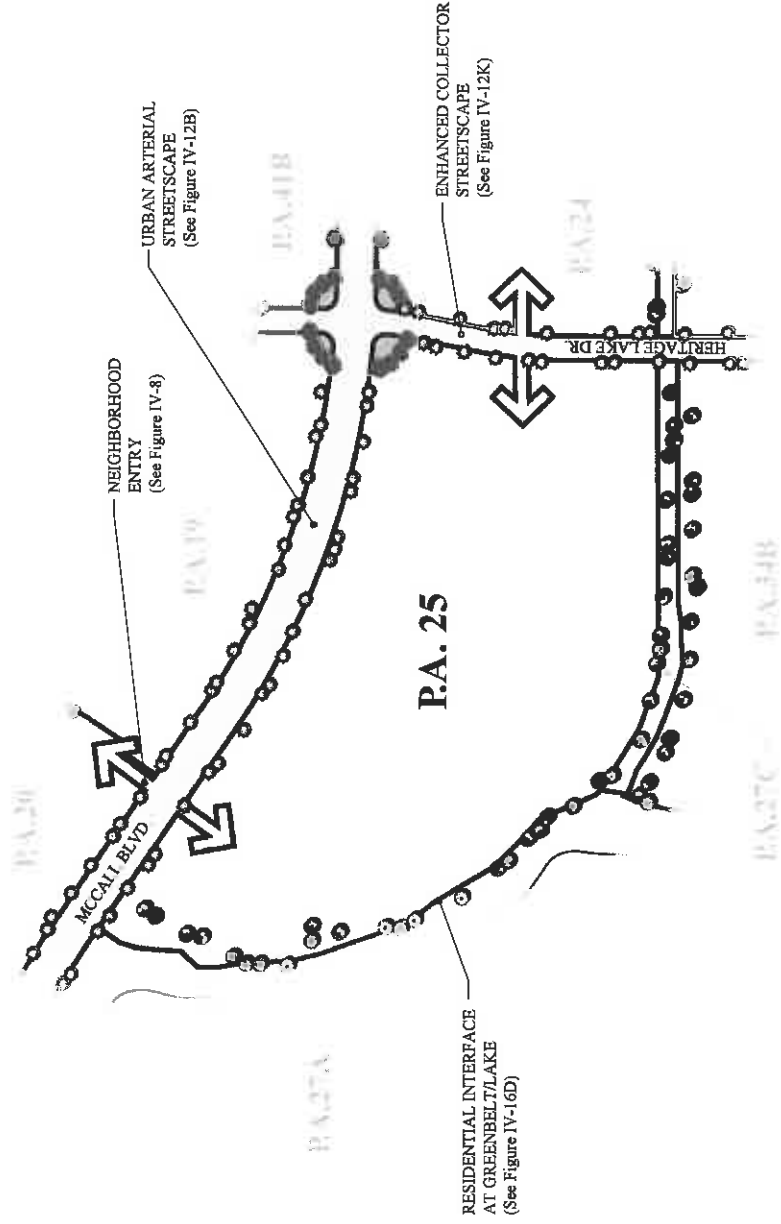


Figure No. III B-14  
 PLANNING AREA 25

**26. PLANNING AREA 26: NEIGHBORHOOD PARK**

**a. Descriptive Summary**

Planning Area 26, as depicted in Figure III.B-15, provides for the development of a 7.6-acre neighborhood park. Proposed amenities for the park may include:

- Sand volleyball courts
- Basketball courts
- Tot lots
- Shade tree plantings and rolling turf areas
- Picnic facilities
- On-site parking

The Master Developer shall be responsible for constructing this neighborhood park in Phase II. The land shall be dedicated and the park shall be designed prior to the completion of the 200<sup>th</sup> dwelling unit in Planning Areas 31, 32, 33, 34A, 34B, and 35. It shall be completed and fully operable prior to the completion of the 400<sup>th</sup> dwelling unit anywhere within Planning Areas 31, 32, 33, 34A, 34B, and 35.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Vehicular access to Planning Area 26 shall be provided from Heritage Lake Drive.
- 2) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 3) A residential interface, as shown on Figure IV-16A, is planned as a buffer between the proposed park and adjacent residential land uses.
- 4) A park interface, as shown on Figure IV-16H, is planned to serve as a buffer between the park site and adjacent school land uses.
- 5) No lighting of sports fields shall be permitted in Planning Area 26.
- 6) The park plan shall be further delineated as conceptually shown on Figure IV-17D.
- 7) Please refer to Section IV for specific Design Guidelines and other related design criteria.

8) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

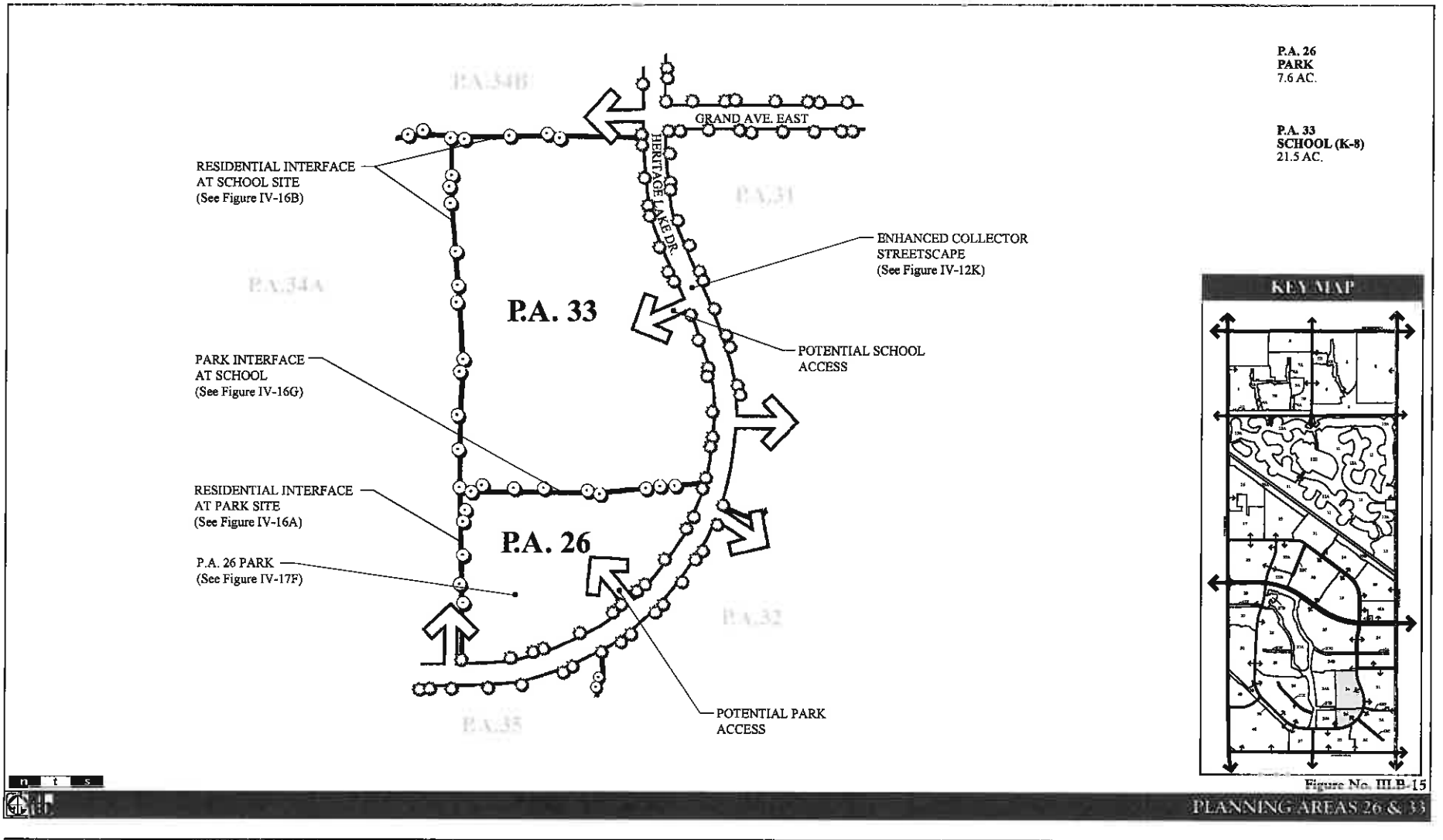


Figure No. III.B-15  
PLANNING AREAS 26 & 33

**27A. PLANNING AREA 27A: GREENBELT/LAKE**

**a. Descriptive Summary**

Planning Area 27A, as depicted on Figure III.B-16, provides for the development of 41.8 acres of greenbelts and lake, of which the lake accounts for 22.6 acres. An additional 19.2 acres of greenbelts are located between Planning Areas 34A and 36. The lake will be centrally located to the residential neighborhoods in the southern portion of MENIFEE VALLEY RANCH, and will provide an attractive visual and recreational element for the community. Parkland surrounding the lake will provide for picnicking, public gathering, and other passive recreational opportunities. The pedestrian path surrounding the lake will connect to the greenbelt system and to the pedestrian path system serving the residential neighborhoods. The lake and greenbelt system will serve a dual use as a centralized amenity and as a flood retention and detention area. The Master Developer shall be responsible for building the lake and greenbelts in Phase I.

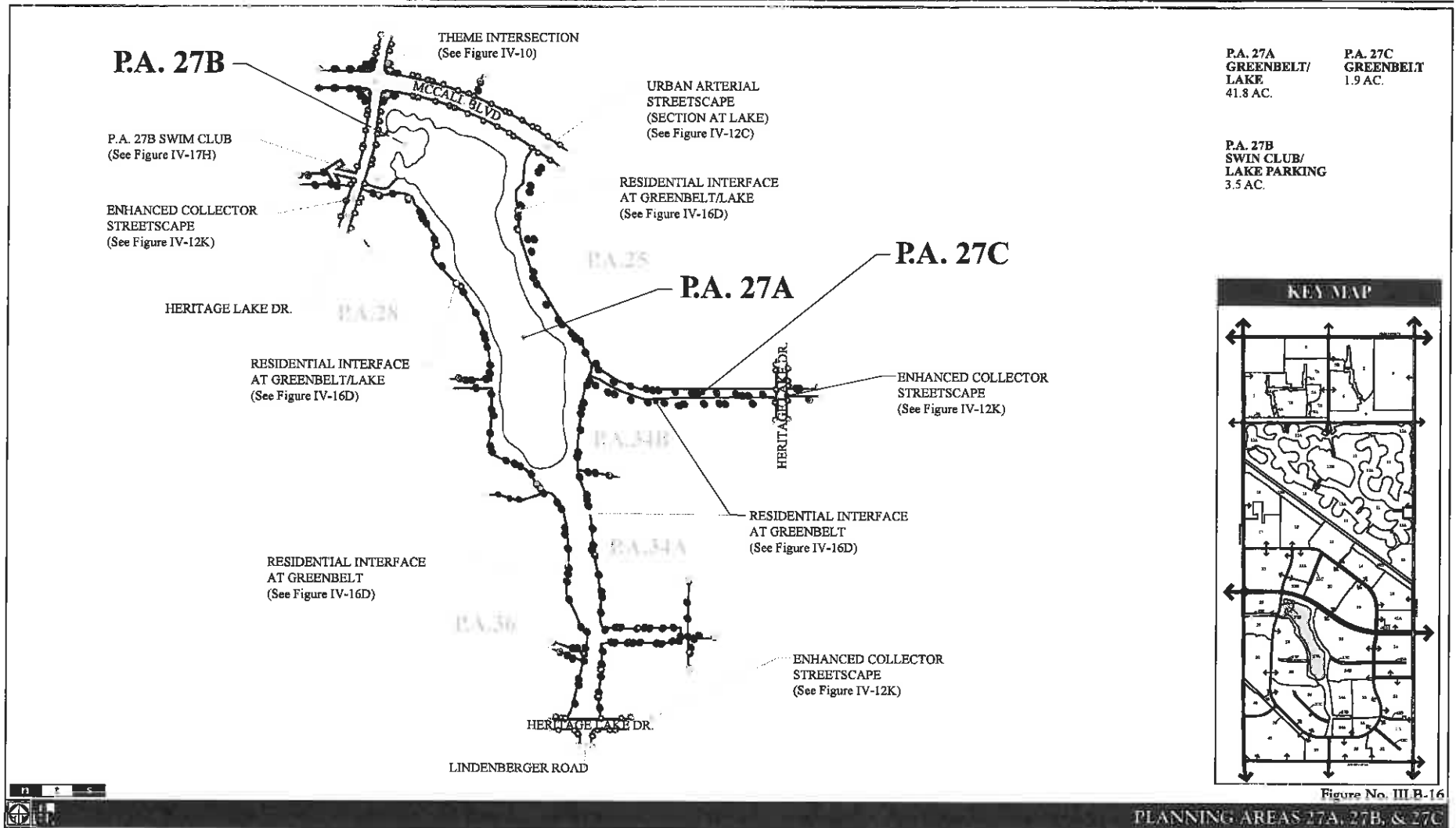
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Pedestrian Access to Planning Area 27A shall be provided from the intersection of Heritage Lake Drive and McCall Boulevard, from Lindenberger Road, from the connecting greenbelt in Planning Area 27C, the park in Planning Area 22B and the detention area in Planning Area 37. Vehicular access will be permitted from Heritage Lake Drive.
- 2) Roadway landscape treatments, as shown on Figures IV-12C, IV-12K, and IV-12I are planned along McCall Boulevard, Heritage Lake Drive, and Lindenberger Road.
- 3) A theme intersection, as shown on Figure IV-10, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 4) A residential interface, as shown on Figure IV-16D, is planned along the boundary of this planning area to serve as a buffer between residential, greenbelt and lake land uses.
- 5) Please refer to Section IV for specific Design Guidelines & other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**27B. PLANNING AREA 27B: SWIM CLUB/LAKE PARKING**

**a. Descriptive Summary**

Planning Area 27B, as depicted on Figure III.B-16, provides for the development of a private 3.5-acre swim club and lake parking. The swim club is expected to include a recreation building with a meeting room, fitness room, swimming pool, spa, and locker room facilities.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 27B shall be provided from the intersection of Heritage Lake Drive, McCall Boulevard and from the interconnecting greenbelt to the park in Planning Area 21.
- 2) Roadway landscape treatments, as shown on Figures IV-12C and 12K, are planned along Heritage Lake Drive and McCall Boulevard.
- 3) The swim club/lake parking plan shall be further delineated as conceptually shown on Figure IV-17F.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**27C. PLANNING AREA 27C-F: GREENBELTS**

**a. Descriptive Summary**

Planning Area 27C-F, as depicted on Figures III.B-16, 17, 20, and 22, provides for the development of 6.5-acres of greenbelts adjacent to Planning Areas 25, 28, 34B, 35, and 36. An additional 19.2 acres of greenbelts are located between Planning Areas 34A and 36 and surrounding the lake. The pedestrian path surrounding the lake will connect to the greenbelt system and to the pedestrian path system serving the residential neighborhoods. The 1.9-acre greenbelt in Planning Area 27C will link with the greenbelt and lake in Planning Area 27A. The lake/greenbelt system will serve a dual use as a centralized amenity and as a flood retention and detention area.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 27C-F shall be provided from Heritage Lake Drive and from the interconnecting greenbelts around Planning Area 27A.
- 2) Roadway landscape treatments, as shown on Figures IV-12K, are planned along Heritage Lake Drive.
- 3) A residential interface, as shown on Figure IV-16D, is planned along the boundary of this planning area to serve as a buffer between residential and greenbelt land uses.
- 4) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**28. PLANNING AREA 28: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 28, as depicted on Figure III.B-17, provides for the development of 46.1 acres devoted to single family residential uses on minimum lot sizes of 8,000 square feet. A maximum total of 173 dwelling units are planned at a target density of 3.8 du/ac (density range 2.1-5 du/ac, medium density).

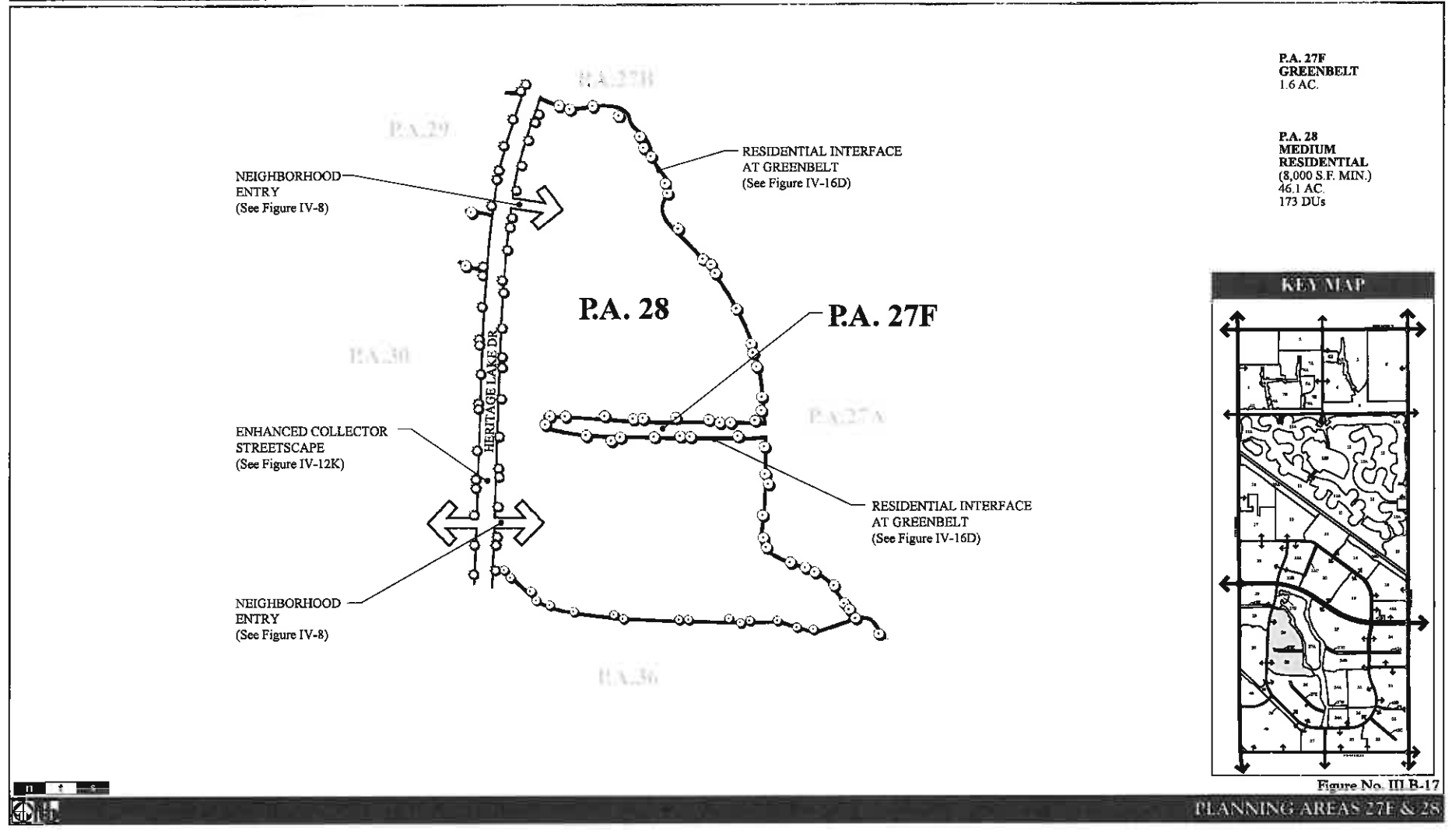
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 28 shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 28 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figure IV-12K is planned along Heritage Lake Drive.
- 4) A residential interface, as shown on Figure IV-16D, is planned along the project boundary to serve as a buffer between residential, greenbelt and lake land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**29. PLANNING AREA 29: MEDIUM-HIGH DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 29, as depicted on Figure III.B-18, provides for the development of 25.3 acres devoted to single family residential uses on minimum lot sizes of 5,000 square feet. A maximum total of 135 dwelling units are planned at a target density of 5.3 du/ac (density range 5.1-8 du/ac, medium-high density).

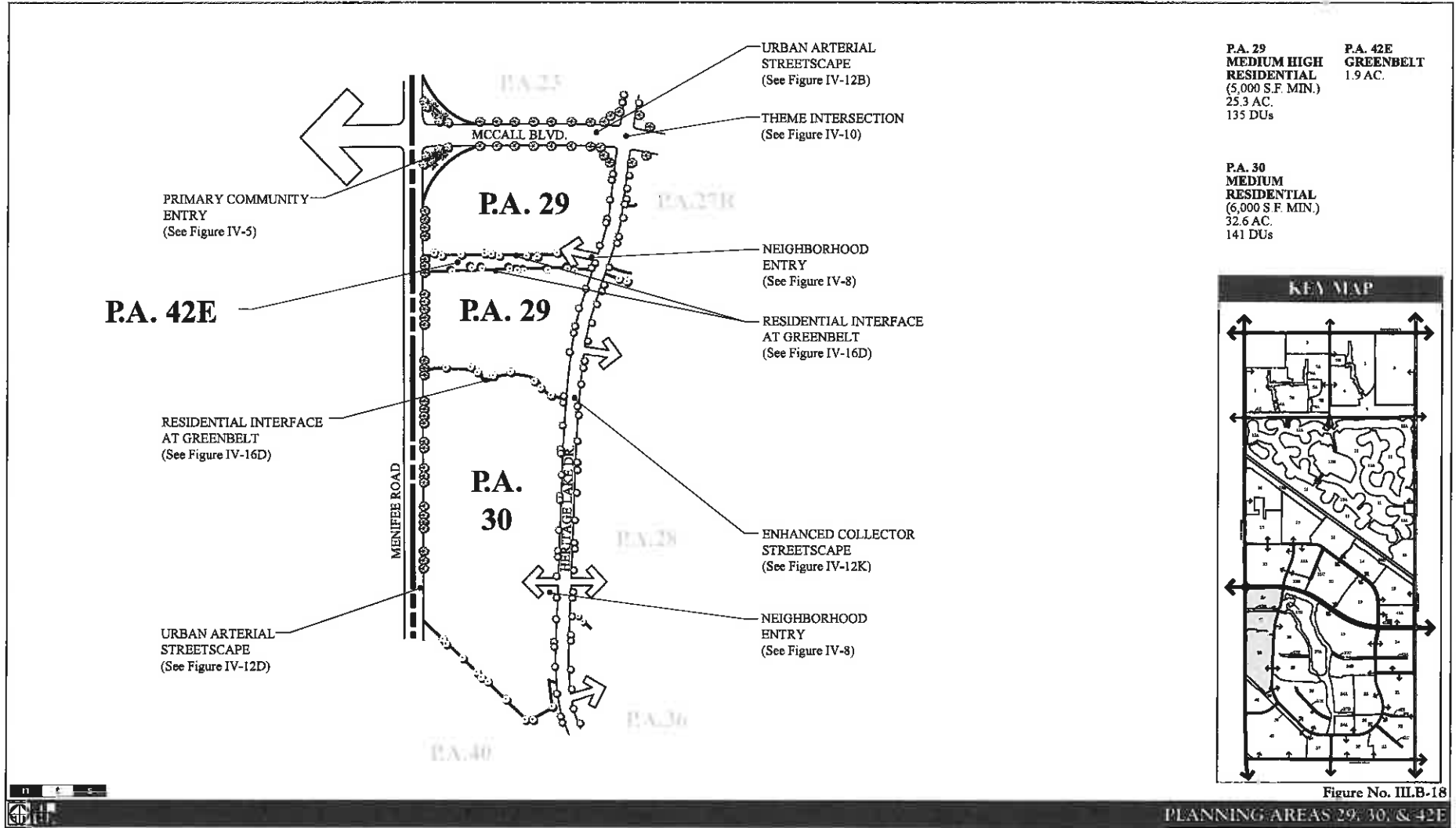
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 29 shall be provided from Loop West.
- 2) A primary community entry, as shown on Figure IV-5, is planned at the intersection of McCall Boulevard and Menifee Road.
- 4) A theme intersection, as depicted on Figure IV-10, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 4) A neighborhood entry, as shown on Figure IV-8, is planned at the entrances into Planning Area 29 from Heritage Lake Drive.
- 5) Roadway landscape treatments, as shown on Figures IV-12B, IV-12D and IV-12K, are planned along McCall Boulevard, Menifee Road and Heritage Lake Drive.
- 6) A residential interface, as shown on Figure IV-16D, is planned along the southern boundary of this planning area to serve as a buffer between residential and greenbelt land uses.
- 7) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 8) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**30. PLANNING AREA 30: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 30, as depicted on Figure III.B-18, provides for the development of 32.6 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 141 dwelling units are planned at a target density of 4.3 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 30 shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 30 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figure IV-12K is planned along Heritage Lake Drive.
- 4) A residential interface, as shown on Figure IV-16D, is planned along the northern boundary of this planning area to serve as a buffer between residential and greenbelt land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**31. PLANNING AREA 31: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 31, as depicted on Figure III.B-19, provides for the development of 28.2 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 110 dwelling units is planned at a target density of 3.8 du/ac (density range 2.1-5 du/ac, medium density).

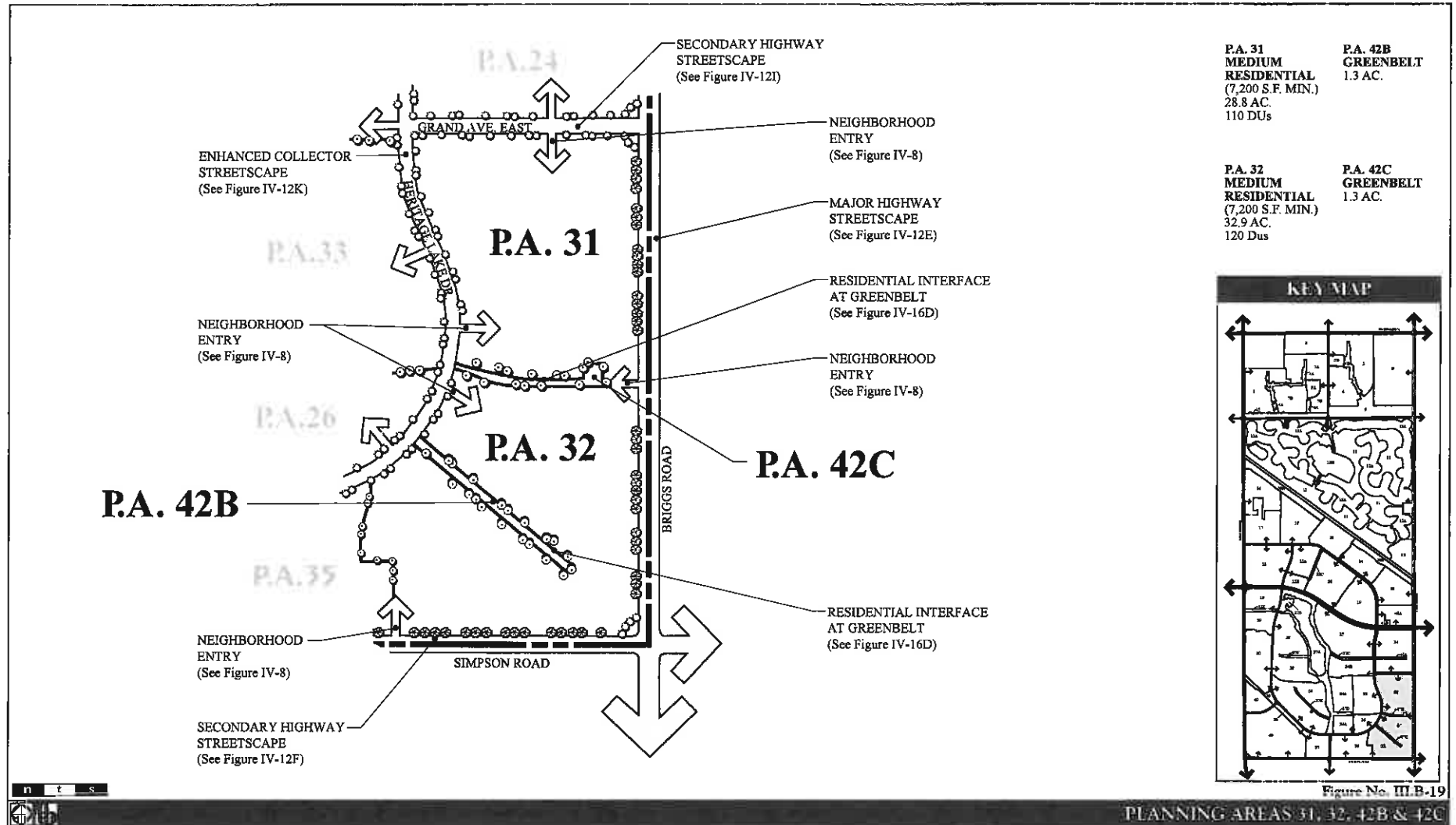
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 31 shall be provided from Grand Avenue East and Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 31 from Grand Avenue and Heritage Lake Drive.
- 3) Roadway landscape treatments, as shown on Figures IV-12E, IV-12I and IV-12K, are planned along Briggs Road, Grand Avenue East and Heritage Lake Drive.
- 4) A 1.3-acre landscaped greenbelt will provide a buffer between the residential uses in Planning Areas 31 and 32 and serve as a visual and recreational amenity.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**32. PLANNING AREA 32: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 32, as depicted on Figure III.B-19, provides for the development of 32.9 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 120 dwelling units is planned at a target density of 3.6 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 32 shall be provided from Briggs Road, Simpson Road, and Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 32 from Briggs and Simpson Roads and Heritage Lake Drive.
- 3) Roadway landscape treatments, as shown on Figures IV-12E, 12F and 12K, are planned along Briggs and Simpson Roads, and Heritage Lake Drive.
- 4) A landscaped greenbelt will provide buffers between residential uses in Planning Areas 31 and 32 (1.3-acre), and will serve as a visual and recreational amenity.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**33. PLANNING AREA 33: K-8 SCHOOL**

**a. Descriptive Summary**

Planning Area 33, as depicted on Figure III.B-15, provides for the development of a 21.5-acre school under the jurisdiction of the Romoland School District that will serve grades Kindergarten through 8. The school site is located adjacent to proposed park site to enable the schools to take advantage of additional recreational and joint use opportunities.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 33 shall be provided from Heritage Lake Drive.
- 2) The K-8 school will be constructed by the School District to its standards and those requirements of the City, in addition to Specific Plan Standards.
- 3) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 4) School interfaces, as shown on Figures IV-16B and IV-16H, are planned to serve as buffers between the school and adjacent residential and park land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**34A. PLANNING AREA 34A: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 34A, as depicted on Figure III.B-20, provides for the development of 25.1 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 114 dwelling units is planned at a target density of 4.1 du/ac (density range 2.1-5 du/ac, medium density).

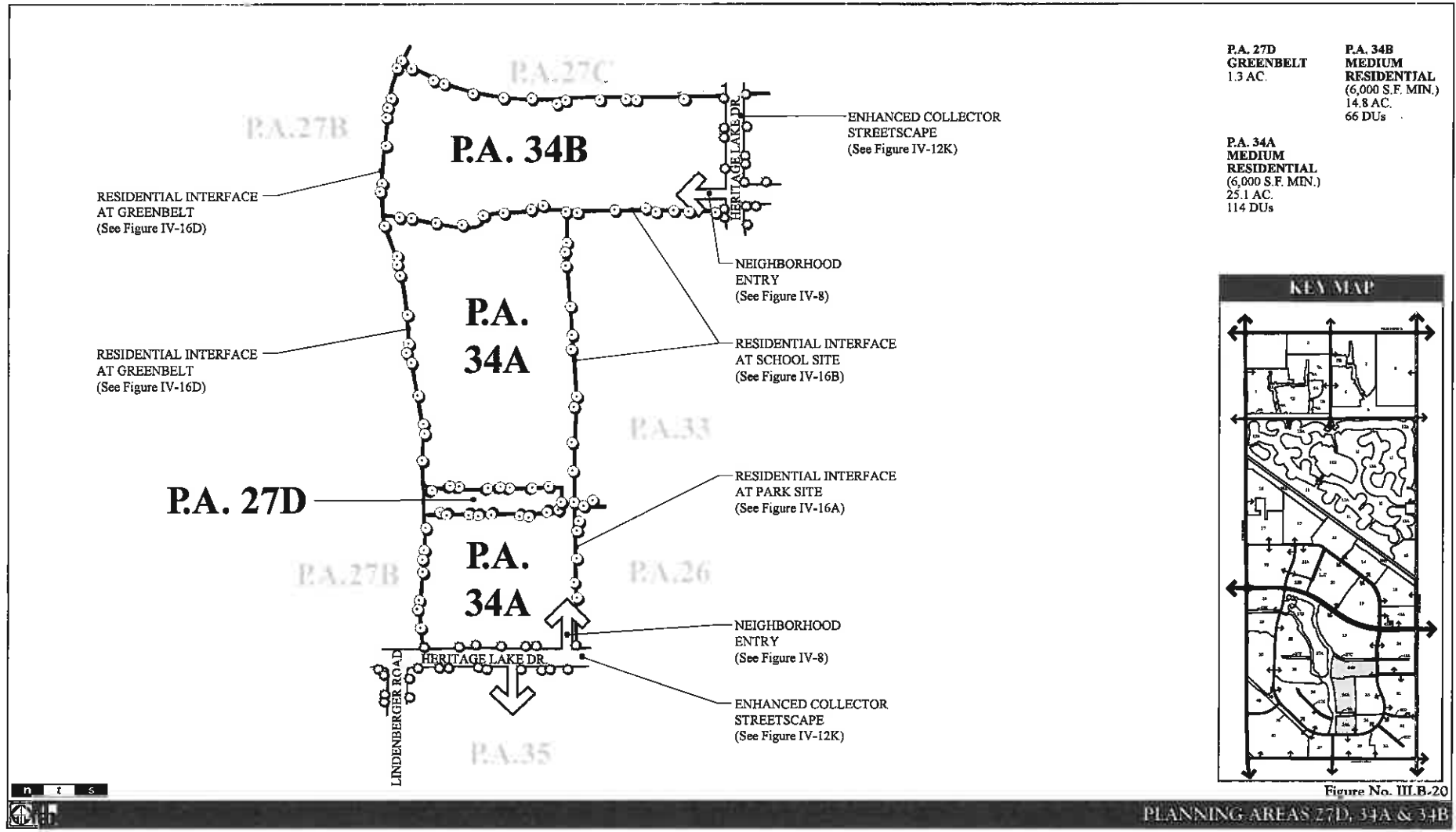
**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 34A shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 34 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figures IV-12K, is planned along Heritage Lake Drive.
- 4) Residential interfaces, as shown on Figures IV-A, IV-16B and IV-16D, are planned to serve as a buffer between residential and adjoining park, K-8 school, and greenbelt land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |



**34B. PLANNING AREA 34B: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 34B, as depicted on Figure III.B-20, provides for the development of 14.8 acres devoted to single family residential uses on minimum lot sizes of 6,000 square feet. A maximum total of 66 dwelling units is planned at a target density of 4.5 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 34B shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 34 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figures IV-12K, is planned along Heritage Lake Drive.
- 4) Residential interfaces, as shown on Figures IV-16B and IV-16D, are planned to serve as a buffer between residential, K-8 school, greenbelt and lake land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**35. PLANNING AREA 35: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 35, as depicted on Figure III.B-21, provides for the development of 19.6 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 73 dwelling units is planned at a target density of 3.7 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 35 shall be provided from Simpson Road and Heritage Lake Drive.
- 2) A primary community entry, as shown on Figure IV-6, is planned at the intersection of Simpson Road and Lindenberger Road.
- 3) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 35 from Simpson Road and Heritage Lake Drive.
- 4) Roadway landscape treatments, as shown on Figures IV-12F, IV-12I and IV-12K, are planned along Simpson Road, Lindenberger Road, and Heritage Lake Drive.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

P.A. 35  
MEDIUM  
RESIDENTIAL  
(7,200 S.F. MIN.)  
19.6AC.  
73 DUs

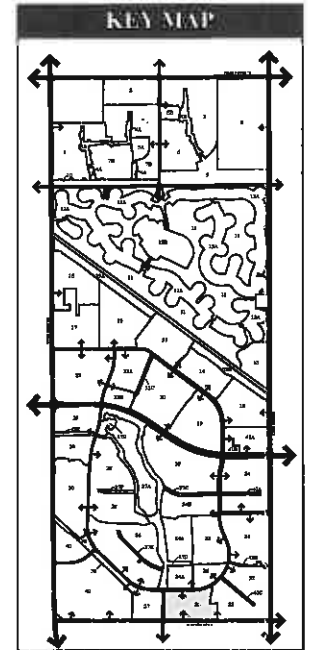
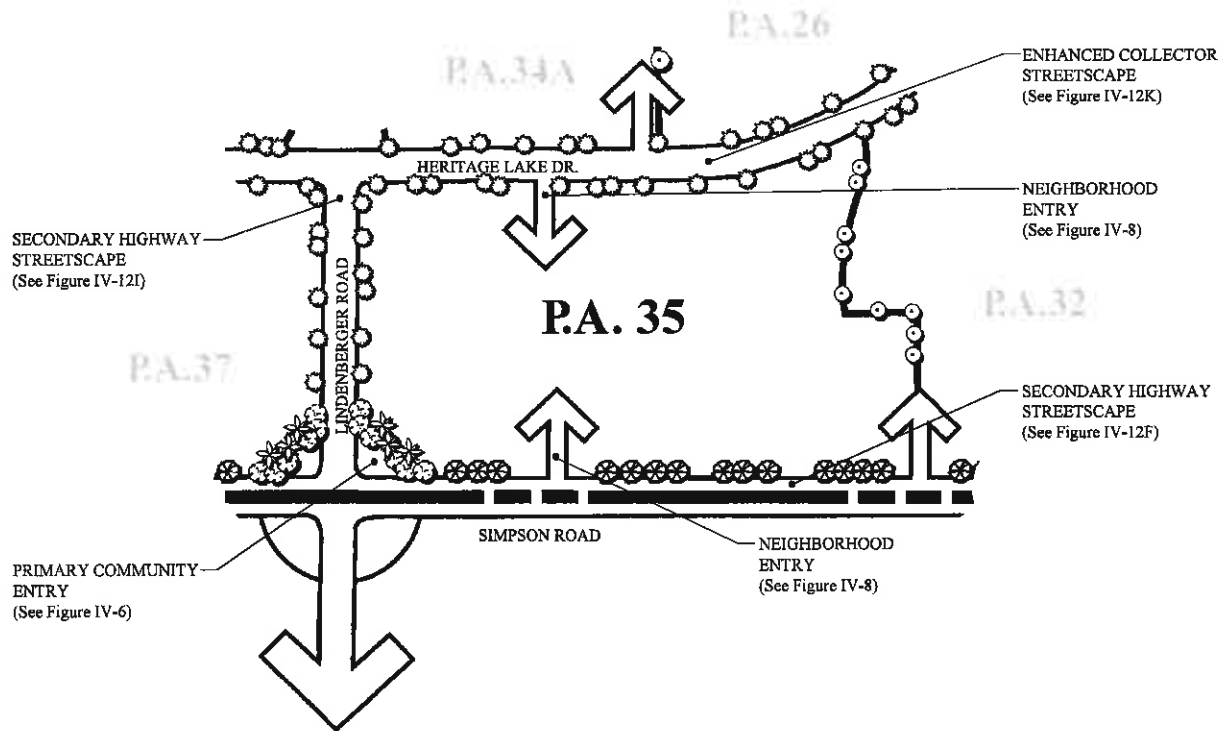


Figure No. III.B-21

PLANNING AREA 35



**36. PLANNING AREA 36: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 36, as depicted on Figure III.B-22, provides for the development of 44.9 acres devoted to single family residential uses on minimum lot sizes of 7,200 square feet. A maximum total of 183 dwelling units are planned at a target density of 4.1 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 36 shall be provided from Heritage Lake Drive.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 36 from Heritage Lake Drive.
- 3) A roadway landscape treatment, as shown on Figure IV-12K, is planned along Heritage Lake Drive.
- 4) A residential interface, as shown on Figure IV-16D, is planned to serve as a buffer between the residential and greenbelt land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

MENIFEE VALLEY RANCH

P.A. 27E  
GREENBELT  
1.7 AC.

P.A. 36  
MEDIUM  
RESIDENTIAL  
(7,200 S.F. MIN.)  
44.9 AC.  
183 DUs

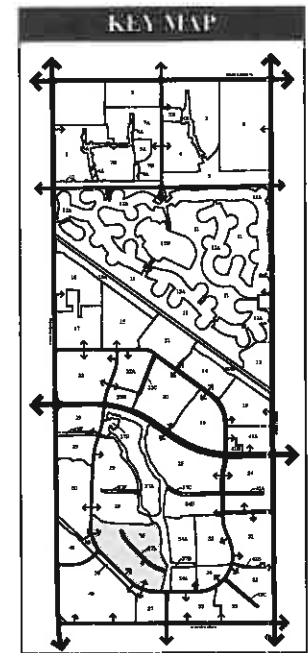
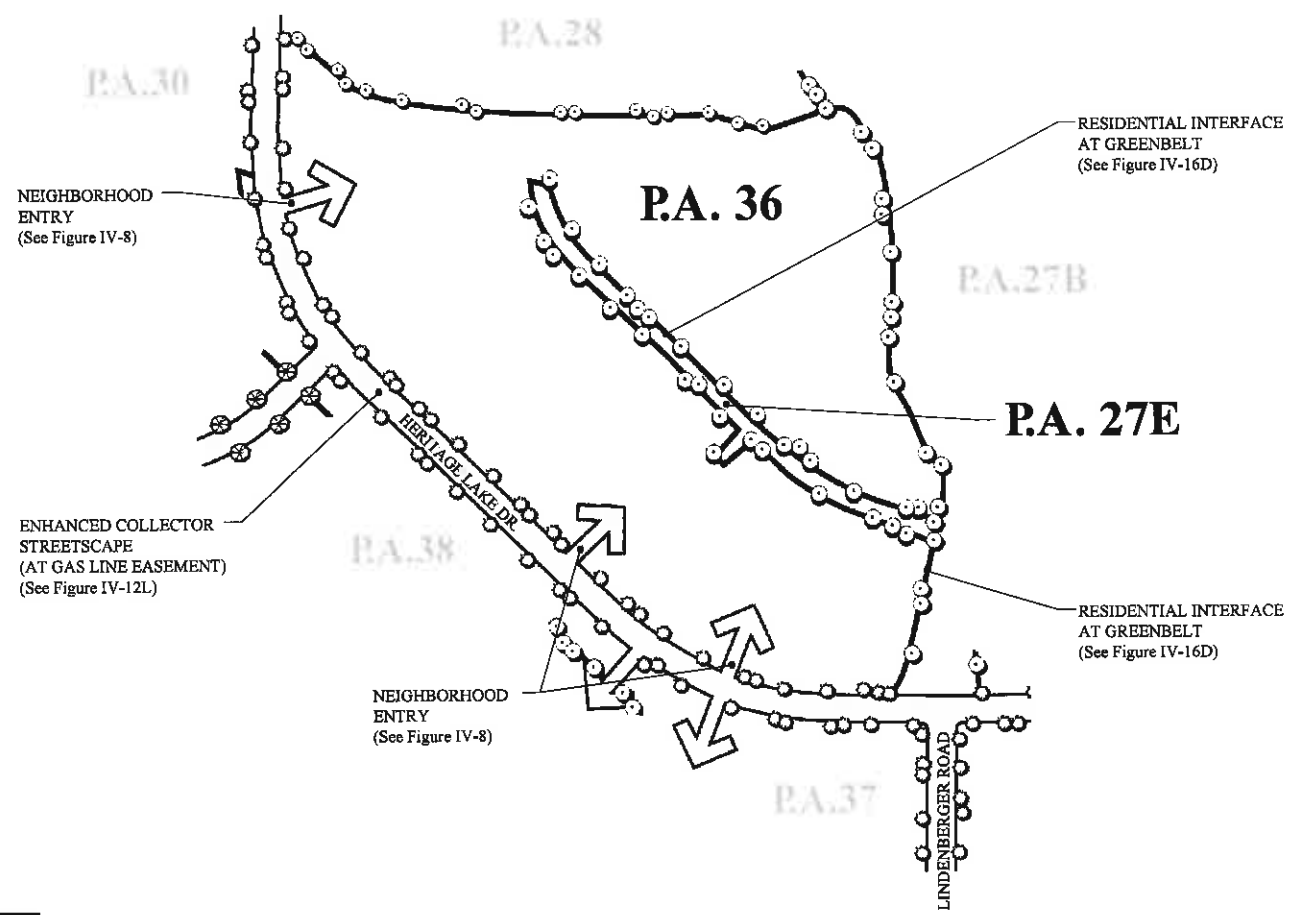


Figure No. III.B-22

PLANNING AREAS 27E & 36





**37. PLANNING AREA 37: PARK/DETENTION AREA****a. Descriptive Summary**

Planning Area 37, as depicted in Figure III.B-23, provides for the development of a 7.1-acre park and a 4.4-acre detention area to remain as open space for a total of 11.5 acres. This area is sited adjacent to the open space easement in Planning Area 38, next to the intersections of Lindenberger Road and Heritage Lake Drive. Proposed amenities for the park may include:

- Sand volleyball courts
- Basketball courts
- Tot lot
- Shade tree plantings and rolling turf areas
- Picnic facilities
- On-site parking
- Specific specialty sports provided for may include soccer/football fields and/or baseball/softball fields (no night lighting of sports field shall be permitted).

The park/detention area will be constructed during Phase I. The land shall be dedicated and the detention area shall be designed and built prior to occupancy of the first dwelling unit in Planning Areas 28, 29, 30, or 36.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

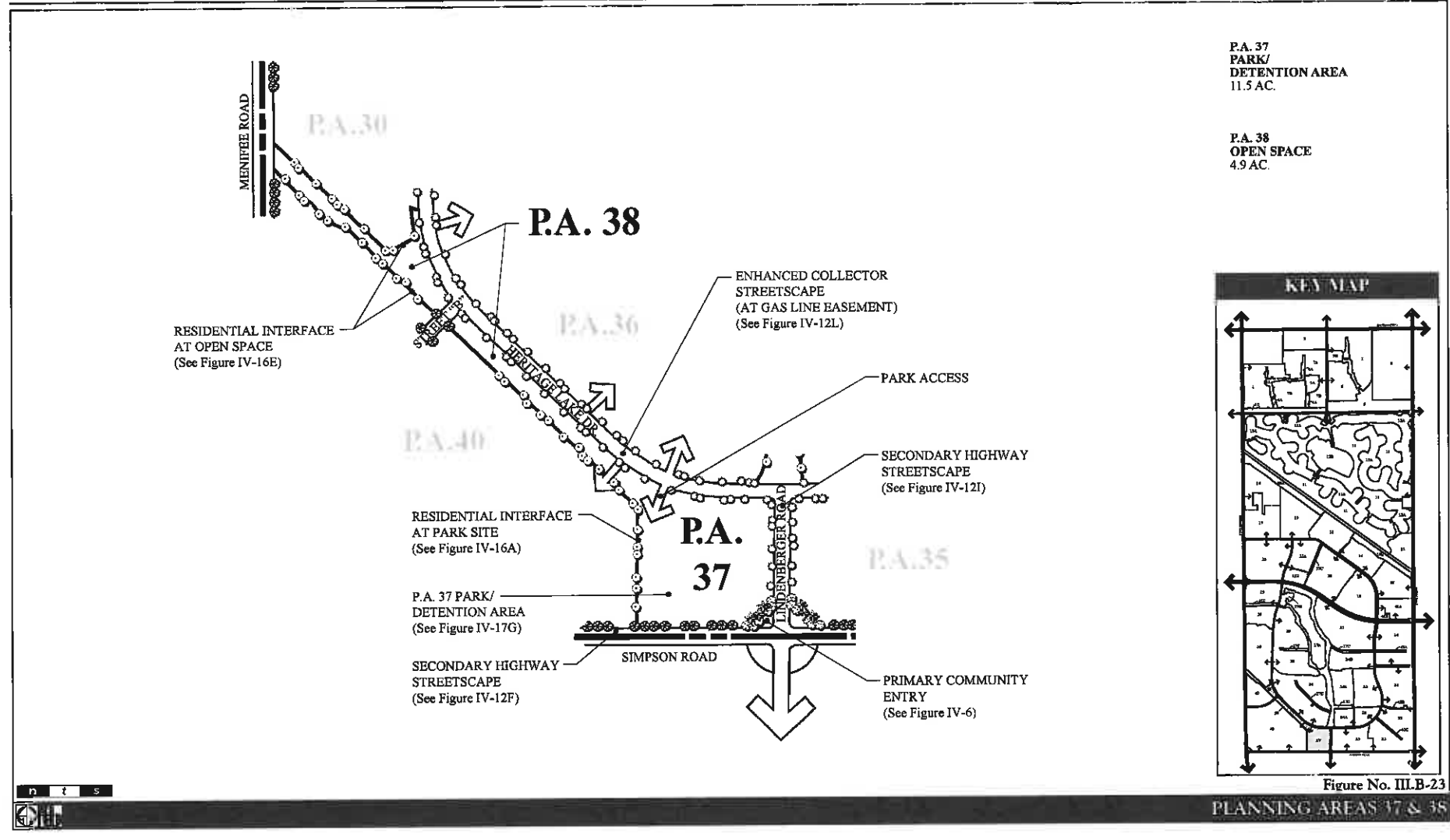
**c. Planning Standards**

- 1) Access to Planning Area 37 shall be provided from Heritage Lake Drive.
- 2) A primary community entry, as shown on Figure IV-6, is planned at the intersection of Simpson and Lindenberger Roads.
- 3) Roadway landscape treatments, as shown on Figures IV-12F, IV-12I and IV-12K, are planned along Simpson Road, Lindenberger Road and Heritage Lake Drive.
- 4) The park and detention area plan shall be further delineated as conceptually shown on Figure IV-17E.
- 5) The detention area will be built by the Eastern Municipal Water District in Phase I or as required by the Master Drainage Plan.
- 6) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 7) Residential interfaces, as shown on Figures IV-16A and IV-16F, are planned as buffers between the proposed park/detention area and adjacent residential land uses.

- 8) No lighting of sports fields shall be permitted in Planning Area 37.
- 9) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

MENIFEE VALLEY RANCH



**P.A. 37**  
**PARK/**  
**DETENTION AREA**  
 11.5 AC.

**P.A. 38**  
**OPEN SPACE**  
 4.9 AC.

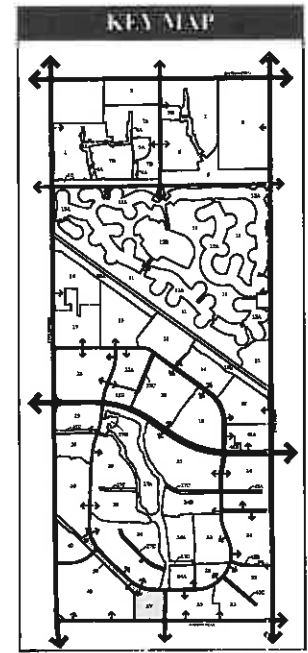


Figure No. III.B-23

PLANNING AREAS 37 & 38

**38. PLANNING AREA 38: OPEN SPACE**

**a. Descriptive Summary**

Planning Area 38, as depicted in Figure III.B-23, provides for a 4.9-acre gas line easement to remain as natural open space. This area is sited adjacent to the park/detention area in Planning Area 37.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access for maintenance vehicles only to Planning Area 38 will be available from Heritage Lake Drive. No public vehicular access shall be permitted.
- 2) A residential interface, as shown on Figure IV-16F, is planned to serve as a buffer between the residential and open space.
- 3) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**39A. PLANNING AREA 39A: GREENBELT**

**a. Descriptive Summary**

Planning Area 39A, as depicted in Figure III.B-8, provides for the development of a 12.0-acre greenbelt to remain as open space. This area is sited adjacent to Planning Areas 15, 16, 21, and the railroad easement.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**39B. PLANNING AREA 39B: GREENBELT**

**a. Descriptive Summary**

Planning Area 39B, as depicted in Figure III.B-7, provides for the development of a 9.0-acre greenbelt to remain as open space. This area is sited adjacent to Planning Areas 14,18, 21 and the railroad easement.

The Master Developer shall be responsible for construction of the greenbelt in Phase IV. The land for the 9.0-acre greenbelt in Planning Area 39B shall be dedicated and designed prior to the completion of the 400<sup>th</sup> dwelling unit in Planning Areas 14, 18, 19, 20, 24, ~~and 25~~, and 41A. It shall be half constructed prior to the completion of the 500<sup>th</sup> dwelling unit anywhere within Planning Areas 14, 18, 19, 20, 24, ~~and 25~~, and 41A. Construction shall be finished prior to the completion of the 600<sup>th</sup> dwelling unit within Planning Areas 14, 18, 19, 20, 24, ~~and 25~~, and 41A.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**40. PLANNING AREA 40: MEDIUM DENSITY RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 40, as depicted on Figure III.B-24, provides for the development of 62.2 acres devoted to single family residential uses on minimum lot sizes of 9,000 square feet. A maximum total of 184 dwelling units is planned at a target density of 3.0 du/ac (density range 2.1-5 du/ac, medium density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 40 shall be provided from Menifee Road, Simpson Road, Heritage Lake Drive, and Street B.
- 2) Neighborhood entries, as shown on Figure IV-8, are planned at the entrances into Planning Area 40 from Menifee Road, Simpson Road, and Heritage Lake Drive.
- 3) Roadway landscape treatments, as shown on Figures IV-12D, IV-12F and IV-12 K, are planned along Menifee Road, Simpson Road and Heritage Lake Drive.
- 4) Residential interfaces, as shown on Figures IV-16A and IV-16F, are planned to serve as a buffer between residential, park and open space land uses.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

MENIFEE VALLEY RANCH

**P.A. 40  
MEDIUM  
RESIDENTIAL**  
(9,000 S.F. MIN.)  
62.2 AC.  
184 DUs

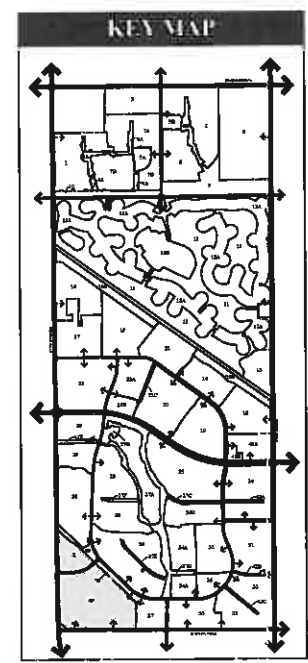
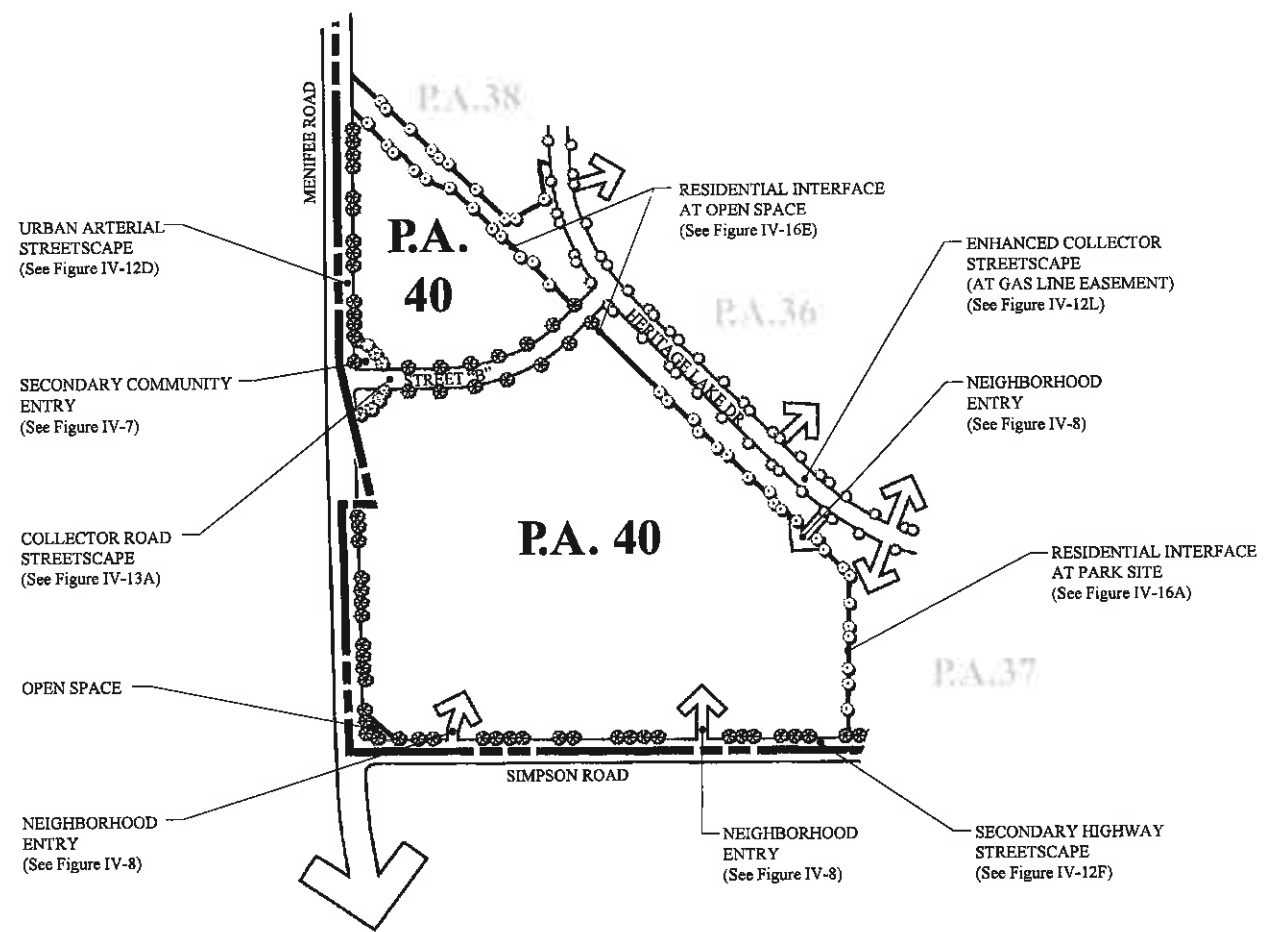


Figure No. III.B-24

PLANNING AREA 40





**41. PLANNING AREA 41A: MEDIUM HIGH RESIDENTIAL**

**a. Descriptive Summary**

Planning Area 41A, as depicted in Figure III.B-7, provides for the development of 13.9 acres devoted to single family residential uses on minimum lot sizes of 4,500 square feet. A maximum total of 80 dwelling units is planned at a target density of 5.8 du/ac (density range 5.1-8 du/ac, medium-high density).

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 41A shall be provided from McCall Boulevard and Heritage Lake Drive. Right-in and Right-out only access will be available on Briggs Road.
- 2) A secondary community entry, as shown on Figure IV-7, is planned at the intersection of Briggs Road and McCall Boulevard.
- 3) A theme intersection, as shown on Figure IV-11, is planned at the intersection of McCall Boulevard and Heritage Lake Drive.
- 4) Roadway landscape treatments, as shown on Figures IV-12E, IV-12K and IV-13A, are planned along Briggs Road, Heritage Lake Drive and McCall Boulevard.
- 5) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**41B. PLANNING AREA 41B: PRIVATE RECREATION CENTER**

**a. Descriptive Summary**

Planning Area 41B, as depicted on Figure III.B-16, provides for the development of a private 1.1-acre HOA recreation and pool facility. The Private Recreation Center is expected to include a swimming pool, spa, shade structures, equipment building, and restrooms. The Private Recreation Center will serve the recreational needs of the residents throughout the Heritage Lake portion of MENIFEE VALLEY RANCH.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Access to Planning Area 41B shall be provided from Heritage Lake Drive and local streets.
- 2) Roadway landscape treatments, as shown on IV-12K and IV-13A, are planned along Heritage Lake Drive and McCall Boulevard.
- 3) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 4) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

**42. PLANNING AREA 42A-C and 42E: GREENBELTS**

**a. Descriptive Summary**

Planning Area 42A-C and 42E, as depicted in Figures III.B-18 & 19, provides for the development of 5.6 acres of greenbelts to remain as open space. These areas are sited adjacent to Planning Areas 24, 29, 30, 31, 32, and Heritage Lake Drive.

**b. Land Use and Development Standards**

Please refer to City of Menifee Ordinance No. \_\_\_\_\_ (See Specific Plan Zone Ordinance Tab).

**c. Planning Standards**

- 1) Please refer to Section IV for specific Design Guidelines and other related design criteria.
- 2) Please refer to Section III.A for the following Development Plans and Standards that apply project-wide:

- |                                       |   |
|---------------------------------------|---|
| III.A.2: Specific Land Use Plan       | III.A.6: Water, Reclaimed Water & Sewer Plans |
| III.A.3: Circulation Plan             | III.A.7: Grading Plan                         |
| III.A.4: Open Space & Recreation Plan | III.A.8: Public Facility Sites & Phasing Plan |
| III.A.5: Drainage Plan                | III.A.9: Landscaping Plan                     |
|                                       | III.A.10: Comprehensive Maintenance Plan      |

## IV. DESIGN GUIDELINES

### A. PURPOSE AND INTENT

These Design Guidelines are intended to maintain a high-quality development approach and a consistent design theme to create a cohesive, aesthetically pleasing environment for the MENIFEE VALLEY RANCH (previously known as MENIFEE RANCH) community.

More specifically, the purpose of these Design Guidelines is:

- To provide the City of Menifee with the necessary assurance that the Specific Plan Amendment area will develop in accordance with the high quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan Amendment area;
- To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan Amendment boundaries, and
- To provide development guidelines which permit the MENIFEE VALLEY RANCH Specific Plan Amendment area to develop its own theme and character while allowing it to interface with and respond to the character and design fabric of adjacent Specific Plan areas that may be currently under review or proposed in the future.

The Design Guidelines provided herein are intended to be flexible. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in taste, community desires and the marketplace, or significant changes within adjacent planning areas within the MENIFEE VALLEY RANCH Specific Plan. Yet, it is critical that these guidelines are followed in a manner consistent with this design theme in order to create a unified concept while providing the opportunities for diversity and visual interest which are so apparent in the most successful residential communities in the City of Menifee.

### B. INTRODUCTION

The Design Guidelines section consists of three principal components: Community Elements, Landscape Guidelines and Architectural Design Guidelines. These components define the design concept, physical character, and theme of MENIFEE VALLEY RANCH, and will be addressed in more detail within the Design Guidelines.

The Community Elements are comprised of the key project components such as project theme, project entries and theme intersections, streetscapes, community walls and fences, land use transitions, and parks.

The Landscape Design Guidelines present general requirements relative to, outdoor lighting, irrigation, plant material guidelines, planting, horticultural soils test requirements, and maintenance. The plant palette provides a specific list of plants that are compatible with the community design theme. The plant lists are organized by community elements and by streetscape themes.

The Architectural Design Guidelines articulate the characteristics of the built environment. Elements such as architectural theme, building massing and scale, materials and colors, and site planning guidelines combine to form a distinctive identity that is defines MENIFEE VALLEY RANCH as high-quality living environment.

The MENIFEE VALLEY RANCH Residential Design Guidelines establish the basis and criteria for evaluation of plans and specifications in accordance with the terms of the community's CC&Rs. All conditions or materials set forth in these Design Guidelines and/or CC&Rs are subject to the reasonable discretion of the Design Review Board, which will make a final determination in good faith.

The photographs, sketches and other graphic representation in these Design Guidelines are offered only as general visual aids in understanding the basic intent of the Design Guidelines. The photographs and graphics are not intended to represent any actual building or parcel design.

The design components presented in this document are provided for informational purposes and are to be used in identifying the desired design composition for the residential buildings within MENIFEE VALLEY RANCH. It is not the intent of these Design Guidelines to require that all the represented design components be incorporated into the design proposals as shown. Rather, they are provided as a "palette" of character defining elements that should be reflected in the residential housing design proposals.

Builders and their architects, planners and landscape architects are encouraged to utilize creativity and imagination when developing exciting design proposals which will be implemented within MENIFEE VALLEY RANCH.

## C. DESIGN REVIEW

A Design Review Board will be established for MENIFEE VALLEY RANCH, consisting of the project master developer and/or their representatives. Design guidelines will be used by the MENIFEE VALLEY RANCH Design Review Board and City staff to determine the conformance of each builder's design proposal to the overall community design objectives. In some instances, modifications may have been made to some City codes as a result of approval of this Specific Plan. In such instances, the approved modified code as stated in this approved Specific Plan document shall prevail. Unless otherwise modified by this Specific Plan, no modification to applicable federal, state or city codes and ordinances are intended. If conflicts do arise, the more restrictive requirement will prevail.

These Design Guidelines are to be used in conjunction with the other requirements and standards specified in this Specific Plan (City of Menifee Specific Plan No. 301). These guidelines are intended to allow each residential planning area within MENIFEE VALLEY RANCH to establish an individual identity, yet blend in with the overall community theme. To that end, builders and designers are encouraged to

review the entire Specific Plan document to examine the relationship of each residential planning area to the overall community design goals.

Prior to the submittal of any plans and specifications by the residential builder to the City of Menifee for review and approval, the MENIFEE VALLEY RANCH Design Review Board will review and approve all plans and specifications associated with the MENIFEE VALLEY RANCH project. This review process may consider, among other things:

- Individual lot development and variation in setbacks;
- Conformity and harmony of architectural design and design features within the community theme;
- Architectural facing of all elevations (four-sided architecture);
- Color and material composition of homes;
- Roofing types, color and materials;
- Variations of architectural treatment and color between neighboring houses along individual residential streets;
- Streetscape and landscape treatment within residential neighborhoods; and
- Neighborhood walls and fences;

After initial concept approval of any submitted plans and specifications, but prior to final approval by the MENIFEE VALLEY RANCH Design Review Board, additional design modifications or requirements may be imposed by the Design Review Board in an effort to ensure design compatibility within MENIFEE VALLEY RANCH and consistency with these design guidelines. The Design Review Board members shall not be liable for damages to any person submitting plans or specifications for approval, by reason of mistake in judgment, negligence, lack feasibility or failure to approve or disapproval any such plans or specifications, or for any injury or damage caused by any improvements constructed from such plans and specifications.

In additional to the requirements outlined in these guidelines, the design and development of each residential planning area must conform to all applicable federal, state and city building requirements, regulations, ordinances, laws and fire codes. In those instances where various regulations are overlapping, the more restrictive regulation shall apply.

It is the intent of these guidelines to establish a consistent building architectural and landscape architectural theme for MENIFEE VALLEY RANCH while allowing for flexibility of design expression by the individual builders and their design teams.

It is the responsibility of all builders, architects, landscape architects and related consultants to recognize the importance of the creative use of colors and materials and the role they play in developing visually attractive residential architecture and the resulting neighborhood environment. It is not intended that the builder be limited to the materials and colors identified in this document. Rather, these descriptions are to be used as guidelines for the development of their own composition and selections. Building materials and colors will be subject to review and approval by the MENIFEE VALLEY RANCH Design Review Board. The builders and design teams should explore and present to the Design Review Board for review a variety of material and color palettes for their individual residential projects appropriate to a selected architectural style and today's contemporary market. This type of design exploration is encouraged.

## D. COMMUNITY ELEMENTS

### I. PROJECT THEME

The MENIFEE VALLEY RANCH community site lies across a flat valley trending north to south, formed by dramatic, rocky hills.

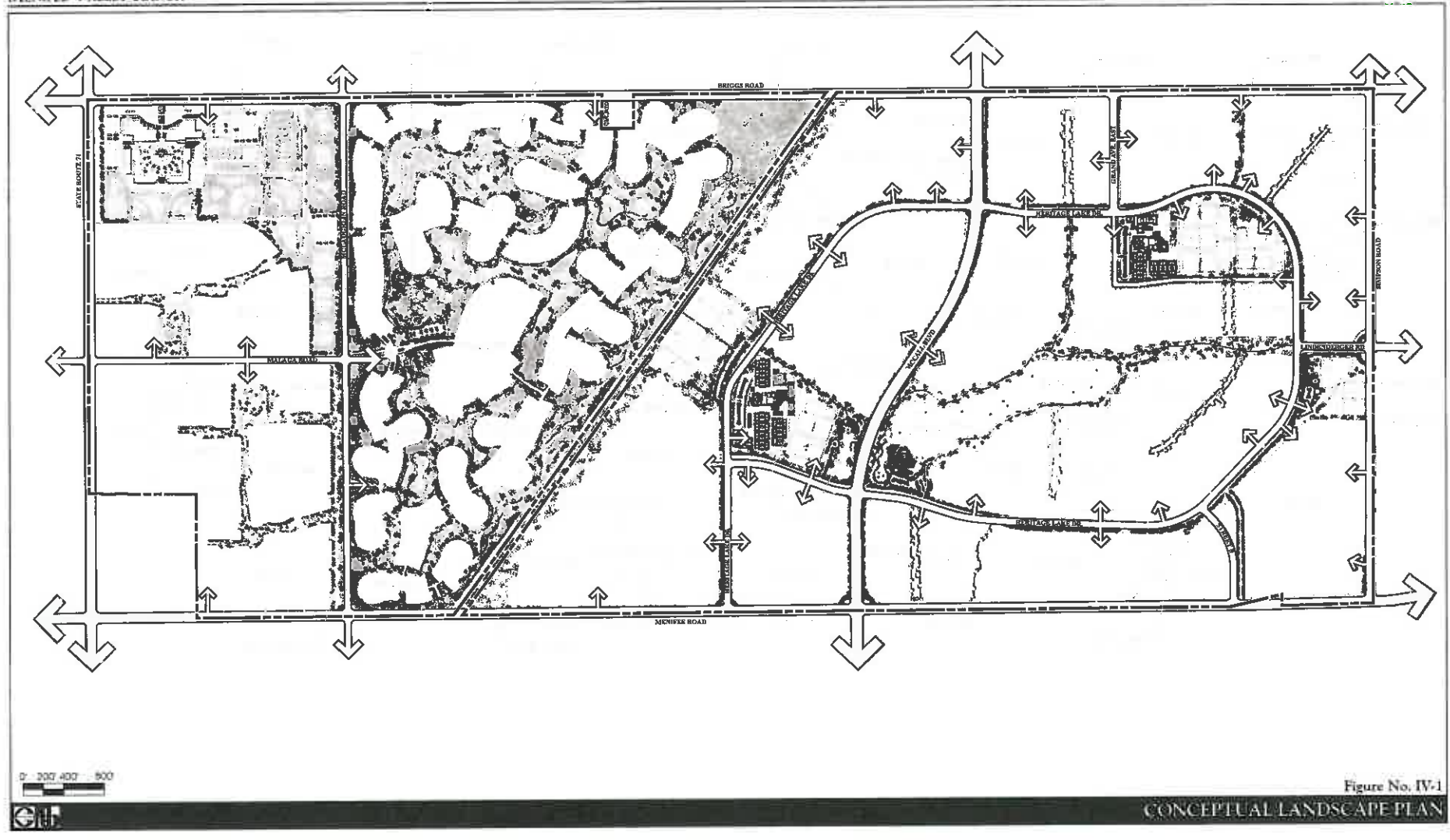
The main approach to MENIFEE VALLEY RANCH from the west via McCall Boulevard is a dramatic downhill drive. This will begin a series of impressions of the community which will help define the success of MENIFEE VALLEY RANCH in complimenting the surrounding natural and manmade environments.

Several key issues have been addressed in the design concept for MENIFEE VALLEY RANCH. They include the following:

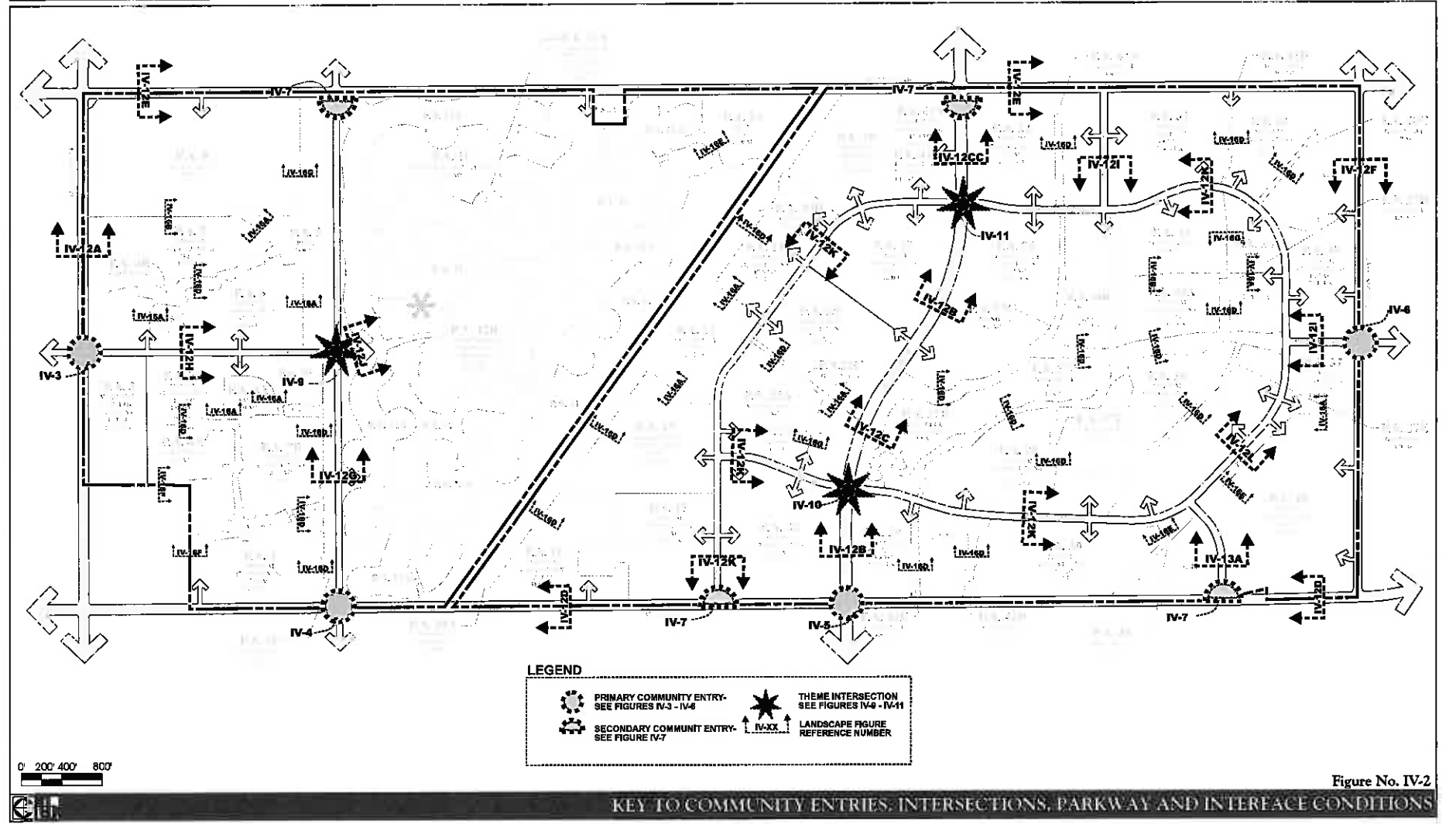
- Develops a "California Ranch" style landscape theme with generous landscape common areas and strong, rich landscape materials including river rock stone, boulder outcrops, clusters and groves of trees, wood materials, earthtone colors and diversity of material.
- Incorporates a recreational theme which is clear, identifiable and properly serves the needs of the community.
- Places a premium on pedestrian and non-motorized circulation throughout the community and between recreational elements.
- Considers resource and long term maintenance efficiency in the selection of planting materials and placement. Helps create a strong "sense of community" through landscape design elements.

### 2. PROJECT ENTRIES AND THEME INTERSECTIONS

The entries and intersections within MENIFEE VALLEY RANCH establish the design theme for the community by reinforcing the design hierarchy and by providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements as shown on Figure IV-1, *Conceptual Landscape Plan*. Figure IV-2, *Key to Community Entries, Intersections and Parkway Conditions* serves as a reference key for the exhibits within the Design Guidelines.







**a. Community Entries**

MENIFEE VALLEY RANCH is bordered by an expressway corridor, urban arterial, major highway and a secondary highway. This allows easy access to the community but also requires a carefully considered hierarchy and treatment of community entries. The entry hierarchy for MENIFEE VALLEY RANCH consists of: Primary Community Entry, Secondary Community Entry, and Neighborhood Entry.

**1) Primary Community Entries**

Primary community entries provide a relaxed but strong sense of arrival and identity by utilizing a soft open turf berm, leading to stone cobbled pilasters and a boulder outcrop sign monument. Clustered date palms mixed with evergreen foliage trees and flowering shrubs will evoke the classic City of Menifee ranch scene. The following primary community entries are illustrated on Figures IV-3 through IV-6.

**a) Malaga Road at SR-74**

This entry, shown on Figure IV-3, *Primary Community Entry - Malaga Road at SR-74* will provide an introduction to the interior neighborhoods of the north ranch including the open space/recreation. The entry creates a strong identifying presence for the MENIFEE VALLEY RANCH community. This entry will be more formal and structurally oriented, while maintaining the community landscape elements of dramatic clustered palms and evergreens.

**b) McLaughlin Road at Menifee Road**

This entry, shown on Figure IV-4, *Primary Community Entry - McLaughlin Road at Menifee Road*, also will benefit from the I-215 freeway interchanges at both McCall Boulevard and SR-74. McLaughlin is the major east/west collector into Minor Ranch and provides access to the high school site, open space/recreation, and interior residential neighborhoods.

**c) McCall Boulevard at Menifee Road**

This is the entry, shown on Figure IV-5, *Primary Community Entry - McCall Boulevard at Menifee Road*, benefits from its access to I-215 and from the central location in the Heritage Lake area. McCall Boulevard provides access to the central greenbelt and lake area and to Heritage Lake Drive, which accesses schools, parks, and all neighborhoods.

**d) Lindenberger Road at Simpson Road**

This entry, shown on Figure IV-6, *Primary Community Entry - Lindenberger Road at Simpson Road*, will be an important portal for traffic accessing the community from the I-215 interchange at Newport Road. The adjacent park site will be incorporated into the entry by providing an open space backdrop consistent with the landscape theme of the community.

2) ***Secondary Community Entries***

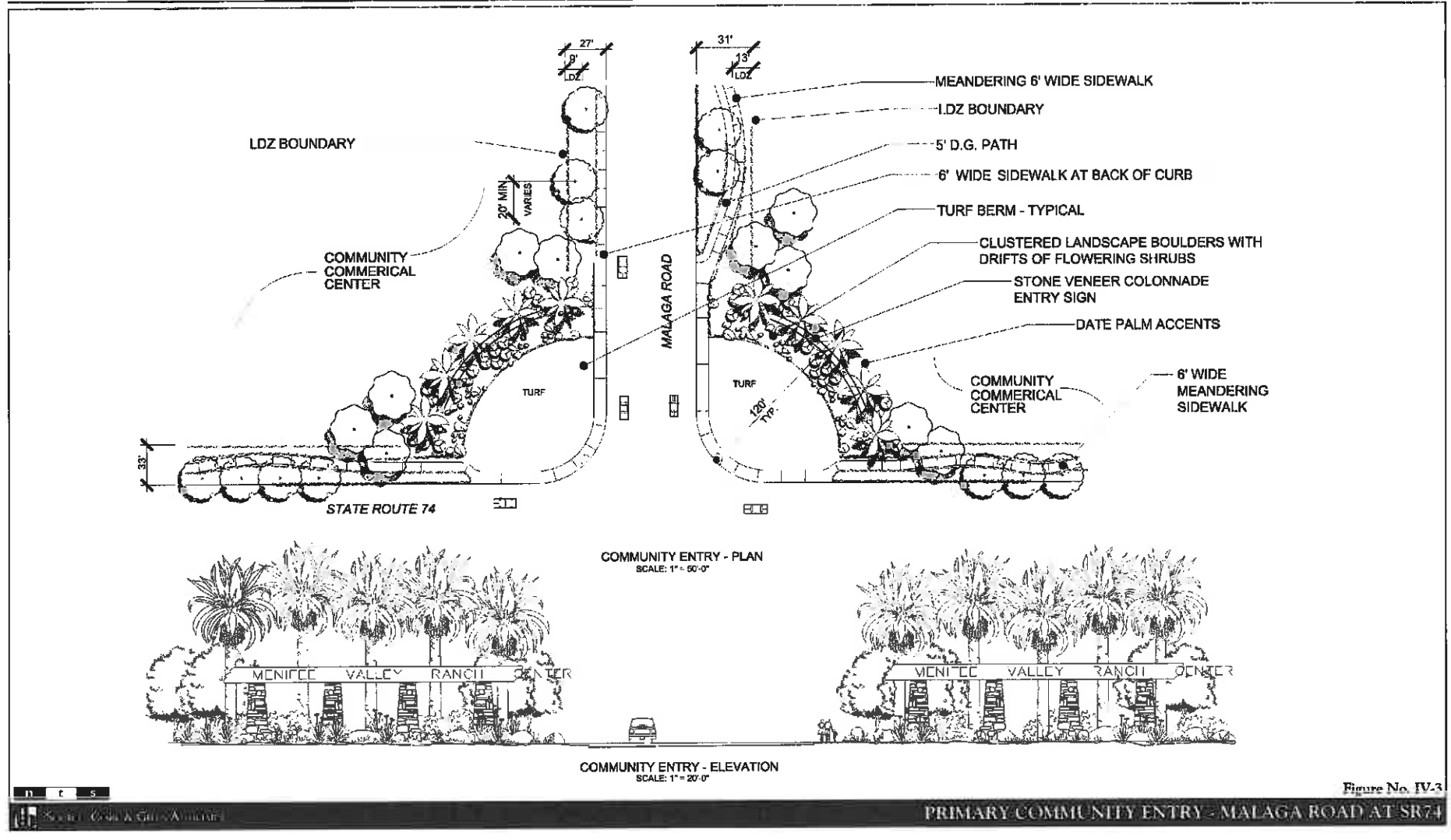
These entries, shown on Figure IV-7, *Secondary Community Entry*, occur along the Menifee Road and Briggs Road. They will be smaller-scale versions of the primary community entries, and will contain secondary-level sign monuments, theme walls and pilasters, and simple attractive evergreen and deciduous tree planting and accent shrubs set behind a simple turf berm. These entries will provide for efficient community access to residential enclaves and other community elements.

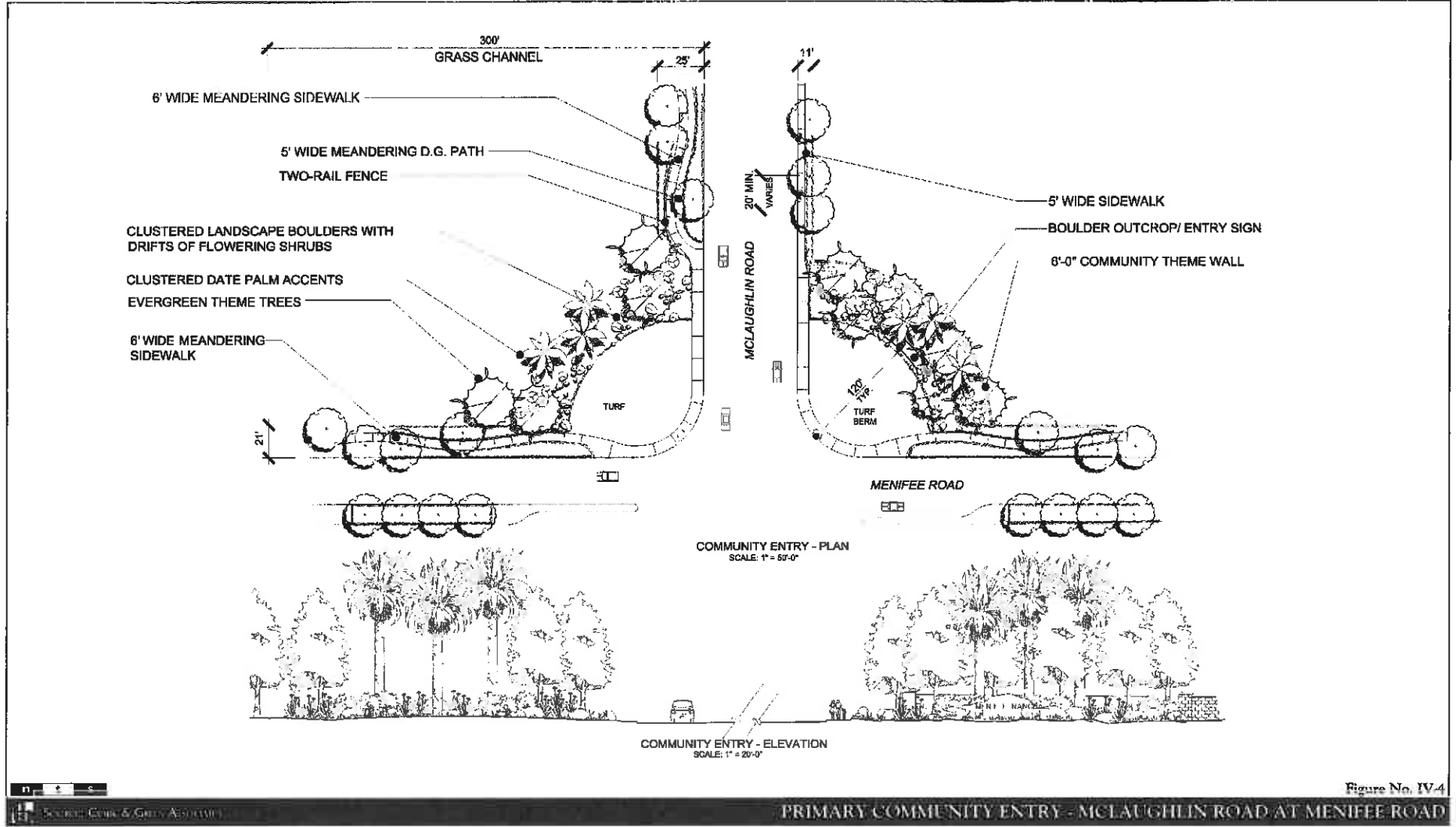
3) ***Neighborhood Entries***

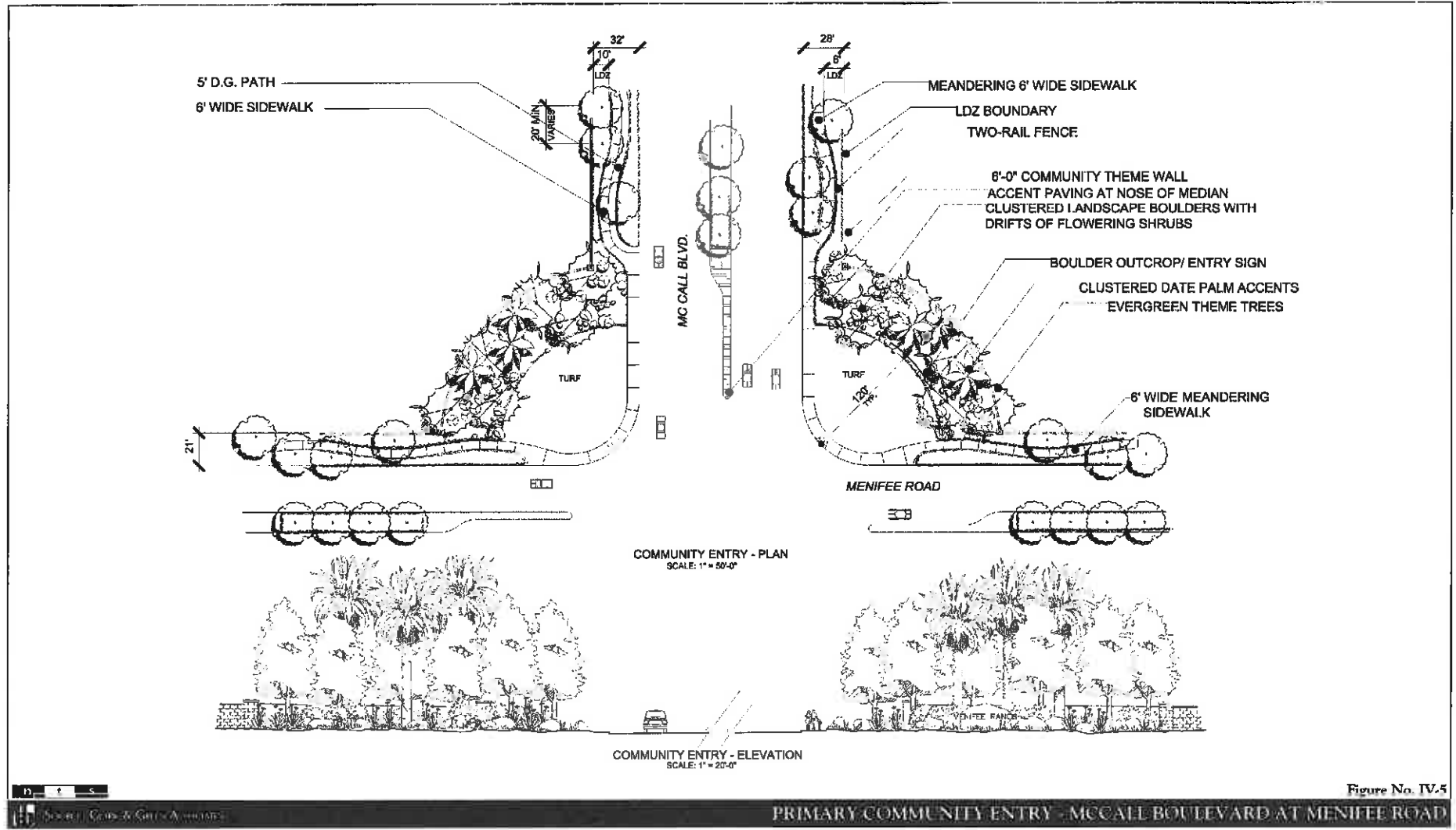
These entries, shown on Figure IV-8, *Neighborhood Entry*, will be the primary residential enclave access for marketing the separate residential products within MENIFEE VALLEY RANCH. These entries will occur from the internal road system, and will be determined through the separate future planning of each enclave per City of Menifee planning design standards and this Specific Plan.

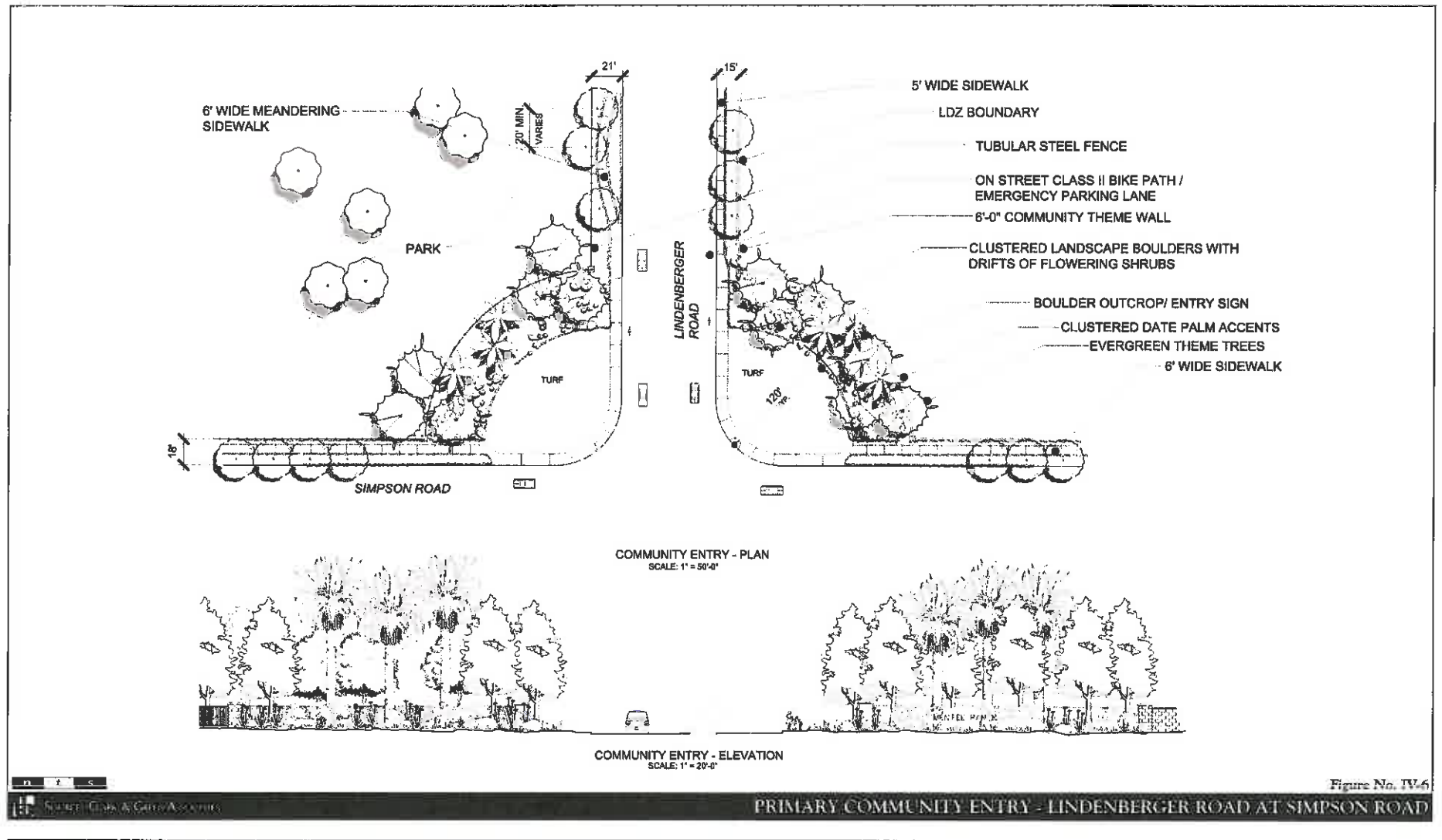
4) ***Design Guidelines for Street Medians***

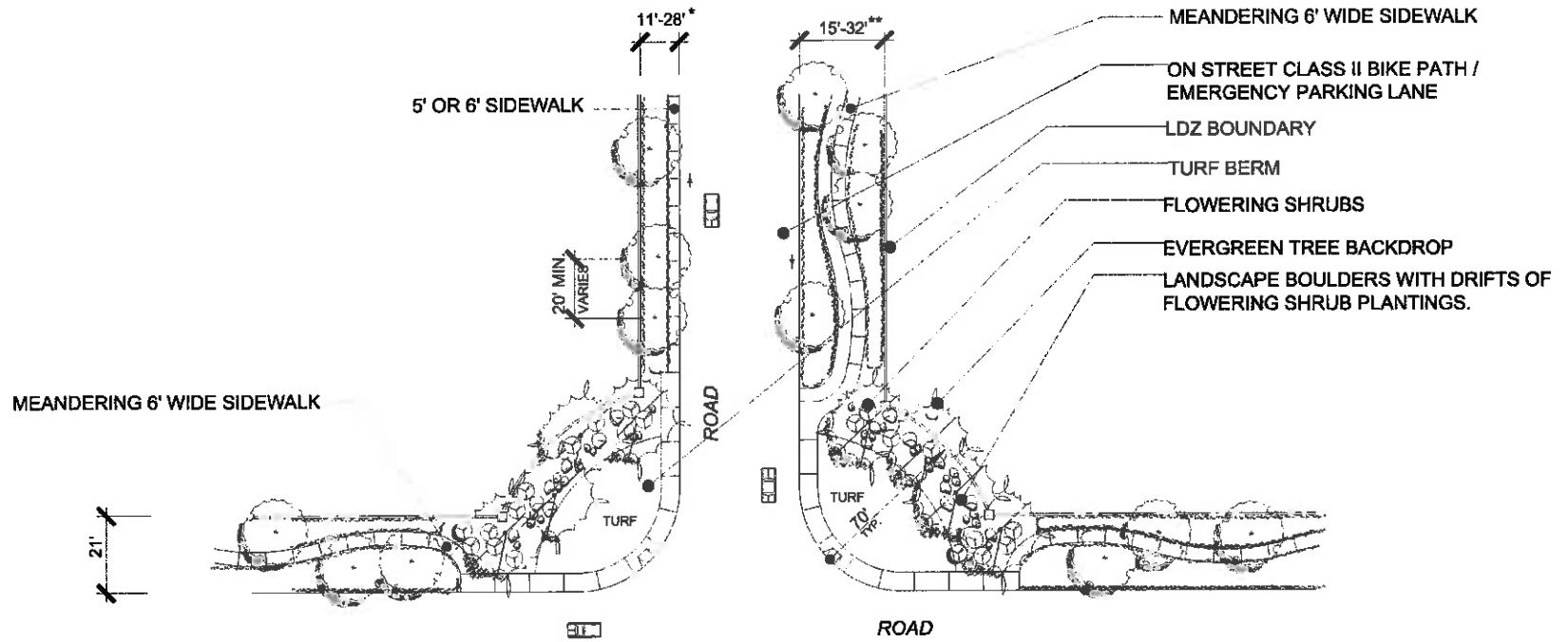
- a) For residential tract entry roads which come to a “Tee” intersection with the first intersecting street within the tract, a landscaped entry median at least ten feet in width (curb to curb), including landscaping six feet in width, and 20 feet in length is required. The median shall be up-lighted and landscaped with turf, trees, shrubs, and flowers. Stamped concrete (or an acceptable alternative) roadways shall be constructed on both sides of the entry median from median curb to entry road curb, along the entire length of the entry median.
- b) For residential tract entry roads which are through streets beyond the first intersecting street within the tract, a landscaped entry median at least six feet in width (curb to curb), including landscaping four feet in width, and ten feet in length is required. The median shall be heavily landscaped with turf, trees, shrubs, and flowers. Stamped concrete roadways shall be constructed on both sides of entry medians from median curb to entry road curb, along the entire length of the entry median.
- c) Also, a minimum transition distance of 35 feet from the flowline/curb face of the entry road to the nose of the entry median shall be provided.











\* HERITAGE LAKE ROAD WILL HAVE A 17' LANDSCAPE SETBACK WITH AN 8' LDZ  
 \*\* HERITAGE LAKE ROAD WILL HAVE A 32' LANDSCAPE SETBACK WITH A 23' LDZ

Figure No. IV-7



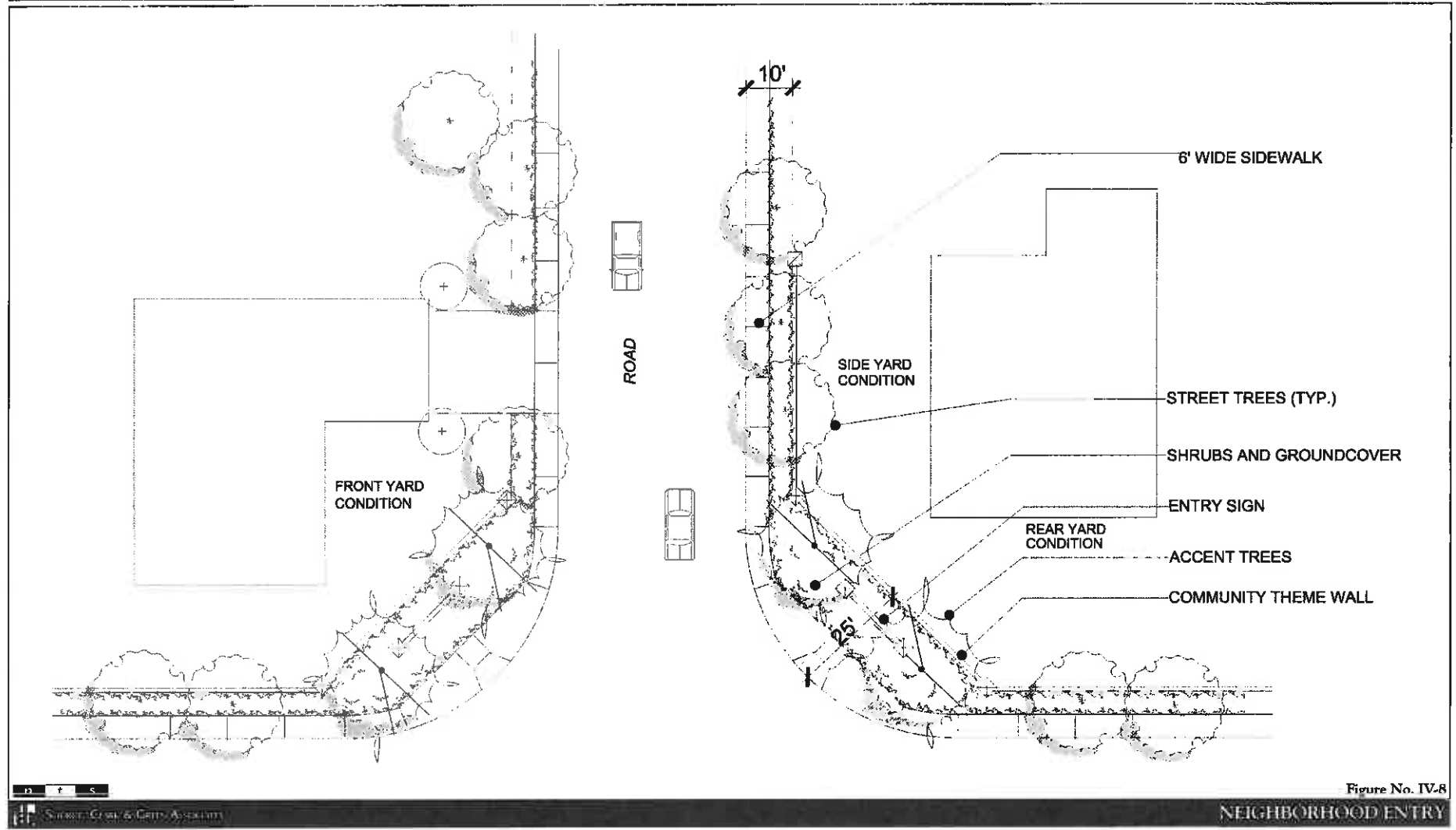


Figure No. IV-8

NEIGHBORHOOD ENTRY

Simple identification signage and an individualized landscape theme will be allowed. Signage may be permanent or temporary and is subject to review and approval by the master community developer. The signage and landscape materials must be compatible with and complimentary to the MENIFEE VALLEY RANCH landscape design theme. Flexibility within this framework will allow visual diversity and individualization of the residential neighborhoods. The residential enclave access points along Menifee Road, Briggs Road and Simpson Road provide safe, convenient access to neighborhood areas but will not be utilized for residential sales programs.

**b. Theme Intersection**

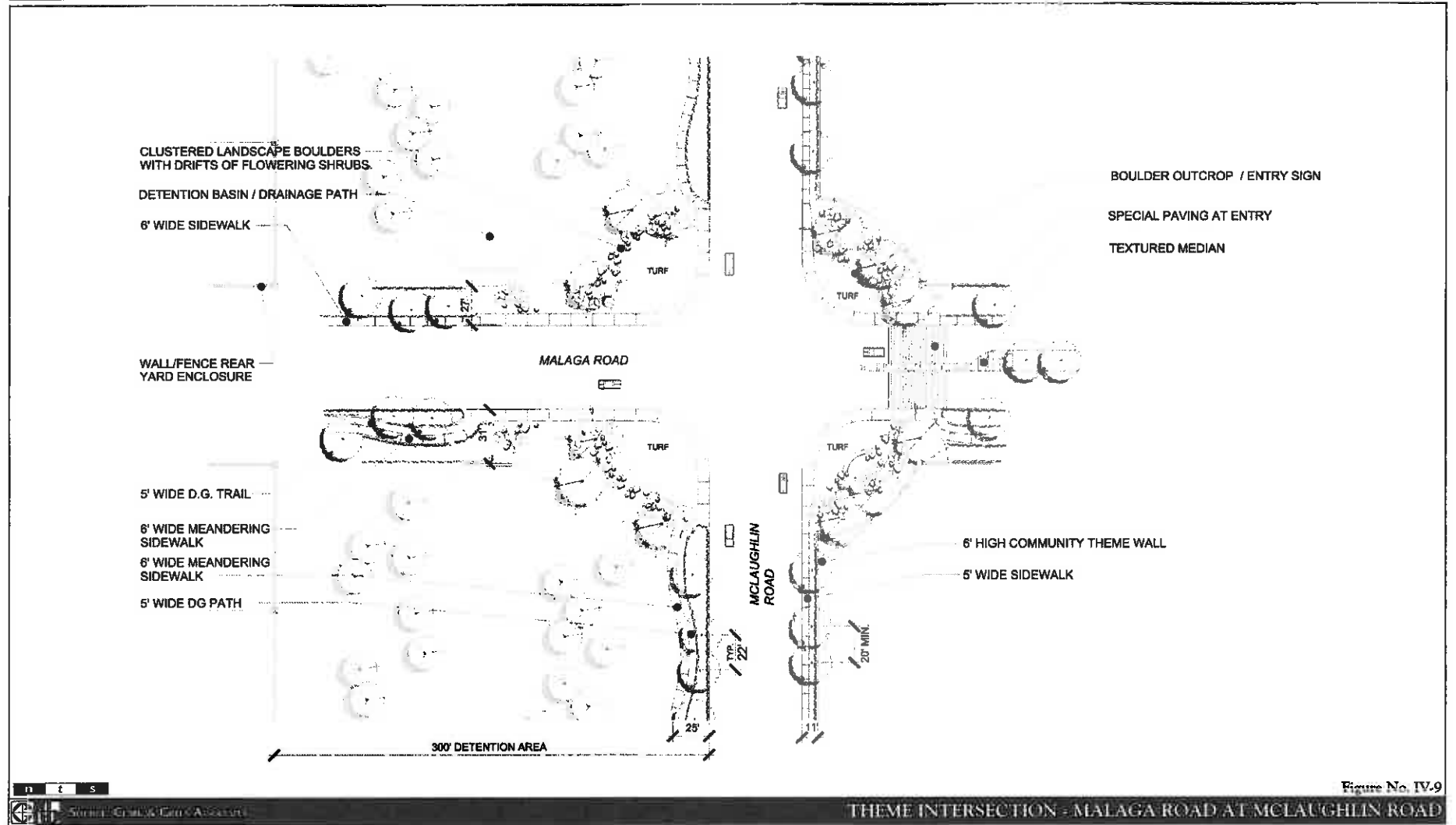
Several key intersections within MENIFEE VALLEY RANCH have been identified as places where the community theme will be reassured. These theme intersections, shown on Figures IV-9 through IV-11 will be treated with turf berms and planting clusters similar to the primary community entries but on a more subdued scale. Theme intersections will occur at the intersections of Malaga Road and McLaughlin Road; McCall Boulevard and Heritage Lake Drive; and McCall Boulevard and Heritage Lake Drive.

**3. STREETSCAPES**

Roadway streetscapes in MENIFEE VALLEY RANCH are critical in maintaining the perception, unification, and quality of a community theme. These common landscape areas link vehicular and pedestrian traffic to neighborhoods and community elements.

The streetscapes in MENIFEE VALLEY RANCH are treated as critical community spaces by providing high-quality vehicular and pedestrian circulation routes, including both jogging paths and well-buffered pedestrian paths. A series of parkway/roadway paseos are planned alongside all major project roads. These roadway paseos will feature meandering or parallel sidewalks in a landscaped setting. The purpose of these roadway paseos is threefold: (1) to enhance the community streetscape character; (2) to provide additional separation between the neighborhood edges and the principal roadways; and (3) to allow for greater pedestrian and bicycle mobility. Shrubs and low groundcovers will be used to the greatest extent feasible to reduce maintenance, conserve resources, and provide a buffered separation between pedestrians and vehicular traffic. Bike lanes are on-street Class II to both minimize conflicts with pedestrian traffic and provide a better travelway for these multi-speed conveyances. The bike trail and pedestrian path system within MENIFEE VALLEY RANCH is shown on Figure III.A-9B, *Non-Vehicular Circulation Plan*.

Streetscape landscape treatments have been developed to form a hierarchy of community importance and use characteristics. The streetscape hierarchy for MENIFEE VALLEY RANCH consists of: Expressway Corridor, Urban Arterial Streetscape, Major Streetscape, Secondary Streetscape, Enhanced Collector Streetscape, Collector Streetscape and Local Road Streetscape. Landscaped parkways have been enlarged beyond City street right-of-way dimensions to reinforce this hierarchy, consistent with the pathway system, residential orientation, and traffic volumes. These "landscape development zone" (LDZ) widths are indicated on the streetscape sections.



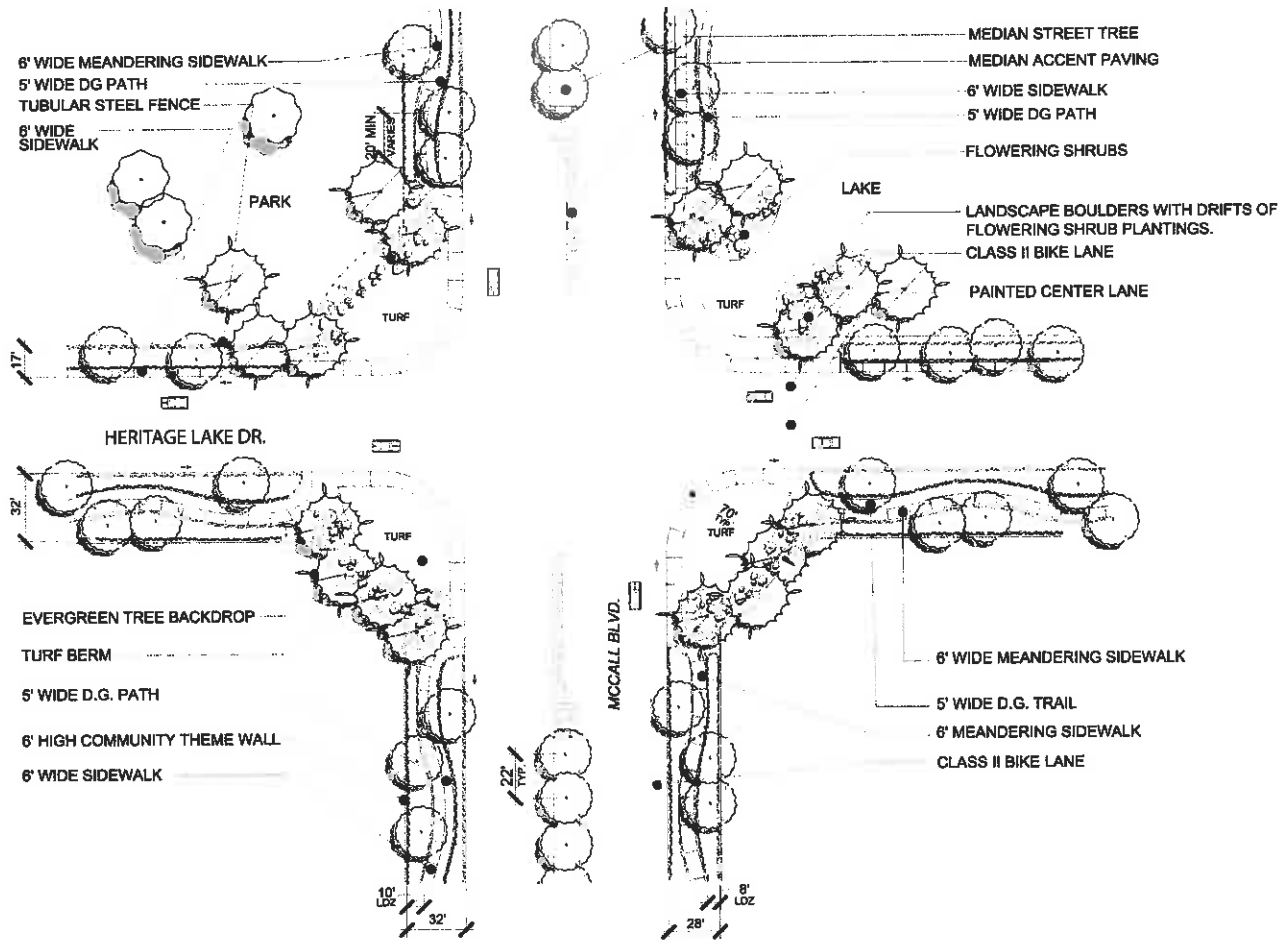


Figure No. IV-10

THEME INTERSECTION - HERITAGE LAKE DRIVE AT MCCALL BOULEVARD (WEST)

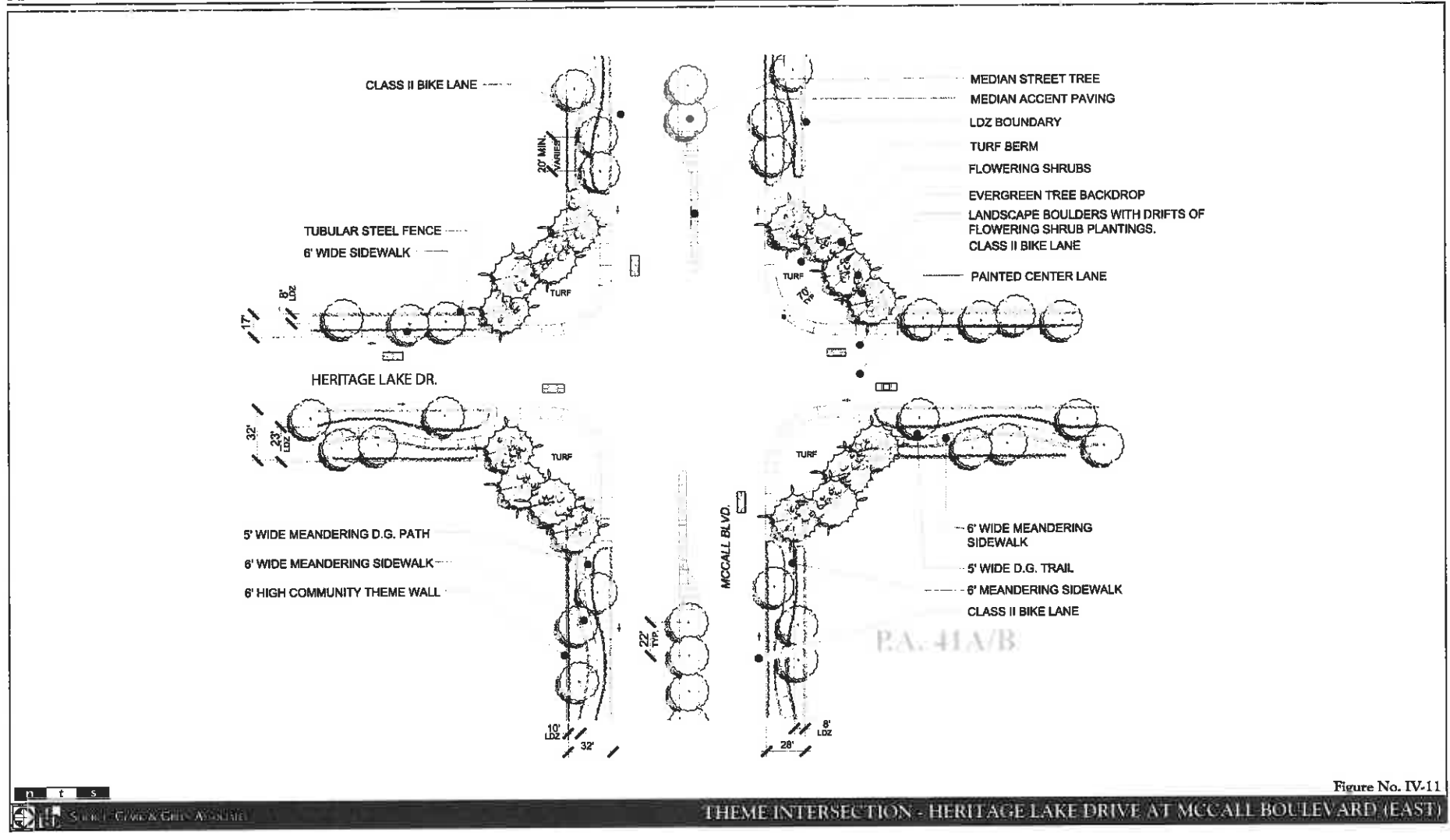


Figure No. IV-11

The MENIFEE VALLEY RANCH design concept is focused on the use of earthtone materials and colors, meandering drifts and groves of plant materials and trees, and the limited but appropriate use of turf. To be avoided, will be soldiered trees at uniform spacing, except where orchard or citrus grove effects are desired. The use of this uniform grove effect will be limited.

**a. Expressway Corridor, Urban Arterial, Major and Secondary Streetscapes**

*1) State Route 74, Menifee Road, Briggs Road, and Simpson Road*

MENIFEE VALLEY RANCH is bounded by Menifee Road to the west, SR-74 to the north, Simpson Road to the south, and Briggs Road to the east. These streetscapes, shown on Figures IV-12A, IV-12D, IV-12E, and IV-12F, have been designed to provide additional landscape area beyond the street right-of-way while also providing consistency with adjacent proposed or approved projects where applicable.

These perimeter streetscapes will allow reasonable buffering and the appropriate landscape treatments to properly introduce the community, while maintaining consistency along the overall expressway corridor, urban arterial, major or secondary highway streetscape. MENIFEE VALLEY RANCH is planned to focus internally.

*2) McCall Boulevard and McLaughlin Road*

McCall Boulevard and McLaughlin Road, the two east/west trending major roadways have relatively balanced but generous landscape zones beyond the respective right-of-ways, as shown on Figures IV-12B, IV-12C, IV-12CC, and IV-12G. McCall Boulevard includes a landscaped center median island to reinforce its role as the key access point to major community elements. McLaughlin Road parallels the east/west drainage greenbelt through Minor Ranch, which provides a significant opportunity for additional landscape treatment, buffered pedestrian paths and residential buffer. Both streets include a single decomposed granite jogging path on one side in addition to concrete paths that are on both sides. McCall Boulevard offers a quality pedestrian system that provides a meandering concrete path separated from the street curb by a minimum 8' foot wide planting strip on both sides. McCall Boulevard includes 8-foot Class II bike lanes on both sides of the right-of-way to provide residents with bikeways and connectivity within Heritage Lake. McLaughlin Road offers a 6' min landscape setback on the north side of the road only. The jogging path runs parallel or adjacent to the meandering concrete path on the north side only.

*3) Malaga Road, north of McLaughlin Road*

Malaga Road, north of McLaughlin Road, serves as an important access point to Minor Ranch, which provides an opportunity for the landscape treatment shown on Figure IV-12H.

4) *Grand Avenue East, Grand Avenue West and Lindenberger Road*

Grand Avenue East, Grand Avenue West, and Lindenberger Road are important to the ranch land plan by supporting the major interior roadways of MENIFEE VALLEY RANCH and by moving traffic into and out of the individual neighborhoods quickly and efficiently. These streetscapes, shown on Figure IV-12I will include a concrete pathway/sidewalk on each side and a quality landscape zone.

**b. Enhanced Collector Streetscapes**

The unique and vital streetscape concept for MENIFEE VALLEY RANCH is focused on the treatment of the interior collector streetscape. The design of the streetscape provides a strong and significant landscape while providing a variety of pedestrian pathway choices for residents.

1) *Malaga Road, south of McLaughlin Road*

Malaga Road, south of McLaughlin Road, serves as both the main access point to the open space/recreation and an important access point to the senior community, which will be enhanced by the landscape treatment shown on Figure IV-12J.

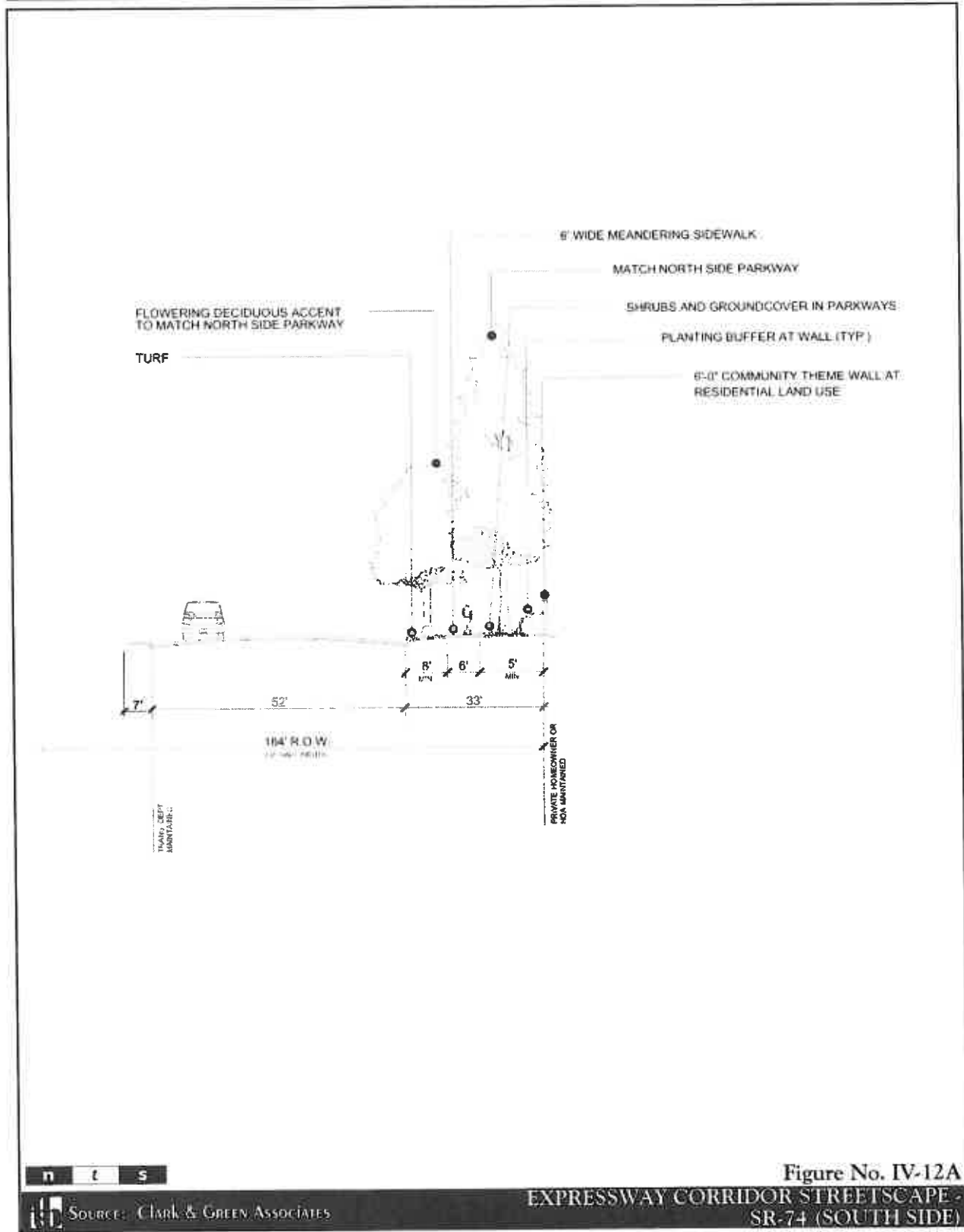
2) *Heritage Lake Drive, and Heritage Lake Drive at the Gas Line Easement*

The streetscape designs for Heritage Lake Drive and Heritage Lake Drive at the Gas Line Easement incorporate bike lanes, jogging paths, concrete pedestrian paths, and sidewalks to link all of the planning areas located within Heritage Lake to parks, school sites, the lake and private swim club facility, and the various greenbelt areas. The Heritage Lake Drive streetscape designs have been specially designed to provide for a greater extensive landscape area on the outside of Heritage Lake Drive, as shown on Figures IV-12K and IV-12L. This 32-foot wide landscape area provides a concrete path and adjacent jog path which are set a minimum of eight feet away from the street curb, and allows substantial planting area for the development of large, clustered canopy trees and buffering shrub masses. Placement of the wide landscape area on the outside of Heritage Lake Drive will insure maximum visual awareness of the landscape treatment by people traveling around Heritage Lake Drive. Heritage Lake Drive includes 8-foot Class II bike lanes on both sides of the right-of-way to provide residents with bikeways and connectivity within Heritage Lake.

**c. Street “A” and Street “B”**

Street “A” and Street “B”, as shown on Figure IV-13A, will provide additional access points into the project from the north and east. Street “A”, which runs north-south beginning at SR-74, will provide an access to the high school site. Street “B”, which runs east-west, will begin at Menifee Road and terminate at Heritage Lake Drive in the southwestern portion of the project. Street “B” will allow residents in the southern half of the project to easily access Menifee Road.

The land plan in the southern portion of the MENIFEE VALLEY RANCH project site allows vehicles to maximize road travel on the perimeter highways instead of on the interior community roads. This will reduce interior traffic and maximize resident pedestrian and bicycle enjoyment of the Heritage Lake Drive landscape zones.





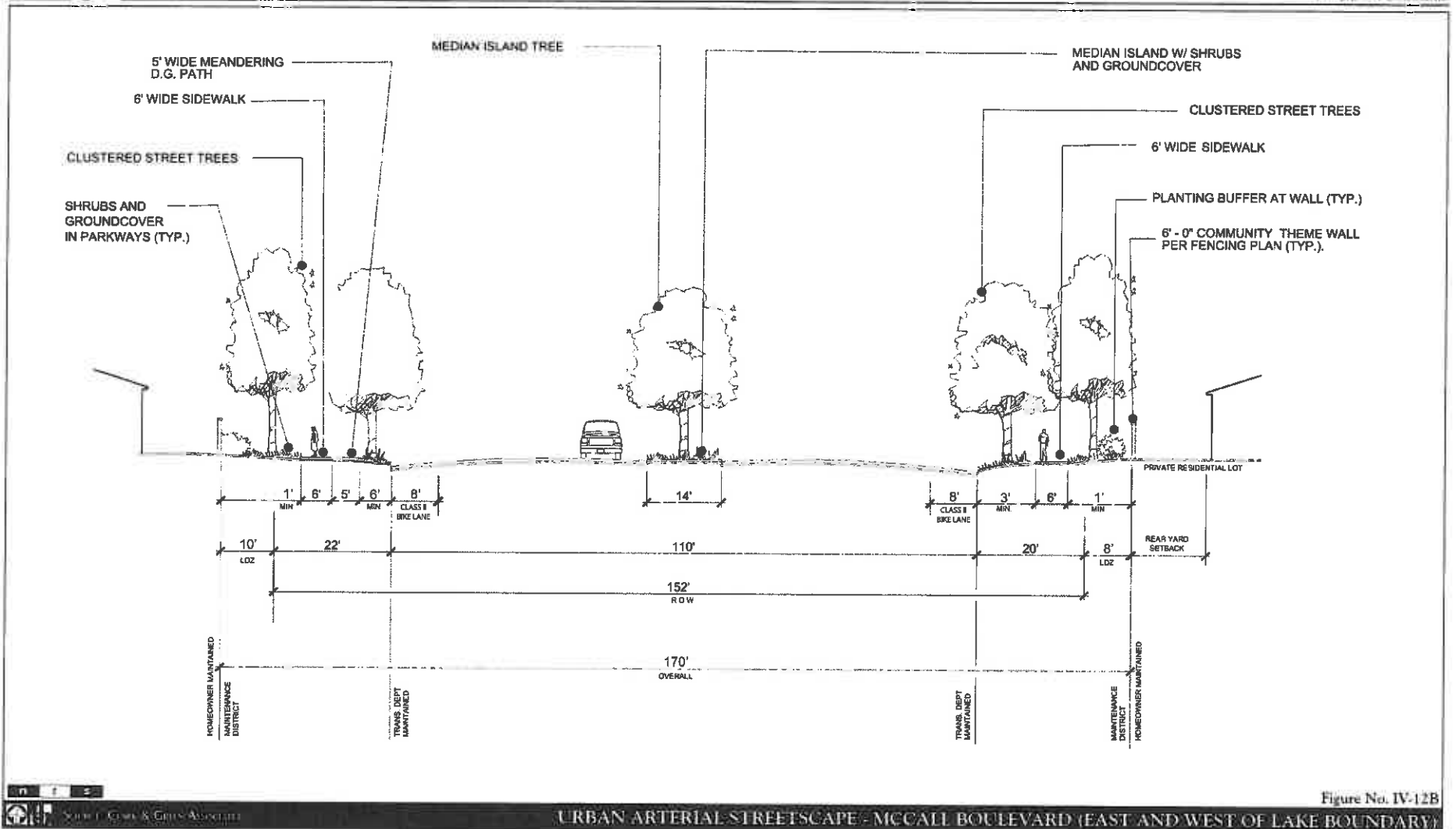
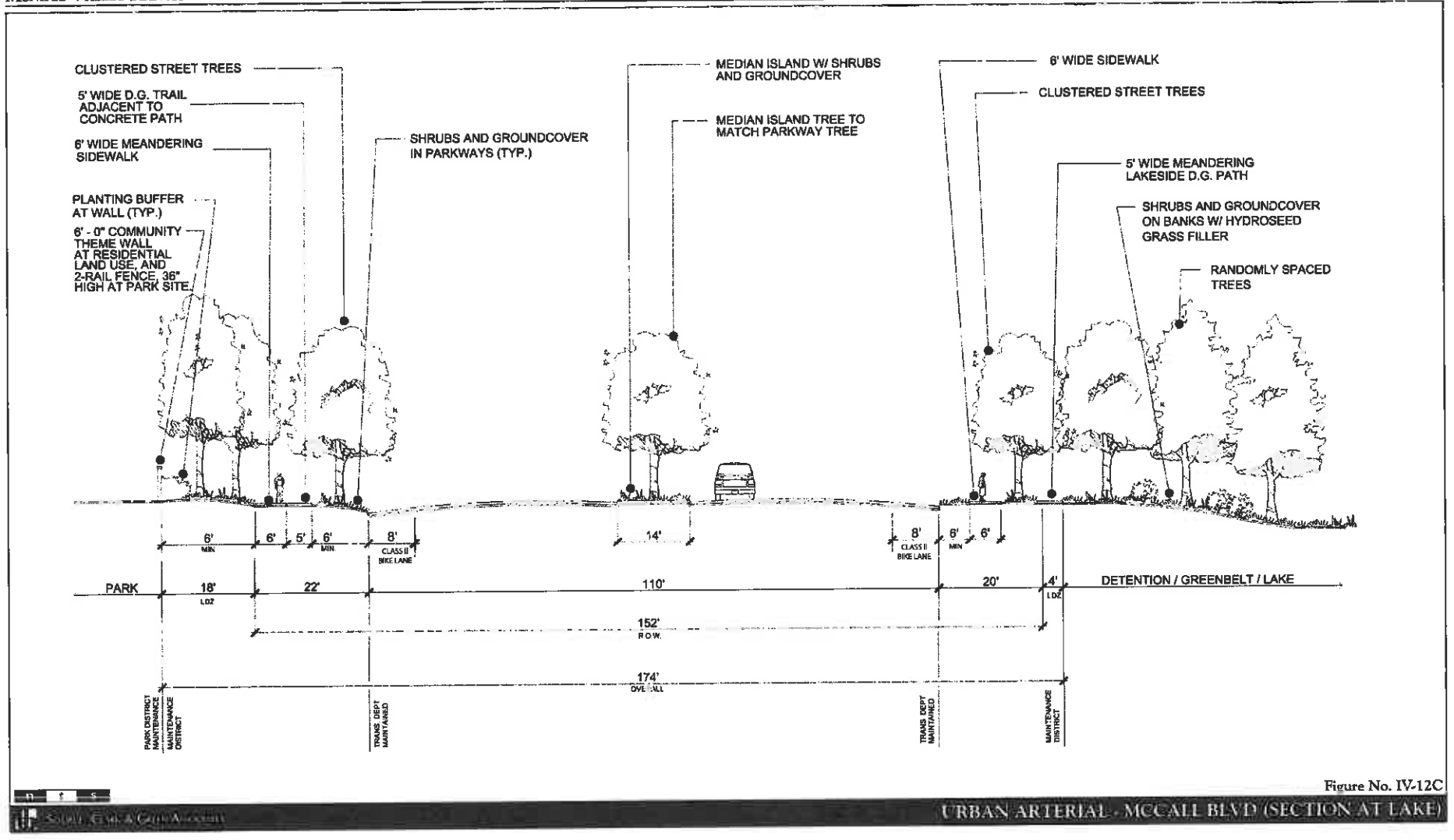
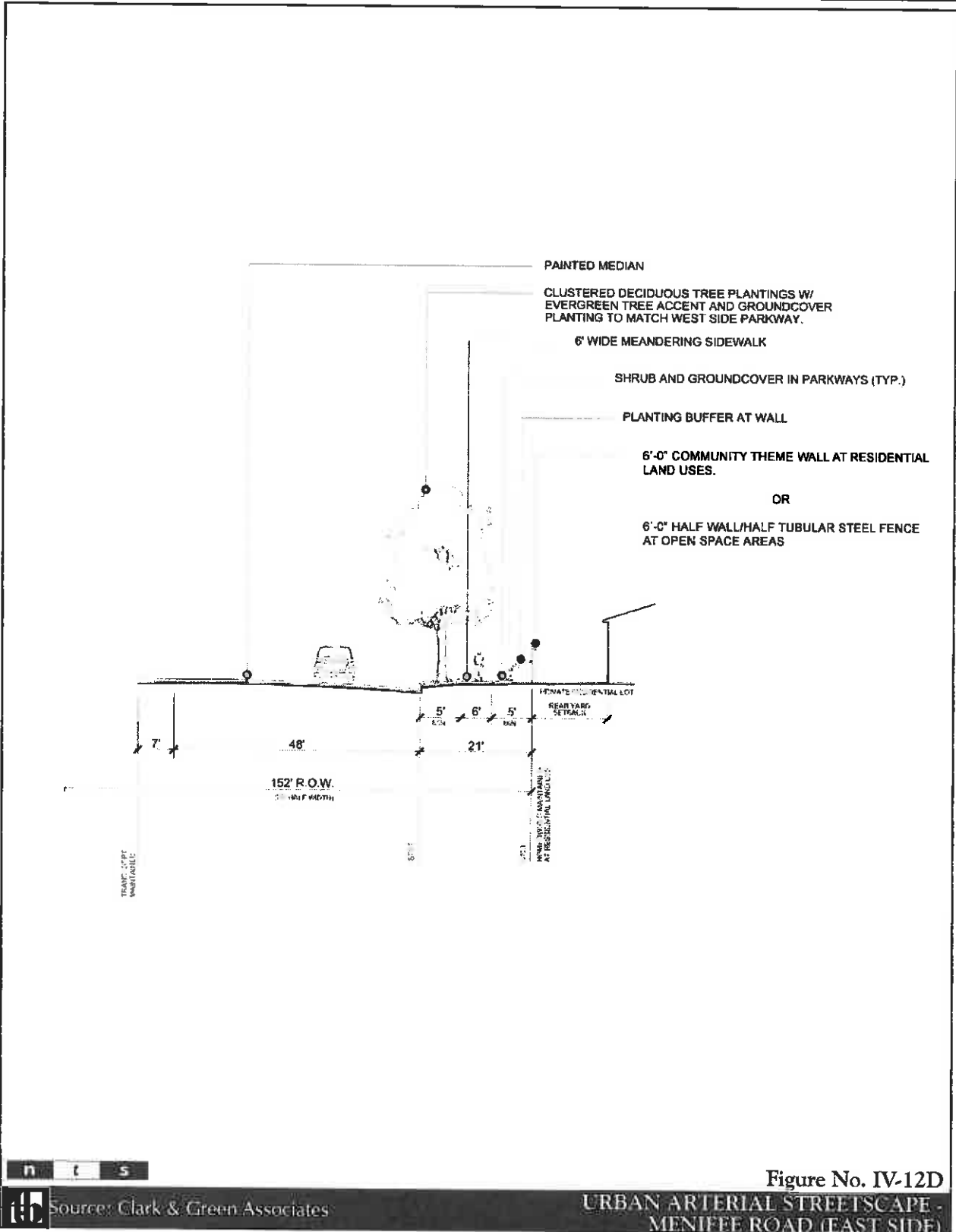
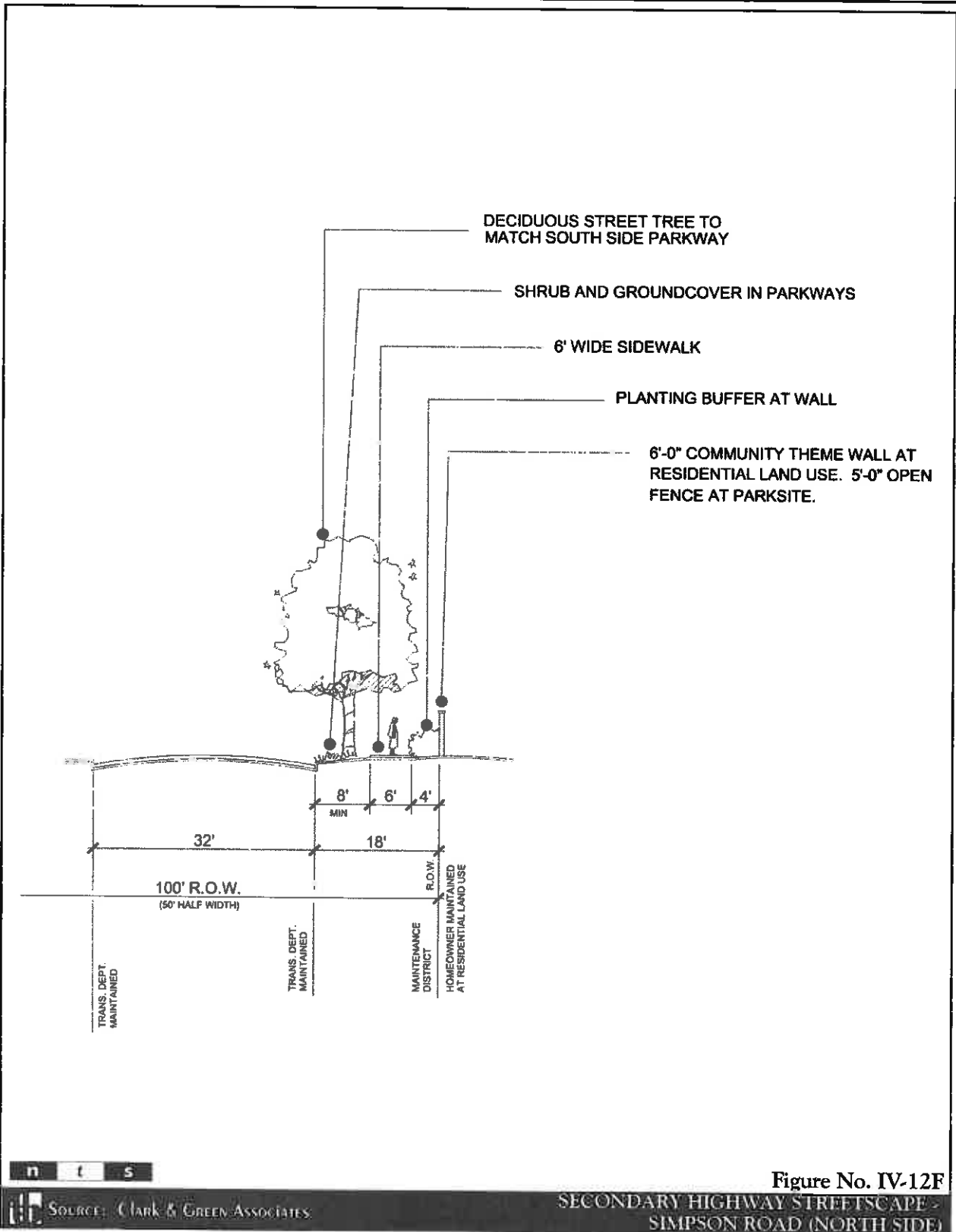


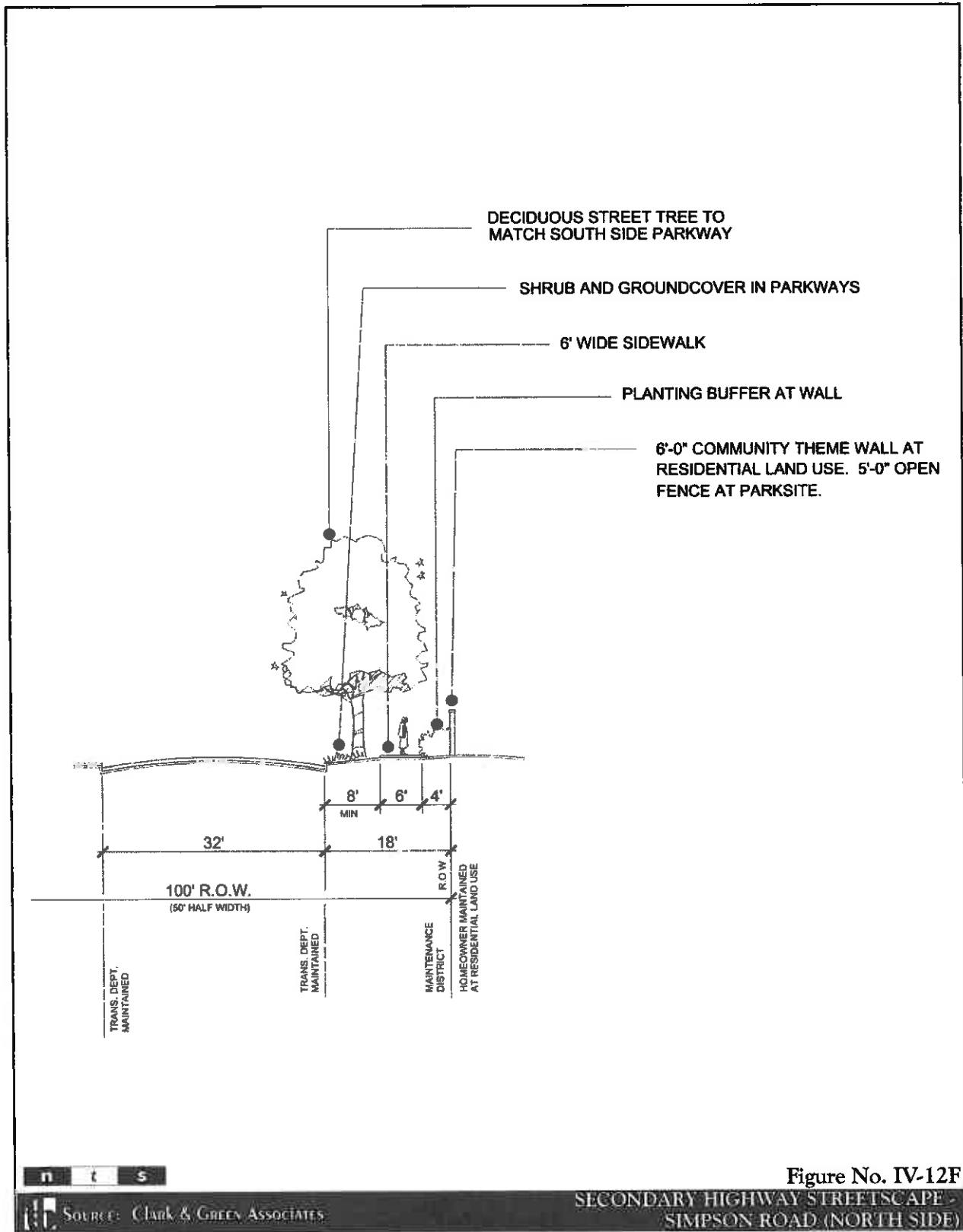
Figure No. IV-12B

URBAN ARTERIAL STREETScape - MCCALL BOULEVARD (EAST AND WEST OF LAKE BOUNDARY)









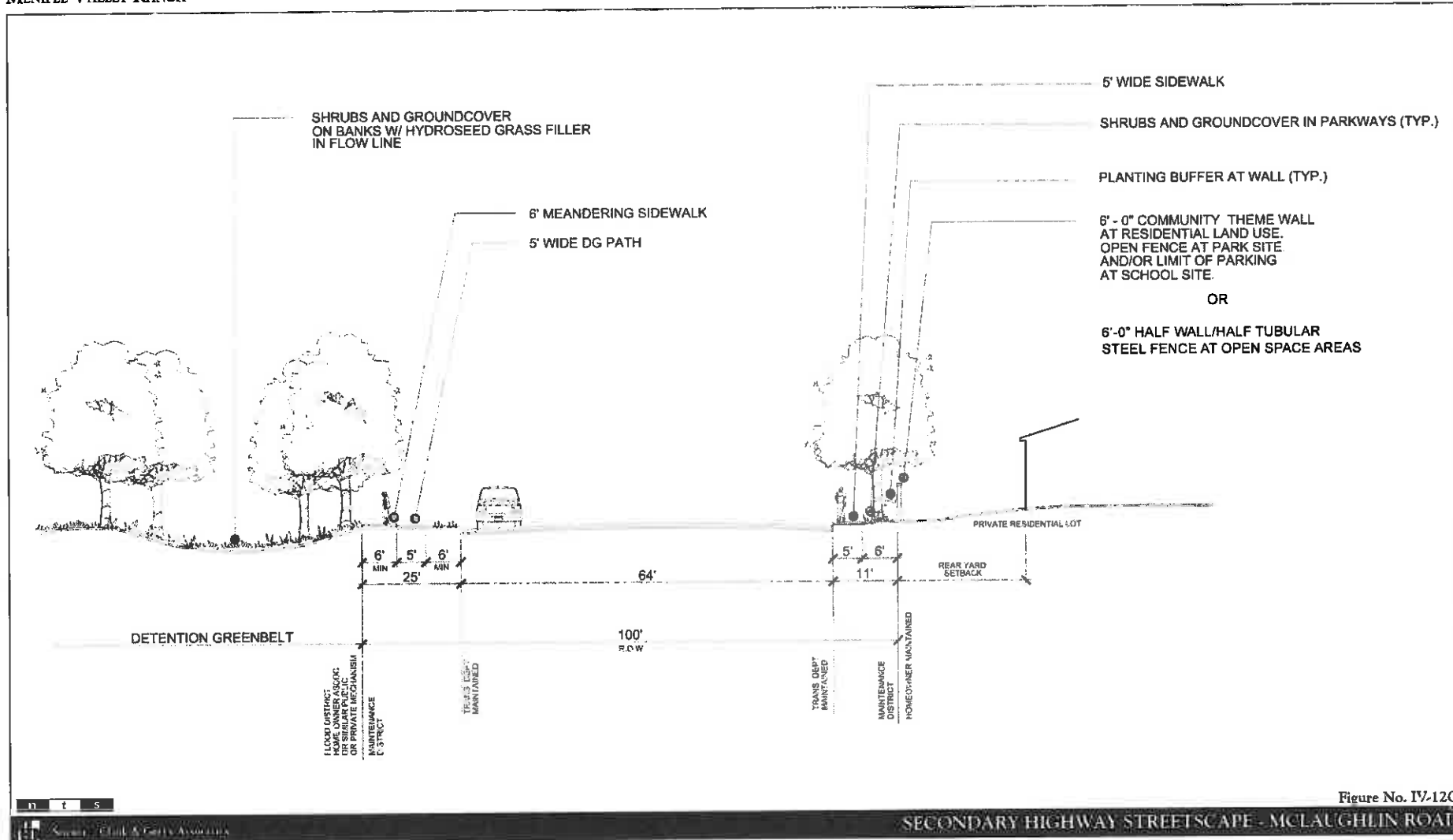


Figure No. IV-12G

SECONDARY HIGHWAY STREETSCAPE - MCLAUGHLIN ROAD

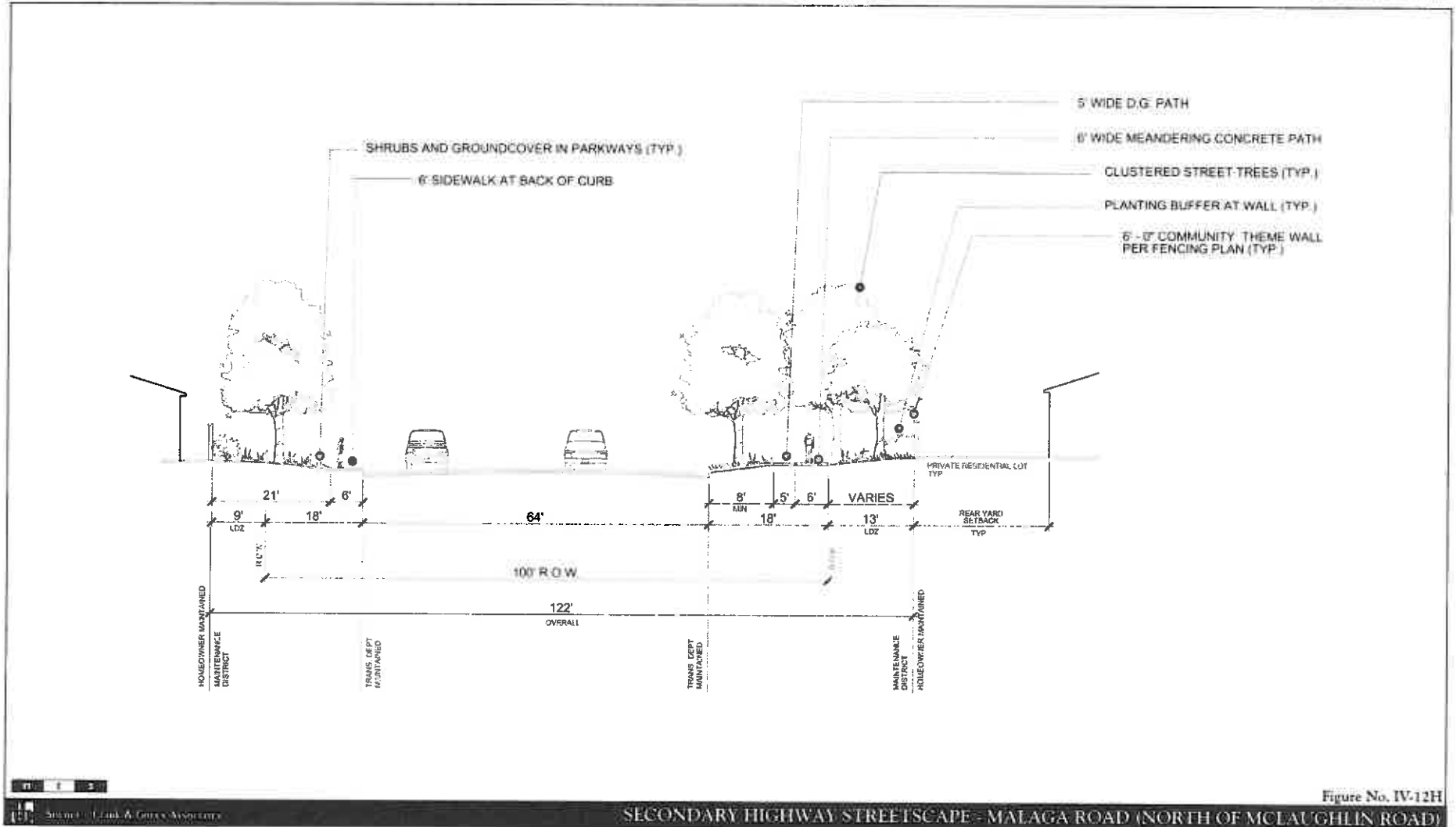
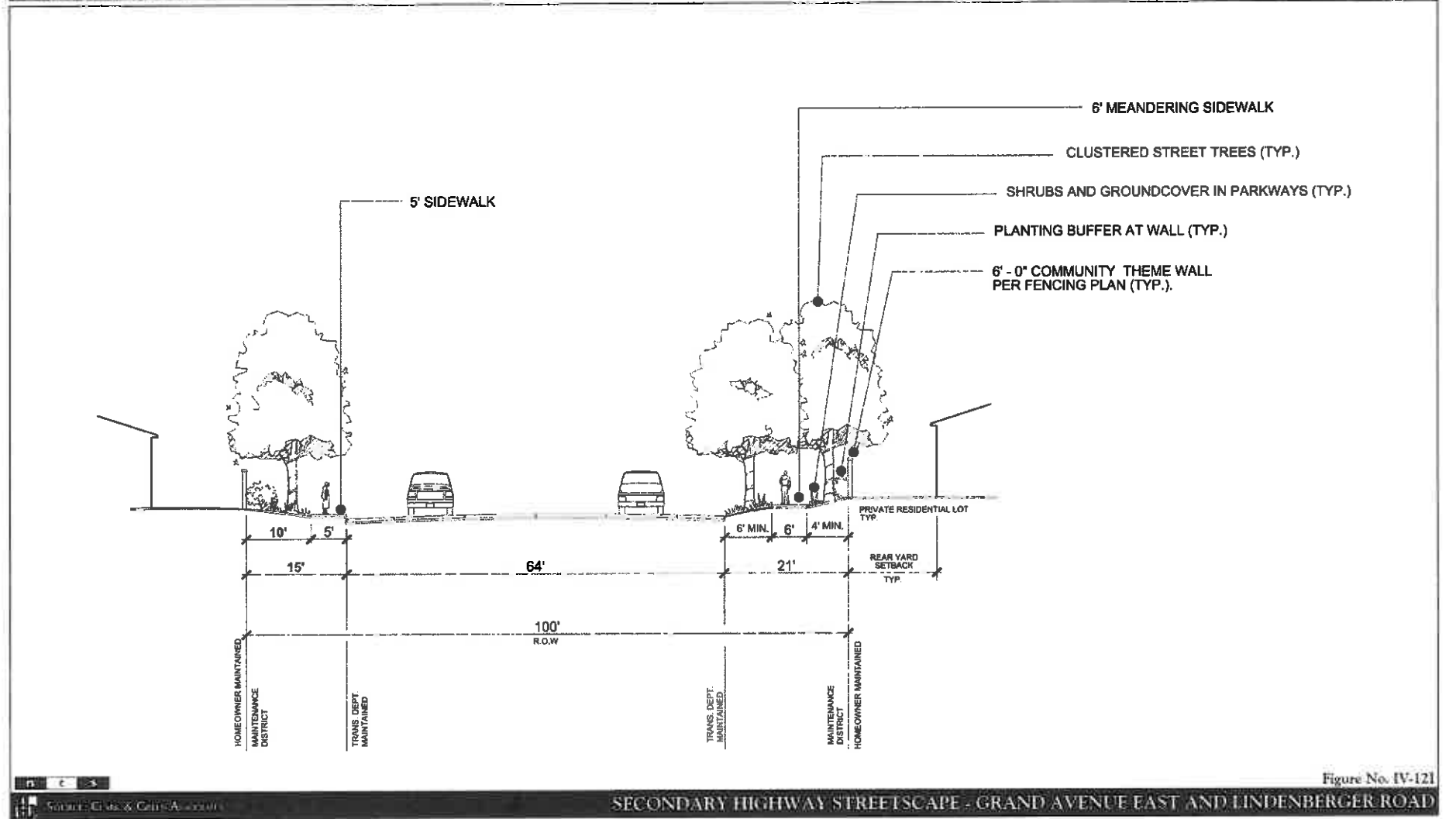
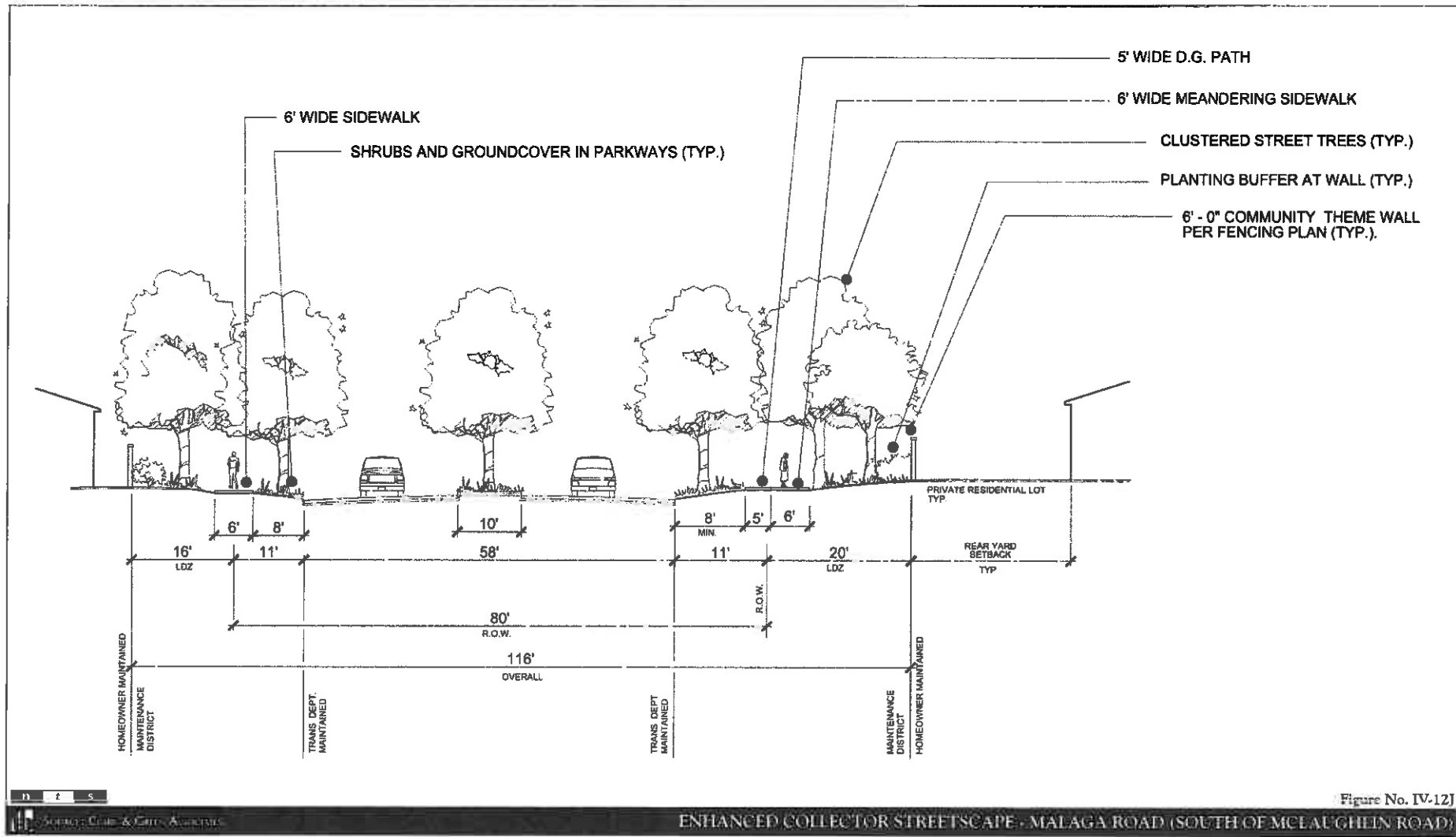


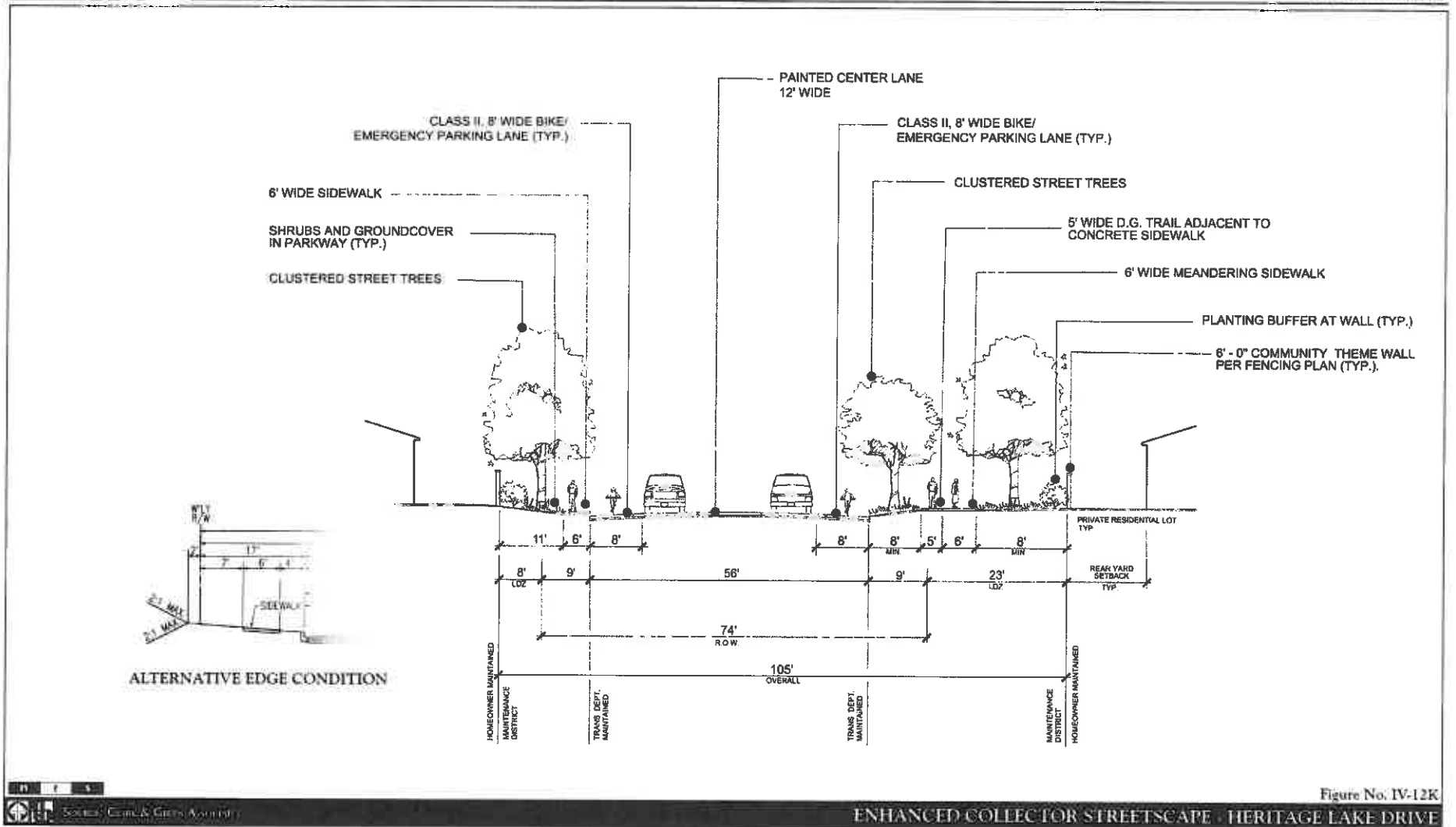
Figure No. IV-12H

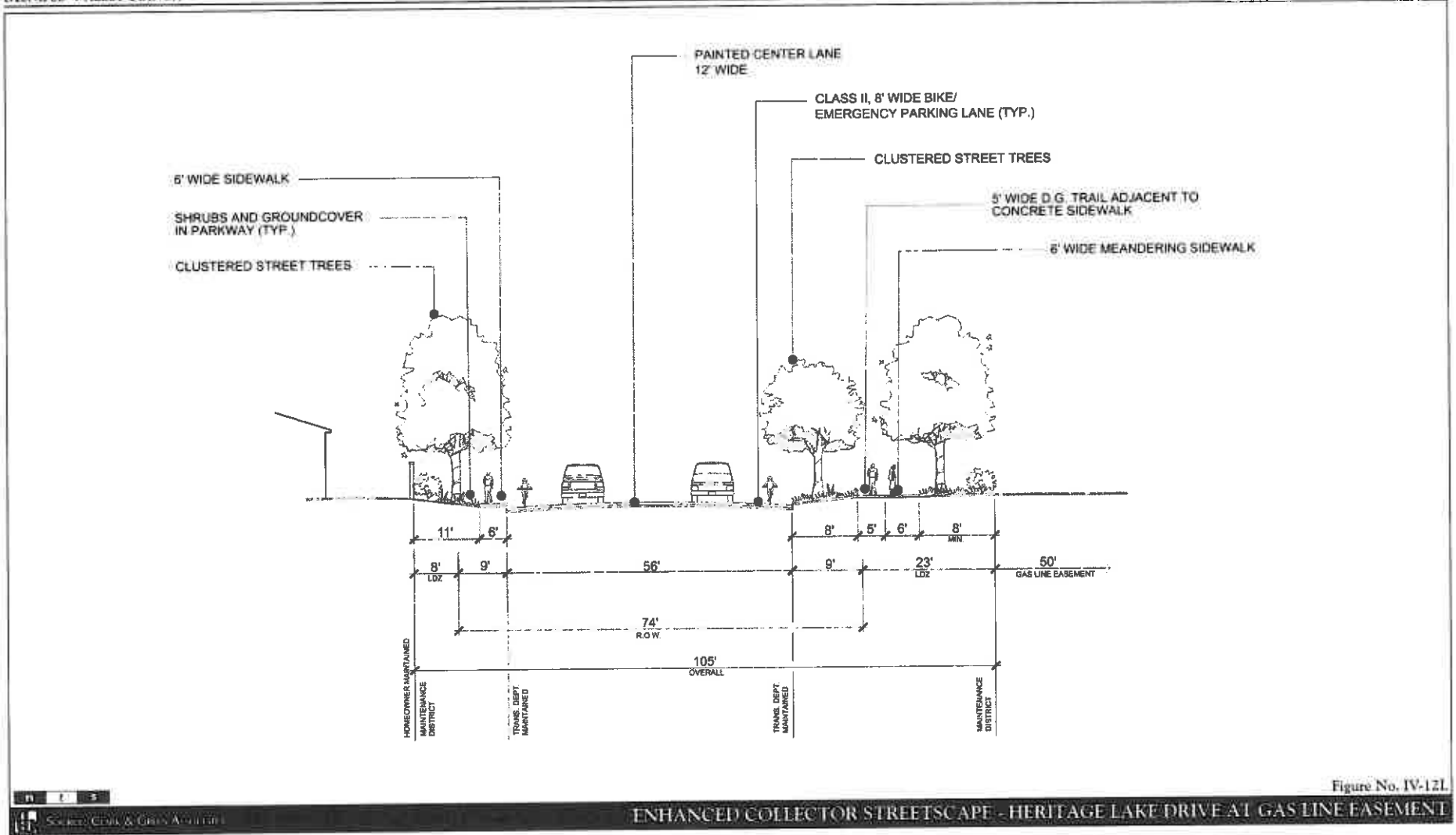
SECONDARY HIGHWAY STREETSCAPE - MALAGA ROAD (NORTH OF MCLAUGHLIN ROAD)











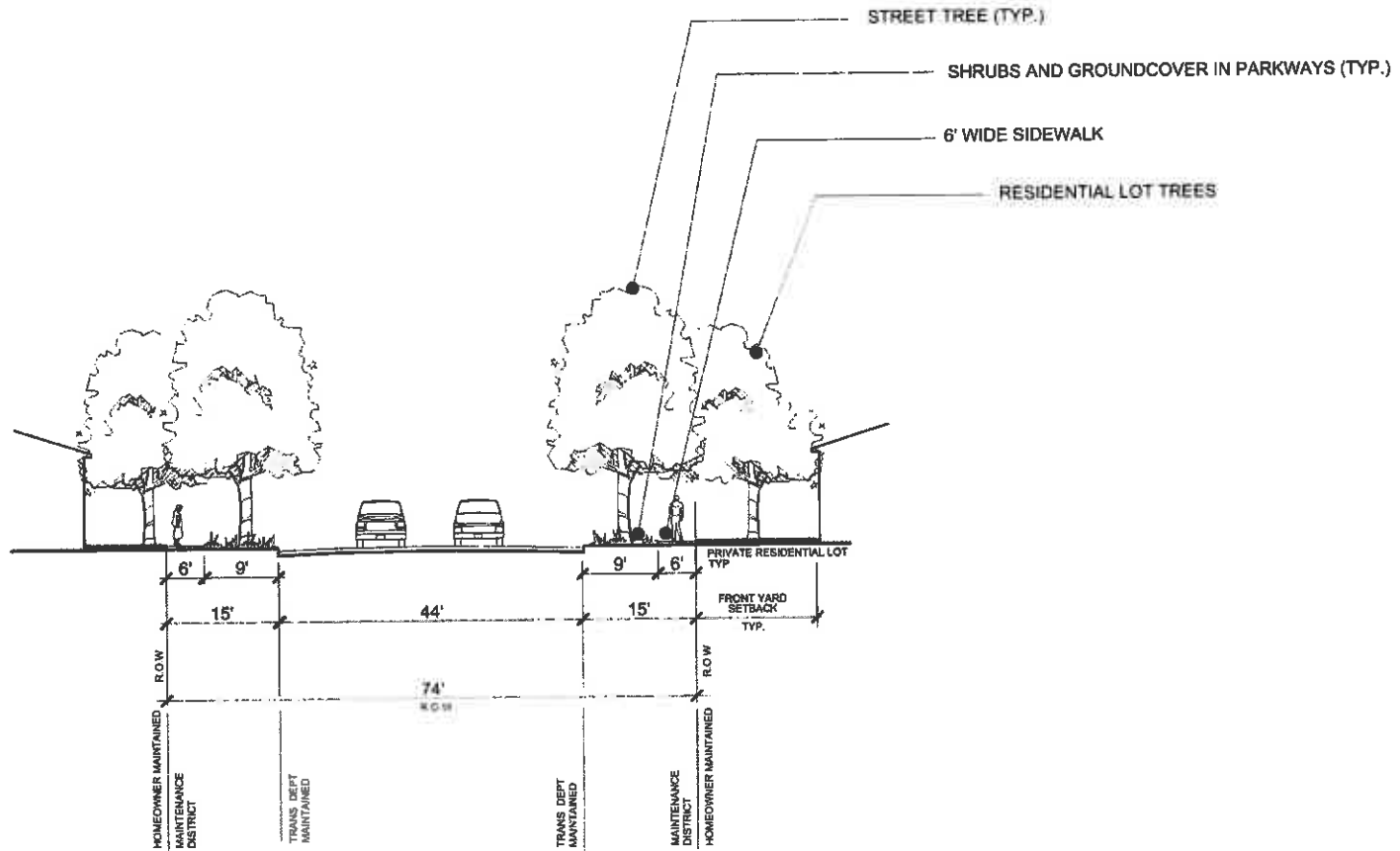


Figure No. IV-12M

COLLECTOR ROAD STREETSCAPE - STREET "B"

**d. Local Road Streetscapes**

## 1) Local Streets

Local road and collector streetscapes are shown on Figures IV-13 and IV-13A, respectively. The local roads within MENIFEE VALLEY RANCH consist of private front or side yards of single family residences. Street trees and front and exterior side yards will be required to be installed by the residential enclave builder, however, the rear and interior side yards will be the responsibility of each individual homeowner.

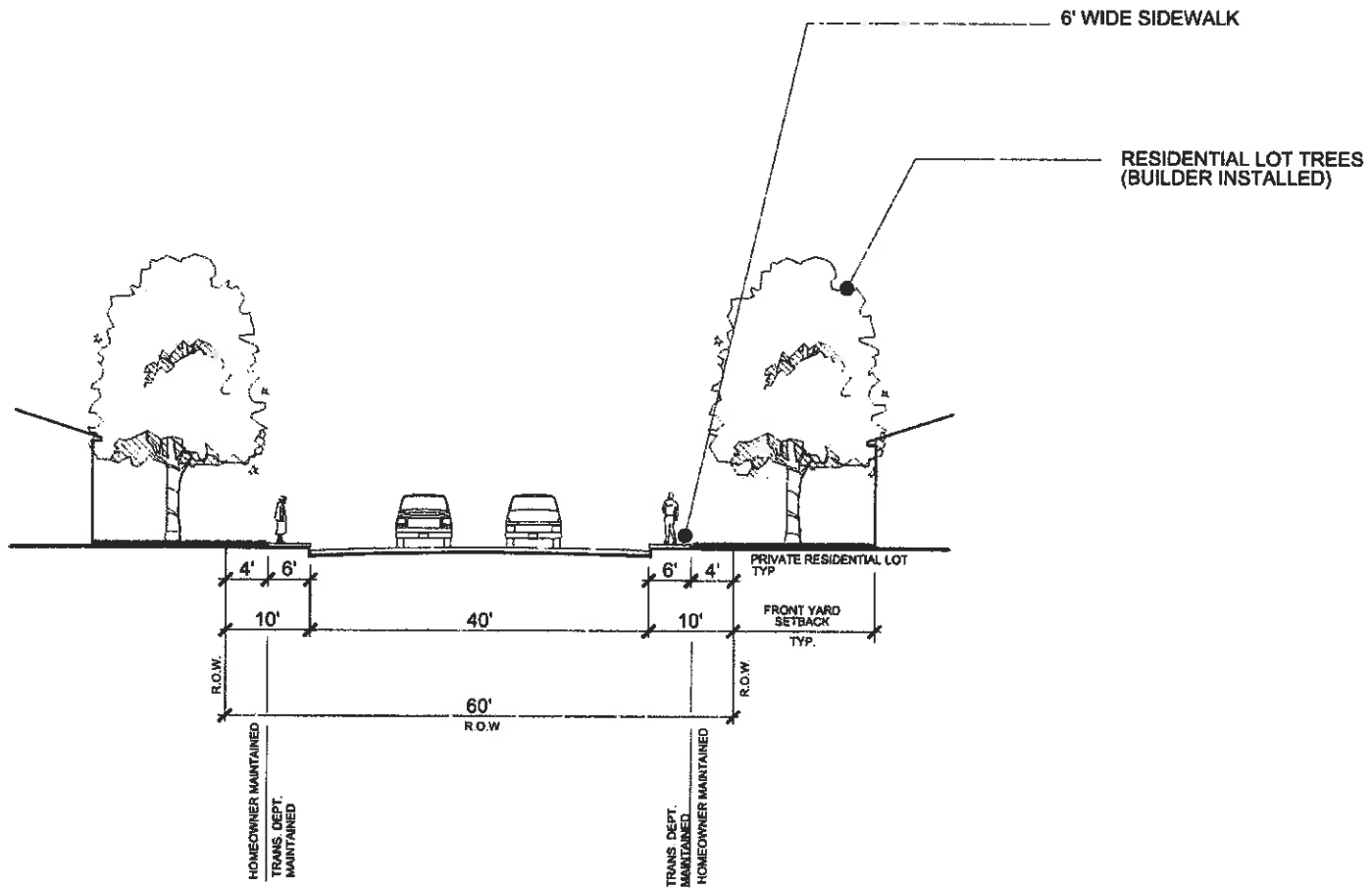
## 2) Residential Lot Landscape Requirements

Each residential lot shall receive a minimum of one 15-gallon size street tree planted in the right-of-way. Corner lots shall receive a minimum of two 15-gallon size street trees also planted in the right-of-way. Street trees planted along right-of-way will be approximately 40 feet on center. Tree varieties shall be chosen from the MENIFEE VALLEY RANCH Plant Palette contained herein. Trees should be clustered near property lines to maximize their buffering effect and streetscene impact. One species of tree shall be selected and approved for each residential street to maximize visual neighborhood identity. Deciduous or flowering evergreen accent trees which contrast with the chosen street trees are encouraged at cul-de-sacs, knuckles and intersections to provide seasonal emphasis and interest.

## 3) Residential Front Yard Requirements

A maximum of fifty percent of the front yard, excluding driveways and sidewalks may be seeded or sodded turf. A minimum of ten 5-gallon shrubs, twenty 1-gallon shrubs and an automatic irrigation system shall be installed by the builder/developer in the front yard of each residential lot. The turf, shrubs and irrigation shall be installed up to a logical stopping point from the curb face to the front of house and side yards. Side yard slopes over 3:1 surface gradient and three feet in height should be planted with groundcover. Low slopes may be graded out to a less than 3:1 surface gradient and planted with turf.

A minimum of one 24" box tree (minimum 2" caliper) and one 15-gallon or larger tree (minimum 2" caliper) shall be planted in the front yard of each residential lot in addition to the required street tree. These trees may match the street trees planted in the right-of-way and be located in proximity to said street trees in order to create a more harmonious effect. The trees may also contrast with the street tree and form backdrop tree clusters. Overall, the front yard scheme shall create a streetscene appearance of tree clusters meandering through the project and across streets.



1 1/2" = 1'

Source: Crain & Gillette Associates

Figure No. IV-13

LOCAL ROAD STREETSCAPE - 60' R.O.W.

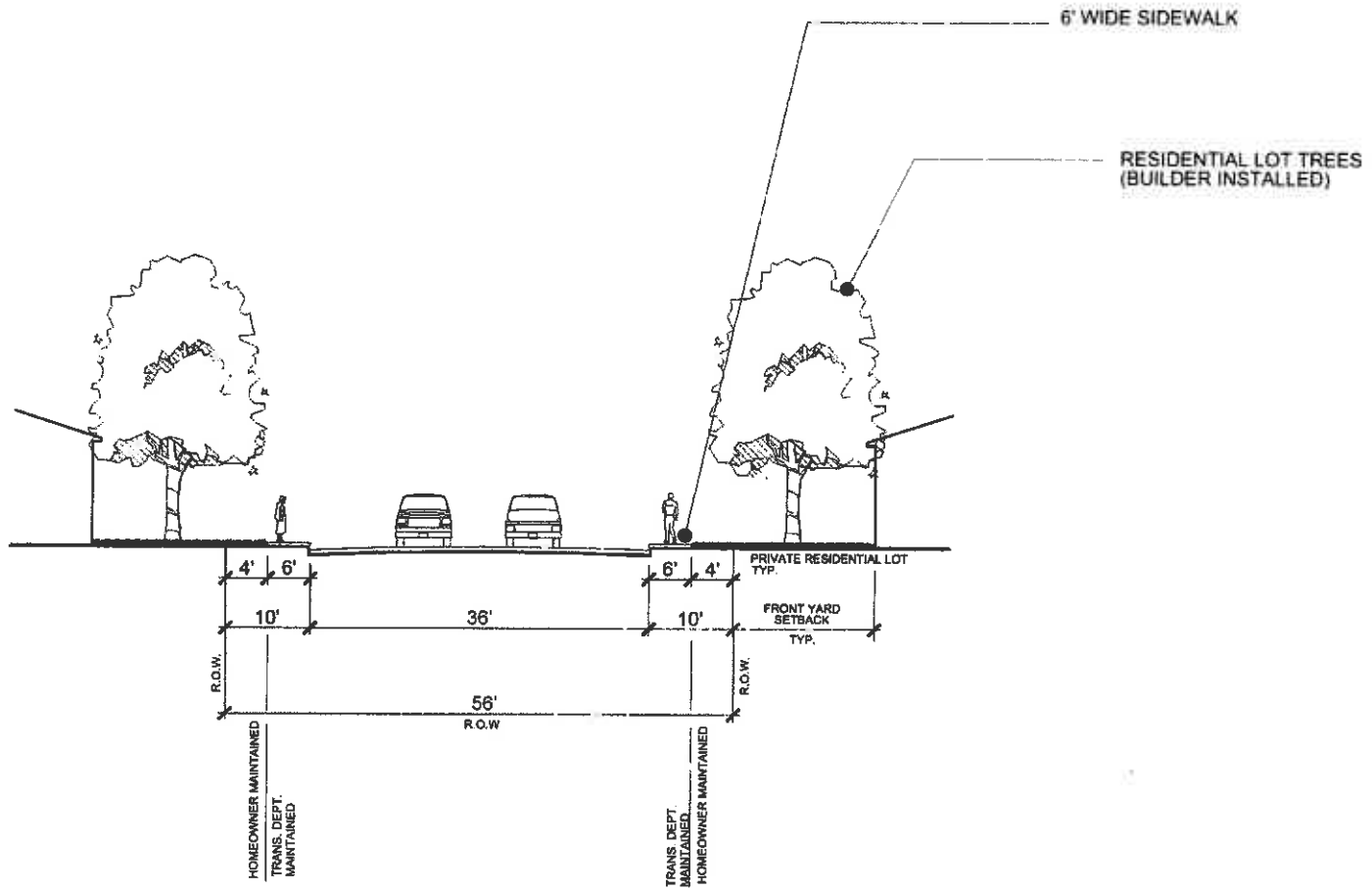


Figure No. IV-13A

LOCAL ROAD STREETSCAPE - 56' R.O.W.

#### 4. COMMUNITY WALLS AND FENCES

Community walls and fences are a major visual element that helps to unify the visual appearance of the community. The wall and fence plan for MENIFEE VALLEY RANCH is shown on Figure IV-14, *Community Walls and Fence Plan*. Community walls and fences have been carefully designed to reflect the overall theme, and are illustrated on Figure IV-15, *Conceptual Theme Wall and Fence Elevations*. They will be easy to maintain and provide a durable, long term edge enclosure defining "private" and "public" spaces.

##### a. Solid Masonry Theme Wall

Solid masonry walls, as shown on Figure IV-15 as G2.1, will be provided as rear and side yard enclosures where privacy is desired such as adjacent to streetscapes. The solid theme wall used in MENIFEE VALLEY RANCH will be a mortar washed slump block masonry unit. Pilasters will be placed at wall terminus points and as determined to be necessary for visual benefit.

##### b. Open Tubular Steel Fence

Tubular steel fencing, as shown on Figure IV-15 as G2.2, will be used both at the residential interface to allow maximum view retention and at the interface with roads or other publicly accessible land uses where restricted access is necessary. Tubular steel fencing also may be used where an attractive open enclosure is necessary such as at a park site (or other land use) interface with busy roadways, where an open landscape buffer will not be sufficient to control recreational use. Where feasible, the tubular steel fence will be interspersed with thematic community stone or masonry pilasters.

##### c. Tubular Steel Over Solid Masonry Wall

This combination enclosure of a tubular steel fence mounted on a low solid masonry theme wall, as shown on Figure IV-15 as G2.3, occurs where partial privacy is necessary, but some view opportunity is permitted. Pilasters shall occur at the intersections of rear and side property lines, and shall be constructed of solid masonry theme wall materials.

##### d. Community Wood Fence

Wood fencing, as shown on Figure IV-15 as G2.4, is acceptable when not adjacent to common open space such as school sites, or parks. Wood fencing will be allowed in side yard, front yard, and rear yard conditions. Slopes in rear yard to rear yard conditions shall not exceed eight feet in height. Wood fence materials must be of sufficient quality to accept solid and semitransparent stains which are required to help prevent rotting and weathering. No transparent stains will be allowed.

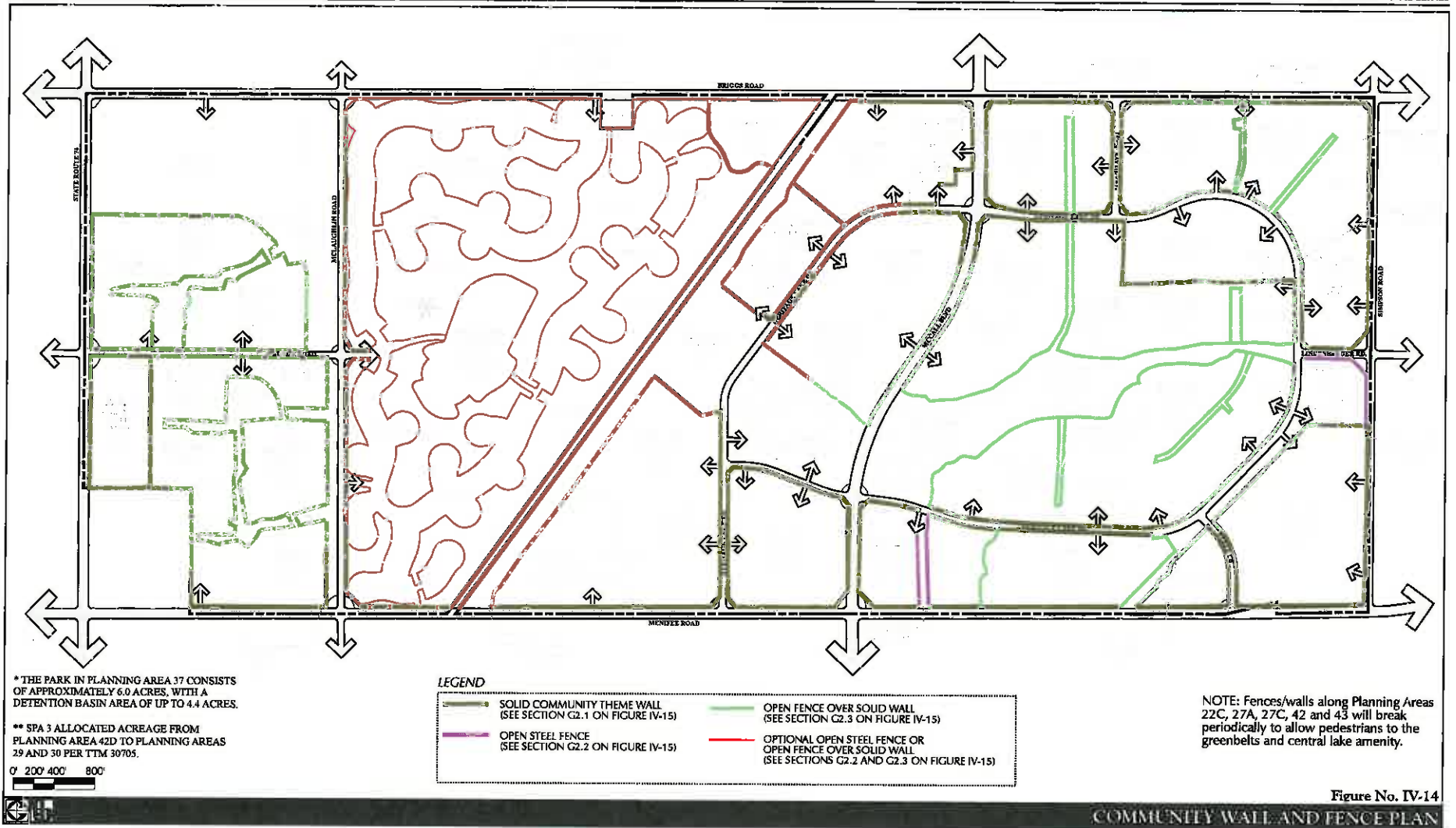
##### e. Chain Link Fencing

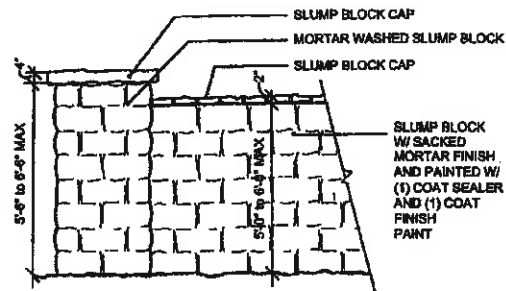
The use of chain link fencing shall be discouraged, however, chain link will be permissible at the drainage channel interface. A dark vinyl clad mesh shall be required.

##### f. Interior Neighborhood Streetscape Walls

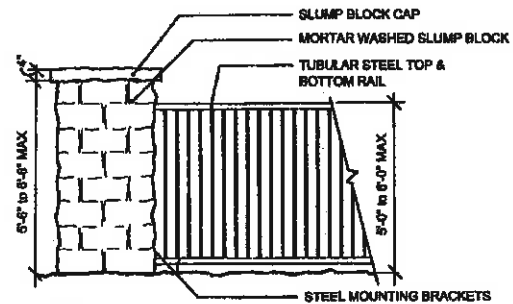
- 1) Walls adjoining any interior neighborhood streetscene shall have a perimeter streetscene solid community theme treatment. The community solid theme wall shall be utilized at all residential corner lot side yards which parallel or are viewed from public streets.



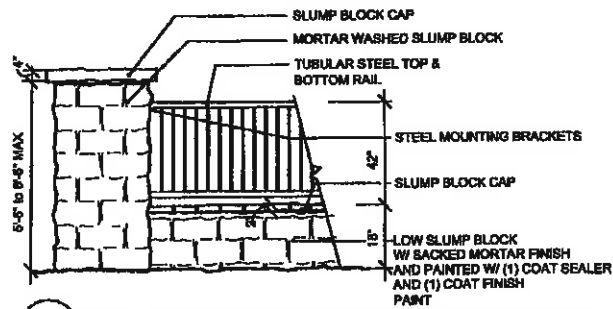




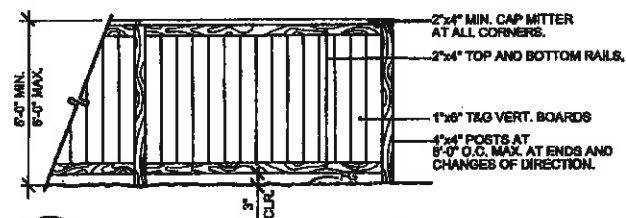
**G2.1 SOLID MASONRY THEME WALL**



**G2.2 OPEN TUBULAR STEEL FENCE**



**G2.3 TUB. STEEL OVER SOLID MASONRY WALL**



**G2.4 COMMUNITY WOOD FENCE**

Figure No. IV-15

CONCEPTUAL THEME WALL AND FENCE ELEVATIONS



- 2) Wood fencing is permitted within the individual neighborhood provided the fencing is not readily visible from the community streetscenes, except as located behind the front yard setback.

**g. Institutional and Related Land Uses**

Screen and security fences and walls are encouraged only in rear or side yards. Trash deposit areas shall be enclosed within a six-foot-high, gated trash enclosure, wherever located.

**h. Wall and Fence Heights - Residential and Institutional Uses**

- 1) Front yard wall heights must be compatible with the visual appearance and integrity of the front yard streetscene. Fences and walls in the front setback and side setback shall not exceed three and one-half feet above grade. However, security fencing may be approved if there is a demonstrated need for security. The maximum height for this fencing shall be six feet above grade. In this instance a combination wall/open fence enclosure shall be encouraged.
- 2) Side and rear yard fences or walls shall not exceed a height of six feet.
- 3) Pool Code: All fencing shall conform to the applicable City of Menifee pool code fencing requirements.

**i. Materials and Colors**

- 1) All walls and fences within the private residential lots shall be designed and constructed as part of the overall architectural design and site design. All materials shall be durable and finished in textures and colors complimentary of the overall architectural design.
- 2) Permitted Wall Materials: Stone veneer, stucco (including stucco covered block), masonry, brick, slump block, block, and wrought iron combination and wood cap trim are acceptable.
- 3) Conditionally Acceptable Wall and Fence Materials: Glass and/or heavy break-resistant plastic are acceptable for use in fences and walls when necessary to preserve views while providing protection against wind, etc., if used in conjunction with the community solid theme wall.
- 4) Prohibited Wall and Fence Materials: Barbed wire, wire, electrically charged fences, plain exposed precision block, plastic materials, corrugated metal, chain link and grapestake fencing are prohibited.
- 5) Color and Special Wall and Fence Treatments: Walls may be left natural or covered with stucco, except plain precision block must be covered with stucco. Brick or slump block walls may be painted or covered with stucco, if desired. Stone surfaces shall remain natural or unpainted.
- 6) Special Wall and Fence Regulations: A six-foot-high-minimum masonry wall shall be constructed on each property line prior to development of any industrial or business-

related use that adjoins any parcel specifically zoned for residential, open space, or school use.

**j. Special Regulations**

- 1) All fences and walls connecting two separate residential dwelling units shall be constructed of the same color and material, and shall be compatible with the color and material of the architecture.
- 2) Long walls should be broken-up with landscaping, alignment-offsets, and material changes to relieve visual monotony. When possible, a three-foot-minimum space should be left between paved areas and walls and fences to allow for vines and espaliers.

**k. Private Residential Walls and Fences**

- 1) Front yard return walls shall be constructed of masonry and shall be a minimum of five feet (5') in height.
- 2) There shall be a side yard gate on one side of the front yard, and it shall be constructed of wrought iron, wood, or tubular steel.
- 3) Side and rear fencing shall be constructed of either masonry or wood. Wood fencing shall be of good quality and sufficient durability, with a stain or sealant to minimize water staining. All posts shall be set in concrete to a minimum depth of 24 inches with 3 inches of cover on all sides.

**5. LAND USE TRANSITIONS**

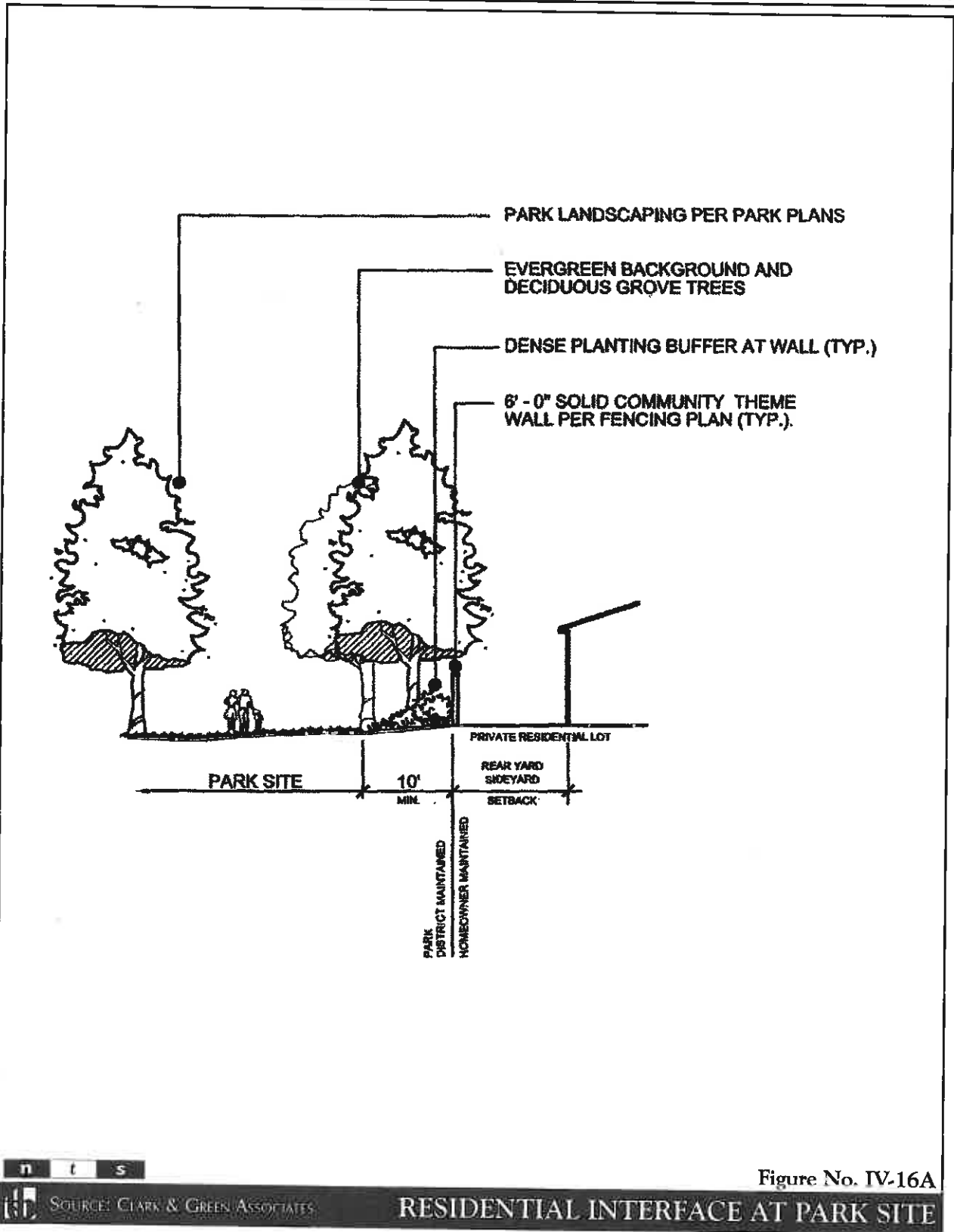
Enhanced landscape treatments are incorporated throughout MENIFEE VALLEY RANCH to serve as buffers between land uses. Each landscape treatment is sensitive to the characteristics of the land uses being separated so that positive elements are accentuated while conflicting elements are mitigated. The landscape treatments for the individual land use interfaces are shown on Figures IV-16A through IV-16H.

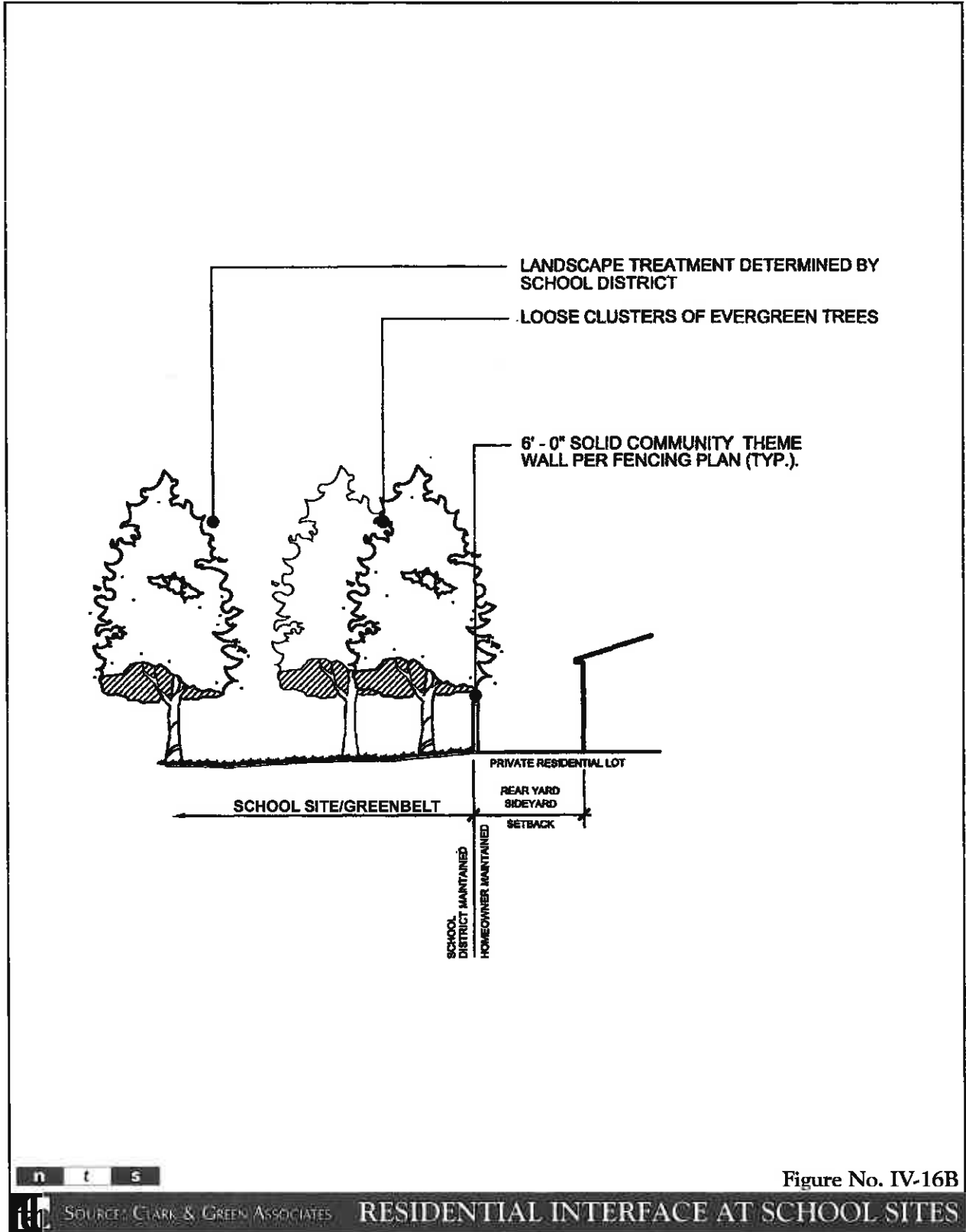
**a. Residential Interface at Park Sites**

A six-foot-high solid community theme wall shall enclose the rear of each residential lot that abuts a park site. A ten-foot-wide (minimum width) landscape buffer shall be provided within the park site along all edges that abut residential yards, as shown on Figure IV-16A, *Residential Interface at Park Site*. The landscape buffer will be planted with evergreen background and deciduous grove trees with a shrub and groundcover planting to create a dense buffer between the land uses. The landscape buffer will be installed as part of the park development.

**b. Residential Interface at School Sites**

A six-foot-high solid theme wall will be installed at all rear yard and side yard residential interfaces at school sites, as shown on Figure IV-16B, *Residential Interface at School Sites*. The school district will determine the landscape treatments to be provided on school property but will be encouraged to plant loose clusters of evergreen trees to provide an open buffer adjacent to residential land uses.





**c. Residential Interface at the Lake, Greenbelts and Detention Areas**

Residential lots abutting the lake, greenbelts, and drainage channel areas will have a combination fence/wall system consisting of a low, solid community theme wall with an open tubular steel fence set above, as shown on Figure IV-16D, *Residential Interface at Lake, Greenbelt and Detention Areas*. Clusters of trees will be planted at side yard property boundaries to frame views and soften the impact of the residential structures to off-site areas. Shrub masses will be set along the wall edge and on adjacent slopes. Maintenance roads, where required, will be provided along the top of channel or lake edge, but will be set below residential lots to the degree feasible.

**d. Residential Interface at Open Space/Recreation**

Residential lots abutting open space/recreation areas will maximize the view amenity with the use of a five-foot-high open tubular steel fence over a six-inch-wide concrete mow curb, as shown on Figure IV-16E, *Residential Interface at Open Space/Recreation*.

**e. Residential Interface at Open Space**

The residential lots abutting the open space in Planning Areas 13 and 38 will be enclosed with a six-foot-high solid community theme wall, as shown on Figure IV-16F, *Residential Interface at Open Space*.

**f. Residential Interface at Off-site**

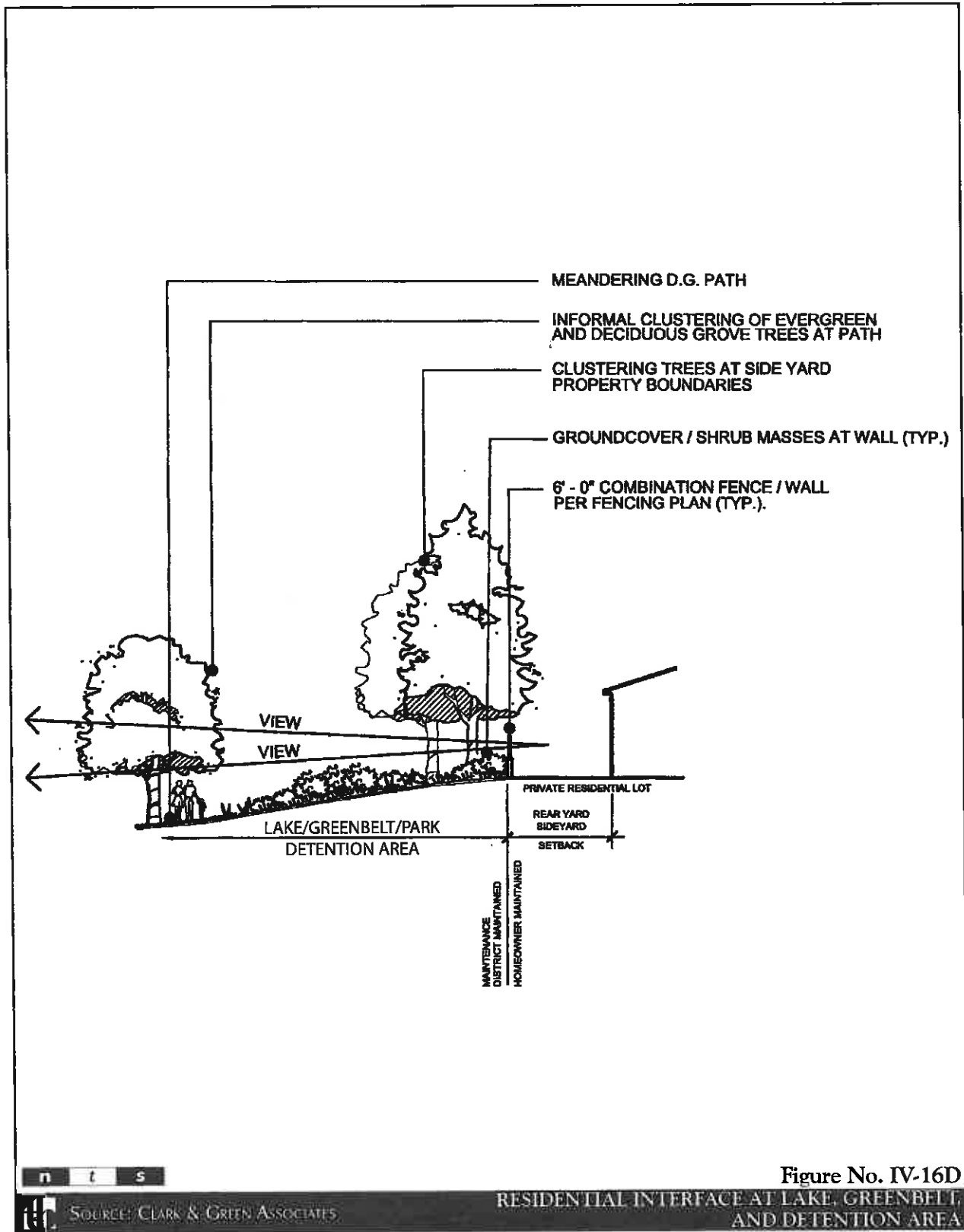
An enhanced landscape treatment will serve as a buffer between the residential land uses and the adjacent off-site uses in the northwestern corner of MENIFEE VALLEY RANCH, as depicted on Figure IV-16G.

**g. Park Interface at School**

The landscape treatment between park and school land uses is shown on Figure IV-16H, *Park Interface at School*.

**h. Fuel Modification**

Open space areas proposed on-site, consisting of natural vegetation may increase the fire potential for MENIFEE VALLEY RANCH. City of Menifee Ordinance 2014-148 requires that a Fire Fuel Modification Zone be maintained along residential edges at natural open space areas in order to reduce potential impacts from fires in the nearby open space. The project proposes to establish a 100-foot wide, fuel modification zone, measured from the residential property line to the open space areas.





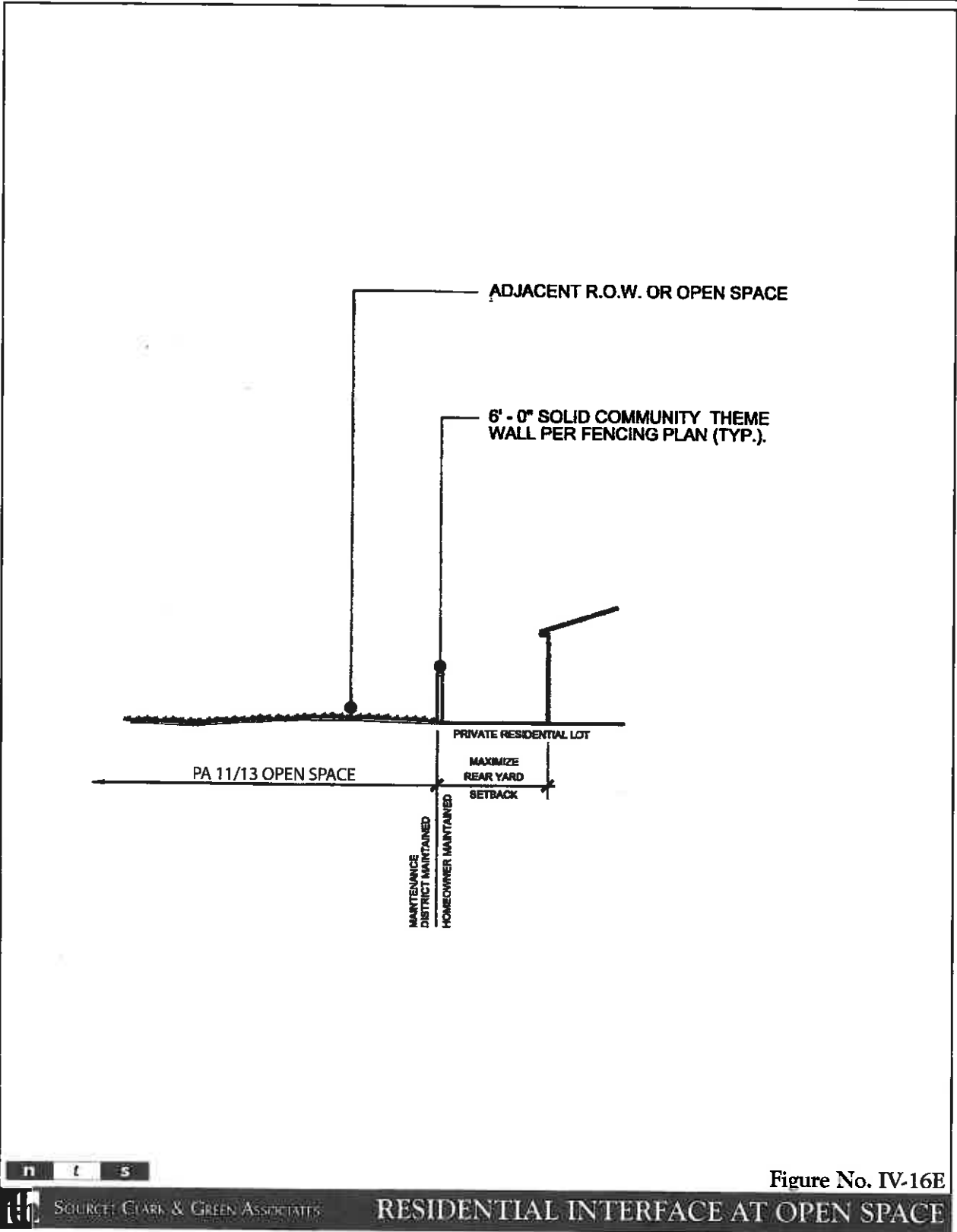


Figure No. IV-16E

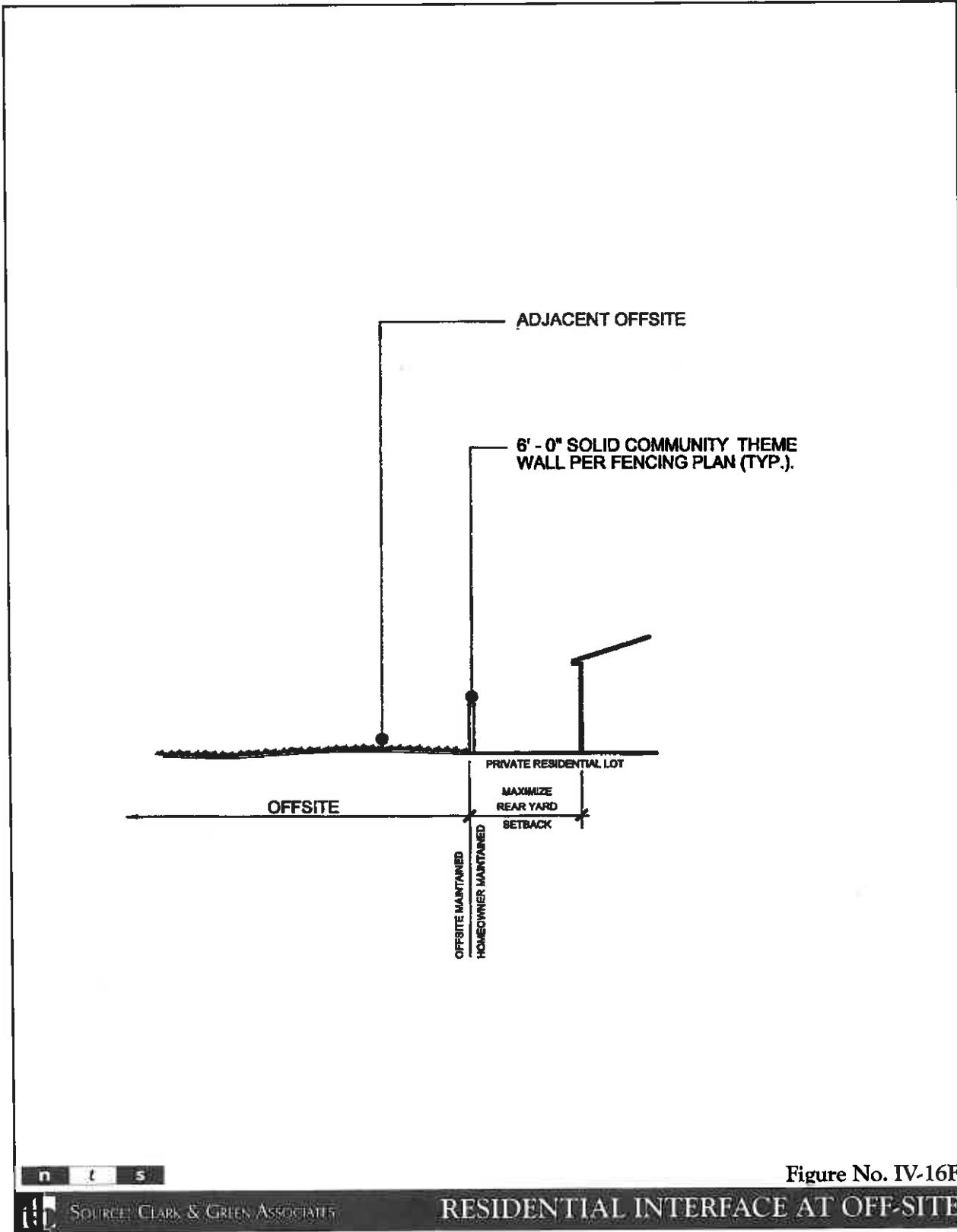
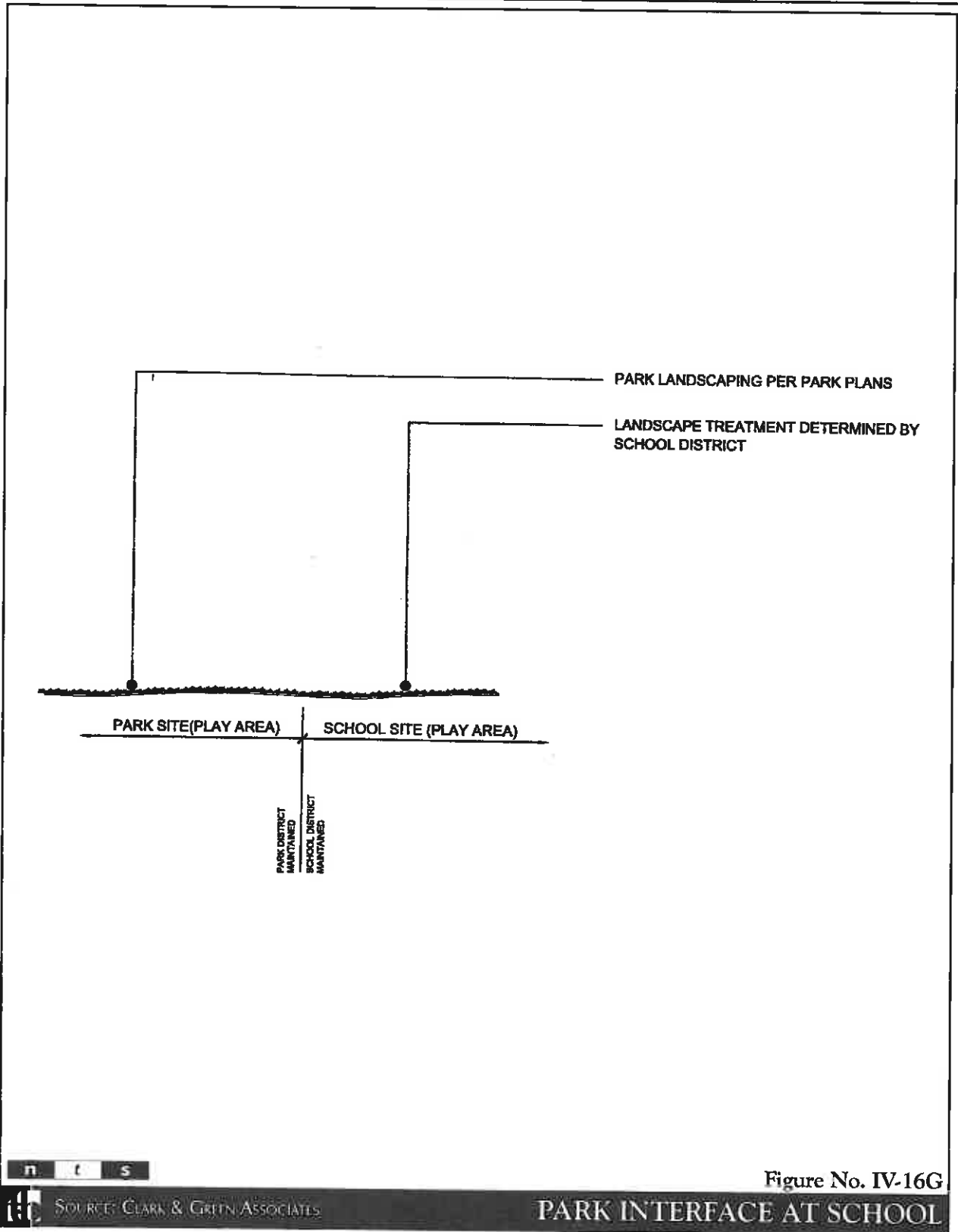


Figure No. IV-16F



## 6. PARKS

### a. Overview

Critical to the success of any community is the quality and integration of the community spaces into the community fabric. The MENIFEE VALLEY RANCH land plan has developed around a theme of recreation and open space amenity to ensure a distinctive quality of life. The park sites and recreational amenities will properly address the needs of MENIFEE VALLEY RANCH residents.

The park and recreation design program has several major elements including multi-use park sites, open space/meadows, a recreation trail system, and water recreation-oriented open space.

#### 1) Heritage Lake

This area of MENIFEE VALLEY RANCH enjoys a well balanced plan of park locations interconnected by a strong and clear pedestrian system with a lake/greenbelt amenity located in the heart of the village. A majority of the residents can access the community park and school sites with very little need to drive by using the greenbelt trail system. The lake feature will provide a dual use as a flood control retention and detention area and as a recreational amenity for boating and fishing if feasible. The gas line easement traversing the southwest corner of the community will be used to expand the pedestrian trail system and widen the streetscape landscape zone abutting Heritage Lake Drive.

#### 2) Minor Ranch

Although this portion of MENIFEE VALLEY RANCH is dominated by 151.0 acres of open space/meadows, non-golf recreation is abundant. The centrally located, 23.0-acre park site in combination with the 59.8-acre high school site will offer many active recreational opportunities. These sites also are linked by pedestrian and jog paths along McLaughlin Road and Malaga Road.

### b. Community Park Sites

A 22.2-acre community park is planned in Planning Area 21, adjacent to the greenbelt buffer that abuts the railroad right-of-way. Additionally, a 23.0-acre community park is located in Planning Area 9, adjacent to high school uses in Planning Area 8. These parks are intended to serve not only the community of MENIFEE VALLEY RANCH, but surrounding residential areas as well. It is anticipated that the community park will contain a variety of facilities such as:

- Restrooms/maintenance building;
- Snack bar facility;
- On-site parking;
- Picnic facilities and barbecue areas;
- Basketball courts;
- Baseball diamonds (2 or more);
- Soccer and/or football fields (2 or more);
- Tot lot;
- Shade tree plantings; and
- Night sports lighting maybe installed by the maintenance entity.

A conceptual illustration of the park sites are depicted on Figures IV-17A and IV-17B. The park is designed to maximize the efficiency of organized sport league management by creating a centralized facility with multiple sports fields and activities.

**c. Neighborhood Park Sites**

The park system includes five neighborhood parks plus the interior lake and greenbelts system. The neighborhood parks include: the 3.3-acre park in Planning Area 5B shown in Figure IV-17C, the 4.9-acre park in Planning Area 5A shown in Figure IV-17D, the 4.8-acre park in Planning Area 22B is shown in Figure IV-17E, the 7.6-acre park in Planning Area 26 shown in Figure IV-17F, and the 11.5-acre park in Planning Area 37 is shown in Figure IV-17G. The total neighborhood park acreage occupies 32.1 acres. The lake and surrounding greenbelt encompasses 41.8 acres. Park conceptual designs provide the following minimum elements:

- On-site parking;
- Picnic facilities;
- Basketball courts;
- Tot lot and pre-teen areas;
- Shade tree plantings and rolling turf areas; and
- Sand volleyball courts (where indicated)

Where the neighborhood parks abut schools, the school district(s) will be encouraged to design site plans which complement park development to better meet community needs. No night lighting of sports fields shall be permitted in neighborhood parks to minimize conflicts with adjacent residential uses.

**d. Jog Path/Pedestrian Path System**

The jog path is a unique element in the MENIFEE VALLEY RANCH plan. The path reinforces the recreational theme by providing an extensive, quality surface for walkers and joggers within the community boundaries. The substantial landscape planting around the path system will create an attractive and desirable setting for this healthy recreational opportunity. The jog path, as presently planned, includes over 5.5 miles of soft decomposed granite trail surface.

**e. Open Space/Meadows**

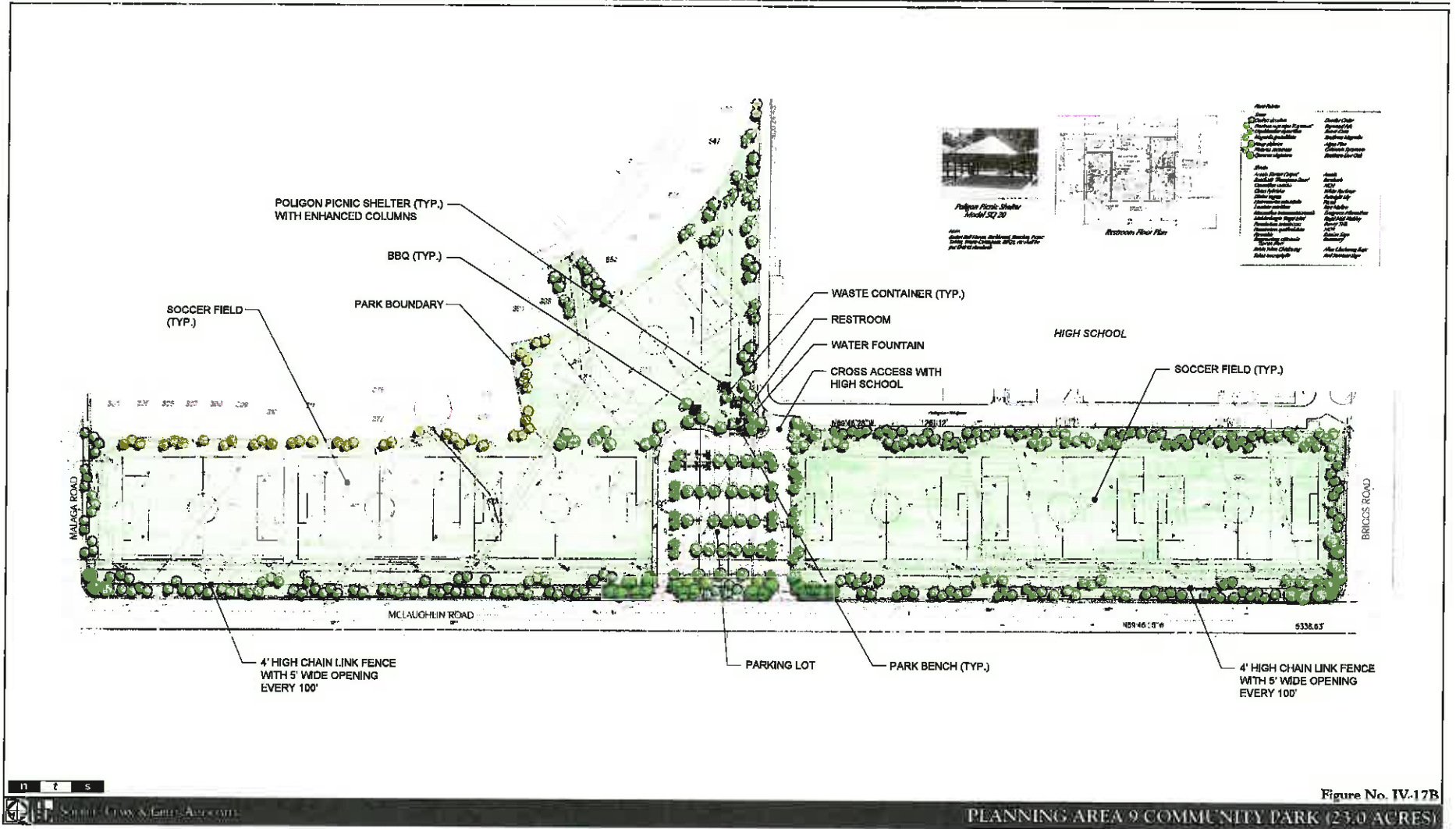
A total of 151.0 acres of open space/meadows, as depicted on Figures IV-17GG and IV-17GGG, will offer passive and active recreational opportunities for the senior housing planned for development in the adjacent planning areas between Malaga Road and BNSF Railroad tracks. Proposed amenities for the open space/meadows may include:

- Community Clubhouse w/ pool and spa
- Basketball courts
- Tennis courts
- Gathering spaces
- Shade tree plantings and rolling turf areas
- Picnic and barbecue facilities
- Walking and hiking trails
- Lakes and ponds
- Restrooms



Figure No. IV-17A

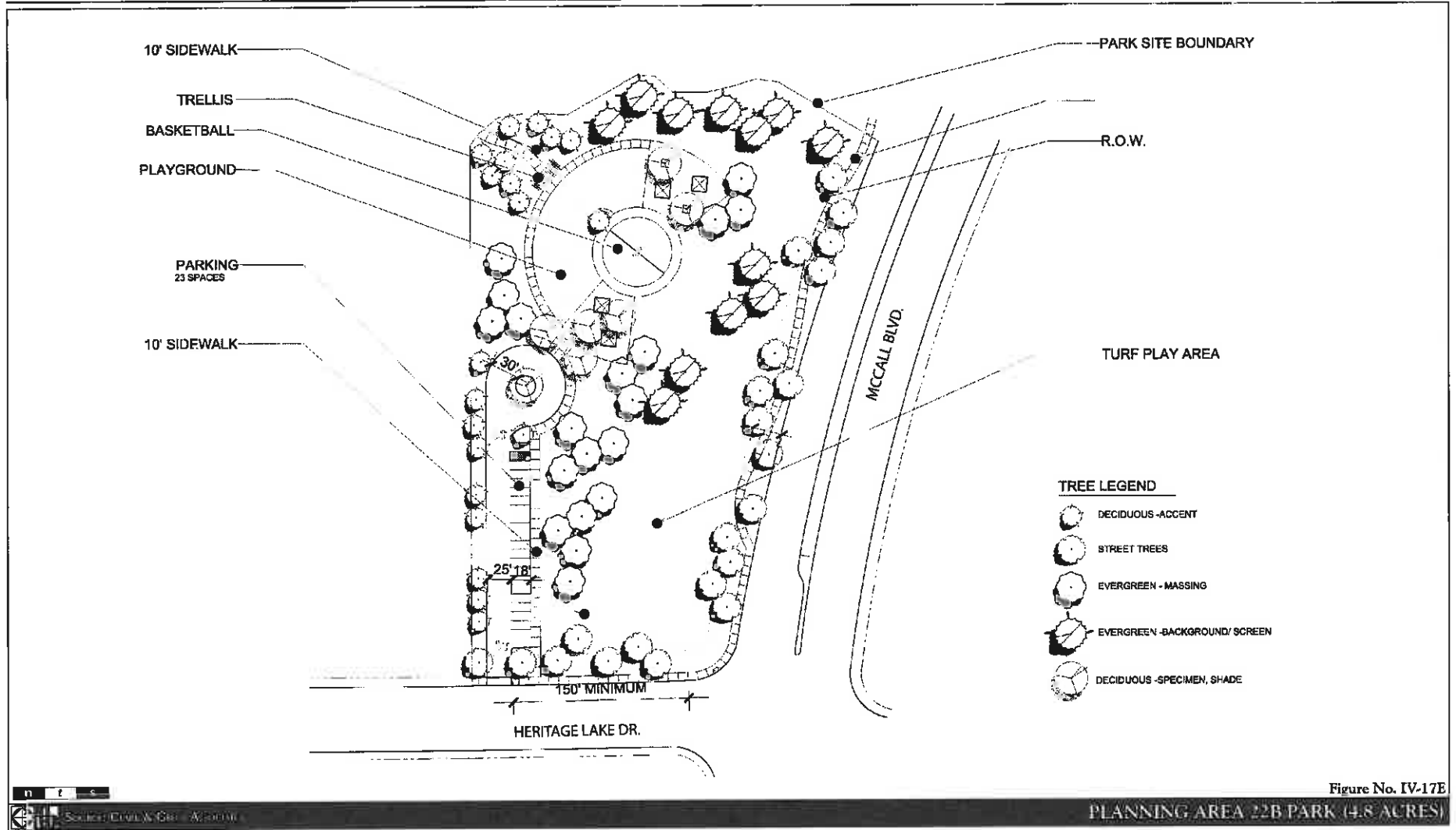
PLANNING AREA 21 COMMUNITY PARK (20.1 ACRES)











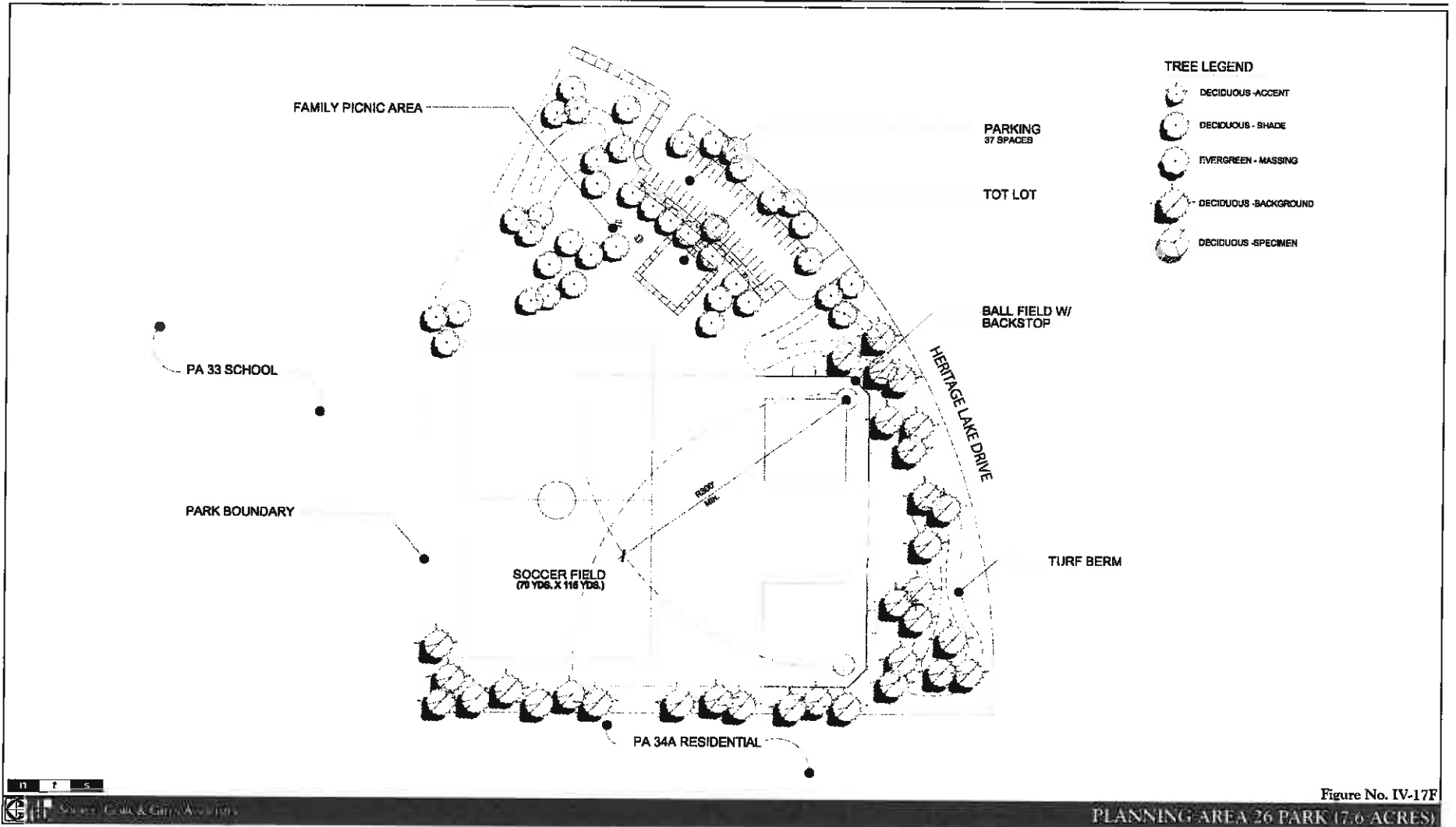
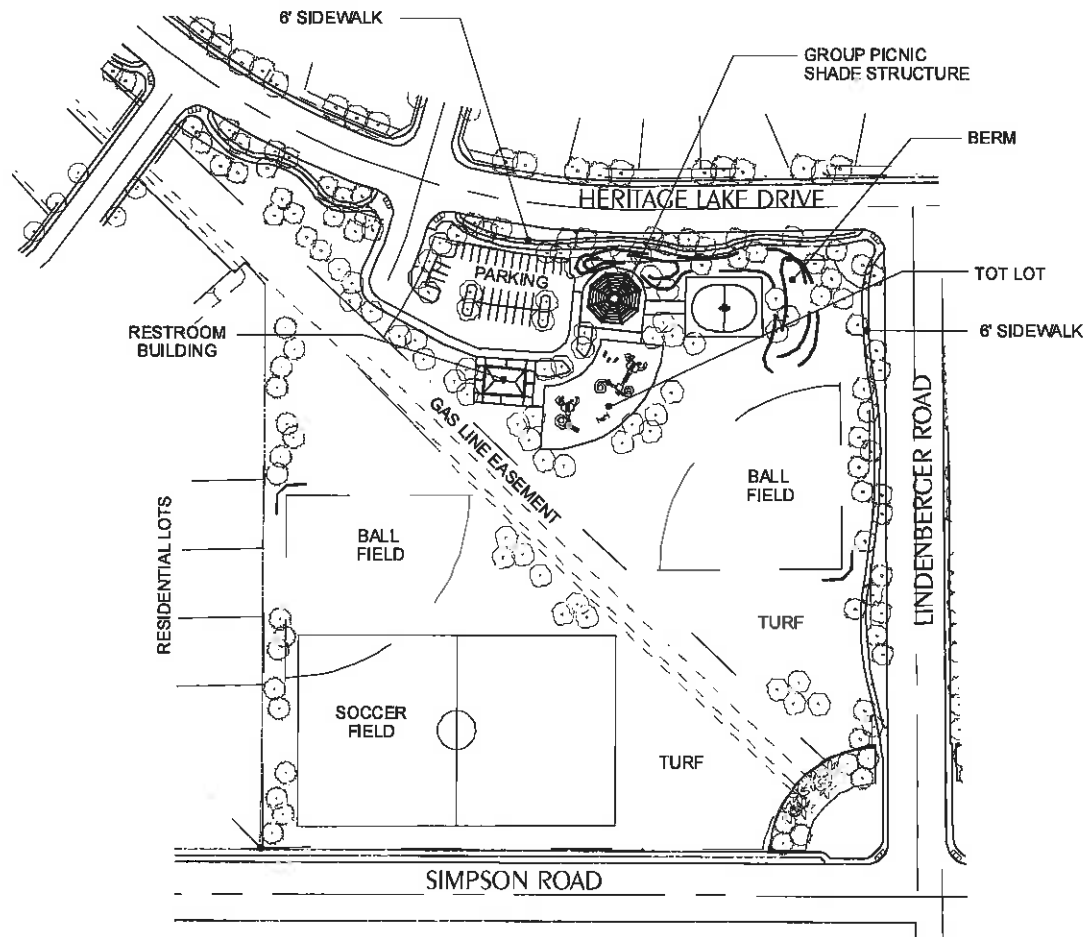


Figure No. IV-17F

PLANNING AREA 26 PARK (17.6 ACRES)



NOTE: Approximately 4.4 acres located south of the gas line easement will be used as a detention basin and/or sports field(s).



Figure No. IV-17G  
PLANNING AREA 37 PARK (11.5 ACRES)

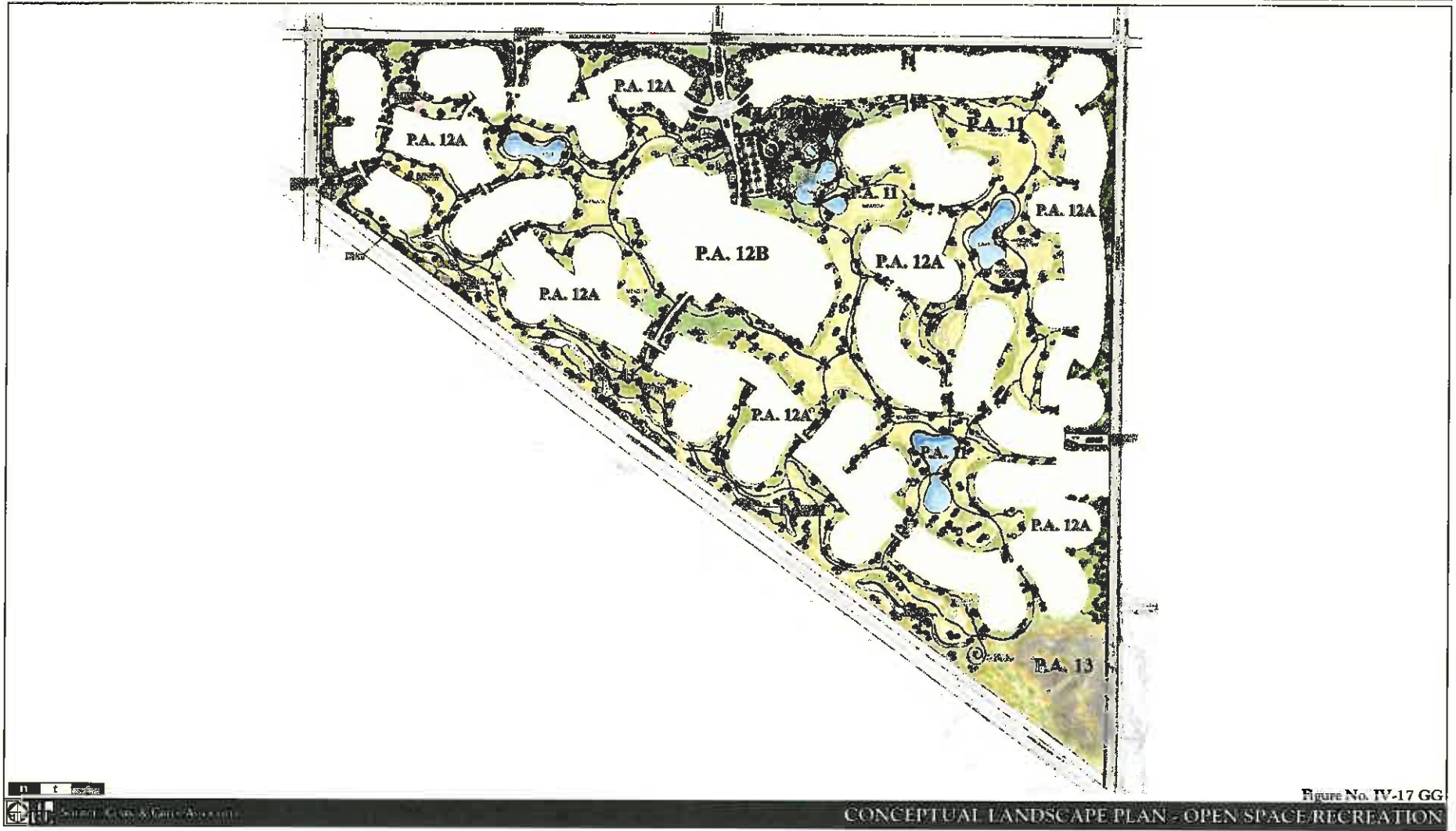


Figure No. IV-17 GG



**f. Lake/Greenbelt System**

The lake and greenbelt system provide both a key, centralized amenity and a detention and retention area around which the south ranch will develop. The lake and greenbelt amenity will offer visual, recreational, and environmental benefits for the community. The lake will include boating and fishing uses, if feasible, as well as picnicking, public gathering and other passive park opportunities. The pedestrian path surrounding the lake will connect to the greenbelt system and Heritage Lake Drive pedestrian path system, and into the various surrounding residential enclaves.

**g. Private Swim Club/Lake Parking**

A private swim club is planned on approximately 1.5 acres at the intersection of McCall Boulevard and Heritage Lake Drive. This swim club will be adjacent to and have beautiful views of the lake. The swim club is expected to include a community room, locker rooms and restrooms, an exercise facility, a swimming pool and spa, and off-street parking. Vehicular access to the facility will be provided from Heritage Lake Drive only; no access from McCall Boulevard shall be permitted. Figure IV-17H depicts a conceptual site plan of the planned swim club facility. Approximately 2.0 acres of public parking will be available adjacent to the 2.1-acre swim club for general lake parking. The swim club facility will have its own private parking.

**h. Private Recreation Center**

An HOA Private Recreation Center is planned on approximately 1.1 acres at the intersection of McCall Boulevard and Heritage Lake Drive in Planning Area 41B. The Private Recreation Center is expected to include a swimming pool, spa, equipment room, restroom, and a parking lot. Vehicular access to the facility will be provided from Heritage Lake Drive and the local road between Planning Area 41A and Planning Area 41B. The Private Recreation Center will have its own parking area. Figure IV-18 depicts a conceptual site plan of the planned Private Recreation Center in Planning Area 41B. This will be a private facility for use by members of the Heritage Lake HOA.







## **E. LANDSCAPE DESIGN GUIDELINES**

### **1. OUTDOOR LIGHTING**

All street and commercial developments in MENIFEE VALLEY RANCH shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the project. Lighting fixtures shall be well-integrated into the visual environment and the appropriate architectural theme. All lighting fixtures in the MENIFEE VALLEY RANCH project area shall comply with the following regulations and provisions.

- 1) All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize glare and illumination of streets or adjoining property. Low intensity, energy conserving night lighting is preferred.
- 2) Lights shall be unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
- 3) Neon and similar types of lighting are prohibited in all areas of MENIFEE VALLEY RANCH.
- 4) All exterior lighting designs should develop a sense of hierarchy by varying fixtures and illumination levels. Proper lighting helps to define the organization of streets and plazas; and also distinguishes vehicular and pedestrian circulation patterns. Community entry areas (both pedestrian and vehicular), public plazas, community facilities, and highly used recreation areas shall be creatively lit to develop a sense of place and arrival.
- 5) All exterior lighting designs shall address the issue of security. Parking lots, pedestrian walkways, and building entrances shall be well lighted for security reasons.
- 6) All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties, and shall conform to standards for the Mt. Palomar Observatory Special Lighting Area
- 7) No freestanding lighting fixtures shall exceed 25 feet in height.
- 8) Service area lighting shall be contained within the service yard boundaries and enclosure walls.
- 9) The lighting concept of the project entry features is to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features should be illuminated by concealed uplight fixtures.
- 10) All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.

- 11) The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the City of Menifee. Energy conservation, safety and security should be emphasized when designing any light system.
- 12) All community landscape common areas, public facilities, streetscapes, parks, schools, and other areas may, at the discretion of the project developer or builders, contain area, accent, sports, or other night lighting entities.

## **2. IRRIGATION**

All landscaped areas shall be watered with a permanent underground irrigation system, except for slopes which may have a permanent above-ground irrigation system. Irrigation systems which adjoin a separate maintenance responsibility area shall be designed in a manner to ensure complete water coverage between the areas.

Proper consideration of irrigation system design and installation in the climate extremes of the MENIFEE VALLEY RANCH area is critical to the success of the landscape investment. In particular, the combined summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection.

Overhead spray irrigation systems shall be designed with head to head, 100 percent double coverage at a minimum. Native and drought-tolerant shrub areas will use a combination of spray (temporary) and drip or bubbler irrigation to shrubs and trees. In addition, irrigation controllers should have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type. Irrigation backflow prevention devices and controllers shall be located with minimum public visibility or shall be screened with appropriate plant materials.

### **a. Reclaimed Water**

Irrigation systems designed for use with both domestic and reclaimed water are encouraged. Reclaimed water is currently unavailable. However, all irrigation systems shall be designed for the eventual use of reclaimed water and/or conversion when available, per current applicable standards.

**b. Water Conservation Measures**

- 1) Drip and/or bubbler irrigation will be used where appropriate.
- 2) Use of moisture sensors and/or central control irrigation system may be incorporated where appropriate and feasible.
- 3) Irrigation systems will be designed per AB 325 guidelines and City of Menifee Ordinance 2009-61.

**c. Requirements**

Irrigation systems and plans will be prepared per landscape maintenance district or Valley Wide Recreation and Park District requirements and/or City of Menifee ordinances.

**3. PLANT MATERIAL GUIDELINES**

MENIFEE VALLEY RANCH will have a vastly different appearance from initial planting to several years into development. The quality of that appearance will depend on many factors including the initial selection of the plant material palette, soil preparation and installation, irrigation management and care and maintenance. All of these issues have been addressed in the preparation of the planting design theme and plant palette selection. A brief discussion of the planting approach and key issues follows:

**a. General Landscape Requirements**

- 1) All areas required to be landscaped shall be planted with turf, groundcover, shrub or tree materials selected from the plant palette contained in these guidelines.
- 2) The owners of parcels that require landscape development shall consider any existing common landscape areas adjoining their property. Where feasible, landscape development shall reinforce or be compatible with such existing common area setting.
- 3) Cut slopes equal to or greater than eight feet in vertical height and fill slopes equal to or greater than five feet in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding 15 feet in vertical height shall be planted with shrubs spaced not more than ten feet average on center, or trees spaced not to exceed thirty feet average on center, or a combination of shrubs and trees at equivalent spacings, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
- 4) Reference should be made to the City of Menifee Standards for erosion control methods for slopes and other landscaped areas.

**Parkway Tree Planting:** All street or parkway trees shall be planted so as to maintain adequate distance and shall maintain the following planting distances:

- a) Ten feet from all water and sewer lines.

- b) Five feet from all flat hardscape (sidewalks, curbs, vaults, etc.) except as otherwise approved by the City.
- c) Fifteen feet from all drive approaches.
- d) Twenty-five feet from all street intersection curb returns.

**b. Climate Constraints**

Plant material palettes for MENIFEE VALLEY RANCH contained herein are compatible with the climatic setting of the area. The use of some materials, depending upon their site location, exposure, and relationship to other influential factors may not be appropriate.

**c. Planting**

Due to the climate extremes of the MENIFEE VALLEY RANCH area, the installation of plant materials during the coldest winter months (December through March) and the hottest summer/fall months (July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from damage or sun/heat exposure resulting in partial or entire foliage loss even through such materials are perfectly suited to the temperature ranges once established. If planting must be done during these difficult periods, plant establishment may be difficult and require a prolonged period of time.

**d. Horticultural Soils Test Requirements**

Soil characteristics within the MENIFEE VALLEY RANCH project may be variable. The owners of parcels which require landscape development shall procure a horticultural soils report in order to determine proper planting and maintenance requirements for proposed plant materials. Such a soils test shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

**e. Topography**

MENIFEE VALLEY RANCH lies in a valley-bottom area. There may be extreme cold conditions occurring due to poor air drainage during winter months. This will be affected by the development patterns of the community and are difficult to predict. The plant palette proposed may, on occasion, suffer adverse affects in certain areas of the community. Adjustments may need to be made at that time.

**f. Drought Tolerance/Water Conserving Plant Material**

Although a plant may be considered as drought- tolerant or water-conserving, that plant requires proper care, installation, watering and maintenance to maintain an optimum healthy condition.

Degrees of Drought Tolerance/Water Conservation: There are degrees of drought tolerance with some plants able to withstand or go without water for a greater period of time than others. Water conserving plant material may not be drought tolerant but can thrive on low water amounts throughout the year once established.

**Plant Installation Water Demand:** Drought tolerant plants, like other plants, require more watering during the initial installation period and for at least a three-month maintenance period following to become established. Therefore, if drought tolerant plants are installed in the warmer months more supplemental water will be required until the plant is established.

**Deep Watering Practices:** Drought tolerant plants, like most plants, need the proper deep watering practices to encourage deep root system development. Drought tolerant plants with a shallow root system resulting from frequent light applications of water will not be drought tolerant.

**Warmer Months Water Application:** Depending upon the plant, drought-tolerant plants will have a better appearance and health during the warmer months with infrequent deep watering.

**Full Season Plant Water Requirements:** After drought-tolerant plants have grown a full season, the water application rate should be diminished and the drought-tolerant plant allowed to survive on less water.

**Maintenance:** Drought-tolerant and California native plants still need regular maintenance such as pruning, fertilizing, deep watering, and checking for pests and diseases.

**g. Invasive Species**

Non-native invasive plant species shall not be used in landscape plans, fuel modification zones, or buffer zones that interface with preserved natural open space areas. Any CC&R's will provide that disposal of cuttings of these or any other ornamental plants in preserved natural open space areas is strictly prohibited.

Controlled invasive non-native species shall include the following:

- Non-native Acacia's (Acacia spp.)
- Tree of Heaven (Ailanthus altissima) \*
- Giant reed (Arundo donax)\*
- Hottentot-fig (Carpobrotus edulis) \*
- Garland chrysanthemum (Chrysanthemum coronarium)\*
- Pampas grass (Cortaderia atacamensis)\*
- French broom (Cytisus monspessulans)
- Scotch broom (Cytisus scoparius) \*
- Crystal ice plant (Mesembryanthemum crystallinum) \*
- Small-flowered ice plant (Mesembryanthemum nodiflorum)
- Bermuda buttercup (Oxalis pes-caprae)\*
- German ivy (Senecio mikanoides) \*
- Pink periwinkle (Vinca major) \*
- Tamarisk (Tamarix spp.)\*
- Gorse (Ulex europaeus)

*\*Indicates a species that may not be used in any plant palettes, regardless of location in the development, due to its ability to readily spread via airborne seeds, rather than vegetatively.*

**h. Plant Pest and Disease Control**

Consistent problems in ornamental and native planting schemes are the diseases and pests that have affected trees and shrubs, often in significant visual patterns through a community. Recent well-documented problems include oleander scorch blight and several eucalyptus problems, however, a series of other problems have occurred on an annual basis. There is no way to predict the occurrence of new pests or diseases, however, there are useful methods to limit the impact of outbreaks. These include the following:

- 1) Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
- 2) Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
- 3) Avoid a mono-culture approach to plant material design. This will buffer the spread of plant problems and limit the concentration of host plants, thus diluting the breeding capacity of pest or disease problems. Also, damage will be less obvious and devastating to the appearance of the community landscape.
- 4) Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
- 5) Place plants in similar hydro zone groupings to maximize efficient water use.

**4. PLANT PALETTE**

The intent of these guidelines is to provide a simple plant palette which compliments and enhances the thematic setting for the community. In addition, these plant palettes have been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selection for given project areas shall have similar cultural requirements so irrigation can be designed to minimize water use, and plant material can thrive under optimal conditions.

The plant palettes have been separated into distinct groups and are listed below.

**a. Community Entries/Intersections**

TREES

Botanical Name

Common Name

Arbutus unedo	Strawberry tree
Citrus spp.	Citrus
Koelreuteria bipinnata	Chinese flame tree
Lagerstroemia spp.	Crepe Myrtle
Liquidambar styraciflua	Liquidambar spp.
Olea europaea (fruitless)	Fruitless olive tree
Phoenix spp.	Date palm
Pinus spp.	Pine
Pistacia chinensis	Chinese pistache
Platanus racemosa	California sycamore
Quercus agrifolia	Coast live oak
Schinus molle	California pepper

**b. Perimeter**

Community streetscape theme trees:

- Meniffee Road - Platanus acerifolia
- State Route 74 - Pinus canariensis/Lagerstroemia spp.
- Briggs Road - Magnolia grandifolia
- Simpson Road - Deciduous tree to match south side parkway



**c. Interior Community Streetscape Tree Palette**

One theme tree and one accent tree to be selected for each interior (residential) street:

THEME TREES

Botanical Name

Cedrus deodara  
 Cinnamomum camphora  
 Koelreuteria spp.  
 Liquidambar styraciflua  
 Magnolia grandiflora  
 Pinus spp.  
 Platanus acerifolia  
 Platanus racemosa  
 Quercus agrifolia  
 Quercus ilex  
 Quercus rubra  
 Schinus molle  
 Ulmus parvifolia

Common Name

Deodar cedar  
 Camphor tree  
 Flame tree  
 Liquidambar  
 Magnolia  
 Pine  
 London plane tree  
 California sycamore  
 Coast live oak  
 Holly oak  
 Red oak  
 California pepper  
 Evergreen elm

STREETSCAPE ACCENT TREES

Botanical Name

Citrus spp.  
 Gleditsia tricanthos  
 Lagerstroemia spp.  
 Liriodendron tulipifera  
 Malus spp.  
 Phoenix spp.  
 Pistacia chinensis  
 Pyrus spp.  
 Rhus lancea  
 Robinia pseudoacacia

Common Name

Citrus  
 Honey locust  
 Crepe myrtle  
 Tulip tree  
 Crab apple  
 Date palm  
 Chinese pistache  
 Ornamental pear  
 African sumac  
 Locust

**d. Park/Greenbelt Tree Palette**

STREETSCAPE ACCENT TREES

Botanical Name

Cedrus deodara  
 Eucalyptus spp.  
 Gleditsia tricanthos  
 Liquidambar styraciflua  
 Liriodendron tulipifera  
 Malus spp.  
 Phoenix spp.  
 Pinus spp.

Common Name

Deodar cedar  
 Eucalyptus  
 Honey locust  
 Liquidambar  
 Tulip tree  
 Flowering crab apple  
 Date palm  
 Pine

STREETSCAPE ACCENT TREES (continued from previous page)

<u>Botanical Name</u>	<u>Common Name</u>
Platanus acerifolia	London plane tree
Platanus racemosa	Sycamore
Populus fremontii	Cottonwood
Prunus spp.	Flowering peach
Quercus agrifolia	Coast live oak
Salix babylonica	Weeping willow

e. **Community Plant Palette**

TREES

<u>Botanical Name</u>	<u>Common Name</u>
Acacia subporosa	Weeping acacia
Betula albo	White birch
Brachychiton populneus	Bottle tree
Cedrus deodara	Deodar cedar
Eucalyptus spp.	Eucalyptus
Gleditsia tricanthos	Honey locust
Liquidambar styraciflua	Liquidambar
Lirodendron tulipifera	Tulip tree
Malus spp.	Flowering crab apple
Phoenix spp.	Date palm
Pinus spp.	Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Platanus racemosa	Sycamore
Populus fremontii	Cottonwood
Prunus spp.	Flowering peach
Pyrus spp.	Ornamental pear
Quercus agrifolia	Coast live oak
Quercus spp.	Oak spp.
Salix babylonica	Weeping willow
Schinus terebinthifolius	Brazilian pepper
Zelkova serrulata	Sawleaf Zelkova

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
Abelia spp.	Abelia
Arctostaphylos 'Howard Mc Minn'	Manzanita
Baccharis centennial	Desert broom
Ceanothus concha	California lilac
Cistus spp.	Rockrose

SHRUBS (continued from previous page)

<u>Botanical Name</u>	<u>Common Name</u>
Cotoneaster species	Cotoneaster
Elaeagnus pungens	Silver berry
Encelia californica	California encelia
Escallonia fradesii	Pink escallonia
Euonymous spp.	Euonymous spp.
Feijoa sellowiana	Pineapple guava
Fremontodendron 'Ken Taylor'	Flannelbush
Grewia caffra	Lavender starflower
Hemerocallis species	Daylily
Heteromeles arbutifolia	Toyon
Heuchera hybrida	Coral bells
Ilex spp.	Holly
Iris douglasiana	Douglas iris
Lavandula spp.	Lavenders
Ligustrum spp.	Privet
Mimulus aurantiacus	Monkey flower
Moraea bicolor	Fortnight lily
Nandina spp.	Heavenly bamboo
Ornamental grasses	
Osmanthus fragrans	Sweet olive
Phormium tenax 'dwarf'	Dwarf New Zealand flax
Pittosporum tobira and 'wheelers dwarf'	Mock orange
Plumbago auriculata	Cape plumbago
Prunus caroliniana	Carolina laurel cherry
Prunus ilicifolia	Hollyleaf cherry
Psidium littorale	Strawberry guava
Pyracantha species	Firethorn
Rhapiolepis spp.	Indian Hawthorn
Ribes spp.	Gooseberry
Rosa californica	California wildrose
Salvia greggii	Red sage
Salvia spp.	Sages
Xylosma congestum	Xylosma

VINES

<u>Botanical Name</u>	<u>Common Name</u>
Distictis buccinatoria	Blood red trumpet vine
Gelsemium sempervirens	Carolina jasmine
Grewia caffra	Lavendar star flower vine
Mac Fadyena unguis-cati	Cat's claw vine
Wisteria floribunda	Wisteria

GROUNDCOVERS

**Botanical Name**

Acacia redolens 'desert carpet'  
 Arctostaphylos 'John Dourley'  
 Ceanothus griseus hor. 'yankee point'  
 Myoporum pacificum  
 Myoporum parvifolium  
 Rosemarinus officinalis  
 Rosmariuns prostratus

**Common Name**

Dwarf trailing acacia  
 John Dourley manzanita  
 California lilac  
 Pacific myoporum  
 Myoporum  
 Rosemary  
 Prostrate Rosemary

TURF GRASS - SEED

Year round turf grass mixes as follows:

GENERAL TURF AREAS

100% Dwarf tall fescue blend - 10 lbs. per 1,000 s.f.

PARK SITES/ATHLETIC AREAS

Hybrid bermuda (seeded or stolonized)

Bermuda grass must be planted and mature prior to the dormant season.

**f. Open Space/Recreation Plant Palette**

MEADOWS

**Botanical Name**

Achillea millefolium  
 Leymus triticoides  
 Melica imperfecta  
 Nassella ceruna  
 Nassella lepida  
 Nassella pulchra  
 Sisyrinchium bellus

**Common Name**

Yarrow  
 Creeping Wild Rye  
 Coast Range Melic  
 Nodding Needlegrass  
 Foothill Needlegrass  
 Purple Needlegrass  
 Blue Eyed Grass

GRASSLANDS

**Botanical Name**

Eschscholzia californica  
 Aristida pupurea  
 Achillea millefolium  
 Lupinus spp.  
 Melica imperfecta  
 Muhlenbergia rigens  
 Nassella ceruna  
 Nassella lepida  
 Nassella pulchra  
 Sisyrinchium bellum

**Common Name**

California Poppy  
 Purple Three Awn  
 Yarrow  
 Lupine  
 Coast Range Melic  
 Deer Grass  
 Nodding Needlegrass  
 Foothill Needlegrass  
 Purple Needlegrass  
 Blue Eyed Grass

SAGE AND BUTTERFLY GARDEN

<b>Botanical Name</b>	<b>Common Name</b>
Asclepias fascicularis	Narrow-Leaf Milkweed
Asclepias speciosa	Showy Milkweed
Castilleja exserta	
Cleome isomeris	Bladderpod
Eriogonum fasciculatum	California Buckwheat
Eriogonum umbellatum	Sulphur Buckwheat
Lupinus spp.	Lupine
Lotus socparius	Deer Weed
Monardella odoratissima	Mountain Pennyroyal
Plantago erecta	
Salvia 'Allen Chickering'	Allen Chickering Sage
Salvia apiana	White Sage
Salvia 'Bee's Bliss'	NCN
Salvia clevelandii	Cleveland Sage
Salvia greggii	Autumn Sage
Salvia mellifera	Black Sage
Salvia microrphylla	Red Summer Sage

SONORAN DESERT WASH/MEADOW

<b>Botanical Name</b>	<b>Common Name</b>
Acacia schaffneria	Twisted Acacia
Abutilon palmeri	Superstition Mallow
Agave parryi	Parry's Agave
Agava vilmoriniana	Octopus Agave
Asclepias subulata	Desert Milkweed
Baileya multirandiate	Desert Marigold
Calliandra californica	Baja Fairy Duster
Cassia phyllodenia	Silver Leaf Cassia
Cercidium microphyllum	Foothill Palo Verde
Dalea greggii	Trailing Indigo Bush
Encelia farinose	Brittlebush
Eriogonum fasciculatum	California Buckwheat
Euryops multifidus	Green Euryops
Hesperaloe parviflora	Red Heperaloe
Larrea tridentate	Cresote Bush
Lupinus spp.	Lupine
Oenothera casepitosa	Tufted Primrose
Opuntia engelmannii	Engelmann's Pickly Pear
Penstemon spp.	Penstemon
Prosopis alba	Argentine Mesquite
Prosopis chilensis	Chilean Mesquite
Salvia greggii	Autumn Sage
Tagetes lemmoni	Mountain Marigold
Tecoma stans	Yellow Bells
Verbena gooddingii	Goodding's Verbena

## F. ARCHITECTURAL DESIGN GUIDELINES

This section sets forth the architectural and site design guidelines for the planned community of MENIFEE VALLEY RANCH. These guidelines are intended to provide guidance for the expression of development in the community.

Developers, builders, engineers, architects, landscape architects and other design professionals should utilize the guidelines in order to maintain design continuity, create an identifiable image and develop a cohesive community.

This section also identifies certain key architectural and site design elements that should be considered in all residential development. It is the intent of these guidelines to establish a consistent architectural expression that reflects the indigenous elements and character of the surrounding environment while at the same time allowing for flexibility in design. In addition, where not set forth in this section all applicable City standards must be satisfied.

### 1. RESIDENTIAL ARCHITECTURAL

#### a. Architectural Themes and Styles

The residential architecture of MENIFEE VALLEY RANCH will reflect the architectural themes and styles prevalent in Southern California. The developer of MENIFEE VALLEY RANCH has undertaken considerable research in an effort to understand the diverse and creative architectural history of Southern California in the City of Menifee. As a result of this analysis, a variety of residential architectural themes and styles will be allowed and encouraged within MENIFEE VALLEY RANCH, with the goal of instituting compatible variety into MENIFEE VALLEY RANCH. Rather than mandate a particular architectural style, this Specific Plan encourages building and design teams to develop architectural designs based on styles historically used in this region. The design goal of Menifee Valley Ranch is to achieve appropriate interpretations of the historical styles rather than exact recreations. In order to achieve an appropriate interpretation of a particular style, it is important to maintain consistency within each architectural style. Interpretation of the selected architectural styles must address the economics of today's market, as well as meet the codes and standards within the building industry. In keeping with this approach, these design guidelines are intended to present images of architectural components and details representative of those anticipated for the homes within MENIFEE VALLEY RANCH.

Within the entire MENIFEE VALLEY RANCH project, there shall be a minimum of three (3) distinct architectural themes and styles used (*e.g.*, Mission, Craftsman, Cottage, etc.). A minimum of three (3) distinct floor plan options (not including reversed plans) shall be provided for in each residential Planning Area with less than 100 homes. Each plan shall be designed and constructed with a minimum of three (3) distinct building elevations. A minimum of four (4) distinct floor plan options with no less than four (4) distinct elevations per plan shall be provided for in each residential Planning Area with 100 or more homes. However, if five (5) distinct floor plan options are provided within one residential Planning Area, then no more than three (3) building elevations per plan shall be required. Elevation variations can be accomplished through the creative use of material and color palettes and different floor plans. Primary building colors must provide a visual noticeable variation when the homes are grouped together along each neighborhood street.



*Contemporary Ranch style of architecture with desired use of materials, color and scale*



*To right: Nice example of a tapered post detail.*



Allowing a variety of architectural styles emphasizes the importance of designing creative and fresh residential neighborhoods and homes. Architectural design creativity, attention to detail, and respect of the building's scale and massing along residential streets will be expected to be a level equal to or exceeding the residential homes and neighborhoods within the surrounding communities. Design features will be incorporated into each residence and may include front porches, interesting doors and windows, creative garage placement, dormers, front yard setback variations, and varying architectural setbacks. The intent will be to give each street and each neighborhood its own unique identity, while creating a community of quality homes. Implementation of this project will draw upon the various styles to achieve a cohesive sense of place and identity for MENIFEE VALLEY RANCH.

**b. Architectural Design Components**

Residential buildings of any architectural style are comprised of certain basic design components. These components establish the character and identity of not only the individual home but of the neighborhood as well. Each builder and their design team shall be required to pay special attention to the proper application of these components as shown in the photographs on the following pages. The design guidelines and accompanying photographs presented in this document are intended to provide guidance to the builders and developers of residential buildings within MENIFEE VALLEY RANCH. It is not the intent of these Design Guidelines to require that all the represented design features and elements be incorporated into each subdivision. Rather, they are provided as a "palette" of character defining elements of which design proposals for residential housing types should reflect.

**c. Massing and Scale**

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building facades, attention to rooflines and variation in vertical and horizontal planes effectively reduces the visual mass of a building. The development of one-story elements along neighborhood streets and at street corners, which allow the building to "step back" from a given edge, provides for a manageable building scale. Both components, mass and scale, will be primary design considerations during the development of the street friendly and pedestrian scale architecture that will be used throughout MENIFEE VALLEY RANCH. Articulation, delineation and variation in form should be reflective of the particular architectural style selected. Important design considerations must be utilized to attain the intended architectural theme and create visually appealing, appropriately defined structures.

It is important to provide variation in front yard setbacks, building types and architectural styles along any neighborhood street so as to provide variation in the mass and scale of the buildings. This will provide desirable and necessary visual variety within neighborhoods.



*Excellent example of well proportioned, articulated and defined front porch*



*An excellent example of a one-story home that has correctly addressed the issues of mass and scale. The combination front and side gabled roof reduces the visual impact of an expansive roof surface. The covered front porch element is a nice compliment and offset to the garage door and provides visual depth. The use of two colors on the front façade provides additional visual relief to the building mass.*



*The recessed covered entry, variation in the second-floor setback and one-story roof element over the front porch provides an effective reduction in the building's mass and also provides a desirable scale along the neighborhood street. Larger visual space between adjacent homes is created by setting the garage well back from the front of the home.*



*The combination of front and side gabled roof elements effectively reduces the mass of a one-story roof along a neighborhood street. The covered front porch provides a visual contrast to the garage door element. This house reflects a nice application of elements that address mass and scale in a one story house.*



*The nicely articulated covered front porch provides delineation in the façade and an offset to the garage door. The variable setback of the second-story element, accented with the one-story roof element over the garage, effectively breaks up the roof plane and allows the building mass to “step back” from the street. Material accents also provide visual relief.*



*The mass of this two-story home is nicely articulated through the inclusion of roof details and variable setbacks to the second-story components. Relief to the building’s mass is provided through the inclusion of a covered porch element and the effective use of accent colors and materials. The one-story roof element is essential to the success of controlling the mass and scale.*



*The mass and scale of this house is effectively addressed through the use of the one-story wrap around roof with front-gable and hip components, the partial second-story element with variable setbacks, and the nice use of materials, accent colors, architectural details, and window placement.*



*The rooflines, variation in façade setback and surface materials and the covered front porch effectively breakup the mass of this building and bring the scale of the house to the street level. The front gabled roof elements accented by the one-story porch roof are effective in combination.*

**d. Building Materials and Colors**

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style. Colors should be as authentic as possible when compared to the traditional color palette of the selected style. Consideration will also be given to colors available in the contemporary market. Material breaks, transitions and termination should produce complimentary and clear definitions of separation while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.

The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. On contiguous lots, structures with the same or similar colors of stucco will not be permitted. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. This will avoid a monotonous appearance of multiple buildings of the same colors and tones. The selected architectural styles for Meniffee Valley Ranch allow for a diversity of colors and materials.

A minimum of three different architectural styles will be required for each residential neighborhood. Furthermore, a minimum of three (3) distinct floor plan options (not including reversed plans) shall be provided for in each residential Planning Area with less than 100 homes. Each plan shall be designed and constructed with a minimum of three (3) distinct building elevations. A minimum of four (4) distinct floor plan options with no less than four (4) distinct elevations per plan shall be provided for in each residential Planning Area with 100 or more homes. However, if five (5) distinct floor plan options are provided within one residential Planning Area, then no more than three (3) building elevations per plan shall be required. The elevation variations can be achieved by the use of varying material and color combinations.

**e. Roofing Materials and Colors**

Roofs and rooflines of a house are significant components of a building's composition when used to define a particular architectural style. A roof's composition should allow for a clean interface with the building and the building facade. The two elements should not be overbearing nor give the appearance of being disjointed or cut-up. It is important to choose the appropriate roof pitch, characteristics and materials that are consistent and true to the selected architectural style. Varying roof pitches on the same building should be avoided unless they are integral to the architectural style or extending over porches and balconies.

A roof's color is an important consideration in most architectural styles and should be in keeping with the total presentation of the overall building. Roof materials and colors selected for an architectural style must reflect the elements that are typically used in that style. The bright orange and terra cotta colored tiles so common to many mass-produced residential communities must be avoided. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character. In addition, roof colors shall vary from one house to the next, and roofing materials shall be non-combustible.



*This example displays an effective use of a complimentary color palette. Architectural banding provides relief to façade surfaces and is a source of color separation. Light and dark accent trims provide nice contrast.*





*This house shows an effective use of a simple color and material palette. The primary stucco building façade, painted a light ochre color, is accented nicely with trim details and accent materials. The roof overhangs, painted white, provide a nice relief at the roof edge. The “ledger stone” that accents the base of the formal front window is complimentary to the color palette.*



*Contrasting yet complimentary façade colors will add visual relief to the building and articulate setbacks. White accent trim highlights simple architectural details to maximize the visual presence of a small house.*



*A good example of contemporary colors in the use of the ochre colored stucco façade together with white accents. The inclusion of the window shutters and railing used in combination with the materials and colors establishes a rich thematic character.*



*Architectural banding can be effectively used as a materials break and transition point. Banding also provides for simple articulation in an otherwise undefined and sterile façade. Notice the effective use of the architectural band to anchor the second-story window.*



*The creative use of color on individual houses provides relief in the building mass and can provide additional visual character and articulation as shown in the example above. Attention should be given to the creative composition of colors and materials on the front elevations of adjacent houses.*



*Accent material should wrap the corner of a building façade and end in a clean manner. This example displays a clean and simple top band detail that is used as a material break between the foundation accent material and the primary stucco finish.*



*Roofs and roof pitch should be appropriate to the architectural style of the house. They should end cleanly whether fascia, exposed rafters, opened or boxed eaves are used. The roof shingles or tile color and accent trim should be carefully considered in complimenting the buildings color palette and architectural style. This example shows the roof style and roof pitch appropriate to a Spanish style of home.*



*This roof example is typical of a contemporary Craftsman styled house. The roof shingles emphasize earth tones and have a mottled color. The roof tones work in concert with the fascia, the exposed rafters and decorative beams and accent the building façade, which is covered in smooth stucco.*



*The example above shows non-combustible earth toned shingles blended with a simple clean fascia treatment. The shingle molding is painted to match the fascia trim. Shingle roofs are common to many of the architectural styles prevalent in this region.*



*Roof pitch must be appropriate for the architectural style of the building, as shown in the example above. Decorative beams and braces are often used as a component of architectural styles historic to this region and add additional visual character to the house. Roof materials and colors should accent and compliment the color and material palette of the house, and the architectural style.*



*Color can be used as an accent and/or highlight to the architectural details of the roof. In the example above the roof's details are highlighted in white to add an additional level of vibrancy to the building façade. Notice the clean terminus of the roof and roof elements at the building façade. The simple use of decorative beams is effective.*

**f. Windows and Doors**

Window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

Feature windows, that are appropriate to the selected architectural style, are important to the building elevation due to their character. They should enhance rather than dominate the overall architectural character of the home and the neighborhoods. Windows, when stacked vertically, should have a hierarchy to them. Size and shape should be carefully considered to ensure a balanced relationship with the surrounding walls and roof. Windows should be studied as to their size, shape, proportions, casings, multi-lite divisions, as well as color and repetition. The choice of windows should be in keeping with the selected architectural style.

Entry doors should be designed proportionally to the walls surrounding them, appropriate to the selected architectural style, and prominent in character.

Accent shutters, used with either windows or doors, should be in keeping with the size and dimension of the window or door. Historically it was the purpose of these elements to cover the window or door, therefore the elements should reflect that original purpose wherever possible.

The following design considerations are based on the traditional use of the windows and doors within each architectural style. The use of these elements in a contemporary version of any selected architectural style should consider the essence of the doors and windows historically, while adapting them to today's codes and economics.

**g. Porches and Balconies**

The incorporation of front porches and front and rear balconies as part of the architectural vocabulary is encouraged for both aesthetic and practical reasons. Porches and balconies integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior and also provide shelter. Porches and balconies break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along a neighborhood street, front porches add an element of personal scale and ambiance, where neighbors can sit and gather, or talk with others walking by. The result of this opportunity is the added security that is provided within the residential neighborhood.

The use of front porches with a minimum usable width of five (5) to six (6) feet is encouraged along local and residential streets. This is an important design feature that is appropriate to particular architectural styles. A porch rail should be included to define the space and add architectural detail to the porch and the front elevation of the house. A railing is only needed with certain architectural styles.



*Feature windows and their placement should be given careful attention. Divided lights provide a degree of formality that is appropriate to the primary façade of the house. Above is an excellent example of the use of a formal feature window in both scale and character.*





*Window design should take into consideration the purpose and function of the window as well as its placement and hierarchy within the composition of the building's elevation. The selected style of window should be appropriate to the architectural style of the house. Well designed windows with accent trim and detail have a strong visual presence, as shown in the examples above.*



*Upper left: Window placement should be given careful consideration. Single or multiple window groups can become focal elements of the house and help define the architectural style. An excellent example of Spanish style windows is shown above.*

*Upper right: Window shutters and covers should be used as accents when appropriate to the architectural style. They should reflect the form and size of the window or door. The window shown here is classic to the English or French cottage style of architecture and can be found similarly in the Mission style.*

*Below left: The placement of windows and their associated details on a wall plane should be of the appropriate scale and shape reflective of the architectural style. Simple lintel and sill elements provide a desirable level of visual detail, as shown in this example.*



*Doors should be designed proportionally to the walls surrounding them, appropriate to the selected architectural style and prominent in character. Front doors protected by a covered front porch or covered front stoop are traditionally included in many of the architectural styles appropriate for Meniffee Valley Ranch and appropriate for the climate of the region.*

*Above left: Transom lights are traditionally contained in many of the Neocolonial styles of architecture. Double doors add a nice design touch to the main entry of the home.*

*Above right: Transom and side lights add a nice detail to the paneled front door. The covered arrival area with its attention to architectural detail and scale provides a welcoming exterior foyer to the home.*



*Above: Panel doors with and without decorative glazing provide inviting and attractive arrivals to homes. As shown in the examples above the simple detail of the door casing allows for an adequate level of definition. The raised covered arrival area in both examples is scaled appropriately to the door element.*



*Left: As shown in this example the entry element can be a strong character defining feature for the house. Contemporary expressions of regionally historic architecture are encouraged in Menifee Valley Ranch. This is an excellent example of a covered entry area typical of the Mission architectural style influenced with a contemporary flavor.*



*The front porch should be designed so that it is wide enough to accommodate furniture and be a comfortable place to sit.*



*Front porches should be welcoming and provide a sense of enclosure and space. A front porch railing should be included if it is appropriate to the architectural style (upper example). If a railing is not to be included, the columns and posts (porch supports) should be of a scale that defines the porch space (lower example). A feature window should face onto the front porch to reinforce the sense of welcome and to address the neighborhood street.*



*Arched covered entryways and porches are characteristic of many of the Spanish styles of architecture common to this region. It is important when designing these components that careful attention be given to the scale and dimension of the arch and columns so as not to impede or encumber views out from the covered space, while at the same time avoiding the appearance of under-scaled “chicken legs.” The above examples show the appropriate scale of columns and arches to the covered space.*



*Top: Second-story balconies provide pleasant elevated outdoor living spaces and provide relief to the visual building mass. Such design components are common to many architectural styles such as the Craftsman style shown in this example. Feature doors or windows should accent the wall façade and provide access.*

*Below: A covered balcony above the garage helps reduce the visual impact of the garage door and provides a desirable degree of building articulation. This design element is characteristic of the Monterey style and is applicable to many other styles.*





*Large square piers arched at the top are classic elements of the Spanish Mission style of architecture and are common to this region. As discussed in "Porches and Balconies" careful attention must be given to their scale. Note in the example above the architectural band at the top of the pier on which the arch element "sits". This is a classic detail to this feature.*

#### **h. Columns and Posts**

Columns and posts are important design components in many of the suggested architectural styles for Menifee Valley Ranch and are often signature elements to a particular style. Columns and posts should be incorporated as structural and aesthetic design elements and should be dimensioned appropriately so that a solid and durable image is conveyed. The scale and dimension of these elements varies depending upon the architectural style. The elements should reflect the selected style when they are introduced in the design proposals.

#### **i. Garages**

In a society geared to the automobile, the automobiles "housing needs have come to be the predominant architectural element on many of the streets we live on. Too often garages have been designed in a manner that detracts from the overall appearance of the neighborhood.

Menifee Valley Ranch requires that particular attention be given to the design, placement and orientation of the garages in all residential neighborhoods. While maintaining an awareness of the contemporary market and the targeted market segment, every effort is expected to minimize the impact of the garage on the residential neighborhood. Depending upon lot size, this can be accomplished through a variety of methods including:

- Turn-in orientations (side-loaded);
- Garage setback greater than the house front setback;
- Split two-car one-car garage, set to opposite sides of home;
- Rear of lot garage placement with driveway access from the front of the lot;
- Tandem garages for third car;
- Garage door design considerations that include recessed, creative panel design, windows, and color; and/or
- A porte-cochère architectural element.

Although MENIFEE VALLEY RANCH has established its architectural character based on regionally and historically significant architectural styles, the automobile plays a more prominent role today than when these architectural styles originated. While the garage is a necessary component in all contemporary versions of the suggested architectural styles, builders, planners, architects and landscape architects will need to carefully consider garage location, variation and placement along each residential street. If side-loaded garages are utilized, a reduction in front yard setback of up to five feet is permitted.

Garage doors are a major visual element and should be simple in design. Garage door design should reflect a slightly recessed door. Individual bays should be provided which are offset and which are separated. This will eliminate visually extensive garage door facades. Three and two car garage configurations can be divided into two/one and one/one configurations to allow for entry courts and auto arrival courts. Accent colors should be used to compliment the architecture and provide visual variety along the streetscape. At least 25% of the garage doors shall provide windows, and garage door windows should correspond to the window forms of the house. Landscape vines and tree wells should be introduced to soften the visual impact of the garage door and accent the garage facade.



*Above right and left: Tapered (battered) piers extending to the porch roof are characteristic of many architectural styles including Bungalow, Craftsman and Prairie. Often the tapered piers are topped with simple wood posts that extend to the roof. The scale and proportions of these design features are critical to the visual success of the building's elevation.*

*Below left: Multiple posts and caps provide an added design detail and accomplish the visual requirement of adding scale to the structure being supported. Such a design detail is applicable to many of the architectural styles appropriate to Menifee Valley Ranch.*



*Above: A simple post and beam detail at the covered front entry enhances the character of the house. The dimensions of the posts are visually appropriate to the space and size of the structure being supported.*



*Below: Wood post and rail details accented by simple support elements provide for a strong character statement as shown in this covered balcony example. The cleanliness of the lines combined with the white color compliment and reinforce the architectural style.*



*Every effort should be made to eliminate the garage as a prominent element of the building's front elevation. As shown in the above examples the garage can be set to the rear of the lot which visually provides for more space between adjacent homes along the street edge. Second-story rooms can be placed above the garage without having any significant effect on the building mass, as viewed from the neighborhood street.*



*As shown in the examples above, the inclusion of a porte-cochere structure assists in reducing the scale of the garage and second-story element as viewed from the neighborhood street. The porte-cochere also provides a covered walkway connecting the driveway area to the main house.*



*Above: Turn-in garage conditions help alleviate the visual presence of the garage door facing onto the neighborhood street. In such instances windows and other façade treatments should occur on the garage wall facing the street.*



*Below: Garage doors should be simple in detail and toned to compliment the building's color palette. Attention should be given to trim detail. Garage doors should be offset as shown when more than a two-car door is required.*

Wooden garage doors often fall to disrepair due to climatic conditions and lack of maintenance, and become a visual nuisance to the neighborhoods. Therefore, all new residences shall have either sectional steel or one-piece steel, roll up garage door (*i.e.* on tracks), with a minimum thickness of 24-gauge steel.

**j. Rear and Side Facade Treatment**

The design consideration and treatment of the rear and side facades of residential buildings, particularly those facing onto community streets, parks and open spaces, has become recognized as an important element in the success of a community's visual character and environment.

Within MENIFEE VALLEY RANCH the rear and sides of some homes will face onto neighborhood parks, streets, and open spaces. Where such conditions occur, the builder shall be required to enhance the rear and side facades of homes backing onto the neighborhood park or neighborhood streets to improve the community appearance. Such enhancement considerations may include color accents and tonal variations, window trim, shutters, architectural banding, rear balconies and/or other design details and amenities.

**k. Residential Architecture Development Standards (Third District Design Guidelines)**

1) Variations in Floor Plan and Elevations:

A minimum of three (3) distinct floor plan options (not including reversed plans) shall be provided for in each residential Planning Area with less than 100 homes. Each plan shall be designed and constructed with a minimum of three (3) distinct building elevations. A minimum of four (4) distinct floor plan options (not including reversed plans) with no less than four (4) distinct building elevations per plan shall be provided for in each residential Planning Area with 100 or more homes. However, if five (5) distinct floor plan options are provided within one residential Planning Area, then no more than three (3) building elevations per plan shall be required.

2) Single-Story Design Elements:

Twenty-five percent (25%) of homes within each Planning Area shall be designed as single story-homes, and fifteen percent (15%) of all two-story homes shall incorporate single-story design elements. Acceptable single-story design elements shall include bedrooms, porches, garages, and other similar architectural features.

3) Product Mix / Spacing

In Planning Areas where more than three (3) two-story homes are plotted in a row, then a minimum of twenty-five percent (25%) of all two-story homes within the Planning Area shall incorporate single-story elements. Under no condition shall more than four (4) two-story homes be plotted in a row.

4) Mailboxes:

Installation of cast iron, cast aluminum, brick, or slumpstone-encased curbside mailboxes is required. Community mailboxes are not permitted, and each mailbox shall serve no more than two residences.





*Above: Turn-in garage conditions help alleviate the visual presence of the garage door facing onto the neighborhood street. In such instances windows and other façade treatments should occur on the garage wall facing the street.*



*Below: Garage doors should be simple in detail and toned to compliment the building's color palette. Attention should be given to trim detail. Garage doors should be offset as shown when more than a two-car door is required.*



*The above example shows the excellent use of rear window enhancements on homes with rear facades facing onto a neighborhood street or public space. The colored window shutters provide a complimentary contrast to the window trim and rear façade colors. The windows are framed with lentils and sills. The home on the right is further accented with a pot shelf.*



*The top example shows the effective use of window trim painted in accent colors, pot shelves, architectural banding and tonal variations to enhance the overall appearance of the rear façade of the homes. The bottom example shows the effective use of accent shutters to enhance the rear window. The bracketed pot shelf is a nice addition. These types of design enhancements will be required to wrap around to the side façade when the side façade is visible from neighborhood streets, parks or open spaces.*

## Menifee Valley RBBB Fee Schedule

Resolution No. 2017-131 (8/29/2017)  
Effective 8/29/2017

TYPE	ZONE E1 <sup>(2)</sup> (No CFD)	ZONE E2 <sup>(2)</sup> (CFD 03-1)	ZONE E3 (No CFD)	ZONE E4 (CFD 03-1)
<b>Residential RBBB Fee (per du)<sup>(1)</sup></b>	<b>\$4,656</b>	<b>\$4,016</b>	<b>\$4,656</b>	<b>\$4,016</b>
<i>Residential TUMF Credit (per du)<sup>(3)</sup></i>	<i>\$0</i>	<i>(\$1,775)</i>	<i>\$0</i>	<i>(\$1,775)</i>
<b>Retail Commercial, Service, Office, Industrial RBBB Fee (per gross ac)<sup>(1)</sup></b>	<b>\$5,497</b>	<b>\$5,497</b>	<b>\$5,497</b>	<b>\$5,497</b>
<i>Retail Commercial TUMF Credit (per SF GFA)<sup>(3)</sup></i>	<i>\$0</i>	<i>(\$2.10)</i>	<i>\$0</i>	<i>(\$2.10)</i>

**Notes:**

1. Zones B, C, D and F are no longer shown, since they have been incorporated within the City of Menifee and the City collects the RBBB fees within those zones.
2. Portions of Zone E fall within both the County of Riverside and the City of Menifee. Each jurisdiction collects RBBB fees within their respective portion of Zone E.
3. Residential developments within the Newport Road Extension CFD 03-1 are eligible for TUMF credits in accordance with the Memorandum of Understanding between WRCOG and the County of Riverside for CFD 03-1, dated 10-28-2014.

**Community Facilities District (CFD):**

CFD 03-1 – Newport Road Extension (Domenigoni Parkway)

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# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

April 5, 2018

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Ms. Phayvanh Nanthavongdouangsy, Principal Planner  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501  
(VIA HAND DELIVERY)

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1027RG18  
Related File No.: GPA1227 (General Plan Amendment)  
APN: Countywide

Dear Ms. Nanthavongdouangsy:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No. 2011-02, staff reviewed Riverside County Case No. GPA1227 (General Plan Amendment), a proposal to amend the provisions of the County's General Plan Land Use Element [specifically, Policies LU 21.7 and 22.7 in the Rural and Rural Community sections and the "sidebar" definition of "small-scale commercial uses" on page LU-49]. The current policies limit the types of such uses allowable within the Rural Community and Rural Foundation Component designations to those uses allowable in the Rural Commercial (C-R) zone of Riverside County Ordinance No. 348 and further require such uses to: (1) comply with the development standards of that zone; (2) be between 0.5 and 2.5 acres; (3) be protective of view sheds, (4) be located "adjacent to an arterial, a mountain arterial, or a major highway," and (5) be located a minimum distance of two miles from any land designated Commercial. The proposed amendment deletes or modifies these restrictions, requiring only that the small-scale commercial uses are adjacent to, and can safely be accessible from, a General Plan designated roadway, are designed to be compatible with the surrounding uses and rural nature of the area, and are consistent with the applicable zoning requirements and development standards.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with all Riverside County Airport Land Use Compatibility Plans.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

**AIRPORT LAND USE COMMISSION**

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION




---

Simon A. Housman, ALUC Director

Attachments: Proposed General Plan Amendment

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- LU 20.4 Encourage conservation of productive agricultural lands. Preserve prime agricultural lands for high-value crop production.
- LU 20.5 Continue to participate in the California Land Conservation Act (the Williamson Act) of 1965.
- LU 20.6 Require consideration of state agricultural land classification specifications when a 2.5-year Agriculture Foundation amendment to the General Plan is reviewed that would result in a shift from an agricultural to a non-agricultural use. (AI 8)

 **Riverside County Ordinance No. 625, the Right-to-Farm Ordinance: the intent of this ordinance is to reduce the loss of agricultural resources by limiting the circumstances under which agricultural operations may be deemed to constitute a nuisance.**

- LU 20.7 Adhere to Riverside County’s Right-to-Farm Ordinance.
- LU 20.8 Encourage educational and incentive programs in coordination with the Riverside County Agricultural Commissioner’s Office, the University of California Cooperative Extension Service, and the Riverside County Farm Bureau, that convey the importance of conserving watercourses and their associated habitat, as well as protective buffers for domestic and farm livestock grazing.
- LU 20.9 Weigh the economic benefits of surface mining with the preservation/conservation of agriculture when considering mineral excavation proposals on land classified for agricultural uses.
- LU 20.10 Allow agriculturally related retail uses such as feed stores and permanent produce stands in all areas and land use designations. It is not the County’s intent pursuant to this policy to subject agricultural related uses to any discretionary permit requirements other than those in existence at the time of adoption of the General Plan.

- LU 20.11 The County of Riverside shall pursue the creation of new incentive programs, such as tax credits, that encourage the continued viability of agricultural activities. (AI 1)
- LU 20.12 Support and participate in ongoing public education programs by organizations such as the County Agricultural Commissioner’s Office, University of California Cooperative Extension, Farm Bureau, and industry organizations to help the public better understand the importance of the agricultural industry.

**Rural**

Another of Riverside County’s most important land uses in terms of historic character and lifestyle choice is its rural areas and rural communities. Rural areas comprise one of the most distinctive and attractive segments of the county, and are the expressed lifestyle choice for many residents. Rural uses include a range of choices, from agricultural, to equestrian, to estate, to remote cabins and resorts. Like agricultural uses, rural uses define the unique character of many communities in Riverside County, and help to define their edges by providing separation between developed areas. Rural areas are also valuable in providing important wildlife habitat and habitat linkages as well as cultural preservation goals such as historic landscapes. Many visitors are drawn to Riverside County to enjoy the rural atmosphere. The importance of the rural character to Riverside County is reflected in the following RCIP Vision statements:



*“The extensive heritage of rural living continues to be accommodated in areas committed to that lifestyle and its sustainability is reinforced by the strong open space and urban development commitments provide for elsewhere in the RCIP.”*

*“Each of our rural areas and communities has a special character that distinguishes them from urban areas and from each other. They benefit from some conveniences such as small-scale local commercial services and all-weather access roads, yet maintain an unburied, uncrowded life style. Rural residents accept the fact that they must travel some distance for more complete services and facilities.”*

Due to increasing growth pressures, there is danger that the character of some rural areas may be diminished by encroaching urbanization. There is a delicate balance between accommodating future growth and preserving this rural lifestyle. In some instances, allowing limited growth is desirable and appropriate while in others, there is a need to maintain the character of an area. In either instance, it is necessary to ensure that an appropriate level of services and infrastructure is available.

There are a number of methods proposed to achieve this balance, including the creation of community centers, establishment of lot size minimums, consolidation of multiple lots, and the clustering of residential units. These options can be accomplished through a number of means, including programs and incentives. The County of Riverside has a commitment to ensuring that rural uses remain an integral part of Riverside County’s future and are protected through the policies of the General Plan, as reflected in the following General Plan Principle statements:

*“Rural land use designations should be established that accommodate a rural lifestyle generally within existing rural towns and rural residential neighborhoods. Additional rural towns and residential neighborhoods should be minimized because of the need to provide more efficient community development opportunities.”*

Rural character includes and can be enhanced by small villages that function as a center for outlying areas by providing a concentration of civic and commercial uses. The General Plan Principles reflect the importance of these villages:

*“These principles do not preclude the addition of small-scale villages of a contrasting character, even those that might include a mix of more intensive residential development, as a component of the rural landscape.”*

The Rural General Plan Foundation Component is intended to identify and preserve areas where the rural lifestyle is the desired use, including areas of remote cabins, residential estates, limited agriculture, equestrian, and animal keeping uses. In the future, the challenge will focus on preserving the character of established rural areas while accommodating future growth, preventing the encroachment of more intense urban uses, and ensuring compatibility between rural and urban uses.



#### **Small Scale Commercial**

**Uses** reflect the rural communities in scale and character; this type of commercial development serves the need of rural communities. The development standards for these commercial uses reflect areas where urban services and facilities are generally unavailable and are not likely to be provided in the near future. ~~The type of uses allowed and the development standard shall be in accordance with the Rural Commercial (C-R) Zone in Ordinance 348.~~ The following are examples of small-scale commercial uses:

- Animal hospital
- Barber shop
- Bakery
- Drug Store
- Hardware Store
- Pet and pet supply shop
- Post Office
- Convenience Store
- Nurseries/garden supply
- Produce market
- Professional Office Space

### Rural Area Plan Land Use Designations

As shown on the Land Use Designation Key (Figure LU-5), the Rural General Plan Foundation Component consists of three Area Plan land use designations: Rural Residential, Rural Mountainous, and Rural Desert. The Rural Village Area plan overlay is discussed at the end of this Element.

**Rural Residential (RR)** - The Rural Residential land use designation allows one single family residence per five acres, as well as limited animal-keeping and agricultural activities. Limited recreational uses, compatible resource development (not including the commercial extraction of mineral resources) and associated uses, and governmental uses are allowed within this designation. Neighborhood-serving small-scale commercial uses that are compatible with the surrounding uses are allowed.

**Rural Mountainous (RM)** - The Rural Mountainous land use designation allows single family residential uses, limited animal-keeping and agricultural uses, with a maximum residential density of 1 dwelling unit per 10 acres. This designation applies to areas of at least 10 acres where a minimum 70% of the area has slopes of 25% or greater. It also applies to remote areas that are completely or partially surrounded by slopes greater than 25%, and that do not have both county-maintained access and access to community sewer and water systems. Limited recreational uses, compatible resource development (which may include the extraction of mineral resources with approval of a surface mining permit) and associated uses, and governmental uses are allowed within this designation. Neighborhood-serving small-scale commercial uses that are compatible with the surrounding uses are allowed.

**Rural Desert (RD)** - The Rural Desert land use designation allows for single family residences, limited agriculture and animal keeping uses, with a maximum residential density of 1 dwelling unit per 10 acres. Limited recreational uses; renewable energy uses including solar, geothermal and wind energy uses, as well as associated uses required to develop and operate these renewable energy sources; compatible resource development (which may include the extraction of mineral resources with approval of a surface mining permit); governmental and utility uses are also allowed within this designation. This designation is generally applied to remote desert areas characterized by poor access and a lack of water and other services. Neighborhood-serving small-scale commercial uses that are compatible with the surrounding uses are allowed.

#### Policies:

The following policies apply to properties designated with the Rural Residential, Rural Mountainous, and Rural Desert land use designations on the area plan land use maps.

- LU 21.1      Require that grading be designed to blend with undeveloped natural contours of the site and avoid an unvaried, unnatural, or manufactured appearance. (AI 23)
- LU 21.2      Require that adequate and available circulation facilities, water resources, sewer facilities and/or septic capacity exist to meet the demands of the proposed land use. (AI 3)
- LU 21.3      Ensure that development does not adversely impact the open space and rural character of the surrounding area. (AI 3)
- LU 21.4      Encourage clustered development where appropriate on lots smaller than the underlying land use designation would allow. The density yield of the underlying land use designation may be clustered on 0.5-acre lots; however, for sites located adjacent to the Community Development Foundation Component, 10,000-square-foot-minimum lots may be considered.

- LU 21.5 Encourage parcel consolidation. (AI 29)
- LU 21.6 Provide programs and incentives that allow rural areas to maintain and enhance their existing and desired character. (AI 9, 30)
- LU 21.7 ~~Small-scale commercial uses that serve rural neighborhoods are allowed subject to the following criteria:~~
- ~~a. The portion of the lot proposed for commercial uses shall be between 0.5 and 2.5 acres.~~
  - ~~b. The portion of the lot proposed for commercial uses shall be located adjacent to an arterial, a mountainous arterial or a major roadway.~~
  - ~~c. The proposed use may not be located within 2 miles of a Commercial land use designation.~~
  - ~~d. The design and scale of the proposed use shall be compatible with the surrounding uses, protective of view sheds, and blend in with the rural nature of the area.~~
  - ~~e. The proposed use shall be implemented through allowed uses and related development standards of the Rural Commercial (C-R) Zone (AI 1).~~

***Encourage neighborhood serving small-scale commercial uses that are adjacent to and can safely be accessible from a General Plan designated roadway, and designed to be compatible with the surrounding uses and rural nature of the area. Such small-scale commercial uses shall also be consistent with the applicable zoning requirements and development standards***

### **Rural Community**

The Rural Community Foundation Component is intended to identify communities and neighborhoods having a rural lifestyle, where animal - keeping uses and limited infrastructure (compared with Community Development areas) are prevalent. Rural Community areas will serve as transition areas between Community Development and Rural Foundation Components. Small-scale commercial activities, such as local grocery stores, gift shops and drug stores, located outside urban boundaries are needed to serve these rural communities. Small-scale incidental commercial uses are allowed. Agriculture is permitted in these areas.

#### **Rural Community Area Plan Land Use Designations**

These communities often define their rural lifestyle in part through a desire to maintain particular lot sizes, such as 1 acre or 2 acres. The major challenges for these areas in planning for the future include maintaining their rural character even as other areas in the County of Riverside experience rapid urban development, providing adequate public services in a rural context, and ensuring that buffers are provided between these areas and other uses that could be incompatible with their animal - keeping and agricultural nature.

***Estate Density Residential (RC-EDR)*** - The Estate Density Residential land use designation provides for the development of detached single family residential dwelling units and ancillary structures on large parcels. In the Rural Community Foundation Component (unlike the Community Development Foundation Component, which also permits the application of the Estate Density Residential designation), equestrian and other animal-keeping uses are expected and encouraged. Agriculture and small scale commercial uses are permitted in this designation. The density range is from 1 dwelling unit per 2 acres to 1 dwelling unit per 5 acres.

**Very Low Density Residential (RC-VLDR)** - The Very Low Density Residential land use designation provides for the development of detached single family residential dwelling units and ancillary structures on large parcels. In the Rural Community Foundation Component (unlike the Community Development Foundation Component, which also permits the application of the Very Low Density Residential designation), equestrian and other animal-keeping uses are expected and encouraged. Agriculture and small scale commercial uses are permitted in this designation. The density range is from 1 dwelling unit per acre to 1 dwelling unit per two acres.

**Low Density Residential (RC-LDR)** - The Low Density Residential land use designation provides for the development of detached single family residential dwelling units and ancillary structures on large parcels. In the Rural Community Foundation Component (unlike the Community Development Foundation Component, which also permits the application of the Low Density Residential Foundation Component), equestrian and other animal-keeping uses are expected and encouraged. Agriculture and small scale commercial uses are permitted in this designation. The density range is from 2 dwelling units per acre to 1 dwelling unit per acre.

**Policies:**

- LU 22.1      Require that grading be designed to blend with undeveloped natural contours of the site and avoid an unvaried, unnatural, or manufactured appearance. (AI 23)
- LU 22.2      Require that adequate and available circulation facilities, water resources, sewer facilities and/or septic capacity exist to meet the demands of the proposed land use. (AI 3)
- LU 22.3      Ensure that development does not adversely impact the open space and rural character of the surrounding area. (AI 3)
- LU 22.4      Encourage clustered development where appropriate on lots smaller than the underlying land use designation would allow. The density yield of the underlying land use designation may be clustered on 0.5-acre lots; however, for sites located adjacent to the Community Development Foundation Component, 10,000 square foot minimum lots may be considered.
- LU 22.5      Encourage parcel consolidation. (AI 29)
- LU 22.6      Provide programs and incentives that allow rural areas to maintain and enhance their existing and desired character. (AI 9, 30)
- LU 22.7      ~~Small-scale commercial uses that serve rural neighborhoods are allowed subject to the following criteria:~~
  - ~~a. The portion of the lot proposed for commercial uses shall be between 0.5 and 2.5 acres.~~
  - ~~b. The portion of the lot proposed for commercial uses shall be located adjacent to an arterial, a mountainous arterial or a major roadway.~~
  - ~~c. The proposed use may not be located within 2 miles of a Commercial land use designation.~~
  - ~~d. The design and scale of the proposed use shall be compatible with the surrounding uses, protective of view sheds, and blend in with the rural nature of the area.~~
  - ~~e. The proposed use shall be implemented through allowed uses and related development standards of the Rural Commercial (C-R) Zone (AI 1).~~

*Encourage neighborhood serving small-scale commercial uses that are adjacent to and can safely be accessible from a General Plan designated roadway, and designed to be compatible*

*with the surrounding uses and rural nature of the area. Such small-scale commercial uses shall also be consistent with the applicable zoning requirements and development standards.*

- LU 22.8 An amendment from the Rural Community Foundation Component that meets the following criteria may be considered as an entitlement/policy amendment and processed as defined in Section 2.4 General Plan Technical Amendments and Entitlement/Policy Amendments of Ordinance No. 348:
- a. This amendment shall be located within a city's sphere of influence area.
  - b. This amendment shall be located within an existing community that is characterized by lots smaller than 20,000 square feet in net area.
  - c. There shall be a Memorandum of Understanding between the County of Riverside and the city that ensures adequate infrastructure, including sewer services for the establishment of lots smaller than one acre.
  - d. This amendment shall be processed with a tract or parcel map and approved with a condition of approval that requires the extension of a sewer line.

### Open Space

One of the most distinctive features of Riverside County is its variety of open spaces. These open spaces vary by terrain, from remote deserts and mountains, to rolling hills and canyons, to lakes and streams, to protected habitat areas, to passive and active recreational areas, and are vital to the heritage, character, and lifestyle of Riverside County. This importance is reflected in the RCIP Vision:

*"Multipurpose regional open space and community/neighborhood public spaces are permanent elements of the Riverside County landscape."*

Open spaces also provide the setting for Riverside County's unique and distinctive communities. They help define the unique character of many communities in Riverside County and help to provide edges and separation between developed areas. These open spaces also are an important economic benefit to the County of Riverside in that they draw thousands of visitors each year. Neighborhood and community parks and recreational fields also provide important facilities that enhance the quality of life for local residents and visitors. Providing access to these open spaces is a continued goal of the County of Riverside, as stated in the RCIP Vision:

*"Public access to recreation opportunities is part of the overall open space system, with multi-purpose parks, play fields and community facilities at varied sizes in accessible locations."*

It is also clear that Riverside County's biological health and diversity is dependent upon the preservation of natural open spaces. The importance of this is clear in the following RCIP Vision statement:

*"The multi-purpose open space system provides for multi-species habitat preservation rather than a piecemeal approach to single species. This enables the natural diversity of plants and animals to sustain themselves because of the critical relationships between them. Extensive land areas set aside for this purpose and they are linked by corridors of various designs to allow movement between habitat areas. In addition, the public's access to the open space system is significantly expanded for recreation purposes, enabling a variety of active and passive recreation pursuits. Trails provide a means of recreation in themselves, as well as access for less intensive recreation. Creative and effective means of acquiring open space have enabled establishment of this system so that private property rights are respected and acquisition costs are feasible. This system also provides an effective*

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**AIRPORT LAND USE COMMISSION  
RIVERSIDE COUNTY**

April 12, 2017

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Mr. Doug Darnell, Senior Planner  
City of Riverside Community Development Department Planning Division  
3900 Main Street, 3<sup>rd</sup> Floor  
Riverside CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR'S DETERMINATION**

File No.: ZAP1026RG18  
Related File No.: P18-0074 (General Plan Amendment for Mid-Cycle Update to  
Housing Element)  
APN: Citywide

Dear Mr. Darnell:

As authorized by the Riverside County Airport Land Use Commission (ALUC) pursuant to its Resolution No. 2011-02, as ALUC Director, I have reviewed City of Riverside Case No. P18-0074 (General Plan Amendment), a proposal to update the tables and accompanying text of the "5<sup>th</sup> Cycle" 2014-2021 Housing Element of the City of Riverside General Plan 2025, assessing the effectiveness of the previous Element over the course of recent years, amending program descriptions, and making editing changes. No policy changes or changes to land use designations are proposed through this "Mid-Cycle" update; thus, this particular amendment to the previously reviewed Housing Element will not increase density of residential use or introduce new uses within any zoning classification. Therefore, this amendment has no possibility for having an impact on the safety of air navigation within airport influence areas located within the City of Riverside.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port, 2005 Riverside Municipal, and 2004 Flabob Airport Land Use Compatibility Plans.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

## **AIRPORT LAND USE COMMISSION**

Attachment for Airport Managers: Proposed General Plan Amendment

cc: Kim Ellis, Manager, Riverside Municipal Airport  
Gary Gosliga, March Inland Port Airport Authority  
Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base  
Beth LaRock, Flabob Airport

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**CITY OF RIVERSIDE  
DRAFT 2014-2021 HOUSING ELEMENT  
MID-CYCLE UPDATE**

MARCH 2018



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## HOUSING ELEMENT

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## INTRODUCTION

### BACKGROUND

Healthy and strong neighborhoods with an adequate supply of quality and affordable housing are fundamental to the well-being of Riverside and its residents. Beyond simply fulfilling a basic need for shelter, adequate and affordable housing provides many more benefits. Studies show that children in stable housing do better in school and are less likely to experience disruption in their education due to moves. Living in decent, affordable housing also provides individuals and families with a sense of economic security and the ability to focus on their needs.

An adequate supply of a variety of housing types and prices is also important to Riverside's employment base and its economic vitality. A mix of homes affordable to a range of income levels can attract and help retain a diverse employment base in the community, support the local workforce so they can live close to their jobs, and support economic development objectives. Shorter commutes allow workers to spend more time with their families while benefitting from reductions in traffic congestion, air pollution, and expenditures on roads.

Healthy and strong neighborhoods also depend on supportive services. Parks, recreation, and open spaces beautify neighborhoods and improve property values. Complete sidewalks and bicycle routes encourage walking and exercise, which improve the health of residents. A complementary mix of community amenities—medical facilities, commercial uses, and various service agencies—provide residents with their daily needs. Community centers offer places for residents to socialize and strengthen a sense of community.

As required by state law, Riverside prepares a housing element as part of the Riverside General Plan 2025 to provide objectives, policies, and programs to facilitate the development, improvement, and preservation of housing. It is intended to create livable neighborhoods that offer a high quality of life, facilitate a diversity of housing choices for different lifestyles, increase housing opportunities for very low, low and moderate income households, and support the provision of adequate housing and supportive services for those with special needs.

Taken together, the Housing Element plays a fundamental role in achieving Riverside's vision of a greater city. By providing quality housing opportunities for Riverside's diverse population,



## HOUSING ELEMENT

strengthening the quality of neighborhoods, and assisting residents and the workforce of all income levels, Riverside will continue to be denoted as one of the most livable and sought-after communities in the nation.

### CONTENT OF ELEMENT

State law provides broad parameters for the objectives and policies that should be contained in the Housing Element. According to state law, the Housing Element must: 1) identify adequate sites for a range of housing opportunities; 2) assist in the development of adequate and affordable housing; 3) address constraints to meeting the City's housing needs; 4) conserve and improve the condition of housing; and 5) promote housing opportunities for all residents.

California Housing Element law also prescribes the scope and content of the housing element. Pursuant to Section 65583 of the Government Code, the Riverside Housing Element contains five parts.

- ❖ **Housing Needs Assessment**-demographic, social, and housing characteristics; current housing needs; and future housing needs due to population growth and change.
- ❖ **Constraints Analysis**-analysis of potential constraints that affect the development, maintenance, and improvement of housing for all income groups and people with disabilities.
- ❖ **Housing Resources**-inventory of available land for housing, financial resources, and administrative capacity to manage housing programs that address the City's housing needs.
- ❖ **Program Evaluation**-evaluation of accomplishments of current housing programs, their success in meeting housing needs, and continued appropriateness for the present planning period.
- ❖ **Housing Plan**-objectives, policies, and implementation programs to address the development, improvement, and conservation of housing in Riverside.

Riverside's Housing Element is organized into three complementary documents-the Housing Technical Report, this present Chapter of the General Plan, and the Implementation Plan. The Housing Technical Report is a background report that contains the analysis of the City's housing needs, constraints, and resources. The second document, the Housing Element chapter of the General Plan, contains a summary of the Technical Report's major findings and a series of objectives and policies with respect to the development, maintenance, and



improvement of housing and neighborhoods in Riverside. The third and final document, the Housing Implementation Plan, contains programs that will be implemented to address the City's housing needs.

## PUBLIC OUTREACH

California law requires that local governments make a diligent effort to achieve participation from all economic segments of the public in the development of the housing element. As part of the 2014-2021 Housing Element update, the City of Riverside conducted an extensive public engagement program to solicit views from a broad range of community interests. The City held two major series of forums to solicit input for the Housing Element.

- ❖ **Farmers' Market.** The City solicited input from residents at the Kaiser Permanente Farmers' Market on July 19, 2013. The City provided information about the Housing Element and residents shared their thoughts on housing constraints and opportunities.
- ❖ **Neighborhood Conference.** The City also had an information booth at the Neighborhood Conference on October 19, 2013. The City provided information about the Housing Element and asked for input on housing challenges and opportunities.
- ❖ **Citizen's Advisory Committee.** The City Council appointed a Citizens Advisory Committee (CAC) composed of representatives from the development industry, special needs groups, City commissions, fair housing representatives, and other parties. The City formed a CAC to discuss housing needs, the role of the Housing Element, and potential policy and programmatic responses to addressing Riverside's needs.

The Housing Technical Report provides a summary of the comments received during the above noted events. These comments are incorporated into the Housing Needs Assessment and the policies and tools that will guide the implementation of the Housing Element.





## HOUSING ELEMENT

### RELATED CITY PLANNING EFFORTS

The 2014-2021 Housing Element is a broad housing policy plan that is related to other community planning and housing plans. These plans are briefly described below.

- ❖ **City Vision (Visioning Riverside: A Report from the Community – Appendix B of the General Plan 2025).** The General Plan 2025 is founded on specific guiding principles and a community vision for Riverside. The City's vision governs how Riversiders create a livable community by fostering economic opportunities and preserving parks and open space, how we live together in neighborhoods, how people get around the City, how we work, and how we achieve quality education for all. These principles, coupled with the City's statement of inclusiveness, also underpin the Housing Element update.
- ❖ **General Plan 2025.** State law requires that a General Plan be internally consistent so that objectives, policies, and implementation measures in the General Plan Elements are consistent and support one another. The Housing Element builds on and is consistent with the other elements in the General Plan. To maintain and emphasize consistency, the Housing Element references supporting policies in other chapters of the General Plan. The City will continue to maintain consistency between General Plan elements by ensuring that proposed changes in one element will be reflected in other elements when amendments of the General Plan are necessary.
- ❖ **Specific Plans and Overlay Zones.** Riverside utilizes implementation tools-specific plans, overlay zones, and other plans-to guide future development in focused areas. These include more than a dozen specific plans and a variety of different overlay zones. The Housing Element is an overarching document that bridges specific plans with the objectives and policies in the General Plan. Whereas the Housing Element provides a framework for housing Citywide, implementation tools provide guidance for specific areas of the City.

#### Housing Implementation Plans

The City implements other plans that relate to the Housing Element. The Consolidated Plan guides the expenditure of federal funds for



housing and community development activities, particularly low and moderate income households and persons with special needs.

Up until January 31, 2011, the Redevelopment Housing Implementation Plan governed the expenditure of tax increment funds to support the rehabilitation, construction, and improvement of housing. The Redevelopment Housing Implementation Plan had a coherent approach consistent with the Housing Element. The Riverside Redevelopment Agency was dissolved in 2012, consistent with the dissolution of redevelopment agencies statewide. The Housing Authority of the City of Riverside is the Successor Housing Agency.

## COMMUNITY CONTEXT

This section provides a synopsis of key issues in the community that help define the City's housing opportunities and challenges. These include demographic, economic, housing, and special needs characteristics of residents and the workforce. A more in-depth discussion of topics is provided in the Housing Technical Report. These characteristics also provide the setting for the objectives, policies, and programs that are intended to address the City's housing needs.

## DEMOGRAPHIC CHARACTERISTICS

### Population Growth

The City of Riverside ranks as the 12<sup>th</sup> most populous city in California with approximately 311,955 residents as of 2013. In Riverside's recent history, population growth has been a steady constant, adding approximately 40,000 new residents each decade since the 1960s. Even during times of economic recession, Riverside has continued to grow. Riverside's constant population growth has been the result of the quality of life offered by the community-its strategic location, industrious and visionary leaders, environmental benefits, world-class educational institutions, rich culture, history, and affordable housing.

The City of Riverside is anticipated to continue increasing in population. According to the General Plan 2025 EIR, the City of Riverside has a projected population of 383,077 at the ultimate buildout of the City. Of that total, the General Plan 2025 projects a population of 346,867 within current incorporated boundaries of Riverside and 36,209 residents within the City's sphere of influence. In past decades, migration patterns-in part due to more affordable





## HOUSING ELEMENT

housing-fueled population growth in Riverside. In contrast, Riverside's future growth will come from residents living in the City today.

Riverside's anticipated population growth and demographic changes will bring many housing challenges and opportunities to the City. What types of housing are best suited to meeting the new generations of residents who will soon call Riverside home? How do we accommodate the housing and service needs of the aging baby boom generation? Where should the City grow to accommodate housing in a responsible manner consistent with smart growth principles? How should housing be designed to support sustainable neighborhoods? The remainder of this section explains the demographic, economic, housing, and other factors that set the stage for this policy discussion.

### **Race and Ethnicity Characteristics**

Like much of southern California, Riverside's population is becoming more diverse in race and ethnicity. According to the 2011 American Community Survey (ACS), Hispanics comprise 52 percent of the population followed by Whites (32 percent), and Asians and Blacks (6 percent each). These patterns are similar to county averages and those of central cities in the region. In recognition of this diversity, in 2001 the City adopted the "Building a More Inclusive Riverside Community" statement. This statement affirms the opportunities and challenges of building an inclusive community and the responsibilities of residents, businesses, institutions, and policymakers in Riverside's future.

According to the Public Policy Institute of California, the most striking demographic change in the Inland Empire and, by extension Riverside, will occur among Latino and Asian young adult (20-34 years of age) populations. Currently, the large majority of these young adults are first-generation immigrants. However, by 2015, the majority will have been born in the United States. These changes will result from the large growth in the number of second-generation children of immigrants. After several decades of strong and sustained flows of immigrants, the children of those immigrants will reach adulthood in Riverside.

### **Age Characteristics**

Resident age characteristics in Riverside also affect housing needs. Although variations exist, younger adults typically prefer apartments because they are more affordable, allow for greater mobility, and are easier to maintain. As young adults become more established, they seek starter homes or smaller townhomes that are more affordable. Middle-aged adults tend to prefer larger homes to accommodate families and children. Meanwhile, seniors prefer condominiums,



smaller single-family homes and, in many cases, senior housing options that offer more affordable housing and are easier to maintain.

Riverside's central location and the presence of four major colleges and universities mean that young adults will always comprise a substantial proportion of the population whatever the broader demographic trends. From 2000 to 2011, young adults ages 18-24 increased by approximately 27 percent and young adults ages 25-34 increased by 16 percent. The only age group to decrease was adults age 35 to 44. Much like the broader region, the numbers of middle-aged adults age 45 to 64, and older adults (65+) also showed considerable increases. Due to continued strong growth in the young adult population and middle-aged population (45-64), the City can expect significant increases in the number of residents under age 18 and a growing elderly population.

### **Household Characteristics**

Household types also influence housing preferences and needs. For instance, single-person households often occupy smaller apartments or condominiums, such as one-bedroom units. Couples with children often prefer larger single-family homes to accommodate their needs. These patterns underscore the need to provide a diversity of housing opportunities suitable for all types of households. Table H-1 shows various household characteristics in Riverside.

As of 2010, the City of Riverside has approximately 91,932 households, a 12 percent increase since 2000. Family households (which consist of married couples and/or related members) account for 72 percent of all households.



## HOUSING ELEMENT

TABLE H-1  
HOUSEHOLD CHARACTERISTICS

Household Type	Number	Percent of Total
Total Households	91,932	100%
Married w/child	25,532	28%
Married no child	19,866	22%
Other Families	20,217	22%
Nonfamilies	26,317	29%

Source: US Census, 2010.

The City of Riverside's average household size was 3.18 persons in 2010, which is slightly higher than in 2000. However, the composition of households has changed somewhat. Since 2000, the fastest growing segments are single-person households, three-person households, and large households with five or more members. This diversity has led to the average household size remaining constant.

As of 2011, residents age 25 to 34 comprised 15 percent of the overall population, residents age 35 to 44 comprised 13 percent, and residents age 45 to 54 comprised 13 percent. These groups are those of typical home buying age. The fastest growing groups have been the 55 to 64 and 18 and 24 age groups. According to the Public Policy Institute of California, by 2015, seniors will significantly increase as the baby boom age group reaches 55-59 years and the leading edge of the baby boom generation reaches 69 years. The Inland Empire will also see an increase in echo boomers (adults 20-34 years).

## ECONOMIC CHARACTERISTICS

### Industry and Occupations

According to the Southern California Association of Governments (SCAG), the City of Riverside had approximately 141,081 jobs in 2012. In 2012, the Education sector was the largest job sector accounting for 28.1 percent of total jobs in the city. Professional jobs are the next largest sector at 12.9 percent, followed by the Retail sector at 11.7 percent and Public at 8.4 percent. Riverside's job base is anticipated to grow to 198,000 jobs by 2020.

Table H-2 shows the jobs held by residents and their median wages. Nearly one third of the workforce holds jobs that pay a median wage above \$60,000. These include Management, Business, Science, and Arts occupations. The next tier-Sales/Office and Natural Resources/Construction/Maintenance occupations-employ over a third of the



workforce and pay a median wage of \$35,660-40,188. The third tier of jobs held by Riverside residents-Service occupations and Production/Transportation/Material Moving occupations-employ the last third of the workforce and pay wages of \$25,202 to \$31,860.

TABLE H-2  
JOBS HELD BY RIVERSIDE RESIDENTS

Subject	Total Employment	Percent of Work Force	Full-time Employment	Median Wage for FTE
Management, business, science, and arts occupations	40,623	32%	27,658	\$63,814
Sales and office occupations	32,005	25%	20,002	\$35,660
Service occupations	21,390	17%	10,890	\$25,202
Production, transportation, and material moving occupations	20,282	16%	14,371	\$31,860
Natural resources, construction, and maintenance occupations	14,747	11%	10,272	\$40,188
<b>Total Employment</b>	<b>129,047</b>	<b>100%</b>	<b>83,193</b>	<b>\$40,545</b>

Source: ACS 2007-2011.  
Note: Percentages are rounded.  
FTE=Full Time Equivalent

**Household Income**

As the historic seat of the County of Riverside, the City of Riverside’s demographics are diverse, and display a wide range of income levels. The City’s median household income of \$65,000 generally mirrors patterns throughout the County of Riverside. Yet as is common for most central cities throughout Southern California, Riverside is known for its diverse population of families, seniors, students, and special needs groups. Each group has different incomes and housing needs.

To provide a basis for determining housing need, the State Department of Housing and Community Development (HCD) creates household income categories based on the median family income (MFI) in Riverside County (which was \$65,000 for a four-person household as of 2013). This translates into the following income thresholds.

- ❖ Extremely Low: earning below 30 percent of MFI or \$19,500
- ❖ Very Low: earning 31 to 50 percent of MFI or \$32,500
- ❖ Low: earning 51 to 80 percent of MFI or \$52,000
- ❖ Moderate: earning 81 to 120 percent of MFI or \$78,000
- ❖ Above Moderate: earning over 120 percent of MFI



## HOUSING ELEMENT

For purposes of Housing Element law, extremely low income and very low income are often combined into one income category, referred to as very low income. In other cases, the extremely, very low, and low income categories are combined into one category, called lower income. These terms are used interchangeably in the Housing Element depending on the subject discussed. HUD reports the number of households in each income category in its CHAS data. Table H-3 shows the income distribution of Riverside households, using income levels based on the MFI for the years in preparation 2006-2010 HUD CHAS data.

TABLE H-3  
HOUSEHOLD INCOME

Income Group	Total Households		
	Income Levels	Number	% of Total
Extremely Low	Less than \$20,100	9,995	11%
Very Low	\$20,101 to \$33,500	10,585	12%
Low	\$33,501 to \$53,600	15,980	18%
Moderate	\$53,601 to \$78,000	10,095	11%
Above Moderate	Above \$78,000	44,210	49%
<b>Total</b>		<b>90,865</b>	<b>100%</b>

Source: 2006-2010 HUD CHAS, Table 7

For more information on Neighborhoods, see "Our Neighborhoods" in the Land Use & Urban Design Element.

## HOUSING AND NEIGHBORHOODS

### Neighborhoods

Riverside is noted for its strong residential neighborhoods—a tradition that distinguishes it from other large central cities in southern California. The City has 28 distinct neighborhoods, each with its own history, architecture, housing types, and amenities. Many of these established neighborhoods are well maintained and contain historical resources. The diverse urban, suburban, and rural fabric of many of these neighborhoods has been woven over time and reflects the land use and development policies implemented over the City's history.

Table H-4 lists the 28 neighborhoods that comprise Riverside. Detailed information on the history of each neighborhood is found in the Land Use and Urban Design Element.



TABLE H-4  
RIVERSIDE NEIGHBORHOODS

Airport	Casa Blanca	La Sierra Acres	Presidential Park
Alessandro Heights	Downtown	La Sierra Hills	Ramona
Arlanza	Eastside	La Sierra South	Sycamore Canyon Park
Arlington	Grand	Magnolia Center	Sycamore Canyon Business Park/Canyon Springs
Arlington Heights	Hawarden Hills	Mission Grove	University
Arlington South	Hunter Industrial Park	Northside	Victoria
Canyon Crest	La Sierra	Orangecrest	Wood Streets

Riverside’s neighborhoods offer a range of different lifestyle options. Residents can choose the agricultural and open space character of Arlington Heights and other areas, which date back to the late 1880s. One of the City’s newest neighborhood, Orangecrest, offers a modern suburban environment distinguished by single-family homes on cul-de-sacs and long, curvilinear streets. The community of Casa Blanca typifies the citrus colonia established by Mexican immigrants during the early twentieth century. The University neighborhood offers the option of living in close proximity to the UCR campus. The Land Use and Urban Design Element describes other neighborhoods in greater detail.

**Housing Type**

A certain level of diversity in Riverside’s housing stock is an important quality in providing adequate housing opportunity to meet the diverse needs of Riversiders. This includes single-family homes, townhomes, apartments, and special needs housing. A more diverse housing stock also helps to fulfill the City’s statement of inclusiveness and ensure that all households, regardless of their particular income level, age group, or family size, have the opportunity to find housing that is best suited to their needs. A diverse housing stock provides a variety of housing opportunities for a diverse workforce, who attract new employers.

As is the case with most inland communities, single-family homes comprise the majority (69 percent) of Riverside’s housing stock. Within this general category, single-family homes can range from smaller detached homes or attached products with two to four units to larger estate homes. During the housing boom, the City approved a substantial number of planned residential developments (PRDs). Multiple-family units, primarily apartment projects, comprise



*Small Lot New Homes Oriented Around a Common Area Park*



## HOUSING ELEMENT

approximately 29 percent of the housing stock. Mobile homes comprise approximately 2 percent of housing in Riverside. The City of Riverside has a substantial number of units for seniors (both independent and group), students, and people with disabilities.

### **Homeownership Rates**

Homeownership is a key principle expressed in the City's vision because it can provide financial independence, economic stability, and personal safety. Home investment and pride in homeownership are perceived to contribute to neighborhood quality and stability. Changes in federal housing and lending policies have opened up homeownership to a much larger portion of society-particularly the working and middle classes. The 2010 Census reports that 56 percent of households own a home, which is relatively high given that 69 percent of all homes in Riverside are detached and attached single-family homes.

At the same time, volatility in the housing market and economy resulted in unprecedented levels of foreclosures and displacement of residents and businesses in Riverside since the mid-2000's. The crisis originated with subprime lending, loosening of credit terms of financial institutions, overproduction of housing, and precipitous decline in the economy.

### **Housing Prices and Affordability**

Recent years have seen unparalleled volatility in the housing market. From 1998 to 2006, the housing market soared, with single-family home prices increasing by more than 200 percent to an all-time high. Single-family homes were selling for a median price above \$500,000. In 2012, the average sales price for existing homes was approximately \$212,000 for a single-family home, which includes planned residential developments. Condominiums now sell for an average of \$137,000 and mobile homes for \$44,400. New homes are still priced at higher levels, but the difference between existing and new homes has considerably narrowed.

Apartments and rental housing has fared much better during the past eight years, increasing at a slower but more predictable rate. According to Real Facts, apartment rents increased by only 19% in inflation-adjusted dollars from 2000 to 2010. Apartment rent increases have generally mirrored changes in the cost of living during that period. As of 2013, apartment rates averaged \$755 for a studio, \$969 for a one-bedroom unit, and \$1,221 for a two-bedroom unit. Three-bedroom units are in shorter supply and rent for an average of \$1,480.



Tables H-5 and H-6 show the average price and rent for housing in Riverside and the affordability of each type of housing. As shown, the average single-family home is affordable to low income households for resale homes. The average condominium is affordable to very low income households. The average apartment rent for a 2-bedroom unit is also affordable to lower income households.

**TABLE H-5  
AFFORDABLE HOUSING PRICE**

Household and Unit Size	Maximum Affordable Housing Price by Household Size		
	Two Person 1 bdrm	Four Person 2 bdrm	Five Person 3 bdrm
Household Income			
Extremely Low	\$87,000	\$103,000	\$118,000
Very Low	\$145,000	\$182,000	\$196,000
Low	\$233,000	\$291,000	\$315,000
Moderate	\$339,000	\$424,000	\$458,000

Notes:

1. 2013 HCD Income Limits for a four-person household.
2. Assumes a 30-year fixed mortgage, 5% interest rate, standard housing expenses, and maximum payment of 35% of income toward housing.

**TABLE H-6  
RENTAL HOUSING PRICES AND AFFORDABILITY**

Household Income	Maximum Affordable Payment by Household Size				
	1-person (Studio)	2 person (1 bdrm)	3 person (2 bdrm)	4 person (2 bdrm)	5 person (3 bdrm)
Extremely Low	\$353	\$403	\$453	\$503	\$544
Very Low	\$586	\$670	\$754	\$838	\$905
Low	\$939	\$1,073	\$1,206	\$1,340	\$1,448
Moderate	\$1,365	\$1,560	\$1,755	\$1,950	\$2,106

Notes:

1. Based on 2013 HCD Income Limits calculated by HUD for Riverside County.
2. Housing cost burden (rent to income ratio) of 30%.

## HOUSING NEEDS

### Existing Housing Needs

Although housing in Riverside is substantially more affordable than coastal regions of Southern California, there are still significant housing problems in the community, such as overcrowding, housing





## HOUSING ELEMENT

overpayment, and housing in need of rehabilitation or replacement. These housing problems are defined and shown in Table H-7.

- ❖ **Overcrowding** refers to a household where there are more members than habitable rooms in a home. Overcrowding falls into two groups: moderate (1.0 to 1.5 persons per room) and severe (more than 1.5 persons per room).
- ❖ **Overpayment** refers to a household that pays more than 30 percent of income toward housing. According to federal definitions, overpayment falls into two categories: moderate (pays 30–50 percent) and severe (pays more than 50 percent of income) toward housing.
- ❖ **Substandard Housing** refers to a home with significant need to replace or repair utilities (plumbing, electrical, heating, etc.) or make major structural repairs to roofing, walls, foundations, and other major components.

As is the case in cities across California, the market downturn increased the percentage of households overpaying for housing. In Riverside, households overpaying rose from 41% in 2000 to 49% by 2011. Homeowners overpaying for housing increased from 33% in 2000 to 44% by 2011. The percentage of overpaying renter households increased from 48% in 2000 to 56% in 2006. The prevalence of overcrowding actually declined during this time.

TABLE H-7  
HOUSING PROBLEMS IN RIVERSIDE

Households	Overpayment			Overcrowding		
	Owner Hhlds	Renter Hhlds	Total Hhlds	Owner Hhlds	Renter Hhlds	Total Hhlds
Total Households	53,174	37,072	90,246	3,633	5,353	8,986
<b>Housing Problems</b>						
None	56%	44%	51%	93%	86%	90%
Moderate	44%	56%	49%	5%	11%	7%
Severe				2%	4%	3%

Source: ACS 2007-2011

### Special Housing Needs

Certain households in Riverside have greater difficulty finding decent, affordable housing due to their special circumstances. Special circumstances typically relate to one's income-earning potential, family characteristics, physical or mental disabilities, age-related health issues, and other factors. These groups often have lower incomes and higher rates of overpayment or overcrowding. As a result, these



household groups have special housing needs relative to the general population.

State Housing Element law defines “special needs” groups to include senior households, disabled persons, large households, female-headed households, single-parent families, farmworkers, and people who are homeless. Due to their numbers in Riverside, college students are also considered to have special housing needs. In keeping with state law and the City’s priority to build an inclusive community, this section provides a summary of needs for each group and the availability of resources to address their needs. Table H-8 summarizes the magnitude and trends of special needs groups in Riverside from 2000 to 2010.

TABLE H-8  
SPECIAL NEEDS GROUPS IN RIVERSIDE

Special Need Group	2000		2010	
	Number	Percent of Total	Number	Percent of Total
Senior Households <sup>1</sup>	14,036	17%	26,517	9%
Persons with Disabilities <sup>2</sup>	N/A	N/A	24,818	40%
Female-Headed Hhlds <sup>3</sup>	12,090	15%	21,465	23%
Single Parents <sup>4</sup>	10,138	12%	11,757	11%
Large Households <sup>5</sup>	15,201	19%	19,668	21%
Homeless Persons <sup>6</sup>	N/A	N/A	178	<1%
College Students <sup>7</sup>	24,206	14%	33,167	14%
Farmworkers <sup>8</sup>	2,194	1%	683	.8%

Source: US Census Bureau 2000 and ACS 2011 unless otherwise noted.

Notes:

1. Senior households have a householder 65 years or older.
2. Persons with disabilities includes persons 16 years or older. Census 2000 figures are not provided because the definition is not comparable to 2012.
3. Female indicated as the head of a household.
4. Single parent refers to adult living with related children.
5. Large households refer to family with five or more members.
6. Riverside County Homeless Count 2013; Year 2000 data is not provided since the definition and methodology for the count is not comparable to 2013.
7. US Census of residents enrolled in college, graduate, or professional school.
8. Employment Development Department 2002 and 2011 ACS.

### Housing Construction Needs

California law requires that local governments plan for projected population and employment growth. To assist in that effort, SCAG prepares housing construction goals for each city in southern California as part of the Regional Housing Needs Assessment (RHNA) authorized by the California Government Code. Jurisdictions are required to develop proactive policies and programs to facilitate new housing construction commensurate with assigned housing goals.



## HOUSING ELEMENT

SCAG determines total housing need for each community based on the number of housing units needed to accommodate future population and employment growth. In addition, a city's housing need is calculated by the number of units needed to replace housing units demolished over the planning period. The RHNA includes a "vacancy calculation" to ensure a general balance between the price and availability of housing. Finally, student housing needs are also considered for jurisdictions that have a large student population.

California law states that the RHNA is required to avoid or mitigate the overconcentration of income groups in a jurisdiction in order to achieve its objective of increasing supply and mix of housing types, tenure, and housing affordability in an equitable manner. In practice, jurisdictions with a smaller proportion of lower income units are required to provide a larger share of those units as part of their construction need to compensate for less affluent jurisdictions that already accommodate more than their fair share of affordable housing.

Table H-9 indicates the City's allocation by income category for the Housing Element planning period.

TABLE H-9  
RIVERSIDE 2014-2021 RHNA

Income Level	Income as a Percent of Median Family Income (MFI)	Allocation	
		Units	Percent
Very Low	0 to 50% of MFI	2,002	24%
Low	51% to 80% of MFI	1,336	16%
Moderate	81% to 120% of MFI	1,503	18%
Above Moderate	Above 120% of MFI	3,442	42%
<b>Total</b>		<b>8,283</b>	<b>100%</b>

Source: SCAG 2012

### Publicly-Assisted Housing

Riverside has a significant amount of affordable housing that receives public subsidies in return for long-term affordability controls. Typically, these projects provide units affordable to extremely low, very low, and low income households, including persons with special needs. The majority of projects are restricted for 15-55 years, after which they can begin charging market rate rents. The City of Riverside has an estimated 3,298 assisted affordable housing units.

Table H-10 provides a summary of the City's inventory of affordable housing that has received public assistance. This includes all projects



that have received public subsidies and are deed restricted to be affordable to lower income households in Riverside.

TABLE H-10  
PUBLICLY ASSISTED AFFORDABLE HOUSING

Project Type	Total Housing Projects	Total Units	Affordable Deed Restricted
Family Housing	31	2,058	1,712
Senior Housing	12	1,845	1,586
<b>Total</b>	<b>43</b>	<b>3,903</b>	<b>3,298</b>

Source: City of Riverside, 2013.

Six projects are at risk of conversion during the next 10 years (through 2023) - Sierra Woods, Whispering Fountains, Tyler Springs, Mount Rubidoux, Cambridge Gardens and Canyon Shadows-totaling 188 family units and 696 senior units.

The Housing Technical Report contains an analysis of various options for preserving the remaining units at risk of conversion by 2023. Total costs for preserving the 696 senior and 188 family projects housing units in Riverside range from \$53 to \$74.2 million depending on whether the units require rehabilitation, acquisition, or both. The Housing Technical Report analyzes affordable housing preservation strategies and the Implementation Plan proposes various programs to address this need.





## HOUSING ELEMENT

### HOUSING PLAN

The Housing Plan provides a statement of the community's goals, objectives, and policies relative to housing production, rehabilitation, conservation, and assistance for all residents in Riverside. This section builds on the earlier sections, which defined the housing challenges facing the community, the vision and mission of the City and General Plan, and the priorities identified by the entire Riverside community through the General Plan and Housing Element update process.

Riverside aspires to be a national model of an inclusive and livable community and the historical and economic center of Inland Empire. An inclusive community is one where all Riverside residents and its workforce, regardless of income level, cultural heritage, age, and/or household characteristics, are able to find a distinctive, special place to live. A livable community is one that offers a diversity of housing products, consistent with smart growth principles.

The Housing Plan section of the Housing Element outlines the City's broad approach to achieving its long-term housing objectives through the pursuit of four objectives:

- ❖ Create neighborhoods that offer distinctive, special places to live that are safe and well served by community amenities, and encourage community involvement in local decision making.
- ❖ Facilitate the development of a diversity of housing types and prices that are high quality, built in a sustainable manner, and meet the varied housing needs of residents.
- ❖ Increase the opportunities for low and moderate income residents and workforce to find suitable ownership and rental housing in the community.
- ❖ Provide adequate housing and supportive services that assist in meeting the varied needs of residents with special housing needs.

The Housing Plan also sets forth a comprehensive menu of housing programs to implement the above policy direction. The programs consist of existing programs, programs that have been modified based on what has been learned over the past few years, and new programs that are designed to address new priorities or needs of the community. Quantified and qualitative targets are also indicated for each program. These programs, implemented along with others in the General Plan 2025, further the objectives and policies in the Housing Element.



## NEIGHBORHOOD LIVABILITY

A foundation of the City's vision is the preservation of its strong network of neighborhoods. The City of Riverside is renowned for its 28 distinct neighborhoods. The identity of each neighborhood is evident to the casual visitor. Each residential neighborhood is distinguished by its history, architecture, housing types, street patterns, and community life. Neighborhoods define our quality of life; they are where residents feel safe, where friendships and social ties develop, where traditions are passed to new residents, and how people identify with the City.

### History and Culture

As early as 1927, Charles Cheney, Riverside's first city planner and author of the first master plan, called for a preservation ethic when he wrote, "The city needs protection from disfigurement, and the preservation of old buildings, of natural beauty, and architectural monuments." Nearly 80 years later, Riverside has one of the most active historical preservation programs in California. As of 2010, the City of Riverside had 122 City Landmarks, more than 1,000 Structures of Merit, 13 Historic Districts, four Neighborhood Conservation Areas, and twenty National Register of Historic Places properties.

Riverside's history and culture are distinguishing qualities that provide a link to the past and an important identity for each of its neighborhoods. The Housing Element, Historic Preservation Element, and the Arts and Culture Element all recognize the importance to the community of Riverside's historic structures, landscapes, neighborhoods, and traditions and set forth a series of objectives, policies, and programs to preserve and integrate features of Riverside's past into the present neighborhood fabric. Moreover, these visible reminders of Riverside's past embody in some way the traditions of residents in each neighborhood.



*Example of Riverside historic home*

### Housing and Neighborhood Improvement

As a well-established community, Riverside's neighborhoods date back many generations. Many residential neighborhoods are in excellent condition as evidenced by well-maintained housing, streets with adequate sidewalks and trees, and adequate physical infrastructure. In some cases, some neighborhoods are stable, but are beginning to show signs of deterioration and could benefit from neighborhood improvement. Still other neighborhoods require significant reinvestment in housing, infrastructure, parks and open space, and public services. The City supports a multifaceted approach



## HOUSING ELEMENT

to neighborhood improvement and preservation (e.g., historic preservation, neighborhood planning, parks/open space, and traffic management, etc.) to improve the physical environment and build community.



*Andulka Park*

### **Parks, Open Space, and Recreation**

Riverside’s unique natural setting is cherished by the community. The surrounding hills, the Santa Ana River, and the arroyos and citrus groves buffer Riverside from adjoining communities and reinforce a unique sense of place. Open spaces provide natural habitat and protection for species, unique natural and cultural resources, and critical habitat linkages throughout the community. These open spaces, which include trails and parkways, also enable natural outdoor experiences for residents in close proximity to the neighborhoods in which they live.

City parks, trees, parkways, medians, and other landscape amenities contribute to this network of open spaces and offer aesthetic, recreational, and health benefits. Green spaces, healthy trees, and landscaping help to soften housing tracts, reduce the heat island effect, and beautify neighborhoods. Along with parks and recreational amenities, the City is making each neighborhood more attractive for walking and bicycling by establishing sidewalks, bicycle routes, and other routes for residents to access a range of community services.

### **Neighborhood Involvement**

The City of Riverside supports active and representative community involvement in improving residential neighborhoods. As active partners in the community, residents provide valuable leadership, energy, and commitment in helping the City to maintain and improve the quality of life in neighborhoods. To support neighborhood involvement, the City’s Housing and Neighborhood Division provides neighborhood-organizing support and community leadership training. The Division also serves as a liaison/advocate for neighborhood organizations at City Hall.

The Housing and Neighborhood Division implements an Asset-Based Community Development (ABCD) approach to neighborhood improvement. Instead of focusing on a community’s needs, deficiencies, and problems, ABCD helps communities become stronger and self-reliant by discovering, mapping, and mobilizing untapped, unconnected local assets. Programs include an annual Neighborhood Conference and Neighborhood Leadership Academy, and award programs.





The Housing and Neighborhood Division supports the Riverside Neighborhood Partnership (RNP). The RNP Board is composed of a mix of neighborhood associations representatives (15), business (3), non-profits/community of faith (3), educational institutions (3), and one member of the City Council. The RNP actively supports the formation, organization, and strengthening of neighborhood associations, works in partnership with other agencies and City Hall, and collectively collaborates in neighborhood sustainability and improvement.

## **Public Facilities and Infrastructure**

The City recognizes that well-designed and -maintained infrastructure enhances the quality of life in residential neighborhoods. Moreover, physical infrastructure (sewer and water lines, communication networks, streets, etc.) must be sufficient to accommodate the present and future needs of the community. The City's public investments are intended to ensure that Riverside is a "city of choice" for generations to come and serve as a catalyst for private investment, which enhances the wealth of the City and ensures Riverside's position as the economic, governmental, and cultural capital of inland Southern California.

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See the Circulation and Community Mobility Element under "Safe Routes to School" and "Walking and Biking;" the Public Facilities Element under "Pedestrian and Bicycling Safety;" the Education Element under "Ensuring Safe Routes to School;" and the Air Quality Element under "Business Mass Transit." In particular, review Policies CCM-8.2, CCM-8.6, Objective CCM-10, and Policies ED-4.3, ED-4.6, ED-4.8, and AQ-1.8.

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The City has aggressively worked and continues to work to keep Riverside a great place to live for the next generation. The Riverside Renaissance is undeniably one of the most crucial investments the City of Riverside will make in the 21st Century. Approved by the City Council in 2006 and substantially completed in 2011, the five-year \$1.57 billion project has been responsible for improving traffic flow, replacing aging infrastructure, and improving public facilities such as police/fire stations, parks and libraries, touching every ward in the City. As of May 2011, 271 projects were completed, 85 projects were under construction, five projects were out to bid, and 36 projects were in the design phase.

## **Current Projects**

### *Riverside Avenue Underpass*

The Riverside Avenue Underpass Project will construct a railroad underpass at the Riverside Avenue/Union Pacific railroad at-grade crossing. Major elements of the project include lowering Riverside Avenue from Merrill Avenue to about 300 feet north of Elizabeth Street, constructing a cul-de-sac at Elizabeth Street and Tipperary Way, constructing a new street (Mono Drive) to connect Trinity Court to Sunnyside Drive, and constructing a two-track railroad bridge to carry train traffic. Construction is anticipated to be complete in late 2015.







## HOUSING ELEMENT

### *Van Buren Boulevard and Market Street Improvements*

In order to preserve two important City corridors, Van Buren Boulevard and Market Street are undergoing various repairs as part of the Citywide pavement rehabilitation and preservation program.

This project will rehabilitate the deteriorating roadway as well as construct new landscaped medians and widen Van Buren Boulevard between Audrey Avenue and Wells Avenue. The project will resurface 0.35 miles of Market Street and apply slurry seal to 0.65 miles of the roadway. The work will include reconstruction of damaged concrete curb, gutter, sidewalk, driveways, and rehabilitation of the existing asphalt pavement. Additionally, the seven non-conforming wheelchair ramps will be reconstructed as part of the City's ongoing effort to comply with the American with Disabilities Act.

### *Pavement Rehabilitation and Preservation Program*

On April 24, 2012, the City Council approved a 3-year Pavement Rehabilitation and Preservation Program. The \$32 million dollar pavement rehabilitation component of the program will fund pavement rehabilitation as well as new wheelchair ramps and repairs to curb, gutter, and sidewalks along 50 miles of the City's streets. The program anticipates rehabilitating about 24 miles of arterial highways and 26 miles of local streets.

The pavement preservation component of the program is funded annually by the City's Gas Tax and Measure A sales and use tax revenues. The program proposes to use slurry seal or Asphalt Rubber Aggregate Membrane (ARAM) to treat between 50 and 75 miles of roadway. The treatments are intended to preserve existing streets and extend their useful life before full resurfacing is required. Additionally, the Streets Maintenance Division has increased its focus on pavement repair and preservation such as routine crack filling, slurry seals, and utility patch and trench repair to maintain the roadways.

### **Community Centers**

Community centers provide places for residents to gather and participate in various recreational or social programs within each neighborhood. Community centers thus provide opportunities to strengthen the social ties of residents within a neighborhood. The City offers nine community centers, three senior centers, and other similar facilities, including facilities such as the Arlanza Youth and Family Resource Center, Casa Blanca Library and Family Learning Center, and



*Orange Terrace Community Center*



Youth Service Agency. There are also numerous other nonprofit and faith-based centers in neighborhoods throughout Riverside.

The General Plan contains policies to provide every neighborhood with easy access to recreation and service programs by decentralizing community centers and programs and promoting the development of shared facilities and satellite offices in each Riverside neighborhood. In addition, the City supports making youth and teenager activities and programs available and accessible in all neighborhoods. For residents who depend on public transit, the City works cooperatively with the Riverside Transit Agency to improve transportation services for seniors, the disabled, and students to access community centers.

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See the Land Use and Urban Design Element under "Community Facilities;" the Public Facilities and Infrastructure Element under "Health Care Facilities and Recreational Centers;" and the Air Quality Element under "Housing Strategies and Land Densities" for more information on community centers. In particular, review Objectives LU-26, PF-9, PF-10, and Policies AQ-1.9 and AQ-1.26.

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**Objective H-1: To provide livable neighborhoods evidenced by well-maintained housing, ample public services, and open space that provide a high quality living environment and instill community pride.**

Policy H-1.1: ***Housing Conditions.*** Promote the repair, improvement, and rehabilitation of housing to enhance quality of life, strengthen neighborhood identity, and instill community pride.

Policy H-1.2: ***Code Enforcement.*** Maintain and improve the quality of rental and ownership housing through adoption and enforcement of housing and property maintenance standards and involvement.

Policy H-1.3: ***Historic Preservation.*** Facilitate and encourage the preservation and restoration of residential structures possessing historical or architectural merit and preserve and protect the historic districts and neighborhood conservation areas.

Policy H-1.4: ***Parks and Recreation.*** Enhance neighborhood livability and sustainability by providing parks and open spaces, planting trees, greening parkways, and maintaining a continuous pattern of paths that encourage an active, healthy lifestyle.

Policy H-1.5: ***Public Facilities and Infrastructure.*** Provide quality community facilities, physical infrastructure, traffic management, public safety, and other public services to promote and improve the livability, safety, and vitality of residential neighborhoods.





## HOUSING ELEMENT

- Policy H-1.6 ***Neighborhood Identity.*** Maintain and strengthen programs that ensure each neighborhood has a unique community image that is incorporated and reflected in its housing, public facilities, streetscapes, signage, and entryways.
- Policy H-1.7 ***Neighborhood Involvement.*** Encourage active and informed participation in neighborhood organizations to help identify local needs and implement programs aimed at the beautification, improvement, and preservation of neighborhoods.
- Policy H-1.8 ***Neighborhood Livability.*** Enhance and preserve the character and neighborhood livability of existing single-family neighborhoods in proximity to major college campuses while working with college campuses to identify affordable housing options for students on and off campus.

## HOUSING DIVERSITY

According to the 2014-2021 RHNA, the City of Riverside has been allocated a total housing production need of 8,283 housing units. The City of Riverside clearly recognizes that a fundamental principle in building a livable community is to facilitate and encourage the production of an adequate supply of housing for all its residents. A broad housing stock includes a range of housing types-single-family housing, townhomes, apartments, mixed use, senior housing, student housing, and special needs housing. This allows residents of all income levels and types to live in the same community.

### Housing Production

#### ***Student Housing***



*Sterling Highlander*

As home to the University of California at Riverside, California Baptist University, La Sierra University, and Riverside Community College, the City has a large number of students, faculty, and workforce living in the community. These institutions collectively enroll over 40,000 students each year and employ thousands more. Recognizing the importance of education to Riverside and its impact on housing in the community, the City supports the production of housing for students, faculty, and employees of educational institutions.



## ***Senior Housing***

The City of Riverside has a large and growing senior population and has been active in encouraging and facilitating new senior housing. Two senior projects were built by TELACU. The Raincross Senior project was built, providing 168 apartments and 22 for-sale cottages, predominantly affordable to lower income seniors. The Raincross projects cited above also incorporates 106 beds in an assisted living facility, including beds for Alzheimer patients. Assisted living facilities are affordable to above moderate income households. Several additional assisted living facilities are proposed in Riverside.



*Grand Villas Senior Housing*

## ***Family Housing***

The City of Riverside continues to be active in approving housing projects suited to residents of a variety of lifestyles. This includes families, couples, and individuals who have entered the workforce. Housing options for this category include small studio units, larger apartments and condominiums, townhomes, and single-family detached housing. The City's smart growth policies encourage the combination of housing with excellent access to transit services—a movement that is well-suited for transit-oriented development.

Riverside has successfully used its Planned Residential Development permit process to incentivize the creative and imaginative design of single-family homes. The PRD permit allows increased development densities and flexible development standards to improve the efficiency of land uses, preserve environmentally sensitive areas, and accommodate new housing.

Providing quality apartments continues to be a key housing strategy. The Riverside Housing Development Corporation (RHDC) built the Cypress Springs Apartments. This 101-unit apartment project is a state-of-the-art housing project is affordable for very low income families. On-site amenities include childcare, computer learning center, recreational amenities, and the Blindness Support Training Center. On the higher priced spectrum, the City facilitated the construction of the 220-unit Stone Canyon Apartments. This project offers highly amenitized living close to shopping, entertainment, and universities. The City remains active in facilitating quality apartment living at different price levels.



*Imperial Lofts Downtown*

## **Special Needs Housing**

In June of 2003, the City of Riverside adopted the "Riverside Community Broad-Based Homeless Action Plan." Since its adoption, the City has aggressively pursued 30 action-based strategies within the



## HOUSING ELEMENT



*Home Front at Camp Anza  
Housing Homeless Veterans*

plan as well as other initiatives in partnership with the County of Riverside and a broad range of nonprofit organizations, social service agencies, faith-based institutions, and others working together under the umbrella of the Riverside Homeless Care Network. A key component of this plan is the City's multi-service campus, Hulen Place that is based on nationally acclaimed best practices, such as "Housing First" and other rapid rehousing approaches. The Hulen Place campus contains a multi-service access center, emergency shelter, safe haven supportive housing center, and transitional shelter that is operated in partnerships with nonprofits, County agencies, and service agencies.

### **Housing Design**

The design of residential structures is of utmost concern to Riversiders because it affects the quality of life we experience every day. In a broader way, the physical image of Riverside reflects the City's prosperity, well-being, sense of aesthetics, and how we value community aesthetics. The designs of the City's residential neighborhoods reflect the City's eclectic history and culture, the different eras they were built in, and the values embodied in their design. The City is thus committed to preserving the unique residential designs in neighborhoods and sensitively integrating new forms of residential development into existing and new neighborhoods.



*Culver Lofts Downtown*

Residential design includes more than the design of the building, but also its layout and orientation, quality of materials, the thoughtful integration of landscaping, and other features of the home. Through the implementation of design guidelines, new housing will include the latest in creative designs, parks and open space, and site planning techniques. Increasing effort will go into designing housing that is accessible and suitable to people of all abilities and ages. Housing will incorporate sustainable practices in its design, site planning, and construction. These features will help ensure the provision of quality housing products.

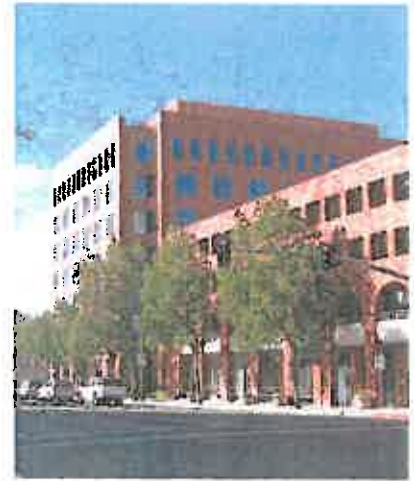




## Creative Tools

Facilitating high quality housing products in today's housing market requires the development and effective use of creative and flexible tools. The City of Riverside presently offers developers a range of regulatory concessions and financial incentives, where feasible, to encourage the construction of new housing. These include but are not limited to flexible means to adjust parking requirements, density bonuses for affordable units and senior housing, and other such incentives. The City of Riverside has also used the Planned Residential Permit process to allow for the development of small-lot housing projects that demonstrate excellence and creativity in design.

Like most central cities, the City of Riverside is essentially built out with a diminishing number of undeveloped sites of land available for new housing. As available undeveloped land diminishes, there will be a greater need to stimulate the revitalization or recycling of present uses to accommodate housing. The City thus supports the extension of its infill and incentives program to encourage the more productive use of its underutilized land. These include the exploration of an Eastside Infill Program and incentives, such as graduated densities, to encourage the voluntary consolidation of underutilized lots and production of housing that exemplifies excellence in design and compatibility.



*Downtown*

## HOUSING SITES

As the economic, cultural, and historical heart of the Inland Empire, the City of Riverside will continue to experience significant population growth in the near future. A primary challenge facing the City is how to accommodate housing, employment, and population growth that benefits the community, while providing adequate infrastructure and services, managing increasing demands on the transportation system, and preserving valued open space. Riverside remains committed to meeting this challenge in a responsible and sustainable manner.

The General Plan 2025 incorporates "smart growth" principles into planning and development decisions affecting its corridors and activity centers. The Land Use and Urban Design Element focuses development in more urbanized areas and along major corridors rather than spreading growth to urban fringes. This approach reduces urban sprawl, better utilizes existing infrastructure, and protects the established character of neighborhoods. Opportunities for mixed-use and higher density housing exist along the L Corridor which connects four major specific plan areas (Magnolia Avenue, Downtown, Marketplace and the University Avenue Specific Plans). The City is currently beginning the process of developing a Citywide Smart Code that will encompass these planning areas and areas beyond where





# HOUSING ELEMENT

smart growth principles will be applied to over 8,000 acres of land Citywide.

## Regional Housing Needs Share

The City had an unaccommodated RHNA need of 2,739 lower income units for the 2006-2014 planning period. Based on the provisions of AB 1233, the City must identify sites that are appropriately zoned, or will be appropriately zoned within the first year of the new planning period to accommodate the unaccommodated need from the 2006-2014 planning period. This requirement is in addition to the requirement to identify other sites to accommodate the RHNA allocation for the 2014-2021 planning period of 8,283 units.

~~Prior to 2017, After~~ accounting for projects-in-the-pipeline and available sites with zoned for residential development, the City has a remaining RHNA need of 4,767 units for lower-income households. ~~The City proposes to accommodate these units through the development of a Smart Code which will provide capacity for residential development across an area potentially over 8,500 acres.~~ To accommodate the remaining RHNA need, the City ~~needed to will~~ rezone a minimum of 191 acres to allow for residential development at a minimum density of 25 du/ac. Sites ~~needed s~~ ~~must to~~ be large enough to accommodate at least 16 units per site. ~~State law required that at least half of the remaining lower income units be accommodated on sites exclusively for residential uses. Of the remaining 4,767 units, a minimum of 2,384 units needed to be accommodated on sites zoned for residential-only. Table H-11 summarizes the City's RHNA need prior to 2017.~~

TABLE H-11  
RHNA SUMMARY

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
<b>Total RHNA Need (2006-2014 Unaccommodated Need + 2014-2021 RHNA Need)</b>	<b>6,077</b>		<b>2,077</b>	<b>4,610</b>	<b>12,764</b>
<u>Projects in the Pipeline</u>	<u>311</u>		<del>3,557</del> <u>2,886</u>		<del>3,868</del> <u>3,197</u>
<u>Sites Currently Zoned for Residential Development</u>	<u>999</u>		<u>0</u>		<u>999</u>
<b>Remaining RHNA Need</b>	<b>4,767</b>		<del>3,130</del> <u>3,801</u>		<del>7,897</del> <u>8,568</u>

Source: City Planning Division, 2017.



In 2017, the City initiated At the end of 2017/beginning of 2018, the City completed multiple Housing Element implementation efforts including implementation of the Rezoning Program. These included adoption of General Plan land use amendments, amendments to the University Avenue Specific Plan, rezoning (change of zone), and extensive Zoning Code text amendments planning efforts to accommodate this additional housing need. The City rezoned 57 sites comprised of 308 acres to either Mixed Use or Multiple-Family zones. Further, the Rezoning Program provided a minimum of 16 dwelling units per site. The Rezoning Program identified sites, which permit owner-occupied and rental multi-family residential uses by right pursuant to California Government Code Section 65583.2(h). At least 50 percent of the remaining 4,767 DU (2,384 DU) were accommodated on sites zoned exclusively for residential uses.

The City now has a surplus of 1,757 units that are affordable to lower-income households. Table H-12 summarizes the surplus of housing units affordable to lower-income households after the 2017 Rezone Program.

TABLE H-12  
RHNA SUMMARY AFTER 2017 REZONE PROGRAM

	<u>Affordability Levels</u>	
	<u>Very Low</u>	<u>LOW</u>
<u>Total Remaining RHNA Need</u>	<u>4,767</u>	
<u>Sites Zoned for Residential Development in 2017 Rezone Program</u>	<u>6,524</u>	
<u>Surplus RHNA</u>	<u>1,757</u>	

State law requires that at least half of the remaining lower income units be accommodated on sites exclusively for residential uses. Of the 191 acres, a minimum of 95.5 acres will zoned for residential only.







# HOUSING ELEMENT

Table H-11 summarizes the City's RHNA need.

TABLE H-11  
RHNA SUMMARY

	Affordability Levels			Total
	Very Low	Low	Above Mod	
<b>Total RHNA Need (2006-2014 Unaccommodated Need + 2014-2021 RHNA Need)</b>	<b>6,077</b>	<b>2,077</b>	<b>4,610</b>	<b>12,764</b>
Projects in the Pipeline	311		2,886	3,197
Sites Currently Zoned for Residential Development	999		0	999
<b>Remaining RHNA Need</b>	<b>4,767</b>		<b>3,801</b>	<b>8,568</b>

Source: City Planning Division, 2017.

**Objective H-2:** To provide adequate diversity in housing types and affordability levels to accommodate housing needs of Riverside residents, encourage economic development and sustainability, and promote an inclusive community.

**Policy H-2.1:** *Corridor Development.* Focus development along the L Corridor connecting the University Village, Downtown, Magnolia, and Market Place Specific Plans to create vibrant mixed-use and mixed-income environments that support the downtown, are transit-oriented, and strengthen the economy.

**Policy H-2.2:** *Smart Growth.* Encourage the production and concentration of quality mixed-use and high density housing along major corridors and infill sites throughout the City in accordance with smart growth principles articulated in the General Plan.

**Policy H-2.3:** *Housing Design.* Require excellence in the design of housing through the use of materials and colors, building treatments, landscaping, open space, parking, sustainable concepts, and environmentally sensitive building and design practices.

**Policy H-2.4:** *Housing Diversity.* Provide development standards and incentives to facilitate live-work





housing, mixed-use projects, accessory dwellings, student housing, and other housing types.

- Policy H-2.5: ***Entitlement Process.*** Provide flexible entitlement processes that facilitate innovative and imaginative housing solutions, yet balance the need for developer certainty in the approval process, governmental regulation, and oversight.
- Policy H-2.6: ***Collaborative Partnerships.*** Seek, support, and strengthen collaborative partnerships of nonprofit organizations, the development community, and local government to aid in the production of affordable and market rate housing.
- Policy H-2.7: ***Housing Incentives.*** Facilitate the development of market rate and affordable housing through the provision of regulatory concessions and financial incentives, where feasible and appropriate.

## HOUSING ASSISTANCE

Where should we live? Should we live near work or family? What kind of housing can we afford? How long will it take to save a down payment? Does this neighborhood, size of home, quality of home best meet the needs of our family and children? All of us ask these questions at some time-when our children move out on their own, as we have families, and as we contemplate retirement. The answers to these housing questions have significant implications for Riverside's economic competitiveness, the well-being of its residents, and the importance of assisting residents in meeting their housing needs.

### Homeownership Assistance

The pursuit of liberty and happiness for families is often intertwined with the attainment of homeownership. Homeownership carries with it independence and freedom, economic stability and success, and personal safety and security for families. Homeownership commits one to a long-term investment with the home, resulting in increased investment in the property, which in turn increases property values. A key goal of the City of Riverside's General Plan 2025 Vision is to promote and preserve the varied homeownership opportunities in the community to improve the quality of life for individuals and families.

In past years, Riverside has seen significant escalation in housing prices, with prices soaring to more than \$500,000 for a single-family home. Recent declines in the housing market have significantly





## HOUSING ELEMENT



reduced prices and made homes more affordable to residents and the workforce. Moderate income households can afford condominiums and above moderate income households can afford single-family homes. However, affording a down payment is still a hurdle for many working families. The City of Riverside is committed to investigating and retooling programs to help residents attain homeownership in the community.

The same housing market forces that led to soaring housing prices have also led to unprecedented levels of foreclosures in Riverside and the rest of the Inland Empire, and state of California. The City of Riverside, through the Fair Housing Council of Riverside County and other agencies, works with homeowners to preserve their homes and avoid foreclosure. The City is aggressively pursuing strategies to preserve and stabilize its residential neighborhoods.

### **Rental Assistance**

Riverside provides a diverse number of well-paying jobs. Still, many young adults working full-time earn wages of \$8 to \$15 per hour, or \$17,920–\$31,200 annually. These individuals fill critical jobs in Riverside’s service, retail, production, and other industries. The prevailing wages earned from these jobs are extremely low, very low, and low income. At these wages, a household could afford about \$910 per month in rent. With average rents for a one-bedroom apartment at \$969 and average rents of \$1,221 for a two-bedroom apartment, many young adults have difficulty affording housing.

Due to the difficulty of affording housing during this economic downturn, many households must weigh the option of doubling up with other families, overpaying for housing, or moving out of the community to more affordable locations. The Riverside County Housing Authority (RCHA) assists in meeting renter needs by providing vouchers to extremely low and very low income households residing in Riverside. In addition, the City has over 1,700 family apartment units that are deed-restricted as affordable to lower income households. The City also continues to support the mobilehome rent stabilization program.

### **Affordable Housing Preservation**

Publicly assisted housing provides the largest supply of affordable housing in Riverside. Preserving the availability and affordability of publicly subsidized housing is thus a key City housing strategy. The City of Riverside currently has 43 rental projects that provide subsidized housing for about 3,300 family and senior households earning lower income. These projects provide long-term affordable



housing options that are deed restricted. Six residential projects (totaling 188 family units and 696 senior units) are potential candidates for conversion to market rents between the time period of 2013 and 2023.

California housing law requires all communities in preparing housing elements to include an analysis of multiple-family affordable housing projects (see Housing Technical Report) assisted by governmental funds regarding their eligibility to change from low income housing to market rates by 2023. Given the cost of building new housing versus the relatively low cost of preserving existing housing and the value of publicly subsidized housing to our seniors, the City of Riverside is committed to providing technical and financial assistance to developers and property owners, where feasible, to maintain these affordable units.

**Collaborative Partnerships**

Riverside enlists the assistance of collaborative partnerships to provide a broad array of housing assistance, economic development, and human services to residents in the community. The City of Riverside provides millions of dollars in funding and grants each year to a wide range of nonprofit human service and housing development organizations that implement community programs. These programs assist households, families with children, and others to find housing and appropriate supportive services. Funding is provided annually, contingent upon the continuation of adequate local, state, and federal funds. Some of the organizations include:

**Service Agencies**

- ❖ Casa Blanca Home of Neighborly Service
- ❖ Eastside Child Care
- ❖ Carolyn E. Wylie Center for Children, Youth & Families
- ❖ Care Connexus
- ❖ Youth Service Activities
- ❖ Arlanza Family Center

**Housing Agencies**

- ❖ Fair Housing Council of Riverside County
- ❖ CORE
- ❖ Riverside Housing Development Corporation
- ❖ Habitat for Humanity
- ❖ TELACU
- ❖ Whiteside Manor

**Fair Housing**

Riverside is committed to becoming an inclusive 21<sup>st</sup>-century city. Noted for its considerable racial, ethnic, religious, and other diversities, the City of Riverside has etched a complex history with a number of events contributing to and detracting from diversity. However, as they move into the 21<sup>st</sup> century, Riversiders face opportunities and





## HOUSING ELEMENT

### What is Fair Housing?

Fair housing is often associated with discriminatory practices and costly legal action. However, the goal of fair housing is far broader. The goal of fair housing is to support and promote inclusive, diverse communities of choice. These communities are marked by opportunities for families to live in neighborhoods of their choice: where there is a wide variety of housing types; where schools are stable and well supported; where jobs are accessible; and where people of all races, ethnicities, ages, and disabilities are an integral part of the larger community (National Commission on Fair Housing and Equal Opportunity, 2008).

challenges related to the City's growing diversity. Critical underlying factors include not only economic and educational disparities, but also housing. It is increasingly imperative that Riversiders embrace the varied challenges and seize the opportunities created by our diversity. The City of Riverside's Statement of Inclusiveness embodies this commitment.

Riverside's Statement of Inclusiveness relates directly to housing. Riverside contracts with the Fair Housing Council of Riverside County to provide fair housing services for residents in the community. Services include landlord-tenant information and mediation, a wide range of education and enforcement activities to prevent housing discrimination or enforce housing rights, training and technical assistance, administrative hearings for Public Housing Authority tenant grievance, and Section 8 hearings. In recent years, homeownership preservation has become a critical issue in Riverside. The Fair Housing Council offers homeownership classes, services to prevent or navigate foreclosures, and other assistance to help residents meet their housing needs.

**Objective H-3: To increase and improve opportunities for low and moderate income residents to rent or purchase homes.**

**Policy H-3.1: *Homeownership Assistance.*** Support and provide, where feasible, homeownership assistance for lower and moderate income households through the provision of financial assistance, education, and collaborative partnerships.

**Policy H-3.2: *Homeownership Preservation.*** Aggressively work with governmental entities, nonprofits, and other stakeholders to educate residents and provide assistance, where feasible, to reduce the number of foreclosures in the community.

**Policy H-3.3: *Rental Assistance.*** Support the provision of rental assistance to extremely low, low, and very low income households, including emergency rental assistance for those in greatest need.

**Policy H-3.4: *Preservation of Affordable Housing.*** Assist in the preservation of affordable rental housing at risk of conversion by working with interested parties, offering financial incentives, and providing technical assistance, as feasible and appropriate.





- Policy H-3.5: **Collaborative Partnerships.** Collaborate and/or facilitate collaboration with nonprofit organizations, developers, the business community, special interest groups, and state and federal agencies to provide housing assistance.
- Policy H-3.6: **Community Services.** Support the provision of employment training, childcare services, rental assistance, youth services, and other community services for each neighborhood that enable households to attain the greatest level of self-sufficiency and independence.
- Policy H-3.7: **Fair Housing.** Prohibit discrimination and enforce fair housing law in all aspects of the building, financing, sale, rental, or occupancy of housing based on protected status in accordance with state or federal fair housing law.

## SPECIAL HOUSING NEEDS

Certain households in Riverside have greater difficulty finding decent, affordable housing. State law defines “special needs” groups to include senior households, persons with disabilities, large households, female-headed households, single-parent families, farmworkers, and people who are homeless. Due to their numbers in Riverside, college students are also considered to have special housing needs.

### Senior Households

Riverside has 145,79 senior-headed households, comprising 16 percent of all households. Senior housing needs are due to a higher prevalence of disabilities, limited incomes, and greater housing overpayment. A large proportion of seniors need affordable housing, transportation, and support services. As the baby boom generation ages, the City will see an increased demand for all types of senior housing.

The City recognizes the importance of providing services to enable seniors to “age in place,” that is, to maintain their current residences for as long as possible. A model for senior housing does not exist, as no single model is right for every individual. Senior housing vary from assisted living, to aging in place, to an elder fraternity approach in which several seniors live in one home and pool their resources. Table H-12 summarizes senior housing opportunities in Riverside.



TELACU Las Fuentes



## HOUSING ELEMENT

TABLE H-12  
SENIOR HOUSING IN RIVERSIDE

Housing Options	Number of Projects	Units Available
Apartments	12	1,586
Assisted Living	61	1,287
Mobile homes	3	760

Source: Riverside County Network of Care, various rental listings.

The City, County, and other organizations provide transit services for seniors. Senior activities are offered at six park and recreational facilities, including the Janet Goeske Center. To provide an ongoing voice for senior concerns, the City's Commission on Aging makes recommendations to the City Council on issues to enhance the quality of life for seniors. In 2004, the Commission recommended the construction of new senior units, more flexible zoning standards, the provision of services, and the implementation of universal design standards in new housing in the "Seniors Housing Task Force Report."

### Persons with Disabilities

The City of Riverside is home to a number of people who have personal disabilities that prevent them from working, restrict their mobility, or make it difficult to care for themselves or live fully independent lives. Disabilities include sensory, physical, mental, self-care, or homebound. Of the non-institutionalized population living in Riverside, approximately 8 percent of the population between the ages of 18 and 64 reported a disability versus 33 percent of residents older than 65 years. An additional number of residents are disabled and live in group settings.

Providing sufficient quantity and quality of housing for people with disabilities is a significant challenge. Meeting this challenge requires a comprehensive strategy that focuses on facilitating independent living through in-home modifications, providing suitable housing through land use and zoning practice, enforcing current state and federal accessibility laws, increasing the supply of affordable housing, and facilitating a range of supportive services. In other cases, specialized supportive services are necessary. Table H-13 shows the range of housing types available to people with disabilities in Riverside.



TABLE H-13  
RIVERSIDE CARE FACILITIES

Type of Facility	Clientele	Facilities with six or fewer residents		Large Facilities serving 7 or more	
		No.	Capacity	No.	Capacity
Family/Group Home	Children	13	56	1	17
Adult Day Care	Adults	0	0	13	760
Adult Residential	Adults	74	406	4	164
Elderly Residential	Adults	43	240	18	1,047
Alcohol/Drug Rehab	All ages	9	36	6	146
<b>Total</b>		<b>139</b>	<b>738</b>	<b>42</b>	<b>2,134</b>

Source: California Community Care Licensing Division; California Office of Alcohol and Drug Programs; varied other sources.

The City of Riverside has established a Commission on Disabilities to advise the City Council on policy, programs, and actions affecting persons with disabilities in the City and help create a public awareness of the needs in areas such as housing, employment, and transportation. Other organizations providing services to people with disabilities include the Community Access Center, Inland Regional Center, County of Riverside, and other nonprofit organizations. Riverside’s Annual Action Plan lists agencies funded each year.

**Family Households**

Riverside has long had a strong commitment to its families and has been awarded the distinction of being in the top 100 best communities nationwide for children. Led by the National League of Cities, the 2008 Mayors’ Action Challenge for Children and Families focuses on four priorities every child needs: “Opportunities to learn and grow; a safe neighborhood to call home; a healthy lifestyle and environment; and a financially fit family in which to thrive.” Assisting residents in securing and affording a home is a key strategy.



*Cedar Glen Apartments*

Providing decent and affordable housing for families (e.g., female-headed families, single parents, and large families) is an important goal for Riverside. Their special needs status is due to lower incomes, the presence of children and need for financial assistance, and the lack of adequately sized housing. Lower income families have the most difficulty in finding affordable housing and many must overpay or live in overcrowded conditions. Table H-14 summarizes the number of deed-restricted units affordable to lower income families.





# HOUSING ELEMENT

TABLE H-14  
FAMILY HOUSING IN RIVERSIDE

Housing	Number of Projects	Total Units Affordable to Lower Income
Apartments	31	1,712
Market Rate Mobile homes	15	2,040
Housing Vouchers	--	1,961
<b>Projects/Units Available</b>	<b>46</b>	<b>5,713</b>

Source: City of Riverside.  
Housing voucher totals are estimated and may overlap with some of the assisted family apartments.

The City offers several programs to help lower income single-parented, large, and female-headed families secure housing. The City is facilitating new rental, ownership, and mixed use housing. As noted by the Annie E. Casey Foundation, the shortage of affordable family housing detracts from family well-being, education, and health. Where existing housing needs improvement, the City is actively involved in the rehabilitation and/or acquisition of these properties, such as the Indiana Apartments. Homeownership assistance is also offered by several programs. Finally, the Consolidated Plan lists a number of supportive services funded by the City of Riverside that benefit families in Riverside.

### Homeless Persons

As with most large urban communities, the City of Riverside is faced with the challenge of addressing the needs of its homeless population. This includes not only Riverside residents who become homeless, but also individuals and families with children who become homeless in other cities and come to Riverside seeking resources. In January 2013, the Riverside County Homeless Count and Subpopulation Survey found that 571 individuals were identified as homeless in the City.

The 2013 Riverside County Homeless Count and Subpopulation Survey indicated that the majority of homeless adults in the City of Riverside are single (97%) male (72%), and white (54%). The 2013 Count indicated a decrease in the percent of persons in families with children. Unaccompanied youth made up 0.3 percent of the homeless count. Approximately 23% of homeless people reported that they were currently experiencing mental illness. Moreover, 28% reported experiencing alcohol and drug abuse. Approximately 26% of those surveyed reported a physical disability and 12% reported a developmental disability that significantly limits a person's ability to speak, hear, see, walk, learn, etc. Many homeless people have



experienced difficult life experiences- 11% were veterans and 20% experienced domestic violence.

In 2003, the City of Riverside adopted the “Riverside Community Broad-Based Homeless Action Plan.” Since its adoption, the City has implemented 30 strategies, including hiring a homeless services coordinator and street outreach workers, opening a new emergency shelter, developing a homeless services access center, expanding funding for community-based service agencies, identifying funding for prevention strategies, strengthening collaboration with faith-based service providers, and creating more affordable housing.

The City of Riverside and partner organizations work together to help provide the services required to address the needs of homeless people. In addition, as shown in Table H-15, there are numerous accommodations for people who are homeless in Riverside.

**TABLE H-15  
HOMELESS SHELTER RESOURCES**

Facility	Facility Sites	Clientele			
		Individuals	Persons in Families	Youth	Total
Emergency Shelter	3	414	193	172	779
Transitional Housing	8	180	0	25	205
Permanent Supportive Housing	3	34	3	6	43
<b>Total</b>	<b>14</b>	<b>628</b>	<b>196</b>	<b>203</b>	<b>1,027</b>

Source: City of Riverside, 2012.

## COLLEGE STUDENTS

Riverside is known for its quality educational institutions. Some of the larger institutions are Riverside Community College, University of California at Riverside, California Baptist University, and La Sierra University. Other educational institutions include the California School for the Deaf, Riverside (one of only two state-run schools) and Sherman Indian High School (the only off-reservation high school in California).

Because educational institutions in Riverside play an important role in the history, economy, and community life of Riverside, it is important to ensure that the significant housing needs of current and future students, faculty, and employees are addressed.



## HOUSING ELEMENT

**Objective H-4:** To provide adequate housing and supportive services for Riverside residents with special needs that allow them to live fuller lives.

**Policy H-4.1:** *Senior Housing.* Support the development of accessible and affordable senior rental and ownership housing that is readily accessible to support services; and provide assistance for seniors to maintain and improve their homes.

**Policy H-4.2:** *Family Housing.* Facilitate and encourage the development of larger rental and ownership units appropriate for families with children, including the provision of supportive services such as child care.

**Policy H-4.3:** *Educational Housing.* Work in cooperation with educational institutions to encourage the provision of housing accommodations for students, faculty, and employees that reflect their housing needs.

**Policy H-4.4:** *Housing for Homeless People.* Support adequate opportunities for emergency, transitional, and permanent supportive housing through the implementation of land use and zoning practices and, where feasible, financial assistance.

**Policy H-4.5:** *Housing for People with Disabilities.* Increase the supply of permanent, affordable, and accessible housing suited to the needs of persons with disabilities; provide assistance to persons with disabilities to maintain and improve their homes.

**Policy H-4.6:** *Supportive Services.* Continue to fund the provision of supportive services for persons with special needs to further the greatest level of independence and equal housing opportunities.

### QUANTIFIED OBJECTIVES

The objectives and policies of the 2014-2021 Riverside Housing Element are implemented through a variety of programs designed to encourage the maintenance, improvement, development, and conservation of housing and neighborhoods in the community. The Housing Implementation Plan lists each of these programs, specific



actions to accomplish an objective or policy, agency responsible for its administration, funding source, and timeline for implementation.

Table H-16 provides a summary of the quantified objectives that the City will pursue to show progress in meeting its housing needs.

TABLE H-16  
QUANTIFIED HOUSING GOALS

Households	Affordability Level				
	Extremely Low	Very Low	Low	Moderate	Above Moderate
Housing Construction	171	171	341	683	1,875
Home Rehabilitation and Preservation	16	64	120	-	-
Preservation of Publicly Subsidized Units	18	93	530	-	-
Rental Assistance (County and City)	5,426	4,270	12	-	-
Homeowner Assistance	0	7	28	-	-

Source: City of Riverside, 2014.

The Housing Implementation Plan (please refer to the General Plan 2025 Implementation Plan Appendix A) provides a description of the housing programs from which the quantified objectives are derived.

**Method for Determining Housing Construction for the 2014-2021 HE Planning Period**

Based on last 3 years DOF Unit Surveys (2013, 2014 & 2015) building permit finals were issued for the following number of units:

- ❖ Single-Family detached dwellings: 298 units
- ❖ Multiple Family dwellings: 512 units
- ❖ Total: 810 units

Averaging these units over the three year time frame this would be:

- ❖ Single-Family detached dwellings: 99 units/year
- ❖ Multiple Family dwellings: 171 units/year
- ❖ Total: 270 units/year

Due to an improving economy and anticipated increase in housing production from prior years, a realistic assumption could be made construction of units increase by an average of 50 percent for the entire 8-year planning period (2014-2021). If so, these numbers could increase as follows for annual average:





## HOUSING ELEMENT

❖ Single-Family detached dwellings:	149 units/year
❖ Multiple Family dwellings:	256 units/year
❖ Total:	405 units/year

Multiplying these figures by 8 would provide a good estimate of units that would be constructed over an eight-year timeframe which is projected to be as follows:

❖ Single-Family detached dwellings:	1,192 units
❖ Multiple Family dwellings:	2,048 units
❖ Total:	3,240 units

Based on the assumption that nearly all of the single-family detached units would only be affordable to above moderate and that the multiple-family units would have approximately 1/3 of the total units in each of the three main affordability categories (low, moderate and above moderate income). It is realistic to project, and establish housing production goals for new units constructed over the planning period broken down by each affordability category as follows:

❖ Low Income:	683 units
(1/4 Extremely Low: 171, 1/4 Very Low: 171 & 1/2 Low: 341)	
❖ Moderate Income:	683 units
❖ Above Moderate Income:	1,875 units
❖ Total:	3,240 units



# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
<b>Housing Conditions</b>					
H-1	Continue to provide rehabilitation assistance to single family residential and mobile home owners through the Housing Rehabilitation Programs which help extremely low to low-income households rehabilitate their homes. Low interest loans and a number of grants are available to finance housing repairs for income eligible homeowners. Programs include	<b>Housing Authority</b>	On-going	H-1 H-1.1	The City was awarded a \$1 million grant in 2014 to provide \$500,000 in mortgage assistance loans and \$500,000 in owner-occupied rehabilitation loans. Through the City's 2012 Call-Home Grant, the City was able to assist nine low income homeowners with eliminating health and safety issues on their property and make general improvements.
	<b>Rehabilitation Loans</b> – These loans provide up to \$40,000 for rehabilitation. They are available at 3% simple interest and are repayable over 20 years. A Deed of Trust is used to secure the loan (as a lien on the property).	<b>Housing Authority</b>	On-going	H-1 H-1.1	Assist up to 20 households with eliminating health and safety concerns and code violations during the planning period. In 2016, To make the rehabilitation loans more attractive to homeowners, the City eliminated the 3% interest rate.
	<b>Senior and Disability Grants</b> – Grants up to \$5,000 are available to seniors and persons with disabilities to make necessary housing repairs or modifications that allow disabled access.	<b>Housing Authority</b>	On-going	H-1 H-1.1 H-4	Assist up to 10 households annually with eliminating health and safety concerns and code violations and modifications or repairs to provide access for individuals with disabilities.
	<b>Mobile Home Grants</b> – Grants up to \$8,000 for mobile home owners to make necessary housing repairs	<b>Housing Authority</b>	On-going		Assist up to 10 households annually with annually with eliminating health and safety concerns and code violations
	<b>Property Assessed Clean Energy (PACE) Program:</b> This Program makes conservation enhancements more affordable by creating a property based financing tool that offers little or no upfront cost. The cost of improvements are placed on the property tax rolls and repaid	<b>Public Utilities</b>	On-going		Riverside has authorized 11 PACE lenders to provide PACE financing on properties in the City of Riverside.

Completed
On-going
In Progress

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TBD = To Be Determined

# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-2	Continue to perform analysis on at-risk housing units that are in need of rehabilitation as well as substandard multi-family housing units. Provide assistance to very low, low, and moderate-income multi-family residential home owners as funding is available.	Housing Authority	Ongoing	H-1	<ul style="list-style-type: none"> <li>• <i>Serra Woods</i>: Per the property owner, the following units will indefinitely remain affordable:                             <ul style="list-style-type: none"> <li>- 68 one bedrooms</li> <li>- 74 two bedrooms</li> <li>- 48 three bedrooms</li> </ul> </li> <li>• <i>Whispering Fountains</i>: Covenants were due expire in 2013 but this 55+ community continues to provide affordable units at \$725 to \$775 per month for 460 sq. ft. 1 bedroom units and \$825 to \$ 875 per month for 670 sq. ft. 2 bedroom units</li> <li>• <i>Cambridge Gardens</i>: Receiving annual renewals of HUD 202 funds</li> <li>• <i>Tyler Springs</i>: Due to bond financing, 28 units will remain affordable indefinitely</li> </ul>
H-3	Continue implementing the Multi-family Development Program for new construction as funding is available.	Housing Authority	Ongoing	H-1	<p>In FY 2013-14, the Housing Authority released two RFPs for the following developments on 3.75 acres of undeveloped vacant land at 4350 La Sierra Avenue (third round) and</p> <p><del>the northwest corner of 7th Street and Chicago Avenue. The Housing Authority received two proposals, which Northal CORE was selected as the most qualified responder. A community meeting was held to review the proposed single-family housing development that consists of 39 for sale units of which 7 units will be sold to low income households. The Housing Authority will be holding one more community meeting in 2018 to discuss the project.</del></p>

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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
					<p><u>In 2017, The Housing Authority also approved a Loan Agreement with Mission Heritage LP for the development of 72 apartment units, affordable housing community coupled with new Fair Housing offices and Civil Rights Institute. The residential units will be made affordable in the following manner:</u></p> <ul style="list-style-type: none"> <li>- 50 units reserved for households earning at or below 60% of AML,</li> <li>- 21 units reserved for households earning at or below 50% of AML, and</li> <li>- One manager's unit.</li> </ul> <p>received three responses to the 4350 La Sierra RFP, which was not supported by the community. The Housing Authority then released a RFP for the development of a single-family houses. The only responder had submitted a proposal that had a project funding gap that could not be filled. The Housing Authority anticipates releasing a new RFP in the summer 2018 for an affordable housing development coupled with a vocational school.</p> <p>The Housing Authority received also entered into an Exclusive Negotiating Agreement with Wakeland Housing &amp; Development Corporation to begin acquiring adjacent parcels for the development and to conduct community groups. A Disposition &amp; Development Agreement for two responses to the 7th Street and Chicago Avenue RFP. The Housing Authority awarded the RFP to Wakeland Housing &amp; Development Corporation who proposed a 60-unit affordable housing community will be presented to the Housing Authority Board in 2018 for approval. The Housing Authority entered into an Exclusive Negotiating Agreement with Wakeland to begin acquiring adjacent parcels for the development and to conduct community groups. Wakeland is requesting \$3 million in Housing Authority funds to fill the project's financial gap.</p> <p>The Housing Authority received a proposal from Wakeland and Fair Housing Council of Riverside County to develop a 70-unit affordable housing community coupled with new Fair Housing offices, and a Civil Rights Institute. Wakeland is requesting \$3 million to fill the project's financial gap. The project will be presented to the City's Development Committee on June 22, 2017 and then to City Council/Housing Authority for consideration in August 2017.</p> <p>The City has conducted interviews and the selected developer will be</p>

Completed                      On-going                      In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
					<del>required to conduct community meetings to obtain input on their proposed affordable housing projects.</del>
H-4	Continue to perform lead & mold abatement on homes. Through a grant provided by the US Department of Housing and Urban Development (HUD), the County of Riverside, Department of Public Health has developed a program to help fight lead paint poisoning in the County. This program offers free, or low cost, lead-based paint service to qualified families.	<b>RHDC</b> <b>Riverside County</b> <b>Department of</b> <b>Public Health</b>	On-going	H-1 H-1.1	The County of Riverside operates a Lead-Based Paint Abatement Program countywide. Therefore, the City's Housing Rehabilitation Program refers applicants to their Lead-Based Paint Abatement Program if the property has LBP and meets the program's eligibility requirements; otherwise, the City's program removes the LBP.
<b>Code Enforcement</b>					
H-5	Continue implementation of Code Enforcement services including the following programs:	<b>Code Enforcement Division</b>	On-going	H-1 H-1.2	
	<b>Neighborhood Livability Program (NLP)</b> – In conjunction with other City departments, Code Enforcement coordinates and investigates neighborhood livability concerns related to illegal group homes, parolee boarding houses, unlicensed massage parlors, non-permitted homeless encampments, and other severe public nuisance violations in the community.	<b>Code Enforcement Division</b> City Attorney Office Police Department Planning Division	On-going	H-1 H-1.2	
	<b>Foreclosed or Vacant Properties Program</b> – Code Enforcement addresses all complaints of vacant and foreclosed homes where the property is not being maintained to the neighborhood standards.	<b>Code Enforcement Division</b> City Attorney Office	On-going	H-1 H-1.2	

Completed	On-going	In Progress
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p><b>Neglected Property Team</b> - Code Enforcement actively addresses vacant, neglected and foreclosed homes through a comprehensive enforcement program aimed at eliminating the blight associated with these properties and working with property owners to have properties rehabilitated and re-occupied.</p> <p><b>Warrants, Abatements, Receiverships, and Demolitions (WARD) Team</b> - Code Enforcement Officers on the WARD Team specialize in obtaining warrants, conducting abatements, coordinating receivership actions, and demolishing hazardous structures</p>	<p><b>Code Enforcement Division</b> City Attorney Office</p> <p><b>Code Enforcement Division</b> City Attorney's Office</p>	<p>On-going</p> <p>On-going</p>	<p>H-1 H-1.2</p> <p>H-1 H-1.2</p>	
<b>Historic Preservation</b>					
H-6	Continue to implement the Historic Preservation Program and future amendments to Title 20.	<b>Planning Division</b>	On-going	H-1 H-1.3 Historic Preservation Element	The City continues to implement Title 20
<b>Park and Recreation</b>					
H-7	See Tools OS-1, OS-4, OS-5, OS-6, OS-9, OS-10, OS-11, OS-13, OS-14, OS-15, and OS-19 of the Open Space and Conservation Element portion of the General Plan 2025 Implementation Plan for tools implementing Policy H-1.4	<p><b>City Manager's Office</b></p> <p>Parks, Recreation and Community Services Department</p> <p>Planning Division</p> <p>Public Works Department</p>	On-going	H-1 H-1.4 OS-1 OS-3 OS-5 OS-6 LU-5 LU-6	

Completed
On-going
In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
		Public Utilities		AQ-19	
H-8	Continue to implement the Crime Free Multi-Housing Program. Participation in the program is a condition of approval of entitlement of new multiple-family residential development. This program is designed to reduce crime, drugs, and gangs on apartment properties.	<b>Police Department</b> Planning Division	On-going	H-1 H-1.5	
H-9	Continue to implement the Neighborhood Watch Program and Academy. Neighborhood Watch is the added eyes, ears, and awareness on the city streets. It is critically important to reducing crime and improving the quality of life in each of the neighborhoods.	<b>Police Department</b>	On-going	H-1 H-1.5	
H-10	Require all new projects with a Home Owner's Association (HOA) to participate in the Crime Free Multi-Housing Program.	<b>Police Department</b> Planning Division	On-going	H-1 H-1.5	
<b>Neighborhood Identity</b>					
H-11	Riverside's neighborhoods are the fundamental building blocks of the overall community. Updating the neighborhood plans with the involvement of the community will ensure that a more detailed design and policy direction is available for each neighborhood for which new development projects can be measured. (See Overarching Tool 17)	<b>Planning Division</b> Historic Preservation, Neighborhoods and Urban Design Division	Ongoing	H-1 H-1.6 LU-30.1 LU-30.7	The University Neighborhood Plan was adopted on June 17, 2008 and the Eastside Neighborhood Plan was adopted June 9, 2009. In addition, on October 6, 2008 the Riverside Neighborhood Partnership established the following recommendation for upcoming neighborhood plans in the following order, La Sierra Hills/La Sierra Acres, Arlanza, Northside, and Magnolia Center. Due to budget consideration and staff reductions no time table has been established for the preparation of neighborhood plans. Since that time a new citizen-led visioning and action-oriented neighborhood planning approach "Our Riverside/Our Neighborhood" was developed. Our Riverside/Our Neighborhood is described further under Tool H-15.

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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TBD = To Be Determined

# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-12	Consider reopening the Neighborhood Improvement Program in the Chicago/Linden Neighborhood and if successful rolling the program out to other neighborhoods.	<b>Housing Authority</b> Police Department Planning Division	TBD	H-1 H-1.7	<p>In FY 2013-14, the Housing Authority and City adopted the Chicago/Linden Strategic Plan that improves the quality of life for residents within the Chicago-Linden neighborhood. Since the cost to complete the activities in the Plan is approximately \$19 million, the Plan will be completed in phases.</p> <p>The Housing Authority owns and operates 66 affordable units within the neighborhood. To implement Phase I of the Plan, the Housing Authority demolished two substandard apartment complexes located at 1705 and 1733 7th Street and released a RFP to facilitate the development of housing that is safe and affordable for families accompanied with onsite amenities. The Housing Authority received two responses to this RFP and awarded this RFP to Wakeland Housing &amp; Development Corporation who proposed a 60-unit affordable housing community. The Housing Authority entered into an Exclusive Negotiating Agreement with Wakeland to begin acquiring adjacent parcels for the development and to conduct community groups. Wakeland is requesting \$3 million in Housing Authority funds to fill the project's financial gap.</p> <p><del>The Housing Authority has a grant writer on staff to seek grant opportunities to fund the activities identified in the Chicago/Linden Strategic Plan. The Housing Authority applied for a Transformative Climate Communities Program - Planning Grant in collaboration with Riverside County to facilitate pathways that maximum neighborhood-level environmental, public health, workforce, and economic benefits over the planning area which includes the Chicago/Linden and Downtown Neighborhoods.</del></p>
H-13	Continue the City's efforts with neighborhood organizing, including such programs as  <b>Riverside Neighborhood Partnership</b> - The Riverside Neighborhood Partnership (RNP) is a community group whose mission is to encourage and facilitate the formation of neighborhood associations city-wide and to act as a clearinghouse for neighborhood	<b>Historic Preservation, Neighborhoods and Urban Design Division</b>  <b>Historic Preservation, Neighborhoods and Urban Design Division</b>	On-going  On-going	H-1 H-1.7  H-1 H-1.7	The Riverside Neighborhood Partnership meets on a monthly basis

Completed
On-going
In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p>concerns. It is the Partnership's belief that by being organized, neighborhoods are better equipped to tackle problems that periodically arise</p> <p><b>Neighborhood Leadership Academy</b> - Critical to the success of any neighborhood improvement effort is the effective leadership of key residents who can guide their neighbors in community-wide decision-making. Selected applicants develop the skills and networks essential to neighborhood improvement at this free academy.</p> <p><b>Our Riverside, Our Neighborhood</b> - The Our Riverside, Our Neighborhood Initiative is a citizen-led visioning and action-oriented planning process where Riverside residents will create unique neighborhood strategies for each of Riverside's 26 neighborhoods in a 26 month time frame.</p> <p><b>Neighbor Fest!</b> Created from the Our Riverside, Our Neighborhood effort, this neighborhood event provides the opportunity for people to learn about how to use Asset-Based Community Development to affect positive change in their neighborhoods. Out of this event, leaders who wish to take the next step and begin a "Neighborhood Hospitality Team" will go home and gather with neighbors to share their hopes and dreams for their neighborhood and come up with creative ways that they can work together to make a difference in their communities.</p>	<p><b>Historic Preservation, Neighborhoods and Urban Design Division</b></p> <p><b>Historic Preservation, Neighborhoods and Urban Design Division</b></p> <p><b>Historic Preservation, Neighborhoods and Urban Design Division</b></p>	<p>On-going</p> <p>Last Quarter 2017</p> <p>Ongoing</p>	<p>H-1 H-1.7</p> <p>H-1 H-1.7</p> <p>H-1 H-1.7</p>	<p>The Neighborhood Leadership Academy is offered each year and includes 6 sessions (12 hours of training). Topics include Asset-Based Community Development, Leadership Style, Working with Diverse Groups, Presentation Skills and Meeting Management, City Hall 101 and Conflict Management. Sessions are offered in both English and Spanish. At the last Leadership Academy, held in Fall of 2014, 42 participants successfully completed the training earning their certificate of completion.</p> <p>Riverside Neighborhood Partnership (RNP) members and City of Riverside Neighborhoods staff have developed a public process through which neighbors can work together to create a neighborhood strategy meant to help each neighborhood maintain or advance towards its full potential.</p> <p>The first Neighborhood Celebration and Kick-Off "Neighbor Fest!" event occurred on Saturday, October 18th, 2014 at Bobby Bonds Park in the Eastside Neighborhood. This was the first of 5 Neighborhood Celebrations that will each include music, activities for kids, and interactive learning activities for all ages on how to tap into their natural gifts, skills, talents, and networks to help make a difference in their communities. Other Neighbor Fest! Celebrations have been held since 2014, with the most recent being the June 2017 celebration in the Wood Streets Neighborhood,</p>

Completed
On-going
In Progress

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TBD = To Be Determined

# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-14	<b>Neighborhood Spirit Awards</b> - Seven neighborhood groups, one for each ward in the city, are recognized for their extraordinary commitment, accomplishments, creativity, and resourcefulness as organized neighborhood groups.	<b>Historic Preservation, Neighborhoods and Urban Design Division</b>	On-going	H-1 H-1.7	
	<b>Jack B. Clarke Award</b> - This award was established in 1996 to commemorate the late Councilman Jack B. Clarke, Sr.'s vision of building neighborhood relationships and bringing neighborhoods together for the betterment of the City of Riverside.	<b>Historic Preservation, Neighborhoods and Urban Design Division</b>	On-going	H-1 H-1.7	
	<b>Healthy Neighborhood Assessment</b> - On April 17, 2007 the City Council approved the Healthy Neighborhood Assessment report which provides a framework for developing a diagnostic model to assess the effective quality life in each neighborhood. The Council has requested that the Development Department evaluate the Healthy Neighborhood Assessment report and report to the Community Services and Youth Committee with a plan to proceed with drafting a neighborhood diagnostic analysis.	<b>Historic Preservation, Neighborhoods and Urban Design Division</b>	On-going	H-1 H-1.7	
	Continue to support Keep Riverside Clean and Beautiful (KRCB) This organization strives to instill a sense of community pride and leadership within Riverside by creating partnerships that work toward the beautification of the city.	<b>Keep Riverside Clean &amp; Beautiful</b>	On-going	H-1 H-1.7	
<b>Smart Growth</b>					
H-15	Continue to seek new partnerships with non-profit developers and continue on with	<b>Housing Authority</b>	Ongoing	H-2	The City and Housing Authority continue to partner with affordable housing developers such as Riverside Housing Development Corporation, Habitat for
<b>Completed</b>		<b>On-going</b>		<b>In Progress</b>	
Under "Responsible Agency" the first Agency listed in <b>bold</b> is the Lead Agency.					

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	existing partnerships to assist in the development of affordable housing projects for extremely low- to low-income households. The City will annually invite non-profit developers to discuss the City's plans, resources, and development opportunities. Based on funding resources, the City will select a non-profit developer to pursue developments, including leveraging the local housing trust fund, assisting in the application for State and Federal financial resources, and offering a number of incentives such as fee deferrals, priority processing, and relaxed development standards.	Planning Division		H-2.2	<p>Humanity Riverside, Wakeland Housing and Development Corporation, National CORE, and Meta Housing to facilitate the development of affordable housing and the acquisition and rehabilitation of substandard housing units that have been long neglected and are crime ridden as a result of poor property management.</p> <p><u>See additional progress reported in Tool H-3:</u></p> <p><u>In 2017, the Housing Authority released RFPs for the development of affordable housing on the following properties:</u></p> <ul style="list-style-type: none"> <li>- <u>10370 Gould Street: 7,841 square feet of vacant land</u></li> <li>- <u>11302 Anacapa Place and APN 141-173-036: 8,276 square feet of vacant land</u></li> <li>- <u>2719 and 2743 11<sup>th</sup> Street: 22,651 square feet of vacant land</u></li> </ul> <p><u>In 2018, Housing Authority staff will present the preferred developments in response to the aforementioned RFPs to neighborhood groups.</u></p>
H-16	Continue to provide the voluntary Riverside Green Builder (RGB) program. This program is primarily for production builders. RGB is based on the California Green Builder Program that is recognized by the California Public Utilities Commission, the California Energy Commission, and California League of Cities, and is the largest residential green builder program in California.	<b>Building Division</b>	On going	H-2 H-2.3 OS-8 OS-8.2 OS-8.6	
H-17	Continue to offer "Energy Saving," "Green Power" and "Water" Rebates to residential customers and their contractors (both for rehabilitation and new construction) for energy conservation found at <a href="http://www.riversideca.gov/utilities/residents.asp">http://www.riversideca.gov/utilities/residents.asp</a>	<b>Public Utilities</b>	On going	H-2 H-2.3 OS-8 OS-8.8	These programs continue to be implemented by the City's Public Utilities Department.

Completed      On-going      In Progress

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TBD = To Be Determined

# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-18	Continue to offer Energy Efficiency Loans which provide improvement financing for energy efficiency projects.	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.8	
H-19	Continue to offer the Residential Photovoltaic System Rebate Program.	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.4 OS-8.8 OS-8.9	The City's Public Utilities Department continues to offer the Residential Photovoltaic System Rebate.
H-20	Continue to offer SHARE. SHARE is a Riverside Public Utilities (RPU) program that assists qualified, low-income residential customers with their electric utility bills and deposits. Administered by Riverside County's Community Action Partnership, this program is supported by voluntary customer contributions, and state-mandated Public Benefits Charge.	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.8	The SHARE program continues to be implemented by the City's Public Utilities Department.

Completed	On-going	In Progress
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-21	<p><b>Rezoning Program</b></p> <p>To accommodate the housing need for the remaining 4,767 units affordable to lower-income households, the City will rezone a minimum of 191 acres at achieving at least an average density allowing a minimum of 24 units per acre. Further, the program will provide for a minimum of 16 units per site. Candidate sites for rezoning include sites identified in Appendix D of the Technical Report of the Housing Element and will permit owner-occupied and rental multi-family residential uses by-right (without a conditional use permit, planned unit development permit or other discretionary action) pursuant to Government Code Section 65583.2(h). In addition, at least 50 percent of the remaining units (2,384 units) will be accommodated on sites zoned for exclusively residential uses.</p>	<b>Planning Division</b>	By December 2017	H-2 H-2.2	<p>After accounting for projects in the pipeline and currently identified available sites zoned for residential development, the City has a remaining RHNA need of 4,767 units for lower-income households. To accommodate the housing need for the remaining 4,767 units affordable to lower-income households, the City will rezone at least 191 acres of undeveloped or underutilized developed land achieving at least an average density of 24 units per acre. Appendix D, Rezoning Program of the 2014-2021 Housing Element, adopted in October 2017, City has identified 66 sites totaling 395 acres. General Plan Amendments/Zone changes to many of these sites would be developed with a minimum development potential of as many as 7,509 dwelling units, which exceeds the City's housing need of 4,767 units. Further, the program will provide a minimum of 16 units per site. Appendix E of the Technical Report of the Housing Element identifies candidate sites which will permit owner-occupied and rental multi-family residential uses by-right (without a conditional use permit, planned unit development permit or other discretionary action), pursuant to Government Code Section 65583.2(h). At least 50 percent of the remaining 4,767 units (or 2,384 units) will be accommodated on sites zoned exclusively for residential uses. On December 13, 2017, the City Council approved the rezoning of sites to implement the Rezoning Program. This effort included:</p> <ul style="list-style-type: none"> <li>Adoption of Resolution No. 33257 on December 13, 2017 to amend the City's General Plan land use map. General Plan Land Use amendments involved changing land uses to High Density Residential, Very High Density Residential, and Mixed Use land use designations.</li> <li>Adoption of Ordinance No. 2402 on January 9, 2018 amending the City's Zoning Map rezoning sites to multi-family residential and mixed use zones that allow for multiple-family residential units.</li> </ul> <p>The new zoning allows for multi-family residential at densities as high as 40 dwelling units per acre that would accommodate a total of 6,018 units with a RHNA surplus of 1,251 units.</p>
H-22	Coordinate outreach to the public, development community, and stakeholders regarding land use, design, and development standards	<b>Planning Division</b>	On-going	H-2.3 H-2.4 H-2.5	
H-23	See Tools OS-30, OS-31, OS-35, and OS-38 of the Open Space and Conservation Element portion of the General Plan 2025	<b>Public Utilities</b> Public Works	On-going	H-2 H-2.3	

Completed
On-going
In Progress

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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	Implementation Plan for tools implementing Policy H-2.3.	Building Division Planning Division		OS-8 OS-9 OS-10	
H-24	<p>Streamline Riverside – Streamline Riverside is a program developed by a collaboration of multiple City departments and key stakeholders such as design professionals, developers and business owners on a strategy to reduced entitlement and building permit review times, as well as costs for customers. This program includes:</p> <ul style="list-style-type: none"> <li>Uniform Plan Review</li> <li>Expedited Plan Check</li> <li>Streamline Zoning Code Amendment</li> <li>Establishment of a Development Review Committee</li> <li>Preliminary Development Meeting</li> <li>One-Stop-Shop – Central location on 3<sup>rd</sup> Floor of City Hall for all permitting needs (Planning, Bldg. &amp; Safety, Fire, Public Works, Business License &amp; Public Utilities)</li> <li>Computronix – Implementation of development permitting software centered around GIS technology</li> <li>On-line business license</li> <li>Streamline Residential Solar Permitting</li> <li>Advanced Planning – Public Utilities</li> </ul>	<p><b>Planning Division</b> Public Works Building Division Fire Department Public Utilities</p>	Ongoing		<ul style="list-style-type: none"> <li>Uniform Plan Review Aligns plan review times for all departments &amp; reduced time to review plans by 1 week - Implemented April 7, 2016</li> <li>Expedited Plan Check implemented in July, 2016 – Cuts timelines in half at the request of applicant</li> <li>July, 2016 - Completed Streamline Zoning Code Amendment which reduced the time, cost and uncertainty by right-sizing the final review authority for certain land use entitlements, changed certain standards to reduce variances, updated and simplified standards and processes. Implemented July 2016.</li> <li>Established the Development Review Committee in April 2016. The Committee includes representatives from all City Departments involved in the review of projects to improve lines of communication with internal and external customers</li> <li>Established the Predevelopment Meeting process in June 2016 providing opportunity for applicants to meet with all Departments for detailed analysis and review of new development before formally submitting to the City.</li> <li><u>“One-Stop Shop” was launched in mid-2017. This commitment to customer service brings together, on one floor, all City departments that are part of the development process, with exclusive use of an express elevator, cell phone charging stations and a concierge-type system that helps customers obtain permits and approvals faster than ever.</u></li> <li><u>On-line business license implemented January, 2016</u></li> <li><u>Express Solar PV permitting for one &amp; two-family dwellings (10kw or less) implemented.</u></li> <li><u>Advanced Planning - Public Utilities implemented August 2017.</u></li> <li><u>Happy or Not implemented February, 2017.</u></li> </ul>

Completed	On-going	In Progress
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
<b>Housing Incentives</b>					
H-25	Continue to provide financial incentives to facilitate the production of a variety of housing types including the following programs.  <b>Residential Infill Incentive Program</b> - Infill is defined as the development, redevelopment or reuse of less than five undeveloped or underutilized developed R-1 or RR zoned parcels of 21,780 square feet or less, surrounded by residential uses (80% of land uses within a half mile radius) where the proposed project is consistent with General Plan designations and applicable Zoning. For such, infill projects fees are adjusted, avoided, and/or waived as an incentive. To keep this program current, an update of the lot inventory on the City's website should be completed.  <b>Age-Restricted Senior Housing Program</b> - On August 23, 2005, the City Council authorized a 60% reduction in all City Permit, Plan Check, and City Impact Mitigation Fees for age-restricted senior housing projects in order to promote such development	<b>Planning Division</b>  <b>Planning Division</b>  <b>Planning Division</b>	On-going  On-going  On-going	H-2 H-2.7  H-2 H-2.7  H-2 H-2.7 H-4	
H-26	Consider the feasibility of the certain Zoning Code incentives that would promote diversity in housing types, sustainability and affordability such as:	<b>Planning Division</b>	Last Quarter 2015	H-2 H-2.7	<u>On January 9, 2017, the City Council adopted Ordinance No. 7408 amending the City's Zoning Code to remove barriers to housing and provide incentives to promote diversity in housing types, sustainability and affordability. Key amendments included:</u> <ul style="list-style-type: none"> <li>• <u>Multiple-family residential by right in Multi-Family &amp; Mixed Use zones.</u></li> <li>• <u>Reduction in minimum lot size requirements for Multi-Family Zones</u></li> <li>• <u>Allowing multi-family residential development on non-conforming lots in MFR zones (prior standard required conforming lots to allow for MFR development).</u></li> </ul>
<b>Completed</b>		<b>On-going</b>		<b>In Progress</b>	
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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<b>Universal Design/Visitability</b> – Investigate the feasibility of a universal design/visitability program to expand the range of housing available for the needs of seniors. (See Tool H-47 – Recommendation #10)	Planning Division	Last Quarter 2015	H-2 H-2.7 H-4	<ul style="list-style-type: none"> <li>Reduction in setback, open space, and open space amenity requirements for multi-family residential development.</li> <li>Allow for dwelling units including tiny homes incidental to "Places of Public Assembly - Non-Entertainment" uses with a conditional use permit.</li> <li>Amending the Accessory Dwelling Unit (ADU) provisions to provide more opportunity for ADU's in compliance with AB 2299 and SB 1069.</li> <li>Allowing for Single Room Occupancies with a CUP, and</li> <li>Allowing Supportive &amp; Transitional Housing by right in residential zones in compliance with SB-3.</li> </ul> <p>Another incentives that was adopted includes:</p> <ul style="list-style-type: none"> <li>Amending the City's fee schedule for a lot consolidation fee waiver to incentivize consolidation of small parcels on Housing Element rezoned sites. For more detail on the lot consolidation fee waiver incentive, see Program H-52.</li> </ul>
	<b>Second Units</b> – Consider an amendment to the Second Unit ordinance that would permit second units for creative projects that take advantage of corner lots, housing above garage units, units on alleyways or are designed into the project with the unit already considered in terms of parking and open space requirements.	Planning Division	First Quarter 2016, complete	H-2 H-2.7	Completed. On January 9, 2015, the City Council adopted Ordinance No. 7428 amending the City's zoning Code to comply with State legislation AB 2299 and SB 1069.
	<b>Eastside Infill Program</b> – Consider creating an infill program for undeveloped lots in the Eastside neighborhood. This program would include an inventory of properties with an	Housing Authority	Consider feasibility of an infill program by First	H-2 H-2.7	

Completed      On-going      In Progress

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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p>opportunity for infill development, continued implementation and promotion of the Riverside Infill Development Incentives Program encouraging owners of undeveloped properties to build compatible residential development. In addition, a component of the program could include standardized house plans pre-approved for use on infill lots to alleviate the cost associated with architecture and plan check fees.</p> <p><b>Encourage Lot Consolidation</b> – The City will play an active role in facilitating the consolidation of smaller, multiple-family parcels as follows:</p> <ul style="list-style-type: none"> <li>The City will publicize the undeveloped and underutilized developed sites land inventory on the City's website.</li> <li>Provide technical assistance to property owners and developers in support of lot consolidation, including assessor parcel data and information on density and design incentives.</li> <li>To encourage development of quality housing at prices lower income households can afford on smaller multiple-family parcels, the City will meet with developers, including non-profit sponsors, to promote strategies and incentives within one year of adoption of the Housing Element.</li> </ul> <p>Further, the City will undertake the following strategies to support the use of State and Federal affordable housing funds on</p>	<p><b>Planning Division</b> Housing Authority</p>	<p>Quarter 2018.</p> <p>Last Quarter 2019, and as projects are processed through the Planning Division.</p>	<p>H-2 H-2.7</p> <p>H-2 H-2.4 H-2.5 H-2.6 H-2.7</p>	<p><u>On December 12, 2017, the City Council adopted Resolution No. 23254 amending the City's fees and charges schedule in Resolution No. 21960, as amended, providing for a waiver of lot merger/lot consolidation fees for Housing Element rezoned sites. The waiver is intended to facilitate site consolidation to combine small residential parcels into larger, developable parcels to provide for affordable housing opportunities. Eligible parcels must be contiguous with other parcels that create the opportunity for development of at least 16 units, and the small parcels must have the same owner as one or more of the parcels it is aggregated with. Combined together, the parcels must create the opportunity for 16 units.</u></p>

**Completed**      **On-going**      **In Progress**

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	consolidated parcels: <ul style="list-style-type: none"> <li>• Create an on-line directory of funding sources with links to State and Federal application websites.</li> <li>• Assist in providing information to complete funding applications including identifying types of projects that maximize funding points, e.g. projects that support large families and/or special housing needs.</li> <li>• As appropriate, provide available local funds as leverage,</li> <li>• Consider feasibility of expedited review for lot consolidation requests. Lot consolidation applications are processed administratively.</li> </ul>				
H-27	Provide down payment assistance to first time home buyers. When funding has been exhausted, seek additional funds to continue the program.	<b>Housing Authority</b>	On-going Fund 8 loans by end of 2014/2015 FY plus 10 more by 2021	H-3 H-3.1 H-4	In 2014, the City received a \$1 million CalHome grant to provide up to \$500,000 in down payment assistance loans. To-date, the City has funded ten down payment assistance loans helping low income households achieve their dream of homeownership, three households have been prequalified and have located a house to purchase, and two households have been prequalified and are searching for a home to purchase.

Completed	On-going	In Progress
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-28	<p>Continue to promote the County of Riverside Economic Development Agency Mortgage Credit Certificate Program on the City's Housing &amp; Neighborhoods Development's webpage.</p> <p><b>Mortgage Credit Certificate (MCC)</b> - This program entitles qualified homebuyers to reduce the amount of their federal income tax liability by an amount equal to a portion of the interest paid during the year on a home mortgage. This tax credit allows the buyer to qualify more easily for a loan by increasing the effective income of the buyer. The Riverside County MCC Program provides for a fifteen percent (15%) rate that can be applied to the interest paid on the mortgage loan.</p>	<p><b>Housing Authority</b></p> <p><b>County of Riverside Economic Development Agency</b></p>	On-going	<p>H-3</p> <p>H-3.1</p> <p>H-4</p>	The City continues to promote the MCC program on the Housing Authority's website along with the City's Down Payment Assistance Program.
<b>Homeownership Preservation</b>					
H-29	<p>Continue to market homebuyer preservation tools, including foreclosure prevention &amp; financial management programs, on the Housing Authority's website including the following programs:</p> <p><b>Fair Housing Council of Riverside County, Inc.</b> - is a non-profit agency that offers confidential counseling to help those with financial problems. FHCRC will review individuals' financial situation and develop a financial plan to meet their financial needs.</p>	<p><b>Housing Authority</b></p> <p><b>Fair Housing Council of Riverside County, Inc.</b></p>	<p>On-going</p> <p>On-going</p>	<p>H-3</p> <p>H-3.2</p> <p>H-1</p> <p>H-4</p> <p>H-3</p> <p>H-3.2</p> <p>H-1</p> <p>H-4</p>	<p>The City continues to market homebuyer preservation tools and financial management programs offered by Fair Housing Council of Riverside County, Inc., HOPE NOW, and Springboard Nonprofit Consumer Credit Management on the City's housing web page at <a href="http://riversideca.gov/housing/foreclosure.asp">http://riversideca.gov/housing/foreclosure.asp</a>. The City also participates in Fair Housing's homebuyer's workshops and program presentations at community groups.</p>

Completed      On-going      In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-31	<p>The City of Riverside maintains more than a significant stock of rental housing affordable to seniors, families, and individuals earning lower incomes. The City is committed to preserving its stock of affordable housing, some which is at risk of conversion and/or needs significant renovation and improvement.</p> <p>As the City remains committed to preserving its affordable housing, the City will monitor the status of publicly subsidized affordable projects, provide technical and financial assistance where feasible, and consider appropriate actions should these projects become at imminent risk of conversion.</p>	<b>Housing Authority</b>	Ongoing	H-3 H-3.2	See progress under H-2
<b>Rental Assistance</b>					

Completed
On-going
In Progress

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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-32	Continue to implement the City's mobile home park rent stabilization policy (Chapter 5.75 of the Municipal Code) to preserve the City's mobile home parks. The policy is updated on an annual basis. The rents may be increased in accordance with the Los Angeles-Riverside-Orange County Consumer Price Index for the twelve-month period ending August 31* of the prior year. A public hearing is held in September to announce the allowed rental increase, if any.	<b>Housing Authority</b> City Attorney Office	On-going Annual public hearings	H-3 H-3.3	Annually the City holds a public hearing in September to announce the rent increase in mobile home parks where tenants have annual leases. Notifications are also sent to mobile home park owners, managers and mobile home tenant advocacy groups. The rental increases go into effect in January following the public hearing.
H-33	Continue to participate and promote the Housing Authority of the County of Riverside rental assistance programs on the City's Housing Authority Community Development's webpage. They offer programs to extremely low- to low-income renters, including the following:  <b>Housing Choice Voucher Program</b> - The Section 8 rental voucher program provides rental assistance to help extremely low- to low-income families afford decent, safe, and sanitary rental housing.  <b>Section 8 Project Based Moderate Rehabilitation Housing Assistance Programs</b> - These Programs were developed to increase the number of affordable housing units to low-income families. Housing assistance is offered to eligible families who wish to live in privately owned multi-family developments that were upgraded or rehabilitated.	<b>Housing Authority</b>  <b>Housing Authority of the County of Riverside</b>  <b>Housing Authority of the County of Riverside</b>	On-going  On-going  On-going	H-3 H-3.3  H-3 H-3.3 H-4  H-3 H-3.3 H-4	The City and County's rental assistance programs are advertised on the City's homeless website at <a href="http://www.endhomeless.info">www.endhomeless.info</a> . These programs offer up to 12 months of rental assistance to help homeless individuals and families exit life from the streets. Program participants receive ongoing case management to address barriers preventing clients from becoming self-sufficient.  The City allocated \$600,000 of HOME Investment Partnerships Program funds towards the Tenant Based Rental Assistance program to help homeless individuals and families exit life from the streets. Case management is provided to help households achieve self-sufficiency.

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# HOUSING ELEMENT

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p><b>Bond Financed Rental Housing</b> - The Riverside County Housing Authority owns several bond financed multi-family rental housing developments in the City of Riverside.</p> <p><b>The Family Self-Sufficiency (FSS) Program</b> - This is a program that assists families receiving federal rental assistance move to economic independence so they are free of any governmental assistance.</p>	<p><b>Housing Authority of the County of Riverside</b></p> <p><b>Housing Authority of the County of Riverside</b></p>	<p>On-going</p> <p>On-going</p>	<p>H-3 H-3.3 H-4</p> <p>H-3 H-3.3 H-4</p>	
H-34	Encourage rental property owners to register their units for participation in the Housing Authority of the County of Riverside rental assistance programs and the City's Rapid Re-housing Program	<b>Housing Authority</b>	First Quarter 2015 On-going	H-3 H-3.3 H-4	<p>The City held two landlord workshops in the first quarter of 2015 to encourage landlords to participate in the 25 Cities Program by dedicating a number of apartment units to program participants who will receive ongoing case management to ensure that clients achieve self-sufficiency. The 25 Cities Program uses a questionnaire to determine a homeless individuals' vulnerability index and then matches that individual to the appropriate housing intervention program (Permanent Supportive Housing Program, Rapid Re-Housing, and Affordable Housing Program).</p> <p><i>in 2017, the Housing Authority assigned one staff person to fill the role of a housing locator to identify vacant residential units for rental assistance program participants. In the fourth quarter of 2017, the housing locator was able to identify 40 residential units.</i></p>
H-35	Continue to maintain the list of affordable rental units on the Housing Authority's webpage	<b>Housing Authority</b>	On-going	H-3 H-3.3 H-4	The City continues to maintain a list of affordable rental units on the Housing Authority's webpage at <a href="http://riversideca.gov/housing/rental.asp">http://riversideca.gov/housing/rental.asp</a>
H-36	Provide rental assistance to 120 extremely low-income families.	<b>Housing Authority</b>	Winter Quarter 2021	H-3 H-3.3	<p><i>Since 2014, the City has provided rental assistance to 60 households that were homeless or at risk of becoming homeless. To date, the City has also provided rental assistance to 22 families under the City's Rapid Re-Housing Program that is funded through the federal Continuum of Care grant. In 2017, the Housing Authority was able to assist 54 households with housing through the family reunification program and rental assistance program. At the end of 2017, the City had prequalified 37 households for rental assistance.</i></p>

Completed      On-going      In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-37	Continue to support the Mayor's Commission on Aging whose mission is to "... enhance the quality of life for seniors in our community. We study local senior issues to learn about current programs, define future needs, and reference Best Practices. We then make recommendations to the Mayor and City Council on ways we think the City of Riverside can maintain and improve its status as a Senior-Friendly Community."	<b>Mayor's Office</b>	On-going	H-4 H-4.1	The Mayor's Commission on Aging continues to meet on a regular basis and make recommendations to the Mayor and City Council.
H-38	Continue to pursue the 10 recommendations of the "Seniors' Housing Task Force Report" approved by City Council on October 26, 2004 that are on-going including:  <b>Recommendation #1</b> – Make Seniors Housing a priority in the Housing Element (HE) of the General Plan.  <b>Recommendation #2</b> – Create a Seniors' Housing category in the Zoning Code. The Zoning Code shall include standards for senior housing.  <b>Recommendation #5</b> – Generate Creative Sources of Financing. Although there are several funding sources available like tax credits there are two additional sources that have not been addressed. These sources are the inclusionary housing ordinance noted in Recommendation #4 and the funds available from HUD to faith based organizations (FBO's) for the development of senior housing. Most FBO's do not have the capacity to apply for the funding and to construct senior projects.	<b>Housing Authority</b>  <b>Planning Division</b>  <b>Planning Division</b>  <b>Housing Authority</b>	On-going  On-going With the Certification of each new HE  Last Quarter 2021  On-going	H-4 H-4.1  H-4 H-4.1  H-4 H-4.1	On October 13, 2013, Senate Bill 341 (Redevelopment) was enacted, which restricted housing Successor Housing Agencies from spending funds from the Low and Moderate Income Housing Fund on senior housing if its host jurisdiction within the previous 10 years exceeded 50% of the aggregate number of deed-restricted rental housing units assisted by the housing successor, its former redevelopment agency, and its host jurisdiction. Over the past 10 years, the Housing Authority of the City of Riverside's deed restricted-units from senior housing projects consist of 63% of its inventory, which means Low and Moderate Income Housing Funds cannot be used to fund affordable housing projects that are age restricted until 191 affordable rental units that are not age restricted have been developed.

Complete
On-going
In Progress

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## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-39	Actively seek additional partnerships with service organizations to provide supportive services for residents.	<b>Housing Authority</b>	First Quarter 2018	H-4 H-4.2	The City of Riverside's Outreach Workers and Inspire Foundation continue to provide supportive services for residents. The City has created a resource guide of services offered to homeless individuals throughout the City and continues to update it on a quarterly basis at <a href="http://www.endhomeless.info">www.endhomeless.info</a> .  <del>In 2017, the City executed a partnership agreement with Loma Linda University to partner with Master Social Work students with case managers to gain experience in the field of supportive services and increase the amount of services being provided to the homeless population. It is working with local Universities' students to identify community resources to update the 211 Volunteer Centers system and the City's resource guide.</del>
H-40	Continue to implement the Density Bonus provisions of the Zoning Code for projects providing affordable housing units.	<b>Planning Division</b>	On-going	H-4 H-4.2	The City continues to implement the Density Bonus provisions of the Zoning Code for affordable housing projects such as: <ul style="list-style-type: none"> <li>• Cedar Glenn approved in June 2012</li> <li>• Camp Anza Veteran's Housing approved in November 2013</li> </ul>
H-41	Continue to permit second units in compliance with the Zoning Code as a means of providing affordable units throughout the City.	<b>Planning Division</b>	On-going	H-4 H-4.2	The City continues to implement the second unit provisions of the Zoning Code.
H-42	Continue providing fair housing services and publicize these efforts. Prepare an update to the Analysis of Impediments (AI) to Fair Housing in time for the submission of the Consolidated Plan  The Fair Housing Council of Riverside County has provided a comprehensive fair housing program to further equal housing opportunity for all residents and households in the City of Riverside. The mission of the Fair Housing Council is to provide comprehensive services which affirmatively address and promote fair housing (anti-discrimination) rights and further other housing opportunities for all persons	<b>Housing Authority</b>  <b>Fair Housing Council of Riverside County</b> Housing Authority	Ongoing  Ongoing	H-4 H-4.2	The City contracts annually with Fair Housing Council of Riverside, Inc. to provide fair housing services. In 2015/16 the City updated its AI to Fair Housing, which was submitted along with the City's HUD Five Year Consolidated Plan.

Completed
On-going
In Progress

Under "Responsible Agency" the first Agency listed in **bold** is the Lead Agency.

TBD = To Be Determined

# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	without regard to race, color, national origin, religion, sex, familial status, presence of children, disability, ancestry, marital status, or other arbitrary factors.				
<b>Educational Housing</b>					
H-43	Facilitate and encourage the development of student housing oriented to the local universities and college campuses.	<b>Planning Division</b> Housing Authority	On-going	H-4 H-4.3	The Planning Division has encouraged the development of student housing. In 2014, UCR began construction of the GlenMore 2 student apartments. This project consists of 232 on-campus units.
<b>Housing for Homeless People (Extremely Low-Income Population)</b>					
H-44	Continue to carry out the Homeless Reduction and Prevention Strategy Five-Year Plan (Homeless Plan) that set the following top three priorities to improve and increase availability of services for homeless individuals or those at-risk of becoming homeless. <ul style="list-style-type: none"> <li>❖ Priority #1                             <ul style="list-style-type: none"> <li>○ Basic Needs and Services</li> <li>○ Community Education</li> </ul> </li> <li>❖ Priority #2                             <ul style="list-style-type: none"> <li>○ Preventive Services</li> <li>○ Outreach</li> </ul> </li> <li>❖ Priority #3                             <ul style="list-style-type: none"> <li>○ Employment Services</li> <li>○ Permanent Housing</li> </ul> </li> </ul>	<b>Housing Authority Office of Homeless Solutions</b>	On-going	H-4 H-4.4	<p>In 2015, the City of Riverside ended veteran homelessness and is continuing to sustain our efforts. The City is working with the Riverside County Continuum of Care to end chronic homelessness by the end of 2017.</p> <p>The City released a Request for Proposals to secure an operator and developer to rehabilitate the Drop in Day Center that will provide a laundry and shower facility, life skills training, case management to help link individuals to housing and services, and a community meal program. The City will also be relocating the Riverside Access Center to a newly acquired building across the street at 2881 Hulen Place that consist of office spaces and a warehouse that will be used to store household items donated by the community for homeless individuals moving directly into housing. The medical clinic at 2880 Hulen Place will be expanded to include respite care and behavior health for homeless individuals. Property located at 2801 Hulen Place will be rehabilitated to provide a drop in day center where homeless individuals can shower, do their laundry, meet with a case manager to be linked to housing and services and participate in life skill workshops. <u>In 2017, the City received one proposal for the operation of the Drop In Day Center which is under review.</u></p> <p><u>In 2017, the Office of Homeless Solutions staff. The City is meeting with community and business groups to present on Housing First and why it is needed in our community the best practice used globally to address homelessness.</u> The City is also working with faith-based organizations who have identified land available for the development of housing first units coupled with case management and supportive services. <u>Staff has identified</u></p>

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
					<u>three lots within each of the seven City Councilmembers Ward for potential Housing First development sites. The Housing First draft plan and proposed sites were approved by the City Council on March 13, 2018.</u>
H-45	<p>Aggressively work to address homelessness in the community in partnership with a wide-range of non-profit organizations, social service agencies, faith-based institutions and others working together to end homelessness in the community through such programs as:</p> <p><b>City of Riverside Rapid Re-Housing Program (RP)</b> – Continue to provide financial assistance to those who qualify through this program. This program provides temporary financial assistance and services to help those who are experiencing homelessness to be quickly re-housed and stabilized.</p> <p><b>Homeless Street Outreach Program</b> – The City of Riverside Homeless Street Outreach Team will continue to provide daily mobile outreach and client service engagement focused on the “hardest-to-reach” and “service-resistant” populations on the streets, in service venues, and other locations where they can be found.</p>	<p><b>Housing Authority</b></p> <p><b>Housing Authority</b></p> <p><b>Housing Authority</b></p>	<p>On-going</p> <p>2014 and On-going</p> <p>On-going Annually</p>	<p>H-4 H-4.4</p> <p>H-4 H-4.4</p> <p>H-4 H-4.4</p>	<p>The Riverside Homeless Care Network meets once a month to share homeless resources and concerns and to identify gaps in programs and services. The network is made up of government agencies, nonprofit agencies, faith-based organizations, social service agencies and community groups.</p> <p><u>City of Riverside Rapid Re-Housing Program. In 2017, the Housing Authority assisted 54 homeless individuals obtain housing through the Tenant Based Rental Assistance Program, Rapid Re-Housing Program and Family Reunification Program. This was previously accomplished with the Homeless Prevention Program which ended in 2012. The Riverside County Housing Authority began implementing the Rapid Re-Housing program in 2014.</u></p> <p><u>During FY 2016/17, the Homeless Street Outreach staff made contact with 1,381 homeless individuals, which was an increase of 54% from the previous year. The Outreach Team also worked with community partners to connect people to a range of assistance including shelter, housing, employment, benefits assistance, behavioral health services, medical services, reconnected homeless individuals with their families, and other assistance they needed.</u></p> <p><u>During the 2017 Homeless Point-in-Time Count, 389 unsheltered homeless individuals were identified in the City of Riverside, which was a 50.8% increase from the previous year. During FY 2013-14, the Outreach Team made contact with 1,178 homeless individuals and engaged 365 homeless individuals. The Outreach Team also worked with community partners to connect people to a range of assistance including shelter, housing, employment, benefits assistance, behavioral health services, medical services, reconnected homeless individuals with their families, and other assistance they needed. For FY 2014-15 and annually thereafter it is anticipated that the Outreach Team will continue to make contact with and engage approximately the same number of individuals.</u></p>

Completed
On-going
In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p><b>Housing First Initiative/Tenant-Based Rental Assistance Program (TBRA)</b> - The Housing Authority of County of Riverside will continue to implement the TBRA program. This provides eligible homeless individuals and families as well as those at risk to homelessness in Riverside with short-term rental subsidies coupled with home-based case management.</p>	<p><b>Housing Authority of County of Riverside</b></p>	<p>On-going Annually</p>	<p>H-4 H-4.4</p>	<p><del>In FY 2013/14, the Riverside County Housing Authority has provided rental assistance to 44 households that were homeless or at risk of becoming homeless. For FY 2014-2015 and annually thereafter it is anticipated that the Riverside County Housing Authority will continue to provide rental assistance to approximately the same number of households.</del></p> <p><u>Housing First Initiative.</u></p> <p><u>In 2017, the City of Riverside adopted the Housing First concept and directed staff to identify potential Housing First sites for development. Staff secured LeSar Development Consultants to assist with the drafting of the Housing First Strategy Plan, which included three development sites in each of the seven City Council Wards for Housing First units. In the Plan, the City is proposing to pursue the creation of nearly 900 units of housing to meet the needs of the current unsheltered count of 389 persons highlighted in the 2017 Point-in-Time Count. To achieve this goal, the City has committed to Housing First as a best practice approach to address homelessness, and specifically to using the supportive housing intervention that is characterized as deeply affordable housing paired with wrap-around supportive services targeted at hard-to-serve homeless households with a disability. Supportive housing has proven effective in ensuring housing stability of formerly homeless households and limiting returns to homelessness. Additionally, many studies have demonstrated the cost effectiveness of providing housing and services that lead to decreased utilization of high-cost public systems, including emergency services, health care, and criminal justice.</u></p> <p><u>During 2017, the draft plan was presented to community and business groups and released to the general public for public comment. The public comment period closed on February 12, 2018. On March 13, 2018, the City Council approved the Housing First Plan.</u></p> <p>The City continues to operate <del>fifteen</del><u>sixteen</u> permanent supportive housing units, of which <del>73</del> units are located at <del>1725</del> and 1833 7th Street, <del>5</del> units are located at 1740 Loma Vista Street and 3252 Loma Vista Lane, and the remaining 8 units are located at the Autumn Ridge Apartments located on Indiana Avenue.;</p>
	<p><b>Permanent Supportive Housing Program</b> - Continue the operation of the <del>nineteen</del><u>sixteen</u> permanent supportive housing units the City acquired through the HUD Continuum of Care Supportive Housing Program (SHP) which supported the acquisition, development, and operations of the housing projects.</p>	<p><b>Housing Authority</b></p>	<p>On-going</p>	<p>H-4 H-4.4</p>	

Completed                      On-going                      In Progress

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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p><b>Riverside Access Center</b> - Continue to operate and expand Riverside Access Center, the centralized environment of housing and supportive services designed to assist homeless individuals and families to address their issues and achieve housing stability.</p>	<p><b>Housing Authority</b></p>	<p>On-going</p>	<p>H-4 H-4.4</p>	<p>The <u>Riverside Community Access Center</u> serves as the entry point and service hub of the City's homeless continuum of care. At the Access Center there are a range of services under-one-roof including street outreach, rental assistance, client stabilization resources, employment development, health care, veterans' services, life skills training, legal services, computer resources and phones, housing placement, and homeless prevention resources. Referrals are available such as mental health services, benefits enrollment, substance abuse recovery, education services, and financial counseling. Transportation is available on a case by case basis. All services are coordinated through a centralized data management system and collaborative team case management.</p> <p>The following courses are also offered at the Access Center:</p> <p><b><u>Presentations</u></b></p> <ul style="list-style-type: none"> <li>❖ Parenting</li> <li>❖ Nutrition Classes</li> <li>❖ Stroke Prevention</li> <li>❖ Smoking Cessation</li> <li>❖ Proper Care for Asthma</li> <li>❖ Veterans Housing Support</li> <li>❖ Legal Aid Assistance. Topics including, but not limited to:             <ol style="list-style-type: none"> <li>1. Mainstream benefits</li> <li>2. Veterans benefits</li> <li>3. Family Services</li> <li>4. Tenant/Landlord issues</li> </ol> </li> </ul> <p><b><u>Other Services Provided</u></b></p> <ul style="list-style-type: none"> <li>❖ HIV 101 and testing (Health in Motion)</li> <li>❖ One-on-One financial counseling</li> <li>❖ Internet job search and readiness</li> <li>❖ Veterans Administration</li> </ul>
	<p><b>Path of Life Ministries (POLM)</b> - Continue to support Emergency and Family Shelter services provided by Path of Life Ministries in the City of Riverside.</p>	<p><b>Housing Authority &amp; CDBG</b></p>	<p>On-going</p>	<p>H-4 H-4.4</p>	<p><u>POLM continues to operate the Year-Round Emergency Shelter Program</u>, which provides 64 beds on a year-round basis connected with case management services for homeless men and women for up to 30 continuous days. In FY <del>2013/14</del> <u>2016/17</u> a total of <del>420</del> <u>431</u> unduplicated homeless individuals received assistance through the shelter.</p>

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
					The Cold Weather Shelter Program, also operated by POLM, operates from December through mid-April, provides an additional <del>72-84</del> beds on a night-by-night basis under the federal cold weather shelter initiative to prevent hypothermia. During the FY <del>2018-19</del> <del>2016/17</del> cold weather season, <del>569399</del> additional unduplicated homeless individuals were served through the cold weather program
H-46	Continue to support the Building Industry Association's (BIA) program HomeAid Inland Empire. HomeAid is a leading national non-profit provider of housing for today's homeless. The organization builds and renovates multi-unit shelters for the temporarily homeless families and individuals, many of whom are children, while they rebuild their lives.	<b>Building Industry Association of the Inland Empire</b>	On-going	H-4 H-4.4	
H-47	Process an amendment to the Zoning Code (Title 19) to permit supportive and transitional housing in all zones where residential uses are permitted pursuant to the requirements of SB 2.	<b>Planning Division</b>	Concurrently with the rezoning program, December 2017.	H-4 H-4.4	On January 9, 2016, the City Council adopted Ordinance No. 7408 amending the City's Zoning Code to permit supportive and transitional housing in all zones where residential uses are permitted pursuant to the requirements of SB 2. See Ordinance 7408 at: <a href="https://aquama.riversideca.gov/clerkdb/0/doc/251789/Page1.aspx">https://aquama.riversideca.gov/clerkdb/0/doc/251789/Page1.aspx</a>
<b>Housing for People with Disabilities</b>					
H-48	Continue to support the Mayor's Model Deaf Community Committee which promotes unity between Riverside's deaf and hearing community, promoting access, advocacy, education, and inclusion.	<b>Mayor's Office</b>	On-going	H-4 H-4.5	

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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# HOUSING ELEMENT

## TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
H-49	Continue to support the Commission on Disabilities whose members advise the Mayor and City Council on all matters affecting persons with disabilities in the community. The Commission reviews community policies, programs, and actions that affect persons with disabilities and make appropriate recommendations to the City Council.	<b>General Services Department</b> City Attorney Office	On-going	H-4 H-4.5	
H-50	Continue to provide expert analysis of the disabled access requirements of the Building Code during the plan review process so that developers will have clear directions on how to construct their projects. Such expert analysis, provided early in the development process will limit conflicts in the field during construction, saving the developer time, money, and resources by avoiding unnecessary changes.	<b>Building Division</b> Planning Division	On-going	H-4 H-4.5	
H-51	Support the ability of persons with developmental disabilities to live in integrated community settings. The City will work with the Inland Regional Center and other appropriate non-profit organizations and service agencies to identify the housing needs of Riverside residents with developmental disabilities, promote opportunities for supportive living services and support efforts to eliminate barriers to housing for persons with developmental disabilities.	<b>Housing Authority</b> Planning Division Building Division	Ongoing	H-4 H-4.5, H-4.6	
H-52	In an effort to create additional opportunities for affordable housing, the City will facilitate lot consolidation to combine small residential lots into larger developable lots. Eligible lots must meet the following criteria: ◆ Small lots must be contiguous with	<b>Planning Division</b>	Consentment with rezoning implementation in Tool H-241, December 2017 complete	H-2	On January 9, 2018, the City Council adopted Resolution No. 2018-01 amending the City's fees and charges schedule in Resolution No. 21960, as amended, providing for a waiver of lot merger/lot consolidation fees for Housing Element rezoning sites. The waiver is intended to facilitate site consolidation to combine small residential parcels into larger, developable parcels to provide for affordable housing opportunities. Eligible parcels must

**Completed**      **On-going**      **In Progress**

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# HOUSING ELEMENT TOOLS FOR IMPLEMENTING THE RIVERSIDE GENERAL PLAN 2025



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress/Implementation Details
	<p>other lots that create the opportunity for development of at least 16 units on the site (all combined parcels)</p> <ul style="list-style-type: none"> <li>The small lot must have the same owner as one or more of other parcels; it is aggregated with (enough of) the parcels to create the opportunity for 16 units on the small parcel combined with the other parcel or parcels.</li> </ul> <p>The City will allow lot consolidation without discretionary review on the eligible sites and will waive fees for lot consolidation.</p> <p>Table D-2 in Appendix D shows small sites eligible for application of these regulations <b>bolded and in italics</b>.</p>				<p>lot conditions with other parcels that create the opportunity for development of at least 16 units, and the small parcels must have the same owner as one or more of the parcels with which aggregated with. Combined together, the parcels must create the opportunity for 16 units. See Resolution No. 230524 at: <a href="https://aquanix.riversideca.gov/clk/dtd/d/doc/230524/Parcel.aspx">https://aquanix.riversideca.gov/clk/dtd/d/doc/230524/Parcel.aspx</a></p>
H-51	Process an amendment to the Zoning Code (Title 19) and/or any applicable specific plans, to define single-room occupancy (SRO) units and permit them with a conditional use permit in an appropriate zone or zones near transit stations, and along high quality transit corridors in compliance with AB 2634.	<b>Planning Division</b>	<i>First Quarter 2018 Complete</i>	H-4 H-4.1	<p>On January 9, 2018, the City Council adopted Ordinance No. 2408 amending the City's Zoning Code to define single-room occupancy (SRO) units and permit them with a conditional use permit in the Mixed-Use Urban (MU) Zone in compliance with AB 2634. See Ordinance 2408 at: <a href="https://aquanix.riversideca.gov/clk/dtd/d/doc/251709/Parcel.aspx">https://aquanix.riversideca.gov/clk/dtd/d/doc/251709/Parcel.aspx</a></p>

Completed	On-going	In Progress
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# HOUSING TECHNICAL REPORT

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## INTRODUCTION

### BACKGROUND

**H**ealthy and strong neighborhoods with an adequate supply of quality and affordable housing are fundamental to the economic and social well-being of Riverside. The State of California recognizes the importance of housing and thus legislates requirements for cities to contribute to developing and implementing solutions to meeting their local and regional housing needs.

All California communities are required by state law to prepare a Housing Element to address their local housing needs and their assigned share of the region's need for housing. Specifically, Sections 65580 to 65589 of the California Government Code require that each city identify and analyze existing and projected housing needs and prepare a series of goals, policies, and quantified objectives, financial resources and scheduled programs to further the development, improvement, and preservation of housing.

To that end, state law requires that the housing element address the following goals:

- ❖ Identify adequate sites to facilitate and encourage housing for households of all economic levels, including persons with disabilities.
- ❖ Remove, as legally feasible and appropriate, governmental constraints to housing production, maintenance, and improvement.
- ❖ Assist in the development of adequate housing for low and moderate income households.
- ❖ Preserve for lower income households the publicly assisted multiple-family housing developments in each community.
- ❖ Conserve and improve the condition of housing, including existing affordable housing.
- ❖ Promote a range of housing opportunities for all individuals and households in Riverside regardless of status.





# HOUSING TECHNICAL REPORT

## ORGANIZATION OF DOCUMENT

The Housing Element is designed to meet all the requirements set forth in state housing element law. For ease of reading and distribution to the public, developers, decision makers, and others, the Riverside Housing Element is organized into three volumes: the Housing Technical Report, Housing Plan, and Implementation Plan (Part of the General Plan 2025 Implementation Plan, Appendix A).

### **Housing Technical Report**

The Housing Technical Report provides the background data necessary to understand the context for housing planning in Riverside. The document contains a number of technical analyses that help define the type and magnitude of housing needs in the City. Specifically, the Housing Technical Report contains:

- ❖ An analysis of the City's demographic, housing, and special needs characteristics and trends.
- ❖ An analysis of potential market, governmental, and environmental constraints impacting the City's ability to address its housing needs.
- ❖ An inventory of land suitable to provide housing commensurate with the regional housing needs assessment.
- ❖ An evaluation of past accomplishments of the prior Housing Element.
- ❖ A summary of the public outreach program used to assess needs and develop responsive programs.

### **Housing Plan and Implementation Plan**

The Housing Plan provides a synopsis of information described and discussed in the Housing Technical Report as a foundation for discussing the future. It contains the City's goals and policies for housing its current and future residents. The Implementation Plan contains programs that will be implemented to address housing needs identified in the Housing Technical Report and Housing Plan. The Housing Element is a chapter of the Riverside General Plan 2025, and references to background information contained in the Housing Technical Report and programs in the Implementation Plan.



# HOUSING TECHNICAL REPORT



## RELATED PLANS

The City of Riverside Housing Plan, Technical Report and Housing Element build on and are consistent with a number of ongoing City planning efforts. These planning efforts are summarized below.

- ❖ **City Vision.** The General Plan 2025 is founded on guiding principles developed through community visioning (Visioning Riverside: A Report from the Community– Appendix B of the General Plan). The City’s vision governs how Riversiders create a livable place by fostering economic opportunities and preserving parks and open space assets, by how we live together in neighborhoods, how people get around the City, how we work, and how we achieve quality education for all. These principles, coupled with the City’s statement of inclusiveness, guide the Housing Element update.
- ❖ **General Plan 2025.** The General Plan 2025 is the City’s blueprint that is intended to guide the future development of Riverside consistent with its vision for the community. The General Plan 2025 contains 12 elements, of which the Housing Element is the third. The General Plan 2025 also contains elements on land use and urban design, circulation and community mobility, arts and culture, education, public safety, noise, open space and conservation, air quality, public facilities, parks and recreation, and historic preservation.
- ❖ **Specific Plans and Overlay Zones.** Riverside uses specific plans, overlay zones, and other implementation tools to guide development in focused areas. These include more than a dozen specific plans and a variety of different overlay zones. The Housing Element is an overarching document that bridges specific plans with the objectives and policies in the General Plan. Whereas the Housing Element provides a framework for housing Citywide, implementation tools provide guidance for specific areas of the City.
- ❖ **Housing Implementation Plans.** The City implements other plans that relate to the Housing Element. The Consolidated Plan guides the expenditure of federal funds for housing and community development activities, particularly low and moderate income households and persons with special needs. Up until January 31, 2012, the Redevelopment Housing Implementation Plan governed the expenditure of tax increment funds to support the rehabilitation, construction, and improvement of housing. The Riverside Redevelopment



# HOUSING TECHNICAL REPORT

Agency was dissolved in 2012, consistent with the dissolution of redevelopment agencies statewide. The Housing Authority of the City of Riverside is the Successor Housing Agency.

## CONSISTENCY WITH GENERAL PLAN 2025

The General Plan 2025 is internally consistent in that its objectives, policies, and implementation measures are consistent and support one another, and it is consistent with other planning efforts. The Housing Element maintains consistency as follows:

- ❖ **General Plan Consistency.** The 2014-2021 Housing Element builds on and is consistent with the other elements in the General Plan 2025. To maintain and emphasize consistency, the Housing Element references supporting policies contained in other chapters of the General Plan 2025. The City of Riverside will continue to maintain consistency between General Plan elements by ensuring that proposed changes in one element will be reflected in other elements when amendments of the General Plan 2025 are needed.
- ❖ **Water and Sewer Services.** The Riverside Public Utilities Department and Eastern Municipal and Western Municipal Water Districts provide water and sewer services in the City. The City will transmit the Housing Element to each provider upon adoption to ensure consistency with future master plans. These plans establish procedures for priority water and sewer service to projects with units affordable to lower income households if a shortage of capacity exists.
- ❖ **Safety and Conservation Elements.** As required by California law, local governments must amend their safety and conservation elements of the General Plan to include analysis and policies for flood hazard and management information upon the next revision of the housing element on or after January 1, 2009. The City revised the Public Safety Element and Open Space and Conservation Element in November 2012 as a result.





## HOUSING NEEDS ASSESSMENT

Population, housing, economic, and other characteristics and trends provide insight into the type and amount of housing needed in a community. This chapter explores these factors to develop a strong foundation for responsive housing programs in Riverside.

### OVERVIEW

After nearly a decade of improvements in the housing market, Riverside faces new challenges to meeting its current and future housing needs. A slowdown in the economy, the housing market boom and downturn, and others factors affect Riverside's ability to address its housing challenges. This housing needs assessment is designed to explore many of the factors that influence the City's housing needs and define the challenges to addressing these needs.

The housing needs assessment is divided into six sections, each providing information, and analysis that augments the discussion provided in the Housing Element.

- ❖ **Demographic Characteristics.** These include population growth and change, race and ethnicity, age characteristics, and household composition and type.
- ❖ **Economic Characteristics.** Employment patterns, household income and distribution, and other factors that affect the demand for housing and the ability to afford housing.
- ❖ **Housing Characteristics.** Inventory of housing, including its supply, characteristics, vacancy and tenure, housing prices, and affordability to residents of different income levels.
- ❖ **Special Needs.** Includes seniors, people with disabilities, large families, single-parent families, people who are homeless, and other special needs groups.
- ❖ **Housing Needs.** An assessment of existing housing needs of overpayment and overcrowding and housing production needs to accommodate future population and job growth.
- ❖ **Housing Preservation.** Analysis of publicly-subsidized affordable housing that is at-risk of conversion to market rate (non-affordable) rents during the planning period.





# HOUSING TECHNICAL REPORT

## DEMOGRAPHIC CHARACTERISTICS

### Population Trends

The City of Riverside ranks as the 12<sup>th</sup> most populous city in California, with 311,955 residents in 2013 according to the Department of Finance. Following World War II, the City grew by 2% to 3% annually. From the 1960s through 1970s, the population growth rate averaged 8% to 9% annually as large tracts of land were developed. During the following four decades, including the unprecedented housing boom of the 2000s, the City continued to increase in population by 40,000 people each decade.

The City of Riverside is anticipated to continue increasing in population, with a buildout projection of 383,077 for the planning area, which includes the incorporated limits and sphere of influence. Of that total, a population of 346,867 is projected within the current incorporated boundaries of Riverside and the remainder of the population (36,210 residents) will be in the sphere of influence. The General Plan 2025 directs growth to existing specific plan areas, major transportation corridors, and other areas in the community that can accommodate growth that will benefit the City.

Table H-1 provides a summary of growth trends from 2008 through 2035 projections according to the Southern California Association of Governments (SCAG). The City's growth projections are consistent with the General Plan 2025 and the SCAG regional growth forecasts. Actual population growth may vary based on the type of development, market conditions, and other factors, but the general growth patterns are expected to remain consistent with these forecasts.

TABLE H-1  
RIVERSIDE GROWTH TRENDS, 2008-2035

Year	Number	
	Persons	Households
2008	295,500	91,400
2020	339,000	104,000
2035	382,700	117,800

Sources: SCAG 2012-2035 Regional Transportation Plan/Sustainable Communities Strategy Growth Forecast, Adopted by SCAG Regional Council 2012





## Age Characteristics

Resident age characteristics in Riverside affect housing needs. Although variations exist, younger adults often choose apartments, condominiums, and smaller single-family homes because they are more affordable. Middle-aged adults tend to prefer larger homes to accommodate families and children. Meanwhile, seniors may prefer condominiums or smaller single-family homes that have lower costs and need less maintenance.

The age distribution of Riverside residents changed significantly during the 2000s, as summarized in Table H-2. Most notable among the changes was the increase in the proportion of college-aged adults (18 to 24) and middle-aged adults (45-64). These changes provide insight into current housing needs.

TABLE H-2  
AGE CHARACTERISTICS

Age Group	2000		2011		Percent Change in Number
	Number of Persons	Percent of Total	Number of Persons	Percent of Total	
<18	76,548	30%	83,370	27%	8.2%
18-24	32,356	13%	44,567	15%	27.4%
25-34	37,071	15%	44,338	15%	16.4%
35-44	40,410	16%	40,277	13%	-0.3%
45-54	29,793	12%	39,914	13%	25.4%
55-64	16,355	6%	24,586	8%	33.5%
65+	22,560	9%	26,517	9%	14.9%
<b>Total</b>	<b>255,093</b>	<b>100%</b>	<b>303,569</b>	<b>100%</b>	<b>16.0%</b>

Source: US Census 2000; American Community Survey (ACS) 2007-2011.  
Note: Percentages are rounded.

The Public Policy Institute of California projects key age changes in the Inland Empire. By 2015, seniors will increase as the largest baby boom cohort reaches 55-59 years of age and the leading edge of the baby boomers reaches 69 years old. This group (seniors) is anticipated to more than double. The Inland Empire is also projected to see an increase in the echo of the baby boom (adults 20-34 years old), who will increase by more than 70%. This baby boomlet generation will include many young adults who continue to migrate to the Inland Empire. As the baby boomlet generation reaches prime childbearing years, the number of children younger than five years old will increase by more than 50% between 2000 and 2015.





# HOUSING TECHNICAL REPORT

## Race and Ethnicity

Riverside, like most southern California cities, continues to experience significant changes in the racial and ethnic composition of residents. During the 1990s, the White population declined from 61% to 46% of the population, although still comprising the largest single race and ethnic group. From 2000 to 2011, the number of White residents decreased to 32% of the population and Hispanics increased more than 65,000 residents. Asian residents increased in number while the number of Black residents declined between 2000 and 2011, and their share of the population remained at about 6% each.

TABLE H-3  
RACE/ETHNICITY CHARACTERISTICS

Race/ Ethnicity	2000		2011		Percent Change 2000-2006
	Number of Persons	Percent of Total	Number of Persons	Percent of Total	
White	116,149	46%	100,894	32%	-5%
Hispanic	97,539	38%	163,543	52%	21%
Black	17,403	7%	17,335	6%	0%
Asian	14,738	6%	20,384	6%	2%
Other	9,264	4%	11,544	4%	1%
<b>Total</b>	<b>255,093</b>	<b>100%</b>	<b>313,700</b>	<b>100%</b>	<b>19%</b>

Source: US Census 2000; ACS 2007-2011.

Note: Percentages are rounded.

Racial and ethnic change reflects a variety of factors including fertility rates and domestic migration. These changes shape housing needs to the extent that housing needs and preferences vary based on household and cultural preferences among different ethnic groups. For example, Hispanics have a larger average household size compared to Whites (4.16 versus 2.52 persons) and a lower median household income (\$52,000 versus \$65,000). Thus, a large increase in Hispanic households would result in a different housing need than the same increase in White households.

The City of Riverside is clearly becoming more diverse, not only with respect to age but also with respect to race and ethnicity. In an effort to recognize and celebrate diversity in the City of Riverside, the Mayor's Multicultural Forum adopted the "Building a More Inclusive Riverside Community" statement in June of 2001. This statement affirms both the opportunities and challenges in building an inclusive



community and the responsibilities of residents, businesses, institutions, and policymakers in Riverside’s future. This statement can be found at <http://www.riversideca.gov/mayor/inclusive.asp>.

## Household Characteristics

Household types also influence housing preferences and needs. For instance, single-person households often occupy smaller apartments or condominiums, such as one-bedroom units. Couples often prefer larger single-family homes, particularly if they have children. These patterns underscore the need to provide diverse housing opportunities that allow all types of households the opportunity to live in Riverside in housing suited to their different needs.

Table H-4 describes changes in household characteristics. The 2010 Census reported 91,932 households residing in Riverside, an 12% increase since 2000. Families continued to account for 71% of all households. Perhaps the most significant trend since 2000 was the significant increase in nonfamily households, which refers to singles and unrelated individuals living together as households. This trend is significant because this group tends to earn lower incomes than other family households.

### Defining Households

The Census provides a number of definitions for different types of households. A household refers to all members living in a home. A family household comprises persons related through birth, marriage, or adoption. A nonfamily household comprises unrelated persons living together or one person living alone. Other family household refers to related individuals living together.

TABLE H-4  
HOUSEHOLD CHARACTERISTICS

Household Type	2000		2010		Percent Change in Number
	Number of Hhlds	Percent of Hhlds	Number of Hhlds	Percent Hhlds	
Total Households	82,128	—	91,932	—	12%
<b>Family Households</b>					
Married w/child	23,654	29%	25,532	28%	8%
Married no/child	18,000	22%	19,866	22%	10%
Other Families	16,980	21%	20,217	22%	19%
<b>Nonfamily households</b>					
Single Persons	17,550	21%	8,055	9%	-54%
All Others	5,944	7%	18,262	20%	207%
Average Size	3.1	—	3.18	—	2.5%

Source: US Census 2000 and 2010.  
Note: Percentages are rounded.



# HOUSING TECHNICAL REPORT

Many Riverside residents are not counted as “households” because they live in group quarters, such as residential care facilities, student dormitories, nursing homes, etc. In 2000, 7,798 people lived in institutional settings (e.g., nursing homes, correctional institutions, etc.) and non-institutional settings (e.g., college dormitories). By 2011, the group-quarters population was 9,695, partially due to changes in the definition used by the Census Bureau for such quarters.

## ECONOMIC CHARACTERISTICS

### Employment Market

The Riverside-San Bernardino region has experienced significant economic changes. Base realignment, slowdown in the manufacturing and construction sectors, and unemployment characterized the Inland economy during the early 1990s. By the late 1990s, this trend reversed, as the economy rebounded with significant growth in most sectors, particularly housing. In the late 2000’s, the economy receded, fueled by the financial credit crisis and downturn in the housing market. The economy has recently seen a slow upswing.

Shown in Table H-5, Riverside’s economy is dominated by the Education sector, which provides 28% of all jobs. The Professional sector make up the next highest sector at 13%, followed by Retail at 12%. The Public sector provides 8% of all jobs while, Manufacturing and Leisure sectors each comprise of 7% of all jobs.

TABLE H-5  
INDUSTRIES IN RIVERSIDE, 2011

Employment Sector	Percent
Education	28%
Professional	13%
Retail	12%
Public	8%
Leisure	7%
Manufacturing	7%
Construction	6%
Other	4%
Finance	4%
Wholesale	4%
Transportation	4%
Information	2%
Agriculture	1%
<b>Total</b>	<b>100%</b>

Source: SCAG, Profile of the City of Riverside, May 2013.

Note: Percentages are rounded.

Much like the defense and manufacturing industry restructuring of the 1980s and 1990s, Riverside’s local economy is restructuring in



response to national and regional trends in the housing market, the financial crisis, and the national and global economies.

## Occupations Held by Residents

Table H-6 shows the occupations held by Riverside residents and associated average wages. As of 2011, management, business, science, and arts positions comprised 32% of all jobs and paid a median wage of more than \$63,800. Sales and office occupations comprised 25% of the workforce and paid a median annual income of \$35,660. Service occupations comprised 17% of all jobs and paid a median income of about \$25,202.

TABLE H-6  
JOBS HELD BY RIVERSIDE RESIDENTS

Subject	Total Employment	Percent of Work Force	Full-time Employment	Median Wage for FTE
Management, business, science, and arts occupations	40,623	32%	27,658	\$63,814
Sales and office occupations	32,005	25%	20,002	\$35,660
Service occupations	21,390	17%	10,890	\$25,202
Production, transportation, and material moving occupations	20,282	16%	14,371	\$31,860
Natural resources, construction, and maintenance occupations	14,747	11%	10,272	\$40,188
<b>Total Employment</b>	<b>129,047</b>	<b>100%</b>	<b>83,193</b>	<b>\$40,545</b>

Source: ACS 2007-2011.

Note: Percentages are rounded.

FTE=Full Time Equivalent

Though many residents are employed in higher wage managerial and professional occupations, 54% of residents work outside of the City. According to a 2001 survey, housing affordability and quality and size of homes available in western Riverside County are major reasons why people move to and remain in Riverside.<sup>1</sup> Moreover, respondents indicated that they would endure their current commute because wages for the same job was higher in neighboring counties. If local

<sup>1</sup> Godbe Research and Analysis, *Western Riverside County Inter-Regional Commuter Focus Group Study*, 2001.



# HOUSING TECHNICAL REPORT

wages become more comparable, a portion of residents who commute may be willing to consider local employment.

## Household Income

Household income is the most important factor, although not the only one, affecting housing opportunity because it determines a household's ability to afford housing costs along with other necessities. Riverside's median household income was \$65,000 in 2013, up 36% from \$41,600 since 2000. Shown in Table H-7, the majority of owner-occupied households in Riverside earn above \$50,000, while the majority of renter-occupied households in Riverside earn less than \$50,000.

TABLE H-7  
HOUSEHOLD INCOME GROUPS

Income Group	2007-2011 ACS		Percent in each Income Group		Percent of Total Households	
	No. of Persons	Percent of Total	Percent Owners	Percent Renters	Percent Owners	Percent Renters
< \$14,999	9,075	10%	26%	74%	4%	18%
\$15,000 to 24,999	8,753	10%	35%	65%	6%	15%
\$25,000 to 34,999	8,844	10%	48%	52%	8%	12%
\$35,000 to 49,999	12,665	14%	51%	49%	12%	17%
\$50,000 to 74,999	17,798	20%	58%	42%	19%	20%
\$75,000 to 99,999	12,445	14%	72%	28%	17%	9%
Above \$100,000	20,666	23%	86%	14%	33%	8%
<b>Total</b>	<b>90,246</b>	<b>100%</b>	<b>59%</b>	<b>41%</b>	<b>100%</b>	<b>100%</b>

Source: ACS 2007-2011.

Note: Percentages are rounded.

As shown below in Table H-8, non-family households comprise 28% of all households and earn the lowest median household income at \$35,468. Married couples with no children comprise 25% of households and earn the highest median income at \$79,577. Married couples with children make up the second largest group and earn \$70,745.





TABLE H-8  
INCOME BY HOUSEHOLD TYPE

Household Type	Number of Households	Percent of Total	Median Income
Married with children	23,813	26%	\$70,745
Married with no children	22,599	25%	\$79,577
Other family	18,876	21%	\$41,533
Nonfamily	24,958	28%	\$35,468
<b>Total</b>	<b>90,246</b>	<b>100%</b>	<b>\$64,618</b>

Source: ACS 2007-2011.

Note: Percentages are rounded.

## Household Income Distribution

For housing planning and funding purposes, the State Department of Housing and Community Development (HCD) uses five income categories to evaluate housing need. The specific income thresholds for each category are based on the median family income (MFI) for four-person household for Riverside County of \$65,000 as of 2013.

This translates into the following income thresholds.

- ❖ Extremely Low: earning below 30% of MFI or \$19,500
- ❖ Very Low: earning 31 to 50% of MFI or \$32,500
- ❖ Low: earning 51 to 80% of MFI or \$52,000
- ❖ Moderate: earning 81 to 120% of MFI or \$78,000
- ❖ Above Moderate: earning over 120% of MFI

For purposes of Housing Element law, extremely low income and very low income are often combined into one income category, referred to as very low income. In other cases, the extremely low, very low and low income categories are combined into one category, called lower income. These terms are used interchangeably in the Housing Element depending on the subject discussed and applicable state law.

The Comprehensive Housing Affordability Strategy provides a comparison of household income, adjusted for household size as of 2010, for every community in the country. Table H-9 shows the income distribution of Riverside households which differs by tenure. The majority of homeowners earn above moderate incomes while renters are more evenly distributed amongst the income groups. However, a greater percent of renters earn extremely low, very low, or lower incomes, than homeowners.





# HOUSING TECHNICAL REPORT

TABLE H-9  
HOUSEHOLD INCOME BY TENURE

Income Group	Owner Households		Renter Households		Total Households	
	Number	% of Total	Number	% of Total	Number	% of Total
Extremely Low	2,840	5%	7,155	19%	9,995	11%
Very Low	4,185	8%	6,400	17%	10,585	12%
Low	7,550	14%	8,430	22%	15,980	18%
Moderate	5,375	10%	4,720	13%	10,095	11%
Above Moderate	33,300	63%	10,910	29%	44,210	49%
<b>Total</b>	<b>53,250</b>	<b>100%</b>	<b>37,615</b>	<b>100%</b>	<b>90,865</b>	<b>100%</b>

Source: 2006-2010 HUD CHAS, Table 7.  
Note: Percentages are rounded.

## HOUSING CHARACTERISTICS

### Housing Type

A certain level of diversity in housing stock is an important factor in encouraging adequate housing opportunity for Riverside’s residents. A more diverse housing stock helps to ensure that all households, regardless of their particular income level, age group, or size, have the opportunity to find housing that is best suited to their needs. A diverse housing stock can also attract new employers looking to house their existing employees or employ a local workforce.

Single-family homes comprise two-thirds of Riverside’s housing stock, with attached units, such as townhomes, comprising 4%. The low level of single-family attached products is due in part to the lower prices of land and higher market demand for single-family homes. Multiple-family units, primarily apartments, comprise 29% of the housing stock, with the majority in complexes with five or more units. Mobile homes comprise the remaining 2% of the housing stock.

According to the General Plan 2025 Program and EIR, the buildout for housing is 127,692 units, which includes 115,622 units within the incorporated limits and 12,070 units in the sphere of influence. The type of growth will be a product of the zoning, expansion plans of educational institutions, age characteristics of the population, economic conditions, and the type of associated housing demand. Table H-10 illustrates the characteristics of housing in Riverside.







TABLE H-10  
HOUSING CHARACTERISTICS

Housing Type	2000		2011		% Change 2000-2011
	Number of Units	Percent of Total	Number of Units	Percent of Total	
<b>Single-Family</b>					
Detached	54,484	63%	64,176	65%	15%
Attached*	4,185	5%	3,888	4%	-8%
<b>Multiple-Family</b>					
2-4 units	5,743	7%	6,015	6%	5%
5+ units	19,181	22%	22,966	23%	16%
<b>Mobile Homes*</b>	2,381	3%	2,267	2%	-5%
<b>Total</b>	<b>85,974</b>	<b>100%</b>	<b>99,312</b>	<b>100%</b>	<b>13%</b>

Source: CA Department of Finance 2000 and 2011, DP-4.

Notes: Although not counted as independent units, the City has a number of care facilities, college residence halls, rehabilitation centers, etc. As of 2008, the Department of Finance estimates that 9,150 residents live in group quarters.

\*The decline in units could be due to a miscount in 2000 or demolitions. Percentages are rounded.

## Housing Tenure

Housing tenure refers to whether a unit is owned, rented, or vacant. Tenure is an indicator of well-being, because it reflects the cost of housing and the ability of residents to afford housing. From 2000 to 2010 the homeownership rate fell slightly to 56% (Table H-11). Riverside's lower homeownership rate is due in part to the location of major universities, the City's proximity to employment centers, the type of housing offered in Riverside, and the higher cost of ownership housing relative to other inland cities.

TABLE H-11  
TENURE CHARACTERISTICS

Tenure	2000	2010	Change
Owner-Occupied Units	46,455	51,185	9%
Renter-Occupied Units	35,550	40,747	13%
Homeownership Rate	57%	56%	-2%
Owner Vacancy	1.9%	2.4%	0.5%
Rental Vacancy	4.8%	7.4%	2.6%
<b>Total Vacancy</b>	<b>4.6%</b>	<b>6.6%</b>	<b>30%</b>

Source: US Census 2000 and 2010.

Note: Percentages are rounded.

The housing vacancy rate measures the health of the housing market, indicating whether the demand for housing matches available supply.



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The SCAG uses an “optimal vacancy rate” of 1.5% to 2.0% for single-family homes and 5% to 6% for multiple-family units in its regional housing needs planning. Below optimal vacancies indicate a housing shortage that cause housing prices to rise, while the converse indicates a housing surplus that causes prices to fall. Riverside’s housing vacancy rate is currently higher than the optimal.

In 2002, the Mayor appointed a Homeownership Task Force to examine ways to raise the homeowner occupancy in the city as a way to ensure Riverside remains a well-balanced community of economic opportunity, diversity, good neighborhoods, and stable institutions. The Committee developed 39 recommendations and many of these recommendations were accomplished over the course of the following five years. The Task Force reconvened in 2007 to assess the situation and develop further recommendations that would increase homeownership to 60% of households.

### **Housing Size**

The characteristics of housing play an important role in determining whether a sufficient type of housing is available for residents. Housing should be of sufficient size that matches the needs of different types of households. Without a relative degree of match, households will have to find smaller than optimal housing units, typically leading to overcrowding, or pay for larger units than necessary, typically leading to overpayment.

During the 2000s, the number of households increased 11% citywide. The average household size increased only slightly from 3.1 to 3.18 persons; however, the composition changed significantly. Of particular interest, the number of large households increased by 23%. Single person households increased 4%, while small family households increased 9%. Some of these changes are due to household composition, income levels, and race and ethnicity.





TABLE H-12  
TRENDS IN HOUSEHOLD SIZE

Household Size	2000		2010		% Change 2000-2006
	Number of Hhlds	Percent of Total	Number of Hhlds	Percent of Total	
Single Person (1 person only)	17,583	21%	18,284	20%	4%
Small Family (2-4 persons)	49,295	60%	53,980	59%	9%
Large Family (5 or more)	15,201	19%	19,668	21%	23%
<b>Total</b>	<b>82,079</b>	<b>100%</b>	<b>91,932</b>	<b>100%</b>	<b>11%</b>

Source: US Census 2000 and 2010.

Note: Percentages are rounded.

According to the 2011 ACS, 21,451 large ownership units with four or more bedrooms are available in Riverside. In comparison, Riverside has 19,668 large families with five or more members. This yields a surplus of nearly 1,783 ownership units with four or more bedrooms that are presumably occupied by smaller families. In contrast, Riverside has 3,388 rental units with four or more bedrooms, and there are 11,161 large renter households. This suggests a shortage of rental units capable of accommodating large families without overcrowding. Although many single-family homes can accommodate large renter families, an explicit goal of the City is to increase homeownership rates, which would necessitate the conversion of single-family homes that are renter-occupied to owner-occupied.

### Housing Age and Condition

Housing age is an important indicator of a home's condition. Like any asset, housing gradually deteriorates over time and requires repairs. If not maintained, housing can deteriorate and depress neighboring property values, discourage reinvestment, and eventually impact the quality of life in a neighborhood. Thus, maintaining the quality of housing is an important goal for Riverside.

As of 2011, the median age of homes in Riverside is approximately 30 years, generally reflective of growing cities. In the past few decades, the City has seen the buildout of many specific plan areas. However, the City also has a large percentage of older homes, reflective of the City's history that dates back to the early 1870s. Table H-13 shows the decade in which homes were built.





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TABLE H-13  
HOUSING AGE

Decade Built	Number of Units	Percent of Total
Built 2005 or later	4,553	5%
2000 to 2004	9,002	9%
1990-1999	10,385	10%
1980-1989	14,972	15%
1970-1979	19,353	19%
1960-1969	11,490	12%
1950-1959	18,545	19%
Built 1940 to 1949	4,408	4%
Built 1939 or earlier	6,623	7%
<b>Total</b>	<b>99,331</b>	<b>100%</b>

Source: ACS 2007-2011.

Note: Percentages are rounded.

Maintaining housing conditions is a fundamental priority of all cities. As an industry standard, homes older than 30 years typically begin to show maintenance and repair needs. Older homes, particularly more than 50 years, may need major rehabilitation work if not properly maintained. However, housing age is not the only indicator of housing conditions, particularly for cities such as Riverside that have a strong history of housing preservation and rehabilitation programs.

The U.S. Census, ACS, and City surveys provide an indication of housing repair and rehabilitation needs in Riverside. Because of the different methodologies used in each report, differences in housing conditions data cannot be reconciled. The point here is to provide the best available information, understanding limitations in data sources, to inform the development of housing policy and responsive programs.

These sources reference three substandard housing conditions:

- ❖ **Deficient Utilities.** Deficient utilities include a lack of complete plumbing, kitchen, or heating in a home. The 2011 ACS reported that an estimated 938 housing units lacked complete kitchen facilities, 1,577 units lacked heating, and 232 units lacked complete plumbing.
- ❖ **Structural Inadequacies.** Structural inadequacies refer to leaks, holes in floor or walls, sloping exterior walls, sagging roofs, crumbling foundations, and other similar issues. The 2011 American Housing Survey of the Riverside-San



# HOUSING TECHNICAL REPORT



Bernardino-Ontario Area reports 7% of units within the metropolitan area need roofing repairs and 4% of units have sloping walls, crumbling foundations, or open cracks or holes. Approximately 3% of housing units within the metropolitan area have moderate housing problems defined as problems with plumbing, heating, upkeep, and kitchens. Approximately 2% of households reported severe physical problems, which are typically structural in nature.

- ❖ **Lead-Based Paint.** Typically found in homes built before 1978, lead-based paint can lead to lead poisoning which can affect nearly every system in the body, leading to learning disabilities, behavioral problems, and medical conditions. Based on the 2007-2011 American Community Survey, 60,000 units were built before lead-based paint was banned.

The City is committed to ensuring compliance with building and property maintenance codes. The City Code Compliance and Neighborhood Livability programs help ensure quality neighborhoods and housing. The City works internally and with nonprofits to address the most problematic buildings. The City also implements a wide range of housing rehabilitation programs (e.g., historic home rehabilitation, Mills Act, and grant programs) to maintain and improve housing quality throughout the community.

## Housing Prices

The last decade has seen some of the most dramatic changes in the housing market, even in comparison to the 1980s and 1990s. From 1998 to 2006, the housing market soared, with single-family home prices increasing by more than 200% to an all-time high (see Figure H-1). Single-family homes were selling for a median price above \$400,000 and even much higher for custom homes. This trend resulted from increased access to mortgage financing, an imbalance of consumer demand versus supply, and sheer market speculation.

As the financial market declined, housing prices in Riverside fell, much like they did during the early 1990s (although to a greater depth). In 2012, the average sales price for existing homes was approximately \$212,000 for a single-family home, which includes planned residential developments. Condominiums now sell for an average of \$137,000 and mobile homes for \$44,400. New homes are still priced at higher levels, but the difference between existing and new homes has considerably narrowed.

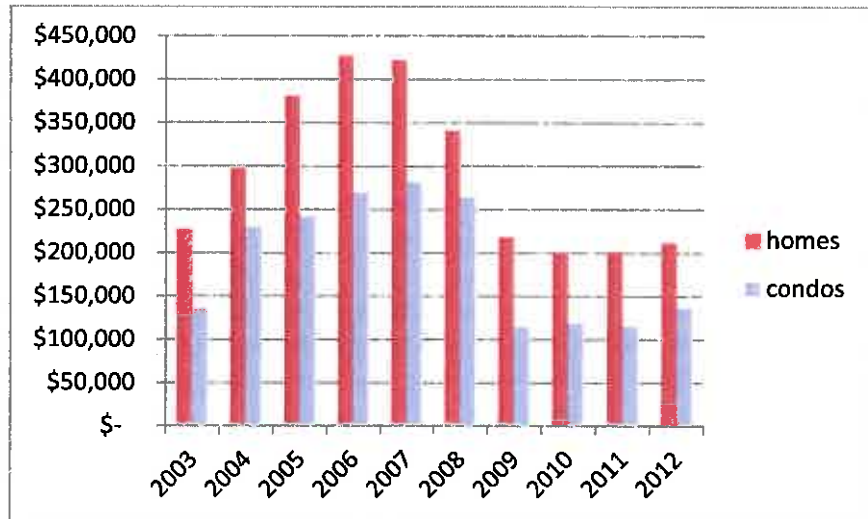
Figure H-1 summarizes the trends in the average price for single-family homes and condominiums from 2003 through 2012.





# HOUSING TECHNICAL REPORT

FIGURE H-1  
RIVERSIDE AVERAGE HOUSING PRICES, 2003–2012



Source: Zillow.com, accessed Oct 10, 2013.

Housing affordability refers to how much a household can afford to pay each month for housing. Typically, housing affordability is defined by mortgage lenders or government agencies as the ratio of housing expenses to income, referred to as a “cost burden.” It is assumed that households should not spend more than a certain proportion of income toward housing expenses; otherwise, they are deemed to be overpaying for housing.

In calculating housing affordability for homeowners, lenders may consider a variety of factors that relate to how much a prospective buyer can afford to pay each month toward a house payment.

These include:

- ❖ **Cost Burden.** Typically, the housing industry assumes that the maximum ratio of housing expenses to household income should be 30-40%. For example, the California Association of Realtors assumes that a new buyer should spend no more than 40% of income for housing. The California Health and Safety Code uses 35% as an appropriate cost burden. In summary, the amount varies widely depending on the program, lender, and the underlying assumptions. The City uses a 35% cost burden for its homeownership programs, so this standard is also used in this Housing Element.
- ❖ **Household Income.** The federal government conducts income surveys to determine affordable housing costs for



# HOUSING TECHNICAL REPORT



families of different sizes. HUD uses the “2+1 standard”; a home can accommodate two people per bedroom plus one occupant. Because this standard could allow for overcrowding, we assume an occupancy rate where two residents are assumed for the first bedroom, two persons for the second bedroom, and one per bedroom thereafter. Any unit having three or more bedrooms is assumed to accommodate a five person household. The only exception are senior units, which we assume accommodate no more than two persons.

- ❖ **Mortgage Expenses.** A lender considers certain homeowner expenses in the process of qualifying for and determining the mortgage loan and these expenses are part of a homeowners monthly mortgage payment. These include loan Principal, Interest, Taxes, and Insurance (PITI). This Housing Element assumes a standard 30-year FHA loan at a 5% interest rate although better loan terms may be available.
- ❖ **HOA Fees.** Typically, owners of condominiums or planned residential developments pay Homeowners Association (HOA) fees to cover the maintenance and repair of common grounds, pools, and recreational amenities. In some cases, these cover home repairs. Lenders have the option of including HOA fees in the mortgage qualification process or as an after-tax expense outside of the home mortgage qualification process.

The housing model includes the maximum affordable price that could be afforded by a household. When calculating the affordability of a specific housing project later in this report, however, the housing price equivalent of the project-specific HOA fee is deducted from the maximum affordable home price. So by way of example, if the maximum supportable home sales price is \$230,000 for a four person household and the planned residential project has a \$100 per month HOA fee, the price is reduced \$15,000 to \$215,000.

- ❖ **Tax Benefits.** Homeowners can deduct mortgage interest, taxes, and Property Mortgage Insurance (PMI). The tax savings can be calculated by: 1) multiplying the federal and state tax rate by the sum of mortgage interest, taxes, and PMI; and 2) subtracting the standard deduction for a household. Although many households also received state and federal tax credits, this was excluded in the affordability analysis.



# HOUSING TECHNICAL REPORT

TABLE H-14  
OWNERSHIP HOUSING AFFORDABILITY

Household and Unit Size	Maximum Affordable Payment by Household Size		
	Two Person 1 bdrm	Four Person 2 bdrm	Five Person 3 bdrm
Household Income			
Extremely Low	\$87,000	\$103,000	\$118,000
Very Low	\$145,000	\$182,000	\$196,000
Low	\$233,000	\$291,000	\$315,000
Moderate	\$339,000	\$424,000	\$458,000

Notes:

1. Based on the 2013 HCD Income Limits for a four-person household.
2. Assumes a 30-year fixed mortgage, 5% interest rate, standard housing expenses, and maximum payment of 35% of income toward housing.

## Rental Prices

In contrast to the market for single-family homes, apartment rents increased at a more moderate pace from 2000 to 2007. According to RealFacts surveys of projects of 100 units or more, asking rents for apartments increased 60% from 2000 to 2008, but then lost some of those gains from 2008 to 2010 (Figure H-2). This steady gain was due to demand from population increases in the community, particularly among younger adults ages 18–34. When adjusted for inflation, apartment rents have increased by 19% in real dollars.

As of 2013, apartment rents have moderated with the economy. Average asking rents are \$755 for a studio, \$969 for a one-bedroom unit, and \$1,221 for a two-bedroom two bathroom unit. Three-bedroom units rent for higher rents of \$1,480.

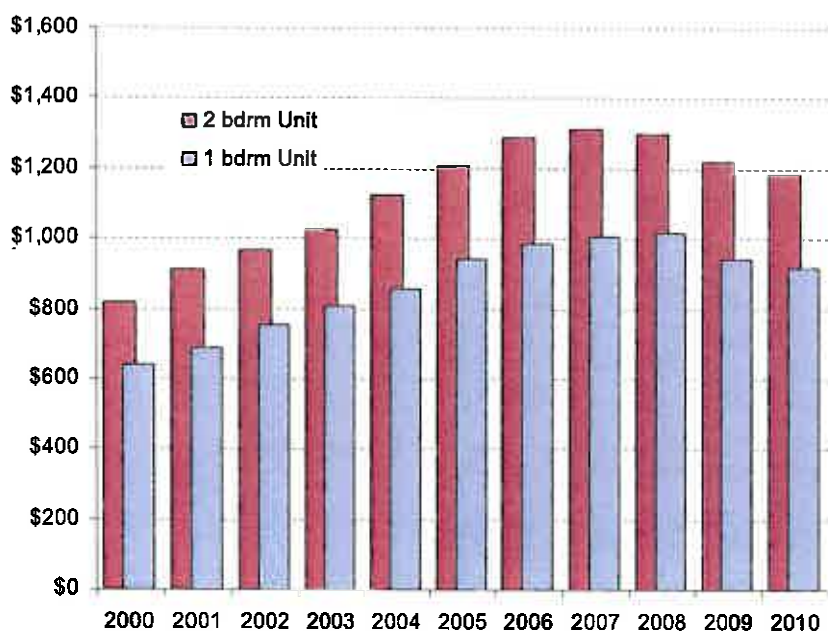
Figure H-2 summarizes the trends in the average asking rent for an apartment unit in Riverside from 2000 through 2010.







FIGURE H-2  
RIVERSIDE APARTMENT RENTS, 2000–2010



Source: RealFACTS (2000-2010)

Property owners typically consider three factors in determining how much a prospective renter can afford to pay each month toward a home. These are described below and summarized in Table H-15.

- ❖ **Cost Burden.** Typically, the housing industry assumes that the appropriate amount of income paid for housing should range from 30% to 40%. The federal housing choice voucher program generally requires 30%, but also may increase the cost burden to 40% under certain circumstances. However, many rental assistance programs recommend a 30% cost burden. The City assumes a 30% cost burden is appropriate and therefore this standard is used in this Housing Element.
- ❖ **Household Size and Income.** The federal government publishes median income levels for different sized households to determine the maximum rent that can be afforded.
- ❖ **Housing Expenses.** Housing expenses for renters include the monthly rent and tenant-paid utilities. Total utility costs or some part thereof should be included in the housing affordability calculation. For master-metered apartments, the majority of utility costs are included in the rent, while in apartments built to condo standards that are individually





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metered, the reverse occurs. Therefore utility costs are applied based on product type.

TABLE H-15  
RENTAL HOUSING AFFORDABILITY

Household Income	Maximum Affordable Payment by Household Size				
	1-person (Studio)	2 person (1 bdrm)	3 person (2 bdrm)	4 person (2 bdrm)	5 person (3 bdrm)
Extremely Low	\$353	\$403	\$453	\$503	\$544
Very Low	\$586	\$670	\$754	\$838	\$905
Low	\$939	\$1,073	\$1,206	\$1,340	\$1,448
Moderate	\$1,365	\$1,560	\$1,755	\$1,950	\$2,106

Notes:

1. Based on 2013 HCD Income Limits calculated by HUD for Riverside County.
2. Housing cost burden (rent to income ratio) of 30%.

## SPECIAL HOUSING NEEDS

Certain households in Riverside have greater difficulty finding decent, affordable housing due to their special circumstances. Special circumstances typically relate to one's income-earning potential, family characteristics, the presence of physical or mental disabilities, age-related health issues, and other factors. These groups often have lower incomes, housing overpayment and housing overcrowding. As a result, these household groups are considered to have special housing needs relative to the general population.

State Housing Element law defines "special needs" groups to include senior households, persons with disabilities, large households, female-headed households, farmworkers, and people who are homeless. This section also analyzes the needs of single-parent households. Due to their numbers in Riverside, college students are also considered to have special housing needs. Table H-16 summarizes the magnitude and trends of special needs groups in Riverside from 2000 to 2010.





TABLE H-16  
SPECIAL NEEDS GROUPS IN RIVERSIDE

Special Need Group	2000		2010	
	Number	Percent of Total	Number	Percent of Total
Senior Households <sup>1</sup>	14,036	17%	14,579	16%
Persons with Disabilities <sup>2</sup>	N/A	N/A	24,818	40%
Female-Headed Hhlds <sup>3</sup>	12,090	15%	21,465	23%
Single Parents <sup>4</sup>	10,138	12%	11,757	11%
Large Households <sup>5</sup>	15,201	19%	19,668	21%
Homeless Persons <sup>6</sup>	N/A	N/A	571	<1%
College Students <sup>7</sup>	24,206	14%	33,167	14%
Farmworkers <sup>8</sup>	2,194	1%	683	.8%

Source: US Census Bureau 2000 and ACS 2011 unless otherwise noted.

Notes:

1. Senior households have a householder 65 years or older.
2. Persons with disabilities includes persons 16 years or older. Census 2000 figures are not provided because the definition is not comparable to 2012.
3. Female indicated as the head of a household.
4. Single parent refers to adult living with related children.
5. Large households refer to family with five or more members.
6. Riverside County Homeless Count 2013; Year 2000 data is not provided since the definition and methodology for the count is not comparable to 2013.
7. US Census of residents enrolled in college, graduate, or professional school.
8. Employment Development Department 2002 and 2011 ACS.

## Senior Citizens

According to the 2007-2011 ACS, the City of Riverside has 26,517 residents ages 65 and above, comprising 9% of the population. Riverside’s senior population has increased since 2000, reflecting a combination of statewide and national demographic trends and the relative cost of housing inland compared to the Los Angeles-Orange metropolitan area. Seniors are anticipated to continue increasing in number as the baby boom generation ages.

Riverside’s senior population is quite diverse in tenure, income, and housing needs. In Riverside, 73% of senior households (10,604) own a home and 27% (or 3,975) rent housing. Forty five percent of the senior population is older than 75 years of age. Unlike past generations, many seniors are also still working full- or part-time jobs and some seniors are raising grandchildren.

Overall, some of the more pressing housing-related issues facing seniors in Riverside are:

- ❖ **Disabilities.** Seniors have the highest prevalence of disabilities of all age; about 33% of seniors have a disability. The presence





## HOUSING TECHNICAL REPORT

of a disability makes it more difficult to take care of life needs, including home maintenance.

- ❖ **Limited Income.** Based on the 2007-2011 ACS, approximately 59% of Riverside's senior households earn low income. Because of their fixed incomes, seniors have less ability to accommodate rising housing costs.
- ❖ **Overpayment.** According to the 2007-2011 ACS, More than 68% of senior renters and 32% of senior homeowners overpay for housing. Because of higher rates of overpayment, seniors have less ability to afford other necessities of daily life.
- ❖ **Affordable Housing.** Given lower incomes, higher cost burdens, and health care costs, many seniors have a need for affordable housing (both ownership and rental housing), transportation, and support services.

Providing appropriate housing and services for seniors has become an increasingly important issue for many communities. In past years, the baby boomer generation provided the impetus and majority of demand for single-family housing. However, as the baby boom generation ages, many communities will see an increased demand for all types of senior housing, from independent age-restricted housing for active lifestyles to assisted living settings for those requiring more supportive services.

### Senior Housing Options

The City recognizes the goal of providing services to enable seniors to "age in place," that is, to maintain their current residences for as long as possible. One model of senior housing does not exist, as no single model is right for every individual. Senior housing can be any number of arrangements in which seniors live as they age. These vary from assisted living, to aging in place, to an approach in which several seniors live in one home and pool their resources.

Table H-17 and the text below summarizes the housing opportunities that have been built and are available for seniors in Riverside. Additional senior units are in the planning stage.



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- ❖ **Age Restricted Apartments.** The City has 1,586 units of publicly assisted and deed restricted apartments affordable to seniors. Several are at-risk of conversion to market rates. These facilities are listed in the housing preservation section.
- ❖ **Assisted Living.** The City has approximately 61 facilities serving 1,287 elderly residents living in an assisted residential facility, often called a residential care facility for the elderly, licensed by the State of California.
- ❖ **Continuing Care.** These projects offer progressively higher levels of care for seniors. The Raincross project is one example that offers housing ranging from independent units to skilled nursing on the same campus.
- ❖ **Mobile Homes.** Three mobile home parks (Villa Magnolia (190 units), Riverside Meadows (353 units), and Mission Village (217 units) provide 760 mobile home units restricted to occupancy by persons older than 55 years of age.

TABLE H-17  
SENIOR HOUSING IN RIVERSIDE

Housing Options	Number of Projects	Units Available
Apartments	12	1,586
Assisted Living	61	1,287
Mobile homes	3	760

Source: Riverside County Network of Care, various rental listings.

## Available Services for Seniors

Seniors are often dependent on a wide variety of services. An increasingly important service is public transportation, as seniors age and decide to minimize the use of a car to access housing, social services, shopping, and other daily activities. The City, County, and other organizations provide a variety of fixed-route transit services, with reduced fares for Riverside seniors. Dial-A-Ride services are available to persons with disabilities and seniors unable to use the Riverside Transit Agency route buses. It is available Monday through Sunday during same hours of operation as local fixed-route bus service in the area.

Senior activities are offered at park and recreational facilities. These include the Dales Senior Center, the White Park Fairmount Adult Center at Fairmount Park, the Renck Center at Hunt Park, the Stratton



*Dales Senior Center*



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Center at Bordwell Park, and Ysmael Villegas Community Center at Villegas Park. The Janet Goeske Center provides a full spectrum of services and activities for Riverside seniors. The center has been serving the senior community for over 20 years. The Janet Goeske Senior/Handicapped Center is also the central meeting house for many services, activities and handicapped organizations.

The Riverside Office of Aging prepared a Strategic Plan on Aging for 2012-2016 that identified key housing and service issues facing seniors and set forth a plan to increase the availability and affordability of housing options and support services for seniors. The Office of Aging, working in partnerships with community-based organizations and private agencies, implements the strategic plan and offers services, including case management, transportation, food distribution, home repair assistance, and job referrals. The Office also produced *Housing Matrix: Affordable Housing in Riverside County For Seniors and Adults with Disabilities* in 2008 addressing senior housing needs.

The City's Commission on Aging was established to make recommendations to the City Council that will enhance the quality of life for seniors. In 2004, the commission made a number of specific recommendations, including the construction of new senior units. Four projects (TELACU Las Fuentes, TELACU El Paseo, Raincross, and Madison Villas) have been built, and several hundred entitled units are on hold until the housing market improves. The commission also recommended flexible zoning standards, the provision of services, and implementation of universal design standards in new housing.

The Commission continues to work with the mayor and City staff to help make Riverside more friendly to senior residents.

### **Persons with Disabilities**

The City of Riverside is home to many people who have disabilities that prevent them from working, restrict their mobility, or make it difficult to care for themselves. With the longer life expectancies seen today, most people will eventually have a disability that limits activities of daily living. This trend has made it increasingly necessary to allow for housing modifications, alternative housing options or to allow group arrangements where assistance can be provided.



# HOUSING TECHNICAL REPORT



TABLE H-18  
PERSONS WITH DISABILITIES

Type of Difficulty	Population under 5 years		Population 5 to 17 years		Population 18 to 64 years		Population 65 years and over	
	With a disability	Percent with a disability	With a disability	Percent with a disability	With a disability	Percent with a disability	With a disability	Percent with a disability
Hearing	185	0.80%	452	0.80%	3,615	1.80%	4,441	15.10%
Vision	80	0.40%	711	1.20%	2,455	1.20%	1,237	4.20%
Cognitive	-	-	1,623	2.70%	6,185	3.10%	2,524	8.60%
Ambulatory	-	-	244	0.40%	6,361	3.20%	5,753	19.60%
Self-care	-	-	586	1.00%	2,761	1.40%	2,242	7.60%
Independent living	-	-	-	-	6,147	3.10%	4,151	14.10%
Totals	265	1.20%	3,616	6.10%	27,524	13.80%	20,348	69.20%

Source: ACS 2012.

Data on the precise nature of a disability is very limited. However, it appears that disabilities are typically grouped as follows:

- ❖ **Disabilities.** The housing needs and arrangements for persons with disabilities vary widely. For the non-institutional population living with disabilities, the majority live within their own home or with family members. For those requiring specialized care, however, many will live in community care facilities or assisted living. Yet it is noteworthy that most people with even more moderate disabilities live in their own home. Approximately 33% of the persons with disabilities were 65 years and older.
- ❖ **Developmental Disability.** The housing needs and arrangements for developmentally disabled people depend on the age and severity of the condition. For minors, most live in a family home. Adults with developmental disabilities may live in a family home with independent or semi-independent life style, a community care facility, an independent or supportive living, or an immediate care facility.

SB 812, which took effect January 2011, amended State Housing Element law to require the analysis of persons with disabilities to include an evaluation of the special housing needs of persons with developmental disabilities. A "developmental disability" is defined as a disability that originates before an individual becomes 18 years old, continues, or can be expected to continue, indefinitely, and



## HOUSING TECHNICAL REPORT

constitutes a substantial disability for that individual. This includes mental retardation, cerebral palsy, epilepsy, and autism. The U.S. Census does not have specific information regarding persons with developmental disabilities. However, each nonprofit regional center contracted with the California Department of Developmental Services maintains an accounting of the number of persons served.

The Inland Regional Center serves persons in the City of Riverside, as well as other cities in the Inland Empire. The Inland Regional Center currently serves 2,741 persons with developmental disabilities in Riverside.

Persons with disabilities have unique challenges to accessibility and availability of housing options. Key considerations include:

- ❖ **Proximity to Services.** Onsite and offsite services such as transit, medical facilities, community facilities, shopping, etc.
- ❖ **Access to Transportation.** Persons with disabilities depend on transit for much of their needs, especially those who cannot or choose not to drive.
- ❖ **Housing Costs.** Typically on fixed incomes, persons with disabilities may have limited income for housing expenses.
- ❖ **Accessibility.** Accessible design allows for ease of access for persons with disabilities by providing one ground floor entrance and one ground floor restroom that is accessible.
- ❖ **Supportive Housing.** Supportive housing provides services and/or modifications to allow people with disabilities to live in independent settings. Cities should provide the zoning, development standards, and reasonable modification process necessary to facilitate the provision of housing best suited to the needs of people with disabilities.

### Housing Options for Persons with Disabilities

Providing sufficient quantity and quality of housing for people with disabilities is a significant challenge. Meeting this challenge requires a comprehensive strategy that focuses on facilitating independent living through in-home modifications, providing suitable housing through land use and zoning practice, enforcing current state and federal accessibility laws, increasing the supply of affordable housing, and facilitating a range of supportive services.





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For people with disabilities who require more specialized care offered in a group quarters setting, Riverside has facilities that provide more than 2,100 units for people with disabilities.

- ❖ **Children’s Facilities.** These include small family homes and group homes for disabled children and youth. This includes children with a developmental disability.
- ❖ **Adult Residential.** Facilities that provide 24-hour nonmedical care for adults ages 18–59 who are unable to provide for their own daily needs. Adults may be physically handicapped, developmentally disabled, and/or mentally disabled.
- ❖ **Residential Care for the Elderly (RCFE).** Facilities that serve persons 60 years of age and over and persons under 60 with compatible needs. RCFEs may also be known as assisted living facilities, retirement homes, and board and care homes.
- ❖ **Substance Abuse Recovery.** Facilities providing an environment where residents can reestablish their lives. This includes alcohol and drug rehabilitation facilities, sober living, and social rehabilitation facilities.

TABLE H-19  
RIVERSIDE CARE FACILITIES

Type of Facility	Clientele	Facilities with six or fewer residents		Large Facilities serving 7 or more	
		No.	Capacity	No.	Capacity
Family/Group Home	Children	13	56	1	17
Adult Day Care	Adults	0	0	13	760
Adult Residential	Adults	74	406	4	164
Elderly Residential	Adults	43	240	18	1,047
Alcohol/Drug Rehab	All ages	9	36	6	146
<b>Total</b>		<b>139</b>	<b>738</b>	<b>42</b>	<b>2,134</b>

Source: California Community Care Licensing Division; California Office of Alcohol and Drug Programs; varied other sources, Second Quarter 2013.



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## Available Services for Persons with Disabilities

The City of Riverside has established a Commission on Disabilities to advise the City Council on matters affecting persons with disabilities in the City; review community policies, programs, and actions that affect persons with disabilities; and help create a public awareness of the needs in areas such as housing, employment, and transportation. The commission's Web site (<http://www.riversideca.gov/cod/>) posts all its meetings and minutes for public review.

In 1999, the Mayor's Model Deaf Community Committee was also created to raise the profile of Riverside's deaf and hard-of-hearing community-many with ties to the California School for the Deaf, Riverside-and to encourage greater interaction and understanding with the wider community. The Model Deaf Committee discusses issues of interest to the deaf and hard-of-hearing community and proposes or hosts activities that raise awareness, promote programs, and encourage inclusion and interaction in civic life.

Several organizations provide a network of services to people with disabilities living in Riverside.

- ❖ **Community Access Center.** The Community Access Center in Riverside is designed to: empower persons with disabilities to control their own lives, create an accessible community, and advocate to achieve complete social, economic, and political integration. The Community Access Center provides a wide range of services and information, including housing referrals, to support choices that will positively affect a client's independence and productivity in society.
- ❖ **Inland Regional Center (IRC).** The IRC provides advocacy and assistance for developmentally disabled people. The California Housing Foundation (CHF) supports the mission of IRC by providing programs to encourage and enable the highest possible level of personal independence, choice, and productivity. CHF owns 3 homes that house 12 adults with developmental disabilities in the City of Riverside, and 39 homes in the Inland Empire that house over 150 adults with developmental disabilities.



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- ❖ **County of Riverside.** The County of Riverside is a lead agency that provides and coordinates services to people with mental health and substance abuse issues. The City assists many of the nonprofit organizations in this network with CDBG and HOME funds. The Annual Action Plan prepared by the City of Riverside provides a listing of the various services and community organizations funded each year.
- ❖ **City of Riverside and Riverside Transit Agency (RTA).** Both the Parks, Recreation and Community Services Department and the Riverside Transit Agency provide transportation services for persons with disabilities and seniors. The City provides the minibus. A citywide, Dial-A-Ride service, available to persons with disabilities and seniors unable to use the RTA route buses. It is available during the same hours as the fixed routes in the area

## Family Households

Providing decent and affordable housing for families is an important goal for Riverside. State law identifies three specific types of families as having special housing needs-female-headed households and large families with five or more members. This Housing Element also analyzes the needs of single-parent households. The reasons for their special need status may include lower incomes, the presence of children and need for financial assistance, and the lack of adequately sized housing.



The Census reported 21,465 female-headed households in Riverside in 2010, a large increase from the 12,090 in 2000. Of that total, the largest component was single-parent, female-headed families with related children living with them (8,924 households), whose median income was \$29,832, less than half that of two-parent households.

Cypress Springs Apartments, built in 2007, consists of 101 large-family units affordable to lower income tenants. Most units have 2, 3, and 4 bedrooms. Cypress Springs offers a variety of amenities, including childcare services provided by the Carolyn E. Wiley Center for Children, Youth & Families. The property is also home to the Blindness Support Training Center, operated by Blindness Support Service. Other services include a computer learning center, community room, and recreational amenities.

The 2007-2011 ACS reported 17,662 large households, of which 38% rent and 62% own a home. Large families with moderate and above moderate incomes have few housing problems, but lower income families (in particular, renters) experience the greatest severity of housing problems. The 2006-2010 Comprehensive Housing Affordability Strategy (CHAS) reports that 91% of lower income large renter families and 54% of lower income large owner families experience overpayment.

The City of Riverside offers a number of deed-restricted affordable housing projects for families. Table H-20 summarizes the number of housing units that are deed restricted as affordable to lower (extremely, very low, and/or low) income households. This list does



# HOUSING TECHNICAL REPORT

not include market rates units that may be affordable as the decline in the housing market has made numerous other non-assisted apartments affordable to lower income households.

TABLE H-20  
FAMILY HOUSING IN RIVERSIDE

Housing	Number of Projects	Total Units Affordable to Lower Income
Apartments	31	1,712
Market Rate Mobile homes	15	2,040
Housing Vouchers	—	1,961
<b>Projects/Units Available</b>	<b>39</b>	<b>5,713</b>

Source: City of Riverside.

Housing voucher totals are estimated and may overlap with some of the assisted family apartments.

## Housing and Services for Families

As noted by the Anne Casey Foundation, the shortage of affordable family housing detracts from the well-being, education, and health of families and in particular their children. And it is these conditions that predispose children to more challenges later in life. To improve the economic and social well-being of residents, the following ideas have shown to be particularly effective:

- ❖ **Create Affordable Rental Housing.** The City provides approximately 1,700 units of deed restricted units affordable to very low and low income families. This includes those listed on Table H-27. While homeownership opportunities are not immediately feasible or affordable for many low and moderate income households, the creation of affordable family rental housing can assist families who overpay or live in overcrowded conditions.
- ❖ **Improve Housing Conditions.** In Riverside, many multiple-family housing projects and fourplexes need rehabilitation. Poor housing conditions include the physical condition of the unit, the lack or poor condition of utilities, the lack of open space and recreational amenities, and insufficiently sized units. The City is actively involved in the rehabilitation and/or acquisition of these properties to improve housing conditions.
- ❖ **Promote Homeownership.** Homeownership is believed to improve physical, emotional, and financial security of families and strengthen neighborhoods. Many lower income families





cannot afford to buy a home. Those who have managed to purchase a home may be at risk of foreclosure with market forces that have depressed home values.

- ❖ **Provide the Service Network.** Many families depend on a network of services to meet their needs. This includes the childcare services near work or home to allow parents to be close to their children. Adequate parks, open space, and recreational amenities near homes are also critical needs for children to be active and learn to live healthy lives. Even income support and rental assistance, such as vouchers, are important ways to support families in Riverside.

## Homeless Persons

As with most large urban cities, Riverside is faced with the challenge of dealing with a high concentration of homeless people. This includes not only Riverside residents who become homeless but also individuals and families with children who become homeless in other cities and come to Riverside seeking access to resources. In January 2017, the Riverside County Homeless Count and Subpopulation Survey found that 389 individuals were identified as homeless in the City, which was an increase of 50.8% from the 2016 count. The County of Riverside had a total homeless count of 1,638, which was a 21.2% increase from the previous count.

The 2017 Riverside County Homeless Count and Subpopulation Survey indicated that the majority of homeless adults in the City of Riverside are male (69%). The majority (57%) of the unsheltered homeless population either identified or were observed as White. The 2017 Count indicated a decrease in the percent of persons in families with children. Unaccompanied youth made up 0.29 percent of the homeless count. Approximately 27% of homeless people reported that they were currently experiencing mental illness. Moreover, approximately 26% reported experiencing alcohol and drug abuse. Approximately 34% of those surveyed reported a physical disability and 12% reported a developmental disability that significantly limits a person's ability to speak, hear, see, walk, learn, etc. Many homeless people have had difficult life experiences - 8% were veterans and 25% experienced domestic violence.

Many of these persons can become homeless because of social structural issues such as increases in rent, loss of a job, and rising health care costs. In addition, personal situations such as domestic violence, physical disabilities, mental illness, and substance abuse can cause members of a low income household or an entire household to



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become homeless. Often one or more of these experiences factor into a household's homeless experience.

In 2003, the City of Riverside adopted the "Riverside Community Broad-Based Homeless Action Plan." Since its adoption, the City has implemented 30 strategies, including hiring a homeless services coordinator and street outreach workers, opening a new emergency shelter, developing a homeless services access center, expanding funding for community-based service agencies, identifying funding for homeless prevention strategies, strengthening collaboration with faith-based service providers, and creating more affordable housing.

On October 11, 2016, the City of Riverside City Council held a workshop to discuss the current conditions contributing to homelessness, the programs and services available, and an introduction to new options for policies and programs with the goal to improve the quality of life for all residents by:

- 1) Maintaining clean and sanitary streets, parks and public areas;
- 2) Mitigating impacts to businesses and residents;
- 3) Educating the community about effective ways to assist individuals and families experiencing homelessness through a connection to volunteer opportunities with effective service providers; and
- 4) Connecting residents, especially those most vulnerable and living without shelter and with a large number of barriers, to sustainable homeless services, employment and housing opportunities.

On June 20, 2017, the City of Riverside City Council received an update on City efforts to address Riverside's homeless issues that include action items for new initiatives and receive an update on previously authorized action items that include the following:

- 1) Continue efforts to establish a full service campus
- 2) The Housing First Model of Service Delivery (creation of permanent supportive housing units accompanied with supportive services onsite)
- 3) The Community Response Team (Supportive services team)
- 4) The Riverside at Work Program

### **Alternative Housing for Homeless People**

Riverside's comprehensive continuum of care approach is predicated on the understanding that homelessness is caused by a complex range of underlying physical, economic, and social needs. Nonetheless, there is still the need for immediate housing. To that end, the City provides the following housing options:



- ❖ **Emergency Shelter.** This includes short-term facilities that provide basic, temporary overnight sleeping accommodations along with meals, showers, and supportive service linkage for people who are homeless.
- ❖ **Transitional Housing.** This is a residence that provides a stay of up to two years during which residents are provided case management services that prepare them to obtain and maintain housing and be self-sufficient.
- ❖ **Permanent Supportive Housing.** This is a residence that provides permanent housing linked with ongoing support services that allow residents to live at the place of residence on an indefinite basis.
- ❖ **Homeless Services Campus.** The City’s Homeless Services campus for homeless people is modeled after the nationally acclaimed “PATH Mall” concept. The Campus features an innovative services-to-housing approach that offers temporary shelter and a mix of supportive services in one centralized campus.

Table H-21 summarizes the type, number, and capacity of housing facilities available for homeless people in the City of Riverside.

TABLE H-21  
HOMELESS SHELTER RESOURCES

Facility	Facility Sites	Clientele			
		Individuals	Persons in Families	Youth	Total
Emergency Shelter	3	414	193	172	779
Transitional Housing	8	180	0	25	205
Permanent Supportive Housing	3	38	3	6	47
<b>Total</b>	<b>14</b>	<b>632</b>	<b>196</b>	<b>203</b>	<b>1,031</b>

Source: City of Riverside, 2017.

## Needs Assessment

The City of Riverside has taken a proactive approach toward identifying and addressing the needs of homeless individuals and families. Utilizing the latest research and best-practice models from around the country, the City is working with its community service partners to develop a comprehensive plan to shift the emphasis of the local continuum of care from managing homelessness through shelter



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and emergency services to fostering housing stability through homeless prevention and rapid-rehousing initiatives.

Riverside offers a wide range of emergency shelter, transitional housing, and permanent supportive housing services. However, Riverside is the only city that provides year-round emergency shelter serving the general homeless population in western Inland Empire. The County supports the City's year-round emergency shelter during the cold weather season and the City's year-round family shelter. However, no other municipality in the region financially supports the City nor the individual households who become homeless in their community and come to Riverside for shelter and other resources.

During 2016-2017, only half the guests in the City's year-round emergency shelter originally became homeless while residing in the City of Riverside. The remainder (45%) came from outside the City.

Table H-22 shows that as of the January 2017 homeless count there is an unmet need of 49 beds in the current inventory of shelter and transitional housing beds within the City of Riverside as identified in the 2017 Homeless Count and Subpopulation Survey. During 2016-17, the emergency shelter was able to assist 431 individuals and an additional 599 individuals during the cold weather season (December to April). The family shelter was also able to assist 179 unduplicated individuals.







TABLE H-22  
HOMELESS SHELTER GAP ANALYSIS

Homeless Housing Resources	Persons
Need for Housing	389
Number of Shelter Beds	135 (These beds serve approximately 600 unduplicated individuals)
Number of Transitional Beds	205
<b>Unmet Need/Gap</b>	<b>49</b>

Note: Does not include seasonal beds or permanent supportive housing beds.

Source: City of Riverside, 2017

## Hulen Place Campus

Hulen Place, the centerpiece of Riverside’s Continuum of Care, is a one-stop multiservice campus environment for homeless residents. This unique campus facility allows the City of Riverside and various service organizations to provide a range of services needed by homeless people—from initial intake to emergency shelter to transitional housing—all at one site. The City has acquired and developed four sites at Hulen Place and is working in partnership with organizations to provide services for residents of the campus. Currently, the facility uses are:

- ❖ **Building A: Riverside Access Center.** The Center offers street outreach, housing placement, job development, benefits enrollment, health care, veterans’ services, life skills training, transportation assistance, and homeless prevention. Services are coordinated through centralized data management and a collaborative team case management approach. During this planning period Riverside Access Center services with the exception of the healthcare clinic will be relocated to 2881 Hulen Place recently acquired by the City. Following relocation of a portion of the services to Building F, Building A will be remodeled to install a shower and laundry facility for homeless individuals seeking services and will continue to include the existing health care services.





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- ❖ **Building B: Pet Kennel.** A unique component of the project is the Homeless Pet Kennel. The Pet Kennel provides a safe place for Community Shelter and Access Center guests to house their companion animals/pets during their stay, allowing guests to access supportive services while knowing their pets are safe and secure.
- ❖ **Building C: Riverside Community Shelter.** Operated by Path of Life Ministries in partnership with the City, this facility provides year-round emergency shelter services connected with case management services and 64 beds for single men and women for 30 to 60 days. An additional 72 emergency shelter beds are provided each night under the federal cold weather shelter initiative. Approximately 758 individuals are served annually at the Community Shelter.
- ❖ **Building D: “The Place” Safe Haven Supportive Housing and Drop-in Center.** Operated by the Jefferson Transitional Programs in partnership with the County of Riverside Department of Mental Health, this facility provides 25 permanent supportive housing beds and a 12-hour drop-in center for chronically homeless individuals who have severe mental illnesses, substance addictions, or dual diagnosis conditions. Supportive services are also available at this site.
- ❖ **Building E: Smart Riverside Digital Inclusion Program.** Recognizing the importance of employment as a key to long-term housing stability, Hulen Place also offers job training. Operated by the City of Riverside, the Digital Inclusion Program provides skills and jobs for at-risk youth in computer technologies and provides basic computer skills training classes along with a free refurbished personal computer for home use to low-income households in the City of Riverside.
- ❖ **Building F: Relocated Riverside Access Center.** The City has recently acquired an additional building at 2881 Hulen Place where Access Center staff and services will be relocated from Building A.

In June 2010, the City applied an emergency shelter overlay zone to 1.8 acres land covering the existing Hulen Place. The City selected the location of the emergency services overlay zone due to its excellent access to transit, proximity to downtown Riverside, proximity to nearby lighter industrial employment areas, and the campus’ ability to provide the full range of services at one site for homeless people. The overlay zone allows emergency shelters, transitional housing, and permanent supportive housing as a by-right use in this area.

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The Overlay Zone permits emergency shelters, transitional housing, and permanent supportive housing shelters as a matter of right. The Overlay Zone can be applied to any property within the City. Moreover, the City also permits emergency shelters within the RR – Rural Residential Zone, RE – Residential Estate Zone, R-1 – Single Family Residential Zone, O – Office Zone, CR – Commercial Retail Zone, and CG – Commercial General Zone with a minor conditional use permit (which is an administrative approval).

The Hulen Place Campus has ample capacity to meet the City's existing and future needs for housing for homeless people. With the reconfiguration of the City-owned buildings (A, B, C, and D), the campus could house up to 500 homeless people. The other two sites, if acquired, could accommodate 200 homeless people. Therefore, this facility alone (the area where the overlay is applied) has the ability to house 700 residents, which exceeds projected housing demand for the foreseeable future.

The following Figure (H-3) displays the layout, building types, general uses, and other details of the Hulen Place Campus.





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FIGURE H-3 HOMELESS CAMPUS AT HULEN PLACE

## Riverside Homeless Service Campus Master Plan



The Campus provides a variety of social services including housing placement, employment development benefits assistance, substance abuse recovery, Veterans' services, basic needs assistance, and other services.

**Building D - 2801 Hulen Place**  
 City Owned  
 Existing Tenant: SmartRiverside  
 Existing Use: Refurbish Computers  
 - to be given to low income families at no cost.  
 Building: 5,000 Sq. Ft.

**Building E - 2841 Hulen Place**  
 Privately Owned  
 Building: 4,750 Sq. Ft.

**Building F - 2881 Hulen Place**  
 City Owned  
 Proposed use: Riverside Access Center  
 Building: 5,900 Sq. Ft.

**Building C - 2800 Hulen Place**  
 City Owned  
 Existing Tenant: Department of Mental Health  
 Existing Use: "The Place"  
 - 24 Hour Safe Haven Supportive Housing Service Center for homeless mentally ill  
 - 28 Permanent Supportive Housing Beds for Chronically Homeless/Mentally ill  
 - Drop-In Center with Supportive Services (Mental Health)  
 - All additional space available for service development  
 Building: 6,780 Sq. Ft.

**Building B - 2840 Hulen Place**  
 Current Owner: Path of Life Ministries / City of Riverside  
 Existing Use: Riverside Emergency Shelter  
 - Year-Round Emergency Shelter, 64 beds (up to 30 days)  
 - Cold Weather Shelter, additional 72 beds (night length to beds)  
 Building: 6,851 Sq. Ft.

**Building A - 2880 Hulen Place**  
 City Owned  
 Proposed Use: Health to Hope  
 Shower and Laundry Facilities  
 - Will provide health care services, shower and laundry facilities for homeless persons  
 Building: 6,484 Sq. Ft.

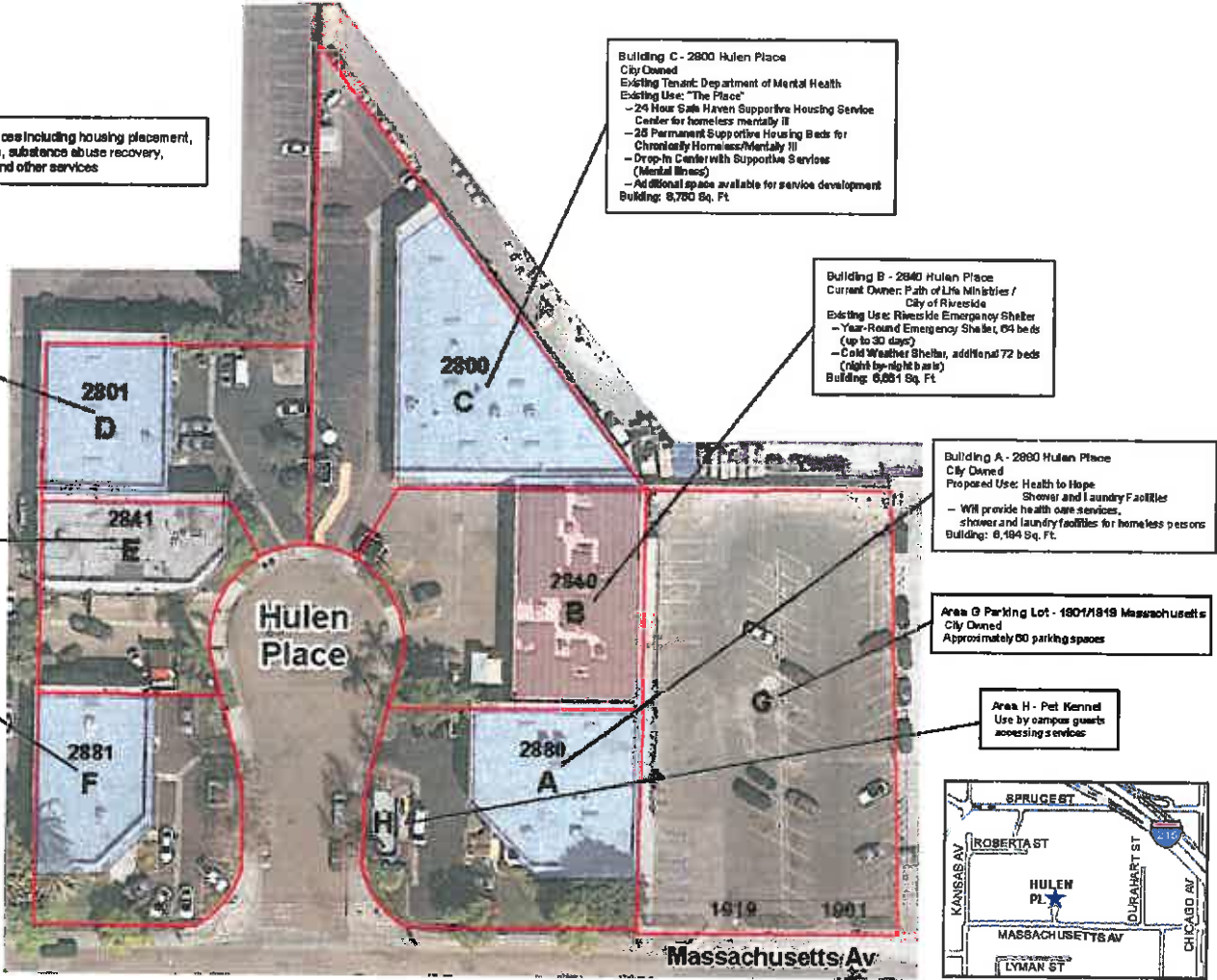
**Area G Parking Lot - 1901/1819 Massachusetts**  
 City Owned  
 Approximately 60 parking spaces

**Area H - Pet Kennel**  
 Use by campus guests accessing services

**Legend**

- City Owned Building
- Public/Private Partnership
- Privately Owned Building
- Parcel Boundary

DATE: January 2014





# HOUSING TECHNICAL REPORT

## Available Services for Homeless People

The City also provides a broad matrix of supportive services to help families and individuals who are homeless achieve self-sufficient and well-functioning lives. These services are summarized below.

- ❖ **Prevention.** The City's Tenant-Based Rental Assistance (TBRA) program is modeled after the nationally acclaimed "Housing First" approach. In September 2009 the City was allocated \$1.3 million in federal funds under the Homeless Prevention and Rapid Re-Housing Program to expand the Housing First/TBRA initiative, which provides low-income households with financial assistance and services to prevent homelessness. Services include payment of rental arrears, housing relocation assistance, and/or short-term rent subsidies and case management to facilitate housing stabilization. From October 2009 through June 2013, the funds assisted 478 households.
- ❖ **Street Outreach.** The City's Homeless Street Outreach Team conducts daily mobile outreach and client engagement, focusing on the most service-resistant homeless people. In addition to identifying housing opportunities for homeless people, engagement services include: crisis intervention, shelter/housing placement, counseling, needs assessment, medical and mental health service linkage, substance abuse treatment, employment and benefits connection, family reunification, transportation home, basic needs assistance, resource linkage, case management, and other assistance.
- ❖ **Workforce Development.** Recognizing that stable employment is the key to long-term self-sufficiency, the City of Riverside Community Development Department staff is working in coordination with the Riverside County Workforce Development Center and other community partners to provide free employment training and job placement services for homeless, low-income, and displaced workers in Riverside.
- ❖ **Service Provider Funding.** The Riverside City Council appropriates approximately \$1 million in federal funds on an annual basis to various nonprofit service organizations that help homeless individuals and families. These funds are used to support such services as homeless prevention, outreach, emergency shelter, transitional housing, residential mental health and substance abuse treatment, domestic violence assistance, rental assistance, basic needs resources, and general emergency assistance and referral.



## **College Students & Other Educational Institutions**

The City of Riverside is known for its educational institutions. Some of the larger institutions are Riverside Community College, University of California at Riverside, California Baptist University, and La Sierra University. Other educational institutions include the California School for the Deaf, Riverside (one of only two state-run schools) and Sherman Indian High School (the only off-reservation high school in California). The Education Element of the General Plan 2025 Program sets forth the City's commitment to education in Riverside.

Because educational institutions in Riverside play an important role in the history, economy, and community life of Riverside, it is important to ensure that the significant housing needs of current and future students, faculty, and employees are addressed. Moreover, as many of these households earn lower or moderate incomes, they have a more difficult time finding suitable housing and are thus considered to be a special housing needs group. As a basis for developing recommendations in the Housing Element, this section describes the largest schools, their enrollment, and housing needs.

### ***Riverside Community College***

Riverside Community College (RCC) has an estimated enrollment of over 18,000 full- and part-time students as of Fall 2011. The majority of students are either part-time students living with parents or working adults living in and around Riverside. RCC projects a buildout enrollment of 25,000 students. In keeping with the intent of the community college system, RCC does not plan to provide housing accommodations for its students, faculty, or employees. Many of the current students already have housing in the City. However, future enrollment plans would either enroll additional Riverside residents or attract students from surrounding communities. To the extent that future students would seek housing in Riverside, RCC plans could significantly affect the demand for rental housing in and around Riverside.

### ***La Sierra University***

La Sierra University offers curricula in applied and liberal arts and sciences, business and management, religion, and pre-professional education. Enrollment is at a record high of 2,478 students as of Fall 2013. The university provides housing for the majority of students in dormitories and apartments. In 2006, the La Sierra Master Plan proposed plans to accommodate 2,500 students in the short term (generally 2015) and up to 5,000 total students in the long term. The buildout year for La Sierra University has not been determined at this





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point. La Sierra University is planning to address the housing needs of future students by constructing an additional 600 dormitory units by 2014.

### ***CalBaptist University***

Founded in 1950, California Baptist University provides a liberal arts education with an enrollment at a record high of 7,144 as of Fall 2013. Several other campuses are located in the Inland Empire, including Beaumont, Hesperia, and San Bernardino, among others. In March of 2013, the City adopted the Cal Baptist University Specific Plan, a campus master plan which projects enrollment on campus to be up to 9,300 students by 2025. CBU's buildout will depend on demographic trends and market conditions.

### ***University of California at Riverside***

The University of California at Riverside (UCR) enrolled 21,297 students in Fall 2013. UCR provides approximately 5,000 beds/units for students. The University's Long Range Development Program (LRDP) and Housing Strategic Plan establish priorities to increase the availability of housing options. Under these two plans, UCR proposes increasing the percent of students living on campus from 35% to 50% (including 75% of freshmen and 50% of transfer students).

To accommodate projected growth, the "UCR Strategic Plan for Housing" proposes a total of approximately 4,200 dormitory units, 3,400 apartment units, 918 units reserved for families, and 78 units of faculty-reserved housing. Moreover, the UCR Housing Strategic Plan also focuses on reconfiguring existing residence halls into independent apartment units, creating new family housing, and improving and creating a more independent neighborhood setting. Later sections of this Report describe recently built projects.

### ***Secondary Schools***

The City of Riverside is also home to schools that are unique in California. The 400-student California School for the Deaf, Riverside, is one of only two state-run schools exclusively for the deaf. This school offers classes for students from 2 to 22 years in age. The School for the Deaf provides student housing on its campus.

The City of Riverside is also home to the only off-reservation Indian high school in California, Sherman High. This high school has dorm-style campus housing.







## **Unmet Need**

Although Riverside educational institutions are building student housing, there is still a significant shortage. In recent years, for-profit developers have built the 500-unit Grandmarc Apartments and the 585-unit Sterling Palms Apartments. The University Village Apartments were also built. In 2007, UCR built the 500-unit GlenMor Apartments, which was fully leased within one day of opening. There is an acknowledged unmet need for student housing.

## **Agricultural Workers**

As is the case with many southern California cities, Riverside's roots are in its agricultural past. The citrus industry was the mainstay of Riverside's economy up through the mid-twentieth century. As recently as the mid-1950s, large areas of the City were citrus groves. The late twentieth century saw a significant increase in pressure to convert agricultural land to suburban uses. Today, the only significant agricultural use within the City is the Arlington Heights Greenbelt, comprising 5,600 acres.

Today, the employment base for agricultural industries is limited. The 2007-2011 ACS reports 683 persons employed in the farming, forestry, and fishing occupations in Riverside. However, the Employment Development Department reports that few agricultural-related jobs remain in Riverside. Agricultural jobs in the City of Riverside are usually related to wholesale nurseries, limited citrus, and associated food processing and distribution. The types of jobs offered in these industries are year-round rather than the seasonal employment typically associated with row crops or similar farming operations.

The Municipal Code has established the Residential Agricultural Zone (RA-5) to provide areas where general agricultural uses can occur independently or in conjunction with a single-family residence. Given the few remaining agricultural jobs in the community, the need for housing for farmworkers in Riverside is very limited. Moreover, should a need exist, the housing need would be limited to year-round affordable housing rather than dormitory housing typically required for migrant farmworkers. The City of Riverside currently offers more than 1,700 units of affordable family housing in publicly assisted projects. An additional and significant number of housing choice vouchers are also available to lower income residents.

Therefore, the housing needs of the few farmworkers living in Riverside can be adequately addressed through existing affordable housing and a limited number of agricultural caretaker quarters.



# HOUSING TECHNICAL REPORT

## HOUSING NEEDS

A continuing priority in Riverside is enhancing the quality of life. This section describes and analyzes current housing needs, particularly the prevalence of housing problems of overpayment and overcrowding (existing need), future housing construction need as mandated by the Regional Housing Needs Assessment, and the preservation of existing affordable housing units.

### **Housing Overcrowding**

Because of a mismatch between household income and housing costs, residents may accept smaller-sized housing. The federal government defines overcrowding as having more members than habitable rooms in a home. This is often reflective of: 1) a family lives in too small a unit because of the inability to afford a larger home; 2) a family chooses to house extended family members; 3) a family rents living space to nonfamily members; 4) students double up to afford housing; or 5) cultural preferences.

Table H-23 displays the prevalence of overcrowding in Riverside. Overcrowding falls into two categories: moderate (1.0 to 1.5 persons per room) and severe (more than 1.5 persons per room). During the 2000s, overcrowding rates declined among renters (falling from 21% to 15%) and among homeowners (falling from 10% to 7%).





TABLE H-23  
HOUSING OVERCROWDING

Number of Households	2000			2007-2011 ACS		
	Owner Hhlds	Renter Hhlds	Total Hhlds	Owner Hhlds	Renter Hhlds	Total Hhlds
< 1 person/room	41,767	28,100	69,867	49,541	31,719	81,260
1.0 to 1.50 ppr	2,241	3,269	5,510	2,718	3,934	6,652
1.51+ ppr	2,506	4,196	6,702	915	1,419	2,334
Total Households	46,514	35,565	82,079	53,174	37,072	90,246
<b>Overcrowding</b>						
None	90%	79%	85%	93%	86%	90%
Moderate	5%	9%	7%	5%	11%	7%
Severe	5%	12%	8%	2%	4%	3%

Source: US Census 2000; ACS 2007-2011.  
Note: Percentages are rounded.

## Housing Overpayment

Housing overpayment is when households pay 30% or more of gross income for housing-related costs. Rental housing costs include utilities and homeowner costs include property insurance and real estate taxes. Moderate overpayment refers to a household that pays 30% to 50% of income toward housing costs and severe overpayment refers to a household that pays more than 50%. Since housing overpayment is greatest among lower income residents, maintaining a reasonable cost burden is an important City goal.

As is the case in cities across California, the market downturn increased the percentage of households overpaying for housing. In Riverside, households overpaying rose from 41% in 2000 to 49% by 2011. Homeowners overpaying for housing increased from 33% in 2000 to 44% by 2011. In contrast, the percentage of overpaying renter households increased from 48% in 2000 to 56% in 2011.

Housing overpayment is more pronounced among certain groups. Approximately 60% of senior renter households and 32% of senior owner households experienced overpayment as well as 91% of lower income large family renter households and 54% of lower income large family owner households. Table H-24 displays current overpayment statistics for Riverside households according to the 2007-2011 ACS.



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TABLE H-24  
HOUSEHOLDS BY COST BURDEN

Cost Burden	2000			2007-2011 ACS		
	Owner Hhlds	Renter Hhlds	Total Hhlds	Owner Hhlds	Renter Hhlds	Total Hhlds
<30% of income	23,271	17,424	40,695	29,930	16,226	46,156
30-50% of income	7,927	7,883	15,810	23,244	20,846	44,090
50%+ of income	3,501	8,506	12,007			
Total Households	34,699	33,813	68,512	53,174	37,072	90,246
<b>Overpayment</b>						
None	67%	52%	59%	56%	44%	51%
Moderate	23%	23%	23%	44%	56%	49%
Severe	10%	25%	18%			
<b>Total Experiencing Overpayment</b>	<b>33%</b>	<b>48%</b>	<b>41%</b>	<b>44%</b>	<b>56%</b>	<b>49%</b>

Source: US Census 2000; ACS 2007-2011.

Note: Percentages are rounded.

## Extremely Low and Very Low Income

Although housing overpayment and overcrowding are issues in all communities, including Riverside, these issues are more severe among certain income groups; in particular, households earning extremely low and very low incomes. These household income groups are the most vulnerable group to displacement and have the greatest need for affordable housing and other supportive services.

Lower income households are defined as earning no more than 80% of the MFI of households living in the County of Riverside. Extremely low income refers to those earning at 30% or less of the MFI, and very low income earn 31-50% of the MFI. According to the 2006-2011 CHAS, the City of Riverside had 9,995 extremely low and 10,585 very low income households.

Table H-25 displays the distribution of households earning extremely low, very low, and low income in Riverside.

TABLE H-25  
LOWER INCOME HOUSEHOLD HOUSING NEEDS

Household Type	Seniors	Small Families	Large Families	All Others	Total
<i>Number of Hhlds</i>					
Extremely Low	2,540	2,930	1,495	3,030	9,995
Very Low	3,225	3,720	2,085	1,555	10,585

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<i>Overpayment</i>					
Extremely Low	1,570	2,585	1,400	2,655	8,210
Very Low	1,880	3,395	1,900	1,945	9,120

Source: Comprehensive Affordability Housing Strategy, 2006-2010.

Note: Percentages are rounded.

To help meet this housing need, the City of Riverside offers more than 3,000 publicly assisted units and thousands of mobile homes affordable to extremely low and very low income households. Moreover, the City offers many housing supportive services targeted for this group, including subsidized transit, child care, and rental support. To help address the City's new construction need for extremely low income units for the period of 2014-2021, the City has a track record of approving second units and guest quarters.

## **Housing Construction Needs**

California law requires cities to plan for projected population and employment growth in their community. To assist in that effort, SCAG prepares housing construction need goals for each city in southern California as part of the RHNA authorized by the California Government Code. Jurisdictions are required to develop proactive policies and programs to facilitate new housing construction commensurate with assigned housing goals.

The SCAG determines total housing construction need for each community based on three factors:

1. the number of housing units needed to accommodate future population and employment growth;
2. the number of additional units needed to replace demolished units and allow for normal vacancies in the market; and
3. the number of very low, low, moderate, and above moderate income households needed.

The following discussion briefly highlights each of these factors and their contribution to the City's regional housing needs allocation.

### ***Population and Employment Growth***

The first component of construction need is the number of units needed to accommodate new households forming as a result of population and employment growth. Riverside's housing need is based on SCAG's regional growth forecast, adopted as part of the



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## Factors Included in the RHNA

The RHNA is based on integrated forecasts used in the RTP. According to the methodology approved by SCAG and consistent with state law, the RHNA includes the following considerations:

- Jobs/Housing Balance
- Opportunities and constraints to development of additional housing
- Distribution of household growth assumed for purposes of regional transportation
- Market demand for housing
- Agreements between a county and cities to direct growth toward incorporated portions
- Loss of units in assisted housing developments
- High housing costs
- Housing needs of farmworkers
- Housing needs generated by a private university or campus of the CSU or UC system within any member jurisdiction

2012-2035 Regional Transportation Plan (RTP)/Sustainable Communities Strategy (SCS).

## *Housing Factors*

The RHNA goal for new construction incorporates additional units to accommodate two factors in the housing market. First, the housing market requires a certain percentage of vacant units to allow for sufficient choice for consumers, maintain rents and prices at adequate levels, and encourage normal housing maintenance and repair.

Over time, the City of Riverside can expect that a certain number of housing units will be lost to residential uses due to demolition, fire, conversion to nonresidential uses, recycling to other uses, or a variety of other reasons. Therefore, SCAG adjusts the City's housing production goals by a standard "replacement factor" based on the historical rate of units lost to demolition or conversion to nonresidential uses in each community.

## **Fair Share Allocation**

The RHNA is required to avoid or mitigate the overconcentration of income groups in a jurisdiction in order to achieve its objective of increasing supply and mix of housing types, tenure, and affordability in an equitable manner. In practice, jurisdictions with a smaller proportion of lower income units are required to provide a larger share of those units as part of their construction need to compensate for jurisdictions that already accommodate more than their fair share.

Table H-26 indicates the City's allocation by income category for the housing element planning period.





TABLE H-26  
RIVERSIDE 2014-2021 RHNA

Income Level	Income as a Percent of Median Family Income (MFI)	Allocation	
		Units	Percent
Very Low	0 to 50% of MFI	2,002	24%
Low	51% to 80% of MFI	1,336	16%
Moderate	81% to 120% of MFI	1,503	18%
Above Moderate	Above 120% of MFI	3,442	42%
<b>Total</b>		<b>8,283</b>	<b>100%</b>

Source: SCAG 2012

State law requires communities to estimate the amount of new housing needed to accommodate extremely low income households. To estimate new construction needs for extremely low income households, state law allows cities to assume that one half (50%) of the very low income allocation is for extremely low income. According to the City's 2014-2021 RHNA, the need for new very low income housing is 2,002 units and so the extremely low income need would be 50% or 1,001 new units for the planning period.

## HOUSING PRESERVATION

Riverside has a significant amount of affordable housing that receives public subsidies in return for long-term affordability controls. Typically, these projects provide units affordable to extremely low, very low, and low income households, including persons with special needs. The majority of projects are restricted for 15-55 years, after which they can begin charging market rate rents. The City of Riverside has nearly 3,300 publicly-assisted affordable housing units.

State law requires that housing elements include an analysis of assisted multiple-family housing projects regarding their eligibility to change from low income housing to market rates by 2023. Assisted housing is multiple-family rental housing that receives government assistance under federal, state, and/or local programs. If units are at risk of converting to market rate rents by 2023, the element must include a detailed inventory and analysis that includes:

- ❖ Each development by project name and address.
- ❖ Type of governmental assistance received.
- ❖ Earliest possible date of conversion from low income use to market rates.



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- ❖ Total elderly and nonelderly units that could be converted.
- ❖ An analysis of costs of preserving and/or replacing those units at-risk in the current planning period.
- ❖ Resources that could be used to preserve the at-risk units.
- ❖ Programs for preservation of at-risk units and quantified objectives.

Table H-27 details the City's affordable housing inventory. Also included is a designation for projects that are not at-risk or are at risk of converting to market rate housing within the next ten years (through 2023). This includes all projects that have received public subsidies and are deed restricted to be affordable to lower income households in Riverside.

As summarized below, six projects are at risk of conversion during the next 10 years (through 2023) - Sierra Woods, Whispering Fountains, Tyler Springs, Mount Rubidoux, Cambridge Gardens and Canyon Shadows-totaling 188 family units and 696 senior units.

The affordability requirement for Sierra Woods expired in 2013, but the property owners will be keeping the apartments affordable indefinitely. Because the apartments are not required to remain affordable, they are considered at-risk for this analysis.





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TABLE H-27  
INVENTORY OF PUBLICLY ASSISTED MULTI-FAMILY HOUSING

Project Name and Address	Tenant Type	Type of Public Assistance	Total Units	Total Affordable Units	Date of Potential Conversion
Autumn Ridge Apartments 8911 Indiana Avenue	Family	RDA/HOME	77	77	2056
Breezewood Apartments 1365-71 Main Street	Family	RDA/HOME	156	156	2028
Coco Palms Apartments 1740 Loma Vista	Family	NSP	28	27	2066
Cypress Springs Apartments 7850 Cypress Avenue	Family	RDA/HOME LIHTC	101	99	2062
Dwight Avenue Apartments 3556-3558, 3580 and 3675-3681 Dwight Ave	Family	NSP	8	8	2066
El Dorado Apartments 4675 Jackson Avenue	Family	Public Housing	68	68	Perpetuity
Emerald Pointe Apartments 1863 12 <sup>th</sup> Street	Family	RDA	144	79	2024
Fairmount Boulevard Apartments 3065-3067 Fairmount Boulevard	Family	NSP	2	2	2064
<u>Home Front at Camp Anza</u>	<u>Family</u>	<u>RDA/HOME</u>	<u>30</u>	<u>29</u>	<u>2068</u>
Oaktree Apartments 1946 7 <sup>th</sup> Street	Family	HOME	51	25	2026
Linden Manor/Riverside Gardens 1245 Linden Street	Family	LIHTC	192	191	2028
Linden Square 3552 Lou Ella Lane	Family	HOME/NSP	16	16	2067
Lou Ella Lane Apartments 3553 Lou Ella Lane	Family	HOME/NSP	28	28	2067
Phoenix Gardens 6930 Phoenix Avenue	Family	RDA	89	87	2050
Mission Pointe 2750 Topaz Avenue	Family	RDA/HOME/ LIHTC	64	63	2051
Ohio Street Apartments 1824 Ohio Street	Family	NSP	4	4	2066
Victoria Heights 7650 Lincoln Avenue	Family	Sec. 27/LIHTC	150	150	2050
Sandra Apartments 1789 7 <sup>th</sup> Street	Family	RDA	25	8	2025
Sierra Pines Apartments 3900 Fir Tree Drive	Family	MRB	120	24	—



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Project Name and Address	Tenant Type	Type of Public Assistance	Total Units	Total Affordable Units	Date of Potential Conversion
Sierra Woods 4655 Minier Avenue	Family	Section 231(j)(1)	190	188	2013
Las Colinas (formerly Ridgecrest) 3250 Panorama Rd	Family	County Bond; LIHTC	148	147	2054
La Sierra Manor 10560-10590 Burton St.	Family Family	RDA/HOME	16	10	2027
Seventh Street Apartments 1833 7 <sup>th</sup> Street	Family	NSP/SHP	3	3	2066
2350 University Apartments 2350 University Avenue	Family	RDA	2	2	2063
Silvercrest Senior Apts. 3003 Orange Street	Senior	RDA Section 202	75	75	2024
Brandon Place Apts 3941 Polk Street	Senior	LIHTC	196	196	2045
Tyler Springs 10406 Indiana Avenue	Senior	MRB	273	55	2016
10594 and 10661 Burton	Family	RDA	8	8	2046
4171, 4205, 4221 Lively St	Family	HOME	12	12	2029
10680 Collette Ave.	Family	RDA	4	4	2046
10640,10662, 10670 Collette.	Family	RDA	12	3	2025
10628, 10640, 10652 Burton St.	Family	RDA	12	3	2025
10680 Burton St.	Family	RDA	4	1	2025
TELACU Las Fuentes 1807 11 <sup>th</sup> Street	Senior	RDA/HOME Section 202	75	74	2052
TELACU El Paseo 4030 Harrison Street	Senior	RDA/HOME Section 202	75	74	2056
Cambridge Gardens 3533 Harrison Street	Senior	RDA/Section 202	75	75	2022
Canyon Shadows 8505 Arlington Avenue	Senior	RDA/HOME	124	112	2015
Goldware Senior Apts 6730 Streeter	Senior	HOME/LIHTC	162	137	2050
Whispering Fountains 4790 Jackson Avenue	Senior	HUD VOUCHERS	268	268	2013
Mount Rubidoux 3993 Tenth Street	Senior	Section 8	186	186	Annual
Vintage at Snowberry 8202 Colorado Avenue	Senior	HOME; RDA	224	222	2067

# HOUSING TECHNICAL REPORT



Project Name and Address	Tenant Type	Type of Public Assistance	Total Units	Total Affordable Units	Date of Potential Conversion
Olive Grove I 7858 California Avenue	Senior	Sec. 231(j)(1) Section 8	106	0	Expired
Olive Grove II 7898 California Avenue	Senior	Section 221(d)(4) Section 8	110	0	Expired
J. E. Wall Victoria Manor 4660 Victoria Avenue	Seniors	RDA/HOME /LIHTC	112	112	2062
Plymouth Towers 3401 Lemon Street	Senior	Section 231	128	N/A	Closed 2009
Highlander Pointe Apartments 1055 W. Blaine Street	Family	501C3 Bonds	132	27	2026
San Carlos Apartments 3622 Adams Street	Family	207/223(f)	192	192	6/1/2040

Source: City of Riverside, 2010.

**Notes:**

RDA: Redevelopment Housing Set-Aside funds    Section 202: Federal funds for senior projects

LIHTC: Low Income Housing Tax Credit    Section 221: Federal funds (program expired)

Section 8: Federal Housing Choice Vouchers    Section 231: Federal funds (program expired)

Home: HOME Investment Partnership Program funds

## ***Evaluation of Preservation Options***

Table H-27 shows that 884 units are at risk of conversion within 10 years of the planning period, 2013 to 2023. This section analyzes three options to preserve affordable units at-risk of conversion to market rents. These are: 1) replacement of rent subsidies, 2) construction of new housing, and 3) the acquisition/rehabilitation of units in return for extended affordability controls.

### ***Replacement of Rent Subsidies***

The first option is to replace the HUD rental vouchers given to each tenant or the payment subsidies given to each property owner. The financial cost of replacing subsidies depends on the fair market rent for the apartment and the household income level of the tenant. Typically, the subsidy would equal the difference between what a household can afford to pay and fair market rent for the unit. As shown in Table H-28, replacing the rental subsidies for senior housing - assuming all of the units are occupied by very low income households - would cost approximately \$62.5 million over 25 years. For the family housing, the subsidy (assuming all units are occupied by low income households) would be approximately \$24.6 million. Numerous





# HOUSING TECHNICAL REPORT

permutations are possible depending on the actual income level of the residents.

TABLE H-28  
PRESERVATION BY REPLACING SUBSIDIES

Project Details	Project per Unit Cost Estimate	
	Senior Project	Family Project
Number of At-Risk Units	696	188
Affordable Rent for Very Low to Low Income Hhld	2 person \$670-\$1,073/mo.	4 person \$838-\$1,340/mo
Affordable Rent with \$50/ Person Utility Allowance	\$570 (VLI) to \$973 (LOW)	\$638 (VLI) to \$1,140 (LOW)
Fair Market Rent for an Apartment Project	\$873 (1-bdr unit)	\$1,116-\$1,577 (2 & 3 bdr unit)
<b>Total Subsidy over 25 Years</b>	<b>\$62.5 million</b>	<b>\$24.6 million</b>

Source: City of Riverside, 2013.

This option assumes the property owner accepts a subsidy that guarantees fair market rent. In some cases, property owners may decline. Although this subsidy would guarantee the long-term affordability of the unit, the cost could increase over time as market pressures push rents higher and require the City to increase the rental subsidies. Generally, this option is a short-term fix to a long-term problem and is not considered a sustainable solution.

### ***Construction of New Units***

The second option is to replace the affordable units by constructing new affordable units. This option would entail finding suitable sites, purchasing land, negotiating with a developer, and obtaining financing. The final cost depends on whether the builder must purchase land (or whether the City can transfer the land at a subsidized price), and whether the City or private developer's initial financial contribution can be leveraged with other funding sources.

Several organizations in Riverside recently built affordable projects. Although costs vary with projects, generally, construction costs (including labor) totaled \$100 to \$180 per square foot. Land costs varied by zone and when the project was built (given the runup in land values). However, land costs are assumed to be \$5 per square foot. Density is assumed at 30 units per acre, the maximum allowed in the R-3 zone. Additional costs of 15% are assumed for other contingencies.





Table H-29 summarizes the estimated cost of replacing the 884 affordable housing units that could expire by 2023. The costs would range from \$69.9–\$120.9 million for the 696 senior units and \$27.5–\$48.2 million for the 188 family units, for a total of \$99.4–\$171.1 million. The final replacement cost to the City would depend on the cost of land and construction, the income targeting and subsidies required, and the amount of nonlocal funding provided to the City.

TABLE H-29  
PRESERVATION BY REPLACING UNITS

Project Details	Project Cost Estimates		
	Senior Project	Family Project	Total
Number of At-Risk Affordable Units	696 units 800 sf/unit	188 units 1,200 sf/unit	884 units
Average Construction Cost (\$100 to \$180/sf)	\$55.7 million \$100 million	\$22.6 million \$40.6 million	\$78.3 million \$140.6 million
Land Costs at 30/du at \$5 per square foot	\$5.1 million	\$1.3 million	\$8.4 million
Incidental Costs at 15% of Hard Costs	\$9.1 million \$15.8 million	\$3.6 million \$6.3 million	\$12.7 million \$22.1 million
<b>Total</b>	<b>\$69.9 million \$120.9 million</b>	<b>\$27.5 million \$48.2 million</b>	<b>\$99.4 million \$171.1 million</b>

Notes: These cost estimates are intended as a magnitude of order estimate. Actual costs can vary significantly depending on market conditions and the amount of subsidies received from other state, federal, and private sources.

### ***Acquisition and Rehabilitation***

Apartment projects often need rehabilitation and the property owner may have insufficient funds to complete periodic repairs and renovations. In these situations, the City may find it advantageous to work with the property owner and offer a flexible number of financial incentives (e.g., low-interest loans, renegotiating current loan packages, cash incentives) in return for extending the length of the affordability covenants on the affordable units.

Rehabilitation and preservation costs depend on a number of factors, most notably the condition of the property, the amount of deferred maintenance, the financial viability of the project, and the length of affordability term. The City of Riverside, working in conjunction with nonprofit and for-profit partners, has completed several major acquisition and rehabilitation projects that provide a basis for making a magnitude-of-order estimate of the future cost of such activities.



# HOUSING TECHNICAL REPORT

Based on recent projects, the average acquisition cost is \$60,000 per unit and the average rehabilitation cost is \$24,000 per unit. In recent years, Riverside has acquired and rehabilitated family apartments in the Chicago-Linden neighborhood for a cost of \$95,000/unit, of which rehabilitation costs were \$50,000 per unit.

Table H-30 summarizes the cost of acquiring and/or rehabilitating affordable housing projects and deed restricting them as affordable. Total costs for preserving the 696 senior and 188 family projects housing units in Riverside range from \$53 to \$74.2 million depending on whether the units require rehabilitation, acquisition, or both.

TABLE H-30  
PRESERVATION BY ACQUISITION AND REHABILITATION

Project Details	Project Per Unit Cost Estimate
	Total
Number of At-Risk Affordable Units	884
Average Per Unit Rehabilitation Cost	\$24,000
Average Per Unit Acquisition Cost	\$60,000
Total Rehabilitation	\$21.2 million
Total Acquisition	\$53.0 million
<b>Total Costs</b>	<b>\$74.2 million</b>

Source: City of Riverside, 2013.

## Program Efforts to Preserve At-Risk Units

The following housing programs have been developed to address the preservation of assisted units. The Housing Authority Division will be responsible for implementing programs to preserve at-risk units. Funding could be provided through a variety of means cited above.

- ❖ **Monitoring At-Risk Units.** The City will communicate to the owners of at-risk units the importance of the units to the supply of affordable housing and its desire to preserve the units as affordable. The City will confirm that the owners of at-risk projects will continue their Section 8 contracts or other affordability covenants and will determine whether HUD will offer the owners a contract extension.
- ❖ **Financial Assistance.** If federal funds for the Section 8 program are discontinued at some point and/or affordability restrictions are expiring, the City will determine if it can assign financial resources to preserve the units. This option could include issuing bonds or holding TEFRA hearings that are the

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prerequisite for issuing multiple-family revenue bonds. The City will explore other means as feasible.

- ❖ **Technical Assistance.** The City can assist the owners of properties eligible for conversion to market rates in seeking funds and completing other tasks necessary to secure funds that preserve the affordability of housing. Based on information gathered through the monitoring program and visitation program, the City will dedicate staff resources to work with property owners.
- ❖ **Identify and Work with Qualified Entities.** The City works with nonprofit entities, for-profit organizations, and developers who are interested in acquiring and/or managing at-risk units. HCD also lists qualified agencies interested in managing affordable housing in Riverside County. The City will consult the list of qualified entities to expand its administrative capacity to preserve affordable housing.

Housing Element law requires that cities establish the maximum number of units that can be preserved over the planning period. Based on objectives stated in the Consolidated Plan and this Housing Element, the City's objective is to preserve all at-risk units where feasible, pending funding availability. The Housing Plan sets forth programs to allocate, where feasible, technical and financial resources to preserve at-risk housing units in Riverside.



# HOUSING TECHNICAL REPORT

## HOUSING CONSTRAINTS

Confronted with population growth, changing demographics and economics, an aging housing stock, and an uncertain housing market, Riverside faces the challenge of ensuring a mix of housing types to meet these diverse needs. At the same time, Riverside is impacted by the larger southern California economy and the job growth and lack of affordable housing in coastal cities, which are responsible for much of the housing demand in Riverside today.

### OVERVIEW

Various factors influence the City of Riverside's ability to meet its housing goals. Pursuant to state law requirements, this Chapter provides the requisite analysis of potential and actual market, governmental, and environmental constraints to the production, maintenance, and improvement of housing for persons of all income levels and persons with disabilities.

This Chapter analyzes three potential constraints:

- ❖ **Market—Non-governmental factors:** such as land costs, construction and rehabilitation costs, and the availability of financing, request to build below allowed densities, and length of time between project approval and submission of building permits.
- ❖ **Governmental factors:** such as land use regulations, development standards, building codes, permit procedures, and other local policies.
- ❖ **Environmental factors:** including adequacy of infrastructure, public services, water supply, and transportation system to support new development.

The constraints analysis must also describe the City's efforts to address and, where appropriate and legally possible, to remove governmental constraints when they prevent achievement of state and local housing goals with respect to the maintenance, improvement, and development of housing. State law does not require cities to remove market constraints to achieving its housing goals, but cities can help offset potential impacts.

To that end, this Chapter reviews the City's General Plan, Zoning Code, Consolidated Plan, Analysis of Impediments to Fair Housing, Housing Authority Plans, and other housing and redevelopment





planning documents to analyze policies and governmental regulations that may limit housing opportunities in Riverside. Actions required to remove existing constraints are also detailed in this section.

## MARKET CONSTRAINTS

Land costs, construction costs, and market financing contribute to the cost of housing investment and potentially can hinder the production of affordable housing. Although many of these potential constraints are driven by market conditions, jurisdictions have some leverage in instituting policies and programs that address these constraints. This section analyzes constraints in Riverside and activities undertaken to mitigate constraints.

### Land Costs

Land costs and the cost of assembling parcels are among the largest components of the total cost of building new housing. With the significant downturn in the housing market, land prices are volatile, with many property owners holding onto their land to avoid a loss. Review of Loopnet listings in October 2013 shows that residential land prices average \$5 per square foot in Riverside, but there are listings as low as less than \$1 per square foot and as high as \$12 per square foot.

### Construction and Rehabilitation Costs

Construction costs are the largest component of costs associated with new and rehabilitated housing. Construction costs include labor, materials, site improvements, and developer profit. R.S. Means and Reed Construction Data both provide construction cost manuals for calculating the average cost per square foot of residential construction throughout the Southern California region. Region-wide numbers, however, tend to be diluted by lower cost areas and may not accurately reflect the actual costs of building in Riverside.

Construction costs range from \$100 to \$180 per square foot, which translates to approximately \$100,000 to \$160,000 per unit. Residential development with limited ground preparation, simplified architectural features, and standard quality of interior materials would be in the lower range of these estimates. However, construction costs would be higher for more luxurious buildings and higher for projects with underground parking.

The City of Riverside is actively involved in funding the acquisition and rehabilitation of multiple-family projects. Based on a sample of these projects in Riverside, the rehabilitation cost averages around \$24,000 per unit and acquisition averages around \$60,000 per unit. However,





## HOUSING TECHNICAL REPORT

projects involving acquisition, rehabilitation, and reconfiguration (to remove or combine smaller units to create larger units) can cost from \$95,000 to \$113,000 per unit. Other indirect and direct costs associated with rehabilitating housing (relocation, replacement of units, removal of asbestos or lead-based paint, etc.) can add substantial costs.

### **Financing Costs**

Construction financing also affects the feasibility of building new housing. The past few years have seen a restructuring of the construction financing industry in response to the housing market downturn. During the housing boom of the late 1980s, it was not uncommon for developers to receive construction loans for 100% or more of a project's estimated future value. Following the housing market downturn of the early 1990s, however, financial institutions tightened regulations for construction loans, requiring developers to put up 25% of the project value.

This cycle has repeated itself with the housing market boom of the early 2000s. Relaxed lending rules allowed developers to secure a loan with only a 10% equity contribution (Apartment Finance Today 2009). With the downturn, however, expected housing prices significantly declined and apartment rents were also showing a decline. Loan underwriting grew more conservative, with maximum leveraging topping out at 75%. Equity requirements also changed dramatically, rising to 15 to 30% in 2009.

Although there is no hard threshold for how much equity is too much before a project would be deemed infeasible, the higher the proportion of equity required, the more unlikely that a developer would proceed with the project. Not only would it require more up-front cash, but higher equity contribution means a project must be able to achieve an even higher value at completion in order to generate the net cash flow needed to meet the minimum acceptable cash-on-cash return threshold. These types of trends underscore the condition of the housing market facing southern California today.

### **Affordable Housing Financing**

The economic downturn also impacted the financing for affordable housing. One example is the Low Income Housing Tax Credit Program (LIHTC), which is an affordable housing source available for developers wishing to build affordable units in Riverside. LIHTCs provide affordable housing developers an allocation of tax credits, which they sell to investors to raise equity for projects. Investors that purchase tax credits are able to reduce their federal tax liability dollar-

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for-dollar, so that the purchase of \$1,000 in tax credits reduces tax liability by \$1,000. As a result of the equity made available through the sale of tax credits, a developer can complete projects with less debt and pass cost savings in the form of lower rent.

Historically, Fannie Mae and Freddie Mac provided 40% of LIHTC investments, and banks motivated by the Community Reinvestment Act (CRA) provided 40%. The LIHTC program is now facing significant challenges. Fannie Mae and Freddie Mac no longer make new investments. In addition, the substantial losses that many financial institutions continue to incur have eliminated or reduced their ability to use tax credits.

## Foreclosures

Beginning in the mid-2000's, the rising home foreclosure rates throughout southern California dampened the housing market. The crisis originated with subprime lending, loosening of credit terms offered by financial institutions, overproduction of housing, and declines in the economy.

State law does not require jurisdictions to mitigate market constraints, as economic conditions are beyond a city's control. Nonetheless, Riverside continues to implement programs to lessen the impact. The City was awarded Neighborhood Stabilization Program (NSP) funds to purchase, rehabilitate, and have reoccupied foreclosure properties. Up until January 31, 2012, NSP funds were also leveraged with \$808,260 million in Redevelopment Agency (RDA) Housing funds and a \$2,236,099 million line of credit with City National Bank to maximize the ability of the City to buy, rehabilitate, and sell foreclosed units. These programs are some of the ways Riverside was able to address market constraints.



## Request to Build Below Allowed Densities

While affordable family and senior housing projects have been built at maximum densities, market-rate apartments are being built at 90% of the maximum allowable density. The development community is developing at densities less than allowed by the underlying zoning designation. Market trends tend to have an influence on proposed densities that may be lower than the maximum allowed. At times, community opposition to high density housing may lead to lower densities than initially proposed; however, it appears a primary cause are stringent development standards that make maximum densities unachievable.





## HOUSING TECHNICAL REPORT

Based on recent development requests, residential housing trends in the City of Riverside reflect an increase in high density multi-family residential housing from pre-recession periods which have historically favored medium to low density residential housing over high density housing. Yet, the City has, and continues to experience significant community opposition to high density, multi-family, or affordable housing, which to some degree, has been fueled by recent multi-family development proposals in certain areas of the City.

Finally, a review of the multi-family development standards such as parking, open space and amenity requirements, along with any potential site constraints, reveals that it has been very difficult, if not impossible, to achieve the maximum densities allowed by the multi-family zoning districts.

Local governments are not required by law to remove non-governmental constraints, which are outside of their control. However, the City of Riverside has been proactive in identifying efforts to further reduce barriers to affordable housing. Prior to recent Zoning Code Amendments to remove housing barriers as part of the Adopted 5<sup>th</sup> Cycle Housing Element Implementation Program, the City's multi-family residential development standards made it very difficult, if not impossible for development to achieve maximum multi-family residential zone densities, and comply with the development standards. Efforts to remove housing barriers, with the recent Code amendments, the maximum densities are much more achievable. These include making multi-family residential by-right, reducing minimum setback, minimum lot size, minimum common and private open space requirements, and required level of recreational-amenities for multiple-family residential development. In addition, less restrictive parking requirements for Accessory Dwelling Units were adopted in compliance with State law, and the Downtown Specific Plan was amended to allow buildings to exceed established height limits with the granting of a Conditional Use Permit.

### Length of Time Between Approval and Building Permit Submission

The length of time between when a project receives approval and the submission of building permit application, creates a gap between local planning for housing and construction of housing. There are a variety of contributing factors which can affect the delay of construction.

During the housing crisis and subsequent foreclosures, many properties transferred ownership without a complete knowledge of



existing entitlements. Also many entitlements expire if not exercised within permitted time limits.

In addition, property owners seeking to increase land sale prices often apply for entitlements prior to sale. This can lead to buyers requesting new entitlements to make modifications to the project.

In an attempt to lessen the gap between entitlement approval and actual construction, the City has introduced three new processes: conceptual design review, expedited plan check, and substantial conformance.

The Conceptual Design Review process allows applicants to introduce their desired concept for feedback from the Design Review Committee prior to submitting for a full Design Review Permit. Expedited Plan Check allows applicants to pay a fee for expedited building plan review. Finally a Substantial Conformance determination allows applicants to administratively modify an existing entitlement without going through a full entitlement review process.

## GOVERNMENTAL CONSTRAINTS

### **Fees and Exactions**

The City of Riverside charges fees to process plans submitted for residential projects and to finance the provision of important services that are needed to accommodate housing and population growth. Fees and exactions are used to finance public facilities, roadways, water and sewer infrastructure, schools, and other community services. Failure to adequately plan for residential development is a key reason why jurisdictions are so financially constrained today.

For new residential projects, developers in Riverside may be required to pay one or more of the following fees depending on the location, type, and size of the project:

- ❖ **Planning, Building, and Environmental Fees.** The City of Riverside charges developers standard plan check fees, fees for processing applications, building permits, tentative tract maps, environmental initial study, variance, conditional use permit, or other permits to pay for the cost of processing applications and conducting inspections for specific projects. This does not include additional fees paid by the developer for project-specific environmental impact reports.
- ❖ **City Impact Fees.** The City charges impact fees to finance new or expanded infrastructure (water, sewer, library, parks, and



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public facilities) required to serve residents. The fee must have a reasonable relationship to the infrastructure costs and represent the marginal cost of improvements required to serve residents of the new residential projects. The City charges a local park fee, water supply and distribution fee, sewer capacity and treatment fee, local transportation fee, storm drain fees, and other impact fees. Other fees and credits may apply depending on the location.

- ❖ **Regional Impact Fees.** Certain impact fees are paid to fund transportation, habitat conservation, or schools. The City of Riverside has three unique regional fees—a Regional Transportation Uniform Mitigation Fee (TUMF), a fee for sensitive species habitat (Stephen’s Kangaroo Rat “K-Rat”), and a fee for the region’s Multiple Species Habitat Conservation Plan (MSHCP). The Riverside Unified School Districts (RUSD), Moreno Valley Unified School District (MVUSD) and Alvorad Unified School Districts (AUSD) charge fees to finance the construction and expansion of schools to accommodate student enrollment.

Table H-31 provides typical planning services and development fees for housing projects.

TABLE H-31  
TYPICAL HOUSING DEVELOPMENT FEES

Fee Category	Fee			
	Single-Family home on Un-Developed Infill Lot (per unit) <sup>2</sup>	Single-Family 20-lot Subdivision (per unit) <sup>2</sup>	Multi-family (per unit) <sup>3</sup>	Senior Multi-family Housing (Reduced Fee) <sup>3</sup>
<b>Service Fees</b>				
Planning Entitlements <sup>4</sup>	<del>\$0</del> \$0	<del>\$834.01</del> \$532	<del>\$252.21</del> \$465	<del>\$430.16</del> \$188
Environmental Initial Study with Grading	<del>\$0</del> \$0	<del>\$107.55</del> <del>(\$2,151/20 units)</del> \$1,545	<del>\$0</del> \$104 <del>(\$2,983.40/20 units)</del>	<del>\$43.05</del> <del>(\$861/20 units)</del> \$42 <del>(\$847.36/20 units)</del>
Building Permit Fee <sup>5</sup>	<del>\$955.92</del> \$899.50	<del>\$955.92</del> \$899.50	<del>\$634.15</del> \$608.50	<del>\$634.15</del> \$608.50
Building Plan Check Fee <sup>6</sup>	<del>\$955.92</del> \$899.50	<del>\$1345.92</del> \$287.50	<del>\$634.15</del> \$608.50	<del>\$634.15</del> \$608.50

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Fee Category	Fee			
	Single-Family home on Un-Developed Infill Lot (per unit) <sup>2</sup>	Single-Family 20-lot Subdivision (per unit) <sup>2</sup>	Multi-family (per unit) <sup>3</sup>	Senior Multi-family Housing (Reduced Fee) <sup>3</sup>
Building Permit Issuance Fee	<del>\$30</del> \$25	<del>\$30</del> \$25	<del>\$30</del> \$25	<del>\$30</del> \$25
General Plan Maintenance Fee <sup>2</sup>	\$180	\$180	\$122	\$122
<b>Development Fees – Public Works, Public Utilities and Parks (per unit)</b>				
Storm Drain Fee <sup>82</sup>	<del>\$536</del> \$648	<del>\$536</del> \$648	<del>\$135.36</del> \$104	<del>\$135.36</del> \$104
Sewer Capacity	<del>\$4,143</del> \$3,882	<del>\$4,143</del> \$3,882	<del>\$3,741</del> \$3,505	<del>\$3,741</del> \$3,505
Sewer Benefit	\$105	\$105	\$105	\$105
Utilities – Backup Facility Capacity Charge Water Meter Service Connection <sup>82</sup>	\$2,250	\$2,250	<del>\$2,250</del> \$112.50	<del>\$2,250</del> \$112.50
Utilities – Water Distribution Fee <sup>102</sup>	\$2,940	\$2,940	\$367.50	\$367.50
Utilities – Water Elevation Fee <sup>10</sup>	<del>\$1212</del> \$257	<del>\$1212</del> \$257	<del>\$1212</del> \$77	<del>\$1212</del> \$77
Utilities – Electric	Actual costs vary significantly per project \$2,284	Actual costs vary significantly per project \$2,284	Actual costs vary significantly per project \$900	Actual costs vary significantly per project \$900
Permit to Connect	\$42.60	\$42.60	\$42.60	\$42.60
Traffic and Railroad Signal Mitigation	\$190	\$190	\$125	\$125
Transportation	\$525	\$525	\$420	\$420
Local Park Fees <sup>111</sup>	<del>\$5,159</del> \$5,094	<del>\$5,159</del> \$5,094	<del>\$4,071</del> \$3,314	<del>\$4,071</del> \$3,314
<b>Regional Impact Fees(per unit)</b>				
TUMF Fee <sup>112</sup>	\$8,873	\$8,873	\$6,231	\$6,231
Regional Reserve Park Fee <sup>113</sup>	<del>\$5,489</del> \$915	<del>\$274.45</del> \$915	<del>\$274.45</del> \$275	<del>\$274.45</del> \$275
MSHCP Habitat Conservation	<del>\$2,031</del> \$1,938	<del>\$2,031</del> \$1,938	<del>1,056</del> 1,008	<del>1,056</del> 1,008
School Fees (RUSD) <sup>141</sup>	<del>\$8,020</del> \$7,540	<del>\$8,020</del> \$7,540	<del>\$4,010</del> \$3,779	<del>\$4,010</del> \$540
Typical Total Fees Per Unit <sup>1</sup>	<del>\$43,457.44</del> \$39,488	<del>\$39,574.45</del> \$40,952	<del>\$25,591.42</del> 22,220	<del>\$25,812.42</del> \$18,651

Source: City of Riverside 2014<sup>8</sup>



# HOUSING TECHNICAL REPORT

Fee Category	Fee			
	Single-Family home on Un-Developed Infill Lot (per unit) <sup>2</sup>	Single-Family 20-lot Subdivision (per unit) <sup>2</sup>	Multi-family (per unit) <sup>3</sup>	Senior Multi-family Housing (Reduced Fee) <sup>3</sup>

Notes:

1. Typical fees assume that the parcel has the appropriate General Plan and zoning designation for the proposed residential development, such that a General Plan Amendment of rezone is not necessary. In addition, it assumes that the project design meets Zoning Code requirements and a variance is not necessary.
2. The single-family estimate is based on a 3 to 4 bedroom, 2 bath, 2,000 square-foot single-family residence on a 7,200 sq. ft. undeveloped parcel (6 units per acre).
3. The multiple-family and senior multiple-family estimates are based on a 20 unit multi-family project on 1 acre (density of 20 units per acre) with average unit sizes of 1,000 square feet.
4. Entitlement fees for a single-family subdivision are based on Tentative Tract Map Application fee for 10 or more lots: ~~\$15,1969,649~~ plus WQMP fee of ~~\$1,484,28500.50~~; entitlement fees for multiple-family are based on ~~Administrative Design Review Site Plan Review~~ fee of ~~\$8,800,493,560~~ plus WQMP fee of ~~\$1,484,28500.50~~ divided by 20 units plus and the entitlement fee for senior-housing is based on Conditional Use Permit fee of ~~\$3,559262.96.00~~ plus WQMP fee of ~~\$500.501,484.28~~ divided by 20 units. Generally, a single home on a single undeveloped lot is not subject any entitlement fees.
5. Single-family residential building permit fee based on valuation @ ~~\$84.6093.06/sf = \$469,299186,120~~. Fee for valuation between \$100,001 to \$500,000: \$654.50 for first \$100,000 plus \$35 for each additional \$10,000 or fraction thereof, to and including \$500,000; multiple-family residential building permit fee based on Valuation @ ~~\$95.7087/sf = \$87,00095,700~~. Fee for valuation between \$50,000 and \$100,000: \$428.50 for first \$50,000 plus \$45 for each additional \$10,000 or fraction thereof, to and including \$100,000
6. Building plan check fee is the same as the building permit fee, except that for tracts the fee is ~~\$5006.00~~ per model plus ~~\$2503.00~~ per lot. Assuming 3 models for a 20 lot tract, the average cost per lot for a 20 lot tract is: ~~\$287.50434.98~~.
- ~~7. General Plan Maintenance Fee is based on plan check and permit fee x 10%.~~
- ~~8.7. Storm drain fee for single-family based on 2000 sq. ft. home at \$186 plus \$28/100 sq. ft. for the roof area in excess of 750 sq. ft. (\$186 + 350 = \$536) for the first 750 s.f. plus \$28 / 100 s.f. for the rest of roof area; multiple-family and senior housing based on 20,000 sq. ft. building with \$186 plus \$28 / 100 sq. ft. for the roof area in excess of 750 sq. ft. but less than 3,000 sq. ft. plus \$0.02 per sq. ft. of roof area (\$186 + \$630 + \$1020 = \$2707.20 / 20 based on \$0.06 per sq. ft. of roof area in excess of 3,000 s.f. plus \$0.02 per sq. ft. of site area (20,000 sq. ft. roof @ \$1,200 + 43,560 sq. ft. site @ \$871 = \$2,071 / 20).~~
- ~~9.8. For water meter service, the fee for multiple-family and senior assumes 1 meter for all units.~~
- ~~10.9. For water distribution, the fee for single-family is \$49 per lineal foot of lot frontage based on 60-foot wide SFR. For multiple family and senior \$49 per lineal foot of lot frontage based on 150 feet of lot frontage for a one-acre lot.~~
- ~~10. Elevation fees are based on pressure zones. There are 12 pressure zones identified in the City with the associated fees ranging from \$0 to \$1750. An average of the fees per pressure zone was used to determine fee costs.~~
11. Includes local park development, aquatic facilities and trail fee (\$78/gross acre).
12. TUMF fee is transportation uniform mitigation fee for regional projects. For publicly subsidized affordable housing projects, TUMF fees are waived.
13. The Regional Reserve fee is \$5,489/gross acre and fee indicated above is based on single-family at 6 units per acre and multiple-family at 20 units per acre.
14. Fees for the City's three school districts are: RUSD @ ~~\$3,203.48~~ - ~~\$7,558.02~~/sq. ft.; AUSD @ ~~\$3,203.48~~ / sq. ft.; and MVUSD @ ~~\$3,203.48~~ - ~~\$3,304.50~~/sq. ft. Approximately two thirds of the City is within the RUSD district boundaries; therefore, the current RUSD school fee of ~~\$3,774.01~~/square-foot was utilized for this calculation. Single-family fee is based on ~~\$3,774.01~~ x 2000 s.f., multiple-family is based on ~~\$3,774.01~~ x 1,000 sq. ft. and senior is based on ~~\$3,542.01~~ x 1,000 s.f.





# HOUSING TECHNICAL REPORT



## ***Assessment of Fees***

The City of Riverside is authorized under state law to charge fees to recover the full cost of services provided by City staff. Cities can also charge fees to recover the full costs of constructing and improving roads, parks, sewer, water lines, and other infrastructure to serve residential development. Despite this authority, the City and regional entities have taken proactive steps to reduce the following fees:

- ❖ **City Fees.** The City of Riverside continues to subsidize development fees (30%) with its general fund monies. In 2008, the City adopted a policy of deferring certain development fees until final inspection or certificate of occupancy, totaling \$10,000 in short-term savings. Senior housing projects also receive substantial fee reductions.
  
- ❖ **Impact Fees.** TUMF and School Mitigation fees are the two largest impact fees, comprising 50% of development fees. Per City Council Ordinance No. 7067, publicly subsidized affordable projects are exempt from TUMF fees. The TUMF fee exemption is a significant incentive to encourage development of affordable housing. For example, the total fees for a market rate multiple-family housing development, ~~\$25,591.42~~~~\$22,220~~ would be reduced by \$6,231 (a ~~28~~4 percent reduction of total fees) to ~~\$19,360.42~~~~\$15,989~~, a substantial reduction for a publicly subsidized affordable multiple-family housing development. Similarly, when the project is a publicly subsidized affordable senior multiple-family housing development, the total fees are reduced even further, from ~~\$25,812.42~~~~\$18,651~~ to ~~\$19,581.42~~~~\$12,420~~ (a ~~24~~ percent reduction, ~~reduced by over one-third~~ of the total fees). Given the combination of TUMF fee waiver and subsidies for affordable housing, development fees are not viewed as a constraint to affordable housing developments and in fact promote and encourage affordable housing developments in the City of Riverside. This is demonstrated through entitled and in-the pipeline affordable housing units within this Planning Period.
  
- ❖ **Density Bonus.** Finally, developers proposing apartments or PRDs that contain units affordable to lower income residents can receive higher densities (and thereby project revenues) plus concessions for qualified projects. This provision improves the financial feasibility of projects and creates a third layer of financial benefits for developers. In 2007, with the update of the Zoning Code as part of the General Plan 2025 Program,



## HOUSING TECHNICAL REPORT

Riverside updated its density bonus provisions to comply with state law and allow for these financial benefits.

- ❖ **Development Fees Compared to Total Development Costs.** Residential per square-foot development costs can vary greatly depending on the region, quality of materials, and extent of amenities and upgrades. A modest estimate of development costs for a basic tract home within the Southern California region can be expected to be around \$150 per square-foot.<sup>2</sup> Utilizing this per square-foot cost, the total development costs for a 2,000 square-foot single-family home would be approximately \$300,000. Based on the development fees shown in the table above, the development fees of approximately \$41,000 for a 2,000 s.f. single-family tract home (20-lot subdivision) would represent approximately 13.6 percent of the total development costs. Since the development fees represent a small portion (about one eighth) of total development costs for a single-family detached unit, these fees are not considered to be a constraint to development.
  
- ❖ Utilizing a \$135 per square-foot construction cost for a 1,000 square-foot multiple-family unit (10 percent less than for single-family detached) the total per unit construction cost for a multiple-family unit would be approximately \$135,000. The multiple-family per unit fees of roughly \$22,000 represents approximately 16 percent of the total development cost. While multiple-family fees represent a higher percentage of total development cost than for single-family, the fees still represent a small portion of the total development costs. Moreover, the total development costs for a multiple family unit is 55 percent lower than for the single-family unit. For senior units, the development fees are even lower at around 13.8 percent. If the units are publicly subsidized multiple-family residential, the fees represent about 11.8 percent and for publicly subsidized senior, they are 9.2 percent of total development costs. Given these fees represent a small portion of total development costs and even smaller percentage due to incentives such as the TUMF fee exemption, and further

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<sup>2</sup> This per square-foot development cost was derived from February, 2011 International Code Council Building Valuation Data providing square foot construction costs for Type V multiple-family and single-family residential construction. The 2011 nationwide average per square-foot development costs for Type VA construction are approximately \$109/s.f. for single-family and approximately \$97/s.f. for multiple-family residential. For the purposes of this analysis these development costs were increased as indicated above to reflect higher development costs for the Southern California region compared to the nation as a whole and rising construction costs since 2011.

# HOUSING TECHNICAL REPORT



incentives such as density bonuses for senior and affordable housing, these fees are not considered to be a constraint to development.

## LAND USE REGULATIONS

Local land use policies and regulations impact the price and availability of housing, including affordable housing. This section discusses the City's General Plan 2025 land use designations and provisions in the Zoning Code relative to the types of housing allowed within Riverside as a potential governmental constraint.

### Land Use Regulations

The General Plan 2025 Land Use and Urban Design Element set forth land use designations that guide the location, type, and intensity or density of permitted uses of land in the City of Riverside. The Zoning Code (Title 19 of the Municipal Code) implements the General Plan 2025 by providing specific direction and development standards for each general land use categories. Table H-32 shows residential land uses, the corresponding zoning designation, and permitted densities allowed for housing.

TABLE H-32  
PRIMARY LAND USE DESIGNATIONS ALLOWING HOUSING

General Plan Land Use Designation	GP Symbol	Zone Symbol	Zoning Designation
<b>Single-Family Residential Land Use Designations</b>			
Agricultural/Rural (Max. 0.20 du/acre)	A/RR	RA-5	Residential Agriculture
Hillside (Max. 0.63 du/acre)	HR	RC	Residential Conservation
Semi-Rural (Max. 3.3 du/acre)	SRR	RR	Rural Residential
Very Low Density (Max. 3.2 du/acre)	VLDR	RE R-1-1/2 acre	Residential Estate R-1-1/2 acre-Single Family
Low Density (Max. 6.0 du/acre)	LDR	RE R-1-1/2 acre R-1-13000 R-1-10500 CS	Residential Estate R-1-1/2 acre-Single Family R-1-13000-Single Family R-1-10500-Single Family Commercial Storage Overlay



# HOUSING TECHNICAL REPORT

General Plan Land Use Designation	GP Symbol	Zone Symbol	Zoning Designation
Medium Density (Max. 8.0 du/acre)	MDR	RE R-1-1/2 acre R-1-13000 R-1-10500 R-1-8500 R-1-7000 CS MH	Residential Estate R-1-1/2 acre-Single Family R-1-13000-Single Family R-1-10500-Single Family R-1-8500-Single Family R-1-7000-Single Family Commercial Storage Overlay Mobile Home Park Overlay
<b>Multiple-Family Residential Land Use Designations</b>			
Medium-High Density (Max. 14.5 du/acre)	MHDR	R-3-4000 R-3-3000 CS	R-3-4000-Multi-family R-3-3000-Multi-family Commercial Storage Overlay
High Density (Max. 29 du/acre)	HDR	R-3-4000 R-3-3000 R-3-2500 R-3-2000 R-3-1500 CS	R-3-4000-Multi-family R-3-3000-Multi-family R-3-2500-Multi-family R-3-2000-Multi-family R-3-1500-Multi-family Commercial Storage Overlay
Very High Density (Max. 40 du/ac)	VHDR	R-4	R-4-Multi-family
<b>Mixed-Use Designations</b>			
Downtown Sp. Plan (Various DUs/FAR)	DSP	DSP	Downtown Specific Plan
Orangecrest Specific Plan (Various DUs/FAR)	OSP	OSP	Orangecrest Specific Plan
Mixed-Use - Neighborhood (Max. 10 du/acre, and 1.0 FAR/acre)	MU-N	MU-N	Mixed Use- Neighborhood
Mixed-Use - Village (Max. 30/40 <sup>1</sup> du/acre, and 2.5 FAR/acre)	MU-V	MU-V	Mixed Use-Village
Mixed Use - Urban (Max. 40/60 <sup>1</sup> du/acre, and 4.0 FAR/acre)	MU-U	MU-U	Mixed Use-Urban
<b>Community Amenities and Support Designations</b>			
Agriculture (Max. 0.20 du/acre)	A	RA-5	Residential Agriculture

Source: City of Riverside, 2025 General Plan and Zoning Code, 2007

# HOUSING TECHNICAL REPORT



Note: 1. Proposed projects within one-half mile of a transit stop along Magnolia or University Avenue may qualify for the higher residential density.

## Housing Opportunities

Housing element law specifies that jurisdictions must facilitate and encourage a range of housing types for all economic segments of the community. Shown in Tables H-33 and H-34, the Zoning Code permits a wide variety of conventional and special needs housing.

TABLE H-33  
ALLOWABLE RESIDENTIAL USES IN RESIDENTIAL ZONES

Residential Uses	Residential Zones						
	RC	RA-5	RR	RE	R-1	R-3	R-4
<b>Traditional Housing</b>							
Single-Family Dwelling Det.	P	P	P	P	P	x <sup>1</sup>	x
Single-Family Dwelling Att.	x	x	P	P	P	x <sup>2</sup>	x <sup>2</sup>
Manufactured Dwelling	P	P	P	P	P	x	x
Mobile Home Park	x	x	In Overlay Zone			x	x
<del>Second-Accessory</del> Dwelling Unit	x	x	x	P/MC <sup>3</sup>	P/MC <sup>3</sup>	x	x
Multiple-Family (2 or more du's)	x	x	x	x	x <sup>4</sup>	SPP	SPP
Live-Work	x	x	x	x	x	x	x
Planned Residential	PR D	x	PR D	PRD	PRD	x	x
<b>Special Needs Housing</b>							
Assisted Living (Residential Care Facility)	x	x	x	x	C	C	x
Boarding House	x	x	x	x	x	C	x
Caretaker Living Quarters							
Agricultural	x	C	x	x	x	x	x
Industrial Use & Commercial Storage	x	x	x	x	x	x	x
Temp. during Construction	TU P	TUP	TU P	TUP	TUP	TUP	TUP
Group Homes (6 or less)	P	P	P	P	P	SP	SP
Group Homes (7 or more)	x	x	C	C	C	x	x
Parolee/Probationer (6 or less)	x	x	MC	MC	MC	x	x
Parolee/Probationer (> 6)	x	x	C	C	C	x	x
Shelters (fewer than 6 clients) <sup>f</sup>	x	x	MC	MC	MC	x	x
Shelters (more than 6 clients) <sup>f</sup>	x	x	C	C	C	x	x
<del>Single Room Occupancy (SRO)</del>	<del>x</del>	<del>x</del>	<del>x</del>	<del>x</del>	<del>x</del>	<del>x</del>	<del>x</del>
Sober Living Homes	P	P	P	P	P	SP	SP
Student Housing	x	x	x	x	x	C	C



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<u>Supportive Housing (fewer than 6 clients)</u>	P	P	P	P	P	P	P
<u>Supportive Housing (more than 6 clients)</u>	P	P	P	P	P	P	P
<u>Tiny Home Community<sup>5</sup></u>	X	X	C	C	C	C	X
<u>Temporary Emergency Shelter<sup>5</sup></u>	X	X	TUP	TUP	TUP	TUP	X
<u>Transitional Housing (fewer than 6 clients)</u>	P	P	P	P	P	P	P
<u>Transitional Housing (more than 6 clients)</u>	P	P	P	P	P	P	P

Source: City of Riverside Zoning Code, 2013<sup>8</sup>

P = Permitted by Right  
 PRD = Planned Residential  
 MC = Minor Conditional Use  
 TUP = Temporary Use Permit  
 C = Conditional Use Permit  
 SP = Site Plan Review Required  
 X = Prohibited Use

1. Permitted in the R-3-4000 zone only with a PRD.
2. Permitted with a PRD.
3. MCUP is required if all the development standards cannot be met.
4. Legal existing duplexes built prior to the adoption of the Zoning Code are permitted in the R-1-7000 zone.

~~5. Permitted with an incidental use to Assemblies of People- Non Entertainment  
 5. Includes emergency shelters and transitional and supportive housing.~~

With the adoption of the General Plan 2025 and Zoning Code, the City of Riverside also allows numerous opportunities for conventional and special needs housing in commercial, mixed-use, and other zones. Given the built-out nature of many areas, the City has adopted smart growth principles to direct its new residential growth to mixed-use or commercial areas, as shown below.

TABLE H-34  
 ALLOWABLE RESIDENTIAL USES IN NONRESIDENTIAL ZONES

Residential Uses	Commercial				Mixed Use <sup>1</sup>		
	O	CR	CG	CRC	MU-N	MU-V	MU-U
<b>Traditional Housing</b>							
Single-Family Dwelling Det.	X	X	X	X	P	X	X
Single-Family Dwelling Att.	X	X	X	X	P	X	X
Manufactured Dwelling	X	X	X	X	P	X	X
Mobile Home Park	X	X	X	X	X	X	X
<del>Second</del> <u>Accessory</u> Dwelling Unit	X	X	X	X	X	X	X
Multiple-Family (2 or more du's)	X	X	X	X	X	<del>SPP</del>	<del>SPP</del>
Live Work	X	X	X	X	P	SP	SP
Planned Residential	X	X	X	X	X	X	X
<b>Special Needs Housing</b>							
Assisted Living	C	C	C	X	X	X	X
Boarding House	X	X	X	X	X	X	X

# HOUSING TECHNICAL REPORT



Residential Uses	Commercial				Mixed Use <sup>1</sup>		
	O	CR	CG	CRC	MU-N	MU-V	MU-U
Caretaker Living Quarters							
Agricultural	x	x	x	x	x	x	x
Industrial Use & Commercial Storage	x	x	x	x	x	x	x
Temp. during Construction	TUP	TUP	TUP	TUP	TUP	TUP	TUP
Group Homes (6 or fewer)	x	x	x	x	P	SP	SP
Group Homes (7 or more)	C	C	C	C	x	x	x
Parolee/Probationer (6 or less)	x	x	x	x	x	x	x
Parolee/Probationer (7 or more)	x	x	x	x	x	x	x
Shelters (six or fewer clients) <sup>3</sup>	MC	MC	MC	x	x	x	x
Shelters (seven or more) <sup>2</sup>	C	C	C	x	x	x	x
<u>Single Room Occupancy (SRO)</u>	<u>x</u>	<u>x</u>	<u>x</u>	<u>x</u>	<u>x</u>	<u>x</u>	<u>C</u>
Sober Living Homes	x	x	x	x	P	SP	SP
Student Housing	x	C	C	x	x	C	C
<u>Supportive Housing (fewer than 6 clients)</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>x</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Supportive Housing (more than 6 clients)</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>x</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Tiny Home Community<sup>2</sup></u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
<u>Temporary Emergency Shelter<sup>3,4</sup></u>	<u>TUP</u>	<u>TU</u> <u>P</u>	<u>TU</u> <u>P</u>	<u>TU</u> <u>P</u>	<u>TUP</u>	<u>TUP</u>	<u>TU</u> <u>P</u>
<u>Transitional Housing (fewer than 6 clients)</u>	<u>MC</u>	<u>MC</u>	<u>MC</u>	<u>x</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Transitional Housing (more 6 clients)</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>x</u>	<u>P</u>	<u>P</u>	<u>P</u>

Source: City of Riverside Zoning Code, 2013~~8~~

P = Permitted by right  
 PRD = Planned Residential  
 MC = Minor Conditional Use  
 TUP = Temporary Use Permit

C = Conditional Use Permit  
 SP = Site Plan Review Required  
 X = Prohibited Use

1. Mixed-use is also allowed in the Downtown Specific Plan.
2. Shelters are also conditionally permitted in the Industrial Zone.
3. ~~Includes emergency shelters and transitional and supportive housing. Permitted with Assemblies of People - Non-Entertainment.~~
4. ~~Temporary shelters are also temporarily permitted with a Temporary Use Permit in the Industrial and BMP Zones (only with Assemblies of People - Non-Entertainment).~~

## Single-Family Housing

The Municipal Code allows a range of single-family homes in residential zones, predominantly as a by-right use. In accordance with state law, special provisions apply to manufactured housing, mobile home parks, and second units, as described below.

- ❖ **Manufactured Housing.** The City allows the installation of manufactured homes certified under the National



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Manufactured Housing Construction and Safety Standards Act of 1974 on a foundation system, pursuant to Section 18551 of the Health and Safety Code, on lots zoned for conventional single-family residential dwellings. Such uses are not subject to any administrative, planning, or development process or requirement, which is not identical to the administrative permit, planning, or development process or requirement, which would be imposed on a conventional single-family residential dwelling on the same lot.

- ❖ **Mobile Home Parks.** The City of Riverside has an estimated 2,500 mobile home units in the community, several of which provide affordable housing for seniors. Mobile home parks were permitted in the RR, RE, and R-1 zones with a Mobile Home Park Overlay Zone. The Municipal Code requires that mobile home parks be at least 10 acres and comply with standards in accordance with Title 25 of the California Code of Regulations. The Municipal Code establishes setback standards for mobile home parks that are similar to the R-3 zone. The City has also worked with partners to rehabilitate and preserve the condition of viable mobile home parks.
- ❖ **Planned Residential Development (PRD).** PRD regulations are a unique and flexible development incentive that is intended to: assist in producing a diversity of single-family housing, incentivize clustered development of environmentally and topographically constrained land, allow the development of small-lot infill subdivisions, encourage more creative and imaginative project design by allowing increased densities in return for enhanced amenities; provide increased opportunities for home ownership; and assist in the preservation and enhancement of valuable natural areas, where appropriate and especially in the RC Zone. A PRD is permitted in any single-family residential zone (except RA-5), subject to a Planned Residential Development Permit.

## ***~~Second Units, Accessory Dwellings, and Caretaker Quarters~~***

~~Second units, a~~ Accessory dwellings, ~~and~~ caretaker quarters can provide a significant source of affordable housing to students, extended family, seniors, housekeepers/caretakers, and other individuals living and working in Riverside.

The Zoning Code provides for the following uses.

- ❖ Accessory Dwelling Units. The Zoning Code defines an accessory dwelling unit as an attached or detached dwelling



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unit which provides complete independent living facilities for one or more persons which is located on the same lot as a permitted primary use. An accessory dwelling unit may include an efficiency unit or manufactured home as defined by the California Health and Safety Code. Accessory dwelling units are permitted by right in the RE and R-1 zones, except that are not permitted on lots with existing duplexes. An accessory dwelling unit shall not exceed 1,200 square feet. Development standards include one parking space in addition to those required for the primary dwelling. However, parking standards shall not apply if located within one-half mile of public transit, located within an historic district, part of existing primary residence or an existing accessory structure, or when on-street parking permits are required but not offered to the occupant of the accessory dwelling unit.

❖ ~~Second Units. The Zoning Code defines a second unit as a dwelling located on a property zoned for single-family residential use that is designed exclusively for single family residential purposes, with a kitchen and sanitation facilities and located on the same lot as the primary dwelling. Second units are permitted by right in the RE and R-1 zones. Development standards include a minimum 10,000 square foot lot, a separate minimum covered parking space for one car, and other standards. If the development standards cannot be met, however, second units can still be allowed pursuant to a minor conditional use permit in those zones.~~

❖ **Caretakers Quarters.** The Zoning Code defines a caretaker's quarter as a single-family dwelling unit as an accessory to an agricultural, professional, commercial or industrial use for occupancy by the owner/caretaker. Caretaker's quarters are permitted in three industrial zones (I, AI, and AIR), one commercial zone (CS Overlay) pursuant to a Minor Conditional Use Permit where 24-hour on-site management is required, and in the RA-5 - Single-family Residential Zone subject to a Conditional Use Permit. Within the industrial and commercial zones, the unit is limited to 650-square-feet, and 2 bedrooms and is covenant restricted to be occupied by the owner or employee of the business where the unit is located.

## ***Multiple-Family Housing***

The City of Riverside actively encourages and facilitates the production of multiple-family housing products in the community. This includes traditional multiple-family developments and senior projects, as well as mixed use and student housing projects.



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❖ By-Right. In January, 2018<sup>7</sup>, the City amended the Zoning Code to allow multi-family residential uses by-right throughout the City. A new Administrative Design Review process was created in order to facilitate this non-discretionary process. In addition, Site Plan Review, which is a discretionary process, is no longer required for multi-family developments.

❖ **Mixed-Use.** The Zoning Code has mixed-use zones that offer development opportunities for integrated, complementary residential and commercial development on the same parcel or contiguous group of parcels. Singular, stand-alone uses are permitted when they foster an overall mixture of uses. Design and development standards for all three zones are directed toward encouraging pedestrian activity and ensuring that mixed commercial and residential uses are compatible both within the development and with other surrounding areas.

The Riverside General Plan and Zoning Code contain a variety of incentives to facilitate multiple-family developments, particularly transit-oriented projects. Proposed projects within one-half mile of: 1) a transit stop along Magnolia or University Avenues or (2) any transit station may obtain a density of up to 40 units per acre in the MU-V zone with a maximum FAR of 2.5, and up to 60 units per acre in the MU-U zone with a maximum permissible FAR of 4.0.

❖ **Student Housing.** The City of Riverside has an extensive system of universities, colleges, and educational institutions and one of the largest populations of students in southern California. To accommodate the need for student housing, the Zoning Code allows student housing, fraternities and sororities, and dormitories with a conditional use permit in two residential zones (R-3 and R-4), two office and commercial zones (CR and CG), and two mixed-use zones (MU-V and MU-U). Thousands of student units are available in Riverside and developers are proposing additional units.

The Zoning Code specifies two types of student housing. A fraternity or sorority house is a building rented, occupied, or owned by a chapter of some regularly organized college fraternity or sorority or by or on its behalf by a building corporation or association composed of members or alumni, and occupied by its members as a place of residence. A dormitory is a building intended or used principally for sleeping accommodations where such a building is related to an educational, public, or religious institutions.





## ***Housing for People with Disabilities***

The Welfare and Institutions Code (Lanterman-Petris Act) and the Health and Safety Code (Community Care Facilities Act) declare that people with a wide variety of disabilities are entitled to live in normal residential settings. The Health and Safety Code (California Residential Care Facilities for the Elderly Act) also extends this protection to elderly persons. State law sets forth regulations and guidelines for care facilities that preempt or limit many local regulations. Ten types of facilities are covered under this Act including:

- ❖ Residential facility
- ❖ Adult day program
- ❖ Therapeutic day services facility
- ❖ Foster family agency or home
- ❖ Small family home
- ❖ Social rehabilitation facility
- ❖ Community treatment facility
- ❖ Transitional shelter care facility
- ❖ Transitional housing placement facility
- ❖ Residential care facility for the elderly
- ❖ Alcoholism or drug abuse recovery or treatment facility
- ❖ Congregate care facility

The Health and Safety Code (sections 1500 et seq.) requires that state-licensed residential care facilities serving six or fewer persons be (1) treated the same as a residential use, (2) allowed by right in all residential zones, and (3) treated the same with respect to regulations, fees, taxes, and permit processes as other residential uses in the same zone. The Health and Safety Code extends this protection to residential care facilities for the elderly (sections 1569.84 et seq.), to alcoholism or drug abuse recovery or treatment facilities (sections 11834.22 et seq.), and to congregate care facilities (sections 1267.16 et seq.), all of which serve no more than six clients.

The Riverside Zoning Code permits the above uses (including single-room occupancy) primarily under the term “group homes.” As required by state law, such uses serving six or fewer persons are permitted in all residential zones as a by-right use and larger facilities as a conditionally permitted use in seven zones. Besides general regulations, a group home is subject to a 300-foot separation from another group home (including assisted living facility and or shelter) and 1,000 feet from a parolee/probationer’s home. In addition, a group home shall have no more than 40 beds nor shall serve more than 40 clients at the same time (RM Section 19.315.040).



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## ***Assisted Living***

Riverside permits assisted living/residential care facilities in the community. Assisted living is defined as a special combination of housing, supportive services, personalized assistance, and health care designed to respond to the individual needs of persons who need help with activities of daily living. A facility with a central or private kitchen, dining, recreational, and other facilities with separate bedrooms or living quarters, where the emphasis of the facility remains residential. This definition may include residential care facilities for the elderly.

Assisted living facilities are permitted with a conditional use permit in the R-1 zone (much like other group quarters) and in the R-3 zone. Assisted living facilities are conditionally permitted to ensure compatibility with surrounding properties and to avoid any impacts associated with such uses. Assisted living facilities are subject to the development standards of other residential uses in the same zone; however, they are only required to have one parking space per two beds, compared to two spaces for a two-bedroom apartment.

The City of Riverside's policy of allowing residential care facilities and assisted living facilities larger than seven or more persons pursuant to a conditional use permit is not considered a constraint. Group homes and assisted living facilities are allowed in all residential zones, except RC (which requires voter approval), a rural zone, and R-4. These uses are also permitted conditionally in all commercial zones. Large facilities account for 70% of all beds for disabled residents. Moreover, City staff cannot recall a conditional use permit for a new group home with seven or more residents that was denied.

The City of Riverside has a greater number of group-quarter beds available for people with a disability (on a per capita basis) than many other communities. The City currently has 2,134 beds available within residential care facilities.

Taken together, the conditional use permit process is not considered a constraint to the development of housing for people with disabilities because: the City has a larger percentage of care facilities than the national average, larger facilities are allowed in virtually every compatible residential and commercial zone, and large facilities currently provide the majority of beds in Riverside.

## **Homeless Facilities**

Riverside has the largest and most integrated system of addressing homelessness in the entire county. Riverside's comprehensive continuum of care approach is predicated on the understanding that

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homelessness is caused by a complex range of underlying physical, economic, and social needs. Nonetheless, there is still the need for immediate housing for homeless people.

To that end, the City of Riverside currently provides the following continuum of care housing options for people who are homeless:

- ❖ **Emergency Shelter.** This includes short-term facilities that provide basic temporary overnight sleeping accommodations along with meals, showers, and supportive service linkages.
- ❖ **Transitional Housing.** This is a residence that provides a stay of up to two years during which residents are provided case management services that prepare them to obtain and maintain housing and be self-sufficient.
- ❖ **Permanent Supportive Housing.** This is a residence that provides permanent housing linked with ongoing support services that allow residents to live at the place of residence on an indefinite basis.
- ❖ **Temporary Emergency Shelter.** This is a temporary use that may be permitted in conjunction with an Assemblies of People-Non-Entertainment use with a Major Temporary Use Permit. The placement of beds are temporary and limited to a maximum of 180 days per calendar year.
- ❖ **Single Room Occupancies (SRO's).** This is a multi-unit housing development for very low income persons that typically consists of a single room and shared bath, also may include a shared common kitchen and common activity area.

To avoid over-concentration of shelters, a 5,000-foot separation is required between the subject use and any other shelter facility and a 300-foot separation between such use and an assisted living or group home facility. Moreover, a shelter cannot be located within 1,000 feet of a public or private school, universities, colleges, student housing, senior child care facilities, public parks, business licensed for sales of alcoholic beverages, or parolee/probationer home.

The City's present shelter system can already accommodate the current homeless population in the community. In compliance with Senate Bill 2, the Housing Element proposes an implementation tool to make code amendments that would allow transitional and supportive housing as a by-right use in all residential zones and treat such uses in the same manner as other residential uses in the same zone. However, prior to adoption of the 2006–2014 Housing Element,



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the City processed an amendment to create an emergency shelter overlay zone that encompasses the City's new Hulen Place campus, which will provide more than sufficient sites and integrated services to accommodate the City's existing needs.

### ***Sober Living Facilities***

The Municipal Code defines "alcohol and drug free residential recovery home" and "sober living homes" as the use of a residential dwelling structure or unit for a cooperative living arrangement to provide an alcohol- and drug-free environment for persons recovering from alcoholism or alcohol and/or drug abuse, who seek a living environment in which to remain clean and sober; and which demonstrates identifying characteristics that distinguish such uses, from similar land uses or community care facilities subject to state licensing requirements and from all other uses of residential property.

Federal and state fair housing statutes all confirm that sober living homes and alcohol and drug free residential recovery home are not subject to local zoning, business taxation, or licensing regulations. Both homes cannot be treated in a different manner than other residential structures of the same type in the same zone. This is similar to legislation that preempts many local governments from enacting regulations of group homes. Thus, the Municipal Code permits sober living facilities by right in all residential zones. As of August 2013, Riverside has an estimated 22 sober living facilities in the City.

### ***Alcohol and Drug Treatment Facilities***

The Riverside Municipal Code defines an alcohol and drug treatment facility as any facility, building or group of buildings which maintained and operated to provide 24-hour residential nonmedical alcoholism or drug abuse recovery or treatment services. This facility is distinguished from a sober living facility in that a state license is required in order to operate an alcohol and drug treatment facility.

Alcohol and drug treatment facilities are treated like a licensed group housing arrangement where facilities serving six or fewer clients are allowed as a by-right use in all residential zones. Facilities serving seven or more clients are conditionally permitted in the RR, RE, R-1, O, CR, CG, and CRC Zones. To avoid over-concentration of facilities, the City requires a 300-foot separation requirement between the subject group housing and any other group housing or assisted living facility, emergency shelter, supportive housing, transitional housing and transitional housing development, except that the separation requirement shall be increased to 1,000 where the other use is a parolee/probationer home.

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## Tiny Home Communities

In January 2018, the City adopted new regulations to allow Tiny Home Communities as an incidental use to an Assemblies of People - Non-Entertainment use. A Tiny Home Community is defined as a group of Tiny Homes, typically smaller than 1,200 square feet per unit, that are arranged in common relationship to one another, usually surrounding a shared landscaped area. Also known as a “pocket neighborhood.”

## DEVELOPMENT STANDARDS

Riverside regulates the type, location, density, and scale of residential development primarily through the Zoning Code. Zoning Code regulations are designed to protect and promote the health, safety, and general welfare of residents and implement policies of the General Plan 2025. The Zoning Code also serves to preserve the character and integrity of existing neighborhoods.

### Allowable Land Uses

Table H-35 presents a generalized summary of development standards for housing in Riverside. Specific requirements and exceptions are in Article V of the Riverside Zoning Code (Title 19).

TABLE H-35  
GENERALIZED RESIDENTIAL DEVELOPMENT STANDARDS

Zone	Development Standards				
	Maximum Density (Units/Acre)	Minimum Lot Area (s.f.)	Building Stories – Max.	Maximum Lot Coverage	Setbacks – Front/Side/Rear (ft.)
RC	0.5	Varies	1	N/A	30/25/25
RA-5	0.2	5 acres	2	30%	40/20/25
RR	2.1	20,000 s.f.	2	30%	30/20/100
RE	1.0	43,560s.f.	2	30%	30/25/30
R-1-½ ac	2.0	21,780 s.f.	2	30%	30/20/35
R-1 <sup>1</sup>	3.4-6.2 <sup>1</sup>	7,000-13,000 s.f.	2	30-40%	varies
R-3-4000	10.9	30,000 s.f. + acre	2 <sup>3</sup>	—	25/10/20
R-3-3000	14.5	30,000 s.f. + acre	2 <sup>3</sup>	—	
R-3-2500	17.4	30,000 s.f. + acre	2 <sup>3</sup>	—	



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R-3-2000	21.8	<del>30,000 s.f./acre</del>	2 <sup>3</sup>	—	15/7.5-10/15
R-3-1500	29	<del>30,000 s.f./acre</del>	2 <sup>3</sup>	—	
R-4	40	<del>30,000 s.f./acre</del>	4	—	
MU-N	10	7,000 s.f.	35'	1.0 FAR	15/0/15
MU-V <sup>2</sup>	30	20,000 s.f.	45'	2.5 FAR	0/0/15
MU-U <sup>2</sup>	40	20,000 s.f.	60'	4.0 FAR	0/0/15

Source: Zoning Code, 2013~~8~~

1. The R-1 zone contains a number of subcategories depending on the lot size
2. Proposed projects within one-half mile of: 1) a transit stop along Magnolia or University Avenues or 2) any transit station may have a residential density of up to 40 units per acre in the MU-V Zone with a maximum FAR of 2.5, and up to 60 units per acre in the MU-U Zone with a maximum total permissible FAR of 4.0.
3. For properties 3 acres or greater, 60% of units can be in buildings that are three stories in height pursuant to Planning Commission approval.

## Open Space Requirements

In single-family neighborhoods, the Zoning Code regulates the amount of open space by maximum lot coverage. In these areas, the Zoning Code limits single-family homes to a lot coverage not to exceed 30 to 40% of the lot size, with the presumption that homes have a sizable front yard, setbacks, and a backyard. In this manner, each home has adequate open space and the setting is conducive and consistent with lower density residential settings.

In recognition that multiple-family residences create a need for recreational amenities, open space requirements apply. Each unit is required to have a minimum common usable open space of 500 to 200 square feet per unit, and ~~either 120 square feet of private open space ranging for ground floor units or from 120 to 50 square feet per unit. of private open space for upper story units.~~ The open space area shall include recreational amenities (enclosed tot lot, court facilities, pool, open lawn area, etc.) based on the size of the complex.

Open space is also a desired amenity in mixed-use developments, and thus such projects must meet specific open space requirements. However, reflecting the urbanized setting of such projects, mixed-use projects are allowed to provide a reduced amount of open space (compared to solely residential projects) that is limited to 50 square feet of common open space and 50 square feet of private open space per unit. This provision helps to facilitate the feasibility and development of mixed-use projects within the community.

The Riverside General Plan 2025 recognizes that the availability of adequate parks and recreation, both passive and active, improves the





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quality of life in neighborhoods and the City. New residential development within the City generates a greater demand for existing park and recreational facilities, both locally and regionally. The City Municipal Code requires that three acres of developed parkland be available for every 1,000 residents. The County of Riverside also implements requirements for regional park facilities.

Therefore, the City of Riverside requires the payment of fees (or in-lieu dedications) for a pro rata share of improvements to local park facilities pursuant to Chapter 16.60 of the Riverside Municipal Code and for regional park facilities pursuant to Chapter 16.44 of the Riverside Municipal Code. Section 16.76 also requires a Trail Fee. The fees are allowed for in state law and the amount charged is tied to the marginal cost of facilities needed to serve new housing.

## Parking Requirement

Parking is an important development regulation in communities. Adequate parking for residential projects contributes to the value of a project, the safety of residents, its appearance, and livability. However, excessive parking standards can pose a significant constraint to the development of housing because it reduces the land and financing availability for project amenities or additional units. The following analyzes whether Riverside’s parking standards are a constraint to the production and affordability of housing.

The Municipal Code, Chapter 19.580, establishes residential parking requirements for different types of residential uses. These requirements are summarized below in Table H-36.

TABLE H-36  
PARKING STANDARDS FOR HOUSING

Residential Use	Parking Standard
Single-Family Residential	Two parking spaces within a private garage per dwelling unit
<u>Accessory Dwelling Units<sup>1,2,3,4</sup> Second Units</u>	<u>One space in addition to spaces required for the primary dwelling. One covered parking space per unit</u>
Multiple-Family Residential	1.5 parking spaces/dwelling unit with 1 bedroom; and 2 spaces/dwelling unit with 2 or more bedrooms. Rooms that can be used as bedrooms count as bedrooms. At least 40% of total spaces must be in enclosed garage. At least 75% of the total spaces must be within an enclosed garage or a carport.
Group Housing	1 enclosed space per unit serving six or fewer persons; large facilities depend on the size of



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	project. For larger facilities, parking is determined by the designated Approving or Appeal Authority in conjunction with required land use or development permits, based on the impacts of the particular proposal and similar uses.
Assisted Living (7 or more clients)	0.5 parking spaces per bed
<del>Supportive Housing Transitional Housing Emergency Shelter Transitional Housing Emergency Housing</del>	<del>Based upon demonstrated need, provided that the standards do not require more parking than that for other residential or commercial uses within same zone. The parking ratio to be determined by the designated Approving or Appeal Authority in conjunction with required land use or development permits, based on the impacts of the particular proposal and similar uses.</del>
Mobile Home Park	1 parking space per mobile home site plus 1 off-street guest parking space for every 5 mobile home sites
Senior Housing	1.1 parking spaces/unit, of which 50% must be covered either in a carport or a garage
Student Housing	1.1 parking spaces per bed provided on same or adjoining lot.
<u>Studio Unit</u>	<u>1 parking space per unit</u>

Source: Zoning Code, 2013~~g~~

Note: Qualified mixed use and transit-oriented projects also receive a 15% reduction in required parking spaces.

1. Parking for accessory dwelling units may be provided as tandem parking on an existing driveway.

2. Offstreet parking shall be permitted in setback areas in locations determined by the City or through tandem parking, unless specific findings are made that parking in setback areas or tandem parking is not feasible based upon specific site or regional topographical or fire and life safety conditions, or that it is not permitted anywhere else in the jurisdiction.

3. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an accessory dwelling unit, replacement spaces as required, may be located in any configuration on the same lot as the accessory dwelling unit, including, but not limited to, as covered spaces, uncovered spaces, or tandem spaces, or by the use of mechanical automobile parking lifts.

4. Parking standards shall not apply for accessory dwelling units in any of the following instances: a. The accessory dwelling unit is located within one-half mile of public transit. b. The accessory dwelling unit is located within an architecturally and historically significant historic district. c. The accessory dwelling unit is part of the existing primary residence or an existing accessory structure. d. When onstreet parking permits are required but not offered to the occupant of the accessory dwelling unit.

The following analyzes the impact of the City's 40% covered parking space requirements on the construction cost, affordability, density, and supply of multiple-family housing in the community.

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- ❖ **Development Costs.** Parking spaces cost between \$5,000 for a carport and \$20,000 for a stand-alone two-car garage. Using a recent apartment project built in Riverside, the additional cost of a covered garage is \$15,000 per unit—totaling 5% of the project value or 10% of structural value. The City offsets this impact by allowing for greater heights of three stories and therefore a greater achievable density. If an additional 10% of units rented at \$1,500 per month are built, the rents pay off the garage spaces in only four years.
- ❖ **Housing Affordability.** Market-rate apartments are affordable to moderate income households, and senior projects are affordable to low and moderate income households. Developers typically desire an additional \$50 to \$100 per month in rent for units with covered garages. This increment does not affect the affordability of market-rate apartments for moderate income households. Seniors are also not affected because their projects often receive density bonuses.
- ❖ **Achievable Density.** Riverside has approved apartment projects at near maximum densities. The 55-unit Blaine Street Apartments had a density of 27.5 units per acre, and the 315-unit Magnolia Village Square Apartments achieved a density of 26.3 units per acre. Affordable family and senior projects (e.g., TELACU and Cypress Springs) were approved at maximum densities. The fact that market-rate apartments are approved at over 90% of the maximum allowable density demonstrates that parking has a minimal impact on density.
- ❖ **Supply of Housing.** The City of Riverside has experienced a tremendous construction boom during the early 2000's. Moreover, additional apartment units (senior, family, and mixed-use developments) are currently under construction. Given the magnitude of apartments under construction, the City's parking requirements do not appear to constrain the development of multiple-family projects in the community.

In conclusion, Riverside's parking standards have a modest impact on the cost, affordability and density of multiple-family housing. Moreover, thousands of units were built or are under construction. The City's parking requirements are thus not a constraint to the supply or construction of apartments in the community.

## Flexibility in Development Standards

Development standards affect the financials of a residential project, both from the revenue side (through achievable density) and through the costs of accommodating specific development standards.



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However, there is no specific threshold that determines whether a particular standard or combination constrains the affordability or supply of housing. Many factors determine project feasibility. Moreover, during the building boom of the early 2000s, few development standards or fees appeared to be a constraint.

While prior sections discussed how to reduce development costs, the following describes ways that offer flexibility in development standards and generate more revenue in a project:

- ❖ **State Density Bonus Law.** The City's Zoning Code has incorporated the State density bonus. Under this law, the City offers developers a density bonus and at least one additional concession or incentive for proposed projects that will contain: 1) units affordable to very low, low or moderate income residents consistent with state law; 2) units restricted to qualified seniors; or 3) condominiums that meet certain state affordability thresholds. Conditions and affordability covenants required by state law will apply.
- ❖ **Transit-Oriented Project.** The City permits higher residential densities for transit-oriented projects in the MU-V and MU-U Zones. Proposed projects within one-half of a mile of: (1) a transit stop along Magnolia or University Avenues or (2) any transit station may have a residential density of up to 40 dwelling units per acre in the MU-V Zone with a maximum total permissible FAR of 2.5 and up to 60 dwelling units per acre in the MU-U Zone with a maximum total permissible FAR of 4.0. This provision is permissible, not mandatory, and subject to discretion as part of the Site Plan Review process.
- ❖ **Planned Residential Development.** The PRD designation allows for flexibility and creativity in design of single-family residential developments, and for the application of unique development standards that reflect special property conditions. Projects within the RR, RE and R-1 zones can secure a 10% density bonus if the project exhibits exemplary design. Additionally, a project can receive a 25% density bonus in the RC Zone with an approved PRD permit. The City has successfully used the PRD process to approve thousands of smaller lot and affordable single-family projects in the City.

### DEVELOPMENT PERMIT PROCESS

Development review is the primary way that local governments ensure the construction of projects that contribute in a positive manner to the community and improve quality of life. Residential development

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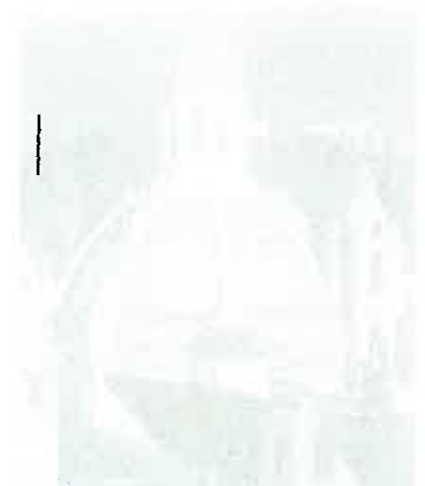


projects typically undergo several types of approvals-ministerial, discretionary actions (either with or without a public hearing), and legislative actions. This section outlines the timeline for the development review process for housing and describes the conditional use permit and design review process.

## Timeframe for Review

Residential projects in Riverside undergo a number of processes from the initial submittal of an application to project approval. Table H-37 and the text below describe the steps to review, condition, and approve proposals for residential development.

- ❖ **Initial Application Check.** Involves the review of the application for completeness and working with the applicant to remedy any deficiencies. The City provides online forms to help developers submit a complete application.
- ❖ **Design Review.** Certain projects (typically ~~multiple-family, mixed use, conditionally permitted uses, projects in certain areas, etc.~~) require design review to ensure the quality of the project and consistency with Citywide Design and Sign Guidelines. In 2017, the City amended the Zoning Ordinance to allow multi-family residential uses by-right throughout the City. A new Administrative Design Review process was created in order to facilitate this non-discretionary process. This process is described later in this section.
- ❖ **Site Plan Review.** ~~Multiple family and mixed-use~~ projects require site plan review to ensure conformance with the requirements of the Riverside Municipal Code. This process requires a public hearing before the Planning Commission, who is the recommending authority.
- ❖ **Conditional Use.** Certain residential uses may require a conditional use permit to ensure that the type, location, and operation of such uses are consistent with the provisions of the Municipal Code and advance General Plan 2025 objectives. ~~This process is described later in this section.~~
- ❖ **Tract or Parcel Maps.** Some projects require a parcel or tentative tract map pursuant to the state Subdivision Map Act. In these cases, an additional step is required. However, the processing time would occur within the overall time frame listed in the following chart and not add measurably to the time frame for reviewing and approving a project.





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- ❖ **Legislative Actions.** For very large residential projects, sometimes the applicant will propose a general plan amendment or zone change, particularly for housing built in underutilized sites zoned for nonresidential uses. A Specific plan may also be approved. In these cases, the time frame for approval can be considerably longer. The timeframe for this step is not included, as it varies.
- ❖ **Environmental Review.** Many projects are categorically exempt from CEQA, therefore involving little to no delay in the approval process. Larger residential projects may require a mitigated negative declaration. The time involved is largely due to mandated periods for public review. Even then, the environmental review is concurrent with project review, thus adding little to no time to the overall project approval time.

As shown in Table H-37, the total processing time is approximately three to seven months. The table lists only the time required for the longest permit, since the City concurrently processes all discretionary permits. Unusually complex projects may have longer time frames, particularly if an environmental impact report is required.



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TABLE H-37  
RESIDENTIAL PROJECT REVIEW TIMELINE

Step	Typical Residential Projects			
	Single-Family Home	Multiple-Family	Special Needs	Mixed-Use Projects
Initial Application	Required (30 days)	Required (30 days)	Required (30 days)	Required (30 days)
Design Review	Not Required <sup>1</sup>	<del>Not Required</del> <sup>2</sup>	Required	Required
Conditional Use Permit	Not required	Not required	Required (3-4 mos.)	Not required
Other Reviews	Concurrent	Concurrent	Concurrent	Concurrent
Site Plan Review	Not required	<del>Not required</del> <sup>2</sup> <del>Required (3-4 mos.)</del>	Not Required	Required (3-4 mos.)
Environmental Review	Assumes Negative Declaration or Mitigated Negative Declaration prepared concurrently with permit review. <sup>3</sup>			
Building Plan Check	Required (6-8 wks)	Required (6-8 wks)	Required (6-8 wks)	Required (6-8 wks)
Cumulative Totals	10-12 weeks	<del>10-12 weeks</del> <del>5-7 months</del>	5.5-7 months	5.5-7 months

Source: City of Riverside

<sup>1</sup> Concurrent time review (time indicated for permit with longest review time).

<sup>2</sup> ~~Non-discretionary Administrative Design Review is required.~~

<sup>3</sup> ~~Single Family and Multiple-Family are not subject to CEQA.~~

## Design Review

Riverside’s physical image reflects the prosperity, well-being, and the contributions of agriculture, cultural diversity, industry and manufacturing, education, and architectural heritage. The City’s residential neighborhoods and shopping centers emphasize a small-town character within an urban metropolis. Educational facilities provide the image of a college town. The City of Riverside therefore requires design review to promote quality, well-designed development throughout the community that enhances existing neighborhoods, creates identity, and improves quality of life.

Design review is required for all new or altered structures in the Residential Conservation, ~~Multiple-Family Residential~~, Commercial, Office, Mixed-Use, Industrial, and Downtown Specific Plan and Orangecrest Specific Plan Zones. Although single-family residential infill projects are not subject to design review, plans submitted to the Planning Division are reviewed for consistency with the Citywide Design and Sign Guidelines to ensure compatibility with existing neighborhoods. In addition, design review is required for land divisions involving two or more parcels and any project reviewed and approved via the conditional use permit or planned residential permit processes.



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The City of Riverside adopted the Citywide Design and Sign Guidelines in 2007 to assist developers in designing and building residential, commercial, mixed-use, and industrial projects that demonstrate excellence in design; create quality living environments; and contribute in a positive manner to the appearance and quality of life in the City. The Guidelines address such topics as site planning, scale and mass, building appearance, landscaping and open space, fencing and walls, parking, and other related design topics. For ease of understanding, the Guidelines provide sketches and illustrative photographs of preferred methods of building design. Other design review standards are included in the Zoning Code.

With respect to design review procedures, the Zoning Administrator reviews the application for completeness and City staff reviews the proposed project for compliance with the Guidelines. City staff makes a recommendation to the Planning Commission, who can approve in full or in part, conditionally approve in full or in part, modify, or deny the application. In other cases, the Zoning Administrator has approving authority or can refer that authority to the Planning Commission. The City Council retains the authority to hear appeals; otherwise, the decision is final. To minimize the time required for review, design review is done concurrently with the processing of all other permits required of the same project.

### Administrative Design Review

To facilitate the development of affordable housing throughout the City, consistent with California Government Code Section 65580, the City amended the Zoning Code in January of 2018 to allow multi-family by-right throughout the City. A new Administrative Design Review process was created in order to facilitate this non-discretionary process. An administrative Design Review application for standalone multi-family residential building(s) are reviewed by the Community and Economic Development Director or his/her designee when the proposed development complies with identified objective criteria.

### **Conditional Use Permit**

The City recognizes that certain uses possess location, use, building, or traffic characteristics of such unique and special form as to make impractical or undesirable their automatic inclusion as permitted uses. Moreover, the nature of use, intensity, or size of certain uses requires special review to determine if the proposed use, its location, or its operation is compatible with surrounding uses or can be made compatible through appropriate development and use conditions. In these cases, the City implements a conditional use permit process.



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The City uses two conditional use permit processes to review, approve, and modify residential projects of different types, sizes, and complexity. A conditional use permit is required for large special needs housing projects serving seven or more persons, including group quarters, transitional housing, emergency shelters, assisted living, and student housing. A minor conditional use permit reviewed by the Zoning Administrator is required of emergency shelters, transitional housing, parolee homes serving two to six residents, and second units when City standards cannot be fully addressed.

The minor conditional use permit is considered an administrative discretionary action and typically does not require a public hearing, as the Zoning Administrator is responsible to review, modify, deny, or approve the application. However, the Zoning Administrator may refer the decision to the Planning Commission or City Council, with final appeal to City Council. In contrast, the conditional use permit requires a public hearing and the application is reviewed by the Planning Commission with a final decision rendered by City Council.

In either case, the Zoning Administrator or Planning Commission must make certain findings to grant a conditional use permit.

- ❖ The proposed use is substantially compatible with other existing and proposed uses in the area, including factors relating to the nature of its location, operation, building design, site design, traffic characteristics, and environmental impacts.
- ❖ The proposed use will not be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to the environment or to the property or improvements within the area.
- ❖ The proposed use will be consistent with the purposes of the Zoning Code and the application of any required development standards is in the furtherance of a compelling governmental interest and is the least restrictive means of furthering that compelling governmental interest.

## Site Plan Review

The City of Riverside implements a site plan review permit to ensure high quality land planning and development that takes into account environmental factors, provides public improvements necessitated by the development; promotes orderly, attractive, and harmonious development; and promotes the general welfare by preventing uses or structures that are not properly related to or that would adversely impact their sites, surroundings, traffic, or environmental setting.



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Site plan review is required for ~~two or more units as one project in the R-3 and R-4 zones, either as rental apartments or condominium projects, and for a ny~~ new building in ~~the any~~ Mixed-Use Village or Urban Zones (Chapter 19.120). Site plan review is conducted as part of the review for conditional use permits, minor conditional use permits, PRDs, and design review. In these cases, no independent site plan review is required for a proposed project.

The site plan review requires a public hearing and general noticing of the proposed project to residents or commercial sites within 300 feet of the property. The project is reviewed by the Planning Commission, who makes a final recommendation to the City Council. There are no specific findings that need to be made for residential projects. However, for a mixed-use project, the Planning Commission must make the following findings to approve a site plan review permit for new development in the MU-V and MU-U Zones (see 19.120.030):

- ❖ The proposed development is consistent with the General Plan, any applicable specific plans, and the intent and purpose of the mixed-use zones.
- ❖ The proposed development, as conditioned, will not have substantial adverse effects on the surrounding property or uses, and will be compatible with the existing and planned land use character of the surrounding area.
- ❖ The proposed development is appropriate for the site and location by fostering a mixture and variety of land uses within the zone and the general vicinity and contributing to a synergistic relationship between uses.
- ❖ The proposed development is harmonious with its surrounding environment. Buildings within a mixed-use development project must also be compatible with each other and be designed as an integrated, unified project. All proposed development must meet the design standards and guidelines in Section 19.120.070.

### BUILDING CODES AND SITE IMPROVEMENTS

The City of Riverside implements and enforces various building codes and requires site improvements to ensure quality housing; maintain neighborhood quality; and protect the health, safety, and welfare of Riverside residents and businesses. The primary requirements are codified in the Municipal Building Code, the Subdivision Code (Title 18), and administrative regulations.



## **Building Codes and Enforcement**

As required of all communities by state law, the City of Riverside must periodically adopt building codes from the California Building Code. The California Building Code is a set of uniform health and safety codes addressing building, electrical, mechanical, plumbing, fire safety, and other topics. The California Building Code has been updated in recent years, largely based on the new International Building Code. Riverside has adopted the 2010 edition of the CBC, the California Residential Code and the California Green Building Standards Code.

As part of the adoption of the California Building Code, a city may adopt additional codes if it makes an express finding that such modification is reasonably necessary because of local climatic, geological, or topographical conditions (Health and Safety Code Section 17958.7). The City Council has adopted additional codes to address local climatic, geological, or topographical conditions. Major changes are fire suppression and protection, repair and reconstruction of damaged structures, and seismic safety concerns.

The City of Riverside enforces adherence with City codes and requirements through various means. For new projects, developers will be unable to obtain final building permits or recover financial deposits if subdivision improvements are not made in a manner that fulfills the obligations set forth in the Subdivision Code, development agreement, or discretionary permit associated with a specific project. Noncompliance may eventually lead to legal action or payment of additional fees to ensure that the improvements are constructed.

Once projects are completed, the Community Development Department–Code Compliance Division enforces municipal codes affecting the maintenance of property. The Building and Safety Division enforces municipal codes affecting the structural integrity of buildings. The City works with the community to remedy code violations by referring property owners to loan programs when appropriate. If code violations are not remedied in a timely manner, the City can pursue legal action to address violations.

## **Subdivision Improvements**

The City's Subdivision Code (Title 18) regulates the design and improvement of subdivisions and installation of improvements needed for new development. The code is designed to provide lots of sufficient size and appropriate design; provide adequate infrastructure necessary to support development; ensure that the costs of providing improvements are borne by the subdividers; and ensure that land is subdivided in a logical and well-planned manner.





## HOUSING TECHNICAL REPORT

The City's Subdivision Code (Title 18) specifies requirements for on- and off-site improvements for new residential development. In summary, the developer is responsible for the following:

- A. Grading and filling to approved grade, and construction of all necessary grade crossings, culverts, bridges and other related works;
- B. Construction and installation of all drains, drainage facilities, channel improvements and other drainage works required to provide adequate drainage for every lot and to protect from flood or overflow by storm waters or floodwaters in accordance with City plans;
- C. Construction and installation of concrete curbs and gutters on both sides of every street and on the proximate side of each existing or dedicated street bordering the subdivision;
- D. Installation or provision for the installation of all sewer mains, including dry sewers when required by the Public Works Department, and all laterals required to serve each lot;
- E. Installation of all utilities, utility lines and appurtenances, including water mains, fire hydrants, gas mains, telephone and electric lines, and all laterals and appurtenant equipment required to serve each lot;
- F. Required utility lines, including but not limited to electrical, telephone, cable television, and street light service lines, providing service to all new property developments;
- G. Relocation or provision for the relocation of any underground or overhead utility, including irrigation lines, the relocation of which is necessitated by development of the subdivision;
- H. Installation of asphalt concrete pavement, base material, and seal coat in all existing or dedicated streets and alleys or portions thereof;
- I. Installation of concrete sidewalks adjacent to the curblines, concrete driveway approaches; and concrete pavement for pedestrian ways;
- J. Planting or providing for the planting of trees of the variety, size and condition in accordance with the approved plans and specifications;
- K. Installation or provision for the installation of street lights of approved design and illumination intensity;
- L. Installation of all required street signs, including street name signs, warning signs, and regulatory signs where required;
- M. Construction and installation of street barricades where required;



# HOUSING TECHNICAL REPORT



- N. Where any boundary line of a subdivision is adjacent to or across a public street, alley or pedestrian way from an open and unfenced canal, storm channel, railroad, quarry, airport, or other hazardous facility, or adjacent to unimproved land capable of division or development, or productive agricultural land, construction of appropriate separations; and
- O. Construction of such acceleration and deceleration lanes and traffic channelization devices in streets necessary to control traffic.

TABLE H-38  
STREET RIGHT OF WAY IMPROVEMENTS

Street Type	Type of Improvement				
	Right of Way	Median	Pavement Width	Curb & Gutter	Parkway
Arterial	144	12	56	Yes	10
Arterial	120	12	44	Yes	10
Arterial	110	18	34	Yes	12
Arterial	100	21	34	Yes	10
Arterial	88	N/A	64	Yes	12
Collector	80	N/A	40	Yes	20
Collector - Local Street or Multiple-family area	66	N/A	40	Yes	13
Local Street Single-Family Area	66	N/A	36	Yes	15
Local cul-de-sac street	60	N/A	36	Yes	12
Frontage road	42	N/A	32	Yes	10
Alley	20	N/A	20	N/A	N/A
Half streets	43	N/A	28	Yes	15

Source: Riverside Subdivision Code, 2013

Chapter 18.230 of the Municipal Code allows for the modification of public improvement requirements of the Subdivision Code pursuant to the Approving/Appeal Authority making specific findings to ensure the health, safety, and public welfare and consistency with the General Plan and other implementing plans and specifications.

## HOUSING FOR DISABLED PERSONS

The City has a long history of improving housing opportunities for persons with disabilities through education, representation, land use and zoning, development practices, and reasonable accommodation. Pursuant to Section 65008 of the Government Code, this section analyzes potential and actual constraints on housing for persons with



# HOUSING TECHNICAL REPORT

disabilities and demonstrates efforts to remove government constraints. Programs are included in the Housing Plan.

## Land Use and Zoning

City Zoning Codes allow for land uses required by fair housing law. Small group homes serving six or fewer residents are allowed in all residential zones and are treated in the same manner as other dwellings of the same type in the same zone. The City currently uses a minor conditional use permit process approved by the Zoning Administrator/Community Development Director to address smaller emergency shelters and transitional housing—serving six or fewer people, reserving the full conditional use permit and Planning Commission approval for larger facilities. In January of 2018, the This Housing Element includes a program to amend the Zoning Code was amended to permit transitional and supportive housing by right consistent with SB 2.

The City implements its Zoning Code according to fair housing law. The City amended its Zoning Code definition of family by removing a clause pertaining to single housekeeping unit based on personal relationships to comply with state fair housing law. The Zoning Code now defines a family as any individual or group of individuals living together in a dwelling unit as a single housekeeping unit. Family does not include larger institutional group living situation, such as in a boarding house or hotel/motel/long-term stay. The Zoning Code makes no reference to the number of occupants in a family. Residential care facility definitions are consistent with state law and cite the relevant code sections to ensure continued consistency. Definitions for emergency shelters, transitional housing, and permanent supportive housing are also consistent with state law.

## Building Codes

The City has adopted the 2010 California Building Code, which contains the latest techniques and accessibility requirements. The City adheres to federal laws that require at least 5% of publicly funded new units be accessible to persons with mobility impairments and an additional 2% of the units be accessible to persons with hearing or visual impairments. New multiple-family housing must also be built so that: 1) the public and common use portions of such units are readily accessible and usable by persons with disabilities; 2) doors allowing passage into and within such units can accommodate wheelchairs; and 3) all units contain adaptive design features.

The City has established a procedure for resolving the application of building codes and its impact on housing opportunities for people with





disabilities. The City has established an Accessibility Appeals Board made up of four members of the Planning Commission, plus three additionally designated persons with disabilities, at least two of whom shall be mobility impaired. This Board may conduct hearings on written appeals of decisions of the building official regarding accessibility issues, and approve or disapprove interpretations and enforcement actions taken by the building official relating to access.

## **Development Standards and Permitting Processes**

The City examined its development standards and permitting process to identify potential constraints on the construction or improvement of housing occupied by people with a disability. Parking standards for group homes are equal to any single-family or multiple-family residence. No additional construction standards or development standards are required for housing for people with a disability. Housing is treated in a similar manner regardless of the occupancy. The Municipal Code's definition of a family was recently amended for consistency with fair housing law.

To avoid overconcentration, the City requires certain uses to be spaced at various distances from one another or sensitive land uses. A 300-foot separation is required between group quarters (e.g., assisted living facility, group home, and emergency shelter, ~~supportive housing, transitional housing, and transitional housing development~~). A parolee/probationer home cannot be located within 1,000 feet of any other group housing or assisted living facility; school (preschool through 12<sup>th</sup> grade), university, college, or student housing; senior housing; day care home or center; public park or library, business licensed for sales of alcoholic beverages; or emergency shelter, ~~supportive housing, transitional housing, and transitional housing development~~.

## **Reasonable Accommodation**

In 2003, Riverside adopted a "Fair Housing Reasonable Accommodation" process codified under Chapter 19.850 of the Zoning Code. The code provides a procedure to evaluate requests for reasonable accommodation related to specific applications of the zoning law in order to assure that no person is discriminated against because of protected status by being denied an equal opportunity to use and enjoy a dwelling and to authorize the application of exceptions to the zoning law if warranted.

An application for a reasonable accommodation follows the same timeline as a variance. A Notice of Decision is provided within 45 days of the Zoning Administrator's acceptance of a complete application. The Zoning Administrator may deny, approve, or conditionally



## HOUSING TECHNICAL REPORT

approve the request for reasonable accommodation. The Zoning Administrator may also refer the application to the Planning Commission for the next regularly scheduled meeting. In this case, a Notice of Decision is provided within 10 days.

In addition to standard variance findings, the Zoning Administrator must make the following additional findings:

- ❖ The persons who will use the subject property are protected under Fair Housing Laws;
- ❖ The requested exception to zoning law is necessary to make specific housing available;
- ❖ Such exception will not impose an undue financial/administrative burden on the City; and
- ❖ The requested exception will be in compliance with all applicable Building and Fire Codes and will not require a fundamental alteration of the zoning laws and procedures.

Any person aggrieved or affected by a decision of the Planning Commission or Zoning Administrator in granting or denying a request for reasonable accommodations may appeal the decision to the City Council pursuant to the procedures contained in Chapter 19.680 of the Zoning Code regarding appeals.

### **Commissions and Advocacy**

The City of Riverside works with a number of agencies to further improve housing opportunities for people with disabilities. The City has established a Commission on Disabilities to advise the City Council on all matters affecting persons with disabilities in the community; review community policies, programs, and actions that affect persons with disabilities; and help create a public awareness of the needs in areas such as housing, employment, and transportation. The Commission's Web site (<http://www.riversideca.gov/cod/>) posts all its meetings and minutes for public review.

In 1999, former Mayor Loveridge created the Model Deaf Community Committee to raise the profile of Riverside's deaf and hard-of-hearing community—many with ties to the California School for the Deaf-Riverside, one of two such schools in the state—and to encourage greater interaction and understanding with the wider community. The Model Deaf Committee discusses issues of interest to the deaf and hard-of-hearing community, proposes or hosts activities that raise



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awareness of the deaf and promote programs that encourage inclusion in civic life, such as the annual Deaf Awareness Week.

## ENVIRONMENTAL FACTORS

This section discusses the various environmental factors in relation to the production, maintenance, and improvement of housing in Riverside. These include the availability of water supply and provision, adequacy of sewer systems and capacity, other critical dry utilities, and various opportunities for energy conservation.

### Water Infrastructure

Water service is provided by Riverside Public Utilities (RPU), Western Municipal Water District (WMWD), Eastern Municipal Water District, and Riverside Highland Water Company. Riverside Highland serves the majority of the northern sphere while the majority of the southern sphere area will be served by Western Municipal Water District. The vast majority of sites that will accommodate the RHNA are within RPU boundaries and thus the analysis is restricted to demand for water and capacity of the RPU.

RPU's primary water source is local groundwater basins from the Bunker Hill Basin in San Bernardino and Riverside North and South Basins in Riverside. As of 2010, RPU provided water service to about 63,500 customers.

The City of Riverside has prepared updates to its Water Supply Plan and Urban Water Management Plan that identifies anticipated water facility improvements needed over the next 20-year period. RPU's service area encompasses approximately 75 square miles, of which approximately 70 square miles are within City limits and 5 square miles are outside. RPU operates approximately 940 miles of pipelines ranging from 2 to 72 inches in diameter, 62 active wells, 16 reservoirs with an approximate total volume of 108 million gallons, 22-pressure-reducing stations, and 39 pumping stations.

Although not a direct supplier of water to City of Riverside users, Metropolitan Water District of Southern California (Metropolitan) operates and maintains facilities within the City limits (Upper Feeder Pipeline, Lower Feeder Pipeline, and Mills Filtration Plant). The Upper Feeder Pipeline is a 132-inch diameter pipeline in a permanent easement right-of-way; and the Lower Feeder Pipeline is a 120-inch diameter pipeline in a fee-property right-of-way. Metropolitan also owns the Box Springs Feeder right-of-way property in the City limits.



*John North Water Treatment Plant*





## HOUSING TECHNICAL REPORT

Water supply and treatment capacity needs do not constrain the development of housing needed to address the RHNA in Riverside.

### **Sewer Infrastructure**

Wastewater service within the Planning Area is provided by Riverside Public Works. Similar to the boundaries of the City's potable water system, the City provides sewer service to the majority of the Planning Area, for a total service area of 87.4 square miles. WMWD serves most areas south of Van Buren Boulevard, or generally the southern sphere area. Most of the northern sphere area is served by the City of Riverside with some areas of the Box Springs Mountain Regional Reserve outside of either service area.

The City of Riverside Public Works Department provides for the collection, treatment, and disposal of all wastewater generated within the City of Riverside—except for a small area of the community south of Van Buren Boulevard, which is served by WMWD—through its Riverside Regional Water Quality Treatment Plant (RRWQCP). Primary, secondary, and tertiary treatment of wastewater from the Jurupa, Rubidoux and Edgemont Community Services Districts is also provided. The City of Riverside also has an agreement with the County of Riverside whereby the City will operate and maintain the collection system and provide sewer services to the northern sphere area, also known as the Highgrove community.

The wastewater collection system includes over 800 miles of gravity sewers ranging in size from 6 to 48 inches in diameter. The system also includes 18 wastewater pump station, designed for flows of 100 to 400 gallons per minute. Two large lift stations have design capacities in excess of 2,000 gallons per minute. The City Public Works Department installs and maintains the wastewater system. City planning efforts for future sewer facility and capacity needs are underway. The City has prepared a Wastewater Master Plan to address capacity through 2025.

According to the 2010 Urban Water Management Plan, the RRWQCP treats approximately 34 million gallons per day (mgd) of wastewater for over 287,000 residents in the City of Riverside and the Jurupa, Edgemont, Rubidoux, and Highgrove communities. The plant discharges tertiary-treated effluent to the Santa Ana River. In 2010, the plant had a capacity of 40 mgd. According to the 2010 Urban Water Management Plan, capacity can be expanded to up to 52 mgd in concert with population growth. Wastewater capacity and treatment needs thus do not constrain the development of housing needed to address the RHNA in Riverside.

# HOUSING TECHNICAL REPORT



## Dry Utilities

The City of Riverside is the primary electricity provider, responsible for the generation, transmission, and distribution of electric power within the City. Riverside Public Utilities (RPU) is a municipally owned electric and water utility and as such maintains facilities and infrastructure within the City. Southern California Edison (SCE) and the City of Colton serve electrical customers outside of the City limits that are within their respective service territories. Established in 1895, RPU's electrical system includes approximately 90 miles of transmission lines and 1,200 miles of distribution lines.

As of 2013, RPU had over 107,500 electrical meter connections. All of RPU's energy from external sources comes through SCE's Vista Substation, which is in Grand Terrace.

Implementation of the General Plan 2025 will increase use of electricity in the Planning Area, particularly the demand for electricity to light, heat, and air condition residential, commercial, and business development. The City has proactively planned for future growth in energy use and demand. Approximately every two years, RPU assesses its current and future electricity demand and capacity.

One of RPU's most notable achievement is the commitment to an aggressive Renewable Portfolio Standard, providing 20% of its retail needs with renewable energy in 2012 and meeting all mandatory compliance obligations. Also noteworthy is the completion of the Casa Blanca Power Project, a primary component of the Electric System Master Plan, which was placed in service in early 2013.

The proposed Riverside Transmission Reliability Project (RTRP) is the largest capital project in the history of Riverside Public Utilities and will provide needed energy resources to the city while improving reliability to all customers. The City Council certified the Environmental Impact Report for RTRP in February 2013.

## Resource Conservation

The protection of the natural and built environment to ensure sustainable communities and conserve natural resources is one of the foremost challenges facing communities across the country. Rising energy costs, dependence on fossil fuels, and increasing evidence of the adverse impacts of global warming have provoked the need in California and nationwide to improve energy management and resource conservation strategies.



*RERC Electric Generation Units*

### **Emerald City Designation**

The California Department of Conservation designated Riverside as the first "Emerald City." The designation clears the way for the city to become part of a groundbreaking two-city, 18-month pilot project in which the state will lend resources, grants, and expertise to the city's sustainable green initiatives. In return, the state will gauge the progress of the programs to compile a guide to aid other California cities in their efforts to attain their sustainable resource and conservation goals.

For more information on water conservation and energy conservation programs, see the Public Facilities and Infrastructure Element of the General Plan 2025.



# HOUSING TECHNICAL REPORT

In 2006, Riverside’s former Mayor Loveridge appointed a task force to explore ways that Riverside might become a sustainable community. On February 6, 2007, the City Council approved the Sustainable Riverside Policy Statement (SRPS), which includes six framing concepts:

## Conservation Opportunities

The Open Space and Conservation Element and the Public Facilities Element in the General Plan 2025 provide guidance in how the City is addressing climate change.

For more information on Water and Energy Conservation Programs see the Public Facilities and Infrastructure Element of the General Plan 2025.

- ❖ Sustainability is a vital and necessary civic goal.
- ❖ City resources will be made available to explore each key area of interest.
- ❖ Current capabilities and policy status must be assessed as a baseline for progress.
- ❖ New policies, guidelines and codes/regulations should be developed using sustainable building design standards.
- ❖ Implementation programs should be facilitated.
- ❖ Progress toward a sustainable Riverside should be monitored and measured.

To implement the SRPS, the City of Riverside also created a Green Sustainable Riverside Action Plan that would guide and coordinate present and future efforts to achieve the City’s vision. A task force was established to develop guidelines for a “clean and green city”: save water, keep it clean, make it solar, make it shady, clean the air, save fuel, make it smart, and build green. This plan would also help support the mayor’s endorsement of the US Mayors’ Climate Protection Agreement of 2005.

The City of Riverside continues to take a leadership role in developing and implementing resource conservation programs addressing water resources, renewable energy sources, solid waste management, urban forestry programs, and other efforts toward becoming a green and sustainable city.

## *Building Design*

California’s Title 24 and CalGreen regulations require new housing to meet minimum energy conservation standards. This requirement can be met in two ways. The prescriptive approach requires each individual component of a building to meet a minimum energy requirement. The performance approach allows measures that, in totality, meet specified energy conservation targets. In addition to California’s Title 24 standards, all residential projects are subject to meeting the state building codes, which also include energy



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conservation standards. Riverside also offers the following energy conservation programs.

- ❖ The Riverside Green Builder (RGB) program is a voluntary program based on the California Green Builder Program. A RGB-certified home must meet five criteria: energy efficiency (15% more efficient than Title 24 requirements), water conservation (20,000 gallons per home), waste reduction (50% waste diversion), wood conservation, and indoor air quality. The City offers priority field inspections, guaranteed timelines, overtime inspections, and priority electrical design incentives for developers wishing to utilize the program.
- ❖ The Community Energy Efficiency Program (CEEP) is a voluntary program that encourages the construction of homes built to standards 15% above Title 24 requirements. CEEP homes have mechanically engineered HVAC systems, tight ducts, high performance windows, and improved installation of energy-efficient features. Riverside's Public Utilities Department offers financial incentives of up to \$500 per home to help defray the costs to the builders of certification and promote building energy efficient homes. Developers may also postpone TUMF fees until just prior to the completion of construction and occupancy of the home.

The City of Riverside also offers a number of programs to retrofit homes for energy-saving devices. These programs can be found online at <http://www.riversideca.gov/utilities/>.



## HOUSING TECHNICAL REPORT

# HOUSING PRODUCTION

This section discusses how the City addresses its share of the Regional Housing Needs Assessment (RHNA) through the production of housing affordable to all income levels. The subsequent section provides an inventory of sites that will accommodate the remaining unmet housing need through 2021.

## OVERVIEW

Riverside is committed to preserving its distinctive qualities while continuing to accommodate its diverse housing needs. As discussed earlier, SCAG generates a “fair-share” allocation of new housing to be accommodated in each community in southern California based on population, employment, and household forecasts. SCAG also sets goals for achieving different affordability levels of new housing. Riverside’s RHNA allocation between 2014-2021 is 8,283 units: 2,002 very low income units; 1,336 low income units; 1,503 moderate income units; and 3,442 above moderate income units.

State Housing Element Law mandates that each city show it has adequate sites available through appropriate zoning and development standards and with the required public services and facilities for a variety of housing types and incomes. This evaluation of adequate sites represents planning goals and not a requirement for actual production of housing within the planning period. The City must demonstrate that it has capacity or adequate sites to accommodate the projected need for housing. The City’s share of the region’s housing needs for 2014-2021, as determined by SCAG, is the projected housing need used in this evaluation. The analysis of adequate sites represents planning goals, not a goal for actual production of housing within the Planning Period.

During the 2006-2014 planning period, the City had a RHNA need of 11,381 housing units. The City identified candidate sites that would be rezoned to address the RHNA need by allowing additional mixed use and residential development. These identified areas were not rezoned within the planning period, but there were a number of units constructed in each of the income categories. Based on the provisions of AB 1233, the City must identify sites that are appropriately zoned, or will be appropriately zoned within the first year of the new planning period to accommodate the unaccommodated lower-income need from the 2006-2014 planning period. This requirement is in addition to the requirement to identify other sites to accommodate the RHNA need for the 2014-2021 Planning Period. The City may not count



# HOUSING TECHNICAL REPORT



capacity on the same sites for both planning periods. Refer to the sections below for discussion of capacity to accommodate the current and previous RHNA need.

In addressing the City's housing needs, the City Council recognizes the importance of deliberative planning, and therefore the General Plan 2025 incorporates smart growth principles. In Riverside, a major tenet of smart growth includes directing new development opportunities to undeveloped and underutilized developed sites within already urbanized parts of the City, rather than to the urban fringe. A complementary component of smart growth is also to emphasize transit- and pedestrian-oriented opportunities in the community. As such, the City's housing strategy focuses new housing opportunities along its major "L" corridor and preserves open spaces in the City.

## **Seizing Our Destiny**

The provision of housing is critical to the City's future. In the spring of 2009, former Mayor Loveridge charged a group of community leaders to develop a bold and ambitious economic strategic vision for Riverside. This strategic vision "Seizing Our Destiny" defines "Where We Are" and describes how Riverside is poised for greatness. Then it defines the desired destination of Seizing Our Destiny as follows:

- ❖ Outstanding Quality of Life
- ❖ Catalyst for Innovation
- ❖ Location of Choice
- ❖ Unified City for Common Good

To arrive at the City of Riverside's desired destination the City will pursue 11 Strategic Routes. For each of the 11 Strategic Routes there are several specific initiatives. The specific initiatives that reinforce the goals of the Housing Element are:

- ❖ SOD Initiative 7.4 - Integrate housing components that add critical mass and compliment the character of the area. Milestones set to accomplish this initiative include:
  - Complete the construction of the Home Front at Camp Anza.
  - Complete the construction of apartment units at the northwest corner of 7<sup>th</sup> Street and Chicago Avenue..
  - Complete the construction of three single-family houses at 11<sup>th</sup> & Ottawa.





## HOUSING TECHNICAL REPORT

- Complete the construction of two homes at 2570 Sunnyside and 10820 Sunnyslope.
- ❖ SOD Initiative 10.1 - Promote development of affordable housing through public private partnership opportunities. Milestones set to accomplish this initiative include:
  - In partnership with the Housing Authority and Wakeland Housing & Development Corporation to complete the renovation of the Camp Anza Officer's Club and develop 30 affordable apartment units for disabled veterans to be completed by 2016
  - In partnership with the Housing Authority and RHDC, complete the construction of two single family affordable homes by 2015.
  - In partnership with the Housing Authority and Habitat for Humanity to complete the construction of three single family affordable homes by 2015.

Moreover, the City recognizes that an effective strategy to address its housing needs must address other factors in addition to affordability. Clearly, the housing needs of students differ from those of families, young and working-age individuals, and seniors. These diverse housing needs demand a wide range of housing options. Therefore, Riverside has made a concerted attempt, in policies and through programmatic efforts, to encourage and facilitate new housing that addresses the tenure and composition of the expected population.

The following chapter builds on the City's strategy for achieving the RHNA by identifying adequate sites for residential development that can accommodate the type and prices of housing needed to address the unmet housing needs of Riverside's future residents.

### 2006-2014 UNACCOMMODATED NEED

During the 2006-2014 Planning Period, over 6,121 new housing units were constructed in the City. Based on initial sales prices, rents or affordability covenants, 406 units are affordable to very-low income households, 629 units to low income households, 1,525 units to moderate income households, and 3,561 units to above moderate income households. Projects constructed during the 2006-2014 planning period are described in Appendix A.







In addition, the City identified capacity for 779 lower income units within the Downtown Specific Plan, Orangecrest Specific Plan, and areas outside of Specific Plans.

Table H-39 summarizes the City's unaccommodated RHNA need.

TABLE H-39  
2006-2014 UNACCOMMODATED RHNA NEED

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
<b>2006-2014 RHNA</b>	<b>2,687</b>	<b>1,866</b>	<b>2,099</b>	<b>4,729</b>	<b>11,381</b>
Units Constructed	406	629	1,525	3,561	6,121
Sites Identified with Residential Zoning <sup>1</sup>	779				779
<b>2006-2014 Unaccommodated Need</b>	<b>2,739</b>		<b>574</b>	<b>1,168</b>	<b>4,481</b>

Source: City Planning Division, 2013.

Notes:

<sup>1</sup> Sites identified in Table H-51 of the 2006-2014 Housing Element already zoned for high density residential or mixed use in the Downtown, and Orangecrest Specific Plans, and infill sites outside of specific plan areas.

## CAPACITY TO MEET COMBINED RHNA NEED

The City had an unaccommodated RHNA need of 4,481 units for the 2006-2014 planning period. Based on the provisions of AB 1233, the City must identify sites that are appropriately zoned, or will be appropriately zoned within the first year of the new planning period to accommodate the unaccommodated need from the 2006-2014 planning period. This requirement is in addition to the requirement to identify other sites to accommodate the RHNA allocation for the 2014-2021 planning period of 8,283 units. Table H-40 summarizes the City's total RHNA need (2006-2014 unaccommodated need plus 2014-2021 need).





# HOUSING TECHNICAL REPORT

TABLE H-40  
TOTAL RHNA NEED

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
2006-2014 Unaccommodated Need	2,739		574	1,168	4,481
2014-2021 RHNA Need	2,002	1,336	1,503	3,442	<b>8,283</b>
<b>Total RHNA Need</b>	<b>6,077</b>		<b>2,077</b>	<b>4,610</b>	<b>12,764</b>

Source: City Planning Division, 2013.

## CAPACITY TO MEET TOTAL RHNA NEED

The following sections describe the City's capacity to meet its total RHNA need (2006-2014 unaccommodated RHNA need plus 2014-2021 RHNA need).

## PROJECTS IN THE PIPELINE

There are currently a number of residential units that are entitled or under construction. These projects in the pipeline are described in Appendix B. There are 311 lower income housing units. The remaining ~~3,557,886~~ units are assumed to be affordable to moderate and above moderate income households.

TABLE H-41  
PROJECTS IN THE PIPELINE

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
Entitled/Planned Units Not Yet Constructed	311		<del>3,557,886</del>		<del>3,868</del> 3,497

Source: City Planning Division, 2017.

## SITES ZONED FOR RESIDENTIAL DEVELOPMENT

~~Prior to 2017, there are currently were~~ a number of sites zoned for residential or mixed use development that ~~could~~ could ~~can~~ accommodate a portion of the City's RHNA need. Table H-42 summarizes these parcels. Appendix C provides detailed information about these parcels.

# HOUSING TECHNICAL REPORT



TABLE H-42  
SITES ZONED FOR RESIDENTIAL DEVELOPMENT

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
Downtown Specific Plan	241		0	0	241
Orangetrest Specific Plan	342		0		342
Areas Outside of Specific Plans	416		0		416
<b>Total</b>	<b>999</b>		<b>0</b>		<b>999</b>

Source: City of Riverside, 2013.

## REZONE PROGRAM

After accounting for projects in the pipeline and available sites zoned for residential development, the City has a remaining RHNA need of 4,767 units for lower income households. To accommodate the housing need for the remaining 4,767 units affordable to lower income households, the City will identify at least 191 acres of undeveloped or underutilized developed land that is either currently zoned or will be rezoned for residential achieving at least an average density of 25 units per acre. Sites must be large enough to accommodate at least 16 units per site. State law requires that at least half of the remaining lower income units be accommodated on sites exclusively for residential uses. Of the remaining 4,767 units, a minimum of 2,384 units will need to be accommodated on sites zoned for residential only.

The City will initiate multiple rezoning and planning efforts to accommodate this additional housing need as follows:

- ❖ ~~General Plan/Zoning Consistency Program~~ — To facilitate quality planning and deliberate policies, and create consistency for selected candidate sites that are undeveloped/developed but underutilized and considered viable for development/redevelopment, the City proposes a rezoning effort. Groups 1 through 3 below principally include sites that are designated correctly in the General Plan, and only require rezoning for consistency with the General Plan. Group 4 is proposed to meet the requirement for 50 percent of the sites to allow residential uses only.
  - ❖ ~~Group 1 — Magnolia Avenue Specific Plan: Within the Magnolia Avenue Specific Plan, 13 sites (locations) totaling approximately 76 acres are identified as~~



## HOUSING TECHNICAL REPORT

~~candidates for rezoning to the MU-V and MU-U Zones.~~

- ~~• Group 2 – University Avenue Specific Plan: Within the University Avenue Specific Plan, 6 sites (locations) totaling approximately 11 acres are identified as candidates for rezoning to the MU-V and MU-U Zones.~~
- ~~• Group 3 – Candidate Sites not within a Specific Plan Proposed for Rezoning to Mixed Use: For areas not within the two specific plan areas mentioned above, 7 sites (locations) totaling approximately 74 acres are identified as candidates for rezoning to the MU-V and MU-U Zones.~~
- ~~• Group 4 – Candidate Sites Proposed for Rezoning to Multi-Family Residential: 40 sites (locations) totaling approximately 150 acres are identified as candidates for rezoning to the R-3-1500 Multiple-Family Residential or R-4 Multiple-Family Residential Zones.~~

~~Further, the Rezoning Program would provide a minimum of 16 dwelling units per site. The Rezoning Program identifies candidate sites, which would permit owner-occupied and rental multi-family residential uses by right pursuant to California Government Code Section 65583.2(h). At least 50 percent of the remaining 4,767 DU (2,384 DU) would be accommodated on sites zoned exclusively for residential uses.~~

- ~~❖ Elimination of Downtown Zoning Barriers – Underutilized Downtown commercial, office, and industrial properties that could be adaptively reused or demolished have been and continue to be identified. No Rezoning Program Tool H-21 candidate sites proposed for rezoning are located in the Downtown Specific Plan. The Downtown Specific Plan currently allows for high density residential and mixed use in the Downtown Specific Plan Raincross District.~~





## ACCOMMODATING THE RHNA

Table H-43 summarizes the City's RHNA need and the City's strategy to accommodate that need prior to adoption of an Ordinance for rezoning of sites in January of 2018.

TABLE H-43  
RHNA SUMMARY PRIOR TO REZONING ADOPTION

	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
<b>Total RHNA Need (2006-2014 Unaccommodated Need + 2014-2021 RHNA Need)</b>	6,077		2,077	4,610	12,764
Projects in the Pipeline	311		<del>3,552</del> ,886		<del>3,868</del> 3,197
Sites Zoned for Residential Development <u>prior to Rezoning adoption in January 2018</u>	999		0		999
<b>Remaining RHNA Need</b>	4,767		<del>3,130</del> ,801		<del>7,897</del> 8,562

Source: City Planning Division, 2017.

## 2017 REZONE PROGRAM

After accounting for projects-in-the-pipeline and available sites zoned for residential development, in 2017 the City still had a remaining RHNA need of 4,767 units for lower-income households. To accommodate the housing need for the remaining 4,767 units affordable to lower-income households, the City identified at least 191 acres of undeveloped or underutilized developed land that was either currently zoned or would be rezoned for residential achieving at least an average density of 25 units per acre. Sites identified were large enough to accommodate at least 16 units per site. State law required that at least half of the remaining lower income units be accommodated on sites exclusively for residential uses. Of the remaining 4,767 units, a minimum of 2,384 units needed to be accommodated on sites zoned for residential-only.

In 2017, the City initiated multiple rezoning and planning efforts to accommodate this additional housing need as follows:

- ❖ General Plan/Zoning Consistency Program - To facilitate quality planning and deliberate policies, and create consistency for selected candidate sites that are undeveloped/developed but underutilized and considered viable for development/redevelopment, the City proposed a



## HOUSING TECHNICAL REPORT

rezoning effort. Groups 1 through 3 below principally included sites that were designated correctly in the General Plan, and only required rezoning for consistency with the General Plan. Group 4 was proposed to meet the requirement for 50 percent of the sites to allow residential uses only.

- Group 1 – Magnolia Avenue Specific Plan: Within the Magnolia Avenue Specific Plan, 12 sites (locations) totaling approximately 74 acres were rezoned to the MU-V and MU-U Zones.
- Group 2 – University Avenue Specific Plan: Within the University Avenue Specific Plan, 5 sites (locations) totaling approximately 10 acres were rezoned to the MU-V and MU-U Zones.
- Group 3 – Sites not within a Specific Plan Rezoned to Mixed Use: For areas not within the two specific plan areas mentioned above, 8 sites (locations) totaling approximately 78 acres were rezoned to the MU-V and MU-U Zones.
- Group 4 – Sites Rezoned to Multi-Family Residential: 32 sites (locations) totaling approximately 146 acres were rezoned to the R-3-1500 Multiple-Family Residential or R-4 Multiple-Family Residential Zones.

Further, the Rezoning Program provided a minimum of 16 dwelling units per site. The Rezoning Program identified sites, which permit owner-occupied and rental multi-family residential uses by right pursuant to California Government Code Section 65583.2(h). At least 50 percent of the remaining 4,767 DU (2,384 DU) were accommodated on sites zoned exclusively for residential uses.

- ❖ Elimination of Downtown Zoning Barriers – Underutilized Downtown commercial, office, and industrial properties that could be adaptively reused or demolished have been and continue to be identified. None of sites proposed for rezoning are located in the Downtown Specific Plan. The Downtown Specific Plan currently allows for high-density residential and mixed-use in the Downtown Specific Plan Raincross District.



**TABLE H-14**  
**RHNA SUMMARY AFTER REZONE PROGRAM SITE REZONING**

	<b>Affordability Levels</b>	
	<b>Very Low</b>	<b>LOW</b>
<b>Total Remaining RHNA Need</b>	<b>4,767</b>	
<b>Sites Zoned for Residential Development in 2017 Rezone Program</b>	<b>6,524</b>	
<b>Surplus RHNA</b>	<b>1,757</b>	

## RIVERSIDE RENAISSANCE

The City has completed a \$1.48 billion investment called Riverside Renaissance, the most ambitious public investment program in Riverside’s history. This aggressive program has completed more projects in five years than were completed over the last thirty years. Although the housing market and economy have receded since 2006, the Riverside Renaissance program is an integral strategy for the City to “prime the market” and position Riverside for a robust recovery in its economy, employment base, and housing market.

Riverside Renaissance was funded through the capital improvement program (CIP) and the strategic investment plan (SIP). The CIP relied on \$235 million in new utility bonds, plus existing, local, regional, state, and federal funds. The SIP bridged the gap of “unfunded” CIP projects by generating additional funds toward Riverside’s capital needs. This included \$105 million in general fund bonds, \$186 million in RDA bonds, surplus land sale proceeds, and additional federal, state, and regional public funds.

In summary, funds were spent as follows:

- ❖ **Public Facilities.** Included new and upgraded parks, libraries, museums, fire stations, convention center, police station, and parking garages. A total of \$334 million was spent on projects during the 2006–2011 timeframe.
- ❖ **Transportation.** Included railroad grade separations, freeway interchanges, street reconstruction, medians, and other supporting improvements. A total of \$480 million was spent on projects during the 2006–2011 timeframe.
- ❖ **Infrastructure.** Included the upgrade of electric plants, water treatment facilities, several reservoirs, and other infrastructure





## HOUSING TECHNICAL REPORT

projects. A total of \$666 million was spent on projects during the 2006–2011 timeframe.

Taken together, the massive public investments made through the Riverside Renaissance program were intended to stimulate private investment in the City, its housing, and neighborhoods as well as bolster and incentivize reinvestment in economic development. As the economy continues to improve, the City of Riverside will be in the strongest position to compete for new residential development.

### FINANCING AND ADMINISTRATIVE RESOURCES

In today's affordable housing market, private-public partnerships are an important tool for developing and managing affordable housing. Riverside has access to a variety of local, state, federal and private resources. These resources, in tandem with nonprofit organizations, can help the City achieve its housing goals. This section describes the largest funding sources used in Riverside for housing purposes and local nonprofit housing organizations.

#### **Financial Resources**

The following section describes the largest housing funding sources used in Riverside—Community Development Block Grants (CDBG), Home Investment Partnerships Program (HOME), and Housing Opportunities for People with AIDS (HOPWA).

#### ***HOME Investment Partnerships Program***

Riverside receives an annual federal entitlement under the HOME program to promote the construction of affordable rental housing, first-time homebuyer assistance, moderate or substantial rehabilitation, and tenant-based assistance. Federal regulations require the City provide a 25% match with nonfederal resources. From 2006 to 2011, Riverside received \$1.6 million in HOME funds annually that were spent primarily on down payment assistance loans for low income first-time homebuyers. The City also used HOME funds to provide rehabilitation loans and grants to help lower income homeowners address health and safety issues and eliminate code violations. The federal government cut the City's HOME allocation in fiscal year 2012/2013 by 48% reducing the City's annual HOME allocation to \$780,000.

#### ***Housing Opportunities for Persons with AIDS***

The HOPWA program provides housing assistance and supportive services for low income people with HIV/AIDS and their families.



# HOUSING TECHNICAL REPORT



Riverside is designated as the responsible jurisdiction for dispersing HOPWA funds throughout Riverside and San Bernardino counties. The City's project sponsors are the Riverside County Housing Authority and San Bernardino County Public Health Department. The City receives approximately \$1.7 million annually.

## ***Community Development Block Grant (CDBG) Funds***

Through the CDBG program, the Department of Housing and Urban Development provides funds to local governments for community development activities, including: acquisition and/or disposition of real estate or property, public facilities and improvements, relocation, the rehabilitation and construction of housing, homeownership assistance, and demolition activities. In addition, these funds can be used to acquire or subsidize at-risk units. Riverside receives approximately \$3 million annually in CDBG funds.

## **Administrative Resources**

The City of Riverside relies on the active involvement of public and nonprofit agencies in meeting local housing needs. Some of the more active organizations in the community are described below.

- ❖ **Government Agencies.** Until 2012, the City's Redevelopment Agency was been active in the rehabilitation and development of low and moderate income housing, funding many of the assisted housing projects in the City. The Redevelopment Agency was dissolved in 2012 consistent with the dissolution of redevelopment agencies statewide. The City's Housing Authority is the successor agency for housing activities of the Redevelopment Agency. The successor agency is charged with closeout of the projects that were already committed through the Redevelopment Agency, but new activities are not permitted. The County Housing Authority owns and manages low income public housing units in the City and provides monitoring of other bond-funded projects to verify compliance with requirements for low income units.
- ❖ **Riverside Housing Development Corporation.** RHDC is a nonprofit organization established to provide and improve affordable housing units. RHDC is a main provider of affordable rental housing in the community, having acquired and rehabilitated various housing developments, including La Sierra Manor, Indiana Apartments, Oaktree Apartments, Cypress Springs Family project, and other projects.
- ❖ **Habitat for Humanity.** Habitat for Humanity is a nonprofit, Christian organization dedicated to building affordable



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housing and rehabilitating homes. Habitat homes are sold to very low income families at no profit with affordable, no-interest loans. Volunteers, churches, and businesses provide most of the labor; public agencies or individuals donate land. Habitat Riverside built five homes in the last several years.

- ❖ **Wakeland Housing & Development Corporation.** Wakeland Housing & Development Corporation owns and manages more than 6,000 residential units throughout California. They have highly qualified staff that has expertise in both affordable housing and on-site resident service programs that offer unique opportunities for families and individuals to enhance their job marketability and enrich their lives.
- ❖ **Mary Erickson Community Housing.** MECH is a nonprofit corporation and a designated Community Housing Development Organization (CHDO) serving South Orange County and Riverside County. Formed in 1991, MECH owns and operates five apartment buildings, a 70-household Housing Subsidy Program, and participates in HUD's 203k acquisition, rehabilitation, and resale program. Partnering with John Laing Homes, MECH built six single-family homes on land purchased by the City RDA.
- ❖ **Lutheran Social Services.** Lutheran Social Services has served the City of Riverside since 1978 by providing transitional living, counseling, food assistance, and outreach to the homeless community. Lutheran Social Services operates "Genesis House," a transitional living program offering supportive services to families with children in crises, in transition from being homeless to affordable housing, employment, and stable and independent living.
- ❖ **Whiteside Manor.** Whiteside Manor is a private, not-for-profit, state-licensed and -certified residential recovery center for individuals affected by substance abuse. With the opening of Sober Living Homes in 1993, Whiteside Manor addresses both the needs of persons recovering from substance abuse as well as mental illness. Whiteside Manor operates programs for men, women and children, and families in group settings.
- ❖ **Operation Safehouse.** Operation Safehouse is a not-for-profit corporation that operates in collaboration with the traditional juvenile justice and law enforcement system. Their mission is to keep runaway and homeless young people off the streets; advocate for family-focused and culturally sensitive programs, and prevent or resolve problems before intervention by child



# HOUSING TECHNICAL REPORT



protective services or the juvenile courts. Safehouse operates a 17-bed emergency shelter, outreach services, formal secondary education, and a transitional housing project.

- ❖ **Other Agencies.** Neighborhood Housing Services of the Inland Empire (NHSIE) is an affiliate of NeighborWorks® America, established to increase the capacity of local community-based housing organizations to revitalize their communities. This agency provides down payment assistance services. The Fair Housing Council of Riverside County also provides foreclosure counseling and homeowner education.





## HOUSING TECHNICAL REPORT

### HOUSING EVALUATION

An important step in developing the City's housing strategy is to evaluate the success of the prior Housing Element in meeting the community's housing needs. To that end, this section summarizes: 1) the accomplishments made in implementing Riverside housing programs; and 2) the results of public input provided for the 2014-2021 Housing Element update. Pursuant to recently adopted state law, future housing element planning and evaluation periods (beyond the year 2014) will be eight years.

#### OVERVIEW

The Housing Element set forth four primary objectives for the 2008-2014 planning period:

- ❖ Create neighborhoods that offer distinctive, special places to live that are safe and well served by community amenities, and encourage community involvement in local decision making.
- ❖ Facilitate the development of a diversity of housing types and prices that are high quality, built in a sustainable manner, and meet the varied housing needs of residents.
- ❖ Increase the opportunities for low and moderate income residents and workforce to find suitable ownership and rental housing in the community.
- ❖ Provide adequate housing and supportive services that assist in meeting the varied needs of residents with special housing needs.

Appendix E, Review of Past Performance, details the progress in implementing the 2008-2014 Housing Element.





## COMMUNITY OUTREACH FOR ADOPTED 5<sup>TH</sup> CYCLE HOUSING ELEMENT

California law requires that local governments make a diligent effort to achieve participation from all economic segments of the public in the development of the housing element. As part of the 2014-2021 Housing Element update, the City of Riverside conducted an extensive public engagement program to solicit views from a broad range of community interests. The City held two major series of forums to solicit input for the Housing Element.

- ❖ **Farmers' Market.** The City solicited input from residents at the Kaiser Permanente Farmers' Market on July 19, 2013. The City provided information about the Housing Element and community members shared their thoughts on housing challenges and opportunities.
- ❖ **Neighborhood Conference.** The City also had an information booth at the Neighborhood Conference on October 19, 2013. The City provided information about the Housing Element and asked for input on housing challenges and opportunities.
- ❖ **Citizen's Advisory Committee.** The City Council appointed a Citizens Advisory Committee (CAC) composed of representatives from the development industry, special needs groups, City commissions, fair housing representatives, and other parties. The City formed a CAC to discuss housing needs, the role of the Housing Element, and potential policy and programmatic responses to addressing Riverside's needs.

Taken together, the public input gathered through the City's comprehensive outreach program (the results of which are summarized in this chapter) played a key role in the Housing Element update. These forums helped to identify the City's housing needs, clarify the various constraints and opportunities to meeting those needs, and define the policy and program framework that would guide the implementation of housing programs.

### FARMERS MARKET

On July 19, 2013, the City hosted a Housing Element information and outreach booth at the Kaiser Permanente Farmers' Market. At the booth, community members had the opportunity to pick up





## HOUSING TECHNICAL REPORT

informational flyers about the Housing Element update, ask questions of the project team, and provide comments on housing opportunities and challenges.

The following are comments provided by the community in response to the two topics. All comments are provided verbatim.

### Challenges



- ❖ Arlanza – the Single Family Residential is impacted by the low income apartments. Bad parking issue. Speed of cars
- ❖ Neighborhood quality. Policing. Deferred maintenance.
- ❖ La Sierra congestion
- ❖ Quality of housing
- ❖ Reduce impacts to neighborhoods from air traffic from Moreno Valley free trade zone and truck traffic, pollution, and quality of life.
- ❖ Left turn to La Sierra needs a signal.
- ❖ County calling “do not call list” for upgrading windows = upset residents
- ❖ I hate foreign investors buying up the whole neighborhood with cash.
- ❖ Too many investors turning neighborhoods into rental neighborhoods over ownership
- ❖ Noise from traffic in neighborhoods
- ❖ Quality of housing
- ❖ Affordability
- ❖ Lots of homeless waiting for SSI checks
- ❖ Affordability of ownership – investors driving up prices, credit repair needed.
- ❖ Hendrick Area – noisy kids at night (teens and college age). Lots of people moving in and out of neighborhood. Quality changed.



# HOUSING TECHNICAL REPORT



## Opportunities

- ❖ Look at what Corona is doing with boarding housing – smaller units P.E. Article a month ago
- ❖ Look at train station and mixed use
- ❖ Create housing with kitchens separate from living area with outdoor access (wok kitchen) it's a cultural desire due to smells from cooking.
- ❖ Cultural specific amenities (eg. Kitchen) – closed kitchen
- ❖ Make houses smaller – you don't need 2,000 sf
- ❖ Arlanza – make empty lot for parking by low income housing. There are too many cars. Add stop signs and speed bumps
- ❖ Arlanza – Add YMCA instead of Weed Clinic near low income housing for young kids.
- ❖ Seniors need to downsize \*helping them
- ❖ Community Policing
- ❖ New shopping centers needed



## NEIGHBORHOOD CONFERENCE

On October 13, 2013, the City hosted a Housing Element information and outreach booth at the annual Neighborhood Conference held at Riverside Community College. At the booth, community members provided comments on housing opportunities and challenges. The following are the comments that were written. The comments are provided verbatim.

## Challenges

- ❖ Cost of housing, going to lose young people
- ❖ Safety
- ❖ Quit building
- ❖ Ward 3 group homes popping up
- ❖ Halfway houses - want notice
- ❖ Need low cost no frills modular student housing
- ❖ Houses at freeways, don't feel safe in these areas especially at night

## Opportunities





## HOUSING TECHNICAL REPORT

- ❖ Need low income family housing
- ❖ Youth club on Mission Inn
- ❖ More mixed-use complexes
- ❖ Another homeless shelter
- ❖ 115 homes for Cox trade on golf course
- ❖ Tyler and Van Buren for 95 homes, Tyler needs 4 lanes

|







## CITIZENS ADVISORY COMMITTEE

The City of Riverside has a tradition of appointing advisory bodies to inform the development of the General Plan. To that end, the City Council appointed a Citizens' Advisory Committee (CAC) to oversee the preparation of the 2014-2021 Housing Element update. The CAC was charged with the responsibility of providing perspectives on pressing housing needs facing the City of Riverside and making suggestions on various goals, policies, and implementation programs.

The Riverside City Council appointed a group of participants who were representative of the community and the various housing issues facing the community. During the Housing Element update, the City of Riverside held one forum with the Citizens Advisory Committee. The forum was publicly noticed and open to participation by residents, stakeholders, and other interested parties. The forum and the general content discussed at each are summarized below. A second forum will be held for the CAC to review the draft Housing Element.

The minutes from the CAC meeting are provided in Appendix F.

## PLANNING COMMISSION WORKSHOP # 1

The City presented to the Planning Commission on May 18, 2017 at the City Council Chambers to discuss the revisions to the draft version of the 2013-2021 Housing Element update and to receive any initial input. The following summarizes the discussion and comments into challenges and opportunities.

### Challenges

- ❖ Close proximity of these candidate site parcels La Sierra High School and St. Colette Church site will cause too much traffic with increased density.
- ❖ Felt property owners were not notified properly of these zone changes.
- ❖ City should fight the State on legal requirements that are causing the requirements in this document.
- ❖ The term "rezone" creates fear when discussing the future of parcels, but this requirement is bigger than the City and must be done.





## HOUSING TECHNICAL REPORT

- ❖ An overlay zone would not be allowed to satisfy this state rezoning requirement. Mixed use zoning does allow for flexibility.
- ❖ Because of the lawsuit against the City all development could be stopped if the Housing Element is not certified in a timely manner, and therefore should not be fought but work to comply with State law.
- ❖ A property owner could not request a variance to prevent a site from changing from commercial to residential under these new restrictions. However, they could request a rezone or a General Plan Amendment at a later date.
- ❖ RA-5 zoned sites were not considered for rezoning in this update because they require a vote of the people to change.
- ❖ This process is to simply identify and rezone current land uses in the City without physical work or construction.

### Opportunities

- ❖ Property with a CUP runs with the land even if rezoned.
- ❖ City will continue to allow pre-existing nonconforming uses on rezoned sites.
- ❖ The housing created will not just be Section 8 Housing but workforce housing as well.
- ❖ Staff will also investigate nonconformity requirements to ensure they are compliant with the rezoning program and will not wrongfully penalize anyone.

### PUBLIC WORKSHOP

On May 18, 2017 a public workshop was held by City staff from 6 to 8 p.m. in the City Council Chambers to discuss the 2013-2021 Housing Element and rezoning program. The public was invited to provide feedback and ask questions about the housing element update process and the required rezoning the City is conducting as part of that process.

Approximately 20 people attended the meeting, and voiced their concerns via open discussion and comment cards. The following summarizes the discussion and comments into challenges and opportunities.

# HOUSING TECHNICAL REPORT



## Challenges

- ❖ Felt letter of notice to property owners that termed businesses “underutilized” was upsetting and believes this will discourage businesses from locating to the region.
- ❖ Restrictions on residential development because of airports and the Airport Land Use Commission (ALUC) create challenges due to their large presence in the City.
- ❖ Feels rezoning is a scourge on property owners and lowers property values due to new uncertainty for potential buyers.
- ❖ Concerned about increased traffic, homeless people, and drugs with the changes.
- ❖ RA-5 zoned sites were not considered for rezoning in this update because they require a vote of the people to change.

## Opportunities

- ❖ The City will be sending notices before the public hearings starting in August to alert property owners and surrounding neighbors of the proposed rezoning changes.
- ❖ Underutilized (or underdeveloped) properties were identified by city staff by examining existing appropriate General Plan designations and other factors.
- ❖ A real estate broker commented that a property he had for sale was part of the candidate list, and the offer on the property increased drastically under the terms of the site changing from an R-1 to an R-3 or R-4 zone.
- ❖ City staff anticipates some zoning amendments to address residential uses by right, nonconformity issues, and MU-V permitted uses.

This meeting and the evening workshop initiated the public engagement process for the rezoning effort. City staff emphasized that they are available to answer questions at any time and are happy to meet with property owners.

## APPENDIX A: 2006-2014 HOUSING PRODUCTION



### APPENDIX A: 2006-2014 HOUSING PRODUCTION

This appendix summarizes the construction of new units in Riverside during the 2006-2014 planning period. These units are subtracted from the City's 2006-2014 RHNA allocation to obtain the City's unaccommodated 2006-2014 RHNA need.

#### SENIOR HOUSING

The following senior housing projects were constructed during the 2006-2014 planning period.

- ❖ **TELACU Las Fuentes.** TELACU built this 75-unit senior apartment project, located at 1807 11<sup>th</sup> Street, in 2008. The project is built on a 2.1 acre site at about 35 units per acre. To facilitate the project, the City approved a conditional use permit and variances to increase the allowable building height as well as to allow a different parking arrangement. The project was funded with the HUD Section 202 program, City Redevelopment Agency, and Home funds. The project contains 74 units affordable to very low income seniors (plus one unit affordable to a moderate income household).
- ❖ **TELACU El Paseo.** TELACU built this 75-unit senior apartment project, located at 4030 Harrison Street, in 2009. The project is built on a 2.1 acre site at about 35 units per acre. To facilitate the project, the City approved a conditional use permit and variances to increase the allowable building height as well as to allow a different parking arrangement. The project was funded by the HUD Section 202 program, City Redevelopment Agency, and Home funds. The project contains 74 units affordable to very low income seniors (plus one unit affordable to a moderate income household).
- ❖ **Raincross Senior Housing.** The 168-unit Raincross Senior Housing, located at 5200 Central Avenue, was built in 2007. The site is zoned R-1-7000, encompasses 5.3 acres, and the density of the residential project is about 52 units per acre. This project is privately financed and not rent restricted. To facilitate the entire project, the City approved a conditional use permit as part of the project approval. Raincross Senior offers one and two bedroom units for \$735-\$1,200 a month. Assuming a two person senior household can afford \$1,040



*TELACU Las Fuentes*





## APPENDIX A: 2006-2014 HOUSING PRODUCTION

per month (\$940 rent plus \$100 utilities), this project is affordable to low and moderate income households.



*Raincross Cottages*

❖ **Raincross Cottages.** This project includes 22 craftsman cottages restricted to seniors 55 years and older. The two-bedroom and two bath units range in size from 900 to 1,000 square feet, and contain a kitchen, a laundry room, and attached garage. Although initially intended as for-sale condominiums, the owner is renting the cottages at market rents due to the economy. Units rent for \$1,150 per month. Assuming a two person low income household can afford a total of \$1,040 per month (\$940 rent plus \$100 utilities), this project rents are above the low income threshold and are affordable to moderate income households.

❖ **Orangeville Senior.** The 23-unit Orangeville Apartments, located at 1054 N. Orange Street, was completed in 2010. The present site encompasses about 0.77 acres and the density of the residential project is about 30 units per acre. The two-bedroom units rent for \$895 per month. Listed by the Riverside County Housing Authority, the project solicits Section 8 vouchers. According to the rental housing affordability analysis, a two-person low income household can afford rent of \$1,040 per month. This project is master metered, so a portion of the utilities is included in the rent. However, even adding a \$100 maximum utility allowance, this project would be affordable to lower income households.



*JE Wall Victoria Manor*

❖ **JE Wall Victoria Manor.** The 112-unit JE Wall Victoria Manor is a senior project at 4660 Victoria Avenue. Built in 1993, the project's 15-year affordability covenant had expired, and the project was at imminent risk of converting to market rates. Workforce Homebuilders, in partnership with Portrait Homes and St. James Church, purchased and rehabilitated the property in 2007 and 2008. The project received \$3.5 million in RDA funds and annual federal tax credits of \$400,000. Upon completion, 23 units are affordable at or below 50% of the MFI and 88 units are affordable at or below 60% of MFI. The affordability covenants were also extended 55 years.

❖ **Cambria (Riverwalk III).** This 204-unit senior housing project, located at 4725 Sierra Vista Avenue, was built in 2011. Approved as part of the La Sierra Specific Plan, this project offers highly amenitized housing near La Sierra University. This project has 132 one-bedroom and 72 two bedroom units, ranging in size from 650 to 950 square feet. Rents are \$950 to \$1,050 for one-bedroom units and \$1,200 to \$1,350

## APPENDIX A: 2006-2014 HOUSING PRODUCTION



for two-bedroom units. Based on the maximum affordable rental payment for a two person and low income household (\$1,040) and additional standard utility allowance, the project is affordable to moderate income households.

- ❖ **Vintage at Snowberry.** The 224-unit Snowberry Senior project, located at 8202 Colorado, was completed in 2012. Pursuant to a developer agreement, 222 units are required to be affordable to lower income households; the remaining two units are manager's units that are not income restricted. Project costs total \$33.5 million. Major funding sources include \$16 million in Tax Exempt Bonds, \$9 million in Tax Credits, \$3 million in Redevelopment Funds, \$1.6 million in MHSA funds, and \$1.5 million in HOME funds.
- ❖ **Villa Magnolia Mobile Homes.** The Villa Magnolia Park, located at 3500 Buchanan, is a senior mobile home park. It consists of 193 original spaces and 52 spaces were added in the 2006 - 2014 housing production period. The project has two and three-bedroom units for asking prices of \$69,900 to \$90,000 with \$600 space rents. The space lease translates into an additional price of \$90,000. According to the affordability matrix, a two person, and low income household can afford a home priced at \$186,700. Although the lease adds up to \$90,000 in equivalent house costs, the total is less than the maximum affordable price of \$186,700 that is affordable to low income households.





## APPENDIX A: 2006-2014 HOUSING PRODUCTION

Table A-1 lists each senior project built during the Housing Element period. The affordability was based on actual rents, affordability covenants, and discussions with developers.

TABLE A-1  
SENIOR HOUSING PROJECTS SINCE 2006

Senior Housing Projects	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
<b>Built Since 2006<sup>1</sup></b>					
TELACU Las Fuentes (P04-1023)	74	0	1	0	75
TELACU El Paseo (P07-0900)	74	0	1	0	75
Raincross Senior (P03-1514)	0	122	45	1	168
Raincross Cottages (P04-0206)	0	0	22	0	22
Orangeville Senior (P08-0201)	0	23	0	0	23
J.E. Wall Victoria Manor (P07-1341)	23	88	1	0	112
Cambria Riverwalk (P06-0557/PM-34744)	0	0	204	0	204
Vintage at Snowberry (P04-0075)		222	2	0	224
Villa Magnolia Mobilehomes (P03-0261)	0	52	0	0	52
<b>Total</b>	<b>171</b>	<b>507</b>	<b>276</b>	<b>1</b>	<b>955</b>
Source: City Planning Division, 2013.					
Notes:					
1. Built and finalized residential projects. Affordability based on actual rents charged. Projects that have pulled building permits or are under construction are included in this category. Except otherwise noted, all projects are completed.					

### APARTMENTS

The following text describe project and Table A-2 summarize multiple family projects credited toward the 2006–2014 RHNA.

- ❖ **Cypress Springs Apartments.** In 2007, the Riverside Housing Development Corporation built this 101-unit apartment project at 7850 Cypress Avenue. This project was built on a 3.9-acre site at a density of 26 units per acre. The project offers three- and four-bedroom units for very low income, large households. On-site amenities include childcare, computer learning center, recreational amenities, and the Blindness Support Training Center. The City facilitated the project by re-designating the site, approving variances, and approving a density bonus. The project was funded by RDA funds, HOME funds, and a low income housing tax credit.



## APPENDIX A: 2006-2014 HOUSING PRODUCTION



- ❖ **Diamond Garden Apartments.** This 16-unit apartment project, located at 3715 Jefferson Street, was built in 2008. This project offers two-bedroom units for \$1,150 per month. This project is located close to shopping, entertainment, and Cal Baptist University. It is a market-rate project and does not receive public subsidies. According to the rental housing affordability analysis, a four-person low income household can afford rent of \$1,300 per month. This project is master metered, so a portion of the utilities is included in the rent. However, even adding a \$100 maximum utility allowance, this project would be affordable to lower income households.
- ❖ **Sierra Vista Hills Apartments.** This 8-unit apartment project, located at 4981 Sierra Vista Lane, was built in 2008. This project offers two bedroom apartments for \$900 per month. The project is located close to shopping, entertainment, and La Sierra University. It is a market-rate project and does not receive public subsidies. According to the rental housing analysis, a four-person low income household can afford rent of \$1,300 per month. This project is master metered, so part of the utilities is included in the monthly rent. However, even adding the full \$100 maximum utility allowance, this project would still be affordable to lower income households.
- ❖ **Stone Canyon Apartments.** This project, located on Quail Run Road, was built in 2006/2007 and reported to the Department of Finance in 2006/2007. This 220-unit apartment project was built on an 18-acre site zoned R-3-3000 at a density of 11 units per acre. Half of the parcel on which the project sits is designated as open space. This project offers one- and two-bedroom units that rent from \$1,010 to \$1,435 per month, respectively. Built to condo standards, a full \$100 utility allowance should be added to the rent. Based on affordable limits and the utility allowance, this project is affordable to moderate income households.
- ❖ **Madison Villa Apartments.** The 20-unit Madison Villas, located at 7510 Magnolia Avenue, was built in 2009. This project was built on a 0.55-acre parcel at a density of 36 units per acre. According to rental sites, the rents are \$825 for a one-bedroom unit and \$1,150 for a two-bedroom unit. The property accepts HUD housing vouchers. According to the affordability analysis, a four-person low income household can afford rent of \$1,300 per month. As master-metered project, the rent covers part of the utilities. However, even adding a \$100 maximum utility allowance, this project is affordable to lower income households.



*Stone Canyon Apartments*





## APPENDIX A: 2006-2014 HOUSING PRODUCTION

- ❖ **Nye Avenue Apartments.** This 16-unit project at 3613 Nye Avenue, built in 2007, offers two bedroom units with two-car garages. The project is close to shopping, entertainment, Kaiser Hospital and La Sierra University. Initially built as townhomes, the project was converted to apartments. As a market-rate project, rents are \$1,100 to \$1,350 a month, respectively. According to the rental analysis, a four-person low income household can afford \$1,300 per month. Built to condo standards, a full \$100 utility allowance should be added to the rent. Taken together, this project is affordable to low and moderate income households.
  
- ❖ **Indiana Avenue Apartments.** The City of Riverside, RDA, and RHDC partnered to gradually acquire and rehabilitate market-rate, substandard fourplexes at the Indiana Avenue Apartments and buy down the affordability of the project. In 2009, the RDA acquired an additional 32 units in the project. The City of Riverside dedicated \$1.5 million in HOME funds, \$225,000 in SHP funds, and \$710,000 in RDA funds to the project. SHP funds provided for eight supportive housing units and HOME funds financed an additional 11 units. Completed in 2010, the project has 8 extremely low income, 9 very low income, and 15 moderate income units.
  
- ❖ **Paseos@Magnolia.** The 168-unit project is located in the La Sierra neighborhood. The project contains 55 one-bedroom, 102 two-bedroom, and 11 three-bedroom units. Built in the R-3 Multi-family Residential Zone, the project density is 22 units per acre. The project features open space, tuck under parking, and 2 parking spaces per unit. According to the Hutton Company, prices at opening were: \$1,500 to 1,600/month for a one bedroom unit (moderate income), \$1,700-\$1,800 for a two bedroom unit (moderate income), and \$2,200 to \$2,400 for a three bedroom unit (above moderate income).

# APPENDIX A: 2006-2014 HOUSING PRODUCTION



TABLE A-2  
APARTMENT PROJECTS SINCE 2006

Apartment Projects	Affordability Levels				Total
	Very Low	Low	Mod	Above Mod	
<b>Built Since 2006<sup>1</sup></b>					
Cypress Springs Apts (P04-0664)	99	0	2	0	101
Diamond Garden Apts (P03-1295)	0	16	0	0	16
Sierra Vista Hills Apts (P03-0585)	0	8	0	0	8
Stone Canyon Apts (P03-0959)	0	0	220	0	220
Madison Villa Apts (P03-0110)	0	20	0	0	20
Nye Avenue Apts (P03-1542)	0	8	8	0	16
Indiana Avenue Apartments	8	9	15	0	32
Paseos@Magnolia Apts (P10-0406)	0	0	157	11	168
Canyon Crest (formerly Canyon Crest Condos - P04-0120/PM-35643)	0	0	20	0	20
<b>Total</b>	<b>107</b>	<b>61</b>	<b>422</b>	<b>11</b>	<b>601</b>
Source: City Planning Division, 2013.					
Notes:					
1. Built and finalized residential projects. The affordability of the housing is based on actual rents charged and the applicable utility allowance. For those listed above, all projects were completed as of November 2013.					

## CONDOMINIUMS

The following text describes and Table A-3 summarizes condominium projects credited toward the 2006–2014 RHNA.

- ❖ **Villas@Magnolia Place.** This 35-unit project at 11547 Magnolia Avenue was built in 2008/2009. The project is built on a 1.88-acre site at a density of 19 units per acre. Each condo has two bedrooms and covers 1,170 square feet. To facilitate the project, the City rezoned the site from the R-1-7000-Single-Family Residential Zone to the R-3-1500 Multiple-Family Residential Zone. The project is rented due to the downturn in the housing market. Asking rents are \$1,400 to \$1,500 (utilities are extra), which are still well within the affordable rent limits for moderate income households.
- ❖ **Raincross Promenade.** This 141-unit condo project in downtown Riverside was built in 2010. Built on a 2.5-acre site, this project was built at a density of 56 units per acre. The project is noted for its exceptional quality and amenities. Due to the downturn in the market, the project is being



## APPENDIX A: 2006-2014 HOUSING PRODUCTION

rented as apartments for \$1,250 to \$1,950 per month. Shown earlier, a two- and four-person moderate income household can afford \$1,560 to \$1,950 in housing costs. Even after adding in the maximum utility allowance of \$100, this project is still affordable to moderate income households.

- ❖ **Georgetown Townhomes.** This 93-unit townhome project, located at 3874-3980 Polk Street, was built in phases between 2006 and 2008. The project is built on a 5.9-acre site, and the density of development is 17 units per acre. This project features two and three-bedroom units, 1,500 square feet of living area, covered parking, and site amenities. As shown earlier, for determining affordability, two-bedroom units are assumed to accommodate four residents and three-bedroom units are assumed to accommodate five residents. The HOA fee for this project is \$300 per month, which translates into \$45,000 in equivalent sales price.

According to first-time sales prices recorded by the Redfin and Riverside Blockshopper websites, this project offers 18 low income units. Of the aforementioned low income units, 9 two-bedroom units sold for less than \$184,000 and 9 three-bedroom units sold for less than \$207,000. As shown in Table H-14, the low income thresholds are higher than the above sales price figures. In addition, the project contained 60 moderate and 15 above moderate income units.

- ❖ **Magnolia Gardens.** This 62-unit condo project, located at 3901 Dawes Avenue, was started in 2007 and completed within the last year. This project includes 34 one-bedroom and 28-two bedroom units. The project was initially foreclosed on and repossessed by a bank. After its subsequent sale, Sustainable Design Inc. submitted the project with revised elevation plans. The developer anticipated to rent the project as follows: \$1,200/month for a one-bedroom unit, \$1,400/month for a two-bedroom unit, and \$1,570 for a three-bedroom unit (all moderate income units).



# APPENDIX A: 2006-2014 HOUSING PRODUCTION



TABLE A-3  
CONDOMINIUM PROJECTS SINCE 2006

Condominium Projects	Affordability Levels				Total
	Very Low	Low	Mod	Above Mod	
<b>Built since 2006<sup>1</sup></b>					
Villas@Magnolia Place (P03-1008/TM-31132)	0	0	35	0	35
Raincross Promenade (P05-1502/TM-34679)	0	0	141	0	141
Georgetown Twnhms (P04-1007/TM-32533)	0	18	60	15	93
Magnolia Garden Condos (P10-0438)	0	0	62	0	62
M'Sole Condos (P06-0109/P06-0109/TM-34738)	0	0	0	10	10
<b>Total</b>	<b>0</b>	<b>18</b>	<b>298</b>	<b>25</b>	<b>341</b>
Source: City Planning Division, 2013.					
Notes:					
1. Built and finalized residential projects.. All prices are first sales price to the original homebuyers.					

## PLANNED RESIDENTIAL DEVELOPMENTS

Planned residential development (PRD) regulations provide a unique and flexible incentive to facilitate small-lot infill subdivisions, clustered development, encourage more creative and imaginative project design by allowing increased densities in return for enhanced amenities; and assist in the preservation and enhancement of valuable natural areas, especially in the RC Zone. The following is a sample of PRDs based on actual sales prices according to Redfin in 2011.

- ❖ **Garden Gate.** Garden Gate is a 62-unit PRD project, located in the Arlanza neighborhood, that was completed in 2006. To facilitate the project, the City rezoned a 7-acre site from R-1-7000 and C-2 to R-3-4000 to allow a PRD. The project features 1,500 to 2,500 square feet homes, compact residential lots, ample open space and recreational amenities. According to Redfin, HOA fees are \$200 per month. Pre-recession, homes sold for an average of \$392,000, including one home that sold for \$191,000. Since 2008, however, 60% of the homes were short sales and resale prices averaged \$184,000 which is affordable to lower income households.
- ❖ **La Rivera Villas.** La Rivera Villas is a 263-unit PRD located in the Northside neighborhood that was completed in 2006. The project is located on a site in the R-1-7000 Zone, which allows for up to 8 units per acre with a PRD density bonus. This project consists of homes of 1,500–2,500 square feet on



Garden Gate



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compact residential lots of approximately 3,500 square feet. HOA fees are \$100 per month. Pre-recession, homes sold for an average of \$396,000, including 10 three-bedroom homes that sold for \$215,000 or less. Since 2008, however, 50% of the homes were short-sales and resale prices averaged \$208,000, which is affordable to low income households.

- ❖ **Prestige Homes.** Prestige Homes is a 44-unit PRD, located at the corner of Main and Columbia, that was built in 2006. To facilitate the project, the City approved a General Plan amendment to re-designate the entire site from Commercial Business and Office (CBO) to Residential Medium Density (RMD) general plan and a zoning designation of R-1-7000. Homes range from 1,500–2,500 square feet on compact lots. HOA fees are \$100 per month. Pre-recession, homes sold for an average of \$387,000, which is affordable to above moderate income households. Since 2008, however, 75% of the homes were short-sales and resale prices averaged \$171,000, which is affordable to low income households.



*Glenwood*

- ❖ **Glenwood Village.** Glenwood Village is a 84-unit PRD in the Northside neighborhood that was built from 2007 to 2009. This project offers 3 and 4-bedroom homes of 1,500 to 2,500 square feet on small residential lots. The project site is located in the R-1-7000 Zone, which allows a density of 8 units per acre using the PRD density bonus. The project covers 11 acres and is built at a density of 8 units per acre like other PRDs with a density bonus. HOA fees are \$150 per month. Using Redfin to establish the initial price, 3 are low income units (priced at \$230,000 or less), 40 are moderate income, and 38 homes are above moderate income units.

- ❖ **Liberty Square.** Liberty Square is a 55-unit PRD, located in the Magnolia Center neighborhood, that was built in 2007. This project offers 3-bedroom units from 1,525–2,111 square feet, with attached two-car garages, and includes four common open space areas with amenities. Like other PRDs, this project is built at a density of 8 dwelling units per acre. HOA fees are \$166 per month. Pre-recession, these homes sold for an average of \$366,000, which is affordable to above moderate income households. Since 2008, however, 50% of the homes were short sales and resale prices averaged \$184,000, which is affordable to lower income households.

- ❖ **Steven Walker Homes.** Steven Walker Homes built this 31-PRD, located in the La Sierra Hills neighborhood, in 2007. The project offers three and four-bedroom homes ranging in

## APPENDIX A: 2006-2014 HOUSING PRODUCTION

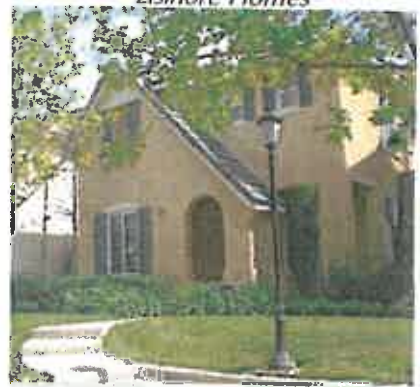


size from 1,596 to 1,930 square feet that front onto a large common open space with many amenities. Pre-recession, these homes sold for an average of \$391,000, including one home that sold for \$229,000. The other homes sold for moderate and above moderate income prices. Since 2008, however, 10% were short sales and resold at an average of \$215,000, which is affordable to lower income households.

- ❖ **North Trademark.** North Trademark is a 101-unit PRD, in the Hunter Industrial Park neighborhood, that was built in 2007. This project consists of 3-bedroom units of 2,376–2,640 square feet with garages and common open areas. HOA fees are \$140 per month. Pre-recession, these homes sold for an average of \$383,000, including one home that sold for \$169,000. Since 2008, however, 50% of the homes were short sold at an average sales price of \$186,500—which is affordable to lower income households. According to first-sale prices, 13 units are moderate income units and 96 units sold for higher above moderate income prices.
- ❖ **Elsinore Homes.** Elsinore Homes is a 114-unit PRD, located in the Grand Neighborhood, that was completed in 2007. The project consists of 114, three and four bedroom units of 1,900–2,300 square feet. Amenities include a club house, patio areas, and other. HOA fees are \$125 per month. According to Redfin, 56 homes sold for first-time prices affordable to moderate income households and the remainder are above moderate income homes. To date, only 71 units are built. The remaining lots are assumed to be moderate income units because the prevailing prices for PRDs currently on the market (see Riverwalk Vista later in the project list) are affordable to moderate income households.
- ❖ **Redington.** DR Horton completed this 134-unit PRD of neo-traditional design and cottage style homes in 2007. This project offers homes ranging from 1,416 - 2,100 square feet. Recreational amenities include a pool, play areas, and others. Pre-recession, these homes sold for an average of \$417,000, which is affordable to above moderate income households. Since 2008, 40% of the homes were short sold and resold at an average of \$247,000, which is affordable to low and moderate income households depending on the sales price. An additional 8 units were purchased by UCR and are offered as affordable to moderate income households.
- ❖ **Enterak.** Enterak is a 98-unit PRD, located in the Northside neighborhood, that was completed in 2006. This project



*Elsinore Homes*



*Redington*



## APPENDIX A: 2006-2014 HOUSING PRODUCTION

offers 2, 3, and 4 bedroom homes ranging in size from 1,200 to 1,500 square feet with two-car garages included. Common open space includes a pool, play areas, and landscaped amenities. Pre-recession, these homes sold for an average of \$381,000, which is affordable to above moderate income households. Since 2008, however, 60% were short sales and resold at an average of \$183,000, which is affordable to low income households depending on the sales price.

- ❖ **Creekside Terrace.** Creekside Terrace is a 78-unit PRD located in the Canyon Crest neighborhood near UCR. This project consists of patio and courtyard style single-family residences ranging in size from 1,500 to 2,900 square feet. In 2009, UC Riverside purchased the project and intends to offer subsidized housing as an incentive for recruiting new faculty to work at the university. This project offers 29 moderate income and 49 above moderate income units.

- ❖ **Villa De Rosa.** The Villa De Rosa project is a 22-unit PRD, located at 10146 Gould Street, however, is partially completed with only 8 homes built. The site is zoned R-3-1500 and allows for 29 units per acre. The project encompasses 2.15 acres and is built at a density of 10 units per acre. Each unit includes 3 bedrooms (can accommodate 5 people), 1,630 square feet unit, and attached garage. HOA fees are only \$88 per month. According to Redfin.com, 8 homes sold for under \$230,000, which is affordable to lower income households. The additional HOA fee translates into \$10,000 in sales price.



*Riverwalk Park*

- ❖ **Sierra Park.** Turnberry at Sierra Park is a 62-unit PRD, located in the La Sierra neighborhood. The project is located in the R-1-7000 Zone, which allows for up to 8 units per acre using the PRD density bonus provision. The project covers 7.9 acres and is built at 8 units per acre. The project offers 3 and 4 bedroom homes ranging in size from 1,500 to 2,500 square feet. New homes sell for \$241,000 to \$268,000. The HOA fee is \$160 per month. Based on the housing affordability thresholds, the project offers housing affordable to moderate income households.

- ❖ **Riverwalk Vista Project.** Riverwalk Vista, currently under construction, blends single-family detached homes into a setting of villages with varying lot sizes and open space amenities. There have been 185 units built thus far – 79 units in a portion of Village 1, 47 units in Village 2, and 59 units in

## APPENDIX A: 2006-2014 HOUSING PRODUCTION



Village 3. These units are assumed to be affordable to moderate income households.







## APPENDIX A: 2006-2014 HOUSING PRODUCTION

Table H-42 lists all of the projects credited toward the 2006-2014 RHNA.

TABLE A-4  
PRD CONSTRUCTED SINCE 2006

Built PRD Projects <sup>1</sup>	Affordability Levels				Total
	Very Low	Low	Mod.	Above	
Garden Gate (TM-31553)	0	1	0	61	62
La Rivera Villas (TM-30922)	0	10	37	226	273
Prestige Homes (TM-31512)	0	0	4	39	43
Glenwood Village (TM-32293)	0	3	39	38	80
Liberty Square (TM-32046)	0	0	17	37	54
Steven Walker (TM-31014)	0	1	8	22	31
North Trademark (TM-30907)	0	1	20	87	108
Elsinore Homes (TM-31755)	0	0	56	58	114
Redington (TM-31801)	0	0	9	115	124
Enterak (TM-31415)	0	0	16	76	92
Creekside Terrace (TM-31671)	0	0	29	49	78
Villa de Rosa (TM-32391)	0	8	0	0	8
Sierra Park (TM-33403)	0	0	62	0	62
Riverwalk Vista SP (TM-32772)	0	0	0	185	185
Griffin Industries (TM-29087)	0	0	0	31	31
Centex (TM-32470)	0	0	6	16	22
Various Builders (TM-29628)	0	0	35	0	35
KB Homes (TM-33051)	0	0	0	15	15
Amberhill Custom Estates	0	0	0	46	46
<b>Total</b>	<b>0</b>	<b>24</b>	<b>338</b>	<b>1101</b>	<b>1,463</b>

Source: City Planning Division, 2013.

Notes:

1 Built and finalized residential projects. The affordability of the housing is based on first time sales prices to the original homebuyers. Projects that have pulled building permits or are under construction are also included.

### ACCESSORY UNITS

The Census Bureau defines a housing unit as a house, an apartment, a mobile home, a group of rooms, or a single room occupied as separate living quarters. Separate living quarters are those in which occupants live separately from other people in the building and have direct access from outside the building or through a common hall. If any of the occupants live separately from others in the building and

## APPENDIX A: 2006-2014 HOUSING PRODUCTION



have direct access (including staff personnel within any group quarters, their quarters are also considered to be housing units.

In addition to conventional standard single- and multiple-family homes, the City permits two types of accessory dwelling units. As described in the Constraint Analysis, these are second units, and caretaker units. The two choices allow the owner to charge rent. The Census Bureau was asked whether such living quarters were housing units or group quarters. The Census Bureau was informed regarding the occupant and whether the unit had a kitchen or bathroom.

Since 1990, the Census Bureau has made two primary changes to the definition of a housing unit. The first change eliminated the “eating separately” criterion to be more in keeping with the United Nations’ definition of a housing unit that stresses the entire concept of separateness rather than a specific “eating” element. The second change eliminated the “number of nonrelatives” criterion.’ Based on the above, the Census Bureau confirmed that the definition of second units and caretaker quarters in Riverside match the Census definition of a housing unit.

The following analysis discusses each type of unit, the number of units built during the planning period, and its affordability.

- ❖ **Second Units.** From January 2006 through December 2011, a total of 36 granny flats and second units have been built and finalized. No further granny flats are projected due to changes in state law. Although the City contacted property owners and asked for rents, none responded. Therefore, they are assumed to be affordable to moderate income households given the rents charged for market-rate apartments.
- ❖ **Accessory Dwelling (Guest Quarters & Casitas).** The Zoning Code permits guest quarters as a by-right use in all of the City’s residential zones. Unlike a second unit, kitchens are not allowed to be installed in accessory dwellings. Upon approval, a covenant is recorded on the property that occupants cannot be charged rent for accommodations. Since rent cannot be charged, these type of units would thus be affordable to very low income households in Riverside.

From January 2006 through December 2011, the City received applications for a total of 144 guest quarters and casitas. Of that total, 124 (86%) were built during that period.



## APPENDIX A: 2006-2014 HOUSING PRODUCTION

- ❖ **Caretaker's Quarters.** The Municipal Code allows the siting of caretaker quarters in three industrial zones, one commercial overlay zone pursuant to an approved minor conditional use permit, and one residential agricultural zone pursuant to a conditional use permit. Given the limited size allowed (650 square feet), these units are assumed affordable to low income households. These units are associated with agricultural uses, storage facilities, motels, etc.

From January 2006 through December 2011, a total of 3 applications were submitted for 3 caretaker quarters in Riverside and all were built during this planning period. However, difficulty in tracking these units precludes further counting of the full magnitude of production of these units.

### SINGLE-FAMILY HOUSING

The City of Riverside also approved several thousand single-family residential projects during the 2006–2014 planning period to date. Moreover, several thousand are entitled and not yet built to date. Since the City has had so much single family production since 2006, it would be a monumental task to prepare a write-up on every project. Instead write-ups were focused on a sampling of projects that cover the typical types of development in Riverside as well as those known to provide low and very low income units.

The following single-family housing projects credited during the Housing Element planning period based on the affordability thresholds established earlier in this report.

- ❖ **Habitat for Humanity.** The City of Riverside works with Habitat to provide homeownership opportunities to lower income households in Riverside. During the planning period, Habitat for Humanity constructed 4 homes in Riverside- three on 11<sup>th</sup> Street and Ottawa and one on Arapaho.
- ❖ **Mission Grove.** Standard Pacific bought this subdivided tract from an investor (formerly owned by Centex), which is located near Alta Cresta Avenue. This 116-unit residential development will feature single-family homes ranging in size from three to five bedroom homes (totaling 2,500 to 3,500 square feet) on larger 10,000-square foot residential lots. According to Redfin and developer website, the homes are for sale in the middle \$300,000s. Approximately half the homes are for prices affordable to moderate income



## APPENDIX A: 2006-2014 HOUSING PRODUCTION



households and half are affordable to above moderate income households in Riverside.

- ❖ **Infinity/Highlands.** Infinity built the 63-unit Highlands project, located in the La Sierra neighborhood, in 2006-2011. This project contains three, four, and five bedroom residences ranging from 3,000 to 4,000 square feet in size. Initially, the homes built in 2006 sold in the high \$500,000s. By 2011, however, new models sold for less than \$350,000. Based on the earlier affordability analysis and maximum price of \$335,000 for moderate income, 13 homes were affordable to moderate income households and 50 homes were affordable to above moderate income households.
- ❖ **Mary Erickson Homes.** Mary Erickson Homes (MECH) built seven affordable homes in partnership with the City's Redevelopment Agency. The single-family homes are 3 and 4 bedroom units on 12<sup>th</sup> Street. According to City records, the prices were \$209,500 for the homes at 1744 and 1764 12<sup>th</sup> Street and \$197,000 for the home at 1784 12<sup>th</sup> Street. Homes at 1754, 1774, and 1794 12<sup>th</sup> Street sold for \$237,000. MECH also is building one unit on 2325 11<sup>th</sup> Street for lower income households. Taken together, these will provide 7 low income units – all with 55 year covenants.
- ❖ **Pacific Coast.** Pacific Coast built 8 new single-family homes on 1.84 acres at 4420-4490 Gabriella Place in 2009. The project consisted of 4 or 5 bedroom homes of 2,750 square feet or larger on standard 7,200 square feet lots. The project eventually went bankrupt and was foreclosed on. When the site was resold, the new developer built and sold 7 homes for \$228,000 and 1 home for \$270,000. There are no HOA fees. Based on the affordability matrix, first time home prices, and a low income price ceiling of \$252,000 for a 5-person household, 7 homes are affordable to lower income and one home is affordable to moderate income households.
- ❖ **Georgia Place.** The City entered into an affordable housing development agreement with the Riverside Housing Development Corporation to build three single-family homes. These homes are located at 2355, 2371, and 2373 Georgia Street. To help finance the project, the City committed \$270,000 in HOME CHDO funds to the project. The homes are deed restricted and sold at prices affordable to lower income households. This project fulfills objectives of the City's Seizing the Destiny Initiative. Further information is



## APPENDIX A: 2006-2014 HOUSING PRODUCTION

found in the City's 2011 Consolidated Annual Performance Evaluation Report (CAPER).

- ❖ **Precision Builders.** Precision Builders built 16 single-family homes, located on Dharma Place and Metta Circle in the La Sierra neighborhood, between the years of 2007 and 2010. The La Sierra neighborhood consists of many 1950s vintage homes that are generally more affordable in price. This project includes 4 bedroom homes of about 2,000 square foot homes on standard residential lots of 7,200 square feet. According to Redfin, the first-time sale prices of these homes ranged from \$250,000 to \$280,000 each, which is slightly above the maximum affordable to lower income households.

TABLE A-5  
SINGLE-FAMILY HOMES SINCE 2006

Single-family Projects	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod.	
<b>Built Since 2006<sup>1</sup></b>					
Andaya (PM-34385)	0	0	0	1	1
Artigiano Construction (TM-32139)	0	0	0	15	15
Beazer Homes (TM-31362)	0	0	0	122	122
Bernardy Const. (TM-34077)	0	0	0	9	9
Bernardy Const. (TM-32268)	0	0	0	6	6
Bonanni at Alamo (TM-33253)	0	0	0	78	78
Bowlus-Pacific (TM-27824)	0	0	0	17	17
CA Construction (TM-31214)	0	0	0	8	8
Centex (TM-29222)	0	0	2	134	136
Centex - Oliphant (TM-31236)	0	0	0	240	240
Centex (TM-31360)	0	0	0	111	111
Centex (TM-31237)	0	0	0	140	140
Centex (TM-31238)	0	0	0	153	153
Empire Homes (TM-28907)	0	0	0	2	2
Empire Homes (TM-32205)	0	0	0	12	12
Fisher Associates (TM-31067)	0	0	0	6	6
Flores (PM-30874)	0	0	0	1	1
Gallery Estates (TM-31927)	0	0	0	36	36
Grand Vista (TM-31506)	0	0	0	6	6
Guaranteed Quality (PM-30663)	0	0	0	3	3
Guthrie (TM-30627)	0	0	0	3	3
Guthrie (TM-28170)	0	0	0	2	2

# APPENDIX A: 2006-2014 HOUSING PRODUCTION



TABLE A-5  
SINGLE-FAMILY HOMES SINCE 2006

Single-family Projects	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod.	
Hernandez/Pacific (TM-31866)	0	8	0	0	8
Highlands-Infinity (TM-31147)	0	0	13	50	63
Ike Gehad (PM-33259)	0	0	0	2	2
Intrepid Homes (TM-32165)	0	0	0	23	23
Mary Erickson (individual lots)	0	7	0	0	7
MBK Homes (TM-30741)	0	0	0	62	62
Mission Grove			58	58	116
Murguia (PM-34656)	0	0	0	4	4
Nicolaisen & Sons (TM-29296)	0	0	0	8	8
NL Tavaglione (TM-31584)	0	0	0	18	18
NL Tavaglione (TM-32713)					
Olimia Lusca (PM-33187)	0	0	0	2	2
Perkins (TM-18212)	0	0	3	8	11
Precision Builders (TM-31786)	0	0	8	0	8
Precision Builders (TM-33731)	0	0	8	0	8
Prestige Communities (TM-31849)	0	0	0	10	10
Prestige Homes (TM-31511)	0	0	0	1	1
Primrose Cottages (TM-33404)	0	1	2	5	8
Richmond American (TM-31361)	0	0	0	84	84
Royal Ridge Ct. (PM-15370)	0	0	0	5	5
Said Homes (PM-32393)	0	0	0	3	3
Santa Rosa Dev. (TM-27322)	0	0	0	8	8
Schock Inc. (TM-32665)	0	0	0	10	10
Sheffield Homes (TM-31945)	0	0	0	28	28
Stellan Ridge/Pulte (TM-29515)	0	0	0	104	104
Shroukani (PM-31285)	0	0	0	4	4
Steven Walker (TM-32140)	0	0	0	5	5
Tripointe (TM-33402)	0	0	0	28	28
Van Daele (TM-32820)	0	0	0	46	46
Georgia Street	0	3	0	0	3
Habitat for Humanity (PM-36208)	4	0	0	0	4
Standard Pacific (TM-29596)	0	0	58	58	116
<b>Total</b>	<b>4</b>	<b>19</b>	<b>152</b>	<b>1,739</b>	<b>1,914</b>

Source: City Planning Division, 2011.



# APPENDIX A: 2006-2014 HOUSING PRODUCTION

TABLE A-5  
SINGLE-FAMILY HOMES SINCE 2006

Single-family Projects	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod.	
Notes: 1. Built and finalized residential projects reported in the 2006-2014 Housing Element. The affordability of the housing is based on actual sales prices from Redfin, Zillow, or Riverside Blockshopper. All prices are first sales price to the original buyers.					



# APPENDIX A: 2006-2014 HOUSING PRODUCTION



## STUDENT HOUSING

The City of Riverside is known for its four major universities. The UC Riverside, Cal Baptist University, La Sierra University, and Riverside Community College are the largest educational institutions. These institutions also employ thousands of employees as well. As such, providing housing for this growing segment is a key goal of the City.

The presence of a university has a direct impact on a city's housing need. Although universities often seek to produce some level of housing to accommodate their students, few universities offer enough on-campus housing to serve their entire student body. As a result, students seek housing throughout the community, competing with families, seniors, and other non-student residents. Although the demand for off-campus housing may fluctuate based on a variety of factors, in most university communities it will likely always be high.

In 2006, the State Legislature recognized that the current regional housing needs process did not account for the impact of universities in a community and therefore unanimously approved AB 2572. This bill requires council of governments (COG) to include the housing needs generated by a university to the list of factors that must be considered in developing a regional housing need allocation. In compliance with this law, SCAG incorporated student housing needs as part of its RHNA process as required by AB 2572.

Given the sheer size of the student population in Riverside, students have a significant impact on the availability and affordability of rental housing in the community. To the extent that a community can facilitate the production of student housing (as is the case with several projects), additional housing will be available for other residents and workforce living in Riverside.

The student housing projects are considered housing units as they are configured as apartments with kitchen facilities (as opposed to dormitories with common dining facilities).

### **Privately Owned Student Apartments**

Many of the student housing units produced since 2006 are privately built units. Privately built student housing serves to alleviate the impact of the student population occupying affordable housing that would otherwise be occupied by other segments of the population including low income families. In spite of college campus efforts to develop on-campus housing to meet the housing needs of its student







## APPENDIX A: 2006-2014 HOUSING PRODUCTION

population, on campus housing falls short of meeting the need. Off-campus private student housing serves to bridge this gap.

The following projects privately-owned apartments were constructed during the 2006-2014 planning period.

- ❖ **Sterling University Palms.** Sterling University Palms is a privately owned student apartment project, located near UCR, that was completed in 2007. This 160-unit complex features 42 two bedroom, 4 three bedroom and 114 four bedroom living quarters. A subsequent conditional use permit allows for up to 15% of the bedrooms to double up with two beds for a total of 635 beds. Each living quarter consists of single-occupancy bed except for 15 percent of the living quarters, which are double occupancy bed and bath units accessed through a common entrance. Rooms are located along a double loaded corridor with secure access. Rooms are leased out separately to each individual. Occupants have individual locked bedrooms and bathrooms and share a common kitchen, dining room, living room, and balcony. Initial rents are \$725 to \$825 per person. Assuming 4 persons in a unit, the initial rents were \$2,900 to \$3,300 per unit and are assumed to be affordable for above-moderate income households.
- ❖ **University Village.** University Village is a privately-owned student apartment project located near UCR. Construction was completed in 2006. This 166-unit complex features 21 singles, 29 duals, 18 trios, and 98 quad living quarters. Rooms are secure access on a double loaded corridor. Rooms are leased out separately to individuals. Occupants have individual locked bedrooms and bathrooms, but share a common kitchen, dining room, living room, and balcony. The initial rents were \$1,200 for a one-bedroom unit, \$800/person for a two-bedroom unit, \$800/person for a three-bedroom unit, and \$700-750/person for a four-bedroom unit. This is equivalent to rents of \$1,200 to \$3,000 per unit. The units are considered assumed to be for above-moderate income households.
- ❖ **Sterling Iowa Apartments.** Sterling Iowa is a 598-bed privately-owned and financed student housing complex near UCR. The site encompasses 8.14 acres, is zoned R-1-7000, and has a general plan designation of HDR. This 216-unit project contains 45 singles, 63 duals, 5 trios, and 103 quad living quarters. These quarters are designed for single occupancy-each bedroom has its own bathroom, but share a

# APPENDIX A: 2006-2014 HOUSING PRODUCTION



common kitchen, dining room, and living room. The were \$1,200 for a one-bedroom unit, \$800/person for a two-bedroom unit, \$800/person for a three-bedroom unit, and \$700-\$750/person for a four-bedroom unit. This is equivalent to rents of \$1,200 to 3,000 per unit. The units are assumed to be affordable to above-moderate income households.

## University of California, Riverside

The University of California at Riverside is pursuing an aggressive campaign to increase its inventory of housing. During the 2006-2014 Planning Period, the following student apartment complex was constructed on-campus:

- ❖ **Glen Mor 1.** UCR built the 142-unit Glen Mor 1 student apartment project in 2007. Each unit has single-occupancy rooms, one to two bathrooms, a living room and kitchen/dining room. The complex includes 114 4-bedroom units, 20 2-bedroom units, 4 1-bedroom units, and 4 2-bedroom units for staff. Current rents are \$1,170 to \$1,599 per person. This is equivalent to rents of \$1,170 to \$6,396 per unit. The units are assumed to be affordable to above-moderate income households.



*GlenMor1, UCR*

Table A-6 is a summary of each student apartment development constructed during the 2006-2014 planning period. The affordability of each unit is based on actual rents, HCD household income limits, and discussions with university staff.

TABLE A-6  
STUDENT HOUSING PRODUCTION

Projects	Affordability Levels for Students				Total
	Very Low	Low	Mod	Above Mod	
<b>Built Projects</b>					
Sterling University Palms	0	0	0	160	160
University Village Towers	0	0	0	166	166
Sterling Iowa	0	0	0	216	216
UCR: GlenMor1	0	0	0	142	142
<b>Total</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>684</b>	<b>684</b>

Source: City records, 2014; UCR



## APPENDIX A: 2006-2014 HOUSING PRODUCTION

### SUMMARY OF HOUSING PRODUCTION

The City has aggressively pursued all options to facilitate and encourage the production of a range of housing opportunities at all affordability levels for its residents. Through grants, RDA financing, and other means, or through the development approval process, over 6,000 housing units were constructed in the 2006-2014 planning period.

Table A-7 summarizes all the housing production totals that are credited by income and affordability level to the 2006–2014 RHNA.

TABLE A-7  
RHNA PRODUCTION CREDIT SUMMARY

Housing Category	Affordability Levels				Total
	Very Low	Low	Mod	Above Mod	
Senior Housing	171	507	276	1	955
Apartments	107	61	422	11	601
Condominiums	0	18	298	25	341
Planned Residential Development	0	24	338	1,101	1,463
2 <sup>nd</sup> Units/Guest Quarters	124	0	39	0	163
Single Family	4	19	152	1,739	1,914
Student Housing	0	0	0	684	684
<b>Total Housing Credits</b>	<b>406</b>	<b>629</b>	<b>1,525</b>	<b>3,561</b>	<b>6,121</b>
Source: City of Riverside, 2013.					

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



### APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

This appendix summarizes the entitled or planned projects that are currently in the pipeline, but have not been constructed yet.

**Riverwalk Vista Specific Plan - Planning C Nos. P10-0577 (Specific Plan Amendment), P10-0671 (TM-35932), P10-0672 (TM-36323), P10-0798 (Design Review).** Riverwalk Vista Specific Plan – 402 Units. Entitled in January of 2011 (Original SP entitled in March of 2005).

~~As of April 2017~~—Approximately ~~90~~<sup>4</sup> percent of the Specific Plan has been completed. The 402-unit Specific Plan comprises five separate villages (five separate tracts). Of these, Villages 4 and 5 have approximately 24 units that remain to be completed, as follows:

~~Village 4/TM-35932~~—~~Approximately 30 homes remain to be built within this 21.88-acre, 111-lot tract.~~

~~Village 5/TM-36323~~—~~This 11.72-acre, 52-lot tract is nearing completion with approximately 10 homes almost complete and ready for final.~~

This Specific Plan blends single-family detached homes into a setting of villages with varying lot sizes and open space amenities. These units are assumed to be affordable to above moderate income households.

~~A Community of Friends—Oasis Senior Villas, LLC Apartments - Planning Case Nos. P09-0808, P09-0809, P09-0810.~~ Senior Housing - ~~108~~<sup>24</sup> Units. Entitled in June of 2011. ~~In June 2016, a one-year time extension was granted for these entitlements with an expiration date of June 14, 2017. Three one-year time extensions have been granted for these entitlements, with the last extension expiring on June 14, 2018.~~

~~A four-story, 108-unit senior housing facility~~ A Community of Friends - called Oasis Senior Villas. The project site is located at 2340 Fourteenth Street, situated on the northeasterly side of Fourteenth Street, southeasterly of Sedgwick Avenue and southerly of Georgia Street in the R-1-7000 - Single Family Residential Zone. Based on the pending application to make this an affordable project, it is anticipated that the project will be affordable to low income households. Half of the units will be set aside for those homeless and living with mental illness.



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

- ~~—108 units~~
- ~~—92 1-bedroom units~~
- ~~—16 2-bedroom units~~

~~Planning Case No. P11-0469. Single Family Parcel Map 3 units. Entitled in February of 2012.~~

~~Subdivide 0.65 undeveloped acres of into three single family residential lots located on parcel number 191-281-017, situated at the terminus of Castleman Street, south of Hawthorne Avenue in the R-1-7000 Single Family Residential Zone.~~

**Cedar Glen - Planning Case Nos. P12-0021, P12-0022, P12-0072, P12-0073, P12-0074.** Affordable Apartments - 102 Units. Entitled in June of 2012. As of April 2017, the first phase of the project consisting of 51 units is complete; the second phase is yet to be completed..

A 102-unit affordable apartment complex on an approximately 9.7 acre site located at the southwest corner of Harrison Street and County Farm Road, in Ward 6. The 102-unit apartment complex will include eight two-story buildings, a community center, various recreational amenities and 197 parking spaces. The entire (two-phased) project is restricted by an affordability covenant through Riverside County. All units, except for two manager units, will be affordable to low income households. Affordability levels are as follows:

- 51 units (50 are affordable to low income)
- 30% AMI: 5 units
- 40% AMI: 5 units
- 45% AMI: 5 units
- 50% AMI: 22 units
- 60% AMI: 13 units
  - o 1 manager's unit

~~A specific breakdown of affordability levels for the second phase is unknown at this time.~~ The developer is currently seeking gap financing for the second phase.

**Grandvillas Senior Apartments - Planning Case Nos. P12-0266, P12-0267.** Senior Apartments - 37 Units. Entitled in October of 2012 and project completed in 2016.

The two-story 37-unit facility includes 19 two-bedroom, 18 one-bedroom rental units and associated parking and amenities, on two contiguous vacant parcels totaling approximately 1.4 acres, located at 5938 and 5944 Grand Avenue, situated on the southerly side of Grand

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



Avenue between Jurupa and Carlingford Avenues, in the R-1-7000 – Single Family Residential Zone. These apartments are affordable to moderate and above moderate income households.

**Mission Square by Frontier Communities - Planning Case Nos. P13-0723 (PD), P13-0724 (TM), P13-0725.** Single-Family PRD Tract Map – 62 lots. Entitled in February 2014. ~~As of April 2017,~~ The project is complete, with home prices starting at \$430,000 for a 1,961-square-foot, 3-bedroom plan, which is are affordable to above moderate income households.

Subdivision of approximately 7.76 acres into 62 single-family residential lots, located at 4325 through 4385 Adams Street on the easterly side of Adams Street between Camelia Drive and Acapulco Place, in the R-1-7000 – Single Family Residential Zone.

**Christiansen and Company - Planning Case Nos. P11-0675, P11-0676.** Single-Family PRD Tract - 10 Units. Entitled in June of 2013.

Subdivision of approximately 13.9 acres of vacant land into 10 single family residential lots and establish a planned residential development with common open space and shared amenities, situated on the southerly side of Arlington Avenue, between Royale Place and Sunset Ranch Drive, in the R-1-1/2 Acre – Single Family Residential and the RC – Residential Conservation Zones. As a single family PRD, these units are considered to be affordable to above moderate income households.

**Homefront at Camp Anza, Wakeland Housing & Development Corporation - Planning Case Nos. P13-0198 (GPA), P13-0199 (Rezone), P13-0200 (Certificate of Appropriateness), P13-0201 (Site Plan Review).** Veteran's Affordable Housing – 30 Units. Entitled in November 2013 and completed in May 2016.

A 30-unit affordable housing complex, which includes the rehabilitation of the former World War II-era Camp Anza Officer's Club, for adaptive reuse as a community center. The complex is intended for military veterans and their families and involved a General Plan Amendment from the MDR- Medium Density Residential to the High Density Residential land use designation and a Rezone from the R-1-7000 Single-Family Residential Zone to the R-3-2500 Multiple-Family Residential Zone on 2.14 acres, located at 5797 Picker Street. One unit will be reserved for the residence of the property manager. Eight units will be made available to qualified low-income service-disabled veteran households and 21 units will be made available to very low-income service-disabled veteran households. (APNs 151-123-008, 151-123-007, 151-123-006, 151-123-005 & 151-123-013).



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

The project was completed in May 2016, and includes City of Riverside affordability covenants subsidized with HOME and former redevelopment funds. Affordability levels are as follows:

- 30 units (29 are affordable to low income)
- 50% AMI: 21 units
- 80% AMI: 8 units
- 1 manager's unit

**Steven Walker Communities - Planning Case Nos. P13-0324 (Site Plan), P13-0325 (Rezone), P13-0326 (SPA), P13-0327 (DR).** Transit Oriented Development/Apartments -187 Units. The project is operational with minimal remaining construction and nearing completion. ~~As of April 2017, project is under construction and nearing completion.~~ This 187-unit TOD apartment complex is located on approximately 4 acres at the southeasterly corner of La Sierra Avenue and Indiana Avenue and adjacent to the La Sierra Metrolink Station. The project involved a Specific Plan Amendment to allow transit-oriented residential development adjacent to the La Sierra Metrolink Station where only commercial use was allowed, and rezoning from R-1-7000 to the MU-U Mixed Use Urban Zone. As a market-rate project, the rents are anticipated to be affordable to moderate- and above moderate-income households due to the level of project amenities included and prevailing market rents for projects of this type.

**Emri-Newkirk Properties LLC - Planning Case No. P13-0553 (GPA), P13-0554 (SPA).** Apartments - 275 Units. Entitled December 15, 2014. ~~As of April 2017,~~ building permits have been issued and the project is under construction. The project included a General Plan Amendment to change GP land use from Commercial to Very High Density Residential, SPA & rezone to R-4 for 10.2 net acres located at 5900 & 6030 Sycamore Canyon Drive. As a market-rate project, the rents are anticipated to be affordable to moderate- and above moderate-income households due to the level of project amenities included and prevailing market rents for projects of this type.

**Van Owen Holdings - Planning Case No. P13-0087 (Conditional Use Permit), P13-0262 (Design Review).** Senior Housing - 77 units. The project was entitled in May 2015 and building permits issued in December 2016. ~~As of April 2017,~~ and the project is under construction.

This 77-unit senior housing project involves re-use of previously abandoned and vacant senior assisted living facility and will be located within an existing approximately 51,300 square-foot three-story, building located on 1.7-acres at 2450 Market Street in the DSP-MSG



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



- Downtown Specific Plan - Market Street Gateway District. The units are anticipated to be affordable to moderate and above moderate income households.

**Turtle Creek Apartments (previously Cinnamon Creek) – Planning Case Nos. P13-0318, P13-0319** (Original Case Nos. P04-1476 (Rezone) P04-1477 (PRD) P04-1478 (Design Review). Apartments – 98 Units. ~~As of April 2017,~~ building permits have been issued, and the project is under construction.

A 98-unit apartment project located in the Arlanza neighborhood (4826 Van Buren Blvd). The project is slated to contain a mix of one- and two-bedroom units. Planned and entitled to be built on a site in the R-3-1500 Multiple-Family Residential Zone, the project was approved at a density of 22 units per acre. As a market rate project, the rents are anticipated to be affordable to moderate income households due to the level of project amenities included and prevailing market rents for projects of this type.

**807 West Apartments – Planning Case Nos. P09-0717, P09-0718.** Apartments – 55 Units. Entitled April 2010. The project was completed/building permits finalized in August 2015.

This 55-unit project is located at 807 Blaine Street in the University neighborhood. Its approved density of 28 units per acre is higher than recently built apartments in the neighborhood. The project includes 44 two bedroom/2 bath units and 11 one bedroom/1 bath units. The units are affordable to moderate and above moderate income households with ~~As of April 2017,~~ rents ranging from \$1,316 per month for a one-bedroom unit up to \$1,625 per month for the largest two-bedroom unit.

**Villa De Rosa – TM-32391.** ~~PRD – 22 Units. As of April 2017, foundations are completed for 13 units, which remain to be constructed and completed.~~

The Villa De Rosa project is a 22-unit PRD, located at 10146 Gould Street, which is fully constructed, that is partially constructed. Eight units were completed and occupied in the prior planning period and 14 units remained to be constructed in the current planning period. The site is zoned R-3-1500 and allows for 29 units per acre. The project encompasses 2.15 acres and was approved at a density of 10 units per acre. Each unit includes 3 bedrooms (can accommodate 5 people), 1,630 square feet unit, and attached garage. HOA fees are only \$88 per month. According to Redfin.com, 8 homes sold for under \$230,000, which is affordable to lower income households. The additional HOA fee translates into \$10,000 in sales price. ~~Recent Of~~





## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

~~the 14 remaining lots, the asking sales prices were approximately~~ \$269,000, which are affordable to moderate income households.

**Ridge Crest Cardinal - Riverside, LLP – Planning Case No. P14-0472, P14-0473, P15-0322, P15-0321.** Single-Family Planned Residential Development – 85 units. Entitled June 2015.

This project (TTM 39534) consists of an 85-unit planned residential development on approximately 13.5 acres in the R-1-8500 Single-Family Residential Zone. The development consists of small-lot, single-family detached residential units at a density of approximately 6.25 du/acre. House plans range in size from 2,640 to 2,960 square feet. ~~As of April 2017,~~ The project is under construction. As a single-family PRD these units are considered to be affordable to above moderate-income households.

**Avalon Luxury Apartments/Heritage Square/Riverwalk Phase III – Planning Case No. P06-0555/PM-34744.** Apartments – 264 units. Project completed between January 2014 and April 2017.

This 264-unit apartment project contains 84 one-bedroom, 168 two-bedroom, and 12 three-bedroom units. Three acres in the project ~~are will be~~ common open space connected by walkways. Built in the R-3 Multi-family Residential Zone, the project has a density of 19 units per acre. As a market rate project, the rents are considered to be affordable to moderate income households due to the level of amenities included and market rents.

**Glen Mor 2 (UCR).** Student Apartments - 232 units. Completed fall of 2014. Glen Mor 2 is a student apartment complex on the UCR campus. The complex includes 36 2-bedroom units, 10 1-bedroom units, and 4 2-bedroom units for staff. Each unit has its own living room/dining room and kitchen. As of April 2017, rents are \$1,230 to \$1,700 per person depending on dining/meal plan. This is equivalent to \$1,230 to \$3,400 per unit. These units are considered affordable to above moderate-income households.

**Zion Enterprises, LLC.** Three low income housing units located at the southwest corner of Market Street and Houghton Avenue in the Downtown Specific Plan Area. On December 16, 2014, the City Council approved a Disposition and Development Agreement, Successor Disposition and Development Agreement (DDA) with Zion Enterprises, LLC, for sale of Housing Authority-owned vacant land located at 3836 Second Street, APN 213- 071- 003, to facilitate development of a commercial project and construction of ~~two~~ three affordable housing units within the multiple-family residential project located at the Successor Agency Property at 3011, 3027, 3043, and

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



3071 Market Street. ~~As of April 2017, the DDA has been amended and this project now consists of two three~~ historic homes being relocated to the successor agency property and provided as low-income units.

**Fair Housing Council of Riverside County/Civil Rights Institute Mixed Use Development – Planning Case No. P17-0030.** Mixed Use – 72 multi-family units. ~~Submitted for entitlements January 2017 and as of April 2017 under review pending entitlements. Entitled October 2017.~~ –The City’s Housing Authority has received from the Fair Housing Council of Riverside/Civil Rights Institute, a financing proposal to utilize Low Income Housing Tax Credits and other subordinate gap financing such as HOME, CDBG, etc. for the project. The project is a mixed use development consisting of one 5-story and one 3-story building for ~~721~~ affordable rental units and one manager unit on approximately 0.71 acres located at the northwest corner of Fairmont Blvd. and Mission Inn Ave. in the Downtown Specific Plan. Eleven units will be reserved for homeless veterans. Below is a breakdown of the affordability levels.

- 11 extremely low-income units for homeless veterans (0 – 30% AMI):
- 60 low-income units
- 1 manager’s unit

On October 17, 2017, the City Council approved an agreement with the Fair Housing Council of Riverside and Mission Heritage LP to provide for a \$3 million dollar residual receipts loan from Housing Authority affordable housing restricted funds to finance the acquisition of land and construction of the development.

~~Horizon Enterprises – Planning Case No. P13-0339. Single Family Tract – 5 units. Entitled January 2014. This single family residential subdivision of approximately 1.15 acres is located at the northeasterly corner of Martha Way and Everest Avenue. As single family, these units are considered affordable to above moderate income households.~~

**Bowlus-Pacific Venture Corp. – Planning Case Nos. P14-0076, P14-0077, P14-0078, P14-007, P14-0148.** Multi-Family Residential – 88 units. Entitled May 2015. This multi-family residential development on approximately 3.5 acres is located at 739 and 788 Monte Vista Drive. The project includes 39 one-bedroom units, 39 two-bedroom units, and 10 three-bedroom units. As multi-family, these units are considered affordable to moderate- and above moderate-income households.



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**Rengel and Co. Architects – Planning Case Nos. P13-0885 (CUP), P13-0886 (Design Review).** Conversion of 212 existing independent senior housing units to 226 senior units (116 assisted and 110 independent units). Net increase of 14 senior units. Entitled April 2014 and now complete. This existing senior housing complex is located at 7858 & 7898 California Avenue, southeast corner of California Avenue and Jefferson Street. These units are affordable to moderate and above moderate income households.

**Steven Walker Communities – Planning Case Nos. P12-0799 (TTM), P12-0800 (Design Review).** Single-Family Tract – 7 units. Entitled April 2014. This single-family residential subdivision of 1.26 acres is located on the westerly side of Palm Avenue between Beechwood and Highland Places. As single-family, these units are considered affordable to above moderate-income households.

**Christopher R. Bowen of GF Services – Planning Case No. P13-0665 (TTM) Tentative Tract Map 3664.** Single-Family – 8 units. Entitled April 2014. This subdivision of 5.16 acres into eight single-family residential lots is located at 18875 Moss Road, situated on the southwesterly corner of Moss and Wood Roads, in the R-1-1/2 Acre (Single Family Residential) Zone. As single-family, these units are considered affordable to above moderate-income households.

**EGL Associates, Inc. Planning Case Nos. P12-0698, P12-0697, P12-0601.** Single-Family – 10 units. Entitled September 2016. A General Plan Amendment from VLDR - Very Low Density Residential to HR - Hillside Residential; 2) a rezone from the R-1-1/2 Acre – to the RC Residential Conservation Zone and subdivision of 9 acres into 10 lots, located at 14601 Dauchy Avenue. As single-family, these units are considered affordable to above moderate-income households.

**Parcel Map 36458 – Planning Case Nos. P12-0393, P12-0394, P14-0640.** Single-Family – 2 to 3 parcels, 1 net unit. Entitled March 2015. A parcel map to subdivide an approximately 14.63 acre, two-parcel site into three parcels. Project located at 6240 and 6260 Hawarden Drive. As single-family, this is considered affordable to above-moderate income households.

**Tentative Tract Map No. 36713 - Planning Case No. P14-0176.** Single-Family – 14 units. Entitled January 2015. A subdivision of an 8.8-acre parcel into 14 single-family residential lots located at the southwesterly corner of La Sierra and Victoria Avenues. As single-family, these units are considered affordable to above moderate-income households.

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



**Tentative Parcel Map Number 36604 – Planning Case Nos. P13-0905 and P13-0906.** A Planned Residential Development (PRD) Permit and parcel map to subdivide 12.41 acres into seven single-family lots, plus a 5.20-acre open space lot, four lettered lots, and a public cul-de-sac street; resulting in a density of 0.56 dwellings per acre; generally situated on the northerly side of Arlington Avenue, between Royale Place. As single-family, these units are considered affordable to above moderate-income households.

**Imperial Lofts, Ratkovich Properties - Planning Case Nos. P15-0247, P15-0248, P15-0250, P15-0251, P15-0252, P15-0363.** Mixed Use – 91 multi-family units. Entitled June 2015. A mixed-use project, consisting of 91 residential units, approximately 8,841 square feet of commercial space and a 115-stall parking garage, on three parcels totaling 0.62 acres, partially developed with an existing commercial building (Imperial Hardware) and a surface parking lot, located at 3744, 3768 and 3776 Main Street, situated on the northeasterly corner of the intersection of University Avenue and Main Street in DSP-RC – Downtown Specific Plan – Raincross District. These multi-family units are considered affordable to moderate and above moderate-income families. Expected completion May 2018.

**Lincoln Walk - Steve Sommers – SDH & Associates, Homes by Ayers, Tentative Tract Map 36806 - Planning Case Nos. P14-0805, P15-0004.** Single-Family – 18 units. Entitled August 2015 and currently under construction. A subdivision of a 3.72 acre, three-parcel vacant site, into 18 single-family residential lots. The project is located at the northeasterly corner of the intersection of Gibson Street and Lincoln Avenue. As single-family, these units are considered affordable to above moderate-income households.

**Steven Walker Communities, Tentative Tract Map No. 36703 - Planning Case Nos. P14-0244, P15-0086, P15-0092.** Single-Family – 6 units. Entitled August 2015. A subdivision of approximately 2.21 acres into 6 single-family residential lots, located on the northeasterly corner of the intersection of Central and Fairview Avenues. As single-family, these units are considered affordable to above-moderate income households.

**Quail Run Apartments – SDH & Associates, Planning Case Nos. P14-0683 (GPA), P14-0684 (RZ), P14-0685 (PPE), P15-1080 (VR), P15-1081 (VR), P15-1082 (GE).** Multi-Family – 220 units. Entitled July 2016 and under construction. A 220-unit multi-family residential project located on the northwesterly corner of the intersection of Quail Run Road and Central Avenue. These multi-family units are considered affordable to moderate and above moderate-income families.



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

~~Oakmont Senior Living, Planning Case Nos. P15-0610, P15-0611. Senior-assisted living and memory care—85 units. Entitled May 2016. A Conditional Use Permit and Design Review for an 85-unit single building assisted living and memory care facility, located at 5695 Glenhaven Avenue.~~

**Mission Lofts, LLC Mixed Use Development – Planning Case Nos. P14-0045, P14-0048, P15-0953, P15-0954.** Mixed-Use – 212 multi-family units. Entitled June 2016 and under construction. A mixed-use development consisting of 212 residential units, 1,221 square feet of commercial space, and 315 surface parking spaces on 4.69 vacant acres, located at 3008-3052 Mission Inn Avenue, 3770 Commerce Street, 2981 University Avenue, and 3025-3035 Ninth Street. These multi-family units are considered affordable to moderate and above moderate-income families.

**WB Allen Development, LLC., Senior Housing – Planning Case Nos. P16-0184 (CUP), P16-0185 (DR).** Senior Apartments – 12 units. Entitled October 2016. A Conditional Use Permit and Design Review for 12 two-bedroom independent senior units within a 9,712-square-foot two-story senior housing complex on 0.62 acres, located at 3628 Madison Street. These multi-family senior units are considered affordable to moderate and above moderate-income families.

**RC Hobbs Company, Inc. - Planning Case Nos. P15-0862 (GPA), P15-0863 (RZ), P15-0864 (TTM), P15-0865 (PPE), P15-0866 (DR), P16-0647 (VR).** Multi-Family - 36 units. Entitled December 2016 and under construction. A 36-unit multi-family residential development including a Tentative Tract Map (TTM-36994) for one lot condominium parcel on a 2.96-acre site, with an existing single-family residence, located at 4105 Jefferson Avenue. These multi-family senior units are considered affordable to moderate and above moderate-income families.

**Ramcam Group, Tentative Tract Map 37013 - Planning Case No. P16-0314.** Single-Family – 5 units. Entitled March 2017. A subdivision of a 12.5-acre parcel into five parcels for five single-family residences located north of Cook Avenue, south of Eddystone Street, and west of Bolton Avenue. As single-family, these units are considered affordable to above moderate-income households.

**Main & 9<sup>th</sup> Culver Lofts, Ratkovich Properties - Planning Case Nos. P16-0727 (CUP), P16-0728 (VR), P16-0729 (VR).** Mixed-Use – 36 multi-family units. Entitled and subsequently appealed February-March 2017 and under construction. A five-story, 42,244-square-foot mixed-use project with 36 dwelling units, a 6,794-square-foot multi-tenant

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



commercial area, and 45 parking stalls on a 0.36-acre parcel located at 3870 Main Street on the northeast corner of Main and 9th Streets, in the DSP-RC-CR - Downtown Specific Plan - Raincross District - Cultural Resources (Mission Inn Historic District) Overlay Zones. These multi-family senior for lease units are considered affordable to moderate and above moderate-income families.

**William B. Allen Senior Housing Project - Planning Case Nos. P16-0425 (CUP), P16-0426 (DR).** Senior Apartments - 39 units. Entitled March 2017. A Conditional Use Permit and Design Review for the construction of a 30,190-square-foot, two-story senior housing complex on 1.52 acres located at 8389 Mount Hood Road. The project includes 13 one-bedroom, and 26 two-bedroom units. These multi-family senior units are considered affordable to moderate and above moderate-income families.

**Regional Properties, Inc. Planning Case Nos. P16-0321 (CUP), P16-0324 (VR), P17-0196 (VR).** Mixed-Use - 165 multi-family units. ~~As of April 2017, entitlements are pending with a Planning Commission public hearing scheduled for April 2017 and under construction.~~ Entitled April, 2017 and under construction. The project is a 234,758-square-foot, mixed-use development containing 165 dwelling units, 22,000-square-foot multi-tenant commercial area, and 339 parking stalls on three parcels, totaling 1.20 acres located at 3777 Mission Inn Avenue, on the northeast corner of Market Street and Mission Inn Avenue, in the DSP-RC-CR - Downtown Specific Plan - Raincross District - Cultural Resources (Mission Inn and Seventh Street Historic Districts) Overlay Zones. These multi-family senior units are considered affordable to moderate and above moderate-income families.

**TDA Investment Group - Planning Case Nos. P16-0497 (GPA), P14-0294 (SP), P14-0297 (RZ), AND P14-0295 (EIR).** A phased Healthcare Campus development on 50.85 vacant acres, consisting of the following uses: 1) a 280-bed, 5-story with penthouse hospital; 2) five, 2 to 4-story medical office buildings, ranging in size from 40,000 to 100,000 square feet; 3) a 234-unit, 3-story senior housing facility; 4) a 290-bed, 3-story independent living/memory care, assisted living, and skilled nursing facility; and 5) two 4-level parking structures. Entitled September 2017. The project is generally located north of Eucalyptus Avenue, west of Day Street, east of Valley Springs Parkway, and south of Corporate Centre Place. These units are anticipated to be affordable to moderate and above moderate income households.

**Steven Walker Communities, Inc. - Planning Case Nos. P16-0112 (GPA), P16-0113 (RZ), P16-0114 (TM), P16-0111 (PRD and DR) and P16-0883 (RZ).** A Planned Residential Development on 6.85 acres for a 54- single family detached residences. Entitled November 2017. The



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

property is located at 9170 Indiana Avenue, situated on the south side of Indiana Avenue between Gibson Street and Jackson Street. As a single family PRD, these units are expected to be affordable to moderate and above moderate income households.

Coastal Commercial Properties – Planning Cases Nos. P16-0885 (TM), P16-0886 (PRD), P16-0506 (DR), and P17-0874 (VR). A Planned Residential Development Permit for 63 single family detached residences. Entitled December 2017. The property is located west of Myers Street, north of Primrose Drive and bisected by Muir Avenue. These units are anticipated to be affordable to moderate and above moderate income.

NL Tavaglione Development – Planning Case No. P17-0065 (RZ). A rezone of a vacant .49 acre parcel from PF - Public Facilities Zone to R-1-7000 – Single Family Residence Zone. Entitled July 2017. Located on the south side of Field Lane, west of Bubbling Well Road. As single-family, this unit is considered affordable to above moderate-income households.

Steve Berzansky of Lot 13, LLP – Planning Case Nos. P17-0216 (AMD to TM) and P17-0539 (AMD to PRD). An amendment to the conditions of approval for a previous Tract map 31859 and associated Planned Residential Development Permit to allow the future development of a single family residence on a lot that was previously approved and developed as a common recreational lot. Entitled September 2017. The lot is located south of Overlook Parkway and west of Bodewin Court. As single-family, this unit is considered affordable to above moderate-income households.

Riverside Meadows, LTD – Planning Case Nos. P17-0513 (RZ) and P17-0512 (RCUP). A rezone and revision to an existing conditional use permit to add six additional mobile home lease spaces within an existing mobile home park. Entitled January 2018. Located at 4000 Pierce Street, on the west side of Pierce Street north of State Route 91 and west of Riverwalk Parkway. The lease spaces in combination with cost of a mobile home purchase are anticipated to be affordable to moderate and above moderate income.

Bowlus Pacific Venture Corporation – Planning Case Nos. P14-0225 (CU), P14-0226 (SV), P14-0227 (DR), P16-0063 (VR), P17-0530 (VR), P17-0531 (VR), and P17-0532 (VR). A 117 unit three-story senior apartment complex on 3.75 vacant acres. The application is under review and not yet entitled. The property is located between McMahon Street and Division Avenue and includes the Dominion Avenue right-of-way, in the R-1-8,500 - Single-family Residential Zone.

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



in Ward 3. These units are anticipated to be affordable to moderate and above moderate income.

### SUMMARY OF PROJECTS ENTITLED OR PENDING ENTITLEMENT

Table B-1 summarizes the projects in the pipeline by anticipated affordability levels.







## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

TABLE B-1  
PROJECTS ENTITLED OR PENDING ENTITLEMENT

Planning Case No.	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
Riverwalk Vista SP, P10-577, P10-0671/TM-35932, P10-0672/TM-36323), P10-0798	0		402		402
<del>U.C. Apartments A-Community of Friends/Oasis Senior-Villas</del> P09-0808, P09-0809, P09-0810	108		0		108
<del>P11-0469</del>	<del>0</del>		<del>3</del>		<del>3</del>
Cedar Glenn P12-0021, P12-0022, P12-0072, P12-0073, P12-0074	100		2		102
Grandvillas Senior Apartments P12-0266, P12-0267	0		37		37
Mission Square, Frontier Communities P13-0723, P13-0724, P13-0725	0		62		62
Christiansen and Company P11-0675, P11-0676	0		10		10
<del>Homefront at Camp Anza</del> , Wakeland Housing & Development Corp. P13-0198, P13-0199, P13-0200, P13-0201	29		1		30
Steven Walker Communities P13-0324, P13-0325, P13-0326, P13-0327	0		187		187
Emri-Newkirck Properties P13-0553, P13-0544	0		275		275
Van Owen Holdings P13-0087, P13-0262	0		77		77
Turtle (previously Cinnamon) Creek P13-0318, P13-0319,	0		98		98
807 West Apartments P09-0781, P09-0718	0		55		55
Villa De Rosa TM-32391	0		14		14
Ridge Crest Cardinal - Riverside, LLP P14-0472, P14-0473, P15-0322 and P15-0321	0		85		85
Avalon Luxury Apartments, P06-0555/PM-34744	0		264		264
Glen Mor 2 (UCR)	0		232		232
Zion Enterprises, LLC	3		0		3
Fair Housing Council of Riverside County/Civil Rights Institute Mixed Use Development	71		1		72
<i>Subtotal (Projects approved before 2014)</i>	<del>311</del> <i>323</i>		<del>1,802</del> <i>1,806</i>		<del>2,113</del> <i>2,129</i>
<del>Horizon Enterprises P13-0389/TM36579</del>	<del>0</del>		<del>5</del>		<del>5</del>
Bowlus-Pacific Venture Corp. P14-0076, P14-0077, P14-0078, P14-0079, P14-0148	0		88		88
Rengel and Co. Architects P13-0885, P13-0886	0		14		14
Steven Walker Communities P12-0799, P12-0800	0		7		7

## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



Planning Case No.	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
GF Services P13-0665	0		8		8
EGL Associates P12-0698, P12-0697, P12-0601	0		10		10
P12-0393, P12-0394, P14-0640	0		<u>31</u>		<u>31</u>
P14-0176, TM 36713	0		14		14
<u>P13-0905 and P13-0906</u> , TM 36604	0		7		7
Imperial Lofts, Ratkovich Properties P15-0247, P15-0248, P15-0250, P15-0251, P15-0252, P15-0363	0		91		91
Lincoln Walk - Steve Sommers - SDH & Associates, Homes by Ayers P14-0805, P15-0004, TM 36806	0		18		18
Steven Walker Communities P14-0244, P15-0086, P15-0092, TM 36703	0		6		6
Quail Run Apartments - SDH & Associates P14-0683, P14-0684, P14-0685, P15-1080, P15-1081, P15-1082	0		220		220
<del>Oakmont Senior Living P15-0610, P15-0611</del>	<del>0</del>		<del>95</del>		<del>95</del>
Mission Lofts, LLC P14-0045, P14-0048, P15-0953, P15-0954	0		212		212
WB Allen Development P16-0184, P16-0185	0		12		12
RC Hobbs Company, Inc. P15-0862, P15-0863, P15-0864, P15-0865, P15-0866, P16-0647	0		36		36
Ramcam Group P16-0314, TM 37013	0		5		5
Ratkovich Properties P16-0727, P16-0728, P16-0729	0		36		36
William B. Allen Senior Housing Project P16-0425, P16-0426	0		39		39
Regional Properties, Inc. P16-0321, P16-0324, P17-0196	0		165		165
<u>TDA Investment Group P16-0497, P14-0294, P14-0297, P14-0295</u>	<u>0</u>		<u>524</u>		<u>524</u>
<u>Steven Walker Communities, Inc. P16-0112, P16-0113, P16-0114, P16-0111 and P16-0883</u>	<u>0</u>		<u>54</u>		<u>54</u>
<u>Coastal Commercial Properties P16-0885, P16-0886, P16-0506, and P17-0874</u>	<u>0</u>		<u>63</u>		<u>63</u>
<u>NL Tavaglione Development P17-0065,</u>	<u>0</u>		<u>1</u>		<u>1</u>
<u>Steve Berzansky of Lot 13, LIP -P17-0216 and P17-0539</u>	<u>0</u>		<u>1</u>		<u>1</u>
<u>Riverside Meadows, LTD P17-0513 and P17-0512</u>	<u>0</u>		<u>5</u>		<u>5</u>
<u>Bowling Pacific Venture Corporation P14-0225, P14-0226, P14-0227, P16-0063, P17-0530, P17-0531, and P17-0532</u>	<u>0</u>		<u>117</u>		<u>117</u>
Subtotal (Projects approved after Jan. 2014)	0		<u>1,755+08+</u>		<u>1,755+08+</u>



## APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT

Planning Case No.	Affordability Levels				Total
	Very Low	Low	Mod.	Above Mod	
Total all units	311		<del>3,557</del>	<del>2,886</del>	<del>3,868</del> 3,197
Source: City of Riverside, 20178					



# APPENDIX B: PROJECTS ENTITLED OR PENDING ENTITLEMENT



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## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



### APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

This appendix summarizes the sites with current zoning that accommodates residential development.

#### DOWNTOWN SPECIFIC PLAN

The Downtown Specific Plan consists of approximately 640 acres in the northern portion of the City of Riverside. The Specific Plan covers the historic core of the City and embodies the history and cultural heritage of Riverside. The Specific Plan embraces and seeks to capitalize upon the area's urban character, enlivening Downtown with new high-density residential, office, and commercial/ entertainment uses in districts that are an active and lively destination for residents, workers, and visitors.

The General Plan 2025 policies encourage a variety of housing opportunities in and around the Downtown that include apartments and condominiums, live-work loft spaces, and very high density residential and mixed uses surrounded by historic residential neighborhoods. The City of Riverside recognizes the exceptional potential for additional housing and mixed-use developments to be built in the downtown during the planning period.

The Downtown Specific Plan contains nine different districts, each envisioned to play a complementary role. Some districts allow for additional housing and mixed-use developments.

- ❖ **Raincross District.** The Raincross District is the cultural, historic, and social center of both Riverside and the region. Key standards include a minimum lot size of 11,000 square feet, a maximum density of 60 units per acre, floor area ratio of 3.5-4.5, and maximum height of 100 feet. Mixed use is allowed as a by-right use in this district.
- ❖ **Market Street Gateway.** Market Street is the major gateway into Downtown, reinforced by high quality development, streetscape enhancements, and open space. Key standards include a 20,000-square-foot minimum lot size, 30-unit-per-acre density, 2.0 FAR, and maximum height of 40 feet. Mixed use is also allowed in this district as a by-right use. Within these districts, the City selected sites that could be suitable for housing and/or mixed-use development projects. Preference was given to sites adjacent to other residential uses, where





## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



### *Site Adequacy Analysis*

The 30 parcels vary in size and could accommodate 241 units. The parcels are categorized into seven groups based on location of the site, adjacency, streets, and property owners.

- ❖ **Group A.** This consists of four parcels totaling 0.65 acres. Three of the four sites are owned by one individual. All of the sites are undeveloped and ready for immediate development. These sites could accommodate up to 18 units.
- ❖ **Group B.** This consists of two parcels totaling 0.63 acres. All of the sites are owned by the Riverside RDA. Both sites are undeveloped and ready for immediate development. These sites could accommodate up to 18 units.
- ❖ **Group C.** This consists of three parcels totaling 0.76 acres. All of the sites are owned by the Riverside RDA. The sites are undeveloped and ready for immediate development. These sites could accommodate up to 21 units.
- ❖ **Group D.** This consists of three parcels totaling 0.68 acres. All of the sites are owned by one individual. The sites are undeveloped and ready for immediate development. These sites could accommodate up to 12 units.
- ❖ **Group E.** This consists of four undeveloped parcels totaling 4.6 acres. All the sites are individually owned; however, several sites are large enough for single projects. These undeveloped sites in totality could accommodate 80 units.
- ❖ **Group F.** This consists of nine parcels (six are owned by the RDA) totaling 2.3 acres. All the sites are undeveloped and ready for development of up to 64 units in a mixed unit project. This is a very conservative estimate, since the 141-unit Raincross Promenade condo project was developed on approximately the same area of land immediately south of Group F.
- ❖ **Group G.** These two parcels, owned by the RDA, total 0.39 acres. One site is undeveloped; the other has a small convenience store. This site could accommodate up to 15 units. Immediately south of this site is the recently built M-Sole 10-unit live-work project occupying the same sized parcel.





## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

- ❖ **Group H.** This consists of six parcels totaling 1.1 acres. The RDA owns two sites; two other owners own the remainder. Five sites are undeveloped and the one developed site, a home that has been converted to several units, appears to be a nonconforming use. This site could accommodate 28 units.





# APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



TABLE C-1  
DOWNTOWN SPECIFIC PLAN SITES

Site ID	Assessor's Parcel No.	General Plan/Zoning		Owner -ship	Existing Use	RDA <sup>1</sup>	Acres	Assumed Density <sup>2</sup>	Potential Units
		Existing	Proposed						
<b>Group A (6<sup>th</sup> Street)</b>									
1	214212011	DSP-RC	No Change	I	Undeveloped	D	0.16	40	4.5
2	214212013	DSP-RC	No Change	I	Undeveloped	D	0.16	40	4.5
3	214212012	DSP-RC	No Change	I	Undeveloped	D	0.16	40	4.5
4	214212014	DSP-RC	No Change	J	Undeveloped	D	0.17	40	4.8
<b>Group B (Main @ 2<sup>nd</sup>) and Group C (Main @ 3<sup>rd</sup>)</b>									
5	213081002	DSP-RC	No Change	RDA	Undeveloped	D	0.18	40	5.0
6	213081001	DSP-RC	No Change	RDA	Undeveloped	D	0.45	40	12.6
7	213031005	DSP-RC	No Change	RDA	Undeveloped	D	0.27	40	7.6
8	213031004	DSP-RC	No Change	RDA	Undeveloped	D	0.49	40	13.7
<b>Group D (South Market)</b>									
9	209193015	DSP-MSG	No Change	F	Undeveloped	D	0.23	25	4.0
10	209193003	DSP-MSG	No Change	F	Undeveloped	D	0.23	25	4.0
11	209193014	DSP-MSG	No Change	F	Undeveloped	D	0.22	25	4.0
<b>Group E (North Market)</b>									
12	209161009	DSP-MSG	No Change	E	Undeveloped	D	2.00	25	35
13	209101001	DSP-MSG	No Change	B	Undeveloped	D	1.42	25	25
14	209101040	DSP-MSG	No Change	D	Undeveloped	D	0.31	25	5
15	209101034	DSP-MSG	No Change	C	Undeveloped	D	0.85	25	15
<b>Group F (Market @ 1<sup>st</sup> &amp; Main) and Group G (Market @ 2<sup>nd</sup>)</b>									
16	213022009	DSP-RC	No Change	RDA	Undeveloped	D	0.50	40	14.0
17	213022001	DSP-RC	No Change	RDA	Undeveloped	D	0.20	40	5.6
18	213022011	DSP-RC	No Change	H	Undeveloped	D	0.19	40	5.3
19	213022012	DSP-RC	No Change	RDA	Undeveloped	D	0.40	40	11.2



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

Site ID	Assessor's Parcel No.	General Plan/Zoning		Owner-ship	Existing Use	RDA <sup>1</sup>	Acres	Assumed Density <sup>2</sup>	Potential Units
		Existing	Proposed						
20	213022002	DSP-RC	No Change	H	Undeveloped	D	0.20	40	5.6
21	213022003	DSP-RC	No Change	H	Undeveloped	D	0.20	40	5.6
22	213022004	DSP-RC	No Change	RDA	Undeveloped	D	0.20	40	5.6
23	213022005	DSP-RC	No Change	RDA	Undeveloped	D	0.20	40	5.6
24	213022010	DSP-RC	No Change	RDA	Undeveloped	D	0.20	40	5.6
25	213071001	DSP-RC	No Change	RDA	Market	D	0.26	40	7.3
26	213071002	DSP-RC	No Change	RDA	Undeveloped lot	D	0.13	40	3.6
<b>Group H (Market @ Hidalgo Place)</b>									
27	215031007	DSP-RC	No Change	I	Vacant bld	D	0.206	40	5.8
28	215031008	DSP-RC	No Change	I	Parking Lot	D	0.157	40	4.4
29	215031009	DSP-RC	No Change	J	SFR	E	0.115	40	1.2
30	215031010	DSP-RC	No Change	J	Parking Lot	E	0.207	40	5.8
<b>Total Potential within Downtown Specific Plan</b>							<b>9.3</b>	<b>-</b>	<b>241</b>
<small>Source: City of Riverside and The Planning Center, 2012.            1. Located in a RDA until January 31, 2012.            2. Although these sites could support 30 to 60 units per acre, this analysis assumes a more conservative estimate of 40 units per acre and only a 70% ratio of residential to nonresidential uses is assumed. This is consistent with recently approved projects in the Downtown.</small>									

### *Feasibility of Development*

Downtown Riverside remains one of the most attractive places to build in Riverside due to its many defining characteristics, strong market, and development incentives, described below.

- ❖ **Strong Market.** Downtown projects have been built in recent years, including the Fox Theatre renovation, M'Sole Mixed Use project, 141-unit Raincross Promenade, and others. The Riverside Renaissance program also funded completion of the Downtown Fire Station, Mall Water Main Replacement, Raincross Pedestrian Lighting, Sewer Main Replacement, Traffic Signal Modification Project, Performing Arts Center Rehabilitation, and Mission Inn Avenue improvements.
- ❖ **Redevelopment Project Area.** Up until January 31, 2012, the Downtown was located in an RDA project area, that provided the RDA with the ability to dedicate and leverage tax

## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



increment funds for infrastructure and housing. Moreover, the City RDA could have required that a portion be set aside as affordable housing units to meet inclusionary requirements in state law.

- ❖ **Lot Size/Consolidation.** The majority of sites in the land inventory (organized by ownership) are large enough to accommodate residential and/or mixed-use projects without the need for consolidation. Moreover, since the City RDA owns more than one-third of all the potential sites, it has a substantially greater ability to acquire adjacent sites desired for a particular development project. Therefore, the minimum lot size requirement is not a constraint to development.
- ❖ **Allowable Density and Intensity.** In accordance with Section 65583.2(c)(3)(B) of the Government Code, if the City adopts density standards that allow at least 30 units per acre, state law presumes that zoning is appropriate for accommodating the regional housing need for lower income households. These sites allow densities of 60 units per acre and 3.5 FAR, and greater density and intensity is conditionally allowed.
- ❖ **Zoning and Permitting.** The Downtown Specific Plan allows for multiple-family residential and mixed use as a by-right use in the Raincross District. No other discretionary action beyond design review is required. Multiple-family projects proposed in the Market Gateway will require a conditional use permit. However, the sites selected for inclusion in the Housing Element already have been approved for mixed use.

### ORANGECREST SPECIFIC PLAN

Two undeveloped parcels that comprise 13.7 acres are designated for high density residential. Density for the R-3-1500 zone is 20-29 units per acre, so a midpoint was selected to calculate realistic development capacity. These sites could yield 342 new housing units at densities sufficient to accommodate the lower income RHNA. Each site could accommodate more than 50 units.



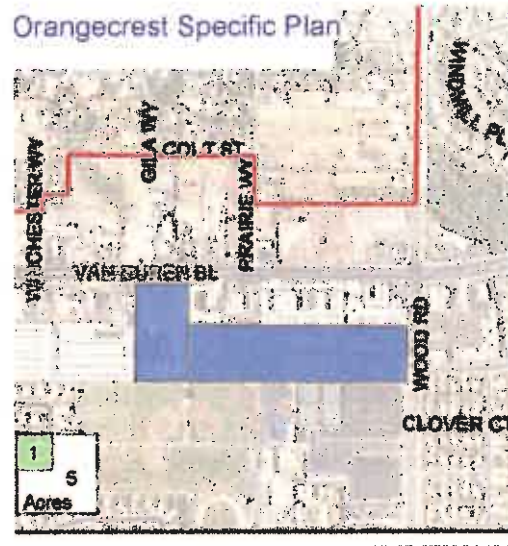


# APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

TABLE C-2  
ORANGECREST SPECIFIC PLAN SITES

Site ID	APN	Existing		Existing Use	RDA	Acres	Assumed Density	Potential Units
		GP	Zoning					
1	266040050	HDR	R-3-1500	Undeveloped	—	9.7	25	242.5
2	266040034	HDR	R-3-1500	Undeveloped	—	4.0	25	100.0
<b>Total Potential within Orangecrest Specific Plan</b>						<b>13.7</b>	<b>—</b>	<b>342.5</b>

Source: City of Riverside and The Planning Center, 2012.



**Legend**

- Specific Plan Boundaries
- Land Inventory Sites



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



### AREAS OUTSIDE OF SPECIFIC PLANS

On October 22, 2013, the City Council approved a General Plan Amendment and Rezoning for three sites identified in the 2006-2014 Housing Element. In addition, the 2006-2014 Housing Element identified four undeveloped sites currently zoned R-3-1500 that have the capacity to provide for lower income housing units. These sites are assumed to provide for 416 lower income units. Table C-3 summarizes these sites.

TABLE C-3  
SITES OUTSIDE OF SPECIFIC PLANS

Site ID	APN	Existing		Existing Use	Acres	Assumed Density	Potential Units
		GP	Zoning				
1	217093001	HDR	R-3-1500	Undeveloped	2.8	25	70
9	221070010 221070011	MU-U	MU-U-SP	Undeveloped	3.5	40	140
11	191221016 191221017 191221019 191221024 191221018 191221020 191221021 191221022 191221023	HDR & C	R-3-1500	Undeveloped	5.6	25	140
75	253210051	HDR	R-3-1500	Undeveloped	0.63	25	15
76	253210052	HDR	R-3-1500	Undeveloped	0.82	25	20
77	253210055	HDR	R-3-1500	Undeveloped	0.96	25	24
78	253210054	HDR	R-3-1500	Undeveloped	0.30	25	7
<b>Total Potential Outside of Specific Plans</b>					<b>14.61</b>	<b>—</b>	<b>416</b>

Source: City of Riverside, 2013



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

### ADDED SITES – FIFTH CYCLE HOUSING ELEMENT SITES REZONED – SUMMARY OF SITES ZONED FOR RESIDENTIAL DEVELOPMENT

On December 12, 2017, City Council rezoned 57 sites comprised of 228 parcels to meet the City's remaining RHNA requirement for lower income households.

The sites are divided into four groups:

#### Group 1 – Magnolia Avenue Specific Plan

Magnolia Avenue connects the western portion of the City to Downtown and is part of the larger 'L-Corridor', which also includes University Avenue. The L-Corridor is defined as a High Quality Transit Corridor in the City's General Plan and by the Southern California Association of Governments (SCAG). Adopted in 2009, the Magnolia Avenue Specific Plan facilitates and encourages development along the corridor. Within the Magnolia Avenue Specific Plan, there are 12 sites totaling approximately 74 acres. These sites were rezoned to either Mixed Use-Village (MU-V) or Mixed Use-Urban (MU-U). The sites are developed, with varying degree of development, ranging from sites nearly undeveloped (e.g., W6G1S01 located at Magnolia Ave. & Cochran Ave.) to sites that are largely developed (e.g., W5G1S19 at the intersection of Van Buren Blvd. and Magnolia Avenue). All 12 sites are located within the High Quality Transit Corridor and 1/4 mile of a transit stop. These sites are also in proximity to a wide variety of services and amenities, including two hospitals along Magnolia Avenue, (Kaiser Hospital and Parkview Community Hospital/Medical Center), and two private universities (California Baptist University and La Sierra University).

#### Magnolia Avenue Specific Plan

The Magnolia Avenue Specific Plan (MASP), adopted in 2009, is an implementation plan and component of the General Plan 2025 Program.

#### Excerpt from Community Context Chapter of the MASP

Land Use – "Existing land uses along Magnolia Avenue are diverse, ranging from light industrial uses at the southwestern end near the City limits, to historic residential homes at the northeastern end in the Wood Streets District. Piecemeal development has occurred along Magnolia Avenue, weakening the role and function that each district and

## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



neighborhood plays in the City and region. While the framework still exists for identifiable districts along the corridor, the current land use pattern has blurred the distinction. In some locations, the corridor has been over-zoned for general commercial uses, resulting in under-utilized retail uses."

Community Facilities - "Several community facilities are also located along Magnolia Avenue, including the Arlington Branch Library mentioned above, Sherman Indian School, Ramona High School, California Baptist University and the Riverside Unified School District's Community Education Program (housed in the historic Palm Elementary School building). In addition, Magnolia Avenue and University Avenue serve as links between the City's four higher education institutions (La Sierra University, California Baptist University, Riverside Community College and University of California at Riverside), as well as two major streets that link the community with Downtown."

The Magnolia Avenue Specific Plan is divided into six sub-districts. The candidate sites zoned proposed for Mixed Use zoning are located in the La Sierra and Arlington Subdistricts. The MASP sub-district context descriptions and applicable Specific Plan policies for these sub-districts are described below:

### Arlington District - District Context

The Arlington District is characterized by a concentration of one and two-story, pre-1950's retail buildings surrounded by a stable single-family neighborhood. The land use mix consists of retail commercial and office uses, the historic Arlington Branch Public Library and a small amount of multi-family housing. There are many outdated and marginalized uses, price-sensitive tenants on small parcels, and under-utilized retail buildings.

- Policy 1.3: Aggressively pursue economic revitalization, while preserving and restoring Arlington's historic village like character and pedestrian scale. (General Plan Policy LU-37.1)
- Policy 1.6: Encourage lot consolidation, driveway consolidation, shared parking, and frontage on Magnolia Avenue for meaningful, coordinated mixed-use and commercial projects that contribute to an attractive streetscape. (General Plan Policy LU-36.3)



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

### La Sierra District - District Context

La Sierra District is the westernmost district of Magnolia Avenue. It consists of the area at the westernmost City limits to Banbury Drive. This district includes portions of the La Sierra and La Sierra South Neighborhoods.

This District is characterized by a mix of land uses, including older commercial centers, residential development including mobile home parks, business park and light industrial uses, medical uses, motels, and large undeveloped parcels with frontage onto the 91 Freeway. Many of the older retail centers are underutilized, especially around La Sierra Avenue.

The General Plan 2025 and the Magnolia Avenue Specific Plan include the following Policies:

- Policy 1.2: Provide opportunities for transit-oriented, mixed use projects providing medical support office/employment, restaurants, and high-density residential near Kaiser Permanente. Emphasize ownership housing, as feasible, in this area. (General Plan Policy LU-58.3)
- Policy 1.3: Allow for increased residential and commercial densities to bring more people to the District, support transit, and complement the scale of the Kaiser facility. (General Plan Policy LU-58.6)

### Group 2 – University Avenue Specific Plan

University Avenue connects UCR to Downtown. University Avenue is the eastern part of the larger 'L Corridor', which also includes Magnolia Avenue. The L-Corridor is defined as a High Quality Transit Corridor in the City's General Plan and by the Southern California Association of Governments (SCAG). The area will encourage mixed-use development and capitalize upon transit-oriented development opportunities. In recent years redevelopment along University Avenue has been encouraged by major public improvements along the corridor, such as streetscape enhancements and renovations to Bobby Bonds Park. Within the University Avenue Specific Plan, there are five (5) sites totaling approximately 10 acres. These sites that were rezoned to either the MU-V or the MU-U Zones. All five (5) sites are located within the High Quality Transit Corridor, and within ¼ mile of a transit stop. These sites are all in proximity to a wide variety of services and amenities between Downtown Riverside and the University of California, Riverside.



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### Group 3 –Mixed Use Sites not within a Specific Plan

For areas not within the two specific plan areas mentioned above, there are eight (8) sites totaling approximately 78 acres. These sites were rezoned to either the MU-V or the MU-U Zones.

### Group 4 –Multi-Family Residential Sites

The sites within Group 4 satisfy the section of housing-element law that requires at least 50 percent of the needed housing units to be accommodated on sites zoned for residential uses, and for which nonresidential uses or mixed-uses are not permitted. There are 32 sites in this group, totaling approximately 146 acres, and they were rezoned to either the R-3-1500 Multiple-Family Residential or the R-4 Multiple-Family Residential Zones.

Table C-4 below summarizes the sites rezoned to meet the City's remaining RHNA requirement for housing units affordable to lower income households.

TABLE C-4  
SITES ZONED FOR UNMET RHNA FOR LOW INCOME HOUSEHOLDS

<u>Site ID Number</u>	<u>Assessor Parcel Number</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Du/Acre</u>	<u>Units</u>
<u>W1G3S11</u>	<u>250080002, 250080006, 250080007, 250080009, 250080013, 250080014, 250080016, 250080017, 250080018, 250080019</u>	<u>Northwest of the intersection of Iowa Avenue and Blaine Street</u>	<u>MU-V - Mixed Use-Village</u>	<u>30</u>	<u>336</u>
<u>W1G4S01</u>	<u>250281001</u>	<u>Southeast of the intersection of Massachusetts Ave. &amp; Iowa Ave.</u>	<u>R-4 – Multiple-Family Residential</u>	<u>35</u>	<u>32</u>
<u>W1G4S02</u>	<u>219102002, 219102003, 219102004, 219102005, 219102006, 219102007, 219102009, 219102010, 219102011, 219102012</u>	<u>Northeast corner of Brooks St. &amp; Olivewood Ave.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>30</u>



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Du/Acre</u>	<u>Units</u>
	<u>219102013</u> <u>219102016</u>				
<u>W1G4S03</u>	<u>219163002</u>	<u>Southeast of the intersection of City College Dr. &amp; Ramona Dr.</u>	<u>R-3-1500-CR - Multiple-Family Residential &amp; Cultural Resources Overlay</u>	<u>25</u>	<u>23</u>
<u>W1G4S04</u>	<u>219175015</u>	<u>East side of Olivewood Ave. northerly of Panorama Rd.</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>30</u>
<u>W1G4S08</u>	<u>219102001</u>	<u>Southeast of the intersection of Cridge St. &amp; Olivewood Ave.</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>16</u>
<u>W1G4S43</u>	<u>217040013</u> <u>217040014</u> <u>217050015</u> <u>217100002</u>	<u>Southeast of the intersection of Pine Street and Tequesquite Avenue</u>	<u>R-4 - Multiple-Family Residential</u>	<u>35</u>	<u>111</u>
<u>W1G4S44</u>	<u>251070007</u> <u>251070008</u>	<u>North side of Blain St. &amp; westerly of Watkins Drive</u>	<u>MU-U - Mixed Use-Urban</u>	<u>40</u>	<u>101</u>
<u>W2G2S01</u>	<u>250190006</u> <u>250190008</u> <u>250190036</u> <u>250190038</u> <u>250190040</u> <u>250190042</u>	<u>Northwest corner of University Ave. &amp; Iowa Ave.</u>	<u>MU-U-SP - Mixed Use-Urban &amp; Specific Plan (University Avenue) Overlay</u>	<u>40</u>	<u>103</u>
<u>W2G2S02</u>	<u>253020012</u>	<u>South side of University Ave. westerly of Cranford Ave.</u>	<u>MU-U-SP - Mixed Use-Urban &amp; Specific Plan (University Avenue) Overlay</u>	<u>40</u>	<u>29</u>
<u>W2G2S04</u>	<u>250170005</u> <u>250170040</u>	<u>Northwest corner of University Ave. &amp; Cranford Ave.</u>	<u>MU-U-SP - Mixed Use-Urban and Specific Plan (University Avenue) Overlay</u>	<u>40</u>	<u>56</u>
<u>W2G2S06</u>	<u>250170011</u>	<u>East of Chicago Ave. &amp; north of University Ave.</u>	<u>MU-U-SP - Mixed Use-Urban &amp; Specific Plan (University Avenue) Overlay</u>	<u>40</u>	<u>16</u>

## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Du/Acre</u>	<u>Units</u>
<u>W2G2S07</u>	<u>253050002,</u> <u>253050012,</u> <u>253050018,</u> <u>253050022,</u> <u>253050023</u>	<u>Southeast corner of</u> <u>Iowa Ave. &amp;</u> <u>University Ave.</u>	<u>MU-U-SP - Mixed</u> <u>Use-Urban &amp;</u> <u>Specific Plan</u> <u>(University</u> <u>Avenue) Overlay</u>	<u>40</u>	<u>77</u>
<u>W2G4S30</u>	<u>211111037,</u> <u>211111040,</u> <u>211111041,</u> <u>211111053,</u> <u>211111054,</u> <u>211111055,</u> <u>211111060</u>	<u>North side of</u> <u>Linden St. west of</u> <u>Dwight Ave.</u>	<u>R-3-1500 -</u> <u>Multiple-Family</u> <u>Residential</u>	<u>25</u>	<u>87</u>
<u>W3G4S05</u>	<u>219182004</u>	<u>North side of</u> <u>Panorama Rd. west</u> <u>of 91 FWY</u>	<u>R-4 - Multiple-</u> <u>family Residential</u>	<u>35</u>	<u>88</u>
<u>W3G4S15</u>	<u>225052008,</u> <u>225052009,</u> <u>225052010,</u> <u>225052019,</u> <u>225052021</u>	<u>East side of</u> <u>Magnolia Ave.</u> <u>north of Merrill</u> <u>Ave.</u>	<u>R-4-SP - Multiple-</u> <u>family Residential</u> <u>and Specific Plan</u> <u>(Magnolia</u> <u>Avenue) Overlay</u>	<u>35</u>	<u>75</u>
<u>W3G4S27</u>	<u>190022044,</u> <u>190022045</u>	<u>South side of</u> <u>Irupa Ave.</u> <u>between Essex St.</u> <u>&amp; Chester St.</u>	<u>R-3-1500 -</u> <u>Multiple-Family</u> <u>Residential</u>	<u>25</u>	<u>22</u>
<u>W4G4S16</u>	<u>230351016,</u> <u>230360001,</u> <u>230360004,</u> <u>230360005,</u> <u>230360006,</u> <u>230360010</u>	<u>Northeast of</u> <u>intersection at</u> <u>Lincoln Ave. &amp;</u> <u>Bunker St.</u>	<u>R-3-1500 -</u> <u>Multiple-Family</u> <u>Residential</u>	<u>25</u>	<u>280</u>
<u>W4G4S42</u>	<u>266020061</u>	<u>Southeast corner of</u> <u>Van Buren Blvd. &amp;</u> <u>Chicago Ave.</u>	<u>R-3-1500-SP -</u> <u>Multiple-Family</u> <u>Residential &amp;</u> <u>Specific Plan</u> <u>(Orangecrest)</u> <u>Overlay</u>	<u>25</u>	<u>344</u>
<u>W5G1S02</u>	<u>234080005,</u> <u>234080033,</u> <u>234080034,</u> <u>234080035</u>	<u>South side of</u> <u>Magnolia Avenue</u> <u>between Harrison</u> <u>St. &amp; Muir Ave.</u>	<u>MU-V-SP - Mixed</u> <u>Use-Village and</u> <u>Specific Plan</u> <u>(Magnolia</u> <u>Avenue) Overlay</u>	<u>30</u>	<u>114</u>
<u>W5G1S12</u>	<u>234150039,</u> <u>234150040,</u> <u>234150041,</u> <u>234150046.</u>	<u>North side of the</u> <u>91 Freeway</u> <u>between Myers St.</u> <u>&amp; Van Buren Blvd.</u>	<u>MU-V-SP - Mixed</u> <u>Use-Village and</u> <u>Specific Plan</u> <u>(Magnolia</u> <u>Avenue) Overlay</u>	<u>30</u>	<u>162</u>



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<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Dn/Acre</u>	<u>Units</u>
	<u>234140019</u>		<u>MU-V - Mixed Use-Village</u>		
<u>W5G1S13</u>	<u>191232016, 191232017, 191232034, 191232037</u>	<u>North side of Magnolia Ave. between Donald Ave. &amp; Jackson St.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>88</u>
<u>W5G1S14</u>	<u>191331031</u>	<u>North side of Magnolia Ave. between Stotts St. &amp; Donald Ave.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>41</u>
<u>W5G1S15</u>	<u>191332021, 191332049</u>	<u>North side of Magnolia Ave. between Everest Ave. &amp; Stotts St.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>19</u>
<u>W5G1S16</u>	<u>233040022, 233040023, 233040024</u>	<u>South side of Magnolia Ave. west of Donald St.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>38</u>
<u>W5G1S17</u>	<u>233031001, 233031003, 233031004, 233031005, 233031007, 233031008, 233031009, 233031010, 233031012, 233031013, 233031014, 233031051</u>	<u>South side of Magnolia Ave. between McKenzie St. &amp; Everest Ave.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>25</u>
<u>W5G1S18</u>	<u>191312002, 191312010, 191312020, 191312021</u>	<u>East side of Van Buren Blvd. between Hayes St. &amp; Miller St.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>59</u>
<u>W5G3S01</u>	<u>138030024, 138030009, 138030025, 138030028</u>	<u>Northeasterly of La Sierra Ave. &amp; Indiana Ave.</u>	<u>MU-U-SP - Mixed Use-Urban &amp; Specific Plan (Riverwalk, Vista) Overlay</u>	<u>40</u>	<u>417</u>

## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Dg/Acre</u>	<u>Units</u>
<u>W5G3S08</u>	<u>193261027,</u> <u>193261029</u>	<u>Southwest corner of California Ave. &amp; Monroe St.</u>	<u>MU-V - Mixed Use-Village</u>	<u>30</u>	<u>166</u>
<u>W5G3S12</u>	<u>233190001,</u> <u>233160022,</u> <u>233150017,</u> <u>233190004</u>	<u>East side of Van Buren Blvd. south of Indiana Avenue (Van Buren Drive-In)</u>	<u>MU-V - Mixed Use-Village</u>	<u>30</u>	<u>435</u>
<u>W5G4S06</u>	<u>227223006</u>	<u>Northwest corner of Magnolia Ave. &amp; Jefferson St.</u>	<u>R-4-SP - Multiple-Family Residential &amp; Specific Plan (Magnolia Avenue) Overlay</u>	<u>35</u>	<u>26</u>
<u>W5G4S10</u>	<u>191200010,</u> <u>191200011,</u> <u>191200012,</u> <u>191200013,</u> <u>191200017,</u> <u>191200024,</u> <u>191200027,</u> <u>191200028</u>	<u>Northeast of intersection at Duncan Ave. &amp; Van Buren Blvd.</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>38</u>
<u>W5G4S12</u>	<u>233170002,</u> <u>233170003</u>	<u>Vacant land at the southeast corner of Indiana Ave. &amp; Gibson St.</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>35</u>
<u>W5G4S13</u>	<u>233180001,</u> <u>233180002,</u> <u>233180003,</u> <u>233180004,</u> <u>233180005,</u> <u>233180006,</u> <u>233180008,</u> <u>233180009,</u> <u>233180010</u>	<u>Southwest of intersection at Indiana Ave. &amp; Jackson St.</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>26</u>
<u>W5G4S14</u>	<u>233180014,</u> <u>233180015,</u> <u>233180016,</u> <u>233180017,</u> <u>233180018,</u> <u>233180019</u>	<u>West of Jackson St. &amp; south of the Railroad</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>93</u>
<u>W5G4S23</u>	<u>233160012,</u> <u>233160013,</u> <u>233160014,</u> <u>233160015,</u> <u>233160018,</u> <u>233160019,</u> <u>233160025</u>	<u>West of Gibson St. &amp; adjacent to &amp; northerly of the Van Buren Drive-In theater</u>	<u>R-4 - Multiple-Family Residential</u>	<u>35</u>	<u>155</u>



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<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Ds/Acre</u>	<u>Units</u>
	<u>233160026,</u> <u>233160028</u>				
<u>W5G4S29</u>	<u>233170005</u>	<u>East side of Gibson Street, southerly of the railroad &amp; northerly of Maywood Way</u>	<u>R-3-1500 - Multiple-Family Residential</u>	<u>25</u>	<u>56</u>
<u>W5G4S37</u>	<u>234270020</u>	<u>West side of Van Buren Blvd. north of Lincoln Ave.</u>	<u>R-4 - Multiple-Family Residential</u>	<u>35</u>	<u>165</u>
<u>W5G4S38</u>	<u>233150012,</u> <u>233190007,</u> <u>233190017</u>	<u>East side of Van Buren Blvd. northwesterly of the Van Buren Drive-in</u>	<u>R-4 - Multiple-Family Residential</u>	<u>35</u>	<u>105</u>
<u>W6G1S01</u>	<u>143180005,</u> <u>143180028,</u> <u>143180031,</u> <u>143180032</u>	<u>North side of Magnolia Avenue westerly of Tyler Street</u>	<u>MU-V-SP-WC - Mixed Use-Village &amp; Specific Plan (Magnolia Avenue) Overlay, &amp; Watercourse Overlay; and MU-V-SP - Mixed Use-Village &amp; Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>336</u>
<u>W6G1S05</u>	<u>142292007,</u> <u>142292008,</u> <u>142293023,</u> <u>142293024,</u> <u>142293028</u>	<u>North side of Magnolia Ave. between Burge St. &amp; Jones Ave.</u>	<u>MU-V-SP - Mixed Use-Village and Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>116</u>
<u>W6G1S07</u>	<u>143290004,</u> <u>143290006,</u> <u>143290007,</u> <u>143290008,</u> <u>143290010,</u> <u>143290011,</u> <u>143290015,</u> <u>143290017,</u> <u>143290018,</u> <u>143290019</u>	<u>North side of Magnolia Ave. easterly of Polk St.</u>	<u>MU-V-SP - Mixed Use-Village &amp; Specific Plan (Magnolia Avenue) Overlay</u>	<u>30</u>	<u>71</u>
<u>W6G1S10</u>	<u>138470020,</u> <u>138470023,</u> <u>138470024,</u> <u>138470029,</u>	<u>South side of Magnolia Ave. easterly of La Sierra Ave.</u>	<u>MU-U-SP - Mixed Use-Urban &amp; Specific Plan</u>	<u>40</u>	<u>467</u>

## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Du/Acre</u>	<u>Units</u>
	<u>138470031</u> <u>138470035</u>		(Magnolia Avenue) Overlay		
<u>W6G3S02</u>	<u>146261001</u> <u>146261006</u> <u>146261014</u> <u>146261019</u>	<u>Southeast of intersection of Whitford Ave. &amp; La Sierra Ave.</u>	<u>MU-V – Mixed Use-Village</u>	<u>30</u>	<u>80</u>
<u>W6G3S03</u>	<u>142040001</u>	<u>East side of La Sierra Ave. south of Miner Ave.</u>	<u>MU-V – Mixed Use-Village</u>	<u>30</u>	<u>60</u>
<u>W6G4S17</u>	<u>143040012</u>	<u>Northerly of Hole Avenue west side of Jones Ave. at Cook Ave.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>44</u>
<u>W6G4S18</u>	<u>143051001</u>	<u>Northeast of intersection of Hole Ave. &amp; Mitchell Ave.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>61</u>
<u>W6G4S19</u>	<u>143020004</u> <u>143020007</u> <u>143020010</u>	<u>Southeast of intersection at Wells Ave. and Mitchell Ave.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>78</u>
<u>W6G4S20</u>	<u>143080019</u> <u>143080020</u> <u>143080021</u> <u>143080022</u> <u>143080024</u> <u>143080029</u> <u>143080030</u> <u>143080032</u> <u>143080033</u> <u>143080034</u> <u>143332002</u>	<u>Intersection of Hole Ave. &amp; California Ave.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>200</u>
<u>W6G4S22</u>	<u>147282011</u> <u>147282014</u> <u>147282015</u> <u>147282016</u> <u>147282018</u> <u>147282021</u> <u>147282022</u>	<u>Southeast of intersection of Mull Ave. &amp; Tyler St.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>59</u>
<u>W6G4S32</u>	<u>151111034</u>	<u>lanet Ave. between Challen Ave. &amp; Picker St.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>63</u>
<u>W6G4S41</u>	<u>143082037</u> <u>145082038</u> <u>145082035</u>	<u>West side of Van Buren Blvd.</u>	<u>R-3-1500 – Multiple-Family Residential</u>	<u>25</u>	<u>51</u>



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT

<u>Site ID Number</u>	<u>Assessor Parcel Numbers</u>	<u>Location</u>	<u>Zone</u>	<u>Assumed Density Du/Acre</u>	<u>Units</u>	
		northerly of Challen Ave.				
<u>W6G4S46</u>	<u>135220035</u>	South side of Magnolia Ave. easterly of Buchanan St.	R-4SP - Multiple-Family Residential & Specific Plan (Magnolia Avenue) Overlay	35	172	
<u>W7G3S14</u>	<u>146210022,</u> <u>146220025,</u> <u>146220035,</u> <u>146220036,</u> <u>146220041,</u> <u>146220040</u>	Southwest corner of Pierce St. & La Sierra Ave.	MU-V - Mixed Use-Village	30	221	
			MU-V-SP - Mixed Use-Village & Specific Plan (La Siena University) Overlay	30		
<u>W7G4S07</u>	<u>142231006</u> <u>142231007</u>	North side of Magnolia Ave. westerly of Golden Ave.	R-4SP - Multiple-Family Residential & Specific Plan (Magnolia Avenue) Overlay	35	28	
<u>W7G4S35</u>	<u>155290012,</u> <u>155290013,</u> <u>155290014,</u> <u>155290015,</u> <u>155290016,</u> <u>155290017,</u> <u>155290019,</u> <u>155290018</u>	Northwest of the intersection of Arlington Ave. & Van Buren Blvd.	R-4APD - Multiple-Family Residential & Airport Protection (Compatibility Zone D) Overlay	35	197	
			R-4 - Multiple-Family Residential			
	<u>W7G4S45</u>	<u>146210024</u>	Southeast of intersection at Pierce St. & Riverwalk Parkway	R-3-1500-SP - Multiple-Family Residential & Specific Plan (La Siena University) Overlay	25	99
	<b>Sites Zoned for Mixed Use (MU-V/MU-U)</b>					<b>3,633</b>
	<b>Sites Zoned Exclusively for Residential (R-1-1500/R-4)</b>					<b>2,891</b>
	<b>TOTAL of ALL UNITS:</b>					<b>6,524</b>



## APPENDIX C: SITES ZONED FOR RESIDENTIAL DEVELOPMENT



### SUMMARY OF SITES ZONED FOR RESIDENTIAL DEVELOPMENT

Table C-5 summarizes the sites current zoned to accommodate residential development at densities that can provide for lower income housing units.

**TABLE C-5  
SITES ZONED FOR RESIDENTIAL DEVELOPMENT**

	<u>Affordability Levels</u>				<u>Total</u>
	<u>Very Low</u>	<u>Low</u>	<u>Mod.</u>	<u>Above Mod</u>	
<u>Sites Zoned Prior to 2017</u>					
<u>Downtown Specific Plan</u>	241		0	0	241
<u>Orangetrest Specific Plan</u>	342		0		342
<u>Areas Outside of Specific Plans</u>	416		0		416
<u>Subtotal</u>	999		0		999
<u>Sites Zoned in 2017</u>					
<u>Magnolia Avenue Specific Plan</u>	1536		0		1536
<u>University Avenue Specific Plan</u>	281		0		281
<u>Mixed Use not in Specific Plan</u>	1816		0		1816
<u>Multi-Family Residential</u>	2891		0		2891
<u>Subtotal</u>	6524		0		6524
<b><u>Total</u></b>	<b><u>7523</u></b>		<b><u>0</u></b>		<b><u>7523</u></b>
<u>Source: City of Riverside, 2018.</u>					

~~Table C-4 summarizes the sites current zoned to accommodate residential development at densities that can provide for lower income housing units.~~

**TABLE C-4  
SITES ZONED FOR RESIDENTIAL DEVELOPMENT**

	<u>Affordability Levels</u>				<u>Total</u>
	<u>Very Low</u>	<u>Low</u>	<u>Mod.</u>	<u>Above Mod</u>	
<u>Downtown Specific Plan</u>	241		0	0	241
<u>Orangetrest Specific Plan</u>	342		0		342
<u>Areas Outside of Specific Plans</u>	416		0		416
<b><u>Total</u></b>	<b><u>999</u></b>		<b><u>0</u></b>		<b><u>999</u></b>
<u>Source: City of Riverside, 2018.</u>					



## APPENDIX D: REZONING PROGRAM

The City of Riverside has seen continued growth and land development for more than 50 years, and considering habitat and regulatory constraints, is anticipated to be “essentially” built-out in the next 15 to 20 years. Most of the City’s future growth must occur, and has been occurring, on sites with existing uses or undeveloped infill sites. Recycling land with existing uses is a viable strategy to develop housing in the City. The re-use of numerous sites with pre-existing development has occurred throughout the City in recent years, and the existence of another use does not necessarily impede the development of housing in Riverside. Re-use of existing developed sites is primarily occurring along the major corridors of the City, such as Magnolia and University Avenues, and Van Buren Boulevard.

### SITE SELECTION APPROACH

The City identified five criterion for selecting the 66 candidate sites. The City prioritized sites, which met three of the five established thresholds. In addition, the City included sites that met two out of the five established thresholds when other factors such as property owner or neighborhood support, proximity to existing multi-family development, and other locational factors.

The City included completely undeveloped sites, as well as developed sites that meet the factors of sufficiency for developed sites under Government Code §65583.2(a)(3) and §65583.2(g). The following summarizes the criteria for the selection of sites for the City’s Rezoning Program:

- **Percent of Overall Site Undeveloped.** Large undeveloped sites consisting of undeveloped land with generally flat topography were prioritized for selection. There are 91 parcels on 22 sites that are completely undeveloped. All undeveloped sites were automatically added to this list even if none of the other 4 criteria were met, since they have the greatest opportunity and likelihood of being developed with housing within the planning period.

In addition, due to limited availability of undeveloped land within the City, sites that had an overall percent of vacancy of at least 60% were identified for inclusion, if two additional criteria were satisfactorily met.





## APPENDIX D: REZONING PROGRAM

- *Average Age of Building*. Given the limited supply of undeveloped land in areas that are not constrained by a host of other factors (described below), the city identified developed or partially developed sites with a higher potential for redevelopment. These sites may have older or unmaintained building(s) and improvements, have numerous vacant tenant spaces, or are only partially developed. Staff consideration was based on the likelihood of existing uses being discontinued and replaced with housing during the planning period.

To establish criteria for this determination, the City prioritized sites where the average age of the buildings on the site exceeding 20 years. Of the 46 developed sites, 39 have an average building age of 20 to 70 years. Of the seven sites that do not meet the 20 year threshold, it is important to note other factors relevant to their inclusion as candidate sites, such as the nature of surrounding development, expressed support from property owners, and proximity to essential services and amenities.

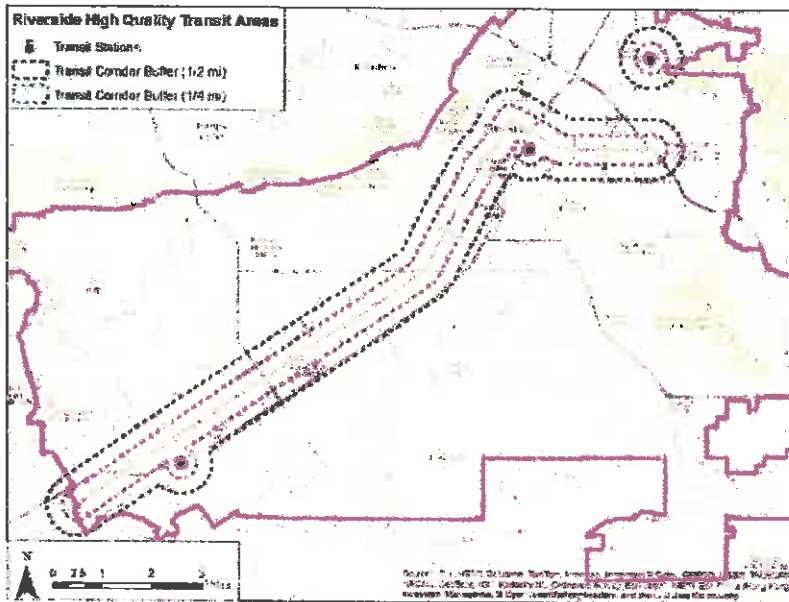
- *General Plan Consistency Zoning*. Sites that currently have General Plan land use designations of Mixed Use, High Density Residential, or Very High Density Residential were prioritized. Because the General Plan land use designations envision higher density residential, a rezoning that brings the sites into consistency with the General Plan would meet the State's rezoning criteria and be supported by adopted City policy. There are 32 sites for which the rezoning would bring the properties into consistency with the General Plan land use designations. Of these, 19 are within the University Avenue and Magnolia Avenue Specific Plans.
- *Proximity to Major Collector Roads*. Sites located along major corridors (e.g., Magnolia, and University Avenues, and Van Buren Boulevard) were prioritized because of their proximity to existing transit and services. Infill sites in urbanized areas of the City with existing infrastructure were also prioritized (i.e., where there are fully improved streets, curbs gutters and sidewalks, storm drains, and sewer). Of the sites identified for inclusion, 44 are located along major collector roads.
- *Proximity to High Quality Transit Corridor*. Sites within a half mile of high quality transit with service every 15 minutes or less were prioritized for inclusion. There are 36 candidate sites comprised of 100 parcels totaling 152 acres located within the



## APPENDIX D: REZONING PROGRAM



High Quality Transit Corridor (see figure below), as defined by the Southern California Association of Governments (SCAG). 43 of the parcels within the High Quality Transit Corridor are developed, totaling 75 acres; and 57 parcels are undeveloped, totaling 77 acres.



### Justification for Other Sites Selected :

Three of the candidate sites which met two out of the five criterion were selected for the reasons described below:

W5G4S37 - Is a 6.74 acre site that is mostly undeveloped (contains one single family dwelling) and the property owner has expressed support of the proposed rezoning. The site is proposed for the R-4 Multi-Family Residential zoning, and will yield 235 units. The site is located along a major collector road, within a half mile distance of seven other candidate sites, and is less than a quarter mile from the High Quality Transit Corridor.

W7G4S28 - This 2.83 acre site is currently zoned as R-3-1500 Multiple-Family Residential. To establish consistency between the General Plan land use designation and the current zoning, the City proposes to change the General Plan land use designation from Medium-High Density Residential to High Density Residential, which is appropriate for the existing zoning. The site is comprised of eight smaller parcels, which have contiguous ownership (owner is La Sierra



## APPENDIX D: REZONING PROGRAM

University). The property is located immediately across the street from La Sierra University, and is an opportunity for the University to build multiple-family residential workforce and student housing. In addition, we have received support from a surrounding neighbor. As currently zoned, the site will yield 65 units. The site is also within half a mile of the High Quality Transit Corridor and a major collector road

W1G4S44 – This site was included because its 3.71 acres is an aging and underutilized strip commercial development with vacancies, and an underutilized anchor tenant (formerly a supermarket). The site is 68.43% undeveloped. It also has a Mixed Use-Urban (MU-U) General Plan land use designation. Instead of proposing the Mixed Use-Urban Zone for the property (consistency zoning), the property is proposed for a General Plan Amendment to the “Very High Density Residential” land use designation, and rezoning to the R-4 Multi-Family Residential Zone. The proposed zone would yield 88 units. In addition, the site is located on a major collector road and within a half mile of the High Quality Transit Corridor.

### Constraints

The 66 candidate sites identified as part of the Rezoning Program are the result of a thorough review of undeveloped and underutilized developed sites throughout the City. Numerous sites that were considered met the criteria above, but were eliminated due to other regulations, clearly incompatible adjacencies, or environmental issues. Some of these specific constraints included open space areas, (e.g., arroyos, hills, & flood hazard areas, designated agricultural areas (including Agricultural Greenbelt subject to voter initiatives Proposition R and Measure C), inconsistencies with airport land use compatibility plans, areas that are undergoing separate rezoning efforts that could not be completed by December, 2017 (e.g., the Northside Specific Plan), and areas where higher density residential would be in direct conflict with industrial activities, such as the industrial area known as Hunter Business Park, or predominately single-family residential neighborhoods. The following exhibit titled *City of Riverside 2014-2021 Housing Element Rezoning Constraints* depicts areas of the City where multiple-family and mixed use zoning can occur.

### Small Sites

As is typical of older urbanized cities, there are very few large undeveloped parcels remaining in Riverside. Of the parcels included in the Housing Element Rezoning Program, 64 parcels do not individually yield the State’s minimum requirement of 16 units. However, these parcels were added to the Rezoning Program because

## APPENDIX D: REZONING PROGRAM



they have contiguous ownership, such that if the parcels under common ownership were consolidated (merged), they would yield 16 units or more. Furthermore, in an effort to create additional opportunities for affordable housing, Implementation Tool H-52 facilitates the consolidation of small residential lots into larger parcels yielding at least 16 dwelling units. Eligible lots must be contiguous with other lots, and have common ownership with one or more of the other parcels, such that there is likelihood for development of at least 16 units (all combined parcels). The City will allow lot consolidation without discretionary review on the eligible sites, and will waive fees for lot consolidation. Table D-2 shows small sites eligible for application of these regulations bolded, in italics, and with a note indicating common ownership.

### SUMMARY

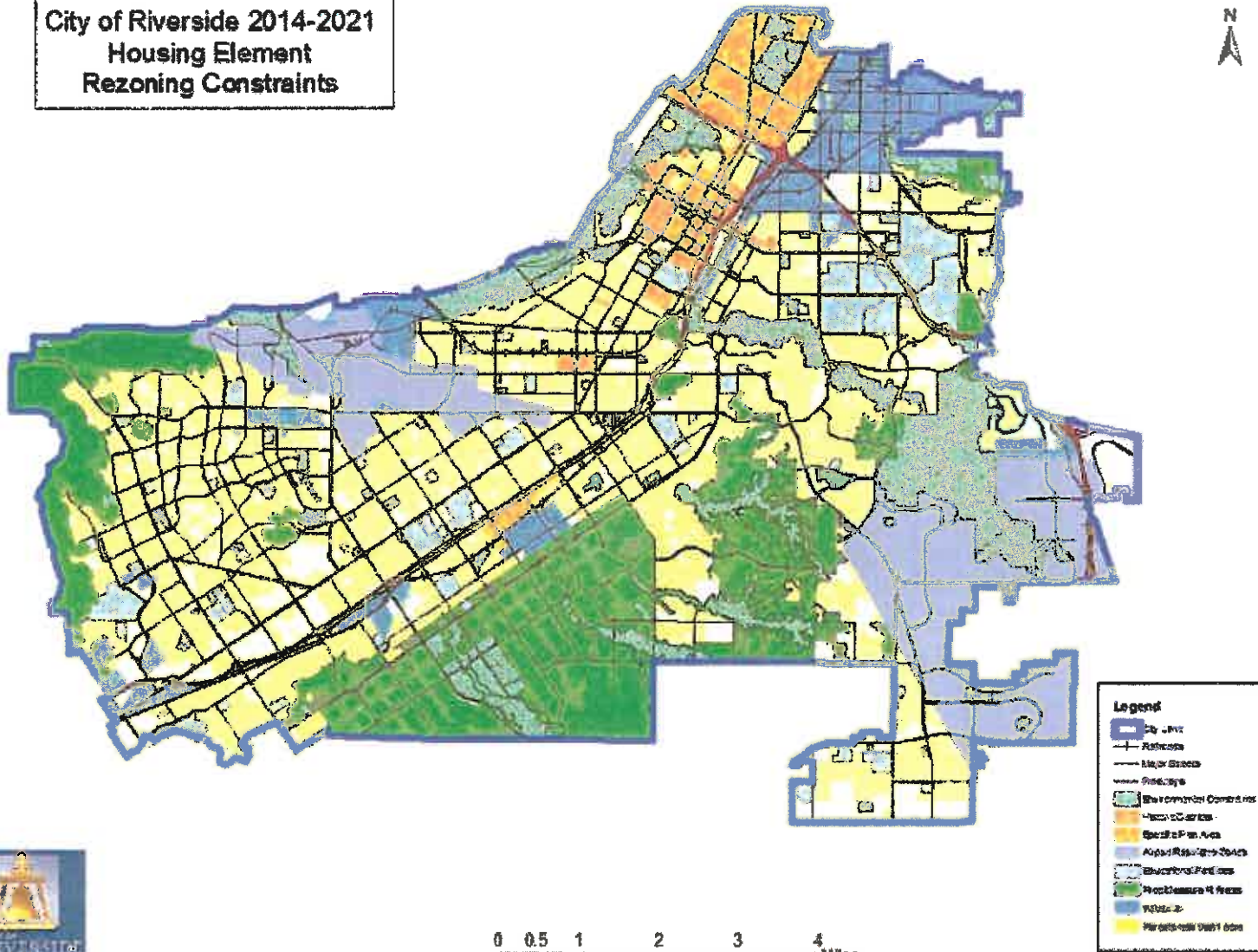
In conclusion, there are 22 sites that are completely undeveloped, which would accommodate 2,021 units. Of the 22 sites, 15 are proposed for Multi-Family Residential zoning, which could produce up to 1,296 units. The other 44 sites are made of a combination of developed and undeveloped parcels. These sites would accommodate 5,489 units, of which 26 sites units will be proposed for Multi-Family Residential, which could produce up to 2,604 units.





# APPENDIX D: REZONING PROGRAM

City of Riverside 2014-2021  
Housing Element  
Rezoning Constraints





## CANDIDATE SITES

This appendix summarizes the sites that are proposed for rezoning to implement Tool H-21. The sites are divided into four groups:

### **Group 1 – Magnolia Avenue Specific Plan**

Magnolia Avenue connects the western portion of the City to Downtown and is part of the larger ‘L-Corridor’, which also includes University Avenue. The L-Corridor is defined as a High Quality Transit Corridor in the City’s General Plan and by the Southern California Association of Governments (SCAG). Adopted in 2009, the Magnolia Avenue Specific Plan facilitates and encourages development along the corridor. Within the Magnolia Avenue Specific Plan, there are 13 sites totaling approximately 76 acres. These sites are identified as candidates for rezoning to the Mixed Use-Village (MU-V) and Mixed Use-Urban (MU-U) Zones. All but one of the candidate sites would be changed to a zone that is consistent with their existing MU-V and MU-U General Plan land use designations. The exception is a 3.37-acre parcel contained within site W5G1S12, that is currently designated in the General Plan as Medium Density Residential (MDR). One site is undeveloped and the other 12 sites are developed, with varying degree of development, ranging from sites nearly undeveloped (e.g., W6G1S01 located at Magnolia Ave. & Cochran Ave.) to sites that are largely developed (e.g., W5G1S19 at the intersection of Van Buren Blvd. and Magnolia Avenue). All 13 sites are located within the High Quality Transit Corridor and 1/4 mile of a transit stop. These sites are also in proximity to a wide variety of services and amenities, including two hospitals along Magnolia Avenue, (Kaiser Hospital and Parkview Community Hospital/Medical Center), and two private universities (California Baptist University and La Sierra University).

### ***Magnolia Avenue Specific Plan***

The Magnolia Avenue Specific Plan (MASP), adopted in 2009, is an implementation plan and component of the General Plan 2025 Program.

### ***Excerpt from Community Context Chapter of the MASP***

Land Use – “Existing land uses along Magnolia Avenue are diverse, ranging from light industrial uses at the southwestern end near the City limits, to historic residential homes at the northeastern end in the Wood Streets District. Piecemeal development has occurred along Magnolia Avenue, weakening the role and function that each district and







## APPENDIX D: REZONING PROGRAM

neighborhood plays in the City and region. While the framework still exists for identifiable districts along the corridor, the current land use pattern has blurred the distinction. In some locations, the corridor has been over-zoned for general commercial uses, resulting in under-utilized retail uses.”

Community Facilities – “Several community facilities are also located along Magnolia Avenue, including the Arlington Branch Library mentioned above, Sherman Indian School, Ramona High School, California Baptist University and the Riverside Unified School District’s Community Education Program (housed in the historic Palm Elementary School building). In addition, Magnolia Avenue and University Avenue serve as links between the City’s four higher education institutions (La Sierra University, California Baptist University, Riverside Community College and University of California at Riverside), as well as two major streets that link the community with Downtown.”

The Magnolia Avenue Specific Plan is divided into six sub-districts. The candidate sites proposed for Mixed Use zoning are located in the La Sierra and Arlington Subdistricts. The MASP sub-district context descriptions and applicable Specific Plan policies for these sub-districts are described below:

### ***Arlington District - District Context***

The Arlington District is characterized by a concentration of one and two-story, pre-1950’s retail buildings surrounded by a stable single-family neighborhood. The land use mix consists of retail commercial and office uses, the historic Arlington Branch Public Library and a small amount of multi-family housing. There are many outdated and marginalized uses, price-sensitive tenants on small parcels, and under-utilized retail buildings.

- Policy 1.3: Aggressively pursue economic revitalization, while preserving and restoring Arlington’s historic village like character and pedestrian scale. (General Plan Policy LU-37.1)
- Policy 1.6: Encourage lot consolidation, driveway consolidation, shared parking, and frontage on Magnolia Avenue for meaningful, coordinated mixed-use and commercial projects that contribute to an attractive streetscape. (General Plan Policy LU-36.3)



***La Sierra District - District Context***

La Sierra District is the westernmost district of Magnolia Avenue. It consists of the area at the westernmost City limits to Banbury Drive. This district includes portions of the La Sierra and La Sierra South Neighborhoods.

This District is characterized by a mix of land uses, including older commercial centers, residential development including mobile home parks, business park and light industrial uses, medical uses, motels, and large undeveloped parcels with frontage onto the 91 Freeway. Many of the older retail centers are underutilized, especially around La Sierra Avenue.

The General Plan 2025 and the Magnolia Avenue Specific Plan include the following Policies:

- Policy 1.2: Provide opportunities for transit-oriented, mixed use projects providing medical support office/employment, restaurants, and high-density residential near Kaiser Permanente. Emphasize ownership housing, as feasible, in this area. (General Plan Policy LU-58.3)
- Policy 1.3: Allow for increased residential and commercial densities to bring more people to the District, support transit, and complement the scale of the Kaiser facility. (General Plan Policy LU-58.6)

The following selected sites are examples of high potential developed candidate sites in Group 1.





# APPENDIX D: REZONING PROGRAM

## North of Magnolia Ave. westerly of Tyler Street (W6G1S01)

<p><b>Total Acreage:</b> 16.11 Acres</p> <p><b>Existing Zoning:</b> R-1-7000, CR, CR-SP, CR-S-2-SP, CR-S-1-X-20-SP</p> <p><b>Proposed Zoning:</b> MU-V</p> <p><b>Existing General Plan:</b> MU-V</p> <p><b>Proposed General Plan</b> MU-V</p>	
<p><b>APNs:</b> 143180028, 143180031, 143180032</p>	



This site is located on Magnolia Avenue within the Magnolia Avenue Specific Plan and Riverside’s High Quality Transit Corridor. The proposed MU-V Zoning will be consistent with the existing General Plan MU-V General Plan land use designation. The site is near a multitude of amenities, including major regional shopping areas such as the “The Galleria at Tyler” mall, numerous County services/offices, and Kaiser Hospital. The site is 90 percent undeveloped (undeveloped land & paved parking area serving no uses). The small developed portion has a 30 year old commercial building (circa 1987). This is an ideal site for future mixed use development, and as of

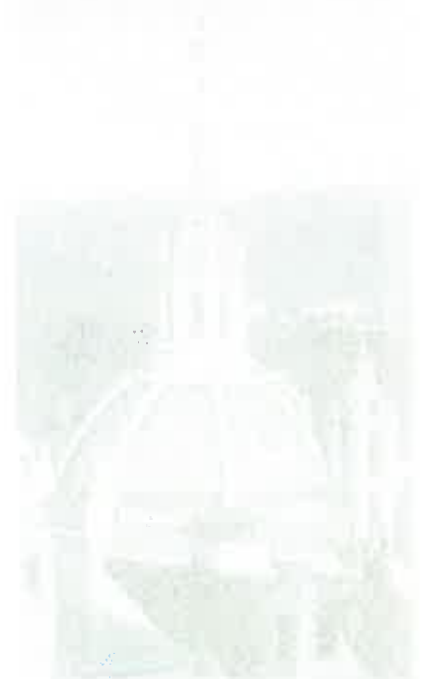
## APPENDIX D: REZONING PROGRAM



2015/2016, the site was entitled for a mixed use project that recently expired, and was a project identified in initial drafts of in Housing Element "Appendix B - Projects Entitled or Pending Entitlement" but since removed from Appendix B.



**View of Site looking north from Magnolia Avenue**





# APPENDIX D: REZONING PROGRAM

## Southeast of Intersection at Magnolia Ave. & La Sierra Ave. (W6G1S10)



**Total Acreage:**  
16.81 Acres

**Existing Zoning:**  
CR-SP, CG-SP, CG X-SP

**Proposed Zoning:**  
MU-U

**Existing General Plan:**  
MU-U

**Proposed General Plan:**  
MU-U

**APNs:**  
138470020, 138470023,  
138470024, 138470029,  
138470031, 138470035

This site is located on Magnolia Avenue within the Magnolia Avenue Specific Plan, and within Riverside’s High Quality Transit Corridor. The proposed MU-U Zoning will be consistent with the existing General Plan MU-U land use designation. The site is near the La Sierra Metrolink Station and a multitude of other amenities, such as a regional commercial located immediately east of the site, which includes a newly constructed Walgreen’s pharmacy and LA Fitness (map above shows early construction of LA Fitness foundation). These parcels to the east were not included as part of the site because they included new commercial development. While much of this site is developed, with the largest use/building being the Riverside County Department of Social Services, the site consists of large expanses of underutilized parking, partially undeveloped land and retail/restaurant uses with outdated commercial buildings. On average the buildings are 24 years old (1974-2014). Furthermore, the potential unit count the City has provided to meet the RHNA allocation only considers the undeveloped portions of the property (or 70% of site area, whichever

## APPENDIX D: REZONING PROGRAM



is less) (reference Table D-2). This is a conservative approach to calculating unit yield, as it does not count units that would be created should existing underutilized buildings be demolished or converted to housing.



**View of Site looking south from Magnolia Avenue**



**View of Site looking north from Diana Avenue near 91 Freeway/La Sierra offramp**

### **Group 2 – University Avenue Specific Plan**

University Avenue connects UCR to Downtown. University Avenue is the eastern part of the larger 'L Corridor', which also includes Magnolia Avenue. The L-Corridor is defined as a High Quality Transit Corridor in the City's General Plan and by the Southern California Association of Governments (SCAG). The area will encourage mixed-use development and capitalize upon transit-oriented development opportunities. In recent years redevelopment along University Avenue has been encouraged by major public improvements along the





## APPENDIX D: REZONING PROGRAM

corridor, such as streetscape enhancements and renovations to Bobby Bonds Park. Within the University Avenue Specific Plan, there are 6 sites totaling approximately 11 acres. These sites are identified as candidates for rezoning to the MU-V and MU-U Zones. The proposed rezoning of these candidate sites is consistent with their existing MU-U and MU-V General Plan land use designations; therefore no General Plan Amendments are necessary for the sites in this group. All 6 sites are located within the High Quality Transit Corridor, and within  $\frac{1}{4}$  mile of a transit stop. These sites are all in proximity to a wide variety of services and amenities between Downtown Riverside and the University of California, Riverside.

The following selected sites are examples of high potential developed candidate sites in Group 2.



# APPENDIX D: REZONING PROGRAM



## Northwest of Intersection at University Ave. & Iowa Ave. (W2G2S01)



<p><b>Total Acreage:</b> 3.75 Acres</p> <p><b>Existing Zoning:</b> CR-SP</p> <p><b>Proposed Zoning:</b> MU-U</p> <p><b>Existing General Plan:</b> MU-U</p> <p><b>Proposed General Plan:</b> MU-U</p>
<p><b>APNs:</b> 250190036, 250190040, 250190042</p>

This aging and underutilized commercial site is located at the intersection of two major collector roadways within Riverside’s High Quality Transit Corridor. The site size and location provides an ideal opportunity for mixed use development. The site is occupied by existing restaurants with a substantial area of the site consisting of underutilized surface parking (approximately 70 percent of site undeveloped/surface parking). On average, the age of the buildings is 31 years (1963-2002). The site is located very close to the University of California Riverside, within an area that has seen new development in recent years, including the University Palms mixed-use student housing project, which is located across the street from the site on the south side of University Avenue. Two other student housing complexes are the Grand Marc and University Village Apartments located to the north and east of this site, respectively. The proposed MU-U Zone will be consistent with the existing MU-U General Plan land use designation, and is a prime opportunity for mixed use in the







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future. As with the previously described Magnolia Avenue Specific Plan site (W6G1S10), the potential unit count the City has provided to meet the RHNA allocation only considers the undeveloped portions of the property (reference Table D-2); which is a conservative approach to calculating unit yield since it does not account for units that could be attributed to the demolition of existing buildings.



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**View of Site looking north from University Avenue**



**View of Site looking west from Iowa Avenue**





# APPENDIX D: REZONING PROGRAM

## Northwest of Intersection at Cranford Ave. & University Ave. (W2G2S04)

<p><b>Total Acreage:</b> 2.05 Acres</p> <p><b>Existing Zoning:</b> CR-SP</p> <p><b>Proposed Zoning:</b> MU-V</p> <p><b>Existing General Plan:</b> MU-U</p> <p><b>Proposed General Plan:</b> MU-U</p>
<p><b>APNs:</b> 250170005, 250170040</p>



This commercial site is located along University Avenue, a major collector road within Riverside’s High Quality Transit Corridor. The site is occupied by two auto related uses, including an Avis Rent-A-Car business and a tire shop. This is located close to the University of California Riverside, within an area that has seen new development in recent years, including the University Palms mixed-use student housing project on University Avenue, as well as other nearby student housing developments. The proposed Mixed Use Village (MU-V) Zone is consistent with the existing MU-V General Plan land use designation, and is prime opportunity for mixed commercial and residential uses in the future. The average age of the buildings on this site is 24 years (1992-1995).



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**View of Site looking west from Cranford Avenue**



**View of Site looking north from University Avenue**





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### **Group 3 – Candidate Sites not within a Specific Plan Proposed for Rezoning to Mixed Use**

For areas not within the two specific plan areas mentioned above, there are seven sites totaling approximately 74 acres. These sites are identified as candidates for rezoning to the MU-V and MU-U Zones. Five sites within this group would become consistent with their existing MU-U or MU-V General Plan land use designations.

The following selected sites are examples of high potential, developed candidate sites in Group 3.



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## Kmart Site - Northwest of Intersection at Iowa Ave. & Blaine St. (W1G3S11)



<p><b>Total Acreage:</b> 16.14 Acres</p> <p><b>Existing Zoning:</b> CR</p> <p><b>Proposed Zoning:</b> MU-V</p> <p><b>Existing General Plan:</b> C</p> <p><b>Proposed General Plan</b> MU-V</p>
<p><b>APNs:</b> 250080002, 250080006, 250080009, 250080018, 250080019</p>

This site is an older underutilized commercial center located along a major collector roadway, which provides an ideal opportunity for mixed use development. K-Mart, the largest anchor tenant of the center, closed within the last year, which has created a substantial vacancy in an outdated building (note the “store closing banner in the photo below). This site is located close to the University of California Riverside, within an area that has seen new development in recent years. In particular, the “Sterling Iowa” student apartments was built on the east side of Iowa Avenue, immediately across the street from this site. The average age of the buildings on this site is 26 years (1972-2002). Existing structures exhibit discoloration of paint as a result of





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painted over graffiti, neglected landscaping maintenance, barred windows, poor signage, and exposed electrical conduit. The owners of the K-mart property have expressed interest in mixed use zoning, multi-family housing, and the redevelopment of the property.



**View of Site looking southwest from Iowa Avenue**



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## West of La Sierra Ave. & North of Indiana Ave. (W5G3S01)



**Total Acreage:**  
12.44 Acres  
**Existing Zoning:**  
R-1-7000  
**Proposed Zoning:**  
MU-U  
**Existing General Plan:**  
MU-U  
**Proposed General Plan:**  
MU-U

**APNs:**  
138030024, 138030028

While the La Sierra Metrolink Station site is not located in the Magnolia Avenue Specific Plan, the Magnolia Avenue Specific Plan La Sierra District Context Statement describes the site (located on the south side of the freeway at La Sierra Avenue) as “an opportunity to support the major commercial and institutional uses along Magnolia Avenue. While there is currently no pedestrian connection over the freeway from Magnolia Avenue to the Metrolink Station, nor is there any shuttle service (transit connection), the Station would be greatly complimented by mixed use development at the La Sierra/Magnolia intersection, as its design elements can help promote a pedestrian friendly environment and alleviate traffic congestion.”

Multi-Family Residential TOD development is currently being developed on the property immediately adjacent to the La Sierra Station site. The existing surface parking lot that serves the La Sierra







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Station is a prime opportunity for a transit oriented podium style mixed-use project, with a shared-use parking structure(s) that can serve the needs of future residents and Metrolink commuters.



**View of Site from Indiana Avenue/east end of site looking northwest**



**View of Site from Indiana Avenue/east end of site looking northwest**

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**View of Site from corner of La Sierra and Indiana Avenues  
looking northeast**





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## Southeast Intersection at California Ave. and Monroe St. (W5G3S08)

<p><b>Total Acreage:</b> 7.70 Acres</p> <p><b>Existing Zoning:</b> CR</p> <p><b>Proposed Zoning:</b> MU-V</p> <p><b>Existing General Plan:</b> MU-V</p> <p><b>Proposed General Plan:</b> MU-V</p>
<p><b>APNs:</b> 193261027, 193261029</p>



This site is located along a collector roadway (California Avenue) within Riverside’s High Quality Transit Corridor, not far from Magnolia Avenue. The site is partially developed (approximately 70 percent undeveloped). The proposed MU-V Zone is consistent with the existing MU-V General Plan land use designation. The existing developed portion of the site has been updated with recent façade renovations, and includes a Maxi-Foods grocery store (anchor tenant) along with other small retail uses. However, the remaining undeveloped portions of the site along with the existing MU-V General Plan land use make this site a prime opportunity for future mixed use development that could be integrated with the existing commercial.



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**View of Site looking southeast from the intersection of  
California Avenue and Monroe Street**





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### **Group 4 – Candidate Sites Proposed for Rezoning to Multi-Family Residential**

The sites within Group 4 satisfy the section of housing-element law that requires at least 50 percent of the needed housing units to be accommodated on sites zoned for residential uses, and for which nonresidential uses or mixed-uses are not permitted. There are 40 sites in this group, totaling approximately 150 acres, and they are identified as candidates for rezoning to the R-3-1500 Multiple-Family Residential or R-4 Multiple-Family Residential Zones. All but four (4) sites within this group will require a General Plan Amendment to the High Density Residential (HDR) or Very High Density Residential (VHDR) land use designations. Potential units included for partially developed parcels in the *Multi-Family Residential* group of sites in Table D-2 were calculated based on the percent of the site that is developable. As a result, the identified unit yield is a conservative number, as it does not account for units that could be constructed if an existing outdated building was demolished or converted to housing.

The following selected sites are examples of high potential partially developed candidate sites in Group 4.



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## Southeast of Intersection at Pine St. & Tesquesquite Ave. (W1G4S43)



**Total Acreage:**  
 4.10  
**Existing Zoning:**  
 CR  
**Proposed Zoning:**  
 R-4  
**Existing General Plan:**  
 MU-V  
**Proposed General Plan**  
 VHDR

**APNs:**  
 217040013, 217050015,  
 217100002

This aging and underutilized commercial center is located within Riverside’s High Quality Transit Corridor, and is near the recently expanded Riverside Community Hospital, other medical facilities, retail and services on Market Street/Magnolia Avenue, and Ryan Bonaminio Park, which is a major recreation facility (i.e., it contains ball fields, a community garden, and connections to the Santa Ana River and Mount Rubidoux trails). The site is walking distance from Downtown Riverside and Riverside Community College. The anchor tenant space within this center was formerly occupied by a supermarket. The photos below, taken mid-day, illustrate the lack of afternoon activity, with few cars occupying the large surface lot area. The older paved area located at the westerly portion of the property is virtually unutilized.

The average age of buildings on the site is 25 years (1992-1993). Existing structures exhibit discoloration of paint as a result of painted





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over graffiti, neglected landscaping maintenance, barred windows, poor signage, and exposed electrical conduit.



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**View of Site looking southwest near the intersection of Pine St. & Tequesquite Ave.**



**View of Site looking east from Pine Street/westerly corner of sites**

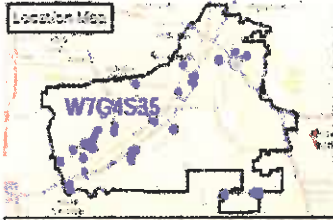






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## Northwest of Intersection at Arlington Ave. & Van Buren Blvd. (W7G4S35)



**Total Acreage:**  
5.42 Acres  
**Existing Zoning:**  
CR, CG, CR-AP  
**Proposed Zoning:**  
R-4  
**Existing General Plan:**  
C  
**Proposed General Plan**  
VHDR

**APNs:**  
155290012, 155290013,  
155290016, 155290017

This site is located at the intersection of two major collectors (Van Buren Boulevard and Arlington Avenue), where there are many nearby shopping opportunities, primarily along Van Buren Blvd. The site consists of a few small businesses that have developed in a piece-meal manner. The site (as shown) excludes small adjacent parcels consisting of a restaurant, flower shop and an automotive use. If consolidated with the larger parcels, these could contribute to a more meaningful development. The parcels that were included in the site are substantially underutilized, and only small portions of property are developed. The buildings, on average, are 42 years old (1957-1994). The existing buildings are outdated, and the street frontage lacks improvements and amenities, such as sidewalks and landscaping. This is a prime opportunity for a new multi-family development project.

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**View of Site looking northeast from location near the intersection of Arlington Ave. & Van Buren Blvd.**



**View of Site looking north from Arlington Ave. - westerly portion of site**





## APPENDIX D: REZONING PROGRAM

### SITE TABLES

Table D-1 summarizes the sites by ward. Figures D-1 to D-26, D-28 to D-59 and D-61 to D-68 show the locations of these areas. Table D-2 is a list of the parcels to be included in the proposed candidate sites, along with the parcel sizes and the realistic (conservative) potential yield of residential units.

TABLE D-1  
REZONE PROGRAM SITES SUMMARY

	MASP (units)	UASP (units)	MU (units)	MFR (units)	Total
Ward 1			316	227	543
Ward 2		298		67	365
Ward 3				259	259
Ward 4				624	624
Ward 5	614		917	659	2,190
Ward 6	944		140	1,384	2,468
Ward 7			193	399	592
<b>Total</b>	<b>1,558</b>	<b>298</b>	<b>1,566</b>	<b>3,619</b>	<b>7,041</b>
Small lots (all wards)	129		58	281	468
<b>Total with small lots</b>	<b>1,687</b>	<b>298</b>	<b>1,624</b>	<b>3,900</b>	<b>7,509</b>

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TABLE D-2  
REZONING CANDIDATE SITES

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning	
<b>Ward 5 Sites</b>																						
WSG1502 - Entire Block S. Side of Mag. Ave. Bet. Harrison & Muir - dozens of small parcels many of which are occupied by SFRs & numerous small non-conforming older commercial establishments fronting Mag. Ave.	234080035	2.94	MU-V	CR SP & R-1-700 SP	MU-V	MU-V	30	61	Undeveloped land and marginal urban agriculture	5	95.98%	Undeveloped	No	Yes at the very front of site	High Liquefaction	No			Yes	Yes	Yes	
	234080033	1.60	MU-V	R-1-7000	MU-V	MU-V	30	33	Mostly Undeveloped land with a structure	5	96.84%	Undeveloped	No	No	—	No	Only structure is a shed					
	234080032	2.35	MU-V	R-1-7000	MU-V	MU-V	30	49	Mostly Undeveloped land & a single-family dwelling	5	97.86%	Developed	No	No	—	No	2001	Good				
	234091012	1.10	MU-V	R-1-7000	MU-V	MU-V	30	23	Undeveloped land	5	100.00%	Undeveloped	No	No	High Liquefaction	No						
	234091013	1.03	MU-V	R-1-7000	MU-V	MU-V	30	21	Single-family dwelling and accessory structures on large underutilized lot	5	89.35%	Developed	No	No	—	No	2002	Good				
	234080034	0.69	MU-V	R-1-7000	MU-V	MU-V	30	14	Several structures - use unknown but presumed to be associated with urban ag. on adjacent parcel	5	56.88%	Undeveloped	No	No	High Liquefaction	No						
	234080031	0.61	MU-V	R-1-7000	MU-V	MU-V	30	12	Undeveloped land - portions occupied by vehicles	5	100.00%	Undeveloped	No	No	High Liquefaction	No						
Units greater than 16		9.02						187														
Units less than 16		1.30						26														
TOTAL - WSG1502		18.32						213			Percent of Overall Site Developable: 70%						Average Age of Buildings on Site: 15 years					
WSG1511 - East Side of Van Buren Ave. north side of 60 FWY	233062040	3.53	MU-V	CR SP	MU-V	MU-V	30	74	Undeveloped land	5	100.00%	Undeveloped	No	No	Very High Liquefaction	No			Yes	Yes	Yes	
Units greater than 16		3.53						74														
Units less than 16		0.00						0														



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Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of Overall Site Developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
TOTAL - W5G1512		3.52						74			Percent of Overall Site Developable: 70%										
W5G1512 - West Side of Van Buren Ave. north side of 60 FWY	234150046	2.78	MU-V	CR SP	MU-V	MU-V	30	58	Underutilized residential structure with Undeveloped land	5	96.85%	Developed	No	No	-	No	2011	Good	Yes	Yes	Yes
	234150041	0.81	MU-V	CR SP / R-1-7000	MU-V	MU-V	30	17	Underutilized commercial	5	89.11%	Developed	No	No	-	No	2001	Good			
	234140019	3.37	MDR	R-1-7000	MU-V	MU-V	30	70	Undeveloped Land	5	100.00%	Undeveloped	No	No	Very High Liquefaction	No					
	234150040	0.53	MU-V	CR SP	MU-V	MU-V	30	11	Underutilized Commercial parking	5	89.97%	Undeveloped	No	No	-	No					
	234150039	0.33	MU-V	CR SP	MU-V	MU-V	30	6	Underutilized commercial building	5	73.69%	Developed	No	No	-	No					
Units greater than 16		6.98						145													
Units less than 16		0.86						17													
TOTAL - W5G1512		7.47						162			Percent of Overall Site Developable: 70%										
W5G1513 - North side of Magnolia between Donald & Jackson	191232034	1.77	MU-V	CR SP / R-1-7000	MU-V	MU-V	30	37	Offices	5	72.55%	Developed	No	No	-	No	1996	Good	Yes	Yes	Yes
	191232037	2.46	MU-V	CR SP	MU-V	MU-V	30	51	Commercial - Dollar Tree Store some Undeveloped commercial space	5	68.15%	Developed	No	No	-	No	1965	Poor			
Units greater than 16		4.23						88													
Units less than 16		0.00						0													
TOTAL - W5G1513		4.23						88			Percent of Overall Site Developable: 69%										
W5G1514 - North side of Magnolia Ave. between Stotts St & Donald Ave.	191331031	1.97	MU-V	CR SP	MU-V	MU-V	30	41	Commercial - Grocery Store	5	67.68%	Developed	No	No	-	No	2000	Good	Yes	Yes	Yes
	Units greater than 16		1.97					41													
Units less than 16		0.00						0													

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Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
<b>TOTAL - WSG1514</b>		1.97						4			Percent of Overall Site Developable 10%						Average Age of Buildings on Site 17 years				
WSG1515 - North side of Magnolia Ave. between Everest Ave. & Stotts St.	191332049	0.93	MU-V	CR SP	MU-V	MU-V	30	19	Aging strip commercial	5	65.47%	Developed	No	No	--	No	1959	Poor	Yes	Yes	Yes
Units greater than 16		0.93						19													
Units less than 16		0.00						0													
<b>TOTAL - WSG1515</b>		0.93						19			Percent of Overall Site Developable 65%						Average Age of Buildings on Site 58 years				
WSG1516 - S. side of Magnolia between Everest Ave. & Stotts St.	233040023	1.50	MU-V	CR SP	MU-V	MU-V	30	31	Aging underutilized strip commercial	5	64.92%	Developed	No	No	--	No	Circa 1957	Fair	Yes	Yes	Yes
	233040024	0.34	MU-V	CR SP	MU-V	MU-V	30	7	Undeveloped commercial building & parking	5	63.92%	Developed	No	No	--	No	Circa 1957	Fair			
Units greater than 16		1.50						31													
Units less than 16		0.34						7													
<b>TOTAL - WSG1516</b>		1.84						38			Percent of Overall Site Developable 64%						Average Age of Buildings on Site 60 years				
WSG1517 - S. side of Magnolia between McKenzie & Everest Ave.	233031001	0.27	MU-V	CR SP	MU-V	MU-V	30	5	Strip commercial center parking	5	100.00%	Undeveloped	No	No	--	No			Yes	Yes	Yes
	233031003	0.31	MU-V	CR SP	MU-V	MU-V	30	6	Aging strip commercial	5	21.06%	Developed	No	No	--	No	Circa 1957	Fair			
	233031013	0.14	MU-V	CR NC-SP	MU-V	MU-V	30	2	Parking lot	5	100.00%	Undeveloped	No	No	--	No					
	233031014	0.13	MU-V	CR NC-SP	MU-V	MU-V	30	2	Parking lot	5	100.00%	Undeveloped	No	No	--	No					
	233031012	0.19	MU-V	CR NC-SP	MU-V	MU-V	30	3	Parking lot	5	100.00%	Undeveloped	No	No	--	No					
	233031004	0.24	MU-V	CR SP	MU-V	MU-V	30	5	Commercial building	5	9.40%	Developed	No	No	--	No	Circa 1981	Fair			
	233031005	0.12	MU-V	CR SP	MU-V	MU-V	30	2	Parking lot	5	37.00%	Undeveloped	No	No	--	No					
Units greater than 16		0.00						0													
Units less than 16		1.48						25													
<b>TOTAL - WSG1517</b>		1.48						25			Percent of Overall Site						Average Age of				



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Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning	
W5G1518 - East side of Van Buren northerly of Magnolia		191312021	1.40	MU-V	CR 5P	MU-V	MU-V	30	29	Underutilized Commercial - RV Rental/storage	5	58.79%	Developed	No	No	-	No	Circa 1948	Good	Yes	Yes	Yes
		191312020 <sup>1</sup>	0.71	MU-V	CR 5P	MU-V	MU-V	30	14	Underutilized Commercial - RV Rental/storage	5	52.01%	Developed	No	No	-	No	Circa 1956	Fair			
		191312010 <sup>1</sup>	0.42	MU-V	CR 5P	MU-V	MU-V	30	8	Underutilized Commercial - RV Rental/storage	5	100.00%	Undeveloped	No	No	-	No					
		191312002 <sup>1</sup>	0.42	MU-V	CR 5P	MU-V	MU-V	30	8	Underutilized Commercial - RV Rental/storage	5	100.00%	Undeveloped	No	No	-	No					
Units greater than 16			1.40					29														
Units less than 16			1.59					30														
TOTAL - W5G1518			2.15					30														
TOTAL - WARD 5 (all parcels)			14.99					311														
W6G1501 - Magnolia Square		143180032 <sup>4</sup>	3.65	MU-V	CR 5P	MU-V	MU-V	30	76	Undeveloped & underutilized parking lot	6	100.00%	Undeveloped	No	No	Very High Liquefaction	No		Yes	Yes	Yes	
		143180028 <sup>4</sup>	11.85	MU-V	CR S-2-SP	MU-V	MU-V	30	248	Undeveloped & underutilized parking lot	6	100.00%	Undeveloped	No	No	Very High Liquefaction	No					
		143180031 <sup>4</sup>	0.61	MU-V	CR S-1-X-20-SP	MU-V	MU-V	30	12	Commercial - nonconforming/ underutilized	6	56.04%	Developed	No	No	-	No	Circa 1987	Good			
Units greater than 16			15.45					324														
Units less than 16			0.61					12														
TOTAL - W6G1501			15.11					336														
W6G1505 - North side of Magnolia entire		142293028	1.35	MU-V	CR 5P	MU-V	MU-V	30	28	Undeveloped land	6	100.00%	Undeveloped	No	No	-	No			Yes	Yes	Yes

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Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed <sup>2</sup>	Flooding, wetlands considerations <sup>3</sup>	Slope considerations <sup>4</sup>	Soil conditions considerations <sup>5</sup>	Other environmental considerations <sup>6</sup>	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
Block between Burge & Jones	142292007	1.94	MU-V	CR SP	MU-V	MU-V	30	40	Underutilized Commercial	6	62.27%	Developed	No	No	—	No	Circa 1974	Fair			
	142293024	1.15	MU-V	CR SP	MU-V	MU-V	30	24	Underutilized Commercial	6	66.41%	Developed	No	No	—	No	1984	Good			
	142293023	1.15	MU-V	CR SP	MU-V	MU-V	30	24	Underutilized Commercial	6	66.58%	Developed	No	No	—	No	1984	Fair			
Units greater than 16		5.59						116													
Units less than 16		0.00						0													
TOTAL - W6G1507		5.59						116			Percent of Overall Site Developable: 70%						Average Age of Building on Site: 37 years				
W6G1507 - North side of Magnolia east of Polk St.	143290007	0.33	MU-V	CR SP	MU-V	MU-V	30	6	Underutilized Commercial	6	81.20%	Developed	No	No	—	No	Pre 1948	Fair	Yes	Yes	Yes
	143290008	0.33	MU-V	CR SP	MU-V	MU-V	30	6	Underutilized Commercial	6	72.31%	Developed	No	No	—	No	Pre 1948	Poor			
	143290006	0.83	MU-V	CR SP	MU-V	MU-V	30	17	Underutilized Commercial	6	86.86%	Developed	No	No	—	No	1967	Fair			
	143290015	0.96	MU-V	CR SP	MU-V	MU-V	30	20	Underutilized Commercial	6	78.65%	Developed	No	No	—	No	1986	Fair			
Units greater than 16		1.79						37													
Units less than 16		0.66						12													
TOTAL - W6G1507		2.45						49			Percent of Overall Site Developable: 79%						Average Age of Building on Site: 56 years				
W6G1510 - Southeast corner of La Sierra & Magnolia	138470031	1.71	MU-U	CG X-SP	MU-U	MU-U	40	47	Underutilized Commercial - Vacant building	6	87.94%	Developed	No	No	—	No	2014	Good	Yes	Yes	Yes
	138470029	8.53	MU-U	CG X-SP	MU-U	MU-U	40	238	Underutilized Commercial - County Dept. of Social Services & underutilized surface parking	6	60.87%	Developed	No	No	—	No	Circa 1974	Good			
	138470035	3.56	MU-U	CR SP	MU-U	MU-U	40	99	Parking lot	6	100.00%	Undeveloped	No	No	—	No					
	138470020	1.15	MU-U	CR SP	MU-U	MU-U	40	32	Vacant commercial building	6	87.56%	Developed	No	No	—	No		Good			
	138470024	0.55	MU-U	CG-SP	MU-U	MU-U	40	15	Undeveloped land	6	100.00%	Undeveloped	No	No	High Liquefaction	No					
	138470023	1.35	MU-U	CG-SP	MU-U	MU-U	40	36	Undeveloped land	6	100.00%	Undeveloped	No	No	High Liquefaction	No					
Units greater than 16		16.81						467													
Units less than 16		0.00						0													





APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
TOTAL - W2G2501		11.81						467			Percent of Overall Site Developable 100%						Average Age of Building on Site 33 years				
TOTAL - W2G2501 (Excluding parcels too small to yield 16 units)		11.81						467													
TOTAL - WARD 2 (All Parcels)		40.70						1100													
TOTAL MASP Sites (Excluding parcels too small to yield 16 units)		69.24						1,358													
TOTAL MASP Sites		69.24						1,358													
Ward 2 Sites																					
W2G2501 - Cask-N-Cleaver	250190040	0.89	MU-U	CR SP	MU-U	MU-U	40	24	Underutilized Commercial/restaurant	2	83.03%	Developed	No	No	-	No	1993	Good	Yes	Yes	Yes
	250190036	0.60	MU-U	CR SP	MU-U	MU-U	40	16	Underutilized Commercial/restaurant	2	77.67%	Developed	No	No	-	No	1963	Good			
	250190042	2.26	MU-U	CR SP	MU-U	MU-U	40	63	Underutilized Commercial/restaurant parking	2	78.75%	Undeveloped	No	No	-	No					
Units greater than 16		3.75						103													
Units less than 16		0.00						0.00													
TOTAL - W2G2501		3.75						103			Percent of Overall Site Developable 100%						Average Age of Building on Site 33 years				
W2G2502	253020012	1.04	MU-U	CR SP	MU-U	MU-U	40	29	Undeveloped land	2	100.00%	Undeveloped	No	No	No	No			Yes	Yes	Yes
Units greater than 16		1.04						29													
Units less than 16		0.00						0													
TOTAL - W2G2502		1.04						29			Percent of Overall Site Developable 100%										
W2G2503 - N/E corner of Ottawa & University	211182026	0.82	MU-V	CR SP	MU-V	MU-V	30	17	Undeveloped land	2	94.49%	Undeveloped	No	No	No	No			Yes	Yes	Yes
Units greater than 16		0.82						17													
Units less than 16		0.00						0													
TOTAL - W2G2503		0.82						17			Percent of Overall Site										

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W2G2504 - N/W corner of Cranford & University	250170040	1.02	MU-U	CR SP	MU-U	MU-U	40	28	Underutilized commercial - car rental	2	80.27%	Developed	No	No	—	No	1992	Fair	Yes	Yes	Yes
	250170005	1.03	MU-U	CR SP	MU-U	MU-U	40	28	Underutilized commercial - automotive	2	70.81%	Developed	No	No	—	No	1995	Good			
Units greater than 16		2.05						56													
Units less than 16		0.00						0													
TOTAL - W2G2504		2.05						56			Percent of Overall Site Developable: 75%										
W2G2506 - E side of Chicago north of University	250170011	0.58	MU-U	CG SP	MU-U	MU-U	40	16	Undeveloped land	2	85.00%	Undeveloped	No	No	No	No			Yes	Yes	Yes
Units greater than 16		0.58						16													
Units less than 16		0.00						0													
TOTAL - W2G2506		0.58						16			Percent of Overall Site Developable: 70%										
W2G2507 - S/E corner of Iowa & University	253050002	0.86	MU-U	CR SP	MU-U	MU-U	40	24	Underutilized Commercial - Motel	2	73.75%	Developed	No	No	—	No	1992	Good	Yes	Yes	Yes
	253050012	0.96	MU-U	CR SP	MU-U	MU-U	40	26	Underutilized Commercial	2	89.86%	Developed	No	No	—	No	1992	Good			
	253050023	0.99	MU-U	CR SP	MU-U	MU-U	40	27	Strip commercial	2	73.43%	Developed	No	No	—	No	1997	Good			
Units greater than 16		2.81						77													
Units less than 16		0						0													
TOTAL - W2G2507		2.81						77			Percent of Overall Site Developable: 70%										
TOTAL - WARD 2 (Excludes parcels too small to yield 16 units)		11.05						298													
TOTAL - WARD 1		11.05						298													
TOTAL UASP Sites (Excluding parcels too small to yield 16 units)		11.05						298													
TOTAL UASP Sites		11.05						298													



**APPENDIX D: REZONING PROGRAM**

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
<b>Ward 1 Sites</b>																					
W1G3511 - K-Mart Site Intersection of Iowa & Blaine	250080018	13.20	C	CR	MU-V	MU-V	30	277	Kmart site	1	97.52%	Developed	No	No	—	No	2002		No	Yes	No
	250080009 <sup>a</sup>	0.51	C	CR	MU-V	MU-V	30	10	Parking lot	1	100.00%	Undeveloped	No	No	—	No					
	250080019 <sup>a</sup>	0.51	C	CR	MU-V	MU-V	30	10	Underutilized comm. bldg.	1	84.10%	Developed	No	No	—	No	1997	Good			
	250080006	0.84	C	CR	MU-V	MU-V	30	17	Restaurant	1	87.72%	Developed	No	No	—	No	1994	Good			
	250080002	1.08	C	CR	MU-V	MU-V	30	22	Store, retail outlet	1	92.45%	Developed	No	No	—	No	1972	Fair			
Units greater than 16		15.12						316													
Units less than 16		1.02						20													
TOTAL W1G3511		16.14						336			Percent of Overall Site Developable 79%						Average Age of Building on Site 1974				
<b>Ward 2 Sites</b>																					
TOTAL WARD 2 (All Sites)		16.14						336													
<b>Ward 5 Sites</b>																					
W5G3501 - La Sierra Metrolink Station - La Sierra & Indiana within the Riverwalk Vista SP	138030024	4.69	MU-U	R-1-7000	MU-U	MU-U	40	131	Undeveloped Land	5	100.00%	Undeveloped	No	No	No	No			Yes	Yes	Yes
	138030028	7.75	MU-U	R-1-7000	MU-U	MU-U	40	216	Surface parking	5	100.00%	Undeveloped	No	No	—	No					
Units greater than 16		12.44						347													
Units less than 16		0.00						0													
TOTAL W5G3501		12.44						347			Percent of Overall Site Developable 100%										
W5G3508 - Intersection of California and Monroe	193261027	3.08	MU-V	CR	MU-V	MU-V	30	64	Underutilized parking area	5	100.00%	Undeveloped	No	No	—	Airport Compatibility D			Yes	Yes	Yes
	193261029	4.62	MU-V	CR	MU-V	MU-V	30	97	Underutilized/ mostly Undeveloped	5	86.89%	Undeveloped	No	No	High Liquefaction	Airport Compatibility D					
Units greater than 16		7.70						161													
Units less than 16		0.00						0													
TOTAL W5G3508		7.70						161			Percent of Overall Site Developable 93%										

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
W5G3512 - Van Buren Drive-In Site	233190001 <sup>4</sup>	19.49	HDR	R-1-7000	MU-V	MU-V	30	409	Drive-in movie theater	5	80.00%	Developed	No	No	—	no	1964	Poor	No	Yes	No
	233190004 <sup>4</sup>	0.46	C	R-1-7000	MU-V	MU-V	30	9	Drive-in movie theater	5	80.00%	Developed	No	No	—	no	2000	Vacant Building			
	233150017 <sup>2</sup>	0.30	C	R-1-7000	MU-V	MU-V	30	6	Drive-in movie theater	5	80.00%	Developed	No	No	—	no	2000	Vacant Building			
	233160022 <sup>2</sup>	0.55	C	R-1-7000	MU-V	MU-V	30	11	Drive-in movie theater	5	80.00%	Developed	No	No	—	no	2000	Vacant Building			
Units greater than 16		19.49					409														
Units less than 16		1.31					26														
TOTAL - W5G3512		20.80					435				Percent of Overall Site Developable = 70%						Average Age of Buildings on Site = 15 years				
TOTAL - WARD 5 (all parcels)		40.54					543														
Ward 6 Sites																					
W6G3502 - Five Points - La Sierra & Hole Ave.	146261019	3.84	MU-V	CR-S1	MU-V	MU-V	30	80	Underutilized commercial & mostly Undeveloped land	6	95.59%	Undeveloped	No	No	High Liquefaction	No			No	Yes	Yes
Units greater than 16		3.84					80														
Units less than 16		0.00					0														
TOTAL - W6G3502		3.84					80				Percent of Overall Site Developable = 70%										
W6G3503 - Five Points - E. Side of La Sierra south of Miner	142040001	2.89	MU-V	CR-S1-X	MU-V	MU-V	30	60	Underutilized strip commercial	6	63.95%	Developed	No	No	—	No	1987	Good	No	Yes	Yes
Units greater than 16		2.89					60														
Units less than 16		0.00					0														
TOTAL - W6G3503		2.89					60				Percent of Overall Site Developable = 70%						Average Age of Buildings on Site = 30 years				
TOTAL - WARD 6 (all parcels)		6.73					140														



APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current CP	Current Zoning	Proposed CP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>a</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
<b>TOTAL WARD 6 (All)</b>																					
<b>Ward 7 Sites</b>																					
W7G3514 - Five Points - West side of La Sierra south of Pierce	146220035 <sup>a</sup>	0.35	MU-V	RE	MU-V	MU-V	30	7	Underutilized strip commercial	7	77.59%	Developed	No	No	-	No	1996	Good	Yes	Yes	Yes
	146220025 <sup>a</sup>	0.24	MU-V	CG	MU-V	MU-V	30	5	Underutilized strip commercial	7	23.49%	Developed	No	No	-	No	1997	Good			
	146220008	1.58	MU-V	CG	MU-V	MU-V	30	33	Underutilized/ mostly Undeveloped	7	96.29%	Developed	No	No	-	No	Pre 1998	Good			
	146220036 <sup>a</sup>	5.78	MU-V	CG	MU-V	MU-V	30	121	Underutilized strip commercial	7	96.20%	Developed	No	No	-	No	Circa 1987	Good			
	146210022	1.89	MU-V	CR&CF	MU-V	MU-V	30	39	Underutilized strip commercial	7	95.28%	Developed	No	No	-	No	Circa 1987	Good			
Units greater than 16		9.25						193													
Units less than 16		0.59						72													
TOTAL - W7G3514 <sup>a</sup>		5.84						165			Percent of Overall Site Developable 100%						Average Age of Building on Site 37 years				
<b>TOTAL WARD 7 (All)</b>																					
<b>TOTAL MU Sites (Excluding parcels too small to yield 16 units)</b>																					
<b>TOTAL MU Sites (All)</b>																					
<b>TOTAL MU Sites (Including parcels too small to yield 16 units)</b>																					
<b>WARD 1 Sites</b>																					
W1G4S01 - Southeast corner of Massachusetts & Iowa	250281001	0.92	HDR	R-1-7000	VHDR	R-4	35	32	Undeveloped land	1	100.00%	Undeveloped	No	No	No	No			No	No	No
Units greater than 16		0.92						32													
Units less than 16		0.00						0													
TOTAL - W1G4S01		0.92						32			Percent of Overall Site Developable 100%										
W1G4S02 - NE corner of Brooks & Olivewood	219102002 <sup>a</sup>	0.13	HDR	R-1-7000	HDR	R-3-1500	25	2	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	-	No			Yes	No	Yes

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
	219102003 <sup>1</sup>	0.17	HDR	R-1-7000	HDR	R-3-1500	25	3	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102005 <sup>1</sup>	0.16	HDR	R-1-7000	HDR	R-3-1500	25	3	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102006 <sup>1</sup>	0.17	HDR	R-1-7000	HDR	R-3-1500	25	3	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102010 <sup>1</sup>	0.17	HDR	R-1-7000	HDR	R-3-1500	25	3	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102012 <sup>1</sup>	0.13	HDR	R-1-7000	HDR	R-3-1500	25	2	Parking lot	1	100.00%	Undeveloped	No	significant slope along front	--	No					
	219102013 <sup>1</sup>	0.12	HDR	R-1-7000	HDR	R-3-1500	25	2	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102017 <sup>1</sup>	0.09	HDR	R-1-7000	HDR	R-3-1500	25	1	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102009 <sup>1</sup>	0.15	HDR	R-1-7000	HDR	R-3-1500	25	2	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102016 <sup>1</sup>	0.23	HDR	R-1-7000	HDR	R-3-1500	25	4	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102007 <sup>1</sup>	0.11	HDR	R-1-7000	HDR	R-3-1500	25	2	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
	219102004 <sup>1</sup>	0.18	HDR	R-1-7000	HDR	R-3-1500	25	3	Parking lot	1	75.00%	Undeveloped	No	significant slope along front	--	No					
Units greater than 16		0.00						0													
Units less than 16		1.87						30													
<b>TOTAL - WTC#903</b>		<b>1.31</b>						<b>30</b>			<b>Percent of Overall Site Developable 75%</b>										



APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>a</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W1G4503 - S/E corner of City College Dr. & Ramona	219163002	1.11	HDR	PF & R-1-7000	HDR	R-3-1500	25	23	Parking lot	1	85.00%	Undeveloped	No	24% slope	—	No			Yes	No	Yes
Units greater than 16		1.11						23													
Units less than 16		0.00						0													
TOTAL W1G4503		1.11						23			Percent of Overall Site Developable: 85%										
W1G4504 - Olivewood & Panorama	219175015	1.31	HDR	R-1-7000	HDR	R-3-1500	25	30	Single-family dwelling on underutilized parcel	1	94.03%	Developed	No	17% slope	—	No	1991	Fair	Yes	No	Yes
	219224002	0.73	HDR	R-3-1500	HDR	R-3-1500	25	15	Undeveloped land	1	85.00%	Undeveloped	No	17% slope	Moderate Liquefaction	Appears to long skinny parcel that provides access to back parcel. Would not otherwise be useful for anything.					
Units greater than 16		2.04						45													
Units less than 16		0.00						0													
TOTAL W1G4504		2.04						45			Percent of Overall Site Developable: 90%						Average Age of Buildings: 21 Years				
W1G4508 - SE corner of Cridge & Olivewood	219102001	0.79	PF	R-1-7000	HDR	R-3-1500	25	16	Parking lot	1	85.00%	Undeveloped	No	15% slope	—	No			Yes	No	Yes
Units greater than 16		0.79						16													
Units less than 16		0.00						0													
TOTAL W1G4508		0.79						16													
W1G4543 - Pine & Tesquequite	217040013	1.80	MU-V	CR	VHDR	R-4	35	44	Underutilized strip commercial	1	70.95%	Developed	No	No	—	No	1992	Good	Yes	No	No
	217050015	1.34	MU-V	CR	VHDR	R-4	35	38	Underutilized strip commercial	1	81.17%	Developed	No	No	—	No	1992	Good			
	217100002	1.06	MU-V	CR	VHDR	R-4	35	29	Underutilized strip commercial	1	78.28%	Developed	No	No	—	No	1993	Good			
Units greater than 16		4.10						111													
Units less than 16		0.00						0													

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed CP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
TOTAL - W2G450		4.18						23			Percent of Overall Site Developable 93%						Average Age of Buildings on Site 25 years				
TOTAL - W2G450-1 (Excluding parcels from ward boundary for units)																					
TOTAL WARD 2 (All parcels)		10.27						23													
<b>WARD 2 Sites</b>																					
W2G4530 - North Side of Linden St. between Dwight & Kansas Aves.	211111040	1.01	MDR	R-1-7000	HDR	R-3-1500	25	23	Single-family dwelling on underutilized lot	2	93.34%	Developed	No	No	—	No	Circa 1979	Poor	Yes	No	No
	211111060	0.89	MDR	R-1-7000	HDR	R-3-1500	25	22	Undeveloped land	2	100.00%	Undeveloped	No	No	No	No					
	211111037 <sup>2</sup>	0.91	MDR	R-1-7000	HDR	R-3-1500	25	22	Undeveloped land	2	100.00%	Undeveloped	No	No	No	No					
	211111054 <sup>3</sup>	0.40	MDR	R-1-7000	HDR	R-3-1500	25	10	Undeveloped land	2	100.00%	Undeveloped	No	No	No	No					
	211111053 <sup>3</sup>	0.40	MDR	R-1-7000	HDR	R-3-1500	25	10	Undeveloped land	2	100.00%	Undeveloped	No	No	No	No					
Units greater than 16		2.81						67													
Units less than 16		0.80						20													
TOTAL - W2G4530		3.61						67			Percent of Overall Site Developable 93%						Average Age of Buildings on Site 18 years				
TOTAL - W2G4530-2 (Excluding parcels from ward boundary for units)		2.81																			
TOTAL WARD 2 (All parcels)		3.61						67													
<b>WARD 3 Sites</b>																					
W3G4505 - Panorama & 91 FWY	219182004	2.54	HDR	R-1-7000	VHDR	R-4	35	88	Undeveloped land	3	100.00%	Undeveloped	No	25% slope	Moderate Liquefaction	Considerable easement			Yes	No	No
Units greater than 16		2.54						88													
Units less than 16		0.00						0													
TOTAL - W3G4505		2.54						88			Percent of Overall Site Developable 100%										
	230020017	0.80	MDR	R-1-7000	VHDR	R-4	35	24	Single-family dwelling on underutilized lot	3	85.77%	Developed	No	No	—	No	1993	Fair	Yes	Yes	No





APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W3G4509 - East Side of Jefferson S. of Magnolia Ave.	230020018	0.80	MDR	R-1-7000	VHDR	R-4	35	28	Undeveloped land	3	100.00%	Undeveloped	No	No	Moderate Liquefaction	Airport Compatibility D					
Units greater than 16		1.60						52													
Units less than 16		0.00						0													
TOTAL W3G4509		1.60						52			Percent of Overall Site Developable - 33%						Average Age of Buildings on Site: 24 years				
W3G4511 - E side of Jefferson St S of California Ave.	227130025	2.96	MDR	R-3-3000	HDR	R-3-1500	25	71	Residential structure on primarily undeveloped lot	3	95.53%	Developed	No flood hazard area but in Inundation area of two dams	No	-	None	2008		Yes	No	No
Units greater than 16		2.96						71													
Units less than 16		0.00						0													
TOTAL W3G4511		2.96						71			Percent of Overall Site Developable - 96%						Average Age of Buildings on Site: 0 years				
W3G4515 - East Side of Magnolia Ave. N. of Merrill	225052010	0.87	C	CG-SP & CR-SP	VHDR	R-4	35	30	Undeveloped land	3	100.00%	Undeveloped	No flood hazard	Western portion of site (approx. 5% of site) is a 2:1 landscaped slope along Magnolia Avenue for all parcels. Remainder is flat	Low liquefaction area	Airport ALUCP Zone E			Yes	No	No
225052009 <sup>1</sup>	0.22	C	CG-SP & CG-SP	VHDR	R-4	35	7	Undeveloped land	3	100.00%	Undeveloped	-	-	-	-	-					
225052008 <sup>1</sup>	0.33	C	CG-SP & CG-SP	VHDR	R-4	35	11	Undeveloped land	3	100.00%	Undeveloped	-	-	-	-	-					
225052027 <sup>1</sup>	0.33	C	CG-SP & CG-SP	VHDR	R-4	35	11	Undeveloped land	3	100.00%	Undeveloped	-	-	-	-	-					
225052019 <sup>1</sup>	0.47	C	CG-SP & CG-SP	VHDR	R-4	35	16	Undeveloped land	3	100.00%	Undeveloped	-	-	-	-	-					
Units greater than 16		0.87						30													
Units less than 16		1.35						45													
TOTAL W3G4515		2.22						75			Percent of Overall Site										

APPENDIX D: REZONING PROGRAM



Site	APN	Acre	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W3G4S27 - S. side of Jurupa between Essex & Chester streets	190022045*	0.79	MDR	R-1-7000	HDR	R-3-1500	25	19	Undeveloped land	3	100.00%	Undeveloped	None	No	High liquefaction area	Airport ALUCP Zone D			No	No	No
	190022044*	0.15	MDR	R-1-7000	HDR	R-3-1500	25	3	Undeveloped land	3	100.00%	Undeveloped	--	--	--	--					
Units greater than 16		0.79						19													
Units less than 16		0.15						3													
TOTAL - W3G4S27		0.94						22			Percent of Overall Site Developable: 100%										
TOTAL - WARD 3 (All Properties)		10.25						107													
<b>WARD 4 Sites</b>																					
W4G4S16 - 7351 Lincoln - Casa Blanca neighborhood	230360001	9.84	MDR	R-1-7000	HDR	R-3-1500	25	244	Mostly Undeveloped land w/ small local radio station and towers	4	99.59%	Undeveloped	No flood hazard area. Within Mary Street Dam Inundation Area	No	--	Airport ALUCP March Zone E	1956	Fair	No	Yes	No
	230351016	1.45	PF	PF	HDR	R-3-1500	25	36	Undeveloped land	4	100.00%	Undeveloped	--	--	--	--					
Units greater than 16		11.29						280													
Units less than 16		0.00						0													
TOTAL - W4G4S16		11.29						280			Percent of Overall Site Developable: 99.59%						Average Age of Buildings: 62 years				
W4G4S42	266020061	13.77	C	CR S-2X-SP	HDR	R-3-1500	25	344		4	100.00%	Undeveloped	No	12% slope	No	No			No	Yes	No
Units greater than 16		13.77						344													
Units less than 16		0.00						0													
TOTAL - W4G4S42		13.77						344			Percent of Overall Site Developable: 100%										
TOTAL - WARD 4 (All Properties)		13.77						344													



APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>2</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
<b>WARD 5 Sites</b>																					
WSG4506 - N/W corner of Jefferson & Magnolia	227223006	0.96	VHDR	R-1-7000	VHDR	R-4	35	26	Undeveloped Land	5	80.00%	Undeveloped	No flood hazard area. Within Prenda Dam inundation area	No	Moderate Liquefaction potential	ALUCP Airport Compatibility Zone D for Riverside Municipal Airport			Yes	Yes	Yes
<i>Units greater than 16</i>		<i>0.96</i>						<i>26</i>													
<i>Units less than 16</i>		<i>0.00</i>						<i>0</i>													
<i>TOTAL - WSG4506</i>																					
WSG4510 - S/E corner of Van Buren & Colorado	191200024	0.92	MHDR	R-1-7000	HDR	R-3-1500	25	18	Undeveloped land	5	80.00%	Undeveloped	No	No	Small western portion of site is High Liquefaction potential	ALUCP Airport Compatibility Zone E for Riverside Municipal Airport			No	Yes	No
	191200010	1.00	MDR	R-1-7000	HDR	R-3-1500	25	20	Single-family dwelling	5	80.00%	Developed	-	-	-	-	2003	Good			
<i>Units greater than 16</i>		<i>1.92</i>						<i>38</i>													
<i>Units less than 16</i>		<i>0.00</i>						<i>0</i>													
<i>TOTAL - WSG4510</i>																					
WSG4512 - S/E Corner of Indiana Ave. & Gibson St	233170002 <sup>2</sup>	0.50	PF	R-1-7000	HDR	R-3-1500	25	12	Undeveloped land	5	100.00%	Undeveloped	No flood hazard area. Within Mockingbird Canyon Dam inundation area	No	High liquefaction area	None			No	No	No
	233170003 <sup>4</sup>	1.02	PF	R-1-7000	HDR	R-3-1500	25	23	Undeveloped land	5	94.00%	Undeveloped	-	-	-	-					
<i>Units greater than 16</i>		<i>1.02</i>						<i>23</i>													
<i>Units less than 16</i>		<i>0.50</i>						<i>12</i>													
<i>TOTAL - WSG4512</i>																					

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>2</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
W5G4513 - S/W Corner of Indiana Ave. & Jackson St	233180010	1.12	B/OP	R-1-7000	HDR	R-3-1500	25	26	Single-family dwelling	5	94.96%	Developed	No	No	—	—	Circa 1957	Fair	No	Yes	No
Units greater than 16		1.12						26													
Units less than 16		0.00						0													
TOTAL - W5G4513		1.12						26			94.96%						Average Age of Buildings on Site 60 years				
W5G4514 - W. side of Jackson S. of the railroad	233180014 <sup>4</sup>	2.23	MDR	R-1-7000	HDR	R-3-1500	25	53	Dwelling & underutilized	5	96.49%	Developed	No	No	—	None	Circa 1980	Fair	No	Yes	No
	233180017 <sup>4</sup>	1.23	MDR	R-1-7000	HDR	R-3-1500	25	29	Residential structure on primarily undeveloped lot	5	96.97%	Developed	No	—	—	—	Circa 1980	Fair			
	233180015 <sup>4</sup>	0.48	MDR	R-1-7000	HDR	R-3-1500	25	11	Dwelling & underutilized	5	92.57%	Developed	No	—	—	—	Circa 1957	Fair			
Units greater than 16		3.46						82													
Units less than 16		0.48						11													
TOTAL - W5G4514		3.94						93			95.35%						Average Age of Buildings on Site 65 years				
W5G4523 - Adjacent to Van Buren Drive-In along Gibson St.	233160025 <sup>4</sup>	1.97	B/OP	R-1-7000	VHDR	R-4	35	68	Undeveloped land	5	100.00%	Undeveloped	No flood hazard area. Within Mocking-bird Canyon Dam Inundation area	No	Moderate Liquefaction potential	Adjacent to Riverside Canal & drive-in theater site with potential historic significance			No	Yes	No
	233160028	2.01	B/OP	BMP	VHDR	R-4	35	70	Truck parking	5	100.00%	Undeveloped	—	—	—	—					
	233160018 <sup>4</sup>	0.17	B/OP	R-1-7000	VHDR	R-4	35	5	Undeveloped land	5	100.00%	Undeveloped	—	—	Moderate Liquefaction potential	—					
	233160019 <sup>4</sup>	0.36	B/OP	R-1-7000	VHDR	R-4	35	12	Residential Dwelling	5	100.00%	Developed	—	—	—	—	1994				



APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>2</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox. To High Transit Corridor	Prox. To Major Collector	GP Consistency Zoning
Units greater than 16		3.98						138													
Units less than 16		0.53						17													
TOTAL - W5G4529		4.51						155			Percent of Overall Site Developable 100%						Age of Vacant Building on Site 22 years				
W5G4529 - North of Gibson St and Maywood Way	233170005	3.77*	B/OP	PF	HDR	R-3-1500	25	56	*Undeveloped portion is 2.26 acres. Remainder of 3.77-acre parcel is an electrical substation & will not accommodate units. Capacity based on only the undeveloped portion of the site.	5	100.00%	Undeveloped	No flood hazard area. Within Mockingbird Canyon Dam inundation area	No	—	Potential EMF impact due to adjacency to RPU's, utility electrical substation Noise - adjacent to rail & proximity to 91 FWY	Circa 1998	Fair	No	No	No
Units greater than 16		3.77						56													
Units less than 16		0.00						0													
TOTAL - W5G4537		4.74						165			Percent of Overall Site Developable 100%						Age of Vacant Building on Site 10 years				
W5G4537 - Intersection of Lincoln and Van Buren	234270020	4.74*	MDR	RE	VHDR	R-4	35	165	4.47 acres was used of the 6.74 acre parcel because an applicant has indicated he would like to subdivide 2 acres and rezone to commercial. The applicant is in favor of rezoning the 4.74 portion to VHDR; Dwelling & underutilized	5	99.75%	Developed	No	No	—	None	Circa 1998	Fair	No	Yes	No
Units greater than 16		4.74						165													
Units less than 16		0.00						0													
TOTAL - W5G4537		4.74						165			Percent of Overall Site Developable 99%						Age of Vacant Building				

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable?	Undeveloped or Developed?	Flooding wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W6G4538 - Adjacent to Van Buren Drive-In along Van Buren Blvd.	233150012	0.87	C	R-1-7000	HDR	R-3-1500	35	28	Underutilized & mostly Undeveloped land	5	93.23%	Developed	No	No	—	Adjacent to drive-in site with potential historic significance	Circa 1980	Good	No	Yes	No
	233190007	0.93	C	R-1-7000	HDR	R-3-1500	35	31	Residential dwelling	5	95.53%	Developed	—	—	—	—	Circa 1980	Fair			
	233190017	1.34	C	BMP	HDR	R-3-1500	35	46	Underutilized & mostly Undeveloped land	5	100.00%	Developed	—	—	—	—	Circa 1980				
Units greater than 16		3.14						105													
Units less than 16		0.00						0													
TOTAL - W6G4538		3.14						105			Percent of Overall Site Developable 90%						Average Age of Buildings on Site 17 years				
WARD 5 (continued)																					
TOTAL - WARD 5 (All parcels)																					
<b>WARD 6 Sites</b>																					
W6G4517 - Northernly of Hole Ave. Ave between Hendrick Ave. & Jones Ave.	143040012	1.84	MDR	R-1-7000	HDR	R-3-1500	25	44	Single-family dwelling	6	97.77%	Developed	No	Moderate slope - approx 6.7% AES for entire Site 17	—	High liquefaction potential	Circa 1957	Good	No	Yes	No
	143040011	1.72	MDR	R-1-7000	HDR	R-3-1500	25	41	Single-family dwelling	6	95.82%	Developed	—	—	—	—	Circa 1957	Good			
Units greater than 16		3.56						85													
Units less than 16		0.00						0													
TOTAL - W6G4517		3.26						85			Percent of Overall Site Developable 41%						Average Age of Buildings on Site 60 years				
W6G4518 - North side of Hole Ave. easterly side of Mitchell Ave.	143051001	2.45	C	R-1-7000 & CG	HDR	R-3-1500	25	61	Undeveloped land	6	100.00%	Undeveloped	No	No	High liquefaction potential	None			No	No	No
Units greater than 16		2.45						61													
Units less than 16		0.00						0													
TOTAL - W6G4518		2.45						61			Percent of Overall Site										



APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>2</sup>	Undeveloped or Developed <sup>3</sup>	Flooding, wetlands considerations <sup>4</sup>	Slope considerations <sup>5</sup>	Soil conditions considerations <sup>6</sup>	Other environmental considerations <sup>7</sup>	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W6G4519 - E. of Mitchell Ave. southerly of Wells Ave.	143020004	1.62	MHDR	R-1-7000	HDR	R-3-1500	25	39	Single-family dwelling & Undeveloped land	6	97.47%	Developed	No	Yes - approx. 9% AES	—	None	Before 1948	Fair	No	No	No
	143020007	0.84	MHDR	R-1-7000	HDR	R-3-1500	25	21	Undeveloped land	6	100.00%	Undeveloped	—	—	High liquefaction potential	—					
	143020010	0.79	MHDR	R-1-7000	HDR	R-3-1500	25	18	Single-family dwelling	6	93.02%	Developed	—	—	—	—	Before 1948	Fair			
Units greater than 16		3.25						78													
Units less than 16		0.60						0													
(TOTAL W6G4519)		3.47						78			Percent of Overall Site Developable: 96%						Average Age of Buildings on Site: 70 years				
W6G4520 - Northerly of Hole Ave. at California Ave.	143080020 <sup>4</sup>	1.63	MHDR	R-1-7000	HDR	R-3-1500	25	39	Small structure and underutilized	6	97.99%	Developed	No	Possibly - approx. 5% AES for entire Site 20	—	Burrowing Owl Survey Area (small corner of this APN)	Circa 1957	Good	No	Yes	No
	143080022	0.94	MHDR	R-1-7000	HDR	R-3-1500	25	22	Residential dwelling and underutilized	6	94.35%	Developed	—	—	—	Burrowing owl survey area	Circa 1957	Fair			
	143080030 <sup>4</sup>	1.23	MDR	R-1-7000	HDR	R-3-1500	25	30	Underutilized & mostly undeveloped land	6	100.00%	Developed	—	—	—	—					
	143080032	1.78	MDR	R-1-7000	HDR	R-3-1500	25	44	Undeveloped land	6	100.00%	Undeveloped	—	—	High liquefaction potential	—					
	143080026	0.94	C	CG-SP	HDR	R-3-1500	25	15	Older strip commercial	6	67.73%	Developed	—	—	—	None	Circa 1967	Fair			
	143332002	2.43	C	R-1-7000	HDR	R-3-1500	25	60	Undeveloped land	6	100.00%	Undeveloped	—	—	High liquefaction potential	None					
	143080033	0.98	MDR	R-1-7000	HDR	R-3-1500	25	24	Undeveloped land	6	100.00%	Undeveloped	—	—	None	None					
	143080021 <sup>4</sup>	0.61	MHDR	R-1-7000	HDR	R-3-1500	25	73	Residential dwelling and underutilized	6	86.06%	Developed	—	—	—	None	1992	Fair			
Units greater than 16		9.93						234													
Units less than 16		0.61						73													
(TOTAL W6G4520)		18.11						217			Percent of Overall Site Developable: 98%						Average Age of Buildings				

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed <sup>2</sup>	Flooding, wetlands considerations <sup>3</sup>	Slope considerations <sup>4</sup>	Soil conditions considerations <sup>5</sup>	Other environmental considerations <sup>6</sup>	Year Built	Building Condition	Prox. To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W6G4S21 - Northernly side of Cook Ave. & easterly of Mobley Ave.	147270017	1.62	MDR	R-1-7000	HDR	R-3-1500	25	39	Undeveloped land with small structure	6	98.32%	Developed	None	Potentially - approx. 7% AES for entire Site 21	High liquefaction Potential	None	Circa 1957	Fair	No	Yes	No
	147270016	1.60	MDR	R-1-7000	HDR	R-3-1500	25	37	Small structure and underutilized	6	93.32%	Developed	None	-	-	-	Circa 1957	Fair			
	147270015	0.79	MDR	R-1-7000	HDR	R-3-1500	25	18	SFR and underutilized	6	95.04%	Developed	None	-	-	-	2001	Good			
	147270038	1.46	MDR	R-1-7000	HDR	R-3-1500	25	31	SFR and underutilized	6	86.59%	Developed	None	-	-	-	Circa 1998	Fair			
	147281017	1.21	MDR	R-1-7000	HDR	R-3-1500	25	30	SFR and underutilized	6	93.05%	Developed	None	-	-	-	Circa 1957	Good			
	147270039 <sup>1</sup>	0.20	MDR	R-1-7000	HDR	R-3-1500	25	5	SFR and underutilized	6	100.00%	Developed	None	-	-	-	Circa 1957	Poor			
	147270040	0.52	MDR	R-1-7000	HDR	R-3-1500	25	9	SFR and underutilized	6	74.58%	Developed	None	-	-	-	Circa 1957	Poor			
Units greater than 16		6.68						153													
Units less than 16		0.72						14													
TOTAL - W6G4S21		7.70						167			Percent of Developed Site: 72%						Average Age of Buildings on Site: 64 years				
W6G4S22 - E. side of Tyler St. northernly of Cook Ave.	147282016	1.38	O	R-1-7000	HDR	R-3-1500	25	34	Undeveloped land	6	100.00%	Undeveloped	None	No	High liquefaction Potential	None			No	Yes	No
	147282014 <sup>1</sup>	0.83	O	R-1-7000	HDR	R-3-1500	25	13	Undeveloped land	6	100.00%	Undeveloped	None	-	-	-					
	147282015 <sup>1</sup>	0.29	O	R-1-7000	HDR	R-3-1500	25	6	Single-family dwelling	6	84.48%	Developed	None	-	-	-	Circa 1957	Fair			
	147282011 <sup>1</sup>	0.33	O	R-1-7000	HDR	R-3-1500	25	6	Single-family dwelling	6	81.98%	Developed	None	-	-	-	Circa 1957	Fair			
Units greater than 16		1.38						34													
Units less than 16		1.15						25													
TOTAL - W6G4S22		2.53						59			Percent of Developed Site: 100%						Average Age of Buildings on Site: 64 years				
W6G4S26 - W. side of La Sierra S. of Collette	142480005	3.74	MDR	R-1-7000	HDR	R-3-1500	25	93	Undeveloped land and parking	6	100.00%	Undeveloped	No flood hazard area. Within Harrison & Mocking.	No	High liquefaction Potential	None			No	Yes	No





APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>a</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
	142480006	2.77 <sup>a</sup>	MDR	R-1-7000	HDR	R-3-1500	25	16	*Church and Undeveloped land. Undeveloped portion is approx. 0.66 acres. Capacity is based on the undeveloped portion of the site.	6	87.41%	Developed	bird Canyon Dam inundation areas	-	-	-					
Units greater than 16		6.51						109													
Units less than 16		0.00						0													
TOTAL - W6G4526		6.51						109			Percent of Overall Site Developable 100%										
W6G4532 - Janet Ave. between Challen Ave. & Picker St.	151111034	2.89	MDR	BMP	HDR	R-3-1500	25	65	Undeveloped land	6	90.00%	Undeveloped	Not in a flood hazard area. Within Prenda & Alessandro dam inundation areas	No	High liquefaction Potential	ALUCP Airport Compatibility Zone D for Riverside Municipal Airport			No	No	No
Units greater than 16		2.89						65													
Units less than 16		0.00						0													
TOTAL - W6G4532		2.89						65			Percent of Overall Site Developable 90%										
W6G4533 - E. side of Buchanan St. south of Indiana	135230003	5.22	MDR	R-1-7000	HDR	R-3-1500	25	129	Primarily Undeveloped land with small single family residence	6	99.21%	Developed	None	No	Moderate liquefaction potential	Freeway & railroad noise considerations	Before 1948	Good	Yes	No	Yes
Units greater than 16		5.22						129													
Units less than 16		0.00						0													
TOTAL - W6G4533		5.22						129			Percent of Overall Site Developable 99%										

APPENDIX D: REZONING PROGRAM



Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W6G4534 - W. side of Crest Ave. south of Wells St.	15130007	1.42	MDR	R-1-7000	HDR	R-3-1500	25	30	Undeveloped land	6	87.00%	Undeveloped	None	Yes - approx. 15% AES with prominent topographical feature(s) on site	None	ALUCP Airport Compatibility Zone E for Riverside Municipal Airport			No	No	No
	147310001	4.56	LDR	R-1-7000	HDR	R-3-1500	25	114	Undeveloped land	6	100.00%	Undeveloped	None	-	None	-					
Units greater than 16		5.98						144													
Units less than 16		0.00						0													
<b>TOTAL - W6G4534</b>		<b>6.46</b>						<b>144</b>			<b>Percent of Overall Site Developable 93%</b>										
W6G4541 - West side of Van Buren Blvd., north of Challen Ave.	145082037 <sup>a</sup>	0.95	HDR	CR	HD	R-3-1500	25	22	Single-Family Residence	6	95.00%	Developed	None	No	High liquefaction potential	ALUCP Airport Compatibility Zone E for Riverside Municipal Airport	Circa 1957	Good	No	No	Yes
	145082038 <sup>b</sup>	0.67	HDR	CR	HDR	R-3-1500	25	15	Single-Family Residence	6	95.00%	Developed	None	-	-	-	Circa 1957	Poor			
	145082035 <sup>c</sup>	0.61	HDR	CR	HD	R-3-1500	25	14	Single-Family Residence	6	95.00%	Developed	None	-	-	-	Circa 1957	Fair			
	145082036 <sup>d</sup>	1.47	MU-V	CG S-1 & CR	HDR	R-3-1500	25	29	Self-service car wash	6	80.00%	Developed	None	-	-	-	Circa 1987	Fair			
	145161007 <sup>e</sup>	0.80	MU-V	CG S-1 & CR S-1	HDR	R-3-1500	25	19	Self-service car wash	6	95.00%	Developed	None	-	-	-	Circa 1987	Fair			
	145161004 <sup>f</sup>	2.02	MU-V	CG & CR X	HDR	R-3-1500	25	30	Undeveloped Land	6	100.00%	Undeveloped	None	-	-	-					
	145161008 <sup>g</sup>	0.14	MU-V	CG	HDR	R-3-1500	25	3	Undeveloped Land	6	100.00%	Undeveloped	None	-	-	-					
Units greater than 16		5.24						120													
Units less than 16		1.42						32													
<b>TOTAL - W6G4541</b>		<b>6.00</b>						<b>194</b>			<b>Percent of Overall Site Developable 87%</b>						<b>Age of Building Inventory</b>				
W6G4546 - Intersection of Magnolia and Buchanan	135220035	5.51	B/OP	BMP-SP	VHDR	R-4	35	172	half Undeveloped/ half developed	6	89.27%	Developed							Yes	Yes	No
Units greater than 16		5.51						172													
Units less than 16		0.00						0													



APPENDIX D: REZONING PROGRAM



Site	APN	Acre	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Potential Units	Description	Ward	Percent of site developable <sup>1</sup>	Undeveloped or Developed?	Flooding, wetlands considerations?	Slope considerations?	Soil conditions considerations?	Other environmental considerations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collector	GP Consistency Zoning
W7G4S35 - N. side of Arlington Ave. west of Van Buren Blvd.	155290012 <sup>4</sup>	3.47	C	CR-AP	VHDR	R-4	35	118	Undeveloped land	7	97.70%	Undeveloped	--	--	High liquefaction potential	--			No	Yes	No
	155290012 <sup>2</sup>	0.64	C	CR	VHDR	R-4	35	18	Underutilized commercial	7	83.88%	Developed	--	--	--	--	Circa 1957	Fair			
	155290013 <sup>3</sup>	0.79	C	CR-AP	VHDR	R-4	35	27	Undeveloped land	7	100.00%	Undeveloped	--	--	High liquefaction potential	--					
	155290016	0.52	C	CR-AP	VHDR	R-4	35	14	Underutilized commercial	7	82.63%	Developed	--	--	--	--	1994				
Units greater than 16		4.26						145													
Units less than 16		1.16						33													
TOTAL - W7G4S35		5.42						178			Percent of Overall Site Developable 91%						Age of building 47 years				
W7G4S45 - Southeast corner of Riverwalk Parkway & Pierce	146210024	5.06	MU-V	RE & BMP	HDR	R-3-1500	25	99	Underutilized strip commercial	7	78.92%	Developed					Circa 1957	Fair	No	Yes	No
Units greater than 16		5.06						99													
Units less than 16		0.00						0													
TOTAL - W7G4S45		5.06						99			Percent of Overall Site Developable 78%						Age of building 60 years				
W1G4S44 - N. Side of Blaine	251070007	3.71	MU-U	CR	VHDR	R-4	35	88	Underutilized strip commercial	1	68.43%	Developed	No	No	--	No	Circa 1963	Good	No	Yes	No
Units greater than 16		3.71						88													
Units less than 16		0.00						0													
TOTAL - W1G4S44		3.71						88			Percent of Overall Site Developable 68%						Age of building 54 years				
TOTAL - WARD 7 - (Excluding parcels too small to yield 16 units)		13.24						264													
TOTAL WARD 7 - all parcels		13.24						264													
TOTAL MFR parcels (Excluding parcels too small to yield 16 units)		138.14						3,519													
TOTAL MFR parcels		138.14						3,519													
GRAND TOTAL - ALL EXCLUDED PARCELS		281.21						7,043													



## APPENDIX D: REZONING PROGRAM

Site	APN	Acres	Current GP	Current Zoning	Proposed GP	Proposed Zoning	Proposed Density	Poten-tial Units	Description	Ward	Percent of site develop-able?	Undevelope d or Developed?	Flooding, wetlands consider-ations?	Slope consider-ations?	Soil conditions consider-ations?	Other environ-mental consider-ations?	Year Built	Building Condition	Prox To High Transit Corridor	Prox To Major Collec-tor	GP Consist-ency Zoning
		3.11						7.50													

**Notes:**

1. Small parcels that can accommodate less than 16 units per parcel are indicated in bolded italics in the table above. Implementation of Tool H-52 in the Implementation Program section is required to allow consolidation of these parcels.
2. Potential units included for developed parcels in the Multi-Family Residential (MFR) group of sites in the table above were calculated only based on the percent of the site that is developable or vacant.
3. The Percent of Overall Site Developable provided for each site in the table above reflects the allowed amount of residential development on the site for mixed use sites and the amount of the site that is undeveloped for MFR sites
4. Same owner as one of the other parcels in the site. If note is placed on a parcel that can accommodate less than 16 units it has the same owner as at least one of the parcels in the site that can accommodate 16 or more units or one or more other small parcels. If it is other small parcel(s), the small parcels combined yield at least enough capacity for 16 units.
5. For mixed use sites (Groups 1, 2, and 3) the percent of overall site developable is 70% and unit yield was calculated using 70% due to the allowed mixed of residential and commercial even if the percent of site developable or vacant is greater than 70%.

## APPENDIX D: REZONING PROGRAM



### FIFTH CYCLE HOUSING ELEMENT SITES REZONED

On December 12, 2017, City Council adopted Resolution No. 23252 amending the Land Use Element of the General Plan 2025 pursuant to the Implementation Plan of the 2014-2021 Housing Element.

On January 9, 2018 City Council adopted Ordinance No. 7407, an ordinance of the City of Riverside amending the Zoning Map to allow for multi-family residential development in furtherance of the Implementation Plan of the 2014-2021 Housing Element. The rezoning effort resulted in a RHNA surplus of 1,757 housing units affordable to lower income households. Detailed information regarding the sites that were rezoned can be found in Appendix C: Current Residential Sites.

# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Housing Conditions</b>					
H-1	Continue to provide rehabilitation assistance to single family residential and mobile home owners through the Housing Rehabilitation Programs which help extremely low- to moderate-income households rehabilitate their homes. Low interest loans and a number of grants are available to finance housing repairs for income eligible homeowners. Programs include	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1	Loans/Grants Annual Allocation from FY 2006 to FY 2010 RDA \$600,000 HOME \$500,000  FY 2011/12 HOME allocation - \$179,327 FY 2012/13 HOME allocation - \$200,000  From 2006 to 2012, the City of Riverside had assisted 452 homeowners with loans and/or grants that total \$5,503,570 to single-family residential and mobile home owners to eliminate health and safety matters and to address code violations  With the elimination of Redevelopment and the decrease in the City's HOME allocation, the City will no longer be able to fund a large number of loans and grants each program year
	<b>Rehabilitation Loans</b> - These loans provide up to \$40,000 for rehabilitation. They are available at 3% simple interest and are repayable over 20 years. A Deed of Trust is used to secure the loan (as a lien on the property).	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1	From 2006 to 2012, the City has provided 86 housing rehabilitation loans totaling \$2,871,518 to eliminate health and safety issues and address code violations
	<b>Senior and Disability Grants</b> - Grants up to \$5,000 are available to seniors and persons with disabilities to make necessary housing repairs or modifications that allow disabled access.	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1 H-4	From 2006 to 2012, the City has provided 497 senior and disability grants totaling \$2,718,085 to eliminate health and safety issues and address code violations

Completed	On-going	In Progress
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TBD = To Be Determined

# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<b>Emergency Grant</b> – Grants of up to \$5,000 are available to correct emergency problems. An emergency problem is considered to be a situation which threatens the health and safety of the household residents.	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1	From 2006 to 2012, the City has provided 23 emergency grants totaling \$48,420 to address repairs which can threaten the health and safety of a household. This grant is no longer available since the Housing Rehabilitation Program is strictly funded with HOME funds, which require all health and safety issues to be addressed on the property.
	<b>Rebuilding Together Riverside (RTR)</b> – Rebuilding Together Riverside (RTR), a non-profit organization is dedicated to promoting affordable housing in Riverside and the surrounding communities. RTR holds an annual Rebuilding Day event in April to perform minor rehabilitation on owner-occupied residential properties. To be eligible, household's income cannot exceed 80% of Area Median Income.	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1	From 2006 to 2009, RTR received \$40,000 of Community Development Block Grant funds to rehabilitate 15 houses. RTR recruited housing developers to provide free labor and obtained donated materials from local building suppliers (RTR's Partners). In 2009, Riverside's housing market was impacted by the foreclosure crisis. Housing developers stopped developing housing units because property values had decreased substantially. RTR's Partners were seeking work and did not have the resources to donate labor and materials. As a result, RTR placed Rebuilding Day on hold until the housing market improves.

Completed	On-going	In Progress
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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-2	Provide rehabilitation assistance to 210 very low, 286 low and 124 moderate-income multi-family residential home owners. The City will perform an analysis on at-risk housing units that are need of rehabilitation as well as substandard multi-family housing units.	<b>Housing Authority Community Development</b>	Winter Quarter 2014	H-1 H-1.1	<p>In 2008, the Redevelopment Agency and the City of Riverside allocated \$1,469,910 of HOME Investment Partnerships Program funds, \$710,176 in Redevelopment Housing funds and \$225,000 in Supportive Housing Program funds to substantially rehabilitate 32 apartment units. The project was completed on January 28, 2010.</p> <ul style="list-style-type: none"> <li>- 8 extremely low income units, restricted for 20 years and then restricted to very low income for the next 35 years</li> <li>- 9 low income units, restricted for 55 years.</li> <li>- 15 moderate income units, restricted for 55 years</li> </ul> <p>From 2008 to 2012, the City of Riverside, Redevelopment Agency and the Housing Authority of the City of Riverside have acquired 133 apartment units that were substantially rehabilitated and made available to the following income levels:</p> <p>Very low income (50% AMI) - 65 units            Low income (80% of AMI) - 33 units            Moderate income (120% of AMI) - 35 units</p> <p>The City will continue to perform analysis on at-risk housing units and substandard multi-family housing units; however, with the elimination of Redevelopment, the City and Housing Authority will have difficulty funding the acquisition and/or rehabilitation of at-risk housing project since funding at the State and Federal level have decreased for affordable housing activities.</p>

Completed	On-going	In Progress
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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-3	Continue implementing the Multi-family Development Program for new construction as funding is available	<b>Housing Authority Community Development</b>	On-going	H-1 H-1.1	<p>In 2012, Palm Desert Communities began construction on a 50 unit affordable housing apartment community for families. This development is known as the Cedar Glen Apartments. Fifteen of the units will be reserved for individuals who have disabling mental illness and are homeless or at risk of homelessness. Construction is expected to be complete in March 2014.</p> <p>In 2012, the Housing Authority of the City of Riverside entered into an Exclusive Negotiating Agreement (ENA) with Wakeland Housing and Development Corporation for the development of a 30-unit affordable housing project for disabled veterans and their family.</p> <p>The City continues to accept applications from affordable housing developers for funding under the Multi-family Development Program as long as program funding is available. The Multi-family Development Program is an over the counter application process for affordable multi-family housing projects in areas in need of revitalization. Since Redevelopment has been eliminated, the Program will only be funded with the City's HOME Investment Partnerships grant.</p>
H-4	Continue to perform lead & mold abatement on homes. Through a grant provided by the U.S. Department of Housing and Urban Development (HUD), the County of Riverside, Department of Public Health has developed a program to help fight lead paint poisoning in the County. This program offers free, or low cost, lead-based paint service to qualified families.	<b>RHDC Riverside County Department of Public Health</b>	On-going	H-1 H-1.1	On-going - Between 2005 and 2012, 150 housing units were abated.

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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# APPENDIX E REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-5	<p>Work in the Northside Neighborhood and the Brockton area of the Downtown Neighborhood with the single-family rehabilitation and foreclosure programs to make a significant difference in these neighborhood areas that have been hard hit by this economic down turn.</p>	<p><b>Housing Authority Community Development</b> RHDC</p>	On-going	<p>H-1 H-1.1</p>	<p>In 2011, the Redevelopment Agency had adopted a Casa Blanca Neighborhood Action Plan to utilize public/private resources in a collaborative effort to provide the community with tools to enhance their neighborhood block by block (commercial buildings, houses, etc.) while the City focuses on public improvements (streets, parks, etc.) The Redevelopment Agency had allocated \$745,000 to fund exterior improvement grants (up to \$5,000) and rehabilitation loans (up to \$50,000). The City marketed Redevelopment's Commercial Improvement Program, the Down Payment Assistance Program, the Neighborhood Stabilization Program, and Riverside Public Utilities Energy-Efficiency Rebates. The City also hosted a Neighborhood BBQ on February 11, 2011 to inform residences and business owners of the aforementioned programs. Shortly thereafter, the City held a trash-bash event where Public Works' crews assisted property owners with removing inoperable vehicles and debris from their property.</p> <p>From 2011 to 2012, 4 houses located in the Casa Blanca neighborhood received assistance that totaled \$189,000 through the Casa Blanca Neighborhood Housing Rehabilitation Program to eliminate health and safety issues.</p> <p>The Casa Blanca Neighborhood Housing Rehabilitation Program was cancelled as a result of the elimination of Redevelopment.</p>
H-6	<p>Continue to implement affordable housing projects and programs funded with the Redevelopment 20% set-aside and Neighborhood Stabilization Program.</p> <p>Redevelopment 20% set-aside funds will continue to be used to fund the Citywide Housing Rehabilitation Program, the Citywide Down Payment Assistance Program, Foreclosure Prevention Counseling, the construction of affordable housing projects,</p>	<p><b>Housing Authority Community Development</b></p>	On-going	<p>H-1 H-1.1</p>	<p>From 2009 to 2012, the Redevelopment Agency funded six down payment assistance loans totaling \$185,500 and funded nine down payment assistance loans totaling \$430,650 with CalHome Grant funds. Since Redevelopment has been eliminated and the City has expended all of its 2010 CalHome Grant, the City's Down Payment Assistance Program has been placed on hold until funding is available.</p> <p>Starting in 2007, the Housing Rehabilitation Program was funded with 20% set-aside housing funds. From 2007 to 2011, the Agency has funded 215 loans/grants totaling \$1,211,819.50.</p> <p>From 2008 to 2011, the City committed approximately \$14.7 million from the</p>

Completed
On-going
In Progress

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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p>and the substantial rehabilitation of multifamily housing units.</p> <p>Redevelopment 20% set-aside housing fund and Neighborhood Stabilization Program (HUD funded program) funds will be used to address the foreclosure crisis by acquiring foreclosed properties, rehabilitating the acquired units, and selling them to first time homebuyers</p>				<p>following sources to address the foreclosure crisis in Riverside.</p> <ul style="list-style-type: none"> <li>- Federal NSP1 grant - \$6.5 million</li> <li>- Federal NSP3 grant - \$3,202,152</li> <li>- Targets of Opportunity (TOO) Program (Redevelopment Housing funds) - \$5 million</li> <li>- Line of Credit (LOC - Backed by Redevelopment) - \$20 million</li> </ul> <p>From 2008 to 2011, the Housing Authority completed the following activities under the NSP and TOO Programs.</p> <ul style="list-style-type: none"> <li>- NSP1 1) acquired, rehabilitated and sold 31 single-family houses to moderate income first-time homebuyers, 2) acquired, rehabilitated and rented 17 apartment units to very low income households</li> <li>- NSP3 1) acquired, rehabilitated and sold one single-family houses to a moderate income first-time homebuyer, and 2) acquired a 28-unit apartment complex to rent to very low-income households</li> <li>- TOO Program: 1) acquired, rehabilitated and sold three single-family houses to moderate income first-time homebuyers, and 2) acquired and rehabilitated a single-family house that is being rented to a very low income household</li> <li>- LOC 1) acquired, rehabilitated and sold eight single-family houses to moderate income first-time homebuyers</li> </ul> <p>In 2011, the TOO Program and LOC was cancelled as a result of Redevelopment being eliminated</p>

Completed	On-going	In Progress
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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Code Enforcement</b>					
H-7	Continue implementation of Code Enforcement services including the following programs:	<b>Code Enforcement</b>	On-going	H-1 H-1.2	On-going - Code Enforcement is a top priority of City Council and continues to be aggressive.
	<b>Neighborhood Livability Program (NLP)</b> - In conjunction with other City departments, Code Enforcement coordinates and investigates neighborhood livability concerns related to illegal group homes, parolee boarding houses, unlicensed massage parlors, non-permitted homeless encampments and other severe public nuisance violations in the community.	<b>Code Enforcement</b> City Attorney Office Police Planning Division	On-going	H-1 H-1.2	On-going - Since September of 2003, the NLP has resolved over 100 transitional housing/group home complaints by successfully enforcing the City's ordinances regulating boarding houses, parolee homes and sober living homes. The NLP has also obtained over 48 voluntary property rehabilitations. Approximately 63 problem board-up residences have been demolished and the City has initiated 13 judicial foreclosures/receiverships. Overall, the NLP has been an unqualified success and is considered a model for cities throughout the state.
	<b>Foreclosed or Vacant Properties Program</b> - Code Enforcement addresses all complaints of vacant and foreclosed homes where the property is not being maintained to the neighborhood standards.	<b>Code Enforcement</b> City Attorney Office	On-going	H-1 H-1.2	On-going - See the response under the Neglected Property Abatement Team.
	<b>Neglected Property Team</b> - Code Enforcement actively addresses vacant, neglected and foreclosed homes through a comprehensive enforcement program aimed at eliminating the blight associated with these properties and working with property owners to have properties rehabilitated and re-occupied.	<b>Code Enforcement</b> City Attorney Office	On-going	H-1 H-1.2	On-going - Resources have been dedicated to addressing vacant/foreclosed properties with the passing of Riverside Municipal Code 6.11 - Maintenance of Vacant and Neglected Properties in January 2008. This Neglected Property Abatement (NPA) Team has inspected approximately 3,000 properties and obtained voluntary compliance of approximately 2,200 of these properties.

Completed	On-going	In Progress
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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<b>Warrants, Abatements, Receiverships, and Demolitions (WARD) Team</b> - Code Enforcement Officers on the WARD Team specialize in obtaining warrants, conducting abatements, coordinating receivership actions, and demolishing hazardous structures	<b>Code Enforcement</b>	On-going	H-1 H-1.2	On-going - Code Enforcement Officers continue to pursue this Program as appropriate
<b>Historic Preservation</b>					
H-8	Continue to implement the Historic Preservation Program and future amendments to Title 20	<b>Planning Division</b>	On-going	H-1 H-1.3 Historic Preservation Element	<p>On-going - The momentum has continued with the City receiving two State grants to conduct surveys for the Camp Anza area and to provide a Modernism Context Statement. The City also received grants to do the Japanese American Context in Riverside and is moving forward with designation of the Brocton Avenue Arcade area as identified in the Magnolia avenue Specific Plan. As well, one in-house survey of the Five Points area has also been conducted. The Palm Heights and North Hill areas were designated as Historic Districts during this time period. More recently a comprehensive update to the Cultural Resource Ordinance, Title 20, is complete and will include an update to the Historic Preservation Element of the General Plan 2025.</p> <p>The City continues to designate buildings individually and to be part of the Certified Local Government (CLG) program. The City continues to maintain the Historic Resources Database. The City amended Title 19 (Zoning Code) and Title 20 (Cultural Resources Code) to create the Cultural Resources Overlay Zone. This Overlay Zone will be used as a way to notify property owners of their property's historic significance and obligations.</p> <p>The City created a public outreach program through the local Cable Channel and created a public outreach newsletter mailed to all designated historic properties Citywide.</p>

Completed
On-going
In Progress

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TBD = To Be Determined

# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Park and Recreation</b>					
H-9	See Tools OS-1, OS-4, OS-5, OS-6, OS-9, OS-10, OS-11, OS-13, OS-14, OS-15 and OS-19 of the Open Space and Conservation Element portion of the General Plan 2025 Implementation Plan for tools implementing Policy H-1.4	<b>City Manager</b> Parks, Recreation and Community Services Planning Division Public Works Public Utilities	On-going	H-1 H-1.4 OS-1 OS-3 OS-5 OS-6 LU-5 LU-6 AQ-1.9	On-going - See related Tools.
H-10	Continue to implement the Crime Free Multi-Housing Program. This program is designed to reduce crime, drugs and gangs on apartment properties.	<b>Police</b> Planning Division	On-going	H-1 H-1.5	On-going -- Since 2005, the CFMH program has expanded to include 250 multi-housing sites, more than doubling its participation since its inception.
H-11	Continue to implement the Neighborhood Watch Program and Academy. Neighborhood Watch is the added eyes, ears and awareness on the city streets. It is critically important to reducing crime and improving the quality of life in each of the neighborhoods.	<b>Police</b>	On-going	H-1 H-1.5	On-going - The Neighborhood Watch Program has a proven success at reducing crime and increasing the comfort and safety of a neighborhood and these programs enjoy genuine community support and tangible action.
H-12	Require all new projects with a Home Owner's Association (HOA) to participate in the Crime Free Multi-Housing Program.	<b>Police</b> Planning Division	On-going	H-1 H-1.5	On-going - The Planning Division will work with the Police Department to add HOA's to the Crime Free Multi-Housing Program as a condition of approval of the appropriate planning process.

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Neighborhood Identity</b>					
H-13	Riverside's neighborhoods are the fundamental building blocks of the overall community. Updating the neighborhood plans with the involvement of the community will ensure that a more detailed design and policy direction is available for each neighborhood for which new development projects can be measured. (See Overarching Tool 17)	<b>Planning Division</b> Historic Preservation, Neighborhoods and Urban Design Community Development Department	TBD	H-1 H-1.6 LU-30.1 LU-30.7	The University Neighborhood Plan was adopted on June 17, 2008 and the Eastside Neighborhood Plan was adopted on June 16, 2009. In addition, on October 6, 2008 the Riverside Neighborhood Partnership established the following recommendation for upcoming neighborhood plans in the following order, La Sierra Hills/La Sierra Acres, Arlanza, Northside and Magnolia Center. Due to budget consideration and staff reductions no time table has been established for the preparation of neighborhood plans.
H-14	Consider reopening the Neighborhood Improvement Program in the Chicago/Linden Neighborhood and if successful rolling the program out to other neighborhoods.	<b>Housing Authority Community Development</b> Police Planning Division	TBD	H-1 H-1.7	<ul style="list-style-type: none"> <li>Project: Revitalization of the Chicago-Linden Project Area</li> <li>Project Site: Approximately 44 gross acres including 80 residential properties. The units are in varying conditions, but the concentration of units, combined with the lack of participation in the City's Crime Free Multi-Housing program and the lack of covenant properties has created a focused area of high crime and a high level of police calls, deferred maintenance of the units and overall blight. A majority of the apartment units consist of one to two bedroom apartment units so there is an existing problem with overcrowding, which decreases the life of the buildings at a faster rate.</li> <li>In 2012, the Housing Authority secured Terra Nova Planning &amp; Research to prepare a comprehensive strategic plan for the revitalization of the Chicago-Linden Project Area. The Plan is to be completed in 2013.</li> </ul>
H-15	Continue the City's efforts with neighborhood organizing, including such programs as	<b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b>	On-going	H-1 H-1.7	On-going - All neighborhoods programs continue to grow in participation by residents. A goal of a ten percent increase each year in the Leadership Academy, Neighborhood Conference, and attendance at the Riverside Neighborhood Partnership monthly forum have been met or exceeded. Awards programs have full participation by all council members in nominating awardees for the Neighborhood Spirit Awards, and application numbers for the Jack B Clarke Award continue to be consistently high. The Healthy Neighborhoods Assessment is still in progress and being produced in partnership with the Presley Center for Youth Violence Prevention at the University of California, Riverside.

Completed      On-going      In Progress

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# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Riverside Neighborhood Partnership</b> - The Riverside Neighborhood Partnership (RNP) is a community group whose mission is to encourage and facilitate the formation of neighborhood associations city-wide and to act as a clearinghouse for neighborhood concerns. It is the Partnership's belief that by being organized, neighborhoods are better equipped to tackle problems that periodically arise.</p>	<p><b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b></p>	On-going	H-1 H-1.7	On-going - The RNP meets monthly at City Hall and has consistently met the first Monday of each month, 6:30 pm, in the Mayor's Ceremonial Room, since 1994. This meeting provides a monthly forum for neighborhoods to present concerns and seek problem-solving assistance along with neighborhood organizing support. Neighborhood organizing efforts focus on neighborhood self-help and building social capital rather than political activism. It is a partnership with the City and other agencies and entities within the City. Board membership has become increasingly competitive with numerous individuals representing their neighborhoods running for election.
	<p><b>Neighborhood Leadership Academy</b> - Critical to the success of any neighborhood improvement effort is the effective leadership of key residents who can guide their neighbors in community-wide decision-making. Selected applicants develop the skills and networks essential to neighborhood improvement at this free academy.</p>	<p><b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b></p>	On-going	H-1 H-1.7	On-going - The Neighborhood Leadership Academy continues to be one of the City's most successful programs, resulting in numerous graduates moving on to board and commission membership or city council races in addition to greater leadership within their own neighborhoods. Despite budget constraints, this approximately \$10,000 program continued this past year (2009) on a budget of about \$2500.00 which covered mailing, awards, and meager refreshments. It also relied upon volunteer trainers where in the past a consultant has been hired to provide the training. The 2009 class was the largest class to graduate with 36 participants. The goal for this program is 24 graduates. This goal has been met since inception in 2001.
	<p><b>Annual Neighborhood Conference</b> - This annual conference is all about Riverside's greatest resource: its people. It is an opportunity for the city to celebrate neighborhood leaders and to let them share their success stories.</p>	<p><b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b></p>	On-going	H-1 H-1.7	On-going - Since its inception in 2001, participation in this one-day neighborhood leadership capacity building event has grown from under 200 to well over 400 participants. Like the leadership academy, its impact can be seen in the increase in leadership capacity and engagement of neighborhood groups in City Hall activities and neighborhood self-help.

Completed	On-going	In Progress
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<b>Neighborhood Spirit Awards</b> - Seven neighborhood groups, one for each ward in the city, are recognized for their extraordinary commitment, accomplishments, creativity and resourcefulness as organized neighborhood groups	<b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b>	On-going	H-1 H-1.7	On-going - The Neighborhood Spirit Award was instituted in 2007, replacing the former "Neighborhoods That Work Award," which was similar. Each year, city council members suggest recipients and together with staff a group is selected. They are recognized at the Neighborhood Conference and presented with an easy-up canopy for use by the neighborhood and with the inscription "Neighborhood Spirit Award (Year)" across the top. Recipients always are in attendance for the recognition.
	<b>Jack B. Clarke Award</b> - This award was established in 1996 to commemorate the late Councilman Jack B. Clarke, Sr.'s vision of building neighborhood relationships and bringing neighborhoods together for the betterment of the City of Riverside.	<b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b>	On-going	H-1 H-1.7	On-going - Applications are taken city-wide, and a subcommittee of the Riverside Neighborhood Partnership selects the recipient. The recipient is recognized at the Neighborhood Conference and presentation of the award is made by the Mayor and Jack B. Clarke, Jr., and Jack B. Clarke III.
	<b>Healthy Neighborhood Assessment</b> - On April 17, 2007 the City Council approved the Healthy Neighborhood Assessment report which provides a framework for developing a diagnostic model to assess the effective quality of life in each neighborhood. The Council has requested that the Development Department evaluate the Healthy Neighborhood Assessment report and report to the Community Services and Youth Committee with a plan to proceed with drafting a neighborhood diagnostic analysis.	<b>Historic Preservation, Neighborhoods and Urban Design Community Development Department</b>	On-going	H-1 H-1.7	On-going - City Departments have provided data to the Presley Center for Youth Violence Prevention at University of California, Riverside for analysis and reporting back to the City. This first analysis will provide a baseline which will assist the City in more strategically directing resources to improve the relative "health" of the neighborhoods.  Other initiatives relative to Healthy Communities are also interested in the outcome of the initial study as well as to partner with non-profits for the same reasons cited above.
H-16	Continue to support Keep Riverside Clean and Beautiful (KRCB). This organization strives to instill a sense of community pride and leadership within Riverside by creating partnerships that work toward the beautification of the city.	<b>KRCB</b>	On-going	H-1 H-1.7	On-going - While in partnership with local government and private business, KRCB has remained strong year round, building a sense of community pride with 24,000 volunteer hours organizing community beautification projects within the City of Riverside.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Corridor Development</b>					
H-17	Revise the Marketplace Specific Plan to include greater opportunities for mixed use and transit oriented development tied into the existing Metrolink Station and the proposed Bus Rapid Transit line along University Avenue. This amendment will not only promote greater housing opportunities but also reduce vehicle miles traveled and greenhouse gas emissions.	<b>Planning Division</b>	Last Quarter 2012	H-2 H-2.1 CCM-16 CCM-17	This case has been assigned and has received grant money under the American Recovery and Reinvestment Act.
H-18	Revise the University Avenue Specific Plan to reflect the new expanded role of this thoroughfare as envisioned in the General Plan 2025 Program. (See Overarching Tool 44)	<b>Planning Division</b>	Last Quarter 2012	H-2 H-2.1 LU-14	This case has been assigned and will be completed after the MarketPlace Specific Plan. It has also received grant money for updating from the American Recovery and Reinvestment Act.
H-19	Continue to implement the Downtown Specific Plan to reflect the new expanded role of this area as the arts and culture center of the Inland Empire with greater housing density as envisioned in the General Plan 2025 Program.	<b>Planning Division</b>	On-going	H-2 H-2.1	On-going - The City continues to implement this Specific Plan as evidenced by such projects as the Fox Theater, M'Sole Live/Work units, and Raincross Promenade units to name a few  The City has begun the process to update the Specific Plan by the end of 2012 to include potential increase in housing units (including affordable units), refining entertainment districts, and restudying parking requirements (to reduce parking requirements).
H-20	Continue to implement the Magnolia Avenue Specific Plan to reflect the new expanded role of this thoroughfare as envisioned in the General Plan 2025 Program	<b>Planning Division</b>	On-going	H-2 H-2.1	On-going - The City continues to implement this Specific Plan as evidenced by such projects as the Villas at Magnolia, Village at Magnolia Square and Madison Villa

<b>Completed</b>	<b>On-going</b>	<b>In Progress</b>
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Smart Growth</b>					
H-21	<b>Rezoning Program</b> To accommodate the housing need for the remaining 2,272 units affordable to lower-income households, the City will rezone land at a density allowing a minimum of 20 units per acre. Further, the program will provide for a minimum of 16 units per site. Rezoned sites include sites identified in Tables H-48 through H-50 of the Technical Report (Appendix A) of the Housing Element and will permit owner-occupied and rental multi-family residential uses by-right (without a conditional use permit, planned unit development permit or other discretionary action) pursuant to Government Code Section 65583.2(h). In addition, at least 50 percent of the remaining 2,272 units (1,136 units) will be accommodated on sites zoned for exclusively residential uses. The above applies to all sites to be rezoned which are more specifically described in Tools H-21a through H-21d below.	<b>Planning Division</b>	Within 1-year of Certification of the Housing Element	H-2 H-2.2	Rezoning of these properties will be implemented in order to provide sites with zoning that can accommodate units to satisfy the unmet RHNA requirement.
H-21a	Rezone sites in the following areas (Magnolia Avenue Specific Plan, Hunter Business Park Specific Plan, and various sites not within a specific plan, Tables H-49 & H-50 of the HTR) allowing an average of 25 units per acre or greater. The acreage rezoned will ensure that development capacity is provided for at least 1,136 units (50% residential-only units) to address the remaining lower income RHNA requirement. As an example, the 50 percent residential-only requirement may be achieved by rezoning a minimum of 45.44 acres from	<b>Planning Division</b>	Within 1-year of Certification of the Housing Element	H-2 H-2.1 H-2.2	Rezoning of these properties will be implemented in order to provide sites with zoning that can accommodate units to satisfy the unmet RHNA requirement.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p>sites identified in Tables H-49 and H-50 of the Technical Report to the R-3-1500 Multiple-Family Residential Zone (acreage based on average density of 25 units per acre). Rezoning may be accomplished by rezoning sites selected at the City's discretion from sites identified in the Tables H-49 and H-50 of the Technical Report. As an example:</p> <ul style="list-style-type: none"> <li>• Within the Magnolia Avenue Specific Plan, rezone up to 24.49 acres to the R-3-1500 Multiple-Family Residential Zone allowing an average of 25 units per acre and rezoning up to 0.96 acres to the R-4 Multiple-Family Residential Zone allowing an average of 35 units per acre (sites identified in Table H-49 of the Technical Report).</li> <li>• Within the Hunter Business Park Specific Plan, rezone up to 7.52 acres to the R-3-1500 Multiple-Family Residential Zone allowing an average of 25 units per acre (sites identified in Table H-49 of the Technical Report).</li> <li>• Within areas not within a specific plan, rezone up to 21.71 acres to the R-3-1500 Multiple-Family Residential Zone allowing an average of 25 units per acre (sites identified in Table H-50 of the Technical Report).</li> </ul>				
H-21b	Pursue rezoning of 6.7 acres within areas not within a specific plan (Table H-50 of the HTR) to the Mixed Use Village (MU-V) Zone allowing mixed use by right at 30 units per acre.	<b>Planning Division</b>	Within 1-year of Certification of the Housing Element	H-2 H-2.2	Rezoning of these properties will be implemented in order to provide sites with zoning that can accommodate units to satisfy the unmet RHNA requirement.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-21c	As part of the update to the Marketplace Specific Plan pursue removal of the existing industrial zoning on 32.7 acres of land (Table H-48 of the HTR) and establish specific plan districts that will allow for mixed-use urban land uses by right as follows: <ul style="list-style-type: none"> <li>• Allow a density of 60 units per acre on a minimum of 10.08 acres.</li> <li>• Allow a density of 30 units per acre on a minimum of 22.62 acres.</li> </ul>	<b>Planning Division</b>	Ongoing for completion Last Quarter 2012	H-2 H-2.1 H-2.2	Rezoning of these properties will be implemented in order to provide sites with zoning that can accommodate units to satisfy the unmet RHNA requirement. Rezoning of these properties will be implementation strategies of the Specific Plan amendments (See Tools H-17 and H-18 above)
H-21d	As part of the update to the University Avenue Specific Plan pursue rezoning of at least 3.5 acres in the University Avenue Specific Plan (Table H-49 of the HTR) to mixed-use urban land use allowing an average density of 40 units per acre.	<b>Planning Division</b>	Ongoing for completion Last Quarter 2012	H-2 H-2.1 H-2.2	Rezoning of these properties will be implemented in order to provide sites with zoning that can accommodate units to satisfy the unmet RHNA requirement. Rezoning of these properties will be implementation strategies of the Specific Plan amendments (See Tools H-17 and H-18 above)
H-21e	Coordinate outreach to the public, development community, and stakeholders regarding land use, design, and development standards.	<b>Planning Division</b>	Ongoing for completion Last Quarter 2012	H-2.3 H-2.4 H-2.5	Ongoing - Community meetings are being held in regard to H-21c and H-21d

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-22	<p>The City will initiate new partnerships with non-profit developers and continue on with existing partnerships to assist in the development of affordable housing projects for extremely low- to moderate-income households. The City will annually invite non-profit developers to discuss the City's plans, resources, and development opportunities. Based on funding resources, the City will select a non-profit developer to pursue developments, including leveraging the local housing trust fund, assisting in the application for State and Federal financial resources, and offering a number of incentives such as fee deferrals, priority processing and relaxed development standards.</p>	<p>Housing Authority Planning Division  Community Development</p>	<p>Last Quarter 2014</p>	<p>H-2 H-2.2</p>	<ul style="list-style-type: none"> <li>- In 2010, the City of Riverside awarded Riverside Housing Development Corporation (RHDC) \$270,000 of HOME CHDO funds to develop three single-family houses. In 2011, RHDC completed the development and sold the homes to low income first-time homebuyers.</li> <li>- In 2010, the City and Redevelopment Agency approved the following funding request from USA Properties for the development of 222 affordable senior apartments plus two manager units.             <ul style="list-style-type: none"> <li>• HOME funds: \$1,587,905</li> <li>• Redevelopment Housing funds: \$2,912,095</li> </ul> <p>55-year Affordability Covenants: 64 very low-income units and 15 low-income units</p> <p>The project was completed in 2012.</p> </li> <li>- In 2011, the Housing Authority entered into Disposition and Development Agreements (DDAs) with Habitat for Humanity Riverside, Inc. (Habitat) and Mary Erickson Community Housing for the development of two single-family houses on undeveloped lots that were acquired with NSP funds. Each developer was awarded \$129,000 of HOME CHDO funds to cover construction costs. The homes will be sold to low income first-time homebuyers. The developments will be completed in 2013.</li> <li>- In 2012, the Housing Authority released a RFP for the development of three infill lots with single-family houses. These undeveloped lots were acquired with NSP funds. In 2013, the Housing Authority Board will be asked to enter into DDAs with RHDC for the development of two undeveloped lots and with Habitat for Humanity for the development of one undeveloped lot. The homes will be sold to moderate-income first time homebuyers.</li> </ul>

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-23	Continue to provide the voluntary Riverside Green Builder (RGB) program. This program is primarily for production builders. RGB is based on the California Green Builder Program that is recognized by the California Public Utilities Commission, the California Energy Commission and California League of Cities, and is the largest residential green builder program in California.	<b>Building Division</b>	On going	H-2 H-2.3 OS-8 OS-8.2 OS-8.6	On-going - The Building Division advertises this program both at the front counter and on the Division's website.
H-24	Continue to offer "Energy Saving," "Green Power" and "Water" Rebates to residential customers and their contractors (both for rehabilitation and new construction) for energy conservation found at <a href="http://www.riversideca.gov/utilities/residents.asp">http://www.riversideca.gov/utilities/residents.asp</a> .	<b>Public Utilities</b>	On going	H-2 H-2.3 OS-8 OS-8.8	On-going - In addition to providing the highest quality water and electric services, Riverside Public Utilities offers a variety of programs and services that provide valuable rebates and incentives to residential customers who take steps to make their homes more energy and water efficient. These programs not only help to conserve water and energy, they save money. Many programs are funded by the state-mandated Public Benefits Surcharge on the electric bill.
H-25	Continue to offer Energy Efficiency Loans which provide improvement financing for energy efficiency projects.	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.8	On-going - The City is currently working with Geo Smart which provides home improvement financing that is sponsored by the Electric & Gas Industries Association (EGIA) and Viewtech financial services which offers home energy loans for a variety of energy efficiency projects. Viewtech works with independent consumer benefit organizations (such as the League of California Homeowners), for the benefit and protection of utility customers.
H-26	Continue to offer the Residential Photovoltaic System Rebate Program.	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.4 OS-8.8 OS-8.9	On-going - The Residential Photovoltaic (PV) System rebate program is open to Riverside Public Utilities' electric customers only, and provides financial incentives to RPU customers who purchase and install solar powered systems on their homes. Effective July 1, 2007, the level of incentive is \$3 per watt, per electric account, per year. Project rebate amounts cannot exceed \$25,000 or 50% of the project costs whichever is less. Riverside Public Utilities will also provide up to \$250 toward City of Riverside Planning and Building and Safety fees per installation.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-27	Continue to offer the WE CARE Weatherization Program for low-income, disabled and senior households	<b>Public Utilities</b>	On-going	H-2 H-2.3 OS-8 OS-8.8	On-going - WE CARE is a public benefit program that assists low-income, disabled and senior households by providing a free in-home weatherization service to help save money on utility bills.  WE CARE's free weatherization service may include the provision and installation of the following free conservation measures: <ul style="list-style-type: none"> <li>• Weather stripping around a maximum of two entry doors and four exterior windows</li> <li>• Door sweeps on up to two entry doors</li> <li>• Water-saving showerheads for all existing showers.</li> </ul>
H-28	See Tools OS-30, OS-31, OS-35 and OS-38 of the Open Space and Conservation Element portion of the General Plan 2025 Implementation Plan for tools implementing Policy H-2.3	<b>Public Utilities</b> Public Works Building Division Planning Division	On-going	H-2 H-2.3 OS-8 OS-9 OS-10	On-going - See related Tools
<b>Housing Incentives</b>					
H-29	Continue to provide financial incentives to facilitate the production of a variety of housing types including the following programs	<b>Planning Division</b>	On-going	H-2 H-2.7	On-going - The Planning Division will continue to provide these financial incentive Programs

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Residential Infill Incentive Program</b> - Infill is defined as the development, redevelopment or reuse of less than five undeveloped or underutilized developed R-1 or RR zoned parcels of 21,780 square feet or less, surrounded by residential uses (80% of land uses within a half mile radius) where the proposed project is consistent with General Plan designations and applicable Zoning. For such, infill projects fees are adjusted, avoided and/or waived as an incentive. To keep this program current, an update of the lot inventory on the City's website should be completed.</p>	Planning Division	On-going	H-2 H-2.7	<p>On-going - Between 2006 and 2011 35 properties had taken advantage of this program.</p> <p>The program remains available to those who would like to take advantage of the incentives.</p>
	<p><b>Age-Restricted Senior Housing Program</b> - On August 23, 2005, the City Council authorized a 60% reduction in all City Permit, Plan Check, and City Impact Mitigation Fees for age-restricted senior housing projects in order to promote such development.</p>	Planning Division	On-going	H-2 H-2.7 H-4	<p>On-going - The Planning Division continues to provide this fee reduction program for senior housing projects.</p>
H-30	<p>Consider the feasibility of the certain Zoning Code incentives that would promote diversity in housing types, sustainability and affordability such as:</p> <p><b>Universal Design/Visitability</b> - Investigate the feasibility of a universal design/visitability program to expand the range of housing available for the needs of seniors. (See Tool H-47 - Recommendation #10)</p>	<p>Planning Division</p> <p>Planning Division</p>	<p>Last Quarter 2014</p> <p>Last Quarter 2014</p>	<p>H-2 H-2.7</p> <p>H-2 H-2.7 H-4</p>	<p>These programs will be explored as possible amendments to the Zoning Code.</p> <p>These programs will be explored as possible amendments to the Zoning Code.</p>

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Second Units</b> - Consider an amendment to the Second Unit ordinance that would permit second units for creative projects that take advantage of corner lots, housing above garage units, units on alleyways, or are designed into the project with the unit already considered in terms of parking and open space requirements.</p>	<b>Planning Division</b>	Last Quarter 2014	H-2 H-2.7	These programs will be explored as possible amendments to the Zoning Code.
	<p><b>Eastside Infill Program</b> - Create an infill program for the many undeveloped lots in the Eastside neighborhood. The program would include prototype designs for single family houses that fit the unique lot configurations found in the Eastside. This will ensure that the new homes are compatible with the Neighborhood. In addition, the prototype designs will provide incentives for property owners to move forward with home building.</p>	<b>Planning Division</b>	Last Quarter 2014	H-2 H-2.7	These programs will be explored as possible amendments to the Zoning Code.
	<p><b>Graduated Density Program</b> - An amendment to the Zoning Code creating an Overlay Zone that would permit "graduated density" to provide incentives to property owners to voluntarily pool together their properties for land assembly for the incentive of higher density on larger sites. Graduated density or higher density would be given to those property owners who cooperate in land assembly for development of higher density.</p>	<b>Planning Division</b>	Last Quarter 2014	H-2 H-2.7	These programs will be explored as possible amendments to the Zoning Code.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p>Encourage Lot Consolidation – The City will play an active role in facilitating the consolidation of smaller, multiple-family parcels as follows:</p> <ul style="list-style-type: none"> <li>The City will publicize the undeveloped and underutilized developed sites land inventory on the City’s website.</li> <li>Provide technical assistance to property owners and developers in support of lot consolidation, including assessor parcel data and information on density and design incentives.</li> <li>To encourage development of quality housing at prices lower income households can afford on smaller multiple-family parcels, the City will meet with developers, including non-profit sponsors, to promote strategies and incentives within one year of adoption of the Housing Element.</li> </ul> <p>Further, the City will undertake the following strategies to support the use of State and Federal affordable housing funds on consolidated parcels:</p> <ul style="list-style-type: none"> <li>Create an on-line directory of funding sources with links to State and Federal application websites.</li> <li>Assist in providing information to complete funding applications including identifying types of projects that maximize funding points, e.g. projects that support large families and/or special housing needs.</li> </ul>	<p><b>Planning Division</b> Housing Authority Community Development</p>	<p>Last Quarter 2014</p>	<p>H-2 H-2.4 H-2.5 H-2.6 H-2.7</p>	<p>The City will annually monitor the effectiveness of these strategies to address the housing needs of lower income households, report progress in the annual General Plan implementation report pursuant to Government Code Section 65400 and adopt alternative strategies if needed to ensure the effectiveness of the program.</p>

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	<ul style="list-style-type: none"> <li>As appropriate, provide available local funds as leverage,</li> <li>Consider feasibility of expedited review for lot consolidation requests. Lot consolidation applications are processed administratively.</li> </ul>				
H-31	Continue to provide down payment assistance to first time home buyers.	<b>Housing Authority Community Development</b>	On-going	H-3 H-3.1 H-4	The City of Riverside and Redevelopment Agency reinstated the Down Payment Assistance (DPA) Program in October 2008. The City/Agency anticipates assisting 12 households annually with down payment assistance. From 2008 to 2012, the City had funded 24 Down Payment Assistance loans totaling \$1,057,088 and 9 down payment assistance loans totaling \$430,650 with CalHome Grant funds. At the end of 2012, the City exhausted all its CalHome grant funds resulting in the DPA Program being placed on hold until another funding source could be identified.
H-32	Continue to promote the County of Riverside Economic Development Agency Mortgage Credit Certificate Program on the City's Housing & Neighborhoods Development's webpage.  Mortgage Credit Certificate (MCC) - This program entitles qualified homebuyers to reduce the amount of their federal income tax liability by an amount equal to a portion of the interest paid during the year on a home mortgage. This tax credit allows the buyer to qualify more easily for a loan by increasing the effective income of the buyer. The Riverside County MCC Program provides for a fifteen percent (15%) rate that can be applied to the interest paid on the mortgage loan.	<b>Housing Authority Community Development</b>  <b>County of Riverside Economic Development Agency</b>	On-going	H-3 H-3.1 H-4	On-going - The City continues to promote the County's MCC Program. All down payment assistance program participants are required to apply for the MCC Program.  In 2009/2010, 14 homebuyers in the City of Riverside utilized the MCC Program.  In 2011, the County of Riverside applied for \$13,760,153 in MCC funds through the California Debt Limit Allocation Committee. The County will find out in 2012 whether they received MCC funds.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Homeownership Preservation</b>					
H-33	<p>Continue to market homebuyer preservation tools, including foreclosure prevention &amp; financial management programs, on the Housing &amp; Neighborhoods Development's website including the following programs:</p> <p><b>Fair Housing Council of Riverside County, Inc.</b> - is a non-profit agency that offers confidential counseling to help those with financial problems. FHCRC will review individuals' financial situation and develop a financial plan to meet their financial needs.</p> <p><b>HOPE NOW</b> - is staffed with HUD-approved credit counselors to assist with foreclosure prevention. Counselors are trained to set up a plan of action designed just for the situation. Counselors provide in-depth debt management, credit counseling, and overall foreclosure counseling.</p>	<p><b>Housing Authority Community Development</b></p> <p><b>Fair Housing Council of Riverside County, Inc.</b></p> <p><b>HOPE NOW</b></p>	<p>On-going</p> <p>On-going</p> <p>On-going</p>	<p>H-3 H-3.2 H-1 H-4</p> <p>H-3 H-3.2 H-1 H-4</p> <p>H-3 H-3.2 H-1 H-4</p>	<p>On-going - The City continues to partner with Neighborhood Housing Services of the Inland Empire and Fair Housing Council of Riverside County to provide monthly home buyer education workshops.</p> <p>In 2007, the City co-hosted a workshop (in conjunction with HUD Santa Ana Field Office, Fair Housing of Riverside County and City of Corona) to assist in foreclosure prevention. Over 400 people attended the event.</p> <p>On-going - The Redevelopment Agency has a contract with the Fair Housing Council of Riverside for foreclosure prevention. Fair Housing is the mediator between the lender and the property owner. Since Redevelopment has been eliminated, the City no longer funds Fair Housing's foreclosure counseling, however, Fair Housing has found other funding sources to continue this activity.</p> <p>On-going - Between July 2007 and November 2009 has offered solution to over 300,000 individuals and completed workout plans for over 150,000 individuals in the Inland Empire.</p>
H-34	<p><b>Springboard Nonprofit Consumer Credit Management</b> - is a non-profit community service agency that offers personal financial education and assistance with money, credit and debt management through confidential counseling. Springboard provides homeownership preservation and foreclosure prevention counseling. Springboard also provides pre-bankruptcy counseling and debtor education.</p>	<p><b>Springboard Nonprofit Consumer Credit Management</b></p>	<p>On-going</p>	<p>H-3 H-3.2 H-1 H-4</p>	<p>On-going - In 2008 more than 158,000 individuals benefited from the counseling services of this organization in the Inland Empire. In addition, Springboard opened the SHINE Center dedicated to sustaining homeownership in the Inland Empire.</p>

Completed	On-going	In Progress
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-35	<p>Periodically provide and/or market Foreclosure Prevention Seminars similar to those held in the past that covered such topics as</p> <ul style="list-style-type: none"> <li>• Foreclosure rescue scams - What to look out for</li> <li>• Can my home be saved from foreclosure?</li> <li>• Where do I go from here - what are my options?</li> <li>• How should I talk to my lender?</li> <li>• Who can I trust?</li> <li>• How can I access available federal programs?</li> </ul>	<b>Housing Authority Community Development</b>	On-going	H-3 H-3.2 H-1 H-4	On-going - The City co-sponsored a Community Workshop on Foreclosure Prevention held on Saturday, August 22, 2009 by the Fair Housing Council. Fair Housing provides monthly foreclosure seminars throughout the County of Riverside
H-36	<p>The City of Riverside maintains more than a significant stock of rental housing affordable to seniors, families, and individuals earning lower incomes. The City is committed to preserving its stock of affordable housing, some which is at risk of conversion and/or needs significant renovation and improvement.</p> <p>As the City remains committed to preserving its affordable housing, the City will monitor the status of publicly subsidized affordable projects, provide technical and financial assistance where feasible, and consider appropriate actions should these projects become at imminent risk of conversion.</p>	<b>Housing Authority Community Development</b>	Winter Quarter 2014	H-3 H-3.2	<p>In 2007, the RDA preserved 112 very low income senior units at the J.E. Wall Victoria Manor.</p> <p>On July 13, 2010, the City Council held a TEFRA hearing on behalf of Foundation for Affordable Housing Inc. for the acquisition and rehabilitation of the Highlander Point Apartments and approved the issuance of tax-exempt revenue bonds by CSCDA. Of the 132 apartment units, 27 will be restricted to very low income households.</p> <p>In 2013, the Sierra Woods Apartments has 186 affordable apartments that may convert to market rate. The City will work with the property owner and an affordable housing developer to provide technical and financial assistance if feasible.</p>

Completed
On-going
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
					<p><i>Future Actions:</i></p> <ul style="list-style-type: none"> <li>● Monitor the status of at-risk projects to determine the need for preservation</li> <li>● Provide technical assistance and/or financial assistance to preserve properties as deemed feasible.</li> <li>● Continue working with Riverside Housing Development Corporation to rehabilitate the Indiana</li> </ul>
H-37	Provide homeowner assistance to 3 very low, 26 low, and 24 moderate income households.	<b>Housing Authority Community Development</b>	Winter Quarter 2014	H-3 H-3.2	From 2008 to 2012, the City has funded 24 DPA loans with RDA funds totaling \$1,057,088 and 9 DPA loans with CalHome Grant funds totaling \$430,650. With the elimination of Redevelopment in 2011 and the City expending all of its CalHome Grant funds, the DPA Program has been placed on hold until another funding source is identified.
<b>Rental Assistance</b>					
H-38	Continue to implement the City's mobile home park rent stabilization policy (Chapter 5.75 of the Municipal Code) to preserve the City's mobile home parks. The policy is updated on an annual basis. The rents may be increased in accordance with the Los Angeles-Riverside-Orange County Consumer Price Index for the twelve-month period ending August 31* of the prior year. A public hearing is held in September to announce the allowed rental increase, if any.	<b>Housing Authority Community Development</b> City Attorney Office	On-going	H-3 H-3.3	On-going - In addition to holding an annual public hearing, there is the opportunity for the ordinance to be reviewed to consider any improvements which could assist and improve its application to mobile home park issues.
H-39	Continue to participate and promote the Housing Authority of the County of Riverside rental assistance programs on the City's Housing Authority Community Development's webpage. They offer programs to extremely low- to moderate-income renters, including the following:	<b>Housing Authority Development</b>	On-going	H-3 H-3.3	On-going - See comments below

**Completed**      **On-going**      **In Progress**

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Housing Choice Voucher Program</b> - The Section 8 rental voucher program provides rental assistance to help extremely low- to low-income families afford decent, safe, and sanitary rental housing</p> <p><b>Section 8 Project Based Moderate Rehabilitation Housing Assistance Programs</b> - These Programs were developed to increase the number of affordable housing units to low-income families. Housing assistance is offered to eligible families who wish to live in privately owned multi-family developments that were upgraded or rehabilitated.</p> <p><b>Bond Financed Rental Housing</b> - The Riverside County Housing Authority owns several bond financed multi-family rental housing developments in the City of Riverside.</p> <p><b>The Family Self-Sufficiency (FSS) Program</b> - This is a program that assists families receiving federal rental assistance move to economic independence so they are free of any governmental assistance.</p>	<p><b>Housing Authority of the County of Riverside</b></p> <p><b>Housing Authority of the County of Riverside</b></p> <p><b>Housing Authority of the County of Riverside</b></p> <p><b>Housing Authority of the County of Riverside</b></p>	<p>On-going</p> <p>On-going</p> <p>On-going</p> <p>On-going</p>	<p>H-3 H-3.3 H-4</p> <p>H-3 H-3.3 H-4</p> <p>H-3 H-3.3 H-4</p> <p>H-3 H-3.3 H-4</p>	<p>On-going - The City of Riverside continues to refer property owners and tenants to the Section 8 program to assist with rental subsidy.</p> <p>On-going - The City of Riverside continues to refer property owners and tenants to the Section 8 program to assist with rental subsidy.</p> <p>On-going - The City of Riverside website refers interested parties to the Housing Authority website.</p> <p>On-going - The City of Riverside website refers interested parties to the Housing Authority website.</p>
H-40	Encourage rental property owners to register their units for participation in the Housing Authority of the County of Riverside rental assistance programs.	<b>Housing Authority Community Development</b>	TBD	H-3 H-3.3 H-4	Housing staff will contact the Housing Authority of the County of Riverside to review the Section 8's marketing plan to identify how rental property owners in the City of Riverside are receiving information participate in the Section 8 Program.
H-41	Continue to maintain the list of affordable rental units on the Housing & Neighborhoods Development's website	<b>Housing Authority Community Development</b>	On-going	H-3 H-3.3 H-4	On-going - Housing staff continue to update the City's and Agency's affordable housing inventory, which is accessible to the general public on the City's website

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-42	Provide rental assistance to 120 extremely low-income families.	<b>Housing Authority Community Development</b>	Winter Quarter 2014	H-3 H-3.3	From 2006 to 2012, 190 individuals received rental assistance to prevent homelessness. Funding source: HOME and Housing Prevention and Rapid Re-Housing Program
H-43	<p>Review the list of affordable projects throughout the City regularly to determine what projects may be "at risk" of losing their affordability covenants and then look into the feasibility of preserving these 'at risk' projects</p> <p>The City will preserve affordability of the 112 unit JE Wall Victoria Manor including 23 units affordable below 50% of the MFI and 88 units affordable at or below 60% of MFI with affordability covenants extended 55 years to 2026.</p> <p>The City will preserve affordability of the Indiana Apartments (now called Autumn Ridge Apartments) including 8 units affordable to extremely low income households, 9 units affordable to very low income households and 15 units affordable to moderate income households with a 55-year affordability covenant.</p> <p>The City remains committed to preserving its affordable housing and will continue to monitor the status of publicly subsidized affordable projects, provide technical and financial assistance where feasible, and consider appropriate actions should these projects become at imminent risk of conversion.</p>	<b>Housing Authority Community Development</b>	On-going	H-3 H-3.4 H-4	<p>On-going - The City continues to review at-risk projects and the feasibility of preserving these units</p> <p>These projects were preserved consistent with Government Code Section 65583.1 (Table H-26 on pages HTR 50 &amp; 51 of the Housing Technical Report) and are counted as construction credits toward the City's 2006-2014 RHNA.</p>

Completed	On-going	In Progress
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-44	Continue to support Rebuilding Together Riverside (RTR), a leading nonprofit working to preserve affordable homeownership and revitalizing communities. They provide free rehabilitation and critical repairs to the homes of low-income Riversideans.	<b>Rebuilding Together Riverside</b>	On-going	H-3 H-3.5	See comments under H-1
H-45	<p>Actively seek additional partnerships with for-profit and non-profit organizations to provide housing opportunities for low and moderate-income residents.</p> <p>The Redevelopment Agency and Housing Authority will enter into an Implementation and Cooperation Agreement for Affordable Housing to provide \$140 million dollars in Agency Housing funds over a 20 year period to fund affordable housing projects and programs and will Assign the Agency's residual receipts and program income from loans made from the Agency's Housing Fund to the Housing Authority to fund affordable housing projects and programs. <i>This Agreement was cancelled as a result of the elimination of Redevelopment</i></p> <p>The Housing Authority will enter into a Professional Consultant Services Agreement with the Riverside Housing Development Corporation (RHDC) for \$3 million dollars per year for 20 years to fund homeowner rehabilitation and homebuyer programs. <i>This Agreement was cancelled as a result of the elimination of Redevelopment</i></p>	<b>Housing Authority Community Development</b>	On-going	H-3 H-3.5 H-4	<p>On-going - The City of Riverside and Housing Authority have partnered with RHDC, National CORE, Fair Housing Council of Riverside County, Mary Enckson Community Housing, TELACU, Habitat for Humanity, Neighborhood Housing Services of the Inland Empire, Wakeland Housing and Development Corporation, and the Housing Authority of the County of Riverside to provide affordable housing opportunities and supportive services for residents.</p> <p>The City will continue its partnership with RHDC to acquire and rehabilitate the remaining Indiana Avenue Fourplexes that are owned by numerous property owners.</p> <p>The City of Riverside will hold Tax Equity and Fiscal Responsibility Act (TEFRA) hearings to allow the public to comment on projects requesting tax-exempt revenue bonds from the California Statewide Community Development Authority (CSCDA) and approve the issuance of such bonds.</p> <p>On July 13, 2010, the City Council held a TEFRA hearing on behalf of Foundation for Affordable Housing Inc for the acquisition and rehabilitation of the Highlander Point Apartments and approved the issuance of tax-exempt revenue bonds by CSCDA. Of the 132 apartment units, 27 will be restricted to very low income households.</p> <p>Prior to the end of each fiscal year, the City will invite developers to submit proposals for affordable housing projects. Based on funding availability, the City will contribute HOME and Redevelopment housing funds for affordable housing projects.</p>

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-46	Continue to support the Mayor's Commission on Aging whose mission is to "enhance the quality of life for seniors in our community. We study local senior issues to learn about current programs, define future needs, and reference Best Practices. We then make recommendations to the Mayor and City Council on ways we think the City of Riverside can maintain and improve its status as a Senior-Friendly Community."	<b>Mayor's Office</b>	On-going	H-4 H-4.1	On-going - The Mayor's Office will continue to support this Commission providing agendas, staff reports and minutes
H-47	Continue to pursue the 10 recommendations of the "Seniors' Housing Task Force Report" approved by City Council on October 26, 2004 that are on-going including	<b>Housing Authority Community Development</b>	On-going	H-4 H-4.1	On-going - See comments below
	<b>Recommendation #1</b> - Make Seniors Housing a priority in the Housing Element (HE) of the General Plan	<b>Planning Division Housing Authority Community Development</b>	On-going With the Certification of each new HE	H-4 H-4.1	On-going - Senior Housing continues to be a priority of the Housing Element as noted by the emphasis placed in this recent Housing Element update for the RHNA Cycle 2006 - 2014 where Objective H-4 has been dedicated to the topic
	<b>Recommendation #2</b> - Create a Seniors' Housing category in the Zoning Code. The Zoning Code shall include standards for senior housing.	<b>Planning Division Housing Authority Community Development</b>	TBD	H-4 H-4.1	The creation of a Seniors' Housing category in the Zoning Code was explored and it was determined that this category was not appropriate; rather the creation of development standards for Senior Housing to encourage the construction of senior housing in a variety of locations would be more appropriate. This case has been assigned and is currently being processed by the Planning Division.
	<b>Recommendation #5</b> - Generate Creative Sources of Financing. Although there are several funding sources available like tax credits and HUD 202 loans there are two additional sources that have not been addressed. These sources are the inclusionary housing ordinance noted in Recommendation #4 and the funds available from HUD to faith based organizations (FBO's) for the	<b>Housing Authority Community Development</b>	On-going	H-4 H-4.1	On-going - Housing staff will establish relationships with FBOs to provide capacity buildings for the development of affordable senior housing units

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	development of senior housing Most FBO's do not have the capacity to apply for the funding and to construct senior projects. Housing & Neighborhoods Development shall work with FBO's to build capacity to successfully apply for the funding				
	<p><b>Recommendation #6</b> – Exploit Economic Opportunities Many of the funding sources for Seniors Housing construction understand that seniors buy in their own neighborhoods. This is the reason the funding sources require developments to be within a very small radius of amenities (i.e., shopping, medical, etc.) Housing &amp; Neighborhoods Development will not only make an effort to encourage more senior housing opportunities, but to encourage these developments within each neighborhood and for every demographic and the needs of the senior population</p> <p><b>Recommendation #7</b> – Take a competitive approach This is a general statement encouraging timely action on completing the recommendations of the Seniors' Housing Task Force Report</p>	<p><b>Housing Authority Community Development</b></p> <p><b>Housing Authority Community Development</b></p>	<p>On-going</p> <p>On-going</p>	<p>H-4 H-4.1</p> <p>H-4 H-4.1</p>	<p>On-going – Housing Authority staff will continue to encourage the development of senior housing in neighborhoods that have amenities in close proximity</p> <p>On-going – Housing staff anticipates completing the recommendations identified in the Senior's Housing Task Force Report by 2014</p>
	<b>Recommendation #10</b> – Recommend Universal standards in new construction. (See Tool H-30)	<b>Planning Division</b>	Last Quarter 2014	H-4 H-4.1 H-2	See the response to Tool H-30.

Completed	On-going	In Progress
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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Family Housing</b>					
H-48	Actively seek additional partnerships with service organizations to provide supportive services for residents.	<b>Housing Authority Community Development</b>	On-going	H-4 H-4.2	On-going - The City of Riverside has partnered with RHDC, National CORE, Fair Housing Council of Riverside County, Mary Erickson Community Housing, TELACU, Habitat for Humanity, Neighborhood Housing Services of the Inland Empire, and the Housing Authority of the County of Riverside to provide affordable housing opportunities and supportive services for residents.
H-49	Continue to implement the Density Bonus provisions of the Zoning Code for projects providing affordable housing units.	<b>Planning Division</b>	On-going	H-4 H-4.2	On-going - The City routinely works with developers interested in taking advantage of this provision.
H-50	Continue to permit second units in compliance with the Zoning Code as a means of providing affordable units throughout the City.	<b>Planning Division</b>	On-going	H-4 H-4.2	On-going - As part of the General Plan 2025, these standards of the old Zoning Code were transferred into the new Zoning Code as Chapter 19.525 and permitted in the RE and R-1 Zones.
H-51	Continue providing fair housing services and publicize these efforts. Prepare an update to the Analysis of Impediments (AI) to Fair Housing in time for the submission of the Consolidated Plan.	<b>Housing Authority Community Development</b>	Completed	H-4 H-4.2	Completed - Staff included the AI in the 2010/2015 five-year Consolidated Plan. The Plan was adopted by the City Council on April 13, 2010.

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	The Fair Housing Council of Riverside County has provided a comprehensive fair housing program to further equal housing opportunity for all residents and households in the City of Riverside. The mission of the Fair Housing Council is to provide comprehensive services which affirmatively address and promote fair housing (anti-discrimination) rights and further other housing opportunities for all persons without regard to race, color, national origin, religion, sex, familial status, presence of children, disability, ancestry, marital status, or other arbitrary factors.	<b>Fair Housing Council of Riverside County</b> Housing Authority Community Development	Ongoing		On-going - Since 2006, Fair Housing has assisted households with addressing the following housing issues:  Housing Discrimination = 451 households Landlord/Tenant issues = 12,053 households  Fair Housing also provides Foreclosure Prevention Counseling to help homeowners keep their home. Fair Housing counseled over 760 Riverside residents at a cost per client of \$311 (national average is \$431). Counselors spent an average of 5 hours per client and engaged homeowners in multiple levels of foreclosure prevention services. Approximately 3,800 hours were spent counseling homeowners facing foreclosure.
	Staff will review the current Zoning Code definition of 'Family' for consistency with the State fair housing law and amend the Zoning Code definition as needed to comply with state fair housing law.	<b>Planning Division</b>	Completed February 2012		Completed - The amendment was adopted by City Council on February 7, 2012 and became effective 30 days after adoption.
<b>Educational Housing</b>					
H-52	Facilitate and encourage the development of student housing oriented to the local universities and college campuses.	<b>Planning Division</b> Housing Authority Community Development	On-going	H-4 H-4.3	On-going - City staff continues to coordinate with private developers, UCR and other schools to encourage quality student housing in appropriate locations. One example is the recent City Council approval to "double-up" units in three separate student housing projects near UCR.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
<b>Housing for Homeless People (Extremely Low-Income Population)</b>					
H-53	Continue to aggressively pursue the 30 action-based strategies of the "Riverside Community Broad-Based Homeless Action Plan" approved by City Council in June of 2003 that are on-going action items including	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4.4	<p>On-going - Since the adoption of the Riverside Community Broad-Based Homeless Action Plan, the City has aggressively pursued implementation of 30 action-based strategies within the plan including hiring a Homeless Services Coordinator, and homeless street outreach workers, opening a new Emergency Shelter, developing a homeless service Access Center, expanding funding for community-based service agencies, identifying new funding for homeless prevention strategies, strengthening collaboration with faith-based service providers and creating more affordable housing opportunities targeted to homeless populations</p> <p>In 2012, staff presented the Community Services and Youth Committee with an update on the "Riverside Community Broad-Based Homeless Action Plan" Shortly thereafter, the City of Riverside created a homeless task force to identify gaps in the City's Homeless Program and the Riverside Community Broad-Based Homeless Action Plan</p> <p>The Riverside Homeless Task Force held several meetings to identify solutions to ending homelessness in the City, which has resulted in the development of the Homeless Reduction and Prevention Plan that identifies the following three top priorities to improve and increase availability of services for homeless individuals or individuals at -risk of becoming homeless</p> <ul style="list-style-type: none"> <li>• Priority #1             <ul style="list-style-type: none"> <li>o 1. Basic Needs and Services</li> <li>o 2. Community Education</li> </ul> </li> <li>• Priority #2             <ul style="list-style-type: none"> <li>o 1. Preventive Services</li> <li>o 2. Outreach</li> </ul> </li> <li>• Priority #3             <ul style="list-style-type: none"> <li>o 1. Employment Services</li> <li>o 2. Permanent Housing</li> </ul> </li> </ul> <p>On September 18, 2012, the Homeless Reduction &amp; Prevention Strategy Five-</p>

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
					<p>Year Plan will be presented to City Council for adoption along with an anti-panhandling campaign to encourage the public to donate to homeless programs and services that strive to help homeless individuals become self-sufficient</p> <p>Since funding is not available at this time to undertake all the activities identified in the Homeless Reduction &amp; Prevention Plan, the City is seeking donations under the Riverside End Homelessness Fund that will be marketed through the Homeless Marketing Campaign. The Homeless Marketing Campaign will educate the public on services the City and its partners provide to help homeless individuals become self-sufficient and to encourage the public to become part of the solution by contributing to the Riverside End Homelessness Fund instead of panhandlers.</p> <p>The Homeless Task Force will continue to meet on a monthly basis to identify solutions to at least one activity listed in the Homeless Reduction and Prevention Plan. When funding has been identified to undertake an activity within the Homeless Reduction and Prevention Plan where solutions have been made by the Homeless Task Force, staff will return to City Council for approval to proceed with the activity.</p>
H-54	Aggressively work to address homelessness in the community in partnership with a wide-range of non-profit organizations, social service agencies, faith-based institutions and others working together to end homelessness in the community through such programs as	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4 d	On-going - The City of Riverside continues to work with in partnership with a wide-range of over 50 non-profit organizations, social service agencies, faith-based institutions and others working together to end homelessness in the community through the City-sponsored Riverside Homeless Care Network.

Completed      On-going      In Progress

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	<p><b>Annual Riverside Project Homeless Connect</b> - Continue to provide Project Homeless Connect on a bi-annual basis. Project Homeless Connect is an effort to assist homeless individuals and families on the road to self-sufficiency by providing a concentration of services including medical, behavioral health, housing, employment, financial assistance, veteran's, identification and personal care in a consumer-centric one-stop setting.</p>	<b>Housing Authority &amp; Homeless Services Community Development</b>	Ongoing - Bi-annually	H-4 H-4.4	The City of Riverside has sponsored four Project Homeless Connect events since 2006 providing over 1500 homeless individuals and families with direct access to a wide-range of housing and supportive services in a one-day, one-stop setting including housing, employment, medical care, behavioral health, public benefits, education, veteran's services, pet care and more.
	<p><b>City of Riverside Homeless Prevention and Rapid Re-Housing Program (HPRP)</b> - Continue to provide financial assistance to those who qualify through this program. This program provides temporary financial assistance and services to either prevent individuals and/or families from becoming homeless or help those who are experiencing homelessness to be quickly re-housed and stabilized.</p>	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4.4	On-going - The City of Riverside was awarded over \$1.3 million in federal ARRA funding in 2009 for up to three-years to implement the Homeless Prevention and Rapid Re-Housing Program (HPRP). The City is utilizing HPRP funding to provide low-income households experiencing a housing emergency with financial assistance to prevent homelessness and facilitate rapid re-housing for those who become homeless including payment of rental arrears, housing relocation assistance, and/or short-term rental subsidies coupled with case management to facilitate housing stabilization.
	<p><b>Homeless Street Outreach Program</b> - The City of Riverside Homeless Street Outreach Team will continue to provide daily mobile outreach and client service engagement focused on the "hardest-to-reach" and "service-resistant" populations on the streets, in service venues, and other locations where they can be found.</p>	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4.4	On-going - The City of Riverside Homeless Street Outreach Team has assisted over 1500 homeless individuals since 2006 with crisis intervention, shelter and housing linkage and social service connections needed to exit life on the streets and achieve housing stability and self-sufficiency.

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Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Housing First Initiative/Tenant-Based Rental Assistance Program (TBRA)</b> - The Housing Authority of County of Riverside will continue to implement the TBRA program. This provides eligible homeless individuals and families as well as those at-risk to homelessness in Riverside with short-term rental subsidies coupled with home-based case management.</p>	<b>Housing Authority of County of Riverside</b>	On-going	H-4 H-4.4	On-going - The City of Riverside has provided over 100 homeless and at-risk households with short- and medium-term rental assistance coupled with case management services through the Housing First/Tenant-Based Rental Assistance program since 2006.
	<p><b>Permanent Supportive Housing Program</b> - Continue the operation of the two, eight unit permanent supportive housing projects the City acquired through the HUD Continuum of Care Supportive Housing Program (SHP) which supported the acquisition, development and operations of the housing projects.</p>	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4.4	On-going - The City of Riverside continues to provide permanent supportive housing to chronically homeless individuals and other homeless persons with disabling conditions through two HUD funded supportive housing projects.
	<p><b>Riverside Homeless Care Network</b> - Continue the monthly meetings of the City-sponsored Riverside Homeless Care Network to facilitate effective communication, coordination, and collaboration of over 50 organizations, including nonprofit service providers, municipal service agencies, law enforcement, and faith-based institutions.</p>	<b>Housing Authority &amp; Homeless Services Community Development</b>	On-going	H-4 H-4.4	On-going - The City of Riverside continues to sponsor monthly meetings of the Riverside Homeless Care Network in order to facilitate effective communication, coordination, and collaboration of over 50 community-based organizations, including nonprofit service providers, municipal service agencies, law enforcement, and faith-based institutions.
	<p><b>Annual Funding for Social Service Providers</b> - The City Council will continue to annually allocate funding to local agencies providing a range of services to homeless and those at-risk of becoming homeless.</p>	<b>City Council</b>	Spring Quarter of Each Year On-going	H-4 H-4.4	On-going - The Riverside City Council continues to allocate over \$500,000 annually in HUD federal entitlement funding to local community-based agencies providing a range of supportive services to homeless people and those at-risk of becoming homeless.

Completed	On-going	In Progress
Under "Responsible Agency" the first Agency listed in bold is the Lead Agency.		
TBD = To Be Determined		

# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE



Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
	<p><b>Community Foundation Fund to Support the City's Homeless Strategy</b> – Staff will continue to work on avenues to look beyond government resources and strategically tap into support from the private sector and the community at-large through a Donor Advised Fund with The Community Foundation to help support the city's homeless strategy.</p> <p><b>Access Riverside</b> – Continue to operate and expand Access Riverside the centralized environment of housing and supportive services designed to assist homeless individuals and families to address their issues and achieve housing stability.</p> <p><b>Path of Life Ministries</b> – Continue to support Emergency and Family Shelter services provided by Path of Life Ministries in the City of Riverside.</p>	<p><b>Housing Authority &amp; Homeless Services Community Development</b></p> <p><b>Housing Authority &amp; Homeless Services Community Development</b></p> <p><b>Housing Authority &amp; Homeless Services Community Development</b></p>	<p>On-going</p> <p>On-going</p> <p>On-going</p>	<p>H-4 H-4.4</p> <p>H-4 H-4.4</p> <p>H-4 H-4.4</p>	<p>On-going – In 2009, the City of Riverside established the “Riverside Ending Homelessness Fund” with The Community Foundation to provide an avenue for private sector entities and the community at-large to provide support to the City's efforts to eradicate homelessness.</p> <p>In 2012, the City released its Homeless Marketing Campaign to encourage the public to donate to homeless programs and services instead of giving money to panhandlers who are not seeking help end their homeless situation. The City also approved the Riverside Ending Homelessness Fund Advisory Committee membership.</p> <p>On-going – The City of Riverside continues to support the development and operations of a centralized multi-service environment providing homeless individuals and those at-risk to becoming homeless with a wide-range of shelter, housing and supportive services necessary to exit life on the streets and achieve housing stability.</p> <p>On-going – The City of Riverside continues to provide financial and other support to Path of Life Ministries in their operation of two emergency shelter facilities in the city. Since 2006, Path of Life Ministries has provided over 100,000 bed nights, including meal service, to homeless individuals in the City of Riverside.</p>
H-55	Continue to support the Building Industry Association's (BIA) program HomeAid Inland Empire. HomeAid is a leading national non-profit provider of housing for today's homeless. The organization builds and renovates multi-unit shelters for the temporarily homeless families and individuals, many of whom are children, while they rebuild their lives.	<b>BIA Inland Empire</b>	On-going	H-4 H-4.4	On-going – The Inland Empire regional chapter of HomeAid continues to grow with 5 projects currently under development.

Completed	On-going	In Progress
Under “Responsible Agency” the first Agency listed in bold is the Lead Agency.		

TBD = To Be Determined

# APPENDIX E

## REVIEW OF HOUSING ELEMENT PAST PERFORMANCE

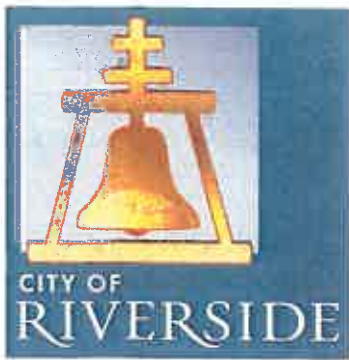


Tool	Description	Responsible Agency	Time Frame	Related General Plan Objectives and Policies	Progress
H-56	Process an amendment to the Zoning Code (Title 19) to permit supportive and transitional housing in all zones where residential uses are permitted pursuant to the requirements of SB 2.	<b>Planning Division</b>	Within 1 year of certification of the Housing Element	H-4 H-4.4	The Planning Division will initiate an amendment to the Zoning Code to permit supportive and transitional housing in all zones where residential uses are permitted in compliance with SB 2.
<b>Housing for People with Disabilities</b>					
H-57	Continue to support the Mayor's Model Deaf Community Committee which promotes unity between Riverside's deaf and hearing community, promoting access, advocacy, education and inclusion	<b>Mayor's Office</b>	On-going	H-4 H-4.5	On-going - The Model Deaf Community Committee meets monthly at City Hall, 10 months of the year, to discuss issues of interest of the deaf and hard-of-hearing community and to propose or host activities that raise awareness of the deaf and promote programs that encourage inclusion and interaction in the life of the City.
H-58	Continue to support the Commission on Disabilities whose members advise the Mayor and City Council on all matters affecting persons with disabilities in the community. The Commission reviews community policies, programs, and actions that affect persons with disabilities and make appropriate recommendations to the City Council.	<b>General Services Department</b> City Attorney Office	On-going	H-4 H-4.5	On-going - The General Services Division will continue to support the Mayor's Commission on Disabilities.
H-59	Continue to provide expert analysis of the disabled access requirements of the Building Code during the plan review process so that developers will have clear directions on how to construct their projects. Such expert analysis, provided early in the development process will limit conflicts in the field during construction, saving the developer time, money, and resources by avoiding unnecessary changes.	<b>Building Division</b> Planning Division	On-going	H-4 H-4.5	On-going - The Building Division will continue to provide this service through the Plan check process.

Completed	On-going	In Progress
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Under "Responsible Agency" the first Agency listed in bold is the Lead Agency.

TBD = To Be Determined



**HOUSING ELEMENT UPDATE 2014-2021  
CITIZENS' ADVISORY COMMITTEE  
MINUTES**

*Wednesday, May 29, 2013*

*10 a.m. to Noon*

*Riverside Public Utilities Board Room  
3901 Orange Street, Riverside CA 92522*

**Members Present:** Peter Benavidez, Bruce Kulpa, Rose Mayes, Tony Mize, Grace Suchowski, Robert Treen, Paul Van Doren, Robert Wade, Nancy Hart

**Staff Present:** Doug Darnell, Michelle Davis, Monica Hernandez, Frances Andrade

**RBF Consultants:** David Barquist, Carolyn Hernandez

**Members Absent:** Leonard Doup, Mike Teer, Tommy Thompson, William Allen

**1. Call to Order**

Doug Darnell, Senior Planner, called the meeting to order. He introduced David Barquist and Carolyn Hernandez with RBF consultants.

**2. Welcome and Introductions of Citizen's Advisory Committee (CAC) members**

Mr. Darnell thanked the members for attending today. The committee members introduced themselves.

**3. Purpose and Responsibilities of the Citizens' Advisory Committee**

Mr. Barquist gave an overview of the Citizen's Advisory Committee's purpose and responsibilities.

**4. Overview of Brown Act**

A brief summary of the Brown Act and how it affects the CAC as well as the rules for conducting business was given by Mr. Barquist.

**5. Election of Chair and Vice-Chair**

Mr. Barquist asked the committee to select a Chair and Vice-Chair for the CAC.

MOTION by Rose Mayes to nominate Tony Mize Chair of the CAC. SECOND by Grace Suchowski.

MOTION by Peter Benavidez to nominate Bruce Kulpa Chair of the CAC.

MOTION by Tony Mize to elect Bruce Kulpa Chair and Tony Mize as Vice-Chair. SECOND by Peter Benavidez. MOTION CARRIED – Unanimously.

## 6. Establishment of Meeting Ground Rules

Chair Kulpa referred to Section 4 of the CAC binder: Committee Ground Rules and Expectations. He asked if the Committee was in agreement with these ground rules and if there were any changes or additions to be made.

Mr. Benavidez stated that because of his visual impairment it is impossible for him to recognize everyone's voice when they speak on any item on the agenda. He requested that when such instances occur, the speaker identify themselves. He would like to be provided with information verbally as to what they are speaking to as opposed to referring to "item 13".

MOTION by Rose Mayes to adopt the ground rules as written with the addition of Mr. Benavidez' request. SECOND by Nancy Hart. MOTION CARRIED – unanimously.

## 7. Public Comments

Mr. Barquist inquired if there was anyone in the audience requesting to speak at this time, to please come forward and state their name and address. There were no public comments at this time.

## 8. Overview of Committee Binder

Mr. Barquist went over the various sections of the CAC binder. As further information and documentation becomes available, it will be forwarded for the members to add to their binder.

## 9. Introduction to the Housing Element Update

The Statewide Housing Goal: "...*Decent housing and suitable living environment for every California family.*" translates down to the local level through the Regional Housing Needs Assessment (RHNA) process. The Southern California Association of Governments (SCAG) is the entity that does the RHNA process and defines what the projected needs for housing, over a planning period, will be for the community. The City responds to this by providing the policy and regulatory guidance to ensure the market has the ability to accommodate this.

The Housing Element is one of the seven elements of the General Plan required by State law. It provides for a variety of housing types based on the variety of income levels. This is the City's policy document and guidance tool, and is a reflection of the community's needs. The Housing Element is the only element that requires review and certification by the State of California. He noted that many funding and grant opportunities require a certified Housing Element. October 15, 2013 is the statutory deadline for the Housing Element.

Mr. Barquist reviewed the sections of the Housing Element. He described the phases of the Housing Element update process.

## 10. Committee Visioning Exercise

Mr. Barquist invited everyone to participate in a "post-it" exercise. Post-it notes were provided to everyone and they were asked to write down their top three housing challenges for the City of Riverside. The post-its were posted on the wall and grouped together in categories.

Mr. Barquist invited everyone to post their top three "housing opportunities" for Riverside. He noted these would be ideas for improving the housing in Riverside.

Mr. Barquist referred to the wall and all the information posted. He noted that what was important to point out was the commonalities that everyone present had as a community. Everyone may think that there is a diverse level of ideas or considerations but in many cases, everyone thinks alike. These commonalities lead to conclusions which, in this case, will ultimately be good policies. Ms. Hernandez will go over these challenges and welcomed everyone to add to or discuss these ideas.

Ms. Hernandez, having organized the post-its into groups, summarized the issues identified. Transportation concerns including having mediums of transportation close to housing. Open space varied from keeping open space open and having open space for development as challenges. Other issues identified were Zoning issues, quality of low income housing, availability of public utilities and here is a group including housing for disabled, veterans, seniors and homeless individuals. She noted that affordability was another big topic. Owners versus investors: renters as well as investors since they are taking over for first-time homebuyers and making it difficult for the first-time homebuyer to purchase a home. Funding: federal funding, funding for transitional housing and providing mobile home opportunities for families and seniors.

Mr. Barquist asked if there were any other challenges, ideas or discussion anyone would like to add to this topic?

Paul Chavez noted that a mention was made of building housing close to transportation. It should be the opposite, the City already has existing homes but does not have the transportation where it can be easily accessed by those residents. He stated that there is a lot of transportation but it doesn't meet the criteria of going to where people live or work.

Mr. Barquist summarized Mr. Chavez' statement in that the challenge would be serving existing population in the community. This is a good point of discussion, not necessarily a direct housing issue but it has an affect on housing. While not explicitly a housing issue it really is a tentacle of that process as well.

Morris Mendoza brought up the issue of single women head of households. It used to be that two parents could make enough money to afford a house but that is now becoming harder. Another issue is with large households. He is the only person on his street with two people living in the house. All others have 6 or more people living in the home. This can range from family of six to people and/or a family renting to other families. He knows of a couple of homes where 10 -12 people share a home, and that is a challenge. Some do it to get extra money and others are two families who just have to get together and live like that. It is not just one family but 2-3 families living together.

Christina Duran added to Mr. Chavez and Mr. Mendoza's comments. She comes from the Eastside of Riverside and they actually have 2-3 generations of families and friends and extended family living in one home. They are fortunate but unfortunate because University Avenue cuts through their community so they have quite a few bus lines but there really aren't any bus lines that go into the community. There is perimeter type busing but there is no way that families can catch a bus when they are inside the neighborhood. People may think this isn't a big deal but for the elderly it can be a long walk to get to the bus and that is really bad. The City would like everyone to leave their cars at home and ride a bike, take the bus but the streets are cracked, there are holes, and raised sidewalks. These are challenges that the residents in these communities find. The City wants to be a grown up City but it doesn't even have an 18-20 hour bus line like other major cities. She suggested having longer repayment schedules available for families to purchase homes. Perhaps lenders and bankers can be approached with the suggestion to extend payment schedules based on a person's income. These are challenges that every day families have and are never really



addressed in a lot of meetings. If it is not extended to every single neighborhood then it is a failure. She has friends that live in Mission Grove area and if they have a few cracks in their streets, they have their streets repaired. Go down Ottawa, trucks come through this area and the whole street is disgusting/broken but they can't get Ottawa repaved. Why? Since she arrived in Riverside she always thought it was family friendly and was supposed to be all about being a wonderful place but if it doesn't go into every single neighborhood then it is a failure.

Peter Benavidez thanked staff for sending out the binder in advance electronically which makes it a lot easier to be prepared when he comes to the meeting. His challenge that he wrote down was accessibility. He pointed out that the report addresses accessibility differently than how he looks at it. In the report it talks about making sure the homes have adequate ramps and widened doors so that people with physical disabilities can live comfortably. He supports this and the comments about the City's current transportation issues. If some neighborhoods don't have efficient, effective and usable transportation to meet daily needs, even though it is not a housing issue, it is an issue. He was not sure if the transportation was in the purview of this particular body but it is certainly important to where the houses are located. He did note that most times it is the buyer's responsibility, or the renters, to do their research when they search for a place they can afford that they take all those items into consideration.

He also addressed multi-level housing. If there is less land available and the City needs thousands of affordable units, what is wrong with building up? This is something that should be considered for the future as the population, literally and figuratively, lose their ability to drive and will need to be located nearby goods and services, grocery stores, doctors offices, entertainment areas and places like senior centers, etc. He did not believe the current transportation provider would be able to meet the future demand alone. He stated that from a visually impaired stand point, ramps, curb cuts, grab bars, widening of doors and the things mobility people require and need, are not necessarily the needs of people with visual impairment. Most of the time, their issues occur once they enter the building. They encourage people, when they are looking for homes to look around the neighborhood. There is an education component that should be part of this document to educate seniors, people with disabilities or special needs to the best approach when seeking affordable housing.

Rose Mayes explained that their number one discrimination complaint is dealing with disability. There are not enough homes that are ready for people with disabilities. As you know, the baby boomers are coming through and affordability of those types of homes are not available. Especially in downtown Riverside she see a lot of beautiful condominiums and homes but nothing affordable for seniors. This is a concern for her. Also, senior housing used to be mobile homes but you don't see too many of those types of homes that are being deed restricted. The zoning and deed restrictions need to be discussed as well.

Peter Benavidez, Rose Mayes, and Nancy Hart announced that they needed to depart early and excused themselves from the meeting.

Erin Snyder, Northside Improvement Association, stated she wrote down an opportunity but thought perhaps it was actually more of a challenge. In the Northside they have available housing. There is this whole development on Rivera Street that has been there over five years and still half of it is empty. They have senior housing on Orange Street. She stated this was an affordability issue because the housing is there but people can't afford it. She just didn't understand why they weren't using it. There are other developments like M'Sole and Mission complex down on Market Street. These projects can't just be built if people aren't going to be able to use it.

Paul Van Doren stated that, particularly to Riverside, they should think about student housing. There are a lot of colleges and universities that put a big demand on the City's existing housing stock especially affordable housing and affordable rental property. If the City could work with the universities to address their student housing plans to address student housing as their universities and colleges expand.

Robert Treen noted the use of SROs by other cities. He said that for students this may work.

Mr. Barquist thanked the individuals for their comments. He stated that whatever the challenges, there are always opportunities. He read over the opportunity notes and some of the ideas were tax incentives (tax credits) for affordable housing. These would be incentives for developers to build affordable housing and noted that an incentive isn't necessarily a check. Incentives can be in many forms such as shortened processing timelines and review procedures, streamlining of the policy. Also, rehabilitation programs in the form of assistance for other things to provide for the community. There were a number of comments regarding density suggesting higher density development. Higher density well planned near transportation comes back to the issues discussed earlier and getting that higher density population close to that. We should zone for higher density to get a ratio of 60/40 (60 percent single-family residential and 40 percent multiple-family) or 65/30.

Tony Mize agreed and stated that typical good planning would suggest the City functions well when the single-family is 60-65 and multifamily is the opposite. Riverside has a lot of rentals because of the universities. There is a lot of student housing that is not in traditional housing like we have around the university, instead they are all throughout the single-family neighborhoods in rental units. There are single family detached homes that are rented to five students and so that is one piece of that imbalance the City has going on. The classic example of that is San Bernardino which has 65 – 70% of their entire housing stock single-family. When you don't zone for dense multi-family you wind up having an inordinate amount of your single family as rental.

Chair Kulpa added that the City of Riverside has traditionally been a suburb and therefore more dominantly single family construction. If the City has to produce 8,000 units, there is a finite amount of land left and that is where plans have to go up in density. To the extent that this looks at zoning and makes recommendations, there are corridors around universities and along Magnolia Avenue where there are services and bus lines. Consideration should be given to major streets where there is access to services and access to transportation. He suggested clustering housing along those corridors. This goes back to the previous comments where they live off the beaten path far from public transportation, those individuals have quite a walk ahead of them. It was also mentioned that, to expect RTA or someone to come along with new bus lines that go deeper into the neighborhoods is probably not realistic, at least not over the near term. For a near term solution, he thought they need to induce, incentivize and prepare a plan for more development along the arterial corridors the City already has.

Mr. Mize agreed and noted that other cities all over southern California such as Rancho Cucamonga, Chino Hills and Corona, which during the housing boom, zoned for large lot and large housing neighborhoods, did not zone for the dense multi-family at that time or very little of it. The result at the end of the day is a battle in the neighborhoods between the traditional single-family owner with a conventional mortgage and their next door neighbor which may have three families with five-six cars renting a single family home. If there had been a adequate supply of multi-family close to all the services being developed at the same time as the population was growing, they would not have near that problem.

Chair Kulpa noted that there seems to be a stigma often attached to multi-family housing because of what Mr. Mize just described. This is really an overcrowding issue rather than a multi-family versus single family but that is what happens when you fail to make opportunities conducive for multi-family development. He suggested identifying where the City wants the multi-family development to occur. The City needs to be proactive and look into that now before it becomes a bigger problem. If we don't make an opportunity that is better for our community that is close to services and doesn't result in overcrowding, then they will land in single family neighborhoods and cause problems although not intentionally.

Mr. Chavez indicated that what is being said is good but in reality look at what happens in LA. Multi-family areas are created but these areas can easily become what is considered negative and the area starts to depreciate. It can happen here as well if we are not careful. There has to be a good balance so that multi-family is not over saturated. It has to be diverse.

Mr. Barquist reviewed additional comments that were posted. Comments included retaining the existing housing stock, rehabilitation of blighted properties for affordable housing, assist the acquisition and rehab in multi-family neighborhoods. Also suggested was, infill housing, VA housing, additional opportunities for senior apartments, the construction of starter homes for the younger generation, opportunities such as green development housing and addressing the quality of housing to ensure attractive housing not just cookie cutter development.

Ms. Duran added that to the education component brought up by Mr. Benavidez. She noted that not many of the smaller apartment unit managers, even though they are part of Crime Free Housing, are as educated with regard to the community dynamics within the complex. There is a disassociation with some of the managers toward their tenants. Some of the larger apartment complexes in other areas are almost walled in and treated differently. The City should have a more uniform design when these apartments are being constructed so that all projects are beautified, not just in the prosperous areas. She noted that despite what the community usually wants, they do not get their way as the City does what they are going to do. She stated she would give this process a chance even though she has not seen a community group that she has been happy with the result of things that are done.

Bob Garcia asked where the multi-family housing for people with limited income would be built. And most importantly, include enough driveway space for them. They are currently in the single family areas. There are several families in one home that it tends to give an appearance of a continuous block party. There are so many families in one home and that they take up all the street space to accommodate the families. They don't give any of the other residents, who have lived there longer, to have their family over because everyone else is parking there. They are even using the Villegas Park lot as their parking because they don't have enough.

Morris Mendoza stated he wanted to thank this committee for volunteering. Things may not always go right but he wanted to say that he appreciated everyone who volunteered. He brought up instances where lower income people have saved up and placed their homes in trusts. The government tends to look at their savings as assets and often time they do not qualify for simple repairs such as an air conditioner. These families have saved up and just have enough to make it through the rest of their life. Because of this they are not entitled to more traditional benefits and programs that are available to the general lower income families.

Mr. Barquist thanked everyone for participating and stated this was a form of learning from each other's input. This is something that will continue to grow and all of the information will be brought back to be placed in their binders. In addition, he indicated that something similar will be planned

with the community and those ideas will also be added. He encouraged the CAC members, as well as those interested individuals in the audience, to stay involved by checking the City's website: <http://www.riversideca.gov/planning/housing-element.asp>, and attend future community workshops and public hearings. For more information, please call Doug Darnell, Senior Planner at (951) 826-5219 or [ddarnell@riversideca.gov](mailto:ddarnell@riversideca.gov).

Erin Snyder asked about the availability of the information provided today. Will there be an opportunity for the audience members to access the information in the Committee's binder?

Mr. Darnell explained that the minutes from today's meeting, as well as everyone's comments will be available on the website: <http://www.riversideca.gov/planning/housing-element.asp>. There isn't much on the website now but he will also include the Housing Element and Element Technical Report on this web site so that everything is in one place and easier to find.

#### 11. Meeting Adjournment

Chair Kulpa thanked everyone for attending and for their input today. The meeting was adjourned at 11:45 am.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER APRIL 12, 2018  
RIVERSIDE MEETING**

A regular scheduled meeting of the Airport Land Use Commission was held on April 12, 2018 at the Riverside County Administrative Center, Board Chambers.

**COMMISSIONERS PRESENT:** Steve Manos, Acting Chairman  
Russell Betts  
Arthur Butler  
Glen Holmes  
John Lyon  
Steven Stewart  
Richard Stewart

**COMMISSIONERS ABSENT:** None

**STAFF PRESENT:** Simon Housman, ALUC Director  
John Guerin, Principal Planner  
Paul Rull, Urban Regional Planner IV  
Barbara Santos, ALUC Commission Secretary  
Raymond Mistica, ALUC Counsel

**OTHERS PRESENT:** None

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER APRIL 12, 2018  
RIVERSIDE MEETING**

- I. **AGENDA ITEM 2.1:** ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 144,315 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 7 office/warehouse buildings and 8 retail buildings (4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.35 to 2.21 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area).
- II. **MAJOR ISSUES**  
As of the afternoon of March 27, staff is in the process of working with the applicant team to address consistency concerns resulting from changes in the sizes of proposed lots and in light of the concerns expressed by Commissioners at the March 8 public hearing.
- III. **STAFF RECOMMENDATION**  
Staff recommends that the public hearing be re-opened and the project further discussed, and that the proposed Conditional Use Permit and Tentative Parcel Map be CONTINUED to May 10, 2018, unless the project is further amended to achieve consistency. Such amendment may be accomplished by reducing the sizes of Buildings R2 and S2. As of the afternoon of March 27, the applicant team was considering whether to accept such a proposal.
- IV. **PROJECT DESCRIPTION**  
Conditional Use Permit No. 3777 is a proposal to construct fifteen commercial buildings with a combined gross floor area of 144,315 square feet on 14.19. The applicant envisions 7 office/warehouse and 8 retail buildings. Four of the retail buildings may include restaurants. Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.35 to 2.21 acres in size, providing individual lots for most of the proposed buildings.
- V. **MEETING SUMMARY**  
The following staff presented the subject proposal:  
Staff Planner: John Guerin at (951) 955-0982, or e-mail at [jguerin@rivco.org](mailto:jguerin@rivco.org)
- No one spoke in favor, neutral or opposition to the project.
- VI. **ALUC COMMISSION ACTION**  
The ALUC by a unanimous vote of 7-0 CONTINUED the project to May 10, 2018.
- VII. **CD**  
The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org).

ITEM 2.1: TIME: 9:02 A.M.

**AIRPORT LAND USE COMMISSION  
MINUTE ORDER APRIL 12, 2018  
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.1:** ZAP1249MA17 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates) – City of Perris Planning Case Nos. 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review). This notice is a correction to the City case numbers and project description used in the previous ALUC notice for a public hearing dated May 11, 2017 (i.e. “PLN17-00002 Specific Plan Amendment, Design Review”). The correct City case numbers are 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review), and the correct case description is as follows: a proposal to develop a 1,189,860 square foot industrial building on 54.71 acres located easterly of Perris Boulevard, southerly of Markham Street, and northerly of Perry Street, extending easterly toward Redlands Avenue. The industrial building will be primarily for warehousing purposes (1,169,860 square feet of warehousing area, with 20,000 square feet of office area). The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation on the westerly 35.45 acres of the site from Business Professional Office to Light Industrial (the easterly 19.26 acres are already designated Light Industrial), and amend the Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

This project has been returned to the Commission’s agenda because the City case numbers referenced in the May 11, 2017, public hearing notice, agenda, staff report, and determination letter [“PLN17-00002 Specific Plan Amendment, Design Review”] were incorrect. The correct case number references are 17-05074 (Specific Plan Amendment) and 17-00002 (Development Plan Review). The original project description for the proposed specific plan amendment was also incomplete, and is now updated with the correct addition of amending the Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street. Neither of these updates affects staff’s original analysis or recommendations. On May 11, 2017 the Commission found the project consistent.

III. **STAFF RECOMMENDATION**

Staff recommends that the Commission find the proposed Specific Plan Amendment CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Development Plan Review CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**

The applicant proposes to develop a 1,189,860 square foot industrial building on 54.71 acres. The industrial building will be primarily for warehousing purposes (1,169,860 square feet of warehousing area, with 20,000 square feet of office area). The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation on the westerly 35.45 acres of the site from Business Professional Office to Light Industrial (the easterly 19.26 acres are already designated Light Industrial), and to amend the Specific Plan’s Circulation Plan to remove Golden View Drive, Johnson Avenue, and Via Verona Street.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or

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amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
  4. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
  5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
  6. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
  7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.



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V. **MEETING SUMMARY**

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

No one spoke in favor, neutral or opposition to the project.

VI. **ALUC COMMISSION ACTION**

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

VII. **CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org).

ITEM 3.1: TIME: 9:04 A.M.

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I. **AGENDA ITEM 3.2:** ZAP1299MA18 – Ming Chin Nozawa (Representative: Trittech Engineering Associates) – County of Riverside Case Nos. CZ7954 (Change of Zone) and PM37340 (Tentative Parcel Map). The applicant proposes to divide a 2.27 gross acre site (Assessor's Parcel Number 280-060-003) located at 15600 Chicago Avenue (on the easterly side of Chicago Avenue), southerly of Gentian Avenue, and northerly of Hibiscus Avenue in the unincorporated community of Woodcrest into two parcels and change the property's zoning from Light Agriculture 10 acre minimum (A-1-10) to Light Agriculture 1 acre minimum (A-1-1). (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area.

II. **MAJOR ISSUES**  
None

III. **STAFF RECOMMENDATION**  
Staff recommends that the Commission find the proposed Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Parcel Map CONSISTENT, subject to the conditions included herein.

IV. **PROJECT DESCRIPTION**  
A proposal to divide a 2.27 acre site into two parcels and change the site's zoning from Light Agriculture 10 acre minimum (A-1-10) to Light Agriculture 1 acre minimum (A-1-1).

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

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3. The attached notice shall be provided to all potential purchasers of the proposed lots and to the tenants of the homes thereon, and shall be recorded as a deed notice.
4. No detention basins are shown on the parcel map. Any new detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

**V. MEETING SUMMARY**

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

No one spoke in favor, neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC by a unanimous vote of 7-0 found the project **CONSISTENT**.

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org).

ITEM 3.2: TIME: 9:07 A.M.

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I. **AGENDA ITEM 3.3:** ZAP1014PV18 – SDH & Associates, Inc., for Family Realty Development, LLC/Anchor Alliance Developments, Inc. – City of Perris Planning Case Nos. GPA16-05151 (General Plan Amendment), ZC16-05152 (Zone Change), DPR16-00009 (Development Plan Review), PUD16-05153 (Planned Unit Development), TTM16-05154 (Tentative Tract Map No. 37516 ). The applicant proposes to construct a 70-unit townhome complex (via condominium map) with open space amenities and a clubhouse on a 6.4 acre site located northerly of Alpine Drive, westerly of A Street, and southerly of Mountain Avenue. The applicant also proposes to amend the General Plan designation and zoning of the site from R-10,000 to MFR 14, and to apply a Planned Development Overlay zone (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area).

II. **MAJOR ISSUES**  
None

III. **STAFF RECOMMENDATION**  
Staff recommends that the Commission find the proposed General Plan Amendment and Zone Change CONSISTENT with the 2010/11 Perris Valley Airport Land Use Compatibility Plan and 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the Development Plan Review, Tentative Tract Map, and Planned Unit Development CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

**STAFF RECOMMENDED AT HEARING**

CONSISTENT (GPA, Change of Zone, Development Plan Review, Tract Map) subject to updated conditions submitted at the meeting which includes FAA OES conditions

IV. **PROJECT DESCRIPTION**  
The site is located northerly of Alpine Drive, westerly of A Street, and southerly of Mountain Avenue in the City of Perris, approximately 4,780 feet westerly from the southerly terminus of the Perris Valley Airport Runway 15-33, and approximately 36,720 feet southerly from the southerly terminus of the March Air Reserve Base Runway 14-32.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

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- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfers stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached disclosure notice shall be provided to all potential purchasers of the property and to tenants of the homes thereon.
  - 4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

**The following conditions were added at the April 12, 2018 ALUC hearing.**

- 5. **The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2018-AWP-6928-OE, and 2018-AWP-7046-OE through 7057-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.**
- 6. **The proposed buildings shall not exceed a height of 27 feet above ground level and a maximum elevation at top point of 1,477 feet above mean sea level.**
- 7. **The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.**
- 8. **Temporary construction equipment used during actual construction of the structure(s) shall not exceed 27 feet in height and a maximum elevation of 1,477 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.**
- 9. **Within five (5) days after construction of any individual building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structures(s).**

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**V. MEETING SUMMARY**

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

No one spoke in favor, neutral or opposition to the project.

**VI. ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 7-0 found the project **CONSISTENT** (GPA, Change of Zone, Development Plan Review, Tract Map) subject to updated conditions submitted at the meeting which includes FAA OES conditions.

**VII. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org).

ITEM 3.3: TIME: 9:09 A.M.

**AIRPORT LAND USE COMMISSION  
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I. **4.0 ADMINISTRATIVE ITEMS**

4.1 Director's Approvals – Information Only

4.2 Election of Airport Land Use Commission Officers

Commissioner Holmes nominated Vice Chairman and Acting Chairman Steve Manos to serve as Chairman. The nomination was seconded by Commissioner Lyon, and was unanimously approved. Mr. Manos accepted the position, Commissioner Holmes volunteered to be Vice Chairman which was unanimously approved.

4.3 Resolution No. 18-01 Amending ALUC By-laws

The ALUC by a unanimous vote of 7-0 approved Resolution No. 18-01 amending the ALUC By-laws.

4.4 Resolution No. 18-02 Extending the Authorization of the ALUC Director to Take Action on Legislative Items in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

The ALUC by a unanimous vote of 7-0 approved Resolution No. 18-02 extending the authorization of the ALUC to take action on Legislative Items in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

4.5 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport

Simon Housman, ALUC Director was advised by the March Joint Powers Authority Technical Advisory Committee (TAC) to postpone its decision for a month so they can analyze ALUC staff John Guerin's detailed study of properties impacted by the Air Force Protection Zones, and for the Air Force to re-examine their interpretation of the Air Force Instructions (AFI's). The ALUC Director's Report will return at the next ALUC Commission meeting on May 10, 2018.

II. **5.0 APPROVAL OF MINUTES**

The ALUC by a vote of 5-0 approved the March 8, 2018 minutes. Abstain: Commissioners Richard Stewart and Glen Holmes

III. **6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

None

IV. **7.0 COMMISSIONER'S COMMENTS**

Commissioner Richard Stewart expressed that he is glad to be back serving on the Airport Land Use Commission. The Commissioner's welcomed Mr. Stewart's return to the ALUC.

V. **8.0 ADJOURNMENT**

Steve Manos, Acting Chairman adjourned the meeting at 9:32 a.m.

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**VI. CD**

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org).

ITEM 4.0: TIME IS: 9:13 A.M.