

5

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.1

**HEARING DATE:** October 8, 2020

**CASE NUMBER:** ZAP1103FV20 – French Valley Marketplace, LLC  
(Representative: Halferty Development Company, LLC)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** PP26344S02 (Plot Plan Substantial Conformance)

**LAND USE PLAN:** 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

**Airport Influence Area:** French Valley Airport

**Land Use Policy:** Airport Compatibility Zone C

**Noise Levels:** outside 55 CNEL contour

**MAJOR ISSUES:** While there are no ALUC issues with the proposed revisions to Building 5, it has to be noted, on a broader level, that the applicant has indicated similar changes to other buildings within the commercial center in the future. Like in the situation for Building 5, any increases in square footages or change in use would prompt ALUC review as required by the original conditions set forth in ZAP1087FV19.

**RECOMMENDATION:** Staff recommends that the Commission find the Plot Plan Substantial Conformance CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to increase the square footage of previously approved Building 5 restaurant with drive-thru from 1,800 square feet to 2,200 square feet on a 3.00 acre parcel, as part of an overall sixteen building commercial center on 21.16 acres.

The previous proposal (ZAP1087FV19) to construct sixteen buildings with a combined total of 132,568 square feet on 21.16 acres was found consistent by the Commission on April 11, 2019.

**PROJECT LOCATION:** The site is located on the northeast corner of Thompson Road and Highway 79 Winchester Road, approximately 6,270 feet northeasterly of the northerly end of Runway 18-36 at French Valley Airport.

**BACKGROUND:**

Original ALUC Case ZAP1087FV19: The original project proposed sixteen commercial buildings with a combined gross floor area of 132,568 square feet on 21.16 acres. The original 1,800 square foot Building 5 included 630 square feet of dining room area, 1,170 square feet of commercial kitchen area, 14 outdoor dining seats, and a 8 car stack drive-thru on 3.00 acres (shared with Buildings 6 and 7). This resulted in an average intensity of 78 people per acre (for the combined parcel) and a single acre intensity of 74 people (for just Building 5), both of which were consistent with Zone C average intensity criterion of 80 people per acre and single acre intensity criterion of 160 people (per Additional Policy #2.3).

Non-Residential Average Land Use Intensity: Pursuant to the French Valley Airport Land Use Compatibility Plan (ALUCP), the project is located within Compatibility Zone C. Zone C restricts average intensity to 80 people per acre through French Valley Airport Additional Compatibility Policy #2.3.

Current Revised Project ZAP1103FV20: The applicant proposes to increase the size of Building 5 from 1,800 square feet to 2,200 square feet (there are no changes to the overall parcel size).

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included within the French Valley ALUCP, the following rates were used to calculate occupancy for the proposed building:

- Restaurant dining area – 1 person per 15 square feet
- Restaurant kitchen area – 1 person per 200 square feet
- Office area – 1 person per 200 square feet
- Storage area – 1 person per 300 square feet

The proposed Building 5 includes: 376 square feet of dining area, 939 square feet of commercial kitchen area, 40 square feet of office area, 330 square feet of storage area, 14 outdoor dining seats, and a 7 car stack drive-thru, accommodating a total occupancy of 57 people, resulting in an average intensity of 72 people per acre, which is consistent with the Zone C criterion of 80 people per acre, and lower than the original project occupancy intensity.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). The original project provided 427 parking stalls for the entire site, accommodating a total occupancy of 641 people, resulting in an average intensity of 30 people per acre, which is consistent with the Compatibility Zone C average criterion of 80 people per acre. The proposed revisions to Building 5 will not change any of the parking calculations.

Non-Residential Single-Acre Land Use Intensity: Pursuant to the French Valley ALUCP, single-acre intensities are limited to 160 persons within Zone C.

Based on the proposed floor plan provided and the occupancies as previously noted, the maximum single-acre intensity is located over the building and includes 376 square feet of dining area, 939 square feet of commercial kitchen area, 40 square feet of office area, 330 square feet of storage area, 14 outdoor dining seats, and a 7 car stack drive-thru, accommodating a total occupancy of 57 people, which is consistent with the Compatibility Zone C criterion of 160.

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone C.

Noise: The French Valley ALUCP depicts the site as outside the 55 CNEL range from aircraft noise. Therefore, no special measures to mitigate aircraft-generated noise are required.

Part 77: The elevation of Runway 18-36 at its northerly terminus is 1,347 feet above mean sea level (1,347 feet AMSL). At a distance of approximately 6,270 feet from the runway to the closest parcel within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,409 feet AMSL. The maximum finished floor elevation for the site is 1,365 feet AMSL. With a maximum building height of 36 feet, the top point elevation would be 1,401 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service was not required. A condition has been included limiting building heights, including roof-mounted equipment, to 43 feet and top point elevation to 1,408 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" is issued for a higher top point elevation.

The proposed revision to Building 5 will not increase building height.

Open Area: The original project site was located within Airport Compatibility Zones C and D of the French Valley Airport Influence Area, which requires projects 10 acres or larger to designate 20% (in Zone C) and 10% (in Zone D) of project area as ALUC-qualifying open area that could potentially serve as emergency landing areas. Based on the original project size located within these Compatibility Zones (3.51 acres in Zone C, 17.65 acres in Zone D), the project was required to provide a minimum of 2.47 acres of open area consistent with ALUC open area criteria. (Zone C requires 0.70 acres; Zone D requires 1.77 acres.) The applicant provided 2.58 acres of open area in total within the drive aisles and parking areas. These areas were conditioned to maintain a minimum shape of 75 feet in width and 300 feet in length, and shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

The proposed revision to Building 5 would not impact the ALUC open area.

#### **CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, and shall comply with the requirements of Riverside County Ordinance No. 655, as applicable. Outdoor lighting shall be downward facing.

2. The review of this Plot Plan is based on the proposed uses and activities noted in the project description. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, critical community infrastructure facilities, highly noise sensitive outdoor nonresidential uses, and hazards to flight.
3. The attached notice shall be provided to all prospective purchasers of the proposed parcels and tenants or lessees of the buildings, and shall be recorded as a deed notice.
4. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and Riverside County Economic Development Agency as owner and operator of French Valley Airport. In the event of any reasonable complaint about glare related to aircraft operations, the applicant shall agree to such specific mitigation measures as determined or requested by Riverside County Economic Development Agency.
5. Any basins shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in



and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the infiltration basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist. The infiltration basin shall be designed in accordance with all parameters identified in the Wildlife Hazard Management at Riverside County Airports: Background and Policy, including 48 hours drawdown, steep slopes (steeper than 3:1), avoid landscaping or provide appropriate landscaping reviewed by a qualified biologist that will not be attractive to hazardous wildlife and adequately maintained, and consider the use of covers.

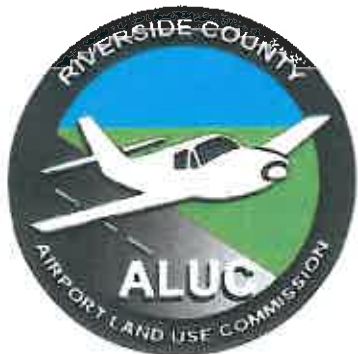
A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

6. Any increase in building area, change in use or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria.
7. Buildings shall be limited to a maximum height of 43 feet and a maximum top point elevation of 1,408 feet above mean sea level unless a "Determination of No Hazard to Air Navigation" letter authorizing a higher top point elevation has been issued by the Federal Aviation Administration Obstruction Evaluation Service.
8. At least 2.58 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length), as depicted on the Open Space exhibit, a copy of which is attached, shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**



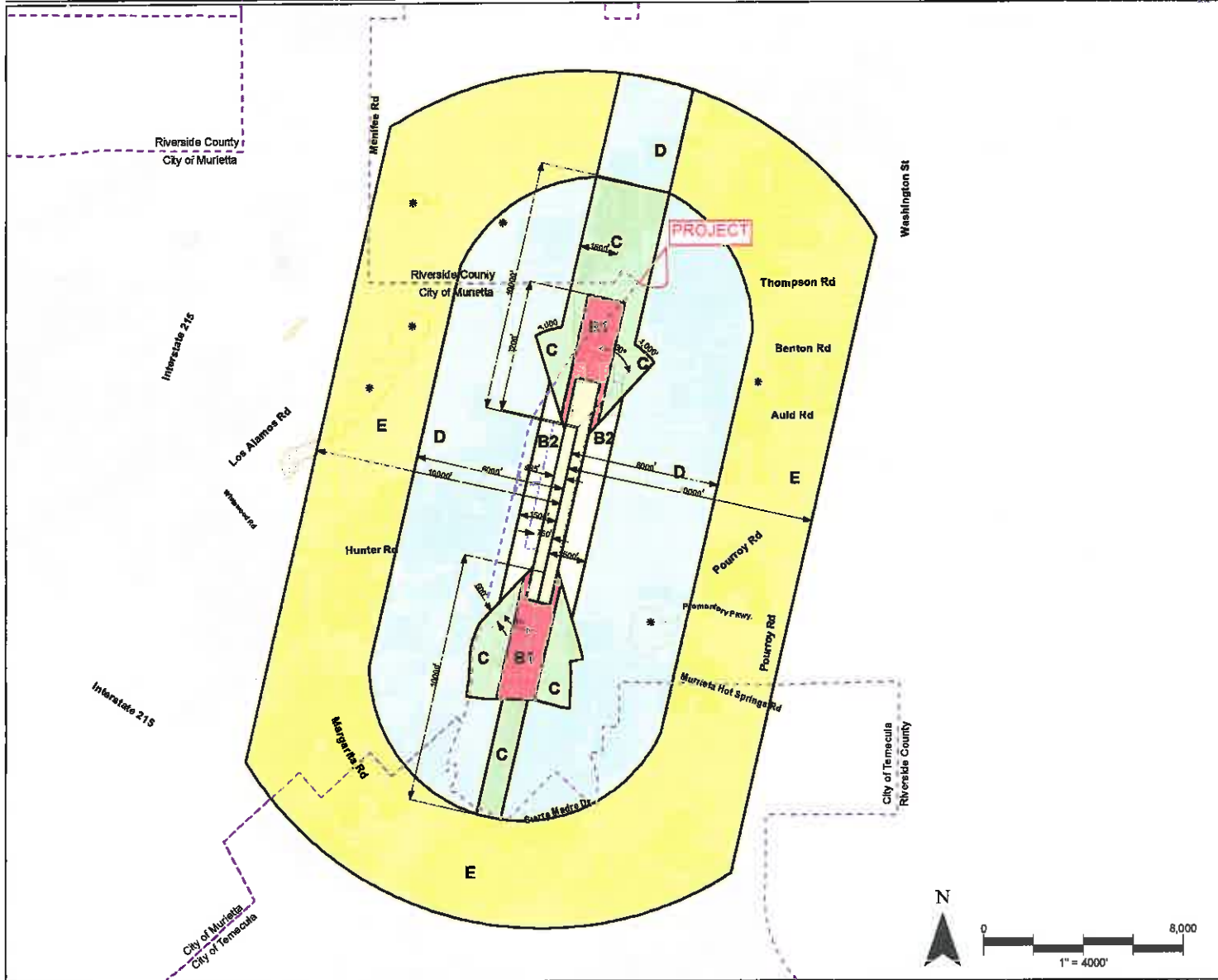
**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

**Boundary Lines**

- Airport Property Line
- - - City Limits
- \* Height Review Overlay Zone

**Note**

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

Riverside County  
 Airport Land Use Commission  
 Riverside County  
 Airport Land Use Compatibility Plan  
 Policy Document

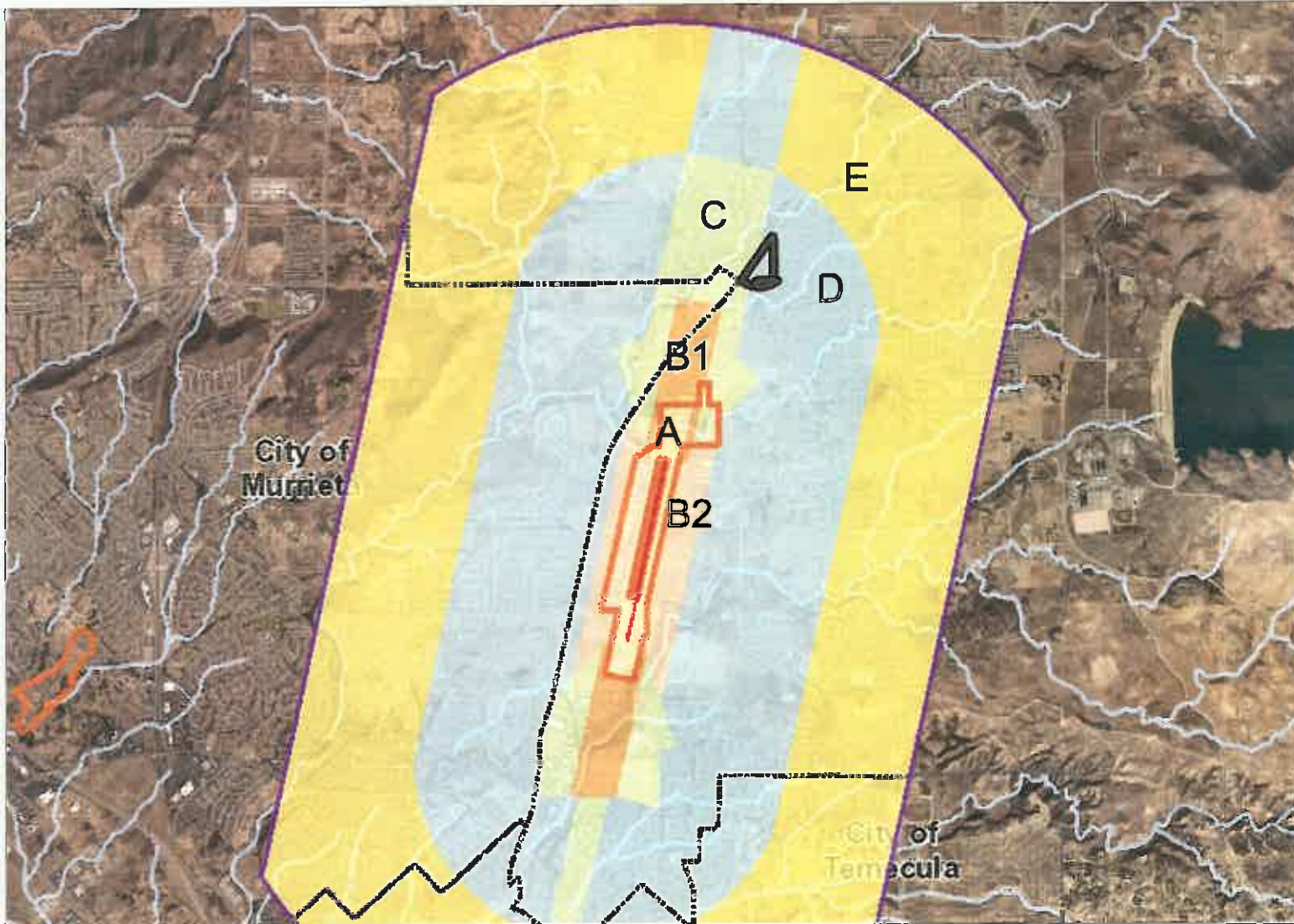
(April 2010)

Map FV-1

**Compatibility Map**  
 French Valley Airport



# Map My County Map



**Legend**

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

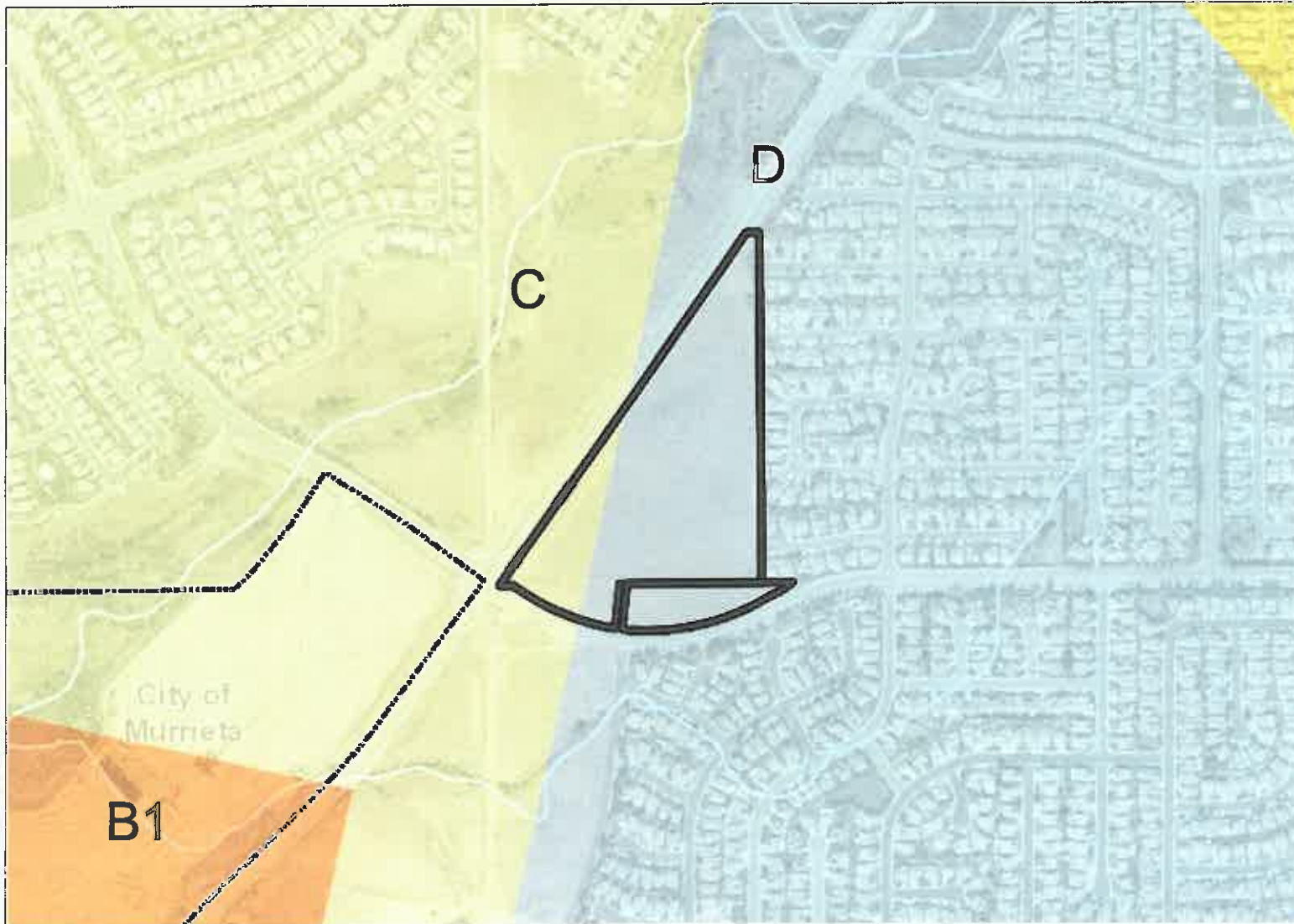


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**Notes**

# Map My County Map



**Legend**

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- ▨ OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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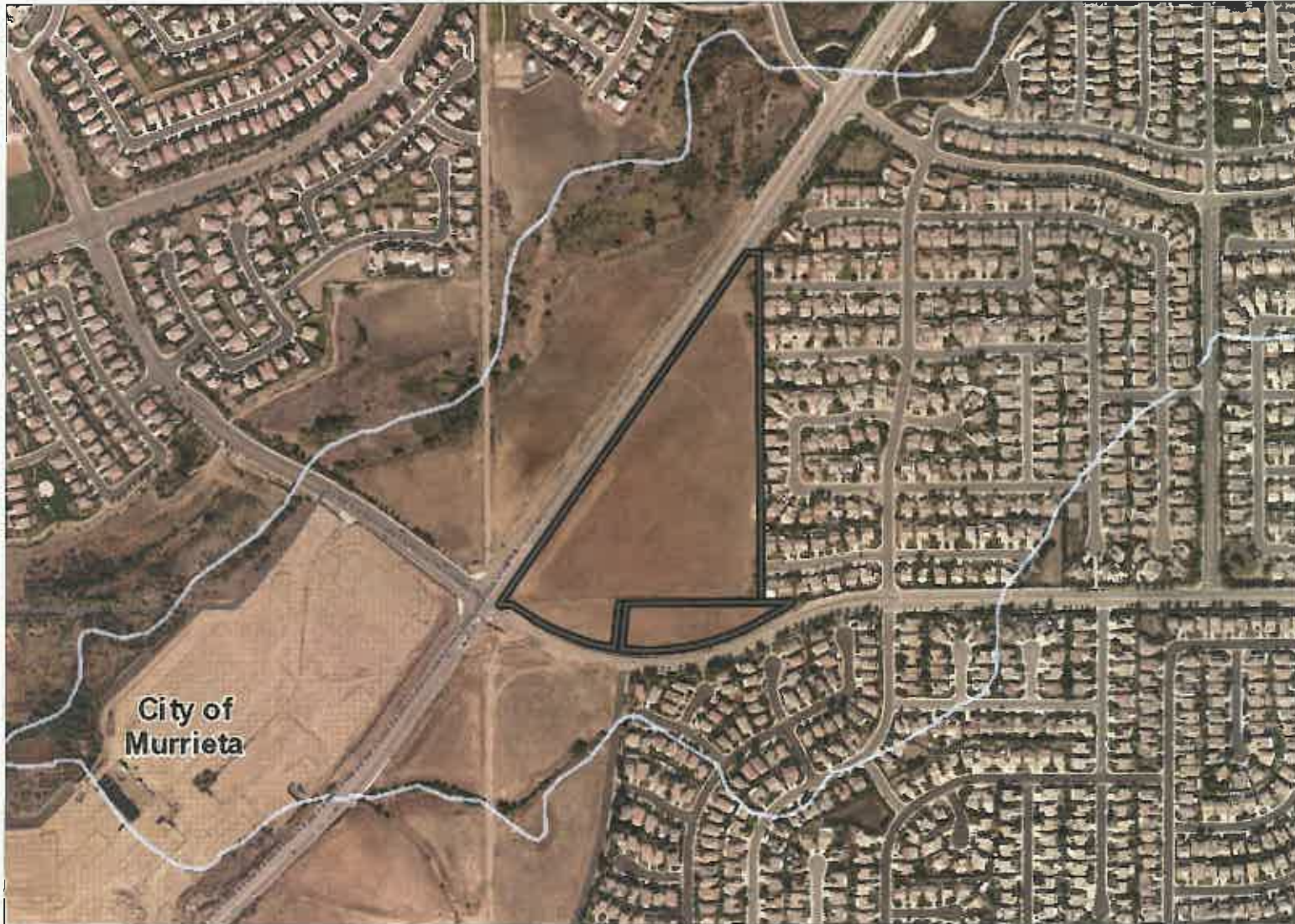
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**Notes**



# Map My County Map



City of  
Murrieta

### Legend

- Blueline Streams
- City Areas
- World Street Map

### Notes



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# Map My County Map



## Legend

- Blueline Streams
- City Areas
- World Street Map



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## Notes



# Map My County Map



## Legend

- Blueline Streams
- City Areas
- World Street Map



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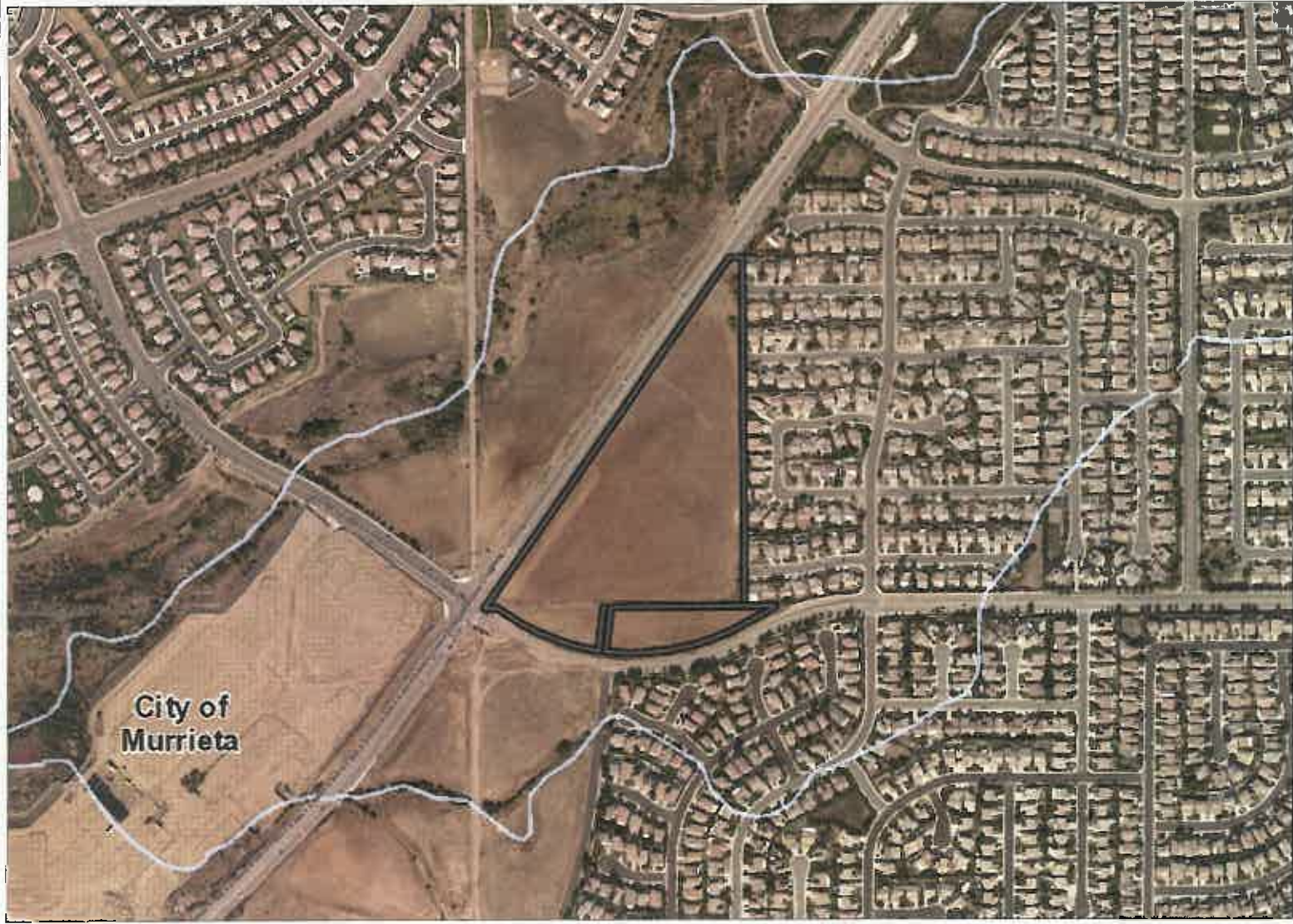
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## Notes



# Map My County Map



City of  
Murrieta

## Legend

- Blueline Streams
- City Areas
- World Street Map



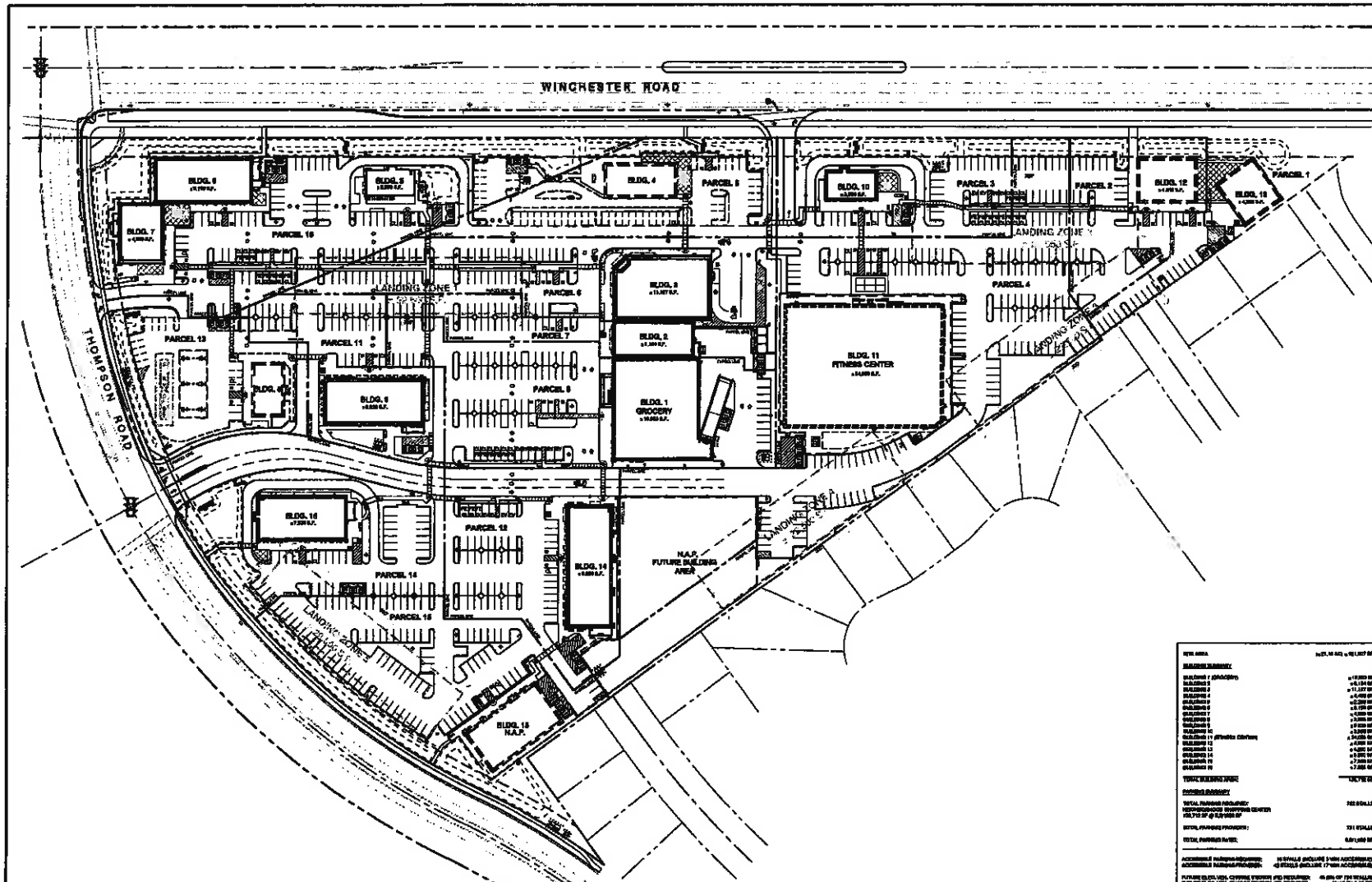
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## Notes



# BUILDING 5 EXHIBIT SITE PLAN

## French Valley Marketplace

NEC Winchester Rd. and Thompson Rd.  
Riverside County, CA



mg ARCHITECTURE  
 1000 17th Street, Suite 300, Irvine, CA 92614  
 Tel: 949.453.2222 Fax: 949.453.2223

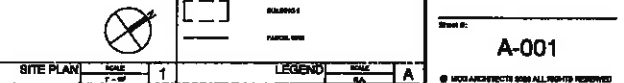


Project for:  
**FRENCH VALLEY MARKETPLACE  
 PAD 5**  
 FRENCH VALLEY,  
 RIVERSIDE COUNTY, CALIFORNIA 92586

Client:  
**HALFERTY DEVELOPMENT  
 COMPANY**  
 100 SOUTH LOS ROBLES AVE., STE. 840  
 PASADENA, CA 91101

<b>AREA DATA</b>		DATE: 04/11/2018
<b>BUILDING SUMMARY</b>		
BUILDING 1 (GARAGE)	14,183 SQ FT	
BUILDING 2 (GARAGE)	14,183 SQ FT	
BUILDING 3 (KIOSK)	1,000 SQ FT	
BUILDING 4 (RETAIL)	10,000 SQ FT	
BUILDING 5 (RETAIL)	10,000 SQ FT	
BUILDING 6 (RETAIL)	10,000 SQ FT	
BUILDING 7 (RETAIL)	10,000 SQ FT	
BUILDING 8 (RETAIL)	10,000 SQ FT	
BUILDING 9 (RETAIL)	10,000 SQ FT	
BUILDING 10 (RETAIL)	10,000 SQ FT	
BUILDING 11 (FITNESS CENTER)	10,000 SQ FT	
BUILDING 12 (RETAIL)	10,000 SQ FT	
BUILDING 13 (RETAIL)	10,000 SQ FT	
BUILDING 14 (RETAIL)	10,000 SQ FT	
BUILDING 15 (RETAIL)	10,000 SQ FT	
BUILDING 16 (RETAIL)	10,000 SQ FT	
<b>TOTAL BUILDING AREA:</b>		<b>120,000 SQ FT</b>
<b>LANDSCAPING AREA:</b>		<b>70,000 SQ FT</b>
<b>NET AVAILABLE SQUARE FEET:</b>		<b>190,000 SQ FT</b>
<b>NET AVAILABLE SQUARE FEET (NET TO BE BUILT):</b>		<b>190,000 SQ FT</b>
<b>NET AVAILABLE SQUARE FEET (NET TO BE BUILT) (WITH PARKING):</b>		<b>190,000 SQ FT</b>
<b>FUTURE DEVELOPMENT CHANGING PERMITTED (FUTURE PERMITTED CHANGING PERMITTED):</b>		<b>0 SQ FT (0% OF TOTAL)</b>
<b>PERMITTED TO BE BUILT (PERMITTED TO BE BUILT) (WITH PARKING):</b>		<b>190,000 SQ FT (100% OF TOTAL)</b>
<b>PERMITTED TO BE BUILT (PERMITTED TO BE BUILT) (WITH PARKING) (WITH PARKING):</b>		<b>190,000 SQ FT (100% OF TOTAL)</b>
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<b>PERMITTED TO BE BUILT (PERMITTED TO BE BUILT) (WITH PARKING) (WITH PARKING) (WITH PARKING) (WITH PARKING) (WITH PARKING) (WITH PARKING) (WITH PARKING):</b>		<b>190,000 SQ FT (100% OF TOTAL)</b>
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No.	Description	Date
1	PROJECT NO. 18,254,10	04-08-18
Drawing By: _____		
Checked By: _____		
Designed By: _____		
Scale: AS NOTED		
Date: 04-08-18		
Project: _____		
Sheet Title: _____		
Sheet No.:		
<b>A-001</b>		
© ARCHITECTS TO OWN ALL RIGHTS RESERVED		





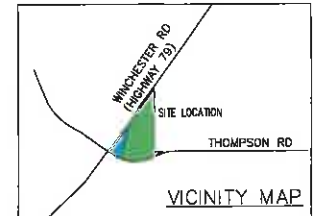
# ALUC SINGLE ACRES



NOT TO SCALE

**LEGEND**

- = ZONE C
- = ZONE D



**SITE DATA**

<b>SITE AREA</b>		
GROSS SITE AREA	(± 21.16 AC)	±921,807 SF
NET SITE AREA	(± 19.29 AC)	±840,432 SF
<b>ZONING</b>		
PLANNING AREA 22		
SF QUINTA DO LAGO		
SF#284 PA 22 & 23		

SETBACKS:		
INTERIOR-ADJACENT TO RESIDENTIAL:		25'
INTERIOR-ADJACENT TO OTHER ZONES:		0'
STREET:		25'
MAXIMUM BUILDING HEIGHT:		40'

**PARKING SUMMARY**

<b>PARKING REQUIRED:</b>		
NEIGHBORHOOD SHOPPING CENTER - PHASE 1		362 STALLS
(65,880 S.F. @ 5.5 /1,000 S.F.)		
NEIGHBORHOOD SHOPPING CENTER - PHASE 2		369 STALLS
(67,086 S.F. @ 5.5 /1,000 S.F.)		
<b>TOTAL PARKING REQUIRED:</b>		<b>731 STALLS</b>
<b>TOTAL PARKING PROVIDED:</b>		
STANDARD: (9'X18')		808 STALLS
HANDICAPPED: (9'X18')		759 STALLS
		44 STALLS

**AIRPORT ZONE SUMMARY**

<b>ZONE C:</b>		
BUILDING 5		±2,200 SF
BUILDING 6		±7,850 SF
BUILDING 7		±4,750 SF
<b>SUBTOTAL BUILDING AREA:</b>		<b>±14,800 SF</b>
BUILDINGS COMPRISE 6.65% OF ZONE C		
<b>ZONE D:</b>		
BUILDING 1 (GROCERY)		±16,000 SF
BUILDING 2		±5,000 SF
BUILDING 3		±11,115 SF
BUILDING 4		±4,400 SF
BUILDING 8		±3,065 SF
BUILDING 9		±8,000 SF
BUILDING 10		±2,500 SF
BUILDING 11 (FITNESS CENTER)		±33,998 SF
BUILDING 12		±5,000 SF
BUILDING 13		±4,000 SF
BUILDING 14		±9,700 SF
BUILDING 15		±7,888 SF
BUILDING 14		±6,800 SF
<b>SUBTOTAL BUILDING AREA:</b>		<b>±118,146 SF</b>
BUILDINGS COMPRISE 13.58% OF ZONE D		
<b>TOTAL BUILDING AREA:</b>		<b>±132,946 SF</b>

PRELIMINARY SITE PLAN SUBJECT TO CHANGE.

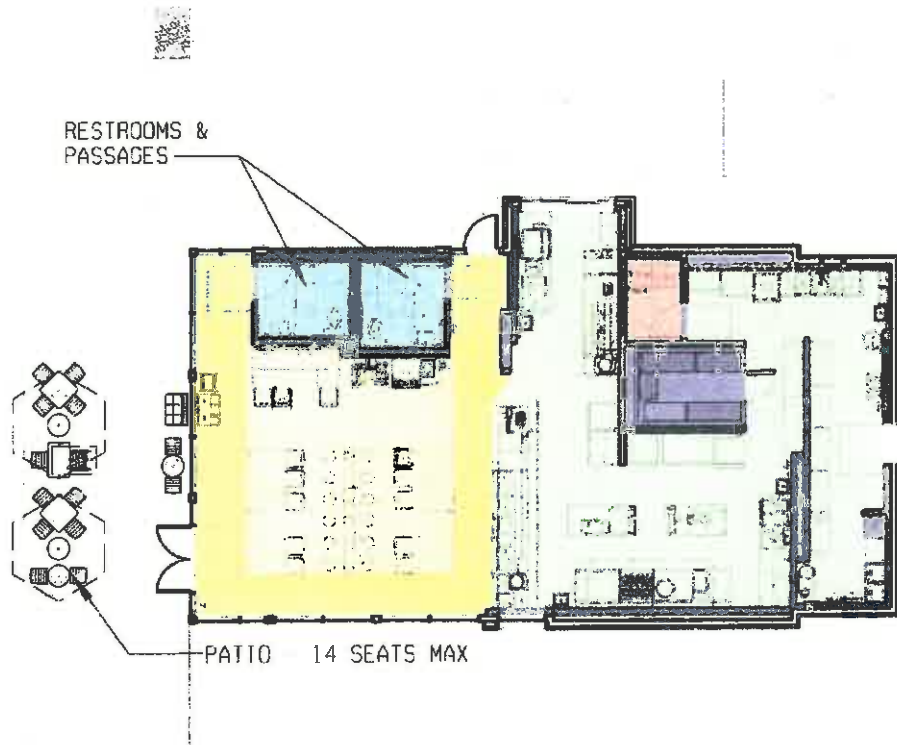
FRENCH VALLEY MARKET PLACE  
 FRENCH VALLEY - RIVERSIDE COUNTY, CALIFORNIA  
 Halferty Development Company  
 199 SOUTH LOS ROBLES AVE, SUITE 840 PASADENA, CALIFORNIA 91101

**CASC**  
 Engineering and Consulting  
 1-76 EAST DOOLEY DRIVE, COVINGTON, CA 95524  
 PH. (909) 787-0191

SP-42

**CALCULATIONS :**

OVERALL BUILDING	2,198 SF
DINING	376 SF
DINING CIRCULATION	361 SF
KITCHEN	939 SF
RESTROOMS	152 SF
ADMIN	40 SF
STORAGE/UNOCCUPIED	330 SF
OCCUPANT LOAD -	46



RESTROOMS & PASSAGES

PATIO 14 SEATS MAX

♿

♿

**French Valley: Site Plan**

06 August 2020

1/16" = 1'-0"



Copyright © 2020

Dungan Design Group, LLC

8826 Santa Fe Drive Suite 304 Overland Park KS 66212

**SITE PLAN 42.2**

(Table updated 03-20-2019)

\*Original Occupancy Table Dated 3.20.19  
Per Staff Report dated April 11, 2019

ALUC Zone	Max Average Acre	Max Single Acre	Zone Acreage (Gross)	Required Open Area
Zone C	80	160	3.51	0.70
Zone D	150	450	17.85	1.77
		<b>TOTAL</b>	<b>21.16</b>	<b>2.47</b>

Calculation Based on California Building Code

Building #	Parcel #	Building Type	Bldg. Size (SF)/ Drive-thru	Parcel Size (Gross Acres)	ALUC Zone	Square Footage Breakdown	Use	Building Code Ratio (persons/sq. ft.)	Calculated Occupancy	Max Building Occupancy	Single Acre	Average Acre per Zone (C/D)	Average Acre per Parcel	
6	10	Restaurant*		3.00		15	Assembly Area - Dining Rooms	15			74			
		Patio	14 seats max			14	Kitchen - Commercial	200						
		Drive-thru	8 cars max			8	Exterior Dining	1	14					
						525	Assembly Area - Dining Rooms	15	35					
						975	Kitchen - Commercial	200	5					
						6,350	Multi-tenant Retail	115	55					
						14	Patio	1	14	109				
						175	Restaurant*	500	15	12				
						325	Multi-tenant Retail	4,250	200	2				
						4,250	Multi-tenant Retail	115	37	51				160
1	8	Grocery with Pharmacy	16,000	1.67		16,000	Food Services	115	139	139			83	
2	7	Multi-tenant Retail	5,000	0.51		5,000	Retail	115	43	43				85
3	6	Pharmacy	11,115	1.32		11,115	Retail	115	97		282			75
		Drive-thru	1 car max			1	Drive-thru	1.5	2	99				
4	5	Restaurant*	4,400	1.14		1,540	Assembly Area - Dining Rooms	15	103		137	137		120
		Drive-thru	13 cars max			2,860	Kitchen - Commercial	200	14					
						13	Drive-thru	1.5	20	137				
8	13	Gas Station Convenience Store	3,065	0.98		3,065	Retail	115	27		45			46
		Gas Pumps	12 pumps			12	Gasoline Station	1.5	18	45				
9	11	Restaurant*	2,900	0.82		1,015	Assembly Area - Dining Rooms	15	68		121	356		148
		Multi-tenant Retail	5,100			1,883	Kitchen - Commercial	200	9					
						5,100	Retail	115	44	121				
10	3	Restaurant*	3,500	1.20		1,225	Assembly Area - Dining Rooms	15	82		93	93		78
						2,275	Kitchen - Commercial	200	11	93				
						18,992	Exercise Rooms	50	380					
						1,060	Offices	200	5					
						250	Reception/Lounge	15	17					
						890	Day Care	35	25					
						954	Locker Rooms	50	19					
						1,681	Pool	50	34					
						691	Mechanical Equipment Room	300	2	484				
						378	Storage	300	2	484				
11	4	Fitness Center (LA Fitness)**	34,000	3.67		1,680	Assembly Area - Dining Rooms	15	112		484	484		132
						3,120	Kitchen - Commercial	200	16	126				
						1,470	Assembly Area - Dining Rooms	15	98					
13	1	Restaurant*	4,200	0.84		2,730	Kitchen - Commercial	200	14	112	239			133
14	12	Multi-tenant Retail	9,700	1.26		9,700	Retail	115	84	84				67
15	15	Auto Parts Retailer (Auto Zone)	7,888	1.67		7,888	Retail	115	69	69	153			41
						2,275	Assembly Area - Dining Rooms	15	152					
16	14	Restaurant*	6,500	1.59		4,225	Kitchen - Commercial	200	21		190	353		119
		Drive-thru	11 cars max			11	Drive-thru	1.5	17	190				
-	9	NO BUILDING	-	0.52		-	-	-	-	-	-	99	-	
<b>TOTAL</b>			<b>132,568</b>	<b>21.07</b>						<b>1,978</b>				

\*Assume 55% Dining Area 65% Commercial Kitchen

\*\*Qualifies for up to 30% bonus for incorporating risk reduction measures in building

**SITE PLAN 42.2**

(Table updated 08-13-20)

**\*REVISED - 8/13/20  
REVISIONS IN RED CELLS**

ALUC Zone	Max Average Acre	Max Single Acre	Zone Acreage (Gross)	Required Open Area
Zone C	80	160	3.51	0.70
Zone D	150	450	17.65	1.77
<b>TOTAL</b>			<b>21.16</b>	<b>2.47</b>

Calculation Based on California Building Code

Building #	Parcel #	Building Type	Bldg. Size (SF)/ Drive-thru	Parcel Size (Gross Acres)	ALUC Zone	Square Footage Breakdown	Use	Building Code Ratio (persons/sq. ft.)	Calculated Occupancy	Max Building Occupancy	Single Acre	Average Acre per Zone (C/D)	Average Acre per Parcel					
6	10	Restaurant*	1,500	3.00	F	323	Assembly Area - Dining Rooms	15	35	110	160	102	71					
		Storage	350			975	Kitchen - Commercial	200	5									
		Multi-tenant Retail	6,300			350	Storage	300	1									
		Patio	14 seats max			6,300	Retail	115	55									
						14	Exterior Dining	1	14									
						175	Assembly Area - Dining Rooms	15	12									
		Restaurant*	500			325	Kitchen - Commercial	200	2									
		Storage	350			350	Storage	300	1									
		Multi-tenant Retail	4,110			4,110	Retail	115	36									
7														50				
1	8	Grocery with Pharmacy	16,053	1.67			16,053	Food Services	115					140	140			84
2	7	Multi-tenant Retail	5,184	0.51			5,184	Retail	115					45	45			88
		Pharmacy	11,107				11,107	Retail	115					97				
3	6	Drive-thru	1 car max	1.32			1	Drive-thru	1.5					2	99	284		75
							1,540	Assembly Area - Dining Rooms	15					103				
4	5	Restaurant*	4,400	1.14			2,860	Kitchen - Commercial	200					14		136		120
		Drive-thru	13 cars max			13	Drive thru	1.5	20	136	136							
		Gas Station Convenience Store	3,065			3,065	Retail	115	27				46					
8	13	Gas Pumps	12 pumps	0.98		12	Gasoline Station	1.5	18	45								
						735	Assembly Area - Dining Rooms	15	49									
		Restaurant*	2,100			1,365	Kitchen - Commercial	200	7									
9	11	Multi-tenant Retail	7,730	0.82		7,730	Retail	115	67	123	356		150					
						1,225	Assembly Area - Dining Rooms	15	82									
10	3	Restaurant*	3,500	1.20		2,275	Kitchen - Commercial	200	11	93	93		78					
						18,992	Exercise Rooms	50	380									
						1,060	Offices	200	5									
						250	Reception/Lounge	15	17									
						890	Day Care	35	25									
						954	Locker Rooms	50	19									
						1,681	Pool	50	34									
11	4	Fitness Center (LA Fitness)**	34,000	3.67		691	Mechanical/Equipment Room	300	2	484	484		132					
						378	Storage	300	2									
						1,680	Assembly Area - Dining Rooms	15	112									
12	2	Restaurant*	4,800	0.88		3,120	Kitchen - Commercial	200	16	128			145					
						1,470	Assembly Area - Dining Rooms	15	98									
13	1	Restaurant*	4,200	0.84		2,730	Kitchen - Commercial	200	14	112	239		133					
14	12	Multi-tenant Retail	9,850	1.26		9,850	Retail	115	86	86			68					
15	15	Auto Parts Retailer (Auto Zone)	7,888	1.67		7,888	Retail	115	69	69	154		41					
						3,000	Assembly Area - Dining Rooms	15	200									
		Restaurant***	7,525			4,525	Kitchen - Commercial	200	23									
16	14	Drive-thru	11 cars max	1.59		11	Drive-thru	1.5	17	239	356	102	150					

\*Assume 35% Dining Area 65% Commercial Kitchen

\*\*Qualifies for up to 30% bonus for incorporating risk reduction measures in building

**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The County of Riverside Planning Department should be contacted on non-ALUC issues. For more information please contact County of Riverside Planner Mr. Russell Brady at (951) 955-3025.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [prull@rivco.org](mailto:prull@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California

**DATE OF HEARING:** October 8, 2020

**TIME OF HEARING:** 9:30 A.M.

**Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org)**

**CASE DESCRIPTION:**

ZAP1103FV20 – French Valley Marketplace, LLC (Representative: Halferty Development Company, LLC) – County of Riverside Case No. PP26344S02 (Plot Plan Substantial Conformance). A proposal to increase the square footage of previously approved Building 5 restaurant with drive-thru from 1,800 square feet to 2,200 square feet on a 3.00 acre parcel, as part of an overall sixteen building commercial center on 21.16 acres, located on the northeast corner of Thompson Road and Highway 79 Winchester Road (The original proposal to construct sixteen commercial buildings with a combined gross floor area of 132,568 square feet at this site had been found consistent by the ALUC) (Airport Compatibility Zone C of the French Valley Airport Influence Area).





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1103FV20 DATE SUBMITTED: 8-20-20

### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	French Valley Marketplace, LLC c/o Halferty Development Company, LLC	Phone Number	(626)405-0956
Mailing Address	199 S. Los Robles Avenue #840 Pasadena, CA 91101	Email	jhalferty@halferty.com

Representative	_____	Phone Number	_____
Mailing Address	_____	Email	_____

Property Owner	French Valley Marketplace, LLC c/o Halferty Development Company, LLC	Phone Number	(626)405-0956
Mailing Address	199 S. Los Robles Avenue #840 Pasadena, CA 91101	Email	jhalferty@halferty.com

### LOCAL JURISDICTION AGENCY

Local Agency Name	County of Riverside TLMA	Phone Number	951-955-3025
Staff Contact	Russell Brady	Email	rbrady@rivco.org
Mailing Address	4080 Lemon Street Riverside, CA 92501	Case Type	<input type="checkbox"/> General Plan / Specific Plan Amendment <input type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input type="checkbox"/> Site Plan Review/Plot Plan <input checked="" type="checkbox"/> Other
Local Agency Project No	<u>PP26344502 (PLOT PLAN SUBSTANTIAL CONFORMANCE)</u>		

### PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	NEQ Winchester Road (Hwy 79) and Thompson Avenue		
Assessor's Parcel No.	Portion of Existing Parcel 480-170-015; Parcel 10 of TPM 37404	Gross Parcel Size	3.0 acres
Subdivision Name	_____	Nearest Airport and distance from Airport	French Valley Airport; 6,270 ft
Lot Number	_____		

### PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe)	The site is currently under development. Halferty Development Company previously received approvals on this site via a County of Riverside Airport Land Use Commission Hearing that took place on April 11, 2019. The approvals were based on the Staff Report's "Consistent" findings for each of our applications - Specific Plan Amendment SPA 284A4, Change of Zone CZ 7951, Plot Plan 26344, Conditional Use Permit CUP 3779 and Tentative Parcel Map TPM 37404.
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C.F.V.

Proposed Land Use (describe)	French Valley Marketplace, LLC proposes to make a minor modification to Plot Plan 26344. We propose to modify the square footage of Building 5 from 1,800 square feet to 2,200 square feet. This modification, based on the attached floor plan, results in a net decrease of occupancy for the building from 74 occupants to 62 occupants and further decreases the average occupants per Zone in Zone C from 66 to 62 and the average acre per parcel from 78 to 72.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)		
For Other Land Uses	Hours of Operation	10:00 am - 10:00 pm	
(See Appendix C)	Number of People on Site *	Maximum Number *	
	Method of Calculation	* See attached calculation.	
Height Data	Site Elevation (above mean sea level)	1,365	ft.
	Height of buildings or structures (from the ground)	28	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	If yes, describe _____ _____		

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. . . . . Completed ALUC Application Form
  1. . . . . ALUC fee payment
  1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
  1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  1. . . . . CD with digital files of the plans (pdf)
  1. . . . . Vicinity Map (8.5x11)
  1. . . . . Detailed project description
  1. . . . . Local jurisdiction project transmittal
  3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
  3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. **(Only required if the project is scheduled for a public hearing Commission meeting)**

**COUNTY OF RIVERSIDE  
AIRPORT LAND USE COMMISSION**

**STAFF REPORT**

**AGENDA ITEM:** 3.2

**HEARING DATE:** October 8, 2020

**CASE NUMBER:** ZAP1433MA20 – Vicki Cheng (Representative: Hayedeh Daneshmand)

**APPROVING JURISDICTION:** City of Moreno Valley

**JURISDICTION CASE NO:** PEN19-0096 (Conditional Use Permit)

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

**Airport Influence Area:** March Air Reserve Base

**Land Use Policy:** Compatibility Zone C1

**Noise Levels:** 60 - 65 CNEL contour

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Conditional Use Permit be found **CONSISTENT**, subject to the conditions included herein.

**PROJECT DESCRIPTION:** A proposal to construct a two-story 6,545 square foot cannabis manufacturing and distribution building on 0.3 acres.

**PROJECT LOCATION:** The site is located on the southwest corner of Cottonwood Avenue and Edgemont Street, approximately 10,700 feet northeasterly of Runway 14-32 at March Air Reserve Base.

**BACKGROUND:**

Non-Residential Average Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C1, which limits average intensity to 100 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan, the following rate was used to calculate the occupancy for the proposed buildings in Compatibility

Zone C1:

- Manufacturing – 1 person per 200 square feet,
- Warehouse – 1 person per 500 square feet, and
- Office – 1 person per 200 square feet.

The project proposes to construct a two-story 6,545 square foot cannabis manufacturing and distribution building on 0.3 acres, which includes on the first floor 2,005 square feet of manufacturing area, 1,532 square feet of warehouse area, and 339 square feet of office area, and on the second floor 2,619 square feet of manufacturing area, accommodating a total occupancy of 28 people, resulting in an average intensity of 93 people per acre, which is consistent with the Compatibility Zone C1 criterion of 100.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle). Based on the number of parking spaces (16 spaces) provided, the total occupancy would be estimated at 24 people for an average intensity of 80 persons per acre, which is consistent with the Compatibility Zone C1 criterion of 100.

Non-Residential Single-Acre Intensity: Compatibility Zone C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would include on the first floor 2,005 square feet of manufacturing area, 1,532 square feet of warehouse area, and 339 square feet of office area, and on the second floor 2,619 square feet of manufacturing area, resulting in a single acre occupancy of 28 people, which is consistent with the Compatibility Zone C1 single acre criterion of 250.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone C1.

Noise: The site is located within the 60-65 CNEL contour range from aircraft noise. Manufacturing uses are identified as normally acceptable within this range; however, staff is recommending a condition to incorporate noise attenuation measures into the design of the proposed office areas within the building to such extent as may be required to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level. At a distance of approximately 10,700 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,642 feet AMSL. The site elevation is approximately 1,536 feet AMSL. With a maximum structure height of 38 feet, the top point elevation would be 1,574 feet

AMSL. Therefore, review by the FAA OES is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B). The project is located 10,700 feet away from the runway, and therefore the above requirements do not apply.

#### **CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

- (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, places of assembly (including churches and theaters), noise sensitive outdoor nonresidential uses, and hazards to flight.
- 3. The attached notice shall be given to all prospective purchasers and/or tenants of the property, and shall be recorded as a deed notice.
- 4. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 5. Any new detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 6. Noise attenuation measures shall be incorporated into the design of the office areas within the building, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
- 7. The project has been evaluated for first floor 2,005 square feet of manufacturing area, 1,532 square feet of warehouse area, and 339 square feet of office area, and on the second floor 2,619 square feet of manufacturing area. Any increase in building area, change or intensification of floor area usage will require review by the Airport Land Use Commission.

8. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

Y:\AIRPORT CASE FILES\March\ZAP1433MA20\ZAP1433MA20sr.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

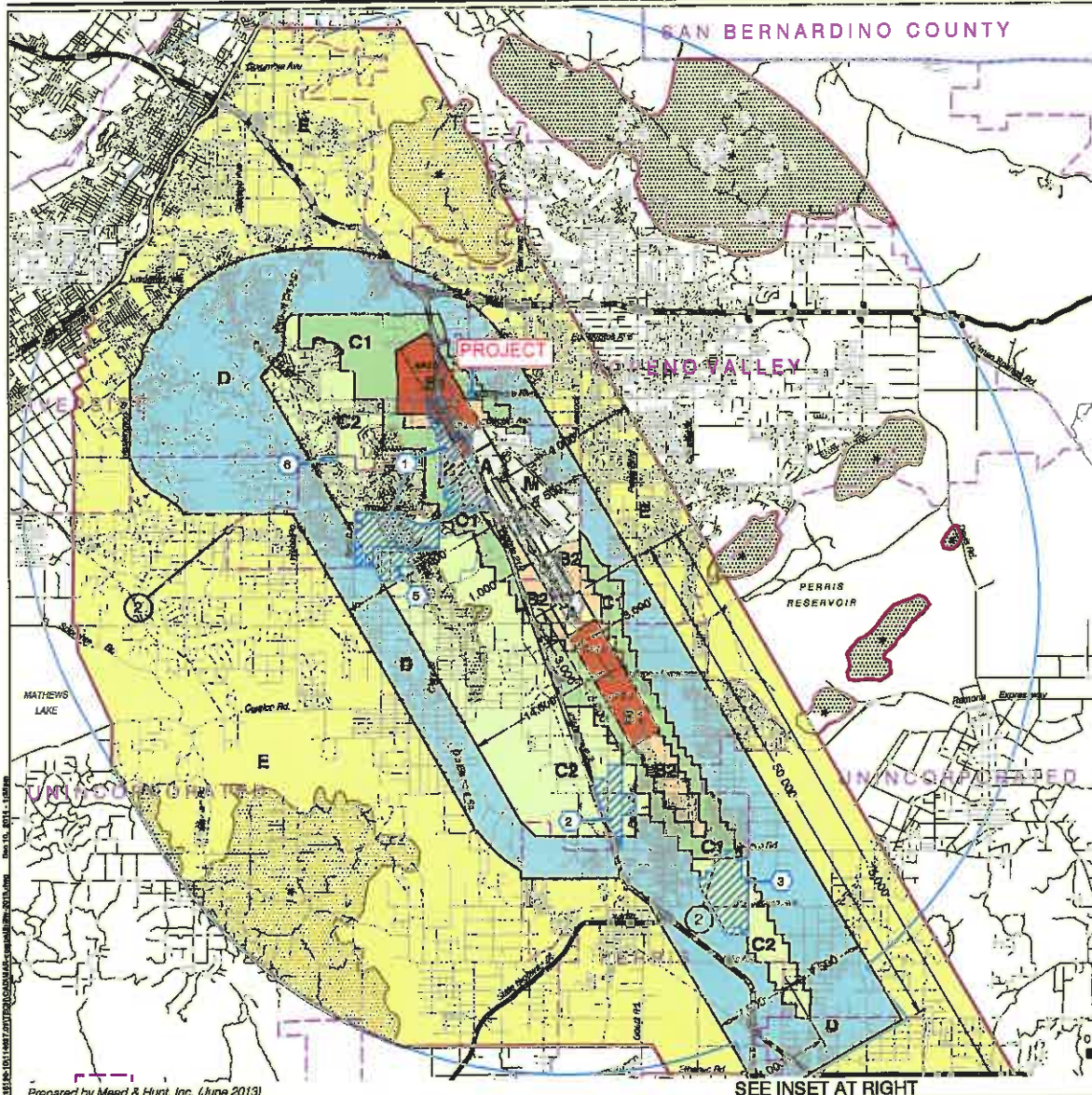
**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**



**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

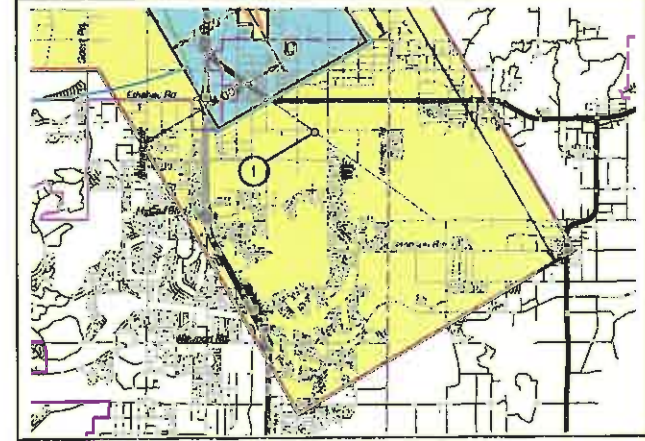
**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- March JPA: March Business Center/Meridian
- Perris: Harvest Landing
- Perris: Park West
- Moreno Valley: Affordable Housing
- March JPA: Ben Clark Training Center
- Riverside: Ridge Crest Subdivision

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,635 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

**INSET**



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

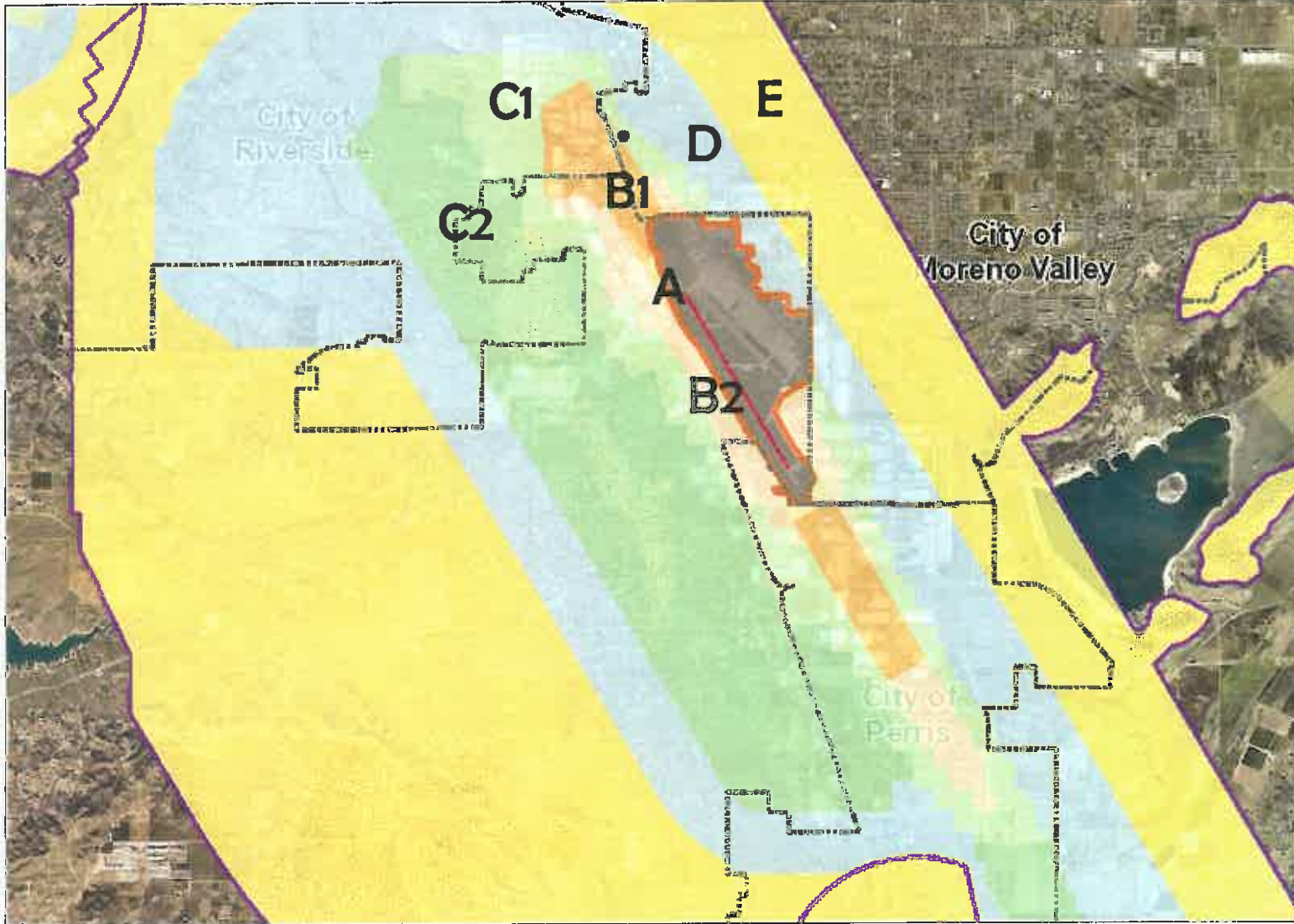
Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**

**Note:**  
All dimensions are measured from runway ends and centerlines.



# Map My County Map



**Legend**

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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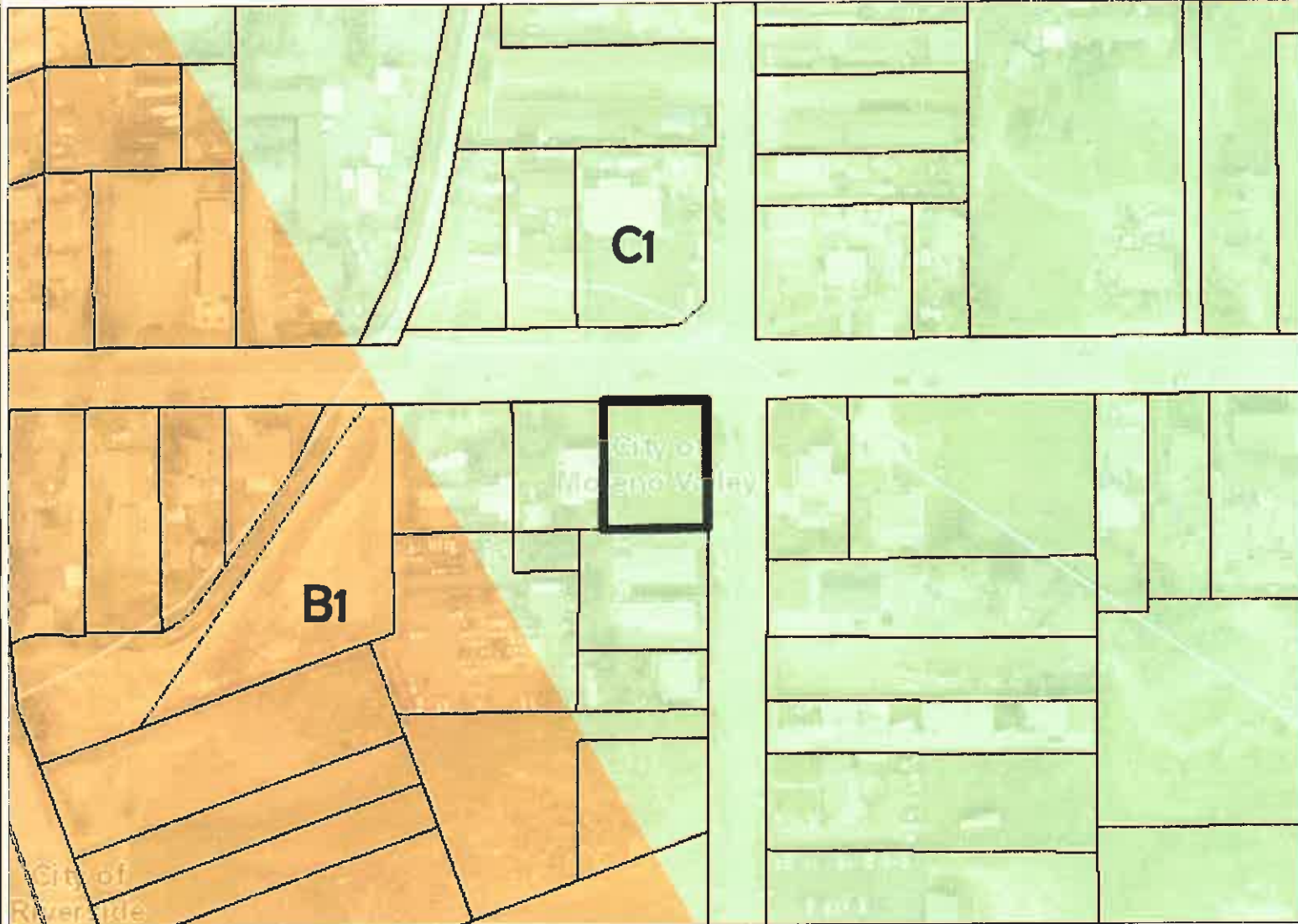


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**Notes**

# Map My County Map



## Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
  - OTHER COMPATIBILITY\_ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5



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## Notes



# Map My County Map



### Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map

### Notes



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# Map My County Map



### Legend

- Blueline Streams
- City Areas
- World Street Map

### Notes



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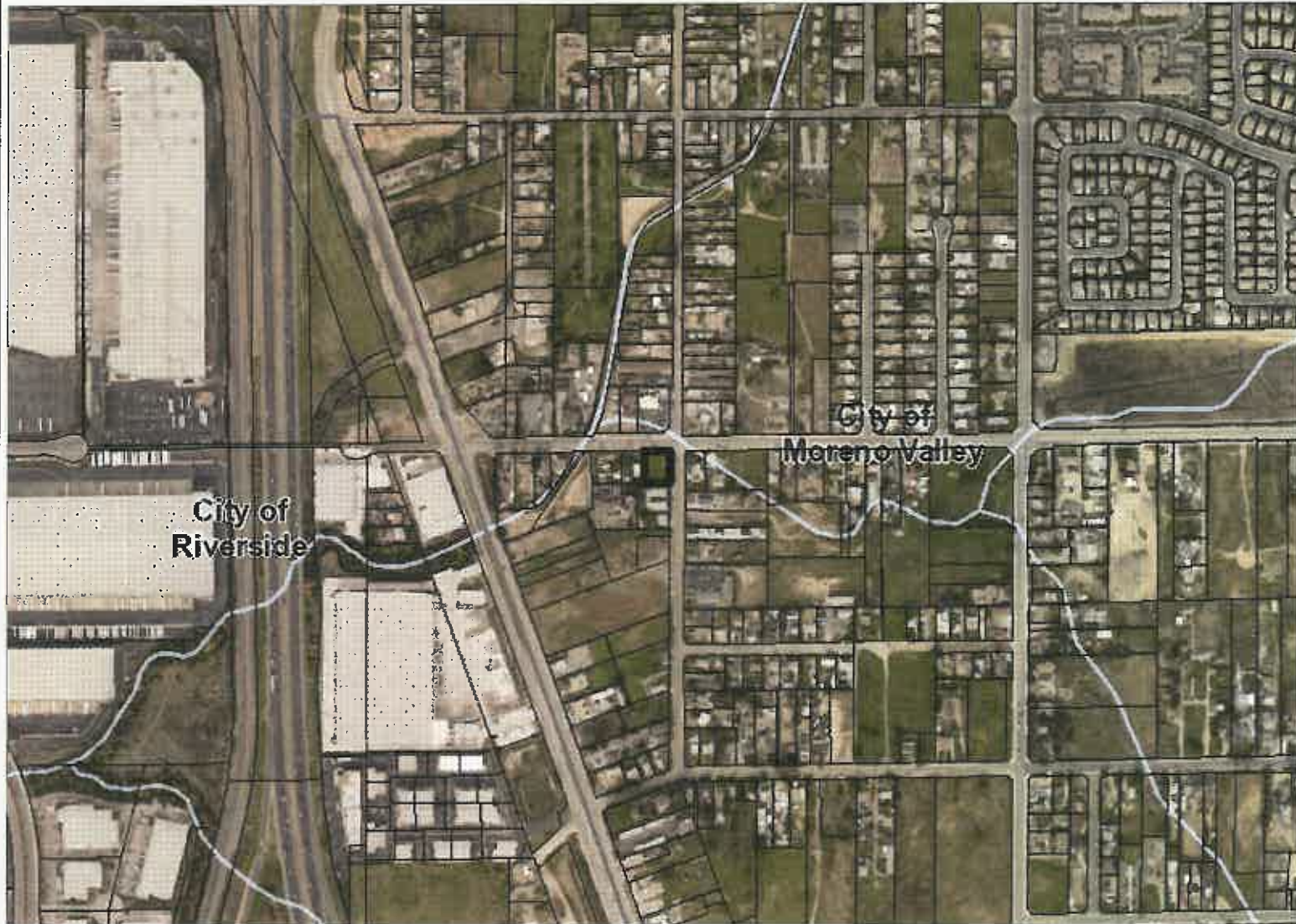


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# Map My County Map



## Legend

- Parcels
- Blue line Streams
- City Areas
- World Street Map



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0 752 1,505 Feet

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## Notes



# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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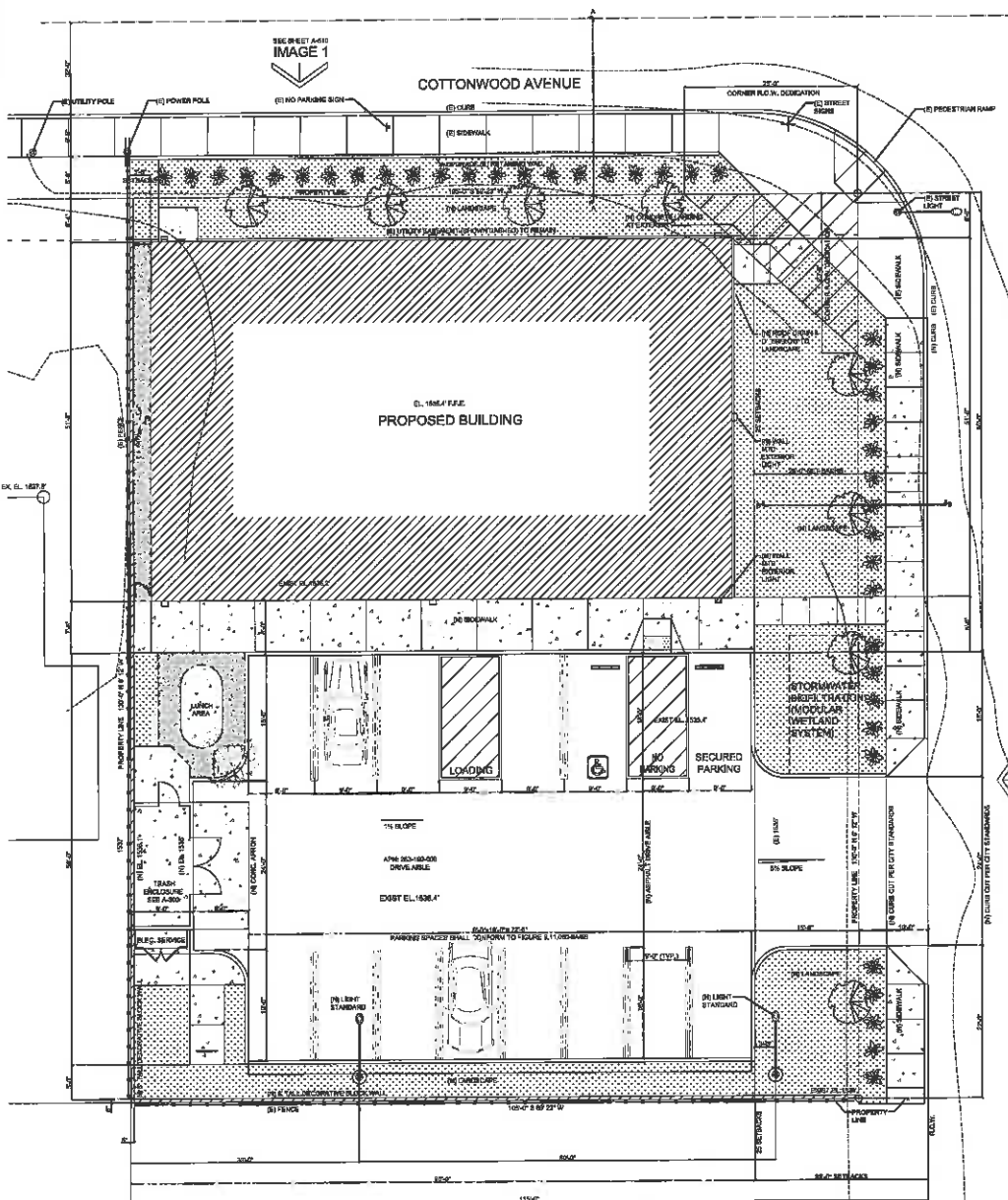
0 188 376 Feet

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## Notes





**SITE PLAN**  
SCALE: 1/8" = 1'-0"

**GENERAL PROJECT NOTES:**

**OWNER/APPLICANT:** GREEN MEDICINE THERAPY, LLC  
1428 NISAN WELLS DRIVE  
DIAMOND BAR, CALIFORNIA 91761  
P: (951) 775-9698  
CONTACT: VICKI CHENG  
E: vch@greenmg.com

**ARCHITECT:** RIVERSIDE ENGINEERING  
MELIA HART  
RIVERSIDE, CA 92507  
P: (951) 419-7488  
CONTACT: JOSHUA MULLIAN  
E: jbm@re-Eng.com

**SITE ADDRESS:** SW CORNER OF COTTONWOOD AVE. AND EDMONT ST.  
MORENO VALLEY, CA 92655

**APN:** 263-180-008

**LEGAL DESCRIPTION:** THAT PORTION OF LOT 4 OF PARCEL NO. 2, IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON REELS IN BOOK 12, PAGE 18 OF MAPS, RIVERSIDE COUNTY RECORDS, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTH-WESTERLY CORNER OF SAID LOT 4; THENCE NORTHERLY ON THE NORTHERLY LINE OF SAID LOT, 108 FEET; THENCE SOUTHERLY, PARALLEL WITH THE EASTERLY LINE OF SAID LOT 4; THENCE NORTHERLY ON THE EASTERLY LINE OF SAID LOT, 133 FEET TO THE POINT OF BEGINNING.

**LOT SIZE:** 10647 X 13747' = (287 87' X 11,353 95' FT. = 0.3 AC (GROSS & NET)

**EARTHWORK:** LESS THAN 10 YARDS OF CUT/FILL PROPOSED ON SITE.

**ZONING DESIGNATION:** RP (BUSINESS PARK)

**GENERAL PLAN DESIGNATION:** COMMERCIAL

**FEMA FLOOD ZONE DESIGNATIONS:** 0006207 45 0 (PER NO. C/T-76A-G-07)

**TOPOGRAPHY SOURCE AND DATE:** TAKEN FROM CITY OF MORENO VALLEY PROJECT NUMBER 81-42289 FILE C/P 91-4286A\_RL-03

**UTILITIES:**  
SEWER: EDMONT COMMUNITY SEWER (811) 854-110  
STORM DRAIN: EDMONT COMMUNITY SEWER (811) 854-020  
GAS: BOK SPREADS MUTUAL WATER (811) 634-4119  
THE GAS COMPANY (800) 423-2226  
ELECTRICITY: SOUTHERN CALIFORNIA Edison (800) 654-8123  
TELEPHONE: SPECTRUM (800) 757-7238  
SEWER: SPECTRUM (800) 757-7238  
INTERNET: SPECTRUM (800) 757-7238  
WASTE MANAGEMENT OF INLAND VALLEY (800) 423-8600  
SCHOOL DISTRICT: SCHOOL DISTRICT NO. 2

**PROJECT DESCRIPTION:**  
THIS PROPERTY IS WITHIN AN ADDRESS BUT IS DIRECTLY BOUND BY COTTONWOOD AVENUE TO THE NORTH AND EDMONT STREET TO THE EAST (APN 263-180-008-8). THE PROJECT CONSISTS OF A 96 BUILDING BEING CONSTRUCTED ON THE SITE IDENTIFIED. THE DESIGN SHALL GENERALLY CONSIST OF EXTRACTION, DISTRIBUTION AND CULTIVATION. ANTICIPATED SUPPORT SPACES SHALL BE INCLUDED AS RECORDED. THE BUILDING IS ANTICIPATED TO BE TWO STOREY TALL AND OCCUPY THE ALLOWABLE SPACE WITHIN THE SETBACK EXCLUDING THE PARKING AREA. IT IS LIKELY LIMITED IN SIZE BY THE ALLOWABLE PARKING AND SETBACKS.

**SQUARE FOOTAGE CALCULATIONS TABLE %**

SPACE	AREA (NET)
SUITE A - DISTRIBUTION	(25%) 1,871 SF
SUITE B - MANUFACTURING	(33%) 2,038 SF
SUITE C - CULTIVATION	(42%) 2,819 SF
<b>TOTAL</b>	<b>6,728 SF</b>

**AREA AND DENSITY CALCULATIONS TABLE %**

SPACE	AREA (GROSS)
PARKING	(25%) 1,341 SF
TRASH	(2%) 124 SF
LANDSCAPE	(15%) 777 SF
WALKWAY	(3%) 181 SF
BUILDING	(55%) 2,865 SF
<b>TOTAL</b>	<b>5,290 SF</b>

**LIST OF ALL EASEMENTS OR RECORD EASEMENTS FOR UTILITIES ARE INDICATED THERE TO BE GRANTED TO THE SOUTHERN CALIFORNIA GAS COMPANY BY AGREEMENT RECORDED DECEMBER 26, 1958 IN BOOK 108, PAGE 558 OF RECORDS, AND BY DEED RECORDED DECEMBER 21, 1958 IN BOOK 968 PAGE 213 OF RECORDS.**

**SHOW AND LABEL AREAS SUBJECT TO LIQUIDATION OR OTHER GEOLOGICAL HAZARD AND/OR WITHIN A SPECIAL STUDY ZONE, IF APPLICABLE. NO AREAS OF LIQUIDATION OR OTHER GEOLOGICAL HAZARD ARE ON THIS SITE.**

**INDICATIONS IN REFERENCE TO STREET LIGHTS OF FILE OF PLANS, SHOWS THE AREA INDICATED IS EXPECTED TO BE DEDICATED.**

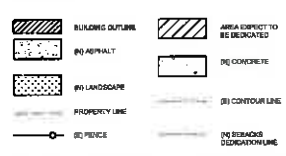
**NO PRIVATE STREETS ADJACENT TO THIS SITE.**

**NO SEPTIC TANK SYSTEM ON THIS SITE.**

**NO COMMON SPACES ARE PROPOSED FOR THIS SITE.**

**NO PROPOSED GATES OR FENCES.**

**LEGEND:**



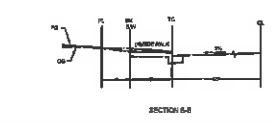
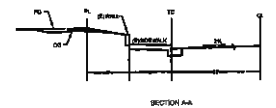
**PARKING SUMMARY (REF. TABLE S.11.5.008-13)**

SPACE	AREA (NET)	PARKING RATIO	REQ'D PARKING
SUITE A - DISTRIBUTION	1,871 SF	@ 1/1,000 SF	2
SUITE B - MANUFACTURING	2,038 SF	@ 1/200 SF	10
SUITE C - CULTIVATION	2,819 SF	@ 1/1,000 SF	4
<b>TOTAL</b>	<b>6,728 SF</b>		<b>16 REQUIRED</b>
<b>TOTAL PARKING PROPOSED</b>			<b>16 PROPOSED</b>

**CODE COMPLIANCE:**  
OCCUPANCY GROUP: F-1, S-1 (DISTRIBUTION, MANUFACTURING, CULTIVATION)  
CONSTRUCTION TYPE: IIA (NEW AUTOMATIC FIRE SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.A.1.1)

**ALLOWABLE BUILDING AREA (REF. TABLE S06.2)**

TYPE (B, TABLE S06.2)	ALLOWABLE S.F. AREA, MULTI-STORY WITH SPRINKLER	STANDARD S.F.
PROPOSED BUILDING AREA		
GROUND FLOOR AREA: (F-1, S-1)	4,382 S.F.	
SECOND FLOOR AREA: (F-1, S-1)	4,382 S.F.	
<b>TOTAL PROPOSED BUILDING FLOOR AREA:</b>	<b>8,764 S.F.</b>	
<b>TOTAL PROPOSED BUILDING FLOOR AREA = 8,770 S.F. + ALLOWABLE 87,000 S.F.</b>		
<b>HEIGHT LIMITED BY TYPE OF CONSTRUCTION, TABLE S02:</b>		
HEIGHT LIMIT ALLOWED BY TYPE (B-I, SPRINKLERED)	85 FT., A.G.P.	
PROPOSED TWO STORY BUILDING HEIGHT:	32 FT., A.G.P.	



**Riverside Engineering CONSULTING ENGINEERS**

**M E P ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS**  
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Email: info@re-Eng.com  
www.re-Eng.com  
3003 La Habra, Suite 105  
Riverside, California 92507  
(By Appointment Only)

**Project No.: CONDITIONAL USE PERMIT APPLICATION: PEN 19-0089**

**GREEN MEDICATION THERAPY**  
COTTONWOOD AVENUE & EDMONT STREET  
MORENO VALLEY, CALIFORNIA 92555  
APN: 263-180-008-8

**Professional Seal:**

**REVISION LIST**

NO.	DATE	DESCRIPTION

**2088**  
CONTACT: JOSHUA  
SCALE: AS NOTED

**SITE PLAN & GRADING PLAN**

**SHEET AS-100**  
DATE: 05/20

In no event shall any party, client or otherwise copy or use any of the concepts, plans, drawings, specifications, designs, models, reports, photographs, computer software, surveys, calculations, construction and other data, documents, and processes produced by the Consultant in connection with the Project (the "Instruments of Service") for any purpose other than those noted above or in relation to any project other than the Project without the prior written permission of the Consultant RIVERSIDE ENGINEERING.

REVISION LIST

NO.	DATE	DESCRIPTION

2088

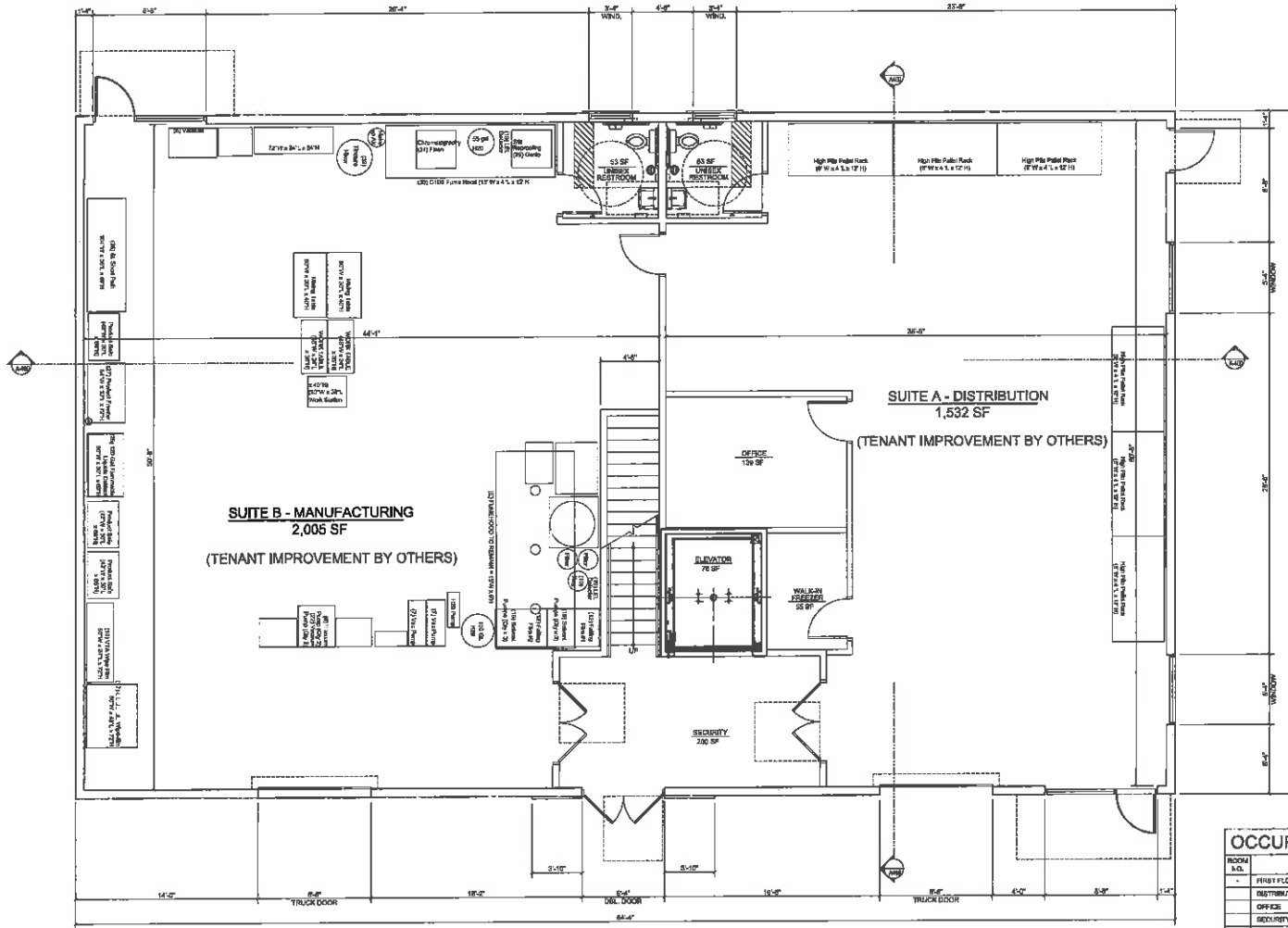
CONTACT: JOSHUA

SCALE: AS NOTED

GROUND FLOOR PLAN

SHEET  
**A-100**

DATE: 08/03/20



ADJACENT  
ZONING: BP

**OCCUPANT LOAD CALCULATION**

ROOM NO.	ROOM NAME	AREA (SF)	LOAD FACTOR	TYPE OF OCC.	OCC.
<b>FIRST FLOOR</b>					
-	DISTRIBUTION	1,532	500	D-1	4
-	OFFICE	136	300	B	1
-	SECURITY	200	200	B	1
-	UNisex RESTROOM #1	13	-	-	-
-	MANUFACTURING	2,005	200	F-A	10
-	UNisex RESTROOM #2	13	-	-	-
<b>SECOND FLOOR</b>					
-	CULTIVATION AREA	2,818	200	F-A	13
-	UNisex RESTROOM #3	13	-	-	-
TOTAL:					28

PER TABLE 1004.1.8 2019 CBC  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



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Voice: 888.401.7483  
Email: info@riv-eng.com  
www.riv-eng.com  
2002 La Mar, Suite 103  
Riverside, California 92507  
(By Appointment Only)

Project # 19-0099  
CONDITIONAL USE PERMIT APPLICATION: PEN 19-0099

**GREEN MEDICATION THERAPY**

COTTONWOOD AVENUE & EDGE MONT STREET  
MORENO VALLEY, CALIFORNIA 92555  
APN: 263-190-009-3

PROFESSIONAL SEAL:

REVISION LIST

2088

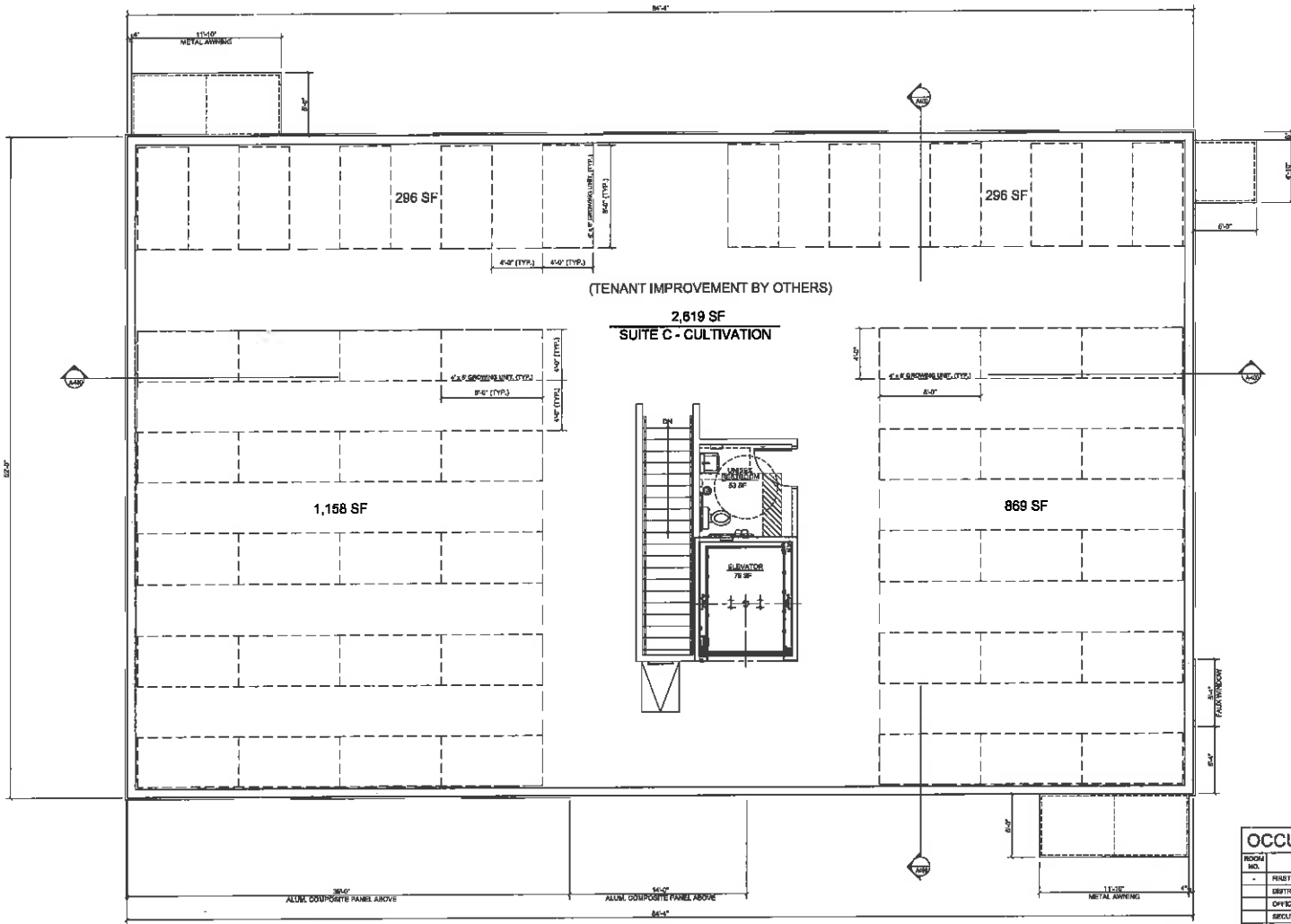
CONTACT: JORDNA

SCALE: AS NOTED

SECOND FLOOR PLAN

SHEET  
**A-200**

DATE: 06/03/20



**OCCUPANT LOAD CALCULATION**

ROOM NO.	ROOM NAME	AREA (SF)	LOAD FACTOR	TYPE OF OCC.	OCC.
-	FIRST FLOOR				
	DISTRIBUTION	1,522	600	B-1	4
	OFFICE	128	200	B	1
	RECEPTION	200	200	B	1
	LABORATORY RESTROOM #1	1	-	-	-
	MANUFACTURING	2,806	800	F-1	10
	UNISEX RESTROOM #2	63	-	-	-
-	SECOND FLOOR				
	CULTIVATION AREA	2,619	200	F-1	13
	UNISEX RESTROOM #3	53	-	-	-
	TOTAL				28

PER TABLE 1004.1.2 2016 CBC  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ADJACENT  
ZONING: BP

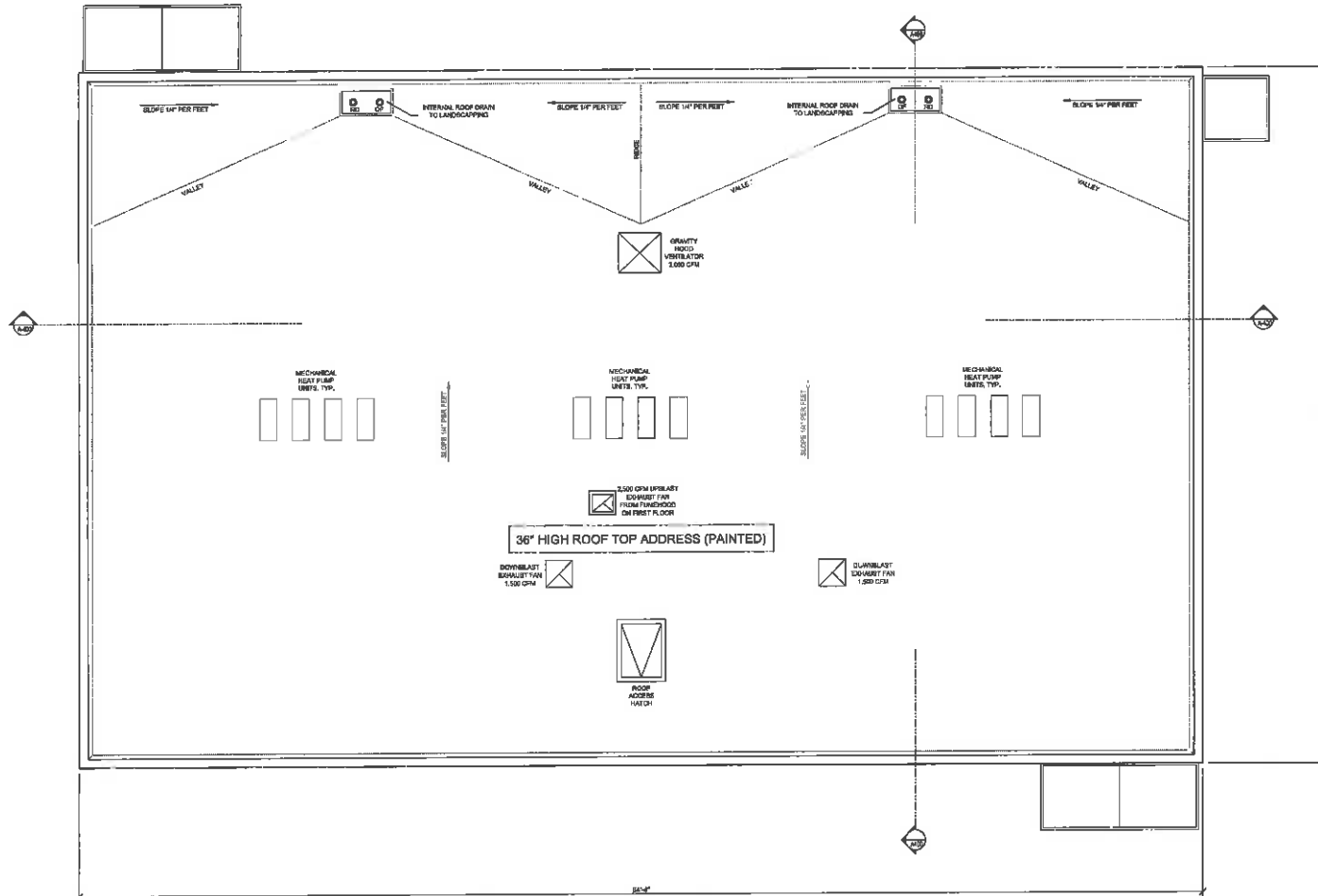
REVISION LIST

NO.	DESCRIPTION

2088  
CONTACT: JOE HIA  
SCALE: AS NOTED

ROOF PLAN  
SHEET  
**A-300**

DATE: 08/23/20





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Email: info@riv-eng.com  
www.riv-eng.com  
5005 La Mar, Suite 105  
Riverside, California 92507  
(By Appointment Only)

Project No.: **CONDITIONAL USE PERMIT APPLICATION: PEN 19-0089**

**GREEN MEDICATION THERAPY**  
COTTONWOOD AVENUE & EDGEMONT STREET  
MORENO VALLEY, CALIFORNIA 92555  
APN: 263-190-009-8

PROFESSIONAL SEAL:

REVISION LIST

NO.	DESCRIPTION

2088

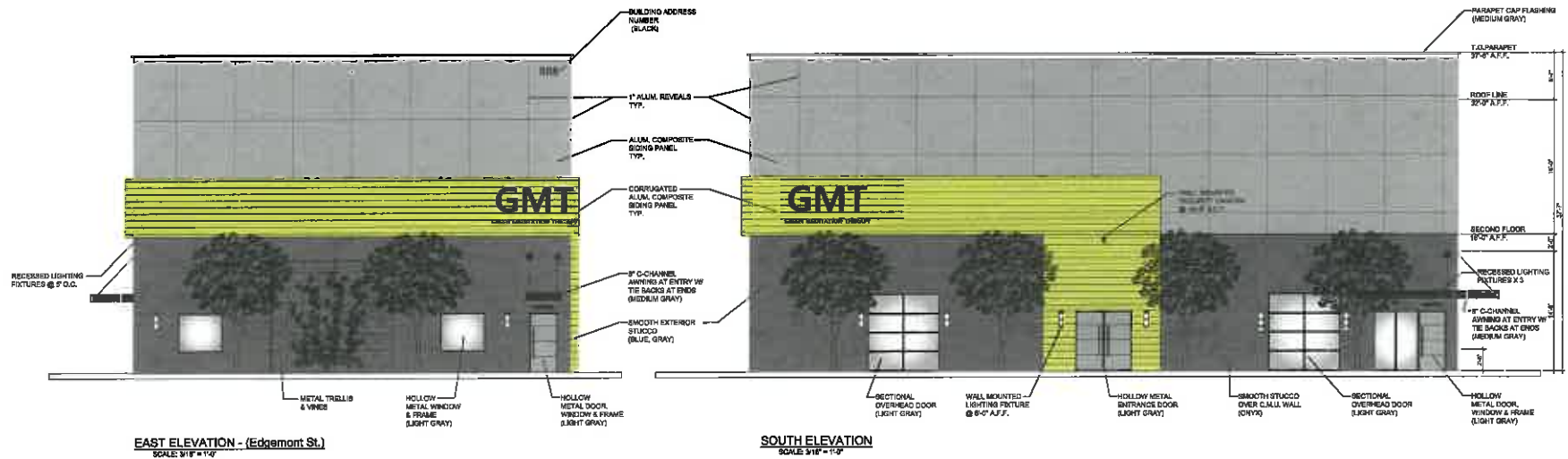
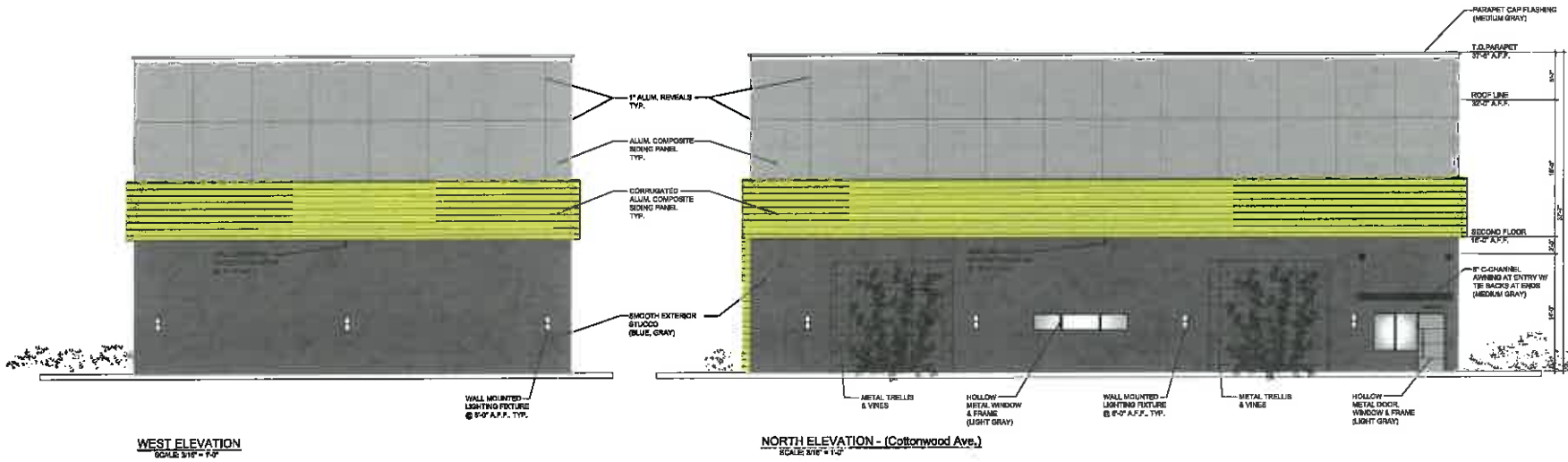
CONTACT: JOHNSIA

SCALE AS NOTED

EXTERIOR  
ELEVATIONS

SHEET  
**A-500**

DATE: 08/08/22



**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Moreno Valley Planning Department should be contacted on non-ALUC issues. For more information please contact City of Moreno Valley Planner Mr. Sean Kelleher at (951) 413-3215.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [prull@rivco.org](mailto:prull@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:**                    **Riverside County Administration Center**  
   **4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers**  
   **Riverside California**

**DATE OF HEARING:**                    **October 8, 2020**

**TIME OF HEARING:**                    **9:30 A.M.**

**Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org)**

**CASE DESCRIPTION:**

**ZAP1433MA20 – Vicki Cheng (Representative: Hayedeh Daneshmand) – City of Moreno Valley Case No. PEN19-0096 (Conditional Use Permit).** A proposal to construct a two-story 6,545 square foot cannabis manufacturing and distribution building on 0.3 acres located on the southwest corner of Cottonwood Avenue and Edgemont Street (Airport Compatibility Zone C1 of the March Air Reserve Base/Inland Port Airport Airport Influence Area).



# RIVERSIDE COUNTY

## AIRPORT LAND USE COMMISSION

### APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP 1433MA20 DATE SUBMITTED: 8-31-20

#### APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant Vicki Cheng Phone Number (951)775.8694  
Mailing Address \_\_\_\_\_ Email vicki.cheng8@gmail.com  
1408 Indian Wells Drive Diamond Bar, CA 91765

Representative Hayedeh Daneshmand Phone Number (818)926.6333  
Mailing Address 3017 Knollwood Ave #1 Email hd@archticdesign.com  
La Vene, CA 91750

Property Owner \_\_\_\_\_ Phone Number \_\_\_\_\_  
Mailing Address \_\_\_\_\_ Email \_\_\_\_\_

#### LOCAL JURISDICTION AGENCY

Local Agency Name City of Moreno Valley Phone Number 951.413.3215  
Staff Contact Sean Kelleher Email seanke@moval.org  
Mailing Address 14177 Frederick St., Moreno Valley, CA 92553 Case Type CUP

Local Agency Project No PEN19-0096  
 General Plan / Specific Plan Amendment  
 Zoning Ordinance Amendment  
 Subdivision Parcel Map / Tentative Tract  
 Use Permit  
 Site Plan Review/Plot Plan  
 Other

#### PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address Project does not have a designated address yet. It is located at southwest corner of Cottonwood and Edgemont.

Assessor's Parcel No. 263190009 Gross Parcel Size 0.31 AC  
Subdivision Name \_\_\_\_\_ Nearest Airport and distance from Airport \_\_\_\_\_  
Lot Number \_\_\_\_\_ 4.3 miles

#### PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) 13,650 SQ FT corner lot, undeveloped land, No existing structure or vegetation adjacent to private residents located in BP industrial/business park zoning.

March  
C1

Proposed Land Use (describe)	The proposed facility will be a 2 story, 7,970 SQ FT used for cultivation, manufacturing and distribution of Cannabis and Cannabis products.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	_____	
For Other Land Uses (See Appendix C)	Hours of Operation	_____	
	Number of People on Site	Maximum Number	_____
	Method of Calculation	_____	
Height Data	Site Elevation (above mean sea level)	_____	ft.
	Height of buildings or structures (from the ground)	37'-7"	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
	If yes, describe	_____ _____ _____	

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
- 1. . . . . Completed ALUC Application Form
  - 1. . . . . ALUC fee payment
  - 1. . . . . Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
  - 1. . . . . Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
  - 1. . . . . CD with digital files of the plans (pdf)
  - 1. . . . . Vicinity Map (8.5x11)
  - 1. . . . . Detailed project description
  - 1. . . . . Local jurisdiction project transmittal
  - 3. . . . . Gummed address labels for applicant/representative/property owner/local jurisdiction planner
  - 3. . . . . Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. **(Only required if the project is scheduled for a public hearing Commission meeting)**



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

#### 4.1 Director's Approvals.

- A. During the period of August 16 through September 15, 2020, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Simon Housman reviewed two non-legislative cases within Zone E of the March Air Reserve Base/Inland Airport Influence Area, and one non-legislative case within Zone E of Hemet Ryan Airport Influence Area, and issued determinations of consistencies.

ZAP1431MA20 (March Air Reserve Base/Inland Port Airport Zone E) pertains to the City of Moreno Valley Case No. PEN20-0091 (Conditional Use Permit), a proposal to establish a smoke shop within an existing 900 square foot retail building on 17.7 acres as part of a larger existing commercial retail center, located southerly of Sunnymead Boulevard, westerly of Heacock Street, northerly of Eucalyptus Avenue, and easterly of Graham Street. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 16,000 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,695 feet AMSL. The site's finished floor elevation is 1,640 feet AMSL, and the existing building height is 17 feet, resulting in a top point elevation of 1,657 feet AMSL. The proposed project will not increase the height of the existing building. Therefore, FAA OES review for height/elevation reasons was not required.

ALUC Director Simon Housman issued a determination of consistency for this project on September 3, 2020.

\*\*\*\*\*

ZAP1432MA20 (March Air Reserve Base/Inland Port Airport Zone E) pertains to the City of Moreno Valley Case No. PEN20-0100 (Conditional Use Permit), a proposal to construct a 3,105 square foot fast food restaurant building with a 400 square foot outdoor dining area, and drive-thru on 0.80 acres located southerly of Centerpoint Drive, westerly of Frederick Street, northerly of Brabham Street, and easterly of Town Circle. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 15,030 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES)

review would be required for any structures with an elevation at top of roof exceeding 1,685 feet AMSL. The site's finished floor elevation is 1,636 feet AMSL, and the proposed building height is 20 feet, resulting in a top point elevation of 1,656 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required.

ALUC Director Simon Housman issued a determination of consistency for this project on September 3, 2020.

\*\*\*\*\*

ZAP1063HR20 (Hemet-Ryan Airport Zone E) pertains to the County of Riverside Case No. CUP200020 (Conditional Use Permit), a proposal to establish a cannabis distribution and retail facility within an existing 8,400 square foot building on 4.0 acres located at 26120 Cordoba Drive on the southeast corner of Florida Avenue Highway 74 and Cordoba Drive. The site is located within Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area (AIA), which does not restrict non-residential intensity.

The elevation of Runway 5-23 at its existing southwesterly terminus is approximately 1,499 feet above mean sea level (AMSL). At a distance of approximately 6,230 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,561 feet AMSL. The elevation of the project site is 1,508 feet AMSL, and the existing structure is 29 feet, for a maximum top point elevation of 1,537 feet AMSL. There is no proposal to increase the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

ALUC Director Simon Housman issued a determination of consistency for this project on September 3, 2020.

- B. Additionally, as authorized pursuant to ALUC Resolution No. 2015-01, as extended by Resolution Nos. 2016-02 and 2018-02, ALUC Director Simon Housman reviewed two legislative case sets with associated non-legislative cases within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area and issued determination of consistencies.

ZAP1429MA20 (March Air Reserve Base/Inland Port Airport Zone) pertains to City of Riverside Case Nos. P19-0063 (Zoning Ordinance Amendment), P19-0064 (General Plan Amendment), P19-0065 (Specific Plan), a proposal to consider the following items in conjunction with the adoption of the interjurisdictional Northside Specific Plan (NSP): **1) General Plan Amendment** to amend the Land Use and Urban Design Element of the General Plan to include the Northside Specific Plan into Table LU-2, amend Figure LU-9 – Neighborhoods to adjust neighborhood boundaries, amend Figure LU-10 – Land Use Policy Map to apply the NSP – Northside Specific Plan land use designation to the project area within the City of Riverside and the unincorporated properties within its Sphere of Influence, amend Table LU-5 – Zoning/General Plan Consistency Matrix, and amend Objectives, Policies for consistency with the NSP; **2) Specific Plan** to create the NSP and amend the Downtown Specific Plan to incorporate the North Main Street District into the NSP boundaries; **3) Zoning Code Amendment** to amend Title 19 (Zoning) of the Riverside Municipal Code to add Chapter 19.146 – Northside Specific Plan (NSP) and amend relevant information in Chapter 19.220; **4) Zoning Code Amendment** to rezone properties to the districts proposed in the NSP; and **5) Program Environmental Impact Report**. The Northside Specific Plan consists of approximately 2,000 acres within the City of Riverside, the City of Colton, and the unincorporated County of Riverside. It is generally bounded by Pellissier Ranch to the north, State Route 60 (SR-60) and portions of Main Street in Downtown Riverside to the south, Interstate 215 (I-215) and residences to the east, and the Santa Ana River to the west.

There are no additions to the permitted land use tables and no development standards that would increase residential density or non-residential intensity.

ALUC Director Simon Housman issued a determination of consistency for this project on August 27, 2020

\*\*\*\*\*

ZAP1430MA20 (March Air Reserve Base/Inland Port Airport Zone E) pertains to the County of Riverside Case Nos. CZ1900035 (Change of Zone), CUP190032 (Conditional Use Permit), a proposal to change the site's zoning from Manufacturing Service Commercial to Commercial Scenic Highway on 0.30 acres, and a proposal to establish a cannabis retail dispensary within an existing 900 square foot building located at 28384 Winchester Road. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port AIA, the actual nearest runway is Runway 5-23 at Hemet-Ryan Airport. The elevation of Runway 5-23 at its existing southwesterly terminus is approximately 1,499 feet above mean sea level (AMSL). At a distance of approximately 18,320 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,682 feet AMSL. The elevation of the project site is 1,475 feet AMSL, and the existing structure is 18 feet, for a maximum top point elevation of 1,493 feet AMSL. There are no proposed changes to the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

ALUC Director Simon Housman issued a determination of consistency for this project on August 20, 2020

**4.2** Update March ARB CUS

Presentation by ALUC Director Simon Housman or his designee.

**4.3** Approve Resolution Regarding Minor Adjustments to Projects after Approval (Public Hearing)

At the September 10, 2020, ALUC meeting, the Commission discussed the opportunity for the ALUC to be more flexible when it comes to proposed minor adjustments on projects that have already received a consistency determination from the ALUC.

Staff has prepared a draft resolution that allows the ALUC Director the discretion to review and find consistent minor adjustments to projects, instead of it having to go to Commission.

Presentation by ALUC Director Simon Housman or his designee.

**4.4** 2021 ALUC Potential Dark Month November 11 (Veterans Day)

Presentation by ALUC Director Simon Housman or his designee.





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

4.1

September 3, 2020

Ms. Julia Descoteaux, Project Planner  
City of Moreno Valley Planning Department  
14177 Frederick Street  
Moreno Valley CA 92551

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Desert Hot Springs

**VICE CHAIR**  
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Palm Springs

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Director  
Simon A. Hourman

Paul Ruff  
Barbara Santos

County Administrative Center  
4080 Lennon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1431MA20  
Related File No.: PEN20-0091 (Conditional Use Permit)  
APN: 292-100-016  
Airport Zone: Compatibility Zone E

Dear Ms. Descoteaux:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN20-0091 (Conditional Use Permit), a proposal to establish a smoke shop within an existing 900 square foot retail building on 17.7 acres as part of a larger existing commercial retail center, located southerly of Sunnymead Boulevard, westerly of Heacock Street, northerly of Eucalyptus Avenue, and easterly of Graham Street.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 16,000 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,695 feet AMSL. The site’s finished floor elevation is 1,640 feet AMSL, and the existing building height is 17 feet, resulting in a top point elevation of 1,657 feet AMSL. The proposed project will not increase the height of the existing building. Therefore, FAA OES review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

**CONDITIONS:**

[www.aluc.com](http://www.aluc.com)

## **AIRPORT LAND USE COMMISSION**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This

## **AIRPORT LAND USE COMMISSION**


stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Simon A. Housman, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Smoke N Cell LLC. (applicant)  
Gazi Amir (representative)  
Moreno Valley Plaza, Ltd (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1431MA20\ZAP1431MA20.LTR.doc



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**

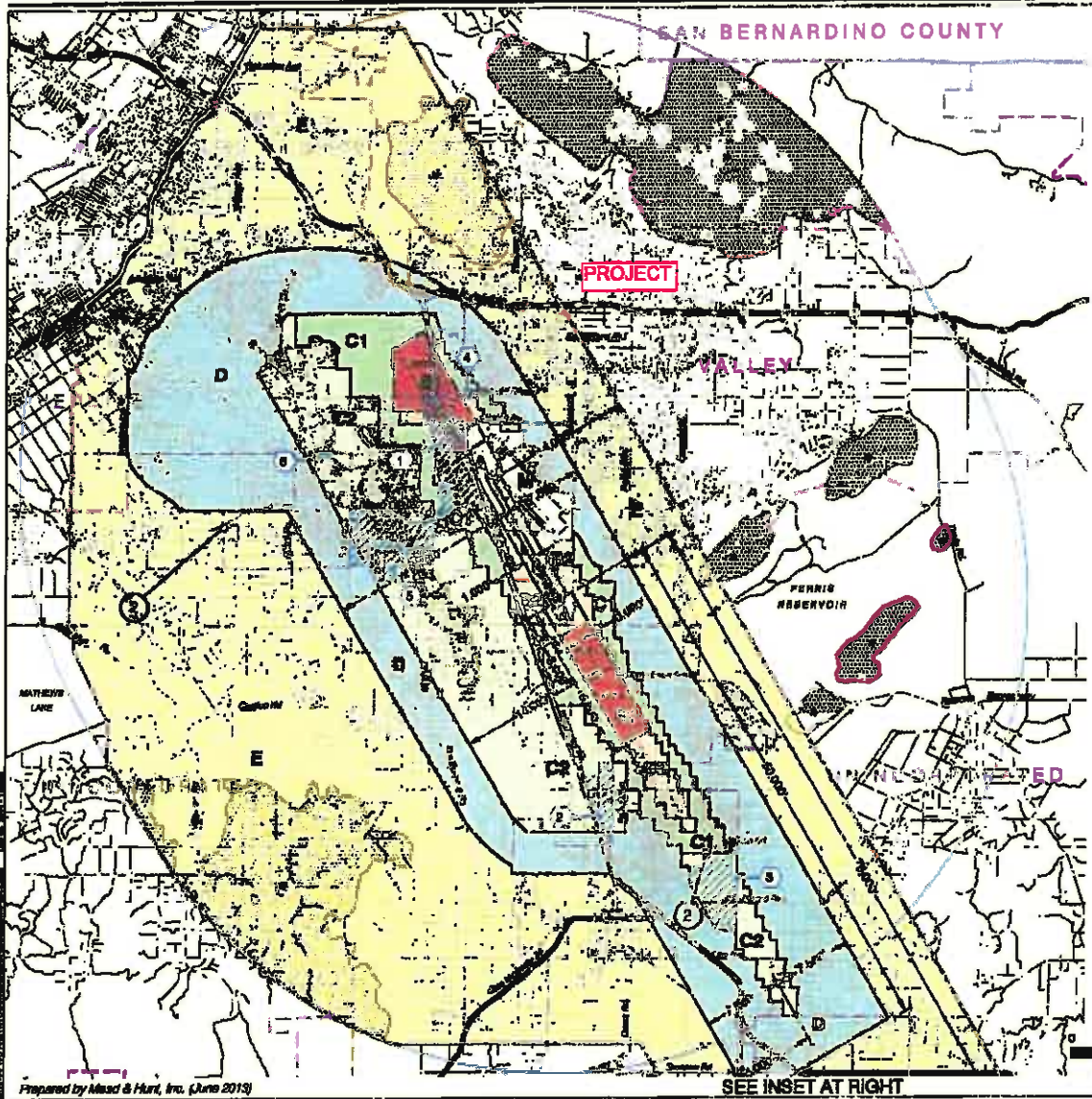


IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: \_\_\_\_\_

Phone: \_\_\_\_\_





**LEGEND**

**Compatibility Zones**

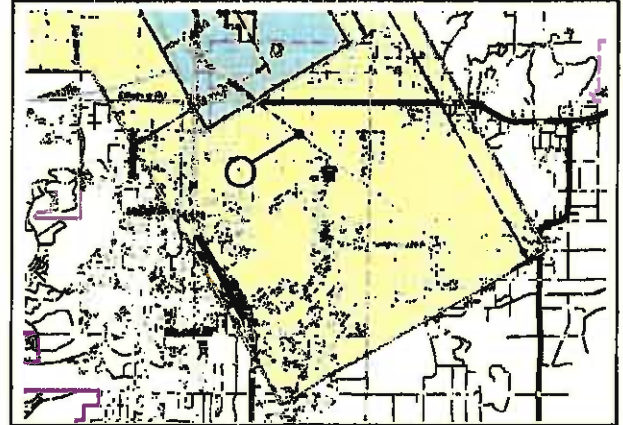
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)
  - March JPA: March Business Center/Meridian
  - Perris: Harvest Landing
  - Perris: Park West
  - Moreno Valley: Affordable Housing
  - March JPA: San Clark Training Center
  - Riverside: Ridge Crest Subdivision

- ① Point at which aircraft on Runway 9R ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,500 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

**INSET**



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Map MA-1

**Compatibility Map**  
March Air Reserve Base / Inland Port Airport

**Note:**  
All dimensions are measured from runway ends and centerlines.

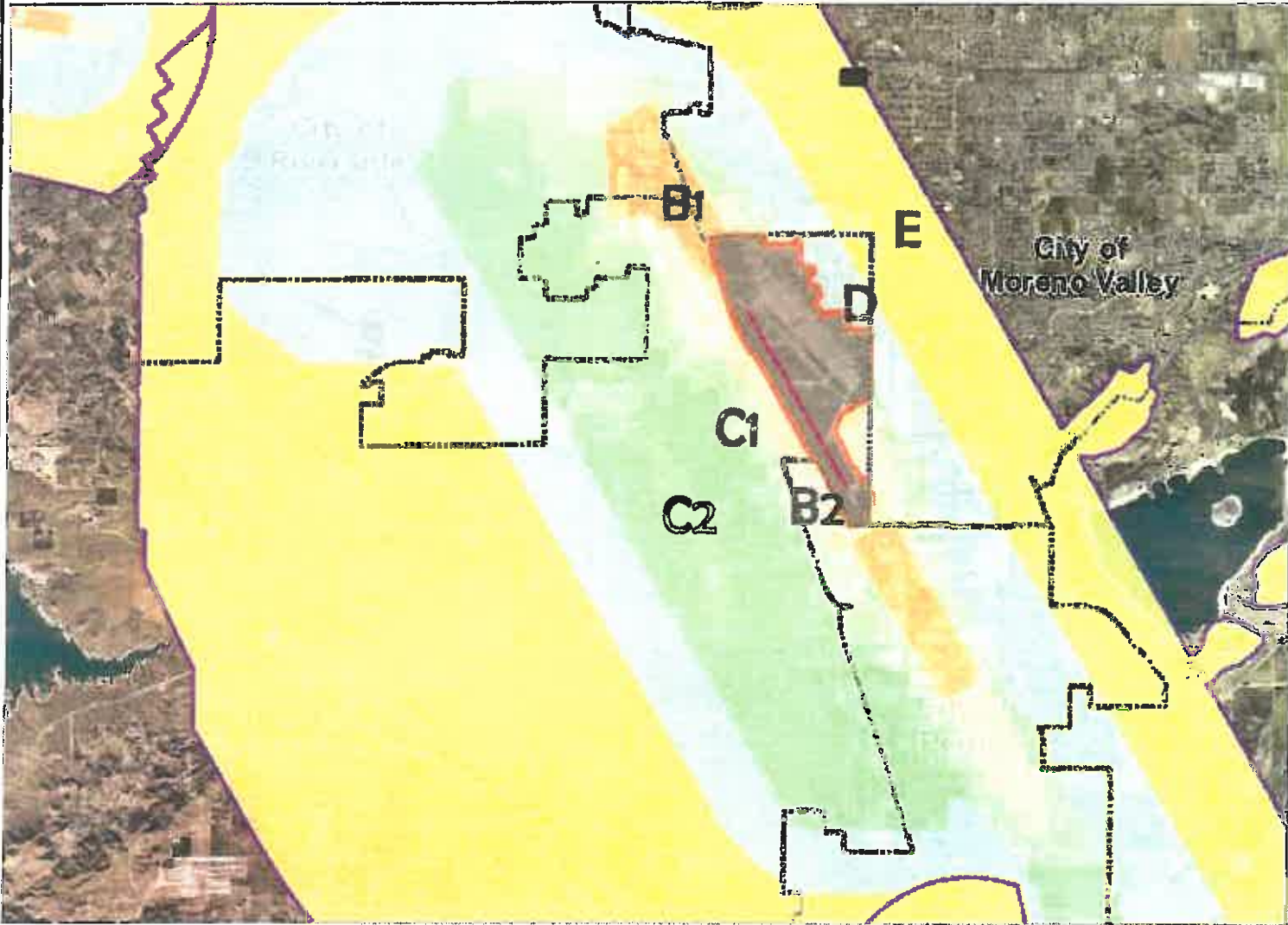
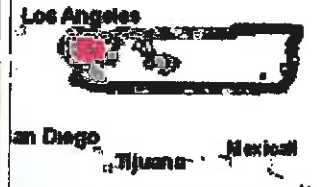


Base map source: County of Riverside 2013

Prepared by Masd & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

# Map My County Map



**Legend**

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC5



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**Notes**

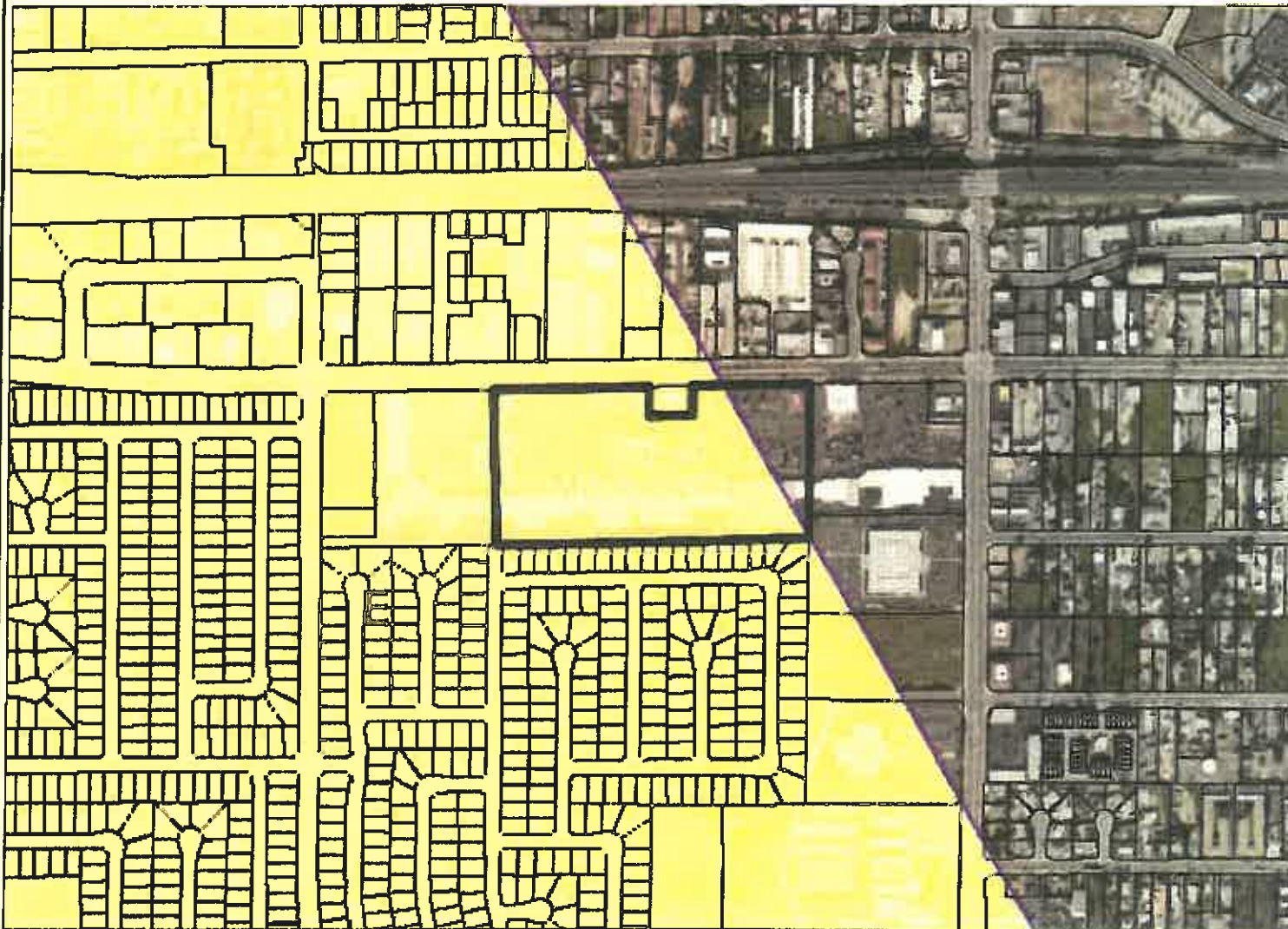
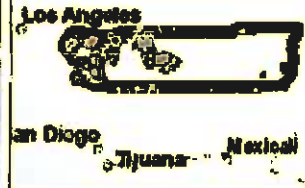


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# Map My County Map



## Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A**
- A-EXC1**
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2**
- B2-EXC1**
- C**
- C1**
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2**
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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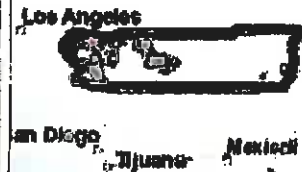
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## Notes

# Map My County Map



## Legend

-  Parcels
-  Blueline Streams
-  City Areas
-  World Street Map



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0 752 1,505 Feet

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## Notes



# Map My County Map



## Legend

- Blue line Streams
- City Areas
- World Street Map



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## Notes



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# Map My County Map

Los Angeles



San Diego

Tijuana

Mexico



## Legend

Blue Line Streams

City Areas

World Street Map



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## Notes

0 3,000 6,019 Feet

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# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



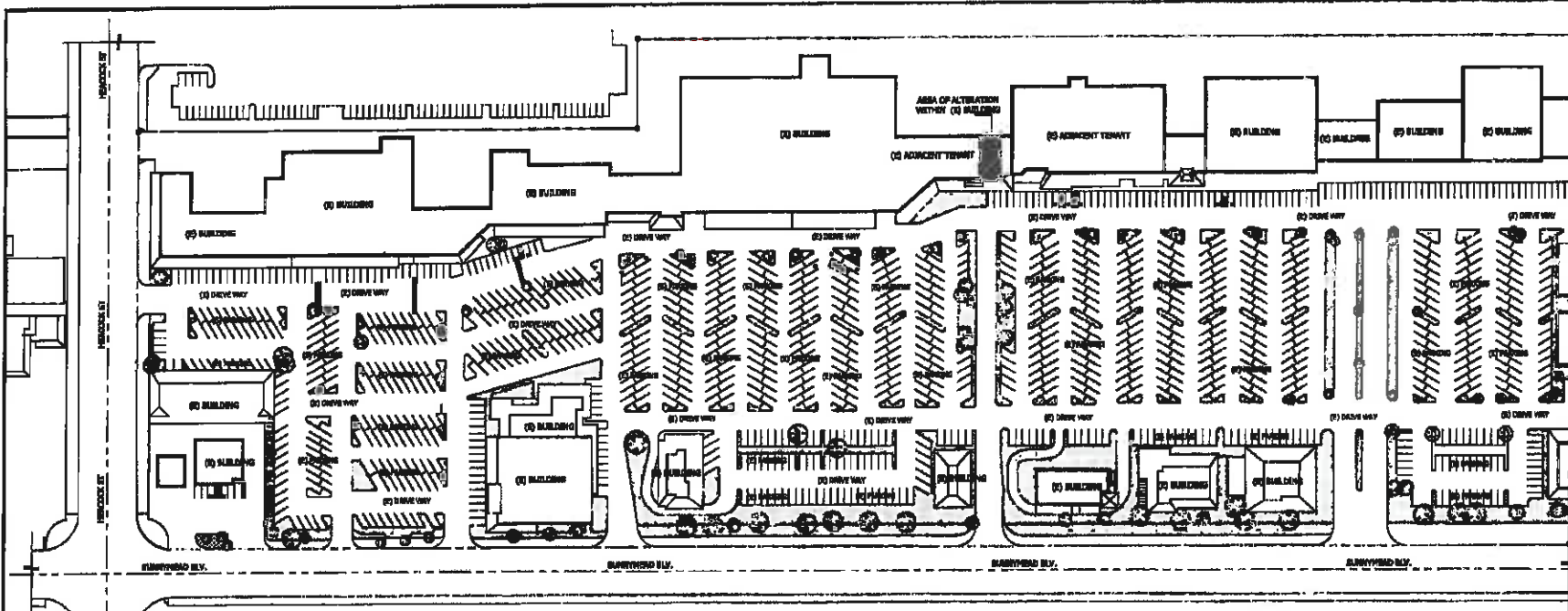
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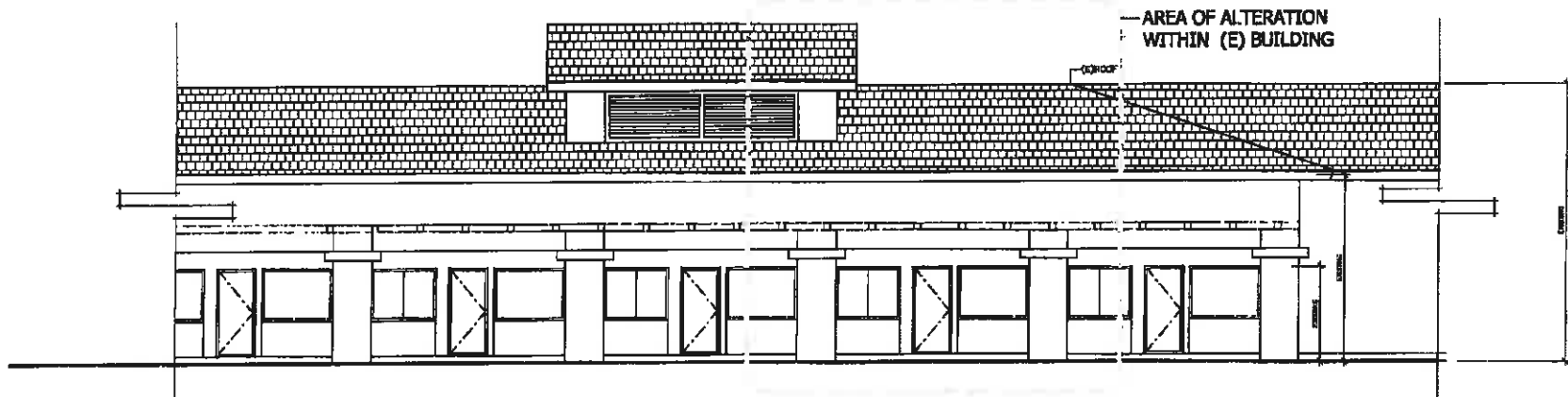
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## Notes



EXISTING SITE PLAN FOR REFERENCE  
SCALE 1/4" = 1'-0"



EXISTING FRONT ELEVATION REMAIN UNCHANGED  
SCALE 1/4" = 1'-0"

**RAHMAN ENGINEERING**  
3801 JEFFERSON AVENUE, LOS ANGELES, CA 90018  
TEL: 323-496-8877

Project:  
**23818 SUNNYMEAD BOULEVARD, MORENO VALLEY, CA 92553**

Contractor:

Stamp:

REVISIONS:  
DATE DATE BY

NO.	DATE	BY

DRAWN BY: S

DES. BY:  
CHK. BY: M.R.  
DATE:

TITLE:

PAGE NO:





**PAGE BREAK**







# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

September 3, 2020

Mr. Jeff Bradshaw, Project Planner  
City of Moreno Valley Planning Department  
14177 Frederick Street  
Moreno Valley CA 92551

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Russell Botta  
Desert Hot Springs

**VICE CHAIR**  
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Temecula

**STAFF**

Director  
Simon A. Housman

Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.aluc.org](http://www.aluc.org)

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1432MA20  
Related File No.: PEN20-0100 (Conditional Use Permit)  
APN: 291-570-021  
Airport Zone: Compatibility Zone E

Dear Mr. Bradshaw:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PEN20-0100 (Conditional Use Permit), a proposal to construct a 3,105 square foot fast food restaurant building with a 400 square foot outdoor dining area, and drive-thru on 0.80 acres located southerly of Centerpoint Drive, westerly of Frederick Street, northerly of Brabham Street, and easterly of Town Circle.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 15,030 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,685 feet AMSL. The site's finished floor elevation is 1,636 feet AMSL, and the proposed building height is 20 feet, resulting in a top point elevation of 1,656 feet AMSL. Therefore, FAA OES review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

### CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

## **AIRPORT LAND USE COMMISSION**

2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible


## **AIRPORT LAND USE COMMISSION**

to monitor the stormwater basin.

5. **March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.**

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**



---

**Simon A. Housman, ALUC Director**

**Attachments: Notice of Airport in Vicinity**

**cc: Raising Cane's Restaurants, LLC. (applicant)  
Javier Sola (representative)  
Brixton-Alto Shopping Center, LLC (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base  
ALUC Case File**

**Y:\AIRPORT CASE FILES\March\ZAP1432MA20\ZAP1432MA20.LTR.doc**

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

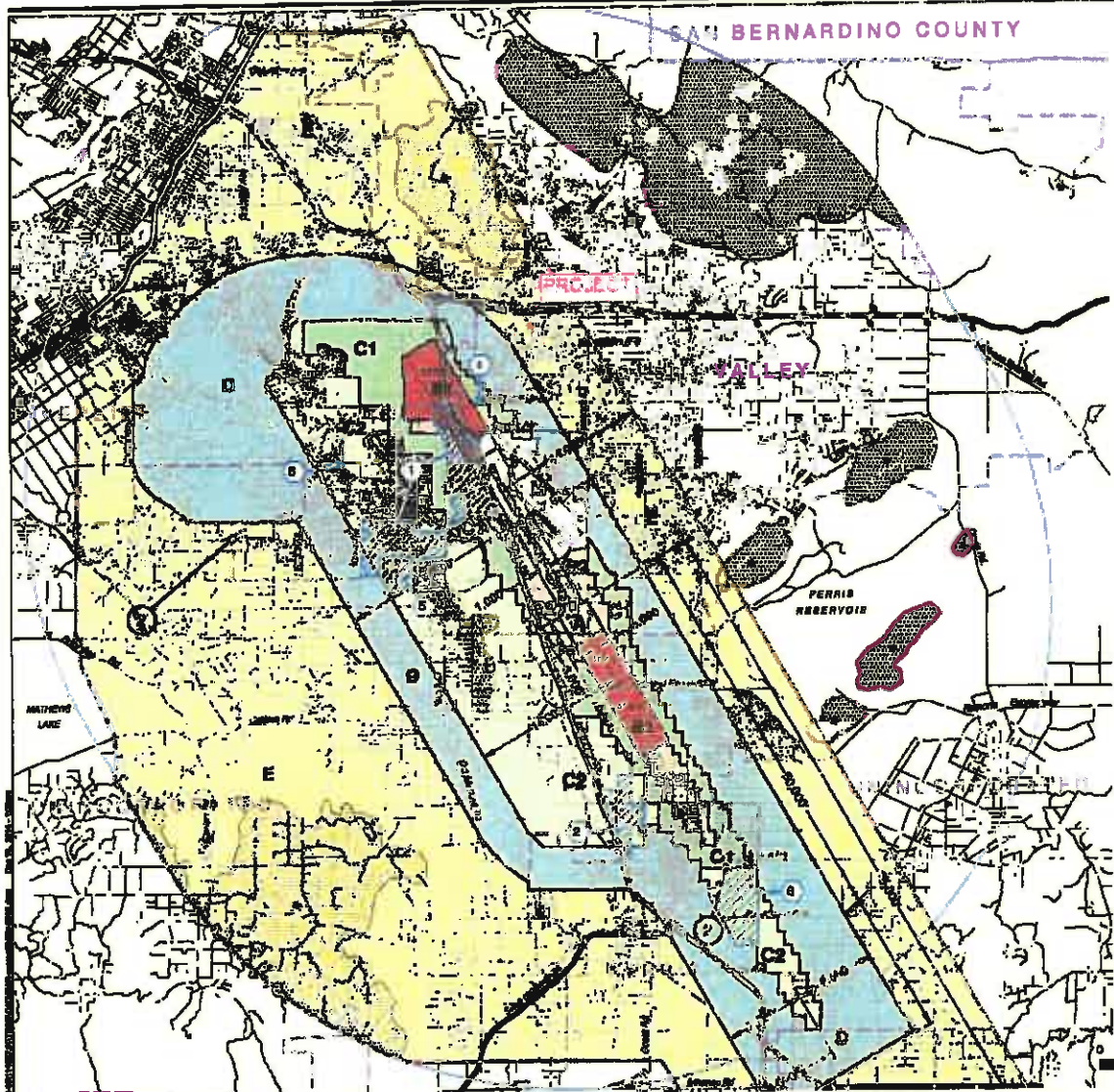
**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: \_\_\_\_\_

Phone: \_\_\_\_\_



**LEGEND**

**Compatibility Zones**

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)
  - ① March JPA: March Business Center/Meridian
  - ② Perris: Harvest Landing
  - ③ Perris: Park West
  - ④ Moreno Valley: Affordable Housing
  - ⑤ March JPA: Ben Clark Training Center
  - ⑥ Riverside: Ridge Crest Subdivision

- ① Point at which aircraft on Runway 28 L/R approach descend below 5,000 feet above runway end. Airport Elevation is 1,595 feet MSL.
- ② Point at which departing aircraft typically reach 5,000 feet above runway end.

**INSET**



Riverside County  
 Airport Land Use Commission  
 March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan  
 (Adopted November 13, 2014)

Map MA-1

**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport

Note:  
 All dimensions are measured from  
 runway ends and centerlines.



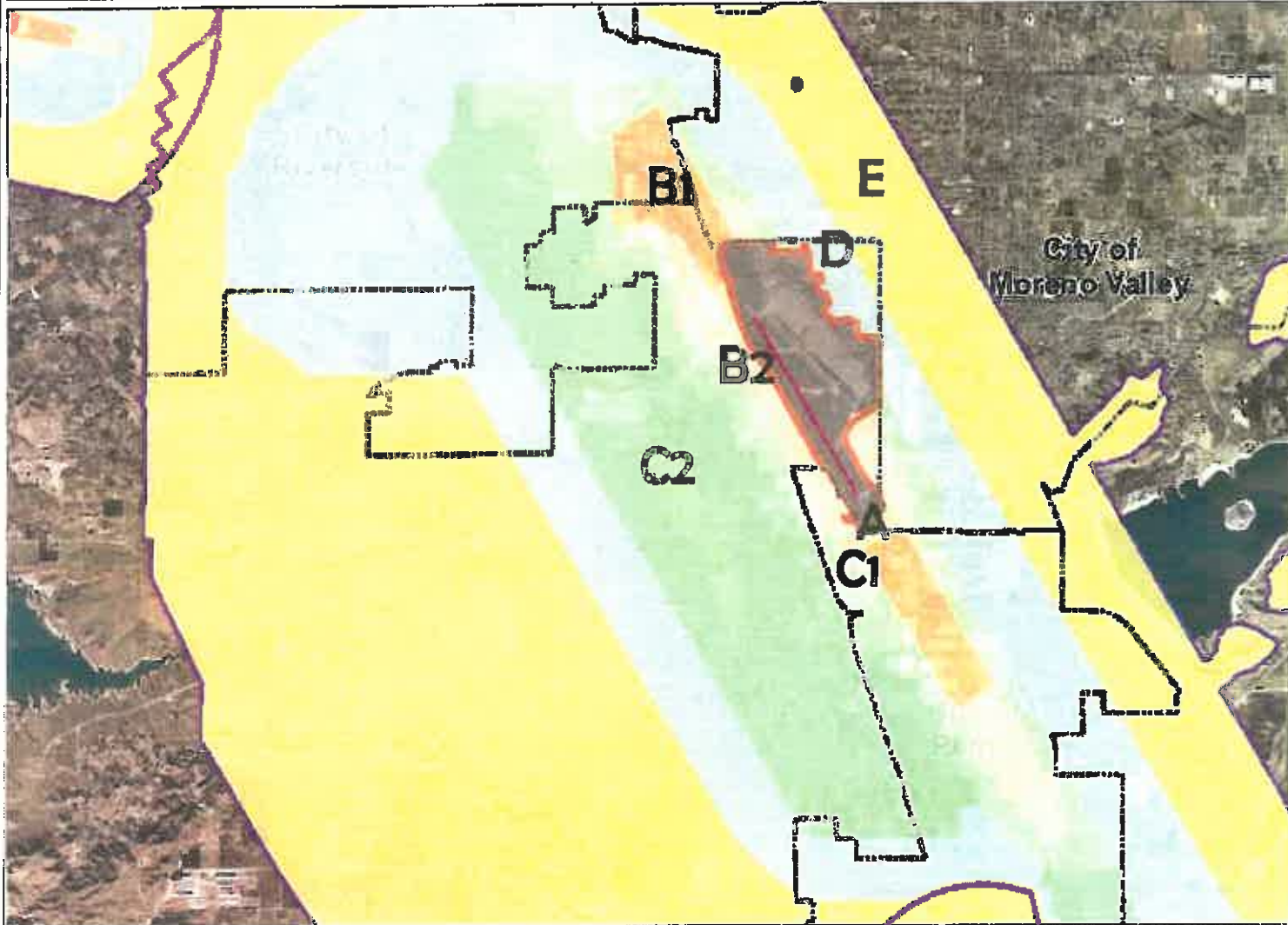
4 MILES

Base map source: County of Riverside 2013

SEE INSET AT RIGHT



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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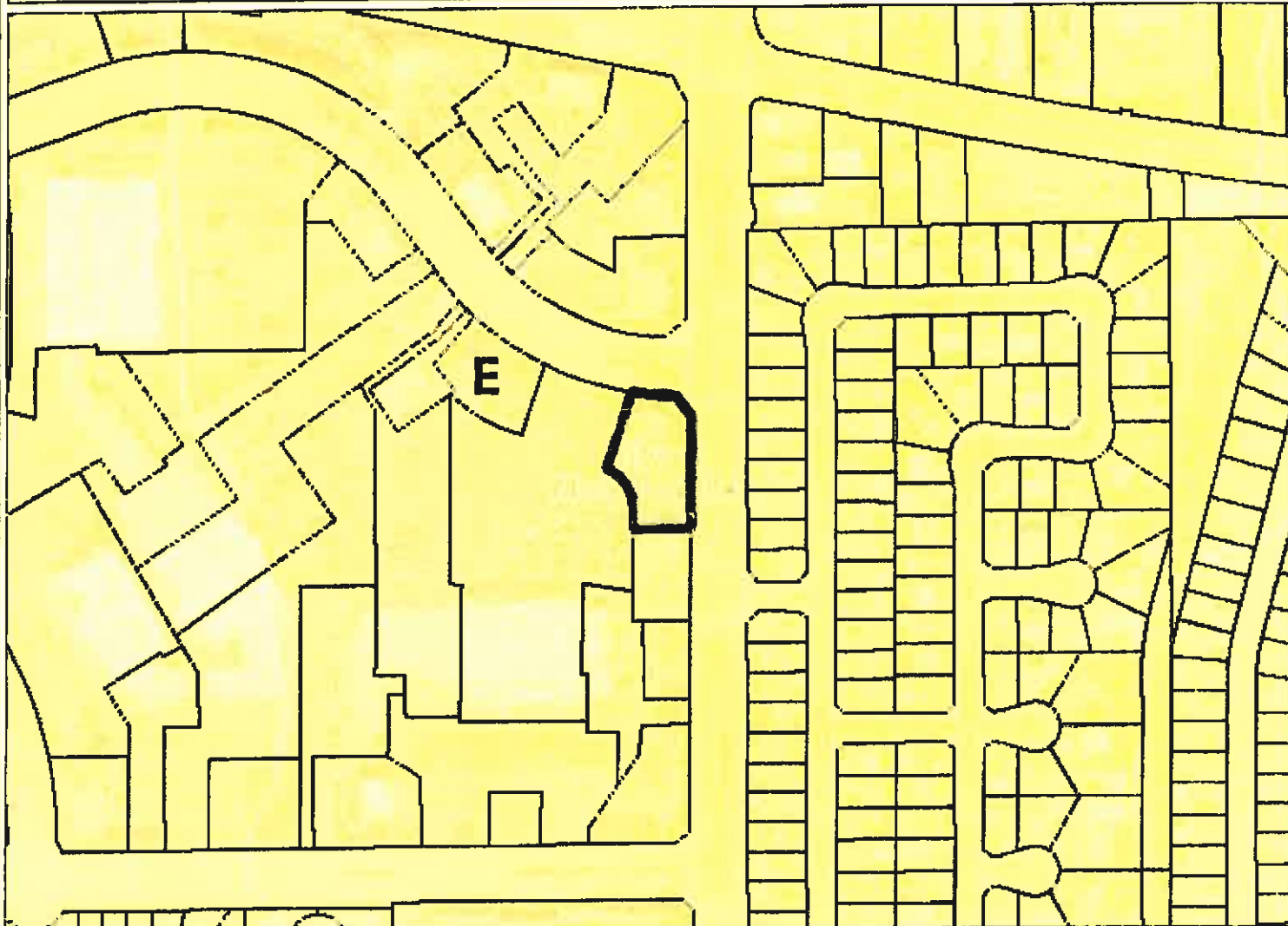
REPORT PRINTED ON... 9/2/2020 9:58:28 AM

© Riverside County GIS

## Notes



# Map My County Map



## Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A**
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2**
- B2-EXC1
- C**
- C1**
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2**
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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0 376 752 Feet

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## Notes

# Map My County Map



## Legend

- Parcels
- Blue Line Streams
- City Areas
- World Street Map

## Notes



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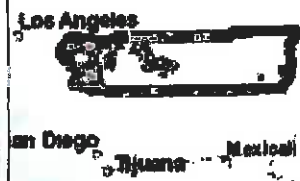
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# Map My County Map



**Legend**

- Bialine Streams
- City Areas
- World Street Map

**Notes**



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# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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0 752 1,505 Feet

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## Notes



# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map

## Notes



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0 376 752 Feet

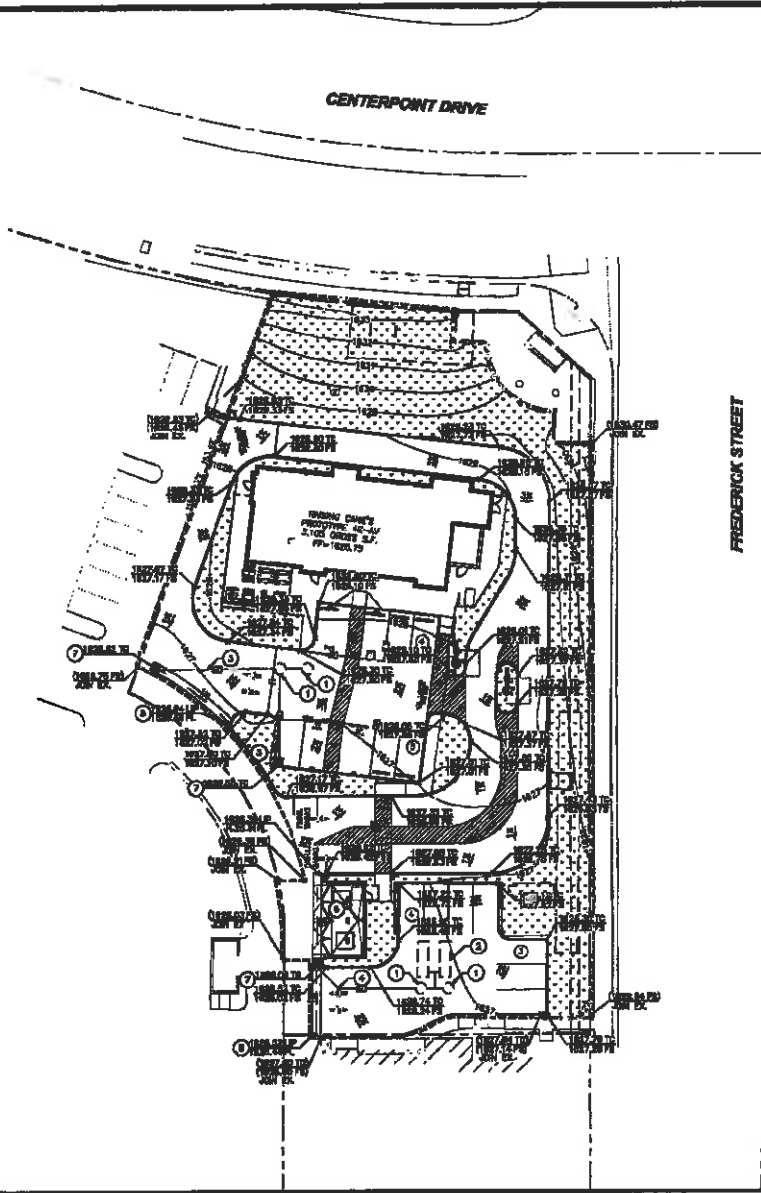
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DRAWING NO. 12506-1 PRELIMINARY GRADING PLAN  
 DATE: 01/14/2010  
 PROJECT: 12506-1 PRELIMINARY GRADING PLAN  
 SHEET NO. 1 OF 1  
 CLIENT: CITY OF MORENO VALLEY  
 DESIGNER: KIMLEY-HORN  
 CHECKER: J. H. [Name]  
 APPROVED: J. H. [Name]  
 SCALE: AS SHOWN  
 SHEET SIZE: 24" X 36"



**LEGEND**

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- APPROXIMATE LIMITS OF DISTURBANCE
- PROPOSED FENCE LINE
- PROPOSED GRADE BREAK LINE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED FLOW LINE
- PROPOSED STORM DRAIN LINE

**GRADING AND DRAINAGE NOTES**

- ① PROPOSED 30" DEEP DRYWELL.
- ② 48" HDPE CHAMBERS FOR ADDITIONAL STORAGE.
- ③ 12" 808-36 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
- ④ 18" 808-36 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
- ⑤ CONCRETE VALLEY GUTTER.
- ⑥ TRASH ENCLOSURE DRAIN WITH ACCESSIBLE GRATE, DRAIN TO BOX.
- ⑦ 24" X 36" STAINLESS PRECAST DROP INLET WITH DATCH BRASS PLATE BUILT FOR TRASH CAPTURE.

**ESTIMATED EARTHWORK QUANTITIES**

CUT	376 CY
FILL	73 CY
NET	303 CY (EXPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING SURFACE TO THE PROPOSED FINISHED GRADE. EXISTING GRADING IS CONTROLLED BY THE CONTIGUOUS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS SHOWN AS THE FINAL GRADE AS INDICATED ON THE GRADING PLANS.

THE ESTIMATED QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN PREPARED TO ACCOUNT FOR CHANGES IN GRADE DUE TO PILING, EXCAVATION AND SPREADING OPERATIONS, DIRT, EXCAVATION AND NO-COMPACTED AND UNSTABILIZED MATERIALS, OR THEY ACCOUNT FOR THE TOLERANCES OF FINISHED GRADES, FINISHES, SLABS, ETC. OF FINISHED MATERIALS THAT ARE UNUSUAL NEW PARAMETERS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN ESTIMATES OBTAINED FOR BIDDING PURPOSES.



NO.	DATE	DESCRIPTION

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

**Kimley-Horn**

THE CITY ENGINEER HAS REVIEWED AND APPROVED THIS PLAN FOR THE CITY OF MORENO VALLEY.

DATE: 01/14/2010

CITY OF MORENO VALLEY

APPROVED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

12506 CENTERPOINT DR  
MORENO VALLEY, CA 92553

CITY OF MORENO VALLEY

**PRELIMINARY GRADING PLAN**

1 OF 1



KIESEL-DESIGN

Kiesel Landscape  
Architecture Inc.

422 E Main Street  
Ventura, CA 93021  
(8) 852-647-0790  
jaci@kiesel-design.com  
C/O 8/2018

Raining Canes  
Moreno Valley  
RC #881

1282 Pacific BL  
Moreno Valley, CA 92553

Submittal:  
# DATE NAME  
7/16/20 Draftwork Submitted



Typed: Submittal  
Submitted

Initial Design Date  
July 14, 2020

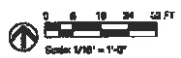
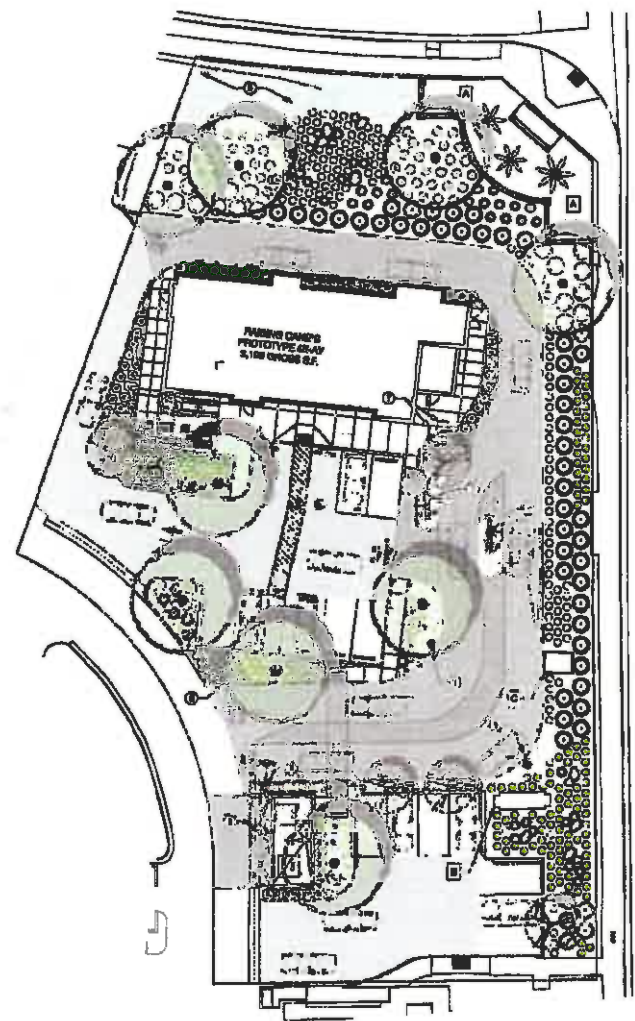
Drawn By: NAME DATE  
T. Bringer 07/20/20

20% Preliminary Submittal for Review  
City of Moreno Valley  
Department of Public Works  
Engineering Division

Title:  
Preliminary  
Landscape Plan

Sheet Number:

L0.1



Existing Notes

- A) (S) landscape areas to remain
- B) (S) multi-stem algar
- C) (S) transformer to remain

Proposed Notes

- 1) (P) preserve board per architect
- 2) (P) order board per architect
- 3) (P) patio furniture per architect
- 4) (P) garage enclosure per architect
- 5) (P) hexacote lot per architect
- 6) (P) turf grass to match existing grass in the west of our site
- 7) (P) blue rock and blue factor per architect

Existing Tree Protection & Removal Notes

All existing plants intended to remain and be protected unless otherwise noted.

- (S) palm to remain

Plant List

Symbol	Common Name	Container	Size	Qty	Minimum Height	Minimum WIND	Minimum WINDLOAD
<b>Trees</b>							
(S)	California Sycamore	Desert Willow	8" Bar	1	12 - 15 ft	8 - 25 ft	Low
(S)	Blue Juniper	Almond Gum	20" Bar	0	10-12 ft	> 25 ft	Low
<b>Shrubs</b>							
(S)	Arctostaphylos 'Sunset'	Sunset Manzanita	18 gal	11	4-5 ft	4-5 ft	Low
(S)	Justicia spigades	Madras Fleayacide	5 gal	1	3-4 ft	3-4 ft	Low
(S)	Protea Nutcrack	Jacobson Sage	2 gal	3	3-4 ft	3-4 ft	Low
(S)	Phoradendron umbellata 'Minor'	Dwarf Yucca Hawthorn	15 gal	20	3-5 ft	3-4 ft	Med
<b>Perennials</b>							
(S)	Diandra revoluta 'Little Red'	Little Red Red Liv	5 gal	25	2-4 ft	1-2 ft	Low
<b>Deciduous</b>							
(S)	Agave 'Blue Star'	Blue Glow Agave	8 gal	12	2-3 ft	2-3 ft	Low
(S)	Agave attenuata 'Majesty'	Variiegated Smooth Agave	6 gal	25	2-4 ft	2-4 ft	Low
<b>Grasses</b>							
(S)	Stipa aridicola 'Stone Anthem'	Stone Anthem Blue Grass	1 gal	341	1-2 ft	1-2 ft	Low
(S)	Larrea tridentata 'Beauty'	Variiegated Desert Mat Rush	2 gal	88	2-3 ft	3-5 ft	Med

Symbol	Material	Qty	Area	Notes
(S)	Turf	1	1	1
(S)	Turf to match (S)	1,223	32 SF	Med
(S)	Artificial Turf	1	480 SF	Low

Materials Legend

Material	Size	Area
Local silver cobble	8-0" DIA	2,170 SF
Direct Colored Integral colored concrete W/ decorative blasted c to cut joints. Finish: KONA-B 8043 or equal	N/A	280 SF
Neutral colored concrete W/ decorative blasted saw cut joints. Finish: TOP-GMAT 8138	N/A	1,617 SF

\*Integral Colored Concrete Supplier: Direct Colors: <http://www.directcolors.com/>

Tree Requirement Calculations per Predevelopment Findings

- 1) Existing mature trees that cannot be preserved in-place, shall be transplanted elsewhere on the site, unless transplantation is infeasible due to the type or condition of the trees.
- 2) Projects necessitating the removal of existing trees with trunk-inch or greater trunk diameter (calipers), shall be replaced at a three to one ratio, with minimum twenty-four inch breast diameter trees of the same species, or a substitute thirty-six inch tree for a one to one replacement, where appropriate.
- 3) Parking lots and drive throes shall be screened from the public right-of-way by a thirty six inch high wall, shrub row and/or by lowering.
- 4) Within a maximum of ten (10) years, parking lot trees shall shade a minimum of fifty (50) percent of parking spaces perimeter during the winter months, between east and west in the afternoon.
- 5) A minimum of fifty percent of the parking lot trees may be deciduous unless otherwise approved by the community development department.
- 6) In addition to the required street trees, trees shall be planted at a the equivalent of one tree per thirty (30) linear feet of building elevation that is visible from the parking lot or public right-of-way. Trees may be removed for planting another 40 feet.
- 7) Additional parking lot trees shall be provided at one tree per thirty (30) linear feet of parking lot adjacent to the interior property.



Restaurant & Food Service  
4800 Bluffwood Road, P.O. Box 343228  
Dallas, TX 75234-3228 Fax: 972-759-2703

**SYMBOL LEGEND**

-  CENTERLINE
-  CENTERLINE
-  CENTERLINE
-  CENTERLINE
-  POINT OF ACRYLIC BRIDGE
-  POINT OF FABRIC JOINT
-  POINT OF FABRIC JOINT
-  POINT OF FABRIC JOINT
-  POINT OF FABRIC JOINT

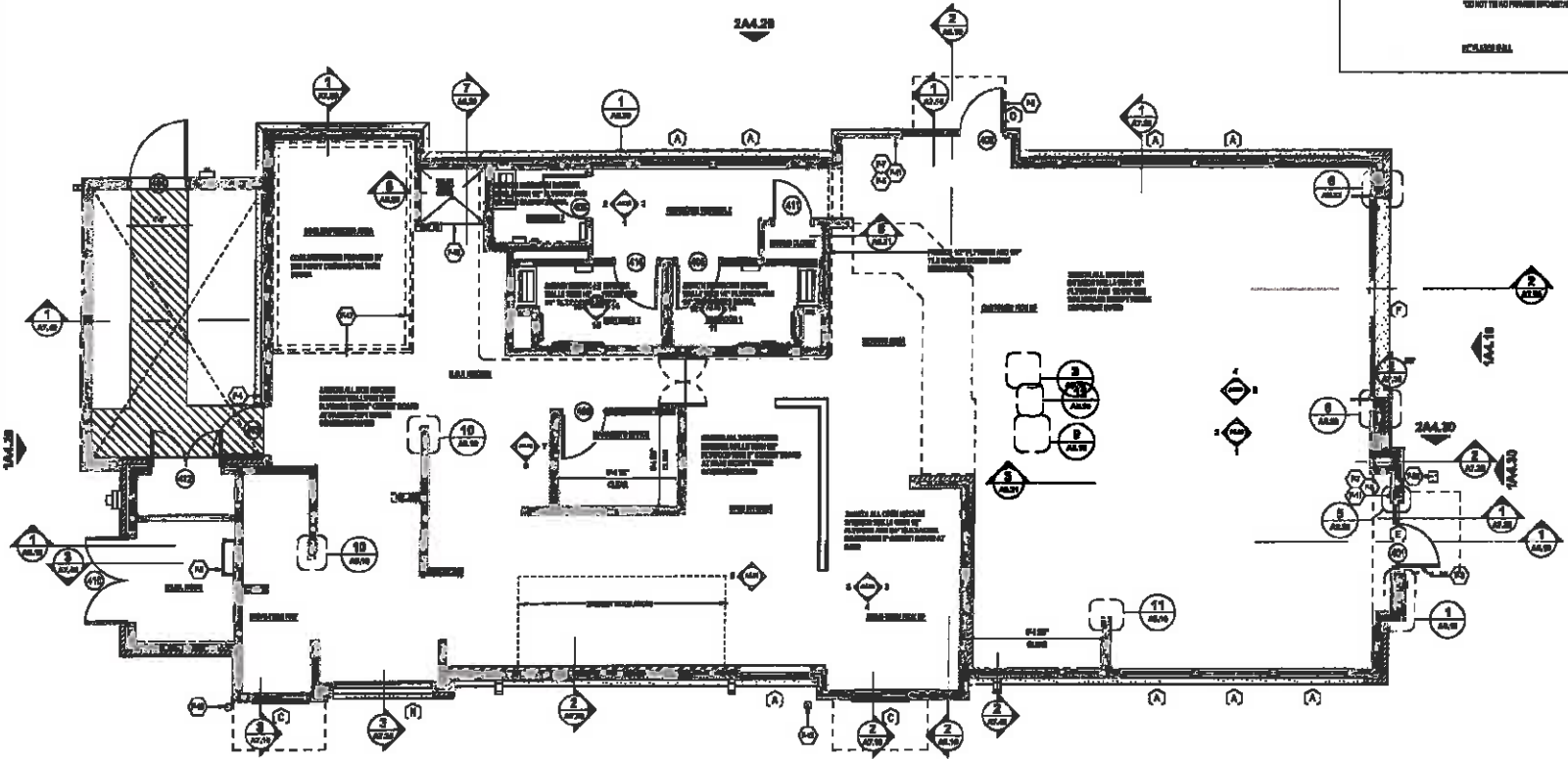
**KEYNOTES**

- K1 REMOVE EXISTING FLOOR SYSTEM TO ALLOW TO EXPOSE EXISTING STRUCTURE.
- K2 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K3 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K4 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K5 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K6 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K7 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K8 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K9 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K10 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K11 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K12 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K13 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K14 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K15 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K16 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K17 REMOVE WALL TO BE IMPACT ACCIDENT WALL.
- K18 REMOVE WALL TO BE IMPACT ACCIDENT WALL.

**RATED WALL**

THIS WALL IS CONSIDERED FIRE-RESISTANT PER LOCAL BUILDING CODES. IT SHALL BE CONSIDERED A FIRE-RATED WALL. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT. ALL MATERIALS SHALL BE TESTED TO MEET THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT. ALL MATERIALS SHALL BE TESTED TO MEET THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT. ALL MATERIALS SHALL BE TESTED TO MEET THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT.

GENERAL



Project:  
**Feeling Good's**  
**Restaurants #961**  
**2626 Frederick Street,**  
**Morone Valley CA,**  
**928512**  
**Prototype 4E-AV**

Designer's Information:  
**CSRS**  
 8767 Perkin Road, Suite 200  
 Detroit Rouge, Louisiana 70808  
 Telephone: 225-769-0646  
 www.csrsinc.com

Project Number: 48494666  
 Project Date: 10/10/10  
 Job: Project Manager: JWC

**ENTITLEMENT SUBMITTAL**

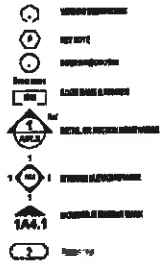
Sheet Number	Sheet Title	Sheet Status
1	FLOOR PLAN	Submittal

Sheet Title:  
**KEYNOTE FLOOR PLAN**

Sheet Number:  
**A1.10**



**SYMBOL LEGEND**

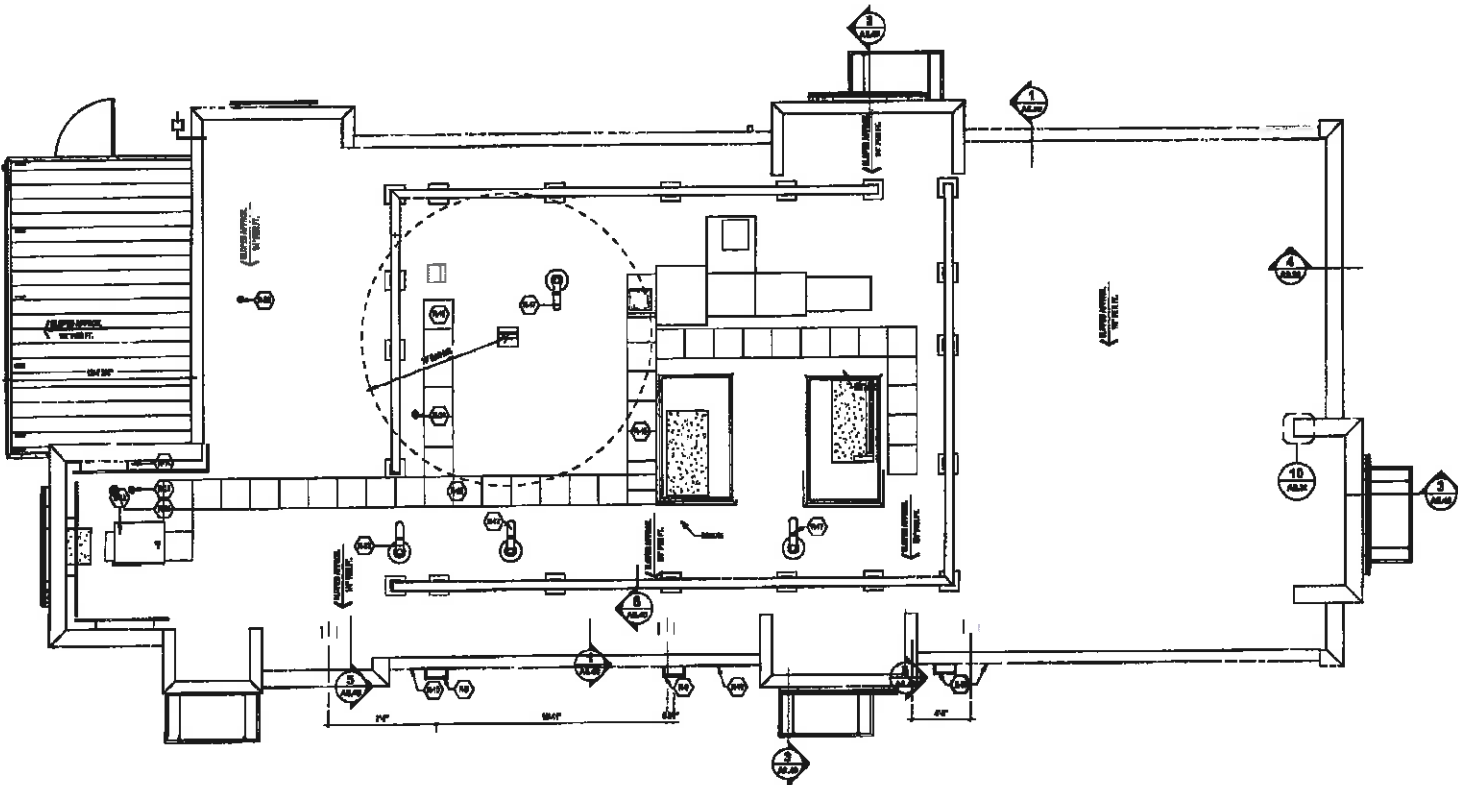


**GENERAL NOTES**

- 1 THE DETAILS SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED AS MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL DETAILS AND MATERIALS WITH THE MANUFACTURERS FOR ANY SPECIAL REQUIREMENTS PRIOR TO THE BEGINNING OF THE WORK.
- 2 REFER TO STRUCTURAL DRAWINGS FOR ALL EXISTING ELEVATIONS.
- 3 REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL EQUIPMENT TO BE INSTALLED ON THE ROOF.
- 4 CLEAN ROOF OF ALL DEBRIS PRIOR TO INSTALLATION OF ROOFING SYSTEM.
- 5 ALL ROOF TOP MECHANICAL EQUIPMENT SHALL BE SUPPLIED FROM THE ROOF TO THE ROOF FOR EQUIPMENT MANUFACTURERS APPROVAL.
- 6 CONTRACTOR TO VERIFY WEIGHT AND LOCATIONS OF ALL MECHANICAL EQUIPMENT WITH OWNER PRIOR TO TRANSPORTATION.
- 7 IN ADDITION VERIFY WEIGHT AND LOCATIONS OF ALL MECHANICAL EQUIPMENT FROM EXISTING STRUCTURE AND FOUNDATIONS.
- 8 CONTRACTOR TO VERIFY WEIGHT AND LOCATIONS OF ALL ROOF TOP EQUIPMENT WITH AN APPROPRIATE SPECIALTY CONTRACTOR.
- 9 CONTRACTOR TO COORDINATE PRELIMINARY EQUIPMENT WITH ALL APPLICABLE SPECIFICATIONS.

**ROOF TOP EQUIPMENT AND ACCESSORIES**

1	MECHANICAL EQUIPMENT
2	VENT PIPE
3	EXHAUST FAN
4	AIR HANDLING UNIT
5	METAL DECK PENETRATION
6	PARAPET
7	VERTICAL ACCESS POINT
8	ACCESSIBLE EGRESS DOOR
9	NOTE



**Project:**  
 Rainier Cones  
 Restaurant #451  
 2828 Frederick Street,  
 Marano Valley CA,  
 925512  
 Prototype 45-AV

**Designer Information:**  
**CSRS**  
 6767 Perdine Road, Suite 200  
 Baton Rouge, Louisiana 70808  
 Telephone: 225-768-0546  
 www.csrsinc.com

**Package Number:**  
**Project Date:**  
**Arch. Project Name:**

**ENTITLEMENT SUBMITTAL**

Prepared by: \_\_\_\_\_  
 Checked by: \_\_\_\_\_

Sheet Number:	Project Number:

**Sheet Title:**  
**ROOF PLAN**

**Sheet Number:**  
**A1.50**



Project:  
**Raising Cane's  
 Restaurant #551**  
 2225 Frederick Street,  
 Moreno Valley CA,  
 92553  
 Prototype 4E-AV

Architect:  
**CSRS**  
 5757 Perkins Road, Suite 200  
 Baton Rouge, Louisiana 70808  
 Telephone: 225 789-0848  
 www.csrsinc.com

Prototype Vendor:  
 Project # and Date:  
 Arch. Project Manager:

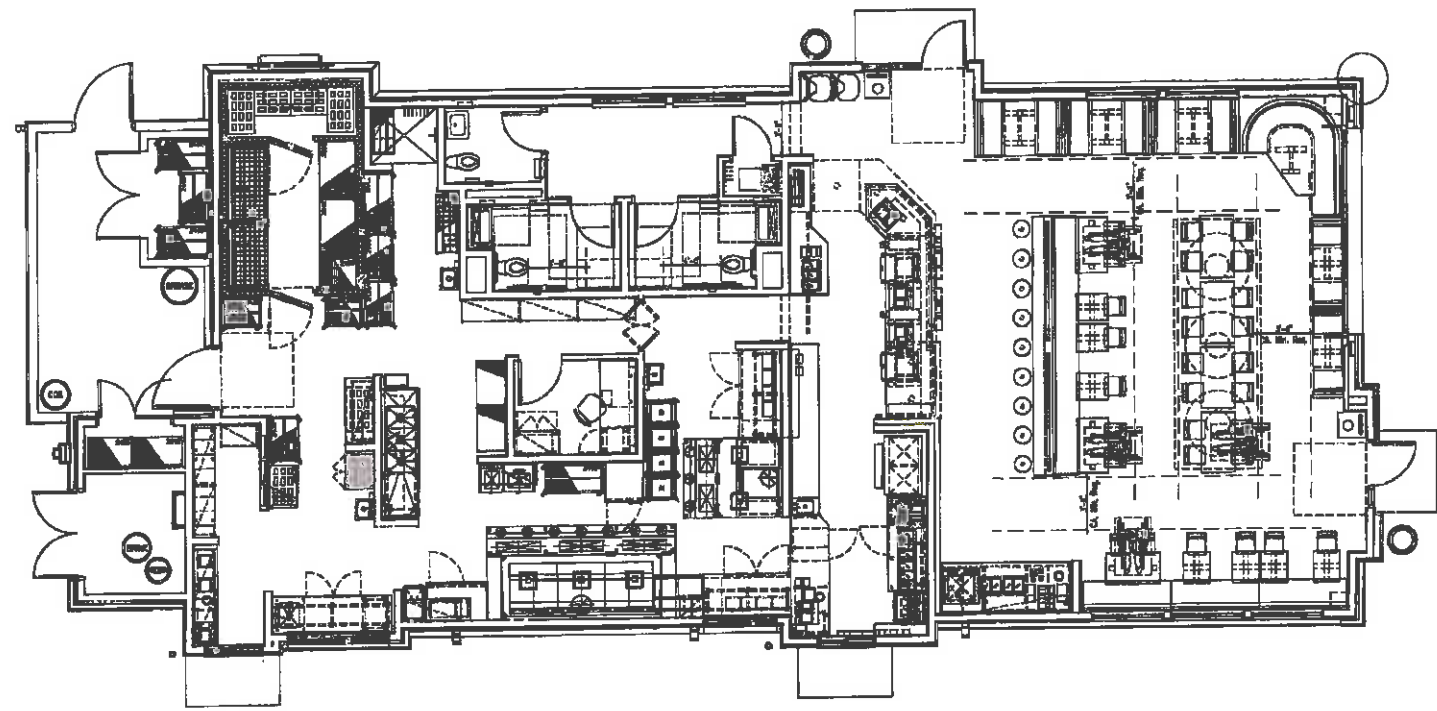
**ENTITLEMENT  
 SUBMITTAL**

Proceeds of Paper

Sheet Number	Sheet Title	Scale	Date
1	EQUIPMENT PLAN		7/1/2010

Sheet Title:  
**EQUIPMENT PLAN**

Sheet Number:  
**FS1.10**



PLAN NORTH  
**1 EQUIPMENT PLAN**  
 GROUP



Business Development  
 8000 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 Tel: 310-752-1000 Fax: 310-752-1000

Project:  
**Raising Cane's  
 Restaurant #4531**  
 2825 Frederick Street,  
 Murano Valley CA,  
 925512  
 Prototype 4E- AV

Supplier Information:  
**CSRS**  
 8787 Parkside Road, Suite 200  
 Baton Rouge, Louisiana 70808  
 Telephone: 225 769 0546  
 www.csrsinc.com

Provider Number: 447990209  
 Project Start Date: 08-08-08  
 Rev. Project Number: 002

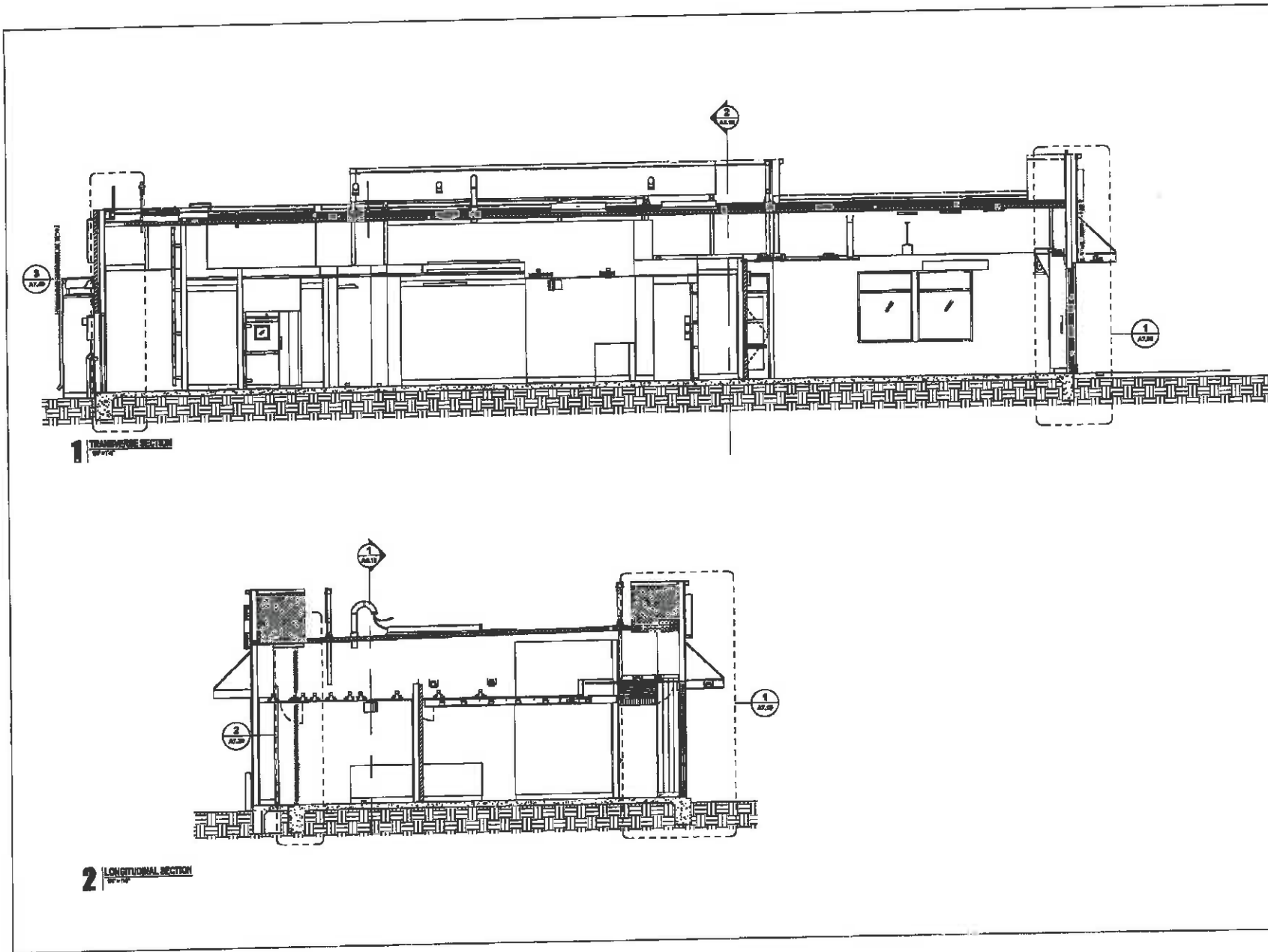
**ENTITLEMENT  
 SUBMITTAL**

Proposed by: Project

Sheet Number	Date	Description
1	07/20/08	Entitlement Submittal

Sheet Title:  
**BUILDING SECTIONS**

Sheet Number:  
**A6.10**

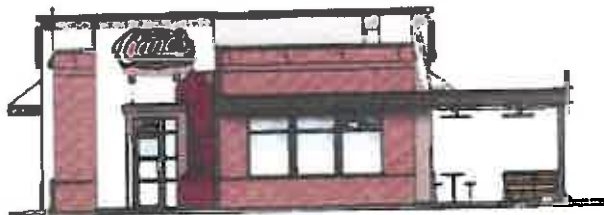


**1** TRANSVERSE SECTION  
 07/20/08

**2** LONGITUDINAL SECTION  
 07/20/08



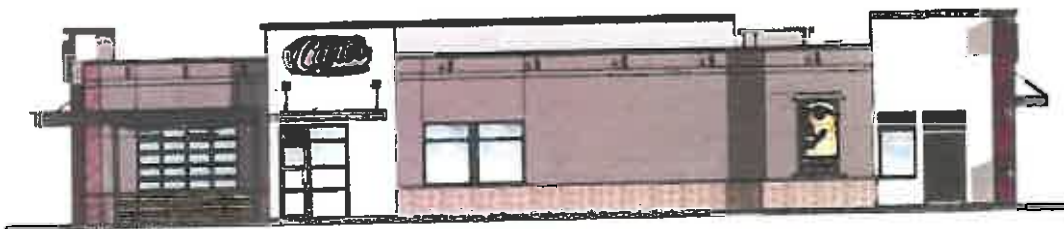
**P4E-AV Side Patio w/ Rear Tower Elevations**



**FRONT ENTRY ELEVATION**  
SCALE: 1" = 12'-0"



**DRIVE THRU ELEVATION**  
SCALE: 1" = 12'-0"



**SIDE ENTRY ELEVATION**  
SCALE: 1" = 12'-0"



**REAR ELEVATION**  
SCALE: 1" = 12'-0"

**MATERIAL FINISHES**

**EM-3**



BOY ROLLER STEEL W/ CARBON GRAY FINISH - W/ CLEAR, SATIN POWDER COAT FINISH

**EM-4**



RECLAIMED METAL PANEL - VINTAGE CAR HOOD OCCURS AT BACK OF THE 'Y' ELEMENT ONLY

**EMF-1**



REDISH MEDIUM BRICK MIMICRY MEDIUM BLAZE, SANDY, NON SPOT, MORTAR TO MATCH SOLIDMOR PRODUCTS TO IT, WEATHERED HORIZONTAL STRIKE, VERTICAL JOINTS ARE FLUSH

**EMF-2**



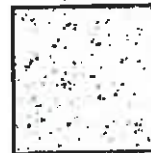
2 1/2" 2400 SMOOTH GRAY PORTLAND CEMENT STUCCO

**EMF-4**



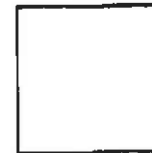
BOBAL 'ALAMO' MIMICRY BRICK MORTAR TO MATCH SOLIDMOR PRODUCTS TO IT, LIGHT BUFF SACK RGB FINISH

**EMF-6**



1 1/2" MOUNTAIN PDG PORTLAND CEMENT STUCCO

**EMF-6**



1 1/2" OYSTER SHELL CEMENT STUCCO

**EMS-2**



ALUMINUM STORMDOOR SYSTEM FINISH: ANODIZED BLACK

RC551 MORENO VALLEY



**TITLE REFERENCE DISCUSSION**

1. AN EASEMENT FOR WIRE LINE AND WIRE RECORDS, ISSUED IN FAVOR OF CALIFORNIA WIRE AND TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED MARCH 20, 1968 AS INSTRUMENT NO. 10697 OF OFFICIAL RECORDS, APPLICABLE TO BROWN TRUCKS, BELMONT, CALIFORNIA, AND CALIFORNIA...

2. THE EFFECT OF AN INSTRUMENT DATED MARCH 2, 1968 BY DIRECTOR OF COMMUNITY DEVELOPMENT, CITY OF MORENO VALLEY AND THE ASSOCIATES AND OTHERS, RECORDED APRIL 12, 1968 AS INSTRUMENT NO. 10694 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

3. THE EFFECT OF A FIRST AMENDMENT TO AND REPEALMENT OF GRANT OF RECREATION, EASEMENTS AND DECLARATION OF CONFORMANCE BEARING WITH THE LAND AND DEVELOPMENT AGREEMENT BY AND BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10693 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

4. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10692 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

5. THE EFFECT OF A SECOND AMENDMENT TO AND REPEALMENT OF GRANT OF RECREATION, EASEMENTS AND DECLARATION OF CONFORMANCE BEARING WITH THE LAND AND DEVELOPMENT AGREEMENT BY AND BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10691 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

6. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10690 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

7. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10689 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

8. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10688 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

9. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10687 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

10. THE EFFECT OF AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10686 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

11. AN EASEMENT FOR WIRE LINE AND WIRE RECORDS, ISSUED IN FAVOR OF CALIFORNIA WIRE AND TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED MARCH 20, 1968 AS INSTRUMENT NO. 10697 OF OFFICIAL RECORDS, APPLICABLE TO BROWN TRUCKS, BELMONT, CALIFORNIA, AND CALIFORNIA...

12. AN EASEMENT FOR WIRE LINE AND WIRE RECORDS, ISSUED IN FAVOR OF CALIFORNIA WIRE AND TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED MARCH 20, 1968 AS INSTRUMENT NO. 10697 OF OFFICIAL RECORDS, APPLICABLE TO BROWN TRUCKS, BELMONT, CALIFORNIA, AND CALIFORNIA...

13. AN EASEMENT FOR WIRE LINE AND WIRE RECORDS, ISSUED IN FAVOR OF CALIFORNIA WIRE AND TELEPHONE COMPANY, AS SET FORTH IN A DOCUMENT RECORDED MARCH 20, 1968 AS INSTRUMENT NO. 10697 OF OFFICIAL RECORDS, APPLICABLE TO BROWN TRUCKS, BELMONT, CALIFORNIA, AND CALIFORNIA...

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20. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10690 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

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24. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10682 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

25. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10680 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

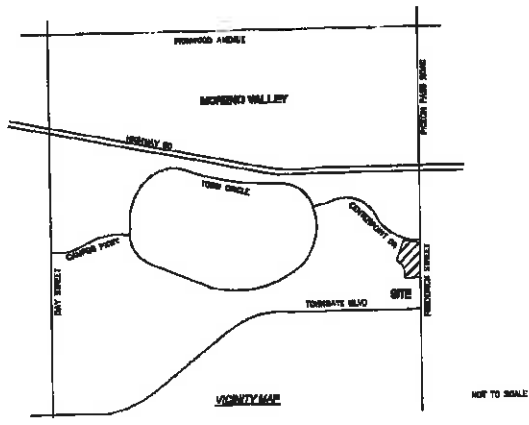
26. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10678 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

27. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10676 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

28. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10674 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

29. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10672 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...

30. THE MATTERS CONTAINED IN AN INSTRUMENT DATED JULY 10, 1968 BETWEEN METVON'S DEVELOPMENT COMPANY AND THE ASSOCIATES, RECORDED APRIL 8, 1968 AS INSTRUMENT NO. 10670 OF OFFICIAL RECORDS OF MORENO COUNTY, CALIFORNIA...



**CONVEYANCE**

ASSIGNMENT OF THESE RESTAURANTS, U.C. A LOUISIANA LIMITED LIABILITY COMPANY AND STATEMENT TITLE GUARANTEE COMPANY

THIS IS TO CERTIFY THAT THE MAP OR PLAN AND THE SURVEY ON BASIS OF WHICH THIS MAP WAS MADE IN ACCORDANCE WITH THE STATE ENGINEERING STANDARDS AND APPROVED BY THE STATE ENGINEER OF CALIFORNIA, COUNTY OF MORENO, IS CORRECT AND ACCURATE TO THE BEST OF THE SURVEYOR'S KNOWLEDGE AND BELIEF, AND THAT HE HAS BEEN DULY QUALIFIED BY THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF CALIFORNIA, AND THAT HE HAS BEEN DULY LICENSED BY THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF CALIFORNIA.

DATE OF PLAN OR MAP: 06/28/2008

*John P. Gentry*  
JOHN P. GENTRY  
P.S. 8054

**SURVEYOR'S NOTES**

THIS SURVEY WAS MADE ON THE GROUNDS UNDER MY SUPERVISION.

INFORMED SHOWS RECORDS OF SALES OF COUNTY TITLE INSURANCE COMPANY FILED IN MORENO COUNTY, CALIFORNIA, RECORDED IN 17, 2001, AS WELL AS A COPY OF PLAT 21, 1968, AND THE SUBJECT LAND AND EACH PARCEL, SAID INSTRUMENTS BEING CORRECT AND ACCURATE TO THE BEST OF THE SURVEYOR'S KNOWLEDGE AND BELIEF, AND THAT HE HAS BEEN DULY QUALIFIED BY THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF CALIFORNIA, AND THAT HE HAS BEEN DULY LICENSED BY THE BOARD OF ENGINEERS AND SURVEYORS OF THE STATE OF CALIFORNIA.

THE SUBJECT PROPERTY HAS ACCESS (AND NECESSARY ACCESS EASEMENTS) TO CANYON TRAIL, A PUBLICLY DEDICATED AND MAINTAINED ROAD.

**TABLE OF ITEMS**

1. PROPERTY ADDRESS: 12625 Fremont Street, Moreno Valley, CA
2. PROPERTY IS IN ZONE 2, AREA OF MINIMAL FLOOD HAZARD PER FEMA MAP 17-2001, EFFECTIVE DATE 07/24/2000.
3. GROSS AREA = 0.46 AC. ± / 0.20 AC. ±
4. VERTICAL RELAY SHOWN HEREON.
5. EASEMENTS, EASEMENTS OF ALL KINDS, INCLUDING EASEMENTS OF RECORD, ARE SHOWN AT RECORD LEVEL, AS SHOWN BY RECORDS.
6. 20' STAIRWAY WALLS, 2 ACCESSIBLE, TOTAL = 20' STAIRS.
7. 0.00 AC.
8. LOCATION OF UTILITIES SHOWN ON OR BEYOND THE SURVEYED PROPERTY AS DETERMINED BY SURVEYED RECORDS ONLY.
9. ADJACENT OWNERS SHOWN HEREON.
10. EASEMENTS TO NEAREST INTERSECTION SHOWN HEREON. (SUBJECT PROPERTY IS ADJACENT TO THE NEAREST INTERSECTION).
11. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADJUSTS WITHIN RECENT MONTHS.
12. SURVEYOR IS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY LINES, THERE IS NO EVIDENCE OF RECENT STREET OR POSSIBLE CONSTRUCTION OR BUILDING ADJUSTS IN THE PROXIMITY OF CONDUCTING THE SURVEY.

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF MORENO, CITY OF MORENO VALLEY, AND CONTAINS AN INTEREST IN PARCEL 8 OF PARCEL MAP NO. 87748 IN THE CITY OF MORENO VALLEY, COUNTY OF MORENO, STATE OF CALIFORNIA, AS SHOWN BY PARCEL MAP ON RECORDS OF MORENO COUNTY, CALIFORNIA.

APN: 20-076-021

ASSIGNMENT AND ASSUMPTION OF OPERATING AGREEMENT RECORDED MARCH 2, 1968 AS INSTRUMENT NO. 10694 AND AMENDED MAY 23, 1968 AS INSTRUMENT NO. 10692 OF OFFICIAL RECORDS.

SECOND AMENDMENT TO GRANT OF RECREATION, EASEMENTS AND DECLARATION OF CONFORMANCE BEARING WITH THE LAND AND DEVELOPMENT AGREEMENT RECORDED SEPTEMBER 7, 1968 AS INSTRUMENT NO. 33770 OF OFFICIAL RECORDS.

THIRD AMENDMENT TO GRANT OF RECREATION, EASEMENTS AND DECLARATION OF CONFORMANCE BEARING WITH THE LAND AND DEVELOPMENT AGREEMENT RECORDED MARCH 14, 1968 AS INSTRUMENT NO. 15-17738 OF OFFICIAL RECORDS.

Revisions			
No.	Description	By	Date

**BASES OF BEARINGS:**  
THE BASES OF BEARINGS FOR THIS SURVEY IS A PORTION OF THE WESTLY RIGHT OF WAY OF MORENO STREET FOR N. 23748, P.M. 162/79-83, L.C. 1601758/9.

**BASES OF ELEVATIONS:**  
THE BASES OF ELEVATIONS FOR THIS SURVEY IS THE COUNTY OF MORENO BENCHMARK IS-28-88 RECORDED MAY 28, 1984 AS INSTRUMENT NO. 28.

**ALTANSPS LAND TITLE SURVEY**

PARCEL 8  
PARCEL MAP 23748 . PM162/79-83  
MORENO VALLEY, CA

Drawn By: JWG  
Checked By: \_\_\_\_\_

Plan No.: 18-250  
Date: 01/19/2008  
Sheet: 1 of 2

**PROJECT NAME:**  
RAISING CANES

**LG LAND SURVEYING, INC.**  
"Quality Service You Can Count On"

3008 CALLEO BELLEVUE  
VALLEJO, CALIFORNIA 94591  
916-338-1100  
www.lgland.com





**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

September 3, 2020

**CHAIR**  
Russell Betts  
Desert Hot Springs

**VICE CHAIR**  
Steven Stewart  
Palm Springs

**COMMISSIONERS**

Arthur Butler  
Riverside

John Lyon  
Riverside

Steve Manos  
Lake Elsinore

Richard Stewart  
Moreno Valley

Gary Youmans  
Temecula

**STAFF**

Director  
Simon A. Houseman

Paul Ruff  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-8132

[www.aluc.org](http://www.aluc.org)

Mr. Gabriel Villalobos, Project Planner  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1063HR20  
Related File No.: CUP200020 (Conditional Use Permit)  
APN: 465-020-025

Dear Mr. Villalobos:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. CUP200020 (Conditional Use Permit), a proposal to establish a cannabis distribution and retail facility within an existing 8,400 square foot building on 4.0 acres located at 26120 Cordoba Drive on the southeast corner of Florida Avenue Highway 74 and Cordoba Drive.

The site is located within Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area (AIA), which does not restrict non-residential intensity.

The elevation of Runway 5-23 at its existing southwesterly terminus is approximately 1,499 feet above mean sea level (AMSL). At a distance of approximately 6,230 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,561 feet AMSL. The elevation of the project site is 1,508 feet AMSL, and the existing structure is 29 feet, for a maximum top point elevation of 1,537 feet AMSL. There is no proposal to increase the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

**CONDITIONS:**

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:

## **AIRPORT LAND USE COMMISSION**

- (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, and construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hazards to flight.
3. The attached notice of airport in vicinity shall be provided to all potential purchasers of the property.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

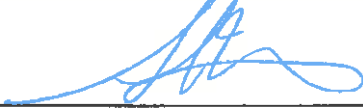


**AIRPORT LAND USE COMMISSION**

If you have any questions, please contact Paul Rull, ALUC Principal Planner at (951) 955-6893.

Sincerely,

**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**



---

Simon A. Housman, ALUC Director

**Attachment: Notice of Airport in Vicinity**

**cc: Cannabis 21 (applicant/representative)  
Carla Williamson (property owner)  
Vincent Yzaguirre, Riverside County Economic Development Agency – Aviation  
Liliana Valle, Riverside County Economic Development Agency - Aviation  
ALUC Case File**

**Y:\AIRPORT CASE FILES\Hemet-Ryan\ZAP1063HR20\ZAP1063HR20.LTR.doc**

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**

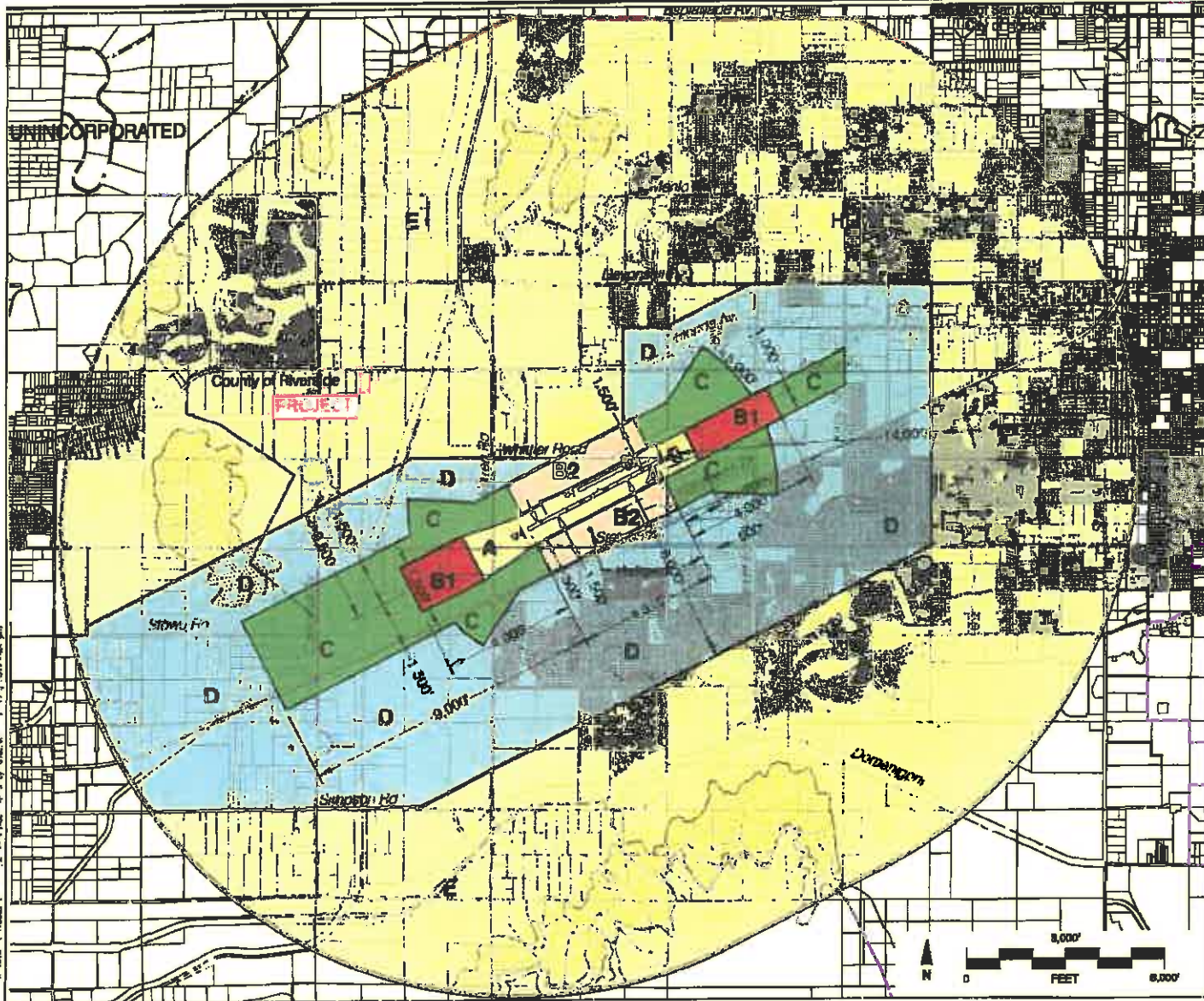


**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





**Legend**

- Compatibility Zones**
- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
  - Height Review Overlay Zone

**Boundary Lines**

- Airport Property Line
- City Limits
- City Sphere of Influence

**Note**

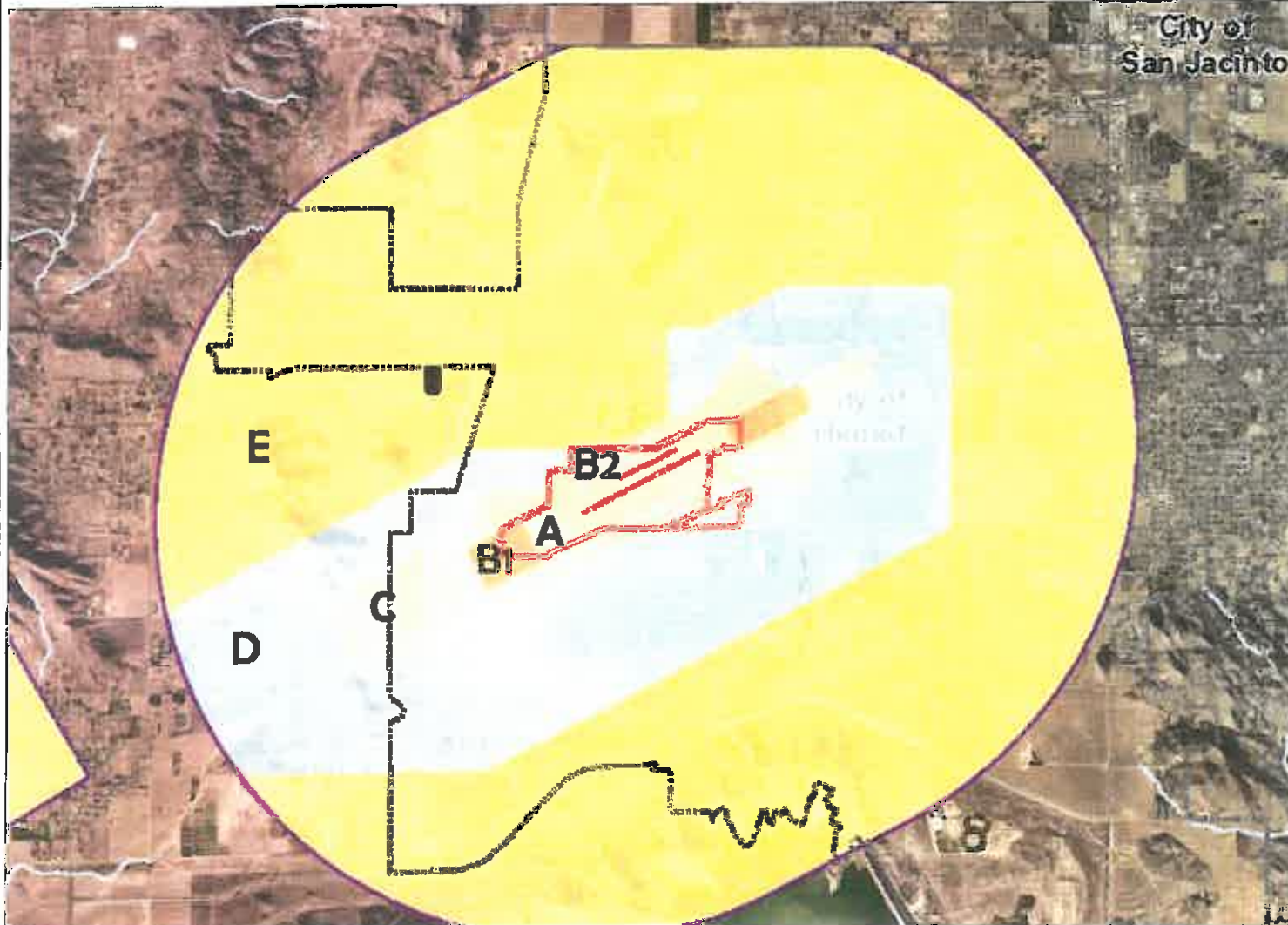
Airport Influence Area boundary measured from a point 200 feet beyond ends of proposed future 4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of existing 4,815 foot runway.

Riverside County  
 Airport Land Use Commission  
 Hemet-Ryan Airport  
 Land Use Compatibility Plan  
 (Adopted February 8, 2017)

Map HR-1

**Compatibility Map**  
 Hemet-Ryan Airport

# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Area
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C3-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

## Notes

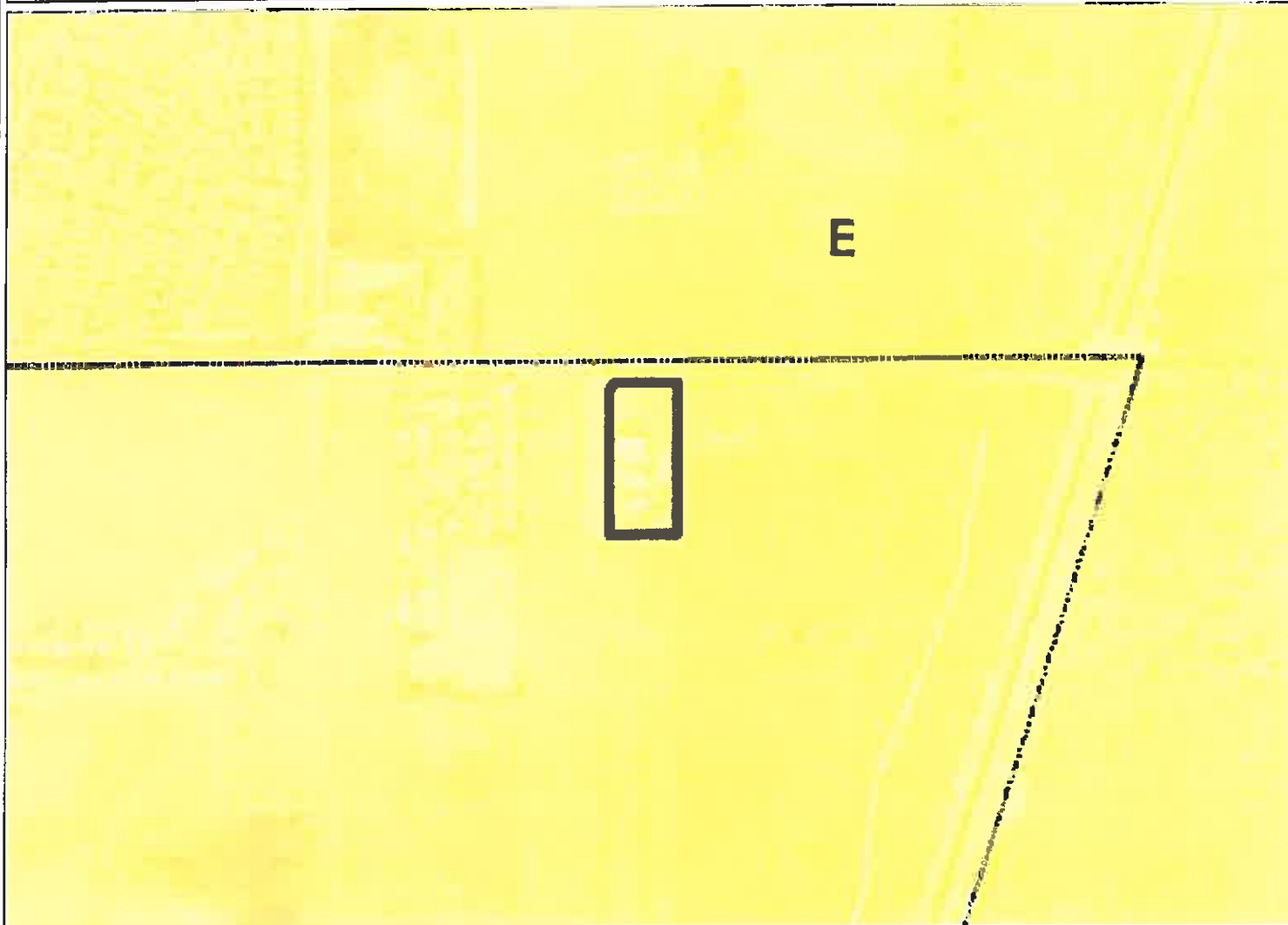


REPORT PRINTED ON... 8/27/2020 11:41:58 AM

© Riverside County GIS



# Map My County Map



- Legend**
- Runways
  - Airports
  - Airport Influence Areas
  - Airport Compatibility Zones**
  - OTHER COMPATIBILITY ZONE
  - A
  - A-EXC1
  - B1
  - B1-APZ I
  - B1-APZ I-EXC1
  - B1-APZ II
  - B1-APZ II-EXC1
  - B1-EXC1
  - B2
  - B2-EXC1
  - C
  - C1
  - C1-EXC1
  - C1-EXC3
  - C1-EXC4
  - C1-HIGHT
  - C2
  - C2-EXC1
  - C2-EXC2
  - C2-EXC3
  - C2-EXC5
  - C2-EXC8



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**Notes**

0 770 1,539 Feet

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# Map My County Map



## Legend

- Blue line Streams
- City Areas
- World Street Map



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## Notes

0 770 1,539 Feet

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# Map My County Map



## Legend

- Blue Line Streams
- City Areas
- World Street Map



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## Notes



# Map My County Map



## Legend

- Blue line Streams
- City Areas
- World Street Map



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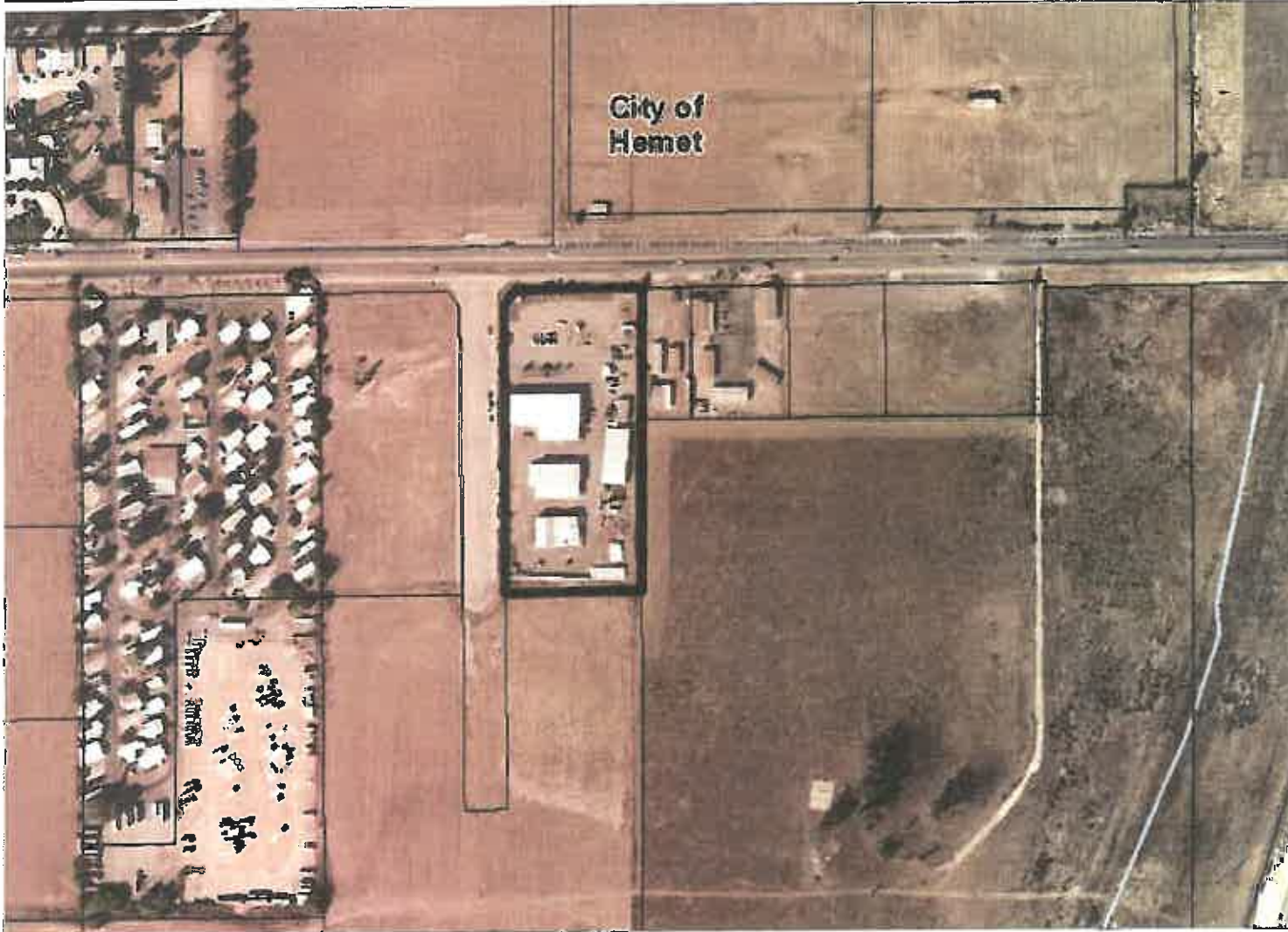
REPORT PRINTED ON... 8/27/2020 11:43:38 AM

© Riverside County GIS

## Notes



# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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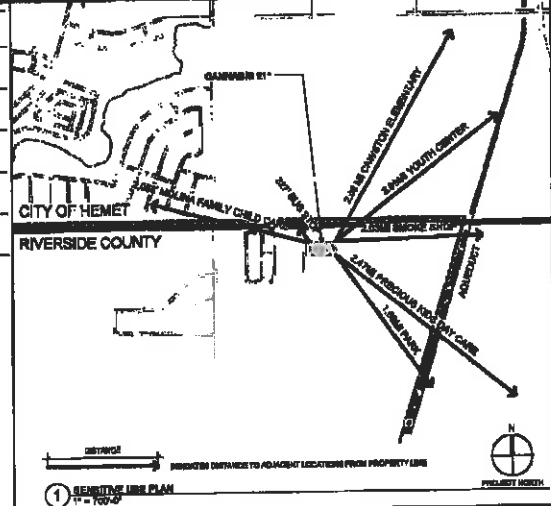
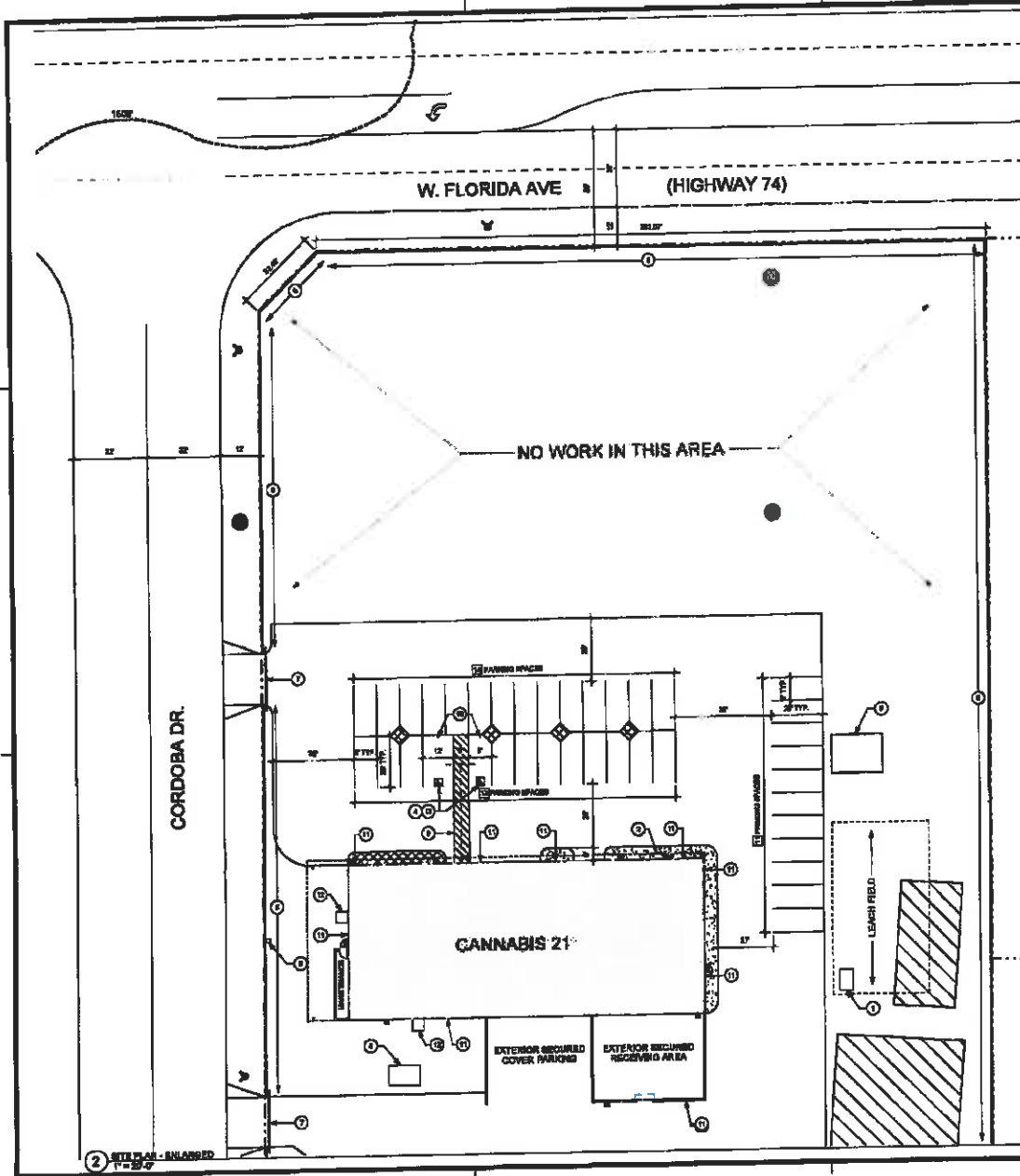
0 385 770 Feet

REPORT PRINTED ON... 8/27/2020 11:44:07 AM

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## Notes





DATE: 07.21.20  
 DRAWN: EGF  
 CHECKED: CR



rad Architects, Inc.  
 1880 Broadway, Suite 400  
 San Francisco, CA 94109

APPLICANT'S PARCEL NUMBER: 08-420423

LAND DESIGNER: CARLA O'NEILL  
 ARCHITECT: CARLA O'NEILL  
 PROJECT: 28120 CORDOBA DRIVE  
 PHONE: 415.441.1177  
 EMAIL: carla@radarch.com

APPLICANT'S CONTACT: JESSICA WATSON  
 ADDRESS: 28120 CORDOBA DRIVE  
 HEMET, CA 94543  
 PHONE: 530.938.1234  
 EMAIL: jessica@28120cordoba.com

**CANNABIS 21+  
 COMMERCIAL CANNABIS  
 CONDITIONAL USE PERMIT**  
 28120 CORDOBA DRIVE  
 HEMET, CA 94543

NOTE: STRUCTURE SHALL BE BUILT WITH STAMPED 'CONSTRUCTION' AND 'PERMIT' MARKS

**CUP SUBMITTAL**  
 MAKE DATE 07.21.20



EXHIBIT ARCHIVIST BLOCK

SHEET TITLE:  
**EXHIBIT A:  
 ENLARGED SITE PLAN &  
 SENSITIVE USE PLAN**

SHEET NO:  
**A-2**

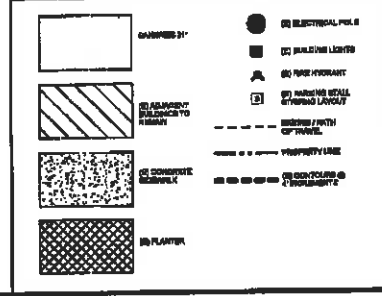
**ENLARGED SITE PLAN KEYNOTES**

KEYNOTE	DESCRIPTION
1	SENSITIVE USE PLAN
2	SITE PLAN - ENLARGED
3	...
4	...
5	...
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100	...

**PARKING COUNT**

COMMERCIAL CANNABIS FACILITY	30 SPACES PROVIDED
WITHIN 100 FEET FOR 200 SF @ 1.50 SF/SP	30 SPACES PROVIDED
OUTSIDE 100 FEET FOR 3 EMPLOYEES @ 2.00 SF/SP	6 SPACES FOR 12 EMPLOYEES (6 AT 200 SF)
TOTAL PARKING SPACES REQUIRED	36 SPACES
ADA STALLS	2 SPACES
RECYCLING STALLS	2 SPACES
TOTAL PARKING SPACES PROVIDED	34 SPACES

**SITE PLAN LEGEND**

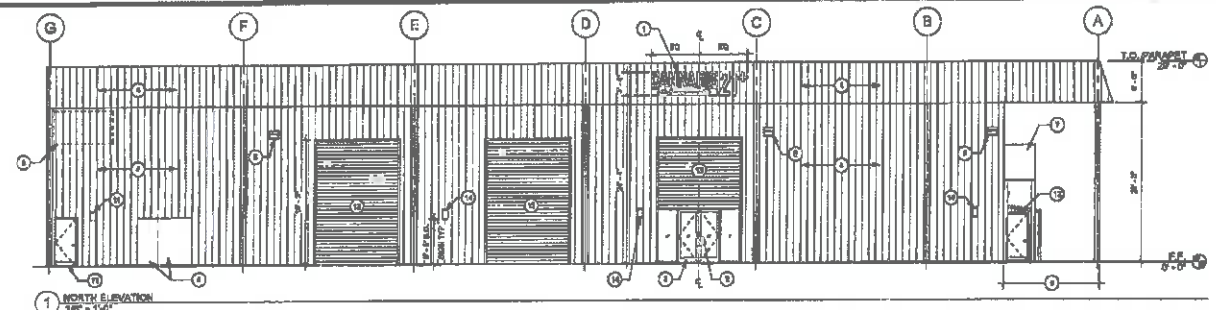


2 SITE PLAN - ENLARGED  
 1" = 20'-0"

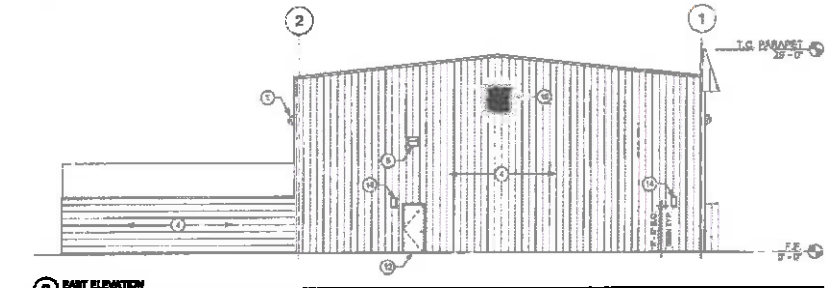




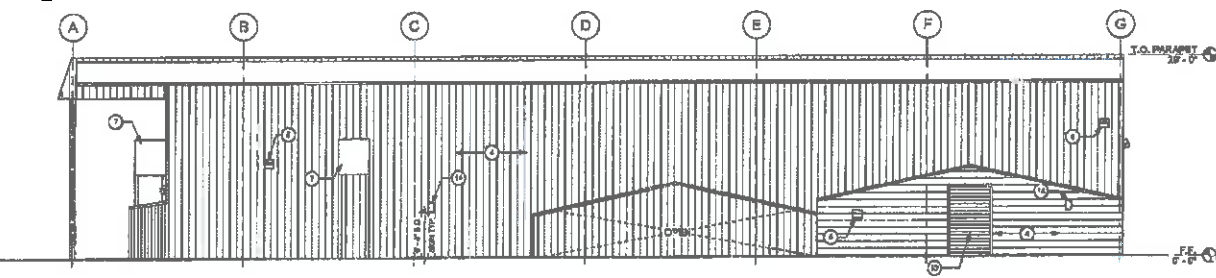




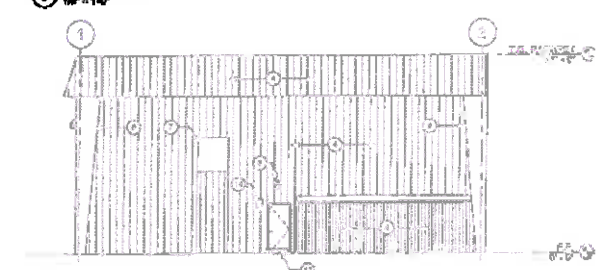
1 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



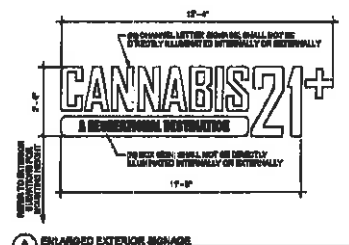
3 SOUTH ELEVATION  
1/8" = 1'-0"



4 WEST ELEVATION  
1/8" = 1'-0"

**EXTERIOR ELEVATION GENERAL NOTES**

- A. EXTERIOR FINISHES ARE INTENDING TO REMAIN FOR THIS PROJECT
- EXTERIOR ELEVATION KEYNOTES**
1. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.
  2. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.
  3. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.
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  12. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.
  13. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.
  14. ALL EXTERIOR FINISHES SHALL BE TO REMAIN UNLESS NOTED OTHERWISE.



A. SUSPENDED EXTERIOR SIGNAGE  
1/8" = 1'-0"

DATE: 07.21.20  
DRAWN: STOFF  
CHECKED: CE



ARCHITECTS OF RECORD FOR THIS PROJECT

ARCHITECTS OF RECORD FOR THIS PROJECT

ARCHITECTS OF RECORD FOR THIS PROJECT

**CANNABIS 21+**  
COMMERCIAL CANNABIS  
CONDITIONAL USE PERMIT  
28120 CORDOBA DRIVE  
HEMENET, CA 92545

EXTERIOR ELEVATION SHALL ONLY BE USED FOR THE PROJECT AND NOT FOR ANY OTHER PROJECT.

**CUP SUBMITTAL**  
DATE: 07.21.20



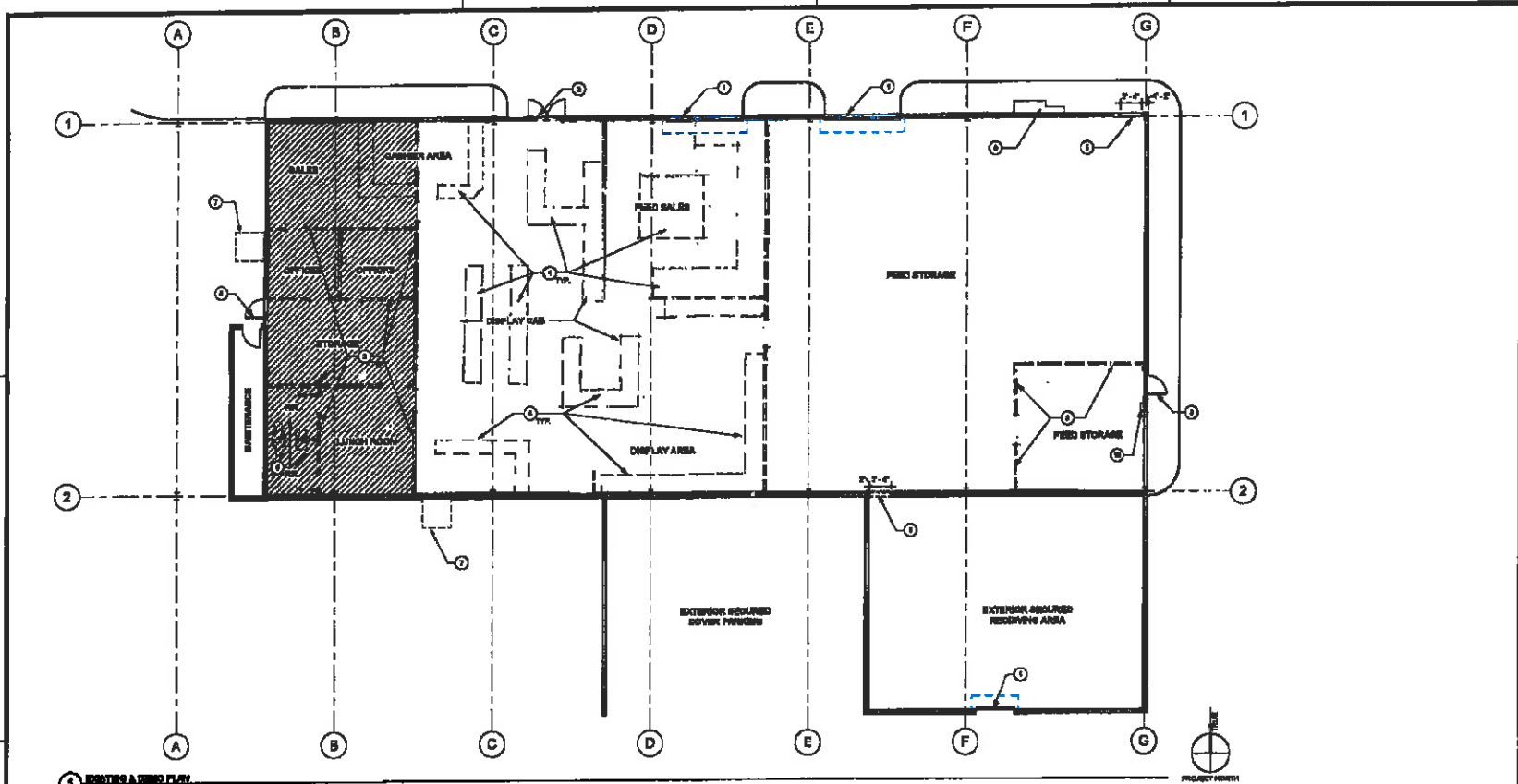
EXHIBIT B: EXTERIOR ELEVATIONS

EXHIBIT B: EXTERIOR ELEVATIONS

EXHIBIT B: EXTERIOR ELEVATIONS

EXHIBIT B: EXTERIOR ELEVATIONS





1 DEMOLITION PLAN  
12-1-19

**DEMOLITION PLAN LEGEND**

	(OR) AREAS ABOVE TO BE DEMOLISHED WITH INTERIORITY
--	--

**DEMOLITION PLAN KEYNOTES ©**

1	REMOVE ALL EXISTING INTERIORITY
2	REMOVE ALL EXISTING CEILING
3	REMOVE ALL EXISTING FLOORING
4	REMOVE ALL EXISTING PARTITION WALLS
5	REMOVE ALL EXISTING WALLS
6	REMOVE ALL EXISTING ROOFING
7	REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS
8	REMOVE ALL EXISTING STRUCTURAL MEMBERS
9	REMOVE ALL EXISTING EXTERIOR FINISHES
10	REMOVE ALL EXISTING CURBS

**DEMOLITION PLAN GENERAL NOTES**

- A. THE DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- B. THIS PLAN DOES NOT INDICATE ALL ITEMS TO BE DEMOLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL ITEMS TO BE DEMOLISHED AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- C. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- D. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- E. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- F. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- G. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- H. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- I. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
- J. DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, REGULATIONS, AND STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

DATE: 07-21-20  
DRAWN: STAFF  
CHECKED: CB



rad Architects, Inc.  
1200 Broadway, Suite 1000  
San Francisco, CA 94133  
Tel: 415.774.4477  
Fax: 415.774.4478

ARCHITECT'S PROJECT NUMBER: 486-003-001  
ARCHITECT'S CONTACT: CARLA O'NEILL  
ARCHITECT'S ADDRESS: 1200 BROADWAY, SUITE 1000, SAN FRANCISCO, CA 94133  
ARCHITECT'S PHONE: 415.774.4477  
ARCHITECT'S FAX: 415.774.4478  
ARCHITECT'S EMAIL: carla@radarchitects.com

ENGINEER'S PROJECT NUMBER: 1901-000-001  
ENGINEER'S CONTACT: THE ARCHITECTS INC.  
ENGINEER'S ADDRESS: 1200 BROADWAY, SUITE 1000, SAN FRANCISCO, CA 94133  
ENGINEER'S PHONE: 415.774.4477  
ENGINEER'S FAX: 415.774.4478  
ENGINEER'S EMAIL: thearchitects@radarchitects.com

**CANNABIS 21+**  
COMMERCIAL CANNABIS  
CONDITIONAL USE PERMIT  
20130 CORDOBA DRIVE  
HEMENET, CA 92345

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

**CUP SUBMITTAL**  
DATE: 07/21/19



EXISTING & DEMO PLAN

DATE: 07/21/19  
DRAWN: STAFF  
CHECKED: CB

EXISTING & DEMO PLAN

DATE: 07/21/19

SHEET: C-1

C-1

DATE: 07.21.20  
 DRAWN: STAFF  
 CHECKED: CS



rad Architects, Inc.  
 1400 BAYVIEW BLVD, SUITE 200  
 OAKLAND, CA 94612

ADDRESS: 210 CANNABIS AVENUE, HEMET, CA 92343  
 PROJECT NUMBER: 486-20-215  
 LANDLORD: CARLA D. HILLMAN  
 ARCHITECT: rad ARCHITECTS, INC.  
 CONTRACTOR: [REDACTED]  
 DATE: 07/21/20

PROJECT DESCRIPTION: CANNABIS AVENUE COMMERCIAL USE PERMIT  
 210 CANNABIS AVENUE, HEMET, CA 92343  
 CONTRACTOR: [REDACTED]  
 DATE: 07/21/20

**CANNABIS 21+  
 COMMERCIAL CANNABIS  
 CONDITIONAL USE PERMIT  
 20120 CORDOBA DRIVE  
 HEMET, CA 92343**

CONTRACTOR SHALL BUILD ONLY FROM THIS STAMPED CONSTRUCTION SET

**CUP SUBMITTAL**  
 EX. DATE: 07.20.20

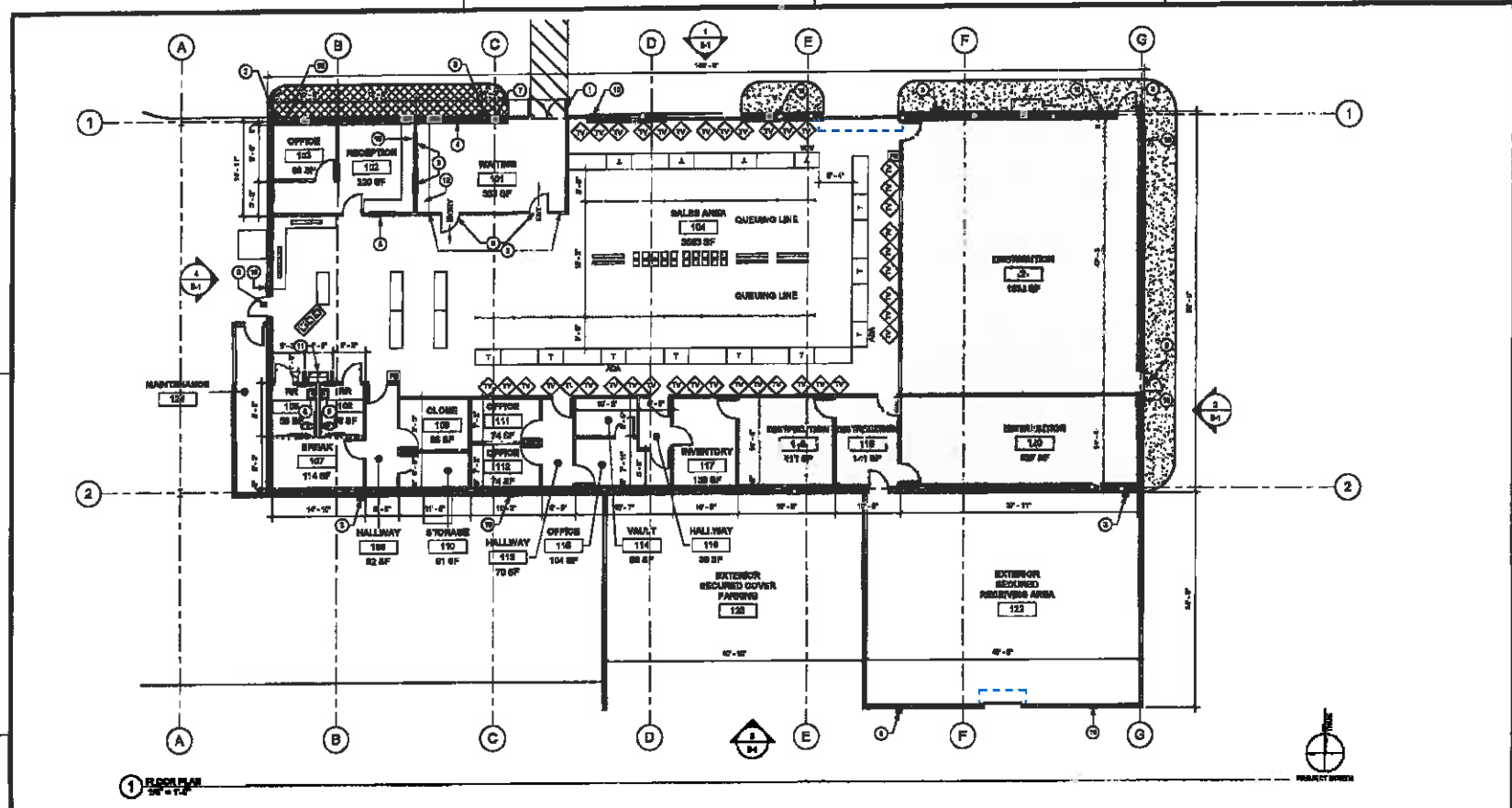


EXHIBIT C: FLOOR PLAN

EXHIBIT C:  
 FLOOR PLAN

EXHIBIT C:  
 FLOOR PLAN

EXHIBIT C:  
 FLOOR PLAN



1 FLOOR PLAN  
 20'-0" x 112'-0"

FLOOR PLAN LEGEND	
	INDICATES NEW PARTITIONS AND EXTERIOR WALLS TO REMAIN
	INDICATES NEW WALL CONSTRUCTION
	INDICATES NEW PLANING WALL CONSTRUCTION
	RESERVED FLOOR AREA THAT ADDS UP TO A MAXIMUM OF 50 SF FOR THE INSTALLATION OF BICYCLE RACKS
	RETAIL KIOSK
	DISTRIBUTION AREA

GENERAL NOTES	
A.	BUILDING EXTERIOR FINISH IS LIMITED TO REPAIRS.
B.	SEE SECURITY PLAN FOR ADDITIONAL SECURITY INFORMATION.
C.	SMALL SIGNAGE TO A COMMERCIAL CANNABIS AVENUE SHALL BE VISIBLY PORTED WITH A GLASS AND LIGHT-EMITTING DIODES THAT INDICATE, RECORDS, OR OTHER COMMERCIAL CANNABIS OR THE LAW OF THE COMMERCIAL CANNABIS ACTIVITY IS PROHIBITED.

FLOOR PLAN KEYNOTES	
1.	REPAIR EXTERIOR FINISH
2.	REPAIR EXTERIOR FINISH
3.	REPAIR EXTERIOR FINISH
4.	REPAIR EXTERIOR FINISH
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6.	REPAIR EXTERIOR FINISH
7.	REPAIR EXTERIOR FINISH
8.	REPAIR EXTERIOR FINISH
9.	REPAIR EXTERIOR FINISH
10.	REPAIR EXTERIOR FINISH
11.	REPAIR EXTERIOR FINISH
12.	REPAIR EXTERIOR FINISH

ODOR CONTROL SYSTEM	
	<p>1. FAN UNIT: 4000 CFM Hydraulic Fan Unit</p> <p>2. DUCTWORK: 10" DIA. GALV. STEEL DUCTWORK</p> <p>3. EXHAUST: EXHAUST TO ROOF</p> <p>4. FILTERS: ULPA FILTERS</p> <p>5. WASHERS: WASHERS</p> <p>6. PUMP: PUMP</p> <p>7. CONTROL: CONTROL</p> <p>8. POWER: POWER</p> <p>9. WIRE: WIRE</p> <p>10. VALVE: VALVE</p> <p>11. FITTING: FITTING</p> <p>12. HANGAR: HANGAR</p> <p>13. BRACKET: BRACKET</p> <p>14. GASKET: GASKET</p> <p>15. SEALANT: SEALANT</p> <p>16. INSULATION: INSULATION</p> <p>17. SOUND: SOUND</p> <p>18. VIBRATION: VIBRATION</p> <p>19. PROTECTION: PROTECTION</p> <p>20. FINISH: FINISH</p>

DATE: 07.21.20  
 DRAWN: STAFF  
 CHECKED: CS



rad Architects, Inc.  
 1111 Broadway, Suite 100  
 San Francisco, CA 94103  
 Tel: 415.774.8800  
 Fax: 415.774.8801  
 rad.com

PROJECT'S PARCEL NUMBER: 405-09-020

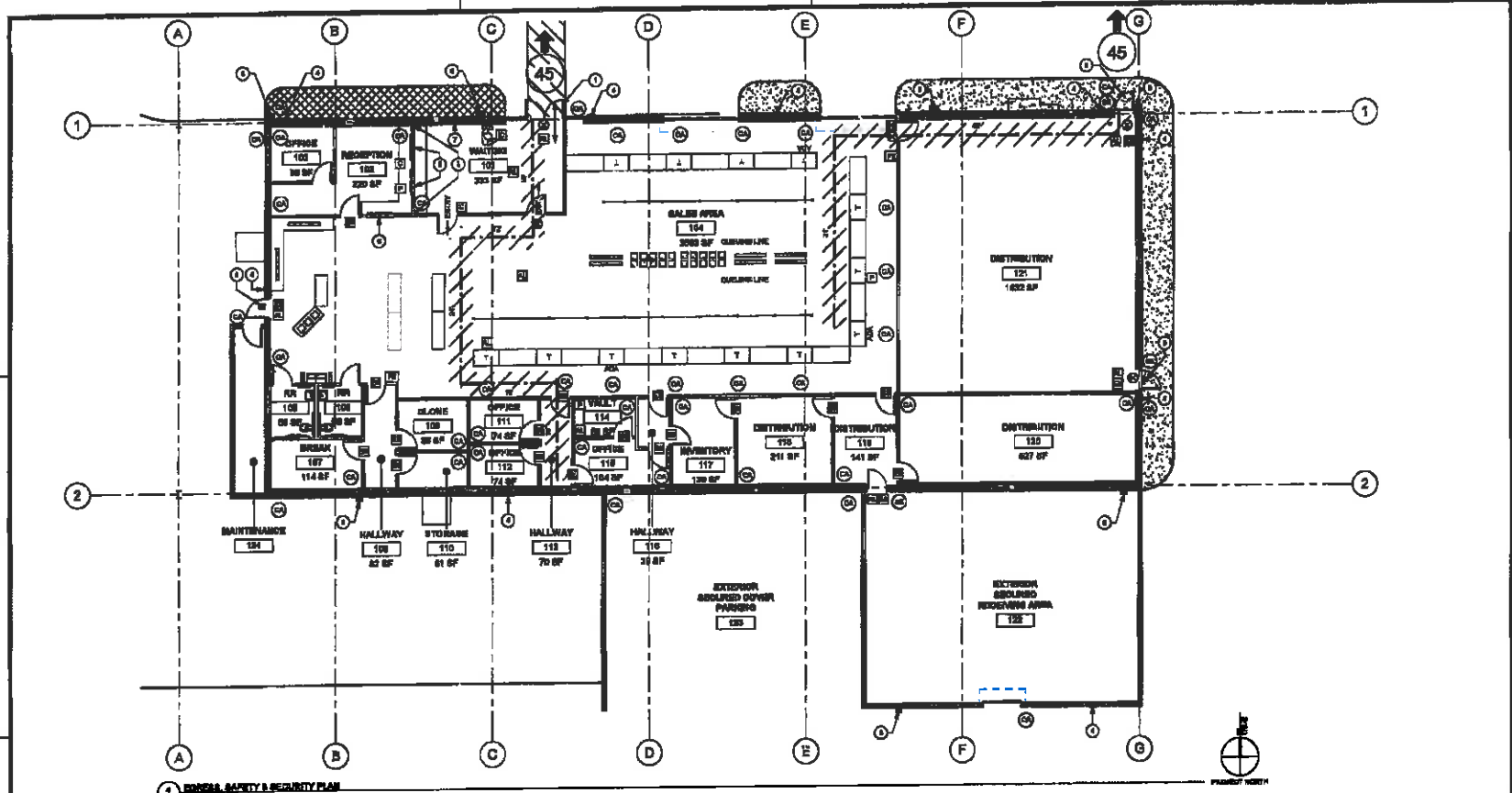
LAND OWNER: CAROLYN WILLIAMS  
 1115 CORONADO AVE  
 SAN DIEGO, CA 92117  
 CONTACT: CAROLYN WILLIAMS  
 PHONE: 619.441.1177  
 EMAIL: cw@carolynwilliams.com

ARCHITECT: rad ARCHITECTS, INC.  
 1111 BROADWAY, SUITE 100  
 SAN FRANCISCO, CA 94103  
 TEL: 415.774.8800  
 CONTACT: STAFF  
 EMAIL: st@radarchitects.com

**CANNABIS 21+**  
**COMMERCIAL CANNABIS**  
**CONDITIONAL USE PERMIT**  
**26120 CORDOBA DRIVE**  
**HENNET, CA 92545**

CONTRACTOR SHALL BUILD ONLY FROM SETS  
 SHOWN UNLESS OTHERWISE NOTED

**CUP SUBMITTAL**  
 ISSUE DATE: 07.21.20



1 GENERAL SAFETY & SECURITY PLAN  
 10' = 1/4"

**SECURITY PLAN GENERAL NOTES**

- A. THE RECEPTION FACILITY SHALL BE LOCKED AND UNDER THE CONTROL OF THE CANNABIS RETAILER.
- B. ENTRY INTO THE RETAIL LOCATION SHALL BE SEPARATE FROM THE RECEPTION AREA AND LOCKED AT ALL TIMES WITH ENTRY STRICTLY CONTROLLED.
- C. ENTRY OTHERWISE TO A CANNABIS AREA SHALL BE LIMITED TO PERSONNEL WITH A KEY AND LOCKS TO BE KEPT FROM THE COMMERCIAL CANNABIS ACTIVITY IN PROGRESS. COORDINATE WITH THE KEY OF THE COMMERCIAL CANNABIS ACTIVITY IN PROGRESS.
- D. FIRE PROTECTION: FIRE ALARM SYSTEM ISOLATED. NO RECEPTIONS MOUNTED OR HIGH PILE STORAGE. CURRENTLY LAYOUT SECURITY SYSTEMS TO BE DETERMINED BY THE RETAILER.
- E. FIRE: SMOKE DETECTOR SYSTEM TO BE INSTALLED FOR USE IN LAYOUT. SMOKE DETECTOR SYSTEM TO BE INSTALLED IN HIGH SPACES AREAS. SEE SHEET 04 FOR SMOKE DETECTOR SYSTEM TO BE INSTALLED TO CURRENT FIRE SYSTEM.
- F. SECURITY ALARM SYSTEM SHALL BE PROFESSIONAL MONITORED AND WILL HAVE A BACKUP POWER SYSTEM.

**SECURITY PLAN KEYNOTES**

- 1. SECURITY ENTRY ROOM
- 2. SECURITY ENTRY ROOM
- 3. SECURITY ENTRY ROOM
- 4. SECURITY ENTRY ROOM
- 5. SECURITY ENTRY ROOM
- 6. SECURITY ENTRY ROOM
- 7. SECURITY ENTRY ROOM
- 8. SECURITY ENTRY ROOM
- 9. SECURITY ENTRY ROOM
- 10. SECURITY ENTRY ROOM

**EGRESS LEGEND**

- 1. FIRE EXTINGUISHER - PROVIDE PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN (A:ABC) WITH AN 8 POUND TRIPLE AGING TYPE A BOTTLE OR ABOVE. LOCATE IN HIGHLY VISIBLE LOCATION IN A NEARBY AND ACCESSIBLE LOCATION. 3' X 4' SIGN ABOVE THE FIRE EXTINGUISHER. SIGN SHALL BE CLEAR OF ALL OTHER ITEMS. ALL FIRE RETAINABLES TO COMPLY WITH IBC, NFPA 101.
- 2. INDICATE 4" WIDE MINIMUM PATH OF EGRESS
- 3. INDICATE PATH OF TRAVEL DISTANCED FROM PROJECT POINT
- 4. INDICATE NUMBER OF ROOMS

**SAFETY & SECURITY LEGEND**

- 1. SECURITY CAMERAS
- 2. ALARM SYSTEM WITH BACKUP POWER
- 3. SECURED ENTRANCE POINT
- 4. CONTROLLED ELECTRONIC ENTRY POINT WITH BACKUP POWER
- 5. SECURITY SHARD
- 6. SECURITY SHARD THAT ADDS UP TO A NUMBER OF 8 IN 8" FOR THE SIZE OF EGRESS POINT
- 7. RETAIL 100 SF
- 8. DISTRIBUTION 111 SF
- 9. CONTROLLED ACCESS ENTRY POINT
- 10. EXIT SIGN
- 11. 6 IN 6 IN SIGN
- 12. FIRE ALARM BUTTON

DO NOT AMEND THIS BLOCK

SHEET TITLE  
**EXHIBIT C:**  
**EGRESS, SAFETY &**  
**SECURITY PLAN**

SHEET NO.  
**C-3**



**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

August 27, 2020

Mr. David Murray, Principal Planner  
City of Riverside Community and Economic Development Department  
3900 Main Street, 3<sup>rd</sup> Floor  
Riverside CA 92522

**CHAIR**  
Russell Betts  
Desert Hot Springs

**VICE CHAIR**  
Steven Stewart  
Palm Springs

**COMMISSIONERS**

Arthur Butler  
Riverside

John Lyon  
Riverside

Steve Manos  
Lake Elsinore

Richard Stewart  
Moreno Valley

Gary Youmans  
Temecula

**STAFF**

**Director**  
Simon A. Housman

Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lamon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

[www.aluc.org](http://www.aluc.org)

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –  
DIRECTOR’S DETERMINATION**

File No.: ZAP1429MA20  
Related File No.: P19-0063 (Zoning Ordinance Amendment), P19-0064 (General Plan Amendment), P19-0065 (Specific Plan)  
APN: Multiple  
Airport Zone: Compatibility Zone E

Dear Mr. Murray:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed City of Riverside Case Nos. P19-0063 (Zoning Ordinance Amendment), P19-0064 (General Plan Amendment), P19-0065 (Specific Plan), a proposal to consider the following items in conjunction with the adoption of the interjurisdictional Northside Specific Plan (NSP): **1) General Plan Amendment to amend the Land Use and Urban Design Element of the General Plan to include the Northside Specific Plan into Table LU-2, amend Figure LU-9 – Neighborhoods to adjust neighborhood boundaries, amend Figure LU-10 – Land Use Policy Map to apply the NSP – Northside Specific Plan land use designation to the project area within the City of Riverside and the unincorporated properties within its Sphere of Influence, amend Table LU-5 – Zoning/General Plan Consistency Matrix, and amend Objectives, Policies for consistency with the NSP; 2) Specific Plan to create the NSP and amend the Downtown Specific Plan to incorporate the North Main Street District into the NSP boundaries; 3) Zoning Code Amendment to amend Title 19 (Zoning) of the Riverside Municipal Code to add Chapter 19.146 – Northside Specific Plan (NSP) and amend relevant information in Chapter 19.220; 4) Zoning Code Amendment to rezone properties to the districts proposed in the NSP; and 5) Program Environmental Impact Report.** The Northside Specific Plan consists of approximately 2,000 acres within the City of Riverside, the City of Colton, and the unincorporated County of Riverside. It is generally bounded by Pellissier Ranch to the north, State Route 60 (SR-60) and portions of Main Street in Downtown Riverside to the south, Interstate 215 (I-215) and residences to the east, and the Santa Ana River to the west.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

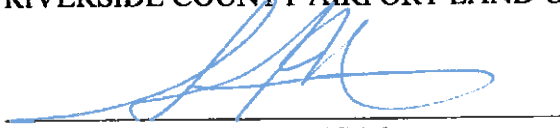
## **AIRPORT LAND USE COMMISSION**

This finding of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of this general plan amendment, specific plan, and zone change. Both the existing and proposed General Plan designation, specific plan designation and zoning are consistent, as the site is located within Airport Compatibility Zone E, where non-residential intensity and residential density are not restricted.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,

**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

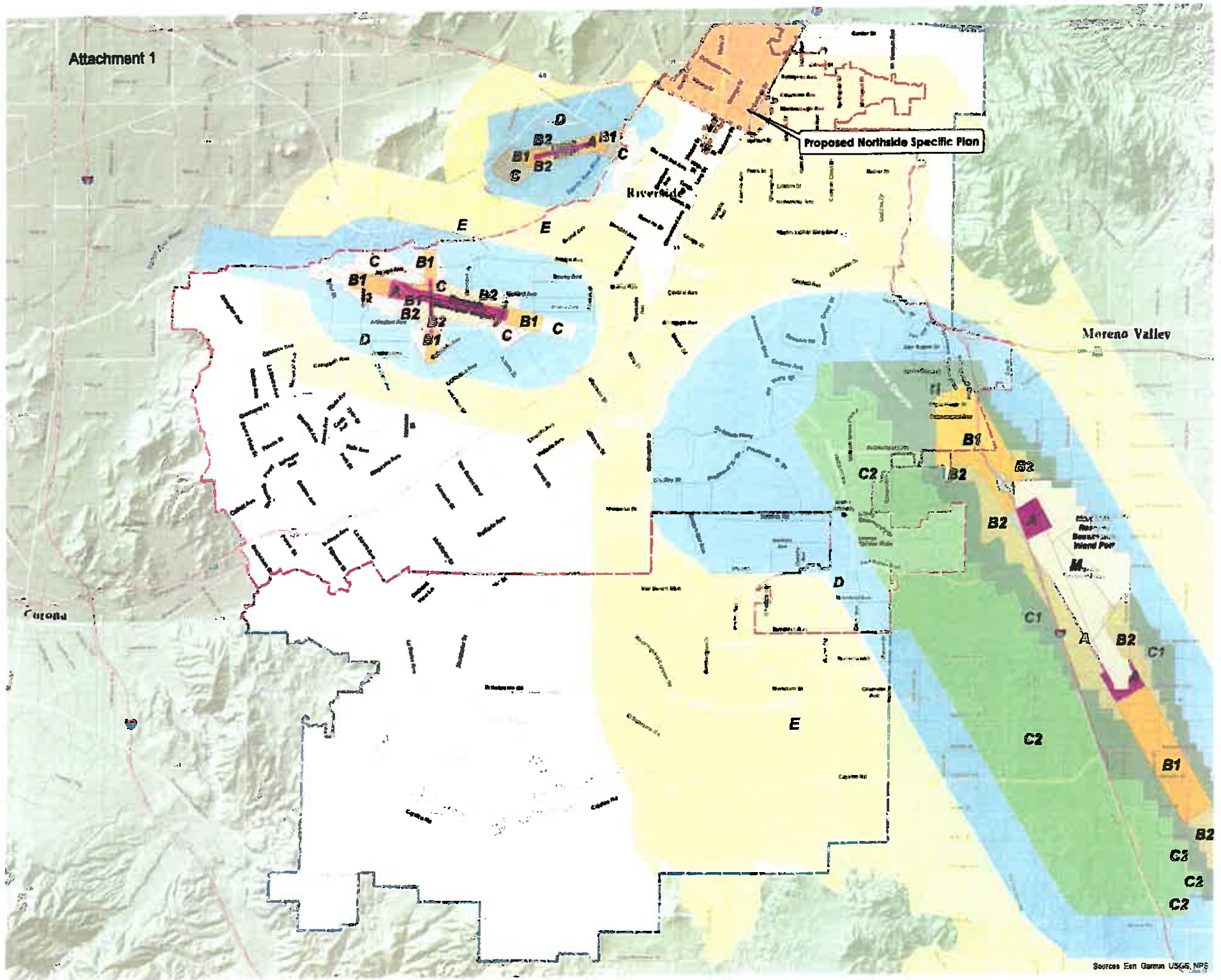


Simon A. Housman, ALUC Director

cc: Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base  
ALUC Case File

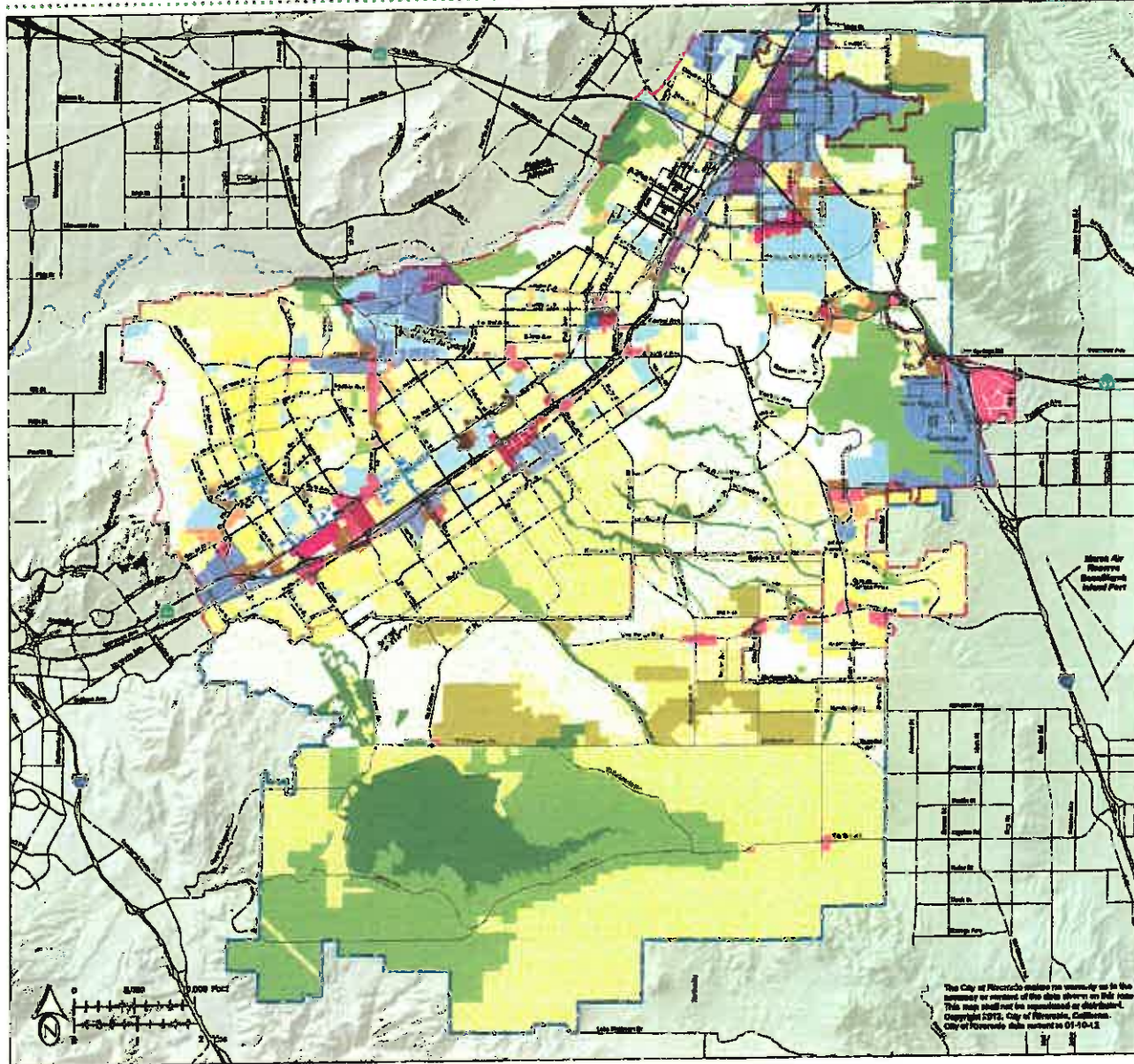
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LAND USE/URBAN DESIGN ELEMENT



**LEGEND**

- RIVERSIDE CITY BOUNDARIES
- RIVERSIDE PROPOSED SPHERE OF INFLUENCE
- POTENTIAL SPECIFIC PLAN

**GENERAL PLAN 2025  
LAND USE ELEMENT**

- A - AGRICULTURAL
- A/RR - AGRICULTURAL/RURAL RESIDENTIAL
- HR - HILLSIDE RESIDENTIAL
- SRR - SEMI RURAL RESIDENTIAL
- VLDR - VERY LOW DENSITY RESIDENTIAL
- LDR - LOW DENSITY RESIDENTIAL
- MDR - MEDIUM DENSITY RESIDENTIAL
- MHDR - MEDIUM HIGH DENSITY RESIDENTIAL
- HDR - HIGH DENSITY RESIDENTIAL
- VHDR - VERY HIGH DENSITY RESIDENTIAL
- C - COMMERCIAL
- CRC - COMMERCIAL REGIONAL CENTER
- DSP - DOWNTOWN SPECIFIC PLAN
- OSP - ORANGECREST SPECIFIC PLAN
- O - OFFICE
- B/OP - BUSINESS/OFFICE PARK
- I - INDUSTRIAL
- MU-N - MIXED USE-NEIGHBORHOOD
- MU-V - MIXED USE-VILLAGE
- MU-U - MIXED USE-URBAN
- PF - PUBLIC FACILITIES/INSTITUTIONAL
- PR - PRIVATE RECREATION
- P - PUBLIC PARK
- OS - OPEN SPACE/NATURAL RESOURCES
- RAT - KANGAROO RAT HABITAT

\* SEE TABLE LU-3 (LAND USE DESIGNATIONS) IN GENERAL PLAN  
SOURCE: CITY OF RIVERSIDE

**Figure LU-10  
LAND USE  
POLICY MAP**



LAND USE/URBAN DESIGN ELEMENT



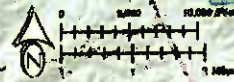
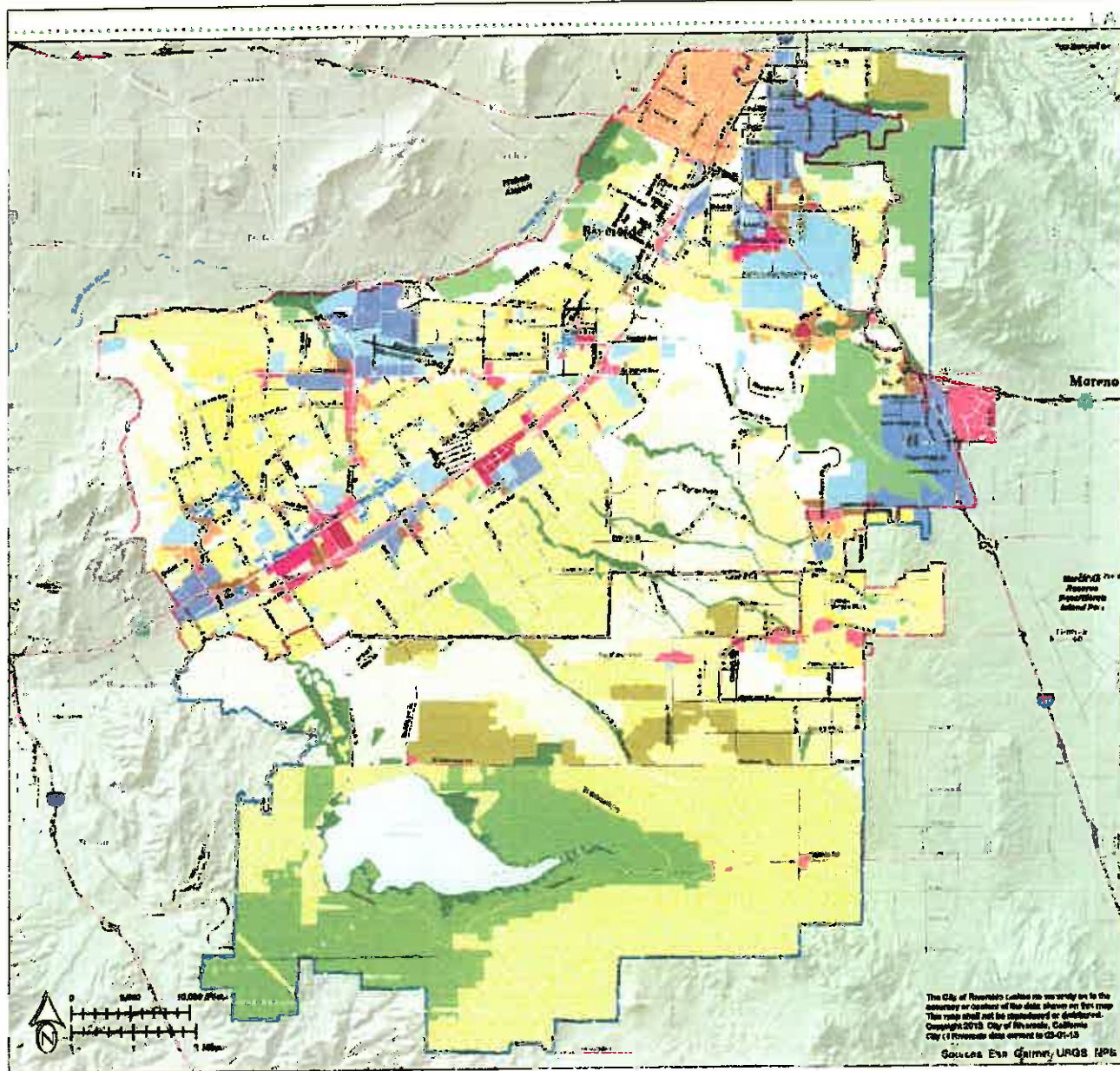
**LEGEND**

- RIVERSIDE CITY BOUNDARIES
- RIVERSIDE PROPOSED SPHERE OF INFLUENCE
- POTENTIAL SPECIFIC PLAN

**GENERAL PLAN 2025  
LAND USE ELEMENT**

- A - AGRICULTURAL
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- OSP - ORANGECREST SPECIFIC PLAN
- CBUSP - CALIFORNIA BAPTIST UNIVERSITY SPECIFIC PLAN
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- B/OP - BUSINESS/OFFICE PARK
- I - INDUSTRIAL
- MU-N - MIXED USE-NEIGHBORHOOD
- MU-V - MIXED USE-VILLAGE
- MU-U - MIXED USE-URBAN
- PF - PUBLIC FACILITIES/INSTITUTIONAL
- PR - PRIVATE RECREATION
- P - PUBLIC PARK
- OS - OPEN SPACE/NATURAL RESOURCES
- RAT - KANGAROO RAT HABITAT
- NSP - NORTHSIDE SPECIFIC PLAN

\* SEE TABLE LU-3 (LAND USE DESIGNATIONS) IN GENERAL PLAN  
SOURCE: CITY OF RIVERSIDE



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Sources: Esri, Garmin, URGS, NPS

Figure LU-10  
**LAND USE  
POLICY MAP**

Attachment 3



NORTHSIDE SPECIFIC PLAN  
**ATTACHMENT 4**  
General Plan Amendments

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Pages LU-1 to LU-51 Not A Part



LAND USE AND  
URBAN DESIGN ELEMENT

Table LU-2  
Adopted Specific Plans

Specific Plan	Applicable Neighborhood(s)	Date of Specific Plan Adoption	Adoption Resolution Number
California Baptist University	Ramona	March 2013	22511
Canyon Springs	Sycamore Canyon/Canyon Springs	January 1984	15249
Citrus Business Park	Arlington South	April 2010	22005
Downtown	Downtown	December 2002	20323
Hawarden Hills <sup>5</sup>	Hawarden Hills & Canyon Crest	April 1977	13073
Hunter Business Park	Hunter Industrial Park	April 1988	16792
La Sierra University	La Sierra	March 1997	19057
Magnolia Avenue	Arlington, La Sierra, La Sierra South, Magnolia Center, Ramona, Wood Streets	November 2009	21931
Mission Grove	Mission Grove	June 1985	15772
Northside	Northside	TBD	TBD
Orangecrest	Orangecrest	August 1985	15886
Rancho La Sierra	La Sierra Acres	January 1996	18846
Riverside Auto Center	Presidential Park	October 1990	17614
Riverside Marketplace	Eastside	May 1991	17762
Riverwalk Vista	La Sierra South	September 2005	21023
Sycamore Canyon	Sycamore Canyon Park	October 1985	15914
Sycamore Canyon Business Park	Sycamore Canyon Business Park	April 1984	15328
Sycamore Highlands	Sycamore Canyon Business Park/Canyon Springs	November 1990	17625
University Avenue	Eastside, University	January 1993	18169
Victoria Avenue	Arlington Heights, Arlington South, Casa Blanca, Hawarden Hills, La Sierra South, Victoria	May 1972	11878

<sup>5</sup>The Hawarden Hills Specific Plan is rescinded as part of this General Plan.

<sup>6</sup>The Victoria Avenue Specific Plan is rescinded as part of this General Plan.



## LAND USE AND URBAN DESIGN ELEMENT



**Policy LU-30.9:** Interpret, apply or impose the development restrictions, conditions and/or standards of an approved Specific Plan in addition to those found in this General Plan.

**Policy LU-30.10:** Rescind the Victoria Avenue and Hawarden Hills Specific Plans as part of this General Plan.

This Plan introduces several new Land Use Designations as a partial means of implementing the citywide objectives and policies already discussed and the neighborhood-specific objectives and policies starting below. These designations reflect objectives and policies of the Land Use and Circulation Elements. The designations also provide specific descriptions of the type and intensity of development allowed at particular locations. The Land Use Policy Map in Figure LU-10 identifies how the designations apply in neighborhoods throughout the City.

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*Refer to the complete discussion of Land Use Designations in this Element under "Land Use Designations."*

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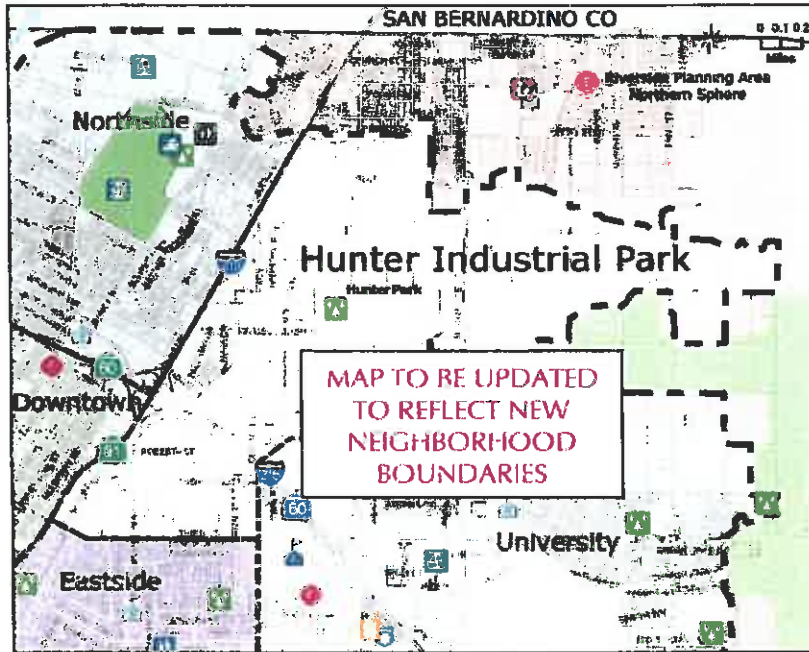
*The City's Wastewater Facility can be found on Figure LU-10 - Land Use Policy Map designated as a Public Facility.*

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**Pages LU-54 to LU-84 Not A Part**



## HUNTER INDUSTRIAL PARK



*Hunter Industrial Park*

For additional information and Objectives and Policies affecting the Hunter Industrial Park Neighborhood see the following:

"Arroyos" – LU-5.

"Preservation of Industrial Land" – LU-24 and LU-25.

Located near some of Southern California's busiest freeways and key rail lines and a short distance from burgeoning academic and scientific research at the University of California, Riverside, the Hunter Industrial Park area is ideally suited for business park and industrial uses. The thirteen-hundred-acre industrial park is in the City's northeast corner, situated between SR-60 and I-215, the Box Springs Mountain Regional Park and Springbrook Wash. Hunter Industrial Park is currently developing as a major employment center for the City.

A number of buildings developed in this area were dedicated to warehousing and storage uses, attracted by relatively low-cost land. Such buildings produce jobs in relatively low numbers to their size, typically less than one job per one thousand square feet. Riverside's vision of the future recognizes that the City has a limited supply of industrial land. For the City to be able to increase the number of jobs within Riverside, careful and coordinated use of industrial land is essential. Industrial land should be reserved primarily for clean businesses that produce significant numbers of high paying jobs that can employ Riversideans who currently commute west to Orange County and elsewhere for employment. As such, the overriding





## LAND USE AND URBAN DESIGN ELEMENT

objective for Hunter Industrial Park is push the Park to evolve toward becoming a more significant employment center featuring clean industries, including high-technology and bio-technology, capitalizing upon the talent of the innovative researchers at UCR and Riverside's considerable pool of highly trained residents, many of whom must leave the City to find high-paying employment.

The 1988 Hunter Business Park Specific Plan recognized many of the area's challenges and opportunities and has been amended several times to be more consistent with the City's broader economic goals. The City and Riverside County joined to adopt a redevelopment plan for the Highgrove area, encompassing nearly all of the Hunter Business Park area, as well as lands in Riverside County on the Park's periphery. The key purpose of this redevelopment program is to grow Hunter Business Park into a more mature and evolved economic engine for both the City of Riverside and the surrounding vicinity.

While the area is overwhelmingly dedicated to business and industrial uses, a few areas within the Hunter Industrial Park neighborhood have different uses. Hunter Park, located on Iowa Avenue, provides recreational opportunities and a popular mini-train encircling the park. Residential uses dot the edges of the neighborhood, ~~particularly near the 60/91/215 freeway interchange and the southern boundary near the University neighborhood.~~ An important objective of this Plan is to preserve and protect this intact residential neighborhood.

Further, a portion of the Hunter Business Park neighborhood extends south across the SR-60/I-215 Freeway, north of the Riverside Marketplace. Previously designated for industrial use, this General Plan redesignates the area for Business/Office Park use to be more in scale with the Marketplace, as well to have greater job-generation potential, critical to the nearby Eastside neighborhood and the City as a whole.

The objectives and policies listed below are specific to the Hunter Industrial Park Neighborhood. In addition, the Citywide objectives and policies in this Element are also applicable, as are all other City development Codes, Ordinances and standards.

**Objective LU-55: Make Hunter Industrial Park into a major employment center by creating a high quality business park environment that will attract private sector investment and encourage partnerships with regional educational institutions.**



Policy LU-55.1: Recognize different development standards for technology park development, emphasizing high-tech infrastructure and the potential for flexible reuse of buildings.

**Objective LU-56: Enhance Hunter Business Park's competitive position in the region.**

Policy LU-56.1: Continue to implement the policies of the Hunter Business Park Specific Plan and the improvements scheduled for the Highgrove Redevelopment Area.

Policy LU-56.2: Seek opportunities to annex additional land to the Hunter Business Park, both inside and outside City boundaries, that will provide expanded opportunities for office and industrial development.

Policy LU-56.3: Market and emphasize Hunter Business Park's unique features, including Box Springs Mountain Regional Park, Hunter Park, Springbrook Wash and vistas of the City.

Policy LU-56.4: Recognize Riverside's limited supply of industrial land and give preference to clean industries that create a relatively high number of jobs per square foot.

**Objective LU-57: Protect the existing, ~~planned~~ single family residential neighborhoods within and near the Hunter Business Park.**

Policy LU-57.1: Avoid industrial rezoning or encroachment of ~~Hunter Business Park's planned and existing~~ single family residential neighborhoods, ~~generally located westerly of La Cadena Drive, southerly of Columbia Avenue, easterly of Riverside Canal and northerly of the I-215.~~

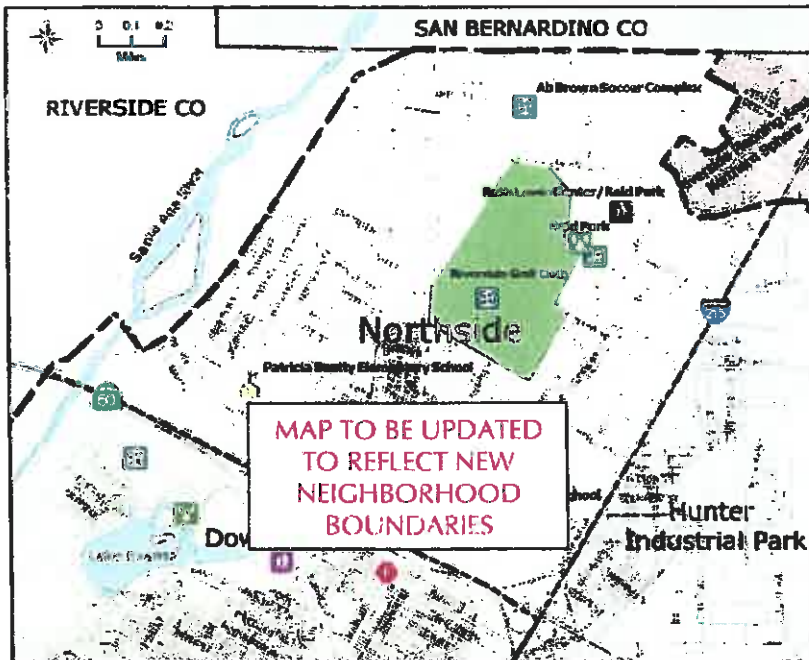
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Pages LU-88 to LU-104 Not A Part





Policy LU-69.3: Work cooperatively with the March Joint Powers Authority to ensure compatibility of land uses.

NORTHSIDE



*Northside*

Separated from the rest of the City by two freeways and bounded on the west by the Santa Ana River, the Northside neighborhood is marked by strong edges and supports a wide mixture of uses.

Although geographically close to Downtown and Hunter Industrial Park, the Northside's boundaries lend the neighborhood a character distinct from its neighbors, with residential uses that include semi-rural homesites, traditional suburban subdivisions and apartments. The neighborhood has significant park and recreation areas and commercial and office development as well. Local residents have ready access to Reid Park, featuring a gymnasium, swimming pool, community center and several outdoor playing fields, as well as the publicly operated Riverside Golf Club. The neighborhood once included the White Sulphur Springs pool located at 3723 Strong Street, a major regional attraction, known for its sparkling clean water and its use in several early Hollywood films. ~~The Northside's complex character is made more intricate by the presence of two large~~



## LAND USE AND URBAN DESIGN ELEMENT

~~unincorporated areas along the west and east sides of Reid Park and the Riverside Golf Club.~~

The Northside neighborhood is home to a long-standing homeowners' group, the Northside Improvement Association. This group has been instrumental in providing an effective forum for addressing community concerns. To address both the complexity and importance of this neighborhood, the City adopted a community plan for the Northside in 1991. The Plan proposed a framework for a distinct, upgraded community identity with improved design and maintenance and an emphasis on the residential nature of the community. The Plan prescribed improved development standards, encouraged higher quality land uses and identified a need to the upgrade and maintenance of existing uses. It also identified future development needs and sought to preserve the old charm of the City of Riverside. ~~The planning area encompasses not only the unincorporated islands within Riverside County, but also stretches north over the San Bernardino County line to include what was unincorporated land that has since been annexed by the City of Colton.~~ Goals and policies from the 1991 Community Plan are reflected in the objectives and policies below, in Citywide land use and circulation objectives and policies, and in the Implementation Program for the General Plan. ~~Although the 1991 Northside Community Plan was rescinded with the adoption of General Plan 2025 in 2007, the Northside Specific Plan was adopted in 2020 that reflects a current community vision with a foundation based on the Community Plan.~~

*For additional information and Objectives and Policies affecting the Northside Neighborhood see the following:*

*"Santa Ana River" – Introduction, LU-1, LU-2 and OS-7.*

*"Magnolia Avenue/Market Street" – LU-12 and CCM-3.*

*"Preservation of Industrial Land" – LU-24 and LU-25.*

Consistent with neighborhood goals set forth in prior planning documents, this General Plan focuses on the maintenance and improvement of these major park and recreational facilities, preservation of long-established residential densities and enhancement of the small yet economically successful commercial and industrial sites.

The objectives and policies listed below are specific to the Northside Neighborhood. In addition, the Citywide objectives and policies in this Element are also applicable, as are all other City development Codes, Ordinances and standards.



**Objective LU-70: Provide a balanced community with sufficient office, commercial and industrial uses while preserving the single family residential preeminence of the community.**

Policy LU-70.1: Commercial uses along West La Cadena Drive should be focused at the Columbia Avenue and West Center Street intersections.

**Objective LU-71: Establish the Northside Community as a balanced community in which it is pleasant to live, work and play.**

Policy LU-71.1: ~~Policy Removed—Prepare a Specific Plan for the Northside which:~~

- ~~❖ Emphasizes the retention of open space and recreational resources;~~
- ~~❖ Includes the input of the residents and property owners of the Northside Community;~~
- ~~❖ Includes the retention of Reid Park;~~
- ~~❖ Assumes the retention of a public golf course within the Northside Study Area with generous visual access to this feature or comparable open space from the surrounding community. Basic open space relationships should be retained;~~
- ~~❖ Considers alternative land uses for properties surrounding the golf course and Reid Park to optimize compatibility with these recreation facilities;~~
- ~~❖ Retains or relocates the soccer fields to an optimum location;~~
- ~~❖ Provides a detailed evaluation of alternative uses for the Public Utilities Department properties in the City of Colton (i.e., former Pellissier Ranch). The evaluation shall include, but not be limited to, recreational and industrial opportunities; and~~
- ~~❖ Retains the Northside Community Plan Citizens Advisory Committee, or a modified committee of~~





## LAND USE AND URBAN DESIGN ELEMENT

~~local citizens, as the review committee for the specific plan.~~

Policy LU-71.2: Retain Fremont Elementary School as the primary focus for elementary education in the Northside. Encourage modest expansion of the site as properties become available, particularly the properties immediately adjacent to the existing parking lots on Orange Street and Main Street. Expansion should allow for site amenities such as parking lot landscaping, improved pedestrian circulation and added parking.

Policy LU-71-3: Retain Reid Park ~~and the golf course~~ to serve neighborhood, community and regional park needs.

Policy LU-71-4: Coordinate trail alignments within the Springbrook Wash and Santa Ana River with the work prepared by the Springbrook Wash Trails Alignment Subcommittee of the Riverside Land Conservancy.

**Objective LU-72: Provide for steady change and improvement to an upgraded model community with a distinct identity.**

Policy LU-72.1: Engage the City of Riverside and the Counties of Riverside and San Bernardino in cooperation with Northside Citizen groups to launch an aggressive campaign to reinforce building and property maintenance conditions. The campaign should:

- ❖ Emphasize the removal of inoperative vehicles;
- ❖ Encourage property owners to remove junk from yards and replace weeds with more aesthetically pleasing landscaping; and
- ❖ Emphasize the repair of deteriorated structures and the upgrade of structures needing maintenance.

Policy LU-72.2: Site new development to emphasize views out of the Northside area and not block existing views. Lay out subdivisions so that streets emphasize the



views. In many cases this means streets should be perpendicular to the view. This visual corridor can also be protected by an open space easement across a portion of the lot.

Policy LU-72.3: Consider establishing SR-60 and Interstate 215 as City of Riverside Scenic Highways.

Policy LU-72.4: Line Main Street with canopy type trees both at the curb edge and in the center median island. These canopy trees will soften the width of the street and reinforce the low density residential goal of the Northside. This will also be in contrast to the palms to be used in a formal pattern to the south of the freeway.

Policy LU-72.5: Encourage appropriate retail opportunities to better serve the Northside Neighborhood.

Policy LU-72.6: Complete roadway improvements needed to ensure adequate access to the Northside Neighborhood to meet the needs of residential, commercial and other users.

Policy LU-72.7: Continue to move all Northside neighborhood utilities underground; seek funding to complete undergrounding from all available sources, including the City of Riverside, Riverside County, assessment districts and CalTrans.

Policy LU-72.8: ~~Policy Removed Encourage appropriate industrial development opportunities.~~

**Objective LU-73: Provide for comprehensive development and management of the Northside Community irrespective of political jurisdiction.**

Policy LU-73.1: ~~Policy Removed Encourage the City of Riverside, Riverside County and San Bernardino County to study the Northside Community Plan area for possible redevelopment designation(s).~~

Policy LU-72.2: Seek to annex all unincorporated portions of the study area within Riverside County to the City of Riverside. The possibility of a boundary line shift between Riverside and San Bernardino Counties to follow logical geographic limits should continue to



## LAND USE AND URBAN DESIGN ELEMENT

be explored as well as other means of cooperation such as a Joint Powers Agreement to unify development opportunities.

**Objective LU-74: Preserve and promote the lower density charm of the Northside Community.**

**Policy LU-74.1:** Use tree varieties that provide substantial shade and a canopy effect over the street in new developments and redevelopment projects.

**Policy LU-74.2:** Encourage the installation of parking lot landscaping on those commercial and industrial properties currently without such amenities. As an incentive for landscaping, the City in co-operation with the County should develop a property rehabilitation program. One source of funds for such a program could be Block Grants.

**Policy LU-74.3:** Use natural appearing drainage channels of innovative design in the Northside area. Development projects should be required to develop their drainage in natural or semi-natural appearing channels.

**Policy LU-74.4:** Preserve large groupings of existing trees that add visual interest to the area. Such tree groupings should be preserved as part of development projects or road widenings whenever possible.

**Policy LU-74.5:** Land use interfaces between residential and commercial or industrial properties should receive special design consideration to protect the scenic integrity of the residential neighborhood.



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Pages LU-111 to LU-133 Not A Part



LAND USE AND  
URBAN DESIGN ELEMENT

Table LU-3  
Land Use Designations

Land Use	Maximum du/acre(a) or FAR/acre(b)	Typical du/acre(a) or FAR/acre(b)	Maximum Population Density(c)	Primary Intent of Land Use Designations
<b>Residential Land Uses</b>				
Agricultural/Rural Residential (A/RR)	0.20 du/acre	0.20 du/acre	0.6 persons/acre	Implement Proposition R and Measure C; allow for residential use on large agricultural and citrus parcels
Hillside Residential (HR)	0.50 du/acre; 0.63 du/acre w/PRD	0.50 du/acre	1.5 persons/acre 1.89 persons/acre w/PRD	Implement Proposition R and Measure C; allow for sensitive development of residential homes where slopes exceed 15%
Semi-Rural Residential (SRR)	2.1 du/acre 3.3 du/acre w/PRD	1.5 du/acre	6.3 persons/acre 9.9 persons/ acre w/PRD	Single family with emphasis on animal keeping
Very Low Density Residential (VLDR)	2.0 du/acre 3.2 du/acre w/PRD	1.5 du/acre	6 persons/acre 9.6 persons/ acre w/PRD	Single family, large lot residential
Low Density Residential (LDR)	4.1 du/acre 6 du/acre w/PRD	3 du/acre	12.3 persons/acre 18 persons/ acre w/PRD	Single family, large lot residential uses
Medium Density Residential (MDR)	6.2 du/acre; 8 du/acre w/PRD	5.5 du/acre	18.6 persons/acre 24 persons/ acre w/PRD	Single-family residential uses
Medium-High Density Residential (MHDR)	14.5 du/acre	12 du/acre	43.5 persons/acre	Single family, small lot residential uses
High Density Residential (HDR)	29 du/acre	20 du/acre	87 persons/acre	Multi-family, condominiums and apartments
Very High Density Residential (VHDR)	40 du/acre	30 du/acre	120 persons/acre	Multi-family, condominiums and apartments

# LAND USE AND URBAN DESIGN ELEMENT



Table LU-3  
Land Use Designations

Land Use	Maximum du/acre(a) or FAR/acre(b)	Typical du/acre(a) or FAR/acre(b)	Maximum Population Density(c)	Primary Intent of Land Use Designations
<b>Commercial Land Uses</b>				
Commercial (C)	0.50 FAR	0.30 FAR	N/A	Retail shops, services and other similar commercial development
Commercial Regional Center (CRC)	0.50 FAR	0.25 FAR	N/A	Large, regionally serving retail, service and office uses
Office (O)	1.0 FAR	.65 FAR	N/A	Office Uses
Business/Office Park (B/OP)	1.50 FAR	1.15 FAR	N/A	Research/development and related flexible space; laboratories, offices; support commercial and light industrial uses
Industrial (I)	0.60 FAR	0.40 FAR	N/A	Manufacturing and wholesaling; support commercial uses; limited large warehouse and distribution facilities only at specific locations
<b>Mixed Uses</b>				
Downtown Specific Plan (DSP)	Various			Implementation of the Downtown Specific Plan
Northside Specific Plan (NSP)	Various			Implementation of the Northside Specific Plan
Orangecrest Specific Plan (OSP)	Various			Implementation of the Orangecrest Specific Plan
Mixed Use - Neighborhood (MU-N)	10 du/acre 1.0 FAR	5 du/acre .35 FAR	30 persons/acre	Neighborhood mixed-use; retail, office and residential uses. Horizontal integration as primary development pattern, with
Mixed Use - Village (MU-V)	30/40 du/acre (d) 2.5 FAR	20 du/acre 2.0 FAR	90/120 persons/acre	Village mixed-use: retail, office and residential uses in same building; horizontal integration as appropriate; 2-3 stories in height
Mixed Use - Urban (MU-U)	40/60 du/acre(d) 4.0 FAR	30 du/acre 2.0 FAR	120/180 persons/acre	Activity center/activity node mixed-use: retail, office and residential uses in same building or horizontal integration on same parcel; 3- 4 stories in height; emphasis on entertainment, employment and student-oriented uses





## LAND USE AND URBAN DESIGN ELEMENT

Table LU-3  
Land Use Designations

Land Use	Maximum du/acre(a) or FAR/acre(b)	Typical du/acre(a) or FAR/acre(b)	Maximum Population Density(c)	Primary Intent of Land Use Designations
<b>Community Amenities and Support</b>				
Agricultural (A)	0.20 du/acre	0.20 du/acre	.6 persons/acre	Agricultural production; incidental residential uses
Public Park (P)	N/A	N/A	N/A	Public parks and associated facilities
Private Recreation (PR)	N/A	N/A	N/A	Provide opportunities for primarily outdoor recreation, such as golf courses, equestrian centers, amusement parks
Open Space/Natural Resources (OS)	N/A	N/A	N/A	Protection of natural resources, creeks, hillsides, arroyos and other sensitive areas
Public Facilities Institutional (PF)	1.0 FAR	0.20 FAR	N/A	Educational facilities, libraries, governmental uses, utilities and other community supportive functions

du = Dwelling Units

FAR = Floor Area Ratio

**Notes:**

- a) Residential densities are based on gross acreage, which includes streets. Example: 500 dwelling units (du) on a total of 100 acres (streets included) is equal to  $500 \text{ du} \div 100 \text{ acres} = 5 \text{ du/gross acre}$ .
- b) The floor area ratio (FAR) is the area of the building or buildings on a site or lot divided by the area of the site or lot. Example:  $20,000 \text{ square feet floor area} \div 80,000 \text{ square feet of site area} = \text{a FAR of } .25$ .
- c) Government Code Section 65302(a) requires a General Plan to state projected population for residential land uses. The intensities indicated here assume an average household size of 3.0 persons, per the Department of Finance.
- d) The higher residential densities are permissible under certain circumstances along Magnolia and University Avenues. See the description of Mixed Use- Village and Mixed Use - Urban below for more information.



Most notably, the Land Use Map also includes three mixed-use land use categories, ranging from lowest intensity (Mixed Use-Neighborhood) to the highest intensity (Mixed Use-Urban) These categories are extremely important for achieving much of Riverside's vision of more vibrant activity centers, revitalization of underutilized areas and a reduction in sprawling development. All of the land use designations are described in greater detail below.

## SINGLE FAMILY RESIDENTIAL LAND USE DESIGNATIONS

### **Agricultural/Rural Residential (A/RR)**

The Agricultural/Rural Residential designation is intended to provide for extremely low density residential uses (1 unit per 5 acres) so as to allow agricultural (particularly citrus) uses to continue. This designation is intended to further the intent of Proposition R and Measure C, which were approved by Riverside voters in 1979 and 1987, respectively. The designation is applied to two large areas within the City - most of the Arlington Heights Neighborhood and the northern portion of La Sierra Acres (Rancho La Sierra).

### **Hillside Residential (HR)**

The Hillside Residential designation is designed to limit development of Riverside's ecologically sensitive and visually prominent hillside areas. This designation has been applied to most hillside areas where slopes exceed fifteen percent and allows a maximum residential intensity of 0.63 units per acre with a Planned Residential Development (PRD) permit. Per the intent of Proposition R and Measure C, this designation is applied to numerous hillside areas throughout the City; significant portions of La Sierra Hills, Alessandro Heights and Hawarden Hills are under this designation. Clustered development under a Planned Residential Development permit (PRD) is consistent with this designation.

### **Semi-Rural Residential (SRR)**

This designation is applied in areas that have historically fostered large-lot single family development while allowing enough space for animal keeping as an auxiliary use. A maximum density of 2.1 dwelling units per acre ensures that most properties have the capacity to accommodate one or more horses or other animals.<sup>12</sup> This designation is primarily applied to the central portion of the La Sierra neighborhood and provides a lifestyle option unique for a City of

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<sup>12</sup> Greater densities, up to a maximum of 3.3 dwelling units per acre, can be achieved with a Planned Residential Development Permit



## LAND USE AND URBAN DESIGN ELEMENT

Riverside's size.

### **Very Low Density Residential (VLDR)**

The Very Low Density Residential provides a maximum residential density comparable to Semi-Rural Residential (2.0 dwelling units per acre) but is intended for areas where animal keeping is not foreseen.

### **Low Density Residential (LDR)**

The Low Density Residential designation provides for the development of large lot single family homes at a maximum density of 4.1 dwelling units per acre and 6.0 dwelling units per acre, with a Planned Residential Development (PRD) permit. Lands in this designation are developed or to be developed with the full range of urban services available in the City.

### **Medium Density Residential (MDR)**

The Medium Density Residential designation provides for the development of single-family homes, town houses and row houses. The designation allows a maximum of 6.2 dwelling units per acre, or up to 8.0 dwelling units per acre when associated with a Planned Residential Development (PRD) permit.

### **Medium-High Density Residential (MHDR)**

The Medium-High Density Residential designation provides for the development of small-lot single family homes, town houses, row houses and permanent-style mobile home parks. Multi-family units, particularly condominiums and small apartments, are also allowable. This designation allows a maximum density of 14.5 dwelling units per acre.

**Objective LU-89: Accommodate flexible design to provide for superior development in single family residential developments based upon good planning principles and to promote the general welfare of the neighborhood and maximum benefit to the environment.**

**Policy LU-89.1: Permit the density transfer between land use designations within the same single family residential development as necessary to provide for superior development. As an example, but not necessarily limited to, such transfers are desirable where density is transferred from steep, hillside land to flatter,**





less visually sensitive properties and where significantly less grading will result. In the case of such a density transfer, the overall maximum density shall not exceed that otherwise permitted by the General Plan designation(s) (see Titles 18 and 19 for further discussion on this topic).

## MULTI-FAMILY RESIDENTIAL LAND USE DESIGNATIONS

### **High Density Residential (HDR)**

The High Density Residential designation provides for the development of row houses, condominiums and apartments. Senior housing and multifamily clusters are also allowable. The designation allows a maximum of 29.0 dwelling units per acre.

### **Very High Density Residential (VHDR)**

The Very High Density Residential designation provides for the development of row houses, condominiums and apartments. Student housing, senior housing and multifamily clusters are also allowable. The designation allows a maximum of 40.0 dwelling units per acre.

## COMMERCIAL AND INDUSTRIAL LAND USE DESIGNATIONS

### **Commercial (C)**

The Commercial designation provides for retail, sales, service and office uses that serve multiple neighborhoods within the City. The majority of commercial land in Riverside is designated Commercial. The maximum development intensity is a floor-area ratio of 0.50.

### **Commercial Regional Center (CRC)**

The Commercial Regional Center designation provides for large, regionally-serving retail, service and office uses but may include smaller retail or commercial uses. The Riverside Auto Center, Riverside Plaza, Town Centre and the Galleria at Tyler area are designated Commercial Regional Center. The maximum development intensity is a floor-area ratio of 0.50. The maximum allowable development intensity of Commercial Regional Center is equal to that of Commercial; lands in the Commercial Regional Center area are mostly reserved for commercial enterprises that will draw customers from a much wider area and as such, typically have different access, parking,



## LAND USE AND URBAN DESIGN ELEMENT

loading and related needs than a typically smaller Commercial development.

### **Office (O)**

The Office land use designation provides space for a variety of different office uses, including general business and medical offices. Supportive retail and commercial uses, such as mailing centers, cafes, and restaurants, would support the offices in this designation. The maximum development intensity is a floor-area ratio of 1.0.

### **Business/Office Park (B/OP)**

The Business/Office Park designation provides for single or mixed light industrial uses that do not create nuisances due to odor, dust, noise or heavy truck traffic. Suitable uses include corporate and general business offices, supportive retail and commercial uses, research and development, light manufacturing, light industrial and small warehouse uses (up to 10,000 square feet per site). Although most business parks are controlled through deed restrictions or single ownership of multi-tenant space, business park standards can be applied to existing parcels in separate ownership. Common features of business parks are high quality design, building materials, landscaping and absence of nuisances. The maximum intensity of development is a floor-area ratio of 1.5.

### **Industrial (I)**

The Industrial land use designation provides for uses such as large-scale building materials sales, light manufacturing, distribution, warehousing and wholesaling that would generally not be appropriate in more restrictive designations because of potential nuisance factors, plus supportive retail and commercial uses. The maximum intensity of development is a floor-area ratio of 0.6.

## MIXED USE DESIGNATIONS

### **Downtown Specific Plan (DSP)**

The City of Riverside adopted the Downtown Specific Plan in 2002. The Specific Plan includes a land use designation overlay that is based upon Downtown's identified districts. The Downtown Specific Plan includes a wide spectrum of allowable uses and intensities. Residential densities range from Medium to Very High, depending upon specific location. Office, commercial and public facilities uses, all in a wide range of allowable intensities, are also features of the Downtown Specific Plan.



### **Northside Specific Plan (NSP)**

The Northside Specific Plan has been designed to accommodate a safe, healthy and balanced community celebrating the history and culture of the greater Riverside area. Residential, commercial, employment and agriculture will be linked together through safe streets, connected trails, greenbelts, and bicycle corridors and result in a unique community in Riverside, Colton, and County of Riverside. The Specific Plan identifies ways to provide recreation and open space for the Northside neighborhood and region.

### **Orangecrest Specific Plan (OSP)**

The Orangecrest Specific Plan is established to create a diverse area where people live, shop and enjoy recreational facilities. Adopted in 1985, the plan includes low to medium density residential uses, interspersed with large areas of public park, public facilities/institutions and commercial uses.

### **Mixed Use-Neighborhood (MU-N)**

The Mixed-Use Neighborhood designation provides for opportunities for primarily neighborhood-serving commercial uses with limited low intensity residential uses in a mixed-use environment. This designation is intended to preserve the existing housing stock and residential character of neighborhoods while allowing for the development of new housing opportunities, fostering adaptive reuse of underutilized property and encouraging pedestrian-oriented retail and commercial service uses. The focus of the development and design standards is on ensuring that new and infill development are distributed and designed in a manner sensitive in scale and design to the street environment and adjacent single-family residential areas. The maximum allowable intensity for the commercial component is 1.0 FAR; for any residential component, the maximum density is ten dwelling units per acre.

### **Mixed Use-Village (MU-V)**

The Mixed-Use Village designation provides for medium to high density residential development with retail, office and service uses primarily at the street level to facilitate a pedestrian environment. This designation is intended to encourage new housing opportunities, such as live/work units and residential over retail, which are proximate to commercial services and promote pedestrian activity. Plazas, courtyards, outdoor dining and other public gathering spaces and community amenities are strongly encouraged. The focus of the development and design standards is on landscaping and buffering techniques to provide transitions from developed commercial areas to



## LAND USE AND URBAN DESIGN ELEMENT

lower density residential neighborhoods. The maximum allowable intensity for the commercial component is 2.5 FAR; for any residential component, the maximum density is thirty dwelling units per acre.

Higher residential densities are permissible for Mixed-Use Village projects that have the potential to serve as transit-oriented developments. Proposed projects within one-half of a mile of a transit stop along Magnolia or University Avenues may have a residential density of up to forty dwelling units per acre with a maximum total permissible FAR of 2.5.

### **Mixed Use-Urban (MU-U)**

The Mixed-Use Urban Designation provides opportunities for primarily high-density residential development with commercial, office, institutional and business uses emphasizing retail, entertainment and student-oriented activities. Such development is intended to facilitate the grouping of innovative housing options with employment uses, entertainment activities and public gathering spaces and other community amenities. Well-functioning transit-oriented developments (or TODs) will typically need to be constructed to this higher intensity of development. The focus of the development and design standards is on ensuring large-scale mixed-use projects are functionally integrated through the relationships between location and types of uses and structures, the efficient use of land, optimal site planning and design elements. The maximum allowable intensity for the commercial component is 4.0 FAR; for any residential component, the maximum density is forty dwelling units per acre.

Higher residential densities are permissible for Mixed-Use Urban projects that have the potential to serve as transit-oriented developments. Proposed projects within one-half of a mile of a transit stop along Magnolia or University Avenues may have a residential density of up to sixty dwelling units per acre with a maximum total permissible FAR of 4.0.

## COMMUNITY AMENITIES AND SUPPORT DESIGNATIONS

### **Agriculture (A)**

The Agriculture designation provides lands for the managed production of natural resources and agricultural land intended to remain in production during the General Plan planning period. Incidental residential uses are permitted at a maximum density of 0.2 dwelling units per acre.





### **Public Parks (P)**

The Public Parks designation is assigned to City, regional and state owned park areas. Activity areas that may be developed include large multipurpose fields for community events and informal recreation, areas for active sports play, tot lots, picnic areas, multipurpose sports fields and courts, public golf courses, concessions, community event space, outdoor amphitheaters, nature study centers, maintenance/support facilities and caretaker facilities.

### **Private Recreation (PR)**

The Private Recreation designation is applied to such areas as private golf courses, equestrian centers and amusement parks that provide opportunities for primarily outdoor recreation. Allowable uses are similar in nature to those permitted in public parks, but are not under the public domain.

### **Open Space/Natural Resources (OS)**

The Open Space/Natural Resources designation provides lands, both private and public as shown on the Land Use Map, for the preservation of natural resources, hillsides and creeks; as well as open space for the protection of public health and safety, including floodways and stormwater retention areas.

### **Public Facilities and Institutional Uses (PF)**

The Public Facilities and Institutional Uses designation provides for schools, hospitals, libraries, utilities, the municipal airport (precise uses for the airport property are defined in the Airport Master Plan), institutional offices (e.g., religious, educational, social or similar organizations), and government institutions. Religious assembly and day care uses may be allowed within this designation. Specific sites for public/semipublic uses are subject to discretionary approval under the Zoning Ordinance. The maximum intensity of development is a floor-area ratio of 1.0.

## **IMPLICATIONS OF LAND USE POLICY**

The land use changes called for in this Land Use and Urban Design Element, will, if fully implemented by the City of Riverside, lead to population and housing increases within the City.

In 2003, the City of Riverside's population was estimated to be 274,071 by the California State Department of Finance. This



## LAND USE AND URBAN DESIGN ELEMENT

population was housed in an estimated 90,511 housing units, yielding just over 3 people per household.

This General Plan introduces four new designations that will enable significant increases in housing and population to occur, but in a focused manner that makes more efficient use of existing urban infrastructure. The three new mixed-use designations (Mixed Use Neighborhood, Mixed Use - Village and Mixed Use - Urban) along with the new Very High Density Residential designation, are intended to permit growth focused on infill areas along the City's major transportation corridors.

Siting mixed-use development, which can combine residential, commercial and office uses, along existing transportation corridors, affords tremendous opportunities to reduce dependency on the automobile and saves the City the cost of extending urban services into undeveloped areas.

The primary tools Riverside will use to implement land use policy are the Zoning Code (Title 19 of the Riverside Municipal Code) and the Subdivision Code (Title 18 of the Riverside Municipal Code). Table LU-4 indicates the amount of property designated in each land use category at the time of the adoption of the General Plan in 2007. Since 2007, there have been incremental land use amendments that continually affect these numbers.

Table LU-5 includes zoning designations that will help implement the General Plan and Zoning Code. Table LU-6 ensures that any development proposal before the City, which is allowed in its adopted Zone, has been assessed as consistent with the adopted General Plan Land Use Designation. Table LU-7 includes specific criteria that can also be used to determine consistency for a development project. Each of the General Plan's applicable Objectives and Policies must be consistent (or not applicable) for the project to be deemed consistent.

# LAND USE AND URBAN DESIGN ELEMENT



Table LU-4  
2007 Planned Land Uses

Land Use Category		Net Acreage in the City	Percent of Total City Acres
A/RR	Agricultural/Rural Residential	5,116	11.7639%
HR	Hillside Residential	4,061	9.3380%
SRR	Semi-Rural Residential	1,227	2.8214%
VLDR	Very Low Density Residential	1,327	3.0513%
LDR	Low Density Residential	2,563	5.8934%
MDR	Medium Density Residential	10,877	25.0109%
MHDR	Medium High Density Residential	665	1.5291%
HDR	High Density Residential	856	1.9683%
VHDR	Very High Density Residential	108	0.2483%
<b>Total Residential</b>		<b>26,800</b>	<b>61.6248%</b>
C	Commercial	1,415	3.2537%
CRC	Commercial Regional Center	228	0.5243%
O	Office	293	0.6737%
<b>Total Commercial and Office</b>		<b>1,936</b>	<b>4.4517%</b>
B/OP	Business Office Park	3,953	9.0897%
I	Industrial	582	1.3383%
<b>Total Industrial/Office Park</b>		<b>4,535</b>	<b>10.4279%</b>
DSP	Downtown Specific Plan	433	0.9957%
OSP	Orangecrest Specific Plan	7	0.0161%
<b>Total Downtown Specific Plan</b>		<b>440</b>	<b>1.0118%</b>
MU-N	Mixed Use Neighborhood	68	0.1564%
MU-V	Mixed Use Village	490	1.1267%
MU-U	Mixed Use Urban	275	0.6323%
<b>Total Mixed Use</b>		<b>833</b>	<b>1.9154%</b>



LAND USE AND  
URBAN DESIGN ELEMENT

Table LU-4  
2007 Planned Land Uses

Land Use Category		Net Acreage in the City	Percent of Total City Acres
A	Agricultural	0	0.0000%
P	Public Park	3,211	7.3835%
PR	Private Recreation	856	1.9683%
OS	Open Space/Natural Resources	931	2.1408%
PF	Public Facilities Institutional	3,947	9.0759%
RAT	Kangaroo Rat Habitat	0	0.0000%
<b>Total Community Amenities and Support</b>		<b>8,945</b>	<b>20.5684%</b>
<b>City Net Total<sup>(1)</sup></b>		<b>43,489</b>	<b>100.0000%</b>



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Table LU-5  
Zoning/General Plan Consistency Matrix

General Plan Land Use Designation	GP Symbol	Zone Symbol <sup>1</sup>	Zoning Designation
<b>Single-Family Residential Land Use Designations</b>			
Agricultural/Rural Residential (Max. 0.20 du/acre)	A/RR	RA-5	Residential Agriculture
Hillside Residential (Max. 0.63 du/acre)	HR	RC	Residential Conservation
Semi-Rural Residential (Max. 3.3 du/acre)	SRR	RR RE R-1-1/2 acre	Rural Residential Residential Estate R-1-1/2 acre – Single Family
Very Low Density Residential (Max. 3.2 du/acre)	VLDR	RE R-1-1/2 acre	Residential Estate R-1-1/2 acre – Single Family
Low Density Residential (Max. 6.0 du/acre)	LDR	RR RE R-1-1/2 acre R-1-13000 R-1-10500 CS	Rural Residential Residential Estate R-1-1/2 acre – Single Family R-1-13000 – Single Family R-1-10500 – Single Family Commercial Storage Overlay
Medium Density Residential (Max. 8.0 du/acre)	MDR	RE R-1-1/2 acre R-1-13000 R-1-10500 R-1-8500 R-1-7000 CS MH	Residential Estate R-1-1/2 acre – Single Family R-1-13000 – Single Family R-1-10500 – Single Family R-1-8500 – Single Family R-1-7000 – Single Family Commercial Storage Overlay Mobile Home Park
<b>Multi-Family Residential Land Use Designations</b>			
Medium-High Density (Max. 14.5 du/acre)	MHDR	R-1-7000 R-3-4000 R-3-3000 CS	R-1-7000 Single Family R-3-4000 – Multi-family R-3-3000 – Multi-family Commercial Storage Overlay
High Density Residential (Max. 29 du/acre)	HDR	R-3-4000 R-3-3000 R-3-2500 R-3-2000 R-3-1500 CS	R-3-4000 – Multi-family R-3-3000 – Multi-family R-3-2500 – Multi-family R-3-2000 – Multi-family R-3-1500 – Multi-family Commercial Storage Overlay
Very High Density Residential (Max. 40 du/acre)	VHDR	R-4	R-4 – Multi-family



## LAND USE AND URBAN DESIGN ELEMENT

General Plan Land Use Designation	GP Symbol	Zone Symbol <sup>1</sup>	Zoning Designation
<b>Commercial and Industrial Land Use Designations</b>			
Commercial (Max. 0.50 FAR/acre)	C	CR CG CS NC	Commercial Retail Commercial General Commercial Storage Overlay Neighborhood Commercial Overlay
Commercial Regional Center (Max. 0.50 FAR/acre)	CRC	CR CG CRC	Commercial Retail Commercial General Commercial Regional Center
Office (Max. 1.0 FAR/acre)	O	O CS	Office Commercial Storage Overlay
Business/Office Park (Max. 1.50 FAR/acre)	B/OP	BMP AI CS O	Business and Manufacturing Park Air Industrial Commercial Storage Overlay Office
Industrial (Max. 0.60 FAR/acre)	I	I CS AIR	General Industrial Commercial Storage Overlay Airport Zone
<b>Mixed Use Designations</b>			
Downtown Specific Plan (Various du and FAR/acre)	DSP	DSP	Downtown Specific Plan
Northside Specific Plan (Various du and FAR/acre)	NSP	NSP	Northside Specific Plan
Orangecrest Specific Plan (Various du and FAR/acre)	OSP	OSP	Orangecrest Specific Plan
Mixed Use – Neighborhood (Max. 10 du/acre, 1.0 FAR/acre)	MU-N	MU-N R-1-13000 R-1-10500 R-1-8500 R-1-7000 CR NC	Mixed Use – Neighborhood R-1-13000 – Single Family R-1-10500 – Single Family R-1-8500 – Single Family R-1-7000 – Single Family Commercial Retail Neighborhood Commercial Overlay

## LAND USE AND URBAN DESIGN ELEMENT



General Plan Land Use Designation	GP Symbol	Zone Symbol <sup>1</sup>	Zoning Designation
Mixed Use – Village (Max. 30/40 <sup>2</sup> du/acre, 2.5 FAR/acre)	MU-V	MU-V R-3-4000 R-3-3000 R-3-2500 R-3-2000 R-3-1500 R-4 CR CG NC	Mixed Use – Village R-3-4000 – Multi-family R-3-3000 – Multi-family R-3-2500 – Multi-family R-3-2000 – Multi-family R-3-1500 – Multi-family R-4 – Multi-family Commercial Retail Commercial General Neighborhood Commercial Overlay
Mixed Use – Urban (Max. 40/60 <sup>2</sup> du/acre, 4.0 FAR/acre)	MU-U	MU-U R-3-4000 R-3-3000 R-3-2500 R-3-2000 R-4 CR CG NC	Mixed Use – Urban R-3-4000 – Multi-family R-3-3000 – Multi-family R-3-2500 – Multi-family R-3-2000 – Multi-family R-4 – Multi-family Commercial Retail Commercial General Neighborhood Commercial Overlay
<b>Community Amenities and Support Designations</b>			
Agriculture (Max. 0.20 du/acre)	A	RA-5	Residential Agriculture
Public Parks	P	All Zones	Public Facilities
Private Recreation	PR	All Zones per the Requirements of Title 19	Public Facilities
Open Space/Natural Resources	OS	PF	Public Facilities
Public Facilities and Institutional Uses (Max. 1.0 FAR/acre)	PF	PF AIR O	Public Facilities Airport Office



## LAND USE AND URBAN DESIGN ELEMENT

General Plan Land Use Designation	GP Symbol	Zone Symbol <sup>1</sup>	Zoning Designation
All General Plan Land Use Designations		RW Y AP X S SP WC	Railway Airport Protection Overlay Building Setback Overlay Story Overlay Specific Plan Overlay Water Course Overlay
<sup>1</sup> Airport Land Use Compatibility Plan (ALUCP) – If proposed development is within an ALUCP Compatibility zone, additional analysis is required to determine whether the proposal complies with ALUCP criteria. If the site is within an Airport Influence Area, some of the uses permitted or conditionally permitted in the City Zone(s) listed here may not be permissible or maybe subject to additional restrictions on density or intensity. See Chapter 19.149 of the Riverside Municipal Code and the applicable ALUCP for additional information.			
<sup>2</sup> See Table LU-3 (Land Use Designations)			

Table LU-6  
Consistency Quick Check

Quick Check Questions		Consistency Quick Check	
		Yes	No
1.	Is the use permitted in the site's current zoning designation?	Go to Question 2	Rezoning required
2.	Is the proposed use permitted or conditionally permitted in a zone that is consistent with the site's General Plan land use designation, per LU-5?	Consistent <sup>1</sup>	Go to Table LU7 - Consistency Criteria
<sup>1</sup> Airport Land Use Compatibility Plan (ALUCP) – If proposed development is within an ALUCP Compatibility zone, additional analysis is required to determine whether the proposal complies with ALUCP criteria. If the site is within an Airport Influence Area, some of the uses permitted or conditionally permitted in the City Zone(s) listed here may not be permissible or maybe subject to additional restrictions on density or intensity. See Chapter 19.149 of the Riverside Municipal Code and the applicable ALUCP for additional information.			



# LAND USE AND URBAN DESIGN ELEMENT



Table LU-7  
Consistency<sup>1,2</sup> Criteria

THE PROJECT...		GENERAL PLAN REFERENCES	
1.	Adheres to and aligns with Smart Growth Principles	Objectives	LU-8
		Policies	N/A
2.	Creates a landmark or gateway to the City that improves the character and identify of Riverside	Objectives	LU-21
		Policies	LU-21.1 LU-48.3
3.	Accommodates flexible design that results in superior development that goes beyond the required development standards	Objectives	LU-89
		Policies	LU-89.1
4.	Contributes to a high-quality, livable neighborhood that includes maintained housing, public services, and open space	Objectives	H-1
		Policies	N/A
5.	Includes uses that will serve with surrounding neighborhoods while minimizing impacts	Objectives	LU-9
		Policies	N/A
6.	Uses land effectively by including compact building design, infill development, and increased density	Objectives	N/A
		Policies	LU-8.1 LU-8.2
7.	Provides for diverse housing types and affordability levels	Objectives	H-2
		Policies	N/A
8.	Complements and serves existing residential areas	Objectives	N/A
		Policies	LU-9.7
9.	Includes a mix of land uses on underutilized urban parcels	Objectives	N/A
		Policies	LU-48.3 LU-48.6 LU-67.4 LU-78.5
10.	Includes pedestrian-oriented retail, restaurant, entertainment and service uses to create activity nodes	Objectives	N/A
		Policies	LU-58.1 LU-75.3
11.	Enhances and highlights historic sites along the "L" Corridor, including landmark buildings/landscapes, cultural resources, and historic districts	Objectives	N/A
		Policies	LU-12.3
12.	Creates a commercial center with pedestrian and parking that includes unique building and landscape design across all parcels	Objectives	N/A
		Policies	LU-9.5
13.	Provides bicycle and pedestrian usage along major parkways	Objectives	N/A
		Policies	LU-11.3
14.	Supports alternating land uses along major arterials that support "nodes" of commercial development at key locations	Objectives	N/A
		Policies	LU-9.6
15.	Aligns with all applicable Corridor, Parkway, Neighborhood Plan, and Specific Plan objectives/policies	Objectives	LU-30
		Policies	LU-30.3 LU-30.6



LAND USE AND  
URBAN DESIGN ELEMENT

Table LU-7  
Consistency<sup>1,2</sup> Criteria

THE PROJECT...		GENERAL PLAN REFERENCES	
16.	Promotes and supports public multi-modal transportation that connects activity centers in the region	Objectives	CCM-9 CCM-11
		Policies	CCM-9.1 CCM-9.5 CCM-9.6 CCM-9.7 CCM-9.8 CCM-9.9
17.	Implements regional and inter-jurisdictional transportation plans	Objectives	CCM-5
		Policies	CCM-5.1 CCM-5.2 CCM-5.5
18.	Facilitates the movement of goods while protecting existing residential neighborhoods from operations and rail service	Objectives	CCM-12
		Policies	CCM-12.1 CCM-12.2 CCM-12.3 CCM-12.4 CCM-12.5
19.	Reduces vehicle miles traveled and daily peak hour vehicular trips	Objectives	N/A
		Policies	CCM-6.1
20.	Incorporates bicycle racks and facilities and trails for both cyclists and pedestrians	Objectives	N/A
		Policies	LU-4.5 CCM-10.1 CCM-10.2
21.	Provides parking on-site while seeking opportunities for shared parking	Objectives	N/A
		Policies	CCM-13.1 CCM-13.4
22.	Preserves and protects prominent ridgelines or hillsides	Objectives	LU-3 LU-4
		Policies	LU-3.1 LU-3.2
23.	Preserves and protects the natural integrity of Riverside's arroyos	Objectives	LU-5
		Policies	LU-5.1 LU-5.2 LU-5.3 LU-5.4 LU-5.5
24.	Preserves and protect existing agricultural lands, particularly within the greenbelt area	Objectives	LU-6
		Policies	LU-6.1 LU-6.2 LU-6.3



Table LU-7  
Consistency<sup>1,2</sup> Criteria

THE PROJECT...		GENERAL PLAN REFERENCES	
			LU-6.4
25.	Preserves and protects native wildlife, plant habitats and endangered species	Objectives	LU-7
		Policies	LU-7.1
			LU-7.2 LU-7.3
26.	Contributes to economic development and sustainability	Objectives	H-2
		Policies	N/A
27.	Increases the City's industrial land base in a logical and physically compatible location	Objectives	LU-24 LU-25
		Policies	LU-24.1
			LU-24.2
			LU-24.3
LU-24.4			
28.	Supports the long term viability of airport facilities by increasing business, retail, and corporate usage.	Objectives	LU-23
		Policies	LU-23.1
29.	Supports and is consistent with the Airport Land Use Compatibility plan for the long term viability of airport facilities	Objectives	LU-22
		Policies	LU-22.3 LU-22.5
<p><sup>1</sup> Airport Land Use Compatibility Plan (ALUCP) – If proposed development is within an ALUCP Compatibility zone, additional analysis is required to determine whether the proposal complies with ALUCP criteria. If the site is within an Airport Influence Area, some of the uses permitted or conditionally permitted in the City Zone(s) listed here may not be permissible or maybe subject to additional restrictions on density or intensity. See Chapter 19.149 of the Riverside Municipal Code and the applicable ALUCP for additional information.</p> <p><sup>2</sup> Industrial uses in a Residential zone are not consistent. Residential uses in the Industrial Zone are not consistent.</p>			

## Chapter 19.146 – NORTHSIDE SPECIFIC PLAN ZONE (NSP)

### 19.146.010 - Purpose.

The Northside Specific Plan Zone is established to create safe, healthy and balanced community celebrating the history and culture of the greater Riverside area. The Northside Specific Plan includes a mix of diverse uses that enhance the existing character of the Northside. The Northside Specific Plan, as adopted by City Council on XXX as may be amended from time to time, sets forth the land use regulations and development standards applicable to all properties within the Northside Specific Plan Zone. Where any conflict exists between the regulations and standards contained in the Northside Specific Plan and provisions of this Zoning Code, the more restrictive regulations or standards shall apply.

- A. As specified in the Northside Specific Plan, the Zone is divided into twelve subdistricts, each with varying uses and development standards. The subdistricts are as follows:
1. Northside Village Center (NVC) - Serves as the key hub for the Northside neighborhood. Uses include a local-serving and community-oriented uses to serve residents.
  2. Trujillo Adobe Heritage Village (TAHV) – Provides opportunities that enhance the development of a cultural resource center celebrating the Trujillo Adobe.
  3. Open Space, Parks, and Trails (OS) – Provides for a system of parks, open space, and trails linking residential neighborhoods with new services and amenities.
  4. Freeway Mixed Use (FMU) – Allows for a mixed-use neighborhood that transitions from highway related uses closest to the freeway to residential neighborhoods on backside of West La Cadena Drive.
  5. Mixed Use Neighborhoods (MU) - Provide for a variety of office, retail and residential uses to promote mixed use developments.
  6. High Density Residential (HDR) – Allows for high density housing such as row houses, condominiums and apartments and includes both single and multi-family housing.
  7. Medium High Density Residential (MHDR) - Medium High Density Residential neighborhoods in the Northside neighborhood will be maintained in the Northside Specific Plan.
  8. Medium Density Residential (MDR) - Existing Medium Density Residential (MDR) areas in the Northside neighborhood will also be protected under the Specific Plan.
  9. Business Office Park (B/OP) – Provides for single or mixed light industrial uses that do not create nuisances due to odor, dust, noise, or heavy truck traffic.
  10. Commercial (C) – Includes existing retail areas in the Northside Specific Plan Zone.
  11. Public Facilities/Institutional (PF) - Provide space for cultural facilities and governmental activities.
  12. Transition Zone Overlay (TZO) - Allows existing land uses to transition from Business/Office Park land uses, which can continue and expand, to multi-family residential uses when the real estate market allows the properties to transition.



#### **9.146.020 - Permitted land uses.**

All permitted and conditionally permitted uses for each sub-district are listed in the adopted Northside Specific Plan. Any use which is prohibited by state and/or federal law is also strictly prohibited.

#### **19.146.025 - Prohibited uses.**

- B. Any use which is listed as prohibited in the adopted Northside Specific Plan or prohibited by state and/or federal law is strictly prohibited.
- C. Commercial marijuana cultivation, manufacturing, distribution, or sale is also strictly prohibited.

#### **19.146.030 - Development standards.**

Site development standards required for each sub-district are set forth in the adopted Northside Specific Plan.

#### **19.146.040 - Interpretations.**

Any standard or regulation not specifically covered by the Northside Specific Plan shall be subject to the provisions of this Zoning Code and the Riverside Municipal Code. Interpretations may be made by the Community & Economic Development Director or her/her designee or referred to the Planning Commission if not specifically covered in the City's existing regulations pursuant to the procedures set forth in Chapter 19.060 (Interpretation of Code).

#### **19.146.050 - Design Review.**

Design guidelines for each sub-district and general design guidelines that apply to all sub-districts are set forth in the adopted Northside Specific Plan. Any new building, structure, sign, or exterior alteration of an existing building, structure, or sign shall require design review approval as required by the adopted Northside Specific Plan.

### **Chapter 19.220 - SPECIFIC PLAN OVERLAY ZONE (SP)**

#### **19.220.010 - Purpose.**

The Specific Plan Overlay Zone (SP) is established to implement Sections 65450 through 65457 of the State Government Code. The Specific Plan Overlay Zone may be applied to all properties within the City lying within the bounds of an adopted specific plan, except those properties within the Downtown Specific Plan or the Northside Specific Plan.

The area within the Downtown Specific Plan boundaries is within the Downtown Specific Plan Zone that establishes the zoning for that area and is not an overlay zone. The area within the Northside Specific Plan boundaries is within the Northside Specific Plan Zone that establishes the zoning for that area and is not an overlay zone.

The Specific Plan Overlay Zone may be applied to any underlying base zone and may be applied in conjunction with other overlay zones.

(Ord. 7331 §23, 2016; Ord. 6966 §1, 2007)

**19.220.020 - Permitted land uses and development standards.**

For those properties where the Specific Plan Overlay Zone is applied, all permitted use restrictions, development standards, and other applicable standards or regulations governing development as contained within the adopted specific plan shall apply. To the extent that the specific plan does not enumerate use restrictions, development standards, or other applicable regulations, the standards associated with the underlying base zone shall apply. In the event that provisions of the adopted specific plan conflict with or do not correspond with the provisions of the underlying base zone, the provisions as contained in the adopted specific plan shall apply and supersede the underlying base zone requirements, with the exception of marijuana-related uses which shall be exclusively regulated by the underlying zone and are specifically prohibited. Specific plans shall be prepared and processed to Chapter 19.820 (Specific Plan/Specific Plan Amendments).

(Ord. 7431 § 4, 2018; Ord. 7331 §23, 2016; Ord. 6966 §1, 2007)

**PAGE BREAK**





# AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

August 20, 2020

Mr. Mina Morgan, Project Planner  
Riverside County Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501

**CHAIR**  
Russell Betts  
Desert Hot Springs

**VICE CHAIR**  
Steven Stewart  
Palm Springs

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR’S DETERMINATION

**COMMISSIONERS**

Arthur Butler  
Riverside

John Lyon  
Riverside

Steve Manos  
Lake Elsinore

Richard Stewart  
Moreno Valley

Gary Youmans  
Temecula

**STAFF**

Director  
Simon A. Housman

Paul Rull  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor  
Riverside, CA 92501  
(951) 955-5132

File No.: ZAP1430MA20  
Related File No.: CZ1900035 (Change of Zone), CUP190032 (Conditional Use Permit)  
APN: 463-117-049  
Airport Zone: Compatibility Zone E

Dear Mr. Morgan:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC Resolution No.15-01 (as adopted on August 13, 2015), staff reviewed County of Riverside Case No. CZ1900035 (Change of Zone), a proposal to change the site’s zoning from Manufacturing Service Commercial to Commercial Scenic Highway on 0.30 acres, located at 28384 Winchester Road.

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. CUP190032 (Conditional Use Permit), a proposal to establish a cannabis retail dispensary within an existing 900 square foot building on a 0.30 acre site located at 28384 Winchester Road.

[www.rcaluc.org](http://www.rcaluc.org)

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port AIA, the actual nearest runway is Runway 5-23 at Hemet-Ryan Airport. The elevation of Runway 5-23 at its existing southwesterly terminus is approximately 1,499 feet above mean sea level (AMSL). At a distance of approximately 18,320 feet from the runway, FAA review would be required for any structures with top of roof exceeding 1,682 feet AMSL. The elevation of the project site is 1,475 feet AMSL, and the existing structure is 18 feet, for a maximum top point elevation of 1,493 feet AMSL. There are no proposed changes to the existing building height. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.



## **AIRPORT LAND USE COMMISSION**

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

### **CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hazards to flight.
4. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building.
5. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

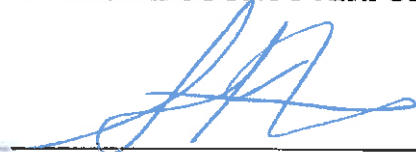
## **AIRPORT LAND USE COMMISSION**

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please contact Paul Rull, ALUC Principal Planner, at (951) 955-6893.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



---

Simon A. Housman, ALUC Director

**Attachments:** Notice of Airport in Vicinity

**cc:** CPR Winchester, LLC (applicant)  
David Nola (representative)  
Eel Holdings, LLC (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Doug Waters, Deputy Base Civil Engineer, March Air Reserve Base  
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1430MA20\ZAP1430MA20.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# NOTICE

**THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS**

**PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES**

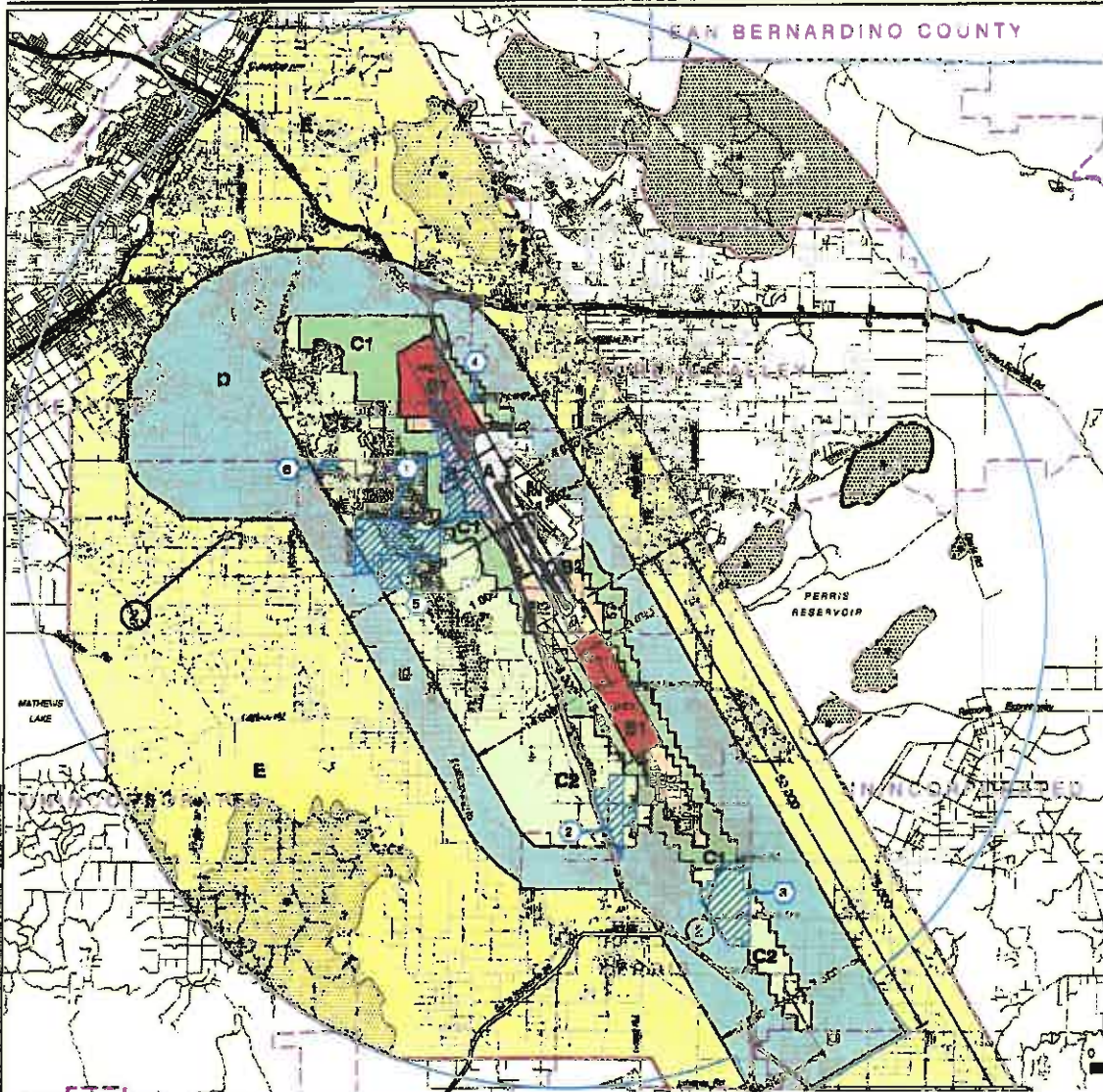


IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: \_\_\_\_\_

Phone: \_\_\_\_\_





Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

**LEGEND**

**Compatibility Zones**

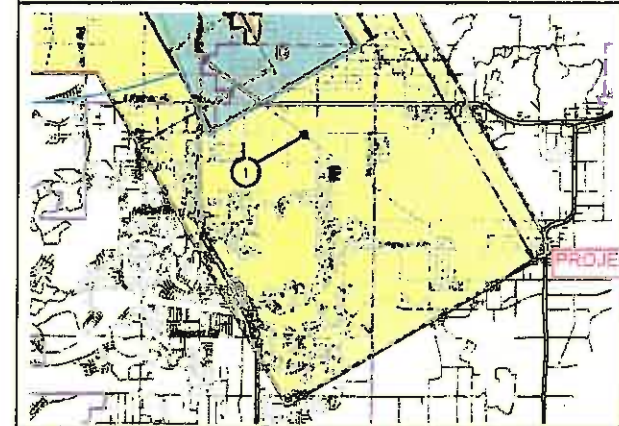
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site Specific Exceptions (existing local agency commitments to development projects)
  - 1 March JPA, March Business Center-Meridian
  - 2 Perris - Inland Landing
  - 3 Perris - Park West
  - 4 Moreno Valley - Affordable Housing
  - 5 March JPA - Ben Clark Training Center
  - 6 Riverside - Ridge Crest Subdivision

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end Airport Elevation is 1,585 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.

**INSET**



Riverside County  
 Airport Land Use Commission  
**March Air Reserve Base / Inland Port Airport  
 Land Use Compatibility Plan**  
 (Adopted November 13, 2014)

Note:  
 All dimensions are measured from  
 runway ends and centerlines.



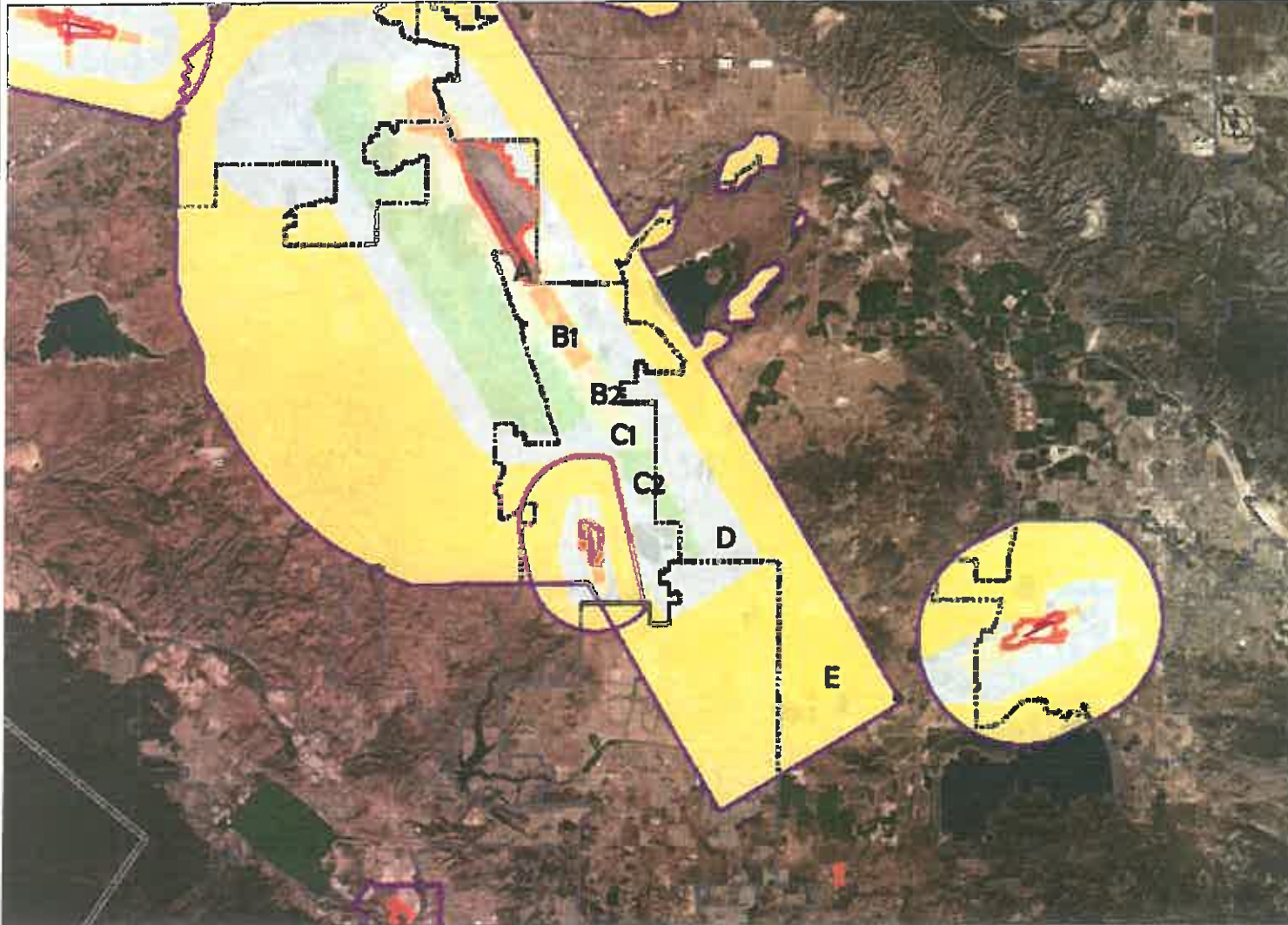
Base map source: County of Riverside 2013

Map MA-1

**Compatibility Map**  
 March Air Reserve Base / Inland Port Airport



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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## Notes

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629

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© Riverside County GIS

# Map My County Map



### Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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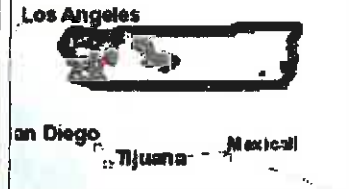
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**Notes**



# Map My County Map



- Legend**
- Parcels
  - Blue Line Streams
  - City Areas
  - World Street Map



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**Notes**



# Map My County Map



### Legend

- BlueLine Streams
- City Areas
- World Street Map



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539

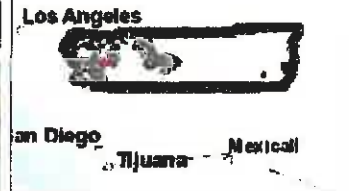
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### Notes



# Map My County Map



## Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map



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## Notes

0 385 770 Feet

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# Map My County Map



Los Angeles



San Diego

Tijuana

Mexico

## Legend

-  Parcels
-  Blueline Streams
-  City Areas
-  World Street Map



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## Notes

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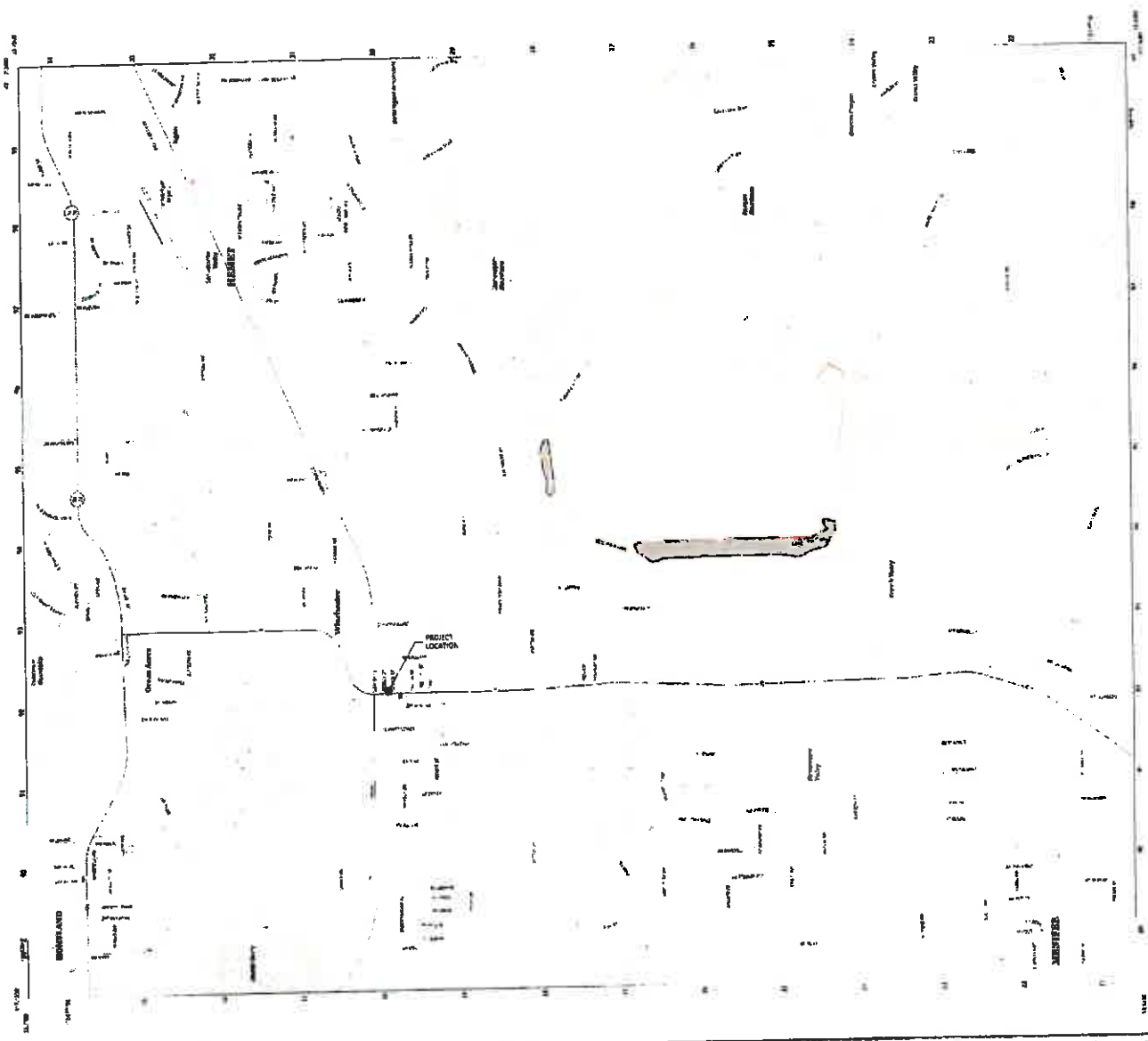




**USGS**  
U.S. DEPARTMENT OF THE INTERIOR  
U.S. GEOLOGICAL SURVEY

US Topo

WINCHESTER QUADRANGLE  
CALIFORNIA, WINCHESTER COUNTY  
7.5-MINUTE SERIES



SECTION 28384, 28385, 28386, 28387, 28388, 28389, 28390, 28391, 28392, 28393, 28394, 28395, 28396, 28397, 28398, 28399, 28400

WINCHESTER, CA  
2011

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

SCALE 1"=400'

GRAPHIA ARCHITECTURE & ENGINEERING

PROJECT: 20180806.1

CLIENT: MASONRY LITHAN, 14000 W. WINCHESTER, 28384 WINCHESTER, CA 92596

ARCHITECT'S APPROVAL:

TITLES: U.S. GEOLOGICAL SURVEY QUADRANGLE MAP

U.S. GEOLOGICAL SURVEY

SHEET: A1.01

U.S. GEOLOGICAL SURVEY QUADRANGLE MAP

**GRAPHIA**  
ARCHITECTURE  
& ENGINEERING

100 KATHWAY DRIVE, SUITE 100  
JACKSON, CA 95666  
916.220.8888  
info@graphia.com  
GRAPHIA.COM

These drawings are instruments of service and are the property of Graphia Architecture & Engineering. All design information contained in these drawings are for use only on the project and shall not be used elsewhere without the expressed written permission by Graphia Architecture & Engineering.

PROJECT: 20180806.1

CLIENT: MASONRY LITHAN, 14000 W. WINCHESTER, 28384 WINCHESTER, CA 92596

ARCHITECT: GRAPHIA ARCHITECTURE & ENGINEERING, 100 KATHWAY DRIVE, JACKSON, CA 95666

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)  
28384 WINCHESTER ROAD  
WINCHESTER, CA 92596

TITLES:  
U.S. GEOLOGICAL SURVEY  
QUADRANGLE MAP

ARCHITECT'S APPROVAL:

SHEET:  
**A1.01**

U.S. GEOLOGICAL SURVEY QUADRANGLE MAP

1



VIEW-P1



VIEW-A



VIEW-B



VIEW-C



VIEW-P2



VIEW-D



VIEW-E



VIEW-F



VIEW-P3



PROPERTY PHOTO MAP INDEX

ⓧ - CAMERA PLACEMENT AND PHOTO REFERENCE

**GRAPHIA**  
ARCHITECTURE  
& ENGINEERING

180 GATEWAY DRIVL, SUITE 220  
WINCHESTER, CA 92596  
PHONE 951-959-9999  
WWW.GRAPHIAARCH.COM  
GRAPHIA.AE.COM

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PROJECT: 20250808-1

COUNTY: **WINCHESTER, CALIFORNIA**  
28384 WINCHESTER ROAD  
WINCHESTER, CA 92596

CLIENT: **CPR - WINCHESTER, LLC**  
28384 WINCHESTER ROAD  
WINCHESTER, CA 92596

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)

28384 WINCHESTER ROAD  
WINCHESTER, CA 92596

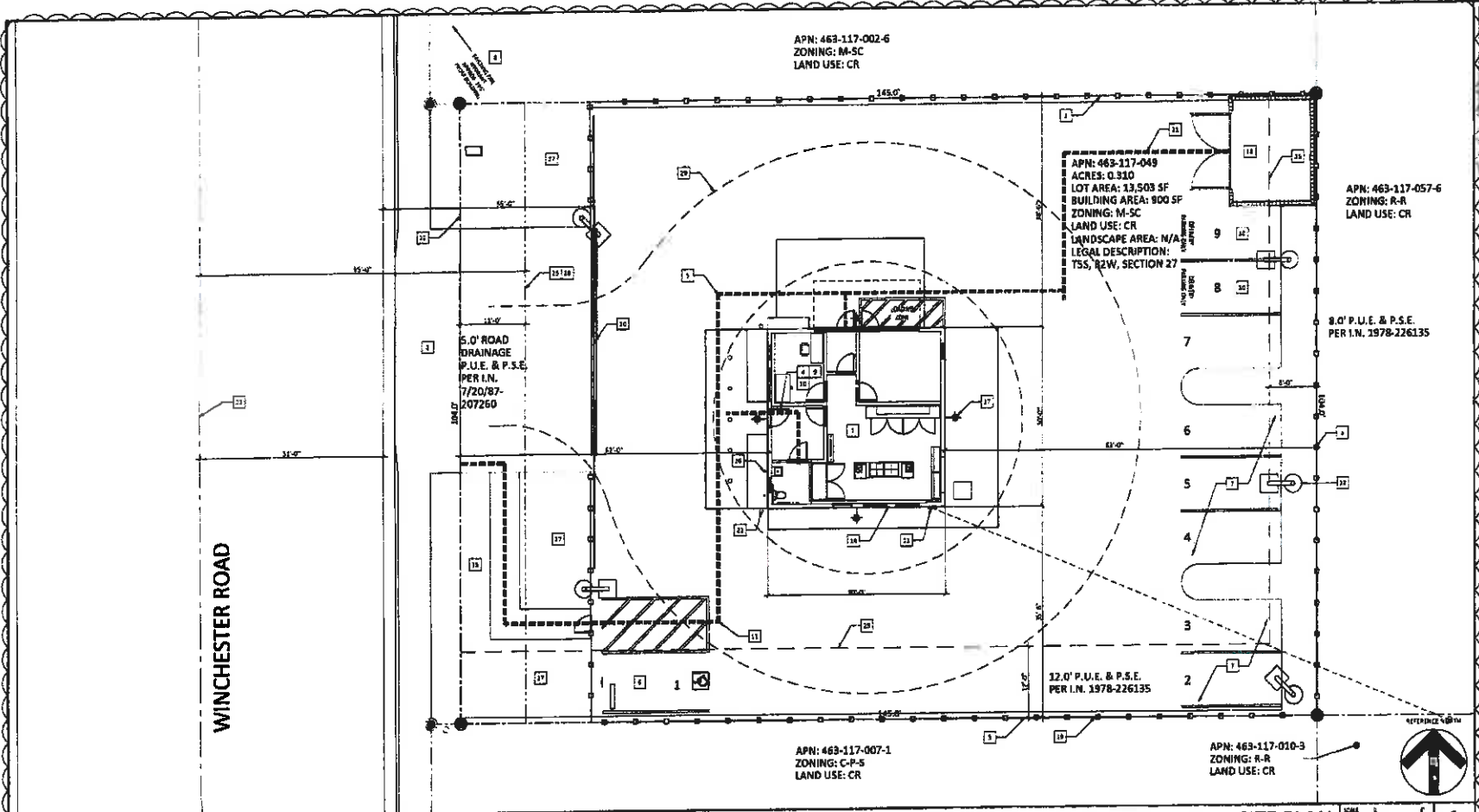
TITLE: PHOTO SHEET

DATE: 08/27/25

SCALE: AS SHOWN

ARCHITECT'S APPROVAL:

SHEET:  
**A1.31**



**GRAPHIA**  
ARCHITECTURE  
& ENGINEERING

100 GATEWAY DRIVE, SUITE 100  
LINCOLN, CALIFORNIA  
91618-1800  
909-661-0400  
GRAPHIA.COM

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PROJECT: 20190806.1

CLIENT:  
WINCHESTER STOREFRONT RETAILER  
2401 W. WINCHESTER ROAD  
WINCHESTER, CALIFORNIA

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)

28394 WINCHESTER ROAD  
WINCHESTER, CA 91296

SITE PLAN 1

SECURITY NOTES CONTINUED	SECURITY NOTES
NO PUBLIC PAY PHONES/TELEPHONES SHALL BE ALLOWED ON THE PREMISES.	IN THE EVENT THAT ANY PORTION OF THE ALARM SYSTEM IS INOPERABLE, THE FACILITY SHALL BE STRIPPED AT ALL TIMES UNTIL THE ALARM SYSTEM IS FULLY FUNCTIONAL.
NO COMM OPERATED BARRIERS OR VEHICLES OPERATED SHALL BE ALLOWED ON THE PREMISES.	RECORDED VIDEO SURVEILLANCE AND SURVEILLANCE SYSTEM SHALL BE INSTALLED AND OPERATED AS DESCRIBED IN THE SECURITY NOTES.
THE APPLICANT IS RESPONSIBLE FOR MAINTAINING CONTROLLING THE COMPLEX OF WEIGHING ON THE SITE AND SHALL MAINTAIN APPROPRIATE LOGS/RECORDS.	WEIGHING AND VESSEL STORAGE SHALL BE INSTALLED WITHIN DESIGNATED "HOT" TO HIGH SECURITY ZONE.
ALL CHANGEOVERS SHALL BE NOTIFIED.	WEIGHING SHALL BE EQUIPPED WITH A CATERED BACK-UP WITH AT LEAST 24 HOURS OF STAND-BY TIME IN CASE OF POWER FAILURE.
<b>EASEMENTS ABBREVIATIONS</b>	WEIGHING SHALL SUPPORT STANDARD WEIGH FORMATS.
P.U.E. - PUBLIC UTILITY EASEMENT	WEIGH SHALL BE CAPABLE OF STORING NO MORE THAN 30 DAYS BURNING OF ACTIVITY AT HIGH-QUALITY DEFENSE.
P.S.E. - PUBLIC SERVICE EASEMENT	APPLICANT WITH ACCESS TO VESSEL STORAGE SHALL BE ABLE TO RESPOND WITHIN ONE HOUR.
10 - OVERLAPMENT NUMBER	APPLICANT SHALL HAVE THE ABILITY TO TRANSMIT RECORDING DATA TO REMOTE LOCATIONS (E.G. THUNDER BOLT, ETC.) CAPABLE SHALL BE EQUIPPED WITH LOW-LIGHT CAPABILITY, VIDEO AND AUDIO RECORDING, REMOTE CONTROL, REMOTE MONITORING AND PROPERLY PERMITTED.

SECURITY NOTES	SITE NOTES
WEIGHING SHALL BE EQUIPPED WITH A CATERED BACK-UP WITH AT LEAST 24 HOURS OF STAND-BY TIME IN CASE OF POWER FAILURE.	PERFORM WATER AT RISK CONSTRUCTION PROJECT WHICH OBTAINS 80% OF THE ACRES OF LAND SHALL PREVENT THE PROVISION OF STORM WATER RUNOFF FROM THE CONSTRUCTION ACTIVITY THROUGH LOCAL DRAINAGE PER CODE 102.2.1.
WEIGH SHALL SUPPORT STANDARD WEIGH FORMATS.	DEGRADED PAVING, PROHIBIT DEGRADED PAVING FOR ANY COMBINATION OF LOW-QUALITY AND HIGH-QUALITY PAVING. PROHIBIT DEGRADED PAVING FOR ANY COMBINATION OF LOW-QUALITY AND HIGH-QUALITY PAVING. PROHIBIT DEGRADED PAVING FOR ANY COMBINATION OF LOW-QUALITY AND HIGH-QUALITY PAVING.
WEIGH SHALL BE CAPABLE OF STORING NO MORE THAN 30 DAYS BURNING OF ACTIVITY AT HIGH-QUALITY DEFENSE.	INSTALL PAVING SHALL COMPLY WITH CODE 102.2.3.1.
APPLICANT WITH ACCESS TO VESSEL STORAGE SHALL BE ABLE TO RESPOND WITHIN ONE HOUR.	CONSTRUCTION SHALL BE CONSIDERED AS A TYPE OF USE OF THE NON-HAZARDOUS CONSTRUCTION AND REMEDIATION WASTES CONSIDERED AT THE SITE WILL BE REFERRED TO AN OFFICIAL LOCAL, REGIONAL, OR NATIONAL FACILITY.
APPLICANT SHALL HAVE THE ABILITY TO TRANSMIT RECORDING DATA TO REMOTE LOCATIONS (E.G. THUNDER BOLT, ETC.) CAPABLE SHALL BE EQUIPPED WITH LOW-LIGHT CAPABILITY, VIDEO AND AUDIO RECORDING, REMOTE CONTROL, REMOTE MONITORING AND PROPERLY PERMITTED.	MAIN ENTRANCE AND LOBBY: THE DESIGNATED SITE SHALL HAVE A MAIN ENTRANCE WITH A MAIN ENTRANCE THAT IS CLEARLY MARKED FROM THE MAIN STREET OR DRIVEWAY. THE MAIN ENTRANCE SHALL BE MARKED WITH CLEAR OF BARRIERS, LANDSCAPING, AND OTHER OBSTRUCTIVE OBSTACLE OF THE MAIN ENTRANCE. THERE SHALL BE A LEGIBLY TO RECEIVE PERSONS INTO THE SITE AND TO VERIFY WHETHER THEY ARE ALLOWED IN THE DESIGNATED AREA.

SITE PARKING COUNT		
CUPS/ROSES	PARKING REQUIRED	PARKING PROVIDED
TOTAL PARKING 10-11 PER 100 SF	6 SPACES	7 SPACES
DELIVERY PARKING	0 SPACES	3 SPACES

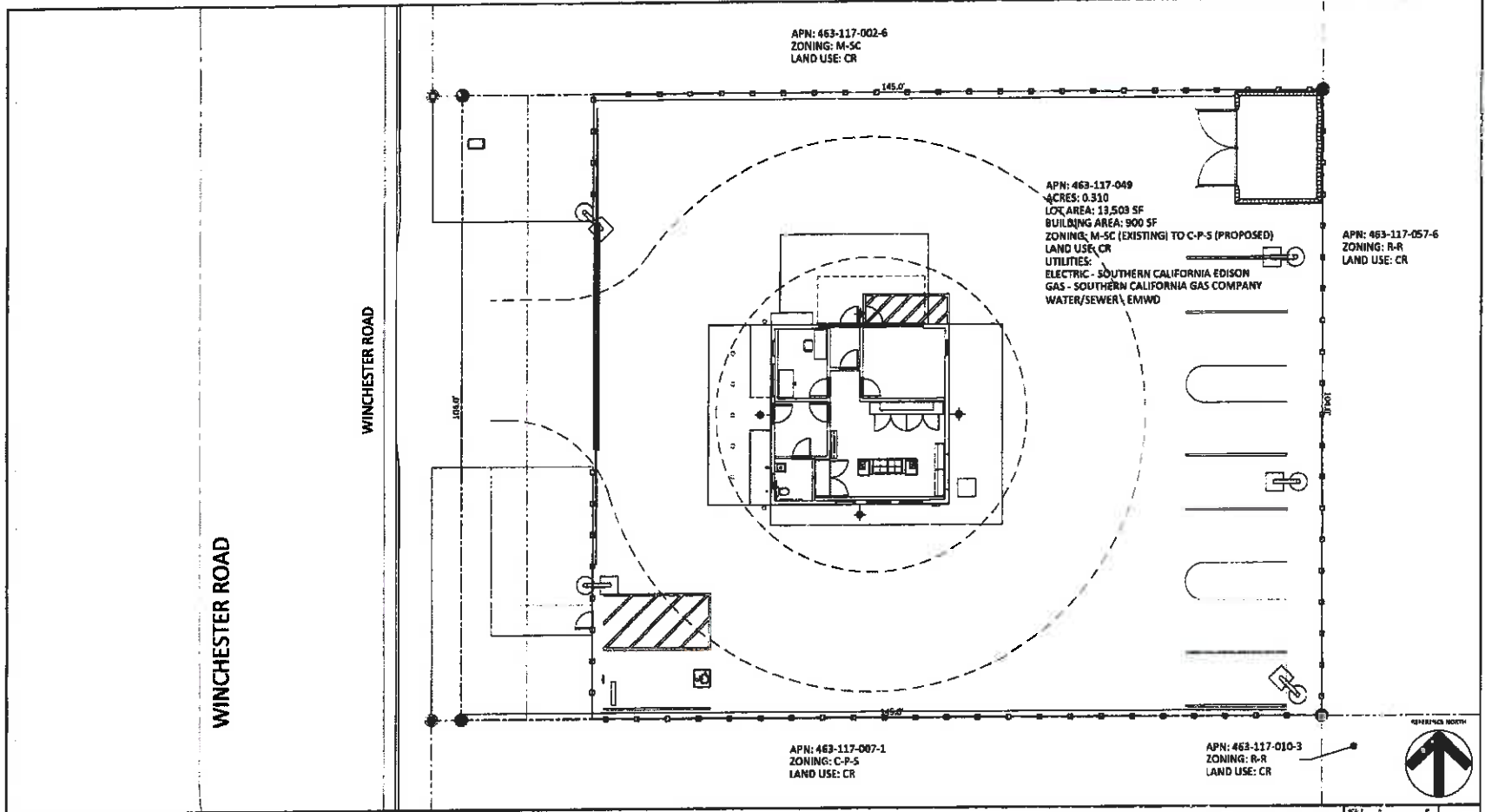
KEYNOTES CONTINUED	
17	EXISTING SITE OF OR BEST AVAILABLE COPY FROM OWNER SHALL BE WHITE LIGHT USING YELLOW/WHITE FULL CUTOFF FEATURES TO LAND SLANE AND LIGHT TRIP/PAZE COLOR TO IDENTIFY THE SITE. THE SITE SHALL BE IDENTIFIED WITH A CLEAR IDENTIFYING MARK OF 2" OR GREATER AND A LIGHT COLORED PAVEMENT OR JOB OR BATTERY DRIVE DRIVE, DRIVE ANGLES, PARKING AND BICYCLE PARKING SHALL BE IDENTIFIED TO A BARRIERS OF 10" MINIMUM OF 1" BICYCLE CORNER FOR BICYCLE CORNER OF PARKING AREA AS A BARRIERS TO MINIMUM ROAD. EXISTING TRAILWAYS, ALLOYS AND PAVED AREAS SHALL BE KEPT AS IS AND NOT FOR BARRIERS OR BARRIERS OF 24" TYPICAL CORNER PER SQUARE FOOT OF 24" AREA AREA AT A 6" BARRIERS TO MINIMUM ROAD.
18	PROPOSED TRUMP - REFERENCED SHEET AS 11.
19	PROPOSED FROM MAIN WINDSHIELD FULL FENCE.
20	PROPOSED MAXIMUM 4" HIGH 1/2" HIGH WINDSHIELD FROM SECURITY VEHICLE GATE. THERE SHALL BE NO BARRIERS OR OBSTRUCTIVE WIRE. THE GATE SHALL REMAIN OPEN DURING OFF-HOURS OF BUSINESS.
21	NEW ACCESSIBLE PATH OF TRAVEL TO MAIN ENTRANCE. ALSO MARKED TO MEET SLIP-RESISTANT REQUIREMENTS.
22	PROPOSED STAIR ESCALATOR.
23	EXISTING ELECTRICAL PANEL.
24	EXISTING STAIR ESCALATOR.
25	EXISTING CEMENTS.
26	EXISTING 80% OF WAY WINCHESTER ROAD (AT 30) REFERRED SHEET AS 11.
27	LANDSCAPE AREA.
28	EXISTING PARKING LOT LIGHTING.
29	VEHICLE TURNING LANE.
30	DELIVERY PARKING SPACE.

KEYNOTES	
1	NEW CANNABIS STOREFRONT RETAILER FACILITY.
2	EXISTING DRIVEWAY.
3	EXISTING PROPERTY LINE.
4	EXISTING MAIN BUILDING ENTRANCE & EMPLOYEE ACCESS POINT.
5	EXISTING ACCESSIBLE PATH OF TRAVEL TO MAIN ENTRANCE. ALSO MARKED TO MEET SLIP-RESISTANT REQUIREMENTS.
6	NEW ACCESSIBLE PARKING SPACE.
7	NEW PARKING AREA.
8	EXISTING FIRE ALARM/STAIR APPROXIMATE LOCATION.
9	ALONG THE 1/2" HIGH WINDSHIELD FROM SECURITY VEHICLE GATE. THERE SHALL BE NO BARRIERS OR OBSTRUCTIVE WIRE. THE GATE SHALL REMAIN OPEN DURING OFF-HOURS OF BUSINESS.
10	EXISTING DRIVEWAY SHALL BE 24" CORNER AND SHALL BE IDENTIFIED WITH A 10" BARRIERS TO MINIMUM ROAD.
11	EXISTING ELECTRICAL PANEL.
12	EXISTING STAIR ESCALATOR.
13	EXISTING DRIVEWAY SHALL BE 24" CORNER AND SHALL BE IDENTIFIED WITH A 10" BARRIERS TO MINIMUM ROAD.
14	EXISTING DRIVEWAY SHALL BE 24" CORNER AND SHALL BE IDENTIFIED WITH A 10" BARRIERS TO MINIMUM ROAD.
15	EXISTING DRIVEWAY SHALL BE 24" CORNER AND SHALL BE IDENTIFIED WITH A 10" BARRIERS TO MINIMUM ROAD.
16	EXISTING DRIVEWAY SHALL BE 24" CORNER AND SHALL BE IDENTIFIED WITH A 10" BARRIERS TO MINIMUM ROAD.

TITLES:  
SITE PLAN

ARCHITECT'S APPROVAL:

**A2.11**



**GRAPHIA**  
ARCHITECTURAL & ENGINEERING

130 GAYLARD DRIVE, SUITE 120  
LIVERMORE, CA 94548  
925.451.6980  
Design@GRAPHIA.com  
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PROJECT: 20190806.1

CLIENT: SUBORDINATE PLAN FOR APN 463-117-057-6 (CANNABIS STOREFRONT RETAILER)  
DATE: 08/14/2019  
SCALE: AS SHOWN

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)  
2838A WINCHESTER ROAD  
WINCHESTER, CA 92596

**CHANGE OF ZONE - SITE PLAN** 1

**OWNER AND DESCRIPTION**

Owner: Winchster, LLC  
Address: 2838A Winchester Road, Winchester, CA 92596  
Planning No.: 20190806.1  
Project Name: Cannabis Storefront Retailer

**LEGAL DESCRIPTION**

THE LAND HEREIN TO BE SHOWN IS PART OF THE COUNTY OF CALIFORNIA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

Parcel A: 463-117-002-6 (APNs 463-117-002-6, 463-117-002-7, 463-117-002-8, 463-117-002-9, 463-117-002-10, 463-117-002-11, 463-117-002-12, 463-117-002-13, 463-117-002-14, 463-117-002-15, 463-117-002-16, 463-117-002-17, 463-117-002-18, 463-117-002-19, 463-117-002-20, 463-117-002-21, 463-117-002-22, 463-117-002-23, 463-117-002-24, 463-117-002-25, 463-117-002-26, 463-117-002-27, 463-117-002-28, 463-117-002-29, 463-117-002-30, 463-117-002-31, 463-117-002-32, 463-117-002-33, 463-117-002-34, 463-117-002-35, 463-117-002-36, 463-117-002-37, 463-117-002-38, 463-117-002-39, 463-117-002-40, 463-117-002-41, 463-117-002-42, 463-117-002-43, 463-117-002-44, 463-117-002-45, 463-117-002-46, 463-117-002-47, 463-117-002-48, 463-117-002-49, 463-117-002-50, 463-117-002-51, 463-117-002-52, 463-117-002-53, 463-117-002-54, 463-117-002-55, 463-117-002-56, 463-117-002-57, 463-117-002-58, 463-117-002-59, 463-117-002-60, 463-117-002-61, 463-117-002-62, 463-117-002-63, 463-117-002-64, 463-117-002-65, 463-117-002-66, 463-117-002-67, 463-117-002-68, 463-117-002-69, 463-117-002-70, 463-117-002-71, 463-117-002-72, 463-117-002-73, 463-117-002-74, 463-117-002-75, 463-117-002-76, 463-117-002-77, 463-117-002-78, 463-117-002-79, 463-117-002-80, 463-117-002-81, 463-117-002-82, 463-117-002-83, 463-117-002-84, 463-117-002-85, 463-117-002-86, 463-117-002-87, 463-117-002-88, 463-117-002-89, 463-117-002-90, 463-117-002-91, 463-117-002-92, 463-117-002-93, 463-117-002-94, 463-117-002-95, 463-117-002-96, 463-117-002-97, 463-117-002-98, 463-117-002-99, 463-117-003-00)



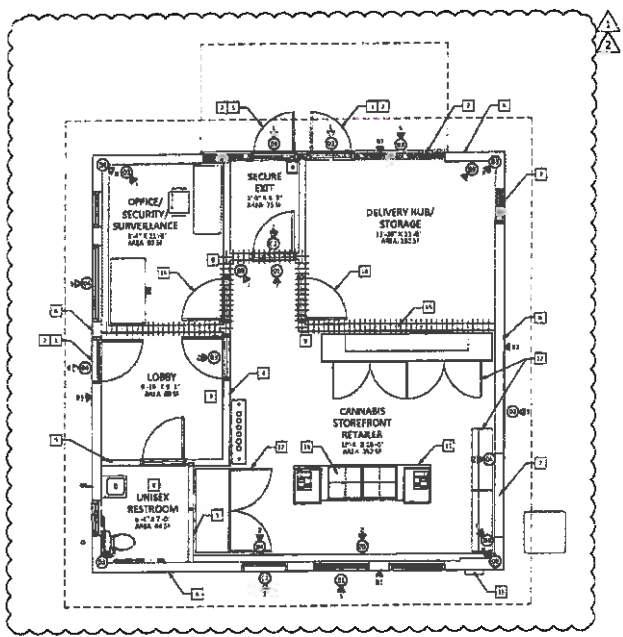
TITLES:  
CHANGE OF ZONE - SITE PLAN

ARCHITECT'S APPROVAL:

SEAN FRANCIS, ARCHITECT  
130 GAYLARD DRIVE, SUITE 120  
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SHEET:  
**A2.12**





**KEYNOTE LEGEND**

1	EXISTING MAIN BUILDING ENTRANCE & EMPLOYEE ACCESS POINT. EXISTING MAIN BUILDING ENTRANCE & EMPLOYEE ACCESS POINT. ALL DOORS CORSE EXTERIOR DOORS SHALL BE EQUIPPED WITH 2ND DEGREE WEATHER DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY. SUBSEQUENT DOOR SCHEDULE.
2	EXISTING LEVEL LANDING
3	EXISTING DOOR ALL SOLID CORE EXTERIOR DOORS SHALL BE EQUIPPED WITH 2ND DEGREE WEATHER DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY. SUBSEQUENT DOOR SCHEDULE.
4	INTERIOR PARTITION WALL
5	EXISTING EXTERIOR PARTITION WALL
6	EXISTING EXTERIOR WALL
7	EXTERIOR WALL METL
8	EXISTING ACCESSIBLE REEF TROOP
9	2ND UP ALARM SYSTEM SHALL BE SUPPORTED ALONG THE LOBBY. 10 MINUTE RESPONSE AND LATEST WEATHER PLANS SHALL CAUSE THE NOTIFICATION OF THE COUNTY POLICE DEPARTMENT.
10	INTERIOR DOOR
11	POINT OF SALE
12	SECURE PRODUCT DISPLAY
13	EXISTING ELECTRICAL PANEL
14	LIMITED ACCESS AREA AND DOOR CONSISTING OF BUILDING, ROOM, OR OTHER CONTIGUOUS AREA UPON THE LATTERS PREMISES WHERE MEDICAL MARIJUANA IS SHOWN, CULTIVATED, STORED, WEIGHED, PACKAGED, SOLD, OR PREPARED FOR SALE, UNDER CONTROL, OF THE EXERCISE AUTHORITY ACCESSIBLE BY NON-STAFF OF THE PUBLIC.
15	LIMITED ACCESS ROOM RE-MERCHANDISE
16	6 SQUARE FOOT DESIGNATED AREA FOR RETAIL SALES OF OCCIDENTAL GOODS. TO BE LEFT CLEAR FOR THE CANNABIS RETAILER.

**KEYNOTES - SECURITY**

COVERED SHALL BE DESIGNATED AREA FOR RETAIL SALES OF OCCIDENTAL GOODS. TO BE LEFT CLEAR FOR THE CANNABIS RETAILER.

1	CAMERA - LOBBY
2	NOBY LAMP BEAM
3	CAMERA - SUBROUNDER
4	CAMERA - EXTERIOR ENTRANCE (LOBBY PAN-TILT-ZOOM)
5	CAMERA - INTERIOR ENTRANCE (LOBBY PAN-TILT-ZOOM)
6	CAMERA - INTERIOR MAIN FLY ROOM

**WINDOW SECURITY NOTES**

ALL EXTERIOR BARS TO BE REMOVED FROM IN ROOMS  
THERE SHALL BE NO INTERIOR SECURITY BARS AT WINDOWS

**GRAPHIA**  
ARCHITECTURE  
ENGINEERING

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www.graphia.com

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PROJECT: 20200006.1

EVENT  
DESIGNED BY  
SEAN FRAME ARCHITECT  
11842 12TH STREET, SUITE 100  
SAN FRANCISCO, CA 94103  
PHONE: 415.774.1111  
EMAIL: info@seanframe.com  
WWW: SEANFRAME.COM

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)  
28584 WINCHESTER ROAD  
WINCHESTER, CA 92596

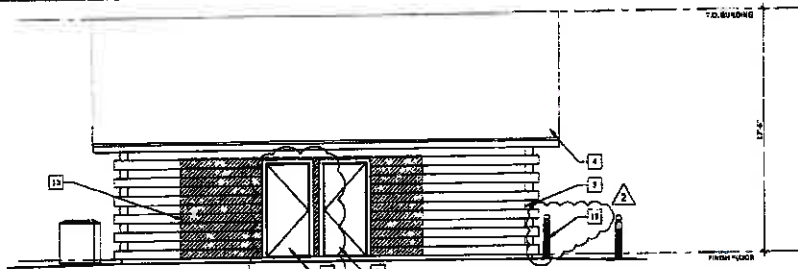
PROJECT - FLOOR PLAN

1

TITLE: FLOOR PLAN

ARCHITECT'S APPROVAL

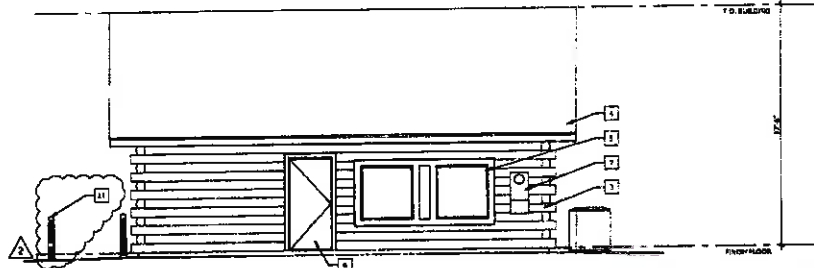
SHEET  
**A3.11**



ELEVATION: NORTH

SCALE 1/8" = 1'-0"

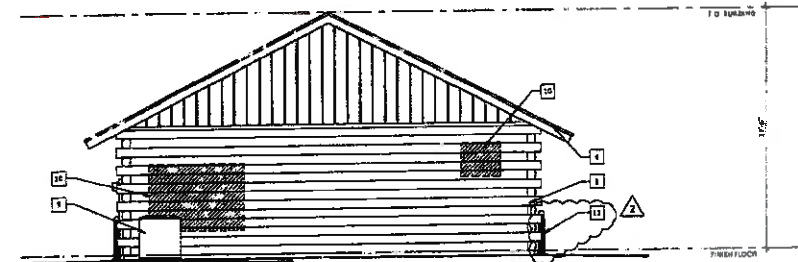
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ELEVATION: SOUTH

SCALE 1/8" = 1'-0"

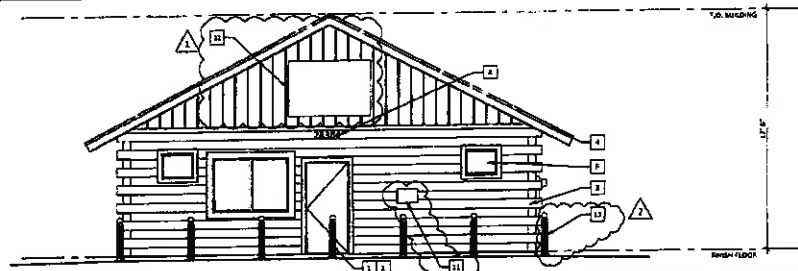
3



ELEVATION: EAST

SCALE 1/8" = 1'-0"

2



ELEVATION: WEST

SCALE 1/8" = 1'-0"

1

KEYNOTES

- 1 EXISTING MAIN BUILDING ENTRANCE SHALL BE EQUIPPED WITH A 3200 SERIES GLASS DOOR
- 2 EXISTING EMPLOYEE ACCESS POINT
- 3 EXISTING LOW EMBLEM STYLE EXTERIOR
- 4 EXISTING COMPOSITION ROOFING SYSTEM
- 5 EXISTING WINDOWS
- 6 EXISTING EXTERIOR DOOR ABANDON IN PLACE
- 7 EXISTING SERVICE PANEL
- 8 EXISTING SERVICE ACCESS SIGNAL BELL/FLY BUSINESS IS REQUIRED ON THE BUILDING THAT COMPLIES WITH CPC 308
- 9 FINISH OF METALLIC LINT
- 10 EXISTING SERVICE SIGNAL TO MULTIFUNCTIONAL UNIT
- 11 THE LIGHTING SIGN TO BE ACQUIRED FROM THE OWNER'S DEPARTMENT
- 12 FINISH OF PROJECT BUSINESS SIGNIFY APPLIED TO BUILDING
- 13 EXTERIOR ALUMINUM ROLLERS
- 14 EXTERIOR DOOR

ORDINANCE NO. 348

- SECTION 19.4
1. NO ON-SITE ADVERTISING SIGN SHALL BE AFFIXED ON, ABOVE OR OVER THE ROOF OF ANY BUILDING, AND NO OFF-SITE ADVERTISING SHALL BE AFFIXED TO THE WALL OF A BUILDING SO THAT IT PROJECTS ABOVE THE PARAPET OF THE BUILDING FOR THE PURPOSES OF THIS SECTION. A PARAPET STYLE SIGN SHALL BE CONSIDERED AN ADVERTISEMENT.
  2. THE SIGNING SURFACE AREA OF SIGNS AFFIXED TO A BUILDING SHALL BE AS FOLLOWS:
    - a. FRONT WALL OF BUILDING - THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED TEN PERCENT OF THE SURFACE AREA OF THE FRONT FACE OF THE BUILDING.
    - b. SIDE WALLS OF A BUILDING - THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED TEN PERCENT OF THE SURFACE AREA OF THE SIDE FACE OF THE BUILDING.
    - c. REAR WALL OF A BUILDING - THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED THE FLOOR AREA OF THE REAR WALL OF THE BUILDING.

8 SIGNS AFFIXED TO WALLS - ALL AREAS

1. NO ON-SITE ADVERTISING SIGN SHALL BE AFFIXED ON, ABOVE OR OVER THE ROOF OF ANY BUILDING, AND NO OFF-SITE ADVERTISING SHALL BE AFFIXED TO THE WALL OF A BUILDING SO THAT IT PROJECTS ABOVE THE PARAPET OF THE BUILDING FOR THE PURPOSES OF THIS SECTION. A PARAPET STYLE SIGN SHALL BE CONSIDERED AN ADVERTISEMENT.
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  - b. SIDE WALLS OF A BUILDING - THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED TEN PERCENT OF THE SURFACE AREA OF THE SIDE FACE OF THE BUILDING.
  - c. REAR WALL OF A BUILDING - THE SURFACE AREA OF THE SIGN SHALL NOT EXCEED THE FLOOR AREA OF THE REAR WALL OF THE BUILDING.

**GRAPHIA**  
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Sean Francis, Architect.

PROJECT: 20190806.1

CLIENT:  
GREGORY USMAN  
28384 WINCHESTER ROAD  
WINCHESTER, CA 95996

ARCHITECT:  
SEAN FRANCIS  
2019 0806.1

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)  
28384 WINCHESTER ROAD  
WINCHESTER, CA 95996

TITLE:  
CUSTOMER SIGNAGE

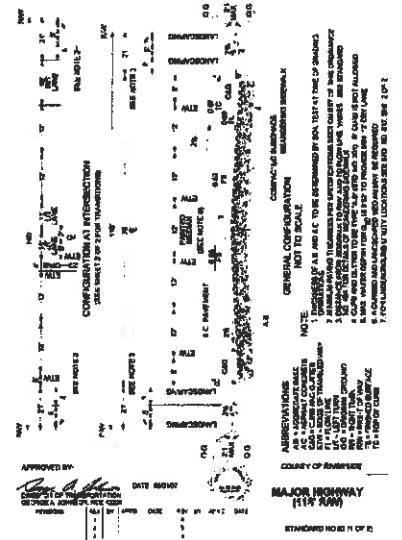
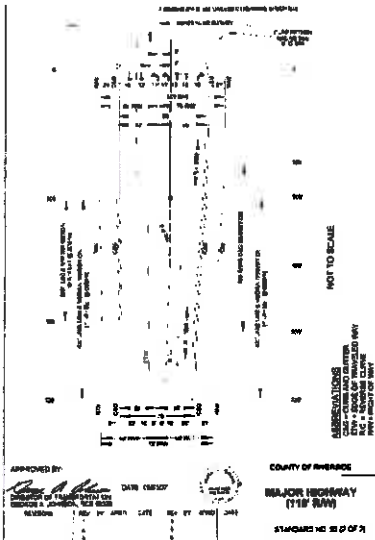
ARCHITECT'S APPROVAL:

SHEET  
**A7.11**

EXTERIOR COLORS

ROOFING	NO CHANGE
GUTTER	NO CHANGE
DOOR	NO CHANGE
WINDOW	NO CHANGE
WALL BODY	NO CHANGE
WALL BODY TRIM	NO CHANGE





**GRAPHIA**  
 ARCHITECTURE  
 & ENGINEERING

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 MODELA, CA 92464  
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 G&E.com

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 used otherwise without the  
 expressed written permission by  
 Sean Frates, Architect

PROJECT: 20150806.1

CLIENT:  
 BRUNO'S LEGAL  
 28384 WINCHESTER ROAD  
 WINCHESTER, CA 92596  
 PHONE: (951) 308-1800

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
**(CANNABIS STORE, RETAILER)**  
 28384 WINCHESTER ROAD  
 WINCHESTER, CA 92596

TITLES:  
 SITE PLAN - 10/1/15



SHEET  
**A9.22**



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PROJECT: 20190806.1

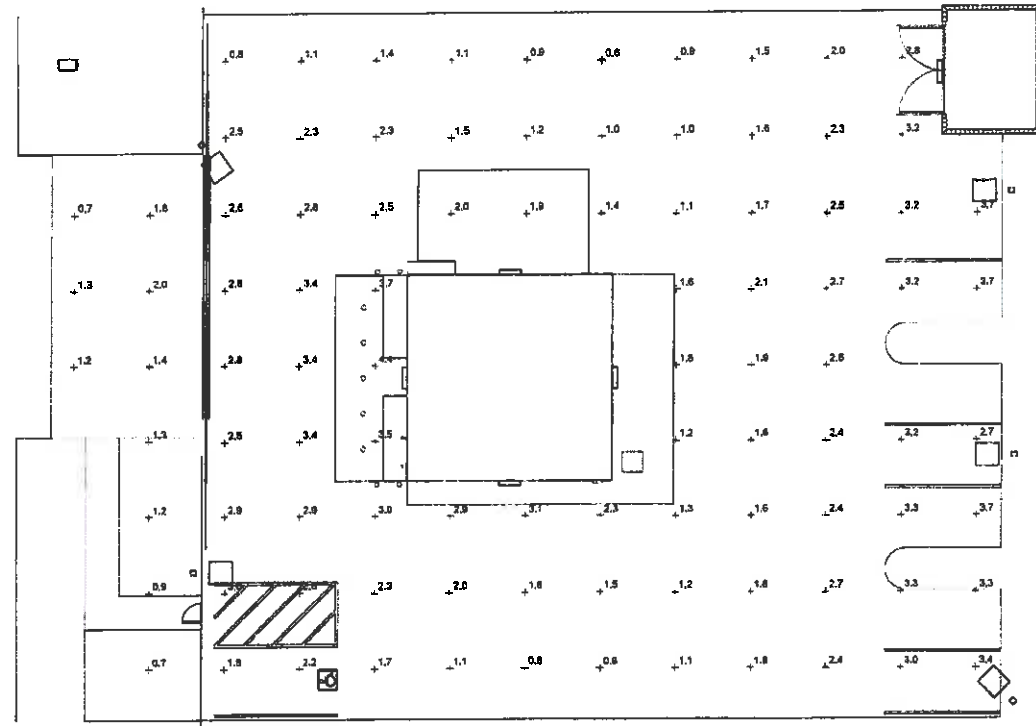
CITY OF  
SAN FRANCISCO  
MANAGEMENT ENGINEER  
100 MARKET STREET, SUITE 1000  
SAN FRANCISCO, CA 94102  
PHONE: 415.255.2525  
EMAIL: info@sfpe.com

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
**(CANNABIS STORE, RETAILER)**  
2838A WINCHESTER ROAD  
WINCHESTER, CA 92596

TITLES:  
ELECTRICAL - PHOTOMETRIC SITE PLAN

ARCHITECT'S APPROVAL:  
  
I, the undersigned, a duly licensed and qualified professional engineer, hereby certify that I am a duly licensed and qualified professional engineer in the State of California and that I am the author of the design and construction of the project shown on these drawings.

SHEET  
**E2.11**



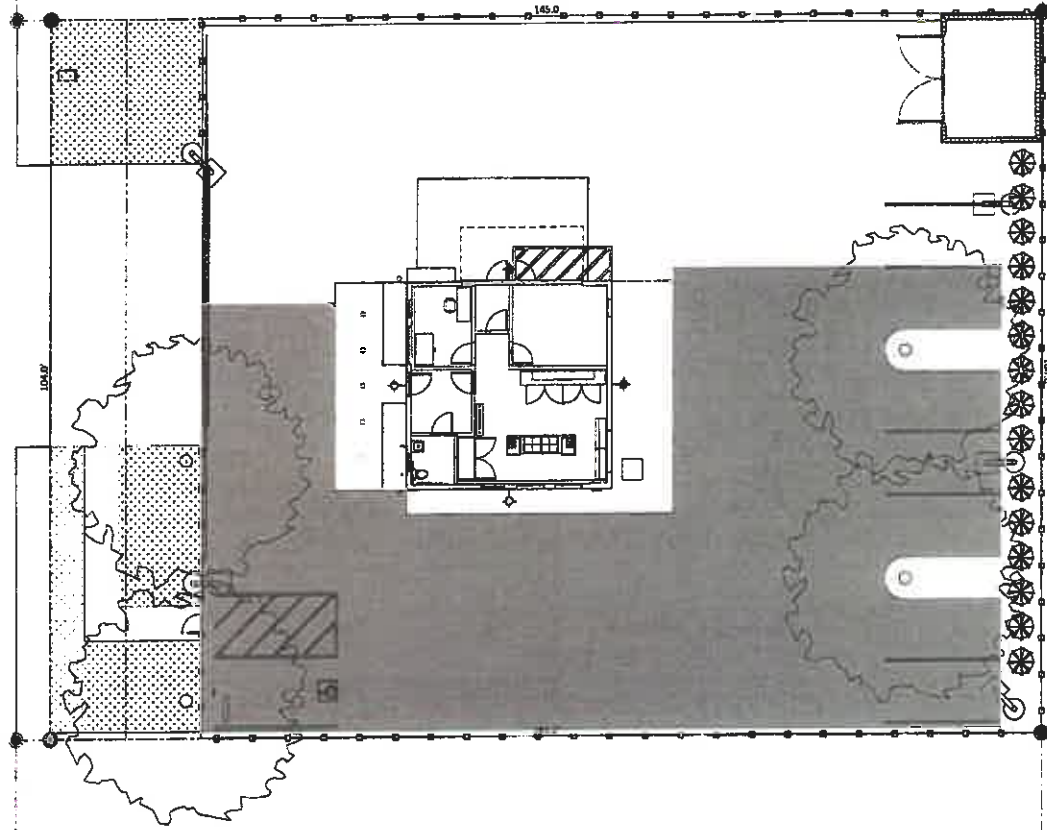
**ELECTRICAL - PHOTOMETRIC SITE PLAN** SCALE: 1/8" = 1'-0" **1**

**LIGHT LEVEL STATISTICS**

ZONE	SYMBOL	AVG. FC	MIN. FC	MAX. FC	NUM. DATA	AVG. IN. IN.
PARKING LOT	-	2.2	0.6	0.6	731	3.73

ARCHITECT'S APPROVAL:

WINCHESTER ROAD



PROPOSED LANDSCAPE PLAN SCALE 1"=10'-0" 1

LANDSCAPE NOTES

PROVIDE 3" LAYER OF 3/4" DIA. (MIX.) IN SHELL BEDS AND UNPLANTED AREAS; 2" LAYER OF 1/2" DIA. SAND OVER A BASE 2" LAYER OF SHADERS. STABILIZE EROSION FOR SEEDS.  
 TREES SHALL BE STAKED WITH 2" X 4" STAKES AND 6" TREE PIES PER COUNTY STANDARD DETAILS USE TRIPLE STAKING WITH 2" DIAMETER STAKES IN WINDY WINDROCK AREAS.  
 ROOT BARRIERS SHALL BE INSTALLED FROM TREES WITHIN 10' ZONES OF PARADES PER COUNTY STANDARD DETAILS. ROOT BARRIERS SHALL NOT ENCASE THE TREE TRUNKS BUT SHALL BE LOCATED AT EDGE OF PARADES AND EXTEND BEYOND CENTER OF TREE A MINIMUM OF 3' IN EACH DIRECTION.  
 TREES SHALL HAVE BREATHER TUBES PER COUNTY STANDARD DETAILS.  
 PLANTING SPACES ADJACENT TO PARKING SPACES SHALL HAVE 12" WIDE CONCRETE WALLWAYS EVERY INSTALLED ADJACENT TO AND INTEGRAL WITH OR BUILT INTO THE 6" WIDE CURB.

LANDSCAPE LEGEND

- NEW TREE - PURPLE OAK LEAF (BULFINCHIA SPINOSA) PLANTING QUANTITY 4. SPACING: 10' X 10'. PLANTING CONTAINER SIZE: 12" DIA. TRUNKER 18" X 18" X 18" MINIMUM. MEDIUM WATER USE IN WINDY WINDROCK AREAS. L, R, A, S, & K.
- NEW TREE - BUDRA ANCHOBIOLA (BUDRA ANCHOBIOLA) PLANTING QUANTITY 15. SPACING: 10' X 10'. PLANTING CONTAINER SIZE: 18" DIA. TRUNKER 24" X 24" X 24" MINIMUM. MEDIUM WATER USE IN WINDY WINDROCK AREAS. L, R, A, S, & K.

SHADING CALCULATIONS

AREA OF PARKING INCLUDING PARKING STALLS, DRIVEWAYS, MANEUVERING AREA & EXCLUSIVE DRIVING AND TRUCK MANEUVERING AREAS	5,766 SF
PERCENTAGE OF AREA REQUIRED TO BE SHADED	50%
AREA REQUIRED TO BE SHADED	2,883 SF
AREA OF SHADING	
SHADING	100% 75% 50% 25%
BY BUDRA ANCHOBIOLA PLANTING	2 562 SF 0 722 SF 7 481 SF 0 340 SF
SUB-TOTAL AREA	1,524 SF 0 SF 992 SF 0 SF
TOTAL SHADING AREA PROVIDED:	2,886 SF
SHADE PROVIDED	2,886 SF 2. SHADE REQUIRED 2,883 SF
SHADE PROVIDED	

**GRAPHIA**  
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RENDERING

150 GAYTHORN DRIVE, SUITE 100  
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GRAPHIA.COM

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PROJECT: 20190806.1

CLIENT: CANNABIS STOREFRONT RETAILER  
ARCHITECT: GRAPHIA  
DATE: 07/20/2019  
PROJECT: 20190806.1

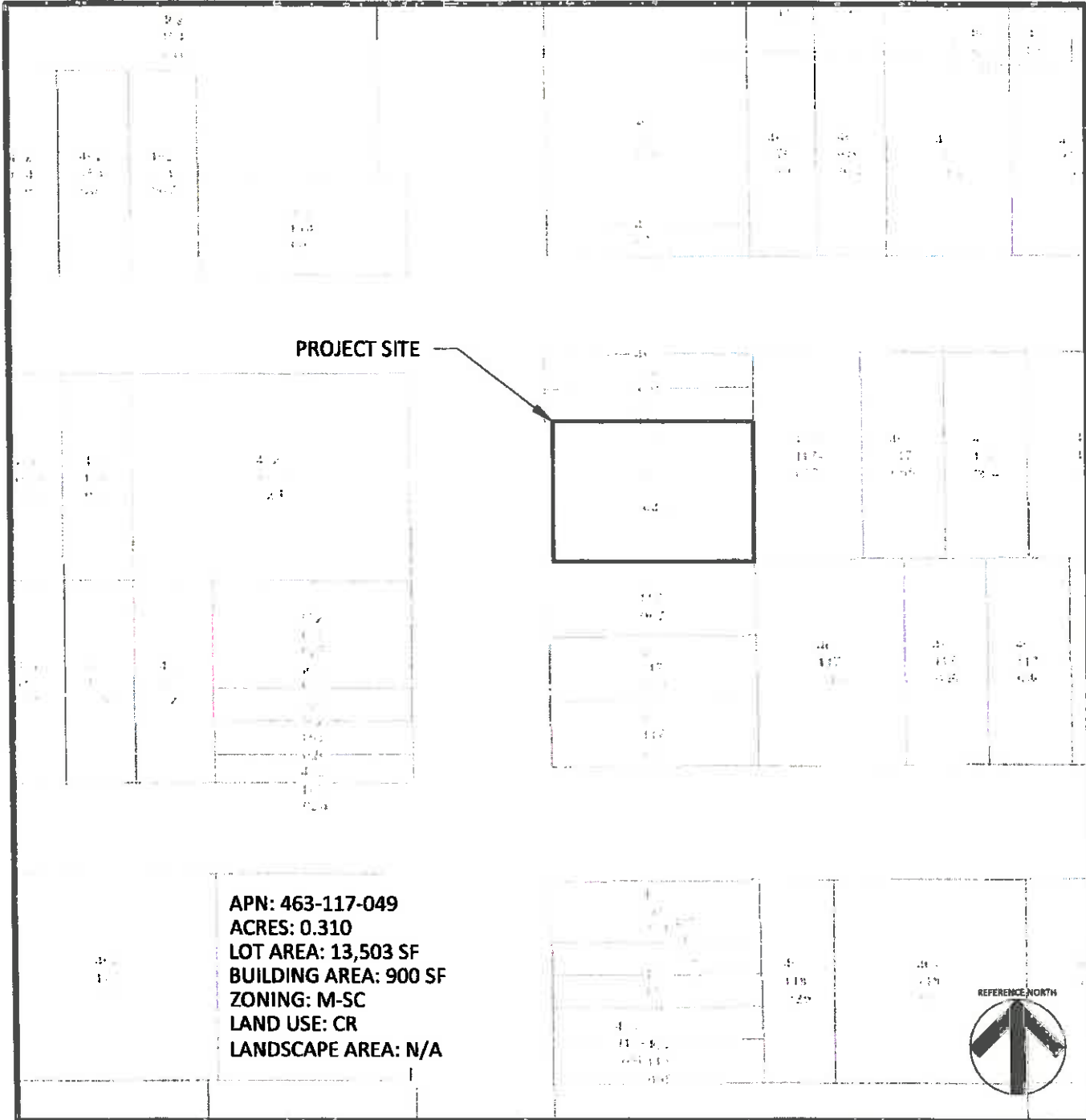
NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
(CANNABIS STOREFRONT RETAILER)  
28384 WINCHESTER ROAD  
WINCHESTER, CA 92596

TITLE: PROPOSED LANDSCAPE PLAN

ARCHITECT'S APPROVAL:

THE SEAL OF ANY ARCHITECT COVERED BY THIS ACT IS VALID ONLY IF IT IS USED IN CONNECTION WITH THE ARCHITECT'S PROFESSIONAL SERVICES AND NOT FOR ANY OTHER PURPOSE.

SHEET  
**L2.11**



**APN: 463-117-049**  
**ACRES: 0.310**  
**LOT AREA: 13,503 SF**  
**BUILDING AREA: 900 SF**  
**ZONING: M-SC**  
**LAND USE: CR**  
**LANDSCAPE AREA: N/A**

**LOCATIONAL MAP**



**GRAPHIA**  
ARCHITECTURE  
ENGINEERING

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**NEW CONDITIONAL USE PERMIT FOR:**  
**CPR - WINCHESTER, LLC**  
**(CANNABIS STOREFRONT RETAILER)**  
**28384 WINCHESTER ROAD**  
**WINCHESTER, CA 92596**

**CLIENT:**  
 GREGORY LEFIAN  
 MANAGING MEMBER  
 1368 1/2 YOSEMITE DRIVE  
 LOS ANGELES, CA 90041  
**EMAIL:** greg@idworldb.com  
**PHONE:** 402-265-9785

**ARCHITECT'S APPROVAL:**

THIS PROJECT IS NOT APPROVED FOR  
 CONSTRUCTION UNLESS THE DRAWINGS ARE  
 STAMPED AND WET SIGNED BY THE ARCHITECT AND  
 THE BUILDING AUTHORITY HAVING JURISDICTION.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. ALL DESIGN INFORMATION  
 CONTAINED IN THESE DRAWINGS ARE FOR USE ONLY ON THIS SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT THE  
 EXPRESSED WRITTEN PERMISSION BY SEAN FREITAS, ARCHITECT.

463-11

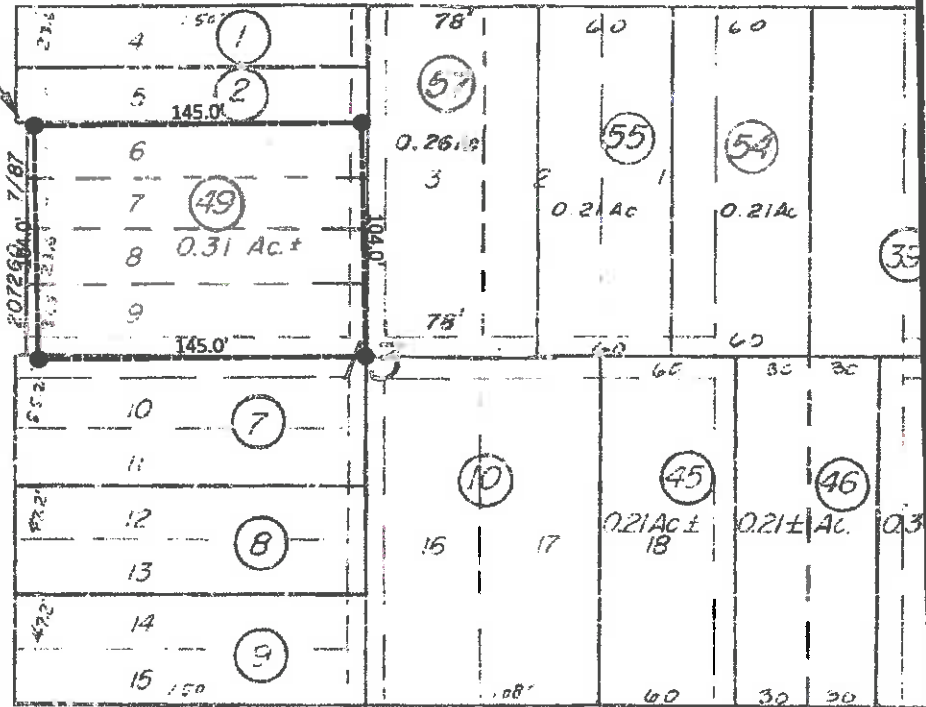
T.R.A. 071-045  
071-212

APN: 463-117-049

SECTION 27, T.5S.,R.2W

WESLEY

PROJECT SITE



452  
16

No. 79

TAYLOR

REFERENCE NORTH



MAP NO. 463-11  
 DISTRICT  
 CHANGE OF ZONE CASE NO.  
 AMENDING ORDINANCE NO. 348  
 ADOPTED BY ORDINANCE NO.  
 OCTOBER 8, 2019  
 RIVERSIDE COUNTY BOARD OF SUPERVISORS

# CHANGE OF OFFICIAL ZONING PLAN

SCALE: 0 50' 1

**GRAPHIA**  
 ARCHITECTURE  
 ENGINEERING

100 GATEWAY DRIVE, SUITE 120  
 UNION CITY, CA 94588  
 (916) 209-9890  
 Design@GRAPHIA.com  
 GRAPHIA.com

NEW CONDITIONAL USE PERMIT FOR:  
**CPR - WINCHESTER, LLC**  
**(CANNABIS STOREFRONT RETAILER)**  
 28384 WINCHESTER ROAD  
 WINCHESTER, CA 92596

CLIENT:  
 GREGORY LEFIAN  
 MANAGING MEMBER  
 1358 1/2 YOSEMITE DRIVE  
 LOS ANGELES, CA 90041  
 EMAIL: greg@chroniclb.com  
 PHONE: 401-265-9785

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4.3

AIRPORT LAND USE COMMISSION

COUNTY OF RIVERSIDE

RESOLUTION NO. 2020-02

**A RESOLUTION OF THE RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC) AUTHORIZING THE ALUC DIRECTOR TO EXERCISE DISCRETION IN REVIEWING AND APPROVING MINOR CHANGES TO PROJECTS PREVIOUSLY DETERMINED BY ALUC TO BE CONSISTENT WITH THE APPLICABLE AIRPORT LAND USE COMPATIBILITY PLAN**

WHEREAS, on September 10, 2020, the Riverside County Airport Land Use Commission considered a request by a project representative to not have to return to the Commission for review of minor changes that may result from the building permitting process;

WHEREAS, the Commissioners understood that the building permitting process may require, and result in, minor adjustments to the project plan(s);

WHEREAS, the Riverside County Airport Land Use Commission instructed its staff to attempt to accommodate the request so that minor changes to a project would not have to require review by the Commission in a public hearing;

WHEREAS, ALUC staff now seeks authorization for the ALUC Director to exercise discretion in reviewing and approving minor changes to a project that was previously determined by the Riverside County Airport Land Use Commission to be consistent with the applicable Airport Land Use Compatibility Plan; and,

WHEREAS, granting the ALUC Director such authority will streamline the ALUC review process for already approved projects by the ALUC and potentially save costs to project applicants.

BE IT RESOLVED, FOUND and DETERMINED that the Riverside County Airport Land Use Commission, by the adoption of this resolution, hereby grants authority to the ALUC Director to exercise discretion in reviewing and approving minor changes to projects that were previously found consistent by the Riverside County Airport Land Use Commission with the applicable Airport Land Use Compatibility Plan;

BE IT FURTHER RESOLVED, FOUND and DETERMINED that the ALUC will continue to be advised of all proposals reviewed by the ALUC Director.

NOW, THEREFORE, the ALUC adopts by the following vote:

AYES:

NOES:

ABSENT:

---

Chairman  
Riverside County ALUC

WITNESS, my hand this 8th day of October, 2020.

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Barbara Santos  
ALUC Secretary

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**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION (ALUC)  
PROJECT SUBMISSION SCHEDULE FOR 2020/2021**

4.4

<b><u>MEETING (THURSDAY) DATE &amp; TIME *</u></b>	<b><u>LOCATION *</u></b>	<b><u>PROJECT SUBMITTAL DEADLINE</u></b>
DECEMBER 10, 2020 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	10-28-20
JANUARY 14, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM - 1 <sup>ST</sup> FLOOR	12-2-20
FEBRUARY 11, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	12-30-20
MARCH 11, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	1-27-21
APRIL 8, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	2-24-21
MAY 13, 2021 @9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	3-31-21
JUNE 10, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	4-28-21
JULY 8, 2021 @ 9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	5-26-21
AUGUST 12, 2021 @9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	6-30-21
SEPTEMBER 9, 2021 @9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	7-28-21
OCTOBER 14, 2021 @9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	9-1-21
NOVEMBER 11, 2021 HOLIDAY- Veterans Day	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	9-29-21
DECEMBER 9, 2021 @9:30 a.m.	RIVERSIDE BOARD ROOM – 1 <sup>ST</sup> FLOOR	10-27-21

**NOTE:**

Administrative items are reviewed within thirty (30) days.

**\* Subject to change**

**Dates and locations may change; some meetings may be eliminated or added**



**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
SEPTEMBER 10, 2020**

**DRAFT**

9-17-20

COMMISSIONERS PRESENT: Russell Betts, Steven Stewart, Arthur Butler, John Lyon, Steve Manos, Richard Stewart, Gary Youmans

COMMISSIONERS ABSENT: Arthur Butler attended meeting until 11:19 am

**2.0 PUBLIC HEARING: CONTINUED ITEMS**

- 2.1 Staff report recommended: **CONTINUE to 10-8-20**
- Staff recommended at hearing: **CONSISTENT** subject to the Air Force conditions identified in their letter package dated 9-9-20 submitted at the meeting and agreed to by the applicant.
- ALUC Commission Action: **CONSISTENT** subject to the Air Force conditions identified in their letter package dated 9-9-20 submitted at the meeting and agreed to by the applicant. (Vote 7-0)
- Motion: Steven Stewart**  
**Second: Richard Stewart**
- ZAP1405MA20 – Riverside Inland Development, LLC/Hillwood Investment Properties (Representative: Kathy Hoffer)** – March Joint Powers Authority Case Nos. PP20-02 (Plot Plan), TPM20-02 (Tentative Parcel Map No. 37220). The applicant proposes to construct a 2,022,364 square foot industrial warehouse building (maximum 54 feet in height) with mezzanines on 142.5 acres located easterly of Interstate 215, southerly of March Field Air Museum and the easterly terminus of Van Buren Boulevard, northerly of Nandina Avenue, and westerly of the runways at March Air Reserve Base. The applicant also proposes to change the Veterans Industrial Park 215 Specific Plan (SP16-02), updating Section 4.3 Landscaping Guidelines to reflect ALUC wildlife hazard goals and policies. The applicant also proposes to merge the project's five parcels into one parcel. (A previous proposal to establish two industrial buildings (maximum 48 feet in height) totaling 2,185,618 square feet on this site had been found consistent by the ALUC, but no action was taken by the March Joint Powers Authority Commission) (Airport Compatibility Zone B2 of the March Air Reserve Base/Inland Port Airport Influence Area). Continued from May 14, June 11, July 9, and August 13, 2020. Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)
- 2.2 Staff report recommended: **INCONSISTENT**
- Staff recommended at hearing: **INCONSISTENT**
- ALUC Commission Action: **CONSISTENT** pursuant to policy 3.3.6 and subject to the conditions in the staff report. (Vote 7-0)
- Motion: John Lyon**  
**Second: Steven Stewart**
- ZAP1086PS20 – Desert Aids Project (Representative: Terra Nova Planning & Research)** – Related Case: City of Palm Springs Case Nos. 5.0934 (PD 281 Amendment, General Plan Amendment), 3.1047 (Major Architectural). The applicant proposes to expand the existing Desert AIDS Project Campus by constructing a new 18,500 square foot medical 'Pavillon' building which includes a lobby, information desk, registration, nurse station, medical administration rooms, conference meeting rooms, consultation offices, and café on 3.89 acres, a 61 unit affordable housing apartment complex on 1.14 acres, and a 17,700 square foot dog park-infiltration basin on 3.09 acres, for a total of 8.12 acres (of a larger existing 13.02 acre site) located on the southwest corner of Vista Chino and Sunrise Way. The applicant also proposes amending the General Plan land use designation of the site from Medium Density Residential and Public/Quasi Public to Mixed Use/Multi-Use. The applicant also proposes to amend the Planned Development District 281, by expanding the project boundary to include all aspects of the project and to allow implementation of the Mixed Use land use designation (Airport Compatibility Zones C and E of the Palm Springs International Airport Influence Area). Continued from August 13, 2020. Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

**VIDEO:**

1

A video recording of the entire proceedings is available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org). If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org)



**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
SEPTEMBER 10, 2020**

**3.0 PUBLIC HEARING: NEW CASES**

- 3.1 Staff report recommended: **CONSISTENT**  
Staff recommended at hearing: **CONSISTENT** with amended condition #5 provided at the hearing.  
ALUC Commission Action: **CONSISTENT** with amended condition #5 provided at the hearing. (Vote 7-0)  
**Motion: Richard Stewart**  
**Second: Gary Youmans**
- ZAP1088PS20 – Destination Ramon, LLC (Representative: Rothbart Development Corp.)** – Related Case: City of Palm Springs Case Nos. 3.4179MAJ (Major Architectural), 5.1413CUP (Conditional Use Permit), 5.1513 (Tentative Parcel Map No. 30745). The applicant proposes to demolish an existing Office Depot building located at 5601 E. Ramon Road, and construct a 3,198 square foot Raising Cane’s restaurant building with drive-thru, and a 2,200 square foot Starbucks restaurant building with drive-thru on a 2.31 acre parcel located on the southeast corner of Ramon Road and San Luis Rey Drive. The applicant also proposes to divide the site into two commercial parcels (Airport Compatibility Zone C of the Palm Springs International Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)
- 3.2 Staff report recommended: **CONSISTENT**  
Staff recommended at hearing: **CONSISTENT**  
ALUC Commission Action: **CONSISTENT (Vote 7-0)**  
**Motion: Steve Manos**  
**Second: Arthur Butler**
- ZAP1083BD20 – Sean St. Peter** – Related Case: County of Riverside Case No. CUP200015 (Conditional Use Permit). The applicant proposes to establish a cannabis distribution and retail dispensary facility within an existing 13,969 square foot building on 1.78 acres located easterly of Berkey Drive, westerly of Washington Street, and northerly of Varner Road (Airport Compatibility Zones C and D of the Bermuda Dunes Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)
- 3.3 Staff report recommended: **CONTINUE to 10-8-20**  
Staff recommended at hearing: **CONSISTENT**  
ALUC Commission Action: **CONSISTENT (Vote 7-0)**  
**Motion: Richard Stewart**  
**Second: John Lyon**
- ZAP1428MA20 – Tait & Associates, Larry Roberts** – City of Perris Case Nos. CUP19-05281 (Conditional Use Permit), SPA19-05282 (Specific Plan Amendment). A proposal to construct a 3,227 square foot gas station convenience store with 12 fuel pump stations and a 1,150 square foot automated car wash drive thru on 2.06 acres, located on the southeast corner of Perris Boulevard and Rider Street. The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan land use designation of the site from Business Professional Office to Commercial (Airport Compatibility Zone B1-APZ-II of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

**VIDEO:**

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**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
SEPTEMBER 10, 2020**

- 3.4 Staff report recommended: **INCONSISTENT**
- Staff recommended at hearing: **INCONSISTENT**
- ALUC Commission Action: **CONDITIONALLY CONSISTENT** pursuant to Policy 3.3.6 subject to the conditions included herein, and such additional conditions as may be required by the FAA OES. (Vote 6-1, Richard Stewart dissenting)
- Motion: Steve Manos**  
**Second: Gary Youmans**
- ZAP1019PV20 – Rain Tree Investment Corporation (Representative: Johnson Aviation, Inc.)** – Related Case: City of Perris Case Nos. SPA18-05292 (Specific Plan Amendment), TTM19-05233 (Tentative Tract Map No. 37722), TTM18-05000 (Tentative Tract Map No. 37262), TTM17-05251 (Tentative Tract Map No. 37223), TTM20-05090 (Tentative Tract Map No. 37817), TTM20-05089 (Tentative Tract Map No. 37816), TTM20-00006 (Tentative Tract Map No. 37818). The applicant proposes 6 tentative tract maps within the Green Valley Specific Plan, generally located westerly of Case Road, northerly of Ethanac Road, easterly of Goetz Road. TTM37722 proposes to divide 25.61 acres into 104 single family residential lots. TTM37262 proposes to divide 65.01 acres into 191 single family residential lots. TTM37223 proposes to divide 55.58 acres into 235 single family residential lots. TTM37817 proposes to divide 25.50 acres into 228 multi-family dwelling units. TTM37816 proposes to divide 10.61 acres into 97 multi-family dwelling units. TTM37818 proposes to divide 23.82 acres into 156 multi-family dwelling units. The applicant proposes amending the underlying Green Valley Specific Plan land use designations for these 6 tentative tract map sites: TTM37722 from 6000-7200 to R-5500 – R-6000; TTM37262 from 5500-6000 to R-5500 – R-6000; TTM37223 from 5500-6000 to R-5500 – R-6000, and Open Space; TTM37817 from Multi-Family, Park, School to Multi Family; TTM37818 from Multi-Family, 5500-6000 to Multi Family; TTM37816 from Multi-Family to Multi Family. The applicant also proposes amending the Green Valley Specific Plan, changing land uses in response to 1) the adoption of California Education Code Section 17215, 2) the adoption of the Western Riverside County Multiple Species Habitat Conservation Plan, and 3) the adoption of the Perris Valley Airport Land Use Compatibility Plan, San Jacinto River Study, and location of the adjacent Metrolink Station (Airport Compatibility Zones D and E of the Perris Valley Airport Influence Area and Zone E of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)
- 3.5 Staff report recommended: **CONSISTENT**
- Staff recommended at hearing: **CONSISTENT**
- ALUC Commission Action: **CONSISTENT (Vote 6-0, Absent: Art Butler)**
- Motion: Richard Stewart**  
**Second: John Lyon**
- ZAP1053RG20 – County of Riverside (Representative: Peter Hersh)** – County of Riverside Case No. CZ1900012 (Change of Zone/Ordinance Amendment). A proposal to amend Riverside County Ordinance No. 348 (Zoning) to 1) add new article to address Single-Room Occupancy units, 2) add a new article to address Tiny Homes and Container Housing, 3) add sections that address Supportive and Transitional Housing, Density Bonus, and Employee Housing, 4) modify existing articles and sections that include the R-3 Zone (General Residential), the R-6 Zone (Residential Incentive), the R-7 Zone (Highest Density Residential), the MU Zone (Mixed Use), and Family Day Care Homes, 5) add new definitions that include “Supportive Housing”, “Transitional Housing”, and “Employee Housing”, and 6) make global changes for consistency of the ordinance, in order to be consistent with state law and Riverside County’s General Plan’s Housing Element (Countywide except as indicated). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at [prull@rivco.org](mailto:prull@rivco.org)

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**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
SEPTEMBER 10, 2020**

**4.0 ADMINISTRATIVE ITEMS**

**4.1 Director's Approvals – Information Only**

**4.2 Update March Air Reserve Base Compatibility Use Study (CUS)**

Simon Housman, ALUC Director informed the Commission that the grant for the CUS has been approved and accepted by the Board of Supervisors. We are now in the process of forming the Policy Committee generally made up of elected representatives which should include one ALUC Commissioner and a working group which is made up of senior staff members. The Policy Committee will set the general broad goals and objectives in keeping with the issues already identified by the March Air Reserve Base and the local communities. The working group would guide the work of the consultant. We anticipate identifying the appropriate consultant during the month of October and hopefully executing a contract to hire that consultant during the month of November. The ALUC appointed Commissioner Richard Stewart to serve on the Policy Committee for the March Air Reserve Base Compatibility Use Study (CUS).

**4.3 ALUC Website Update**

Daniel Zerda, ALUC intern presented a Power Point presentation regarding updates to the ALUC Website.

**5.0 APPROVAL OF MINUTES**

Russell Betts motioned to approve the August 13, 2020 minutes, seconded by Gary Youmans. (Vote 5-0; Absent: Butler and Manos)

**6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

Simon Housman, ALUC Director advised if the Commissioners would be interested in having the staff bring forward a resolution authorizing staff to review minor changes to previously approved projects or buildings. The Commissioners agreed and directed staff to prepare a draft resolution for their consideration and approval at the next ALUC meeting on October 8th. Mr. Housman also noted to the Commission but not as an action item that we are receiving a lot of Conditional Use Permit applications for Cannabis Facilities because local jurisdictions have been requiring a Conditional Use Permit for Cannabis Facilities. Since all Conditional Use Permits are required for ALUC review, staff will continue to process as usual.

**7.0 COMMISSIONER'S COMMENTS**

None

**8.0 ADJOURNMENT**

Chair Betts adjourned the meeting at 11:41 a.m.

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**VIDEO:**

4

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