

AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administrative Center 4080 Lemon Street, 1st Floor Board Chambers Riverside, California

Thursday 9:00 A.M., June 14, 2018

CHAIR Steve Manos Lake Elsinore

VICE CHAIR Vacancy

COMMISSIONERS

Arthur Butler Riverside

John Lyon Riverside

Russell Betts Desert Hot Springs

> Steven Stewart Palm Springs

Richard Stewart Moreno Valley

Gary Youmans Temecula

STAFF

Director Simon A. Housman

> John Guerin Paul Rull Barbara Santos

County Administrative Center 4080 Lemon St, 14º Floor Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at www.rcaluc.org.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rivco.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

- 1.1 CALL TO ORDER
- 1.2 SALUTE TO FLAG
- 1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED ITEMS

MARCH AIR RESERVE BASE

2.1 ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey) – County of Riverside Permit No. BEL1800836 (Building Electrical Permit). A proposal to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of BNSF rail line and I-215 Freeway, and southerly of Walnut Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). Continued from May 10, 2018. Staff Planner: Paul Rull at (951) 955-6893; or e-mail at prull@rivco.org.

3.0 PUBLIC HEARING: NEW ITEMS

BANNING AIRPORT

3.1 ZAP1028BA18 – Downing Construction, Inc. (Representative: Marcell & Associates) – City of Banning Case No. DR18-7004 (Design Review). The applicant proposes to construct a two-story 9,320 square foot contractor's building and storage yard with a 400 square foot fueling area on 1.95 acres located at the terminus of Galleher Way, northerly of Lincoln Street, easterly of San Gorgonio Avenue, and southerly of John Street, the rail line, and Interstate 10 (Airport Compatibility Zone C of the Banning Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONDITIONALLY CONSISTENT

MARCH AIR RESERVE BASE

3.2 ZAP1314MA18 – SCS Energy Solutions (Representative: Charles George) – City of Moreno Valley Case No. PEN18-0098 (Amended Plot Plan). A proposal to construct 7 rows of carport covers totaling 43,869 square feet and establish a rooftop 694.96 kW solar panel system above existing uncovered parking spaces within a 4.1-acre property (Assessor's Parcel Numbers 297-150-013 and 297-150-014) with an address of 22690 Cactus Avenue, located on the northwest corner of Cactus Avenue and Veterans Way, southerly of Goldencrest Drive. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

3.3 ZAP1313MA18 — MTC1/Mike Naggar and Associates (Representative: Carissa Hainsworth) — City of Menifee Case No. Change of Zone No. 2018-0094. A proposal to change the zoning of a one-acre parcel (Assessor's Parcel No. 331-140-010) located on the east side of Sherman Road, southerly of Ethanac Road and northerly of McLaughlin Road, from Rural Residential (R-R) to Manufacturing-Heavy (M-H). The parcel is part of a larger area being assembled for development of a warehousing/industrial project. (Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: John Guerin at (951) 955-0982, or e-mail at iguerin@rivco.org

FRENCH VALLEY AIRPORT

3.4 ZAP1080FV18 - JBL Investments c/o MDMG Inc. (Representative: MFCS, Inc.) -County of Riverside Planning Case Nos. GPA170001 (General Plan Amendment), SP106 A17 (Specific Plan Amendment), CZ7347 (Change of Zone), TR37078 (Tentative Tract Map), PP170003 (Plot Plan). The applicant is proposing to establish 163 single family detached condominium units on 30.62 acres and a tentative tract map to divide the site into 8 lots located westerly of Winchester Road/Highway 79, northerly of Jean Nicholas Road, and easterly of Kooden Road. The proposed project requires a general plan amendment to the site's land use designation on the Southwest Area Plan and an amendment to its designation on the Dutch Village Specific Plan from Commercial Retail, Commercial Office, Light Industrial, and Open Space Conservation to High Density Residential as well as various specific plan text changes to reflect changes in the land use designation and to provide additional information regarding development with the Specific Plan Amendment area, and a change of zone from Scenic Highway Commercial, Commercial Office, Industrial Park and Open Area Combining Zone-Residential Developments to General Residential zone (Airport Compatibility Zone E of the French Valley Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

3.5 ZAP1082FV18 – City of Murrieta – City of Murrieta Case Nos. DCA-2017-1343 and 2017-1347 (Development Code Amendment). The City is proposing to amend various sections of its Municipal Development Code in order to address previous errors, omissions and inconsistencies, and to be consistent with state law. These amended sections include: purpose and effect of development code, land use table, off-street parking, child day care, recycling facilities, accessory dwelling units, conditional use permits, development plan permits, permit implementation time limits, tentative map expirations, and definitions (Airport Compatibility Zones B1, C, D, and E of the French Valley Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

Staff Recommendation: CONSISTENT

3.6 ZAP1081FV18 – JJB Silverhawk LP/Hamann Construction (Representative: Linda Richardson) – County Planning Case Nos. PP26340, PP26341, PP26342, PP26343 (Plot Plans). A proposal to develop "Silverhawk Center," consisting of four industrial buildings with a total gross floor area of 85,931 square feet to be located on the north side of Commerce Court, easterly of its intersection with Townview Avenue and westerly of its intersection with Calistoga Drive in the unincorporated community of French Valley. PP26340 proposes a 20,474 square foot building on APN 957-371-008. PP26341 proposes a 16,236 square foot building on APN 957-371-009. PP26342 proposes a 27,379 square foot building on APN 957-371-010. PP26343 proposes a 21,842 square foot building on APN 957-371-011. (Airport Compatibility Zones B1 and C of the French Valley Airport Influence Area). Staff Planner: John Guerin at (951) 955-0982, or e-mail at iguerin@rivco.org

CORONA MUNICIPAL AIRPORT

3.7 ZAP1009CO18 – AT&T (Representative: Smartlink LLC, Tyler Kent) – City of Corona Planning Case No. MCUP2018-0001 (Conditional Use Permit). The applicant proposes to construct a 56 foot tall "monotree" wireless communication tower and associated facilities, including a 300 square foot equipment shelter area, on a 6.85 acre parcel located at 545 Alcoa Circle, southerly of Rincon Street, westerly of Lincoln Avenue, and easterly of Smith Avenue. (Note: A 75-foot crane may be in temporary use during construction.) (Airport Compatibility Zone C of the Corona Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at pruli@rivco.org

Staff Recommendation: CONDITIONALLY CONSISTENT

HEMET RYAN AIRPORT

3.8 ZAP1055HR18 - City of Hemet (Representative: Nancy Gutierrez) - City of Hemet Case Nos.: GPA 18-001 (General Plan Amendment) and ZC 18-001 (Zone Change). GPA 18-001 is a proposal to amend the land use designation of up to 1,017 parcels City-wide covering 646 acres. Only 34 of the parcels (covering 46 acres) are presently vacant. ZC 18-001 is a proposal to change the zoning of 8,882 parcels City-wide covering 5,263 acres. 608 of these parcels covering 372 acres require approval of GPA 18-001. The zone change parcels fit into six categories. 172 with zoning that is inconsistent with the General Plan designation; 289 proposed for zoning that would be a better fit for either the General Plan designation or the existing land use or neighborhood character; 2,165 proposed for zoning that correctly reflects existing use and density; 3,728 proposed for addition of a suffix reflecting the average lot size of the tract in which the lot is located; 2,341 proposed for deletion of a "C" County suffix that should have been eliminated at the time of annexation; and 187 proposed for change in zoning district name from Residential Agricultural to Rural Residential. (Airport Compatibility Zones B1, C, D (East and West). and E of the Hemet-Ryan Airport Influence Area). Staff Planner: John Guerin at (951) 955-0982, or e-mail at jquerin@rivco.org

Staff Recommendation: CONSISTENT

MARCH AIR RESERVE BASE

3.9 ZAP1315MA18 – San Bernardino Community College District (Representative: Burke, Williams & Sorensen, LLP, Erica Vega) – County of Riverside Case Nos. PPT180014 (Plot Plan) and VAR180002 (Variance), a proposal to replace an existing 204 foot tall communications tower with a 345 foot tall communications tower on an previously disturbed 3,600 square foot area (on a 299 acre parcel) located westerly of Box Mountain Road, northerly of Box Springs Road, approximately 3000 feet northwest of the large "M" mountain sign. (The variance is proposed because the tower would exceed the 105 foot height limitation for structures in the County's W-2-20 [Controlled Development Areas, 20 acre minimum lot size] zone.) (Airport Compatibility Zone E High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

4.0 **ADMINISTRATIVE ITEMS**

- 4.1 Director's Approvals
- 4.2 Election of Airport Land Use Commission Vice-Chair
- 4.3 Approval and Adoption of the Proposed Amendment to the ALUC By-Laws and Resolution, and Setting of Time for Future Regular Meetings
- 4.4 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport
- 4.5 Options for New ALUC Logo

5.0 <u>APPROVAL OF MINUTES</u> May 10, 2018

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

7.0 **COMMISSIONER'S COMMENTS**

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COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 2.1 3.4

HEARING DATE: June 14, 2018 (continued from May 10, 2018)

CASE NUMBER: ZAP1302MA18 – Trojan Solar/Southwest Premier Properties,

LLC (Representative: Tom Malone/Teresa Harvey)

APPROVING JURISDICTION: County of Riverside

JURISDICTION CASE NO: BEL1800836 (Building Electrical Permit)

MAJOR ISSUES: No glare would occur within the final 2 mile approaches to runway 32 and runway 14. Low potential ("green") level glare would occur outside the final 2 mile approach to runway 32 and runway 14 within the closed circuit traffic pattern envelope. FAA Interim Policy for FAA review of Solar Energy System Projects only applies to final approach within 2 miles from the end of the runway.

The Air Force submitted a comment letter dated May 9, 2018, identifying their concerns with the project's solar glare study regarding their flight paths, which is the reason why the item was continued from the May 10 meeting. Since then, the applicant has revised the study (dated May 18, 2018) and has submitted it to the Air Force for their review and comment.

RECOMMENDATION: Staff recommends that the proposed Building Permit be found CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site.

The original project to develop a truck terminal distribution facility (ZAP1246MA17) was found consistent by the Commission on May 11, 2017.

PROJECT LOCATION: The site is located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of the BNSF rail line and I-215 Freeway, and southerly of Walnut Street in the unincorporated community of Mead Valley, approximately 13,910 feet southwesterly of the southerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area: March Air Reserve Base

b. Land Use Policy: Zone C2

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c. Noise Levels:

Below 60 CNEL from aircraft

BACKGROUND:

<u>Flight Hazard Issues</u>: Structure height, electrical interference, and reflectivity/glare are among the issues that solar panels in the airport influence area must address. The project's 330 kW photovoltaic (PV) system would be located on the roof of a 56,000 square foot cross dock loading building within Compatibility Zone C2.

Electrical and Communication Interference

The applicant has indicated that they do not plan to utilize equipment that would interfere with aircraft communications. The PV panels themselves present little risk of interfering with radar transmission due to their low profiles. In addition, solar panels do not emit electromagnetic waves over distances that could interfere with radar signal transmissions, and any electrical facilities that do carry concentrated current will be buried beneath the ground and away from any signal transmission. There is no radar transmission or receiving facilities within the site.

Glint and Glare/Reflectivity

The applicant has prepared a **revised** glare analysis utilizing the web based Forge Solar (**dated May 18, 2018**) and provided a report, a copy of which is attached hereto. The analysis was based on straight in and curved approach patterns (**as identified by the Air Force**) to both runways 14 and 32. The analysis utilized a glide slope approach of 3.0 degrees for the approach, a 5 degree tilt, and array orientation of 252 degrees.

The revised approach analysis concluded that no glare would occur on the final 2 mile direct approach to runway 32 (flight path #10) and runway 14. The study also evaluated various flight patterns to runways 14 and 32 (as identified by the Air Force) which resulted in three only one flight paths (#15) resulting in a low potential for temporary after-image ("green" level) located within the closed circuit traffic pattern envelope and outside the final 2 mile approach to runways 32 and 14. (It is important to clarify that the study reference to flight path "threshold" refers to the starting point of the 2 mile flight path segment, rather than the end of the runway.)

The low potential glare would occur almost all year round (from mid July to early June) during early mornings and late afternoons with a maximum duration of 35 minutes, but no more than two flight paths of the 14 studied would be affected during the same month. approximately 5 minutes during early March to early April, and early October to early September. The total amount of glare would be 3,322 minutes of glare per year affecting the CK R32 Base flight path (1.26% of total daylight time [262,800 minutes per year, at an average of 12 hours of daylight per day]). There would be 2,342 minutes of glare affecting the CK R14 Downwind 2 flight path and 163 minutes of glare affecting the CK R14 Downwind 1 flight path.

Based on FAA Interim Policy for FAA Review of Solar Energy System Projects on Federally Obligated Airports, "low potential for temporary after-image" ("green" level) is an acceptable level of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property.

CK R14 Downwind 1

The glare that is projected to occur is located outside the 2 mile approach to runways 32 and 14 (flight path direction 148.4 degrees) when the array orientation is at 252 degrees and would last up to 5 minutes a day during the times of year at the selected distances from the runway (standard times or as otherwise indicated):

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• Late November to mid January 7:50 a.m. to 8:30 a.m. (standard time) low potential (green)

CK R14 Downwind 2

The glare that is projected to occur is located outside the 2 mile approach to runways 32 and 14 (flight path direction 149.5 degrees) when the array orientation is at 252 degrees and would last up to 13 minutes a day during the times of year at the selected distances from the runway (standard times or as otherwise indicated):

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• Mid September to early April 7:30 a.m. to 8:30 a.m. (standard time) 8:30 a.m. to 9:30 (pacific daylight time) low potential (green)

CK R32 Base

The glare that is projected to occur is located outside the 2 mile approach to runway 32 and 14 (flight path direction 237.1 degrees) when the array orientation is at 252 degrees and would last up to 35 minutes a day during the times of year at the selected distances from the runway (standard times or as otherwise indicated):

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

Mid March to early June 4:50 p.m. to 5:45 p.m. (standard time) 5:50 p.m. to 6:45 p.m. (pacific daylight time) and Mid July to late September 5:50 p.m. to 7:00 p.m. (pacific daylight time) low potential (green)

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The glare that is projected to occur is located outside the 2 mile approach to runway 32 (flight path direction 222.6 degrees) when the array orientation is at 252 degrees would last up to 5 minutes a day during the times of year at the selected distances from the runway (standard times or as otherwise indicated):

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• Early March to Early April 5:15 p.m. to 5:55 p.m. (standard time), and Mid September to Early October 6:00 p.m. to 6:50 p.m. (pacific daylight standard time) low potential (green)

Non-Residential Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C2. Zone C2 limits average intensity to 200 people per acre and 500 people per single acre.

The project proposes installing a 330 kW solar panel system on the roof of a 56,000 square foot cross loading dock building. The intensity of the building was previously reviewed and found consistent. The project will not generate any new occupancy/intensity.

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone C2 westerly of the runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. As of the time the original this staff report was prepared, we were still awaiting comments from the Air Force regarding this project. The Air Force responded with comments on May 9, 2018, indicating that the report needed further revisions, which is why ALUC staff requested that the project be continued to the June 14, 2018 meeting. Since then, the applicant has revised the solar glare study to incorporate the correct flight paths which the Base is currently reviewing.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C2.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. The project does not generate any new occupancy that would be subject to noise impacts. The primary industrial use of the building is not sensitive to noise, and the loading area would not require special measures to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 13,910 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,627 feet AMSL. The site's is 1,510 feet AMSL and the proposed building height is 30 feet, for a top point elevation of 1,540 feet AMSL. Review by the FAA Obstruction Evaluation Service was not required for the original buildings. The proposed solar panel system does not extend beyond the proposed height of the tallest building on site.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Mead Valley Area Plan.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.
- 4. The following uses/activities are not included in the proposed project, but, if they were to be proposed through a subsequent use permit or plot plan, would require subsequent Airport Land Use Commission review:
 - Restaurants and other eating establishments; day care centers; health and exercise centers; churches, temples, or other uses primarily for religious worship; theaters.
- 5. The attached notice shall be given to all prospective purchasers of the property and tenants of

the building, and shall be recorded as a deed notice.

- 6. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 8. Any revisions to the solar panels will require a new solar glare analysis to ensure that the project does not create significant amounts of glare, and require ALUC review.
- 9. In the event that any incidence of glint, glare, or flash affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such glint, glare, or flash. An "incidence" includes any situation that results in an accident, incident, "near-miss," or specific safety complaint regarding an in-flight experience to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. Suggested measures may include, but are not limited to, reprogramming the alignment of the panels, covering them at the time of day when incidences of glare occur, or wholly removing panels to diminish or eliminate the source of the glint, glare, or flash. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.
- 10. In the event that any incidence of electrical interference affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such interference. An "incidence" includes any situation that results in an accident, incident, "near-miss," report by airport personnel, or specific safety complaint to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project

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operator shall work with the airport operator to prevent recurrence of the incidence. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.

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NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to Business & Professions Code Section 11010 (b)

Rull, Paul

From:

MORIMOTO, JAMES P GS-13 USAF AFRC 452 OSS/OSA

Sent:

Wednesday, May 9, 2018 4:16 PM

To:

Rull, Paul

Cc:

MORIMOTO, JAMES P GS-13 USAF AFRC 452 OSS/OSA; ROCKHOLT, DANIEL L CTR

USAF AFRC HQ AFRC; Rockholt, Daniel

Subject:

ZAP1302MA18 Solar Analysis

Mr. Rull,

I reviewed the proposed solar installation and spoke to the individual that conducted the analysis. He is working correcting the analysis as there were issues with flight path angle and problems correlating the ground tracks with what we're looking for.

I will provide an update to Rock in the morning so comments from March ARB can be entered for the record. The proposed site is SW of the runway inside of the downwind and base segments for Runway 32's rectangular pattern. Our concern is the location nearly below the typical ground track of aircraft in the visual pattern.

I also spoke to the Sandia Labs engineer, Mr. Clifford Ho on the future of this analysis tool. The only company is ForgeSolar which appears to be founded by the Software Engineer on the project. I reviewed the manual and it is possible to obtain a 0° flight path. One difficulty with the my test file is that it is not in decimal degrees as used by Google. I will work on providing the points in decimal degrees to help facilitate efficient analysis.

We may want to look at policy as tied to an analysis tool that is no longer funded and a single software licensee is providing the analysis.

V/R,

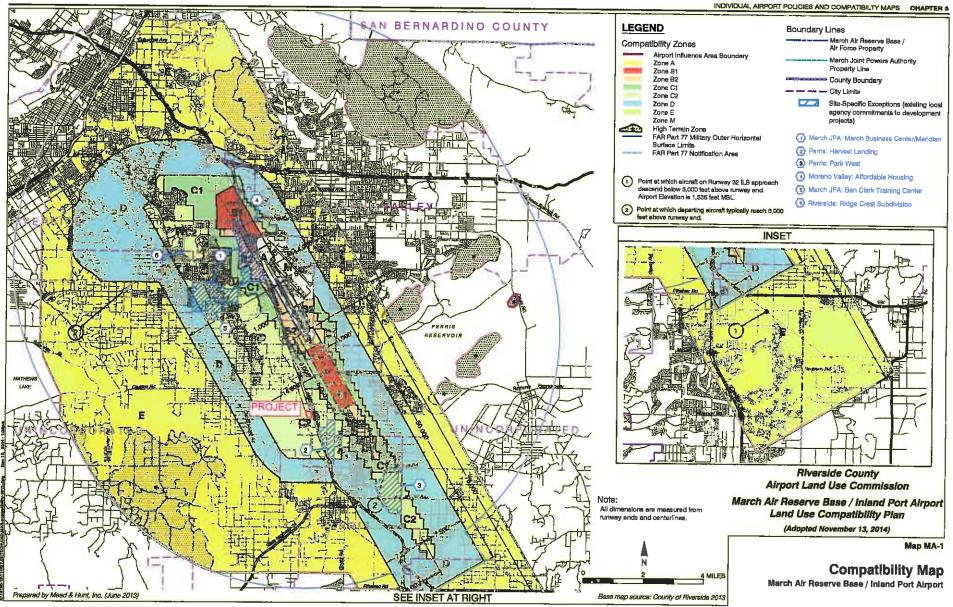
JAMES P.M.P. MORIMOTO, GS-13, DAF Airfield Operations Manager

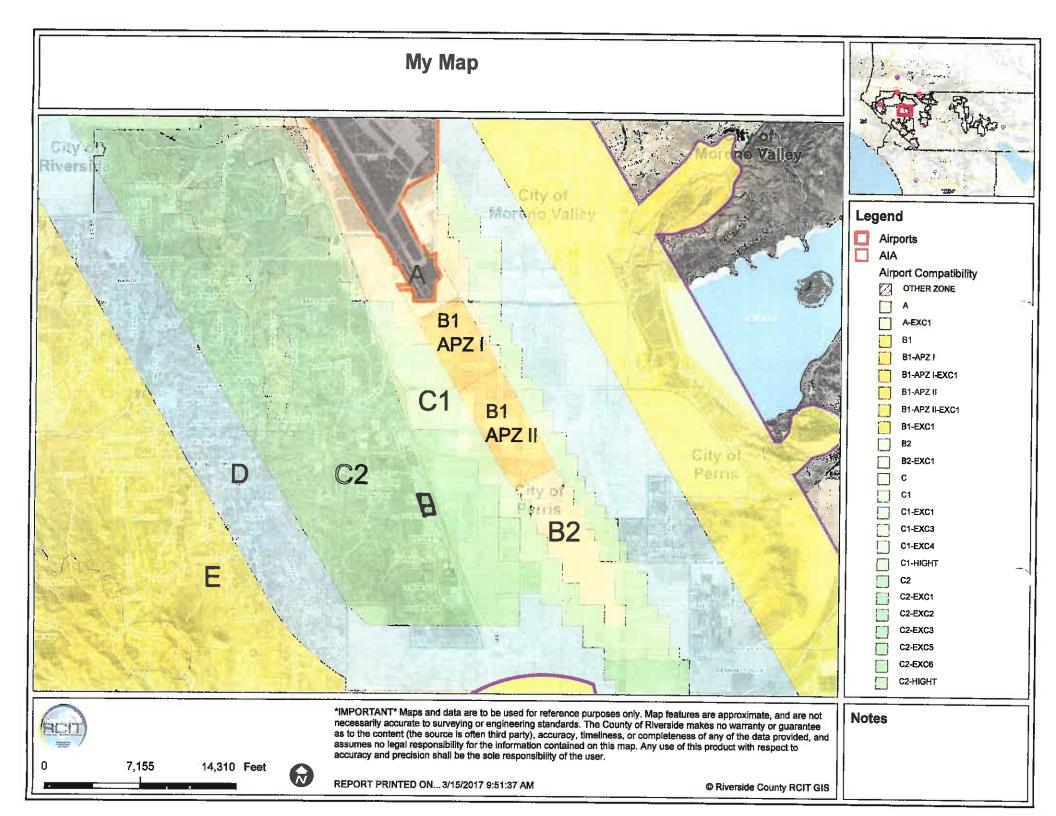
452d Operations Support Squadron (452 OSS/OSA) 2685 Graeber St Bldg 395 March ARB, CA 92518-2307

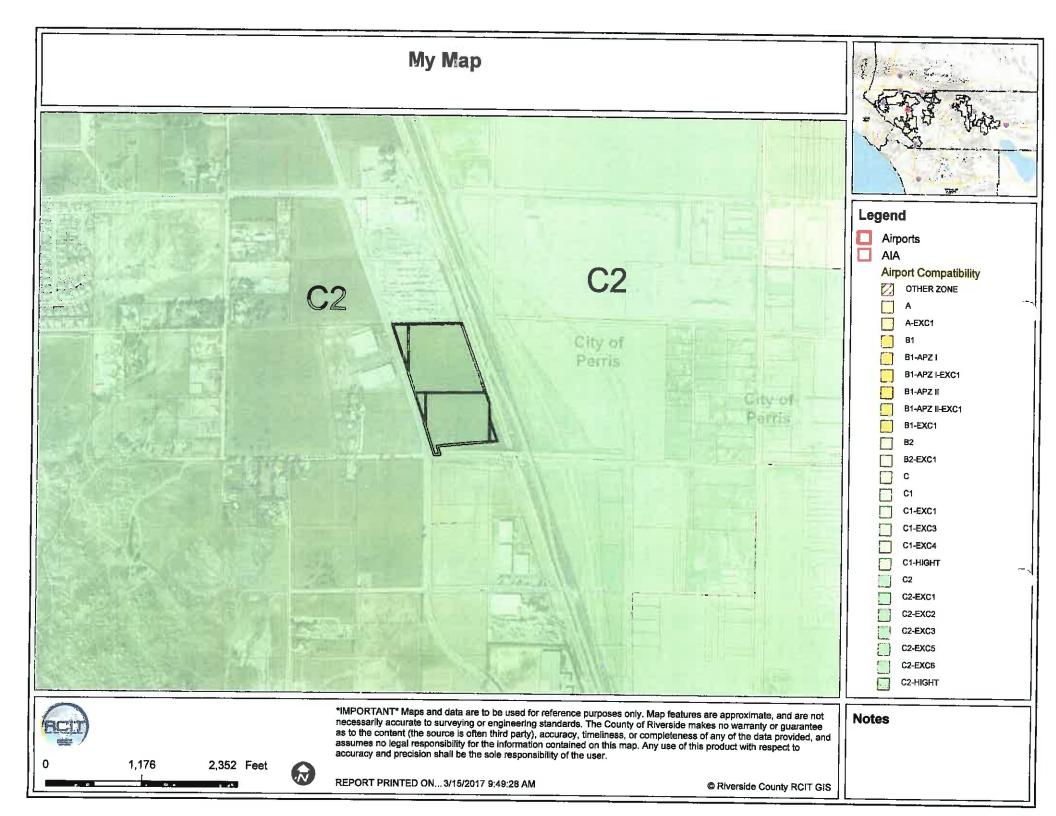
[Voice] Comm: 43 (951) 655 440 4 05M (312) 447 440 3.

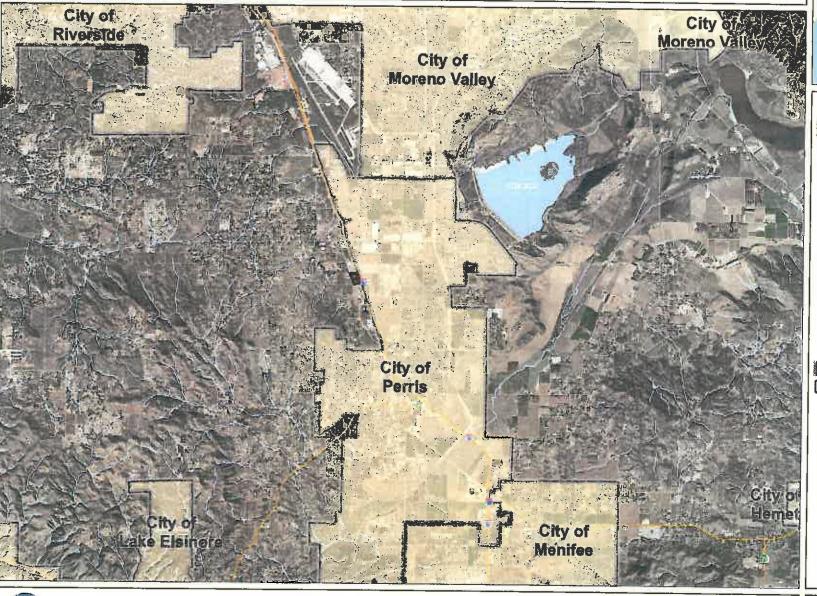
[Mobile] Comm: MISSES 2889163

[Fax] Comm: 41/9517655-3269-DSN (312) 447-3269.











Legend

City Boundaries
Cities
adjacent_highways

--- Interstate

Interstate 3

State Highways; 60

State Highways 3

US HWY

- OUT

highways_large

-- HWY

INTERCHANGE

INTERSTATE

... USHWY

counties

j cities

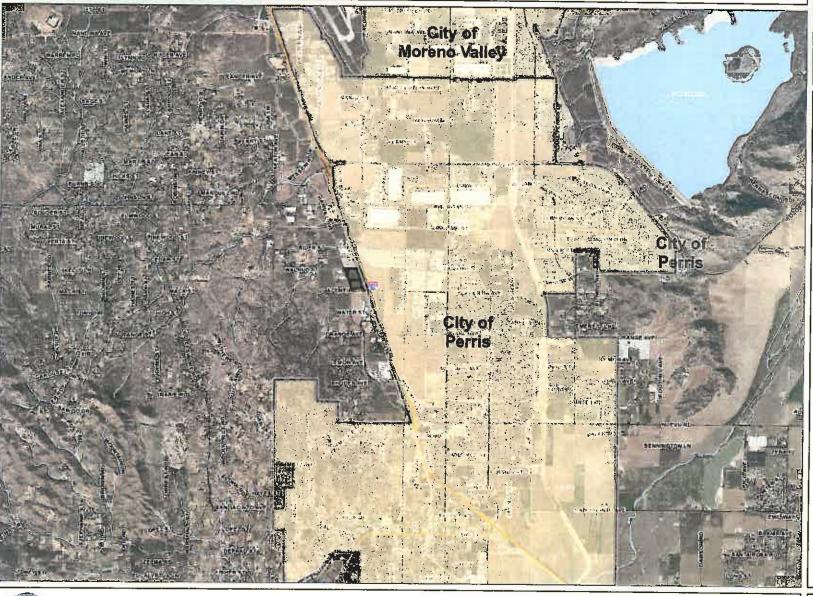


14,310 28,621 Feet



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Notes





Legend

City Boundaries Cities highways_large

HWY

INTERCHANGE

INTERSTATE

USHWY

majorroads

counties

cities

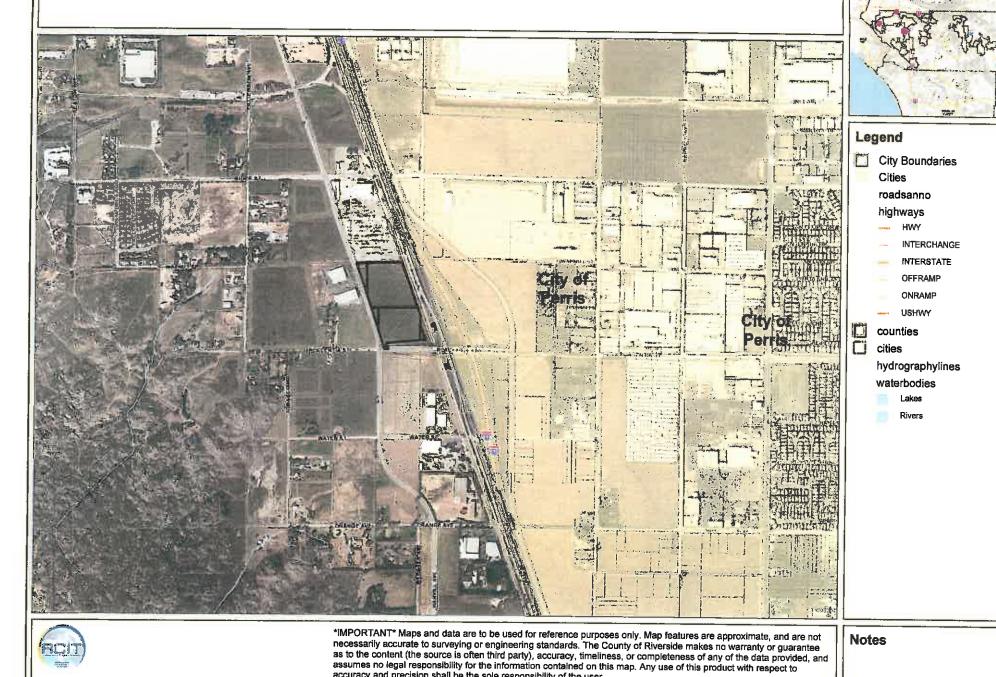


7,155

14,310 Feet

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Notes



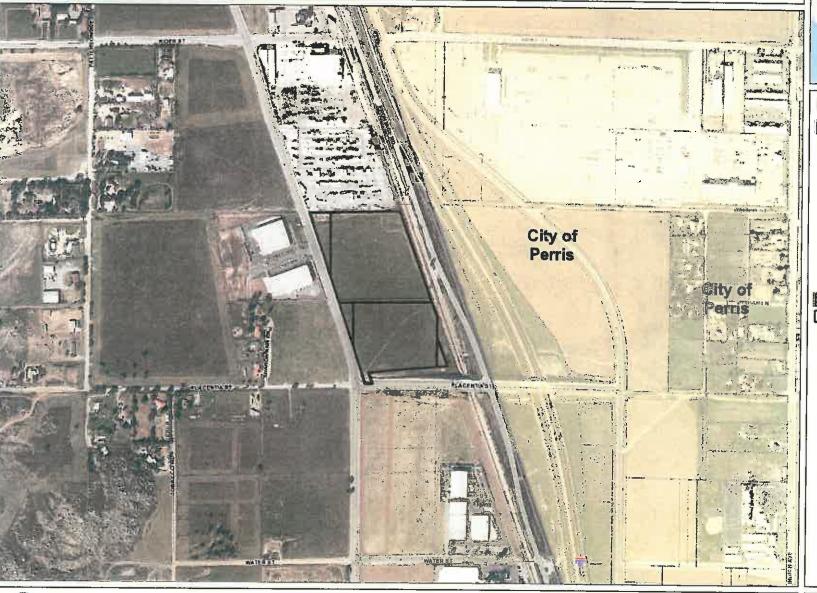
accuracy and precision shall be the sole responsibility of the user.

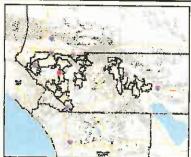
REPORT PRINTED ON... 3/15/2017 9:54:39 AM

1,789

3,578 Feet

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Legend

City Boundaries
Cities
roadsanno
highways

HWY

INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

USHWY

counties

j cities

hydrographylines waterbodies

Lakes

Rivers



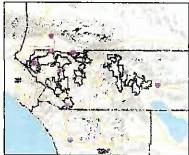
894 1,789 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

My Map





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City Boundaries
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- USHWY

counties cities

hydrographylines waterbodies

Lakes

Rivers



447

894 Feet



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Notes





PRICING

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Site Configuration: Untitled

Project site configuration details and results.



Created May 18, 2018 10:44 p.m.
Updated May 21, 2018 3:47 p.m.
DNI varies and peaks at 1,000.0 W/m^2
Analyze every 1 minute(s)
0.5 ocular transmission coefficient
0.002 m pupil diameter
0.017 m eye focal length
9.3 mrad sun subtended angle
Site Configuration ID: 18287.2931

Summary of Results Glare with low potential for temporary after-image predicted

PV name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced
	deg	deg	min	min	kWh
West Array	5.0	252.0	5,827	0	842,800,000.0

Component Data

PV Array(s) Name: West Array

Axis tracking: Fixed (no rotation)
Titt: 5.0 deg
Orientation: 252.0 deg
Rated power: 404250.0 kW
Panel material: Smooth glass with AR coating
Vary reflectivity with sun position? Yes
Correlate slope error with surface type? Yes
Slope error: 8.43 mrad

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total noitavele
	deg	deg	ft	ft	ft
1	33.822560	-117.245420	1503.01	30.00	1533.01
2	33.822560	-117.245090	1500.52	30.00	1530.53
3	33.820010	-117.245090	1511.51	30.00	1541.52
4	33.820010	-117.245420	1513.69	30.00	1543.69



Untitled Site Config | ForgeSolar 5/21/18, 12:49 PM

Flight Path Receptor(s)

Name: CK R14 Base Description:

Threshold height: 1500 ft
Direction: 236.8 deg
Gilde slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation deg deg ft ft -117.339116 1567.28 1500.07 Threshold 33.915483 3067.35 2-mile point 33.931302 -117.309919 1510.66 1556.70 3067.35

Name: CK R14 Crosswind

Description:

Threshold height: 1500 ft
Direction: 57.2 deg
Gilde slope: 0.0 deg
Pliot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	Æ	ft
Threshold	33.821170	-117.227610	1448.14	1500.07	2948.22
2-mile point	33.805520	-117.256908	1859.96	1088.25	2948.22

Name. CK N 4 DOWNWING

Description:

Threshold height: 1300 ft
Direction: 148.4 deg
Gilde slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.844791	-117.278682	1736.01	1300.06	3036.08
2-mile point	33.869430	-117.296918	1691.78	1344.30	3036.08

Untitled Site Config | ForgeSolar 5/21/18, 12:49 PM

Point

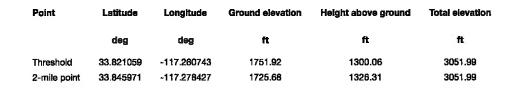
Latitude

Longitude

Name: CK R14 Downwind2

Description:

Threshold height: 1300 ft
Direction: 149.5 deg
Glide slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg





Name: CK R14 Downwind3

Description:

Threshold height: 1500 ft
Direction: 144.6 deg
Glide slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg

hreshold	33.796828	-117.241037	1530.31	1500.07	3030.38
-mile point	33.820405	-117.261201	1771.50	1258.89	3030.38

Ground elevation

Height above ground

Total elevation



Name: CK R14 Final Description: Threshold height: 0 ft Direction: 329.2 deg Gilde slope: 35.2 deg Pilot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.921356	-117.288339	1525.00	0.00	1525.00
2-mile point	33.896508	-117.270503	1536.16	7438.50	8974.65

Name: CK R14 Upwind Description:

Threshold height: 1500 ft Direction: 329.2 deg Glide slope: 30.5 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation deg deg ft ft ft Threshold 33.864970 -117.248448 1487.22 1500.07 2987.29 2-mile point 33.840130 -117.230608 1459.96 7747.98 9207.94

Name: CK R32 Base Description:

Threshold height: 1500 ft Direction: 237.1 deg Gilde slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.805530	-117.256878	1860.28	1500.07	3360.35
2-mile point	33.821226	-117.227623	1448.46	1911.89	3360.35

Name: CK R32 Crosswind

Description:

Threshold height: 1500 ft Direction: 56.3 deg Glide slope: 0.0 deg Pliot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	π	ft
Threshold	33.938571	-117.296496	1544.25	1500.07	3044.32
2-mile point	33.922542	-117.325533	1640.21	1404.11	3044.32

Name: CK R32 Downwind1

Description:

Threshold height: 1300 ft
Direction: 331.9 deg
Glide slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg

Azimuthal view restriction: 50.0 deg

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.869254	-117.297324	1691.89	1300.06	2991.98
2-mile point	33.843759	-117.280882	1706.58	1285.38	2991.98

Name: CK R32 Downwind 2

Description:

Threshold height: 1300 ft Direction: 328.6 deg Gilde slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg

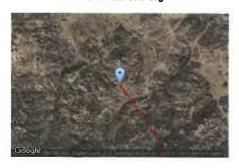


Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.845091	-117.278957	1728.29	1300.06	3028.36
2-mile point	33.820415	-117.260793	1763.11	1265.24	3028.36

Name: CK R32 Downwind 3

Description:

Threshold height: 1500 ft Direction: 324.7 deg Gilde slope: 0.0 deg Pllot view restricted? Yes



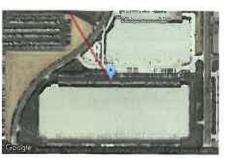
Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.820434	-117.260950	1767.89	1500.07	3267.96
2-mile point	33.796832	-117.240826	1526.33	1741.63	3267.96

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Name: CK R32 Final Description:

Threshold height: 0 ft Direction: 149.5 deg Glide slope: 35.2 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.840028	-117.230443	1459.46	0.00	1459.46
2-mile point	33.864932	-117.248146	1485.42	7423.69	8909.11

Name: CK R32 Upwind

Description:

Threshold height: 1500 ft Direction: 148.9 deg Gilde slope: 30.5 deg Pliot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.896400	-117.270611	1535.87	1500.07	3035.95
2-mile point	33.921155	-117.288630	1524.61	7731.98	9256.59

PV Array Results

West Array low potential for temporary after-image

Predicted energy output: 842,800,000.0 kWh (assuming sunny, clear skies)

Component	Green glare (min)	Yellow glare (min)
FP: CK R14 Base	0	0
FP: CK R14 Crosswind	0	0
FP: CK R14 Downwind1	163	O
FP: CK R14 Downwind2	2342	0
FP: CK R14 Downwind3	0	0
FP: CK R14 Final	0	0
FP: CK R14 Upwind	0	0
FP: CK R32 Base	3322	0
FP: CK R32 Crosswind	0	0
FP: CK R32 Downwind1	0	0
FP: CK R32 Downwind 2	0	0
FP: CK R32 Downwind 3	0	0
FP: CK R32 Final	0	0
FP: CK R32 Upwind	0	0

West Array - Flight Path Receptor (CK R14 Base)

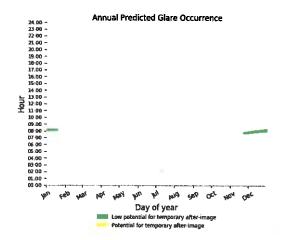
No glare found

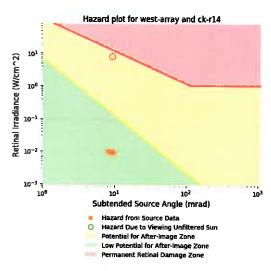
West Array - Flight Path Receptor (CK R14 Crosswind)

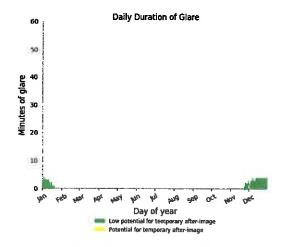
West Array - Flight Path Receptor (CK R14 Downwind1)

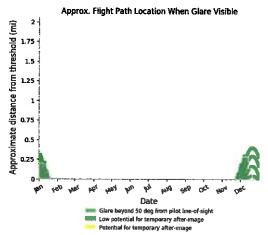
PV array is expected to produce the following glare for observers on this flight path:

- 163 minutes of "green" glare with low potential to cause temporary after-image.
- 0 minutes of "yellow" glare with potential to cause temporary after-image.







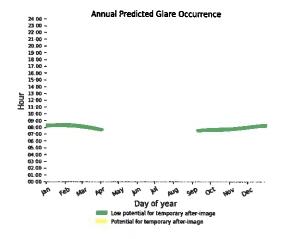


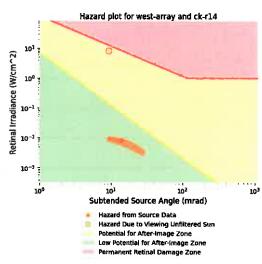
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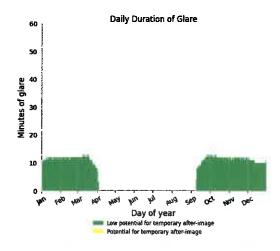
West Array - Flight Path Receptor (CK R14 Downwind2)

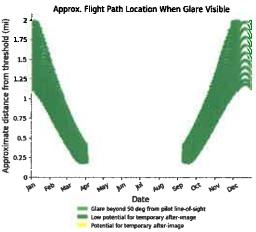
PV array is expected to produce the following glare for observers on this flight path:

- 2,342 minutes of "green" glare with low potential to cause temporary after-image.
- 0 minutes of "yellow" glare with potential to cause temporary after-image.









West Array - Flight Path Receptor (CK R14 Downwind3)

No glare found

West Array - Flight Path Receptor (CK R14 Final)

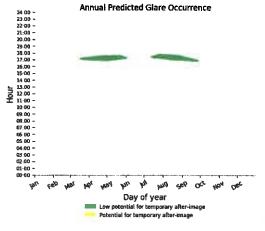
No glare found

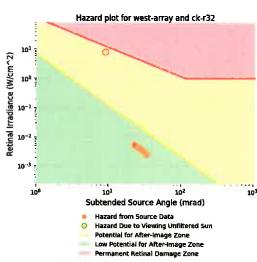
West Array - Flight Path Receptor (CK R14 Upwind)

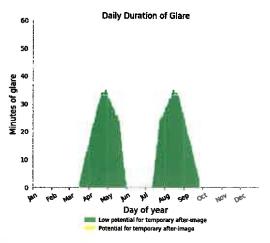
West Array - Flight Path Receptor (CK R32 Base)

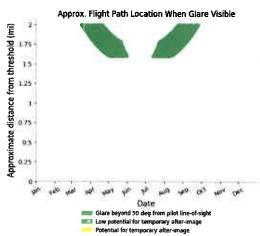
PV array is expected to produce the following glare for observers on this flight path:

- 3,322 minutes of "green" glare with low potential to cause temporary after-image.
- 0 minutes of "yellow" glare with potential to cause temporary after-image.









West Array - Flight Path Receptor (CK R32 Crosswind)

No glare found

West Array - Flight Path Receptor (CK R32 Downwind1)

No glare found

West Array - Flight Path Receptor (CK R32 Downwind 2)

West Array - Flight Path Receptor (CK R32 Downwind 3)

No glare found

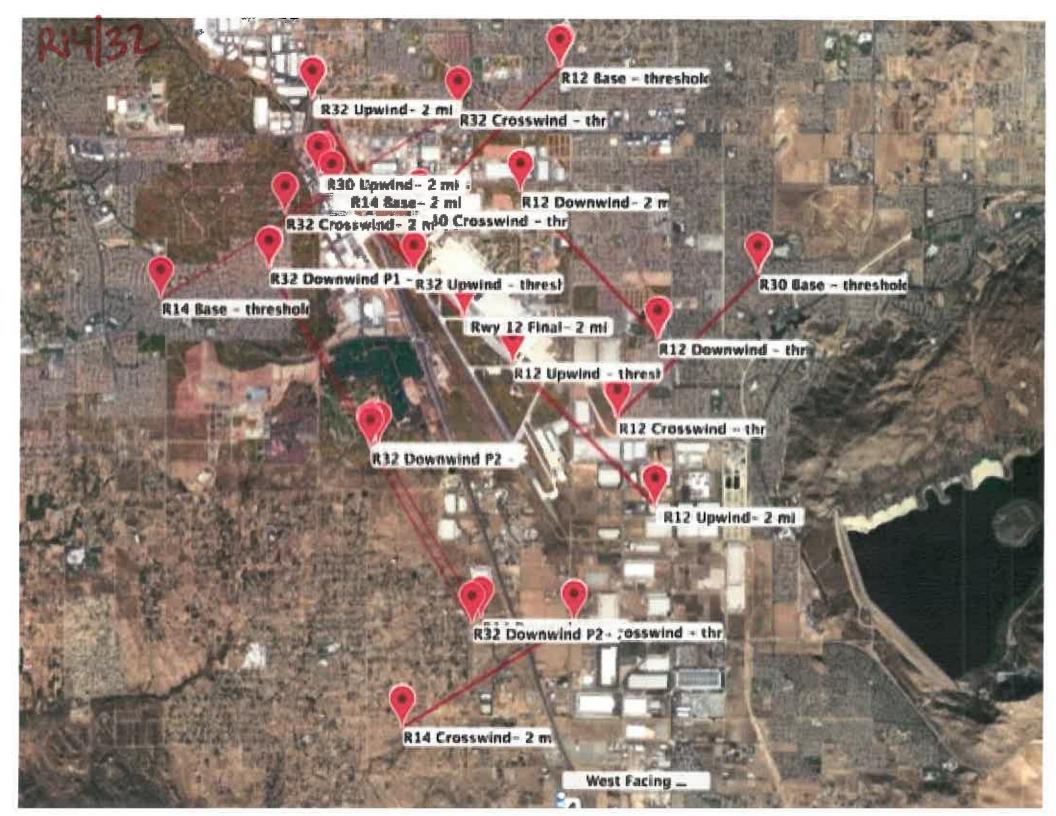
West Array - Flight Path Receptor (CK R32 Final)

No glare found

West Array - Flight Path Receptor (CK R32 Upwind)

Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actua values may differ.
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.







PRICING

TOOLS & SEIGHOREGaugerBlaneCABalysisHEeBults

Site Configuration: CFL Solar Analysis

Project site configuration details and results.

Created March 6, 2018 7:07 p.m.
Updated May 18, 2018 1:34 p.m.
DNI varies and peaks at 1,000.0 W/m^2
Analyze every 1 minute(s)
0.5 ocular transmission coefficient
0.002 m pupil diameter
0.017 m eye focal length
9.3 mrad sun subtended angle
Site Configuration ID: 17218.1869

Summary of Results No glare predicted!

PV name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced
	deg	deg	min	min	kWh
West Facing Array	5.0	252.0	0	0	842,900,000.0

Component Data

PV Array(s)

Name: West Facing Array
Axis tracking: Fixed (no rotation)

Tilt: 5.0 deg

Orientation: 252.0 deg Rated power: 404250.0 kW

Panel material: Smooth glass with AR coating Vary reflectivity with sun position? Yes Correlate slope error with surface type? Yes

Slope error: 8.43 mrad

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
1	33.822556	-117.245420	1502.88	30.00	1532.88
2	33.820007	-117.245334	1513.37	30.00	1543.37
3	33.820007	-117.245012	1512.56	30.00	1542.58
4	33.822547	-117.245088	1500.93	30.00	1530.93



Flight Path Receptor(s)

Name: R12 Base Description:

Threshold height: 1250 ft
Direction: 44.9 deg
Glide slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation ft ft ft deg deg 33.926442 -117.245927 1601.92 1250.06 2851.98 Threshold 33.905962 -117.270551 2851.98 2-mile point 1550.38 1301.60

Name: R12 Crosswind

Description:

Threshold height: 1500 ft
Direction: 224.6 deg
Gilde slope: 0.0 deg
Pliot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.876427	-117.235716	1480.78	1500.07	2980.85
2-mile point	33.897018	-117.211239	1512.79	1468.06	2980.85

Name: R12 Downwind Description:

Threshold height: 1500 ft Direction: 136.7 deg Glide slope: 0.0 deg Pliot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.887757	-117.228763	1510.94	1500.07	3011.02
2-mile point	33.908795	-117.252682	1549.28	1461.74	3011.02

Name: R12 Upwind Description:

Threshold height: 1450 ft Direction: 315.0 deg Gilde slope: 30.5 deg Pilot view restricted? Yes Vertical view restriction: 30

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.884232	-117.253751	1506.53	1450.07	2956.60
2-mile point	33.863792	-117.229091	1469.38	7707.87	9177.24

Name: R14 Base Description:

Threshold height: 1500 ft Direction: 238.1 deg Glide slope: 0.0 deg Pliot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.893376	-117.314802	1753.61	1500.07	3253.68
2-mile point	33.908650	-117.285193	1567.05	1686.63	3253.68

Name: R14 Crosswind

Description:

Threshold height: 1500 ft Direction: 58.6 deg Glide slope: 0.0 deg Pilot view restricted? Yes

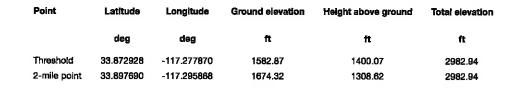


Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.847260	-117.242988	1476.19	1500.07	2976.26
2-mile point	33.832209	-117.272747	1662.15	1314.11	2976.26

Name: R14 Downwind P1

Description:

Threshold height: 1400 ft Direction: 148.9 deg Glide slope: 0.0 deg Pilot view restricted? Yes Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg





Name: R14 Downwind P2

Description:

Threshold height: 1400 ft Direction: 149.2 deg Glide slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.847806	-117.259116	1519.54	1400.07	2919.60
2-mile point	33.872633	-117.276978	1584.58	1335.02	2919.60

Name: R14 Final

Description: Threshold height: 0 ft Direction: 329.5 deg Giide slope: 35.2 deg Pilot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.921929	-117.288507	1524.92	0.00	1524.92
2-mile point	33.897012	-117 <i>.</i> 270813	1535.22	7439.35	8974.57

Name: R30 Base Description:

Threshold height: 1300 ft Direction: 44.7 deg Glide slope: 0.0 deg Pilot view restricted? Yes Vertical view restriction: 30

Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation ft ft ft deg deg Threshold 33.897041 -117.211407 1512.48 1300.06 2812.54 2-mile point 33.876487 -117.235932 1480.84 1331.70 2812.54

Name: R30 Crosswind

Description:

Threshold height: 1500 ft
Direction: 225.0 deg
Gilde slope: 0.0 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.906067	-117.270220	1550.64	1500.07	3050.71
2-mile point	33.926514	-117.2455 6 2	1603.60	1447.11	3050.71

- ...

Description:

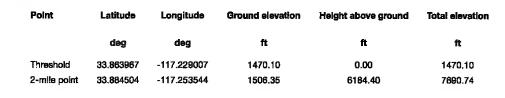
Threshold height: 1300 ft Direction: 316.3 deg Glide slope: 0.0 deg Pilot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	Æ	ft
Threshold	33.908806	-117.252560	1548.02	1300.06	2848.08
2-mile point	33.887899	-117.228468	1507.63	1340.45	2848.08

Name: R30 Final Description:

Threshold height: 0 ft
Direction: 135.3 deg
Gilde slope: 30.5 deg
Pilot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 60.0 deg





Name: R30 Upwind Description:

Threshold height: 1450 ft Direction: 134.1 deg Gilde slope: 30.5 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.891045	-117.262538	1524.36	1450.07	2974.43
2-mile point	33.911166	-117.287580	1561.71	7633.36	9195.08

Name: R32 Base
Description:
Threshold height: 1500 ft
Direction: 238.5 deg
Glide slope: 0.0 deg
Pliot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point	Latitude Longitude Groun		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.832391	-117.272652	1661.80	1500.07	3161.87	
2-mile point	33.847506	-117.242946	1477.77	1684.10	3161.87	

Name: R32 Crosswind

Description:

Threshold height: 1400 ft Direction: 58.8 deg Gilde slope: 0.0 deg Pilot view restricted? Yes Vertical view restriction: 30

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation ft ft ft deg deg Threshold 33.920392 -117.263515 1583.43 1400.07 2983.50 2-mile point 33.905428 -117.293362 1610.68 1372.82 2983.50

Name: R32 Downwind P1

Description:

Threshold height: 1400 ft Direction: 330.0 deg Glide slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude Longitude		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.897643	-117.296031	1675.36	1400.07	3075.43	
2-mile point	33.872591	-117.278621	1595.57	1479.87	3075.43	

Name: R32 Downwind P2

Description:

Threshold height: 1450 ft Direction: 329.6 deg Glide slope: 0.0 deg Pilot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.871969	-117.278320	1592.71	1450.07	3042.78	
2-mile point	33.847024	-117.260694	1527.58	1515.20	3042.78	

Name: R32 Upwind Description:

Threshold height: 1450 ft Direction: 149.4 deg Glide slope: 30.5 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude Longitude		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.896923	-117.270958	1537.55	1450.07	2987.62	
2-mile point	33.921809	-117.288710	1524.31	7683.95	9208.27	

Name: Rwy 12 Final Description:

Threshold height: 0 ft Direction: 314.8 deg Gilde slope: 30.5 deg Pilot view restricted? Yes



Point	Latitude Longitude		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.911246	-117.287002	1555.11	0.00	1555.11	
2-mile point	33.890859	-117.262270	1522.26	6253.49	7775.75	

PV Array Results

West Facing Array

Predicted energy output: 842,900,000.0 kWh (assuming sunny, clear skies)

Component	Green glare (min)	Yellow glare (min)
FP: R12 Base	0	0
FP: R12 Crosswind	0	0
FP: R12 Downwind	0	0
FP: R12 Upwind	0	a
FP: R14 Base	0	0
FP: R14 Crosswind	o	0
FP: R14 Downwind P1	0	O
FP: R14 Downwind P2	0	O
FP: R14 Final	0	0
FP: R30 Base	0	0
FP: R30 Crosswind	0	0
FP: R30 Downwind	0	0
FP: R30 Final	0	0
FP: R30 Upwind	0	o
FP: R32 Base	0	0
FP: R32 Crosswind	0	0
FP: R32 Downwind P1	0	0
FP: R32 Downwind P2	0	0
FP: R32 Upwind	0	0
FP: Rwy 12 Final	0	0

Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actua values may differ.
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.

Untitled Site Config | ForgeSolar 5/18/18, 10:50 AM



PRICING

TOOLS & SERGINGEGaugeFGlareCABalysisHEeBults

Site Configuration: Untitled

Project site configuration details and results.



Created May 18, 2018 1:48 p.m.
Updated May 18, 2018 1:48 p.m.
DNI varies and peaks at 1,000.0 W/m^2
Analyze every 1 minute(s)
0.5 ocular transmission coefficient
0.002 m pupil diameter
0.017 m eye focal length
9.3 mrad sun subtended angle
Site Configuration ID: 18284.2928

Summary of Results No glare predicted!

PV name	Tilt	Orientation	"Green" Glare	"Yellow" Glare	Energy Produced
	deg	deg	min	min	kWh
West Array	5.0	252.0	0	0	786,300,000.0

Component Data

PV Array(s)

Name: West Array

Axis tracking: Fixed (no rotation)

Tilt: 5.0 deg

Orientation: 252.0 deg Rated power: 404250.0 kW

Panel material: Smooth glass with AR coating Vary reflectivity with sun position? Yes Correlate slope error with surface type? Yes

Siope error: 8.43 mrad

Vertex	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
1	33.822560	-117,245420	1503.59	30.00	1533.59
2	33.822560	-117.245090	1500.98	30.00	1530.98
3	33.820010	-117.245090	1514.37	30.00	1544.37
4	33.820010	-117.245420	1514.16	30.00	1544.16



Untitled Site Config | ForgeSolar 5/18/18, 10:50 AM

Flight Path Receptor(s)

Name: R 14 Upwind Description:

Threshold height: 1450 ft Direction: 329.2 deg Glide slope: 30.5 deg Pilot view restricted? Yes

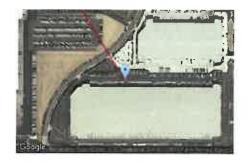
Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point Latitude Longitude Ground elevation Height above ground Total elevation deg deg ft ft ft Threshold 33.864856 -117.249334 1480.50 1450.07 2930.57 2-mlie point 33.840029 -117.231468 1460.52 7690.69 9151.21

Name: R32 Final Description:

Threshold height: 0 ft Direction: 149.3 deg Gilde slope: 35.2 deg Pilot view restricted? Yes



Point	Latitude Longitude		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.840051	-117.231223	1460.32	0.00	1460.32	
2-m!le point	33.864914	-117.249011	1485.50	7424.47	8909.97	

Untitled Site Config | ForgeSolar 5/18/18, 10:50 AM

PV Array Results

West Array

Predicted energy output: 786,300,000.0 kWh (assuming sunny, clear skles)

Component	Green glare (min)	Yellow glare (min)
FP: R 14 Upwind	0	0
FP: R32 Final	0	0

Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actua values may differ.
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.



OVERNEAD



PRICING

TOOLS & SERGINGEGauger@larecasalysisHeegults

Site Configuration: Untitled

Project site configuration details and results.



Created May 18, 2018 1:50 p.m.
Updated May 18, 2018 10:37 p.m.
DNI varies and peaks at 1,000.0 W/m^2
Analyze every 1 minute(s)
0.5 ocular transmission coefficient
0.002 m pupil diameter
0.017 m eye focal length
9.3 mrad sun subtended angle
Site Configuration ID: 18285.2928

Summary of Results No glare predicted!

PV name	Tilt	Orientation	"Green" Glare "Yeilow" G		Energy Produced
	deg	deg	min	min	kWh
West Array	5.0	252.0	0	0	786,300,000.0

Component Data

PV Array(s)

Name: West Array

Axis tracking: Fixed (no rotation)

Tit: 5.0 deg

Orientation: 252.0 deg Rated power: 404250.0 kW

Panel material: Smooth glass with AR coating Vary reflectivity with sun position? Yes Correlate slope error with surface type? Yes

Slope error: 8.43 mrad

Vertex	Latitude	Longitude	elevation	ground	elevation
	deg	deg	ft	ft	ft
1	33.822560	-117.245420	1503.59	30.00	1533.59
2	33.822560	-117.245090	1500.98	30.00	1530.98
3	33.820010	-117.245090	1514.37	30.00	1544.37
4	33.820010	-117.245420	1514.16	30.00	1544.16

Ground

Height above

Total



Flight Path Receptor(s)

Name: OH R14 Downwind

Description:

Threshold height: 2000 ft Direction: 330.0 deg Glide slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point Latitude Longitude Ground elevation Height above ground Total elevation deg deg ft ft ft Threshold 33.817878 -117.260979 1802.57 2000.10 3802.67 2-mile point 33.792846 -117.243543 1571.30 2231.37 3802.67

Name: OH R14 Final Description:

Threshold height: 0 ft Direction: 329.3 deg Glide slope: 16.5 deg Pliot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.921895	-117.288629	1524.48	0.00	1524.48	
2-mile point	33.897045	-117.270798	1534.84	3117.81	4652.66	

Name: OH R14 Initial P1

Description:

Threshold height: 2000 ft Direction: 329.2 deg Gilde slope: 0.0 deg Pllot view restricted? Yes Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.957626	-117.313285	1311.79	2000.10	3311.88
2-mile point	33.932804	-117.295389	1528.91	1782.97	3311.88

Name: OH R14 Initial P2

Description:

Threshold height: 2000 ft Direction: 330.4 deg Glide slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Latitude **Point** Longitude **Ground elevation** Height above ground Total elevation deg deg ft ft ft Threshold 33.932625 -117.295470 1531.60 2000.10 3531.70 2-mile point 33.907498 -117.278211 1544.37 1987.33 3531.70

Name: OH R14 Initial P3

Description:

Threshold height: 2000 ft Direction: 329.5 deg Gilde slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point Latitude Longitude **Ground elevation** Height above ground Total elevation deg deg ft ft ft Threshold 33.907509 -117,278220 1544.23 2000.10 3544.33 2-mile point 33.882586 -117.260539 1515.35 2028.98 3544.33

Name: OH R32 Downwind P1

Description:

Threshold height: 1800 ft
Direction: 329.5 deg
Glide slope: 0.0 deg
Pliot view restricted? Yes
Vertical view restriction: 30.0 deg
Azimuthal view restriction: 50.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.843010	-117.278803	1723.98	1800.09	3524.06	
2-mile point	33.818106	-117.261099	1806.99	1717.07	3524.06	

Name: OH R32 Downwind P2

Description:

Threshold height: 1800 ft Direction: 329.1 deg Gilde slope: 0.0 deg Pilot view restricted? Yes Vertical view restriction: 30.0 deg



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.868313	-117.297648	1689.13	1800.09	3489.22
2-mile point	33.843499	-117.279755	1712.69	1776.53	3489.22

Name: OH R32 Final

Description:

Threshold height: 0 ft Direction: 149.4 deg Glide slope: 16.5 deg Pllot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Point	Latitude Longi		Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.840001	-117.231167	1460.00	0.00	1480.00	
2-mile point	33.864889	-117.248902	1485.58	3102.80	4588.18	

Name: OH R 32 Initial P1

Description:

Threshold height: 2050 ft Direction: 148.8 deg Gilde slope: 0.0 deg Pliot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.805851	-117.205826	1419.41	2050.10	3469.51
2-mile point	33.830585	-117.223867	1455.96	2013.55	3469.51

Untitled Site Config | ForgeSolar 5/18/18, 7:39 PM

Name: OH R 32 Initial P3

Description:

Threshold height: 2000 ft Direction: 149.4 deg Glide slope: 0.0 deg Pilot view restricted? Yes

Vertical view restriction: 30.0 deg Azimuthal view restriction: 50.0 deg



Name: OH R 32 Intial P2

Description:

Threshold height: 2000 ft Direction: 151.5 deg Gilde slope: 0.0 deg Pilot view restricted? Yes



Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation
	deg	deg	ft	ft	ft
Threshold	33.856045	-117.241531	1469.08	2000.10	3469.18
2-mile point	33.880939	-117.259259	1509.02	1960.16	3469.18

Point	Latitude	Longitude	Ground elevation	Height above ground	Total elevation	
	deg	deg	ft	ft	ft	
Threshold	33.830952	-117.224107	1454.48	2000.10	3454.58	
2-mile point	33.856366	-117.240724	1473.49	1981.09	3454.58	

Untitled Site Config | ForgeSolar 5/18/18, 7:39 PM

PV Array Results

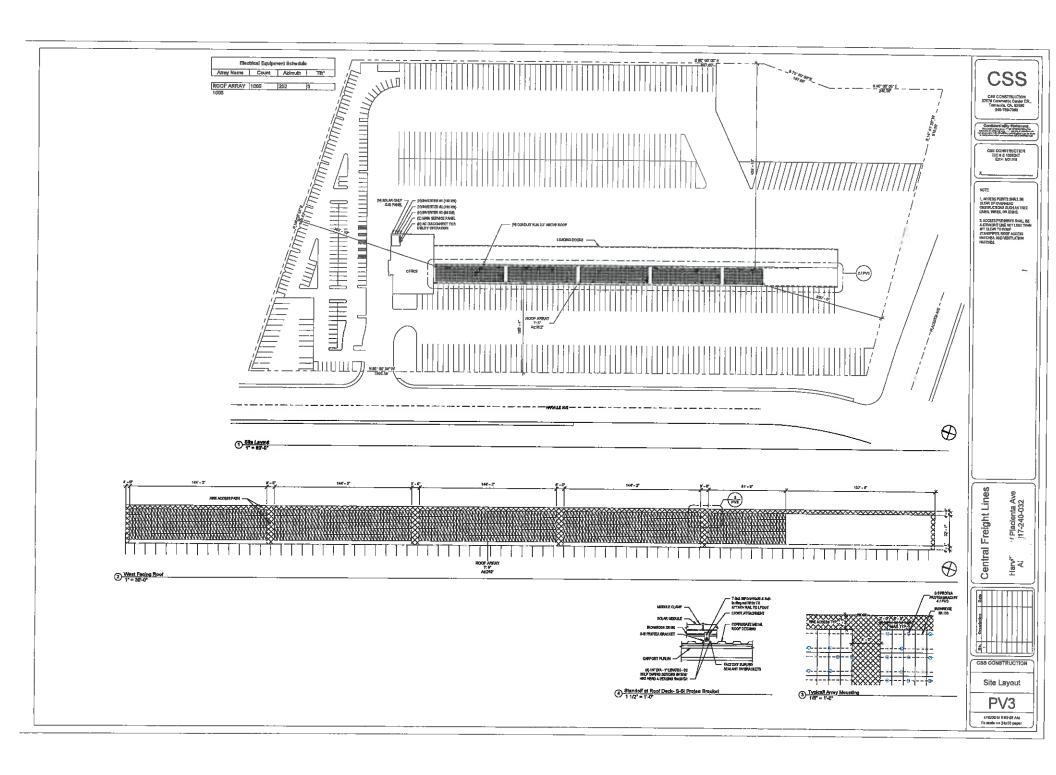
West Array

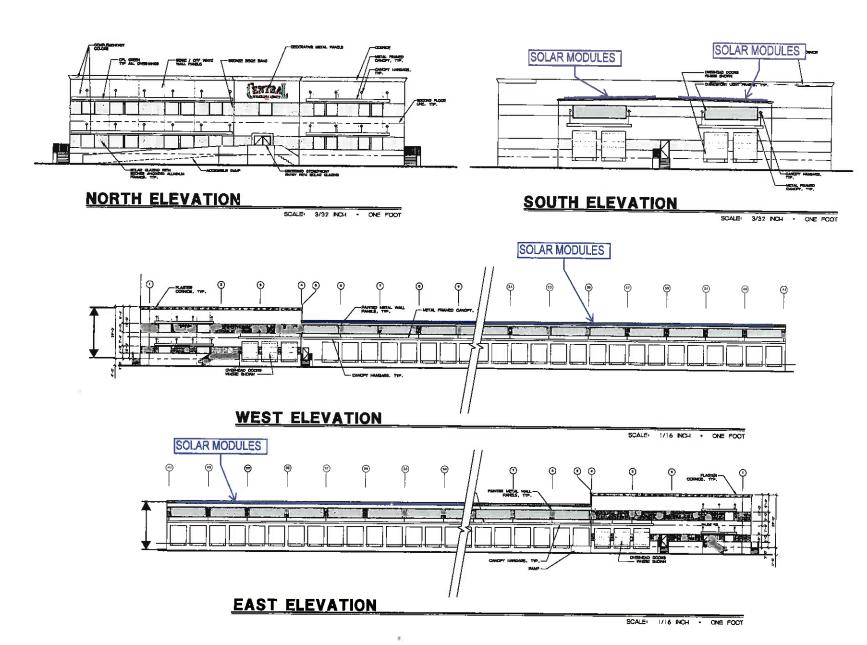
Predicted energy output: 786,300,000.0 kWh (assuming sunny, clear skies)

Component	Green glare (min)	Yellow glare (min)
FP: OH R14 Downwind	0	0
FP: OH R14 Final	0	0
FP: OH R14 Initial P1	0	0
FP: OH R14 Initial P2	0	0
FP: OH R14 Initial P3	0	0
FP: OH R32 Downwind P1	0	0
FP: OH R32 Downwind P2	0	0
FP: OH R32 Final	0	0
FP: OH R 32 Initial P1	0	0
FP: OH R 32 Initial P3	O	0
FP: OH R 32 Intial P2	0	O

Assumptions

- Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.
- Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.
- The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actual values may differ.
- Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.





HOWARD Parsell COMPANY

architecture structural engine civil engineering

4854 MAIN STREET YORBA LINDA, CA 92866-(714) 777-9785 (714) 777-9083 FAX

A division of Howard Porsell Structural Engineering, Inc.

PROJECT HAVE New Truck Facility for: Central Freight Lines, ILC.



EXTERIOR ELEVATIONS

10-20-17 FRO.ECT NO 0336

A7



COUNTY OF RIVERSIDE DEPARTMENT OF BUILDING AND SAFETY

PERMIT APPLICATION

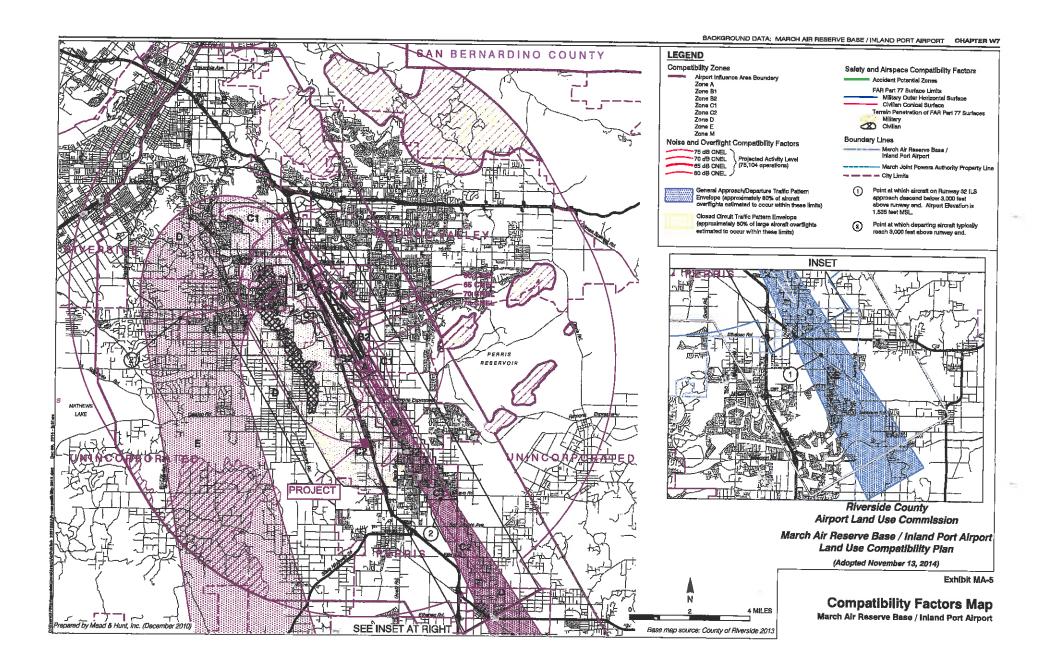
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City		State	Zi	p Code		Assesso	r's Parce	Number
Riverside		CA						
Property Owne	-					Phone N		
Name- Last, First		est Premier Prop	erties, LLC			(602) 87		
Mailing Address (Ir aimerent)		_	City			State	Zip Code
PO Box 1397				Tolleson			Arizona	85351
APPLICANT IN		Ci-ll., man	· -:		1-1			
Note : As the appli and all permits per	Ordinance 457.	Any changes in	ASIDIE TOF E	ALL supplementation of	entai Suet l	billings, ī	ees and r	efunds for any
applicant to the Bu	ilding Departme	nt. (ref. form 28	аррисанс л 4-92)	IIIVi Mauvii ii	iluat (Je made i	III WITUIIIG	by the original
Applicant- Com				Agent-				
Tom Malone								
Mailing				City			State	Zip Code
Address 25185 Ma	adison Ave #A		A	Vurrieta			Ca	92562
Phone Number			Email					-
(951) 414	-5132		tr	malone@troja	ansola	ar.com		
Check one:		OWNER BU	JILDER	_xcc	TNC	RACTO	R	
Contractor -Name	3			Туре		License	#	
CSS Cons	truction			В		1006		
Mailing Address				City			State	Zip Code
27576 Commerce	Center Dr Ste 110			Temecula			CA	92590
Phone Number		Ema	ail					
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Architect or Eng						License	#	
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284-199 (Rev. 04-2016)

4080 Lemon Street • 9th Floor • Riverside • CA • 92502-1629

Telephone: 951-955-1800 • Fax: 951-955-1806

www.rctima.org BEL Land Use-Prior to Issuance.



NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING: May 10, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey) – County of Riverside Permit No. BEL1800836 (Building Electrical Permit). A proposal to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of BNSF rail line and I-215 Freeway, and southerly of Walnut Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Charles de Chambeau of the County of Riverside Building & Safety Department at (951) 955-2036.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

7 11 12 1	CALL CALL CALL CALL CALL CALL CALL CALL	SE ACTION NEVIEW
ALUC CASE NUMB	ER: ZAP 1302 MAIS DATE SU	JBMITTED: 2-28-18
APPLICANT / REPRES	ENTATIVE / PROPERTY OWNER CONTACT INFORMATION	
Applicant	Southwest Premier Properties, LLC	Phone Number 602-875-5351
Mailing Address	PO Box 1397 Tolleson, Arizona 85351	Email
-		
Representative	Teresa Harvey	Phone Number 520-470-9043
Mailing Address	PO Box 1397 Tolleson, Arizona 85351	Email divinamgmt@gmail.com
Property Owner	Same as Applicant	Phone Number
Mailing Address		Email
_		
LOCAL JURISDICTION	AGENCY	
Local Agency Name	Riverside County BULDING SAFETY	Phone Number 951-955-2036
Staff Contact	CHARLES DE CHAMBAU	Email
Mailing Address	4080 Lemon Street PO Box 1409, Riverside, CA 92508	Case Type
		General Plan / Specific Plan Amendment
	202	Zoning Ordinance Amendment Subdivision Parcel Map / Tentative Tract
Local Agency Project No	BEL 1800836	☐ Use Permit
		Site Plan Review/Plot Plan Other
PROJECT LOCATION		-
Attach an accurately scaled n	nap showing the relationship of the project site to the airport boundary and n	unways
Street Address H	arvill and Placentia	
_		
Assessor's Parcel No. 3	17-240-008; 013; 015; 032; & 035	Gross Parcel Size
Subdivision Name		Nearest Airport and distance from
Lot Number		Airport March AFB
PROJECT DESCRIPTION		
If applicable, attach a detailed include additional project desc	site plan showing ground elevations, the location of structures, open space: arption data as needed	s and water bodies, and the heights of structures and trees;
Existing Land Use Va	acant	
(describe)		
_		

Proposed Land Use (describe)	CFL Trucking Te	rminal, including loading dock and admi	inistrative offices; add roof too Solar Panel.
For Residential Uses For Other Land Uses	Number of Parcels Hours of Operation	or Units on Site (exclude secondary units Primary hours will be 10:00 am until	
(See Appendix C)	Number of People Method of Calcul		
Height Data		or structures (from the ground)	1535 30
Flight Hazards	Does the project in confusing lights, gla If yes, describe	volve any characteristics which could crea are, smoke, or other electrical or visual had Installing a solar array on roof of be	te electrical interference.

- A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME: Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:
 - 1..... Completed ALUC Application Form
 - 1. ALUC fee payment
 - 1..... Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 - 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 - 1. CD with digital files of the plans (pdf)
 - 1..... Vicinity Map (8.5x11)
 - 1. Detailed project description
 - 1. Local jurisdiction project transmittal
 - 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 - 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: June 14, 2018

CASE NUMBER: ZAP1028BA18 - Downing Construction, Inc.

(Representative: Marcell & Associates)

APPROVING JURISDICTION: City of Banning

JURISDICTION CASE NO: DR18-7004 (Design Review)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Design Review be found <u>CONDITIONALLY CONSISTENT</u>, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

PROJECT DESCRIPTION: The applicant proposes to construct a two-story 9,320 square foot contractor's building and storage yard with a 400 square foot fueling area on 1.95 acres.

PROJECT LOCATION: The site is located at the terminus of Galleher Way, northerly of Lincoln Street, easterly of San Gorgonio Avenue, and southerly of John Street, the rail line, and Interstate 10, in the City of Banning, approximately 4,130 feet (0.78 mile) westerly of the westerly end of Runway 8-26 at Banning Municipal Airport.

LAND USE PLAN: 2004 Banning Airport Land Use Compatibility Plan as amended in 2016

a. Airport Influence Area: Banning Municipal Airport

b. Land Use Policy: Airport Compatibility Zone C

c. Noise Levels: Within the 55-60 CNEL noise contour range from aircraft noise

BACKGROUND:

Non-Residential Average Intensity: Pursuant to the Airport Land Use Compatibility Plan for Banning Municipal Airport, the site is located within Compatibility Zone C. Non-residential intensity in Compatibility Zone C is restricted to an average intensity of 75 people per acre.

The "Building Code Method" for calculating intensity utilizes "minimum floor area per occupant" criteria from the Building Code as a factor in projecting intensity. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following intensities were utilized for the project:

- office area − 1 person/200 square feet,
- storage area 1 person/300 square feet,
- manufacturing area 1 person/200 square feet.

The proposed 9,320 square foot two-story building includes 5,847 square feet of office area, 2,411 square feet of shop area, and 1,062 square feet of storage area, resulting in a projected intensity of 45 people. (The building also includes 450 square feet of non-occupiable space not counted in the overall square footage cited above.) The 400 square foot fueling area will at a maximum accommodate two trucks at any given time resulting in an occupancy of 3 people. The total occupancy of 48 people would result in an average intensity of 25 people per acre, which is consistent with the Compatibility Zone C average acre criterion of 75. Even if the entire building were office space, the occupancy would be consistent.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces required of 31, the total occupancy would be estimated at 47 people, resulting in an average intensity of 24 people per acre, which is also consistent with the Compatibility Zone C average acre criterion of 75.

Non-Residential Single-Acre Intensity: As previously noted, the proposed building is located within Compatibility Zone C, which restricts non-residential intensity to 150 people in any given single acre. However, the level of 150 can only be permitted for sites at least 2 acres in area.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area for the building would consist of the entire building including 5,847 square feet of office area, 2411 square feet of shop area, and 1,062 square feet of storage area, and the 400 square foot fueling station that accommodates two trucks and occupancy of 3 people. This results in a single acre occupancy of 48 people, which is consistent with the Compatibility Zone C single-acre criterion of 150.

<u>Prohibited and Discouraged Uses:</u> The proposed industrial warehouse building is located entirely within Compatibility Zone C. The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone C (highly noise-sensitive outdoor nonresidential uses, hazards to flight, children's schools, day care centers, libraries, hospitals, and nursing homes).

Noise: The property lies within the 55-60 CNEL noise contour range from aircraft noise. As a primary industrial use not sensitive to noise (and considering typical anticipated building

construction noise attenuation of approximately 20 dBA), the shop and storage areas would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within the office areas of the building.

Part 77: The elevation of Runway 8-26 at its westerly terminus is approximately 2,219 feet above mean sea level (AMSL). At a distance of approximately 4,130 feet from the runway, FAA review would be required for any structures with peak elevations exceeding 2,260.3 feet AMSL. The project site elevation is 2,304 feet AMSL, and the proposed maximum building height is 30 feet, resulting in a maximum height elevation of 2,334 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service (FAAOES) was required. The applicant has submitted Form 7460-1, and FAA OES has assigned Aeronautical Study No. 2018-AWP-8510-OE to this project, which is recognized as a "Work in Progress" as of the date of this staff report.

Open Area: Compatibility Zone C requires 20% of area within major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. The project is 1.95 acres in area, so Zone C open area is not required.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, wastewater management facilities, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

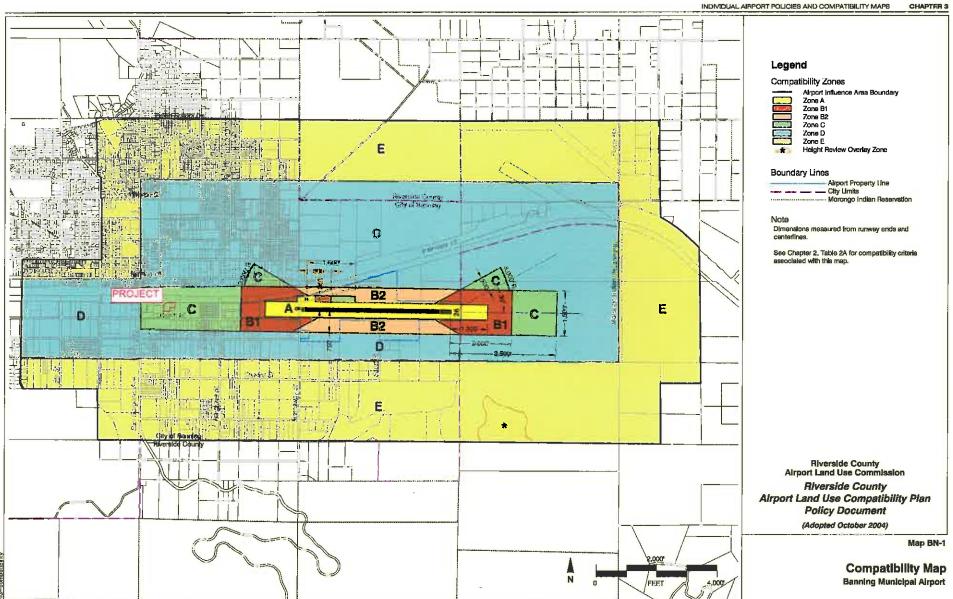
Staff Report Page 4 of 4

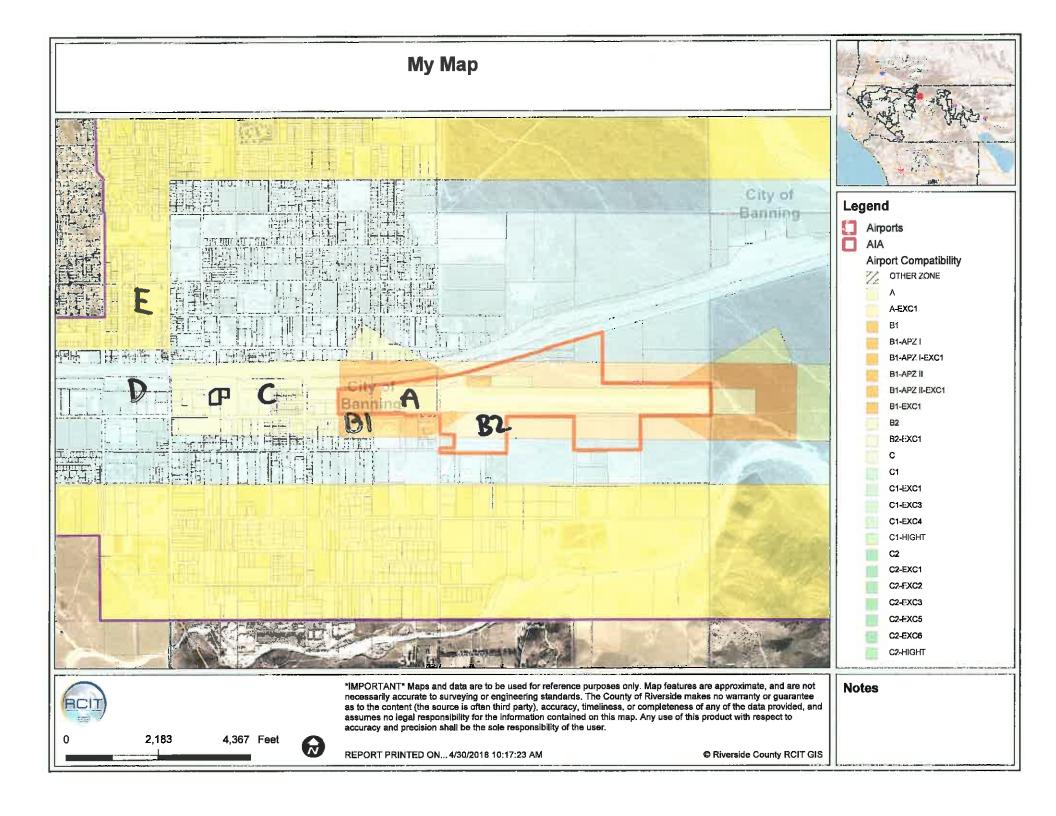
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- (e) Children's schools, day care centers, libraries, hospitals, nursing homes, highly noise-sensitive outdoor nonresidential uses, and hazards to flight.
- 3. The attached notice shall be given to all prospective purchasers and/or tenants of the property, and shall be recorded as a deed notice.
- 4. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. The evaluated project consists of a 9,320 square foot building, including 5,847 square feet of office area, 2,411 square feet of shop area, and 1,062 square feet of storage area. Any proposal to use the building for retail or assembly occupancies will require an amended review by the Airport Land Use Commission.
- 6. Noise attenuation measures shall be incorporated into the design of the office portion of the building, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

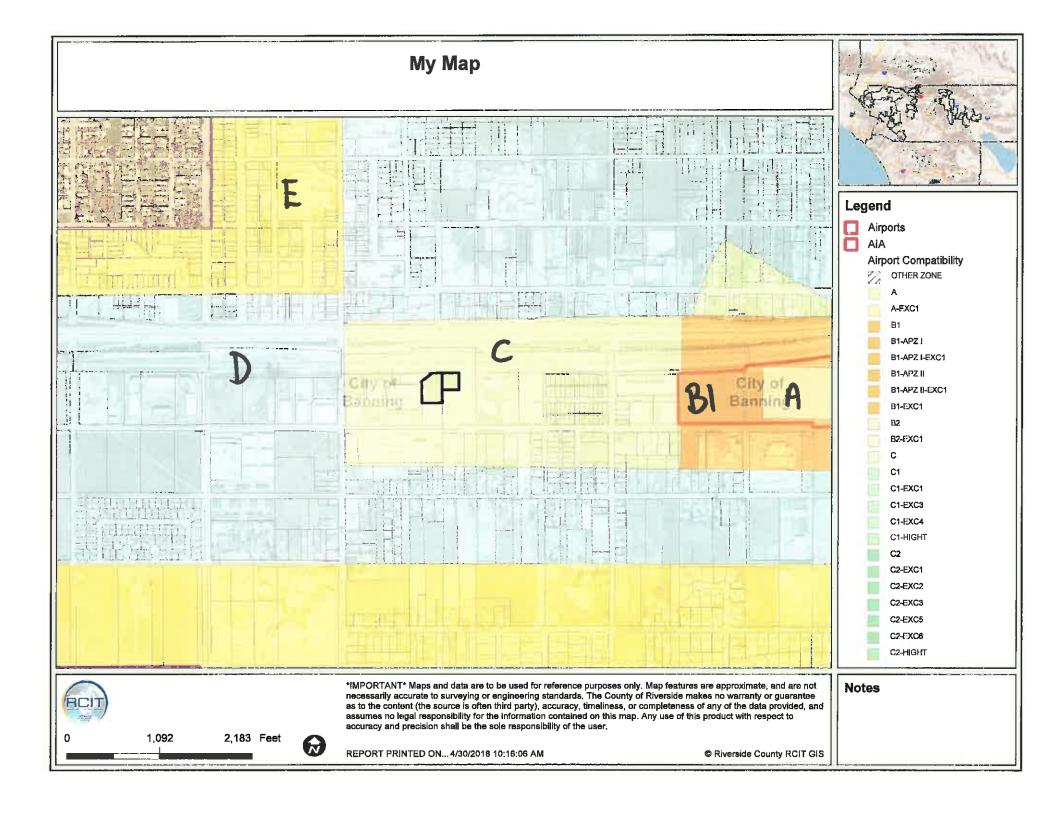
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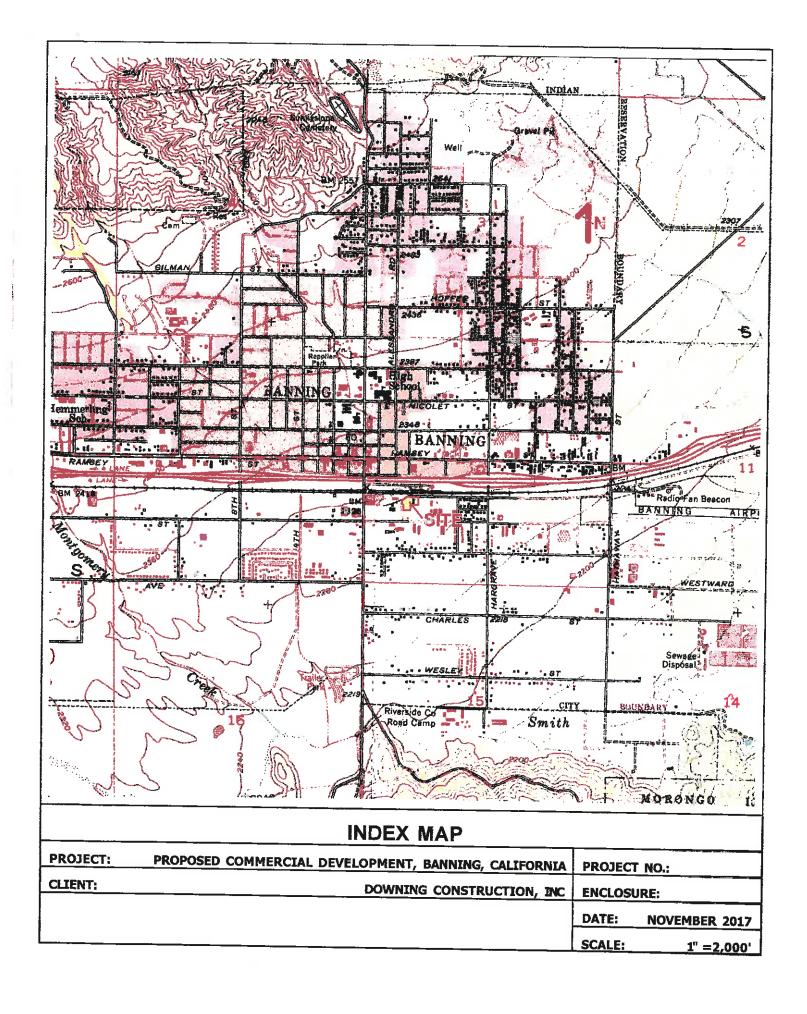
NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)



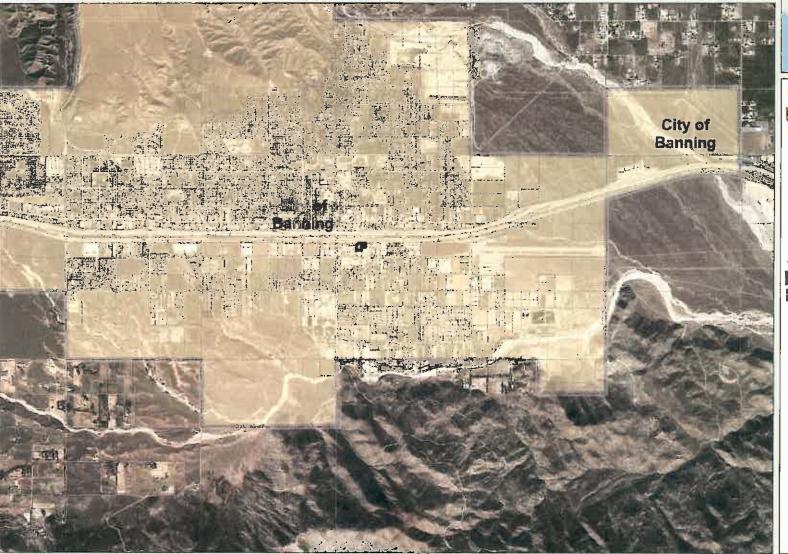








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Legend

City Boundaries Cities

highways

___ HWY

INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

USHWY

majorroads

counties

cities

Notes

hydrographylines waterbodies

Lakes

Rivers



4,367

8,733 Feet

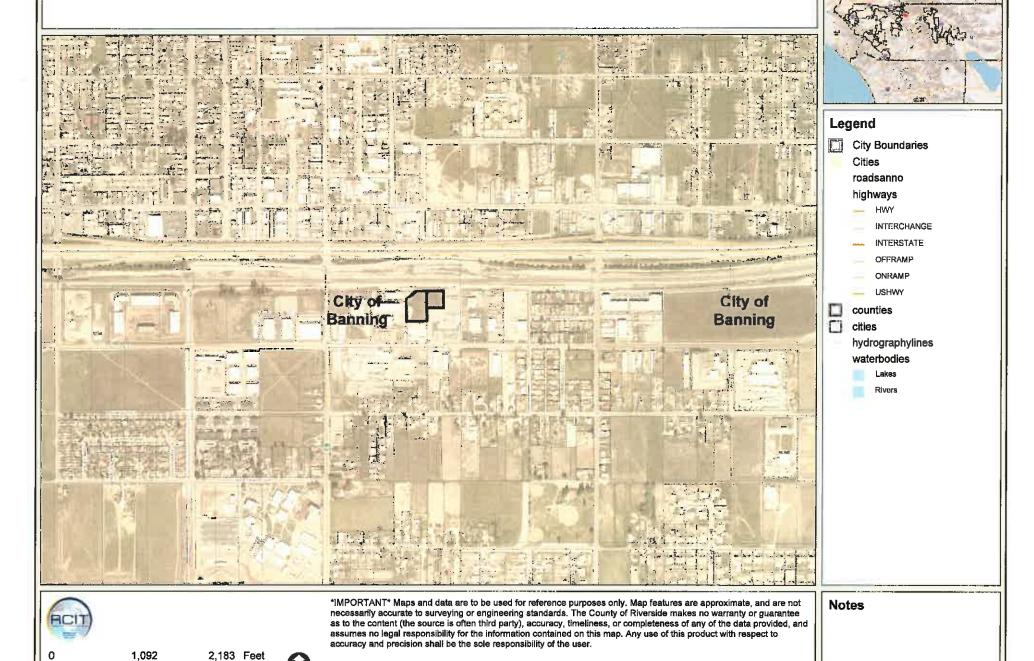


IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

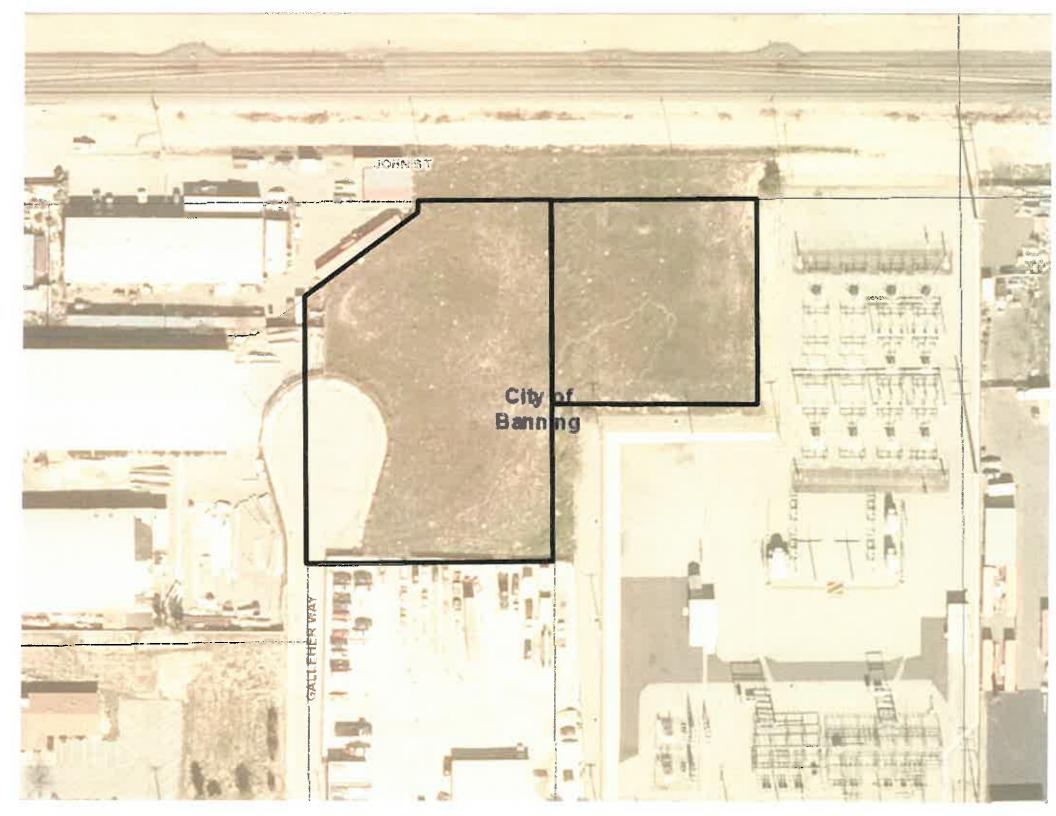
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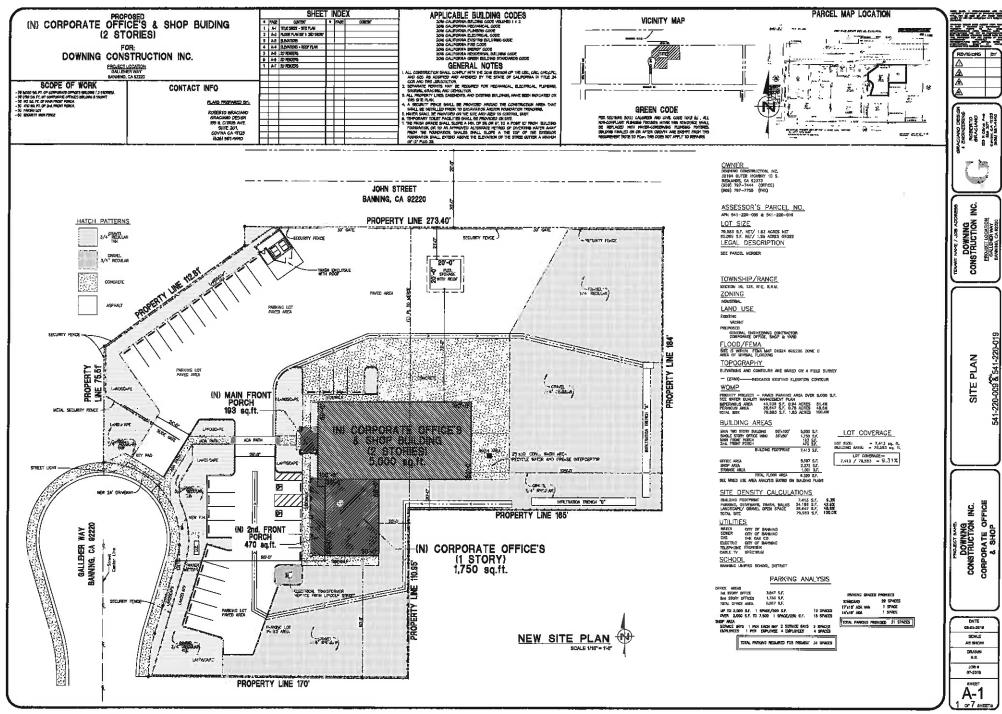
2,183 Feet

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REVISIONS BY



Downing Construction, Inc.

Galleher Way

Banning, CA

Building Area Summary (updated 5-1-2018)

Building Footprint Area

Main two-story building 50'x100' 5,000 S.F.

Single story office wing 50'x35' 1,750 S.F.

Covered front entry feature (open) 193 S.F.

Covered porch off office wing (open) 470 S.F.

TOTAL BUILDING FOOTPRINT 7,413 S.F.

Building use areas

1 office

1st Floor 4,097 S.F. (Architectural)

2nd Floor 1,750 S.F.

Total Office areas 5,847 S.F. (5,597 S.F.)

2. Shop

1st floor 2,411 S.F. (2,272 S.F.)

3. Storage

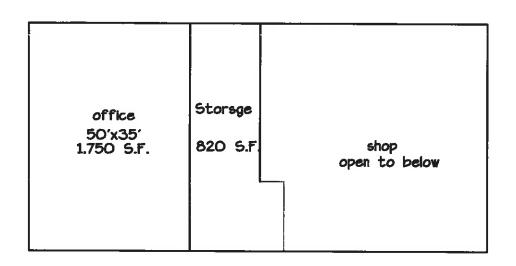
1st Floor 242 S.F.

2nd story 820 S.F.

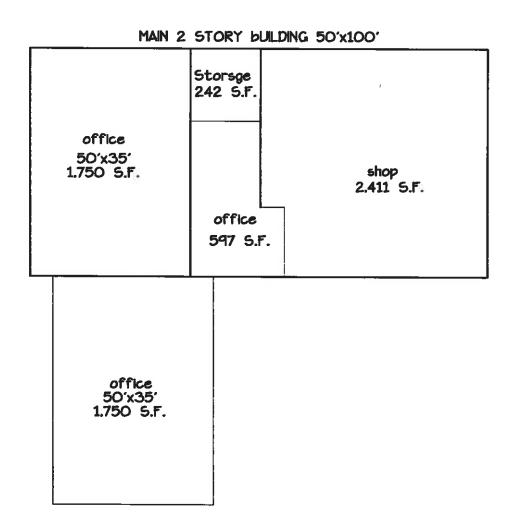
Total Storage areas 1,062 S.F. (1,001 S.F.)

Total building floor area 9,320 S.F. (9,320 S.F.)

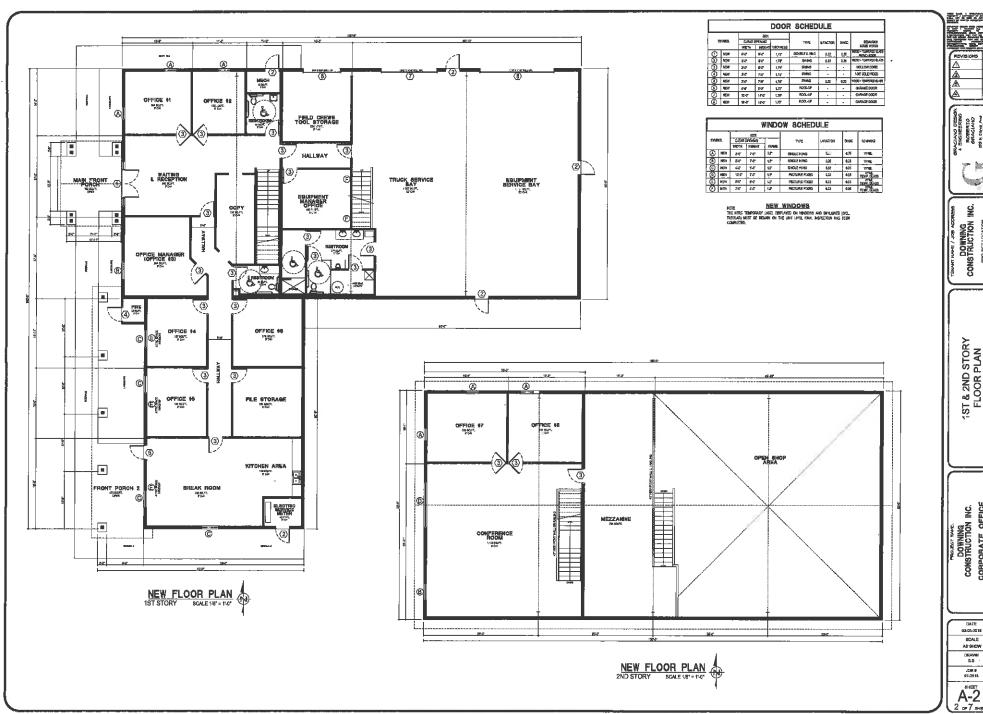
See Sketch for area locations



2nd Story Floor areas



1st Story Floor areas



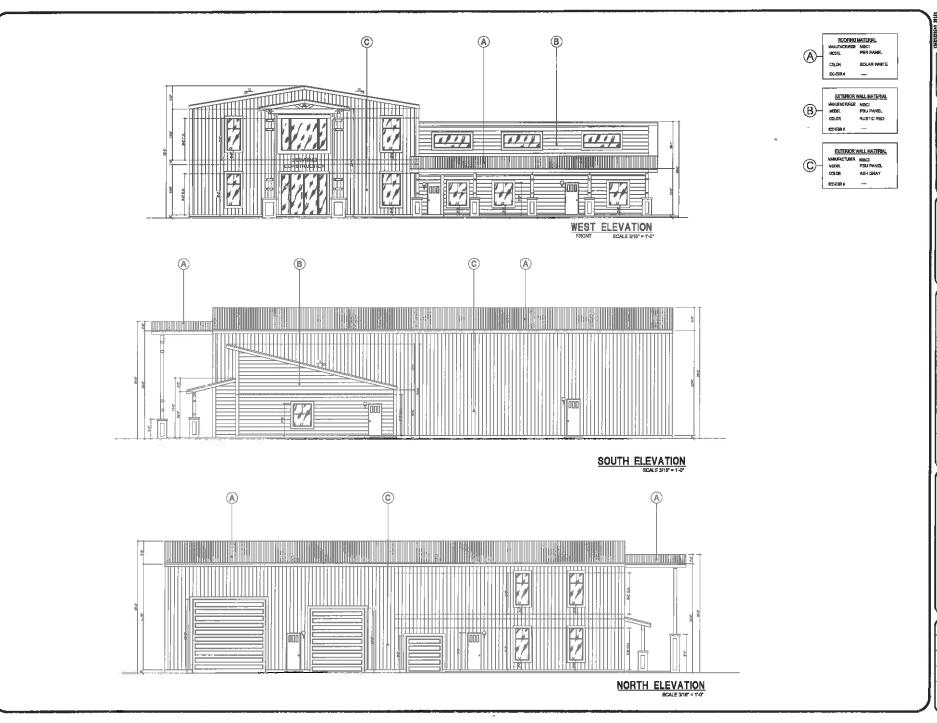


PROJECT LOCATION GALCHER WAY BANNING, CA 92220

541-220-009 8 541-220-019 1ST & 2ND STORY FLOOR PLAN

DOWNING CONSTRUCTION INC. CORPORATE OFFICE & SHOP

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CONSTRUCTION INC. PROJECT LOCATION GALLEFER WAY BANNING, CA 8220

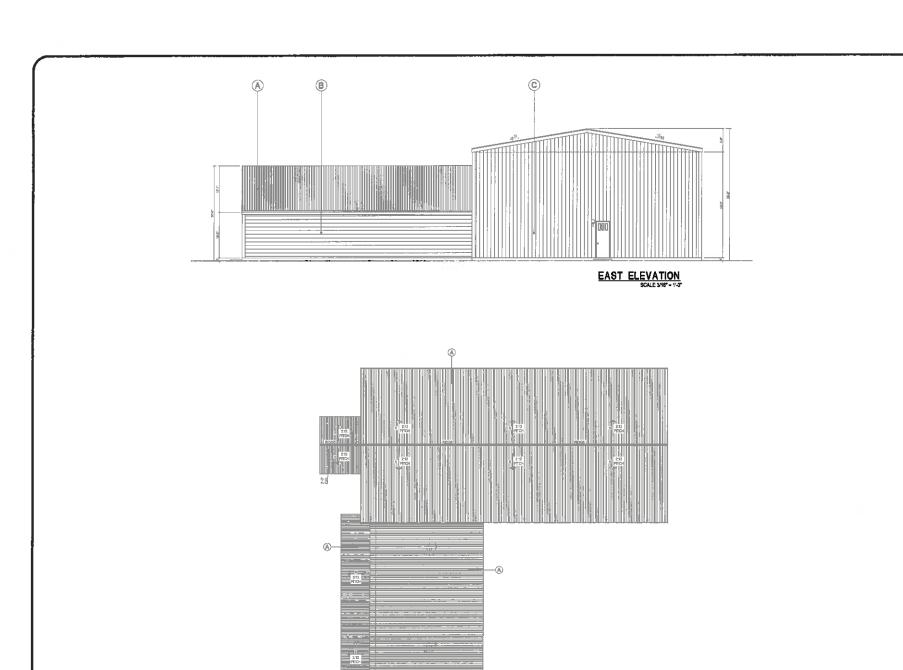
> 541-220-009 8 541-220-019 ELEVATIONS

CONSTRUCTION INC.
CORPORATE OFFICE

DATE 03-05-2018 SCALE AS SHOW

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A-3 3 of 7 sheets



ROOF PLAN
SCALE 1/8" = 1'-0"

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CONSTRUCTION INC.
PROJECT LOCATION
CONSTRUCTION INC.
PROJECT LOCATION
CONTRIBUTION

ELEVATIONS + ROOF PLAN 541-220-009

CONSTRUCTION INC.
CORPORATE OFFICE
& SHOP

DATE 03-05-2018 9CALE AS SHOW DRAWN 6.S.

JOB # 07-2018

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CONSTRUCTION INC.
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DATE OF CASESTORY

541-220-009 8 541-220-019 3D RENDERS

CONSTRUCTION INC.
CORPORATE OFFICE

DATE DS-06-2018 SIGALE AB EHCIW DRAWN B.S.

JOS # 07-2018 SHEET A-5 5 or 7 SHEETS





















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541-220-009 8 541-220-019

CORPORATE OFFICE

DATE 03-05-2018 SICALE AS SHOW DRAWN B.S.

JOB# 07-2018

A-6 6 or 7 sheets















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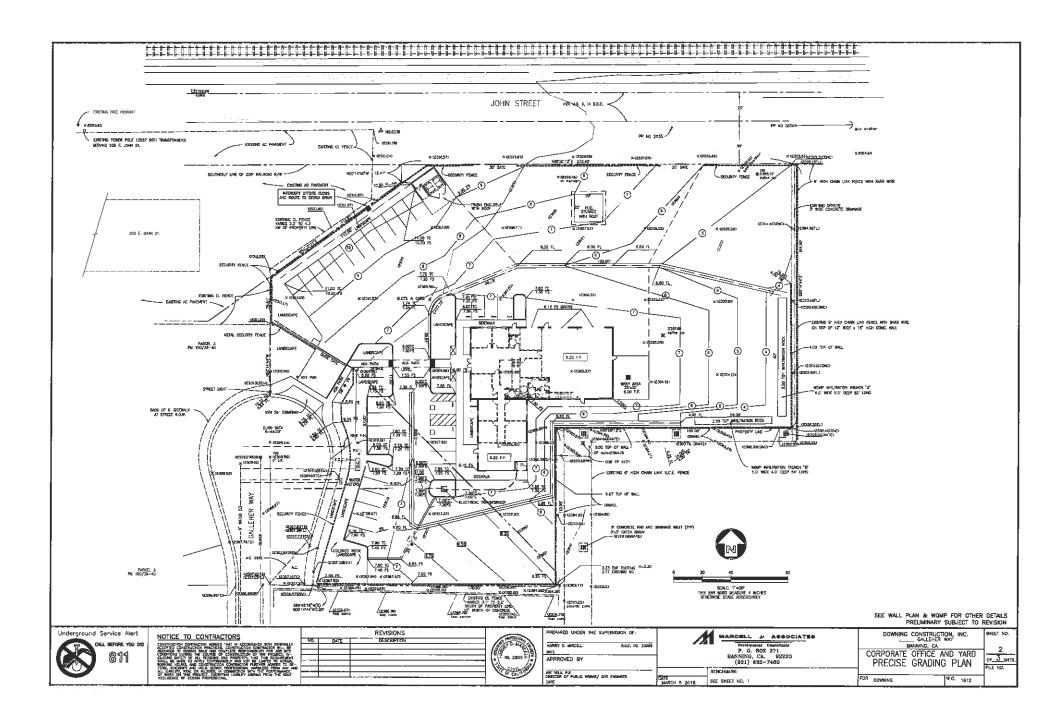
3D RENDERS

CONPORATE OFFICE

DATE 63-06-2018 SCALE AS SHOW ORAWN 6.9.

JOB # 97-2015

A-7 7 of 7 sheets



NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Banning may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:

Riverside County Administration Center

4080 Lemon St., 1st Floor Board Chambers

Riverside, California

DATE OF HEARING:

June 14, 2018

TIME OF HEARING:

9:00 A.M.

CASE DESCRIPTION:

<u>ZAP1028BA18 – Downing Construction, Inc. (Representative: Marcell & Associates)</u> – City of Banning Case No. DR18-7004 (Design Review). The applicant proposes to construct a two-story 9,320 square foot contractor's building and storage yard with a 400 square foot fueling area on 1.95 acres located at the terminus of Galleher Way, northerly of Lincoln Street, easterly of San Gorgonio Avenue, and southerly of John Street, the rail line, and Interstate 10 (Airport Compatibility Zone C of the Banning Municipal Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Marie Gilliam of the City of Banning Planning Department at (951) 922-3160.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

APPLICATION FOR IVIAGOR LAND USE ACTION REVIEW							
ALUC CASE NUMB	ER: ZAP1028BA18 DATE SUBMIT	TTED: <u>April 17,2018</u>					
APPLICANT / REPRES	BENTATIVE / PROPERTY OWNER CONTACT INFORMATION						
Applicant	Downing Construction, Inc. c/o Kevin Ellis	Phone Number 909 797-7444					
Mailing Address	32194 Outer Highway 10 S	Email kevin@downingconstructioninc.com					
	Redlands, CA 92373	· · · · · · · · · · · · · · · · · · ·					
Representative	Harvey Marcell	Phone Number 951 662-7460					
Mailing Address	P.O. Box 371	Email harveymarcel@yahoo.com					
_	Banning, CA 92220						
Property Owner	Downing Construction, Inc.	Phone Number 909 797-7444					
Mailing Address	32194 Outer Highway 10 S	Email kevin@downingconstructioninc.com					
_	Redlands, CA 92373						
LOCAL JURISDICTION	AGENCY						
Local Agency Name	City of Banning Community Development	Phone Number 951 922-3160					
Staff Contact	Marie E. Gilliam	Email mgilliam@ci.banning.ca.us					
Mailing Address	99 E. Ramsey St.	Case Type					
	Banning, CA 92220	General Plan / Specific Plan Amendment					
ļ		Zoning Ordinance Amendment Subdivision Parcel Map / Tentative Tract					
Local Agency Project No	Design Review DR 18-7004	□ Use Permit □ Site Plan Review/Plot Plan					
		Other					
Bro iroz Loouziou							
PROJECT LOCATION	map showing the relationship of the project site to the airport boundary and runway.	•					
		<u> </u>					
Street Address	Galleher Way (400' north of Lincoln St. address not assigned)						
Assessed Barrel Ma	541-220-009 & 541-220-019						
1	N/A	Gross Parcel Size 1.83 acres Nearest Airport					
	N/A	and distance from					
Lot Number	IVA	Airport Banning 4,140' east					
PROJECT DESCRIPTION	ON						
1	ed site plan showing ground elevations, the location of structures, onen spaces and	water bodies, and the heights of structures and trees;					
	Vacant Industrial. See Attached Sheet for description.						
(describe)							

Boun

Proposed Land Use	Contractor's Corporate office and yard					
(describe)	See Attached Sheet for description, plot plan, grading plan.					
For Residential Uses For Other Land Uses	Number of Parcels or Units on Site (exclude secondary units) Hours of Operation 6:00 AM to 5:00 PM		N/A			
(See Appendix C)	Hours of Operation 6:00 AM Number of People on Site 12	Maximum Number 67	<u>. </u>			
	Method of Calculation	California Bilding Code office	5.597 s.f./100sf/pers	con=56 nersons		
		Shop and storage 3,273 s.f./300				
Height Data	Site Elevation (above mean sea	level)	2308 building finish floor		f	
	Height of buildings or structures	(from the ground)	30		f	
Flight Hazards	Does the project involve any characteristics which could create electrical interference confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		trical interference,	☐ Yes		
	If yes, describe	out of the state o	o an oratt ingrit:	■ No		
			_		<u></u> _	
tions 659	: Failure of an applican 940 to 65948 inclusive, oval of actions, regulation	nt to submit complete or a of the California Governm s, or permits.	adequate inform ent Code, MAY	nation pursuant to solution of constitute grounds	Sec- s for	
submitta	TIME: Estimated time	for "staff level review" is	approximately	30 days from dat		
submitta	to the next available co	ommission level review" is mmission hearing meeting	s approximately		e of e of	
55	I to the next available con	ommission level review" is	s approximately	,	e of e of	

3. Gummed address labels for applicant/representative/property owner/local jurisdiction

3. Gummed address labels of all surrounding property owners within a 300 foot radius of

1. . . . Vicinity Map (8.5x11)

planner

1.... Detailed project description •

1. Local jurisdiction project transmittal •

the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

Project Description

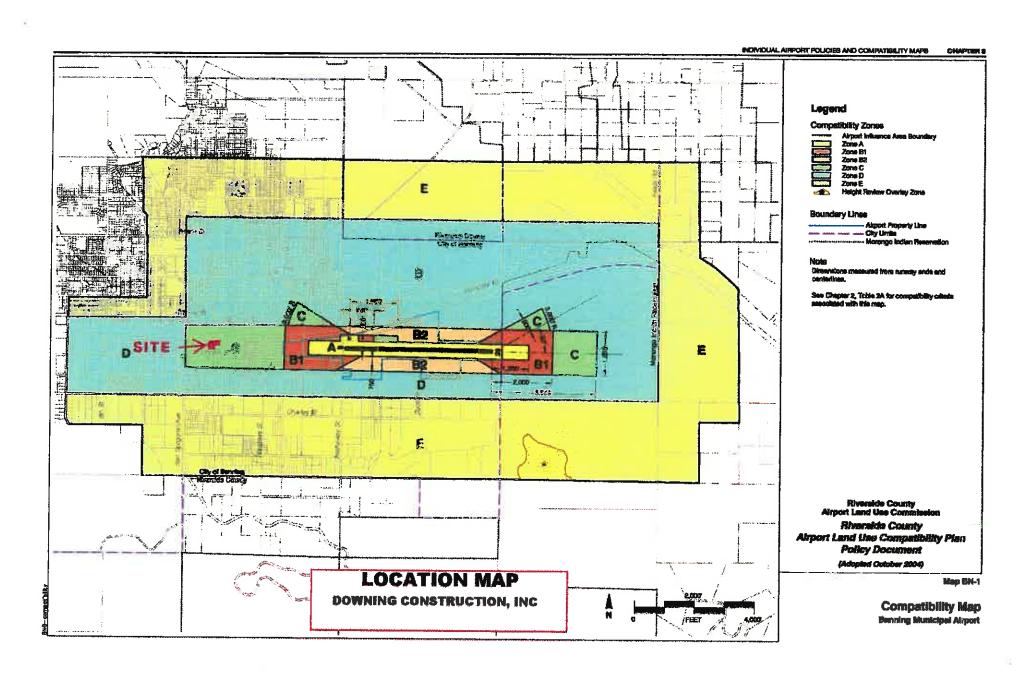
The project site consists of a 1.83 acre "L" shaped parcel located east of the Galleher Way cul-de-sac and south of John Street. The proposed project is intended to relocate from Redlands, CA the existing office and yard of a General Engineering Contractor that does Public Works projects for water, sewer and storm drains. The project site plan reflects an 6,750 s.f. L-shaped building to be used as a corporate office, shop and storage. Thirty-one parking spaces are provided to serve the building. The building, parking and driveway areas comprise 54.8% of the site while the other 45.2% is landscaping and gravel areas. The landscaping is 9,056 S.F. of low maintenance desert type plantings with colored rock. A 20'x20' fueling area with above ground storage is provided for gasoline and diesel. This area will be screened with metal wall and have a covered roof. A masonry trash enclosure with roof is proposed for two bins. The shop will have to two service bays for construction crew trucks and heavy equipment. The perimeter of the site will be fenced and gated with metal wrought iron type fence. A new storm drain will carry offsite storm flows from the northwest adjacent property through the site. Water Quality Infiltration trenches are proposed to treat on-site storm water. A 25'30' wash area is proposed with grease interception and water recycling. Sewer, Water and Fire Service will be installed from the existing lines in Galleher Way. The The entire site is being developed.

Site Description Attachment

The subject site consists of two parcels that roughly form an inverted 'L' shaped 1.83 acre project area of land located along the east side of the terminus of Galleher Way and south side of John St. in the City of Banning. The topography of the site is mostly planar with a gentle slope from the northwest to the southeast. The site vegetation consists of a moderate growth of weeds with a row of bamboo trees along the interior boundary of the two parcels. Minor trash and debris is scattered within the site including a small homeless encampment. Power lines are present along the north side of the property.

John Street, a dirt roadway, bounds the site on the north followed by railroad tracks and the I-10 Freeway further north. The site is bounded on the east by the SCE electrical substation. Industrial use type properties are located to the south off Lincoln St. and west across Galleher Way and also off John Street.

The Banning Municipal Airport is located 1 mile east of the project site and noise is generated by aircraft landings and takeoffs from the airport. The project is located within zone "C" on the Airport Land Use Compatibility map. The Noise Compatibility Plan shows a noise generated contour of 55dB CHEL at the project site.



COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: June 14, 2018

CASE NUMBER: ZAP1314MA18 – SCS Energy Solutions (Representative:

Charles George)

APPROVING JURISDICTION: City of Moreno Valley

JURISDICTION CASE NO: PEN18-0098 (Amended Plot Plan)

MAJOR ISSUES: No glare would occur within the final 2 mile approach to runway 14. However, there is low potential ("green") level glare within the final 2 mile approach to runway 32. FAA Interim Policy for FAA review of Solar Energy System Projects only applies to final approach within 2 miles from the end of the runway. Air Force/March Air Reserve Base officials have reviewed this proposal and found it acceptable.

RECOMMENDATION: Staff recommends that the proposed Amended Plot Plan be found <u>CONSISTENT</u>, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to construct 7 rows of carport covers totaling 43,869 square feet and establish a rooftop 694.96 kW solar panel system above uncovered parking spaces located at an existing 4.1 acre commercial office center.

PROJECT LOCATION: The site is located at 22690 Cactus Avenue on the northwest corner of Cactus Avenue and Veterans Way, southerly of Goldencrest Drive, in the City of Moreno Valley, approximately 4,298 feet (0.81 mile) northeasterly of the northerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area: March Air Reserve Base

b. Land Use Policy: Zone C1

c. Noise Levels: 60-65 CNEL from aircraft

BACKGROUND:

<u>Flight Hazard Issues</u>: Structure height, electrical interference, and reflectivity/glare are among the issues that solar panels in the airport influence area must address. The project's 694.96 kW photovoltaic (PV) system would be located on carport roof covers totaling 43,869 square feet within Compatibility Zone C1.

Electrical and Communication Interference

The applicant has indicated that they do not plan to utilize equipment that would interfere with aircraft communications. The PV panels themselves present little risk of interfering with radar transmission due to their low profiles. In addition, solar panels do not emit electromagnetic waves over distances that could interfere with radar signal transmissions, and any electrical facilities that do carry concentrated current will be buried beneath the ground and away from any signal transmission. There is no radar transmission or receiving facilities within the site.

Glint and Glare/Reflectivity

The applicant has prepared a glare analysis utilizing the web based Forge Solar program, and provided a report, a copy of which is attached hereto. The analysis was based on straight in and custom curved approach patterns (as identified by the Air Force) to both runways 14 and 32. The approach analysis utilized a glide slope approach of 8.0 degrees for the approach, a 10 degree tilt, and array orientation of 180 degrees.

The approach analysis concluded that no glare would occur on the final 2 mile direct approach to runway 14. However, there would be low potential for temporary after-image ("green" level) glare on the final 2 mile direct approach to runway 32 from Flight Path C (FP C). The study also evaluated various flight patterns as identified by the Air Force as a concern (outside the final 2 mile direct approach to runway), resulting in a "green" level glare on flight paths FP A, FP E, FP F, FP G.1, and FP K. These "green" level affected flight paths are located within the closed circuit traffic pattern envelope and outside the final 2 mile approach to the runways 14 and 32. (It is important to clarify that the study reference to flight path "threshold" refers to the starting point of the 2 mile flight path segment, rather than the end of the runway.)

The low potential glare would occur throughout the year, except in the month of March, with a maximum duration of approximately 50 minutes. The total amount of glare would be 33,794 minutes of glare per year affecting Flight Path E (12.86% of total daylight time [262,800 minutes per year, at an average of 12 hours of daylight per day]), 14,563 minutes of glare per year affecting Flight Path F (5.54% of total daylight time), and less than 1,200 minutes of glare affecting each of the other flight paths referenced above. Flight Path C in particular would be subject to 859 minutes of glare, only one-third of 1% of total daylight time.

Based on FAA Interim Policy for FAA Review of Solar Energy System Projects on Federally

Staff Report Page 3 of 7

Obligated Airports, "low potential for temporary after-image" ("green" level) is an acceptable level of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property.

FP A

The glare that is projected to occur is located outside the 2 mile approach to runway 32 when the array orientation is at 180 degrees and would last up to 12 minutes a day during the times of year indicated below:

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

April to May – 6:50 p.m. to 7:05 p.m. (pacific daylight time), and Mid August to Mid September – 6:50 p.m. to 7:10 p.m. (pacific daylight time) low potential (green)

FP C

The glare that is projected to occur is located within the 2 mile approach to runway 32 when the array orientation is at 180 degrees and would last up to 12 minutes a day during the times of year indicated below:

Within 2 mile approach

April to May - 6:50 p.m. to 7:05 p.m. (pacific daylight time), and Mid August to Mid September - 6:50 p.m. to 7:10 p.m. (pacific daylight time) low potential (green)

FP E

The glare that is projected to occur is located outside the 2 mile approach to runway 14 when the array orientation is at 180 degrees and would last up to 50 minutes a day during the times of year indicated below:

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

Mid October to Mid February – 3:00 p.m. to 4:30 p.m. (standard time) 4:00 p.m. to 5:30 p.m. (pacific daylight time) (October) low potential (green)

FP F

The glare that is projected to occur is located outside the 2 mile approach to runway 14 when the array orientation is at 180 degrees and would last up to 40 minutes a day during the times of year indicated below:

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• May to August -7:50 a.m. to 9:00 a.m. (pacific daylight time) low potential (green)

FP G.1

The glare that is projected to occur is located outside the 2 mile approach to runway 32 when the array orientation is at 180 degrees and would last up to 10 minutes a day during the times of year indicated below:

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• Mid April and Early September – 6:45 p.m. to 7:00 p.m. (pacific daylight time) low potential (green)

FP K

The glare that is projected to occur is located outside the 2 mile approach to runway 14 when the array orientation is at 180 degrees and would last up to 5 minutes a day during the times of year indicated below:

Outside 2 mile approach (within the closed circuit traffic pattern envelope)

• Mid February and Mid October – 6:00 a.m. to 6:45 a.m. (standard time) 7:00 a.m. to 7:30 p.m. (pacific daylight time) (October) low potential (green)

Non-Residential Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1. Zone C1 limits average intensity to 100 people per acre and 250 people per single acre. The project proposes installing a 694.96 kW solar panel system on carport roof covers totaling 43,869 square feet. The project will not generate any occupancy/intensity.

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone C1 westerly of the runway at March Air Reserve Base, the March Air Reserve Base staff was notified of the project and sent a package of plans for their review. The Base accepted the solar glare study and determined that the project's glare would be a very minimal impact to the reserve base.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being within the 60-65 CNEL range from aircraft noise. The project does not generate any new occupancy that would be subject to noise impacts, and therefore special noise attenuation conditions are unnecessary.

<u>Part 77</u>: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). At a distance of approximately 4,298 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,577.9 feet AMSL. The site's elevation is approximately 1,556 feet AMSL and the proposed structure height is 16 feet, for a top point elevation of 1,572 feet AMSL. Therefore review by the FAA Obstruction Evaluation Service was not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Mead Valley Area Plan.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight. Children's schools are discouraged.

- 4. The following uses/activities are not included in the proposed project, but, if they were to be proposed through a subsequent use permit or plot plan, would require subsequent Airport Land Use Commission review:
 - Restaurants and other eating establishments; day care centers; health and exercise centers; churches, temples, or other uses primarily for religious worship; theaters.
- 5. The attached notice shall be given to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
- 6. Any proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 8. Any revisions to the solar panels will require a new solar glare analysis to ensure that the project does not create significant amounts of glare, and require ALUC review.
- In the event that any incidence of glint, glare, or flash affecting the safety of air navigation 9. occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such glint, glare, or flash. An "incidence" includes any situation that results in an accident, incident, "near-miss," or specific safety complaint regarding an in-flight experience to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. Suggested measures may include, but are not limited to, reprogramming the alignment of the panels, covering them at the time of day when incidences of glare occur, or wholly removing panels to diminish or eliminate the source of the glint, glare, or flash. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.

Staff Report Page 7 of 7

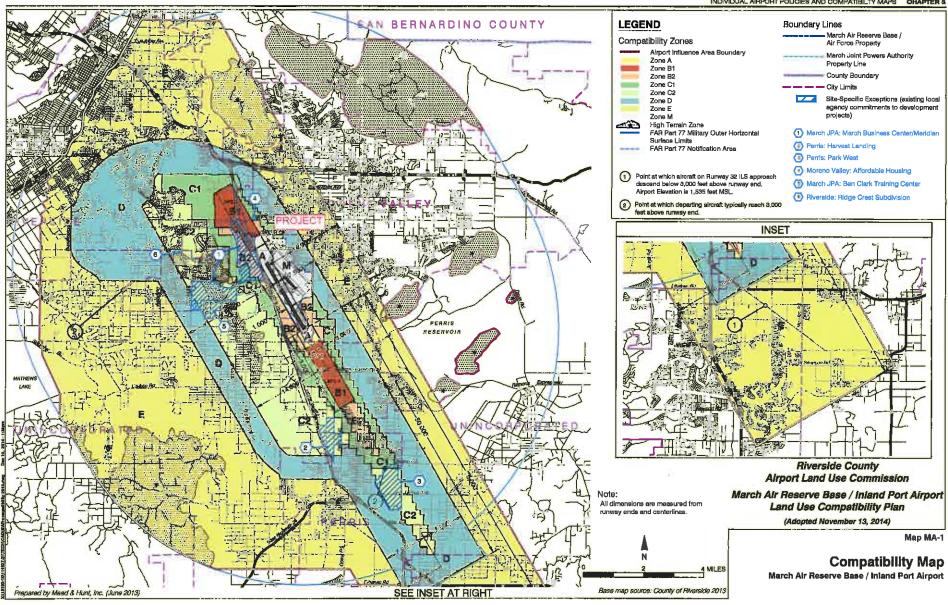
10. In the event that any incidence of electrical interference affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an incidence, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such interference. An "incidence" includes any situation that results in an accident, incident, "near-miss," report by airport personnel, or specific safety complaint to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. For each such incidence made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.

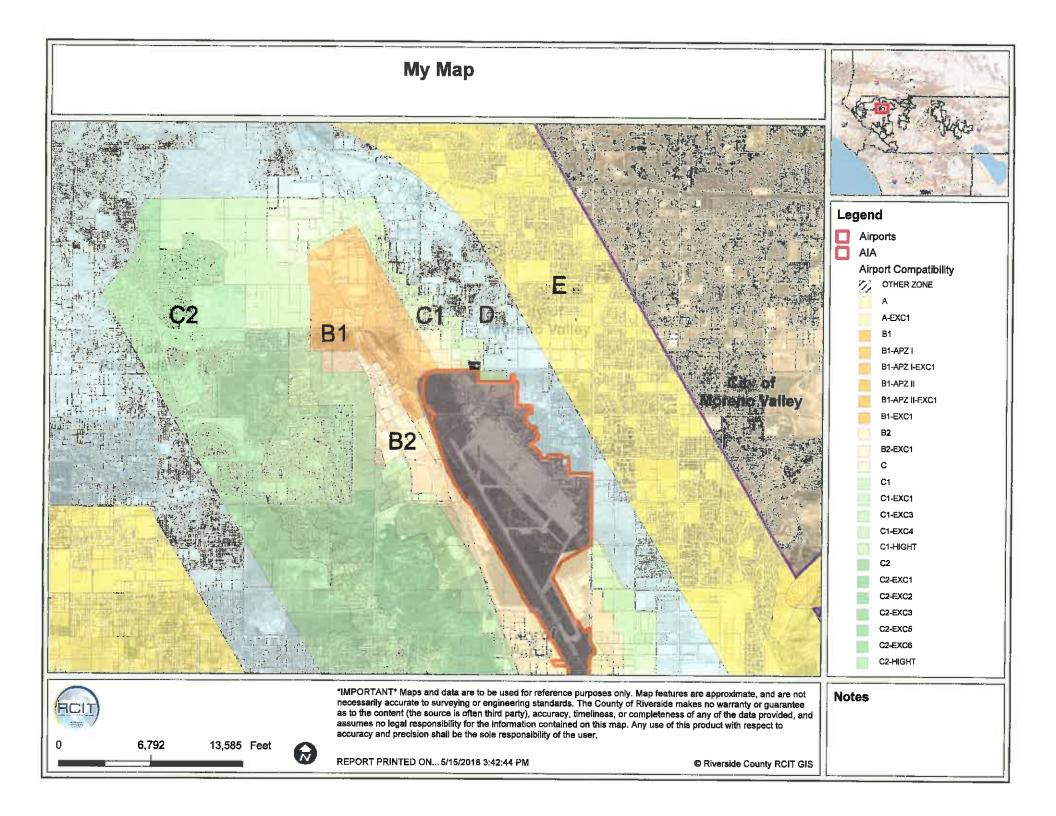
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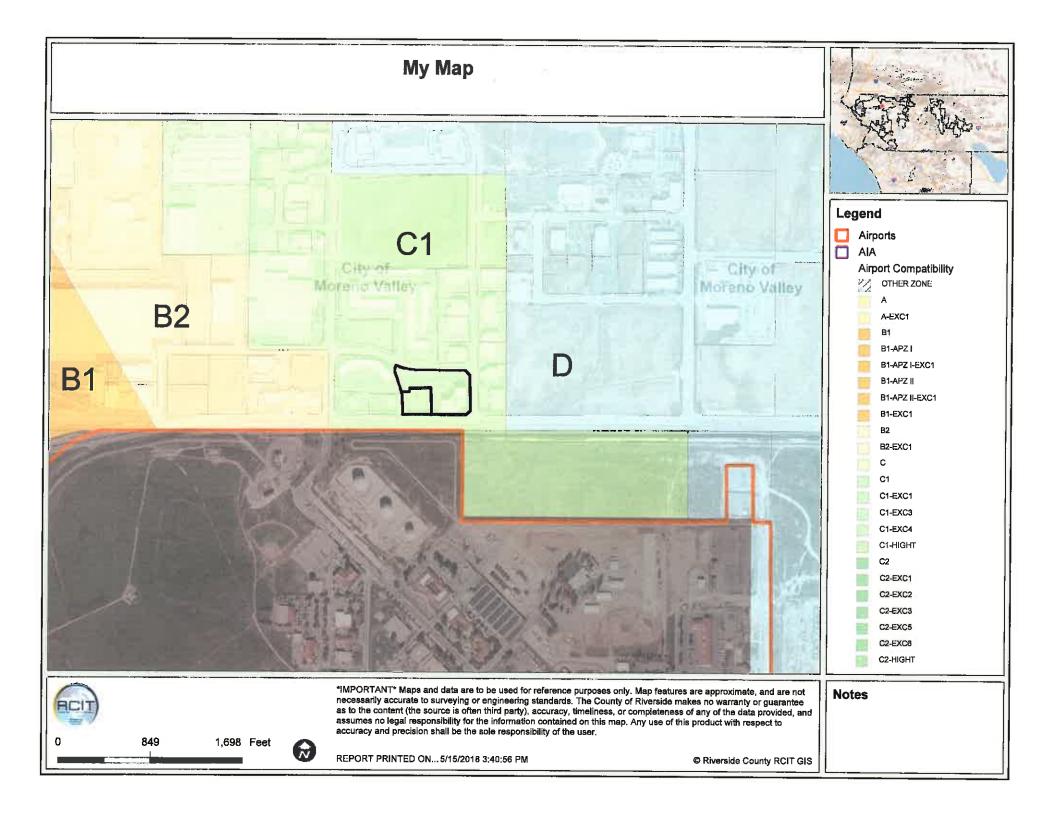
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NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)







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Legend

- City Boundaries Cities
 - highways_large
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - USHWY
 - majorroads
 - counties
 - cities



6,792

13,585 Feet



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

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My Map



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Legend

- City Boundaries
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- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY

roads

- __ Major Roads
- __ Arterial
- Collector
- ___ Residential
- counties
- i cities
 - hydrographylines waterbodies



Rivers

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3,396 6,792 Feet



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Notes

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Legend

City Boundaries Cities roadsanno highways

HWY

INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

USHWY

counties

cities

hydrographylines waterbodies

Lakes

Rivers



3,396 Feet

1,698



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Notes

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My Map





Legend

City Boundaries
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highways

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INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

___ USHWY

counties

cities

hydrographylines waterbodies

Lakes

Rivers



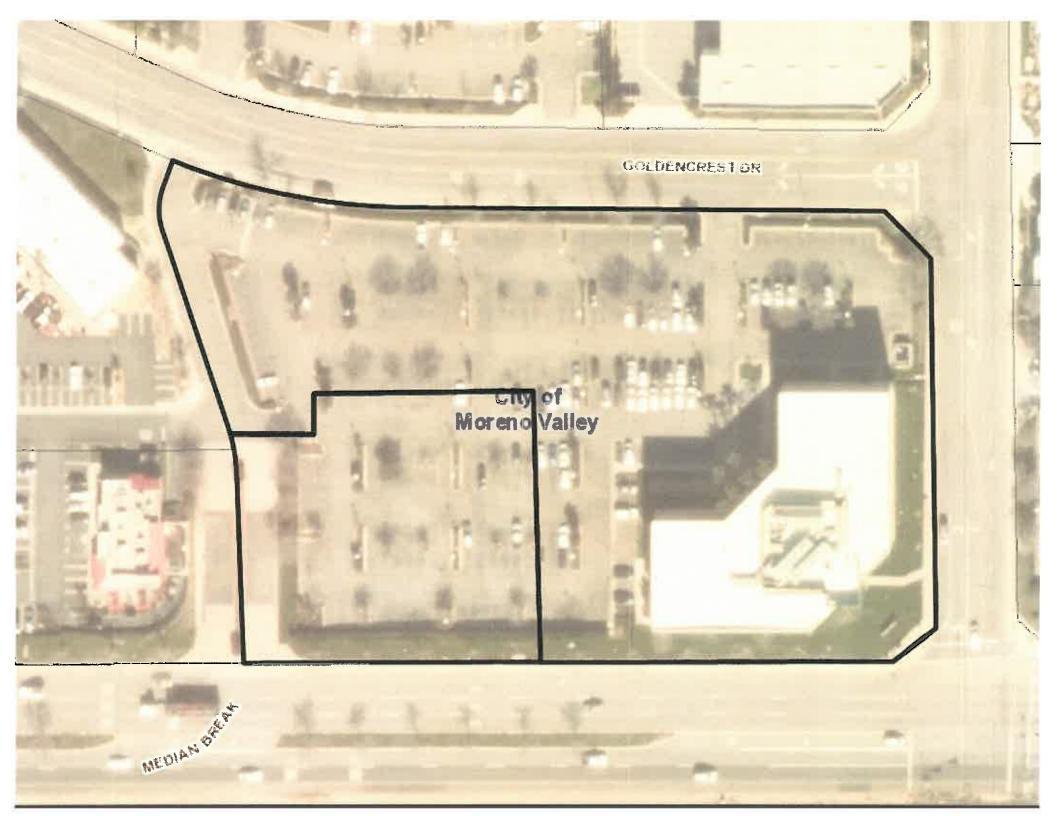
849 1,698 Feet



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Notes

C Riverside County RCIT GIS



Ruli, Paul

From:

MORIMOTO, JAMES P GS-13 USAF AFRC 452 OSS/OSA

Sent:

Monday, May 21, 2018 3:28 PM Rockholt, Daniel; Rull, Paul

To: Cc:

MORIMOTO, JAMES P GS-13 USAF AFRC 452 OSS/OSA;

cgeorge@scsenergysolutions.com

Subject:

RE: Cactus Solar Glare Study

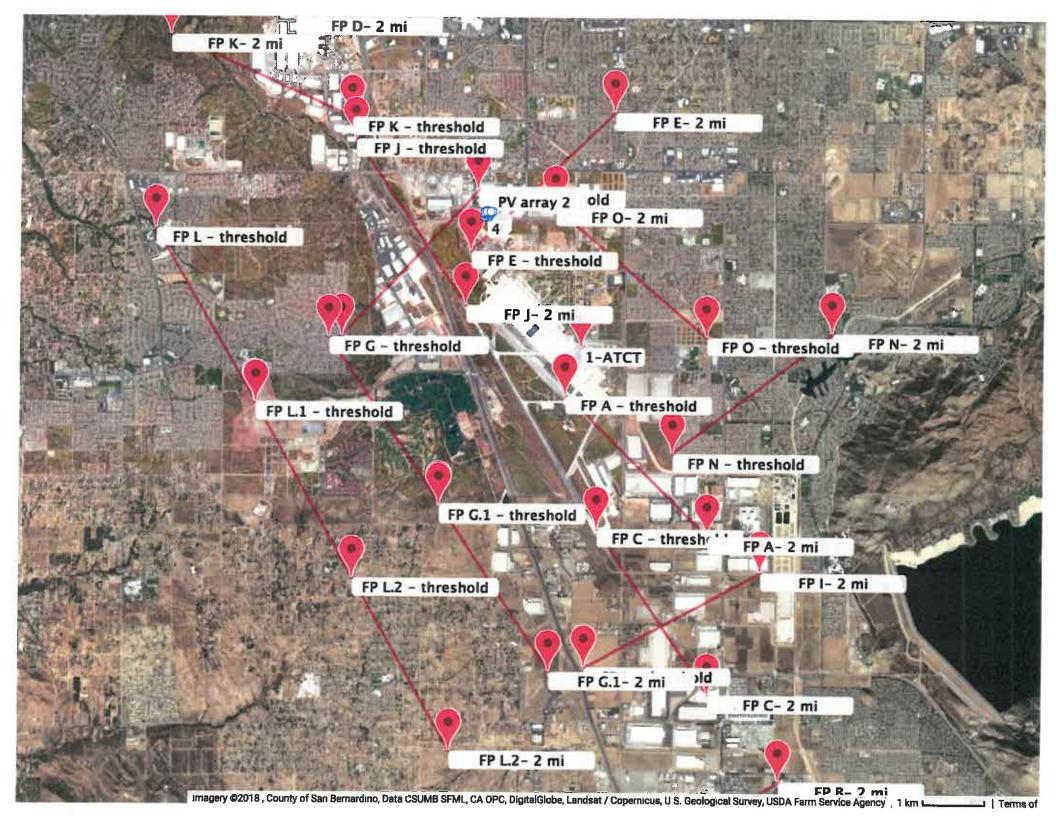
Mr. Rockholt and Mr. Rull,

I reviewed the submitted solar glare analysis and accept the report. The report predicts the expected glare for all segments of flight and there appears to be very little issue with the proposed installation site.

V/R,

JAMES P.M.P. MORIMOTO, GS-13, DAF Airfield Operations Manager

452d Operations Support Squadron (452 OSS/OSA) 2685 Graeber St Bldg 395 March ARB, CA 92518-2307





FORGESOLAR GLARE ANALYSIS

Project: Cactus

Site configuration: Cactus FP v3

Analysis conducted at 21:49 on 18 May, 2018.

U.S. FAA 2013 Policy Adherence

The following table summarizes the policy adherence of the glare analysis based on the 2013 U.S. Federal Aviation Administration Interim Policy 78 FR 63276. This policy requires the following criteria be met for solar energy systems on airport property:

- No "yellow" glare (potential for after-image) for any flight path from threshold to 2 miles
- No glare of any kind for Air Traffic Control Tower(s) ("ATCT") at cab height.
- Default analysis and observer characteristics (see list below)

ForgeSolar does not represent or speak officially for the FAA and cannot approve or deny projects. Results are informational only.

COMPONENT	STATUS	DESCRIPTION
Analysis parameters	PASS	Analysis time interval and eye characteristics used are acceptable
Flight path(s)	PASS	Flight path receptor(s) do not receive yellow glare
ATCT(s)	PASS	Receptor(s) marked as ATCT do not receive glare

Default glare analysis and observer eye characteristics are as follows:

Analysis time interval: 1 minute
 Ocular transmission coefficient: 0.5

Pupil diameter: 0.002 meters
Eye focal length: 0.017 meters

Sun subtended angle: 9.3 milliradians

FAA Policy 78 FR 63276 can be read at https://www.federalregister.gov/d/2013-24729

SITE CONFIGURATION

Analysis Parameters

DNI: peaks at 1,000.0 W/m^2

Time interval: 1 min Ocular transmission coefficient: 0.5

Pupil diameter: 0.002 m Eye focal length: 0.017 m Sun subtended angle: 9.3

mrad

Site Config ID: 18257,2809

PV Array(s)

Name: PV array 1

Axis tracking: Fixed (no rotation)

Tilt: 10.0°

Orlentation: 180.0° Rated power: 98.0 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.910592	-117.268042	1556.38	13.80	1570,19
2	33.910596	-117.267551	1554.48	13.80	1568.28
3	33.910495	-117 .26754 9	1554.97	13.80	1568.77
4	33.910494	-117.268044	1555.81	13.80	1569.61

Name: PV array 2

Axis tracking: Fixed (no rotation)

Tlit: 10.0°

Orientation: 180.0° Rated power: 65.3 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.910390	-117.268149	1555.96	13.80	1569.76
2	33.910388	-117.267446	1557.75	13.80	1571.55
3	33.910427	-117.267448	1557.30	13.80	1571.10
4	33.910428	-117.268150	1555.95	13.80	1569.75

Name: PV array 3

Axis tracking: Fixed (no rotation)

Tilt: 10.0°

Orientation: 180.0° Rated power: 98.0 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.910752	-117.268044	1556.64	13.80	1570.44
2	33.910756	-117.267542	1553.65	13.80	1567.45
3	33.910659	-117.267547	1553.77	13.80	1567.57
4	33.910660	-117.268045	1556.99	13.80	1570.79

Name: PV array 4

Axis tracking: Fixed (no rotation)

Tilt: 10.0°

Orientation: 180.0° Rated power: 146.2 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.910919	-117.268153	1556.64	13.80	1570.44
2	33.910923	-117.267232	1555.97	13.80	1569.77
3	33.910822	-117.267233	1554.20	13.80	1568.00
4	33.910822	-117.268150	1556.68	13.80	1570.48

Name: PV array 5

Axis tracking: Fixed (no rotation)

Tit: 10.0°

Orlentation: 180.0° Rated power: 183.6 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Siope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.911084	-117.268214	1555.15	13.80	1568.95
2	33.911088	-117.267239	1554.48	13.80	1568.28
3	33.910988	-117.267242	1556.24	13.80	1570.04
4	33.910985	-117.268209	1555.54	13.80	1569.34

Name: PV array 6

Axis tracking: Fixed (no rotation)

Tilt: 10.0° Orientation: 180.0° Rated power: 75.4 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (")	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.911193	-117.267892	1551.70	13.80	1565.50
2	33.911189	-117.267267	1553.26	13.80	1567.06
3	33.911143	-117.267269	1553.62	13.80	1567.42
4	33.911148	-117.267893	1552.93	13.80	1566.73

Name: PV array 7

Axis tracking: Fixed (no rotation)

Tilt: 10.0°

Orientation: 180.0° Rated power: 28.5 kW

Panel material: Smooth glass without AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.911186	-117.267097	1552.39	13.80	1566.19
2	33.911183	-117.266793	1552.99	13.80	1566.79
3	33.911145	-117.266793	1553.17	13.80	1566.97
4	33.911147	-117.267096	1552.76	13.80	1566.56

Flight Path Receptor(s)

Name: FP A
Description:

Threshold height: 0 ft

Direction: ° Glide slope: 7.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.884630	-117.253886	1508.85	0.00	1508.85
Two-mile	33.864491	-1 17.22886 7	1470.89	1334.63	2805.52

Name: FP B Description:

Threshold height: 1450 ft

Direction: ° Glide slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.812971	-117.245181	1547.46	1450.07	2997.53
Two-mile	33.828870	-117.216082	1443.70	1553.83	2997.53

Name: FP C Description:

Threshold height: 0 ft

Direction: ° Glide slope: 8.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.865450	-117.248271	1486.16	0.00	1486.16
Two-mile	33.841480	-117.228777	1457.94	1512.41	2970.35

Name: FP D Description:

Threshold height: 2150 ft

Direction: ° Glide slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.964662	-117.318217	1368.19	2150.10	3518.30
Two-mile	33.939202	-117.301676	1550.85	1967.45	3518.30

Name: FP E Description:

Threshold height: 1300 ft

Direction: ° Glide slope: 0.0°

Pliot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.905545	-117.270664	1547.65	1300.06	2847.72
Two-mile	33.925615	-117.245559	1597.91	1249.81	2847.72

Name: FP F Description:

Threshold height: 1450 ft

Direction: ° Glide slope: 0.0°



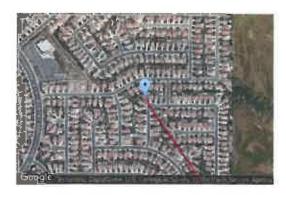
Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.914353	-117.269325	1560.49	1450.07	3010.56
Two-mile	33.893197	-117.293100	1666.28	1344.28	3010.56

Name: FP G Description:

Threshold height: 1300 ft

Direction: ° Gilde slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.892981	-117.295378	1700.19	1300.06	3000.25
Two-mile	33.869023	-117.275858	1595.09	1405.16	3000.25

Name: FP G.1 Description:

Threshold height: 1400 ft

Direction: ° Gilde slope: 0.0°

Pliot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.868863	-117.275867	1595.13	1400.07	2995.19
Two-mile	33.844776	-117.256585	1518.81	1476.39	2995.19

Name: FP I Description:

Threshold height: 1500 ft

Direction: ° Glide slope: 0.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.845377	-117.250270	1494.37	1500.07	2994.44
Two-mile	33.859208	-117.219665	1454.59	1539.85	2994.44

Name: FP J Description:

Threshold height: 0 ft

Direction: ° Gilde slope: 8.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



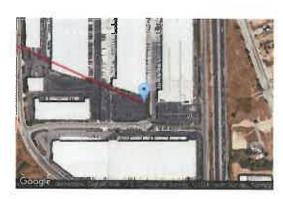
Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.921699	-117.290883	1520.47	0.00	1520.47
Two-mile	33.897687	-117.271452	1534.09	1470.56	3004.66

Name: FP K
Description:

Threshold height: 1500 ft

Direction: ° Glide slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.924794	-117.291509	1525.46	1500.07	3025.53
Two-mile	33.936613	-117.323345	1464.30	1561.23	3025.53

Name: FP L Description:

Threshold height: 1450 ft

Direction: ° Glide slope: 0.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.908640	-117.325727	1587.23	1450.07	3037.30
Two-mile	33.883631	-117.308224	1754.89	1282.41	3037.30

Name: FP L.1 Description:

Threshold height: 1250 ft

Direction: °
Gilde slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.883442	-117.308037	1752.18	1250.06	3002.24
Two-mile	33.858194	-117.291047	1689.54	1312.70	3002.24

Name: FP L.2 Description:

Threshold height: 1300 ft

Direction: ° Glide slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.858291	-117.291042	1690.91	1300.06	2990.98
Two-mile	33.833119	-117.273894	1672.25	1318.73	2990.98

Name: FP N Description:

Threshold height: 1400 ft

Direction: ° Glide slope: 0.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.876347	-117.235070	1481.66	1400.07	2881.73
Two-mile	33.893856	-117.207325	1505.33	1376.39	2881.73

Name: FP O Description:

Threshold height: 1400 ft

Direction: ° Glide slope: 0.0°

Pilot view restricted? Yes Vertical view: 30.0° Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.893106	-117. 229251	1514.35	1400.07	2914.41
elim-owT	33.911779	-117.255875	1555.26	1359.15	2914.41

Discrete Observation Receptors

Name	ID	Latitude (°)	Longitude (°)	Elevation (ft)	Height (ft)
1-ATCT	1	33.891667	-117,251111	1508.80	118.01

Map image of 1-ATCT



GLARE ANALYSIS RESULTS

Summary of Glare

Tilt	Orient	"Green" Glare	"Yellow" Glare	Energy
(°)	(°)	min	min	kWh
10.0	180.0	7,531	0	218,900.0
10.0	180.0	6,756	0	145,800.0
10.0	180.0	7,840	0	218,900.0
10.0	180.0	7,923	0	326,600.0
10.0	180.0	7,186	0	410,300.0
10.0	180.0	6,266	0	168,500.0
10.0	180.0	7,043	0	63,650.0
	(°) 10.0 10.0 10.0 10.0 10.0	(°) (°) 10.0 180.0 10.0 180.0 10.0 180.0 10.0 180.0 10.0 180.0	(°) (°) min 10.0 180.0 7,531 10.0 180.0 6,756 10.0 180.0 7,840 10.0 180.0 7,923 10.0 180.0 7,186 10.0 180.0 6,266	(°) (°) min min 10.0 180.0 7,531 0 10.0 180.0 6,756 0 10.0 180.0 7,840 0 10.0 180.0 7,923 0 10.0 180.0 7,186 0 10.0 180.0 6,266 0

Total annual glare received by each receptor

Receptor	Annual Green Glare (min)	Annual Yellow Glare (min)
FP A	1121	0
FPB	0	0
FP C	859	0
FP D	0	0
FP E	33794	0
FP F	14563	0
FP G	0	o
FP G.1	75	0
FP I	0	0
FP J	0	o
FP K	133	0
FP L	0	0
FP L.1	0	0
FP L.2	0	0
FP N	0	0
FP O	0	0
1-ATCT	0	0

Results for: PV array 1

FP A 0 0

FP B 0 0 FP C 0 0	
FPC 0 0	
-	
FP D 0 0	
FP E 4969 0	
FP F 2550 0	
FP G 0 0	
FP G.1 0	
FP I 0 0	
FP J 0 0	
FP K 12 0	
FP L 0 0	
FP L.1 0 0	
FP L.2 0 0	
FP N 0 0	
FP O 0 0	
1-ATCT 0 0	

Flight Path: FP A

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP B

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP C

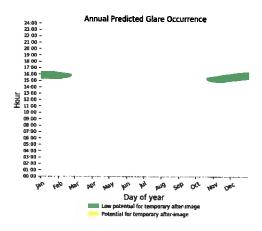
0 minutes of yellow glare 0 minutes of green glare

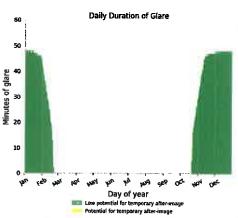
Flight Path: FP D

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

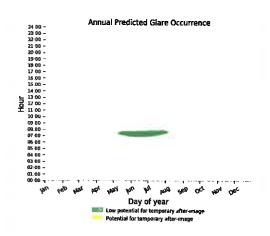
0 minutes of yellow glare 4969 minutes of green glare

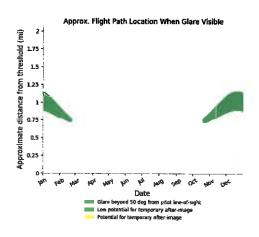


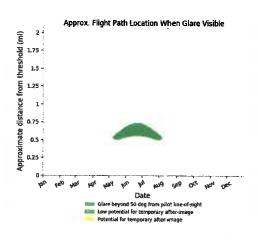


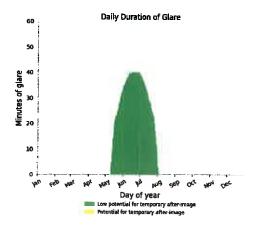
Flight Path: FP F

0 minutes of yellow glare 2550 minutes of green glare









Flight Path: FP G

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP I

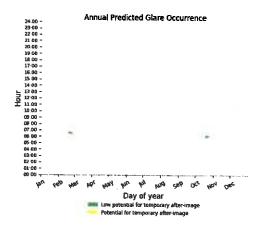
0 minutes of yellow glare 0 minutes of green glare

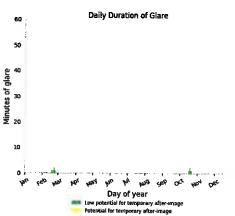
Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP K

0 minutes of yellow glare 12 minutes of green glare





Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

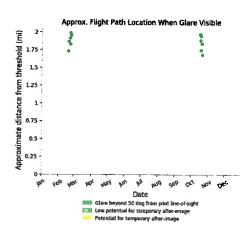
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare



Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare 0 minutes of green glare

Results for: PV array 2

Receptor	Green Glare (min)	Yellow Glare (min)
FP A	0	0
FP B	0	0
FP C	0	0
FP D	0	0
FP E	4216	0
FP F	2540	0
FP G	O	0
FP G.1	0	0
FP I	0	0
FP J	0	0
FP K	0	0
FP L	0	0
FP L.1	0	0
FP L.2	0	0
FP N	0	0
FP O	o	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP B

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP C

0 minutes of yellow glare

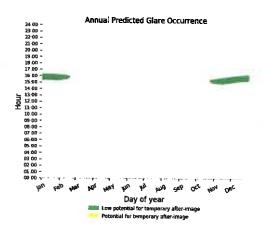
0 minutes of green glare

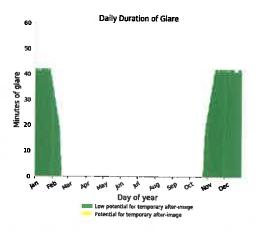
Flight Path: FP D

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

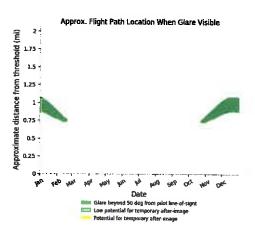
0 minutes of yellow glare 4216 minutes of green glare

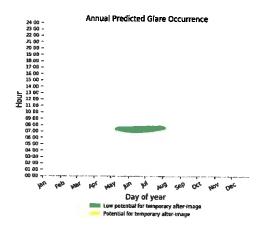


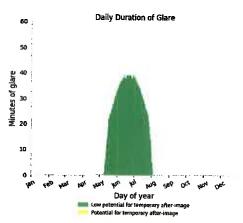


Flight Path: FP F

0 minutes of yellow glare 2540 minutes of green glare







Flight Path: FP G

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

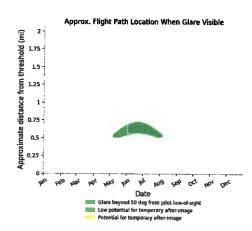
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP I

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare



Flight Path: FP K

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare 0 minutes of green glare

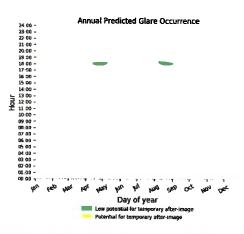
Results for: PV array 3

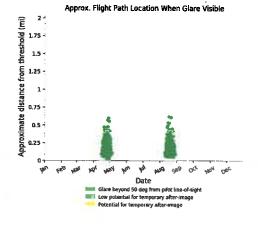
Receptor	Green Glare (min)	Yellow Glare (min)
FP A	342	0
FP B	0	0
FP C	320	0
FP D	0	0
FP E	4990	0
FP F	2117	0
FP G	0	0

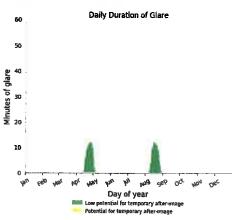
Receptor	Green Glare (min)	Yellow Glare (min)
FP G.1	0	0
FP I	0	0
FP J	0	0
FP K	71	0
FP L	0	0
FP L.1	0	0
FP L.2	0	0
FP N	o	0
FP O	0	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 342 minutes of green glare





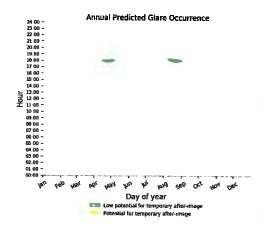


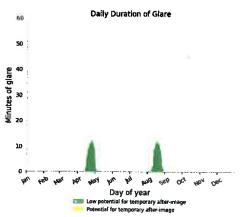
Flight Path: FP B

0 minutes of yellow glare

Flight Path: FP C

0 minutes of yellow glare 320 minutes of green glare



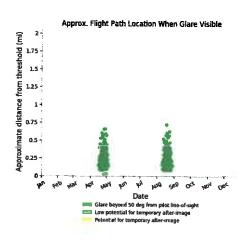


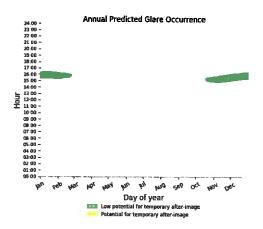


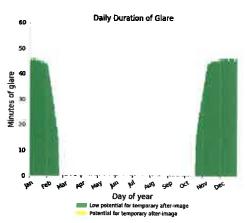
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

0 minutes of yellow glare 4990 minutes of green glare

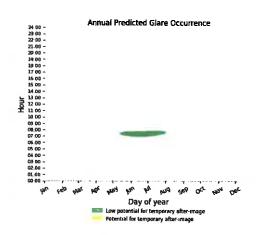


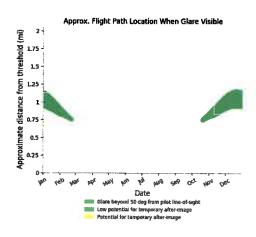


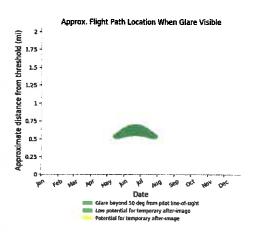


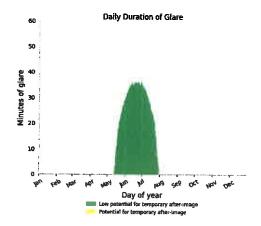
Flight Path: FP F

0 minutes of yellow glare 2117 minutes of green glare









Flight Path: FP G

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP I

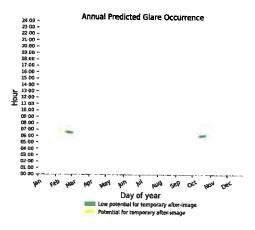
0 minutes of yellow glare 0 minutes of green glare

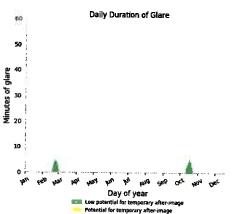
Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP K

0 minutes of yellow glare 71 minutes of green glare





Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

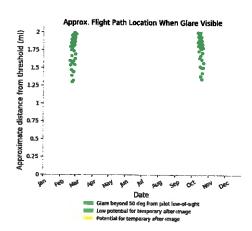
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare



Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

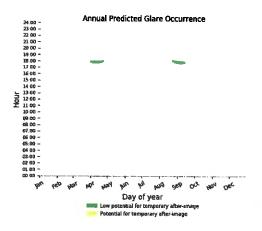
0 minutes of yellow glare 0 minutes of green glare

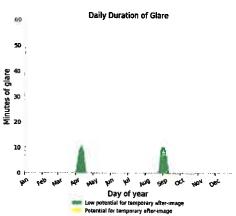
Results for: PV array 4

Receptor	Green Glare (min)	Yellow Glare (min)
FP A	261	0
FP B	o	0
FP C	201	0
FP D	0	0
FP E	5364	0
FP F	2047	0
FP G	o	0
FP G.1	0	0
FPI	0	0
FP J	o	0
FP K	50	0
FP L	0	0
FP L.1	0	0
FP L.2	0	0
FP N	0	0
FP O	0	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 261 minutes of green glare



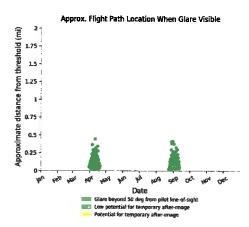


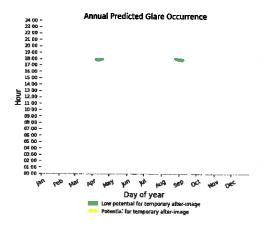
Flight Path: FP B

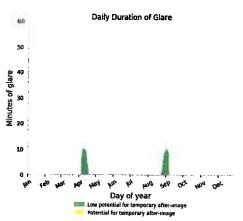
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP C

0 minutes of yellow glare 201 minutes of green glare





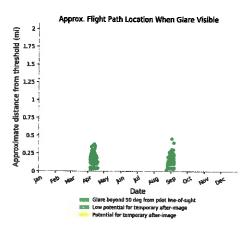


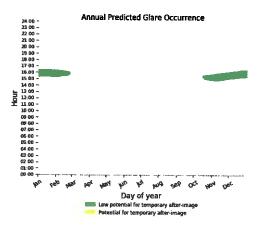
Flight Path: FP D

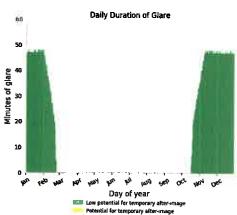
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

0 minutes of yellow glare 5364 minutes of green glare

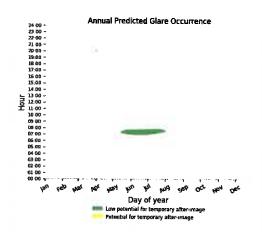


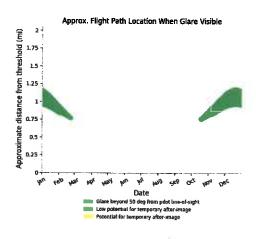


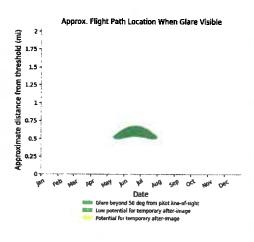


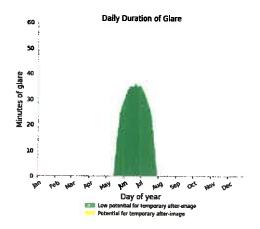
Flight Path: FP F

0 minutes of yellow glare 2047 minutes of green glare









Flight Path: FP G

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FPI

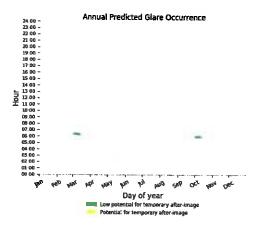
0 minutes of yellow glare 0 minutes of green glare

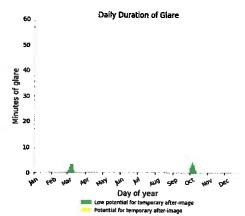
Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP K

0 minutes of yellow glare 50 minutes of green glare





Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

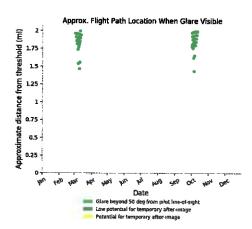
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare



Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare 0 minutes of green glare

Results for: PV array 5

Receptor	Green Glare (min)	Yellow Glare (min)
FP A	0	o
FP B	o	0
FP C	О	0
FP D	o	0
FP E	5535	0
FP F	1651	0
FP G	o	0
FP G.1	o	0
FP!	0	0
FP J	0	0
FP K	0	0
FP L	o	0
FP L.1	o	0
FP L.2	o	0
FP N	0	0
FP O	0	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP B

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP C

0 minutes of yellow glare

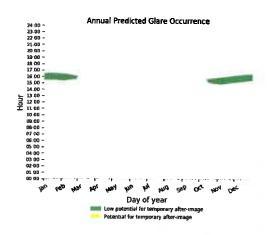
0 minutes of green glare

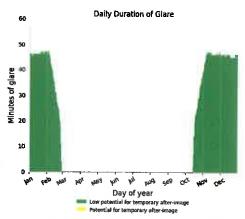
Flight Path: FP D

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

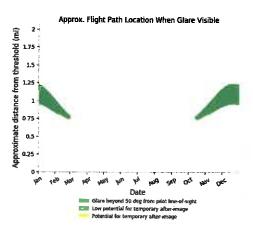
0 minutes of yellow glare 5535 minutes of green glare

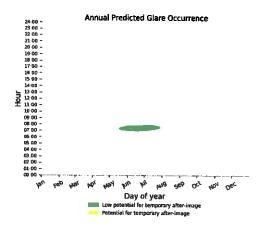


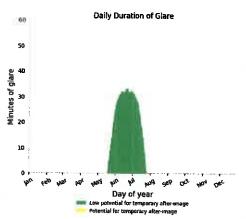




0 minutes of yellow glare 1651 minutes of green glare







Flight Path: FP G

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

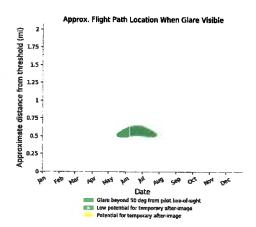
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP I

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare



Flight Path: FP K

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare 0 minutes of green glare

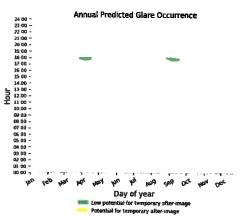
Results for: PV array 6

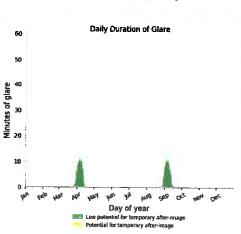
Receptor	Green Glare (min)	Yellow Glare (min)
FP A	242	0
FP B	0	0
FP C	85	0
FP D	0	0
FP E	4619	0
FP F	1245	0
FP G	0	0

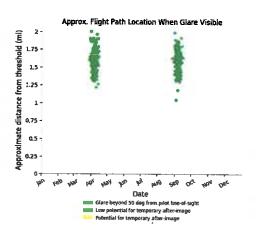
Receptor	Green Glare (min)	Yellow Glare (min)
FP G.1	75	0
FPI	0	0
FP J	0	0
FP K	0	0
FP L	0	0
FP L.1	0	0
FP L.2	0	0
FPN	0	0
FP O	0	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 242 minutes of green glare





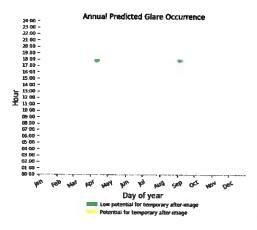


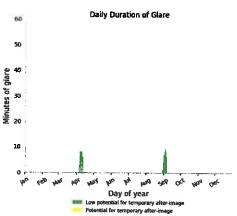
Flight Path: FP B

0 minutes of yellow glare

Flight Path: FP C

0 minutes of yellow glare 85 minutes of green glare



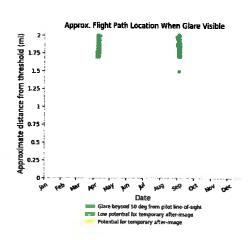


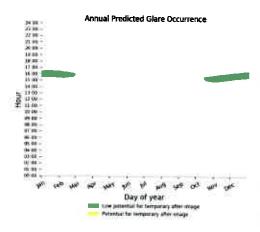
Flight Path: FP D

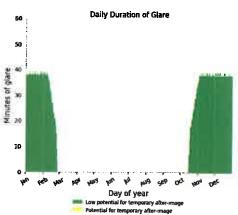
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

0 minutes of yellow glare 4619 minutes of green glare

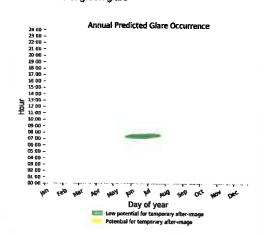


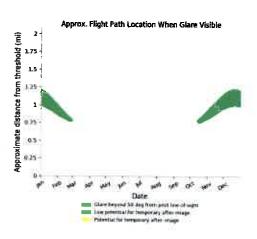


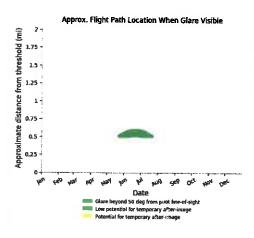


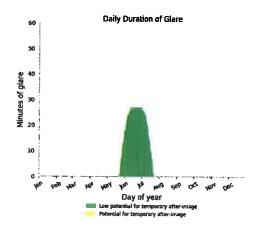
Flight Path: FP F

0 minutes of yellow glare 1245 minutes of green glare







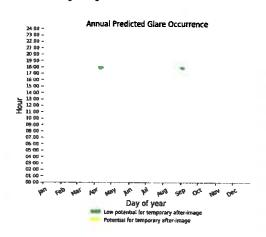


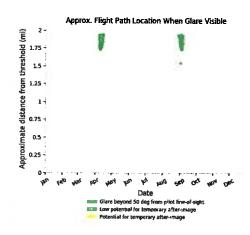
Flight Path: FP G

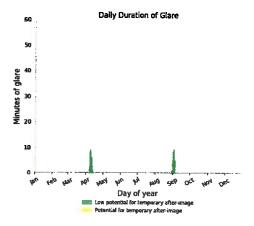
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP G.1

0 minutes of yellow glare 75 minutes of green glare







Flight Path: FP I

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP K

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

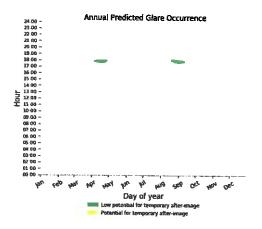
0 minutes of yellow glare 0 minutes of green glare

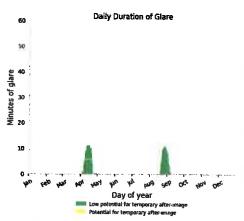
Results for: PV array 7

Receptor	Green Glare (min)	Yellow Glare (min)
FP A	276	0
FP B	0	0
FP C	253	0
FP D	o	0
FP E	4101	0
FP F	2413	0
FP G	0	0
FP G.1	0	0
FP I	0	0
FP J	0	0
FP K	0	0
FP L	o	0
FP L.1	0	0
FP L.2	0	0
FP N	0	0
FP O	0	0
1-ATCT	0	0

Flight Path: FP A

0 minutes of yellow glare 276 minutes of green glare



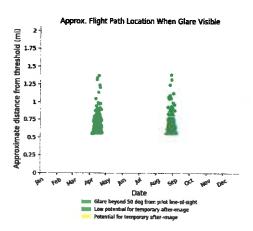


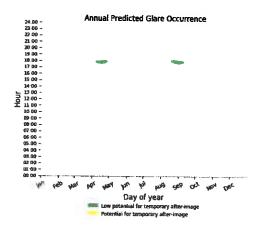
Flight Path: FP B

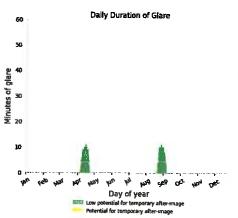
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP C

0 minutes of yellow glare 253 minutes of green glare





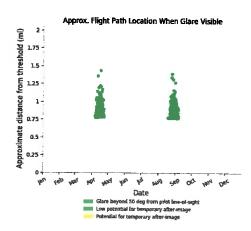


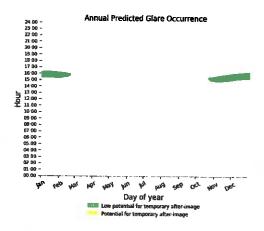
Flight Path: FP D

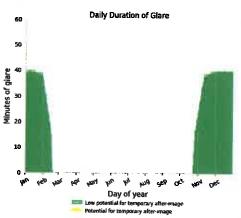
0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP E

0 minutes of yellow glare 4101 minutes of green glare

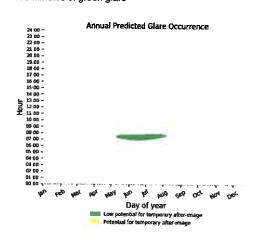


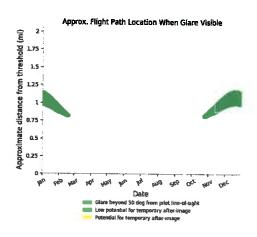


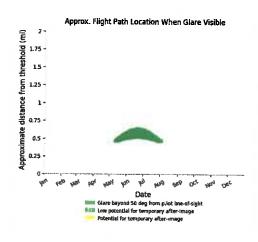


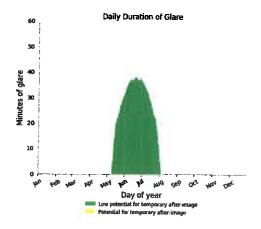
Flight Path: FP F

0 minutes of yellow glare 2413 minutes of green glare









Flight Path: FP G

0 minutes of yeilow glare 0 minutes of green glare

Flight Path: FP G.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP I

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP J

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP K

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.1

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP L.2

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP N

0 minutes of yellow glare 0 minutes of green glare

Flight Path: FP O

0 minutes of yellow glare 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare 0 minutes of green glare

Assumptions

"Green" glare is glare with low potential to cause an after-image (flash blindness) when observed prior to a typical blink response time.

"Yellow" glare is glare with potential to cause an after-image (flash blindness) when observed prior to a typical blink response time.

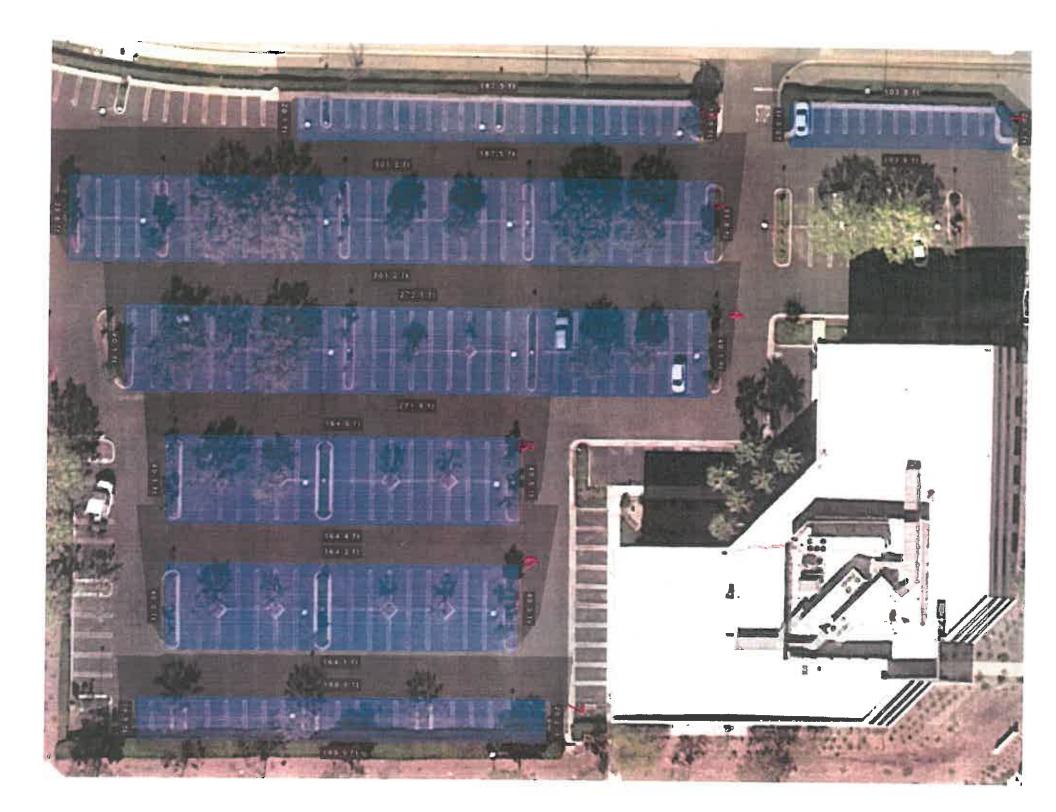
Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.

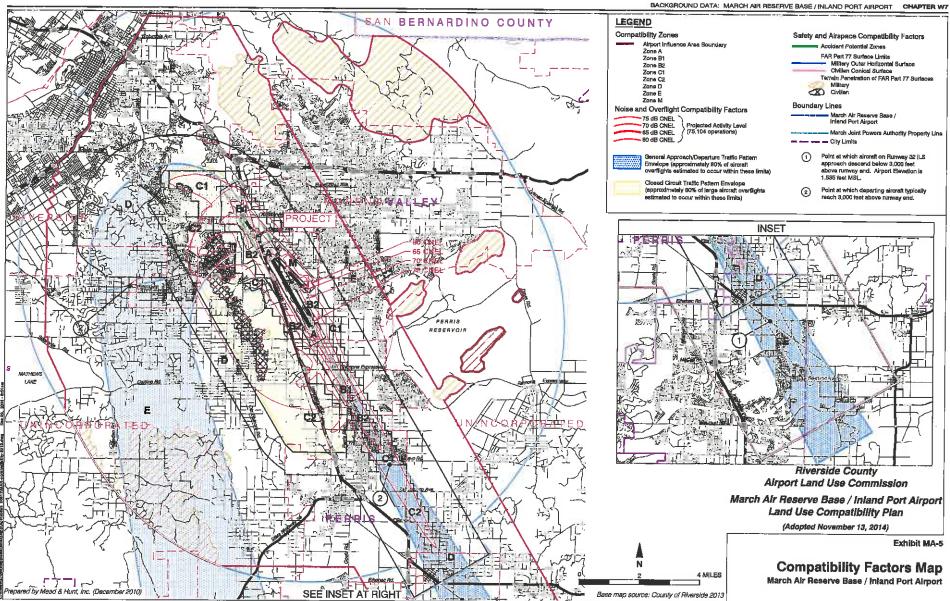
Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.

The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actual values may differ.

Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid based on aggregated research data. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.

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NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Moreno Valley may hold hearings on this item and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1314MA18 — SCS Energy Solutions (Representative: Charles George) — City of Moreno Valley Case No. PEN18-0098 (Amended Plot Plan). A proposal to construct 7 rows of carport covers totaling 43,869 square feet and establish a rooftop 694.96 kW solar panel system above existing uncovered parking spaces within a 4.1-acre property (Assessor's Parcel Numbers 297-150-013 and 297-150-014) with an address of 22690 Cactus Avenue, located on the northwest corner of Cactus Avenue and Veterans Way, southerly of Goldencrest Drive. (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Grace Espino-Salcedo of the City of Moreno Valley Planning Department at (951) 413-3451.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLIC	CATION FOR MAJOR LAND USE	ACTION REVIEW
ALUC CASE NUMBI	ER: ZAP 1314MA18 DATE SUBMI	TTED: 5/2//8
APPLICANT / REPRESI	ENTATIVE / PROPERTY OWNER CONTACT INFORMATION	
Applicant Mailing Address	SCS ENERGY SOLUTIONS 12 GOODYEAR SUITE 110 IRVINE, CA. 92618	Phone Number 310 -4-86 - 771) Email
Representative Mailing Address	CHARLES GEORGE 12 GOODYEAR SUITE 110 IRVINE CA 9248	Phone Number 310-4-86-7711 Email CGEORGE & SCSENERGY SOLUTIONS, COM
Property Owner Mailing Address	22690 CACTUS LIC SO PMA GOIL BRISTOL MARKWAY CHUELLITY CA 10230 MCI	Phone Number 323-289-2031
LOCAL JURISDICTION	AGENCY	
Local Agency Name Staff Contact Mailing Address	GRACE ESPINO-SALCEDO.	Phone Number 451 - 413 - 3451 Email Case Type
Local Agency Project No	16418-20018	General Plan / Specific Plan Amendment Zoning Ordinance Amendment Subdivision Parcel Map / Tentative Tract Use Permit Site Plan Review/Plot Plan Other
PROJECT LOCATION Attach an accurately scaled in	nap showing the relationship of the project site to the airport boundary and runway	*
Street Address	MOREND VALLEY, CA.	
Assessor's Parcel No	013 \$ 014	Gross Parcel Size Nearest Airport Airport Nearest Airport MARCH AIR Force 2000 ft.
PROJECT DESCRIPTIO If applicable, attach a detailed include additional project des	d site plan showing ground elevations, the location of structures, open spaces and cription data as needed	
Existing Land Use (describe)	PARKING B LOT / OFFICE	BUILDING
l		•

5

March

Riverside County Airport Land Use Commission, County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, CA 92501, Phone: 951-955-5132 Fax: 951-955-5177 Website: www.rcaluc.org

Proposed Land Use		10H SOLAR PA			
(describe)	IN THE PARKING LOT.				
For Residential Uses	Number of Parcels or Units on	Site (exclude secondary units)			
For Other Land Uses	Hours of Operation	<u></u>			
(See Appendix C)	Number of People on Site	Maximum Number			
	Method of Calculation				
Height Data	Site Elevation (above mean se	on Imagl)	13:7:	7/10" ft.	
Height Data	Height of buildings or structure			71.6 - 11. ft.	
	Troight of Dallalings of Statistics			14.	
Flight Hazards		haracteristics which could create el or other electrical or visual hazard:	e to aircraft flight?	Yes	
		Of Other Bieculogi Of Visual Hazard	s to atticiant night?	No	
	If yes, describe		·		
·					
NOTICE	. Colluga of an applica	والمراجع والمساور والمراز والمراجع والمراجع	Sadan saka bakana akta	n number to Con	
tions 659		int to submit complete or of the California Govern ns, or permits.			
submitta	l. Estimated time for "o	e for "staff level review" commission level review" commission hearing meeting	is approximately 45		

C. SUBMISSION PACKAGE:

- 1..... Completed ALUC Application Form
- 1.... ALUC fee payment
- 1..... Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
- 1..... Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
- 1..... CD with digital files of the plans (pdf)
- 1..... Vicinity Map (8.5x11)
- 1.... Detailed project description
- 1..... Local jurisdiction project transmittal
- 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
- 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.3

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1313MA18 - MTC1/Mike Naggar and Associates

(Representative: Carissa Hainsworth)

APPROVING JURISDICTION:

City of Menifee

JURISDICTION CASE NO:

2018-0094 (Change of Zone)

MAJOR ISSUES: None.

RECOMMENDATION: Staff recommends that the Commission find the proposed Zone Change <u>CONSISTENT</u> with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

PROJECT DESCRIPTION: The applicant is proposing to change the zoning of a one-acre parcel located in the City of Menifee (Assessor's Parcel No. 331-140-010) from R-R (Rural Residential) to Manufacturing – Heavy (M-H). The parcel is part of a larger area being assembled for development of a warehousing/industrial project. (The larger surrounding area is part of the Menifee North Specific Plan and is subject to Specific Plan zoning that is based upon the M-H zone.)

PROJECT LOCATION: The zone change site is located on the east side of Sherman Road, southerly of Ethanac Road and northerly of McLaughlin Road, approximately 2.4 miles (12,672 feet) southeasterly of the southerly terminus of Runway 15-33 at Perris Valley Airport.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan,

a. Airport Influence Area: March Air Reserve Base/Inland Port Airport

b. Land Use Policy: March Air Reserve Base/Inland Airport Compatibility Zones D and E

c. Noise Levels: below 60 CNEL from March Air Reserve Base/Inland Port aircraft

Staff Report Page 2 of 2

BACKGROUND:

Non-Residential Land Use Intensity: Assessor's Parcel Number 331-140-010 is located primarily within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area ("March AIA"), with a small portion of the easterly portion of the parcel in Airport Compatibility Zone E. Non-residential intensity is not restricted in Airport Compatibility Zones D and E of the March AIA.

<u>Prohibited and Discouraged Uses:</u> The only uses prohibited in Airport Compatibility Zones D and E of the March AIA are hazards to flight, and no hazards to flight are proposed by the project.

Noise: The site is located outside the 60 CNEL contour for March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan relative to aircraft noise.

<u>Part 77</u>: The project site is located in proximity to Perris Valley Airport, and its Runway 15-33 with an elevation of 1413 above mean sea level (AMSL). At a distance of 12,672 feet from the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,539 feet AMSL. The site elevation is 1,432 feet AMSL, so FAA OES review will not be required for structures less than 110 feet in height.

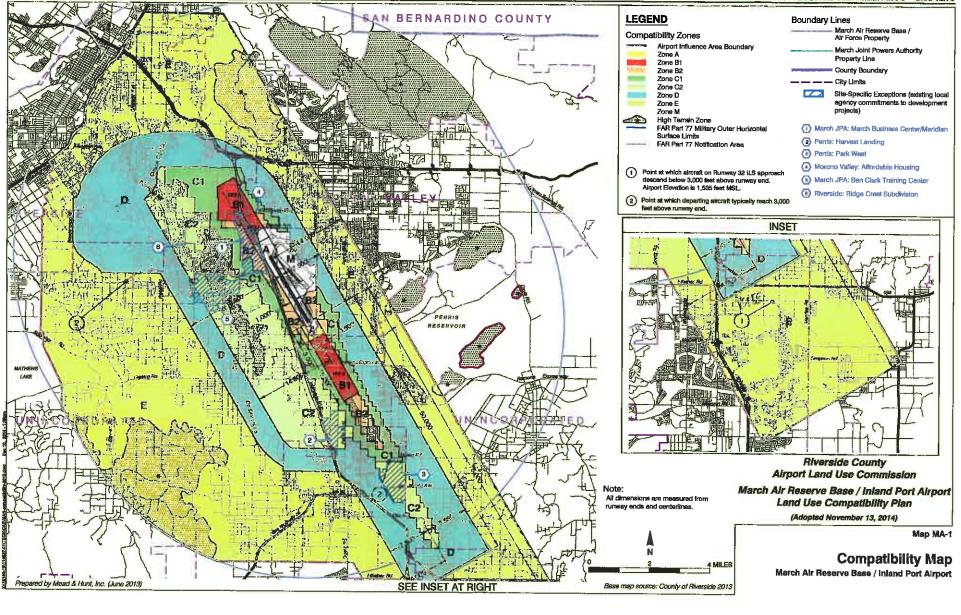
Open Area: Within Zones D and E of the March AIA, there is no requirement for land to be set aside as ALUC-qualifying open areas.

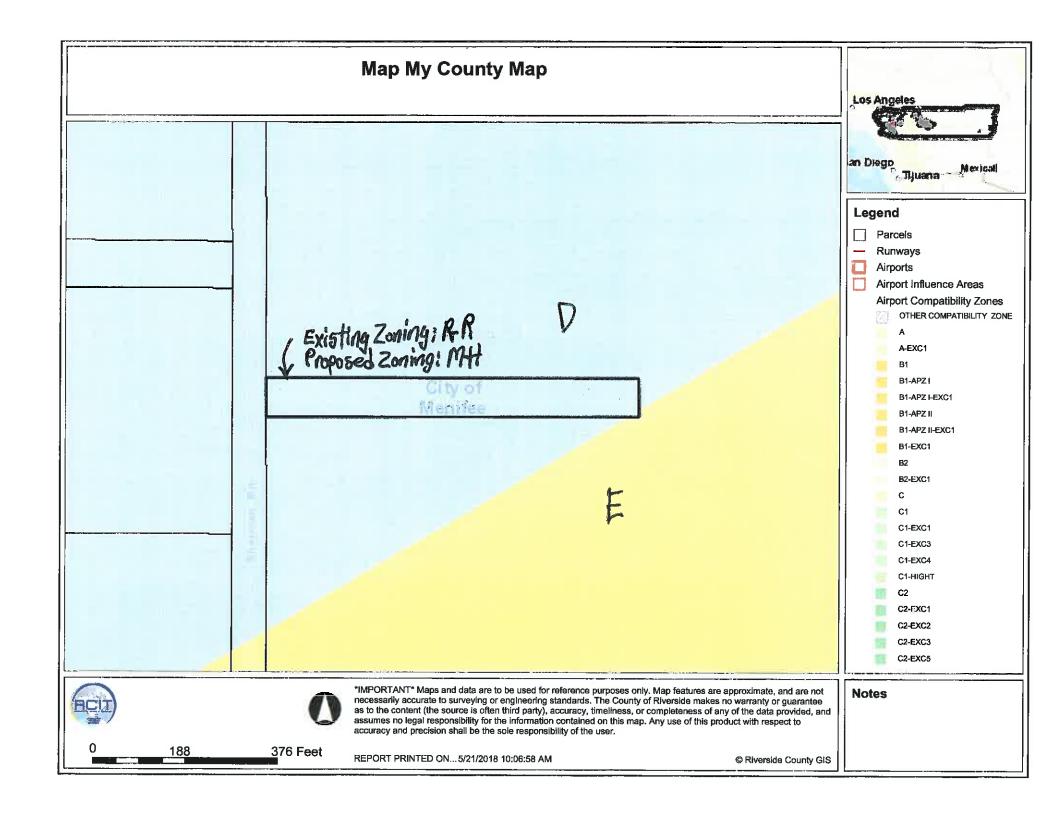
<u>Notice/Disclosure:</u> At the development stage, the City of Menifee will need to require recordation of a deed notice and disclosure pursuant to the 2014 March ALUCP.

Y:\AIRPORT CASE FILES\March\ZAP1313MA18\ZAP1313MA18sr.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)









Legend

City Areas
World Street Map





IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

24

48,149 Feet

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Legend

City Areas
World Street Map





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@ Riverside County GIS





Legend

Runways



Airport Influence Areas

City Areas

World Street Map





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Legend

Runways



Airport Influence Areas

City Areas World Street Map

Notes





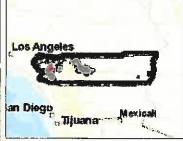
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 <u>1,</u> 3,009 Feet

REPORT PRINTED ON...5/21/2018 10:20:50 AM

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Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- City Areas World Street Map





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1,505 Feet

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Notes

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Legend

Parcels

Runways

Airports

Airport Influence Areas

City Areas

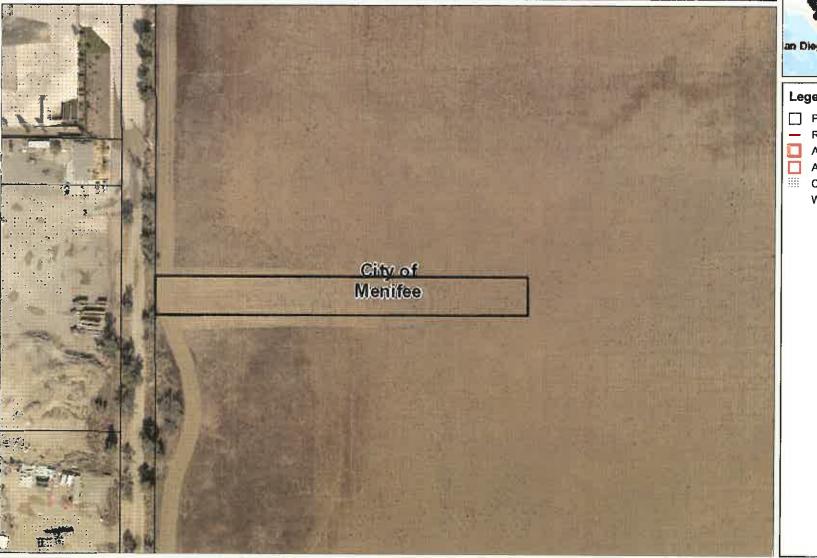
World Street Map





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Notes





Legend

Parcels

Runways

Airports

Airport Influence Areas

City Areas

World Street Map





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376 Feet

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CITY OF MENIFEE

Community Development Department

Airport Land Use Commission

Received

APR 3 0 2018

DATE:

April 25, 2018

RE:

Change of Zone No. 2018-0094 (CUP 2018-094) - Motte Change of Zone

(Assessor's Parcel Number 331-140-010)

TO:

Riverside County Airport Land Use Commission

FROM:

Tamara Harrison, Associate Planner

Attached please find the City of Menifee Planning Application No. 2018-094, Motte Change of Zone. This is the 1st Transmittal of this project.

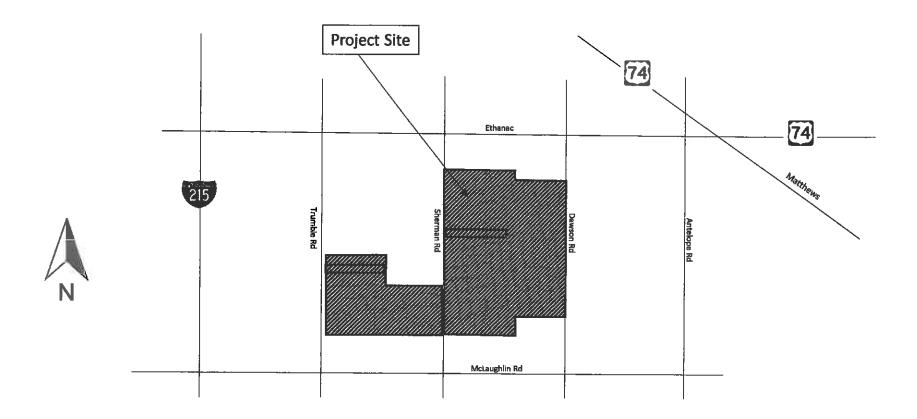
Project Description:

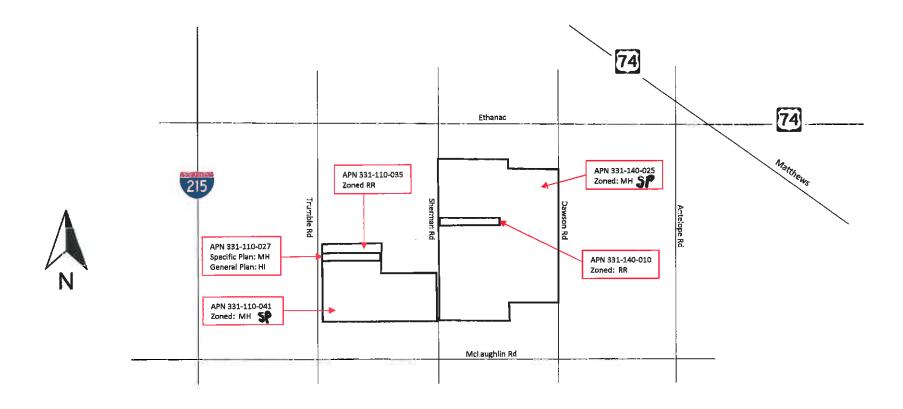
Change of Zone No. 2018-094 proposes to change the current zoning designation of the two (2) acre subject site from Rural Residential (R-R) to Manufacturing Heavy (M-H) for consistency zoning purposes. The current General Plan designation of the site is Heavy Industrial.

The project site is located north of McLaughlin, south of Ethanac, east of Sherman Road and west of Dawson Road. The project site APN is 364-070-026.

Please provide me with your determination of completeness (review and comments) of the application by <u>May 15, 2018.</u>

Tamara Harrison City of Menifee 29714 Haun Road Menifee, California 92586 951-672-6777 951-679-3843 fax tharrison@cityofmenifee.us





NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Menifee will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1313MA18 – MTC1/Mike Naggar and Associates (Representative: Carissa Hainsworth) – City of Menifee Case No. Change of Zone No. 2018-0094. A proposal to change the zoning of a one-acre parcel (Assessor's Parcel No. 331-140-010) located on the east side of Sherman Road, southerly of Ethanac Road and northerly of McLaughlin Road, from Rural Residential (R-R) to Manufacturing-Heavy (M-H). The parcel is part of a larger area being assembled for development of a warehousing/industrial project. (Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Tamara Harrison of the City of Menifee, Community Development Department at (951) 672-6777.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

March

Application for Major Land Use Action Review DATE SUBMITTED: APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION MTC 1 Phone Number 951-551-7730 Applicant Email mike@naggarinc.com 445 South D Street Mailing Address Perris, CA 92570 Phone Number 951-551-7730 Mike Naggar & Associates Representative 445 South D Street Email mike@naggarinc.com Mailing Address Perris, CA 92570 MTC 1 **Property Owner** Phone Number 951-551-7730 445 South D Street Mailing Address Email mike@naggarinc.com Perris, CA 92570 **LOCAL JURISDICTION AGENCY** Phone Number 951-723-3761 City of Menifee Local Agency Name Email tharrison@cityofmenifee.us Tamara Harrison Staff Contact Mailing Address Case Type 29714 Haun Rd ☐ General Plan / Specific Plan Amendment Menifee, CA 92586 **Zoning Ordinance Amendment** Subdivision Parcel Map / Tentative Tract Local Agency Project No. Use Permit 2018-094 ☐ Site Plan Review/Plot Plan Other PROJECT LOCATION Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways N/A Street Address 331-140-010, -025 and 331-110-035, -027, -041 Assessor's Parcel No. 80 acres Gross Parcel Size Nearest Airport Trumble Farms Subdivision Name and distance from Lot Number March ARB Airport PROJECT DESCRIPTION If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed 331-140-010 and 331-110-027 is zoned Residential Existing Land Use (describe) 331-140-025, 321-149-037 and 331-110-041 are zoned industrial 331-110-035 is zoned Commercial

	<u></u>	a.				
Proposed Land Use (describe)	Industrial for all APNs					
		<u> </u>	·			
For Posidontial Lines	Number of December on Units on C	ita (avaluda aasaadaa, usit	e) N/A			
For Residential Uses For Other Land Uses	Number of Parcels or Units on S Hours of Operation N/A	ite (exclude secondary unit	s) <u>,</u>			
(See Appendix C)	Number of People on Site N/A	Maximum Number N//	A .		 	
(See Appendix C)	Method of Calculation	N/A	<u> </u>			,
		N/A				
			N/A		· · · · · · · · · · · · · · · · · · ·	
Height Data	Site Elevation (above mean sea	•	N/A			f
	Height of buildings or structures	(from the ground)	IN/A			ft
Flight Hazards	Does the project involve any cha confusing lights, glare, smoke, o			nt?	⊒ Yes ■ No	
	If yes, describe					
disappro	940 to 65948 inclusive, oval of actions, regulations V TIME: Estimated time	s, or permits. for "staff level revi	ew" is approxir	mately 3	0 days fror	m date of
	al. Estimated time for "co al to the next available con		• • •	mately 4	io gays froi	n cate of
SUBMIS	SSION PACKAGE:					
1	Completed ALUC Applic ALUC fee payment Plans Package (24x36 for plans, grading plans, sub	CC olded) (site plans, flo	oor plans, buildi	ng eleva	itions, lands	caping
1	Plans Package (8.5x11) grading plans, subdivision CD with digital files of the Vicinity Map (8.5x11)	(site plans, floor pla on maps, zoning ord	ins, building ele inance/GPA/SP	vations, 'A text/rh	landscaping ap amendn	j plans, nents)
1						
	Detailed project descript Local jurisdiction project					
3	Local jurisdiction project Gummed address labels planner	transmittal •	sentative/proper	rty owne	r/local jurisd	liction

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.4

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1080FV18 - JBL Investments c/o MDMG Inc.

(Representative: MFCS, Inc.)

APPROVING JURISDICTION:

County of Riverside

JURISDICTION CASE NOS:

GPA170001 (General Plan Amendment), SP106 A17

(Specific Plan Amendment), CZ7347 (Change of Zone), TR37078 (Tentative Tract Map), PP170003 (Plot Plan)

MAJOR ISSUES:

None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment, Specific Plan Amendment and Change of Zone <u>CONSISTENT</u> with the 2007 French Valley Airport Land Use Compatibility Plan as amended in 2011, and find the proposed Tentative Tract Map and Plot Plan <u>CONSISTENT</u>, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant is proposing to establish 163 single family detached condominium units on 30.62 acres and a tentative tract map to divide the site into 8 lots. The proposed project requires a general plan amendment to the site's land use designation on the Southwest Area Plan and an amendment to its designation on the Dutch Village Specific Plan from Commercial Retail, Commercial Office, Light Industrial, and Open Space Conservation to High Density Residential, as well as various specific plan text changes to reflect changes in the land use designation and to provide additional information regarding development within the Specific Plan Amendment area, and a change of zone from Scenic Highway Commercial, Commercial Office, Industrial Park and Open Area Combining Zone-Residential Developments to General Residential zone.

PROJECT LOCATION: The site is located westerly of Winchester Road/Highway 79, northerly of Jean Nicholas Road, and easterly of Kooden Road, within the unincorporated community of French Valley, approximately 11,280 feet (2.14 miles) northeasterly of the northerly end of Runway 18-36 at French Valley Airport.

Staff Report Page 2 of 4

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

a. Airport Influence Area: French Valley Airport

b. Land Use Policy: Airport Compatibility Zone E

c. Noise Levels: Below 55 CNEL

BACKGROUND:

<u>Residential Density</u>: The site is located in Compatibility Zone E of the French Valley Airport Influence Area. Compatibility Zone E does not restrict residential density.

<u>Tentative Tract Map:</u> The proposed map seeks to divide 30.62 acres into 8 lots. Lot 2 (4.11 acres) contains 41 dwelling units. Lot 4 (10.19 acres) contains 64 dwelling units. Lot 7 (5.91 acres) contains 58 dwelling units. Lot 1 (1.52 acres) and Lot 6 (1.20 acres) are water quality basins, Lot 3 (0.26 acres) is a park, Lot 8 (0.70 acres) is a recreational area, and Lot 5 (0.16 acres) is open space.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E (hazards to flight) within the project.

<u>Noise:</u> The French Valley Compatibility Plan depicts the site as being located outside the 55 CNEL contour range from aircraft noise. Therefore, no special noise attenuation measures are required for this residential land use.

Part 77: The elevation of Runway 18-36 at its northerly terminus is 1,347 feet above mean sea level (1347 AMSL). At a distance of approximately 11,280 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,459.8 feet AMSL. The site elevation ranges from 1,384 feet to 1,448 feet AMSL. However, the highest pad elevation is 1,421 feet AMSL. With a maximum building height of 48 feet, the top point elevation would be 1,469 feet. Therefore, review of buildings by the FAA Obstruction Evaluation Service (FAAOES) was required. The applicant had submitted Form 7460-1 for FAA OES review. Determinations of no hazard to air navigation were issued (Aeronautical Study Nos. 2018-AWP-9221 and -9222-OE), as the FAA OES determined that the project would not result in an impact to air navigation. The proposed pad elevations within Lots 4 and 7 (122 dwelling units) are less than 1,410 feet AMSL; therefore, FAA review would not be required for those dwellings.

Open Area: There is no open area requirement for properties located in Compatibility Zone E.

General Plan Amendment/Specific Plan Amendment/Change of Zone: The proposed General Plan Amendment, Specific Plan Amendment and Change of Zone would allow for the proposed development. Given the location of the site within Compatibility Zone E, the proposed density is not

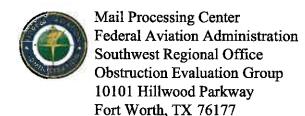
prohibited at this location.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky and shall comply with Riverside County Ordinance No. 655. Outdoor lighting shall be downward facing.
- 2. The review of this Tentative Tract Map is based on the proposed uses and activities noted in the project description. The following uses/activities are not included in the proposed project and shall be prohibited at this site as hazards to flight.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor (such as incinerators) or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers and tenants of the proposed dwelling units.
- 4. The following uses/activities are specifically prohibited at this location due to their propensity to attract birds: aquaculture; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; artificial marshes; and wastewater management facilities.
- 5. Any proposed detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

- 6. Prior to building permit issuance, additional Federal Aviation Administration review may be required for buildings exceeding 48 feet in height or a maximum top point elevation of 1,496 feet above mean sea level.
- 7. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2018-AWP-9221-OE, and 2018-AWP-9222-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.
- 8. The proposed buildings shall not exceed a height of 48 feet above ground level and a maximum elevation at top point of 1,496 feet above mean sea level.
- 9. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 10. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 48 feet in height and a maximum elevation of 1,496 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 11. Within five (5) days after construction of any individual building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to https://oeaaa.faa.gov for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structures(s).

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Issued Date: 05/21/2018

MDMG, Inc.- Angie Douvres Allen Su 41635 Enterprise Circle North Temecula, CA 92590

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Building residential tract

Location:

French Valley, CA

Latitude:

33-36-34.62N NAD 83

Longitude:

117-06-32.55W

Heights:

1388 feet site elevation (SE)

48 feet above ground level (AGL)

1436 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)	
X	Within 5 days after the construction reaches its greatest height ((7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 11/21/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-9221-OE.

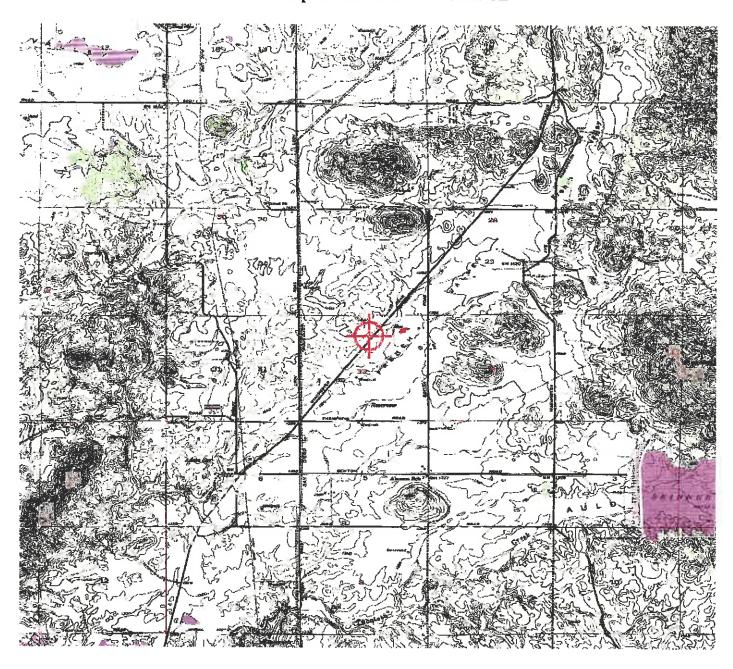
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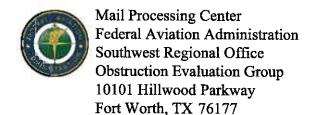
(DNE)

Karen McDonald Specialist

Attachment(s) Map(s)

TOPO Map for ASN 2018-AWP-9221-OE





Issued Date: 05/21/2018

MDMG, Inc.- Angie Douvres Allen Su 41635 Enterprise Circle North Temecula, CA 92590

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building residential tract Location: French Valley, CA Latitude: 33-36-43.30N NAD 83

Longitude: 117-06-38.59W

Heights: 1448 feet site elevation (SE)

48 feet above ground level (AGL)

1496 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)

X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

This determination expires on 11/21/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

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This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-9222-OE.

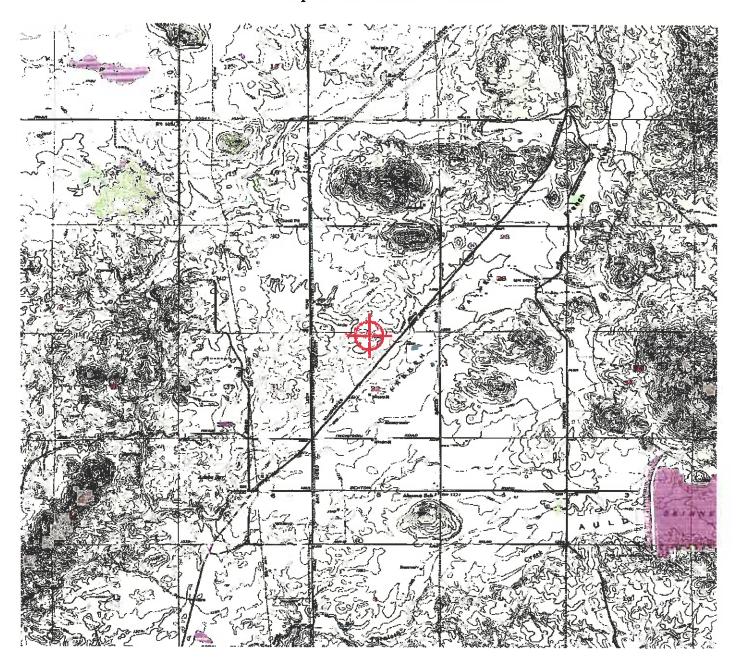
Signature Control No: 364141796-365777158

(DNE)

Karen McDonald Specialist

Attachment(s) Map(s)

TOPO Map for ASN 2018-AWP-9222-OE



NOTICE OF AIRPORT IN VICINITY

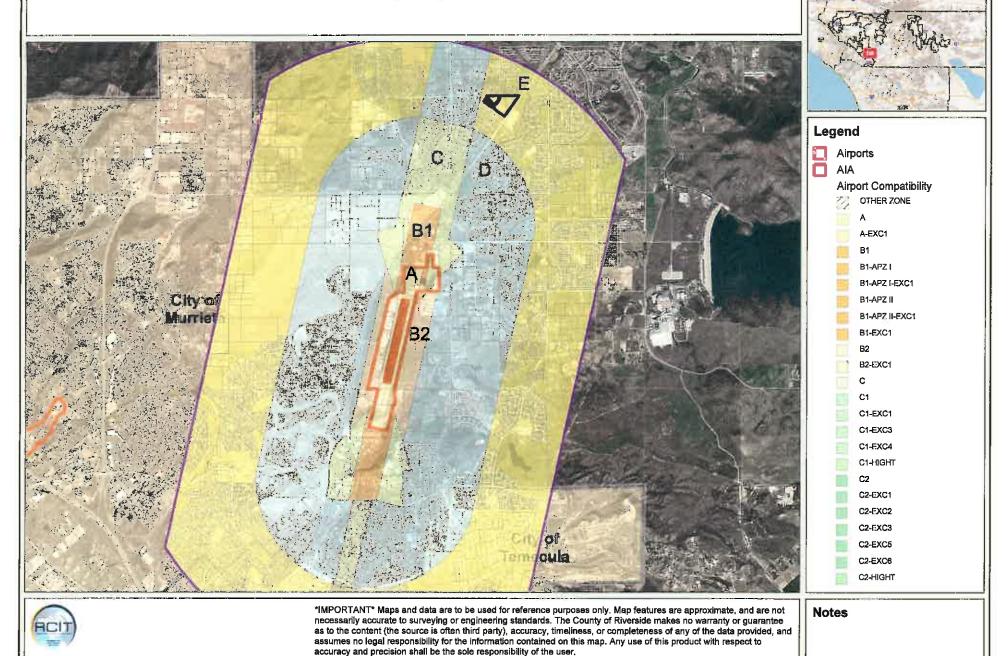
This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

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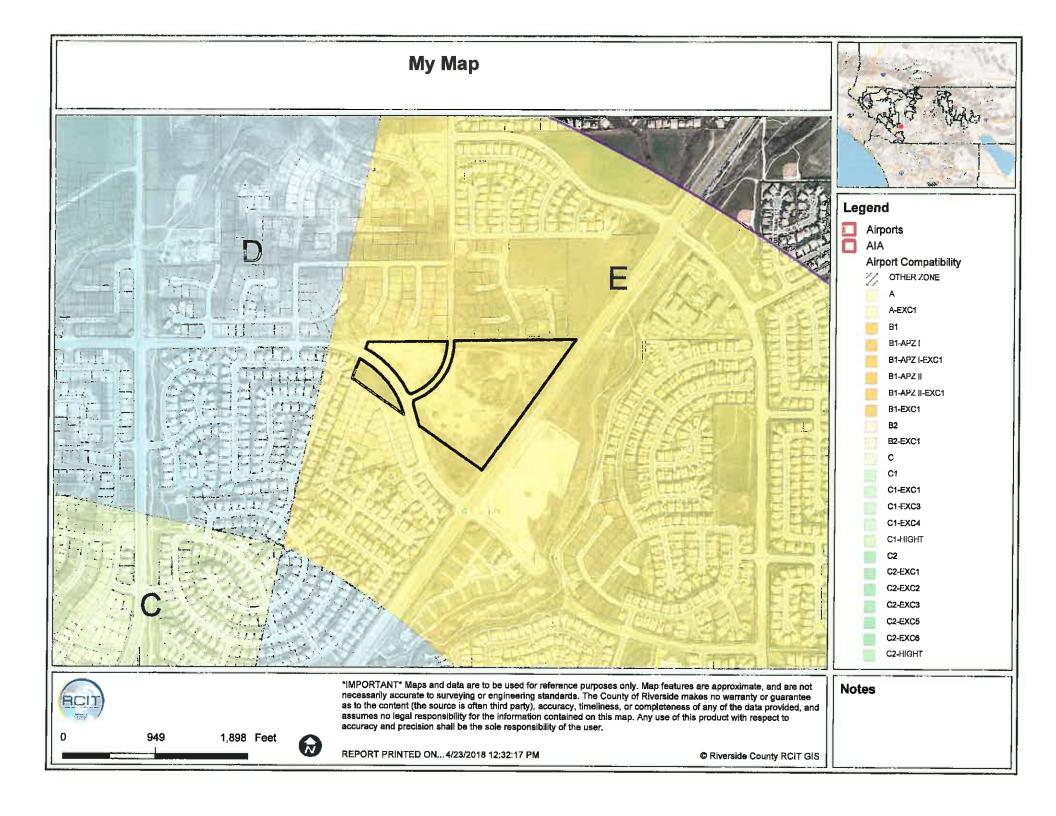
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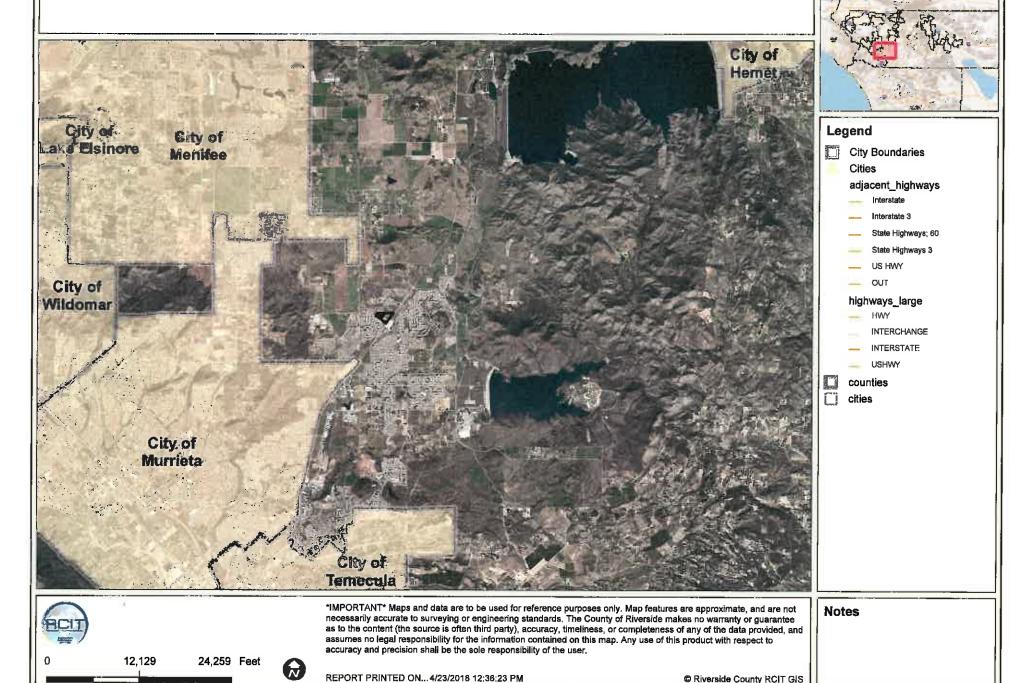
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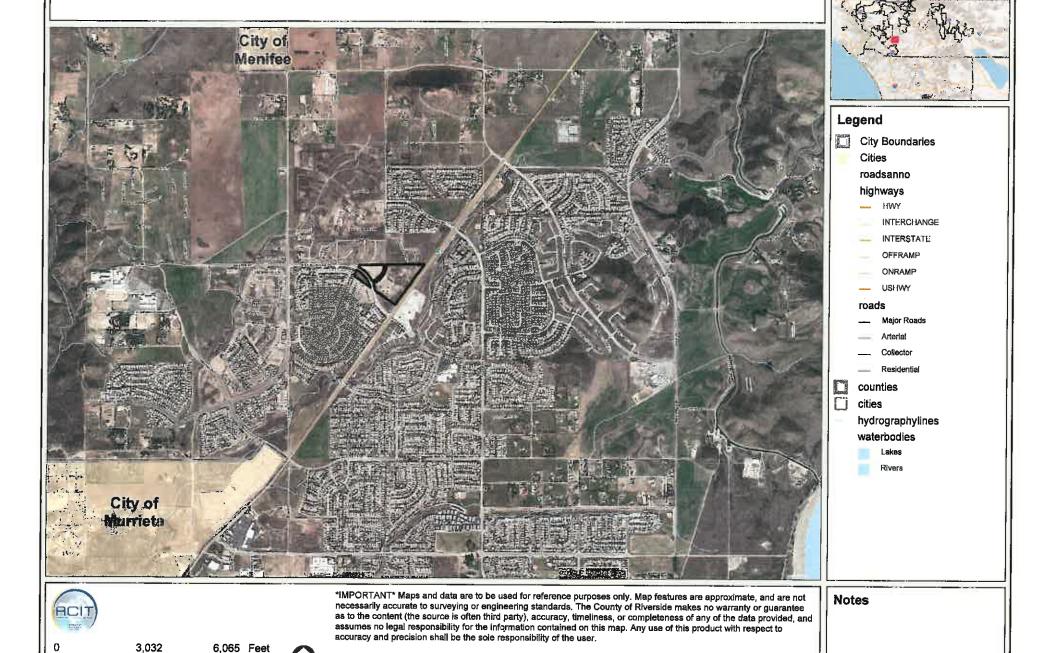
C Riverside County RCIT GIS





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Notes

as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to

3,032 Feet

1,516

accuracy and precision shall be the sole responsibility of the user.

My Map





RCIT

949

1,898 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

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C Riverside County RCIT GIS

GENERAL NOTES

1. LEGAL DESCRIPTION

A PORTION OF PARCEL 2 AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 47 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF THE RIVERSIDE COUNTY, CALIFORNIA.

2. TOTAL ORIGINAL ACREAGE:

30.62 AC. GROSS

- 3. EXISTING ZONING: C-O, I-P, CPS, R-5
- 4. PROPOSED ZONING:

R-3

5. EXISTING LAND USE:

VALAIVI

6. PROPOSED LAND USE:

RESIDENTIAL

7. EXISTING LAND USE DESIGNATION

COMMERCIAL OFFICE, COMMERCIAL RETAIL, LIGHT INDUSTRIAL

8. PROPOSED LAND USE DESIGNATION

HIGH DENSITY RESIDENTIAL (HDR)

 METHOD OF SEVAGE DISPOSAL SEWER

10.UTILITIES:

WATER - EASTERN MUNICIPAL WATER DISTRICT

SEWER -- FASTERN MUNICIPAL WATER DISTRICT

GAS - THE GAS COMPANY

ELECTRIC - SOUTHERN CALIFORNIA EDISON

TELEPHONE - FRONTIER

CABLE - FRONTIER

11. SCHOOL DISTRICT:

MURRIETA VALLEY UNIFIED SCHOOL DISTRICT

12 ASSESSORS PARCEL NO.'S:

480-160-023

13.2010 THOMAS BROS. GUIDE:

PAGE: 899, GRID: D-5

14 PLAN PREPARED:

MARCH 2018

- 15.ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNED TO ACCOMMODATE 100 YEAR STORM FLOWS, ALL Q"S ARE APPROX.
- 16. THIS PROPERTY IS NOT SUBJECT TO FLOODING
- 17. TENTATIVE MAP SHOWS ENTIRE CONTIGUOUS OWNERSHIP
- 18. THIS PROJECT IS WITHIN SPECIFIC PLAN DUTCH VILLAGE SP 106. LAND USE BUJ. IND. PARK/OFFICE COMM. SURROUNDING LAND USE DES. MED. DENSITY RES.
- 19. THIS PROPERTY IS NOT WITHIN A SPECIAL STUDIES ZONE AND IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGICAL HAZARD.

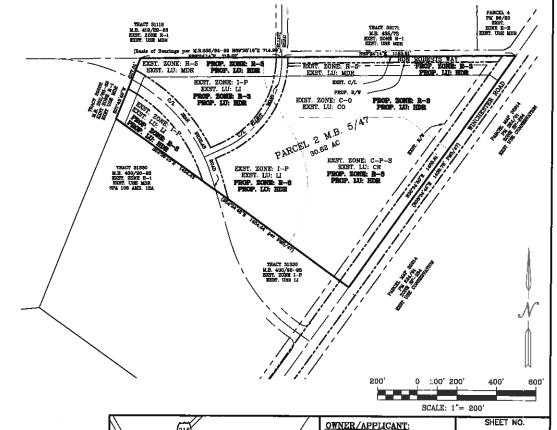
20 PROPERTY ADDRESS:

NORTHWEST CORNER OF WINCHESTER ROAD AND JEAN NICHOLAS ROAD, WINCHESTER, CA.

- 21. THIS PROPERTY IS WITHIN VALLEY WIDE RECREATION AND PARKS DISTRICT.
- 22. THIS PROPERTY IS NOT WITHIN A CSA.
- 23. THERE ARE NO STRUCTURES ON THIS PROPERTY.

GENERAL PLAN AMENDMENT NO. 170001

AMENDING COMMERCIAL OFFICE, COMMERCIAL RETAIL AND LIGHT INDUSTRIAL TO GENERAL RESIDENTIAL





DR, ALLEN D. SU C/O GENE TOBIN 1930 ALPHA AVE. PASADENA, CA 91030 (951) 760--6097 USDNELLA®HOTMAIL.COM of 1 sheets

PREPARED BY:

MARKHAM DEVELOPMENT MANAGEMENT GROUP, INC.

41635 Enterprise Circle N. - Suite 8 Temecula, California 92590 (951) 296-3466 TEL LRM@MARKHAMDNG.COM

G.P.A. 170001

J.N. 101.001

GENERAL NOTES

1. LEGAL DESCRIPTION

A PORTION OF PARCEL 2 AS SHOWN BY MAP ON FILE IN BOOK 5, PAGE 47 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF THE RIVERSIDE COUNTY, CALIFORNIA.

2. TOTAL ORIGINAL ACREAGE:

30.62 AC. GROSS

- 3. EXISTING ZONING: C-O, I-P, CPS, R-5
- 4. PROPOSED ZONING:

R-3

- 5. EXISTING LAND USE: VACANT
- 6. PROPOSED LAND USE:
- RESIDENTIAL

7. EXISTING LAND USE DESIGNATION

COMMERCIAL OFFICE, COMMERCIAL RETAIL, LIGHT INDUSTRIAL

8. PROPOSED LAND USE DESIGNATION

HIGH DENSITY RESIDENTIAL (HDR)

9. METHOD OF SEWAGE DISPOSAL

10. UTILITIES:

WATER - EASTERN MUNICIPAL WATER DISTRICT

SEWER -- EASTERN MUNICIPAL WATER DISTRICT

GAS - THE GAS COMPANY

ELECTRIC - SOUTHERN CALIFORNIA EDISON

TELEPHONE - FRONTIER

CABLE - FRONTIER

11 SCHOOL DISTRICT:

MURRIETA VALLEY UNIFIED SCHOOL DISTRICT

12. ASSESSORS PARCEL NO.'S:

480-160-023

13,2010 THOMAS BROS, GUIDE:

PAGE: 899, GRID: D-5

14.PLAN PREPARED:

MARCH 2018

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- 19. THIS PROPERTY IS NOT WITHIN A SPECIAL STUDIES ZONE AND IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGICAL HAZARD.

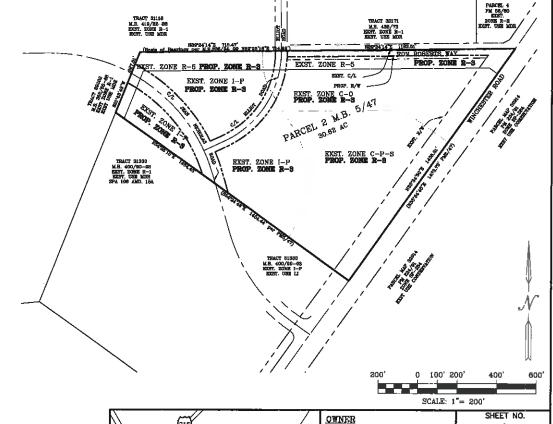
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SPECIFIC PLAN AMENDMENT NO. 106 AMD. 17 TENTATIVE TRACT MAP NO. 37078

SCHEDULE "A" TRACT MAP FOR CONDOMINIUM PURPOSES





OF ALLEN D. SU
C/O GENE TOBIN
44414 KATIE CT.
TEMECULA, CA 92592
(951) 760-6097

PREPARED BY/ APPLICANT:

MARKHAM DEVELOPMENT MANAGEMENT GROUP, INC.

41635 Enterprise Circle N. — Suite B Temecula, Cdiffornia 92590 (951) 296–3466 TEL LRM@MARKHAMDMG.COM

S.P.A. 106 AMD 17

J.N. 101.001

OF____SHEETS

GENERAL NOTES

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30.62 AC. GROSS

3. EXISTING ZONING: C-0, I-P, CPS, R-5

4. PROPOSED ZONING:

R-3

5. EXISTING LAND USE:

VACAN*

6. PROPOSED LAND USE:

RESIDENTIAL

7. EXISTING LAND USE DESIGNATION

COMMERCIAL OFFICE, COMMERCIAL RETAIL, LIGHT INDUSTRIAL

8. PROPOSED LAND USE DESIGNATION

HIGH DENSITY RESIDENTIAL (HDR)

9. METHOD OF SEWAGE DISPOSAL

SEWER

10.UTILITIES:

WATER - EASTERN MUNICIPAL WATER DISTRICT

SEWER - EASTERN MUNICIPAL WATER DISTRICT

GAS - THE GAS COMPANY

ELECTRIC - SOUTHERN CALIFORNIA EDISON

TELEPHONE - FRONTIER

CABLE - FRONTIER

11. SCHOOL DISTRICT:

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12 ASSESSORS PARCEL NO.'S:

480-160-023

13.2010 THOMAS BROS. GUIDE:

PAGE: 899, GRID: D-5

14. PLAN PREPARED:

MAY 2014, REVISED MARCH 2018

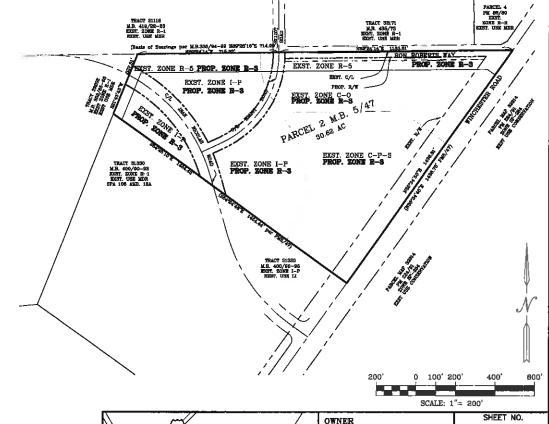
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- 22. THIS PROPERTY IS NOT WITHIN A CSA.
- 23. THERE ARE NO STRUCTURES ON THIS PROPERTY.

CHANGE OF ZONE NO. 07347 TENTATIVE TRACT MAP NO. 37078





OWNER

DR. ALLEN D. SU
C/O GENE TOBIN
44414 KATIE CT.
TEMECULA, CA 92592
(951) 760-6097

of 1 sheets

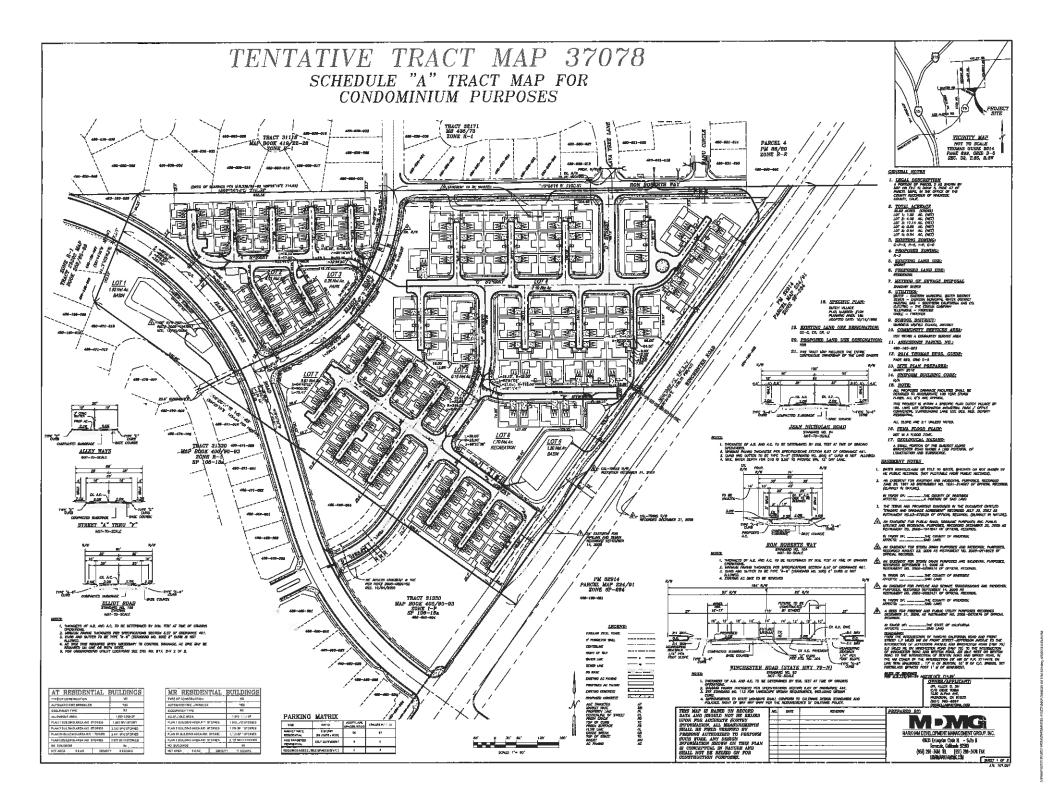
PREPARED BY APPLICANT:

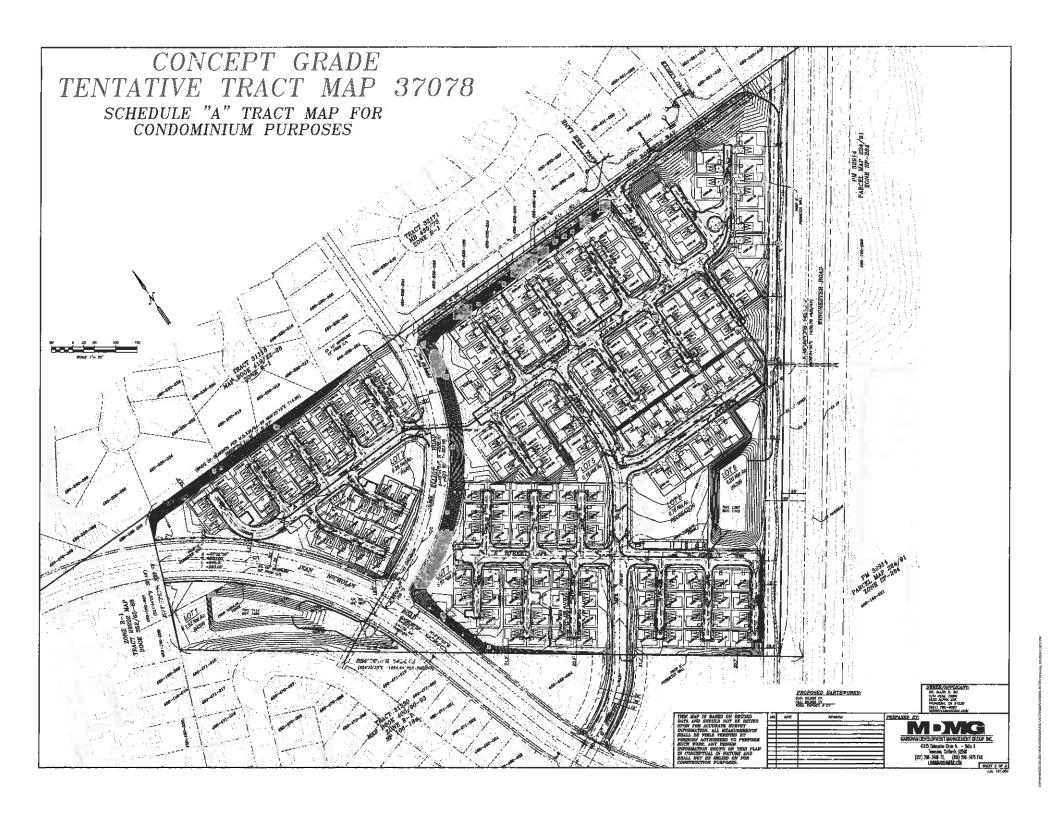
MARKHAM DEVELOPMENT MANAGEMENT GROUP, INC.

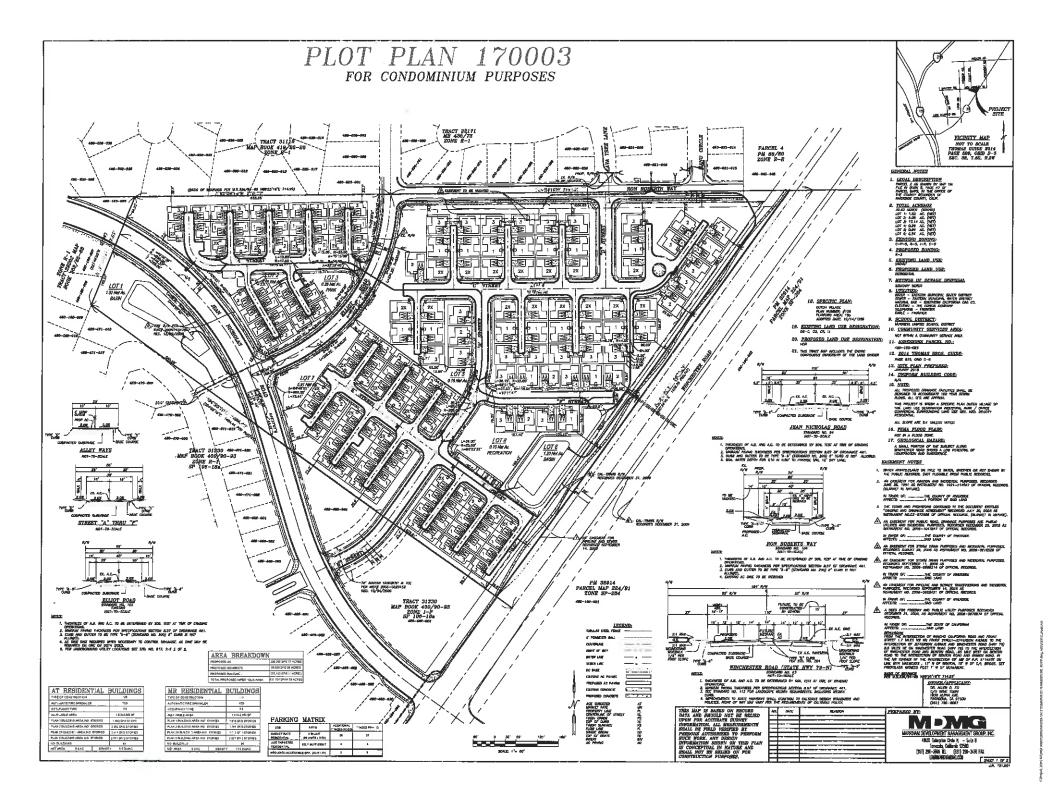
41635 Enterprise Circle N. - Suite B Temecula, California 92590 (951) 296-3466 TEL LRM@MARKHANDMG.COM

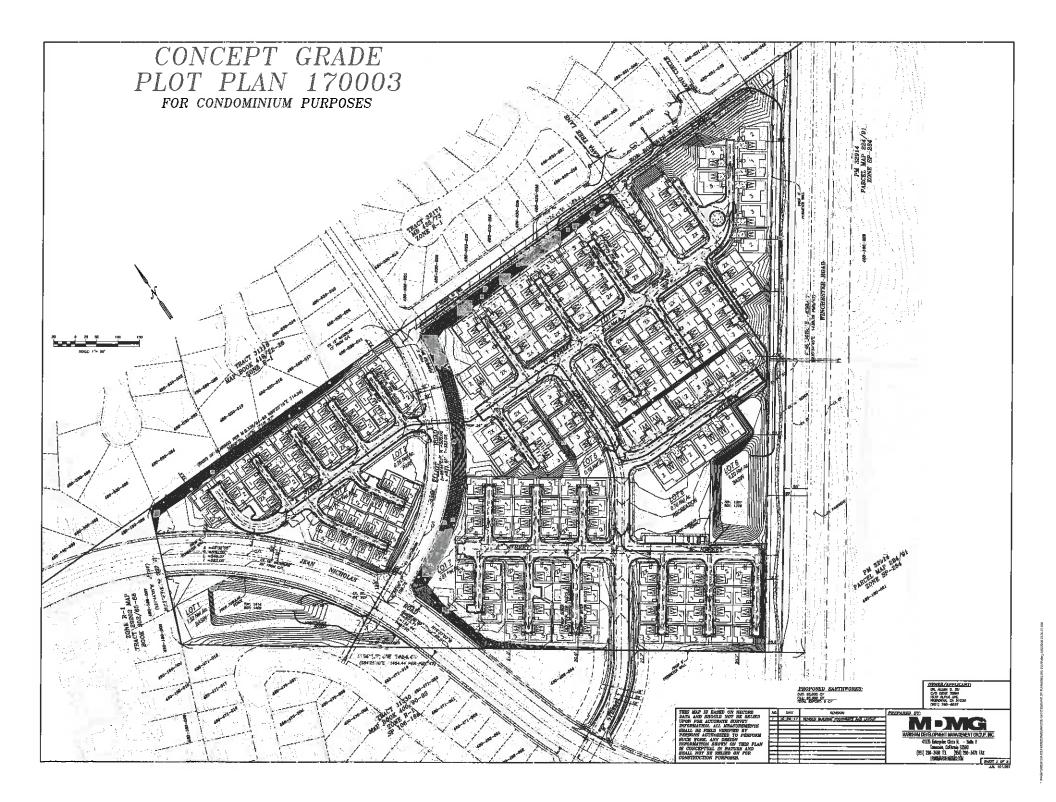
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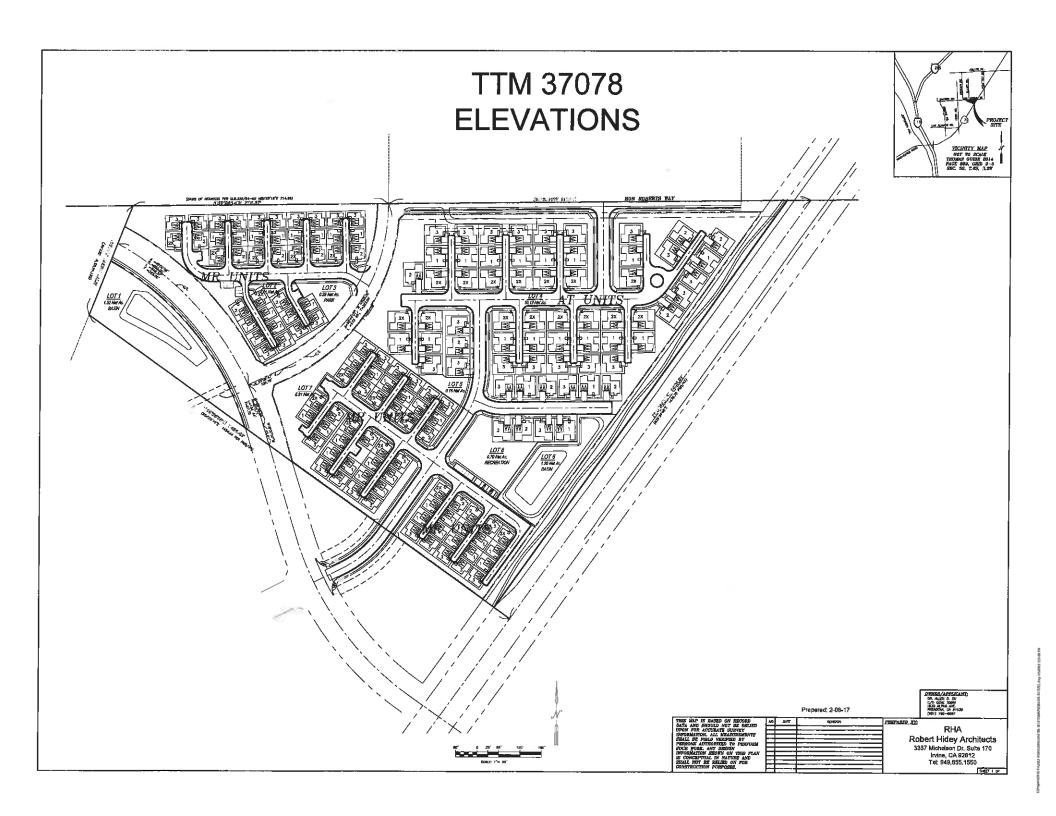
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1A - SPANISH COLONIAL



1B - FORMAL SPANISH

PLAN 1 SCHEMATIC FRONT ELEVATIONS

AGE TARGETED PRODUCT

JEAN NICHOLAS

ROBERT HIDEY ARCHITECTS



2A - SPANISH COLONIAL



2B - FORMAI, SPANISH

PLAN 2 SCHEMATIC FRONT ELEVATIONS

AGE TARGETED PRODUCT

JEAN NICHOLAS





2XA2 - SPANISH COLONIAL



2XA1 ~ SPANISH COLONIAL



2XB2 - FORMAL SPANISH



2XB1 - FORMAL SPANISH

PLAN 2X SCHEMATIC FRONT ELEVATIONS

AGE TARGETED PRODUCT

JEAN NICHOLAS





3A - SPANISH COLONIAL



3B - FORMAL SPANISH

PLAN 3 SCHEMATIC FRONT ELEVATIONS

AGE TARGETED PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA

JBL INVESTMENTS





1C2 - ANDALUSIAN



1C1 - ANDALUSIAN



1D2 - ADOBE RANCH



1D1 - ADOBE RANCH

PLAN 1 SCHEMATIC FRONT ELEVATIONS

MARKET RATE PRODUCT

JEAN NICHOLAS

WINCHESTER, CALIFORNIA





2C - ANDALUSIAN



2D - ADOBE RANCH

PLAN 2 SCHEMATIC FRONT ELEVATIONS

MARKET RATE PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA

JBL INVESTMENTS





2XC - ANDALUSIAN



2XD - ADOBE RANCH

PLAN 2X SCHEMATIC FRONT ELEVATIONS

MARKET RATE PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA

ROBERT HIDEY ARCHITECTS



3C - ANDALUSIAN



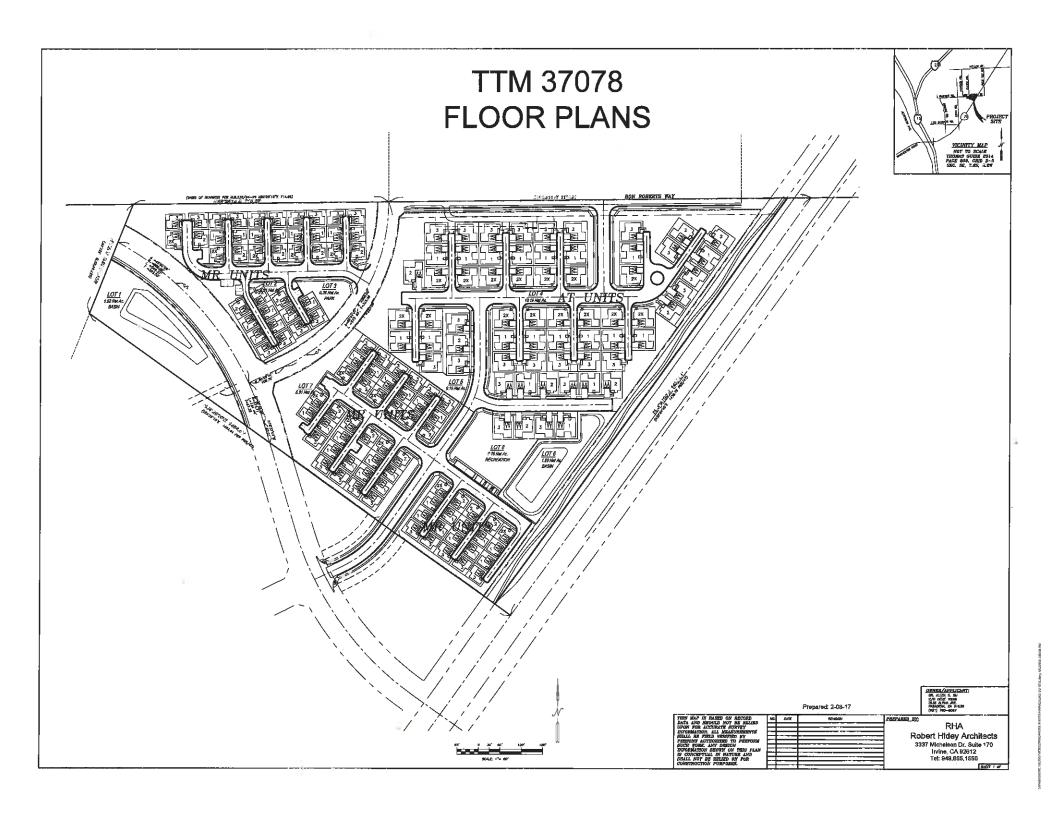
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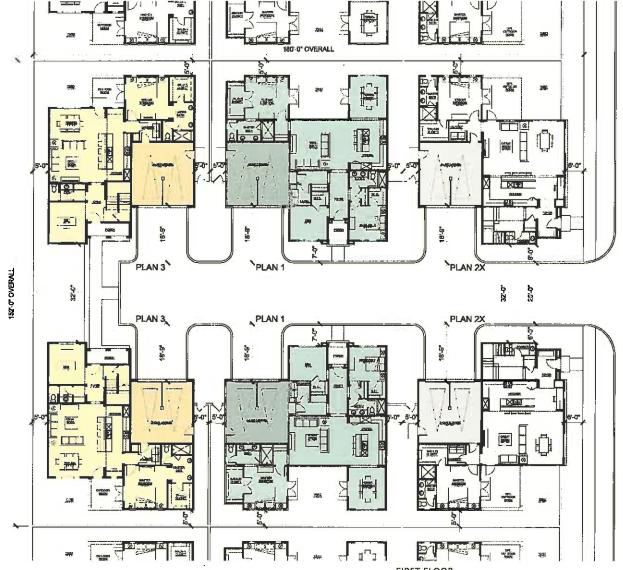
PLAN 3 SCHEMATIC FRONT ELEVATIONS

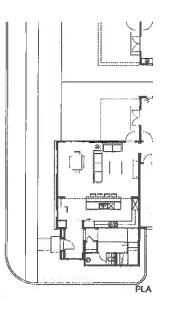
MARKET RATE PRODUCT

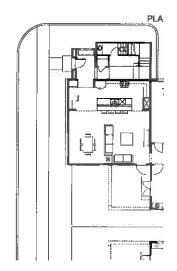
JEAN NICHOLAS









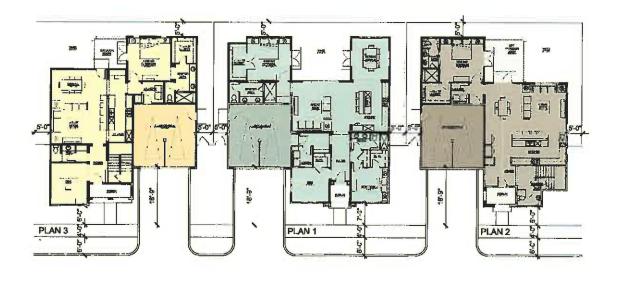


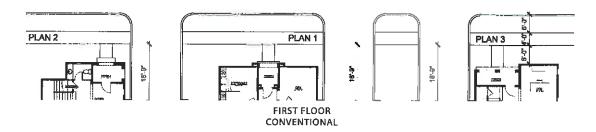
FIRST FLOOR 6-PLEX CLUSTER

AGE TARGETED PRODUCT

JEAN NICHOLAS

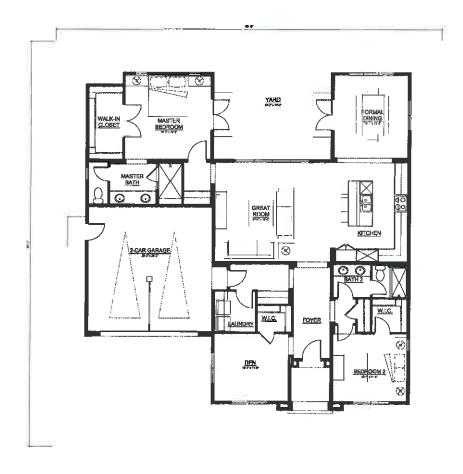
R H A





AGE TARGETED PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA

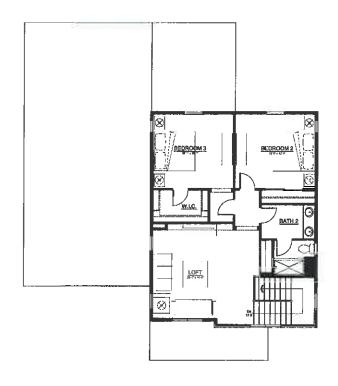


PLAN 1 1862 SQ. FT.

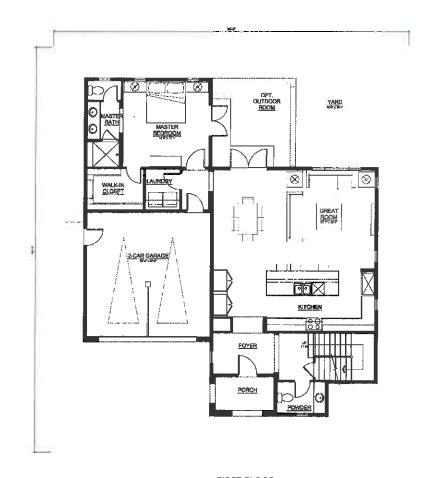
AGE TARGETED PRODUCT

JEAN NICHOLAS





SECOND FLOOR 865 SQ. FT.

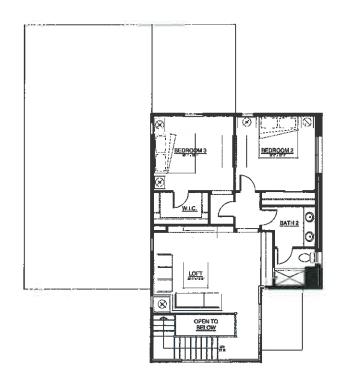


FIRST FLOOR 1453 SQ. FT.

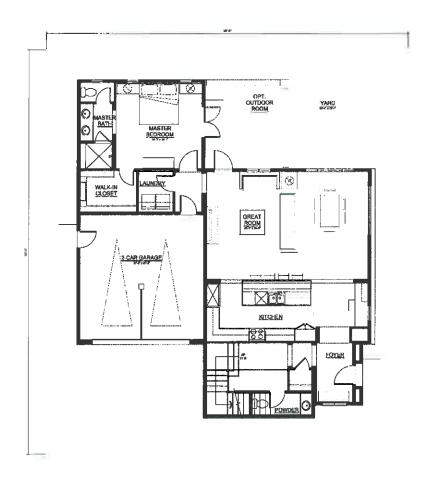
PLAN 2 2318 SQ. FT.

AGE TARGETED PRODUCT

JEAN NICHOLAS







FIRST FLOOR 1512 SQ. FT.

PLAN 2X 2411 SQ. FT.

AGE TARGETED PRODUCT

JEAN NICHOLAS

ROBERT HIDEY ARCHITECTS

JBL INVESTMENTS



SECOND FLOOR 978 SQ. FT.



FIRST FLOOR 1599 SQ. FT.

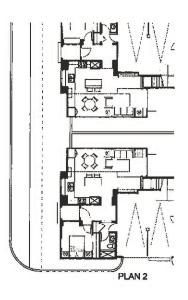
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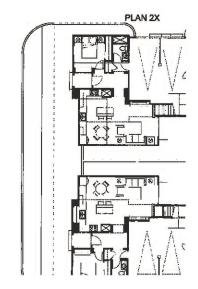
AGE TARGETED PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA





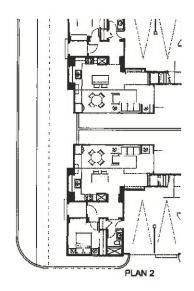


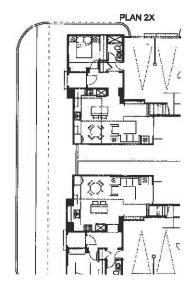


MARKET RATE PRODUCT

JEAN NICHOLAS





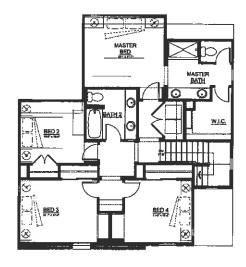


MARKET RATE PRODUCT

JEAN NICHOLAS

WINCHESTER, CALIFORNIA

JBL INVESTMENTS



PORCH

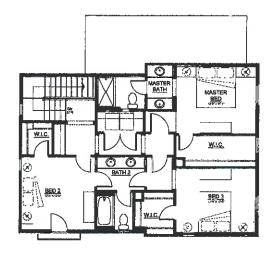
SECOND FLOOR 996 SQ. FT.

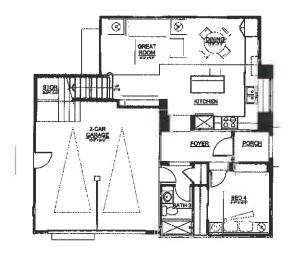
FIRST FLOOR 614 SQ. FT.

PLAN 1 1610 SQ. FT,

MARKET RATE PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA





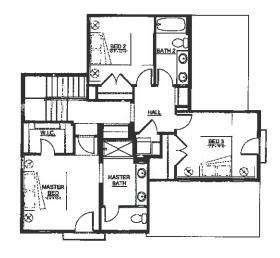
SECOND FLOOR 971 SQ. FT.

FIRST FLOOR 793 SQ. FT.

PLAN 2 1764 SQ, FT.

MARKET RATE PRODUCT

JEAN NICHOLAS



3 FOYER PORCH

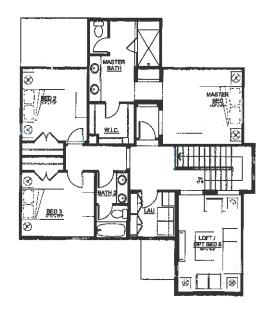
SECOND FLOOR 873 SQ. FT.

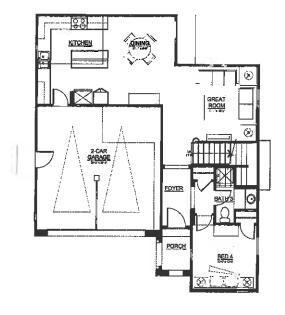
PLAN 2X 1653 SQ. FT. FIRST FLOOR 780 SQ. FT.

MARKET RATE PRODUCT

JEAN NICHOLAS
WINCHESTER, CALIFORNIA

ROBERT HIDEY ARCHITECTS PRÖJECT NUMBER: 15024 02/08/2017





SECOND FLOOR 1149 SQ. FT.

PLAN 3 2027 SQ. FT. FIRST FLOOR 878 SQ. FT.

MARKET RATE PRODUCT

JEAN NICHOLAS

WINCHESTER, CALIFORNIA

JBL INVESTMENTS



FORTH RETURNING TO STATE OF THE STATE OF THE

Dutch Village

Specific Plan No. 106

Amendment No. 17 (Planning Area 18a Only)

Prepared for:

County of Riverside

4080 Lemon Street
12th Floor
Riverside, CA 92502-1629
951.955.3025
Russell Brady, Project Planner
rbrady@rctlma.org

April 2018

Dutch Village Specific Plan No. 106 Amendment No. 17 (Planning Area 18a Only)

Prepared by:

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April 2018

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I. Introduction/History of Dutch Village Specific Plan No. 106

The Dutch Village Specific Plan No. 106 (Specific Plan 106) is located in the French Valley area of southwest Riverside County (**Appendix A**, **Figure 1**, **Regional Map**). It is located on the west and east sides of Winchester Road (SR79 North), north of the City of Temecula.

Specific Plan 106 was originally adopted by the Riverside County Board of Supervisors (Board) on June 6, 1973. The original goal of Specific Plan 106 was to provide housing and support facilities needed to develop a tourist commercial center similar to the community of Solvang, located in Santa Barbara County. Subsequent to that original approval, the Board has adopted numerous amendments to Specific Plan 106 (listed in **Table 1**, *Summary of Specific Plan No. 106 Amendments*, below). Additionally, the Board adopted the Quinto do Lago Specific Plan No. 284 (SP 284) on August 30, 1994. SP 284 had the effect of superseding the land uses on 470.1 acres of Specific Plan 106. As a result of the numerous amendments, and the adoption of SP 284, Specific Plan 106 no longer retains its Dutch theme and is now being planned and developed with a mixture of uses similar to those found in the neighboring Cities of Temecula and Murrieta.

All of the amendments to Specific Plan 106, to date, are summarized in *Table 1*, below. A more detailed narrative of all Amendments to date is contained in *Appendix B*, *Narrative History of the Dutch Village Specific Plan No. 106 Amendments*. Prior amendments have tracked the history of the amendments. The details for the current Amendment, No. 17 (SP106, A17), are listed in *Table 1* and are discussed further in **Section II**, *Amendment No. 17*. SPA106, A17 only applies to Planning Area 18a of Specific Plan 106.

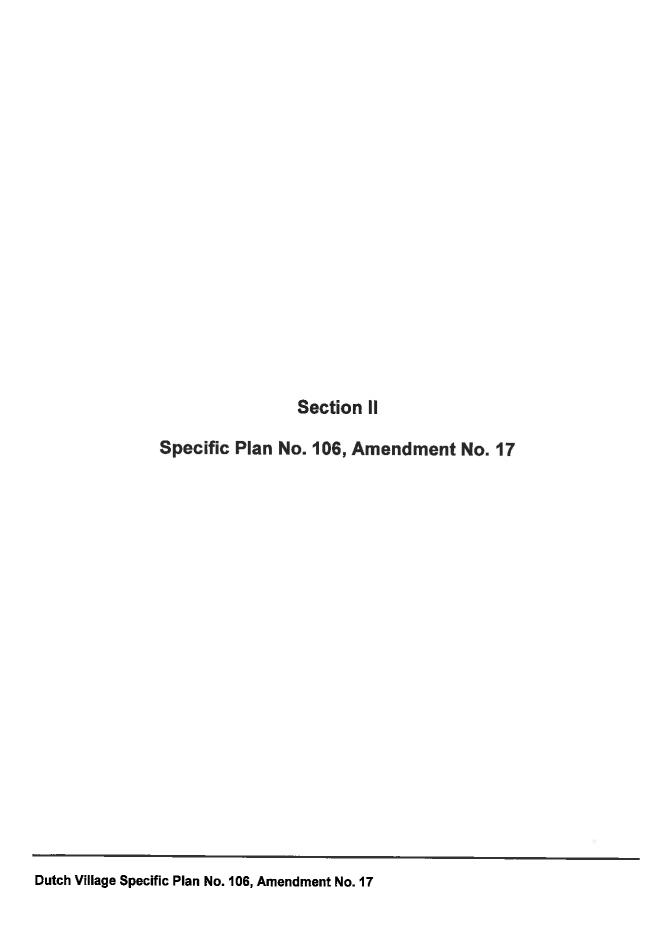
Since the approval of Specific Plan 106, the County has adopted a General Plan on October 7, 2003, Countywide Design Standards and Guidelines on January 13, 2004, the Third Supervisorial District Design Standards and Guidelines on July 17, 2001, and the Multi Species Habitat Conservation Plan (MSHCP) on June 17, 2003. General Plan Amendment No. 960 amended to 2003 General Plan in December 2015. The appropriate references and incorporation of these documents into Specific Plan 106, Amendment No. 17 is also contained within **Section II**.

Table 1
Summary of Specific Plan No. 106 Amendments

Amendment Number	Date Adopted by Board	Resolution Number	Summary of Revisions
1	Withdrawn	N/A	N/A
2	5/18/82	82-191	Reduced SP acreage to 1,248 and a total of 1,248 dwelling units. Under this Amendment, the 60 collective acres of property were designated Very Low-Density Residential (0-0.4 d.u./acre).
3	10/14/86	86-416	Land use designations were revised. Residential land use designations consisted of: High Density Residential (5-6 d.u./acre); Medium Density Residential (3-5 d.u./acre); Low Density Residential (0-1 and 0-2 d.u./acre); and Very Low Density Residential (0-0.2 and 0-0.4 d.u./acre). A 25-acre school/park site was eliminated and a 10-acre Manufacturing Service Commercial (M-SC) Zone was created as an off-site storage depot for the Dutch Village. The acreage of Very Low and Low Density Residential land uses was reduced to 675 acres.
Substantial Conformance No. 1	10/13/87	N/A	Relocated 15 acres of open space from Planning Unit No. 4 to Planning Unit No. 17. Added Condition of Approval for Planning Unit No. 17 requiring 15 acres of open space to be distributed throughout the industrial area in the form of miniparks, trails, and landscape buffer zones. Subsequent development proposals (Amendment No. 9 and associated applications) have nullified the effect on this approval.
4	10/20/92	92-459	Changed the designation on 28.8 acres from Low Density Residential to Scenic Highway Commercial, Office Commercial, Industrial Park and Open Space.
5	5/9/95	95-114	Changed the land use designation on 30 acres from Low Density Residential to Industrial.
6	9/19/95	95-161	Changed the designation on a 30-acre site from Open Space and Residential 1 acre and 2.5-acre minimum to Commercial. The Open Space designation associated with the drainage area was retained.
7	12/21/99	99-446	Changed the land use designation in 80 acres from Very Low Density Residential 5 acre, 2.5 acre and 1 acre minimum lot sizes and Open Space to Medium Density Residential (3.0 – 5.0 d.u./acre).

Amendment Number	Date Adopted by Board	Resolution Number	Summary of Revisions
8	12/21/99	99-447	Changed the land use designation on 60 acres from Very Low Density Residential 2.5-acre minimum, Low Density Residential 1 acre minimum, Medium Density Residential – 4 d.u./acre, and Open Space to Medium Density Residential (3.0 – 5.0 d.u./acre).
9	7/31/01	2001-241	Changed the land use designation on 120 acres from Industrial, Industrial Park and Open Space to Medium Density Residential (3.0 – 5.0 d.u./acre). This amendment includes the acreage previously affected by Amendment No. 5.
10	12/18/01	2001-326	Changed the land use designation on 64 acres from Very Low Density Residential (2.5-acre minimum lot size), Low Density Residential (1 acre and 0.5-acre minimum lot sizes), and Open Space to Medium Density Residential (3.0 – 5.0 d.u./acre).
11	2/8/05	2005-046	Changed the land use designation on 20 acres from Very Low Density Residential (2.5-acre minimum lot size), Low Density Residential (1-acre minimum lot size), Open Space, and Low Density Residential (0.5-acre minimum lot size) to Commercial, Manufacturing – Service Commercial and Open Space.
12	3/23/04	2004-057	Changed the land use designation on 20 acres from Very Low Density Residential (5-acre minimum lot size) to Medium Density Residential (3.0 – 5.0 d.u./acre).
13	3/23/04	2004-058	Changed the land use designation on 20 acres from Very Low Density Residential (5-acre minimum lot size) to Medium Density Residential (3.0 – 5.0 d.u./acre).
14	6/15/04	2004-172	Changed the land use designation on 29.3 acres from Industrial Park to Medium Density Residential (3.0 – 5.0 d.u./acre).
15	Withdrawn	N/A	N/A
16	Pending	N/A	Proposes to change the land use designation on 13.8 acres within APN 963-101-006 from Very Low Density Residential (1-acre minimum lot size (to Medium Density Residential (2.0-5.0 d.u./acre) and APN 963-010-010 from Medium Density Residential 2.0 – 5.0 d.u./acre) to Rural Residential (5-acre minimum lot size)
17	Pending	N/A	Proposes to modify the existing land use designations on 30.6-acres within APN 480-160-023 from C-O (Commercial Office) and I-P (Industrial Park), to HDR (High Density Residential, 8-14 units per acre). SPA106, A17 only applies to Planning Area 18a of Specific Plan 106.

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II. Specific Plan No. 106, Amendment No. 17

A. Summary of Changes

Amendment No. 17 to Specific Plan 106 proposes to modify the existing land use designations on the entire 30.6-acre site from C-O (Commercial Office), R-5 (Open Area Combining Zone – Residential Developments), C-P-S (Scenic Highway Commercial), and I-P (Industrial Park), to HDR (High Density Residential, 8-14 units per acre). SPA106, A17 only applies to Planning Area 18a of Specific Plan 106.

The current designations, as previously modified by Change of Zone No. 5464 (*Appendix A*, Figure 2) are:

- R-5 (Open Area Combining Zone Residential Developments), which serves as a fifty-foot (50') buffer to residential development to the north of the site;
- I-P (Industrial Park), which is located at the westerly portion of the site;
- C-P-S (Scenic Highway Commercial), which is located at the southeasterly portion of the site, adjacent to Winchester Road; and
- C-O (Commercial Office), which is located at the northeasterly portion of the site, adjacent to Winchester Road.

The boundaries for these designations were based on the alignments of Winchester Road to the east, Jean Nicholas Road to the north, the southerly extension of Elliot Road, and the westerly and southerly property lines.

As a result of the roadway modifications listed above, the proposed designations for Amendment No. 17 are as follows (*Appendix A*, Figure 3):

- Modify the existing C-O (Commercial Office) designation to a HDR (High Density Residential, 8-14 units per acre) designation in the northeasterly portion of the site;
- Incorporate the R-5 (Open Area Combining Zone Residential Developments) into the HDR (High Density Residential, 8-14 units per acre) designation;
- Modify the portion of the existing I-P (Industrial Park) Zone, east of the re-alignment of Elliot Road to a HDR (High Density Residential, 8-14 units per acre) designation;
- Modify the portion of the existing I-P (Industrial Park) designation, located northerly
 of the proposed intersection of Jean Nicholas and Elliot Roads, and incorporate the
 R-5 (Open Area Combining Zone Residential Developments) to a HDR (High
 Density Residential, 8-14 units per acre) designation; and
- Modify the existing I-P (Industrial Park) Zone, located southwesterly of the proposed intersection of Jean Nicholas and Elliot Roads to a HDR (High Density Residential, 8-14 units per acre) designation.

Specific development standards and design guidelines have been included in Amendment No. 17. Dutch Village Specific Plan No. 106, Amendment No. 17 Development Standards and Design Guidelines, contained in **Appendix D**, only apply to this particular 30.6-acre site within the Dutch Village Specific Plan and have no applicability to any other undeveloped residential portions of the Specific Plan.

B. Relationship to General Plan

The Riverside County General Plan was adopted on October 7, 2003. General Plan Amendment No. 960 amended to 2003 General Plan on December 2015. No changes were made to the Project site. The current General Plan land use designations for the site are: CR (Commercial Retail), CO (Commercial Office) and LI (Light Industrial). At the current time, no changes are proposed to the General Plan land use designations. To implement the General Plan, the proposed modifications to Specific Plan 106 contained in Amendment No. 17 proposes the entire 30.6-acre site within APN 480-160-023 to be modified from the existing C-O (Commercial Office), R-5 (Open Area Combining Zone – Residential Developments), C-P-S (Scenic Highway Commercial), and I-P (Industrial Park) designations, to a HDR (High Density Residential, 8-14 units per acre) designation. Therefore, the proposed Amendment is consistent with the County's General Plan.

C. Relationship to Ordinance No. 460

Tentative Tract Map No. 37078 (Appendix A, Figure 4), a three (3) parcel residential map, will be submitted concurrently with Specific Plan 106, Amendment No. 17. TTM 37078 serves to implement the standards for a Schedule "A" Subdivision contained within Section 10.5 of Ordinance No. 460 (Regulating the Division of Land of the County of Riverside). A Schedule "A" Subdivision is any division of land into 5 or more parcels, where any parcel is less than 18,000 square feet in net area

D. Relationship to Ordinance No. 348

Subsequent development on the site will be subject to the requirements and standards contained within the Ordinance No. 348 (Providing for Land Use Planning and Zoning Regulations and Related Functions of the County of Riverside). Development within the HDR (High Density Residential, 8-14 units per acre) designation will be subject to the requirements of Article VIII, R-3 Zone (General Residential) of Ordinance No. 348.

E. Relationship to County Design Guidelines and Third Supervisorial District Design Standards and Guidelines

Subsequent development within the area of Amendment No. 17 to Specific Plan 106 will be subject the applicable provisions of the County's Design Guidelines and the Third Supervisorial District Standards and Guidelines.

F. Relationship to Multi Species Habitat Conservation Plan (MSHCP)

On June 17, 2003, the Riverside County Board of Supervisors adopted the MSHCP and certified the associated Environmental Impact Report/Environmental Impact Statement (EIR/EIS). According to the Riverside County Integrated Plan (RCIP) Conservation Summary Report Generator, portions of the site are located within three (3) separate Cells:

APN	Cell	Cell Group	Acres	Area Plan	Sub Unit
480160023	Not A Part	Independent	0.17	Southwest Area	Not a Part
480160023	5378	Independent	0.47	Southwest Area	SU5 - French Valley/Lower Sedco Hills
480160023	5477	Independent	15.98	Southwest Area	SU5 - French Valley/Lower Sedco Hills
480160023	5479	Independent	8.38	Southwest Area	SU5 - French Valley/Lower Sedco Hills

Habitat assessment shall be required and should address at a minimum potential habitat for the following species: Burrowing owl.

Criteria Area Species

Davidson's saltscale, Parish's brittlescale, Thread-leaved brodiaea, Smooth Tarplant, Round-leaved filaree, Coulter's Goldfields, and Little Mousetail.

Narrow Endemic Plant Species

Munz's onion, San Diego ambrosia, Many-stemmed dudleya, Spreading navarretia, California Orcutt grass and Wright's trichocoronis.

If potential habitat for these species is determined to be located on the property, focused surveys may be required during the appropriate season.

Habitat Acquisition and Negotiation Strategy (HANS) & Joint Project Review (JPR)

A Habitat Acquisition and Negotiation Strategy (HANS) application was submitted to the Environmental Programs Department (EPD) - Case No. PAR00831 & PM33817. A letter, dated July 6, 2006 was issued by the EPD indicating that no conservation was described for the property. The application was forwarded to the Western Riverside County Regional Conservation Authority (RCA) for Joint Project Review (JPR 06-06-14-01). The JPR concluded that the Specific Plan 106, Amendment No. 17 site is consistent with both the Criteria and Other Plan requirements.

G. Relationship to the Riverside County Airport Land Use Commission (ALUC)

An Airport Land Use Commission (ALUC) Development Review application was submitted to the ALUC – File No. ZAP10223F08 on March 25, 2008. The ALUC Board approved the application on May 8, 2008. A letter was issued by the indicating that the

ALUC found that project consistent with the 2007 French Valley Airport Land Use Compatibility Plan, subject to four (4) conditions of approval. Since there have been revisions to the land use designations since this ALUC approval in 2008, it is anticipated that a new application will need to be submitted to the ALUC in Fall, 2017.

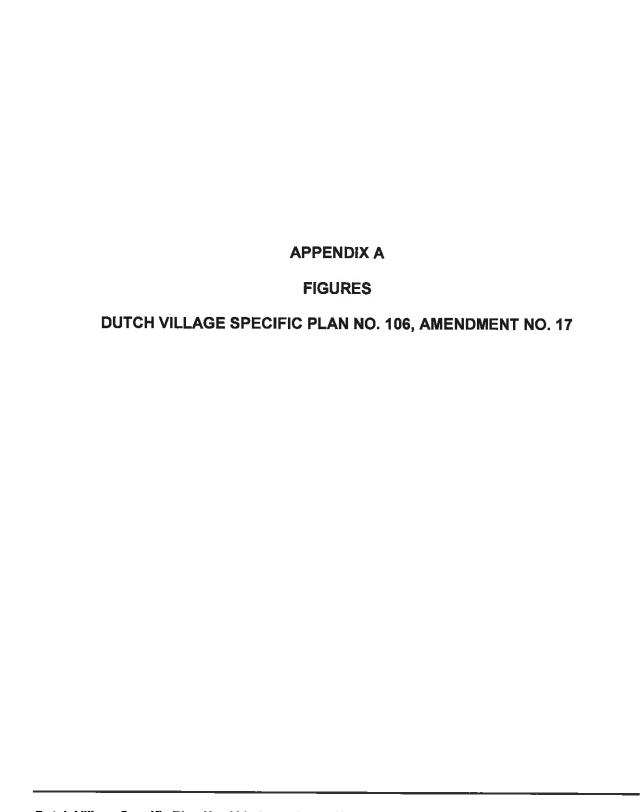


FIGURE 1
REGIONAL MAP

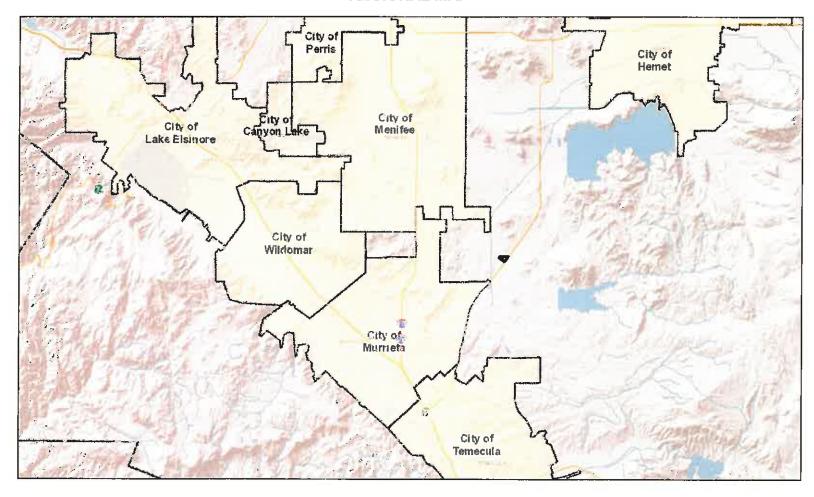


FIGURE 2
CURRENT SPECIFIC PLAN ZONING

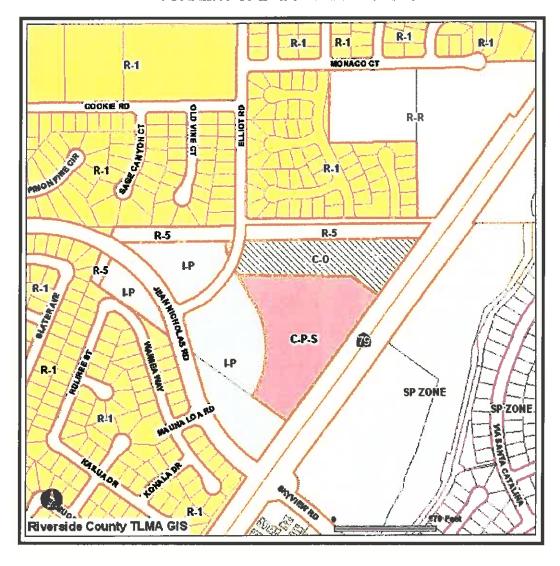


FIGURE 3
PROPOSED SPECIFIC PLAN AMENDMENT EXHIBIT

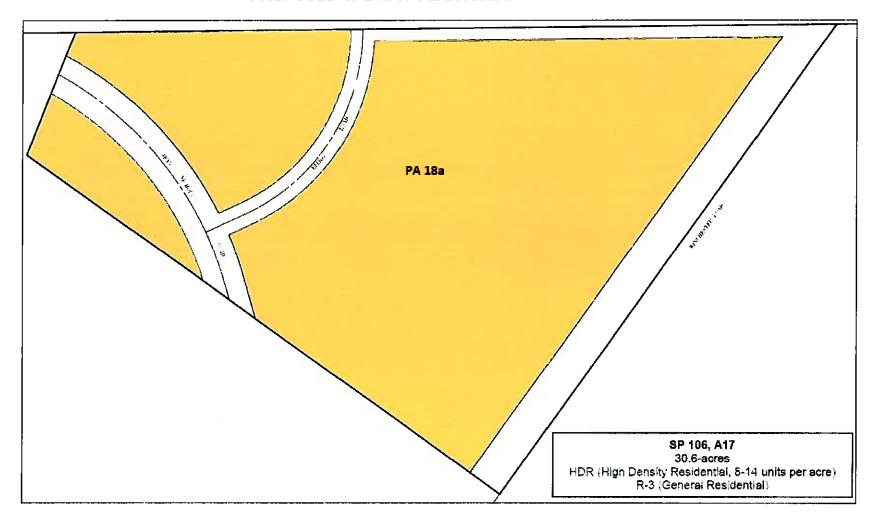
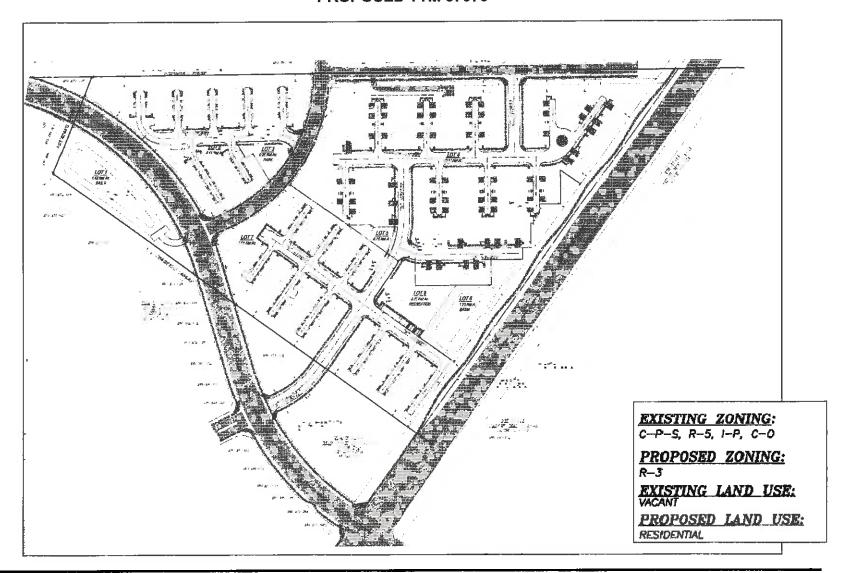


FIGURE 4 PROPOSED TTM 37078



APPENDIX B NARRATIVE HISTORY OF THE DUTCH VILLAGE **SPECIFIC PLAN NO. 160 AMENDMENTS** Dutch Village Specific Plan No. 106, Amendment No. 17

Appendix B Narrative History of the Dutch Village Specific Plan No. 106 Amendments

The Dutch Village Specific Plan 106 (Specific Plan 106) was adopted by the Riverside County Board of Supervisors (Board) in June 1973 and began as a 1,543-acre recreational commercial development with a Dutch Village setting as a theme, and supporting land uses of residential, industrial, and open space. Proposed residential land uses would permit up to 2,253 dwelling units, ranging from 0.1 to 8 dwelling units per acre (d.u./acre). However, the adopted Specific Plan Map extended beyond the boundaries of the original 1,543-acre project to encompass an additional 1,337 acres (2,880 acres total), which was referred to as the "study area." The purpose of the study area was to establish a reasonable relationship of the ultimate land uses. The adopted Specific Plan provided for a maximum of 2,919 dwelling units.

The diversification of ownership of the Specific Plan's acreage together with changes in the economic market has resulted in multiple Specific Plan amendments and subsequent reductions of the acreage to be included.

On March 31, 1982, the Riverside County Planning Commission (Commission) received public testimony, which resulted in a reduction of the Specific Plan boundaries. Testimony presented before the Commission concerned whether the property owners within the 2,880-acre study area wanted to be included in or excluded from Specific Plan 106. The Board on June 1, 1982, adopted Amendment No. 2 to the Specific Plan 106, which further reduced Specific Plan 106 to 1,248 acres and a total of 1,248 dwelling units.

A significant revision to Specific Plan 106 occurred on October 14, 1986, when the Board adopted Amendment No. 3 to Specific Plan 106. The Specific Plan area remained unchanged at 1,248 acres; however, land use designations were revised to provide for more compatible zoning with the County adopted guidelines set for the interim influence areas of the French Valley Airport. Residential land use designations consisted of HDR (High Density Residential, 5.0-6.0 d.u./acre); MDR (Medium Density Residential, 3.0-5.0 d.u./acre); LDR (Low Density Residential, 0.1 and 0.2 d.u./acre); and VLDR (Very Low Density Residential, 0-0.2 and 0-0.4 d.u./acre). A 25-acre school/park site was eliminated and a 10-acre M-SC (Manufacturing—Service Commercial) Zone was created as an off-site storage depot for the Dutch Village. The acreage of VLDR (Very Low Density Residential) and LDR (Low Density Residential); land uses were reduced to 675 acres VLDR (Very Low Density Residential). However, the allowed overall Specific Plan density of 1,248 dwelling units on a total of 1,248 acres remained unchanged from Amendment No. 2.

On October 13, 1987, Substantial Conformance No. 1 to Specific Plan 106 was approved. This substantial conformance application was filed to relocate the fifteen acres of open space in Planning Unit No. 4 to Planning Unit No. 17. This had the effect of eliminating the natural watercourse and distributing the open space throughout the industrial development as miniparks, trails and landscaped buffers. However, subsequent development proposals, (Amendment No. 9 and related applications) have retained the natural open space thus nullifying the effect of the Substantial Conformance No. 1 approval.

The Board adopted Amendment No. 4 to Specific Plan 106 on October 20, 1992. This amendment changed the land use designation on 28.8 acres located in the extreme northerly

portion of Specific Plan 106, adjacent to Baxter Road and Winchester Road (State Route 79), from LDR (Low Density Residential) to C-P-S (Scenic Highway Commercial), C-O (Office Commercial), I-P (Industrial Park) and O-S (Open Space).

Amendment No. 5 concerned 30 acres of land located immediately west of the 28.8 acres included in Amendment No. 4. This amendment proposed changing the land use designation of the subject 30 acres from the LDR (Low Density Residential) to I-P (Industrial Park). The Board modified the amendment, during the public hearing process, to include a fifty-foot wide open space strip along the northern boundary of the subject property. The modified amendment was adopted by the Board on May 9, 1995.

The Board adopted Amendment No. 6 to Specific Plan 106 on September 19, 1995. Amendment No. 6 was concerned with the partially developed 30-acre site containing improvements of the "Hans Brinker Village" located along State Route 79, north of Benton Road and west of Leon Road. The proposal was to permit the relocation of the existing Dutch-theme improvements to a new 30-acre site located south of Benton Road, north of Auld Road, west of Van Galle Lane, and east of Leon Road. The existing land use designations on the subject 30-acre site was Residential ½ acre minimum to the north, Open Space through the center and Residential 1 acre and 2.5-acre minimum acre on the south. The adoption of Amendment No. 6 resulted in the revision of the residential land use designations to Commercial. The Board retained the Open Space designation associated with a drainage area; however, the amendment permitted this area to be utilized to promote a park-like atmosphere around the Dutch Village theme park as well as accommodating flood control measures.

On December 21, 1999, the Board adopted Amendment No. 7 to Specific Plan 106. This amendment changed the land use designation on 80 acres north of Auld Road, west of Pourroy Road and south of Benton Road from VLDR (Very Low Density Residential, 5-acre minimum parcel size), VLDR (Very Low Density Residential, 2½ acre minimum parcel size), LDR (Low Density Residential, 1 acre minimum parcel size) and O-S (Open Space) to MDR (Medium Density Residential, 3.0-5.0 du/ac). This amendment was adopted by the Board on May 9, 1995.

The Board changed an additional 60 acres to MDR (Medium Density Residential, 3.0-5.0 d.u./acre) with the adoption of Amendment No. 8 to Specific Plan 106 on December 21, 1999. This amendment changed the land use designations on the subject 60 acres from VLDR (Very Low Density Residential, 2½ acre minimum parcel size), LDR (Low Density Residential, 1 acre minimum parcel size) and O-S (Open Space) to the MDR (Medium Density Residential) designation. Tentative Tract No. 29174, which divided the 80 acres into 227 residential lots and 2 detention basins.

Amendment No. 9 to Specific Plan 106 proposes to change the land use designation on 120 acres from Industrial, I-P (Industrial Park) and O-S (Open Space) to MDR (Medium Density Residential, 3.0-5.0 du/ac), which propose a total of 380 single-family residential lots. Amendment No. 9 includes the 30 acres that comprised Amendment No. 5 to Specific Plan 106. The Board adopted Amendment No. 9 on May 7, 2002.

Amendment No.10 to Specific Plan 106, changed the land use designation on 64 acres, located south of Benton Road, North of Auld Road, Amendment No. 2 to the Specific Plan, and east and

west of Van Galle Lane, from VLDR (Very Low Density Residential, 2½ acre minimum lot size), LDR (Low Density Residential, 1 acre minimum parcel size) and O-S (Open Space) to MDR (Medium Density Residential, 5.0-6.0 d.u./acre). Tentative Tract No. 30097 which divided 20.04 acres into 67 single family residential lots, 1 detention basin and related streets and Tentative Tract No. 30098 dividing 45.67 acres into 134 single-family residential lots, 2 detention basin lots, 1 open space lot and related streets were adopted concurrently.

Amendment No. 11 to Specific Plan 106 changed the land use designation on approximately 20 acres from VLDR (Very Low Density Residential, 2½ acre minimum lot size), LDR (Low Density Residential, 1 acre minimum lot size), Open Space, and LDR (Low Density Residential, 0.5-acre minimum lot size) to Commercial, Manufacturing-Service Commercial and Open Space. This Amendment was accompanied by Tentative Parcel Map No. 30790 which divided the site into C-1/C-P (Commercial), M-SC (Manufacturing-Service Commercial), and O-S (Open Space) lots. The project site into 14 commercial lots, 5 manufacturing-service commercial lots, 1 detention basin, 1 open space lot and related streets; and Change of Zone No. 6745 which proposes to change the site's zoning designation from R-A-1 (Residential Agricultural – 1 acre minimum lot size) and R-1-2½ (Residential Agricultural – 2½ acre minimum lot size) to C-P-S (Scenic Highway Commercial) and M-SC (Manufacturing-Service Commercial). The Board adopted Amendment No. 11 on February 8, 2005.

Amendment No. 12 to Specific Plan 106 changed the site's land use designation on approximately 20 acres from VLDR (Very Low Density Residential, 5-acre minimum lot size) to MDR (Medium Density Residential. 3.0 - 5.0 d.u./acre). This Amendment was accompanied by Tentative Tract No. 30791 which included the division and grading of approximately 20.13 acres into 50 single-family residential lots, 1 park site, 1 open space lot and related streets; and the construction of 50 single-family residences, 1 park and related streets and infrastructure. Change of Zone No. 6751 changed the zoning of the site underlying Tentative Tract No. 30791 from R-A-5 (Residential Agricultural – 5-acre minimum lot size) to R-1 (One-family dwellings). The Board adopted Amendment No. 12 on March 24, 2004.

Amendment No. 13 to Specific Plan 106 changed the site's land use designation from VLDR (Very Low Density Residential, 5-acre minimum lot size) to MDR (Medium Density Residential 3.0-5.0 d.u./acre). The development plan for this Amendment is described below:

Quinta Do Lago Specific Plan No. 284

The Quinta Do Lago Specific Plan is located entirely within the boundaries of Specific Plan 106. Because this project represented a new mixed-use development plan, the Riverside County Planning Department requested the owners of the 470.1 acres within this project to process it as a new Specific Plan, rather than as an amendment to Specific Plan 106. The Board adopted the Quinta Do Lago Specific Plan No. 284 on August 30, 1994. With the adoption of Specific Plan No. 284, the balance of Specific Plan 106 was fragmented into five discontiguous areas and reduced to its present 777.9 acres.

Winchester Road (State Route 79) is the northwesterly boundary of the Quinta Do Lago Specific Plan, and the French Valley Airport is southwest of the Specific Plan (Figure 6, Specific Plan 106 - Specific Plan Amendments). The adoption of SP 284 resulted in a master planned urban

community with a maximum of 1,318 dwelling units, an average overall density of 2.8 dwelling units per acre. The densities of this Specific Plan range from 3.8 to 16 dwelling units per acre.

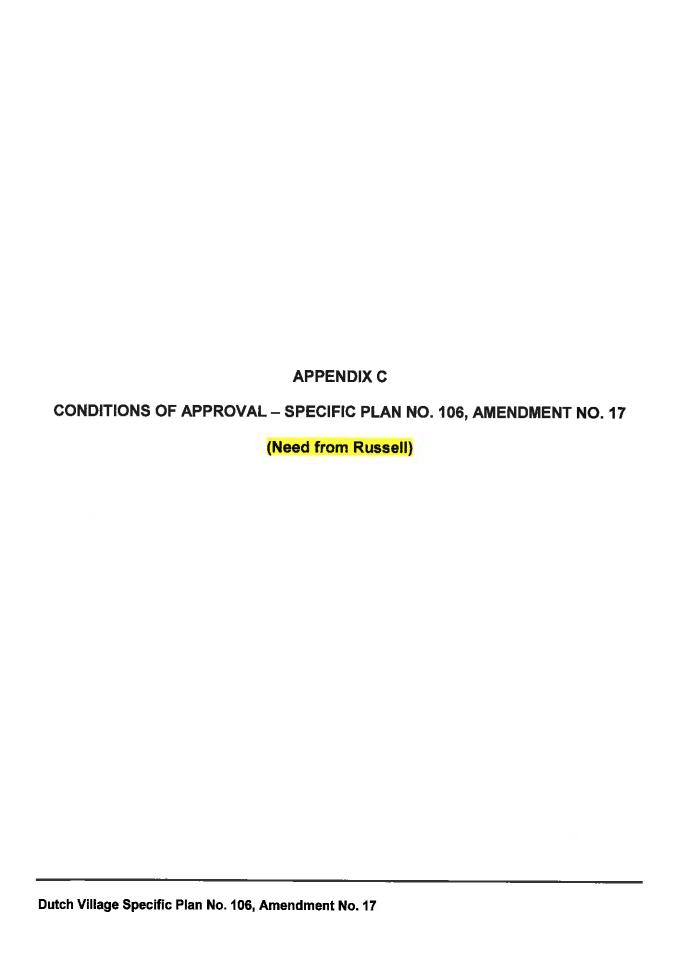
SP 284 also provides for an expanded mix of commercial, industrial and office uses. Land located adjacent to the French Valley Airport, formerly designated as Very Low Density and Low Density Residential in Specific Plan 106, was revised in SP 284 to Industrial Park (38.8 acres) and Office/Industrial Park (12.2 acres). A 57-acre planned Commercial/Business and Industrial Park was planned from former planning areas of Specific Plan 106 previously designated for Commercial and Residential.

Amendment No. 14 to Specific Plan 106 changed the site's land use designation from Industrial Park to MDR (Medium Density Residential, 2.0 – 5.0 d.u./acre). This Amendment was accompanied by Tentative Tract Map No. 31330, which was for the division and grading of approximately 29.3 acres into 86 single-family residential lots, a neighborhood park, a 3-acre industrial park lot and 2 transportation corridor lots, which were adjacent to Winchester Road. Change of Zone No. 6814, changed the zoning on the site for that portion south of Jean Nicholas Road from R-5 (C2 5000) and I-P (C2 5000) to R-1 (One-family dwellings, 7,200 square foot minimum lot size).

Amendment No. 15 to Specific Plan 106 has since been withdrawn and assigned a new Amendment number (No. 17).

Amendment No. 16 to Specific Plan 106 proposes to change 13.8 acres of APN 963-010-006 from VLDR (Very-Low Density Residential, 1 acre minimum lot size) to MDR (Medium Density Residential, 2.0 – 5.0 d.u./acre) and 11.09 acres of APN 963-010-010 from MDR (Medium Density Residential, 2.0 – 5.0 d.u./acre) to R-R (Rural Residential, 5-acre minimum lot size). This Amendment is accompanied by Tentative Tract Map No. 32323, which proposes the subdivision and grading of approximately 20 acres into 38 single-family residential lots. Change of Zone No. 7214 changes the zoning of the site underlying Tentative Tract Map No. 32323 from R-A-1 (Residential Agricultural, 1 acre minimum lot size) to R-1 (One-family dwellings, 7,200 square foot minimum lot size).

The current Project is the 17th Amendment to Specific Plan 106 (SP106, A17). Amendment No. 17 proposes the entire 30.6-acre site within APN 480-160-023 (PA18a) to be modified from the existing C-O (Commercial Office), R-5 (Open Area Combining Zone – Residential Developments), C-P-S (Scenic Highway Commercial), and I-P (Industrial Park) designations, to an HDR (High Density Residential, 8-14 units per acre) designation and provides guidelines which still reflect the original intent of SP 106.



APPENDIX D DUTCH VILLAGE SPECIFIC PLAN NO. 106, AMENDMENT NO. 17 DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

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A. AMENDMENT NO. 17 DEVELOPMENT STANDARDS

Design of residential sites within the Amendment No. 17 portion of Specific Plan 106 (SP106, A17) is an essential component of the land use plan. Specific standards and criteria are provided for SP106, A17, to address setbacks, pad sizes, lot coverage, and encroachments. **Figures D-1 through D-8** illustrates these concepts and offer information regarding placement of residences within the community. Each figure contains a detail of the typical lot for each product type with a corresponding table that lists specific development standards for that lot.

Single-family detached homes shall be developed in accordance to the standards provided on the following:

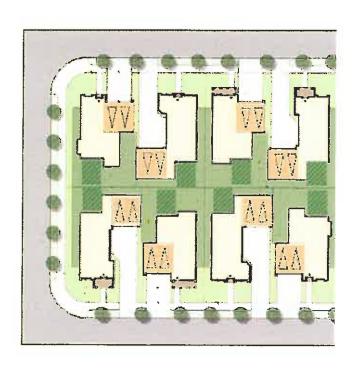
- Figure D-1, Single-Family Detached: Paired:
- Figure D-2, Single-Family Detached: Rear-Cluster (Garden Court);
- Figure D-3, Single-Family Detached: Cluster (Motor Court);
- Figure D-4, Single-Family Detached: Rear-Loaded;
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- Figure D-6, Single-Family Detached: Rear-Cluster (Motor Court 8-Plex).

Multi-family attached homes shall be developed in accordance to the standards provided on the following:

- Figure D-7, Multi-Family Attached: Duplex/Triplex; and
- Figure D-8, Multi-Family Attached: Townhomes.

It should be noted that SPA106, A17 only applies to Planning Area 18a of Specific Plan 106.

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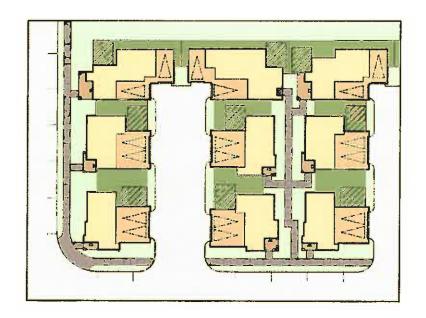


	Dwelling Space
	Garage
	Porch/Patie
	Yard
	Private Yard
11/2	Minimum Required Frivate Open Space
	Roadway
	Sidewalk/Walloway/Driveway

Single-Family Detached: Pa Development Standards	A
Designation/ Use	Single-Family Detached: Paired
Lot Dimensions	
Minimum Lot Width	25'
Minimum Frontage on cul-de-sac	20'
Setbacks	
Front Facing Street	10'
Front-Entry Garage	20'
Side-Entry Garage	15'
Street Side	4
Interior Side	4'
Rear	5' 1
Other	
Maximum Structural Height	40'
Minimum Private Open Space	400 sq ft Minimum 15' dimension
Encroachments (freplaces, AC units, media centers)	2' 2
Off Street Parking Requirements per DU	2 spaces/du

Deep recessed garage may encroach 3'
At least one side must have 5' clear

As reflected in the Zoning Ordinance.



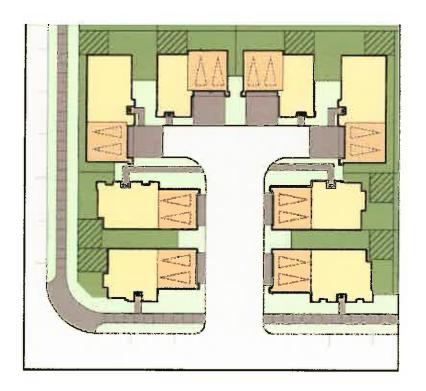
Designation∄Use	Single-Family Detached: Rear- Cluster (Garden Court)
Lot Dimensions	
Minimum Lot Width	31'
Setbacks	2000
Minimum Front Yard – to main structure	5' from walkway
Minimum Front Yard – to porch	5' from walkway
Minimum Corner Side Yard	5'
Minimum Interior Side Yard	4 or 8 between structures
Minimum Rear Yard	5
Garage Setbacks	2' max
Front to Side: Between Structures	20"
Side to Side: Between Structures	10
Rear to Rear: Between Structures	15'
Rear to Rear Across Alley or Motor Court	30
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2'

Dwelling Space
Garage
Porch/Patio
Yard
Private Yard
Manimum Required Private Open Space
Readway
Sidewalk/Wallesay/Deiveway

1 At least one side must have 5' clear

As reflected in the Zoning Ordinance.

Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.



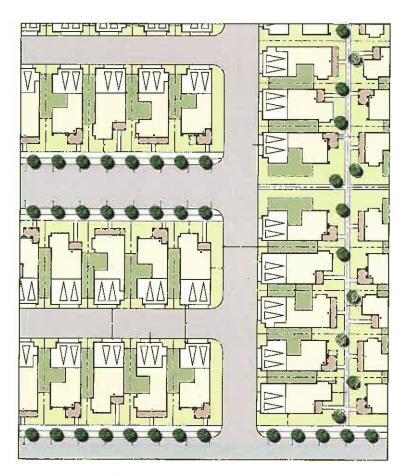
Single-Family Detached: Cluster (I Development Standards	
Designation/ Use	Single-Family Detached: Cluster (Motor Court)
Lot Dimensions	
Minimum Lot Width	311
Setbacks	
Minimum Front Yard – to main structure	5' from walkway
Minimum Front Yard – to porch	5' from walkway
Minimum Corner Side Yard	4'
Minimum Interior Side Yard	4' or 8' between structures
Minimum Rear Yard	8'
Garage Setbacks	2¹ max
Front to Side: Between Structures	20
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	15
Rear to Rear Across Alley or Motor Court	30"
Other	
Maximum Structural Height	401
Minimum Private Open Space	180 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2.1

¹ At least one side must have 5' clear

Divelling Space
Garage
Porch / Fatro
Yard
Private Yard
Minimum Required Private Open Syste
Roadway
Sidewalk/Walkway/Driveway

Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

As reflected in the Zoning Ordinance,



Single-Family Detached: Rear-	Loaded
Development Standards	
Designation/ Use	Single-Family Detached: Rear-Loaded
Lot Dimensions	
Minimum Let Width	31'
Setbacks	
Front Elevation Facing Street	10"
Front Elevation Facing Green Court	10'
Street Side Elevation	5'
Interior Side Elevation	5'
Rear Elevation	10'
Rear-Entry Garage	3'-5' or 18' min,
Front to Front Across Green Court	20'
Front to Front Across Alley or Motor Court	30
Front to Side	10
Side to Side	10"
Rear to Rear Across Alley or Motor Court	30
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq ft Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2,1

1 At least one side must have 5' clear

As reflected in the Zoning Ordinance.

		Residential	Living	Space
--	--	-------------	--------	-------

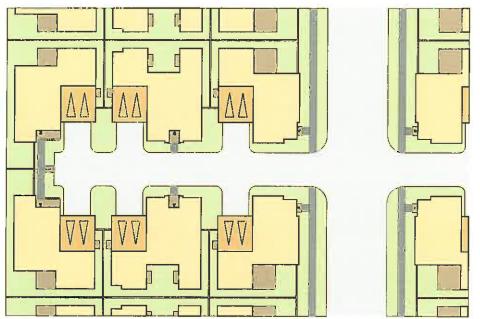
- Front Door
- Garage
 Porch/Patio/Balcony
- Private Yard Exclusive Use Area
- Common Open Space
 Parkway
 Sidewalk

- Driveway
 Street/Private Drive

Studio or single-bedroom units shall provide 1.25 spaces per unit | two-bedroom units shall provide 2.25 spaces per unit; three or more bedroom units shall provide 2.75 spaces per unit plus 1 space per employee.

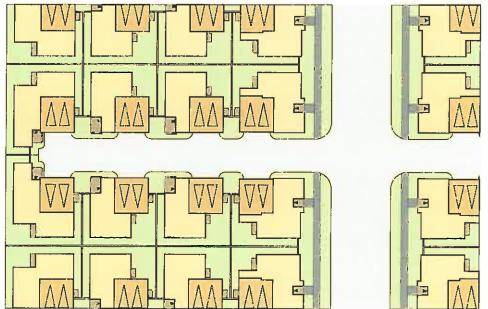
Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

SINGLE-FAMILY DETACHED: **REAR-LOADED - FIGURE D-4**



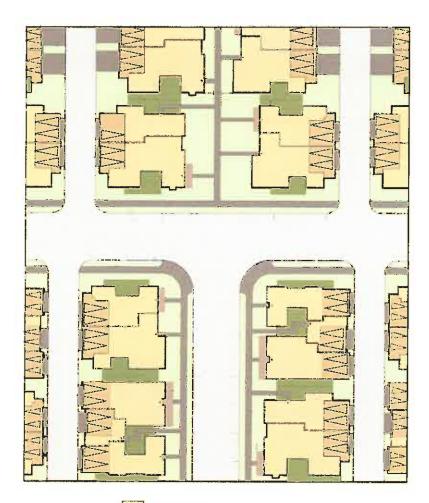
Single-Family Detached: Rear-Cluster (N	flotor Court - 6 Plex)
Development Standards	
Designation/ Use	Single-Family Detached: Rear Cluster (Motor Court 6-Plex)
Lot Dimensions	
Minimum Lot Width	50'
Setbacks (minimums)	
Front Yard – to main structure	4' from walkway/curb
Front Yard - to porch	4' from walkway/curb
Corner Side Yard	5'
Interior Side Yard	5' or 10' between structures
Rear Yard	5'
Garage Setbacks	18'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	10'
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq. ft. Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' 1

Dwelling Space
Garage
Porch/Patio
Yard
Roadway
Sidewalk/Walkway/Driveway



Single-Family Detached: Rear-Cluster (F	Motor Court - 8 Plex)
Development Standards	
Designation/ Use	Single-Family Detached: Rear- Cluster (Motor Court 8-Plex)
Lot Dimensions	
Minimum Lot Width	40'
Setbacks (minimums)	
Front Yard - to main structure	4' from walkway/curb
Front Yard - to perch	4' from walkway/curb
Corner Side Yard	5
Interior Side Yard	5' or 10' between structures
Rear Yard	5'
Garage Setbacks	4'
Side to Side: Between Structures	10'
Rear to Rear: Between Structures	10'
Other	
Maximum Structural Height	40'
Minimum Private Open Space	180 sq. ft. Minimum 12' dimension
Encroachments (fireplaces, AC units, media centers)	2' 1

	Dwelling Space
	Garage
	Porch/Patio
	Yard
	Roadway
-	Sidewalk/Walkway/Driveway

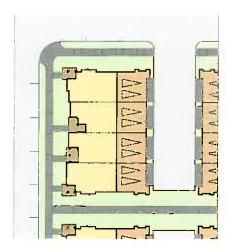


	Dwelling Space
	Garage
	Porch/Patio
	Yard
$[. \]$	Private Yard
	Roadway
	Sidewalk/Walkway/Driveway

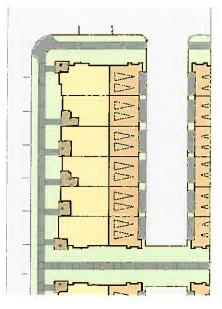
Designation/Use	Multi-Family Attached	
	Duplex/Triplex	
Lot Dimensions		
Lot Width	31'	
Setbacks		
Front Facing Street	8'	
Front Facing Green Court	10'	
Front-Entry Garage	20'	
Street Side	5'	
Interior Side	5'	
Encroachments	2	
Rear	8'	
Rear Entry Garage	2' max	
Encroachments	4'	
Front to Side: Between Structures	20	
Side to Side: Between Structures	10	
Rear to Rear: Between Structures	15	
Rear to Rear Across Alley or Motor Court	30'	
Other		
Maximum Structural Height	40'	
Minimum Private Open Space	200 SF	
Encroachments (fireplaces, AC units, media centers)	2.1	
Off Street Parking Requirements per DU	2 spaces/du	

1 - At least one side must have 5' clear

As reflected in the Zoning Ordinance.







Multi-Family Attached: To	#(III(A)(Ib2	
Development Standards		
Designation/ Use	Multi-Family Attached: Townhomes	
Lot Dimensions		
Minimum Lot Width	60'	
Setbacks Setbacks		
Minimum Front Yard – to main structure	10' from walkway	
Minimum Front Yard - to porch	5	
Minimum Corner Side Yard	10' 1	
Minimum Interior Side Yard	10' from walkway 25' between structures	
Minimum Rear Yard	20' between structures	
Garage Setbacks	2' max	
Other		
Maximum Structural Height	48'	
Minimum Private Open Space	100 sq ft Minimum 12' dimension	
Encroachments (fireplaces, AC units, media centers)	2' 2	

1 5' public, 5' private

2 At least one side must have 5' clear

As reflected in the Zoning Ordinance.

Private drives shall be a minimum of 30' wide; however, a minimum of 24' wide may be permitted provided that the drive is less than 150' in length and connects at one end to a circulating road; or the drive is less than 300' in length and connects at both ends to a circulating road, or as approved by Fire Department.

B. AMENDMENT NO. 17 DESIGN GUIDELINES

1. Introduction

The intent of these Design Guidelines is to create project specific site, design, and landscape architecture design criteria, which will guide the future development within SP 106, A17. These Guidelines are intended to assist in providing the continuity and overall image that will make SP106, A17 a unique and special community while encouraging creative design and individuality. These criteria are not intended to provide a rigid or inflexible framework for future development; variations based upon changes to site layout, specific site conditions, as well as the visions of individual architects and landscape architects are anticipated. It should be noted that these Design Guidelines developed for SPA106, A17 only apply to Planning Area 18a of Specific Plan 106.

All developments within SPA106, A17 shall be designed to comply with these criteria.

2. Residential

The purpose of the residential Design Guidelines is guide the layout and design of future residential developments with SP 106, A17. These guidelines, working in conjunction with the HDR (High Density Residential, 8-14 units per acre) requirements of Article VIII, R-3 Zone (General Residential) of Ordinance No. 348, shall determine the character and scale of all future development in SP106, A17.

a) Site Layout and Access and & Building Orientation

The layout of a residential area is the first step in creating a viable neighborhood. A properly planned neighborhood should contain both community-wide and private amenities and encourage safe travel for pedestrians and motor vehicles.

Site Layout and Access

- Neighborhood access points should be logically and functionally located to facilitate safe access for pedestrians and vehicles.
- Enhanced landscaping shall occur at the entries to identify the points of entry and set the tone for the project development.
- Safe travel paths should be provided between all areas within the neighborhood as well as the streets and sidewalks in the surrounding area.
- Public open spaces should be located in areas that are easily accessible to the majority of the surrounding units.
- Varied building setbacks, variations in building façade, varied massing of porch sizes and widths, offsets from the front building setback shall be used to create visual interest and variety along street scene. The use of architectural style variation, as well as massing and color shall be utilized. Please refer to the Development Standards in Section F.A. AMENDMENT NO. 17, DEVELOPMENT STANDARDS, which call for minimum setback requirements, which will allow for the variation required.
- Pedestrian walkways should be incorporated into the overall layout of the site in a logical manner.

ii. Building Orientation

- Buildings should be composed of simple yet varied plans to assure compatibility and variety of the overall building form.
- Buildings on corner lot parcels should be oriented in such a manner as to open space areas, and/or porches.
- Buildings should be oriented to minimize instances where the primary living spaces of one structure face the primary living spaces of an adjacent unit. Garage locations shall be plotted on the left and right sides of lots, thereby creating multiple conditions and variations for living spaces to be off-set. This shall be accomplished at the precise grading plan and residential product review phases of development.

b) Building Design

i. Architectural Styles

The architectural styles within SP106, A17 are intended to complement and reinforce its overall community image. A variety of architectural styles are pivotal to creating a high-quality community image. No specific community theme is proposed; however, the community image will be reinforced through quality residential and landscape architectural designs, a hierarchy of monumentation, and consistent use and application of landscape and hardscape elements.

SP106, A17 will feature four (4) unique architectural styles that adhere to the overall community theme. The architectural styles include: Spanish Colonial, Formal Spanish, Andalusian, and Adobe Ranch. These architectural styles were selected based on their variety, compatibility and visual interest they would provide.

Developers, builders, engineers, architects, landscape architects and other design professionals will be required to use the guidelines in order to maintain design continuity, create an identifiable image, and develop a cohesive community. The following descriptions and referenced graphics provide an overview of the general architectural styles desired for SP106, A17.

Again, it should be emphasized that individual character and interpretation are encouraged, and it is not the intent that all of the following represented design components be incorporated into the design proposals. These examples are only conceptual in nature and do not necessarily depict the actual final design. Finalized floor plans and elevations will be determined at a later stage of development. Conceptual plans developed for the housing programs are required to be submitted for review by the design review team administered by the master developer after approval of the Specific Plan. Upon approval of the conceptual plans by the master developed, designs will be reviewed by the County using the standards contained within SP106, A17 prior to approval of the design drawings and construction documents.

At a minimum, there should be at least three (3) different floor plans, per product type. If phasing is proposed, then a phasing plan shall be submitted to assure that the requirements for the number of floor plans is being met. In addition, each floor plan shall have at least four (4) distinct elevations. One (1) elevation shall not be repeated more than each fourth (4th) house.

Spanish Colonial Architectural Style

Spanish Colonial is an adaptation of Mission Revival enriched with additional Latin American details and elements. The style attained widespread popularity after its use in the Panama-California Exposition of 1915. This historic style is embodied by simple forms, massing and details, along with contrast of materials and textures. Further architectural distinction is established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

Examples of how the Spanish Colonial architectural style may be applied to the multi-family residential homes within SP106, A17 are provided on Figure D-9a, Spanish Colonial Architectural Style and Figure D-9b, Spanish Colonial Architectural Details (refer to pages D-27 and D-28). The visual graphic examples and accompanying descriptive text on Figure D-9a and Figure D-9b are the required elements that shall be provided on the Spanish Colonial residential development constructed in SP106, A17. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Spanish Colonial architectural style.

Section F.B.2.c of this SP106, A17 (*Residential Criteria*) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within SP106, A17. These criteria will also apply to the Spanish Colonial architectural style.

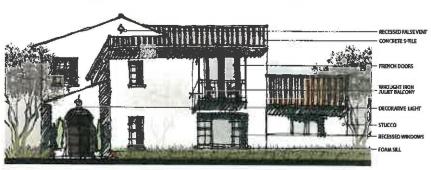
However, additional essential elements specific to the Spanish Colonial architectural style are listed below, and are contained in Figure D-9a, Spanish Colonial Architectural Style and Figure D-9b, Spanish Colonial Architectural Details. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Essential elements:

- Stucco walls;
- Shallow sloped 'S' tile roofs;
- Recessed openings, door, windows at exposed elevations;
- Decorative iron work;
- Simple trim detailing:
- Arched openings where possible;
- · Simple uncomplicated gable roofs; and
- Stucco cornices.

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Spanish Colonial style is embodied by simple forms, massing and details, along with contrast of materials and textures. Further architectural distinction is established through the use of tile roofs, stucco walls, heavily textured wooden doors and highlighted ornamental ironwork.

SPANISH COLONIAL ARCHITECTURAL STYLE - FIGURE D-9a
Page D-17

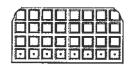




Eave Window and Trim



Gable End Vent



Garage Door and Trim







Juliet Balcony

Entry Door and Trim



Chimney Shroud

Formal Spanish Architectural Style

Formal Spanish is an eclectic style that borrows from numerous Mediterranean sources. Simple geometric shapes with predominately stucco exteriors along with focused details define the style. Architectural elements include gable end details, pediment entries, as well as wrought iron Juliet balconies. This style is further characterized by the use of deeply recessed windows and decorative iron grill work.

Examples of how the Formal Spanish architectural style may be applied to the multi-family residential homes within SP106, A17 are provided on Figures D-10a, Formal Spanish Architectural Style and D-10b, Formal Spanish Architectural Details. The visual graphic examples and accompanying descriptive text on Figure D-10a and Figure D-10b are the required elements that shall be provided on the Formal Spanish residential development constructed in SP106, A17. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Formal Spanish architectural style.

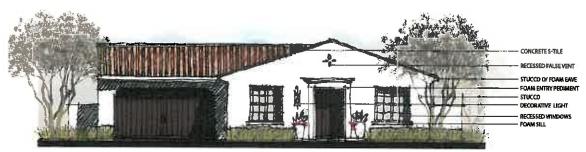
Section F.B.2.c of this SP106, A17 (*Residential Criteria*) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within SP106, A17. These criteria will also apply to the Formal Spanish architectural style.

However, additional essential elements specific to the Formal Spanish architectural style are listed below, and are contained Figures **D-10a**, *Formal Spanish Architectural Style* and Figure **D-10b**, *Formal Spanish Architectural Details*. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

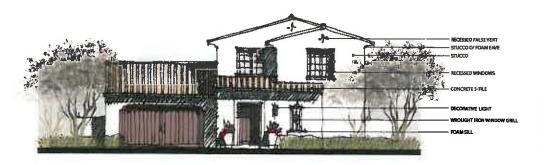
Essential elements:

- Stucco walls:
- Shallow sloped 'S' tile roofs;
- · Recessed openings, door, windows at exposed elevations;
- Decorative iron work;
- Simple trim detailing;
- Enhanced/detailed primary openings;
- Simple geometric shapes; and
- Stucco cornices.

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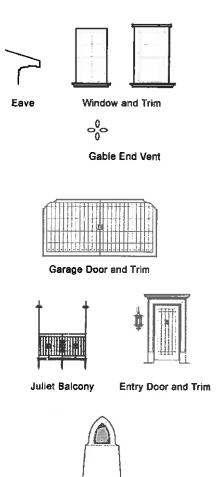




Formal Spanish is an eclectic style that borrows from numerous Mediterranean sources. Simple geometric shapes with predominately stucco exteriors along with focused details define the style. Architectural elements include gable end details, pediment entries, as well as wrought iron Juliet balconies. This style is further characterized by the use of deeply recessed windows and decorative iron grill work.

FORMAL SPANISH ARCHITECTURAL STYLE - FIGURE D-10a





FORMAL SPANISH ARCHITECTURAL DETAILS - FIGURE D-10b

Chimney Shroud

Andalusian Architectural Style

Andalusian refers to the richness of the detailing commonly prevalent in the area South of Spain. Because Southern California has deep Spanish roots, and with its climate strikingly similar to the Andalusian region, the style was seen as an appropriate architectural expression for the area. Identifying features are low-pitched 'S' tile roofs, pedimented entry doors and shaped cornice detailing. Further architectural distinction is established through slump block elements as well as decorative ironwork.

Examples of how the Andalusian architectural style may be applied to the multi-family residential homes within SP106, A17 are provided on Figure D-11a, Andalusian Architectural Style and Figure D-11b, Andalusian Architectural Details. The visual graphic examples and accompanying descriptive text on Figure D-11a and Figure D-11b are the required elements that shall be provided on the Andalusian residential development constructed in SP106, A17. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Andalusian architectural style.

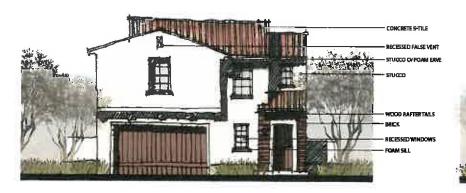
Section F.B.2.c of this SP106, A17 (*Residential Criteria*) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within SP106, A17. These criteria will also apply to the Andalusian architectural style.

However, additional essential elements specific to the Andalusian architectural style are listed below, and are contained **Figure D-11a**, **Andalusian Architectural Style** and **Figure D-11b**, **Andalusian Architectural Details**. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Essential elements:

- Predominantly stucco walls;
- Brick enhancements:
- Shallow sloped 'S' tile roofs;
- Cornice eaves or wood rafter tail open eaves at enhanced wall materials;
- Recessed openings, door, windows at exposed elevations;
- Simple trim detailing;
- Simple geometric shapes: and
- Decorative iron work.

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Andalusian refers to the richness of the detailing commonly prevalent in the area South of Spain. Because Southern California has deep Spanish roots, and with its climate strikingly similar to the Andalusian region, the style was seen as an appropriate architectural expression for the area. Identifying features are low-pitched 'S' tile roofs, pedimented entry doors and shaped cornice detailing. Further architectural distinction is established through slump block elements as well as decorative ironwork.

ANDALUSIAN ARCHITECTURAL STYLE - FIGURE D-11a







Eave

Window and Trim



Gable End Vent



Garage Door and Trim





Juliet Balcony

Entry Door and Trim





Chimney Shroud

Painted Brick

ANDALUSIAN ARCHITECTURAL DETAILS - FIGURE D-11b

Adobe Ranch

Adobe Ranch had a long and deeply rooted history in California. The style is derived from the original Spanish Missions, which were well suited for the mild Southern California climate. Simple, uncomplicated gable roofs, with vertically proportioned exterior openings and covered outdoor spaces defined the traditional massing. Architectural elements include header trim at all windows, as well as recessed entry doors and introducing brick elements.

Examples of how the Adobe Ranch architectural style may be applied to the multi-family residential homes within SP106, A17 are provided on Figure D-12a, Adobe Ranch Architectural Style and D-12b, Adobe Ranch Architectural Details. The visual graphic examples and accompanying descriptive text on Figure D-12a and Figure D-12b are the required elements that shall be provided on the Adobe Ranch residential development constructed in SP106, A17. While these elements are required, some additional latitude may be provided to the developer, at the discretion of the Director of Planning, provided that they demonstrate that any other elements utilized are consistent with the Adobe Ranch architectural style.

Section F.B.2.c of this SP106, A17 (*Residential Criteria*) discusses building mass and scale, building materials and colors, windows and doors, porches and balconies, columns and posts, garages, rear and side articulation/facade treatment, and roof materials and colors in an overall sense as it pertains to the residential development within SP106, A17. These criteria will also apply to the Adobe Ranch architectural style.

However, additional essential elements specific to the Adobe Ranch architectural style are listed below, and are contained on **Figure D-12a**, **Adobe Ranch Architectural Style** and **Figure D-12b**, **Adobe Ranch Architectural Details**. These elements shall be utilized for this style, and it will be up to the designer to implement these properly to achieve the greatest design possible.

Essential Elements:

- Predominantly stucco walls;
- Slump block enhancements:
- Shallow sloped 'S' tile roofs:
- Cornice eaves or wood rafter tail open eaves at enhanced wall materials;
- Recessed openings, door, windows at exposed elevations;
- Header and/or sill trim at all doors and windows; and
- Simple geometric shapes.

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Adobe Ranch had a long and deeply rooted history in California. The style is derived from the original Spanish Missions, which were well suited for the mild Southern California climate. Simple, uncomplicated gable roofs, with vertically proportioned exterior openings and covered outdoor spaces defined the traditional massing. Architectural elements include header trim at all windows, as well as recessed entry doors and introducing brick elements.

ADOBE RANCH ARCHITECTURAL STYLE - FIGURE D-12a

















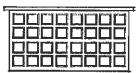


Eave

Window and Trim



Gable End Vent



Garage Door and Trim





Juliet Balcony

Entry Door and Trim





Slump Block

ADOBE RANCH ARCHITECTURAL DETAILS - FIGURE D-12b

c) Residential Criteria

i. Building Mass and Scale

Building mass and scale are two of the primary design components used to establish appealing communities and personable neighborhoods. Controlling the mass of a building through design articulation of the building façades, rooflines, and vertical and horizontal planes effectively reduces the visual mass of a building. Mass and scale are important design considerations during the development of street friendly and pedestrian scale architecture, which will be used throughout SP106, A17. Attention to setbacks, building types, and architectural styles will help to provide variation in the mass and scale of buildings. Every opportunity should be considered to improve the visual relationship between adjacent buildings.

Single story elements are encouraged on lots of all sizes, where possible. Where there are smaller lots (i.e., 4,500 square foot), porches and projections at the first-floor level shall be considered part of the "single-story elements" listed and depicted below.

All primary residential structures shall provide 360-degree (360°) architecture. This shall be defined as having articulation on all four sides of the building, consistent with the architectural style. The amount of detailing shall be appropriate to the side of the structure (i.e., it is anticipated that the front of the building will contain the most amount of articulation and detailing, with less on the sides and rear).

- The development of one-story elements along neighborhood streets and at street corners shall be designed to allow the residence to step back from a given edge and provides for a manageable scale.
- A single-story architectural element within a two-story building shall be used to lessen the appearance of the building mass.
- Units located at street corners shall have the single-story portions of their mass plotted towards the exterior side yard. The offsetting of second story elements away from the property line is required, which improves the appearance of the front and side yards. To achieve this desired effect, the second-story shall be set back in relation to the garage face below it.









Building Materials and Colors

Building materials and colors are important elements when used to achieve a true representation of a specific architectural style as depicted in **Figures D-9b through D-12b**, **Architectural Details**. The use of building materials and colors play a key role in developing community character and ambiance. The character and personality of a residential neighborhood is significantly affected by the composition of the materials and colors of the homes within it. Consideration must be given to selecting a variety of complimentary color and material palettes along any given street. A scheme of color values on all exterior elements shall be distinct from one house to the next, with deeper tones encouraged to promote variations. The selected architectural styles for SP106, A17 allow for a diversity of colors and materials.

- Colors shall be as authentic to the style as possible when compared to the traditional color palette of the selected style.
- Consideration shall also be given to colors available in the contemporary market. In addition
 to the colors suggested for the particular architectural style, acceptable materials and colors
 include:
 - o Earth-toned colors.

- Colors that appear indigenous to the environment.
- Materials should also be indigenous in appearance to the environment, such as stone or stucco.
- Material breaks, transitions, and termination shall produce complementary and clear definitions of separation, while maintaining a prescribed color and materials theme. This is especially important in changing from stucco and/or siding to masonry veneers.
- On contiguous lots, structures with the same or similar colors of stucco will not be permitted. This will avoid a monotonous appearance of multiple buildings of the same colors and tones. This shall be accomplished at the precise grading plan and residential product review phases of development. Review of plotting at the precise grading plan stage will assure that there is variety in terms of architectural styles. At the architectural review stage, elevations, along with colors and materials shall be provided to ensure that the desired streetscene in obtained. There is no hard and fast formula (i.e., %'s) to achieve this goal. The ultimate plan for diversity shall be a fluid process administered by the County.

iii. Windows and Doors

As shown in **Figures D-9b through D-12b**, *Architectural Details*, window and door details are architectural components that carry a strong visual impact through their placement and design. The proportion of the windows and doors to the wall massing varies according to the architectural style chosen.

- Entrances shall be clearly defined and inviting.
- Window glass shall be inset from the exterior wall surface and/or provided with dimensional trim to provide a sense of depth.
- The placement of windows is especially important on higher-density residences, and the
 privacy of adjacent residences should be considered when locating windows. Windows
 shall be staggered on adjacent homes to create a greater sense of privacy.
- Window frames, mullions, awnings, and door frames are encouraged and should be color coordinated with the rest of a building. Architectural projections and recesses, such as popout windows and doors, shutters, and pot shelves, shall be used to achieve articulation and shadowing effects.
- Front entries shall be articulated through the use of roof elements, porches, columns, arches
 or other architectural features.
- Window details create an opportunity to provide contrasting trim colors. Multi-lite windows, clerestories, paned/side-lite doors, and shutters are encouraged where appropriate to the architectural style of the home.

iv. Porches and Balconies

Porches and balconies, when utilized, integrate indoor and outdoor living spaces, allow for elevated garden locations that provide light and air to the interior, and provide shelter. Porches and balconies can be used to break up large wall masses and reduce the scale of the house at the street and sidewalk edge. Along neighborhood streets, front porches can add an element of personal scale and ambiance, where neighbors can socialize with one another.

• The use of front porches, when utilized, with a minimum usable width of 5.0 to 6.0 feet, is strongly encouraged along local and residential streets. This is an important design feature that is appropriate and shall be in proportion to the particular architectural style utilized.

 A porch rail, if utilized, should be included to define the space and add architectural detail to the porch and the front elevation of the house. Railing shall be provided in accordance with the authenticity of the particular architectural style, as depicted on Figures D-9b through D-12b, Architectural Details.

v. Columns and Posts

Columns and posts, when utilized, are another important design components in many of the suggested architectural styles for SP106, A17, and are often signature elements of a particular style. Columns and posts, as appropriate to the respective architectural styles, are depicted on **Figures D-9b** through **D-12b**, **Architectural Details**.

- These elements, when utilized, shall be incorporated as structural and aesthetic design elements and shall be dimensioned appropriately so that a solid and durable image is conveyed.
- The scale and dimension of these elements will vary depending upon the architectural style and shall reflect the selected style when they are introduced in the design proposals.

vi. Garages

In a society geared toward the automobile, the automobile's housing needs have come to be the predominant architectural element in many neighborhoods. To avoid this, SP106, A17 requires that garages do not detract from the overall appearance of the residence. To achieve an attractive streetscene, particular attention shall be given to the design, placement and orientation of garages in all residential neighborhoods, as shown in **Figures D-9b through D-12b**, **Architectural Details**. While maintaining an awareness of the contemporary market and the targeted market segment, every effort is expected to minimize the impact of the garage on the residential neighborhood. When accompanied by the development standards in F.A. AMENDMENT NO. 17 DEVELOPMENT STANDARDS, garage placement shall be in harmony with the overall desired streetscene.

- Depending upon lot size, the following methods shall be utilized, to include, but not be limited to:
 - o Side loaded, or rear-loaded orientations.
 - Garage setbacks greater than the front yard living area setback.
 - o Rear of lot garage placement with driveway access from the front of the lot.
 - o Tandem garages.
 - Garage door design considerations that include recessed doors, creative panel design, windows, and color.
 - o A porte-cochere architectural element.
- Accent colors should be used to compliment the architecture and provide visual variety along the streetscape.
- Where provided, garage door windows should correspond to the window forms of the house.

vii. Rear and Side Articulation/Facade Treatment

The design consideration and treatment of the rear and side facades of residential buildings has become recognized as an important element in the success of a community's visual character and environment.

- For interior and side yards, it is desirable to create the appearance of increased building separation whenever possible. Problems occur when setbacks are not varied or when second story elements are not offset. These conditions allow little light to penetrate between buildings and create the effect of a "canyon" within the side yards. In many cases, side yard slopes result in both vertical and horizontal separation that is sufficient to mitigate this concern. Where side yard slopes do not exist, one or more of the following solutions shall include, but not be limited to:
 - Side elevations should be varied by stepping back the second-story at the side yard, consistent with the architectural style. This allows more light to penetrate and gives architectural interest and variety to yards. This can also be achieved by offsetting the garage in relationship to the balance of the unit.
 - By providing single-story elements in the side-yard, such as a breezeway, porch, or single-story room off to the side of the structure that is only one-story in height, you create relief of the second-story massing.
 - o Reducing the roof height over an interior volume will increase variety and light penetration to the side yards. On the interior, this could be a cathedral ceiling, which would enhance the interior as well.
- All rear and side elevations are required to have several enhancements to avoid the repetitious effect and avoid a monotonous visual appearance. Potential solutions to this issue are outlined below:
 - The overall look of an extensive row of residences shall be modified by enhancing elevation window trim and placement. Giving variety to the windows on the facades gives variety to the overall streetscape.
 - o It is required to vary roof conditions from one building to the next through use of varied roof pitches and forms, different architectural styles, and varied lot setbacks.
 - By articulating the rear elevation plan form, variety is given to the overall appearance. Architectural projections, balconies and trellises, and varied elevations contribute to the articulation of the form.
 - Two-story homes that back to major roads shall have visible elements such as window trims, varied stucco applications, shutters and enhanced details.
- All residential buildings that face an adjacent street should have articulated elevations. Articulation should be achieved with porches, balconies, or bay windows, or other features appropriate to the architectural style of the building. Street facing elevations on attached products shall have additive or subtractive architectural elements to help break up the mass of the building facade. Examples of additive elements include dormer windows, porches, bay windows, exterior stairs and similar features. Examples of subtractive elements include carved openings, niches, recessed windows and doors and similar architectural design features.
- In addition, two story homes shall include both one- and two-story elements as a part of their architectural design. For each floor plan, varying elevations shall be provided to create visual interest and a varied neighborhood street scene. Where similar floor plans of the same unit are located on adjacent lots, one shall be a reverse plan and different in elevation from the other of the same plan.

viii. Roof Materials and Colors

As shown in **Figures D-9b through D-12b**, **Architectural Details**, the roofline of a house is a significant component of a building's composition when used to define a particular architectural style. It is important to choose the appropriate roof pitch, characteristics, and materials that are consistent and true to the selected architectural style.

- a) A roof's composition shall allow for a clean interface with the building and the building façade.
- b) The two elements should not be overbearing nor give the appearance of being disjointed or cut-up.
- c) Varying roof pitches on the same building should be avoided unless they are integral to the architectural style or extending over porches and balconies.
- d) Roof materials and colors selected for an architectural style must reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community's appearance and character.
- e) Concrete tiles are to be blended in combination with brown and beige colors. No pure red or clay tiles are permitted.
- f) Roof colors shall vary from one house to the next, and roofing materials shall be non-combustible.

d) Landscape Criteria

i. Purpose and Intent

The purpose and intent of the Landscaping Guidelines are to use only California native plants in all detention areas, along slopes, other areas of open space, and to provide direction to the design and construction of homeowner association maintained landscape areas and to provide a reference on yard landscaping for individual homeowners.

The use of these Landscaping Guidelines for individual homeowners and for areas within the rear and side areas is optional. Landscape plans for areas with native and naturally occurring vegetation do not require the submittal of a landscape plan when the native vegetation is being retained. An overall Conceptual Landscape Plan, which calls out edge conditions, street scenes and entry monumentation, is provided on Figure D-13, Conceptual Landscape Plan. All future plans, including construction documents, will need to draw inspiration from that plan, and the detailed plans referenced on the Plan, and remain consistent with the overall image developed for SP106, A17, as discussed above in Section 2.b.i.

The following are general guidelines that will apply to landscaping within SP106, A17:

- Landscape plans should include a combination of trees, shrubs, and ground cover.
- Specimen trees should be strategically planted to assist new development in looking "established" as quickly as possible.
- Trees and shrubs should be located and spaced to allow for mature and long-term growth.
- Trees and larger shrubs should be selected and planted in locations, which will minimize future root problems.
- Deciduous trees can be used to provide solar control during summer and winter, provide fall color, seasonal flower, and other desired effects.

- Drought tolerant landscaping should be incorporated into landscape plans wherever possible.
- Appropriate water conservation techniques should be incorporated into all landscape designs.
- All landscaped areas should incorporate automatic irrigation systems.
- Irrigation systems should be designed to prevent overspray onto walkways, parking areas, buildings, and fences.
- Landscaping shall not impact sight distance.
- County maintained areas are to comply with County planting requirements.

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ii. Streetscenes

Four (4) specific streetscenes have been highlighted in this Section of the Design Guidelines, as they are the most common occurrences within and/or around SP106, A17. The four (4) streetscenes are Winchester Road, Ron Roberts Way, Elliot Road, and Jean Nicholas Road. Additionally, the Project will have private alley ways, streets, and a roundabout. These streetscapes and internal circulation elements are described below.

Winchester Road

Winchester Road is the main arterial within SP106, A17, as it is the easterly edge of SP106, A17. **Figure D-14**, **Winchester Road Streetscene**, depicts a typical plan and section for Winchester Road. Winchester Road has a 184' right-of-way (ROW). This ROW consists of 110' of pavement, with a 37' wide parkway on both sides of the paved section. This parkway is defined by having a 20' wide landscaped area adjacent to the roadway pavement, a 5' wide curb-separated sidewalk, and an additional 12' feet of landscaping. All landscaping within the ROW will be landscaped with trees, shrubs and groundcover, consistent with the County's requirements. The County will maintain all landscaping within the ROW. All other landscaping, along this Streetscene, and located outside of the ROW, will be maintained by the SP106, A17 Homeowner's Association (HOA).

Ron Roberts Way

Ron Roberts Way is an east-west local street that connects Winchester Road to Elliot Road. **Figure F-15**, *Ron Roberts Way Streetscene* depicts a typical plan and section for Ron Roberts Way. Ron Roberts Way has a 60' ROW. This ROW consists of 40' of pavement, with a 10' wide parkway on both sides of the paved section. This parkway is defined by having a 5' wide landscaped area adjacent to the roadway pavement, a 5' wide curb-separated sidewalk. The HOA will maintain all landscaping within the ROW.

Jean Nicholas Road

Jean Nicholas Road is a southeasterly-northwesterly trending that defines the southwesterly border of SP106, A17. Jean Nicholas Road connects Winchester Road development westerly of SP106, A17. **Figure D-16, Jean Nicholas Road Streetscene** depicts a typical plan and section for the Jean Nicholas Road. Jean Nicholas Road has a 100' ROW. This ROW consists of 64' of pavement, with an 18' wide parkway on both sides of the paved section. This parkway is defined by having an 8.5' wide landscaped area adjacent to the roadway pavement, a 5' wide curb-separated sidewalk, and an additional 4.5' feet of landscaping. All landscaping within the ROW will be landscaped with trees, shrubs and groundcover, consistent with the County's requirements. The County will maintain all landscaping within the ROW. All other landscaping, along this Streetscene, and located outside of the ROW, will be maintained by the SP106, A17 HOA.

Elliot Road

Elliot Road is a north-south local street that connects Ron Roberts Way to Jean Nicholas Road. **Figure D-17**, *Elliot Road Streetscene* depicts a typical plan and section for the Elliot Road. Elliot Road has a 60' ROW. This ROW consists of 40' of pavement, with a 10' wide parkway on both sides of the paved section. This parkway is defined by having a 6' wide landscaped area adjacent to the roadway pavement, and a 4' wide curb-separated sidewalk. All landscaping

within the ROW will be landscaped with trees, shrubs and groundcover, consistent with the County's requirements. The HOA will maintain all landscaping within the ROW.

Alley Ways

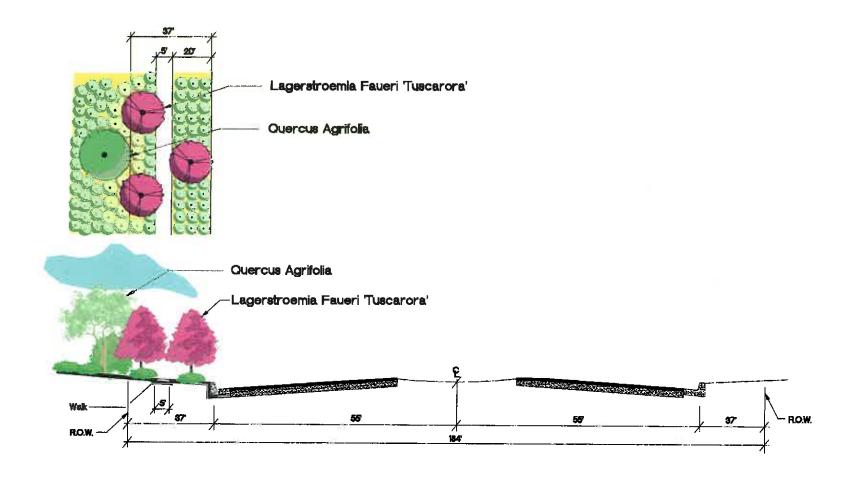
Figure D-18, Alley Ways depicts a typical plan and section for alley ways that connect to the units. Typical alley ways will have a 20' wide section. This section will consist of two 10' wide drive lanes.

Streets A - F

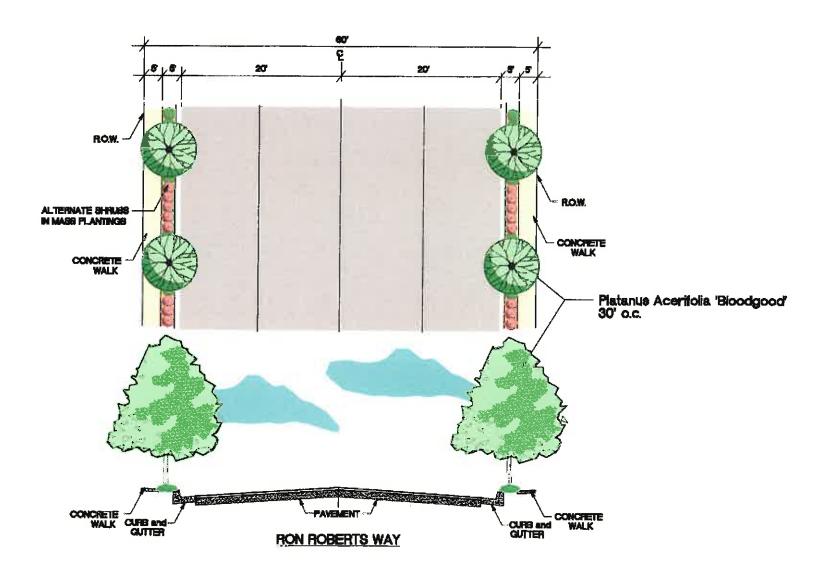
Figure D-19, Streets A - F Streetscene depicts a typical plan and section for interior streets. Streets A - F will have a 56' wide section. This section will consist of 36' of pavement, with a 10' wide parkway on both sides of the paved section. This parkway is defined by having a 6' wide landscaped area adjacent to the roadway pavement, a 4' wide curb-separated sidewalk. All landscaping within the ROW will be landscaped with trees, shrubs and groundcover, consistent with the County's requirements. The HOA will maintain all landscaping within the ROW.

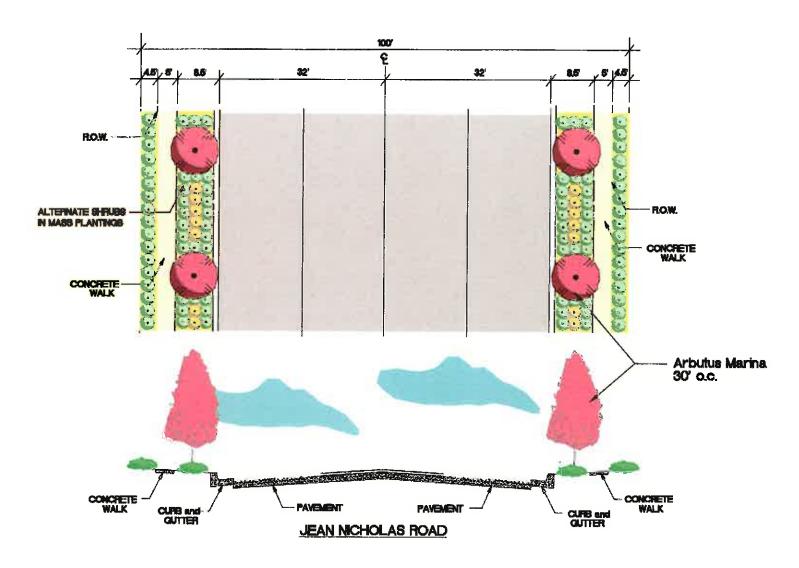
Roundabout

Figure D-20, *Roundabout* depicts a typical plan for this feature. The roundabout will have a 17' internal radius and a 39' exterior radius. The roundabout will be landscaped with trees, shrubs and groundcover, consistent with the County's requirements. The HOA will maintain all landscaping within the roundabout.

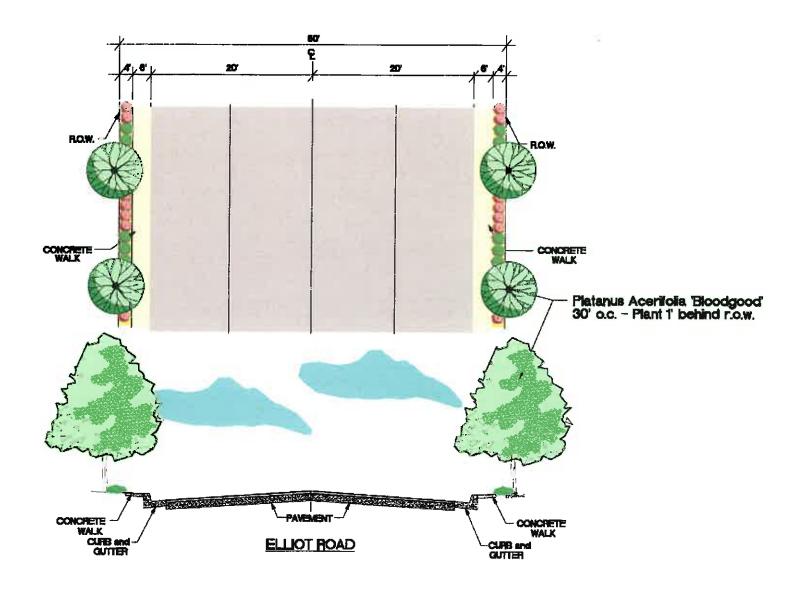


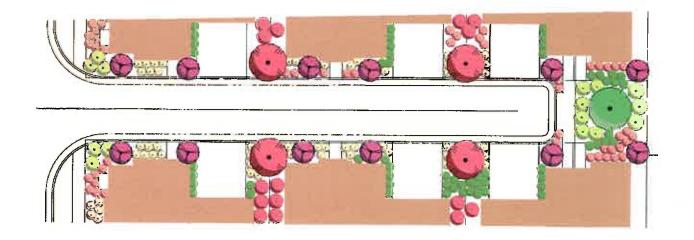
All planting for SR 79 shall conform to Caltrans Planting Requirements.

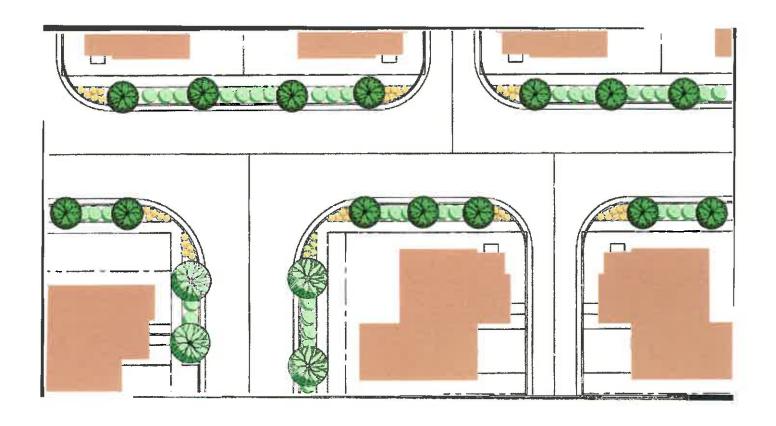


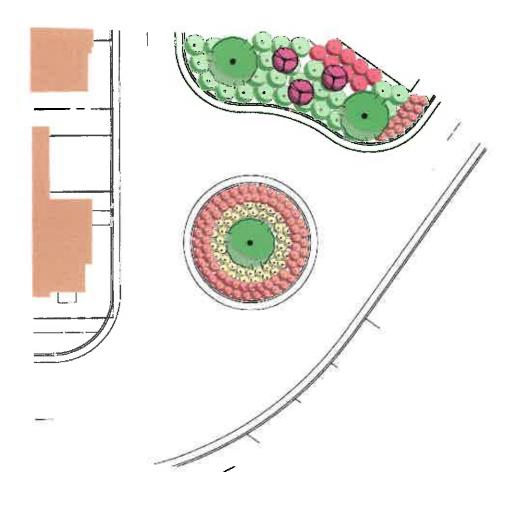


JEAN NICOLAS ROAD STREETSCENE - FIGURE D-16









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iii. Edge Conditions

There is existing residential development adjacent to SP106, A17. These areas, which are located to the north and southwest of SP106, A17 will require special treatment based on the future interface between the existing residences and the future residences within SP106, A17. Additionally, careful thought has been given to the internal edge conditions between Sub Areas, as well as between the Sub Areas and adjacent roadways. These edge conditions have been identified on Figure D-13, Conceptual Landscape Plan, and are described in greater detail below.

Typical Edge Condition along Ron Roberts Way

Instances where SP106, A17 abuts Ron Roberts Way and adjacent development to the north are depicted in **Figure D-21**, **Typical Edge Condition along Ron Roberts Way**. A more than adequate buffer has been provided as a result of a slope, which will provide a change in elevation between the two uses, and a slope trees to further soften and screen the interface between the two different uses. There is an existing block wall that will provide security and privacy to the residents. Landscaping shall include trees, shrubs and groundcover.

Typical Edge Condition along Winchester Road

Instances where Sub Area 1 of SP106, A17 abuts Winchester Road are depicted in **Figure D-22**, **Typical Edge Condition along Winchester Road**. A more than adequate buffer has been provided as an extended 37' ROW and additional landscaping between the ROW and any residential walls. Landscaping shall include trees, shrubs and groundcover.

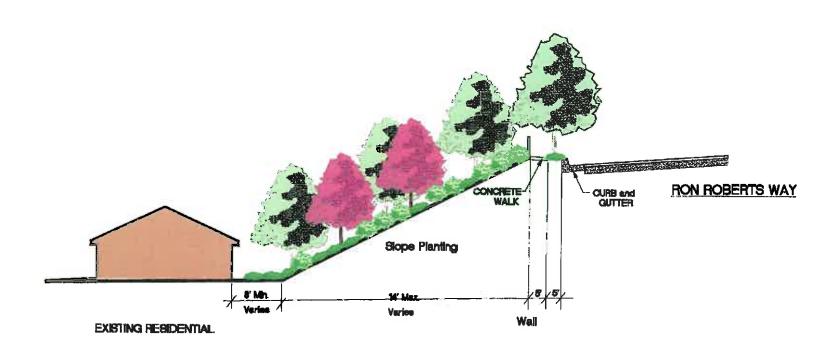
Existing Edge Condition North

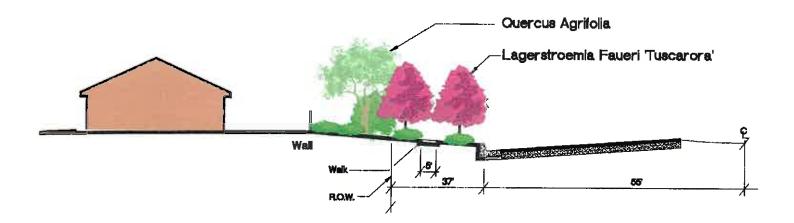
Instances where SP106, A17 abuts adjacent development to the northwest are depicted in Figure D-23, Existing Edge Condition Northwest. A more than adequate buffer has been provided as a result of a slope, which will provide a change in elevation between the two uses, and a slope trees to further soften and screen the interface between the two different uses. There is an existing block wall that will provide security and privacy to the residents. Landscaping shall include trees, shrubs and groundcover.

Existing Edge Condition Southwest

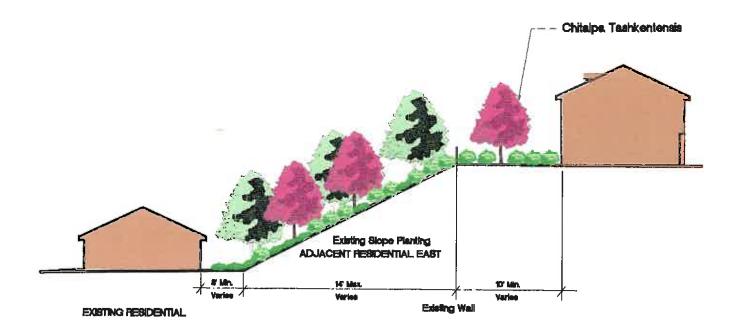
Instances where SP106, A17 abuts adjacent Jean Nicholas Road to the southwest are depicted in **Figure D-24**, **Existing Edge Condition Southwest**. This Section depicts a landscaped parkway adjacent to Jean Nicholas Road, a curb separated sidewalk, and additional landscaping which will be adjacent to a block wall that will provide security and privacy to the residents. Landscaping shall include trees, shrubs and groundcover.

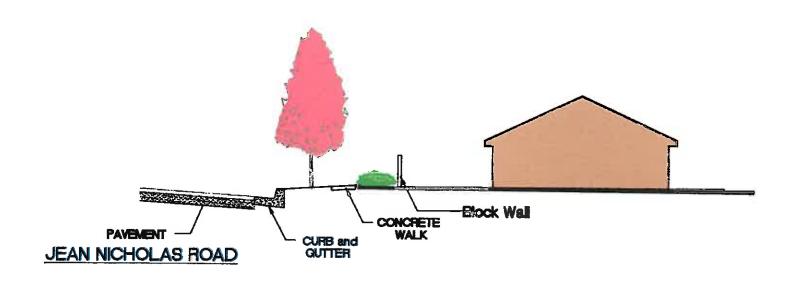
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All planting for SR 79 shall conform to Caltrans Planting Requirements.





Abutting Adjacent Development

Additional attention must be paid to these areas, to ensure that grading and ultimate development of the Project will be sensitive to the existing drainage and privacy enjoyed by these existing residences. The County shall review the mass and precise grading plans to ensure that interface issues are addressed properly. In addition, the County shall review landscape plans to ensure that adequate screening is provided where necessary. Lastly, attention should be paid to plotting of new homes to ensure that visual encroachment is not an issue.

Landscaping of Slopes

All slopes 3 to 1 and steeper, and 3' in vertical height or greater, shall be planted with groundcover and shrubs. All slopes 10' in vertical height shall be planted with a combination of trees, shrubs and groundcover shrubs, please see Figure D-25, Typical Slope Planting Plan. All plant material shall be selected from Figure D-26, Plant Palette.

iv. Plant Palette

The intent of these guidelines is to provide a simple plant palette that creates, complements, and enhances the overall thematic setting/image for SP106, A17. In addition, this plant palette has been selected for the plants' appropriateness to climatic conditions, soil conditions, surrounding natural environment conditions and concern for maintenance and water conservation.

Plant selection for specific areas of the community shall have similar cultural requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. This plant palette is derived from the Riverside County California Friendly Plant List. Landscaping is used to frame and soften structures, define site functions, enhance the quality of the environment, accent selected portion of the site, and create desirable places for people to live. **Figure D-26**, **Plant Palette** has been prepared for SP106, A17 to achieve these desired goals.

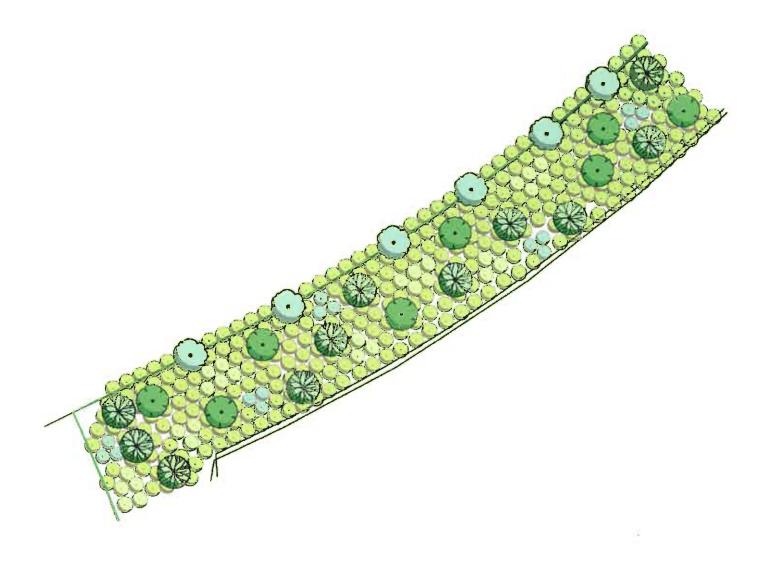
v. Walls, Fences, and Monumentation

<u>Overall Plan</u>

The Wall and Fence Plan is included as **Figure D-27a**, **Wall and Fence Plan** and **Figure D-27b**, **Wall and Fence Details**. Where fencing and walls are essential, these elements should be designed to complement the architecture of the Project. The following general guidelines shall apply to fencing that is visible within SP106, A17:

- Fence and wall materials and colors should be designed to complement the architecture of the adjacent buildings.
- Fences and walls adjacent to arterial streets should be constructed as low as possible consistent with their screening, noise attenuation, and security functions.
- The materials and colors of any walls adjacent to arterial streets should be compatible and complementary with the existing walls near the property.
- Fencing is preferred over walls and should be encouraged wherever possible.
- Solid walls in sloping terrain should be "stepped" to follow the terrain.

- Double fencing (i.e., existing fencing abutting proposed fencing) on a property is strongly discouraged.
- Locations of walls and fences shall not interfere with sight distance.
- County will only maintain standard sound walls; all other walls and fences shall be privately maintained.



TYPICAL SLOPE PANTING PLAN - FIGURE D-25

SYMBOL.	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	
	TREES:						WATER US
	ACA. STE.	ACACIA STENOPHYLLA	SHOESTRING ACACIA	15 GAL.		DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	
	ARB. MAR.	ARBUTUS MARINA	ARBUTUS	24" BOX	_	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	Ĺ
	CHI. TAS.	CHITALPA TASHKENTENSIS	FLOWERING CHITALPA	15 GAL.		PLANT PER DETAIL - 36" BOX SIZE EQUIVILANT	L
	LAG, F. 'T.'	LAGERSTROEMIA FAUERI 'TUSCARORA'	RED CRAPE MYRTLE	24" BOX	-	DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	PLA. A. 'B.G.'	PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX	_	DOUBLE STAKE /HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
	PYR. C. 'B.'	PYRUS CALLERYANA 'BRADFORD'	BRADFORD FLOWERING PEAR	24" BOX	-	DOUBLE STAKE / HEIGHT 7-8', SPREAD 2'-3' MIN.	м
	QUE. AGR.	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX		DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	M
	ULM. P. 'T.G.'	ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE EVERGREEN ELM	24" BOX		DOUBLE STAKE / HEIGHT 8-10', SPREAD 3'-4' MIN.	L
	ARE. ROM.	ARECASTRUM ROMANZOFFIANUM	QUEEN PALMS	10' B.T.H.	_	PLANT PER SPECIFICATION	
	SHRUBS:						
	CEA. G. 'H.'	CEANOTHUS GRISEUS 'HORIZONTALIS'	CARMEL CREEPER	1 GAL		FULL & BUSHY @ 5' O.C.	T
	DIE. VEG.	DIETES VEGETA	FORTNIGHT IRIS	5 GAL		FULL & BUSHY 9 3' O.C.	м
	HET. ARB.	HETEROMELES ARBUTIFOLIA	TOYON	5 GAL		FULL & BUSHY @ 5' O.C.	<u> </u>
	IRI. DOU.	IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL		FULL & BUSHY @ 3' O.C.	<u> </u>
	MYO. PAR.	MYOPORUM PARVIFOLIUM	PROSTRATE MYOPORUM	1 GAL.		TRIANGULAR SPACING @ 5' O.C.	L
_	IAV. S. 'O.Q.'	LAVANDULA STORCHAS 'OTTO QUAST'	SPANISH LAVENDER	5 GAL	-	FULL & BUSHY @ 3' O.C.	L L
	PHO. FRA.	PHOTINIA FRASERI	PHOTINIA	5 GAL	_	FULL & BUSHY @ 5' O.C.	М
	CAL V. I.J.	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	5 GAL	-	FULL & BUSHY @ 3' O.C.	l.
	ROS. 'G.C. R.'	ROSA 'GREEN CARPET RED'	RED GREEN CARPET ROSE	5 GAL	-10	FULL & BUSHY @ 3' O.C.	М
	SAL. GRE.	SALVIA GREGGI	AUTUMN SAGE	5 GAL	-	FULL & BUSHY @ 3' O.C.	L
	RHU. OVATA	RHUS OVATA	SUGAR BUSH	5 GAL		FULL & BUSHY @ 5' O.C.	L
	VINES:						
	FIC. REP.	FICUS REPENS	CREEPING FIG	5 GAL	_	ATTACH TO WALL	M
	LAWN:						
	FES. ARU.	FESTUCA ARUNDIACEA	WATERSAVER 2 FESCUE	SOD	AS REQ'D.	INSTALL PER SPECIFICATIONS	, н
	MULCH & GROUNDCOVER:						
	WOOD MULCH	FOREST BLEND WOOD MULCH	MEDIUM GRIND WOOD MULCH	3" MAX.	AS REO'D.	3" DEEP - INSTALLED IN ALL SHRUB PLANTING AREAS TYP.	

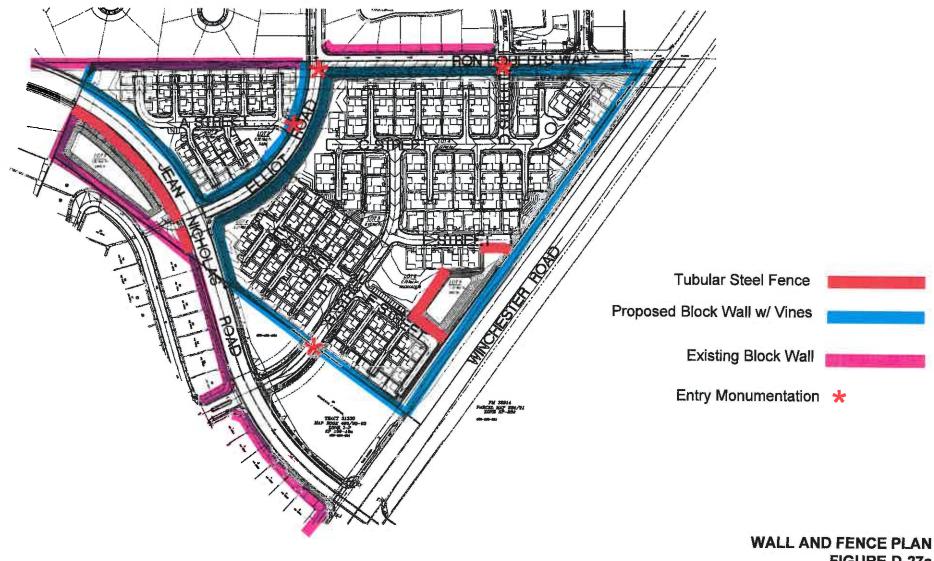
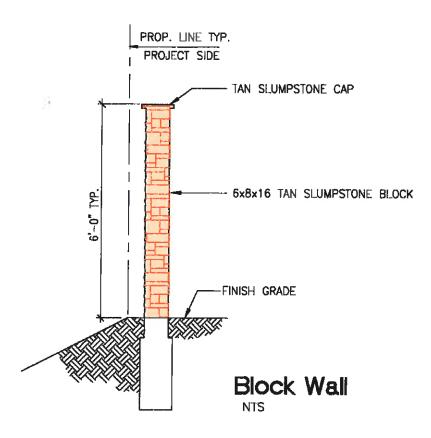


FIGURE D-27a



Walls and Fencing

Block Wall with Vines

Where required for privacy, or as required for noise attenuation, a decorative block wall will be permitted. The approximate location for these walls is depicted on Figure D-27a, Wall and Fence Plan and Figures D-27b, Wall and Fence Details; however, the final location may be adjusted based on field conditions, and the recommendations contained in the Project's Noise Analysis. It is intended that these walls will be planted with a growing vine that will soften the appearance of the wall and serve as a deterrent to any type of graffiti vandalism. Block walls with vines shall be required at all side yard conditions on local streets. Walls shall be maintained by the HOA. A detail for the walls is contained in Figure D-28, Block Wall with Vines.

Slumpstone Block Pilaster

A slumpstone block pilaster will be required approximately every 100' in length for block wall or view fencing. The exact location of the slumpstone block pilaster will be determined at the precise grading plan stage of development; however, at a minimum it will occur at property corners and where there is a change of wall/fencing materials. A detail for the slumpstone block pilaster is contained in **Figure D-29**, **Slumpstone Block Pilaster**. It is comprised of tan slumpblock pilaster, concrete cap, and concrete footing.

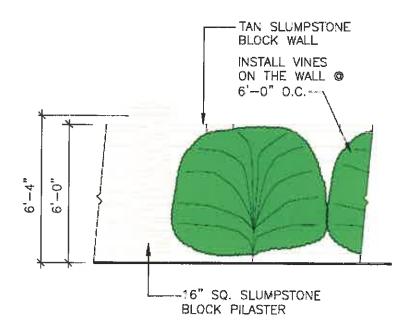
View Fencing

View fencing will be installed in instances where rear and side views from residential lots are desired and feasible. Special consideration shall be paid when locating view fencing in terms of privacy both on-and off-site of the residential lot. Also, view fencing should not be allowed where noise attenuation is required, unless otherwise permitted by the Director of Planning. The approximate location for view fencing is depicted on *Figure D-27a, Wall and Fence Plan*; however, the final location may be adjusted based on field conditions and the recommendations contained in the Project's Noise Analysis. View fencing will be approximately 5' in height and comprised of tubular steel fence panels and posts as depicted on *Figure D-30*, *Tubular Steel Fencing*.

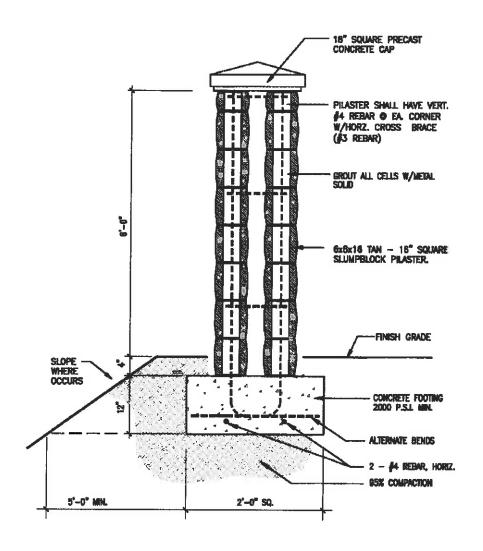
Yard Fencing

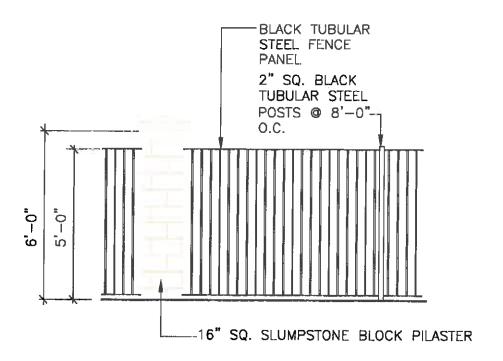
Fencing between adjacent residential lots is depicted on **Figure D-31**, **Yard Fencing**. The fencing may be a vinyl material which is typically a shade of white. Other colors may be allowed by the Planning Director. As shown on **Figure D-31**, the fence shall return to the house via a block wall which includes a wooden gate. The location of this return shall be where the wrap around front elevation architecture of the house transitions to the less articulated side yard. Fences shall be located on the side and rear property lines, and at the top of slope under slope conditions.

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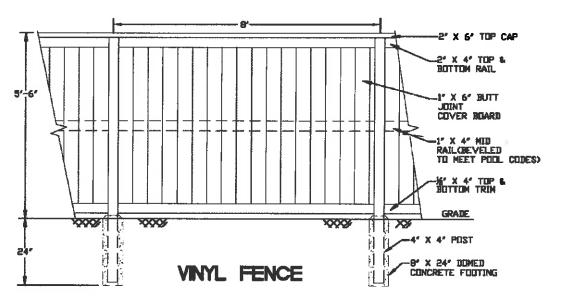


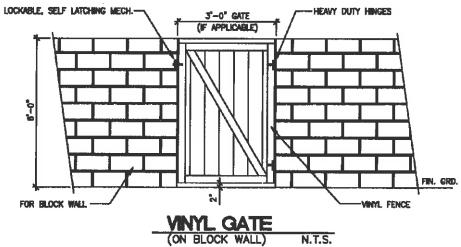
NOTE: PILASTERS TO OCCUR AT PROPERTY CORNERS AND CHANGES OF MATERIAL. SEE FENCE AND WALL PLAN FOR LOCATIONS





NOTE: PILASTERS TO OCCUR AT PROPERTY CORNERS AND CHANGES OF MATERIAL. SEE FENCE AND WALL PLAN FOR LOCATIONS





Monumentation

The design theme for the entries draws from the natural and existing settings adjacent to SP106, A17. Entries all share the same relative scale and mass to provide a constant element in their design. All Monumentation shall comply with the following general guidelines:

- A combination of the following accent features can be incorporated into the Project entry: ornamental landscaping, architectural monuments, decorative walls, and/or signs.
- Project entry features shall reflect the overall architectural identity and character of the Project. This character is defined by the use of ledgestone, slumpstone, precast concrete, plastic logo (if applicable) and lettering which will compliment to natural and built environment.
- Colored, textured, and permeable paving treatment at entry drives is encouraged to complement the monumentation.
- Project icons, thematic pilasters, special paving treatments, and specialty landscaping should be used to unify a project.
- All monumentation shall be constructed of high quality materials.
- The location of any/all monumentation shall not impact sight distance, (as determined by the County Engineer).

Monumentation shall be classified as either Project Entry or Directional. Entry monumentation signs will be located at the main entry driveways to the Project. **Figure D-32a,** *Entry Monumentation* and **Figure D-32b,** *Directional Monumentation* show elevations of the Entry and Directional Monumentation, respectively.

Stamped concrete or paving stones shall be incorporated at major entries as depicted on Figure D-33, Stamped Concrete Examples.

Retaining Walls

Due to the topography in SP106, A17, retaining walls are anticipated to be used when practical. A variety of retaining wall techniques are available to the developer. Any and all of these techniques may be employed by developer; the exact type, height and location to be determined at the grading stage of development, ultimately to be approved by the Planning Director and Building Official. When retaining walls are visible from the public view, the developer shall utilize some form of vegetated retaining wall.

vi. Recreational Amenities

A private recreation center and a park will be located in SP 106, A17, and will serve the residents of SP106, A17. These areas may contain the following amenities: pool complex including covered seating areas, covered BBQ area, and restrooms, active and passive play areas, basketball ½ courts with seating and lawn areas, shaded tot lots and picnic areas with seating and lawns, as shown on Figure D-34a, Typical Recreation Area Amenities - Park and Figure D-34b, Typical Recreation Area Amenities - Recreation Area.

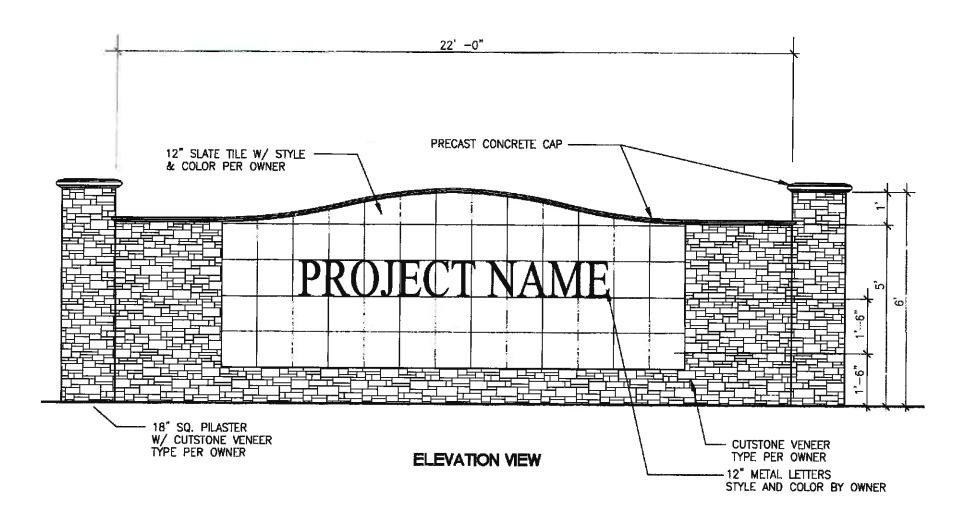
Sidewalks are provided along roadways and connect to the various areas of SP 106, A17. Planning Areas. Sidewalks are typically 5 feet in width and consist of hard surface trail material or concrete surfaces for pedestrian use. Sidewalk locations are shown on **Figure D-35**, **Sidewalk Plan**.



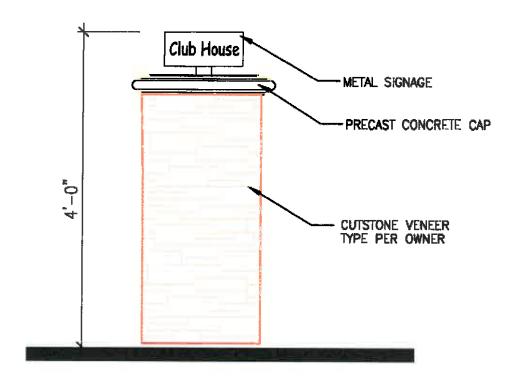
Typical basketball court and open recreational area



Typical tot lot and open recreational area



ENTRY MONUMENTATION FIGURE D-32a

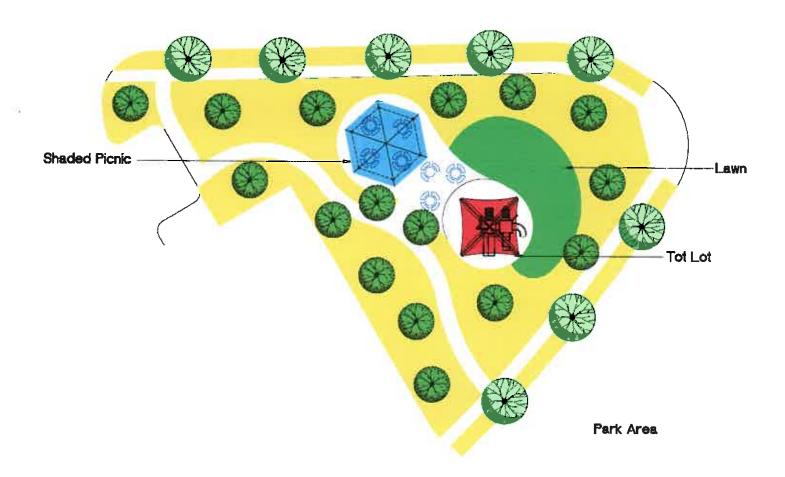




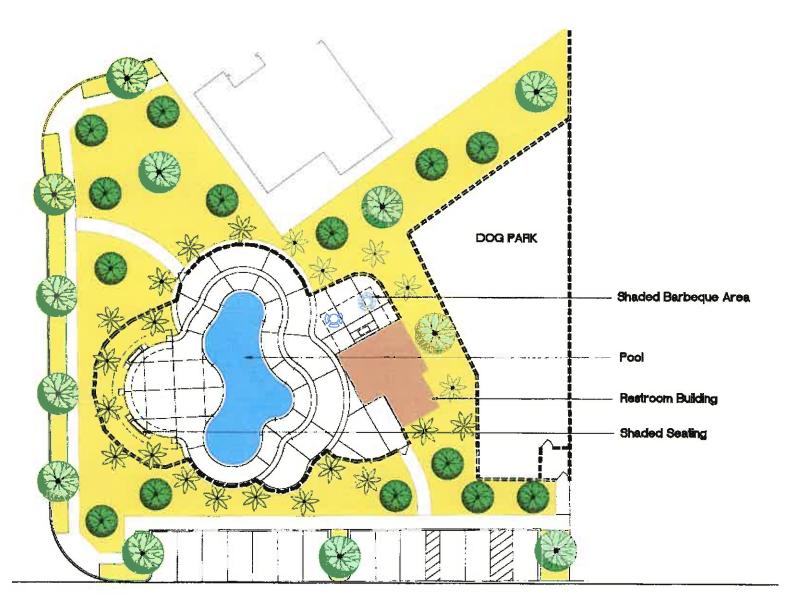




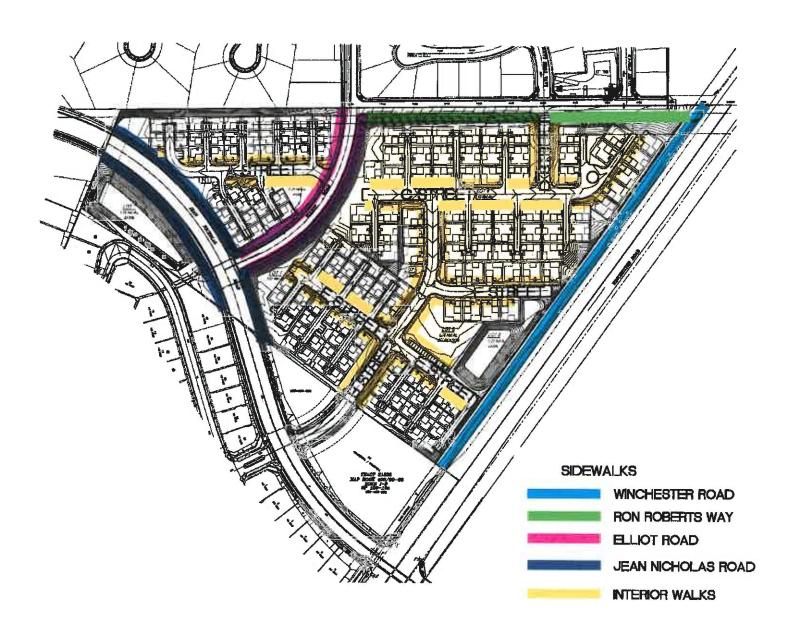
STAMPED CONCRETE EXAMPLES - FIGURE D-33



TYPICAL RECREATION AREA AMENITIES - PARK - FIGURE D-34a



TYPICAL RECREATION AREA AMENITIES -RECREATION AREA - FIGURE D-34b



SIDEWALK PLAN FIGURE D-35

vii. General Landscape Requirements

The following general landscape requirements and goals shall apply to the SP106, A17 development to maximize energy efficiency and maximize water quality and conservation.

This section of the Design Guidelines serves to highlight elements in the site planning, design, and construction phases of SP106, A17 that can be implemented to achieve a standard of energy efficient performance which is both desirable for the homeowner, the environment, and builder/developer as it relates to landscaping.

The following have been selected based on their ease of applicability and implementation during the design, and construction phases, marketability and/or desirability potential to the home buyer, and cost incentive factors to both the builder and homeowner in order to maximize energy efficiency and maximize water quality and conservation.

Goal #1: Maximize Energy Efficiency

During Landscaping

During the summer months, tall deciduous trees sited along the southwest and west of a residence provide shade and protect the home from solar heat gain keeping the outdoor surroundings cool. During winter, leaves drop off allowing winter sun to shine through to heat the home passively. The result is less reliance on mechanical heating and cooling systems. The following shall be implemented throughout the Project:

 Where practical, place tall, deciduous trees to the southwest and west (as well as east) sides of the house to block hot afternoon summer sun.

Non-permeable materials used as ground covering absorb and trap the sun's heat, contributing to the increase in the average daily temperature surrounding the home. Permeable materials cut down on the amount of heat absorbed and re-radiated from the surface. Use of permeable materials prevents additional solar heat gain surrounding the home and reduces reliance on mechanical cooling systems. The following shall be implemented throughout the Project:

Reduce the amount of non-permeable surface on each lot to the maximum extent possible.

Goal #2: Maximize Water Quality and Conservation

Landscape Considerations

Drought tolerant and native plants are required as part of the plant palette.

Different types of plants have different watering and maintenance needs. A zoned irrigation system delivers the appropriate amount of water to the appropriate landscaping zone as needed. Use a drip irrigation system and/or zoned irrigation system with a rain sensor shut-off feature. The shut-off feature prevents unnecessary irrigation during rainy periods.

Consider landscape treatments instead of lawns. Where lawns or gardens are proposed, incorporate retention grading and/or construct as a swale to allow for maximum retention and control of stormwater flows.

viii. Irrigation

Irrigation Point of Connection Master Plans will begin to be created during the tentative map process as grading, lot configuration and maintenance responsibility begins to be more precise and will act as coordination mechanisms between the landscape architect, civil engineer, dry utility consultant, utility provider, and water district through the construction document process.

All common irrigation areas shall be capable of being operated by a computerized irrigation system which includes an onsite weather station/ET gage capable of reading current weather data and making automatic adjustments to independent program run times for each irrigation valve based on changes in temperature, solar radiation, relative humidity, rain and wind. In addition, the computerized irrigation system shall be equipped with flow sensing capabilities, thus automatically shutting down the irrigation system in the event of a mainline break or broken head. These features will assist in conserving water, eliminating the potential of slope failures due to mainline breaks and eliminating over watering and flooding due to pipe and/or head breaks. All landscaped areas shall be watered with a permanent underground irrigation system.

ix. Maintenance Responsibility

The majority of the common site landscaping within SP106, A17 will be maintained by the HOA. All landscape areas shall be maintained in accordance with the best industry standards for professional landscape maintenance. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All walks shall be kept routinely free of litter and debris.

x. Lighting

Lighting fixtures should be selected to complement the architecture and layout of the Project. The quantity and quality of light, as measured in foot-candles, should be consistent with the Mount Palomar Lighting Ordinance (Ordinance No. 655). Lighting levels should not be so intense as to draw attention to the glow or glare of the Project site. See **Figure D-36**, *Typical Lighting Fixtures*.

- All light fixtures shall be shielded to minimize glare and the illumination upon neighboring properties and open space areas.
- Light fixtures should be architecturally compatible with building design when prominently visible.
- Lighting systems should incorporate timers and sensors to avoid unnecessary illumination and to conserve energy.
- Any lights that are considered "non-standard" by the County shall be maintained by the HOA.

xi. Mailboxes

Once construction documents are underway, a mailbox master plan will be created and coordinated with the United States Postal Service, identifying type and location of mailbox structures. See Figure D-37, *Typical Mail Boxes*.















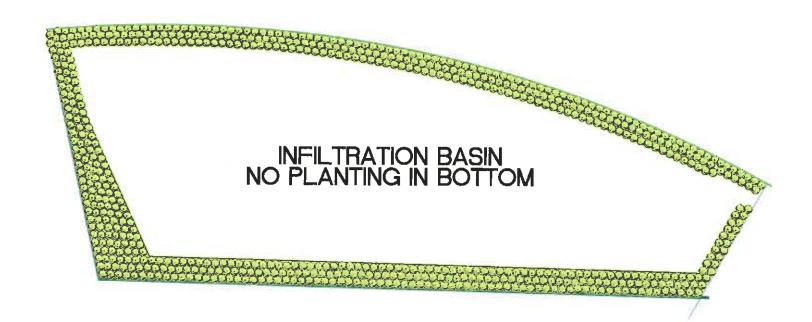


TYPICAL MAILBOXES FIGURE D-37

xii. Water Quality

It is anticipated that detention/water quality basins will be located within SP106, A17. These basins will be strategically located within the Project in order to adequately convey, retain and treat Project run-off before discharging the run-off off-site. These basins are not intended for any dual use (i.e., recreational use). The basins shall be designed to Riverside County Flood Control and Water Conservation District requirements and specification. These basins shall be maintained by the HOA. See **Figure D-38**, **Typical Basin**.

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NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:

Riverside County Administration Center 4080 Lemon St., 1st Floor Board Chambers

Riverside, California

DATE OF HEARING:

June 14, 2018

TIME OF HEARING:

9:00 A.M.

CASE DESCRIPTION:

ZAP1080FV18 – JBL Investments c/o MDMG Inc. (Representative: MFCS, Inc.) – County of Riverside Planning Case Nos. GPA170001 (General Plan Amendment), SP106 A17 (Specific Plan Amendment), CZ7347 (Change of Zone), TR37078 (Tentative Tract Map), PP170003 (Plot Plan). The applicant is proposing to establish 163 single family detached condominium units on 30.62 acres and a tentative tract map to divide the site into 8 lots located westerly of Winchester Road/Highway 79, northerly of Jean Nicholas Road, and easterly of Kooden Road. The proposed project requires a general plan amendment to the site's land use designation on the Southwest Area Plan and an amendment to its designation on the Dutch Village Specific Plan from Commercial Retail, Commercial Office, Light Industrial, and Open Space Conservation to High Density Residential as well as various specific plan text changes to reflect changes in the land use designation and to provide additional information regarding development with the Specific Plan Amendment area, and a change of zone from Scenic Highway Commercial, Commercial Office, Industrial Park and Open Area Combining Zone-Residential Developments to General Residential zone (Airport Compatibility Zone E of the French Valley Airport Influence Area).

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982 or Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. David Alvarez of the County of Riverside Planning Department at (951) 955-5719.





RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPL	ICATION FOR MAJOR LAND	JSE ACTION REVIEW		
ALUC CASE NUM	BER: ZAR 1080 FV18 DATE	SUBMITTED: 4-16-18		
APPLICANT / REPRE	SENTATIVE / PROPERTY OWNER CONTACT INFORMATIO	N		
Applicant	JBL Investments of MDMG Inc Kirk Medeiros	Phone Number: 951 - 296-3466 x218		
Mailing Address	41635 Enterprise Circle North	Email krm@markhamdmg.com		
	Temecula, CA 92590			
Representative	MFCS, Inc.	Phone Number 951-265-5428		
Mailing Address	42011 Avenida Vista Ladera	Email matthewfagan@roadrunner.com		
	Temecula, CA 92591	Email matthewiagan@roadrunner.com		
Property Owner	JBL investments and Soselu Trust - Tennants in Common (Atten Su) Phone Number 951- 296-3466 x218		
Mailing Address	1930 Alpha Avenue	Emaîl allensu@gmail.com		
	Pasadena, CA 91030	Linan diichad@gnan.com		
LOCAL JURISDICTIO	N AGENCY			
Local Agency Name	County of Riverside	Phone Number 951.955.3025		
Staff Contact	Russell Brady, Project Planner	Email: rbrady@rctlma.org		
Mailing Address	4080 Lemon Street 12th Floor	Case Type		
	Riverside, CA 92502-1629	General Plan / Specific Plan Amendment Zoning Ordinance Amendment Subdivision Parcel Man / Tantative Tract		
Local Agency Project N	TR37078, CZ07347, SP106 A17, PP170003, GPA170001	Subdivision Parcel Map / Tentative Tr. Use Permit Site Plan Review/Plot Plan Other		
PROJECT LOCATION Attach an accurately scaled	map showing the relationship of the project site to the airport boundary an	d runways		
Street Address	North of Jean Nicholas Road, south of Ron Roberts Way, wes	et of Winchester Road, east of Elliot Way		
- Assessor's Parcel No.	480-160-023	Gross Parcel Size 30.62		
Subdivision Name		Gross Parcel Size 30.62 Nearest Airport		
-	Parcel 2, Book 5, Page 47	and distance from . Airport French Valley, approx 2:5 mile		
	d site plan showing ground elevations, the location of structures, open spa scription data as needed	aces and water bodies, and the heights of structures and trees;		
Existing Land Use (describe)	The site is currently vacant and undeveloped.			
-				
_				

Flight Hazards	Does the project involve any characteristics which could create electrical or visual hazards of yes, describe	ectrical interference,					
	Height of buildings or structures (from the ground)	40 ft.					
Height Data	Site Elevation (above mean sea level)	1,424 - 1,448 ft.					
(See Appendix C)	Number of People on Site Maximum Number						
For Residential Uses For Other Land Uses	Number of Parcels or Units on Site (exclude secondary units) Hours of Operation	Approx. 163 units					
	SPA106, A17 only applies to Planning Area 18a of Specific P						
•	Combining Zone - Residential Developments), C-P-S (Scenic Highway Commercial), and						
(describe):	Amendment No. 17 to Specific Plan 106 proposes to modify the existing land use designations on the entire 30.6-acre site from C-O (Commercial Office), R-5 (Open Area						
Proposed Land Use	Approximetally, 163 condounitaristin lots for QS and water quality, TR37078, a three (3) perceivasidential map, serves to implement the standards for a Schedule "A" Subdivision.						

- A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive; of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME: Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:
 - 1..... Completed ALUC Application Form
 - 1......ALUC fee payment
 - 1. . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps)
 - 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, landscaping plans, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 - 1.... CD with digital files of the plans (pdf)
 - 1..... Vicinity Map (8.5x11)
 - 1. Detailed project description
 - 1. . . . Local jurisdiction project transmittal
 - 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 - 3. . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address.

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.5

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1082FV18 - City of Murrieta

APPROVING JURISDICTION:

City of Murrieta

JURISDICTION CASE NO:

DCA-2017-1343 and DCA-2017-1347 (Development Code

Amendment)

MAJOR ISSUES:

None

RECOMMENDATION: Staff recommends that the Commission find the Development Code Amendments <u>CONSISTENT</u> with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011.

PROJECT DESCRIPTION: The City of Murrieta is proposing to amend various sections of its Municipal Development Code in order to address previous errors, omissions and inconsistencies, and to be consistent with state law. The amended sections include: Purpose and Effect of Development Code, Land Use table, Off-street Parking, Child Day Care, Recycling Facilities, Accessory Dwelling Units, Conditional Use Permits, Development Plan Permits, Permit Implementation time limits, Tentative Map expirations, and Definitions.

PROJECT LOCATION: All land within the City of Murrieta. Except for objects 200 feet or greater in height, the jurisdiction of the Airport Land Use Commission is confined to the portion of the City within the Airport Influence Area of French Valley Airport. The proposed amendment will impact properties located specifically in Compatibility Zones B1, C, D and E of the French Valley Airport Influence Area.

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011.

BACKGROUND: The City's last comprehensive update to its Municipal Development Code was in 2014. Since that time, there have been numerous updates to state legislation. Additionally, City officials determined that there were previous errors, omissions and inconsistencies in the code that needed to be addressed. On February 28, 2018, the City's Planning Commission was presented with the proposed development code amendment, and on April 11, 2018, the Planning Commission adopted a resolution recommending City Council approval.

DEVELOPMENT CODE PROPOSED AMENDMENTS: The development code amendment proposes to make the following changes indicated below.

Most of the proposed amendments do not impact airport land use compatibility.

However, changes to the land use table in Section 16.08 through 16.16 present potential airport land use compatibility concerns. Specifically, the addition of "Schools" and "Hospitals" as permissible uses within the Regional Commercial zone was concerning, since schools and hospitals are prohibited uses in Compatibility Zones B1 and C, and Regional Commercial zoning is in effect within portions of these Compatibility Zones.

Working with City staff, a footnote was added to the land use table stating that schools and hospitals are prohibited for sites that are in French Valley Airport Compatibility Zones B1 and C.

- Section 16.01 Purpose and Effect of the Development Code
 - o Referencing the correct tables.
- Section 16.08 thru Section 16.16 (Residential, Commercial, Office, Business Park, and Industrial zones, Special Purpose Districts, and Combining and Overlay Districts)
 - Most changes occur in the Land Use Tables and Development Standard Tables to address errors and inconsistencies as well as the addition of land uses where the code is silent and elimination of uses that are redundant.
 - Amend the use table for residential (single-family) zoning districts to allow accessory
 dwelling units as permitted uses, rather than conditionally permitted uses.
 (Manufactured housing units must be less than 10 years old at time of installation.)
 - o Permit supportive and transitional housing (including SRO/efficiency units) in residential multi-family zoning districts.
 - o Permit residential care homes with up to 6 clients as a permitted use and with 7 or more clients as a conditionally permitted use in the MF-3 zone.
 - o Require conditional use permits for new mobile home parks in the MF-3 zone.
 - o Permit model homes and sales offices therefor in the MF-2 and MF-3 zones.
 - o Require conditional use permits for auditoriums, meeting halls, conference facilities, and theaters in the Community Commercial and Regional Commercial zones (previously permitted uses).
 - Require conditional use permits for commercial recreation facilities, whether indoor
 or outdoor, including bowling alleys, in the Community Commercial and Regional
 Commercial zones.
 - o Permit K-12 schools, colleges, and universities in all commercial zoning districts, subject to a conditional use permit.
 - o Permit handicraft industries and small-scale assembly and printing and publishing in the Regional Commercial zone.
 - o Permit single-room occupancy units in the Community Commercial zone.
 - o Require conditional use permits for recycling facilities in the Community Commercial and Regional Commercial zones.

- Require conditional use permits for child day care centers for 7-14 persons in the Community Commercial and Regional Commercial zones.
- Permit auto/motor vehicle part sales in the Community Commercial and Regional Commercial zones.
- o Permit hospitals in the Regional Commercial zone, subject to a conditional use permit.
- Permit heliports and helipads associated with hospitals in the Office and Office Research Park zones.
- Permit auditoriums, meeting halls and conference facilities in the General Industrial,
 Parks & Recreation and Civic/Institutional zones, subject to a conditional use permit.
- o Require conditional use permits for recycling facilities in the Business Park and General Industrial zones.
- Permit emergency shelters with up to 30 occupants as a permitted use in the Business Park zone and with more than 30 occupants in that zone, subject to a conditional use permit.
- o Permit public offices in the Parks & Recreation and Civic/Institutional zones
- Permit medical offices and public utility and safety facilities in the Civic/Institutional zone.
- Permit skilled nursing/assisted living facilities and general aviation airports in the Civic/Institutional zone subject to a conditional use permit.
- o Prohibit general aviation airports in the Parks & Recreation zone.
- Section 16.34 Off-Street Parking and Loading Standards
 - Updates table to be consistent with changes in other sections of the Development code.

• Section 16.36.080

- Removes the size restriction to allow all expansions of any single family dwelling/or accessory structures to be exempt from constructing street improvements.
- Section 16.44 Several Sections (Child Day Care and Recycling Facilities, Accessory Dwelling Units(ADU))
 - Child Day Care has been amended to provide standards and regulations for Day Care Centers in non-residential zones.
 - o Errors in the size requirements for Collection Facilities.
 - o Changes to tables to be consistent with new ADU regulations.
- Section 16.52 Conditional Use Permits
 - O Adds land uses to the list of minor conditional use permits to be consistent with current policy.
 - o Changes in approval times for conditional use permits.
- Section 16.56 Development Plan Permits
 - o Changes in approval times for development plans.
 - o Adds Accessory Dwelling Units to section 16.56.020
- Section 16.80 Permit Implementation, Time Limits, and Extensions
 - o Changes in extensions of time
- Section 16.94 Tentative Maps

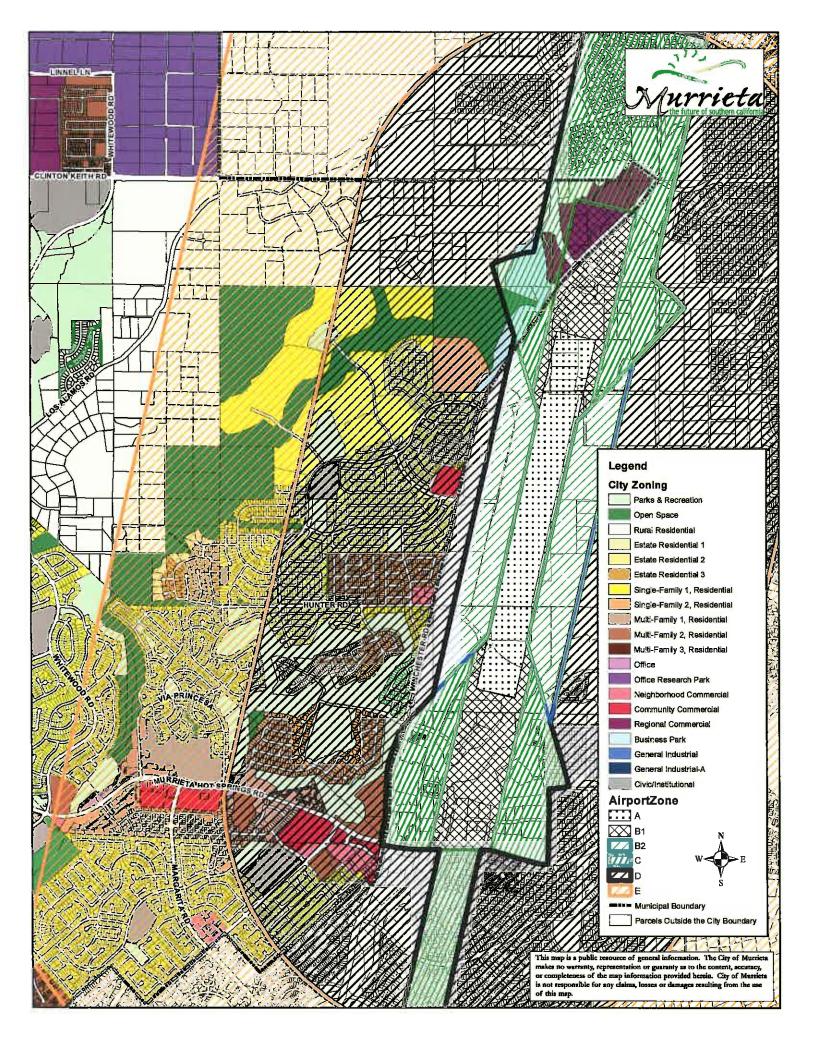
Staff Report Page 4 of 4

- Changes in approval and expiration times
- Section 16.110 Definitions of the City's Development Code.
 - Add, amends, and removes definitions to be consistent with other sections of the development code.

Part 77

The elevation of the airport's Runway 18-36 is 1,347 feet above mean sea level (1347 AMSL) at its northerly terminus and 1,330 feet AMSL at its southerly terminus. This ordinance amendment does not itself authorize any physical development. The City will ensure that future buildings/structures will be evaluated to determine whether FAA notice is required (per FAA requirements for any construction or alteration that exceeds the imaginary surface extending outward and upward at a slope of 100 to 1 for runways exceeding 3,200 feet in length). Buildings that exceed the FAA notice threshold will require review by the FAA Obstruction Evaluation Service (FAA OES) and submittal of online Form 7460-1.

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16.01 Purpose and Effect of Development Code

Sections: 16.01.010 Title. 16.01.020 Purpose of Development Code. 16.01.030 Authority, Relationship to General Plan. 16.01.040 Authority, Relationship to General Plan. 16.01.040 Relationship to California Environmental Quality Act. 16.01.050 Relationship to Existing Specific Plans and Riverside County Land Use Ordinance. 16.01.060 Applicability of the Development Code. 16.01.070 Responsibility for Administration. 16.01.080 Partial Invalidation of Development Code.

16.01.010 Title.

This title is and may be cited as the city of Murrieta development code, Title 16 of the Murrieta municipal code, hereafter referred to as "this development code." (Ord. 182 § 2 (part), 1997)

16.01.020 Purpose of Development Code.

This development code implements the policies of the Murrieta general plan by classifying and regulating the uses of land and structures within the city. This development code is adopted to protect and to promote the public health, safety, comfort, convenience, prosperity and general welfare of residents and businesses in the city. Additional purposes of this development code are to:

- A. Implement the goals, objectives, policies and programs of the Murrieta general plan, and to manage future growth and development in compliance with that plan;
- B. Provide standards for the orderly growth and development of the city that will maintain the community's housing, service, retail and employment needs in appropriate locations:
- C. Require high quality planning and design for development, that enhances the visual character of the city, avoids conflicts between land uses, and preserves the scenic qualities of the city;
- D. Conserve and protect the natural resources of the city, its natural beauty and significant environmental amenities;
- E. Create a comprehensive and stable pattern of land uses upon which to plan transportation, water supply, sewerage and other public facilities and utilities; and
- F. Provide regulations for the subdivision of land in compliance with the Subdivision Map Act, Title 7, Section 4, Division 2 of the California Government Code. (Ord. 492 Exhibit 2, 2014; Ord. 182 § 2 (part), 1997)

16.01.030 Authority, Relationship to General Plan.

- A. This development code is enacted based on the authority vested in the city by the state of California, including but not limited to the state Constitution; 65800 and subsequent sections of the California Government Code; the California Environmental Quality Act, Subdivision Map Act, and the Health and Safety Code.
- B. This development code is the primary tool used by the city to implement the goals, objectives, policies, and programs of the Murrieta general plan. The city council intends that this development code be consistent with the Murrieta general plan, and that any land use, subdivision or development approved in compliance with this development code will also be consistent with the Murrieta general

- plan. A proposed use is considered to be consistent with the general plan when the following conditions exist:
- 1. The proposed use is compatible with the description of the land use element designation in which the use is located, as shown by the land use element map, and as described in the text of the general plan;
- 2. The proposed use is in conformance with the goals, objectives, policies, plans, programs, maps, and guidelines and the intent of the Murrieta general plan; and
- 3. The proposed use is to be established and maintained in a manner which is consistent with all elements of the general plan and all applicable provisions contained therein. (Ord. 182 § 2 (part), 1997)

16.01.040 Relationship to California Environmental Quality Act.

All projects subject to the provisions of the California Environmental Quality Act (CEQA) shall be reviewed in compliance with the provisions of this code, CEQA, and the city of Murrieta environmental review guidelines. (Ord. 182 §2 (part), 1997)

16.01.050 Relationship to Existing Specific Plans and Riverside County Land Use Ordinance.

- A. Repeal of Riverside County Land Use Ordinances. This development code shall repeal those portions of the Riverside County land use and subdivision ordinances formerly adopted by reference by the city of Murrieta.
- **B.** Zoning of Existing Specific Plans. Existing specific plans located within the city of Murrieta that were approved under the Riverside County ordinances shall be designated on the official zoning map as specific plan.
- C. Inapplicability of Setback Requirements to Certain Specific Plans. The front, side, and rear yard setbacks specified in Table 16.01-1 below shall not be applicable to new residential structures on existing vacant legal lots of record within the areas identified as Specific Plan No. 173 (California Oaks) and Specific Plan No. 128 (Bear Creek/Joaquin Ranch). The setbacks for those areas are identified in the table below. After residential structures are constructed on said lots, all provisions of this Development Code, including front, side and rear yard setbacks specified in Table 16.01-1 shall apply.

Table 16.01-1 Setbacks for Vacant Lots in Bear Creek & California Oaks							
Front	20 ft.	20 ft.					
Side	5 ft.	5 ft.					
Side (Street)	10 ft.	10 ft.					
Rear	10 ft.	20 ft.					
Accessory Structures	Same as Development Code Table 3-14						

(Ord. 492 Exhibit 2, 2014; Ord. 214 § 1, 1999; Ord. 182 § 2 (part), 1997)

16.01.060 Applicability of the Development Code.

This development code applies to all land uses, structures, subdivisions, lot line adjustments, and development within the city of Murrieta, as follows.

- A. New Land Uses or Structures, Changes to Land Uses or Structures. It shall be unlawful, and a violation of this development code, for any person to establish, construct, reconstruct, alter, or replace any use of land or structure, except in compliance with the requirements of 16.02.010 (Requirements for Development and New Land Uses), and 16.32 (Nonconforming Uses, Structures, and Parcels).
- **B.** Issuance of Construction Permits. Building, grading, or other construction permits may be issued by the department only when the proposed land use and/or structure satisfy the requirements of subsection A above, and the director determines that the site was subdivided in compliance with all applicable requirements of Article V (Subdivisions).
- C. Subdivision of Land. Any subdivision of land proposed within the city of Murrieta after the effective date of this development code shall be consistent with the minimum parcel size requirements of Article II (Zoning Districts and Allowable Land Uses), the subdivision requirements of Article V (Subdivisions), and all other applicable requirements of this development code.
- D. Continuation of an Existing Land Use. An existing land use is lawful and not in violation only when operated and maintained in compliance with all applicable provisions of this development code. The requirements of this development code are not retroactive in their effect on a land use that was lawfully established before the effective date of this development code or any applicable amendment. A use that was legally established but does not fully comply with all of the requirements of this development code may be maintained in compliance with 16.32 (Nonconforming Uses, Structures, and Parcels).
- E. Effect of Development Code Changes on Projects in Progress. The enactment of this development code or amendments to its requirements may impose different standards on new land uses. The following provisions determine how the requirements of this development code apply to projects in progress at the time requirements are amended.
 - Projects with Pending Applications. Applications that have been accepted as complete, in
 compliance with State law (Government Code Section 65943) by the Department prior to the
 effective date of this development code, shall be processed in compliance with the regulations
 and requirements in effect at the time the application was accepted as complete. Applications
 for extensions of time shall be consistent with this development code.
 - 2. Approved Projects not yet Under Construction. An approved project for which an approved land use has not been established or which construction has not begun (excluding parcel and tentative maps) as of the effective date of this development code or amendment, may still be established or constructed as approved, before the expiration of an applicable land use permit (16.80.060, Time Extensions) or, where applicable, before the expiration of an approved time extension.
 - 3. **Projects Under Construction.** A structure that is under construction on the effective date of this development code or any amendment, need not be changed to satisfy new or different requirements of this development code.
- **F.** Other Requirements may still Apply. Nothing in this development code eliminates the need for obtaining any other permits required by the city, or permits, approvals or entitlements required by other provisions of the municipal code or the regulations of a city department, or county, regional, state, or Federal agency.
- G. Conflicting Permits and Licenses to be Void. Permits or licenses shall be issued by the city in compliance with the provisions of this development code, after the effective date of this development code or amendment. Permits or licenses issued in conflict with this development code shall be void. (Ord. 202 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)16.01.070 Responsibility for Administration.

This development code shall be administered by the Murrieta city council, planning commission.

development services director, and the Murrieta development services department, in compliance with 16.46 (Administrative Responsibility). (Ord. 182 § 2 (part), 1997)

16.01.080 Partial Invalidation of Development Code.

If any article, chapter, section, subsection, paragraph, subparagraph, sentence, clause, phrase or portion of this development code is held to be invalid, unconstitutional or unenforceable by a court of competent jurisdiction, these decisions shall not affect the validity of the remaining portions of this development code. The Murrieta city council hereby declares that this development code and each article, chapter, section, subsection, paragraph, subparagraph, sentence, clause, phrase or portion would have been adopted irrespective of the fact that one or more portions of this development code may be declared invalid, unconstitutional or unenforceable. (Ord. 182 § 2 (part), 1997)

16.08 Residential Districts

Sections:

16.08.010 Purpose.

16.08.020 Residential District General Development Standards.

16.08.030 Single-family Residential Design Standards and Design Features.

16.08.040 Multi-family Residential Design Standards.

16.08.010 Purpose.

This chapter provides regulations applicable to development and new land uses in the residential zoning districts established by 16.06.010 (Zoning Districts Established). The purposes of the individual residential zoning districts and the manner in which they are applied are as follows:

- A. RR (Rural Residential) District. The RR zoning district identifies areas intended for low density, large lot single-family uses within a rural atmosphere, and may include the keeping of horses and other livestock, including kennels, as a permitted use in conjunction with the main residential use. Agricultural uses are allowable especially for buffering smaller lot single-family designations. The allowable density range is from 0.1 to 0.4 dwelling units per acre, with a minimum parcel size of 2.5 acres, unless designated within a master plan overlay. The RR zoning district is consistent with the large lot residential designation of the general plan;
- B. ER-1 (Estate Residential 1) District. The ER-1 zoning district identifies areas appropriate for large lot single-family uses, and allows for the keeping of horses and other livestock in conjunction with the main residential use, including small scale agricultural uses appropriate far buffering smaller lot single-family designations. The allowable density range is from 0.4 to 1.0 dwelling units per acre, with a minimum parcel size of one acre, unless designated within a master plan overlay. The ER-1 zoning district is consistent with the large lot residential land use designations of the general plan;
- C. ER-2 (Estate Residential 2) District. The ER-2 zoning district identifies areas appropriate for large lot single-family uses, and allows for the keeping of horses and other livestock in conjunction with the main residential use, including small scale agricultural uses appropriate for buffering smaller lot single-family designations. The allowable density range is from 1.0 to 2.0 dwelling units per acre, with a minimum parcel size of one-half acre, unless designated within a master plan overlay. The ER-2 zoning district is consistent with the single-family residential land use designations of the general plan;
- **D. ER-3** (**Estate Residential 3**) **District.** The ER-3 zoning district identifies areas appropriate for large lot single-family uses. This district is an appropriate transition zone between rural and the single family zones. The allowable density range is from 2.0 to 3.0 dwelling units per acre, with a minimum parcel size of ten thousand (10,000) square feet The ER-3 zoning district is consistent with the single-family residential designations of the general plan;
- E. SF-1 (Single-Family Residential 1) District. The SF-1 zoning district is applied to parcels appropriate for single-family subdivisions with a uniform lot pattern possessing a minimum parcel size of seven thousand two hundred (7,200) square feet. The allowable density range is from 2.1 to 5.0 units per acre. The SF-1 zoning district is consistent with the single-family residential land use designation of the general plan;
- F. SF-2 (Single-Family Residential 2) District. The SF-2 zoning district is applied to parcels appropriate for single-family subdivisions which may include detached and attached single-family dwelling units with common walls. The allowable density range is from 5.1 to 10.0 units per acre. The minimum parcel size for detached single-family units is five thousand (5,000) square feet. Clustering of units to provide aggregate-open space is encouraged, with units on individual parcels with commonly maintained open space, and on-site recreational facilities required. The SF-2 zoning district is consistent with the single-family residential land use designation of the general plan;
- G. MF-1 (Multi-Family Residential 1) District. The MF-1 zoning district is applied to parcels appropriate for low density multi-family subdivisions which may include stacked flats or townhouse development, with ample amounts of open space, including required commonly maintained recreational and open space facilities. Air space or postage stamp subdivisions providing individual

- ownership are allowed. The allowable density range is from 10.1 to fifteen (15) units per acre. The minimum parcel size for single family detached units is five thousand (5,000) square feet Small lots for single family detached units may be permitted subject to Planned Residential Development standards in section 16.16.020. Clustering of units to provide aggregate open space is encouraged, with commonly maintained open space, and on-site recreation facilities. The MF-1 zoning district is consistent with the multi-family residential land use designation of the general plan;
- H. MF-2 (Multi-Family Residential 2) District. The MF-2 zoning district is applied to parcels appropriate for high density multi-family development, in which attached or detached dwelling units may be air-space condominiums, or rented as apartments under single ownership. Senior housing, congregate care assisted living/skilled nursing or group facilities are allowed, with commonly maintained recreational facilities and open space required. The allowable density range is from 15.1 to eighteen (18) units per acre. The MF-2 zoning district is consistent with the multi-family residential land use designation of the general plan; and
- I. MF-3 (Multi-Family Residential 3) District. The MF-3 zoning district is applied to parcels appropriate for higher density multi-family development, in which attached dwelling units, senior housing and assisted living facilities are allowed with commonly maintained recreational facilities and open space required. The allowable density range is a minimum of 30 units per acre. The MF-3 zoning district is consistent with the multi-family residential land use designation of the general plan.

TABLE 16.08-1 USE TABLE FOR RESIDENTIAL (SINGLE-FAMILY) ZONING DISTRICTS Permit Requirement by District								
Symbol			Applicat	le Proce	ss		See Chapter	
P	Permitted Land Use - Compliance with development standards and zoning clearance required						16.74	
С	Conditional Use - Conditional use permit 16.52 required					16.52		
"Blank"	Land use not permitted							
Land Use (1) (2)	RR ER-1 ER-2 ER-3 SF-1 SF-2				See Standards in Section			
Agriculture, Open Space and Resources								
Animal Keeping	P	P	Р	P	P	P	16.44.040	
Crop Production, Commercial	P	P	P					
Equestrian Facilities, Commercial	P	P	P	P	P	P		
Kennels Residential/Commercial	P ⁽³⁾ 16.44.0				16.44.040.E.2.			
Nature Preserves	P	P	P					
Plant Nurseries, Commercial	С	C	С					

TABLE 16.08-1 USE TABLE FOR RESIDENTIAL (SINGLE-FAMILY) ZONING DISTRICTS Permit Requirement by District

<u> </u>	iit Kequ	urement	by Distr	ict			
Land Use (1) (2)	RR	ER-1	ER-2	ER-3	SF-1	SF-2	See Standards in Section
Agriculture, Open Space and Resources (Cont'd)							
Open Space	P	P	Р	P	P	P	
Wind Conversion Energy Systems (non-commercial)	С						
Communication Facilities							
Satellite Dishes/Antennas	P	P	P	P	P	P	16.44.170A
Wireless Communication Facilities	С	С	С	С	С	С	16.44.170B
Education, Public Assembly and Recreation							
Bingo	С	С	С	С	С	С	<u>16.44.210</u>
Churches, places of worship	С	С	С	С	C	С	
Cemeteries, Mortuaries, Crematoriums, Mausoleums	С	С	С				
Golf Courses, Country Clubs, Driving Ranges	С	С	С	С	С		
Private Residential Recreational Facilities,	P	Р	P	P	Р	P	See definition
Schools .	С	С	С	С	С	С	
Wedding/Event Facilities (4)	E	e					16.44.230
Residential							
Assisted Living/Skilled Nursing	С	С	С	С	С	С	See definition
Bed and Breakfast Inns	С	С	С				
Child Day Care - Up to 8 children ⁽⁵⁾	Р	P	P	P	P	P	16.44.050
Child Day Care - 8-9 to 14	P	P	P	P	P	Р	16.44.050
Child Day Care - More than 15 children or more	С	С	С	С	С	С	16.44.050
Home Occupations	P	P	P	P	P	P	16.60.030
Manufactured Housing (including mobile homes) ⁽⁶⁾	P	Р	P	Р	P		

TABLE 16.08-1 USE TABLE FOR RESIDENTIAL (SINGLE-FAMILY) ZONING DISTRICTS Permit Requirement by District

2 See Standards in Section
16.44.150
16.44.230
16.44.1501
16.44.160
16.44.200
16.44.200

Notes:

- (1) See Section 16.04.020 regarding uses not listed.
- (2) See Article VI for definitions of the land uses listed.
- (3) Kennels existing as of January 1, 2014 within the RR zone are a legal-conforming land use and are permitted to continue in operation subject to no changes in the existing operation and/or compliance with the development standards contained in Section 16.44.040.E.2.
- (4) Minimum four and a half five (4.5) acre property.
- Zoning clearance not required.
- (6) Any development standards imposed shall be limited to those specified in state law. No Manufactured Housing shall be installed on a lot in a permitted residential zone if more than 10 years has elapsed between the date of manufacture of the manufactured home and the date of the application for the issuance of a permit to install the manufactured home in the affected zone. This exclusion shall not apply to legally permitted Manufactured Homes converting form a pier foundation system to a permanent foundation system.

TABLE 16.08-2 USE TABLE FOR RESIDENTIAL (MULTI-FAMILY) ZONING DISTRICTS Permit Requirement by District

Symbol	Applicable Process			See Chapter	
P	Permitted Land Use - Compliance with development standards and zoning compliance required			16.74	
C		nal Use - Co it required	onditional	16.52	
"Blank"	Land use	not allowed	1		
Land Use (1) (2)	MF-1	MF-2	MF-3	See Standards in Section	
Agriculture, Open Space and Resources					
Open Space	P	P			
Communication Facilities					
Satellite Dishes/Antennas	P	P	P	16.44.170-A	
Wireless Communication Facilities	С	С	С	16.44.170-B	
Education, Public Assembly and Recreation					
Bingo	С	С		<u>16.44.210</u>	
Churches, Places of Worship	С	С			
Private Residential Recreational Facilities,	P	P		See definition	
Schools	С	С			
Residential					
Assisted Living/Skilled Nursing	С	С	С	See definition	
Bed and Breakfast Inns					
Child Day Care - Up to 8(3)	P	P	P	16.44.050	
Child Day Care - 9 to 14	P	P	Р	16.44.050	
Child Day Care — 15 children or more+	С	С	С	16.44.050	
Home Occupations	P	P	P	16.60.030	
Marijuana Cultivation, Delivery, Dispensary, and Processing					
Medical Marijuana Dispensary					

Medical Marijuana Dispensary, Mobile			
	 		i

TABLE 16.08-2 USE TABLE FOR RESIDENTIAL (MULTI-FAMILY) ZONING DISTRICTS Permit Requirement by District

Land Use (1) (2)	MF-1	MF-2	MF-3	See Standards in Section
Residential (cont'd)				
Mobile Home Parks	С	С	₽ <u>C</u>	
Model Homes/Sales Office	P	P	<u>P</u>	
Multi-family Housing	P	P	P	
Residential Accessory Uses and Structures	P	P	P	16.44.150
Residential Care Homes - Up to 6 Clients	P	P	<u>P</u>	
Residential Care Homes - 7 or More Clients	С	С	<u>C</u>	
Rooming/Boarding Houses	C	С		16.44.150I
Accessory Second Dwelling Units (4)	<u>P</u>	<u>P</u>	<u>P</u>	16.44.160
Supportive Housing	<u>P</u>	<u>P</u>	<u>P</u>	<u>16.44.200</u>
Transitional Housing (including SRO/Efficiency units)	<u>P</u>	<u>P</u>	<u>P</u>	16.44,200

Notes:

- (1) See Section 16.04.020.D regarding uses not listed.
- (2) See Article VI for definitions of the land uses listed.
- (3) Zoning clearance not required.
- (4) Accessory dwelling units are permitted in multi-family residential zoning districts where there is an existing owner-occupied single-family detached dwelling.

(Ord. 492 Exhibit 4, 2014; Ord. 486 § 2, 2014; Ord. 482 § 2, 2013; Ord. 480 § 4, 2013; Ord. 463 § 1, 2011; Ord. 427 § 1, 2009; Ord. 408 § 2, 2008; Ord. 382 § 5, 2007; Ord. 367 § 4 (part), 2006; Ord. 293 § 1 (part), 2004; Ord. 280 § 1, 2003; Ord. 269 § 2 (part), 2002; Ord. 253 § 2 (part), 2002; Ord. 202 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)

16.08.020 Residential Districts General Development Standards.

New land uses and structures, and alterations to existing land uses and structures, shall be designated, constructed, and/or established in compliance with the requirements in Table 16.08-3, in addition to the applicable design standards in Sections 16.08.030 and 16.08.040 and the general development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development Standards).

TABLE 16.08-3 RESIDENTIAL (SINGLE-FAMILY) ZONES GENERAL DEVELOPMENT STANDARDS								
Development Feature	RR	ER-1	ER-2	ER-3	SF-1	SF-2		
Minimum Parcel Size	2.5 acres ⁽²⁾	1.0 acres	0.5 acres ⁽¹⁾	10,000 sq. ft.	7,200 sq. ft.	5,000 sq. ft.		
Minimum Parcel Size w/Master Planned Overlay	20,000 sq. ft	10,000 sq. ft.	7,200 sq. ft.	N/A	10% @ 5,000 sq. ft. or 20% @ 6,000 sq. ft.	N/A		
Density Range	0.1 - 0.4 du-/acre	0.4 - 1.0 du /acre	1.0 - 2.0 dus/acre	2.0 - 3.0 dus/acre	2.1 - 5.0 du /acre	5.1 - 10.0 du-/acre		
Minimum Parcel Width	100 feet	100 feet	100 feet	70 feet	70 feet	55 feet		
Minimum Livable Area	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	1,000 sq. ft.		
Setbacks								
Front	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet		
<u>InteriorSide (interior)</u>	20 feet	20 feet	20 feet	10 feet	10 feet	7.5 feet per side		
Street Side	20 feet	20 feet	20 feet	20 feet	20 feet	10 feet		
Rear	20 feet	20 feet	20 feet	20 feet	20 feet	20 feet		
Accessory Structures			Consistent with	Section 16.44.150		1		
Maximum Parcel Coverage	25%	25%	<u>3</u> 25%	35%	35% for two-story; 45% for single story	50%		
Maximum Building Height	40 feet	40 feet	40 feet	35 feet	35 feet	35 feet		
Maximum Minimum On-site Landascaping	25% of front yard area							

Notes:

A forty (40) foot wide buffer shall be provided along Washington Avenue (from Guava to Elm Street) in the public right-of-way. Landscaping to include six-foot high block wall, pedestrian trails and/or sidewalk, and landscaping berms to act as natural buffers. New residential projects will be allowed to access from Washington Avenue with residential lots abutting Washington Avenue are prohibited from taking direct access from Washington Avenue.

The minimum parcel area for properties zoned RR can include adjacent area to the centerline of the public street right-of-way.

TABLE 16.08-4 RESIDENTIAL (MULTI-FAMILY) ZONES GENERAL DEVELOPMENT STANDARDS

Development Feature	MF-1	MF-2 /MU-3⁽²⁾	MF-3
Minimum Parcel Size	5 acres	5 acres	5 acres
Minimum Parcel Width	100 feet	100 feet	100 feet
Density Range	10.1 - 15 du/acre	15.1 - 18.0 du/acre	Min. 30 du/acre
Minimum Livable Area	500 sq. ft.	500 sq. ft.	500 sq. ft.
Setbacks			
Street	10 feet	10 feet	Varying 10 - 20 feet
Interior	10 feet	10 feet	Minimum 10 feet(1)
Maximum Parcel Coverage	35%	35%	None
Maximum Height Limit	50 feet	50 feet	100 feet
Open Space (per dwelling unit)			
Private Open Space	60 sq. ft./upper floor 100 sq. ft./ground floor	60 sq. ft./upper floor 100 sq. ft./ground floor	All units 50 sq. ft. ⁽²⁾
Common Open Space	200 sq. ft.	200 sq. ft.	150 sq. ft. ⁽³⁾
Recreational Amenities			For projects containing 25 or more dwelling units, provide one recreational amenity for each 30 dwelling units or fraction thereof ⁽⁴⁾
Minimum On-site Landscaping		10% of the site	area

Notes:

- When adjacent to existing single-family residential use or zone, the building setback from the nearest property line shall be 10 feet for the first 25 feet in height, above 25 feet in height the setback shall be 20 feet, and above 50 feet, the setback shall be 30 feet.
- (2) For stand-alone multi-family residential projects or as part of a mixed-use development, each residential unit shall be provided with at least one area of private open space accessible directly from the living area of the unit, in the form of fenced yard or patio, a deck or balcony at a minimum area of 50 square feet. The minimum dimension, width or depth of a balcony shall be 5 feet.
- (3) All common open space shall be conveniently located and accessible to all dwelling units on the site. Common open space may include landscaping, pedestrian paths and recreational amenities. In projects containing fewer that 10 units, the common open space shall have a minimum width and depth of 10 feet. In projects containing 10 or more or units, the minimum width and depth shall be 20 feet.

TABLE 16.08-4 RESIDENTIAL (MULTI-FAMILY) ZONES GENERAL DEVELOPMENT STANDARDS

Notes:

One common recreational amenity shall be provided for each 30 units or fraction thereof. The following listed amenities satisfy the above recreational facilities requirements. Recognizing that certain facilities serve more people than others, have a wider interest or appeal, and/or occupy more area, specified items may be counted as two amenities, as noted. In all cases, each square foot of land area devoted to a recreational amenity shall be credited as common open space on a 1:1 basis.

- a. Clubhouse (two)
- b. Swimming Pool (two)
- c. Tennis, Basketball or Racquetball court
- d. Weightlifting facility
- e. Children's playground equipment
- f. Sauna or Jacuzzi
- g. Day Care Facility (two)
- Other recreational amenities deemed adequate by the director.

(Ord. 492 Exhibit 4, 2014; Ord. 482-13 § 2, 2013; Ord. 377 § 3, 2006; Ord. 367 § 3, 2006; Ord. 297 § 2, 2004; Ord. 293 § 1 (part), 2004; Ord. 280 § 2, 2003; Ord. 253 § 2 (part), 2002; Ord. 182 § 2 (part), 1997)

16.08.030 Single-family Residential Design Standards and Design Features.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all new single-family residential subdivisions. Standards are mandatory requirements for all new single-family residential subdivisions. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design. In some instances, there will be no design feature(s) identified for a particular standard.

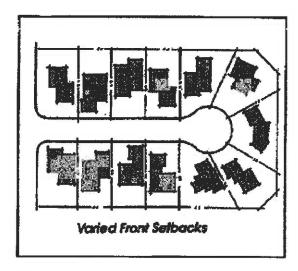
A. Site Planning. The following standards and design features deal with the internal organization of new single-family residential development. The intent of the standards and design features are to ensure that the relationships of units to each other and to other on-site uses are functional, attractive, and create visual variety along the project's streets.

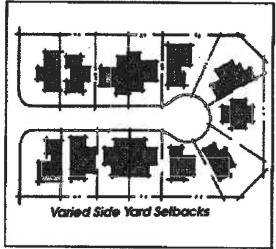
1. Site Character.

- a. Standard: Existing natural amenities (e.g., views, mature trees, and topographic features) and other amenities (e.g., structures of architectural significance and cultural resources) unique to the site shall be preserved and incorporated into the project's design whenever possible.
- **b. Standard:** Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:
 - 1) Terrace parking lots to conform with the terrain.
 - 2) Step building foundations and retaining walls to follow natural terrain.
 - 3) Avoid grading large, flat pads in hilly terrain.
 - 4) Provide larger setbacks to preserve natural landforms.

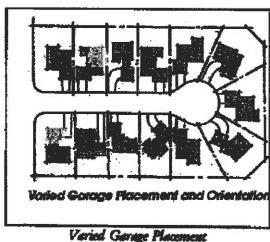
2. Variation of Development Patterns.

- **a. Standard:** Variation of development patterns shall be incorporated in new subdivisions to achieve visual diversity and avoid a monotonous appearance by use of at least one of the following design features:
 - Alternate placement of homes and garages closer to and farther back from the street to create different patterns of open space along the street edge and to break up an otherwise monotonous view of houses built along the same setback.





- Vary the distance between adjacent structures, or between structures and fences to result in different types of yards and private patio areas and to create variety and interest.
- 3) Design some lots wider and some narrower than the average to provide different amounts of open area between structures and to allow placement of different shapes and sizes of homes. On narrow lots, a variation of only three or four feet can make a perceptible difference in the street scene.
- 4) When lot size permits, vary garage placement and orientation through the provision of garages on the front side of the house, which can he entered from the front or side. garages that vary in size, or detached garages connected to the home by breezeways.



3. Streets.

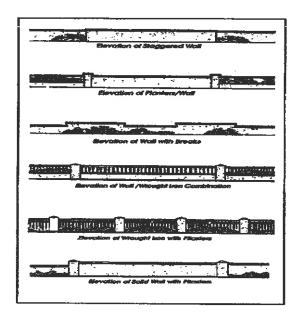
- **a. Standard:** New project streets shall connect with existing public streets to form a continuous neighborhood network of streets whenever possible.
- **b. Standard:** New residential streets shall be developed with parkways in compliance with the city's standards Plans Manual when required by the Director.
- c. Standard: Private streets are allowed in gated communities for projects of fifty (50) units or more. Standards for private streets shall be those specified in the city's standards Plans Manual.
- d. Standard: Blocks longer than five hundred (500) feet are discouraged, but may be considered provided they incorporate at least one of the following design features:
 - Significant differences shall be incorporated in the massing and composition (not just finish materials) of each adjacent house. Varied designs shall not be repeated more frequently than every fourth house.
 - 2) Each group of three adjacent houses shall contain at least one house whose front setback differs from those of its neighbors by a minimum of five feet. Minimum setback requirements may be reduced to eighteen (18) feet to accommodate this variation. Average front yard setback shall be no less than twenty (20) feet.
 - 3) Curved streets shall be integrated into the block design with radii to the centerline of the street, in conformance with city standards.
- **e. Standard:** Private streets with gated entries shall provide a queuing distance in front of the gate to accommodate a minimum of four vehicles. The director may require a greater distance for larger projects.

4. Landscaping.

- a. Standard: Landscaping shall be used to frame, soften, and embellish the quality of the residential environment, to buffer units from noise or undesirable views, to break up large expanses of parking, and to separate frontage roads within a project from adjacent major streets.
- **b. Standard:** Street trees along all public and private streets shall be provided in compliance with current city standards.
- **c. Standard:** Existing healthy trees shall be preserved and incorporated into the new project's landscaping in compliance with Chapter 16.42 (Tree Preservation).

5. Walls.

- a. Standard: Walls shall be designed using masonry materials such as split face and slumpstone, with colors that complement the architectural design of adjacent buildings.
- **Standard:** Walls adjacent to streets shall run in a continuous plane for more than forty-eight (48) feet without incorporating at least two of the following design features:
 - 1) A minimum two-foot change in plane for at least ten feet;
 - 2) A minimum eighteen- (18-) inch raised planter for at least ten feet;
 - 3) A minimum eighteen- (18-) inch change in height for at least ten feet;
 - 4) Use of pilasters at forty-eight (48) foot intervals and at changes in wall planes and height; or
 - 5) A section of open grillwork a minimum four feet in height for at least ten feet.



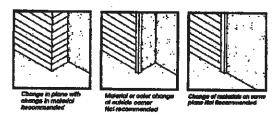
B. Architectural Standards.

- 1. **Building Design.** There is no specific architectural "style" required for residential structures. In general, residential structures should consider compatibility with surrounding character, including building style, form, size, color, material, and roof line.
 - **a. Standard:** The design of houses shall be varied in tract developments to create variety and interest by use of at least one of the following design features:
 - Provide a significant difference in the massing, orientation, and composition (not just finish materials and colors) for each adjacent house should be accomplished.
 - 2) One design shall not be repeated more frequently than each fourth house.
 - 3) Alternative garage orientations shall be used on at least every fourth house.
 - **b. Standard:** If a side or rear elevation faces a street, it shall be designed with the same care and attention to detail as the front elevation.
 - **c. Standard:** Exterior elevations shall be articulated and detailed to provide visual interest and scale by use of at least three of the following design features:
 - 1) Offset building planes a minimum of two feet.
 - 2) Provide recessed entries and windows.
 - 3) Include projecting or recessed balconies.
 - 4) Substantial roof overhangs with detailed rafter ends.
 - 5) Design front porches a minimum of five feet deep.
 - 6) Dormer windows.
 - 7) Stepping back the second story.
 - 8) Use of different building materials with varying textures and colors.
 - **d. Standard:** Full, sloped roofs and horizontal roof articulation shall be incorporated in building designs by use of one of the following design features:
 - 1) Offset roof planes by a minimum of two feet.
 - 2) Provide hip roof on street-facing elevations.
 - 3) Incorporate dormer windows.
 - 4) Include cross gables.
 - **e. Standard:** All corner lots in subdivisions recorded after December 19, 2006 on two street frontages that are designated as a collector or greater street type shall be single-story homes.
 - f. Standard: A minimum of 25% or the total number of homes in a subdivision of ten or more lots recorded after December 19, 2006 shall be single-story homes. The required mix of two-story homes and single-story homes shall be evenly plotted within the subdivision, with no more than three two-story homes next to each other, unless the requirement is waived by the Planning Director.

g. Standard: Solar panels shall be integrated into the roof design, flush with the roof slope.
Frames shall be colored to match roof colors. Any support equipment shall be enclosed and screened from view.

2. Building Materials.

- a. Standard: The choice and mix of materials on the facades of residential units and garage doors within a subdivision shall be consistently applied and shall be chosen to work harmoniously with adjacent materials by use of at least one of the following features:
 - 1) Piecemeal embellishment and frequent changes in materials shall be avoided.
 - Avoid material changes at the outside corners of structures or where there is no change in the wall plane to prevent giving an impression of thinness and artificiality.
 - 3) Design changes in materials to occur at changes in plane to ensure that materials appear substantial and integral to the structure.



Change in materials shall relate to wall plane.

(Ord. 492 Exhibit 4, 2014; Ord. 377 § 4, 2006; Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

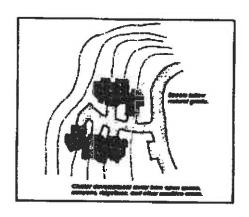
16.08.040 Multi-family Residential Design Standards.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all multi-family residential developments. Standards are mandatory requirements for all multi-family residential developments. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design. In some instances, there will be no design feature(s) identified for a particular standard and this will be noted.

A. Site Planning.

1. Site Character.

- a. Standard: Existing natural amenities (e.g., views, mature trees, and topographic features) and other amenities (e.g., structures of architectural significance and cultural resources) unique to the site shall be preserved and incorporated into the project's design whenever possible.
- **b.** Standard: Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:
 - 1) Terrace parking lots to conform with the terrain.
 - 2) Step building foundations and retaining walls to follow natural terrain.
 - 3) Avoid grading large flat pads in hilly terrain.
 - 4) Provide larger setbacks to preserve natural landforms.



Preserve natural contour of the land

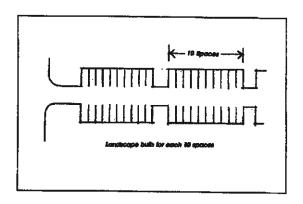
2. Building Placement.

- a. Standard: Buildings shall be placed with varying setbacks and/or orientation to the street to provide visual interest.
- b. Standard: Clustering of multi-family units shall be a consistent site planning element. Buildings composed of a series of simple yet varied planes, assure compatibility and variety in overall building form.
- **c. Standard:** Minimum distances between buildings shall be in compliance with Section 16.18.130 (Separation and Privacy standards for Residential Structures). Whenever possible, buildings shall be oriented to avoid instances where living spaces of one structure face the living spaces of another.
- d. Standard: Buildings shall be oriented to create common open space areas.
 - 1) Courtyards
 - 2) Open space nodes
 - 3) Recreation areas
- e. Separation Between Structures. See Section 16.18.130 for requirements.

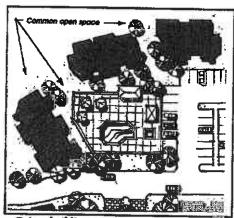
B. Parking and Circulation.

1. Parking Areas.

- a. Standard: Parking areas shall not be a dominant site feature and shall be divided into a series of connected smaller lots that are laid out in an efficient and aesthetic manner. This can be accomplished by incorporating at least one of the following design features:
 - There should be no more than an average of ten spaces of uninterrupted parking, whether in garages, carports, or open parking areas. Each ten spaces should be separated from additional spaces by a landscaped bulb equal to the width of one parking stall.

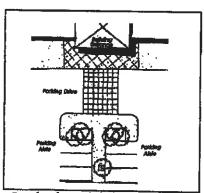


- 2) Parking areas should not consist of more than two double-loaded parking aisles adjacent to each other.
- 3) Parking areas should be separated from each other by buildings or by landscaped buffer not less than thirty (30) feet wide.



Orient buildings to create useable open space

- **b. Standard:** Parking areas shall be treated as "landscape plazas," with attention to landscape surfaces, softened edges, shade, and pedestrian circulation. This can be accomplished by incorporating at least one of the following design features:
 - 1) Provide pedestrian connections to adjoining public rights-of-way and commercial land uses when appropriate.



Provide pedestrian links from parking lots to buildings.

- 2) Enhanced paving materials, trellises, and landscaping to accentuate the pedestrian circulation system.
- 3) Landscaped bulbs in parking areas to align with pedestrian access to buildings from a parking area. Bulbs should be at least two car spaces wide and include a walkway as well as a vertical landscape or architectural element (e.g., a trellis or a tree).

2. Access Drives.

- a. Standard: Access drives shall be located at least two hundred (200) feet apart and at least one hundred (100) feet from property lines and street intersections unless an approved shared drive is provided, or the driveway location does not create a traffic hazard to adjacent property.
- **b.** Standard: Access drives shall be located off of side streets and alleys whenever possible.
- c. Standard: Access drives on larger residential projects (more than fifty (50) units) shall include a minimum five-foot-wide landscaped median including curbs, color/textured paving, and other "gateway" elements (e.g., lights, bollards, entry walls,

etc.).

3. Carports and Garages.

- **a.** Standard: Where carports or garages are utilized, they shall follow the same criteria for spatial arrangement as parking areas above.
- **b. Standard:** Carports may be incorporated into patio walls and used to define common and private open space, but incorporating carports into exterior project walls adjacent to streets is not allowed.
- c. Standard: Carports shall be architecturally compatible with the adjacent buildings. They shall be similar in materials, color, and detail to the principal buildings of a development.
- **d. Standard:** Carports may utilize flat roofs but the top of the roof shall not project above any exterior walls adjacent to streets.
- e. Standard: Carport support columns shall be set back a minimum of three feet from carport face to increase maneuverability.

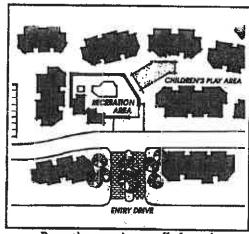
C. Miscellaneous Subjects.

1. Solid Waste and Recyclable Materials Storage Areas.

- **a.** Standard: Solid waste and recyclable materials storage areas shall be enclosed and screened in compliance with 16.18.150 (Solid Waste and Recyclable Materials).
- **b. Standard:** Enclosures shall be finished using materials compatible with the surrounding architecture. Gates shall be solid metal painted to match adjacent buildings.
- **c. Standard:** The location of storage areas shall be conveniently accessible for trash removal by standard refuse disposal vehicles.
- **d.** Standard: Storage areas that can be overlooked from above shall incorporate roof structures to screen the contents of the enclosure from view.

2. Open Space.

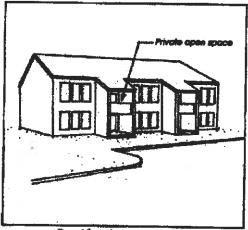
- **a. Standard:** The amount of private and common open space for multi-family residential developments shall be in compliance with 16.08.020 (Residential District Development standards).
- **b. Standard:** The design and orientation of open space shall be oriented to take advantage of available sunlight and should be sheltered from the noise and traffic of adjacent streets.
- c. Standard: Common open spaces and recreation areas shall be located in areas accessible to and visible by as many units as possible.



Recreation area is centrally located.

- **d. Standard:** Private open spaces shall be contiguous to the units they serve and screened to a minimum height of four feet by use of at least one of the following design features:
 - 1) Plant materials and low walls.
 - 2) When possible, use the adjacent structure to enclose private open space.
 - 3) Screening should not be completely comprised of solid materials. Screening above

four feet should provide a maximum of sixty (60) percent opaqueness.



Provide private open space.

3. Screening of Equipment.

- a. Standard: All mechanical equipment, whether mounted on the roof or ground, shall be screened from view in compliance with 16.18.120 (Screening and Buffering). All screening devices shall be compatible with the architecture and color of the adjacent buildings.
- **b. Standard:** Gutters and downspouts shall be concealed unless designed as a particular architectural feature.
- **c. Standard:** Television antennas shall be placed in attics or building interiors, It is required that all units be prewired to accommodate cable reception.
- **d.** Standard: Solar panels shall be integrated into the roof design, flush with the roof slope. Frames shall be colored to match roof colors. Any support equipment shall be enclosed and screened from view.

D. Building Architecture.

1. General.

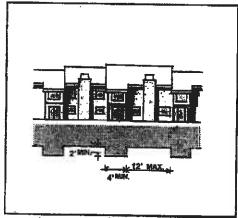
a. Standard: Exterior elevations shall be appropriately articulated and detailed to avoid flat, monotonous wall planes and uninteresting barracks-like structures. This can be accomplished by incorporating a variety of the following design features:



Three attached units appear as one large custom home.

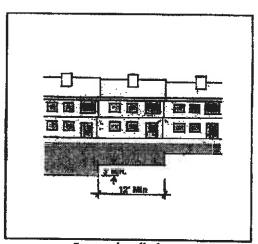
1) Provide at least one architectural projection not less than two feet from the wall plane and not less than eight feet wide. Projections should extend the full height of single-

story buildings, at least one-half the height of a two-story building, and two-thirds the height of a three-story building.



Appropriate architectural projections.

Use a change in wall plane of at least three feet for at least twelve (12) feet between adjacent units.



Staggered wall planes.

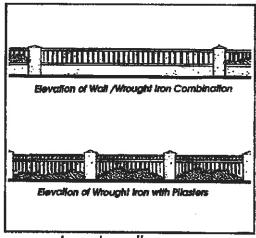
- 3) Provide balconies, porches, arcades, dormers, and cross gables.
- 4) Recess entries and windows to reveal the thickness of walls.
- 5) Step back second and third stories.
- Use different building materials with varying textures and colors. 6)
- Recess garages under units or provide open balconies above.



- 8) Use combinations of one-, one-and-a-half-, and two-story units to create variation and visual interest.
- 9) Use vertical elements (e.g., towers) to accent horizontal massing and provide visual interest.
- **b. Standard:** The maximum number of attached units in a particular structure shall be eight within a single elevation unless variations in the elevations are provided.
- c. Standard: All accessory structures (e.g., laundry facilities, recreation buildings and sales/lease offices) shall be consistent in architectural design with the rest of the complex.

2. Building Materials.

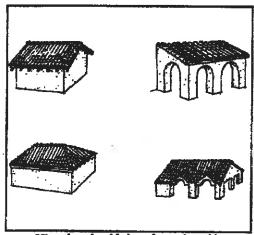
- **a. Standard:** The building and its elements shall be unified in textures, colors, and materials to provide an order and coherence within the project.
- **b. Standard:** The composition of materials shall avoid giving the impression of thinness. Veneers should turn corners, avoiding exposed edges.
- **c. Standard:** The use of artificial materials (e.g., imitation brick, stone, and other simulated materials) is not allowed.
- **d. Standard:** Materials shall be very durable, require low maintenance, and relate a sense of permanence.
- e. Standard: Frequent changes in materials shall be avoided.
- **f. Standard:** Columns, trellises, porches, colonnades, and similar elements shall use materials and colors that are compatible with the adjacent building.
- **g. Standard:** The use of wood fencing along a project boundary or adjacent to streets shall not be allowed.



Appropriate wall treatments.

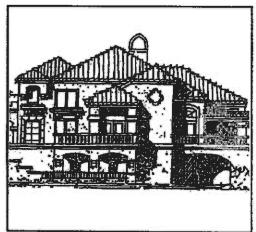
3. Roofs.

- **a. Standard:** Roofs shall reflect a residential appearance through pitch and use of materials, by use of at least one of the following design features:
 - Hipped or gabled roofs covering the entire building are preferable to mansard roofs and segments of pitched roofs applied at the building's edge.



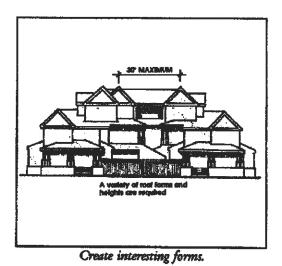
Hipped and gabled roofs are desirable.

2) Roof lines (i.e., ridges and plate heights) shall be broken and varied within an overall horizontal context. The minimum vertical offset should be two feet.



Varied roof lines are strongly encouraged.

3) Use dormers and cross gables to break up large unarticulated roof planes.



Standard: Carport roofs visible from public streets shall incorporate roof slope and

- materials to match adjacent buildings.
- c. Standard: Tile roofing materials shall reflect the color of native earthen clay which were used in their manufacture. Blue, green, and other artificially colored tiles are not allowed.

4. Stairs.

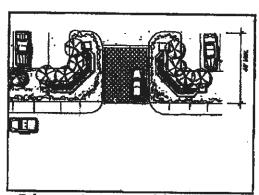
- **a. Standard:** Stairwells shall be designed to minimize visual impact to the greatest extent feasible.
- **b. Standard:** For public safety purposes, opportunities for natural surveillance shall be provided into and out of stairwells.
- c. Standard: Stairwells shall be illuminated to minimize shadows and facilitate overall vision, but should not be overly bright.
- d. Standard: Prefabricated metal stairs shall not be allowed.
- e. Standard: Stair railings shall be either solid or open balusters made of concrete, wood or ornamental ironwork.

5. Color.

- **Standard:** The predominant color of structures shall be muted tones that are found in the natural environment by use of at least one of the following design features:
 - Neutral or light-colored walls should be contrasted with a darker, more intense trim color, while dark-colored walls should be contrasted with light-colored accents and details.
 - 2) Materials such as brick, stone, copper, etc., should be left in their natural colors.

6. Security.

- **a. Standard:** Both public and private spaces shall be limited and shall be appropriately delineated with paving, building materials, grade separations, or with physical barriers such as landscaping, fences, walls, screens, or building enclosures.
- **b. Standard:** Entrances for automobiles and pedestrians shall be limited to the minimum required for adequate circulation and shall be marked with gates, lights, and a directory.



Enhance project entries with landscaping and special paving for visual impact.

c. Standard: All site entrances shall be designed to be highly visible from a public street or alleyway. All access points shall be well lighted.

7. Walls.

- a. Standard. Walls shall be designed using masonry materials such as split face and slump stone, with colors that complement the architectural design of adjacent buildings.
- **b.** Standard: Walls adjacent to streets shall not run in a continuous plane for more than forty-eight (48) feet without incorporating at least two of the following design features:
 - 1) A minimum two-foot change in plane for at least ten feet;
 - 2) A minimum eighteen (18) inch raised planter for at least ten feet;
 - 3) Use of pilasters at forty-eight (48) foot intervals and at changes in wall planes and height; or
- 4) A section of open grillwork a minimum four feet in height for at least ten feet. (Ord. 492 Exhibit 4, 2014; Ord. 293 § 1 (part), 2004)

16.10 Commercial Districts

Sections:

16.10.010 Purpose.

16.10.020 Commercial District General Development Standards.

16.10.030 Commercial Districts Design Standards.

16.10.010 Purpose.

This chapter provides regulations applicable to development and new land uses in the commercial zoning districts established by 16.06.010 (Zoning Districts Established). The purposes of the individual commercial zoning districts and the manner in which they are applied are as follows:

- A. NC (Neighborhood Commercial) District. The NC zoning district is applied to areas appropriate for convenience shopping, including individual retail and service uses and small destination centers on sites generally three to ten acres in size. Appropriate buffering between adjacent residential designations is required. The NC zoning district is consistent with the commercial land use designation of the general plan;
- B. CC (Community Commercial) District. The CC zoning district is applied to areas appropriate to serve the daily shopping needs of the community, including destination centers, supermarkets, and smaller, single-lot, commercial activities. Financial, office and restaurant activities are also allowed. Appropriate buffering between adjacent residential designations is required. Community centers are generally ten (10) to thirty (30) acres in size. The CC zoning district is consistent with the commercial land use designation of the general plan;
- C. RC (Regional Commercial) District. The RC zoning district is applied to areas appropriate for major regional centers containing several major anchor tenants, including, but not limited to, financial, hotel, motel, restaurant, smaller retail, theater and accessory uses, with landscaping, parking access, and signs designed and provided in common. Regional centers are generally thirty (30) acres or larger in size. The RC zoning district is consistent with the commercial land use designation of the general plan.

FOR COM	TABLE 16.10-1 USE TABLE MERCIAL ZONING	G DISTRIC	CTS	
Symbol	App	licable Pr	ocess	See Chapter
P	Complian standards	Land Use nce with de and zoning required	16.74	
С		nal Use - C permit requ	16.52	
'Blank"	Land	use not per	mitted	
Land Use ^{(1) (2)}	NC	CC	See Standards in Section	
Agriculture, Open Space and Resources				
Plant Nurseries	P	P		
Communication Facilities				
Broadcast/Recording Studios	С	С	С	

				<u> </u>
Satellite Dishes/Antennas	Р	P	P	16.44.170A
Wireless Communication Facilities	С	C	C	16.44.170B
Education, Public Assembly and Recreation				
Auditoriums, Meeting Halls and Conference Facilities)	e	P	P	I
Bingo	C	С	С	16.44.210
Bowling Alleys	e	P	₽	l
Gaming Clubs				Chapter 9.15
Churches, Places of Worship	С	С	С	
Cyber Cafe		С		Chapter 5.14
Indoor Amusement Centers, Game Arcades and Pool/Billiard Rooms Indoor Commercial Recreation	С	С	₽ <u>C</u>	See definition
Health and Fitness Centers	Р	P	P	
Libraries and Museums	P	P	P	
Membership Organization Facilities		С	С	
Nightclubs		C.	С	16.44.030
Outdoor Commercial Recreation, Commercial	С	₽ <u>C</u>	<u>C</u> P	See definition
Personal Instruction	<u>P</u>	<u>P</u>	<u>P</u>	1
Recreation Facilities, Private Residential				

TABLE 16.10-1 USE TABLE FOR COMMERCIAL ZONING DISTRICTS					
Land Use ^{(1) (2)}	NC	СС	RC	See Standards in Section	
Education, Public Assembly and Recreation (Cont'd)				······································	
Schools, Specialized Education and Training	P	P	Р		
Schools, College and Universities (3)	<u>C</u>	<u>C</u>	<u>C</u>	1	
Schools, K-12 ⁽³⁾	<u>C</u>	<u>C</u>	<u>C</u>		
Studios Professional - Art, Dance, Music, Photography	P	P	P	See definition	
Theaters, Auditoriums, Meeting Halls, and Conference Facilities – Live Entertainment	С	₽ <u>C</u>	₽ <u>C</u>		
Theaters Motion Pictures	E	P	P		
Manufacturing and Processing					
Handicraft Industries, Small Scale Assembly		P	<u>P</u>		

Printing and Publishing	C	P	<u>P</u>	
Recycling Facilities - Small Collection Facility		<u>C</u> P	₽ <u>C</u>	16.44.140
Recycling Facilities - Reverse Vending Machines		<u>C</u> P	<u>C</u> P	16.44.140
Residential	- -		-	
Assisted Living/Skilled Nursing		С	С	See definition
Child Day Care - 7 to 14	C	P	₽	16.44.050
Child Day Care - 15+	e	E	С	16.44.050
Emergency Residential Shelters and Transitional Housing		С	С	16.44.200
Single Room Occupancy		<u>5</u>		See definition
Supportive Housing		P		
Transitional Housing		P		
Retail Trade	·			
Accessory Retail Uses	₽	₽	P	
Appliance Sales		Р	P	
Art, Antiques, Collectibles and Gifts	P	P	P	
Auto, Mobile Home and Vehicle Sales (new/used outdoor)		С	С	See definition
Auto Sales (indoor)		<u>C</u>	<u>C</u>	
Auto (motor vehicle) parts sales		<u>P</u>	<u>P</u>	
Bars	С	С	С	16.44.030
Building Material Stores		С	С	
Convenience Stores	P	P	P	16.44.030
Drive in and Drive through Facilities	P	P	Þ	16.44.080
Eating and Drinking Establishments	P	P	Р	16.44.030

TABLE 16.10-1 USE TABLE FOR COMMERCIAL ZONING DISTRICTS

Land Use ^{(1) (2)}	NC	СС	RC	See Standards in Section
Retail Trade (Cont'd)	I IVC		I KC	See Standards in Section
Farm Equipment and Supply Sales		С	С	
Furniture and Furnishings		P	Р	
Grocery Stores	P	P	P	16.44.020
Liquor Stores	C	C	C	16.44.030
Marijuana Cultivation, Delivery, Dispensary, and Processing	C			16.44.030
Medical Marijuana Dispensary				
Medical Marijuana Dispensary, Mobile				
Outdoor Display and Sales		С	С	16.44.120
Pet Shops	P	P	Р	
Retail, General Merchandise	P	P	P	
Second Hand Stores	P	Р		See definition
Warehouse Retail Stores	P	P	p	
Services				
Banks and Financial Service	P	Р	P	
Business Support Service	P	P	P	
Car (Motor Vehicle) Wash	С	С	С	
Day Care Centers	С	С	С	16.44.050
Hotels		P	P	16.44.090
Kennels and Boarding Facilities	С	С	С	16.44.040.E.2
Laundry and Dry Cleaning, Drop-off Only	P	Р	P	
Laundromats, Self-Service	P	P	P	
Medical Services - Offices, Clinics and Laboratories	P	, B	P	
Medical Services-Hospital ⁽³⁾			<u>C</u>	
Mortuaries, Funeral Parlors and Cemeteries	С	С	С	
Offices	P	P	P	
Personal Services	P	P	P	

Public Safety and Utility Facilities	P	P	P	
Repair and Maintenance, Consumer Products	P	P	P	
Repair and Maintenance, Motor Vehicles		С	С	

TABLE 16.10-1 USE TABLE FOR COMMERCIAL ZONING DISTRICTS					
Land Use ^{(1) (2)}	NC	CC	RC	See Standards in Section	
Services (Cont'd)					
Research and Development		P	P	I	
Service Stations (with Minor Repair)	С	С	С	I	
Service Stations (without Repair)	С	P	P		
Skilled Nursing - Short Term		С	С	See dDefinition	
Storage, Personal Storage Facility (Self-Service, Personal Storage) Facilities		С	С	See definition	
Veterinarian Clinics and Animal Hospital	P	P	P	See d Definition	
Veterinarian Clinics and Animal Hospital (with overnight stays and/or outdoor kennel)	С	С	С	16.44.040E.2	
Transportation				,	
Alternative Fuels and Recharging Facilities	P	P	P		
Parking Facilities	С	С	С	See definition	
Transit Stations and Terminals		P	P		
Vehicle Storage Facilities		С	С	See definition	

⁽³⁾ Prohibited for sites within the French Valley Airport Compatibility zones B1 and C.

(Ord. 492-14 Exhibit 5; 2014; Ord. 482-13 § 2, 2013; Ord. 480-13 § 5, 2013; Ord. 428-09 § 1, 2009; Ord. 427-09 § 2, 2009; Ord. 385 § 2 (part), 2007; Ord. 377 § 6, 2006; Ord. 369 § 2, 2006; Ord. 367 § 4 (part), 2006; Ord. 333 § 3, 2005; Ord. 337 §§ 4, 12, 2005; Ord. 310 § 9, 2004; Ord. 293 § 1 (part), 2004; Ord. 280 § 3, 2003; Ord. 215 § 2 (part), 2000; Ord. 202 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)

16.10.020 Commercial District General Development Standards.

New land uses and structures, and alterations to existing uses or structures shall be designed, constructed and/or established in compliance with the requirements in Table 16.10-2, in addition to the applicable development standards (e.g., landscaping, parking and loading, etc.) in Part III (Site Planning and General Development standards).

TABLE 16.10-2 COMMERCIAL ZONES GENERAL DEVELOPMENT STANDARDS REQUIREMENTS						
Development Feature	NC	CC	RC			
Minimum Site Area ⁽¹⁾	None	None	30 acres ⁽²⁾			
Setbacks						
Street	15 feet	25 feet	25 feet			
Interior (adjacent to commercially zoned properties)	None 0 or 10 feet	None or 10 feet	None0 or 10 feet			
Interior (adjacent to residential zoned properties)	20 feet minimum or equal to the building height, whichever is greater	20 feet minimum or equal to the building height, whichever is greater	20 feet minimum or equal to the building height whichever is greater			
Interior (adjacent to a freeway)	25 feet minimum	25 feet minimum	25 feet minimum			
Accessory Structure	Consist	ent with Section 16.4	4.150			
Maximum Building Height	35 feet	50 feet	50 feet			
Minimum On-site Landscaping ⁽³⁾	15 percent	20 percent	20 percent			
(1) Site area means a parcel or group of parcels, which are converged Portions of a site may be developed prior to development compromise the overall comprehensive development of See Chapter 16.28, Landscaping Standards for Water Eff	t of the entire site, if it can f the site.	es of development, be demonstrated that the	e portion does not			

(Ord. 492 Exhibit 5, 2014; Ord. 293 § 1 (part), 2004; Ord. 227 § 2 (part), 2000; Ord. 182 § 2 (part), 1997)

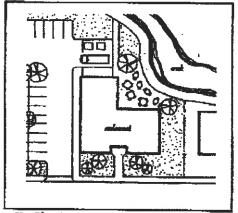
16.10.030 Commercial Districts Design Standards.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all commercial developments. Standards are mandatory requirements for all commercial developments. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design. In some instances, there will be no design feature(s) identified for a particular standard.

A. Site Planning.

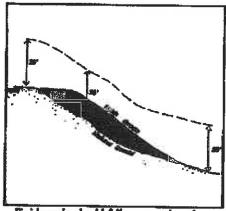
- 1. Site Character.
 - a. Standard. Natural amenities (e.g., views, mature trees, creeks, riparian corridors, and topographic features) unique to the site shall be preserved and incorporated into the

project's design whenever possible.



Site Plan incorporating natural amenity, e.g. restaurant actively oriented to creek

- b. Standard: Structures that are historic or are otherwise distinctive because of their ruralness, age, cultural significance, or unique architectural style as determined by the council shall be preserved and incorporated into development proposals.
- **c. Standard:** Structures shall not face their back side or loading areas onto existing or planned amenities (e.g. parks, open space, and water features).
- **d. Standard:** Frontage roads or drives shall be provided adjacent to open space areas unless the commercial project is designed to provide direct pedestrian access to the open space and the road or drive is not otherwise necessary.
- **e. Standard:** Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:
 - 1) Use terraced parking lots.
 - 2) Provide stepped building foundations and retaining walls.
 - 3) Incorporate larger setbacks to preserve natural landforms.



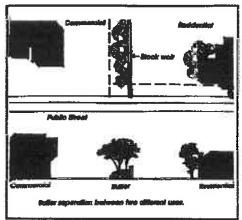
Pinish grades should follow natural grades at much as possible

2. Land Use Buffering.

- **a. Standard:** Noise, traffic, or odor-generating activities shall be located adjacent to similar activities on adjacent properties whenever possible. Buffering between different land uses shall be in compliance with 16.18.120 (Screening and Buffering).
- b. Standard: Loading areas, access and circulation driveways, trash. storage areas, and mechanical related to commercial uses equipment related to commercial use shall be

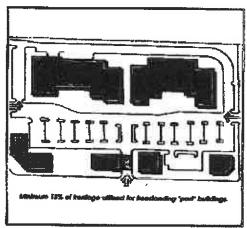
located as far as residences.

possible from adjacent



Required Commercial/Residential Buffer

c. Standard: When adjoining residential and commercial uses can mutually benefit from connection rather than separation, appropriate connective elements (e.g., walkways, common landscape areas, building orientation, and unfenced property lines) shall be provided between the uses.



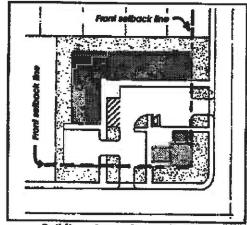
Provide Buildings at Street Edge

- d. Standard: Window orientation in nonresidential buildings shall preclude a direct line of sight into adjacent residential units and private open spaces within one hundred (100) feet of the property line.
- e. Standard: When commercial buildings back up to open space areas of multi-family residential projects, the rear setback area shall be landscaped and combined with the residential open space where feasible.
- f. Standard: Evergreen trees shall be planted a minimum of thirty (30) feet on center, and may be required to be planted closer, depending on species. to screen parking lots and large commercial building walls in order to provide a visual barrier between commercial and residential uses.

3. Building Placement.

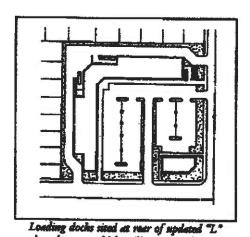
a. Standard: On multi-tenant commercial sites, a minimum of fifteen (15) percent of the total building frontage shall be located at the front setback line. The Director may waive or reduce this standard for projects where implementation of this standard may not be feasible.

b. Standard: Corner buildings shall provide a strong tie to the setback lines of each street. The primary mass of the building shall not be placed at an angle to the corner. This does not preclude angled or sculpted building corners, or an open plaza at the corner.

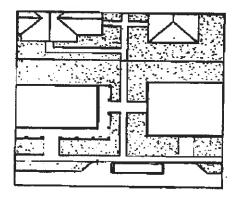


Building edges at front setback line

- **c. Standard:** Multiple buildings in a single project shall provide a functional relationship with one another to achieve a "village" scale by use of at least two of the following design features:
 - 1) Cluster buildings around open plaza areas, not parking lots.
 - 2) Provide courtyards with landscaping and other pedestrian amenities.
 - 3) Provide convenient pedestrian circulation between buildings and between parking areas and buildings using enhanced paving materials.
 - 4) Link building together visually using trellis structures, arcades, and enhanced paving.
 - 5) Avoid dated L-shaped shopping centers with parking located adjacent to the street.



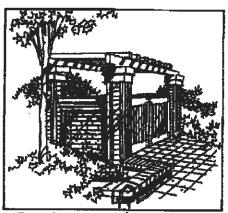
d. Standard: Whenever possible, buildings shall have their entrances oriented towards transit stops for convenient access.



Orient huilding access to transit stops

4. Trash/Loading/Storage Areas.

a. Standard: All trash and garbage bins shall be stored in approved enclosures in compliance with Section 16.18.150 (Solid Waste and Recyclable Materials).

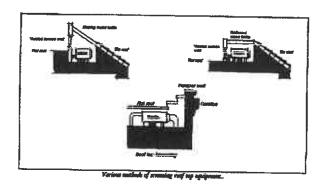


Decorative masonry and metal mixed with wood elements create pleasant tresh enclosure

- b. Standard: The location of trash enclosures shall allow convenient access for each tenant.
- **c. Standard:** Trash enclosures shall be located as far away from adjacent residential uses as possible.
- **d. Standard:** Loading facilities shall not be located at the front of buildings where it is difficult to adequately screen them from view. These facilities are more appropriate at the rear of the site.
- e. Standard: Loading facilities shall be fully screened from view from all adjacent public streets and freeways. Screening shall be accomplished with architectural elements or landscaping or a combination of both. Screening shall be provided to adequately screen or soften view of loading areas, trucks, trash enclosures, and similar service facilities from adjacent public roadways.

5. Utility and Mechanical Equipment.

a. Standard: All mechanical equipment (e.g., compressors, air conditioners, heating and ventilating equipment, chillers, stand pipes, solar collectors, etc.) shall be concealed from view in compliance with Section 16.18.120(B) (Screening and Buffering). Screening devices shall be compatible with the architecture and color of the adjacent buildings.

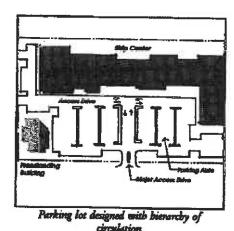


- **b. Standard:** Mechanical equipment shall not be located on the roof of a structure unless the equipment can be screened by building elements that are designed for that purpose and that are an integral part of the building design.
- **c. Standard:** Utility equipment (e.g., electric and gas meters, electrical panels, and junction boxes) shall be located in utility rooms within the structure or utility cabinets with exterior access.

B. Parking and Circulation.

1. General.

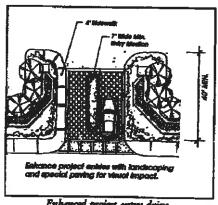
a. Standard: Parking lot spaces shall be designed with a clear hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and parking aisles for direct access to parking spaces.



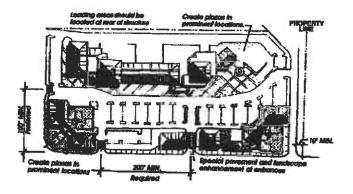
- b. Standard: Parking lots shall be separated from buildings by either a raised walkway, landscape strip, or combination at least six feet wide, with a minimum three-foot-wide walkway. Mow strips are not required in this situation. Situations where parking aisles or spaces directly abut the building are prohibited.
- **c. Standard:** No more than five percent of the required parking shall be located in the rear services area of a project site.

2. Project Entry.

a. Standard: Parking lots with over one hundred (100) parking stalls shall provide a main entry drive from the public street for a minimum distance of forty (40) feet and shall include a minimum four foot-wide sidewalk from the street to the first cross aisle on at least one side, and at least one of the following design features:



- Enhanced project entry drive.
- 1) A minimum seven-foot-wide landscaped center median from the public street to the first cross aisle.
- Two seven-foot-wide landscaped parkways flanking the main entry drive. The parkway that abuts the sidewalk may be reduced in width to four feet.
- Standard: The first aisle juncture that intersects the main entry drive shall be placed at least forty (40) feet back from the public street right-of-way to provide adequate queuing distance off the street.
- Standard: Entry drives shall be located a minimum of two hundred (200) feet apart and at least one hundred (100) feet from any street intersection property line to driveway centerline. Also, access drives shall be located a minimum of twenty (20) feet from side property lines unless a shared drive is provided.



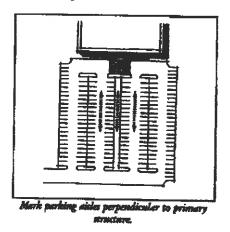
Site Access.

- Standard: Developments with more than one hundred (100) parking stalls that are located on an arterial or larger road shall coordinate access points with median openings and existing driveways on the opposite side of the roadway. Final locations shall be subject to review and approval by the city
- Standard: Developments with more than two hundred (200) parking stalls, that are located on an arterial or a larger street shall provide deceleration lanes adjacent to their major entry per city standards.
- Standard: Whenever possible, locate access drives on side streets to maintain efficient traffic flow on major roadways.
- Standard: All driveway radii shall be per city standards.

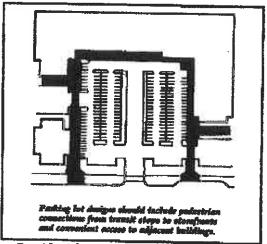
Pedestrian Access.

- Standard: Drop-off points (i.e., wider aisles) shall be located near major building entries and plaza areas for projects over fifty thousand (50.000) square feet of building area.
- Standard: Parking areas shall be designed so that pedestrians walk parallel to moving cars

in parking aisles. Minimize the need for the pedestrian to cross parking aisles and landscape islands to reach building entries.



- c. Standard: Clearly defined pedestrian access shall be provided from transit/bus stops to primary building entrances. In projects with more than one hundred (100) parking stalls, pedestrian walk-ways shall be provided through parking areas from transit/bus stops.
- **d.** Standard: All projects shall provide a connection of the on-site pedestrian circulation system to the off-site public sidewalk.
- e. Standard: Meandering sidewalks shall be provided in all commercial zoning districts when required by the Director.
- f. Standard: Parking lots with over one hundred (100) stalls shall provide a separate pedestrian walkway from the public sidewalk to the on-site walkways. At a minimum, this main entry sidewalk shall:
 - 1) Be located on one side of the main entry drive aisle.
 - 2) Be a minimum of four feet wide.
 - 3) Be raised and protected from the drive aisle by a six-inch-high curb.
 - 4) Be constructed of concrete or an interlocking paving system. Asphalt sidewalks are not allowed.

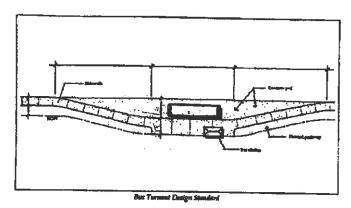


Provide pedestrian connections to the street.

g. Standard: Emphasis at pedestrian crossings of driveways and major circulation aisles shall be accentuated at building entries by extending the sidewalk to the back edge of the parking spaces.

5. Bus Turnouts.

- **a. Standard:** Bus turnouts may be required wherever the potential for auto/bus conflicts warrants separation of transit and passenger vehicles. Bus turnouts shall be considered by the city engineer when at least two of the following conditions apply:
 - 1) Bus parking in the curb lane is prohibited;
 - 2) Traffic in the curb lane exceeds two hundred fifty (250) vehicles during the peak hour;
 - 3) Passenger volumes exceed twenty (20) boardings an hour;
 - 4) Traffic speed is greater than forty-five (45) miles per hour; and
 - 5) Accident patterns are recurrent.



Standard: Bus turnouts shall be designed in compliance with city standards.

C. Architectural Design.

1. Architectural Style.

a. Standard: No specific architectural style or design theme shall be required. A variety of architectural characteristics shall be considered to add to the city's overall image. However, while variety in design is generally encouraged, compatibility of new projects with their surroundings shall also be a priority.

2. Design Consistency.

- a. Standard: Designs shall demonstrate a consistent use of colors, materials, and detailing throughout all elevations of a building and throughout all buildings of a multi-building project. A multi-building project may have multiple ownerships, but shall be integrated with a common circulation system.
- **b.** Standard: Elevations that do not directly face a street shall not be ignored or receive only minimal architectural treatment.
- c. Standard: Each facade shall be designed for public view and shall be appropriately landscaped in compliance with the landscaping standards in Chapter 16.28 (Landscaping Standards).

3. Form and Mass.

- **a. Standard:** Designs shall provide a sense of human scale and proportion. Structures shall be designed to avoid a "box-like," impersonal appearance by use of at least two of the following design features:
 - Provide horizontal and vertical wall articulation through the use of arcades, towers, wall recesses and projections, and setting back upper floors. Facades should incorporate wall plane projections and recesses having a depth of at least three percent of the length of the facade and extending at least twenty (20) percent of the length of the facade.
 - 2) Provide architectural detail through the use of columns, three-dimensional decorative cornice bands, recessed entries and windows, and awnings and canopies.
 - 3) Provide full roofs with substantial overhangs.
 - 4) Incorporate decorative parapets where roof overhangs are not provided.
 - 5) Use different, but compatible, building materials with varying textures and colors.

- **Standard:** Entries shall be protected from the elements and shall create a focus and sense of entry for the building by use of at least two of the following design features:
 - 1) Provide wall recesses.
 - 2) Use roof overhangs.
 - 3) Incorporate canopies and awnings.
 - 4) Include arcades.
 - 5) Install pedestrian-oriented signs.

4. Roofs:

- a. Standard: Variations in roof lines shall be used to add interest to, and reduce the massive scale of large commercial buildings. Roofs shall incorporate at least two of the following features:
 - 1) Parapets concealing flat roofs and rooftop equipment. The average height of a parapet shall not exceed fifteen (15) percent of the height of the supporting wall and parapets shall not at any point exceed one-third of the height of the supporting wall. Parapets shall incorporate a three-dimensional cornice.
 - 2) Overhanging eaves, extending at least three feet past the supporting walls.
 - 3) Sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to one foot for vertical rise for every three feet of horizontal run and less than or equal to one foot of vertical rise for every one foot of horizontal run.
 - 4) Three or more roof slope planes.
- b. Standard: Parapet walls shall be treated as an integral part of the structure design.
- c. Standard: Parapet walls should receive architectural detailing consistent with the rest of the facade design and should not appear as unrelated elements intended only to screen the roof behind.
- d. Standard: Where a mansard roof is incorporated into the parapet design, views from above the structure should also be considered relative to any visible structural support elements.

5. Building Materials.

- a. Standard: False or decorative facade treatments, wherein one or more unrelated materials appear "stuck on" a building, shall be avoided.
- **Standard:** Fake products that attempt to imitate real materials (e.g., wood, stone, brick, etc.) are not allowed.
 - **c. Standard:** The composition of materials shall avoid giving the impression of thinness and artificiality.
 - d. Standard: Veneers shall turn corners, avoiding exposed edges.
 - e. Standard: Stock, "off-the-shelf metal buildings are prohibited as primary structures.

6. Colors.

- a. Standard: Facade colors shall be low reflectance, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black, or fluorescent colors is prohibited.
- **b. Standard:** Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas except for movie theaters.
- c. Standard: The transition between base and accent colors shall relate to changes in building materials or the change of building surface planes. Colors should not meet or change without some physical change or definition to the surface plane.
- 7. Additions to Existing Structures.
- **a. Standard:** The design of an addition to an existing structure shall follow the general scale, proportion, massing, and detailing of the original structure. The addition shall be harmonious with the original structure, not a stark contrast.
- **b. Standard:** Additions shall be an interpretation of the existing building wherein the main characteristics of the existing structure are incorporated into the design of the addition by use of at least two of the following design features:
 - 1) Repeat window and door spacing;

- 2) Use harmonizing colors and materials; and
- 3) Include similar, yet distinct, architectural details (e.g., window/door trim, lighting fixtures, tile/brick decoration, etc.).

(Ord. 492 Exhibit 5, 2014; Ord. 337 § 3, 2005; Ord. 232 § 2 (part), 2001; Ord. 232 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)

16.11 Office Districts

Sections:

16.11.010 Purpose.

16.11.020 Office Districts General Development Standards

16.11.030 Office Districts Design Standards

16.11.010 Purpose.

This chapter provides regulations applicable to development and land uses in the Office and Office Research Park Districts established by 16.06.010 (Zoning Districts Established). The purposes of the individual Office and Office Research Park zoning districts and the manner in which they are applied are as follows:

- A. Office (O) District. The Office zoning district is applied to areas appropriate primarily for office uses with commercial uses (financial, hotel, personal services, restaurant, etc.) oriented to serve the customers and employees of the office uses, and limited community services to serve the residents of the city. The Office zoning district is consistent with the Office and Research Park land use designation of the general plan; and
- B. Office Research Park (ORP) District. The ORP zoning district is applied to areas appropriate primarily for office, medical, business campuses with associate research and development facilities. Commercial uses (financial, hotel, retail, personal service, and restaurant, etc.) are intended as accessory or support uses for the employees and customers of the office, business, and medical uses with their associate and research and development operations. The ORP zoning district is consistent with the Office and Research Park land use designation of the general plan.

TA ALLOWABLE USES AND PERMIT	BLE 16.11-1 REQUIREMENTS	S FOR OFFICE	DISTRICTS		
Symbol	Applicable Proc	ess	See Chapter		
P	Permitted Land U Compliance with standards and zon required	development	16.74		
С	Conditional Use use permit requir		16.52		
"Blank"	Land use not allo				
Land Use ^{(1) (2) (3) (4) (5) (6)}	0	ORP	See Standards in Section		
Communication Facilities			-		
Broadcast Studio/Recording Studio	С	С			
Satellite Dishes/Antennas	P		16.44.170A		
Wireless Communication Facilities	С	С	16.44.170B		
Education, Public Assembly and Recreation					
Auditoriums, Meeting Halls and Conference Facilities	С	С			
Bingo	C <u>16.44.210</u>				
Churches/Places of Worship	С	С			

TABI ALLOWABLE USES AND PERMIT RI	LE 16.11-1 EQUIREMENT	S FOR OFFIC	E DISTRICTS
Land Use ^{(1) (2) (3) (4) (5) (6)}	0	ORP	See Standards in Section
Education, Public Assembly and Recreation (Cont'd)	···		
Health and Fitness Centers	P	P	
Residential Recreational Facilities, Private	Р		
Schools, Specialized Education and Training	P	С	See deletinition
Schools, College and University	С	С	
Schools, K - 12	С		
Studios, Professional	P	P	See d → efinition
Manufacturing and Processing	-		
Bio Medical Manufacturing		P	
Cabinet Shop Chemical Products		P	
Design/Innovation Technology	P	P	
Electrical and Electronic Equipment and Instruments		P	
Green Technologies		P	
Information Technologies	P	P	
Laboratories	_	P	
Pharmaceutical Manufacturing	P	P	,
Printing and Publishing	Р	P	
Medical, Office, and Research and Development Uses			
Medical Services - Office, Clinics and Laboratories	P	P	
Medical Services - Hospital	С	С	
Offices	P	P	16.44.110
Research and Development	Р	P	
Skilled Nursing - Short Term	С	С	See d⊕efinition
Support Services			
Assisted Living/Skilled Nursing	С		See dDefinition
Automatic Teller Machines (ATMs)	P	P	

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TABLE 16.11-1 ALLOWABLE USES AND PERMIT REQUIREMENTS FOR OFFICE DISTRICTS					
Land Use ^{(1) (2) (3) (4) (5) (6)}	О	ORP	See Standards in Section		
Support Services (Cont'd)					
Banks and Financial Services	P	Р			
Bars	C ⁽⁷⁾	C ⁽⁷⁾	16.44.030		
Business Support Services	P				
Convenience Stores	Р		16.44.030		
Day Care Centers	С	C ⁽⁷⁾	16.44.050		
Design/Innovation Technology Firms	P	P			
Eating and Drinking Establishments Services	Р	P	16.44.030		
Eating and Drinking Establishments Services, with Drive-Through Facilities	P		16.44.030		
Hotels	P	P	16.44.090		
Laundry and Dry Cleaning, Drop-off Only	P	P			
Public Safety and Utility Facilities	P	Р			
Retail/General Merchandise	P				
Marijuana Cultivation, Delivery, Dispensary, and Processing					
Medical Marijuana Dispensary			I		
Medical Marijuana Dispensary, Mobile					
Service Station	P				
Transportation					
Alternative Fuels and Recharging	P	P			
Parking Facilities	С		See definition		
Transit Stations and Terminals	С	С			
Heliport/Helipad associated with a Hospital	<u>C</u>	<u>C</u>			

- (1) See Section 16.04.020 regarding uses not listed.
- (2) See Chapter 16.110 for definitions of land uses listed.
- A development permit may also be required (Chapter 16.56 Development Plan Permits).
- Permanent and/or temporary outdoor storage of materials in conjunction with an on-site primary use requires approval of a conditional use permit (Chapter 16.52 Conditional Use Permits).
- Storage of hazardous materials in excess of threshold established by the Uniform Building Code requires approval of a minor conditional use permit (Chapter 16.62 Conditional Use Permits) and compliance with Section 16.18.070 Hazardous Materials Storage.
- (6) Conversion or reuse of an existing residential structure may be allowed with approval of a conditional use permit (Section 16.32.030 B.3).
- Use shall be integrated as an accessory use of a primary office and/or research use and such use shall be incorporated within the primary use's structure. Use shall not be located in a stand-alone building.
- Non-conforming single family residential uses are allowed limited additional development subject to Section 16.32.030.

 Restriction on Nonconforming Uses and Structures.

(Ord. 492 Exhibit 6, 2014)

16.11.020 Office Districts General Development Standards.

New land uses and structures, and alterations to existing uses or structures shall be designed, constructed, and/or established in compliance with the building setback and height, on-site landscaping requirements in Table 16.11-2, Office Districts General Development Standards, site and building Design Standards in Section 16.11.030, and applicable development standards (e.g. landscaping, parking, and loading, etc.) in Article III, Site Planning and General Development Standards.

TABLE 16.11-2 OFFICE DISTRICTS GENERAL DEVELOPMENT STANDARDS ^{(1) (2)}					
Development Feature	Office	ORP			
Required Building Setbacks (including accessory structures)					
Street Side	25 feet	25 feet			
Interior	25 feet	25 feet			
Interior (adjacent to residential zoned properties)	Twice Building Height	Twice Building Height			
Interior (adjacent to a freeway)	25 feet minimum	25 feet minimum			
Building Height		· · · · · · · · · · · · · · · · · · ·			
Maximum Building Height ⁽³⁾	90 feet	150 feet			
Accessory Structures -	Consistent with S	ection 16.44.150			
Landscaping					
Minimum On-site Landscaping ⁽⁴⁾	20 percent	20 percent			
Minimum Parking Area Landscaping Based on Parking Lot Size ⁽⁵⁾					
5 - 24 spaces	5 percent	5 percent			
25 - 49 spaces	7.5 percent	7.5 percent			

50 spaces plus	10 percent	10 percent
Parking Requirements		
See Chapter 16.34, Off-Street Parking an	d Loading Standards	

- Portions of a site may be developed prior to development of the entire site, if it can be demonstrated that the portion does not compromise the overall comprehensive development of the site.
- (2) Development standards may vary for mixed use projects and projects over ten acres in size when comprehensively planned in compliance with Chapter 16.64, Master Development Plans, or Chapter 16.66, Specific Plans.
- (3) For structures greater than fifty (50) feet in building height and within 500 feet of existing residential homes, a public hearing shall be required, and the review shall include an evaluation of view sheds to maintain views for residential homes and a shadow survey to avoid buildings casting shadows on residential homes.
- See Chapter 16.28, Landscaping Standards and Water Efficient Landscaping.
- (5) Minimum required parking lot landscaping area is included in required minimum on-site landscaping area.

(Ord. 492 Exhibit 6, 2014)

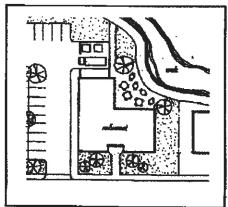
16.11.030 Office Districts Design Standards.

The following standards and design features are provided to ensure a level of quality development. Standards are mandatory requirements for all developments in areas zoned O and ORP. Deviations from specific standards may be allowed in compliance with Chapter 16.72, Variances. Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporate in the project's design.

A. Site Planning.

1. Site Character.

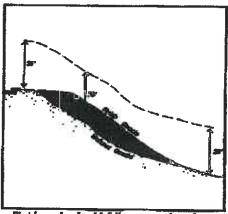
a. Standard: Natural amenities (e.g., views, mature trees, creeks, riparian corridors, and topographic features) unique to the site shall be preserved and incorporated into the project's design whenever possible.



Site Plan incorporating natural amenity, e.g. restaurant actively oriented to creek

- **b. Standard:** Structures that are historic or are otherwise distinctive because of their rural appearance, age, cultural significance, or unique architectural style as determined by the council shall be preserved and incorporated into development proposals.
- **c. Standard:** Structures shall not face their back side or loading areas onto existing or planned amenities (e.g. parks, open space, and water features).
- **d. Standard:** Frontage roads or drives shall be provided adjacent to open space areas unless the office or research park project is designed to provide direct pedestrian access to the open space and the road or drive is not otherwise necessary.
- **e. Standard:** Development on sloped properties shall generally follow the natural contours of the land by use of at least one of the following design features:

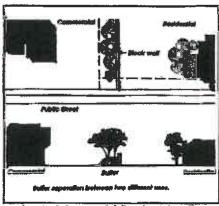
- 1) Use terraced parking lots.
- 2) Provide stepped building foundations and retaining walls.
- 3) Incorporate larger setbacks to preserve natural landforms.



Finish grades should fullow natural grades as much as possible

2. Land Use Buffering.

- **a. Standard:** Noise, traffic, or odor-generating activities shall be located adjacent to similar activities on adjacent properties whenever possible. Buffering between different land uses shall be in compliance with Section 16.18.120 (Screening and Buffering).
- b. Standard: Loading areas, access and circulation driveways, trash enclosures, and mechanical equipment shall be located as-far-as possible from any adjacent residences.

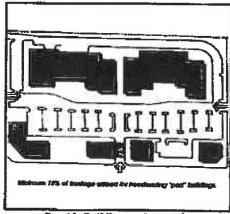


Required Commercial/Residential Buffer

- c. Standard: When adjoining residential and office uses can mutually benefit from connection rather than separation appropriate connective elements (e.g., walkways, common landscape areas, building orientation, and unfenced property lines shall be provided between the uses.
- d. Standard: Window orientation in nonresidential buildings shall preclude a direct line of sight into adjacent residential units and private open spaces located within one-hundred feet of the shared property line.
- e. Standard: When office buildings back-up to open space areas of multi-family residential projects, the rear setback area shall be landscaped with evergreen trees planted a minimum of thirty (30) feet on center to screen parking lots and large building walls. Tree planting may be spaced closer subject to tree species used.

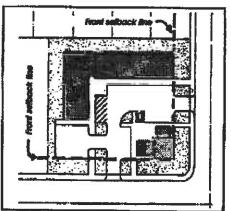
3. Building Placement.

a. Standard: Developments containing multi-tenant buildings shall place a minimum 15% building frontage adjacent to the front setback line. The city planner may waive or reduce this standard for projects where implementation of this standard may not be feasible.



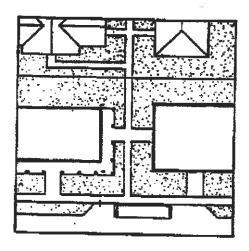
Provide Buildings at Street Edge

b. Standard: Corner buildings shall provide a strong tie to the setback lines of each street. The primary mass of the building shall be placed at an angle to the corner. This does not preclude angled or sculpted building corners, or an open plaza at the corner.



Building edges at front sathack line

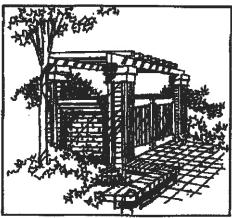
- **c. Standard:** Multiple buildings in a single project shall provide a functional relationship with one-anther to achieve a "village" scale by use of at least two of the following features:
 - Cluster buildings around open plaza areas, not parking lots.
 - 2) Provide courtyards with landscaping and other pedestrian amenities.
 - 3) Provide convenient pedestrian circulation between buildings and between parking areas and buildings using enhanced paving materials.
 - 4) Link buildings together visually using trellis structures, arcades, and enhanced paving.
 - 5) Avoid dated L-shaped shopping centers with parking located adjacent to the street.
- **d. Standard:** Whenever possible, buildings shall have their entrances oriented towards transit stops for convenient access.



Orient building access to transit stops

4. Trash/Loading/Storage Areas.

a. Standard: All trash and garbage bins shall be stored in approved enclosures in compliance with Section 16.18.150 (Solid Waste and Recyclable Materials).

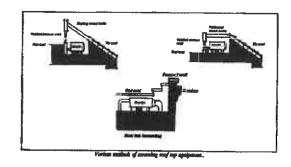


Decorative masonry and metal mixed with wood elements create pleasant treat enclosure

- b. The location of trash enclosures shall allow convenient access for each tenant.
- c. Trash enclosures shall be located as far away from adjacent residential uses as possible.
- d. Loading facilities shall not be located at the front of buildings where it is difficult to adequately screen them from view. These facilities are more appropriate at the rear of the site.
- e. Loading facilities shall be fully screened from view from all adjacent public streets and freeways.
- f. Screening of load areas shall be accomplished with architectural elements or landscaping, or a combination of both.

5. Utility and Mechanical Equipment.

a. Standard: All mechanical equipment (e.g., compressors, air conditioners, heating and ventilating equipment, chillers, stand pipes, solar collectors, etc.) shall be concealed from view in compliance with Section 16.18.120 (B) (Screening and Buffering). Screening devices shall be compatible with the architectural and color of the adjacent buildings.

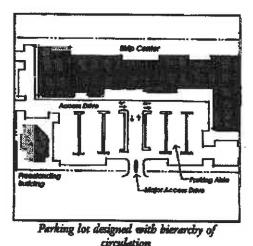


- **b.** Standard: Mechanical equipment shall not be located on the roof of a structure unless the equipment can be screened by building elements that are designed for that purpose and that are an integral part of the building design.
- **c. Standard:** Utility equipment (e.g., electric and gas meters, electrical panels, and junction boxes) shall be located in utility rooms within the structure or utility cabinets with exterior access.

B. Parking and Circulation.

1. General.

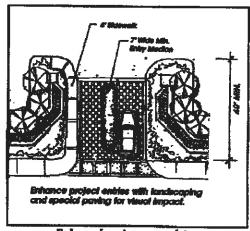
a. Standard: Parking lot spaces shall be designed with a clear hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and parking aisles for direct access to parking spaces.



- b. Parking lots shall be separated from buildings by a raised walkway, landscape strip, or combination of such a minimum six (6) feet in width, with a minimum three (3) foot wide walkway. Mow strips are not required in this situation. Parking aisles and/or parking spaces shall not directly about a building.
- c. No more than five (5) percent of the required parking shall be located in the rear services area of a project site.

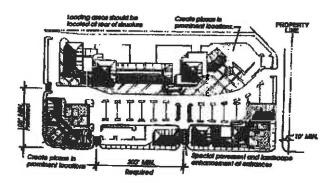
2. Project Entry.

- a. Standard: Parking lots with over one hundred (100) parking stalls shall provide a main entry drive from the public street for a minimum distance of forty (40) feet and shall include a minimum four (4) foot-wide sidewalk from the street to the first cross aisle on at least one side, and at least one of the following features:
 - 1) A minimum seven foot wide landscaped enter median from the public street to the first cross aisle.
 - Two seven (7) foot-wide landscaped parkways flanking the main entry drive. The parkway that abuts the sidewalk may be reduced in width to four (4) feet.



Enhanced project entry drive.

- b. Standard: The first aisle juncture that intersects the main entry drive shall be placed at least forty (40) feet back from the public street right-of-way to provide adequate queuing distance off the street.
- c. Standard: Entry drives shall be located a minimum of two hundred (200) feet apart and at least one hundred (100) feet from any street intersection property line to driveway centerline. Also, access drives shall be located a minimum of twenty (20) feet from side property lines unless a shared drive is provided.

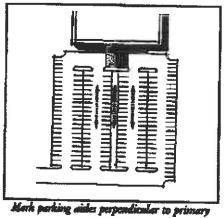


3. Site Access.

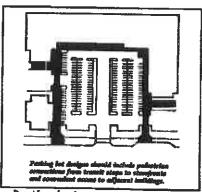
- a. Standard: Developments with more than one hundred (100) parking stalls that are located on an arterial or larger road shall coordinate access points with median openings and existing driveways on the opposite side of the roadway. Final locations shall be subject to review and approval by the city.
- **b.** Standard: Developments with more than two-hundred (200) parking stalls that are located on an arterial or a larger street shall provide deceleration lanes adjacent to their major entry per city standards.
- **c. Standard:** Whenever possible, located access drives on side streets to maintain efficient traffic flow on major roadways.
- d. Standard: All driveway radii shall be per city standards.

4. Pedestrian Access.

- **Standard:** Drop-off points (i.e., wider aisles) shall be located near major building entries and plaza areas for projects over fifty-thousand (50,000) square feet of building area.
- b. Standard: Parking areas shall be designed so that pedestrians walk parallel to moving cars in parking aisles. Minimize the need for pedestrians to cross parking aisles and landscape islands to reach building entries.



- Standard: Clearly defined pedestrian access shall be provided from transit/bus stops to primary building entrances. In projects with more than one-hundred (100) parking stalls, pedestrian walkways shall be provided through the parking areas from transit/bus-stops.
- Standard: All projects shall provide a connection of the on-site pedestrian circulation system to the off-site public sidewalk.
- Standard: Meandering sidewalks shall be provided in all commercial zoning districts when required by the director.
- Standard: Parking lots with over one-hundred (100) stalls shall provide a separate pedestrian walkway from the public sidewalk to the on-site walkways. At a minimum, this main entry sidewalk shall provide the following:
 - Be located on one side of the main entry drive aisle.
 - Be a minimum of four feet (4) wide.
 - 3) Be raised and protected from the drive aisle by a six (6) inch high curb.
 - Be constructed of concrete or an interlocking paving system. Asphalt sidewalks are not allowed.

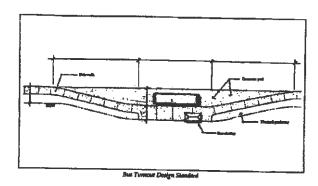


Standard: Emphasis at pedestrian crossings of driveways and major circulation aisles shall be accentuated at building entries by extending the sidewalk to the back edge of the parking spaces.

5. Bus Turnouts.

- Standard: Bus turnouts may be required wherever the potential for auto/bus conflicts warrants separation of transit and passenger vehicles. Bus turnouts shall be considered by the city engineer when at least two of the following conditions apply:
 - 1) Bus parking in the curb land is prohibited:

- 2) Traffic in the curb lane exceeds two-hundred and fifty (250) vehicles during peak hour;
- 3) Passenger volumes exceed twenty persons boarding an hour;
- 4) Traffic speed is greater than forty-five (45) miles per hour; and
- 5) Accident patterns are recurrent.
- **b.** Standard: Bus turnouts shall be designed in compliance with city standards.



C. Architectural Design.

1. Architectural Style.

a. Standard: No specific architectural style or design theme shall be required. A variety of architectural characteristics shall be considered to add to the city's overall image. However, while variety in design is generally encouraged, compatibility of new projects with their surroundings shall be a priority.

2. Design Consistency.

- a. Standard: Designs shall demonstrate a consistent use of colors, materials, and detailing through-out all elevations of a building and throughout all buildings of a multi-building project. A multi-building project may have multiple ownerships, but shall be integrated with a common circulation system.
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3. Form and Mass.

- **a. Standard:** Designs shall be provide a sense of human scale and proportion. Structures shall be designed to avoid a "box-like," impersonal appearance by use of at least two of the following design features:
 - Provide horizontal and vertical wall articulation through the use of arcades, towers, wall recesses and projections, and setting back upper floors. Facades should incorporate wall plane projects and recesses having a depth of at least three percent of the length of the facade and extending at least twenty (20) percent of the length of the facade.
 - 2) Provide architectural detail through the use of columns, three-dimensional decorative cornice bands, recessed entries and windows, and awnings and canopies.
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 - 1) Provide wall recesses.
 - 2) Use roof overhangs.
 - 3) Incorporate canopies and awnings.
 - 4) Include arcades.

5) Install pedestrian oriented signs.

4. Roofs.

- **a. Standard:** Variations in roof lines shall be used to add interest to, and reduce the massive scale of large commercial buildings. Roofs shall incorporate at least two of the following features:
 - Parapets concealing flat roofs and rooftop equipment. The average height of a parapet shall not exceed fifteen (15) percent of the height of the supporting wall and parapets shall not at any point exceed one-third the height of the supporting wall. Parapets shall incorporate a three-dimensional cornice.
 - Overhanging eaves, extending at least three feet past the supporting walls.
 - 3) Sloping roofs that do not exceed the average height of the supporting walls with an average slope greater than or equal to one-foot for vertical rise for every three feet of horizontal run and less than or equal to one-foot of vertical rise for every one-foot of horizontal run.
 - 4) Three or more roof slope planes.
- b. Standard: Parapet walls shall be treated as an integral part of the structure design.
- **c. Standard:** Parapet walls should receive architectural detailing consistent with the rest of the facade design and should not appear as unrelated elements intended only to screen the roof behind.
- **d. Standard:** Where a mansard roof is incorporated into the parapet design, views from above the structure should also be considered relative to any visible structural support elements.

5. Building Materials.

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- b. Standard: Fake products that attempt to imitate real materials (e.g., wood, stone, brick, etc.) are not allowed.
- **c. Standard:** The composition of materials shall avoid giving the impression of thinness and artificiality.
- d. Standard: Veneers shall turn corners, avoiding exposed edges.
- e. Standard: Stock, "off-the-shelf" metal buildings are prohibited as primary structures.

Colors.

- **a. Standard:** Facade colors shall be low reflective, subtle, neutral or earth tone colors. The use of high-intensity colors, metallic colors, black, or fluorescent colors is prohibited.
- b. Standard: Building trim and accent areas may feature brighter colors, including primary colors, but neon tubing shall not be an acceptable feature for building trim or accent areas except for movie theatres.
- c. Standard: The transition between base and accent colors shall relate to changes in building materials or the change of building surface planes. Colors should not meet or change without some physical change or definition to the surface plane.

7. Additions to Existing Structures.

- **a. Standard:** The design of an addition to an existing structure shall follow the general scale, proportion, massing, and detailing of the original structure. The addition shall be harmonious with the original structure, not a stark contrast.
- **b.** Standard: Additions shall be an interpretation of the existing building wherein the main characteristics of the existing structure are incorporated into the design of the addition by use of at least two of the following design features:
 - 1) Repeat window and door spacing;
 - 2) Use harmonizing colors and materials; and/or
 - 3) Include similar, yet distinct, architectural details (e.g., window/door trim, lighting fixtures, tile/brick decoration, etc.). (Ord. 492 Exhibit 6, 2014)

16.12 Business Park and Industrial Districts

Sections:

16.12.010 Purpose.

16.12.020 Business Park and Industrial Districts General Development Standards.

16.12.030 Business Park and Industrial Zoning Districts Design Standards.

16.12.010 Purpose.

This chapter provides regulations applicable to development and new land uses in the business park and industrial districts established by 16.06.010 (Zoning Districts Established). The purposes of the individual business park and industrial zoning districts and the manner in which they are applied are as follows:

- A. BP (Business Park) District. The BP zoning district is applied to appropriate areas for assembly, fabrication, light manufacturing, materials processing, offices and research and product development, provided the uses are conducted within an enclosed, controlled setting. Limited retail activities, to serve the primary business park tenants, is also allowed. The maximum standard intensity of development is a floor area ratio (FAR) of 0.4. The BP zoning district is consistent with the business park land use designation of the general plan; and
- B. GIA (General Industrial—A) District. The GI-A zoning district is applied to appropriate areas for outdoor storage of materials and vehicles, small scale manufacturing, and handicraft industries. The GI-A zoning district is consistent with the industrial land use designation of the general plan; and
- C. GI (General Industrial) District. The GI zoning district is applied to appropriate areas for the processing of raw materials and manufactured parts or products, including bulk storage, distribution and warehousing facilities, which may require appropriate buffering from adjacent commercial and residential designations, and additional review for outdoor assembly and storage. The GI zoning district is consistent with the general industrial land use designation of the general plan

TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS								
Key to Permit Requirements								
Symbol	Арр	icable Pro	ocess	See Chapter				
P	Permitted U with develo zoning clea	pment sta	ndards and	16.74				
С	Conditiona use permit		nditional	16.52				
"Blank"	Use not alk	owed						
Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section				
Agriculture, Open Space and Resour	rces							
Animal Keeping			P					
Crop Production, Commercial			P					

USE TABLE FOR BU		LE 16.12-1 ARK AND		IAL DISTRICTS
Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section
Agriculture, Open Space and Resources (Co	ont'd)			
Equestrian Facilities, Commercial			P	
Mining Operations		С		
Nature Preserves			P	
Plant Nurseries	P	P	Р	
Open Space			P	
Communication Facilities	_	•		
Broadcast Recording Studio	P	Р	P	
Satellite Dishes/Antennas	P	P	P	16.44.170A
Wireless Communication Facilities 51 feet or more in height	С	С	С	16.44.170B
Education, Public Assembly and Recreation	1	•		
Adult Entertainment	С	С		16.44.020
Auditoriums, Meeting Halls and Conference Facilities	С	<u>C</u>	С	
Bingo	С	С	C	16.44.210
Gaming Clubs				Chapter 9.15
Churches, Places of Worship	С	С	С	
Cyber Cafe	С			Chapter 5.14
Golf Courses			С	
Indoor Amusement Centers, Game Arcades, and Pool/Billiard RoomsIndoor Commercial Recreation	С	С	С	See definition
Indoor Firing Ranges	С	С		<u>16.44.240</u>
Interpretative Centers		,	C	
Health and Fitness Centers	С	С		
Libraries and Museums				
Nightclubs	С			16.44.030
Outdoor Recreation, Commercial Recreation	С	С	С	See definition

USE TABLE FOR BUS	TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS								
Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section					
Education, Public Assembly and Recreation (Cont'd)								
Personal Instruction	P	P	P	See definition					
Schools, Specialized Education and Training	С	C	C	See dDefinition					
Studios, Professional	P	P	P	See dDefinition					
Manufacturing and Processing									
Beverage Production	P	P							
Bio Medical Manufacturing	P	P	С						
Cabinet Shop Chemical Products	P	P	С						
Chemical Products	P	P							
Clothing Products	P	P	C						
Concrete, Gypsum and Plaster Products		С							
Electrical and Electronic Equipment and Instruments	P	P	С						
Food Products	P	P							
Furniture and Fixture Manufacturing	P	P	С						
Glass Products	P	P	С						
Handicraft Industries and Small Scale Manufacturing	P	P	Р						
Laundries and Dry Cleaning Plants	P	P							
Leather Products	P	P	С						
Lumber and Wood Products	P	P	С						
Machine/Welding Shops	P	P	С_						
Machinery Manufacturing	P	P							
Marijuana Cultivation, Delivery, Dispensary, and Processing									
Metal Products Fabrication	P	P	С						
Motor Vehicle and Transportation Equipment	P	P	С						
Paper Products	P	P	P						
Paving Materials	P	С							

TABLE 16.12-1 USE TABLE FOR BUSINESS PARK AND INDUSTRIAL DISTRICTS							
Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section			
Manufacturing and Processing (Cont'd)							
Petroleum Distribution and Storage	P	С					
Pharmaceutical Manufacturing	P	P	С				
Plastics and Rubber Products	P	P	С				
Printing and Publishing	P	P	P		_		
Recycling Facilities, Composting		С	С				
Recycling Facilities, Small Collection Facility	С	₽ <u>C</u>		16.44.140	ī		
Recycling Facilities, Large Collection Facility	С	₽ <u>C</u>		16.44.140	İ		
Recycling Facilities, Processing Facility	С	С		16.44.140	-		
Recycling Facilities, Reverse Vending Machines	<u>C</u> P	<u>C</u> P		16.44.140	Π		
Recycling Facilities, Scrap and Dismantling Yards		С			<u> </u>		
Research and Development	P	P	С				
Sewage Treatment Plants		С	P				
Stone/Cut Stone Products	P	P	P				
Structural Clay and Pottery Products	P	P	P				
Textile Products	Р	P			_		
Warehousing and Distribution Facilities	P	P					
Wholesale and Distribution	P	P					
Residential			<u> </u>				
Caretaker/Employee Housing	С	С	С				
Emergency Shelters, up to 30 occupants	<u>P</u>			<u>16.44.200</u>			
Emergency Shelters, more than 30 occupants	<u>C</u>			16.44.200	<u></u>		
Retail Trade					-		
Appliance Sales	P				_		
Art, Antiques, Collectibles and Gifts	P				_		
Auto, Mobile Home and Vehicle Sales (outdoor new/used)	С	С		16.44.180			
Auto Sales (indoor)	<u>C</u>	<u>C</u>			— I		

	T		
Auto (Motor Vehicle) Parts Sales	P	P	

USE TABLE FOR BUSINE	TABLE SS PAR		NDUSTRI	AL DISTRICTS
Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section
Retail Trade (Cont'd)				
Bars	С			16.44.030
Building Materials Stores	P	P		
Convenience Stores, with no Alcoholie Beverages	P	P		16.44.030
Eating and Drinking Establishments (including Drive Through)	P	P	P	16.44.030
Fuel and Ice Dealers	С	С	С	
Furniture and Furnishings	P			
Liquor Stores	С			16.44.030
Medical Marijuana Dispensary				
Medical Marijuana Dispensary, Mobile				
Services			•	
Bank and Financial Services	P			
Business Support Services	P	P		
Car (Motor Vehicle) Wash	P			
Day Care Centers	С	С	С	16.44.050
Contractor's Storage Yard (Primary Use)	С	С	С	
Equipment Rental	С	P		
Hotels	P			16.44.090
Laundry and Dry Cleaning	P			
Kennels and Boarding Facilities	С	P	С	16.44,040.E.2
Medical Services - Offices, Clinics and Laboratories	P			16.44.110
Mortuaries, Crematoriums, Funeral Parlors and Cemeteries	С	С	С	
Offices	P	P	P	16.44.110
Personal Services	P	P		See dDefinition
Public Safety and Utility Facilities	P	P	P	

Repair and Maintenance, Consumer Products	Р	P	P	
Repair and Maintenance, Motor Vehicles	P	P		<u>16.44.190</u>

Land Use ^{(1) (2) (3) (4) (5) (6) (7) (8)}	BP	GI	GI-A	See Standards in Section
Services (Cont'd)				
Research and Development	P	P		
Service Stations, Full Service (with Minor Repair)	Р	P		See definition
Service Stations, (without Repair) Self Service	P	P		See definition
Storage FacilitiesStorage, Personal Storage Facilities	С	С	С	See definition
Veterinarian Clinics and Animal Hospitals	P	P	P	See <u>d</u> ⊖efinition
Veterinarian Clinics and Animal Hospitals (with overnight and/or outdoor kennel)	С	С	С	16.44.040.E.2
Transportation				
Parking Facilities	P	P		See definition
Transit Stations and Terminals	P	P		
Vehicle and Freight Terminals	С	P		
Vehicle Storage Facility	С	P		See definition

- (1) See Section 16.04.020 regarding uses not listed.
- (2) See Article VI for definitions of the land uses listed.
- (3) A development plan permit may also be required. See Chapter 16.56.
- Outdoor storage of materials in conjunction with an on-site primary use requires approval of a conditional use permit in compliance with Chapter 16.52.
- Storage of hazardous materials in excess of threshold established by the uniform building code requires approval of a minor conditional use permit (16.52) and compliance with Section 16.18.070 (Hazardous Materials Storage).
- (6) Conversion or reuse of an existing residential structure may be allowed with approval of a conditional use permit. See Section 16.32.030(B)(3).
- This use specifically excludes rental to persons not employed as a caretaker or security for the site on which the use is located. See Section 16.11.020.
- All uses shall demonstrate adequate parking in accordance with Chapter 16.34 Off-Street Parking and Loading Standards.

(Ord. 492-14 Exhibit 7, 2014; Ord. 482-13 § 2, 2013; Ord. 480-13 § 6, 2013; Ord. 427-09 § 3, 2009; Ord. 388 § 2, 2007; Ord. 385 § 2 (part), 2007; Ord. 369 § 3, 2006; Ord. 367 §§ 4 (part), 6, 2006; Ord. 366, §§ 2, 3, 2006; Ord. 333, § 4, 2005; Ord. 337 §§ 5, 6, 2005; Ord. 310 § 8, 2004; Ord. 253 § 2 (part), 2002; Ord. 215§ 2 (part), 2000; Ord. 182 § 2 (part) 1997)

16.12.020 Business Park and Industrial Districts General Development Standards.

New land uses and structures, and alterations to existing uses or structures shall be designed, constructed and/or established in compliance with the requirements in Table 16.12-2, in addition to the applicable development standards (e.g., landscaping, parking and loading, etc.) in Article III (Site Planning and General Development standards). (Ord. 182 § 2 (part), 1997)

TABLE 16.12-2 BUSINESS PARK AND INDUSTRIAL ZONES GENERAL DEVELOPMENT STANDARDS								
Development Feature	GI	GI-A						
Minimum Parcel Size	10,000 square feet	20,000 square feet	10,000 square feet					
Minimum Parcel Width	75 feet (minimum average)	75 1000						
Setbacks Required	Required							
Street	25 feet	None25 feet	25 feet					
Interior	10 feetNone	None	10 feet					
Interior (adjacent to residential zoned properties)	20 feet min	20 feet minimum or equal to the building height						
Interior (adjacent to a freeway)		25 feet minimum						
Accessory Structures		Same as main structur	re					
From Residential Areas	50 feet	25 feet	25 feet					
Maximum Height Limit	50 feet	40 feet	40 feet					
Minimum On-site Landscaping(!)	15 percent	5 percent	5 percent					
(1) See Chapter 16.28, Landscaping Standards at	nd Water Efficient Landscaping	g						

(Ord. 492 Exhibit 7, 2014; Ord. 366, § 4, 2006; Ord. 202 § 5 (part), 1999; Ord. 253 § 2 (part), 2002: Ord. 182 § 2 (part), 1997)

16.12.030 Business Park and Industrial Zoning Districts Design Standards.

The following standards and design features are provided to ensure a level of quality that must be compiled with or satisfied in all industrial developments. Standards are mandatory requirements for all industrial developments. Deviations from specific standards may be allowed in compliance with Chapter 16.72 (Variances). Design features are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of design features shall be incorporated in the project's design.

A. Site Planning. The following standards and parameters are intended to help ensure internal consistency with

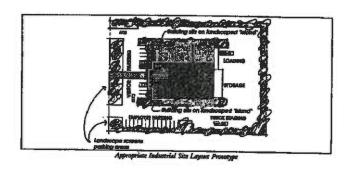
sound industrial site development practices.

1. Site Design.

- **a. Standard:** The following design elements shall be incorporated into the design of industrial projects whenever possible (See figure below):
 - Controlled site access (1);
 - 2) Service areas located at the sides and rear of buildings (2);
 - 3) Convenient public access and visitor parking (3);
 - 4) Screening of storage, work areas, and mechanical equipment (4):
 - 5) Storage and service area screen walls (5); and
 - 6) Emphasis on the main building entry and landscaping (6).
- **b.** Standard: Buildings shall be arranged to avoid long, monotonous building facades and to create diversity by use of at least one of the following design features:
 - 1) Set portions of the building at the front setback line with other portions set further back (minimum ten foot offset);
 - Cluster buildings around courtyards, plazas, and landscaped open spaces;
 - 3) Set buildings on "turf islands" where the office portion of the building does not directly abut parking areas. Provide a generous ten- to twenty- (20-) foot landscaped strip between the parking area and the main entrance; or
 - 4) Avoid placing parking between the street and the building for more than fifty (50) percent of the parcel frontage.
- c. Standard: Larger than minimum required building setbacks shall be provided for buildings thirty (30) feet high or higher. Buildings shall be set back an additional five feet (all sides) for each additional ten feet of building height over thirty (30) feet.
- **d. Standard:** Where an industrial use is adjacent to an nonindustrial use, appropriate buffering techniques shall be provided in compliance with Section 16.18.120 (Screening and Buffering).

2. Parking, Loading, and Circulation.

- a. Standard: Parking lots and cars shall not be the dominant visual elements of the site. Projects should incorporate at least one of the following design features:
 - Provide multiple smaller parking lots as opposed to large lots;
 - 2) Provide dense landscaping and walls to screen parking lots; or
 - 3) Locate parking on the side or at the rear of the site.

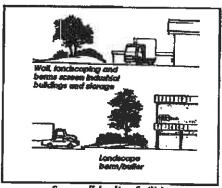


- b. Standard: Site access and internal circulation shall be designed in a straight forward manner with emphasis on safety and efficiency. The circulation system shall be designed to reduce conflicts between vehicular and pedestrian traffic, provide adequate maneuvering and stacking areas, and consideration for emergency vehicle access.
- **Standard:** Meandering sidewalks shall be provided in all industrial zoning districts when required by the director.
- **d.** Standard: Parking lots adjacent to public streets shall be screened from view in compliance with 16.34 (Off-Street Parking and Loading).



Use berming or grade differentials to screen parking lots

e. Standard: Loading facilities shall not be located at the front of buildings where it is difficult to screen them from view. Loading facilities are more appropriate at the rear of the site or on the side with adequate screening.



Screen all loading facilities

- f. Standard: When it is not possible to locate loading facilities at the rear or side of the building, they may be allowed on the front if properly screened from view with dense landscaping and walls. Loading facilities shall not directly align with driveways where screening cannot be provided effectively.
- g. Standard: Backing from the public street onto the site for loading shall not be allowed except at the ends of industrial cul-de-sacs where each circumstance will be reviewed on a case-by-case basis.

3. Screening.

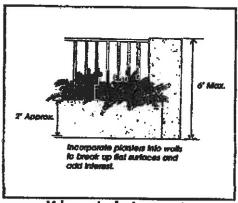
- a. Standard: Outside storage and loading shall be confined to portions of the site least visible to public view and appropriately screened in compliance with 16.18.120 (Screening and Buffering).
- b. Standard: Screening methods shall consist of at least one of the following design features:
 - Solid masonry walls with landscape relief;
 - 2) Open metal grillwork with masonry pillars and dense landscaping; or
 - 3) Earth berms with dense landscaping.
- **c. Standard:** The method of screening shall be architecturally integrated with the adjacent building in terms of materials, colors, texture, and size.

4. Screen Walls/Fencing.

a. Standard: If walls are not required for a specific screening or security purpose they shall not be provided. Walls provide hiding places for intruders and surfaces for graffiti. The

intent is to keep walls as low as possible while performing their screening and security functions.

- **b. Standard:** When security fencing is required, it shall not include barbed wire or razor wire. Chain link fencing is not allowed along street frontages. Security fencing shall be:
 - Masonry pillars with open metal grillwork;
 - 2) Short (two-three feet) masonry walls with grillwork on top; and
 - 3) Open grillwork or chainlink fence along side and rear property boundaries or used internally on the site if not visible from the public street.
- c. Standard: Long expanses offences and walls shall be offset and architecturally designed to create interest and avoid monotony. Landscape pockets, a minimum of twelve (12) feet wide and four feet deep, shall be provided at forty (40)-foot minimum intervals along the wall. These dimensions may vary somewhat, as long as the overall effect is the same, subject to approval by the director.



Make security fencing attractive

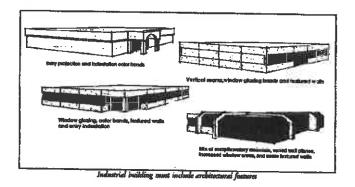
5. Landscaping Standards.

- **a. Standard:** Landscaping shall be used to define entrances to buildings and parking lots, edges of various land uses, provide transition between neighboring properties (buffering), and provide screening for outdoor storage, loading and equipment areas.
- **b.** Standard: Landscaping shall be in scale with on-site buildings and be of an appropriate size at maturity to accomplish its intended purpose.
- c. Standard: The use of vines on walls is required in industrial areas because walls often tend to be large and blank. Vines will provide texture, add color, break up flat walls, and reduce opportunities for graffiti.
- d. Standard: Landscaping around the base of the building is required, except for work and loading areas that are not visible from a public street or parking lot. Landscaping shall be accented at the main entrance to provide a prominent focal point.

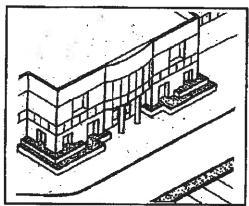
B. Architectural Design Standards.

General.

- **a. Standard:** Industrial buildings tend to be large and box-like. At least four of the following design parameters shall be incorporated to decrease the negative visual impact of large industrial uses.
 - 1) Use variety in building forms and heights to create visual character and interest.
 - 2) Provide building indentations and architectural details:

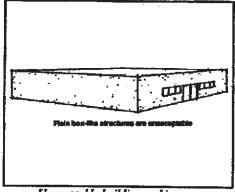


3) Accentuate the building's main entrance.



Desirable entry design. Building surfaces relieved by changes in plane, openings and ornamentation.

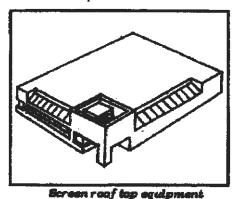
 Change building elevations and use berming at the edge of the building in conjunction with landscaping to help reduce the visual height and mass of buildings along street frontage;



Unacceptable building architecture

- 5) Use alteration of colors and materials to produce diversity and visual interest;
- 6) Avoid large blank, flat wall surfaces;
- 7) Do not construct walls of exposed, untreated concrete block (except split face);
- 8) Do not provide exposed roof drains; or
- 9) Avoid minimal landscaping that is too small and out of scale with large industrial buildings.

c. Standard: Avoid long (over one hundred (100) feet)) unbroken building facades. Facades with varied front setbacks are required.



Standard: Entries to industrial buildings shall portray a quality office appearance while being architecturally related to the overall building composition.

2. Roofs.

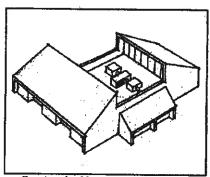
- **Standard:** Roof-top equipment shall be screened from view by architectural features integrated with the design of the structure.
- b. Standard: A variety of roof pitches is encouraged, especially at the main entrance.

3. Materials.

- **a. Standard:** A variety of siding material, (e.g., metal, masonry, concrete texturing, cement, or plaster) shall be used to produce effects of texture and relief that provide architectural interest.
- **b. Standard:** Avoid materials with high maintenance (e.g., stained wood, clapboard, or shingles).
- **c. Standard:** Use wall materials (e.g., concrete, stone, cement block, or slumpstone) that will withstand accidental damage from machinery.

4. Metal Buildings.

a. Standard: Stock, "off-the-shelf" metal buildings are prohibited as primary structures. Metal buildings shall be designed to have an exterior appearance of conventionally built structures by use of at least one of the following design features:



Exteriors should appear as architecturally conventional and employ a variety of forms.

- 1) Exterior surfaces should include materials in addition to metal (e.g., stucco, plaster, glass, stone, brick, or decorative masonry).
- 2) Employ a variety of building forms, shapes, colors, and other architectural treatments to add visual interest and variety.
- b. Standard: All exterior surfaces that have the potential of being contacted by vehicles or machinery shall be protected by landscaped areas, raised concrete curbs, and traffic barriers.

5. Color.

- **a. Standard:** Use color to help reduce the apparent size of industrial structures. Incorporate at least two of the following design features:
 - 1) Light, neutral colors should be used to help reduce a structure's perceived size.
 - 2) Use contrasting trim and horizontal color bands to help break up the vertical monotony of tall flat walls.
 - 3) Provide a blending of compatible colors in a single facade or composition to add interest and variety while reducing building scale.
- b. Standard: Overly bright colors (e.g., day-glo) and intricate patterns of color (e.g., checkerboard) shall be avoided. (Ord. 492 Exhibit 7, 2014; Ord. 202 § 2 (part), 1999; Ord. 182 § 2 (part), 1997)

16.14 Special Purpose Districts

Sections:

16.14.010 Purpose.

This chapter provides regulations applicable to development and new land uses in the special purpose zoning districts established by Section 16.06.010 (Zoning Districts Established). The purposes of the individual special purpose zoning districts and the manner in which they are applied are as follows:

- A. C/I (Civic/Institutional) District. The C/I zoning district is applied to parcels appropriate for a variety of public uses, including civic centers, educational facilities, general aviation airports, government offices, hospitals, libraries and public agency facilities which may require appropriate buffering from adjacent residential designations. The C/I zoning district is consistent with the civic/institutional land use designation of the general plan;
- B. P&R (Parks and Recreation) District. The P&R zoning district is applied to appropriate areas for active and passive open space and recreational areas generally open to the public. Development in this designation is subject to special review by the city. Additional details and policies for recreation/parks is included in the conservation and open space element. The P&R zoning district is consistent with the recreation/parks and private recreation land use designations of the general plan;
- C. OS (Open Space) District. The OS zoning district is applied to appropriate areas to ensure the conservation and protection of natural resources, including earthquake fault zones, fire protection areas, flood plains, open space areas, steep slopes of fifty (50) percent or more and other significant habitat areas identified in the conservation and open space element of the general plan. The OS zoning district is consistent with the open space land use designation of the general plan.

USE TABLI	TABLE 16.14 E FOR SPECIAL PU		TRICTS	
			K	ey to Permit Requirements
Symbol	App	olicable Proc	ess	See Chapter
P	developme	Use - Compliant standards a rance required	16.74	
C	Conditiona permit requ	l Use - Condit ired	16.52	
"Blank"	U	se not allowed	d	
Land Use ^{(1) (2)}	P&R	C&I	os	See Standards in Section
Education, Public Assembly and Recreation	n			
Bingo	С	С		<u>16.44,210</u>
Campgrounds	Р	P		
Churches, Places of Worship		P		
Community Centers and Pavilions	P	P		

	TABLE 16.14-1 USE TABLE FOR SPECIAL PURPOSE DISTRICTS							
	Land Use ^{(1) (2)}	P&R	C&I	os	See Standards in Section			
	Education, Public Assembly and Recreation (Cont'	d)						
1	Child-Day Care Centers		P		16.44.050			
1	Golf Courses, Private	P						
I	Golf Courses, Public	P						
	Health and Fitness Centers	P						
	Interpretative Centers	P		P				
	Libraries and Museums		C					
	Parks, Active	P						
	Parks, Passive	P	P	P				
1	Schools , Private		P					
	Sports Facilities and Outdoor Public Assembly	С	С					
	Theater , Auditorium, Meeting Halls, and Conference Facilities - Live Entertainment	С	С		See definition			
1	Trails - Multiple Use Corridors	P	P	P	See Definition			
	Open Space Resource							
	Creek Corridors	P	P	P				
	Open Space, Private/Passive	P	, P	P				
	Open Space, Public/Passive	P	P	P				
	Natural Reserves - Habitat	P	P	P				
	Residential							
	Caretaker Housing	Р	P					
I	Emergency Shelters, Private/Passive	P	P					
	Retail Trade							
	Accessory Retail Uses	P	С					
	Eating and Drinking Establishments	P	P		16.44.030			
	Marijuana Cultivation, Delivery, Dispensary, and Processing							
l	Medical Marijuana Dispensary							
1	Medical Marijuana Dispensary, Mobile							
	Services							

Assisted Living/Skilled Nursing	<u>C</u>		
Cemeteries and Mausoleums	С		
Medical Services — Clinics, Offices and Laboratories	Р		
Medical Services - Extended Care,	P		

TABLE 16.14-1 USE TABLE FOR SPECIAL PURPOSE DISTRICTS				
Land Use ^{(1) (2)}	P&R	C&I	os	See Standards in Section
Services (Cont'd)				
Medical Services - Hospital		С		
Offices, Public	<u>P</u>	<u>P</u>		
Public Utility and Safety Facilities		<u>P</u>		
Transportation and Communication Facilit	ies			•
Airport, General Aviation	e	<u>C</u>		
Parking Facilities	P	P	P	See definition
Pipelines and Utility Lines	P	P	P	
Wireless Facilities	С	С	С	16.44.170B
(2) See Section 16.04.020 regarding uses not list See Article VI for definitions of the land use: A development plan permit may also be required.	s listed.	1		

TABLE 16.14-2 SPECIAL PURPOSE DISTRICTS GENERAL DEVELOPMENT STANDARDS			
Development Feature	P&R	C&I	os
etbacks			
Street	25 feet	25 feet	25 feet
Interior	20 feet	20 feet	20 feet
From Abutting Residential District	15 feet		
Accessory Structures	Same as Primary Structure		
Maximum Height Limit	35 feet	50 feet	35 feet

16.16 Combining and Overlay Districts.

Sections:

16.16.010 Purpose.
 16.16.020 Planned Residential Development General Standards.
 16.16.030 Planned Residential Development Design Standards and Parameters.
 16.16.040 Transit Development Oriented Overlay.

16.16.010 Purpose.

- **A. Purpose.** This chapter provides guidance for development and new land uses in addition to the standards and regulations of the primary zoning district, where important area, neighborhood or site characteristics require particular attention in project planning.
- **B.** Applicability. The applicability of any overlay zoning district to specific sites is shown by the overlay zoning map symbol established by Section 16.06.010 (Zoning Districts Established). The provisions of this chapter apply to development and new uses in addition to all other applicable requirements of this development code. In the event of any perceived conflict between the provisions of this chapter and any other provision of this development code, this chapter shall control.
- C. The Combining and Overlay Districts Include the Following:
 - 1. LAD (Los Alamos District) Overlay District. The LAD overlay is applied to the historic district east of I-215 and south of Los Alamos Road, including the right-or-way, to preserve the historic rural character of the neighborhood, in terms of architectural, landscape, and roadway design. Bicycle, equestrian, pedestrian access, and shuttle van services and infill development are encouraged, subject to guidelines that protect the historic character of the district. The LAD overlay is consistent with the historic overlay designation of the general plan;
 - 2. MPO (Master Plan) Overlay District. The MPO designation is applied to appropriate parcels with unique characteristics or circumstances that require additional development review. The district is subject to the density of the base zoning district and provides for clustering of residential dwelling units within projects in compliance with the master development plan process.
 - a. Master Development Plan Required. For any project with a master plan overlay designation, a master development plan shall be prepared pursuant to Chapter 16.64 of the development code, except that a specific plan shall be required for commercial or industrial zoned property with a master plan overlay, for the mixing of residential and non-residential land uses, or as required by the city pursuant subsection (C)(2)(c) of this section.
 - **b.** Applicable Residential Zones. A master plan overlay is restricted to the following residential zones:

Rural Residential (RR); Estate Residential 1 (ER-1); Estate Residential 2 (ER-2); Single-Family 1 (SF-1).

c. Specific Plan May be Required for Certain Projects. Projects in a master plan overlay may require the preparation of a specific plan if required by the city, in accordance with state law, when the following occur:

The project site is of sufficient size to effectively utilize density transfers to protect and preserve significant open space areas; and/or

The project site contains environmentally sensitive habitat or species or has significant geographic constraints or requires extensive public utility extensions that necessitate detailed long-range planning to ensure adequate protection of resources and the efficient provision of public services, infrastructures, and/or utilities.

- Specific plans shall comply with the density provisions of the underlying land use designation.
- **d. Development Standards.** The following standards shall apply. Modifications to these standards, except for minimum lot size, may be considered as part of the review and approval of a master development plan provided in subsection (C)(2)(g) of this section:

Land Use Designation/Zone	Minimum Lot Size	Applicable Standards ⁽¹⁾
Rural Residential (RR)	20, 000 sq. ft.	ER-2
Estate Residential 1 (ER-1)	10,000 sq. ft.	ER-3
Estate Residential (ER-2)	7,200 sq. ft.	SF-1
Single-Family (SF-1)	5,000 - 6,000 sq. ft. ⁽²⁾	SF-2

Notes:

- (1) See Table 2-2 "Allowable Uses and Permit Requirements for Residential Zoning Districts"; Table 2-3 Residential Zones General Development Standards Requirements by Individual Zoning District"; and Section 16.08.030 "Single-family Residential Design Standards and Parameters" for additional standards. In addition to the above-described standards, all applicable standards pertaining to single-family residential development, including but not limited to landscaping, parking etc. shall apply.
- Five thousand (5,000) square foot lots may be allowed for up to ten (10) percent of the project and six thousand (6,000) square foot lots may be allowed for up to twenty (20) percent of the project.
- e. Modifications to Development Standards. Modifications to development standards may be approved in order to allow greater flexibility in dealing with site-specific issues, such as preservation of environmentally sensitive areas, efficient use of infrastructure, and allow for the inclusion of on-site amenities such as open spaces, enhanced landscaping and recreational opportunities. As the number and extent of any proposed development standard modifications increase, it is expected that the number and extent of the public amenities would expand accordingly.
- f. Project Amenities. The development project shall provide public benefit beyond that normally required of a similar development outside of an MPO by the provision of such things as equestrian facilities, public open space, on and/or off site infrastructure improvements, public playgrounds, trails and other recreational facilities, or other exceptional public facilities to the satisfaction of the city council as part of the master development plan review process.
- g. Modifications to Standards for Public Benefit. Modifications to the standards specified herein may be approved in order to allow greater flexibility in reaching the objectives of the master plan and to meet the needs of a particular site. Any modifications must demonstrate that the public benefit is being provided.
- 3. SHO (Scenic Highway) Overlay District. The SHO designation is applied to the I-15 and I-215 corridors, as defined in the Master Plan of State Highways Eligible for Official Scenic Highway Designation, to provide protection for scenic qualities of historic significance with appropriate conservation plans. The SHO designation is consistent with the scenic highway/special corridor designation in the conservation and open space element of the general plan. (Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.16.020 Planned Residential Development General Standards.

1. PRD (Planned Residential Development). The PRD standards can be utilized on all land zoned SF-2 (single-family residential), and MF-1 (multi-family residential). or MU-3 (mixed use, commercial/residential). The standards allow for the development of single-family detached units on residential lots which are smaller than five thousand (5,000) square feet, by

requiring the use of common usable open space within the development in either a neotraditional, courtyard cluster or alley access site design. Per Chapter 16.56, a development plan must be filed concurrent with the request for a planned residential permit, and the proposed project must meet all requirements set forth in Table 2-X and Section 16.16.020.

16.16.030 Planned Residential Development Design Standards and Parameters.

The following standards and parameters are provided to ensure a level of quality that must be complied with or satisfied in all planned residential developments (PRD). In addition to the general provisions of the underlying zone and Chapter 16.16 (Combining and Overlay Districts), a PRD shall comply with the following standards. Deviations from specific standards may be allowed in compliance wit Chapter 1 6.72 (Variances). Parameters are provided to allow flexibility by providing options for implementing specific standards. In order to meet a certain standard, one or a combination of parameters shall be incorporated in the project's design. In some instances, there will be no parameter(s) identified for a particular standard and this will be noted.

- **A.** Site Planning. The following standards and parameters deal with the internal organization of planned residential developments. The intent of the standards and parameters is to ensure that the relationships of units to each other and to other on-site uses are functional, attractive, and create a visual variety along the project's streets.
 - 1. Lot Layout.
 - a. Standard: A project may be designed using one, two or all three of the permitted lot designs within the project. The standards that apply to any given lot will depend upon where access to the garage is obtained. A neo-traditional lot will have garage access from the front of the house to the project local street. Cluster courtyards and alley access lots will have garage access to the side of the house from either a courtyard or an alley.

Parameters:

- 1) The neo-traditional development consists of detached single-family dwellings on individuals lots. Lots are of approximately equal size, and are placed adjacent to one another throughout the entire project area. Common open space areas are dispersed throughout the project. A two-car garage shall be provided for each unit.
- 2) The courtyard cluster or alley access development permits a reduction in lot area, resulting in an increase in the overall density of the project. Single-family homes are clustered around an access courtyard or provided with rear alley access, Garages have access from the courtyard or from the alley. Common usable open space areas are provided throughout the project. Private fenced patio area is provided for each unit. A two-car garage shall be provided for each unit.
- 2. Parking.
- a. Standard: All units shall have at least two full-size enclosed residential parking spaces. A three car garage not permitted unless the third space is in tandem.

Parameters: None.

Standard: Driveways in neo-traditional design shall be large enough to provide for additional off-street parking. Driveway length is measured from back of sidewalk, or back of curb where there is no sidewalk.

Parameters:

- Driveway for neo-traditional lots will be a minimum of eighteen (18) feet in length if a roll-up garage door is used.
- 2) Driveway for neo-traditional lots will be a minimum of twenty (20) feet in length if a swing-up garage door is used.
- c. Standard: Visitor parking shall be provided. Standards set forth in Section 16.34.040 regarding the number of spaces to be provided shall be followed.

Parameters:

1) On-street parallel parking on project streets may satisfy this requirement. On-street parallel parking on at least one side of the street is strongly encouraged. If the project lacks

adequate on-street parking, additional parking bays dispersed throughout the project may be necessary.

d. Standard: Additional parking spaces, in excess of the required visitor parking, at a ratio of one space per ten units included in the entire project, shall be provided at the primary recreation facility.

Parameters: None.

- 3. Common Recreational Space.
- a. Standard: Open space areas designed for common recreation use shall be provided for all residential developments at a ratio of four hundred twenty-five (425) square feet per unit for neo-traditional units and seven hundred fifty (750) square feet per unit for courtyard cluster or alley access units.

Parameters: None.

- b. Standard: Specifically excluded from meeting the common usable open/recreational space requirement are driveways, parking areas, fenced areas which are inaccessible to residents, areas with slopes of fifteen (15) percent or greater, and any other areas deemed not to be primarily used for open recreational purposes by the planning commission or city council. Parameters: None.
- **c. Standard:** For all projects, common usable space areas shall be designed so that a horizontal rectangle inscribed within it has no dimension less than ten feet.

Parameters: None.

d. Standard: Residential projects with twenty-five (25) to seventy-four (74) units shall provide at least one common, active recreation area with a minimum size of four thousand (4,000) square feet, to meet a portion of these requirements. Residential projects with seventy-five (75) units or more shall provide at least two common, active recreation areas with a minimum size of four thousand (4,000) square feet or one area with a minimum size of eight thousand square feet to meet a portion of these requirements.

Parameters: None.

e. Standard: Each recreation area must provide adequate amenities commensurate with the project size and expected residents.

Parameters: Examples include swimming pool, jungle gym, sand pit, basketball court, sand volleyball court, swing set, barbeques and picnic tables.

- 4. Streets.
- a. Standard: Private streets are required within a planned residential development, provided their width and geometric design must be related to the function, topography and needs of the development, and their structural design, pavement and construction must comply with the requirement of the city's street improvement standards.

Parameters: None.

- b. Standard: Private streets may incorporate one of the following parameters:
- 1) Streets with two lanes and parking on both sides, shall have a minimum width of thirty-six (36) feet.
- 2) Streets with two lanes and parking on one side, shall have a minimum width of thirty-two (32) feet.
- Streets with two lanes and no parking shall have a minimum width of twenty-eight (28) feet.
- 4) Alleys which are not considered fire lanes by the fire marshal, may have a minimum width of twenty-four (24) feet.
- Standard: No parking shall be permitted on private alleys.
 Parameters: None.
- d. Standard: Streets with curves or jogs at intervals of no more than three hundred (300) feet are strongly encouraged in all PRDs to enhance the visual quality of the streetscape.
 Parameters: None.
- 5. Setbacks.
- a. Front Yards on Streets: Front yard setbacks along private streets shall be varied throughout the project. Alternative placement of homes and garages closer to and farther back from the

street create different patterns of open space along the street edge and break up an otherwise monotonous view of houses built along the same setback. The project may achieve this by incorporating one of the following parameters:

Parameters:

- 1) Varying architectural features, such as bay windows, porches, and side-loaded garages.
- 2) No more than two adjacent residences shall incorporate the same setback.
- b. Yards Abutting Common Open Space: Courtyard clusters and alley access units may have entries that face common open space. In this case, a minimum five-foot setback shall be provided to the lot line. When the private patio area abuts common open space, no setback is required to the patio wall or fence.
- c. Garage Setbacks: Garages taking access from a courtyard or alley must have garage doors set back between two to five feet, or at least eighteen (18) feet. Setbacks between five and eighteen (18) feet are specifically prohibited to preclude parking in front of garage doors without adequate depth to accommodate the car.
- 6. Private Open Space.
- a. Standard: Each lot shall contain an outdoor yard or patio area enclosed by a wall or fence sufficient in size to accommodate outdoor dining, toddler play areas, or a private spa or hot tub. This area shall be for the exclusive use of the residents of the lot.

Parameters:

- 1) For neo-traditional lots, the required rear yard area, if level and usable, is deemed sufficient to meet this requirement. If the required yard is not completely level, then an equivalent area of at least six hundred seventy-five (675) square feet in area with a minimum dimension of fifteen (15) feet must be provided on the lot.
- 2) For cluster courtyards or alley access lots, an area of three hundred fifty (350) square feet, with a minimum dimension of ten feet, must be provided on each lot. This area may be located in the front of the unit, between the unit and a detached garage, or within the side yard setback.

7. Recreational Vehicle Storage.

a. Standard: All projects containing twenty-five (25) units or more shall provide space to store campers, trailers, boats, etc. The storage space shall be located in specifically designated areas, and be made available for the exclusive use of the residents of the planned development.

Parameters:

- 1) The area provided for recreational vehicle storage shall be equal to at least twenty (20) square feet for each unit.
- **b. Standard:** One space per ten dwelling units at a size of two hundred (200) square feet for each required space.

Parameters: None.

Standard: The required storage space shall be adequately screened from all residences and adjoining properties.

Parameters:

- A view-obscuring wall may be constructed between the open parking area and the adjacent residences.
- Landscaping techniques may be used to screen the open parking area from the adjacent residences.

B. Parkland Dedication.

a. Standard: Each project will be required to fulfill one hundred (100) percent of Quimby Act requirements. No credits will be provided for private open space.

Parameters: None.

C. Lighting.

a. Standard: Lighting adequate for pedestrian and vehicular safety and sufficient to minimize security problems shall be provided.

Parameters: None.

D. Utilities.

a. Standard: There shall be separate utility systems for each unit. Parameters: None.

E. Landscaping.

1. Walls and Fences.

a. Standard: The project shall follow wall and fence guidelines found in Chapter 16.08 of the Murrieta development code.

Parameters: None.

2. Project Entry.

a. Standard: All projects must create a unique and innovative project entry. The following parameters are suggested:

Parameters:

- 1) The use of landscaping to create themes which will continue throughout the project.
- 2) The use of decorative paving in order to enhance the entry to the residential project.
- 3) Wall signs which identify the project.
- 4) Incorporation of water features such as fountains and/or small pools.

F. Homeowner's Association.

a. Standard: All projects shall create a homeowner's association in order to address maintenance of the common open space. The CC&Rs for the project will be subject to review and approval of the city attorney.

Parameters: None.

G. Home Types and Styles.

- a. Standard: A minimum of fifteen (15) percent of the residences within a PRD may be required by the city to be one-story, with a height not exceeding twenty (20) feet.

 Parameters: None.
- b. Standard: Additional front and/or side yard setbacks may be required by the city for two-story homes within a PRD.

Parameters: None.

c. Standard: Varied architectural styles and/or exterior materials may be required by the city for the homes within a PRD.

Parameters: None.

(Ord. 293 § 1 (part), 2004; Ord. 252 (part), 2002)

16.16.040 Transit Development Oriented Overlay.

- A. Transit Oriented Development Overlay District. The purpose of the Transit Oriented Development (TOD) Overlay District is to allow a mixture of residential and non-residential development in close proximity to transit to encourage mixed land uses for enhanced transit and pedestrian activity. This designation is applied to parcels as shown in the official zoning map.
 - 1. The TOD Overlay District is intended to:
 - Stimulate economic development and reinvestment through regulations based upon recognized urban design principles that allow property owners to respond with flexibility to market forces;
 - b. Create a pedestrian-oriented mix of uses with convenient access to transit between area neighborhoods, housing, employment centers, and retail services;
 - c. Accommodate intensities and patterns of development that can support multiple modes of transportation including public transit, bicycles, and walking;
 - d. Facilitate well-designed new mixed-use development projects that combine residential and nonresidential uses (e.g., office, retail, business services, personal services, public spaces and uses, other community amenities, etc.) to promote a better balance of jobs and housing;
 - Ensure compatibility with adjacent existing single-family neighborhoods and harmonious integration with existing commercial areas;
 - f. Encourage the development of a unique zone character through a streetscape that provides attractive features (e.g., landscaping, street furniture, niche or linear parks, public places,

- courtyards, public transportation shelters; etc.) designed to integrate the public realm (e.g., streets, sidewalks, etc.) with development on adjacent private property; and
- g. Provide additional development opportunities. This intent is achieved by providing additional development rights in compliance with this chapter, which property owners may exercise under certain conditions, while retaining all development rights conferred by the underlying zone to property owners in the TOD Overlay Zone. Incentives and advantages include allowing a greater range and mix of uses and specifying more permissive dimensional specifications (e.g., greater building heights; reduced setbacks; etc.).
- **B.** Authority and Applicability. The provisions of the TOD Overlay District supplement those of the applicable underlying zoning district. Where the TOD Overlay District and base zone provisions conflict, the standards and regulations of the TOD Overlay District shall apply. A TOD shall be processed in accordance with chapter 16.56 Development Plan Permits.
- C. Allowable Uses and Permit Requirements. All uses in the applicable underlying zoning district are allowed. In addition, the following land uses shall also be permitted in the TOD Overlay District:
 - 1. Multi-Family Residential;
 - 2. Mixed-Use Development, where residential and nonresidential uses are integrated vertically or horizontally, including live/work opportunities; and
 - 3. Other similar uses compatible with the objectives of the TOD as determined by the director.
- **D.** General Development Standards. New land uses and structures, and alterations to existing land uses and structures within the TOD Overlay District, shall be designated, constructed, and/or established in compliance with the requirements of the base zones, with the following exceptions:

Development Feature	All Zones Within TOD Overlay District
Front Setbacks	10 foot minimum to 20 foot maximum
Maximum Height Limit	150 feet
Publicly Accessible Open Space (for nonresidential uses as part of mixed-use development only)	10% of net lot area
Residential Density Range	Minimum 30 du/acre
Private Residential Open Space (for all multi-family residential uses)	50 sq. ft. per unit
Common Residential Open Space (for stand-alone multi-family residential developments only)	150 sq. ft. per unit
Recreational Amenities/Facilities (for stand-alone multi-family residential developments and mixed-use developments)	For projects containing 25 or more dwelling units, provide one recreational amenity for each 30 dwelling unit or fraction thereof

- 1. Open Space: The following standards shall apply to the requirements for open space:
 - a. Usable Open Space Defined. Usable open space areas are an open area or an indoor or outdoor recreational facility which is designed and intended to be used for outdoor living and/or recreation. Usable open space shall not include any portion of parking areas, streets, driveways, sidewalks, or turnaround areas.
 - b. Usable Open Space Requirements.
 - i. Publicly Accessible Open Space.
 - a. All new non-residential development as part of a mixed-use project shall provide 10% of the total net lot area of publicly accessible open space as a percentage of the total development site, as indicated in the above table.

- b. Publicly accessible open space can consist of plazas, courtyards, landscaping, community gardens, hardscapes, outdoor dining, pedestrian walkways, or any other feature that is accessible by the public and deemed appropriate by the director.
- c. Publicly accessible open space areas shall not include parking areas, driveways, sidewalks or rear setback areas, but may include front or side setback areas provided that they are integrated into the overall design of the project.
- d. Publicly accessible open space areas shall be installed at ground level and be incorporated into the design of the development.

ii. Private Residential Open Space.

- a. For stand-alone mufti-family residential projects or as part of a mixed-use development, each residential unit shall be provided with at least one area of private open space accessible directly from the living area of the unit, in the form of a fenced yard or patio, a deck or balcony at a minimum area of fifty (50) square feet.
- b. The minimum dimension, width or depth, of a balcony shall be five (5) feet.

iii. Common Residential Open Space.

- a. For stand-alone multi-family residential developments, each residential unit shall be provided with at least one hundred fifty (150) square feet of common residential open space.
- b. All common open space shall be conveniently located and accessible to all dwelling units on the site.
- c. Common open space areas may include landscaping, pedestrian paths, and recreational facilities.
- d. In projects containing fewer than ten (10) units, the common open space shall have a minimum width and depth of ten (10) feet. In projects containing ten (10) or more units, the minimum width and depth shall be twenty (20) feet.

iv. Recreational Amenities/Facilities.

- a. For projects containing twenty-five (25) or more residential units in standalone multi-family residential developments and as part of a mixed-use development, one common recreational amenity shall be provided for each thirty (30) units or fraction thereof. The following listed amenities satisfy the above recreational facilities requirements. Recognizing that certain facilities serve more people than others, have a wider interest or appeal, and/or occupy more area, specified items may be counted as two (2) amenities, as noted. In all cases, each square foot of land area devoted to a recreational amenity shall be credited as common open space on a 1:1 basis.
 - i. Clubhouse (two);
 - ii. Swimming pool (two);
 - iii. Tennis court (one per court);
 - iv. Basketball court (one per court):
 - v. Racquetball court (one per court);
 - vi. Weightlifting facility;
 - vii. Children's playground equipment;
 - viii. Sauna;
 - ix. Jacuzzi;
 - x. Day care facility (two);
 - xi. Other recreational amenities deemed adequate by the planning director.
- E. Design Standards. The following design standards are provided to ensure a level of quality that must be complied with or satisfied in all residential and non-residential developments within the TOD Overlay District. Standards are mandatory requirements for all development within the TOD Overlay District, and supplement the standard provisions required for the base zones. Where the

TOD Overlay District and base zone provisions conflict, the standards and regulations of the TOD Overlay District shall apply. Deviations from specific standards may be allowed in compliance with Chapter 16.72: Variances. Development within the TOD Overlay District shall be responsive to its context and compatible with adjacent development, and shall enhance transit and pedestrian activity.

1. Site Plan Design.

- a. Land Use Buffering. Loading areas, access and circulation driveways, trash, storage areas, and mechanical equipment related to commercial uses shall be located as far as possible from adjacent residences and residential portions of mixed use developments.
- b. Building Orientation. Placement of buildings shall be done in consideration of existing and planned uses, and generally consistent with the following standards:
 - Buildings shall be oriented to face public streets.
 - ii. Building frontages shall be generally parallel to streets, and the primary building entrances shall be located on a public street.
 - iii. Building entrances shall be emphasized with special architectural and landscape treatments.
 - iv. Entrances located at corners shall generally be located at a forty-five (45) degree angle to the corner and shall have a distinct architectural treatment to animate the intersection and facilitate pedestrian flow around the corner. Different treatments may include angled or rounded corners, arches, and other architectural elements. All building and dwelling units located in the interior of a site shall have entrances from the sidewalk that are designed as an extension of the public sidewalk and connect to a public sidewalk.
 - v. Entrances to residential units shall be physically separated from the entrance to the permitted commercial uses and clearly marked with a physical feature incorporated into the building or an appropriately scaled element applied to the facade.
 - vi. Optimize building orientation for heat gain, shading, daylight, and natural ventilation.
- c. Parking Areas. The following design standards apply and design guidelines shall be considered:
 - i. Automobile parking, driving, and maneuvering areas shall not be located between the main building and a street. For sites that abut a street, parking may be located at the rear of the building or on one or both sides of a building.
 - ii. Shared parking is encouraged. On lots serving more than one use, the total number of spaces required may be reduced, provided that the applicant submits credible evidence to the satisfaction of the director that the peak parking demand of the uses do not coincide, and that the accumulated parking demand at any one time shall not exceed the total capacity of the lot.
 - iii. Where feasible, ingress and egress from parking shall be from side streets or alleys.
 - iv. Surface parking lots shall be located in the rear of the building.
 - v. Surface lots shall be screened along all public sidewalks by a landscaped buffer, or a combination of landscape and walls compatible with adjacent architecture.
 - vi. Surface parking lots shall have well-designed and marked pedestrian walkways and connections to the sidewalk system.
 - vii. Subterranean parking and parking garages are allowed.
- **d.** Landscape and Open Space. The area between a building or exterior improvement and the property line for non-residential developments shall:
 - i. Include substantial landscaping to create a pedestrian-friendly environment: or
 - ii. Be paved with a hard surface so that it functions as a wider public sidewalk for use by pedestrians (the use of porous paving materials for hard surfacing is encouraged): or
 - iii. Contain public spaces that include entry courtyards, plazas, entries, or outdoor eating and display areas that include pedestrian amenities such as seating areas, drinking fountains, and or other design elements such as public art and planters.

e. Transition of Density.

i. Where new projects are built adjacent to existing lower-scale residential development,

- the building types, massing, and orientation shall be compatible with the existing development.
- ii. Windows and floor balconies of the new development shall be positioned so they minimize views onto neighboring properties.
- **f. Building Facades.** The following design standards apply to nonresidential or mixed-use developments:
 - i. All buildings shall provide a main entrance on the facade of the building facing a transit station or streets leading to a transit station.
 - ii. Facades over fifty (50) feet in length should be divided into shorter segments by means of facade modulation, repeating window patterns, changes in materials, canopies or awnings, varying roof lines and/or architectural treatments.
 - iii. The ground floor of a front commercial facade should contain a minimum of fifty (50) percent glass.
 - iv. Architectural style and materials shall be compatible with the surrounding area. And facades must provide a visually interesting environment.
 - v. All buildings shall articulate the line between ground and upper levels with a cornice, canopy, balcony, arcade, or other visual device.
- **g. Street Frontage Improvements.** New development shall provide street frontage improvements between the property line and curb in accordance with the following:
 - i. Pedestrian amenities. Trash receptacles, benches, bicycle racks, public art, planers, and other street furniture shall be provided,
 - ii. Street lights. Pedestrian scaled street lights shall be provided.
 - iii. Street Trees. Shade trees shall be planted at least thirty (30) feet on center, or as approved by the director, and require minimal maintenance and are native in origin.

h. Signage.

i. A sign program shall be required in accordance with Chapter 16.38. (Ord. 482-13 § 2, 2013)

16.34 Off-Street Parking and Loading Standards

TABLE 3-7 PARKING REQUIREMENTS BY LAND USE

Assembly/Quasi-Public Uses	Vehicle Spaces Required
Churches, other places of worship, and mortuaries	One space for each three fixed seats or one space for every -35 square feet (s.f.) of gross assembly area, meeting rooms, classroom, where there are no fixed seats.
Libraries, museums, art galleries	One space for every 500 s.f. of gross floor area, plus one space for each official vehicle.
Large family day care homes	One space per employee, in addition to the required residential spaces, unless adjusted by the director.
Cinemas	Single screen: One space for each three seats, plus six spaces for employees.
	Multi screen: One space for each four seats, plus ten spaces for employees.
Performance theaters, meeting halls, lodges and membership organization	One space for every three fixed seats, or one space per 50 s.f. of gross assembly or viewing area, plus parking for ancillary uses (e.g. bar restaurant).
Child-Dday-care centers	One space per child/adult based on 15% of the maximum number of children/adults allowed on site as set forth by the licensing agency, plus one space for each employee.
Extended care Assisted Living/Skilled Nursing (adults, skilled nursing facilities and residential care homes)	One space for every three beds the facility is licensed to accommodate.
Hospital and medical centers	One space for every three patient beds the facility is licensed to accommodate, plus one space for every 400 s.f. of office area, plus required spaces for ancillary uses as determined by the Director.
Indoor/Outdoor Recreation	
Bowling alley	Five spaces per lane, plus required spaces for ancillary uses.
Indoor recreation/fitness centers - arcades	One space for each 200 s.f. of gross floor area.
Pool and billiard rooms	Two spaces per table, plus required spaces for ancillary uses.
Skating rink - ice or roller	One space for each 400 s.f. of gross floor area for public use, plus required spaces for ancillary uses.
Tennis, racquetball, handball and other courts	Two spaces for each court, plus one space for each 300 s.f. of floor area for ancillary uses.
Golf courses - golf driving ranges	Ten spaces for each hold, plus clubhouse spaces as required for ancillary uses; two spaces for each driving range tee.
Health/fitness clubs	One space for each 300 s.f. of gross floor area.

Indoor/Outdoor Recreation (Cont'd)	Vehicle Spaces Required
Outdoor commercial recreation	Determined by conditional use permit.
Personal instruction (See ² under Private School/Training Uses)	One space for every 200 s.f. of gross floor area
Industrial Uses	No.
Research and development, laboratories	One space for every 250 s.f. of gross floor area, plus one space for each company vehicle.
General manufacturing, industrial and processing uses	Two spaces for every 1,000 s.f. of gross floor area for the first 25,000 s.f., and one space for every 1,000 s.f. thereafter. Gross floor area shall include incidental office space comprising less than 20% of the total gross floor area. The parking requirements for additional office space shall be calculated separately as provided by this table for "offices."
Warehouses and storage facilities (single tenant - see below for multi-tenant)	One space for every 1,000 s.f. of gross floor area for the first 20,000 s.f., and one space for every 2,000 s.f. thereafter. Gross floor area shall include incidental office space comprising less than 10% of the total gross floor area. The parking requirements for additional office space shall be calculated separately as provided by this table for "offices."
Storage, personal storage facilities	Four spaces for the manager's office, plus one additional space if an on-site residential unit is provided.
Wholesale and distribution operations not used exclusively for storage (single tenant only - see below for multi-tenant)	One space for every 1,000 s.f. of gross floor area for the first 10,000 s.f., and one space for every 2,000 s.f. thereafter. Gross floor area shall include incidental office space comprising less than 20% of the total gross floor area. The parking requirements for additional office space shall be calculated separately as provided by this table for "offices."
Recycling facilities	Determined by conditional use permit.
Multi-tenant buildings	New construction shall provide parking at the rate of one space for each 500 s.f. of gross floor area for one-half of the total building area, and one space for every 1,000 s.f. of gross floor area for remaining one-half of the building area.
Office and Medical Services	
Offices, administrative, corporate	One space for each 250 s.f. of gross floor area for the first 5,000 s.f. and one space for each 350 s.f. thereafter.
Clinics, medical/dental offices	One space for each 200 s.f. of gross floor area.
Medical/dental labs	One space for each 300 s.f. of gross floor area.
Veterinary clinics and hospitals	One space for each 250 s.f. of gross floor area, plus one space for each 800 s.f. of boarding area.

Private School/Training Uses	Vehicle Spaces Required	
Elementary and junior high	Two spaces per classroom, plus one space for every 200 s.f. of assembly area in an auditorium or gym.	
High school	Three spaces for each classroom, plus one space for every six students.	
College or university	Determined by conditional use permit.	
Schools - specialized education and training	One space for every 50 s.f. of gross classroom floor area.	
Personal instruction ²	One space for every 200 s.f. of gross floor area.	
Studios, professional ³	One space for every 400 s.f. of gross floor area.	

Schools—Specialized Education and Training. (One space per 50 sq. ft.) An institution with two or more classrooms and/or meeting rooms that is capable of serving 40 or more students in attendance at any time, and which offers specialized trade and commercial courses intended to achieve a degree, certificate or training in a trade, occupation or field of employment. This includes, but is not limited to, the following types of programs: academics, art, bartending, building trades, business, cabinetry, casino trades, computer technician, construction inspection, cooking, cosmetology, dance, drama, driver education, engine mechanics, heating and air conditioning, language, medical and dental, music, paralegal, secretarial, athletics, vocational and web design. Also includes seminaries and other facilities/institutions providing training for religious ministries, establishments furnishing educational courses by mail or the internet, and institutions that offer specialized programs in personal growth and development.

Student capacity shall be based upon the current UBC maximum occupancy factor for classrooms (1 per 20 square feet), unless an alternative occupancy factor is approved by the Building Official and the Planning Director based upon such things as: (1) the number of fixed tables and/or desks; (2) the number of permanent computer work stations; or (3) the number of other permanent work-related fixtures such as cosmetology stations, mechanical equipment, engine blocks, cook tops, etc.

- Instruction, Personal. (One space per 200 sq. ft.) A use with two or less class or meeting rooms that serves fewer than 40 students in attendance at any time, where an individual or individuals provides instruction to an individual or group of individuals primarily for personal interest or self improvement in such activities as: academics, art, athletics, computers, dance, drama, fitness, martial arts, music and similar activities. Student capacity shall be based upon the current UBC maximum occupancy factor for exercise rooms (1 per 50 square feet), unless an alternative occupancy factor is approved by the Building Official and the Planning Director.
- Studios, Professional. (One space per 400 sq. ft.) A facility designed and equipped to assist in the practice of a specialized activity and/or provide the means by which an individual or small group (less than 10) can create a product or improve one's skill in a particular endeavor. Includes, but is not limited to, studios for: (1) the creation of works of art; (2) photography; (3) practicing, composing or recording of music; (4) acting; (5) writing; (6) dance; (7) design; and (8) the production of television, movies and other media.

Residential Uses	
Single family housing	Two spaces in a fully enclosed garage.

Residential Uses (Cont'd)	Vehicle Spaces Required
Duplex housing units	Two spaces for each unit, with at least one space in a fully enclosed garage.
Multi-family dwellings and other attached dwellings	Studio and one bedroom units: 1.5 spaces for each unit, with one space for each unit in a fully enclosed garage, plus guest parking. Two bedrooms or more: 2 spaces for each unit, plus 0.5 additional spaces for each bedroom over 2, with one space for each unit in a fully enclosed garage, plus guest parking equal to 25% of the total number of units.
Mobile homes (in mobile home parks)	Two spaces for each mobile home (tandem parking allowed in an attached carport), plus one guest parking space for each four units.
Condominiums	Studio, one bedroom and two bedroom units: Two covered spaces for each unit, with one space for each unit in a fully enclosed garage, plus guest parking. Three bedrooms or more: Two spaces for each unit with one space for each unit in a fully enclosed garage; plus 0.5 additional spaces for each bedroom over two; plus guest parking equal to 33% of the total number of units evenly spread throughout the entire project.
Mixed-use developments (residential portion)	Determined by conditional use permit.
Secondary residential Accessory dwelling units	See Section 16.44.160 One space in addition to that required for a single family unit.
Senior housing projects	One space for each unit with half the spaces covered, plus one guest parking space for each ten units.
Senior congregate care	0.5 space for each residential unit, plus one space for each four units for guests and employees.
Retail Uses	
General merchandise	One space for each 200 s.f. of gross sales area, plus one space for each 600 s.f. of storage area, plus one space for each company vehicle, plus one space for every 1,000 s.f. of outdoor display area.
Appliance, furniture and bulk goods	One space for each 500 s.f. of gross sales area and one space for each company vehicle, plus one space for every 1,000 s.f. of outdoor display area.
Automobile, mobile home, vehicle, machinery and parts	One space for every 400 s.f. of gross floor area, plus one space for every 3,000 s.f. of outdoor display area, plus one space for every 300 s.f. of gross floor area for a parts department, plus one space for each two employees.
Building materials, hardware stores and plant nurseries	One space for each 300 s.f. of indoor display area, plus one space for every 1,000 s.f. of outdoor display area.

Retail Uses (Cont'd)	Vehicle Spaces Required
Convenience stores	One space for each 200 s.f. of gross floor area.
Restaurants/delicatessens - take out only, no customer seating	One space for each 250 s.f. of gross floor area.
Restaurants, fast food	One space for each 100 s.f. of gross floor area, plus one space for every 100 s.f. of outdoor dining area.
Restaurants (except fast food), cafes, cafeterias, nightclubs, taverns, lounges, or similar establishments for the consumption of food and beverages on the premises	One space for each 75 s.f. of gross floor area for patrons, plus one space for every 300 s.f. of service area, plus one space for every 100 s.f. of outdoor dining area.
Shopping centers (shall use un-segregated parking areas)	One space for each 250 s.f. of the gross floor area of all centers of more than 20,000 square feet; plus one space for every 1,000 s.f. of outdoor display area. Restaurant uses that exceed the percentage allowed under the definition of a shopping center shall provide parking at the appropriate restaurant requirement.
Service Uses	
Copy and reproduction centers	One space for each 400 s.f. of gross floor area.
Consumer products repair and maintenance	One space for each 250 s.f. of gross floor area.
Banks and financial services	One space for each 300 s.f. of gross floor area.
Barber/beauty shops (and other personal services - tattoo studio, nail salon)	One space for each 250 s.f. of gross floor area.
Dry cleaning pick-up facilities	One space for each 400 s.f. of activity area, plus one space for each 1,000 s.f. of storage area.
Laundries and dry cleaning plants	One space for each 1,000 s.f. of gross floor area.
Laundromats	One space for each 250 s.f. of gross floor area.
Kennels and animal boarding	One space for each 500 s.f. of gross floor area, plus one space for each 800 s.f. of boarding area, plus one space for each employee.
Pet grooming	One space for each 400 s.f. of gross floor area.
Equipment rental	One space for each 300 s.f. of gross floor area, plus one space for each 1,000 s.f. of outdoor use area.
Hotels and motels	One space for each guest room, plus one space for each two employees on the largest shift, plus required spaces for ancillary uses.
Bed and breakfast inn	One space for each guest room, plus the required parking for the residential use.

TABLE 3-7 PARKING REQUIREMENTS BY LAND USE

Vehicle Maintenance, Repair and Related Uses	Vehicle Spaces Required
Repair garage	Four spaces for each service bay, plus adequate queuing lanes. Plus one space fore each two employees on the largest shift.
Depots for bus, freight or rail	Determined by conditional use permit.
Service stations (including multi-use stations)	One space for each 250 s.f. of gross floor area, plus three spaces per service bay, plus parking required for ancillary uses (stores, restaurants, car washes). 50% of the parking provided at the pump island(s) may be credited towards meeting the parking requirements for ancillary uses.
Full service vehicle washing	Ten spaces, plus ten spaces for each wash lane for drying area, plus queuing area for five vehicles ahead of each lane.
Self-service vehicle washing	2.5 spaces per each washing stall for queuing and drying.

(Ord. 388 § 3, 2007; Ord. 372 §§ 2, 3, 2006; Ord. 367 § 4 (part), 2006; Ord. 269 § 2 (part), 2002; Ord. 182 § 2(part), 1997)

Section 16.36 Public Facilities/Infrastructure Mitigation

16.36.080 Dedications and Improvements.

The purpose of this section is to establish standards and requirements for dedications and improvements in connection with the development of land in which no subdivision is involved.

A. Dedications Required. Applicants who propose new development within the city shall provide, by means of an offer of dedication or other appropriate conveyance as approved by the city attorney, the rights-of-way necessary for the construction of any street as shown on the circulation plan in the general plan, any applicable specific plan, or otherwise required by the city engineer in compliance with an established street system or plan. Rights-of-way shall also be provided for improvements to existing facilities including rights-of-way for storm drains or other required public facilities. All rights-of-way shall be accompanied by a title examination report and be free of all liens and encumbrances.

Dedications required by this section shall be made before the issuance of a building permit for a subject property.

- **B. Public Improvements Required.** Applicants who propose new development within the city shall cause to construct all necessary improvements in compliance with city specifications upon the property and along all street frontages adjoining the property upon which the structure is constructed unless adequate improvements already exists. In each instance, the city engineer shall determine whether or not the necessary improvements exist and are adequate.
- **C. Construction of Public Improvements.** If the city engineer determines that public improvements are required, these public improvements shall be designed to city standards and their construction guaranteed by an improvement agreement secured by a bond or cash deposit before issuance of a building permit for the subject property. If the building permit is not exercised, the improvement obligation shall terminate and the security shall be returned. The city engineer is authorized to execute agreements on behalf of the city.
- **D. Deferrals of Public Improvement Requirements.** Requests for deferrals of improvements shall be processed in compliance with Section 16.08.130 (Article V).

E. Exemption for Expansion of Existing Single Family Homes.

- 1. The addition, enlargement, expansion, alteration, extension, reconstruction or replacement of any existing single family dwelling and/or accessory structure that adds no more than seven hundred twenty (720) square feet of habitable space within a consecutive five (5) year period shall be exempt from the requirements of this chapter to construct street improvements.
- 2. The development of non-habitable accessory structure(s) as provided for under Section 16.44.150 of this Title shall be exempt from the requirements of this chapter to construct street improvements.
- 3. A development that is exempt from the requirement to construct street improvements as provided for in this section shall remain subject to the requirement to provide the city with an irrevocable offer of dedication for the ultimate street right-of-way for any addition, enlargement, expansion, alteration, extension, reconstruction or replacement of an existing single family dwelling and/or habitable accessory structure regardless of size.
- 4. No exemption from the requirement to construct street improvements shall be granted if the city engineer determines that the lack of street improvements in this case would be a potential danger to the public health, safety and welfare. (Ord. 439-10, § 1, 2010; renumbered during 06-04 supplement; Ord. 182 § 2 (part), 1997)

Section 16.44 - Standards for Specific Land Uses.

16.44.050 Child Day-Care Facilities.

This section establishes standards for the provisions of child day-care facilities, in conformance with state law and in a manner that recognizes the needs of day-care operators and minimizes the effects on surrounding properties. These standards apply in addition to the other provisions of this development code and requirements imposed by the California department of Social Services. Licensing by the department of Social Services is required for child day-care facilities.

- **A. Definitions.** For the purpose of this section, the following definitions shall apply. Additional definitions are contained in Article VI (Definitions):
 - 1. Small Family Day-care Homes (Eight or fewer Children). Allowed within a single-family residence located in a residential zoning district, with no city land use permits or clearances required;
 - 2. Large Family Day-care Homes (Nine to fourteen (14) Children). Allowed within a single-family residence located in a residential zoning district, in compliance with the standards in subsection B. (Standards for Large Family Day-care Homes), below; and
- 3. Child Day-care Centers (Fifteen (15) or More Children). Allowed in the zoning districts determined by Article II (Zoning Districts and Allowable Land Uses), subject to conditional use permit approval, in compliance with Chapter 16.52, and the standards in subsection C (Standards for-Child Day-care Centers) below.

B. Standards for Large Family Day-care Homes.

- 1. Day-care Permits. Permit processing for large family day-care homes shall be subject to the following.
 - a. Entitlement Requirement, Public Notice. A large family day-care home shall require the approval of a nondiscretionary large family day-care permit by the director. Property owners within one hundred (100) feet of the proposed site shall be provided notice of the application at least ten days prior to the date of the director's decision on the entitlement. A public hearing may be requested in writing by the applicant or other affected person(s).
 - The notice shall state that the director's determination may be appealed to the commission, in compliance with Chapter 16.78 (Appeals). The commission may only grant the appeal and reverse or modify the director's determination if the commission finds that the director's determination was contrary to state or city laws governing large family day-care homes.
 - b. Criteria for Approval. A large family day-care permit shall be issued if the director determines that the proposed large family day-care home will comply with the standards in this subsection.
 - c. Conditional Use Permit. The commission may approve a conditional use permit, in compliance with Chapter 16.52, authorizing operation of a large family day-care home which does not comply with and/or cannot be operated in compliance with the standards in this subsection.
- 2. Day-care Provider's Residence. The large family day-care home shall be the principle residence of the day-care provider and the use shall be clearly incidental and secondary to the use of the property as a residence.
- 3. Fire Department Standards. The facility shall contain a fire extinguisher and smoke detector devices and comply with the standards established by the city fire department.
- 4. Health and Safety Standards. Each facility shall be inspected by the city for compliance with the Housing Code and any regulations adopted by the state Fire Marshal concerning health and safety standards which are applicable to care facilities.
- 5. Noise. In order to protect adjacent residential dwellings from noise impacts, a facility within a residential zoning district may only operate up to fourteen (14) hours for each day between the hours of six a.m. and eight p.m. and may only conduct outdoor activities between the hours of seven a.m. and seven p.m.
- 6. Off-Street Parking Standards. Each facility shall have the number of parking spaces required for single-family dwellings, in compliance with Chapter 16.34 (Parking and Loading Standards), one additional space for the drop-off and pick-up of the children utilizing the facility, and one additional parking space for each person working at the facility, other than a person who resides at the home. The driveway may serve to meet the required off-street parking spaces and/or the drop-off area.

- 7. Separation Standards. A residential parcel shall not be bordered on more than one side by a care facility and a care facility shall not be legally operated on a parcel within three hundred (300) feet of the parcel subject to the application.
- C. Standards for Child Day-care Centers. The following standards shall apply, in addition to those applicable standards contained in subsection B (Standards for Large Family Day care Homes) above:
 - 1. Fence or Wall. A six-foot high solid decorative fence or wall shall be constructed on all property lines, except in the front yard or within a traffic safety sight area. Fences or walls shall provide for safety with controlled points of entry in compliance with Chapter 16.22 (Fences, Hedges, and Walls);
 - 2. Indoor Play Areas. The facility shall be provided with indoor play areas in compliance with state requirements.
 - 3. Outdoor Play Areas. The facility shall be provided with outdoor play areas in compliance with state requirements; and
 - 4. Swimming Pools/Spas. Swimming pools/spas shall meet County and state requirements.

(Ord. 182 § 2 (part), 1997)

16.44.140 Recycling Facilities.

This section establishes standards and procedures for the siting and operation of various types and sizes of commercial recycling facilities.

- A. Permit Requirements. Recycling facilities are subject to permit review/approval in compliance with Article II (Zoning Districts and Allowable Land Uses) provided the following standards are met.
- B. Development and Operating Standards. Recycling facilities shall comply with the following standards:
 - 1. Reverse vending Machines. Reverse vending machine(s) shall be allowed in all commercial and manufacturing zoning districts, subject to compliance with the following standards:
 - a. Machines shall be installed as an accessory use in compliance with the applicable provisions of this development code, and shall not require additional parking;
 - b. If located inside of a structure, it shall be within thirty (30) feet of the entrance and shall not obstruct pedestrian circulation;
 - c. If located outside of a structure, shall not occupy required parking spaces, and shall be constructed of durable waterproof and rustproof material(s);
 - d. Shall not exceed fifty (50) square feet for each installation, including ally protective enclosure, nor eight feet in height;
 - e. Shall have a maximum sign area of four square feet for each machine, exclusive of operating instructions;
 - f. Shall have operating hours which are consistent with the operating hours of the main use; and
 - g. Shall be illuminated to ensure comfortable and safe operation if operating hours are between dusk and dawn, in compliance with Section 16.18.100 (Lighting).
 - 2. Small Collection Facilities. Small collection facilities are allowed only in compliance with Article II (Zoning Districts and Allowable Land Uses) provided the following standards are met.
 - a. Shall not exceed an area of five hundred (500) square feet nor five parking spaces, not including space that will be periodically needed for the removal of materials or exchange of containers;
 - b. Shall be set back at least fifteen feet from any public right-of-way, and not obstruct pedestrian or vehicular circulation;
 - c. Shall accept only glass, metal or plastic containers, paper, and reusable items;
 - d. Shall not use power-driven processing equipment except for reverse vending machines:
 - e. Shall use containers that are constructed with durable waterproof and rustproof material(s), secured from unauthorized removal of material, and shall be of a capacity sufficient to accommodate materials collected and the collection schedule;
 - f. Shall not be located within fifty (50) feet of any parcel zoned or occupied for residential use;
 - g. Collection containers and site fencing shall be of a color and design to be compatible and harmonious with the surrounding uses and neighborhood;
 - h. Signs may be provided as follows:

- 1) Recycling facilities may have identification signs with a maximum area of fifteen (15) percent for each side of the structure or twelve (12) square feet, whichever is greater. In the case of a wheeled facility, the side shall be measured from the ground to the top of the container;
- 2) Signs shall be both compatible and harmonious with the character of their location; and
- 3) Directional signs, consistent with Chapter 16.38 (Signs) and without advertising message, may be installed with the approval of the director if found necessary to facilitate traffic circulation or if the facility is not visible from the public right-of-way.
- i. The facility shall not impair the landscaping required by Chapter 16.28 (Landscaping) for any concurrent use allowed by this development code;
- j. Additional parking spaces shall not be required for customers of a small collection facility located in the established parking lot of the main use. One space shall be provided for the attendant, if needed;
- k. Mobile recycling units shall have an area clearly marked to prohibit other vehicular parking during hours when the mobile unit is scheduled to be present;
- 1. Use of parking spaces by the facility and by the attendant shall not reduce available parking spaces below the minimum number required for the main use unless a parking study shows that existing capacity is not fully utilized during the time the recycling facility will be on the site; and
- m. Shall be subject to landscaping and/or screening as determined through development review.
- 3. Large Collection Facilities. A collection facility that is larger than <u>five three</u> hundred <u>fifty</u> (3500) square feet, or on a separate parcel not accessory to a main use, is allowed in the industrial zoning districts in compliance with Article II (Zoning Districts and Allowable Land Uses) provided the following standards are met.
 - a. The facility shall not abut a parcel zoned or occupied for residential use;
 - b. The facility shall be screened from public rights-of-way, by solid masonry walls or located within an enclosed structure;
 - c. Structure setbacks and landscaping shall be provided as required for the zoning district;
 - d. Exterior storage of material shall be in sturdy containers that are secured and maintained in good condition. Storage, excluding truck trailers, shall not be visible above the height of the required screen walls;
 - e. The site shall be maintained clean, sanitary and free of litter and any other undesirable materials, and will be cleaned of loose debris on a daily basis;
 - f. Containers provided for "after hours" donation of recyclable materials shall be permanently located at least one hundred (100) feet from any residential zoning district, constructed of sturdy, rustproof material(s), have sufficient capacity to accommodate materials collected, and be secured from unauthorized entry or removal of materials; and
 - g. Dust, fumes, odor, smoke or vibration, above ambient levels, shall not be detectable on adjoining parcels.
- 4. **Processing Facilities.** Processing facilities are allowed in the industrial zoning district subject to a conditional use permit and compliance with the following standards:
 - a. The facility shall not abut a parcel zoned or occupied for residential use;
 - b. Light processing facilities are limited to baling, briquetting, compacting, crushing, grinding, shredding, and sorting of source-separated recyclable materials and repairing of reusable materials;
 - c. A light processing facility shall not exceed forty-five thousand (45,000) square feet, may have up to an average of two outbound truck shipments of material each day, and shall not bale, compact, or shred ferrous metals other than beverage and food containers.
 - A heavy processor may exceed forty-five thousand (45,000) square feet and two outbound truck shipments each day, and may perform those functions not allowed at light processing facilities;
 - d. Exterior storage of material shall be in sturdy containers or enclosures that are maintained and secured in good condition. Outdoor storage shall be from public rights-of-way by solid masonry walls. Storage, excluding truck trailers, shall not be visible above the height of the required screen or walls:
 - e. Containers provided for "after hours" donation of recyclable materials shall be permanently located at least one hundred (100) feet from any residential zoning district, constructed of sturdy, rustproof material(s), have sufficient capacity to accommodate materials collected, and be secured from

- unauthorized entry or removal of the materials; and
- f. Dust, fumes, odor, smoke or vibration, above ambient levels, shall not be detectable on adjoining parcels.
- 5. Time Limits. Uses approved in compliance with this section shall have a maximum term established by the permit approval process. Before permit renewal, the director shall consider the permittee's history of compliance with the established conditions of approval, as well as all applicable provisions of this development code.
- C. General Standards. Recycling facilities shall comply with the following standards:
 - 1. Signs. Facilities shall be provided with identification and informational signs that meet the standards of the applicable zoning district:
 - a. Collection containers and reverse vending machines shall be clearly marked to identify the type of
 material which may be deposited, and display a notice stating that discarded material shall not be
 left outside of the recycling enclosure or machine; and
 - b. The facility shall be clearly marked to identify the name and telephone number of the operator and the hours of operation.
 - c. Additional identification and directional signs without an advertising message may be installed with the approval of the director, if necessary to facilitate traffic circulation.
 - 2. Refuse Disposal. The facility shall maintain adequate on-site refuse containers for the disposal of nonrecyclable and nonhazardous waste materials.

(Ord. 392 § 3, 2007; Ord. 182 § 2 (part), 1997)

16.52 Conditional Use Permits

Sections:

16.52.010	Purpose.
16.52.020	Authority and Applicability.
16.52.030	Submittal and Review Requirements
16.52.040	Findings and Decision.
16.52.050	Conditions.
16.52.060	Post Approval Procedures.

16.52.010 Purpose.

The purpose of this chapter is to provide a process for reviewing conditional use permit applications which are intended to allow the establishment of uses which are deemed to have some special impact, uniqueness, or effect on the neighborhood surrounding the subject site. The permit application process allows for the review of the location and design of the proposed use, configuration of improvements, potential impact(s) on the surrounding neighborhood, and to ensure that development in each zoning district protects the integrity of that district. At the time of an application for a conditional use permit, a review of the location, design configuration, and potential impact(s) of the proposed project shall be conducted by comparing the project to established standards. This review shall determine whether the proposed use should be allowed by weighing the public need for and the benefit to be derived from the use against any adverse impact(s) it may cause. (Ord. 182 § 2 (part), 1997)

16.52.020 Authority and Applicability.

- A. Review Authority. Conditional use permits may be granted in compliance with the following:
 - 1. Commission. The commission may grant conditional use permits for any use listed in Article II (Zoning Districts and Allowable Land Uses) as requiring a conditional use permit; and
 - 2. **Director.** The director may grant minor conditional use permits, in compliance with subsection B of this section, subject to the appeal provisions of Chapter 16.78, or may refer the application to the commission.
- B. Minor Conditional Use Permits. Minor conditional use permits may be granted for only the following land use activities, in addition to those listed in Article II (Zoning Districts and Allowable Land Uses) or Article III (Site Planning and General Development Standards) as requiring a minor conditional use permit:
 - 1. Alcoholic Beverage Sales. Alcoholic beverage sales for on-site consumption pursuant to the standards set forth in Section 16.44.030 (Alcoholic Beverage Sales);
 - 2. Bulk Vending Machines and Small Collection Facilities. Pursuant to the standards set forth in Section 16.44.140 (Recycling Facilities);
 - 3. Hazardous Materials Storage. Storage of hazardous materials in conjunction with an on-site primary use where quantities are in excess of the threshold specified in the uniform building code pursuant to Section 16.18.070 (Hazardous Materials Storage);
 - 4. Indoor Commercial Recreation. Indoor recreation facilities including amusement centers, game arcades, pool/billiard rooms, and similar uses as determined by the director, but not including cyber cafes as defined in Section 5.14.010;
 - 4.5. Indoor Vehicle Sales. The sale of vehicles conducted entirely within a building:
 - 5.6. Outdoor Display and Storage. Permanent area(s) for the outdoor display and sale of merchandise pursuant to the standards set forth in Section 16.44.120 (Outdoor Display and

Sales Standards) and permanent area(s) for outside storage pursuant to the standards set forth in Sections 16.44.120 (Outdoor Display and Sales Standards) and 16.44.130 (Outdoor Storage);

- 6.7. Outdoor Dining and Seating. Pursuant to the standards set forth in Section 16.44.120C (Outdoor Dining and Seating Areas);
- **Wireless Communications Facilities.** Pursuant to the standards set forth in Section 16.44.170 (Telecommunication Facilities); and
- 8.9. Non-commercial Wind Energy Conversion System. Pursuant to the standards set forth in Section 16.44.220 (Non-Commercial Wind Energy Conversion Systems); and
- 9.10. Residential Wedding/Event Facilities. Pursuant to the standards set forth in Section 16.44.230 (Residential Wedding/Event Facilities). (Ord. 486-14 § 2,2014; Ord. 430-10 § 7, 2010; Ord. 427-09 § 5, 2009; Ord. 412 § 5, 2008; Ord. 408 § 3, 2008; Ord. 293 § 1 (part), 2004; Ord. 227 § 2 (part), 2000; Ord. 182 § 2 (part), 1997)

16.52.030 Submittal and Review Requirements.

- A. Applications. Applications for conditional use permits shall be filed in compliance with Chapter 16.48 (Application Filing, Processing, and Fees).
- B. Information. Information based on the handout provided by the department.

(Ord. 412 § 6, 2008; Ord. 182 § 2 (part), 1997)

16.52.040 Findings and Decision.

Following a review of the application and public hearing in compliance with Chapter 16.76, the applicable review authority shall act to approve approve with conditions, or disapprove the conditional use permit. The review authority may approve a conditional use permit only if all of the following findings of fact can be made in a positive manner:

- A. The proposed use is conditionally allowed within, and would not impair the integrity and character of, the subject zoning district and complies with all applicable provisions of this development code;
- **B.** The proposed use is consistent with the objectives, policies, general land uses, and programs of the general plan, and any applicable specific plan;
- C. The approval of the conditional use permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and there will be no potentially significant negative impacts upon environmental quality and natural resources that could not be properly mitigated and monitored;
- D. The site is suitable for the type and intensity of use or development that is proposed;
- E. There are adequate provisions for sanitation, water, and public utilities and services to ensure public convenience, health, safety, and general welfare; and
- **F.** The proposed use would not create significant noise, traffic, or other conditions or situations that may be objectionable or detrimental to other allowed uses in the vicinity or adverse to the public convenience, health, safety, or general welfare, or materially injurious to properties and improvements in the vicinity of the subject property.

(Ord. 182 § 2 (part), 1997)

16.52.050 Conditions.

In approving a conditional use permit, the applicable review authority may impose specific locational,

developmental, and operational conditions relating to both on- and off-site improvements (e.g., dedications, easements, public improvements, etc.), as it finds are reasonable and necessary to ensure that the use and development of the property conform with the site plan, architectural drawings, and statements submitted in support of the application or with modifications that would be deemed necessary to protect the public convenience, health, safety, and general welfare. Additionally, the conditions shall ensure compliance with the objectives of the general plan and any applicable specific plan, the findings required by Section 16.52.040 (Findings and Decision), above, this development code, and to carry out the purpose and requirements of the respective zoning district. (Ord. 182 § 2 (part), 1997)

16.52.060 Post Approval Procedures.

The following procedures, in addition to those identified in Chapter 16.80 (Permit Implementation, Time Limits, and Extensions), shall apply following the approval of a conditional use permit:

- A. Appeals. The decision of the review authority shall be considered final unless an appeal is filed in compliance with Chapter 16.78 (Appeals).
- B. Expiration/Extension. To ensure continued compliance with the provisions of this development code, each approved conditional use permit shall expire two three (3) years from the date of approval, unless a permit has been issued or construction of the project is substantially completed before its expiration, in compliance with Chapter 16.80 (Permit Implementation, Time Limits, and Extensions). Time extensions may be granted in compliance with Section 16.80.060 (Time Extension), if a written request is submitted by the applicant, and received by the department, prior to the expiration of the conditional use permit. If the use granted by the conditional use permit has not been exercised before its expiration, and a time extension is not granted, the provisions of Chapter 16.80 (Permit Implementation, Time Limits, and Extensions) shall deem the permit void.
- C. Issuance of a Zoning Clearance. A zoning clearance may be issued once all applicable terms and conditions of the approved conditional use permit have been satisfied.
- D. Changes. Minor changes to required conditions of an approved conditional use permit may be approved in compliance with Section 16.80.070 (Changes to an Approved Project).
- E. Performance Guarantee. The applicant/owner may be required to provide adequate performance security for the faithful performance of any/all conditions of approval imposed as part of the approved conditional use permit.

F. Suspension/Revocation.

- 1. Issuance of Order. Upon a showing of probable cause by code enforcement staff of a violation of this chapter or the conditions of operations by a conditional use permit holder, the director may issue an order suspending the conditional use permit pending a hearing before the commission. The director shall cause notice of the suspension order to be served on the permit holder by first-class U.S. mail and by posting the subject property.
- 2. Notice of Violation/Public Hearing. Whenever the director suspects a violation of the conditions of operations by a conditional use permit holder, the director shall notify the permit holder and specify how the violation(s) can be remedied and the time frame within which the violations must be corrected. If the permit holder has not remedied the violation(s) in the required time frame, the director may schedule a public hearing to consider the revocation of a conditional use permit to be held by the commission in compliance with Chapter 16.82 (Revocations and Modifications). Notice of the hearing shall be mailed to the permit holder, any party complaining of the violation and to all adjoining residents and property owners.
- 3. Commission's Action. At the conclusions of the hearing, the commission may revoke or modify the conditional use permit, in compliance with Chapter 16.82, or order the termination of the suspension or revocation and order the reinstatement of the permit. The decision of the

commission may be appealed to the council, in compliance with Chapter 16.78 (Appeals).

- G. Run With the Land. The conditional use permit that is valid and in effect, and was granted in compliance with the provisions of this chapter, shall run with the land and continue to be valid upon a change of ownership of the land or any lawfully existing structure on the land.
- H. Expiration of Permit. A conditional use permit shall be considered to have expired if the use for which the permit was granted ceased or was suspended for at least one hundred eighty (180) successive days.

(Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.56 Development Plan Permits

Sections:

16.56.010	Purpose.
16.56.020	Authority and Applicability.
16.56.030	Submittal and Review Requirements
16.56.040	Findings and Decision.
16.56.050	Conditions.
16.56.060	Post Approval Procedures.

16.56.010 Purpose.

The purpose of this chapter is to provide a process for reviewing development plan permit applications which are intended to protect the integrity and character of the residential, commercial, and industrial areas of the city, through the application of this chapter consistent with the general plan. At the time of application submittal a review of configuration, design, location, and impact of the proposed use shall be conducted by comparing the use to established standards and design guidelines. This review shall determine whether the permit should be approved by weighing the public need for and the benefits to be derived from the use against the impacts it may cause. (Ord. 182 § 2 (part), 1997)

16.56.020 Authority and Applicability.

- A. Administrative Review by the Director Without a Public Hearing. Administrative development plan review is required for the following:
 - Accessory Dwelling Units. An attached or detached residential dwelling unit on a lot with an
 existing single-family residence that provides complete independent living facilities for one or
 more persons.
 - 1.2. Accessory Structures. New residential accessory structures or additions, pursuant to the standards set forth in Chapter 16.08 (Residential Districts) that result in an increase of more than twenty-five (25) percent of the floor area of the existing structure or five hundred (500) square feet, whichever is less;
 - 2.3. CEQA Exemptions. Development plans that are exempt from the CEQA process;
 - 3.4. Comprehensive Signs Programs. New and revised comprehensive sign programs pursuant to the standards in Chapter 16.38 (Sign Standards);
 - 4.5. Dwelling Units. Residential construction projects of two (2) to four (4) dwelling units on one (1) parcel, unless otherwise specified in this development code, and in accordance with Chapter 16.08 (Residential Districts):
 - 5.6. Model Home Complex. Temporary model homes and real estate sales offices, to be used solely for the first sales of homes;
 - 6.7. Parking Lots. New construction or expansion of parking lots pursuant to the standards in Chapter 16.34 (Off-Street Parking and Loading Standards);
 - 7.8. Relocation of a Structure. The movement or relocation of any structure, including factory-built or manufactured housing, to any parcel within the city, subject to the standards of the zoning district of the destination site and the issuance of any required transportation permits;
 - 8.9. Residential Development Site Plan. Site and design plans for units on individual parcels in a single-family residential subdivision pursuant to the standards in Chapter 16.56 (Development Plan Permits);

- 9-10. Satellite Dishes. Construction and/or placement of a satellite dish or dishes pursuant to the standards in Section 16.44.170A (Satellite Dishes):
- 10.11. Substantial Conformance. Pursuant to the standards set forth in Section 16.80.070 (Changes to an Approved Project); and
- 11.12. Tree Removal Permits. Removal of existing protected trees pursuant to the standards in Chapter 16.42 (Tree Preservation).

All of the above actions by the director are subject to appeal to the commission. For projects that may have special community impacts or other unique circumstances, the director may refer the application to the commission for consideration.

B. Review by the Director with a Public Hearing. The director shall have the authority to approve, conditionally approve, or disapprove projects that involve new structures that require an action under CEQA in compliance with Article II (Zoning Districts and Allowable Land Uses). The director shall schedule a public hearing in compliance with Chapter 16.76.

All decisions of the director are subject to appeal to the commission in compliance with Chapter 16.78. For projects that may have special community impacts or other unique circumstances, the director may refer the application to the commission for consideration.

(Ord. 430-10 § 8, 2010; Ord. 427-09 § 6, 2009; Ord. 182 § 2 (part), 1997)

16.56.030 Submittal and Review Requirements.

Development plan permit applications shall contain the following:

- A. Completed planning application form and required fee; and
- **B.** Information based on the handout provided by the department. (Ord. 182 § 2 (part), 1997)

16.56.040 Findings and Decision.

Following a review of the application and public hearing in compliance with Chapter 16.76, the director shall act to approve, approve with conditions, or disapprove the development plan permit. The director may approve a development plan permit only if all of the following findings of fact can be made in a positive manner:

- A. The proposed use is allowed within the subject zoning district and complies with all applicable provisions of this development code;
- **B.** The proposed use would be consistent with the objectives, policies, general land uses, and programs of the general plan and any applicable specific plan;
- C. The approval of the development plan permit for the proposed use is in compliance with the requirements of the California Environmental Quality Act (CEQA) and there would be no potentially significant negative impacts upon environmental quality and natural resources that could not be properly mitigated and monitored;
- **D.** The location, size, design, and operating characteristics of the proposed use would be compatible with existing land uses within the general area in which the proposed use is to be located;
- E. The subject site is physically suitable for the type and density/intensity of the use being proposed; and
- F. There are adequate provisions for public access, water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to the public convenience, health, safety, or general welfare. (Ord. 182 § 2 (part), 1997)

16.56.050 Conditions.

In approving a development plan permit, the director may impose specific development conditions relating to both on- and off-site improvements (e.g., dedications, easements, public improvements, etc.), as it finds are reasonable and necessary to ensure that the approval would be in compliance with the findings required by Section 16.56.040 (Findings and Decision), above, and to carry out the purpose and requirements of the respective zoning district. (Ord. 182 § 2 (part), 1997)

16.56.060 Post Approval Procedures.

The following procedures, in addition to those identified in Chapter 16.80 (Permit Implementation, Time Limits, and Extensions), shall apply following the approval of a development plan permit:

- A. Appeals. The decision of the review authority shall be considered final unless an appeal is filed in compliance with Chapter 16.78 (Appeals).
- B. Expiration/Extension. To ensure continued compliance with the provisions of this development code, each approved development plan permit shall expire three (3)two years from the date of approval, unless otherwise specified in the permit, if the use granted by the permit has not been substantially constructed or a building permit issued before its expiration, in compliance with Section 16.80.040 (Permit Implementation). Time extensions may be granted in compliance with Section 16.80.060 (Time Extensions), if a written request is submitted by the applicant, and received by the department, prior to the expiration of the development plan permit. If the use granted by the development plan permit has not been substantially constructed or a building permit issued before its expiration, and a time extension is not granted, the provisions of Chapter 16.80 (Permit Implementation, Time Limits, and Extensions) shall deem the permit void.
- C. Issuance of a Zoning Clearance. A zoning clearance may be issued once all applicable terms and conditions of the approved development plan permit have been satisfied.
- D. Changes. Minor changes to required conditions of an approved development plan permit may be approved in compliance with Section 16.80.070 (Changes to an Approved Project).
- E. Performance Guarantee. The applicant/owner may be required to provide adequate performance security for the faithful performance of any/all conditions of approval imposed as part of the approved development plan permit.
- F. Suspension/Revocation.
 - 1. Issuance of Order. Upon a showing of probable cause by code enforcement officer of a violation of this chapter or the conditions of operations by a development plan permit holder, the director may issue an order suspending the development plan permit pending a hearing before the commission. The director shall cause notice of the suspension order to be served on the permit holder by first-class U.S. mail and by posting the subject property.
 - 2. Public Hearing. Whenever the director has issued a suspension order, or whenever the director suspects a violation but the requisite showing has not been made, the director shall schedule a public hearing to consider the revocation of a development plan permit to be held by the commission within forty-five (45) days of the notice, in compliance with Chapter 16.82 (Revocations and Modifications). Notice of the hearing shall be mailed to the permit holder, any party complaining of the violation, and to all adjoining residents and property owners.
 - 3. Commission's Action. At the conclusions of the hearing, the commission may revoke or modify the development plan permit, in compliance with Chapter 16.82, or order the termination of the suspension or revocation and order the reinstatement of the permit. The decision of the commission may be appealed to the council, in compliance with Chapter 16.78 (Appeals).
- G. Run With the Land. The development plan permit that is valid and in effect, and was granted in

compliance with the provisions of this chapter, shall run with the land and continue to be valid upon a change of ownership of the land or any lawfully existing structure on the land. (Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.80 Permit Implementation, Time Limits, and Extensions

Sections:

16.80.010	Purpose.
16.80.020	Applications Deemed Approved.
16.80.030	Performance Guarantees.
16.80.040	Permit Implementation—Commencement of Use.
16.80.050	Expiration.
16.80.060	Time Extensions.
16.80.070	Changes to an Approved Project.
16.80.080	Resubmittals.
16.80.090	Covenants for Easement.
	16.80.030 16.80.040 16.80.050 16.80.060 16.80.070 16.80.080

16.80.010 Purpose.

This chapter provides requirements for the implementation or "exercising" of the permits/entitlements specified by this development code, including time limits and procedures for granting extensions of time.

(Ord. 182 § 2 (part), 1997)

16.80.020 Applications Deemed Approved.

A permit application deemed approved in compliance with state law (Government Code 65956) shall be subject to all applicable provisions of this development code, which shall be satisfied by the applicant before a building permit is issued or a land use not requiring a building permit is established. (Ord. 182 § 2 (part), 1997)

16.80.030 Performance Guarantees.

A permit applicant may be required by conditions of approval or by action of the director to provide adequate security to guarantee the faithful performance of any or all conditions of approval imposed by the review authority. The director, in concert with the chief building official or city engineer, as applicable, shall be responsible for setting the amount of the required security. (Ord. 182 § 2 (part), 1997)

16.80.040 Permit Implementation—Commencement of Use.

Any approved permit/entitlement shall be exercised before its expiration. The permit/entitlement shall not be deemed exercised until the permittee has actually obtained a building permit and continuous on-site construction activity including pouring of foundations, installation of utilities, or other similar substantial improvements has commenced and diligently continued without stopping for more than one hundred eighty (180) days, or has actually implemented the allowed land use, in its entirety, on the subject property in compliance with the conditions of approval. (Ord. 182 § 2 (part), 1997)

16.80.050 Expiration.

- A. Projects Not Subject to the Subdivision Map Act. Unless otherwise specified, all permits, entitlements, licenses and approvals for projects not subject to the subdivision map act shall comply with the following provisions:
 - 1. Commencement. To ensure continued compliance with the provisions of this development code, the permit/entitlement shall be exercised within two years from the date of approval, or the permit/entitlement shall expire and be deemed void, unless an extension is approved by the original review authority, in compliance with Section 16.80.060, below. Additionally, if after construction commencement work is discontinued for a minimum period of one hundred eighty (180) days, the permit/entitlement shall expire and be deemed void. If the application for the permit/entitlement also involves the approval of a tentative map, the date of construction commencement shall be consistent with the tentative map and the permit/entitlement shall be exercised before the expiration of the companion tentative map.

2. Phasing.

- a. Two or More Phases. Subsequent to project approval, if phasing is requested, a phasing plan application shall be submitted and approved for the phasing plan for the entire project site by the director.
- b. Commencement for Each Phase. If a project is to be built in pre-approved phases, each subsequent phase shall have two years from the previous phase's date of construction commencement to the next phase's date of construction commencement to have occurred, unless otherwise specified in the permit/entitlement, or the permit/entitlement shall expire and be deemed void. If the application for the permit/entitlement also involves the approval of a tentative map, the phasing shall be consistent with the tentative map and the permit/entitlement shall be exercised before the expiration of the companion tentative map.

B. Repealed by Ordinance 293.

- C. Permit, Entitlement, or Map Deemed Void. Where the permit, entitlement, or map has expired and/or has been deemed void:
 - 1. No Further Action. No further action is required by the city;
 - 2. No Further Reliance. No further reliance may be placed on the previously approved permit, entitlement, or map;
 - 3. No Rights. The applicant shall have no rights previously granted under the permit, entitlement, or map;
 - 4. New Application(s) Required. The applicant shall file a new application(s) and obtain all required approvals before construction can commence or an allowable use may be implemented; and
 - 5. Security. Any security provided by the applicant under the previously approved permit, entitlement, or map may be utilized by the city to provide suitable protection from any harm that may result from the terminated development.

(Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.80.060 Time Extensions.

A. Extensions of Permit/Entitlement.

1. Written Request. The applicant shall file a written request for an extension of time, prior to the expiration of the permit/entitlement, together with the filing fee required by the council's fee resolution. The burden of proof is on the permittee to establish, with substantial evidence, why the permit/entitlement should be extended.

- 2. Notice on Extension. If the matter originally required a noticed public hearing, the director shall pro-vide notice, in compliance with Section 16.76.020 (Notice of Public Hearing).
- 3. Director's Decision on Extension. Upon good cause shown, the extension may be approved, approved with modifications, or disapproved by the director, whose decision may be appealed to the commission, in compliance with Chapter 16.78 (Appeals).
- **4. Time Limits on Extensions.** The maximum number of years that a permit/entitlement may be extended, in one-year increments, may not exceed a total of three additional years beyond the expiration date of the original approval unless otherwise allowed by law. The maximum number of years that a permit/entitlement may be extended shall not exceed six (6) years form the original expiration date of the permit/entitlement unless otherwise allowed by law. Each extension of time granted shall not exceed (3) years. For permits/entitlements approved and which have not expired prior to the adoption of this ordinance (Enter Ordinance No.), an additional extension may be granted provided the extension does not cause the permit/entitlement to exceed six (9) years from the original approval date of the permit/entitlement.
- 5. Circumstances Under Which Extension(s) May be Granted. An extension of the approval of a permit/entitlement may be granted only if the director finds that there have been no significant changes in the general plan, any applicable specific plan, development code, municipal code, or character of the area within which the subject property is located that would cause the approved permit/entitlement to be injurious to the public convenience, health, safety, or general welfare.

(Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.80.070 Changes to an Approved Project.

A development or new land use authorized through approval of a land use entitlement permit shall be established only as approved by the review authority and subject to any conditions of approval, except where changes to the project are approved in compliance with this section. Changes may be requested either before or after construction, or establishment and operation of the approved use.

A change under this section is a request for a determination of substantial conformance with an approved permit, in compliance with the following:

- A. Applications. Applications for substantial conformance shall be filed in writing with the director, accompanied by the fee(s) established by the council's fee resolution, and shall include the following:
 - 1. All information identified in this development code for the filing of a new application for the permit sought to be modified, unless the requirement is waived by the director;
 - 2. A statement explaining the proposed modification(s) and the reason the modification(s) has been requested; and
 - 34. Additional information required by the director.
- B. Substantial Conformance to an Approved Permit. A substantial conformance is a request for a minor modification to an approved permit that does not substantially change the original approval or the effect of the permit on surrounding property. A substantial conformance is limited to the following:
 - 1. Changes to conditions(s) of approval that do not circumvent the purpose and intent of the original condition(s).
 - 2. Minor modifications to architectural features, colors, materials, or structural alterations that do not change the basic architectural concept.
 - 3. Minor modifications to site plans, landscaping plans, lighting plans, that do not change the basic concept of the plans, including:
 - a. Reorientation of buildings;
 - b. Relocation, deletion, or addition of access driveways;
 - c. Modifications to on-site circulation that do not affect adjacent properties; and

- **d.** Relocation, deletion, or addition of ancillary structures (e.g., trash enclosures, mechanical equipment or other similar structures).
- 4. Changes that are within the scope of a previously adopted negative declaration or environmental impact report in compliance with California Environmental Quality Act guidelines Section 15162.
- 5. Changes in use that the director determines are substantially the same in character and intensity as the original use, and are within the thresholds described above.
- **6.** Other minor modifications, not identified above, that the director determines are similar to those de-scribed above.
- C. Revised Permit. A revised permit is required when the change(s) does not meet or exceeds the thresholds/criteria described above.

D. Procedure.

- 1. Substantial Conformance. The director shall approve, or deny an application for a substantial conformance within forty-five (45) days after accepting a completed application and give notice by mail of the decision, including any additional conditions of approval, to the applicant and any other person(s) who has filed a written required for notice. The director's determination shall be based upon the standards of this section and those standards identified in this development code for the approval of the original permit. An application for substantial conformance shall not require a public hearing.
- 2. Revised Permit. An application for a revised permit shall be approved, conditionally approved, or disapproved in compliance with the procedures for processing the original permit, including any requirements for notice of hearing, public hearing, and all rights of appeal, in compliance with Chapter 16.78 (Appeals). A revised permit shall be subject to the development standards applicable to approval of the original permit.
- E. Approval Period. The approval of an application for a substantial conformance or a revised permit shall be valid until the expiration of the original permit, unless an extension of time has been granted by the approved revised permit.
- F. California Environmental Quality Act. An application for substantial conformance may be approved only if the proposed modification is exempt from the provisions of the California Environmental Quality Act (CEQA).

(Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.80.080 Resubmittals.

A. Reapplication.

- 1. Disapproved with Prejudice.
 - a. An application or appeal may be disapproved with prejudice on the grounds that two or more similar applications have been disapproved in the past two years or, that another cause exists for limiting the refilling of the application.
 - b. If the disapproval becomes final, no further application for the same or substantially similar discretionary permit/entitlement for the same parcel shall be filed for a period of one year, except as otherwise specified at the time of disapproval.
 - c. The director shall determine whether the new application is for a discretionary permit/entitlement which is the same or substantially similar to the previously disapproved permit/entitlement.
- 2. Disapproved Without Prejudice. There shall be no limitation on refilling a project disapproved without prejudice.
- **B.** Modification of Condition(s). No request for modifications of a condition of approval relating to any fee, exaction, or dedication of property imposed on a permit/entitlement shall be accepted after the final decision on the permit/entitlement unless accompanied by a significant change in the size or intensity of the proposed project.

(Ord. 182 § 2 (part), 1997)

16.80.090 Covenants for Easement.

- A. Covenant May be Required. When necessary to achieve the land use goals of the city, the city may require a property owner(s) holding property in common ownership to execute and record a covenant of easement in favor of the city and providing for parking access. ingress, egress, emergency access. drainage, light and air access, landscaping, utilities, or for open space. The covenant may be imposed as a condition of approval by the director, commission, or council, in compliance with state law (Government Code Section 65870).
- **B.** Form of Covenant. The covenant of easement shall describe the real property to be subject to the easement and the real property to be benefitted by the easement. The covenant shall also identify the approval or permit/entitlement granted which relied on or required the covenant. The form of the covenant shall be approved by the city attorney. The plat and legal description shall be prepared by a California registered civil engineer or land surveyor.
- C. Effect of Covenant. The covenant shall be effective when recorded and shall act as an easement in compliance with state law (Chapter 3 [commencing with Section 801] of Title 2 of Part 2 of Division 2 of the Civil Code), except that it shall not merge into any other interest in the real property. Section 1104 of the Civil Code shall be applicable to the conveyance of the affected real property.
- **D.** Release of Covenant. The covenant may be released by the city, at the request of any person, including the city or an affected property owner and after a public hearing, on a determination that the restriction on the property is no longer necessary to achieve the land use goals of the city. The release may be effected by the review authority which originally imposed the requirement for the covenant. A notice of the release of the covenant shall be recorded by the city with the county recorder's office.
- E. Fees. The city may impose fees to recover the city's reasonable cost of processing a request for a release. Fees for the processing shall be specified in the council's fee resolution. (Ord. 182 § 2 (part). 1997)

16.94 Tentative Maps

Sections:

16.94.010	Purpose.
16.94.020	Application.
16.94.030	Content and Form.
16.94.040	Accompanying Data and Reports.
16.94.050	Application Filing and Department Review.
16.94.060	Environmental Subdivisions.
16.94.070	Extension of Time for Acting on Map.
16.94.080	Planning Director or Commission Determination.
16.94.090	Expiration.
16.94.100	Extensions.
16.94.110	Amendments.
16.94.120	Judicial Review.
16.94.130	Indemnification.
	16.94.030 16.94.040 16.94.050 16.94.060 16.94.070 16.94.080 16.94.100 16.94.110 16.94.120

16.94.010 Purpose.

The purpose of this chapter is to specify the content, form and review procedures required for the approval of tentative (tract/parcel) maps, including environmental subdivisions, in compliance with state law (Government Code Section 66418.2) and the provisions of this article. (Ord. 182 § 2 (part), 1997)

16.94.020 Application.

An application for a tentative map, filed in compliance with this chapter, shall not be accepted for filing until the subdivision has been determined by the department to be generally consistent with the general plan, any applicable specific plans or master development plans, and this development code. Additionally, all required discretionary city approvals shall have been previously obtained or applications for same shall be filed concurrently with the tentative map, in compliance with the city's rules and procedures for implementation of CEQA. (Ord. 182 § 2 (part), 1997)

16.94.030 Content and Form.

The tentative map shall be prepared in a manner acceptable to the department by a registered civil engineer or licensed land surveyor. The tentative map shall be clearly and legibly drawn and shall contain all of the information identified in the department's submittal requirements for tentative maps, in effect at the time the application is filed.

(Ord. 182 § 2 (part), 1997)

16.94.040 Accompanying Data and Reports.

The tentative map shall contain all of the data and reports identified in the department's submittal requirements for tentative maps, in effect at the time the application is filed. (Ord. 182 § 2 (part), 1997)

16.94.050 Application Filing and Department Review.

- A. Pre-Application Conference. Before submitting a tentative map application, the prospective subdivider, or agent, is strongly encouraged to request a pre-application conference with the department to obtain information and guidance pertaining to city requirements before preparing maps, surveys, and other required data. Neither the pre-application review nor the provision of available information and/or pertinent policies shall be construed as a recommendation for approval or disapproval by the city representative(s). A fee may be imposed for the pre-application conference, as contained in the council's fee resolution, in compliance with Chapter 16.48 (Application Filing, Fees).
- B. Determination of Completeness. The tentative map application shall be filed with the department. The application shall be determined by the department to be complete only when the content and form of the tentative map conform to the requirements of Section 16.94.030, and all fees and/or deposits, in compliance with Chapter 16.48 (Application Filing, Fees), have been submitted and accepted by the department. The subdivider shall file, with the department, the number of tentative maps the department deems necessary.
- C. Notice to Public Agencies. The department shall forward copies of the tentative map to the affected public agencies and utilities which may, in turn, forward to the department their findings and recommendations. Public agencies and utilities shall certify that the proposed subdivision can be adequately served.
- **D.** Notice of Filing. Within ten days of the filing of a complete tentative map application, the department shall send a notice of the filing of the application to the affected school district, in compliance with state law.

(Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.94.060 Environmental Subdivisions.

An application for an environmental subdivision (for biotic and wildlife purposes) shall be submitted in a manner acceptable to the department, in compliance with state law (Government Code Section 66418.2) and this development code.

(Ord. 182 § 2 (part), 1997)

16.94.070 Extension of Time for Acting on Map.

- A. Director's Determination. At the time an application is filed with the department, the director shall deter-mine whether or not the department is able to meet the required time limits for reporting and acting upon the application.
- B. Extensions. Applicable time limits for acting on the tentative map application may be extended by mutual written consent of the subdivider and the city, in compliance with state law.
- C. Waiver. A waiver of application time limits may be required by the department to permit concurrent processing of related project approvals or an environmental review on the same development project.

(Ord. 182 § 2 (part), 1997)

16.94.080 Planning Director or Commission Determination.

A. Notice of Public Hearings. Upon receipt of a complete tentative map application, the department shall prepare a written report with recommendations. The department shall schedule the matter for a public hearing before the Planning Director for residential parcel maps and the Planning Commission for tract maps and commercial/industrial parcel maps, in compliance with Chapter 15.76 (Public

- Hearings). A copy of the department report shall be provided to the subdivider at least three days before the public hearing at the address designated on the application.
- **B.** Action. The Director or Commission shall approve, conditionally approve, or disapprove the tentative map within the time limits identified in state law after the tentative map application has been determined by the department to be complete.
- C. No Action. If not action is taken upon a tentative map by the director or Commission to approve, conditionally approve, or disapprove the tentative map, or by the council, within the time limits identified in state law, or an authorized extension thereof, the tentative map as filed shall be deemed to be approved, insofar as it complies with other applicable requirements of state law and this development code. The city clerk shall certify the approval, in compliance with state law (Government Code Section 66452.4).

D. Findings.

- 1. Approval. The tentative map may be approved or conditionally approved by the director or commission if it finds that the proposed subdivision, together with the provisions for its design and improvements are in conformance with the general plan, any applicable specific plan or master development plan, and all applicable provisions of this development code.
- 2. Disapproval. The tentative map may be disapproved by the director or commission based on any of the findings contained in the subdivision map act or this development code. The director or commission shall disapprove the tentative map if it makes any of the following mandatory findings of fact, in compliance with state law (Government Code Section 66474):
 - a. The proposed map, design or improvement is not consistent with the objectives, policies, general land uses, and programs of the general plan and any applicable specific plans, as specified by state law (Government Code Section 65451);
 - b. The site is not physically suitable for the type or density of development proposed;
 - c. The design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat;
 - d. The design of the subdivision or type of improvements is likely to cause serious public health problems; or
 - e. The design of the subdivision of the type of improvements would conflict with easements, acquired by the public at large for access through or use of property within the proposed subdivision.
- E. Payment of Fees. The director or commission may require as a condition of approval, that the payment by the subdivider of all development fees required to be paid at the time of the application for, or issuance of a building permit shall be made at the rate for applicable fees in effect at the time of the application or issuance of the building permit.

(Ord. 367 § 7 (part), 2006; Ord. 182 § 2 (part), 1997)

16.94.090 Expiration.

- A. Date of Expiration. The approval or conditional approval of a tentative map shall expire within the maximum initial time limits specified in the subdivision map act or three twenty-four (324) months years following the date the decision of approval is rendered by the director or commission, whichever is greater. However, the map may be extended if the subdivider has complied with state law. An extension to the expiration date may also be approved in compliance with Section 16.94.100 (Extensions—"Time Limit of Extensions").
- B. Stay of Time. The period of time outlined in Subsection A., above shall not include any period of time during which a lawsuit has been filed and is pending in a court of competent jurisdiction involving the approval or conditional approval of a tentative map only if a stay of the time period is approved by the council. After service of the initial petition or complaint upon the city, the subdivider shall. in

- writing to the director, request a stay in the time period of the tentative map. Within forty (40) days after receiving the request, the council shall either stay the time period for up to five years or disapprove the requested stay. The request for the stay shall be a hearing with notice to the subdivider and to the appellant, and upon conclusion of the hearing, the council shall render its decision.
- C. Development Moratorium. The period of time outlined in subsection A, above shall not include any period of time during which a development moratorium is in effect in compliance with state law (Government Code Section 66452.6).
- **D. Termination**. Expiration of an approved or conditionally approved tentative map shall terminate all proceedings and no final map or parcel map of all, or a portion, of the real property included within the tentative map shall be filed without first processing a new tentative map. (Ord. 367 § 7 (part), 2006; Ord. 182 § 2 (part), 1997)

16.94.100 Extensions.

- A. Request by Subdivider. The subdivider may request an extension of the expiration date of the approved or conditionally approved tentative map by written application to the department. The application shall be filed before the map is to expire and shall state the reasons for requesting the extension. The subdivider shall be solely responsible for filing the application.
- B. Director's Action. In approving, conditionally approving, or disapproving the request for extension, the di-rector shall make findings of fact in support of the decision.
- C. Conditions of Approval. In granting an extension, new conditions or exactions may be imposed and existing conditions may be revised, as deemed appropriate and necessary by the director, in order to support the findings identified in Section 16.94.080(D) (Findings) above.
- **D. Time Limit of Extensions.** The date on which the tentative map expires may be extended for a period not to exceed the maximum time limits specified in the subdivision map act. Each approved time extension shall be for a twelve (12) month period with no more than one extension approved in a year. The maximum number of years that a tentative map may be extended shall not exceed six (6) years from the original expiration date of the map unless otherwise specified in the subdivision map act. Each extension of time granted shall not exceed a total of three (3) years.
- E. Development Fees. The subdivider shall pay any increase in applicable development fees which have occurred since the original date of the approval or conditional approval of the tentative map. (Ord. 182 § 2 (part), 1997)

16.94.110 Amendments.

- **A.** Minor Amendments. Minor amendments to the approved tentative map or conditions of approval may be granted by the director upon written application by the subdivider or on the director's own initiative, provided:
 - 1. No Additions. Parcels, units, or building sites are not added;
 - 2. Consistent With Original Map. The proposed changes are consistent with the intent of the original tentative map approval; and
 - 3. No Violations. There are no resulting violations of the subdivision map act, or this development code. The amendment shall be indicated on the approved or conditionally approved tentative map and certified by the director.
- B. Major Amendments. Amendments to the tentative map or the conditions of approval which, in the opinion of the director. are not minor, shall be presented to the commission for its approval. Processing shall comply with the provisions for processing a new tentative map, in compliance with Section 16.94.050 (Application Filing and Department Review), above. An approved amendment shall not alter the expiration date of the tentative map.

(Ord. 182 § 2 (part), 1997)

16.94.120 Judicial Review.

An action or proceeding to annul, attack, review, set aside or void the decision of the city concerning a subdivision, or of any of the proceedings, acts or determinations taken, done or made before the decision, shall not be maintained by any person unless the action or proceeding is commenced and service of summons effected within ninety (90) days after the date of the decision, in compliance with state law (Government Code Section 66499.37). (Ord. 182 § 2 (part), 1997)

16.94.130 Indemnification.

The commission may require, as a condition of approval, that the subdivider defend, indemnify. and hold harm-less the city from any action, claim or proceeding brought against the city within the time period identified in Section 16.94.120 (Judicial Review) above, in compliance with state law (Government Code Section 66474.9).

(Ord. 182 § 2 (part), 1997)

16.110 Definitions

Sections:

16.110.010 Purpose of Chapter.

16.110.020 Definitions of Specialized Terms and Phrases.

16.110.010 Purpose of Chapter.

This chapter provides definitions of terms and phrases used in this development code that are technical or specialized, or that may not reflect common usage. If any of the definitions in this chapter conflict with definitions in other provisions of the municipal code, these definitions shall control for the purposes of this development code. If a word is not defined in this chapter, or other provisions of the municipal code, the most common dictionary definition is presumed to be correct. (Ord. 182 § 2 (part), 1997)

16.110.020 Definitions of Specialized Terms and Phrases.

A. Definitions, "A". The following definitions are in alphabetical order.

Accessory Dwelling Unit. An attached or detached residential dwelling on a residential lot with an existing single family residence that provides complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, eating, cooking and sanitation on the same parcel as the single family dwelling is situated. "Accessory Dwellin Unit" includes an "Efficiency Unit" as defined in Health and Safety Code Section 17952.1 and a "Manufactured Home" as defined in Health and Safety Code Section 18007.

Accessory Retail Uses. The retail sales of various products (including food) within a health care, hotel, office, or industrial complex for the purpose of serving employees or customers and not visible from public streets except if located in a hotel or Class A office. These uses shall be located within a primary use structure on the premises, and the aggregate size shall not exceed twenty-five percent (25%) of the gross floor area of the primary building or structure. Uses may include retail sales of various products (including food), restaurants, delis, coffee shops, health clubs, day care centers, printing shop, banks, pharmacies, gift shops and on-site maintenance.

Accessory Structure. A structure that is physically detached from, secondary and incidental to, and commonly associated with the primary structure. For the purposes of this development code, accessory structures and uses include: detached garages, greenhouses, artist's studios, and workshops; hot tubs, jacuzzis, spas, and swimming pools, together with any enclosures; and any other open air enclosures, including gazebos and detached patio covers.

Accessory Use. Except as otherwise defined or limited in this Development Code, a use of land or building, or a portion thereof, that is customarily incidental to, related to, and clearly subordinate to, an allowed primary use of the land or building on the same premises.

Adult Entertainment Businesses. See Section 16.44.020 (Adult Entertainment Businesses).

Agent. A person authorized in writing by the property owner to represent and act for a property owner in contacts with city employees, committees, commissions, and the council, regarding matters regulated by this development code.

Alcoholic Beverage Sales (Land Use). The retail sale of beer, wine, and/or other alcoholic beverages for on-or off-premise consumption.

Alley. A public or private roadway, generally not more than thirty (30) feet wide that provides vehicle access to the rear or side of parcels having other public street frontage, that is not intended for general traffic circulation.

Allowed Use. A use of land identified by Article H (Zoning Districts and Allowable Land Uses) as a permitted or conditional use that may be established with land use permit and, where applicable, site plan and site plan and design review and/or building permit approval, subject to compliance with all applicable provisions of this development code.

Alteration. Any construction or physical change in the internal arrangement of rooms or the supporting members of a structure, or a change in the external appearance of any structure, not including painting. Amenity. In conjunction with a development project, any or all of the following, proposed and provided by a project applicant in excess of the minimum requirements of this development code: permanent open space and landscaping; public art; recreational facilities; on-site child day care facilities, etc.

Animal Keeping. The keeping or raising of farm animals (including cattle, goats, horses, sheep, swine (including pot bellied pigs)), fowl, poultry, and other animals not commonly regarded as household pets. Does not include cats, dogs, and other typical household pets.

Approval. Includes both approval and approval with conditions.

Architectural Projection. A building feature that is mounted on, and/or extends from, the surface of a building wall or facade. typically above ground level. Examples of architectural projections include balconies, bay windows, lighting fixtures, etc.

Assisted Living/Skilled Nursing. A facility for the frail elderly or disabled that provides rooms, meals, personal care, and supervision of self-administered medication, and other services such as recreational activities, financial services, and transportation. These facilities may provide short- or long-term care. Assisted living care facilities range in size from a few rooms to more than a hundred. Skilled nursing facilities include where patients received a minimum number of hours of nursing care daily, such as maintenance care, restorative services and specialized services such as intravenous feeding, tube feeding, injected medication, and daily wound care.

Auto, Mobile Home, and Vehicle Sales. Retail establishments selling and/or renting new and/or used automobiles, boats, vans, campers, trucks, mobile homes, recreational and utility trailers, motorized farm equipment, motorcycles, golf carts, snowmobile and jet skis (except bicycles and mopeds, which are included under "retail stores, general merchandise"). Includes parts sales or repair shops only when part of a dealership selling new vehicles on the same site. Does not include "service stations," which are separately defined.

Auto Parts Sales. Stores selling new automobile parts, tires, and accessories. Does not include tire recap-ping establishments, which are found under "repair and maintenance--vehicle," or businesses dealing exclusively in used parts, which are included under "recycling--scrap and dismantling yards." Automated Teller Machine (ATM). A pedestrian-oriented machine used by bank and financial service patrons for conducting transactions including deposits, withdrawals and fund transfers, without contact with financial institution personnel. The machines may be located at or within banks, or in other locations, in compliance with these regulations. ATMs for use by patrons in vehicles are included under the definition of "drive-in and drive-through services."

Automobile Dismantling Yard. See "recycling--scrap, and dismantling yards."

Automobile Repair. See "repair and maintenance--vehicle."

B. Definitions, "B". The following definitions are in alphabetical order.

Backstop. A safety barrier device constructed with the purpose of stopping or redirecting ammunition fired from a firing line to ensure the safety of users of an indoor firing range.

Baffles. Barrier devices used to contain ammunition and/or to reduce noise. Baffles are typically placed overhead, on ground level, or on walls, and can safely redirect errant or off-target shots. Balcony. Outdoor living space located on the second or higher floor of a building, enclosed by a railing or other safety barrier.

Banks and Financial Services (Land Use). Financial institutions including:

- Banks and trust companies
- Credit agencies
- Holding (but not primarily operating) companies
- Lending and thrift institutions
- Other investment companies
- Securities/commodity contract brokers and dealers
- Security and commodity exchanges
- Vehicle finance (equity) leasing agencies

See also, "Automatic Teller Machine," above.

Banks and Financial Services. Financial institutions including: banks and trust companies; lending and thrift institutions, credit agencies; brokers and dealers in securities and commodity contracts; security and commodity exchanges; holding (but not predominantly operating) companies; and other investment companies; vehicle finance (equity) leasing agencies. See also, "Automated Teller Machine," above.

Bars and Alcoholic Beverage Drinking Places. A structure or tenant space within a structure where alcoholic beverages are sold for on-site consumption, that are not part of a larger restaurant. Includes bars, taverns, pubs, and similar establishments where any food service is subordinate to the sale of alcoholic beverages. May include entertainment (such as live music and/or dancing), and beer brewing as part of a "brew pub."

Basement. Habitable space within a structure where less than one half of the distance from its floor to ceiling is below grade.

Bed and Breakfast Inn. A single-family dwelling, with one family in permanent residence, where bedrooms without individual cooking facilities are rented for overnight lodging. This definition does not include "hotels and motels," or "rooming and boarding houses," which are defined separately; or the rental of an entire residence for one week or longer.

Beverage Production. Manufacturing facilities including bottling plants, breweries, coffee roasting, soft drink production, and wineries. Does not include milk processing, which is included under the definition of food products. May include tasting and accessory retail sales of beverages produced on site. A tasting facility separate from the manufacturing facility is included under the definition of "bars and drinking establishment" if alcoholic beverages are tasted, and under "restaurant" if beverages are non-alcoholic.

Building. Anything constructed or erected, the use of which requires attachment to the ground or attachment to something located on the ground. For the purposes of this development code, the term "structure" includes "buildings."

Building Material Stores. Primarily indoor retail establishments selling lumber and other large building materials, and also including paint, wallpaper, glass, fixtures, nursery stock, lawn and garden supplies (which may also be sold in hardware stores, included under the definition of "Retail stores, general merchandise"). Includes all stores selling to the general public, even if contractor sales account for a larger proportion of total sales. Includes incidental retail ready-mix concrete operations, except where excluded by a specific zoning district. Building materials sales businesses that store most of their product inventory outdoors are included under "lumber and wood products." Establishments primarily selling electrical, plumbing, heating, and air conditioning equipment and supplies are classified in "wholesaling and distribution."

Business Support Services. Establishments primarily within structures, providing other businesses with services, including maintenance, repair and service, testing, rental, also includes:

- 1. Blueprinting;
- 2. Business equipment repair services (except vehicle repair, see "Repair and Maintenance--Vehicle");
- 3. Commercial art and design (production);

- 4. Computer-related services (rental, repair);
- 5. Copying, quick printing, and blueprinting services;
- 6. Equipment rental businesses within buildings (rental yards are "storage yards and sales lots");
- 7. Equipment repair services where repair occurs on the client site;
- 8. Film processing laboratories;
- 9. Janitorial services;
- 10. Mail advertising services (reproduction and shipping);
- 11. Other "heavy service" business services;
- 12. Outdoor advertising services;
- 13. Photocopying;
- 14. Photo finishing;
- 15. Protective services (other than office related):
- 16. Soils and materials testing laboratories; and
- 17. Window cleaning.
- C. Definitions, "C". The following definitions are in alphabetical order.

Car Washes (Land Use). Permanent, self-service and/or attended car washing establishments, including fully mechanized facilities. May include detailing services. Temporary car washes are fundraising activities, typically conducted at a service station or other automotive-related business, where volunteers wash vehicles by hand, and the duration of the event is limited to one day. See Chapter 16.70 (Temporary Use Permits).

Caretaker and Employee Housing. A structure constructed to residential occupancy standards in compliance with the Uniform Building Code that is accessory to a nonresidential use and required for security, or twenty-four (24) hour care or supervision.

Carport. See "garage, or carport."

Chemical Products Manufacturing. Manufacturing establishments that produce or use basic chemicals and establishments creating products predominantly by chemical processes. Establishments classified in this major group manufacture three general classes of products: (1) basic chemicals including acids, alkalies, salts, and organic chemicals; (2) chemical products to be used in further manufacture, including synthetic fibers, plastic materials, dry colors, and pigments; and (3) finished chemical products to be used for ultimate consumption including drugs, cosmetics, and soaps; or to be used as materials or supplies in other industries, including paints, fertilizers, and explosives. Also includes sales and transportation establishments handling the chemicals described above in other than one of the uses included in the retail trade group on the land use and permit tables.

Child Day-care Facilities. Facilities that provide care and supervision of minor children for periods of less than twenty-four (24) hours. These facilities include the following, all of which are required to be licensed by the California State Department of Social Services:

- 1. Child Day-care Center. A commercial or non-profit child day care facility not operated as a small or large family day care home. Includes infant centers, preschools, and extended day care facilities. These may be operated in conjunction with a business, school or religious facility, or as an independent land use.
- 2. Large Family Day-care Home. A day care facility located in a single-family residence where an occupant of the residence provides care and supervision for nine to fourteen (14) children. Children under the age of ten years who reside in the home count as children served by the day-care facility.
- 3. Small Family Day-care Home. A day care facility located in a single-family residence where an occupant of the residence provides care and supervision for eight or fewer children. Children under the age of ten years who reside in the home count as children served by the day-care facility.

Churches/Places of Worship. Any religious organization facility operated for worship or promotion of religious activities, including churches and places of worship and classrooms for religious instruction; and accessory uses on the same site, including living quarters for ministers and staff, and

child day care facilities where authorized by the same type of land use entitlement required for the church itself. Other establishments maintained by religious organizations, including full-time educational institutions, hospitals and other potentially related operations (such as a recreational camp) are classified according to their respective activities.

City. The City of Murrieta, state of California, referred to in this development code as the "city." City Council. The Murrieta city council, referred to in this development code as the "council." City Engineer. The director of public works/city engineer of the city or his or her duly delegated representative.

Class A Office. An office building that is typically characterized by high quality design, the use of high end building materials and state of the art technology for voice and data, and meeting the following minimum requirements:

- 1. The building must be a minimum of three (3) stories;
- 2. The building shall have a minimum of fifteen thousand (15, 000) square feet per floor;
- 3. The building shall have steel frame construction;
- 4. The building has a central, interior lobby; and
- 5. Access to the suites is from the building unless the building is located in the Historic Downtown in which case the first floor commercial uses may be accessed from both the public sidewalk and inside the building. In addition, a Class A office building will typically have on-site support services and maintenance, full service accessory uses such as a bank, restaurant-deli-coffee shop, health club, day care center, printing shop, and reserved parking.

Clothing Products. Manufacturing establishments producing clothing, and fabricating products by cutting and sewing purchased textile fabrics, and related materials including leather, rubberized fabrics, plastics and furs. Custom tailors and dressmakers not operating as a factory and not located on the site of a clothing store ("general merchandise stores") are instead included under "personal services." See also, "textile and leather products."

Commission. See "planning commission."

Community/Culture Centers. Multi-purpose meeting and recreational facilities typically consisting of one or more meeting or multi-purpose rooms, kitchen and/or outdoor barbecue facilities, that are available for use by various groups for activities including meetings, parties, receptions, dances, etc. Conditional Use. A use of land identified by Article II (Zoning Districts and Allowable Land Uses) as being allowed in a particular zoning district subject to the approval of a conditional use permit in compliance with Chapter 16.52 (Conditional Use Permits).

Condominium. As defined by Civil Code Section 951(f), a development where undivided interest in common in a portion of real property is coupled with a separate interest in space called a unit, the boundaries of which are described on a recorded final map or parcel map. The area within the boundaries may be filled with air, earth, or water, or any combination thereof, and need not be physically attached to any land except by easements for access and, if necessary, support.

Contractor's Storage Yard. Storage yard operated by, or on behalf of a contractor licensed by the state of California for storage of large equipment, vehicles, or other materials commonly used in the individual contractor's type of business; storage of scrap materials used for repair and maintenance of contractor's own equipment; and structures for uses including offices and repair facilities.

Convenience and Mini-Mart Stores (Land Use). Retail stores of seven thousand (7,000) square feet in gross floor area, which carry a range of merchandise oriented to convenience and travelers' shopping needs. These stores may be part of a service station or an independent facility.

County Recorder. The county recorder of the county of Riverside.

Coverage (Lot or Parcel). The percentage of the total site area occupied by structures over six feet in height. Coverage includes accessory structures and architectural features such as chimneys, balconies and decks above the first floor, porches, stairs, etc. Coverage does not include eaves exempt per Section 16.18.140 or arbors, gazebo and trellis per subsection 16.18.140(E)(2).

Crop Production, Commercial. Commercial agricultural uses including production of grains, field crops, vegetables, melons, fruits, tree nuts, flower fields and seed production, ornamental crops, tree and sod farms, associated crop preparation services and harvesting activities including mechanical soil preparation, irrigation system construction, spraying, crop processing and sales in the field not involving a permanent structure.

D. Definitions, "D". The following definitions are in alphabetical order.

Day Care. A commercial or non-profit day care facility. Includes infant centers, preschools, and extended day care facilities. These may be operated in conjunction with a business, school or religious facility, or as an independent land use.

Density. The number of housing units per net acre, unless otherwise stated, for residential uses. **Density Bonus.** An increase in the number of dwelling units normally allowed on a parcel by the applicable zoning district, granted by the city in compliance with Chapter 16.20 (Affordable Housing Incentives/Density Bonus Provisions).

Department. The Murrieta development services department, referred to in this development code as "department."

Detached. Any structure that does not have a wall or roof in common with another structure.

Development. Any construction activity or alteration of the landscape, its terrain contour or vegetation, including the erection or alteration of structures. New development is any construction, or alteration of an existing structure or land use, or establishment of a land use, after the effective date of this development code.

Development Agreement. A contract between the city and an applicant for a development project, in compliance with Chapter 16.54 (Development Agreements) of this development code and government code Sections 65864 et seq. A development agreement is intended to provide assurance to the applicant that an approved project may proceed subject to the policies, rules, regulations, and conditions of approval applicable to the project at the time of approval, regardless of any changes to city policies, rules, and regulations after project approval. In return, the city may be assured that the applicant will provide infrastructure and/or pay fees required by a new project.

Development Code. The Murrieta development code, Title 16 of the Murrieta municipal code, referred to herein as "this development code."

Director. The person responsible for the planning department functions of the city and/or implementation of Title 16 Development Code, as designated by the city manager.

Drive-in and Drive-through Sales. Facilities where food or other products may be purchased by motorists without leaving their vehicles. These facilities include "fast-food" restaurants.

Drive-in and Drive-through Services. Facilities where services may be obtained by motorists without leaving their vehicles. These facilities include drive-up teller windows and ATMs at banks. Does not include: service stations, which are separately defined, or car washes, which are included in the definition of "repair and maintenance--vehicle."

Duplexes (Land Use). Detached residential structures under single ownership containing two dwellings.

Dwelling Unit. Any structure designed or used for the shelter or housing of one or more persons. E. Definitions, "E". The following definitions are in alphabetical order.

Efficiency Dwelling Units. A dwelling unit providing one habitable room and includes an efficiency unit as defined by Health and Safety Code Section 17958.1. The unit shall have a living room of not less than 220 square feet of floor area. An additional 100 square feet of floor area shall be provided for each occupant of such unit in excess of two. The unit shall be provided with a separate closet. The unit shall be provide with a kitchen sink, cooking appliance and refrigeration facilities, each having a clear working space of not less than 30 inches in front. Light and ventilation conforming to this code shall be provided. The unit shall be provided with a separate bathroom containing a water closet, lavatory and bathtub or shower.

Electronics and Equipment Manufacturing (Land Use). Establishments engaged in manufacturing machinery, apparatus, and supplies for the generation, storage, transmission, transformation and use of electrical energy, including:

- 1. Appliances such as stoves/ovens, refrigerators, freezers, laundry equipment, fans, vacuum cleaners, sewing machines;
- 2. Aviation instruments;
- 3. Electrical transmission and distribution equipment;
- 4. Electronic components and accessories, and semiconductors, integrated circuits, related devices;
- 5. Electronic instruments, components and equipment such as calculators and computers;
- 6. Electrical welding apparatus;
- 7. Lighting and wiring equipment such as lamps and fixtures, wiring devices, vehicle lighting;
- 8. Industrial apparatus;
- 9. Industrial controls;
- 10. Instruments for measurement, testing, analysis and control, associated sensors and accessories;
- 11. Miscellaneous electrical machinery, equipment and supplies such as batteries, X-ray apparatus and tubes, electromedical and electrotherapeutic apparatus, electrical equipment for internal combustion engines;
- 12. Motors and generators;
- 13. Optical instruments and lenses;
- 14. Photographic equipment and supplies;
- 15. Pre-recorded magnetic tape;
- 16. Radio and television receiving equipment such as television and radio sets, phonograph records and surgical, medical and dental instruments, equipment, and supplies;
- 17. Surveying and drafting instruments;
- 18. Telephone and telegraph apparatus;
- 19. Transformers, switch gear and switchboards; and
- 20. Watches and clocks.

Does not include testing laboratories (soils, materials testing, etc.) (see "business support services"), or research and development facilities separate from manufacturing (see "research and development").

Emergency Shelters. Facilities for the temporary shelter and feeding of indigents or disaster victims, operated by a public or non-profit agency.

Enlargement of Use. The expansion of a land use activity on a site or within a structure so that the use/activity occupies more floor or site area than before the expansion.

Equestrian Facilities. Horse, donkey, and mule facilities including horse ranches, boarding stables, riding schools and academies, horse exhibition facilities (for shows or other competitive events), pack stations, and barns, stables, corrals and paddocks accessory and incidental to these uses.

Equipment Rental (Land Use). Service establishments with outdoor storage/rental yards, which may offer a wide variety of materials and equipment for rental, including construction equipment.

F. Definitions, "F". The following definitions are in alphabetical order.

Fabric Product Manufacturing (Land Use). Manufacturing establishments fabricating clothing, draperies, and other products by cutting and sewing purchased textile fabrics, and related materials such as leather, rubberized fabrics, plastics and furs. Custom tailors and dressmakers not operating as a factory and not located on the site of a clothing store ("general retail stores") are instead included under "personal services." See also, "textile and leather product manufacturing."

Family. One or more persons, related or unrelated, living together as a single integrated household in a dwelling unit.

Farm Equipment and Supplies Sales. Establishments selling, renting or repairing agricultural machinery, equipment, and supplies for use in soil preparation and maintenance, the planting and harvesting of crops, and other operations and processes pertaining to farming and ranching.

Feasible. Capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, environmental, social and technological factors.

Firearm. Any barreled weapon capable of firing a projectile or bullet using an explosive charge. Firing line. A safe and secure line parallel to fixed targets from which firearms are discharged. Floor Area Ratio (FAR). The floor area ratio (FAR) is the ratio of floor area to total lot area, excluding underground parking and parking structures used exclusively for vehicle parking and loading. FAR restrictions are used to limit the maximum floor area allowed on a site. The maximum floor area of all structures (measured from exterior wall to exterior wall) permitted on a site (including carports) shall be determined by multiplying the floor area ratio (FAR) by the total net area of the site (FAR x Net Site Area = Maximum Allowable Floor Area).

Food and Beverage Manufacturing (Land Use). Manufacturing establishments producing or processing foods and beverages for human consumption, and certain related products. Includes:

- 1. Bakeries:
- 2. Bottling plants;
- 3. Breweries;
- 4. Candy, sugar and confectionery products manufacturing;
- 5. Catering services separate from stores or restaurants;
- 6. Coffee roasting;
- 7. Dairy products manufacturing;
- 8. Fats and oil product manufacturing;
- 9. Fruit and vegetable canning, preserving, related processing;
- 10. Grain mill products and by-products;
- 11. Meat, poultry, and seafood canning, curing, byproduct processing;
- 12. Soft drink production; and
- 13. Miscellaneous food item preparation from raw products.

May include tasting and accessory retail sales of beverages produced on site. A tasting facility separate from the manufacturing facility is included under the definition of "bars and night clubs" if alcoholic beverages are tasted, and under "restaurant" if beverages are non-alcoholic.

Does not include: bakeries which sell all products on-site (listed in Article Ii (Zoning Districts, Allowable Land Uses and Zone-Specific Standards) as "bakeries;" beer brewing as part of a brew pub, bar or restaurant (see "bars and night clubs"); the killing/slaughtering of animals, or rendering plants (see "slaughterhouses and rendering plants").

Food Products. Manufacturing establishments producing or processing foods for human consumption and certain related products. Includes:

- 1. Bakery products, sugar and confectionery products (except facilities that produce goods only for onsite sales with no wider distribution are included under "retail stores, general merchandise");
- 2. Dairy products processing;
- 3. Fats and oil products (not including rendering plants, which are included under "slaughterhouses and rendering plants");
- 4. Fruit and vegetable canning, preserving, and related processing;
- 5. Grain mill products and by-products;
- 6. Meat, poultry, and seafood canning, curing and byproduct processing (not including facilities that also slaughter animals); and
- 7. Miscellaneous food preparation from raw products, including catering services that are independent from food stores or restaurants.

Furniture/Fixtures Manufacturing, Cabinet Shops. Manufacturers producing: wood and metal household furniture and appliances; bedsprings and mattresses; all types of office furniture and partitions, shelving, lockers and store furniture; and miscellaneous drapery hardware, window blinds

and shades. Includes wood and cabinet shops, but not sawmills or planing mills, which are instead included under "lumber and wood products."

Furniture, Furnishings and Equipment Stores. Stores primarily selling: home furnishings including furniture, floor coverings, draperies, glass and chinaware, stoves, refrigerators, other household electrical and gas appliances including televisions and home sound systems and outdoor furniture including lawn furniture, spas and hot tubs. Also includes the retail sale of office furniture and pianos. G. Definitions, "G". The following definitions are in alphabetical order.

Garage, or Carport. Parking space and shelter for automobiles or other vehicles, where the size of the parking space complies with the provisions of Chapter 16.34 (Off-Street Parking and Loading Standards).

- 1. A garage is an attached or detached accessory structure with a door, enclosed on at least three sides,
- 2. A carport is an attached or detached accessory structure enclosed on no more than two sides.

General Plan. The city of Murrieta general plan, including all elements thereof and all amendments thereto, as adopted by the city council under the provisions of Government Code Sections 65300 et seq., and referred to in this development code as the "general plan."

Glass Products. Manufacturing establishments producing flat glass and other glass products which are pressed, blown, or shaped from glass produced in the same establishment. Includes large-scale artisan and craftsman type operations producing primarily for the wholesale market.

Golf Courses, Country Clubs. Public and private golf courses and country clubs, and accessory facilities and uses including: clubhouses with bar and restaurant, locker and shower facilities; driving ranges (driving ranges separate from golf courses are instead classified under "outdoor commercial recreation"); "pro-shops" for on-site sales of golfing equipment; and golf cart storage and sales facilities.

Grade. The ground surface immediately adjacent to the exterior base of a structure, typically used as the basis for measurement of the allowed height of a proposed structure.

- 1. Average Grade. The elevation determined by computing the mathematical average of the elevations of the highest and lowest points on the boundaries of the area for which average grade is being determined.
- 2. Existing or Natural Grade. The contour of the ground surface. before grading.
- 3. Finish Grade. The final contour of the ground surface of a site that conforms to the approved grading plan.
- 4. Street Grade. The elevation of the centerline of the street adjacent to the site proposed for development.

Green Technologies. Green technologies are uses that research and/or develop products that are intended to mitigate or reduce the effects of human activity on the environment; such as bio filters, solar collectors, noise panels, energy efficient appliances, windows, etc.

Greenhouses, Commercial. Facilities for the indoor propagation of plants for commercial sale.

H. Definitions, "H". The following definitions are in alphabetical order.

Handcraft Industries, Small-scale Manufacturing. Manufacturing establishments not classified in another major manufacturing group, including: jewelry; musical instruments; toys; sporting and athletic goods; pens, pencils, and other office and artists' materials; buttons, costume novelties; brooms and brushes; and other miscellaneous manufacturing industries.

Handguns. A term used to describe any firearm held within the hand, typically smaller in feature, from which a bullet is propelled. Can also be known as a pistol or revolver.

Health/Fitness Clubs. Fitness centers, gymnasiums, health and athletic clubs including indoor sauna, spa or hot tub facilities; indoor tennis, handball, racquetball, and other indoor sports activities.

Hillside Development. See Chapter 16.24 (Hillside Development).

Home Occupations. An accessory commercial activity or business service conducted on the site of a housing unit, only by residents of the housing unit, in a manner clearly incidental to the residential

character of the site and surrounding neighborhood, and in compliance with the provisions of Chapter 16.60 (Home Occupation Permits). Home occupations do not include business/commercial activities conducted solely by residents of a housing unit that are limited to the use of a desk, telephone and/or personal computer, which are permitted in all residential zoning districts.

Hotel or Motel. Guest rooms or suites, provided with or without meals or kitchen facilities, rented to the general public for overnight or other temporary lodging (less than thirty (30) days). Also includes accessory guest facilities (including swimming pools, tennis courts, indoor athletic facilities, accessory retail uses).

I. Definitions, "I". The following definitions are in alphabetical order.

Improvement. For the purposes of subdivision, an improvement includes any street work and utilities to be installed, or agreed to be installed, by the subdivider on the land within an approved subdivision to be used for public or private streets, highways, and easements for the use of the parcel owners and to accommodate neighborhood traffic and drainage needs, improvement also refers to any other improvements, the installation of which by either the subdivider, a public agency, utility company, or any other entity, is necessary to ensure consistency with, or implementation of the general plan or any applicable specific plan.

Indoor Commercial Recreation. Facilities for various indoor participant sports and types of recreation where a fee is charged for use, conducted primarily within an enclosed building. Typical uses include: amusement and game arcades, batting cages, billiard/pool halls, bowling alleys, ice skating and roller skating rinks, miniature golf, racquetball, tennis and other sport courts and swimming pools. May include ancillary food, beverage and retail sales.

Indoor Firing Range. A totally enclosed facility designed to offer a totally controlled shooting environment that includes impenetrable walls, floor and ceiling, adequate ventilation and lighting systems, and acoustical treatment for sound attenuation suitable for the range's approved use.

Instruction, Personal. A use with two or less class or meeting rooms that serves fewer than 40 students in attendance at any time, where an individual or individuals provides instruction to an individual or group of individuals primarily for personal interest or self improvement in such activities as: academics, art, athletics, computers, dance, drama, fitness, martial arts, music and similar activities.

Intensification of Use. A change in the use of a structure or site, where the new use is required by Chapter 16.34 (Off-Street Parking and Loading Standards) to have more off-street parking spaces than the former use; or a change in the operating characteristics of a use (for example, hours of operation), which generate more activity on the site.

- J. Definitions, "J". No definitions beginning with the letter "J" are used at this time.
- K. Definitions, "K".

Kitchen or Kitchenette. An area designed and/or used for the preparation of food, which includes any three of the following features:

- 1. Cooking or food heating equipment, including a hot plate, microwave, oven, or range;
- 2. A refrigerator or other device for cold storage;
- 3. Cabinets, shelves, or other facilities for storage of food and/or utensils; or
- 4. A sink and water supply.
- L. Definitions, "L". The following definitions are in alphabetical order.

Landscaping. See Chapter 16.28 (Landscaping Standards).

Large Family Day-care Home. See "child day care facilities."

Laundries and Dry Cleaning Plants. Service establishments primarily engaged in high volume laundry and garment services, including: power laundries (family and commercial); garment pressing and dry cleaning; linen supply; diaper service; industrial laundries; carpet and upholstery cleaners. Does not include coin-operated laundries or dry cleaning pick-up stores without dry cleaning equipment, which are classified in "personal services."

Leather Products. The assembly of finished products made primarily from purchased leather goods including: clothing, shoes/boots, luggage, furniture, saddles, and similar items. Does not include tanning, dying, or other processing of leather hides.

Line of sight. A wide, straight path from a firing line to a fixed target that a reasonable user of a range has the uninterrupted sight to shoot a firearm.

Live/Work Facility. An integrated dwelling unit and working space, occupied and utilized by a single house-keeping unit in a structure that has been modified or designed to accommodate joint residential occupancy and work activity and which includes complete kitchen and sanitary facilities in compliance with applicable building standards and working space reserved for and regularly used by one or more occupants of the unit.

Lot or Parcel. A recorded lot or parcel of real property under single ownership, lawfully created as required by the subdivision map act and city ordinances, including this development code. Types of lots include the following.

- 1. Corner Lot. A lot located at the intersection of two or more streets, where they intersect at an interior angle of not more than one hundred thirty-five (135) degrees. If the intersection angle is more than one hundred thirty-five (135) degrees, the lot is considered an interior lot.
- 2. Flag Lot. A lot having access from the building site to a public street by means of private right-of-way strip that is owned in fee.
- 3. Interior Lot. A lot abutting only one street.
- 4. Key Lot. An interior lot, the front of which adjoins the side property line of a corner lot.
- 5. Reverse Corner Lot. A corner lot, the rear of which abuts a key lot.
- 6. Through Lot. A lot with frontage on two generally parallel streets.

Lot Area. Gross lot area is the total area included within the lot lines of a lot, exclusive of adjacent dedicated street rights of way. Net lot area is exclusive of easements, including those for utilities or flood control channels, which limit the use of the lot.

Lot Coverage. See "Site Coverage."

Lot Depth. The average linear distance between the front and the rear lot lines or the intersection of the two side lot lines if there is no rear line. The director shall determine lot depth for parcels of irregular configuration.

Lot Frontage. The boundary of a lot adjacent to a public street right-of-way.

Lot Line or Property Line. Any recorded boundary of a lot. Types of lot lines are as follows:

- 1. Front Lot Line. On an interior lot, the property line separating the parcel from the street. The front lot line on a corner lot is the line with the shortest frontage. (If the lot lines of a corner lot are equal in length, the front lot line shall be determined by the director.) On a through lot, both lot lines are front lot lines and the lot is considered to have no rear lot line.
- 2. Interior Lot Line. Any lot line not abutting a street.
- 3. Rear Lot Line. A property line that does not intersect the front lot line, which is most distant from and most closely parallel to the front lot line.
- 4. Side Lot Line. Any lot line that is not a front or rear lot line.

Lot Width. The horizontal distance between the side lot lines, measured at right angles to the lot depth at a point midway between the front and rear lot lines. The director shall determine lot width for parcels of irregular shape.

Lumber and Wood Product Manufacturing (Land Use). Manufacturing, processing, and sales uses involving the milling of forest products to produce rough and finished lumber and other wood materials for use in other manufacturing, craft, or construction processes. Includes the following processes and products:

- Containers, pallets and skids
- Milling operations
- Trusses and structural beams

- Turning and shaping of wood products
- Wholesaling of basic wood products
- Wood product assembly

Craft-type shops are included in "handcraft industries, small-scale manufacturing." Other wood and cabinet shops are included under "furniture and fixture manufacturing." The indoor retail sale of building materials, construction tools and equipment is included under "building material stores." M. Definitions, "M". The following definitions are in alphabetical order.

Machinery Manufacturing. The manufacturing of machinery and equipment for purposes and products including the following:

- Bulldozers
- Carburetors
- Construction
- · Conveyors
- Cranes
- Die casting
- Dies
- Dredging
- Engines and turbines
- Farm and garden
- Food products manufacturing
- Gear cutting
- Heating, ventilation, air conditioning
- Industrial trucks and tractors
- · Industrial furnaces and ovens
- Industrial molds
- Laundry and dry cleaning
- Materials handling
- · Mining
- Oil field equipment
- Paper manufacturing
- Passenger and freight elevators
- Pistons
- Printing
- · Pumps
- Refrigeration equipment
- Textile manufacturing

Manufactured Home. A housing unit that is either wholly or partially constructed or assembled off the site in compliance with California Health and Safety Code Section 1 8551, and certified under the National Manufactured Housing Construction and Safety Standards Act of 1974 (42 U.S.C. Sections 5401 et seq.).

Medical Marijuana Dispensary. A facility where marijuana is made available for medical purposes in accordance with Health and Safety Code Section 11362.5 (Proposition 215).

Medical Marijuana Dispensary, Mobile. Any person, clinic, cooperative, club, business, dispensary or group which transports, imports, sells, furnishes, administers or arranges the delivery of medical marijuana to any person, firm, corporation, association, club, society, or other organization.

Medical Services—Offices, Clinics and Laboratories. Facilities primarily engaged in furnishing outpatient medical, mental health, surgical and other personal health services. These include: medical, dental and psychiatric offices (counseling services by other than medical doctors or psychiatrists are included under "offices"); medical and dental laboratories; out-patient care facilities; and allied health

services. Associations or groups primarily engaged in providing medical or other health services to members are included.

Medical Services—Extended Care. Residential facilities providing nursing and health-related care as a principal use with in-patient beds, including: skilled nursing facilities (facilities allowing care for physically or mentally disabled persons, where care is less than that provided by an acute care facility); extended care facilities; convalescent and rest homes; board and care homes. Long-term personal care facilities that do not emphasize medical treatment are classified in "residential care homes."

Medical Services—Hospitals. Hospitals and similar establishments primarily engaged in providing diagnostic services, extensive medical treatment including surgical and other hospital services; these establishments have an organized medical staff, inpatient beds, and equipment and facilities to provide complete health care. May include accessory retail uses (see the separate definition of "accessory retail uses," and emergency heliports.

Membership Organization Facilities. Permanent, headquarters-type and meeting facilities for organizations operating on a membership basis for the promotion of the interests of the members, including facilities for: business associations; professional membership organizations; labor unions and similar organizations; civic, social and fraternal organizations (not including lodging, which is under "fraternity/sorority houses"); political organizations, and other membership organizations. Does not include country clubs, which are included in the definition of "golf courses, country clubs."

Metal Fabrication, Machine and Welding Shops. The assembly of metal parts, including blacksmith and welding shops, sheet metal shops, machine shops and boiler shops, that produce metal duct work, tanks, towers, cabinets and enclosures, metal doors and gates, and similar products.

Mobile Home. A structure transportable in one or more sections which is over eight feet in width and forty (40) feet in length, with or without a permanent foundation and not including recreational vehicle, commercial coach or factory-built housing. For purposes of these regulations, a mobile home on a permanent foundation is considered a structure.

Mobile Home Park. Any site that is planned and improved to accommodate two or more mobile homes used for residential purposes, or on which two or more mobile home lots are rented, leased, or held out for rent or lease, or were formerly held out for rent or lease and later converted to a subdivision, cooperative, condominium, or other form of resident ownership, to accommodate mobile homes used for residential purposes.

Motel. See "Hotel or Motel."

Multi-family Housing. Includes a structure or a portion of a structure used and/or designed as residences for two or more families living independently of each other. Includes: duplexes, triplexes and fourplexes (individual structures containing three, and four housing units, respectively) apartments (five or more units under one ownership in a single structure); townhouse development(three or more attached single-family dwellings where no unit is located over another unit); senior citizen multi-family housing; single-and common owner-ship, attached unit projects (such as condominiums). Single resident/single room occupancy units (SROs) are separately defined.

Multi-use Service Station. A gasoline service station which may include a car wash, one or more restaurants (with or without drive-through facilities), convenience market, or other service commercial uses in combination on a single site.

Municipal Code. The city of Murrieta municipal code, as it may be amended from time to time by the council.

N. Definitions, "N". The following definitions are in alphabetical order.

Noise. See Chapter 16.30 (Noise).

Nonconforming Uses, Structures and Parcels. See Chapter 16.32 (Nonconforming Uses, Structures, and Parcels).

O. Definitions, "O". The following definitions are in alphabetical order.

Occupancy. All or a portion of a structure occupied by one tenant.

Offices. Service establishments including the following:

- 1. Business offices. Establishments providing direct services to consumers, including insurance agencies, real estate offices, post offices (not including bulk mailing distribution centers, which are included under "vehicle and freight terminals"); and
- 2. Professional offices. Professional or government offices including:
 - Accounting, auditing and bookkeeping services;
 - Advertising agencies;
 - Architectural, engineering, planning, and surveying services;
 - Attorneys;
 - Counseling services;
 - Court reporting services;
 - Data processing and computer services;
 - Detective agencies and similar services;
 - Educational, scientific and research organizations;
 - Employment, stenographic, secretarial and word processing services;
 - Government offices including agency and administrative office facilities;
 - Management, public relations and consulting services;
 - Photography and commercial art studios;
 - Writers and artists offices outside the home.

Does not include: Medical offices, which are allowed under "medical services--clinics and laboratories;" or offices that are incidental and accessory to another business or sales activity that is the principal use. Incidental offices that are customarily accessory to another use are allowed in any non-residential zone as part of an approved principal use.

Offices, Temporary. A mobile home, recreational vehicle, travel trailer, or modular unit used as: a temporary business or construction office during construction of permanent facilities on the same site or as an office on the site of a temporary off-site construction yard; a temporary on-site real estate office for a development project; or a temporary business office in advance of permanent facility construction.

Offices, Temporary Real Estate. The temporary use of a dwelling unit within a residential development project as a sales office for the units on the same site, which is converted to residential use at the conclusion of its office use.

Outdoor Commercial Recreation. Facilities for various outdoor participant sports and types of recreation where a fee is charged for use, including: amusement and theme parks; drive-in theaters; golf driving ranges; miniature golf courses (golf courses are included under the definition of "golf courses, country clubs"); skateboard parks and water slides; go-cart and miniature auto race tracks; recreation equipment rental (for example, non-highway motor vehicles, roller skates); health and athletic clubs with predominately outdoor facilities; tennis courts, swim and tennis clubs; zoos. May also include commercial facilities customarily associated with the above outdoor commercial recreational uses, such as bars and restaurants (both table service and counter service), and video game arcades.

Outdoor Retail Sales and Activities. Permanent outdoor sales and rental establishments including equipment, and other uses where the business is not conducted entirely within a structure.

Outdoor Retail Sales, Temporary. Temporary outdoor retail operations including: farmer's markets; seasonal sales of Christmas trees, pumpkins or other seasonal items; semi-annual sales of art or handcrafted items in conjunction with community festivals or art shows; sidewalk or parking lot sales; and retail sales of various products from individual vehicles in temporary locations outside the public right-of-way.

P. Definitions, "P". The following definitions are in alphabetical order.

Paper Product Manufacturing (Land Use). The manufacture of paper and paperboard, from both raw and recycled materials, and their conversion into products including paper bags, boxes, envelopes, wallpaper, etc.

Parcel. See "lot, or parcel."

Park and Playground Equipment and Facilities. Facilities and equipment in support of active recreation, including traditional playground equipment(such as swings, slides, climbing structures), and athletic facilities (such as ball fields, backstops. bleachers).

Parking Lot/Structure. Private or public parking lot, parking garages or parking structures for the purpose of providing off-street parking to currently licensed and operative cars and trucks with a gross vehicle weight rating (GVWR) of no more than 10,000 pounds.

Parks and Playgrounds. Public and private parks, play lots, playgrounds, and non-professional/noncommercial athletic fields, including park and playground equipment, accessory structures, and facilities.

Parks, Greenbelts, and Landscape Areas. Open space areas providing visual separation between different land uses, which may include some passive recreation opportunities. Active recreation facilities may be allowed only where Article II (Zoning Districts, Allowable Land Uses, and Zone Specific Standards) allows "park and playground equipment" in the same zoning district.

Parolee—Probationer Home. Notwithstanding the definition of "rooming and boarding house", any residential structure or unit, whether owned and/or operated by an individual or for-profit or non-profit entity, which houses two or more parolee-probationers (as defined herein), unrelated by blood, marriage, or legal adoption, in exchange for monetary or non-monetary consideration given and/or paid by the parolee-probationer and/or any individual or public/private entity on behalf of the parolee-probationer, excluding parolee-probationers who reside in a state-licensed residential care facility.

1. Parolee - Probationer. An individual as follows: (1) convicted of a federal crime, sentenced to a United States federal prison, and received conditional and revocable release in the community under the supervision federal probation officer; (2) who is serving a period of supervised community custody as defined by California State Penal Code Section 3000, following a term of imprisonment in a State prison, and is under the jurisdiction of the California Department of Correction, Parole and Community Services Division; or (3) an adult or juvenile individual sentenced to a term in the California Youth Authority and received conditional and revocable release in the community under the supervision of a youth authority parole officer.

Patio. A typically paved outdoor area on the site of a dwelling that is used for lounging, dining, etc. Permitted Use. A use of land identified by Article II (Zoning Districts and Allowable Land Uses) as being allowed in a particular zoning district, subject to the approval of a zoning clearance, in compliance with Chapter 16.74 (Zoning Clearances).

Person. Any individual, firm, co-partnership, corporation, company, association, joint stock association; city, county, state, or district; and includes any trustee, receiver, assignee, or other similar representative thereof.

Paving Materials. The manufacture of various common paving and roofing materials. including bulk asphalt, paving blocks made of asphalt, creosote wood and various compositions of asphalt and tar, porous paving or other approved surface alternative.

Personal Services. Establishments providing non-medical related services, including beauty and barber shops; clothing rental; dry cleaning pick-up stores and small-scale dry cleaners without pick-up and delivery services; laundromats (self-service laundries); shoe repair shops; tanning salons; fortune telling; and therapeutic (non-sexual) massage services, body piercing, tattooing, electrolysis. These uses may also include accessory retail sales of products related to the services provided.

Planning Commission. The Murrieta planning commission, appointed by the Murrieta city council in compliance with Government Code Section 65-1-01⁻, referred to throughout this development code as the "commission."

Primary Structure. A structure that accommodates the primary use of the site. Also includes "principal structure."

Primary Use. The main purpose for which a site is developed and/or used, including the activities that are conducted on the site a majority of the hours during which activities occur.

Plant Nurseries. Commercial agricultural establishments engaged in the production of ornamental plants and other nursery products, grown under cover or outdoors. Also includes establishments engaged in the sale of these products (e.g., wholesale and retail nurseries) and commercial scale greenhouses (home greenhouses are included under "residential accessory uses and structures.") The sale of house plants or other nursery products entirely within a structure is also included under "retail stores, general merchandise."

Plastics and Rubber Products. The manufacture of rubber products including: tires; rubber footwear; mechanical rubber goods; heels and soles; flooring; and rubber sundries from natural, synthetic or reclaimed rubber. Also includes establishments primarily manufacturing tires (establishments primarily recapping and retreading automobile tires are classified in "auto, mobile home, vehicle and supplies sales"). Also includes: establishments engaged in molding primary plastics for the trade. and manufacturing miscellaneous finished plastics products; fiberglass manufacturing, and fiberglass application services.

Printing and Publishing. Establishments engaged in printing by letterpress, lithography, gravure, screen, offset or other common process, including electrostatic (xerographic) copying and other "quick printing" services; and establishments serving the printing trade including silk screening, bookbinding, typesetting, engraving, photoengraving and electrotyping. This use also includes establishments that publish newspapers, books and periodicals; and establishments manufacturing business forms and binding devices.

Private Residential Recreational Facilities. Swimming pools, tennis and other sport courts, playground equipment, and similar facilities and accessory structures that are operated for the residents of a specific housing project and their guests, and are not open to the general public. Does not include these facilities for individual homes, which are defined as "residential accessory uses."

Public Safety and Utility Facilities.

- 1. Public Safety Facilities. Facilities operated by public agencies including fire stations, other fire prevention and fire fighting facilities, police and sheriff substations and headquarters, including interim incarceration facilities.
- 2. Public Utility Facilities. These uses include any of the following facilities that are not exempted from land use entitlement requirements by Government Code Section 53091: electrical substations, switching stations, and other fixed-base structures and facilities serving as junction points for transferring utility services from one transmission voltage to another or to local distribution and service voltages; telephone switching facilities; natural gas regulating and distribution facilities; public water system wells, treatment plants and storage; community wastewater treatment plants, settling ponds and disposal fields; corporation and maintenance yards. These uses do not include office or customer service centers (classified in "offices"), or equipment and material storage yards (classified in "storage, outdoor").

Public Utility Facilities (Land Use). Fixed-base structures and facilities serving as junction points for transferring utility services from one transmission voltage to another or to local distribution and service voltages. These uses include any of the following facilities that are not exempted from land use permit requirements by Government Code Section 53091:

Corporation and maintenance yards
Electrical substations and switching stations
Natural gas regulating and distribution facilities
Public water system wells, treatment plants and storage
Telephone switching facilities

Wastewater treatment plants, settling ponds and disposal fields

- Q. Definitions, "Q". No definitions beginning with the letter "Q" are used at this time.
- R. Definitions, "R". The following definitions are in alphabetical order.

Range Safety Officer. An individual charged with the responsibility of safety and maintenance of an indoor firing range. Range safety officers shall ensure adherence to all rules and regulations for the health and safety by range users and other employees of the business. Range safety officers shall have the following qualifications: completed a course in firearm safety and instruction; familiar with applicable federal, state, and local laws and regulations pertaining to firearms; and, experience in range operations and management.

Recreational Vehicle (RV). A motor home, travel trailer, truck camper. or camping trailer, with or without motive power, originally designed for human habitation for recreational, emergency, or other occupancy, which meets all of the following criteria:

- 1. It contains less than three hundred twenty (320) square feet of internal living room area, excluding built-in equipment, including wardrobe, closets, cabinets, kitchen units or fixtures, and bath or toilet rooms;
- 2. It contains four hundred (400) square feet or less of gross area measured at maximum horizontal projections;
- 3. It is built on a single chassis; and
- 4. It is either self-propelled, truck-mounted, or permanently towable on the highways without a towing permit.

Recycling Facilities.

- 1. Collection Facility. A center for the acceptance by donation, redemption or purchase of recyclable materials from the public, which may include the following:
 - a. Reverse vending machine(s);
 - b. Small collection facilities which occupy an area of three hundred fifty (350) square feet or less and may include:
 - (1) A mobile unit;
 - (2) Bulk reverse vending machines or a grouping of reverse vending machines occupying more than fifty (50) square feet; and
 - (3) Kiosk-type units which may include permanent structures.
 - c. Large collection facilities which may occupy an area of more than three hundred fifty (350) square feet and may include permanent structures.
- 2. Convenience Zones. An area within a one-half-mile (1/2-mile) radius of a supermarket.
- 3. Mobile Recycling Unit. An automobile, truck, trailer, or van, licensed by the Department of Motor Vehicles which is used for the collection of recyclable materials, including bins, boxes, or containers transported by trucks, vans, or trailers, and used for the collection of recyclable materials.
- 4. Processing Facility. A structure or enclosed space used for the collection and processing of recyclable materials to prepare for either efficient shipment, or to an end-user's specifications by means of baling, briquetting, cleaning, compacting, crushing, flattening, grinding, mechanical sorting, remanufacturing and shredding. Processing facilities include the following types, both of which are included under the land use definition of "recycling, scrap and dismantling yards:"
 - a. Light processing facility occupies an area of under forty-five thousand (45,000) square feet of collection, processing and storage area, and averages two outbound truck shipments each day. Light processing facilities are limited to baling, briquetting, compacting, crushing, grinding, shredding and sorting of source separated recyclable materials sufficient to qualify as a certified processing facility. A light processing facility shall not shred, compact, or bale ferrous metals other than food and beverage containers; and
 - b. A heavy processing facility is any processing facility other than a light processing facility.

- 5. Recycling Facility. A center for the collection and/or processing of recyclable materials. A certified recycling facility or certified processor is certified by the California Department of Conservation as meeting the requirements of state law (California Beverage Container Recycling and Litter Reduction Act of 1986). A recycling facility does not include storage containers located on a residential, commercial or industrially-designated parcel used solely for the recycling of material generated on the parcel.
- 6. Recycling or Recyclable Material. Reusable domestic containers including glass, metals, paper and plastic which are intended for reconstitution, remanufacture or reuse for the purpose of using in altered form. Recyclable material does not include refuse or hazardous materials.
- 7. Reverse Vending Machine. An automated mechanical device which accepts at least one or more types of empty beverage containers including, but not limited to aluminum cans, glass and plastic bottles, and issues a cash refund or a redeemable credit slip with a value not less than the container's redemption value as determined by state law. A reverse vending machine may sort and process containers mechanically provided that the entire process is enclosed within the machine. In order to accept and temporarily store all container types in a proportion commensurate with their relative redemption rates, and to meet the requirements of certification as a recycling facility, multiple grouping of reverse vending machines may be necessary. A bulk reverse vending machine is a reverse vending machine that is larger than fifty (50) square feet, is designed to accept more than one container at a time and will pay by weight instead of by container.
- 8. Scrap and Dismantling Yards. Outdoor establishments primarily engaged in assembling, breaking up, sorting, and the temporary storage and distribution of recyclable or reusable scrap and waste materials, including auto wreckers engaged in dismantling automobiles for scrap and the incidental wholesale or retail sales of parts from vehicles. Includes light and heavy processing facilities for recycling (see the definitions above). Does not include: places where these activities are conducted entirely within structures; pawn shops and other secondhand stores; the sale of operative used cars; or terminal waste disposal sites.

Repair and Maintenance—Consumer Products. Service establishments where repair of consumer products is the principal business activity, including: electrical repair shops; television and radio and other appliance repair; watch, clock and jewelry repair; re-upholstery and furniture repair. Does not include shoe repair (included under "Personal Services"). Does not include heavy equipment repair businesses, which are in-eluded under "Business Support Services."

Repair and Maintenance—Vehicle. This use includes major and minor categories. Generally, the use in-eludes the repair, alteration, restoration, towing, painting, cleaning (including self-service and attended car washes), or finishing of automobiles, motorcycles, trucks, recreational vehicles, boats and other vehicles as a principal use, including the incidental wholesale and retail sale of vehicle parts as an accessory use. Major vehicle repair facilities deal with entire vehicles; minor facilities specialize in limited aspects of repair (such as muffler and radiator shops, quick-lube) Does not include: automobile dismantling yards which are included under "recycling, scrap and dismantling yards;" automobile parking (see "Parking Facilities/Vehicle Storage"); repair shops that are part of a vehicle dealership on the same site, which are included under "auto, mobile home and vehicle sales;" service stations, which are separately defined; or tire recapping establishments, which are included under "plastics and rubber products."

Research and Development. Facilities for scientific research, and the design, development and testing of computer software, and electrical, electronic, magnetic, optical and mechanical components in advance of product manufacturing, that are not associated with a manufacturing facility on the same site. Also includes chemical and biotechnology research and development. Does not include soils and other materials testing laboratories which are defined under "Business Support Services," or medical laboratories, which are in-eluded under "medical services--clinics and labs."

Residential Accessory Uses and Structures. Includes any use that is customarily part of, and clearly incidental and secondary to a residence and does not change the character of the residential use. These uses in-elude accessory structures (swimming pools, spas and hot tubs, workshops, studios, greenhouses, garages, guest houses, and similar structures). Includes home satellite dish antennas of eighteen (1 8) inches or less in diameter, and other receiving antennas for earth-based TV and radio broadcasts (larger satellite dish antennas, and broadcast and receiving antennas for ham radio and commercial applications, are included under the definition of "telecommunications facilities").

Residential Care Homes. Facilities providing residential social and personal care for children, the elderly, and people with limited ability for self-care, but where medical care is not a major element. Includes: children's homes; transitional houses; orphanages; rehabilitation centers; self-help group homes. Convalescent homes, nursing homes and similar facilities providing medical care are included

Restaurant. A retail business selling food and beverages prepared on the site, where customers consume the products on-premise, indoors and/or outdoors.

under the definition of "Medical Services - Extended Care Assisted Living/Skilled Nursing,"

Retail Stores, General Merchandise. Retail trade establishments selling many lines of merchandise. These stores and lines of merchandise include but are not limited to:

- Artists' supplies
- Auto parts (not repair or machine shops)
- Bakeries (retail only)
- Bicycles
- Books
- Cameras and photographic supplies
- Clothing and accessories
- Department stores
- Drug and discount stores
- Dry goods
- Fabrics and sewing supplies
- Florists and houseplant stores (indoor sales only outdoor sales are "Plant Nurseries")
- General stores
- Gifts, novelties and souvenirs
- Handcrafted items (stores may include crafting operations subordinate to sales)
- Hardware
- Hobby materials
- Jewelry
- Luggage and leather goods
- Musical instruments, parts and accessories
- Newsstands
- Orthopedic supplies
- Pet stores
- Religious goods
- Small wares
- Specialty shops
- Sporting goods and equipment
- Stationery
- Toys and games
 - Variety stores

Review Authority. The individual or official city body (the community development services director, planning commission, or city council) identified by this development code as having the responsibility

and authority to review, and approve or disapprove the permit applications described in Article IV (Development Code Administration).

Rifle. A firearm, typically with a rifled bore, designed to be fired from the shoulder.

Rooming and Boarding Houses. A residence or dwelling, other than a hotel, wherein three or more rooms, with or without individual or group cooking facilities, are rented to individuals under separate rental agreements or leases, either written or oral, whether or not an owner, agent or rental manager is in residence. Included within the definition of "rooming and boarding house" are parolee-probationer home and sober living home as defined herein.

S. Definitions, "S". The following definitions are in alphabetical order.

Schools. Public and private elementary, middle, junior high, and high schools serving kindergarten through twelfth (12th) grade students, including denominational and sectarian, boarding schools and military academies. Also includes community colleges, public or private colleges, universities and professional schools granting associate arts degrees, certificates, undergraduate and graduate degrees, and requiring for admission at least a high school diploma or equivalent general academic training. Preschools and child day care are included under the definitions of "child day care centers" and "family care homes."

Schools—Specialized Education and Training. An institution with two or more classrooms and/or meeting rooms that is capable of serving 40 or more students in attendance at any time, and which offers specialized trade and commercial courses intended to achieve a degree, certificate or training in a trade, occupation or field of employment. This includes, but is not limited to, the following types of programs: academics, art, bartending, building trades, business, cabinetry, casino trades, computer technician, construction inspection, cooking, cosmetology, dance, drama, driver education, engine mechanics, heating and air conditioning, language, medical and dental, music, paralegal, secretarial, athletics, vocational and web design. Also includes seminaries and other facilities/institutions providing training for religious ministries, establishments furnishing educational courses by mail or the internet, and institutions that offer specialized programs in personal growth and development.

Second Dwelling Unit. A second permanent dwelling that is accessory to a primary dwelling on the same site. A secondary unit provides complete, independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking, and sanitation.

Secondhand Stores. Indoor retail establishments that buy and sell used products, including books, clothing, furniture and household goods. The sale of cars and other used vehicles is included under "auto, mobile home, vehicle and parts sales."

Senior Citizen Congregate Care Housing. A structure serving as a residence for a group of senior citizens (sixty (60) years of age or more) with central or private kitchen, dining, recreational and other facilities, with separate bedrooms and/or living quarters. Limited medical care and supervision may also be provided, where the emphasis of the facility remains residential.

Service Station. A retail business selling gasoline or other motor vehicle fuels, which may also provide vehicle engine maintenance and minor repair services incidental to fuel sales. May also include: mini-markets and other food sales; accessory towing and trailer rental services, but not the sale, storage or repair of wrecked or abandoned vehicles, vehicle painting, body or fender work, or the rental of vehicle storage or parking spaces.

Setback. The distance by which a structure, parking area or other development feature must be separated from a lot line, other structure or development feature, or street centerline. Setbacks from private streets are measured from the edge of the easement. See also "yard."

Shopping Center. A structure or structures with at least five separate tenants or occupants whose combined gross floor area totals at least twenty thousand (20,000) square feet, where the director determines that the tenants or occupants are engaging in compatible uses, and which are located on a site where any underlying separate parcels are tied together by a binding legal agreement providing rights of reciprocal vehicular parking and access. Restaurant uses shall need exceed 10% of the gross

floor area of a shopping center unless additional on-site parking is provided as required for the type of restaurant proposed.

Shotgun. A firearm intended to discharge a load of small pellets typically intended for firing at short distances.

Sign. See Chapter 16.38 (Signs).

Single Room Occupancy (SRO) (also known as an Efficiency Unit). Housing consisting of single room dwelling units typically with no more than 400 square feet of habitable space that is the primary residence of its occupant or occupants. The unit must contain either food preparation or sanitary facilities (and may contain both).

Single-family Housing. A structure designed for and/or occupied exclusively by one family. Also includes factory-built housing (modular housing) units, constructed in compliance with the Uniform Building Code (UBC).

Site. A parcel or adjoining parcels under single ownership or single control, considered a unit for the purposes of development or other use.

Skilled Nursing-Short Term. A facility that provides, on a regular basis, personal care, including dressing and eating and health-related care and services, to individuals who require such assistance but who do not require the degree of care and treatment that a hospital or skilled nursing facility provides. Unlike nursing homes or hospitals Skilled nursing-short term facilities provide only limited medical supervision, such as the administration of medication or medical treatment by qualified personal. Stays in a short term skilled nursing facility are limited to average stays of ninety (90) days or less.

Small Family Day-care Homes. See "child day care facilities."

Sober Living Home. A Sober Living Home is a residence or dwelling wherein three (3) or more rooms are, in exchange for monetary or non-monetary consideration, provided or rented to individuals under separate agreements or leases, either written or verbal, who reside in said residence or dwelling for the purpose of recovering from problems related to alcohol, drug, or alcohol and drug misuse or abuse. This definition is inapplicable to a residence that is licensed by the State of California as an alcoholism or drug abuse recovery or treatment facility which serves six (6) or fewer persons.

Sports Facilities and Outdoor Public Assembly. Indoor and outdoor facilities for spectator-oriented sports, and other public assembly facilities for outdoor theater, concerts" and events, which include: amphitheaters; arenas; drag strips; fairgrounds; field houses; motorcycle racing facilities; race tracks; stadiums and coliseums; and facilities for other sports that are considered commercial.

Stone and Cut Stone Products. Manufacturing establishments primarily engaged in cutting, shaping, and finishing marble, granite, slate, and other stone for building and miscellaneous uses. Also includes establishments primarily engaged in buying or selling partly finished monuments and tombstones.

Storage, Outdoor. The storage of various materials outside of a structure other than fencing, either as an accessory or principal use.

Storage, Personal Storage Facility. A structure or group of structures containing generally small, individual, compartmentalized stalls or lockers rented as individual storage spaces and characterized by low parking demand. Also known as "mini-storage."

Story. A horizontal section of a building, with a single continuous or primarily continuous floor, including all rooms on the same floor or level of the building.

Street. A public thoroughfare accepted by the city, which affords principal means of access to abutting property, including avenue, place, way, drive, lane, boulevard, highway, road, and any other thoroughfare except an alley as defined in this subsection.

Structural Clay and Pottery Products. Manufacturing establishments primarily producing brick and structural clay products, including pipe, china plumbing fixtures, and vitreous china articles, fine earthenware and porcelain electrical supplies and parts. Artist/craftsman uses are included in "handcraft industries and small scale manufacturing" or "home occupations."

Structure. Anything constructed or erected, the use of which requires attachment to the ground or attachment to something located on the ground. For the purposes of this development code, the term "structure" includes "buildings."

Studios, Professional. A facility designed and equipped to assist in the practice of a specialized activity and/or provide the means by which an individual or small group (less than 10) can create a product or improve one's skill in a particular endeavor. Includes, but is not limited to, studios for: (1) the creation of works of art; (2) photography; (3) practicing, composing or recording of music; (4) acting; (5) writing; (6) dance; (7) design; and (8) the production of television, movies and other media. Supportive Housing. Housing with no limit on length of stay, that is occupied by the target population, and that is linked to onsite or offsite services that assist the supportive housing resident in retaining the housing, improving his or her health status, and maximizing his or her ability to live and, when possible, work in the community.

T. Definitions, "T". The following definitions are in alphabetical order.

Telecommunications Facilities. Public, commercial and private electromagnetic and photoelectrical transmission, broadcast, repeater and receiving stations for radio, television, telegraph, telephone, cellular telephone, and data network communications; including commercial earth stations for satellite-based communications. Includes antennas, towers, commercial satellite dish antennas, and equipment buildings. Does not include:

- 1. Home television and radio receiving antennas, including satellite dish antennas of eighteen (18) inches or less in diameter, which are included under "residential accessory uses."
- 2. Telephone, telegraph and cable television transmission facilities utilizing hard-wired or direct cable connections, which are included under "pipelines and utility lines."

Textile Products. Manufacturing establishments engaged in performing any of the following operations: Preparation of fiber and subsequent manufacturing of yarn, threads, braids, twine cordage; manufacturing woven fabric and carpets and rugs from yarn; dying and finishing fiber, yarn, fabric, and knit apparel; coating, waterproofing, or otherwise treating fabric; the integrated manufacture of knit apparel and other finished products from yarn; the manufacture of felt goods, lace goods, non-woven fabrics and miscellaneous textiles; and upholstery manufacturing.

Theaters, Auditoriums and Meeting Halls. Indoor facilities for public assembly and group entertainment, other than sporting events, including: public and quasi-public auditoriums; exhibition and convention halls; civic theaters, meeting halls and facilities for "live" theater and concerts; motion picture theaters; meeting halls for rent and similar public assembly uses. Outdoor theaters, concert and similar entertainment facilities, and indoor and outdoor facilities for sporting events are included under the definition of "sport facilities and outdoor public assembly."

Traffic Safety Sight Area. A triangular area on a corner parcel formed by measuring thirty-five (35) feet from the intersection of the front and street side property lines, and connecting the lines across the property.

Trajectory. A path that a projectile travels from a firearm to the point of impact.

Transit Stations and Terminals. Passenger stations for vehicular and rail mass transit systems; also terminal facilities providing maintenance and service for the vehicles operated in the transit system. Includes buses, taxis, and railway.

Transitional Housing and Transitional Housing Development. Buildings configured as rental housing developments, but operated under program requirements that call for the termination of assistance and recirculation of the assisted unit to another eligible program recipient at some predetermined future point in time, which shall be no less than six (6) months.

Tree Preservation. See Chapter 16.42 (Tree Preservation)

Two-family Housing/Duplexes. Attached multi-family housing structure under single or individual unit ownership containing two dwelling units in the same structure.

U. Definitions, "U".

Unit. See "Housing Unit."

Use. The purpose for which land or a structure is designed, arranged, intended, occupied, or maintained.

Use, Primary. See "Primary Use."

V. Definitions, "V". The following definitions are in alphabetical order.

Variance. A discretionary entitlement that may waive or relax the development standards of this development code, in compliance with Chapter 16.72 (Variances).

Vehicle and Freight Terminals. Transportation establishments furnishing services incidental to transportation including: freight forwarding services; transportation arrangement services; packing, crating, inspection and weighing services; freight terminal facilities; joint terminal and service facilities; trucking facilities, including transfer and storage; and postal service bulk mailing distribution centers. Includes rail, air and motor freight transportation.

Vehicle Storage Facilities. Service establishments in the business of storing currently licensed and operative cars, trucks, buses, recreational vehicles, and other motor vehicles for clients. Includes both day use and long-term public and commercial garages, parking lots and parking structures, except when accessory to a principal use. (All principal uses are considered to include any customer or public use off-street parking required by these regulations.) Includes sites where vehicles are stored for rental or leasing. Does not include dismantling yards (classified in "Recycling--Scrap and Dismantling Yards").

Velocity. The speed that a projectile travels from a firearm to the point of impact.

Veterinary Clinics and Animal Hospitals. Office and medical treatment facilities where animals are given medical care and the boarding of animals is limited to short-term care incidental to the hospital use. This use includes large and small animal veterinary clinics, and animal hospitals. Veterinary clinics and animal hospitals may have indoor kennel facilities for the temporary over-night keeping of animals needing medical care. Veterinary clinics and animal hospitals with outdoor and overnight kennel facilities shall be subject to the requirements for kennel and animal boarding facilities contained in Section 16.44.040 E.2.

W. Definitions, "W". The following definitions are in alphabetical order.

Warehousing. Facilities for the storage of farm products, furniture, household goods, or other commercial goods of any nature. Includes cold storage. Does not include: warehouse, storage or ministorage facilities offered for rent or lease to the general public, which are included under "storage, personal storage facilities;" or warehouse facilities where the primary purpose of storage is for wholesaling and distribution (which is separately defined). Does not include terminal facilities for handling freight (classified in "Vehicle and Freight Terminals").

Wireless Communications Facilities. See Telecommunications Facilities.

Wholesaling and Distribution. Establishments engaged in selling merchandise to retailers; to industrial, commercial, institutional, farm, or professional business users; or to other wholesalers; or acting as agents or brokers in buying merchandise for or selling merchandise to persons or companies. Includes: merchant wholesalers; agents, merchandise or commodity brokers, and commission merchants; assemblers, buyers and associations engaged in the cooperative marketing of farm products; stores primarily selling electrical, plumbing, heating and air conditioning supplies and equipment.

- X. Definitions, "X". No definitions beginning with the letter "X" are used at this time.
- Y. Definitions, "Y".

Yard. An area between a lot line and a setback, unobstructed and unoccupied from the ground upward, except for projections permitted by this development code. See Section 16.18.140 (Setback Regulations and Exceptions) and Figure 6-5 (Setbacks).

1. Front Yard. An area extending across the full width of the lot between the front lot line and the required setback.

- 2. Rear Yard. An area extending the full width of the lot between a rear lot line and the required setback.
- 3. Side Yard. An area extending from the front yard to the rear yard between the nearest side lot line and the required setback.
- Z. Definitions, "Z".

Zoning District. One of the zoning districts established by Section 16.06.010 (Zoning Districts Established), within which certain uses of land and structures are permitted or prohibited, and within which certain setback, open space requirements, and height limits are established for structures by these regulations.

(Ord. 492 Exhibit 12, 2014; Ord. 489 § 2, 2014; Ord. 482 § 2, 2013; Ord. 480 § 9, 2013; Ord. 455 § 2, 2011; Ord. 441-10 § 3, (part), 2010; Ord. 430-10 § 13, 2010; Ord. 427-09 § 7, 2009; Ord. 412 § 8, 2008; Ord. 388 § § 4, 5, 6, 2007; Ord. 382 § 2, 3, 4, 2007; Ord. 377 § 2, 2006; Ord. 369 § 4, 2006; Ord. 337 § 11, 2005; Ord. 297 § 3, 2004; Ord. 293 § 1 (part), 2004; Ord. 182 § 2 (part), 1997)

16.44.160 Accessory Secondary Dwelling Units.

- A. Purpose. This section provides standards for the establishment of secondary accessory dwelling units. Pursuant to Government Code 65852.2 local governments have the authority to adopt regulations designed to promote accessory second units. An accessory dwelling second unit which conforms to the requirements of this Section 16.44.160 shall not be considered to exceed the allowable density for the lot upon which it is located and shall be deemed to be a residential unit, which is consistent with the General Plan and zoning classification for the lot.
- **B.** Standard of Review. Secondary Accessory dwelling unit applications shall be considered a ministerial action without discretionary review or a public hearing if all requirements of this Section 16.44.160 are met, notwithstanding any other requirements of state law or this development code. The permit applicant shall be the owner and resident of the main dwelling.
- C. Application Requirements. Applications for accessory dwelling units shall be completed in accordance with Section 16.56 of this Development Code. The application for an accessory dwelling unit permit must be signed by the owner(s) of the parcel of land and the primary residence.
- **DC.** Number of Secondary Units Allowed. One (1) secondary accessory dwelling unit shall be allowed on a single-family or multifamily zoned parcel which contains a single family residence.
- **ED.** Site Requirements. A parcel proposed for an-<u>accessorysecondary</u> dwelling unit shall comply with all the following requirements:
 - 1. The parcel shall have a minimum area of the underlying zoning district;
 - 2. The parcel shall be developed with only one existing owner occupied single-family detached main dwelling unit; Eithereither the principal or secondary accessory dwelling living unit shall be the primary residence of the record owner of the property; and
 - 3. An accessory secondary dwelling unit shall not be sold, but may be rented. A covenant shall be recorded in the Riverside County clerk's office against the title declaring that the property owner must occupy either the primary residence or the accessory secondary dwelling unit and that ADU may not be used for short term rentals less than 30 days.
- Location of an Secondary Accessory Dwelling Unit. An accessory secondary dwelling unit shall be on the same lot as the main dwelling unit and may be either attached to the existing main dwelling unit, or a detached unit.
- GF. Design Standards. An accessory secondary dwelling unit shall meet the following:
 - 1. Size Restrictions
 - a. Attached unit shall not hHave a floor area not exceeding thirty fifty percent (5030%) of the existing living area not to exceed a floor area of 1,200 square feet. The total area of floor space for a detached of the main dwellingunit shall not exceed 1,200 square feet.
 - 2. Architecture
 - a. Be architecturally compatible with the main dwelling unit and surrounding neighborhood;
 - b. Contain separate kitchen and bathroom facilities and have a separate entrance from the main dwelling.
 - 3. Setbacks- An accessory dwelling unit must comply with all setback requirements applicable to the primary dwelling unit except under the following conditions:
 - a. Comply with height and setback requirements for the main dwelling; and No setback shall be required for an existing garage that is converted to an accessory dwelling unit.
 - b. If an accessory dwelling unit is constructed above a garage, the required side and rear setbacks shall be a minimum of five feet from the side and rear lot lines.
 - 4. Contain separate kitchen and bathroom facilities and have a separate entrance from the main dwelling.
- H. Accessory Dwelling Units within an Existing Space. An accessory dwelling unit contained within an existing residence or accessory structure with independent exterior access from the existing residence and with side and rear setbacks meeting fire safety shall be allowed in single family residential zones with no additional development standards or additional parking provided that the main dwelling is in compliance

with Chapter 16.34 (Off-Street Parking and Loading Standards). These are subject to size restrictions are based on whether or not the accessory dwelling unit is attached or detached.

- IG. Parking. The secondary accessory dwelling unit shall be provided one covered off-street parking space in addition to that required for the main dwelling unit, in compliance with Chapter 16.34 (Off-Street Parking and Loading Standards). No off-street parking is required for the accessory dwelling unit if it meets any of the following:
 - 1. Is within a half mile from public transit.
 - 2. Is within an architecturally and historically significant historic district.
 - 3. Is in an area where on-street parking permits are required, but not offered to the occupant of the Accessory Dwelling Unit.
 - 4. Is located within one block of a car share area.

(Ord. 482-13 § 2, 2013; Ord. 293 § 1 (part), 2004; Ord. 227 § 2 (part), 2000; Ord. 182 § 2 (part), 1997)

16.110 Definitions

Accessory Second Dwelling Unit. An attached or detached residential dwelling unit on a lot with an existing single-family residence (primary residence) that provides complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel that the single-family dwelling is situated. "Accessory Dwelling Unit" includes an "Efficiency Unit" as defined in Health and Safety Code Section 17958.1 and a "Manufactured Home" as defined in Health and Safety Code Section 18007. A second permanent dwelling that is accessory to a primary dwelling on the same site. A secondary unit provides complete, independent living facilities for one or more persons, including permanent provisions for living, sleeping, eating, cooking, and sanitation.

Revise Table 3-7 in section 16.34.040

Residential Uses (Cont'd)	Vehicle Spaces Required
Accessory dwelling Secondary residential units	One space in addition to that required for a single family unit.
	See Sections 16.44.160

Revise Table 16.08-1

10.44.100		Secondary-Accessory Dwelling Units	<u>P</u> €	<u>P</u> C	₽€	<u>P</u> €	<u>P</u> €	<u>P</u> C	16.44.160
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Revise Table 16.08-2

Accessory Secondary Dwelling Units (4)	<u>P</u>	<u>P</u>	<u>P</u>	16.44.160

Revise footnotes on table 16.08-2 to include the following:

Notes:

- (1) See Section 16.04.020.D regarding uses not listed.
- (2) See Article VI for definitions of the land uses listed.
- (3) Zoning clearance not required.
- (4) Accessory dwelling units are permitted in multi-family residential zoning districts where there is an existing owner-occupied single-family detached dwelling.

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Murrieta will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon St., 1st Floor Board Chambers

Riverside, California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1082FV18 – City of Murrieta – City of Murrieta Case Nos. DCA-2017-1343 and 2017-1347 (Development Code Amendment). The City is proposing to amend various sections of its Municipal Development Code in order to address previous errors, omissions and inconsistencies, and to be consistent with state law. These amended sections include: purpose and effect of development code, land use table, off-street parking, child day care, recycling facilities, accessory dwelling units, conditional use permits, development plan permits, permit implementation time limits, tentative map expirations, and definitions (Airport Compatibility Zones B1, C, D, and E of the French Valley Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Lisette Sanchez-Mendoza of the City of Murrieta Planning Department at (951) 461-6046.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

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APPLI	CATION FOR MAJOR LAND USE ACTION REVIEW
ALUC CASE NUMB	ER: ZAPIO82 FV I8 DATE SUBMITTED: 5 1 18
APPLICANT / REPRES	ENTATIVE / PROPERTY OWNER CONTACT INFORMATION
Applicant Mailing Address	CITY Of Murrieta Phone Number I TOWN Sciuare Email Murrieta Cd 92562
Representative Mailing Address	Phone Number
Property Owner	Phone Number
Mailing Address	<u>Email</u>
LOCAL JURISDICTION	AGENCY
Local Agency Name Staff Contact Malling Address	CITU OF VUNICOC Phone Number (991) 441-6096 LISC ST SONCHOZ Phone Number (991) 441-6096 Email LMendoza & Mumicha CA Case Type MUNICOLA CA: 92562 General Plan / Specific Plan Amendment
Local Agency Project No	Zoning Ordinance Amendment Subdivision Parcet Map / Tentative Tract Use Pennit Site Plan Review/Plot Plan Other
PROJECT LOCATION	nap showing the relationship of the project site to the sirport boundary and runways
Street Address	City wide
Assessor's Parcel No.	Gross Parcel Size
Subdivision Name Lot Number	Nearest Airport and distance from
LOI NOMOSI	Airport
PROJECT DESCRIPTIO If applicable, attach a detailed include additional project dead	slie plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees.
Existing Land Use	Clean up several sections of the

	ed Land Use escribe)				
,	sidential Uses ner Land Uses	Number of Parcels or Units on Site (exclude secondary units) Hours of Operation			
(See A	ppendix C)	Number of People on Site Maximum Number Method of Calculation			
Height	Data	Site Elevation (above mean sea level)			
		Height of buildings or structures (from the ground)			
Filght H	lazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? If yes, describe		Yes No	
					- 48-
3.	tions 659 disapprov REVIEW submittal.	Failure of an applicant to submit complete or adequate inform 40 to 65948 inclusive, of the California Government Code, MAY ral of actions, regulations, or permits. TIME: Estimated time for "staff level review" is approximately to the next available commission hearing meeting.	f cor 7 30	stitut days	e grounds for from date of
	tions 659 disapprov REVIEW submittal submittal	40 to 65948 inclusive, of the California Government Code, MAY ral of actions, regulations, or permits. TIME: Estimated time for "staff level review" is approximately. Estimated time for "commission level review" is approximately.	f cor 7 30	stitut days	e grounds for from date of

^{*}Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.6

HEARING DATE: June 14, 2018

CASE NUMBER: ZAP1081FV18 – JJB Silverhawk LP/Hamann Construction

(Representatives: Linda Richardson and Renata Vicente)

APPROVING JURISDICTION: County of Riverside

JURISDICTION CASE NO: PP 26340, PP 26341, PP 26342, PP 26343 (Plot Plans)

MAJOR ISSUES: The building proposed through PP 26340 would have exceeded the average intensity criteria for Compatibility Zone B1, based on the applicant's initial proposed allocation of 50 percent manufacturing use, 25 percent office use, and 25 percent warehousing use. The applicant team subsequently amended the allocation of uses within the building, such that 73 percent of the building will be for warehousing uses. Staff was initially concerned that the plot plan referenced "vegetated retention basins," but the applicant team has clarified that the stormwater management bioretention basins will drawdown within 48 hours and that vegetation will be low and drought tolerant.

RECOMMENDATION: Staff recommends that PP26340 and PP26341, as amended, and PP 26342 and PP26343, as proposed, be found <u>CONSISTENT</u> with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011.

PROJECT DESCRIPTION: The applicant proposes to develop "Silverhawk Center," consisting of four industrial buildings with a total gross floor area of 85,931 square feet. Plot Plan No. 26340 proposes a 20,474 square foot building on APN 957-370-008. Plot Plan No. 26341 proposes a 16,236 square foot building on APN 957-370-009. Plot Plan No. 26342 proposes a 27,379 square foot building on APN 957-370-010. Plot Plan No. 26343 proposes a 21,842 square foot building on APN 957-370-011.

PROJECT LOCATION: The site is located on the northerly side of Commerce Court, easterly of its intersection with Townview Avenue and westerly of its intersection with Calistoga Drive, in the unincorporated community of French Valley, approximately 3,960 feet (3/4 mile) southeasterly of the southerly end of Runway 18-36 at French Valley Airport.

LAND USE PLAN: 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

a. Airport Influence Area: French Valley Airport

Staff Report Page 2 of 6

b. Land Use Policy: Airport Compatibility Zones B1 and C

c. Noise Levels: 55-60 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the French Valley Airport Land Use Compatibility Plan (ALUCP), the site is located within Compatibility Zones B1 and C. APN 957-371-008 is almost entirely in Compatibility Zone B1 (1.47 acres) with a sliver of Compatibility Zone C. APN 957-371-009 is located primarily within Compatibility Zone C, but also includes 0.05 acre within Compatibility Zone B1. APN 957-371-010 and APN 957-371-011 are located entirely within Compatibility Zone C. The proposed buildings are being processed as separate plot plans. Thus, each building must be evaluated as a project unto itself.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included within the French Valley ALUCP, the following rates were used to calculate occupancy for the proposed buildings:

- Office − 1 person per 200 square feet (with 50% reduction),
- Manufacturing 1 person per 200 square feet,
- Warehousing 1 person per 500 square feet

Assessor's Parcel Number 957-371-008 (identified as Lot 16 on the site plans, referring to its lot number within the commercial/industrial map that established these lots) consists of 1.47 acres in Compatibility Zone B1. This allows for 58 persons (40 person per acre allowance x 1.47 = 58.8.) If we include the adjacent half-width of Commerce Court (210 linear feet with a 39-foot half-width), this results in a gross area of 1.658 acre, increasing the person allowance to 66 persons.

The site plan notes on the initial submittal indicated that 50 percent of the building would be devoted to manufacturing uses, 25 percent to office uses, and 25 percent to warehousing uses. Based on the building area of 20,474 square feet, this indicates 10,237 square feet of manufacturing, 5,119 square feet of offices, and 5,118 square feet of warehousing. Using the 50 percent reduction for office uses, these translate into an occupancy of 87 persons, which would have been inconsistent.

In order to achieve consistency with the intensity allowance of 66 persons, the applicant team has amended the proposed allocation of uses within the building, increasing the square footage of warehousing uses to 15,000 square feet (approximately 73 percent), reducing the square footage of office uses to 3,874 square feet (approximately 19 percent), and reducing the square footage of manufacturing uses to 1,600 square feet (approximately 8 percent). This allocation reduces the anticipated occupancy to 58 persons, which is consistent. A condition is recommended requiring that not less than 12,274 square feet of this building be limited to warehousing uses only.

Assessor's Parcel Number 957-371-009 (identified as Lot 17 on the site plans) consists of 1.16 acres

in Compatibility Zone C and 0.05 acres in Compatibility Zone B1. The prorated person allowance, then, is 94 persons [$(.05 \times 40) + (1.16 \times 80)$]. The applicant proposes a 16,236 square foot building on this site, with 50 percent of the building devoted to manufacturing uses, 25 percent to office uses, and 25 percent to warehousing uses. This indicates 8,118 square feet of manufacturing uses, 4,059 square feet of office uses, and 4,059 square feet of warehousing uses. Using the 50 percent reduction for office uses, these translate into an occupancy of 69 persons, which would be consistent.

Assessor's Parcel Number 957-371-010 (identified as Lot 18 on the site plan) is a 1.51-acre lot entirely in Compatibility Zone C. Thus, the total occupancy allowance is 120 persons. A 27,379 square foot building is proposed. The proposed allocation of this building is 47 percent warehousing, 28 percent manufacturing, and 25 percent offices. This indicates 12,868 square feet of warehousing uses, 7,666 square feet of manufacturing uses, and 6,845 square feet of office uses. Using the 50 percent reduction for office uses, these translate into an occupancy of 98 persons, which would be consistent. However, if the building were to be utilized entirely for office and manufacturing uses, the intensity would exceed allowable levels. Therefore, a condition is recommended requiring that a minimum of 6,000 square feet of the building be limited to warehousing use only.

Assessor's Parcel Number 957-371-011 (identified as Lot 19 on the site plan) is a 1.47-acre lot entirely in Compatibility Zone C. Thus, the total occupancy allowance is 117 persons. A 21,842 square foot building is proposed. The proposed allocation of this building is 40 percent manufacturing, 35 percent warehousing, and 25 percent offices. This indicates 8,737 square feet of manufacturing uses, 7,645 square feet of warehousing uses, and 5,461 square feet of office uses. Using the 50 percent reduction for office uses, these translate into an occupancy of 86 persons, which would be consistent. In fact, the entire building could be used for offices without exceeding the intensity limits.

Non-Residential Single-Acre Intensity: Pursuant to the French Valley ALUCP, single-acre intensities are limited to 80 persons within any given acre area within Zone B1 and 160 within Zone C. While average intensity considers building or project intensity in comparison to the overall acreage of a project site or of a specific parcel, single-acre intensity is measured by determining how many persons would be present within any given 210-foot-by-210-foot area within a site. So this is affected not simply by the occupancy of any individual building, but also by the distance between buildings and building orientation.

The Lot 16-based single-acre area in Zone B1 would include the total occupancy of the building on that lot (58 persons), plus a 2,178 square foot (0.05 acre) area within the building on Lot 17, which would add 11 persons, for a total of 69. This would be consistent with allowable single-acre intensity levels in Compatibility Zone B1.

The Lot 17-based single-acre area in Zone C would include the total occupancy of the building on that lot (presently identified as 69 persons), plus up to 41 persons in the easterly 90 feet of Lot 16, resulting in a total single-acre intensity of 110 persons, which would be consistent.

Staff Report Page 4 of 6

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zones B1 and C.

Noise: The French Valley ALUCP depicts the site as being in an area within the 55-60 CNEL range from aircraft noise. As a primarily industrial project, manufacturing and warehousing uses would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the proposed buildings.

Part 77: The elevation of Runway 18-36 at its southerly terminus is 1,330 feet above mean sea level (1,330 feet AMSL). At a distance of approximately 3,960 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,369 feet AMSL. The maximum elevation of any portion of these four sites is 1,188 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service was not required.

Open Area: The Riverside County Airport Land Use Compatibility Plan requires that projects at least 10 acres in area provide ALUC-qualifying open area. Compatibility Zone B1 requires 30% open area, Compatibility Zone C requires 20% open area, and Compatibility Zone D requires 10% open area. However, the combined acreage of the four parcels does not equal or exceed 10 acres. Therefore, open area is not required for this project.

<u>Water Features:</u> The site plans call for "vegetated retention basins" on each lot. These basins will have to meet ALUC criteria (48-hour maximum detention time following the conclusion of storm event), and the basins are not to include trees or plants that would attract birds. The applicant team has provided a clarifying statement from the professional engineering consultant that drawdown time is not anticipated to exceed 17 hours in any of the three basins and would comply with the 48-hour limit required by project conditions. Additionally, vegetation within these basins would be only 6 to 12 inches in height.

CONDITIONS:

The following conditions shall be applied to each of the proposed Plot Plans:

- 1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a

- straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
- (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
- (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- (d) Any use or activity which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, highly noise sensitive outdoor nonresidential uses, and hazards to flight.
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers of the lots and tenants or lessees of the buildings.
- 4. The proposed detention or retention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees around the basin(s) shall not form a contiguous canopy and shall not produce seeds, fruit, or berries.
- 5. Noise attenuation measures shall be incorporated into the design of the office areas of the proposed buildings, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

In addition to Condition Nos. 1 through 5 above, the following additional conditions shall be applied to Plot Plan No. 26340:

6. Prior to issuance of building permits, the landowner shall convey an avigation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency – Aviation Division at (951) 955-9722 for additional information.

- 7. This building may be utilized for office, manufacturing, and warehousing uses; however, not less than 12,274 square feet (60 percent of total square footage) of the building shall be limited to warehousing uses only.
- 8. In addition to the prohibited uses listed in Condition No. 2 above, the following uses are prohibited due to the location of the property in Compatibility Zone B1: places of worship; aboveground bulk storage of hazardous materials and/or more than 6,000 gallons of flammable materials; critical community infrastructure facilities.

In addition to Condition Nos. 1 through 5 above, the following additional conditions shall be applied to Plot Plan No. 26341:

- 6. Prior to issuance of building permits, the landowner shall convey an avigation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency Aviation Division at (951) 955-9722 for additional information.
- 7. This building may be utilized for office, manufacturing, and warehousing uses.
- 8. In addition to the prohibited uses listed in Condition No. 2 above, the following uses are prohibited due to the location of a portion of this property in Compatibility Zone B1: places of worship; aboveground bulk storage of hazardous materials and/or more than 6,000 gallons of flammable materials; critical community infrastructure facilities.

In addition to Condition Nos. 1 through 5 above, the following additional conditions shall be applied to Plot Plan No. 26342:

- 6. Prior to issuance of building permits, the attached "Notice of Airport in Vicinity" shall be recorded as a deed notice.
- 7. This building may be utilized for office, manufacturing, and warehousing uses; however, not less than 6,000 square feet (approximately 22 percent of total square footage) of the building shall be limited to warehousing uses only.

In addition to Condition Nos. 1 through 5 above, the following additional condition shall be applied to Plot Plan No. 26343:

6. Prior to issuance of building permits, the attached "Notice of Airport in Vicinity" shall be recorded as a deed notice.

NOTICE OF AIRPORT IN VICINITY

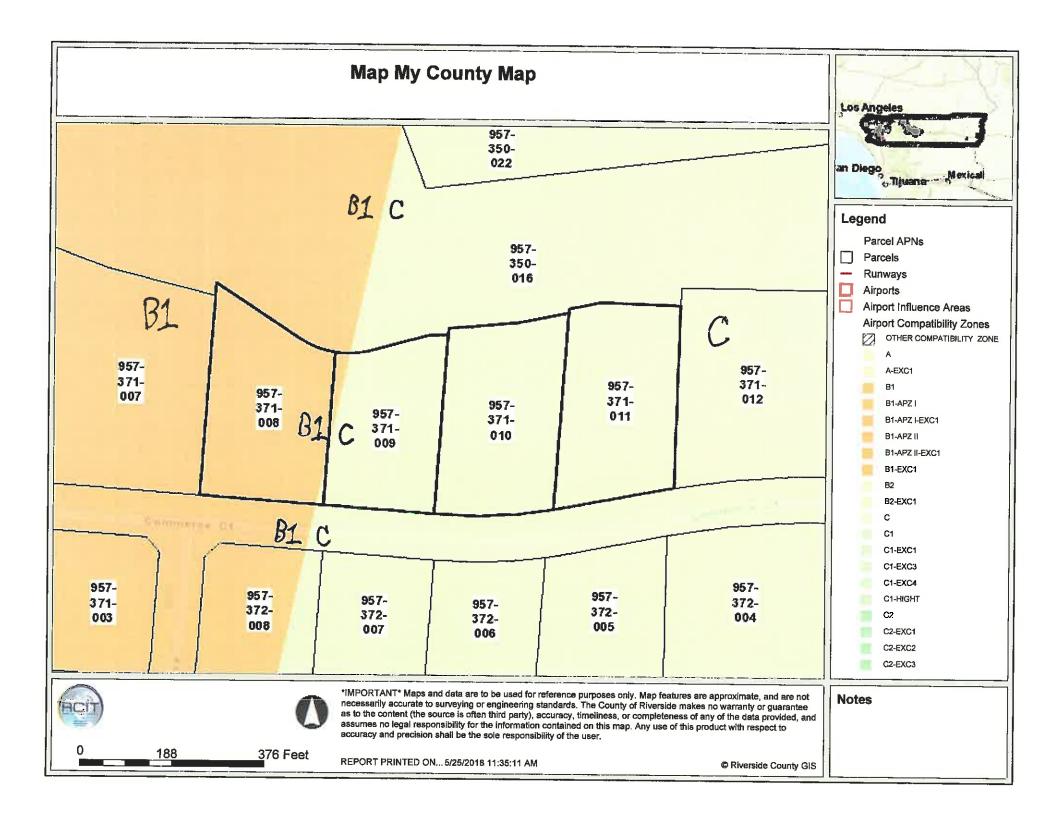
This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

Compatibility Map

8,000

1" = 4000"

French Valley Airport







Legend

Runways

Airports

Airport Influence Areas

City Areas World Street Map

Notes



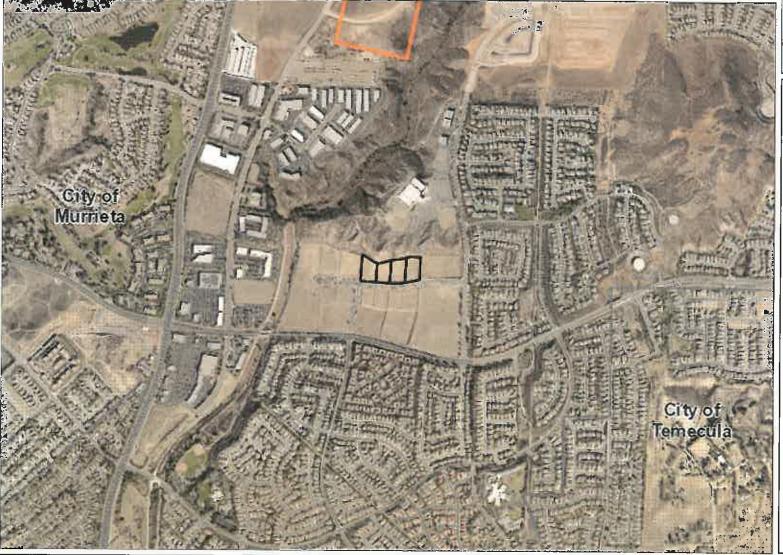


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Legend

Runways

Airports

Airport Influence Areas

City Areas

World Street Map





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Notes





Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- City Areas
 World Street Map





<u>1,5</u>05 Feet

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752

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Notes





Legend

- Parcels
 - Runways
- Airports
- Airport Influence Areas
- City Areas World Street Map

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752 Feet

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Notes





Legend

- Parcels
- Runways
- Airports
 - Airport Influence Areas
- City Areas

World Street Map





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Notes

376 Feet

REPORT PRINTED ON... 5/25/2018 11:42:03 AM

© Riverside County GIS

Guerin, John

From:

Paul <Paul@hamannco.com>

Sent:

Tuesday, May 22, 2018 2:43 PM

To:

Guerin, John

Cc:

Linda Richardson; Renata Vicente; erin@rec-consultants.com; Ken Smith

Subject:

Silverhawk Lots 16 & 17 - RCALUC

Attachments:

DD 02REV.pdf; DD.01REV.pdf

John please find attached for your approval revisions to the site and floor plans for Lot 16 reflecting limitations on the buildings use to keep the occupant densities within limits imposed in the French Valley Airport B1 compatibility zone. Lot 16 consists of 1.47 acres in Zone B1. This allows for 58 persons ($40 \times 1.47 = 58.8$.) Including the adjacent half-width of Commerce Court (210 linear feet with a 39-foot half-width), adding 0.188 acre to the gross area, increasing the occupant allowance to 66.32 persons.

We have noted on the plans that Lot 16 occupancies shall be limited to:

19% Office - 3,874 sf / 100 = 39 occupants w/ 50% reduction = 20 occupants

73% Warehouse - 15,000 sf / 500 = 30 occupants

8% Manufacturing - 1,600 sf / 100 = 16 occupants

Total allowed: 66 occupants < 66.32 allowed.

Please confirm your acceptance of the calculations as shown and our schedule for the next hearing date.

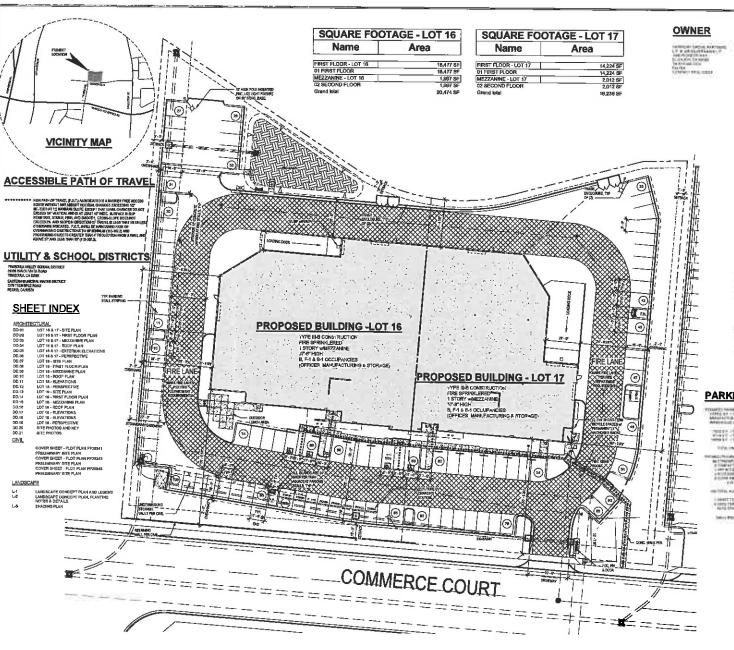
Best regards,

Paul Giese

Architect, Chief Project Manager

HAMANN

Construction 1000 Pioneer Way El Cajon, CA 92020 619.440.7424 619.440.8914 fax 619.993.3241 cell



NOTES

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SITE INFORMATION - LOT 16

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SITE INFORMATION - LOT 17

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PARKING TABULATION

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KENNETH D. SMITH ABCHITECT & ASSOCIATES, PV.





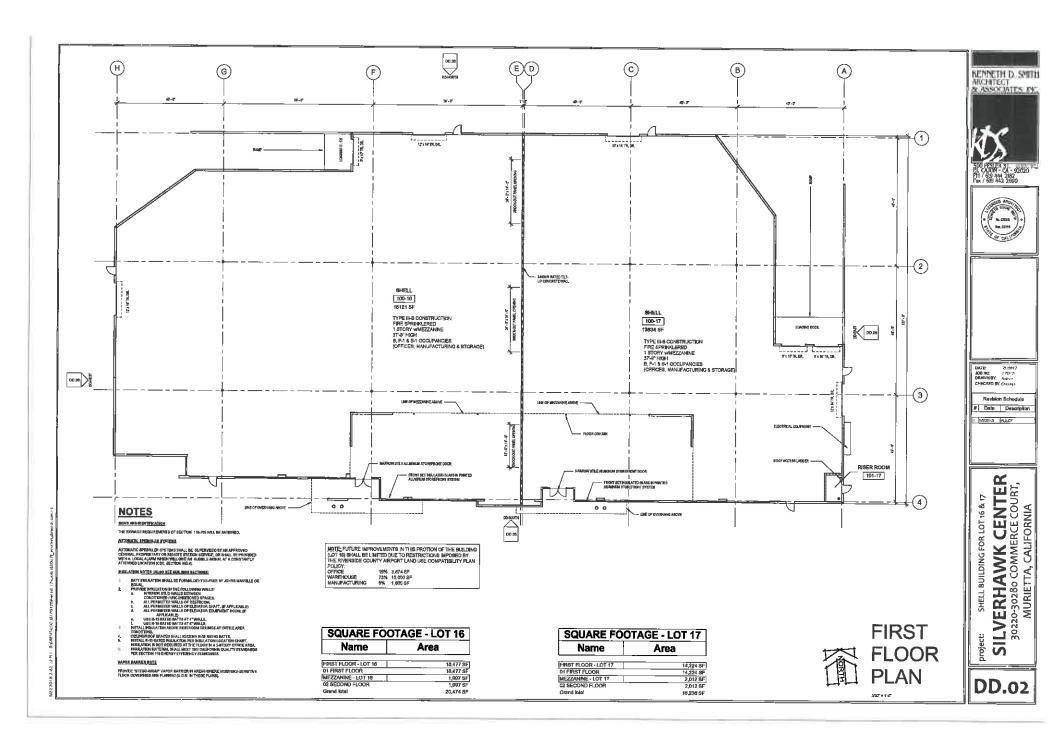
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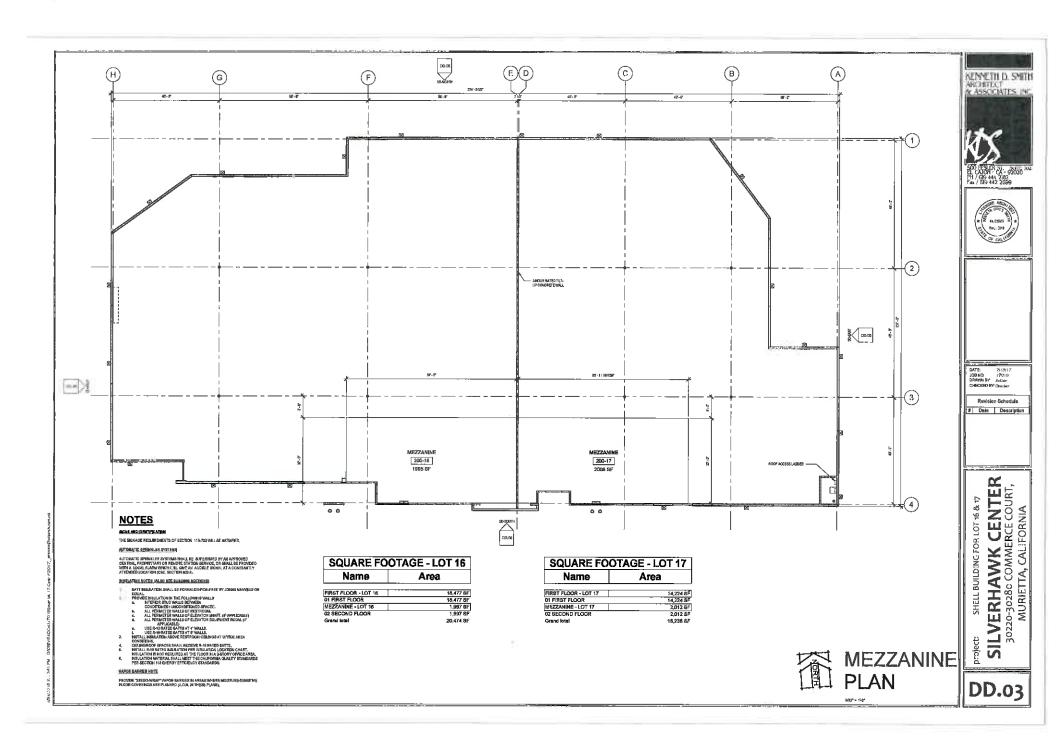
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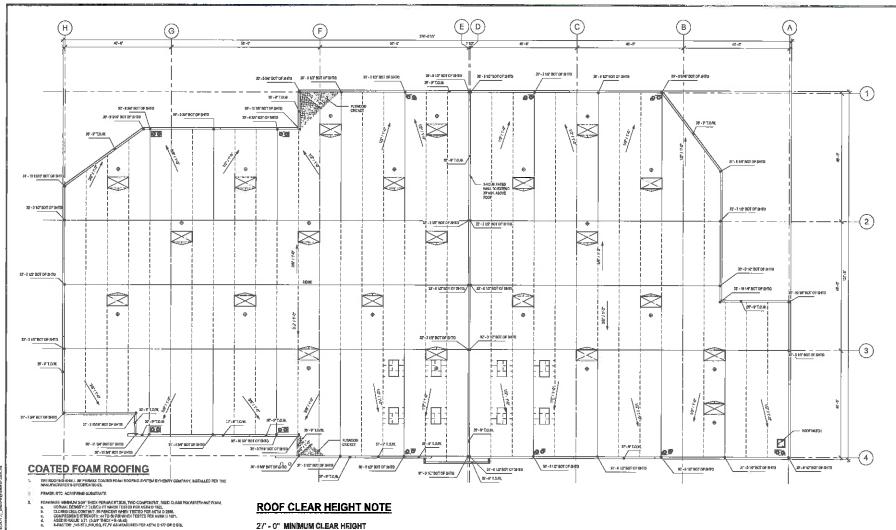
LVERHAWK CENTER 30220-30280 COMMERCE COURT, MURIETTA, CALIFORNIA SHELL BUILDING FOR LOT 16 & 17

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27' - 0" MINIMUM CLEAR HEIGHT

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COOL ROOF RATING COUNCIL PRODUCT LISTING FOR PERMAX 129: 0620-0030

UL CERTIFICATION NUMBER TOPULR 10168 SYSTEM RT2038.

SEE THE MANUFACTURERY'S SPECIFICATIONS FOR COMPLETE PRODUCT AND INSTALLATION REQUIREMENTS.

11. THE CONTRACTOR SHALL FISHE A NON-DEPRECIATING 10 YEAR WARRANTY FOR LABOR AND MATERIALS.

FOR LEED PROJECTS ALL PRODUCT CONTAINERS SHALL BE RECYCLED.

ALL ELEVATIONS SHOWN ARE FROM PINISH FLOOR SLAB TO TOP OF ROOF FRANING MEMBER

SLOPE POOF 38" MINL PER LINEAL FOOT, U.N.O.



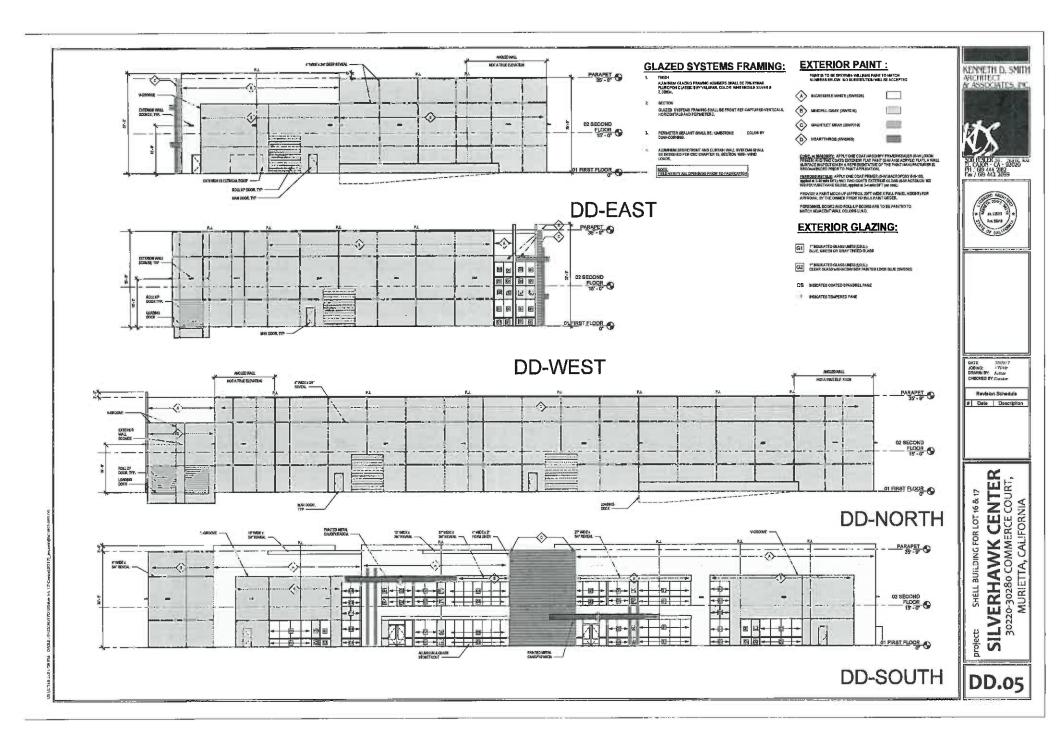
KENNETH D. SMITH ANCHITECT AV ASSOCIATES, EN

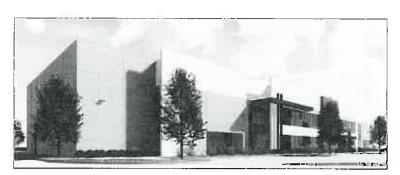


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Revision Scheduls # Date Description

SILVERHAWK CENTER
30220-30280 COMMERCE COURT,
MURIETTA, CALIFORNIA





SOUTH WEST



SOUTH EAST

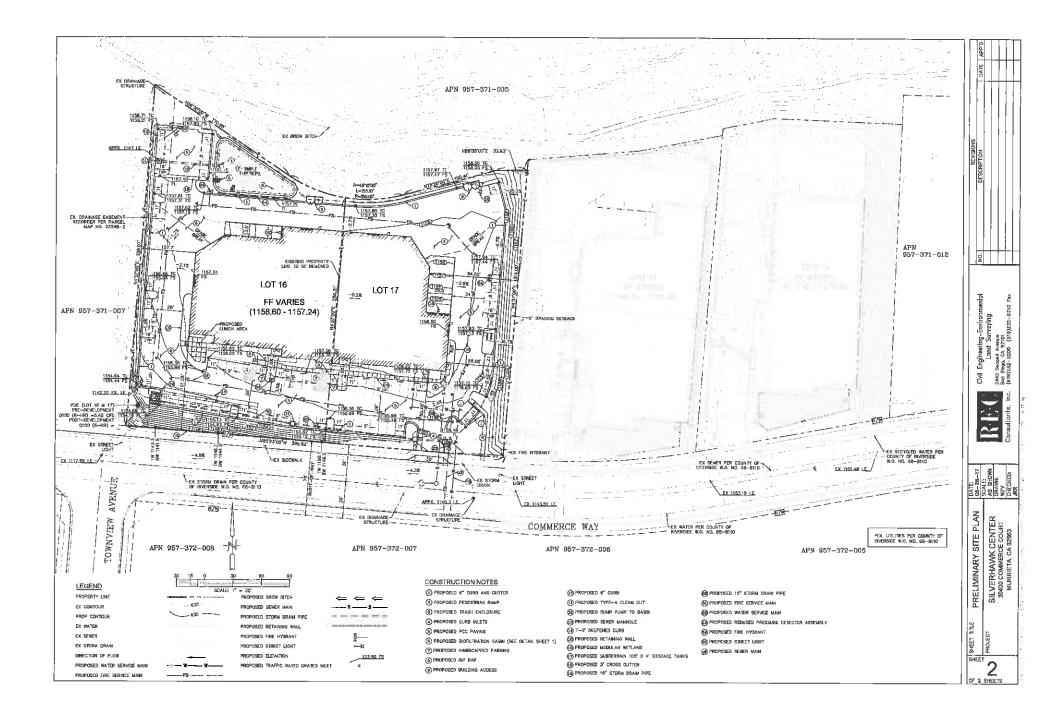


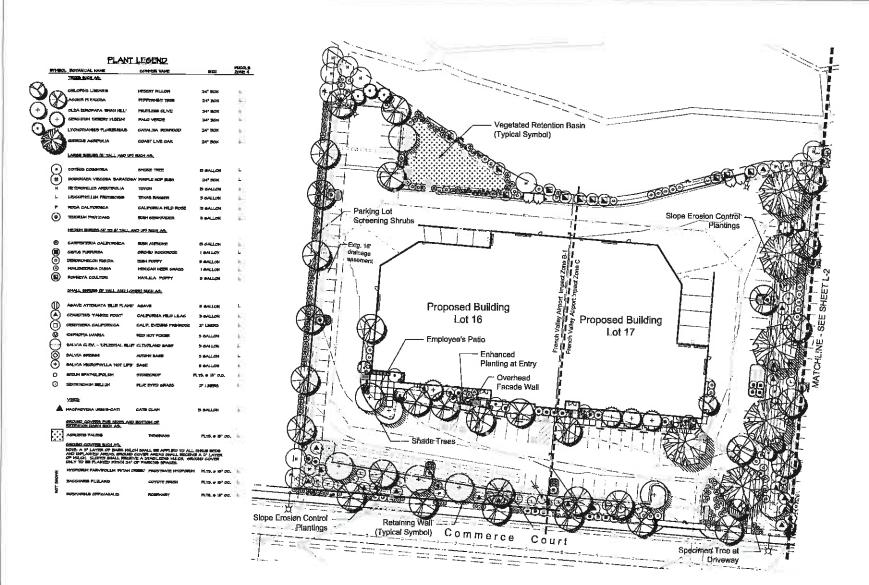


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Revision Schedule # Date Description

SILVERHAWK CENTER 30220-30280 COMMERCE COURT, MURIETTA, CALIFORNIA SHELL BUILDING FOR LOT 16 & 17





French Valley Airport Impact Areas:

Lot 16 falls within the French Valley Zone B1: applicable standards for landscape - Hazards to flight, (no plenting to attract birds), height restrictions to below 35' tall,

Lot 17 falls within the French Valley Zone C: applicable standards for landscape - Hazards to flight, (no plenting to attract birds), height restrictions to below 70' tail.

Prior to project construction, I agree to submit a complete Landscape Construction Document Package that complies with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 859.3, Ordinance 480, Ordinance 481, project Conditions of Approval, and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.







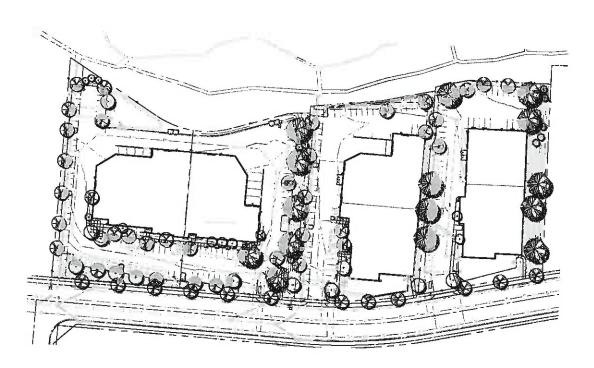
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Shortwan Late of PT-703-00 & 17 per-panel Names Collects

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REVISIONS











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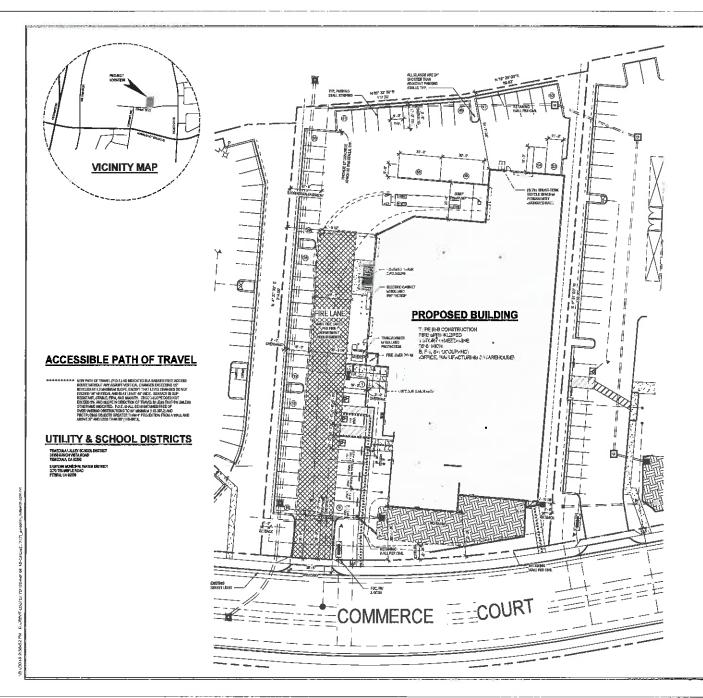
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NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALLFORNA BUILDING CODE (FOOL). THE 2019 CALFFORNA ILL ECTRICAL CODE (FOOL). THE 2019 CALFFORNA ILL ECTRICAL CODE (FOOL). THE 2019 CALFFORNA PRIFE CODE (FOOL), AN ADDITION TO A 11. TH RESPECTIVE 2019 CALFFORNA AMERICADETTE, AND THE CURRENT EDITION CALFFORNA FORMAT VERTICAL CONTROL THE CONTROL CONTROL CALFFORNA FORMAT VERTICAL CONTROL
- BACKPLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS BRALL BE PROVIDED FOR UPC, SECT, 603,6,15.

LEGAL DESCRIPTION

LOT 18 OF PARCEL MAP INC 22249-2, V.INICHESTER RANCH, COUNTY OF RIVERSIDE, CA

857-71-010-9

TOTAL COMMERCE OF

SITE INFORMATION

TYPE OF DEVELOPMENT.

PARKING TABULATION

TOTAL PARKING SPACES REQUIRED .

RING PROVIDED

46 STANDARD PROVIDED

DICASPACTS PROVIDED

DICASPACTS PROVIDED

1 W. H. ACCESTRALE REVACES PROVIDED

2 CACESCRASE LESPACES PROVIDED

3 CACESCRASE LESPACES PROVIDED

3 CACESCRASE LESPACES PROVIDED

4 CACESCRASE LESPACES PROVIDED

1 CACESCRA

66 TOTAL AUTOMOBILE SPACES PROVIDED

CHELL INDUSTRIAL BUILDING, ASSUMED 60% OF PARRING SPACES TO BE EMPLOYEE & 20% TO BE VISITOR

SQUARE FOOTAGE		
Name	Area	
FIRST FLOOR	25,760 SF	
01 FIRST FLOOR	25,780 SF	
MEZZANINE	1,618 8F	
02 MEZZANINE	1,818 SF	
Grand Intel	27.378 SF	

OWNER



SITE **PLAN**

KENNETH D. SMITH ARCHITECT & ASSOCIATES INC. 300 FESTER S EL CATON - CA - 92020 PH / GI9 444 2182 Fax / GI9 442 2699



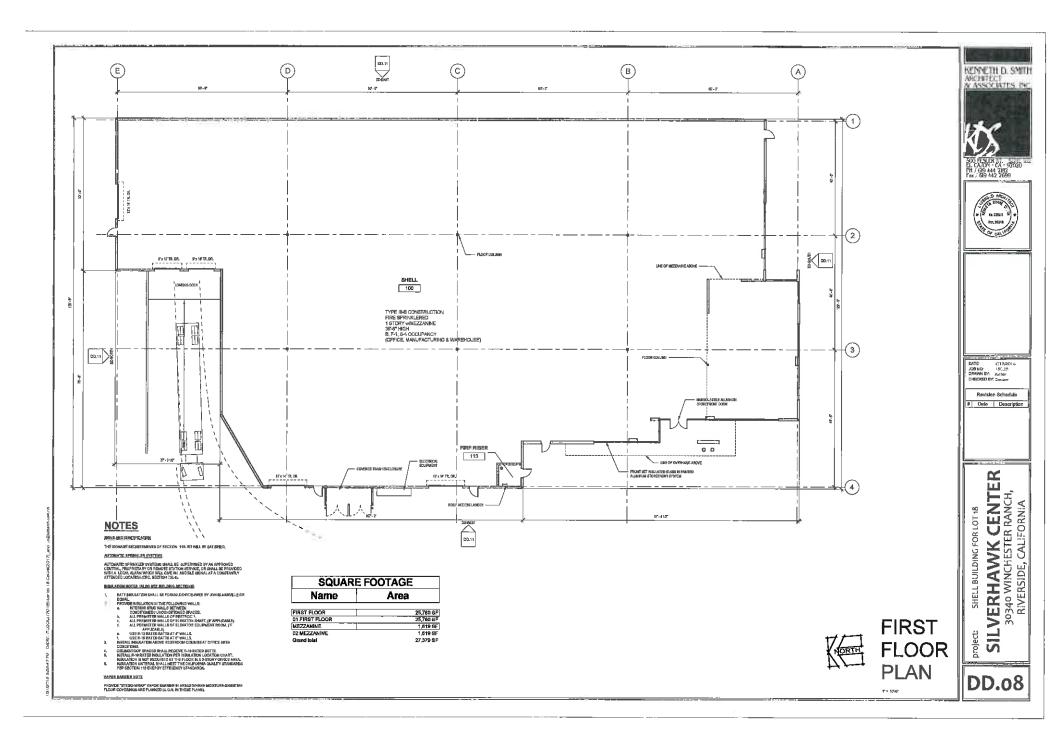
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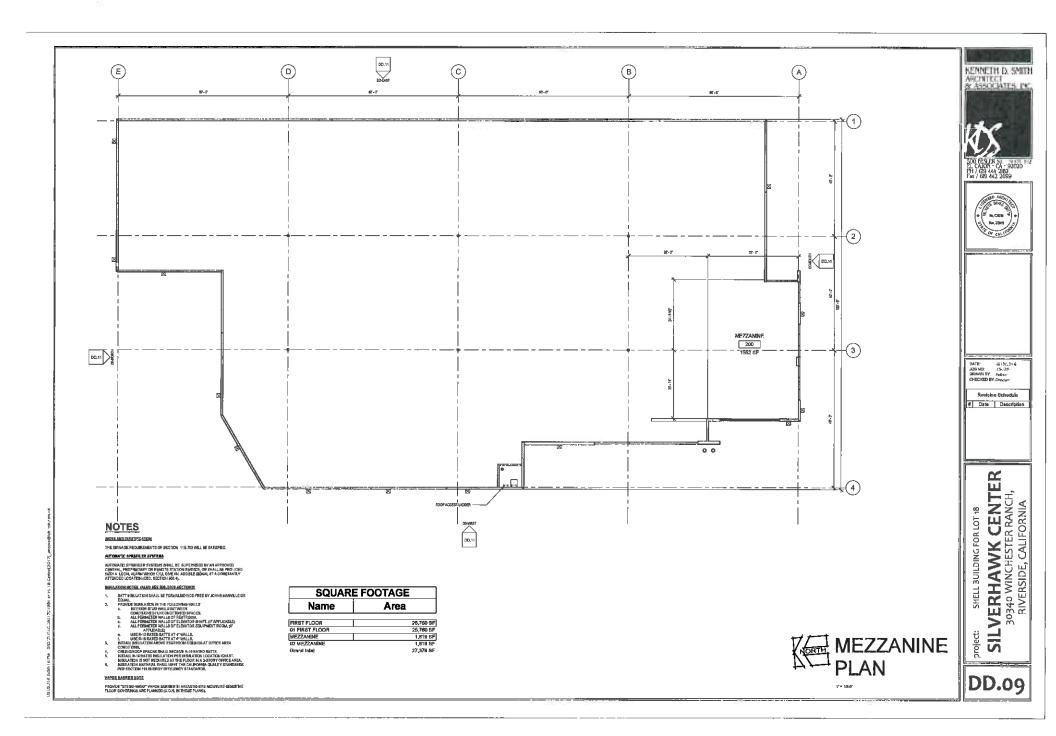
Revision Schedule # Date Description

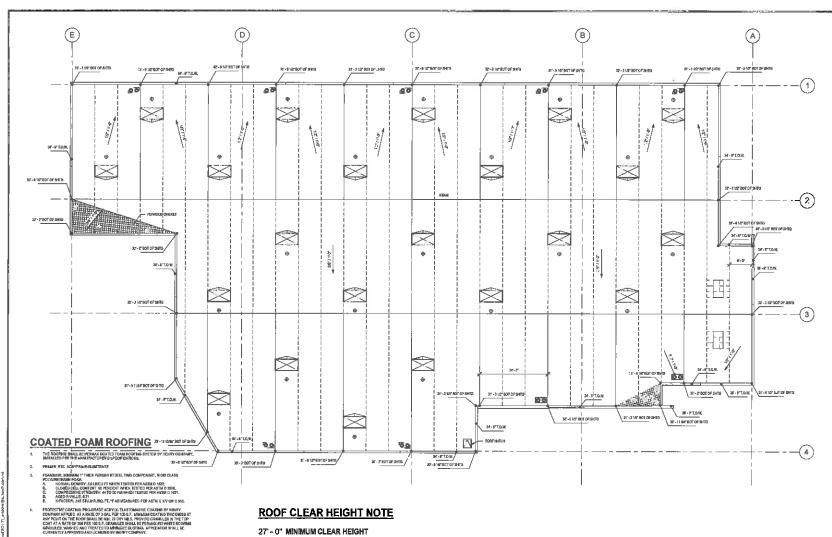
SHELL BUILDING FOR LOT 18

VERHAWK CENTER 30340 WINCHESTER RANCH, RIVERSIDE, CALIFORNIA

project:







ROOF CLEAR HEIGHT NOTE

27' - 0" MINIMUM CLEAR HEIGHT

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COOL ROOF RATING COUNCIL PRODUCT LISTING FOR PERMAX 120 0820-01276

5. ICC-ES REPORT MESS-2132

UL CERTIFICATION NUMBER TGPU.R10185 SYSTEM RT2038.

FOR LEED PROJECTS ALL PRODUCT CONTAINERS SHALL BE RECYCLED.

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SLOPE ROOF 38"MM. PER LINEAL POOT, U.A.O.

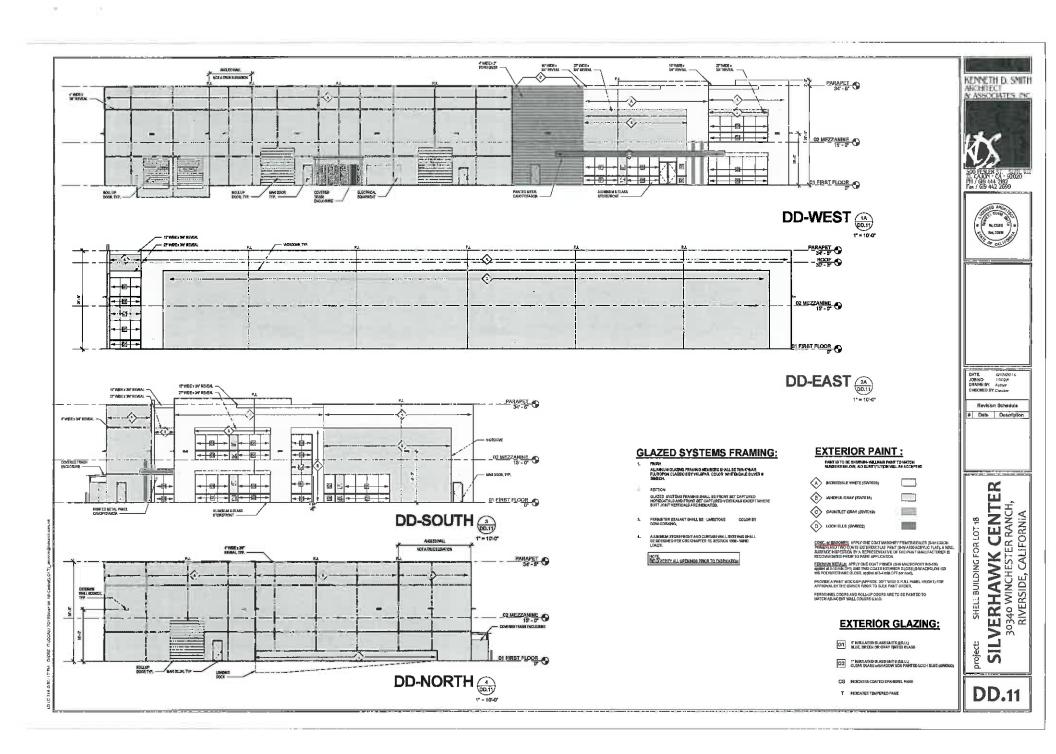


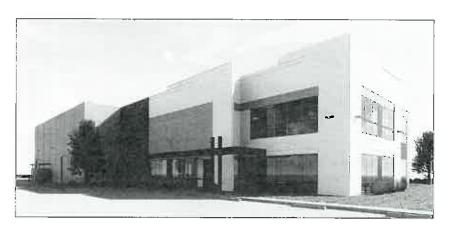
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Revision Scheduls # Dats Description

VERHAWK CENTER 30340 WINCHESTER RANCH, RIVERSIDE, CALIFORNIA SHELL BUILDING FOR LOT 18

project:





SOUTH WEST





Revision Schadula

SILVERHAWK CENTER
30340 WINCHESTER RANCH,
RIVERSIDE, CALIFORNIA SHELL BUILDING FOR LOT 18

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF TEMECULA, COUNTY OF RIVERCIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 18, INCLUSIVE, OF PARCEL MAP NO. 23248-2 ON FILE IN BOOK 174 PAGES 9 THROUGH 14, INCLUSIVE, OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

14, INCLUSIVE, OF PARCID MAPS, RECORDS OF RESIDES COUNTY, CAUEDONA.

14. INCL. IN PROFIT, MIREPLAS, MEMORA, RIGHT, MATURE, ADS RIGHT, AND OTHER HYDROCARDING BY WHATGHER MAND RIGHT GROWN STREET, AND OTHER HYDROCARDING BY WHATGHER MAND RECORDS. DOZETHER WITH THE PERSPECUAL RIGHT OF DRILLING, MINING, DEPLORING, AND OFFRATION THEREFORE AND STORING IN THE REMOVING THE DRILLING, MINING, DEPLORING, AND OFFRATION THEREFORE AND STORING IN THE REMOVING THE SHALL PROMISE SEE UNIT OF RAY OTHER LAND, DICTIONS OF THE MANDE STREET, OR SHALL PROMISE SEE UNIT OF RAY OTHER LAND, DICTIONS OF THE MANDE STREET, OR SHALL PROMISE SEE OF THE LAND OF RESIDES AND STREET, OR SHALL PROMISE AND SHAPES MODE AND SHALL PROMISE SEE OF THE LAND WILLS, TINNELS AND SHAPES MODE AND SHAPES OF THE MANDE SHAPES AND SHAPES WITH SHAPES AND SHAPES WITH SHAPE SHAPES AND SHAPES WITH SHAPES AND SHAPES WITH SHAPE SHAPES AND SHAPES WITH SHAPES AND SHAPES WITH SHAPES WITH SHAPES AND SHAPES WITH SHAPES WITH SHAPES AND SHAPES WITH SHAPES

APN'& 957-371-010-9 (AFFECTS PARCEL 18) TOWNSHIP: 175 RANGE: R2W SECTION: 18

LAND USE AND ZONING:

EXISTING LAND USE: EXISTING ZONING: SP 213(SPECIFIC PLAN 213 - PLANNING AREA 9 UNICHESTER PROPERTIES)

PROPOSED LAND USE:
PROPOSED ZONING: SP 213 (SPECIFIC PLAN 213 -- PLANNING AREA 9 WINCHESTER PROPERTIES)

SCHOOL DISTRICT:

TEMECULA VALLEY UNIFIED SCHOOL DISTRICT 31350 RANCHO VISTA ROAD TEMECULA, CA 92592 (951)676-2661

UTILITY PURVEYORS:

WATER: RANCHO CALIFORNIA WATER DISTRICT CONTACT: MIM KERCKHOFF KERCKHOFF WORANCHOWATER.COM (951)296-6994

SEWER: EASTERN MUNICIPAL WATER DISTRICT (EMWD) (951)928-3777 X2081

Q.".
SOUTHERN CALIFORNIA GAS CD,
CONTACT: PETER PETROV
PKPETROVOSEMPRAUTILITIES.COM

ELECTRICITY: SOUTHERN CALIFORNIA EDISON CONTACT: MINDI DE LA TORRE MÉLIND://DÉGISCE.CDM (951)249-8356

TELEPHONE: FRONTIER COMMUNICATIONS (800)921-8101

GRADING QUANTITIES:

PLAN NOTE:

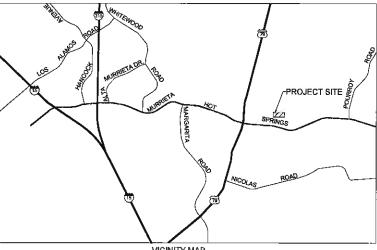
THE PLAN IS PROMISED TO ALLOW FOR FULL AND ADDIDATE
THE PLAN IS PROMISED FOR ARROYSED DEVELOPMENT PRIBLET.
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PROVAL OF THIS PLAN GOES NOT CONSTITUTE AN APPROVAL TO
PERFORM ANY CRADING SHOWN HEREON, AND ACKEES TO GETAIN
VALID GRADING PERMISSIONS SECORE COMMENCION SIGH ACTION

REQUIRED PARKING TABLE:

TOTAL REQUIRED SPACES TOTAL PROVIDED

PLOT PLAN PP26342 "SILVERHAWK CENTER"

Murrieta, County of Riverside, California



VICINITY MAP NOT TO SCALE

FASEMENTS:

1. THE LIEN OF LPECIAL TAX ASSESSED PURSUANT TO CHAPTER 2.5 COMMENCING WITH SECTION 53311 OF THE CALIFORNIA GOVERNMENT CODE FOR COMMUNITY FACILITIES DISTRICT NO. 88-4, AS DISCOSED BY MODIC OF SPECIAL TAX LIEN RECORDED MARCH 14, 2002 AS INSTRUMENT NO. 2002-1300BB OF OFFICIAL RECORDS.

 $2.\,$ THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.

AN EASEMENT FOR RAILWAY EASEMENT AND INCIDENTAL PURPOSES, RECORDED JULY 25, 1912 IN BOOK 356 OF DEEDS, PAGE 195.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

AN EASEMENT FOR PUBLIC LITILITY EASEMENT AND INCIDENTAL PURPOSES, RECORDED JUNE 28, 1914 IN BOOK 399 OF DEEDS, PAGE 52.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

3. AN AGENCY AGREEMENT DATED MARCH 29, 1979 BY AND BETWEEN KACOR REALTY AND RANCHO CALIFORNIA WATER DISTRICT WHEREIN IT IS AGENCIED THAT SAID DISTRICT IS DESIGNATE AS EXCLUSING AGENT FOR THE EXTRACTION, DIVERSION, STOPPAGE, BLANDING AND DISTRIBUTION OF ALL LOCAL WATER, RECORDED MAY 07, 1979 AS INSTRUMENT NO. 92330 DF OFFICIAL RECORDS OF RUFESSEE COUNTY, CALIFORNIA.

THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "CATY
EASEMENT AND ACCESS AGREEMENT" RECORDED DECEMBER 30, 1988 AS INSTRUMENT NO.
232375 AND RE-RECORDED JAMMARY 27, 1989 AS INSTRUMENT NO. 27221, BOTH OF OFFICIAL
RECORDS.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

8. THE EFFECT OF AN ENVIRONMENTAL CONSTRAINT NOTE AFFECTING SAID MAP ON FILE IN THE OFFICE OF THE RIVERSIDE COUNTY SURVEYOR, IN E.C.S. BOOK 23 PAGE(S) 90.

AN EASEMENT FOR AVIGATION AND INCIDENTAL PURPOSES, RECORDED JUNE 24, 2010 AS INSTRUMENT NO. 2010—0291845 OF OFFICIAL RECORDS.

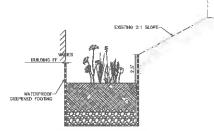
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THE TERMS AND PROJISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF RESTRICTIVE COVENANT" RECORDED APRIL 19, 2017 AS INCTRUMENT NO. 2017—0157115 OF OFFICIAL RECORDS.

COUNTY SERVICE AREA:

IN OR PARTIALLY WITHIN MURRIETA #143 - STREET LIGHTING SUB ZONE: 3

COMMUNITY FACILITY DISTRICT NO. 88-4 (WINCHESTER RANCH) OF THE COUNTY OF RIVERSIDE



BIOFILTRATION BASIN DETAIL NOT TO SCALE

GEOLOGIC HAZARDS:

LIQUEFACTION

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FEMA FLOODPLAIN: ZONE X - AREA OF MINIMAL FLOOD HAZARD

APN & SITE ADDRESS:

APN: 957-371-010

ADDRESS: 30400 COMMETCE COURT MURRIETA, CA 92523

APPLICANT/OWNER:

MARMONY GROVE PARTNERS LP. & JIB SILVERHAWK LP. 1000 PIONEER WAY, EL CAJON CA 92020 COMTACT: PAUL GIESE (619)440-7424 PAULGHAMANICO.COM

CONSULTANT INFORMATION:

ENGINEER:
REC CONSULTANTS, INC.
2442 2ND AVE, SAN DIEGO, CA 92101
CONTACT: ANGE ORTIZ (619)326-6005 ANGEOREC-CONSULTANTS.COM

SURVEY: REC CONSULT/INTS, INC. 2442 2ND AVE. SAN DIEGO, CA 92101 CONTACT: ALAN REAM (619)326-6002 ALANGREC-CONSULTANTS.COM

ARCHITECT: MENNETH D. SMITH ARCHITECT & ASSOCIATES, INC. 500 FESLER STREET, SMITE 1D2 EL CAJON, CA 92020 DONTACT: ALEX MODOE (619)444—2182 X234 ALE:JMENOSARCH.COM

GEOTECHNICAL:
IEIGHTON & ASSOCIATES, INC.
41715 ENTERPRISE CIRCLE, N., SUITÉ 103 TEMECULA, CA 92590.
CONTACT: ROBERT RINA
(95)2980-0530
RENHABELIGICTONGROUP.COM

ENGINEER OF WORK:



REC CONSULTANTS, INC 2442 SECOND AVENUE SAN DIEGO, CA 92101

R.C.E. 64811

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Engineering-Environmental Land Surveying

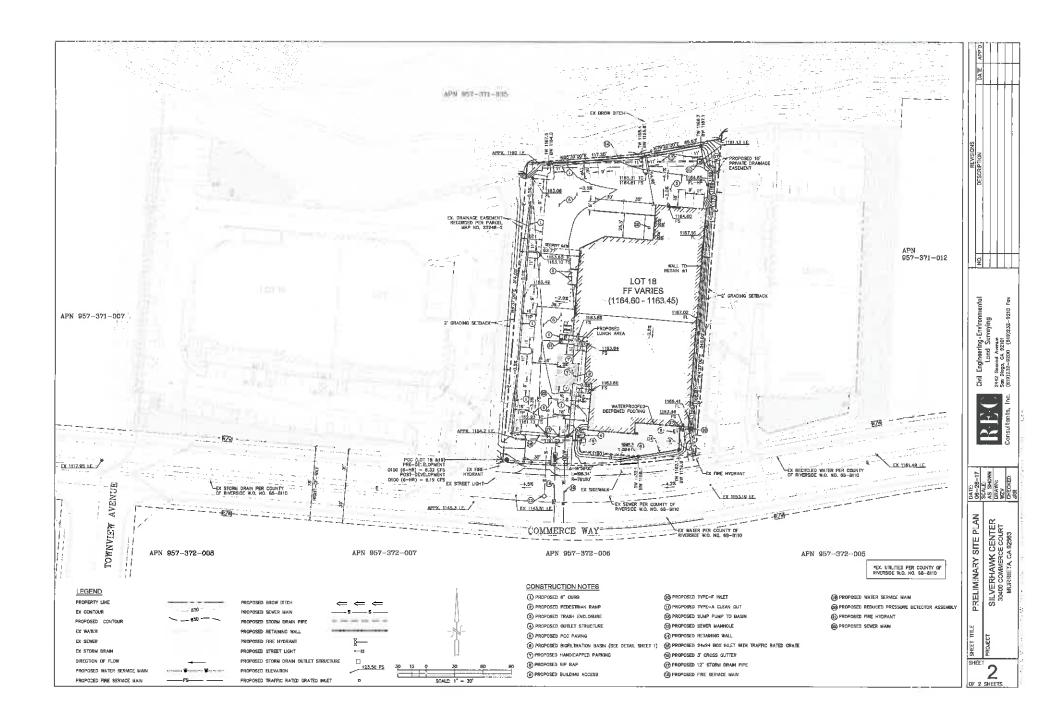
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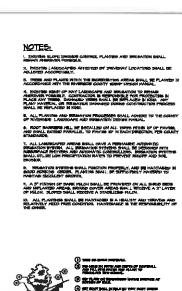
DATE: 08-12-17 SCALE: AS SHOW DRAWN: AO CHECKED: JRR

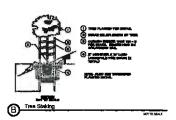
SILVERHAWK CENTER 30400 COMMERCE COURT MURRIETA, CA 92563 PLAN PLOT

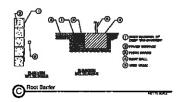
SHEET TITLE

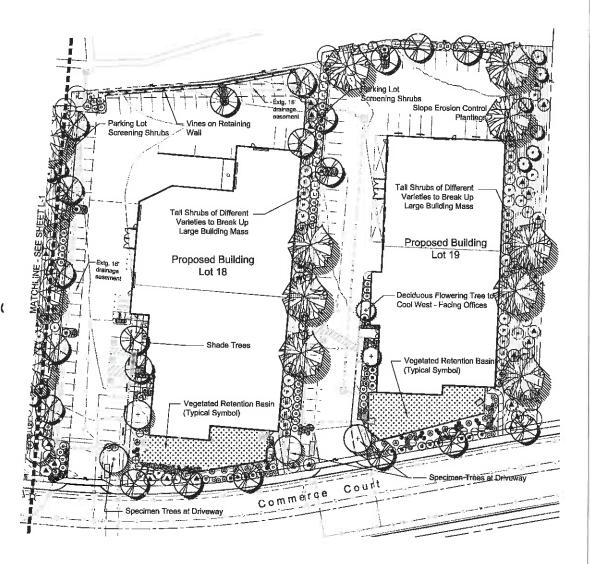
SHEET











Prior to project construction, I agree to submit a complete Landscape Construction Document Package that compiles with the requirements of applicable ordinances, Including but not necessarily limited to Ordinance No. 859.3, Ordinance 348, Ordinance 461, project Conditions of Approval, and in substantial conformance with the eproved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.

French Valley Airport Impact Areas;

Lots 18 & 19 falls within the French Valley Zone C: applicable standards for landscape - Hazards to filight, (no planting to attract birds), height restrictions to below 70' tall.









Commission Colonial Plan.

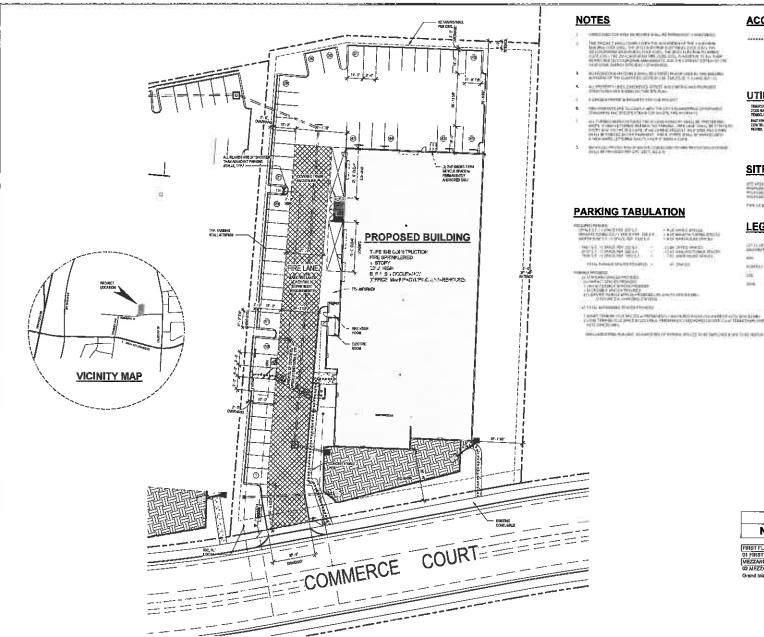


DATE 7/24/17
DRAWN SY: CCF
JOS NAMER: 11003
REVISIONS:





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- ALL PROPERTY OF THE RESIDENCE OF THE RES
- Berman Wilder the Depth Code for the Mile Management and Only II Physical Rev. at C. 1611 6.

ACCESSIBLE PATH OF TRAVEL

UTILITY & SCHOOL DISTRICTS

SITE INFORMATION

LEGAL DESCRIPTION

mit-different sincial agreements 20027544 THE SERVICE PARTY.

OWNER

SQUARE FOOTAGE			
Name	Агеа		
FIRST FLOOR	20,541 SF		
91 FIRST FLOOR	20,541 SF		
MEZZANINE	1,301 8F		
02 MEZZANINE	1.301 SF		

Grand total





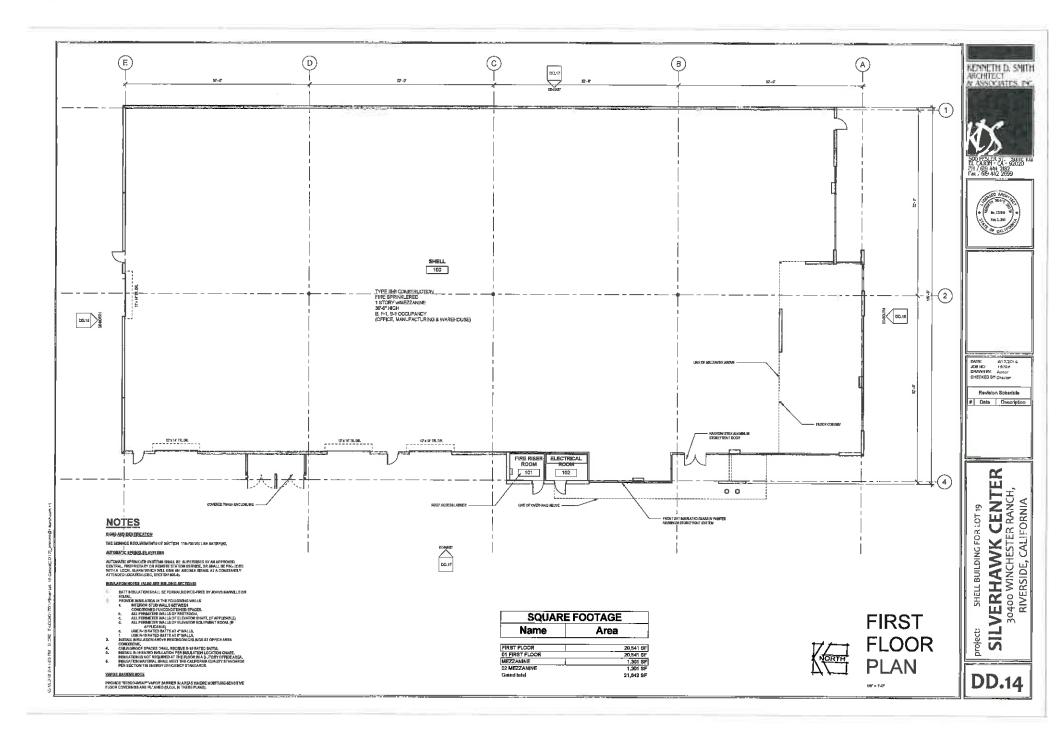


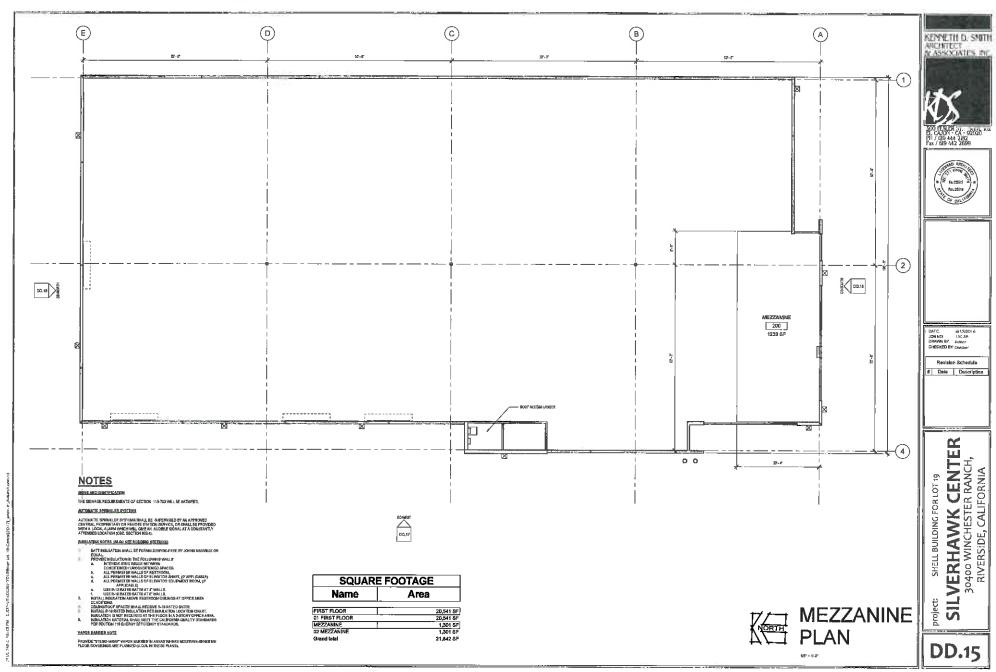
DATE. 6/15/2016
JOB NO. 15028
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CHECKED BY, Cliecter

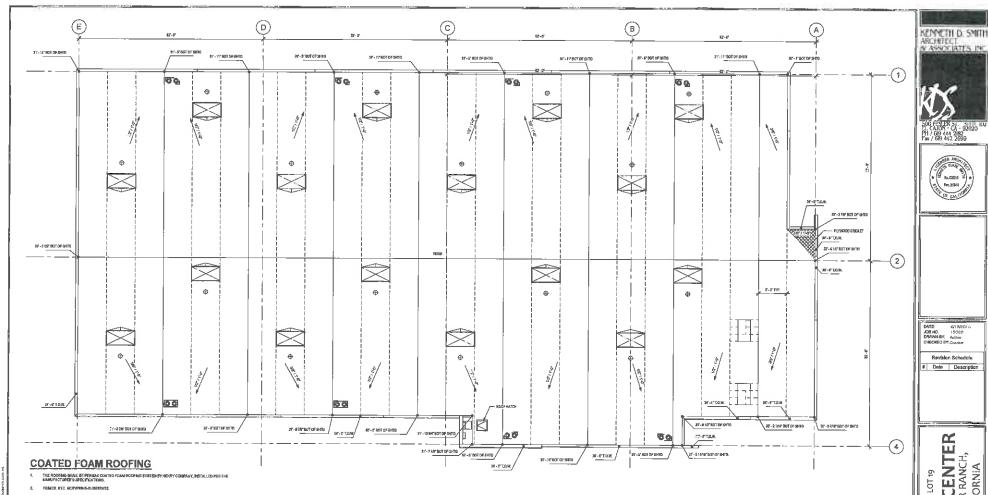
Revision Schedule # Date Description

VERHAWK CENTER 30400 WINCHESTER RANCH, RIVERSIDE, CALIFORNIA SHELL BUILDING FOR LOT

project: SIL







- FOMMER UNING A STREET PROCESSION AND COMPONENT, BEDD CLASS POLYJEETHAME FOMA.

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 LOCATION AND COURTY AS LOCATION AND THE ACTUAL OLGO.

 COMPRESSOR ATTENDATION AT OR SO PO

- COOL ROOF RATING COUNCIL PRODUCT LISTING FOR PERMAX 120 0698-0030
- ICC-EB REPORT MESS-2132
- UL CERTIFICATION MUMPER TORSUR HOIAS SYSTEM RE2015.
- SEE THE MANUFACTURER'S SPECIFICATIONS FOR COMPLETE PRODUCT AND INSTALLATION REQUIREMENTS
- THE CONTRACTOR SHALL BISUE A HON-DEPRECIATING 10 YEAR WARRANTY FOR LABOR AND MATERIALS.
- FOR LIED PROJECTS ALL PRODUCT CONTAINERS SHALL BE RECYCLED,
- ALL EUEVATIONS SHOWN ARE FROM PINISH FLOOR SLAB TO TOP OF ROOF FRAMING MEMBER.
- SLOPE ROOF 36' MIN, PER LINEAL FOOT, MIN.O.

ROOF CLEAR HEIGHT NOTE

27' - 0" MINIMUM CLEAR HEIGHT

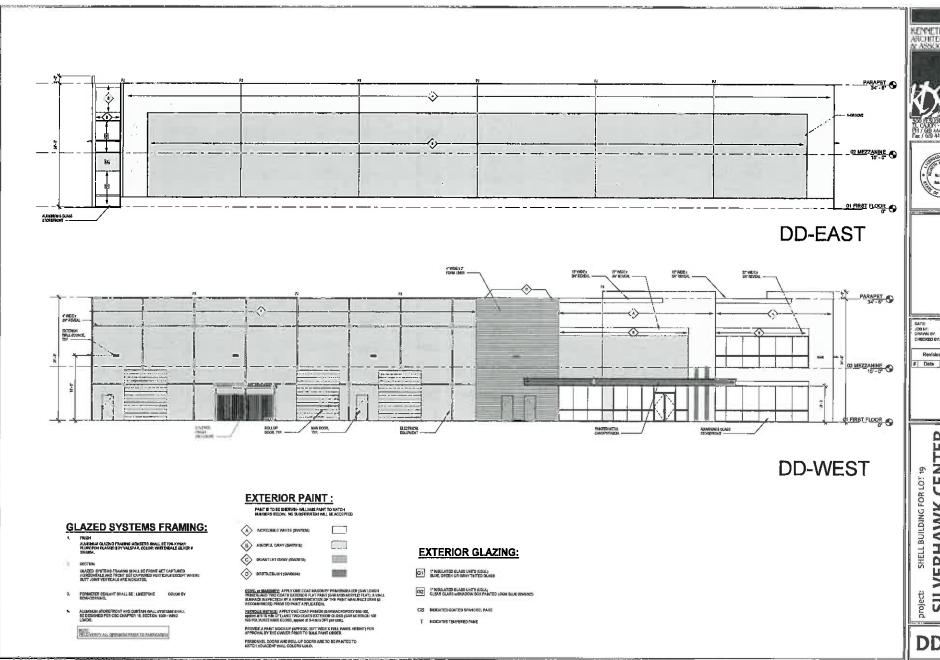
ROOF

DD.16

SILVERHAWK CENTER 30400 WINCHESTER RANCH, RIVERSIDE, CALIFORNIA

DATE: 6/15/2011
JOB NO. 150/28
DRAWN BY: Author
CHECKED BY: Clucker

Revision Schedule # Date Description



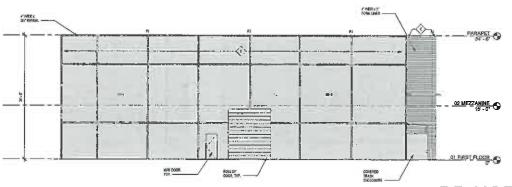
KENNETH D. SMITH ARCHITECT ALASSOCIATES, INC.



DATE 6/13/2016 JOB NO 1502A DRAWN BY. Arthor CHECKED BY: Checker

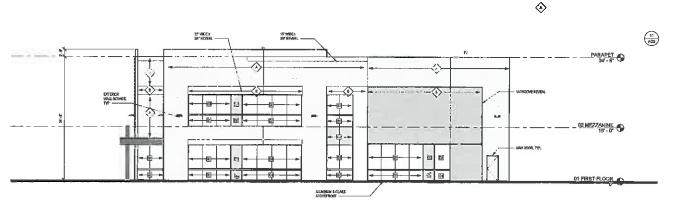
Date Description

SILVERHAWK CENTER
30400 WINCHESTER RANCH,
RIVERSIDE, CALIFORNIA



DD-NORTH

DD-SOUTH



EXTERIOR PAINT:

PAINT IS TO SE SHERWIN-WILLIAMS PAINT TO MATCH NUMBERS BELOW. NO SUBSTITUTION WILL BE ACCEPTED

GLAZED SYSTEMS FRAMING:

- PERIMETER SEALANT SHALL BE: LIMESTONE COLOR BY DOM-CORNING.

NOTE: FIELD VENIPY ALL OPENINGS PRIOR TO FARRICATION

$\langle \! \rangle$	DOLOR 1	
(B)	COLOR 2	
③	COLOR 3	

D MOT LISED

EXTERIOR GLAZING:

- 1' INSULATED GLASS UNITS (LO.L.) BLUE, ORBERI OR GRAY TINTED GLASS
- GZ T MISULATED GLASS UNITS (LO.U.)
 CLEAR GLASS WISHADOW BOX PAINTED LOCH BLUE (SW.580.2)
- CS INDICATES COATED SPANDREL PAHE
- T INDICATES TEMPERED PANE

KENNETH D. SMITH ARCHITECT W. ASSOCIATES, INC.



DATE: \$73,5016 JOB ASC: 15028 DRAWN BY: Author CHECKED BY: Checker

Revision Schadule # Date Description

SILVERHAWK CENTER
30400 WINCHESTER RANCH,
RIVERSIDE, CALIFORNIA



SOUTH WEST





Proteon Schedule

Note Description

SILVERHAWK CENTER
30400 WINCHESTER RANCH,
RIVERSIDE, CALIFORNIA SHELL BUILDING FOR LOT 19

LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF TEMECULA, COUNTY OF REFERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 19, INCLUSIVE, OF PARCEL MAP NO. 23248-2 ON FILE IN BOOK 174 PAGES 8 THROUGH 14, INCLUSIVE, OF PARCEL MAPS, RECORDS OF RILERSIDE COUNTY, CALIFORNIA.

14. INCLUSIVE, OF PARCIA JAMPS, RECORDS OF RIJECTION TO CAULTORNAY CALLFORNAY.

ALL CLL. IT. REPORTS, MAREFALE, MEIDEA, ROUTH, MATURAL ASS REGILES, AND OTHER PRODUCTS INTO CARRIED TO THE PRODUCTS IN MAREFALE TO THE PRODUCTS OF THE PARCIAL STATE OF THE PARCIAL S

APN'S: 957-371-011-0 (AFFECTS PARCEL 19)

LAND USE AND ZONING:

EXISTING LAND USE:
EXISTING ZONING; SP 213(SPECIFIC PLAN 213 - PLANNING AREA 9 WINCHESTER PROPERTIES)

PROPOSED LAND USE: PROPOSED ZONING: SP 213 (SPECIFIC PLAN 213 - PLANNING AREA B WINCHESTER PROPERTIES)

SCHOOL DISTRICT:

TEMECULA VALLEY UNIFIED SCHOOL DISTRICT 31350 RANCHO VISTA ROAD TEMECULA, CA 92592 (951)678-2661

UTILITY PURVEYORS:

WATER: RANCHO CALIFORNIA WATER DISTRICT CONTACT: KIM KERCKHOFF KERCKHOFFKORANCHOWATER, COM

EASTERN MUNICIPAL WATER DISTRICT (EMWD) (951)928-3777 ×2081

GAS: SOUTHERN CALIFORNIA GAS CO, CONTACT: PETER PETRO: PKPETRO-WISEMPRAUTILITIES.COM

ELECTRICITY: SOUTHERN CALIFORNIA EDISON CONTACT: MIND! DE LA TORRE MELINDA DEOSCE.COM (951)249-8356

FRONTIER COMMUNICATIONS (800)921-6101

GRADING QUANTITIES:

PLAN NOTE:

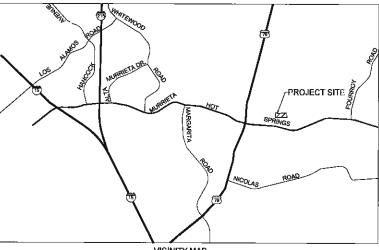
THE PILAN IS PROVIDED TO THEM FOR FILL AND ADERNATE DISTRIBUTION OF THE PILAN IS ADERNATED THE SERVICE AND ADERNATION OF THE PILAN EXPENDED THAT ADERPHACE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO GETAIN VALID GRADING PERMISSIONS EFFORE COMMENCING SUCH ACCOUNTY OF THE PILAN DESCRIPTION OF THE PILAN EXPENSE OF THE PILAN

TOTAL REQUIRED SPACES

BUILDING AREA (SF) BUILDING HEIGHT 22,400 36'-6"

PLOT PLAN PP26343 "SILVERHAWK CENTER"

Murrieta, County of Riverside, California



NOT TO SCALE

EASEMENTS:

THE UEN OF SPECIAL TAX ASSESSED PURSUANT TO CHAPTER 2.5 COMMENCING WITH SECTION 33311 OF THE CAUSONIA COMFINIENT CODE FOR COMMUNITY FACILITIES DISTRICT NO. 88—4, AS DISCOSED BY MOTION OF SPECIAL TAX UEN RECORDED MARCH 14, 2002 AS INSTRUMENT NO. 2002-130080 OF OFFICIAL RECORDS.

THE LIEN OF SUPPLEMENTAL TAXES, # ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA RELEMBE AND TAXATION CODE.

AN EASEMENT FOR RAILWAY EASEMENT AND INCIDENTAL PURPOSES, RECORDED JULY 25, 1912 IN BOOK 356 OF DEEDS. PAGE 195.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM DECORD INFORMATION.

5. AH AGENCY AGREEMENT DATED MARCH 28, 1979 BY AND BETWEEN KACOR REALTY AND
RANCHO CALEFORNIA WATER DISTRICT WERERIN TIS AGREED THAT SAID DISTRICT IS DESIGNATE
AS EXCLUSIANT, CHEATER FOR THE CHIRACTHON, DIVERSION, STORAGE, BLENDING AND DESIGNATE
OF ALL LOCAL WATER, RECORDED MAY 07, 1979 AS INSTRUMENT NO. 92330 OF OPPICIAL
RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

THE TERMS, PROMISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITIZED "CATV EASEMENT AND ACCESS AGREEMENT" RECORDED DECEMBER 30, 1988 AS INSTRUMENT NO. 398578 AND RE-RECORDED JANUARY 27, 1988 AS INSTRUMENT NO. 27221, BOTH OF GFFICIAL RECORDS.

THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

THE TERMS AND PROVISIONS CONTAINED IN THE DIGCUMENT ENTITLED "RESOLUTION" RECORDED NOVEMBER 13, 1980 AS INSTRUMENT NOS. 413700 AND 413701, BOTH OF OFFICIAL RECORDS.

8. THE EFFECT OF AN ENVIRONMENTAL CONSTITAINT NOTE AFFECTING SAID MAP ON FILE IN THE OFFICE OF THE RIVERSIDE COUNTY SURVEYOR, IN E.C.S. BOOK 23 PAGE(S) BO.

AN EAZEMENT FOR AVIGATION AND INCIDENTAL PURPOSES, RECORDED JUNE 24, 2010 AS INSTRUMENT NO. 2010-0291845 OF OFFICIAL RECORDS.

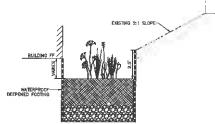
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THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF RESTRICTITE COVENANT" RECORDED APRIL 19, 2017 AS INSTRUMENT NO. 2017—0157115 OF OFFICIAL RECORDS.

COUNTY SERVICE AREA:

IN OR PARTIALLY WITHIN MURRIETA \$143 - STREET LIGHTING SUB 70NE 3

COMMUNITY FACILITY DISTRICT NO. 88-4 (WINCHESTER RANCH) OF THE COUNTY OF RIVERSIDE



BIOFILTRATION BASIN DETAIL

GEOLOGIC HAZARDS:

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HOUSE ACTION

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OTHER GEOLOGIC HAZARDS: SEE GEOTECHNICAL PREPARED BY LEIGHTOW AND ASSOCIATES.

SET. GOTTGENEDAL, PREPARED BY LEIDHTON AND ASSOCIATES.

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SUBJECT TO OVERFLOW, MUNDATION, OR FLOOD HAZARDS: FRUI PANIEL - BONDEGIZZADO THE FLOOD HAZARD ZONE 1S: ZONE X AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE OF FLOODPLAY.

FEMA FLOODPLAIN: ZONE X - AREA OF MINIMAL FLOOD HAZARD

APN & SITE ADDRESS:

APN: 957-371-511

APPLICANT/OWNER:

HARMONY GROVE PARTNERS L.P. & JUB SILVERHAWK L.P. 1000 PIONEER WAY, EL CAJON CA 92020 CONTJICT: PAUL GESE (619)440-7424 PAUL@HAMANNCO.COM

CONSULTANT INFORMATION:

ENGINEER: REC CONSULTANTS, INC. 2442 2ND AVE. SAN DIEGO, C1 92101 CONTACT: ANGIE GRITZ (619)326-6005 ANGEOREC-CONGULTANTS.COM

SURVEY: REC CONSULTANTS, INC. 2442 2ND AVE. SAN DIEGO, CA 92101 CONTAGT: ALAK REAM (619)326-6002 ALANGKEC-CONSULTANTS.COM

ARCHITECT:
KENNETH D. SMITH ARCHITECT & ASSOCIATES, INC.
500 FESLER STREET, SMITE 102 EL CAUON, CA 92020
CONTACT: ALEX MODRE

GECTECHNICAL: LEIOYTON & ASSOCIATES, INC. 41715 ENTERFRISE CIRCLE N., SUITE 103 TEMECULA, CA 92580 CONTACT. ROBERT RIMA (951)298—0530

ENGINEER OF WORK:



REC CONSULTANTS, INC. 2442 SECOND AVENUE SAN DIEGO, GA 92101 PH. (619) 232-9200

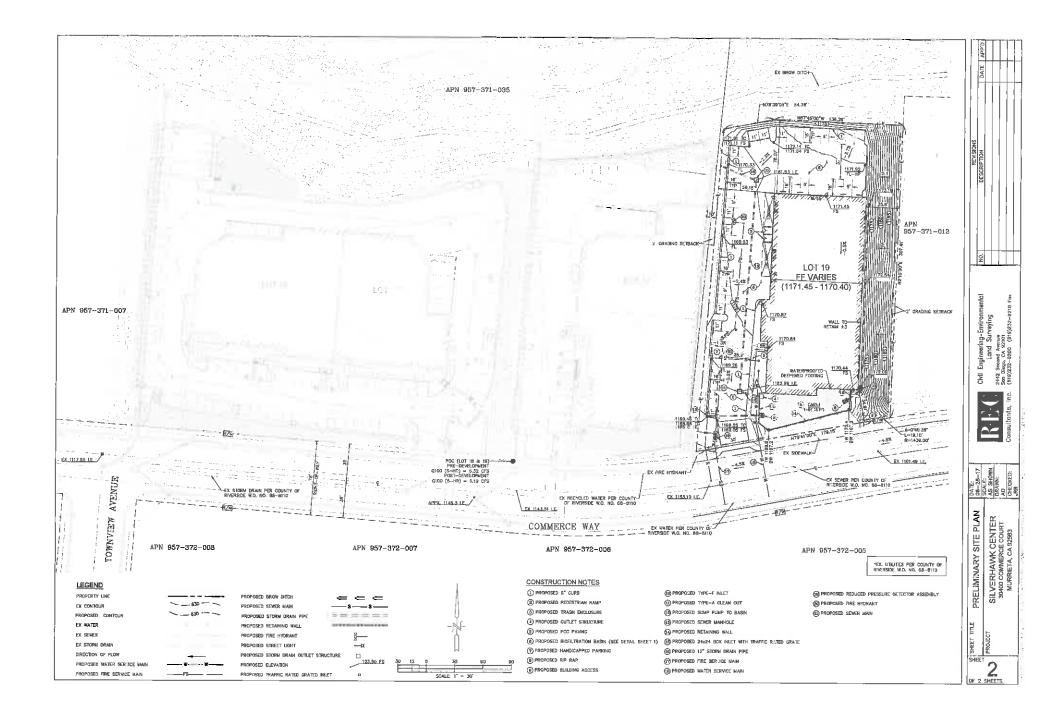
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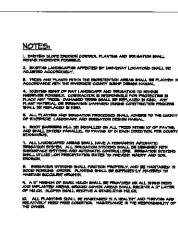
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DATE: 08-12-17 SCALE: AS SHOWN DRAWN: AD

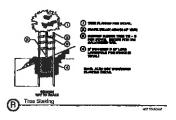
S);LVERHAWK CENTER 30400 COMMERCE COURT MURRIETA, CA 92563 PLAN PLOT

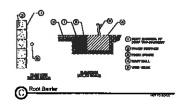
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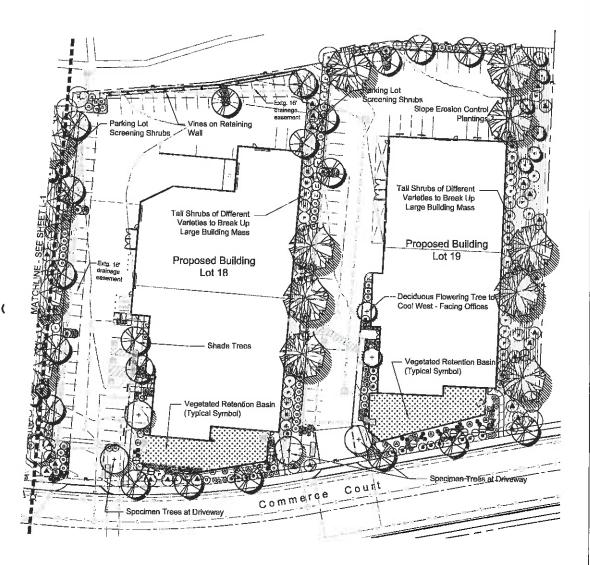












Prior to project construction, I agree to submit a complate Landscape Construction Document Package that compiles with the requirements of applicable ordinances, including but not necessarily limited to Ordinance No. 859.3, Ordinance 348, Ordinance 461, project Conditions of Approval, and in substantial conformance with the approved Landscape Concept Plan. Should the ordinances be revised, plans may be subject to change.

French Valley Airport Impact Areas:

Lots 18 & 19 falls within the French Valley Zone C: applicable standards for landscape - Hazards to flight, (no planting to attract birds), height restrictions to below 70' tall.









Landscape Concept Plan, Paning Notes and Details

PROJECT NAME
Silvantawk
Loto 16. PP-26343
Municia, California

DATE: 1/24/I DRAWN SY: CC LOS NAMES: ITCC HLE:





2442 Second Avenue San Diego, California 92101

> Phone: 619.232.9200 Fax: 619.232.9210

5/18/18

Riverside County Airport Land Use Commission 4080 Lemon Street 14th Floor Riverside, CA 92501

RE: Vegetated Retention Basins (Silverhawk Plot Plan Application #P26340-26343)

To whom it may concern:

In Regard to the bioretention basins for the "Silverhawk Industrial Park" specifically APN's 957-371-008-8,-9, 957-371-010-9, and 957-371-011-0, the basins serving these lots will be maintained by the property owner per a stormwater quality management plan operations and maintenance schedule. It is the owner's responsibility to provide annual certification to Riverside County demonstrating the BMP's have been properly maintained and are functioning as intended.

The basins are vegetated with grasses and brush that are drought tolerant that can take seasonal inundations. This type of vegetation would not support the functions of a wetland habitat. The operations and maintenance schedule details several routine measurements to be taken quarterly, semi-annually and annually to ensure a properly functioning bioretention basin. Per this schedule vegetation will not grow beyond 12 inches in height and will be maintained at approximately 6 inches long throughout the year.

Basin Surface Drawdown Time

The BMP and orifice dimensions provided in Table 1 of the Hydrology Report for the project were used to determine both a surface volume and orifice flow rate. Using the discharge flow rate of the orifice and volume, the drawdown time (time of water remaining in the basin) was determined for each basin, see table below.

BMP	Volume (cf)	Orifice Flow Rate (cfs)	Drawdown Time (hrs)
1	5361	0.131	11
2	4632	0.074	17
4	6009	0.166	10

The BMPs will discharge all water within the required time of 48hrs per the Santa Margarita Watershed Water Quality Management Plan.

Should you have any further questions please contact me at your convenience.

Sincerely,

Raab Rydeen, PE REC Consultants

(619) 326-6017

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING:

Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING:

June 14, 2018

TIME OF HEARING:

9:00 A.M.

CASE DESCRIPTION:

ZAP1081FV18 — JJB Silverhawk LP/Hamann Construction (Representative: Linda Richardson) — County Planning Case Nos. PP26340, PP26341, PP26342, PP26343 (Plot Plans). A proposal to develop "Silverhawk Center," consisting of four industrial buildings with a total gross floor area of 85,931 square feet to be located on the north side of Commerce Court, easterly of its intersection with Townview Avenue and westerly of its intersection with Calistoga Drive in the unincorporated community of French Valley. PP26340 proposes a 20,474 square foot building on APN 957-371-008. PP26341 proposes a 16,236 square foot building on APN 957-371-009. PP26342 proposes a 27,379 square foot building on APN 957-371-010. PP26343 proposes a 21,842 square foot building on APN 957-371-011. (Airport Compatibility Zones B1 and C of the French Valley Airport Influence Area).

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Desiree Bowdan of the County of Riverside Planning Department at (951) 955-8254.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

6/2c

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUM	BER: ZAPIO81 FV18 DATE SI	JBMITTED: April 30, 2018				
APPLICANT / REPRE	SENTATIVE / PROPERTY OWNER CONTACT INFORMATION					
Applicant	JJB Silverhawk LP	Phone Number 619-440-7424				
Mailing Address	1000 Pioneer Way Email paul@hamannco.com					
	El Cajon CA 92020					
Representative	Linda Richardson	Phone Number 619-440-7424				
Mailing Address	1000 Pioneer Way	Email linda@hamannco.com				
	El Cajon CA 92020	CHRII III GA GIATHAILIICO.COIII				
Property Owner	JJB Silverhawk LP	Phone Number 619-440-7424				
Mailing Address	1000 Pioneer Way	Email				
El Cajon CA 92020						
LOCAL JURISDICTION	AGENCY					
Local Agency Name	County of Riverside	Phone Number 1-951-955-8254				
Staff Contact	Desiree Bowie	Email dbowie@rctlma.org				
Mailing Address	4080 Lemon Street 12th floor	Case Type				
	Riverside, CA 92502-1629	☐ General Plan / Specific Plan Amendment ☐ Zoning Ordinance Amendment				
leedann B. L. IN	<u> </u>	Subdivision Parcel Map / Tentative Tract				
Local Agency Project No	pp 26340, 26341, 26342, 26343	Use Permit Site Plan Review/Plot Plan				
		Other				
PROJECT LOCATION						
Attach en accurately scaled	map showing the relationship of the project site to the airport boundary and	runways				
Street Address	30220, 30280, 30340, 30400 Commerce Court					
Assessor's Parcel No.	957-371-08, 09, 010, 011	Gross Parcel Size 1.65/1.38+1.69+1.66				
Subdivision Name	SilverHawk Business Park	Nearest Airport				
Lot Number	16 / 17, 18 & 19	and distance from Airport French Vailey - 4,178'				
PROJECT DESCRIPTION If applicable, attach a detaile include additional project de	ed site plan showing ground elevations, the location of structures, open space	es and water bodies, and the heights of structures and trees;				
Existing Land Use (describe)	Industrial land (vacant)	<u> </u>				
(
-						

Proposed Land Use	3 industrial buildings with associated parking and site improvements						
(describe)	Proposed uses include warehousing (50%), manufacturing (25%), support offices (25%)						
	No storage / manuf. of hazardous	s materials / uses are pro	pposed.				_
	The buildings will be of concrete	construction.					
For Residential Uses	Number of Parcels or Units on Site	(exclude secondary units)				-	
For Other Land Uses	Hours of Operation M-F 7AM to	6PM					
(See Appendix C)	Number of People on Site	Maximum Number 16/1	7: 120 people 18: 135	people	19: 13:	2 people	
	Method of Calculation 16	6/17 Zone B1: 40 / acre	18 & 19 Zone C: 80	/ acre			
Height Data	Site Elevation (above mean sea lev	el)	1,154' / 1	,166' / 1	,173'		f
	Height of buildings or structures (fro	•	36'			: •	
NOTICE	: Failure of an applicant to 340 to 65948 inclusive, of t	o submit complete	or adequate info	ormatio	on pur	suant to S	Sec-
disappro	val of actions, regulations, o	or permits.	minent Code, w	AT CO	ristitut	e grounds	HOL
submittal	TIME: Estimated time for . Estimated time for "common to the next available common to the next availabl	mission level revie	w" is approximat	ely 30 ely 45	days days	from date	e of
SUBMIS							C 01
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3. Gummed address labels of all surrounding property owners within a 300 foot radius of

1.....Local jurisdiction project transmittal **Not yet**3.....Gummed address labels for applicant/representative/property owner/local jurisdiction

grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments) •

1..... CD with digital files of the plans (pdf)

1. Vicinity Map (8.5x11) 1..... Detailed project description

planner

the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.7

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1009CO18 - AT&T (Representative: Smartlink LLC,

Tyler Kent)

APPROVING JURISDICTION:

City of Corona

JURISDICTION CASE NOS:

MCUP2018-0001 (Conditional Use Permit)

MAJOR ISSUES:

None

RECOMMENDATION: Staff recommends that the Commission find the Conditional Use Permit <u>CONDITIONALLY CONSISTENT</u>, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

PROJECT DESCRIPTION: The applicant proposes to construct a 56 foot tall "monotree" wireless communication tower and associated facilities, including a 300 square foot equipment shelter area, on a 6.85 acre parcel. (A 75-foot crane may be in temporary use during construction.)

PROJECT LOCATION: The site is located at 545 Alcoa Circle, southerly of Rincon Street, westerly of Lincoln Avenue, and easterly of Smith Avenue, in the City of Corona, approximately 4,933 feet southeasterly of the easterly terminus of Runway 7-25 at Corona Municipal Airport.

LAND USE PLAN: 2004 Corona Municipal Airport Land Use Compatibility Plan

a. Airport Influence Area:

Corona Municipal Airport

b. Land Use Policy:

Zone C

c. Noise Levels:

Below 55 CNEL from aircraft noise

BACKGROUND:

Non-Residential Intensity: The site is located within Compatibility Zone C of the Corona Municipal Airport Influence Area. Zone C criteria restrict non-residential intensity to 75 people per average acre, and 150 people per single acre. The proposed project is an unmanned wireless facility with no onsite occupancy.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone C of the Corona Municipal Airport Influence Area (children's schools, day care centers, libraries, hospitals, nursing homes, buildings with 3 aboveground floors, highly noise-sensitive outdoor nonresidential uses and hazards to flights).

Noise: The site is located outside the 55 dBA CNEL contour from Corona Municipal Airport. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The distance from the easterly terminus of Runway 7-25 at Corona Municipal Airport to the nearest point of the project site is approximately 4,933 feet. The elevation of Runway 7-25 at its easterly terminus is 533 feet above mean sea level. At this distance, structures with a top point elevation of 582.3 feet above mean sea level (or greater) would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAAOES). The site finished pad elevation is 586 feet above sea mean level and the project proposes a maximum structure height of 56 feet, for a total maximum elevation of 642 feet above mean sea level. Therefore, notification to the FAAOES for height reasons is required. The applicant has submitted Form 7460-1. FAA OES has assigned Aeronautical Study No. 2018-AWP-10168-OE to this project, and its status is currently "work in progress". (The applicant has also filed notice for use of a 75-foot crane during construction, which FAA OES is evaluating through Aeronautical Study No. 2018-AWP-10169-OE, also a "work in progress.")

Open Area: Compatibility Zone C requires that 20% of the area within major projects (10 acres or larger) be set aside as open land that could potentially serve as emergency landing areas. Due to the project's size (6.85 acres) being lower than the 10 acre threshold, open space set-asides are not required.

CONDITIONS:

- 1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any activity which would cause sunlight to be reflected toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight

Staff Report Page 3 of 3

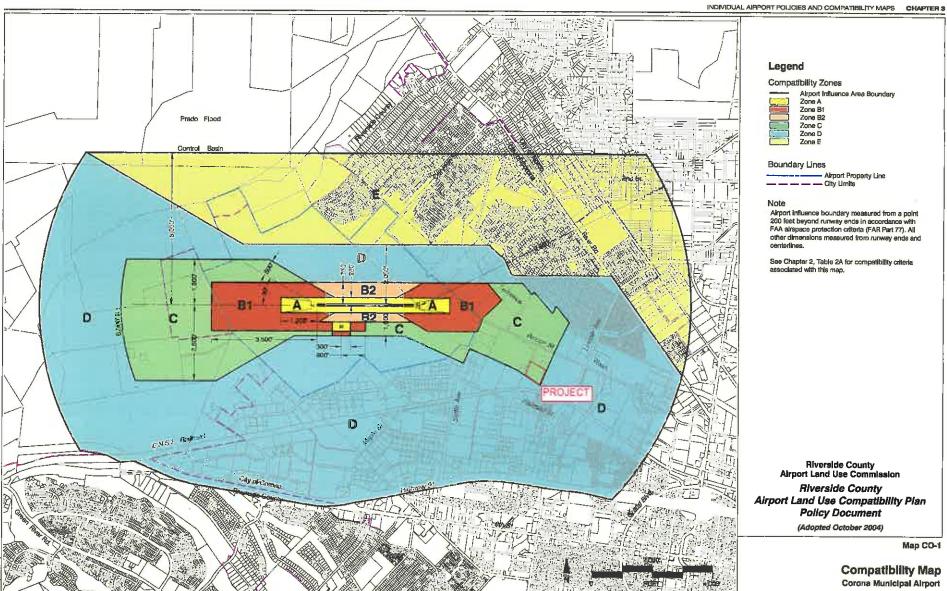
final approach towards a landing at an airport.

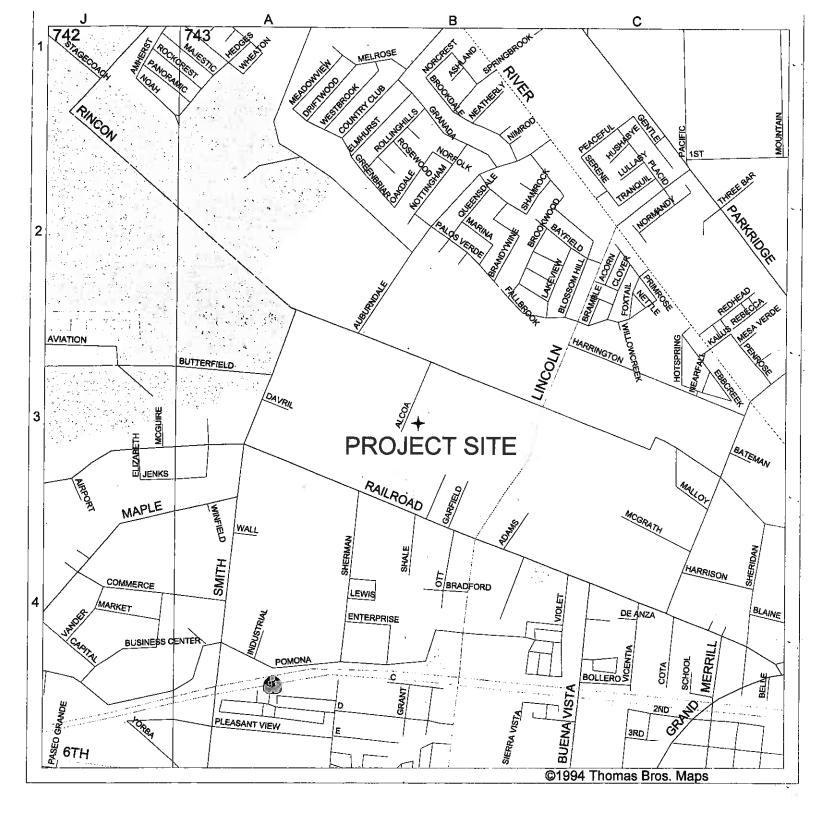
- (c) Any activity which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- (d) Any activity which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- (e) Children's schools, day care centers, libraries, hospitals, nursing homes, highly noise-sensitive outdoor non-residential uses, and hazards to flight.
- 3. The attached disclosure notice shall be provided to all potential purchasers of the property, and shall be recorded as a deed notice.

Y:\AIRPORT CASE FILES\Corona\ZAP1009CO18\ZAP1009CO18sr.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to vou. Business & Professions Code Section 11010 (b)



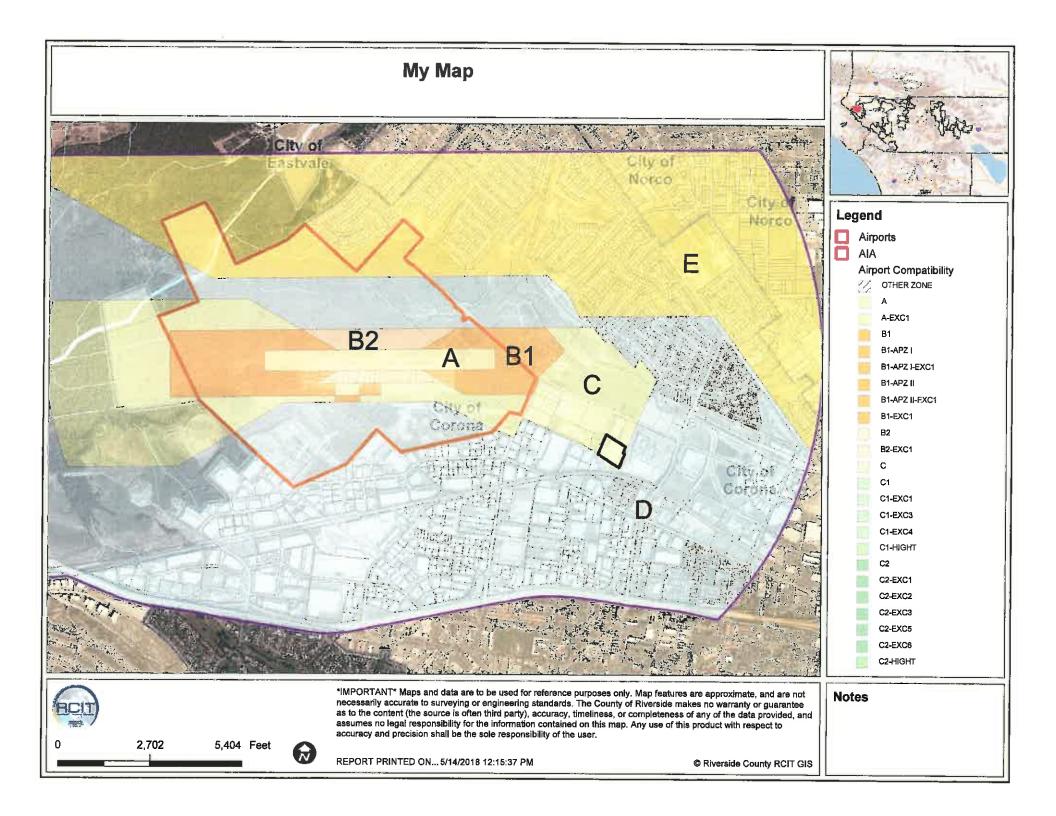


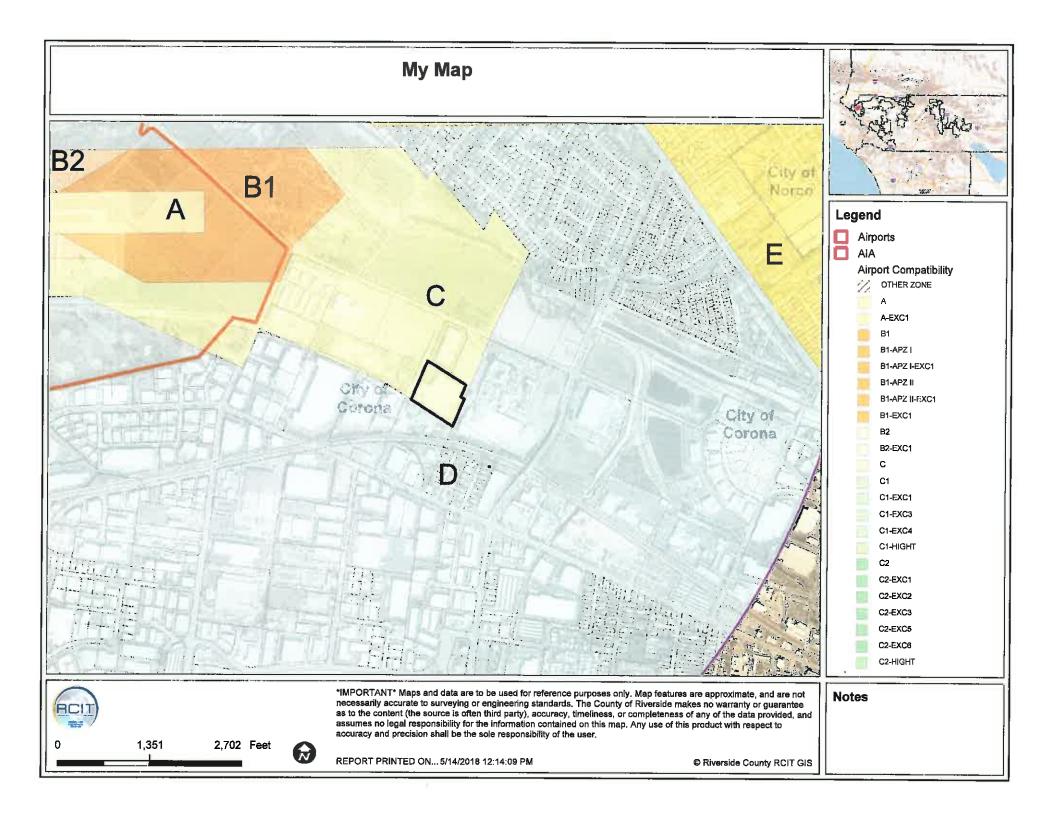
VICINITY MAP

SITE: 545 ALCOA CIRCLE - CSL05411

GC MAPPING SERVICE, INC.

3055 WEST VALLEY BOULEVARD ALHAMBRA CA 91803 (626) 441-1080, FAX (626) 441-8850 GCMAPPING@RADIUSMAPS.COM



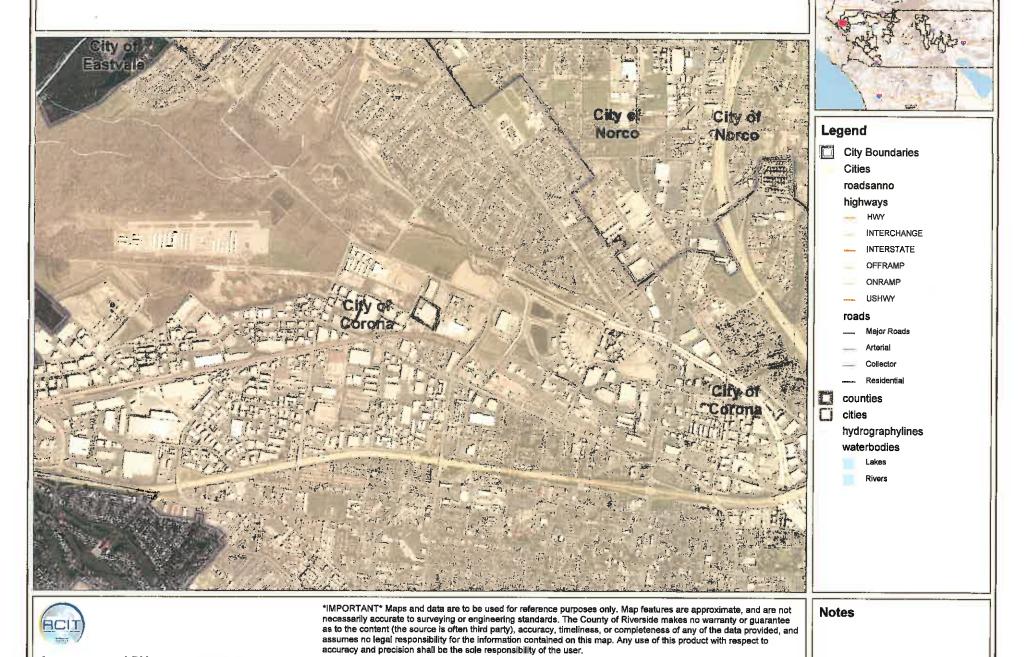


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2,702

5,404 Feet



C Riverside County RCIT GIS

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Legend

City Boundaries
Cities
roadsanno
highways

- HWY

INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

___ USHWY

counties

[] cities

hydrographylines waterbodies

Lakes

Dive

Rivers



1,351

2,702 Feet



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes



ENGINEERING

2016 CALFORNIA BUILDING CODE 2016 CALFORNIA TITLE 24 2016 CALFORNIA FIRE CODE 2016 CALFORNIA ENERGY CODE 2016 CALFORNIA MECHANICAL CODE

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICUM WALL WISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE, HE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR GYPECT ON DRAINAGE: NO SANTARY SEWER SERVICE, POPPALE WATER, OF TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNARE IS

SITE INFORMATION

PROPERTY OWNER: ADDRESS:

REXCO DEVELOPMENT 1285 CORONA POINTE CT., SUITE 102

APPLICANT: ADDRESS:

AT&T 1452 FOINCER AVE TUSTIN, CA 92780 CONTACT: ROBERT TORRALES PHONE: 714-351-8518

APPLICANT REPRESENTATIVE: ADDRESS:

SMARTLINK 18401 VON KARMAN AVE, STE 400 RIVINE, CA 92612 3,7 53' 26.646" N LATITUDE (NAD 83):

LONGITUDE (NAG 83): 117" 34" 59.664" W
CODRDINATES ARE APPROXIMATE AND WILL BE VENIFIED
BY 1A UPON RECEIPT

LONGITUDE / ATTUDE TYPE-NAC 83 GROUND ELEVATION: - FEET AMSL 119-021-028 APN #: ZONING JURISDICTION: CITY OF CORDNA CURRENT ZONING: 142

POWER COMPANY: TELCO COMPANY:

ATAXT PROPOSED USE: LINMANNED TELECOM FACILITY LEASE AREA (SF): 200SF (EQUIPMENT)+314SF (ANTENNA

PROJECT TEAM

MANAGER - REAL ESTATE
ADMINISTRATION
1452 EDINGER AVF
TUSTIN, CA 92750
CONTACT: DONNA ROSE
PHONE: (714) 305-9874
d92743@dt.com

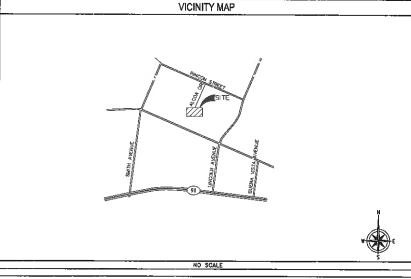
ENGINEER: INFIMOY ENGINEERING 28455 RANCHD PKWY SOUTH LAKE FOREST, CA 92630 CONTACT: DAN CONNELL PHONE: (949) 305-4844 decayat@infinor.com ZONING: SMARTUNK LLC. ALISHA STRASHEM 18401 VON KARMAN AVE, STE 400 IRNNE, CA 92612 FHONE: (951) 440–0669 olisho.shroshem@smartinklc.com

SITE ACCURSITION: SMARTLINK LLC. ALEXIS HADLEY 18401 VON KARHAN AME, STE IRNINE, CA 92612 CONTACT: ALEXIS HADLEY PHONE: (949) 838–7313 shadley@amertfinldc.com

RF ENCINEER: CONSTRUCTION MANAGER:
BECHTEL COMMUNICATIONS
B131 ORANGETHORPE AVE.
SUITE 500
CONTACT: STEVE KINDRED ATAT
1452 EDINGER AVE
1452 EDINGER AVE
1USIN, CA 92780
CONTACT: SANDEEP MANGAT
PHONE: (805) 312-1694
sm2840@blt.com PHONE: (949) 212-4644 sgkindre@buchfel.com

SITE NUMBER: CSL05411 SITE NAME: RINCON AND ALCOA CIR

545 ALCOA CIR. **CORONA, CA 92880**



DRIVING DIRECTIONS

DIRECTIONS FROM TUSTIN AT&T OFFICE:
1. GET ON CA-55 N FROM EDINGER AVE
2. MERGE ONTO CA-91E TAKE EXIT 49A FOR LINCOLN AVE TURN RIGHT ONTO W 2ND ST TURN RIGHT ONTO S LINCOLN AVE 5. TURN RIGHT ONTO S LINCOLN AN 6. TURN LEFT CONTO W RINCON ST 7. TURN LEFT ONTO ALCOA CIR 8. THE SITE IS ON LEFT

ZONING DRAWING

IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE

PROJECT DESCRIPTION

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INSTALATION OF (1) SKOWN DIESE, GENERATOR
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POWER & TELCO UNES FROM (E) P.O.C.

DRAWING INDEX

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A-2	EQUIPMENT AND ANTENNA LAYOUTS
A-3	ELEVATIONS
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DO NOT SCALE DRAWINGS

SUBCONTRACTOR SHALL VERIEY ALL PLANS & EXISTING DIMENSIONS & CONDITIONS ON THE 408 SIZE & SHALL IMMEDIATELY MOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA 800-227-2600

46 HOURS BEFORE YOU DIG



1452 EDINGER AVE TUSTIN, CA 92780



18401 YON KARMAN AVE, STE 400 IRVINE, CA 92612

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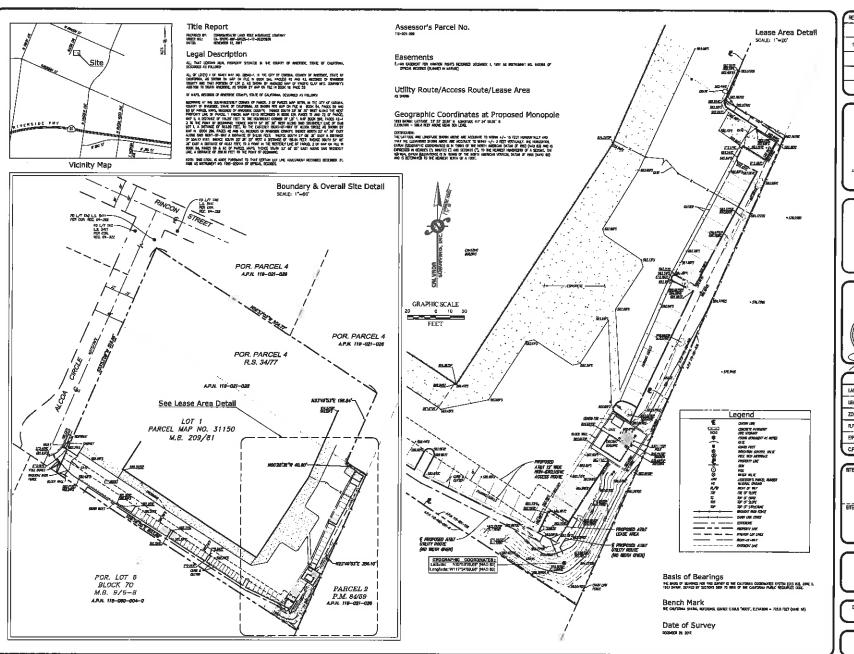
CSL05411 RINCON AND ALCOA CIR 545 ALCOA CIR. CORONA, CA 92880

SHEET TITLE

TITLE SHEET

SHEET NUMBER

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REV:	DATE/BY:	REVISION DESCRIPTION:
	01/05/18 LN	PRELIMINARY
1	01/22/18	FINAL.
H	SC	
		

AAE DEVELOPMENT

INFINIGY8

26153 BANCHO PARKIPAY SOUTH, LAKE POREST: CR 12690 1949) 753-8597 OFFICE - (149) 733-8823 PAX

SITE BUILDER:



ENGINEER/CONSULTANT: CAL VADA SURVEYING, INC.

П	APPROVED BY:	INTTALS:	DATE:
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П	LEASING:	T	
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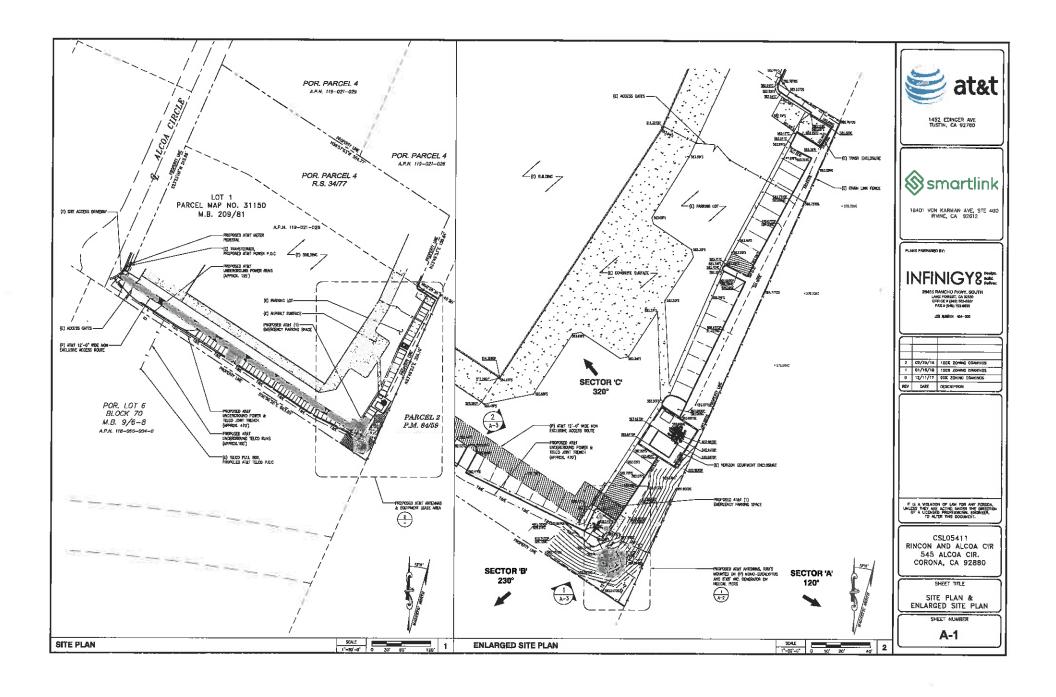
RINCON AND ALCOA CIR 545 ALCOA CIR., CA 92880 RIVERSIDE COUNTY

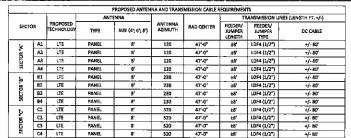
TOPOGRAPHIC **SURVEY**

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SHEET 1 OF 1

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SECTOR "A"	EA.	UP	3	31	18*	8"	a"	
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	82	UP	3	3'	18"	81	g ^h	
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L	C‡	UP	3	31	18"	a	6"	
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SECTOR *C	C3	UP	3	3'	18 ^H	8"	8.	
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Smartlink

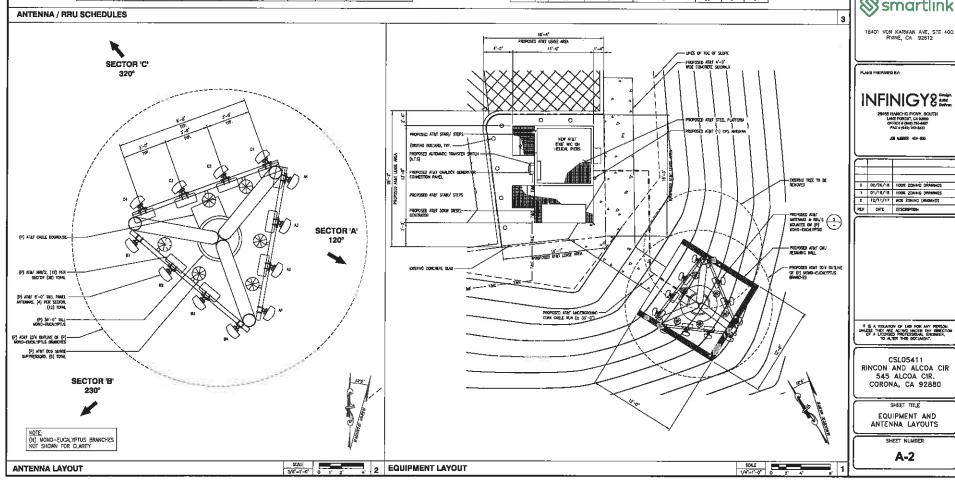
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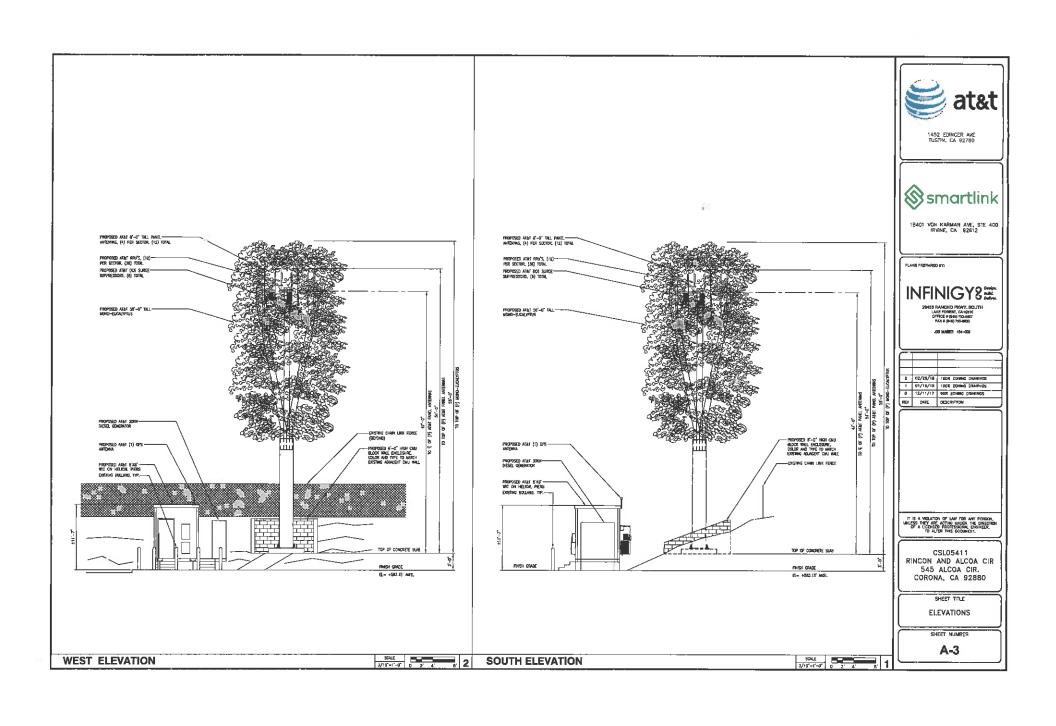
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CSL05411 RINCON AND ALCOA CIR 545 ALCOA CIR. CORONA, CA 92880

EQUIPMENT AND

A-2





NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Corona may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon St, 1st Floor Board Chambers

Riverside, California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1009CO18 – AT&T (Representative: Smartlink LLC, Tyler Kent) – City of Corona Planning Case No. MCUP2018-0001 (Conditional Use Permit). The applicant proposes to construct a 56 foot tall "monotree" wireless communication tower and associated facilities, including a 300 square foot equipment shelter area, on a 6.85 acre parcel located at 545 Alcoa Circle, southerly of Rincon Street, westerly of Lincoln Avenue, and easterly of Smith Avenue. (Note: A 75-foot crane may be in temporary use during construction.) (Airport Compatibility Zone C of the Corona Municipal Airport Influence Area)

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Harald Luna of the City of Corona Planning Department at (951) 736-2266.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW ALUC CASE NUMBER: ZAP 1009 CO 18 DATE SUBMITTED: APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION Tyler Kent with Smartlink LLC on Behalf of AT&T Applicant Phone Number (949)701-2444 18401 Von Karman Ave, Ste 400 Irvine, CA 92612 Email tyler.kent@smartlinklic.com Mailing Address Representative Tyler Kent Phone Number (949)701-2444 18401 Von Karman Ave, Ste 400 Irvine, CA 92612 Mailing Address Email tyler.kent@smartlinkilc.com **REXCO LLC** Property Owner Phone Number 714.998.3400 Mailing Address 2518 N Santiago Blvd, Orange CA 92867 Email LOCAL JURISDICTION AGENCY City of Corona Local Agency Name Phone Number (951)736-2268 Harald Luna Email harald.luna@coronaca.gov Staff Contact Mailing Address 400 S. Vicentia Avenue, Corona, California 92882 Case Type Minor Conditional Use Permit General Plan / Specific Plan Amendment Zoning Ordinance Amendment Subdivision Parcel Map / Tentative Tract Local Agency Project No Use Permit MCUP2018-0001 Site Plan Review/Plot Plan Other П **PROJECT LOCATION** Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways Street Address 545 Alcoa Circle, Corona 92880 Assessor's Parcel No. 119-210-028-2 6.85 AC Gross Parcel Size Nearest Airport Subdivision Name and distance from Lot Number 3500ft Airport PROJECT DESCRIPTION If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed M-2 (General Manufacturing) Zone **Existing Land Use** (describe) Manufacturing Facility

Chara

	Proposed Land Use (describe)	Unmanned Wireless Communication Facility				
	For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)				
	For Other Land Uses	Hours of Operation NA				
	(See Appendix C)	Number of People on Site NA Maximum Number NA				
		Method of Calculation				
	Height Data	Site Elevation (above mean sea level)	574			f
		Height of buildings or structures (from the ground)	55			ft
	Flight Hazards	Does the project involve any characteristics which could create elec-	ctrical interference,		Yes	
		confusing lights, glare, smoke, or other electrical or visual hazards t	to aircraft flight?		No	
	:	If yes, describe				
A	tions 659 disapprov 3. REVIEW	Failure of an applicant to submit complete or a 40 to 65948 inclusive, of the California Government of actions, regulations, or permits. TIME: Estimated time for "staff level review" is	ent Code, MAY approximately	′ co	nstitute grounds days from date	for e of
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3. Gummed address labels of all surrounding property owners within a 300 foot radius of

3. Gummed address labels for applicant/representative/property owner/local jurisdiction

1..... CD with digital files of the plans (pdf)

1. Local jurisdiction project transmittal

1..... Vicinity Map (8.5x11)
1..... Detailed project description

planner

the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10) with ALUC return address. *

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.





Alexis Hadley
Wireless Development Specialist
18401 Von Karman Ave, Ste 400
Irvine, CA 92612
949-838-7313 (C)
949-468-0931 (F)
Ahadley@smartlinklic.com

AT&T Project Number: CSL05411 AT&T Project Name: Rexco

City of Corona Application for a Conditional Use Permit Project Information and Justification

AT&T Mobility (AT&T) is requesting approval of a conditional use permit application for the construction and operation of an unmanned wireless telecommunications facility (cell site), and presents the following project information for your consideration:

Project Location

Address: 545 Alcoa Circle, Corona, CA 92880

APN: 119-210-028

Zoning: M2

Project Representative

Alexis Hadley Smartlink, LLC 18401 Von Karman Ave, Ste 400 Irvine, CA 92612 949-838-7313 (C) 949-468-0931 (F) Ahadley@smartlinkllc.com

AT&T Contact

Gunjan Malik, Project Manager 1452 Edinger Ave. 3rd Floor Tustin, CA 92780-6246 Gm827w@att.com 562-650-5681

Project Description

AT&T proposes to build an unmanned wireless telecommunications facility consisting of a three (3) sector array with four (4) panel antennas per sector all completely hidden and disguised within a new 55-foot faux eucalyptus tree designed to blend in with the surroundings. There are existing trees in the nearby area surrounding the proposed faux eucalyptus location that will provide additional screening for the faux eucalyptus. A six (6) foot high CMU brick wall will be constructed in the southeast corner of the

property to enclose the facility. All associated equipment will be installed at ground level within the CMU brick wall enclosure. AT&T will work with the City and the community to install a state-of-the-art stealth structure that will improve communications services for the residents and visitors in the City of Corona.

Project Objectives

A wireless carrier requires the installation of a cell site within a specified area to close a "significant gap in coverage." Other criteria for selecting sites include the following:

- The radio signal must be of sufficient strength to achieve consistent, sustainable, and reliable service to customers at a level sufficient for outdoor, in-vehicle, and in-building penetration with good voice quality (Threshold, 15.85 db).
- When nearby other sites become overloaded and more enhanced voice and data services are
 used (4G and other high-speed data services), signal contracts and a gap is created. With heavy
 use it is intensified due to the unique properties of digital radio transmissions.

In this specific case, AT&T's radio-frequency engineers (RF) have identified a significant gap in coverage in the vicinity of the intersection of Alcoa Circle and Rincon Street in the City of Corona. See enclosed radio-signal propagation maps.

Alternative Site Analysis

AT&T Mobility evaluated the two following sites and identified Site 1 as the preferred site. See Figure 1 (Search Ring Map) below.

Site 1- McCarthy, 1350 N Rincon

The property owners of McCarthy construction were unwilling to come to reasonable lease terms with AT&T.

Site 2 - Boudreau, 463 North Smith Avenue

The Landlord never responded. They were not interested in having the site located on their land.

Site 3 - Rexco, 536 Alcoa Circle

This property is AT&T's second best option and the subject of this application. The other best candidate fell through due to unreasonable lease terms.



Figure 1
Search Ring Map

Findings/Burden of Proof

The site for the proposed use is adequate in size and shape.

AT&T is proposing a faux tree/monoeucalyptus design for this project which is considered a stealth design in accordance with the City of Corona Municipal Code. The requested height of the monoeucalyptus design is the minimum height needed in order to fill the significant gap in coverage for this project. AT&T uses the most advanced technology and design when constructing the monoeucalyptus so as to blend the facility with the surrounding community and landscaping and thereby minimizing the visual impact of the site.

The proposed location has sufficient access to streets and highways that are adequate in width and pavement type to carry the quantity and quality of traffic generated by the proposed use.

The project is proposed on the street side of an existing construction lot building. There are adequate access routes directly to the proposed facility. All the roadways and access ways within the facility are in compliance with local, state and federal regulations concerning width and pavement.

The proposed use will not have an adverse effect upon adjacent or abutting properties.

The project is proposed within an M-2 zone and will not have an adverse effect.

The project is proposed within an M-2 zone and will not have an adverse effect upon adjacent or abutting properties as it is a stealth design that will blend naturally with the subject property and the surrounding community. The project will provide a public benefit of better wireless telecommunications and data services to the surrounding neighborhoods and community.

The proposed use is deemed essential and desirable to the public convenience or welfare.

The new wireless telecommunications facility is in high demand to the residents and visitors of the City of Corona. Wireless communications are vastly used in this area and the need for this site was established entirely from increased usage of AT&T services in the vicinity of the requested project.

GENERAL INFORMATION

Site Selection

Customer demand drives the need for new cell sites. Data relating to incomplete and dropped calls is gathered, drive-tests are conducted, and scientific modeling using sophisticated software is evaluated. Once the area requiring a new site is identified, a target ring on a map is provided to a real estate professional to begin a search for a suitable location.

During an initial reconnaissance, properties selected for evaluation for installation of a cell site must be located in the general vicinity of the ring, possess an appropriate zoning designation, and appear to have enough space to accommodate an antenna structure and supporting radio equipment. The size of this space will vary depending on the objective of the site. The owners of each prospective location are notified to assess their interest in partnering with AT&T.

Four key elements are considered in the selection process:

- Leasing: The property must have an owner who is willing to enter into a long-term lease agreement under very specific terms and conditions.
- Zoning: It must be suitably zoned in accordance with local land-use codes to allow for a successful permitting process.
- Construction: Construction constraints and costs must be reasonable from a business
 perspective, and the proposed project must be capable of being constructed in accordance with
 local building codes and safety standards.
- RF: It must be strategically located to be able to achieve the RF engineer's objective to close the significant gap with antennas at a height to clear nearby obstructions.

The Benefits to the Community

Approximately 90-percent of American adults subscribe to cell phone service. People of all ages rely increasingly on their cell phones to talk, text, send media, and search the Internet for both personal and business reasons. More and more, they conduct these activities in their homes, therefore, becoming reliant on adequate service within residential neighborhoods. In fact, 50-percent of people who relocate are not signing up for landline service at their new location and are using their cell phone as their primary communication method.

The installation and operation of the proposed facility will offer improved:

- Communications for local, state, and federal emergency services providers (i.e., police, fire, paramedics, and other first-responders).
- Personal safety and security for community members in an emergency, or when there is an
 urgent need to reach family members or friends. Safety is the primary reason parents provide
 cell phones to their children. Currently 25 percent of all preteens, ages 9 to 12, and 75 percent
 of all teens, aged 13 to 19, have cell phones.
- Capability of local businesses to better serve their customers.

- Opportunity for a city or county to attract businesses to their community for greater economic development.
- Enhanced 911 Services (E911) The FCC mandates that all cell sites have location capability.
 Effective site geometry within the overall network is needed to achieve accurate location information for mobile users through triangulation with active cell sites. (Over half of all 911 calls are made using mobile phones.)

Safety - RF is Radio

The FCC regulates RF emissions to ensure public safety. Standards have been set based on peer-reviewed scientific studies and recommendations from a variety of oversight organizations, including the National Council on Radiation Protection and Measurements (NCRP), American National Standards Institute (ANSI), Institute of Electrical and Electronics Engineers (IEEE), Environmental Protection Agency (EPA), Federal Drug Administration (FDA), Occupational Safety and Health Administration (OSHA), and National Institute for Occupational Safety and Health (NIOSH).

Although the purview of the public safety of RF emissions by the FCC was established by the Telecommunications Act of 1996, these standards remain under constant scrutiny. All AT&T cell sites operate well below these standards, and the typical urban cell site operates hundreds or even thousands of times below the FCC's limits for safe exposure.

AT&T Company Information

AT&T is one of the fastest growing nationwide service providers offering all digital voice, messaging and high-speed data services to nearly 30 million customers in the United States.

AT&T is a "telephone corporation", licensed by the Federal Communications Commission (FCC) to operate in the 872-1962 MHz and 827-1877 MHz frequencies, and a state-regulated Public Utility subject to the California Public Utilities Commission (CPUC). The CPUC has established that the term "telephone corporation" can be extended to wireless carriers, even though they transmit signals without the use of telephone lines.

AT&T will operate this facility in full compliance with the regulations and licensing requirements of the FCC, Federal Aviation Administration (FAA) and the CPUC, as governed by the Telecommunications Act of 1996, and other applicable laws.

The enclosed application is presented for your consideration. AT&T requests a favorable determination and approval of this Conditional Use Permit application to build the proposed facility. Please contact me at 949-838-7313 or ahadley@smarlinkllc.com for any questions or requests for additional information.

Respectfully submitted,

Alexis Hadley, Smartlink, LLC Authorized Agent for AT&T

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.8

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1055HR18 - City of Hemet (Representative: Nancy

Gutierrez)

APPROVING JURISDICTION:

City of Hemet

JURISDICTION CASE NO:

GPA 18-001 (General Plan Amendment), ZC 18-001 (Zone

Change)

MAJOR ISSUES:

None anticipated.

RECOMMENDATIONS:

Staff recommends that the Commission find the proposed General Plan Amendment and Zone Change <u>CONSISTENT</u> with the Hemet-Ryan Airport Land Use Compatibility Plan.

PROJECT DESCRIPTION:

GPA 18-001 (General Plan Amendment) is a proposal to amend the land use designations of up to 1,017 parcels City-wide covering 646 acres. Only 34 of the parcels (covering 46 acres) are presently vacant. The General Plan Amendment affects parcels in Airport Compatibility Zones C, D (East and West), and E.

ZC 18-001 (Zone Change) is a proposal to change the zoning of 8,882 parcels City-wide covering 5,263 acres. 608 of these parcels covering 372 acres require approval of GPA 18-001. The zone change parcels fit into six categories: 172 with zoning that is inconsistent with the General Plan designation; 289 proposed for zoning that would be a better fit for either the General Plan designation or the existing land use or neighborhood character; 2,165 proposed for zoning that correctly reflects existing use and density; 3,728 proposed for addition of a suffix reflecting the average lot size of the tract in which the lot is located; 2,341 proposed for deletion of a "C" County suffix not eliminated at the time of annexation; and 187 proposed for change in zoning district name from Residential Agricultural to Rural Residential. The zone change affects parcels in Airport Compatibility Zones B1, B2, C, D (East and West), and E.

GENERAL PLAN AMENDMENT:

645 of the 1,017 parcels affected by the General Plan Amendment are located wholly or partially within the Hemet-Ryan Airport Influence Area. One parcel is split between Compatibility Zones C and D. This 19.39-acre parcel is proposed for a change from High Density Residential to Community Commercial and is fully developed as Casa del Sol Recreational Vehicle Park.

Thirty-eight (38) parcels with a combined acreage of 82.94 acres are located in Compatibility Zone D. Only one of these parcels (Assessor's Parcel Number 460-020-006, 6.35 acres in size) is proposed for a change from a nonresidential (Business Park) to a residential (Low Density Residential) designation. The Low Density Residential designation allows residential development at a density of 2 to 5 dwelling units per acre. Pursuant to Policy 2.3 of the Hemet-Ryan Airport Land Use Compatibility Plan ("Hemet-Ryan ALUCP"), residential densities as low as 3.0 dwelling units per acre are permitted within Compatibility Zone D of the Hemet-Ryan Airport Influence Area ("AIA"). Therefore, the proposed General Plan designation is consistent with Hemet-Ryan ALUCP criteria.

Within the residential category, 19 parcels with a total area of 4.9 acres are proposed for a change from Low Density Residential (LDR) to Low Medium Density Residential (LMDR), while 2 parcels with a total area of 17.66 acres are proposed for a change from Very High Density Residential (VHDR) to High Density Residential (HDR). Both the Low Medium Density Residential and High Density Residential designations provide for densities greater than five dwelling units per acre and are, therefore, consistent with Countywide criteria for residential development within Compatibility Zone D. Ten parcels would change from a residential designation to Community Commercial (CC). Eight of these (11.48 acres) are presently designated LMDR, and two (8.79 acres) are presently designated HDR.

In the nonresidential category, four parcels (18.4 acres) would change from Airport to Industrial, one (10.2 acres) would change from Business Park to Industrial, and one City-owned parcel (5.16 acres) would change from Airport to Public Facilities. (The latter change would be accompanied by a zone change from M-2 to PI.)

The range of designation amendments is much broader within Compatibility Zone E, where 586 parcels wholly in that zone covering 265.19 acres are proposed for designation changes. The largest amount of acreage being moved in a zone-specific couplet is 43.48 acres changing from Neighborhood Commercial to Community Commercial, but the vast majority of affected parcels are changing from one residential designation to another. For example, 210 parcels are changing from LDR to LMDR (65 parcels), Medium Density Residential (MDR) (112 parcels), or HDR (33 parcels), while 198 parcels are changing from MDR to LDR (101 parcels) or LMDR (97 parcels) and 68 parcels are changing from HDR to LMDR.

An additional 20 parcels with a combined acreage of 10.51 acres that are partially in Zone E and partially outside the Airport Influence Area are proposed for change: 9 parcels (0.97 acre) from LDR to LMDR, 7 parcels (3.06 acres) from Rural Residential (RR) to LDR, and 4 parcels (6.48 acres)

Staff Report Page 3 of 4

from Neighborhood Commercial to Community Commercial.

ZONE CHANGE:

As noted above, 8,882 parcels are proposed for zoning changes. In addition to the parcels proposed for general plan amendments, the following parcels partially or wholly in Compatibility Zones B1, B2, C, and/or D are affected by the zone change.

Nine (9) parcels (177.6 acres) designated Industrial are split between Compatibility Zones B1 and other zones. Eight of these (45.32 acres) are split between Compatibility Zones B1 and C and are proposed for a change of zone from A-2-C-10 to A-2. One parcel (132.28 acres) designated Business Park is split between Compatibility Zones B1, C, and D and is proposed for a change of zone from A-2-C-10 to M-1.

One parcel (40.14 acres) designated Business Park is split between Compatibility Zones B2, C, and D and is proposed for a change of zone from M-2 to B-P. One parcel (127.59 acres) designated LDR is occupied by a mobile home park and is split between Compatibility Zones B2 and E. This parcel is proposed for a change of zone from R-1-C to R-1-7.2.

Eight (8) parcels (113.98 acres) entirely within Compatibility Zone C are proposed for zone changes. Six of these (104.94 acres) are designated Industrial and proposed for a change of zone from A-2-C-10 to A-2. One parcel (8.13 acres) is designated Business Park and proposed for a change of zone from C-1 to B-P. One parcel (0.91 acre) is designated Community Commercial and proposed for a change of zone from M-2 to C-M.

Eight (8) parcels (141.67 acres) split between Compatibility Zones C and D (but not including area in Compatibility Zones B1 or B2) are proposed for zone changes. Four of these (85.47 acres) are designated Industrial and proposed for a change of zone from A-2-C-10 to A-2. Two (51.83 acres) are designated Business Park. One of these (43.96 acres) is proposed for a change of zone from C-M and M-1 to B-P, while the other (7.87 acres) is proposed for a change of zone from C-1 to B-P. The remaining two parcels in this group (4.37 acres) are designated Community Commercial and proposed for a change of zone from M-2 to C-M.

A total of 174 parcels (87.04 acres) wholly within Compatibility Zone D and designated for residential use are proposed for changes of zone. 168 of these parcels (27.44 acres) are designated LDR and proposed for a change of zone from R-1 to R-1-6. Three parcels (42.75 acres) are designated LMDR. One (19.43 acres) is currently zoned A-1-5, one (0.02 acre) is currently zoned A-5, and one (23.30 acres) is currently zoned R-A. The 23.3-acre parcel is proposed for R-2 zoning and the other two for R-2 (TTP) zoning. Three parcels (16.85 acres) are designated High Density Residential. Two (12.71 acres) are proposed for a change of zone from I to R-3 (S) and the third (4.14 acres) is proposed for a change of zone from R-P to R-3.

A total of 43 parcels (69.17 acres) wholly within Compatibility Zone D and designated for nonresidential use are proposed for changes of zone. 38 of these parcels (50.32 acres) are designated

Staff Report Page 4 of 4

Community Commercial. Of these, 31 parcels (41.45 acres) are currently zoned C-1, 4 parcels (5.08 acres) are currently split zoned (C-1 and C-M), and 3 parcels are currently zoned C-M. All 38 are proposed for a change of zone to C-2. Two parcels (1.82 acres) are designated Industrial and proposed for a change of zone from A-2-C-10 to A-2. Two parcels (16.99 acres) are designated Park and proposed for a change of zone from R-A to OS-R. One parcel (0.03 acre) is designated Business Park and proposed for a change of zone from A-2-C-10 to M-1.

Three parcels (56.63 acres) designated LMDR and split between Compatibility Zones D and E are proposed for changes of zone from R-3 to R-2 (TTP). Two parcels (8.18 acres) designated Industrial are split between Compatibility Zones D and E and proposed for a change of zone from A-2-C-10 to A-2.

Many hundreds of parcels in Compatibility Zone E are included in the zone change as well.

PUBLIC NOTICE:

This ALUC hearing was advertised through a one-eighth page notice in the Riverside Press-Enterprise. Staff has supplemented the newspaper advertisement with direct mail notice to listed owners of properties in Compatibility Zones C and D proposed for general plan amendment and to owners of properties in Compatibility Zones B1, B2, and C proposed for zone change.

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FEET

8,000



City of Hemet

COMMUNITY DEVELOPMENT

445 EAST FLORIDA AVENUE · HEMET, CALIFORNIA 92543(951) 765-2375

GENERAL PLAN AMENDMENT 18-001 CONSISTENCY ZONING PROJECT DESCRIPTION

Background

On January 24, 2012, the City of Hemet completed a comprehensive update of its General Plan (GPA11-002) and began the process of bringing the zoning ordinance into compliance. The map review process disclosed inconsistencies between the General Plan land use designation and the zone district on some parcels. The majority of the inconsistencies will be addressed through the companion zone change amendment, Zone Change (ZC) 18-001; however, the process did result in a re-evaluation of the General Plan land use designation on a few parcels.

Overview

General Plan Amendment (GPA) 18-001 is a proposal to change the General Plan land use designation of 1,017 parcels (646 acres) to achieve consistency between the zoning map and the General Plan land use map. This is approximately 3.9 percent of the total number of parcels in the City and 4.2 percent of the acreage in the City. The recommended changes generally reflect the existing land use and density/intensity of previously developed parcels. Included in GPA18-001 are 34 primarily infill vacant parcels (43 acres).

Environmental Analysis

The City is in the process of preparing an Addendum to the 2012 General Plan Environmental Impact Report (SCH #2010061088) to evaluate the impact of the proposed General Plan map amendments on the environment. The comments of the Airport Land Use Commission (ALUC) will be incorporated into the analysis.

Airport Land Use Commission (ALUC) Requirements

All legislative actions, including General Plan Amendments and Zone Changes, are required to be reviewed by the ALUC for consistency with the governing Airport Land Use Plan (ALUP).

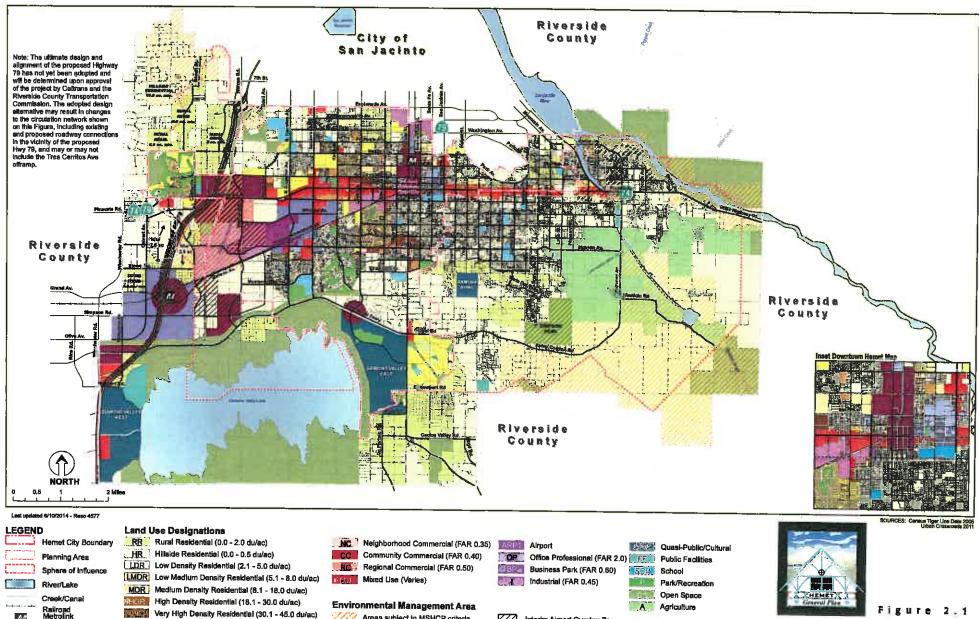
Noticing

California Government Code Section 65091(4) states that "If the number of owners to whom notice would be mailed or delivered . . . is greater than 1,000, a local agency, in lieu of mailed or delivered notice, may provide notice by placing a display advertisement of at least one-eighth page in at least one newspaper of general circulation within the local agency in which the proceeding is conducted at least 10 days prior to the hearing." The number of owners to be noticed by GPA18-001 is greater than 1,000; therefore, the City will be placing a one-eighth

page notice in the Press Enterprise in lieu of mailed notices for the Planning Commission and City Council public hearings.

Attachments

- 1. Excel spreadsheet: Parcels by APN for which a General Plan land use map change is proposed. (Only on thumb drive.)
- 2. Excel spreadsheet: Vacant parcels by APN for which a General Plan land use map change is proposed.
- 3. Matrix showing the change in development capacity by General Plan land use designation.
- 4. Map of the proposed map changes per GPA18-001.
- 5. Map of the proposed map changes per GPA18-001 for vacant parcels.
- 6. Current General Plan land use map.



Interim Airport Overlay Zone

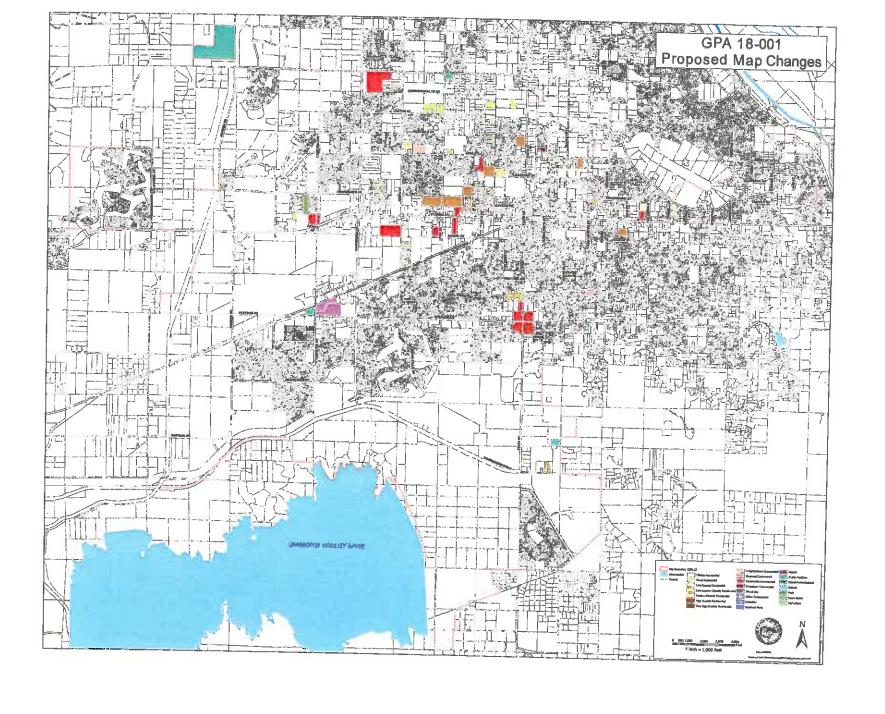
Z/// Areas subject to MSHCP criteria

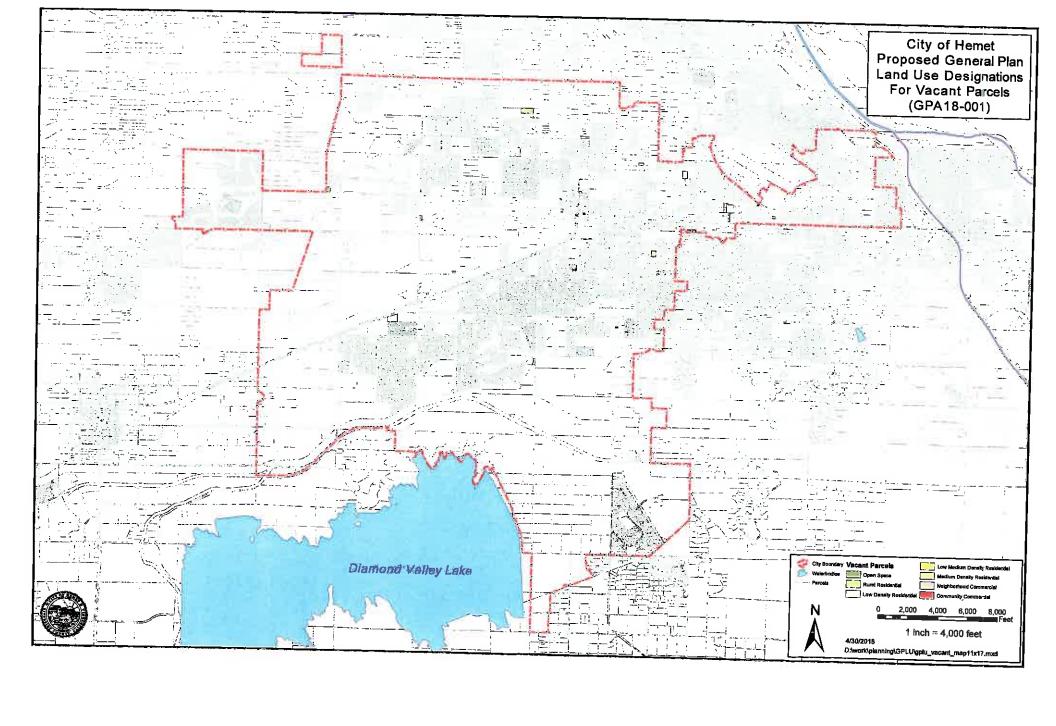
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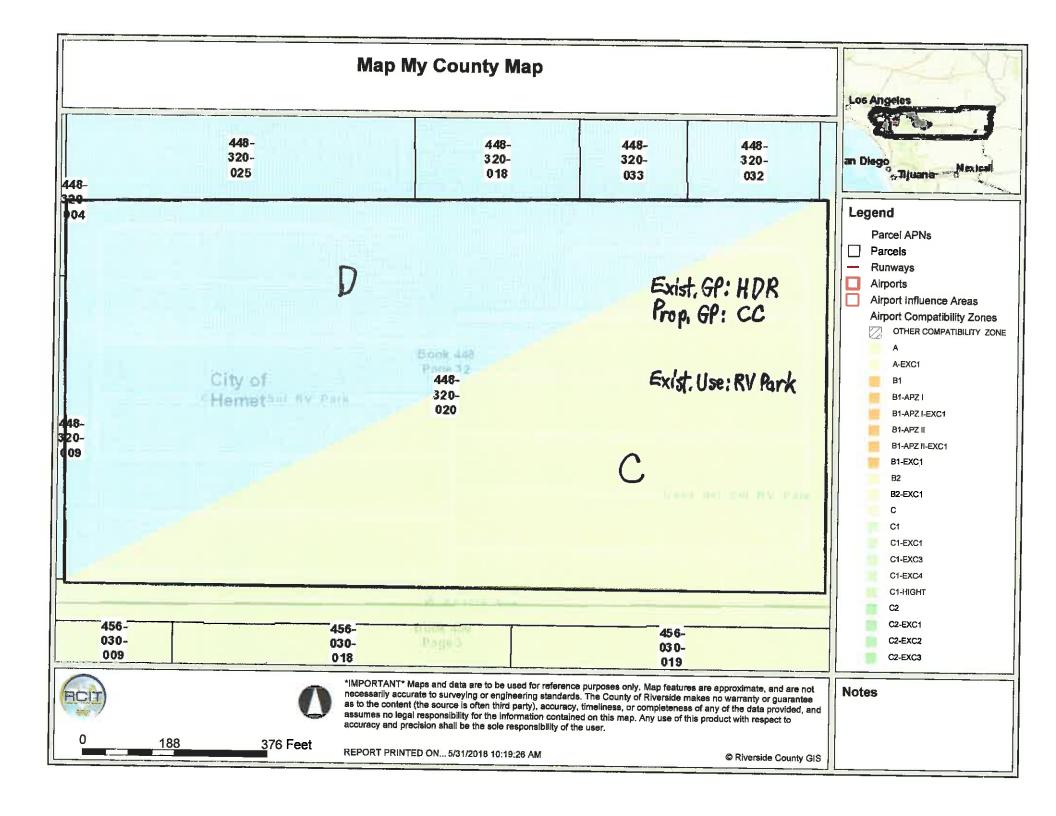
LAND USE PLAN Hemet General Plan

ACREAGE OF DEVELOPMENT CAPACITY BY LAND USE SUBSEQUENT TO ADOPTION OF GPA18-001

LAND USE DESIGNATIONS	GURRENT DEVELOPMENT CAPACITY	TRANSFER OUT	TRANSFER IN	DIFFERENCE	PROPOSED DEVELOPMENT CAPACITY	Vacant Out	Vacant In	Difference
RURAL RESIDENTIAL	547	-64.90	25.15	-39.75	507.25	-2.85	7.43	4.58
RURAL RESIDENTIAL - 2.5	72	0.00	0.00	0.00	72.00	0.00	0.00	0.00
HILLSIDE RESIDENTIAL	194	-88.09	0.00	-88.09	105.91	0.00	0.00	0.00
HILLSIDE RESIDENTIAL -10	88	0.00	0.00	0.00	88.00	0.00	0.00	0.00
LOW DENSITY RESIDENTIAL	6035	-142.43	114.38	-28.05	6006.95	-8.08	25.54	17.46
LOW MEDIUM DENSITY RESIDENTIAL	810	-17.89	49.82	31.93	841.93	-1.41	0.41	
MEDIUM DENSITY RESIDENTIAL	429	-82.76	59.65	-23.11	405.89	-18.11		-1.00
HIGH DENSITY RESIDENTIAL	263	-42.22	81.99	39.77	302.77	-0.63	1.21	-16.90
VERY HIGH DENSITY RESIDENTIAL	141	-51.15	0.00	-51.15	89.85	0.00	2.47	1.84
NEIGHBORHOOD COMMERCIAL	134	-50.78	17.00	-33.78	100.22		0.00	0.00
COMMUNITY COMMERCIAL	794	-44.68	147.58	102.90	896.90	-0.27	2.38	2.11
REGIONAL COMMERCIAL	65	0.00	0.00	0.00	65.00	-5.66	2.31	-3.35
OFFICE PROFESSIONAL	152	0.00	2.96	2.96		0.00	0.00	0.00
MIXED USE	972	0.00	4.54	4.54	154.96	0.00	0.00	0.00
AIRPORT	297	-23.56	0.00	-23.56	976.54	0.00	0.00	0.00
BUSINESS PARK	402	-16.55	0.00	-16.55	273.44	0.00	0.00	0.00
INDUSTRIAL	423	-11.50	28.60	17.10	385.45	-6.35	0.00	-6.35
PUBLIC FACILITIES	22	0.00	103.79	103.79	440.10	0.00	0.00	0.00
PARKS	1123	-9.53	0.24		125.79	0.00	0.00	0.00
OPEN SPACE .	2154	0.00	10.76	-9.29	1113.71	0.00	0.00	0.00
AGRICULTURAL	0	0.00		10.76	2164.76	0.00	1.61	1.61
SCHOOL	252	-0.42	0.00	0.00	0.00	0.00	0.00	0.00
QUASI-PUBLIC	919		0.00	-0.42	251.58	0.00	0.00	0.00
RIGHT-OF-WAY	2699	0.00	0.00	0.00	919.00	0.00	0.00	0.00
TOTAL ACRES	18987	0.00 - 646.46	0.00 646.46	0.00	2699.00 1 8987.0 0	0.00 -43,36	0.00 43.36	0.00 0.00











Legend

Parceis

Runways

___ Airports

Airport Influence Areas

Assessor Book/Page Boundari

City Areas

World Street Map





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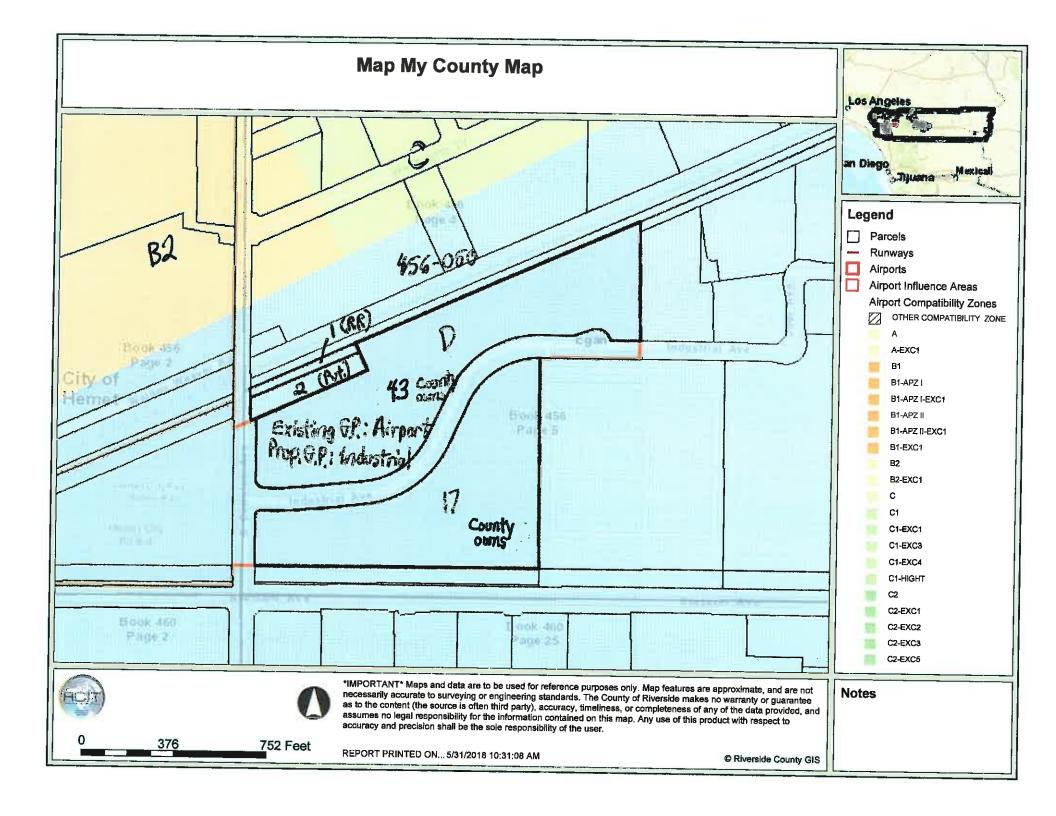
_____376 Feet

188

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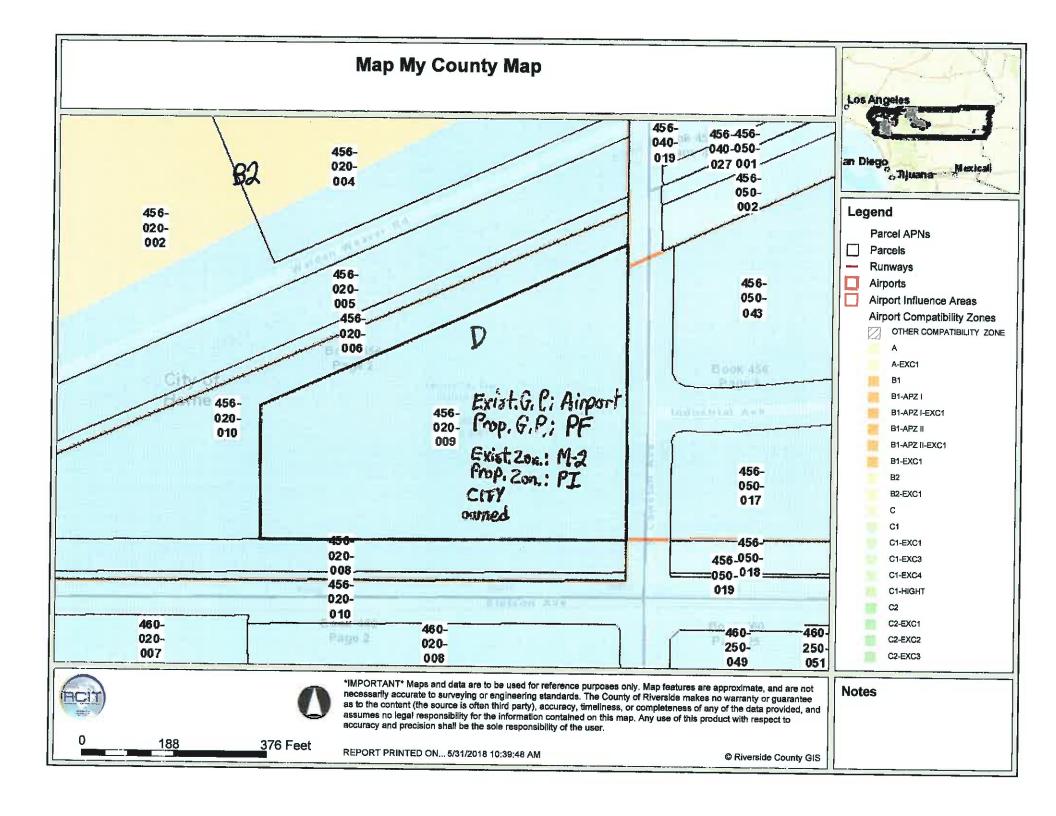
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752 Feet

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- Runways
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- Assessor Book/Page Boundari
 - City Areas
 - World Street Map





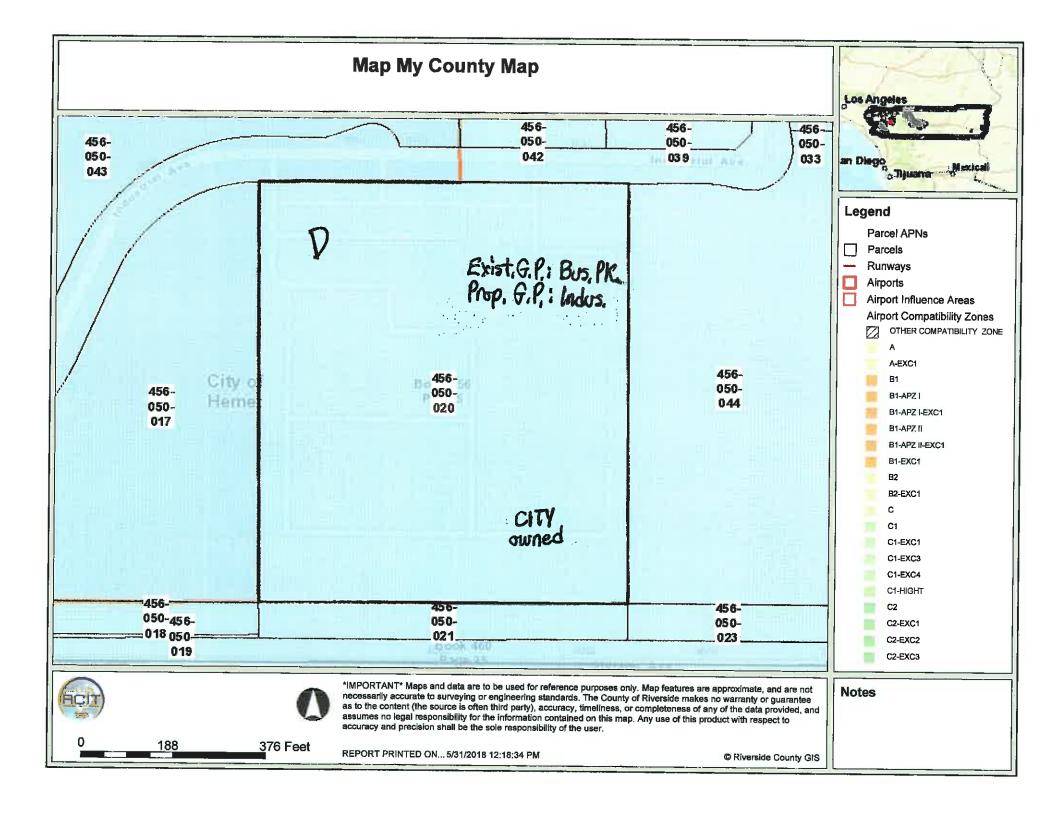
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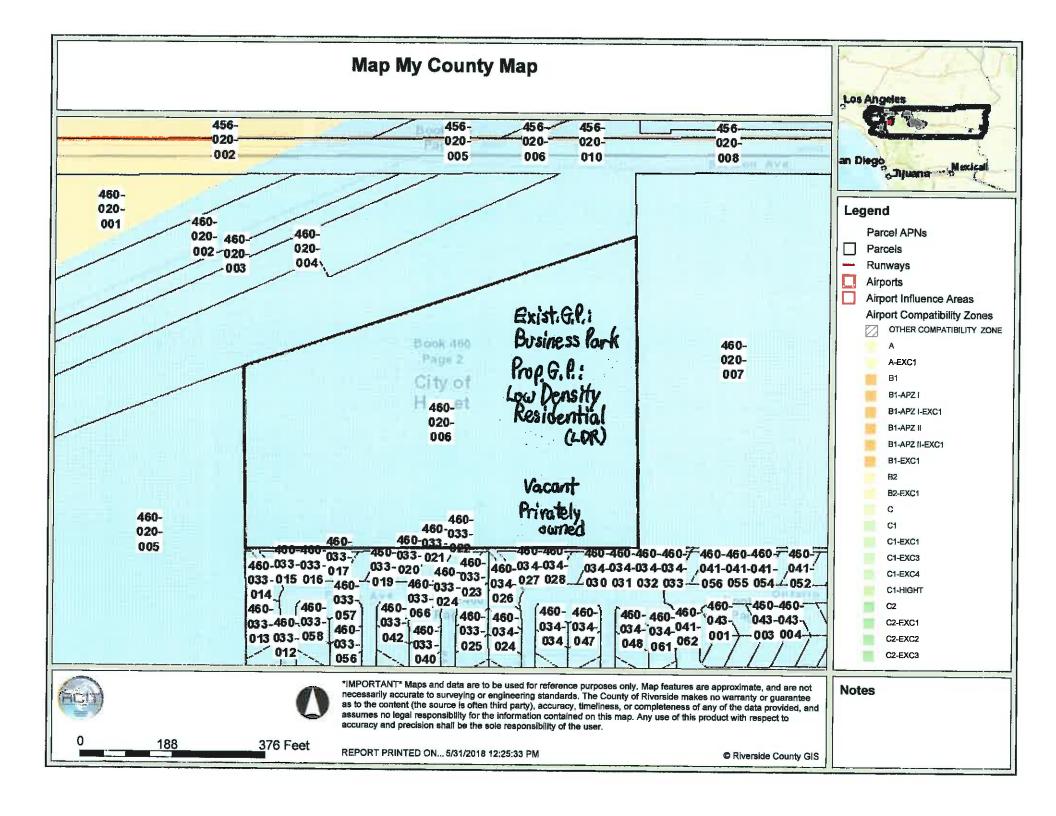
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376 Feet

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 - World Street Map





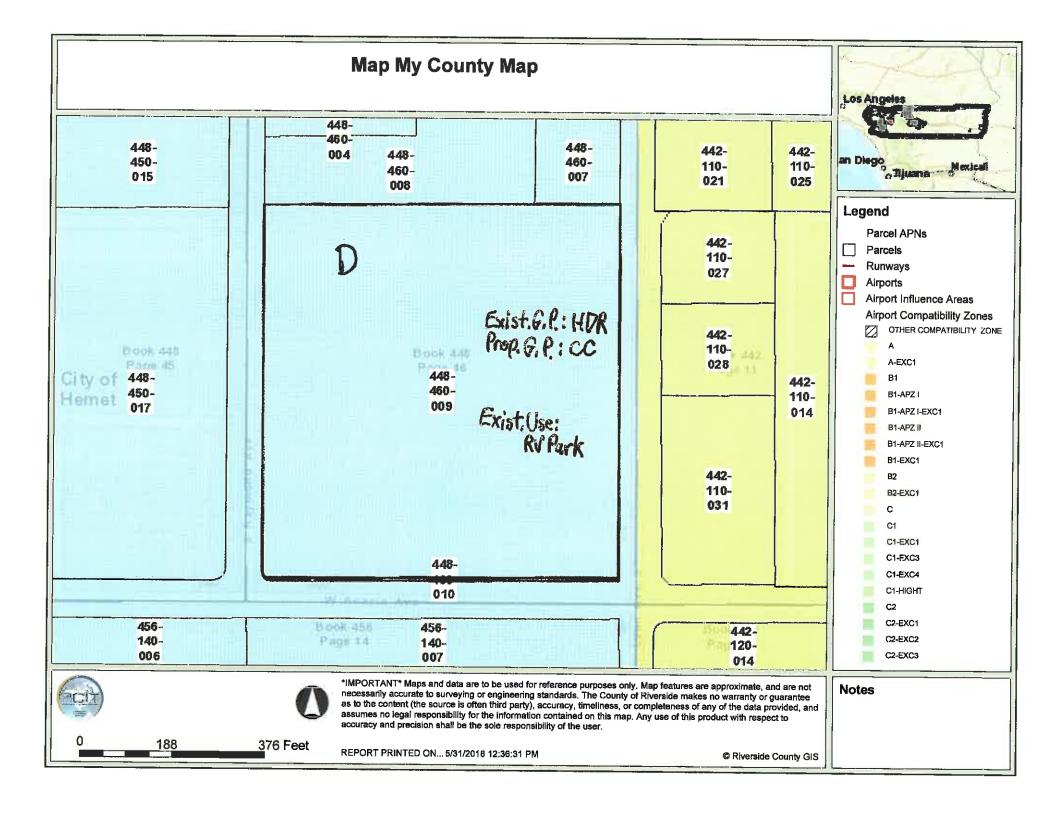
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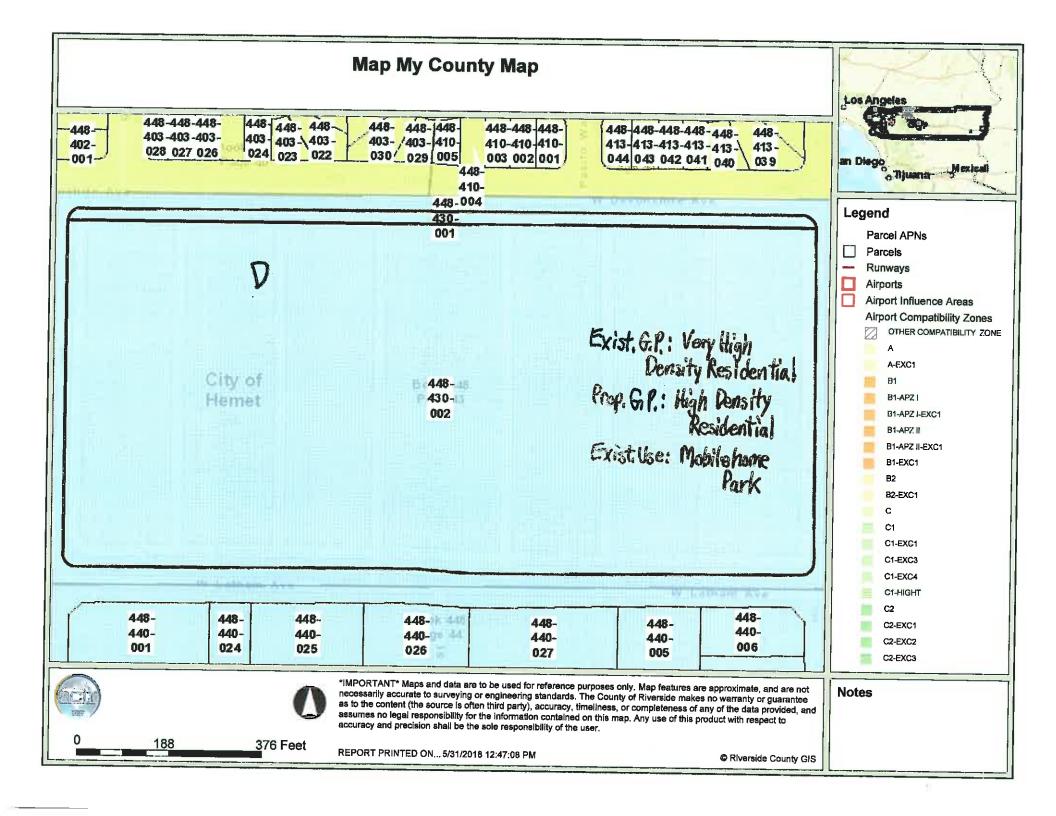
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376 Feet

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- City Areas
- World Street Map



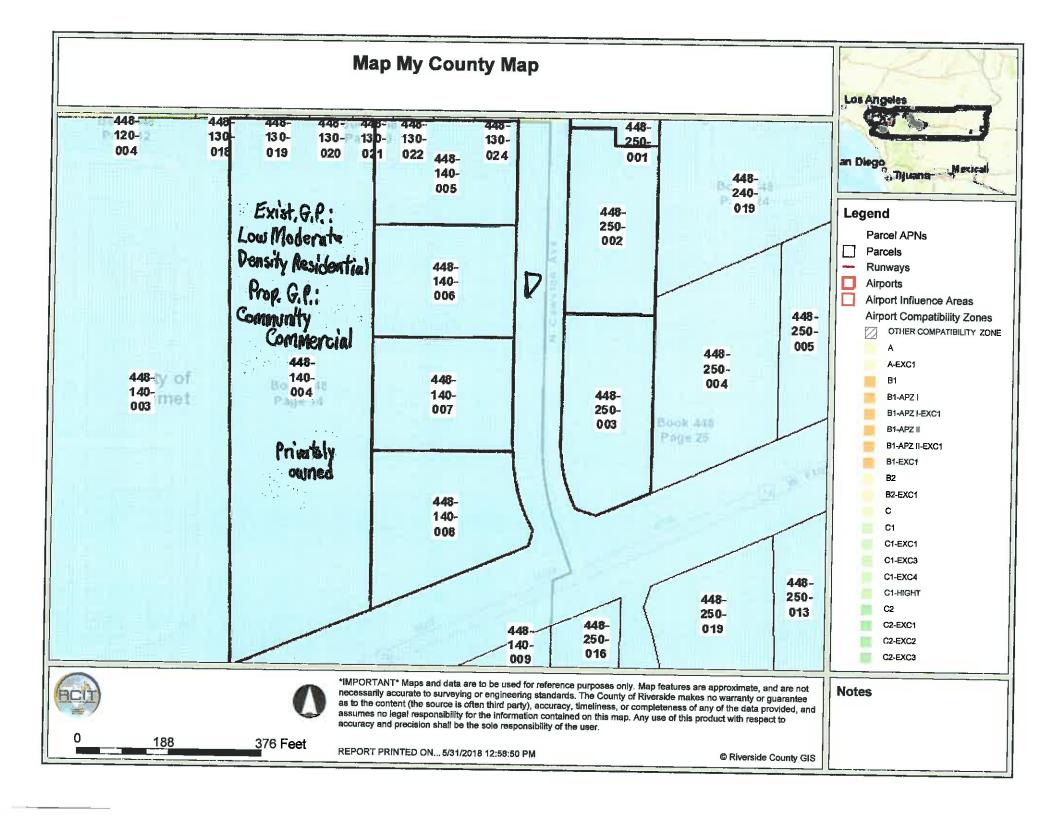


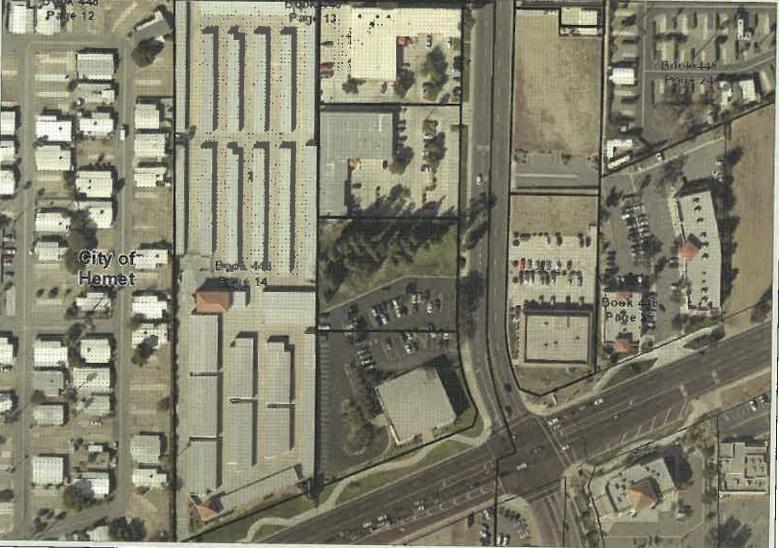
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- Airport Influence Areas
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- iiii City Areas
 - World Street Map





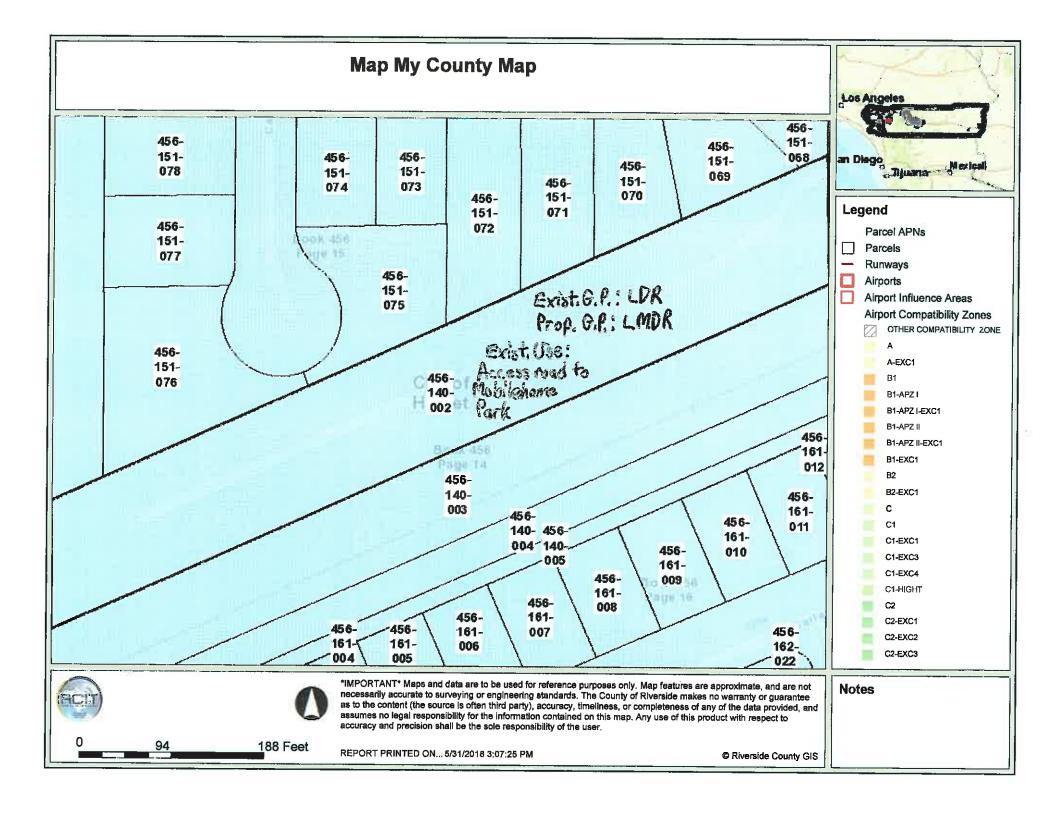
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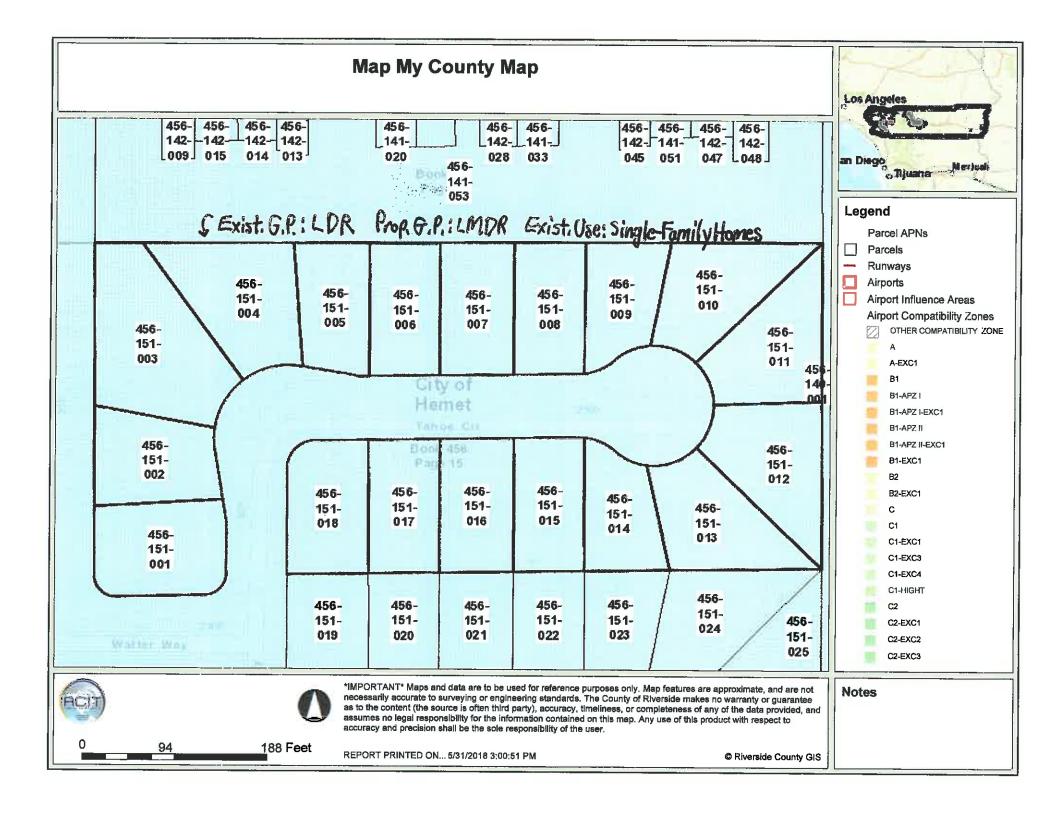
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GENERAL PLAN MAP AMENDMENTS (GPA18-001) Vacant Parcels

	vacant raice		CCIS
APN	ACRE	CURRENT GP	PROPOSED GP
460020006	6.35	ВР	LDR
445270047	0.28	CC	LDR
445270048	0.28	CC	LDR
445270049	0.29	CC	LDR
445270050	0.27	CC	LDR
445270051	0.28	CC	LDR
445270052	0.28	CC	LDR
445270053	0.30	CC	LDR
446092027	2.47	LDR	HDR
448250002	1.05	LMDR	CC
464020006	1.14	MDR	LDR
444250004	5.02	MDR	RR
444250009	2.41	MDR	RR
442071001	0.21	LDR	MDR
442073017	0.63	LDR	MDR
442084010	0.19	LDR	MDR
442084011	0.18	LDR	MDR
439050045	1.77	RR	LDR
443080004	1.06	MDR	LDR
445080008	3.69	CC	LDR
445210005	1.30	MDR	LDR
445210007	6.05	MDR	LDR
445210009	1.13	MDR	LDR
445220015	0.63	HDR	CC
438181002	0.22	RR	LDR
438192003	0.59	RR	LDR
451080019	0.27	NC	CC
451200018	0.27	RR	LDR
443101036	0.41	LDR	LMDR
443172053	0.20	LMDR	CC
443172054	0.16	LMDR	CC
444340003	2.38	LDR	NC
455120055	1.61	LDR	OS

43.36

5/1/2018

	APN	ACRE	CURRENT GP	PROPOSED GP
D	456050001	0.28	ARPT	
D	456050002	0.66	ARPT	1
D	456050017	7.82	ARPT	
2	456050043	9.64	ARPT	I
D	456020009	5.16	ARPT	PF
0	456050020	10.20	ВР	1
10	460020006	6.35	ВР	LDR
	442060025	2.11	CC	CC
E	442110007	4.77	CCL	CC
E	444030027	14.67	CCIMPRILI	R CC
Not	445313041	5.51	CC	HDR
Not	438091032	0.24	CC	LDR
Not	438091034	0.18	CC	LDR
	445080007	0.47	СС	LDR
	445080008	3.69	CC	LDR
$\vdash \vdash$	445080009	0.28	СС	LDR
	445080010	0.26	CC	LDR
lacksquare	445270047	0.28	СС	LDR
	445270048	0.28	CC	LDR
	445270049	0.29	CC	LDR
	445270050	0.27	CC	LDR
	445270051	0.28	CC	LDR
	445270052	0.28	CC	LDR
	445270053	0.30	CC	LDR
E	448140002	1.85	CC	LMDR
E	444310031	0.12	CC	MDR
E	444310032	4.77	CC	MDR
Not	445240017	2.35	CC	MDR
	551180013	0.15	СС	MDR
	551180014	0.21	CC	MDR
E	442073019	1.09	CC	NC
	442060025	2.11	CC/VHDR	CC
Not	445220013	1.05	HDR	CC
	445220014	0.39	HDR	CC
	445220015	0.63	HDR	CC
	445220016	0.61	HDR	CC
	445220018	0.52	HDR	CC
	445232005	0.44	HDR	CC
CAD	448320020	19.39	HDR	СС
	448460009	8.72	HDR	СС
D	448460010	0.07	HDR	СС
E	446271009	0.16	HDR	LMDR
E	446271010	0.15	HDR	LMDR
E	446272009	0.15	HDR	LMDR
E	446272010	0.15	HDR	LMDR
E	448290001	0.08	HDR	LMDR
E	448290001	0.08	HDR	LMDR

ATHSFRR
Private-Douglas A.Medore
County
County
City WIZO: M-2 to PZ
City
Page Strata BP

Three Gens Jain Vly Est (Mulli)

MHC Royal Holiday w/20: A5toR-2 emup JK Prop. (Apts.)

Kenya ltoteli Inc. Dzi Kowski Inv. (MHPK) wizci R3 601

Casa Pel Sol Inv. Group LASMSALP/Group II Clements, Nye, & Nyc Home Towled; R3 to R-Mu Home Home

	APN	ACRE	CURRENT GP	PROPOSED GP
E	448290002	0.07	HDR	LMDR
	448290003	0.08	HDR	LMDR
	448290004	0.07	HDR	LMDR
	448290005	0.08	HDR	LMDR
	448290006	0.07	HDR	LMDR
	448290007	0.08	HDR	LMDR
	448290008	0.07	HDR	LMDR
	448290009	0.08	HDR	LMDR
	448290010	0.09	HDR	LMDR
	448290011	0.11	HDR	LMDR
	448290012	0.09	HDR	LMDR
	448290013	0.08	HDR	LMDR
	448290014	0.09	HDR	LMDR
	448290015 448290016	0.07	HDR	LMDR
	448290016	0.07	HDR	LMDR
+	448290017	0.15	HDR	LMDR
	448290018	0.09 0.07	HDR HDR	LMDR
	448290019	0.07	HDR	LMDR LMDR
	448290020	0.08	HDR	LMDR
-	448290021	0.08	HDR	LMDR
	448290023	0.09	HDR	LMDR
	448290024	0.08	HDR	LMDR
	448290025	0.09	HDR	LMDR
	448290026	0.08	HDR	LMDR
	448290027	0.09	HDR	LMDR
	448290028	0.10	HDR	LMDR
	448290029	0.08	HDR	LMDR
Ī	448290030	0.09	HDR	LMDR
	448290031	0.08	HDR	LMDR
	448290032	0.09	HDR	LMDR
	448290033	0.08	HDR	LMDR
	448290034	0.07	HDR	LMDR
	448290035	0.06	HDR	LMDR
	448290036	0.14	HDR	LMDR
	448290037	0.07	HDR	LMDR
\square	448290038	0.07	HDR	LMDR
\sqcup	448290039	0.07	HDR	LMDR
$\vdash \downarrow$	448290040	0.08	HDR	LMDR
	448290041	0.07	HDR	LMDR
	448290042	0.07	HDR	LMDR
\vdash	448290043	0.09	HDR	LMDR
	448290044	0.09	HDR	LMDR
	448291001	0.10	HDR	LMDR
-	448291002	0.08	HDR	LMDR
	448291003	0.09	HDR	LMDR

Jubdivision northerly of Devonshire Ave, easterly of Quombio Ann Wy

Homes

	•			ssessor Parcel Number	
j	APN	ACRE	CURRENT GP	PROPOSED GP	
	448291004	0.07	HDR	LMDR	
	448291005	0.08	HDR	LMDR	
ļ	448291006	0.10	HDR	LMDR	
Į	448291007	0.08	HDR	LMDR	
	448291008	0.09	HDR	LMDR	
	448291009	0.07	HDR	LMDR	
	448291010	0.08	HDR	LMDR	
	448292001	0.10	HDR	LMDR	
	448292002	0.08	HDR	LMDR	
	448292003	0.09	HDR	LMDR	
	448292004	0.07	HDR	LMDR	
	448292005	0.08	HDR	LMDR	
	448292006	0.10	HDR	LMDR	
	448292007	0.08	HDR	LMDR	
	448292008	0.09	HDR	LMDR	
	448292009	0.07	HDR	LMDR	
	448292010	0.08	HDR	LMDR	
	445231012	0.38	HDR	MDR	
	445231013	0.37	HDR	MDR	
	445231014	0.37	HDR	MDR	
	445231015	0.37	HDR	MDR	
-	445231016	0.37	HDR	MDR	
Ī	445232001	0.40	HDR	MDR	
Ī	445232002	0.44	HDR	MDR	
ſ	445232003	0.44	HDR	MDR	
ſ	445232004	0.44	HDR	MDR	
Γ	446020004	0.19	HDR	MDR	
Γ	£ 446020005	0.19	HDR	MDR	
	£ 446020006	0.21	HDR	MDR	
	446020007	0.30	HDR	MDR	
	Vol. 432170019	39.00	HR	PF	
	432170020	49.09	HR	PF	
)	442110007	4.77		CC	
1	139040022	3.72	Ι.	LMDR	
	442151011	1.03	ı	LMDR	
	442093011	0.20	I	Р	
	442093020	0.04	ı	P	
	Not 439030004	1.74	1	RR	
	£ 442073008	0.28	LDR	СС	
ı	444030012	6.16	LDR	СС	
	444030027	7.33	LDR	CC	
	Not 445111001	0.38	LDR	CC	
t	445111002	0.24	LDR	CC	
ŀ	445111013	0.27	LDR	CC	
l					
	445111025 445161020	0.90 0.53	LDR LDR	CC CC	

Southerly of Acacia Ave. westerly of Gilbert St.

also on page 1

wizc Rite SLR City of Hemet Riv Co. Flood Cartel

WIZC: R-3 to C-2

	APN	ACRE	CURRENT GP	PROPOSED GP
Not	445161024	0.42	LDR	CC
	445191001	0.11	LDR	CC
	445191002	0.15	LDR	CC
	445191003	0.14	LDR	CC
	445191004	0.25	LDR	CC
	445191005	0.26	LDR	CC
	445191006	0.24	LDR	CC
	445191026	0.14	LDR	CC
E	442051013	1.53	LDR	HDR
E	442051017	1.64	LDR	HDR
E	442051019	0.30	LDR	HDR
E	443020044	9.26	LDR	HDR
A E	443181017	0.31	LDR	HDR
E	443181018	0.18	LDR	HDR
E	443181019	0.18	LDR	HDR
E	443181020	0.18	LDR	HDR
E	443181021	0.18	LDR	HDR
E	443181022	0.18	LDR	HDR
2	443181023	0.18	LDR	HDR
E	443181025	0.18	LDR	HDR
E	443181026	0.19	LDR	HDR
Not	445020046	4.34	LDR	HDR
$\perp \perp$	445321020	0.54	LDR	HDR
	445321024	0.24	LDR	HDR
\vdash	446092016	0.46	LDR	HDR
	446092027	2.47	LDR	HDR
F	451031050	0.18	LDR	HDR
Ĕ	451031051	0.18	LDR	HDR
5	451031052	0.18	LDR	HDR
E	451031053	0.18	LDR	HDR
Ē	451031054	0.18	LDR	HDR
5	451031055	0.18	LDR	HDR
E	451031056	0.18	LDR	HDR
E	451031057	0.18	LDR	HDR
E	451031058	0.18	LDR	HDR
E	451031059	0.18	LDR	HDR
O E	451031060 451031061	0.18 0.25	LDR	HDR
E	442051020	0.23	LDR	HDR
E	442051020	0.32	LDR LDR	HDR
E	442051021	0.31	LDR	HDR HDR
¢ E	442051022	0.31	LDR	HDR
6	442051023	0.02	LDR	HDR
6	442051025	1.74	LDR	HDR
<u></u>	442051025	0.65	LDR	HDR
Rind	439292034	0.03	LDR	LMDR
CHOU	437272034	0.11	רטג	LIVIDK

w/zc: r-1 to r-3 w/zc:rf to r-3 Tw/zc: c2to r-3

WERFCH TOSLK

APN **ACRE CURRENT GP PROPOSED GP** 439292035 0.11 LDR **LMDR** 439292036 0.11 **LDR LMDR** 439292037 0.14 LDR **LMDR** 439292038 0.20 **LDR LMDR** 439292039 0.14 **LDR LMDR** 439292040 0.10 **LDR LMDR** 439292041 0.09 **LDR LMDR** 439292042 0.10 **LDR LMDR** 439292043 0.10 LDR **LMDR** 439292044 0.10 **LDR LMDR** 439292045 0.09 **LDR LMDR** 439292046 0.09 **LDR LMDR** 439292047 0.10 **LDR LMDR** 439292048 0.10 **LDR LMDR** 439292049 0.09 **LDR LMDR** 439292050 0.11 **LDR LMDR # 439292053** 0.12 **LDR LMDR ⊆₩₩** 439292054 0.12 **LDR LMDR** EHO # 439292055 0.11 **LDR LMDR 340 / 439292056** 0.12 **LDR LMDR** 439292057 0.14 LDR **LMDR** 439292058 0.11 **LDR LMDR** 439292059 0.12 **LDR LMDR** 439292060 0.14 LDR **LMDR** 439292061 0.12 **LDR LMDR** 439293001 0.11 **LDR LMDR** 439293002 0.09 LDR **LMDR** 439293003 0.09 **LDR LMDR** 439293004 0.09 **LDR LMDR** 439293005 0.09 LDR **LMDR** 439293006 0.09 **LDR LMDR** 439293007 0.09 LDR **LMDR** 439293008 0.09 **LDR LMDR E+Ort** 439293009 0.09 **LDR LMDR 439293010** 0.11 LDR **LMDR 439293011** 0.10 **LDR LMDR** 439293012 0.10 **LDR LMDR** 439293013 0.10 **LDR LMDR** 439293014 0.10 **LDR LMDR** 439293015 0.09 LDR **LMDR** 439293016 0.10 LDR **LMDR** 439293017 0.10 **LDR LMDR** 439293018 0.10 **LDR LMDR** 439293019 0.09 **LDR LMDR** 439293020 0.11 **LDR LMDR** 439293021 0.11 **LDR LMDR**

IW/ZCRIC4 to SLR

5/14/2018

	APN	ACRE	CURRENT GP	PROPOSED GP
	439293022	0.09	LDR	LMDR
_	439293023	0.10	LDR	LMDR
	439293024	0.10	LDR	LMDR
	439293025	0.10	LDR	LMDR
E		0.09	LDR	LMDR
E		0.10	LDR	LMDR
_	439293028	0.10	LDR	LMDR
1 8		0.10	LDR	LMDR
E		0.10	LDR	LMDR
E	439293031	0.11	LDR	LMDR
E		0.09	LDR	LMDR
PE		0.09	LDR	LMDR
2		0.09	LDR	LMDR
E		0.09	LDR	LMDR
TE		0.09	LDR	LMDR
TE	439293037	0.09	LDR	LMDR
E	439293038	0.10	LDR	LMDR
E	439293039	0.09	LDR	LMDR
1	£ 443101023	0.14	LDR	LMDR
E	443101024	0.14	LDR	LMDR
E	443101025	0.13	LDR	LMDR
12	443101026	0.13	LDR	LMDR
E	443101027	0.13	LDR	LMDR
YE.	443101028	0.13	LDR	LMDR
	443101029	0.13	LDR	LMDR
E	443101030	0.14	LDR	LMDR
E	443101031	0.24	LDR	LMDR
	443101032	0.22	LDR	LMDR
E	443101033	0.20	LDR	LMDR
E	443101034	0.25	LDR	LMDR
<u> </u>	443101035	0.20	LDR	LMDR
LE	443101036	0.41	LDR	LMDR
L	445191012	0.25	LDR	LMDR
	445191013	0.28	LDR	LMDR
Ш	445191014	0.18	LDR	LMDR
	445191015	0.27	LDR	LMDR
	445191019	0.30	LDR	LMDR
	445191020	0.06	LDR	LMDR
	445191021	0.48	LDR	LMDR
\perp	445191022	0.04	LDR	LMDR
<u> </u>	445191023	0.02	LDR	LMDR
<u></u>	445191024	0.17	LDR	LMDR
	454080004	0.05	LDR	LMDR
<u> </u>	454080005	0.09	LDR	LMDR
Щ	454080006	0.09	LDR	LMDR
Ц_	454080007	0.11	LDR	LMDR

WIZC R-1-G-4 to SLR

			By Assessor Par	cei Number
	APN	ACRE	CURRENT GP	PROPOSED GP
No		0.07	LDR	LMDR
-+	454080009	0.07	LDR	LMDR
\rightarrow	454080010	0.07	LDR	LMDR
-	454080011	0.07	LDR	LMDR
	454080012	0.11	LDR	LMDR
\rightarrow	454080013	0.09	LDR	LMDR
	454080014	0.09	LDR	LMDR
-	454080015	0.05	LDR	LMDR
-+	454080016	0.05	<u>LD</u> R	LMDR
+	454080017	0.05	LDR	LMDR
	454080018	0.07	LDR	LMDR
\dashv	454080019	0.07	LDR	LMDR
\rightarrow	454080020	0.08	LDR	LMDR
-	454080021	0.10	LDR	LMDR
-	454080022	0.06	LDR	LMDR
	454080023	0.07	LDR	LMDR
-	454080024	0.07	LDR	LMDR
-4-	454080025	0.06	LDR	LMDR
\dashv	454080026	0.10	LDR	LMDR
	454080027	0.07	LDR	LMDR
-	454080028	0.10	LDR	LMDR
	454080029	0.07	LDR	LMDR
4	454080030	0.07	LDR	LMDR
- -	454080031	0.07	LDR	LMDR
_	454080032	0.07	LDR	LMDR
-	454080033	0.10	LDR	LMDR
-	454080034	0.08	LDR	LMDR
	454080035	0.07	LDR	LMDR
+	454080036	0.07	LDR	LMDR
-	454080037	0.06	LDR	LMDR
	454080038	0.03	LDR	LMDR
	454080039	1.52	LDR	LMDR
-	454080040	0.74	LDR	LMDR
	454080041	0.61	LDR	LMDR
2	456140002	1.65	LDR	LMDR
- <u> </u>	456151001	0.20	LDR	LMDR
-K -	456151002	0.17	LDR	LMDR
<u>K</u>	456151003	0.30	LDR	LMDR
2	456151004	0.23	LDR	LMDR
- K -	456151005	0.15	LDR	LMDR
<u>D</u>	456151006	0.15	LDR	LMDR
R	456151007	0.16	LDR	LMDR
B	456151008	0.15	LDR	LMDR
2	456151009	0.14	LDR	LMDR
B	456151010	0.19	LDR	LMDR
V	456151011	0.20	LDR	LMDR

wizc: R-A to R-2

5	4.50		Dy Assessor Part	
	APN	ACRE	CURRENT GP	PROPOSED GP
	456151012	0.21	LDR	LMDR
	456151013	0.20	LDR	LMDR
Щ	456151014	0.14	LDR	LMDR
	456151015	0.16	LDR	LMDR
	456151016	0.16	LDR	LMDR
	456151017	0.16	LDR	LMDR
	456151018	0.18	LDR	LMDR
	442071001	0.21	LDR	MDR
LE	442071002	0.18	LDR	MDR
E	442071003	0.17	LDR	MDR
E	442071004	0.16	LDR	MDR
LE	442071005	0.15	LDR	MDR
E	442071006	0.15	LDR	MDR
6	442071007	0.15	LDR	MDR
E	442071008	0.15	LDR	MDR
E	442071009	0.14	LDR	MDR
E	442071010	0.17	LDR	MDR
E	442071011	0.15	LDR	MDR
E	442071012	0.14	LDR	MDR
E	442071013	0.14	LDR	MDR
E	442071014	0.16	LDR	MDR
E	442071015	0.16	LDR	MDR
E	442071016	0.16	LDR	MDR
PE	442071017	0.16	LDR	MDR
E	442071018	0.16	LDR	MDR
R	442071019	0.16	LDR	MDR
12	442071020	0.16	LDR	MDR
PE	442071021	0.18	LDR	MDR
12	442071022	0.26	LDR	MDR
75	442072001	0.15	LDR	MDR
12	442072002	0.14	LDR	
T E	442072003	0.17	LDR	MDR
F	442072004	0.17	LDR	MDR
F.	442072005	0.15	LDR	MDR
F	442072006	0.17	LDR	MDR
P C	442072007	0.17	LDR	MDR
12	442072008	0.17	LDR	MDR
12	442072009	0.18	LDR	MDR
F	442072010	0.18		MDR
F	442072011	0.19	LDR	MDR
2	442072011	0.18	LDR	MDR
=	442072012	0.19	LDR	MDR
P	442072015		LDR	MDR
17		0.19	LDR	MDR
13	442072016	0.29	LDR	MDR
12	442073001	0.15	LDR	MDR
	442073002	0.16	LDR	MDR

	by Assessor Farce			cei Mullibei
-	APN		CURRENT GP	PROPOSED GP
E	442073003		LDR	MDR
1	442073004		LDR	MDR
E	442073009		LDR	MDR
E	442073010	0.10	LDR	MDR
E	442073013	5.25	LDR	MDR
E	<u>442073014</u>	0.02	LDR	MDR
E	442073017	0.63	LDR	MDR
<u> </u>	442073018	0.38	LDR	MDR
L'	442075016	0.65	LDR	MDR
15	442081004	0.19	LDR	MDR
E	442081005	0.32	LDR	MDR
E	442081006	0.12	LDR	MDR
E	442081007	0.14	LDR	MDR
E	442081008	0.63	LDR	MDR
E	442081023	0.25	LDR	MDR
E	442082005	0.10	LDR	MDR
E	442082006	0.10	LDR	MDR
E	442082007	0.10	LDR	MDR
E	442082008	0.21	LDR	MDR
E	442082009	0.01	LDR	MDR
E	442082010	0.19	LDR	MDR
E	442082011	0.10	LDR	MDR
E	442082013	0.06	LDR	MDR
E	442082014	0.13	LDR	MDR
E	442082015	0.23	LDR	MDR
E	442082016	0.21	LDR	MDR
E	442082017	0.20	LDR	MDR
	442082018	0.20	LDR	MDR
45	442082019	0.29	LDR	MDR
1	442082020	0.31	LDR	MDR
E	442082021	0.20	LDR	MDR
E	442082022	0.42	LDR	MDR
E	442082023	0.23	LDR	MDR
B	442082024	0.19	LDR	MDR
<u></u>	442082025	0.09	LDR	MDR
R	442082026	0.12	LDR	MDR
d =	442083001	0.19	LDR	MDR
E	442083002	0.24	LDR	MDR
E	442083003	0.17	LDR	MDR
H	442083004	0.23	LDR	MDR
E	442083005	0.18	LDR	MDR
<u> </u>	442083011	0.18	LDR	MDR
5	442083012	0.18	LDR	MDR
H	442083013	0.18	LDR	MDR
4	442083015	0.23	LDR	MDR
Ħ	442083016	0.19	LDR	MDR

	A Panel		Dy Assessor Fait	er Hamber
	APN		CURRENT GP	PROPOSED GP
\vdash	442083021	0.18	LDR	MDR
\vdash	<u>£</u> 442083022	0.20	LDR	MDR
b	442084001	0.22	LDR	MDR
\vdash	<u>2</u> 442084002	0.21	LDR	MDR
<u> </u>	£ 442084003	0.19	LDR	MDR
1	442084004	0.19	LDR	MDR
4	442084005	0.19	LDR	MDR
	442084006	0.19	LDR	MDR
	442084007	0.19	LDR	MDR
1 6	442084010	0.19	LDR .	MDR
		0.18	LDR	MDR
1.5	442303001	0.26	LDR	MDR
	442303002	0.23	LDR	MDR
	7	0.24	LDR	MDR
6	442303004	0.22	LDR	MDR
E	442303005	0.24	LDR	MDR
5	442303006	0.24	LDR	MDR
E	442303007	0.24	LDR	MDR
LE	442303008	0.24	LDR	MDR
TE	442303009	0.27	LDR	MDR
2	443030040	0.92	LDR	MDR
2	443030044	2.21	LDR	MDR
E	443030052	2.30	LDR	MDR
4	443030053	1.48	LDR	MDR
N		0.45	LDR	MDR
	443080048	0.45	LDR	MDR
	445020001	0.38	LDR	MDR
oxdot	445143004	0.19	LDR	MDR
	445143005	0.18	LDR	MDR
oxdot	445143006	0.18	LDR	MDR
	445143007	0.18	LDR	MDR
\square	445143008	0.18	LDR	MDR
<u> </u>	445143009	0.18	LDR	MDR
\vdash	445143010	0.18	LDR	MDR
	445143011	0.18	LDR	MDR
	446081018	0.31	LDR	MDR
 	446081022	0.47	LDR	MDR
	447173006	0.81	LDR	MDR
	447173007	0.14	LDR	MDR
$\vdash \vdash$	447173008	0.13	LDR	MDR
	447173009	0.13	LDR	MDR
	447173010	0.25	LDR	MDR
<u> </u>	447173011	0.26	LDR	MDR
<u> </u>	447173012	0.17	LDR	MDR
	447173013	0.18	LDR	MDR
	447173014	0.19	LDR	MDR

WZC: A+C-Sto R-2 WZC: RAto R-2

				57 / NOSCOSOT 1 GT	
		APN	ACRE	CURRENT GP	PROPOSED GP
	NOT 4471	.73020	0.95	LDR	MDR
	4471	73021	0.19	LDR	MDR
	4471	73022	0.16	LDR	MDR
	4471	73023	0.16	LDR	MDR
	4471	73024	0.16	LDR	MDR
	4471	73025	0.16	LDR	MDR
	4471	73026	0.16	LDR	MDR
	4471	73027	0.16	LDR	MDR
i	· 4471	73028	0.32	LDR	MDR
	4471	73029	0.16	LDR	MDR
	4471	73030	0.16	LDR	MDR
	4471	73031	0.21		MDR
	4471	73034	1.24	-	MDR
	<i>E</i> 4420	40013	0.65	<u> </u>	MDR
	£ 4420	40014	0.65		MDR
싸	6 4391	00049	4.54	LDR	MU
		73019	0.74	LDR	NC
	£ 4443	40001	4.80	LDR	NC
Ì		40002	2.38	LDR	NC
-		40003	2.37	LDR	NC
Ì		40004	1.69	LDR	NC NC
Ì		30012	0.18	LDR	NC
ı	- Annual Control of the Control of t	44024	0.88	LDR	NC NC
ı		44027	0.27	LDR	NC
Ì	£ 44604	44031	0.76	LDR	NC
	4460	61001	1.84	LDR	NC
٦	£ 4431	81012	0.23	LDR	OP
Ī	4460	71001	0.40	LDR	ОР
	4460	71009	0.19	LDR	ОР
ſ	4551	20055	1.61	LDR	OS
	4392!	50021	0.45	LDR	PF
	4441 6	50002	0.25	LDR	PF
	Not 45400	60035	6.16	LDR	PF
	45408	30049	0.16	LDR	PF
L	44205	51018	1.65	LDR	HDR
	Not 44632	20058	0.26	LDR	MDR
L	44632	20059	0.26	LDR	MDR
	44632	20060	0.26	LDR	MDR
Ĺ	44632	20061	0.26	LDR	MDR
	44632	20062	0.26	LDR	MDR
	44632	20063	0.24	LDR	MDR
	44632	20064	0.66	LDR	MDR
	44204	80001	1.01	LDR	MDR
	44317	2016	0.19	LMDR	CC
	44317	2051	0.23	LMDR	CC
L	<u>6</u> 44317	2053	0.20	LMDR	CC

W/ZCIGQ to CH

IW/ZCIR-PtoOP

W/ZCIR-PtoOP

W/ZCIR-Toop

W/ZCIR-Top

W/ZCIR-Top

W/ZCIR-Top

APN	ACRE	CURRENT CR	DRODOSED OD
£ 443172054		CURRENT GP	PROPOSED GP
			CC
448140004		-	CC
448140005		LMDR	CC
448140006		LMDR	CC
448140007		LMDR	СС
448140008			CC
448250001	0.12	LMDR	CC
448250002		LMDR	СС
448250003		LMDR	CC
£ 444390002		LMDR	RR
£ 444390003		LMDR	RR
<i>E</i> 444390004		LMDR	RR
<i>E</i> 444390005	0.50	LMDR	RR
E 444390006	0.65	LMDR	RR
444390007	1.08	LMDR	RR
£ 448402017	0.87	LMDR	HDR
444030027	7.33	MDR	CC
Not 443080001	0.52	MDR	LDR
443080002	0.34	MDR	LDR
443080003	0.41	MDR	LDR
443080004	1.06	MDR	LDR
443080005	2.07	MDR	LDR
443080006	0.17	MDR	LDR
443080007	0.17	MDR	LDR
443080008	0.17	MDR	LDR
443080009	0.17	MDR	LDR
443080010	0.17	MDR	LDR
443080011	0.17	MDR	LDR
443080012	0.17	MDR	LDR
443080013	0.17	MDR	LDR
443080014	0.17	MDR	LDR
443080015	0.16	MDR	LDR
443080016	0.17	MDR	LDR
443080017	0.17	MDR	LDR
443080018	0.17	MDR	LDR
443080019	0.17	MDR	LDR
443080020	0.17	MDR	LDR
443080021	0.17	MDR	LDR
443080022	0.17	MDR	LDR
443080023	0.17	MDR	LDR
445210005	1.30	MDR	LDR
445210007	6.05	MDR	LDR
445210009	1.13	MDR	
445210003	0.15	MDR	LDR
445210010			LDR
445210011	0.16	MDR	LDR
445210012	0.16	MDR	LDR

Duyer Prop. Inc.
Hemet Commercial
Assembly of God
Met Life
Met Life
WIZC: R-A to G-2 GTE
Hemet Covenant Group
Courston Medical Center
W/ZC: A+G-toRR

5/14/2018

	APN	ACRE	CURRENT GP	PROPOSED GP
Net	445210013		MDR	LDR
1	445210014			LDR
	445210015		MDR	LDR
	445210016		MDR	LDR
	445210017	0.18	MDR	LDR
	445210018	0.17	MDR	LDR
	445210019	0.17	MDR	LDR
	445210020	0.17	MDR	LDR
	445210021	0.17	MDR	LDR
	445210022	0.17	MDR	LDR
	445210023	0.15	MDR	LDR
	445210024	0.17	MDR	LDR
E	446020026	0.18	MDR	LDR
E	446020027	0.17	MDR	LDR
E	446020028	0.18	MDR	LDR
E	446020029	0.17	MDR	LDR
E	446020030	0.15	MDR	LDR
E	446020031	0.15	MDR	LDR
B	446020032	0.15	MDR	LDR
E	446020033	0.15	MDR	LDR
E_{-}	446020034	0.15	MDR	LDR
E	446020038	0.20	MDR	LDR
R	446020039	0.17	MDR	LDR
居	446020040	0.19	MDR	LDR
E	446020041	0.20	MDR_	LDR
2	446020042	0.17	MDR	LDR
E	446020043	0.18	MDR	LDR
E	446020044	0.20	MDR	LDR
E	446020045	0.20	MDR	LDR
<u>F</u>	446020046	0.18	MDR	LDR
E	446020047	0.18	MDR	LDR
日日	446020048 446020049	0.18	MDR	LDR
2	446020049	0.18	MDR	LDR
12	446020051	0.18 0.17	MDR	LDR
E	446020052	0.17	MDR MDR	LDR
E	446020053	0.19	MDR	LDR
E	446020054	0.19	MDR	LDR LDR
E	446020055	0.18	MDR	LDR
Ē	446020056	0.20	MDR	LDR
E	446020058	0.14	MDR	LDR
E	446020059	0.14	MDR	LDR
P	446020062	0.16	MDR	LDR
E	446020063	0.19	MDR	LDR
H	446032001	0.13	MDR	LDR
E	446032002	0.14	MDR	LDR
			771011	LUIT

720:R-2 to R-1-6

5/14/2018

APN	ACRE	CURRENT GP	
446032003			PROPOSED GP
446032004	0.14	MDR	LDR
F 446032004	0.14	MDR	LDR
	0.14	MDR	LDR
446032006	0.14	MDR	LDR
446032007	0.14	MDR	LDR
446032008	0.14	MDR	LDR
446032009	0.14	MDR	LDR
446032010	0.15	MDR	LDR
446032011	0.15	MDR	LDR
446032012	0.15	MDR	LDR
446032013	0.15	MDR	LDR
446032014	0.15	MDR	LDR
446032015	0.15	MDR	LDR
446032016	0.15	MDR	LDR
446032017	0.15	MDR	LDR
446032018	0.15	MDR	LDR
448280001	0.16	MDR	LDR
£ 448280002	0.16	MDR	LDR
448280003	0.16	MDR	LDR
£ 448280004	0.16	MDR	LDR
448280005	0.16	MDR	LDR
448280006	0.16	MDR	LDR
448280007	0.16	MDR	LDR
448281001	0.16	MDR	LDR
448281002	0.17	MDR	LDR
448281003	0.17	MDR	LDR
448281004	0.17	MDR	LDR
448281005	0.17	MDR	LDR
448281006	0.17	MDR	LDR
448281007	0.17	MDR	LDR
448281008	0.17	MDR	LDR
448281009	0.17	MDR	LDR
448281010	0.17	MDR	LDR
448281011	0.17	MDR	LDR
448281012	0.16	MDR	LDR
448281013	0.15	MDR	LDR
2 448281027	0.15	MDR	LDR
448282001	0.16	MDR	LDR
448282002	0.17	MDR	LDR
<u>F</u> 448282003	0.17	MDR	LDR
448282004	0.17	MDR	LDR
£ 448282005	0.17	MDR	LDR
<u>£</u> 448282006	0.17	MDR	LDR
448282007	0.17	MDR	LDR
<u>E</u> 448282008	0.17	MDR	LDR
448282009	0.17	MDR	LDR

TWIZCRATOR+6

W2CR-16R-1-7.2

	by Assessor Parcel Number				
	APN	ACRE	CURRENT GP	PROPOSED GP	
44828	_	0.17	MDR	LDR	
44828		0.17	MDR	LDR	
44828		0.16	MDR	LDR	
44828		0.15	MDR	LDR	
44828	2027	0.15	MDR	LDR	
£ 44828	3001	0.18	MDR	LDR	
<u>E</u> 44828	3002	0.18	MDR	LDR	
44828	3003	0.18	MDR	LDR	
44828	3004	0.18	MDR	LDR	
44828	3005	0.18	MDR	LDR	
44828	3006	0.17	MDR	LDR	
44828	3007	0.18	MDR	LDR	
£ 44828	3008	0.18	MDR	LDR	
E 44828	3009	0.18	MDR	LDR	
<u>E</u> 44828	3010	0.18	MDR	LDR	
44828	3011	0.18	MDR	LDR	
44828	3012	0.18	MDR	LDR	
<u></u>	3013	0.15	MDR	LDR	
44828	3025	0.15	MDR	LDR	
<u>€</u> 448290	0045	0.26	MDR	LDR	
464020		1.14	MDR	LDR	
551060	0026	1.06	MDR	LDR	
<i>E</i> 446211	1017	0.08	MDR	LMDR	
446211	1018	0.08	MDR	LMDR	
446211		0.10	MDR	LMDR	
446211	L020	0.10	MDR	LMDR	
<u>P</u> 446211		0.08	MDR	LMDR	
446211		0.08	MDR	LMDR	
446211	.023	0.11	MDR	LMDR	
446211		0.12	MDR	LMDR	
446211	_	0.11	MDR	LMDR	
446211		0.08	MDR	LMDR	
446211		0.08	MDR	LMDR	
<u>£</u> 446211		0.09	MDR	LMDR	
446211		0.10	MDR	LMDR	
<u>E</u> 446211	_	0.08	MDR	LMDR	
446211		0.08	MDR	LMDR	
446211		0.11	MDR	LMDR	
<u>F</u> 446211		0.12	MDR	LMDR	
<u>₹</u> 446211	034	0.11	MDR	LMDR	
F 446211		0.08	MDR	LMDR	
<u>E</u> 446211	036	0.08	MDR	LMDR	
<i>E</i> 446211	037	0.10	MDR	LMDR	
446211		0.10	MDR	LMDR	
446211	039	0.08	MDR	LMDR	
446211	040	0.11	MDR	LMDR	

WECR-HORI-72

T w/zcr-ltoslp

APN ACRE **CURRENT GP PROPOSED GP** 446211041 0.12 **MDR LMDR** 446211042 0.11 MDR **LMDR** 446211043 0.08 MDR **LMDR** 446211044 0.10 **MDR LMDR** 446211045 0.10 **MDR LMDR** 446211046 0.08 **MDR LMDR** 446211047 0.11 **MDR LMDR** 446211048 0.12 **MDR LMDR** 446211049 0.11 **MDR LMDR** 446211050 0.08 **MDR LMDR** 446211051 0.10 **MDR LMDR** 446211052 0.10 **MDR LMDR** 446211053 0.08 **MDR LMDR** 446211059 1.60 **MDR LMDR** 446212001 0.09 **MDR LMDR** 446212002 0.08 **MDR LMDR** 446212003 0.08 **MDR LMDR** 446212004 0.11 **MDR LMDR** 446212005 0.12 **MDR LMDR** 446212006 0.11 **MDR LMDR** 446212007 0.08 MDR **LMDR** F 446212008 0.08 **MDR LMDR** 446212009 0.09 **MDR LMDR** 446212010 0.09 **MDR LMDR** 446212011 0.09 **MDR LMDR** 446212012 0.08 **MDR LMDR** 446212013 0.12 **MDR LMDR** 446212014 0.12 **MDR LMDR** 446212015 0.11 MDR **LMDR** 446212016 0.08 **MDR LMDR** 446212017 0.08 MDR **LMDR** 446212018 0.09 MDR **LMDR** 446212019 0.10 MDR **LMDR** 446212020 0.09 **MDR LMDR** 446212021 0.08 MDR **LMDR** 446212022 0.12 **MDR LMDR** 旦 446212023 0.12 **MDR LMDR** 446212024 0.11 **MDR LMDR** 446212025 0.08 **MDR LMDR** 446212026 80.0 **MDR LMDR** 446212027 0.09 **MDR LMDR** 446212028 0.10 **MDR LMDR** 446212029 E 0.09 **MDR LMDR** 446212030 0.09 MDR **LMDR** 446212031 0.09 **MDR LMDR** 446212032 0.09 MDR **LMDR**

WIZORITOBLR

				by Assessor Parc	ei Number	
		APN	ACRE	CURRENT GP	PROPOSED GP	1- 100 01 (5: 8)
	F	446212033	0.09	MDR	LMDR	TWIZC RI TO SLR
	E	446212034	0.09	MDR	LMDR	11
	E	446212035	0.09	MDR	LMDR	
	E	446212036	0.09	MDR	LMDR	
	E	446212037	0.10	MDR	LMDR] [
	E	446212038	0.10	MDR	LMDR]
	E	446212039	0.08	MDR	LMDR]
-	F	446212040	0.11	MDR	LMDR	
,	E	446212041	0.12	MDR	LMDR	
	E	446212042	0.11	MDR	LMDR	
	6	446212043	0.08	MDR	LMDR	
	E	446212044	0.10	MDR	LMDR	
	2	446212045	0.10	MDR	LMDR	
	E	446212046	0.08	MDR	LMDR])
	E	446212047	0.11	MDR	LMDR	1
	E	446212048	0.12	MDR	LMDR	<u> </u>
Ì	K	446212049	0.11	MDR	LMDR]]
	L	446212050	0.08	MDR	LMDR	
	<u> </u>	446212051	0.10	MDR	LMDR	
	E	446212052	0.10	MDR	LMDR]]
	<u>E</u>	446212053	0.08	MDR	LMDR	
	<u></u>	446212054	0.11	MDR	LMDR	
	E	446212055	0.12	MDR	LMDR	[[
4		446212056	0.11	MDR	LMDR	
	<u>=</u>	446212057	0.08	MDR	LMDR	
	=	446212058	0.10	MDR	LMDR	
-4	<u> </u>	446212059	0.16	MDR	LMDR	1 0000
1	5	442030026	1.72	MDR	ОР	WIZC! R-2 to OP
	5	444250004	5.02	MDR	RR	WIZC: Al-Ctork
	- Ou	445150007	1.80	MDR	LDR	
ŀ	\dashv	445150017	1.25	MDR	LDR	
	+	445150018	1.24	MDR	LDR	
ŀ	+	445201001 445201002	0.19	MDR	LDR	
ŀ	-	445201002	0.17	MDR	LDR	
ŀ	-	445201003	0.17	MDR	LDR	
-	-	445202034	0.42	MDR	LDR	
1	_	445202035	0.25	MDR	LDR	
ŀ	-	445202036	0.43	MDR	LDR	
-	\dashv	445202038	0.19	MDR	LDR	
-	+	445202039	0.21	MDR	LDR	
	\dashv	445202039	0.43	MDR	LDR	
-	E	444250005	1.81	MDR MDR	LDR	. New Account
-	E	444250005	1.81		RR	WIZC: A-HCTORR
-	E	444250008	0.15	MDR	RR	
-		444250008	2.41	MDR	RR	
L		444230009		MDR_	RR R	

5/14/2018

		APN	ACRE	CURRENT GP	PROPOSED GP	
	E	444250010	2.38	MDR	RR	TWIZOIA-1-CTORR
	K	444250011	0.57	MDR	RR	
	E	444250012	1.73	MDR	RR]
	G	444250013	2.06	MDR	RR	
_	E	444250014	0.76	MDR	RR	
	に	442030002	0.46	NC	СС	
		442030005	0.23	NC	CC	
	E	442030006	0.88	NC	CC	
	E	442030007	0.26	NC	CC	
	E	442030008	0.30	NC	CC	
- 5	E	442030009	0.27	NC	СС	
	E	442030010	0.57	NC	CC	
	E	442030011	0.59	NC	CC	
	E	442030012	0.54	NC	CC	
	R	442030013	1.46	NC	СС	
1	E	442030020	0.46	NC NC	CC	
		442030021	0.60	NC	СС	
	E	442030022	0.61	NC	СС	
	2	442030023	1.04	NC	CC	
	E	442030025	0.23	NC	СС	ONTO MILLOM
	3.7A	442030033	0.29	NC	CC	wizc:M-1 toc-M uizcim-1 toc-M T wizc: C-Hoc-Q
	E	442030034	0.37	NC	СС	Tubo all 61
	E	446280010	1.45	NC	СС	MIZC, GITOCES
	e	446280011	0.81	NC NC	CC	
-	E	446280018	1.61	NC NG	CC	
	E	446290006	7.67	NC NC	CC	
	5	446290007 446300024	0.90 2.53	NC NC	CC	
	<u> </u>	446300024	0.33	NC NC	CC	
	5	446300025		NC NC	CC	
	e	446300027	0.19	NC NC	CC	
	E	446300028	0.19	NC	cc	
	96	446300029	0.75	NC	CC	
	E	446300030	0.58	NC	CC	
	F	446300031	0.46	NC	cc	
	E	451062020	0.81	NC	CC	TW/ZCIC-1tac-2
	E	451062032	0.48	NC	CC	, 5,5,000
	E	451062036		NC	СС	
	E	451062037	2.45	NC	CC	
	E	451062039	2.45	NC	CC	
	E	451062040	0.01	NC	CC	
9	E	451080006		NC	CC	1
	E	451080007	0.23	NC	CC	
	E	451080008	2.06	NC	СС	
	K	451080012	0.31	NC	СС	1
٩		451080013	0.31	NC	CC	
						. 1

	APN	ACRE	CURRENT CR	
EL	Out 451080016		CURRENT GP	PROPOSED GP
		0.90	NC NC	СС
	70	1.91	NC NC	CC
<u> </u>		0.27	NC NC	СС
<u>E</u>		0.27	NC NC	СС
Et		1.95	NC NC	СС
Et	-	1.72	NC NC	CC
O		0.16	NC	MDR
\vdash	445102011	0.18	NC	MDR
-	445102012	0.18	NC NC	MDR
-	445102013	0.15	NC	MDR
	445102014	0.15	NC NC	MDR
	451130005 448120004	0.38	P	HDR
		9.15	Р	OS
O		0.63	RR	LDR
\vdash	438150002	0.35	RR	LDR
\vdash	438150005	0.23	RR	LDR
Н	438150006	0.23	RR	LDR
$\vdash\vdash$	438150007	0.23	RR	LDR
Н	438150008	0.34	RR	LDR
\vdash	438150009	0.47	RR	LDR
\vdash	438150010	0.49	RR	LDR
\vdash	438150011	0.47	RR	LDR
<u> </u>	438150012	0.48	RR	LDR
\vdash	438150013	0.31	RR	LDR
\vdash	438150014 438150015	0.53	RR	LDR
\vdash		0.39	RR	LDR
-	438150016 438150017	0.39	RR	LDR
 	438150017	0.28	RR	LDR
├─		0.03	RR	LDR
\vdash	438150051 438150052	0.23	RR	LDR
 	438150054		RR	LDR
\vdash	438150055	0.41	RR	LDR
 	438130033		RR	LDR
 	438181001	0.36	RR	LDR
	438181002	0.22	RR	LDR
	438181005	0.85	RR RR	LDR
	438181005	0.81	RR	LDR
	438181007	0.81	RR	LDR
<u> </u>	438181007	0.00	RR	LDR
	438181012	0.00	RR	LDR
	438181012	0.24	RR	LDR
	438181014	0.19	RR	LDR
	438181014	0.23	RR	LDR
	438181021	0.84		LDR
	438181021		RR	LDR
	430101042	0.32	RR	LDR

w/zoicitoca

5/14/2018

	Dy Assessor Parcer Number			
	APN	ACRE	CURRENT GP	PROPOSED GP
Out	438181023	0.47	RR	LDR
+	438182001	0.82	RR	LDR
	438182002	0.44	RR	LDR
_	438182003	1.00	RR	LDR
_	438182004	0.69	RR	LDR
	438191001	0.35	RR	LDR
_	438191002	0.31	RR	LDR
	438191003	0.30	RR	LDR
_	438191004	0.28	RR	LDR
	438191005	0.28	RR	LDR
_	438191006	0.29	ŔR	LDR
_	438191007	0.34	RR	LDR
_	438191008	0.24	RR	LDR
_	438191009	0.74	RR	LDR
_	438191010	0.89	RR	LDR
_	438191011	0.72	RR	LDR
_	438191014	0.51	RR	LDR
_	438191015	0.32	RR	LDR
_	438191018	0.32	RR	LDR
	438191019	0.27	RR	LDR
	438191020	0.33	RR	LDR
1_	438191021	0.30	RR	LDR
	438191022	0.30	RR	LDR
	438191023	0.34	RR	LDR
	438191026	0.18	RR	LDR
	438191029	0.18	RR	LDR
	438192001	0.64	RR	LDR
1	438192002	0.61	RR	LDR
	438192003	0.59	RR	LDR
	438192004	0.58	RR	LDR
	438192007	0.60	RR	LDR
	438192008	0.60	RR	LDR
	438250008	0.48	RR	LDR
	438250009	0.44	RR	LDR
	438250014	0.27	RR	LDR
	438250015	0.30	RR	LDR
	438250017	1.08	RR	LDR
	438250018	1.03	RR	LDR
	438250026	0.42	RR	LDR
	438250027	0.63	RR	LDR
	439050045	1.77	RR	LDR
FOUT	444380001	0.36	RR	LDR
?	444380002	0.37	RR	LDR LDR
2	444380003	0.37	RR	LDR
3	444380004	0.38	RR	LDR
3	444380005	0.45	RR	LDR

w/zc: N-Ato R-1-10 Tw/zc: RAtoR-1-10

APN	ACRE	CURRENT CR	DDODOCED OD	7
¥ 444380006		CURRENT GP	PROPOSED GP	T. NZO: ON Y. P.L.ID
£ 444380000		RR RR	LDR	TW/2018AtoRt-10
444380007	-	RR	LDR	41
444380008		RR	LDR	
Et 144380010	·	RR	LDR LDR	
E404-444380011		RR		4
444380012		RR	LDR	
444380013		RR	LDR LDR	4
444380013		RR	LDR	-
444380015	0.47	RR	LDR	-
444380016		RR	LDR	-{ }
444380017	0.48	RR	LDR	1
444380018		RR	LDR	⋠ ┃
444380019		RR	LDR	
444380020		RR	LDR	1
444380021	0.46	RR	LDR	1
E+0x1+444380022	0.47	RR	LDR	1
E+0u+444380023	0.47	RR	LDR	1
<i>E</i> 444380024	0.47	RR	LDR	-
E+0v 444380025	0.47	RR	LDR	1
E+0+444380026	0.42	RR	LDR	1
Out 444380027	0.42	RR	LDR	11
Out 444380028	0.41	RR	LDR	
451200007	0.23	RR	LDR	
451200008	0.25	RR	LDR	1
451200009	0.24	RR	LDR	1
451200010	0.22	RR	LDR	
451200013	0.26	RR	LDR	i
451200016	0.33	RR	LDR	
451200017	0.31	RR	LDR	
451200018	0.27	RR	LDR	
451200019	0.41	RR	LDR	
451200020	0.22	RR	LDR	
451200021	0.23	RR	LDR	
451200022	0.22	RR	LDR	
451200023	0.23	RR	LDR	
451200024	0.32	RR	LDR	
451200025	0.24	RR	LDR	
451200026	0.23	RR	LDR	
451200027	0.22	RR	LDR	
451200028	0.22	RR	LDR	
451200029	0.22	RR	LDR	
451200031	0.21	RR	LDR	
451200032	0.22	RR	LDR	
451200033	0.22	RR	LDR	
451200034	0.22	RR	LDR	

	200		by Assessor Parc	
4 1	APN	ACRE	CURRENT GP	PROPOSED GP
Out	451200035	0.22	RR	LDR
	451200036	0.22	RR	LDR
	451200037	0.23	RR	LDR
$\vdash \vdash$	451200038	0.22	RR	LDR
	451200039	0.22	RR	LDR
	451200040	0.22	RR	LDR
	451200041	0.22	RR	LDR
	451200042	0.22	RR	LDR
	451200043	0.22	RR	LDR
	451200044	0.24	RR	LDR
	451200045	0.22	RR	LDR
	451200046	0.22	RR	LDR
	451200047	0.23	RR	LDR
	551341017	0.34	RR	LDR
	551341018	0.33	RR	LDR
	551341019	0.34	RR	LDR
	551341020	0.34	RR	LDR
	551341021	0.25	RR	LDR
	551341022	0.31	RR	LDR
	551342021	0.31	RR	LDR
	551342022	0.18	RR	LDR
	439040020	4.60	RR	LMDR
	444350001	3.52	RR	PF
	445262030	0.31	School	OP
	445262031	0.11	School	OP
Ħ	442061023	1.30	VHDR	HDR
D	448430001	0.59	VHDR	HDR
D	448430002	17.07	VHDR	HDR
out	551281001	0.20	VHDR	MDR
	551281002	0.18	VHDR	MDR
	551281003	0.19	VHDR	MDR
	551281004	0.19	VHDR	MDR
	551281005	0.19	VHDR	MDR
	551281006	0.19	VHDR	MDR
	551281007	0.19	VHDR	MDR
	551281008	0.19	VHDR	MDR
	551281009	0.19	VHDR	MDR
	551281010	0.21	VHDR	MDR
	551282001	0.21	VHDR	MDR
	551282002	0.19	VHDR	MDR
	551282003	0.19	VHDR	MDR
	551282004	0.19	VHDR	MDR
	551282005	0.19	VHDR	MDR
	551282006	0.19	VHDR	MDR
	551282007	0.19	VHDR	MDR
	551282008	0.19	VHDR	MDR

Hemet Prop-W/ZCIAA to R-2 Hemet Prop-

	APN	ACRE	CURRENT GP	PROPOSED GP
0	551282009	0.19	VHDR	MDR
	551282010	0.25	VHDR	MDR
	439060036	4.78	VHDR	HDR
	439060037	4.18	VHDR	HDR
5	442060001	17.22	VHDR	HDR

646.46



City of Hemet

COMMUNITY DEVELOPMENT

445 EAST FLORIDA AVENUE · HEMET, CALIFORNIA 92543(951) 765-2375

ZONE CHANGE 18-001 CONSISTENCY ZONING PROJECT DESCRIPTION

Background

State law requires that a City's General Plan and zoning ordinance be consistent in terms of land use, density/intensity, and policy. On January 24, 2012, the City of Hemet completed a comprehensive update of its General Plan (GPA11-002) and began the process of bringing the zoning ordinance into compliance. In addition to inconsistencies with the General Plan, the City's zoning map and zoning ordinance were not consistent with each other. Therefore, the City decided to expand the consistency zoning process to include a review of all parcels in the City and update of the City's zoning districts. The review found that almost all of the parcels affected by ZC18-001 are developed and the recommended zone changes reflect the existing land uses as analyzed by the Environmental Impact Report prepared for the comprehensive update to the General Plan in 2012.

<u>Overview</u>

The City is recommending a change of zone on 8,882 parcels (5,263 acres). Of these, there are 608 parcels (372 acres) that first require approval of General Plan Amendment (GPA) 18-001, a companion submittal to the ALUC. Although the City has kept the GPA-parcel data separate in the attached excel spreadsheets, it has combined the parcels into the following six categories:

1. ZONE DISTRICT CHANGE OF NAME

As part of the consistency zoning process, the City renamed the Residential Agriculture (RA) zone to Rural Residential (RR). No changes were made to the permitted uses, density requirements, or development standards of the zone. This was solely a change of name.

Number of Parcels:

187

Acreage:

220.75

2. INCORPORATED FROM RIVERSIDE COUNTY

In the past, when the City incorporated territory from Riverside County, it zoned the parcels with a "C" designation. For example: A-1-C (Light Agricultural – County incorporated.) The "C" designation was removed from the zoning ordinance prior to initiation of the consistency zoning process, but the zoning map was not updated correspondingly. The zone change amendment solely removes the "C" designation from

the mapped parcels without affecting the land use, density or development standards of the underlying zone.

Number of Parcels: 2,341 Acreage: 1,271.29

3. LOT SIZE DESIGNATION

For a period of time in the past, the City did not include lot size in its single family residential zoning designations. Parcels were zoned R-1 regardless of lot size. The zone change amendment adds the average lot size of the subdivision. For example: R-1 to R-1-6 for 6,000 square foot lots, R-1-7.2 for 7,2000 square foot lots, and R-1-10 for 10,000 square foot lots. There is no change to the land use, density or development standards under which the subdivisions were approved.

Number of Parcels: 3,728 Acreage: 885.28

4. CORRECTING DENSITY

City staff reviewed every parcel in the City to determine General Plan consistency and found that many parcels were not correctly zoned. Subdivisions were processed for lot sizes that did not correspond with the stated zoning. For example, Panorama Village, a senior community with an average lot size of 3,500 square feet was zoned Residential Agriculture (RA), which has a minimum lot size requirement of 20,000 square feet. Parcels in this category are being rezoned to reflect their existing land use and density, and to bring them into consistency with the City's adopted General Plan land use map.

Number of Parcels: 2,165 Acreage: 1,200.00

5. OPTIONAL ZONE CHANGE

These are parcels for which the current zoning is consistent with its General Plan land use designation, but a different zone is being proposed. There are two main reasons for this. One, a new zone was introduced into the zoning ordinance that better fits the existing use. For example, the Office Professional (OP) zone was added as part of the consistency zoning process to correspond with the new Office Professional (OP) General Plan land use designation. The C-1 (Neighborhood Commercial) zone is considered consistent with the OP designation, but the OP zone is a better fit for C-1 zoned parcels with medical office buildings. Two, the proposed zone is a better fit for the existing land use. For example, the C-1 and C-2 (General Commercial) zones are both consistent with the Community Commercial (CC) land use designation of the General Plan. However, the C-1 zoned shopping centers along Florida Avenue no longer contain neighborhood serving uses only. The C-2 zone is a better reflection of the current use and the long-term vision of the General Plan for Florida Avenue.

Number of Parcels: 289 Acreage: 388.44

6. ZONE CHANGE REQUIRED

These are parcels with zone districts that are not consistent with their General Plan land use designation. For example: schools developed within residential subdivisions were sometimes given the residential zone of the adjacent properties such as R-1-6. The General Plan has a School land use designation. The City does not consider all R-1-6 properties to be consistent with the School designation; therefore, schools with an R-1 zone are being rezoned to Public Institutional zone.

Number of Parcels: 172 Acreage: 1,296.77

Environmental Analysis

The purpose of ZC18-001 is to ensure that the City's zoning land use districts are consistent with the General Plan land use designations that were evaluated by the Environmental Impact Report (EIR) prepared for the Comprehensive General Plan Update (GPA11-002) adopted by the City Council in January 2012 (SCH#2010061088.) The proposed zone changes are consistent with the land use designations, policies, and provisions evaluated by the General Plan Final EIR and with the associated Mitigation Monitoring and Reporting Program; therefore, no further environmental analysis is warranted.

Airport Land Use Commission (ALUC) Requirements

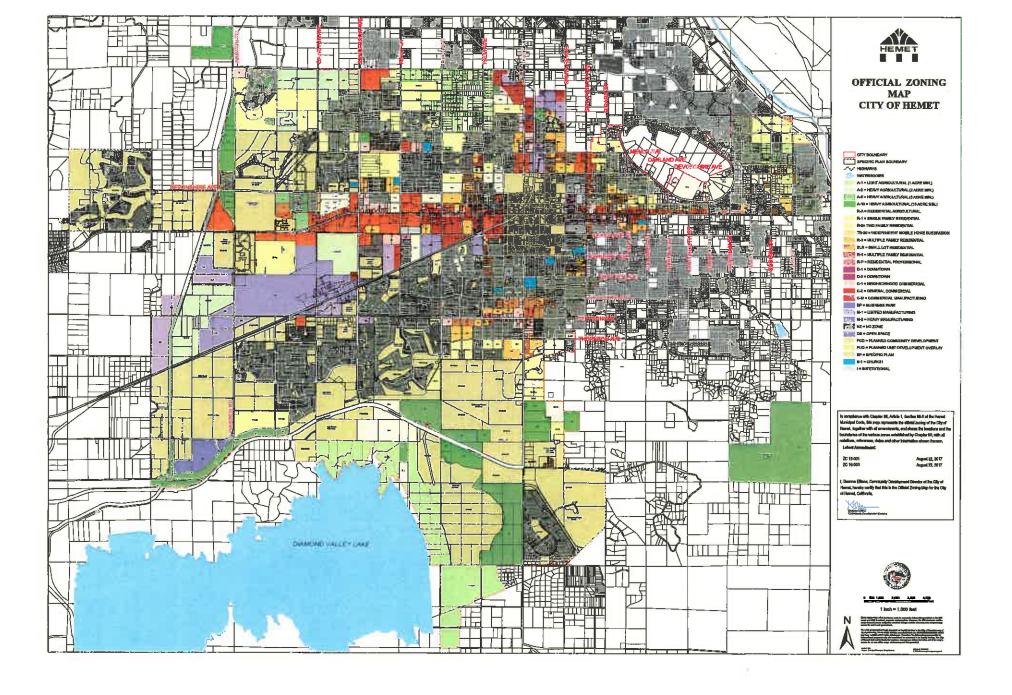
All legislative actions, including General Plan Amendments and Zone Changes, are required to be reviewed by the ALUC for consistency with the governing Airport Land Use Plan (ALUP).

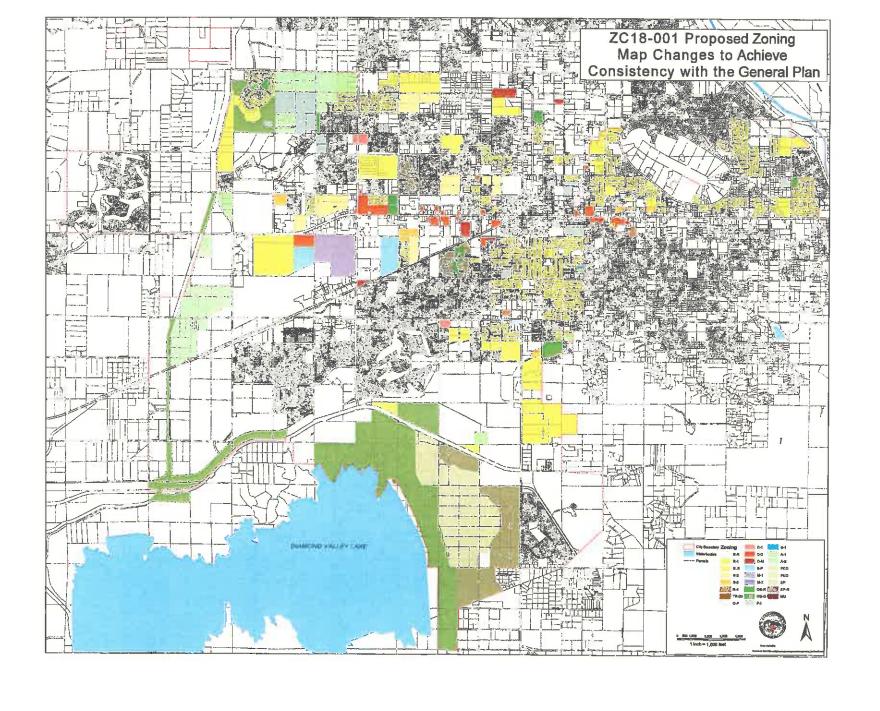
Noticing

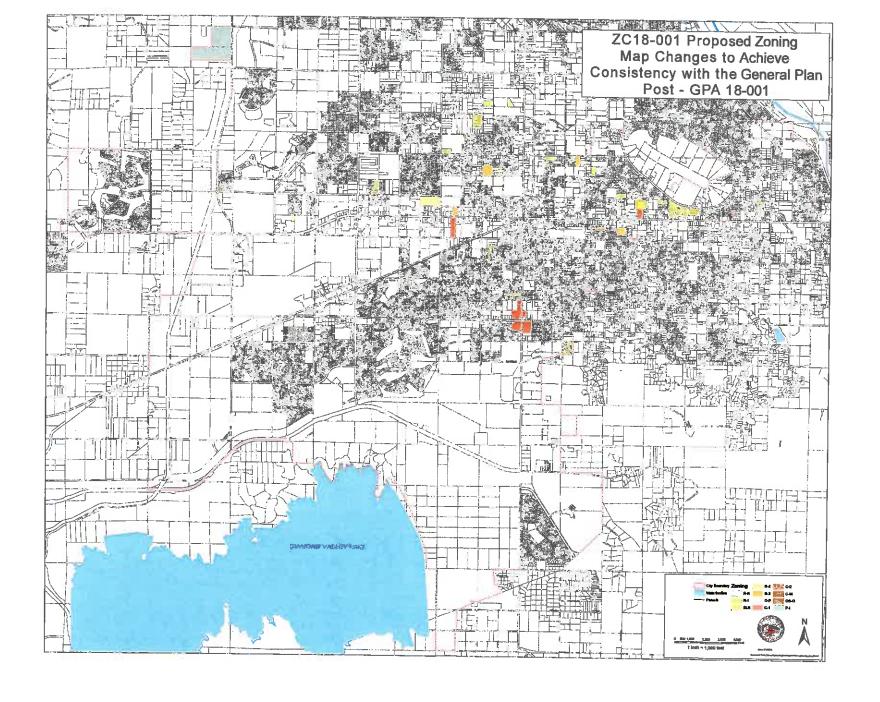
California Government Code Section 65091(4) states that "If the number of owners to whom notice would be mailed or delivered . . . is greater than 1,000, a local agency, in lieu of mailed or delivered notice, may provide notice by placing a display advertisement of at least one-eighth page in at least one newspaper of general circulation within the local agency in which the proceeding is conducted at least 10 days prior to the hearing." The number of owners to be noticed by ZC18-001 is greater than 1,000; therefore, the City will be placing a one-eighth page notice in the Press Enterprise in lieu of mailed notices for the Planning Commission and City Council public hearings.

Attachments

- 1. Excel spreadsheet: Parcels by APN that are proposed for zone change under ZC18-001 that are consistent with the General Plan. (Only on thumb drive.)
- 2. Excel spreadsheet: Parcels by APN that require approval by GPA18-001 prior to inclusion in ZC18-001. (Only on thumb drive.)
- 3. Map of parcels that are proposed for zone change under ZC18-001 that are consistent with the General Plan.
- 4. Map of parcels that that require approval by GPA18-001 prior to inclusion in ZC18-001.
- 5. Current zoning map.







	APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
				ZONING	ZONING
On		0.63	LDR	R-1-C	R-1-10
\vdash	438150002	0.35	LDR	R-1-C	R-1-10
	438150005	0.23	LDR	R-1-C	R-1-10
\sqcup	438150006	0.23	LDR	R-1-C	R-1-10
\sqcup	438150007	0.23	LDR	R-1-C	R-1-10
\square	438150008	0.34	LDR	R-1-C	R-1-10
	438150009	0.47	LDR	R-1-C	R-1-10
\square	438150010	0.49	LDR	R-1-C	R-1-10
\square	438150011	0.47	LDR	R-1-C	R-1-10
	438150012	0.48	LDR	R-1-C	R-1-10
Ш	438150013	0.31	LDR	R-1-C	R-1-10
	438150014	0.53	LDR	R-1-C	R-1-10
	438150015	0.39	LDR	R-1-C	R-1-10
Ш	438150016	0.39	LDR	R-1-C	R-1-10
	438150017	0.28	LDR	R-1-C	R-1-10
	438150018	0.03	LDR	R-1-C	R-1-10
	438150051	0.23	LDR	R-1-C	R-1-10
	438150052	0.24	LDR	R-1-C	R-1-10
	438150054	0.41	LDR	R-1-C	R-1-10
	438150055	0.23	LDR	R-1-C	R-1-10
	438181001	0.36	LDR	R-1-C	R-1-10
	438181002	0.22	LDR	R-1-C	R-1-10
	438181003	0.22	LDR	R-1-C	R-1-10
	438181005	0.85	LDR	R-1-C	R-1-10
	438181006	0.81	LDR	R-1-C	R-1-10
	438181007	0.94	LDR	R-1-C	R-1-10
	438181008	0.00	LDR	R-1-C	R-1-10
	438181012	0.24	LDR	R-1-C	R-1-10
	438181013	0.19	LDR	R-1-C	R-1-10
	438181014	0.24	LDR	R-1-C	R-1-10
	438181015	0.23	LDR	R-1-C	R-1-10
	438181021	0.84	LDR	R-1-C	R-1-10
	438181022	0.32	LDR	R-1-C	R-1-10
	438181023	0.47	LDR	R-1-C	R-1-10
	438182001	0.82	LDR	R-1-C	R-1-10
	438182002	0.44	LDR	R-1-C	R-1-10
	438182003	1.00	LDR	R-1-C	R-1-10
	438182004	0.69	LDR	R-1-C	R-1-10
	438191001	0.35	LDR	R-1-C	R-1-10
	438191002	0.31	LDR	R-1-C	R-1-10
	438191003	0.30	LDR	R-1-C	R-1-10
	438191004	0.28	LDR	R-1-C	R-1-10
	438191005	0.28	LDR	R-1-C	R-1-10
	438191006	0.29	LDR	R-1-C	R-1-10
	438191007	0.34	LDR	R-1-C	R-1-10
	•			<u></u> l	

APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
100101000			ZONING	ZONING
438191008	0.24	LDR	R-1-C	R-1-10
438191009	0.74	LDR	R-1-C	R-1-10
438191010	0.89	LDR	R-1-C	R-1-10
438191011	0.72	LDR	R-1-C	R-1-10
438191014	0.51	LDR	R-1-C	R-1-10
438191015	0.32	LDR	R-1-C	R-1-10
438191018	0.32	LDR	R-1-C	R-1-10
438191019	0.27	LDR	R-1-C	R-1-10
438191020	0.33	LDR	R-1-C	R-1-10
438191021	0.30	LDR	R-1-C	R-1-10
438191022	0.30	LDR	R-1-C	R-1-10
438191023	0.34	LDR	R-1-C	R-1-10
438191026	0.18	LDR	R-1-C	R-1-10
438191029	0.18	LDR	R-1-C	R-1-10
438192001	0.64	LDR	R-1-C	R-1-10
438192002	0.61	LDR	R-1-C	R-1-10
438192003	0.59	LDR	R-1-C	R-1-10
438192004	0.58	LDR	R-1-C	R-1-10
438192007	0.60	LDR	R-1-C	R-1-10
438192008	0.60	LDR	R-1-C	R-1-10
438250008	0.48	LDR	R-1-C	R-1-10
438250009	0.44	LDR	R-1-C	R-1-10
438250014	0.27	LDR	R-1-C	R-1-10
438250015	0.30	LDR	R-1-C	R-1-10
438250017	1.08	LDR	R-1-C	R-1-10
438250018	1.03	LDR	R-1-C	R-1-10
438250026	0.42	LDR	R-1-C	R-1-10
438250027	0.63	LDR	R-1-C	R-1-10
445202034	0.25	LDR	R-1-C	R-1-10
445202035	0.43	LDR	R-1-C	R-1-10
445202036	0.19	LDR	R-1-C	R-1-10
445202038	0.21	LDR	R-1-C	R-1-10
445202039	0.21	LDR	R-1-C	R-1-10
445202040	0.43	LDR	R-1-C	R-1-10
551341017	0.34	LDR	R-1-C	R-1-10
551341018	0.33	LDR	R-1-C	R-1-10
551341019	0.34	LDR	R-1-C	R-1-10
551341020	0.34	LDR	R-1-C	R-1-10
551341021	0.25	LDR	R-1-C	R-1-10
551341022	0.31	LDR	R-1-C	R-1-10
551342021	0.31	LDR	R-1-C	R-1-10
551342022	0.31	LDR	R-1-C	R-1-10
445150007	1.80	LDR	R-1-C	
445150017	1.25	LDR	R-1-C	R-1-20
445150017	1.24	LDR	R-1-C	R-1-20
175130010	1.24	LDN	<i>U</i> -1-€	R-1-20

APN ACRE CENTERAL DIAM CURRENT				PROPOSED	
	APN	ACRE	GENERAL PLAN	ZONING	ZONING
	443080006	0.17	LDR	R-1-C	R-1-7.2
	443080007	0.17	LDR	R-1-C	R-1-7.2
	443080008	0.17	LDR	R-1-C	R-1-7.2
	443080009	0.17	LDR	R-1-C	R-1-7.2
	443080010	0.17	LDR	R-1-C	R-1-7.2
	443080011	0.17	LDR	R-1-C	R-1-7.2
	443080012	0.17	LDR	R-1-C	R-1-7.2
	443080013	0.17	LDR	R-1-C	R-1-7.2
	443080014	0.17	LDR	R-1-C	R-1-7.2
	443080015	0.16	LDR	R-1-C	R-1-7.2
	443080016	0.17	LDR	R-1-C	R-1-7.2
	443080017	0.17	LDR	R-1-C	R-1-7.2
	443080018	0.17	LDR	R-1-C	R-1-7.2
	443080019	0.17	LDR	R-1-C	R-1-7.2
	443080020	0.17	LDR	R-1-C	R-1-7.2
	443080021	0.17	LDR	R-1-C	R-1-7.2
	443080022	0.17	LDR	R-1-C	R-1-7.2
	443080023	0.17	LDR	R-1-C	R-1-7.2
	445201001	0.19	LDR	R-1-C	R-1-7.2
	445201002	0.17	LDR	R-1-C	R-1-7.2
	445201003	0.17	LDR	R-1-C	R-1-7.2
	445201004	0.42	LDR	R-1-C	R-1-7.2
	445210005	1.30	LDR	R-1-C	R-1-7.2
	445210007	6.05	LDR	R-1-C	R-1-7.2
	445210009	1.13	LDR	R-1-C	R-1-7.2
E	439292034	0.11	LMDR	R-1-C-4	SLR
E	439292035	0.11	LMDR	R-1-C-4	SLR
_8	439292036	0.11	LMDR	R-1-C-4	SLR
E	439292037	0.14	LMDR	R-1-C-4	SLR
E	439292038	0.20	LMDR	R-1-C-4	SLR
E	439292039	0.14	LMDR	R-1-C-4	SLR
<u>k</u>	439292040	0.10	LMDR	R-1-C-4	SLR
E	439292041	0.09	LMDR	R-1-C-4	SLR
E	439292042	0.10	LMDR	R-1-C-4	SLR
E	439292043	0.10	LMDR	R-1-C-4	SLR
E	439292044	0.10	LMDR	R-1-C-4	SLR
E	439292045	0.09	LMDR	R-1-C-4	SLR
E	439292046	0.09	LMDR	R-1-C-4	SLR
E	439292047	0.10	LMDR	R-1-C-4	SLR
E	439292048	0.10	LMDR	R-1-C-4	SLR
150	439292049	0.09	LMDR	R-1-C-4	SLR
<u> </u>	439292050	0.11	LMDR	R-1-C-4	SLR
E+0	439292053	0.12	LMDR	R-1-C-4	SLR
Esto	439292054	0.12	LMDR	R-1-C-4	SLR
5H	439292055	0.11	LMDR	R-1-C-4	SLR

400	4005		CURRENT	PROPOSED
APN	ACRE	GENERAL PLAN	ZONING	ZONING
Ero 439292056	0.12	LMDR	R-1-C-4	SLR
Out 439292057	0.14	LMDR	R-1-C-4	SLR
439292058	0.11	LMDR	R-1-C-4	SLR
439292059	0.12	LMDR	R-1-C-4	SLR
439292060	0.14	LMDR	R-1-C-4	SLR
439292061	0.12	LMDR	R-1-C-4	SLR
439293001	0.11	LMDR	R-1-C-4	SLR
439293002	0.09	LMDR	R-1-C-4	SLR
£ 439293003	0.09	LMDR	R-1-C-4	SLR
439293004	0.09	LMDR	R-1-C-4	SLR
439293005	0.09	LMDR	R-1-C-4	SLR
439293006	0.09	LMDR	R-1-C-4	SLR
439293007	0.09	LMDR	R-1-C-4	SLR
##O 439293008	0.09	LMDR	R-1-C-4	SLR
E+() 439293009	0.09	LMDR	R-1-C-4	SLR
439293010	0.11	LMDR	R-1-C-4	SLR
### 439293011 ### 439293012	0.10	LMDR	R-1-C-4	SLR
439293012 E 439293013	0.10 0.10	LMDR	R-1-C-4	SLR
439293013	0.10	LMDR LMDR	R-1-C-4 R-1-C-4	SLR
£ 439293015	0.10	LMDR	R-1-C-4	SLR SLR
#39293015 #439293016	0.10	LMDR	R-1-C-4	SLR
£ 439293017	0.10	LMDR	R-1-C-4	SLR
439293018	0.10	LMDR	R-1-C-4	SLR
£ 439293019	0.09	LMDR	R-1-C-4	SLR
439293020	0.11	LMDR	R-1-C-4	SLR
£ 439293021	0.11	LMDR	R-1-C-4	SLR
<i>E</i> 439293022	0.09	LMDR	R-1-C-4	SLR
439293023	0.10	LMDR	R-1-C-4	SLR
439293024	0.10	LMDR	R-1-C-4	SLR
# 439293025	0.10	LMDR	R-1-C-4	. SLR
439293026	0.09	LMDR	R-1-C-4	SLR
439293027	0.10	LMDR	R-1-C-4	SLR
439293028	0.10	LMDR	R-1-C-4	SLR
439293029	0.10	LMDR	R-1-C-4	SLR
<i>E</i> 439293030	0.10	LMDR	R-1-C-4	SLR
439293031	0.11	LMDR	R-1-C-4	SLR
439293032	0.09	LMDR	R-1-C-4	SLR
439293033	0.09	LMDR	R-1-C-4	SLR
439293034	0.09	LMDR	R-1-C-4	SLR
439293035	0.09	LMDR	R-1-C-4	SLR
439293036	0.09	LMDR	R-1-C-4	SLR
439293037	0.09	LMDR	R-1-C-4	SLR
439293038 439293039	0.10	LMDR	R-1-C-4	SLR
439293039	0.09	LMDR	R-1-C-4	SLR

	ADAL			CURRENT	PROPOSED
- 4 8	APN	ACRE	GENERAL PLAN	ZONING	ZONING
Not	445080010	0.26	LDR	R-1	R-1-7.2
<u> </u>	448280001	0.16	LDR	R-1	R-1-7.2
E	448280002	0.16	LDR	R-1	R-1-7.2
R	448280003	0.16	LDR	R-1	R-1-7.2
78.23	448280004	0.16	LDR	R-1	R-1-7.2
	448280005	0.16	LDR	R-1	R-1-7.2
<u>E</u>	448280006	0.16	LDR	R-1	R-1-7.2
E	448280007	0.16	LDR	R-1	R-1-7.2
Ę	448281001	0.16	LDR	R-1	R-1-7.2
K	448281002	0.17	LDR	R-1	R-1-7.2
E	448281003	0.17	LDR	R-1	R-1-7.2
E	448281004	0.17	LDR	R-1	R-1-7.2
E	448281005	0.17	LDR	R-1	R-1-7.2
<u>E</u>	448281006	0.17	LDR	R-1	R-1-7.2
E	448281007	0.17	LDR	R-1	R-1-7.2
5_	448281008	0.17	LDR	R-1	R-1-7.2
5	448281009	0.17	LDR	R-1	R-1-7.2
<u> </u>	448281010	0.17	LDR	R-1	R-1-7.2
<u> </u>	448281011	0.17	LDR	R-1	R-1-7.2
E	448281012	0.16	LDR	R-1	R-1-7.2
	448281013	0.15	LDR	R-1	R-1-7.2
<u>Ľ</u>	448281027	0.15	LDR	R-1	R-1-7.2
E	448282001	0.16	LDR	R-1	R-1-7.2
<u>K</u>	448282002	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282003	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282004	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282005	0.17	LDR	R-1	R-1-7.2
<u>E</u>	448282006	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282007	0.17	LDR	R-1	R-1-7.2
	448282008	0.17	LDR	R-1	R-1-7.2
C7	448282009	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282010	0.17	LDR	R-1	R-1-7.2
<u>C</u>	448282011	0.17	LDR	R-1	R-1-7.2
<u> </u>	448282012	0.16	LDR	R-1	R-1-7.2
<u> </u>	448282013	0.15	LDR	R-1	R-1-7.2
272	448282027	0.15	LDR	R-1	R-1-7.2
<u>e</u> E	448283001	0.18	LDR	R-1	R-1-7.2
4	448283002 448283003	0.18	LDR	R-1	R-1-7.2
_	448283003	0.18	LDR	R-1	R-1-7.2
		0.18	LDR	R-1	R-1-7.2
	448283005 448283006	0.18	LDR	R-1	R-1-7.2
	448283006	0.17	LDR	R-1	R-1-7.2
	448283007	0.18	LDR	R-1	R-1-7.2
-	448283008	0.18	LDR	R-1	R-1-7.2
<u> </u>	++0203003	0.18	LDR	R-1	R-1-7.2

APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
			ZONING	ZONING
448283010	0.18	LDR	R-1	R-1-7.2
448283011	0.18	LDR	R-1	R-1-7.2
448283012	0.18	LDR	R-1	R-1-7.2
448283013	0.15	LDR	R-1	R-1-7.2
448283025	0.15	LDR	R-1	R-1-7.2
448290045	0.26	LDR	R-1	R-1-7.2
Out 451200007	0.23	LDR	R-1	R-1-7.2
451200008	0.25	LDR	R-1	R-1-7.2
451200009	0.24	LDR	R-1	R-1-7.2
451200010	0.22	LDR	R-1	R-1-7.2
451200013	0.26	LDR	R-1	R-1-7.2
451200016	0.33	LDR	R-1	R-1-7.2
451200017	0.31	LDR	R-1	R-1-7.2
451200018	0.27	LDR	R-1	R-1-7.2
451200019	0.41	LDR	R-1	R-1-7.2
451200020	0.22	LDR	R-1	R-1-7.2
451200021	0.23	LDR	R-1	R-1-7.2
451200022	0.22	LDR	R-1	R-1-7.2
451200023	0.23	LDR	R-1	R-1-7.2
451200024	0.32	LDR	R-1	R-1-7.2
451200025	0.24	LDR	R-1	R-1-7.2
451200026	0.23	LDR	R-1	R-1-7.2
451200027	0.22	LDR	R-1	R-1-7.2
451200028	0.22	LDR	R-1	R-1-7.2
451200029	0.22	LDR	R-1	R-1-7.2
451200031	0.21	LDR	R-1	R-1-7.2
451200032	0.22	LDR	R-1	R-1-7.2
451200033	0.22	LDR	R-1	R-1-7.2
451200034	0.22	LDR	R-1	R-1-7.2
451200035	0.22	LDR	R-1	R-1-7.2
451200036	0.22	LDR	R-1	R-1-7.2
451200037	0.23	LDR	R-1	R-1-7.2
451200038	0.22	LDR	R-1	R-1-7.2
451200039 451300040	0.22	LDR	R-1	R-1-7.2
451200040	0.22	LDR	R-1	R-1-7.2
451200041 451200042	0.22	LDR	R-1	R-1-7.2
451200042	0.22	LDR	R-1	R-1-7.2
	0.22	LDR	R-1	R-1-7.2
451200044	0.24	LDR	R-1	R-1-7.2
451200045	0.22	LDR	R-1	R-1-7.2
451200046	0.22	LDR	R-1	R-1-7.2
451200047	0.23	LDR	R-1	R-1-7.2
442151011	1.03	LMDR	R-1	SLR
446211017	0.08	LMDR	R-1	SLR
446211018	0.08	LMDR	R-1	SLR

	ADAL	N-			PROPOSED
	APN	ACRE	GENERAL PLAN	ZONING	ZONING
E	446211019	0.10	LMDR	R-1	SLR
Ē	446211020	0.10	LMDR	R-1	SLR
E	446211021	0.08	LMDR	R-1	SLR
E	446211022	0.08	LMDR	R-1	SLR
E	446211023	0.11	LMDR	R-1	SLR
E	446211024	0.12	LMDR	R-1	SLR
C	446211025	0.11	LMDR	R-1	SLR
E	446211026	0.08	LMDR	R-1	SLR
C	446211027	0.08	LMDR	R-1	SLR
E	446211028	0.09	LMDR	R-1	SLR
6	446211029	0.10	LMDR	R-1	SLR
E	446211030	0.08	LMDR	R-1	SLR
H	446211031	0.08	LMDR	R-1	SLR
E	446211032	0.11	LMDR	R-1	SLR
E	446211033	0.12	LMDR	R-1	SLR
E	446211034	0.11	LMDR	R-1	SLR
E	446211035	0.08	LMDR	R-1	SLR
E	446211036	0.08	LMDR	R-1	SLR
E	446211037	0.10	LMDR	R-1	SLR
E	446211038	0.10	LMDR	R-1	SLR
	446211039	0.08	LMDR	R-1	SLR
E	446211040	0.11	LMDR	R-1	SLR
R	446211041	0.12	LMDR	R-1	SLR
B	446211042	0.11	LMDR	R-1	SLR
B	446211043	0.08	LMDR	R-1	SLR
E	446211044	0.10	LMDR	R-1	SLR
F	446211045	0.10	LMDR	R-1	SLR
E	446211046	0.08	LMDR	R-1	SLR
E	446211047	0.11	LMDR	R-1	SLR
	446211048	0.12	LMDR	R-1	SLR
K	446211049	0.11	LMDR	R-1	SLR
<u>F</u>	446211050	0.08	LMDR	R-1	SLR
E	446211051	0.10	LMDR	R-1	SLR
E	446211052	0.10	LMDR	R-1	SLR
E	446211053	0.08	LMDR	R-1	SLR
THE DE	446211059	1.60	LMDR	R-1	SLR
R	446212001	0.09	LMDR	R-1	SLR
E	446212002	0.08	LMDR	R-1	SLR
E	446212003	0.08	LMDR	R-1	SLR
B	446212004	0.11	LMDR	R-1	SLR
2	446212005	0.12	LMDR	R-1	SLR
<u>E</u>	446212006	0.11	LMDR	R-1	SLR
E	446212007	0.08	LMDR	R-1	SLR
E	446212008	0.08	LMDR	R-1	SLR
h	446212009	0.09	LMDR	R-1	SLR

			CURRENT	PROPOSED
APN	ACRE	GENERAL PLAN	ZONING	ZONING
446212010	0.09	LMDR	R-1	
446212011	0.09	LMDR	R-1	SLR
446212011		LMDR	 	SLR
446212012	0.08		R-1	SLR
	0.12	LMDR	R-1	SLR
446212014	0.12	LMDR	R-1	SLR
446212015	0.11	LMDR	R-1	SLR
446212016 6 446212017	0.08	LMDR	R-1	SLR
110212017	0.08	LMDR	R-1	SLR
446212018	0.09	LMDR	R-1	SLR
446212019	0.10	LMDR	R-1	SLR
446212020	0.09	LMDR	R-1	SLR
446212021	0.08	LMDR	R-1	SLR
446212022	0.12	LMDR	R-1	SLR
446212023	0.12	LMDR	R-1	SLR
446212024	0.11	LMDR	R-1	SLR
446212025	0.08	LMDR	R-1	SLR
446212026	0.08	LMDR	R-1	SLR
446212027	0.09	LMDR	R-1	SLR
446212028	0.10	LMDR	R-1	SLR
446212029	0.09	LMDR	R-1	SLR
446212030	0.09	LMDR	R-1	SLR
446212031	0.09	LMDR	R-1	SLR
446212032	0.09	LMDR	R-1	SLR
446212033	0.09	LMDR	R-1	SLR
446212034	0.09	LMDR	R-1	SLR
446212035	0.09	LMDR	R-1	SLR
446212036	0.09	LMDR	R-1	SLR
446212037	0.10	LMDR	R-1	SLR
446212038	0.10	LMDR	R-1	SLR
446212039	0.08	LMDR	R-1	SLR
446212040	0.11	LMDR	R-1	SLR
446212041	0.12	LMDR	R-1	SLR
446212042	0.11	LMDR	R-1	SLR
£ 446212043	0.08	LMDR	R-1	SLR
446212044	0.10	LMDR	R-1	SLR
£ 446212045	0.10	LMDR	R-1	SLR
£ 446212046	0.08	LMDR	8 R-1	SLR
446212047	0.11	LMDR	R-1	SLR
<i>k</i> 446212048	0.12	LMDR	R-1	SLR
<i>Ę</i> 446212049	0.11	LMDR	R-1	SLR
<i>E</i> 446212050	0.08	LMDR	R-1	SLR
<i>€</i> 446212051	0.10	LMDR	R-1	SLR
<i>₹</i> 446212052	0.10	LMDR	R-1	SLR
446212053	0.08	LMDR	R-1	SLR
446212054	0.11	LMDR	R-1	SLR

	ADM			CURRENT	PROPOSED
	APN	ACRE	GENERAL PLAN	ZONING	ZONING
E	446212055	0.12	LMDR	R-1	SLR
E	446212056	0.11	LMDR	R-1	SLR
E	446212057	0.08	LMDR	R-1	SLR
e	446212058		LMDR	R-1	SLR
E	446212059		LMDR	R-1	SLR
8	444250004	5.02	RR	A-1-C	RR
E -	444250005		RR	A-1-C	RR
F	444250006	1.76	RR	A-1-C	RR
R	444250008	0.15	RR	A-1-C	RR
E	444250009	2.41	RR	A-1-C	RR
E	444250010 444250011	2.38	RR	A-1-C	RR
E	444250011	0.57	RR	A-1-C	RR
E	444250012	1.73	RR	A-1-C	RR
E	444250013	2.06 0.76	RR	A-1-C	RR
Out	444350001	3.52	RR	A-1-C	RR
12	444390002	0.91	PF	A-1-C-1	Pí
F	444390003	0.91	RR RR	A-1-C-1	RR
2	444390004	0.74	RR	A-1-C-1	RR
E	444390005	0.74	RR	A-1-C-1	RR
P	444390006	0.65	RR	A-1-C-1 A-1-C-1	RR
E	444390007	1.08	RR	A-1-C-1	RR
NAF	439030004	1.74	RR	A-1-C-1	RR R-R
E	443030040	0.92	MDR	A-1-C-5	R-2
E	448140002	1.85	LMDR	A-5	R-2
Nat	446081018	0.31	MDR	R-1	R-3
E	443020044	9.26	HDR	R-1	R-3
E	446020026	0.18	LDR	R-2	R-1-6
E	446020027	0.17	LDR	R-2	R-1-6
E	446020028	0.18	LDR	R-2	R-1-6
E	446020029	0.17	LDR	R-2	R-1-6
E	446020030	0.15	LDR	R-2	R-1-6
E	446020031	0.15	LDR	R-2	R-1-6
B	446020032	0.15	LDR	R-2	R-1-6
E E	446020033	0.15	LDR	R-2	R-1-6
E	446020034	0.15	LDR	R-2	R-1-6
8	446020038	0.20	LDR	R-2	R-1-6
E	446020039	0.17	LDR	R-2	R-1-6
R	446020040	0.19	LDR	R-2	R-1-6
E	446020041	0.20	LDR	R-2	R-1-6
E	446020042	0.17	LDR	R-2	R-1-6
A	446020043	0.18	LDR	R-2	R-1-6
5	446020044	0.20	LDR	R-2	R-1-6
E E	446020045	0.20	LDR	R-2	R-1-6
E	446020046	0.18	LDR	R-2	R-1-6

APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
	ACRE	GENERAL PLAN	ZONING	ZONING
446020047	0.18	LDR	R-2	R-1-6
£ 446020048	0.18	LDR	R-2	R-1-6
<i>E</i> 446020049	0.18	LDR	R-2	R-1-6
446020050	0.18	LDR	R-2	R-1-6
446020051	0.17	LDR	R-2	R-1-6
446020052	0.17	LDR	R-2	R-1-6
446020053	0.19	LDR	R-2	R-1-6
446020054	0.18	LDR	R-2	R-1-6
446020055	0.18	LDR	R-2	R-1-6
446020056	0.20	LDR	R-2	R-1-6
446020058	0.14	LDR	R-2	R-1-6
446020059	0.14	LDR	R-2	R-1-6
446020062	0.16	LDR	R-2	R-1-6
446020063	0.19	LDR	R-2	R-1-6
446032001	0.13	LDR	R-2	R-1-6
446032002 446032003	0.14	LDR	R-2	R-1-6
	0.14	LDR	R-2	R-1-6
446032004 446032005	0.14	LDR	R-2	R-1-6
	0.14	LDR	R-2	R-1-6
	0.14	LDR	R-2	R-1-6
446032007 446032008	0.14 0.14	LDR	R-2	R-1-6
£ 446032008	0.14	LDR	R-2	R-1-6
446032009	0.14	LDR LDR	R-2	R-1-6
446032011	0.15	LDR	R-2 R-2	R-1-6
£ 446032012	0.15	LDR	R-2	R-1-6
446032013	0.15	LDR	R-2	R-1-6 R-1-6
£ 446032014	0.15	LDR	R-2	R-1-6
446032015	0.15	LDR	R-2	R-1-6
£ 446032016	0.15	LDR	R-2	R-1-6
\$ 446032017	0.15	LDR	R-2	R-1-6
446032018	0.15	LDR	R-2	R-1-6
Out 445143004	0.19	MDR	R-2-3.6	R-2
445143005	0.18	MDR	R-2-3.6	R-2
445143006	0.18	MDR	R-2-3.6	R-2
445143007	0.18	MDR	R-2-3.6	R-2
445143008	0.18	MDR	R-2-3.6	R-2
445143009	0.18	MDR	R-2-3.6	R-2
445143010	0.18	MDR	R-2-3.6	R-2
445143011	0.18	MDR	R-2-3.6	R-2
445210010	0.15	LDR	R-2-6	R-1-7.2
445210011	0.16	LDR	R-2-6	R-1-7.2
445210012	0.16	LDR	R-2-6	R-1-7.2
445210013	0.16	LDR	R-2-6	R-1-7.2
445210014	0.16	LDR	R-2-6	R-1-7.2

				Approvar or drA16	
	APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
A	445210015	0.15	100	ZONING	ZONING
 ~	445210015	0.15	LDR	R-2-6	R-1-7.2
\vdash		0.20		R-2-6	R-1-7.2
\vdash	445210017	0.18	LDR	R-2-6	R-1-7.2
H	445210018	0.17	LDR	R-2-6	R-1-7.2
\vdash	445210019	0.17	LDR	R-2-6	R-1-7.2
Н	445210020	0.17	LDR	R-2-6	R-1-7.2
	445210021	0.17	LDR	R-2-6	R-1-7.2
	445210022	0.17	LDR	R-2-6	R-1-7.2
	445210023	0.15	LDR	R-2-6	R-1-7.2
-	445210024	0.17	LDR	R-2-6	R-1-7.2
	443080001	0.52	LDR	R-3	R-1-10
$\vdash \vdash$	443080002	0.34	LDR	R-3	R-1-10
	443080003	0.41	LDR	R-3	R-1-10
	443080004	1.06	LDR	R-3	R-1-10
	443080005	2.07	LDR_	R-3	R-1-10
4	446271009	0.16	LMDR	R-3	R-1-6
E	446271010	0.15	LMDR	R-3	R-1-6
E	446272009	0.15	LMDR	R-3	R-1-6
E	446272010	0.15	LMDR	R-3	R-1-6
Of	445080007	0.47	LDR	R-3	R-1-7.2
	551281002	0.18	MDR	R-4	R-3
	551281003	0.19	MDR	R-4	R-3
	551281004	0.19	MDR	R-4	R-3
	551281005	0.19	MDR	R-4	R-3
	551281006	0.19	MDR	R-4	R-3
	551281007	0.19	MDR	R-4	R-3
	551281008	0.19	MDR	R-4	R-3
	551281009	0.19	MDR	R-4	R-3
П	551281010	0.21	MDR	R-4	R-3
\Box	551282001	0.21	MDR	R-4	R-3
П	551282002	0.19	MDR	R-4	R-3
	551282003	0.19	MDR	R-4	R-3
	551282004	0.19	MDR	R-4	R-3
	551282005	0.19	MDR	R-4	R-3
	551282006	0.19	MDR	R-4	R-3
	551282007	0.19	MDR	R-4	R-3
\Box	551282008	0.19	MDR	R-4	R-3
	551282009	0.19	MDR	R-4	R-3
\Box	551282010	0.25	MDR	R-4	R-3
Et		0.36	LDR	RA RA	R-1-10
E	444380002	0.37	LDR	RA	R-1-10
F	444380003	0.37	LDR	RA	
京	444380004	0.38	LDR	RA RA	R-1-10
2	444380005	0.45	LDR		R-1-10
Þ	444380006	0.43	LDR	RA	R-1-10
	777300000	0.40	LUK	RA	R-1-10

			CUPPENT	
APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
£ 444380007	0.40	LDR		ZONING
444380008	0.40	LDR	RA RA	R-1-10
£ 444380009	0.43	LDR	RA RA	R-1-10
F+0 444380010	0.38	LDR	RA	R-1-10
E+0 444380010	0.50	LDR	RA	R-1-10
Out 444380012	0.47	LDR	RA	R-1-10 R-1-10
444380013	0.47	LDR	RA	R-1-10
444380014	0.47	LDR	RA	R-1-10
444380015	0.47	LDR	RA	R-1-10
444380016	0.47	LDR	RA	R-1-10
444380017	0.48	LDR	RA	R-1-10
444380018	0.40	LDR	RA	R-1-10
444380019	0.41	LDR	RA	R-1-10
444380020	0.41	LDR	RA	R-1-10
444380021	0.46	LDR	RA	R-1-10
E+0 444380022	0.47	LDR	RA	R-1-10
E+ () 444380023	0.47	LDR	RA	R-1-10
<i>F</i> 444380024	0.47	LDR	RA	R-1-10
444380025	0.47	LDR	RA	R-1-10
£40 444380026	0.42	LDR	RA	R-1-10
Out 444380027	0.42	LDR	RA	R-1-10
444380028	0.41	LDR	RA	R-1-10
439040020	4.60	LMDR	R-A	R-1-6
439040022	3.72	LMDR	R-A	R-1-6
443030044	2.21	MDR	R-A	R-2
4 43030052	2.30	MDR	R-A	R-2
443030053	1.48	MDR	R-A	R-2
7 448430002	17.07	HDR	R-A	R-2
b 456140002	1.65	LMDR	R-A	R-2
442110007	4.77	CC	C-1	C-2
446280010	1.45	CC	C-1	C-2
£ 446280011	0.81	CC	C-1	C-2
446280018	1.61	CC	C-1	C-2
446290006	7.67	CC	C-1	C-2
446290007	0.90	CC	C-1	C-2
446300024	2.53	СС	C-1	C-2
451062020	0.81	CC	C-1	C-2
451062032	0.48	CC	C-1	C-2
451062036	2.80	СС	C-1	C-2
451062037	2.45	СС	C-1	C-2
451062039	2.45	CC	C-1	C-2
451062040	0.01	CC	C-1	C-2
451080006	0.68	CC	C-1	C-2
451080007	0.23	CC	C-1	C-2
451080008	2.06	cc	C-1	C-2

APN	ACRE	GENERAL PLAN	CURRENT	PROPOSED
		GENERAL PLAN	ZONING	ZONING
45108001		CC	C-1	C-2
<i>E</i> 45108001		CC	C-1	C-2
£ 45108001		СС	C-1	C-2
45108001		CC	C-1	C-2
£ 45108001		CC	C-1	C-2
£ 45108001		CC	C-1	C-2
451080020		СС	C-1	C-2
45109001		CC	C-1	C-2
44318101		ОР	C-2	C-1
Out 44519100:		CC	C-2	C-1
44519100	-	CC	C-2	C-1
44519100		CC	C-2	C-1
445191004	-	CC	C-2	C-1
44519100		СС	C-2	C-1
445191000		CC	C-2	C-1
445191026	-	CC	C-2	C-1
£ 44211000	-	СС	C-M	C-2
442030033	+	СС	M-1	C-M
Out 445262030		ОР	R-P	OP OP
445262033	-	OP	R-P	OP
445330012		NC	R-P	O-P
446071003	+	OP	R-P	О-Р
446071009		OP	R-P	O-P
Ov+ 432170019	+	PF	A-1-C	P-1
432170020		PF	A-1-C	P-1
445313043	_	HDR	C-1	R-3
438091032		LDR	C-2	R-1-7.2
438091034		LDR	C-2	R-1-7.2
445080008		LDR	C-2	R-1-7.2
446020005	_	MDR	C-2	R-2
446020003		MDR	C-2	R-2
446020007		MDR MDR	C-2	R-2
448020007		HDR	C-2	R-2
£ 443181019		HDR	C-2	R-3
443181019		HDR	C-2	
443181020		HDR	C-2	R-3
443181022		HDR	C-2	R-3
443181023		HDR	C-2'	R-3
443181025		HDR	C-2	R-3
443181026		HDR	C-2	R-3
445020046	+ +	HDR	C-2	R-3
445080009	+	LDR	C-M	R-1-7.2
442030034		CC	M-1	C-M
D 456020009		PF	M-2	PI
450020005	3.10	rr	IVt-Z	PI

	APN	ACRE	GENERAL PLAN	CURRENT ZONING	PROPOSED ZONING
TA TO	445270047	0.28	LDR	OP	R-1-7.2
	445270048	0.28	LDR	OP	R-1-7.2
	445270049	0.29	LDR	OP	R-1-7.2
	445270050	0.27	LDR	OP	R-1-7.2
	445270051	0.28	LDR	OP	R-1-7.2
	445270052	0.28	LDR	OP	R-1-7.2
	445270053	0.30	LDR	OP	R-1-7.2
	454060035	6.16	PF	R-1-2	P-I
E	444160002	0.25	PF	R-1-7.2	P-I
E	439250021	0.45	PF	R-1-C	P-I
Out	445220013	1.05	CC	R-2	C-2
	445220014	0.39	CC	R-2	C-2
	445220015	0.63	CC	R-2	, C-2
	445220016	0.61	CC	R-2	C-2
	445220018	0.52	CC	R-2	C-2
	445232005	0.44	CC	R-2	C-2
E	442030026	1.72	OP	R-2	O-P
E	442060025	2.11	CC	R-3	C-1
R	442073008	0.28	CC	R-3	C-2
E	455120055	1.61	OS	R-3	OS-G
Out	454080049	0.16	PF	R-3	P-I
D	448250001	0.12	CC	R-A	C-2
5	443181017	0.31	HDR	R-P	R-3

372.28

Due to the extraordinarily large number of parcels included in this zone change, the list of parcels proposed for zone changes not associated with the proposed general plan amendment is 184 pages long. In order to save on resources, we are including herein only those pages that include one or more parcels within the Airport Influence Area.

	APN	ACRES	GP	CURRENT	PROPOSED
		ACRES	DESIGNATION	ZONING	ZONING
CIP		1.73	RR	R-A	R-R
	551081001	0.51	RR	R-A	R-R
	551081004	0.15	RR	R-A	R-R
L	551081009	0.80	RR	R-A	R-R
	551081030	0.57	RR	R-A	R-R
L	551081035	1.02	RR	R-A	R-R
\perp	551081036	0.69	RR	R-A	R-R
\vdash	551081037	0.21	RR	R-A	R-R
\vdash	551081038	0.72	RR	R-A	R-R
	551081039	0.22	RR	R-A	R-R
	551081040	0.75	RR	R-A	R-R
Н	551081041	0.19	RR	R-A	R-R
Н	551081043	0.49	RR	R-A	R-R
Н	551081044	0.64	RR	R-A	R-R
Н	551081045	0.69	RR	R-A	R-R
	551081046	1.76	RR	R-A	R-R
Н	551090004	0.84	RR	R-A	R-R
Н	551090005	0.89	RR	R-A	R-R
Н	551090006	0.91	RR	R-A	R-R
Н	551090007	1.57	RR	R-A	R-R
Н	551090031	0.46	RR	R-A	R-R
Н	551090032	0.47	RR	R-A	R-R
Н	551090033	0.47	RR	R-A	R-R
Н	551090034	0.47	RR	R-A	R-R
Н	551090035	0.47	RR	R-A	R-R
Н	551090036	0.47	RR	R-A	R-R
Н	551090037	1.10	RR	R-A	R-R
\vdash	551140001	0.47	RR	R-A	R-R
	551140002	0.45	RR	R-A	R-R
\vdash	551140003	0.46	RR	R-A	R-R
\vdash	551140004 551140009	0.47	RR	R-A	R-R
\vdash	551140009	0.18	RR	R-A	R-R
\vdash	551140010	1.99 0.16	RR	R-A	R-R
\vdash	551140011	0.65	RR	R-A	R-R
\vdash	551140027	0.65	RR RR	R-A	R-R
\vdash	551140027	0.65	RR	R-A	R-R
\vdash	551140029	0.65	RR	R-A	R-R
\vdash	551140030	0.49	RR	R-A R-A	R-R
	551140031	0.43	RR	R-A	R-R
	551140032	0.36	RR	R-A	R-R
\vdash	551140033	0.75	RR	R-A	R-R
	551140037	0.73	RR	R-A	R-R
	551140039	0.50	RR	R-A	R-R
-	551140040	0.44	RR		R-R
	221140040	0.44	NN	R-A	R-R

		GP	CURRENT	
APN	ACRES	DESIGNATION		PROPOSED
Out 438300010	0.74	HR	ZONING	ZONING
438300010	1.74	HR	R-A	R-R (H)
438300011	1.74	HR	R-A	R-R (H)
438300012	4.03	HR	R-A	R-R (H)
438300013	0.46	HR	R-A	R-R (H)
438300014	0.56	HR	R-A	R-R (H)
438300015	0.53	HR	R-A	R-R (H)
451150021	1.41	LDR	R-A A-1-C	R-R (H)
451170003	4.28	LDR	A-1-C	A-1
£ 444030031	2.16	LDR	A-1-C-1	A-1 A-1
OUT 551133006	0.46	RR	A-1-C-1	R-R
£ 444030002	19.22	CC	A-1-C-5	A-1
£ 444030003	3.74	CC	A-1-C-5	A-1
£ 444030004	4.77	LDR	A-1-C-5	A-1
£ 444030029	4.66	CC	A-1-C-5	A-1
£ 444030030	4.57	LDR	A-1-C-5	A-1
F 444010001	20.41	LDR	A-2-C	A-2
444010002	16.09	LDR	A-2-C	A-2
£ 444010003	12.78	LDR	A-2-C	A-2
444010004	4.75	LDR	A-2-C	A-2
444010005	21.02	LDR	A-2-C	A-2
£ 444010008	9.94	HR	A-2-C	A-2
444010009	9.65	HR	A-2-C	A-2
£ 444010010	9.57	HR	A-2-C	A-2
£ 444010011	10.18	HR	A-2-C	A-2
444030008	10.05	LDR	A-2-C	A-2
£ 444030009	10.48	LDR	A-2-C	A-2
E 444030010	9.06	LDR	A-2-C	A-2
<i>2</i> 444030001	37.68	LDR	A-2-C-1	A-2
£ 465020040	24.24	MU	A-2-C-10	A-2
<i>E</i> 465020041	1.78	MU	A-2-C-10	A-2
D+C 465030010	20.12		A-2-C-10	A-2
C 465030011	14.95	11	A-2-C-10	A-2
465030013	33.44	l	A-2-C-10	A-2
D+C465030014	19.71	<u> </u>	A-2-C-10	A-2
465030018	0.33		A-2-C-10	A-2
465030022	1.49	<u> </u>	A-2-C-10	A-2
C+V 465030024	32.03	I	A-2-C-10	A-2
DHE 465030027	6.60	<u> </u>	A-2-C-10	A-2
D+£ 465030028	1.58	<u> </u>	A-2-C-10	A-2
C+B 465100006	16.73		A-2-C-10	A-2
465100007	2.02	1	A-2-C-10	A-2
465100008	2.41		A-2-C-10	A-2
465100009	2.42	<u> </u>	A-2-C-10	A-2
465100010	2.48	!	A-2-C-10	A-2

			GP	CHOPTAIT	
	APN	ACRES	DESIGNATION	CURRENT	PROPOSED
	465100011	45 9.65	DESIGNATION	ZONING A-2-C-10	ZONING
CTI	465100028	13.61		A-2-C-10 A-2-C-10	A-2
A	465100036	9.74	<u></u>	A-2-C-10 A-2-C-10	A-2
CA	465100037	9.51		A-2-C-10 A-2-C-10	A-2
1	465100038	18.91		A-2-C-10 A-2-C-10	A-2
X	465100040	18.70		A-2-C-10 A-2-C-10	A-2 A-2
<u>C</u>	465110024	9.20		A-2-C-10	A-2 A-2
K	448270019	9.94	LMDR	R-1-6	R-2
Out	445161007	1.23	OP	R-1-C	0-P
	445161009	0.46	OP	R-1-C	O-P
	438250004	0.98	LDR	R-1-C	R-1-10
	438250005	1.05	LDR	R-1-C	R-1-10
	438250007	0.44	LDR	R-1-C	R-1-10
	438250019	0.53	LDR	R-1-C	R-1-10
	438250022	0.31	LDR	R-1-C	R-1-10
	438250023	0.30	LDR	R-1-C	R-1-10
	438250025	0.50	LDR	R-1-C	R-1-10
	439160027	0.20	LDR	R-1-C	R-1-10
	439160036	0.75	LDR	R-1-C	R-1-10
	439160038	0.57	LDR	R-1-C	R-1-10
Ш	439160040	0.57	LDR	R-1-C	R-1-10
Щ	439160041	0.51	LDR	R-1-C	R-1-10
	439170005	2.04	LDR	R-1-C	R-1-10
	439221001	0.53	LDR	R-1-C	R-1-10
	439221002	0.67	LDR	R-1-C	R-1-10
$oxed{oxed}$	439221003	0.61	LDR	R-1-C	R-1-10
-	439221004	0.62	LDR	R-1-C	R-1-10
-	439221005	0.66	LDR	R-1-C	R-1-10
	439221006	0.71	LDR	R-1-C	R-1-10
-	439221007	0.65	LDR	R-1-C	R-1-10
	439221008	0.61	LDR	R-1-C	R-1-10
_	439221009	0.57	LDR	R-1-C	R-1-10
_	439221010	0.53	LDR	R-1-C	R-1-10
lacksquare	439222001	0.50	LDR	R-1-C	R-1-10
	439222002	0.34	LDR	R-1-C	R-1-10
_	439222003	0.54	LDR	R-1-C	R-1-10
_	439222004	0.61	LDR	R-1-C	R-1-10
	439222005	0.58	LDR	R-1-C	R-1-10
\vdash	439222006	0.55	LDR	R-1-C	R-1-10
	439222007	0.39	LDR	R-1-C	R-1-10
-	439222008	0.51	LDR	R-1-C	R-1-10
	439222009	0.48	LDR	R-1-C	R-1-10
_	439222010	0.77	LDR	R-1-C	R-1-10
_	439222011	0.50	LDR	R-1-C	R-1-10
	439222012	0.56	LDR	R-1-C	R-1-10

		GP		PROPERTY
APN	ACRES	DESIGNATION	ZONING	PROPOSED
439223001	0.30	LDR	R-1-C	ZONING
439223003	0.27	LDR	R-1-C	R-1-10
439223004	0.40	LDR	R-1-C	R-1-10
439223005	0.29	LDR	R-1-C	R-1-10
439223006	0.37	LDR	R-1-C	R-1-10
439230001	1.49	LDR	R-1-C	R-1-10 R-1-10
439230002	0.64	LDR	R-1-C	R-1-10
439230003	0.26	LDR	R-1-C	R-1-10
439230004	0.76	LDR	R-1-C	R-1-10
439230006	0.61	LDR	R-1-C	R-1-10
439230007	0.32	LDR	R-1-C	R-1-10
439230008	0.32	LDR	R-1-C	R-1-10
439230009	0.23	LDR	R-1-C	R-1-10
439230010	0.21	LDR	R-1-C	R-1-10
439230011	0.25	LDR	R-1-C	R-1-10
439230012	0.23	LDR	R-1-C	R-1-10
439230013	0.24	LDR	R-1-C	R-1-10
439230014	0.74	LDR	R-1-C	R-1-10
439230020	0.24	LDR	R-1-C	R-1-10
439230021	0.24	LDR	R-1-C	R-1-10
439230022	0.24	LDR	R-1-C	R-1-10
439230023	0.24	LDR	R-1-C	R-1-10
551540001	0.47	LDR	R-1-C	R-1-20
551540002	0.47	LDR	R-1-C	R-1-20
551540003	0.47	LDR	R-1-C	R-1-20
551540004	0.47	LDR	R-1-C	R-1-20
439040010	1.50	LMDR	R-1-C	R-1-6
439040018	2.40	RR	R-1-C	R-1-6
444410045	1.92	LDR	R-1-C	R-1-6
448130001	0.17	LDR	R-1-C	R-1-6
£ 448130002	0.17	LDR	R-1-C	R-1-6
448130003	0.17	LDR	R-1-C	R-1-6
£ 448130004	0.17	LDR	R-1-C	R-1-6
448130005	0.17	LDR	R-1-C	R-1-6
448130006 448130007	0.17	LDR	R-1-C	R-1-6
710200007	0.26	LDR	R-1-C	R-1-6
448130008 E 448130009	0.17	LDR	R-1-C	R-1-6
£ 448130009 £ 448130010	0.17	LDR	R-1-C	R-1-6
£ 448130010	0.17	LDR	R-1-C	R-1-6
£ 448130011	0.17	LDR	R-1-C	R-1-6
£ 448130012 £ 448130013	0.18	LDR	R-1-C	R-1-6
448130013	0.18	LDR LDR	R-1-C	R-1-6
448130014	0.18	LDR	R-1-C	R-1-6
448130015	0.18		R-1-C	R-1-6
<u>→ →→0120010</u>	0.10	LDR	R-1-C	R-1-6

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448130017	0.18	LDR	R-1-C	R-1-6
£ 448130018	0.25	LDR	R-1-C	R-1-6
£ 448130019	0.20	LDR	R-1-C	R-1-6
E 448130020	0.21	LDR	R-1-C	R-1-6
£ 448130021	0.19	LDR	R-1-C	R-1-6
£ 448130022	0.20	LDR	R-1-C	R-1-6
£ 448130023	0.20	LDR	R-1-C	R-1-6
£ 448130024	0.20	LDR	R-1-C	R-1-6
2 448131001	0.16	LDR	R-1-C	R-1-6
£ 448131002	0.16	LDR	R-1-C	R-1-6
£ 448131003	0.16	LDR	R-1-C	R-1-6
<u>2</u> 448131004	0.16	LDR	R-1-C	R-1-6
£ 448131005	0.17	LDR	R-1-C	R-1-6
448131006	0.16	LDR	R-1-C	R-1-6
£ 448131007	0.16	LDR	R-1-C	R-1-6
448131008	0.18	LDR	R-1-C	R-1-6
448131009	0.17	LDR	R-1-C	R-1-6
2 448131010	0.17	LDR	R-1-C	R-1-6
448131011	0.17	LDR	R-1-C	R-1-6
£ 448131012	0.17	LDR	R-1-C	R-1-6
448131013	0.18	LDR	R-1-C	R-1-6
448131014 448131015	0.17	LDR	R-1-C	R-1-6
£ 448131015 £ 448131016	0.17 0.16	LDR	R-1-C	R-1-6
P 448131017	0.16	LDR LDR	R-1-C	R-1-6
F 448131017	0.18	LDR	R-1-C R-1-C	R-1-6 R-1-6
P 448131019	0.17	LDR	R-1-C	R-1-6
£ 448131020	0.17	LDR	R-1-C	R-1-6
£ 448131021	0.18	LDR	R-1-C	R-1-6
448131022	0.17	LDR	R-1-C	R-1-6
£ 448131023	0.18	LDR	R-1-C	R-1-6
£ 448131024	0.16	LDR	R-1-C	R-1-6
<u>2</u> 448131025	0.17	LDR	R-1-C	R-1-6
E 448131026	0.16	LDR	R-1-C	R-1-6
<u> </u>	0.16	LDR	R-1-C	R-1-6
£ 448131028	0.17	LDR	R-1-C	R-1-6
<u></u> 448131029	0.17	LDR	R-1-C	R-1-6
<u>\$</u> 448131030	0.17	LDR	R-1-C	R-1-6
£ 448131031	0.18	LDR	R-1-C	R-1-6
<u>£</u> 448131032	0.17	LDR	R-1-C	R-1-6
£ 448131033	0.18	LDR	R-1-C	R-1-6
<u>6</u> 448131034	0.17	LDR	R-1-C	R-1-6
<u>\$ 448131035</u>	0.17	LDR	R-1-C	R-1-6
448131036	0.16	LDR	R-1-C	R-1-6
448131037	0.16	LDR	R-1-C	R-1-6

			GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
12	448131038	0.17	LDR	R-1-C	R-1-6
E	448131039	0.17	LDR	R-1-C	R-1-6
F	448131039	0.17	LDR	R-1-C	R-1-6
B	448131041	0.18	LDR	R-1-C	R-1-6
Ē	448131042	0.17	LDR	R-1-C	R-1-6
E	448131043	0.19	LDR	R-1-C	R-1-6
2	448131044	0.17	LDR	R-1-C	R-1-6
巨	448131045	0.17	LDR	R-1-C	R-1-6
=	448270014	13.90	LMDR	R-1-C	R-1-6
F	448270015	22.89	LMDR	R-1-C	R-1-6
P	448270017	45.06	LMDR	R-1-C	R-1-6
E	448270018	2.00	LMDR	R-1-C	R-1-6
Cut	551060006	9.51	LDR	R-1-C	R-1-6
1	551113001	0.17	LDR	R-1-C	R-1-6
	551113002	0.17	LDR	R-1-C	R-1-6
	551113003	0.17	LDR	R-1-C	R-1-6
\Box	551113004	0.18	LDR	R-1-C	R-1-6
П	551113005	0.18	LDR	R-1-C	R-1-6
\Box	551113006	0.18	LDR	R-1-C	R-1-6
\Box	551113007	0.18	LDR	R-1-C	R-1-6
	551113008	0.18	LDR	R-1-C	R-1-6
Ш	551113009	0.18	LDR	R-1-C	R-1-6
	551113010	0.19	LDR	R-1-C	R-1-6
ш	551113011	0.18	LDR	R-1-C	R-1-6
Щ	551113012	0.18	LDR	R-1-C	R-1-6
Щ	551113013	0.18	LDR	R-1-C	R-1-6
Ш_	551113014	0.18	LDR	R-1-C	R-1-6
Щ	551113015	0.18	LDR	R-1-C	R-1-6
Ш	551113016	0.18	LDR	R-1-C	R-1-6
Щ	551113017	0.18	LDR	R-1-C	R-1-6
1	551113018	0.18	LDR	R-1-C	R-1-6
H	551114001	0.17	LDR	R-1-C	R-1-6
1	551114002	0.18	LDR	R-1-C	R-1-6
H	551114003	0.18	LDR	R-1-C	R-1-6
-	551114004	0.18	LDR	R-1-C	R-1-6
\vdash	551114005 551114006	0.18	LDR	R-1-C	R-1-6
-	551114006 551114007	0.18 0.18	LDR	R-1-C	R-1-6
H	551114007	0.18	LDR LDR	R-1-C R-1-C	R-1-6 R-1-6
H	551114008	0.18	LDR	R-1-C R-1-C	R-1-6
H	551200001	12.26	LDR	R-1-C	R-1-6 R-1-6
H	438091001	0.49	LDR	R-1-C	R-1-7.2
	438091001	0.43	LDR	R-1-C	R-1-7.2
\vdash	438091003	0.21	LDR	R-1-C	R-1-7.2
\vdash	438091004	0.17	LDR	R-1-C	R-1-7.2
	+20021004	0.17	LDI	V-T-C	N-T-1.Υ

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
438332010	0.23	LDR	R-1-C	R-1-7.2
4 39250002		LDR	R-1-C	R-1-7.2
£ 439250003		LDR	R-1-C	R-1-7.2
439250004		LDR	R-1-C	R-1-7.2
£ 439250005	0.17	LDR	R-1-C	R-1-7.2
£ 439250006	0.17	LDR	R-1-C	R-1-7.2
€ 439250007	0.17	LDR	R-1-C	R-1-7.2
£ 439250008	0.17	LDR	R-1-C	R-1-7.2
E 439250009	0.18	LDR	R-1-C	R-1-7.2
439250010	0.21	LDR	R-1-C	R-1-7.2
🙎 439250011	0.16	LDR	R-1-C	R-1-7.2
4 39250012	0.18	LDR	R-1-C	R-1-7.2
439250013		LDR	R-1-C	R-1-7.2
439250014		LDR	R-1-C	R-1-7.2
£ 439250015		LDR	R-1-C	R-1-7.2
439250016		LDR	R-1-C	R-1-7.2
439250017		LDR	R-1-C	R-1-7.2
439250018		LDR	R-1-C	R-1-7.2
439250024		LDR	R-1-C	R-1-7.2
439250025		LDR	R-1-C	R-1-7.2
439250026		LDR	R-1-C	R-1-7.2
439250027	-	LDR	R-1-C	R-1-7.2
# 439250028 # 439250029		LDR	R-1-C	R-1-7.2
£ 439250029 £ 439250030		LDR LDR	R-1-C R-1-C	R-1-7.2 R-1-7.2
439250030		LDR	R-1-C	R-1-7.2
£ 439250031		LDR	R-1-C	R-1-7.2
E 439250032	-	LDR	R-1-C	R-1-7.2
439250034		LDR	R-1-C	R-1-7.2
439250035	-	LDR	R-1-C	R-1-7.2
£ 439250036		LDR	R-1-C	R-1-7.2
£ 439250037	+	LDR	R-1-C	R-1-7.2
£ 439250038	+	LDR	R-1-C	R-1-7.2
£ 439250039	0.17	LDR	R-1-C	R-1-7.2
£ 439250040	0.16	LDR	R-1-C	R-1-7.2
£ 439250041	0.16	LDR	R-1-C	R-1-7.2
E 439250042	0.16	LDR	R-1-C	R-1-7.2
E 439250043	0.16	LDR	R-1-C	R-1-7.2
<u>E</u> 439250044	0.18	LDR	R-1-C	R-1-7.2
4 43020001	0.18	LDR	R-1-C	R-1-7.2
E 443020002	+	LDR	R-1-C	R-1-7.2
<u>E</u> 443020003	•	LDR	R-1-C	R-1-7.2
E 443020004		LDR	R-1-C	R-1-7.2
£ 443020005	+	LDR	R-1-C	R-1-7.2
443020006	0.17	LDR	R-1-C	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
<i>E</i> 443020007	0.17	LDR	R-1-C	R-1-7.2
5 443020008	0.17	LDR	R-1-C	R-1-7.2
<i>E</i> 443020009	0.20	LDR	R-1-C	R-1-7.2
443020010	0.16	LDR	R-1-C	R-1-7.2
443020011	0.17	LDR	R-1-C	R-1-7.2
E 443020012	0.21	LDR	R-1-C	R-1-7.2
£ 443020013	0.18	LDR	R-1-C	R-1-7.2
<u>₹</u> 443020014	0.16	LDR	R-1-C	R-1-7.2
<i>E</i> 443020015	0.17	LDR	R-1-C	R-1-7.2
<u>£</u> 443020016	0.17	LDR	R-1-C	R-1-7.2
443020017	0.17	LDR	R-1-C	R-1-7.2
443020018	0.18	LDR	R-1-C	R-1-7.2
443020019	0.17	LDR	R-1-C	R-1-7.2
443020020	0.18	LDR	R-1-C	R-1-7.2
443020021	0.18	LDR	R-1-C	R-1-7.2
443020022	0.16	LDR	R-1-C	R-1-7.2
443020023	0.17	LDR	R-1-C	R-1-7.2
443020024	0.16	LDR	R-1-C	R-1-7.2
£ 443020025	0.17	LDR	R-1-C	R-1-7.2
£ 443020026 £ 443020027	0.16 0.16	LDR LDR	R-1-C R-1-C	R-1-7.2 R-1-7.2
£ 443020027 £ 443020028	0.18	LDR	R-1-C	R-1-7.2
443020028	0.18	LDR	R-1-C	R-1-7.2
443020029	0.29	LDR	R-1-C	R-1-7.2
F 443020031	0.24	LDR	R-1-C	R-1-7.2
F 443020032	0.20	LDR	R-1-C	R-1-7.2
£ 443020033	0.19	LDR	R-1-C	R-1-7.2
F 443020034	0.22	LDR	R-1-C	R-1-7.2
£ 443020035	0.23	LDR	R-1-C	R-1-7.2
£ 443020036	0.21	LDR	R-1-C	R-1-7.2
E 443020037	0.22	LDR	R-1-C	R-1-7.2
£ 443020038	0.21	LDR	R-1-C	R-1-7.2
£ 443030005	0.18	LDR	R-1-C	R-1-7.2
E 443030006	0.17	LDR	R-1-C	R-1-7.2
443030007	0.17	LDR	R-1-C	R-1-7.2
£ 443030008	0.17	LDR	R-1-C	R-1-7.2
E 443030009	0.17	LDR	R-1-C	R-1-7.2
E 443030010	0.17	LDR	R-1-C	R-1-7.2
<u>R</u> 443030011	0.19	LDR	R-1-C	R-1-7.2
<u>E</u> 443030012	0.26	LDR	R-1-C	R-1-7.2
443030013	0.19	LDR	R-1-C	R-1-7.2
<u>E</u> 443030014	0.18	LDR	R-1-C	R-1-7.2
443030015	0.17	LDR	R-1-C	R-1-7.2
<u>E</u> 443030016	0.18	LDR	R-1-C	R-1-7.2
E 443030017	0.21	LDR	R-1-C	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 443030018	0.21	LDR	R-1-C	R-1-7.2
443030019	0.24	LDR	R-1-C	R-1-7.2
£ 443030020	0.16	LDR	R-1-C	R-1-7.2
F 443030021	0.19	LDR	R-1-C	R-1-7.2
£ 443030022	0.17	LDR	R-1-C	R-1-7.2
£ 443030023	0.19	LDR	R-1-C	R-1-7.2
£ 443030024	0.19	LDR	R-1-C	R-1-7.2
£ 443030025	0.17	LDR	R-1-C	R-1-7.2
E 443030026	0.18	LDR	R-1-C	R-1-7.2
£ 443030027	0.17	LDR	R-1-C	R-1-7.2
£ 443030028	0.21	LDR	R-1-C	R-1-7.2
443030029	0.20	LDR	R-1-C	R-1-7.2
<i>E</i> 443030030	0.22	LDR	R-1-C	R-1-7.2
£ 443030031	0.16	LDR	R-1-C	R-1-7.2
£ 443030032	0.19	LDR	R-1-C	R-1-7.2
£ 443030033	0.18	LDR	R-1-C	R-1-7.2
£ 443030034	0.19	LDR	R-1-C	R-1-7.2
 443030035	0.18	LDR	R-1-C	R-1-7.2
£ 443030036	0.18	LDR	R-1-C	R-1-7.2
<i>E</i> 443030037	0.19	LDR	R-1-C	R-1-7.2
? 443030038	0.19	LDR	R-1-C	R-1-7.2
£ 443030039	0.19	LDR	R-1-C	R-1-7.2
443041001	0.19	LDR	R-1-C	R-1-7.2
443041002	0.18	LDR	R-1-C	R-1-7.2
443041003	0.17	LDR	R-1-C	R-1-7.2
443041004	0.17	LDR	R-1-C	R-1-7.2
443041005	0.18	LDR	R-1-C	R-1-7.2
443041006	0.18	LDR	R-1-C	R-1-7.2
443041007	0.18	LDR	R-1-C	R-1-7.2
443041008	0.18	LDR	R-1-C	R-1-7.2
443041009	0.25	LDR	R-1-C	R-1-7.2
443041010	0.20	LDR LDR	R-1-C	R-1-7.2
443041011	0.19	LDR	R-1-C	R-1-7.2
443041012	0.24	LDR	R-1-C	R-1-7.2
443041013	0.18	LDR	R-1-C	R-1-7.2
443041014	0.18	LDR	R-1-C	R-1-7.2
443041015	0.18	LDR	R-1-C	R-1-7.2
443042003	0.17	LDR	R-1-C	R-1-7.2
443042004	0.17	LDR	R-1-C	R-1-7.2
	0.16	LDR	R-1-C	R-1-7.2
443042006 443042007	0.17	LDR	R-1-C	R-1-7.2
100	0.17	LDR	R-1-C	R-1-7.2
443042008	0.17	LDR	R-1-C	R-1-7.2
G 443042009	0.17	LDR	R-1-C	R-1-7.2
EH) 443042010	0.17	LDR	R-1-C	R-1-7.2

		GP	CHEDENT	
APN	ACRES	DESIGNATION	ZONING	PROPOSED
O+2443042011	0.17	LDR	R-1-C	ZONING R-1-7.2
OHE 443042012	0.17	LDR	R-1-C	R-1-7.2
Out 443042013	0.17	LDR	R-1-C	R-1-7.2
443042014	0.16	LDR	R-1-C	R-1-7.2
443042015	0.16	LDR	R-1-C	R-1-7.2
04E 443042016	0.16	LDR	R-1-C	R-1-7.2
Ote 443042017	0.16	LDR	R-1-C	R-1-7.2
E+0 443042018	0.17	LDR	R-1-C	R-1-7.2
E+0 443042019	0.16	LDR	R-1-C	R-1-7.2
443042020	0.19	LDR	R-1-C	R-1-7.2
£ 443042021	0.28	LDR	R-1-C	R-1-7.2
443042022	0.19	LDR	R-1-C	R-1-7.2
E40443042023	0.18	LDR	R-1-C	R-1-7.2
015 443042024	0.17	LDR	R-1-C	R-1-7.2
Out 443042025	0.17	LDR	R-1-C	R-1-7.2
443042026	0.17	LDR	R-1-C	R-1-7.2
443042027	0.17	LDR	R-1-C	R-1-7.2
443042028	0.17	LDR	R-1-C	R-1-7.2
443042029	0.18	LDR	R-1-C	R-1-7.2
£ 443042030	0.18	LDR	R-1-C	R-1-7.2
E 443042031	0.18	LDR	R-1-C	R-1-7.2
443042032	0.18	LDR	R-1-C	R-1-7.2
£ 443042033	0.18	LDR	R-1-C	R-1-7.2
E (0) 443042034	0.18	LDR	R-1-C	R-1-7.2
分长 443042035	0.20	LDR	R-1-C	R-1-7.2
443042036	0.21	LDR	R-1-C	R-1-7.2
443042037	0.17	LDR	R-1-C	R-1-7.2
443042038	0.16	LDR	R-1-C	R-1-7.2
OH 443042039	0.20	LDR	R-1-C	R-1-7.2
443042040	0.16	LDR	R-1-C	R-1-7.2
443042041	0.19	LDR	R-1-C	R-1-7.2
443042042	0.16	LDR	R-1-C	R-1-7.2
443042043	0.15	LDR	R-1-C	R-1-7.2
443042044	0.16	LDR	R-1-C	R-1-7.2
£ 443042045	0.18	LDR	R-1-C	R-1-7.2
443042046	0.18	LDR	R-1-C	R-1-7.2
443042047	0.18	LDR	R-1-C	R-1-7.2
443042048	0.18	LDR	R-1-C	R-1-7.2
443042049	0.19	LDR	R-1-C	R-1-7.2
443042050	0.17	LDR	R-1-C	R-1-7.2
443042051	0.16	LDR	R-1-C	R-1-7.2
443042052	0.17	LDR	R-1-C	R-1-7.2
443042053	0.19	LDR	R-1-C	R-1-7.2
<u>=</u> 443042054	0.17	LDR	R-1-C	R-1-7.2
443042055	0.20	LDR	R-1-C	R-1-7.2

	Co. Chieffel Flat Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
12 A 4430430EC	0.47	DESIGNATION	ZONING	ZONING	
443042056	0.17	LDR	R-1-C	R-1-7.2	
443042057	0.16	LDR	R-1-C	R-1-7.2	
£ 443042058	0.27	LDR	R-1-C	R-1-7.2	
443042059	0.23	LDR	R-1-C	R-1-7.2	
443042060	0.20	LDR	R-1-C	R-1-7.2	
443042061	0.20	LDR	R-1-C	R-1-7.2	
443042062	0.20	LDR	R-1-C	R-1-7.2	
443042063	0.20	LDR	R-1-C	R-1-7.2	
2 443042064	0.20	LDR	R-1-C	R-1-7.2	
443042065	0.19	LDR	R-1-C	R-1-7.2	
£ 443042066	0.17	LDR	R-1-C	R-1-7.2	
443101037	0.41	LDR	R-1-C	R-1-7.2	
443101038	0.39	LDR	R-1-C	R-1-7.2	
Ov 445020008	0.18	LDR	R-1-C	R-1-7.2	
445020009	0.17	LDR	R-1-C	R-1-7.2	
445020010	0.18	LDR	R-1-C	R-1-7.2	
445020011	0.17	LDR	R-1-C	R-1-7.2	
445020012	0.17	LDR	R-1-C	R-1-7.2	
445020013	0.18	LDR	R-1-C	R-1-7.2	
445020014	0.18	LDR	R-1-C	R-1-7.2	
445020015	0.24	LDR	R-1-C	R-1-7.2	
445020016	0.23	LDR	R-1-C	R-1-7.2	
445020017	0.18	LDR	R-1-C	R-1-7.2	
445020018	0.15	LDR	R-1-C	R-1-7.2	
445020019	0.17	LDR	R-1-C	R-1-7.2	
445020020	0.22	LDR	R-1-C	R-1-7.2	
445020021	0.20	LDR	R-1-C	R-1-7.2	
445020022	0.17	LDR	R-1-C	R-1-7.2	
445020023	0.14	LDR	R-1-C	R-1-7.2	
445020024	0.21	LDR	R-1-C	R-1-7.2	
445020025	0.18	LDR	R-1-C	R-1-7.2	
445020026	0.16	LDR	R-1-C	R-1-7.2	
445020027	0.18	LDR	R-1-C	R-1-7.2	
445020028	0.21	LDR	R-1-C	R-1-7.2	
445020029	0.21	LDR	R-1-C	R-1-7.2	
445020030	0.18	LDR	R-1-C	R-1-7.2	
445020031	0.15	LDR	R-1-C	R-1-7.2	
445020032	0.18	LDR	R-1-C	R-1-7.2	
445020033	0.19	LDR	R-1-C	R-1-7.2	
445030005	7.36	LDR	R-1-C	R-1-7.2	
445030012	0.16	LDR	R-1-C	R-1-7.2	
445030013	0.17	LDR	R-1-C	R-1-7.2	
445030014	0.16	LDR	R-1-C	R-1-7.2	
445030015	0.19	LDR	R-1-C	R-1-7.2	
445030016	0.18	LDR	R-1-C	R-1-7.2	

APN	ACRES	GP	CURRENT	PROPOSED
		DESIGNATION	ZONING	ZONING
(445193001	0.19	LDR	R-1-C	R-1-7.2
445193002	0.19	LDR	R-1-C	R-1-7.2
445193003	0.19	LDR	R-1-C	R-1-7.2
445193004	0.19	LDR	R-1-C	R-1-7.2
445193005	0.19	LDR	R-1-C	R-1-7.2
445193006	0.22	LDR	R-1-C	R-1-7.2
445193007	0.23	LDR	R-1-C	R-1-7.2
445193009	0.22	LDR	R-1-C	R-1-7.2
445193010	0.19	LDR	R-1-C	R-1-7.2
445193011	0.19	LDR	R-1-C	R-1-7.2
445193012	0.19	LDR	R-1-C	R-1-7.2
445193013	0.19	LDR	R-1-C	R-1-7.2
445193014	0.19	LDR	R-1-C	R-1-7.2
445193015	0.22	LDR	R-1-C	R-1-7.2
445193016	0.24	LDR	R-1-C	R-1-7.2
64-E456010024	127.59	LDR	R-1-C	R-1-7.2
551081012	0.22	LDR	R-1-C	R-1-7.2
551081013	0.17	LDR	R-1-C	R-1-7.2
551081014	0.23	LDR	R-1-C	R-1-7.2
551081015	0.19	LDR	R-1-C	R-1-7.2
551081016	0.20	LDR	R-1-C	R-1-7.2
551081017	0.20	LDR	R-1-C	R-1-7.2
551081018	0.20	LDR	R-1-C	R-1-7.2
551081019	0.30	LDR	R-1-C	R-1-7.2
551081020	0.30	LDR	R-1-C	R-1-7.2
551081021	0.20	LDR	R-1-C	R-1-7.2
551081022	0.19	LDR	R-1-C	R-1-7.2
551081023	0.20	LDR	R-1-C	R-1-7.2
551081024	0.19	LDR		R-1-7.2
551081025	0.19	LDR	R-1-C R-1-C	
551081026	0.20	LDR		R-1-7.2
551082001	0.24		R-1-C	R-1-7.2
		LDR	R-1-C	R-1-7.2
551082002 551082003	0.23	LDR	R-1-C	R-1-7.2
551082003		LDR	R-1-C	R-1-7.2
	0.23	LDR	R-1-C	R-1-7.2
551082005	0.21	LDR	R-1-C	R-1-7.2
551082006	0.22	LDR	R-1-C	R-1-7.2
551082007	0.22	LDR	R-1-C	R-1-7.2
551082008	0.22	LDR	R-1-C	R-1-7.2
551082009	0.22	LDR	R-1-C	R-1-7.2
551082010	0.22	LDR	R-1-C	R-1-7.2
551082011	0.21	LDR	R-1-C	R-1-7.2
551082012	0.25	LDR	R-1-C	R-1-7.2
551082013	0.21	LDR	R-1-C	R-1-7.2
551082014	0.22	LDR	R-1-C	R-1-7.2

	r drees Not Requiring a deficial Flair Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
A = EE1EC2021	0.16	DESIGNATION	ZONING	ZONING	
551562021 551562022	0.16	LDR	R-1-C	R-1-7.2	
551562023	0.16 0.17	LDR	R-1-C	R-1-7.2	
551562023		LDR	R-1-C	R-1-7.2	
	0.16	LDR	R-1-C	R-1-7.2	
551562025 551562026	0.16 0.16	LDR	R-1-C	R-1-7.2	
551563001	0.16	LDR	R-1-C	R-1-7.2	
445111020	0.17	LDR	R-1-C	R-1-7.2	
448041014	3.02	LDR P	R-1-C/C-2	R-1-7.2	
£ 448041015	0.87	P	OS OS	OS-R	
448060004	7.17	- <u>Р</u>	OS	OS-R	
448060002	16.98	OS -	R-1	OS-R	
448060010	79.93	OS OS	R-1	OS-G OS-G	
£ 448060011	5.25	03	R-1	P-I	
439170017	15.43	LMDR	R-1	R-1-6	
439230018	0.23	LMDR	R-1	R-1-6	
439241001	0.17	LMDR	R-1	R-1-6	
439241002	0.17	LMDR	R-1	R-1-6	
439241003	0.17	LMDR	R-1	R-1-6	
439241004	0.17	LMDR	R-1	R-1-6	
439241005	0.17	LMDR	R-1	R-1-6	
439241006	0.17	LMDR	R-1	R-1-6	
439241007	0.17	LMDR	R-1	R-1-6	
439241008	0.17	LMDR	R-1	R-1-6	
439241009	0.21	LMDR	R-1	R-1-6	
439241010	0.26	LMDR	R-1	R-1-6	
439241011	0.19	LMDR	R-1	R-1-6	
439241012	0.17	LMDR	R-1	R-1-6	
439241013	0.17	LMDR	R-1	R-1-6	
439241014	0.17	LMDR	R-1	R-1-6	
439241015	0.16	LMDR	R-1	R-1-6	
439241016	0.17	LMDR	R-1	R-1-6	
439241017	0.17	LMDR	R-1	R-1-6	
439242001	0.17	LMDR	R-1	R-1-6	
439242002	0.17	LMDR	R-1	R-1-6	
439242003	0.17	LMDR	R-1	R-1-6	
439242004	0.17	LMDR	R-1	R-1-6	
439242005	0.16	LMDR	R-1	R-1-6	
439242006	0.17	LMDR	R-1	R-1-6	
439242007	0.16	LMDR	R-1	R-1-6	
439242008	0.16	LMDR	R-1	R-1-6	
439242009	0.15	LMDR	R-1	R-1-6	
439242010	0.19	LMDR	R-1	R-1-6	
439242011	0.17	LMDR	R-1	R-1-6	
439242012	0.20	LMDR	R-1	R-1-6	

	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING	
439350035	0.18	LDR	R-1	R-1-6	
439350036		LDR	R-1	R-1-6	
439350037		LDR	R-1	R-1-6	
439350038		LDR	R-1	R-1-6	
439350039		LDR	R-1	R-1-6	
439350040		LDR	R-1	R-1-6	
439350041	+	LDR	R-1	R-1-6	
439350042		LDR	R-1	R-1-6	
439350043	+	LDR	R-1	R-1-6	
439350044	} 	LDR	R-1	R-1-6	
439350045		LDR	R-1	R-1-6	
439350046		LDR	R-1	R-1-6	
439350047		LDR	R-1	R-1-6	
439350048	 	LDR	R-1	R-1-6	
439350049		LDR	R-1	R-1-6	
439350052	! 	LDR	R-1	R-1-6	
439351001	0.23	LDR	R-1	R-1-6	
439351002	0.15	LDR	R-1	R-1-6	
439351003	0.15	LDR	R-1	R-1-6	
439351004	0.15	LDR	R-1	R-1-6	
439351005	0.15	LDR	R-1	R-1-6	
439351006	0.15	LDR	R-1	R-1-6	
439351007	0.15	LDR	R-1	R-1-6	
439351008	0.15	LDR	R-1	R-1-6	
439351009	0.15	LDR	R-1	R-1-6	
439351010	0.17	LDR	R-1	R-1-6	
439351011	0.18	LDR	R-1	R-1-6	
439351012	0.16	LDR	R-1	R-1-6	
439351013	0.16	LDR	R-1	R-1-6	
439351014	0.16	LDR	R-1	R-1-6	
439351015	0.16	LDR	R-1	R-1-6	
439351016	0.16	LDR	R-1	R-1-6	
439351017		LDR	R-1	R-1-6	
439351018	-	LDR	R-1	R-1-6	
439351019		LDR	R-1	R-1-6	
439351020		LDR	R-1	R-1-6	
439352001		LDR	R-1	R-1-6	
439352002		LDR	R-1	R-1-6	
439352003		LDR	R-1	R-1-6	
439352004		LDR	R-1	R-1-6	
439352005	\longrightarrow	LDR	R-1	R-1-6	
442081001	0.25	LDR	R-1	R-1-6	
442081009		LDR	R-1	R-1-6	
442081010	-	LDR	R-1	R-1-6	
442081011	0.20	LDR	R-1	R-1-6	

	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	CURRENT	PROPOSED	
442081013	0.15	LDR	ZONING	ZONING	
£ 442081013	0.16	LDR	R-1	R-1-6	
442081015	0.18	LDR	R-1	R-1-6	
£ 442081019	0.38	LDR	R-1	R-1-6	
442081020	0.17	LDR	R-1	R-1-6	
£ 442084012	0.13	LDR	R-1	R-1-6	
£ 442084013	0.19	LDR	R-1 R-1	R-1-6	
£ 442084014	0.19	LDR	R-1	R-1-6	
442084015	0.21	LDR	R-1	R-1-6	
442084016	0.22	LDR	R-1	R-1-6 R-1-6	
£ 443172022	0.19	LDR	R-1	R-1-6	
£ 443172023	0.17	LDR	R-1	R-1-6	
443182001	0.17	LDR	R-1	R-1-6	
443182002	0.26	LDR	R-1	R-1-6	
£ 443182003	0.25	LDR	R-1	R-1-6	
£ 443182004	0.17	LDR	R-1	R-1-6	
443182005	0.17	LDR	R-1	R-1-6	
443182006	0.15	LDR	R-1	R-1-6	
443182007	0.15	LDR	R-1	R-1-6	
443182008	0.15	LDR	R-1	R-1-6	
£ 443182009	0.15	LDR	R-1	R-1-6	
£ 443182010	0.15	LDR	R-1	R-1-6	
£ 443182015	0.16	LDR	R-1	R-1-6	
£ 443182016	0.16	LDR	R-1	R-1-6	
443182017	0.16	LDR	R-1	R-1-6	
£ 443182018	0.16	LDR	R-1	R-1-6	
443182019	0.16	LDR	R-1	R-1-6	
<u>2</u> 443182020	0.18	LDR	R-1	R-1-6	
445191027	0.15	LDR	R-1	R-1-6	
445191028	0.15	LDR	R-1	R-1-6	
445191029	0.15	LDR	R-1	R-1-6	
445191030	0.15	LDR	R-1	R-1-6	
445191031	0.21	LDR	R-1	R-1-6	
445191032	0.15	LDR	R-1	R-1-6	
445191033	0.20	LDR	R-1	R-1-6	
445191034	0.13	LDR	R-1	R-1-6	
445191035	0.14	LDR	R-1	R-1-6	
445191036	0.14	LDR	R-1	R-1-6	
445191037	0.14	LDR	R-1	R-1-6	
445191038	0.14	LDR	R-1	R-1-6	
445191039	0.14	LDR	R-1	R-1-6	
445191040	0.15	LDR	R-1	R-1-6	
445191041	0.15	LDR	R-1	R-1-6	
445191042	0.18	LDR	R-1	R-1-6	
445191043	0.20	LDR	R-1	R-1-6	

	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	CURRENT	PROPOSED	
O 445191044	0.14		ZONING	ZONING	
445191045		LDR LDR	R-1 R-1	R-1-6	
445191045		LDR		R-1-6	
445191047	0.14		R-1	R-1-6	
445191047		LDR LDR	R-1	R-1-6	
445191048	0.19	LDR	R-1	R-1-6	
445191050	0.19	LDR	R-1	R-1-6	
445191050	0.19	LDR	R-1	R-1-6	
F 446033010		LDR	R-1 R-1	R-1-6	
446033010	0.13	LDR	R-1	R-1-6	
446033011	0.13	LDR	R-1	R-1-6	
£ 446033013	0.13	LDR	R-1	R-1-6 R-1-6	
446033014	0.12	LDR	R-1	R-1-6	
£ 446033015	0.12	LDR	R-1	R-1-6	
£ 446033016	0.12	LDR	R-1	R-1-6	
446033017	0.12	LDR	R-1	R-1-6	
446033018	0.13	LDR	R-1	R-1-6	
446034001	0.14	LDR	R-1	R-1-6	
£ 446034002	0.14	LDR	R-1	R-1-6	
E 446034003	0.14	LDR	R-1	R-1-6	
£ 446034004	0.14	LDR	R-1	R-1-6	
E 446034005	0.14	LDR	R-1	R-1-6	
F 446034006	0.14	LDR	R-1	R-1-6	
£ 446034007	0.14	LDR	R-1	R-1-6	
446034008	0.14	LDR	R-1	R-1-6	
446034009	0.14	LDR	R-1	R-1-6	
<u>2</u> 446034010	0.15	LDR	R-1	R-1-6	
£ 446034011	0.15	LDR	R-1	R-1-6	
E 446034012	0.14	LDR	R-1	R-1-6	
£ 446034013	0.14	LDR	R-1	R-1-6	
446034014	0.14	LDR	R-1	R-1-6	
E 446034015	0.14	LDR	R-1	R-1-6	
2 446034016	0.14	LDR	R-1	R-1-6	
2 446034017	0.14	LDR	R-1	R-1-6	
£ 446034018	0.14	LDR	R-1	R-1-6	
<u></u> 446034019	0.14	LDR	R-1	R-1-6	
446034020	0.14	LDR	R-1	R-1-6	
446035001	0.14	LDR	R-1	R-1-6	
F 446035002	0.14	LDR	R-1	R-1-6	
<u></u> 446035003	0.14	LDR	R-1	R-1-6	
£ 446035004	0.14	LDR	R-1	R-1-6	
446035005	0.14	LDR	R-1	R-1-6	
E 446035006	0.14	LDR	R-1	R-1-6	
446035007	0.14	LDR	R-1	R-1-6	
446035008	0.14	LDR	R-1	R-1-6	

	GP CURRENT PR				
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING	
£ 446035009	0.14	LDR	R-1	R-1-6	
£ 446035010	0.15	LDR	R-1	R-1-6	
£ 446035011	0.15	LDR	R-1	R-1-6	
£ 446035012	0.14	LDR	R-1	R-1-6	
£ 446035013	0.14	LDR	R-1	R-1-6	
446035014	0.14	LDR	R-1	R-1-6	
£ 446035015	0.14	LDR	R-1	R-1-6	
£ 446035016	0.14	LDR	R-1	R-1-6	
446035017	0.14	LDR	R-1	R-1-6	
£ 446035018	0.14	LDR	R-1	R-1-6	
446035019	0.14	LDR	R-1	R-1-6	
446035020	0.14	LDR	R-1	R-1-6	
£ 446101002	0.23	LDR	R-1	R-1-6	
446101003	0.38	LDR	R-1	R-1-6	
£ 446101004	0.15	LDR	R-1	R-1-6	
£ 446101005	0.15	LDR	R-1	R-1-6	
£ 446101006	0.15	LDR	R-1	R-1-6	
446101007	0.15	LDR	R-1	R-1-6	
<u>F</u> 446101008	0.15	LDR	R-1	R-1-6	
£ 446101009	0.15	LDR	R-1	R-1-6	
£ 446101010	0.14	LDR	R-1	R-1-6	
E 446101011	0.12	LDR	R-1	R-1-6	
£ 446101012	0.12	LDR	R-1	R-1-6	
£ 446101013	0.16	LDR	R-1	R-1-6	
<u>2</u> 446101014	0.15	LDR	R-1	R-1-6	
446101015	0.15	LDR	R-1	R-1-6	
£ 446101016	0.15	LDR	R-1	R-1-6	
446101017	0.15	LDR	R-1	R-1-6	
<u>£</u> 446101018	0.15	LDR	R-1	R-1-6	
<u>E</u> 446101019	0.15	LDR	R-1	R-1-6	
<u>E</u> 446101020	0.18	LDR	R-1	R-1-6	
<u>£</u> 446102001	0.12	LDR	R-1	R-1-6	
<u>2</u> 446102002	0.12	LDR	R-1	R-1-6	
£ 446102003	0.12	LDR	R-1	R-1-6	
<u>£</u> 446102004	0.12	LDR	R-1	R-1-6	
446102005	0.12	LDR	R-1	R-1-6	
<u>£</u> 446102006	0.10	LDR	R-1	R-1-6	
<u>£</u> 446102007	0.10	LDR	R-1	R-1-6	
<u>F</u> 446102008	0.13	LDR	R-1	R-1-6	
446102009	0.13	LDR	R-1	R-1-6	
2 446102010	0.13	LDR	R-1	R-1-6	
446102011	0.13	LDR	R-1	R-1-6	
446102012	0.13	LDR	R-1	R-1-6	
446103001	0.14	LDR	R-1	R-1-6	
446103002	0.14	LDR	R-1	R-1-6	

		Parcels Not Requiring a General Plan Amendment			
APN	ACRES	GP	CURRENT	PROPOSED	
£ 446103003	0.14	DESIGNATION	ZONING	ZONING	
446103003		LDR	R-1	R-1-6	
446103004	0.14	LDR	R-1	R-1-6	
	0.15	LDR	R-1	R-1-6	
£ 446103006 £ 446103007	0.14	LDR	R-1	R-1-6	
£ 446103007	0.15	LDR	R-1	R-1-6	
	0.19	LDR	R-1	R-1-6	
446103009	0.14	LDR	R-1	R-1-6	
446103010	0.14	LDR	R-1	R-1-6	
£ 446103011 £ 446103012	0.12	LDR	R-1	R-1-6	
£ 446103012 £ 446103013	0.11	LDR	R-1	R-1-6	
	0.13	LDR	R-1	R-1-6	
£ 446103014 £ 446103015	0.18	LDR	R-1	R-1-6	
	0.17	LDR	R-1	R-1-6	
7	0.17	LDR	R-1	R-1-6	
	0.17	LDR	R-1	R-1-6	
446112002	0.17	LDR	R-1	R-1-6	
446112003	0.17	LDR	R-1	R-1-6	
<u>£</u> 446112004	0.17	LDR	R-1	R-1-6	
## 446112005 ## 446112006	0.17	LDR	R-1	R-1-6	
	0.17	LDR	R-1	R-1-6	
446112007	0.17	LDR	R-1	R-1-6	
## 446112008 ## 446113001	0.14	LDR	R-1	R-1-6	
	0.16	LDR	R-1	R-1-6	
446113002	0.16	LDR	R-1	R-1-6	
446113003	0.16	LDR	R-1	R-1-6	
446113004	0.16	LDR	R-1	R-1-6	
£ 446113005	0.16	LDR	R-1	R-1-6	
£ 446113006	0.16	LDR	R-1	R-1-6	
2 446113007	0.16	LDR	R-1	R-1-6	
£ 446113008	0.14	LDR	R-1	R-1-6	
<u>F</u> 446113009	0.14	LDR	R-1	R-1-6	
± 440113010	0.16	LDR	R-1	R-1-6	
£ 446113011 £ 446113012	0.16	LDR	R-1	R-1-6	
	0.16	LDR	R-1	R-1-6	
140223013	0.16	LDR	R-1	R-1-6	
446113014	0.16	LDR	R-1	R-1-6	
446113015	0.16	LDR	R-1	R-1-6	
446113016	0.17	LDR	R-1	R-1-6	
446114001	0.16	LDR	R-1	R-1-6	
446114002	0.16	LDR	R-1	R-1-6	
£ 446114003	0.16	LDR	R-1	R-1-6	
446114004	0.16	LDR	R-1	R-1-6	
446114005	0.16	LDR	R-1	R-1-6	
446114006	0.16	LDR	R-1	R-1-6	
446114007	0.16	LDR	R-1	R-1-6	

		GP CURRENT PROPOSED			
APN	ACRES	DESIGNATION	ZONING	ZONING	
446114008	0.14	LDR	R-1	R-1-6	
£ 446114009	0.13	LDR	R-1	R-1-6	
£ 446114010	0.16	LDR	R-1	R-1-6	
£ 446114011	0.16	LDR	R-1	 	
£ 446114012	0.16	LDR	R-1	R-1-6	
446114013	0.16	LDR	R-1	R-1-6 R-1-6	
E 446114014	0.16	LDR	R-1	R-1-6	
£ 446114015	0.16	LDR	R-1	R-1-6	
£ 446114016	0.16	LDR	R-1	R-1-6	
E 446121001	0.18	LDR	R-1	R-1-6	
F 446121002	0.18	LDR	R-1	R-1-6	
<i>E</i> 446121003	0.18	LDR	R-1	R-1-6	
E 446121004	0.18	LDR	R-1	R-1-6	
<i>E</i> 446121005	0.16	LDR	R-1	R-1-6	
E 446121006	0.17	LDR	R-1	R-1-6	
E 446121007	0.17	LDR	R-1	R-1-6	
<i>E</i> 446121008	0.20	LDR	R-1	R-1-6	
£ 446121009	0.18	LDR	R-1	R-1-6	
£ 446121010	0.18	LDR	R-1	R-1-6	
£ 446121011	0.18	LDR	R-1	R-1-6	
£ 446121012	0.18	LDR	R-1	R-1-6	
<i>E</i> 446121013	0.18	LDR	R-1	R-1-6	
E 446121014	0.18	LDR	R-1	R-1-6	
E 446121015	0.17	LDR	R-1	R-1-6	
446121016	0.17	LDR	R-1	R-1-6	
446121017	0.17	LDR	R-1	R-1-6	
446121018	0.20	LDR	R-1	R-1-6	
446122001	0.18	LDR	R-1	R-1-6	
446122002	0.16	LDR	R-1	R-1-6	
446122003	0.16	LDR	R-1_	R-1-6	
446122004	0.16	LDR	R-1	R-1-6	
446122005	0.16	LDR	R-1	R-1-6	
£ 446122006 £ 446122007	0.16	LDR	R-1	R-1-6	
£ 446122007	0.16 0.16	LDR	R-1	R-1-6	
F 446122009	0.16	LDR	R-1	R-1-6	
## 446122009 ## 446122012	0.17	LDR LDR	R-1 R-1	R-1-6	
## 446122012 ## 446122013	0.17	LDR	R-1	R-1-6	
£ 446122014	0.16	LDR	R-1	R-1-6	
£ 446122015	0.16	LDR	R-1	R-1-6 R-1-6	
446122016	0.16	LDR	R-1	R-1-6	
£ 446122023	0.16	LDR	R-1	R-1-6	
£ 446122024	0.16	LDR	R-1	R-1-6	
£ 446122025	0.16	LDR	R-1	R-1-6	
£ 446122026	0.18	LDR	R-1	R-1-6	
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		GP CURRENT PROPOSED			
APN	ACRES	DESIGNATION	CURRENT	PROPOSED	
£ 446123002	0.16	LDR	ZONING	ZONING	
446123003	0.16		R-1	R-1-6	
446123004	0.16	LDR	R-1	R-1-6	
446123004	0.16	LDR	R-1	R-1-6	
		LDR	R-1	R-1-6	
446123006		LDR	R-1	R-1-6	
### 446123007 ### 446123008	0.16	LDR	R-1	R-1-6	
£ 446123009	0.16	LDR	R-1	R-1-6	
	0.17	LDR	R-1	R-1-6	
	0.19	LDR	R-1	R-1-6	
	0.17	LDR	R-1	R-1-6	
1,0101001	0.15	LDR	R-1	R-1-6	
446132003	0.15	LDR	R-1	R-1-6	
446132004 446132005	0.15	LDR	R-1	R-1-6	
	0.15	LDR	R-1	R-1-6	
446132006	0.16	LDR	R-1	R-1-6	
446132007	0.15	LDR	R-1	R-1-6	
446132008	0.15	LDR	R-1	R-1-6	
446132009	0.15	LDR	R-1	R-1-6	
446132010	0.15	LDR	R-1	R-1-6	
446132011	0.15	LDR	R-1	R-1-6	
£ 446132012	0.15	LDR	R-1	R-1-6	
446132013 446132014	0.15	LDR	R-1	R-1-6	
1.0101011	0.17	LDR	R-1	R-1-6	
£ 446133001 £ 446133002	0.13	LDR	R-1	R-1-6	
	0.11	LDR	R-1	R-1-6	
£ 446133003 £ 446133004	0.11	LDR	R-1	R-1-6	
	0.12	LDR	R-1	R-1-6	
	0.12	LDR	R-1	R-1-6	
£ 446133006 £ 446133007	0.12	LDR	R-1	R-1-6	
110233007	0.12	LDR	R-1	R-1-6	
£ 446133008	0.23	LDR	R-1	R-1-6	
11010000	0.22	LDR	R-1	R-1-6	
446133010	0.16	LDR	R-1	R-1-6	
446133011	0.15	LDR	R-1	R-1-6	
£ 446133012	0.15	LDR	R-1	R-1-6	
£ 446133013	0.29	LDR	R-1	R-1-6	
£ 446133014	0.25	LDR	R-1	R-1-6	
£ 446133015	0.15	LDR	R-1	R-1-6	
446133016	0.15	LDR	R-1	R-1-6	
£ 446133017	0.15	LDR	R-1	R-1-6	
£ 446133018	0.15	LDR	R-1	R-1-6	
£ 446133019	0.15	LDR	R-1	R-1-6	
£ 446133020 £ 446133021	0.15	LDR	R-1	R-1-6	
446133021	0.17	LDR	R-1	R-1-6	
446133022	0.17	LDR	R-1	R-1-6	

		GP CURRENT PROPOSED			
APN	ACRES	DESIGNATION	CURRENT	PROPOSED	
£ 446133023	0.17	LDR	R-1	ZONING	
5 446133024	0.17	LDR	R-1	R-1-6	
446133025	0.17	LDR	R-1	R-1-6	
446133026	0.17	LDR	R-1	R-1-6	
£ 446133027	0.17	LDR	R-1	R-1-6	
£ 446133028	0.14	LDR	R-1	R-1-6	
446133029	0.14	LDR	R-1	R-1-6	
446133030	0.15	LDR	R-1	R-1-6	
446141001	0.31	LDR	R-1	R-1-6	
446141002	0.20	LDR	R-1		
€ 446141003	0.19	LDR	R-1	R-1-6	
£ 446141004	0.19	LDR	R-1	 	
£ 446141005	0.19	LDR	R-1	R-1-6 R-1-6	
2 446141006	0.19	LDR	R-1	. R-1-6	
£ 446141007	0.19	LDR	R-1	R-1-6	
£ 446141008	0.19	LDR	R-1	R-1-6	
£ 446141009	0.25	LDR	R-1	R-1-6	
£ 446141010	0.21	LDR	R-1	R-1-6	
£ 446141011	0.19	LDR	R-1	R-1-6	
? 446141012	0.19	LDR	R-1	R-1-6	
£ 446141013	0.19	LDR	R-1	R-1-6	
£ 446141014	0.19	LDR	R-1	R-1-6	
2 446141015	0.19	LDR	R-1	R-1-6	
£ 446141016	0.19	LDR	R-1	R-1-6	
£ 446141017	0.21	LDR	R-1	R-1-6	
£ 446141018	0.15	LDR	R-1	R-1-6	
<i>E</i> 446141019	0.17	LDR	R-1	R-1-6	
<i>E</i> 446142001	0.24	LDR	R-1	R-1-6	
446142002	0.15	LDR	R-1	R-1-6	
2 446142003	0.21	LDR	R-1	R-1-6	
£ 446142004	0.19	LDR	R-1	R-1-6	
446142005	0.19	LDR	R-1	R-1-6	
446142006	0.19	LDR	R-1	R-1-6	
446142007	0.19	LDR	R-1	R-1-6	
446142008	0.19	LDR	R-1	R-1-6	
<u> </u>	0.19	LDR	R-1	R-1-6	
446142010	0.23	LDR	R-1	R-1-6	
446142011	0.20	LDR	R-1	R-1-6	
446142012	0.20	LDR	R-1	R-1-6	
446142013	0.20	LDR	R-1	R-1-6	
446142014	0.23	LDR	R-1	R-1-6	
446142015	0.20	LDR	R-1	R-1-6	
446142016	0.20	LDR	R-1	R-1-6	
446142017	0.19	LDR	R-1	R-1-6	
<u> 446142018</u>	0.19	LDR	R-1	R-1-6	

Farceis Not Requiring a General Plan Amendment				
APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED
£ 446142019	0.15	LDR	ZONING R-1	ZONING
£ 446142020	0.12	LDR	R-1	R-1-6
£ 446143001	0.34	LDR	R-1	R-1-6
£ 446143002	0.20	LDR	R-1	R-1-6
£ 446143003	0.19	LDR	R-1	R-1-6
£ 446143004	0.19	LDR	R-1	R-1-6
£ 446143005	0.19	LDR	R-1	R-1-6
£ 446143006	0.19	LDR	R-1	R-1-6 R-1-6
446143007	0.19	LDR	R-1	R-1-6
446143008	0.19	LDR	R-1	R-1-6
£ 446143009	0.19	LDR	R-1	R-1-6
E/2t0446143010	0.31	LDR	R-1	R-1-6
2 446143012	0.22	LDR	R-1	R-1-6
E+0 446143013	0.22	LDR	R-1	R-1-6
446143014	0.20	LDR	R-1	R-1-6
RHO 446143015	0.20	LDR	R-1	R-1-6
446151002	0.21	LDR	R-1	R-1-6
446151003	0.26	LDR	R-1	R-1-6
2 446151004	0.28	LDR	R-1	R-1-6
446151005	0.20	LDR	R-1	R-1-6
446151006	0.20	LDR	R-1	R-1-6
£ 446151007	0.20	LDR	R-1	R-1-6
£ 446151021	0.32	LDR	R-1	R-1-6
£ 446151023	0.17	LDR	R-1	R-1-6
£ 446151024	0.16	LDR	R-1	R-1-6
<i>E</i> 446191001	0.15	LDR	R-1	R-1-6
446191002	0.15	LDR	R-1	R-1-6
F 446191003	0.15	LDR	R-1	R-1-6
446191004	0.16	LDR	R-1	R-1-6
£ 446191005	0.17	LDR	R-1	R-1-6
£ 446191006	0.17	LDR	R-1	R-1-6
<u>£</u> 446191007	0.17	LDR	R-1	R-1-6
<u>₹</u> 446191008	0.17	LDR	R-1	R-1-6
£ 446191009	0.17	LDR	R-1	R-1-6
446191010	0.17	LDR	R-1	R-1-6
446191011	0.16	LDR	R-1	R-1-6
<u>F</u> 446191012	0.16	LDR	R-1	R-1-6
£ 446191013	0.15	LDR	R-1	R-1-6
446191014	0.15	LDR	R-1	R-1-6
446191015	0.15	LDR	R-1	R-1-6
446191016	0.19	LDR	R-1	R-1-6
446191017	0.17	LDR	R-1	R-1-6
446191018	0.17	LDR	R-1	R-1-6
446191019	0.19	LDR	R-1	R-1-6
<u>《</u> 446191020	0.14	LDR	R-1	R-1-6

		CD CURRENT Figure American Figure Americanient			
APN	ACRES	GP	CURRENT	PROPOSED	
445404004	2.45	DESIGNATION	ZONING	ZONING	
446191021	0.15	LDR	R-1	R-1-6	
446191022	0.15	LDR	R-1	R-1-6	
446191023	0.15	LDR	R-1	R-1-6	
446191024	0.15	LDR	R-1	R-1-6	
446191025	0.16	LDR	R-1	R-1-6	
446191026	0.16	LDR	R-1	R-1-6	
<u>2</u> 446191027	0.16	LDR	R-1	R-1-6	
£ 446191028	0.16	LDR	R-1	R-1-6	
<u>£</u> 446191029	0.16	LDR	R-1	R-1-6	
£ 446191030	0.17	LDR	R-1	R-1-6	
446192001	0.15	LDR	R-1	R-1-6	
446192002	0.14	LDR	R-1	R-1-6	
£ 446192003	0.14	LDR	R-1	R-1-6	
446192004	0.14	LDR	R-1	R-1-6	
446192005	0.14	LDR	R-1	R-1-6	
£ 446192006	0.14	LDR	R-1	R-1-6	
£ 446192007	0.14	LDR	R-1	R-1-6	
£ 446192008	0.15	LDR	R-1	R-1-6	
<u>E</u> 446192009	0.22	LDR	R-1	R-1-6	
<u>F</u> 446192010	0.19	LDR	R-1	R-1-6	
<i>E</i> 446192011	0.16	LDR	R-1	R-1-6	
£ 446192012	0.14	LDR	R-1	R-1-6	
<u>F</u> 446192013	0.14	LDR	R-1	R-1-6	
446192014	0.14	LDR	R-1	R-1-6	
<u>£</u> 446192015	0.14	LDR	R-1	R-1-6	
<u>£</u> 446192016	0.14	LDR	R-1	R-1-6	
£ 446192017	0.14	LDR	R-1	R-1-6	
E 446192018	0.16	LDR	R-1	R-1-6	
<u>2</u> 446192026	0.16	LDR	R-1	R-1-6	
<u>F</u> 446192027	0.15	LDR	R-1	R-1-6	
446192028	0.15	LDR	R-1	R-1-6	
446192029	0.16	LDR	R-1	R-1-6	
<u>£</u> 446192030	0.20	LDR	R-1	R-1-6	
446192031	0.19	LDR	R-1	R-1-6	
£ 446192032	0.27	LDR	R-1	R-1-6	
<u>₹</u> 446192033	0.14	LDR	R-1	R-1-6	
446192034	0.15	LDR	R-1	R-1-6	
£ 446192035	0.15	LDR	R-1	R-1-6	
<u>₹ 446192036</u>	0.16	<u>LD</u> R	R-1	R-1-6	
446192037	0.15	LDR	R-1	R-1-6	
£ 446192038	0.14	LDR	R-1	R-1-6	
£ 446192039	0.14	LDR	R-1	R-1-6	
446192040	0.14	LDR	R-1	R-1-6	
<u>€</u> 446192041	0.14	LDR	R-1	R-1-6	
446192042	0.14	LDR	R-1	R-1-6	

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		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
446192043	0.15	LDR	R-1	R-1-6
446192044	0.14	LDR	R-1	R-1-6
£ 446192045	0.14	LDR	R-1	R-1-6
446192046	0.14	LDR	R-1	R-1-6
446192047	0.20	LDR	R-1	
£ 446192048	0.15	LDR	R-1	R-1-6
446192049	0.13	LDR	R-1	R-1-6
446192050	0.25	LDR	R-1	R-1-6
446192051	0.15	LDR		R-1-6
E 446192052	0.13	LDR	R-1	R-1-6
£ 446192053	0.17		R-1	R-1-6
446192033		LDR	R-1	R-1-6
	0.17	LDR	R-1	R-1-6
710221000	0.16	LDR	R-1	R-1-6
	0.16	LDR	R-1	R-1-6
	0.16	LDR	R-1	R-1-6
	0.16	LDR	R-1	R-1-6
446221012	0.16	LDR	R-1	R-1-6
446221013	0.17	LDR	R-1	R-1-6
110221011	0.19	LDR	R-1	R-1-6
EEV0446221015	0.25	LDR	R-1	R-1-6
0+€446221016	0.16	LDR	R-1	R-1-6
Out 446221017	0.16	LDR	R-1	R-1-6
446221018	0.16	LDR	R-1	R-1-6
446221019	0.16	LDR	R-1	R-1-6
446221020	0.17	LDR	R-1	R-1-6
446222001	0.18	LDR	R-1	R-1-6
446222002	0.16	LDR	R-1	R-1-6
446222003	0.16	LDR	R-1	R-1-6
446222004	0.16	LDR	R-1	R-1-6
446222005	0.16	LDR	R-1	R-1-6
446222006 446222007	0.16 0.17	LDR	R-1	R-1-6
446222007		LDR	R-1	R-1-6
446222009	0.17 0.17	LDR	R-1	R-1-6
446222010	0.17	LDR	R-1	R-1-6
446222010		LDR	R-1	R-1-6
446222011	0.18	LDR	R-1	R-1-6
446222012	0.18	LDR	R-1	R-1-6
446222013	0.23	LDR LDR	R-1	R-1-6
446222014	0.24		R-1	R-1-6
446222015	0.17	LDR LDR	R-1	R-1-6
446222017	0.18	LDR	R-1	R-1-6
446222017	0.16	LDR	R-1 R-1	R-1-6
446222019	0.16	LDR		R-1-6
446231001	0.10		R-1	R-1-6
440231001	0.30	LDR	R-1	R-1-6

	Parcels Not Requiring a General Plan Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
		DESIGNATION	ZONING	ZONING	
446231002	0.26	LDR	R-1	R-1-6	
£ 446231003	0.35	LDR	R-1	R-1-6	
£ 446231004	0.39	LDR	R-1	R-1-6	
£ 446231005	0.25	LDR	R-1	R-1-6	
2 446231006	0.27	LDR	R-1	R-1-6	
£ 446231007	0.29	LDR	R-1	R-1-6	
£ 446231008	0.26	LDR	R-1	R-1-6	
£ 446231010	0.19	LDR	R-1	R-1-6	
<u>£</u> 446231011	0.16	LDR	R-1	R-1-6	
446231012	0.15	LDR	R-1	R-1-6	
<u>£</u> 446231013	0.14	LDR	R-1	R-1-6	
£ 446231014	0.14	LDR	R-1	R-1-6	
446231015	0.13	LDR	R-1	R-1-6	
£ 446231016	0.20	LDR	R-1	R-1-6	
<u>£</u> 446231017	0.20	LDR	R-1	R-1-6	
<u>€</u> 446231018	0.13	LDR	R-1	R-1-6	
<u>7</u> 446231019	0.13	LDR	R-1	R-1-6	
446231020	0.13	LDR	R-1	R-1-6	
446231021	0.13	LDR	R-1	R-1-6	
£ 446231022	0.12	LDR	R-1	R-1-6	
£ 446231023	0.12	LDR	R-1	R-1-6	
E 446231024	0.14	LDR	R-1	R-1-6	
£ 446231025	0.15	LDR	R-1	R-1-6	
<u>£</u> 446231026	0.18	LDR	R-1	R-1-6	
% ₹446231027	0.17	LDR	R-1	R-1-6	
Out 446231028	0.19	LDR	R-1	R-1-6	
446231029	0.17	LDR	R-1	R-1-6	
446231030	0.17	LDR	R-1	R-1-6	
446231031	0.17	LDR	R-1	R-1-6	
446231032	0.20	LDR	R-1	R-1-6	
446231033	0.29	LDR	R-1	R-1-6	
446232002	0.23	LDR	R-1	R-1-6	
£ 446232003	0.23	LDR	R-1	R-1-6	
£ 446232004	0.23	LDR_	R-1	R-1-6	
446232005	0.14	<u>LDR</u>	R-1	R-1-6	
446232006	0.17	LDR	R-1	R-1-6	
446232007	0.17	LDR	R-1	R-1-6	
446232008	0.17	LDR	R-1	R-1-6	
446232009	0.17	LDR	R-1	R-1-6	
Out*446232022	0.21	LDR	R-1	R-1-6	
446232023	0.18	LDR	R-1	R-1-6	
446232024	0.18	LDR	R-1	R-1-6	
446232025	0.18	LDR	R-1	R-1-6	
446232026	0.18	LDR	R-1	R-1-6	
0+£ 446232027	0.20	LDR	R-1	R-1-6	



		CD CHARGON AND AND AND AND AND AND AND AND AND AN			
APN	ACRES	GP	CURRENT	PROPOSED	
\$\to 446232028	0.18	DESIGNATION	ZONING	ZONING	
£ 446232029	0.18	LDR	R-1	R-1-6	
£ 446232030	0.20	LDR	R-1	R-1-6	
446232030	0.21	LDR	R-1	R-1-6	
£ 446232032	0.28	LDR	R-1	R-1-6	
446232032	0.14	LDR	R-1	R-1-6	
446232034	0.14	LDR	R-1	R-1-6	
446232035	0.14	LDR LDR	R-1	R-1-6	
£ 446232036	0.14	LDR	R-1	R-1-6	
£ 446232037	0.14	LDR	R-1	R-1-6	
£ 446232038	0.14	LDR	R-1	R-1-6	
£ 446232039	0.14	LDR	R-1	R-1-6	
446232040	0.14	LDR	R-1 R-1	R-1-6	
446232041	0.23	LDR	R-1	R-1-6	
Gut 446241001	0.18	LDR	R-1	R-1-6	
446241002	0.18	LDR	R-1	R-1-6	
446241003	0.18	LDR	R-1	R-1-6	
446241004	0.18	LDR	R-1		
446242001	0.16	LDR	R-1	R-1-6 R-1-6	
446242002	0.14	LDR	R-1	R-1-6	
446242003	0.14	LDR	R-1	R-1-6	
446242004	0.14	LDR	R-1	R-1-6	
446242005	0.32	LDR	R-1	R-1-6	
446242007	0.15	LDR	R-1	R-1-6	
446242008	0.15	LDR	R-1	R-1-6	
446242009	0.15	LDR	R-1	R-1-6	
446242010	0.19	LDR	R-1	R-1-6	
446242011	0.14	LDR	R-1	R-1-6	
446242012	0.14	LDR	R-1	R-1-6	
446242013	0.14	LDR	R-1	R-1-6	
446242014	0.16	LDR	R-1	R-1-6	
446242015	0.14	LDR	R-1	R-1-6	
446242016	0.16	LDR	R-1	R-1-6	
446242017	0.15	LDR	R-1	R-1-6	
446242018	0.15	LDR	R-1	R-1-6	
446242019	0.15	LDR	R-1	R-1-6	
446242020	0.15	LDR	R-1	R-1-6	
446242021	0.15	LDR	R-1	R-1-6	
446242022	0.15	LDR	R-1	R-1-6	
446242023	0.15	LDR	R-1	R-1-6	
446242024	0.15	LDR	R-1	R-1-6	
446242026	0.14	LDR	R-1	R-1-6	
446242027	0.14	LDR	R-1	R-1-6	
446242028	0.14	LDR	R-1	R-1-6	
446242029	0.14	LDR	R-1	R-1-6	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
Out 446253017	0.21	LDR	R-1	R-1-6
446253018	0.15	LDR	R-1	R-1-6
446253019	0.15	LDR	R-1	R-1-6
446253020	0.15	LDR	R-1	R-1-6
446253021	0.15	LDR	R-1	R-1-6
446253022	0.15	LDR	R-1	R-1-6
446253023	0.16	LDR	R-1	R-1-6
446253024	0.16	LDR	R-1	R-1-6
446253025	0.17	LDR	R-1	R-1-6
£ 446271001	0.15	LDR	R-1	R-1-6
446271002	0.13	LDR	R-1	R-1-6
£ 446271003	0.14	LDR	R-1	R-1-6
£ 446271004	0.14	LDR	R-1	R-1-6
<u>£</u> 446271005	0.15	LDR	R-1	R-1-6
<u>£</u> 446271006	0.16	LDR	R-1	R-1-6
446271007	0.16	LDR	R-1	R-1-6
446271008	0.16	LDR	R-1	R-1-6
446272001	0.14	LDR	R-1	R-1-6
£ 446272002	0.15	LDR	R-1	R-1-6
446272003	0.18	LDR	R-1	R-1-6
446272004	0.18	LDR	R-1	R-1-6
446272005	0.17	LDR	R-1	R-1-6
446272006	0.16	LDR	R-1	R-1-6
446272007	0.16	LDR	R-1	R-1-6
446272008	0.15	LDR	R-1	R-1-6
446272011	0.18	LDR	R-1	R-1-6
446272012	0.14	LDR	R-1	R-1-6
446272013	0.23	LDR	R-1	R-1-6
£ 446272014 £ 446272015	0.11	LDR	R-1	R-1-6
446272013	0.22	LDR LDR	R-1	R-1-6
446311001	0.14	LDR	R-1 R-1	R-1-6
446311002	0.14	LDR	R-1	R-1-6
446311003	0.14	LDR	R-1	R-1-6 R-1-6
446311005	0.14	LDR	R-1	R-1-6
446311006	0.14	LDR	R-1	R-1-6
446311007	0.13	LDR	R-1	R-1-6
446311008	0.14	LDR	R-1	R-1-6
446311009	0.14	LDR	R-1	R-1-6
446311010	0.14	LDR	R-1	R-1-6
446311011	0.20	LDR	R-1	R-1-6
446311012	0.17	LDR	R-1	R-1-6
446311013	0.13	LDR	R-1	R-1-6
446311014	0.13	LDR	R-1	R-1-6
446311015	0.21	LDR	R-1	R-1-6

			GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
Ô.	447332004	0.14	LDR	R-1	R-1-6
	447332005	0.14	LDR	R-1	R-1-6
П	447332006	0.14	LDR	R-1	R-1-6
П	447332007	0.13	LDR	R-1	R-1-6
П	447332008	0.14	LDR	R-1	R-1-6
П	447332009	0.14	LDR	R-1	R-1-6
П	447332010	0.14	LDR	R-1	R-1-6
	447332011	0.14	LDR	R-1	R-1-6
	447332012	0.14	LDR	R-1	R-1-6
\square	447333001	0.15	LDR	R-1	R-1-6
	447333002	0.14	LDR	R-1	R-1-6
Ш	447333003	0.15	LDR	R-1	R-1-6
Ш	447334001	0.16	LDR	R-1	R-1-6
Ц	447334002	0.16	LDR	R-1	R-1-6
\sqcup	447334003	0.16	LDR	R-1	R-1-6
\coprod	447335001	0.15	LDR	R-1	R-1-6
\sqcup	447335002	0.14	LDR	R-1	R-1-6
\sqcup	447335003	0.14	LDR	R-1	R-1-6
\sqcup	447335004	0.14	LDR	R-1	R-1-6
\sqcup	447335005	0.14	LDR	R-1	R-1-6
Н	447335006	0.15	LDR	R-1	R-1-6
Н	447335007	0.15	LDR	R-1	R-1-6
Н	447335008	0.14	LDR	R-1	R-1-6
Н	447335009	0.13	LDR	R-1	R-1-6
Н	447335010 447335011	0.15 0.11	LDR	R-1	R-1-6
\vdash	447335011	0.11	LDR LDR	R-1 R-1	R-1-6 R-1-6
	447335012	0.12	LDR	R-1	R-1-6
\vdash	447335014	0.12	LDR	R-1	R-1-6
\vdash	447335015	0.12	LDR	R-1	R-1-6
\vdash	447335016	0.12	LDR	R-1	R-1-6
Н	447335017	0.12	LDR	R-1	R-1-6
H	447335018	0.13	LDR	R-1	R-1-6
	447335019	0.16	LDR	R-1	R-1-6
	447335020	0.16	LDR	R-1	R-1-6
	447335021	0.15	LDR	R-1	R-1-6
	447335022	0.14	LDR	R-1	R-1-6
	447335023	0.13	LDR	R-1	R-1-6
	447335024	0.14	LDR	R-1	R-1-6
	447335025	0.14	LDR	R-1	R-1-6
	447335026	0.14	LDR	R-1	R-1-6
	447335027	0.14	LDR	R-1	R-1-6
	447335028	0.15	LDR	R-1	R-1-6
Ц	448300001	0.15	LDR	R-1	R-1-6
	448300002	0.14	LDR	R-1	R-1-6

	Farceis Not Requiring a General Flair Amendment				
	APN	ACRES	GP	CURRENT	PROPOSED
1	449200003	0.14	DESIGNATION	ZONING	ZONING
B	448300003	0.14	LDR	R-1	R-1-6
K	448300004	0.14	LDR	R-1	R-1-6
1	448300005	0.14	LDR	R-1	R-1-6
12	448300006	0.14	LDR	R-1	R-1-6
1	448300007	0.14	LDR	R-1	R-1-6
D	448300008	0.14	LDR	R-1	R-1-6
P	448300009	0.14	LDR	R-1	R-1-6
1	448300010	0.14	LDR	R-1	R-1-6
I K	448300011	0.13	LDR	R-1	R-1-6
+ K	448300012	0.14	LDR	R-1	R-1-6
12	448300013	0.14	LDR	R-1	R-1-6
12	448300014	0.15	LDR	R-1	R-1-6
P	448300015	0.15	LDR	R-1	R-1-6
1	448300016	0.14	LDR	R-1	R-1-6
1	448300017	0.13	LDR	R-1	R-1-6
$\downarrow 0$	448300018	0.14	LDR	R-1	R-1-6
	448300019	0.14	LDR	R-1	R-1-6
	448300020	0.14	LDR	R-1	R-1-6
	448300021	0.14	LDR	R-1	R-1-6
14	448300022	0.14	LDR	R-1	R-1-6
	448300023	0.14	LDR	R-1	R-1-6
D	448300024	0.13	LDR	R-1	R-1-6
1	448300025	0.14	LDR	R-1	R-1-6
$\perp 2$	448300026	0.14	LDR	R-1	R-1-6
D	448300027	0.14	LDR	R-1	R-1-6
\square	448300028	0.14	LDR	R-1	R-1-6
P	448300029	0.14	LDR	R-1	R-1-6
D	448300030	0.14	LDR	R-1	R-1-6
1	448300031	0.14	LDR	R-1	R-1-6
	448300032	0.16	LDR	R-1	R-1-6
	448301001	0.15	LDR	R-1	R-1-6
LR.	448301002	0.14	LDR	R-1	R-1-6
LV.	448301003	0.14	LDR	R-1	R-1-6
L	448301004	0.14	LDR	R-1	R-1-6
₽	448301005	0.14	LDR	R-1	R-1-6
$\perp \nu$	448301006	0.14	LDR	R-1	R-1-6
H	448301007	0.14	LDR	R-1	R-1-6
⊢ R	448301008	0.14	LDR	R-1	R-1-6
H	448301009	0.14	LDR	R-1	R-1-6
1 1	448301010	0.14	LDR	R-1	R-1-6
R	448301011	0.14	LDR	R-1	R-1-6
H	448301012	0.14	LDR	R-1	R-1-6
L	448301013	0.14	LDR	R-1	R-1-6
⊢R	448301014	0.16	LDR	R-1	R-1-6
$\perp \nu$	448301015	0.15	LDR	R-1	R-1-6

GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	CURRENT	PROPOSED
D 448301016	0.14	LDR	ZONING	ZONING
0 448301017		LDR	R-1	R-1-6
1 448301018	0.14	LDR	R-1	R-1-6
7 448301019	0.14	LDR	R-1	R-1-6
448301020		LDR	R-1	R-1-6
448301021	0.14	LDR	R-1 R-1	R-1-6
D 448301022	0.14	LDR	R-1	R-1-6
448301023	0.14	LDR	R-1	R-1-6 R-1-6
2 448301024	0.14	LDR	R-1	R-1-6
D 448301025	0.14	LDR	R-1	R-1-6
448301026	0.14	LDR	R-1	R-1-6
7 448301027	0.14	LDR	R-1	R-1-6
448301028	0.14	LDR	R-1	R-1-6
7 448301029	0.14	LDR	R-1	R-1-6
7 448301030	0.14	LDR	R-1	R-1-6
448301031	0.14	LDR	R-1	R-1-6
D 448301032	0.15	LDR	R-1	R-1-6
D 448302001	0.15	LDR	R-1	R-1-6
448302002	0.14	LDR	R-1	R-1-6
448302003	0.14	LDR	R-1	R-1-6
448302004	0.14	LDR	R-1	R-1-6
448302005	0.14	LDR	R-1	R-1-6
448302006	0.14	LDR	R-1	R-1-6
7 448302007	0.15	LDR	R-1	R-1-6
448302008	0.18	LDR	R-1	R-1-6
448302009	0.51	LDR	R-1	R-1-6
448302010	0.19	LDR	R-1	R-1-6
V 448302011	0.19	LDR	R-1	R-1-6
448302012	0.19	LDR	R-1	R-1-6
2 448302013	0.19	LDR	R-1	R-1-6
D 448302014	0.19	LDR	R-1	R-1-6
1 448302015	0.19	LDR	R-1	R-1-6
448302016	0.19	LDR	R-1	R-1-6
) 448303001) 448303002	0.27	LDR	R-1	R-1-6
448303002	0.14	LDR	R-1	R-1-6
448303003	0.14	LDR	R-1	R-1-6
U 448303004	0.14	LDR	R-1	R-1-6
D 448303005	0.14	LDR LDR	R-1	R-1-6
D 448303007	0.14	LDR	R-1 R-1	R-1-6
448303007	0.13	LDR	R-1	R-1-6 R-1-6
1 448303009	0.14	LDR	R-1	R-1-6
D 448304001	0.15	LDR	R-1	R-1-6
D 448304002	0.16	LDR	R-1	R-1-6
D 448304003	0.15	LDR	R-1	R-1-6
	0.13	-DI	1.7.T	V-T-0

	Tarces Not Requiring a General Flan Americanent				
APN	ACRES	GP	CURRENT	PROPOSED	
D 449204004	0.16	DESIGNATION	ZONING	ZONING	
448304004	0.16	LDR	R-1	R-1-6	
448304005	-	LDR	R-1	R-1-6	
1 448304006	0.15	LDR	R-1	R-1-6	
448304007	0.16	LDR	R-1	R-1-6	
451021013		LDR	R-1	R-1-6	
451021014	0.14	LDR	R-1	R-1-6	
451021015	0.14	LDR	R-1	R-1-6	
451021016		LDR	R-1	R-1-6	
451021017	0.14	LDR	R-1	R-1-6	
451021019	$\overline{}$	LDR	R-1	R-1-6	
£ 451021020	-	LDR	R-1	R-1-6	
2 451021021	0.14	LDR	R-1	R-1-6	
451021022	0.14	LDR	R-1	R-1-6	
E 451021023	0.14	LDR	R-1	R-1-6	
6 451021024	0.14	LDR	R-1	R-1-6	
451021025	0.14	LDR	R-1	R-1-6	
451021026	0.16	LDR	R-1	R-1-6	
451021027	0.14	LDR	R-1	R-1-6	
E 451021028	0.14	LDR	R-1	R-1-6	
451021029	0.14	LDR	R-1	R-1-6	
E 451021030	0.14	LDR	R-1	R-1-6	
E 451021031	0.14	LDR	R-1	R-1-6	
£ 451021032	0.14	LDR	R-1	R-1-6	
E 451021033	0.14	LDR	R-1	R-1-6	
£ 451021046	0.14	LDR	R-1	R-1-6	
£ 451022001	0.16	LDR	R-1	R-1-6	
6 451022002	0.14	LDR	R-1	R-1-6	
E 451022003	0.14	LDR	R-1	R-1-6	
£ 451022004	0.13	LDR	R-1	R-1-6	
451022005	0.13	LDR	R-1	R-1-6	
£ 451022006	0.13	LDR	R-1	R-1-6	
451022007	0.13	LDR	R-1	R-1-6	
£ 451022008	0.14	LDR	R-1	R-1-6	
£ 451022009	0.16	LDR	R-1	R-1-6	
E 451022010	0.15	LDR	R-1	R-1-6	
£ 451022011	0.15	LDR	R-1	R-1-6	
<u>\$\begin{align*} \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \</u>	0.15	LDR	R-1	R-1-6	
451022013	0.14	LDR	R-1	R-1-6	
<i>E</i> 451022014	0.14	LDR	R-1	R-1-6	
E 451022015	0.14	LDR	R-1	R-1-6	
451022016	0.16	LDR	R-1	R-1-6	
£ 451023001	0.14	LDR	R-1	R-1-6	
451023002	0.13	LDR	R-1	R-1-6	
451023003	0.13	LDR	R-1	R-1-6	
451023004	0.13	LDR	R-1	R-1-6	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
451023005	0.13			
_		LDR	R-1	R-1-6
451023006		LDR	R-1	R-1-6
451023007	0.13	LDR	R-1	R-1-6
451023008	0.14	LDR	R-1	R-1-6
451023009	0.14	LDR	R-1	R-1-6
451023010	0.13	LDR	R-1	R-1-6
451023011	0.13	LDR	R-1	R-1-6
451023012	0.13	LDR	R-1	R-1-6
451023013	0.13	LDR	R-1	R-1-6
£ 451023014	0.12	LDR	R-1	R-1-6
£ 451023015	0.12	LDR	R-1	R-1-6
451023016	0.13	LDR	R-1	R-1-6
451024001	0.15	LDR	R-1	R-1-6
<u>5</u> 451024002	0.13	LDR	R-1	R-1-6
451024003	0.13	LDR	R-1	R-1-6
451024004	0.13	LDR	R-1	R-1-6
451024005	0.13	LDR	R-1	R-1-6
451024006	0.13	LDR	R-1	R-1-6
251024007	0.13	LDR	R-1	R-1-6
6 451024008	0.14	LDR	R-1	R-1-6
£ 451024009	0.16	LDR	R-1	R-1-6
E 451024010	0.15	LDR	R-1	R-1-6
<u>E</u> 451024011	0.15	LDR	R-1	R-1-6
£ 451024012	0.15	LDR	R-1	R-1-6
£ 451024013	0.14	LDR	R-1	R-1-6
451024014	0.14	LDR	R-1	R-1-6
451024015	0.14	LDR	R-1	R-1-6
<i>E</i> 451024016	0.16	LDR	R-1	R-1-6
<u>\$</u> 451031024	0.10		R-1	R-1-6
£ 451031025	0.13	LDR	R-1	R-1-6
<u>€</u> 451031026		LDR	R-1	R-1-6
<u>F</u> 451031027	0.14	LDR	R-1	R-1-6
<u>£</u> 451031028	0.14	LDR	R-1	R-1-6
£ 451031029	0.14	LDR	R-1	R-1-6
<u>\$</u> 451031030	0.14	LDR	R-1	R-1-6
<u>£</u> 451031031	0.14	LDR	R-1	R-1-6
<u>5</u> 451031032	0.14	LDR	R-1	R-1-6
451031033	0.14	LDR	R-1	R-1-6
5 451031034	0.14	LDR	R-1	R-1-6
451031035		LDR	R-1	R-1-6
E 451031036		LDR	R-1	R-1-6
451031037	0.14	LDR	R-1	R-1-6
451031038		LDR	R-1	R-1-6
451031039		LDR	R-1	R-1-6
451031040	0.18	LDR	R-1	R-1-6

			GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
E	451031041	0.17	LDR	R-1	R-1-6
E	451031042	0.12	LDR	R-1	R-1-6
E	451031043	0.12	LDR	R-1	R-1-6
E	451031044	0.12	LDR	R-1	R-1-6
E	451031045	0.12	LDR	R-1	R-1-6
E	451031046	0.12	LDR	R-1	R-1-6
F	451031047	0.12	LDR	R-1	R-1-6
F	451031048	0.12	LDR	R-1	R-1-6
E	451031049	0.13	LDR	R-1	R-1-6
E	451032001	0.13	LDR	R-1	R-1-6
E	451032002	0.14	LDR	R-1	R-1-6
E	451032003	0.14	LDR	R-1	R-1-6
E	451032004	0.14	LDR	R-1	R-1-6
2	451032005	0.14	LDR	R-1	R-1-6
E	451032006	0.14	LDR	R-1	R-1-6
E	451032007	0.14	LDR	R-1	R-1-6
E	451032008	0.15	LDR	R-1	R-1-6
E	451032009	0.15	LDR	R-1	R-1-6
E	451032010	0.14	LDR	R-1	R-1-6
2	451032011	0.14	LDR	R-1	R-1-6
E	451032012	0.14	LDR	R-1	R-1-6
E	451032013	0.14	LDR	R-1	R-1-6
E	451032014	0.14	LDR	R-1	R-1-6
E	451032015	0.14	LDR	R-1	R-1-6
E	451032016	0.14	LDR	R-1	R-1-6
<u> </u>	451033001	0.12	LDR	R-1	R-1-6
15	451033002	0.13	LDR	R-1	R-1-6
1	451033003	0.13	LDR	R-1	R-1-6
<u> </u>	451033004	0.13	LDR	R-1	R-1-6
E	451033005	0.13	LDR	R-1	R-1-6
-	451033006	0.13	LDR	R-1	R-1-6
	451033007	0.13	LDR	R-1	R-1-6
-	451033008	0.13	LDR	R-1	R-1-6
E	451033009	0.13	LDR	R-1	R-1-6
	451033010 451033011	0.12	LDR	R-1	R-1-6
E	451033011	0.12 0.12	LDR	R-1 R-1	R-1-6
E	451033012	0.12	LDR LDR	R-1	R-1-6
	451033013	0.12	LDR	R-1	R-1-6 R-1-6
	451033014	0.12	LDR	R-1	R-1-6
2	451033015	0.12	LDR	R-1	R-1-6
E	451034001	0.12	LDR	R-1	R-1-6
F	451034002	0.14	LDR	R-1	R-1-6
E	451034003	0.14	LDR	R-1	R-1-6
E	451034004	0.14	LDR	R-1	R-1-6
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CD CURPLET PROPERTY				
APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED
£ 451034005	0.14	LDR	ZONING R-1	ZONING
451034006	0.14	LDR		R-1-6
451034007	0.14	LDR	R-1 R-1	R-1-6
£ 451034008	0.14	LDR	R-1	R-1-6
£ 451034008	0.14			R-1-6
451034010	0.15	LDR LDR	R-1 R-1	R-1-6
£ 451034011	0.15	LDR	R-1	R-1-6
£ 451034011	0.15	LDR	R-1	R-1-6 R-1-6
£ 451034013	0.15	LDR	R-1	R-1-6
£ 451034014	0.15	LDR	R-1	R-1-6
## 451034015 ## 451034015	0.15	LDR	R-1	R-1-6
£ 451034016	0.14	LDR	R-1	R-1-6
F 451035001	0.13	LDR	R-1	R-1-6
£ 451035001	0.14	LDR	R-1	R-1-6
£ 451035002	0.14	LDR	R-1	R-1-6
2 451035004	0.14	LDR	R-1	R-1-6
451035005	0.14	LDR	R-1	R-1-6
£ 451035006	0.14	LDR	R-1	R-1-6
£ 451035007	0.14	LDR	R-1	R-1-6
451035008	0.14	LDR	R-1	R-1-6
£ 451035009	0.16	LDR	R-1	R-1-6
£ 451035010	0.16	LDR	R-1	R-1-6
F 451035011	0.16	LDR	R-1	R-1-6
£ 451035012	0.16	LDR	R-1	R-1-6
£ 451035013	0.16	LDR	R-1	R-1-6
2 451035014	0.16	LDR	R-1	R-1-6
£ 451035015	0.16	LDR	R-1	R-1-6
451035016	0.14	LDR	R-1	R-1-6
<u>6</u> 451041010	9.18	LDR	R-1	R-1-6
451050004	8.54	LDR	R-1	R-1-6
<i>E</i> 451061002	0.16	LDR	R-1	R-1-6
<i>E</i> 451061003	0.14	LDR	R-1	R-1-6
<u>\$</u> 451061004	0.14	LDR	R-1	R-1-6
£ 451061005	0.14	LDR	R-1	R-1-6
451061006	0.14	LDR	R-1	R-1-6
2 451061007	0.14	LDR	R-1	R-1-6
¥ 451061008	0.14	LDR	R-1	R-1-6
£ 451061009	0.14	LDR	R-1	R-1-6
451061010	0.16	LDR	R-1	R-1-6
451061011	0.16	LDR	R-1	R-1-6
5 451061012	0.15	LDR	R-1	R-1-6
451061013	0.15	LDR	R-1	R-1-6
451061014	0.15	LDR	R-1	R-1-6
451061015	0.15	LDR	R-1	R-1-6
451061016	0.15	LDR	R-1	R-1-6

	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	ZONING	ZONING	
<i>E</i> 451061017	0.13	LDR	R-1	R-1-6	
E 451061018	0.28	LDR	R-1	R-1-6	
£ 451061019	0.21	LDR	R-1	R-1-6	
451061020	0.28	LDR	R-1	R-1-6	
£ 451061021	0.12	LDR	R-1	R-1-6	
451061022	0.15	LDR	R-1	R-1-6	
6 451061023	0.15	LDR	R-1	R-1-6	
£ 451061024	0.15	LDR	R-1	R-1-6	
451061025	0.15	LDR	R-1	R-1-6	
E 451061026	0.15	LDR	R-1	R-1-6	
451061027	0.17	LDR	R-1	R-1-6	
F 451061028	0.15	LDR	R-1	R-1-6	
P 451061029	0.14	LDR	R-1	R-1-6	
£ 451061030	0.14	LDR	R-1	R-1-6	
<i>E</i> 451061031	0.14	LDR	R-1	R-1-6	
<i>E</i> 451061032	0.14	LDR	R-1	R-1-6	
451061033	0.14	LDR	R-1	R-1-6	
? 451061034	0.14	LDR	R-1	R-1-6	
451061035	0.16	LDR	R-1	R-1-6	
451061036	0.15	LDR	R-1	R-1-6	
451062002	0.15	LDR	R-1	R-1-6	
2 451062003	0.17	LDR	R-1	R-1-6	
§ 451062004	0.15	LDR	R-1	R-1-6	
£ 451062005	0.15	LDR	R-1	R-1-6	
451062006	0.15	LDR	R-1	R-1-6	
£ 451062007	0.15	LDR	R-1	R-1-6	
451062008	0.15	LDR	R-1	R-1-6	
£ 451062009	0.15	LDR	R-1	R-1-6	
451062010	0.16	LDR	R-1	R-1-6	
£ 451062011	0.14	LDR	R-1	R-1-6	
<u>£</u> 451062012	0.14	LDR	R-1	R-1-6	
£ 451062013	0.14	LDR	R-1	R-1-6	
E 451062014	0.14	LDR	R-1	R-1-6	
£ 451062015	0.14	LDR	R-1	R-1-6	
₹ 451062016	0.14	LDR	R-1	R-1-6	
5 451062017	0.14	LDR	R-1	R-1-6	
451071001	0.17	LDR	R-1	R-1-6	
<u>\$ 451071002</u>	0.15	LDR	R-1	R-1-6	
E 451071003	0.15	LDR	R-1	R-1-6	
<u>\$</u> 451071004	0.14	LDR	R-1	R-1-6	
<u>E</u> 451071005	0.14	LDR	R-1	R-1-6	
E 451071006	0.14	LDR	R-1	R-1-6	
451071007	0.15	LDR	R-1	R-1-6	
<u>§</u> 451071008	0.14	LDR	R-1	R-1-6	
5 451071009	0.14	LDR	R-1	R-1-6	

	GP CURRENT PROPOSED			
APN	ACRES	DESIGNATION	CURRENT ZONING	PROPOSED ZONING
<i>E</i> 451071010	0.15	LDR	R-1	R-1-6
451071013	0.14	LDR	R-1	R-1-6
451071012	0.14	LDR	R-1	R-1-6
451071013	0.15	LDR	R-1	R-1-6
A51071015	0.15	LDR	R-1	R-1-6
E 451071016	0.14	LDR	R-1	R-1-6
2 451071017	0.14	LDR	R-1	R-1-6
E 451071018	0.14	LDR	R-1	R-1-6
# 451071019	0.14	LDR	R-1	R-1-6
451071020	0.14	LDR	R-1	R-1-6
£ 451071021	0.15	LDR	R-1	R-1-6
£ 451071022	0.15	LDR	R-1	R-1-6
451071023	0.15	LDR	R-1	R-1-6
5 451071024	0.15	LDR	R-1	R-1-6
451071025	0.15	LDR	R-1	R-1-6
\$ 451071026	0.15	LDR	R-1	R-1-6
451071027	0.17	LDR	R-1	R-1-6
£ 451072001	0.17	LDR	R-1	R-1-6
\$\begin{align*} \begin{align*} \ 451072002 \end{align*}	0.16	LDR	R-1	R-1-6
£ 451072003	0.15	LDR	R-1	R-1-6
2 451072004	0.17	LDR	R-1	R-1-6
5 451072005	0.16	LDR	R-1	R-1-6
E 451072006	0.27	LDR	R-1	R-1-6
451072007	0.21	LDR	R-1	R-1-6
E 451072008	0.16	LDR	R-1	R-1-6
<u></u> 451072009	0.15	LDR	R-1	R-1-6
451072010	0.15	LDR	R-1	R-1-6
<u>≰</u> 451072011	0.15	LDR	R-1	R-1-6
451072012	0.15	LDR	R-1	R-1-6
451072013	0.15	LDR	R-1	R-1-6
451072014	0.15	LDR	R-1	R-1-6
E 451072015	0.15	LDR	R-1	R-1-6
451072016	0.15	LDR	R-1	R-1-6
451072017	0.15	LDR	R-1	R-1-6
451072018	0.15	LDR	R-1	R-1-6
E 451072019	0.15	LDR	R-1	R-1-6
£ 451072020	0.15	LDR	R-1	R-1-6
£ 451072022	0.15	LDR	R-1	R-1-6
451072023	0.15	LDR	R-1	R-1-6
451072024	0.15	LDR	R-1	R-1-6
451072025	0.15	LDR	R-1	R-1-6
451072026	0.15	LDR	R-1	R-1-6
451072027	0.15	LDR	R-1	R-1-6
451072028	0.15	LDR	R-1	R-1-6
451072029	0.15	LDR	R-1	R-1-6

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	Salar Sa	Military and the same of the s
451072030	0.15		ZONING	ZONING
£ 451072030		LDR	R-1	R-1-6
	0.15	LDR	R-1	R-1-6
,010,1001	0.15	LDR	R-1	R-1-6
451072033	0.15	LDR	R-1	R-1-6
451072034	0.15	LDR	R-1	R-1-6
451072035	0.15	LDR	R-1	R-1-6
451072036	0.15	LDR	R-1	R-1-6
451072037	0.13	LDR	R-1	R-1-6
451072038	0.14	LDR	R-1	R-1-6
451072039	0.14	LDR	R-1	R-1-6
E 451072040	0.14	LDR	R-1	R-1-6
451072041	0.14	LDR	R-1	R-1-6
# 451072042	0.14	LDR	R-1	R-1-6
451072043	0.15	LDR	R-1	R-1-6
Out 451150013	18.60	LDR	R-1	R-1-6 (MHP)
451150018	0.38	LDR	R-1	R-1-6 (MHP)
451150019	22.45	LDR	R-1	R-1-6 (MHP)
443171002	0.19	LDR	R-1	R-1-7.2
₹ 443171003	0.19	LDR	R-1	R-1-7.2
<i>E</i> 443171004	0.73	LDR	R-1	R-1-7.2
£ 443171005	0.75	LDR	R-1	R-1-7.2
443171009	0.34	LDR	R-1	R-1-7.2
£ 443171010	0.19	LDR	R-1	R-1-7.2
🙎 443171014	0.73	LDR	R-1	R-1-7.2
£ 443171018	0.18	LDR	R-1	R-1-7.2
£ 443171019	0.18	LDR	R-1	R-1-7.2
443171021	0.16	LDR	⊢ R-1	R-1-7.2
443171022	0.14	LDR	R-1	R-1-7.2
<i>£</i> 443171023	0.15	LDR	R-1	R-1-7.2
£ 443171024	0.55	LDR	R-1	R-1-7.2
£ 443171025	0.15	LDR	R-1	R-1-7.2
<u>F</u> 443171026	0.20	LDR	R-1	R-1-7.2
443171027	0.17	LDR	R-1	R-1-7.2
443171029	0.14	LDR	R-1	R-1-7.2
443171030	0.15	LDR	R-1	R-1-7.2
443171031	0.18	LDR	R-1	R-1-7.2
443171032	0.19	LDR	R-1	R-1-7.2
<i>E</i> 443171033	0.21	LDR	R-1	R-1-7.2
<i>?</i> 443171034	0.19	LDR	R-1	R-1-7.2
£ 443171035	0.16	LDR	R-1	R-1-7.2
£ 443171036	0.18	LDR	R-1	R-1-7.2
£ 443171037	0.37	LDR	R-1	R-1-7.2
<u>F</u> 443171039	0.15	LDR	R-1	R-1-7.2
<u>£</u> 443171040	0.15	LDR	R-1	R-1-7.2
<u>\$ 443171041</u>	0.17	LDR	R-1	R-1-7.2

	CD CURPENT PROPOSED				
APN	ACRES	GP DESIGNATION	ZONING	PROPOSED ZONING	
443171042	0.17	LDR	R-1	R-1-7.2	
443171043	0.19	LDR	R-1	R-1-7.2	
443171044	0.21	LDR	R-1	R-1-7.2	
£ 444030013	4.66	LDR	R-1	R-1-7.2	
£ 444030014	1.26	LDR	R-1	R-1-7.2	
£ 444030015	1.26	LDR	R-1	R-1-7.2	
444030016	4.98	LDR	R-1	R-1-7.2	
£ 444030018	5.03	LDR	R-1	R-1-7.2	
444040001	0.17	LDR	R-1	R-1-7.2	
£ 444040002	0.17	LDR	R-1	R-1-7.2	
£ 444040003	0.17	LDR	R-1	R-1-7.2	
£ 444040004	0.16	LDR	R-1	R-1-7.2	
6 444040005	0.24	LDR	R-1	R-1-7.2	
444040006	0.25	LDR	R-1	R-1-7.2	
E 444040007	0.18	LDR	R-1	R-1-7.2	
£ 444040008	0.18	LDR	R-1	R-1-7.2	
£ 444040009	0.18	LDR	R-1	R-1-7.2	
E 444040010	0.18	LDR	R-1	R-1-7.2	
~ 444040011	0.18	LDR	R-1	R-1-7.2	
£ 444040012	0.18	LDR	R-1	R-1-7.2	
C 444040013	0.18	LDR	R-1	R-1-7.2	
<i>2</i> 444041001	0.20	LDR	R-1	R-1-7.2	
£ 444041002	0.20	LDR	R-1	R-1-7.2	
£ 444041003	0.27	LDR	R-1	R-1-7.2	
444041004	0.22	LDR	R-1	R-1-7.2	
£ 444041005	0.29	LDR	R-1	R-1-7.2	
£ 444041006	0.31	LDR	R-1	R-1-7.2	
2 444041007	0.32	LDR	R-1	R-1-7.2	
<u>6</u> 444041008	0.32	LDR	R-1	R-1-7.2	
£ 444041009	0.24	LDR	R-1	R-1-7.2	
444041010	0.25	LDR	R-1	R-1-7.2	
£ 444042001	0.17	LDR	R-1	R-1-7.2	
444042002	0.17	LDR	R-1	R-1-7.2	
444042003	0.17	LDR	R-1	R-1-7.2	
444042004	0.17	LDR	R-1	R-1-7.2	
444042005	0.17	LDR	R-1	R-1-7.2	
444042006	0.17	LDR	R-1	R-1-7.2	
444042007	0.17	LDR	R-1	R-1-7.2	
£ 444042008	0.17	LDR	R-1	R-1-7.2	
5 444042009 5 444042010	0.17	LDR	R-1	R-1-7.2	
	0.10	LDR	R-1	R-1-7.2	
# 444050001 # 444050002	0.17 0.17	LDR	R-1	R-1-7.2	
£ 444050003	0.17	LDR	R-1	R-1-7.2	
£ 444050004	0.17	LDR	R-1	R-1-7.2	
444050004	0.17	LDR	R-1	R-1-7.2	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	A STATE OF THE STA
£ 444050005	0.18			ZONING
		LDR	R-1	R-1-7.2
	0.18	LDR	R-1	R-1-7.2
71.1000007	0.26	LDR	R-1	R-1-7.2
444050008	0.17	LDR	R-1	R-1-7.2
444050009	0.17	LDR	R-1	R-1-7.2
444050010	0.17	LDR	R-1	R-1-7.2
444050011	0.16	LDR	R-1	R-1-7.2
<u>E</u> 444050012	0.17	LDR	R-1	R-1-7.2
£ 444050013	0.16	LDR	R-1	R-1-7.2
444050014	0.17	LDR	R-1	R-1-7.2
£ 444050015	0.16	LDR	R-1	R-1-7.2
444050016	0.17	LDR	R-1	R-1-7.2
£ 444050017	0.17	LDR	R-1	R-1-7.2
<u>E</u> 444050018	0.17	LDR	R-1	R-1-7.2
£ 444050019	0.17	LDR	R-1	R-1-7.2
<u>2</u> 444050020	0.16	LDR	R-1	R-1-7.2
<u>£</u> 444050021	0.01	LDR	R-1	R-1-7.2
E 444050022	0.14	LDR	R-1	R-1-7.2
£ 444051001	0.21	LDR	R-1	R-1-7.2
<i>E</i> 444051002	0.21	LDR	R-1	R-1-7.2
444051003	0.21	LDR	R-1	R-1-7.2
<i>E</i> 444051004	0.21	LDR	R-1	R-1-7.2
2 444051005	0.25	LDR	R-1	R-1-7.2
<u></u> 444051006	0.21	LDR	R-1	R-1-7.2
444051007	0.26	LDR	R-1	R-1-7.2
<i>2</i> 444051008	0.28	LDR	R-1	R-1-7.2
<u>E</u> 444051009	0.32	LDR	R-1	R-1-7.2
<i>E</i> 444051010	0.30	LDR	R-1	R-1-7.2
£ 444051011	0.24	LDR	R-1	R-1-7.2
5 444051012	0.25	LDR	R-1	R-1-7.2
<u>-</u> 444051013	0.23	LDR	R-1	R-1-7.2
£ 444051014	0.17	LDR	R-1	R-1-7.2
444051015	0.16	LDR	R-1	R-1-7.2
E 444051018	0.19	LDR	R-1	R-1-7.2
£ 444051019	0.17	LDR	R-1	R-1-7.2
<u>₹</u> 444051020	0.16	LDR	R-1	R-1-7.2
£ 444051021	0.16	LDR	R-1	R-1-7.2
5 444051022	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444051023	0.17	LDR	R-1	R-1-7.2
£ 444051027	0.18	LDR	R-1	R-1-7.2
<u>₹</u> 444051028	0.17	LDR	R-1	R-1-7.2
£ 444051029	0.10	LDR	R-1	R-1-7.2
5 444051030	0.18	LDR	R-1	R-1-7.2
<u> </u>	0.25	LDR	R-1	R-1-7.2
£ 444051032	0.17	LDR	R-1	R-1-7.2

		CUDDENT	DRODOCED	
APN	ACRES	GP DESIGNATION	ZONING	PROPOSED
F 444051033	0.17	LDR	R-1	R-1-7.2
B 444051034	0.17	LDR	R-1	R-1-7.2
£ 444052001	0.17	LDR	R-1	R-1-7.2
£ 444052002	0.17	LDR	R-1	R-1-7.2
£ 444052002 £ 444052003	0.17	LDR		
444052004	0.17	LDR	R-1 R-1	R-1-7.2 R-1-7.2
444052005	0.17	LDR	R-1	R-1-7.2
£ 444052006	0.22	LDR	R-1	R-1-7.2
£ 444052007	0.22	LDR	R-1	R-1-7.2
£ 444060001	0.16	LDR	R-1	R-1-7.2
£ 444060002	0.16	LDR	R-1	R-1-7.2
£ 444060003	0.17	LDR	R-1	R-1-7.2
F 444060004	0.17	LDR	R-1	R-1-7.2
£ 444060005	0.23	LDR	R-1	R-1-7.2
E 444060006	0.16	LDR	R-1	R-1-7.2
£ 444060007	0.17	LDR	R-1	R-1-7.2
£ 444060008	0.16	LDR	R-1	R-1-7.2
444060009	0.16	LDR	R-1	R-1-7.2
£ 444060010	0.17	LDR	R-1	R-1-7.2
£ 444060011	0.17	LDR	R-1	R-1-7.2
£ 444060012	0.20	LDR	R-1	R-1-7.2
E 444061001	0.16	LDR	R-1	R-1-7.2
F 444061002	0.16	LDR	R-1	R-1-7.2
E 444061003	0.16	LDR	R-1	R-1-7.2
F 444061004	0.16	LDR	R-1	R-1-7.2
P 444061005	0.16	LDR	R-1	R-1-7.2
444061006	0.16	LDR	R-1	R-1-7.2
2 444061007	0.17	LDR	R-1	R-1-7.2
£ 444061008	0.16	LDR	R-1	R-1-7.2
£ 444061009	0.17	LDR	R-1	R-1-7.2
? 444061010	0.17	LDR	R-1	R-1-7.2
<u>F</u> 444061011	0.17	LDR	R-1	R-1-7.2
£ 444061012	0.17	LDR	R-1	R-1-7.2
<u>\$\begin{align*} \text{444061013} \text{444061013} </u>	0.17	LDR	R-1	R-1-7.2
£ 444061014	0.17	LDR	R-1	R-1-7.2
E 444061015	0.16	LDR	R-1	R-1-7.2
£ 444061016	0.10	LDR	R-1	R-1-7.2
444062001	0.16	LDR	R-1	R-1-7.2
£ 444062002	0.16	LDR	R-1	R-1-7.2
<u>F</u> 444063001	0.18	LDR	R-1	R-1-7.2
444063002	0.17	LDR	R-1	R-1-7.2
444063003	0.17	LDR	R-1	R-1-7.2
<u>£</u> 444063004	0.18	LDR	R-1	R-1-7.2
444063005	0.18	LDR	R-1	R-1-7.2
444063006	0.17	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
444063007	0.01	LDR	R-1	R-1-7.2
£ 444064001	0.17	LDR	R-1	R-1-7.2
2 444064002	0.17	LDR	R-1	R-1-7.2
£ 444064003	0.17	LDR	R-1	R-1-7.2
2 444064004	0.18	LDR	R-1	R-1-7.2
444064005	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444064006	0.17	LDR	R-1	R-1-7.2
2 444064007	0.17	LDR	R-1	R-1-7.2
£ 444064008	0.17	LDR	R-1	R-1-7.2
E 444064009	0.17	LDR	R-1	R-1-7.2
444064010	0.30	LDR	R-1	R-1-7.2
£ 444064011	0.18	LDR	R-1	R-1-7.2
444064012	0.17	LDR	R-1	R-1-7.2
444064013	0.17	LDR	R-1	R-1-7.2
444064014	0.17	LDR	R-1	R-1-7.2
£ 444064015	0.20	LDR	R-1	R-1-7.2
444064016	0.30	LDR	R-1	R-1-7.2
£ 444064017	0.19	LDR	R-1	R-1-7.2
444064018	0.17	LDR	R-1	R-1-7.2
444064019	0.19	LDR	R-1	R-1-7.2
444064020	0.18	LDR	R-1	R-1-7.2
444064021	0.17	LDR	R-1	R-1-7.2
£ 444064022 £ 444064023	0.19 0.18	LDR	R-1	R-1-7.2
£ 444064024	0.18	LDR LDR	R-1 R-1	R-1-7.2 R-1-7.2
£ 444064025	0.17	LDR	R-1	R-1-7.2
£ 444064026	0.17	LDR	R-1	R-1-7.2
£ 444064027	0.19	LDR	R-1	R-1-7.2
£ 444064028	0.17	LDR	R-1	R-1-7.2
£ 444064029	0.17	LDR	R-1	R-1-7.2
£ 444064030	0.16	LDR	R-1	R-1-7.2
<u>F</u> 444064031	0.17	LDR	R-1	R-1-7.2
E 444064032	0.16	LDR	R-1	R-1-7.2
£ 444064033	0.17	LDR	R-1	R-1-7.2
444064034	0.17	LDR	R-1	R-1-7.2
<u>£</u> 444064035	0.08	LDR	R-1	R-1-7.2
£ 444064036	0.31	LDR	R-1	R-1-7.2
<u>E</u> 444064037	0.05	LDR	R-1	R-1-7.2
444064038	0.74	LDR	R-1	R-1-7.2
444065001	0.17	LDR	R-1	R-1-7.2
444065002	0.17	LDR	R-1	R-1-7.2
444065003	0.17	LDR	R-1	R-1-7.2
444065004	0.17	LDR	R-1	R-1-7.2
444065005	0.20	LDR	R-1	R-1-7.2
444065006	0.21	LDR	R-1	R-1-7.2

-			CURRENT	
APN	ACRES	GP	CURRENT	PROPOSED
444065007	0.10	DESIGNATION	ZONING	ZONING
##44065007 ### 444065008	0.19	LDR	R-1	R-1-7.2
	0.20	LDR	R-1	R-1-7.2
444065009	0.20	LDR	R-1	R-1-7.2
£ 444065010 £ 444065011	0.19	LDR	R-1	R-1-7.2
444065011 444065012	0.19	LDR	R-1	R-1-7.2
444065013	0.20 0.20	LDR	R-1	R-1-7.2
444065014	0.20	LDR LDR	R-1	R-1-7.2
444065015	0.19	LDR	R-1 R-1	R-1-7.2
444065016	0.22	LDR	R-1	R-1-7.2
£ 444120001	0.24	LDR	R-1	R-1-7.2
£ 444120001	0.17	LDR	R-1	R-1-7.2
£ 444120003	0.18	LDR	R-1	R-1-7.2
£ 444120004	0.17	LDR	R-1	R-1-7.2 R-1-7.2
£ 444120005	0.18	LDR	R-1	R-1-7.2
£ 444120005	0.17	LDR	R-1	R-1-7.2
£ 444120007	0.23	LDR	R-1	R-1-7.2
£ 444120008	0.17	LDR	R-1	R-1-7.2
£ 444120009	0.17	LDR	R-1	R-1-7.2
£ 444120010	0.17	LDR	R-1	R-1-7.2
£ 444120011	0.17	LDR	R-1	R-1-7.2
£ 444120012	0.17	LDR	R-1	R-1-7.2
£ 444120013	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444120014	0.17	LDR	R-1	R-1-7.2
£ 444120015	0.17	LDR	R-1	R-1-7.2
£ 444120016	0.17	LDR	R-1	R-1-7.2
/ 444120017	0.17	LDR	R-1	R-1-7.2
E 444120018	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444120019	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444120020	0.17	LDR	R-1	R-1-7.2
444120021	0.17	LDR	R-1	R-1-7.2
£ 444120022	0.17	LDR	R-1	R-1-7.2
£ 444120023	0.17	LDR	R-1	R-1-7.2
2 444120024	0.17	LDR	R-1	R-1-7.2
₹ 444121001	0.17	LDR	R-1	R-1-7.2
£ 444121002	0.16	LDR	R-1	R-1-7.2
444121003	0.19	LDR	R-1	R-1-7.2
<u>£</u> 444121004	0.18	LDR	R-1	R-1-7.2
R 444121005	0.19	LDR	R-1	R-1-7.2
<u>\$</u> 444121006	0.19	LDR	R-1	R-1-7.2
E 444121007	0.16	LDR	R-1	R-1-7.2
5 444121008	0.16	LDR	R-1	R-1-7.2
<u>=</u> 444121009	0.19	LDR	R-1	R-1-7.2
<u>E</u> 444121010	0.19	LDR	R-1	R-1-7.2
444121011	0.17	LDR	R-1	R-1-7.2

		GP	CURRENT	PPODOSED
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING
A44121012	0.16	LDR	R-1	R-1-7.2
# 444121012 # 444121013	0.18	LDR	R-1	R-1-7.2
£ 444121013	0.18	LDR	R-1	R-1-7.2
444121014	0.18	LDR	R-1	R-1-7.2
£ 444121016	0.20	LDR	R-1	R-1-7.2
444121017	0.21	LDR	R-1	R-1-7.2
<i>E</i> 444121018	0.19	LDR	R-1	R-1-7.2
£ 444121019	0.17	LDR	R-1	R-1-7.2
E 444121020	0.18	LDR	R-1	R-1-7.2
£ 444121021	0.18	LDR	R-1	R-1-7.2
£ 444121022	0.18	LDR	R-1	R-1-7.2
£ 444121023	0.20	LDR	R-1	R-1-7.2
£ 444121024	0.22	LDR	R-1	R-1-7.2
444121025	0.21	LDR	R-1	R-1-7.2
444121026	0.20	LDR	R-1	R-1-7.2
E 444121027	0.17	LDR	R-1	R-1-7.2
£ 444121028	0.18	LDR	R-1	R-1-7.2
£ 444121029	0.16	LDR	R-1	R-1-7.2
2 444121030	0.17	LDR	R-1	R-1-7.2
444121031	0.17	LDR	R-1	R-1-7.2
£ 444121032	0.16	LDR	R-1	R-1-7.2
£ 444130001	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444130002	0.18	LDR	R-1	R-1-7.2
£ 444130003	0.18	LDR	R-1	R-1-7.2
£ 444130004	0.18	LDR	R-1	R-1-7.2
444130005	0.18	LDR	R-1	R-1-7.2
£ 444130006	0.17	LDR	R-1	R-1-7.2
£ 444130007	0.17	LDR	R-1	R-1-7.2
444130008	0.26	LDR	R-1	R-1-7.2
£ 444130009	0.18	LDR	R-1	R-1-7.2
£ 444130010 £ 444130011	0.02	LDR LDR	R-1	R-1-7.2
£ 444130011 £ 444130012	0.18 0.18	LDR	R-1 R-1	R-1-7.2 R-1-7.2
£ 444130013	0.18	LDR	R-1	R-1-7.2
£ 444130014	0.18	LDR	R-1	R-1-7.2
E 444130015	0.18	LDR	R-1	R-1-7.2
£ 444130016	0.20	LDR	R-1	R-1-7.2
£ 444130017	0.20	LDR	R-1	R-1-7.2
£ 444130018	0.19	LDR	R-1	R-1-7.2
5 444130019	0.18	LDR	R-1	R-1-7.2
<u>E</u> 444130020	0.18	LDR	R-1	R-1-7.2
<u> </u>	0.18	LDR	R-1	R-1-7.2
444130022	0.20	LDR	R-1	R-1-7.2
¥ 444130023	0.28	LDR	R-1	R-1-7.2
444130024	0.20	LDR	R-1	R-1-7.2

		GP	CURRENT	DECDOSED
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING
£ 444130025	0.02	LDR	R-1	R-1-7.2
444130025 444130026	0.02	LDR	R-1	R-1-7.2
£ 444130027	0.19	LDR	R-1	R-1-7.2
444130028	0.19	LDR	R-1	R-1-7.2
444130028	0.19	LDR	R-1	R-1-7.2
£ 444130030	0.19	LDR	R-1	R-1-7.2
F 444130030	0.19	LDR	R-1	R-1-7.2
2 444130032	0.19	LDR	R-1	R-1-7.2
£ 444130033	0.63	LDR	R-1	R-1-7.2
E 444130034	1.23	LDR	R-1	R-1-7.2
E 444131001	0.19	LDR	R-1	R-1-7.2
£ 444131002	0.18	LDR	R-1	R-1-7.2
£ 444131003	0.18	LDR	R-1	R-1-7.2
£ 444131004	0.19	LDR	R-1	R-1-7.2
£ 444131005	0.18	LDR	R-1	R-1-7.2
E 444131006	0.18	LDR	R-1	R-1-7.2
<i>E</i> 444131007	0.18	LDR	R-1	R-1-7.2
F 444131008	0.19	LDR	R-1	R-1-7.2
<i>E</i> 444132001	0.19	LDR	R-1	R-1-7.2
<i>E</i> 444132002	0.18	LDR	R-1	R-1-7.2
<i>E</i> 444132003	0.18	LDR	R-1	R-1-7.2
£ 444132004	0.17	LDR	R-1	R-1-7.2
444132005	0.16	LDR	R-1	R-1-7.2
£ 444132006	0.22	LDR	R-1	R-1-7.2
<i>E</i> 444132007	0.17	LDR	R-1	R-1-7.2
444132008	0.16	LDR	R-1	R-1-7.2
<i>E</i> 444132009	0.18	LDR	R-1	R-1-7.2
444132010	0.19	LDR	R-1	R-1-7.2
444132011	0.20	LDR	R-1	R-1-7.2
<u>₹</u> 444132012	0.19	LDR	R-1	R-1-7.2
£ 444132013	0.18	LDR	R-1	R-1-7.2
<u>F</u> 444132014	0.19	LDR	R-1	R-1-7.2
£ 444132015	0.19	LDR	R-1	R-1-7.2
444132016	0.20	LDR	R-1	R-1-7.2
444132017	0.20	LDR	R-1	R-1-7.2
444132018	0.21	LDR	R-1	R-1-7.2
£ 444132019	0.17	LDR	R-1	R-1-7.2
<u>E</u> 444132020	0.18	LDR	R-1	R-1-7.2
444132021	0.18	LDR	R-1	R-1-7.2
444132022	0.18	LDR	R-1	R-1-7.2
444133001	0.21	LDR	R-1	R-1-7.2
444133002	0.18	LDR	R-1	R-1-7.2
444133003	0.18	LDR	R-1	R-1-7.2
444133004	0.18	LDR	R-1	R-1-7.2
444133005	0.18	LDR	R-1	R-1-7.2

	GP CURRENT PROPOSED					
APN	ACRES	DESIGNATION	ZONING	PROPOSED		
444133006	0.19	LDR	R-1	ZONING R-1-7.2		
£ 444133007	0.19	LDR	R-1	R-1-7.2		
444133007	0.19	LDR	R-1	R-1-7.2		
£ 444133009	0.18	LDR	R-1	R-1-7.2		
2 444133010	0.18	LDR	R-1	R-1-7.2		
£ 444133011	0.18	LDR	R-1	R-1-7.2		
444133011	0.20	LDR	R-1	R-1-7.2		
£ 444140001	0.20	LDR	R-1	R-1-7.2		
£ 444140002	0.18	LDR	R-1	R-1-7.2		
£ 444140003	0.18	LDR	R-1	R-1-7.2		
£ 444140004	0.18	LDR	R-1	R-1-7.2		
£ 444140005	0.21	LDR	R-1	R-1-7.2		
£ 444140006	0.21	LDR	R-1	R-1-7.2		
£ 444140007	0.18	LDR	R-1	R-1-7.2		
£ 444140008	0.18	LDR	R-1	R-1-7.2		
£ 444140009	0.18	LDR	R-1	R-1-7.2		
444140010	0.19	LDR	R-1	R-1-7.2		
£ 444141001	0.21	LDR	R-1	R-1-7.2		
£ 444141002	0.18	LDR	R-1	R-1-7.2		
£ 444141003	0.18	LDR	R-1	R-1-7.2		
£ 444141004	0.18	LDR	R-1	R-1-7.2		
444141005	0.19	LDR	R-1	R-1-7.2		
# 444141006	0.19	LDR	R-1	R-1-7.2		
<i>E</i> 444141007	0.18	LDR	R-1	R-1-7.2		
<i>£</i> 444141008	0.18	LDR	R-1	R-1-7.2		
444141009	0.18	LDR	R-1	R-1-7.2		
444141010	0.19	LDR	R-1	R-1-7.2		
£ 444142001	0.19	LDR	R-1	R-1-7.2		
444142002	0.18	LDR	R-1	R-1-7.2		
£ 444142003	0.18	LDR	R-1	R-1-7.2		
€ 444142004	0.19	LDR	R-1	R-1-7.2		
£ 444142005	0.23	LDR	R-1	R-1-7.2		
£ 444142006	0.23	LDR	R-1	R-1-7.2		
₹ 444142007	0.18	LDR	R-1	R-1-7.2		
<u></u> 444142008	0.18	LDR	R-1	R-1-7.2		
E 444142009	0.18	LDR	R-1	R-1-7.2		
<u>E</u> 444142010	0.19	LDR	R-1	R-1-7.2		
<u>E</u> 444142011	0.23	LDR	R-1	R-1-7.2		
<u>F</u> 444142012	0.23	LDR	R-1	R-1-7.2		
= 444143001	0.18	LDR	R-1	R-1-7.2		
<u>E</u> 444143002	0.19	LDR	R-1	R-1-7.2		
<u>§</u> 444143003	0.19	LDR	R-1	R-1-7.2		
<u>F</u> 444143004	0.19	LDR	R-1	R-1-7.2		
£ 444143005	0.19	LDR	R-1	R-1-7.2		
444143006	0.20	LDR	R-1	R-1-7.2		

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
444143007	0.27	LDR	R-1	R-1-7.2
£ 444143008	0.17	LDR	R-1	R-1-7.2
£ 444143009	0.16	LDR	R-1	R-1-7.2
£ 444143010	0.18	LDR	R-1	R-1-7.2
444143011	0.18	LDR	R-1	R-1-7.2
444143012	0.18	LDR	R-1	R-1-7.2
£ 444143013	0.18	LDR	R-1	R-1-7.2
£ 444143014	0.18	LDR	R-1	R-1-7.2
£ 444143015	0.18	LDR	R-1	R-1-7.2
£ 444143016	0.18	LDR	R-1	R-1-7.2
<i>E</i> 444143017	0.18	LDR	R-1	R-1-7.2
444143018	0.18	LDR	R-1	R-1-7.2
£ 444143019	0.20	LDR	R-1	R-1-7.2
£ 444143020	0.16	LDR	R-1	R-1-7.2
\$ 444143021	0.19	LDR	R-1	R-1-7.2
E 444143022	0.28	LDR	R-1	R-1-7.2
444143023	0.18	LDR	R-1	R-1-7.2
444143024	0.18	LDR	R-1	R-1-7.2
444143025	0.18	LDR	R-1	R-1-7.2
E 444143026	0.18	LDR	R-1	R-1-7.2
444143027	0.18	LDR	R-1	R-1-7.2
444143028	0.20	LDR	R-1	R-1-7.2
444143029	0.58	LDR	R-1	R-1-7.2
E 444150001	0.20	LDR	R-1	R-1-7.2
<u>€</u> 444150002	0.18	LDR	R-1	R-1-7.2
444150003	0.18	LDR	R-1	R-1-7.2
£ 444150004	0.18	LDR	R-1	R-1-7.2
444150005	0.18	LDR	R-1	R-1-7.2
£ 444150006	0.18	LDR	R-1	R-1-7.2
£ 444150007	0.18	LDR	R-1	R-1-7.2
444150008	0.16	LDR	R-1	R-1-7.2
## 444150009 ## 444150010	0.17	LDR	R-1	R-1-7.2
1111255515	0.17	LDR	R-1	R-1-7.2
## 444150011 ## 444150012	0.17 0.17	LDR	R-1	R-1-7.2
5 444150012 5 444150013	0.17	LDR	R-1	R-1-7.2
£ 444150014	0.17	LDR LDR	R-1 R-1	R-1-7.2
£ 444150015	0.19	LDR	R-1	R-1-7.2
## 444150016	0.18	LDR	R-1	R-1-7.2
444150017	0.17	LDR	R-1	R-1-7.2
£ 444150018	0.17	LDR	R-1	R-1-7.2
£ 444150019	0.19	LDR	R-1	R-1-7.2
444150020	0.19	LDR	R-1	R-1-7.2
£ 444150021	0.20	LDR	R-1	R-1-7.2
444150022	0.28	LDR	R-1	R-1-7.2
111230022	5.25	LDI	17.1	11-1-7.2

		GP	CURRENT	
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING
<i>E</i> 444150023	0.18	LDR	R-1	R-1-7.2
£ 444150024	0.16	LDR	R-1	R-1-7.2
£ 444150025	0.17	LDR	R-1	R-1-7.2
£ 444150026	0.16	LDR	R-1	R-1-7.2
444150027	0.18	LDR	R-1	R-1-7.2
£ 444151001	0.17	LDR	R-1	R-1-7.2
£ 444151002	0.17	LDR	R-1	R-1-7.2
£ 444151003	0.17	LDR	R-1	R-1-7.2
£ 444151004	0.17	LDR	R-1	R-1-7.2
£ 444151005	0.18	LDR	R-1	R-1-7.2
£ 444152001	0.16	LDR	R-1	R-1-7.2
<i>£</i> 444152002	0.17	LDR	R-1	R-1-7.2
£ 444152003	0.23	LDR	R-1	R-1-7.2
£ 444152004	0.21	LDR	R-1	R-1-7.2
444152005	0.21	LDR	R-1	R-1-7.2
£ 444152006	0.21	LDR	R-1	R-1-7.2
£ 444152007	0.20	LDR	R-1	R-1-7.2
£ 444153001	0.18	LDR	R-1	R-1-7.2
£ 444153002	0.17	LDR	R-1	R-1-7.2
<i>₹</i> 444153003	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444153004	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444153005	0.17	LDR	R-1	R-1-7.2
<u></u> 444153006	0.17	LDR	R-1	R-1-7.2
<i>E</i> 444153007	0.17	LDR	R-1	R-1-7.2
444153008	0.17	LDR	R-1	R-1-7.2
<u>F</u> 444153009	0.17	<u>LD</u> R	R-1	R-1-7.2
444153010	0.18	LDR	R-1	R-1-7.2
444154001	0.18	LDR	R-1	R-1-7.2
444154002	0.17	LDR	R-1	R-1-7.2
444154003	0.17	LDR	R-1	R-1-7.2
£ 444154004	0.17	LDR	R-1	R-1-7.2
444154005	0.17	LDR	R-1	R-1-7.2
444154006	0.17	LDR	R-1	R-1-7.2
444154007 444154008	0.17 0.17	LDR	R-1	R-1-7.2
444154009	0.17	LDR	R-1	R-1-7.2
¥444154009	0.17	LDR	R-1	R-1-7.2
£ 444154011	0.24	LDR LDR	R-1 R-1	R-1-7.2
£ 444154011	0.24	LDR	R-1	R-1-7.2
¥ 444154013	0.33	LDR	R-1	R-1-7.2 R-1-7.2
444154014	0.17	LDR	R-1	R-1-7.2
£ 444154015	0.15	LDR	R-1	R-1-7.2
£ 444154016	0.17	LDR	R-1	R-1-7.2
444154017	0.19	LDR	R-1	R-1-7.2
444154018	0.16	LDR	R-1	R-1-7.2
		!	** ±	11 ± /.2

	GP CURRENT PROPOS					
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING		
444154019	0.17	LDR	R-1	R-1-7.2		
£ 444154020	0.17	LDR	R-1	R-1-7.2		
£ 444154021	0.17	LDR	R-1	R-1-7.2		
444154022	0.17	LDR	R-1	R-1-7.2		
444154023	0.17	LDR	R-1	R-1-7.2		
444154024	0.17	LDR	R-1	R-1-7.2		
£ 444154025	0.12	LDR	R-1	R-1-7.2		
444154026	0.99	LDR	R-1	R-1-7.2		
£ 444160003	0.17	LDR	R-1	R-1-7.2		
<i>€</i> 444160004	0.16	LDR	R-1	R-1-7.2		
<i>2</i> 444160005	0.16	LDR	R-1	R-1-7.2		
£ 444160006	0.16	LDR	R-1	R-1-7.2		
2 444160007	0.16	LDR	R-1	R-1-7.2		
£ 444160008	0.16	LDR	R-1	R-1-7.2		
£ 444160009	0.16	LDR	R-1	R-1-7.2		
£ 444160010	0.16	LDR	R-1	R-1-7.2		
£ 444160011	0.17	LDR	R-1	R-1-7.2		
£ 444160012	0.18	LDR	R-1	R-1-7.2		
 444161001	0.18	LDR	R-1	R-1-7.2		
444161002	0.17	LDR	R-1	R-1-7.2		
£ 444161003	0.17	LDR	R-1	R-1-7.2		
<i>E</i> 444161004	0.17	LDR	R-1	R-1-7.2		
£ 444161005	0.18	LDR	R-1	R-1-7.2		
£ 444161006	0.18	LDR	R-1	R-1-7.2		
£ 444161007	0.18	LDR	R-1	R-1-7.2		
£ 444161008	0.19	LDR	R-1	R-1-7.2		
£ 444162001	0.18	LDR	R-1	R-1-7.2		
£ 444162002	0.17	LDR	R-1	R-1-7.2		
444162003	0.18	LDR	R-1	R-1-7.2		
£ 444162004	0.17	LDR	R-1	R-1-7.2		
<u>£</u> 444162005	0.18	LDR	R-1	R-1-7.2		
444162006	0.17	LDR	R-1	R-1-7.2		
£ 444162007	0.19	LDR	R-1	R-1-7.2		
444162008	0.17	LDR	R-1	R-1-7.2		
£ 444162009	0.18	LDR	R-1	R-1-7.2		
444162010	0.19	LDR	R-1	R-1-7.2		
444162011	0.18	LDR	R-1	R-1-7.2		
444162012	0.18	LDR	R-1	R-1-7.2		
444162013	0.27	LDR	R-1	R-1-7.2		
444162014	0.21	LDR	R-1	R-1-7.2		
444162015	0.29	LDR	R-1	R-1-7.2		
444162016	0.18	LDR	R-1	R-1-7.2		
444162017	0.17	LDR	R-1	R-1-7.2		
£ 444162018	0.17	LDR	R-1	R-1-7.2		
<u>€</u> 444162019	0.18	LDR	R-1	R-1-7.2		

	1/	-	CURRENT	DDODOCED
APN	ACRES	GP	CURRENT	PROPOSED
<i>P</i> 444162020	0.17	DESIGNATION	ZONING	ZONING
111202020	 	LDR	R-1	R-1-7.2
111202022		LDR	R-1	R-1-7.2
444162022		LDR	R-1	R-1-7.2
444162023		LDR	R-1	R-1-7.2
444162024		LDR	R-1	R-1-7.2
444162025		LDR	R-1	R-1-7.2
444162026		LDR	R-1	R-1-7.2
444162027	1	LDR	R-1	R-1-7.2
£ 444163001		LDR	R-1	R-1-7.2
444163002		LDR	R-1	R-1-7.2
£ 444163003		LDR	R-1	R-1-7.2
444163004		LDR	R-1	R-1-7.2
£ 444163005		LDR	R-1	R-1-7.2
444163006		LDR	R-1	R-1-7.2
444163007		LDR	R-1	R-1-7.2
444163008		LDR	R-1	R-1-7.2
£ 444163009	-	LDR	R-1	R-1-7.2
444163010		LDR	R-1	R-1-7.2
<u>£</u> 444163011	0.18	LDR	R-1	R-1-7.2
444163012	 	LDR	R-1	R-1-7.2
() 445280009		LDR	R-1	R-1-7.2
445280010	0.17	LDR	R-1	R-1-7.2
445280011	 	LDR	R-1	R-1-7.2
445280012		LDR	R-1	R-1-7.2
445280013		LDR	R-1	R-1-7.2
445280014		LDR	R-1	R-1-7.2
445280015	-	LDR	R-1	R-1-7.2
445280016	0.17	LDR	R-1	R-1-7.2
445280017		LDR	R-1	R-1-7.2
445280018	 	LDR	R-1	R-1-7.2
445280019		LDR	R-1	R-1-7.2
445280020	├	LDR	R-1	R-1-7.2
445280021		LDR	R-1	R-1-7.2
445280022	 	LDR	R-1	R-1-7.2
446051001		LDR	R-1	R-1-7.2
446051002		LDR	R-1	R-1-7.2
446051003		LDR	R-1	R-1-7.2
446051004		LDR	R-1	R-1-7.2
446051005		LDR	R-1	R-1-7.2
446051006	\vdash	LDR	R-1	R-1-7.2
£ 446051007		LDR	R-1	R-1-7.2
<u>E</u> 446051008	 	LDR	R-1	R-1-7.2
446051009	 	LDR	R-1	R-1-7.2
E 446051010	 	LDR	R-1	R-1-7.2
446051011	0.18	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 446051012	0.18	LDR	R-1	R-1-7.2
446051012	0.18	LDR	R-1	R-1-7.2
£ 446051014	0.18	LDR	R-1	R-1-7.2
£ 446051015	0.18	LDR	R-1	R-1-7.2
£ 446051016	0.18	LDR	R-1	R-1-7.2
446051017	0.18	LDR	R-1	R-1-7.2
446051017	0.18	LDR	R-1	R-1-7.2
446051019	0.18	LDR	R-1	R-1-7.2
£ 446051020	0.18	LDR	R-1	R-1-7.2
£ 446052001	0.11	LDR	R-1	R-1-7.2
£ 446052002	0.07	LDR	R-1	R-1-7.2
£ 446052003	0.36	LDR	R-1	R-1-7.2
£ 446052004	0.18	LDR	R-1	R-1-7.2
£ 446052005	0.18	LDR	R-1	R-1-7.2
446052006	0.18	LDR	R-1	R-1-7.2
446052007	0.18	LDR	R-1	R-1-7.2
<i>E</i> 446052008	0.18	LDR	R-1	R-1-7.2
<u>F</u> 446052013	0.18	LDR	R-1	R-1-7.2
£ 446052014	0.18	LDR	R-1	R-1-7.2
₹ 446052015	0.18	LDR	R-1	R-1-7.2
446052016	0.18	LDR	R-1	R-1-7.2
<i>E</i> 446052017	0.18	LDR	R-1	R-1-7.2
446052018	0.18	LDR	R-1	R-1-7.2
£ 446052019	0.37	LDR	R-1	R-1-7.2
<i>E</i> 446053001	0.19	LDR	R-1	R-1-7.2
<i>E</i> 446053002	0.19	LDR	R-1	R-1-7.2
£ 446053003	0.19	LDR	R-1	R-1-7.2
<u></u> 446053004	0.19	LDR	R-1	R-1-7.2
£ 446053005	0.19	LDR	R-1	R-1-7.2
\$ 446053006	0.19	LDR	R-1	R-1-7.2
446053007	0.19	LDR	R-1	R-1-7.2
446053008	0.19	LDR	R-1	R-1-7.2
446053009	0.19	LDR	R-1	R-1-7.2
446053010	0.19	LDR	R-1	R-1-7.2
£ 446053011	0.18	LDR	R-1	R-1-7.2
	0.18	LDR	R-1	R-1-7.2
446053013	0.18 0.18	LDR	R-1	R-1-7.2
£ 446053014 £ 446053015	0.18	LDR	R-1	R-1-7.2
£ 446053016	0.18	LDR LDR	R-1 R-1	R-1-7.2
£ 446053016	0.18	LDR	R-1	R-1-7.2 R-1-7.2
£ 446053017	0.18	LDR	R-1	R-1-7.2
£ 446053019	0.18	LDR	R-1	R-1-7.2 R-1-7.2
£ 446053020	0.19	LDR	R-1	R-1-7.2
£ 446054001	0.18	LDR	R-1	R-1-7.2
- T-003-001	0.10	LDI	17-7	11-1-7.2

APN	ACRES	GP	CURRENT	PROPOSED
		DESIGNATION	ZONING	ZONING
446054002	0.18	LDR	R-1	R-1-7.2
£ 446054003	0.18	LDR	R-1	R-1-7.2
£ 446054004	0.18	LDR	R-1	R-1-7.2
<i>E</i> 446054005	0.18	LDR	R-1	R-1-7.2
446054006	0.18	LDR	R-1	R-1-7.2
£ 446054007	0.18	LDR	R-1	R-1-7.2
£ 446054008	0.18	LDR	R-1	R-1-7.2
£ 446054012	0.18	LDR	R-1	R-1-7.2
446054013	0.18	LDR	R-1	R-1-7.2
446054014	0.18	LDR	R-1	R-1-7.2
446054015	0.18	LDR	R-1	R-1-7.2
£ 446054016	0.18	LDR	R-1	R-1-7.2
F 446054017	0.18	LDR	R-1	R-1-7.2
446054018	0.22	LDR	R-1	R-1-7.2
446054019	0.14	LDR	R-1	R-1-7.2
446054020	0.18	LDR	R-1	R-1-7.2
446054022	0.24	LDR	R-1	R-1-7.2
£ 446054023	0.22	LDR	R-1	R-1-7.2
446054025	0.19	LDR	R-1	R-1-7.2
£ 446061002	0.22	LDR	R-1	R-1-7.2
£ 446061003	0.22	LDR	R-1	R-1-7.2
446061003	0.07	LDR	R-1	
£ 446061005	0.33	LDR	R-1	R-1-7.2 R-1-7.2
446061003	0.26	LDR		
£ 446061007	0.18		R-1	R-1-7.2
		LDR	R-1	R-1-7.2
£ 446061008 £ 446061009	0.18	LDR	R-1	R-1-7.2
	0.18	LDR	R-1	R-1-7.2
446061010	0.24	LDR	R-1	R-1-7.2
£ 446062001	0.25	LDR	R-1	R-1-7.2
446062002	0.23	LDR	R-1	R-1-7.2
446062003	0.23	LDR	R-1	R-1-7.2
446062004	0.23	LDR	R-1	R-1-7.2
446062005	0.23	LDR	R-1	R-1-7.2
£ 446062006	0.23	LDR	R-1	R-1-7.2
<u>£</u> 446062007	0.23	LDR	R-1	R-1-7.2
446062008	0.22	LDR	R-1	R-1-7.2
446062009	0.22	LDR	R-1	R-1-7.2
<u>₹ 446062010</u>	0.23	LDR	R-1	R-1-7.2
£ 446062011	0.23	LDR	R-1	R-1-7.2
<u>₹</u> 446062012	0.23	LDR	R-1	R-1-7.2
446062013	0.23	LDR	R-1	R-1-7.2
<u></u> 446062014	0.23	LDR	R-1	R-1-7.2
Հ 446062015	0.23	LDR	R-1	R-1-7.2
446062016	0.25	LDR	R-1	R-1-7.2
446063001	0.21	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
E4 446063002	0.23	LDR	R-1	R-1-7.2
E40446063003	0.23	LDR	R-1	R-1-7.2
Er0446063004	0.23	LDR	R-1	R-1-7.2
5 446063005	0.23	LDR	R-1	R-1-7.2
446063006	0.23	LDR	R-1	R-1-7.2
£ 446063007	0.22	LDR	R-1	R-1-7.2
£ 446063008	0.23	LDR	R-1	R-1-7.2
⊘+€ 446063009	0.24	LDR	R-1	R-1-7.2
916 446063010	0.23	LDR	R-1	R-1-7.2
446063011	0.24	LDR	R-1	R-1-7.2
446063012	0.24	LDR	R-1	R-1-7.2
Gut 446063013	0.24	LDR	R-1	R-1-7.2
446063014	0.24	LDR	R-1	R-1-7.2
446063015	0.24	LDR	R-1	R-1-7.2
446063016	0.28	LDR	R-1	R-1-7.2
446064001	0.18	LDR	R-1	R-1-7.2
446064002 446064003	0.18 0.18	LDR LDR	R-1	R-1-7.2
446064003	0.18	LDR LDR	R-1 R-1	R-1-7.2 R-1-7.2
446064005	0.18	LDR	R-1	R-1-7.2
446064006	0.17	LDR	R-1	R-1-7.2
446064007	0.15	LDR	R-1	R-1-7.2
446064008	0.15	LDR	R-1	R-1-7.2
446064009	0.16	LDR	R-1	R-1-7.2
446064010	0.16	LDR	R-1	R-1-7.2
446064011	0.16	LDR	R-1	R-1-7.2
446064012	0.19	LDR	R-1	R-1-7.2
446064013	0.19	LDR	R-1	R-1-7.2
446064014	0.19	LDR	R-1	R-1-7.2
446064015	0.19	LDR	R-1	R-1-7.2
446064016	0.19	LDR	R-1	R-1-7.2
446064017	0.15	LDR	R-1	R-1-7.2
446064018	0.15	LDR	R-1	R-1-7.2
446064019	0.25	LDR	R-1	R-1-7.2
446064020	0.22	LDR	R-1	R-1-7.2
446064021	0.16	LDR	R-1	R-1-7.2
446071010	0.18	LDR	R-1	R-1-7.2
446071011	0.18	LDR	R-1	R-1-7.2
446071012	0.18	LDR	R-1	R-1-7.2
446071013	0.18	LDR	R-1	R-1-7.2
£ 446071014	0.18	LDR	R-1	R-1-7.2
£ 446071015 £ 446071016	0.18	LDR	R-1	R-1-7.2
	0.18 0.18	LDR	R-1	R-1-7.2
Jane .		LDR	R-1	R-1-7.2
446071018	0.17	LDR	R-1	R-1-7.2

	CD CURPOSITY CONCERNS			
APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED
£ 446071019	0.20		ZONING	ZONING
446071019	0.20	LDR LDR	R-1	R-1-7.2
£ 446072003	0.19	LDR	R-1	R-1-7.2
446072004	0.19	LDR	R-1	R-1-7.2
£ 446072005	0.20	LDR	R-1	R-1-7.2
£ 446072006	0.20		R-1	R-1-7.2
	0.19	LDR	R-1	R-1-7.2
£ 446072007 £ 446072008	0.22	LDR	R-1	R-1-7.2
£ 446072008	0.22	LDR	R-1	R-1-7.2
£ 446072010	0.22	LDR	R-1	R-1-7.2
£ 446072011	0.22	LDR	R-1	R-1-7.2
446072011	0.22	LDR	R-1	R-1-7.2
446072012	0.18	LDR	R-1	R-1-7.2
£ 446072014	0.18	LDR	R-1	R-1-7.2
£ 446072015		LDR	R-1	R-1-7.2
446072015	0.16	LDR LDR	R-1	R-1-7.2
£ 446072017	0.30		R-1	R-1-7.2
£ 446072017		LDR	R-1	R-1-7.2
	0.23	LDR	R-1	R-1-7.2
£ 446072019 £ 446073001	0.23	LDR	R-1	R-1-7.2
	0.28 0.19	LDR	R-1	R-1-7.2
		LDR	R-1	R-1-7.2
£ 446073003 £ 446073004	0.23	LDR	R-1	R-1-7.2
446073004	0.23	LDR	R-1	R-1-7.2
£ 446073006	0.23	LDR LDR	R-1 R-1	R-1-7.2
£ 446073007	0.23	LDR	R-1	R-1-7.2
446073008	0.23	LDR	R-1	R-1-7.2 R-1-7.2
E+O 446073009	0.23	LDR	R-1	
6+0 446073010	0.24	LDR	R-1	R-1-7.2 R-1-7.2
Bed 446073011	0.23	LDR	R-1	R-1-7.2
E+0446073012	0.23	LDR	R-1	R-1-7.2
£40 446073013	0.23	LDR	R-1	R-1-7.2
64073014	0.23	LDR	R-1	R-1-7.2
446073015	0.23	LDR	R-1	R-1-7.2
Out 446073016	0.19	LDR	R-1	R-1-7.2
446074001	0.10	LDR	R-1	R-1-7.2
446074002	0.10	LDR	R-1	R-1-7.2
446074003	0.19	LDR	R-1	R-1-7.2
446074004	0.17	LDR	R-1	R-1-7.2
446074005	0.16	LDR	R-1	R-1-7.2
446074006	0.16	LDR	R-1	R-1-7.2
445074007	0.16	LDR	R-1	R-1-7.2
446074008	0.16	LDR	R-1	R-1-7.2
446074009	0.16	LDR	R-1	R-1-7.2
446074010	0.15	LDR	R-1	R-1-7.2
1.007-010	3.13	LDI	11. 7	(1-I-/.Z

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
446091020	0.18	LDR	R-1	R-1-7.2
446091021	0.18	LDR	R-1	R-1-7.2
446091022	0.18	LDR	R-1	R-1-7.2
446091023	0.18	LDR	R-1	R-1-7.2
446091024	0.18	LDR	R-1	R-1-7.2
446091025	0.18	LDR	R-1	R-1-7.2
446091026	0.13	LDR	R-1	R-1-7.2
446091027	0.13	LDR	R-1	R-1-7.2
446091033	0.17	LDR	R-1	R-1-7.2
446092001	0.13	LDR	R-1	R-1-7.2
446092002	0.13	LDR	R-1	R-1-7.2
446092003	0.18	LDR	R-1	R-1-7.2
446092004	0.18	LDR	R-1	R-1-7.2
446092005	0.18	LDR	R-1	R-1-7.2
446092006	0.18	LDR	R-1	R-1-7.2
446092007	0.18	LDR	R-1	R-1-7.2
446092008	0.18	LDR	R-1	R-1-7.2
446092009	0.19	LDR	R-1	R-1-7.2
446092010	0.14	LDR	R-1	R-1-7.2
446092011	0.14	LDR	R-1	R-1-7.2
€ +€ 446143016	0.20	LDR	R-1	R-1-7.2
E+0446143017	0.20	LDR	R-1	R-1-7.2
E+0 446143018	0.20	LDR	R-1	R-1-7.2
E+0 446143019	0.20	LDR	R-1	R-1-7.2
() \$\bullet\$446144001	0.22	LDR	R-1	R-1-7.2
446144002	0.16	LDR	R-1	R-1-7.2
446144003	0.21	LDR	R-1	R-1-7.2
446144006	0.36	LDR	R-1	R-1-7.2
446144007	0.32	ĹDR	R-1	R-1-7.2
446144008	0.30	LDR	R-1	R-1-7.2
446144009	0.34	LDR	R-1	R-1-7.2
446144010	0.17	LDR	R-1	R-1-7.2
446144011	0.17	LDR	R-1	R-1-7.2
446144012	0.16	LDR	R-1	R-1-7.2
446144013	0.19	LDR	R-1	R-1-7.2
446144014	0.15	LDR	R-1	R-1-7.2
446144015	0.20	LDR	R-1	R-1-7.2
446144016	0.20	LDR	R-1	R-1-7.2
446144017	0.35	LDR	R-1	R-1-7.2
446144018	0.20	LDR	R-1	R-1-7.2
446144019	0.20	LDR	R-1	R-1-7.2
446151009 446151010	0.16	LDR	R-1	R-1-7.2
£ 446151010	0.17	LDR	R-1	R-1-7.2
446151011		LDR	R-1	R-1-7.2
440131012	0.19	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
446151013	0.19	LDR	R-1	R-1-7.2
446151015	0.19	LDR	R-1	R-1-7.2
446151016	0.19	LDR	R-1	R-1-7.2
446151017	0.19	LDR	R-1	R-1-7.2
2 446151018	0.19	LDR	R-1	R-1-7.2
446151019	0.19	LDR	R-1	R-1-7.2
£ 446152003	0.19	LDR	R-1	R-1-7.2
£ 446152004	0.19	LDR	R-1	R-1-7.2
£ 446152005	0.19	LDR	R-1	R-1-7.2
446152006	0.16	LDR	R-1	R-1-7.2
446152007	0.16	LDR	R-1	R-1-7.2
£ 446152008	0.16	LDR	R-1	R-1-7.2
£ 446152009	0.17	LDR	R-1	R-1-7.2
£ 446152010	0.20	LDR	R-1	R-1-7.2
£ 446152011	0.20	LDR	R-1	R-1-7.2
£ 446152012	0.20	LDR	R-1	R-1-7.2
<i>E</i> 446152014	0.20	LDR	R-1	R-1-7.2
£ 446152015	0.20	LDR	R-1	R-1-7.2
£ 446152016	0.20	LDR	R-1	R-1-7.2
£ 446152017	0.20	LDR	R-1	R-1-7.2
<i>E</i> 446152018	0.21	LDR	R-1	R-1-7.2
446152019	0.20	LDR	R-1	R-1-7.2
£ 446152020	0.20	LDR	R-1	R-1-7.2
£ 446152021	0.20	LDR	R-1	R-1-7.2
£ 446152022	0.20	LDR	R-1	R-1-7.2
£ 446152023	0.20	LDR	R-1	R-1-7.2
<i>E</i> 446153001	0.20	LDR	R-1	R-1-7.2
£ 446153002	0.20	LDR	R-1	R-1-7.2
446153003	0.20	LDR	R-1	R-1-7.2
£ 446153004	0.21	LDR	R-1	R-1-7.2
446153005	0.21	LDR	R-1	R-1-7.2
446153006	0.21	LDR	R-1	R-1-7.2
446153007	0.21	LDR	R-1	R-1-7.2
446153008	0.21	LDR	R-1	R-1-7.2
446153009	0.18	LDR	R-1	R-1-7.2
£ 446153010	0.16	LDR	R-1	R-1-7.2
446153011	0.16	LDR	R-1	R-1-7.2
446153012	0.17	LDR	R-1	R-1-7.2
446153013	0.20	LDR	R-1	R-1-7.2
£ 446153014	0.20	LDR	R-1	R-1-7.2
<u>446153015</u>	0.20	LDR	R-1	R-1-7.2
446153016 446153017	0.20 0.20	LDR	R-1	R-1-7.2
£ 446153017	0.20	LDR	R-1	R-1-7.2
		LDR	R-1	R-1-7.2
<u></u> 446153019	0.20	LDR	R-1	R-1-7.2

	Terran Toronto		GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
Ø	446153020	0.20	LDR	R-1	R-1-7.2
CL.	446154001	0.20	LDR	R-1	R-1-7.2
	446154002	0.21	LDR	R-1	R-1-7.2
<u> </u>	446154003	0.21	LDR	R-1	
\vdash	446154004	0.21	LDR		R-1-7.2
-	446154005	0.21	LDR	R-1 R-1	R-1-7.2
\vdash	446154006	0.21	LDR	R-1	R-1-7.2
	446154007	0.21	LDR	R-1	R-1-7.2 R-1-7.2
Н	446154008	0.21	LDR	R-1	R-1-7.2
\vdash	446154009	0.19	LDR	R-1	R-1-7.2
Н	446154010	0.15	LDR	R-1	R-1-7.2
Н	446154011	0.15	LDR	R-1	R-1-7.2
H	446154012	0.17	LDR	R-1	R-1-7.2
H	446154013	0.17	LDR	R-1	R-1-7.2
	446154014	0.19	LDR	R-1	R-1-7.2
$\vdash \vdash$	446154017	0.13	LDR	R-1	R-1-7.2
$\vdash +$	446154018	0.26	LDR	R-1	R-1-7.2
H	446154019	0.26	LDR	R-1	R-1-7.2
一十	446154020	0.20	LDR	R-1	R-1-7.2
H	446154021	0.18	LDR	R-1	R-1-7.2
	446162001	0.20	LDR	R-1	R-1-7.2
H	446162002	0.20	LDR	R-1	R-1-7.2
H	446162003	0.20	LDR	R-1	R-1-7.2
H	446162004	0.21	LDR	R-1	R-1-7.2
H	446163001	0.21	LDR	R-1	R-1-7.2
\vdash	446163002	0.24	LDR	R-1	R-1-7.2
П	446163003	0.23	LDR	R-1	R-1-7.2
П	446163004	0.19	LDR	R-1	R-1-7.2
\sqcap	446164001	0.15	LDR	R-1	R-1-7.2
	446164002	0.14	LDR	R-1	R-1-7.2
П	446164003	0.14	LDR	R-1	R-1-7.2
П	446164004	0.17	LDR	R-1	R-1-7.2
	446164005	0.17	LDR	R-1	R-1-7.2
	446164006	0.17	LDR	R-1	R-1-7.2
	446164007	0.17	LDR	R-1	R-1-7.2
	446164008	0.17	LDR	R-1	R-1-7.2
	446164009	0.17	LDR	R-1	R-1-7.2
	446164010	0.20	LDR	R-1	R-1-7.2
	446164011	0.20	LDR	R-1	R-1-7.2
	446164012	0.20	LDR	R-1	R-1-7.2
	446164013	0.20	LDR	R-1	R-1-7.2
	446164014	0.21	LDR	R-1	R-1-7.2
	446164015	0.21	LDR	R-1	R-1-7.2
\coprod	446164016	0.45	LDR	R-1	R-1-7.2
	446164017	0.15	LDR	R-1	R-1-7.2

CD CURRENT PROPERTY				PROPOSED
APN	ACRES	GP	CURRENT	PROPOSED
A / 44C172004	0.20	DESIGNATION	ZONING	ZONING
446173004	0.20	LDR	R-1	R-1-7.2
446173005	0.19	LDR	R-1	R-1-7.2
446173006	0.19	LDR	R-1	R-1-7.2
446173007	0.22	LDR	R-1	R-1-7.2
446173008	0.16	LDR	R-1	R-1-7.2
446173009	0.16	LDR	R-1	R-1-7.2
446173010	0.29	LDR	R-1	R-1-7.2
446173011	0.14	LDR	R-1	R-1-7.2
446173012	0.23	LDR	R-1	R-1-7.2
446173013	0.26	LDR	R-1	R-1-7.2
446173014	0.45	LDR	R-1	R-1-7.2
446173015	0.21	LDR	R-1	R-1-7.2
446173016	0.21	LDR	R-1	R-1-7.2
446173017	0.21	LDR	R-1	R-1-7.2
446173018	0.21	LDR	R-1	R-1-7.2
<i>E</i> 446201001	0.22	LDR	R-1	R-1-7.2
£ 446201002	0.19	LDR	R-1	R-1-7.2
<u>@</u> 446201003	0.23	LDR	R-1	R-1-7.2
446201004	0.17	LDR	R-1	R-1-7.2
446201005	0.17	LDR	R-1	R-1-7.2
£ 446201006	0.17	LDR	R-1	R-1-7.2
<i>6</i> 446201007	0.17	LDR	R-1	R-1-7.2
<i>E</i> 446201008	0.18	LDR	R-1	R-1-7.2
446201009	0.18	LDR	R-1	R-1-7.2
£ 446201011	0.34	LDR	R-1	R-1-7.2
£ 446201012	0.37	LDR	R-1	R-1-7.2
<u>E</u> 446201014	0.19	LDR	R-1	R-1-7.2
446201016	0.14	LDR	R-1	R-1-7.2
446201017	0.26	LDR	R-1	R-1-7.2
£ 446201018	0.15	LDR	R-1	R-1-7.2
2 446201019	0.22	LDR	R-1	R-1-7.2
446201020	0.15	LDR	R-1	R-1-7.2
446201021	0.20	LDR	R-1	R-1-7.2
<u></u> 446201022	0.19	LDR	R-1	R-1-7.2
E 446201023	0.17	LDR	R-1	R-1-7.2
446201024	0.16	LDR	R-1	R-1-7.2
446201025	0.25	LDR	R-1	R-1-7.2
446201026	0.25	LDR	R-1	R-1-7.2
E 446201027	0.17	LDR	R-1	R-1-7.2
446201028	0.20	LDR	R-1	R-1-7.2
446201029	0.12	LDR	R-1	R-1-7.2
<u></u> 446201030	0.18	LDR	R-1	R-1-7.2
446201031	0.14	LDR	R-1	R-1-7.2
446201032	0.17	LDR	R-1	R-1-7.2
446201033	0.17	LDR	R-1	R-1-7.2

	Turces Not Requiring a General Flat Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
6 446204024	0.47	DESIGNATION	ZONING	ZONING	
446201034	0.17	LDR	R-1	R-1-7.2	
446201035	0.17	LDR	R-1	R-1-7.2	
446201036	0.20	LDR	R-1	R-1-7.2	
446201037	0.15	LDR	R-1	R-1-7.2	
£ 446201038	0.16	LDR	R-1	R-1-7.2	
446201039	0.24	LDR	R-1	R-1-7.2	
446201040	0.52	LDR	R-1	R-1-7.2	
446201041	0.30	LDR	R-1	R-1-7.2	
446205001	0.14	LDR	R-1	R-1-7.2	
446205002	0.14	LDR	R-1	R-1-7.2	
446205004	0.26	LDR	R-1	R-1-7.2	
446205005	0.18	LDR	R-1	R-1-7.2	
£ 446205006	0.22	LDR	R-1	R-1-7.2	
446205007	0.29	LDR	R-1	R-1-7.2	
446205008	0.24	LDR	R-1	R-1-7.2	
446205011	0.53	LDR	R-1	R-1-7.2	
446205012	0.53	LDR	R-1	R-1-7.2	
446205013	0.53	LDR	R-1	R-1-7.2	
446205014	0.49	LDR	R-1	R-1-7.2	
446205017	0.17	LDR	R-1	R-1-7.2	
446205018	0.14	LDR	R-1	R-1-7.2	
446205019	0.15	LDR	R-1	R-1-7.2	
446205021	0.15	LDR	R-1	R-1-7.2	
446205022	0.16	LDR	R-1	R-1-7.2	
446205023	0.19	LDR	R-1	R-1-7.2	
446205024	0.19	LDR	R-1	R-1-7.2	
446205025	0.19	LDR	R-1	R-1-7.2	
446205026	0.18	LDR	R-1	R-1-7.2	
£ 446205027 £ 446205028	0.18	LDR	R-1	R-1-7.2	
~ ++0203020	0.27	LDR	R-1	R-1-7.2	
446205029	0.18	LDR	R-1	R-1-7.2	
446205030	0.28	LDR	R-1	R-1-7.2	
£ 446205031 £ 446205032	0.18	LDR	R-1	R-1-7.2	
£ 446205032 F 446205033	0.17	LDR	R-1	R-1-7.2	
	0.18	LDR	R-1	R-1-7.2	
£ 446205034	0.18	LDR	R-1	R-1-7.2	
	0.18	LDR	R-1	R-1-7.2	
£ 446205036 £ 446205037	0.16 0.15	LDR	R-1	R-1-7.2	
£ 446205038	0.13	LDR	R-1	R-1-7.2	
£ 446205039	0.53	LDR	R-1	R-1-7.2	
£ 446205040		LDR	R-1	R-1-7.2	
Out 446243001	0.23	LDR	R-1	R-1-7.2	
	0.36	LDR	R-1	R-1-7.2	
446243002	0.27	LDR	R-1	R-1-7.2	
446243003	0.25	LDR	R-1	R-1-7.2	

	GP CURRENT PROPOS			
APN	ACRES	DESIGNATION	ZONING	PROPOSED
Our 447160064	0.25	LDR	R-1	ZONING R-1-7.2
447173004	0.60	LDR	R-1	
447173007	0.21	LDR	R-1	R-1-7.2 R-1-7.2
447173018	0.22	LDR	R-1	R-1-7.2
447173019	0.28	LDR	R-1	R-1-7.2
448010001	0.22	LDR	R-1	R-1-7.2
£ 448010002	0.19	LDR	R-1	R-1-7.2
448010003	0.23	LDR	R-1	R-1-7.2
448010004	0.21	LDR	R-1	R-1-7.2
448010005	0.19	LDR	R-1	R-1-7.2
8 448010006	0.18	LDR	R-1	R-1-7.2
£ 448010007	0.22	LDR	R-1	R-1-7.2
448010008	0.26	LDR	R-1	R-1-7.2
£ 448010009	0.20	LDR	R-1	R-1-7.2
£ 448010010	0.19	LDR	R-1	R-1-7.2
£ 448010011	0.19	LDR	R-1	R-1-7.2
£ 448010012	0.20	LDR	R-1	R-1-7.2
£ 448010013	0.18	LDR	R-1	R-1-7.2
448010014	0.19	LDR	R-1	R-1-7.2
£ 448010015	0.21	LDR	R-1	R-1-7.2
448010016	0.17	LDR	R-1	R-1-7.2
448010017	0.19	LDR	R-1	R-1-7.2
448011001	0.18	LDR	R-1	R-1-7.2
£ 448011002	0.18	LDR	R-1	R-1-7.2
£ 448011003	0.18	LDR	R-1	R-1-7.2
448011004	0.17	LDR	R-1	R-1-7.2
448011005	0.17	LDR	R-1	R-1-7.2
£ 448012001	0.18	LDR	R-1	R-1-7.2
£ 448012002	0.18	LDR	R-1	R-1-7.2
448012003	0.18	LDR	R-1	R-1-7.2
448012004	0.18	LDR	R-1	R-1-7.2
<u>\$\frac{2}{5}\$ 448012005</u>	0.18	LDR	R-1	R-1-7.2
£ 448012006	0.18	LDR	R-1	R-1-7.2
448012007	0.18	LDR	R-1	R-1-7.2
£ 448012008	0.18	LDR	R-1	R-1-7.2
448012009	0.18	LDR	R-1	R-1-7.2
448012010	0.18	LDR	R-1	R-1-7.2
£ 448012011	0.17	LDR	R-1	R-1-7.2
448012012	0.27	LDR	R-1	R-1-7.2
448012013	0.27	LDR	R-1	R-1-7.2
448012014	0.19	LDR	R-1	R-1-7.2
£ 448012015	0.25	LDR	R-1	R-1-7.2
### 448012016 ### 448020001	0.67	LDR	R-1	R-1-7.2
- Andrew	0.20	LDR	R-1	R-1-7.2
448020002	0.19	LDR	R-1	R-1-7.2

	GP CURRENT PROPOSED			
APN	ACRES	DESIGNATION	CURRENT	PROPOSED
£ 448020003	0.19	LDR	ZONING	ZONING
£ 448020003	0.19	LDR	R-1	R-1-7.2
£ 448020005	0.19	LDR	R-1 R-1	R-1-7.2 R-1-7.2
£ 448020006	0.18	LDR	R-1	
448020007	0.18			R-1-7.2
448020007	0.18	LDR LDR	R-1 R-1	R-1-7.2
E 448020009	0.20	LDR	R-1	R-1-7.2 R-1-7.2
448020009	0.19	LDR	R-1	R-1-7.2
448020010	0.19	LDR	R-1	R-1-7.2
448020012	0.19	LDR	R-1	R-1-7.2
£ 448020013	0.17	LDR	R-1	R-1-7.2
448020014	0.18	LDR	R-1	R-1-7.2
F 448020015	0.15	LDR	R-1	R-1-7.2
448020016	1.94	LDR	R-1	R-1-7.2
£ 448020017	0.29	LDR	R-1	R-1-7.2
£ 448021001	0.18	LDR	R-1	R-1-7.2
£ 448021002	0.17	LDR	R-1	R-1-7.2
448021003	0.18	LDR	R-1	R-1-7.2
£ 448021004	0.18	LDR	R-1	R-1-7.2
448021005	0.18	LDR	R-1	R-1-7.2
448021006	0.18	LDR	R-1	R-1-7.2
E 448021007	0.20	LDR	R-1	R-1-7.2
£ 448021008	0.18	LDR	R-1	R-1-7.2
£ 448021009	0.17	LDR	R-1	R-1-7.2
448021010	0.17	LDR	R-1	R-1-7.2
448021011	0.17	LDR	R-1	R-1-7.2
448021012	0.17	LDR	R-1	R-1-7.2
448021013	0.18	LDR	R-1	R-1-7.2
<u>E</u> 448021014	0.19	LDR	R-1	R-1-7.2
448021015	0.21	LDR	R-1	R-1-7.2
<u>£</u> 448021016	0.20	LDR	R-1	R-1-7.2
£ 448021017	0.17	LDR	R-1	R-1-7.2
<u>F</u> 448021018	0.18	LDR	R-1	R-1-7.2
£ 448021019	0.17	LDR	R-1	R-1-7.2
448021020	0.18	LDR	R-1	R-1-7.2
448021021	0.18	LDR	R-1	R-1-7.2
448021022	0.17	LDR	R-1	R-1-7.2
£ 448021023	0.19	LDR	R-1	R-1-7.2
E 448021024	0.21	LDR	R-1	R-1-7.2
448021025	0.20	LDR	R-1	R-1-7.2
448021026	0.08	LDR	R-1	R-1-7.2
448022001	0.22	LDR	R-1	R-1-7.2
448022002	0.18	LDR	R-1	R-1-7.2
448022003	0.17	LDR	R-1	R-1-7.2
£ 448022004	0.20	LDR	R-1	R-1-7.2

		GP	CURRENT	BRODOCER
APN	ACRES	DESIGNATION		PROPOSED
£ 448022005	0.18		ZONING	ZONING
£ 448022006	0.18	LDR LDR	R-1	R-1-7.2
448022008	0.18		R-1	R-1-7.2
		LDR	R-1	R-1-7.2
448030001	0.19	LDR	R-1	R-1-7.2
448030002	0.18	LDR	R-1	R-1-7.2
448030003	0.18	LDR	R-1	R-1-7.2
448030004	0.18	LDR	R-1	R-1-7.2
448030005	0.18	LDR	R-1	R-1-7.2
448030006	0.18	LDR	R-1	R-1-7.2
448030007	0.18	LDR	R-1	R-1-7.2
448030008	0.18	LDR	R-1	R-1-7.2
448030009	0.24	LDR	R-1	R-1-7.2
£ 448030010	0.27	LDR	R-1	R-1-7.2
£ 448030011	0.20	LDR	R-1	R-1-7.2
448030012	0.17	LDR	R-1	R-1-7.2
448030013	0.18	LDR	R-1	R-1-7.2
£ 448030014	0.17	LDR	R-1	R-1-7.2
£ 448030015	0.18	LDR	R-1	R-1-7.2
£ 448030016	0.17	LDR	R-1	R-1-7.2
£ 448030017	0.17	LDR	R-1	R-1-7.2
£ 448030018	0.18	LDR	R-1	R-1-7.2
<u>€</u> 448030019	0.17	LDR	R-1	R-1-7.2
£ 448030020	0.17	LDR	R-1	R-1-7.2
£ 448030021	0.19	LDR	R-1	R-1-7.2
E 448031001	0.18	LDR	R-1	R-1-7.2
£ 448031002	0.18	LDR	R-1	R-1-7.2
& 448031003	0.17	LDR	R-1	R-1-7.2
<u>£</u> 448031004	0.19	LDR	R-1	R-1-7.2
448031005	0.21	LDR	R-1	R-1-7.2
£ 448031006	0.21	LDR	R-1	R-1-7.2
£ 448031007	0.19	LDR	R-1	R-1-7.2
448031008	0.18	LDR	R-1	R-1-7.2
<u>2</u> 448031009	0.18	LDR	R-1	R-1-7.2
448031010	0.17	LDR	R-1	R-1-7.2
€ 448031011	0.18	LDR	R-1	R-1-7.2
448031012	0.18	LDR	R-1	R-1-7.2
448031013	0.18	LDR	R-1	R-1-7.2
448031014	0.18	LDR	R-1	R-1-7.2
448031015	0.19	LDR	R-1	R-1-7.2
448031016	0.19	LDR	R-1	R-1-7.2
448031017	0.19	LDR	R-1	R-1-7.2
448031018	0.20	LDR	R-1	R-1-7.2
448031019	0.20	LDR	R-1	R-1-7.2
£ 448031020	0.20	LDR	R-1	R-1-7.2
448040001	0.21	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448040002	0.15	LDR	R-1	R-1-7.2
£ 448040003	0.19	LDR	R-1	R-1-7.2
<i>4</i> 48041001	0.43	LDR	R-1	R-1-7.2
£ 448041002	0.45	LDR	R-1	R-1-7.2
£ 448041003	0.42	LDR	R-1	R-1-7.2
£ 448041004	0.24	LDR	R-1	R-1-7.2
2 448041005	0.27	LDR	R-1	R-1-7.2
£ 448041006	0.23	LDR	R-1	R-1-7.2
£ 448041007	0.17	LDR	R-1	R-1-7.2
448041008	0.17	LDR	R-1	R-1-7.2
£ 448041009	0.22	LDR	R-1	R-1-7.2
448041010	0.24	LDR	R-1	R-1-7.2
2 448041011	0.29	LDR	R-1	R-1-7.2
448041012	0.29	LDR	R-1	R-1-7.2
448041013	0.28	LDR	R-1	R-1-7.2
448042001	0.18	LDR	R-1	R-1-7.2
448042002	0.18	LDR	R-1	R-1-7.2
448042003	0.19	LDR	R-1	R-1-7.2
£ 448042004	0.19	LDR	R-1	R-1-7.2
448042005	0.19	LDR	R-1	R-1-7.2
<u>e</u> 448042006	0.18	LDR	R-1	R-1-7.2
£ 448042007	0.18	LDR	R-1	R-1-7.2
£ 448042008 £ 448043001	0.19 0.19	LDR	R-1	R-1-7.2
£ 448043001 £ 448043002	0.19	LDR LDR	R-1 R-1	R-1-7.2
448043002	0.20	LDR	R-1	R-1-7.2
£ 448043004	0.20	LDR	R-1	R-1-7.2
£ 448043005	0.18	LDR	R-1	R-1-7.2
£ 448043006	0.20	LDR	R-1	R-1-7.2
£ 448050001	0.20	LDR	R-1	R-1-7.2
448050002	0.19	LDR	R-1	R-1-7.2
£ 448050003	0.22	LDR	R-1	R-1-7.2
£ 448050004	0.22	LDR	R-1	R-1-7.2
£ 448050005	0.21	LDR	R-1	R-1-7.2
£ 448050006	0.25	LDR	R-1	R-1-7.2
£ 448050007	0.22	LDR	R-1	R-1-7.2
448050008	0.23	LDR	R-1	R-1-7.2
₹ 448050009	0.41	LDR	R-1	R-1-7.2
448050010	0.25	LDR	R-1	R-1-7.2
\= 448050011	0.19	LDR	R-1	R-1-7.2
448050012	0.21	LDR	R-1	R-1-7.2
£ 448050013	0.23	LDR	R-1	R-1-7.2
448050014	0.23	LDR	R-1	R-1-7.2
448050015	0.22	LDR	R-1	R-1-7.2
£ 448050016	0.17	LDR	R-1	R-1-7.2

raices Not requiring a General Flatt Americanent				
APN	ACRES	GP	CURRENT	PROPOSED
# 440050017	0.10	DESIGNATION	ZONING	ZONING
448050017	0.18	LDR	R-1	R-1-7.2
	0.20	LDR	R-1	R-1-7.2
448050020	0.19	LDR	R-1	R-1-7.2
448050021	0.20	LDR	R-1	R-1-7.2
448050022	0.18	LDR	R-1	R-1-7.2
448050023	0.22 0.20	LDR	R-1	R-1-7.2
£ 448050024 £ 448050025		LDR	R-1	R-1-7.2
	0.20	LDR	R-1	R-1-7.2
£ 448051001 £ 448051002	0.22 0.21	LDR	R-1	R-1-7.2
£ 448051002	0.21	LDR	R-1	R-1-7.2
£ 448051003	0.21	LDR	R-1	R-1-7.2
£ 448051004	0.21	LDR	R-1	R-1-7.2
¥448051005	0.21	LDR LDR	R-1	R-1-7.2
£ 448051008	0.21	LDR	R-1 R-1	R-1-7.2 R-1-7.2
£ 448051007	0.21	LDR	R-1	
£ 448051009	0.21	LDR	R-1	R-1-7.2
£ 448051010	0.21	LDR	R-1	R-1-7.2
448051010	0.21	LDR	R-1	R-1-7.2
£ 448051011	0.21	LDR	R-1	R-1-7.2 R-1-7.2
£ 448051012 £ 448051013	0.22	LDR	R-1	R-1-7.2
£ 448051013	0.22	LDR	R-1	R-1-7.2
£ 448051015	0.21	LDR	R-1	R-1-7.2
£ 448051016	0.21	LDR	R-1	R-1-7.2
£ 448051017	0.21	LDR	R-1	R-1-7.2
£ 448051018	0.21	LDR	R-1	R-1-7.2
£ 448051019	0.21	LDR	R-1	R-1-7.2
448051020	0.21	LDR	R-1	R-1-7.2
€ 448051021	0.21	LDR	R-1	R-1-7.2
2 448051022	0.21	LDR	R-1	R-1-7.2
448051023	0.21	LDR	R-1	R-1-7.2
448051024	0.21	LDR	R-1	R-1-7.2
448051025	0.22	LDR	R-1	R-1-7.2
448052001	0.18	LDR	R-1	R-1-7.2
£ 448052002	0.19	LDR	R-1	R-1-7.2
£ 448052003	0.19	LDR	R-1	R-1-7.2
2 448052004	0.19	LDR	R-1	R-1-7.2
448052005	0.19	LDR	R-1	R-1-7.2
£ 448053003	0.20	LDR	R-1	R-1-7.2
<u>F</u> 448053004	0.18	LDR	R-1	R-1-7.2
448053005	0.19	LDR	R-1	R-1-7.2
448060003	0.54	LDR	R-1	R-1-7.2
448060007	7.75	LDR	R-1	R-1-7.2
£ 448060009	14.18	LDR	R-1	R-1-7.2
448060013	10.06	LDR	R-1	R-1-7.2

CD CHERENT DECOCED				
APN	ACRES	GP DESIGNATION	ZONING	PROPOSED
448290045	0.16	LDR	R-1	ZONING R-1-7.2
448470001	0.22	LDR	R-1	R-1-7.2
448470002	0.19	LDR	R-1	R-1-7.2
448470003	0.18	LDR	R-1	R-1-7.2
448470004	0.19	LDR	R-1	R-1-7.2
£ 448470005	0.19	LDR	R-1	R-1-7.2
£ 448470006	0.18	LDR	R-1	R-1-7.2
£ 448470007	0.18	LDR	R-1	R-1-7.2
£ 448470008	0.17	LDR	R-1	R-1-7.2
£ 448470009	0.17	LDR	R-1	R-1-7.2
E 448470010	0.17	LDR	R-1	R-1-7.2
£ 448470011	0.21	LDR	R-1	R-1-7.2
£ 448470012	0.24	LDR	R-1	R-1-7.2
£ 448471001	0.20	LDR	R-1	R-1-7.2
£ 448471002	0.19	LDR	R-1	R-1-7.2
£ 448471003	0.18	LDR	R-1	R-1-7.2
2 448471004	0.20	LDR	R-1	R-1-7.2
<i>2</i> 448471005	0.19	LDR	R-1	R-1-7.2
448471006	0.18	LDR	R-1	R-1-7.2
2 448471007	0.17	LDR	R-1	R-1-7.2
<i>E</i> 448471008	0.29	LDR	R-1	R-1-7.2
448471009	0.25	LDR	R-1	R-1-7.2
£ 448471010	0.23	LDR	R-1	R-1-7.2
2 448471011	0.23	LDR	R-1	R-1-7.2
448471012	0.26	LDR	R-1	R-1-7.2
448471013	0.23	LDR	R-1	R-1-7.2
5 448471014	0.20	LDR	R-1	R-1-7.2
£ 448471015	0.22	LDR	R-1	R-1-7.2
£ 448471016	0.22	LDR	R-1	R-1-7.2
£ 448471017	0.22	LDR	R-1	R-1-7.2
## 448471018 ## 448471019	0.19	LDR	R-1	R-1-7.2
£ 448472001	0.22 0.20	LDR	R-1	R-1-7.2
£ 448472001	0.20	LDR LDR	R-1 R-1	R-1-7.2
£ 448472003	0.20	LDR	R-1	R-1-7.2 R-1-7.2
£ 448472004	0.19	LDR	R-1	R-1-7.2
£ 448472005	0.19	LDR	R-1	R-1-7.2
£ 448472006	0.20	LDR	R-1	R-1-7.2
£ 448472007	0.20	LDR	R-1	R-1-7.2
£ 448472008	0.20	LDR	R-1	R-1-7.2
\$ 448472009	0.20	LDR	R-1	R-1-7.2
£ 448472010	0.19	LDR	R-1	R-1-7.2
£448472011	0.18	LDR	R-1	R-1-7.2
<u>E</u> 448472012	0.19	LDR	R-1	R-1-7.2
E 448473001	0.22	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
C 440472002	0.20			
448473002	0.20	LDR	R-1	R-1-7.2
448473003	0.19	LDR	R-1	R-1-7.2
448473004	0.18	LDR	R-1	R-1-7.2
£ 448473005	0.18	LDR	R-1	R-1-7.2
<u>2</u> 448473006	0.18	LDR	R-1	R-1-7.2
£ 448473007	0.18	LDR	R-1	R-1-7.2
<u>£</u> 448480001	0.20	LDR	R-1	R-1-7.2
£ 448480002	0.25	LDR	R-1	R-1-7.2
448480003	0.25	LDR	R-1	R-1-7.2
2 448480004	0.25	LDR	R-1	R-1-7.2
£ 448480005	0.29	LDR	R-1	R-1-7.2
448480006	0.23	LDR	R-1	R-1-7.2
448480007	0.26	LDR	R-1	R-1-7.2
₹ 448480008	0.20	LDR	R-1	R-1-7.2
£ 448480009	0.20	LDR	R-1	R-1-7.2
? 448480010	0.19	LDR	R-1	R-1-7.2
448480011	0.21	LDR	R-1	R-1-7.2
448480012	0.19	LDR	R-1	R-1-7.2
£ 448480013	0.19	LDR	R-1	R-1-7.2
£ 448480014	0.18	LDR	R-1	R-1-7.2
£ 448480015	0.18	LDR	R-1	R-1-7.2
£ 448480016	0.18	LDR	R-1	Ŕ-1-7.2
£ 448480017	0.18	LDR	R-1	R-1-7.2
448480018	0.19	LDR	R-1	R-1-7.2
£ 448480019	0.19	LDR	R-1	R-1-7.2
£ 448480020	0.19	LDR	R-1	R-1-7.2
448480021	0.19	LDR	R-1	R-1-7.2
448480022	0.28	LDR	R-1	R-1-7.2
£ 448480023	0.25	LDR	R-1	R-1-7.2
<u></u> 448481001	0.23	LDR	R-1	R-1-7.2
5 448481002	0.34	LDR	R-1	R-1-7.2
448481003	0.29	LDR	R-1	R-1-7.2
<u>~</u> 448481004	0.38	LDR	R-1	R-1-7.2
E 448481005	0.29	LDR	R-1	R-1-7.2
448481006	0.28	LDR	R-1	R-1-7.2
= 448481007	0.28	LDR	R-1	R-1-7.2
2 448481008	0.28	LDR	R-1	R-1-7.2
<u></u> 448481009	0.28	LDR	R-1	R-1-7.2
448481010	0.28	LDR	R-1	R-1-7.2
£ 448481011	0.28	LDR	R-1	R-1-7.2
448481012	0.28	LDR	R-1	R-1-7.2
G 448481013	0.44	LDR	R-1	R-1-7.2
2 448481014	0.33	LDR	R-1	R-1-7.2
5 448481015	0.25	LDR	R-1	R-1-7.2
[448481016	0.20	LDR	R-1	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448481017	0.20	LDR	R-1	R-1-7.2
<i>€</i> 448482001	0.18	LDR	R-1	R-1-7.2
2 448482002	0.20	LDR	R-1	R-1-7.2
£ 448482003	0.21	LDR	R-1	R-1-7.2
448482004	0.21	LDR	R-1	R-1-7.2
E 448330001	0.09	LMDR	R-1	SLR
448330002	0.10	LMDR	R-1	SLR
£ 448330003	0.10	LMDR	R-1	SLR
<u></u> 448330004	0.10	LMDR	R-1	SLR
448330005	0.10	LMDR	R-1	SLR
448330006	0.12	LMDR	R-1	SLR
448330007	0.21	LMDR	R-1	SLR
448330008	0.16	LMDR	R-1	SLR
£ 448330009	0.11	LMDR	R-1	SLR
£ 448330010	0.11	LMDR	R-1	SLR
£ 448330011	0.12	LMDR	R-1	SLR
448330012	0.18	LMDR	R-1	SLR
448330013	0.12	LMDR	R-1	SLR
448330014	0.11	LMDR	R-1	SLR
448330015	0.18	LMDR	R-1	SLR
£ 448330016	0.14	LMDR	R-1	SLR
448330017	0.11 0.12	LMDR	R-1 R-1	SLR SLR
£ 448330018 £ 448330019	0.12	LMDR LMDR	R-1	SLR
£ 448330019	0.12	LMDR	R-1	SLR
£ 448330020 £ 448330021	0.12	LMDR	R-1	SLR
£ 448330021	0.12	LMDR	R-1	SLR
£ 448331001	0.09	LMDR	R-1	SLR
£ 448331002	0.10		R-1	SLR
£ 448331003	0.09	LMDR	R-1	SLR
E 448331004	0.10	LMDR	R-1	SLR
448331005	0.10	LMDR	R-1	SLR
448331006	0.10	LMDR	R-1	SLR
E 448331007	0.10	LMDR	R-1	SLR
448331008	0.10	LMDR	R-1	SLR
448331009	0.10	LMDR	R-1	SLR
£ 448331010	0.10	LMDR	R-1	SLR
448332001	0.09	LMDR	R-1	SLR
448332002	0.09	LMDR	R-1	SLR
448332003	0.09	LMDR	R-1	SLR
E 448332004	0.09	LMDR	R-1	SLR
E 448332005	0.09	LMDR	R-1	SLR
£ 448332006	0.09	LMDR	R-1	SLR
E 448332007	0.09	LMDR	R-1	SLR
448332008	0.09	LMDR	R-1	SLR

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448332009	0.09	LMDR	R-1	SLR
448332010	0.09	LMDR	R-1	SLR
448332011	0.09	LMDR	R-1	SLR
448332012	0.10	LMDR	R-1	SLR
2 448332013	0.10	LMDR	R-1	SLR
448332014	0.09	LMDR	R-1	SLR
448332015	0.09	LMDR	R-1	SLR
448332016	0.09	LMDR	R-1	SLR
448332017	0.09	LMDR	R-1	SLR
448332018	0.09	LMDR	R-1	SLR
448332019	0.10	LMDR	R-1	SLR
448332020	0.10	LMDR	R-1	SLR
448332021	0.10	LMDR	R-1	SLR
448332022	0.10	LMDR	R-1	SLR
448332023	0.10	LMDR	R-1	SLR
448332024	0.10	LMDR	R-1	SLR
448333001	0.09	LMDR	R-1	SLR
448333002	0.09	LMDR	R-1	SLR
448333003	0.09	LMDR	R-1	SLR
£ 448333004	0.09	LMDR	R-1	SLR
448333005	0.09	LMDR	R-1	SLR
448333006	0.09	LMDR	R-1	SLR
448333007	0.09	LMDR	R-1	SLR
£ 448333008	0.09	LMDR	R-1	SLR
£ 448333010	0.09	LMDR LMDR	R-1 R-1	SLR SLR
£ 448333010	0.09	LMDR	R-1	SLR
448333012	0.10	LMDR	R-1	SLR
448333013	0.09	LMDR	R-1	SLR
£ 448333014	0.09	LMDR	R-1	SLR
448333015	0.09	LMDR	R-1	SLR
£ 448333016	0.09	LMDR	R-1	SLR
£ 448333017	0.09	LMDR	R-1	SLR
£ 448333018	0.09	LMDR	R-1	SLR
? 448333019	0.10	LMDR	R-1	SLR
E 448333020	0.10	LMDR	R-1	SLR
2 448333021	0.10	LMDR	R-1	SLR
£ 448333022	0.10	LMDR	R-1	SLR
£ 448333023	0.10	LMDR	R-1	SLR
448333024	0.10	LMDR	R-1	SLR
2 448334001	0.09	LMDR	R-1	SLR
£ 448334002	0.09	LMDR	R-1	SLR
6 448334003	0.09	LMDR	R-1	SLR
5 448334004	0.09	LMDR	R-1	SLR
2 448334005	0.09	LMDR	R-1	SLR

	GP CURRENT PROPOSED				
APN	ACRES		CURRENT	PROPOSED	
£ 448334006	0.00	DESIGNATION	ZONING	ZONING	
	0.09	LMDR	R-1	SLR	
	0.09	LMDR	R-1	SLR	
448334008	0.09	LMDR	R-1	SLR	
£ 448334009	0.09	LMDR	R-1	SLR	
£ 448334010	0.09	LMDR	R-1_	SLR	
<i>E</i> 448334011	0.09	LMDR	R-1	SLR	
£ 448334012	0.09	LMDR	R-1	SLR	
448334013	0.09	LMDR	R-1	SLR	
2 448334014	0.09	LMDR	R-1	SLR	
448334015	0.10	LMDR	R-1	SLR	
448334016	0.11	LMDR	R-1	SLR	
£ 448334017	0.16	LMDR	R-1	SLR	
£ 448334018	0.10	LMDR	R-1	SLR	
448334019	0.09	LMDR	R-1	SLR	
£ 448334020	0.09	LMDR	R-1	SLR	
€ 448334021	0.09	LMDR	R-1	SLR	
£ 448334022	0.09	LMDR	R-1	SLR	
2 448334023	0.09	LMDR	R-1	SLR	
<i>€</i> 448334024	0.09	LMDR	R-1	SLR	
448334025	0.09	LMDR	R-1	SLR	
2 448334026	0.09	LMDR	R-1	SLR	
<u></u> 448334027	0.09	LMDR	R-1	SLR	
6 448334028	0.09	LMDR	R-1	SLR	
<i>E</i> 448334029	0.09	LMDR	R-1	SLR	
£ 448334030	0.09	LMDR	∥ R-1	SLR	
£ 448350001	0.10	LMDR	R-1	SLR	
£ 448350002	0.10	LMDR	R-1	SLR	
£ 448350003	0.10	LMDR	R-1	SLR	
£ 448350004	0.10	LMDR	R-1	ŞLR	
448350005	0.10	LMDR	R-1	SLR	
£ 448350006	0.10	LMDR	R-1	SLR	
<i>E</i> 448350007	0.10	LMDR	R-1	SLR	
£ 448350008	0.10	LMDR	R-1	SLR	
448351001	0.10	LMDR	R-1	SLR	
£ 448351002	0.10	LMDR	R-1	SLR	
£ 448351003	0.10	LMDR	R-1	SLR	
E 448351004	0.10	LMDR	R-1	SLR	
/ 448351005	0.10	LMDR	R-1	SLR	
£ 448351006	0.10	LMDR	R-1	SLR	
£ 448351007	0.10	LMDR	R-1	SLR	
E 448351008	0.10	LMDR	R-1	SLR	
448351009	0.10	LMDR	R-1	SLR	
2 448351010	0.10	LMDR	R-1	SLR	
448351011	0.10	LMDR	R-1	SLR	
£ 448351012	0.11	LMDR	R-1	SLR	

GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	ZONING	ZONING
<u></u> 448351013	0.11	LMDR	R-1	SLR
448351014	0.11	LMDR	R-1	SLR
£ 448351015	0.11	LMDR	R-1	SLR
£ 448351016	0.11	LMDR	R-1	SLR
F 448351017	0.11	LMDR	R-1	SLR
£ 448351018	0.11	LMDR	R-1	SLR
F 448351019	0.11	LMDR	R-1	SLR
448351020	0.11	LMDR	R-1	SLR
F 448351021	0.11	LMDR	R-1	SLR
£ 448351022	0.11	LMDR	R-1	SLR
448351023	0.11	LMDR	R-1	SLR
£ 448351024	0.11	LMDR	R-1	SLR
£ 448351025	0.10	LMDR	R-1	SLR
£ 448351026	0.10	LMDR	R-1	SLR
£ 448351027	0.16	LMDR	R-1	SLR
<u>₹</u> 448351028	0.14	LMDR	R-1	SLR
448351029	0.14	LMDR	R-1	SLR
448351030	0.16	LMDR	R-1	SLR
£ 448351031	0.10	LMDR	R-1	SLR
448351032	0.10	LMDR	R-1	SLR
£ 448351033	0.11	LMDR	R-1	SLR
£ 448351034	0.11	LMDR	R-1	SLR
£ 448351035	0.11	LMDR	R-1	SLR
<u>₹</u> 448351036	0.11	LMDR	R-1	SLR
<u>£</u> 448351037	0.10	LMDR	R-1	SLR
<u>2</u> 448351038	0.10	LMDR	R-1	SLR
2 448351039	0.10	LMDR	R-1	SLR
448351040	0.10	LMDR	R-1	SLR
5 448351041	0.10	LMDR	R-1	SLR
£ 448351042	0.11	LMDR	R-1	SLR
£ 448351043	0.13	LMDR	R-1	SLR
448351044	0.17	LMDR	R-1	SLR
448351045	0.10	LMDR	R-1	SLR
448351046	0.09	LMDR	R-1	SLR
448351047	0.10	LMDR	R-1	SLR
448351048 448352001	0.10	LMDR	R-1	SLR
448352001 448352002	0.09	LMDR	R-1	SLR
¥ 448352002	0.09	LMDR LMDR	R-1	SLR
448352003	0.09	LMDR	R-1	SLR
448352004	0.09	LMDR	R-1	SLR SLR
¥ 448352005	0.09	LMDR	R-1	SLR
£ 448352007	0.09	LMDR	R-1	SLR
£ 448352007	0.09	LMDR	R-1	SLR
448352009	0.09	LMDR	R-1	SLR
<u>— ++0332003</u>	0.03	FINIDI	<i>L</i> /-T	2LV

	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	ZONING	ZONING	
448352010	0.08	LMDR	R-1	SLR	
448352010	0.10	LMDR	R-1	SLR	
£ 448352012	0.18	LMDR	R-1	SLR	
448352012	0.10	LMDR	R-1	SLR	
448352014	0.10	LMDR	R-1	SLR	
448352015	0.09	LMDR	R-1	SLR	
448352016	0.09	LMDR	R-1	SLR	
448352017	0.09	LMDR	R-1	SLR	
448352018	0.09	LMDR	R-1	SLR	
448352019	0.09	LMDR	R-1	SLR	
£ 448352020	0.09	LMDR	R-1	SLR	
£ 448352021	0.09	LMDR	R-1	SLR	
£ 448352022	0.09	LMDR	R-1	SLR	
<i>₩</i> 448352023	0.09	LMDR	R-1	SLR	
£ 448352024	0.09	LMDR	R-1	SLR	
448353001	0.10	LMDR	R-1	SLR	
448353002	0.10	LMDR	R-1	SLR	
£ 448353003	0.10	LMDR	R-1	SLR	
448353004	0.10	LMDR	R-1	SLR	
€ 448353005	0.10	LMDR	R-1	SLR	
<i>2</i> 448353006	0.10	LMDR	R-1	SLR	
£ 448353007	0.10	LMDR	R-1	SLR	
£ 448353008	0.09	LMDR	R-1	SLR	
2 448353009	0.09	LMDR	R-1	SLR	
£ 448353010	0.09	LMDR	R-1	SLR	
2 448353011	0.09	LMDR	R-1	SLR	
£ 448353012	0.09	LMDR	R-1	SLR	
£ 448354001	0.10	LMDR	R-1	SLR	
£ 448354002	0.10	LMDR	R-1	SLR	
448354003	0.10	LMDR	R-1	SLR	
448354004	0.10	LMDR	R-1	SLR	
£ 448354005	0.10	LMDR	R-1	SLR	
448354006	0.10	LMDR	R-1	SLR	
448354007	0.10	LMDR	R-1	SLR	
£ 448354008	0.09	LMDR	R-1	SLR	
448354009	0.09	LMDR	R-1	SLR	
£ 448354010	0.09	LMDR	R-1	SLR	
448354011	0.09	LMDR	R-1	SLR	
£ 448354012	0.09	LMDR	R-1	SLR	
£ 448355001	0.10 0.10	LMDR	R-1	SLR	
448355002 448355003	0.10	LMDR	R-1	SLR	
£ 448355004	0.10	LMDR LMDR	R-1 R-1	SLR	
£ 448355005	0.10	LMDR	R-1	SLR SLR	
448355006	0.10	LMDR			
440000000	0.10	FINDK	R-1	SLR	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448355007	0.10	LMDR	R-1	SLR
£ 448355008	0.10	LMDR	R-1	SLR
£ 448355009	0.10	LMDR	R-1	SLR
£ 448355010	0.11	LMDR	R-1	SLR
2 448355011	0.19	LMDR	R-1	SLR
£ 448355012	0.12	LMDR	R-1	SLR
£ 448355013	0.09	LMDR	R-1	SLR
448355014	0.09	LMDR	R-1	SLR
? 448355015	0.09	LMDR	R-1	SLR
448355016	0.09	LMDR	R-1	SLR
448355 017	0.09	LMDR	R-1	SLR
£ 448355018	0.09	LMDR	R-1	SLR
Out 446082001	0.27	LDR	R-2	R-1-7.2
446082002	0.28	LDR	R-2	R-1-7.2
446082003	0.18	LDR	R-2	R-1-7.2
446082008	0.21	LDR	R-2	R-1-7.2
446082009	0.18	LDR	R-2	R-1-7.2
446082010	0.18	LDR	R-2	R-1-7.2
446082011	0.18	LDR	R-2	R-1-7.2
446082012	0.18	LDR	R-2	R-1-7.2
446082013	0.18	LDR	R-2	R-1-7.2
446082014	0.18	LDR	R-2	R-1-7.2
446082015	0.18	LDR	R-2	R-1-7.2
446082016	0.18	LDR	R-2	R-1-7.2
446082017	0.19	LDR	R-2	R-1-7.2
446082019 446082020	0.18	LDR	R-2	R-1-7.2
442081022	0.18 0.21	LDR	R-2	R-1-7.2
447173032	0.15	LDR LDR	R-3 R-3	R-1-6
447173033	0.15	LDR	R-3	R-1-7.2
447173033	0.18	LDR	R-P	R-1-7.2
446052012	0.18	LDR	R-P	R-1-7.2 R-1-7.2
¥ 446052020	0.24	LDR	R-P	R-1-7.2
446052021	0.24	LDR	R-P	R-1-7.2
Out 446161001	0.15	LDR	S-1	R-1-7.2
446161002	0.14	LDR	S-1	R-1-7.2
446161003	0.20	LDR	S-1	R-1-7.2
446161006	0.19	LDR	S-1	R-1-7.2
446161007	0.19	LDR	S-1	R-1-7.2
446161008	0.19	LDR	S-1	R-1-7.2
446161009	0.15	LDR	S-1	R-1-7.2
454060018	15.03	LDR	A-10	A-1
455130021	4.85	MU	A-10	A-1
£ 455130022	5.38	MU	A-10	A-1
& 455130023	5.38	MU	A-10	A-1

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION		The Control of the Co
455130024	6.07	MU	ZONING A-10	ZONING
455130033	4.13	MU	A-10 A-10	A-1 A-1
	1.45	LDR	A-10 A-1-C	
439030002 551190003	9.34		 	R-1-7.2
551190003		School	A-1-C-1	P-
551060014	0.79	School	A-1-C-1	P-I
531060014 E+0 444240002	9.67	RR	A-1-C-1	R-1-6 (MHP)
	6.65	LDR	A-1-C-1	R-1-7.2
444240003	4.91	LDR	A-1-C-1	R-1-7.2
444240004	4.97	LDR	A-1-C-1	R-1-7.2
444240012	9.06	LDR	A-1-C-1	R-1-7.2
439030003	0.57	LDR	A-1-C-1	R-R
439030005	2.38	LDR	A-1-C-1	R-R
439030009	21.92	<u> </u>	A-1-C-1	R-R
439030014	2.20	RR	A-1-C-1	R-R
439030015	2.21	RR	A-1-C-1	R-R
439030016	2.64	RR	A-1-C-1	R-R
439040001	4.59	RR	A-1-C-1	R-R
444350002	0.99	RR	A-1-C-1	R-R
444350004	4.53	RR	A-1-C-1	R-R
444350005	4.68	RR	A-1-C-1	R-R
444350006	1.05	RR	A-1-C-1	R-R
444350007	1.02	RR	A-1-C-1	R-R
444350008	1.03	RR	A-1-C-1	R-R
444350011	0.96	RR	A-1-C-1	R-R
444350012	0.94	RR	A-1-C-1	R-R
444350013	1.02	RR	A-1-C-1	Ŕ̃-R
444350014	1.00	RR	A-1-C-1	R-R
444350015	1.02	RR	A-1-C-1	R-R
444350016	4.82	RR	A-1-C-1	R-R
444350017	1.99	RR	A-1-C-1	R-R
444350018	0.97	RR	A-1-C-1	R-R
444350019	1.00	RR	A-1-C-1	R-R
444350020	0.98	RR	A-1-C-1	R-R
444350021	1.02	RR	A-1-C-1	R-R
444350022	1.34	RR	A-1-C-1	R-R
444350023	0.91	RR	A-1-C-1	R-R
444350024	0.97	RR	A-1-C-1	R-R
444350025	0.96	RR	A-1-C-1	R-R
444350026	1.00	RR	A-1-C-1	R-R
444350027	0.98	RR	A-1-C-1	R-R
444350028	1.10	RR	A-1-C-1	R-R
444350029	1.00	RR	A-1-C-1	R-R
444350030	0.89	RR	A-1-C-1	R-R
444350031	1.31	RR	A-1-C-1	R-R
444350032	1.71	RR	A-1-C-1	R-R

	raceis Not Requiring a General Flan Amendment				
	APN	ACRES	GP	CURRENT	PROPOSED
Cal	444350039	1 27	DESIGNATION	ZONING	ZONING
VU		1.37	RR	A-1-C-1	R-R
+	444360041	2.34	RR	A-1-C-1	R-R
	444360042	2.36	RR	A-1-C-1	R-R
	444360043	1.22	RR	A-1-C-1	R-R
\vdash	444360044	0.29	RR	A-1-C-1	R-R
	444360045	0.42	RR	A-1-C-1	R-R
-	444360046	0.42	RR	A-1-C-1	R-R
	444360047	0.33	RR	A-1-C-1	R-R
	444360048	0.44	RR	A-1-C-1	R-R
	444360049	1.22	RR	A-1-C-1	R-R
Z.	444370001	1.51	RR	A-1-C-1	R-R
2	444370002	1.08	RR	A-1-C-1	R-R
E	444370003	1.43	RR	A-1-C-1	R-R
E	444370004	0.30	RR	A-1-C-1	R-R
K	444370005	2.40	RR	A-1-C-1	R-R
e	444370006	2.39	RR	A-1-C-1	R-R
2	444370007	2.18	RR_	A-1-C-1	R-R
B	444370008	2.20	RR	A-1-C-1	R-R
E	444370012	0.21	RR	A-1-C-1	R-R
F	444370013	0.99	RR	A-1-C-1	R-R
E	444370014	1.02	RR	A-1-C-1	R-R
E	444370015	7.65	RR	A-1-C-1	R-R
R	444370016	1.04	RR	A-1-C-1	R-R
E	444370017	1.58	RR	A-1-C-1	R-R
E	444370018	0.92	RR	A-1-C-1	R-R
E	444370019	0.92	RR	A-1-C-1	R-R
K	444370020	4.19	RR	A-1-C-1	R-R
E	444370021	2.08	RR	A-1-C-1	R-R
12	444370022	1.03	RR	A-1-C-1	R-R
	444370024	1.09	RR	A-1-C-1	R-R
	9444370025	1.07	RR	A-1-C-1	R-R
e	444370027	0.92	RR	A-1-C-1	R-R
E	444370028	0.92	RR	A-1-C-1	R-R
E	444370029	1.07	RR	A-1-C-1	R-R
<u>e</u>	444370030	1.09	RR	A-1-C-1	R-R
E	444370031	1.08	RR	A-1-C-1	R-R
E	444370033	1.03	RR	A-1-C-1	R-R
Opt	551050013	1.16	RR	A-1-C-1	R-R
\bot	551050014	1.19	RR	A-1-C-1	R-R
	551050015	1.03	RR	A-1-C-1	R-R
	551050016	1.05	RR	A-1-C-1	R-R
	551050017	1.15	RR	A-1-C-1	R-R
	551050018	1.15	RR	A-1-C-1	R-R
	551050019	1.02	RR	A-1-C-1	R-R
	551050020	1.03	RR	A-1-C-1	R-R

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	GP CURRENT PROPOSED				
	APN	ACRES		CURRENT	PROPOSED
4	FF1470024	1.01	DESIGNATION	ZONING	ZONING
CVA	551170021	1.04	RR	A-1-C-1	R-R
$\vdash \vdash$	551170022	1.09	RR	A-1-C-1	R-R
	551170043	1.09	RR	A-1-C-1	R-R
	551170044	1.07	RR	A-1-C-1	R-R
\sqcup	551190027	0.92	RR	A-1-C-1	R-R
	551190029	0.66	RR	A-1-C-1	R-R
Ц	551190030	0.77	RR	A-1-C-1	R-R
	551190033	0.82	RR	A-1-C-1	R-R
Ш	551190035	0.79	RR	A-1-C-1	R-R
Ш	551190041	2.01	RR	A-1-C-1	R-R
	551190042	1.00	RR	A-1-C-1	R-R
	551190043	0.79	RR	A-1-C-1	R-R
	551190044	0.79	RR	A-1-C-1	R-R
	551190045	1.11	RR	A-1-C-1	R-R
П	551190046	0.84	RR	A-1-C-1	R-R
	551190053	1.00	RR	A-1-C-1	R-R
\sqcap	551190054	1.01	RR	A-1-C-1	R-R
	551190055	0.98	RR	A-1-C-1	R-R
\vdash	551190056	0.81	RR	A-1-C-1	R-R
H	551190057	1.01	RR	A-1-C-1	R-R
H	551190058	1.02	RR	A-1-C-1	R-R
H	551190059	0.97	RR	A-1-C-1	. R-R
H	551190060	0.81	RR	A-1-C-1	R-R
H	551190061	0.92	RR	A-1-C-1	R-R
H	551190062	0.90	RR	A-1-C-1	R-R
H	551190074	2.45	RR	A-1-C-1	R-R
H	551190076	3.20	RR	A-1-C-1	R-R
H	444350034	1.12	RR	A-1-C-1 A-1-C-1/ A-2-C-5	R-R
\vdash	444350035	1.15	RR	A-1-C-1/ A-2-C-5	
H	444350036		RR	A-1-C-1/ A-2-C-5 A-1-C-1/ A-2-C-5	R-R
H		1.16			R-R
H	444350037	1.13	RR	A-1-C-1/A-2-C-5	R-R
\vdash	444350040	1.11	RR	A-1-C-1/A-2-C-5	R-R
${f H}$	444350041	1.29	RR	A-1-C-1/A-2-C-5	R-R
$\vdash\vdash$	444350042	1.32	RR	A-1-C-1/ A-2-C-5	R-R
$\vdash \vdash$	444350043	1.25	RR	A-1-C-1/A-2-C-5	R-R
${f H}$	444350044	1.34	RR	A-1-C-1/ A-2-C-5	R-R
$oldsymbol{+}$	444350045	1.33	RR	A-1-C-1/A-2-C-5	R-R
Н-	444350046	1.00	RR	A-1-C-1/ A-2-C-5	R-R
$\vdash \vdash$	444350047	0.98	RR .	A-1-C-1/ A-2-C-5	R-R
$\vdash \vdash$	444350048	0.93	RR	A-1-C-1/A-2-C-5	R-R
$oxed{oldsymbol{eta}}$	444350049	0.98	RR	A-1-C-1/ A-2-C-5	R-R
	444350050	0.98	RR	A-1-C-1/ A-2-C-5	R-R
Щ	444350051	0.83	RR	A-1-C-1/ A-2-C-5	R-R
ot	444350052	0.06	RR	A-1-C-1/ A-2-C-5	R-R
即大	5 444360001	0.91	RR	A-1-C-1/ A-2-C-5	R-R

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
0 +€ 444360002	0.90	RR	A-1-C-1/ A-2-C-5	R-R
444360003	0.88	RR	A-1-C-1/ A-2-C-5	R-R
444360004	0.92	RR	A-1-C-1/ A-2-C-5	R-R
444360005	0.89	RR	A-1-C-1/ A-2-C-5	R-R
444360006	0.87	RR	A-1-C-1/ A-2-C-5	R-R
444360007	0.94	RR	A-1-C-1/ A-2-C-5	R-R
444360008	0.91	RR	A-1-C-1/ A-2-C-5	R-R
444360009	0.91	RR	A-1-C-1/ A-2-C-5	R-R
Em 444360010	0.87	RR	A-1-C-1/ A-2-C-5	R-R
OFE 444360011	0.90	RR	A-1-C-1/ A-2-C-5	R-R
Ot 444360012	0.88	RR	A-1-C-1/ A-2-C-5	R-R
Out 444360013	0.90	RR	A-1-C-1/ A-2-C-5	R-R
444360014	0.97	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360015	0.91	RR	A-1-C-1/ A-2-C-5	R-R
<i>€</i> 444360016	0.91	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360017	0.88	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360018	0.92	RR	A-1-C-1/ A-2-C-5	R-R
E+0 444360019	0.90	RR	A-1-C-1/ A-2-C-5	R-R
OFE 444360020	0.91	RR	A-1-C-1/ A-2-C-5	R-R
Out 444360021	1.00	RR	A-1-C-1/ A-2-C-5	R-R
444360022	0.91	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360023	0.92	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360024	0.87	RR	A-1-C-1/ A-2-C-5	R-R
444360025	0.90	RR	A-1-C-1/ A-2-C-5	R-R
444360026	0.90	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360027	0.88	RR	A-1-C-1/ A-2-C-5	R-R
€ 10 444360028	0.96	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360029	0.96	RR	A-1-C-1/ A-2-C-5	R-R
444360030	1.03	RR	A-1-C-1/ A-2-C-5	R-R
444360031	0.99	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360032	1.01	RR	A-1-C-1/ A-2-C-5	R-R
£ 444360033	1.06	RR	A-1-C-1/A-2-C-5	R-R
444360034	1.02	RR	A-1-C-1/A-2-C-5	R-R
444360035	1.06	RR	A-1-C-1/A-2-C-5	R-R
444360037	7.17	RR	A-1-C-1/ A-2-C-5	R-R
444240001	1.78	LDR	A-1-C-2.5	R-1-7.2
04E 444240005	2.34	LDR	A-1-C-2.5	R-1-7.2
444240006	2.23	LDR	A-1-C-2.5	R-1-7.2
444240007 444240008	2.33 0.40	LDR	A-1-C-2.5	R-1-7.2
£ 443030001	1.01	LDR LDR	A-1-C-2.5	R-1-7.2
£ 443030001	0.72	LDR	A-1-C-5 A-1-C-5	R-1-7.2
443030002	0.72	LDR	A-1-C-5	R-1-7.2
£ 443030003	0.46	LDR	A-1-C-5	R-1-7.2
OVF 444240009	2.01	LDR		R-1-7.2
444240009	2.01	רחע	A-1-C-5	R-1-7.2

	Parcels Not Requiring a General Plan Amendment				
	APN	ACRES	GP	CURRENT	PROPOSED
A	439040002	1.18	DESIGNATION RR	ZONING	ZONING
UV	439040002	0.20	RR	A-1-C-5 A-1-C-5	R-R
	439040003	0.20	RR	A-1-C-5	R-R
$\vdash \vdash$	439040004	24.19			R-R
\vdash	439040009	4.45	LMDR RR	A-1-C-5	R-R
┝╂	439040019	12.24		A-1-C-5	R-R
\vdash	439050002	0.73	LMDR	A-1-C-5	R-R
$\vdash +$	439050002	1.23	RR RR	A-1-C-5	R-R
$\vdash \vdash$	439050004	1.39	RR	A-1-C-5 A-1-C-5	R-R
H	439050005	1.61	RR	A-1-C-5	R-R R-R
H	439050006	2.31	RR	A-1-C-5	R-R
\vdash	439050005	2.28	RR		
MIL	439050015		RR	A-1-C-5 A-1-C-5	R-R
	439050018		OP	A-1-C-5	R-R R-R
	• 444360040	4.80	RR	A-1-C-5 A-2-C-5	R-R
1	551170001	0.15	RR	LDR	R-R
$\vdash \vdash$	551170002	0.19	RR	LDR	R-R
	551170003	0.19	RR	LDR	R-R
H	551170005	0.23	RR	LDR	R-R
\vdash	551170006	0.30	RR	LDR	R-R
	551170009	0.23	RR	LDR	R-R
	551170012	0.33	RR	LDR	R-R
\vdash	551170013	0.18	RR	LDR	R-R
	551170014	0.33	RR	LDR	R-R
E	442140045	5.86	P	R-1	OS-R
Orr	451100030	1.43	HDR	R-1	R-3(S)
	451100033	4.01	HDR	R-1	R-3(S)
	451100034	0.37	HDR	R-1	R-3(S)
E	442131002	0.10	LMDR	R-1	SLR
民	442131003	0.10	LMDR	R-1	SLR
E	442131004	0.10	LMDR	R-1	SLR
E	442131005	0.12	LMDR	R-1	SLR
E	442131006	0.11	LMDR	R-1	SLR
E	442131007	0.11	LMDR	R-1	SLR
ij	442131008	0.12	LMDR	R-1	SLR
E	442131009	0.10	LMDR	R-1	SLR
E	442131010	0.10	LMDR	R-1	SLR
K	442131011	0.09	LMDR	R-1	SLR
2	442131012	0.09	LMDR	R-1	SLR
K	442131013	0.10	LMDR	R-1	SLR
E	442131014	0.12	LMDR	R-1	SLR
E	442131015	0.16	LMDR	R-1	SLR
8	442131016	0.10	LMDR	R-1	SLR
E ,	442131017	0.11	LMDR	R-1	SLR
E	442131018	0.20	LMDR	R-1	SLR

			GP	CURRENT	
	APN	ACRES	DESIGNATION	ZONING	PROPOSED
8	442131019	0.16	LMDR	R-1	ZONING
6	442131019	0.10	LMDR	R-1	SLR
6	442131021	0.13	LMDR	R-1	SLR
E	442131022	0.13	LMDR	R-1	SLR
E	442131023	0.13	LMDR		SLR
O E	442131024	0.14	LMDR	R-1 R-1	SLR SLR
5	442131025	0.10	LMDR	R-1	SLR
B	442131026	0.11	LMDR	R-1	SLR '
E	442131027	0.10	LMDR	R-1	SLR
E	442131028	0.10	LMDR	R-1	SLR
PE	442131029	0.09	LMDR	R-1	SLR
E	442131030	0.10	LMDR	R-1	SLR
E	442131031	0.10	LMDR	R-1	SLR
e	442131033	0.10	LMDR	R-1	SLR
E	442132001	0.10	LMDR	R-1	SLR
V P	442132002	0.10	LMDR	R-1	SLR
E	442132003	0.11	LMDR	R-1	SLR
2	442132004	0.10	LMDR	R-1	SLR
B	442132005	0.10	LMDR	R-1	SLR
E	442132006	0.10	LMDR	R-1	SLR
E	442132007	0.12	LMDR	R-1	SLR
E	442132008	0.20	LMDR	R-1	SLR
E	442132009	0.10	LMDR	R-1	SLR
8	442132010	0.09	LMDR	R-1	SLR
E	442132011	0.11	LMDR	R-1	ŞLR
E	442132012	0.09	LMDR	R-1	SLR
E	442132013	0.10	LMDR	R-1	SLR
B	442132014	0.10	LMDR	R-1	SLR
8	442132015	0.10	LMDR	R-1	SLR
R	442133001	0.11	LMDR	R-1	SLR
E	442133002	0.10	LMDR	R-1	SLR
<u> </u>	442133003	0.10	LMDR	R-1	SLR
E	442133004	0.11	LMDR	R-1	SLR
E	442133005	0.10	LMDR	R-1	SLR
E	442133006	0.10	LMDR	R-1	SLR
TE.	442133007	0.09	LMDR	R-1	SLR
E	442133008	0.10	LMDR	R-1	SLR
E	442133009	0.14	LMDR	R-1	SLR
E	442133010	0.14	LMDR	R-1	SLR
<u> </u>	442133011	0.10	LMDR	R-1	SLR
E	442133012	0.15	LMDR	R-1	SLR
6	442133013	0.11	LMDR	R-1	SLR
E	442133014	0.12	LMDR	R-1	SLR
E	442133015	0.10	LMDR	R-1	SLR
E	442133016	0.10	LMDR	R-1	SLR

			CURRENT	
APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED
442133017	0.11	LMDR	ZONING R-1	ZONING SLR
442133017	0.10	LMDR	R-1	SLR
442133019	0.10	LMDR	R-1	SLR
442133019	0.10	LMDR	R-1	
442133020	0.10	LMDR	R-1	SLR
442133021	0.10	LMDR	R-1	SLR SLR
£ 442133023	0.10	LMDR	R-1	SLR
442133024	0.11	LMDR	R-1	SLR
£ 442140001	0.11	LMDR	R-1	SLR
£ 442140002	0.09	LMDR	R-1	SLR
£ 442140003	0.11	LMDR	R-1	SLR
£ 442140004	0.10	LMDR	R-1	SLR
£ 442140005	0.11	LMDR	R-1	SLR
£ 442140006	0.10	LMDR	R-1	SLR
£ 442140007	0.11	LMDR	R-1	SLR
2 442140008	0.10	LMDR	R-1	SLR
E 442140009	0.12	LMDR	R-1	SLR
£ 442140010	0.10	LMDR	R-1	SLR
£ 442140011	0.09	LMDR	R-1	SLR
<u>F</u> 442140012	0.10	LMDR	R-1	SLR
£ 442140013	0.09	LMDR	R-1	SLR
442140014	0.11	LMDR	R-1	SLR
442140015	0.09	LMDR	R-1	SLR
<i>ξ</i> 442140016	0.10	LMDR	R-1	SLR
£ 442140017	0.10	LMDR	R-1	SLR
<i>E</i> 442140018	0.11	LMDR	R-1	SLR
442140019	0.10	LMDR	R-1	SLR
£ 442140020	0.09	LMDR	R-1	SLR
<u>€</u> 442140021	0.10	LMDR	R-1	SLR
442140022	0.10	LMDR	R-1	SLR
442140023	0.11	LMDR	R-1	SLR
‡ 442140024	0.10	LMDR	R-1	SLR
442140025	0.11	LMDR	R-1	SLR
442140026	0.10	LMDR	R-1	SLR
<u></u> 442140027	0.10	LMDR	R-1	SLR
<i>G</i> 442140028	0.10	LMDR	R-1	SLR
£ 442140029	0.10	LMDR	R-1	SLR
442140030	0.11	LMDR	R-1	SLR
£ 442140031	0.12	LMDR	R-1	SLR
442140032	0.12	LMDR	R-1	SLR
442140033	0.12	LMDR	R-1	SLR
<u>@</u> 442140034	0.11	LMDR	R-1	SLR
£ 442140037	0.15	LMDR	R-1	SLR
6 442140038	0.11	LMDR	R-1	SLR
442140039	0.09	LMDR	R-1	SLR

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
442140040	0.10	LMDR	R-1	SLR
£ 442140041	0.11	LMDR	R-1	SLR
442140042	0.12	LMDR	R-1	SLR
E 442140043	0.13	LMDR	R-1	SLR
442140044	0.11	LMDR	R-1	SLR
442140046	0.13	LMDR	R-1	SLR
P 442140047	0.10	LMDR	R-1	SLR
E 442151001	0.09	LMDR	R-1	SLR
£ 442151002	0.11	LMDR	R-1	SLR
442151003	0.10	LMDR	R-1	SLR
£ 442151004	0.10	LMDR	R-1	SLR
£ 442151005	0.11	LMDR	R-1	SLR
£ 442151006	0.10	LMDR	R-1	SLR
442151007	0.09	LMDR	R-1	SLR
442151008	0.09	LMDR	R-1	SLR
E 442151009	0.14	LMDR	R-1	SLR
P 442151010	0.16	LMDR	R-1	SLR
£ 442151012	0.11	LMDR	R-1	SLR
£ 442151013	0.11	LMDR	R-1	SLR
6 442151014	0.11	LMDR	R-1	SLR
E 442151015	0.12	LMDR	R-1	SLR
442151016	0.12	LMDR	R-1	SLR
£ 442151017	0.11	LMDR	R-1	SLR
442151018	0.10	LMDR	R-1	SLR
£ 442151019	0.10	LMDR	R-1	SLR
E 442151020	0.10	LMDR	R-1	SLR
£ 442151021	0.10	LMDR	R-1	SLR
£ 442151022	0.10	LMDR	R-1	SLR
£ 442151023	0.09	LMDR	R-1	SLR
£ 442151024	0.13	LMDR	R-1	SLR
442151025	0.14	LMDR	R-1	SLR
£ 442151026	0.10	LMDR	R-1	SLR
? 442151027	0.11	LMDR	R-1	SLR
£ 442151028	0.11	LMDR	R-1	SLR
<u>2</u> 442151029	0.10	LMDR	R-1	SLR
2 442151030	0.10	LMDR	R-1	SLR
<u></u> 442151031	0.09	LMDR	R-1	SLR
2 442152001	0.11	LMDR	R-1	SLR
<u>€</u> 442152002	0.11	LMDR	R-1	SLR
£ 442152003	0.11	LMDR	R-1	SLR
£ 442152004	0.21	LMDR	R-1	SLR
5 442152005	0.12	LMDR	R-1	SLR
<u>\$</u> 442152006	0.11	LMDR	R-1	SLR
442152007	0.12	LMDR	R-1	SLR
442152008	0.11	LMDR	R-1	SLR

5/29/2018

			GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
=	442152009	0.11	LMDR	R-1	SLR
B	442152010	0.11	LMDR	R-1	SLR
E	442152011	0.11	LMDR	R-1	SLR
E	442152012	0.10	LMDR	R-1	SLR
- C	442152013	0.10	LMDR	R-1	SLR
2	442152014	0.10	LMDR	R-1	SLR
E	442152015	0.10	LMDR	R-1	SLR
E	442152016	0.10	LMDR	R-1	SLR
2	442152017	0.10	LMDR	R-1	SLR
e	442152018	0.11	LMDR	R-1	SLR
e	442152019	0.11	LMDR	R-1	SLR
2	442152020	0.11	LMDR	R-1	SLR
E	446131002	0.08	LDR	R-1	SLR
E	446131003	0.08	LDR	R-1	SLR
R	446131004	0.08	LDR	R-1	SLR
E	446131005	0.11	LDR	R-1	SLR
B	446131006	0.12	LDR	R-1	SLR
E	446131007	0.12	LDR	R-1	SLR
2	446131008	0.08	LDR	R-1	SLR
B	446131009	0.08	LDR	R-1	SLR
8	446131010	0.09	LDR	R-1	SLR
E	446131011	0.09	LDR	R-1	SLR
E	446131012	0.08	LDR	R-1	SLR
E	446131013	0.08	LDR	R-1	SLR
E	446131014	0.12	LDR	R-1	SLR
2	446131015	0.12	LDR	R-1	SLR
E	446131016	0.12	LDR	R-1	SLR
E	446131017	0.08	LDR	R-1	SLR
E	446131018	0.08	LDR	R-1	SLR
E	446131019	0.10	LDR	R-1	SLR
	446131020	0.09	LDR	R-1	SLR
E	446131021	0.08	LDR	R-1	SLR
E	446131022	0.09	LDR	R-1	SLR
5	446131023	0.12	LDR	R-1	SLR
E	446131024	0.12	LDR	R-1	SLR
E	446131025	0.12	LDR	R-1	SLR
長	446131026	0.08	LDR	R-1	SLR
E	446131027	0.08	LDR	R-1	SLR
長	446131028	0.09	LDR	R-1	SLR
E	446131029	0.10	LDR	R-1	SLR
E	446131030	0.09	LDR	R-1	SLR
E	446131031	0.09	LDR	R-1	SLR
<u> </u>	446131032	0.09	LDR	R-1	SLR
2	446131033	0.09	LDR	R-1	SLR
	446131034	1.61	LDR	R-1	SLR

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
<i>6</i> 446131035	0.09	LDR	R-1	SLR
446131036	0.09	LDR	R-1	SLR
446131037	0.09	LDR	R-1	SLR
446131038	0.09	LDR	R-1	SLR
P 446131039	0.11	LDR	R-1	SLR
£ 446131040	0.10	LDR	R-1	SLR
446131041	0.08	LDR	R-1	SLR
446131042	0.12	LDR	R-1	SLR
£ 446131043	0.13	LDR	R-1	SLR
E 446131044	0.12	LDR	R-1	SLR
446131045	0.09	LDR	R-1	SLR
£ 446131046	0.11	LDR	R-1	SLR
£ 446131047	0.10	LDR	R-1	SLR
£ 446131048	0.08	LDR	R-1	SLR
£ 446131049	0.12	LDR	R-1	SLR
<u>£</u> 446131050	0.13	LDR	R-1	SLR
£ 446131051	0.12	LDR	R-1	SLR
£ 446131052	0.09	LDR	R-1	SLR
£ 446131053	0.11	LDR	R-1	SLR
£ 446131054	0.10	LDR	R-1	SLR
<i>€</i> 446131055	0.08	LDR	R-1	SLR
F 446131056	0.12	LDR	R-1	SLR
446131057	0.13	LDR	R-1	SLR
£ 446131058	0.12	LDR	R-1	SLR
£ 446131059	0.09	LDR	R-1	SLR
446131060	0.12	LDR_	R-1	SLR
<u>£</u> 446131061	0.09	LDR	R-1	SLR
446211001	0.10	LMDR	R-1	SLR(S)
446211002	0.09	LMDR	R-1	SLR(S)
446211003	0.09	LMDR	R-1	SLR(S)
£ 446211004	0.09	LMDR	R-1	SLR(S)
£ 446211005	0.09	LMDR	R-1	SLR(S)
446211006	0.09	LMDR	R-1	SLR(S)
£ 446211007	0.09	LMDR	R-1	SLR(S)
£ 446211008	0.09	LMDR	R-1	SLR(S)
£ 446211009 £ 446211010	0.09	LMDR	R-1	SLR(S)
£ 446211010 £ 446211011	0.10	LMDR	R-1	SLR(S)
£ 446211011 £ 446211012	0.10	LMDR	R-1	SLR(S)
£ 446211012 £ 446211013	0.08	LMDR LMDR	R-1	SLR(S)
446211013	0.08	LMDR	R-1 R-1	SLR(S)
£ 446211015	0.11	LMDR	R-1	SLR(S)
£ 446211016	0.11	LMDR	R-1	SLR(S) SLR(S)
£ 444370009	0.96	RR	R-1-10	R-R
£ 444370010	0.91	RR	R-1-10	R-R
- 444270010	0.51	1111	1/LT-TO	N-N

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	APN	ACRES	GP	CURRENT	PROPOSED
			DESIGNATION	ZONING	ZONING
K	444370011	2.85	RR	R-1-10	R-R
out	454060034	17.38	LDR	R-1-2	R-1-10 (H)
	451150034	8.30	LDR	R-1-6	R-1-7.2
E	442040001	18.81	MDR	R-1-6	R-2
E	448370001	0.10	LMDR	R-1-6	SLR
E	448370002	0.09	LMDR	R-1-6	SLR
E	448370003	0.09	LMDR	R-1-6	SLR
E	448370004	0.09	LMDR	R-1-6	SLR
E	448370005	0.09	LMDR	R-1-6	SLR
E	448370006	0.09	LMDR	R-1-6	SLR
E	448370007	0.10	LMDR	R-1-6	SLR
E	448370008	0.09	LMDR	R-1-6	SLR
2	448370009	0.09	LMDR	R-1-6	SLR
E	448370010	0.09	LMDR	R-1-6	SLR
K	448370011	0.09	LMDR	R-1-6	SLR
E	448370012	0.10	LMDR	R-1-6	SLR
E	448370013	0.09	LMDR	R-1-6	SLR
E	448370014	0.10	LMDR	R-1-6	SLR
E	448371001	0.09	LMDR	R-1-6	SLR
E	448371002	0.09	LMDR	R-1-6	SLR
E	448371003	0.09	LMDR	R-1-6	SLR
E	448371004	0.09	LMDR	R-1-6	SLR
E	448371005	0.09	LMDR	R-1-6	SLR
E	448371006	0.09	LMDR	R-1-6	SLR
E	448371007	0.09	LMDR	R-1-6	SLR
E	448371008	0.09	LMDR	R-1-6	SLR
E	448371009	0.09	LMDR	R-1-6	SLR
E	448371010	0.09	LMDR	R-1-6	ŞLR
H	448371011	0.09	LMDR	R-1-6	SLR
日	448371012	0.10	LMDR	R-1-6	ŞLR
K	448372001	0.10	LMDR	R-1-6	SLR
E	448372002	0.10	LMDR	R-1-6	SLR
E	448372003	0.10	LMDR	R-1-6	SLR
E	448372004	0.10	LMDR	R-1-6	SLR
E	448372005	0.10	LMDR	R-1-6	SLR
E	448372006	0.10	LMDR	R-1-6	SLR
E	448372007	0.10	LMDR	R-1-6	SLR
E	448372008	0.10	LMDR	R-1-6	SLR
E	448372009	0.10	LMDR	R-1-6	SLR
B	448372010	0.10	LMDR	R-1-6	SLR
E	448372011	0.10	LMDR	R-1-6	SLR
E	448372012	0.10	LMDR	R-1-6	SLR
8	448372013	0.10	LMDR	R-1-6	SLR
8	448372014	0.10	LMDR	R-1-6	SLR
E	448372015	0.10	LMDR	R-1-6	SLR

APN ACRES DESIGNATION ZONING ZONING E 448372016 0.10 LMDR R-1-6 SLR E 448372017 0.10 LMDR R-1-6 SLR E 448372018 0.10 LMDR R-1-6 SLR E 448372019 0.10 LMDR R-1-6 SLR E 448372020 0.10 LMDR R-1-6 SLR E 448372021 0.10 LMDR R-1-6 SLR E 448372022 0.10 LMDR R-1-6 SLR E 448372023 0.10 LMDR R-1-6 SLR E 448372024 0.10 LMDR R-1-6 SLR E 448373001 0.10 LMDR R-1-6 SLR E 448373002 0.10 LMDR R-1-6 SLR E 448373003 0.10 LMDR R-1-6 SLR E 448373005 0			GP	CURRENT	PROPOSED
E 448372016 0.10 LMDR R-1-6 SLR E 448372017 0.10 LMDR R-1-6 SLR E 448372018 0.10 LMDR R-1-6 SLR E 448372019 0.10 LMDR R-1-6 SLR E 448372020 0.10 LMDR R-1-6 SLR E 448372021 0.10 LMDR R-1-6 SLR E 448372022 0.10 LMDR R-1-6 SLR E 448372023 0.10 LMDR R-1-6 SLR E 448373001 0.10 LMDR R-1-6 SLR E 448373002 0.10 LMDR R-1-6 SLR E 448373003 0.10 LMDR R-1-6 SLR E 448373004 0.10 LMDR R-1-6 SLR E 448373005 0.10 LMDR R-1-6 SLR E 448373006	APN	ACRES			- Company
### ### ### ### ### ### ### ### ### ##	£ 448372016	0.10	The second second second		
### ### ### ### ### ### ### ### ### ##			·		
### ### ### ### ### ### ### ### ### ##			-		
€ 448372020 0.10 LMDR R-1-6 SLR € 448372021 0.10 LMDR R-1-6 SLR € 448372022 0.10 LMDR R-1-6 SLR € 448372023 0.10 LMDR R-1-6 SLR € 448372024 0.10 LMDR R-1-6 SLR € 448373001 0.10 LMDR R-1-6 SLR € 448373002 0.10 LMDR R-1-6 SLR € 448373003 0.10 LMDR R-1-6 SLR € 448373004 0.10 LMDR R-1-6 SLR € 448373005 0.10 LMDR R-1-6 SLR € 448373007 0.10 LMDR R-1-6 SLR € 448373008 0.10 LMDR R-1-6 SLR € 448373009 0.10 LMDR R-1-6 SLR € 448373009 0.10 LMDR R-1-6 SLR € 448373009 <t< th=""><th></th><td></td><td></td><td><u> </u></td><td> </td></t<>				<u> </u>	
E 448372021 0.10 LMDR R-1-6 SLR € 448372022 0.10 LMDR R-1-6 SLR € 448372023 0.10 LMDR R-1-6 SLR € 448372024 0.10 LMDR R-1-6 SLR € 448373001 0.10 LMDR R-1-6 SLR € 448373002 0.10 LMDR R-1-6 SLR € 448373003 0.10 LMDR R-1-6 SLR € 448373004 0.10 LMDR R-1-6 SLR € 448373005 0.10 LMDR R-1-6 SLR € 448373006 0.10 LMDR R-1-6 SLR € 448373008 0.10 LMDR R-1-6 SLR € 448373009 0.10 LMDR R-1-6 SLR € 448373010 0.10 LMDR R-1-6 SLR					
448372022 0.10 LMDR R-1-6 SLR 448372023 0.10 LMDR R-1-6 SLR 448372024 0.10 LMDR R-1-6 SLR 448373001 0.10 LMDR R-1-6 SLR 448373002 0.10 LMDR R-1-6 SLR 448373003 0.10 LMDR R-1-6 SLR 448373004 0.10 LMDR R-1-6 SLR 448373005 0.10 LMDR R-1-6 SLR 448373006 0.10 LMDR R-1-6 SLR 448373007 0.10 LMDR R-1-6 SLR 448373008 0.10 LMDR R-1-6 SLR 448373009 0.10 LMDR R-1-6 SLR 448373010 0.10 LMDR R-1-6 SLR					
E 448372023 0.10 LMDR R-1-6 SLR E 448372024 0.10 LMDR R-1-6 SLR E 448373001 0.10 LMDR R-1-6 SLR E 448373002 0.10 LMDR R-1-6 SLR E 448373003 0.10 LMDR R-1-6 SLR E 448373004 0.10 LMDR R-1-6 SLR E 448373005 0.10 LMDR R-1-6 SLR E 448373006 0.10 LMDR R-1-6 SLR E 448373007 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR			_		
£ 448372024 0.10 LMDR R-1-6 SLR £ 448373001 0.10 LMDR R-1-6 SLR £ 448373002 0.10 LMDR R-1-6 SLR £ 448373003 0.10 LMDR R-1-6 SLR £ 448373004 0.10 LMDR R-1-6 SLR £ 448373005 0.10 LMDR R-1-6 SLR £ 448373006 0.10 LMDR R-1-6 SLR £ 448373008 0.10 LMDR R-1-6 SLR £ 448373009 0.10 LMDR R-1-6 SLR £ 448373010 0.10 LMDR R-1-6 SLR					
E 448373001 0.10 LMDR R-1-6 SLR E 448373002 0.10 LMDR R-1-6 SLR E 448373003 0.10 LMDR R-1-6 SLR E 448373004 0.10 LMDR R-1-6 SLR E 448373005 0.10 LMDR R-1-6 SLR E 448373006 0.10 LMDR R-1-6 SLR E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR					-
€ 448373002 0.10 LMDR R-1-6 SLR € 448373003 0.10 LMDR R-1-6 SLR € 448373004 0.10 LMDR R-1-6 SLR € 448373005 0.10 LMDR R-1-6 SLR € 448373006 0.10 LMDR R-1-6 SLR € 448373007 0.10 LMDR R-1-6 SLR € 448373008 0.10 LMDR R-1-6 SLR € 448373009 0.10 LMDR R-1-6 SLR € 448373010 0.10 LMDR R-1-6 SLR	<i>E</i> 448373001	0.10			
E 448373004 0.10 LMDR R-1-6 SLR E 448373005 0.10 LMDR R-1-6 SLR E 448373006 0.10 LMDR R-1-6 SLR E 448373007 0.10 LMDR R-1-6 SLR E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR	448373002	0.10	LMDR		
E 448373005 0.10 LMDR R-1-6 SLR E 448373006 0.10 LMDR R-1-6 SLR E 448373007 0.10 LMDR R-1-6 SLR E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR	£ 448373003	0.10	LMDR	R-1-6	SLR
E 448373005 0.10 LMDR R-1-6 SLR E 448373006 0.10 LMDR R-1-6 SLR E 448373007 0.10 LMDR R-1-6 SLR E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR		0.10	LMDR		
E 448373007 0.10 LMDR R-1-6 SLR E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR	448373005	0.10	LMDR	R-1-6	SLR
E 448373008 0.10 LMDR R-1-6 SLR E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR	448373006	0.10	LMDR	R-1-6	SLR
E 448373009 0.10 LMDR R-1-6 SLR E 448373010 0.10 LMDR R-1-6 SLR	£ 448373007	0.10	LMDR	R-1-6	SLR
₹ 448373010 0.10 LMDR R-1-6 SLR	£ 448373008	0.10	LMDR	R-1-6	SLR
	? 448373009	0.10	LMDR	R-1-6	SLR
£ 448373011 0.10 LMDR R-1-6 SLR	? 448373010	0.10	LMDR	R-1-6	SLR
	£ 448373011	0.10	LMDR	R-1-6	SLR
		0.10	LMDR	R-1-6	SLR
## 448373013 0.11 LMDR R-1-6 SLR		0.11	LMDR	R-1-6	SLR
? 448373014 0.10 LMDR R-1-6 SLR			LMDR		SLR
P 448373015 0.15 LMDR R-1-6 SLR				1	
448373016 0.12 LMDR R-1-6 SLR				· · · · · · · · · · · · · · · · · · ·	
E 448373017 0.11 LMDR R-1-6 SLR					
E 448373018 0.17 LMDR R-1-6 SLR					
E 448373019 0.10 LMDR R-1-6 SLR	1			-	
## 448373020 0.10 LMDR R-1-6 SLR			*.		
### 448373021 0.10 LMDR R-1-6 SLR					
6 448373022 0.10 LMDR R-1-6 SLR					
£ 448373023 0.10 LMDR R-1-6 SLR £ 448373024 0.10 LMDR R-1-6 SLR	_	$\overline{}$			
6 448373025 0.10 LMDR R-1-6 SLR 6 448373026 0.10 LMDR R-1-6 SLR					
#48373026 0.10 LMDR R-1-6 SLR		-			
\$\begin{array}{c c c c c c c c c c c c c c c c c c c					
#48373029 0.10 LMDR R-1-6 SLR					
6 448373030 0.10 LMDR R-1-6 SLR					
6 448373031 0.10 LMDR R-1-6 SLR					
R 448373032 0.10 LMDR R-1-6 SLR		-			
≥ 448373033 0.10 LMDR R-1-6 SLR					
☐ 448373034 0.10 LMDR R-1-6 SLR					
€ 448373036 0.10 LMDR R-1-6 SLR				**	

	-		dining a General File	
APN	ACRES	GP	CURRENT	PROPOSED
17 440272027	0.40	DESIGNATION	ZONING	ZONING
448373037	0.10	LMDR	R-1-6	SLR
448373038	0.10	LMDR	R-1-6	SLR
448373039	0.10	LMDR	R-1-6	SLR
448373040	0.10	LMDR	R-1-6	SLR
448373041	0.09	LMDR	R-1-6	SLR
448373042	0.12	LMDR	R-1-6	SLR
£ 448373043	0.13	LMDR	R-1-6	SLR
<u> </u>	0.10	LMDR	R-1-6	SLR
£ 448373045	0.15	LMDR	R-1-6	SLR
448373046	0.11	LMDR	R-1-6	SLR
£ 448373047	0.09	LMDR	R-1-6	SLR
£ 448373048	0.10	LMDR	R-1-6	SLR
448373049	0.12	LMDR	R-1-6	SLR
£ 448373050	0.13	LMDR	R-1-6	SLR
<u>2</u> 448373051	0.12	LMDR	R-1-6	SLR
£ 448373052	0.12	LMDR	R-1-6	SLR
£ 448390001	0.11	LMDR	R-1-6	SLR
! 448390002	0.10	LMDR	R-1-6	SLR
E 448390003	0.10	LMDR	R-1-6	SLR
£ 448390004	0.10	LMDR	R-1-6	SLR
<i>E</i> 448390005	0.09	LMDR	R-1-6	SLR
£ 448390006	0.10	LMDR	R-1-6	SLR
£ 448390007	0.11	LMDR	R-1-6	SLR
£ 448390008	0.13	LMDR	R-1-6	SLR
448390009	0.11	LMDR	R-1-6	SLR
£ 448390010	0.08	LMDR	R-1-6	SLR
£ 448390011	0.09	LMDR	R-1-6	SLR
448390012	0.09	LMDR	R-1-6	SLR
448390013	0.09	LMDR	R-1-6	SLR
448390014	0.09	LMDR	R-1-6	SLR
448390015	0.09	LMDR	R-1-6	SLR
€ 448390016	0.09	LMDR	R-1-6	SLR
<u>F</u> 448390017	0.09	LMDR	R-1-6	SLR
£ 448390018	0.09	LMDR	R-1-6	SLR
448390019	0.08	LMDR	R-1-6	SLR
£ 448390020	0.12	LMDR	R-1-6	SLR
448390021	0.14	LMDR	R-1-6	SLR
448390022	0.10	LMDR	R-1-6	SLR
£ 448390023	0.10	LMDR	R-1-6	SLR
448390024	0.10	LMDR	R-1-6	SLR
£ 448390025	0.10	LMDR	R-1-6	SLR
448390026	0.10	LMDR	R-1-6	SLR
E 448390027	0.09	LMDR	R-1-6	SLR
448390028	0.10	LMDR	R-1-6	SLR
448390029	0.10	LMDR	R-1-6	SLR

)		Tarres	1
APN	ACRES	GP	CURRENT	PROPOSED
£ 440200020	0.00	DESIGNATION	ZONING	ZONING
448390030	0.09	LMDR	R-1-6	SLR
448390031	0.09	LMDR	R-1-6	SLR
448390032	0.09	LMDR	R-1-6	SLR
£ 448390033	0.09	LMDR	R-1-6	SLR
448390034	0.08	LMDR	R-1-6	SLR
£ 448390035	0.10	LMDR	R-1-6	SLR
£ 448390036		LMDR	R-1-6	SLR
448390037	0.11	LMDR	R-1-6	SLR
£ 448390038	0.15	LMDR	R-1-6	SLR
448390039	0.10	LMDR	R-1-6	SLR
448390040	0.08	LMDR	R-1-6	SLR
448390041	0.10	LMDR	R-1-6	SLR
C 448390042	0.10	LMDR	R-1-6	SLR
2 448390043	0.09	LMDR	R-1-6	SLR
2 448390044	0.09	LMDR	R-1-6	SLR
£ 448390045	0.10	LMDR	R-1-6	SLR
<i>E</i> 448390046	0.10	LMDR	R-1-6	SLR
£ 448390047	0.10	LMDR	R-1-6	SLR
2 448390048	0.10	LMDR	R-1-6	SLR
? 448390049	0.10	LMDR	R-1-6	SLR
£ 448390050	0.10	LMDR	R-1-6	SLR
2 448390051	0.09	LMDR	R-1-6	SLR
£ 448390052	0.09	LMDR	R-1-6	SLR
£ 448390053	0.11	LMDR	R-1-6	SLR
448390054	0.13	LMDR	R-1-6	SLR
448390055	0.11	LMDR	R-1-6	SLR
448390056	0.15	LMDR	R-1-6	SLR
C 448390057	0.08	LMDR	R-1-6	ŞLR
£ 448390058	0.08	LMDR	R-1-6	SLR
448390059	0.08	LMDR_	R-1-6	SLR
448390060	0.08	LMDR	R-1-6	SLR
448390061	0.09	LMDR	R-1-6	SLR
448390062	0.10	LMDR	R-1-6	SLR
£ 448390063	0.11	LMDR	R-1-6	SLR
<u></u> 448390064	0.10	LMDR	R-1-6	SLR
£ 448390065	0.10	LMDR	R-1-6	SLR
<u>£</u> 448390066	0.10	LMDR	R-1-6	SLR
£ 448390067	0.09	LMDR	R-1-6	SLR
448390068	0.09	LMDR	R-1-6	SLR
448390069	0.10	LMDR	R-1-6	SLR
<u>£</u> 448390070	0.10	LMDR	R-1-6	SLR
448391001	0.10	LMDR	R-1-6	SLR
448391002	0.09	LMDR	R-1-6	SLR
E 448391003	0.09	LMDR	R-1-6	SLR
E 448391004	0.09	LMDR	R-1-6	SLR

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	PROPOSED ZONING
448391005	0.09	LMDR	R-1-6	SLR
£ 448391006	0.09	LMDR	R-1-6	SLR
£ 448391007	0.09	LMDR	R-1-6	SLR
£ 448391008	0.09	LMDR	R-1-6	SLR
£ 448391009	0.09	LMDR	R-1-6	SLR
£ 448391009	0.09	LMDR	R-1-6	SLR
448391011	0.09	LMDR	R-1-6	SLR
448391012	0.10	LMDR	R-1-6	SLR
£ 448391013	0.10	LMDR	R-1-6	SLR
448391014	0.09	LMDR	R-1-6	SLR
448391015	0.09	LMDR	R-1-6	SLR
£ 448391016	0.14	LMDR	R-1-6	SLR
£ 448391017	0.10	LMDR	R-1-6	SLR
448391018	0.11	LMDR	R-1-6	SLR
£ 448391019	0.14	LMDR	R-1-6	SLR
<i>E</i> 448391020	0.09	LMDR	R-1-6	SLR
2 448391021	0.09	LMDR	R-1-6	SLR
448391022	0.10	LMDR	R-1-6	SLR
£ 448391023	0.10	LMDR	R-1-6	SLR
448391024	0.09	LMDR	R-1-6	SLR
448391025	0.09	LMDR	R-1-6	SLR
<i>E</i> 448391026	0.09	LMDR	R-1-6	SLR
£ 448391027	0.09	LMDR	R-1-6	SLR
<i>E</i> 448391028	0.09	LMDR	R-1-6	SLR
£ 448391029	0.09	LMDR	R-1-6	SLR
448391030	0.09	LMDR	R-1-6	SLR
£ 448391031	0.10	LMDR	R-1-6	SLR
6 448391032	0.09	LMDR	R-1-6	SLR
<u>₹</u> 448391033	0.09	LMDR	R-1-6	SLR
<u>2</u> 448391034	0.09	LMDR	R-1-6	SLR
2 448391035	0.10	LMDR	R-1-6	SLR
448391036	0.09	LMDR	R-1-6	SLR
448391037	0.09	LMDR	R-1-6	SLR
448391038	0.09	LMDR	R-1-6	SLR
448391039	0.13	LMDR	R-1-6	SLR
448391040	0.10	LMDR	R-1-6	SLR
448391041 448391042	0.10	LMDR	R-1-6	SLR
	0.13	LMDR	R-1-6	SLR
£ 448391043 E 448391044	0.09	LMDR	R-1-6	SLR
448391044	0.08	LMDR	R-1-6	SLR
£ 448391045	0.10	LMDR LMDR	R-1-6 R-1-6	SLR
6 448392001	0.10	LMDR	R-1-6	SLR
5 448392001	0.09	LMDR	R-1-6	SLR SLR
448392002	0.09	LMDR	R-1-6	
- ++033Z003		FIMIDA	<i>L</i> -1-Ω	SLR

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A	PN	ACRES	GP	CURRENT	PROPOSED
		2.22	DESIGNATION	ZONING	ZONING
	18392004	0.09	LMDR	R-1-6	SLR
	18392005	0.09	LMDR	R-1-6	SLR
<u> </u>	18392006	0.09	LMDR	R-1-6	SLR
	18392007	0.09	LMDR	R-1-6	SLR
	18392008	0.09	LMDR	R-1-6	SLR
	18392009	0.09	LMDR	R-1-6	SLR
	8392010	0.10	LMDR	R-1-6	SLR
	8392011	0.12	LMDR	R-1-6	SLR
	8392012	0.14	LMDR	R-1-6	SLR
	8392013	0.10	LMDR	R-1-6	SLR
	8392014	0.09	LMDR	R-1-6	SLR
	8392015	0.09	LMDR	R-1-6	SLR
	8392016	0.09	LMDR	R-1-6	SLR
	8392017	0.10	LMDR	R-1-6	SLR
	8392018	0.10	LMDR	R-1-6	SLR
	8400001	0.10	LMDR	R-1-6	SLR
E 44	8400002	0.08	LMDR	R-1-6	ŞLR
E 44	8400003	0.09	LMDR	R-1-6	SLR
£ 44	8400004	0.09	LMDR	R-1-6	SLR
E 44	8400005	0.09	LMDR	R-1-6	SLR
E 44	8400006	0.09	LMDR	R-1-6	SLR
4 4	8400007	0.09	LMDR	R-1-6	SLR
2 44	8400008	0.09	LMDR	R-1-6	SLR
€ 44	8400009	0.09	LMDR	R-1-6	SLR
<u>£</u> 44	8400018	0.09	LMDR	R-1-6	SLR
E 44	8400019	0.10	LMDR	R-1-6	SLR
E 44	8400020	0.15	LMDR	R-1-6	SLR
E 44	8400021	0.12	LMDR	R-1-6	SLR
<u>e</u> 44	8400022	0.09	LMDR	R-1-6	SLR
F 44	8400023	0.08	LMDR	R-1-6	SLR
E 44	8400024	0.09	LMDR	R-1-6	SLR
	8400025	0.09	LMDR	R-1-6	SLR
	8400026	0.09	LMDR	R-1-6	SLR
3-4	8400027	0.09	LMDR	R-1-6	SLR
	8400028	0.09	LMDR	R-1-6	SLR
	8400029	0.09	LMDR	R-1-6	SLR
-	8400030	0.09	LMDR	R-1-6	SLR
	8400031	0.11	LMDR	R-1-6	SLR
	8400032	0.09	LMDR	R-1-6	SLR
	8400033	0.09	LMDR	R-1-6	SLR
_	8400034	0.09	LMDR	R-1-6	SLR
	8400035	0.09	LMDR	R-1-6	SLR
·	8400036	0.09	LMDR	R-1-6	SLR
	8400037	0.09	LMDR	R-1-6	SLR
E 44	8400038	0.13	LMDR	R-1-6	SLR

	-	GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
448400039	0.14	LMDR	R-1-6	SLR
<i>€</i> 448400040	0.09	LMDR	R-1-6	SLR
448400041	0.08	LMDR	R-1-6	SLR
£ 448400042	0.09	LMDR	R-1-6	SLR
£ 448400043	0.09	LMDR	R-1-6	SLR
448400044	0.10	LMDR	R-1-6	SLR
448400045	0.10	LMDR	R-1-6	SLR
F 448400046	0.09	LMDR	R-1-6	SLR
£ 448400047	0.09	LMDR	R-1-6	SLR
<i>E</i> 448400048	0.08	LMDR	R-1-6	SLR
£ 448400049	0.09	LMDR	R-1-6	SLR
£ 448400050	0.15	LMDR	R-1-6	SLR
£ 448400051	0.14	LMDR	R-1-6	SLR
<u>448400052</u>	0.10	LMDR	R-1-6	SLR
£ 448400054	0.09	LMDR	R-1-6	SLR
2 448400055	0.09	LMDR	R-1-6	SLR
E 448400056	0.09	LMDR	R-1-6	SLR
448400057	0.09	LMDR	R-1-6	SLR
<i>E</i> 448400058	0.09	LMDR	R-1-6	SLR
<i>E</i> 448400059	0.09	LMDR	R-1-6	SLR
<i>E</i> 448400060	0.09	LMDR	R-1-6	SLR
448400061	0.09	LMDR	R-1-6	SLR
? 448401001	0.10	LMDR	R-1-6	SLR
£ 448401002	0.09	LMDR	R-1-6	SLR
E 448401003	0.09	LMDR	R-1-6	SLR
£ 448401004	0.09	LMDR	R-1-6	SLR
£ 448401005	0.09	LMDR	R-1-6	SLR
448401006	0.09	LMDR	R-1-6	SLR
<i>€</i> 448401007	0.09	LMDR	R-1-6	SLR
E 448401008	0.09	LMDR	R-1-6	SLR
£ 448401009	0.09	LMDR	R-1-6	SLR
£ 448401010	0.09	LMDR	R-1-6	SLR
£ 448401011	0.09	LMDR	R-1-6	SLR
£ 448401012	0.09	LMDR	R-1-6	SLR
2 448401013	0.09	LMDR	R-1-6	SLR
<u>£</u> 448401014	0.10	LMDR	R-1-6	SLR
£ 448401015	0.10	LMDR	R-1-6	SLR
448401016	0.09	LMDR	R-1-6	SLR
448401017	80.0	LMDR	R-1-6	SLR
£ 448401018	0.08	LMDR	R-1-6	SLR
£ 448401019	0.13	LMDR	R-1-6	SLR
£ 448401020	0.09	LMDR	R-1-6	SLR
£ 448401021	0.10	LMDR	R-1-6	SLR
£ 448401022	0.12	LMDR	R-1-6	SLR
🧲 448401023	0.08	LMDR	R-1-6	SLR

Parcels Not Requiring a General Plan Amendment				
APN	ACRES	GP	CURRENT	PROPOSED
# 449401024	0.00	DESIGNATION	ZONING	ZONING
448401024	0.08	LMDR	R-1-6	SLR
448401025	0.09	LMDR	R-1-6	SLR
448401026	0.10	LMDR	R-1-6	SLR
448401027	0.10	LMDR	R-1-6	SLR
<i>E</i> 448401028	0.09	LMDR	R-1-6	SLR
£ 448401029	0.09	LMDR	R-1-6	SLR
448401030	0.09	LMDR	R-1-6	SLR
£ 448401031	0.09	LMDR	R-1-6	SLR
448401032	0.10	LMDR	R-1-6	SLR
448401033	0.09	<u>LM</u> DR	R-1-6	SLR
448401034	0.09	LMDR	R-1-6	SLR
£ 448401035	0.10	LMDR	R-1-6	SLR
£ 448401036	0.09	LMDR	R-1-6	SLR
448401037	0.09	LMDR	R-1-6	SLR
£ 448401038	0.09	LMDR	R-1-6	SLR
E 448401039	0.09	LMDR	R-1-6	SLR
448401040	0.10	LMDR	R-1-6	SLR
<i>E</i> 448401041	0.11	LMDR	R-1-6	SLR
<u>£</u> 448401042	0.10	LMDR	R-1-6	SLR
£ 448401043	0.10	LMDR	R-1-6	SLR
= 448401044	0.10	LMDR	R-1-6	SLR
E 448401045	0.09	LMDR	R-1-6	SLR
£ 448401046	0.09	LMDR	R-1-6	SLR
£ 448401047	0.12	LMDR	R-1-6	SLR
448401048	0.09	LMDR	R-1-6	SLR
448401049	0.10	LMDR	R-1-6	SLR
448401050	0.13	LMDR	R-1-6	SLR
448401051	0.10	LMDR	R-1-6	SLR
<u>F</u> 448401052	0.09	LMDR	R-1-6	SLR
<u>E</u> 448401053	0.10	LMDR	R-1-6	SLR
<u></u> 448401054	0.10	LMDR	R-1-6	SLR
£ 448401055	0.10	LMDR	R-1-6	SLR
<u></u> 448401056	0.11	LMDR	R-1-6	SLR
<u>E</u> 448402001	0.10	LMDR	R-1-6	SLR
<u>₹ 448402002</u>	0.10	LMDR	R-1-6	SLR
£ 448402003	0.10	LMDR	R-1-6	SLR
<u>£</u> 448402004	0.10	LMDR	R-1-6	SLR
₹ 448402005	0.16	LMDR	R-1-6	SLR
\$\frac{1}{448402006}	0.13	LMDR	R-1-6	SLR
£ 448402007	0.11	LMDR	R-1-6	SLR
<u>\$\begin{align*} 448402008</u>	0.11	LMDR	R-1-6	SLR >
<u>Ç</u> 448402009	0.11	LMDR	R-1-6	SLR
448402010	0.11	LMDR	R-1-6	SLR
<u>E</u> 448402011	0.11	LMDR	R-1-6	SLR
448402012	0.12	LMDR	R-1-6	SLR

	Parcels Not Requiring a General Plan Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
		DESIGNATION	ZONING	ZONING	
448402013	0.12	LMDR	R-1-6	SLR	
448402014	0.11	LMDR	R-1-6	SLR	
448402015	0.10	LMDR	R-1-6	SLR	
448402016	0.11	LMDR	R-1-6	SLR	
448403001	0.11	LMDR	R-1-6	SLR	
448403002	0.10	LMDR	R-1-6	SLR	
£ 448403003	0.09	LMDR	R-1-6	SLR	
£ 448403004	0.08	LMDR	R-1-6	SLR	
448403005	0.09	LMDR	R-1-6	SLR	
£ 448403006	0.15	LMDR	R-1-6	SLR	
448403007	0.13	LMDR	R-1-6	SLR	
£ 448403008	0.09	LMDR	R-1-6	SLR	
£ 448403009	0.08	LMDR	R-1-6	SLR	
<i>E</i> 448403010	0.09	LMDR	R-1-6	SLR	
<i>E</i> 448403011	0.09	LMDR	R-1-6	SLR	
448403012	0.10	LMDR	R-1-6	SLR	
448403013	0.10	LMDR	R-1-6	SLR	
£ 448403014	0.09	LMDR	R-1-6	SLR	
2 448403015	0.09	LMDR	R-1-6	SLR	
£ 448403016	0.09	LMDR	R-1-6	SLR	
448403017	0.07	LMDR	R-1-6	SLR	
6 448403018	0.08	LMDR	R-1-6	SLR	
2 448403019	0.12	LMDR	R-1-6	SLR	
£ 448403020	0.09	LMDR	R-1-6	SLR	
448403021	0.09	LMDR	R-1-6	SLR	
E 448403022	0.12	LMDR	R-1-6	SLR	
448403023	0.09	LMDR	R-1-6	SLR	
448403024	0.08	LMDR	R-1-6	SLR	
£ 448403025	0.09	LMDR	R-1-6	SLR	
448403026	0.09	LMDR	R-1-6	SLR	
£ 448403027	0.09	LMDR	R-1-6	SLR	
448403028	0.09	LMDR	R-1-6	SLR	
448403029	0.09	LMDR	R-1-6	SLR	
£ 448403030	0.14	LMDR	R-1-6	SLR	
E 448403031	0.11	LMDR	R-1-6	SLR	
£ 448403032	0.09	LMDR	R-1-6	SLR	
448403033	0.09	LMDR	R-1-6	SLR	
5 448403034	0.10	LMDR	R-1-6	SLR	
448403035	0.10	LMDR	R-1-6	SLR	
448403036	0.10	LMDR	R-1-6	SLR	
448403037	0.10	LMDR	R-1-6	SLR	
448403038	0.09	LMDR	R-1-6	SLR	
448403039	0.09	LMDR	R-1-6	SLR	
448403040	0.10	LMDR	R-1-6	SLR	
5 448403041	0.09	LMDR	R-1-6	SLR	

	CD CURPENT PROPERTY				
APN	ACRES	GP	CURRENT	PROPOSED	
448410001	0.10	DESIGNATION	ZONING	ZONING	
448410001	0.10	LMDR	R-1-6	SLR	
448410002	0.09	LMDR	R-1-6	SLR	
448410003	0.09	LMDR	R-1-6	SLR	
448410004		LMDR	R-1-6	SLR	
448410003	0.08	LMDR	R-1-6	SLR	
£ 448411001	0.09	LMDR	R-1-6	SLR	
448411002	0.09	LMDR	R-1-6	SLR	
£ 448411003	0.09	LMDR LMDR	R-1-6	SLR	
£ 448411005	0.09	LMDR	R-1-6 R-1-6	SLR	
448411006	0.09	LMDR	R-1-6	SLR	
448411007	0.09	LMDR	R-1-6	SLR	
448411008	0.09	LMDR	R-1-6	SLR SLR	
£ 448411009	0.09	LMDR	R-1-6	SLR	
£ 448411010	0.09	LMDR	R-1-6	SLR	
£ 448411011	0.09	LMDR	R-1-6	SLR	
2 448411012	0.09	LMDR	R-1-6	SLR	
£ 448411013	0.09	LMDR	R-1-6	SLR	
2 448411014	0.10	LMDR	R-1-6	SLR	
? 448412001	0.10	LMDR	R-1-6	SLR	
£ 448412002	0.09	LMDR	R-1-6	SLR	
£ 448412003	0.09	LMDR	R-1-6	SLR	
£ 448412004	0.09	LMDR	R-1-6	SLR	
£ 448412005	0.09	LMDR	R-1-6	SLR	
£ 448412006	0.09	LMDR	R-1-6	SLR	
£ 448412007	0.09	LMDR	R-1-6	SLR	
£ 448412008	0.09	LMDR	R-1-6	SLR	
448412009	0.09	LMDR	R-1-6	SLR	
448412010	0.10	LMDR	R-1-6	SLR	
5 448412011	0.10	LMDR	R-1-6	SLR	
£ 448412012	0.09	LMDR	R-1-6	SLR	
£ 448412013	0.09	LMDR	R-1-6	SLR	
448412014	0.09	LMDR	R-1-6	SLR	
£ 448412015	0.09	LMDR	R-1-6	SLR	
£ 448412016	0.09	LMDR	R-1-6	SLR	
£ 448412017	0.09	LMDR	R-1-6	SLR	
448412018	0.09	LMDR	R-1-6	SLR	
6 448412019	0.09	LMDR	R-1-6	SLR	
448412020	0.10	LMDR	R-1-6	SLR	
E 448413001	0.11	LMDR	R-1-6	SLR	
448413002	0.10	LMDR	R-1-6	SLR	
<i>E</i> 448413003	0.10	LMDR	R-1-6	SLR	
<u>~ 4</u> 48413004	0.10	LMDR	R-1-6	SLR	
<u></u> 448413005	0.11	LMDR	R-1-6	SLR	
£ 448413006	0.16	LMDR	R-1-6	SLR	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	PROPOSED
448413007	0.13	LMDR		ZONING
448413007	0.13	LMDR	R-1-6 R-1-6	SLR
448413008	0.09	LMDR	 	SLR
448413010	0.09	LMDR	R-1-6	SLR
448413010			R-1-6	SLR
# 448413011 # 448413012	0.09	LMDR	R-1-6	SLR
# 448413013	0.09	LMDR	R-1-6	SLR
£ 448413014	0.09	LMDR	R-1-6	SLR
F 448413015	0.09	LMDR LMDR	R-1-6	SLR
##48413015 ##48413016	0.09		R-1-6	SLR
£ 448413017	0.09	LMDR LMDR	R-1-6 R-1-6	SLR
448413017	0.10			SLR
£ 448413019	0.10	LMDR LMDR	R-1-6	SLR
£ 448413019	0.10	LMDR	R-1-6 R-1-6	SLR
## 448413020 ## 448413021	0.09	LMDR		SLR
##48413021 ### 448413022	0.09	LMDR	R-1-6 R-1-6	SLR SLR
448413023	0.09	LMDR	R-1-6	SLR
£ 448413024	0.09	LMDR	R-1-6	SLR
£ 448413025	0.09	LMDR	R-1-6	SLR
£ 448413026	0.09	LMDR	R-1-6	SLR
£ 448413027	0.09	LMDR	R-1-6	SLR
£ 448413028	0.09	LMDR	R-1-6	SLR
£ 448413029	0.08	LMDR	R-1-6	SLR
F 448413030	0.10	LMDR	R-1-6	SLR
F 448413031	0.16	LMDR	R-1-6	SLR
448413032	0.11	LMDR	R-1-6	SLR
£ 448413033	0.10	LMDR	R-1-6	SLR
£ 448413034	0.10	LMDR	R-1-6	SLR
448413035	0.10	LMDR	R-1-6	SLR
<i>E</i> 448413036	0.09	LMDR	R-1-6	SLR
£ 448413037	0.11	LMDR	R-1-6	SLR
448413038	0.12	LMDR	R-1-6	SLR
448413039	0.17	LMDR	R-1-6	SLR
448413040	0.10	LMDR	R-1-6	ŞLR
448413041	0.08	LMDR	R-1-6	SLR
448413042	0.09	LMDR	R-1-6	SLR
448413043	0.09	LMDR	R-1-6	SLR
448413044	0.10	LMDR	R-1-6	SLR
2 448414001	0.08	LMDR	R-1-6	SLR
448414002	0.09	LMDR	R-1-6	SLR
£ 448414003	0.09	LMDR	R-1-6	SLR
6 448414004	0.09	LMDR	R-1-6	SLR
<u>E</u> 448414005	0.09	LMDR	R-1-6	SLR
<u></u> 448414006	0.09	LMDR	R-1-6	SLR
<u>=</u> 448414007	0.09	LMDR	R-1-6	SLR

	Turces Not requiring a General Flatt Amendment				
	APN	ACRES	GP	CURRENT	PROPOSED
	7 440444000	0.00	DESIGNATION	ZONING	ZONING
	448414008	0.09	LMDR	R-1-6	SLR
E		0.09	LMDR	R-1-6	SLR
1.6	448414010	0.09	LMDR	R-1-6	SLR
E		0.10	LMDR	R-1-6	SLR
6		0.09	<u>LM</u> DR	R-1-6	SLR
	448414013	0.09	LMDR	R-1-6	SLR
	448414014	0.09	LMDR	R-1-6	SLR
E		0.09	LMDR	R-1-6	SLR
E	448414016	0.09	LMDR	R-1-6	SLR
<u> </u>		0.09	LMDR	R-1-6	SLR
E	448414018	0.09	LMDR	R-1-6	SLR
E	448414019	0.09	LMDR	R-1-6	SLR
E	1 10 12 1020	0.09	LMDR	R-1-6	SLR
0	451121001	0.11	LDR	R-1-6	SLR
	451121002	0.09	LDR	R-1-6	SLR
	451121003	0.10	LDR	R-1-6	SLR
	451121004	0.09	LDR	R-1-6	SLR
	451121005	0.09	LDR	R-1-6	SLR
	451121006	0.09	LDR	R-1-6	SLR
	451121007	0.10	LDR	R-1-6	SLR
	451121008	0.09	LDR	R-1-6	SLR
	451121009	0.09	LDR	R-1-6	SLR
	451121010	0.09	LDR	R-1-6	SLR
	451121011	0.10	LDR	R-1-6	SLR
	451121012	0.09	LDR	R-1-6	SLR
	451121013	0.12	LDR	R-1-6	SLR
	451121014	0.12	LDR	R-1-6	SLR
	451121015	0.12	LDR	R-1-6	SLR
	451121016	0.09	LDR	R-1-6	SLR
	451121017	0.08	LDR	R-1-6	SLR
	451121018	0.09	LDR	R-1-6	SLR
	451121019	0.10	LDR	R-1-6	SLR
	451121020	0.10	LDR	R-1-6	SLR
	451121021	0.10	LDR	R-1-6	SLR
	451121022	0.13	LDR	R-1-6	SLR
	451121023	0.13	LDR	R-1-6	SLR
	451121024	0.11	LDR	R-1-6	SLR
	451121025	0.08	LDR	R-1-6	SLR
	451121026	0.09	LDR	R-1-6	SLR
	451121027	0.08	LDR	R-1-6	SLR
	451121028	0.10	LDR	R-1-6	SLR
	451121029	0.09	LDR	R-1-6	SLR
	451121030	0.10	LDR	R-1-6	SLR
	451121031	0.12	LDR	R-1-6	SLR
	451121032	0.11	LDR	R-1-6	SLR

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k				CURRENT.	
	APN	ACRES	GP	CURRENT	PROPOSED
			DESIGNATION	ZONING	ZONING
On	451121033	0.10	LDR	R-1-6	SLR
	451121034	0.07	LDR	R-1-6	SLR
	451121035	0.08	LDR	R-1-6	SLR
Ш	451121036	0.08	LDR	R-1-6	SLR
	451121037	0.10	LDR	R-1-6	SLR
	451121038	0.10	LDR	R-1-6	SLR
	451121039	80.0	LDR	R-1-6	SLR
	451121040	0.11	LDR	R-1-6	SLR
	451121041	0.12	LDR	R-1-6	SLR
$oldsymbol{\perp}$	451121042	0.12	LDR	R-1-6	SLR
	451121043	0.10	LDR	R-1-6	SLR
	451121044	0.12	LDR	R-1-6	SLR
	451121045	0.09	LDR	R-1-6	SLR
	451121046	0.08	LDR	R-1-6	SLR
	451121047	0.12	LDR	R-1-6	SLR
	451121048	0.13	LDR	R-1-6	SLR
П	451121049	0.13	LDR	R-1-6	SLR
	451121050	0.10	LDR	R-1-6	SLR
П	451121051	0.12	LDR	R-1-6	SLR
П	451121052	0.10	LDR	R-1-6	SLR
П	451121053	0.08	LDR	R-1-6	SLR
П	451121054	0.12	LDR	R-1-6	SLR
П	451121055	0.13	LDR	R-1-6	SLR
	451121056	0.12	LDR ,	R-1-6	SLR
	451121057	0.10	LDR	R-1-6	SLR
П	451121058	0.11	LDR	R-1-6	SLR
П	451121059	1.35	LDR	R-1-6	SLR
計	0 444240011	39.12	LDR	R-1-7.2/ R-1-10	R-1-7.2
	451170002	1.91	LDR	R-1-8	R-1-6
\prod	451170005	0.14	LDR	R-1-8	R-1-6
П	451170006	0.14	LDR	R-1-8	R-1-6
	451170007	0.14	LDR	R-1-8	R-1-6
	451170008	0.14	LDR	R-1-8	R-1-6
	451170009	0.14	LDR	R-1-8	R-1-6
	451170010	0.14	LDR	R-1-8	R-1-6
	451170011	0.14	LDR	R-1-8	R-1-6
	451170012	0.16	LDR	R-1-8	R-1-6
	451170015	0.17	LDR	R-1-8	R-1-6
	451170016	0.14	LDR	R-1-8	R-1-6
	451170017	0.14	LDR	R-1-8	R-1-6
	451170018	0.14	LDR	R-1-8	R-1-6
	451170019	0.14	LDR	R-1-8	R-1-6
	451170020	0.14	LDR	R-1-8	R-1-6
	451170022	0.35	LDR	R-1-8	R-1-6
	447041002	0.23	LDR	R-1-8	R-1-7.2
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	GP CURRENT PROPOSED				
APN	ACRES	DESIGNATION	ZONING	PROPOSED	
Out 447041003	0.24	LDR	R-1-8	ZONING	
447041005	0.54	LDR	R-1-8	R-1-7.2	
451122003	0.28	LDR	R-1-8	R-1-7.2	
451122004	0.18	LDR	R-1-8	R-1-7.2	
451122005	0.19	LDR	R-1-8	R-1-7.2	
451122006	0.18	LDR	R-1-8	R-1-7.2 R-1-7.2	
451122007	0.19	LDR	R-1-8	R-1-7.2	
451122008	0.19	LDR	R-1-8	R-1-7.2	
451122009	0.18	LDR	R-1-8	R-1-7.2	
451123001	0.20	LDR	R-1-8	R-1-7.2	
451123002	0.19	LDR	R-1-8	R-1-7.2	
451123003	0.20	LDR	R-1-8	R-1-7.2	
451123004	0.20	LDR	R-1-8	R-1-7.2	
451123005	0.20	LDR	R-1-8	R-1-7.2	
451123006	0.20	LDR	R-1-8	R-1-7.2	
451123007	0.23	LDR	R-1-8	R-1-7.2	
451123008	0.20	LDR	R-1-8	R-1-7.2	
451123009	0.20	LDR	R-1-8	R-1-7.2	
451123010	0.20	LDR	R-1-8	R-1-7.2	
451123011	0.20	LDR	R-1-8	R-1-7.2	
451123012	0.20	LDR	R-1-8	R-1-7.2	
451123013	0.20	LDR	R-1-8	R-1-7.2	
451123014	0.21	LDR	R-1-8	R-1-7.2	
451124001	0.26	LDR	R-1-8	R-1-7.2	
451124002	0.26	LDR	R-1-8	R-1-7.2	
451124003	0.26	LDR	R-1-8	R-1-7.2	
451124004	0.26	LDR	R-1-8	R-1-7.2	
451124005	0.25	LDR	R-1-8	R-1-7.2	
451124006	0.22	LDR	R-1-8	R-1-7.2	
451124007	0.21	LDR	R-1-8	R-1-7.2	
451124008	0.21	LDR	R-1-8	R-1-7.2	
451124009	0.20	LDR	R-1-8	R-1-7.2	
451124010	0.21	LDR	R-1-8	R-1-7.2	
451124011	0.21	LDR	R-1-8	R-1-7.2	
451124012	0.21	LDR	R-1-8	R-1-7.2	
451124013	0.38	LDR	R-1-8	R-1-7.2	
445150001	9.09	MDR	R-1-8/SLR	SLR	
439271001	0.53	LDR	R-1-C	R-2	
444250001	18.21	MDR	R-1-C	R-2	
£ 444250002	18.00	MDR	R-1-C	R-2	
	18.08	MDR	R-1-C	R-2	
439030017 439030018	0.98	RR	R-1-C	R-R	
439030018	0.88	RR	R-1-C	R-R	
439272012		RR	R-1-C	R-R	
459272012	0.47	LDR	R-2	R-1.7.2	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
<u>£</u> 442172018	0.12	LMDR	R-2	R-1-6
442172019	0.14	LMDR	R-2	R-1-6
442172020	0.13	LMDR	R-2	R-1-6
442172021	0.14	LMDR	R-2	R-1-6
442172022	0.14	LMDR	R-2	R-1-6
<i>E</i> 442172023	0.26	LMDR	R-2	R-1-6
E 442172024	0.15	LMDR	R-2	R-1-6
£ 442172025	0.15	LMDR	R-2	R-1-6
£ 442172026	0.14	LMDR	R-2	R-1-6
£ 442172027	0.21	LMDR	R-2	R-1-6
£ 442172028	0.25	LMDR	R-2	R-1-6
£ 442172029	0.15	LMDR	R-2	R-1-6
442172030	0.14	LMDR	R-2	R-1-6
442172031	0.14	LMDR	R-2	R-1-6
<i>2</i> 442172032	0.14	LMDR	R-2	R-1-6
£ 442172034	0.22	LMDR	R-2	R-1-6
<i>E</i> 442172035	0.12	LMDR	R-2	R-1-6
<u>£</u> 442173001	0.12	LMDR	R-2	R-1-6
<u>2</u> 442173002	0.14	LMDR	R-2	R-1-6
<i>2</i> 442173003	0.14	LMDR	R-2	R-1-6
<i>E</i> 442173004	0.17	LMDR	R-2	R-1-6
£ 442173005	0.15	LMDR	R-2	R-1-6
442173006	0.17	LMDR	R-2	R-1-6
<i>E</i> 442173007	0.14	LMDR	R-2	R-1-6
£ 442173008	0.13	LMDR	R-2	R-1-6
¥ 442173009	0.12	LMDR	R-2	R-1-6
<u>€</u> 446020057	1.40	LDR	R-2	R-1-6
446033001	0.13	LDR	R-2	R-1-6
£ 446033002	0.13	LDR	R-2	R-1-6
£ 446033003	0.13	LDR	R-2	R-1-6
£ 446033004	0.13	LDR	R-2	R-1-6
446033005	0.13	LDR	R-2	R-1-6
446033006	0.13	LDR	R-2	R-1-6
# 446033007 # 446033008	0.13	LDR	R-2	R-1-6
	0.14	LDR	R-2	R-1-6
£ 446033009 £ 446041001	0.14	LDR	R-2	R-1-6
£ 446041001 £ 446041002	0.08	LDR LDR	R-2	R-1-6
£ 446041002	0.07	LDR	R-2	R-1-6
£ 446041003	0.15	LDR	R-2	R-1-6 R-1-6
446041004	0.13	LDR	R-2	R-1-6 R-1-6
£ 446041006	0.26	LDR	R-2	R-1-6
£ 446041007	0.21	LDR	R-2	R-1-6
¥46041008	0.13	LDR	R-2	R-1-6
446041009	0.19	LDR	R-2	R-1-6
170071003	0.13	LDI	11-2	V-T-0

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 446041010	0.16	LDR	R-2	R-1-6
446041011	0.16	LDR	R-2	R-1-6
446041012	0.16	LDR	R-2	R-1-6
F 446041013	0.16	LDR	R-2	R-1-6
F 446041014	0.32	LDR	R-2	R-1-6
446041015	0.46	LDR	R-2	R-1-6
# 446041016	0.28	LDR	R-2	R-1-6
446041017	0.18	LDR	R-2	R-1-6
£ 446041018	0.15	LDR	R-2	R-1-6
£ 446041019	0.15	LDR	R-2	R-1-6
446041020	0.21	LDR	R-2	R-1-6
£ 446042001	0.12	LDR	R-2	R-1-6
£ 446042002	0.12	LDR	R-2	R-1-6
446042003	0.18	LDR	R-2	R-1-6
E 446042004	0.18	LDR	R-2	R-1-6
£ 446042006	0.18	LDR	R-2	R-1-6
£ 446042007	0.15	LDR	R-2	R-1-6
2 446042008	0.15	LDR	R-2	R-1-6
<u>£</u> 446042009	0.15	LDR	R-2	R-1-6
446042011	0.18	LDR	R-2	R-1-6
E 446042012	0.15	LDR	R-2	R-1-6
<u>£</u> 446042013	0.15	LDR	R-2	R-1-6
<u> </u>	0.15	LDR	R-2	R-1-6
E 446042015	0.21	LDR	R-2	R-1-6
€ 446042016	0.10	LDR	R-2	R-1-6
E 446042017	0.15	LDR	R-2	R-1-6
<u>\$ 446042018</u>	0.18	LDR	R-2	R-1-6
<u> </u>	0.15	LDR	R-2	R-1-6
<i>E</i> 446042021	0.15	LDR	R-2	R-1-6
<u>F</u> 446042022	0.15	LDR	R-2	R-1-6
£ 446042023	0.18	LDR	R-2	R-1-6
£ 446042024	0.12	LDR	R-2	R-1-6
446042025	0.15	LDR	R-2	R-1-6
£ 446042026	0.15	LDR	R-2	R-1-6
446042027 446043001	0.18	LDR	R-2	R-1-6
	0.14	LDR	R-2	R-1-6
1100.0002	0.29	LDR	R-2	R-1-6
	0.16	LDR	R-2	R-1-6
E 446043004	0.14	LDR	R-2	R-1-6
£ 446043005	0.14	LDR LDR	R-2	R-1-6
£ 446043008	0.13	LDR	R-2	R-1-6
\$ 446043007	0.14	LDR	R-2 R-2	R-1-6
£ 446043009	0.14	LDR	R-2	R-1-6
446043009	0.14	LDR		R-1-6
<u>→ ++0043010</u>		LDK	R-2	R-1-6

حنسا		CD CURRENT PRODUCTE				
	APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED	
Pag.	445042044	0.44	DESIGNATION	ZONING	ZONING	
E	446043011	0.14	LDR	R-2	R-1-6	
8	446043012	0.15	LDR	R-2	R-1-6	
E	446043013	0.15	LDR	R-2	R-1-6	
E	446043014	0.15	LDR	R-2	R-1-6	
E	446043015	0.15	LDR	R-2	R-1-6	
E	446043016	0.15	LDR	R-2	R-1-6	
E	446043017	0.16	LDR	R-2	R-1-6	
2	446043018	0.16	LDR	R-2	R-1-6	
8	446043019	0.16	LDR	R-2	R-1-6	
<u></u>	446043020	0.19	LDR	R-2	R-1-6	
E	446043021	0.23	LDR	R-2	R-1-6	
12	456151019	0.18	LDR	R-2	R-1-6	
D	456151020	0.15	LDR	R-2	R-1-6	
12	456151021	0.16	LDR	R-2	R-1-6	
1	456151022	0.15	LDR	R-2	R-1-6	
P	456151023	0.14	LDR	R-2	R-1-6	
10	456151024	0.19	LDR	R-2	R-1-6	
	456151025	0.20	LDR	R-2	R-1-6	
10	456151026	0.20	LDR	R-2	R-1-6	
₽ P	456151027	0.20	LDR	R-2	R-1-6	
1D	456151028	0.14	LDR	R-2	R-1-6	
D	456151029	0.16	LDR	R-2	R-1-6	
D	456151030	0.16	LDR	R-2	R-1-6	
	456151031	0.15	LDR	R-2	R-1-6	
12	456151032	0.18	LDR	R-2	R-1-6	
4	456151033	0.17	LDR	R-2	R-1-6	
	456151034	0.15	LDR	R-2	R-1-6	
D	456151035	0.16	LDR	R-2	R-1-6	
	456151036	0.16	LDR	R-2	R-1-6	
	456151037	0.14	LDR	R-2	R-1-6	
	456151038	0.19	LDR	R-2	R-1-6_	
	456151039	0.20	LDR	R-2	R-1-6	
———	456151040	0.20	LDR	R-2	R-1-6	
130	456151041	0.19	LDR	R-2_	R-1-6	
	456151042	0.14	LDR	R-2	R-1-6	
M-1-	456151043	0.16	LDR	R-2	R-1-6	
	456151044	0.16	LDR	R-2	R-1-6	
	456151045	0.15	LDR	R-2	R-1-6	
	456151046	0.18	LDR	R-2	R-1-6	
—	456151047	0.18	LDR	R-2	R-1-6	
	456151048	0.15	LDR	R-2	R-1-6	
	456151049	0.16	LDR	R-2	R-1-6	
	456151050	0.16	LDR	R-2	R-1-6	
	456151051	0.14	LDR	R-2	R-1-6	
4 V	456151052	0.19	LDR	R-2	R-1-6	

			uiring a General Pla	
APN	ACRES	GP	CURRENT	PROPOSED
		DESIGNATION	ZONING	ZONING
456151053		LDR	R-2	R-1-6
456151054	-	LDR	R-2	R-1-6
7 456151055		LDR	R-2	R-1-6
456151056	-	LDR	R-2	R-1-6
456151057		LDR	R-2	R-1-6
456151058	0.16	LDR	R-2	R-1-6
7 456151059		LDR	R-2	R-1-6
456151060	0.18	LDR	R-2	R-1-6
456151061	0.18	LDR	R-2	R-1-6
D 456151062	0.15	LDR	R-2	R-1-6
456151063	0.16	LDR	R-2	R-1-6
D 456151064	0.16	LDR	R-2	R-1-6
456151065	0.14	LDR	R-2	R-1-6
D 456151066	0.19	LDR	R-2	R-1-6
456151067	0.20	LDR	R-2	R-1-6
456151068	0.18	LDR	R-2	R-1-6
456151069	0.17	LDR	R-2	R-1-6
456151070	0.20	LDR	R-2	R-1-6
456151071	0.25	LDR	R-2	R-1-6
456151072	0.29	LDR	R-2	R-1-6
456151073	0.18	LDR	R-2	R-1-6
) 456151074	0.20	LDR	R-2	R-1-6
456151075	0.26	LDR	R-2	R-1-6
456151076	0.37	LDR	R-2	R-1-6
456151077	0.20	LDR	R-2	R-1-6
D 456151078	0.18	LDR	R-2	R-1-6
456151079	0.18	LDR	R-2	R-1-6
456151080		LDR	R-2	R-1-6
D 456151081	, 	LDR	R-2	R-1-6
456151082		LDR	R-2	R-1-6
D 456151083	 	LDR	R-2	R-1-6
D 456151084		LDR	R-2	R-1-6
D 456152001	 	LDR	R-2	R-1-6
D 456152002	-	LDR	R-2	R-1-6
456152003		LDR	R-2	R-1-6
D 456152004	\longrightarrow	LDR	R-2	R-1-6
J 456152005	\vdash	LDR	R-2	R-1-6
Q 456152006	\longrightarrow	LDR	R-2	R-1-6
Ort 445101031		LDR	R-2	R-1-7.2
445101032		LDR	R-2	R-1-7.2
445101033	 	LDR	R-2	R-1-7.2
445101034		LDR	R-2	R-1-7.2
445101035		LDR	R-2	R-1-7.2
445101036		LDR	R-2	R-1-7.2
445101037		LDR	R-2	R-1-7.2
743101037	1 0.10	LDI	1 1-2	K-1-/.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
445220025	0.36	HDR	R-2	R-3
445220025	2.75	HDR	R-2	R-3
445220027	0.29	HDR	R-2	R-3
4452320027	3.30	HDR	R-2	R-3
445232003	0.70	HDR	R-2	
445232019	1.53	HDR	R-2	R-3
4 43101001	0.12	LDR	R-2	SLR
£ 443101002	0.12	LDR	R-2	SLR
443101003	0.12	LDR	R-2	SLR
£ 443101004	0.12	LDR	R-2	SLR
£ 443101005	0.12	LDR	R-2	SLR
443101006	0.11	LDR	R-2	SLR
£ 443101007	0.15	LDR	R-2	SLR
£ 443101008	0.18	LDR	R-2	SLR
£ 443101009	0.14	LDR	R-2	SLR
2 443101010	0.10	LDR	R-2	SLR
443101011	0.11	LDR	R-2	SLR
£ 443101012	0.11	LDR	R-2	SLR
2 443101013	0.12	LDR	R-2	SLR
443101014	0.20	LDR	R-2	SLR
443101015	0.18	LDR	R-2	SLR
443101016	0.12	LDR	R-2	SLR
443101017	0.11	LDR	R-2	SLR
£ 443101018	0.11	LDR	R-2	SLR
443101019	0.12	LDR	R-2	SLR
443101020	0.12	LDR	R-2	SLR
6 443101021	0.12	LDR	R-2	SLR
443101022	0.12	LDR	R-2	SLR
E 443102001	0.12	LDR	R-2	SLR
£ 443102002	0.12	LDR	R-2	SLR
£ 443102003	0.11	LDR	R-2	SLR
£ 443102004	0.11	LDR	R-2	SLR
443102005	0.11	LDR	R-2	SLR
€ 443102006	0.11	LDR	R-2	SLR
443102007	0.10	LDR	R-2	SLR
£ 443102008	0.10	LDR	R-2	SLR
443102009	0.10	LDR	R-2	SLR
443102010	0.10	LDR	R-2	SLR
443102011	0.10	LDR	R-2	SLR
443102012	0.11	LDR	R-2	SLR
Ost 439272014	0.79	LDR	R-3	PUD 80-18
445020002	0.44	LDR	R-3	R-1-10
445020003	0.35	LDR	R-3	R-1-10
445020004	0.35	LDR	R-3	R-1-10
445020005	0.35	LDR	R-3	R-1-10

		GP	CURRENT	DRODOCED
APN	ACRES	DESIGNATION	The state of the s	PROPOSED
Cot 445020006	0.35		ZONING	ZONING
		LDR	R-3	R-1-10
445020007	0.36	LDR	R-3	R-1-10
£ 446044002	0.14	LDR	R-3	R-1-6
446044003	0.14	LDR	R-3	R-1-6
£ 446044004	0.08	LDR	R-3	R-1-6
£ 446044005	0.06	LDR	R-3	R-1-6
£ 446044006	0.15	LDR	R-3	R-1-6
£ 446044008	0.11	LDR	R-3	R-1-6
<i>E</i> 446044009	0.11	LDR	R-3	R-1-6
£ 446044010	0.15	LDR	R-3	R-1-6
446044011	0.15	LDR	R-3	R-1-6
£ 446044012	0.15	LDR	R-3	R-1-6
446044013	0.15	LDR	R-3	R-1-6
£ 446044014	0.15	LDR	R-3	R-1-6
£ 446044015	0.19	LDR	R-3	R-1-6
£ 446044020	0.00	LDR	R-3	R-1-6
£ 442052003	0.17	LDR	R-3	R-1-7.2
£ 442052004	0.18	LDR	R-3	R-1-7.2
£ 442052005	0.19	LDR	R-3	R-1-7.2
2 442052006	0.17	LDR	R-3	R-1-7.2
<i>E</i> 442052008	0.16	LDR	R-3	R-1-7.2
¥ 442052009	0.18	LDR	R-3	R-1-7.2
£ 442052010	0.20	LDR	R-3	R-1-7.2
442052011	0.15	LDR	R-3	R-1-7.2
E 442052013	0.23	LDR	R-3	R-1-7.2
E 442052014	0.18	LDR	R-3	R-1-7.2
442052015	0.18	LDR	R-3	R-1-7.2
£ 442052016	0.19	LDR	R-3	R-1-7.2
£ 442052021	0.16	LDR	R-3	R-1-7.2
£ 442052022	0.18	LDR	R-3	R-1-7.2
£ 442052023	0.18	LDR .	R-3	R-1-7.2
442052024	0.16	LDR	R-3	R-1-7.2
442052027	0.18	LDR	R-3	R-1-7.2
2 442052028	0.17	LDR	R-3	R-1-7.2
442052029	0.10	LDR	R-3	R-1-7.2
E 442052030	0.06	LDR	R-3	R-1-7.2
£ 442052031	0.06	LDR	R-3	R-1-7.2
£ 442052032	0.11	LDR	R-3	R-1-7.2
£ 442053001	0.19	LDR	R-3	R-1-7.2
£ 442053002	0.19	LDR	R-3	R-1-7.2
442053003	0.18	LDR	R-3	R-1-7.2
442053004	0.19	LDR	R-3	R-1-7.2
€ 442053005	0.18	LDR	R-3	R-1-7.2
£ 442053006	0.20	LDR	R-3	R-1-7.2
442053009	0.25	LDR	R-3	R-1-7.2
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			GP	CURRENT	PROPOSED
	APN	ACRES	DESIGNATION	ZONING	ZONING
R	442053010	0.23	LDR	R-3	R-1-7.2
E	442053011	0.15	LDR	R-3	R-1-7.2
E	442053012	0.23	LDR	R-3	R-1-7.2
E	442053013	0.21	LDR	R-3	R-1-7.2
E	442053014	0.19	LDR	R-3	R-1-7.2
E	442053015	0.19	LDR	R-3	R-1-7.2
2	442053016	0.20	LDR	R-3	R-1-7.2
E	442053017	0.18	LDR	R-3	R-1-7.2
E	442053018	0.31	LDR	R-3	R-1-7.2
E	442053019	0.22	LDR	R-3	R-1-7.2
E	442053020	0.26	LDR	R-3	R-1-7.2
E	442053021	0.12	LDR	R-3	R-1-7.2
E	443020039	0.38	LDR	R-3	R-1-7.2
-	443080024	0.61	LDR	R-3	R-1-7.2
T	443080025	0.21	LDR	R-3	R-1-7.2
\sqcap	443080026	0.52	LDR	R-3	R-1-7.2
Н	443080027	0.68	LDR	R-3	R-1-7.2
	443080030	0.24	LDR	R-3	R-1-7.2
	443080031	0.27	LDR	R-3	R-1-7.2
П	443080032	0.32	LDR	R-3	R-1-7.2
	443080034	0.30	LDR	R-3	R-1-7.2
П	443080035	1.87	LDR	R-3	R-1-7.2
	443080036	0.11	LDR	R-3	R-1-7.2
	443080037	0.45	LDR	R-3	R-1-7.2
	443080039	0.27	LDR	R-3	R-1-7.2
	443080044	0.09	LDR	R-3	R-1-7.2
	443080046	0.51	LDR	R-3	R-1-7.2
	443080055	0.66	LDR	R-3	R-1-7.2
	443080056	0.45	LDR	R-3	R-1-7.2
Ш	445020048	0.16	LDR	R-3	R-1-7.2
\Box	445020049	0.16	LDR	R-3	R-1-7.2
	445020050	0.16	LDR	R-3	R-1-7.2
\Box	446091002	0.25	LDR	R-3	R-1-7.2
$oxed{oxed}$	446091003	0.21	LDR	R-3	R-1-7.2
\sqcup	446091004	0.21	LDR	R-3	R-1-7.2
\square	446091006	0.16	LDR	R-3	R-1-7.2
\Box	446091008	0.44	LDR	R-3	R-1-7.2
H	446091009	0.44	LDR	R-3	R-1-7.2
\mathbf{H}	446091010	0.15	LDR	R-3	R-1-7.2
\mathbf{H}	446091011	0.13	LDR	R-3	R-1-7.2
	446091012	0.13	LDR	R-3	R-1-7.2
	446091013	0.22	LDR	R-3	R-1-7.2
	446091014	0.24	LDR	R-3	R-1-7.2
\vdash	446091015	0.22	LDR	R-3	R-1-7.2
\Box	446091028	0.03	LDR	R-3	R-1-7.2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
Out 446091029	1.50	LDR	R-3	R-1-7.2
446091030	3.00	LDR	R-3	R-1-7.2
446091031	0.36	LDR	R-3	R-1-7.2
446091032	0.67	LDR	R-3	R-1-7.2
446092012	0.35	LDR	R-3	R-1-7.2
446092013	0.32	LDR	R-3	R-1-7.2
446092014	0.25	LDR	R-3	R-1-7.2
446092015	0.25	LDR	R-3	R-1-7.2
447160067	0.28	LDR	R-3	R-1-7.2
447172001	0.19	LDR	R-3	R-1-7.2
447172002	0.16	LDR	R-3	R-1-7.2
447172003	0.16	LDR	R-3	R-1-7.2
447172004	0.16	LDR	R-3	R-1-7.2
447172005	0.16	LDR	R-3	R-1-7.2
447172006	0.16	LDR	R-3	R-1-7.2
447172007	0.17	LDR	R-3	R-1-7.2
447172008	0.17	LDR	R-3	R-1-7.2
447172009	0.21	LDR	R-3	R-1-7.2
439100021	0.44	LMDR	R-3	R-2
439100022	0.70	LMDR	R-3	R-2
439100025	0.53	LMDR	R-3	R-2
439100033	0.74	LMDR	R-3	R-2
439100037	4.23	OP	R-3	R-2
443172046	0.17	LMDR	R-3	R-2
C 443172047	0.22	LMDR	R-3	R-2
443172048	0.21	LMDR	R-3	R-2
2 443172049	0.21	LMDR	R-3	R-2
E 443172050	0.60	LMDR	R-3	R-2
Out 445210008	3.10	MDR	R-3	R-2
<i>E</i> 446104010	0.25	LMDR	R-3	R-2
£ 446104011	0.21	LMDR	R-3	R-2
446104012	0.22	LMDR	R-3	R-2
446104013	0.22	LMDR	R-3	R-2
446104014	0.22	LMDR	R-3	R-2
E 446104015	0.21	LMDR	R-3	R-2
<u>₹</u> 446104016	0.35	LMDR	R-3	R-2
446104017	0.40	LMDR	R-3	R-2
446104018	0.22	LMDR	R-3	R-2
446104019	0.21	LMDR	R-3	R-2
446104020	0.21	LMDR	R-3	R-2
£ 446104021	0.21	LMDR	R-3	R-2
<u>€</u> 446104022	0.22	LMDR	R-3	R-2
E 446104023	0.20	LMDR	R-3	R-2
<u>E</u> 446104024	0.20	LMDR	R-3	R-2
<u>\$ 446104025</u>	0.20	LMDR	R-3	R-2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
446104026	0.20	LMDR	R-3	R-2
£ 446104027	0.28	LMDR	R-3	R-2
446104028	0.23	LMDR	R-3	R-2
£ 446104029	0.17	LMDR	R-3	R-2
£ 446104030	0.17	LMDR	R-3	
446104031	0.17	LMDR	R-3	R-2 R-2
446104032	0.17	LMDR	R-3	R-2
£ 446104033	0.19	LMDR	R-3	R-2
£ 446111004	0.23	LMDR	R-3	R-2
£ 446111005	0.20	LMDR	R-3	R-2
£ 446111006	0.20	LMDR	R-3	R-2
446111007	0.21	LMDR	R-3	R-2
£ 446111008	0.20	LMDR	R-3	R-2
£ 446111009	0.20	LMDR	R-3	R-2
446111010	0.20	LMDR	R-3	R-2
2 446111011	0.20	LMDR	R-3	R-2
P 446111012	0.21	LMDR	R-3	R-2
£ 446111013	0.24	LMDR	R-3	R-2
446111014	0.20	LMDR	R-3	R-2
446111015	0.21	LMDR	R-3	R-2
446111016	0.21	LMDR	R-3	R-2
£ 446111017	0.21	LMDR	R-3	R-2
E 446111018	0.20	LMDR	R-3	R-2
2 446111019	0.35	LMDR	R-3	R-2
446111020	0.38	LMDR	R-3	R-2
E 446111021	0.22	LMDR	R-3	R-2
£ 446111022	0.21	LMDR	R-3	R-2
<u>E</u> 446111023	0.21	LMDR	R-3	R-2
£ 446111024	0.21	LMDR	R-3	R-2
<u></u> 446111025	0.21	LMDR	R-3	R-2
<u></u> 446111026	0.21	LMDR	R-3	R-2
5 446111027	0.22	LMDR	R-3	R-2
446111028	0.20	LMDR	R-3	R-2
<u>E</u> 446111029	0.20	LMDR	R-3	R-2
E 446111030	0.20	LMDR	R-3	R-2
446111031	0.20	LMDR	R-3	R-2
£ 446111032	0.28	LMDR	R-3	R-2
446111033	0.27	LMDR	R-3	R-2
£ 446111034	0.20	LMDR	R-3	R-2
£ 446111035	0.20	LMDR	R-3	R-2
<u>2</u> 446111036	0.20	LMDR	R-3	R-2
£ 446111037	0.20	LMDR	R-3	R-2
446111038	0.22	LMDR	R-3	R-2
Out 454080044	0.69	LMDR	R-3	R-2
454080046	0.05	LMDR	R-3	R-2

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
&+? 448240001	4.38	LMDR	R-3	R-2 (TTP)
445290023	0.66	VHDR	R-3	R-4
445300014	4.16	VHDR	R-3	R-4
£ 446290001	4.75	VHDR	R-3	R-4(S)
E+0 451100035	37.43	LDR	R-3, R-1,C-1	R-1-6
5 442201013	2.15	Р	R-A	OS-R
£ 442227015	3.72	P	R-A	OS-R
Out 438162001	0.20	HR	R-A	R-1-10 (H)
438162002	0.50	HR	R-A	R-1-10 (H)
438162003	0.42	HR	R-A	R-1-10 (H)
438162004	0.37	HR	R-A	R-1-10 (H)
438162005	0.07	HR	R-A	R-1-10 (H)
438162006	0.41	HR	R-A	R-1-10 (H)
438162007	0.34	HR	R-A	R-1-10 (H)
438162008	0.32	HR	R-A	R-1-10 (H)
438162009	0.30	HR	R-A	R-1-10 (H)
438162010	0.33	HR	R-A	R-1-10 (H)
438240005	3.84	HDR	R-A	R-1-10 (H)
439040026	0.17	LMDR	R-A	R-1-6
439050001	4.20	RR	R-A	R-1-6
£ 442171001	0.72	LMDR	R-A	R-1-7.2
<u></u> 442171002	0.75	LMDR	R-A	R-1-7.2
<u>£</u> 442171003	0.53	LMDR	R-A	R-1-7.2
<u>£</u> 442171004	0.17	LMDR	R-A	R-1-7.2
442171005	0.19	LMDR	R-A	R-1-7.2
£ 442171008	0.58	LMDR	R-A	R-1-7.2
442171010	0.81	LMDR	R-A	R-1-7.2
Out 451150022	14.28	LDR	R-A	R-1-7.2
551190071	0.45	LDR	R-A	R-1-7.2
551190073	1.97	LDR	R-A	R-1-7.2
442040002	17.90	MDR	R-A	R-2
442171009	0.63 8.90	LMDR	R-A R-A	R-2
443101040 443110001	8.49	MDR MDR	R-A	R-2 R-2
	8.63	MDR	R-A	R-2
443110006 443110007	0.01	MDR	R-A	R-2
445110007	23.30	LMDR	R-A	R-2
448240001 448240002	17.83	LMDR	R-A	R-2 (TTP)
0+C 448240019	34.42	LMDR	R-A	R-2 (TTP)
448240019	7.59	RR	R-A	R-2 (11F)
£ 444370026	5.47	RR	R-A	R-R
442172001	0.14	LMDR	R-A	SLR
£ 442172001	0.14	LMDR	R-A	SLR
442172003	0.13	LMDR	R-A	SLR
£ 442172003	0.14	LMDR	R-A	SLR
4421/2004	0.14	LIVIDA	n-A	JLN

		GP CURRENT PROPOSED				
APN	ACRES		CURRENT	PROPOSED		
£ 442172005	0.13	DESIGNATION	ZONING	ZONING		
		LMDR	R-A	SLR		
	0.14	LMDR	R-A	SLR		
442172007	0.15	LMDR	R-A	SLR		
442172008	0.14	LMDR	R-A	SLR		
442172009	0.14	LMDR	R-A	SLR		
442172010	0.13	LMDR	R-A	SLR		
442172011	0.14	LMDR	R-A	SLR		
£ 442172012	0.13	LMDR	R-A	SLR		
E 442172013	0.13	LMDR	R-A	SLR		
£ 442172014	0.13	LMDR	R-A	SLR		
£ 442201001	0.13	LMDR	R-A	SLR		
£ 442201002	0.13	<u>LMDR</u>	R-A	SLR		
£ 442201003	0.17	LMDR	R-A	SLR		
£ 442201004	0.11	LMDR	R-A	SLR		
442201005	0.10	LMDR	R-A	SLR		
£ 442201006	0.10	LMDR	R-A	SLR		
<u>\$</u> 442201007	0.10	LMDR	R-A	SLR		
£ 442201008	0.10	LMDR	R-A	SLR		
442201009	0.15	<u>LMDR</u>	R-A	SLR		
442201010	0.15	LMDR	R-A	SLR		
442201011	0.11	LMDR	R-A	SLR		
<u></u> 442201012	0.12	LMDR	R-A	SLR		
442201014	0.11	LMDR	R-A	SLR		
442201015	0.11	LMDR	R-A	SLR		
<u>£</u> 442201016	0.10	LMDR	R-A	SLR		
442201017	0.11	<u>LMD</u> R	R-A	SLR		
<u>€</u> 442201018	0.11	LMDR	R-A	SLR		
442201019	0.11	LMDR	R-A	SLR		
442201020	0.11	LMDR	R-A	SLR		
£ 442201021	0.10	LMDR	R-A	SLR		
442201022	0.10	LMDR	R-A	SLR		
£ 442202001	0.09	LMDR	R-A	SLR		
442202002	0.09	LMDR	R-A	SLR		
£ 442202003	0.09	LMDR	R-A	SLR		
<u>€</u> 442202004	0.09	LMDR	R-A	SLR		
E 442202005	0.10	LMDR	R-A	SLR		
442202006	0.12	LMDR	R-A	SLR		
442202007	0.12	LMDR	R-A	SLR		
<u>₹</u> 442202008	0.12	LMDR	R-A	SLR		
£ 442202009	0.12	LMDR	R-A	SLR		
<u>₹ 442203001</u>	0.11	LMDR	R-A	SLR		
<u>E</u> 442203002	0.10	LMDR	R-A	SLR		
442203003	0.10	LMDR	R-A	SLR		
442203004	0.10	LMDR	R-A	SLR		
<u>\$ 442203005</u>	0.10	LMDR	R-A	SLR		

	Farceis Not requiring a General Flan Amendment				
APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED	
£ 442203006	0.11	LMDR	ZONING R-A	ZONING	
£ 4422030007	0.11	LMDR	R-A	SLR SLR	
£ 442203007	0.14	LMDR	R-A	SLR	
£ 442203009	0.14	LMDR			
£ 442203010	0.13	LMDR	R-A	SLR	
£ 442203011	0.11	LMDR	R-A	SLR	
E 442203011	0.10	LMDR	R-A	SLR SLR	
E 442203013	0.10	LMDR	R-A	SLR	
# 442203014	0.10	LMDR	R-A	SLR	
442203015	0.09	LMDR	R-A	SLR	
£ 442203016	0.10	LMDR	R-A	SLR	
442203017	0.11	LMDR	R-A	SLR	
£ 442204001	0.12	LMDR	R-A	SLR	
F 442204002	0.11	LMDR	R-A	SLR	
442204003	0.10	LMDR	R-A	SLR	
£ 442204004	0.11	LMDR	R-A	SLR	
£ 442204005	0.11	LMDR	R-A	SLR	
£ 442204006	0.11	LMDR	R-A	SLR	
£ 442204007	0.11	LMDR	R-A	SLR	
E 442204008	0.14	LMDR	R-A	SLR	
£ 442204009	0.12	LMDR	R-A	SLR	
£ 442204010	0.11	LMDR	R-A	SLR	
£ 442204011	0.11	LMDR	R-A	SLR	
£ 442204012	0.11	LMDR	R-A	SLR	
£ 442204013	0.11	LMDR	R-A	SLR	
£ 442204014	0.12	LMDR	R-A	SLR	
£ 442205001	0.10	LMDR	R-A	SLR	
£ 442205002	0.09	LMDR	R-A	SLR	
5 442205003	0.09	LMDR	R-A	SLR	
442205004	0.10	LMDR	R-A	SLR	
€ 442205005	0.10	LMDR	R-A	SLR	
£ 442205006	0.10	LMDR	R-A	SLR	
£ 442205007	0.12	LMDR	R-A	SLR	
E 442205008	0.13	LMDR	R-A	SLR	
E 442205009	0.11	LMDR	R-A	SLR	
442205010	0.10	LMDR	R-A	SLR	
£ 442205011	0.11	LMDR	R-A	SLR	
442205012	0.10	LMDR	R-A	SLR	
£ 442205013	0.11	LMDR	R-A	SLR	
£ 442205014	0.11	LMDR	R-A	SLR	
£ 442206001	0.10	LMDR	R-A	SLR	
442206002	0.09	LMDR	R-A	SLR	
£ 442206003	0.09	LMDR	R-A	SLR	
<u>£ 442206004</u>	0.10	LMDR	R-A	SLR	
£ 442206005	0.10	LMDR	R-A	SLR	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 442206006	0.10	LMDR	R-A	SLR
£ 442206007	0.10	LMDR	R-A	SLR
£ 442206008	0.11	LMDR	R-A	SLR
£ 442206009	0.11	LMDR	R-A	SLR
£ 442206010	0.11	LMDR	R-A	SLR
442206011	0.11	LMDR	R-A	SLR
<i>E</i> 442206012	0.10	LMDR	R-A	SLR
£ 442206013	0.10	LMDR	R-A	SLR
£ 442206014	0.11	LMDR	R-A	SLR
E 442207001	0.10	LMDR	R-A	SLR
£ 442207002	0.08	LMDR	R-A	SLR
442207003	0.09	LMDR	R-A	SLR
£ 442207004	0.09	LMDR	R-A	SLR
<i>E</i> 442207005	0.09	LMDR	R-A	SLR
<i>E</i> 442207006	0.09	LMDR	R-A	SLR
<u>E</u> 442207007	0.09	LMDR	R-A	SLR
£ 442207008	0.11	LMDR	R-A	SLR
£ 442207009	0.11	LMDR	R-A	SLR
£ 442207010	0.10	LMDR	R-A	SLR
442207011	0.11	LMDR	R-A	SLR
£ 442207012	0.10	LMDR	R-A	SLR
£ 442207013	0.10	LMDR	R-A	SLR
£ 442207014 £ 442208001	0.11	LMDR	R-A	SLR
5 442208001	0.12 0.11	LMDR	R-A	SLR
£ 442208002	0.10	LMDR LMDR	R-A R-A	SLR SLR
£ 442208003	0.10	LMDR	R-A	SLR
£ 442208005	0.10	LMDR	R-A	SLR
£ 442208006	0.10	LMDR	R-A	SLR
£ 442208007	0.13	LMDR	R-A	SLR
£ 442208008	0.09	LMDR	R-A	SLR
£ 442208009	0.09	LMDR	R-A	SLR
E 442208010	0.10	LMDR	R-A	SLR
<i>E</i> 442208011	0.11	LMDR	R-A	SLR
£ 442208012	0.13	LMDR	R-A	SLR
E 442208013	0.16	LMDR	R-A	SLR
€ 442208014	0.11	LMDR	R-A	SLR
£ 442208015	0.10	LMDR	R-A	SLR
£ 442208016	0.11	LMDR	R-A	SLR
£ 442208017	0.11	LMDR	R-A	SLR
442209001	0.11	LMDR	R-A	SLR
£ 442209002	0.11	LMDR	R-A	SLR
442209003	0.11	LMDR	R-A	SLR
<u>E</u> 442209004	0.11	LMDR	R-A	SLR
<u></u> 442209005	0.11	LMDR	R-A	SLR

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 442209006	0.10	LMDR	R-A	SLR
442209007	0.10	LMDR	R-A	SLR
442209008	0.10	LMDR	R-A	SLR
442209009	0.11	LMDR	R-A	SLR
442209010	0.13	LMDR	R-A	SLR
442211001	0.11	LMDR	R-A	SLR
442211002	0.10	LMDR	R-A	SLR
? 442211003	0.10	LMDR	R-A	SLR
E 442211004	0.10	LMDR	R-A	SLR
£ 442211005	0.10	LMDR	R-A	SLR
£ 442211006	0.10	LMDR	R-A	SLR
£ 442211007	0.10	LMDR	R-A	SLR
442211008	0.10	LMDR	R-A	SLR
£ 442211009	0.11	LMDR	R-A	SLR
£ 442211010	0.10	LMDR	R-A	SLR
£ 442211011	0.10	LMDR	R-A	SLR
£ 442211012	0.10	LMDR	R-A	SLR
£ 442211013	0.12	LMDR	R-A	SLR
<i>€</i> 442211014	0.17	LMDR	R-A	SLR
442211015	0.10	LMDR	R-A	SLR
£ 442211016	0.09	LMDR	R-A	SLR
442211017	0.09	LMDR	R-A_	SLR
£ 442211018	0.09	LMDR	R-A	SLR
£ 442211019	0.09	LMDR	R-A	SLR
£ 442211020	0.09	LMDR	R-A	SLR
## 442211021 ## 442211022	0.10 0.10	LMDR LMDR	R-A	SLR
442211022	0.10	LMDR	R-A R-A	SLR
£ 442211023	0.09	LMDR	R-A	SLR SLR
£ 442211025	0.09	LMDR	R-A	SLR
£ 442211026	0.09	LMDR	R-A	SLR
£ 442211027	0.09	LMDR	R-A	SLR
5 442211028	0.13	LMDR	R-A	SLR
<u>2</u> 442211029	0.09	LMDR	R-A	SLR
2 442211030	0.09	LMDR	R-A	SLR
442211031	0.10	LMDR	R-A	SLR
442211032	0.10	LMDR	R-A	SLR
442211033	0.09	LMDR	R-A	SLR
442211034	0.09	LMDR	R-A	SLR
442211035	0.11	LMDR	R-A	SLR
£ 442211036	0.11	LMDR	R-A	SLR
442211038	0.10	LMDR	R-A	SLR
442211039	0.09	LMDR	R-A	SLR
<u>► 442211040</u>	0.10	LMDR	R-A	SLR
<u>6</u> 442211041	0.11	LMDR	R-A	SLR

	r arceis Not nequiring a deficial Fiant Amendment				
APN	ACRES	GP	CURRENT	PROPOSED	
442244042	0.40	DESIGNATION	ZONING	ZONING	
442211042	0.10	LMDR	R-A	SLR	
£ 442211043	0.10	LMDR	R-A	SLR	
E 442211044	0.10	LMDR	R-A	SLR	
442211045	0.09	LMDR	R-A	SLR	
<u>#</u> 442211046	0.09	LMDR	R-A	SLR	
£ 442211047	0.14	LMDR	R-A	SLR	
£ 442211048	0.09	LMDR	R-A	SLR	
442211049	0.09	LMDR	R-A	SLR	
<u></u> 442211050	0.10	LMDR	R-A	SLR	
<u>442211052</u>	0.09	LMDR	R-A	SLR	
£ 442212001	0.10	LMDR	R-A	SLR	
# 442212002	0.09	LMDR	R-A	SLR	
<u> </u>	0.09	LMDR	R-A	SLR	
<i>€</i> 442212004	0.09	LMDR	R-A	SLR	
<u>£</u> 442212005	0.10	LMDR	R-A	SLR	
£ 442212006	0.10	LMDR	R-A	SLR	
442212007	0.09	LMDR	R-A	SLR	
£ 442212008	0.09	LMDR	R-A	SLR	
£ 442212009	0.09	LMDR	R-A	SLR	
<i>E</i> 442212010	0.10	LMDR	R-A	SLR	
<u>€</u> 442213001	0.11	LMDR	R-A	SLR	
£ 442213002	0.09	LMDR	R-A	SLR	
£ 442213003	0.09	LMDR	R-A	SLR	
£ 442213004	0.09	LMDR	R-A	SLR	
442213005	0.10	LMDR	R-A	SLR	
442213006	0.10	LMDR	R-A	SLR	
£ 442213007	0.09	LMDR	R-A	SLR	
£ 442213008	0.09	LMDR	R-A	SLR	
442213009	0.09	LMDR	R-A	SLR	
£ 442213010	0.13	LMDR	R-A	SLR	
442214002	0.02	LMDR	R-A	SLR	
442215001	0.09	LMDR	R-A	SLR	
442215002	0.09	LMDR	R-A	SLR	
442215003	0.10	LMDR	R-A	SLR	
£ 442215004	0.11	LMDR	R-A	SLR	
442215005	0.12	LMDR	R-A	SLR	
£ 442215006	0.12	LMDR	R-A	SLR	
£ 442221001	0.13	LMDR	R-A	SLR	
442221002	0.10	LMDR	R-A	SLR	
442221003	0.09	LMDR	R-A	SLR	
£ 442221004	0.08	LMDR	R-A	SLR	
£ 442221005	0.10	LMDR	R-A	SLR	
£ 442221006	0.11	LMDR	R-A	SLR	
£ 442221007	0.10	LMDR	R-A	SLR	
<i>5</i> 442221008	0.12	LMDR	R-A	SLR	

		GP	CURRENT	PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
£ 442221009	0.13	LMDR	R-A	SLR
442221009	0.13	LMDR	R-A	SLR
442221010	0.09	LMDR	R-A	SLR
442221011	0.09	LMDR	R-A	SLR
442221012	0.09	LMDR	R-A	SLR
442221013	0.09	LMDR	R-A	SLR
£ 442221015	0.13	LMDR	R-A	SLR
### 442221015 ### 442221016	0.11	LMDR	R-A	SLR
£ 442221017	0.09	LMDR	R-A	SLR
£ 442221018	0.10	LMDR	R-A	SLR
F 442221019	0.10	LMDR	R-A	SLR
£ 442221020	0.10	LMDR	R-A	SLR
F 442221021	0.10	LMDR	R-A	SLR
E 442221022	0.10	LMDR	R-A	SLR
£ 442222001	0.13	LMDR	R-A	SLR
£ 442222002	0.11	LMDR	R-A	SLR
£ 442222003	0.10	LMDR	R-A	SLR
£ 442222004	0.10	LMDR	R-A	SLR
E 442222005	0.10	LMDR	R-A	SLR
£ 442222006	0.11	LMDR	R-A	SLR
£ 442222007	0.11	LMDR	R-A	SLR
2 442222008	0.09	LMDR	R-A	SLR
<i>E</i> 442222009	0.09	LMDR	R-A	SLR
442222010	0.09	LMDR	R-A	SLR
£ 442222011	0.09	LMDR	R-A	SLR
442222012	0.09	LMDR	R-A	SLR
£ 442222013	0.12	LMDR	R-A	SLR
<i>€</i> 442223001	0.12	LMDR	R-A	SLR
5 442223002	0.10		R-A	SLR
<u></u> 442223003	0.10	LMDR	R-A	SLR
<u>E</u> 442223004	0.10	LMDR	R-A	SLR
442223005		LMDR	R-A	SLR
£ 442223006	0.10	LMDR	R-A	SLR
<u>E</u> 442223007	0.11	LMDR	R-A	SLR
442223008		LMDR	R-A	SLR
<u>E</u> 442223009		LMDR	R-A	SLR
E 442223010		LMDR	R-A	SLR
£ 442223011	0.10	LMDR	R-A	SLR
442223012	0.10	LMDR	R-A	SLR
442223013		LMDR	R-A	SLR
£ 442223014 £ 442224001	0.11 0.10	LMDR LMDR	R-A R-A	SLR SLR
£ 442224001 £ 442224002	0.10	LMDR	R-A	SLR
£ 442224002 £ 442224003	0.09	LMDR	R-A	SLR
E 442224004				SLR
442224004	0.09	LMDR	R-A	2FK

		GP	CURRENT	
APN	ACRES	DESIGNATION		PROPOSED
E 442224005	0.11	LMDR	ZONING	ZONING
# 442224006	0.11	LMDR	R-A	SLR
£ 442224007	0.10	LMDR	R-A R-A	SLR
442224008	0.10	LMDR	R-A	SLR
442224009	0.10	LMDR	R-A	SLR
442224000	0.09	LMDR	R-A	SLR SLR
442224011	0.10	LMDR	R-A	SLR
£ 442224012	0.10	LMDR	R-A	SLR
£ 442224013	0.09	LMDR	R-A	SLR
442224014	0.09	LMDR	R-A	SLR
442224015	0.10	LMDR	R-A	SLR
£ 442224016	0.10	LMDR	R-A	SLR
£ 442224017	0.10	LMDR	R-A	SLR
£ 442224018	0.10	LMDR	R-A	SLR
<i>2</i> 442224019	0.10	LMDR	R-A	SLR
£ 442224020	0.10	LMDR	R-A	SLR
£ 442224021	0.09	LMDR	R-A	SLR
<i>E</i> 442224022	0.10	LMDR	R-A	SLR
£ 442224023	0.10	LMDR	R-A	SLR
£ 442224024	0.15	LMDR	R-A	SLR
E 442224025	0.12	LMDR	R-A	SLR
<u>F</u> 442224026	0.09	LMDR	R-A	SLR
£ 442224027	0.11	LMDR	R-A	SLR
£ 442225001	0.11	LMDR	R-A	SLR
442225002	0.10	LMDR	R-A	SLR
£ 442225003	0.10	LMDR	R-A	SLR
442225004	0.09	LMDR	R-A	SLR
442225005	0.12	LMDR	R-A	SLR
442225006	0.11	LMDR	R-A	SLR
442225007	0.09	LMDR	R-A	SLR
442225008	0.09	LMDR	R-A	SLR
£ 442225009 £ 442225010	0.09	LMDR	R-A	SLR
£ 442225010 £ 442225011	0.10	LMDR	R-A	SLR
£ 442225011	0.10	LMDR	R-A	SLR
£ 442225012	0.09	LMDR LMDR	R-A	SLR
£ 442225014	0.09	LMDR	R-A R-A	SLR
442225014	0.13	LMDR	R-A	SLR SLR
442225015	0.09	LMDR	R-A	SLR SLR
£ 442225017	0.10	LMDR	R-A	SLR
£ 442225018	0.11	LMDR	R-A	SLR
£ 442226001	0.12	LMDR	R-A	SLR
£ 442226002	0.10	LMDR	R-A	SLR
£ 442226003	0.11	LMDR	R-A	SLR
£ 442226005	0.11	LMDR	R-A	SLR

	Parcels Not Requiring a General Plan Amendment				
APN		ACRES	GP	CURRENT	PROPOSED
4422	26006	0.13	DESIGNATION	ZONING	ZONING
	26007	0.13	LMDR	R-A	SLR
			LMDR	R-A	SLR
	26008	0.10	LMDR	R-A	SLR
	26009	0.10	LMDR	R-A	SLR
	26010	0.10	LMDR	R-A	SLR
£ 44222		0.10	LMDR	R-A	SLR
£ 44222		0.11	LMDR	R-A	SLR
£ 44222		80.0	LMDR	R-A	SLR
£ 44222		0.09	LMDR	R-A	SLR
€ 44222		0.09	LMDR	R-A	SLR
<u>6</u> 44222	-	0.10	LMDR	R-A	SLR
44222		0.10	<u>LMD</u> R	R-A	SLR
£ 44222		0.10	LMDR	R-A	SLR
E 44222		0.10	LMDR	R-A	SLR
<u>£</u> 44222		0.09	LMDR	R-A	SLR
<i>E</i> 44222		0.11	LMDR	R-A	SLR
£ 44222		0.11	LMDR	R-A	SLR
<u>£</u> 44222		0.11	LMDR	R-A	SLR
44222	$\overline{}$	0.11	LMDR	R-A	SLR
E 44222		0.12	LMDR	R-A	SLR
44222		0.10	LMDR	R-A	SLR
E 44222		0.10	LMDR	R-A	SLR
C 45603		8.13	BP	C-1	В-Р
C+0 45603		7.87	BP	C-1	B-P
44206		0.20	СС	C-1	C-2
£ 44206		0.93	CC	C-1	C-2
£ 44206		0.34	CC	C-1	C-2
£ 44206	$\overline{}$	1.27	CC	C-1	C-2
44206		0.67	CC	C-1	C-2
Cyr 44524		0.16	CC	C-1	C-2
44524		0.13	CC	C-1	C-2
44524		0.34	cc	C-1	C-2
44524	\longrightarrow	0.40	CC	C-1	C-2
44524		0.50	CC	C-1	C-2
44524	\longrightarrow	6.49	CC	C-1	C-2
44524		0.61	CC	C-1	C-2
44524		0.19	CC	C-1	C-2
44525		0.14	OP OP	C-1	C-2
44525		0.14	OP OR	C-1	C-2
44525		0.14	OP OP	C-1	C-2
44525		0.18	OP OP	C-1	C-2
44525		0.18	OP OP	C-1	C-2
44525	$\overline{}$	0.07	OP OP	C-1	C-2
44525		0.14	OP OP	C-1	C-2
44525	ZUZ6	0.25	OP	C-1	C-2

-			GP	CURRENT	
	APN	ACRES	DESIGNATION	CURRENT ZONING	PROPOSED
a	445252029	0.36	OP	C-1	ZONING C-2
- CV	445253002	0.54	OP OP	C-1	C-2
	445253002	1.00	OP OP	C-1	C-2
	445253004	0.90	OP OP	C-1	C-2
	445253005	0.90	OP OP	C-1	C-2
	445253006	0.03	OP OP	C-1	C-2
	445253007	0.12	OP	C-1	C-2
	445253007	0.16	OP	C-1	C-2
	445270004	1.72	CC	C-1	C-2
9	445270006	0.65	CC	C-1	C-2
	445270007	0.72	CC	C-1	C-2
	445270008	0.54	CC	C-1	C-2
	445270009	0.71	CC	C-1	C-2
\vdash	445270010	0.94	CC	C-1	C-2
	445270011	0.63	CC	C-1	C-2
\vdash	445270015	0.19	CC	C-1	C-2
	445270031	0.57	CC	C-1	C-2
	445270034	0.29	CC	C-1	C-2
	445270036	0.31	CC	C-1	C-2
	445270043	0.46	СС	C-1	C-2
	445280024	0.27	CC	C-1	C-2
П	445280028	1.44	CC	C-1	C-2
	445280036	0.03	CC	C-1	C-2
	445280038	0.45	CC	C-1	C-2
	445280040	0.50	CC	C-1	C-2
	445280042	0.36	CC	C-1	C-2
	445280043	1.61	CC	C-1	C-2
	445290015	1.33	CC	C-1	C-2
P	448240011	1.00	CC	C-1	C-2
E	448270007	1.47	CC	C-1	C-2
1	448310002	1.83	СС	C-1	C-2
D	448310003	0.82	CC	C-1	C-2
D	448310004	0.84	CC	C-1	C-2
00	448310005	0.65	CC	C-1	C-2
T D	448310006	4.87	сс	C-1	C-2
L D	448310007	1.08	cc	C-1	C-2
2	448310008	1.11	CC	C-1	C-2
H	448310009	2.40	СС	C-1	C-2
D	448310010	0.32	CC	C-1	C-2
Ď	448310011	1.41	CC	C-1	C-2
I R	448310012	0.50	CC	C-1	C-2
K	448310013	5.88	CC	C-1	C-2
P	448310015	1.09	CC	C-1	C-2
o D	448310016	0.33	CC	C-1	C-2
L V	448310017	0.72	CC	C-1	C-2

		<i>V</i>		aning a General Pla	
	APN	ACRES	GP DESIGNATION	CURRENT	PROPOSED
H	D 448310018	2.81	CC	ZONING C-1	ZONING
\vdash	7 448310018 7 448310019	0.82	CC		C-2
-	448310019	0.63		C-1	C-2
\vdash	*		CC	C-1	C-2
-	448310021	0.63	CC	C-1	C-2
•	448310022	1.11	CC	C-1	C-2
\vdash	448310023	0.90	СС	C-1	C-2
ŀ	448310024	1.46	СС	C-1	C-2
\perp	448310025	1.17	CC	C-1	C-2
_	448310028	1.66	CC	C-1	C-2
\downarrow	448440001	2.18	СС	C-1	C-2
٦.	448440005	0.54	CC	C-1	C-2
L	448440006	0.33	CC	C-1	C-2
_	448440007	0.33	СС	C-1	C-2
	2 448440008	1.25	CC	C-1	C-2
	D 448460003	0.78	CC	C-1	C-2
	001 439050035	1.26	ОР	C-1	O-P
	439050036	1.64	OP	C-1	O-P
Г	439050046	3.15	OP	C-1	O-P
Г	439050047	0.16	OP	C-1	O-P
Г	439060011	0.85	MU	C-1	O-P
	439060013	0.95	MU	C-1	O-P
Г	439060014	0.21	MU	C-1	O-P
	439060015	0.24	MU	C-1	O-P
Г	439060016	0.37	MU	C-1	O-P
r	439060024	0.03	MU	C-1	0-Р
r	439060025	1.47	MU	C-1	О-Р
r	439100004	0.40	OP	C-1	O-P
r	439100020	0.24	LMDR	C-1	О-Р
r	439100040	0.98	OP	C-1	O-P
F	439100041	0.47	OP OP	C-1	О-Р
\vdash	439170009	4.94	LMDR	C-1	O-P
	445183002	0.44	OP	C-1	O-P
\vdash	445183002	0.44	OP OP	C-1	0-P
\vdash	445183003	1.22	OP OP	C-1	0-Р
\vdash	445252011	0.18	OP OP	C-1	0-Р О-Р
\vdash	445253012	0.18	OP		
\vdash	445253012	0.48		C-1	O-P
\vdash			OP OP	C-1	O-P
-	445253014	0.60	OP OP	C-1	O-P
\vdash	445360015	1.76	OP CC	C-1	O-P
-	443172036	0.88	CC	C-1/C-2	C-2
-	443172043	1.45	CC	C-1/C-2	C-2
_	442110010	1.09	CC	C-1/C-M	C-2
_	£ 442110011	1.20	CC	C-1/C-M	C-2
-	442110024	1.16	CC	C-1/C-M	C-2
	442110025	4.33	CC	C-1/C-M	C-2

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Co. Cuppers					
APN		ACRES	GP	CURRENT	PROPOSED
€ 44211¢	0022	1 24	DESIGNATION	ZONING	ZONING
		1.34	CC	C-1/C-M	C-2
-		1.25	CC	C-1/C-M	C-2
D 448466	_	1.45	CC	C-1/C-M	C-2
11010		1.33	CC	C-1/C-M	C-2
) 448460		1.05	CC	C-1/C-M	C-2
446020		4.28	CC	C-1/R-3/C-2	C-2
5 442093	-	0.15		C-2	C-M
44209		0.21	<u> </u>	C-2	C-M
£ 442093		0.21		C-2	C-M
44209	-	0.18	<u> </u>	C-2	C-M
£ 442093		0.47	<u> </u>	C-2	C-M
446020	_	3.21		C-2	C-M
£ 443183		1.31	ОР	C-2	O-P
443183	-	0.10	OP OP	C-2	O-P
£ 443183		0.08	ОР	C-2	О-Р
£ 443181		0.10	OP OP	C-2	O-P
<u>£</u> 443183		0.08	<u>OP</u>	C-2	O-P
443183		0.10	OP OP	C-2	O-P
£ 443181		0.08	OP	C-2	O-P
443181	_	0.08	OP	C-2	O-P
E 443181	_	0.09	OP	C-2	O-P
E 443181	$\overline{}$	0.05	OP	C-2	O-P
<u>E</u> 443181		0.05	OP	C-2	O-P
443181		0.85	OP	C-2	O-P
443181		0.26	OP	C-2	O-P
£ 443184		1.83	OP	C-2	O-P
Out 445191		0.74	OP	C-2	O-P
445191		0.02	OP	C-2	O-P
445280		3.72	cc	C-2/C-1	C-2
442110		0.69	сс	C-M	C-2
£ 443260		3.70	СС	C-M	C-2
443260		2.29	CC	C-M	C-2
Out 445080	_	1.86	CC	C-M	C-2
448450		0.62	CC	C-M	C-2
448460	-	1.25	CC	C-M	C-2
448460	-	1.92	CC	C-M	C-2
Out 439090		1.02	OP	C-M	О-Р
439090		1.35	OP	C-M	O-P
439090	_	2.73	OP	C-M	O-P
439100		2.15	OP OP	C-M	O-P
D+C456030		43.96	BP	C-M/M-1	B-P
445170		2.28	OP		O-P
445170	$\overline{}$	3.01	OP	1	O-P
445183	-	6.01	OP OP		O-P
445253	001	1.07	OP		O-P

5/29/2018

		GP GP		
APN	ACRES	DESIGNATION	CURRENT	PROPOSED ZONING
445340010	0.14	OP	ZOITING	O-P
445340011	0.14	OP	i	O-P
445360016	1.71	OP OP	i	O-P
448450008	4.59	HDR	ı	R-3(S)
D 448450009	8.12	HDR		R-3(S)
P.C. 82 456010025	40.14	BP	M-2	B-P
C 456030015	0.91	cc	M-2	C-M
C+D 456030016	1.85	CC	M-2	C-M
C+D 456030017	2.52	CC	M-2	C-M
439080052	3.30	P	OS	OS-R
439090061	7.21	P	OS	OS-R
444072019	6.16	P	OS	OS-R
£ 448222014	1.55	P	os	OS-R
448222015	0.17	P	OŞ	OS-R
Ort- 551504018	4.76	P	OS	OS-R
439281035	1.77	MU	R-1-7.2	OP
£ 442030027	1.71	OP	R-2	О-Р
○+	0.97	OP	R-3	O-P
0+E 446300010	2.94	OP	R-3	O-P
442030028	0.45	OP	R-P	O-P
442030029	0.43	OP	R-P	O-P
(), 445251001	0.20	OP	R-P	O-P
445251015	0.21	OP	R-P	O-P
445251016	0.20	OP	R-P	O-P
445251022	0.23	OP	R-P	O-P
445251023	0.62	OP	R-P	O-P
445251028	0.43	OP	R-P	O-P
445251029	1.06	OP	R-P	O-P
445252006	0.21	OP	R-P	O-P
445252007	0.21	OP	R-P	O-P
445252008	0.14	OP	R-P	O-P
445252022	0.23	OP	R-P	O-P
445252023	0.28	OP	R-P	O-P
445252030	0.23	OP	R-P	O-P
445252031	0.13	OP	R-P	O-P
445262004	0.22	OP	R-P	O-P
445262005	0.22	OP	R-P	O-P
445262006	0.43	OP	R-P	O-P
445262008	0.19	OP	R-P	O-P
445262009	0.19	OP	R-P	О-Р
445262010	0.19	OP	R-P	O-P
445262011	0.19	OP	R-P	О-Р
445262012	0.19	OP	R-P	O-P
445262013	0.19	OP	R-P	О-Р
445262014	0.19	OP	R-P	O-P

	GP CURRENT PROPOSE				
APN	ACRES	DESIGNATION	ZONING	PROPOSED	
0, 445262015	0.27	OP	R-P	O-P	
445262016	0.16	OP	R-P	0-P	
445262017	0.15	OP	R-P	O-P	
445262025	0.04	OP	R-P	0-P	
445262026	0.20	OP	R-P	0-P	
445262027	0.51	OP OP	R-P	0-P	
445262028	0.51	OP OP	R-P	O-P	
445270016	0.19	cc	R-P	0-P	
445270017	0.18	СС	R-P	O-P	
445270018	0.18	СС	R-P	O-P	
445270019	0.18	CC	R-P	O-P	
445270020	0.18	CC	R-P	O-P	
445270021	0.18	CC	R-P	О-Р	
445270022	0.22	СС	R-P	O-P	
445270040	0.29	CC	R-P	O-P	
445270041	0.31	CC	R-P	О-Р	
445270042	0.31	CC	R-P	O-P	
445270044	0.31	CC	R-P	О-Р	
445270045	0.30	CC	R-P	O-P	
445270046	0.22	CC	R-P	O-P	
445340008	0.89	OP	R-P	O-P	
445340009	0.14	OP	R-P	O-P	
445340012	0.16	OP	R-P	O-P	
445340013	0.15	OP	R-P	O-P	
445340014	0.32	OP_	R-P	O-P	
445340015	0.17	OP	R-P	O-P	
445340016	0.38	OP	R-P	O-P	
445340017	0.13	OP_	R-P	O-P	
445340025	0.74	OP	R-P	O-P	
445350001	0.14	<u>OP</u>	R-P	О-Р	
445350004	0.15	OP OP	R-P	O-P	
445350005	0.15	OP	R-P	O-P	
445350006	0.09	OP OP	R-P	O-P	
445350007	0.16	OP	R-P	O-P	
445350008 445350009	0.16	OP OP	R-P	O-P	
445350009	0.16 0.15	OP OP	R-P	O-P	
445350010	0.15	OP OP	R-P	O-P	
445350011	0.46	OP OP	R-P	O-P	
445350019	0.14	OP OP	R-P R-P	O-P O-P	
445350019	0.80	OP OP	R-P	0-P	
446260018	1.70	OP OP	R-P	0-P	
£ 446260022	0.10	OP OP	R-P	0-Р	
£ 446260023	1.00	OP	R-P	0-P	
£ 446260024	1.05	OP	R-P	0-P	
7.10200024	1.00	<u> </u>	t/-E	U-r	

	CD CURRENT PROPOSED				
APN	ACRES	GP	CURRENT	PROPOSED	
A AAE2E1021	0.46	DESIGNATION	ZONING	ZONING	
439080013	0.46 4.54	OP I	R-P/R-2	O-P	
444100008	9.31	NC NC	A 10	O-P	
444100008	23.10	LDR	A-10	C-1	
454060014	24.31	LDR	A-10	R-1-10	
454060014	22.77	LDR	A-10 A-10	R-1-10	
454060013	0.72	LDR	A-10 A-10	R-1-10	
454060031	18.49	LDR	A-10	R-1-10 R-1-10	
454090003	29.78	HR	A-10	R-1-10 (H)	
455110010	4.57	LDR	A-10	R-1-10 (H)	
455110011	5.73	LDR	A-10	R-1-10 (H)	
£ 455110012	10.21	LDR	A-10	R-1-10 (H)	
£ 455110013	10.13	LDR	A-10	R-1-10 (H)	
£ 455110014	19.06	LDR	A-10	R-1-10 (H)	
455120014	31.09	LDR	A-10	R-1-10 (H)	
Cut 454160001	39.15	QP-DV East	A-10	SP-R	
454160004	17.93	QP-DV East	A-10	SP-R	
454160005	17.35	QP-DV East	A-10	SP-R	
454160006	19.98	QP-DV East	A-10	SP-R	
454160015	18.91	QP-DV East	A-10	SP-R	
454160016	20.34	QP-DV East	A-10	SP-R	
454270027	1.37	LDR	A-10	SP-R	
454270033	1.31	QP-DV East	A-10	SP-R	
<u>2</u> 454270035	2.00	QP-DV East	A-10	SP-R	
454280027	9.32	QP-DV East	A-10	SP-R	
454160003	18.29	QP-DV East	A-10	SP-R -DVE	
454150036	2.81	QP-DV East	A-10/SP	SP-R	
454160009	8.85	QP-DV East	A-10/SP	SP-R	
454160010	1.98	QP-DV East	A-10/SP	SP-R	
454160012	0.95	QP-DV East	A-10/SP	SP-R	
454160013	8.59	QP-DV East	A-10/SP	SP-R	
454160014	19.12	QP-DV East	A-10/SP	SP-R	
454280010	7.56	QP-DV East	A-10/SP	SP-R	
454280011	0.62	QP-DV East	A-10/SP	SP-R	
454280029	48.95	QP-DV East	A-10/SP	SP-R	
454160017	19.12	QP-DV East	A-10/SP	SP-R -DVE	
448140003	19.43	LMDR	A-1-5	R-2 (TTP)	
551190075 551190077	0.91	School School	A-1-C	P-1	
D 456030043	0.03	BP	A-1-C	P-J	
456030043 456030044	132.28	BP	A-2-C-10 A-2-C-10	M-1	
448140013	0.02	LMDR	A-2-C-10 A-5	M-1 R-2 (TTP)	
448120011	12.19	HDR	A-5	R-2 (11P)	
Out 439090051	0.83	OP	C-2	C-M	
443183007	0.15	LDR	C-2	R-1-6	
++3103007	0.13	LDI	U-2	V-T-0	

	raices Not Requiring a General Plan Amendment					
	APN	ACRES	GP	CURRENT	PROPOSED	
72	442462000	0.45	DESIGNATION	ZONING	ZONING	
E	443183008	0.15	LDR	C-2	R-1-6	
K	443183032	0.47	LDR	C-2	R-1-6	
E	456010022	14.35	LDR	C-2	R-1-7.2	
E	456010023	14.07	LDR	C-2	R-1-7.2	
on	551190014	0.07	RR	C-2	R-1-7.2	
	551180025	0.27	MDR	C-2	R-3	
	551180026	0.26	MDR	C-2	R-3	
21	439030013	2.23	RR	C-M/C-1/OS	C-M	
	445170006	8.14	School	NZ	P-I	
	445262029	4.08	School	NZ	P-I	
Ш	445330001	15.91	School	NZ	P-I	
Æ	446123010	8.71	School	NZ	P-I	
Out	454160018	15.79	QP-DVE	OS	SP-R	
E	454270034	89.27	LDR	OS	SP-R	
OHE	454280028	11.94	QP-DV East	OS	SP-R	
Out	445104001	6.25	OP	P-1	P-I	
E	444010006	40.83	School	R-1	P-I	
E	444010007	40.35	School	R-1	P-I	
E	444010012	20.16	School	R-1	P-I	
8	444010013	16.49	School	R-1	P-1	
E	444100014	8.69	School	R-1	P-I	
E	444100023	8.43	School	R-1	P-I	
2	444190004	4.84	School	R-1	P-	
E	444190005	4.81	School	R-1	P-I	
K	451021001	0.20	PF	R-1	P-I	
R	451021002	0.17	PF	R-1	P-I	
E	451021003	1.00	PF	R-1	P-I	
Out	551190009	4.25	RR	R-1-14-C	R-1-7.2	
12	444100007	4.37	NC	R-1-7.2	C-1	
E	444160001	4.32	PF	R-1-7.2	P-I	
E	442100008	12.54	ī	R-3	C-M	
Out	439060009	1.78	MU	R-3	O-P	
	439060010	2.92	MU	R-3	O-P	
	454080050	0.53	PF	R-3	P-I	
E	464270003	7.72	LDR	R-3	R-1-6	
E	464270004	6.76	LDR	R-3	R-1-6	
E	464270008	6.98	LDR	R-3	R-1-6	
E	464270009	6.12	LDR	R-3	R-1-6	
-	447160065	1.58	MDR	R-3	S-1	
7	447160066	0.52	MDR	R-3	S-1	
13	446260008	4.64	HDR	R-3	TR-20(S)	
Out	551190022	8.78	RR	R-3/C-2	R-1-7.2	
E	442214001	2.08	P	R-A	OS-R	
n	448310026	8.61	P	R-A	OS-R	
H	448310027	8.38	*			
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GP CURRENT PROPO				PROPOSED
APN	ACRES	DESIGNATION	ZONING	ZONING
451130002	8.75	Р	R-A	OS-R
451130003	9.48	P	R-A	OS-R
451130004	0.16	Р	R-A	OS-R
451140001	4.79	Р	R-A	OS-R
451140011	2.09	Р	R-A	OS-R
551391002	1.10	PF	R-A	P-[
Out 551190010	7.81	RR	R-A/R-3	R-1-7.2
454060010	32.79	LDR	R-A-5	R-1-10 (H)
443181001	0.17	LDR	R-P	R-1-6
£ 443181002	0.14	LDR	R-P	R-1-6
443181003	0.14	LDR	R-P	R-1-6
<u>£</u> 443181004	0.14	LDR	R-P	R-1-6
B 443181005	0.14	LDR	R-P	R-1-6
443181006	0.11	LDR	R-P	R-1-6
E 443181007	0.15	LDR	R-P	R-1-6
£ 443181008	0.07	LDR	R-P	R-1-6
443183001	0.16	LDR	R-P	R-1-6
<u>₹</u> 443183002	0.17	LDR	R-P	R-1-6
£ 443183003	0.17	LDR	R-P	R-1-6
E 443183004	0.17	LDR	R-P	R-1-6
<u>2</u> 443183005	0.17	LDR	R-P	R-1-6
£ 443183006	0.18	LDR	R-P	R-1-6
445330002	0.19	LDR	R-P	R-1-7.2
445330003	0.19	LDR	R-P	R-1-7.2
445330004	0.19	LDR	R-P	R-1-7.2
445330005	0.19	LDR	R-P	R-1-7.2
445330006	0.18	LDR	R-P	R-1-7.2
445330007	0.18	LDR	R-P	R-1-7.2
445330008	0.19	LDR	R-P	R-1-7.2
445330009	0.19	LDR	R-P	R-1-7.2
445330010	0.19	<u>L</u> DR	R-P	R-1-7.2
446071002	0.19	LDR	R-P	R-1-7.2
446071003	0.19	LDR	R-P	R-1-7.2
<u>₹ 446071004</u>	0.19	LDR	R-P	R-1-7.2
£ 446071005	0.19	LDR	R-P	R-1-7.2
446071006	0.19	LDR	R-P	R-1-7.2
<u>2</u> 446071007	0.19	<u>LD</u> R	R-P	R-1-7.2
446071008	0.19	LDR	R-P	R-1-7.2
456141053	4.14	HDR	R-P	R-3
	4890.25			

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day), and by prescheduled appointment on Fridays from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Hemet will hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1055HR18 – City of Hemet (Representative: Nancy Gutierrez) - City of Hemet Case Nos.: GPA 18-001 (General Plan Amendment) and ZC 18-001 (Zone Change). GPA 18-001 is a proposal to amend the land use designation of up to 1,017 parcels City-wide covering 646 acres. Only 34 of the parcels (covering 46 acres) are presently vacant. ZC 18-001 is a proposal to change the zoning of 8,882 parcels City-wide covering 5,263 acres. 608 of these parcels covering 372 acres require approval of GPA 18-001. The zone change parcels fit into six categories: 172 with zoning that is inconsistent with the General Plan designation; 289 proposed for zoning that would be a better fit for either the General Plan designation or the existing land use or neighborhood character; 2,165 proposed for zoning that correctly reflects existing use and density; 3,728 proposed for addition of a suffix reflecting the average lot size of the tract in which the lot is located; 2,341 proposed for deletion of a "C" County suffix that should have been eliminated at the time of annexation; and 187 proposed for change in zoning district name from Residential Agricultural to Rural Residential. (Airport Compatibility Zones B1, C, D (East and West), and E of the Hemet-Ryan Airport Influence Area)

FURTHER INFORMATION: Contact John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Nancy Gutierrez of the City of Hemet Planning Department at (951) 785-2382.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW ALUC CASE NUMBER: ZAP 1055 HR 18 DATE SUBMITTED: May 22018 APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION City of Hemet Planning Department Applicant Phone Number 951-765-2370 Email DElliano@cityofhemet.org Deanna Elliano, Community Development Director Mailing Address 445 E. Florida Avenue Hemet, CA 92543 Nancy Gutierrez, Project Planner Phone Number 951-765-2382 Representative 445 E. Florida Avenue Mailing Address Email ngutierrez@cityofhemet.org Hemet, CA 92543 Property Owner Phone Number Mailing Address Email LOCAL JURISDICTION AGENCY Phone Number 951-765-2382 City of Hemet Local Agency Name Email ngutierrez@cityofhemet.org Nancy Gutierrez Staff Contact Mailing Address Case Type 445 E. Florida Avenue General Plan / Specific Plan Amendment Hemet, CA 92543 **Zoning Ordinance Amendment** Subdivision Parcel Map / Tentative Tract Use Permit Local Agency Project No **GPA18-001 Consistency Zoning** Site Plan Review/Plot Plan Other **PROJECT LOCATION** Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways Street Address Assessor's Parcel No. Gross Parcel Size Nearest Airport Subdivision Name and distance from Lot Number Aimort PROJECT DESCRIPTION If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed **Existing Land Use** (describe)

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM:

3.9

HEARING DATE:

June 14, 2018

CASE NUMBER:

ZAP1315MA18 - San Bernardino Community College

District (Representative: Burke, Williams & Sorensen, LLP,

Erica Vega)

APPROVING JURISDICTION:

County of Riverside

JURISDICTION CASE NO:

PPT180014 (Plot Plan), VAR180002 (Variance)

MAJOR ISSUES:

None

RECOMMENDATION: Staff recommends that the Commission finds the proposed Plot Plan and Variance <u>CONSISTENT</u>, subject to the conditions included herein.

PROJECT DESCRIPTION: A proposal to replace an existing 204 foot tall communications tower with a 345 foot tall communications tower on a previously disturbed 3,600 square foot area (on a 299 acre parcel). The variance is proposed because the tower would exceed the 105 foot height limitation for structures in the County's W-2-20 (Controlled Development Areas, 20 acre minimum lot size) zone.

PROJECT LOCATION: The site is located westerly of Box Mountain Road, northerly of Box Springs Road, approximately 3000 feet northwest of the large "M" mountain sign, within unincorporated Riverside County, approximately 24,640 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

a. Airport Influence Area:

March Air Reserve Base

b. Land Use Policy:

Zone E High Terrain Zone

c. Noise Levels:

outside the 60 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone E,

Staff Report Page 2 of 4

which does not restrict non-residential intensity. The proposed project is an unmanned communications tower with no onsite occupancy.

March Air Reserve Base/United States Air Force Input: Given that the project site is located in Zone E High Terrain Zone, the March Air Reserve Base (MARB) staff was notified of the project and sent a package of plans for their review. The MARB staff replied with a determination that the proposed project will not have an adverse effect on air traffic control and did not request any additional conditions or special mitigation measures.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E High Terrain Zone. The project has received air space clearances from the Federal Aviation Administration Obstruction Evaluation Service (with conditions) and MARB staff.

<u>Noise</u>: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area outside the 60 CNEL range from aircraft noise. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). The project is located within Compatibility Zone E High Terrain Zone of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. The military Outer Horizontal Surface is set at an elevation that exceeds the runway elevation by 500 feet. Objects breaching the Outer Horizontal Surface are subject to review at distances up to 50,000 feet. At a distance of approximately 24,640 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of point exceeding 1,781 feet AMSL. The site elevation is approximately 2,939 feet AMSL. With a structure height of 345 feet, the top point elevation would be 3,284 feet AMSL. Therefore, review of the structure by the FAA Obstruction Evaluation Service (FAA OES) was required. The applicant had submitted Form 7460-1 for FAA OES review. A Determination of No Hazard to Air Navigation letter was issued for Aeronautical Study No. 2017-AWP-12160-OE, which required marking/lighting. Most recently, FAA OES approved a modification to the marking/lighting evaluated through Aeronautical Study No. 2018-AWP-139-OE. As amended, the structure is to be marked/lighted in accordance with FAA Advisory Circular 70/7460-1 L Change 1, Obstruction Marking and Lighting, a med-dual system Chapters 4, 8 (M-Dual), and 12.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

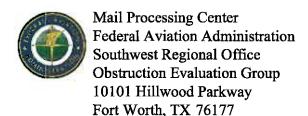
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note A on Table 4 of the Reche Canyon/Badlands Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight.
- 4. Prior to issuance of any building permits, the landowner shall convey and have recorded an avigation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
- 5. The attached notice shall be provided to all prospective purchasers of the property and lessees
- 6. Any proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 7. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access

gates, etc.

- 8. The proposed structure shall be marked/lighted in accordance with Federal Aviation Administration (FAA) Advisory Circular 70/7460-1 L Change 1, Obstruction Marking and Lighting, a med-dual system Chapters 4, 8 (M-Dual), and 12, and such lighting shall be maintained therewith for the life of the project.
- 9. The proposed structure shall not exceed a height of 345 feet above ground level and a maximum elevation at top point of 3,284 feet above mean sea level.
- 10. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission. Any change in height that exceeds a total height of 345 feet will require Form 7460-1 submittal, review, and issuance of a "Determination of No Hazard to Air Navigation" by the Federal Aviation Administration Obstruction Evaluation Service.
- 11. Temporary construction equipment used during actual construction of the structure shall not exceed 345 feet in height and a maximum elevation of 3,284 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 12. At least 10 days prior to start of construction, Part 1 of FAA Form 7460-2, Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration Obstruction Evaluation Service. Such e-filing shall also be conducted in the event the project is abandoned.
- 13. Within five (5) days after construction reaches its greatest height, Part 2 of FAA Form 7460-2, Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration Obstruction Evaluation Service. Such e-filing shall also be conducted in the event the project is abandoned.
- 14. Any failure or malfunction affecting a top light or flashing obstruction light, regardless of its position, that lasts more than thirty (30) minutes shall be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to vou. Business & Professions Code Section 11010 (b)



Aeronautical Study No. 2018-AWP-139-OE Prior Study No. 2017-AWP-12160-OE

Issued Date: 01/11/2018

Larry R. Ciecalone
San Bernardino Community College District
701 South Mt. Vernon Ave
San Bernardino, CA 92410

** MARKING & LIGHTING RECOMMENDATION **

The Federal Aviation Administration has completed an evaluation of your request concerning:

Structure: Lighting Study KVCR - New Tower

Location: Moreno Valley, CA Latitude: 33-57-57.43N NAD 83

Longitude: 117-17-09.10W

Heights: 2939 feet site elevation (SE)

345 feet above ground level (AGL) 3284 feet above mean sea level (AMSL)

Based on this evaluation, we have no objection to the change provided the structure is marked/lighted in accordance with FAA Advisory Circular 70/7460-1, L Change 1, Obstruction Marking and Lighting, a meddual system - Chapters 4,8(M-Dual),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

So that aeronautical charts and records can be updated, it is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed when the new system is installed and operational.

If this structure is subject to the authority of the Federal Communications Commission a copy of this letter will be forwarded to them and application should be made for permission to change the marking/lighting as requested.

This evaluation concerns the effect of the marking/lighting changes on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-139-OE.

Signature Control No: 352778053-352934303

(MAL)

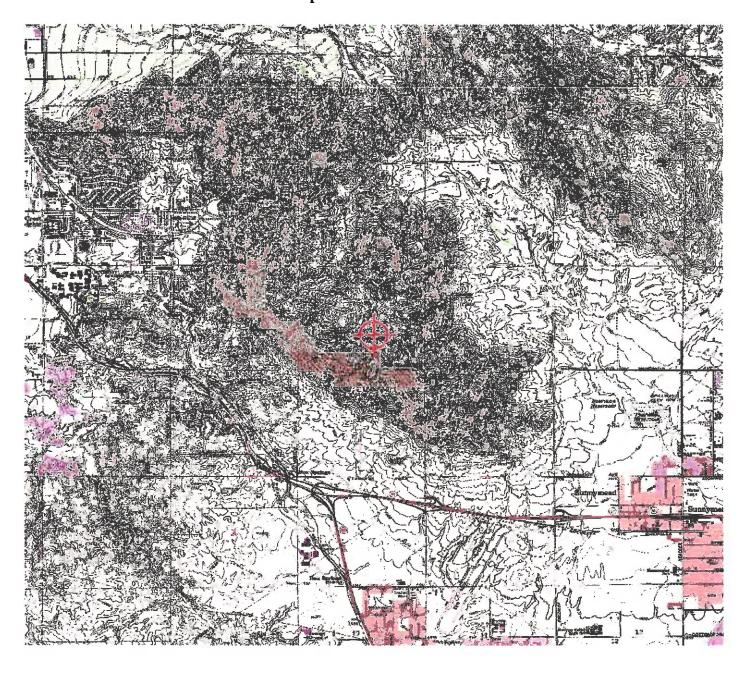
Karen McDonald Specialist

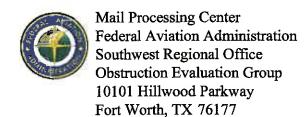
Attachment(s)

Map(s)

cc: FCC

TOPO Map for ASN 2018-AWP-139-OE





Aeronautical Study No. 2017-AWP-12160-OE Prior Study No. 2017-AWP-8529-OE

Issued Date: 12/31/2017

Larry R. Ciecalone
San Bernardino Community College District
701 South Mt. Vernon Ave
San Bernardino, CA 92410

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower KVCR - New Tower

Location: Moreno Valley, CA Latitude: 33-57-57.43N NAD 83

Longitude: 117-17-09.10W

Heights: 2939 feet site elevation (SE)

345 feet above ground level (AGL) 3284 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does exceed obstruction standards but would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 L Change 1, Obstruction Marking and Lighting, paint/red lights - Chapters 3(Marked),4,5(Red),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

_X	At least 10 days prior to start of construction (7460-2, Part 1)
X	Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

This determination expires on 07/01/2019 unless:

(a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.

- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2017-AWP-12160-OE.

Signature Control No: 349747312-352114741

(EBO)

Karen McDonald Specialist

Attachment(s)
Additional Information
Frequency Data
Map(s)

cc: FCC

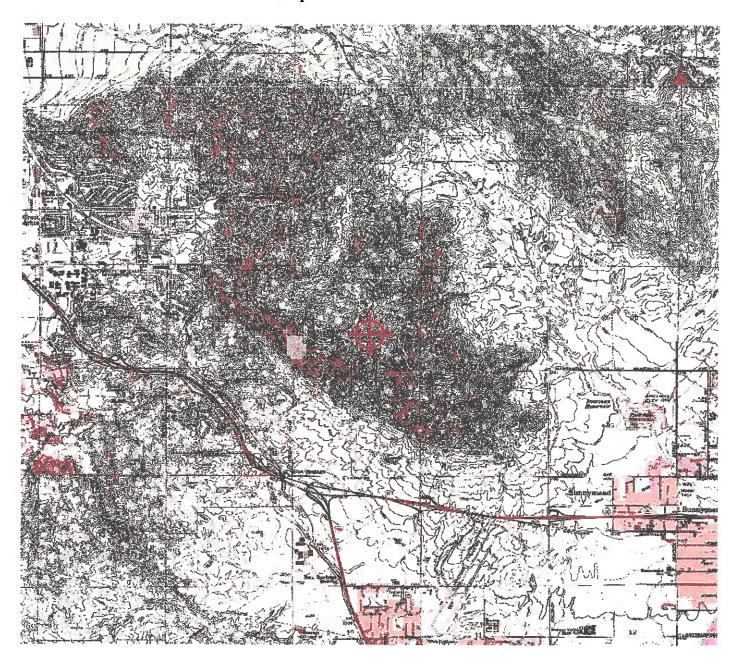
Additional information for ASN 2017-AWP-12160-OE

AT 3284 AMSL, Corona, CA Corona Muni, (AJO) Obstacle penetrates Rwy 07 40:1 departure surface, however, required climb gradient is less than currently published, therefore NO IFR EFFECT. /// Chino, CA Chino (CNO) Obstacle penetrates rwy 8 L/R departure surface, however required climb gradient is less than currently published, therefore NO IFR EFFECT. /// Riverside, CA Riverside Muni (RAL) Obstacle penetrates Rwy 9/27 departure surface, however due to current departure procedure, the procedures turn before the obstacle, therefore NO IFR EFFECT. RWY 16 departure NA terrain. Obstacle penetrates Rwy 34 departure surface, however required climb gradient is less than currently published, therefore NO IFR EFFECT. /// Redlands, CA Redlands Muni (REI) obstacle penetrates Rwy 26 departure surface, however, required climb gradient is less than currently published, therefore NO IFR EFFECT. /// Riverside/Rubidoux, CA Flabob (RIR) Obstacle penetrates Rwy 6/24 departure surface, however, required climb gradient is less than currently published, therefore NO IFR EFFECT. /// San Bernardino, CA San Bernardino INTL (SBD) obstacle penetrates Rwy 6 40:1 departure surface, however required climb gradient is less than currently published, therefore NO IFR EFFECT. Obstacle penetrates Rwy 24 40:1 departure surface, however, due to current departure procedure, the procedures turns before the obstacle, therefore NO IFR EFFECT. /// Chino, CA Chino (CNO) ILS OR LOC RWY 26R Obstacle becomes the controller in the Initial (from HDF VOR TO CAZBY INT) but ALT stays the same. NO IFR EFFECT. /// Ontario, CA Ontario INTL (ONT) ILS OR LOC RWY 8L, Obstacle becomes the alternate missed approach controlling obstacle, however does not penetrate the missed approach therefore No IFR EFFECT. /// ILS OR LOC RWY 26R, Obstacle becomes the initial (PDZ VORTAC TO HIGRO INT) controlling obstacle, however NO IFR EFFECT. /// ILS OR LOC RWY 26L, Obstacle become the initial (PDZ VORTAC TO HIGRO INT) controlling obstacle, however NO IFR EFFECT.

Frequency Data for ASN 2017-AWP-12160-OE

LOW FREQUENCY	HIGH FREQUENCY	FREQUENCY UNIT	ERP	ERP UNIT
76	82	MHz	27.2	kW
91.8	92	MHz	3.8	$\mathbf{k}\mathbf{W}$

TOPO Map for ASN 2017-AWP-12160-OE





Aeronautical Study No. 2009-AWP-5689-OE Prior Study No. 2000-AWP-739-OE

Issued Date: 01/14/2010

Larry R. Ciecalone San Bernardino Community College District 701 South Mt. Vernon Ave San Bernardino, CA 92410

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower KVCR TOWER

Location: RIVERSIDE, CA Latitude: 33-57-57.33N NAD 83

Longitude: 117-17-08.60W

Heights: 211 feet above ground level (AGL)

3162 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does exceed obstruction standards but would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

As a condition to this Determination, the structure should continue to be marked and/or lighted utilizing paint/red lights.

See attachment for additional condition(s) or information.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2009-AWP-5689-OE.

Signature Control No: 667934-121873347

(EBO)

Karen McDonald Specialist

Attachment(s)
Additional Information
Case Description
Frequency Data
Map(s)

cc: FCC

Additional information for ASN 2009-AWP-5689-OE

Structure height would have to be reduced not to exceed 200'agl	, including all anten	nas, lightning rods	, etc., for
obstruction marking and lighting to be eliminated.			

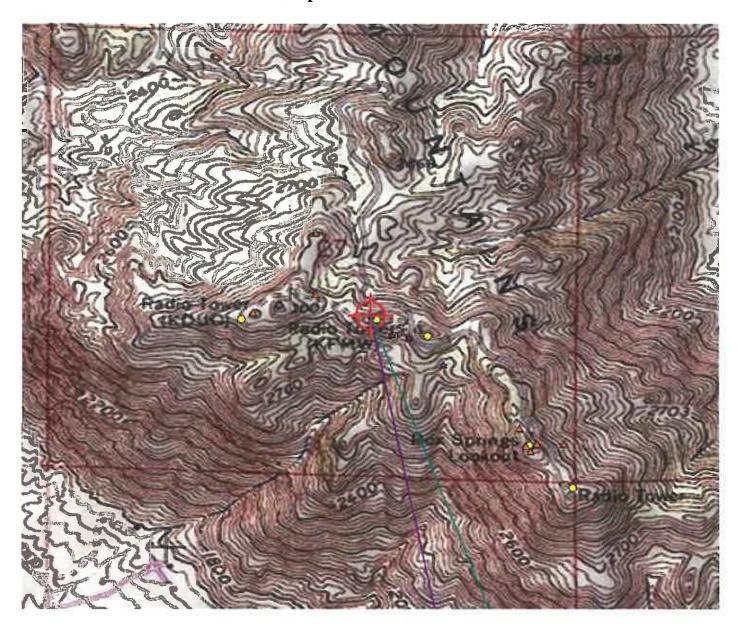
Case Description for ASN 2009-AWP-5689-OE

reduce existing overall tower height from 271' AGL to 211' AGL (a 60' reduction)

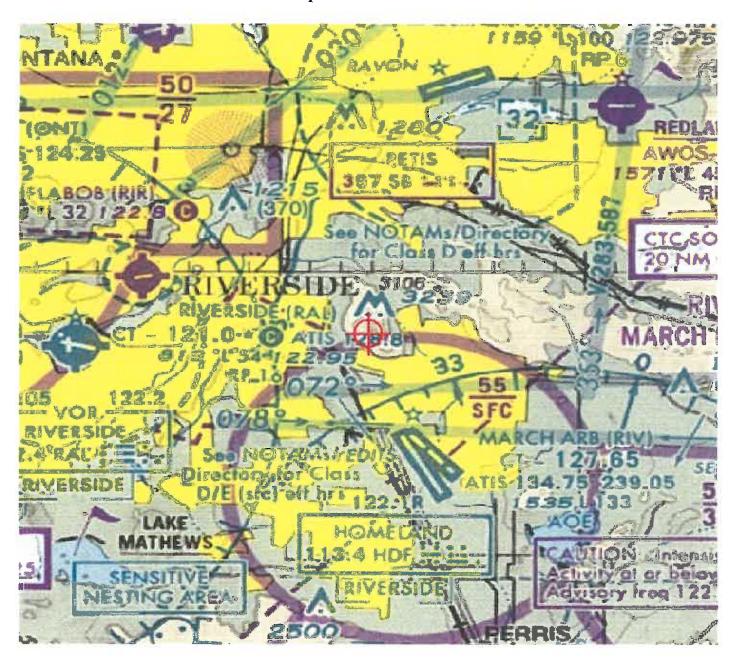
Frequency Data for ASN 2009-AWP-5689-OE

LOW	HIGH	FREQUENCY	ERP	ERP	
FREQUENCY	FREQUENCY	UNIT		UNIT	
91.8	92	MHz	3.8	kW	
542	548	MHz	475	kW	

Verified Map for ASN 2009-AWP-5689-OE



Sectional Map for ASN 2009-AWP-5689-OE



Rull, Paul

From:

ROCKHOLT, DANIEL L CTR USAF AFRC HQ AFRC <daniel.rockholt.2.ctr@us.af.mil>

Sent:

Monday, May 21, 2018 9:08 AM

To:

Spivak, Marjorie

Cc:

Rull, Paul; HAUSER, DENISE L GS-11 USAF AFRC 452 MSG/CECP

Subject:

RE: SBCCD KVCR Tower (ZAP1315MA18)

Marjorie:

March ARB Airfield Management and air traffic control personnel have reviewed the proposed KVCR antenna (ALUC Project # ZAP1315MA18) and have determined it will not have an adverse effect on air traffic control, therefore are not requesting any additional conditions or mitigation measures on the project.

Should you have any questions please do not hesitate to contact me at any time.

Very respectfully, Rock

Daniel "Rock" Rockholt, AICP Contract Community Planner 452d MSG/CECP

NIPR: daniel.rockholt.2.ctr@us.af.mil

Comm: 951-655-2236

DSN: 447-2236

----Original Message----

From: Spivak, Marjorie [mailto:Marjorie.Spivak@wbd-us.com]

Sent: Monday, May 21, 2018 8:13 AM

To: ROCKHOLT, DANIEL L CTR USAF AFRC HQ AFRC <daniel.rockholt.2.ctr@us.af.mil>

Subject: [Non-DoD Source] SBCCD KVCR Tower

Hi Mr. Rockholt,

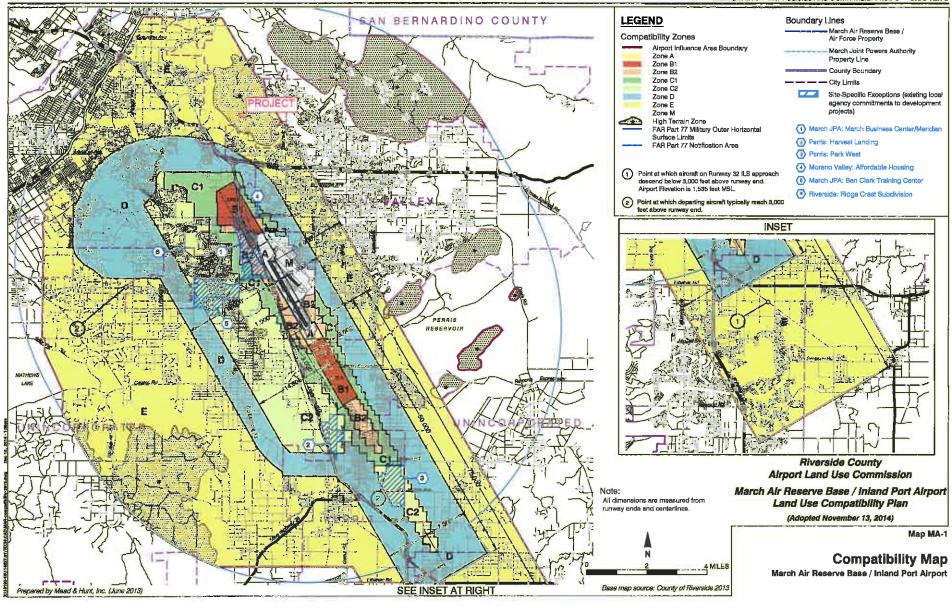
Per our telephone conversation last week, I just want to follow up with you concerning San Bernardino Community College District's proposed replacement tower at Moreno Valley, California.

If you could let us know the status of review, I would truly appreciate it. Time is of the essence with regard to this tower project and I have many stakeholders that would like to know the status of review.

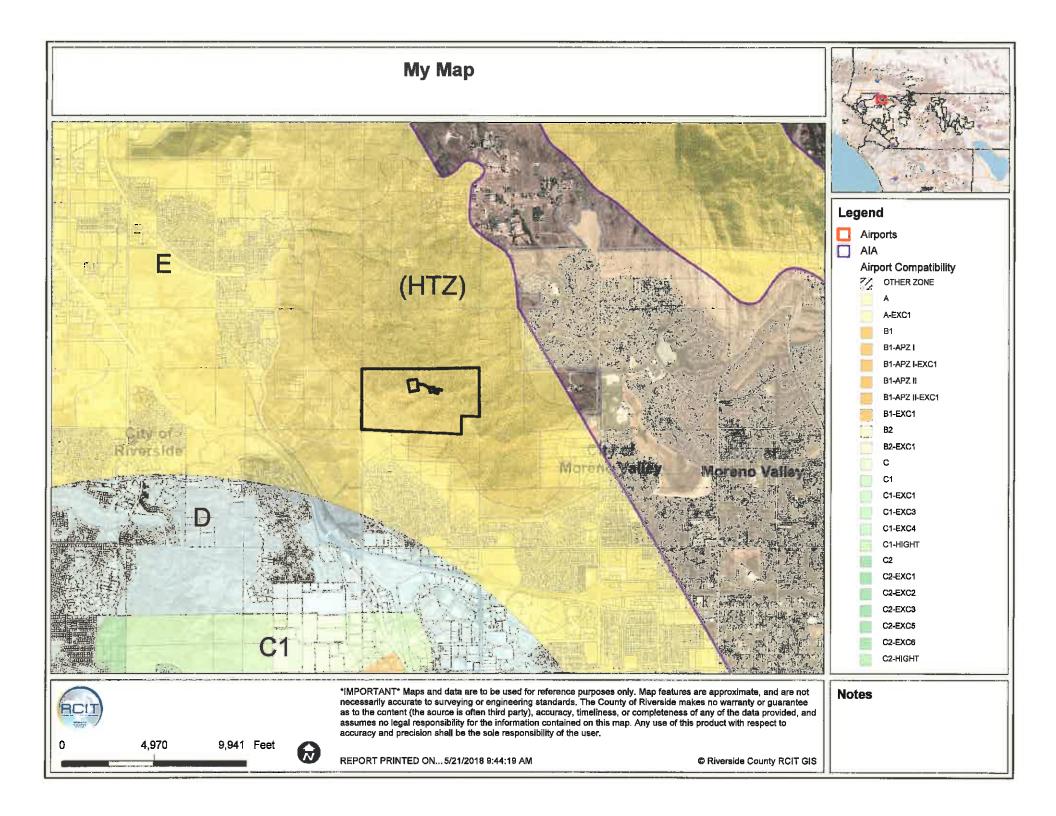
Should you have any questions, or require additional information, please do not hesitate to contact me.

Thank you,

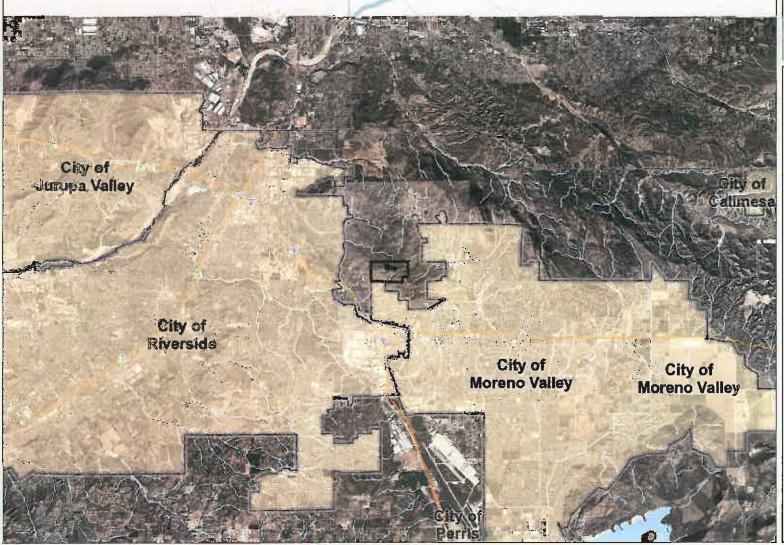
Marjorie Spivak



Му Мар Jurupa Legend E Airports AIA Airport Compatibility OTHER ZONE D A-EXC1 B1 C₁ B1-APZ | City of B1-APZ I-EXC1 **B1** Morene Valley C2 B1-APZ II Moreno Valley B1-APZ II-EXC1 B1-EXC1 B2 B2-EXC1 С C1 C1-EXC1 C1-EXC3 C1-EXC4 C1-HIGHT Ç2 C2-EXC1 City of Pernis C2-EXC2 C2-EXC3 C2-EXC5 C2-EXC6 C2-HIGHT *IMPORTANT* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee **Notes** as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user. 15,768 31,536 Feet REPORT PRINTED ON... 5/21/2018 9:46:39 AM © Riverside County RCIT GIS



Му Мар





Legend

City Boundaries
Cities

adjacent_highways

- Interstate
- Interstate 3
- State Highways; 60
- State Highways 3
- US HWY
- __ OUT

highways_large

- HWY
- INTERCHANGE
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- USHWY
- counties
- cities



15,768 31,536 Feet



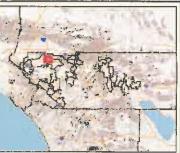
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes

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Legend

City Boundaries

Cities roadsanno

highways

- HWY

INTERCHANGE

INTERSTATE

OFFRAMP

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USHWY

roads

Major Roads

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Collector

Residential

counties

cities hydrographylines

waterbodies

Lakes

Rivers



3,942

7,884 Feet



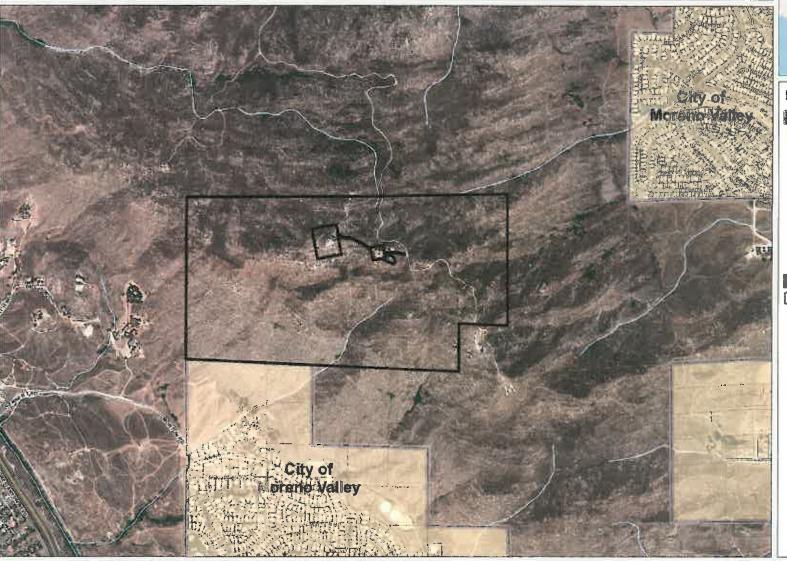
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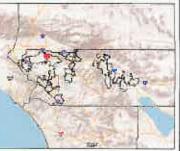
Notes

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Legend

City Boundaries

Cities roadsanno highways

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counties

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Rivers



3,639 Feet

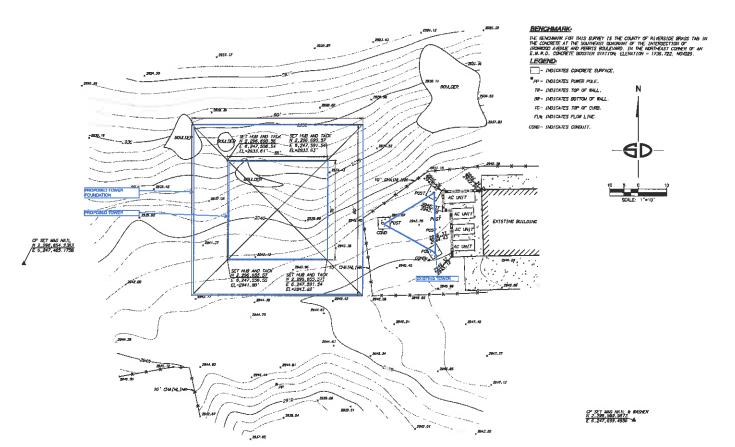
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Notes

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#ILL IAM A. SNIPES 9/26/2017 REVISED: 11/07/2017 REVISED: 04/19/2018 REVISED: 04/25/2018

NOTICE OF PUBLIC HEARING RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed and written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Tuesdays through Thursdays from 8:00 a.m. to 5:00 p.m., except Monday, May 28 (Memorial Day) by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.,

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The County of Riverside may hold hearings on this item and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

Riverside California

DATE OF HEARING: June 14, 2018

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1315MA18 – San Bernardino Community College District (Representative: Burke, Williams & Sorensen, LLP, Erica Vega) – County of Riverside Case Nos. PPT180014 (Plot Plan) and VAR180002 (Variance), a proposal to replace an existing 204 foot tall communications tower with a 345 foot tall communications tower on an previously disturbed 3,600 square foot area (on a 299 acre parcel) located westerly of Box Mountain Road, northerly of Box Springs Road, approximately 3000 feet northwest of the large "M" mountain sign. (The variance is proposed because the tower would exceed the 105 foot height limitation for structures in the County's W-2-20 [Controlled Development Areas, 20 acre minimum lot size] zone.) (Airport Compatibility Zone E High Terrain Zone of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact ALUC Planner Paul Rull at (951) 955-6893 or John Guerin at (951) 955-0982. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Larry Ross of the County of Riverside Planning Department at (951) 955-1811.



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

<u> </u>	CATION TON MIAJON LAND USE	ACTION REVIEW		
ALUC CASE NUMI	BER: ZAP1315MA18 DATE SUBMIT	TED: May 14, 2018		
APPLICANT / REPRE	SENTATIVE / PROPERTY OWNER CONTACT INFORMATION			
Applicant	San Bernardino Community College District	Phone Number 909-382-4094		
Mailing Address	114 S. Del Rosa Drive	Email hagah@sbccd.cc.ca.us		
	San Bernardino, CA 92408			
	Attn: Hussain Agah, Director of Facilities Planning & Construction			
Representative	Erica L. Vega	Phone Number 951-788-0100		
Mailing Address	Burke, Williams & Sorensen, LLP	Email evega@bwslaw.com		
	1600 lowa Ave., Suite 250			
	Riverside, CA 92507			
Property Owner	Henry Broadcasting Company Phone Number 415-285-1			
Mailing Address	c/o Sean Buckley, Buckley Real Estate Inc.	Email seancb2139@gmail.com		
	2277 Jerrold Ave.			
San Francisco, CA 94124				
LOCAL JURISDICTION	N AGENCY			
Local Agency Name	Riverside County	Phone Number 951-955-1811		
Staff Contact	Larry Ross	Email ross@rivco.org		
Mailing Address	4080 Lemon St., 12th Floor	Case Type		
	PO Box 1409	General Plan / Specific Plan Amendment		
	Riverside, CA 92502	Zoning Ordinance Amendment Subdivision Parcel Map / Tentative Tract		
Local Agency Project No	PPT180014	□ Use Permit □ Site Plan Review/Plot Plan		
		Other		
PROJECT LOCATION				
Attach an accurately scaled	map showing the relationship of the project site to the airport boundary and runways			
Street Address	10550 Box Springs Mountain Road			
	Moreno Valley, CA 92557			
Assessor's Parcel No.	256-030-009	Gross Parcel Size 299 ac		
Subdivision Name	n/a	Nearest Airport and distance from		
Lot Number	n/a	Airport March Air Field - 10 mi		
PROJECT DESCRIPTION If applicable, attach a detaile include additional project de	ed site plan showing ground elevations, the location of structures, open spaces and y	rater bodies, and the heights of structures and trees;		
Existing Land Use	The demolition of an existing communications tower for KVCR radio and t	elevision broadcasts on Box Springs Mountain		
	and the construction of a new tower on the same site that is approximately			
-				

Much

Proposed Land Use (describe)						
For Residential Uses For Other Land Uses (See Appendix C)	Number of Parcels or Hours of Operation Number of People on	n/a	lude secondary units)			
	Method of Calculation	n				
Height Data	Site Elevation (above	mean sea level)		2935		
	Height of buildings or	structures (from th	e ground)	344.5		
Flight Hazards			tics which could create electrical or visual haza		☐ Yes ■ No	
	If yes, describe	The FAA has aln	eady issued a No Haza	ard determination for the	proposed tower.	
				<u>.</u>		
tions 659 disappro . REVIEW submitta submitta	940 to 65948 inclival of actions, reg 7 TIME: Estimate I. Estimated time I to the next available	usive, of the ulations, or p d time for "s for "commis able commiss	California Governments. Staff level review sion level review	nment Code, MAY is approximately is approximately	nation pursuant to constitute ground 30 days from da 45 days from da	ds fo
. SUBMIS	SION PACKAGE	:				
1 1 1	plans, grading pla Plans Package (8	nt 14x36 folded) Ins, subdivisi 1.5x11) (site p bdivision map	(site plans, floor on maps) blans, floor plans, os, zoning ordina	building elevation	evations, landscapi is, landscaping pla t/map amendments	ns,

3. Gummed address labels for applicant/representative/property owner/local jurisdiction

3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site (only required if the project is scheduled for a public hearing Commission meeting). If more than 100 property owners are involved, please

provide pre-stamped envelopes (size #10) with ALUC return address. *

1..... Vicinity Map (8.5x11)
1..... Detailed project description

planner

1.... Local jurisdiction project transmittal

^{*} Projects involving heliports/helicopter landing sites will require additional noticing procedures.

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

4.1 <u>Director's Approvals.</u>

A. During the period of April 14, 2018 through May 15, 2018, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed five non-legislative cases within Zones D and E of various Airport Influence Areas and issued determinations of consistency.

ZAP1053 HR18 (Hemet-Ryan Airport Influence Area, Zone D) pertains to City of Hemet Case Nos. 17-004 (Conditional Use Permit), a proposal to construct a gas station with 12 fuel pumps, a 3,062 square foot convenience store, and a 3,590 square foot car wash tunnel on a 2.3 net acre site located on the southeast corner of Stetson Avenue and Sanderson Avenue and develop a 208-stall parking lot to be utilized by the existing McCrometer business on an additional 2.3 net acres (east of the existing buildings), and 17-002 (Tentative Parcel Map), a proposal to divide 8.74 acres (including the gas station and parking lot sites) into 4 parcels. The site is located within Compatibility Zone D of the Hemet-Ryan Airport Influence Area. Within the portion of Compatibility Zone D easterly of Cawston Avenue, pursuant to the Hemet-Ryan Airport Land Use Compatibility Plan (Hemet ALUCP), non-residential intensities up to 300 persons per acre (average), with a maximum single-acre intensity of 1200 persons, are acceptable. The projected occupancy on the new parcels is 76 persons. The elevation of Runway 5-23 at its existing northeasterly terminus is approximately 1,508 feet above mean sea level (AMSL). At a distance of 3,880 feet (0.73 mile) from the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,546.8 feet AMSL. The site elevation is 1,530 feet AMSL, and the tallest proposed structure is 26 feet, for a maximum top point elevation of 1,556 feet AMSL. Therefore, FAA OES review was required. The applicant submitted Form 7460-1 to the FAA OES. "Determination of No Hazard to Air Navigation" letters for Aeronautical Study Nos. 2018-AWP-7241-OE through 2018-AWP-7243-OE were issued on April 18, 2018. The studies revealed that the proposed buildings would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA conditions were incorporated into the project finding. ALUC Director Simon Housman issued a determination of consistency for this project on April 19, 2018.

ZAP1073BD18 (Bermuda Dunes Airport Influence Area, Zone E) pertains to City of Indio Case Nos. PMP 18-04-61 (Project Master Plan), CUP 18-04-1035 (Conditional Use Permit), and DR 18-04-433 (Design Review) proposing to develop a multi-building church campus containing a total of 55,236 square feet of building area on 18.5 acres located on the westerly side of Jefferson Street, northerly of its intersection with Avenue 39 and southerly of its intersection with Avenue 38. The site is located within Compatibility Zone E, where nonresidential intensity is not restricted. The site is closer to the westerly terminus of Runway 10-28 at Bermuda Dunes Airport (approximately 6,500 feet [1.25 miles]) than to its easterly terminus (approximately 8,200 feet [1.55 miles]), but, due to the lower elevation of the runway at its easterly terminus (39 feet above mean sea level [AMSL], in contrast to 73 feet AMSL at the westerly terminus, the easterly terminus is more critical in the determination of notice requirements for this property located northerly of, and lateral to, the runway. At a distance of 8,200 feet from the easterly terminus of the runway,

Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with a top of roof elevation exceeding 121 feet AMSL. (The critical number at the westerly terminus would be 138 feet AMSL.) The project site elevation is 60 feet AMSL, and the maximum height of the proposed structures is 45 feet, for a maximum top point elevation of 105 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on April 26, 2018.

ZAP1310MA18 (March Air Reserve Base/Inland Port Airport Influence Area, Zone D) pertains to County of Riverside Case Nos. PM37402 (Tentative Parcel Map No. 37402), a proposal to divide a 2.55-acre parcel located northerly of Van Buren Boulevard, westerly of Ridgeway Avenue, and easterly of Chicago Avenue and the easterly terminus of Iris Avenue into two parcels, and PP26337 (Plot Plan), a proposal to develop a 6,480 square foot children's day care center building with a 5,000 square foot outdoor play area on the proposed southerly one-acre parcel. (The proposed northerly 1.55-acre parcel will be developed with an 880 square foot single family residence.) The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area, where residential density and nonresidential intensity are not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 22,376 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review could be required for any structures with top of roof exceeding 1,758.7 feet AMSL. The site's maximum elevation is approximately 1,588 feet AMSL. With a maximum building height of 22 feet, the top point elevation would be 1,610 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on April 26, 2018.

ZAP1311MA18 (March Air Reserve Base/Inland Port Airport Influence Area, Zone E) pertains to County of Riverside Case No. CUP3775 (Conditional Use Permit), a proposal to develop a commercial retail center including two retail buildings with 19,097 square feet and 8,586 square feet, respectively, a 3,200 square foot quick service restaurant with a drive-thru, and a gas station with a 3,800 square foot convenience store, 2,080 square foot car wash tunnel and 8 fuel pumps (16 fueling stations) on 7.18 acres located on the northeast corner of Cajalco Road and Wood Road (to be accessed from Wood Road). The site is located within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (March AIA), where nonresidential intensity is not restricted. The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of 26,000 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review could be required for any structures with top of roof exceeding 1,748 feet AMSL. The project's site elevations range from 1,580 to 1,604 feet AMSL. Therefore, review by the FAA OES for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on April 26, 2018.

ZAP1093RI18 (Riverside Municipal Airport Influence Area, Zone D) pertains to City of Jurupa Valley Case No. MA17275 [SDP17128] (Site Development Plan), a proposal to construct a new 12,250 square foot office building on a 23.8-acre site located at 6580 General Road (easterly of Clay Street). There is already a 94,106 square foot building on the site, in use as a steel distribution facility and service center. The site is located within Airport Compatibility Zone D of the Riverside Municipal Airport Influence Area. Compatibility Zone D restricts nonresidential intensity to an average of 100 persons per acre and a single-acre maximum of 300 persons. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the proposed 12,250 square foot office building was evaluated on the basis of one person per 200 square feet of office floor area, which would accommodate an occupancy of 61 persons. The

existing adjacent 94,106 square foot manufacturing/warehouse building was conservatively evaluated on the basis of one person per 200 square feet of manufacturing area for the entire building, which accommodates an occupancy of 471 persons. This would result in a total occupancy of 512 persons for the entire site, with an average intensity of 22 persons per acre and a single-acre intensity of 218 persons, both of which are consistent with Compatibility Zone D intensity criteria. Compatibility Zone D criteria also require that 10% of area within new major projects (10 acres or larger) be set aside as open area that could potentially serve as available areas for emergency landings by aircraft. Based on the size of this property, the landowner is required to identify a minimum of 2.38 acres of open area consistent with ALUC open area criteria. The applicant submitted Exhibit A0.01 delineating 2.5 acres of open area, largely located around the proposed building and parking lot. Pursuant to recommended Condition No. 6, at least 2.38 acres of this area shall remain as perpetual open area meeting the ALUC open area requirement of 300 feet by 75 feet minimum shape and prohibiting obstructions greater than 4 feet in height that are at least 4 inches in diameter. The elevation of Runway 16-34 at Riverside Municipal Airport at its northerly terminus is 771.8 feet above mean sea level (AMSL). At a distance of 5,752 feet (1.09 miles) from the northerly terminus of the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 829.3 feet AMSL. The proposed building has a finish floor elevation of 769.5 feet AMSL and a proposed height of approximately 25 feet, for a top point elevation of 794.5 feet AMSL. Therefore, review by the FAA OES for height/elevation reasons was not required. ALUC Director Simon Housman issued a determination of consistency for this project on May 15, 2018.

4.2 <u>Election of Airport Land Use Commission Vice-Chair</u>

On April 12, 2018, the Airport Land Use Commission elected Vice-Chair Steve Manos as its new Chair and Commissioner Glen Holmes as its new Vice-Chair. However, Commissioner Holmes was not reappointed to the Airport Land Use Commission in May. Therefore, the Airport Land Use Commission will need to elect a new Vice-Chair to serve until May of 2019.

4.3 Approval and Adoption of the Proposed Amendment to the ALUC By-Laws and Resolution, and Setting of Time for Future Regular Meetings

Given the ever-increasing levels of traffic congestion in the Inland Empire and schedules of Commissioners and staff, Chair Steve Manos suggested a later time for the commencement of ALUC meetings, only to find that Commission By-laws set the start time at 9:00 A.M. At the Commission's request, ALUC Counsel Raymond Mistica and staff have prepared Resolution No. 2018-03 amending the By-laws to delete the specification of start times for future regular meetings. This action would allow the Commission greater flexibility.

4.4 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible
Use Zones Report for March Air Reserve Base/Inland Port Airport

ALUC Director Simon Housman will provide a briefing for the Commission regarding ALUC staff's draft preliminary report to the March Joint Powers Authority Technical Advisory Committee and the discussions that ensued.

4.5 Options for New ALUC Logo

Potential options for a new ALUC logo were discussed at the Commission's November 2017 meeting, at which time the Commission asked staff to return to the drawing board. ALUC Secretary Barbara Santos has since become a master at logo design, and ALUC Director Simon Housman will present options for ALUC's new logo at this time.

Y:\ALUC\ALUC Administrative Items\ADmin Item 06-14-18.doc



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

April 19, 2018

CHAIR Steve Manos Lake Elsinore Ms. Carole Kendrick, Senior Planner

City of Hemet Community Development Department - Planning Division

445 E. Florida Avenue

VICE CHAIRMAN Glen Holmes Hemet

Hemet CA 92543

COMMISSIONERS

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

Arthur Butler Riverside

File No.:

Related File No.:

ZAP1053HR18

John Lyon Riverside 17-004 (Conditional Use Permit), 17-002 (Tentative Parcel Map

No. 37421)

Russell Betts

APNs:

460-150-014 and -015

Desert Hot Springs

Steven Stewart Palm Springs

Dear Ms. Kendrick:

Richard Stewart Moreno Valley

Director Simon A. Housman

> John Guerin Paul Rull Barbara Santos

County Administrative Center 4080 Lemon St.,14th Floor. Riverside, CA 92501

STAFF

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Hemet Case Nos. 17-004 (Conditional Use Permit), a proposal to construct a gas station with 12 fuel pumps, a 3,062 square foot convenience store, and a 3,590 square foot carwash tunnel on a 2.3 net acre site located on the southeast corner of Stetson Avenue and Sanderson Avenue and develop a 208 stall parking lot to be utilized by the existing McCrometer business on an additional 2.3 net acres (east of the existing buildings), and 17-002 (Tentative Parcel Map), a proposal to divide 8.74 acres (including the gas station and parking lot sites) into 4 parcels.

www.rcaluc.org

(951) 955-5132

The site is located within Airport Compatibility Zone D of the Hemet-Ryan Airport Influence Area (AIA). Within the portion of Compatibility Zone D easterly of Cawston Avenue, pursuant to the Hemet-Ryan Airport Land Use Compatibility Plan (Hemet-Ryan ALUCP), non-residential intensity is limited to 300 people per average acre and 1,200 people per single acre. Parcel 1 (0.9 net acre) includes the 3,062 square foot convenience store and 12 fuel pumps. Parcel 2 (1.3 net acres) includes the 3,590 square foot car wash tunnel. Based on Policy 2.3 of the Hemet-Ryan ALUCP, calculation of concentration of people in retail sales establishments is evaluated at one person for every 115 square feet of gross floor area. (It is also calculated that there are 1.5 persons per fuel pump). Parcel 1 accommodates an occupancy of 45 people, which results in an average intensity of 50 people per acre, and a single acre intensity of 45 people. Parcel 2 accommodates an occupancy of 31 people, which results in an average intensity of 24 people per acre, and a single acre intensity of 31 people. Intensities in both parcels are consistent with Compatibility Zone D average and single acre criteria.

The elevation of Runway 5-23 at its existing northeasterly terminus is approximately 1,508 feet above mean sea level (AMSL). At a distance of approximately 3,880 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,546.8 feet AMSL. The

AIRPORT LAND USE COMMISSION

elevation of the project site is 1,530 feet AMSL, and the tallest proposed structure is 26 feet, for a maximum top point elevation of 1,556 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons was required. The applicant submitted Form 7460-1 to the Federal Aviation Administration Obstruction Evaluation Service (FAAOES) in 2018. "Determination of No Hazard to Air Navigation" letters for Aeronautical Study Nos. 2018-AWP-7241-OE through -7243-OE were issued on April 18, 2018. The studies revealed that the proposed buildings would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAAOES conditions have been incorporated into this finding.

Based on Policy 2.4.c of the Hemet-Ryan ALUCP, the open land required for emergency landings for Compatibility Zone D has deemed to be satisfied based on existing permanent open land areas depicted in Map HR-4. Therefore individual land uses development projects within Compatibility Zone D are not required to provide additional open land. In any event, the project site is less than 10 acres in size.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, provided that the City of Hemet applies the following recommended conditions:

CONDITIONS:

- 1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

AIRPORT LAND USE COMMISSION

- 3. The attached notice shall be provided to all prospective purchasers of the property and shall be recorded as a deed notice.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. The Federal Aviation Administration has conducted an aeronautical study of the proposed buildings (Aeronautical Study Nos. 2018-AWP-7241-OE through -7243-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.
- 6. The maximum height of the proposed buildings to top point shall not exceed 26 feet above ground level, and the maximum elevation at the top of the buildings shall not exceed 1,555 feet above mean sea level.
- 7. The specific coordinates, height, and top point elevation of the proposed buildings shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 8. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 26 feet in height and a maximum elevation of 1,555 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 9. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to https://oeaaa.faa.gov for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structure.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

AIRPORT LAND USE COMMISSION

Attachment: Notice of Airport in Vicinity

Aeronautical Study Number No. 2018-AWP-7241-OE through -7243-OE

cc: Rancho McHolland LLC (applicant)

Blaine A. Womer Civil Engineering (representative)

McCrometer, Inc. (property owner)
Holland Family Trust (property owner)

Richard and Jolee Holland, c/o Kathie Purkey (property owner)

Vincent Yzaguirre, Riverside County Economic Development Agency - Aviation

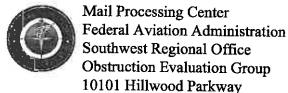
Liliana Valle, Riverside County Economic Development Agency - Aviation

ALUC Case File

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NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)



Fort Worth, TX 76177

Issued Date: 04/18/2018

Mark Cooper Rancho McHolland LLC 38122 Stone Meadow Drive Murrieta, CA 92562

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Building Car Wash Facility

Location:

Hemet, CA

Latitude:

33-43-42.00N NAD 83

Longitude:

117-00-22.00W

Heights:

1529 feet site elevation (SE)

26 feet above ground level (AGL)

1555 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

____ At least 10 days prior to start of construction (7460-2, Part 1)
__X_ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 10/18/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-7241-OE.

Signature Control No: 360802084-363005992

(DNE)

Karen McDonald Specialist

Attachment(s) Map(s)

TOPO Map for ASN 2018-AWP-7241-OE



Mail Processing Center Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group 10101 Hillwood Parkway Fort Worth, TX 76177

Issued Date: 04/18/2018

Mark Cooper Rancho McHolland LLC 38122 Stone Meadow Drive Murrieta, CA 92562

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Building Proposed Convenience Store

Location:

Hemet, CA

Latitude:

33-43-44.00N NAD 83

Longitude:

117-00-22.00W

Heights:

1529 feet site elevation (SE)

25 feet above ground level (AGL)

1554 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

At least 10 days prior to start of construction (7460-2, Part 1)

X Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 10/18/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within

6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

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This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-7242-OE.

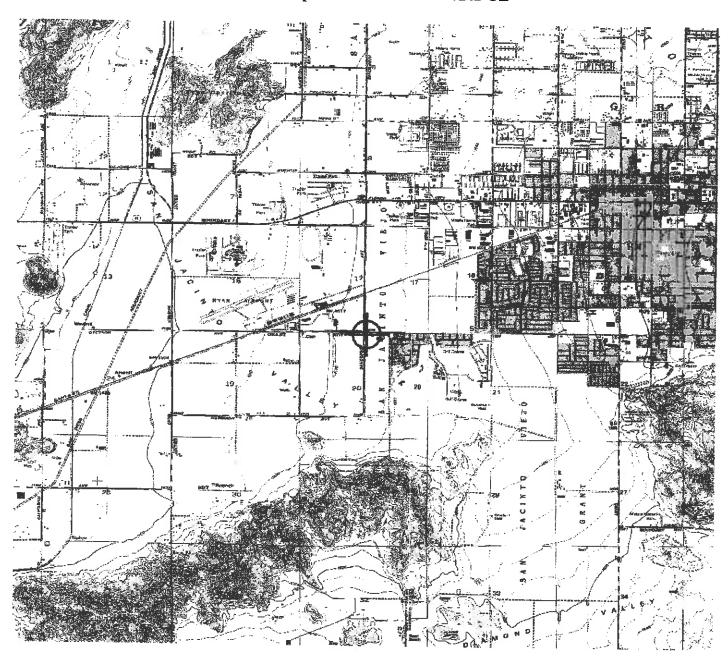
Signature Control No: 360802085-363005994

(DNE)

Karen McDonald Specialist

Attachment(s) Map(s)

TOPO Map for ASN 2018-AWP-7242-OE





Mail Processing Center Federal Aviation Administration Southwest Regional Office Obstruction Evaluation Group 10101 Hillwood Parkway Fort Worth, TX 76177

Issued Date: 04/18/2018

Mark Cooper Rancho McHolland LLC 38122 Stone Meadow Drive Murrieta, CA 92562

** DETERMINATION OF NO HAZARD TO AIR NAVIGATION **

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:

Canopy over fuel pumps

Location:

Hemet, CA

Latitude:

33-43-44.00N NAD 83

Longitude:

117-00-22.00W

Heights:

1529 feet site elevation (SE)

19 feet above ground level (AGL)

1548 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)	
X	Within 5 days after the construction reaches its greatest height (7460-2. P	art 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 1.

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This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (310) 725-6557, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2018-AWP-7243-OE.

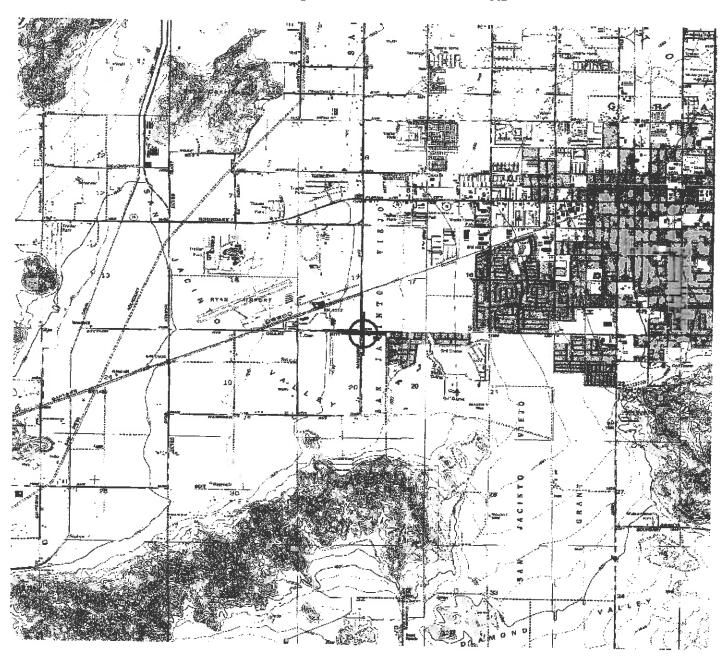
Signature Control No: 360802086-363005993

(DNE)

Karen McDonald Specialist

Attachment(s) Map(s)

TOPO Map for ASN 2018-AWP-7243-OE



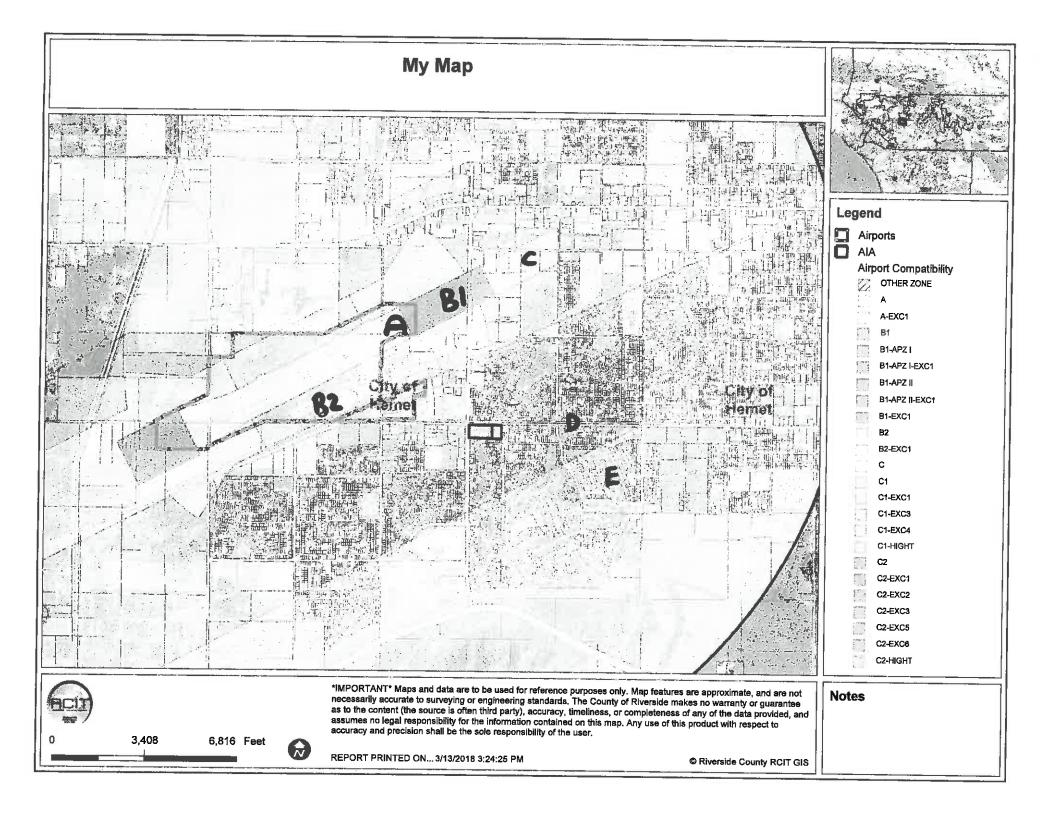
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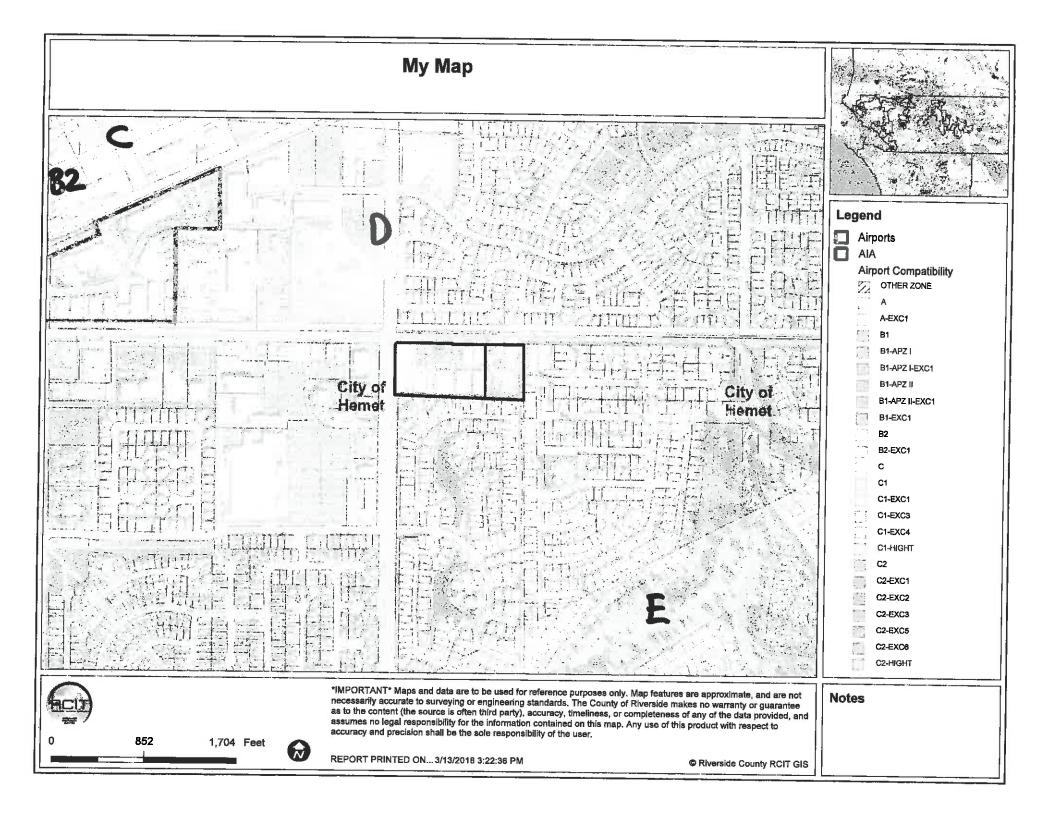
FEET

6,000

Map HR-1

Compatibility Map Hemet-Ryan Airport





Му Мар





Legend

City Boundaries
Cities
roadsanno
highways

--- HWY

INTERCHANGE

INTERSTATE

OFFRAMP

ONRAMP

UNRAMP

---- USHWY

roads

Major Roads

__ Arterial

Collector

Residential

counties

cities

hydrographylines waterbodies

Lakes

Rivers



3,408

6,816 Feet



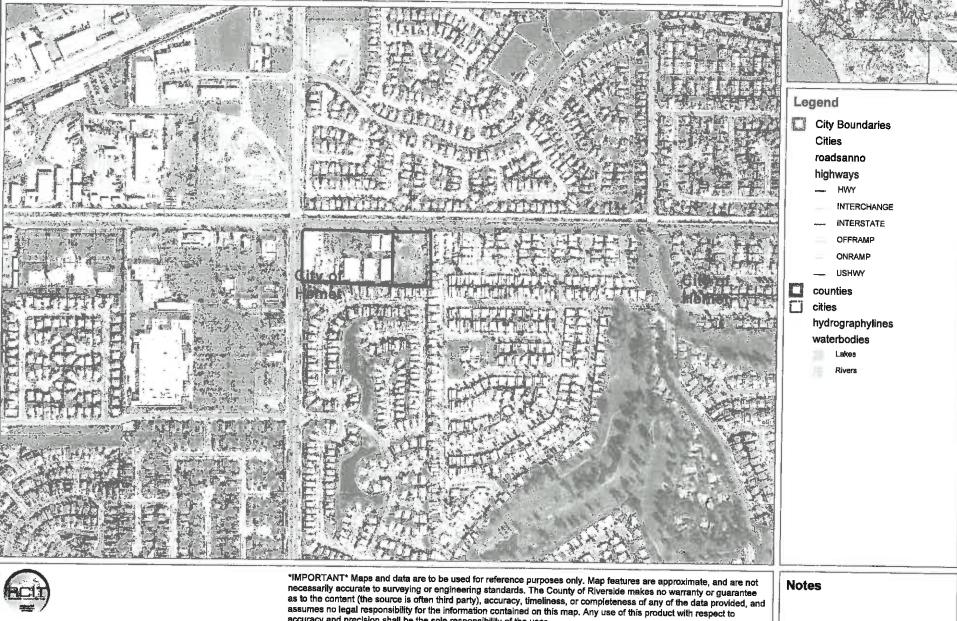
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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© Riverside County RCIT GIS

Notes

Му Мар



W

1,704 Feet

852

accuracy and precision shall be the sole responsibility of the user.

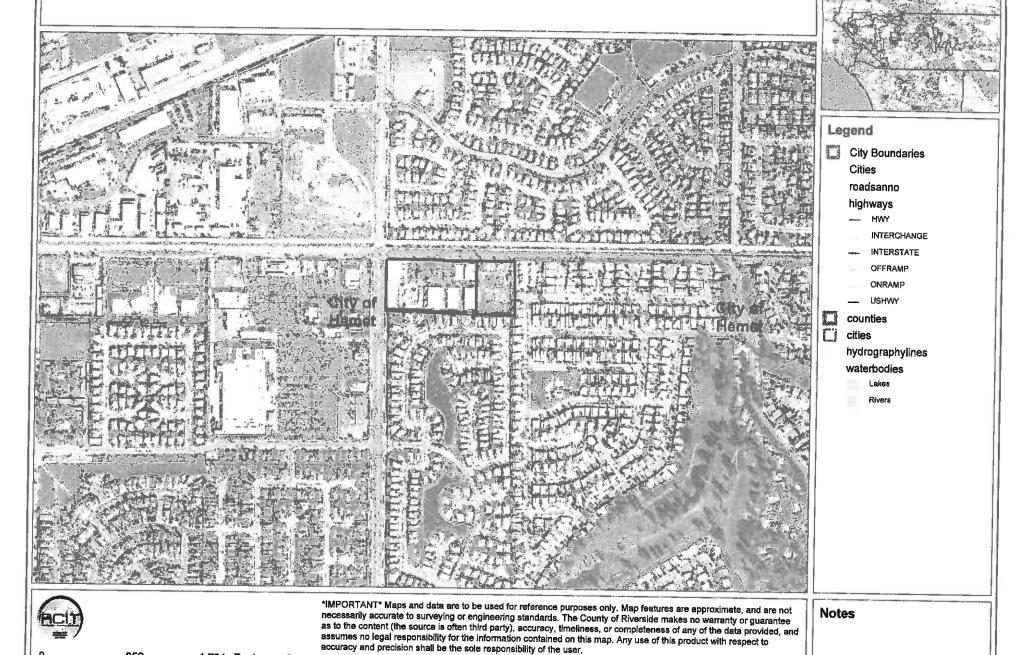
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852

1,704 Feet

W

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© Riverside County RCIT GIS

Му Мар Legend City Boundaries Cities roadsanno highways HWY INTERCHANGE INTERSTATE OFFRAMP ONRAMP USHWY counties cities hydrographylines waterbodies Lakes Rivers *IMPORTANT* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee Notes as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user. 213 426 Feet W REPORT PRINTED ON... 3/13/2018 3:27:19 PM © Riverside County RCIT GIS

IN THE CITY OF HEMET



1-800 227-2600

TENTATIVE PARCEL MAP No. 37421

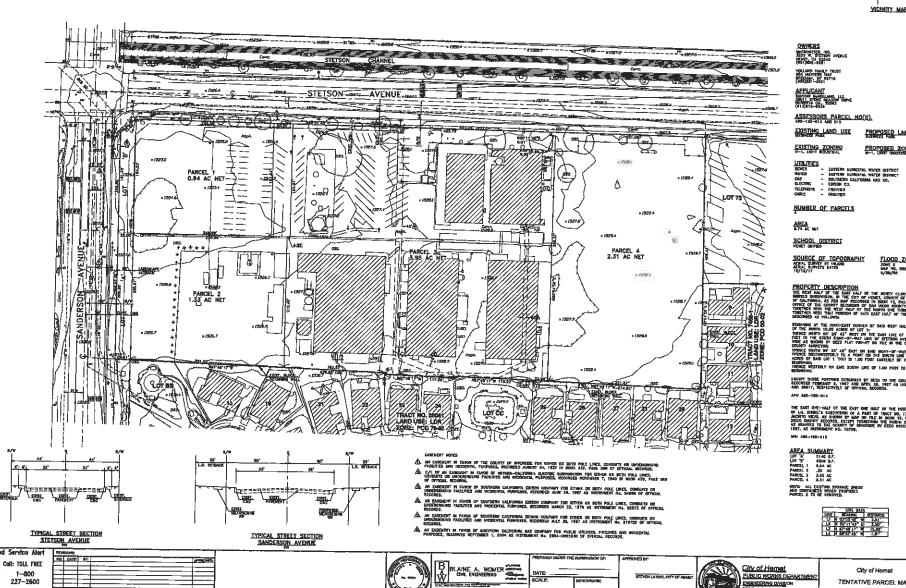


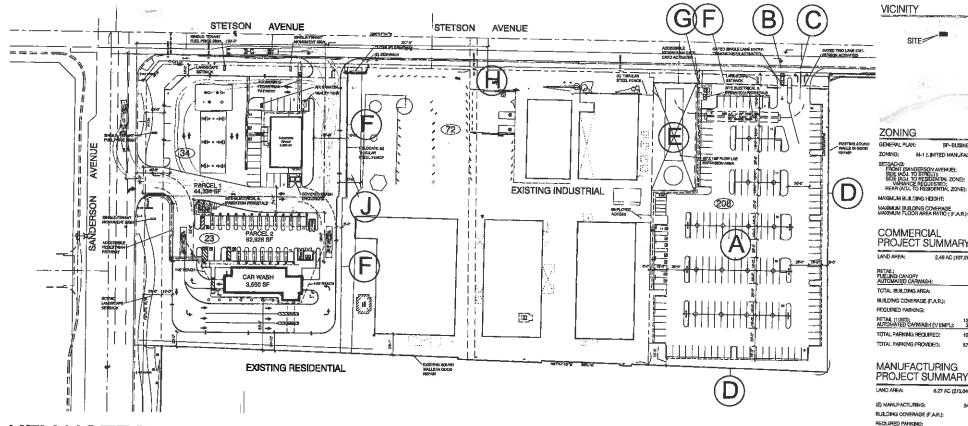
City of Hemet

TENTATIVE PARCEL MAP

No. 37421

OF_1_AMEETO





KEY NOTES

- 208 STALL, PAVED & STRIPED PARKING LOT
- GATED, 1 LANE ENTRY- TRANSPONDER ACTIVATED
- GATED, 2 LANE EXIT- SENSOR ACTIVATED
- **EXISTING SOUND WALL IN GOOD REPAIR**
- **FUTURE DEVELOPMENT AREA**

- (E) TUBULAR STEEL FENCING-RELOCATE & RECONFIGURE AS REQUIRED
- PEDESTRIAN GATE= CARD ACTIVATED
- **EXISTING McCROMETER TRUCK INGRESS/** EGRESS TO REMAIN
- PROPOSED TEMPORARY FENCED STAGING RESTORE TO ORIGINAL CONDITION AFTER COMPLETION OF RETAIL SITE WORK



VICINITY

ZONING GENERAL PLANS

SETBACKS: FROMT (BANDERSON AVENUE): SIDE (ADJ. TO RESIDENTIAL ZONE): VARIANCE REQUESTED: REAR (ADJ. TO HESIDENTIAL ZONE):

MAXIMUM BUILDING HEIGHT: MAXIMUM BUILDING COVERAGE MAXIMUM FLOOR AREA RATIO ((F.A.R.):

COMMERCIAL PROJECT SUMMARY

TOTAL PUILDING AREA-

REQUIRED PARKING

TOTAL PARKING REQUIRED:

MANUFACTURING (1:600): TOTAL PARKING PROVIDED:

LAND AREA;

BP-BUSINESS PARK ALL (LIMITED MANUFACTURING

9,748 SF

15 STALLS **87 STALLS**



CONCEPTUAL SITE PLAN SCHEME MV10

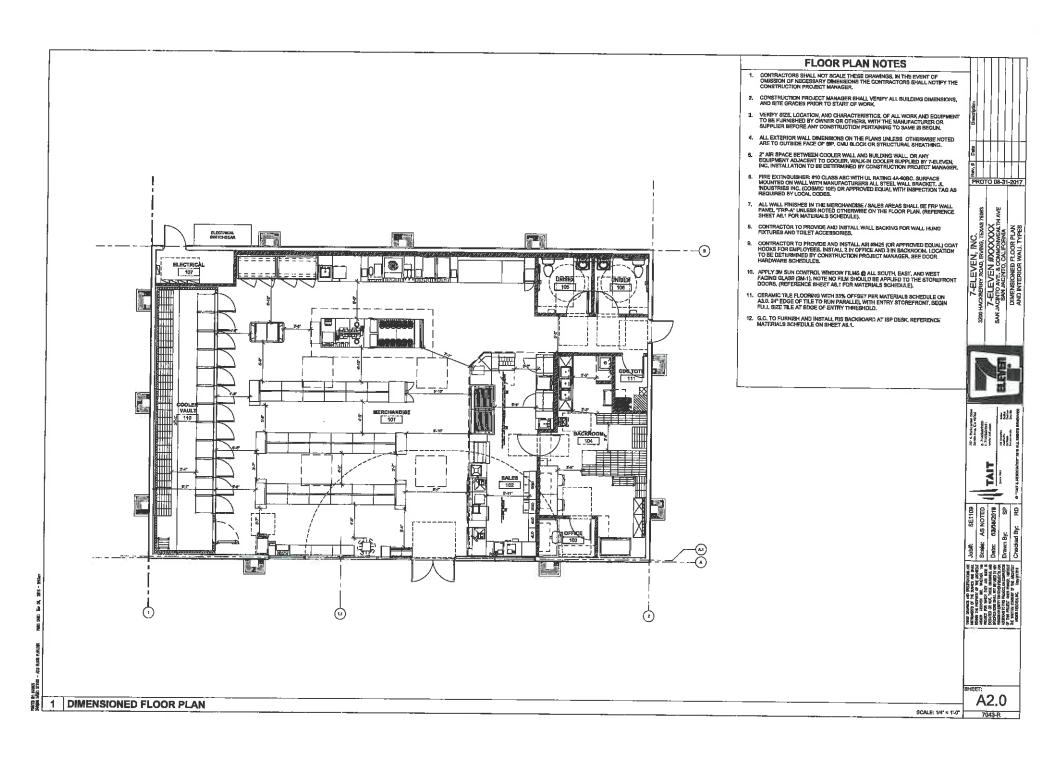
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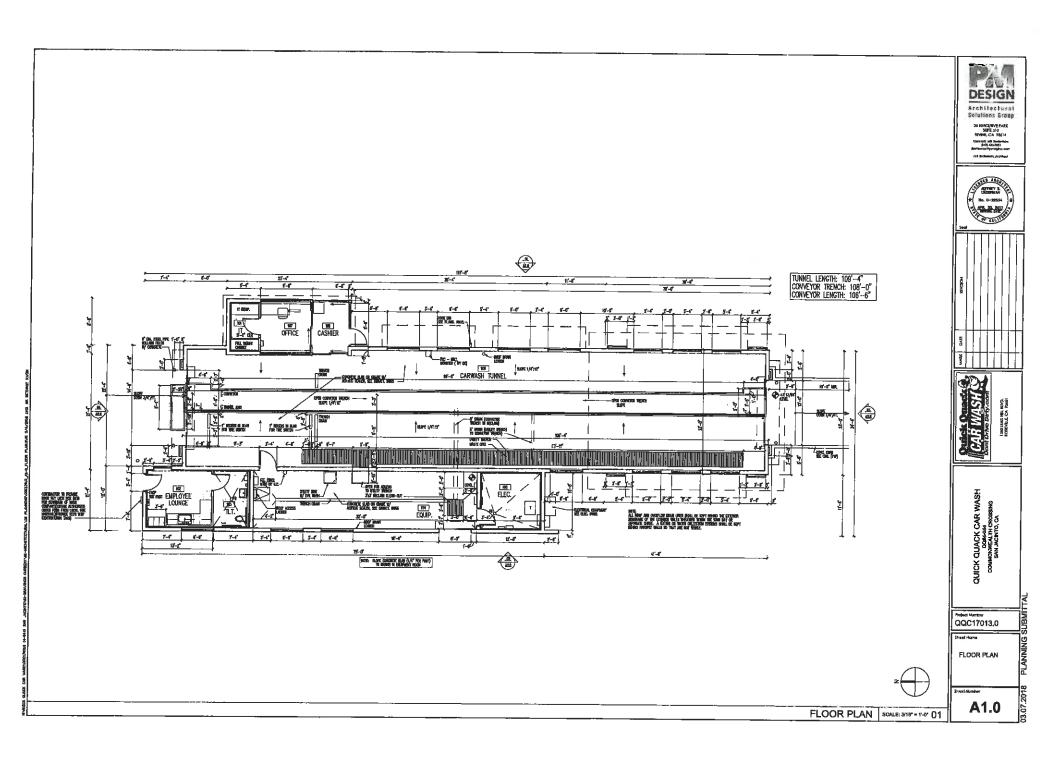
McHOLLAND RETAIL HEMET, CALIFORNIA

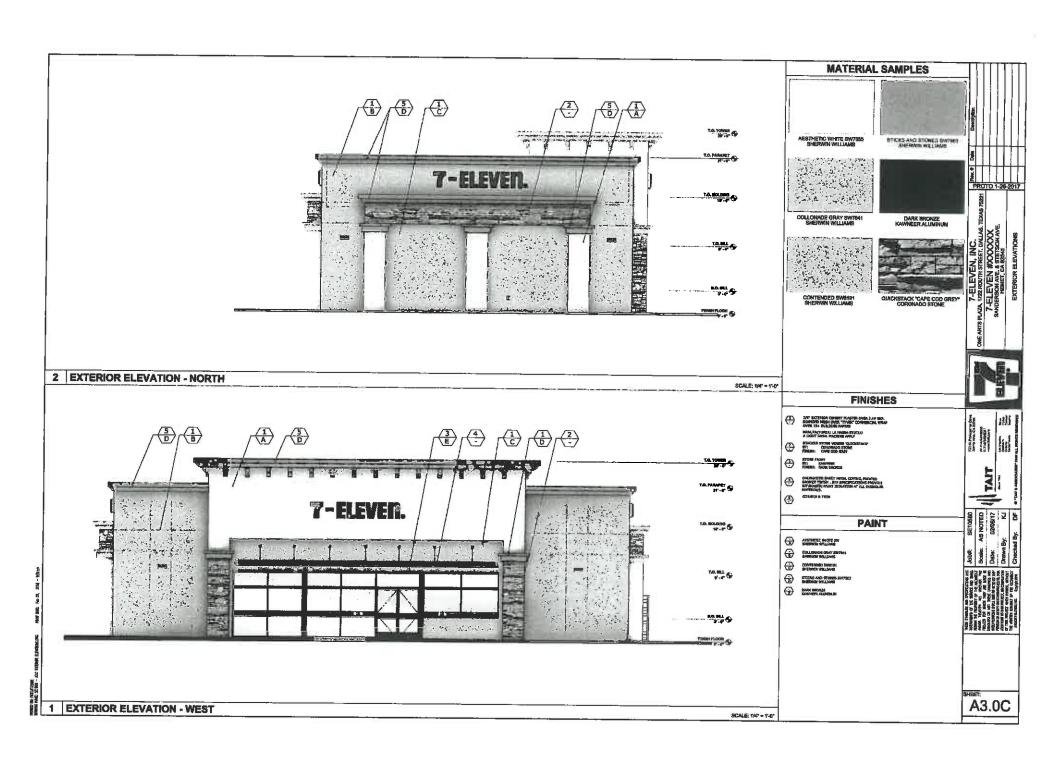
RANCHO McHOLLAND, LLC

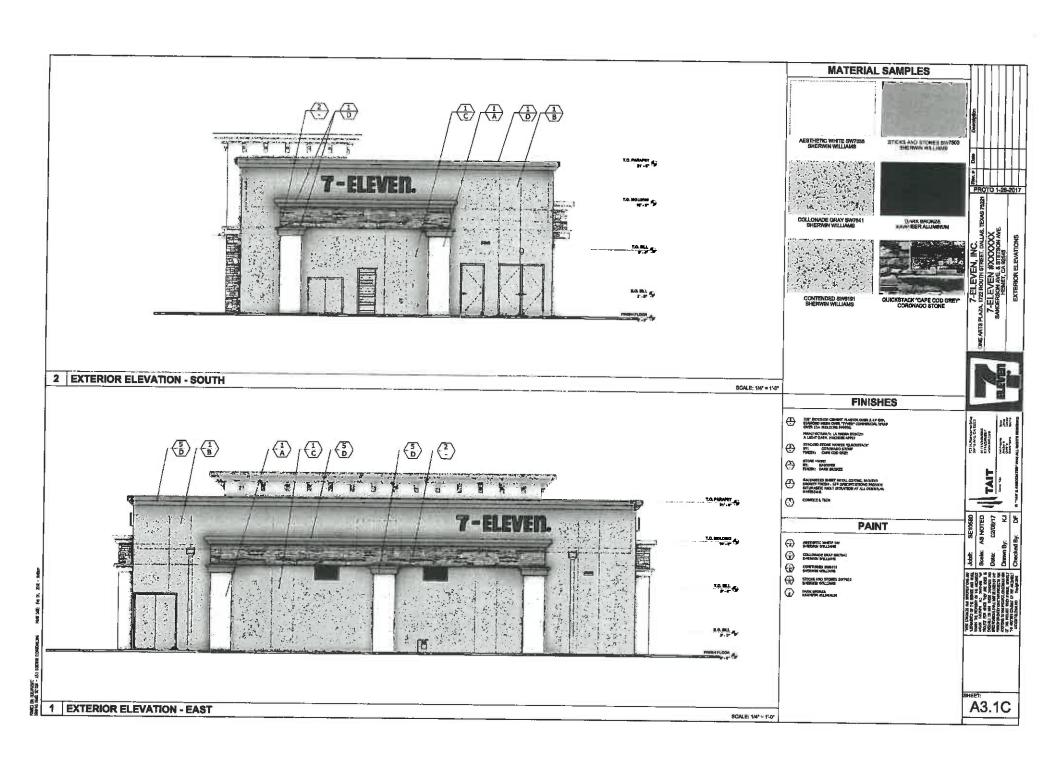
38011-STONE MEADOW DRIVE MURRIETA, CA 82562 951,643,4708

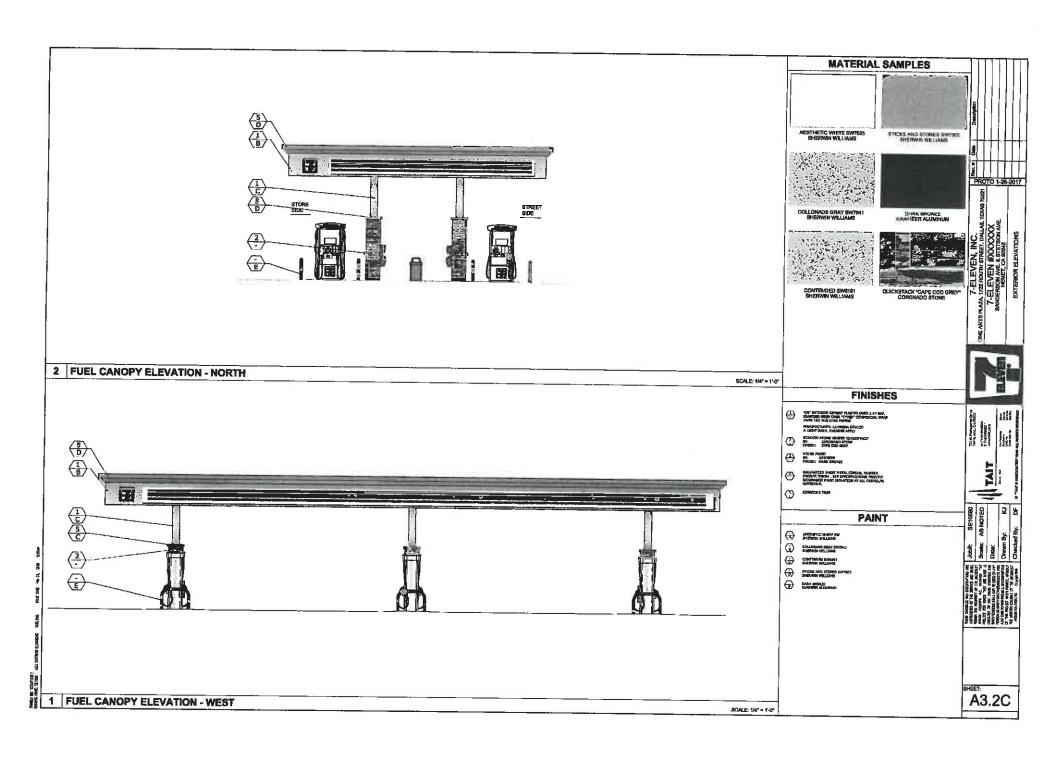


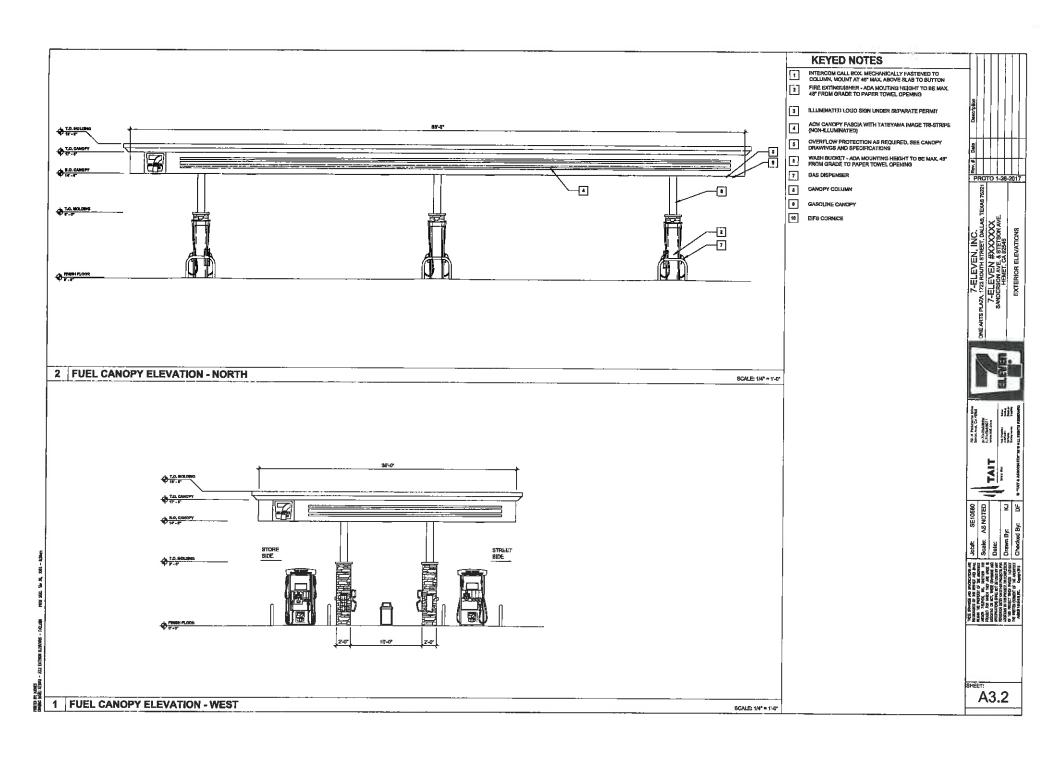


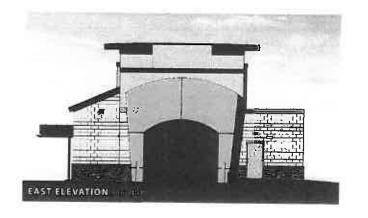


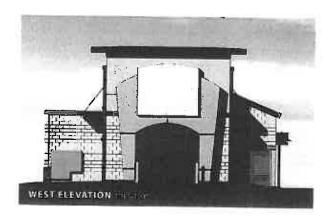


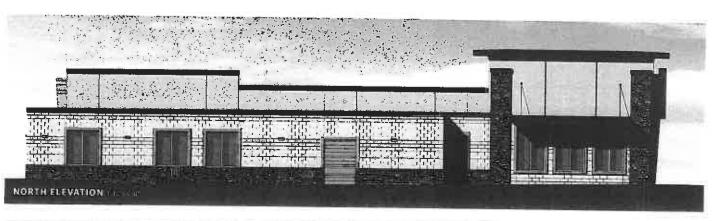


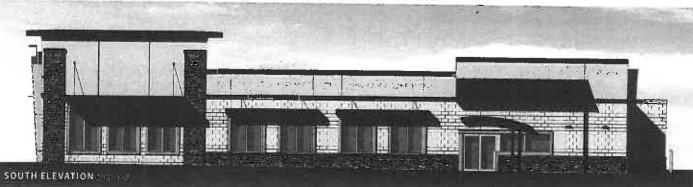












MATERIAL LEGEND:



SHERWIN WILLIAMS ARRESTING AUBURN - 5W6034



SHERWIN WILLIAMS TORCHLIGHT - SW6374



SHERWIN WILLIAMS COLONADE GRAY - SW7641



SHERWIN WILLIAMS AESTHETIC WHITE - SW7035



SHERWIN WILLIAMS STICKS & STONES - SW7503



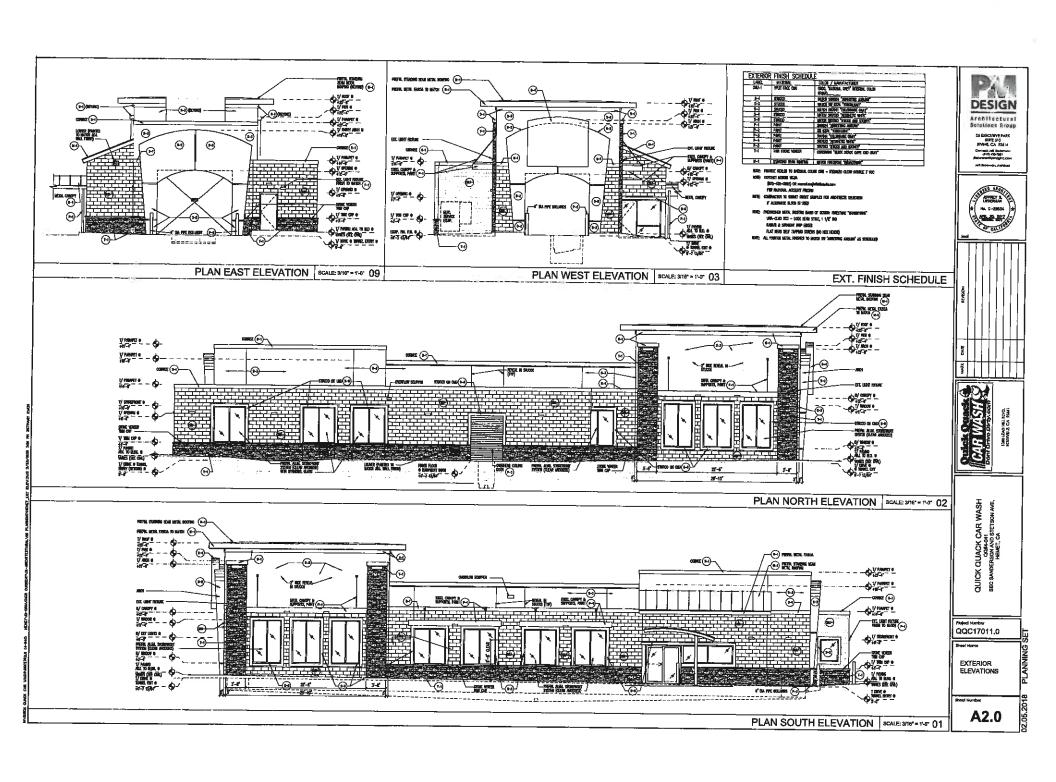
FIRESTONE - DRAWYWINE

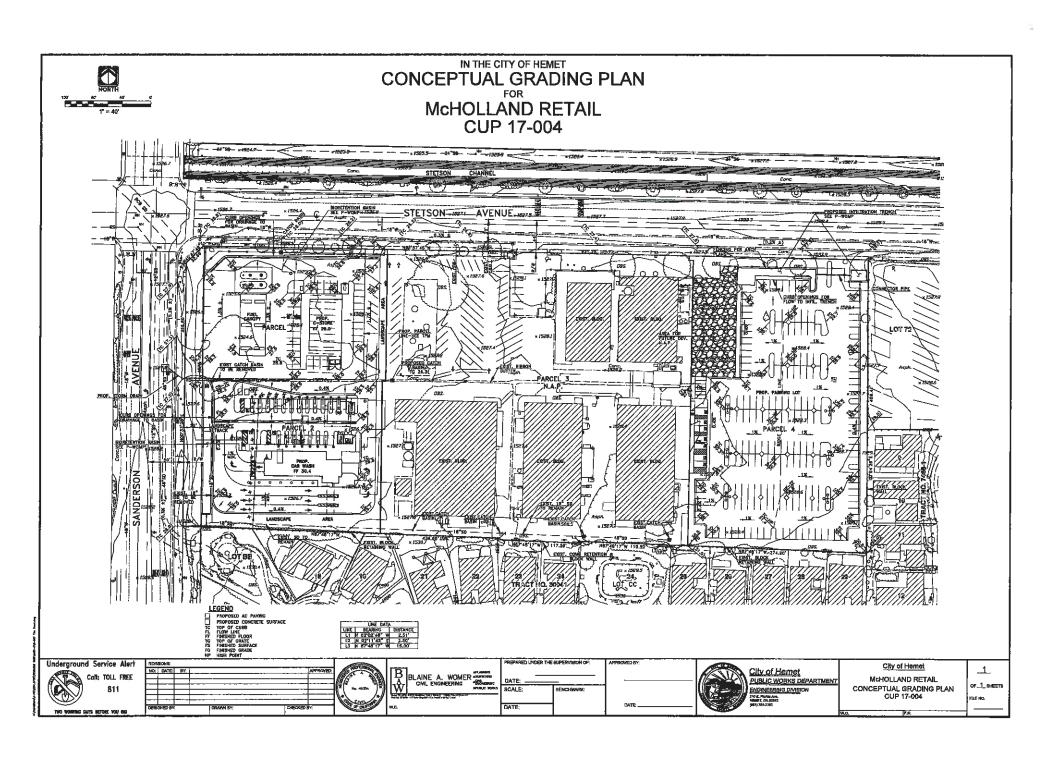


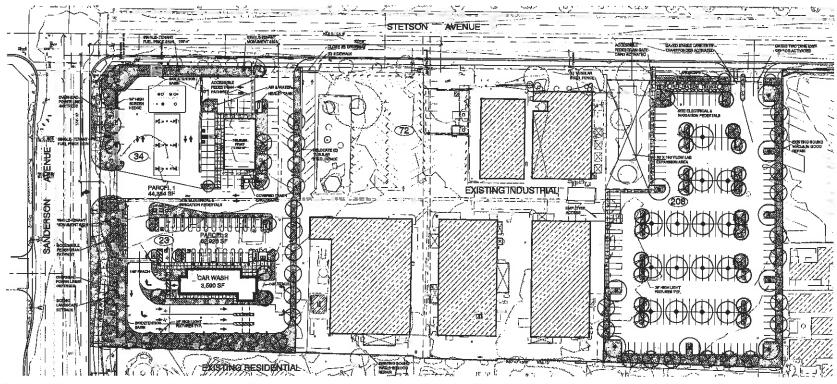


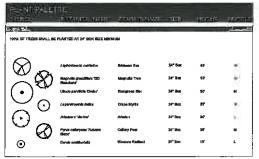
"QUICK STACK CAPE COD GRAF"

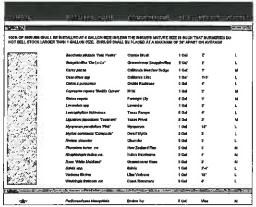














LANDSCAPE NOTES

- PLANT MATERIAL MAY BE ADDED OR REMOVED DURING THE CONSTRUCTION DOCUMENT PHANE SUBJECT TO APPROVAL CITY OF HEME!

LANDSCAPE CALCULATIONS: PROJECT SITE AREA (GROSS): 209.845 SF LANDSCAPE AREA: 44,800 SP LANDSCAPE PERCENTAGE: 21,3%

IRRIGATION SYSTEM DESIGN STATEMENT

MANA = (Eb) (0.63) (0.48) (LA) + (0.66) (6LA) = DALAYR MANA = (57,33) (0,82) ((0,45) (44,800 SP) + (0,86) (0)) = 716,679 GALLYR

ESTIMATED ANNUAL WATER USE

EAWL - (Ex) (0.62) (PF) (LA) = GALAYS 5444U = (67,33) (0,82) (0,4) (44,860 SF) = 636,969 GALAY



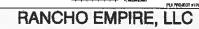
LANDSCAPE ARCHITECTURE SITE PLANSING







McHOLLAND RETAIL HEMET, CALIFORNIA





PAGE BREAK





AIRPORT LAND USE COMMISSION **RIVERSIDE COUNTY**

April 26, 2018

CHAIR Steve Manos Lake Elsinore

Ms. Leila Namvar, Assistant Planner City of Indio Planning Department 100 Civic Center Mall Indio CA 92201

VICE CHAIR Glen Holmes Hemet

COMMISSIONERS

Arthur Butler Riverside

John Lyon

Riverside

Russell Betts **Desert Hot Springs**

> Steven Stewart Palm Springs

Richard Stewart Moreno Valley

STAFF Director

Simon A. Housman John Guerin Paul Rull

Barbara Santos

County Administrative Center 4080 Lemon St., 14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW -RE: DIRECTOR'S DETERMINATION

File No.:

APNs:

ZAP1073BD18

Related File Nos.:

PMP18-04-61 (Project Master Plan). CUP18-04-1035

(Conditional Use Permit), DR 18-04-433 (Design Review)

691-060-003 and -004

Dear Ms. Namvar:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Section 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Indio Case Nos. PMP18-04-61 (Project Master Plan), CUP18-04-1035 (Conditional Use Permit), and DR 18-04-433 (Design Review) proposing development of a multi-building church campus containing a total of 55,236 square feet of building area on 18.5 acres located on the westerly side of Jefferson Street, northerly of its intersection with Avenue 39 and southerly of its intersection with Avenue 38.

The site is located within Airport Compatibility Zone E of the Bermuda Dunes Airport Influence Area (AIA). Compatibility Zone E does not restrict nonresidential intensity.

The site is closer to the westerly terminus of Runway 10-28 at Bermuda Dunes Airport (approximately 6,500 feet) than to its easterly terminus (approximately 8,200 feet), but, due to the lower elevation of the runway at its easterly terminus (39 feet above mean sea level [AMSL], in contrast to 73 feet AMSL at the westerly terminus), the easterly terminus is more critical in the determination of notice requirements for this property located northerly of the runway. At a distance of approximately 8,200 feet from the runway, FAA review would be required for any structures with top of roof exceeding 121 feet AMSL. (The critical number at the westerly terminus would be 138 feet AMSL in this case.) The project site elevation is 60 feet AMSL, and the maximum height of its proposed structures is 45 feet, for a maximum top point elevation of 105 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, provided that the City of Indio applies the follow recommended conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

- 1. Any new outdoor lighting that is installed shall be hooded or shielded as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses are prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the property and to any tenants and/or lessees of the proposed buildings thereon.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, Urban Regional Planner IV, at (951) 955-6893, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

AIRPORT LAND USE COMMISSION

cc: The Garden Fellowship, Inc., Dave McCoy (applicant/property owner)
MSA Consulting Inc., Christopher Brizuela (representative)
Ann Goodwyn, Airport Manager, Bermuda Dunes Executive Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1073BD18\ZAP1073BD18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

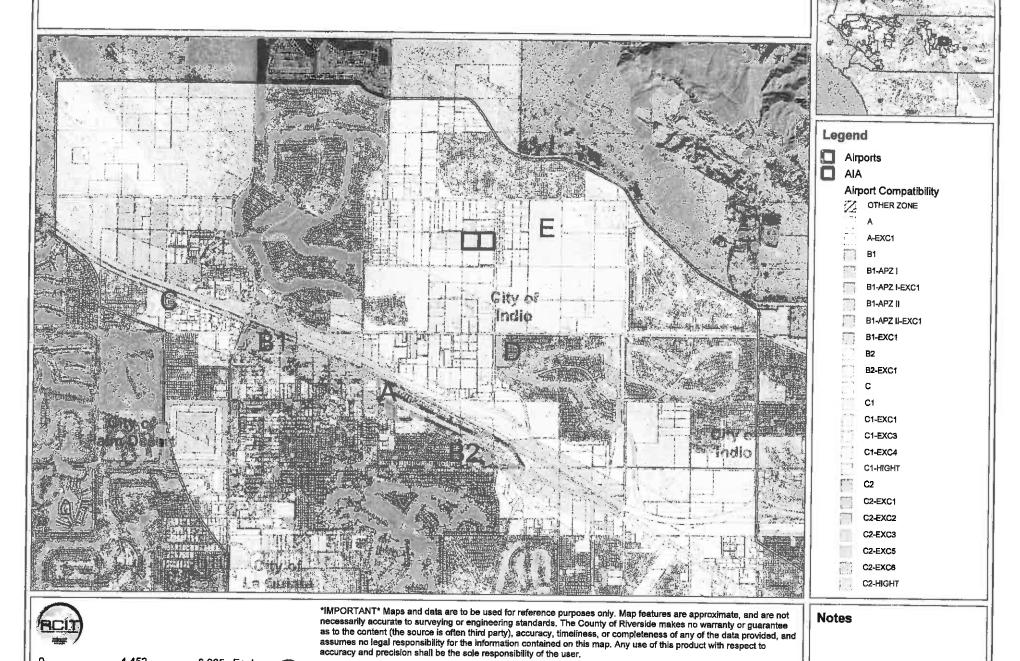
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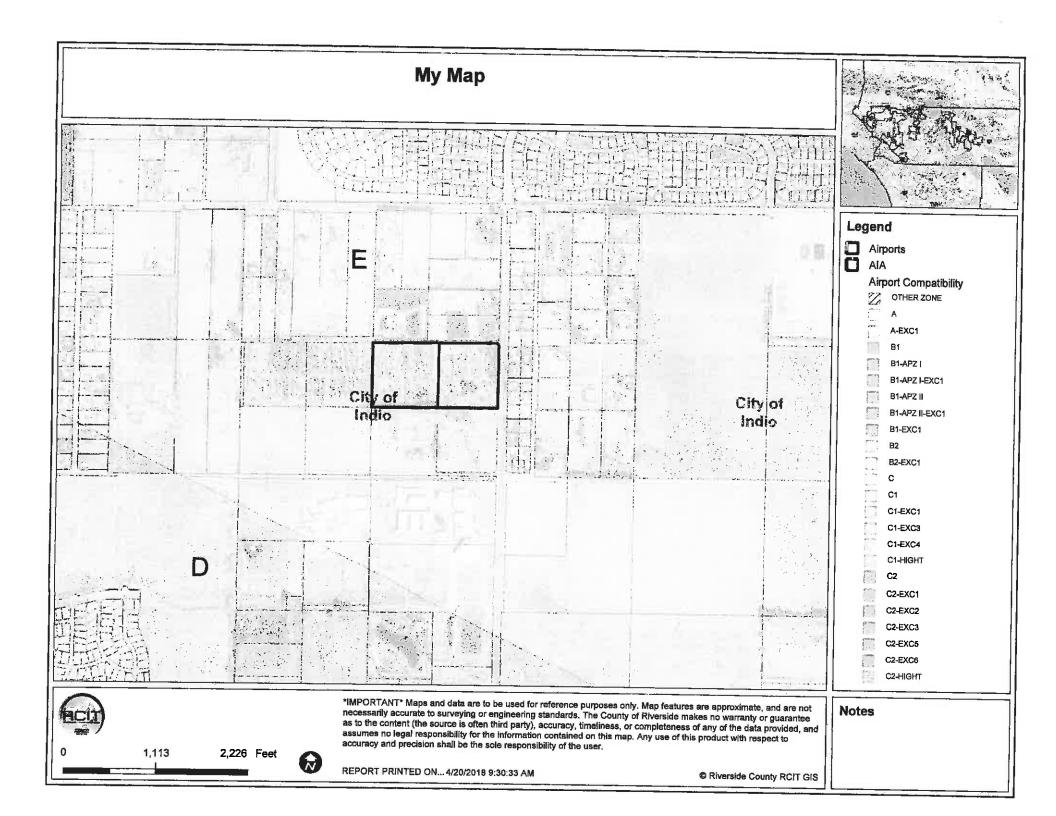
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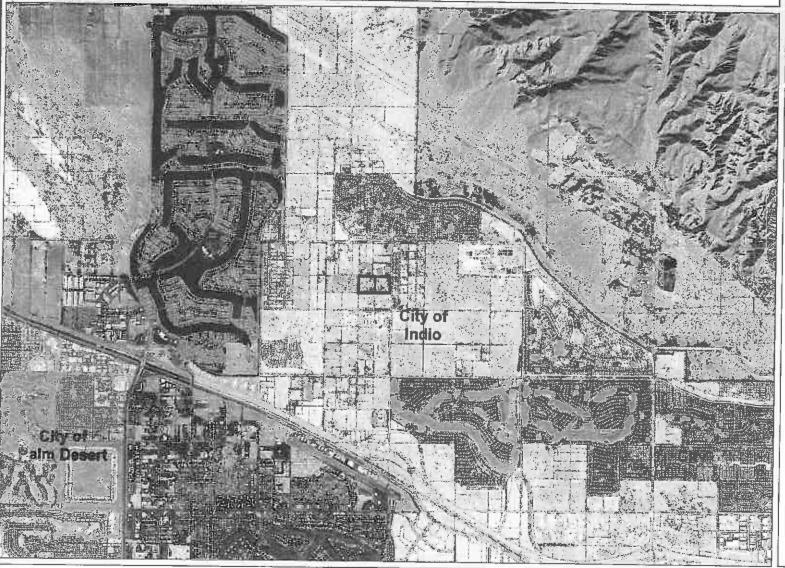
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C Riverside County RCIT GIS



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Legend

- City Boundaries Cities
 - highways ---- HWY
 - **INTERCHANGE**
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- majorroads
- counties
- cities
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 - Rivers



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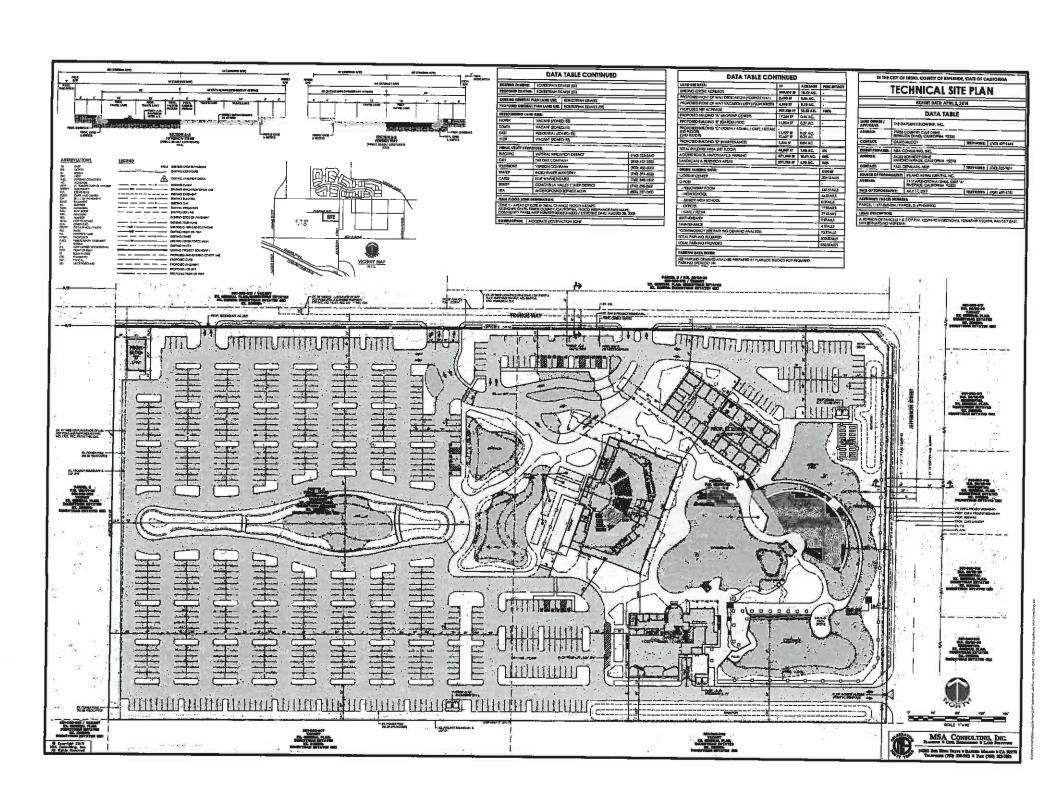
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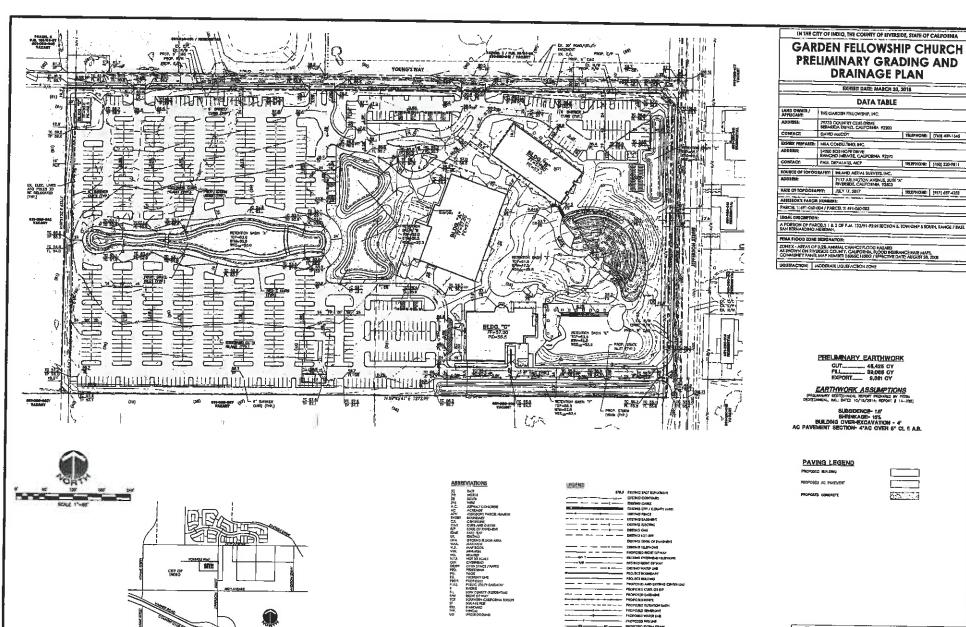


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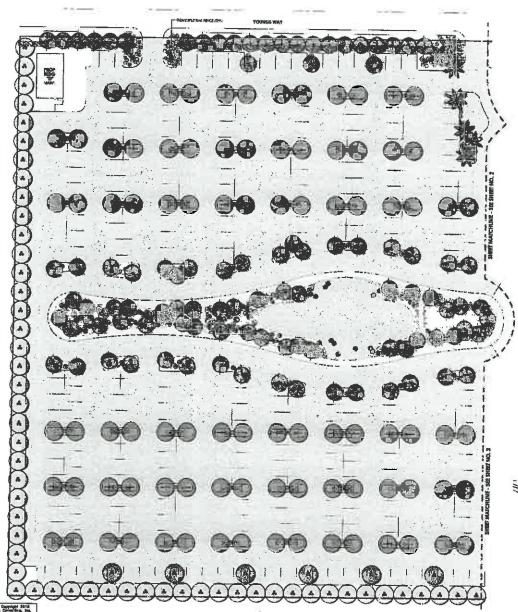
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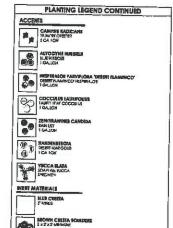
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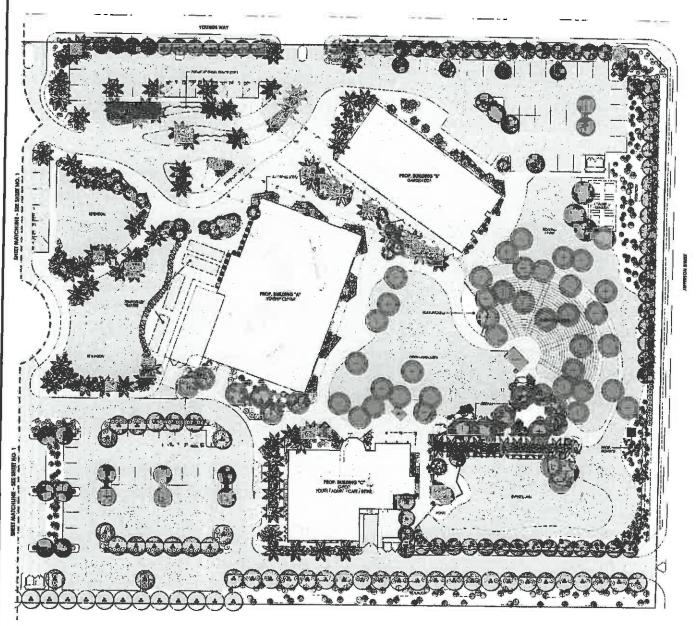






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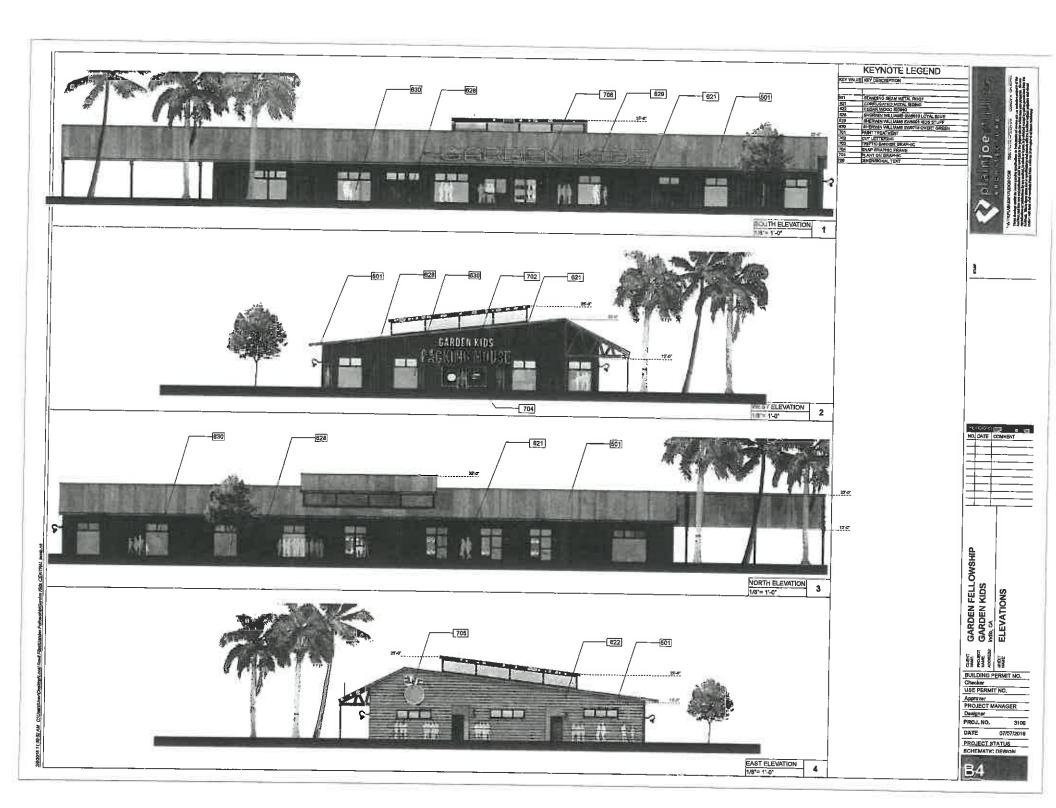
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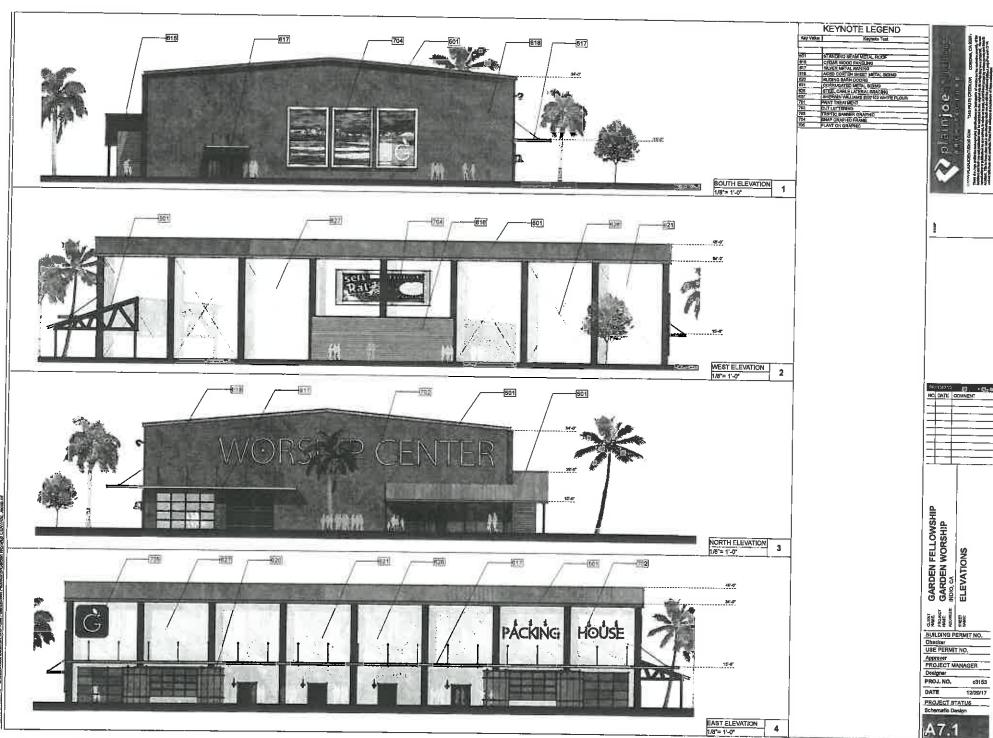








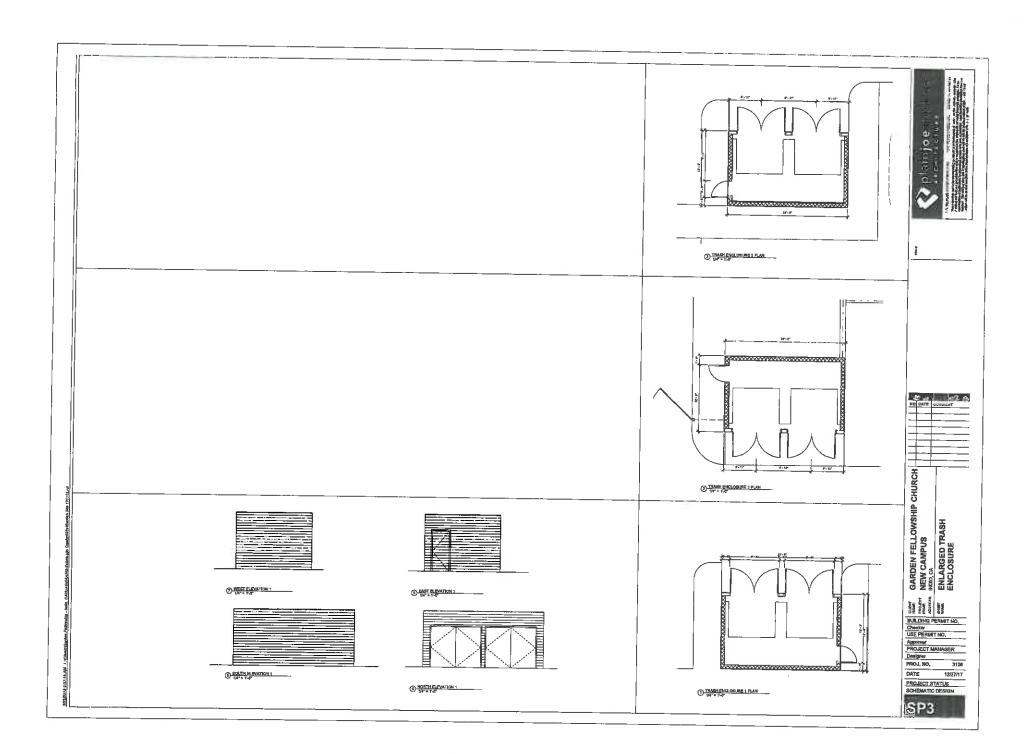


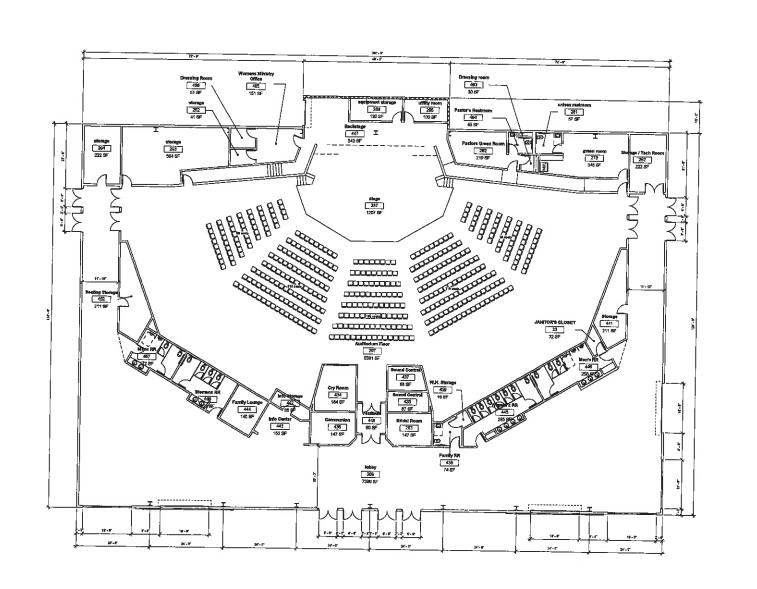


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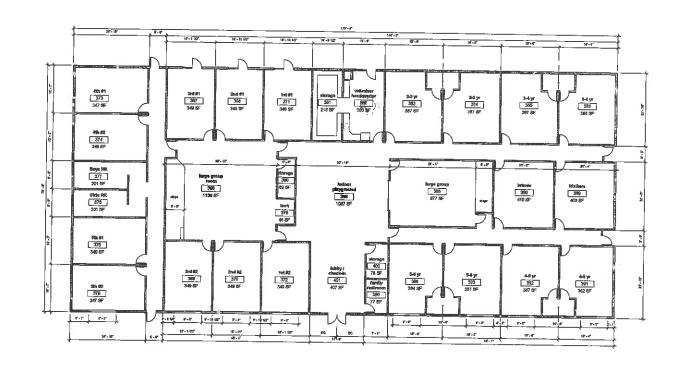
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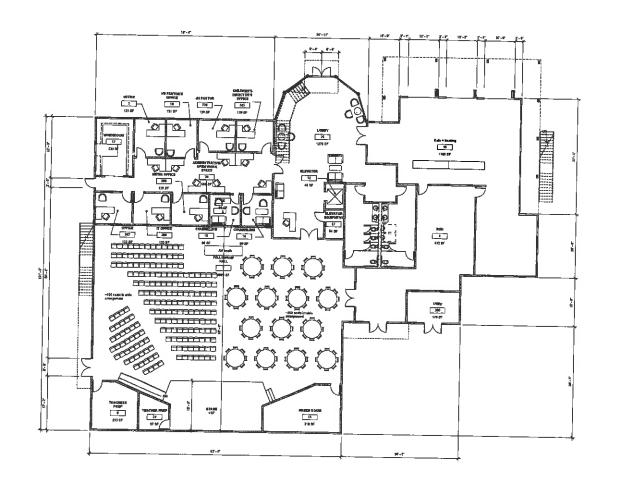


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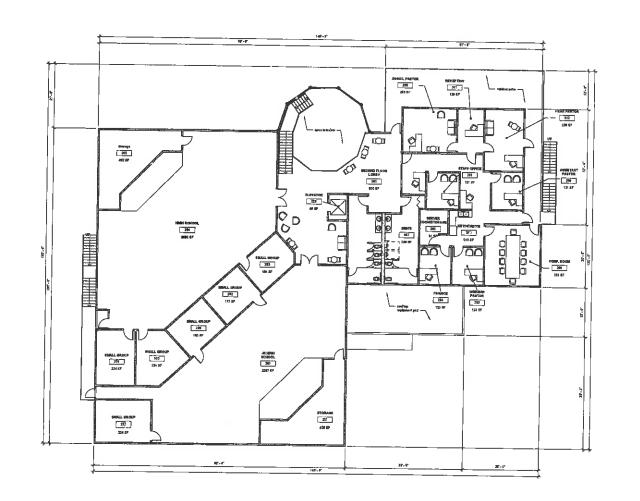
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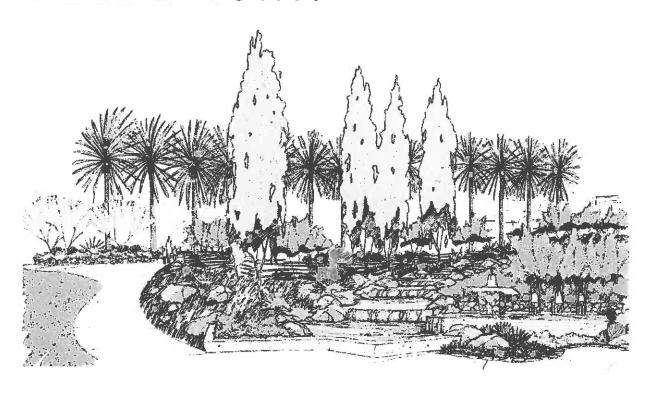
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THE GARDEN FELLOWSHIP



Project Master Plan April 2018

Prepared for: The Garden Fellowship, Inc.

Prepared by:



MSA Consulting, Inc. 34200 Bob Hope Drive Rancho Mirage, CA 92270

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CHAPTER I: INTRODUCTION & SETTING

1.1 EXECUTIVE SUMMARY

he Garden Fellowship Project Master Plan (PMP) is organized into five chapters, as described below.

Chapter 1, Introduction & Setting: This section provides an overview of the document, project setting, legislative authority for the PMP, entitlement process and other contextual information.

Chapter 2, Master Plan: This section describes the primary master plan components required for orderly development of the property. These include land use, circulation, landscaped areas, water and sewer, grading and drainage, and phasing.

Chapter 3, Development Regulations: This section establishes the allowable uses and development standards applicable within the PMP boundary.

Chapter 4, Design Guidelines: This section outlines architectural and landscape design approaches and themes intended to guide the visual appearance of future development.

Chapter 5, Plan Administration: This section describes the various processes and procedures used to administer and implement the adopted PMP.

1.2 PURPOSE AND INTENT

The Garden Fellowship PMP is intended to guide future development of land within the PMP boundary, including the establishment of permitted land uses, design guidelines, setbacks, building heights and regulations. The PMP is intended to ensure quality development consistent with the goals, objectives and policies of the City of Indio General Plan.

The PMP has been prepared pursuant to the provisions of California Government Code Section 65350 et seq. Section 65359 authorizes cities and counties to prepare and adopt a plan of this nature for portions of their areas of jurisdiction as a means to implement the General Plan and requires that the plan be consistent with the General Plan. Pursuant to the City of Indio's General Plan Policy LU-2.2, Project Master Plans may be prepared at the choice of the landowner, as follows:

A Project Master Plan (PMP) shall be required for any project within an RPD overlay. Unlike the CSP [Conceptual Specific Plan], which groups together landowners by their geographic location in order to develop a concept plan for an area, the size, shape, and number of parcels/landowners involved in a PMP is decided by the landowners themselves. A single landowner or several working jointly, can prepare and submit a PMP.

The components and preparation of a PMP is also outlined in City of Indio's General Plan Policy LU 2.2. This plan is consistent with these requirements and referred to throughout this document as the PMP.

Proposed development plans or agreements, tentative tract or parcel maps, and any other development approval must be in substantial conformance with the PMP. Projects which are found consistent with the PMP will be deemed consistent with the City's General Plan. Upon adoption by ordinance, the Garden Fellowship PMP shall serve as the official zoning and development plan for the project.

1.3 PROJECT LOCATION

The PMP consists of two parcels totaling approximately 18.5 acres (APN: 691-060-003 & 691-060-004) located along the westerly side of Jefferson Street between 38th and 39th Ave. In its current condition the site contains a palm tree nursery and is therefore mostly undeveloped. The site is bounded to the north, south, and west mostly by undeveloped land and agricultural uses and to the east by single-family residences. Fencing and various types of palm trees and bushes visually screen the property frontage off Jefferson Street which serves as the primary vehicular access route to the site.

Figure 2 *Vicinity Map* depicts the physical setting of the property. Surrounding land uses are identified in Table 1.1

TABLE	1.1	SURF	OUN	DING	LISES
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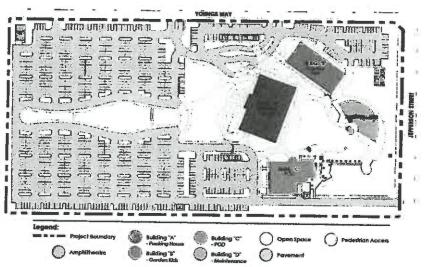
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dustrifteffen	Guillan Phil	Zoning	axisting Use	
North Indio	Equestrian Estates	Equestrian Estates (EE)	Agriculture, Single Family Residence	
South Indio	Equestrian Estates	Equestrian Estates (EE)	Agriculture	
East Indio	Equestrian Estates	Equestrian Estates (EE)	Single-Family Residences	
West Indio	Equestrian Estates	Equestrian Estates (EE)	Agriculture, Palm Tree Farm	

1.4 SITE CHARACTERISTICS

As shown in Figure 2 Aerial Map, the property consists of a palm tree farm and undeveloped land.

1.5 DEVELOPMENT CONCEPT

The Garden Fellowship PMP proposes to develop a master planned, multi-building church campus on an 18.5 acre site. At buildout it is anticipated the campus will total four (4) buildings and approximately 55,000 sf of building space. Proposed onsite features and amenities include a worship building, church offices, youth and kid ministries, a bookstore/café, an amphitheater, and facilities maintenance building. The arrangement of the buildings is intended to center around a court plaza area that will be designed and landscaped to provide a high quality setting to allow for informal gatherings before, during, and after church activities. To the west of the buildings ample parking will be provided for the different church and community activities held on the campus. Additional on-site amenities include a kid's playground, open lawn/garden areas, and ponds. Off-site street improvements which will include curb and gutter, sidewalk, and fully landscaped parkways will be constructed on Jefferson Street and Young's Way.

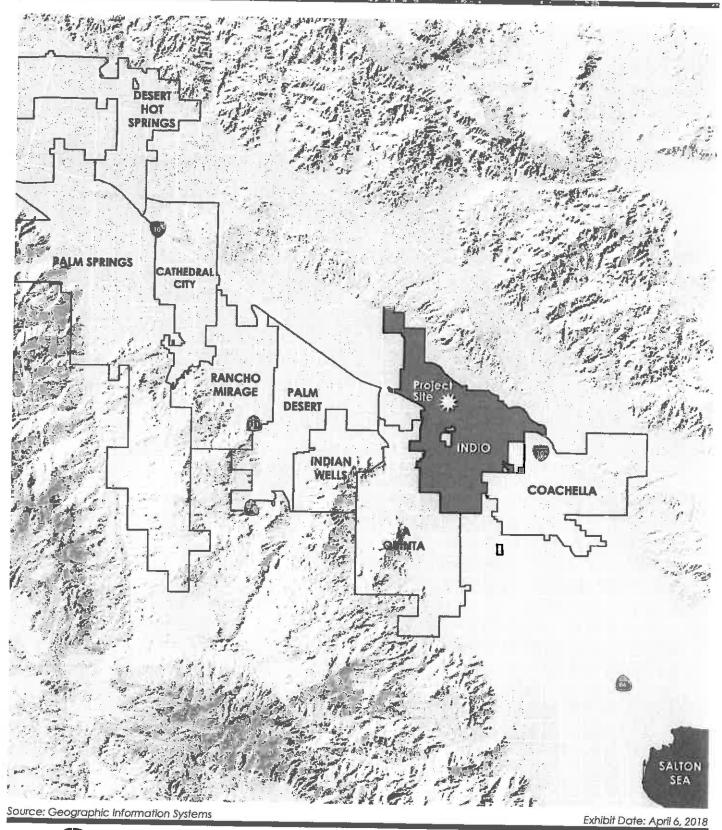


*This illustrative site plan is conceptual and subject to change as the project's design is finalized.

1.6 PROJECT OBJECTIVES

The PMP contains all components required by State law, as well as other components, design concepts, guidelines, and standards to implement the City of Indio General Plan. The objectives of this PMP are as follows:

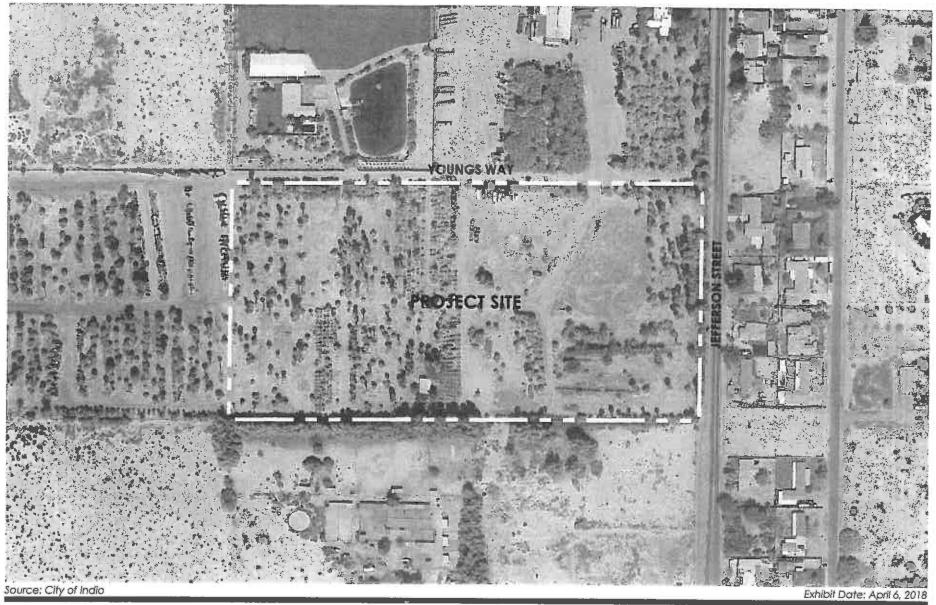
- Develop a master planned church campus consisting of a worship center, church offices, youth and kid ministries, café/bookstore, and an outdoor amphitheater.
- Provide water, sewer, and drainage systems to adequately service the project.
- Provide a safe and efficient circulation system.
- Develop a flexible phasing plan that provides for multi-year construction of the project in an orderly and efficient manner.
- Establish design guidelines, development regulations, use standards and procedures to guide future project improvements and provide appropriate landscape and architectural themes for the project.







THE GARDEN FELLOWSHIP PROJECT MASTER PLAN







1.7 GENERAL PLAN & ZONING

The Indio General Plan 2020, adopted in October 1993, established the City's policy relative to the planned future pattern, intensity, density, and relationships of land uses in the City and the various infrastructure systems needed to effectively support those land uses. The Project Master Plan implements the Indio General Plan by bringing detailed policies and regulations together into a focused development plan for the proposed project. It serves as a link between the Indio General Plan and subsequent development proposed within the Project Master Plan area. The Project Master Plan is a regulatory document which, when adopted by the Indio City Council, will govern all facets of project development including the distribution of land uses, location and sizing of supportive infrastructure, as well as development standards and regulations.

Figure 3 *General Plan Map & Zoning*, displays the existing General Plan Land Use and designates the site as Equestrian Estates and the existing zoning for this site as Equestrian Estates (EE).

Zoning implements the General Plan land use by applying appropriate development standards for allowable uses, minimum lot size, yard setbacks and similar development considerations.

1.8 BERMUDA DUNES AIRPORT LAND USE CONSISTENCY

The Garden Fellowship PMP is located within the influence area of the Bermuda Dunes Airport and Airport Compatibility Zone E. The Zone E designation is considered the least restrictive land use zone in regards to prohibited uses and height restrictions and the land use restrictions associated with it are outlined in the 2004 Riverside County Airport Land Use Compatibility Plan (RCALUCP). Airport Land Use Commission (ALUC) review is required when a project is located within an Airport Influence Area and a local jurisdiction processes a legislative action such as a General Plan Amendment, Conditional Use Permit, or Specific Plan/ Project Master Plan.

1.9 CEQA CONSISTENCY

The project is subject to the requirements of the California Environmental Quality Act (CEQA). Pursuant to the CEQA Guidelines, an Initial Study has been prepared for the Garden Fellowship PMP to analyze the environmental impacts of the project. The following environmental studies were prepared in support of the environmental analysis:

- Air Quality and GHG Urban Crossroads, March 2018
- Biological Assessment James W. Cornett Ecological Consultants, February 2018
- Paleontological Assessment CRM Tech, March 2018
- Cultural Resources CRM Tech, March 2018
- Geotechnical Report ~ Sladden Engineering, October 2014 and March 2018 Update
- Traffic Impact Analysis Urban Crossroads, March 2018

As a result, no substantial adverse impacts were found that could not be mitigated to a level of less than significant. Therefore the City will prepare a Mitigated Negative Declaration (MND) containing an evaluation of potential environmental impacts associated with the project and appropriate mitigation measures for each potential impact. All mitigation measures identified in the Mitigated Negative Declaration shall be identified in a Mitigation Monitoring and Reporting Program (MMRP) to ensure that implementation occurs.

The MND for the PMP will apply to all subsequent implementing entitlements proposed within the Garden Fellowship PMP. All future development projects for the project site will be reviewed with the PMP and the MND to determine whether additional environmental documentation must be prepared pursuant to CEQA Guidelines.

General Plan

Zoning SITE EE Edial State of the Control of RL

Project Boundary

Equestrian Estates Country Estates

Public Residential - Low

Project Boundary

EE CEIR - 1/2

P RL

Source: City of Indio

Exhibit Date: April 6, 2018





1.10 ENTITLEMENT PROCESS

Approval of the following entitlements will implement this project:

Conditional Use Permit (CUP) / Design Review (DR): - Development of a place of worship requires approval of a CUP in compliance with Section 159.097 of the City of Indio Municipal Code. Design Review (DR) is required by the City for approval of landscape and architectural design. The CUP and DR will both require a public hearing before the Planning Commission (Commission) for approval.

Project Master Plan (PMP) - The PMP will cover the entire 18.5 acre site to provide a comprehensive development plan, allowable uses and development standards. The PMP requires public hearings before the Commission and Council.

Airport Land Use Commission Review (ALUC):, ALUC consistency review is required for projects within an airport influence area whenever a local jurisdiction processes a legislative action like a General Plan Amendment, Specific Plan Amendment, Zone Change, or Zoning Ordinance.

CHAPTER 2: MASTER PLAN

2.1 LANDUSE

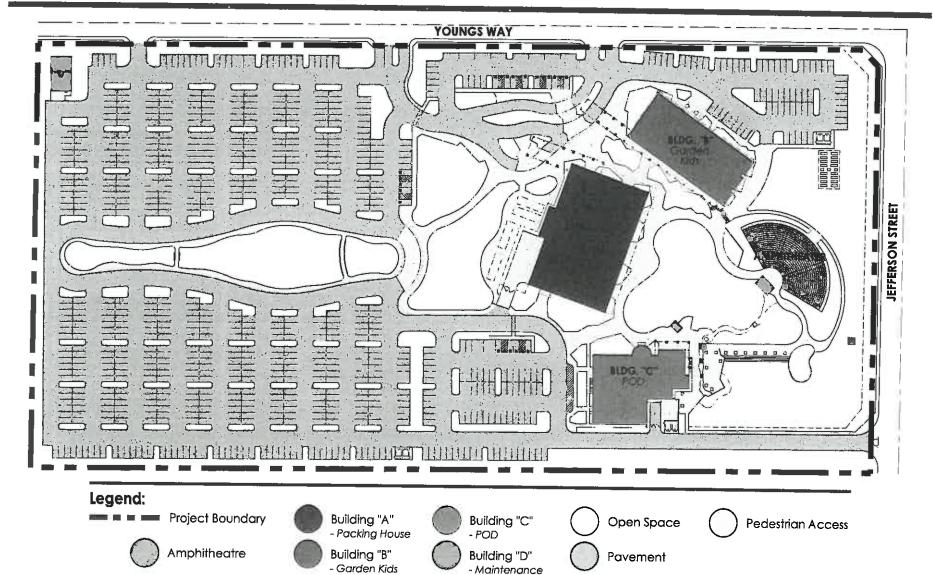
The Project Master Plan proposes the construction of a four building church campus totaling approximately 52,000 sf of building space on 18.5 acres The locations of these buildings as depicted in this PMP (Figure 4 - Conceptual Site Plan) are conceptual and will be further refined through implementing entitlement approvals as outlined in Section 1.10. Each Project component is described below and accompanied by a detailed discussion of permitted uses and relevant development standards in Chapter 3. Table 2.1 provides a summary tabulation of uses and square footages within the project.

TABLE 2.1 MASTER PLAN PROGRAM

Building	Name	Uses	Building SF
Α	"Packing House"	Primary worship/assembly venue	19,300
В	"Garden Kids"	Children's ministries	11,800
c	Mixed Use "POD" Building	Fellowship hall, youth ministries, church offices, café/retail	22,600
D	Maintenance	Facilities maintenance	1,550
	Amphitheater	Outdoor worship/assembly venue	
TOTALS			52.300
Notes			

Notes

Square footages are approximate and subject to refinement with implementing entitlements and final design plans



Note: See Table 2.1 for Master Plan Program information

Source: MSA Consulting, Inc.

Exhibit Date: April 6, 2018





2.2 CIRCULATION

Vehicular and pedestrian circulation systems are an important component of every development project. The Garden Fellowship development has direct and convenient vehicular access to Jefferson Street and Young's way. Vehicles will circulate through standard parking lots with drive aisles in compliance with City engineering and Fire Department design standards. The circulation system is illustrated in Figure 5 Conceptual Circulation Plan, Figure 6 Typical Cross Sections, and Figure 7, Conceptual Pedestrian Plan. Key aspects of the circulation system include:

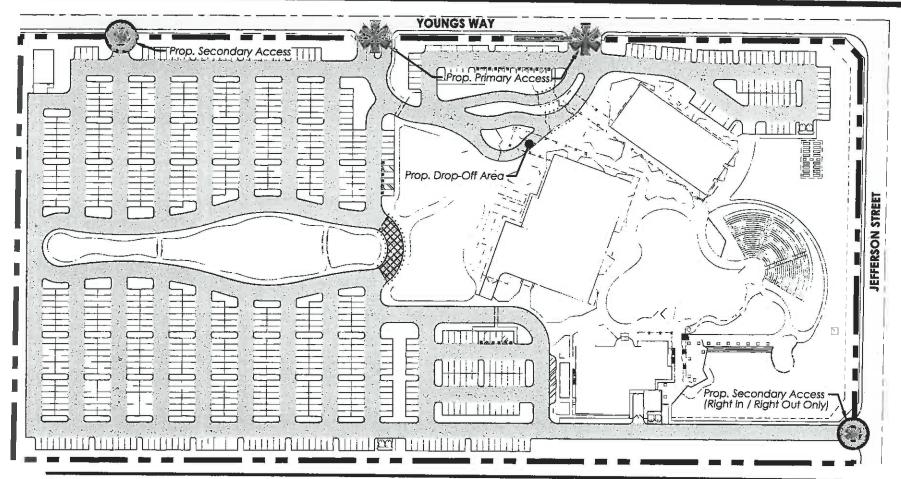
Off-Site Street Improvements - The project will dedicate and construct ultimate public half-street improvements for Jefferson Street (Secondary, 86' ROW) which will include a 7 foot right-of-way vacation along the project frontage (Figure 6 Typical Cross Sections). Young's Way (Collector road, 64') will also be built with ultimate public half-street improvements with a 2 foot proposed right-of-way dedication along the northerly boundary of the property.

Entries – Vehicular access to the site is taken from Jefferson Street and Young's Way via four entry points. Entries would include landscaping, entry signage and pedestrian walkway connections.

Vehicular Circulation — The vehicular circulation system consists of interior drive aisles that provide access to the parking, loading, and service areas associated with each building.

Pedestrian Circulation — Pedestrian circulation to the project is provided via sidewalks along Jefferson Street and Young's Way and interior pathways connecting the various onsite facilities. In addition church parking staff will be available to help direct pedestrians and control traffic with the use of bollards and other traffic control methods. The easterly connection between the north and south parking lots will be controlled with bollards to favor either pedestrian or vehicular access in keeping with the needs of specific activities.

Parking – Sufficient off-street parking is provided to serve each use. Parking standards for the PMP are subject to the City's parking standards as outlined in Chapter 159 of the Indio Municipal Code.



Legend:

Project Boundary

Private Driveway

Jefferson Street (Public / Secondary) (43' R/W Half Street)

> Youngs Way (Public / Collector) (32' R/W Half Street)

Controlled Pedestrian / Vehicle Interface Zone

Primary Access



Secondary Access

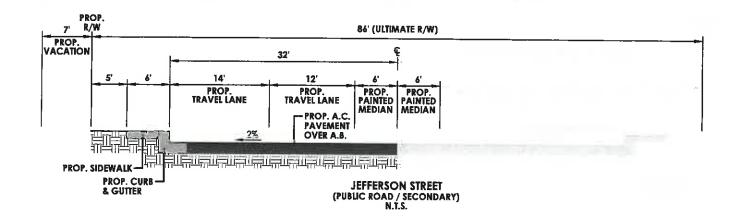
(24' R/W)

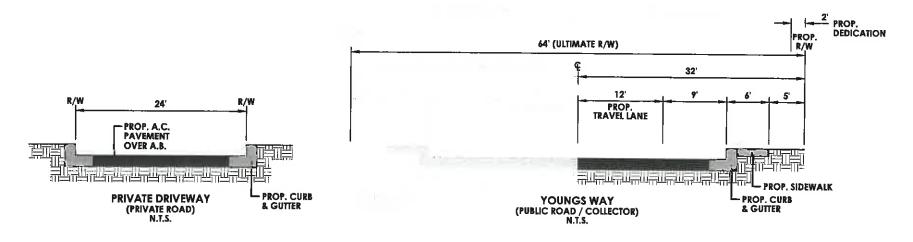
Note: See Figure 6 for Typical Street Sections.

Source: MSA Consulting, Inc.







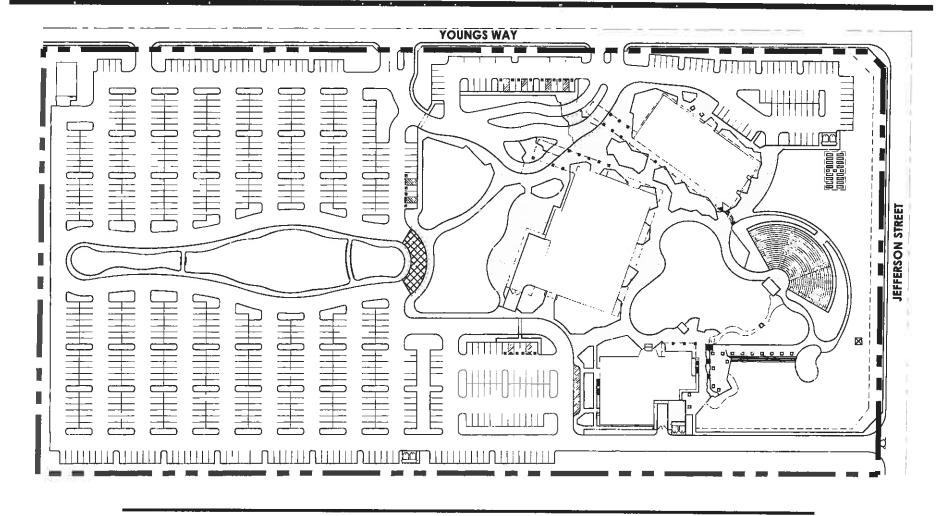


Note: See Figure X for Vehicular Circulation.

Source: MSA Consulting, Inc.







Legend:

Project Boundary





Controlled Pedestrian / Vehicle Interface Zone

Source: MSA Consulting, Inc.





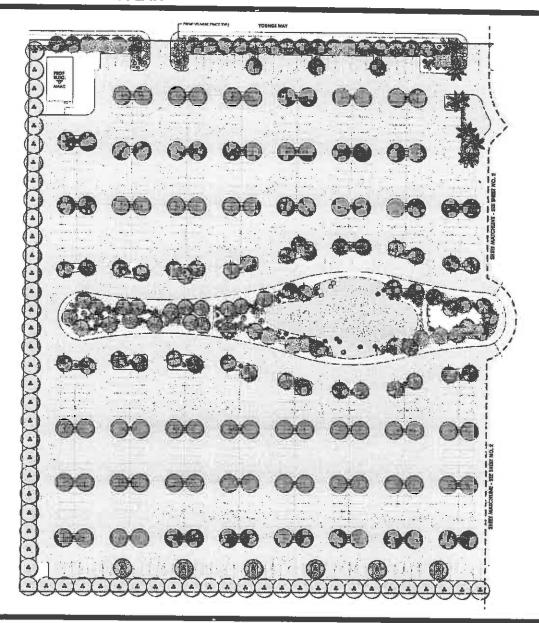
2.3 LANDSCAPED AREAS

Landscaping is an important component of quality development as it introduces greenery to soften and shade urban hardscape. Conceptual landscaping is illustrated in Figures 8 and 9 *Conceptual Landscape Plan* and landscape Design Guidelines are found in Section 4.3. Key aspects of the landscape design include:

Public Streetscapes — Landscaping along the length of Jefferson Street and Young's Way is intended to achieve a consistent, colorful and attractive presentation and soften the project when viewed from the public street.

Entries — Site entries will be attractively landscaped to provide a sense of arrival and identity to each land use type. Entries will be well defined with iconic planting types, and feature signage that will be designed to be an integral part of the entries overall design

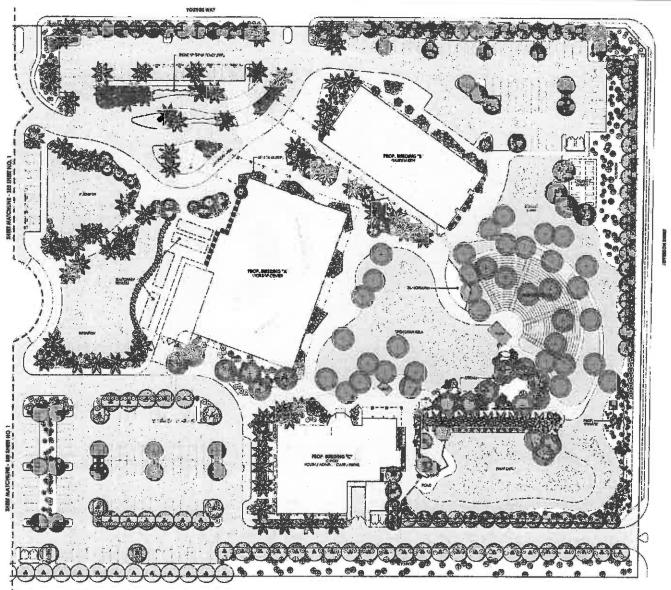
Parking Lots – Planter islands will be spaced throughout the parking areas to incorporate shade trees and reduce heat generation on paved surfaces consistent with City parking lot shading requirements.



Source: MSA Consulting, Inc.







Source: MSA Consulting, Inc.





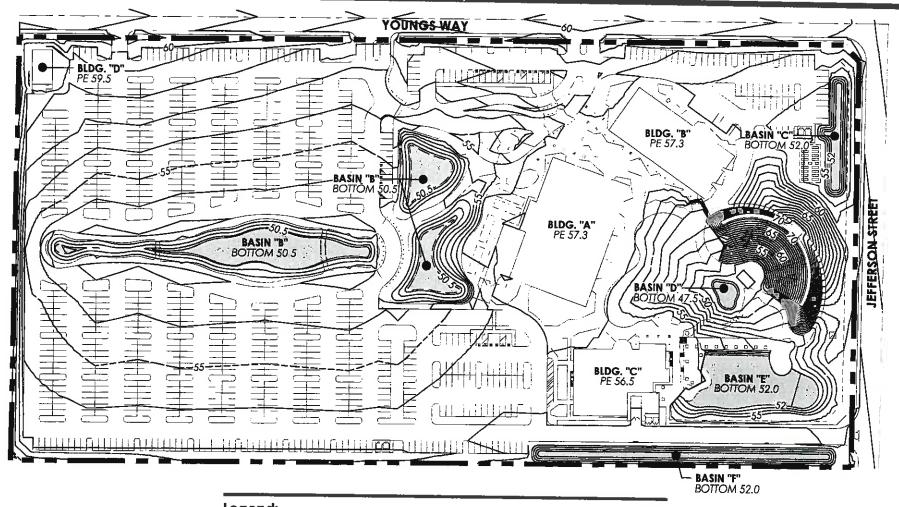
2.4 GRADING & DRAINAGE PLAN

Site topography slopes gently from a high elevation of 60 at the northwest corner of the property to a low elevation of 56 at the southeast corner of the property. Because grading and drainage are closely interrelated, they are addressed jointly in this section.

Grading – The grading concept is intended to create building pads and parking areas while keeping the earthwork balanced on site. Figure 10 *Conceptual Grading Plan*, shows the site contours after grading. The proposed grading will result in ground elevations, which are similar to existing grades. Grading design will be refined and more detailed with final engineering plans for the issuance of grading permits. Grading is also designed to achieve positive surface flows and protect all structures and physical improvements from the 100-year storm, surface runoff, soil erosion and sedimentation both during and after construction.

Drainage — Offsite flows are intercepted along the northern boundary, conveyed through the site and discharged in the existing drainage condition so as not to concentrate flows or negatively affect downstream properties. The incremental increase in runoff created by new impervious surfaces (roofs, pavement) will be retained in basins on site.

As shown in Figure 11, Conceptual Drainage Plan, "developed condition" surface drainage will utilize ground retention basins along with an underground storm drain pipe system. The runoff will sheet flow from the buildings and parking areas to concrete curb and gutter along the drive aisles that lead to catch basins that will be connected to underground storm drain pipes flowing to the proposed retention basins, located at various areas throughout the project site. Retention basins are sized appropriately for the project using standard engineering modelling methods and can be adjusted in size and depth to accommodate site design changes during project development.



Legend:

Note: Grading design is conceptual and subject to change with final construction drawings.

Source: MSA Consulting, Inc.



Proposed Intermediate Contour

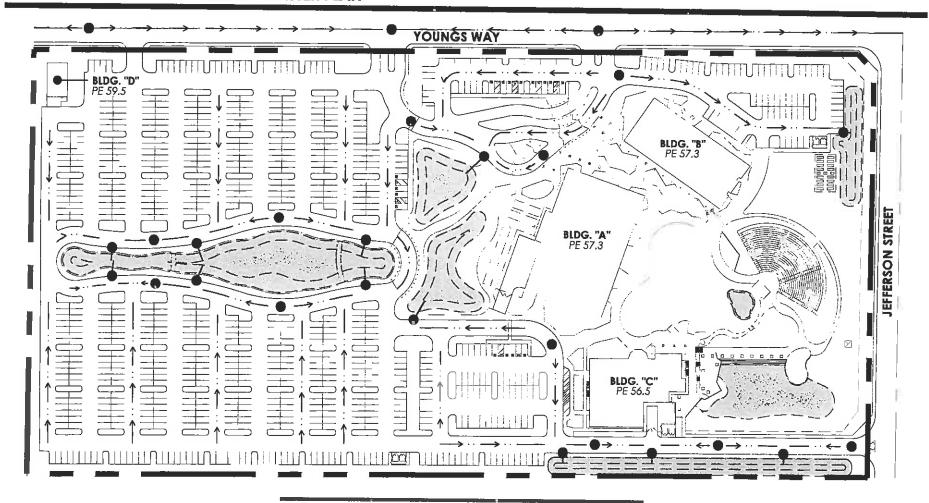
Exhibit Date: April 6, 2018

CONCEPTUAL GRADING PLAN





THE GARDEN FELLOWSHIP PROJECT MASTER PLAN



Notes:

- See Figure 10 for Conceptual
 Grading Plan
- Drainage design is conceptual and subject to change with final construction drawings.

Legend:

Project Boundary

Drainage High Point

Drainage Direction

Drainage Low Point



Proposed Retention Basin

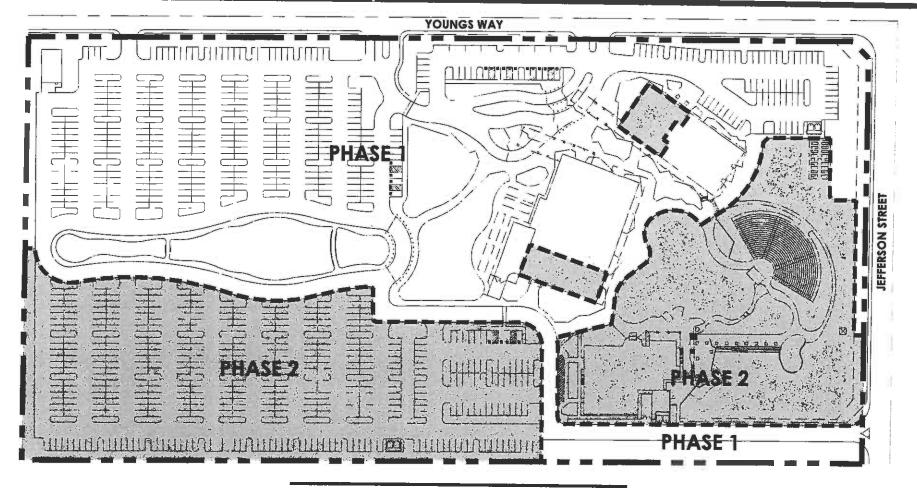
Source: MSA Consulting, Inc.





2.5 PHASING PLAN

The Garden Fellowship Project Master Plan is designed for construction in two (2) primary development phases with build out over approximately 4-6 years. Construction of Phase 1 is estimated to begin in 2019 with full buildout of the project completed by 2025 Figure 12, Conceptual Phasing Plan reflects the anticipated construction sequence. Phased development will be accompanied by the orderly extension of circulation and parking facilities, public utilities, and infrastructure in accordance with the final conditions of approval for the project and the City Engineering Services Division.



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Phase 1

Phase 2

Note: Phasing is conceptual only.

Source: MSA Consulting, Inc.





Chapter 3: DEVELOPMENT STANDARDS

3.1 OVERVIEW

This chapter identifies the development standards applicable to the Garden Fellowship project, including a statement of development intent and a table of allowable uses and relevant development standards.

3.2 PROJECT MASTER PLAN

Statement of Intent – The Project Master Plan is intended to allow the construction of a four (4) building church campus with affiliated amenities and infrastructure systems. Development standards for PA-1 are shown in Table 3.1A *PMP Permitted Uses* and Table 3.1B *PMP Development Standards*.

TABLE 3.1A PMP PERMITTED USES

	P= Permitted	Conditional Use Permit and Design Review = CUP/DR
Allowable Uses	Category	Implementing Approval
Places of worship, churches, or other places used primarily for religious services, including, but not limited to fellowship halls, youth ministries, church offices, etc.	P	CUP/DR
Schools and other educational facilities associated with a religious use	P	CUP/DR
Charitable, social service, and other programs and activities conducted in conjunction with a religious use	P	CUP/DR
Cafe'	P	CUP/DR
Bookstore	P	CUP/DR
Outdoor worship/assembly (i.e amphitheater) venue	P	CUP/DR
Facilities maintenance building	D	CUP/DR

TABLE 3.1B PMP DEVELOPMENT STANDARDS

Min. Side Setback		
Min Doo-Cash 12		15'
Min. Rear Setback ²		60'
Max. Structure Height		50′
Notes.	72	\$

Chapter 4: DESIGN GUIDELINES

41 OVERVIEW

he guidelines contained in this chapter identify unifying elements for design of permanent buildings and landscaping within the Garden Fellowship project. These guidelines will ensure compatibility with the surrounding community, and enhance the overall image of the City. The exhibits provided are intended as conceptual illustrations and do not depict final designs, nor should they limit the range of expression among the developer or their professional design team.

4.2 SITE PLANNING GUIDELINES

Integration of effective site planning techniques, incorporated with basic design elements will enhance the visual experience of the development.

Building Arrangement

The project site is designed in such a way as to cluster the proposed new structures along the eastern edge of the site along Jefferson Street with the parking and maintenance building located to the west of the buildings. The arrangement of the three buildings creates a central plaza area that will be designed and landscaped to provide a high quality setting that will allow informal gatherings before, during, and after church activities and throughout the week. This plaza area will also be directly accessible from adjacent streets thus enabling it to be used throughout the week as a communal gathering place.

Entries and Driveways

Entries shall be clear, identifiable, and street oriented driveways must be provided at the project and parking entrances. Parking entrances should be designed to ensure safe pedestrian access and provide clean line-of-sight-walkways.

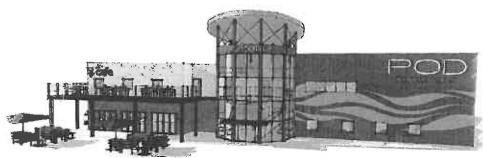
4.3 ARCHITECURAL DESIGN GUIDELINES

Architectural Character

Implementation of this Project Master Plan will result in a high-quality development that complements and enhances the existing neighborhood. Building elevations will be detailed and articulated with projections and recesses to avoid long, plain surfaces. The buildings will be characterized by different massing, materials and colors. The exhibits provided are intended as conceptual illustrations and do not depict final designs, nor should they limit the range of expression among the developer or their professional design team.

Color

- Approach materials to maintain a common, consistent architectural style within the development.
- Apply changes in material purposefully and in a manner corresponding to variations in the building mass.



*Conceptual rendering of proposed multi-use "POD" building. This illustration is conceptual and subject to change as the project's design is finalized and approved under the City's Design Review.

Mechanical Equipment/Storage

- All air conditioning /heating equipment, gas and electric meters must be screened from public view with landscaping or fencing places outside of public view.
- Rooftop air conditioning must be screened
- Screening materials shall blend with building materials and design and landscaping.
- Exterior storage of equipment, supplies, refuse, or their receptacles is prohibited unless screened by landscape or solid walls.
- All exterior storage, trash receptacles, and dumpsters must be screened by landscaping, fencing or walls.

Signage

Project signage is intended to be adequate, functional and aesthetically pleasing. The project proposes to incorporate signage as a design element that compliments the project architecture, landscape and site plan. In accordance with the City of Indio Sign Ordinance, a comprehensive sign program will be developed to provide uniform standards for all signage required for the development including freeway pylon signs, project monument signs, tenant wall signs, and building address signs. It will further describe the typical location, size, color and lettering style of each sign type. The project includes a pylon sign approximately 50' high that will be visible from the freeway above the adjacent mesquite windrow that obscures the property on the north.

The following guidelines shall apply:

- All signs shall complement the project architecture.
- No project signage may be constructed until a comprehensive signage program for the project is approved per the City of Indio Sign Ordinance.
- Once constructed, all signs shall be maintained in an as-new condition.

4.4 LANDSCAPE DESIGN GUIDELINES

All ornamental landscaping in the project will rely on desert plant materials that comply with the water conservation requirements of Indio Water Authority. Irrigation for all areas will optimize water-conserving delivery techniques. Landscaping, hardscape treatment, lighting, and signage will be coordinated to provide a consistent and complimentary appearance for the project as a whole.

The overall landscape concept for the project is shown on Figure 8 & 9, Conceptual Landscape Plan (east & west) and illustrated in Figures 20, Landscape Character Photos.

The Garden Fellowship landscape overall is a design intended to give a garden grove experience to the congregation. Long hedge rows of various trees in formal patterns will dominate the overall planting layout with informal groves of trees to compliment. The shrub and groundcover planting design will also alternate between formality and informality.

Grass areas will be available for congregation and events and be flow from the hardscape path areas through the buildings.

The Jackson Street Frontage will be combinations of tree and shrub planting in a formal pattern and an open informal area on the southwest corner that will enable an open view in to the center of the church complex from the southwest corner. The main signage element for the will be also be located in this area.

Along the entire perimeter, rows of trees will wrap the parking and line the north and south streets. The shrub and groundcover planting in these areas will be informal and colorful.

The area surrounding the church buildings will be planted informally with planting areas and low seat walls.

Sign

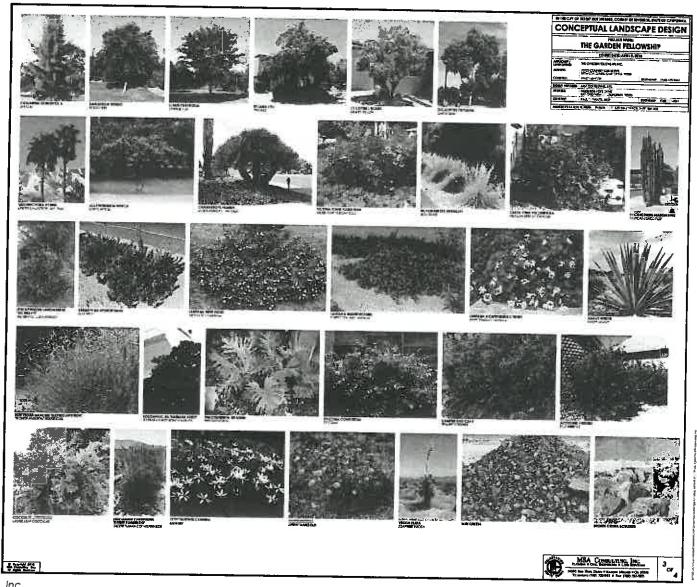
The primary sign for the church will be located approximately in the southeast corner of property along Jackson Street.

Parking

- All parking areas will be screened with a continuous 3 'high planting band of shrubs.
- Each parking island will be planting with two 15 gallon trees and five 5 gallon shrubs or groundcovers.

Trash Enclosures

Trash enclosures shall be screened from public view with walls and planting.



Source: MSA Consulting, Inc.





Chapter 5: PLAN ADMINISTRATION

5.1 OVERVIEW

his chapter described the procedures for administration and implementation of the Project Master Plan.

5.2 IMPLEMENTATION

An Implementation Program is hereby established to realize the goals of the project. The program contains a number of legal, procedural and administrative elements. The purpose of this section is to familiarize City agencies and decision-makers as well as interested citizens with the applicant's goals and intentions for the project and to summarize the methodologies and procedures that will apply to subsequent development activities. The implementation program will take effect upon adoption of the Project Master Plan (PMP) and Mitigated Negative Declaration (MND).

The PMP establishes the general intent and comprehensive framework for development of the site. However, prior to construction, implementing approvals with greater design detail are required, as noted below.

Conditional Use Permit (CUP) - Development of a place of worship requires approval of a CUP in compliance with Section 159.097 of the City of Indio Municipal Code. The CUP requires a public hearing before the Planning Commission (Commission) for approval.

Design Review (DR) – A Design Review application is required for showing the site and architectural plans in greater detail for the proposed project. The DR requires a public hearing before the Planning Commission (Commission) for approval.

Airport Land Use Commission Review (ALUC): ALUC review is required when a local jurisdiction processes a legislative action like a General Plan Amendment, Specific Plan Amendment, Zone Change, or Zoning Ordinance.

Sign Permits - A comprehensive signage program will be developed for the Garden Fellowship Development. Individual signs proposed for the project are required to comply with the provisions of the sign program. These provisions will establish guidelines for sign creation and require both the developer and City approvals. Once written approval from the developer is obtained, all signs must then be submitted for review and administrative approval by the Director of Community Development Services in accordance with the provisions of the approved sign program.

5.3 AMENDMENT

Administrative Changes - Minor modifications that are consistent with the purpose and intent of the current Garden Fellowship PMP are allowed at the discretion of the Community Development Director or their designee. Therefore, it is intended that this Project Master Plan provide City Staff with the flexibility to interpret the details of project development as well as those items discussed in general terms in the PMP without requiring a PMP Amendment.

Requests for administrative changes shall be made in writing. If and when it is determined that changes or adjustments are necessary or appropriate, these shall be approved administratively by the Community Development Director or their designee for any component of this PMP within a twenty percent (20%) change to the requirements of the PMP. No public hearing shall be required for Administrative Approvals. After approval, any such administrative change shall be attached to the Project Master Plan as an addendum and may be further changed and amended from time to time as necessary.

Representative examples of administrative changes may include, but are not limited to:

- The addition of new information to the Project Master Plan maps or text that do not substantially change the effect of any regulation. The new information may include more detailed, site-specific information.
- Changes to community infrastructure such as drainage systems, roads, water and sewer systems, etc.
- Modification of architectural or landscape design criteria or details.
- Changes to the project design, improvements, or conditions of approval, if the change does not affect the overall concept or intensity of use of the approved project.

Formal Amendments - If the Community Development Director determines that the proposed change is not in substantial conformance with the intent of the current PMP approval, the PMP may be amended in accordance with the procedures set forth in the City of Indio Municipal Code.

5.4 INTERPRETATION

Uses Not Listed - All uses not specifically listed in this PMP are prohibited. However, the Community Development Director may determine that a use not listed is included within or comparable to a listed use and, once so determined; it shall be treated in the same manner as a listed use.

Application of Standards - Where there is ambiguity between the PMP and the Zoning Code, the PMP shall govern. Where a development standard is not specifically addressed in the Project Master Plan, the City Zoning Code shall apply.

5.5 ENFORCEMENT

The enforcement of the provisions of this PMP shall be as follows:

- The City of Indio Community Development Department shall enforce the development standards and design guidelines set forth herein.
- Any administrative decision or interpretation of this Project Master Plan may be appealed to the Planning Commission. Likewise, any decision by the Planning Commission may be appealed to the City Council per the provisions of Chapter 30 Section 30.89 of the City of Indio Municipal Code.
- The City of Indio shall administer the provisions of the Garden Fellowship PMP in accordance with the State of California Government Code, Subdivision Map Act, the City of Indio General Plan, and the City of Indio Municipal Code.
- The PMP development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.
- All regulations, conditions, and programs contained herein shall be deemed separate
 distinct and independent provisions of this Project Master Plan. In the event that any
 such provision is held invalid or unconstitutional, the validity of all the remaining
 provisions of this Project Master Plan shall not be affected.
- Any development regulation and building requirement not addressed in this PMP shall be subject to all relevant City of Indio ordinances, codes, and regulations.

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

April 26, 2018

CHAIR Steve Manos

Mr. Tim Wheeler, Project Planner Lake Elsinore County of Riverside Planning Department

VICE CHAIR Glen Holmes Hemet

4080 Lemon Street, 12th Floor Riverside CA 92501 (VIA HAND DELIVERY)

COMMISSIONERS

Arthur Butler Riverside

John Lyon Riverside

Russell Betts Desert Hot Springs

> Steven Stewart Paim Springs

Richard Stewart Moreno Valley

STAFF

Director Simon A. Housman

> John Guerin Paul Rull Barbara Santos

County Administrative Center 4080 Lemon St., 14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW -DIRECTOR'S DETERMINATION

File No.:

ZAP1310MA18

Related File No.:

PP26337 (Plot Plan), PM37402 (Tentative Parcel Map)

APN:

280-100-014

Dear Mr. Wheeler:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case Nos. PM37402 (Tentative Parcel Map No. 37402), a proposal to divide a 2.55 acre parcel located northerly of Van Buren Boulevard, westerly of Ridgeway Avenue, and easterly of Chicago Avenue and the easterly terminus of Iris Avenue into two parcels, and PP26337 (Plot Plan), a proposal to develop a 6,480 square foot children's day care center building with a 5,000 square foot outdoor play area on the proposed southerly one-acre parcel. (The proposed northerly 1.55 acre parcel will be developed with an 880 square foot single family residence.)

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity and residential density are not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (AMSL). At a distance of 22,376 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,758.7 feet AMSL. The site's maximum elevation is approximately 1,588 feet AMSL, and has a proposed maximum building height of 22 feet, resulting in a top point elevation of 1,610 feet AMSL. Therefore, FAA obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

AIRPORT LAND USE COMMISSION

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The review of this Plot Plan is based on the proposed uses and activities noted in the project description. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses/activities are specifically prohibited: wastewater management facilities; trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; incinerators.
- 4. The attached notice shall be provided to all potential purchasers of the property and tenants/lessees of the buildings thereon, and shall be recorded as a deed notice.
- 5. Any new aboveground detention or water quality basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 6. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment of irrigation controllers, access gates, etc.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

AIRPORT LAND USE COMMISSION

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Fusion Properties, Loren Hanson (applicant/landowner)

Luanne Bean (representative)

Gary Gosliga, Airport Manager, March Inland Port Airport Authority

Daniel Rockholt or Denise Hauser, March Air Reserve Base

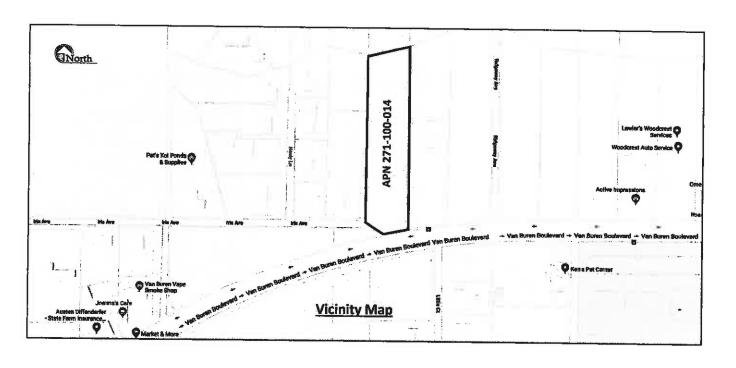
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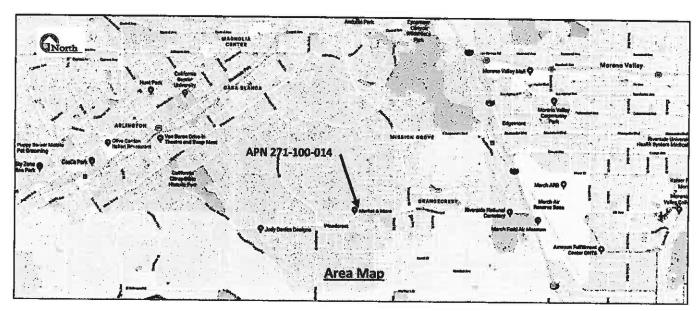
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NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to vou. Business & Professions Code Section 11010 (b)

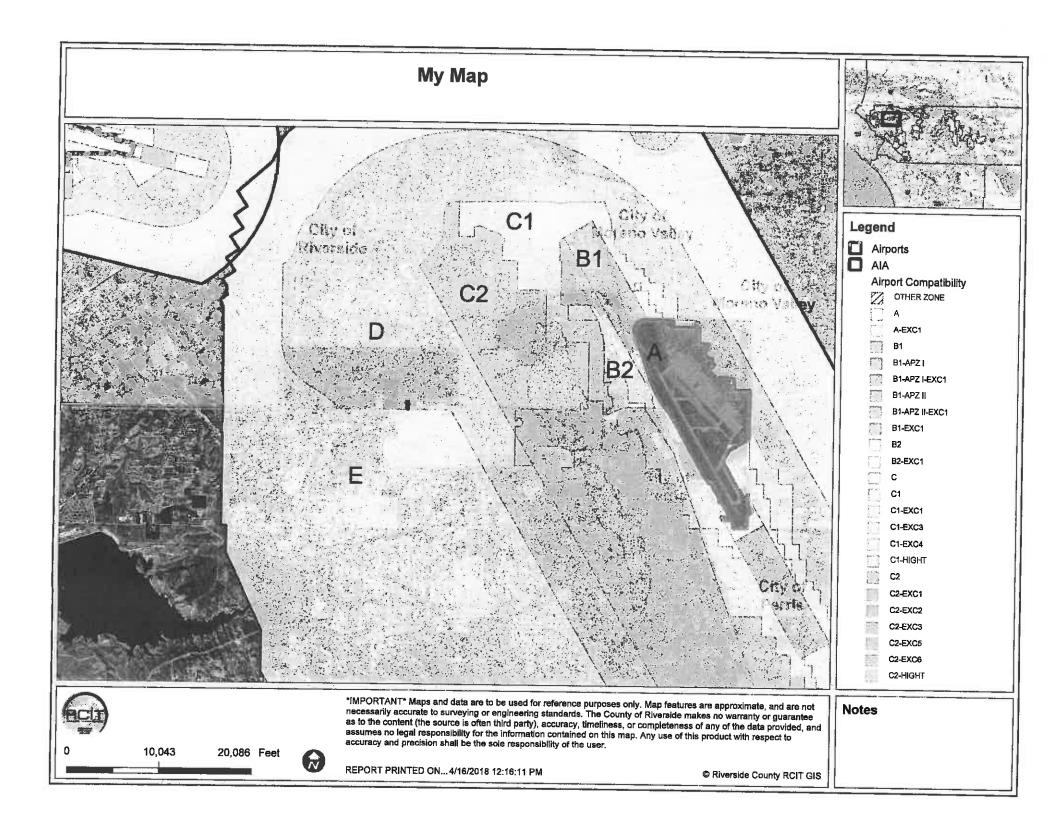
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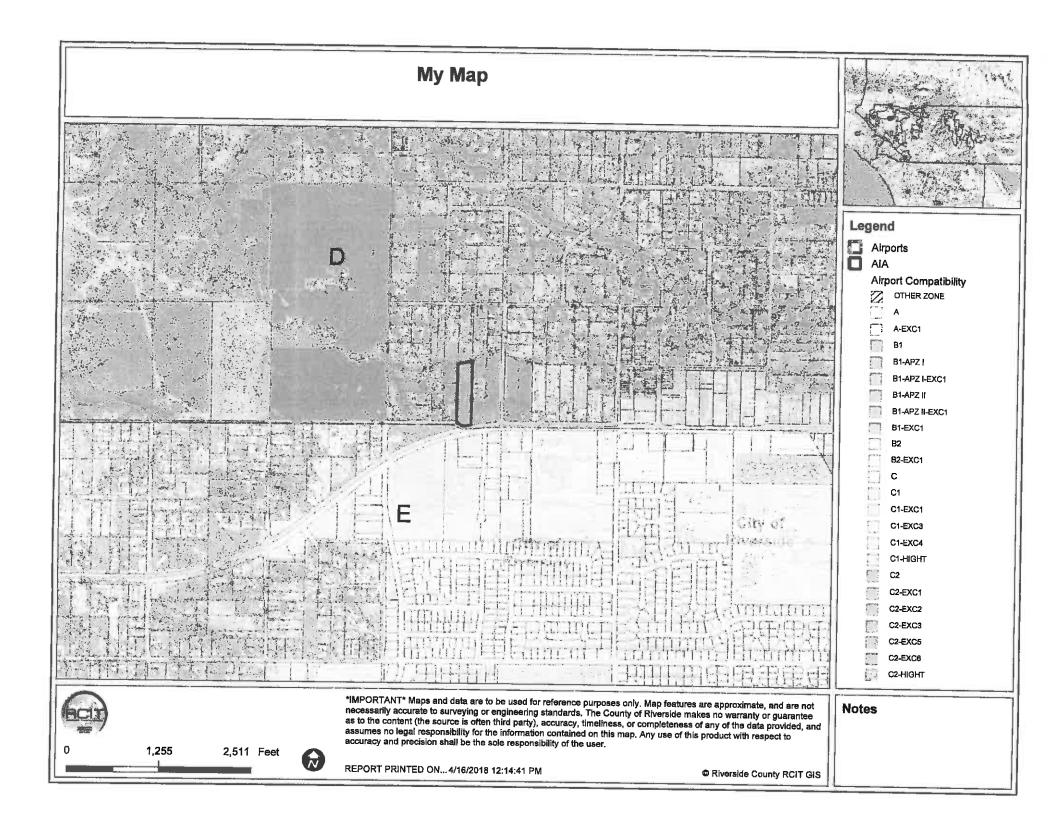


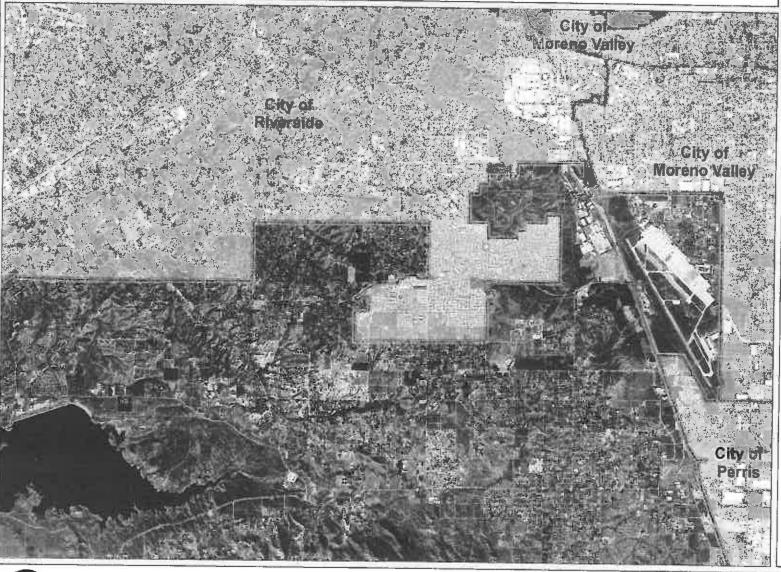


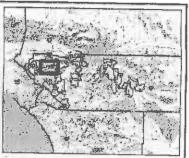
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Prepared by: Luanne Bean Design Engineering Consultant	3161 Temescal Ave. Marco. Cq 9286D 951-377-1566 LuarreBeanl@Cmail.com
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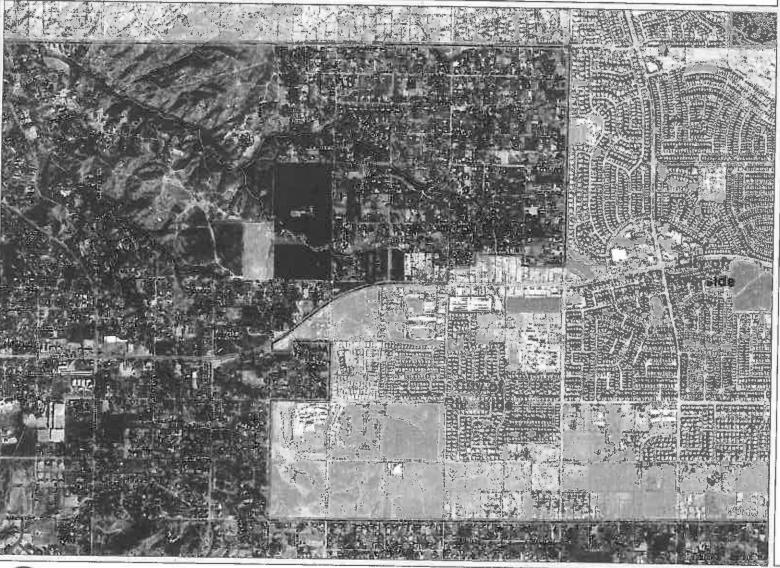


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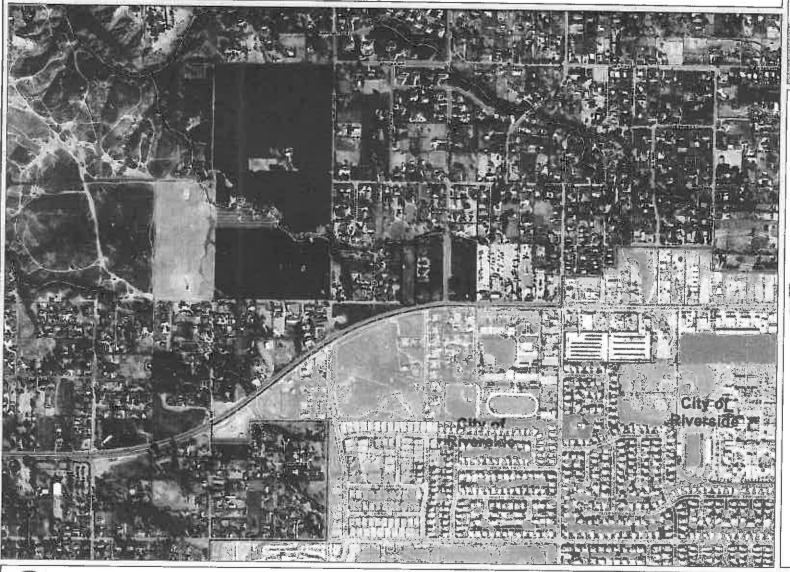
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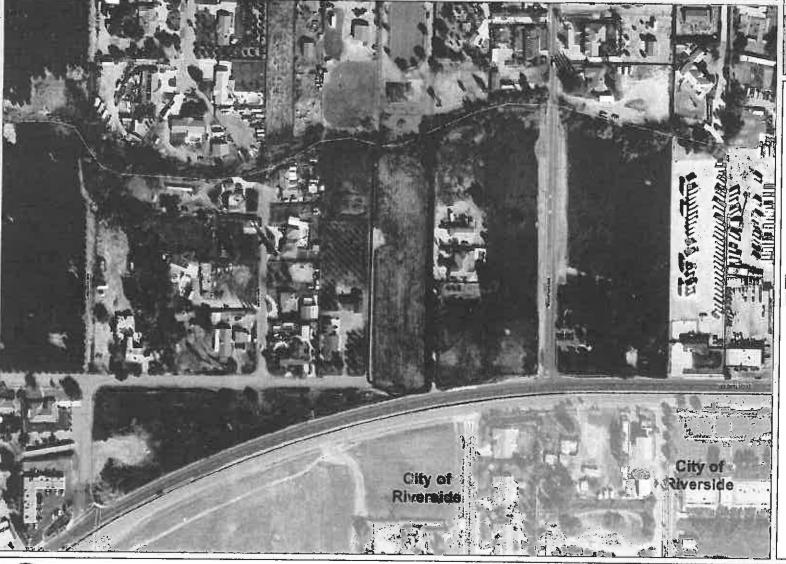
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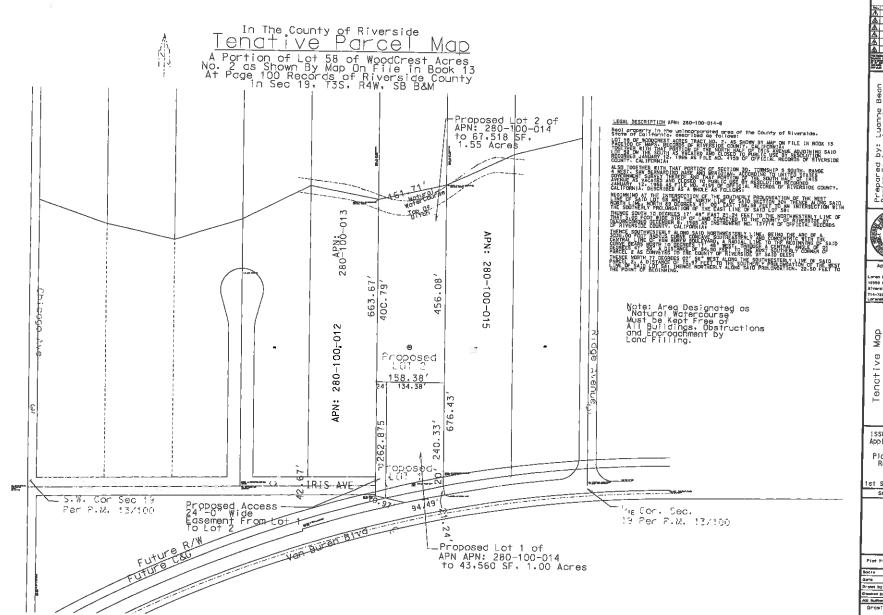


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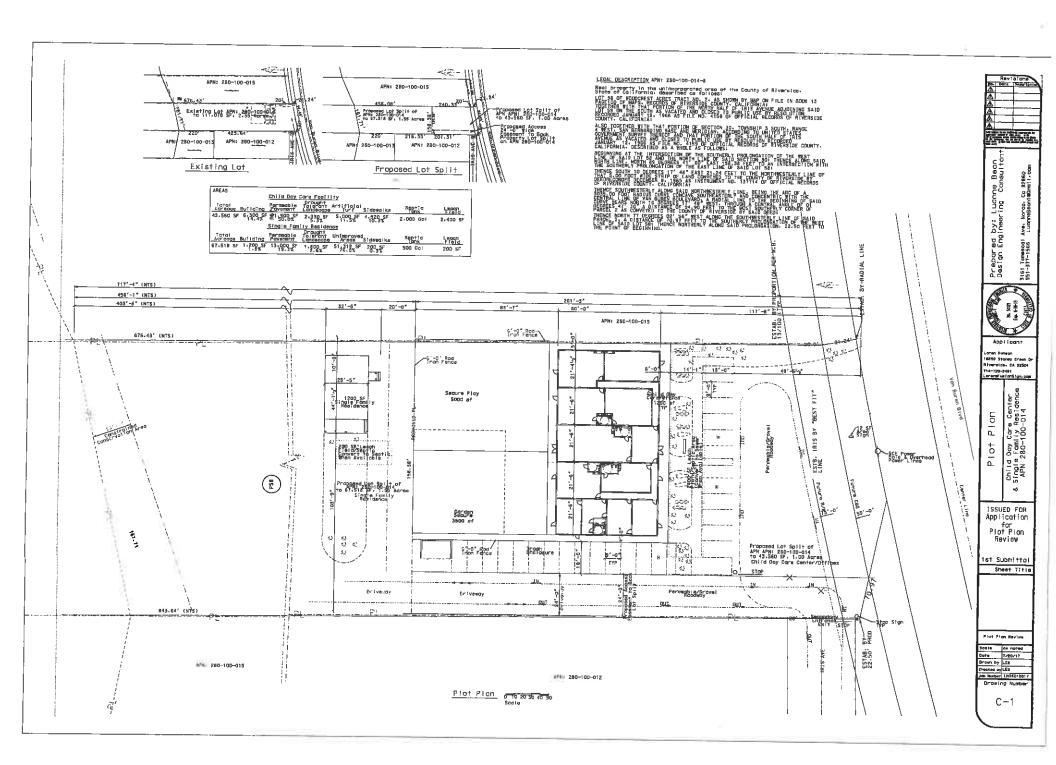
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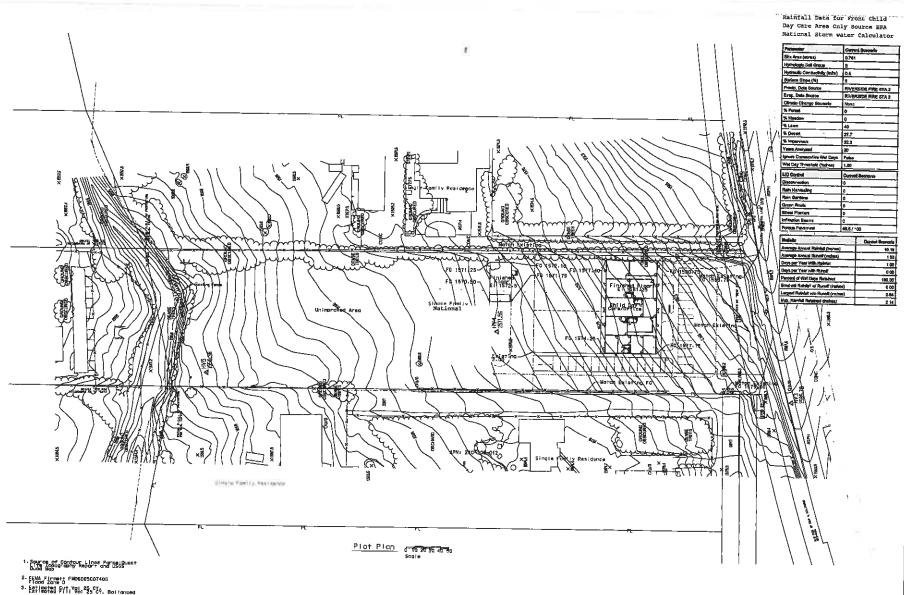
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Prepared by: Luanne Bean Design Engineering Consultant Avs. Norca, Ca 92860 LuchneBeanladmoil, acm

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Child Day Care Center Single Family Residence APN 280-100-014 Pian Grading

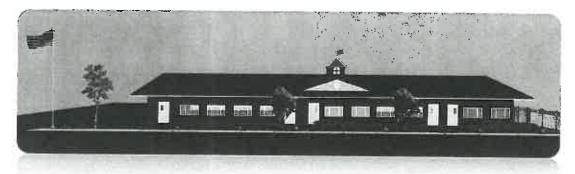
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Schoolhouse Daycare Centers will offer a fun, sets and loving environment with a homelike feel. The children will be exposed to creative learning that will prepare them for Kindergarten readitiess end help them develop a love for learning. Our goal is to offer compatitive cost while providing superior service.

About the Business Partners -

Amber Rodgers -

Amber and her husband live and work in the community, She has worked within the community at Children's Lighthouse Deycare Center and The Grove Community Church Preschool. She has 7+ years of experience in providing instruction and supervision to children 6 weeks to 12 years. Amber is committed to helping children of all agas to learn and grow to echieve their highest potential by better understanding the world around them. It's been Amiser's dreem to build and run a successful daycare center that operates with more of an in home feel.

Loren Hanson –

Loren and his family heve lived in Woodcreet for the past 1.2 years and he owns and operates a local company for the past 1.0 years. He has a background in business development and hes multiple successful operations. He currently elso not the Board of a local organization called Homekid Inland Empire that specializes in the development of homeless shelters to fight the end of homeless shelters to fight the end of homeless shelters to fight the end of homeless shelters.

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L5.01	Specs
I P. on	P-4

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Prepared by: Landering Easign Ergineering 3167 Tenesoal Ave. Marco. 6951-377-1566 Luarrelescons



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714-727-9461 Lorent Latin and Latin and

Cover Page
Child Day Care Cer
& Single Farily Residence

ISSUED FOR Application for Plot Plan Review

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Fig. Then Review

Bets 1/80/17 Orean by LES Checked by LCS Jan Yuman (Mildstyn)

A-O





Proposed Residence South-West View

Names of Utility Purvetors and School District Woodcrest County Service Area School District — Rivarside Unified School District Sewer — Super Gas – Southarn California Gas

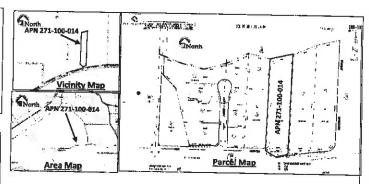
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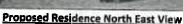
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Cable -- AT&T
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Water District: WMWD Western Municipal Water District 1
County Waste Recourse Munagement District CSA 152
About Water Wat 1302999

General: General Prayose
N.W. Mosquika & Vactor Contral District
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Riverside Construction Stituations
Riverside City Community Callege
Riverside City Community Callege
Riverside Corona Regource Consor
Riverside Unified Selsool
Not in an AlweitstPrice Retribundor Pauli:

Not in an Alquini-Prio to Earthquake Fault Zone, County Fault Zone, or other geological hazard zone

			Proposed Proper				
Listed APN No	Land Use Use Code Description	Outsparry Divisor	Occupancy Clauffeation	Square Fantages	Ballding Type	Corrent	Propered Zoring
171-101-014	Child Day Care Educational Group E Child Day Care CBC Section 305 and 308.5.2	35	E Proposed Licensod Child Day Care Capacity: Infants 12, Tanklar 18, Pre School 18, 7 Teachers	Claurooms/on ∞ 5@ 1250 SF & 1 Ostride Play Area 5,000 SF	Type V Metal Stud. Sprinklered	A-1	A-1
171-169-014	Residential		R	1.200 SF	Type V Stnd Sprinklered	A-t	A-L







Existing View Looking NW



Existing View Looking North



Existing View Looking NE

15590 Styney Creek Drive Riveralde, CA 92504 714-720-3481 Loren SFudan Sim. com	Luanne Ress., P.E. 3161 Temescal Ava Norce, Ca 92860 981-377-1566 Launne Ress Lif Genal re
	Riveralde, CA 92504 714-720-3481 Loren@FusienSien.com

Land Day Care/Office on Southern Portion of Lot 33,159
F 2.761 Acres and Single Family Raddence on Northern
Period of Lot 77,223 SF, 1.789 Acres.
To Be Determined Lot Area Existing: 111,078 SF (2.55 Acres) APN 280-200-014

Let Aras Proposed: 46,560 SF SF (L.S Aren) APN 269-188-14-TBD on Southern Partice, 67,518 SF (1.85 Acres) APN 259-189-84-TBD (TBD - To Se Determined for Let Spik New Number)

m: Refer to Attached Grant Doed. Site Sell Chardification Site Cham D - "Stiff Soi", Rick Cotogory I/II/III, RS = 1.590 g, Shis = 1.500 g, Shis = 1.000 g, Sh = 1.000 g, Sh = 0.600 g.

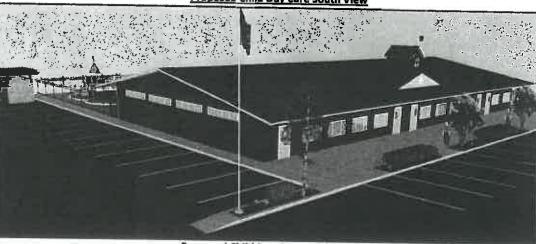
SMI = 0.500 g, SDI = 0.600 g

FMA Fitnet: 96865C#748G

Prefet Discription

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Proposed Child Day Care South-West View

50 by: Lour MOTES. ₩. Ergi 3161 Temecod Prepar



Child Day Care Certer Single Farily Residende AFM 280-100-014 Property Information

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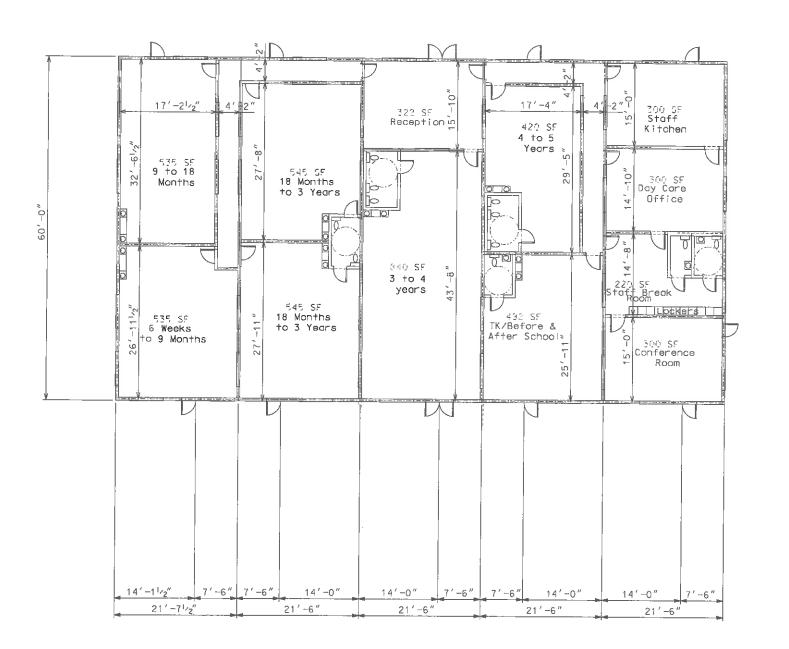
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SCHOOLHOUSE

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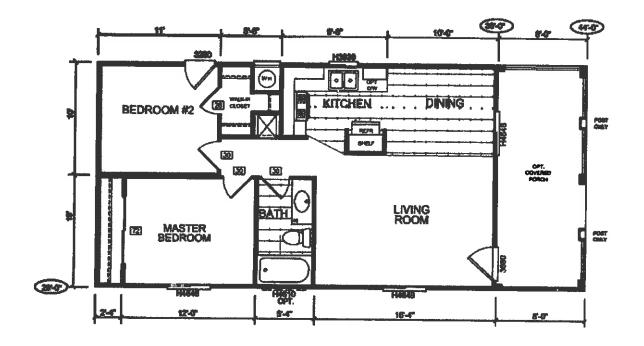
A-1



Prepared by: Luanne Bean Design Engineering Consultant 3161 Tempscol Ave. Noruc. Ca 92860 951-377-1566 LuanneBean196mail.com Loren Homeon 15590 Stoney Creek B Riverside: GA 92504 714-720-5481 LorendfusionSign.dom Care Floor Plan Child Day Care Center & Single Family Residence APN 280-100-014 Day ISSUED FOR Application for Plot Plan Review 1st Submittal Sheet T(+) Sonia de norad
Eana 7/20/17
Dram by LES
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Jab Number LHOSO12017

Drawing Number

A-2



Proposed Single Family Residence Floor Plan

Prepared by: Luanne Bean Design Ergineering Consulfan Avo. Noroo. Cc 52860 LuarneBeanteSmai .oom 3351 Tollboard) / 951-377-1566 Chi d Dcy Care Center & Singlo Family Rosideron APN 280-100-014 SFR Floor Plan ISSUED FOR Application For Plot Plan Review 'st Submittal Sheet Title SCHOOLHOUSE. ale- bles dec. ex

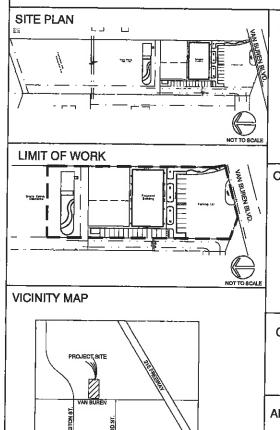
A-3

GENERAL NOTES

- CONTRACT DOCUMENTS: Binal combit of specifications and bit general conditions and the streaming. The intent of these documents he to beliate all back, notations, and sendors nanegeesy for the globour secucion of the stort. The obcomments are to be obtained as one, and relutative: to select for by any part shall be all beliefung as it cannot be try all parts.
- VERWICK/TONCTIOn deviewable shall verify materialization to the desirings before beginning work. In case of every of development in the desirings or specifications at its work of others effecting his work. As shall needly the owner is representative immediately. The contractor shall be held responsible for any darkings or it loss due to his fullyes to observe these instructions.
- LICENSE All work shall be performed by a C-str California Decreed Lundrospa Contragion.
- URLINANCE: The Contractor shall early all Workman's Compensation, Public Liability and Property Dotrage insurance as required by all applicable codes, requisitions and the owner.
- LARGECATE ARCHITECTES LARGELTY/The owner shid contractors, recognizing the inhancet data contracted electromatericles, agree in limit any and at limiting, other for deregam, cost of delates, or supervises the law before agreed the Landescape Architect on Sectional of any design defaut, sensormation, or professional rangingsons to a Sum roll (a second SEC,000), or the second of the Landescape and Contractors.
- 6. COMB TRUCTION SANETY: The design, selecutory and satisfy of erestion, succentium, bossing, selection, before, the property areas of the selection of the Confederate, and has not beared and the confederate of the Conf
- 7. OURSPORM, PROMETIN, PROGULATIONER: The owner shall be think to obtquete survey of the propusely. The contractor show footh must use for solar man and on otherwise and country which as less as and otherwise to before, in the opposition or controlled of the worth as above and appelled. If the contribution observate that it worthers are above between the same transplay entity the country of contribution or controlled in the country described in the country of contribution or controlled in the country of the
- PROTECTION OF WORK, PROPERTY AND PERSON: The contractor shall adequately protect the work adjusted property and the public, and shall be responsible for any durings or injury due to No ed.
- CHARKES NY THE WORK: The owner may order changes in the work. The contract sum being adjusted accordingly. All soft octions and adjustments plus on limit by the contractor for gather must be made better extended.
- 10. PFET-ORDICAR) FOR DETIFIABL No more work of any X-nd shall be considered an extra surveys a symmetry defined in given in made work ballon in a commercial and extra strates a supposed by the property of the property
- SUBSTITUTIONS: All requisits shall be specified unities the contractor can establish the feet the
 they are unavellable, and entertations are approved in veiting by the Landscape Architect.
- 12. COPPECTION OF INDIVITIEs continued to a present any work that falls to explore to the control and shall remove dented and so to take making materials or contramently upon reference or the control to the or the present control of index to the control of individual control to the order of the control of individual control of individual control of the control
- 19. LANDECAPE COORCINATORS STATUSETTIC landscape recordustor acts as the authority to representation of the owner in origination with the project interruper, and has the authority to accept of refer strateful or enviropmentally and the time interruped to soot to describe a soot not landscape and coop. He will also interrupe the manking of the contract documents and may stop the work.
- 1. CLAMPROATION OF DYNAMIQUE DESIGNS. DISCOURCE After reviewing the desirings throuslyink in the confirmant empowerbably to highly with the Landscape Anhieted or owner improves basis any quantities are contracted in the confirmation of the con
- 16. SAMPLEEX The Landscape Architect nazones the right to table and enalyze samples of materials for continuously to specification at any time. The contractor shall similar sharings spon request by the continuously architecture produced materials and in the reproductory encountry from the above required registered at contraction observed. This cost of trailing materials and meeting propolitications shall be paid to try the continuous.
- 16. PRE-CONSTRUCTION CONFERENCES detected a pre-construction meeting with the Landscap Architect all least 7 days before beginning work. The purpose of the conference is to review any questions the confuscion may have requesting the work administrative purposaries claring conditions and review and extending.
- 77. COMPLETIONS Completion is defined as being when all opinificate of the content have been societied. Specifically with a 10 few set we handled up a mass distance and the production of the content and the production, within a legislate like and supplies the content, within a place of the content and supplies an
- GUAPANTECT is addition to specified gearandees provided for in the expansis sections of the specifications, the enterprise shall gearantee in vertiling all worknowherby and materials to be frefrom dated for a period of one year from the care of acceptance of the trook by the cream whose additional count to the news.

CHILD DAY CARE CENTER & SINGLE FAMILY RESIDENCE APN 280-100-014

RIVERSIDE, CALIFORNIA LANDSCAPE ARCHITECTURAL PLANS



SHEET INDEX

L1.01 IRRIGATION PLAN
L2.01 IRRIGATION DETAILS
L3.01 PLANTING PLAN
L4.01 PLANTING DETAILS
L5.01 LANDSCAPE SPECIFICATIONS
L5.02 LANDSCAPE SPECIFICATIONS

TITLE SHEET

L0.01

CONSULTANTS:

ARCHITECT:

CONTACT: LUANNE BEAN TEL: 951/377-1668 MWELO COMPLIANCE:

PRIOR TO PROJECT CONSTRUCTION, I AGREE TO AUBINT A COMPLETE LANDSCAPE CONSTRUCTION DOCUMENT PACKAGE THAT COMPLIES WITH THE REDURISHENTS OF APPLICABLE ORDINANCES, INCLIDING BUT NOT RECEIVED ANY LAND IN ORDINANCE AS: PROJECT CONDITIONS OF APPROVAL AND IN SUBSTRUCTION CONFIDENCES WITH THE APPROVED LINDSCAPE CONCEPT PLANS SHOULD THE ORDINANCES BE REVIEWD, PLANS MAY SE SUSJECT TO CHANGE THOUGHT FOR THE ORDINANCES BE REVIEWD, PLANS MAY SE SUSJECT TO CHANGE THOUGHT FOR THE ORDINANCES BE REVIEWD, PLANS MAY SE SUSJECT TO CHANGE THOUGHT AND A SERVING A

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TOTAL LANDSCAPE AREA:
PROJECT TYPE:
WATER SUPPLY TYPE:

111.078 SQ.FT. 4,870.84 SQ. FT. NEW POTABLE WESTERN MUNICIPAL WATER DISTRICT

OWNER/CLIENT:

FUSION GROUP

680 COLUMBIA AVE. RIVERSIDE CA 62507 CONTACT: MR. LOREN HANSON PHONE: 714/720-3481

APPROVALS

NOT TO SCALE



Segura Associates, Inc., 608 817.8

Architecture Land Planning LUrban Design PO Box 964 T. (909) 624-2700 La Verne, CA 91750 E. begura@seguraLA.com onsultont 60

Design Engineering Const 3181 Jenescol F. Norco, Co 92980 851-377-1588 Junne Ren (86mails)

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Child Day Care Center & Single Family Residence APN 280 100 014

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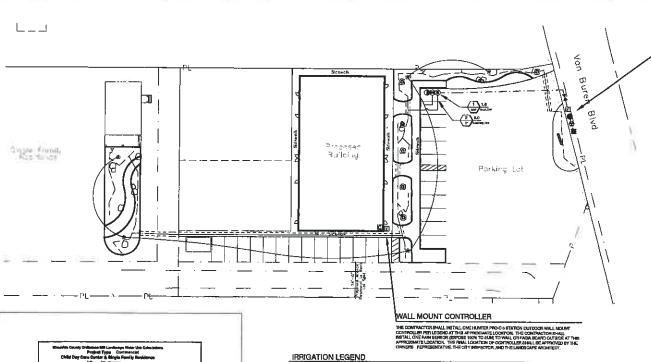
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3	MBCO	TLSQV	FLUSH VALVE				
•	HUNTER	ICV-101G-FS	1" FLASTIC MASTER VALVE - NORMALLY OPEN				
•	HUNTER	ICM101G	1" PLASTIC REMOTE CONTROL VALVE - SIZE PER	PLAN			
•	HUNTER	AC2075	24" PLASTIC ORIP ZONE VALVE - 612E PER PLAN				
3	PANERED	as-L9c	SHE BRASS QUICK COUPLING VALVE				
><	HAMMOND	IB-645	SRASS GATE VALVE - SIZE PER PLAN				
•	FEBC0	BOEYA	REDUCED PRESSURE BACKINGOV PREVENTER -	STEE PER PL	AH		
C	HUNTER	PC-800	S-STATION OUTDOOR CONTROLLER				
æ	HUNTER	MINI-CLICK	RAIN SENSOR				
2	HUNTER	FLOWICLIK	FLOW SENSOR - SIZE PER PLAN				
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MWELO COMPLIANCE

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POINT OF CONNECTION

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MOXINUM DEMAND 8.0 GPM
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STATIC PRESSURE XX PSI

IRRIGATION NOTES

1-INSTALL ALL IRREGATION COMPONENTS ACCORDING TO LOCAL CODES & ORDINANCES.

2-ALL INTROATION SHALL BE INSTALLED BY A LICENSED CONTRACTOR (C-27) OR CERTIFIED IRROATION SPECIALIST, ACCEPTABLE TO THE OWNER. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR MAY AND ALL PERMITS MAY ALL INSPECTIONS AS REQUIRED.

S-THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY ENCROACHMENT INTO ADJACTOR FOR THE AUGUST PROPERTY ROW, B. SASEMENTS ABTRIACKS OR ANY OTHER LEGAL PROPERTY RESTRICTIONS EITHER MEMORED OR UNIMANED.

44T SHALL BE THE REPONDIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UNDERSPROUND UTILITIES, CONTRACTOR SHALL REPARTMENACE AT NO ADDITIONAL COST TO THE OWNER, ANY DAMAGE TO UNDERSPROUND UTILITIES THAT MAY OCCUR.

ATHE CONTRACTOR SHALL BE RESIDENCED AND USUALS FOR ANY AND ALL DAMAGE DUE TO OPENATIONS OR NEGLECT TO NUTRICH CHIEFER CONTRACTORS DESTINAS AND NEW HE ANY MATERIALS OR ANY CHEER PHYSIOLS, ELEMENTS EMPEN MATERIC DAMAGED, THE CONTRACTOR SHALL BE PERFORMED AS COORDINATION OF ACTIVITIES WITH ALL OTHER TRACES.

6-THE CONTRACTOR SHALL VERYY ALL CONSTIONS AND DIMENSIONS SHOWN ON PLANS AT THE SITE PRICE TO COMMENCEMENT OF ANY WORK. ALL DISCREPANCES SHALL BE REPORTED TO THE OWNER AND PROJECT LANDSCAPE ARCHITECTS FOR DISCOVERY AND SHALL SHALL SHOULD AN EXCHAUNT AND CONTRACTORS RISK AND EMPENSE.

7-THE CONTRACTOR SHALL VERIET THE STATIC PRESSURE, METER SIZE SUZE OF SERVICE TO THE METER. ANY DEMATIONS FROM DESIGN CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE AND STREET, CONTRACTOR OF VERIEN WHITCH MATERIANS TO THE CONTRACTING OFFICIES SHALL SEATTHE CONTRACTORS SHIRL MICE STREET,

SPETER TO DETAILS A SPECIFICATIONS FOR INSTALLATION OF ALL COMPONENTS.

6-PRESENTION FLANS AS DRAWN SHALL BE CONSIDERED DIAGRAPAMATIC, ALL FIFE, VALVES, ETC. SHOWN WITH PAYED AREAS ARE FOR DESIGN CLAFIFICATION ONLY AND SHALL BE INSTALLED IN FLANTISK AREAS WITHOUT POSSIBLE.

10-ONE CONTROLLER CHART SHALL BE FROMED AND APPROVED BY THE OWNER REPRESENTATIVE FUN EACH CONTROLLER. THE CHART SHALL BE A BLOCK HE PHAY, AND A CHART SHALL BE A BLOCK HE PHAY, AND A CHART SHALL BE LESS TO BOMY THE AREA OF CONSPANCE OF EACH STATON. THE CHART SHALL BE LESS RECTALLY SHALL BE HERECOLLY SHALL BE HERECOLLY SHALL BE HERECOLLY SHALL BE HERECOLLY SHALL BY HERECOLLY SHALL SH

11-ADJUST ALL HEADS FOR NO OVER SPRAY ON NON-PLANTED AREAS AND FOR COMPLETE CONSTRUCT. THIS SHALL INCLUDE SELECTION THE SEXT DEGREE OF ARC TO FIT THE EXISTING CONSTITUTE, AUGUST FOR FLARM FEATING-MONTHS.

12-CONTRACTOR SHALL COORDINATE LOCATION AND POWER HOOKUP FOR ALITOMATIC IRRIGATION CONTROLLER WITH OWNER'S REPRESENTATIVE.

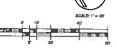
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VALVE KEY

PVC LATERAL LINE SIZING CHART

\triangle		VALVE NUMBER APPROX. DPMS
Ų.	Ξ	VALVE TYPE VALVE SIZE

P##2 842E	GALLONS PER MINUTE	81ŽE	GALLONS PER MINUTE
34"	0-8	2'	an - 50
1"	B-12	2 1/2"	50.70
1.1/4"	12-22	2"	70-100
1 1/2"	22 - 30	-	100 +





Segura Associates, Inc., 100 #17.54

Landscape Architecturs. Land Planning. Urban Design

WWW.Agenia.com

La Verne, CA 91780 E Sesgura Besgura LA.com

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Prepared by: Litan Design Engineering

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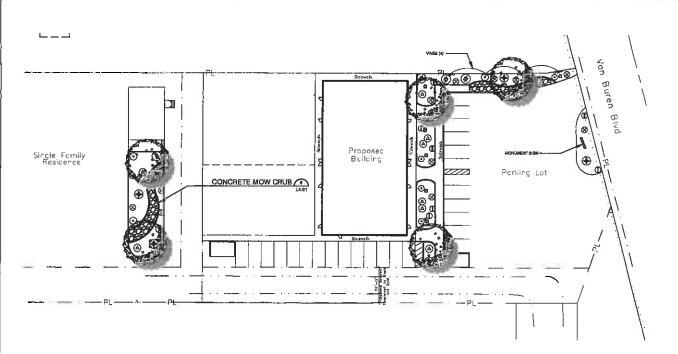
IRRIGATION PLAN

MITTEL ...

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PLANTING NOTES

1-CONTRACTOR IS RESPONSIBLE FOR MAKING HINSELF FAMILIAR WITH ALL LINDERGROUND LITLINES, FIPES AND STRUCTURES, CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCLURED DUE TO DAMAGE OF BAID LITLINES.

SALL PLANTING BANAL BE UNDER THE ORBETTON OF A LICENSED CONTINATION (C-27), THE CONTINATION SHALL BE UNBEEFOR POOR PLANT SELECTION AND INSTALLATION TECHNIQUES. CONTINATION SHALL BE REPROVEDED FOR ANY COORDINATION WITH SUBCONTINATIONS AS REQUIRED TO ACCORDINATION WITH SUBCONTINATIONS AS REQUIRED TO ACCORDINATION STATEMENT OF THE SUBCONTINATION OF THE

4 SEE DETAILS AND SPECIFICATIONS FOR STANDING METHOD, PLANT PIT DIMENSIONS AND BADDOFLI RECURRENTS.

SALL PLANT MATERIAL SHALL BE APPROVED FOR CLIAUTY BY THE OWNER & LANCECAPE ARCHITECT PRIOR TO INSTALLATION.

7-FINAL LOCATION OF ALL PLANT MATERIAL SHALL BESUBLECT TO THE APPROVAL OF THE OWNERS PEPPRESENTATIVE. LOCATION SHALL BE APPROVED PRIOR TO DISCANATION.

A-ALL TREES LOCATED LESS THAN 8 FROM ANY WALD, HARDSCAPE OR PANNS SHALL BE RISTALLED WITH ROOT BARRIERS PER CITY STANDARD DETAIL. PROR TO BARDSHLING TREES, PLANTING, CONTRACTOR SHALL HAVE OWNERS REPRESENTATIVE APPROVE THE ROOT BARRIER RESTALLATION,

PLANDSOAFE CONTRACTOR TO RECEIVE AIT GRACED WITHIN 1/10 OF A FOOT OF FINISHED GRACE CONTRACTOR SHALL ACCEPT GRACE PRICE TO COMMENCING YORKS, STARTISM WICK, REFULES AN ACCEPTANCE OF GRACE. FINAL SHARES SHALL BE ADMITTED AS DETECTED FOR HOMES, ALL, GRADING SHALL BE CONTRICTED FROM TO COMMENCIONENT OF PLANTING OPERATIONS. ALL MOUNDS IN PLANT AREAS SHALL, KOT BUTCHED HIS TOTAL SHARES SHALL SHARES SHARE

10-CONTRACTOR SHALL NOTIFY OWNER BEVEN (7) DAYS PYROL TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES AS REQUIRED BY SPECIFICATIONS.

11-ALL APEAS NOT PLANTED IN TURF, SHOUND COMEN, OR HYDROSEED, WHICH ARE USES THAN 2:1 SLOPE SHALL RECEIVE IF MINL DEEP OF A PECUPED MALCH. MALCH SHALLE STANDARD WOOD BANK SIZE. SUBMIT SAMPLE TO OWNERS REPRESENTATIVE FOR AFFROMAL PRIOR TO APPLICATION.

12-WEED COMPROL. NILL AND REJACKS ALL, DISETING WEEDS FROM SITE AREA, FOR PREVENTION OF WEED GROWN ANTICOMENT HOMOGENESS OFFICION ONLY SITEM STREET RANFORM AREA GOIL, WHITH A PREVENTION OF THE CONTROL AND AREA GOIL, WHITH A PREVENTION OFFICIAL AND AREA GOIL, AND AREA GOIL, AND AREA GOIL, AND AREA GOIL, AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA GOILD AND AREA AND AREA GOILD AND AREA

19-BOIL TEBT, AFTER ALL SICI, HAS SEEN IMPORTED TO THE BITTE BUT BEFORE SOIL PREPARATION, THE CONTRACTOR SINKL OBTAIN A SICIL TEBT FOR AGRICUATURAL SICILABLITY AND FERTILITY PREPARED BY A CHAPORINA SEED SOCIOTION OF BARDOLATURAL LINGUISTIC SICILABLITY PROPARED BY A RESULTS TO THE CITY AND LANCISCAPE ARCHITECT.

14-908. PREPARATION: THE FOLLOWING SOIL AMENDMENTS SHALL BE FOR SID PURPOSES ONLY. FINAL SIG. AMENDMENT TYPES AND QUARTITIES SHALL SE SASED ON SOIL TEST RECOMMENDATIONS. REPORTED FOLLOWING AMENDMENTS WITH THE SHALL SIT ARBITE MODIFICIPE PIET 1:00 SOLUME.

4 CU. YOS. INTROCHEN STABILIZED SAVADUST 120 LBS. GYPSUM 125 LBS. GRO POWER PLUS

O------ 18" DIA DERERT BOULDERS

М	BOTANICAL NAME	COMMON NAME	SIZE W	U, P.F.	QTY	COMMENTS	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	W,U,	P.F.	QTY	COMMENT
	TREES:							SHRUBS;						
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187							⊕	AGAVĘ ATTĘNUATA	FOX TAIL ABOVE	5 GAL	0.2	L	4	
	GROUNDCOVERS:							CONVOLVULUS CNEORUM	BUSH MORNING GLORY	5 GAL	0.2	l,	11	
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					,				TEXAS RANGER	6 GAL	0.2	L	10	
年度是	DECORATIVE STONE				717 9QF	T	@ 		PENNISETUM	5 GAL	0.2	L	T .	
	-						(ø)	RIBES AUREUM	GOLDEN CURRANT	5 GAL	0.2	L	3	
	VINES:						⊙—		CLEVELAND SAGE	5 GAL	0.2	Ĺ.	2.1	
	VINESC													
-	— MACFADYENA UNGUBI-GATI	GATS CLAW VINE	5 GAL 0.3	2 Ł	4									
	BOULDERS:													

MWELO COMPLIANCE

PRIOR TO PROJECT CONSTRUCTION, I AGREE TO SUBMIT A COMPLETE LANDSCAPE CONSTRUCTION OCCUMENT PACKAGE THAT COMPLIES WITH THE RECURRIMENTS OF APPLICABLE ORDINANCES, INCLUDING BUT NOT NECESSARILY LIMITED TO ORDINANCE , ORDINANCE 491; PROJECT CONDITIONS OF APPROVAL; AND IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED LANDSCAPE CONCEPT PLAN, SHOULD THE ORDINANCES BE REVISED, PLANS MAY BE SUBJECT TO CHANGE,







Segura Associates, Inc. Landscape Architecture . Land Planning . Urban Design PO Box 964 T. (909) 624-2700 La Verne, CA 91750 E. Isegura@seguraLA.com

1.15.77

Bean စ္ပပိ Tennescol 377-1566

3161

SSUED FOR Plat Pl-Fores

1st Submittel Sheet 0.

PLANTING PLAN

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Ten on Junter

L3.01

PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

April 26, 2018

CHAIR Steve Manos Lake Elsinore Mr. Tim Wheeler, Project Planner County of Riverside Planning Department 4080 Lemon Street, 12th Floor Riverside CA 92501

VICE CHAIR Glen Holmes Hemet

Holmes (VIA HAND DELIVERY)

COMMISSIONERS

Arthur Butler Riverside

> John Lyon Riverside

Russell Betts Desert Hot Springs

> Steven Stewart Palm Springs

Richard Stewart Moreno Valley

STAFF

Director Simon A. Housman

John Guerin Paul Ruli Barbara Santos

County Administrative Center 4080 Lemon St., 14th Floor, Riverside, CA 92501 (951) 955-5132

www.rcaiuc.org

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.:

ZAP1311MA18

Related File No.: APNs:

CUP3775 (Conditional Use Permit) 321-130-053 through -055, -060

Dear Mr. Wheeler:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. CUP3775 (Conditional Use Permit), a proposal to develop a commercial retail center including two retail buildings with 19,097 square feet and 8,586 square feet, respectively, a 3,200 square foot quick service restaurant with a drive-thru, and a gas station with a 3,800 square foot convenience store, 2,080 square foot carwash tunnel and 8 fuel pumps (16 fueling stations) on 7.18 acres located on the northeast corner of Cajalco Road and Wood Road (to be accessed from Wood Road).

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (AMSL). At a distance of 26,000 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review could be required for any structures with a top of roof exceeding 1,748 feet AMSL. The project's site elevations range from 1,580 to 1,604 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

AIRPORT LAND USE COMMISSION

- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Lake Mathews/Woodcrest Area Plan:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the property and to tenants of the building(s) thereon.
- 4. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. The following uses are specifically prohibited at this location: trash transfer stations that are open on one or more sides; commercial composting operations; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; aquaculture; incinerators.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

AIRPORT LAND USE COMMISSION

cc: Cajalco Square, LP, Xerxes Coyco (applicant/representative)

B&C Land Boulder (property owner)

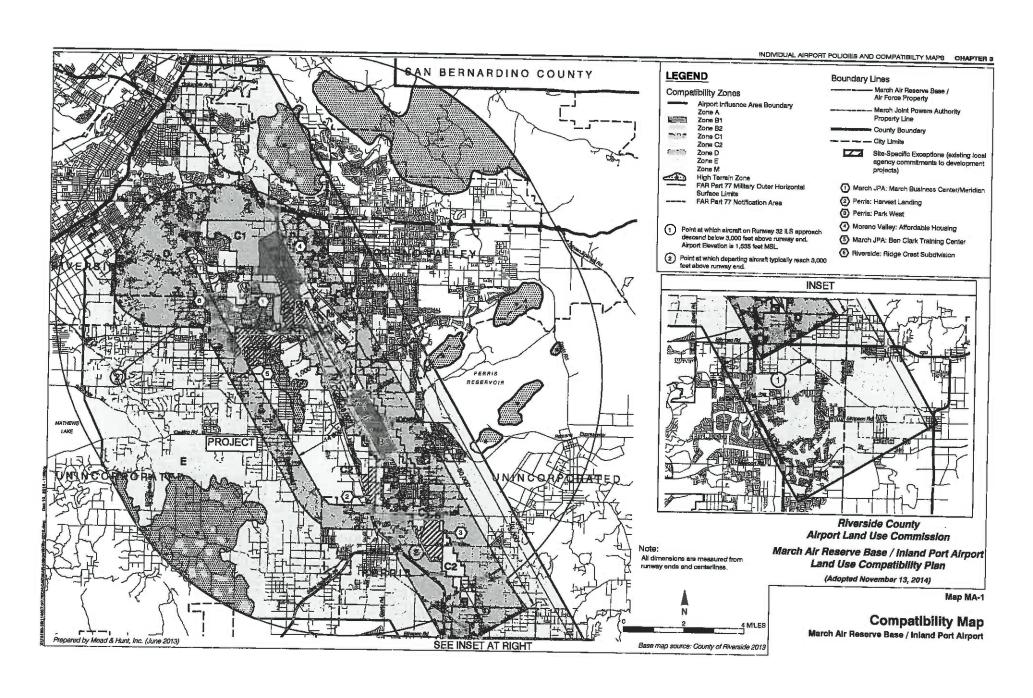
Gary Gosliga, Airport Manager, March Inland Port Airport Authority Daniel "Rock" Rockholt or Denise Hauser, March Air Reserve Base

ALUC Case File

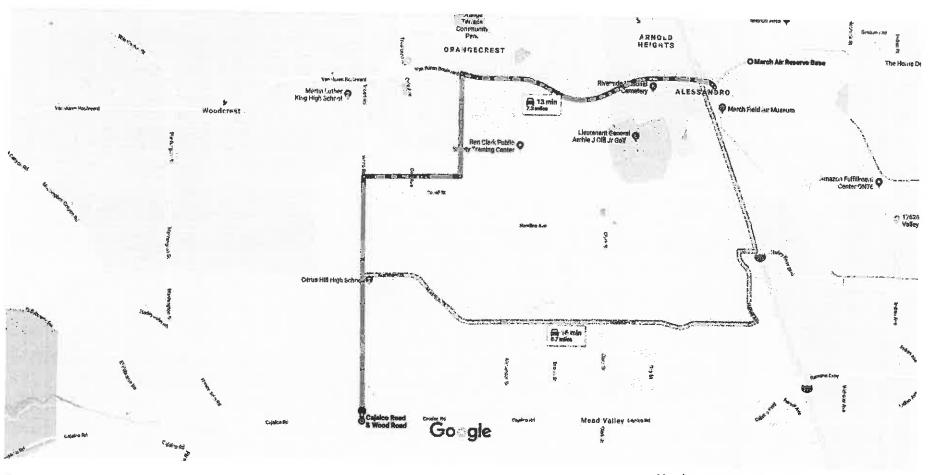
Y:\AIRPORT CASE FILES\March\ZAP1311MA18\ZAP1311MA18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)



Gogie Maps March Air Reserve Base, California to Cajalco Rd & Wood Rd, Perris, CA 92570 Drive 7.3 miles, 13 min



Map data ©2018 Google 2000 ft

via Van Buren Boulevard and Wood Rd

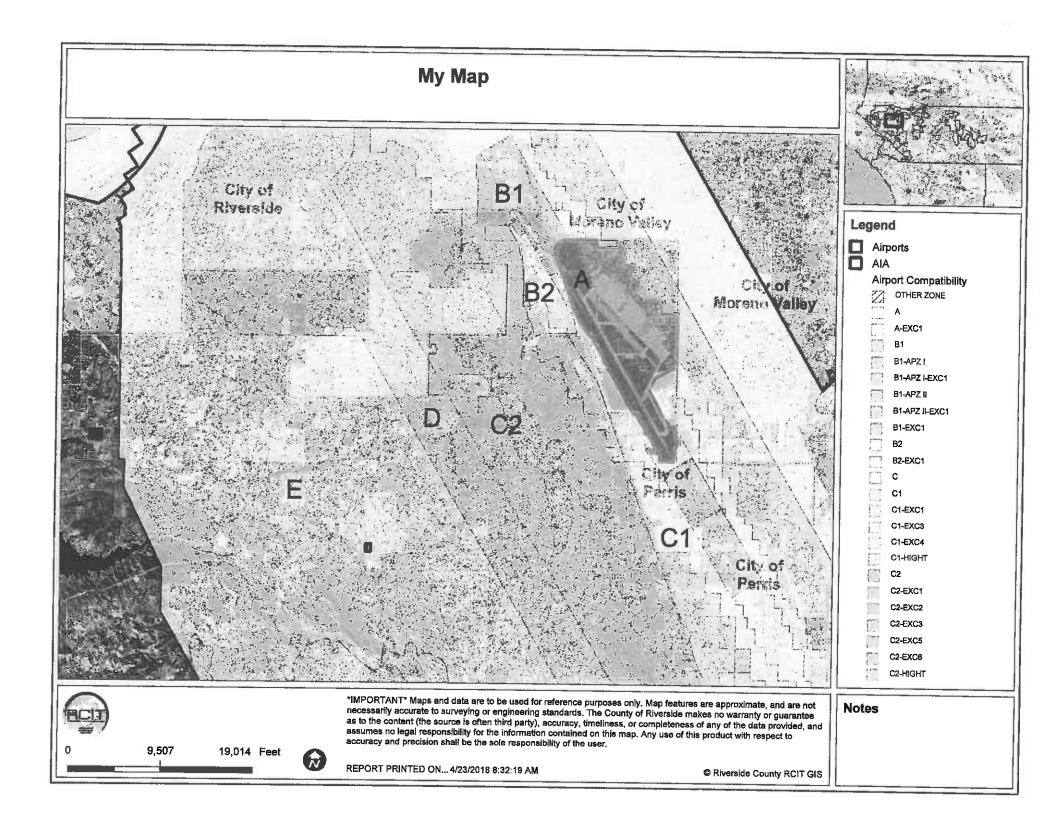
Fastest route, the usual traffic

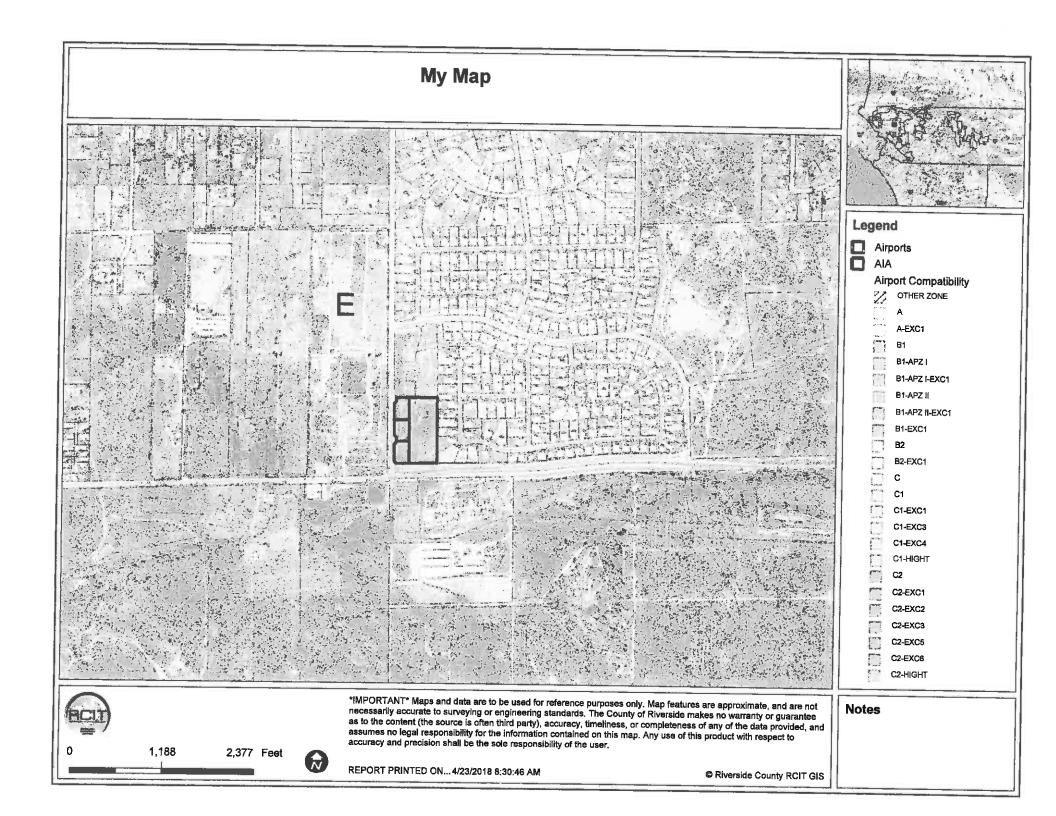
13 min

7.3 miles

via Markham St

16 min



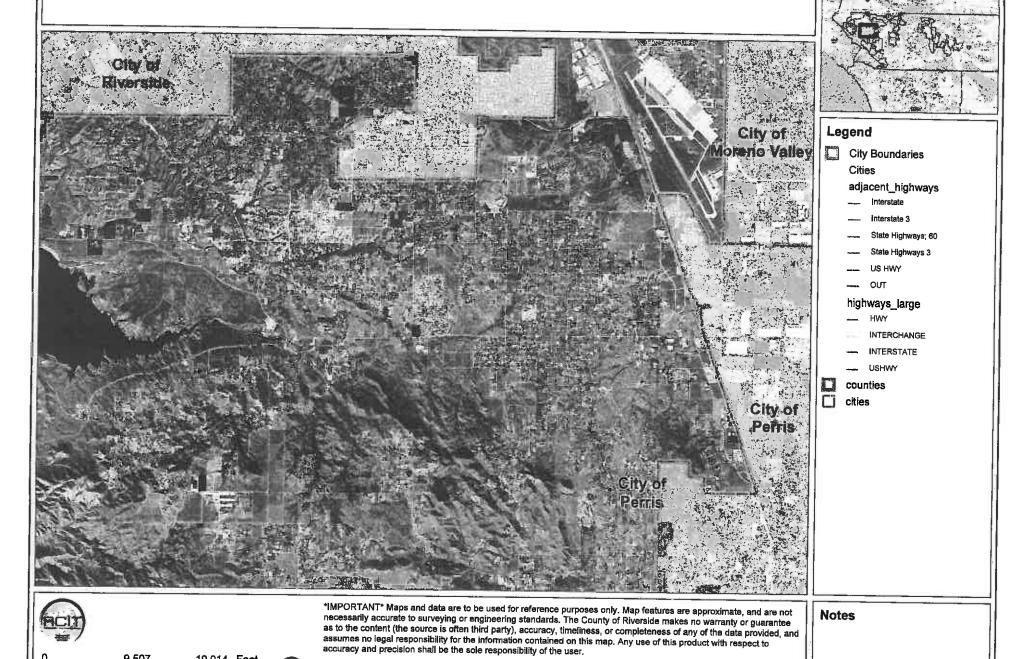


9,507

19,014 Feet

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REPORT PRINTED ON... 4/23/2018 8:33:02 AM



© Riverside County RCIT GIS





Legend

City Boundaries Cities roadsanno

highways

- HWY
- INTERCHANGE
- INTERSTATE
- **OFFRAMP**
- ONRAMP
- USHWY

roads

- Major Roads
- Arterial
- Collector
- Residential

counties

cities

hydrographylines waterbodies

Lakes



Rivers



2,377

4,754 Feet



iMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

© Riverside County RCIT GIS

Notes





Legend

- City Boundaries
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 - USHWY
- counties
- hydrographylines waterbodies
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IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes





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City Boundaries
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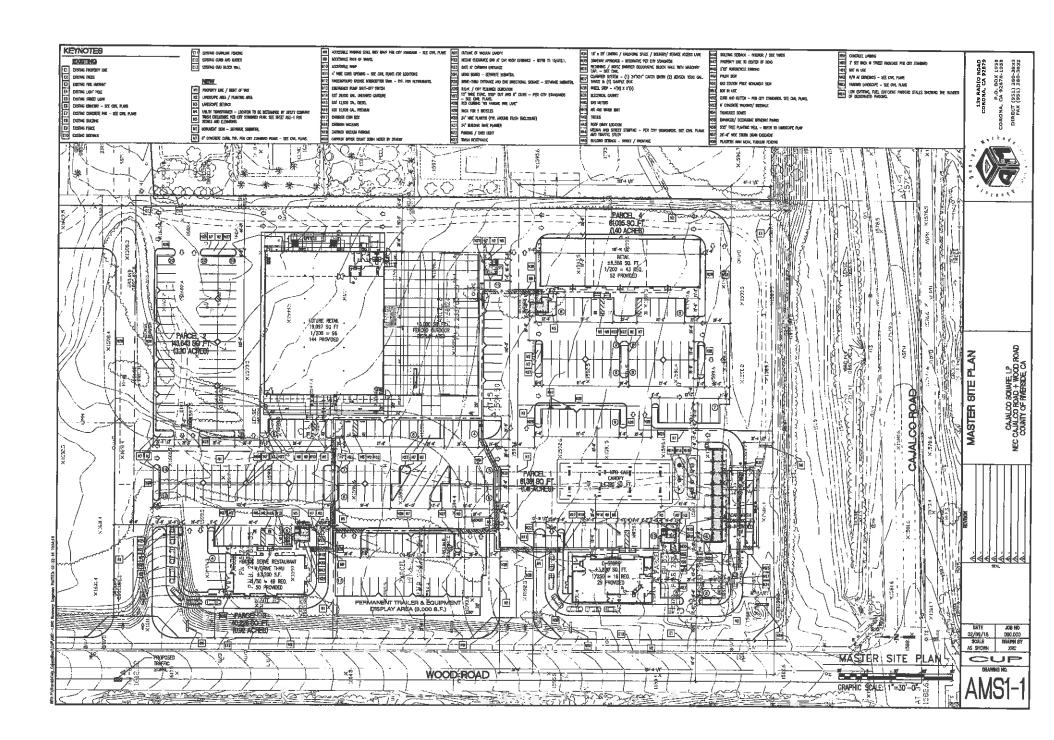
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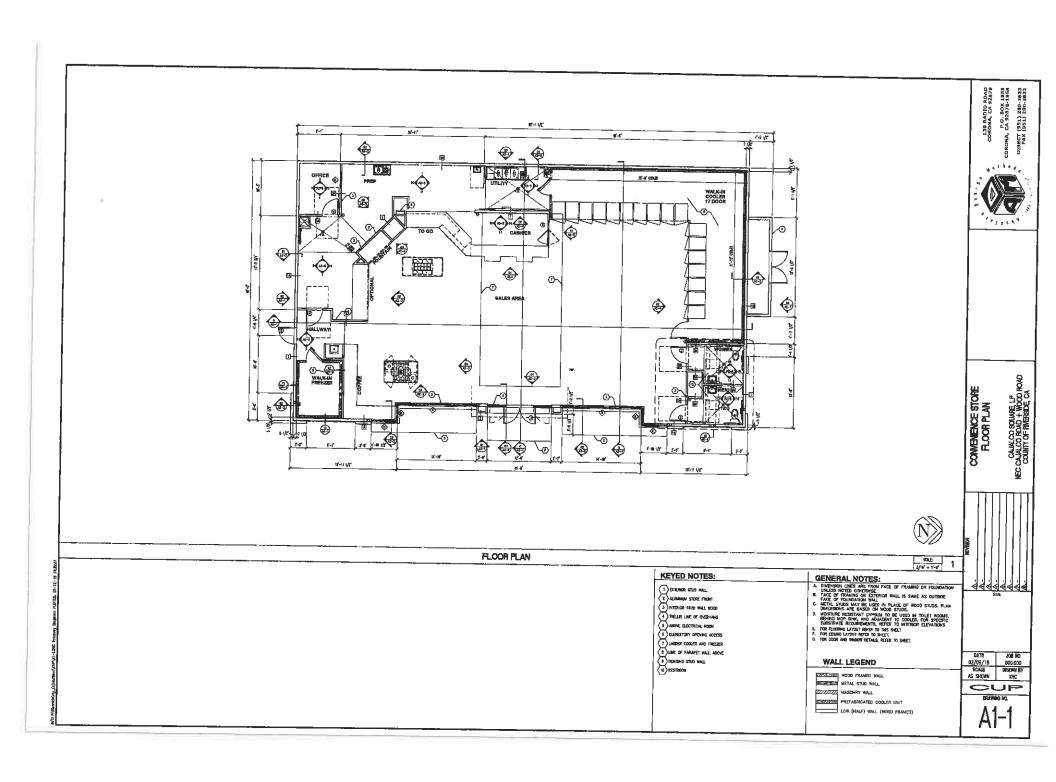
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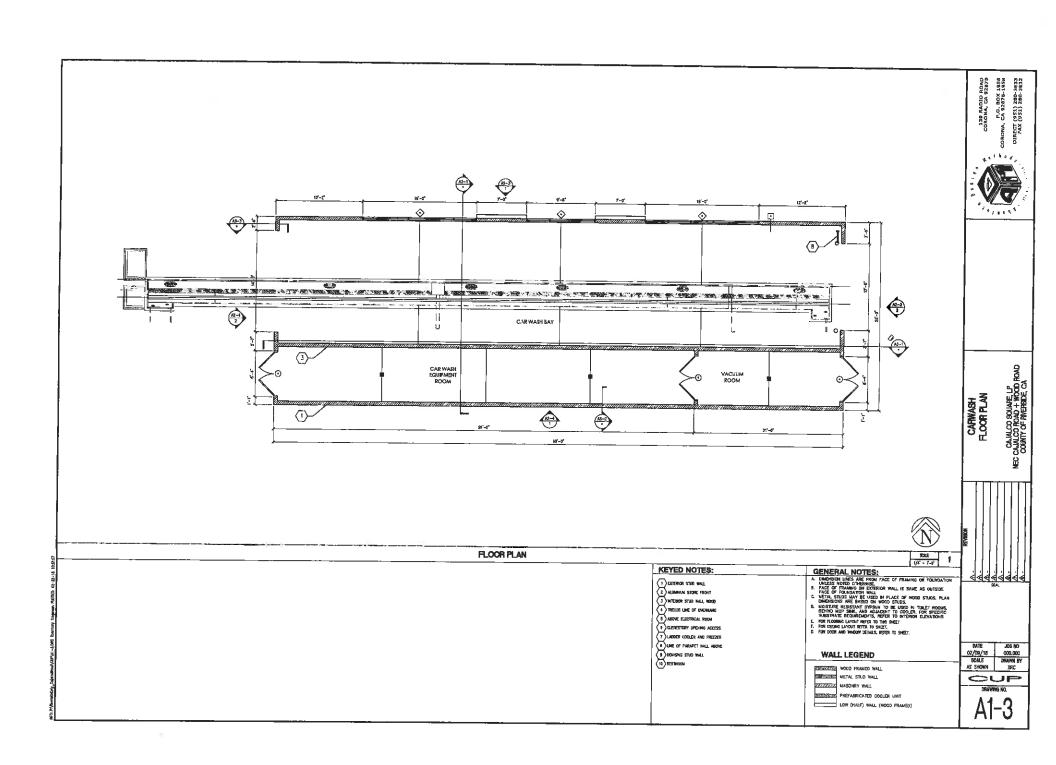
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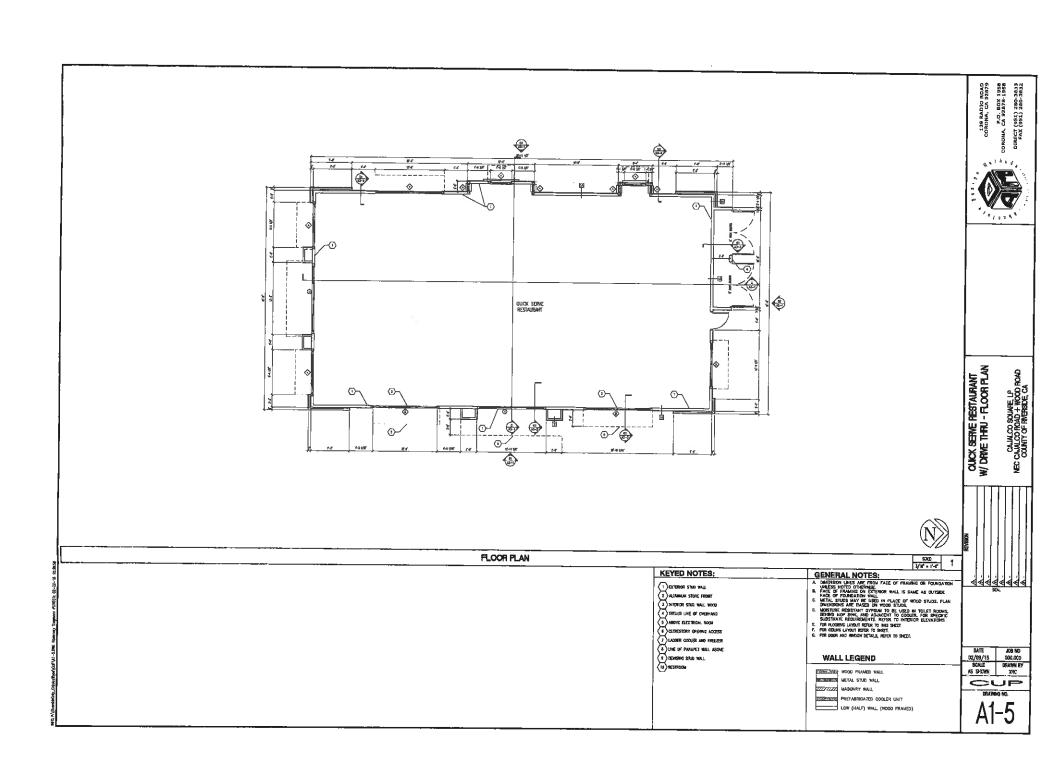
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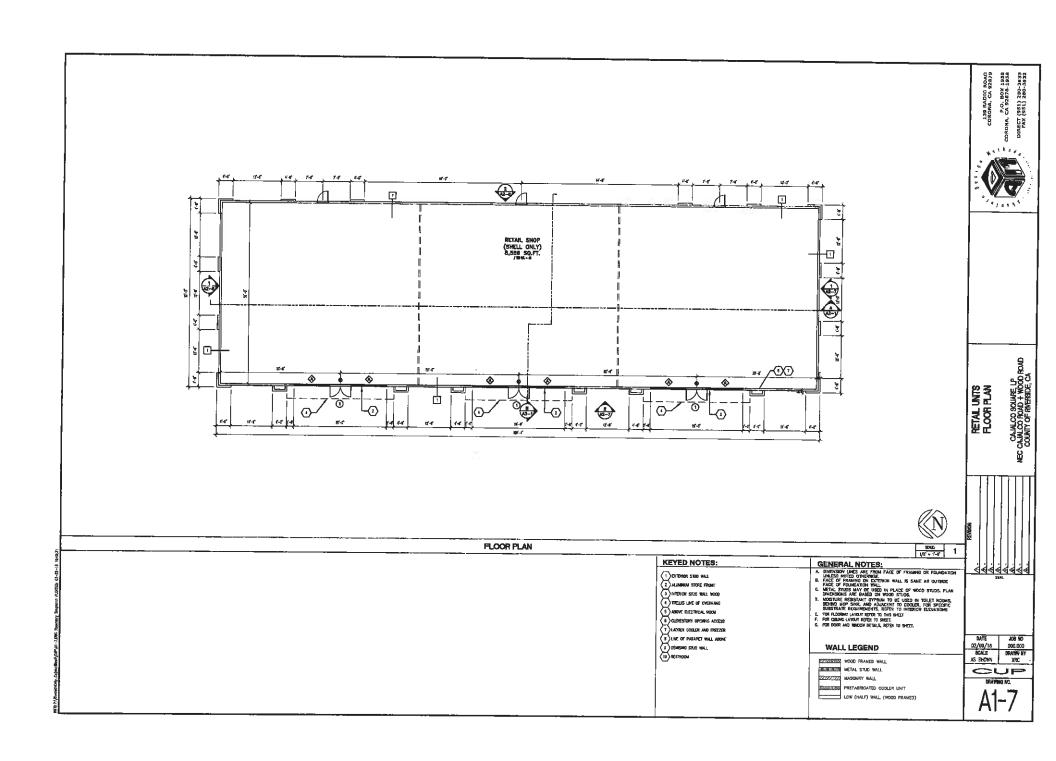
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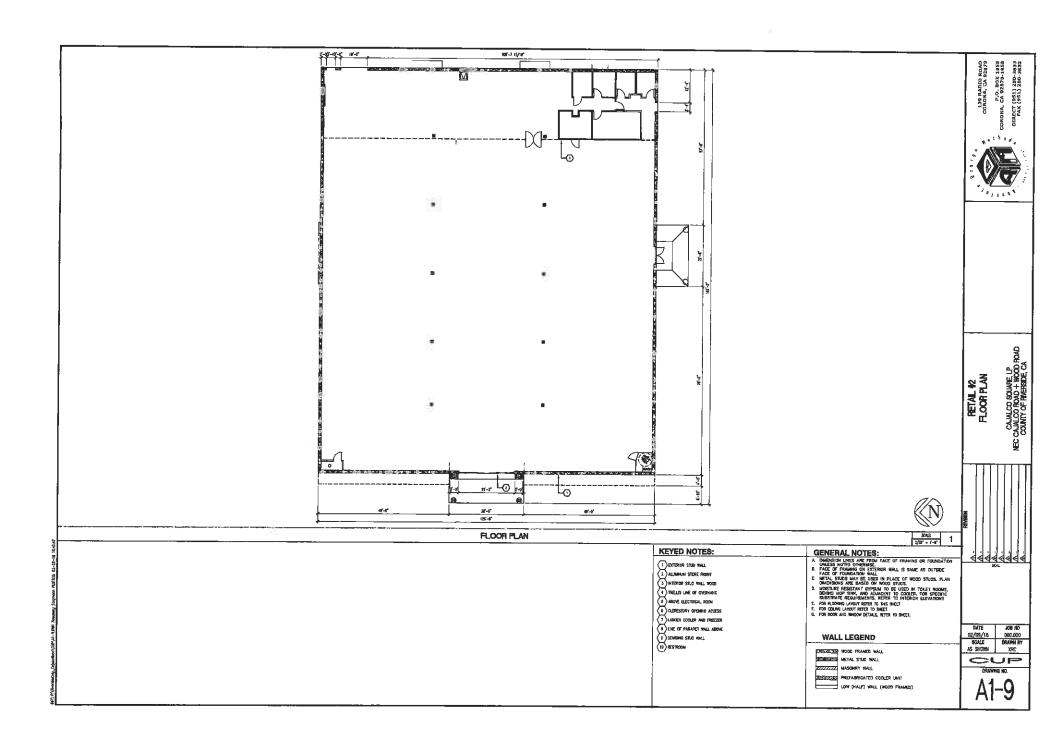


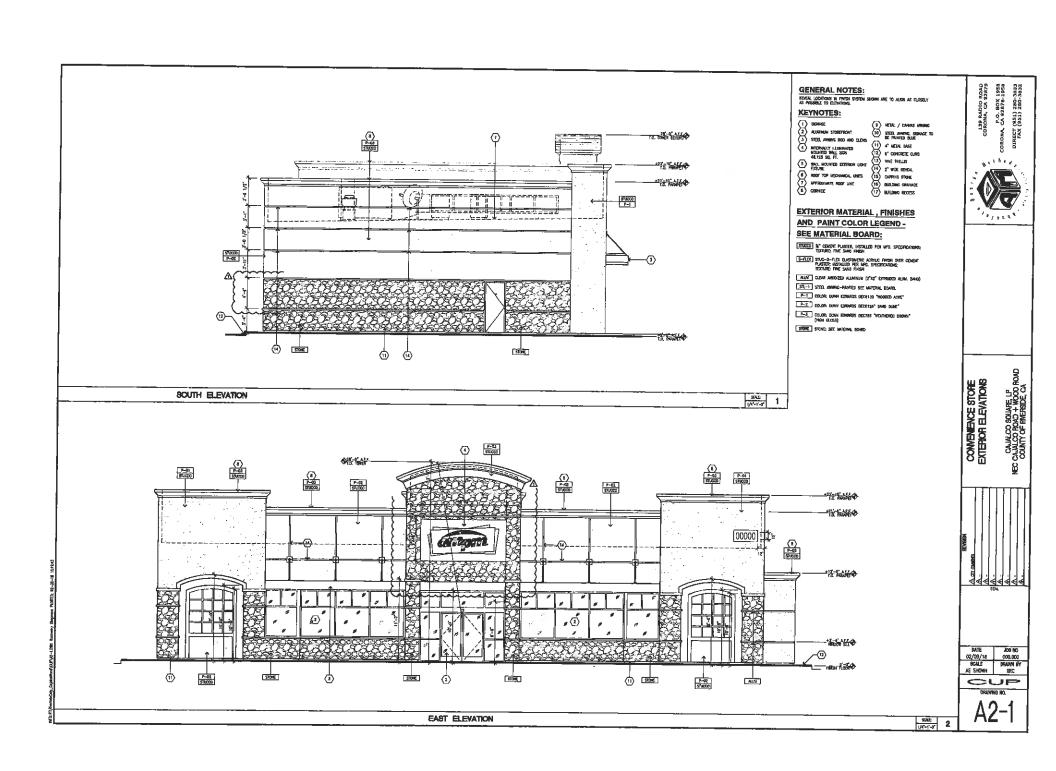


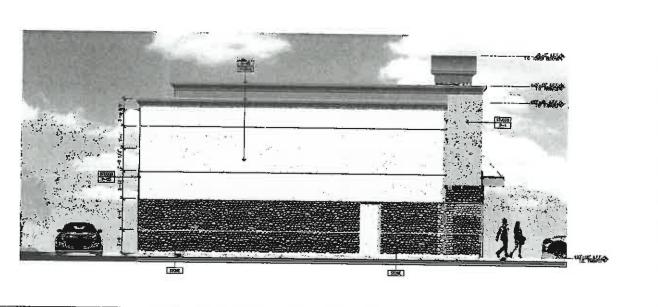












GENERAL NOTES:
ROSAL LOCATORIS IN PIMON DISTRIA SHOWN ARE TO AUGH AS CLOSELY AS POSSIBLE TO REMAINING.

KEYNOTES:

CORNEE METAL / CANNAS ASSANCE STEEL AWNING

4" METAL BASE 6' CONCRETE CURB

13 WHE TRELIS

14 2" MIDE REVENL

15 CAPPERS STONE

16 BUILDING DISHROA

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

STL-1 STEEL MINING-PAINTED SEE MATERIAL BOARD.

P-2 COLOR: DUAN EDWARDS DECRIZE" SAND DUNE" P-3 COLOR: DUNN EDWARDS DEC756 "MEATHERED BRE (MICH CLOSS)

STONE STONE: SEE MATERIAL BOARD

504E 1/4"-1"-0" 1

COMPAENCE STORE EXTERIOR ELEVATIONS

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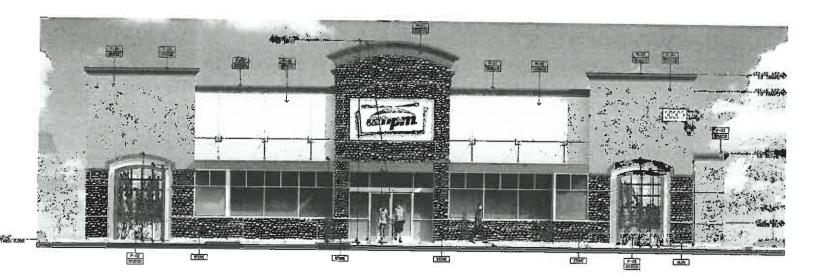
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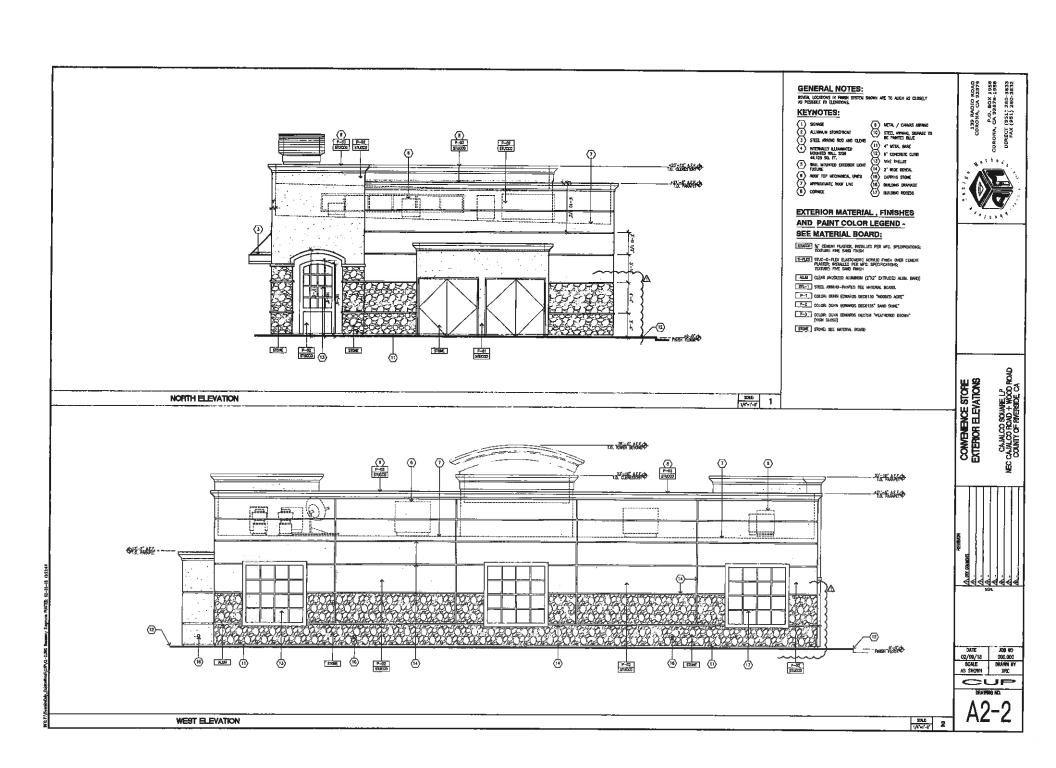
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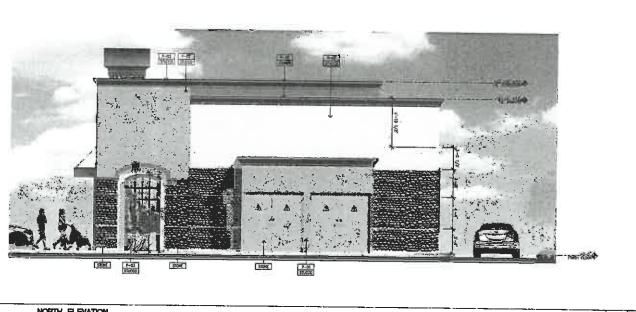
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SOUTH ELEVATION



EAST ELEVATION





GENERAL NOTES:

REVEN LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYNOTES:

1 SIGNAGE
2 ALUMANIA STOREFRONT
3 STEEL MANING ROD AND CL
4 INFORMALLY ILLIANAMISON
49.125 SO. FT. B CORNECE

B METAL / CANARS ARRING STEEL AMANG 4" WETAL BASE

8, CONCRETE GRAN 48,135 SD. FT.

3 SPLI MOMENTO EXTENSIVE LIGHT

6 ROOF TOP AECOMMECAL LINESS

7 APPROXIMATE ROOF LINE

(13) CAPPRO STONE

(15) CAPPRO STONE

(16) BUILDING DIMMAN

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

STUDGE & CEMENT PLASTER, INSTALLED PER MED. SPECIFICATIONS TEXTURE: FINE SAND RINGH

AUM CLEUR ANGORSED ALLIANKLIK (27/2" EXTRADED ALGIR, BAND) STL-1 STEEL ANNING-PARTED SEE MATERIAL BOWND.

P-1 COLOR: OLIMI EDWARDS DECRESO "MODDED ACRE"

P-2 COLOR: DURN EDWARDS DECRISE" SAND DURE"

STORE STORE SEE WHEREAL BOARD

CONVENIENCE STORE EXTERIOR ELEVATIONS

139 RADIO ROAD CORONA, CA 92879

P.O. BOX 1958 CORONA, CA 92876-1958 DIRECT (951) 280-3839 FAX (951) 280-3832

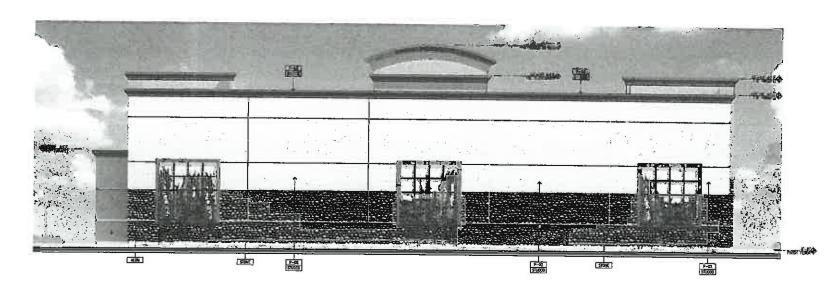


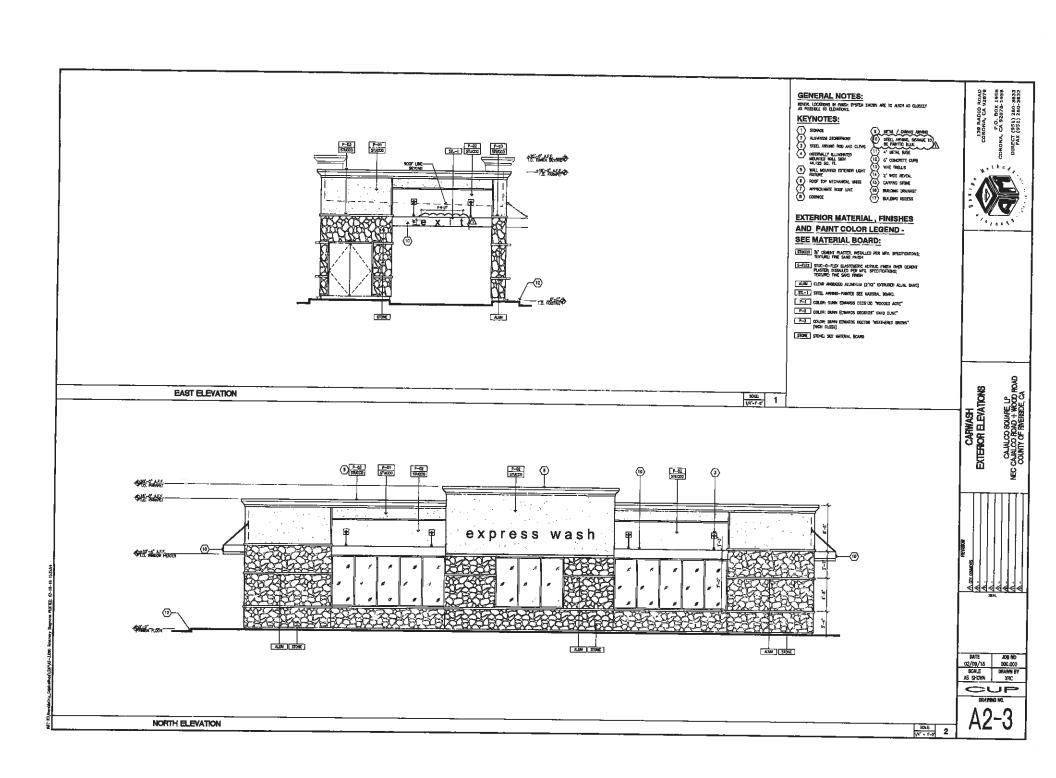
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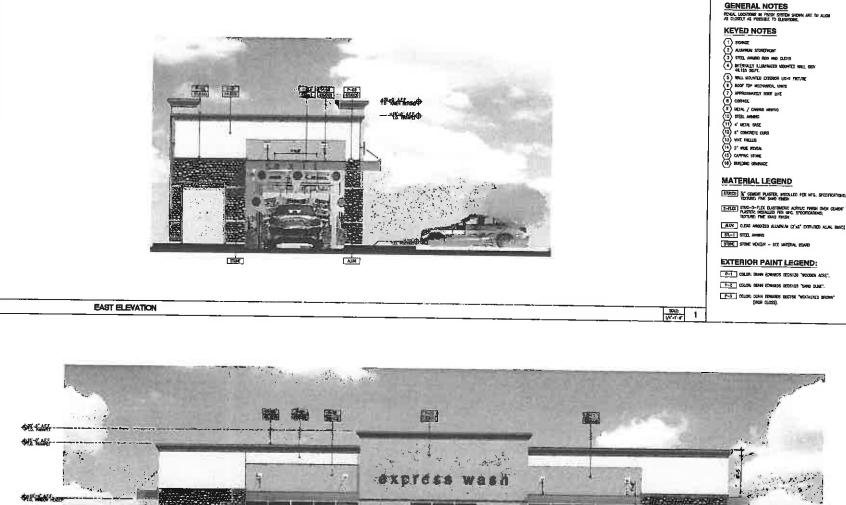
NORTH ELEVATION

WEST ELEVATION

500E 1







ALIA STONE

ALVA STONE

CARWASH EXTERIOR ELEVATIONS

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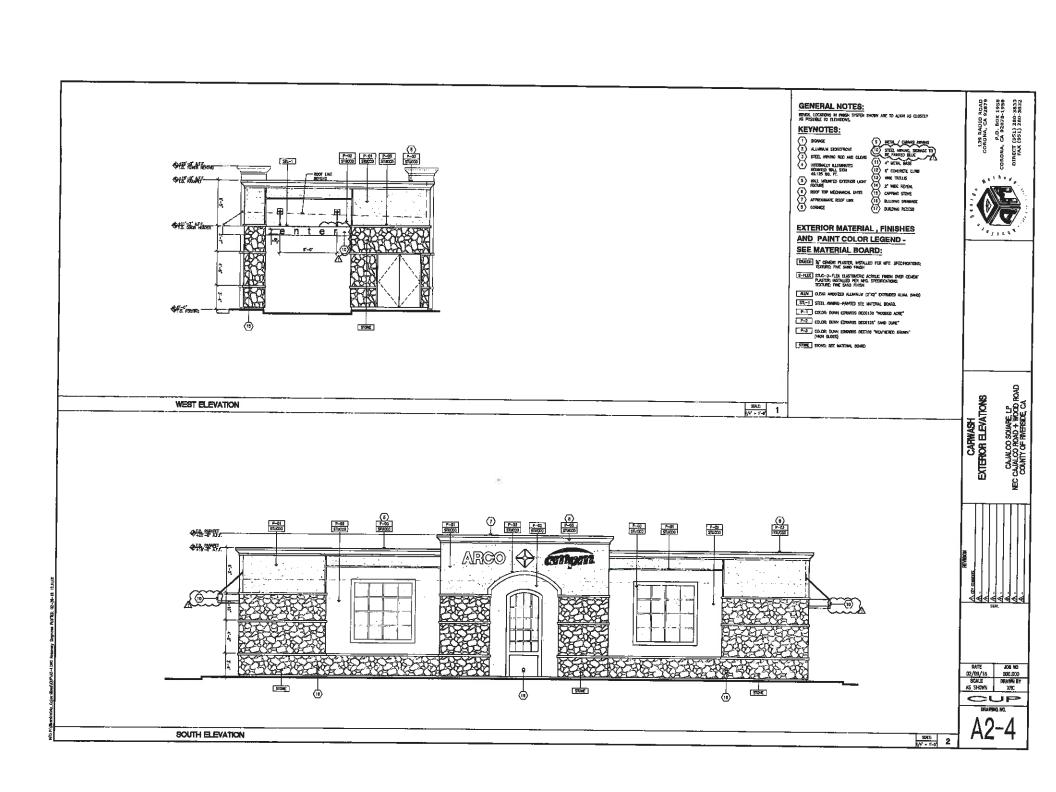
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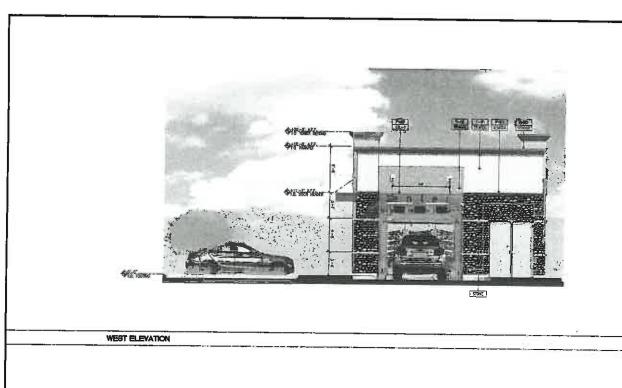
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CUP

NORTH ELEVATION

ALUM STONE





GENERAL NOTES

MEMBAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYED NOTES

3) STEEL AMMIND ROD AND CLEVIS
4) BYTERWALLY ILLIANDWITED MOUNTED WALL SIGN
48,125 SOLPT.

STEEL AMERICA

(10) STEEL AMERICA

(11) 4° METAL BASE

12) 6" CONCRETE CURB
13) VANE TRELES
14) 2" MIDE REVEAL
16) CAPPING STONE
16) BULDING DIRNINGE

MATERIAL LEGEND

STANCOD 36" CEMENT PLASTER, INSTALLED PER 18°G, SPECIFICAL TEXTURE: FINE \$4400 PRISH

5TL-1 STEEL AMERIC

STONE STONE VENEER - SEE WATERPUL BOARD

EXTERIOR PAINT LEGEND:

P-1 COUGH DUNN EDIDINGS DECRISO "MODGEN ACRE".

P-3 COLOR: DUMM EDWARDS DEC756 "MEATHERED BROWN (HIGH GLOSS).

418-7777 3000 STONE STUNE

SOUTH ELEVATION

904E 2

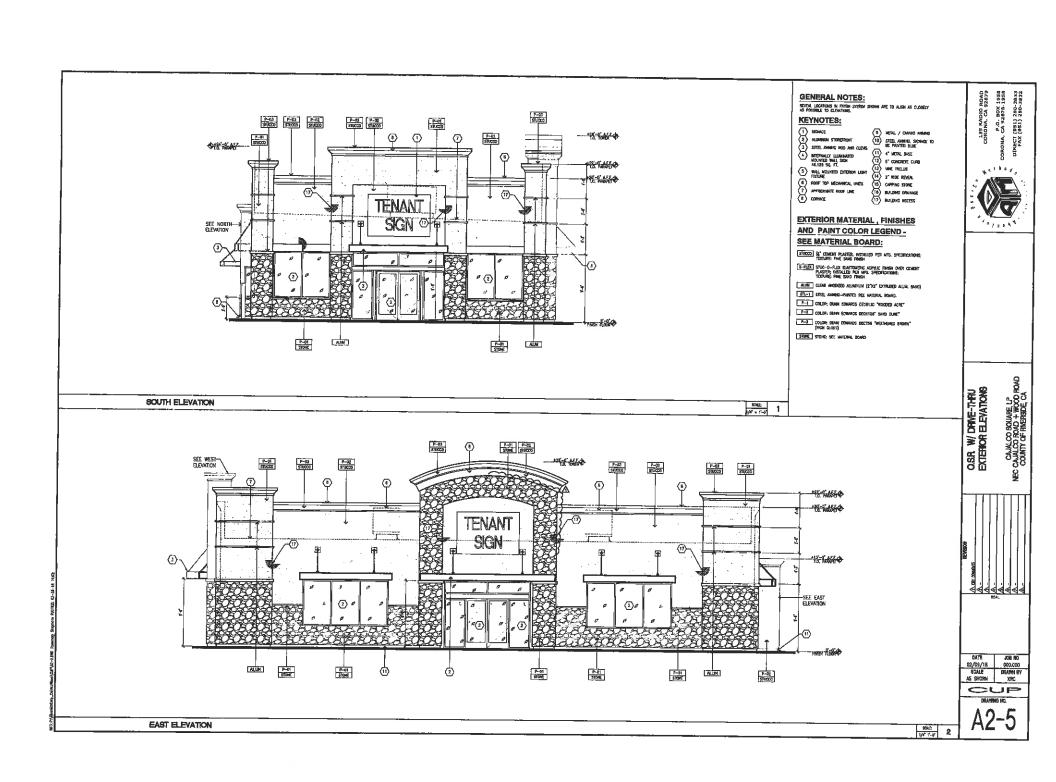
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CORONA, CA 92878-1958
DIRECT (951) 280-2823
FAX (951) 280-3832

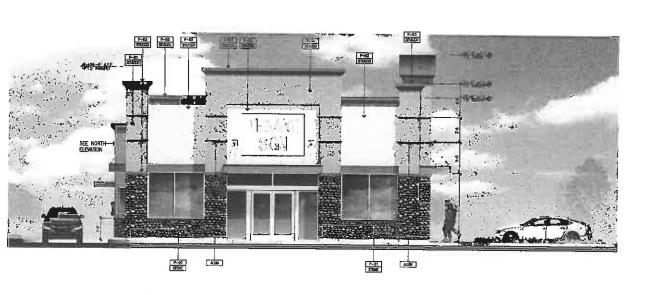


CARWASH EXTERIOR ELEVATIONS



DATE 02/09/18 9GALE AS SHOWN





MEYEAL LOCATIONS IN PHYSH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYNOTES:

48.125 SQ. FT,

TRATURE

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APPROXIMATE ROOF LINE

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THE STEEL MANNE

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THE STEEL S

THE STEELS

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

STL-1 STEEL AMANG-PAINTED SEE MATERIAL BOARD.

P-1 COLOR: GUNN EDWARDS DECRISO "WOODED ACRE"

P-2 COLOR: DUNK EXMANDS DEC8128" SAND DUNK!

P-3 COLOR: DUNK EDYENIOS DEC756 NEATHERED ENGINE (MGM GLOSS)

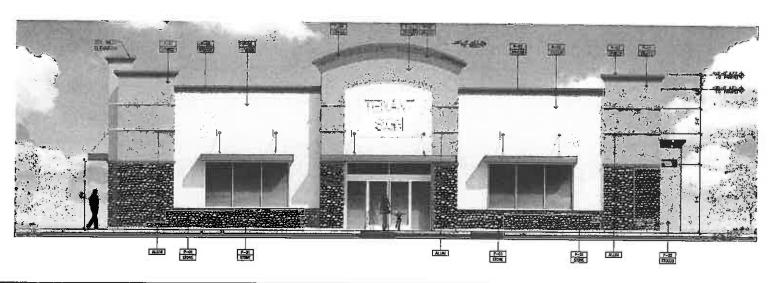
STONE STONE SEE MATERIAL BOARD

OSR. W/ DRIVE-THRU EXTERIOR ELEVATIONS

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P.O. BOX 1958 CORDNA, CA 92878-1958 DIRECT (951) 280-3833 FAX (951) 280-3832

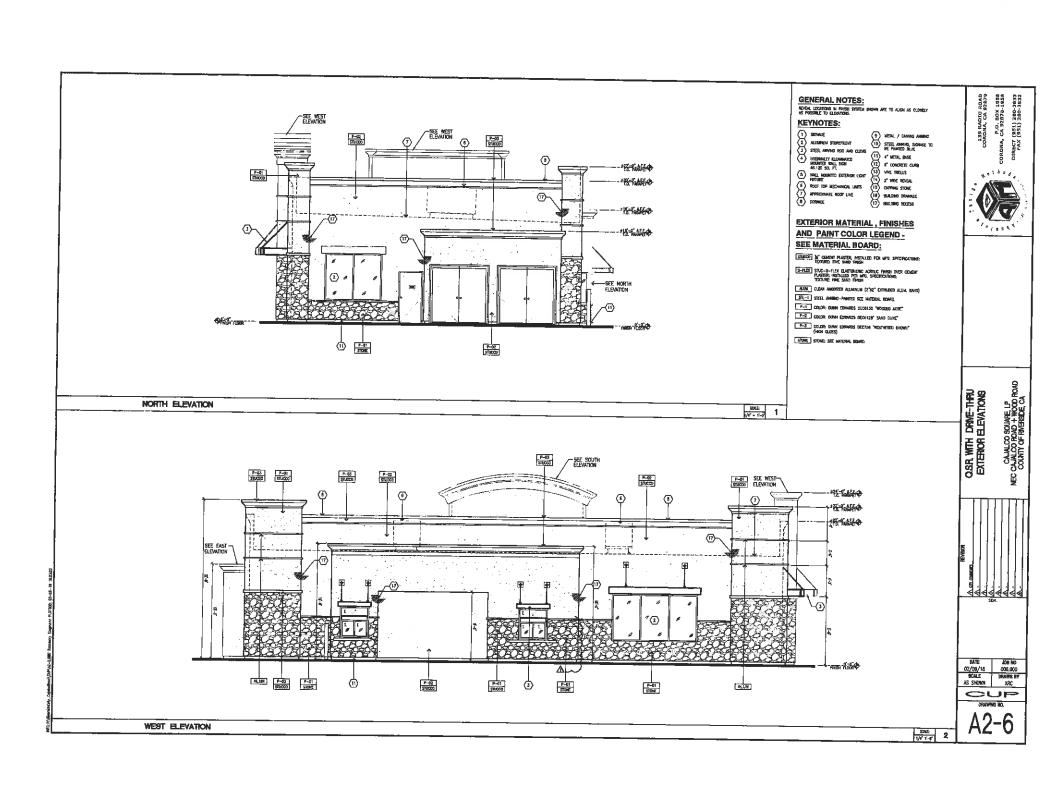
SOUTH ELEVATION

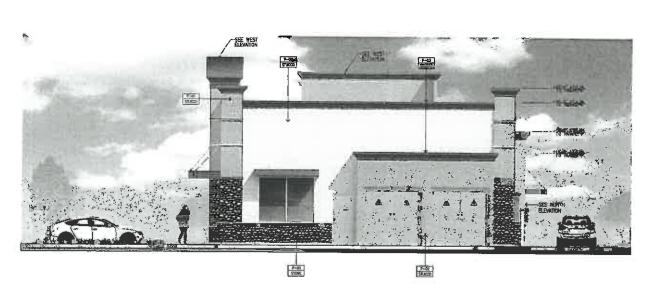


02/09/18 BGALE AS SHOWN CUP

50th 2

EAST ELEVATION





MEMORA LOCATIONS IN PARCH SYSTEM SHOWN ARE TO ALICH AS CLOSELY AS POSSIBLE TO ELEVATIONS.

KEYNOTES:

2 ALLIMANUM STOREPHONE 3 STEEL AWHING ROD AND C

MALL MOUNTED EXTENSE LIC FOOTURE,

5) WALL MOUNTED EXTERIOR LIGHT FOOTURE; 6) ROOF TOP MECHANICAL UNITS 7) APPROXIMATE ROOF LINE

B CORNICE
B NETAL / CANAGE ANNO

(11) A" WETAL BUSE (12) B" CONCRETE DURB (13) WHE TRELUS

14) 2" WIDE REVENU. 15) CAPPING STONE

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND SEE MATERIAL BOARD:

STREET W CEMENT PLASTER, INSTALLED PER MEC. SPECIFICATIONS

S-REX STUC-O-PLEX ELASTONERIO ACRILIC FINSH OVER COLUMN PLASTER, INSTILLED FOR NFC, SPECIFICATIONS; TEXTURE FINE SAID PARSH

STL-1 STEEL ARMING-PAINTED SEE MATERIAL BOARD.

P-1 COCON: DUNN EDWARDS DECRISO WOODED YOU

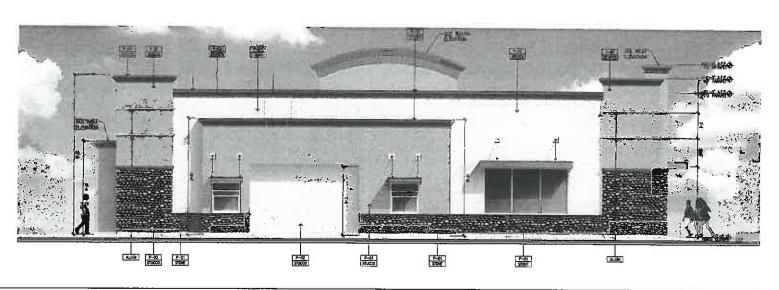
P-2 COLOR: DUNY EMBARDS DECRIZE" SAMD DUNE"

P-3 COLOR: DUNN EDWORDS DEC758 "WEATHERED BROWN"

STORE STONE: SEE MATERIAL BOARD

NORTH ELEVATION

904E 1



WEST ELEVATION

50th 2

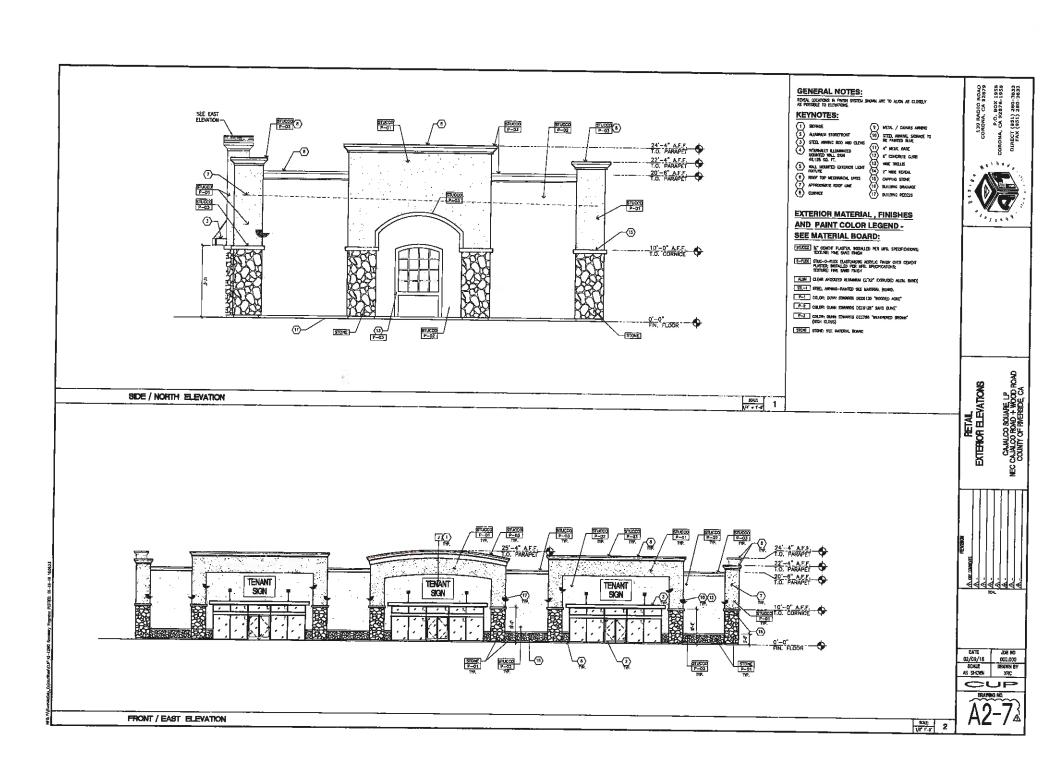
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CORCONA, CA 92879
P.O. BOX 1958
CORCONA, CA 92878-1958
DIRECT (951) 280-3833
PAX (951) 280-3833

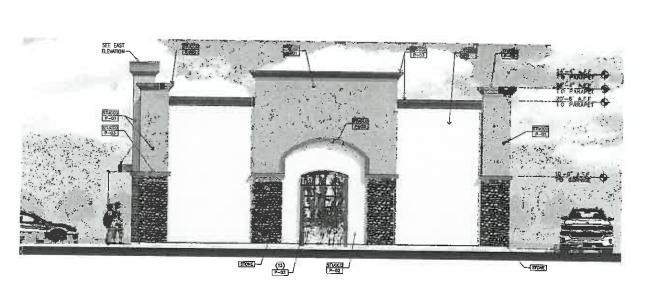


OSR WITH DRIVE-THRU EXTERIOR ELEVATIONS

DATE JOB NO 12/09/18 000,000 SGALE DRAWN BY S SHOWN XRC

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REVEAL LOCATIONS BY FRIEN SYSTEM SHOWN ARE TO AUGH AS CLOSELY AS POSSIBLE TO PLEMITIONS.

KEYNOTES:

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2 AUMINAM STOREFROM
3 STEEL AMERIC ROD MOD CLEMS
4 BEENMALY (LUMINATED MODIANE) WALL 2004
46.125 SQ. FT. OURNESS ANNUAL OUNTED

45.125 SQ, FT.

S WALL MOUNTED EXTENSION LIGHT FIXTURE.

6 ADDR TOP MECHANICAL UNITS.

7 APPROXIMETE, PROOF LINE:

(9) METUL / CHANGS ARM
(10) STEEL ARMING
(11) 4" METUL GASE
(12) 6" CONCRETE CURB
(13) WHE TRELES
(14) 2" WODE REVEN.
(15) CAPPING STONE
(16) BUILDING DROUMOR

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

STUCCO % COMENT PLASTER, INSTALLED FOR MED, SPECIFICATIONS TEXTURE FREE SAND PAISH

AUM CLEAR MODRED ALLMINUM (27x2" EXTRUDED ALIM, BM STL-1 STEEL AMERIC-PARKTED SEE MATERIAL BOARD.

P-1 COLOR: QUINN EDWARDS DEC6130 "MOODED ACRE"

P-2 COLOR: DUMM ETHANDS GEORGES SAND DUNC

P-3 COLOR: DUMN BOMOROS DEC758 "MEATHERED BROWN" (HIGH GLOSS)

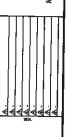
STONE STONE SEE WITERAL BOMED

SOUTH ELEVATION

50tc 1

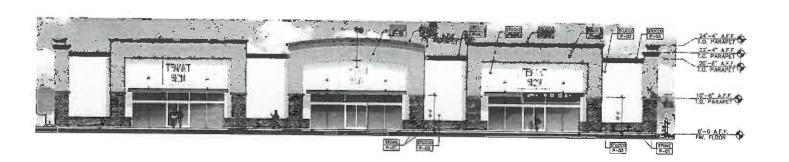
PETAL EXTERIOR ELEVATIONS

P.O. BOX 1958 CONOMA, CA 92878-1958 DIRECT (951) 280-3833 FAX (951) 280-3832 139 RADIO ROAD CORONA, CA 92879

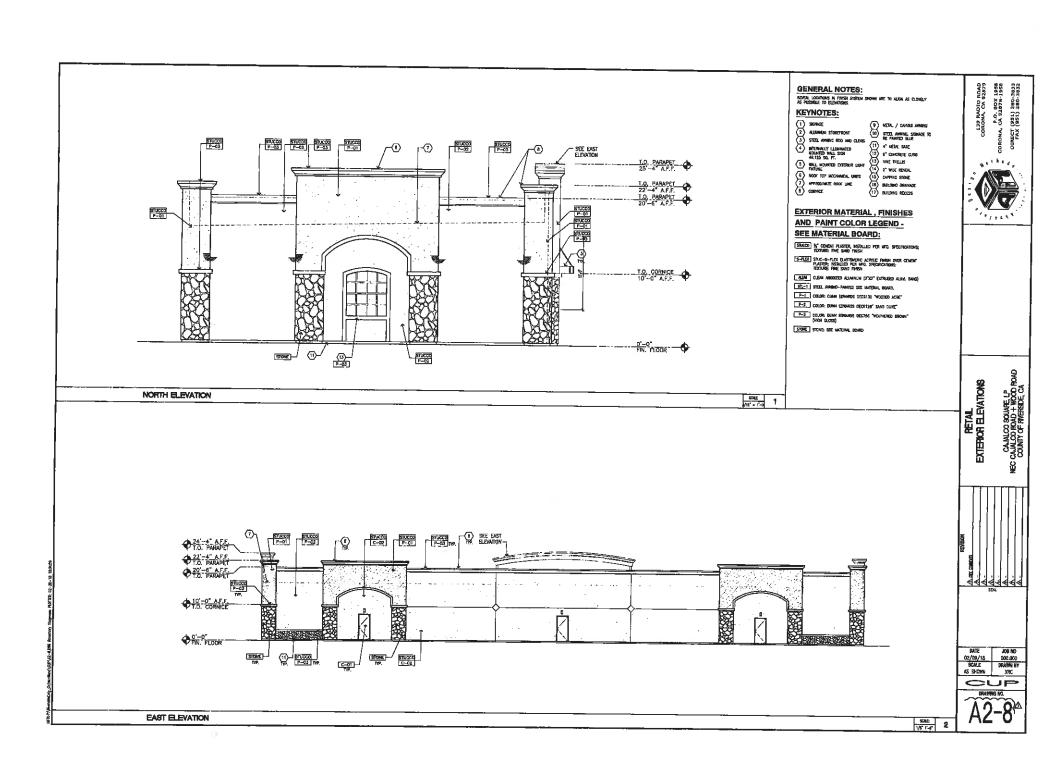


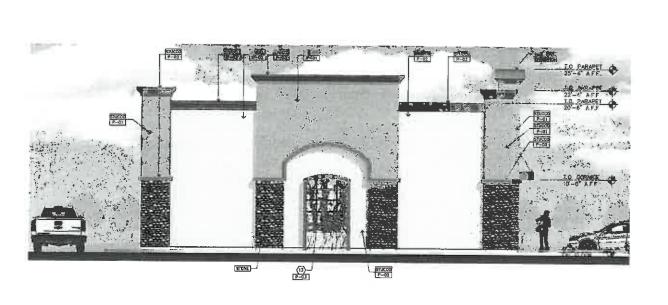
DATE 02/09/18 BGALE AS SHOWN JCB W0 000,000

50LE 2



WEST ELEVATION





REPORT LOCATIONS ON FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSERE TO ELEMENOUS.

KEYNOTES:

SIGNAGE

ALUMANUM STOREPRONT

STEEL AMARKS ROO AND CLEVS

HERNALLY ILLUMINATED MOUNTED WALL SON

6 ROOF TOP MECHANICAL UNITS
APPROXIMATE ROOF LINE

(9) SEEUL / COMANG
(10) STEEL AMAINE
(11) 4" METAL BASE
(12) 6" COMORREIC CLIS
(13) VANE TREALIS
(14) 2" WIDE REVEAL
(15) CAMPING STONE
(16) BUILDING ORNINACI

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

SEE MATERIAL BOARD:

STUCCO N° CEMENT PLASTER, INSTALLED PER INFO, SPECIFICATIONS; TEXTURE: FINE SAND PRISH

ALLIN CLEAN ANDERED ALIMINIM (2"X2" EXTRUCED ALIM, 6440)

STL-1 STEEL ANNING-PANTED STE NATERIAL BOARD.

P-1 COLOR: DUMN ETHNACS DECKTION "MODDED ACRE"

F-2 COLOR: DUMM EXMORES DEC6126" SAME DUME"

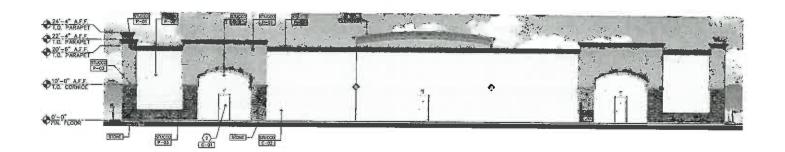
COLOR: DUNN EDMONOS DEC756 "WESTHERED BROWN"
(HIGH GLOSS)

STONE SEE MATERIAL BOARD

P.O. BOX 1958 CORDNA, CA 92878-1958 DIRECT (951) 260-3833 FAX (951) 280-3832 139 RADIO ROAD CORONA, CA 92879

NORTH ELEVATION

SCAE 1

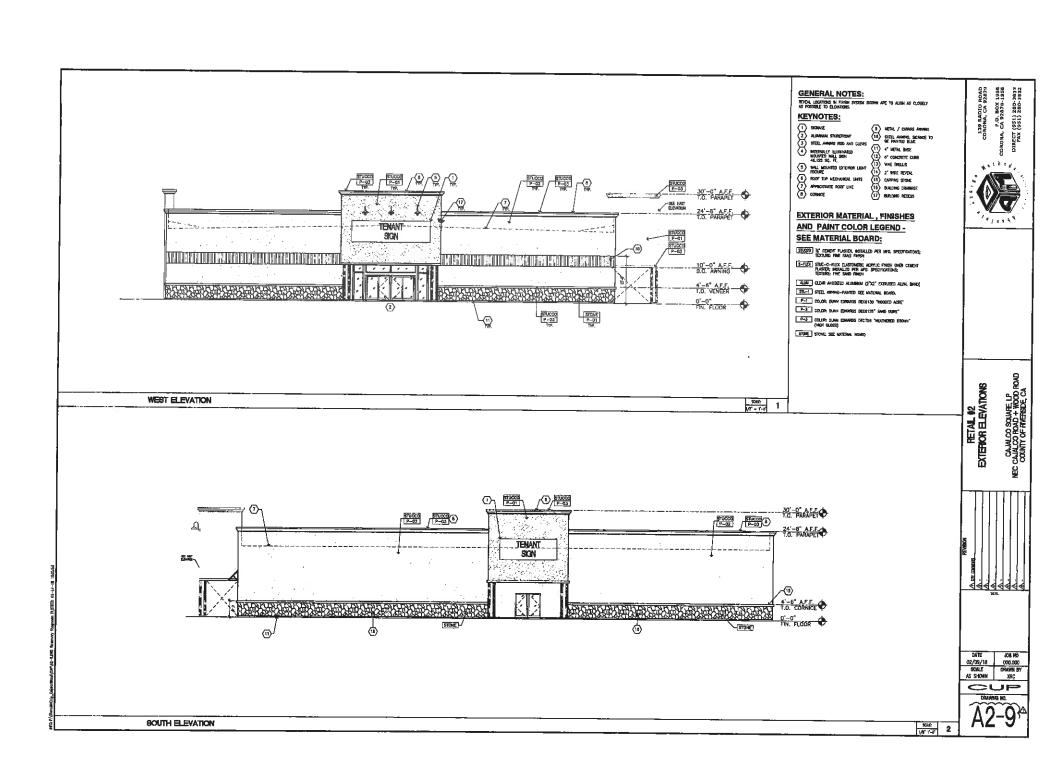


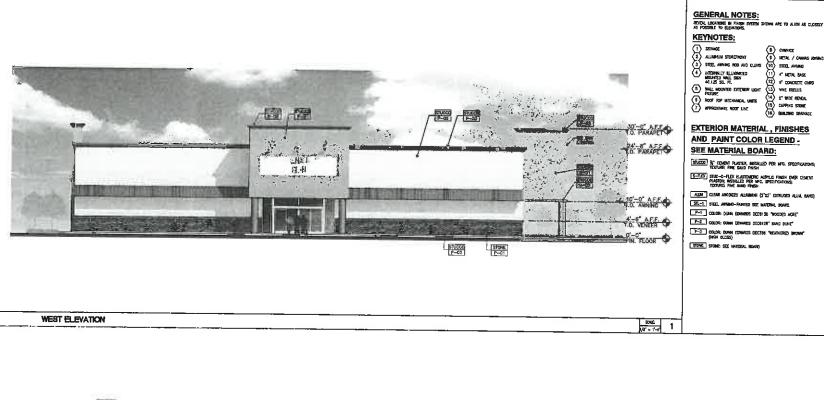
DAYE D2/09/18 OCALE AS SHOWN

RETAIL EXTERIOR ELEVATIONS

EAST ELEVATION

934E: 2





5" CONCRETE CLIRS

EXTERIOR MATERIAL, FINISHES AND PAINT COLOR LEGEND -

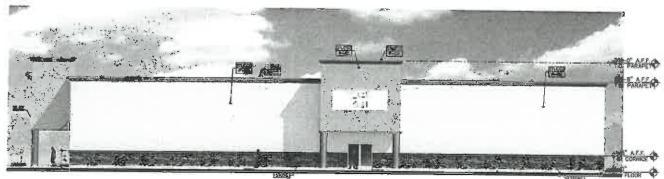
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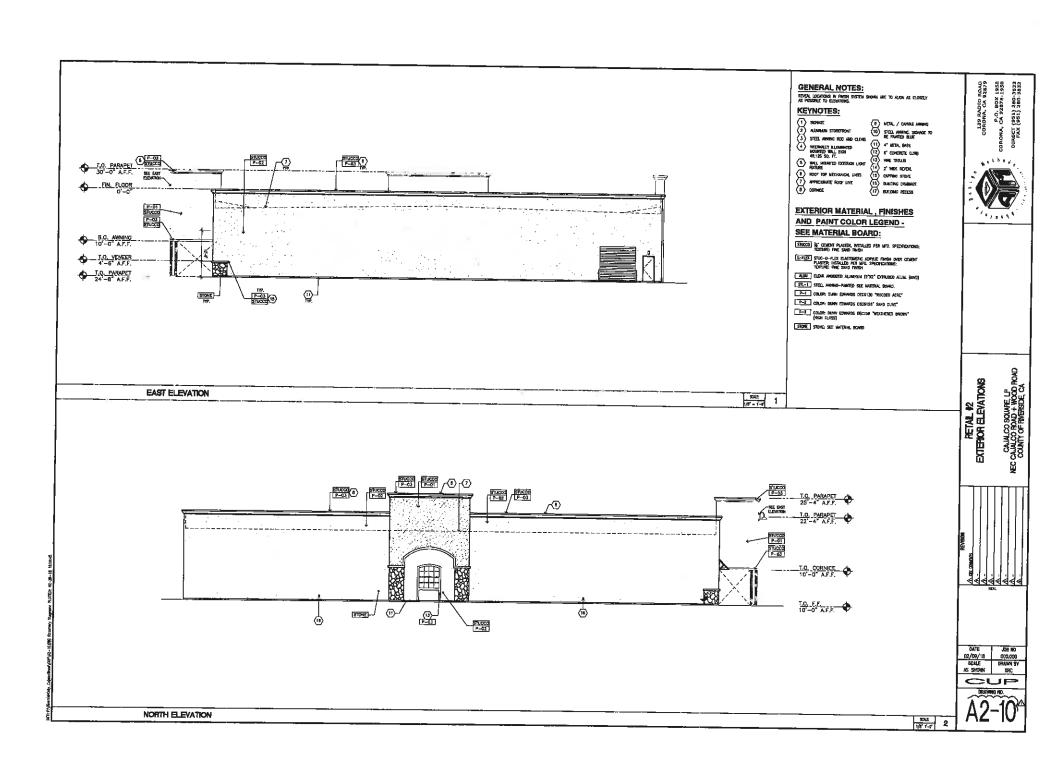
RETALL #2 EXTERIOR ELEVATIONS

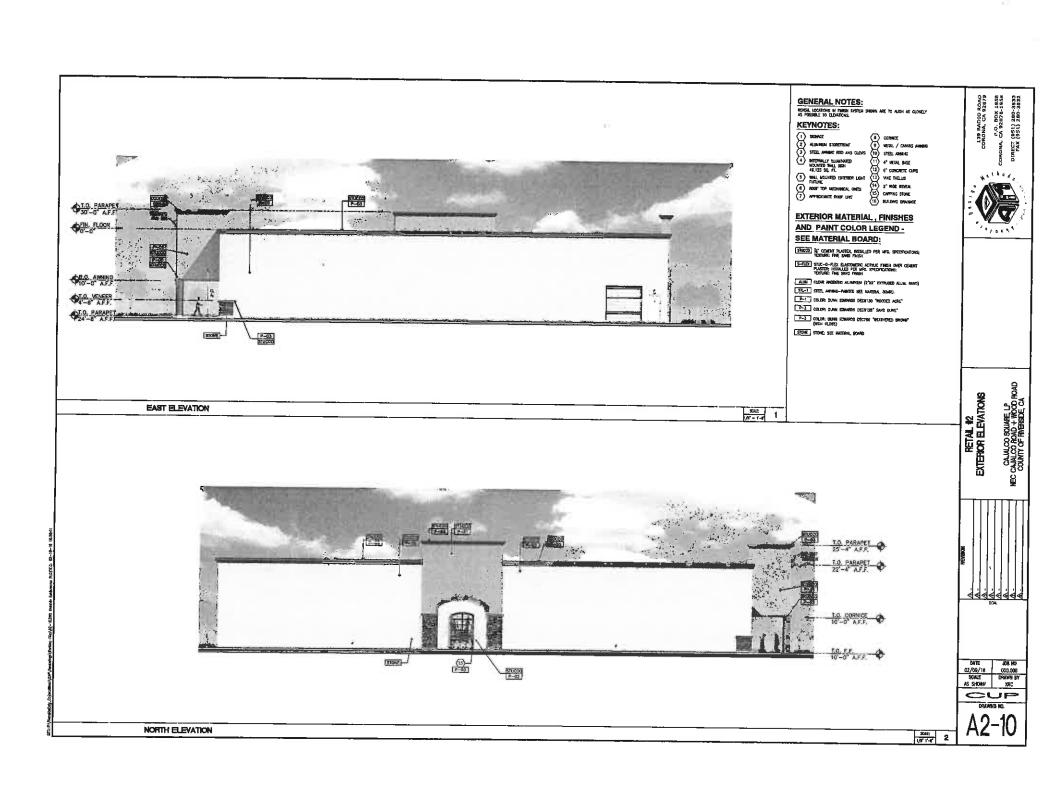
P.O. BOX 1958 CORONA, CA 92878-1958 DIRECT (951) 280-3833 FAX (951) 280-3832

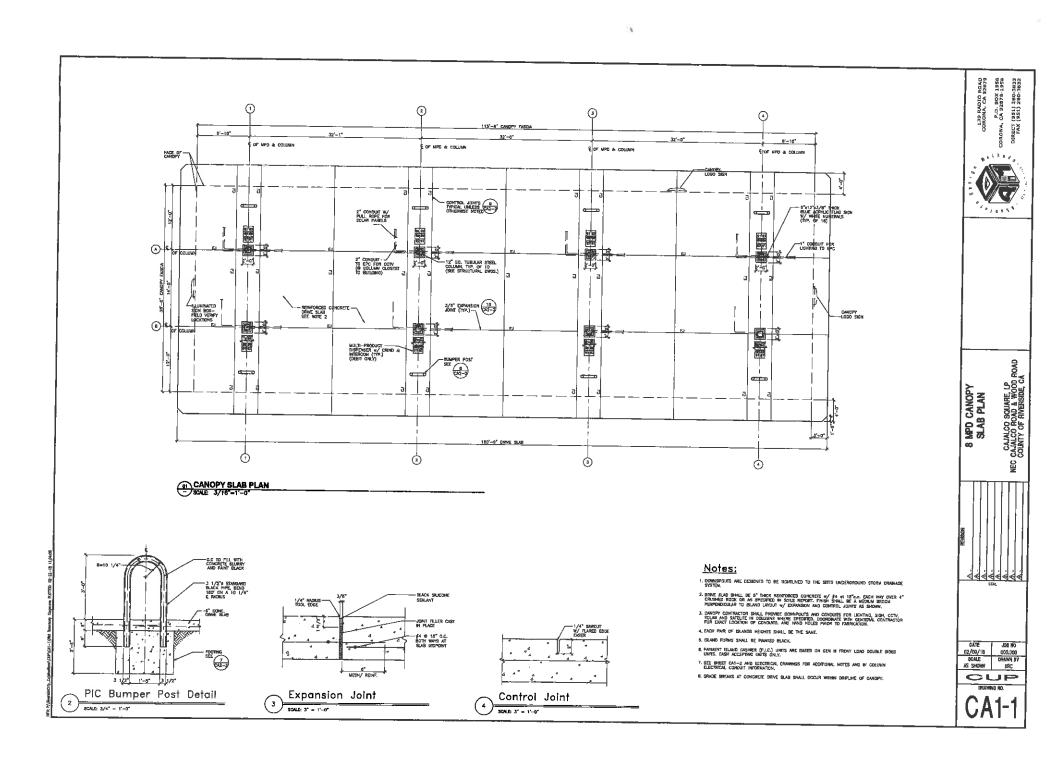
139 RADIO ROAD CORONA, CA 92879

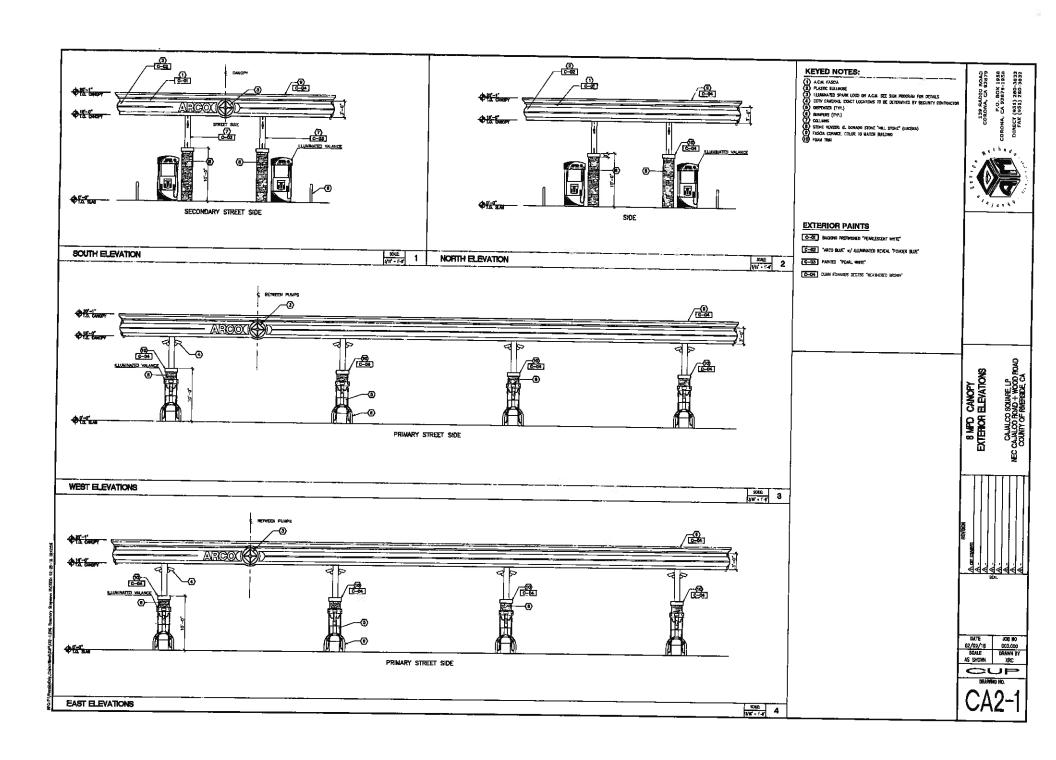
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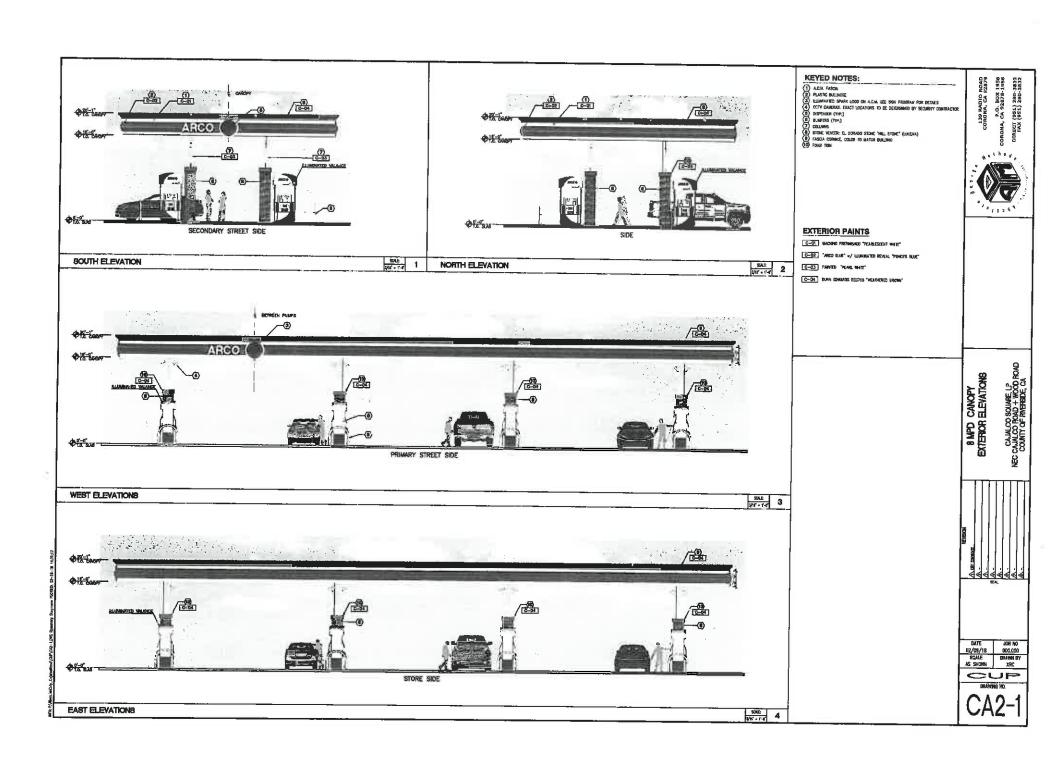


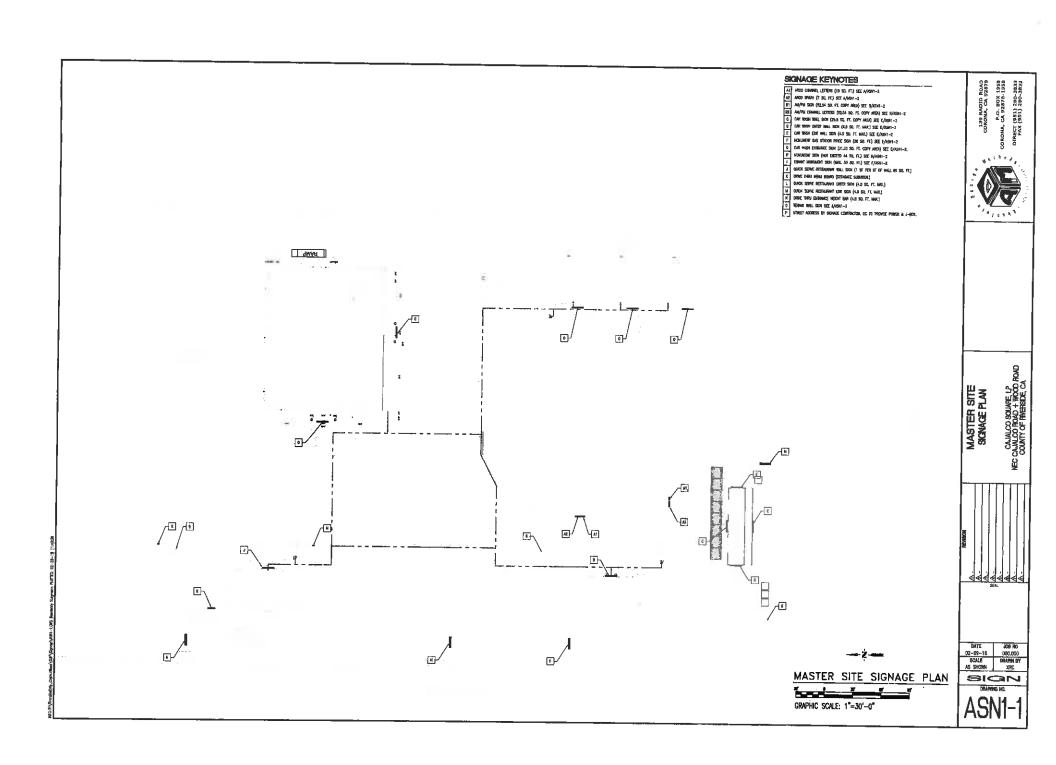


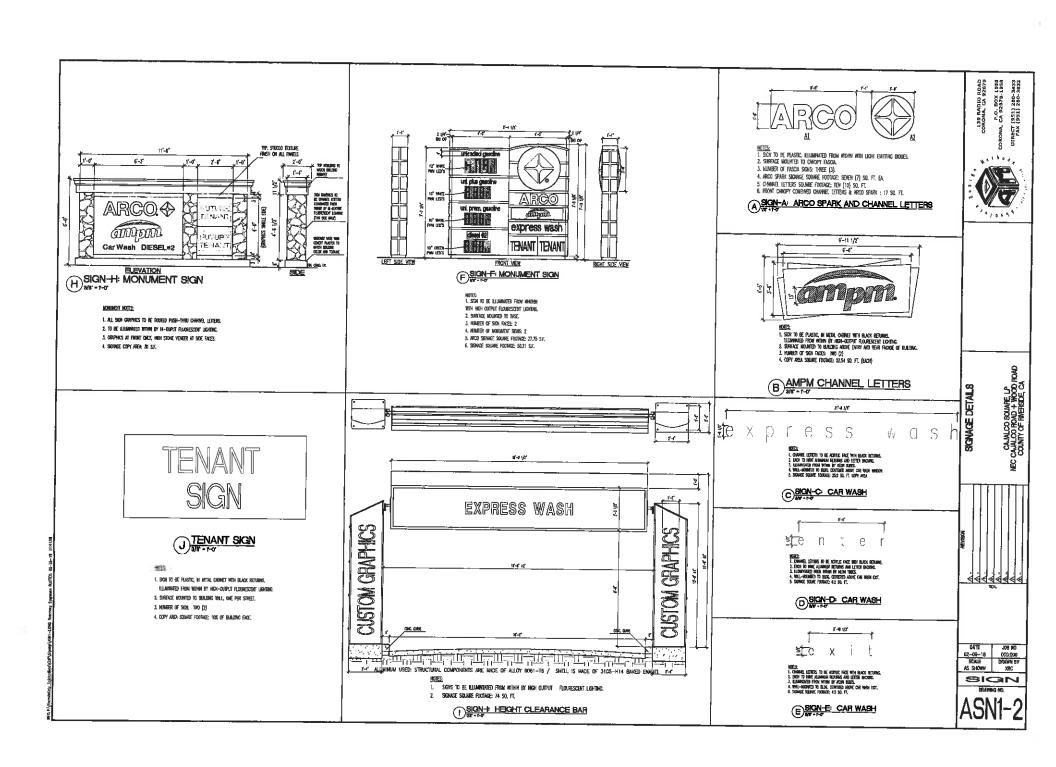


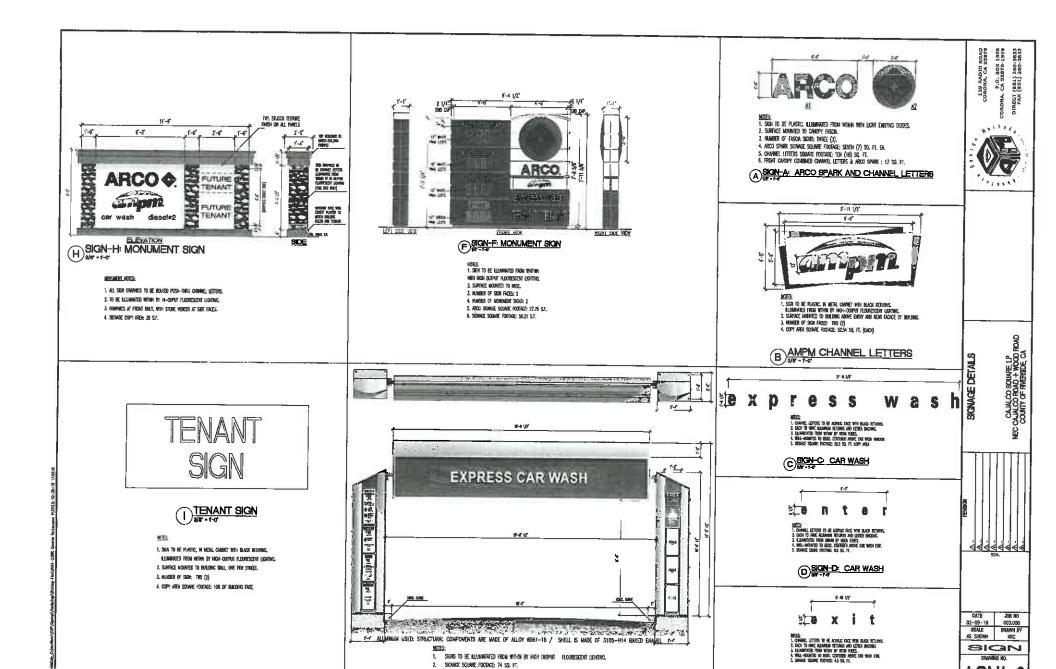






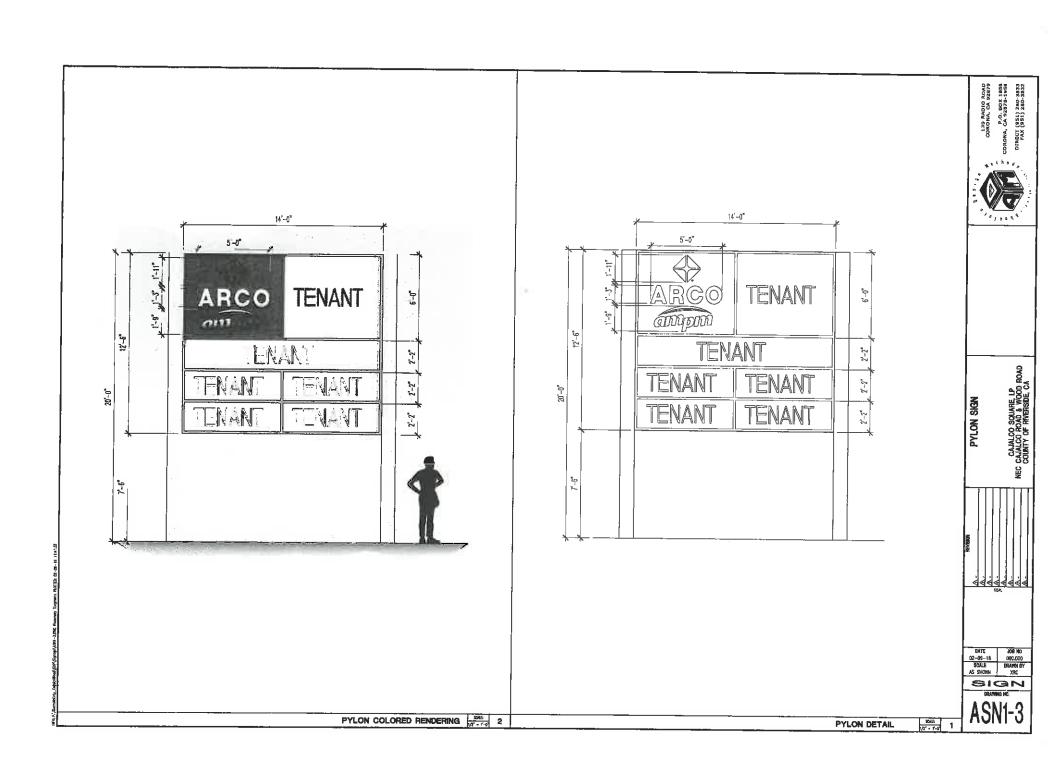






H SIGN-H: HEIGHT CLEARANCE BAR

E SIGN-E: CAR WASH



PAGE BREAK





AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

May 15, 2018

CHAIR Steve Manos Lake Elsinore

Mr. Rob Gonzalez, Assistant Planner City of Jurupa Valley Planning Department 8930 Limonite Avenue Jurupa Valley CA 92509

VICE CHAIR vacant

COMMISSIONERS

AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW -RE: **DIRECTOR'S DETERMINATION**

Arthur Butler Riverside

File No.:

Related File No.:

ZAP1093RI18

John Lyon Riverside

MA17275 [SDP17128] (Site Development Plan)

APN:

163-400-018

Russell Betts Desert Hot Springs

> Steven Stewart Palm Springs

Richard Stewart

Dear Mr. Gonzalez:

Moreno Valley

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC's general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Jurupa Valley Case No. MA17275 [SDP17128] (Site Development Plan), a proposal to construct a new 12,250 square foot office building on a 23.8-acre site located at 6580 General Road (easterly of Clay Street). There is already a 94,106 square foot building on the site, in use as a steel distribution facility and service center.

STAFF

Director Simon A. Housman

> John Guerin Paul Ruli Barbara Santos

County Administrative Center 4080 Lemon St., 14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

The site is located within Airport Compatibility Zone D of the 2005 Riverside Municipal Airport Compatibility Plan. Compatibility Zone D restricts nonresidential intensity to 100 people per average acre and 300 people per single acre. Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the proposed 12,250 square foot office building was evaluated on the basis of 1 person per 200 square feet of office floor area, which would accommodate an occupancy of 61 people. The existing adjacent 94,106 square foot manufacturing/warehouse building was conservatively evaluated on the basis of 1 person per 200 square feet of manufacturing area for the entire building, which accommodates an occupancy of 471 people. This would result in a total occupancy of 532 people for the entire site, with an average intensity of 22 people per acre, and a single acre intensity of 218 people, both of which are consistent with Compatibility Zone D intensity criteria.

The project site is approximately 5,752 feet from the northerly terminus of Runway 16-34. The elevation of the runway at its northerly terminus is 771.8 feet above mean sea level (AMSL). At the distance cited above, structures with a top point elevation exceeding 829.3 feet AMSL would require notification to the Federal Aviation Administration Obstruction Evaluation Services (FAA OES). The site has a finish floor elevation of 769.5 feet AMSL, and a proposed building height of approximately 25 feet, for a top point elevation of 794.5 feet AMSL. Therefore, review of buildings by the FAA OES was not required.

AIRPORT LAND USE COMMISSION

Compatibility Zone D requires that 10% of area within new major projects (10 acres or larger) be set aside as open area that could potentially serve as emergency landing areas. Based on the size of the property, the landowner is required to identify a minimum of 2.38 acres of open area consistent with ALUC open area criteria. The applicant has submitted Exhibit A0.01 delineating 2.5 acres of open area, largely located around the proposed building and parking lot. At least 2.38 acres of this area shall remain as perpetual open area meeting the ALUC open area requirement of 300 feet by 75 feet minimum shape and prohibiting obstructions greater than 4 feet in height that are at least 4 inches in diameter.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, provided that the City of Jurupa Valley applies the following recommended conditions:

CONDITIONS:

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses are prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the building(s) and structures on-site, and shall be recorded as a deed notice.
- 4. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls.

AIRPORT LAND USE COMMISSION

Vegetation in and around such detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

- 5. The maximum height of the proposed structure to top point shall not exceed 60 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 829 feet above mean sea level.
- 6. At least 2.38 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length), as depicted on Exhibit A0.01, a copy of which is attached, shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY/AIRPORT LAND USE COMMISSION

Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Crest Steel Corporation, Kris Farris (applicant)

Forge Craft Architecture & Design (architect)

Crest Steel Corp., c/o Reliance Steel and Aluminum (listed owner per tax roll)

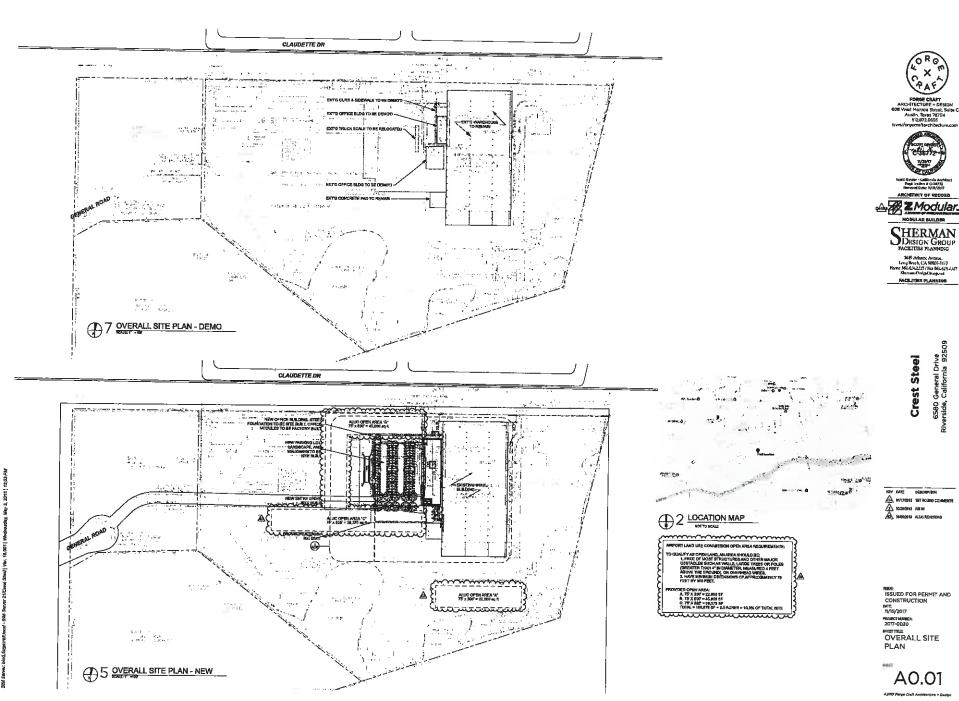
Kim Ellis, Airport Manager, Riverside Municipal Airport

ALUC Case File

Y:\AIRPORT CASE FILES\Riverside\ZAP1093RI18\ZAP1093RI18.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)



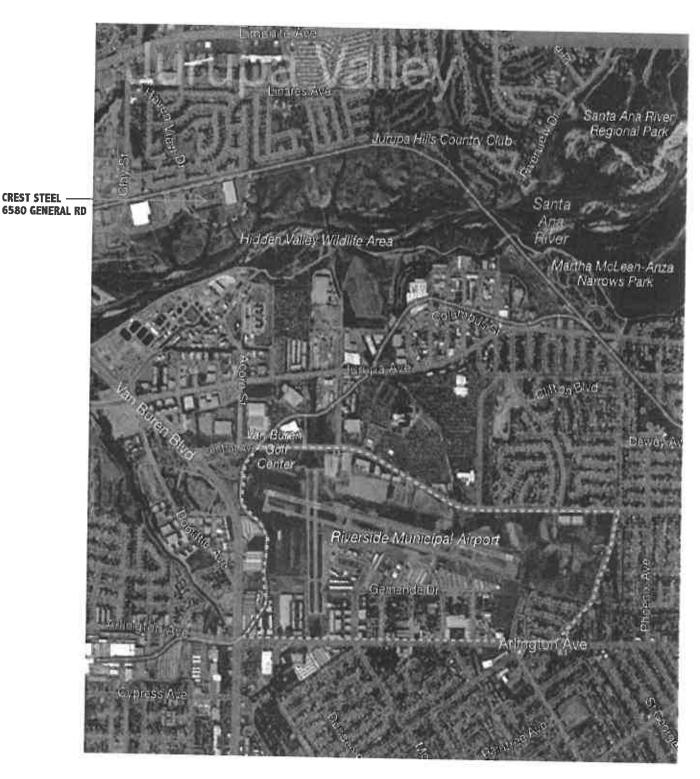


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Му Мар Legend Airports AIA Airport Compatibility OTHER ZONE A-EXC1 B1 B1-APZ I B1-APZ I-EXC1 81-APZ II B1-APZ II-EXC1 B1-EXC1 B2-EXC1 C1 C1-EXC1 C1-EXC3 C1-EXC4 C1-HIGHT C2 C2-EXC1 C2-EXC2 C2-EXC3 C2-EXC5 C2-EXC6 C2-HIGHT *IMPORTANT* Maps and data are to be used for reference purposes only. Map features are approximate, and are not Notes necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user. 5,458 10,916 Feet REPORT PRINTED ON... 3/29/2018 1:32:58 PM © Riverside County RCIT GIS

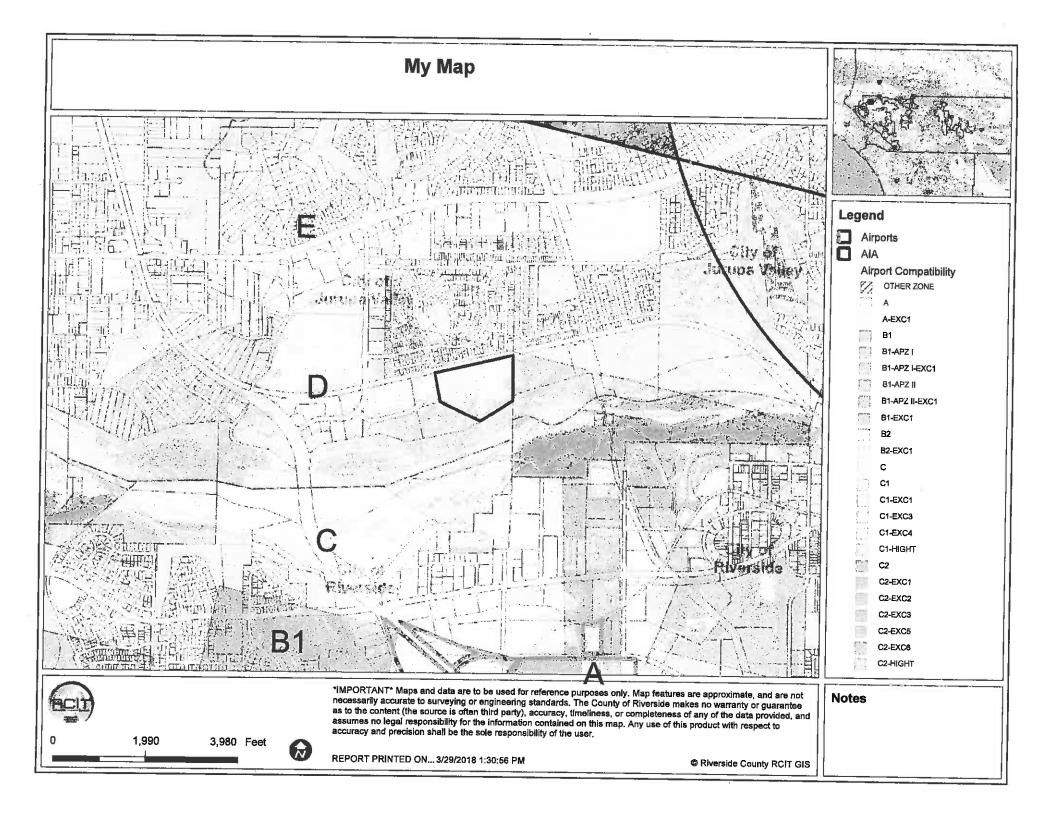
AIRPORT LAND USE COMMISSION - EXHIBIT - VICINITY MAP

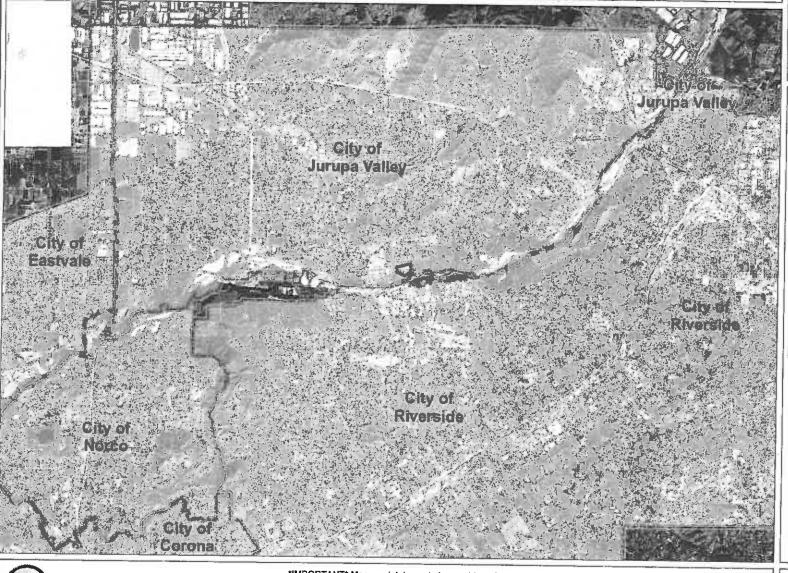


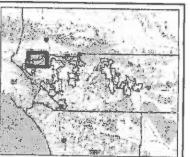


FORGE CRAFT ARCHITECTURE + DESIGN

606 West Nibriroe, Suite C Austin, Texas 78704 912.872.6655 Www.forgeoreftarchitecture.com







Legend

- City Boundaries Cities adjacent_highways
 - Interstate
 - Interstate 3
 - State Highways; 60
 - State Highways 3
 - US HWY
 - OUT

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- HWY
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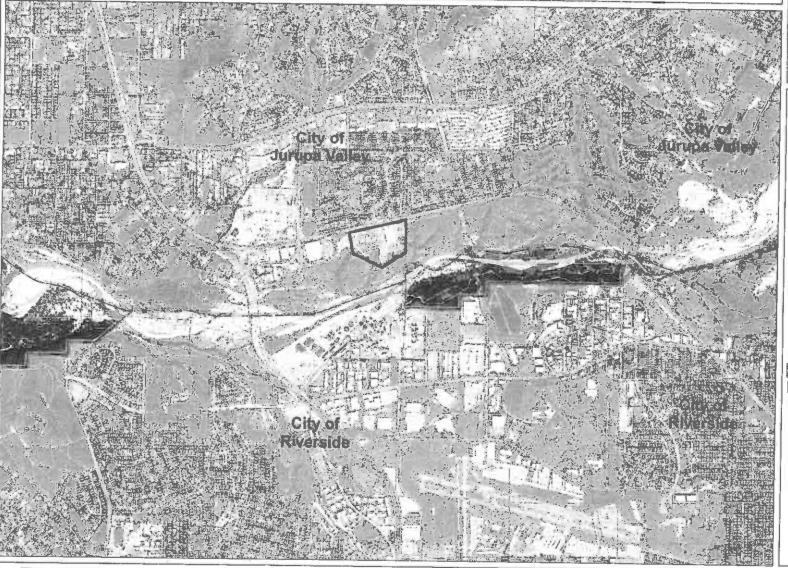


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C Riverside County RCIT GIS

Notes





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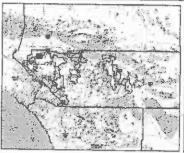
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Riverside County RCIT GIS





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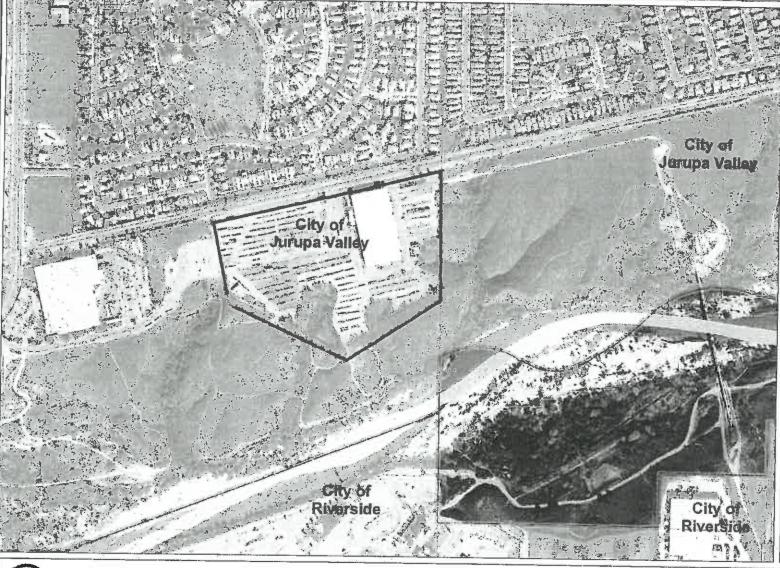
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Notes

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IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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KMA CONSULTING



Electrical Engineers, Inc.

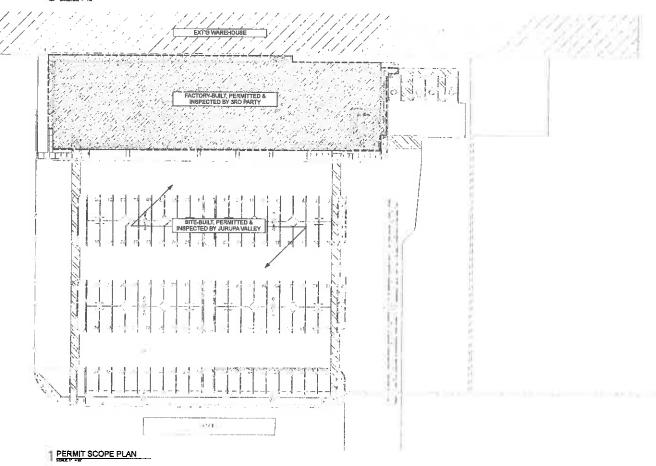




Crest Steel

6580 General Drive | Riverside, California 92509

ERF ISSUED FOR PERMIT AND CONSTRUCTION DIFE 11/15/2017 PROJECT MARIET 2017-0020 8 PERMITTING DIAGRAM





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ARCHITECTURE + DESIGN
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SHERMAN DESIGN GROUP FACULTIES PLANKING

Crest Steel

REV DATE DESCRIPTION

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ALL PROPOSALS SHALL TAKE INTO CONSIDERATION ALL SITE & CONSTRUCTION CONDITIONS AFFECTING WORK UNDER THIS CONTRACT,

COORDINATE STRUCTURAL, MECHANICAL, PLUMBING, FIRE SPRENDLERS AND ELECTRICAL DIVISIONS WITH OTHER TRADES APPECTING OR AFFECTED BY SAME.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITHALL PROVISIONS OF APPLICABLE CODER AND ORDINANCES. WORKSIANSHIP AND MATERIALS TO BE OF THE HIGHEST INDUSTRY STANDARD.

THE PLANS AND SPECIFICATIONS HAVE BUSIN DEVELOPED WITH THE INTENT OF MEETING OR EXCELEDING THE MINIMUM REQUIRED STANDARDS, SHOULD THE PLANS AND SPECIFICATIONS DISAGREE WITH THEMSELVER, THE GREATER QUALITY BE PERFORMED OR PAYMBRIDE.

IL GC MUST VERIFY ALL EXISTING CONDITIONS AND ITEMS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

8. OC SHALL REPLACE AND/OR RESTORE ALL MATERIALS STORED OR INSTALLED ON THE SITE LEFT SUBJECT TO DAMAGE OR THEFT.

10. PROVIDE AND PMY FOR ALL COST FOR TEMPORARY MACLITIES AND SERVICES RECURRED FOR THE PROPER AND EMPEZITIOUS EXECUTION OF THE CONTRICAT WORK, MANGEAL TEMPORARY CONFECTIONS TO BESTERO UTILITIES IN LOCATIONS ACCEPTIBLE TO LICOAL AUTHORITIES HAVING JARRISCHOIGH TREECO, BRYALL COSTS FOR TEMPORARY BELFORDE, POWER, WHERE, AND HERMING.

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15. PROVIDE ARCHITECT WITH SHOP DRUGNINGS OF ALL MILLWORK, STRUCTURAL STEEL AND ENGINEERED COMPONENTS.

DC SHALL PROVIDE APPROPRIATE VARITIEN DOCUMENTS THAT REPLECT ANY CHARGES TO ORIGINAL DRAWINGS, FIRSH AND MATERIAL SPECIFICATIONS OF LAYOUT.

17. ALL WATER PROOFING, ROOFING, FLASHING AND SCUPPERS YO BE CONSTRUCTED ACCORDING TO INDUSTRY STUNDARDS.

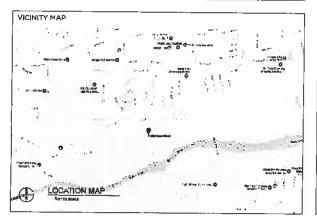
18. ALL WINDOWS AND GLASS DUCKS TO COMPLY WITH LS.C AND APPLICABLE CODES.

18. NOTICE TO MUNICONTRACTORS: IT IS YOUR RESPONSELLIY'TO REV YOUR SCORE OF WORK LISTS IT THE COMPLETE SET OF PLANS AND SPECIFICATIONS. THE FACT THAT AN TIME OUT A COMP OF PROTECTION BY THE SECOND PORTION OF THE CREATERS WILL, NOT SECOND ACCESSFULL AN ARMADIN FOR ALL STATE ACCESSFULL AS IN PROTECTION OF THE CREATERS WILL, NOT SECOND ACCESSFULL AND ARMADINE FOR A STATE ACCESSFULL AS IN THE SECOND OF STATE ACCESSFULLY THE ARMADINE FOR A STATE ACCESSFULLY SHALL BE SEN.

29. PROVIDE BLOCKING IN WALLS AS REQUIRED FOR RESTROOM ACCESSIONES, WALL CHELVES, MAND SINKS, ETC. COORDINATE WITH ADA AND KITCHEN BOUTPHENT HEIGHTS AND DIMENSIONAL

21. GC TO COORDINATE EQUIPMENT AND/OR PURINTURE INVIDALATION WITH CONSTRUCTION SEQUENCING AND ACCESS, INFORMITTAL CONSTRUCTION SCHEDULE OR MEETING OF ANY MILESTONE DATES OR ORTICAL POINTS.

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TYPE 8-8 ENTIRE BUILDING
PLILLY SPRINGLERED: HAPA 13 THROUGH ALLOWING BARBAPER FLOOR BY DESIGN 12,924 SF CONDITIONED SPACE ALLOWABLE STORIES ARV GRACE PLANE 4 STORIES ONE STORY ALLOWABLE HEIGHT ABY GRADE PLANE PRE-RESINTANCE RATING FOR SUILDING ELEMENTS (TABLE 681) PRIMARY STRUCTURE SEE TABLE 502 - BELOW OCCUPANT LOAD / EXITS
SEE UPE SAFETY PLANS SPECIAL FEATURES / FINE RATINGS CLINESTORIES COURTYARD PATERIOR RATING / OPENINGS FOR TABLE 402 REFER TO FEE RATING PLANS

ZONING INFORMATION

PARKING PROVIDED

BLDG HEIGHT = / < 40 FEET AT SETBACK BLDG HEIGHT = / < 20 FEET UNLESS 75 FT HEIGHT APPROVED PER SECTION 15.40 OF CRIDINANCE 340 STRUCTURE HEIGHT = / < 50 FEET VARLESS 105 FT HEIGHT APPROVED FOR SECTION 12.40 OF ORDINANCE 345 1145" + CLERESTORY < 6 FT IN HEIGHT

182400018 N-SC MANUFACTURING-SETVICE COMMERCIAL 2J.83 ACREB HI HEAVY INDUSTRIAL MISSION DE ANZA

CONTACTS OWNER. Creat Steni 6580 General Road Ravelde, CA 92508 Kris Farria 851.727.2890 ARCHITECT OF RECOP Fergs Craft Architecture 908 W Monros, Suite C Aures, TX 78704 Scott Ginder AIA 512,872,8885 PACILITIES PLANNING Sheman Dissign Group SHIR Allands Avenus Long Busich, CA 86857-417 Rayno Sheman, PIDA, CID, CSI Andres N, Thompston, CID SGL454, 225 Clivit, ENGINEER
Adams Shoebr Chill Engineer
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GMB Electrical Engineers, Inc.
4825 Research Dr
India, CA 92618
Victor Breams,
948,763,1863

2010ctor 538 Keele St. Unit 406 Tenenic, ON MEN 308, Ganada Kelth Wilderith 205,644,1648

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508 West Monroe Street Suite C
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SHERMAN DESIGN GROUP FACILITIES PLANNING

6580 General Drive verside, California 92509

Crest Steel

DESCRIPTION

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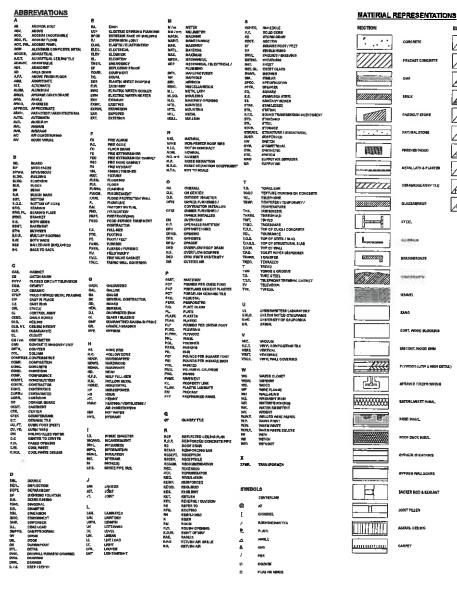
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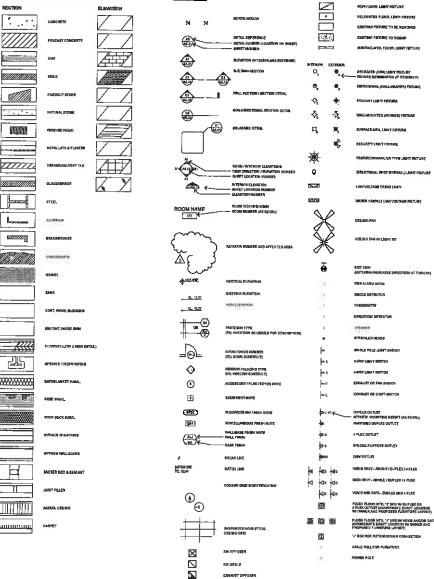
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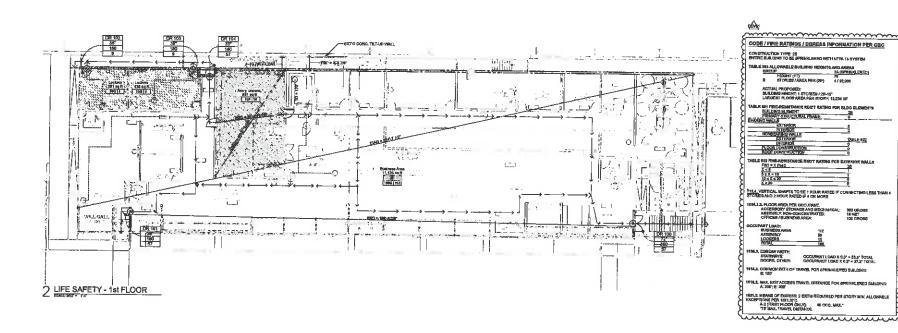
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6580 General Drive Riverside, California 92509 **Crest Steel**

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ISSUED FOR PERMIT AND CONSTRUCTION CATE 11/15/2017 PROJECT NUMBER 2017-0020 ARCHITECTURAL NOTES

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Riverside, California 92509

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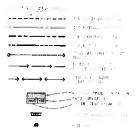
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ARCHITECTURAL SITE

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1 SITE PLAN



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EXTERIOR WALL ASSEMBLIES

2 3 areacco on metal framming 08 24 25 Cament Shaker (SE-1) 09 22 16 Helell Shud Framma Air Spuce 07 21 12 Bouel Insulation 08 22 16 Helell Shud Framma + East Insulation 08 29 00 Opposes Board

X1 : Malai panel on melai framing

77-43 13 Medicity High Panel - Zinco (MP-1)
09 23 19 Medicity High Panel - Zinco (MP-1)
09 23 19 Medicity High Panel - Zinco (MP-1)
Medicity Framing
47-31 13 Operation Panel - Zinco (MP-1)
09 23 10 Operation Panel - Zinco (MP-1)
Medicity Framing + Bulk Invoket
09 23 00 Opprove South

X3 : Niebil panel fitsichs 07 42 13 Metal Walf Parel - Zinc (MP-I) 09 22 14 Metal Fluring 09 22 60 Oyporen Band

GENERAL PLAN NOTES:

CONTRACTOR AND SUB-CONTRACTOR SHALL FIELD VERIFY ALL DUSTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE YORK HAS COMMITMENT

- DO NOT BOALF DRAMAGE

- WALL DIMENSIONS ARE NOTED FROM MINISH SUSHFACES, U.O.N.

ALL NEW WALL CONSTRUCTION TO BE BUILT FROM FLOOR TO DECK, UON, - ALL GNB SURFACES SHALL BE FINISHED TO A LEVEL 4 FINISH LICH.

- USE 54° CEMENT SCARD IN LIEU OF GWG BEHIND ALL WALL TILE,

-ALL APPLIANCES ARE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR DIMENSIONS BEFORE PROCEEDING WITH MILLHOUR GENETRUCTION.

- PRICAIDE ALL NECESSARY BLOCKING AT ALL HISWINGLINGRK TIEMS SHOWN ON THE DRAVANICS, MHETHER IN THIS CONTRACT OR NOT, THIS INCLLINES, BUT IS NOT LIMITED TO, PLASTIC LAMINATE SHEWARD, CARRIETS, AND

- ALL GWR DUTRIDE CORNERS AND EDGES SHALL RECEIVE METAL CORNERSEAD OR EDGE - TYPICAL" MEANS TYPICAL FOR ALL SINILAR CONDITIONS UON.

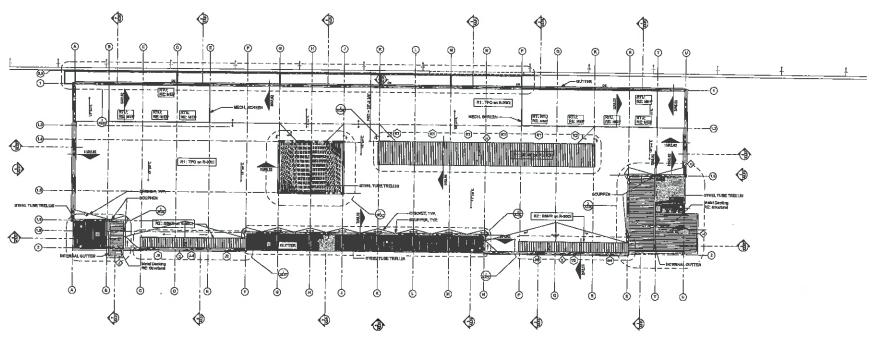
- INTERIOR OMERSIONS, PARTITION AND DOOR TAGS, AND OTHER INFORMATION RELEASE TO INTERIOR CONSTRUCTION IS DESCRIBED ON ENLANGED FLOOR PLANE. SEE A4 SERGES,

- ALL INTERIOR PARTITIONS TO BE TYPE AT LICH, SEE PARTITION SCHEDULE FOR ADDITIONAL INFORMA-

ISSUED FOR PERMIT AND CONSTRUCTION 11/15/2017 PROJECT NAMES: 2017-0020

1st FLOOR PLAN

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14 ROOF DRAINAGE AT REAR WALKWAY

2 : SSMR o	n 17-30Cl
07 61 13	Standing Stem Metal Roof (SSM)
09 29 00	Gypnum Board
07 21 13	Board Insulation
65 3d pg	Matel Cardina

М	: TPO on	Raid
	07 50 00	Монтакии Ясобиц
	06 18 26	Underlayment
	07 21 13	Goard Insulation
	DS 30 00	

EXTERIOR WALL ASSEMBLIES

X2	: 8	tue	000 a	n metal framing
	08	24	23	CANWAS STUDEO (ST-1)
	63	22	79	Matel Stud Freinker
				Air Spmon
	07	21	13	Board Invalidan
	05	22	16	Metal Stud Framing + Butt (resu
	8	28	Œ	Gynesies Bound

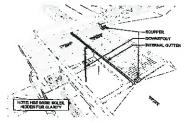
neij on Instal framin Heini Wall Fung) - 2 Heini Funing Heini Sud Framing Air Space Board Installion Heini Charl Praning Oysum Board

X3 : Matel panel flex(g

10 ROOF DRAINAGE AT WILL CALL

- A SAGE LAYER OF 4 PICHES RIGID FOLLYSCOMMURATE SHALL BE APPLIED CHER SHTIPE GUSTACE OF ACTIVITY A BRISBARIA PRZ. IECO 2012 AND ABHRAVE DI 1 (2019) GOTTI RECURSE RIGI CO DA AGGISCARIE RIGINAL BRIGHANDI AND AGGISCARIE RIGINAL BRIGHANDI AND AGGISCARIE RIGINAL BRIGHANDI AND AGGISCARIE RIGINAL BRIGHANDI AND AGGISCARIE RIGINAL CANTON AGGISCARIE RIGINAL CANTON AGGISCARIE AND AGGISCARIE
- POLYISO RIGID INSULATION SHALL SE INSTALLED IN LAYERS NOT EXCEE BASE LAYER SHALL BE MECHANICALLY PASTEINED TO ROOF DECK IN MANUFACTURER, SUBBIQUENT LAYERS SHALL BE PULLY ADHERED.

- 5. ALL ROOF EQUIPMENT SHALL BE SUPPORTED ON CURBS AND/OR ISOLATORS A



6 ROOF DRAINAGE AT ENTRY

- -CONTRACTOR AND SUB-CONTRACTOR SHALL FIELD VERBY ALL EQUITIES CONCITIONS AND DIMENSIONS BEFORE STARTING WORK, NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE WORK HAS COMMENCED.

- ALL NEW WALL CONSTRUCTION TO BE BUILT FROM FLOOR TO DECK, DON,

2 ROOF DRAINAGE AT SCREEN GARDEN

- -ALL GAR SURFACES SHALL BE FINESHED TO A LEVEL 4 FINISH UON. - USE 6AY CEMENT BOARD IN USU OF GAB BEHANDALL WALL THE.

- -ALL OWN OUTSIDE COPNERS AND EDGES SHALL RECEIVE METAL OF
- "TYPICAL" MEANS TYPICAL POR ALL SMILAR CONDITIONS LION,
- INTERIOR DIMENSIONS, PARTITION AND DOOR YASS, AND OTHER INFORMA CONSTRUCTION IS DESCRIBED ON SHLARGED FLOOR PLANS, SEE AS SENS
- -ALL INTERIOR PARTITIONS TO BE TYPE AT UON, SEE PARTITION SCHEDULE FOR ADDITIONAL

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2017-0020 ROOF PLAN

A1.02

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- LATONIT SHOWN FOR REFERENCE DMLY, SEE MODULAR SHOP FA MORE INFORMATION

GENERAL MODULAR LAYOUT NOTES:

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NIF-1 ZING METAL WALL PANE COLOR; BLUE

IP-2 PERFORATED METAL SCREEN COLOR: PTD SILVER/GALVAND

3-CONT STUCCO, SMOOTH PINESH COLOR: WHITE

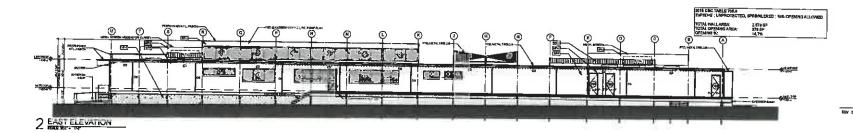
EXTERIOR WALL ASSEMBLIES

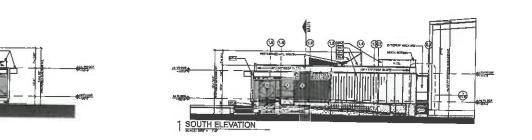
22 : SNucco on Install frameling
09 24 23 Centert Stitzey (37-1)
09 22 18 Metal Stat Framing
47 21 15 Soort Installor
09 22 18 West State
19 26 00 Oypetate Board

X1 : Middle gazand den remain framhig 07 42 13 - Maral Wall Framhy 08 22 13 - Maral Framhy 09 22 14 - Menal Charl Framhy 09 22 14 - Maral Framhy 27 14 13 - Maral Framhy 09 29 29 40 - Middle Stand Framhy 09 29 40 - Clymmer Beach

33 : Methal panel flasci e 87 42 13 Metal Fund - Zinc (MP-1) 88 22 16 Metal Funda 92 21 Metal Stat Familia 92 20 O Cypsum Board

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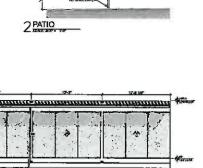
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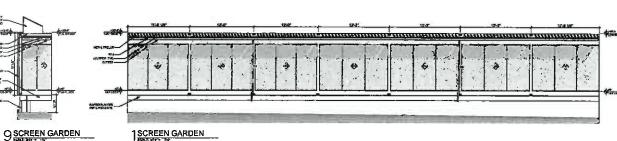
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13 SCREEN GARDEN

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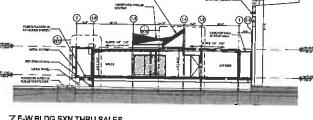
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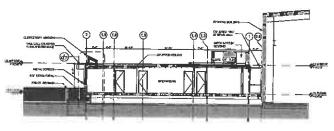
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3 E-W BLDG SXN THRU SALES

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6 E-W SLDG SXN THRU OPERATIONS

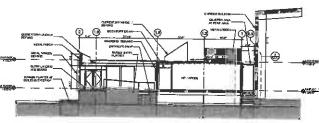
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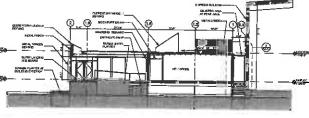
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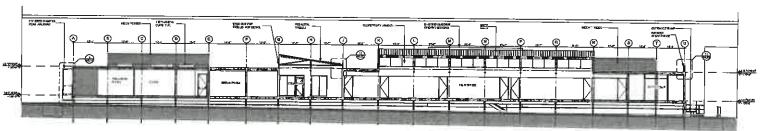


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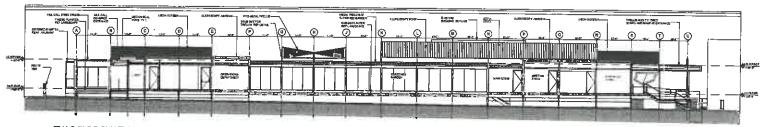


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4 N-S BLDG SXN THRU COURTYARD



3 N-S BLDG SXN THRU SCREEN



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GENERAL NOTES

- 1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- ISSUED.

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CUT/FILL

- 1. MARRIUM CUT AND FILL SLOPE SHALL BE 2:1, HORZONTAL TO VERTICAL.
 2. NO FILL SHALL BE PLACED OR DESTRUCTION DINTE, THE GROUND HAS BEEN CLEARED OF WEEDS, TOPSOL AND OTHER DELETEROUS
 2. NO FILL SHALL BE PLACED BY THE LITTS (B-HICH MAX OR AS RECOMMENCED IN THE SULS REPORT). COMPACTED AND
 DESTRUCTION OF SHALL SHALL BE ADDED BY THE LITTS (B-HICH MAX OR AS RECOMMENCED IN THE SULS REPORT BHAN SILL
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 3. THE SLOPE STABILITY FOR WITH AND FILL SLOPES OVER THIRTY (3) FEET BY WEREIGHT, HE-GOT, OR CHIT FOR WITH AND FILL SLOPES AND THE STABILITY OF SHALL BE SURED OR
 HACED BY PILLS CLOSER THAN TO BY THE TO THE PROMISED GROUND.

COMPLETION OF WORK NOTES

- SOURCE GRADING PLANS, A REGISTERED CVIL DIGNEER SHALL PREPARE FINAL COMPACTION EMPORT/ORIGING REPORT AND IT SHALL BE SUBMITED TO THE DEPARTMENT OF BILLIDIG AND SHETT FOR RECIEV AND APPROVAL. THE REPORT SHALL INCLUDE BUILDING FORDMAND FOR PRANCHEDER, PERANSON HORD, CEISION ALTERNATIVES (FE > 20), WARRE SALIBLE SULFATE CONFIDENCE. TO RECIDE PROBLEMENT AND RELIGIAL MEASURE FOR EXCESSARY.

 2. FOR ROLLIOF GRADING PLANS, EXCEPT FOR NOT-MACT SINGLE RESPONTANT OF GRADING, INL. COMPACTION REPORT SHALL INCLUDE THE CONFIDENCE OF THE STANDARD OF THE SHALL INCLUDE THE CONFIDENCE OF THE STANDARD OF THE SHALL INCLUDE THE CONFIDENCE OF THE STANDARD OF THE SHALL INCLUDE THE SHALL INCLUDE THE CONFIDENCE OF THE STANDARD OF THE SHALL INCLUDE

DRAINAGE, EROSION/DUST CONTROL

- 1. DRIANNEE ACROSS PROPERTY LINES SHALL NOT EMESED HAT THAT'S ENSERS PROMISE TO EXAMAL DECESS OR CONCENTRATED BRANAGE SHALL BE CONTAINED ON STEEL OF DETECTION OF NON-BROSSNEE DOWN GRANKS OR DIRECT DECESS. OR CONCENTRATED BRANAGE SHALL BE RECEIVED IN THE AREA IN THE AREA OF THE AREA OF THE CONTRACTOR SHALL PROVIDE A PANES DECEST INTEGRATION OF NON-BROSSNEE DOWN GRANKS OR DIRECT DEVICES. WHICE WE REIGHAND ACROSS THE TOP OF CUT EXPOSES THERE WE REIGHAND ACROSS THE TOP OF CUT EXPOSES THE WEBS THE DEVILABLE OF THE AREA OF

- 2. THE CONTRACTOR SHALL PROVIDE A PANCE SLOPE INTEGER FOR BRAIN ALONG THE TOP OF CUT SLOPES WHERE THE DRAINAGE PATH IS GREATER THAN FORTY (40) PEET TOWARDS HE CUT SLOPE.

 3. THE CONTRACTOR SHALL PROVIDE FIVE (3) PEET MORE BY ONE (1) FOOT HIGH BERN ALONG THE TOP OF ALL PLL SLOPES STEEPER THAN 3.1, HORIZONIA, TO WERTOL.

 4. THE CROUND SEPACE AMERICANCE VARIOUS. TO THE BUILDING FOUNDATION SHALL BE SLOPED MANY FROM THE BUILDING AT A SIGNED OF THE CONTRACT OF THE (10) PEET MEASURED OF T

- CONTROL (SEXT MARAGEMENT PRACTICES, BMFP) SHALL BE ROWARD TO PREVENT PROMING WATER AND WHARAGE TO ANAMOUNT PROPERTY.

 PROPERTY:

 8. CONSTRUCTION SITES SUBSCITCE THIS PURPHED OF GOTTER PROPERTY BEFORE

 8. CONSTRUCTION SITES SUBSCITCE THIS PURPHED OF GOTTER PROPERTY BRIDGE OF BULLE (0.1).

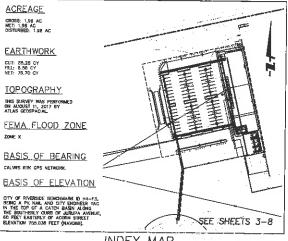
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 9. ALL PEXTRE PRANAMED CRIMINATION BULLET BUT OF PROTECT ADMINIST PROPERTY BUT OF PROTECTIVE MEASURES AND THE PROPERTY DEARNAGE PROVIDED ON BUT OF

UTILITY COMPANIES EMERGENCY NUMBERS WATER SERVICES JURUPA COMMUNITY SERVICES DISTRICT RUBIDOUX COMMUNITY SERVICES DISTRICT 951-554-7580 951-571-7100 951-885-6503 MENTERN MANICIPAL WATER DISTRICT SANTA ANA REVER WATER COMPANY ENERGY PROMOTES SOUTHERN CALIFORNIA GAS COMPANY (NATURAL GAS) 800-427-2200 SOUTHERN CALIFORNIA EDISON (ELECTRICTY) -500-655-4555 DISPOSAL SERVICES BURRIEC WASTE MANAGEMENT HOUSEHOLD HAZARDOUS WASTE FACILITY ROBERT A. NELSON TRANSFER STATION 800-423-9956 951-466-3200 951-785-0655

CITY OF JURUPA VALLEY **CALIFORNIA** GRADING PLANS FOR

CREST STEEL PROJECT No.



INDEX MAP

SHEET INDEX DESCRIPTION SHEET NO. TITLE SHEET DETAIL SHEET DETAIL SHEET3 DEMO & EROSION CONTROL PLAN... 4 PRECISE GRADING PLAN PRECISE GRADING PLAN UTILITY PLAN8 Δ

LEGAL DESCRIPTION

BEING A DIVISION OF A PORTION OF THE EAST HALF OF SECTION 25, TOWNSHIP 2 SOUTH, RANGE 6 WEST AS FR MAP OF SECTIONALIZED SIXVEY OF THE JURIUPA RANGEN AS RECORDED IN BOOK 9, PAGE 33 OF MAPS, RECORDS O SAM BEINARDING COUNTY, CAUFFORMA.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES)

- CONSTRUCTION SITE BUPP FOR THE MANAGEMENTE OF STORM WATER AND MOIN-STOMMWATER DISCOMMRESS SHALL BE DOCUMENTED OF THE GRADIES CLAM, AND AND ADMINISTRATION, AND ADMINISTRATION OF THE SHAPP OF THE JOSEN'S HEADING FOR THE MAJOR SHAPP SEMBISHATION, ASSAGRATION SHALL BE MADE BY THE DESCRIPTION OF SITE BUPP, IS EXCURSIVED TO MINIMAZE JOSSIT EMBORS AND SEMBISHATION, ASSAGRATION SHALL BE MADE SHALL BE WAS ADMINISTRATION OF THE PROPERTY OF

- ESCHAMINTION, ARRACHMENTS SHALL BE MALE BY THE CONTINUENT TO MANYAM THOSE DIMENTATIONS THE WITH CONTINUENCE OF CONSTRUCTION.

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 4. GRANDER SHALL BE PRACED TO LIGHT THE AMOUNT OF DISTURBED AREA ELIGIBLE TO THE DETION FEASURE.

 5. AREAS THAT ARE CLAUSED BY DISCUSSION AND CONTINUENCE OF THE STATE IS INCCESSARY FOR CONSTRUCTION, THE CONSTRUCTION SITE OF THE OWN DISCUSSION OF THE SET HAIR IS INCCESSARY FOR CONSTRUCTION, THE CONSTRUCTION SITE OF THE OWN DISCUSSION OF THE SET HAIR IS INCCESSARY FOR CONSTRUCTION, THE CONSTRUCTION SITE OF THE OWN DISCUSSION OF CHARGE SHALL BE PRACED TO LIGHT SHALL BE MANYAGED TO MANYAGE AND PRACED SHALL BE AMOUNTED. THE CONSTRUCTION SITE OF THE OWN DESIGNATION OF THE SET HAIR IS NECESSARY FOR CONSTRUCTION, THE CONSTRUCTION SITE OF THE OWN DEPARTMENT OF THE STATE OF THE OWN DEPARTMENT OF THE SET OWN DEPA

DECLARATION OF ENGINEER OF RECORD

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I ALSO HEREBY DECLARE THAT ! HAVE COMPARED THESE PLANS WITH ALL APPLICABLE ADA TITLE N AND TITLE 24 REQUIREMENTS FOR DISABILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THOSE RECOMPONENTS.

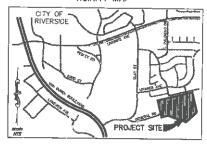
2/14/2018 DATE

FELIX CONZALEZ R.C.E. #67660 (EXP. 06/30/2019)

ENGINEER'S NOTICE TO CONTRACTORS

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VICINITY MAP



Underground Service Mart

1 - 800
27-2600

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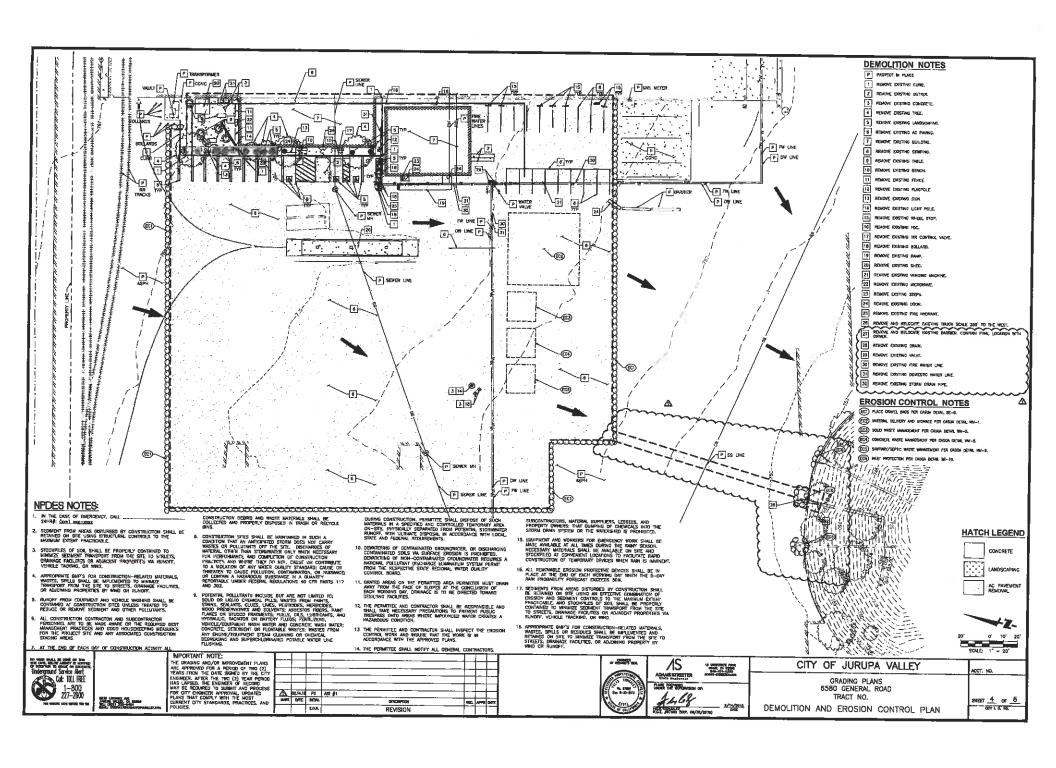
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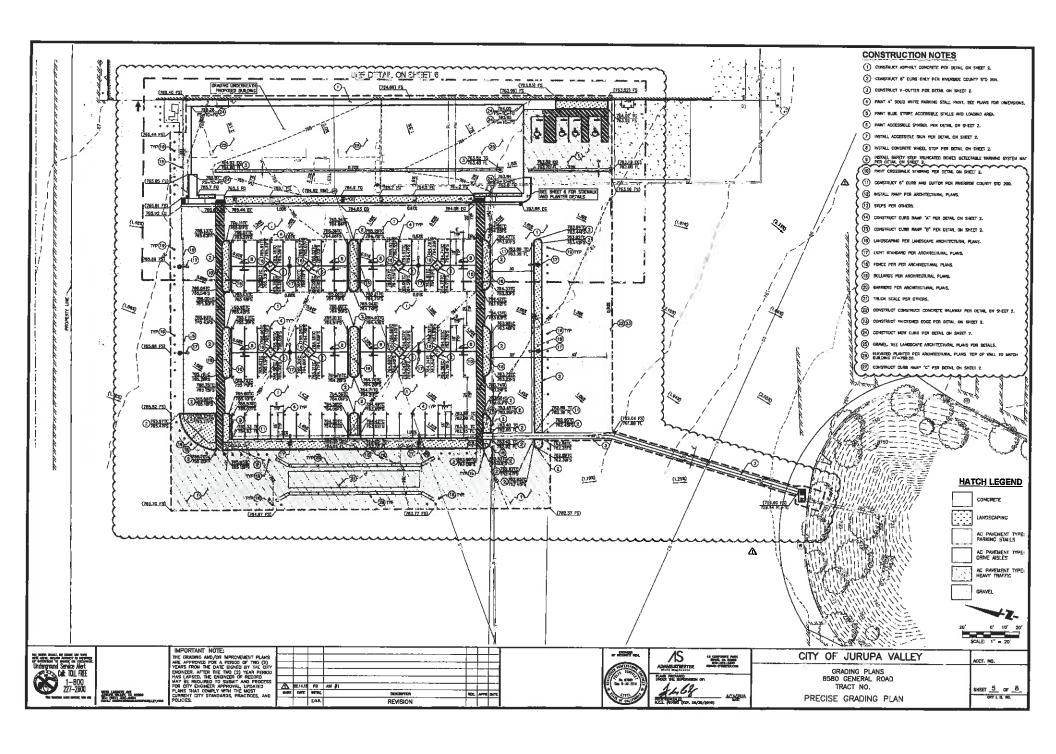
GRADING PLANS 6580 GENERAL ROAD TRACT NO.

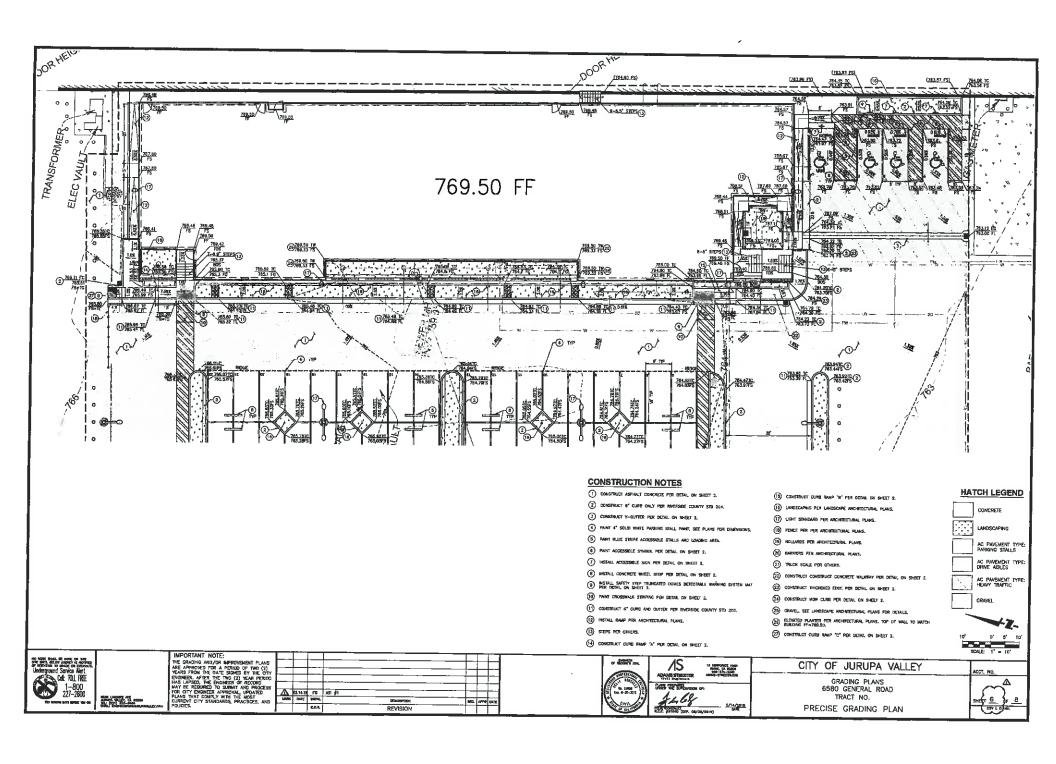
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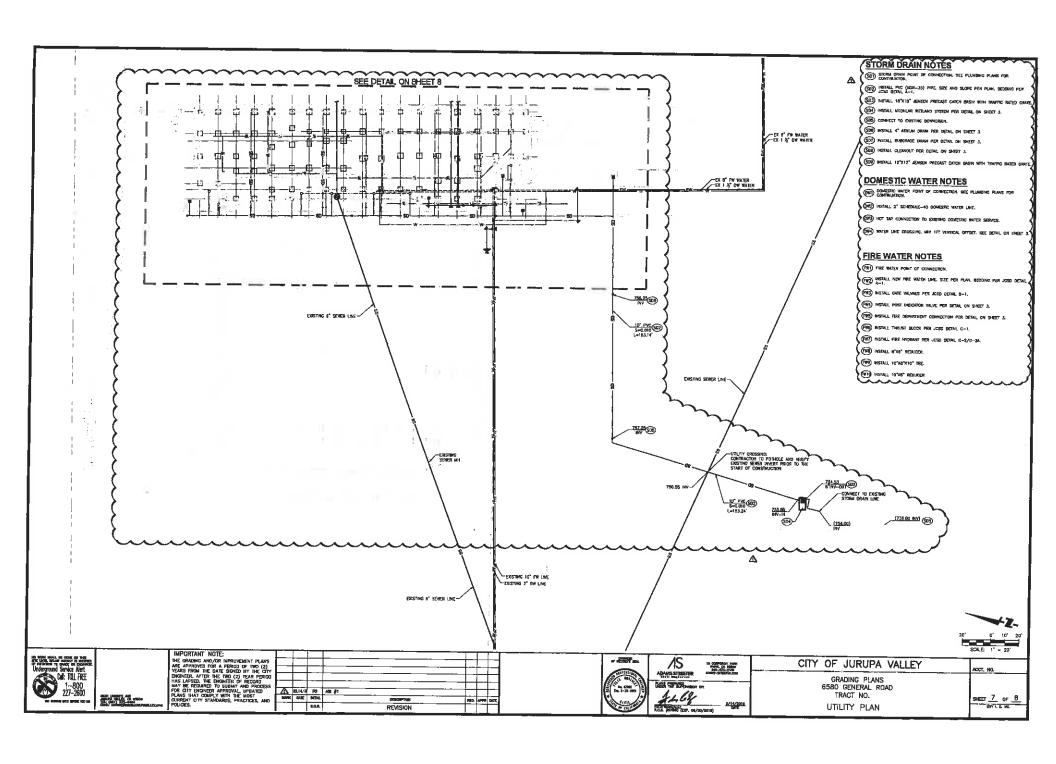
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ACCT NO









CERTIFICATE OF LANDSCAPE COMPLETION

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SOIL ANALYSIS REPORT

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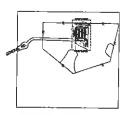
PER MIVELO & MANAY WATER CONSERVATION STATEMENT

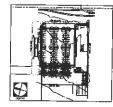
The Instructors and Inrigation design for this project will incorporate Best Konogoment Practices minin MREDA (Model Water Efficient Londboope Continuous) and MMMA (Medamum Alterbal Water Efficient Londboope Continuous) and MMMA (Medamum Alterbal Water Alterbal Water Alterbal Water Londboope Continuous) and papellined to inflicationly inrigate but to toolscape and represent water from low and an admitted to the production of the product of the continuous and an admitted to the continuous and an admitted to the continuous and unplanted oness; a 2° layer of mutch Insportant and admitted to the surface of the continuous and unplanted oness; a 2° layer of mutch Insportant and Chapter 9,500 of Title 9 of the Juneo Vottey Municipal Content and Admitted to the continuous and admitted to the content a

MAINTENANCE AGREEMENT

The property server in responsible for the midintenance of the landscape for One Year on their property. Any devot, dying, or diseased plotted must be replaced eithir 80 days of written notice from property. Any devot, dying, or diseased plotted must be represented send be reproceed when no impermental controlled to the protection. They are send to be reproceed when no impermental, they are send to the protection of the pr

CREST STEEL 6580 GENERAL ROAD RIVERSIDE, CA 92509 LANDSCAPE DOCUMENTS





VICINITY MAP - NTS

KEY MAP - NTS

PROJECT DESCRIPTION

This Project contribute of a new modulor steel office building on robust pyrions connected to the existing footby. The project clem includes new porting, powing and kindscape areas. All aid, britan, crossed, objected and unwest porting with the transport don't replaced with new controls and oppinit, boring for a new parting interesting up to 16 vehicles. Vehicusty porting and project, boring for a new parting interesting up to 16 vehicles. Vehicusty porting and the object of the control of the co

BUILDING CLASSIFICATION

Building Classification: M-SC, Contraction Type N-B

The project plans were reviewed for compliance with the following codes and alloratories: 2016 CED Nisulfee, Jesusyy 30 2017 Emergency Supplement; 2017 CED; 2017 CPC; 2017 CEC; 2017 CMC; 2017 CGC; 2017 CMC; 2017 CGC; 2017 CMC;
TABULATIONS

SITE DATA:

Londscope Required (10%) ~	5.392	3.
New Landscope Total -	5,916	3.
News Porking / LS Area –	46,000	m.F
Building Area —	14,114	x.J
Limit of Work Area	68,030	y.f
Total Site Area - 23,5 nores o	r 1,037,818	a,f

COST ESTIMATE

I. IRBIGATION Igen Heefelow Hevier Controller & Master Valve Habiline Valves & Philog	Ottoricky limit Cost all reservo. 21 Valves 600.00	2,500.0
	SUNTERNA	\$123,001L0
II. PLANTING		
Bens	Quentity Unit Cost	Total Con
Phocula Palme- 15 HTH	10 4,000.00	40,000.0c
Treus - 24° (tox	29 260.00	6,000,0
Should the Cal	64 RH(0)	GARDILO
Phone: B Gal.	126 40,00	8,000,00
Grames I Cal.	300 10.00	3.000.0r
D.G. / Bank / Cobble	allemonre	3.000.00
Melal Edge	allownings	1,500.00
Boll Proporation for Hamping	6,000 mg. ft	1,000.00
	SUBTUTAL	\$69,000.00
	OFFICE MINTOYAL	892,000.00
	*0 % Contingency	4,200,00
	TOTAL OPINION	8101.400.00

DRAWING INDEX

EMEET # DIVORNS # DESCRIPTION

- TITLE SHEET IRRIGATION PLAN
 PLANTING PLAN
 SHAGRO PLAN 1. - 2
- DETAILS IRRIGATION

WATER PURVEYOR

THE WATER PURVEYOR FOR THIS PROJECT IS: JURUPA COMMUNITY SERVICES DISTRICT 11201 Horrel St. Môra Lorno, CA 91752 TEL#: (951) 685-7434

GENERAL NOTES

- A. City Codes & Standards Prior to the start of any work, the Prime Contractor shall navies and agree to comply eith all the codes and standards of the City.
- Work Plane & Schedulan All bork shall be executed on a specific produtermined subschule.
 Prior to the start of any work, the Prime Contractor shall present a detailed achievile and work plan for species. Schedule and include a start acoustable and includes stellye. Schedule shall be approved by the Focilities Menager prior to beginning of work.
- Installation Regularments All hardscape and landscape installation shalf meet City requirements and comply with City codes and busing ordinances.
- Limit of Work Prior to be alort of any earl, this Priors Contractor shall state the site of the Landscope Aucthorst and Connels Representative to worly the asset Limit of Work for this project. The Prima Contractor shall be mappedable for any disonal examility from the Intrusion-beyond the Lark of Work. The Prima Contractor shall be reproduced with the Prima Contractor and the responsible for the total replacement of the Contractor and the responsible for the total replacement of constructions beyond the Lauth of Rich that are demograph subsector of the commencement of constructions.
- Field Verification Prime Contractor shall verify all site measurements in the field prior to any forming or construction seek. Any discorporary between the pines and field measurement shall be reported hemselfule; to be teamings Architects prior to desting earl.
- F. Cristing Unities The Prims Controlled in the Lemmange Architect prior to Marting each.

 F. Cristing Unities The Prims Controlled rishts seek with the Londenge Architect and the Denomination of the Controlled Contr
- C. Temporary Sta Fencing The General Contractor shall install temporary chain-floir construction fence around the parimeter of the project site of the Limit Of Work line. Temporary fencing shall be deen in occordance with the City carefunction codes. Chain-floir fence shall have a 16° wide construction gate with locks in locations strom for Contractor access.
- She Rismondf At Controllants and Constant Desidence for Controllant access.

 She Rismondf At Controllants and Constant Constitution operations in such a memor that storm are other nestern may present continuously and whose a controllant and without arraising many finite disclosure or company on research. At the controllant and enterin runniff an attent courses, province for an attent courses, and controllant and bodies of enter will NOT by pitched by finite, day. Shanase or other horrorful mutation.
- Trooth and Dabris Site shall remote brash free and clean at all times. All Dantractors are responsible for removing brash, forming bourds, states, rocks, concrets, and clears (then bits prior to completion of their specilie work. Any clean—sp (from previous brashs, including nemoval of statry, or cabecian of previous works removal of statry, or cabecian of previous worker's construction debris shall be book—sharper to the responsible Dathracters.
- Proposed Utility Seeving ristrictops and Landscope Centractors shall coerclinate the introduction is all excessive productions. Landscope Centractors shall coerclinate the introduction and seeving production of the control of the
- Proposed Electrical Service Dectrical Continuous shall supply much underground stateding and electrical constalt for the lighting and linear at the approved levellans. After compilation of hardgape includion, the think sectional levellance of all times and approved to the property of the section of the
- L Sta UBBlace on Printin, Dameltion & Hardscope, Londrepps Controctors shall use the utinost correlation state of the Control
- M. Dig Alert Prior to any demolition work Demolition Contractor is required to coll Dig Alert and also locate all underground utilities and document localisms prior to proceeding with demolition.
- A. Certificate of Completion The project Londergoe Architect herd conducts of feel impection or substantial completion of the project Londergoe Architect herd conducts of the Impection or substantial completion of the project to verify that the foundergoe and irrigation installation is in correlations with the approach of the project Londergoe Architect shall then submit a Cartificate of Completions later in the City of Junuary below of request of from City largestion of the management later in the City of Junuary below of request of from City largestion of the or necessary changes for approved by the Despirator shall include a feet of any differences or necessary changes for approved by the Despirator shall be a feet of any differences or necessary changes for approved by the Despirator and City Final Londergoe inspection in Irrigation system occurrence with the Conference of





FORGE CRAFT
RCHITECTURE + DESIGN
West Monroe Street, Suite C
Austin, Teace 78704
512.872.8855

SHERMAN DESIGN GROUP FACILITIES PLANNING

9649 Arlande Ave. 1417 Lung Pom L. C.A. 95807-1417 Planne 962-424-2227-174, 962-424-2127 Phonosoff April Computer

Book Ginder - California Architect Registration #



General Drive , California 92509

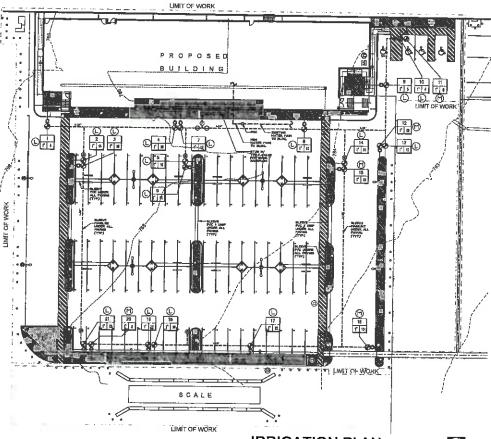
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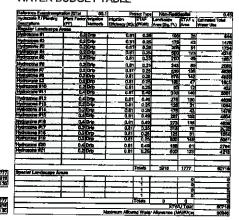
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DATE: 01/09/2018 TITLE PAGE

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WATER BUDGET TABLE



IRRIGATION PLAN

SCALE; 1" = 20

HORTH

IRRIGATION CONTROLLER SCHEDULE

						_							
VALVE VALVE#/GPN	ZONE		FEB.	MAR.	APR.	MAY MAY	JUN.	JUL.	AUG.	SEP.	OCT.	NOV.	DEC.
1- 4CPM	LOW	10	10	20	20	25	30	30	30	30	20	20	10
2- 14CPM	LOW	10	10	20	20	25	.30	30	30	30	20	20	10
3 10CPM	LOS	10	10	20	20	25	30	30	30	30	20	20	10
4- 10CP)/	LOW	Id	10	20	20	25	30	50	30	30	20	20	10
5- 18GPN	LOW	10	10	20	ZD	25	30	30	30	30	20	20	10
5- 140PM	LOM.	10	10	20	20	25	30	30	30	30	20	20	10
7- 100PM	LOW	10	10	20	20	25	30	30	30	30	20	20	10
8- 10GPM	LOW	10	to	20	20	25	30	30	30	30	20	20	10
9- 5CPW	MOD.	15	15	30	30	55	45	45	45	45	50	30	15
10- 40PM	MDD,	15	15	20	30	35	45	45	45	45	30	30	15
11 BGPM	MDD.	15	15	30	30	35	45	45	45	45	30	30	15
12-10GPM	MOD.	15	15	30	30	35	45	45	45	45	30	30	15
13~10CPM	LOW	10	10	20	20	25	30	30	30	30	20	20	10
14-14GPM	MOD,	15	15	30	30	35	45	45	45	45	30	30	15
15-12CPM	LO#	10	10	20	20	25	30	30	30	30	20	20	10
16~10CPM	MDD,	15	16	30	30	35	45	46	45	45	30	30	15
17-120PM	LOW	10	10	2D	20	25	3D	30	30	30	20	20	10
18-10GPM	LOW	Ia	10	20	20	25	3D	30	30	30	20	20	10
19-120PM	LOW	IÓ	10	20	20	25	30	30	30	30	20	20	10
20- 5CPM	MDG.	15	15	30	30	33	45	45	45	45	30	30	15
21-120PM	LOW	10	10	20	20	25	3m	30	30	30	20	20	10

IRRIGATION MATERIALS SCHEDULE

SYM.	MANUF.	MODEL	DESCRIPTION	RÁD.	PSI	GPM	
В	RAINBIRD	1806	6" POP-UP STREAM BUBBLER		25	11.0	
	METAPIN	TLDLB-1210	100" 17LB/ DRIP LINE SPACE 12" O.C.	7"	25	.15	
Ø	RANBIRD	ESP-LIGHEF	CONTROLLER WIRED WITH FLOWSENSOR A	ND MAS			
[5]	HUN TER	PAN-CIK	'RAIN-CLIK' WIRELESS RAIN SENSOR WITH ENCLOSURE				
е	MECO		1-1/2" BRASS BALL VALVE	LINDEO	10/4		
	RAWBIRD	ASYF	ELECTRIC REMOTE CONTROL VALVE (SEE	DI AM EV	NC 017	ER)	
D	RAINBIRD	PRF	1-1/4" PRESSURE REQULATOR W/STRAW	ER.	444		
. (0)	RANBIRD	3RC	3/4" QUICK CISUPLING VALVE				
0	RAINBIRD	CER SERIES					
Ð	RAMBIED	FS150B	BRASS TEE FLOW SENSOR				
M	NEW REDUC	ED PRESSURE					
	EXISTING 1	ATER MAIN TO	BUILDING				
	50H 40 PV	C PRESSURE M	AMUNE - SLEEVE 2-1/2" X LARGER LIND	FR PAVE	10		
	5CH 40 PV	C NON-PRESSI	RE LATERAL LINE		-		
_	- VALVE NO.				_		
	TOTAL GPM	'5					
	· VALVE SIZE						

IRRIGATION NOTES

- It is the responsibility of the Infigition Contractor to femiliarities himself with all existing conditions, existing utilities to remain, grade differences, leadings of eaths, etc. He shall enoughlosts his stork with the Consent Contractor and the other sub-contractors for the location and installation of pipe sleaves through sells, under readings, pooling, structures, sto.
- Irrigation system is based on 65-75 P.S.I. at the P.O.C. Irrigation Contrator shall verify P.S.I. and lend a debtd record to the Demer and Landscape Architect for approval prior to the start of any leads on the system.
- Irrigation design to diagrammatic. All piping shown within the paved areas is for design clarificatently, install in planting areas where possible.
- Irrigation Contractor shall varify the location of existing irrigation system mainline to remote. Mainline
 to be protected in places.
- 5. The P.O.C. for the new infigetion system shall be topped off the existing mainline. Also see Plumbin & Machanical Plons. The Impaction Contractor shall connect that the new mainline to the existing mainline. Check topicition of existing materials in Materials.
- Pressure mainline under paying shall be schedule 40 PVC Installed in steems 2-1/2 times size of pips. All control wire is to be sterved separately in the same treach as mainline under all payed areas.
- 7. All piping under payed press shall be sleaved & installed prior to powing.
- 8. Non-pressure leteral line under poving shall be acheduly 40 PVC.
- Final location of all the automatic controllers shall be approved by the Opener or his Authorized Representative.
- 10. 120 volt electrical power suttets at all the automatic controller locations shall be provided by other. The irrigation Centractor shall make the final hask-ups from the electrical autiet to the automatic controllers.
- 12. The infigation Contractor shall install a Moster Valve and Flow Sensor on the Infigation System,
- 13. The irrigation Contractor shotl install a Rain Sensing Device wired to the comballer.
- The Irrigation Contractor shall install a Pressure Regulator/Filter on all volves used for Drip Irrigation

PIPE SIZING LEGEND

FOR SCHEDULE 40 PIPE

D-4 CPM	PIPE SIZ
5-8 GPM	3/4"
8-13 GPM	f
14-23 CPM	1-1/4"
2432 GPM	1-1/2
33-49 GPM	2"

HYDROZONE DATA

HIGH WATER ZONE	(0%) -	0 s.f.
MEDIUM WATER ZONE	(31%) -	1,852 3,1,
LOW WATER ZONE	(69%) -	4,475 a.f.



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9cetl Ginder - California Architect Registration #

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cost Ginder - California Architect Registration #



Crest Steel
6580 General Drive
tiverside, California 92509

REV DATE DESCRIPTION



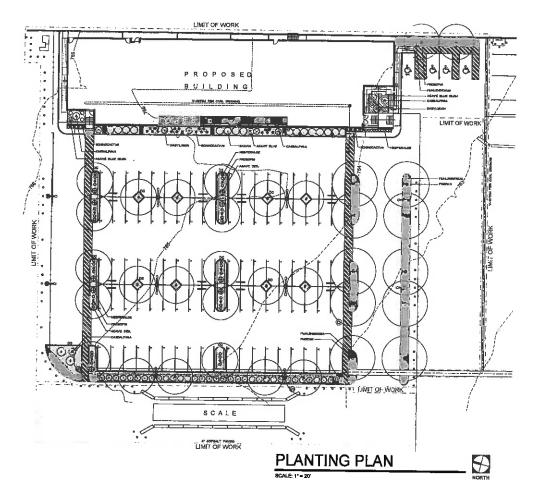
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DATE
OHOSZO1A
PROJECT MAMERI
2017-0020
SKET ITLE
IRRIGATION PLAN

SHEET.

L-2

IF Forps Chall Architecture + Design



PLANT MATERIALS LIST

			BOTANICAL NAME	COMMON NAME
TREES				
(\cdot)	10	12' <i>B</i> TH	Phoenix dactilitiens	Date Poly
\odot	23	24" Box	Prosopis chilunais (Standard)	Chilean Mesquite
SHRUBS				
•	8	15 Gqi,	Cossalpinia pulcherrima	Bird of Paradise Sust
0	188	5 Gal.	Leucophyllum (angmonlos 'Rio Bravo'	Compact Taxon Ronge
0	2	15 Gal.	Teconic atoms	Yellow Getts
0	15	5 Gal.	Salvia 'Furmona Rad'	Autumn Sage
BUCKNITEKIZ				
⊕	10	15 Cal.	Agove desimattions 'Varlegate'	NCN
0	9	5 Cal.	Agove 'Blue Glow'	Blue Glow
0	4	15 Gat,	Dasytirion wheeler	Desert Spoon
	29	5 Gal.	Echinocactus grusomii	Golden Bornal Captus
O Revelecteding	40	15 Ge).	Hesparatos parviflora	Texas Rad Yugod
100	300	1 Gal.	Muhlenbergia Tigens	Danr Grees
NERT MATERIALS				
DC .	3" Thick		Decomposed Granita w/ Stabilizar	Compact in 2 Lifts
• •	2" Max.		Nitrogenized Chipbonk Mulch	1/2" or finer
ALC: UNK			2" ~ 3" Ton Cobblestone	

PLANTING NOTES

- Plant Quantities Plant quantities in the materials tist are only a quide. Plants on the plan precedence. Contractor is responsible for verifying sweet quantities.
- Sol Amendments The following amendments shall be evenly approad and thermoghly incorporated into the top of of and, and in the mending of shrink and true planning holes. Amending shall be done of the control of the

- Fertilizer All plant material shall be planted with Agritarm pre-plant fertilizer Quantity of lobiets to be used per plant or per manufacturer's specifications.



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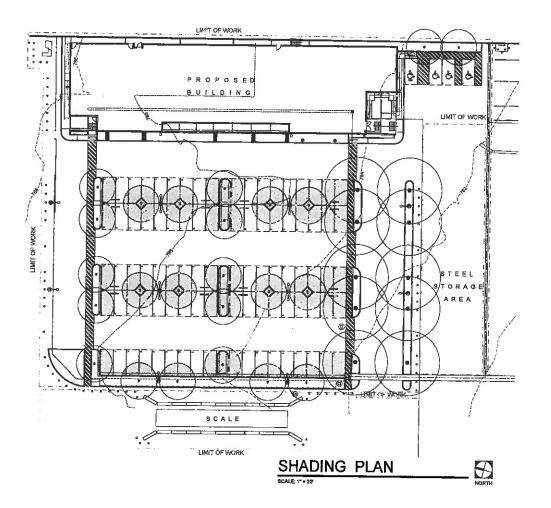
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Name 100% CDs

GATE: 01/09/2018 PROJECT MUMBER. 2017-0020 PLANTING PLAN



SHADING NOTES

Frest for singles shed be provided for residential, semmyroids, industrial buildings, perhits jots and open space array per the requirements in description of the control

LEGEND

 \bigcirc

Trees # 15 years of gro - NO Parking Shoded



"For Tree Type and Specification please see Planting Materials Li-

TABULATIONS

- Parking Stoll Area Tatel = 16,902 s.f.
- Shooling Area Total = 8,300 s.t.
- Total Percent of Lat Shaded (55)



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Architect Registration II

Seek Ginder - Celliomia Architect
Registration #
10/02/2017



DE ANGELET CON

PERSON EDITORIADO ALPANIE

LISTO REACH, DA SONIA

*1784, EDROTADO AMBRIL COMO BEACN, DA BRIDA (M2) 400/13/87 Witnessia antigrativa

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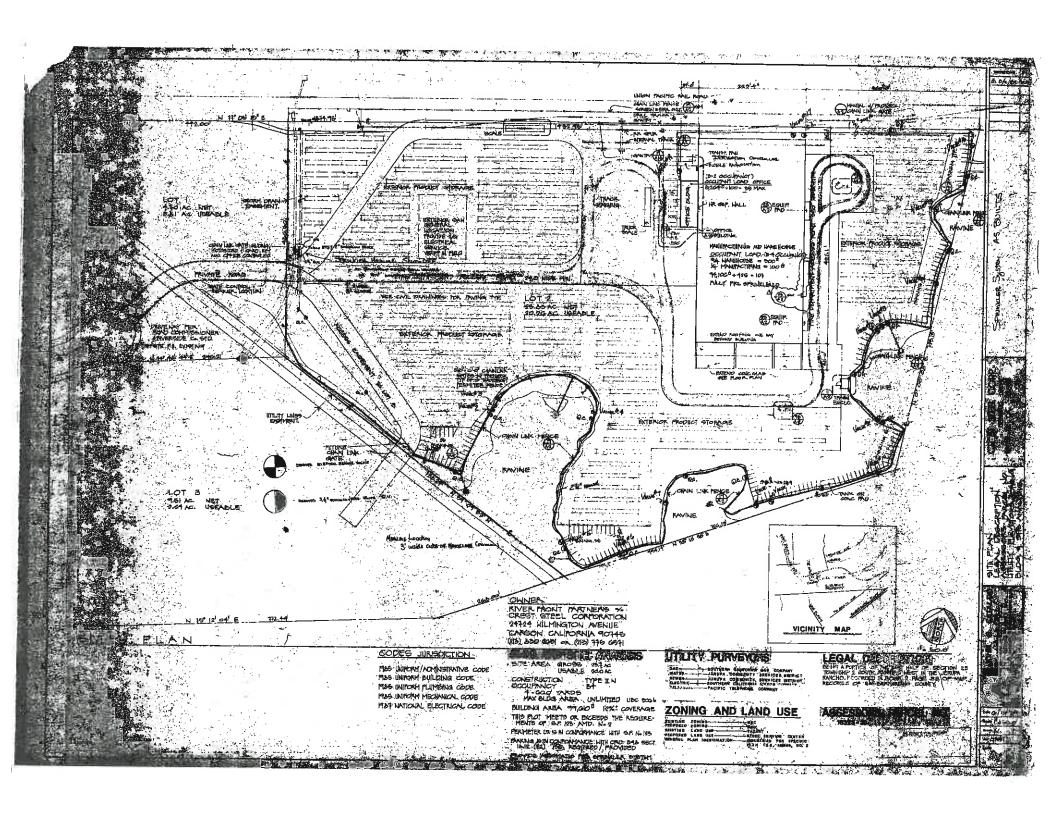
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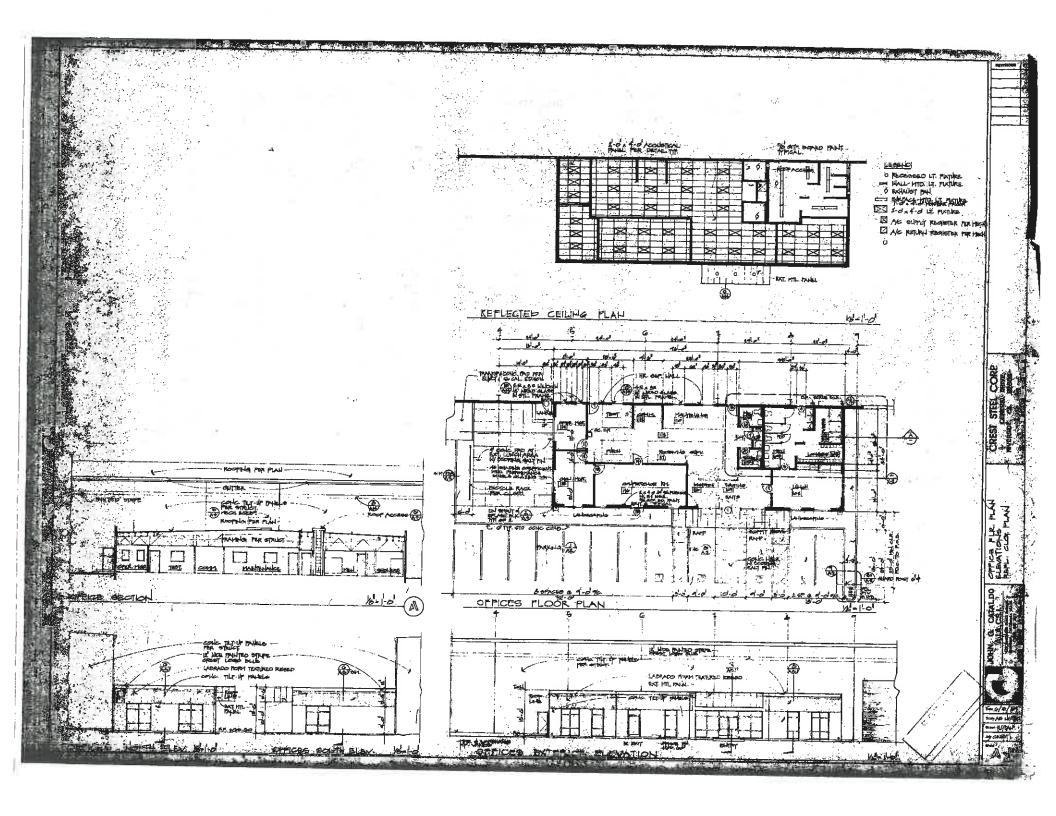
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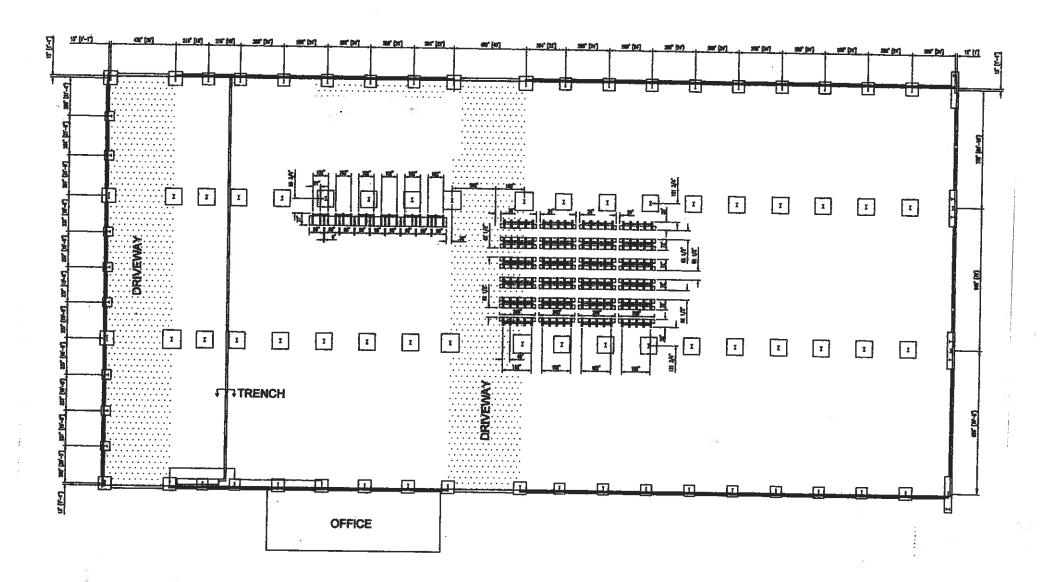
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9/017 Farm Creft Arthheuture 4 Design



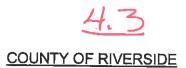


21,-9" 64'-10" 21,-9" 1 2 I 1 z 19'-9" 19'-9" 19,-9" 19'-9" 1 Z I I I I x x x I I 1 19-9" 19'-9" 19'-9" 79 -8" 20'-5" OFFICE



PAGE BREAK





RESOLUTION NO. 2018-03

A RESOLUTION OF THE RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC) AMENDING THE ALUC BY-LAWS AND SETTING THE TIME FOR FUTURE REGULAR MEETINGS

WHEREAS, pursuant to California Public Utilities Code (PUC) section 21674(f), airport land use commissions are authorized to adopt rules and regulations as necessary to carry out their duties as set forth under PUC sections 21670 *et seq.*; and,

WHEREAS, on October 13, 2005, the Riverside County Airport Land Use Commission (ALUC) adopted By-laws providing such rules and regulations through Resolution No. 05-04; and,

WHEREAS, on January 11, 2007, the first sentence of Section 2.7(a) of the By-laws were amended as fully set forth in Resolution No. 07-01; and,

WHEREAS, on April 12, 2018, per Resolution No. 2018-01, the Commission adopted an amended By-laws that superseded and replaced all prior adopted By-laws; and,

WHEREAS, because the Chairman desires to change the time for all regular Commission meetings while maintaining flexibility in setting the time of future regular meetings without having to amend the By-laws, ALUC staff proposes revisions to Section 3.1(a) of the By-laws to state the following:

(a) Regular meetings of the ALUC shall be held on the second Thursday of the month at a time adopted by consent of the Commission. If the regular meeting date falls on a holiday recognized by the County of Riverside, the Commission may by majority vote move the meeting. The Chairman may cancel a regularly scheduled meeting if there is no business to be conducted in that month.

WHEREAS, all other provisions in the By-laws will remain unchanged; and,

WHEREAS, on June 14, 2018, the Riverside County ALUC in open session considered this proposed revision to its By-laws; now, therefore,

BE IT RESOLVED, FOUND, DETERMINED, AND ORDERED by the Riverside County ALUC that the By-laws shall be amended to revise Section 3.1(a) accordingly as proposed by ALUC staff and described above with all other provisions in the By-laws to remain unchanged; and that the start time for all future regular meetings will be set by consent of the Commission.

NOW, THEREFORE, the ALUC adopts by the following vote:

AYES:	
NOES:	
ABSENT:	
WITNESS, my hand this 14th day of June, 2018.	Steve Manos, Chairman Riverside County ALUC
	Simon A. Housman ALUC Director

Bylaws of the

Riverside County Airport Land Use Commission

1. GENERAL PROVISIONS

1.1. Name

The name of the Commission shall be the Riverside County Airport Land Use Commission. The name may be abbreviated as ALUC or RCALUC.

1.2. Purpose

The fundamental purpose of the ALUC is to carry out the statutory responsibilities required by Sections 21670 et seq. of the California Public Utilities Code (PUC). The statutes describe these responsibilities as being "to protect public health, safety, and welfare by ensuring the orderly expansion of airports and the adoption of land use measures that minimize the public's exposure to excessive noise and safety hazards within areas around public airports to the extent that these areas are not already devoted to incompatible uses."

1.3. Powers and Duties

- (a) The powers and duties of the ALUC are as enumerated within and limited by PUC Section 21674.
 - (1) The ALUC's specific powers and duties are:
 - = To prepare and adopt an airport land use compatibility plan for each of the airports within the commission's jurisdiction.
 - = To review the plans, regulations, and other actions of local agencies and airport operators pursuant to PUC Section 21676.
 - = To assist local agencies in ensuring compatible land uses in the vicinity of all new airports and in the vicinity of existing airports to the extent that the land in the vicinity of those airports is not already devoted to incompatible uses.

- = To coordinate planning at the state, regional, and local levels so as to provide for the orderly development of air transportation, while at the same time protecting the public health, safety, and welfare.
- (2) An explicit limitation upon the ALUC's powers and duties is that the ALUC has no jurisdiction over the operation of any airport.
- (b) The ALUC may establish a schedule of fees necessary to enable it to fulfill its duties as defined by state law. The fees shall be charged to the proponents of actions, regulations, or permits, shall not exceed the estimated reasonable cost of providing the service, and shall be imposed pursuant to Section 66016 of the Government Code.

1.4. Airport Land Use Compatibility Plan

- (a) The ALUC has adopted a Riverside County Airport Land Use Compatibility Plan and certain other plans containing the policies to be used by the Commission in reviewing and acting upon matters submitted to it in accordance with state law. The procedures and compatibility criteria set forth in those plans are in addition to and shall be considered extensions of these Bylaws.
- (b) The ALUC shall update its review procedures and compatibility criteria as necessary to keep them current with airport conditions and state laws and guidelines.
- (c) Amendments to the Compatibility Plan may be instituted by the ALUC staff based upon changing conditions at an airport or may be requested by a local agency, airport operator, or affected agency. State law limits amendments to compatibility plans to once per calendar year. Although the Riverside County Airport Land Use Compatibility Plan is contained within a single volume, the section addressing each airport is to be considered a separate plan for the purposes of plan amendments. Thus, amendment of maps or specific policies for one airport does not preclude subsequent amendment of the maps or specific policies for another airport in the same year. Any change to the countywide policies would constitute amendment of all the individual airport plans.

1.5. Bylaw Amendments

Amendments to these Bylaws requires a majority vote of the full membership (i.e., four votes) of the entire ALUC membership, following at least seven days written notice of the proposed amendment.

1.6. Severability

If any portion of these Bylaws is for any reason held to be invalid, such invalidity shall not affect the validity of the remaining portions.

2. MEMBERSHIP AND STAFF

2.1. Members

- (a) The ALUC shall consist of seven members, selected as follows:
 - (1) Two members representing the cities in Riverside County, appointed by a city selection committee comprised of the mayors of all the cities within the county.
 - (2) Two members representing Riverside County, appointed by the Board of Supervisors.
 - (3) Two members having expertise in aviation, appointed by a selecting committee comprised of the managers of all of the public airports within the county. For the purposes of ALUC membership, a person having "expertise in aviation" is, as defined by the Public Utilities Code, "a person who, by way of education, training, business, experience, vocation, or avocation has acquired and possesses particular knowledge of, and familiarity with, the function, operation, and role of airports, or is an elected official of a local agency which owns or operates an airport."
 - (4) One member representing the general public, appointed by the other six members of the Commission.
- (b) All members of the ALUC shall be residents of Riverside County.

2.2. Terms of Office

- (a) The term of office of each ALUC member shall be four years (ending on the first Monday in May of the fourth year) and until the appointment and qualification of his or her successor. Terms of office shall be staggered so that no more than two members' terms expire in any single year.
- (b) Commissioners serve at the pleasure of the appointing body and may be removed by that body at any time and for any reason. A Commissioner may be appointed to a new term of office at the option of the appointing body. The appointing body shall fill any vacancy in the ALUC membership by appointing a new member to serve the remainder of the term.

2.3. Proxies

- (a) Each Commissioner shall promptly appoint a single proxy to represent him or her in commission affairs and to vote on all matters when the Commissioner is not in attendance. The proxy shall be designated in a signed written instrument kept on file at the Commission offices.
- (b) The proxy shall serve at the pleasure of the Commissioner who appointed him or her. A Commissioner shall promptly appoint a new proxy to fill any vacancy in that position.
- (c) The proxy for a Commissioner appointed by the selecting committee of airport managers shall have expertise in aviation.

2.4. Attendance Requirements

- (a) A Commissioner who is unable to attend a meeting shall be responsible for notifying his or her proxy and shall also notify the ALUC Director that the proxy will be attending in his or her place.
- (b) If a Commissioner misses three consecutive regular meetings and the Commissioner's proxy does not attend in his or her place during that period, the Director shall notify the body that appointed the Commissioner so that it may consider whether to replace that individual.

2.5. Election and Terms of Officers

- (a) The ALUC shall elect a Chairman and Vice-Chairman. Elections shall take place at the regularly scheduled meeting in April or, if a meeting is not held in April, at the next regularly scheduled meeting.
- (b) Officers shall take office beginning in May or, if a meeting is not held in May, at the next regularly scheduled meeting and shall serve until the following May or until their successors are elected at the next ALUC meeting thereafter.
- (c) In case of a vacancy in the office of either Chairman or Vice-Chairman, the ALUC shall, at the next regularly scheduled meeting of the Commission, elect a successor to serve the unexpired term.

2.6. Duties of Officers

- (a) The Chairman shall:
 - (1) Preside at all meetings of the Commission and conduct the business of the Commission in the manner prescribed by these Bylaws.
 - (2) Confer with the Director regarding draft meeting agendas prior to their distribution.
 - (3) Perform other duties customarily performed by a Chairman.
- (b) The Vice-Chairman shall, in the Chairman's absence or inability to act, assume all powers and duties of the Chairman.
- (c) In the absence or inability to act of both the Chairman and Vice-Chairman, the Commissioners in attendance shall elect a Chairman Pro-Tempore. The Chairman Pro-Tempore shall then preside and shall exercise all of the powers and duties of the Chairman.

2.7. Staff

(a) A staff member of the Transportation and Land Management Agency (TLMA) shall serve as the Director of the ALUC. The ALUC Director shall be responsible for the following, either directly or with assistance of other staff:

- (1) Receipt and review of proposed actions submitted to the ALUC for review in accordance with provisions of state law and the Riverside County Airport Land Use Compatibility Plan.
- (2) Coordinate and consult with staffs of local government agencies regarding specific projects those agencies refer to the ALUC for review and the manner in which the ALUC policies apply thereto; also informal consultation with project proponents.
- (3) Consult with the ALUC Chairman regarding meeting agendas and other matters of concern to the Commission.
- (4) Provide public notice of matters before the ALUC as may be required by state law and normal practice of the County of Riverside.
- (5) Prepare meeting agendas and staff reports and distribute these documents to ALUC members and their proxies.
- (6) Ensure adequate staffing is provided for ALUC meetings.
- (7) Prepare draft resolutions for those agenda items requiring them.
- (8) Prepare meeting minutes.
- (9) Other matters pertaining to the business of the ALUC.
- (10) The Director shall ensure that a copy of the meeting agenda, together with staff reports and other material pertinent to the items on the agenda is delivered to each Commissioner and his/her proxy at least two days prior to the meeting date.
- (b) The Riverside County Office of County Counsel shall serve as or provide for legal staff for the ALUC.

3. MEETINGS ARRANGEMENTS

3.1. Meeting Schedule

- (a) Regular meetings of the ALUC shall be held on the second Thursday of the month at a time adopted by consent of the Commission. beginning at 9:00 a.m. If the regular meeting date falls on a holiday recognized by the County of Riverside, the Commission may by majority vote move the meeting. The Chairman may cancel a regularly scheduled meeting if there is no business to be conducted in that month.
- (b) Special meetings may be called by the Chairman or by a majority of the members of the Commission provided that written notice is mailed to all members at least seven days prior to the meeting.

3.2. Meeting Location

(a) Meeting locations may vary depending upon the availability of meeting rooms and the need to hold public hearings in particular communities.

(b) The location of the next regular or special meeting shall, if possible, be determined prior to the close of the previous regular meeting. If the meeting location has not been determined at that time, written notice shall be mailed to all members at least seven days prior to the meeting.

3.3. Meeting Agenda

- (a) For each meeting of the ALUC, an agenda shall be prepared specifying the time, location, and order of business of the meeting.
- (b) Meeting agendas shall be accompanied by a staff report for each agenda item requiring ALUC action. The staff report shall provide background information regarding the matter at issue and indicate the Director's recommendation.

3.4. Ad Hoc Committees

- (a) An Ad Hoc Committee consisting of no more than three Commission members or their proxies may be formed to study specific issues before the ALUC.
- (b) The formation, purpose, membership, and subsequent dissolution of any Ad Hoc Committee shall be at the discretion of the Chairman or Acting Chairman presiding at a regular or special meeting of the Commission.

4. CONDUCT OF MEETINGS

4.1. Rules of Order

- (a) Except as otherwise provided in these bylaws and regulations of the Brown Act, meetings of the ALUC shall be open and public and all applicable requirements of the Brown Act shall apply.
- (b) The ALUC Chairman shall preserve order and decorum at meetings of the Commission and except as otherwise provided by 4.1 (c), shall decide rules of order.
- (c) The Commission may deliberate as to any item properly before it in accord with the Robert's Rules of Order upon a vote of the majority of those members present to deliberate an item in accord with these rules.
- (d) All questions of law shall be referred to the Office of County Counsel.

4.2. Order of Business

- (a) The order of business at a regular meeting of the ALUC shall generally be as follows:
 - (1) Call to order.
 - (2) Pledge of Allegiance.
 - (3) Roll call.
 - (4) Public hearing.

- (5) Administrative items.
- (6) Approval of minutes.
- (7) Oral communication on any matter not on the agenda.
- (8) Commissioner's comments.
- (9) Adjournment.

4.3. Public Input

- (a) When so required by state law, the ALUC shall hold a public hearing on agenda items under consideration. The order of presentation of hearings shall normally be:
 - (1) ALUC staff and, when applicable, consultant's presentations.
 - (2) Opening of public hearing.
 - (3) Presentation by submitting agency and/or project proponent.
 - (4) Comments by other interested parties.
 - (5) Commissioner questions and speaker responses.
 - (6) Close of public hearing.
 - (7) Commission discussion and deliberation.
 - (8) Motions and voting.
- (b) At the discretion of the Chairman, the ALUC may allow public comment on agenda items for which a formal public hearing is not required.
- (c) Any person desiring to address the ALUC shall submit a speaker request card to the ALUC staff, then, when recognized by the Chairman, step to the rostrum and state his or her name and address for the record.
- (d) In order to facilitate the business of the ALUC, the Chairman may limit the amount of time allowed for each speaker.
- (e) The Chairman may waive presentation by ALUC staff and/or project proponent if the ALUC staff recommendation finds the proposed project to be consistent with the ALUCP and there are no speaker request cards submitted to the ALUC Secretary at or by the time the agenda item was called for hearing, unless there is an objection made on the record by anyone present at the hearing.

4.4. Quorums and Voting

- (a) A majority of the ALUC's seven members constitutes a quorum for the purposes of conducting business.
- (b) Any action taken by the ALUC requires a majority vote of the full membership (i.e., four votes). Actions may be voted upon by voice vote unless any seated Commissioner, or a proxy acting in the place of a Commissioner, demands a roll call vote. The Chairman may make or second any motion without stepping down from the chair.

- (c) Proxies present at a meeting in place of a regular member shall be counted when determining the existence of a quorum or for voting purposes.
- (d) A Commissioner shall not vote on an item continued from a previous meeting in which the Commissioner was not in attendance unless he or she has listened to the tape recording or reviewed the minutes of the previous discussion and reviewed materials pertaining to that item. This rule also applies to a proxy voting in place of the Commissioner.

4.5. Conflicts of Interest

- (a) A Commissioner shall disqualify himself or herself from participating in the discussion and action on any matter regarding which the Commissioner has a conflict of interest in accordance with the provisions of the Political Reform Act of 1975 as amended.
- (b) A Commissioner's past or pending participation, as an elected or appointed member of another body, in actions related to a matter before the ALUC shall not be regarded as a conflict of interest. However, when acting in their capacity as an ALUC member, Commissioners should recognize that their decisions should be based solely upon the airport land use compatibility and other aviation-related factors that are the purview of the ALUC.
- (c) A Commissioner's proxy may participate in the discussion of and action on an item for which the Commissioner has disqualified himself or herself unless the proxy also has a conflict of interest. A proxy may take the Commissioner's place for a single item at a meeting in which the Commissioner is otherwise participating.

4.6. Minutes of Meetings

- (a) The proceedings of ALUC meetings shall be tape recorded. However, a lack or malfunction of the tape recording equipment shall not prevent continuation of a meeting.
- (b) The ALUC Director shall ensure that minutes are prepared for each meeting. Meeting minutes shall reflect actions taken by the ALUC, including motions made, the names of the Commissioners or proxies making and seconding the motion, and the vote tally. The minutes should not be limited to these actions.

AIRPORT LAND USE COMMISSION MINUTE ORDER MAY 10, 2018 RIVERSIDE MEETING

A regular scheduled meeting of the Airport Land Use Commission was held on May 10, 2018 at the Riverside County Administrative Center, Board Chambers.

COMMISSIONERS PRESENT:

Steve Manos, Chairman

Russell Betts Arthur Butler John Lyon Steven Stewart Richard Stewart

COMMISSIONERS ABSENT:

None

STAFF PRESENT:

John Guerin, Principal Planner

Paul Rull, Urban Regional Planner IV

Barbara Santos, ALUC Commission Secretary

Raymond Mistica, ALUC Counsel

OTHERS PRESENT:

Trip Hord, Lansing Stone Star Casey Malone, Everest at Perris Rob Mann, Other Interested Person Jim Roachelle, Other Interested Person Michael Schweitzer, SWS Engineering, Inc.

AIRPORT LAND USE COMMISSION MINUTE ORDER MAY 10, 2018 RIVERSIDE MEETING

I. AGENDA ITEM 2.1: ZAP1079FV18 – W. Development Partners of Temecula (Representative: Michael Schweitzer, SWS Engineering) - County Planning Case Nos. CUP03777 (Conditional Use Permit) and PM 37399 (Tentative Parcel Map). The applicant proposes to develop fifteen commercial buildings with a combined gross floor area of 138,495 square feet on 14.19 acres located on the northerly side of Benton Road, easterly of its intersections with Winchester Road and Penfield Lane, and westerly of a northerly straight line extension of Leon Road. The applicant envisions 7 office/warehouse buildings and 8 retail buildings (3 or 4 of which may include restaurants). Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.334 to 2.01 acres in size, providing individual lots for most of the proposed buildings. (Airport Compatibility Zones C, B1, and D of the French Valley Airport Influence Area). Continued from April 12, 2018. Staff Planner: John Guerin at (951) 955-0982, or e-mail at jquerin@rivco.org

II. MAJOR ISSUES

The applicant team is requesting a 12.5% risk-reduction density bonus based on use of concrete construction and single-story design without skylights for Buildings M1, S2, and B2 in order to comply with single-acre intensity criteria.

III. STAFF RECOMMENDATION

Staff recommends that the proposed Conditional Use Permit and Tentative Parcel Map, as amended, be found CONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011, subject to the amended conditions specified herein.

IV. PROJECT DESCRIPTION

Conditional Use Permit No. 3777 is a proposal to construct fifteen commercial buildings with a combined gross floor area of 138,495 square feet on 14.19 acres. The applicant envisions 7 office/warehouse and 8 retail buildings. Four of the retail buildings may include restaurants. Tentative Parcel Map No. 37399 would divide the project site into 15 lots ranging from 0.33 to 2.01 acres in size, providing individual lots for most of the proposed buildings.

CONDITIONS:

- 1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

AIRPORT LAND USE COMMISSION MINUTE ORDER MAY 10, 2018 RIVERSIDE MEETING

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, places of worship, critical community infrastructure facilities, aboveground bulk storage of more than 6,000 gallons of hazardous or flammable materials, highly noise sensitive outdoor nonresidential uses, and hazards to flight.
- 3. The attached notice shall be provided to all prospective purchasers of the proposed parcels and tenants or lessees of the buildings.
- 4. Prior to recordation of a final map or issuance of building permits, whichever comes first, the landowner shall convey an avigation easement to the County of Riverside as owner of French Valley Airport. Contact the Riverside County Economic Development Agency Aviation Division at (951) 955-9722 for additional information.
- 5. The proposed detention basins on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees around the basin(s) shall not form a contiguous canopy and shall not produce seeds, fruit, or berries.
- 6. Buildings shall be limited to a maximum top point elevation of 1,382 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service for any building whose top point elevation exceeds the runway elevation by more than one foot for every 100 feet of distance from the northerly end of the runway at French Valley Airport.
- 7. Noise attenuation measures shall be incorporated into the design of the office areas of the proposed buildings, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
- 8. Buildings R1, R3, and S1 authorized for retail and office uses shall not include any restaurants or food service facilities (establishments that are subject to retail food service inspections by the Department of Environmental Health, such as grocery stores, ice cream, yogurt, coffee, and snack sales establishments).

- 9. Retail and restaurant establishments are permissible in Building R2, but the seating area/dining area within all restaurants within the building shall be limited to a maximum of 1,000 square feet.
- 10. <u>Buildings R5 and M1 are</u> authorized for any type of retail (non-dining) or office uses not otherwise prohibited by these conditions.
- 11. Retail and restaurant uses are permissible within *Building R4*, but the seating area/dining area shall not exceed a maximum of 1,365 square feet.
- 12. Retail and restaurant establishments are permissible in Building S2, but the seating area/dining area within all restaurants in the building shall be limited to a maximum of 1,015 square feet. Additionally, any restaurant dining area/seating area shall be limited to the easterly 2,030 square foot suite as shown on Exhibit A5.2 and shall not include any portion of the northerly 25 feet of the westerly 10 feet thereof
- 13. Office and warehousing uses are permissible in Buildings B5 and B6, 9 and 14, but the proportion of each of these buildings utilized as office space shall not exceed 40 percent.
- 14. Office and warehousing uses are permissible in Building B7, 10, but the proportion of this building utilized as office space shall not exceed 35 percent.
- 15. Office and warehousing uses are permissible in Buildings *B1* and *B3*, 11 and 15, but the proportion of each of these buildings utilized as office space shall not exceed 50 percent.
- 16. Office and warehousing uses are permissible in Building B2, 12, but the proportion of this building utilized as office space shall not exceed 15 percent, and no portion of the westerly 124 feet of the southerly 34 feet of this building shall be utilized as office space or for any use other than warehousing.
- 17. A minimum of 3.1 acres of ALUC-qualifying open area shall be provided on the project site, as shown on the exhibit entitled "ALUC Exhibit Open Space." No trees, poles, fencing, or trash enclosures, or any other permanent items greater than four feet in height and four inches in diameter shall be placed within these areas.
- 18. <u>Buildings M1, S2, and B2 shall be single-story buildings with exterior walls constructed of concrete, concrete masonry, or concrete tilt-up materials and no skylights.</u>

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: John Guerin at (951) 955-0982, or e-mail at jquerin@rivco.org

The following spoke in favor of the project:

Rob Mann, Other Interested Person, 125 Stillman Street, San Francisco, CA 94107 Jim Roachelle, Other Interested Person, 125 Stillman Street, San Francisco, 94107 Michael Schweitzer, SWS Engineering, Inc., 261 Autumn Dr. #115, San Marcos, CA 92069

No one spoke in neutral or opposition to the project.

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VI. ALUC COMMISSION ACTION

The ALUC by a vote of 5-1 found the project **CONSISTENT**. Opposed: Commissioner Steven Stewart

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 2.1: TIME: 9:14 A.M.

I. AGENDA ITEM 3.1: ZAP1061PS18 – A0685 Cathedral City, LP — City of Cathedral City Planning Case Nos. GPA16-006 (General Plan Amendment), CZ16-005 (Change of Zone), CUP16-049 (Conditional Use Permit). The applicant is proposing to develop a 60-unit apartment complex for veterans (with a 2,964 square foot community room) on 6.5 acres located on the southwest corner of Landau Boulevard and Vega Road. The proposed project requires an amendment to the City's General Plan land use designation from RL Low Density Residential to RM Medium Density Residential, and a change of zone from R1 Single-Family Residential to R2 Multiple-Family Residential. (Airport Compatibility Zone E of the Palm Springs International Airport Influence Area).

II. MAJOR ISSUES

None

III. STAFF RECOMMENDATION

Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone <u>CONSISTENT</u> with the 2005 Palm Springs International Airport Land Use Compatibility Plan, and find the Conditional Use Permit <u>CONSISTENT</u>, subject to the conditions included herein.

IV: PROJECT DESCRIPTION

The applicant is proposing to develop a 60-unit apartment complex for veterans (with a 2,964 square foot community room) on 6.5 acres. The proposed project requires an amendment to the City's General Plan land use designation from RL Low Density Residential to RM Medium Density Residential, and a change of zone from R1 Single-Family Residential to R2 Multiple-Family Residential.

CONDITIONS:

- 1. Any new outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be given to all prospective purchasers of the property and tenants of the proposed apartments.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

V. MEETING SUMMARY

The following staff presented the subject proposal: Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONSISTENT**.

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.1: TIME: 9:53 A.M.

AGENDA ITEM 3.2: ZAP1015PV18 – Everest at Perris, LLC (Representative: Casey Malone) – City of Perris Planning Case Nos. 17-05148 (Zone Change), 17-00005 (Development Plan Review). The applicant proposes to construct a 141-unit senior apartment complex on 4.22 acres located on the northwest corner of Ellis Avenue and "A" street. The applicant also proposes to change the zoning of the site from Community Commercial (CC) to R-6,000 Single Family Residential 6,000 square foot lot minimum/Senior Housing Overlay (SHO) zone. (Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and Zone E of the Perris Valley Airport Influence Area).

II. MAJOR ISSUES

None

III. STAFF RECOMMENDATION

Staff recommends that the Commission find the proposed Zone Change <u>CONSISTENT</u> with the 2010/11 Perris Valley Airport Land Use Compatibility Plan and 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the Development Plan Review <u>CONDITIONALLY CONSISTENT</u>, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

IV. PROJECT DESCRIPTION

The applicant proposes to construct a 141-unit senior apartment complex on 4.22 acres. The applicant also proposes to amend the zoning of the site from Community Commercial (CC) to R-6,000 Single Family Residential 6,000 square foot lot minimum/Senior Housing Overlay (SHO) zone.

CONDITIONS: Final conditions await FAA approval

- 1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached disclosure notice shall be provided to all potential purchasers of the property and to tenants of the apartments thereon.
- 4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. An informational brochure shall be provided to prospective renters showing the locations of aircraft flight patterns. The frequency of overflights, the typical altitudes of the aircraft, and the range of noise levels that can be expected from individual aircraft overflights shall be described. A copy of the Compatibility Factors exhibit from the Airport Land Use Compatibility Plan shall be included in the brochure.
- 6. An informational sign shall be posted in the leasing/rental office clearly depicting the proximity of the project to Perris Valley Airport and aircraft traffic patterns.

V. MEETING SUMMARY

The following staff presented the subject proposal: Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

The following spoke in favor of the project: Casey Malone, Everest at Perris, LLC, San Diego, CA 92130

No one spoke in neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6.0 found the project **CONSISTENT** (Change of Zone); **CONDITIONALLY CONSISTENT** (Development Plan Review).

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.2: TIME: 9:56 A.M.

I. AGENDA ITEM 3.3: ZAP1308MA18 – Newcastle Partners, Inc., Jackson Smith (Representative: T&B Planning, George Atalla) – City of Moreno Valley Case Nos. PEN18-0023 (Plot Plan), PEN18-0024 (General Plan Amendment), PEN18-0025 (Change of Zone). The applicant proposes to construct a 203,712 square foot warehouse facility (193,712 square feet warehouse area, 10,000 square feet of office area) on an 8.8-acre site located on the northeast corner of Frederick Street and Brodiaea Avenue. The applicant also proposes to amend the site's land use designation from Office to Business Park/Light Industrial, and change the zoning from Office to Light Industrial. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).

II. MAJOR ISSUES

None

III. STAFF RECOMMENDATION

Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone <u>CONSISTENT</u> with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Plot Plan <u>CONDITIONALLY CONSISTENT</u>, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

STAFF RECOMMENDED AT HEARING

<u>CONSISTENT</u> (GPA, Change of Zone and Plot Plan), subject to updated conditions submitted at the meeting which includes FAA OES conditions

IV. PROJECT DESCRIPTION

The applicant proposes to construct a 203,712 square foot warehouse facility (193,712 square feet warehouse area, 10,000 square feet office area) on an 8.8-acre site. The applicant also proposes to amend the site's land use designation from Office to Business Park/Light Industrial, and change the zoning from Office to Light Industrial.

CONDITIONS:

- Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production Page 10 of 17

of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the property and shall be recorded as a deed notice.
- 4. No detention basins are shown on the plot plan. Any new **ground-level or aboveground water** detention basins **or facilities** on the site (including water quality management basins) shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

The following conditions were added at the May 10, 2018 ALUC hearing.

- 6. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study Nos. 2018-AWP-7253-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.
- 7. The proposed buildings shall not exceed a height of 41 feet above ground level and a maximum elevation at top point of 1,604 feet above mean sea level.
- 8. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 9. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 41 feet in height and a maximum elevation of 1,604 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 10. Within five (5) days after construction of any individual building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to https://oeaaa.faa.gov for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structures(s).

V. MEETING SUMMARY

The following staff presented the subject proposal: Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONSISTENT** (GPA, Change of Zone and Plot Plan), subject to updated conditions submitted at the meeting which includes FAA OES conditions

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.3: TIME: 9:59 A.M.

I. AGENDA ITEM 3.4: ZAP1302MA18 – Trojan Solar/Southwest Premier Properties, LLC (Representative: Tom Malone/Teresa Harvey) – County of Riverside Permit No. BEL1800836 (Building Electrical Permit). A proposal to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site located northerly of Placentia Avenue, easterly of Harvill Avenue, westerly of BNSF rail line and I-215 Freeway, and southerly of Walnut Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. MAJOR ISSUES

No glare would occur within the final 2 mile approach to runway 32. Low potential ("green") level glare would occur outside the final 2 mile approach to runway 32 within the closed circuit traffic pattern envelope. FAA Interim Policy for FAA review of Solar Energy System Projects only applies to final approach within 2 miles from the end of the runway.

III. STAFF RECOMMENDATION

Staff recommends that the proposed Building Permit be found <u>CONSISTENT</u>, subject to the conditions included herein.

STAFF RECOMMENDED AT HEARING

CONTINUE to 6/14/18

IV. PROJECT DESCRIPTION

The applicant proposes to establish a 330 kW solar panel system on the rooftop of a 56,000 square foot building used as a cross dock loading platform on a 19.2 acre site.

The original project to develop a truck terminal distribution facility (ZAP1246MA17) was found consistent by the Commission on May 11, 2017.

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

No one spoke in favor, neutral or opposition to the project.

VI. ALUC-COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 **CONTINUED** the project to June 14, 2018.

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.4: TIME: 10:03 A.M.

I. AGENDA ITEM 3.5: ZAP1054HR18 – Lansing Stone Star, LLC (Representative: Trip Hord) – County of Riverside Planning Case Nos. CZ7833 (Change of Zone), TR36504 (Tentative Tract Map). The applicant proposes to divide 162 acres located on the northeast corner of Winchester Road and Stetson Avenue into 527 single family residential lots, including an 8.5 acre park lot, a 4.7 acre detention basin lot, and an 18 acre open space lot. The applicant also proposes to change the zoning of the site from Light Agriculture 10-acre minimum (A-1-10), Heavy Agriculture 10-acre minimum (A-2-10), Residential Agricultural 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). (Also proposed is an offsite 4.54 acre water quality basin on the adjacent 99 acre parcel located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road.) (Airport Compatibility Zones D and E of the Hemet-Ryan Airport Influence Area).

II. MAJOR ISSUES

None

III. STAFF RECOMMENDATION

Staff recommends that the proposed Change of Zone be found <u>CONSISTENT</u> with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan and that the proposed Tentative Tract Map be found <u>CONDITIONALLY CONSISTENT</u> with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

STAFF RECOMMENDED AT HEARING

<u>CONSISTENT</u> (Change of Zone, Tract Map) subject to updated conditions submitted at the meeting which includes FAA OES conditions

IV. PROJECT DESCRIPTION

The applicant proposes to divide 162 acres into 527 single family residential lots, an 8.5-acre park lot, 4.7-acre detention basin lot, and 18-acre open space lot. The applicant also proposes to change the zoning of the site from Light Agriculture 10-acre minimum (A-1-10), Heavy Agriculture 10-acre minimum (A-2-10), Residential Agricultural 20-acre minimum (R-A-20), and Rural Residential (R-R) to Planned Residential (R-4). (Also proposed is an offsite 4.54 acre water quality basin on the adjacent 99 acre parcel located southerly of Stetson Avenue, northerly of Stowe Road, and easterly of Richmond Road.)

CONDITIONS:

- 1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site, in accordance with Note 1 on Table 4 of the Harvest Valley/Winchester Area Plan:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final Page 14 of 17

approach towards a landing at an airport.

- (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The following uses/activities are specifically prohibited at this location: trash transfer stations that are open on one or more sides; recycling centers containing putrescible wastes; construction and demolition debris facilities; wastewater management facilities; incinerators; noise-sensitive outdoor nonresidential uses; and hazards to flight.
- 4. The attached notice shall be provided to all prospective purchasers of the proposed lots and to tenants of the homes thereon.
- 5. The proposed water quality basin and the detention basin shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

The following conditions were added at the May 10, 2018 ALUC hearing.

- 6. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study No. 2018-AWP-7410-OE) and has determined that neither marking nor lighting of the structure(s) is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 1 and shall be maintained in accordance therewith for the life of the project.
- 7. The proposed buildings shall not exceed a height of 30 feet above ground level and a maximum elevation at top point of 1,637 feet above mean sea level.
- 8. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 9. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 30 feet in height and a maximum elevation of 1,637 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 10. Within five (5) days after construction of any individual building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to https://oeaaa.faa.gov for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structures(s).

V. MEETING SUMMARY

The following staff presented the subject proposal:

Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

The following spoke in favor of the project:
Trip Hord, Lansing Stone Star, Riverside, CA 92507

No one spoke in neutral or opposition to the project.

VI. ALUC COMMISSION ACTION

The ALUC by a unanimous vote of 6-0 found the project **CONSISTENT** (Change of Zone, Tract Map) subject to updated conditions submitted at the meeting which includes FAA OES conditions.

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 3.5: TIME: 10:12 A.M.

1. 4.0 ADMINISTRATIVE ITEMS

- 4.1 <u>Director's Approvals</u> Information only
- 4.2 ALUC Director's Report: The Path Forward Following the Release of the 2018 Air Installation Compatible Use Zones Report for March Air Reserve Base/Inland Port Airport

 In the absence of Simon Housman, ALUC Director, Paul Rull, ALUC staff briefed the Commission regarding the ongoing JLUS discussions with ALUC staff, Airforce staff and the Office of Economic Adjustment. Staff is still in the process of analyzing what the best approach is and will have a response at the next ALUC meeting on June 14th.

4.3 Policy Regarding Complex Speculative Commercial Projects

Paul Rull, ALUC staff indicated that staff has been receiving more projects that are speculative in nature i.e., not tenant specific and had multiple buildings and lots. Staff is looking to formulate a policy that will address the significant amount of time that staff uses on these types of projects to try and recover costs. Staff will provide further information at the July 12th meeting.

II. 5.0 APPROVAL OF MINUTES

The ALUC Commission by a vote of 6-0 approved the April 12, 2018 minutes.

III. 6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

Paul Rull, ALUC staff informed the Commission that the Riverside County Board of Supervisors appointed a new County Representative, Gary Youmans to replace Commissioner Glen Holmes. Staff will prepare a Certificate of Appreciation for Commissioner Holmes thanking him for this work and service of 12 years. Commissioner Youmans will be officially sworn in to the Commission at our next ALUC meeting on June 14th.

IV. 7.0 COMMISSIONER'S COMMENTS

None

V. 8.0 ADJOURNMENT

Steve Manos, Chairman adjourned the meeting at 10:36 a.m.

VI. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org.

ITEM 4.0: TIME IS: 10:28 A.M.