



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY AGENDA

Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside, California

Thursday 9:00 A.M., October 13, 2016

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
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Lake Elsinore

STAFF

Director
Ed Cooper

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St, 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

NOTE: If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Secretary. The purpose of the public hearing is to allow interested parties to express their concerns. Comments shall be limited to 5 minutes and to matters relevant to the item under consideration. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s). Also please be aware that the indicated staff recommendation shown below may differ from that presented to the Commission during the public hearing.

Non-exempt materials related to an item on this agenda submitted to the Airport Land Use Commission or its staff after distribution of the agenda packet are available for public inspection in the Airport Land Use Commission's office located at 4080 Lemon Street, 14th Floor, Riverside, CA 92501 during normal business hours.

Live Streaming of the meeting will be available during the meeting on our website at www.rcaluc.org.

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Barbara Santos at (951) 955-5132 or E-mail at basantos@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 INTRODUCTIONS

1.1 CALL TO ORDER

1.2 SALUTE TO FLAG

1.3 ROLL CALL

2.0 PUBLIC HEARING: CONTINUED ITEMS

MARCH AIR RESERVE BASE

- 2.1 ZAP1206MA16 – Optimus Building Corporation (Representative: Gary Hamro) – City of Perris Case No. DPR 14-01-0015 (Development Plan Review). The applicant is proposing a revision to plans for a two-building warehousing project previously determined to be consistent pursuant to ALUC Case No. ZAP1102MA14, specifically to increase the office area in Building A (which is not located in an Accident Potential Zone) from 15,000 square feet to 45,000 square feet. As amended, Building A would provide 45,000 square feet of office area and 867,338 square feet of warehouse area. No changes are proposed for Building B. The overall floor areas of Buildings A (912,338 square feet) and B (125,437 square feet) would remain the same as originally proposed. The 53.56-acre (gross) project site is located easterly of Patterson Avenue, northerly of Markham Street, westerly of Webster Avenue, and southerly of Nance Street (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Continued from September 8 and August 11, 2016. ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

Staff Recommendation: CONTINUE to 11-10-16

MARCH AIR RESERVE BASE

- 2.2 ZAP1204MA16 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates, Nicole Torstvet) – City of Perris Case No. PLN 16-00008 (Development Plan Review). The applicant is proposing to develop a 668,381 square foot warehouse/distribution center on 30.7 acres. The building floor plan consists of 649,481 square feet of warehouse area and 19,200 square feet of office area. The project site is located southerly of Markham Street, westerly of Indian Avenue, easterly of Barrett Avenue and northerly of Perry Street. (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Continued from September 8 and August 11, 2016. ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

Staff Recommendation: CONTINUE to 11-10-16

3.0 PUBLIC HEARING: NEW ITEMS**HEMET-RYAN AIRPORT**

- 3.1 ZAP1039HR16 – Hemet 55 SP, LLC (Representative: Joe Ham) – City of Hemet Planning Case No. CUP 16-005 (Conditional Use Permit). The applicant is proposing to construct a gas station facility including a 5,881 square foot convenience store, 6,511 square foot 10 pump fueling area, and a 1,270 square foot automated car wash tunnel on a 1.8 acre parcel within an existing commercial shopping center, located on the northeast corner of W. Florida Avenue and Myers Street. This matter comes before the Airport Land Use Commission because service stations involved hazardous materials (gasoline). (Area III of the Hemet-Ryan Airport Comprehensive Airport Land Use Plan). ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

Staff Recommendation: CONSISTENT

BERMUDA DUNES AIRPORT

- 3.2 ZAP1064BD16 – Shadow Hills RV Resort (Representative: Coachella Valley Engineers) – City of Indio Planning Case No. CUP 16-1-1012 (Conditional Use Permit). The applicant is proposing to modify and expand the operation of the existing Shadow Hills RV Resort and establish guidelines for special events that temporarily allow additional RV camping and tent campsites on 14 acres. The project site is located westerly of Jefferson Street and northerly of Varner Road. (Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area). ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

Staff Recommendation: CONTINUE to 11-10-16

4.0 ADMINISTRATIVE ITEMS

4.1 Director's Approval

4.2 Specific Delegation of Authority: Amendment to City of Riverside General Plan and Sycamore Canyon Business Park Specific Plan

5.0 APPROVAL OF MINUTES

September 8, 2016

6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

7.0 COMMISSIONER'S COMMENTS

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COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 2.1 3-2

HEARING DATE: ~~October 13, September 8, 2016~~ (continued from ~~September 8 and~~ August 11, 2016)

CASE NUMBER: ZAP1206MA16 – Optimus Building Corporation
(Representative: Gary Hamro)

APPROVING JURISDICTION: City of Perris

JURISDICTION CASE NO: DPR 14-01-0015 (Development Plan Review)

MAJOR ISSUES: ~~None.~~ *The United States Air Force submitted a comment letter dated August 8, 2016, outlining their concerns with the project, specifically regarding Building B in the Accident Potential Zone I (APZ I). This project was previously reviewed by ALUC and found consistent, and no changes to Building B are proposed in this ALUC application, but the project has not yet received City approval. The ALUC staff report for the original project, ZAP1102MA14, determined that 86 or 93 people would be present in the most intense single-acre portion of Building B in Zone APZ I. The Airport Land Use Commission reduced the office area in Building B from 10,000 square feet to 2,500 square feet in Zone APZ I, reducing the single-acre intensity to approximately 74 people. This is consistent with the March Air Reserve Base/Inland Port Airport Compatibility Plan adopted in November 2014. However, since the adoption of the plan, there has been an evolution in the Air Force's position regarding the intent of the APZ I standard of 25 people per acre, as specified in Department of Defense Instruction (DoDI) 4165.57 dated March 12, 2015 and Air Force Instruction (AFI) 32-7063 dated December 18, 2015. These issues may ultimately need to be addressed through an amendment to the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.*

In July, ALUC issued a determination of consistency for ZAP1199MA16, a proposal by the City of Perris to amend the City's General Plan, the Perris Valley Commerce Center Specific Plan, and the City's Zoning Ordinance to bring those documents into consistency with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. That proposal has been tentatively approved by the Perris City Council. Final adoption is expected to occur prior to ALUC's November 10 meeting. Upon final adoption of the Citywide and area-wide amendments noted above, projects such as DPR 14-01-0015, which do not require site-specific general plan amendments, specific plan amendments, or zone changes, will be able to be evaluated for ALUCP consistency by the City of Perris without a mandatory ALUC referral. It is the applicant's intent to utilize the new process that will become available to projects in that City once final adoption of the Citywide and area-wide amendments has occurred. The applicant has requested continuance to ALUC's November 10 meeting with an eye toward possible withdrawal of this ALUC application prior to November 10.

RECOMMENDATION: *At this time per the applicant's request, staff recommends that the Commission CONTINUE consideration of this matter to its November 10 October 13, 2016 public hearing agenda.*

~~Staff recommends that the revisions to the Development Plan Review be found CONSISTENT, subject to the revised conditions included herein.~~

PROJECT DESCRIPTION: The applicant is proposing a revision to plans for a two-building warehousing project previously determined to be consistent pursuant to ALUC Case No. ZAP1102MA14, specifically to increase the office area in Building A (which is not located in an Accident Potential Zone) from 15,000 square feet to 45,000 square feet. As amended, Building A would provide 45,000 square feet of office area and 867,338 square feet of warehouse area. No changes are proposed for Building B. The overall floor areas of Buildings A (912,338 square feet) and B (125,437 square feet) would remain the same as originally proposed.

PROJECT LOCATION: The 53.56-acre site is located easterly of Patterson Avenue, northerly of Markham Street, westerly of Webster Avenue, and southerly of Nance Street within the City of Perris, approximately 3,750 feet southerly of the southerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zones B1-APZ I, B2, and C1
- c. Noise Levels: 60-70 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones B1-APZ I, B2, and C1. Zone B1-APZ I limits average intensity to 25 people per acre, and Zones B2 and C1 limit average intensity to 100 people per acre. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for Building A:

- Warehouse – 1 person per 1,428 square feet (35% of building code of 1 person per 500 square feet)

- Office – 1 person per 200 square feet (with 50% reduction)

The applicant is seeking a change in the floor area configuration for only Building A. There are no proposed changes to Building B.

As revised, Building A would include 867,338 square feet of warehousing area and 45,000 square feet of office area. Building A is split between Compatibility Zones B2 and C1, but both zones have the same average acre intensity limit of 100 people. The revised total occupancy of Building A is 832 persons. The total occupancy of Building B is 259 persons. Therefore, the total on-site occupancy is 1,091 persons, resulting in an average intensity of 20 persons per acre.

Although Building A is designed and anticipated to be used as high-cube warehouse, if the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4 (50% of 1 person per 500 square feet), the building would accommodate a total occupancy of 1,092 people, resulting in a total on-site occupancy of 1,351 people and an average intensity of 25 people per acre.

Non-Residential Single-Acre Land Use Intensity: Compatibility Zone B1-APZ I limits maximum single acre intensity to 100 people, while Zones B2 and C1 limit maximum single acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

The applicant is seeking a change in the floor area configuration only for Building A. There are no proposed changes to Building B.

Based on the occupancies as previously noted and the applicant's proposal for flexible location of office area in Building A, the maximum single-acre area for Building A would consist of 43,560 (of the 45,000 square feet total) square feet of office area. This would result in a single-acre occupancy of 219 people, which is consistent with Zones B2 and C1 single acre intensity criteria of 250 people. Any floor plan configuration that adds a warehouse component to this calculation would result in a lower single-acre occupancy, provided that no upper level or mezzanine area is proposed.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones B1 (including those prohibited in APZ I per the AICUZ), B2, or C1 within the project. Projects within APZ I are required to locate structures a maximum distance from the extended runway centerline. The project site is located approximately 1,000 feet from the extended runway centerline, and the building is set back an additional 150 feet from the property line.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being in an area within the 60-70 CNEL range from aircraft noise. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the manufacturing/warehouse area would not require special measures to

mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the buildings.

Part 77: The elevation of Runway 14-32 at its southerly terminus is approximately 1488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 3,750 feet from the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1525.5 feet AMSL. The project proposes a maximum pad elevation of 1497.25 feet AMSL. The proposed buildings have a maximum height of 55 feet for a potential maximum elevation of 1552.25 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service was required. Submittal to the FAAOES was made and assigned Aeronautical Study Numbers (ASNs) of 2014-AWP-9108-OE and 2014-AWP-9157-OE. "Determination of No Hazard to Air Navigation" letters were issued by the FAAOES dated January 8, 2015, and the studies revealed that the project's structures would not exceed obstruction standards and would not be a hazard to air navigation, provided conditions are met. These FAAOES conditions have been incorporated into the project's conditions.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically. However, Compatibility Zone B1 within either APZ does limit lot coverage to a maximum of 50%. Based on the site and building sizes noted previously, the project proposes lot coverage of approximately 27% within Zone B1, which is consistent with the maximum 50% criterion.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer

stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly, hazardous materials manufacture/storage, noise sensitive outdoor nonresidential uses, and hazards to flight.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an aviation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
 4. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
 5. The proposed detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the retention basin(s) shall not include trees that produce seeds, fruits, or berries.
 6. This project has been evaluated as a proposal for the establishment of a warehouse with ancillary office use. The City of Perris shall require additional review by the Airport Land Use Commission prior to the establishment of any of the following uses in these structures:

Commercial/service uses; civic uses; churches, chapels, and other places of worship; classrooms; gymnasiums; theaters; conference or convention halls; auditoriums; fraternal lodges; bowling alleys; gaming; and auction rooms.
 7. The office component within Building B shall be no greater than 2,500 square feet. Overall office area within Building A shall be limited to a total maximum of ~~15,000~~ **45,000** square feet.

Building A located within Compatibility Zones B2 and C1 does not require any restriction on consolidation of the maximum ~~15,000~~ **45,000** square feet of office area. ~~within any single-aere area.~~ If any development of the warehouse building proposes to exceed the maximum

office area per building, it shall require further ALUC review to determine its consistency with the applicable criteria in place at that time.

8. Building B shall be designed with zoned fire sprinkler systems and shall not exceed one aboveground habitable floor.

9. The following additional uses shall be prohibited in Building B:

Manufacturing of food and kindred products, textile mill products, apparel, chemicals and allied products, rubber and plastic products, fabricated metal products, professional, scientific, and controlling instruments, photographic and optical goods, watches and clocks.

Retail trade, eating and drinking establishments; personal services; professional services; educational services; governmental services; medical facilities; cultural activities; any other uses providing on-site services to the public.

10. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
11. The Federal Aviation Administration has conducted ~~an~~ aeronautical ~~study~~ **studies** of the proposed ~~building~~ **structures** (Aeronautical Study Nos. 2014-AWP-9108-OE **and** 2014-AWP-9157-OE) and has determined that neither marking nor lighting of the structures is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 K Change 2 and shall be maintained in accordance therewith for the life of the project.
12. The maximum height of the proposed structures shall not exceed 55 feet above ground level and the maximum elevation of the proposed structures, including all roof-mounted appurtenances (if any) shall not exceed 1,552 feet above mean sea level **for Building A and 1,536 feet above mean sea level for Building B.**
13. The specific coordinates, height, and top point elevation of the proposed structures shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in building height or elevation shall not require further review by the Airport Land Use Commission.
14. Temporary construction equipment used during actual construction of the structures shall not exceed the height of the structure, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.

15. Within five (5) days after construction of the **each** structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned.
16. **Any roof-top equipment that exceeds the building parapet height of 55 feet will require Form 7460-1 submittal, review, and issuance of a new “Determination of No Hazard to Air Navigation” by the Federal Aviation Administration Obstruction Evaluation Service.**
17. **Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.**
18. ***The conditions set forth in Air Force comment letter dated August 8, 2016, shall be complied with as part of ALUC’s consistency determination.***

Rull, Paul

From: Gary Hamro <garyhamro@gmail.com>
Sent: Monday, September 19, 2016 5:04 PM
To: Rull, Paul
Subject: Re: Case # DPR 14-01-0015 (Development Plan review)

Paul –

Clara Miramontes brought me current. Please extend my above referenced case to the November 10th Hearing which will allow the City enough time to adopt their GP on October 13th.

Thx and please call me with any questions.

Best, Gary

Gary Hamro | OPTIMUS GROUP | garyhamro@gmail.com
12040 East Florence Avenue, Santa Fe Springs, CA 90670 | 562 237-4071

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76193

Aeronautical Study No.
 2014-AWP-9108-OE

Issued Date: 01/08/2015

HECTOR CORREA
 HLC CIVIL ENGINEERING
 39281 VIA CADIZ
 MURRIETA, CA 92563

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Building OPTIMUS LOGISTICS CENTER II
 Location: PERRIS, CA
 Latitude: 33-51-15.01N NAD 83
 Longitude: 117-14-48.06W
 Heights: 1497 feet site elevation (SE)
 55 feet above ground level (AGL)
 1552 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 07/08/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2014-AWP-9108-OE.

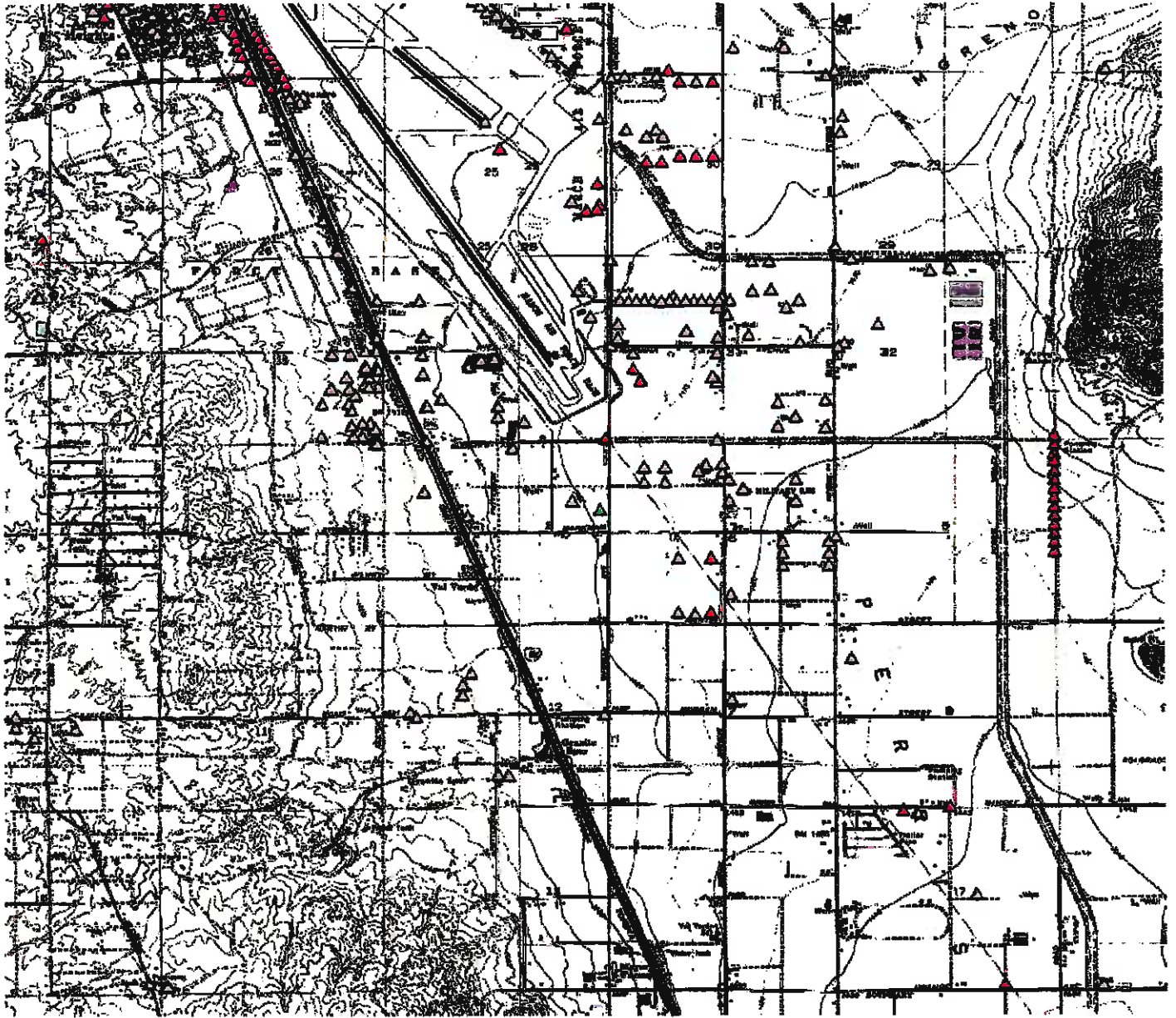
**Signature Control No: 235446213-239546327
Karen McDonald
Specialist**

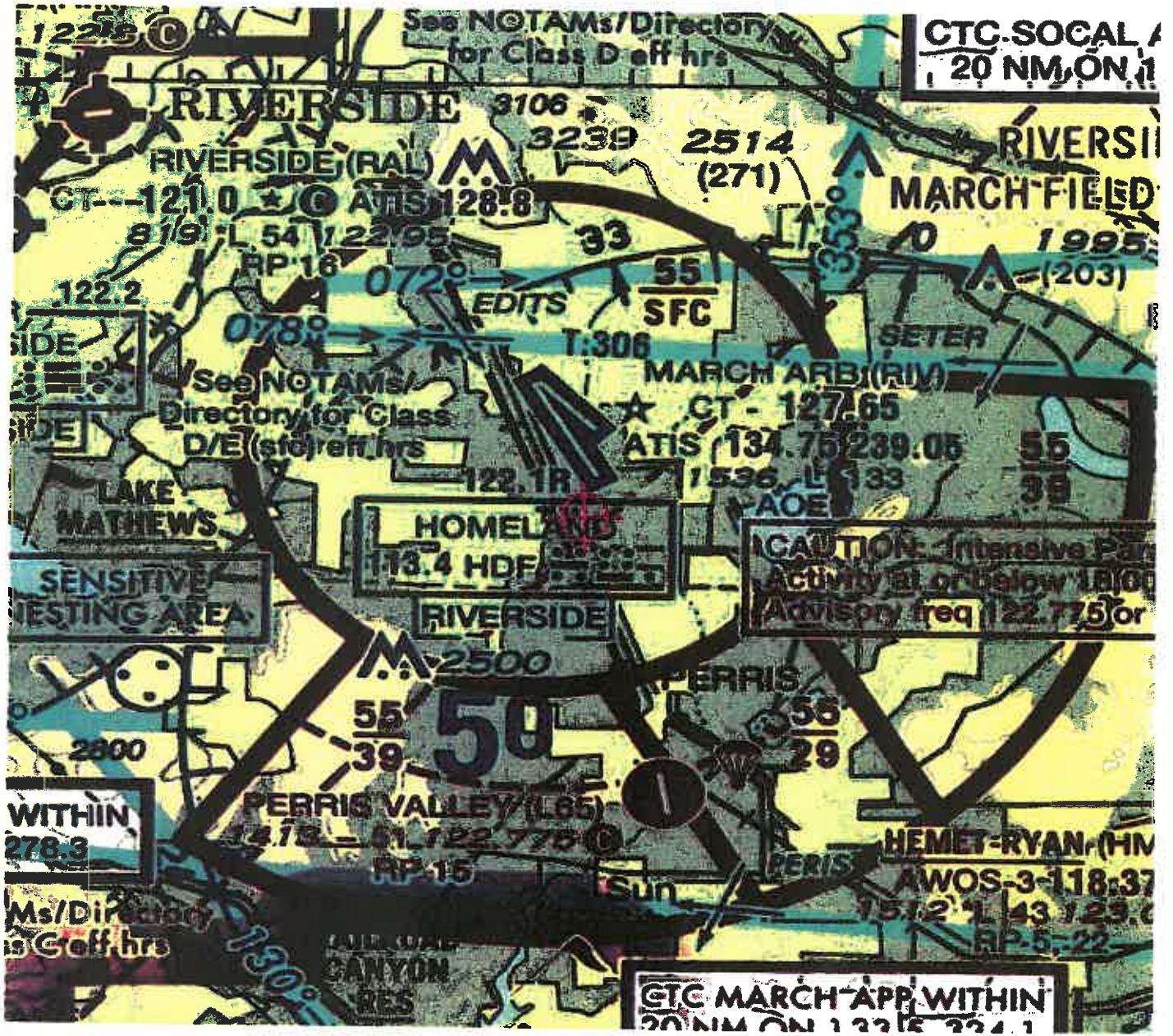
(DNE)

**Attachment(s)
Case Description
Map(s)**

Case Description for ASN 2014-AWP-9108-C

The project consists of two warehouse distribution buildings. Building-A is a 912,338 sf on a 41.72 acres Parcel. Building-B is 125,473 sf warehouse building on a 6.6 acre Parcel.







Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76193

Aeronautical Study No.
 2014-AWP-9157-OE

Issued Date: 01/08/2015

HECTOR CORREA
 HLC CIVIL ENGINEERING
 39281 VIA CADIZ
 MURRIETA, CA 92563

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building OPTIMUS LOGISTICS CENTER II BUILDING B
Location:	PERRIS, CA
Latitude:	33-51-12.36N NAD 83
Longitude:	117-14-40.29W
Heights:	1481 feet site elevation (SE) 55 feet above ground level (AGL) 1536 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 07/08/2016 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

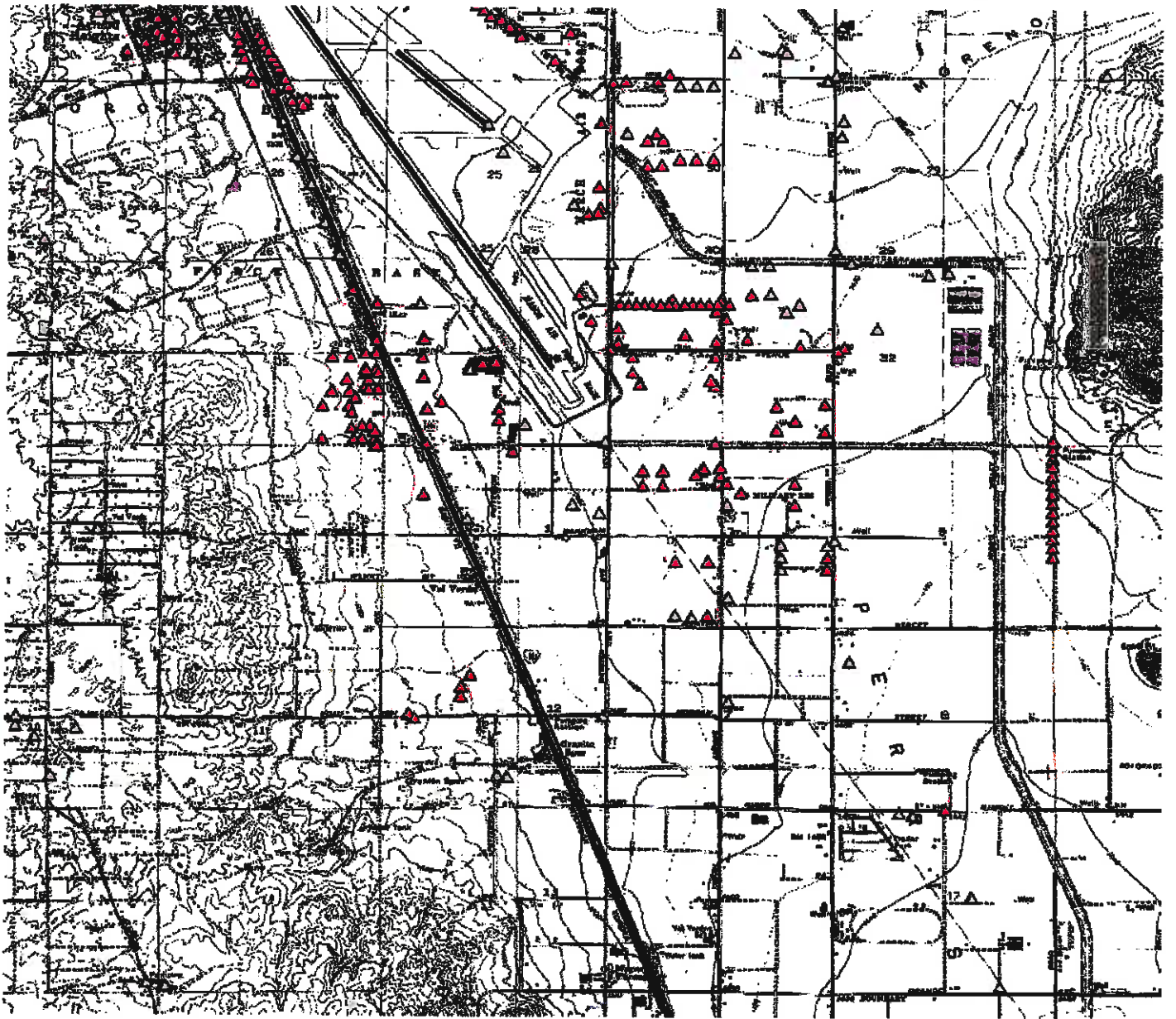
If we can be of further assistance, please contact our office at (310) 725-6557. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2014-AWP-9157-OE.

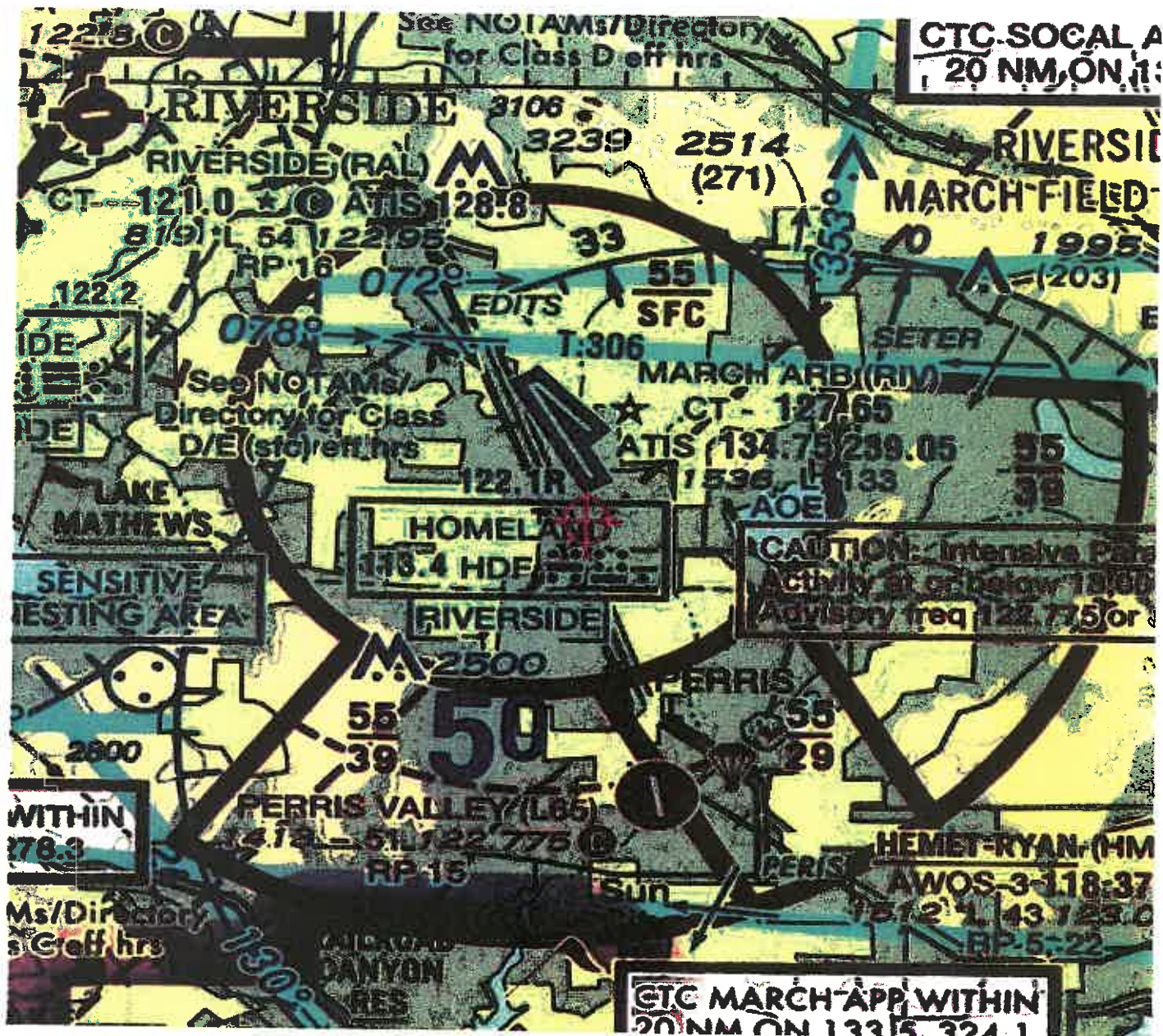
Signature Control No: 235566515-239546328
Karen McDonald
Specialist

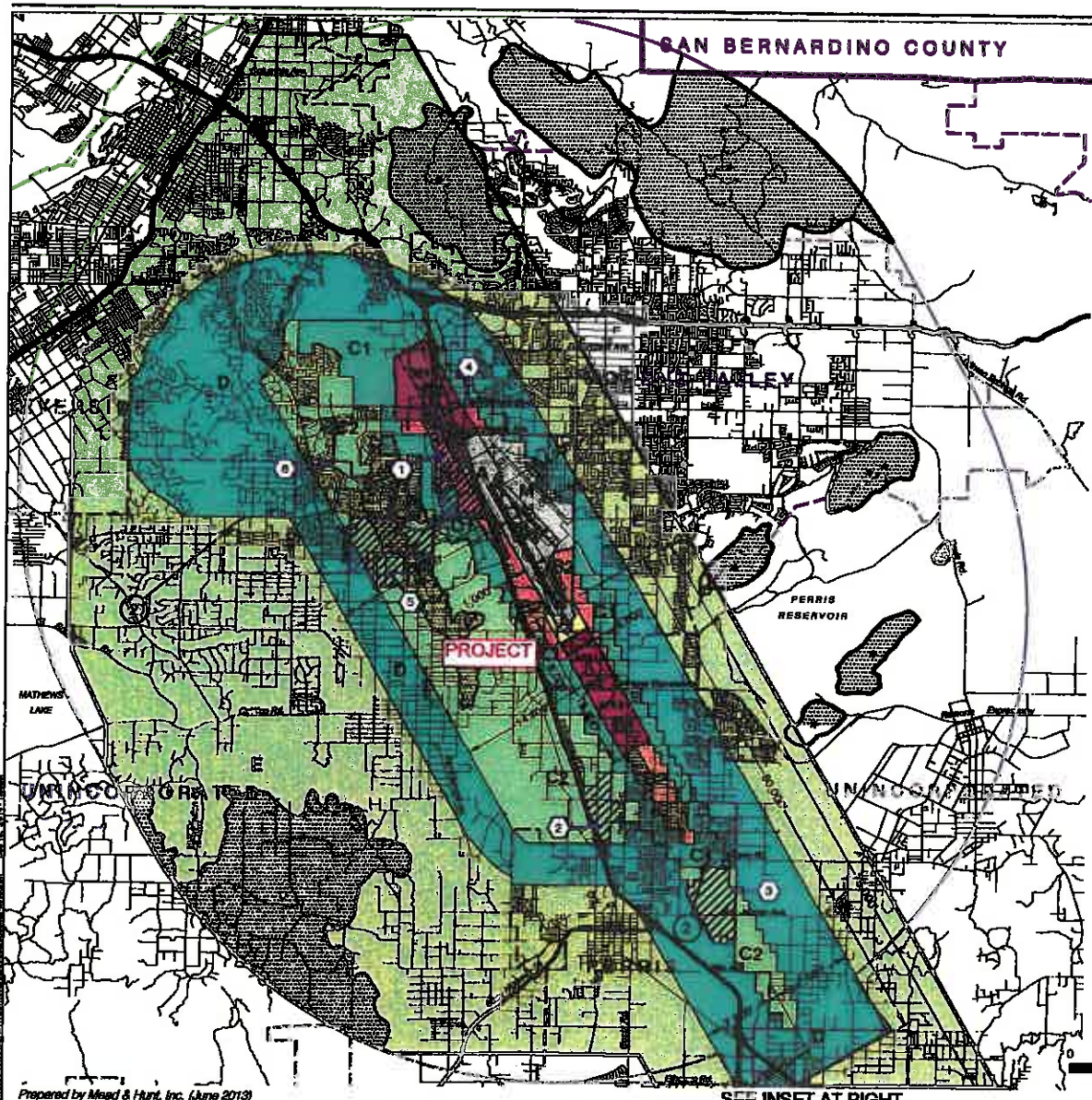
(DNE)

Attachment(s)
Case Description
Map(s)

Building-B is a 125,473 SF Warehouse Building on 6.6 acre Parcel







LEGEND

Compatibility Zones

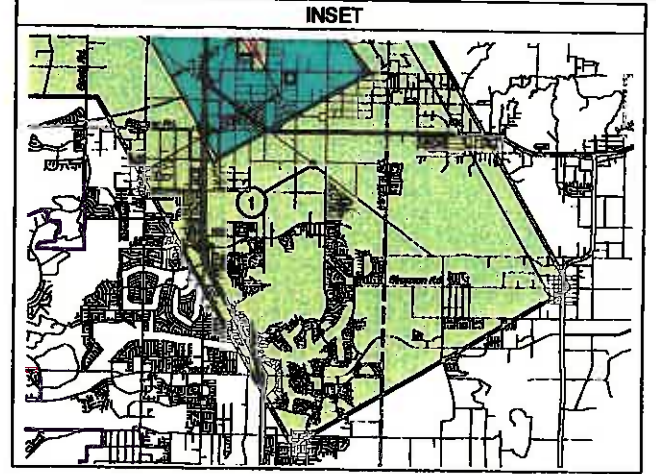
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,585 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)

Map MA-1

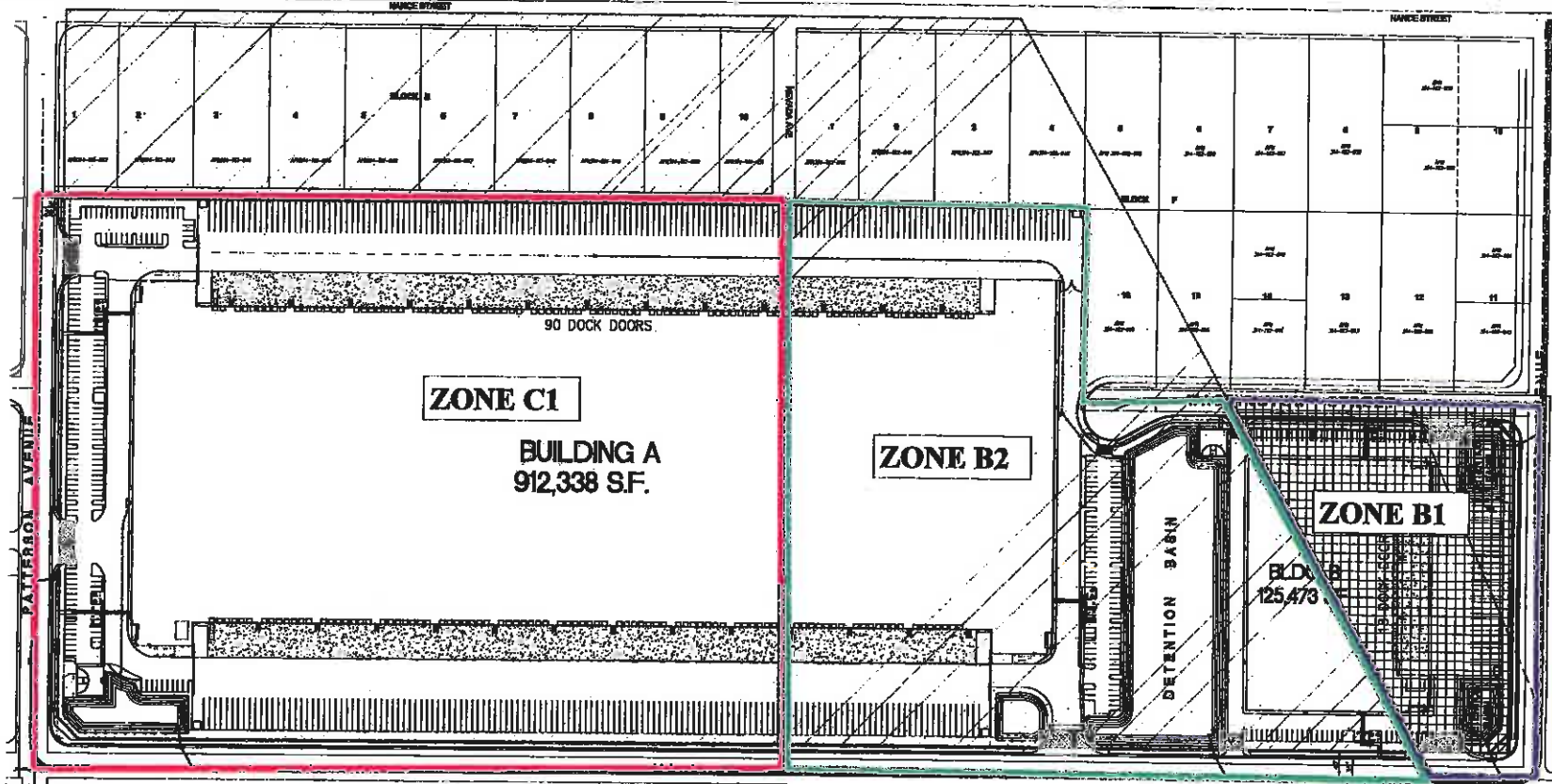
Compatibility Map
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

PREVIOUS ZAP 1102MA14 EXHIBIT



Aerial Map






1" = 50'
0 50 100 200

Tabulation

	SubArea A	SubArea B	Total
Site Area			
In sq. ft.	1,977,200	288,041	2,265,241 s.f.
In acres	45.7	6.7	52.4 ac
Buildings Area			
office	15,000	10,000	25,000 s.f.
warehouse	897,338	138,032	1,035,370 s.f.
Total Building Area	912,338	148,032	1,060,370 s.f.
Site Features	65,728	42,254	107,982
Auto Parking Provided			
1st 20K @ 17,000 sq ft	20	20	40 stalls
2nd 20K @ 17,000 sq ft	10	10	20 stalls
Over 40K @ 16,000 sq ft	178	18	196 stalls
Total	208	48	256 stalls
Auto Parking Provided			
standard (80 FT)	221	54	275 stalls
handicap (8x12)	8	4	12 stalls
Total	229	58	287 stalls
Trailer Parking Provided			
standard (10x30)	20	20	40 stalls
Landscape Required	285,874	24,717	310,591 s.f.
Landscape Provided	255,728	47,877	303,605 s.f.

Legend

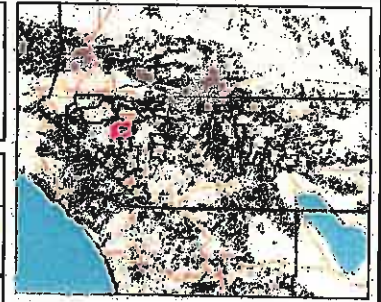
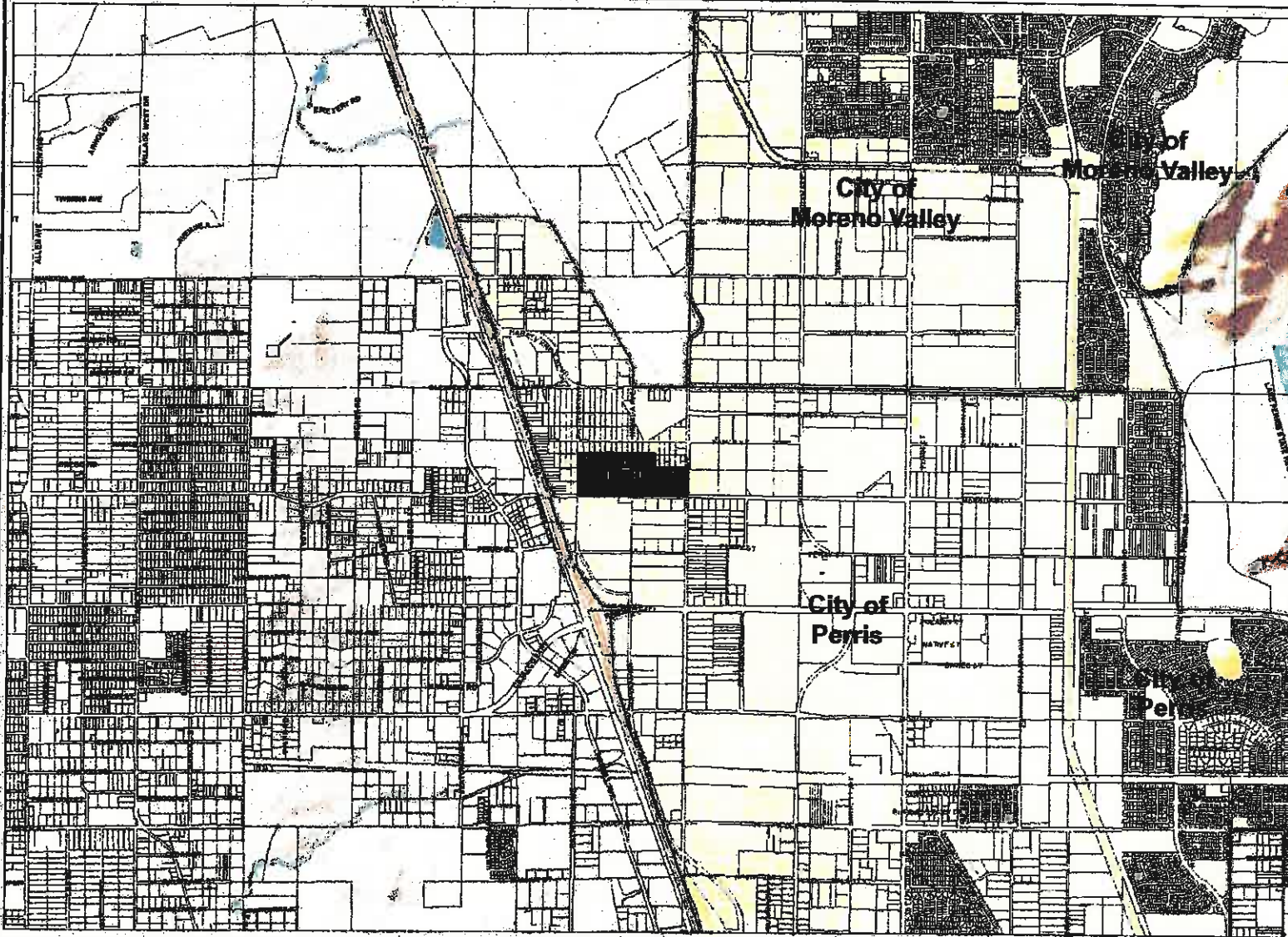
-  ZONE B1 - INNER APPROACH/DEPARTURE ZONE
AIRSPACE REVIEW REQUIRED FOR OBJECTS >35' TALL
-  ZONE B2 - ADJACENT TO RUNWAY
AIRSPACE REVIEW REQUIRED FOR OBJECTS >35' TALL
-  ZONE C1 - EXTENDED APPROACH/DEPARTURE ZONE
AIRSPACE REVIEW REQUIRED FOR OBJECTS >70' TALL

BUILDING	ZONE B1	ZONE B2	ZONE C1	TOTAL
BLDG. A	-	15.71 AC	29.42 AC	45.13 AC
BLDG. B	5.51 AC	2.92 AC	-	8.43 AC
TOTAL	5.51 AC	18.63 AC	29.42 AC	53.56 AC

OPTIMUS LOGISTIC CENTER II ALUC ZONE OVERLAY EXHIBIT

November 10, 2014

My Map



Legend

- City Boundaries
- Cities
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



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8,974 Feet



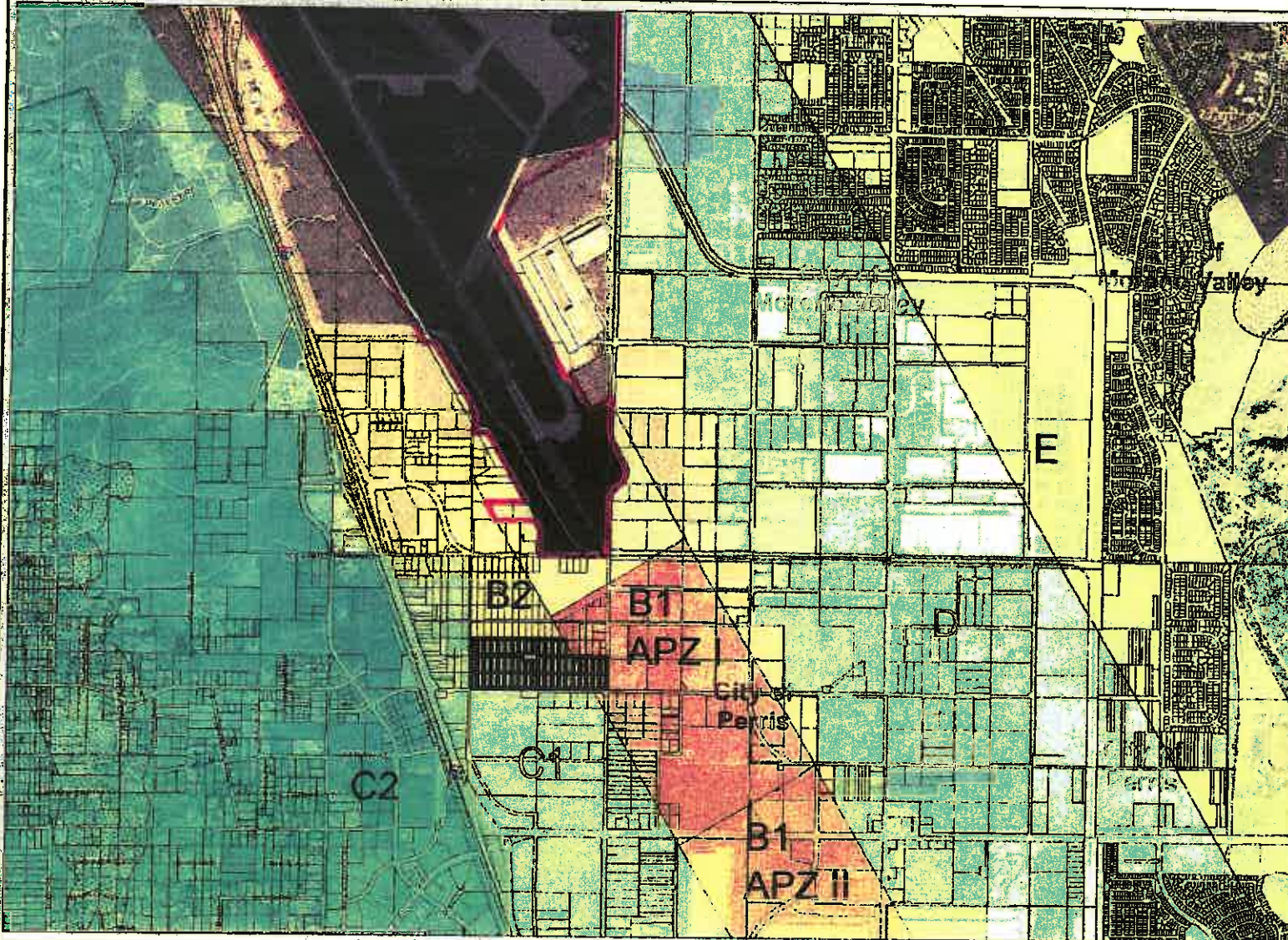
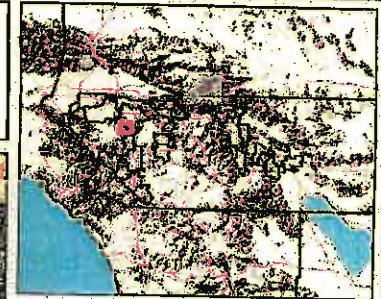
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Notes

My Map



- Legend**
- Airports
 - AIA
 - Airport Compatibility**
 - OTHER ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8
 - C2-HIGHT



0 3,561 7,122 Feet



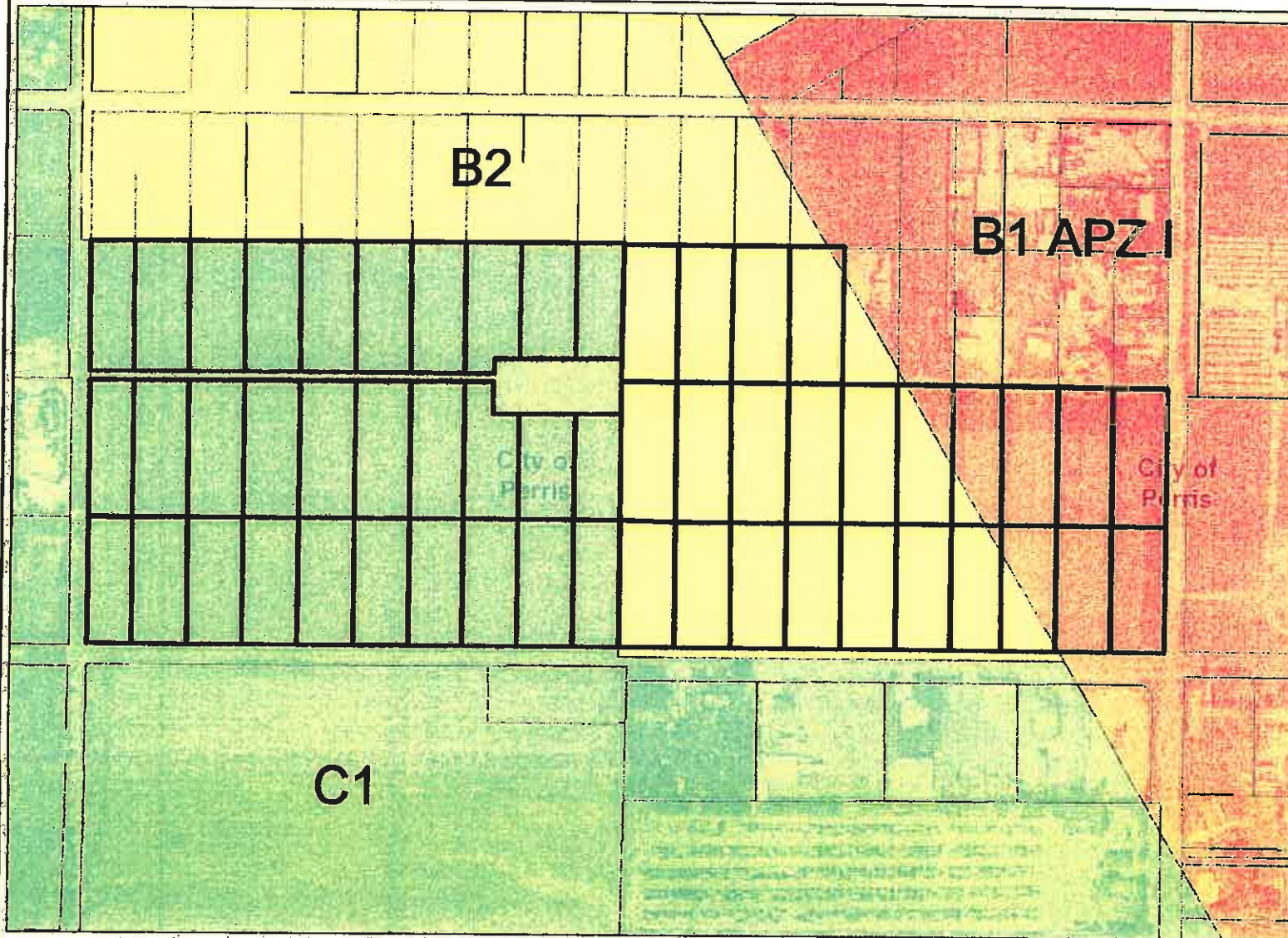
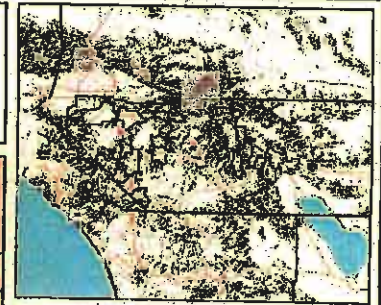
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8



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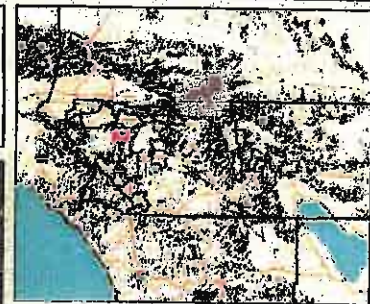
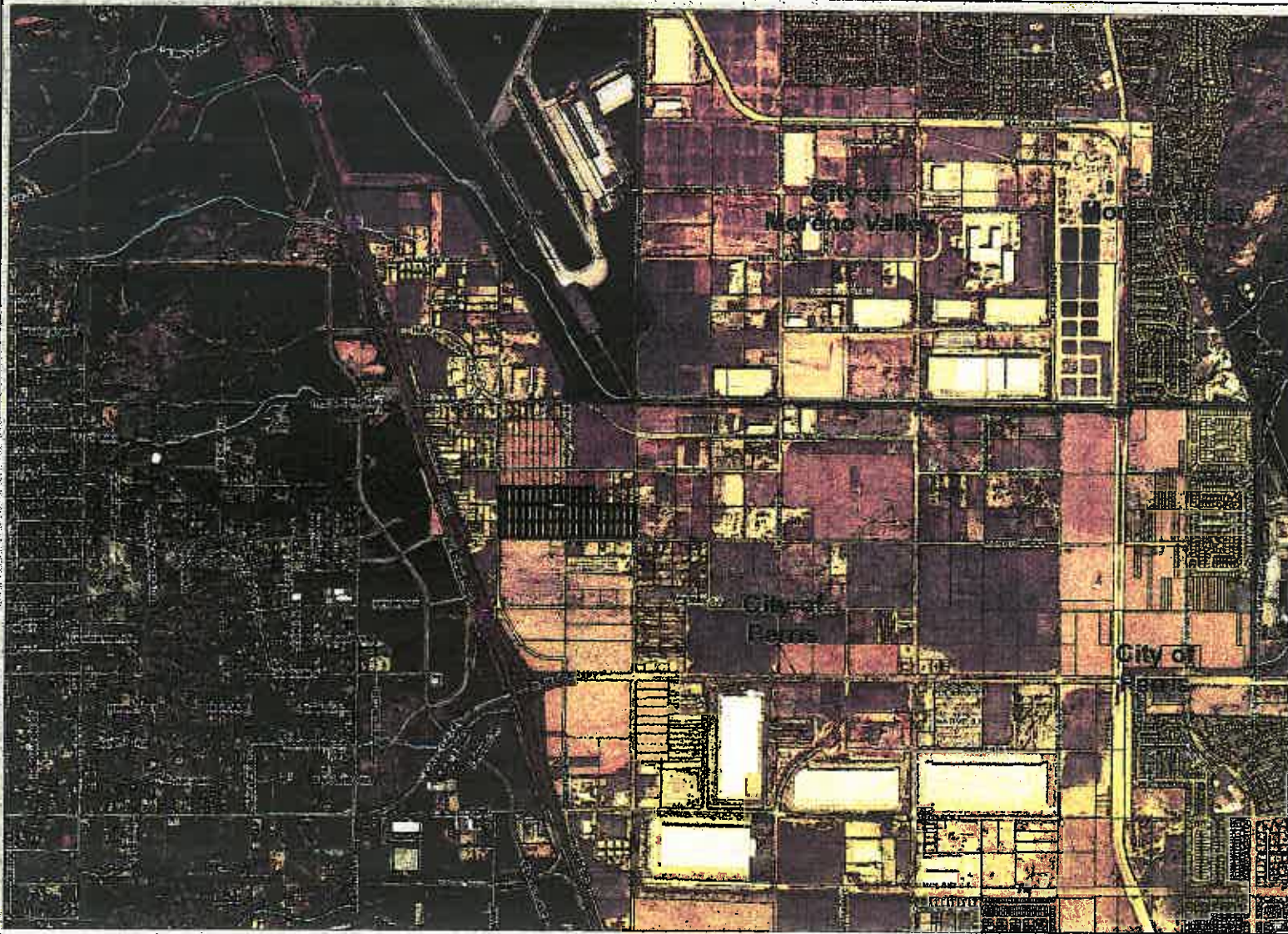


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Notes

My Map



Legend

- City Boundaries
- Cities
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 3,561 7,122 Feet



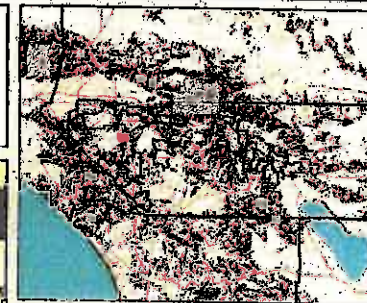
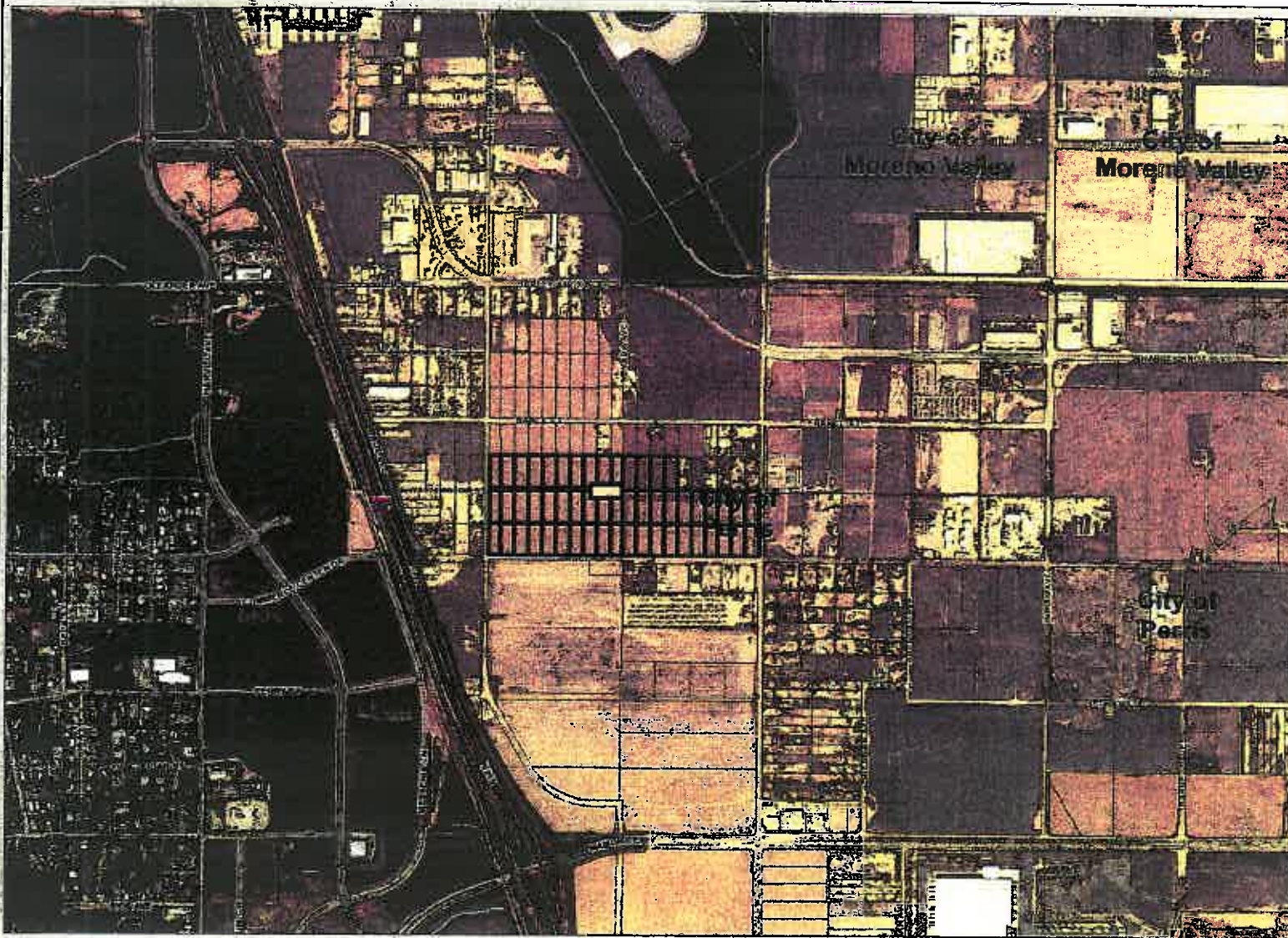
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,780 3,561 Feet



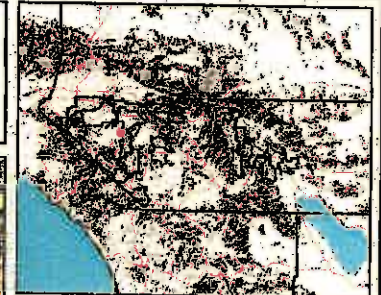
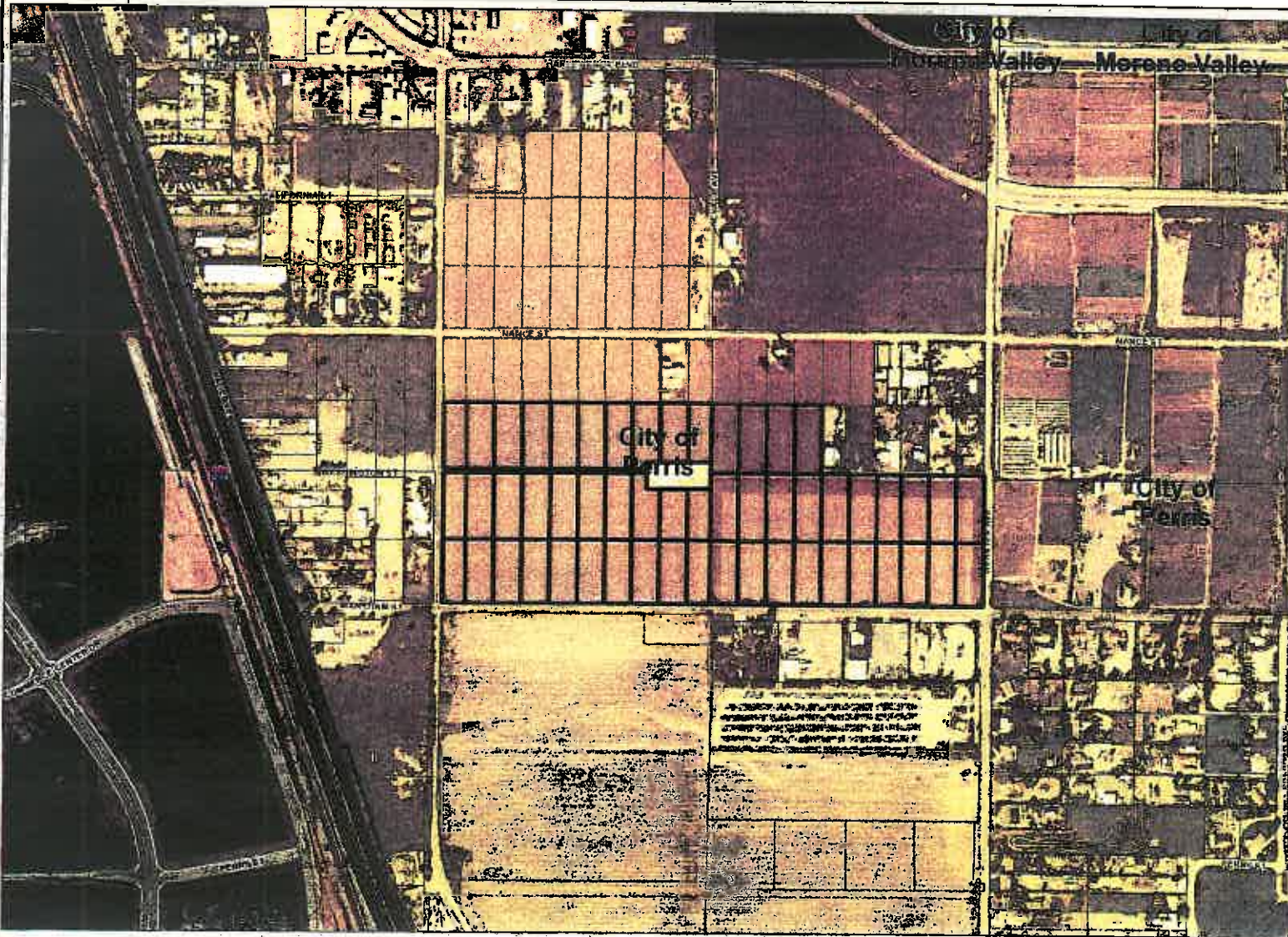
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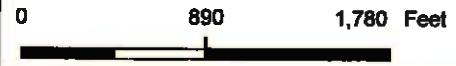
Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roads
- anno
- highways
- HWY
- INTERCHANGE
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- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



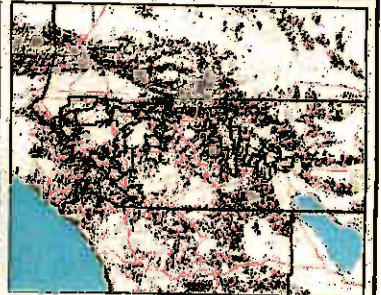
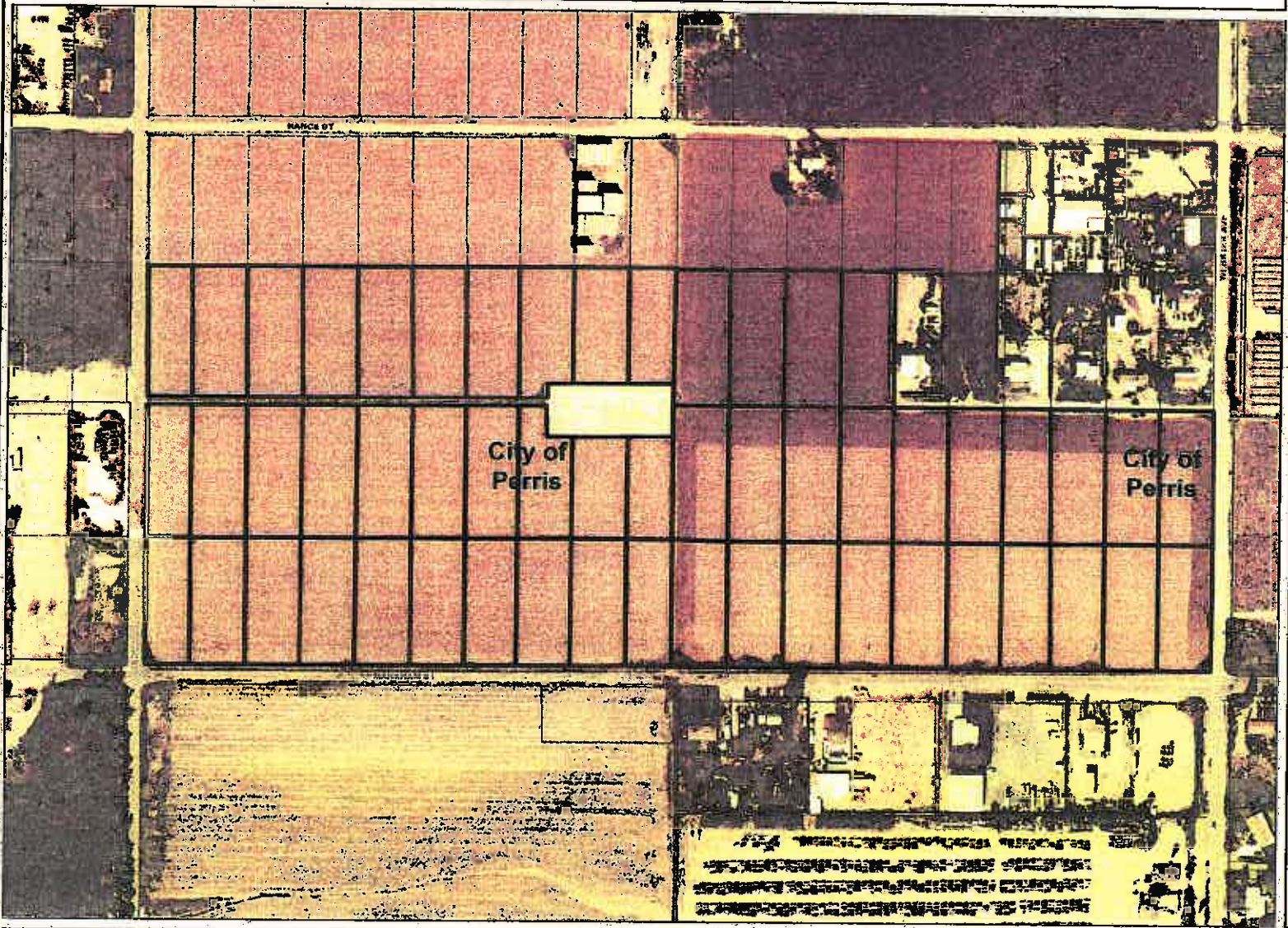
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



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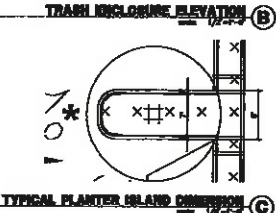
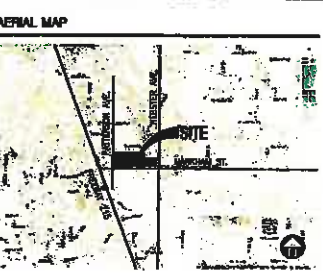
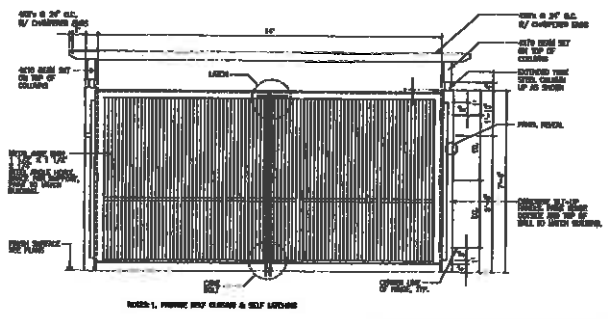
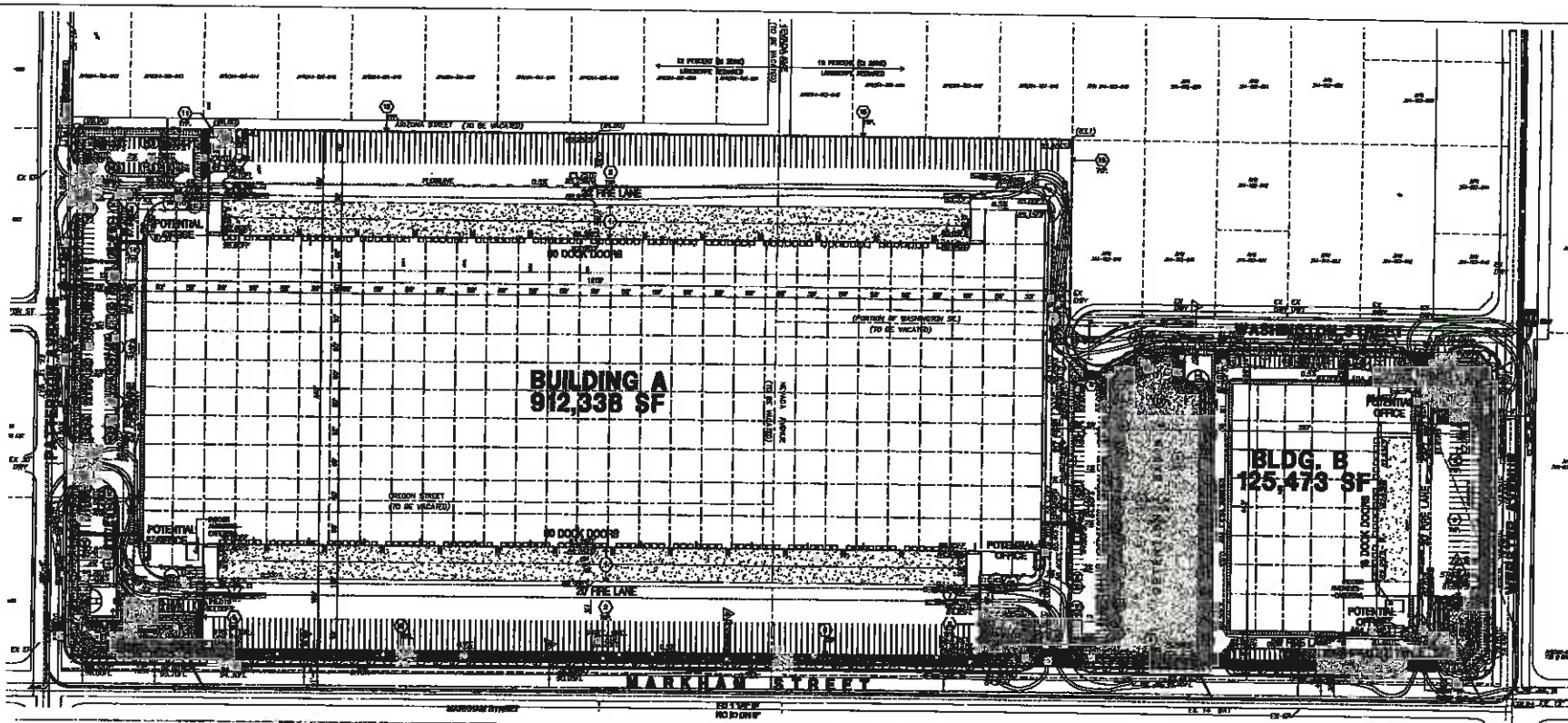
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Notes

PROPOSED LAND USE:

Applicant is requesting that the overall office area within Building "A" be increased from 15,000 sf to 45,000 sf which falls within the March Air Reserve Base Land Use Compatibility Plan Density/Intensity Standards of 250 people per single acre area.

The applicants project is referred to as File # ZAP1102MA14 referenced in the ALUC Development Review Letter dated January 29, 2015.



TABULATION

	Building A	Building B	Total
Site Area			
sq. ft.	1,817,228	209,033	2,107,261 s.f.
In acres	41.7	6.7	48.4 ac
Building Area			
office	46,000	2,600	47,600 s.f.
warehouse	867,208	122,872	990,080 s.f.
Total Building Area	912,338	125,473	1,037,811 s.f.
Coverage	50.2%	43.2%	48.2%
Auto Parking Provided			
1st 20K @ 141,000 s.f.	20	20	40 stalls
2nd 20K @ 122,000 s.f.	10	10	20 stalls
Over 40K @ 145,000 s.f.	128	18	146 stalls
Total	208	48	256 stalls
Auto Parking Provided			
standard (8'x12')	217	53	270 stalls
handicap (8'x12')	9	4	13 stalls
Total	226	57	283 stalls
Trailer Parking Provided			
trailer (10'x30')	387	28	415 stalls
Landscaping Provided	203,708	42,686	246,394 s.f.
% of landscaping provided			12%

GENERAL NOTES - FLOOR PLAN

- SEE SHEET BEFORE PROVIDED BY ARCHITECTURAL DESIGNER.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE ORDINANCES.
- ALL CONCRETE SHALL BE 3000 PSI STRENGTH CONCRETE UNLESS OTHERWISE NOTED.
- ALL REINFORCING SHALL BE #4 UNLESS OTHERWISE NOTED.
- ALL WALLS SHALL BE 8" THICK UNLESS OTHERWISE NOTED.
- ALL ROOFING SHALL BE 2" MINIMUM UNLESS OTHERWISE NOTED.
- ALL EXTERIOR FINISHES SHALL BE AS NOTED.
- ALL INTERIOR FINISHES SHALL BE AS NOTED.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE AS NOTED.
- ALL UTILITIES SHALL BE AS NOTED.
- ALL LANDSCAPING SHALL BE AS NOTED.
- ALL SIGNAGE SHALL BE AS NOTED.
- ALL LIGHTING SHALL BE AS NOTED.
- ALL SECURITY SHALL BE AS NOTED.
- ALL FENCES SHALL BE AS NOTED.
- ALL PAVING SHALL BE AS NOTED.
- ALL GRASS SHALL BE AS NOTED.
- ALL TREES SHALL BE AS NOTED.
- ALL SHRUBS SHALL BE AS NOTED.
- ALL FLOWERS SHALL BE AS NOTED.
- ALL MULCH SHALL BE AS NOTED.
- ALL SOIL SHALL BE AS NOTED.
- ALL IRRIGATION SHALL BE AS NOTED.
- ALL WATER SHALL BE AS NOTED.
- ALL SEWER SHALL BE AS NOTED.
- ALL GAS SHALL BE AS NOTED.
- ALL TELEPHONE SHALL BE AS NOTED.
- ALL CABLE SHALL BE AS NOTED.
- ALL ANTENNAE SHALL BE AS NOTED.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE CITY OF SAN JOSE.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE COUNTY OF SANTA CLARA.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE STATE OF CALIFORNIA.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE FEDERAL GOVERNMENT.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE LOCAL GOVERNMENT.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE PRIVATE SECTOR.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE PUBLIC.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE ENVIRONMENT.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE COMMUNITY.
- ALL RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE FUTURE GENERATIONS.

SITE PLAN KEYNOTES

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99. HATCH SYMBOLS SHALL BE AS NOTED.
100. HATCH SYMBOLS SHALL BE AS NOTED.

PROJECT INFORMATION

Client / Applicant: [Name]

Project Number: 12345

Date: 1/1/2024

Drawn by: JF

Checked by: JF

Approved by: JF

Scale: 1/8" = 1'-0"

Sheet: A1.1

HPA

HPA, Inc.
1000 Lakeside Avenue, Suite 400
San Jose, CA 95128
Tel: 408-438-0772
Fax: 408-438-0773
www.hpainc.com

Optimus Building Corporation

1200 East Florence Avenue
Santa Clara, CA 95050
Tel: (408) 437-0071

Project:
Optimus Logistics Center II

Consultants:

CIVIL: [Name]
STRUCTURAL: [Name]
MECHANICAL: [Name]
ELECTRICAL: [Name]
LANDSCAPE: [Name]
TRUCKING: [Name]

Tel: 408.438.0772

Project Number: 12345
Date: 1/1/2024
Drawn by: JF
Checked by: JF
Approved by: JF

Scale: 1/8" = 1'-0"

Sheet: **A1.1**



8 August 2016

MEMORANDUM FOR RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

**ATTN: MR. PAUL RULL
URBAN REGIONAL PLANNER IV
4080 LEMON STREET, 14TH FLOOR
RIVERSIDE, CA 92501**

**FROM: 452d Mission Support Group/Civil Engineers
Base Operating Support
610 Meyer Drive, Bldg. 2403
March ARB CA 92518-2166**

**SUBJECT: Riverside County Airport Land Use Commission (RCALUC) – ZAP1206MA16 Optimus
Logistic Center II**

1. The March Air Reserve Base (MARB) review of the proposal to construct a two-building warehousing facility on 53.56 acres, Building A is 912,338 square feet, Building B is 125,437 square feet, located easterly of Patterson Avenue, northerly of Markham Street, westerly of Webster Avenue, and southerly on Nance Street within the City of Perris, is provided in this memorandum.
2. The parcel for Building A is not located in an Accident Potential Zone (APZ). The parcel for Building B is located within the Accident Potential Zone I (APZ I), approximately 3,750 feet at the south end of Runway 14-32. Any construction in APZ I is to consist of facilities that are no greater than a single floor; airspace review is required for objects greater than 35 feet in height. Lot coverage is based on calculation in the Floor Area Ratios (FAR) of 1.0 in the case of warehouses in APZ I, per Air Force Instruction (AFI) 32-7063, December 18, 2015 and only a few types of facilities are compatible in this zone. There are restrictions on land uses and heights of natural objects and man-made objects in the vicinity of air installations that may obstruct the airspace, attract birds, cause electromagnetic or thermal interference, or produce dust, steam, smoke, or light emissions to provide for safety of flight and the public welfare.
3. A properly designed storm water management system and landscaping must address Bird/Wildlife Aircraft Strike Hazard (BASH) concerns including proper detention/infiltration of storm water runoff. MARB is requesting the water detention basins are completely drained within 48 hours and have a rock filled bottom, or be underground and covered. Prior to issuance of formal approval, the base will want to review details of the storm water conveyance system and the landscaping plan when they become available. Given the proximity to the airfield, trees which will bear mast or grow to an adequate size for roosting should not be planted. Additional information on reducing BASH hazards can be found in Air Force Pamphlet (AFPAM) 91-212, *Bird/Wildlife Aircraft Strike Hazard (BASH) Management Techniques*, dated February 1, 2004. We request that the City of Perris evaluate the storm water detention basin design to mitigate or eliminate any hazards, and jointly approve the design with MARB.
4. The site is located within an area that is exposed to elevated levels of noise from the base's flying operations; reference the AICUZ for MARB for the noise contours for this area. A more recent model can be found within the Airport Land Use Compatibility Plan (ALUCP) adopted by the Riverside County Airport Land Use Commission (ALUC) dated November 13, 2014. The document titled, "Background Data: March Air Reserve Base/Inland Port Airport Environs," is an insert to the ALUCP. Referencing

Exhibit MA-4 from the aforementioned insert, it would appear this project resides within an area that is subject to 60-70 dB Community Noise Equivalent Level (CNEL). In addition, this site is situated in an area where aircraft flying arrivals and departures from Runway 32 will overfly this proposed facility at relatively low altitudes. In addition, these aircraft will be at a high power setting generating significant noise contours. As such, the employees of this proposed development would be subject to noise occurrences that may generate complaints to the base and the community leadership. Employees and regularly received public may require protection using noise abatement (noise level reduction) provided in the construction design. Additionally, hearing protection for employees may be required by Occupational Safety and Health Administration (OSHA) or other agencies as it relates to safety and health in a high noise work environment.

5. While the proposed use may be consistent with the zoning and land use guidelines, in referencing a map of the area, this site is approximately .71 miles from the arrival end of Runway 32. Based on a statistical analysis by the USAF, Aircraft Accident Data, approximately 10 percent of recorded accidents have taken place within an APZ I Zone (AICUZ). The location of the development presents a concern due to the APZ I at the south end of Runway 14/32. Developments in this area should not be used for high-density functions, since the objective of the land use guidelines in and around APZs is to restrict people-intensive uses and hazardous materials/chemicals, due to a greater risk of aircraft incidents in these areas. The intensity in APZ I is restricted to 25 people and 50 people in APZ II per acre IAW DoD Instruction 4165.57, March 12, 2015 and AFI 32-7063, December 18, 2015.

6. The building height is a cause for concern. We request the latitude and longitude of the southeast and northeast corners and the ground elevation of the warehouse along this façade in order to confirm the building falls within established height restrictions. Consultation with the Federal Aviation Administration will be required and we will also require a Terminal Instrument Procedures (TERPS) review.

7. To help eliminate any potential adverse effects on aircraft operations at MARB, we ask that materials provided in construction be of a non-reflective material such as outside ductwork, windows and roofs by means such as painting or covering. In addition, none of the project improvements shall create:

- Distracting lights which could be mistaken for airport lights
- Sources of dust, steam, or smoke which may impair pilot visibility
- Sources of electronic interference with aircraft communications or navigation.

8. The following are some mitigating measures and it is our desire that all such steps be researched and implemented.

- BMPs must be reviewed by the Base and must not introduce hazards related to bird strikes
- Solar panels or any reflective materials on the rooftop are prohibited
- No hazardous materials should be stored within the APZs
- Noise level hazards must be mitigated
- Personnel density in the floor area within APZ I is not allowed to exceed the 25 persons/acre and 50 persons/acre in APZ II.

9. Thank you for the opportunity to again, review and comment on this proposed development. If you have questions, please contact Ms. Denise Hauser at (951) 655-4862.



SEAN P. FEELEY
Acting Base Civil Engineer

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: **Eastern Municipal Water District
Board Chambers
2270 Trumble Road
Perris CA 92570**

DATE OF HEARING: August 11, 2016

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1206MA16 – Optimus Building Corporation (Representative: Gary Hamro) – City of Perris Case No. DPR 14-01-0015 (Development Plan Review). The applicant is proposing a revision to plans for a two-building warehousing project previously determined to be consistent pursuant to ALUC Case No. ZAP1102MA14, specifically to increase the office area in Building A (which is not located in an Accident Potential Zone) from 15,000 square feet to 45,000 square feet. As amended, Building A would provide 45,000 square feet of office area and 867,338 square feet of warehouse area. No changes are proposed for Building B. The overall floor areas of Buildings A (912,338 square feet) and B (125,437 square feet) would remain the same as originally proposed. The 53.56-acre (gross) project site is located easterly of Patterson Avenue, northerly of Markham Street, westerly of Webster Avenue, and southerly of Nance Street (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Kenneth Phung of the City of Perris Planning Department at (951) 943-5003.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No. **ZAP1206MA16**
APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 6-29-16
 Property Owner Gary Hamra/Optimus Bldg. Corporation Phone Number 562-237-4091
 Mailing Address 12040 East Florence Ave
Santa Fe Springs, CA 90670

Agent (if any) Gary Hamra/Michael Naggar Phone Number 562-237-4091
 Mailing Address 12040 East Florence Ave
Santa Fe Springs, CA 90670

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address North of Markham, East of Patterson,
West of Webster
 Assessor's Parcel No. 314-161-(11 thru 41) 314-162-(17 thru 40) Parcel Size 51.05 ac.
 Subdivision Name Val Verde Tract Lot 6 of Perry Book 7 Page 45
 Lot Number Lots 17, 18, 19, 20 Blk F Lots 1-20 Zoning Classification L1

March 31, B21, AP21

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures. Include additional project description data as needed.

Existing Land Use (describe) Light Industrial - Refer to File #
ZAP1102MA14

Proposed Land Use (describe) See attached description

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) _____
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site Maximum Number ALUC Will Evaluate
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) No change to
 Highest Elevation (above sea level) of Any Object or Terrain on Site previous approval

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?
 Yes
 No
 If yes, describe _____

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)

Date Received		Type of Project
Agency Name	<u>City of Perris</u>	<input type="checkbox"/> General Plan Amendment
Staff Contact	<u>Kenneth Phung</u>	<input type="checkbox"/> Zoning Amendment or Variance
Phone Number	<u>951-943-5003</u>	<input type="checkbox"/> Subdivision Approval
Agency's Project No.	<u>OPR 14-01-0015</u>	<input type="checkbox"/> Use Permit
		<input type="checkbox"/> Public Facility
		<input type="checkbox"/> Other

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1..... Completed Application Form
- 1..... Project Site Plan – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1..... 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets.. Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets.. Gummed address labels of the referring agency (City or County).
- 1..... Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1..... Completed Application Form
- 1..... Project Site Plans – Folded (8-1/2 x 14 max.)
- 1..... Elevations of Buildings - Folded
- 1..... 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1..... Check for review—See Below

Rull, Paul

From: Gary Hamro <garyhamro@gmail.com>
Sent: Monday, August 15, 2016 8:48 AM
To: Rull, Paul
Subject: Re: ZAP1206MA16 continuance to Sept 8

Paul –

Thank you for the heads up! Let's continue to October 13.....

Thanks, Gary

Gary Hamro | OPTIMUS GROUP | garyhamro@gmail.com
12040 East Florence Avenue, Santa Fe Springs, CA 90670 | 562 237-4071

From: "Rull, Paul" <PRull@rctlma.org>
Date: Monday, August 15, 2016 at 7:01 AM
To: Gary Hamro <garyhamro@gmail.com>
Subject: ZAP1206MA16 continuance to Sept 8

Good Morning Gary,

Please be aware that your project was continued to the September 8 meeting. Please also note that the staff report deadline for that Sept 8 meeting is tomorrow to John. You can always request another continuance to October 13 if you need more time.

If you have any questions please feel free to contact me.

Paul Rull

ALUC Urban Regional Planner IV



Riverside County Airport Land Use Commission
4080 Lemon Street, 14th Floor
Riverside, Ca 92501
(951) 955-6883
(951) 955-5177 (fax)
PRULL@RCTLMA.ORG

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 2.2 3.3

HEARING DATE: ~~October 13, September 8, 2016~~ (continued from ~~September 8 and August 11, 2016~~)

CASE NUMBER: ZAP1204MA16 – Duke Realty, Adam Schmid
(Representative: Albert A. Webb Associates, Nicole
Torstvet)

APPROVING JURISDICTION: City of Perris

JURISDICTION CASE NO: PLN 16-00008 (Development Plan Review)

MAJOR ISSUES: The applicant is proposing to construct a warehouse/distribution center on a site located predominately within the portion of Airport Compatibility Zone B1 that lies within Accident Potential Zone I (APZ I), as delineated by the United States Air Force in the 2005 Air Installation Compatible Use Zone (AICUZ) study. ~~March Air Reserve Base officials contend that the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan is not consistent with current Air Force guidance found in Air Force Instruction 32-7063 dated December 18, 2015, which addresses Air Force policies on Land Use Compatibility in accordance with Department of Defense Instruction (DoDI) No. 4165.57. These inconsistencies include conflicts with regard to lot coverage, intensity, and permitted use definitions. The Air Force understands the DoDI as limiting intensity in APZ I to 25 people per acre (in any given acre), rather than an average intensity of 25 persons per acre of land area. The project results in a single-acre intensity of 56 or 66 people in Zone B1-APZ I, which is consistent with the ALUCP, but not with the Air Force DoDI interpretation. March Air Reserve Base/Inland Port Airport Compatibility Plan adopted in November 2014. However, since the adoption of the plan, there has been an evolution in the Air Force's position regarding the intent of the APZ I standard of 25 people per acre, as specified in Department of Defense Instruction (DoDI) No. 4165.57 dated March 12, 2015 and Air Force Instruction (AFI) 32-7063 dated December 18, 2015. These new documents may ultimately need to be addressed through an amendment to the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.~~

In July, ALUC issued a determination of consistency for ZAP1199MA16, a proposal by the City of Perris to amend the City's General Plan, the Perris Valley Commerce Center Specific Plan, and the City's Zoning Ordinance to bring those documents into consistency with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. That proposal has been tentatively approved by the Perris City Council. Final adoption is expected to occur prior to ALUC's November 10 meeting. Upon final adoption of the Citywide and area-wide amendments noted above, projects such as PLN 16-00008, which do not require site-specific general plan amendments, specific plan amendments, or zone changes, will be able to be evaluated for ALUCP

consistency by the City of Perris without a mandatory ALUC referral. It is the applicant's intent to utilize the new process that will become available to projects in that City once final adoption of the Citywide and area-wide amendments has occurred. The applicant has requested continuance to ALUC's November 10 meeting with an eye toward possible withdrawal of this ALUC application prior to November 10.

RECOMMENDATION: The applicant is requesting additional time to address issues raised by the Air Force with City staff; therefore, staff recommends that the Commission **CONTINUE** consideration of the matter to its **November 10, ~~October 13, 2016~~ September 8, 2016**, public hearing agenda.

PROJECT DESCRIPTION: The Development Plan Review is a proposal to develop a 668,681 square foot warehouse/distribution center on 30.7 net acres. The building floor plan consists of 649,481 square feet of warehouse area and 19,200 square feet of office area. **(The applicant is also proposing a tentative parcel map [PLN 16-05150] to merge the six existing parcels comprising the site into one lot. The parcel map does not require ALUC review – no new lots created.)**

PROJECT LOCATION: The site is located southerly of Markham Street, westerly of Indian Avenue, easterly of Barrett Avenue and northerly of Perry Street, within the City of Perris, approximately 6,360 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

- a. Airport Influence Area: March Air Reserve Base
- b. Land Use Policy: Zones B1-APZ I, B2, and C1
- c. Noise Levels: 60-70 CNEL from aircraft

BACKGROUND:

Non-Residential Average Land Use Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones B1-APZ I, B2, and C1. Zone B1-APZ I limits average intensity to 25 people per acre, and Zones B2 and C1 limit average intensity to 100 people per acre. No development generating any occupancy is located within the C1 portion of the site.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the following rates were used to calculate the occupancy for the proposed building in Compatibility Zones B1-APZ I and B2:

- Warehouse – 1 person per 1,428 square feet (35% of building code of 1 person per 500 square feet)
- Office – 1 person per 200 square feet (with 50% reduction)

The proposed building would include a total of 649,481 square feet of warehouse area and 19,200 square feet of office area, resulting in a total occupancy of 551 people and an average intensity of 18 people per acre, based on the site's total acreage of 30.7 acres, which is consistent with both Zone B1-APZ I average criteria of 25 people per acre, and Zone B2 average criteria of 100 people per acre. Zone B1-APZ I contains 17.78 acres and has 356,756 square feet of warehouse area and 7,000 square feet of office area, resulting in a total occupancy of 285 persons and an average intensity of 16 people per acre. Zone B2 contains 12.49 acres and has 294,030 square feet of warehouse area and 11,500 square feet of office area, resulting in a total occupancy of 264 persons and an average intensity of 21 people per acre. The average intensities in each zone are consistent with the average intensity criteria referenced above.

Although the planned warehouse is designed and anticipated to be used as high-cube warehouse, if the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4 (50% of 1 person per 500 square feet), the building would accommodate a total occupancy of 745 people, resulting in an average intensity of 24 people per acre, which is also consistent with the average intensity criteria referenced above. The Zone B1-APZ I portion would result in a building occupancy of 392 people and an average intensity of 22 people, and the Zone B2 portion would result in a building occupancy of 352 people and an average intensity of 28 people. The average intensities in each zone are consistent with Zone B1-APZ I average intensity criteria of 25 people, and B2 average intensity criteria of 100 people.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle and 1.0 persons per truck trailer parking/dock space in the absence of more precise data). Based on the number of standard parking spaces provided of 389 and truck trailer spaces of 108, the total occupancy would be estimated at 692 people. This total occupancy within the 30.7 acre project site (which includes 0.38 acre in Zone C1) results in an average intensity of 23 people per acre, which is consistent with Zone B1-APZ I average intensity criteria of 25 people, and B2 average intensity criteria of 100 people.

If the entire building were utilized as office space (with the 50 percent reduction) or for manufacturing (at 1 person per 200 square feet), the Zone B1-APZ I portion would result in an occupancy of 1,819 people and an average intensity of 102 people, and the Zone B2 portion would result in 1,528 people and an average intensity of 122 people. This would be inconsistent with both Zone B1-APZ I and Zone B2 average intensity criteria. However, this scenario is not being proposed and is also unrealistic, as the site would not be able to provide the necessary number of parking stalls to cater to a manufacturing use or an all-office use.

Non-Residential Single-Acre Land Use Intensity: As adopted, Compatibility Zone B1-APZ I limits maximum single-acre intensity to 100 people, and Zones B2 and C1 limits maximum single-acre intensity to 250 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area for the building would consist of 7,000 square feet of office area and 30,560 square feet of warehouse area. The 7,000 square foot office area and approximately 15,750 square feet of warehouse area is located within Zone B1-APZ I, and approximately 15,750 square feet of warehouse area is located within Zone B2 within the single-acre area. A portion of the single-acre area, 6,000 square feet, is located outside of the building and does not affect occupancy counts. This results in a total occupancy of 57 people (46 people in Zone B1-APZ I and 11 people in Zone B2 within the single-acre area), which is consistent with the single-acre intensity criteria referenced above.

If the warehouse area were calculated based on use as a fulfillment center pursuant to March Air Reserve Base/Inland Port Airport Compatibility Plan Policy 2.4, the maximum single-acre area of 7,000 square feet of office area and 30,560 square feet of warehouse area would result in a single-acre occupancy of 66 people, which is also consistent with the single-acre criterion referenced above.

If the most intense single-acre area were entirely utilized as office space (with the 50 percent reduction) or for manufacturing uses (at 1 person per 200 square feet), the single-acre intensity would be 218 people, which is inconsistent with the Zone B1-APZ I criterion of 100 people, although consistent with the Zone B2 criterion of 250 people. However, this scenario is not being proposed and is also unrealistic, as the site would not be able to provide the necessary number of parking stalls to cater to an all office or manufacturing use.

Prohibited and Discouraged Uses: A warehouse/distribution facility is not a prohibited or discouraged use in Compatibility Zones B1-APZ I, B2 or C1 of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (March ALUCP). The March ALUCP further specifies that uses listed in the Air Installation Compatible Use Zone (AICUZ) study as not compatible in APZ I or APZ II are prohibited uses within those zones. A warehouse/distribution facility is a compatible use within Accident Potential Zone I pursuant to the AICUZ and subsequent (2011) Department of Defense Instruction (DoDI) No. 4165.57.

Noise: The March ALUCP depicts the site as being in an area subject to aircraft noise within the 60-70 CNEL range. As a primarily industrial use not sensitive to noise (and considering typical anticipated building construction noise attenuation of approximately 20 dBA), the warehousing area would not require special measures to mitigate aircraft-generated noise. However, a condition is included to provide for adequate noise attenuation within office areas of the building.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1488 feet above mean sea level (1488 AMSL). At a distance of approximately 6,360 feet from the runway to the closest parcel

within the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1551 feet AMSL. The maximum finished floor elevation is 1464 feet AMSL. With a maximum building height of 42 feet, the top point elevation would be 1506 feet AMSL. Therefore, review by the Federal Aviation Administration Obstruction Evaluation Service is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically. However, development within Compatibility Zone B1-APZ I is limited to a maximum lot coverage of 50%. The proposed total building size of 15.3 acres would result in a lot coverage of 49%. The area of the building within Zone B1-APZ I is 363,756 square feet, which results in a lot coverage of 46% within the portion of the site located in that zone. The overall lot coverage is 27%. There are no lot coverage restrictions in Zones B2 or C1.

Inconsistencies with March Air Reserve Base: Although the proposed project is consistent with the March ALUCP, it is inconsistent with the Air Force interpretation of DoDI 4165.57 regarding allowable intensities in the Accident Protection Zones. While the lot coverage for this facility is consistent with the allowable floor area ratio for warehouses as per Table A2.1 of Air Force Instruction 32-7063 and no educational facilities are proposed, Air Force/March Air Reserve Base representatives have advised that the DoDI and AFI intensity limitations of 25 persons per acre in APZ I and 50 persons per acre in APZ II are maximum intensity limits, not average intensity limits. These limits were not specified in the 2005 AICUZ study, but were established in 2011 with the adoption of Department of Defense Instruction No. 4165.57. At no time between 2011 and 2014 did the Air Force or Base officials advise ALUC staff that either the Joint Land Use Study or the Draft ALUCP was relying on an incorrect understanding of this DoDI.

Based on the Air Force/March Air Reserve Base interpretation of its documents, the ALUCP's allowance for up to 100 persons in any given single-acre area of the APZ is inconsistent with the DoDI and AFI and needs to be modified as soon as reasonably possible. Additionally, the Air Force/March Air Reserve Base interpretation evaluates allowable intensity on the basis of building area, not site area. Thus, a project with a building area of 15.35 acres in APZ I would be limited to a total occupancy of 383 persons. In this case, the building is split between areas within and outside the APZ. The total occupancy of the portion of this building in APZ I should not exceed 208 persons, with not more than 25 in any one acre. At minimum, the office area would need to be eliminated from the APZ I portion of the building.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Children's schools, day care centers, libraries, hospitals, skilled nursing and care facilities, congregate care facilities, hotels/motels, places of assembly (including churches and theaters), noise sensitive outdoor nonresidential uses, critical community infrastructure facilities and hazards to flight.
 - (f) Manufacturing of food and kindred products, textile mill products, apparel, chemicals and allied products, rubber and plastic products, fabricated metal products, professional, scientific, and controlling instruments, photographic and optical goods, watches and clocks.
 - (g) Retail trade; eating and drinking establishments; personal services; professional services; educational services; governmental services; medical facilities; cultural activities; any other uses providing on-site services to the public.
3. Prior to issuance of any building permits, the landowner shall convey and have recorded an aviation easement to the March Inland Port Airport Authority. Contact March Joint Powers Authority at (951) 656-7000 for additional information.
 4. The attached notice shall be given to all prospective purchasers of the property and tenants of the building.
 5. The proposed detention basins on the site (including water quality management basins) shall

be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees that produce seeds, fruits, or berries.

6. This project has been evaluated as a proposal for the establishment of an industrial warehouse with not more than 7,000 square feet of office area in any given acre. The City of Perris shall require additional review by the Airport Land Use Commission prior to the establishment of any uses in this structure that would be considered to have an occupancy level greater than one person per 100 square feet (minimum square feet per occupant less than 100) pursuant to California Building Code (1998) Table 10-A.
7. Noise attenuation measures shall be incorporated into the design of the office areas of the structure, to the extent such measures are necessary to ensure that interior noise levels from aircraft operations are at or below 45 CNEL.
8. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
9. Zoned fire sprinkler systems shall be required throughout the building.
10. Second-story floor area, if any, shall be limited to those portions of the site located in Compatibility Zone B2.
11. In order to ensure proper functioning of the project drain system to avoid potential hazards to March Air Reserve Base flights, an additional Best Management Practice (BMP) shall be added to the project Water Quality Management Plan (WQMP). The applicant shall enter into a covenant and agreement with the City of Perris similar to the Water Quality Management Plan and Urban Runoff BMP Transfer, Access and Maintenance Agreement between March Joint Powers Authority and Sun Life Assurance Company of Canada (Document No. 2014-0030862), which shall be recorded prior to issuance of a certificate of occupancy. A copy of the recorded agreement and BMP shall be provided to the Riverside County Airport Land Use Commission. The BMP shall include the following program:
 - a. The property owner (Pivovaroff Third Family Ltd Partnership, Nicholas and Leigh Bruno, and Jung-Huang and Li-Yuan Chen or its successor(s)-in-interest, hereinafter "Owner") or its designated representative shall monitor the conditions of the water

quality management basins and promptly inspect such basins following the completion of each “significant” rain event and the 48-hour period thereafter.

- b. If any standing water remains in a water quality management basin that is not beneath a rock, gravel, or other layer following the completion of the “significant” rain event and the 48 hour period thereafter, Owner or its designated representative shall arrange to have such standing water either removed or covered within the next two business days following the conclusion of the 48 hour period.
 - c. In the event that the standing water situation recurs on a regular basis following the 48-hour detention period, the basin may no longer be draining as originally designed to prevent standing water from rising above a rock, gravel or other layer (for example, due to a rise in groundwater levels or other circumstance beyond Owner’s ability to control). In that situation, Owner or its designated representative shall promptly engage a licensed civil engineer to prepare a design plan to assure that such condition does not persist for more than 48 hours following the conclusion of a “significant” rain event. The required engineering design solution shall be implemented promptly, but no later than 180 days following its approval by all applicable authorities, providing that, until such time as the engineered design solution is implemented, Owner or its designated representative will maintain water levels below the rock, gravel, or other layer.
12. **The conditions set forth in the Air Force comment letter dated July 22, 2016, shall be complied with as part of ALUC’s consistency determination.**

Rull, Paul

From: Sandy Chandler <sandy.chandler@webbassociates.com>
Sent: Tuesday, September 20, 2016 3:56 PM
To: Rull, Paul
Cc: Nicole Torstvet
Subject: RE: ZAP1204 MA16 Duke Perris TPM 20160812.pdf

Hi Paul—On behalf of the applicant, please continue to the next hearing date.

Sandy G. Chandler, AICP - Entitlement Manager

Albert A. Webb Associates

3788 McCray Street, Riverside, CA 92506

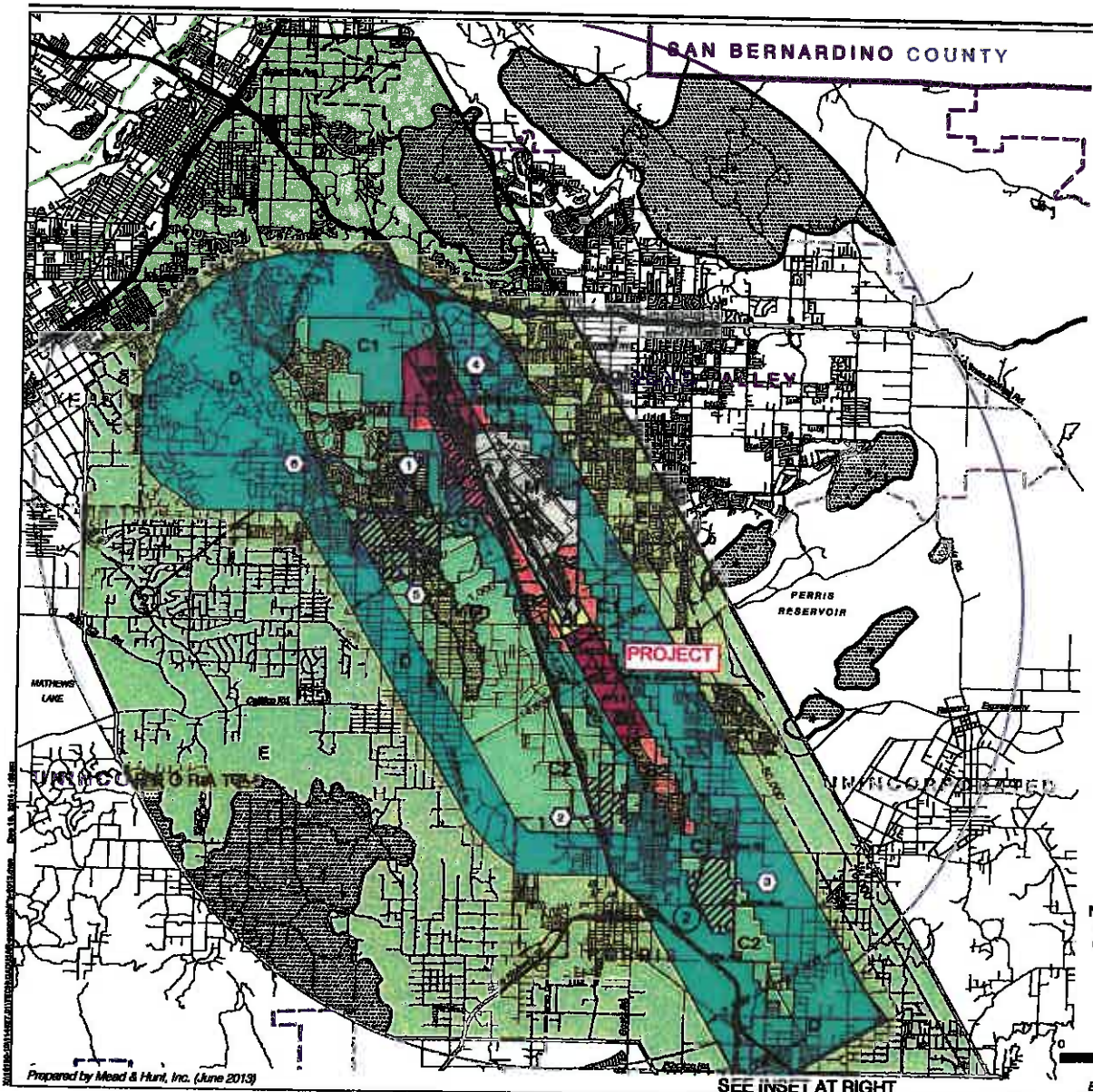
t: 951.248.4291

e: sandy.chandler@webbassociates.com w: www.webbassociates.com

[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

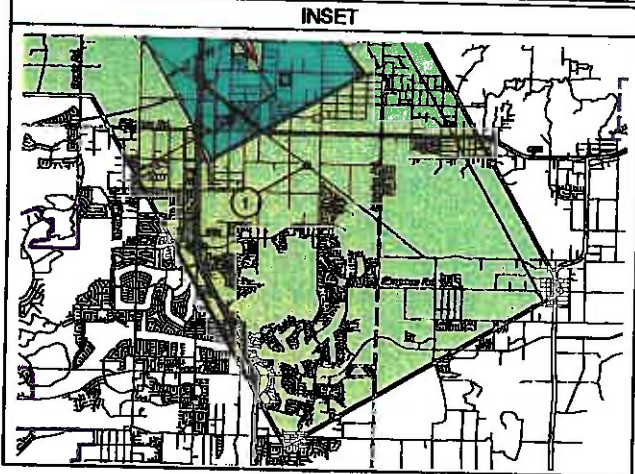
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① March JPA; March Business Center/Meridian
- ② Perris; Harvest Landing
- ③ Perris; Park West
- ④ Moreno Valley; Affordable Housing
- ⑤ March JPA; Ben Clark Training Center
- ⑥ Riverside; Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



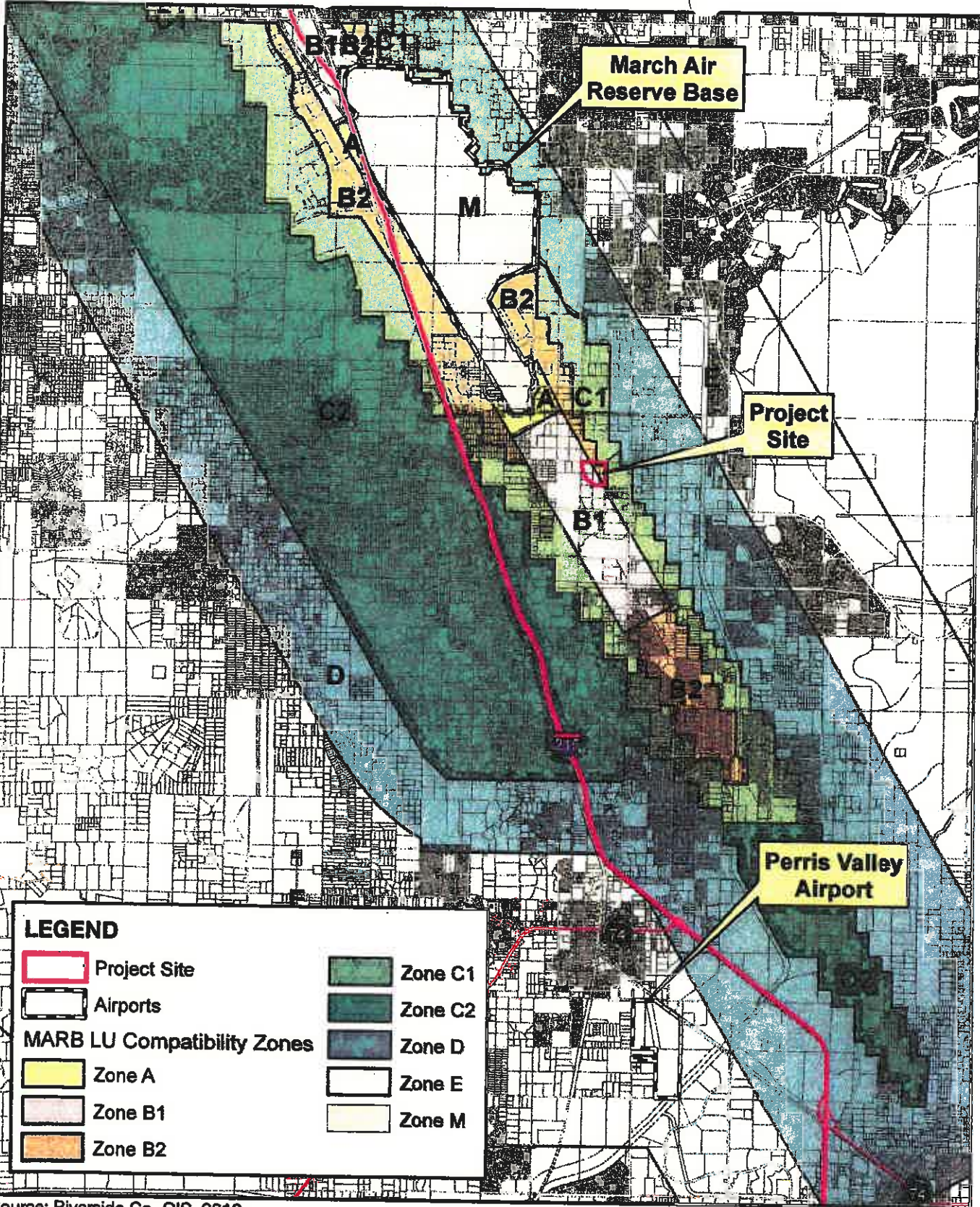
Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)

Map MA-1
Compatibility Map
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)











SEE INSET AT RIGHT

Base map source: County of Riverside 2013



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LEGEND

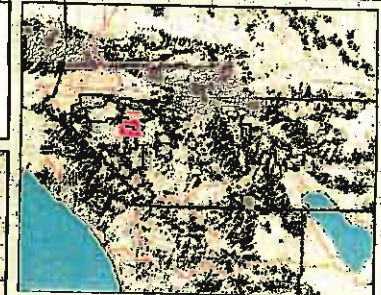
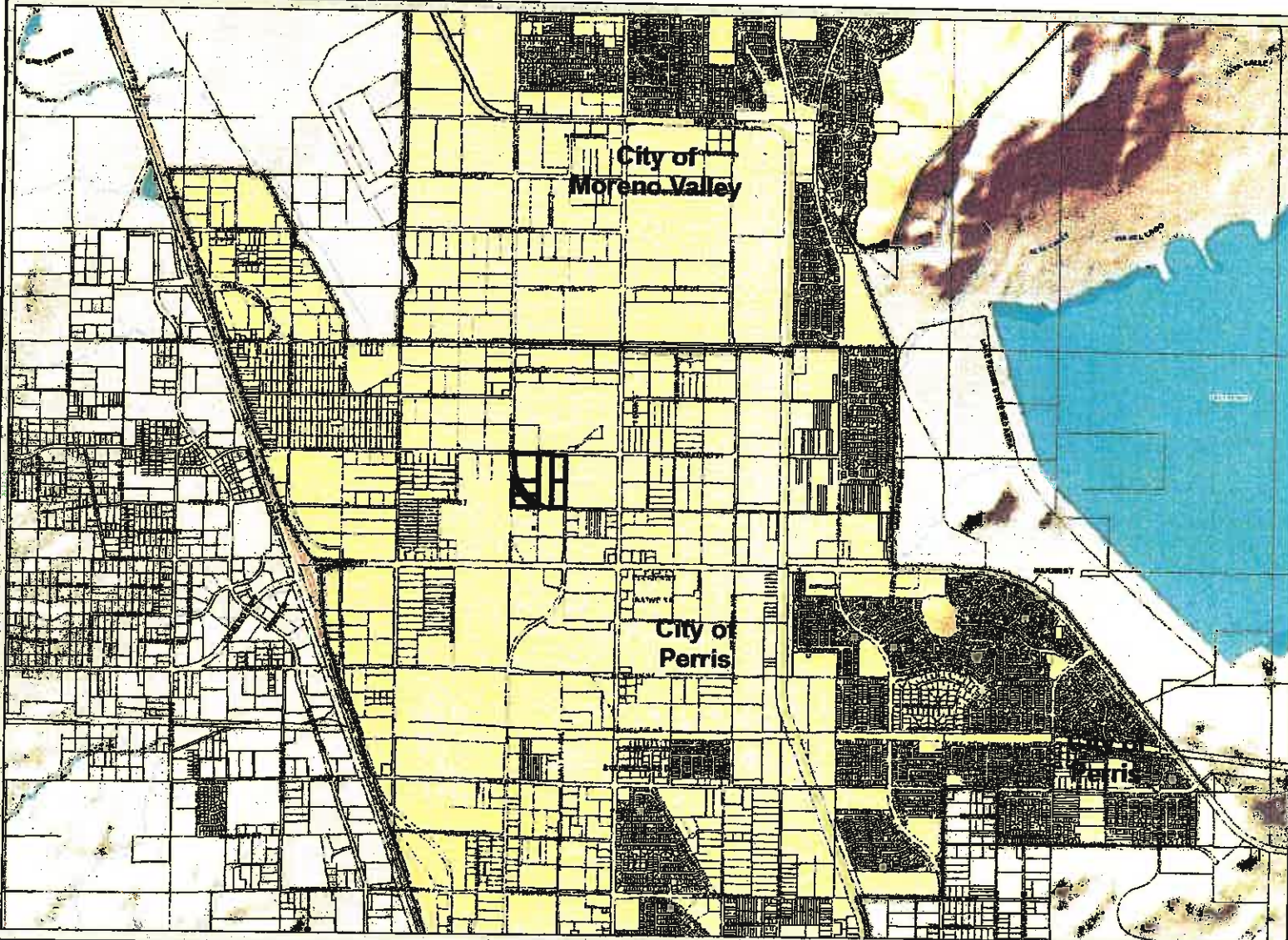
	Project Site		Zone C1
	Airports		Zone C2
MARB LU Compatibility Zones			
	Zone A		Zone D
	Zone B1		Zone E
	Zone B2		Zone M

Source: Riverside Co. GIS, 2016.

**Project Site Relationship to Airports and
MARB Land Use Compatibility Zones**
Indian Ave. and Markham St.



My Map



- ### Legend
- City Boundaries
 - Cities
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - majorroads
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers



0 4,473 8,946 Feet

A horizontal scale bar with markings at 0, 4,473, and 8,946 feet.



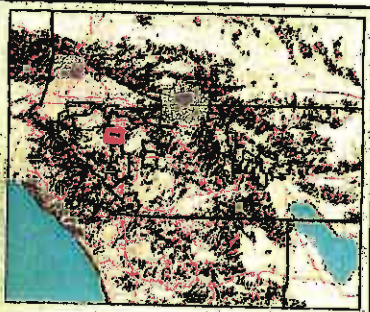
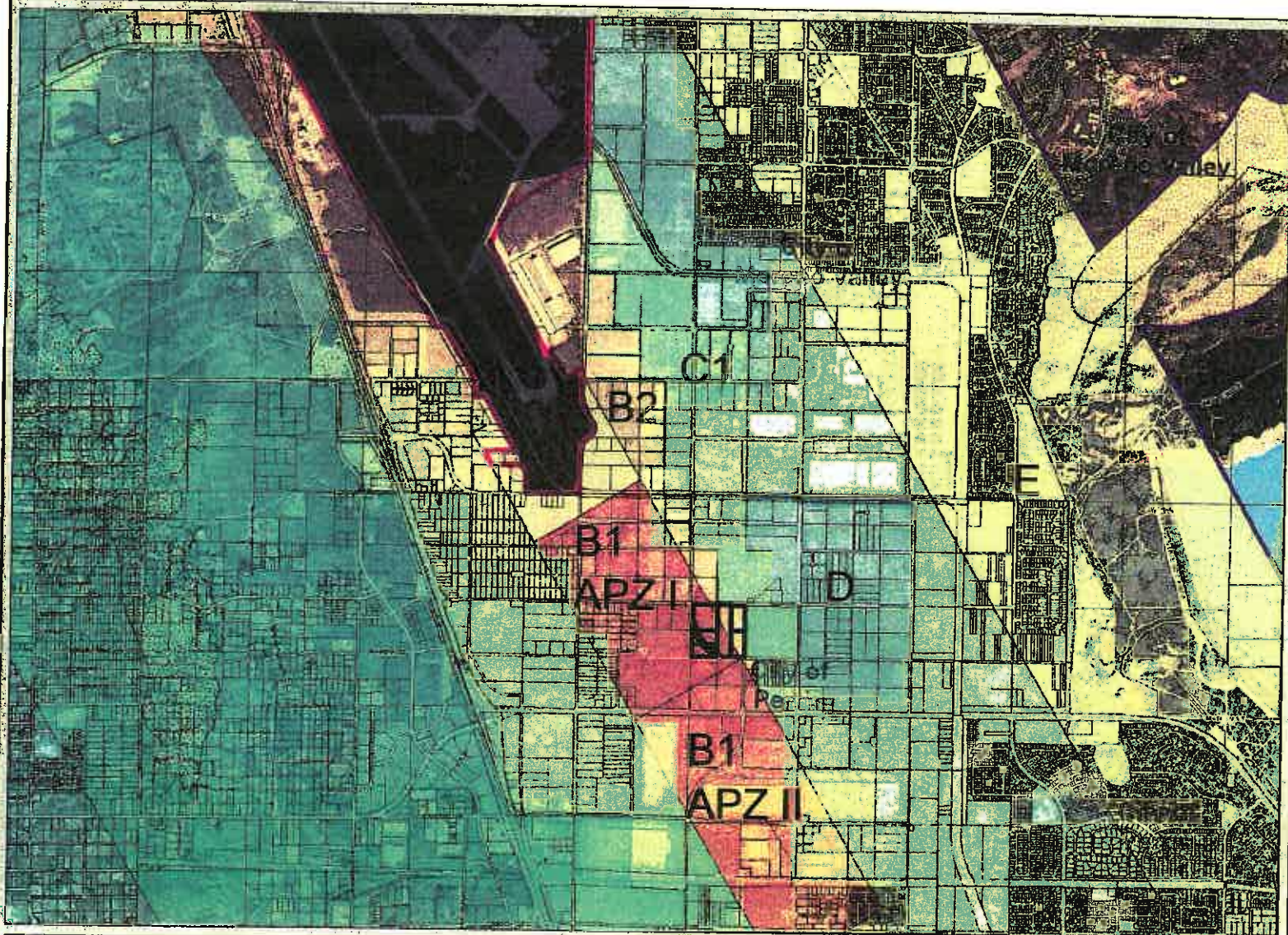
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Notes

My Map



Legend

- Airports
- AIA

Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 4,473 8,946 Feet



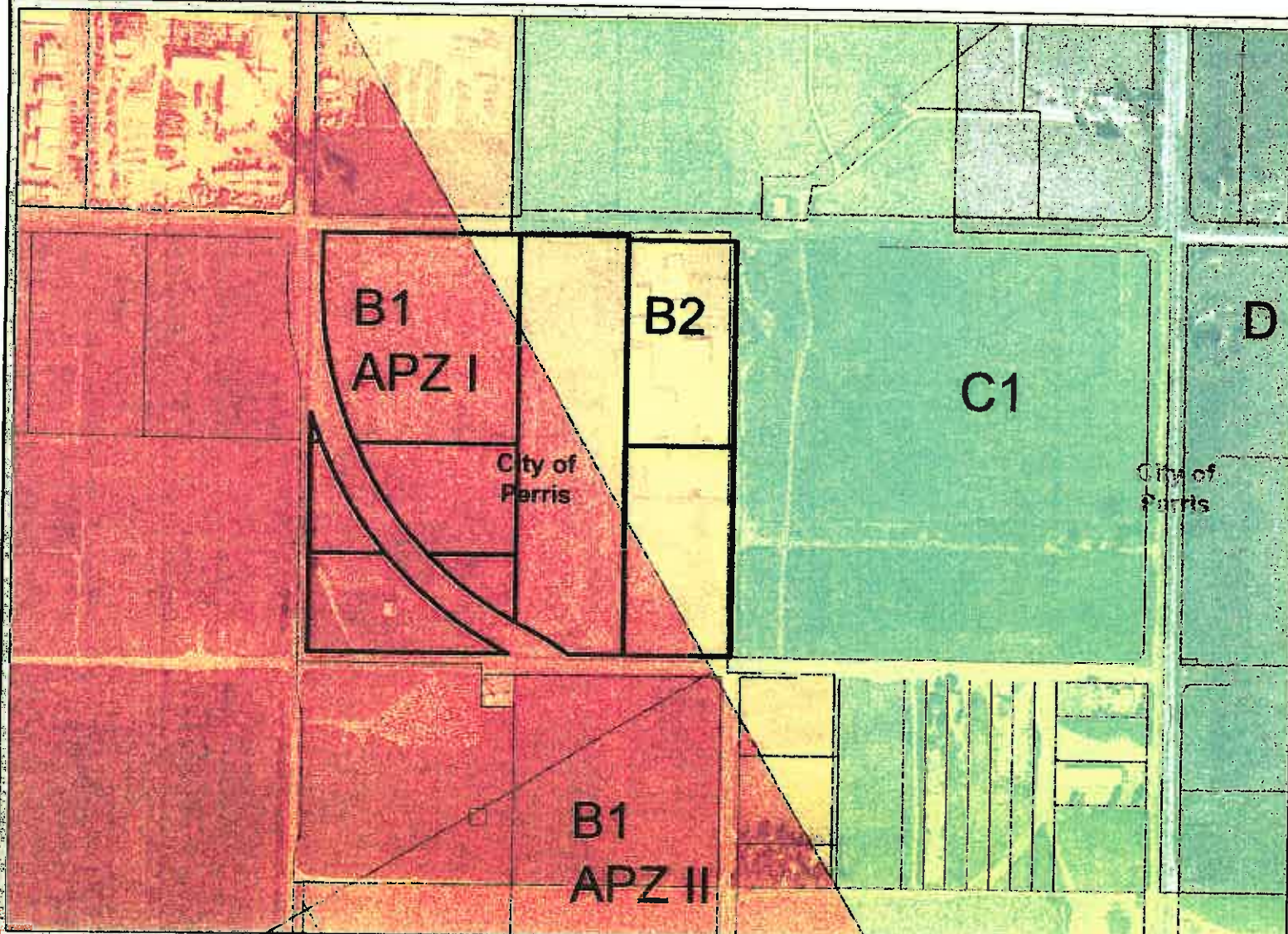
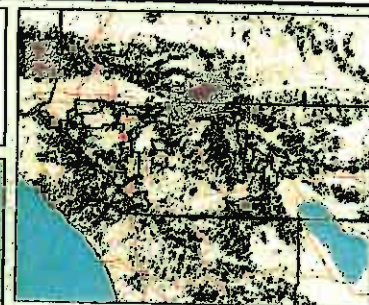
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Notes

My Map



- Legend**
- Display Parcels
 - Airports
 - AIA
- Airport Compatibility**
- OTHER ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8



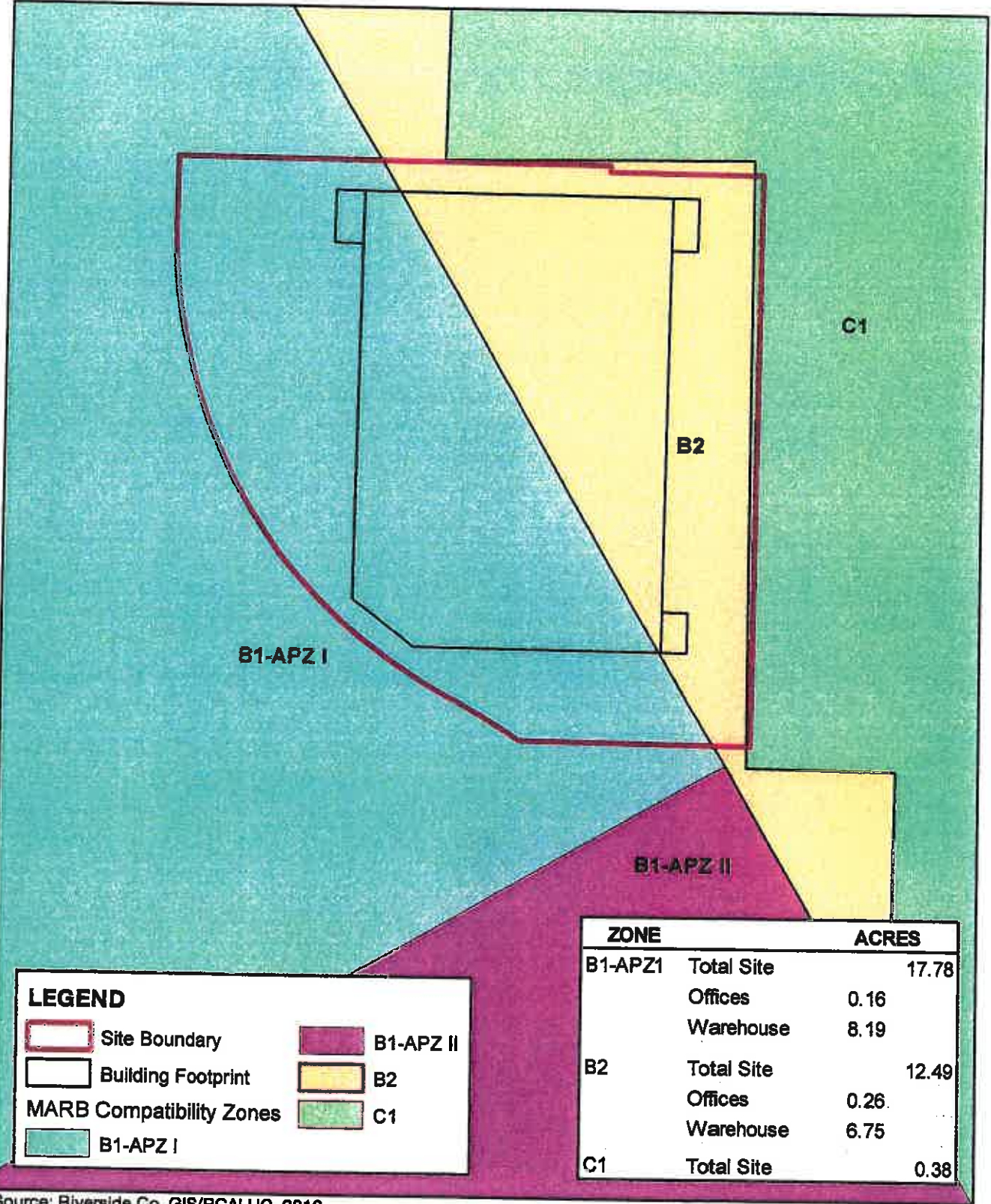
"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

G:\2016\16-0156\GIS\ALUC_site.mxd; Map created June 30, 2016



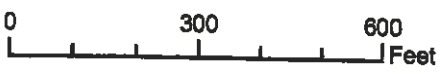
LEGEND

Site Boundary	B1-APZ II
Building Footprint	B2
B1-APZ I	C1

MARB Compatibility Zones

ZONE		ACRES
B1-APZ I	Total Site	17.78
	Offices	0.16
	Warehouse	8.19
B2	Total Site	12.49
	Offices	0.26
	Warehouse	6.75
C1	Total Site	0.38

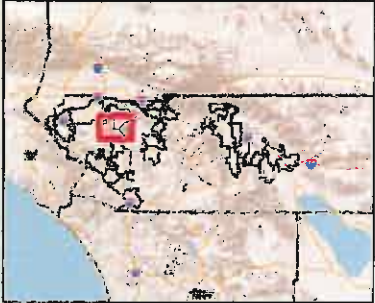
Source: Riverside Co. GIS/RCALUC, 2016.



**Project Site Relationship to MARB
Land Use Compatibility Zones**
Indian Ave. and Markham St.



My Map



Legend

 City Boundaries

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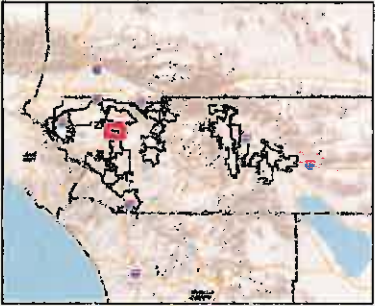


0 8,855 17,709 Feet



Notes

My Map



Legend

 City Boundaries



0 4,427 8,855 Feet



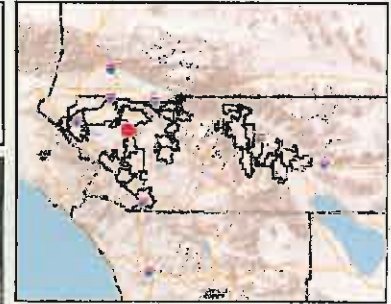
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Notes

My Map



Legend

-  City Boundaries



0 2,214 4,427 Feet



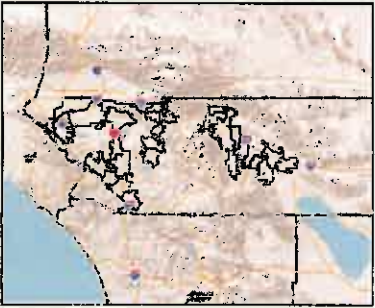
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Notes

My Map



Legend

 City Boundaries



0 1,107 2,214 Feet



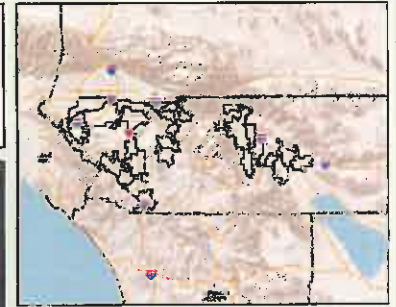
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Notes

My Map



Legend

 City Boundaries

Notes

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0 553 1,107 Feet



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DEVELOPMENT PLAN REVIEW NO. 16-XX-XXXX
DUKE REALTY - INDIAN AVENUE & MARKHAM STREET
CONCEPTUAL GRADING & DRAINAGE PLAN

PROJECT DATA

ADDRESS	INDIAN AVENUE	307 AC.
NET SITE AREA	307,440 SF.	307 AC.
BEARING AREA	64,448 SF.	
IMPERVIOUS	1,000 SF.	
TOTAL AREA	65,448 SF.	

LOT COVERAGES PROVIDED FOR MAX. ALLOWED USE

OFFICE & BUSINESS	NO STALLS
OFFICE & BUSINESS	20 STALLS
OFFICE & BUSINESS	10 STALLS
OFFICE & BUSINESS	10 STALLS
TOTAL PARKING REQUIRED	50 STALLS

*PARKING FOR OFFICE AREA COVERING LESS THAN 10% OF THE TOTAL GROSS SQUARE FOOTAGE OF THE BUILDING SHALL BE INCLUDED IN THIS CALCULATION.

PARKING PROVIDED

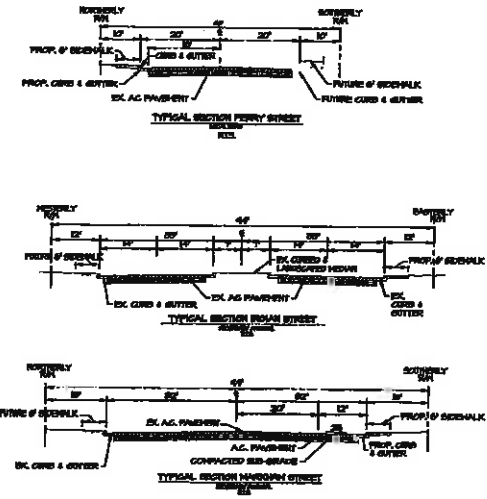
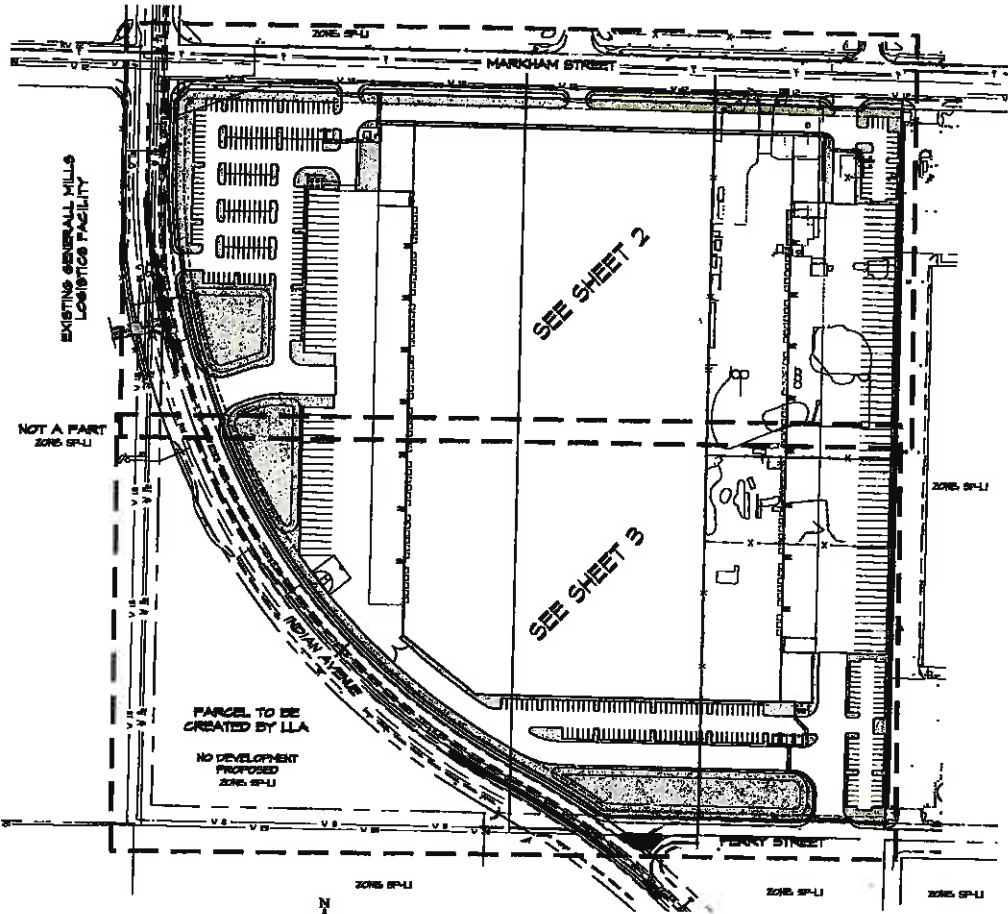
STANDARD PARKING	50 STALLS
IMPERVIOUS PARKING	0 STALLS
GREEN IMPERVIOUS PARKING	0 STALLS
TOTAL	50 STALLS

LANDSCAPED AREA

LANDSCAPED AREA REQUIRED	10%
LANDSCAPED AREA PROVIDED	100%
LANDSCAPED AREA PROVIDED	100% SF.

LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- ADA PATH OF TRAVEL
- PROPOSED SCREEN WALL
- GRADING/PROPOSED SLOPE LINE
- FLOOD LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN
- EXISTING GAS LINE
- EXISTING ELECTRICAL LINE
- PROPOSED FLOOR
- PROPOSED GRAVEL
- PROPOSED FINISHED SURFACE
- PROPOSED SLOPE BREAK
- PROPOSED LANDSCAPE AREA
- LOT POINT
- PROPERTY LINE
- RIGHT OF WAY
- TYPICAL



OWNERS

APN 802-070-021, 802-070-022 & 023
 FIDUCIARY TRUST PARTNERSHIP
 12000 CALLE ARROYO
 ROLAND HEIGHTS, CA 91748

APN 802-070-020
 MORLAS V. & LESH A. BRNO
 20225 PALMA
 HORNO VALLEY, CA 92825

APN 802-070-024 & 022
 LEE HARRIS & LESTON T. GREN
 1425 SHERWOOD AVE
 TEMPE CITY, CA 91760

APPLICANT/DEVELOPER

DUKE REALTY CORPORATION
 ATTN: ADAM SCHWAB
 300 SPECTRUM CENTER DRIVE, SUITE 140
 BUREAU CA 92604
 TEL: (949) 717-1000
 FAX: (949) 717-1000

APN

802-070-021, 802-070-020, 802-070-023, 802-070-022,
 802-070-025, 802-070-024

LEGAL DESCRIPTION

LOTS 5, 4, 3, AND 6 IN BLOCK 6 OF REVERSE TRACT AS
 RECORDED IN MAP BOOK 14 PAGE 649 RECORDS OF SAN
 DIEGO COUNTY.

LAND USE

EXISTING PROPOSED ZONING: SP-1
 EXISTING PROPOSED GENERAL PLAN USE: SP-1
 EXISTING PROPOSED LAND USE: VAGANT/EX. INDUSTRIAL

UTILITY COMPANIES

WATER: EASTERN MUNICIPAL WATER DISTRICT
 PHONE: (602) 438-3000

SEWER: EASTERN MUNICIPAL WATER DISTRICT
 PHONE: (602) 438-3000

ELECTRIC: SOUTHERN CALIFORNIA Edison COMPANY
 PHONE: (602) 488-4320

TELEPHONE: GENERAL TELEPHONE COMPANY
 PHONE: (602) 488-4320

GAS: SOUTHERN CALIFORNIA GAS COMPANY
 PHONE: (602) 422-2200

SCHOOL: VAL VERDE UNIFIED SCHOOL DISTRICT
 PHONE: (951) 940-4100

EARTHWORK ESTIMATE

CUT: 11,000 CY
 FILL: 20,000 CY
 NET: 9,000 CY (EXPORT)

PROJECT DESCRIPTION

DEVELOPMENT PLAN REVIEW FOR A CLASS A CROSS DOCK
 WAREHOUSE FACILITY CONSISTING OF 1 BUILDING TOTAL
 66,648 SQUARE FEET ON 307 NET ACRES.

- NOTES**
1. THIS AREA IS WITHIN BROWNS MAP, PAGE 141, GRID 2-1 & 1-1.
 2. THIS AREA IS NOT SUBJECT TO LIQUIDATION OR OTHER GEOLGIC HAZARDS WITHIN A SPECIAL STUDIES ZONE.
 3. THIS AREA IS WITHIN THE PERRIS VALLEY COMMUNITY DEVELOPMENT PLAN.
 4. THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
 5. A PORTION OF THIS PROJECT IS WITHIN THE AIRPORT OVERLAY ZONE. APZ-1.
 6. PROJECT BOUNDARY WILL BE CREATED VIA LOT LINE ADJUSTMENT.
 7. ALL SPACES WITHIN PROJECT BOUNDARY TO BE COVERED VIA FUTURE CERTIFICATE OF PARCEL MERGER.

SHEET INDEX
 INDEX MAP
 CONCEPTUAL GRADING

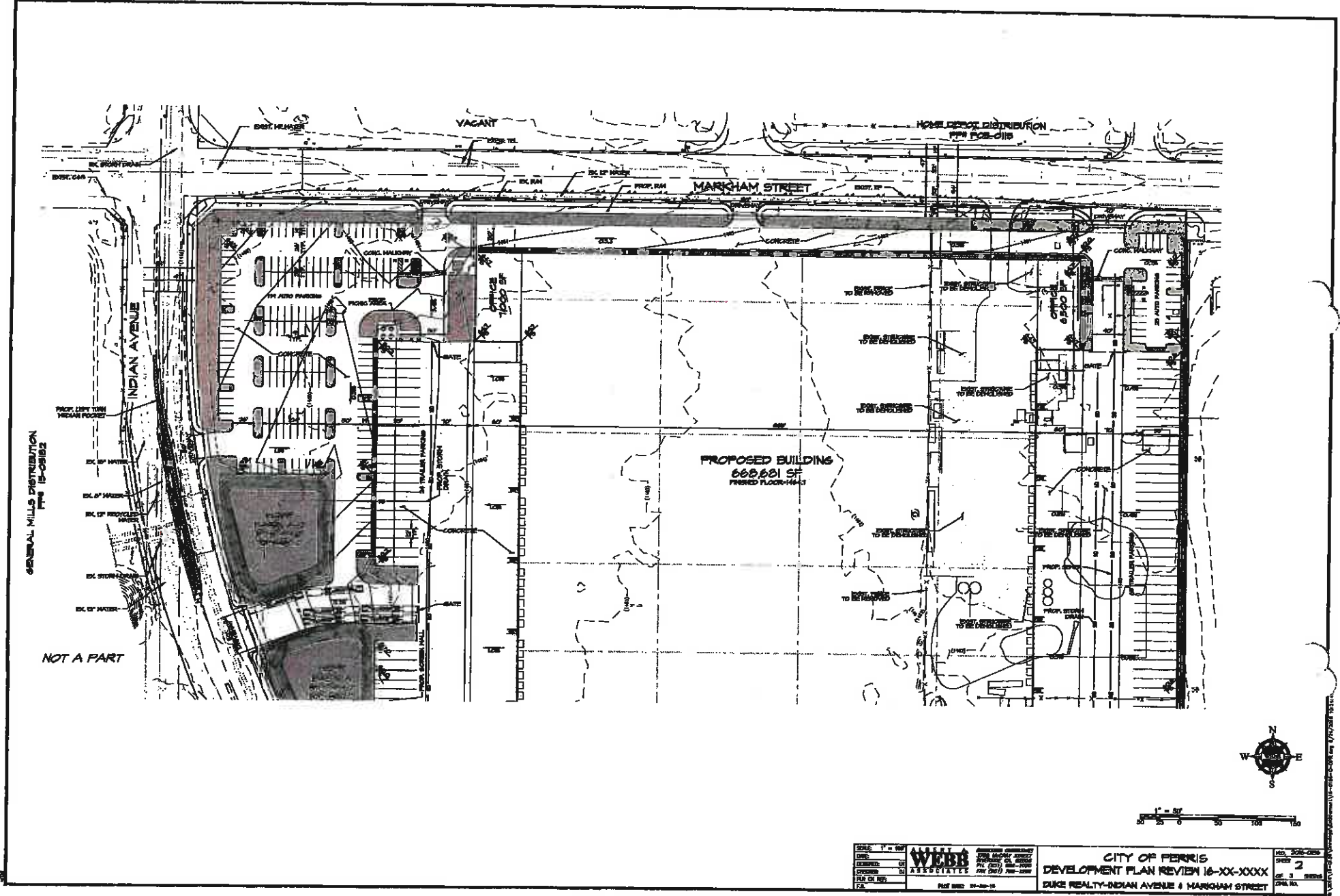
SHEET 1 OF 2
 SHEET 2 OF 2

DATE: 7-1-09
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DESIGNED BY: [Name]
 PREP. BY: [Name]
 DATE: 7-1-09

ALBERT A. WEBB
 ASSOCIATES
 REGISTERED CIVIL ENGINEER
 No. 40001
 P.E. (CIVIL) 428-1070
 P.E. (ME) 428-1070

CITY OF PERRIS
 DEVELOPMENT PLAN REVIEW 16-XX-XXXX
 DUKE REALTY-INDIAN AVENUE & MARKHAM STREET

NO. 306-056
 SHEET 1 OF 2 SHEETS
 DATE: 7-1-09



GENERAL MILLS DISTRIBUTION
PWS 15-08182

NOT A PART

PROPOSED BUILDING
668601 SF
FENCED FLOOR-144-1

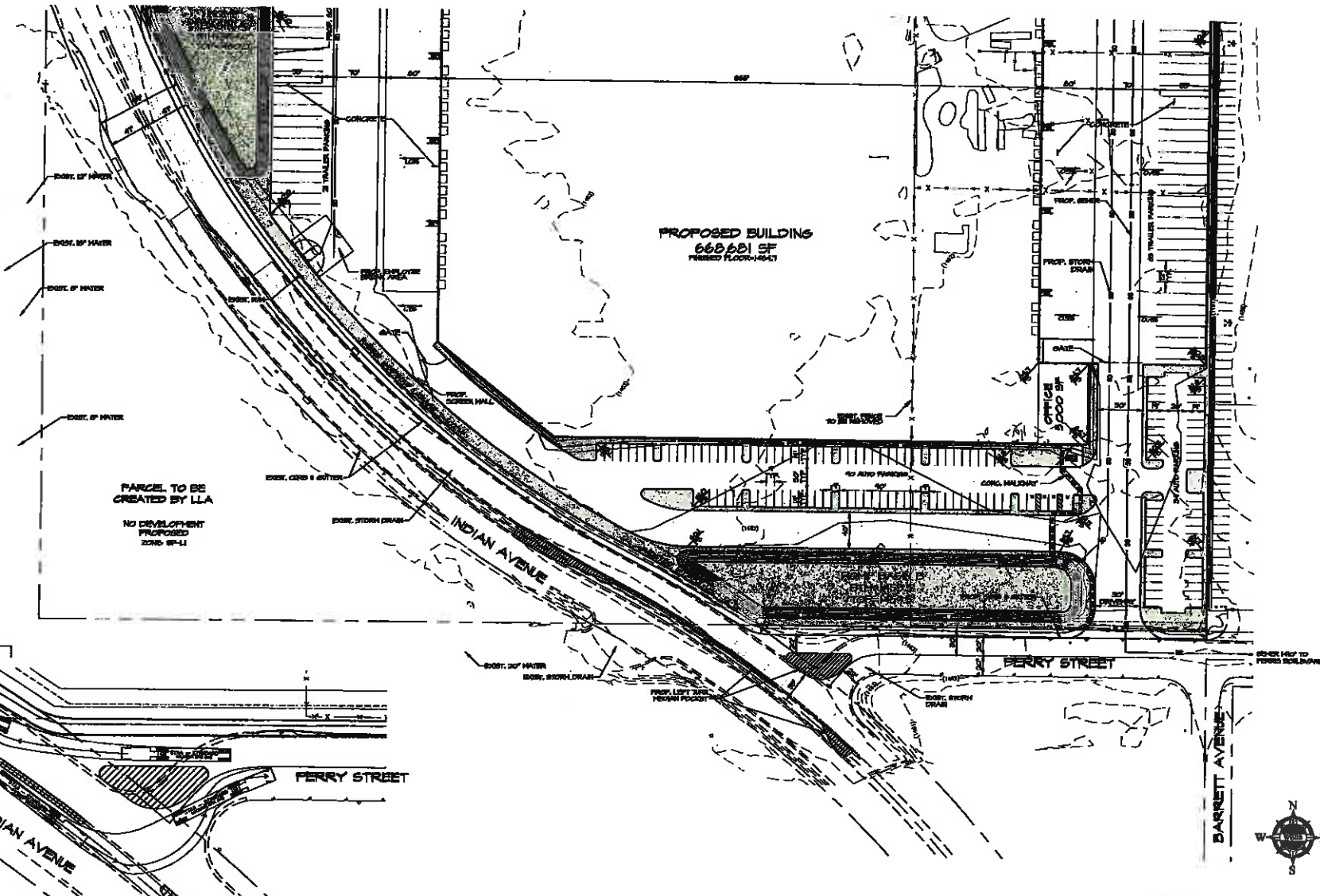


SCALE: 1" = 50'
DATE: 08/15/18
EXAMINED BY: [Signature]
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 08/15/18

WEBB
ASSOCIATES

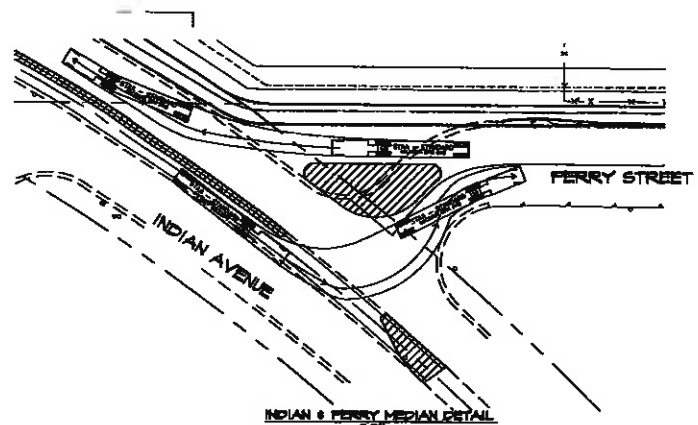
CITY OF FERRIS
DEVELOPMENT PLAN REVIEW 18-XX-XXXX
DUKE REALTY-INDIAN AVENUE & MARKHAM STREET

NO. 324-000
SHEET 2
OF 3 SHEETS
DATE: 08/15/18



FARCEL TO BE
CREATED BY LLA
NO DEVELOPMENT
PROPOSED
ZONING: SP-11

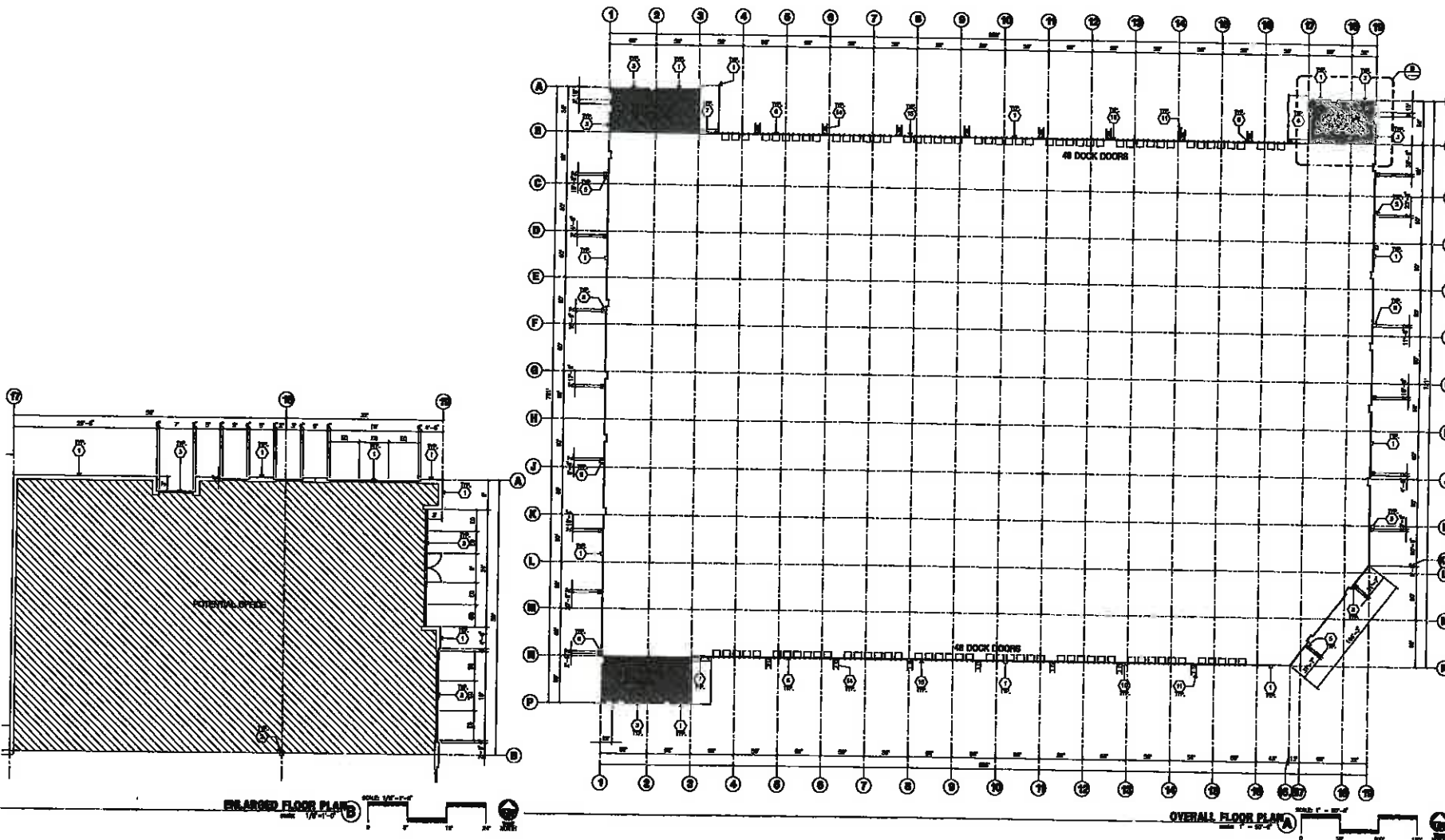
PROPOSED BUILDING
668,681 SF
FIXED FLOOR-14641



INDIAN & PERRY MEDIAN DETAIL



DATE: 1-2-20		CITY OF FERRIS DEVELOPMENT PLAN REVIEW 16-XG-XXXX DUKE REALTY-INDIAN AVENUE & MARGHAM STREET	NO. 276-026
DRAWN: [initials]			SHEET 5
DESIGNED: [initials]			OF 1 SHEETS
CHECKED: [initials]			DWG. NO.
IN CHARGE: [initials]			



KEYNOTES - FLOOR PLAN

- 1 CONCRETE TYP-OF FINISH.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STRUCTURAL BEAM/SLAB WITH CLASSICAL OFFICE SLAB-UP-FIN BLANDINGS FOR FINE, COLOR AND LEADINGS.
- 4 CONCRETE SIGN.
- 5 8"-12" THICK CONCRETE EXTERIOR LANDING AND TRAVEL AT ALL EXTERIOR WALL CORNER TO LAMINATED AREA, FINISH TO 2" SOLID BRICK FACED. PROVIDE SLOPE TO FLOOR SURFACE PER CITY REQUIREMENTS.
- 6 8"x10" BRICK CORNER, VERTICAL LEFT, STANDARD CORNER.
- 7 12"x12" BRICK TRAIL, VERTICAL LEFT, STANDARD CORNER.
- 8 2"x4" YELLOW METAL EXTERIOR WALL SIGN.
- 9 BRICK ABOVE.
- 10 ROOF ACCESS LADDER.
- 11 FOAM FILLED BLIND POLE, 4" DIA. LVL. 4"x4".
- 12 INTERIOR ROOMS WITH OVERHEAD SCULPTOR.
- 13 BRICK SIGN & COFFEE BAR W/SURFACE ACCESS.
- 14 EXTERIOR CONCRETE SIGN.
- 15 DOOR SLABBY.
- 16 METAL LOUVER.

GENERAL NOTES - FLOOR PLAN

- A THIS BUILDING IS DESIGNED FOR HIGH WIND RESISTANCE. WIND PRESSURE AND SUCTION AT ROOF VERTICES SHALL BE APPROVED PER ASCE 7-10 FOR ANY PROPOSED/CONVERTED USES.
- B THE BRICK LANDING SHALL BE APPROVED PER ASCE 7-10.
- C THE FINISHING FLOOR SLAB SHALL BE 1/2" SLAB, SEE "D" DIMENSIONS FOR FINISH SURFACE BLANDINGS.
- D FLOOR SLAB SHALL BE BUILT WITH LAYERS, MANUFACTURER'S RECOMMENDATION OR APPROVED EQUAL.
- E BRICKWORK BETWEEN CONCRETE WALLS ARE FINISH BRICK, COLLARS ARE TO BECOME OPEN FINISH BRICK. ALL SUP. BR. WALLS IN BRICKWORK TO RECEIVE 1 COAT OF WHITE WASH.
- F SLAB FLOOR SHALL BE 1/2" TO EXTEND AT ALL PERIMETER FINIS, SEE "D" DIMENSIONS FOR FLOOR FINISH LOCATIONS.
- G ALL BRICKWORK ARE TO THE FACE OF CONCRETE PANEL WALL, OVERLAP, IN FACE OF BRICK WALL.
- H SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-ICE UTILITIES, CORRESPONDING TO VARIOUS AREAS, UTILITY LOCATIONS.
- I FINE LINDS TRUCK AND MOTOR, SEE CIVIL DRAWING FOR AREA, SHOW ALL DOORS PER DOOR SCHEDULE ARE FINISH OPERABLE.
- J CONTINUOUS TO FINISH AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE APPROVED INCLUDING SIZES AND THICKS.

Duke REALTY
 Duke Realty
 2000 Chestnut Street
 Suite 1400
 Walnut, CA 91781

HPA
 Title No. 2024-0000000-001, 002
 Title No. 2024-0000000-003
 Title No. 2024-0000000-004

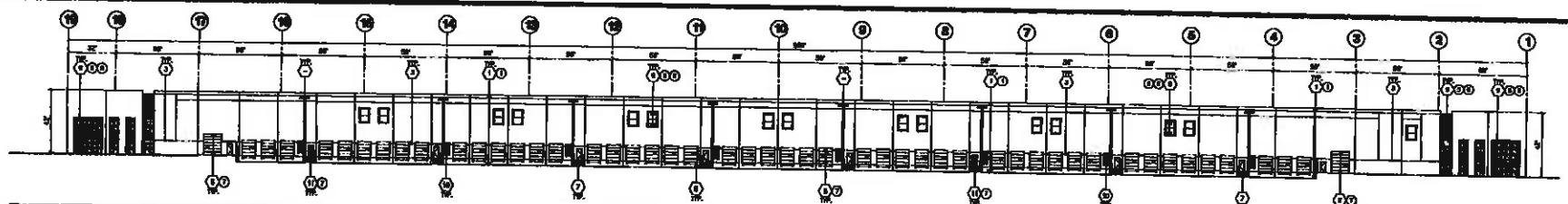
Consultants
 Civil: []
 Structural: []
 Mechanical: []
 Plumbing: []
 Electrical: []
 Landscaping: []
 Fire Protection: []
 Safety Engineer: []

Street Name
 ##### STREET NAME
 TEO PERRIS, CA

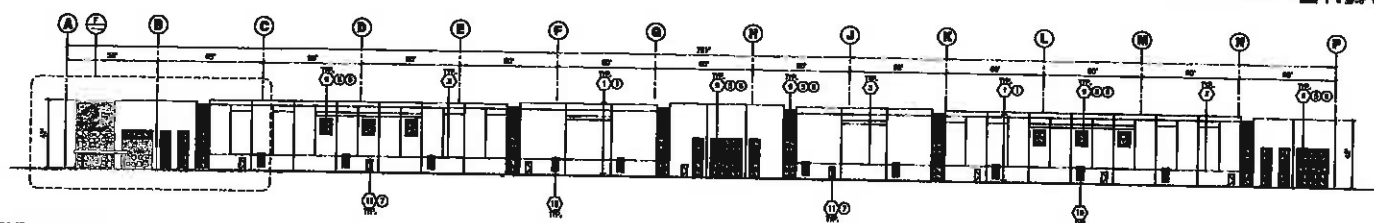
PERMIT INFORMATION
 C-2024-000-001
 2/28/24
 CITY OF PERRIS

Client Plan No.
 DAB-A2.1
 Of 2
 Date Plotted: 2/28/24

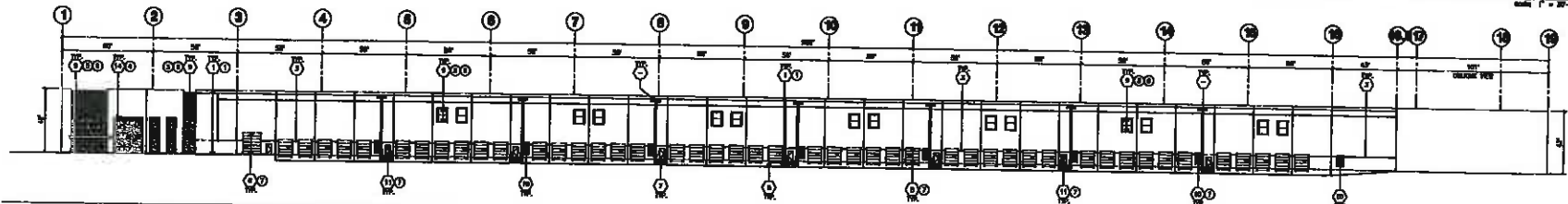
16100



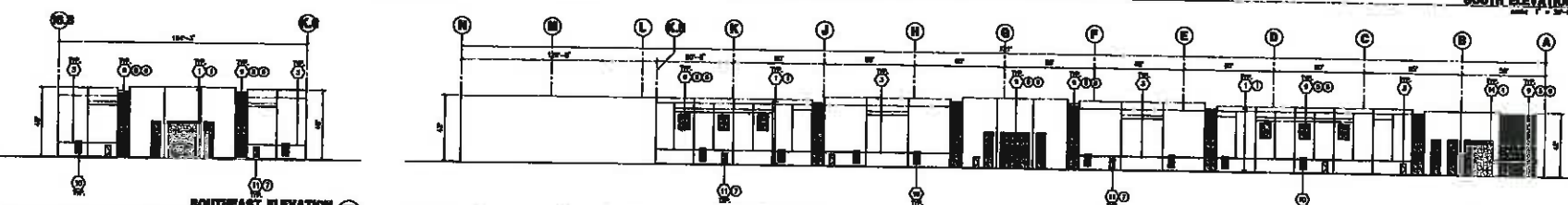
NORTH ELEVATION
Scale: 1/4" = 1'-0"



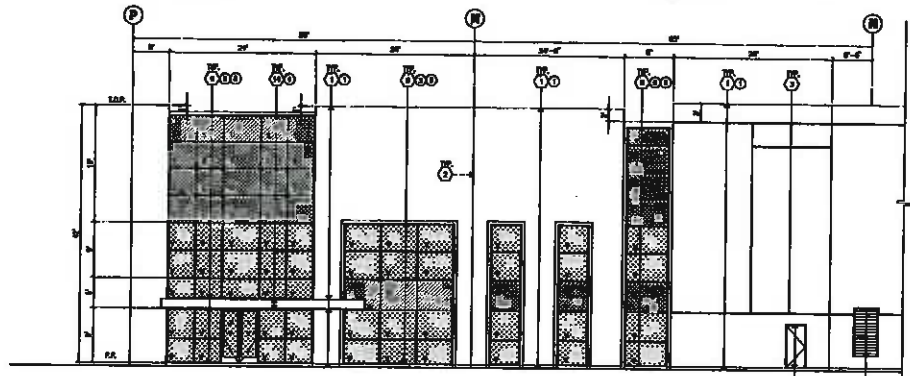
WEST ELEVATION
Scale: 1/4" = 1'-0"



SOUTH ELEVATION
Scale: 1/4" = 1'-0"



SOUTHWEST ELEVATION
Scale: 1/4" = 1'-0"



EAST ELEVATION
Scale: 1/4" = 1'-0"



ENLARGED WEST ELEVATION
Scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- ① CONCRETE TILT-UP PANEL (FINISH)
- ② PANEL JOINT
- ③ PANEL REVEAL
- ④ CONCRETE TILT-UP SCREEN WALL
- ⑤ CONCRETE BRICK @ BRICK PATTERN
- ⑥ CONCRETE BRICK @ BRICK PATTERN
- ⑦ EXTERIOR STAIN LAMINATE AND STAIN GUARDING
- ⑧ BRICK IMPRES
- ⑨ BRICKWORK IMPRES (FINISH) @ IMPRES GLAZING AT ALL CORNERS BRICKWORK FINISH TO MATCH AND GLAZING @ IMPRES (SEE DRAWING 11" ABOVE 1/4" ELEVATION)
- ⑩ GLAZING (SEE SECTION APPROX. ONLY)
- ⑪ FOLLOW BRICK BRICK
- ⑫ CONCRETE BRICK IMPRES
- ⑬ BRICKWORK IMPRES WITH STAIN IMPRES FINISH
- ⑭ EXTERIOR CORNER

COLOR SCHEDULE - ELEVATIONS

- ① CONCRETE TILT-UP PANEL: PRIME BRICK @ BRICK PATTERN
- ② CONCRETE TILT-UP PANEL: PRIME BRICK @ BRICK PATTERN
- ③ CONCRETE TILT-UP PANEL: PRIME BRICK @ BRICK PATTERN
- ④ BRICK IMPRES: PRIME BRICK @ BRICK PATTERN
- ⑤ BRICKWORK: PRIME BRICK @ BRICK PATTERN
- ⑥ BRICKWORK: PRIME BRICK @ BRICK PATTERN
- ⑦ BRICKWORK: PRIME BRICK @ BRICK PATTERN
- ⑧ BRICKWORK: PRIME BRICK @ BRICK PATTERN
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- ㊹ BRICKWORK: PRIME BRICK @ BRICK PATTERN
- ㊺ BRICKWORK: PRIME BRICK @ BRICK PATTERN

GLAZING LEGEND

- ① IMPRES WITH GLAZING
- ② IMPRES WITH GLAZING

GENERAL NOTES - ELEVATIONS

- A. ALL FIRST CORNER CORNERS TO MATCH AT BRICK CORNER UNLESS NOTED OTHERWISE.
- B. ALL PAVE FINISHES ARE TO BE PER GLAZING NOTES OTHERWISE.
- C. T.O.P. = TOP OF FINISH - ELEVATION.
- D. F.F. = FINISH FLOOR FINISH.
- E. EXTERIOR BRICKWORK FINISH, IMPRES ATTACHED AND FINISH SHALL BE FINISH TO MATCH OR IMPRES ATTACHED TO GLAZING. CONTRACTOR SHALL VERIFY SHOP DRAWING PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FILL FROM ONE CONCRETE PANEL TO ADJACENT CORNER BRICKWORK AND OTHER PANEL PRIOR TO FINISHING BRICKWORK OF BRICKWORK.

Duke REALTY
 2020 Cleveland Road
 Suite 100
 Newark, NJ 07102
 Tel: 973-992-1700
 Fax: 973-992-0851

CFR
 Inc., P.C.
 1800 South Orange Avenue, 17th
 Floor
 Orlando, FL 32816
 Tel: 407-839-1700
 Fax: 407-839-0851

Consultants

Architect:	
Structural:	
Mechanical:	
Electrical:	
Plumbing:	
Interior:	
Landscaping:	
Site Preparation:	
Other:	

PROJECT INFORMATION

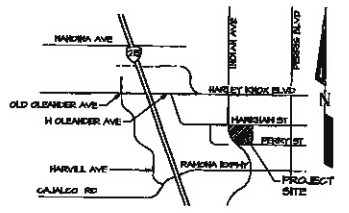
Project Name:	
Address:	
City:	
State:	
Zip:	
Client:	
Contract No.:	
Project No.:	

STREET NAME
 TPO
 PERMITS, CA

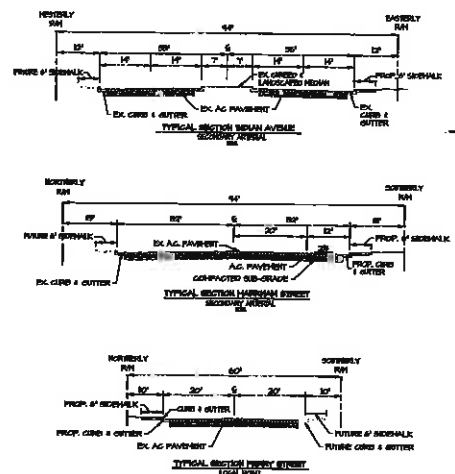
PERMITS ASSISTANT
 C-20451
 3-21-47
 1997 CALIFORNIA
 REGISTERED PROFESSIONAL ENGINEER

Project Name:
DAB-A3.1
 16100

CITY OF PERRIS DUKE PERRIS TENTATIVE PARCEL MAP 37187



VICINITY MAP
NOT TO SCALE
SECTION 8, T4N, R24W, S20N



APPLICANT:
 COMPANY: DUKE HEALTH CORPORATION
 CONTACT: ADAM BORDO
 ADDRESS: 3203 BROTHERMAN CENTER DRIVE, SUITE 100 PERRIS, CA 92408
 PHONE: (941) 761-1000

PROPERTY OWNERS:
 APN 302-010-001 - 021 - 024
 PHOTOGRAPHY: WIND PARKLY LTD PAINBESBOP
 1809 CALLE AIRROSA
 ROLAND HEIGHTS, CA 91460
 APN 302-010-025
 MICHAEL W. & LYNN A. CHEN
 24210 KALMA AVENUE
 MORRIS VALLEY, CA 92556
 APN 302-010-026 - 027
 MICHAEL W. & LYNN A. CHEN
 909 BARBARA AVENUE
 TEMPE, CITY, CA 91760

ENGINEER:
 COMPANY: ALBERT A. REIS ASSOCIATES
 CONTACT: ROBERT STREET
 ADDRESS: 5700 HOGAN ST
 RIVERSIDE, CA 92506
 PHONE: (951) 666-1010
 FAX: (951) 666-1250

ARCHITECT:
 COMPANY: BVA ARCHITECTS
 CONTACT: STEVE BORDO
 ADDRESS: 1828 BARZEN AVE, SUITE 100
 RIVERSIDE, CA 92503
 PHONE: (951) 666-2222

TOPOGRAPHY:
 BLAND ARNOLD SURVEYS, INC.
 271 WILSON AVENUE, SUITE A
 RIVERSIDE, CA 92503
 TEL: (951) 666-2222
 DATED: 02-12-2009

APN:
 302-010-001 - 024, ELY PORTION - 021, ELY PORTION - 022, - 023, - 024

UTILITY COMPANIES:
 WATER: EASTERN MUNICIPAL WATER DISTRICT
 SEWER: EASTERN MUNICIPAL WATER DISTRICT
 ELECTRIC: SOUTHERN CALIFORNIA Edison COMPANY
 GAS: SOUTHERN CALIFORNIA GAS COMPANY
 TELEPHONE: VERIZON

LEGAL DESCRIPTION:
 REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY RECORDS Nos. 37187-002 DATED 04/20/09, 37187-003 DATED 04/20/09, AND 37187-004 DATED 04/20/09 FOR A DETAILED LEGAL DESCRIPTION.

SCHOOL DISTRICT:
 VAL VERDE UNIFIED SCHOOL DISTRICT

ACREAGE:
 LOT A: 0.38 AC RIGHT OF WAY DEDICATION HARBAN AVENUE
 LOT B: 1.26 AC RIGHT OF WAY DEDICATION HARBAN STREET
 LOT C: 0.25 AC RIGHT OF WAY DEDICATION PERRY STREET
 NET: 30.7

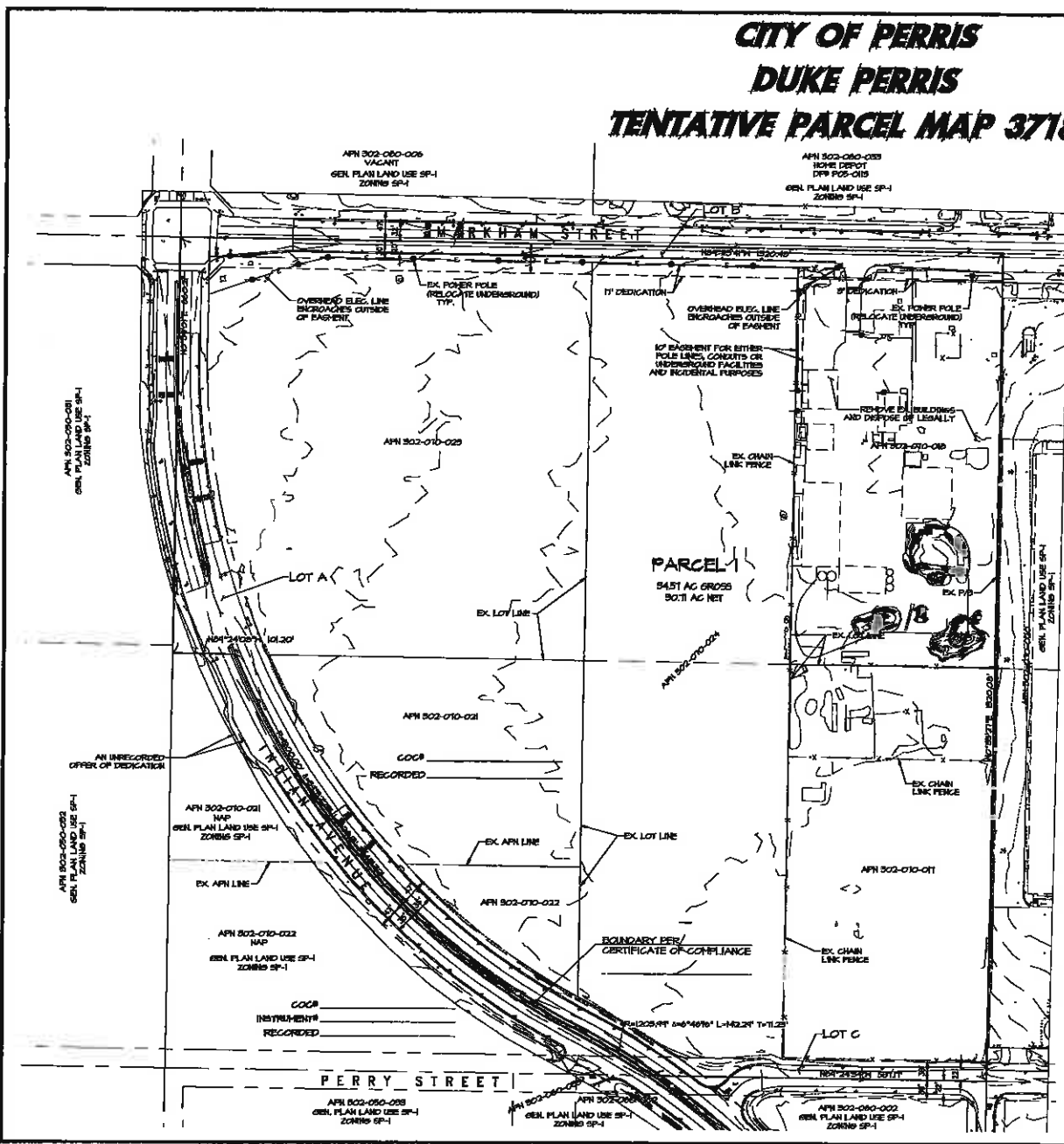
LAND USE/ZONING:
 EXISTING PROPOSED ZONING: SP-1
 EXISTING PROPOSED GENERAL PLAN USE: SP-1
 EXISTING PROPOSED LAND USE: VACANT/INDUSTRIAL

- NOTES:**
1. SEE TOWN'S UNIMPROVED MAP, PAGE 247, GRID E-7 & F-1.
 2. THIS AREA IS NOT SUBJECT TO LIQUEFACTION OR OTHER SEIZING HAZARDS WITHIN A SPECIAL STUDY ZONE.
 3. THIS AREA IS WITHIN THE PERRIS VALLEY CORNERSTONE SPECIFIC PLAN.
 4. THIS PROJECT IS NOT WITHIN A COMMUNITY REMEDIATION DISTRICT.
 5. A PORTION OF THIS PROJECT IS WITHIN THE AIRPORT OVERLAY ZONE, AP-1.



SCALE:	AS SHOWN	DRAWING DATE:	02/12/09
DATE:	02/12/09	DRAWING NO.:	37187-002
CREATED:	02/12/09	PROJECT NO.:	37187
CHECKED:	02/12/09	REV. (DATE):	001 (02/12/09)
FILE NO.:	37187-002	PROJECT NAME:	DUKE PERRIS

TENTATIVE PARCEL MAP 37187
CITY OF PERRIS
DUKE PERRIS





DEPARTMENT OF THE AIR FORCE
AIR FORCE RESERVE COMMAND

22 July 2016

MEMORANDUM FOR RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
ATTN: MR. PAUL RULL
URBAN REGIONAL PLANNER IV
4080 LEMON STREET, 14TH FLOOR
RIVERSIDE, CA 92501

Airport Land Use Commission
Received
AUG 01 2016

FROM: 452d Mission Support Group/Civil Engineers
Base Operating Support
610 Meyer Drive, Bldg. 2403
March ARB CA 92518-2166

SUBJECT: Riverside County Airport Land Use Commission (RCALUC) – ZAP1204MA16

1. The March Air Reserve Base (MARB) review of the proposal to construct a 669,000 square foot distribution warehouse facility on 31 acres, located on the southeast corner of Indian Avenue and Markham Street in the City of Perris is provided in this memorandum.
2. The parcel is located within the Accident Potential Zone I (APZ I) to the south of Runway 14/32. Any construction in APZ I is to consist of facilities that are no greater than a single floor; airspace review is required for objects greater than 35 feet in height. Lot coverage is based on calculation in the Floor Area Ratios (FAR). Only a few types of facilities are compatible in this zone. There are restrictions on land uses and heights of natural objects and man-made objects in the vicinity of air installations that may obstruct the airspace, attract birds, cause electromagnetic or thermal interference, or produce dust, steam, smoke, or light emissions to provide for safety of flight and the public welfare.
3. A properly designed storm water management system and landscaping must address Bird/Wildlife Aircraft Strike Hazard (BASH) concerns including proper detention/infiltration of storm water runoff. MARB is requesting the water detention basins are completely drained within 48 hours and have a rock filled bottom, or be underground and covered. Prior to issuance of formal approval, the base will want to review details of the storm water conveyance system and the landscaping plan when they become available. Given the proximity to the airfield, trees which will bear mast or grow to an adequate size for roosting should not be planted. Additional information on reducing BASH hazards can be found in Air Force Pamphlet (AFPAM) 91-212, *Bird/Wildlife Aircraft Strike Hazard (BASH) Management Techniques*, dated February 1, 2004. We request that the City of Perris evaluate the storm water detention basin design to mitigate or eliminate any hazards, and jointly approve the design with MARB.
4. The site is located within an area that is exposed to elevated levels of noise from the base's flying operations; reference the AICUZ for MARB for the noise contours for this area. A more recent model can be found within the Airport Land Use Compatibility Plan (ALUCP) adopted by the Riverside County Airport Land Use Commission (ALUC) dated November 13, 2014. The document titled, "Background Data: March Air Reserve Base/Inland Port Airport Environs," is an insert to the ALUCP. Referencing Exhibit MA-4 from the aforementioned insert, it would appear this project resides within an area that is subject to 65 dB Community Noise Equivalent Level (CNEL) and on the border of an area subject to 75 dB CNEL. In addition, this site is situated in an area where aircraft flying arrivals and departures from Runway 32 will overfly this proposed facility at relatively low altitudes. In addition, these aircraft will be

at a high power setting generating significant noise contours. As such, the employees of this proposed development would be subject to noise occurrences that may generate complaints to the base and the community leadership. Employees and regularly received public may require protection using noise abatement (noise level reduction) provided in the construction design. Additionally, hearing protection for employees may be required by Occupational Safety and Health Administration (OSHA) or other agencies as it relates to safety and health in a high noise work environment.

5. While the proposed use may be consistent with the zoning and land use guidelines, in referencing a map of the area, this site is approximately 1.14 miles from the arrival end of Runway 32. Based on a statistical analysis by the USAF, Aircraft Accident Data, approximately 10 percent of recorded accidents have taken place within an APZ I Zone (AICUZ). The location of the development presents a concern due to the APZ I at the south end of Runway 14/32. Developments in this area should not be used for high-density functions, since the objective of the land use guidelines in and around APZs is to restrict people-intensive uses and hazardous materials/chemicals, due to a greater risk of aircraft incidents in these areas. The intensity in APZ I is restricted to 25 people and 50 people in APZ II per acre IAW DoD Instruction 4165.57, March 12, 2015 and Air Force Instruction 32-7063, December 18, 2015.

6. The building height is a cause for concern. We request the latitude and longitude of the southeast and northeast corners and the ground elevation of the warehouse along this façade in order to confirm the building falls within established height restrictions. Consultation with the Federal Aviation Administration will be required and we will also require a Terminal Instrument Procedures (TERPS) review.

7. To help eliminate any potential adverse effects on aircraft operations at MARB, we ask that materials provided in construction be of a non-reflective material such as outside ductwork, windows and roofs by means such as painting or covering. In addition, none of the project improvements shall create:

- Distracting lights which could be mistaken for airport lights
- Sources of dust, steam, or smoke which may impair pilot visibility
- Sources of electronic interference with aircraft communications or navigation.

8. The following are some mitigating measures and it is our desire that all such steps be researched and implemented.

- BMPs must be reviewed by the Base and must not introduce hazards related to bird strikes
- Solar panels or any reflective materials on the rooftop are prohibited
- No hazardous materials should be stored within the APZs
- Noise level hazards must be mitigated
- Personnel density in the floor area within APZ I is not allowed to exceed the 25 persons/acre and 50 persons/acre in APZ II.

9. Thank you for the opportunity to again, review and comment on this proposed development. If you have questions, please contact Ms. Denise Hauser at (951) 655-4862.



SEAN P. FEELEY
Acting Base Civil Engineer

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Perris may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: **Eastern Municipal Water District
Board Chambers
2270 Trumble Road
Perris CA 92570**

DATE OF HEARING: August 11, 2016

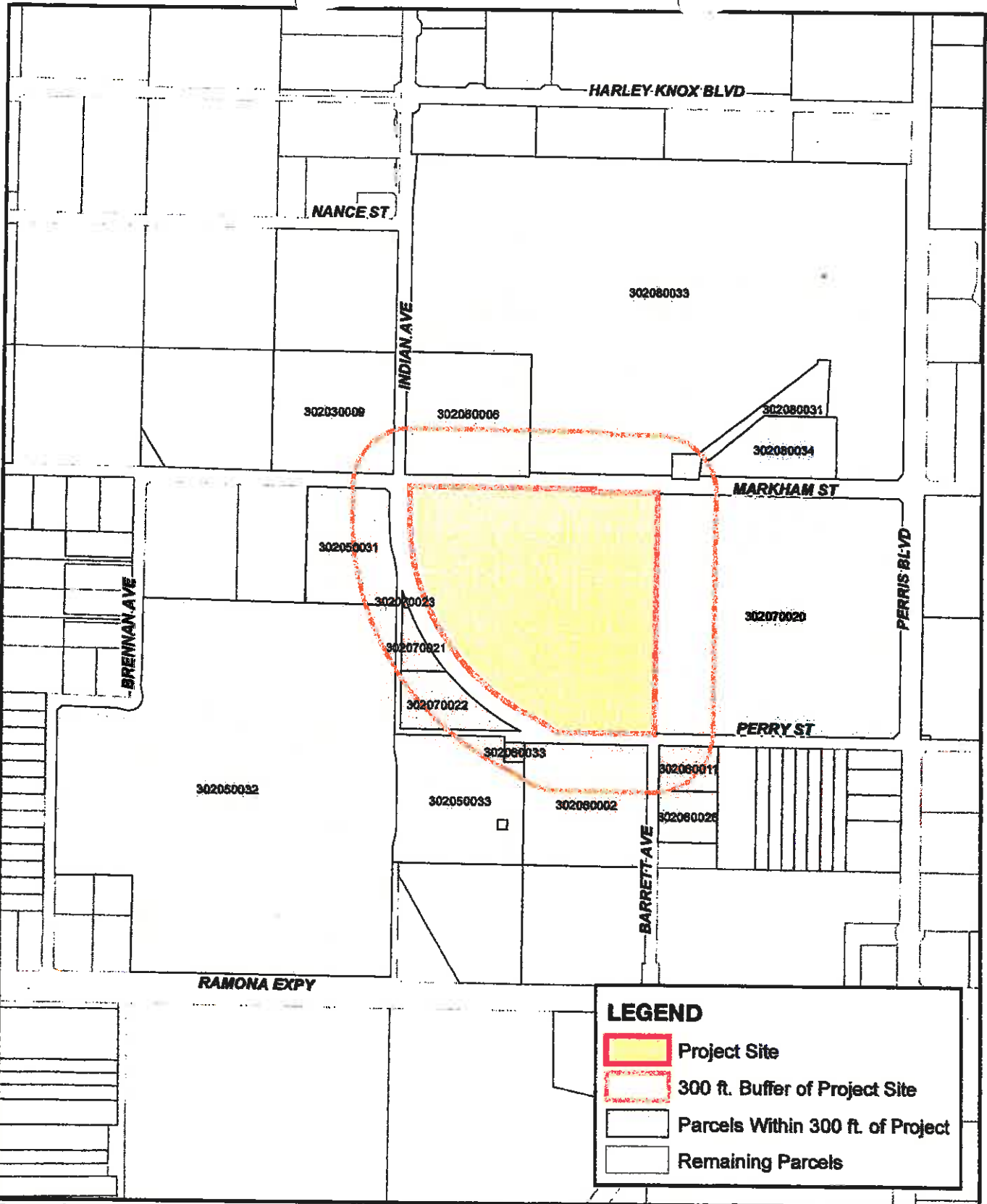
TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1204MA16 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates, Nicole Torstvet) – City of Perris Case No. PLN 16-00008 (Development Plan Review). The applicant is proposing to develop a 668,381 square foot warehouse/distribution center on 30.7 acres. The building floor plan consists of 649,481 square feet of warehouse area and 19,200 square feet of office area. The project site is located southerly of Markham Street, westerly of Indian Avenue, easterly of Barrett Avenue and northerly of Perry Street. (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Mr. Nathan Perez of the City of Perris Planning Department at (951) 943-5003.

G:\2016\16-0156\GIS\Parcels_300ft.mxd: Map created 20 Jun 2016

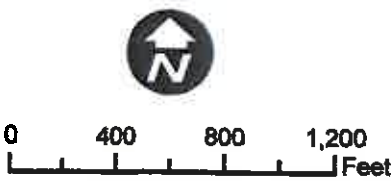


LEGEND

- Project Site
- 300 ft. Buffer of Project Site
- Parcels Within 300 ft. of Project
- Remaining Parcels

Source: Riverside Co. GIS, April 2016.

Parcels Within 300 ft. of Project Indian Ave. and Markham St.



**APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP1204MA16

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 6-27-16
 Property Owner See Attached List Phone Number 949-797-7038
 Mailing Address _____

Agent (if any) Duke Realty c/o Adam Schmid Phone Number 949-797-7038
 Mailing Address 300 Spectrum Center Drive, Suite 1450, Irvine, CA 92618

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address North of Perry Street, South of Markham Street, East of Indian Avenue, West of Perris Blvd.
 Assessor's Parcel No. 302-070-017, 302-070-018, 302-070-021, 302-070-022 thru -024 Parcel Size 34.48
 Subdivision Name _____ Zoning Classification PVCC-SP Light Industrial
 Lot Number _____

*March
01-APZT
02-APZT*

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Vacant
 Proposed Land Use (describe) Proposed 669,000SF distribution warehouse on approximately 31 acres located in the Perris Valley Commerce Center Specific Plan at the southeast corner of Markham Street and Indian Avenue. Project is zoned SP and has a land use designation of Light Industrial which are both consistent with our proposed facility.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) N/A
 For Other Land Uses Hours of Use _____ Spec Building _____
 (See Appendix C) Number of People on Site _____ Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) 42 ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1464.7 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)

Date Received	_____	Type of Project	
Agency Name	<u>City of Perris, 101 N. D Street, Perris CA 92570</u>	<input type="checkbox"/> General Plan Amendment	
Staff Contact	_____	<input type="checkbox"/> Zoning Amendment or Variance	
Phone Number	<u>951-943-6100</u>	<input type="checkbox"/> Subdivision Approval	
Agency's Project No.	<u>PLN 16-00008</u>	<input type="checkbox"/> Use Permit	
		<input type="checkbox"/> Public Facility	
		<input checked="" type="checkbox"/> Other	<u>Development Plan Review</u>

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1 Completed Application Form
- 1 Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1 Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1 Completed Application Form
- 1 Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 Check for review—See Below

Rull, Paul

From: Sandy Chandler <sandy.chandler@webbassociates.com>
Sent: Monday, August 15, 2016 4:18 PM
To: Rull, Paul; Nicole Torstvet
Subject: RE: ZAP1204 MA16 Duke Perris TPM 20160812.pdf

Hi Paul—Down to the wire. We are going to request continuance of the above referenced project to the next hearing in October. Thanks. Please let us know that date.

Sandy G. Chandler, AICP - Entitlement Manager
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506
t: 951.248.4291
e: sandy.chandler@webbassociates.com w: www.webbassociates.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)

From: Rull, Paul [<mailto:PRull@rctlma.org>]
Sent: Monday, August 15, 2016 11:04 AM
To: Nicole Torstvet; Sandy Chandler
Subject: RE: ZAP1204 MA16 Duke Perris TPM 20160812.pdf

I have received the parcel map exhibit thank you.

Can you please provide me with a **status update regarding** your project i.e. the meeting with the MARB, the staff report deadline is tomorrow for John's review and I would need to know if the project is changing, or if you need another continuance.

If you have any questions please feel free to contact me.

Paul Rull

ALUC Urban Regional Planner IV



Riverside County Airport Land Use Commission
4080 Lemon Street, 14th Floor
Riverside, Ca 92501
(951) 955-6893
(951) 955-5177 (fax)
PRULL@RCTLMA.ORG

From: Nicole Torstvet [<mailto:nicole.torstvet@webbassociates.com>]
Sent: Monday, August 15, 2016 7:19 AM
To: Rull, Paul; Sandy Chandler
Subject: RE: ZAP1204 MA16 Duke Perris TPM 20160812.pdf

Great, thank you. I will have the hard copy delivered to you this morning.

Nicole Torstvet - Project Administrator
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506

Rull, Paul

From: Nicole Torstvet <nicole.torstvet@webbassociates.com>
Sent: Thursday, July 28, 2016 11:04 AM
To: Rull, Paul
Cc: Nathan Perez; Sandy Chandler; Eliza Laws; Adam Schmid
Subject: ZAP1204MA16 Request for Continuance

Good morning Paul,

Webb would like to request continuance to the September 8th meeting on behalf of Duke Realty in regards to the ZAP1204MA16 case. This will allow us time to work out the March Air Force Base comments received on 07/27.

Thank you,
Nicole

Nicole Torstvet - Project Administrator
Albert A. Webb Associates
3788 McCray Street, Riverside, CA 92506
t: 951.320.6066
e: nicole.torstvet@webbassociates.com w: www.webbassociates.com
[LinkedIn](#) | [Twitter](#) | [Facebook](#) | [YouTube](#)



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Constant Contact 

**COUNTY OF RIVERSIDE
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: October 13, 2016

CASE NUMBER: ZAP1039HR16 – Hemet 55 SP, LLC (Representative: Joe Ham)

APPROVING JURISDICTION: City of Hemet

JURISDICTION CASE NO: CUP 16-005 (Conditional Use Permit)

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Conditional Use Permit be found **CONSISTENT**, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant is proposing to construct a gas station facility including a 5,881 square foot convenience store, 6,511 square foot 10 pump fueling area, and a 1,270 square foot automated car wash tunnel on a 1.8 acre parcel within an existing commercial shopping center.

PROJECT LOCATION: The site is located on the northeast corner of West Florida Avenue and Myers Street in the City of Hemet, approximately 3,500 feet northerly of Runway 5-23 at Hemet-Ryan Airport

LAND USE PLAN: 1992 Hemet-Ryan Airport Comprehensive Airport Land Use Plan (HRACALUP)

- a. Airport Influence Area: Hemet-Ryan Airport
- b. Land Use Policy: Area III
- c. Noise Levels: Below 55 dBA CNEL

BACKGROUND:

Land Use Intensity: The site is located in Area III of the Hemet-Ryan Airport Influence Area. Residential densities and non-residential land use intensities are not limited within Area III.

Prohibited Uses: The HRACALUP does not prohibit any specific uses in Area III. The HRACALUP requires ALUC discretionary review of places of assembly, schools, institutional uses,

structures greater than 35 feet in height, and hazardous materials facilities proposed in Area III. The HRACALUP list of “hazardous materials” includes flammable liquids, a category that includes gasoline. The proposed gas station will have 10 fueling pumps and underground fueling tanks. However, due to the fact that the storage is underground, the likelihood of an aircraft colliding with the fueling tanks underground is significantly low. In addition, the applicant will have to submit plans for their fueling tanks with the Riverside County Department of Environmental Health Hazardous Materials Branch for review and approval according to their safety regulations.

Part 77: The elevation of Runway 5-23 at its easterly terminus is approximately 1517 feet above mean sea level (AMSL). At a distance of approximately 3,500 feet from the runway, any structure with an elevation at top point exceeding 1,552 feet AMSL would require Federal Aviation Administration (FAA) review through the Form 7460-1 process. The final floor site elevation is 1,510 feet AMSL and the proposed height of the highest structure (the convenience store building) is 26 feet, resulting in a maximum elevation of 1,536 feet AMSL. Therefore, FAA review for height/elevation reasons is not required.

Noise: Average noise levels on this site from aircraft operations would be below 55 dB CNEL.

Open Area: The HRACALUP does not have any requirements for provision of open space.

Attachment/Disclosure: State law requires notification in the course of real estate transactions if the property is located in an Airport Influence Area.

Proposed Compatibility Plan: Pursuant to the proposed Hemet-Ryan Airport Land Use Compatibility Plan, this property would be located in Compatibility Zone E, which does not have any density or intensity restrictions.

CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
 4. Any new proposed detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. Prior to issuance of building permits, the landowner shall convey an avigation easement to the County of Riverside as owner of Hemet-Ryan Airport or provide documentation to the City of Hemet and the Riverside County Airport Land Use Commission that such an easement has already been recorded. Contact the Riverside County Economic Development Agency at (951) 955-9802 for additional information.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

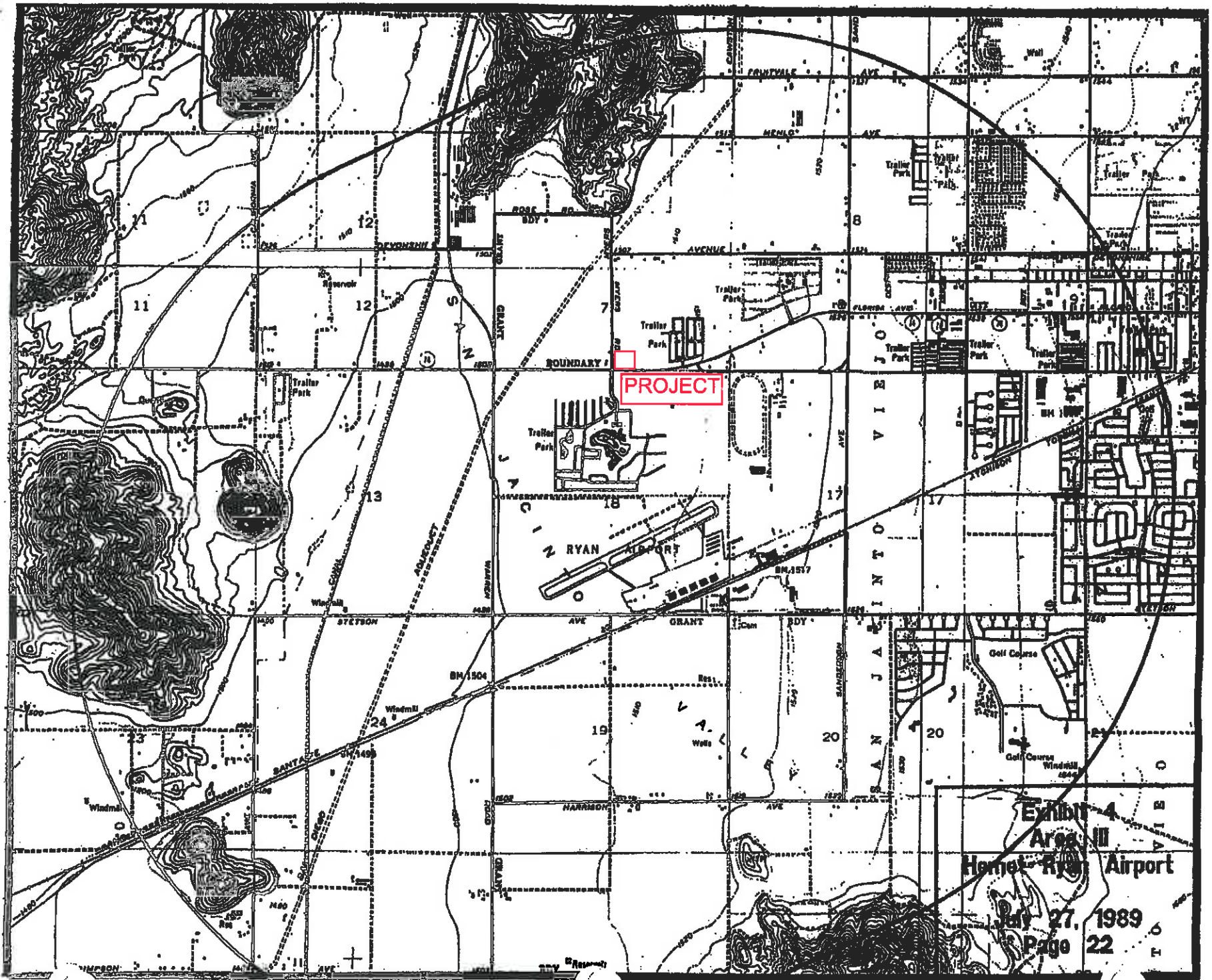
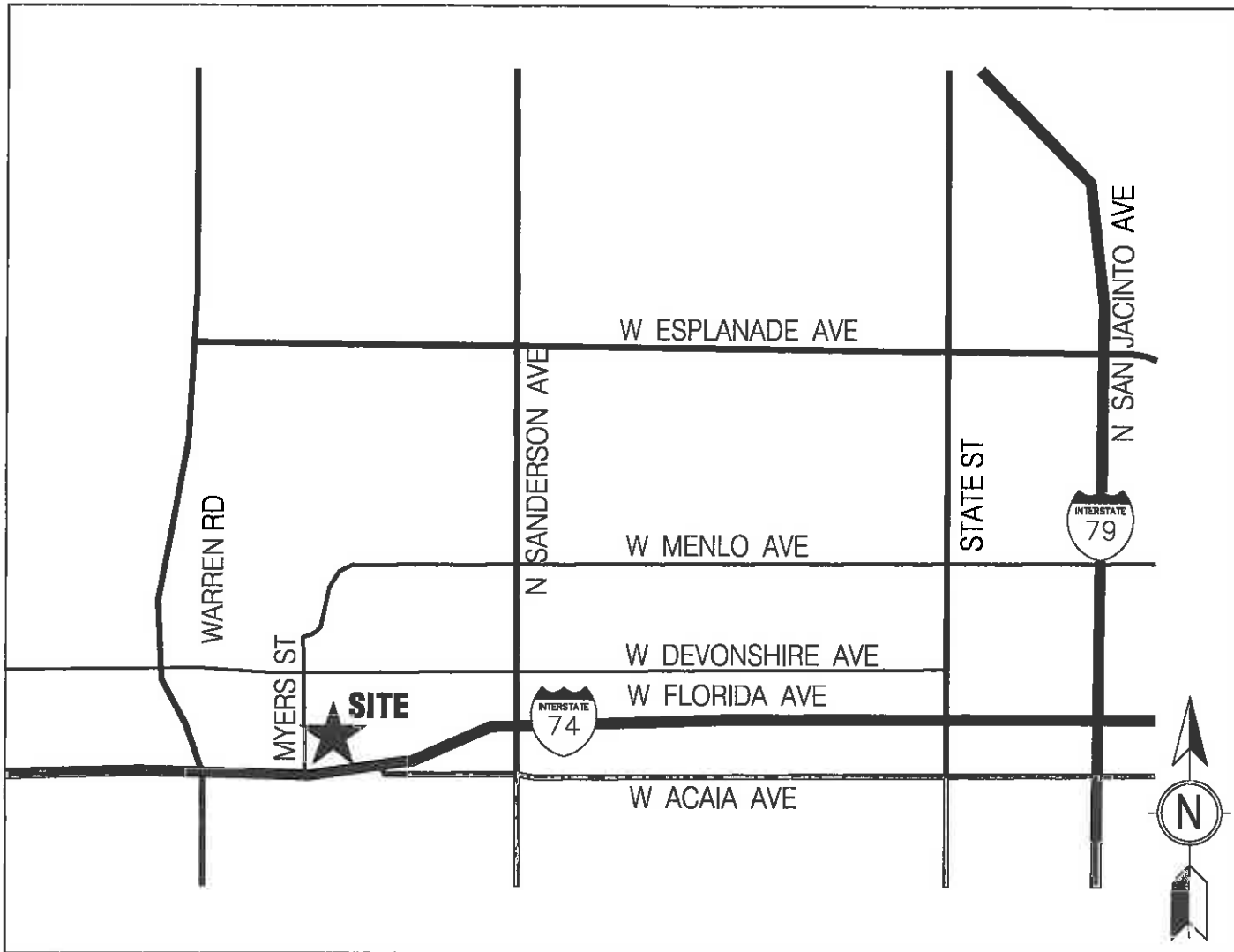


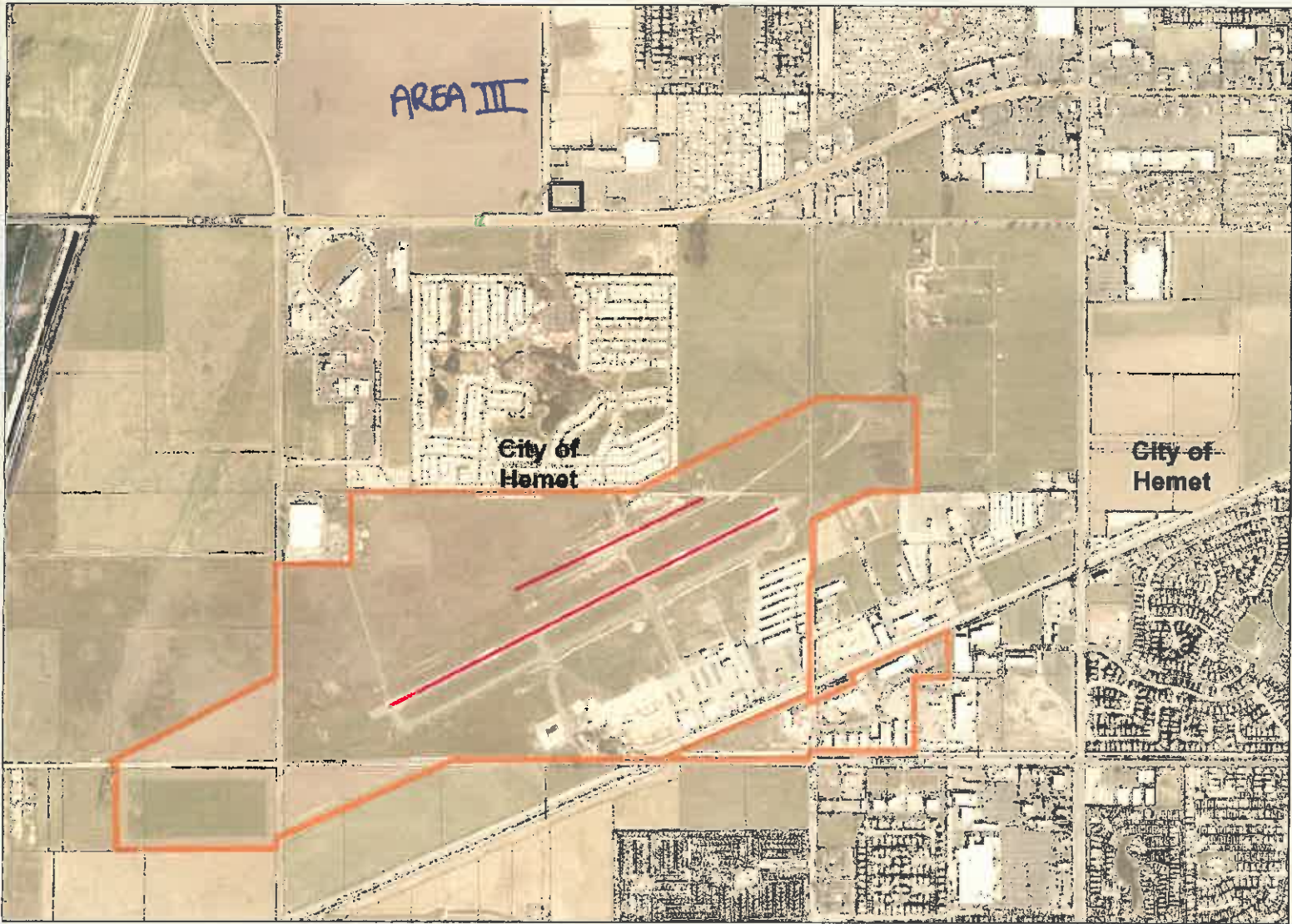
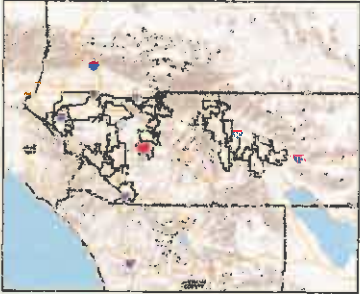
Exhibit 4
Area II
Hemet-Ryan Airport

July 27, 1989
Page 22



VICINTIY MAP

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8



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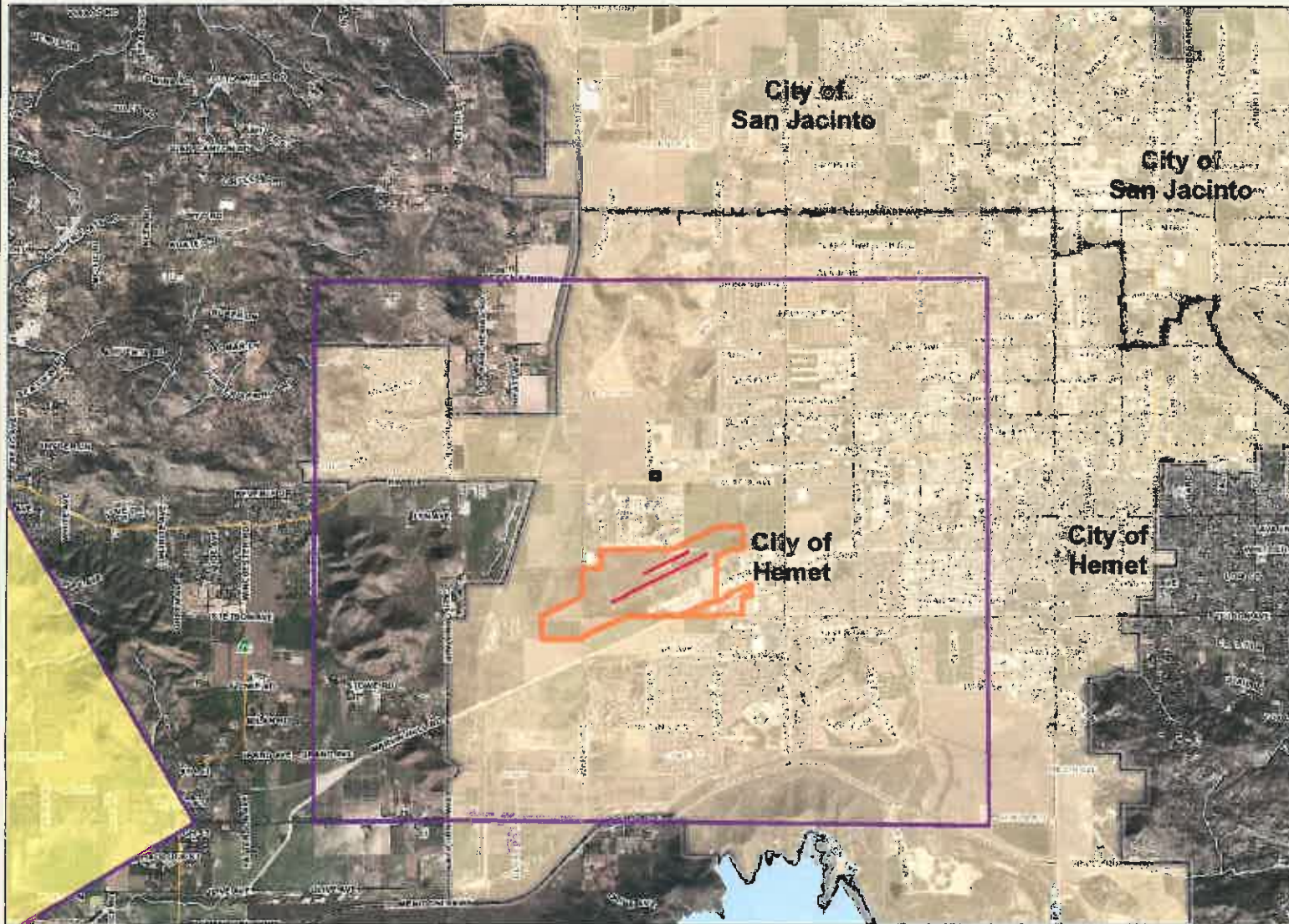
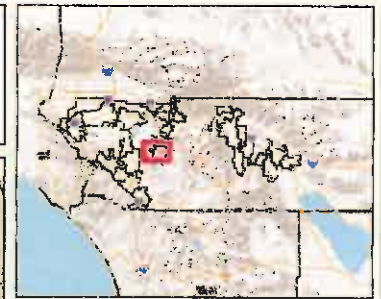
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Notes

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
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- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
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- C1-EXC3
- C1-EXC4
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- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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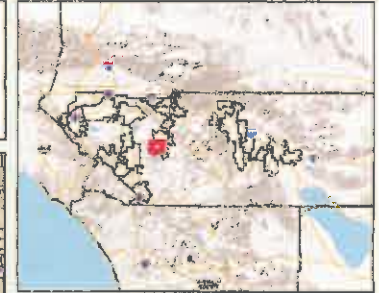
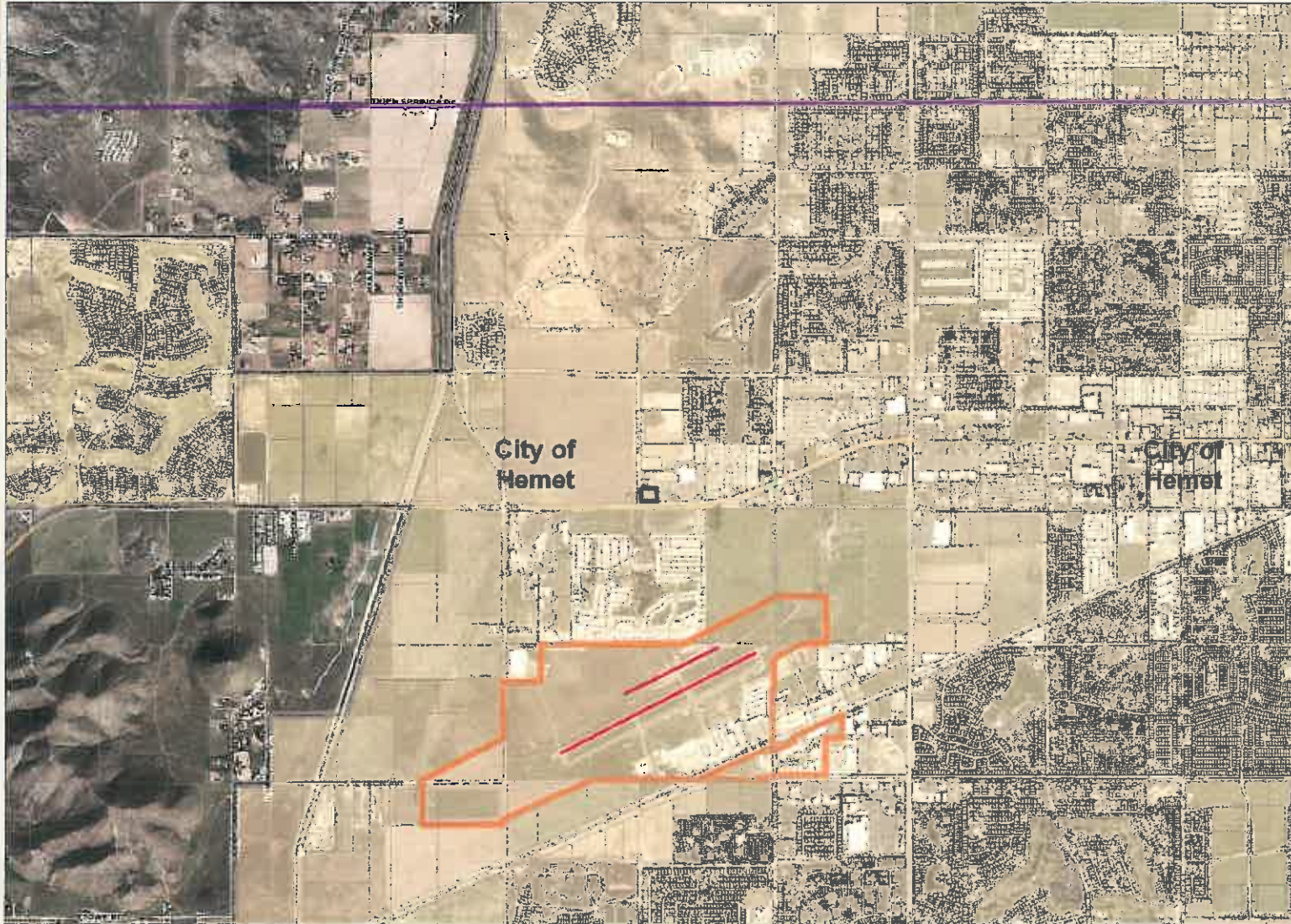


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Notes

My Map



Legend

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- AIA
- Airport Compatibility**
- OTHER_ZONE
- A
- A-EXC1
- B1
- B1-APZ I
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- C1-EXC3
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- C1-HIGHT
- C2
- C2-EXC1
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- C2-EXC6
- C2-HIGHT



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3,645

7,290 Feet



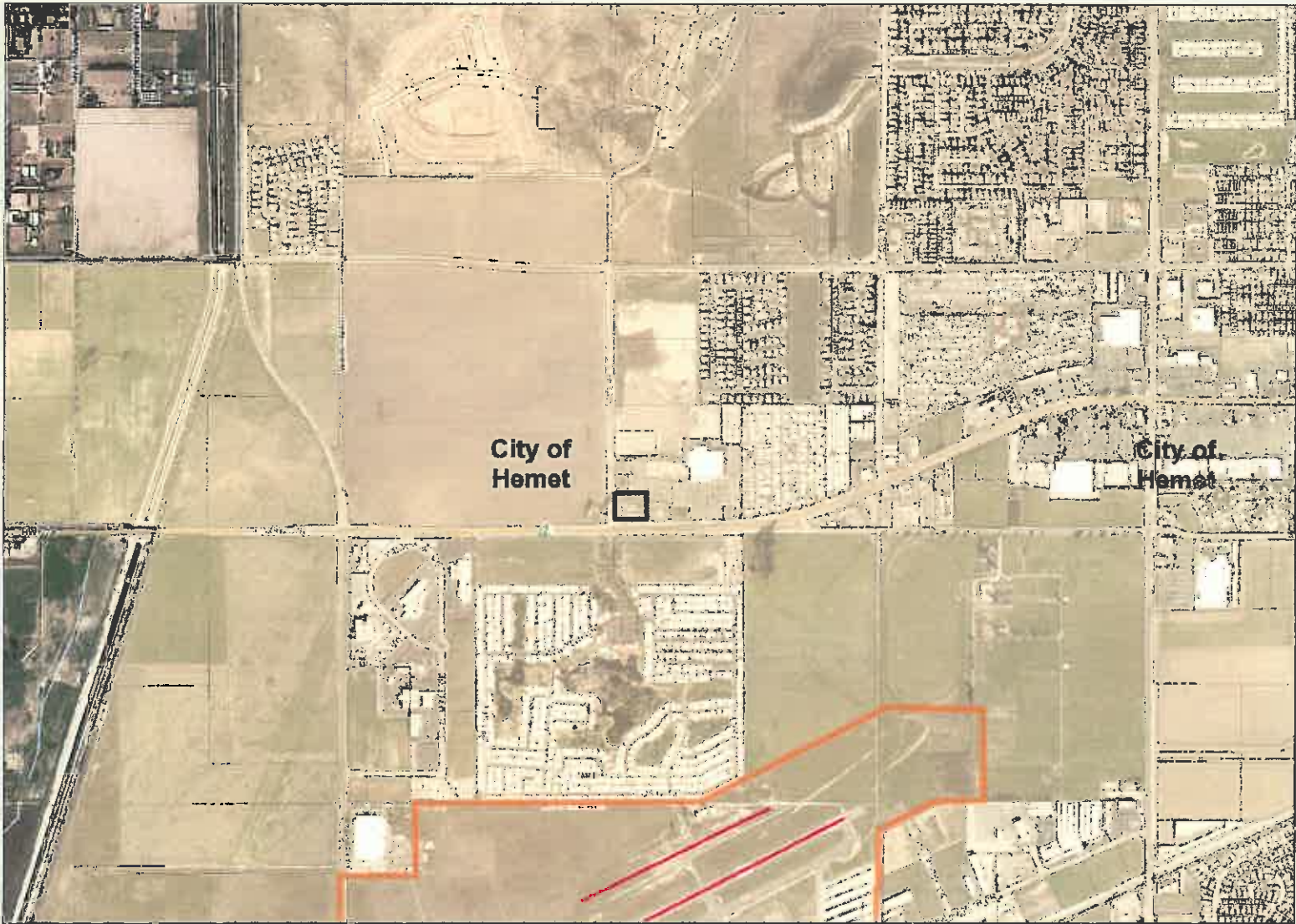
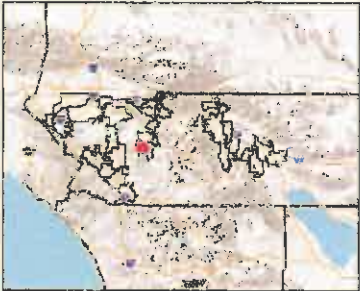
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
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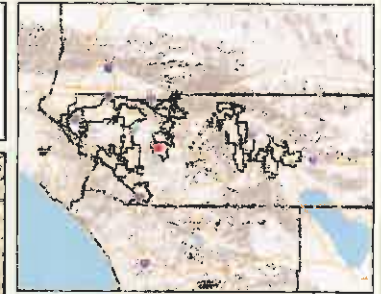
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
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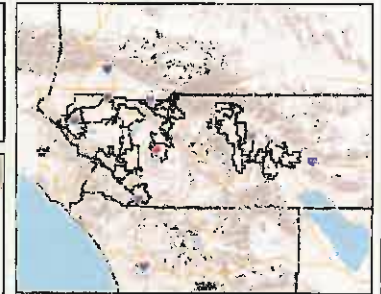
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
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- B1
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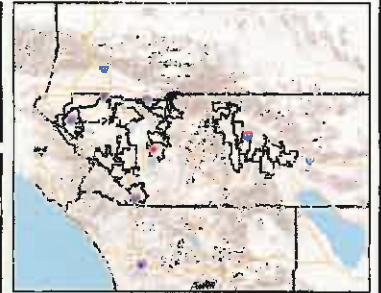
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
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- B1
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- C1-EXC4
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- C2-EXC6



0 114 228 Feet



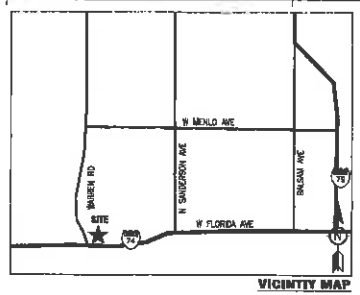
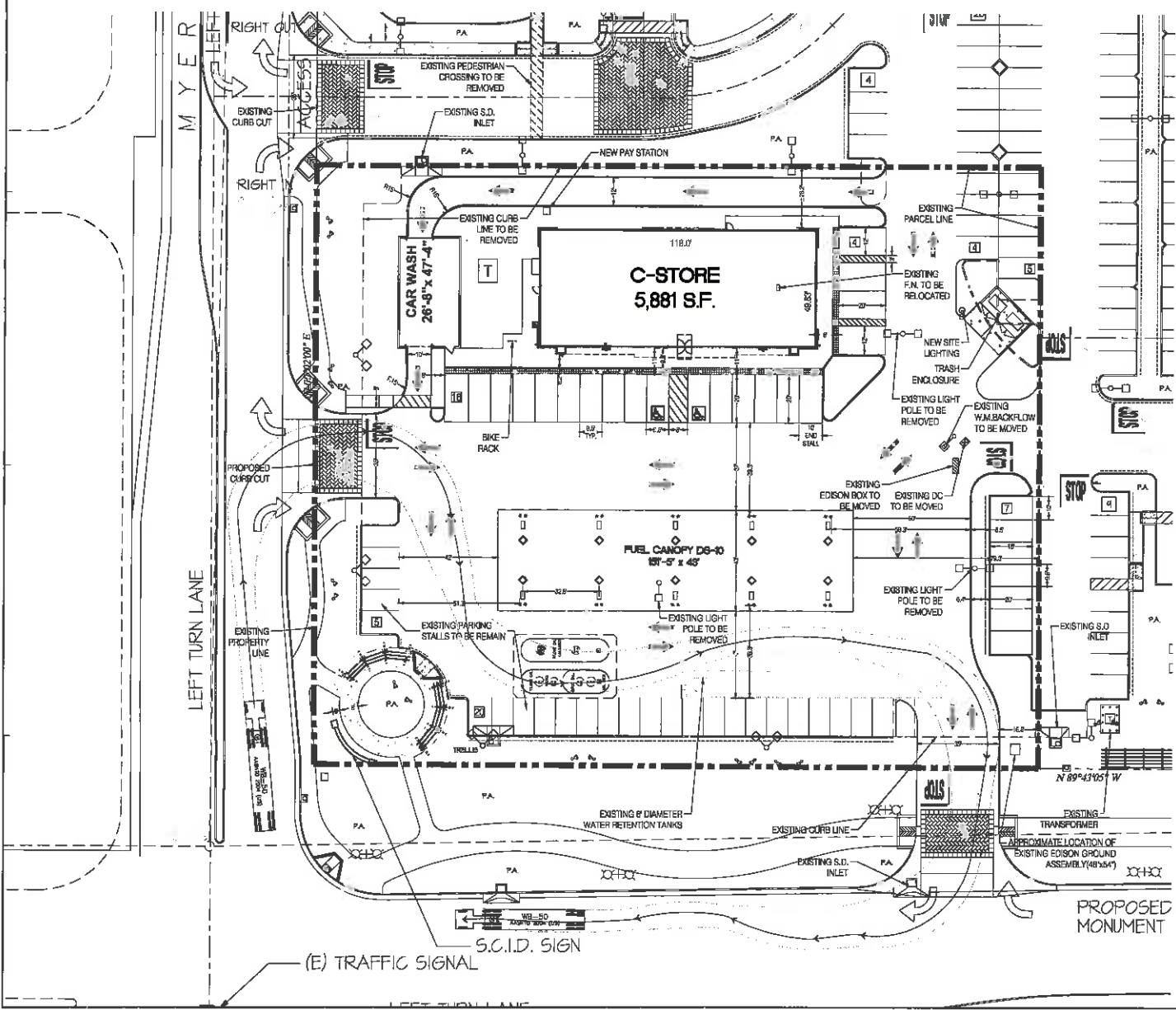
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Notes

**CIRCLE K STORE
SITE PLAN
NEC FLORIDA AVE & MYERS ST, HEMET, CA**



OWNER:
CIRCLE K STORES INC.
1130 WEST BANNER ROAD
BUILDING 11 TEMPE, ARIZONA
85284

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
11811 N. TULUM BLVD., #1061
PHOENIX, ARIZONA 85028
PHONE: (602) 850-8101
FAX: (602) 897-0877
CONTACT: DAVID COLEMAN

ARCHITECT:
GREENBERG FARROW
18000 WACKERFERR BLVD., SUITE 200
IRVINE, CA 92612
PHONE: (949) 298-0480
FAX: (949) 298-0479
CONTACT: DAVID COOPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NEC FLORIDA AVE & MYERS ST, HEMET, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL ISLANDS CONSISTING OF A FUEL ISLAND CONVENIENCE STORE AND A FUEL CANOPY WITH 10 FUEL PUMPS.

ZONING INFORMATION

PROJECT: HEMET, CALIFORNIA
REVISION: FLORIDA PROMISE - SPECIFIC PLAN SP 89-004
EXISTING ZONING: FLORIDA PROMISE - SPECIFIC PLAN SP 89-004
PROPOSED ZONING: FLORIDA PROMISE - SPECIFIC PLAN SP 89-004

MAX. BLDG HEIGHT ALLOWED: 40' BLDG HEIGHT PROVIDED: 23'-10"

REMARKS:
FRONT SETBACK: 10'
SIDE: 0'
REAR (ADJ. TO STREET): 10'
REAR (ADJ. TO ALLEY): 0'

SITE DATA

PARCELS: APN 441140051

CIRCLE K PARCEL: 11.08 AC (CIRCLE K SF)
REMAINING PARCEL: 117.26 AC (CIRCLE K SF)
TOTAL CIRCLE K SITE AREA: 128.34 AC (CIRCLE K SF)

BUILDING AREA

CONVENIENCE STORE BLDG AREA	5,881 SF
FUEL CANOPY AREA	6,811 SF
CAR WASH AREA	1,276 SF
SITE COVERAGE	15,974 (CIRCLE K SF)
BASED ON 7.5' SET OF CIRCLE K AND CARWASH BLDG AND 6' BLDG ADJ. SET AREA	

PARKING REQUIREMENTS

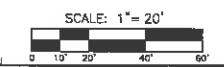
GENERAL COMMERCIAL @ 4.1 BY 100 SF	21 SPACES
------------------------------------	-----------

PARKING PROVIDED

STANDARD PARKING SPACES	38 SF
ACCESSIBLE PARKING SPACES	2 SF
TOTAL PARKING PROVIDED	40 SF
BIKE PARKING PROVIDED	2 SF

GENERAL NOTES

- THIS IS A CONCEPTUAL SITE PLAN AND IS FOR PLANNING PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A CAD FILE PREPARED BY INCIDENTLY MALAK ARCHITECTS, DATED 08.12.16, AN AERIAL, AND A CAD FILE OF EXISTING UTILITIES RECEIVED ON 01.27.19.



GreenbergFarrow
19000 MacArthur Blvd., Suite 230
Irvine, CA 92612

REVISION/VERSION RECORD

DATE	DESCRIPTION
02/27/19	PREP SP-1
03/27/19	PREP SP-2
04/27/19	PREP SP-3
05/27/19	PREP SP-4
06/27/19	PREP SP-5
07/27/19	PREP SP-6

PROFESSIONAL BY CHAIRMAN
ARCHITECT: DAVID S. COOPER
PROJECT MANAGER: DAVID COOPER
QUALITY CONTROL: DAVID COOPER
DESIGNED BY: DAVID COOPER
PROJECT NAME: CIRCLE K STORE #

**HEMET, CALIFORNIA
NEC FLORIDA AVE
& MYERS ST**

**LAND DEVELOPMENT
CONSULTANTS, LLC**
1811 N. TATUM BLVD., SUITE
PHOENIX, AZ 85028

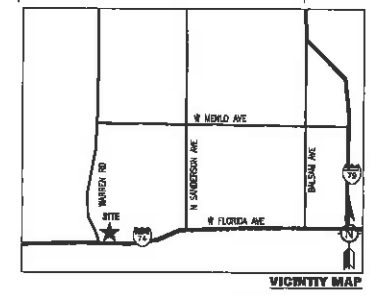
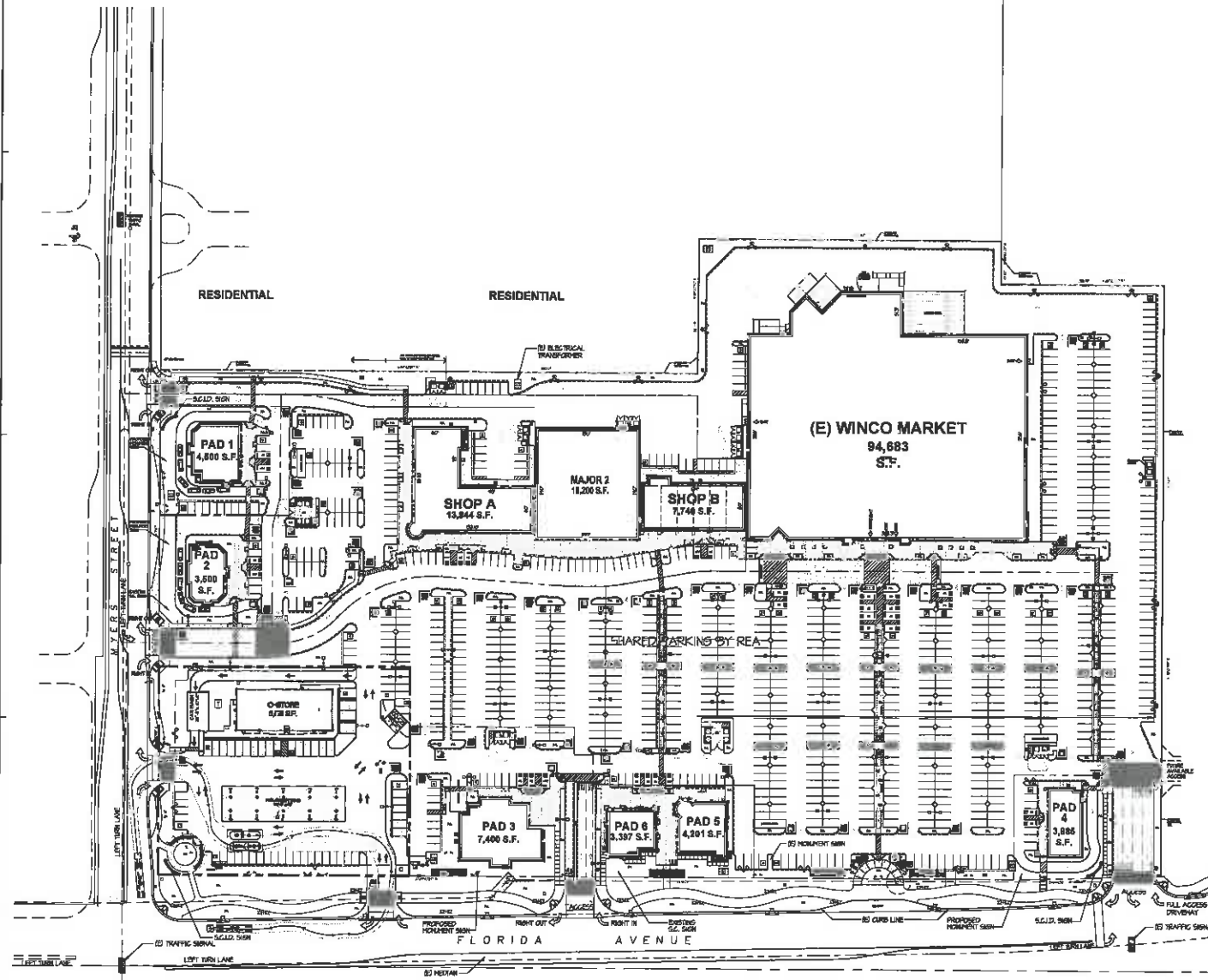


PROJECT NUMBER: 20151276.0

SHEET TITLE: SITE PLAN

SHEET NUMBER: SP-6.1

**CIRCLE K STORE
OVERALL SITE PLAN**
NEC FLORIDA AVE & MYERS ST, HEMET, CA



OWNER:
CIRCLE K STORES INC.
1130 WEST BURNER ROAD
DULING B TEMPE, ARIZONA
85284

OWNER REPRESENTATIVE:
LAND DEVELOPMENT CONSULTANTS, LLC
11811 N. TATUM BLVD., FLOOR 1
PHOENIX, ARIZONA 85028
PHONE: (602) 830-8101
FAX: (602) 967-3887
CONTACT: DAVE COHEN

ARCHITECT:
GREENBERG FARBOW
1900 MACARTHUR BLVD., SUITE 250
IRVINE, CA 92612
PHONE: (949) 238-0450
FAX: (949) 238-0479
CONTACT: DOUG COOPER

PROJECT INFORMATION

PROJECT NAME: CIRCLE K CONVENIENCE STORE
PROJECT ADDRESS: NEC FLORIDA AVE & MYERS ST, HEMET, CA
PROJECT DESCRIPTION: PROPOSAL FOR A NEW CONVENIENCE STORE WITH ASSOCIATED FUEL SALES CONSISTING OF A 1,861 S.F. CONVENIENCE STORE AND A FUEL CANOPY WITH 10 FUEL PUMPS.

ZONING INFORMATION

JURISDICTION: HEMET, CALIFORNIA
ZONING: FLORIDA PROMENADE - SPECIFIC PLAN SP 98-004
PROPOSED ZONING: FLORIDA PROMENADE - SPECIFIC PLAN SP 98-004

MAX. BLDG HEIGHT ALLOWED: 40' BLDG HEIGHT PROVIDED: 23'-00"
SETBACKS: FRONT (MYERS ST): 15'
SIDE: 0'
REAR (90' TO STREET): 60'
RESIDENTIAL: 30'

SITE DATA

PARCELS: APN 445140351

CIRCLE K PARCELS: 41,800 AC (2,745,458 SF)
REMAINING PARCELS: 117.28 AC (7,976,489 SF)
TOTAL CIRCLE K SITE AREA: 159,087 AC (10,721,947 SF)

BUILDING AREA

CONVENIENCE STORE BLDG AREA: 1,861 SF
FUEL CANOPY AREA: 6,511 SF
CAR WASH AREA: 1,076 SF
SITE COVERAGE (BASED ON 7.951 SF OF CIRCLE K AND CARWASH BLDG AND 61.80 AC OF SITE AREA): 15.76% (2,972 SF) W/C

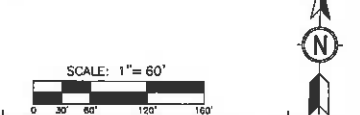
PARKING REQUIREMENTS

GENERAL COMMERCIAL @ 4.89/1000 SF: 28 SPACES

PARKING PROVIDED:
STANDARD PARKING SPACES: 99 SF
ACCESSIBLE PARKING SPACES: 2 SF
TOTAL PARKING PROVIDED: 101 SF
VEHICLE PARKING PROVIDED: 1 SF

GENERAL NOTES

- THIS IS A CONCEPTUAL SITE PLAN AND IS FOR PLANNING PURPOSES ONLY.
- THIS SITE PLAN IS BASED ON A CAD FILE PREPARED BY MCCENTLY MALAK ARCHITECTS, DATED 06.12.15, AN AERIAL, AND A CAD FILE OF EXISTING UTILITIES RECEIVED ON 01.27.15.



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1900 MacArthur Blvd., Suite 250
Irvine, CA 92612

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DATE	DESCRIPTION
05/26/15	PREP SP-1
05/26/15	PREP SP-2
05/26/15	PREP SP-3
05/26/15	PREP SP-4
05/26/15	PREP SP-5
05/26/15	PREP SP-6
05/26/15	PREP SP-7

PROFESSIONAL IN CHARGE
AND/ OR PREP IN CHARGE
DOUGLAS S. COOPER

PROJECT MANAGER
NO

QUALITY CONTROL
NO

DRAWN BY
M/C/D

CHECKED BY
M/C/D

PROJECT NAME
CIRCLE K STORE #

HEMET, CALIFORNIA
NEC FLORIDA AVE & MYERS ST

D
LAND DEVELOPMENT
CONSULTANTS, LLC
1801 N. TATUM BLVD., 800
PHOENIX, AZ 85028



CIRCLE K STORES INC.

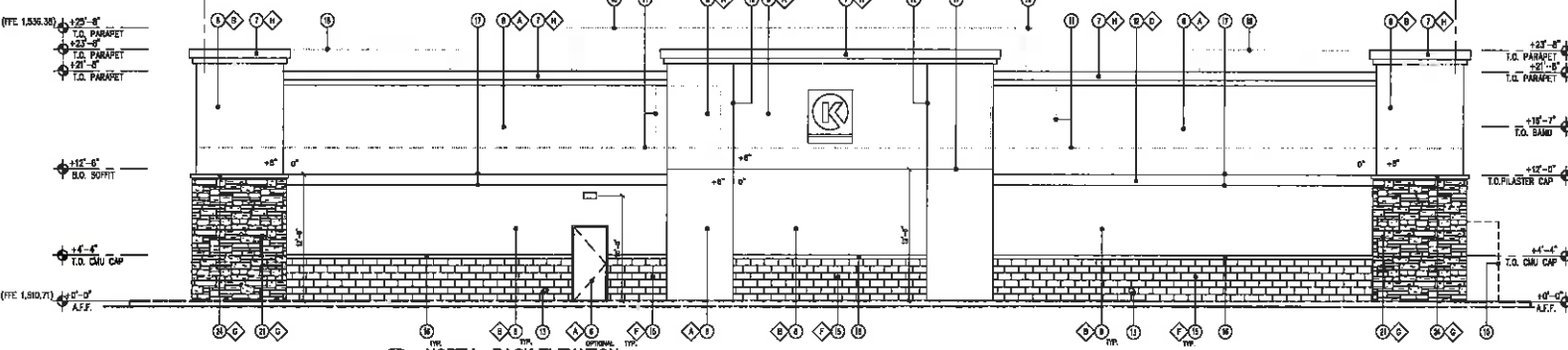
PROJECT NUMBER:
20151276.0

SHEET TITLE
OVERALL SITE PLAN

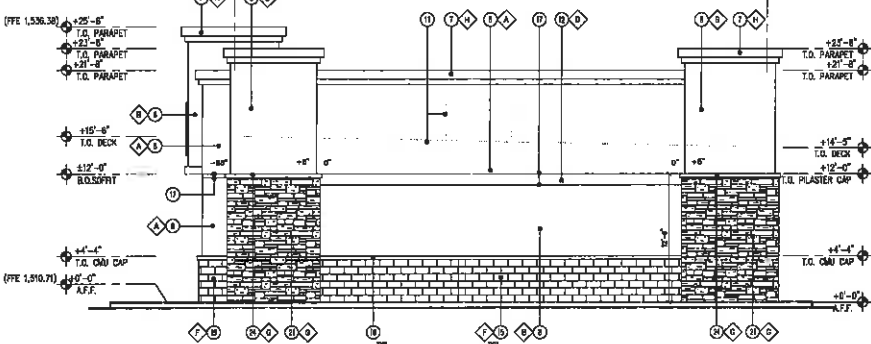
SHEET NUMBER:
SP-6.2



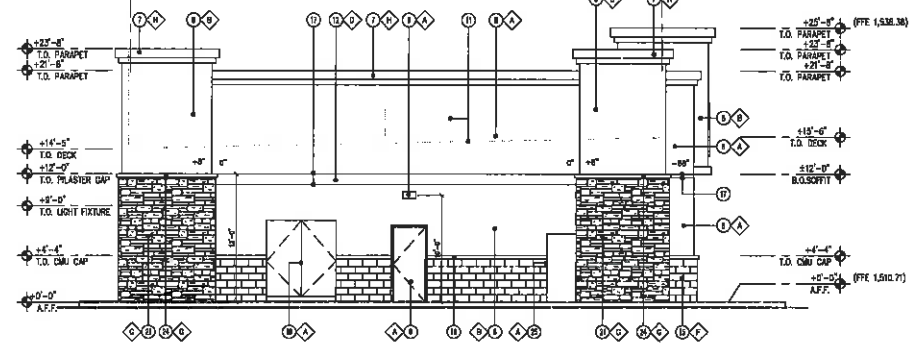
1 SOUTH - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH - BACK ELEVATION
SCALE: 3/16" = 1'-0"



3 EAST - SIDE ELEVATION
SCALE: 3/16" = 1'-0"



4 WEST - SIDE ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES

- NOT SHOWN
- BRICK WORKED LIGHT FINISH
- GLASS BRIDGE BY CLEAR GLASS BRIDGE SYSTEM
- STAIRWAY CHECK & LOADS BY CIVIL ENGINEERING (BASED SPAN/SPAN POINT)
- GLASS BRIDGE BY CLEAR GLASS BRIDGE SYSTEM
- BRICKWORK MATCH TO MATCH SURROUNDING WALL
- CORNER MOUNTING BRK WITH CAP PLUMBING
- STOVE/FRIDGE SET CAP-180" WITH ACETYLE FURN. OVER ROOF BEAMS
- WALL MOUNTED LIGHT FIXTURES SEE ELECTRICAL PLAN
- SEE PANEL LOCATION SEE ELECTRICAL PLAN
- ROOF LINE AND HANG LIGHTS
- STOVE/FRIDGE AND BRK SET PER LOCAL PER-205-02 SEE DETAIL 4/16/1
- ROOF OVER TRN
- ALUMINUM CASINGS IF WALL AND BLACK INSULATED PANEL AREA LOCATED TO BE DETERMINED BY THE ARCHITECT
- 4x4x4 CMU VERTICAL ORIENTED TO MATCH CMU COLOR
- 4x4x4 SOLID CMU EXP
- STOVE/FRIDGE LINE WITH PER PANELS SEE DETAIL 2/16/1
- PARAPET WALL FINISH
- (NOTCH) SET-OUT AT 8'-0" OUT OF RECORDED BY THE ARCHITECT
- NOT SHOWN
- STEEL WORKER METAL PER WFE SPEC. METAL ORIENTED UPWARD TO MATCH BRICK WORKER
- NOT SHOWN
- FORM BRICK
- STEEL WORKER CAP. METAL PER WFE SPEC
- SEE SIGN SET UP WITH LOCAL/STATE CODES
- LOADING FROM TO MATCH AREA SURROUNDING, SEE DET. 1/16/1

FINISH SCHEDULE

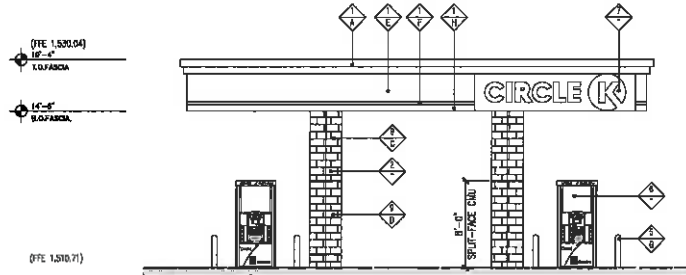
- 1 - 12" BRK BRK
- 2 - 12" BRK BRK
- 3 - 12" BRK BRK
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- 99 - 12" BRK BRK
- 100 - 12" BRK BRK

GreenbergFarrow
18000 MacArthur Blvd., Suite 250
Irvine, CA 92612
t: 949 298 0450 f: 949 298 0437

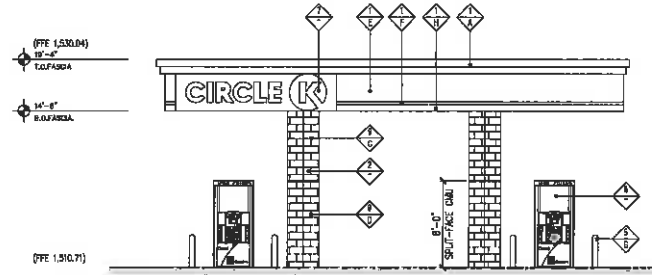
CIRCLE K STORES INC.
265 E. RIVINGTON ST. Ste. 100
Covina, California 92629
Phone: (866) 311-2239

LAND DEVELOPMENT CONSULTANTS, LLC
11811 N. TAMM BLVD. Ste. 1061
Phoenix, Arizona 85028
Phone: (602) 850-6101; Fax: (602) 897-8807

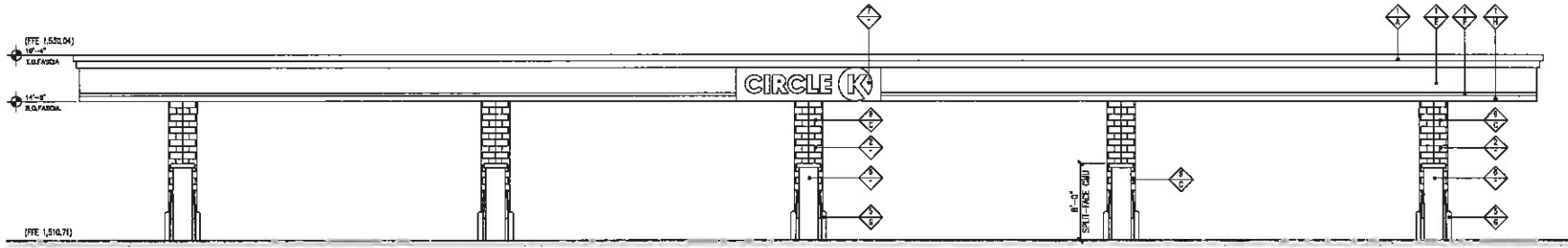
CIRCLE K BUILDING EXTERIOR ELEVATIONS - 5881
NEC FLORIDA AVE. & MYERS ST.
HEMET, CALIFORNIA
20151276.0
SCALE: AS NOTED
A-2



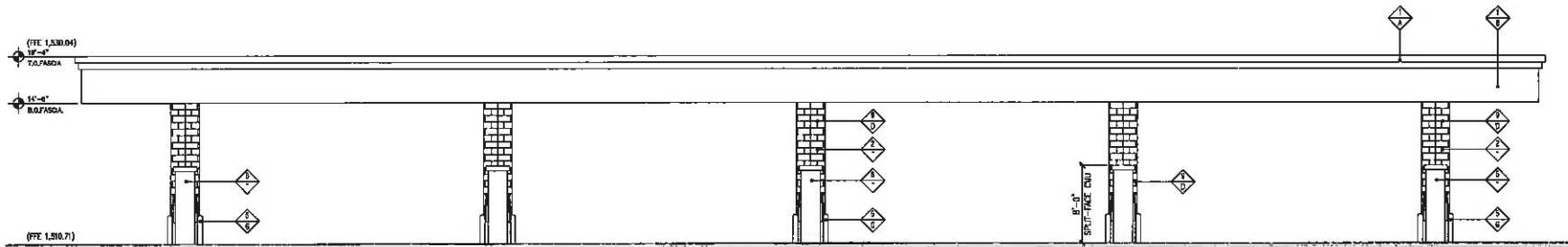
4 'SIDE' ELEVATION (WEST)
SCALE: 3/16" = 1'-0"



3 'SIDE' ELEVATION (EAST)
SCALE: 3/16" = 1'-0"



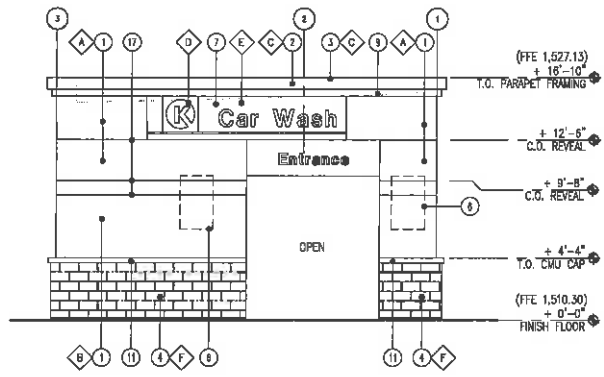
2 'FRONT' ELEVATION (SOUTH)
SCALE: 3/16" = 1'-0"



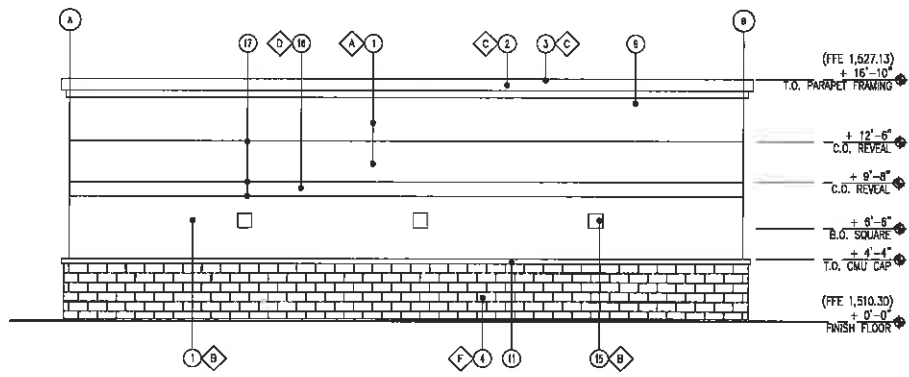
1 'REAR' ELEVATION (NORTH)
SCALE: 3/16" = 1'-0"

FINISH SCHEDULE	
FINISH MATERIAL	
1	ACM PANEL, TEG-COTE WITH STUCCO FINISH
2	STEEL COLUMN WITH-BW
3	NOT USED
4	NOT USED
5	8" Ø BOLLARD, 30" HIGH
6	FUEL PUMP
7	STANDARD CIRCLE K LOGO WITH CHAMKED LETTERS (UNDER SEPARATE PERMIT)
8	NOT USED
9	ANCHOR CURB VENEER, BRIDGED TO MATCH CANV COLOR
FINISH COLOR	
A	ICI #338 - PAPER ISLAND
B	ICI #557 - CHINCH STREET
C	ANGELUS BLOCK FREEDOM CMU - HARVEST
D	ANGELUS BLOCK SPLIT-FACE CMU - SHERP
E	ACM PANELS CIRCLE K RED
F	ACM PANELS CIRCLE K WHITE
G	PVD BOLLARD SLEEVE 'DARK/GRAY'
H	ACM PANELS CIRCLE K ORANGE #PMS 144

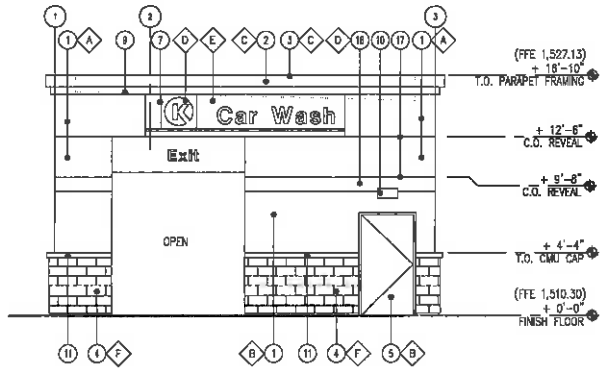
Notes:
 1. Colors shown on these elevations are for illustration purposes only. Actual colors refer to manufacturer's samples.
 2. The ACM panels are white and are the full length/height of the canopy fascia. The sliver detail are installed over the ACM panels above the 8" curb and support the true color and panel.
 3. All signs require a separate submittal.



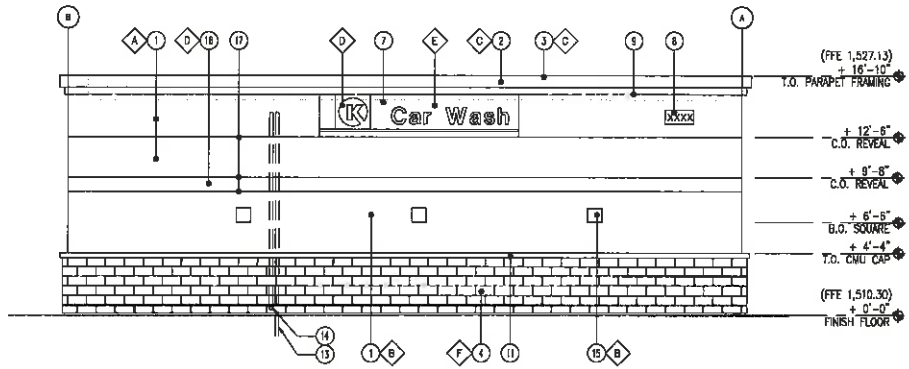
3 REAR ELEVATION - NORTH
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION - EAST
SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION - SOUTH
SCALE: 3/16" = 1'-0"



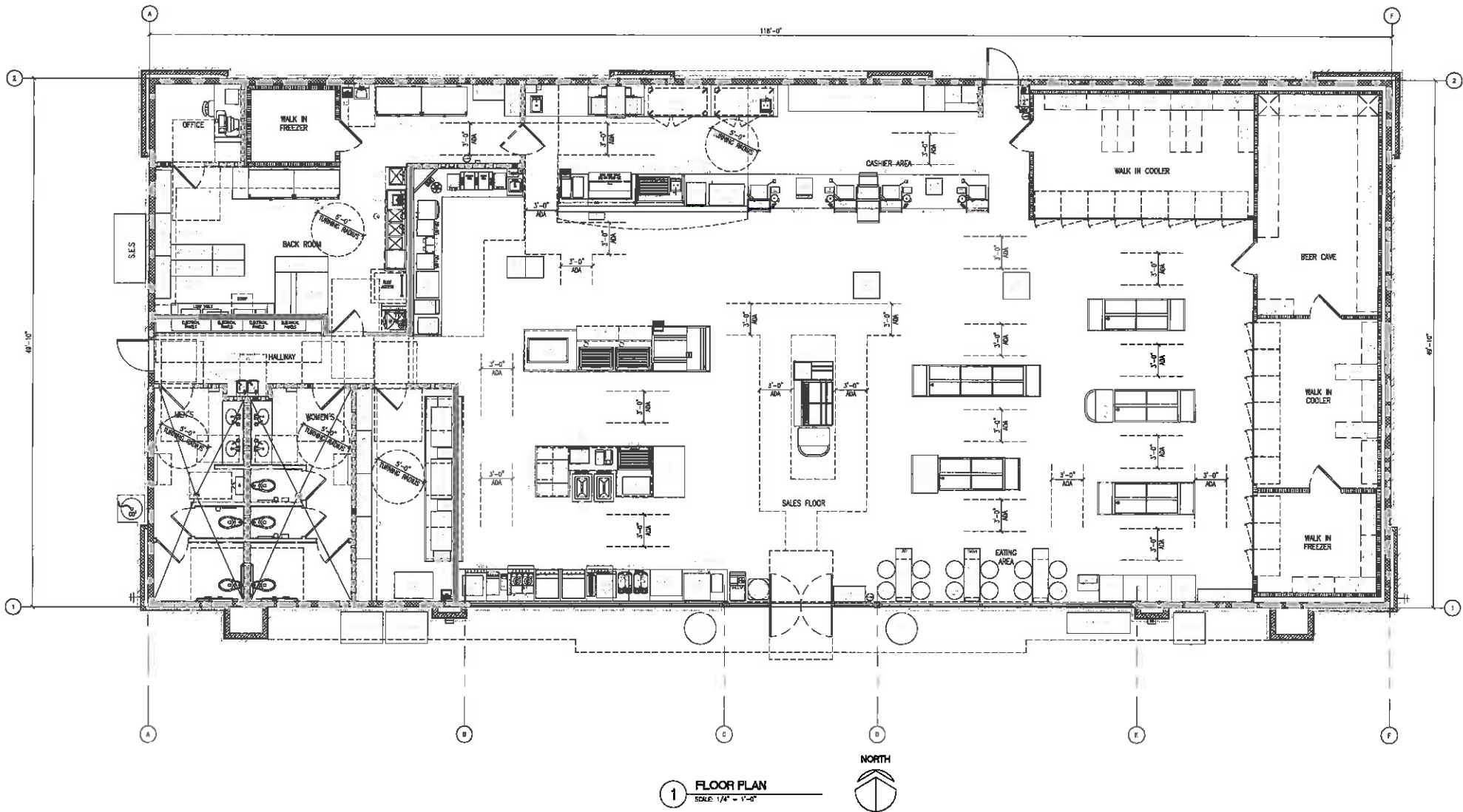
2 SIDE ELEVATION - WEST
SCALE: 3/16" = 1'-0"

KEY NOTES

1. FLUCCO SYSTEM FOR SIGN-MOUNT WITH ANCHORS FROM EXISTING BRICK WALLS
2. SIGN WITH BRICK AND FLUCCO SYSTEM
3. CHIP FLASHING TO MATCH CORNER COLOR
4. LEADY GULF SYSTEM, ANCHORS TO EXISTING GULF COLOR
5. INSULATED VULCANITE WITH SOOB IS-CLAD
6. 20"X4" SHIP LOCK FRAMES
7. COMPOUND CURVE & LEADY WITH CHANNEL (LETTERS SHOULD BE SHOWN)
8. ADDRESS SIGN NUMBER, 8" HIGH & 17" COMPOUND BRICKWORKING
9. LINE OF ROOF
10. EXTERIOR WALL, SOURCE
11. GULF SHIP LOCK CHIP
12. BRICKWORKING AND CHIP, PROVIDE BRICK SHOWN, NO MECHANICAL DEVICES
13. ROOF FRAM. SEE CHG. DRAWING FOR CONSTRUCTION
14. OVERLAY WITH SHIP SINGLE, BRICKWORKING TO PROVIDE A CONCRETE SPLASH BLOCK AT THE APPROPRIATE LOCATION AT UNDERLAYER AREA
15. SQUARE STUDS
16. BRICKWORKING ANCHOR WITH FIVE HOOKS (SEE CHG. DRAWING)
17. BRICKWORKING LAY WITH FIVE HOOKS

FINISH SCHEDULE

- ◊ - G1 BRICK SIGN
- ◊ - G2 BRICK SIGN
- ◊ - G3 BRICK SIGN
- ◊ - G4 BRICK SIGN
- ◊ - G5 BRICK SIGN
- ◊ - G6 BRICK SIGN
- ◊ - G7 BRICK SIGN
- ◊ - G8 BRICK SIGN
- ◊ - G9 BRICK SIGN
- ◊ - G10 BRICK SIGN
- ◊ - G11 BRICK SIGN
- ◊ - G12 BRICK SIGN
- ◊ - G13 BRICK SIGN
- ◊ - G14 BRICK SIGN
- ◊ - G15 BRICK SIGN
- ◊ - G16 BRICK SIGN
- ◊ - G17 BRICK SIGN



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

II. DEFINITIONS

A. Critical Facilities:

Examples (including but not limited to):

1. Telephone Exchanges
2. Electrical Transformer Relays
3. Radio HV Studies

B. Discretionary Review:

Land Uses

There exists a wide variety of land uses categories. To deal with the review of such land uses in a practical manner, a discretionary review procedure is employed. The discretionary review procedure is located in Section VIII, Discretionary Review Procedures, page 36.

C. Hazardous Materials:

Examples (including, but not limited to):

1. Flammable Liquids
2. Flammable Materials
3. Combustible Materials
4. Explosive Materials
5. Pesticides
6. Cleaning Agents
7. Compressed Gas
8. Feed and Flour Mills
9. Plastics Manufacturing/Storage
10. Breweries

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m., except Monday, October 10, 2016 (Columbus Day), and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Hemet may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
 4080 Lemon St., 1st Floor Board Chambers
 Riverside, California

DATE OF HEARING: October 13, 2016

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1039HR16 – Hemet 55 SP, LLC (Representative: Joe Ham) – City of Hemet Planning Case No. CUP 16-005 (Conditional Use Permit). The applicant is proposing to construct a gas station facility including a 5,881 square foot convenience store, 6,511 square foot 10 pump fueling area, and a 1,270 square foot automated car wash tunnel on a 1.8 acre parcel within an existing commercial shopping center, located on the northeast corner of W. Florida Avenue and Myers Street. This matter comes before the Airport Land Use Commission because service stations involved hazardous materials

(gasoline). (Area III of the Hemet-Ryan Airport Comprehensive Airport Land Use Plan).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Soledad Carrisoza of the City of Hemet Planning Department at (951) 765-2376.

**APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**

ALUC Identification No.

ZAP 1039 HR16

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 8/26/16
 Property Owner Hemet 55 SP LLC Phone Number 714-408-6000
 Mailing Address 27132 B Paseo Espada
Suite 1206
San Juan Capistrano, CA 92675

Agent (if any) Joe Ham Phone Number same
 Mailing Address same

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address 4852 West Florida Ave.
Hemet, CA 92543
 Assessor's Parcel No. 448 14 0051-1 Parcel Size 1.8 acres
 Subdivision Name N/A Zoning SP 06-004
 Lot Number N/A Classification

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) vacant out parcel of Florida Promenade
shopping center w/ parking lot & utility improvements

Proposed Land Use (describe) Construction of convenience store, car wash & gas station

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) _____
 For Other Land Uses Hours of Use 24/7
 (See Appendix C) Number of People on Site Maximum Number 3 employees plus customers est
 Method of Calculation at 15 = 18 total expected maximum

Height Data Height above Ground or Tallest Object (including antennas and trees) 26 ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site 1536 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

HR
AREA III

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	_____
Agency Name	<u>City of Hemet</u>
Staff Contact	<u>Soledad Carrisoza</u>
Phone Number	<u>951-765-2376</u>
Agency's Project No.	<u>CLP 16-005</u>
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input checked="" type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other _____

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1 Completed Application Form
- 1 Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1 Completed Application Form
- 1 Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (**See Proponent**).
- 1 Set . Gummed address labels of the referring agency.
- 1 Check for review–See Below

COUNTY OF RIVERSIDE AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: October 13, 2016

CASE NUMBER: ZAP1064BD16 – Shadow Hills RV Resort (Representative: Coachella Valley Engineers)

APPROVING JURISDICTION: City of Indio

JURISDICTION CASE NO: CUP 16-1-1012 (Conditional Use Permit)

MAJOR ISSUES: The existing RV resort was established prior to the adoption of the Bermuda Dunes ALUCP and qualifies as a pre-existing use. The applicant is proposing to utilize 4 acres of an adjacent property for temporary usage during events. Should the expansion be approved, 4 acres of land would remain vacant for most of the year. However, during special events (which may ultimately be up to 50 days per year, generally not more than five consecutive days), this 4-acre area would be used for temporary RV spaces or tents. During these special events, a combination of up to 700 camping tents and 259 RV spaces could result in exceedance of Compatibility Zone D single-acre intensity limits if not dispersed. In order for the project to be consistent, a condition has been applied to ensure that the tents are dispersed so as not to exceed the single acre criterion.

In addition, staff received a comment letter dated September 28, 2016, from the property owner of the adjacent 4 acre expansion property, Joseph Tennant of Jefferson Desert St. Property, LLC. This entity is proposing to develop a business park on its acreage (including the 4-acre area in question) and is requesting that the 4-acre area be deleted from ALUC's action on this project. He also provided a copy of a notice issued to Shadow Hills RV Resort on June 2, 2016, requesting vacation of the leased property within 90 days. The applicant contends that this notice is not consistent with the terms of his lease.

RECOMMENDATION: Staff is requesting additional time to look into the issues raised by Jefferson Desert St. Property, LLC, and, therefore, recommends that the Commission CONTINUE consideration of the matter to its November 10, 2016, public hearing agenda.

PROJECT DESCRIPTION: The applicant proposes to modify and expand the operation of the existing Shadow Hills RV Resort and establish guidelines for special events that would allow additional RV camping on an adjacent 4-acre area and provision for up to 700 tents within the 14-acre area. The applicant is proposing to increase the number of permanent RV spaces from 124 to 135 on the existing 10 acre parcel, provide for an additional 124 spaces on a temporary basis (during special events) located on the adjacent 4 acre parcel to the west, resulting in a total 259 spaces, and

allow up to 700 camping tents onsite during major special events to occur up to 50 days per year. The project is divided into two portions: the existing RV park located on a 10 acre parcel, and an adjacent 4 acre parcel which will be used as temporary RV spaces during major special events. The existing RV park currently contains 124 permanent RV spaces. The applicant proposes to add 11 permanent RV spaces. The applicant is also proposing that 700 camping tents be allowed onsite during major special events. (Tent spaces are 300 square feet in area [10 feet by 30 feet] and includes vehicle parking area for the tent campers.) The applicant proposes to have 124 temporary RV spaces on the adjacent 4 acre parcel during special events. In total, there will be some combination of up to 259 RV spaces and up to 700 camping tents during peak time occupancy, but the maximum levels of each would not occur simultaneously, and a maximum occupancy of 1,250 persons as conditioned by the City of Indio.

PROJECT LOCATION: The site is located westerly of Jefferson Street and northerly of Varner Road, in the City of Indio, approximately 2,100 feet northerly of the easterly terminus of Runway 10-28 at Bermuda Dunes Airport.

LAND USE PLAN: 2004 Bermuda Dunes Airport Land Use Compatibility Plan

- a. Airport Influence Area: Bermuda Dunes Airport
- b. Land Use Policy: Compatibility Zone D
- c. Noise Levels: 55 - 60 CNEL contour

BACKGROUND:

Non-Residential Average Intensity: Pursuant to the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D. Zone D restricts average intensity to 100 people per acre.

The City of Indio has conditioned the project's 14-acre site for a maximum occupancy of 1,250 persons during special events. This results in an average intensity of 89 people per acre, which is consistent with the Zone D criterion of 100.

Another method of calculating total occupancy involves multiplying the number of RV spaces and tents by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). Based on the combined maximum number of RV spaces (259 RV spaces) and tents (700 tents) permitted for use during special events, the total occupancy of the entire 14-acre site would be estimated at 1,439 people. This would result in an average intensity of 103 people, which just exceeds the Zone D criterion of 100 and, therefore, would be inconsistent. If we anticipated that each RV space/tent had 2.0 people, the occupancy during special events would be 1,918 people or 137 people per average acre, which is inconsistent with Zone D criterion of 100. However, these maximum levels would not occur simultaneously. Rather, the 4-acre area will be used for varying combinations of RVs and

tents, depending on the event.

When there are no special events, the occupancy of the park would be 135 RV spaces, resulting in an occupancy of 203 people, and an average intensity of 14 people per acre which is consistent with Zone D criterion of 100. In the case of special events with RV occupancy only, the average intensity on the 4-acre parcel would be consistent even if one were to assume up to 3.2 persons per RV.

Non-Residential Single-Acre Intensity: Pursuant to the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D. Zone D restricts single acre intensity to 300 people per acre.

Based on the site plan provided and project description as previously noted, the single acre intensity can be calculated in three different occupancy scenarios during special events (which is when the peak times occupancy in the project occurs): RV occupancy only, tent occupancy only, and a combination of RV and tent occupancy.

In the RV occupancy-only scenario, the single acre would have a maximum total of 259 RVs (135 permanent and 124 temporary). Based on the site plan, the highest congregation of RVs in a single acre is located in the northwest corner of the 4 acre expansion parcel, resulting in 36 RV spaces and would accommodate a total of 72 people (using a 2.0 persons per RV space ratio). This is consistent with Compatibility Zone D single acre criterion of 300.

In the tent occupancy-only scenario, the single acre would have a maximum total of 145 tent spaces. Based on a reconfigured site plan, the tents would replace the RVs in the location stated in the above scenario. This would result in a total of 290 people (using a 2.0 persons per tent ratio), which is consistent with Compatibility Zone D single acre criterion of 300.

In the combination RV/tent occupancy scenario, the single acre would have 17 RV spaces and 70 tent spaces, located in the same location as referenced above, resulting in a total of 174 people (using a 2.0 persons per RV/tent ratio), which is consistent with Compatibility Zone D single acre criterion of 300.

Staff is proposing a condition requiring dispersal of tent camping areas, such that not more than 145 tents would be sited in any one-acre area. This would likely limit additional single-acre intensity to 300 persons (i.e., in addition to intensity of the pre-existing RV park).

Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone D of the Bermuda Dunes Airport Influence Area.

Noise: The site is located within the 55-65 CNEL contour range from aircraft noise. Sensitive uses like the RVs would be impacted by aircraft generated noise, but noise levels resulting from freeway traffic and railroad operations would be more intrusive at this location.

Part 77: The elevation of Runway 10-28 at its easterly terminus is approximately 49 feet above mean sea level (AMSL). At a distance of approximately 2,100 feet from the runway, FAA review would be required for any structures with top of roof exceeding 70 feet AMSL. The project is not proposing any new permanent structures or buildings, just RVs. The project site elevation is 57 feet AMSL, and the anticipated maximum height of the RVs is 12 feet, for a maximum top point elevation of 69 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

Open Area: The site is located within Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area, which requires projects 10 acres or larger to designate 10% of project area as ALUC-qualifying open area that could potentially serve as emergency landing areas. The project's 4 acre expansion area does not trigger open area requirements at this time. However, the project has been conditioned that any subsequent project expansions in the future would result in an ALUC review of the entire project including the existing 10 acre site, which would then trigger open area requirements.

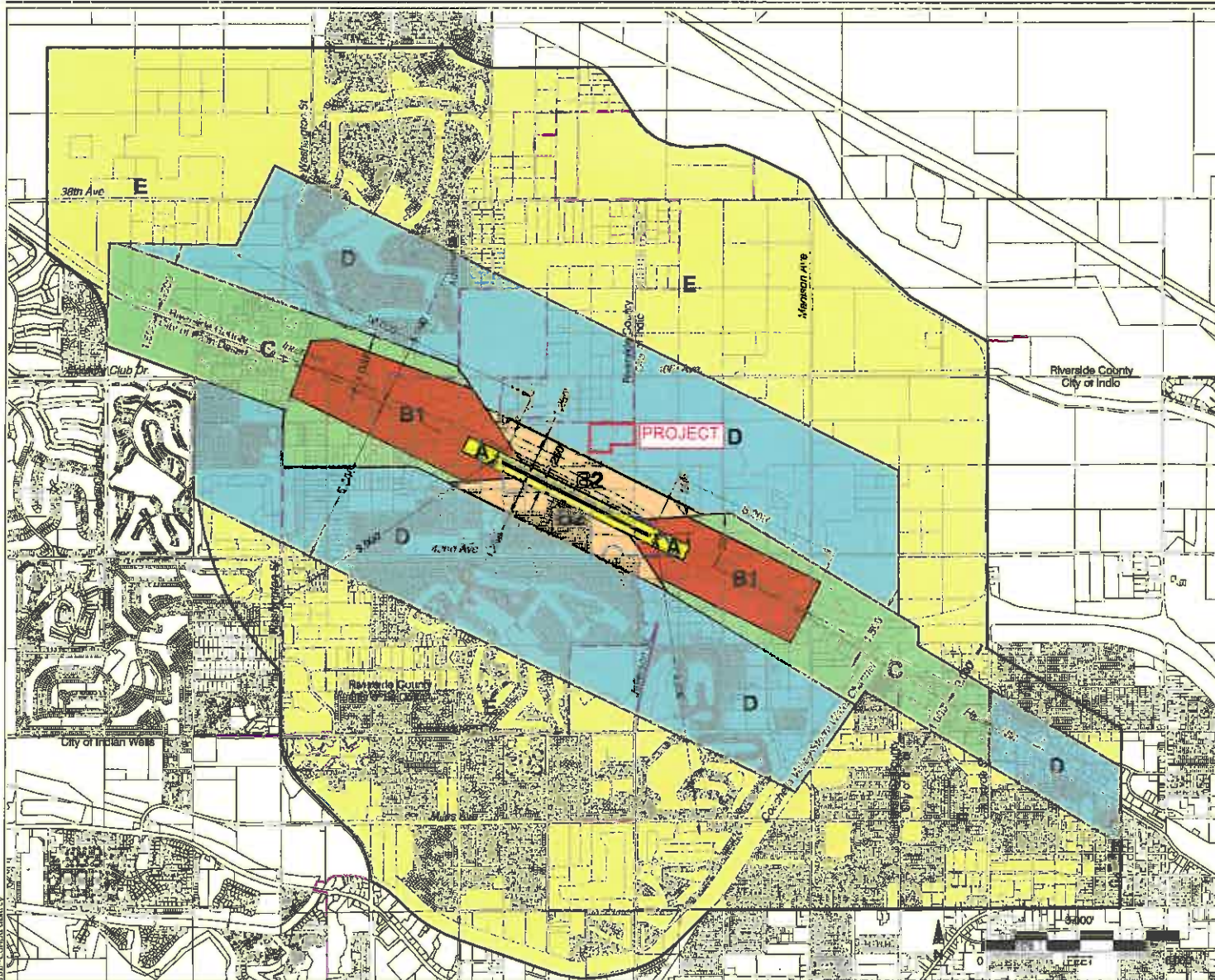
CONDITIONS:

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.
- 3. The attached disclosure notice shall be provided to all potential purchasers of the property and tenants with rental or lease agreements of 30 days or greater, and shall be recorded as a deed notice.
- 4. Any new detention basin(s) on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. The total on-site occupancy shall not exceed 1,400 people, unless the applicable Compatibility Plan is modified so as to increase permissible average intensity levels in Compatibility Zone D to a higher level. If this number were to be exceeded, the project shall be brought back to ALUC for review.
- 6. RVs up to 12 feet in height are permitted at topographical contour locations of 57 feet above mean sea level (AMSL). Any RVs greater than 12 feet in height shall only be permitted at spaces where the ground elevation is at least as many feet lower than 57 feet AMSL as the number of feet by which the RV height exceeds 12 feet. The applicant would have to submit to FAA for review if site elevation plus RV height exceeds 70 feet AMSL.
- 7. The maximum allowable intensity within any single acre of the site (excluding RV spaces in existence as of 2004) shall be limited to 300 persons.
- 8. The tent camping area shall be dispersed over the 10-acre or 14-acre project site, such that not more than 145 tents are placed in any one acre area.
- 9. Open area requirements were not applied to this project as the 4 acre expansion is below the required threshold of 10 acres or greater. However, any additional or further project expansions in the future will be considered by ALUC in context with the existing 10 acre RV park and this project's 4 acre expansion area, which will trigger open area requirements.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line
- City Limits

Note

Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

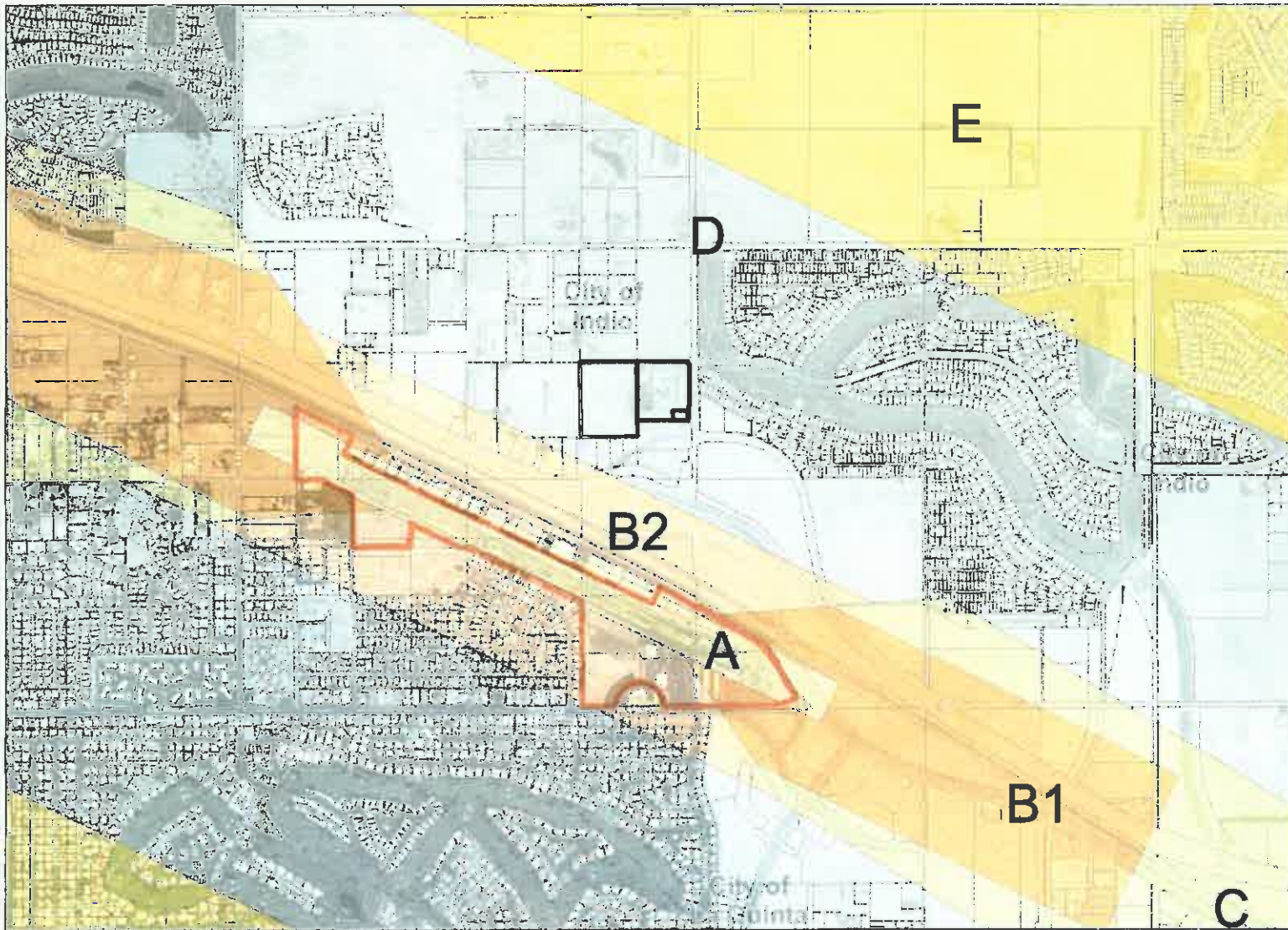
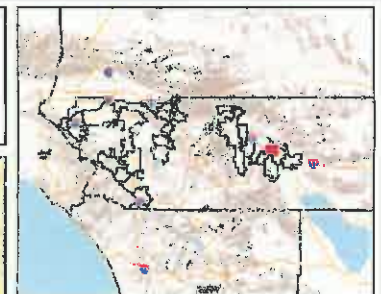
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted December 2004)

Map BD-1

Compatibility Map
Bermuda Dunes Airport

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8
- C2-HIGHT



0 2,146 4,292 Feet



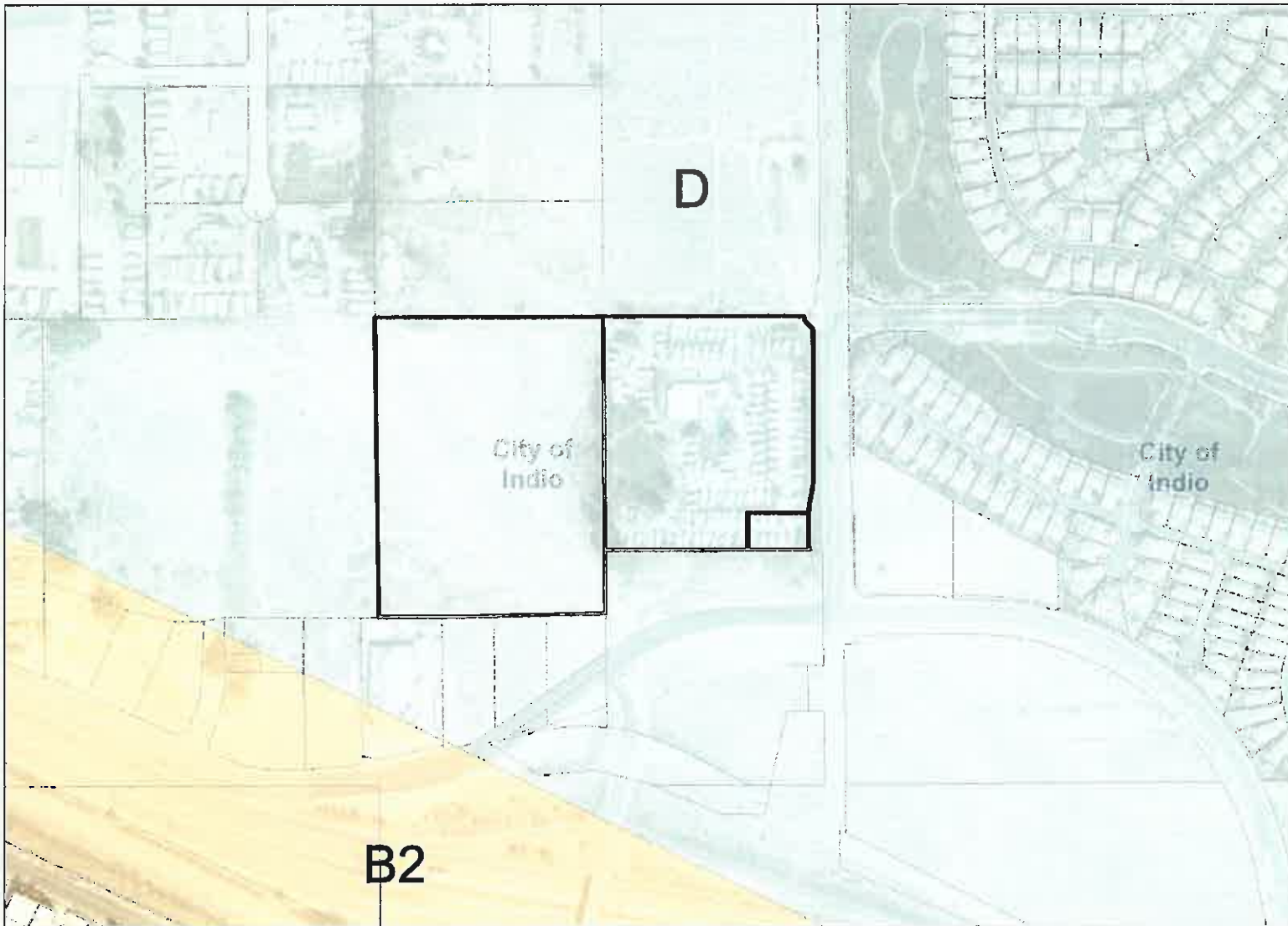
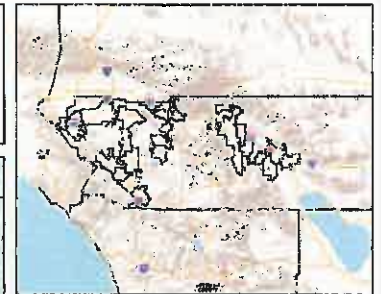
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 536 1,073 Feet



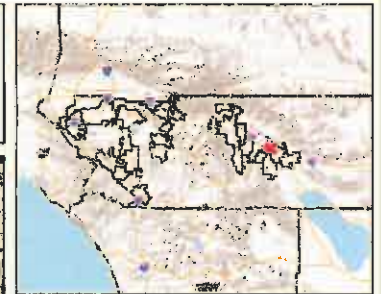
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Notes

My Map



Legend

- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,146 4,292 Feet



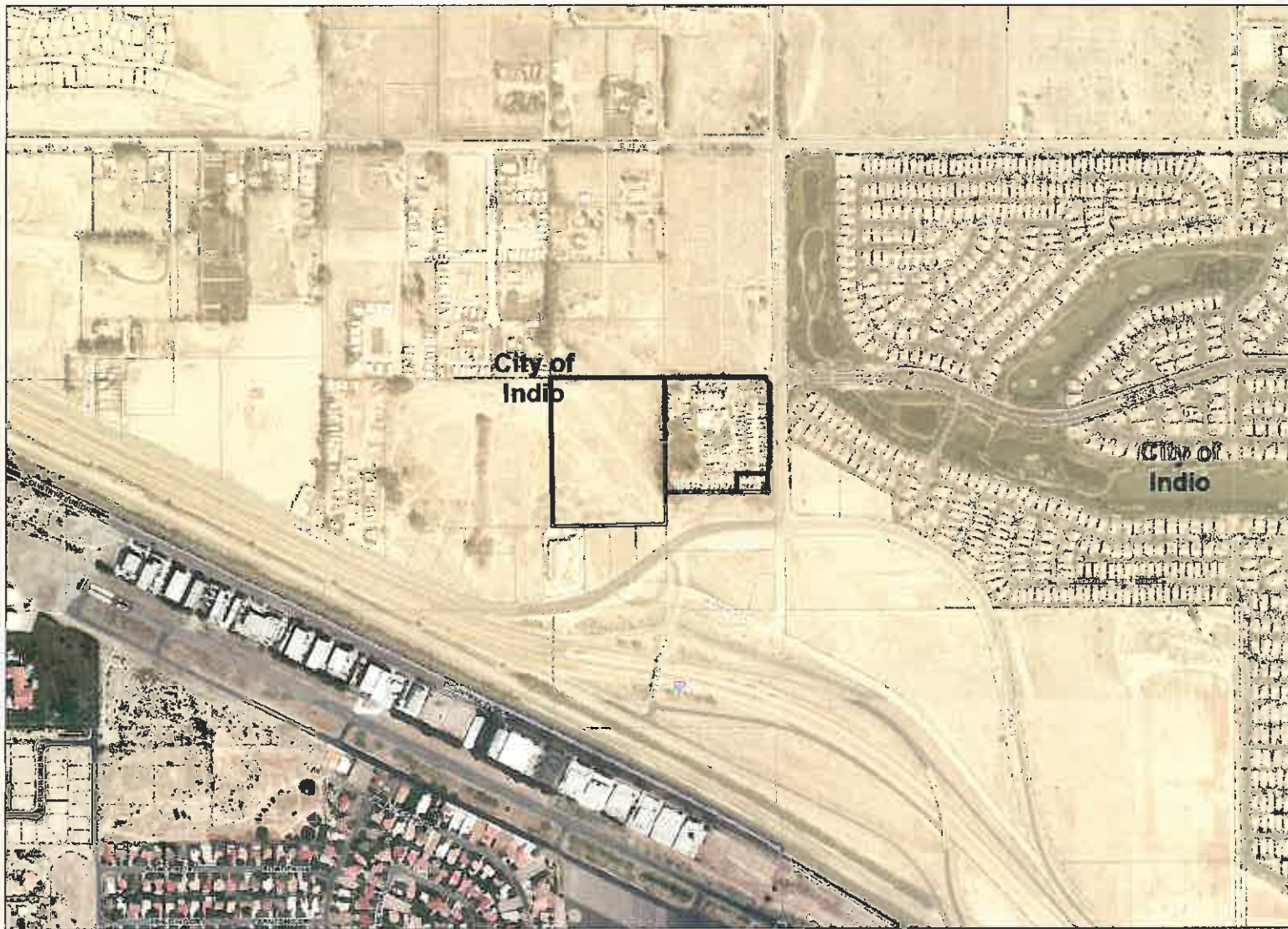
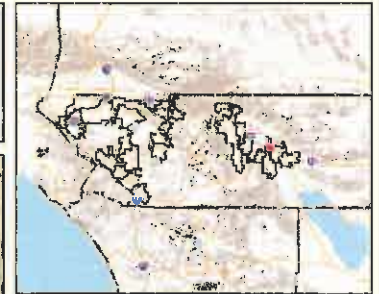
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,073 2,146 Feet



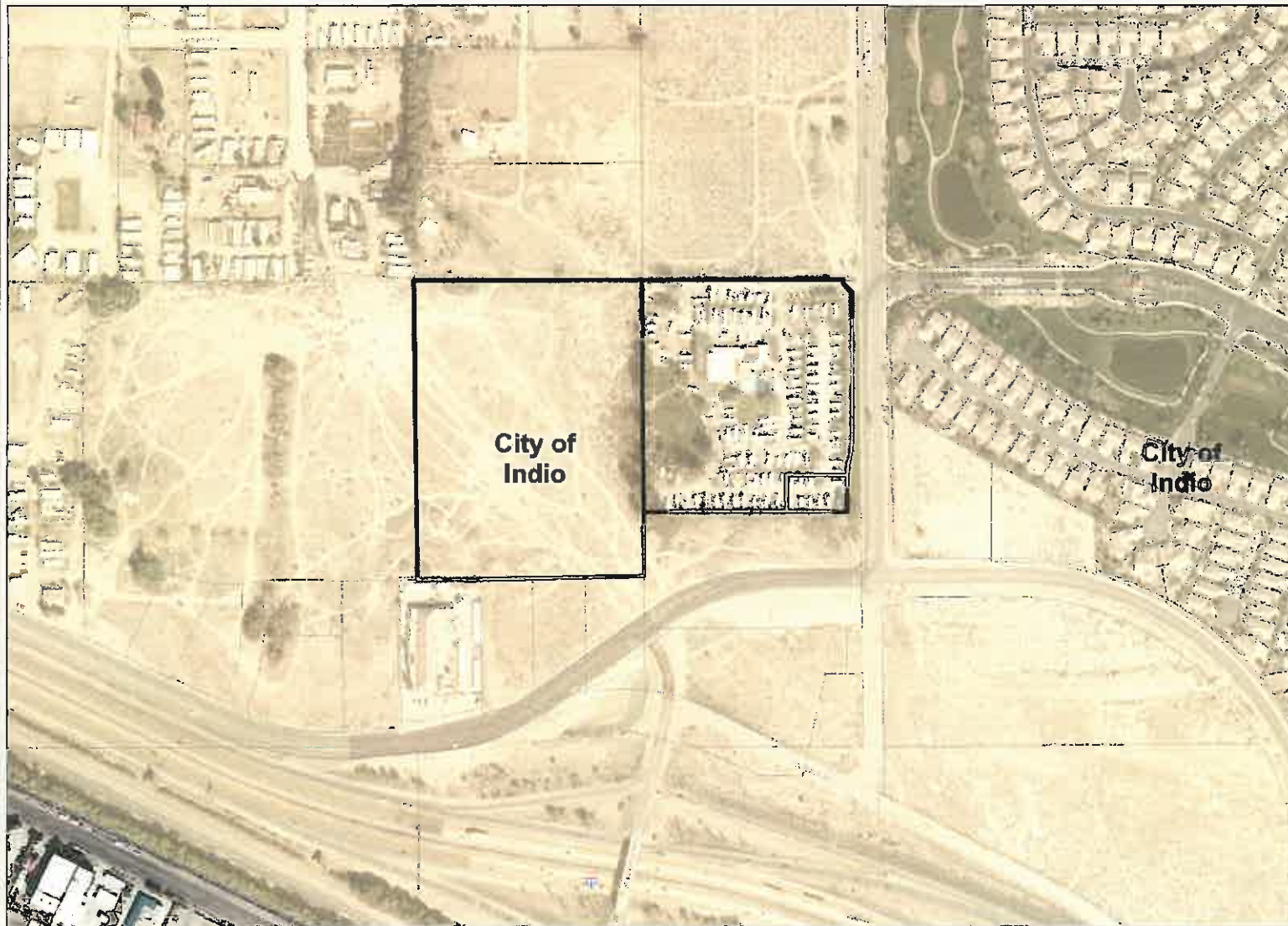
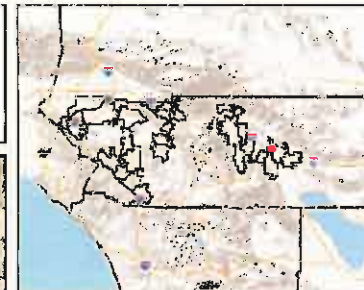
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 536 1,073 Feet



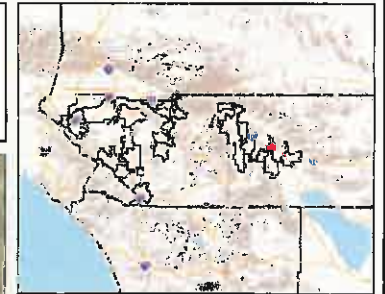
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Notes

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Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 268 536 Feet



"IMPORTANT" Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

IN THE CITY OF INDIO, STATE OF CALIFORNIA

SITE PLAN

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
COACHELLA VALLEY ENGINEERS, INC. JANUARY, 2016

OWNER/APPLICANT

DAVID & PAULA TORRES
77-833 LAS MONTANAS ROAD, SUITE 101
PALM DESERT, CA 92211

ASSESSORS PARCEL NUMBER

A.P.N. 807-800-020

LEGAL DESCRIPTION

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EAST LINE OF THE NORTHWEST QUARTER OF SECTION 8, T.O.S., R.T.C. S.B.M., AS SHOWN ON A RECORD OF SURVEY, FILED IN R.S. 7178, C.O. COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. BEING: N00°34'04"W

THOMAS GUIDE COORDINATES

PAGE 819 GRID J-3

UTILITIES

WATER, SEWER AND IRRIGATION: COACHELLA VALLEY WATER DISTRICT (760) 388-3851
ELECTRIC: (760) 388-3811
TELEPHONE: (800) 483-8000
FIBER: (800) 487-8000
CABLE: (760) 340-1313

TOPOGRAPHY

FIELD SURVEY PERFORMED BY COACHELLA VALLEY ENGINEERS, INC. IN OCTOBER, 2004. AERIAL SURVEY PERFORMED BY D&M MAPPING, INC., NOVEMBER, 2004.

FLOOD ZONE

FEMA FLOOD ZONE B - AREA PROTECTED FROM THE ONE PERCENT ANNUAL CHANCE (100-YEAR) FLOOD BY LEVEE, DIKE, OR OTHER STRUCTURES SUBJECT TO POSSIBLE FAILURE OR OVER TOPPING DURING LARGER FLOODS. COMMUNITY PLAN NO. 000555 0002 D, REVISION 2/1/1988.

ACREAGE

583 AC. ± = 09888

SCHOOL DISTRICT

DESERT SANDS UNIFIED SCHOOL DISTRICT

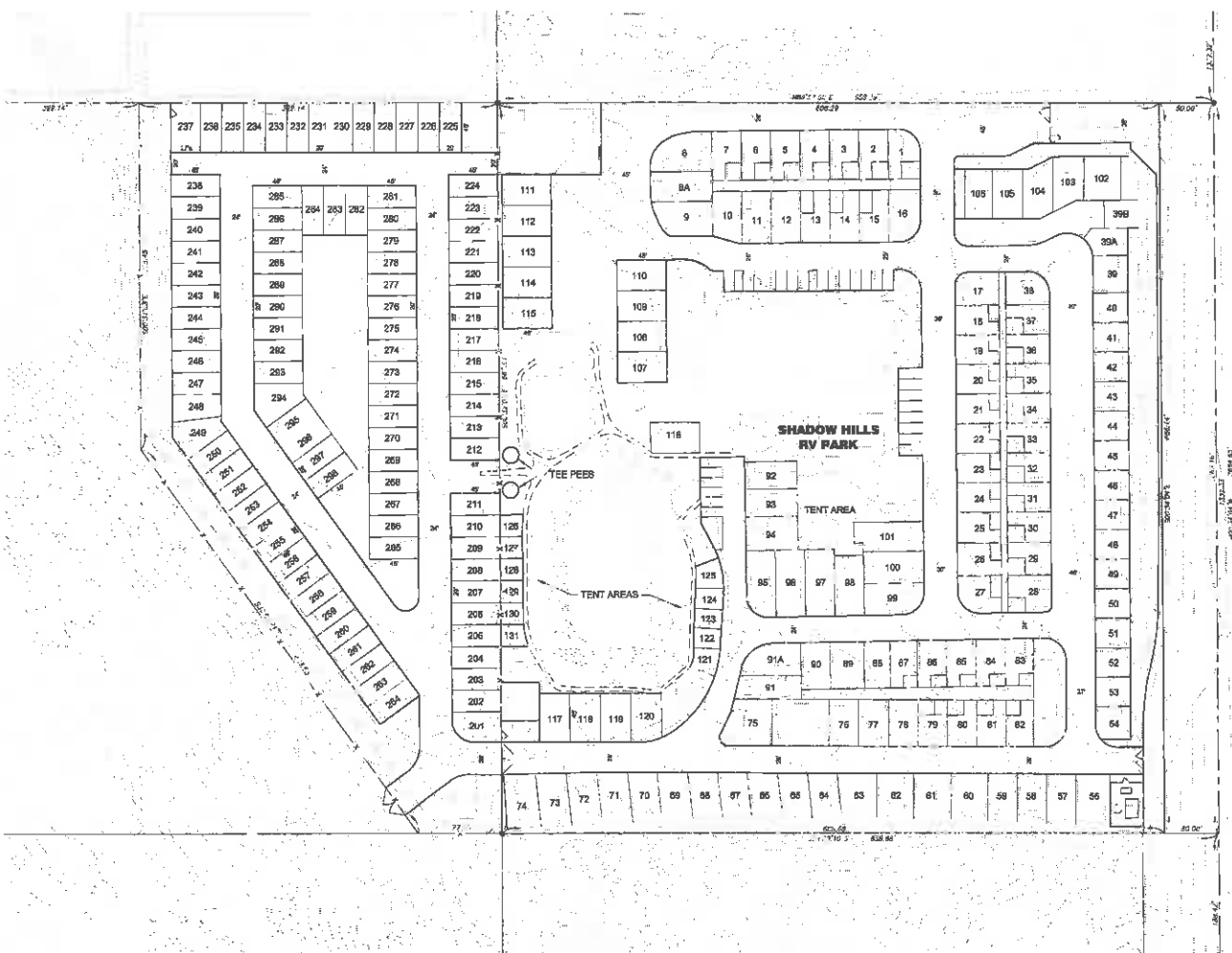
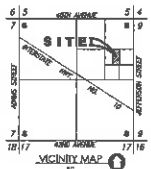
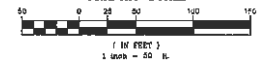
ZONING

CC - COMMUNITY COMMERCIAL

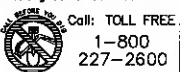
GENERAL PLAN

COMMUNITY COMMERCIAL

GRAPHIC SCALE



Underground Service Alert



Call: TOLL FREE
1-800
227-2600

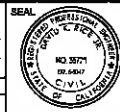
TWO WORKING DAYS BEFORE YOU DIG

DATE	BY	MARK	REVISIONS	APPR. DATE	CHECKED BY
DESIGNED BY			DRAWN BY: CG	CHECKED BY: MT	DATE

RECOMMENDED FOR APPROVAL

DATE

CITY

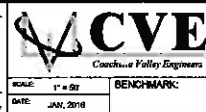


PREPARED UNDER THE DIRECT SUPERVISION OF

DATE

DAVID K. RICE, P.E.

EXP. DATE 02/28/17



77-833 Las Montanas Road, Suite 101
Palm Desert, CA 92211

Tel: (760) 368-4290 Fax: (760) 368-2344
email: dvr@cve.com web: www.cve.com

SCALE: 1" = 50'

BENCHMARK

DATE: JAN, 2016

IN THE CITY OF INDIO, STATE OF CALIFORNIA

SITE PLAN

FOR PORTION OF THE NORTHWEST QUARTER OF SECTION 8, T.O.S., R.T.C. S.B.M.

SHEET No. 1 OF 1 SHEETS

DATE: 12/14



JEFFERSON ST. DESERT PROPERTIES, LLC

937 SW 14th Ave., Suite 200
Portland, OR 97205
Phone (503)241-1255
Fax (503)299-6653

September 28, 2016

Paul Rull
Riverside County

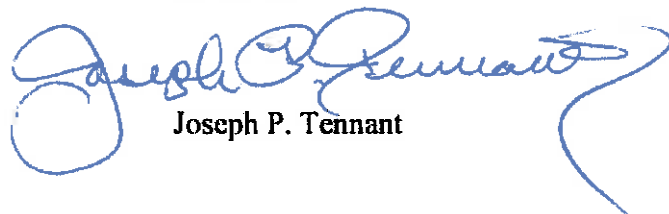
prull@rctlma.org

Dear Paul,

Re: ZAP1064BD16-Shadow Hills RV Resort - City of Indio Planning Case No. CUP 16-1-1012 (Conditional Use Permit)

We received the Notice of Public Hearing with regards to the above referenced case. Please be advised that Jefferson Desert St. Property, LLC owns approximately four of the fourteen acres apparently referenced in the application (please send me the land area as we can confirm). We are in the process of entitling the property as a Business Park and gave notice per the lease to Shadow Hills RV Resort to vacate the four acres of property they had previously leased from us. (Attached hereto is our notice of June 2nd). As such, to the extent any application includes the four acres owned by Jefferson St. Desert Properties, LLC and previously leased to Shadow Hills RV Resort, that acreage should be deleted from any application and their application should only include the ten acres that they own outright. Should you have any questions, please do not hesitate to contact me.

Sincerely,



Joseph P. Tennant

JPT/lts
cc: Leila Namvar, lnamvar@indio.org

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. The proposed project application may be viewed at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Thursday from 8:00 a.m. to 5:00 p.m. except Monday October 10, 2016 (Columbus Day) and by prescheduled appointment on Fridays, from 9:00 a.m. to 5:00 p.m.

ATTENTION: ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. The City of Indio may hold hearings on this project and should be contacted on non-ALUC issues.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Board Chambers
Riverside, California

DATE OF HEARING: October 13, 2016

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1064BD16 – Shadow Hills RV Resort (Representative: Coachella Valley Engineers) – City of Indio Planning Case No. CUP 16-1-1012 (Conditional Use Permit). The applicant is proposing to modify and expand the operation of the existing Shadow Hills RV Resort and establish guidelines for special events that temporarily allow additional RV camping and tent campsites on 14 acres. The project site is located westerly of Jefferson Street and northerly of Varner Road. (Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to **Ms. Leila Namvar of the City of Indio Planning Division at (760) 391-4120.**

JEFFERSON ST. DESERT PROPERTIES, LLC

422 Larkfield Center #307
Santa Rosa, CA 95403
Phone (760)902-6860
Phone (760)709-7369

937 S.W. 14th Ave., Ste. 200
Portland, OR 97205
Phone (503)241-1255
Fax (503)299-6653

June 2, 2016

David Turner
Paula Turner
77-933 Las Montanas Rd. Ste 101
Palm Desert, CA 92211

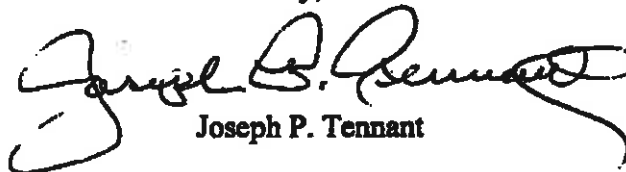
dturner@cve.net
paula@dppllc.com

Dear David and Paula,

Re: Oasis Dunes Inc. DBA Shadow Hills RV Resort

As I mentioned to Paula a couple of weeks ago, we are beginning the development of our approximately 41 acre parcel of property which includes the property (approximately 4 acres) you are currently leasing from us. Pursuant to the lease of February 20, 2013 between Jefferson St. Desert Properties and Oasis Dunes, Inc. DBA Shadow Hills RV Resort, this letter will serve as our 90 day notice to vacate the property. Any utility installations, trade fixtures or other alterations made to the premises by you during the term of the lease need to be removed within 90 days and any damage to the premises due to said removal repaired within said time frame. Since there may be land testing, survey work, etc. needing to be completed in conjunction with the development, to the extent you can vacate and complete the work prior to 90 days, it would be appreciated.

Sincerely,



Joseph P. Tennant

JPT:km

JEFFERSON ST. DESERT PROPERTIES, LLC

422 Larkfield Center #307
Santa Rosa, CA 95403
Phone (707) 544-6549

937 S. W. 14th Ave., Ste. 200
Portland, OR 97205
Phone (503)241-1255

June 27, 2016

David Turner
Paula Turner
Oasis Dunes Inc. DBA, Shadow Hills RV Resort
77-933 Las Montanas Rd. Ste 101
Palm Desert, CA 92211

dturner@cve.net
paula@dppllc.com

Dear David and Paula,

Re: Varner Business Park

Per Paula's request, attached is a copy of the design plan for the Varner Business Park. Paula inquired last week about the possibility of acquiring the four acres you had been leasing. According to our architects and engineering consulting firm, the four acres you had been leasing is an integral part of the project. As such, it is unfortunately not available for purchase. Per my letter of June 2, please advise as to when you expect to have all utility installations, trade fixtures, and other alterations removed from the premises. We are in the process of getting an updated survey of the property. I have let the consulting engineer know that they can coordinate access to the property with you while you are in the process of removing the fence, etc.

Sincerely,



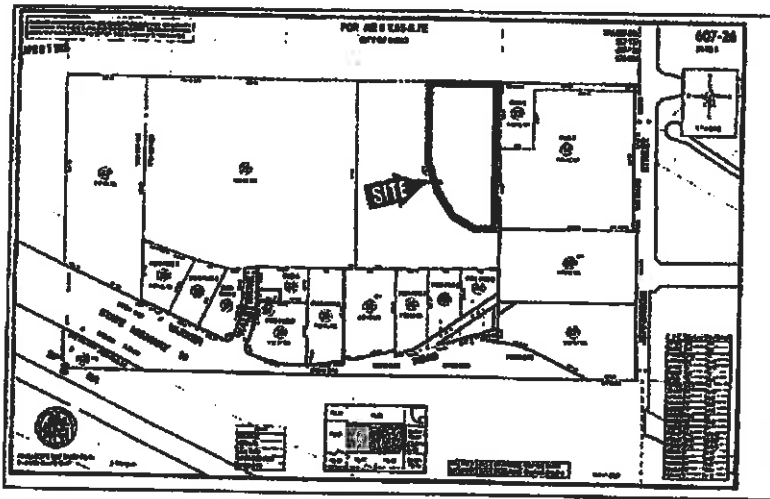
Joseph P. Tennant

JPT/lts



**ADDENDUM
STANDARD INDUSTRIAL LEASE SINGLE-TENANT LEASE - GROSS
DATED FEBRUARY 20, 2013
FOR 4 ACRES VACANT LAND NORTH OF VARNER RD., INDIO, CA 92203**

EXHIBIT "A"



JS
Lessee's Initials

MSC
Lessor's Initials

NOTICE OF PUBLIC HEARING

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the application described below.

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PLACE OF HEARING: Riverside County Administration Center
4080 Lemon St., 1st Floor Board Chambers
Riverside, California

DATE OF HEARING: October 13, 2016

TIME OF HEARING: 9:00 A.M.

CASE DESCRIPTION:

ZAP1064BD16 – Shadow Hills RV Resort (Representative: Coachella Valley Engineers) – City of Indio Planning Case No. CUP 16-1-1012 (Conditional Use Permit). The applicant is proposing to modify and expand the operation of the existing Shadow Hills RV Resort and establish guidelines for special events that temporarily allow additional RV camping and tent campsites on 14 acres. The project site is located westerly of Jefferson Street and northerly of Varner Road. (Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area).

FURTHER INFORMATION: Contact Paul Rull at (951) 955-6893. The ALUC holds hearings for local discretionary permits within the Airport Influence Areas, reviewing for aeronautical safety, noise and obstructions. All other concerns should be addressed to Ms. Leila Namvar of the City of Indio Planning Division at (760) 391-4120.

APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP 1064BD16

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application August 4, 2016
 Property Owner Dakota Dunes Phone Number 760-360-4200
 Mailing Address 77933 LAS MONTANAS NO 101
PALM DESERT CA, CA 92211

Agent (if any) _____ Phone Number _____
 Mailing Address _____

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address 40655 Jefferson Street, Indio, CA 92203
 Assessor's Parcel No. 607-260-054 & 607-260-055, 607-260-020 Parcel Size 9.18
 Subdivision Name Shadow Hills RV Resort Zoning Classification D
 Lot Number 2

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) RV Resort Park

Proposed Land Use (describe) RV Resort Park

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) _____
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site _____ Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) _____ ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site _____ ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight? Yes No
 If yes, describe _____

BD
 ZONE D

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	
Agency Name	City of Indio
Staff Contact	Leila Namvar
Phone Number	(760) 391-4120
Agency's Project No.	CUP 02636 16-1-1012
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input type="checkbox"/> Subdivision Approval <input checked="" type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other

A. NOTICE: Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. SUBMISSION PACKAGE:

ALUC REVIEW

- 1 Completed Application Form
- 1 Project Site Plan – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets . Gummed address labels of the referring agency (City or County).
- 1 Check for Fee (See Item "C" below)

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1 Completed Application Form
- 1 Project Site Plans – Folded (8-1/2 x 14 max.)
- 1 Elevations of Buildings - Folded
- 1 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . Gummed address labels of the referring agency.
- 1 Check for review–See Below

Sample Concept

IN THE CITY OF INDIO, STATE OF CALIFORNIA SITE PLAN - TENTING

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
COACHELLA VALLEY ENGINEERS, INC. FEBRUARY, 2016

OWNER/APPLICANT

SHANE B. PARKER
11-244 LAS VEGAS BLVD. SUITE 100
INDIO, CA 92201

ASSESSOR'S PARCEL NUMBER

APN 027-260-120

LEGAL DESCRIPTION

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

RANGE OF BEARINGS

THE RANGE OF BEARINGS AND DISTANCES IS THE BEST LINE OF THE NEAREST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH, RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

THOMAS CODE COORDINATES

PAGE 013 040 4-3

UTILITIES

WATER AND SEWERAGE (1982 001-2001)
ELECTRIC (1982 001-2001)
GAS (1982 001-2001)
TELEPHONE (1982 001-2001)
CABLE (1982 001-2001)
SLOPE (1982 001-2001)

TOPOGRAPHY

FIELD SURVEY PERFORMED BY COACHELLA VALLEY ENGINEERS, INC. IN 2015. ALL DATA DERIVED FROM THE SURVEY IS ACCURATE TO THE BEST OF OUR KNOWLEDGE.

FLOOD ZONE

FLOOD ZONE F - AREA PROTECTED FROM THE OCEAN BY A SEA WALL OR OTHER STRUCTURE. FLOOD ZONE F - AREA PROTECTED FROM THE OCEAN BY A SEA WALL OR OTHER STRUCTURE. FLOOD ZONE F - AREA PROTECTED FROM THE OCEAN BY A SEA WALL OR OTHER STRUCTURE.

ACREAGE

6.00 AC ±

LOCAL DISTRICT

INDIO PLANNED DEVELOPMENT DISTRICT

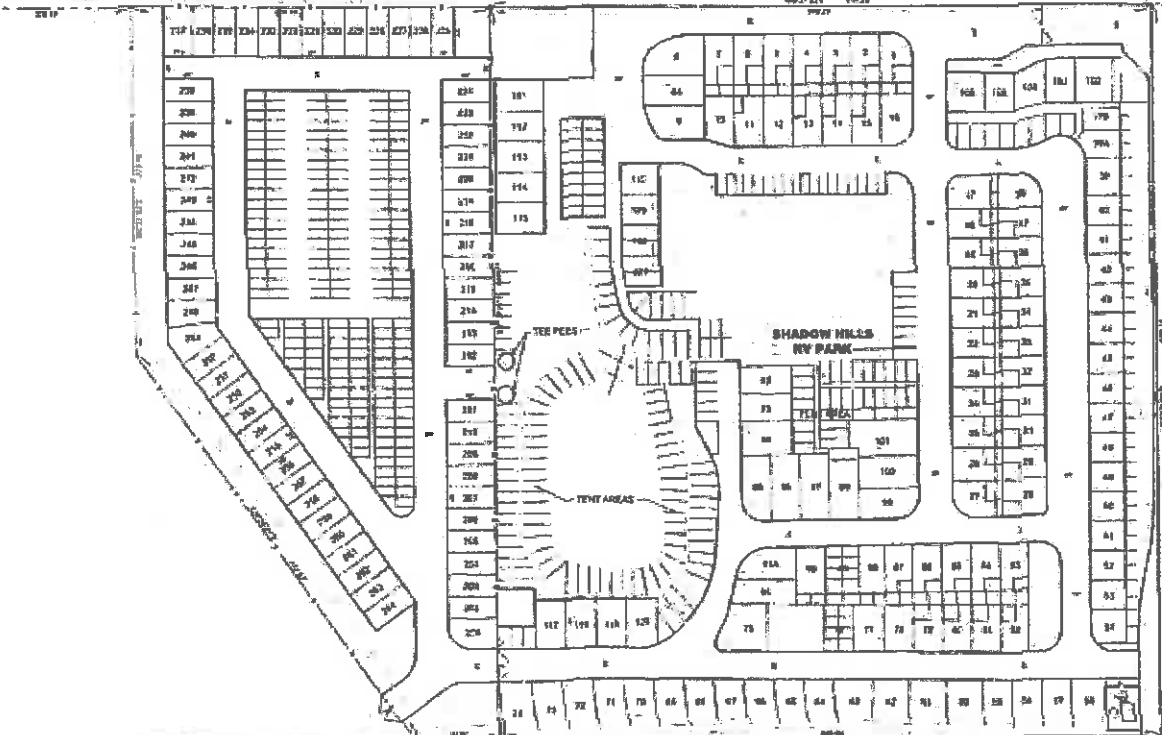
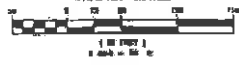
ZONING

PD - COMMUNITY DEVELOPMENT

GENERAL PLAN

COMMUNITY DEVELOPMENT

GRAPHIC SCALE



Underground Service Alert Call TOLL FREE 1-800-227-2600 TWO WORKING DAYS BEFORE YOU DIG	PROJECT NO. _____ SHEET NO. _____	PREPARED BY _____ CHECKED BY _____ DATE _____	SEAL 	PROJECT NO. _____ SHEET NO. _____		11000 Las Mesquitas Road, Suite 100 Palm Desert, CA 92271 Tel: 760-944-2200 Fax: 760-944-2201 Email: info@cvie.com Web: www.cvie.com	IN THE CITY OF INDIO, STATE OF CALIFORNIA TENT EXHIBIT SITE PLAN PREPARED BY SHANE B. PARKER, CIVIL ENGINEER, No. 12345 DATE: 02/16/2016	SHEET NO. 1 OF 1 SHEETS
	PROJECT NO. _____ SHEET NO. _____		PROJECT NO. _____ SHEET NO. _____		PROJECT NO. _____ SHEET NO. _____		PROJECT NO. _____ SHEET NO. _____	



STAFF REPORT
City of Indio
Planning Commission Meeting of
March 9, 2016

APPLICATION: Shadow Hills RV Resort
Conditional Use Permit 16-1-1012

APPLICANT: David Turner
77-933 Las Montanas Road, Suite 101
Palm Desert, CA 92211

PROJECT LOCATION: The site is located west of Jefferson Street, north of Varner Road, including the existing 10 acre Shadow Hills RV Resort and an adjacent, undeveloped 4 acre site to the west, totaling 14 acres.

ASSESSOR'S PARCEL NO.: 607-260-020, 607-260-054 & 607-260-055

PROJECT DESCRIPTION: A Conditional Use Permit (CUP 16-1-1012); to modify and expand operation of an existing RV resort and establish guidelines for special events, including events that temporarily allow additional RV camping and tent campsites on an approximately 14 acre project site.

GENERAL PLAN: Community Commercial & Residential Medium Density

ZONING: Community Commercial

ENVIRONMENTAL ASSESSMENT: Pursuant to the requirements of the California Environmental Quality Act (CEQA), The City reviewed this project and determined that the project is exempt under Section 15301 (Existing Facilities), Section 15303 (New Construction or Conversion of Small Structures), and Section 15061(b)(3).

RECOMMENDATION:
Approve Resolution No. 1755, a Resolution of the Planning Commission of the City of Indio, California, granting Conditional Use Permit 16-1-1012 subject to the conditions of approval contained therein.

ITEM 6.1

Revised Conditions:

2. This Conditional Use Permit (CUP 16-1-1012) grants a total of 135 RV lots within the permanent site (~~existing existing~~ 10 acres), which includes 124 regular RV lots and 11 vintage RV spaces for vintage trailers to be established around the existing small pond for renting purposes.

5. Maximum occupancy for Shadow Hills RV Resort shall be 1,250 persons. A Special Event Permit shall be required for any activity, event or function proposed to exceed 1,250 persons. Special Event Permits shall be submitted to the City (Community Services manager) at least 60 days prior to the event. ~~Additional conditions may be required in association of issuance of a special events permit.~~

10. For any special event with attendance ranging from 501 to 1,250 persons, a ~~Special Event Permit~~ Special/Temporary Use permit shall be required. The application material shall include a detailed site plan and project description and shall be submitted to the Development Services Department at least 60 days prior to the event for review and approval by the Development Services Director.

All Fire conditions would read as:

For any special event requiring a City ~~approval~~ permit, the City of Indio Fire Services/Riverside County Fire Department will conduct fire inspections for Emergency Vehicle access, and enforce fire protection standards, when applicable.

New Development Services Department Condition:

The project site is within zone D of Riverside Airport Land Use Commission (ALUC) Compatibility Plan. The applicant shall contact ALUC for consistency purposes and notify Development Services Director of any requirements and/or conditions that ALUC may impose on the project.

SURROUNDING LAND USES:

The General Plan land use designations, zoning, and current land uses are represented below in Table 1.

Table 1 General Plan, Zoning and Surrounding Land Use			
Direction	General Plan	Zoning	Current Land Use
North	Business Park (BP)	Business Park (BP)	Vacant
South	Residential Medium (RM)	Community Commercial (CC)	Vacant
East	Residential Low (RL)	Project Master Plan (PMP) & Mixed Use Specific Plan (MUSP)	Single Family Home Development & Vacant
West	Community Commercial (CC)	Community Commercial (CC)	Vacant

BACKGROUND:

On April 8, 2015, the Planning Commission held a public hearing to consider an appeal from Mr. Dave Turner of the Shadow Hills RV Resort regarding staff's denial of a special event permit for expanding camping and additional activities during the 2015 music festivals. The Planning Commission ultimately decided to overturn staff's decision and issue the permit with conditions.

The next day, City Council conducted a special meeting to discuss the City's camping ordinance, its application to RV Parks during the music festivals, and other issues relating to special events held during the festivals. The camping ordinance, found at Indio Municipal Code Section 130.020, restricts camping in the City during the music festivals with only limited exceptions provided. At that meeting, Council provided staff direction to review amending the City's existing camping restrictions to allow camping at lawfully operated RV parks during the music festivals, as well as to allow RV parks to conduct additional activities and events.

On January 20, 2016, City Council passed Zone Text Amendment 15-12-63 amending Chapter 159 of the Indio Municipal Code related to recreational vehicle and travel trailer parks. The Amendment provides that recreational vehicle parks in existence prior to June 16, 1994 are deemed permitted uses within the zone where they are currently located (previously, they were only permitted in the Residential Medium zone). In addition, the Amendment allows these parks to expand their existing operations or footprint upon receipt of a conditional use permit, without necessarily meeting the current regulations and standards applicable to new parks. The ordinance representing this text amendment went into effect March 6, 2016.

Shadow Hills RV Resort ("Resort") is a recreational vehicle park comprising 124 RV spaces, club house, pool area, restrooms, shower facilities, and a small pond located on 10 acres within the Community Commercial (CC) zoning district. The Resort was entitled by Riverside County in 1984. In 2007, the City of Indio completed an annexation that included the Resort. The Resort is served by domestic wells and a septic system. Both are in good standing and regularly inspected by Riverside County Health Department. All lots within the Resort will be served by access from Jefferson Street. The Resort leases 4 acres of vacant land immediately adjacent to and west of the Resort site. In recent years, this property has been used for special events, functions, parking, etc. in conjunction with the Resort.

ANALYSIS:

New Municipal Code Language

The new municipal code language is intended to provide an opportunity for established RV parks to upgrade, modify and/or expand their operations. Historically, this has been challenging due to their legal non-conformance status and the requirement that they make significant upgrades to their facilities. The language recognizes RV parks established prior to, and continually operated since, June 15, 1994, as legal conforming permitted uses and provides an opportunity for them to upgrade, modify and/or expand via issuance of a conditional use permit.

Shadow Hills RV Park

As a result of the new language, Mr. Turner has applied for a conditional use permit that proposes the following:

- Increase the number of permanent RV spaces from 124 to 135. The additional 11 spaces will be for vintage trailers that the Resort is establishing around the small pond and will make available for rent.
- Allow an additional 124 spaces on a temporary basis during special events on the adjacent four (4) acres to the west of the permanent facility (total of 259 spaces).
- Allow for a number of major special events. This would include the three events conducted during the music festivals in April and May, and potentially two proposed Fall concerts that have yet to be scheduled. Up to 700 tent camping sites would be permitted during these major festivals.
- Allow for use of the clubhouse and/or grounds for minor special events and functions.

Increase in RV Spaces:

Currently the 10-acre permanent RV site is operating with 124 RV lots. Mr. Turner is proposing to increase the permanent RV lots from 124 to 135, including 11 Vintage RV sites where the trailers will be available for rent. Although the original County-issued CUP permitted 100 spaces, additional spaces have been added so that, today, the number of available spaces is 124. The pending CUP application is intended to confirm the availability of the 124 spaces, plus the 11 new spaces for the vintage RV's.

Major Special Events:

A number of major special events are being proposed. These events would not occur during the peak season of January through the latter part of March. The maximum park capacity during major special events would be limited to 1,250 persons. The new municipal code language clarifies that the City's prohibition on camping would not apply to lawfully operating RV parks during the festivals. The camping prohibition during the festivals was never intended to apply to RV parks, where various forms of camping are conducted on a year-round basis as part of normal business operations. Therefore, the applicant is proposing during the music festivals (currently Coachella Music & Arts Festival and Stagecoach Music Festival) to have up to 259 RV lots, up to 700 tent sites, and up to 500 cars on the 14 acre site. The event may also include entertainment, stages, amplifiers, generators, portable toilets, temporary tents, and temporary cooking facilities on site.

According to the applicant the setup and number of campsites, RV lots, and cars varies from one event to another. For example during the Coachella Music & Arts Festivals there would be more campsites and fewer RV lots. In contrast, during the Stagecoach Music Festival there would be more RV lots and fewer campsites. A condition has been added establishing a maximum occupancy of 1,250 persons during these events. In addition, a condition is also added requiring the applicant to timely submit a site plan for each major special event for administrative review and approval. A special event permit would be required should the applicant wish to exceed the maximum occupancy.

Three major special events are currently expected that will coincide with the three music festival events. Two additional music festival events could be conducted in the future, which would likely result in the Resort adding major special events accordingly. In addition, other major special events could be conducted. The applicant is required to provide timely notification of any major special event, which would either require administrative approval by the Development Services Director or a special event permit by the Community Services Manager, depending upon the type of event and number of persons expected.

It should be noted that, the Resort may lawfully conduct normal RV and tent camping at its current park during the festivals, not to exceed 10 people per lot (for 124 lots), in compliance with the Special Occupancy Park Act (the "Act"), Health & Safety Code Sections 18860 et seq., and its implementing regulations found at Title 25 Cal. Code Regs. 2000 et seq.

Minor Special Events:

Minor events are the events that could have up to 500 attendees. The applicant has represented that smaller special events (minor events) would include weddings, quinceaneras, birthday parties, pool parties, holiday parties, pet shows, concerts, RV shows, sporting events, movie nights, cooking contests, church services, art shows, carnivals, swap meets, farmers markets, community gardens, rallies, wine/beer/alcohol tastings, wagon rides, community blood drive, non-profit and political fund raisers, etc. Many of these events would be exclusive to the Shadow Hills RV Resort's guests and

would be conducted during the peak months or might be open to public. A condition has been added to require the applicant to notify the Development Services Director of such events two weeks prior to the event via email for review and approval if needed.

Submitted by:



Leila Namvar
Assistant Planner

Approved by:



Les Johnson
Development Services Director

Attachments:

- A. Aerial Map
- B. Resolution No. 1755
- C. Site Plan
- D. Ordinance No. 1687

ATTACHMENT A

Aerial Map



ATTACHMENT B

Resolution 1755

Resolution No. 1755

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF INDIO, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT 16-1-1012 TO MODIFY AND EXPAND OPERATION OF AN EXISTING RV RESORT (SHADOW HILLS RV RESORT) AND TO CONDUCT SPECIAL EVENTS THAT TEMPORARILY ALLOW ADDITIONAL RV CAMPING AND TENT CAMPSITES ON AN APPROXIMATELY 14 ACRE PROJECT SITE; LOCATED AT 40655 JEFFERSON STREET.

WHEREAS, David Turner (“Applicant”) applied for Conditional Use Permit 16-1-1012 to modify operation of an existing RV resort, Shadow Hills RV Resort, and to expand to conduct special events by setting up additional RV lots and tent campsites (Referred to herein as “RV Resort”, “RV Park” or “Proposed Use”) on an approximately 14 acre project site on a property within Community Commercial (CC) zone district located at 40655 Jefferson Street (“Property”); and,

WHEREAS, Ordinance No. 1687 permits an existing RV park established prior to, and continually operated, since June 15, 1994, to expand or modify its size or number of permitted spaces upon approval of a CUP; and

WHEREAS, The Shadow Hills RV Resort was established in 1984 upon receipt of a CUP from the County of Riverside and has operated continuously since that time at its current location. It therefore qualifies for a CUP to permit its expansion; and

WHEREAS, on March 9, 2016, the Planning Commission held a duly noticed public hearing to consider Conditional Use Permit 16-1-1012. Evidence both written and oral, including the staff report and supporting documents, was presented at said hearing. At the conclusion of the hearing, the Planning Commission approved this Resolution for Conditional Use Permit 16-1-1012, as conditioned.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, FINDS AND DETERMINES AS FOLLOWS:

Section 1. The Planning Commission hereby specifically finds that all of the facts set forth in the recitals of this Resolution are true and correct.

Section 2. Based upon the evidence presented at the hearing, including the staff report, the Planning Commission hereby finds:

1. The location of the Proposed Use is in accord with the objectives of Title XV of the Indio Municipal Code and the purpose of the Chapter 159 of the Indio Municipal Code related to recreational vehicle and travel trailer parks. The zoning regulations of the City are adopted to protect, promote and enhance the public health, safety and general welfare, ensuring that developments within the City is related to the City’s ability to provide essential urban services and is consistent with the City of

Indio General Plan 2020 ("General Plan"). The purpose of this CUP is to ensure that the Proposed Use is consistent with the provisions of Chapter 159 addressing RV parks that have been in existence and currently operating since June 15, 1994. The conditions of approval list many requirements to protect and enhance the public health, safety and general welfare, and the Applicant must submit detailed plans showing compliance with all of the conditions of approval. Conditions relating to fire prevention and law enforcement will promote the safety of guests and visitors to the Proposed Use and prevent the site from burdening public safety resources during major music festivals. Furthermore, the objectives of Title XV of the Indio Municipal Code includes ensuring that public and private lands ultimately are used for the purposes which are most appropriate and most beneficial to the City as a whole.. The Planning Commission believes that the most appropriate use of the Property at this time is as an RV park that can house visitors to the City host special community events, particularly during the City's music festivals. This use will support the community and will bring in people who need to stay within an RV park while travelling or visiting the City. Thus, the Planning Commission finds that the proposed Project is in accord with the objectives of Title XV ("Land Usage").

2. The location for the Proposed Use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, and welfare, nor be materially injurious to properties or improvements in the vicinity. The Applicant is required to conduct the Proposed Use in an orderly manner and it must be contained entirely within the area as represented in the site plan. The Applicant must satisfy the requirements of Burttec Waste Management regarding solid waste, trash and recycling materials. These conditions prevent the Proposed Use from being detrimental to the public health, safety or welfare. Conditions relating to fire prevention and law enforcement will promote the safety of guests and visitors to the RV park and prevent the site from burdening public safety resources during major music festivals. The conditions of approval prevent material injury to properties or improvements in the vicinity. Therefore, the Planning Commission finds that the location of the Proposed Use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, and welfare, nor be materially injurious to properties or improvements in the vicinity.
3. The Proposed Use will comply with each of the applicable provisions of Title XV of the Indio Municipal Code, which, in this case, is specifically governed by Chapter 159 of the Indio Municipal Code related to recreational vehicle and travel trailer parks and allowing modification and/or expansion of existing RV parks with approval of a Conditional Use Permit. In addition, the Zoning Ordinance is intended to ensure that private lands ultimately are used for the purposes which are most appropriate and most beneficial to the City as a whole. Recreational vehicle and travel trailer parks in operation for more than twenty years have demonstrated their viability in their current locations. They therefore are considered appropriate in their current locations and should be permitted uses in accordance with the Zoning Ordinance. This CUP will allow a minor expansion of the RV park to ensure that it remains economically viable at its current site. Therefore, the Planning Commission finds that the proposed conditional use will comply with each of the applicable provisions of

Title XV.

4. According to the City of Indio's General Plan 2020 ("General Plan"), all new recreational vehicle park development to occur within the Residential Medium Mobile Home Park Developed designation in accordance with General Plan Land Use Police 2.5. However, because the Shadow Hills RV Resort was established prior to the development standards contained in the General Plan, this park was not required to comply with them. Ordinance No. 1687 ensures that older RV parks are allowed to continue operating at their existing sites without the undue burden of meeting each and every development standard applicable to *new* RV parks established in the City after 1994. The Planning Commission believes that issuance of this CUP is consistent with the intent of the General Plan because the Shadow Hills RV Resort is not a new RV park and the minor additions proposed herein do not substantially change the park. The proposed use will also further the City's economic development objectives by encouraging the economic viability of existing recreational vehicle and travel trailer parks within the City and therefore will substantially conform to the goals and objectives of the General Plan 2020. Therefore, the Planning Commission finds that the Project complies with the goals, objectives, and policies of the City's General Plan.

5. The Proposed Use has been environmentally reviewed pursuant to the California Environmental Quality Act ("CEQA") and the State CEQA Guidelines and the City has determined that the Proposed Use is exempt under Section 15301 (Existing Facilities), because the applicant is requesting to permit an existing RV resort that has been in operation since 1984. In addition, the City has determined that the Proposed Use is exempt under Section 15303 (New Construction or Conversion of Small Structures), because the applicant is proposing to expand the use by utilizing the adjacent 4 acres on a temporary basis and to add 11 new permanent RV lots. The proposed expansion of the facility will not result in any new construction. Moreover, the City has determined that the Proposed Use is exempt under section 15061(b)(3), because the Proposed Use will not result in a direct or reasonably foreseeable indirect physical change in the environment nor does the Proposed Use have the potential for causing a significant effect on the environment since the use is contained entirely within the Property. Therefore, the Planning Commission finds that this project is exempt under CEQA and there is no need for further environmental review.

Section 3. Based on the foregoing findings, the Planning Commission hereby approves Conditional Use Permit 16-1-1012, subject to the following conditions of approval:

Development Services Department:

1. The Applicant shall ensure that the Proposed Use complies with all applicable local, State, and federal guidelines and requirements, including but not limited to the Special Occupancy Park Act (the "Act"), Health & Safety Code Sections 18860

et seq., and its implementing regulations found at Title 25 Cal. Code Regs. 2000 et seq.

2. This Conditional Use Permit (CUP 16-1-1012) grants a total of 135 RV lots within the permanent site (existing 10 acres), which includes 124 regular RV lots and 11 vintage RV spaces for vintage trailers to be established around the existing small pond for renting purposes.
3. Issuance of this permit is based upon the project area of 14 acres encompassing the RV Park's 10-acre parcel and the adjacent, undeveloped 4-acre parcel located west of the 10-acre parcel in which the Applicant holds a leasehold interest. Applicant is required to notify the Development Services Department of any change to the use status of the westerly 4 acre site. Should this property no longer be available for use by the Applicant, this Conditional Use Permit (CUP 16-1-1012) shall be revisited by the Planning Commission. In that case, no major special event shall be conducted until the permit has been revisited.
4. The Applicant shall satisfy all applicable Burretec Waste Management requirements regarding solid waste, trash and recycling materials. The applicant shall ensure that trash and recycling enclosures are of adequate size to contain and obscure from view the receptacles and materials therein.
5. Maximum occupancy for Shadow Hills RV Resort shall be 1,250 persons. A Special Event Permit shall be required for any activity, event or function proposed to exceed 1,250 persons. Special Event Permits shall be submitted to the City (Community Services manager) at least 60 days prior to the event.
6. The applicant and/or permit holder shall be responsible for the assurance of the number of attendees on site and under no situation the number of attendees within the Shadow Hills RV Resort (including temporary usage of 4 acres to the west of the permanent facility) shall exceed 1,250 persons, the maximum allowed, without securing a Special Event Permit.
7. The events that are exclusive to the Shadow Hills Resort's guests do not require any additional land use permit (Special Use, Temporary Use, or Special Events permit). However, based on the event the vendors and/or service providers might need to obtain a City businesses license.
8. Special events with less than 200 attendees that do not involve the sale of an event ticket shall be permitted.
9. For any special event with attendance ranging from 200 to 500 persons or with ticket sales of up to 500 persons, the applicant shall inform the Development Services Director of the event via email or a letter at least two (2) weeks prior to said event. The Director shall review the event information, identify if additional information is necessary and grant or deny the event.

10. For any special event with attendance ranging from 501 to 1,250 persons, a Special Event Permit shall be required. The application material shall include a detailed site plan and project description and shall be submitted to the Development Services Department at least 60 days prior to the event for review and approval by the Development Services Director.
11. In the event of any court action or proceeding challenging the approval of this resolution or otherwise challenging the Proposed Use, or the environmental review conducted in conjunction with this Proposed Use, the Applicant shall defend, at its own expense, the action or proceeding. In addition, the Applicant shall reimburse the City for the City's cost of defending any such court action or proceeding. The Applicant shall also pay any award of costs, expenses and fees that the court having jurisdiction over such challenge makes in favor of any challenger and against the City. The Applicant shall cooperate with the City in any such defense as the City may reasonably request and may not resolve such challenge without the agreement of the City. In the event the Applicant fails or refuses to reimburse the City for its cost to defend any challenge to the approval of the Proposed Use, or the environmental review conducted in conjunction with this Proposed Use, the City shall have the right, among other remedies, to revoke this CUP approval. In order to ensure compliance with this condition, within twenty (20) days after notification by the City of the filing of any claim, action or proceeding to attack, set aside, void or annul the approval of this CUP or the Proposed Use, the Applicant shall deposit with the City cash or other security in the amount of ten thousand dollars (\$10,000), satisfactory in form to the City Attorney, guaranteeing indemnification or reimbursement to the City of all costs related to any action triggering the obligations of this condition. If the City is required to draw on that cash or security to indemnify or reimburse itself for such costs, the Applicant shall restore the deposit to its original amount within thirty (30) days after notice from the City. Additionally, if at any time the City Attorney determines that an additional deposit is necessary to secure the obligations of this section, the Applicant shall provide such additional security within thirty (30) days of notice from the City Attorney. The City shall promptly notify the Applicant of any claim, action or proceeding within the scope of this condition.
12. The Applicant shall obtain and maintain a City business license, and it must be posted at the business.
13. The applicant shall be responsible for the tenants/vendors proper State and/or City licensing.
14. When applicable, all tenants/vendors shall obtain a City business license with proper address and personal information including State's VALID seller's permit, and leased contract with the applicant. The said items must be made available upon request. Tenants/vendors shall acknowledge that any personally identifiable information provided by vendor, including but not limited to name, address, telephone number, and license number is a matter of public record and may be released to a member of public, upon written request under certain circumstances.

15. The uses allowed by this Conditional Use Permit (CUP 16-10-1012) shall be conducted in an orderly manner and shall be contained entirely within the existing 10-acre parcel encompassing the existing Shadow Hills RV Resort and, when permitted, the adjacent 4-acre parcel west of the existing park.
16. The Proposed Use shall arrange all permanent facilities and lots in accordance with the approved site plan attached to this Resolution as Exhibit C. Site plans for special events shall be submitted, reviewed, and approved in accordance with the applicable review or permit process.
17. Loading and unloading of goods and people on Jefferson Street is prohibited.
18. The property owner and/or the applicant is responsible for the collection of any trash or debris on or adjacent to the property if said items were generated from the operation, tenants or visitors of the Shadow Hills RV Resorts.
19. The applicant may upgrade the existing temporary kitchen to a certified commercial kitchen by complying with all applicable local and State guidelines and requirements.
20. The Applicant shall, within thirty (30) days of approval of this Resolution, submit to the Development Services Director its written consent to all of the conditions of approval contained in this Resolution without amendment. CUP 16-1-1012 shall be void and of no force or effect unless such written consent is submitted to the City within the 30-day period.

Building and Safety Division:

21. For any special event requiring City approval, the applicant shall submit plans for any proposed structures (temporary or permanent) to show how the units are secured and properly and adequately connected to power, water, and sewer.
22. For any special event requiring City approval, the applicant shall submit plans for review and approval by demonstrating that the existing private sewer systems can handle the increase in volume.
23. The applicant shall provide copies of Riverside County Health Department inspections for the Shadow Hills RV Resort's sewer and water systems to the City, in a timely manner

Public Works Department:

24. The applicant shall submit an as-built grading plan to the City's Public Works Department for review and approval.

* ALLC SUBMITTAL

Indio Fire Department:

FIRE SAFETY REQUIREMENTS FOR EMERGENCY VEHICLE ACCESS

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department will conduct fire inspections for Emergency Vehicle access, and enforce fire protection standards, when applicable. Inspections will consist of certifying that all access points utilized in the event area have met the required standards. All access points maybe be inspected before opening day and during the event operation. Those access points, which do not meet the minimum fire safety standards on the day of inspection, will be required to comply with prior to conducting business. The following is a list of the most common fire safety violations that the fire inspectors will be checking for:

25. The applicant shall ensure that emergency vehicle access roads have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of not less than 13 feet 6 inches. This shall apply to all areas of the event/venue site, including but not limited to parking lots (on site and off site), camping areas, internal event/venue roads, etc.
26. The applicant shall note that when planning and identifying emergency vehicle access roads, guide lines (wire or rope), anchor points and any other securing device for temporary structures need to be considered obstructions. Therefore, these items cannot extend into emergency vehicle access roads.
27. Where required, the applicant shall install and maintain signs or other approved notices for fire apparatus access roads (fire lanes) to identify such roads and prohibit the obstruction thereof or both.
28. The applicant shall clearly identify vehicle parking areas and camping areas. Row identification markers shall be provided for each location. A parking/camping site map shall be provided to the Indio Fire Department for approval.
29. The applicant shall ensure that fire hydrants which are behind a temporary fence shall have a means to access the hydrant from the road side access.
30. The applicant shall ensure that fire hydrants which are screened from view shall have a sign posted on the road side access indicating the Fire hydrant location. Sizing and font size of such signs shall be approved by the Indio Fire Department, prior to installation.
31. The applicants shall ensure that all drive isles within all camping areas shall be designated as "FIRE LANES". Fire Lanes shall NOT be obstructed at any time.

The applicant shall submit a scaled site plan indicating all drive isles, access points, entry/exit gates, fire hydrants, temporary power supplies, stages, to the Indio Fire Department for review and approval.

FIRE SAFETY REQUIREMENTS FOR STAGES

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections for all stages, and enforce fire protection standards for the special event. Inspections will consist of certifying that all stages utilized have met the required standards. All stages may be inspected before opening day and/or during the event. Those stages, which do not meet the minimum fire safety standards on the day of inspection, will be required to comply prior to conducting business. The following is a list of the most common fire safety violations that the fire inspectors will be checking for:

32. The applicant shall ensure that a minimum of two (2) fire extinguishers with a minimum rating of 2A10BC, with a California State Fire Marshal approved service tag that reflects a current inspection date, shall be required for each stage/platform. Additional fire extinguishers maybe required depending on the square footage of the stage. The inspection date shall be within the last twelve months.
33. The applicant shall ensure that all electrical components shall meet all applicable codes and standards as contained in the State of California CCR Title 24.
34. The applicant shall ensure that combustible material shall not be stored under the stage/platform, including any adjacent area next to the stage/platform that is directly connected to the stage/platform.
35. Smoking shall be prohibited on the stage/platform. Smoking shall be prohibited within 20 feet of the stage/platform. No smoking signs shall be mounted on the stage/platform.
36. No portable generators will be allowed. All power needed for your stage/platform shall be provided by the event electrical contractor.

FIRE SAFETY REQUIREMENTS FOR CAR CAMPING AREA

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department will conduct fire inspections of the various car camping areas, and enforce fire protection standards for the special event. The following is a list of the requirements for approval of outdoor cooking appliances:

37. All cooking appliances shall bear a certification or listing from a nationally recognized test or certification organization.
38. A minimum of 3 feet of clearance shall be maintained at all times while cooking appliance is in use. No combustible material shall be within 3 feet of the cooking appliance.
39. Cooking appliance that only utilizes propane as the fuel source shall be permitted. No wood, charcoal, flammable/combustible liquid cooking appliances or items permitted.

40. One cooking appliance per camp site shall be permitted.
41. Maximum amount of propane per campsite shall not exceed 20 pounds or 48 pounds of water capacity.
42. Cooking appliances shall only be used during the hours of 7:00am to 11:00 pm (PST).
43. Cooking appliances, when in use, shall not be left unattended.
44. Campfires, fire pits, fire cages or any other open flame device are not permitted anywhere on the event site, unless it is reviewed on a case-by-case basis by the Fire Marshal.
45. The use of any type of heating appliance is not permitted anywhere on the event site.
46. The use of portable generators are not permitted anywhere on the event site.
47. Fire lanes shall remain unobstructed at all times.
48. Rules & Safety Tips shall be posted on the Shadow Hill RV Resort web site; posted at each camping site and included as a handout to all campers.

FIRE SAFETY REQUIREMENTS FOR TEMPORARY RV CAMPING

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department will conduct fire inspections of the various camping areas, and enforce fire protection standards for the special event. The following is a list of the requirements:

49. Campfires, fire pits, fire cages or any other open flame device are not permitted anywhere on the event site.
50. The use of an outdoor cooking appliance is not permitted anywhere on the festival site. The only exception is; RV's may use their factory installed interior cooking appliance.
51. The use of any type of heating appliance is not permitted anywhere on the festival site. The only exception is; RV's may use their factory installed interior climate control appliances.
52. The use of portable generators are not permitted anywhere on the event site. The only exception is; RV's may use their factory installed generators. However if the exhaust vapors present a health hazard; the generator will not be permitted to be utilized.

53. Fire lanes shall remain unobstructed at all times. Examples of obstructions include, but are not limited to; rear drop gates, tables & chairs, outdoor games, and bicycles.
54. Rules & Safety Tips shall be posted on the Shadow Hills RV Resort web site; posted at each camping site and included as a handout to all campers.

FIRE SAFETY REQUIREMENTS / TO ALL EXHIBITORS AND CONCESSIONAIRES

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections for all concessions, and enforce fire protection standards for the special event. Inspections will consist of certifying that all participants in the event area have met the required standards. All concessions and exhibits will be inspected before opening day and/or during the event. Those exhibits and concessions, which do not meet the minimum fire safety standards on the day of inspection, will be required to comply prior to conducting business. The following is a list of the most common fire safety violations that the fire inspectors will be checking for:

55. Minimum of one (1) fire extinguisher with a minimum rating of 2A10BC, with a California State Fire Marshal approved service tag that reflects a current inspection date, shall be required for each concession using any type of open flame device. The inspection date shall be within the last twelve months.
56. Multi-plug connections, frayed/broken electrical extension cords, or cords with less than 12-gage wiring are prohibited.
57. All L.P.G. tanks (empty or full) shall be secured with a small chain or other approved device and kept a safe distance from open flame. L.P.G. tanks can be placed into plastic milk crates for protection.
58. Cooking that requires the use of a deep fat fryer(s) shall provide a minimum of one Class K portable fire extinguisher. Class K extinguisher shall be a minimum of 1.5 gallon in capacity.
59. No portable generators will be allowed. All power needed for your booth shall be provided by the event electrical contractor.
60. Outdoor cooking that produces sparks or grease-laden vapors shall not be performed inside a tent or booth.
61. All cooking devices shall be in good working condition. All cooking equipment shall be restricted to UL approved commercial cooking appliances only.
62. All cooking devices shall be on a flat stable surface.
63. If wood, charcoal or any other type of approved solid burning material is utilized, the material shall be stored away from any combustible material and usage shall be confined to a cooking device designed for such use/material. All hot material

shall be disposed of in a proper container designed for the hot material. Hot material shall not be stored near combustible material. There shall be a method in place to prevent any combustible material from coming in direct contact with the discarded hot material.

64. Portable vendor carts shall be prohibited from the use of any combustible liquid or gas fuel for the purpose of providing lighting to said carts.

FIRE SAFETY REQUIREMENTS FOR TENT CAMPING AREA

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections of the various tent camping areas, and enforce fire protection standards for the special event.

65. The City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections of the various tent camping areas, and enforce fire protection standards for the Festival.
66. Campfires, fire pits, fire cages, cooking appliances or any other open flame device are not permitted anywhere on the event site.
67. The use of any type of heating appliance is not permitted anywhere on the event site.
68. The use of portable generators are not permitted anywhere on the event site.
69. Fire lanes shall remain unobstructed at all times. Rules & Safety Tips shall be posted on the Shadow Hills RV Resort web site; posted at each camping site and included as a handout to all campers.

FIRE SAFETY REQUIREMENTS FOR PERMANENT RV CAMPING SPACES

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department will conduct fire inspections and enforce fire protection standards for the special event. The following is a list of the requirements for approval of outdoor cooking appliances:

70. All cooking appliances shall bear a certification or listing from a nationally recognized test or certification organization.
71. A minimum of 3 feet of clearance shall be maintained at all times while cooking appliance is in use. No combustible material shall be within 3 feet of the cooking appliance.
72. Cooking appliance that only utilizes propane as the fuel source shall be permitted. No wood, charcoal, flammable/combustible liquid cooking appliances or items permitted.
73. One cooking appliance per camp site shall be permitted.

74. Maximum amount of propane per campsite shall not exceed 20 pounds or 48 pounds of water capacity.
75. Cooking appliances shall only be used during the hours of 7:00am to 11:00 pm (PST).
76. Cooking appliances, when in use, shall not be left unattended.
77. Campfires, fire pits, fire cages or any other open flame device are not permitted anywhere on the event site.
78. The use of any type of heating appliance is not permitted anywhere on the event site. The only exception is; RV's may use their factory installed interior climate control appliances.
79. The use of portable generators are not permitted anywhere on the event site. The only exception is; RV's may use their factory installed generators. However if the exhaust vapors present a health hazard; the generator will not be permitted to be utilized.
80. Fire lanes shall remain unobstructed at all times.
81. Rules & Safety Tips shall be posted on the Shadow Hill RV Resort web site; posted at each camping site and included as a handout to all campers.

TENTS AND MEMBRANE STRUCTURE REQUIREMENTS

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections for all tents, and membrane structures, and enforce fire protection standards for the special event. Inspections will consist of certifying that all participants in the event have met the required standards. All tents, canopies, and membrane structures may be inspected before opening day, and/or during the event. Those tents, canopies and membrane structures, which do not meet the minimum fire safety standards on the day of inspection, will be required to comply prior to occupancy.

82. Permits shall be obtained from the Fire Department, for any tent, membrane structure, or canopy (or grouping of) that exceed 400 square feet. Ref. CFC 3103.2.
83. Shall provide to the Fire Department for review, a site map indicating the location and size of each tent, canopy, and membrane structure.
84. Minimum number of means of egress and means of egress widths shall be determined using table 3103.12.2, of the CFC. Exiting lighting shall conform to Section 3103.12.6 of the CFC.

85. Minimum size fire extinguisher shall be a 2A10BC.
86. Fire extinguishers shall not be mounted higher than 5 feet (top of fire extinguisher) from the ground level.
87. Travel distance to a fire extinguisher shall not exceed 75 feet.
88. No Smoking” signs shall be posted in a conspicuous location throughout the tent, canopy and membrane structure.
89. Shall meet all requirements as set forth in Chapter 31 of the California Fire Code (CFC), 2013 edition.
90. Shall provide certificate of acceptance for meeting the State Fire Marshals flame retardant certification.

ADDITIONAL FIRE SAFETY REQUIREMENTS

For any special event requiring City approval, the City of Indio Fire Services/Riverside County Fire Department may conduct fire inspections and enforce fire protection standards for the special event. Inspections will consist of certifying that all participants in the event have met the required standards. Inspections shall be conducted on or before opening day, or during the event. Those areas which do not meet the minimum fire safety standards on the day of the inspection will be required to comply. The following is a list of additional requirements:

91. The applicant shall provide to the Indio Fire Department a layout for camping areas, to scale including row designators.
92. The applicant shall provide to the Indio Fire Department a seating layout for all stage/platform areas.
93. The applicant shall identify and mark path of travel for disable persons, to and from “handicap” seating area.
94. The applicant shall obtain necessary permits from the Indio Fire Department.
95. The applicant shall ensure that all Water Tenders (Water Trucks) shall be equipped with the capabilities to transfer their water from the Water Tender to the pump intake of the Indio Fire Departments Fire Engines.
96. The applicant shall provide a scaled site plan delineating all tents, art displays, stages, vendors (not located inside a tent), and any other display that would utilize available open space for the event.
97. The Fire Code Official, upon finding any overcrowding conditions or obstructions in aisles, passageways or other means of egress, or upon finding any condition which

constitutes a life safety hazard, shall be authorized to cause the event to be stopped until such condition(s) or obstruction(s) is corrected.

- 98. The applicants shall ensure that the secondary gate on Jefferson Street is operable and equipped to a Knox box key entry lock.
- 99. The applicant shall provide trained crowd managers personnel for events where more than 1,000 persons congregate. The minimum number of crowd managers shall be established at a ratio of one crowd manager to every 250 persons.

The applicant shall provide the Indio Fire Department with a Fire Safety Plan for review and approval.

Indio Police Department (IPD):

- 100. The applicant shall install "No Trespassing/Loitering" signs at all driveway and pedestrian entrances. The Applicant shall file, and keep on file, "No Trespass Authorizations Forms" with the Indio Police Department.
- 101. The applicant shall proactively enforce all "No Trespassing" and "No Loitering" laws and report all crimes to the Indio Police Department.
- 102. The applicant shall not block any emergency access areas as specified by Indio Fire Department.
- 103. The applicant shall ensure all signs, flags, or other displays advertising the proposed events are properly permitted by the City of Indio.
- 104. The applicant shall submit complete floor plans of any new structures and existing structures and landscaping plans to the Indio Police Department in high resolution "PDF" format for any Major Special Events.
- 105. To control and abate unnecessary, excessive and annoying noise and vibration, the applicant shall comply with the City's noise restrictions and regulations as outlined in the Indio Municipal Code.
- 106. For all events that require a City permit, the applicant shall provide sufficient numbers of security personnel to ensure public safety. A security plan shall be submitted to Indio Police Department for review and approval, prior to the event.
- 107. During the major special events, the applicant shall reimburse the City of Indio for all costs associated with an emergency call-out for public safety emergencies requiring additional resources beyond an initial public safety personnel deployment.
- 108. It is the responsibility of the applicant and his or her successors in interest to comply with all above conditions of approval.

109. Violation of any of the above conditions of approval and regulation, or violation of any State and federal law by vendors, vendor's agent, employees, applicant, applicant's agent, or applicant's employees, and/or guests may be cause for revocation of this Conditional Use Permit (CUP 16-1-1012).

Section 4. The Planning Commission Secretary shall certify to the passage, approval, and adoption of this Resolution.

PASSED, APPROVED, and ADOPTED this 9th day of March, 2016, by the following vote, to wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

GLORIA FRANZ
Planning Commission Chair

ATTEST:

ELSA CORONA
Planning Commission Secretary

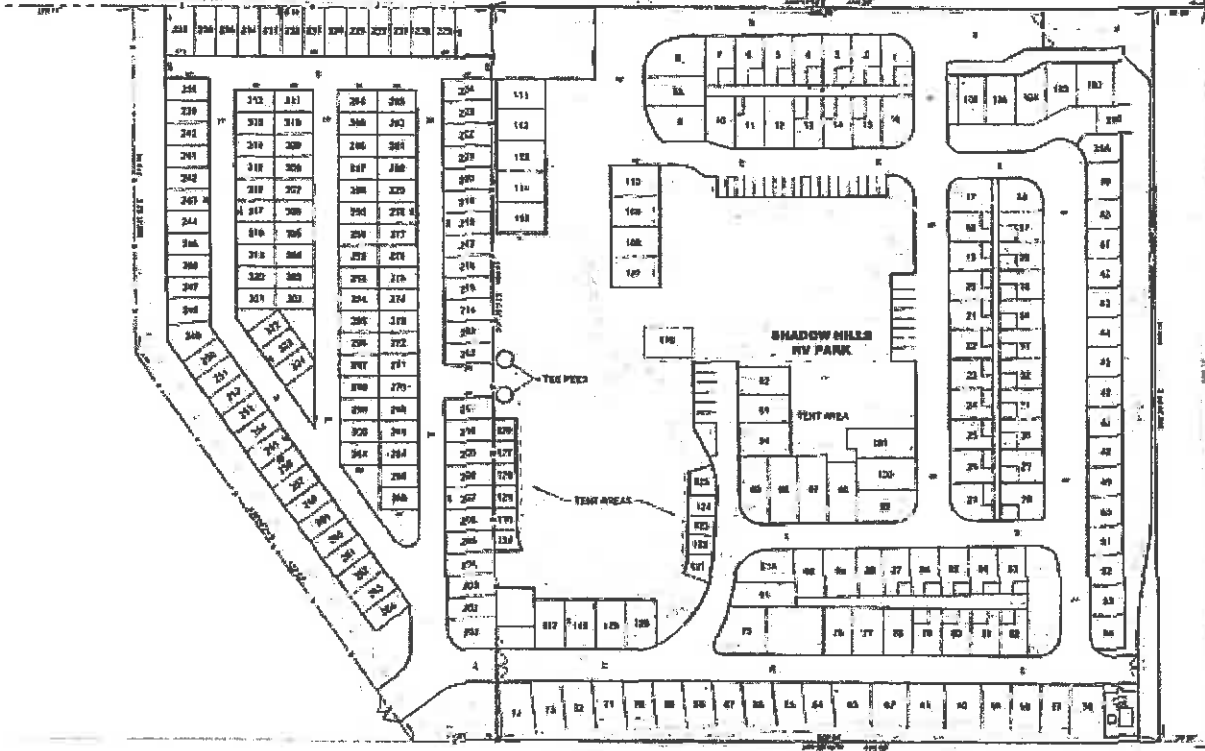
ATTACHMENT C

Site Plan

IN THE CITY OF INDIO, STATE OF CALIFORNIA

SITE PLAN

A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8,
TOWNSHIP 5 SOUTH RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
COACHILLA VALLEY ENGINEERS, INC. JANUARY, 2016



OWNER/APPLICANT
 DATE & TIME FOR THE
 17:00 AND 18:00 HOURS MONDAY, JANUARY 18, 2016
 FROM 2:00 PM TO 5:00 PM

ASSESSORS PARCEL NUMBER
 40 R 267-261-020

LEGAL DESCRIPTION
 A PORTION OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 8, TOWNSHIP 5 SOUTH RANGE 7 EAST OF THE SAN BERNARDINO MERIDIAN, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

BASE OF BEARINGS
 THE BASE OF BEARINGS FOR THIS QUARTER IS THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 8, PAR. 8 OF 18 01, 43 10'00" N 89 00'00" W BY SURVEY, FIELD NO. R.S. 7978, CIV. 22407, BY METRIC SURV. OF ANGELES AND SING. 1627-162876

THOMAS CORNER COORDINATES
 PAGE 819 1490 J-1

UTILITIES

110V 60HZ AC SERVICE	1000 200-250'
200V 60HZ AC SERVICE	1000 200-250'
3PHASE 480V 60HZ AC SERVICE	1000 200-250'
480V 3PHASE SERVICE	1000 200-250'
500V 3PHASE SERVICE	1000 200-250'
600V 3PHASE SERVICE	1000 200-250'
720V 3PHASE SERVICE	1000 200-250'
840V 3PHASE SERVICE	1000 200-250'
960V 3PHASE SERVICE	1000 200-250'
1080V 3PHASE SERVICE	1000 200-250'

TOPOGRAPHY
 FIELD SURVEY PROVIDED BY COACHILLA VALLEY ENGINEERS, INC. IN CONJUNCTION WITH AREA SURVEY PERFORMED BY THE SURVEYOR, INC., SEPTEMBER, 2008

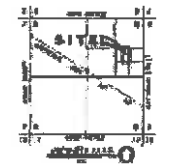
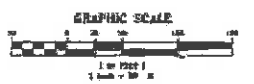
BOUNDARIES
 THIS LEGAL ZONE IS A ZONE PROVIDED BY THE SAN BERNARDINO COUNTY ZONING DEPARTMENT IN 1972, BASED ON THE ZONING DEPARTMENT'S SURVEY OF THE ZONING MAPS IN THE COUNTY. THE ZONING DEPARTMENT HAS AN OFFICE AT 1000 WEST 10TH STREET, INDIO, CA 92201

ACREAGE
 80.00 AC. ± ± 0.00%

SCHOOL DISTRICT
 RIVERSIDE SCHOOLS UNIFIED SCHOOL DISTRICT

ZONING
 CZ - COMMUNITY DEVELOPMENT

GENERAL PLAN
 COMMUNITY DEVELOPMENT



Underground Service Alert
 Call: TOLL FREE
 1-800
 227-2600
 TWO WORKING DAYS BEFORE YOU DIG

NO. OF SHEETS	1
SHEET NO.	1
DATE	2016
PROJECT	SHADOW HILLS RV PARK
OWNER	SHADOW HILLS RV PARK
DESIGNER	COACHILLA VALLEY ENGINEERS, INC.
CHECKED BY	[Signature]
DATE CHECKED	2016
APPROVED BY	[Signature]
DATE APPROVED	2016



COACHILLA VALLEY ENGINEERS, INC.
 1100 N. MONTANA ROAD, SUITE 101
 PALM SPRINGS, CA 92262
 (951) 326-1111
 FAX (951) 326-1112
 www.coachilla.com

MCVE
 Coachella Valley Engineers
 No. 17-017
 No. 1700-01-01
 No. 1700-01-01

17-017 at Montana Road, Suite 101
 Palm Springs, CA 92211
 50 (PLAN) 2016
 100 (JOB) 100-01
 100 (JOB) 100-01

CITY OF INDIO, STATE OF CALIFORNIA
SITE PLAN
 SHEET NO. 1
 OF 1 SHEETS

Attachment D
Ordinance No. 1687

ORDINANCE NO. 1687

ORDINANCE OF THE CITY COUNCIL, OF THE CITY OF INDIO, CALIFORNIA, TO AMEND SECTION 159.556 OF THE INDIO MUNICIPAL CODE REGARDING ZONING REGULATIONS APPLICABLE TO RECREATIONAL VEHICLE AND TRAVEL TRAILER PARKS ESTABLISHED PRIOR TO JUNE 15, 1994, SECTION 159.557 REGARDING APPROVAL OF TEMPORARY RECREATIONAL VEHICLE AND TRAVEL TRAILER PARKS, AND SECTION 130.020 REGARDING CAMPING CONDUCTED AT RECREATIONAL VEHICLE AND TRAVEL TRAILER PARKS

THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY ORDAINS AS FOLLOWS:

Section 1. Section 159.556 (Regulations and Standards) of Chapter 159 (Zoning Regulations) of the Indio Municipal Code is hereby amended in its entirety to read as follows:

(A) A recreational vehicle or travel trailer park established prior to, and continually operated since, June 15, 1994, shall be permitted in any land use district in which it currently operates, subject to the following regulations and standards:

(1) Expand or modify its size or number of permitted spaces, as existed on June 15, 1994, only upon approval of a conditional use permit. A conditional use permit may include conditions relating to the conduct of special events.

(2) Comply with all applicable State laws and City ordinances regulating the operation and design of recreational vehicle and travel trailer parks, except for the standards set forth in subsection (B).

(B) Recreational vehicle and travel trailer parks established after June 15, 1994, shall be permitted exclusively in the RM district and shall be subject to the Specific Plan Implementation requirements pursuant to §§ 159.950 through 159.958. The required land use designation shall be MHPD (Mobile Home Planned Development). The following regulations and standards shall supplement development standards enumerated for RM zoned property. When conflicting, the standards imposing the more stringent requirement shall prevail. These supplemental development standards shall only apply to new development or conversions subsequent to June 15, 1994.

(1) Minimum site size shall be ten acres.

(2) Density shall not exceed 12 spaces per gross acre.

(3) One shade tree per space shall be required.

(4) The minimum space size shall be 30 feet in width by 65 feet in length.

(5) "Park Models" and other permanent or semi-permanent residential units shall be prohibited, except that one permanent residential structure may be permitted as a caretakers residence.

(6) Interior streets shall be a minimum of 24 feet wide. Rolled curbs may be

permitted.

(7) Decorative block walls shall be required around the perimeter of all projects. The minimum height shall be eight feet when measured from the interior grade and six feet when measured from the exterior grade.

(8) A minimum of 75% of the spaces shall be installed with sewer, water and electricity.

(9) A minimum of 25 percent of the site shall be maintained as common landscaped open space such as golf courses, tennis courts, and trails, but not to include recreation rooms, laundry rooms, offices, restrooms or other common structures or buildings.

(10) Each space shall be improved with concrete or other acceptable hard surface.

(11) Design review shall be required for all structures, landscaping, screening, street layout, recreational facilities, etc.

(12) Solid waste and recycling enclosures shall be required."

Section 4. Section 159.557 (Temporary Parks) of Chapter 159 (Zoning) of the Indio Municipal Code is hereby amended in its entirety to read as follows:

"Temporary recreational vehicle or travel trailer parks may be permitted on private or public property in any land use district upon approval of a permit issued by the Director of Development Services, subject to the following conditions and regulations:

- (A) Shall be permitted for no more than 21 days in any one calendar year.
- (B) A minimum of ten feet between vehicles or trailers shall be required.
- (C) Aisle ways shall be a minimum of 24 feet in width.
- (D) Toilets, if provided, shall be permitted at a rate of no more than one per fifteen spaces and shall be emptied daily by an approved method.
- (E) Fire hydrants shall be no more than 500 feet from any space.
- (F) Electrical, sewer and water hookups shall be prohibited.
- (G) Provisions for solid waste and recycling collection shall be made.
- (H) Provisions for dust control shall be made.
- (I) No waste water shall be discharged on to the open ground surface or into city streets.
- (J) Other conditions to assure that the temporary recreational vehicle or travel trailer park will not adversely affect adjoining properties, public or private, or the public health, safety, and general welfare.
- (K) A permit issued by the Director of Development Services under this section may be revoked for violations of this section. The operator shall be given seventy two hours to correct violations or cease operation."

Section 5. Section 130.020 (When Prohibited) of Chapter 130 (Offenses Against Persons or Property) of the Indio Municipal Code is hereby amended to add a new Subsection (C)(3) to read as follows:

"(3) This division shall not prohibit camping at the site of a legally operating

recreational vehicle or travel trailer parks permitted in accordance with Sections 159.556 or 159.557."

Section 6. CEQA. This ordinance was assessed in accordance with the criteria contained in the California Environmental Quality Act ("CEQA") and the State CEQA Guidelines. The City Council finds that adoption of this ordinance will not have a significant environmental impact on the environment and is exempt from CEQA pursuant to Section 15061(b)(3) of State CEQA Guidelines because it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment. Alternatively, this ordinance is exempt from CEQA pursuant to Section 15305 because it involves a minor alteration in land use limitations and it would not result in any changes in land use or density. The primary effect of this ordinance will be to permit existing recreational vehicle and travel trailer parks to continue operating at their current locations, and therefore the land use at those locations will remain the same.

Section 7. The City Clerk shall certify to the adoption of this Ordinance and shall cause the same to be published or posted in the manner prescribed by law.

Section 8. Severability. If any section, subsection, sentence, clause, phrase, or portion of this ordinance is for any reason held to be invalid or unenforceable by a court of competent jurisdiction, the remaining portions of this ordinance shall nonetheless remain in full force and effect. The City Council and voters of the City of Indio hereby declare that they would have adopted each section, subsection, sentence, clause, phrase, or portion of this ordinance, irrespective of the fact that any one or more

PASSED, APPROVED AND ADOPTED this 3rd day of February, 2016, by the following vote:

AYES: Holmes, Strange, Wilson, Miller

NOES: None

ABSENT: Ramos Watson



GLENN MILLER, MAYOR

ATTEST:



CYNTHIA HERNANDEZ, CMC
CITY CLERK

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

- 4.1 Director's Approvals. During the period of August 22, 2016 through September 23, 2016, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Ed Cooper reviewed six ALUC cases within western Riverside County and issued determinations of consistency.

ZAP1079RI16 (Riverside Municipal AIA, Zone E) pertains to City of Jurupa Valley Case No. SDP31436 (Site Development Permit), a proposal to construct a 64 foot tall faux water tower wireless communications facility within a 625 square foot enclosure with an 84 square foot equipment area in the existing Pedley Metrolink Station parking lot located on a 4.4-acre site at 6001 Pedley Road (on the westerly side of Pedley Road, northerly of Limonite Avenue and easterly of Van Buren Boulevard). The elevation of the site is 733 feet above mean sea level (AMSL), and the top point of the tower would be 797 feet AMSL. This top point would exceed the elevation of the runways at Riverside Municipal Airport by up to 40 feet; however, as the site is located more than 10,000 feet from the runways at this airport, elevations up to 867 feet AMSL at this site would not require notification to the Federal Aviation Administration (FAA) Obstruction Evaluation Service. Therefore, ALUC did not require FAA review for height/elevation reasons. ALUC Director Ed Cooper issued a determination of consistency for this project on August 22, 2016.

ZAP1208MA16 (March AIA, Zone E) pertains to City of Riverside Case Nos. P14-0225 (Conditional Use Permit) and P14-0227 (Design Review), which propose a 117-unit, three-story senior apartment complex on 3.75 acres located northerly of Dominion Avenue (which is proposed to be vacated), westerly of Division Street, and easterly of McMahan Street, in the area of the City northerly of Arlington Avenue and easterly of Highway 91. Residential density is not restricted in Zone E. The elevation of the site is more than 500 feet lower than the elevation of March's Runway 14-32, but the site is also located less than 20,000 feet from the runways at Riverside Municipal Airport. The site is 19,700 feet from the southerly terminus of Runway 16-34, which has an elevation of 747 feet AMSL. At this distance, any structure with a top point elevation exceeding 944 feet AMSL would require FAA review. The site's finished floor elevation is 901 feet AMSL, and the tallest building height is 42 feet, resulting in a maximum top point elevation of 943 feet AMSL. Therefore, ALUC did not require FAA review for height/elevation reasons. A condition was applied limiting height to 42 feet and maximum elevation to 943 feet AMSL, requiring FAA review if these numbers are exceeded. ALUC Director Ed Cooper issued a determination of consistency for this project on August 26, 2016.

ZAP1209MA16 (March AIA, Zone D) pertains to City of Riverside Case No. P16-0207 (Design Review), a proposal to construct a 1.93-acre auxiliary parking lot with landscaping and lighting as an extension of an existing 9.32-acre parcel developed with an auto dealership, located at 6050 Sycamore Canyon Boulevard (on the easterly side of Sycamore Canyon Boulevard, northerly of Crest Ridge Drive, westerly of Quail Valley Court, and southerly of Highway 60). Nonresidential intensity is not restricted in Zone D of the March AIA. The elevation of March's Runway 14-32 at its northerly terminus is 1,535 feet AMSL, and the site is located approximately 17,900 feet from that point. At this distance, FAA review would be required

for structures with a top point elevation exceeding 1714 feet AMSL. The site elevation is 1535 feet AMSL, and the parking lot light standards would be 18 feet in height, for a top point elevation of 1553 feet AMSL. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on August 26, 2016.

ZAP1080RI16 (Riverside Municipal AIA, Zone D) pertains to City of Riverside Case Nos. P15-0958 (Conditional Use Permit), P15-0959 (Design Review), and P15-1105 (Tentative Parcel Map). P15-0958 and P15-0959 involve a proposal to construct two commercial retail buildings totaling 16,607 square feet, a 6,029 square foot express car wash, 7,221 square foot vacuum station, and 1,081 square foot detail station on a 4-acre parcel located on the westerly side of Van Buren Boulevard, northerly of Arlington Avenue and southerly of Doolittle Avenue. P15-1105 is a proposal to divide the site into two commercial lots, with the retail building on the southerly parcel and the car wash on the northerly parcel. An evaluation of the property as a whole using the Building Code method results in a determination that the overall occupancy would be 327 persons (for an average of 82 persons per acre), with a maximum single-acre intensity of 234. These average and single-acre intensities meet Zone D criteria. However, the proposed parcel map would divide the site, requiring analysis of each proposed lot. In that situation, the average intensity of the southerly parcel would exceed 100 persons per acre using the Building Code method, but the average intensity would be consistent using the Parking Space method. Review by the FAA was conducted in 2015, and the FAA issued a Determination of No Hazard to Air Navigation for Aeronautical Study No. 2015-AWP-8544-OE on September 11, 2015. ALUC Director Ed Cooper issued a determination of consistency for this project on August 31, 2016.

ZAP1211MA16 (March AIA, Zone D) pertains to City of Perris Case No. PLN16-00013 (Development Plan Review), a proposal to construct a 240,911 square foot industrial building (with 7,145 square feet of office space and 233,766 square feet of warehouse area) on an 11.12 net acre parcel located southerly of Perry Street, westerly of Redlands Avenue, northerly of Ramona Expressway, and easterly of Perris Boulevard. Nonresidential intensity is not restricted in Zone D of the March AIA. The elevation of Runway 14-32 at its southerly terminus is 1488 feet AMSL. At a distance of 10,400 feet from the runway, FAA review would be required for any structure with top of roof exceeding 1592 feet AMSL. The site elevation is 1456 feet AMSL and the proposed building height is 42.6 feet, resulting in a maximum top point elevation of 1498.6 feet AMSL. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on September 19, 2016.

ZAP1213MA16 (March AIA, Zone D) pertains to City of Moreno Valley Case No. PA16-0052 (Plot Plan), a proposal to construct an 8,992 square foot mattress and bedding retail store ("Sit n Sleep") on a one-acre parcel located at 12540 Campus Parkway (on the northerly side of Campus Parkway, easterly of Day Street and westerly of Town Circle, in an existing shopping center). Nonresidential density is not restricted in Zone D of the March AIA. The elevation of Runway 14-32 at its northerly terminus is 1535 feet AMSL. At a distance of 14,400 feet from the runway, FAA review would be required for any structure with top of roof exceeding 1679 feet AMSL. The finished floor elevation is 1606 feet AMSL, and the proposed building height is 33 feet, resulting in a maximum top point elevation of 1639 feet AMSL. Therefore, FAA review for height/elevation reasons was not required. ALUC Director Ed Cooper issued a determination of consistency for this project on September 23, 2016.

Copies of these consistency letters and background documents are attached, for the Commission's information.

4.2 Specific Delegation of Authority: Amendment to City of Riverside General Plan and Sycamore Canyon Business Park Specific Plan (Circulation). On December 10, 2015, ALUC found ZAP1158MA15, a proposal to develop two industrial (predominantly warehouse) buildings totaling 1,012,995 square feet of gross floor area (including 20,000 square feet of office space) on 71.5 acres located along the westerly side of Lance Drive, northerly of its intersection with Sierra Ridge Drive, consistent with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan. However, the applicant failed to submit the associated General Plan Amendment and Specific Plan Amendment for concurrent review. These are Circulation Element amendments proposing deletion of road segments. Both are necessary for the project to proceed, since the structures would otherwise be straddling planned roadways. Specifically, the amendments consist of deletion of the following roadway segments: (a) the segment of Dan Kipper Drive (General Plan name)/Crest Ridge Drive (Specific Plan name) extending westerly from Lance Drive to an unnamed north-south roadway known as River Ridge; (b) the entirety of the unnamed north-south roadway known as River Ridge, which would have extended from the northerly boundary of the Specific Plan southerly to an unnamed east-west roadway known as Kangaroo Court; (c) the entirety of the unnamed east-west roadway known as Kangaroo Court, which would have extended westerly from Lance Drive to the easterly boundary of Sycamore Canyon Wilderness Park; and (d) the segment of Sierra Ridge Drive extending westerly from Lance Drive. Since these are all deletions of General Plan roadways (or General Plan status for roadways), these amendments clearly have no potential impacts on land use compatibility or on the safety of aircraft in flight. If these amendments had been initiated by the City of Riverside, they would have qualified as “non-impact legislative actions” that could be determined consistent by the ALUC Director pursuant to ALUC Resolution No. 2011-02. That Resolution only addresses proposals by local jurisdictions. Since this proposal was submitted by a private sector applicant, the Resolution is not strictly applicable, and the proposal would be scheduled for an ALUC hearing in November. In this case, staff would support the applicant’s request for delegation of authority to the ALUC Director to issue a finding of consistency.

Y:\ALUC\ALUC Administrative Items\Admin. 2016\ADmin Item 10-13-16.doc



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

August 22, 2016

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS
Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Steve Manos
Lake Elsinore

Russell Betts
Desert Hot Springs

STAFF

Director
Ed Cooper

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Larron St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Brett Hamilton, Project Planner
City of Jurupa Valley Planning Department
8930 Limonite Avenue
Jurupa Valley CA 92509

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1079RI16
Related File No.: SDP31426 (Site Development Permit)
APN: 165-185-009

Dear Mr. Hamilton:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC’s general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Jurupa Valley Case No. SDP31426 (Site Development Plan), a proposal to construct a 64 foot tall faux water tower wireless communications facility within a 625 square foot enclosure with a 84 square foot equipment area in the existing Pedley Metrolink Station parking lot located on a 4.4-acre site at 6001 Pedley Road (on the westerly side of Pedley Road, northerly of Limonite Avenue and easterly of Van Buren Boulevard).

The site is located within Airport Compatibility Zone E of the 2005 Riverside Municipal Airport Compatibility Plan. Compatibility Zone E does not restrict nonresidential intensity.

The project site is approximately 10,964 feet from the westerly terminus of Runway 9-27 and 11,314 feet from the northerly terminus of Runway 16-34 at Riverside Municipal Airport. However, the elevation of Runway 16-34 at its northerly terminus (771.8 feet AMSL) is 14.2 feet higher than the elevation of Runway 9-27 at its westerly terminus (757.6 feet AMSL). At the distances cited above, structures with a top point elevation exceeding 885 feet and 867 feet AMSL, respectively, would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES) through the online Form 7460-1 review process (<https://oeaaa.faa.gov>). The site has an elevation of 733 feet AMSL, and the top point of the proposed 64 foot high faux water tower would be 797 feet AMSL. Therefore, ALUC staff did not require review by the FAA OES for height/elevation reasons.

As ALUC Director, I hereby find the above-referenced Site Development Permit **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, subject to the following conditions.

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses are prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the building(s) and structures on-site.
4. No new detention basins are proposed through this application. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around such detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

AIRPORT LAND USE COMMISSION

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, ALUC Director

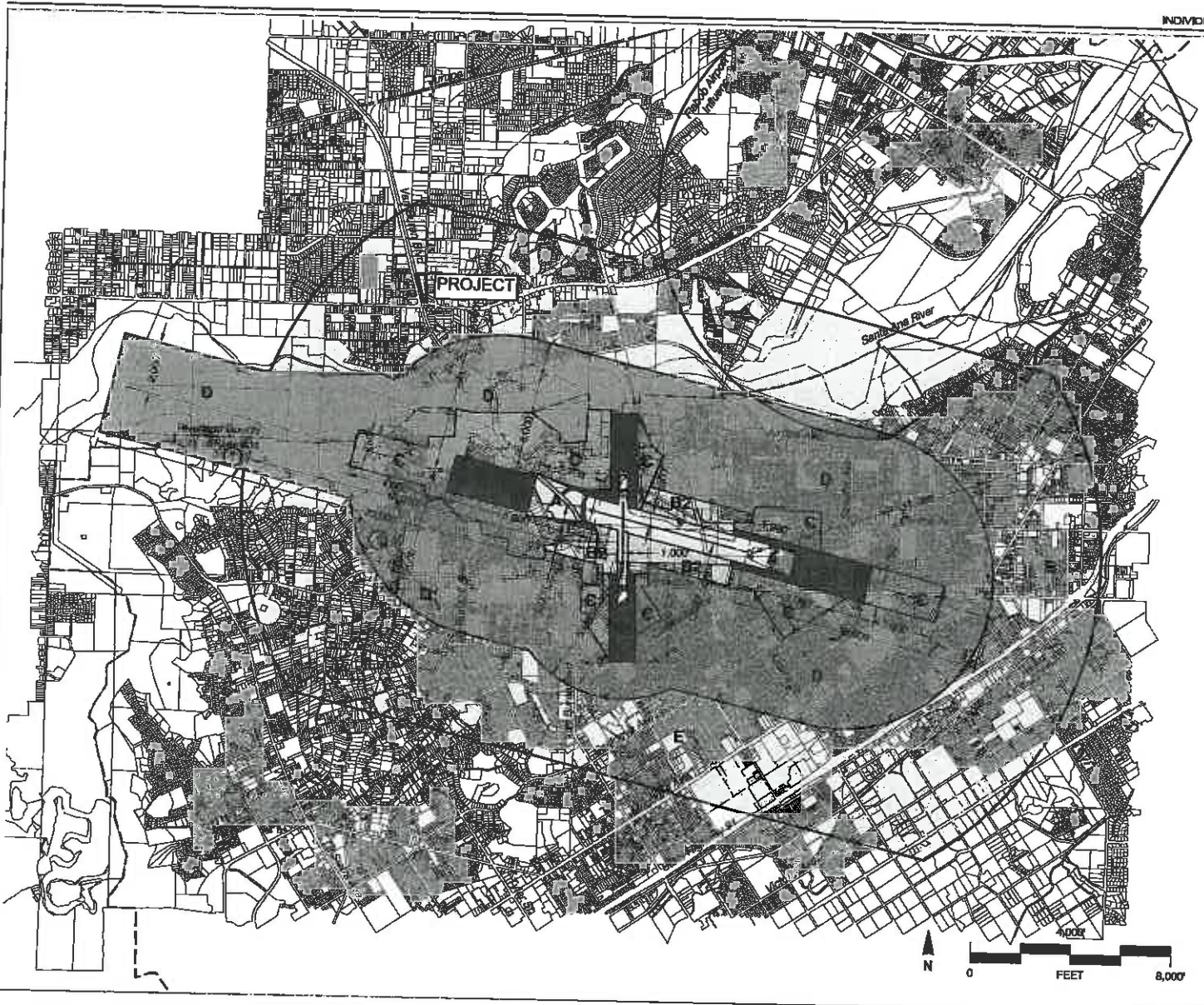
Attachments: Notice of Airport in Vicinity

cc: Smartlink LLC, James Rogers (representative/payee)
Verizon Wireless, Kelly McDonough (applicant)
Riverside County Transportation Commission (landowner)
Kim Ellis, Airport Manager, Riverside Municipal Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Riverside\ZAP1079RI16\ZAP1079RI16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C
 - Zone D
 - Zone E
 - Height Review Overlay Zone

- Boundary Lines**
- Airport Property Line
 - City Limits

Note
 Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section PL2 for special exceptions to the Table 2A criteria.

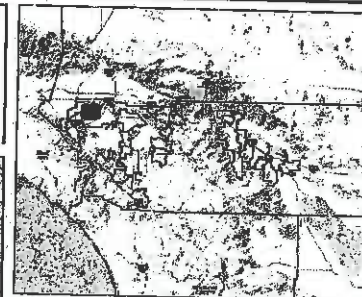
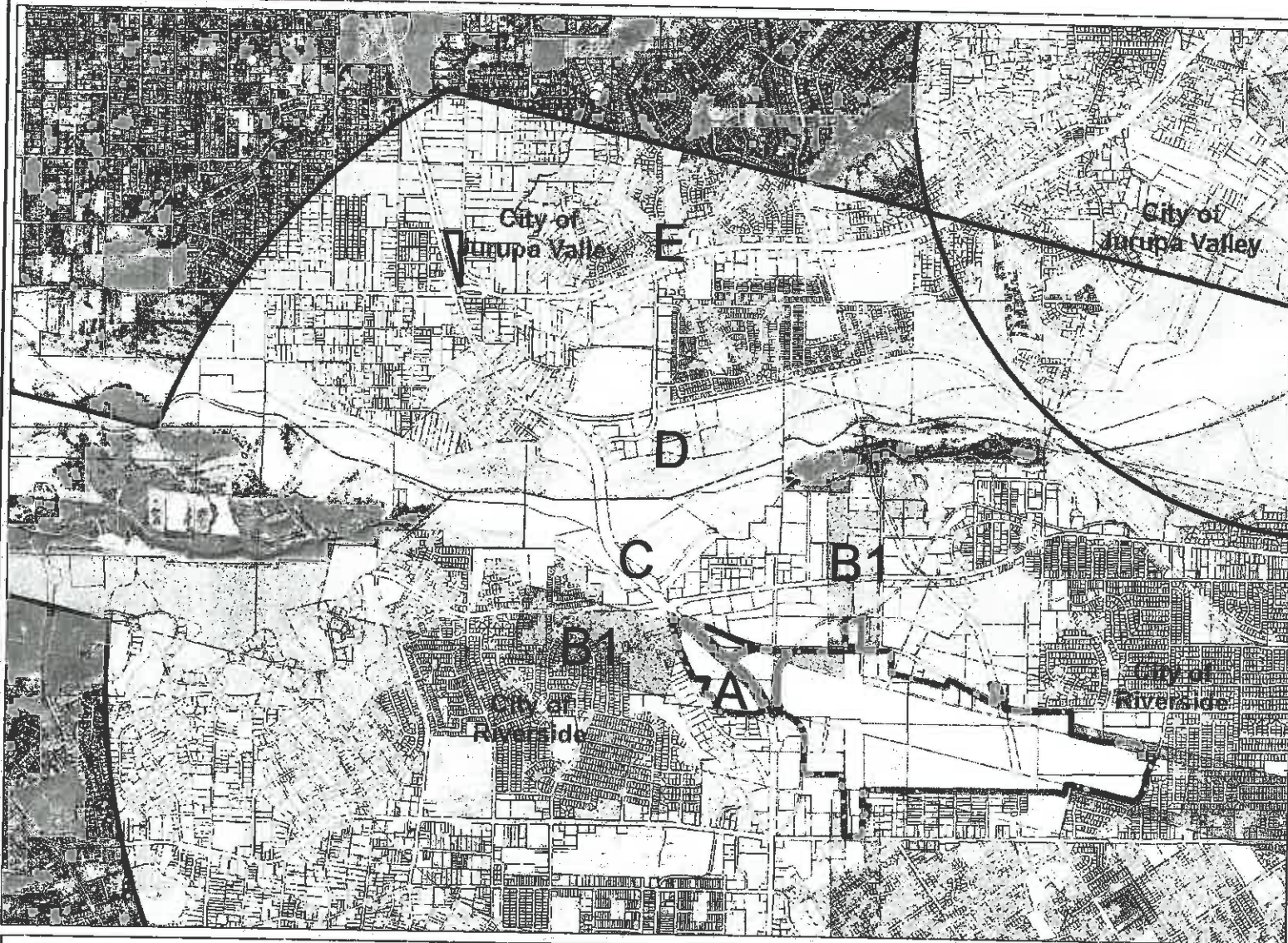
Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
 (Adopted March 2005)

Map RI-1

Compatibility Map
Riverside Municipal Airport

P:\RCD\Images\NAL\compatibility.dwg Mir B2, 2005 - 10:47 AM

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



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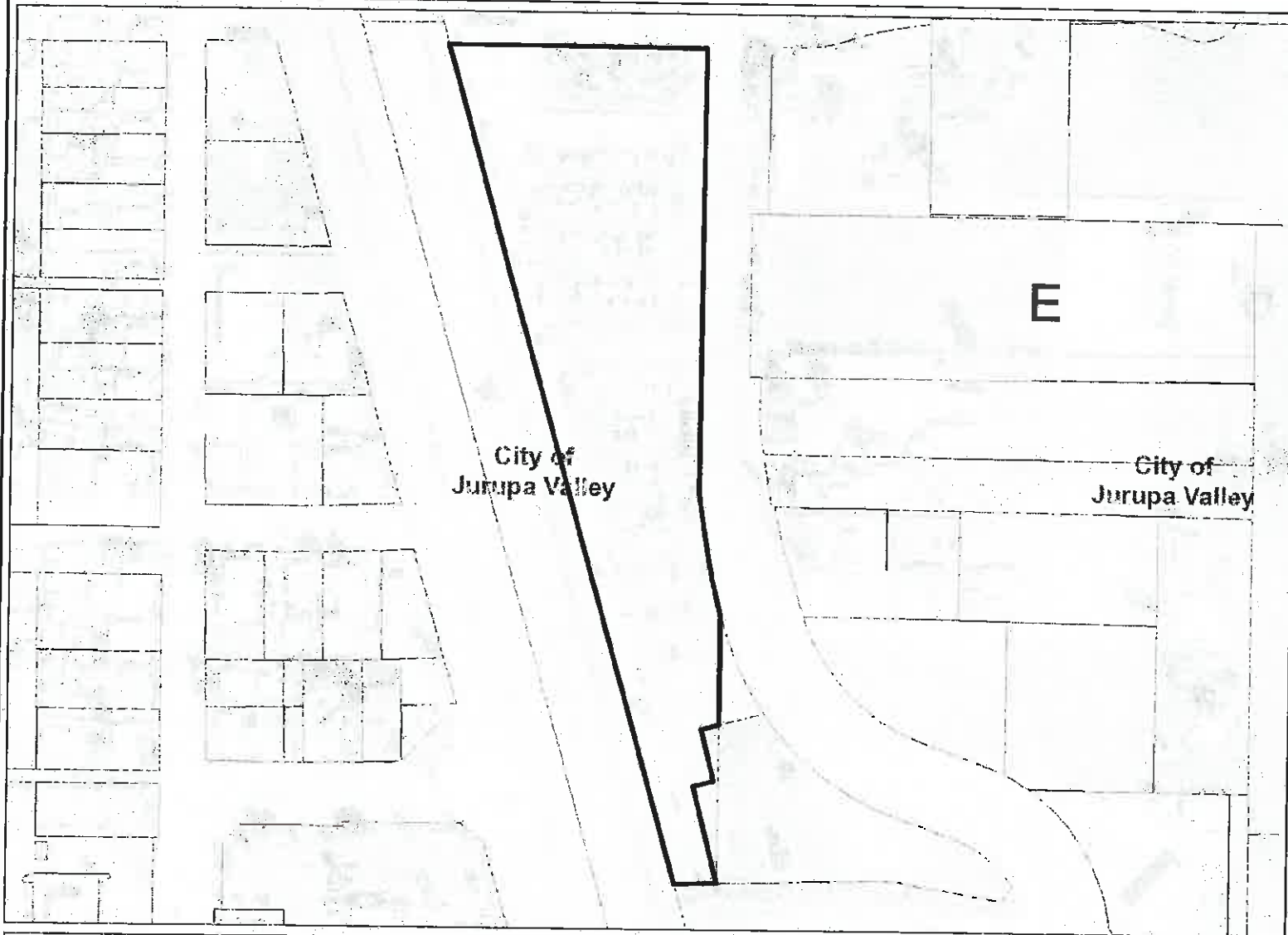
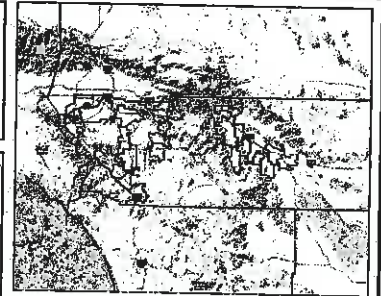
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA

Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8



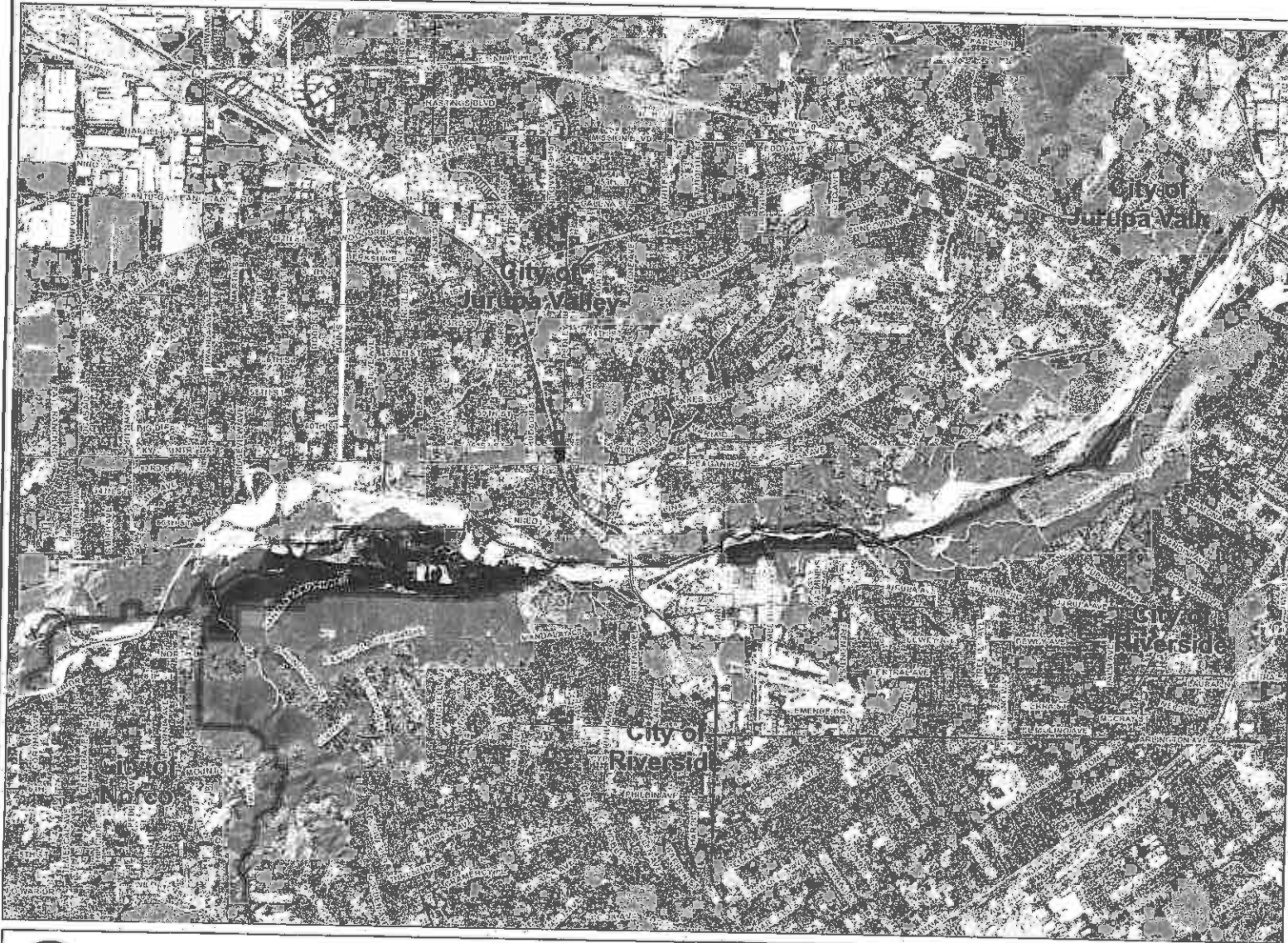
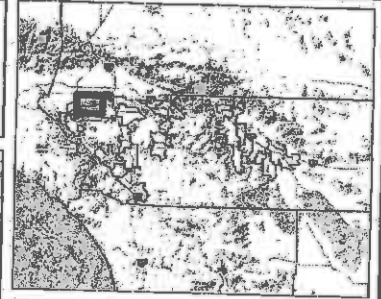
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Notes

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- ### Legend
-  City Boundaries
 - Cities**
 - highways_large**
 -  HWY
 -  INTERCHANGE
 -  INTERSTATE
 -  USHWY
 -  majorroads
 -  counties
 -  cities



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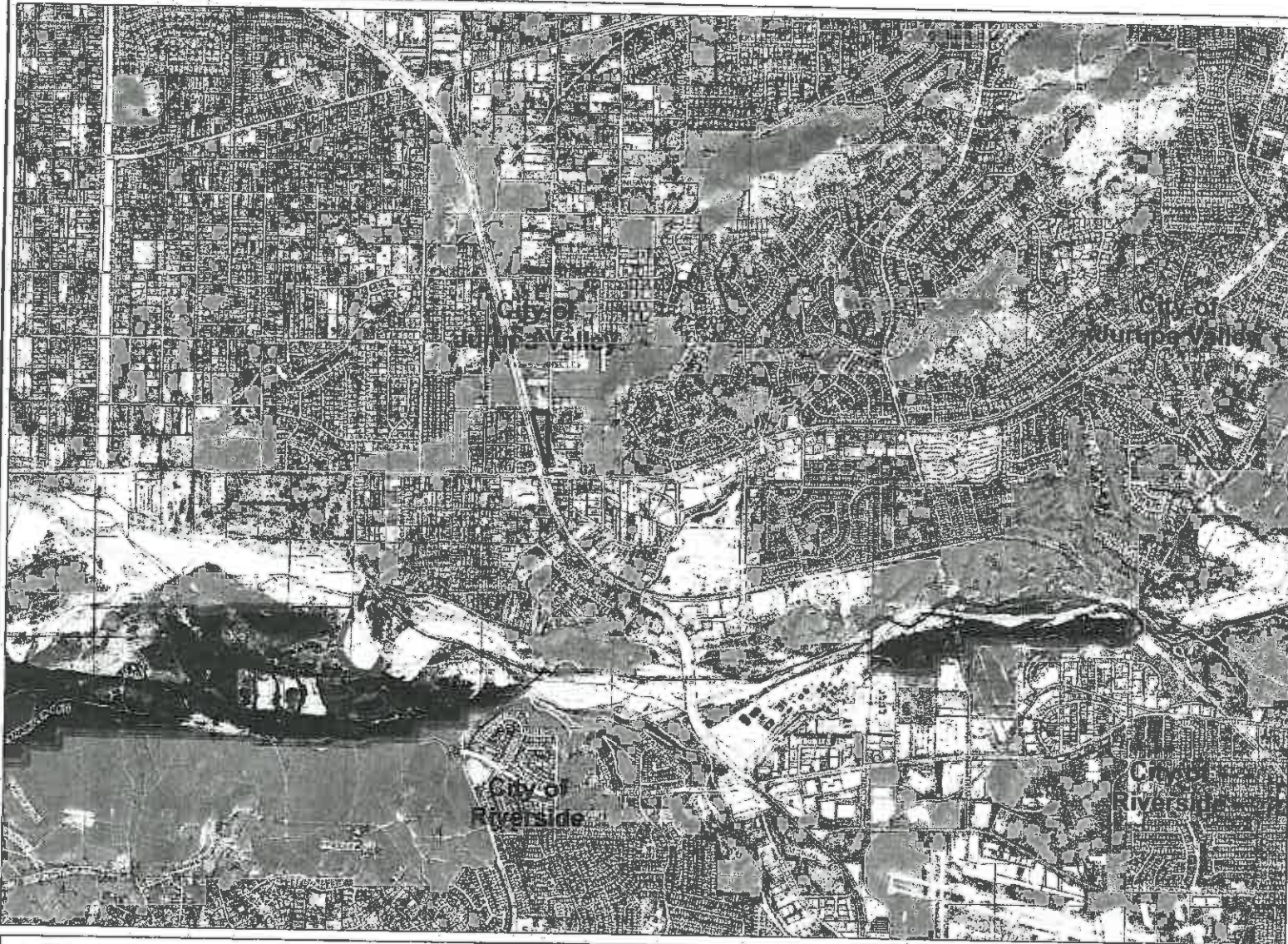
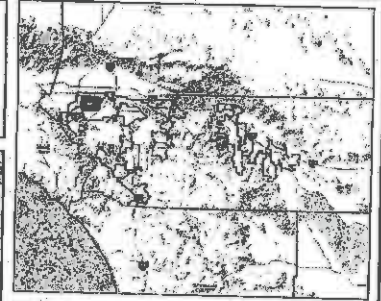
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Notes

My Map



Legend

-  City Boundaries
- Cities**
- roads
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
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- waterbodies
- Lakes
- Rivers



0 3,763 7,525 Feet



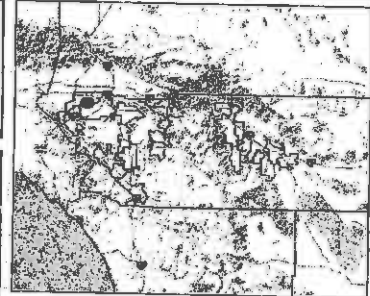
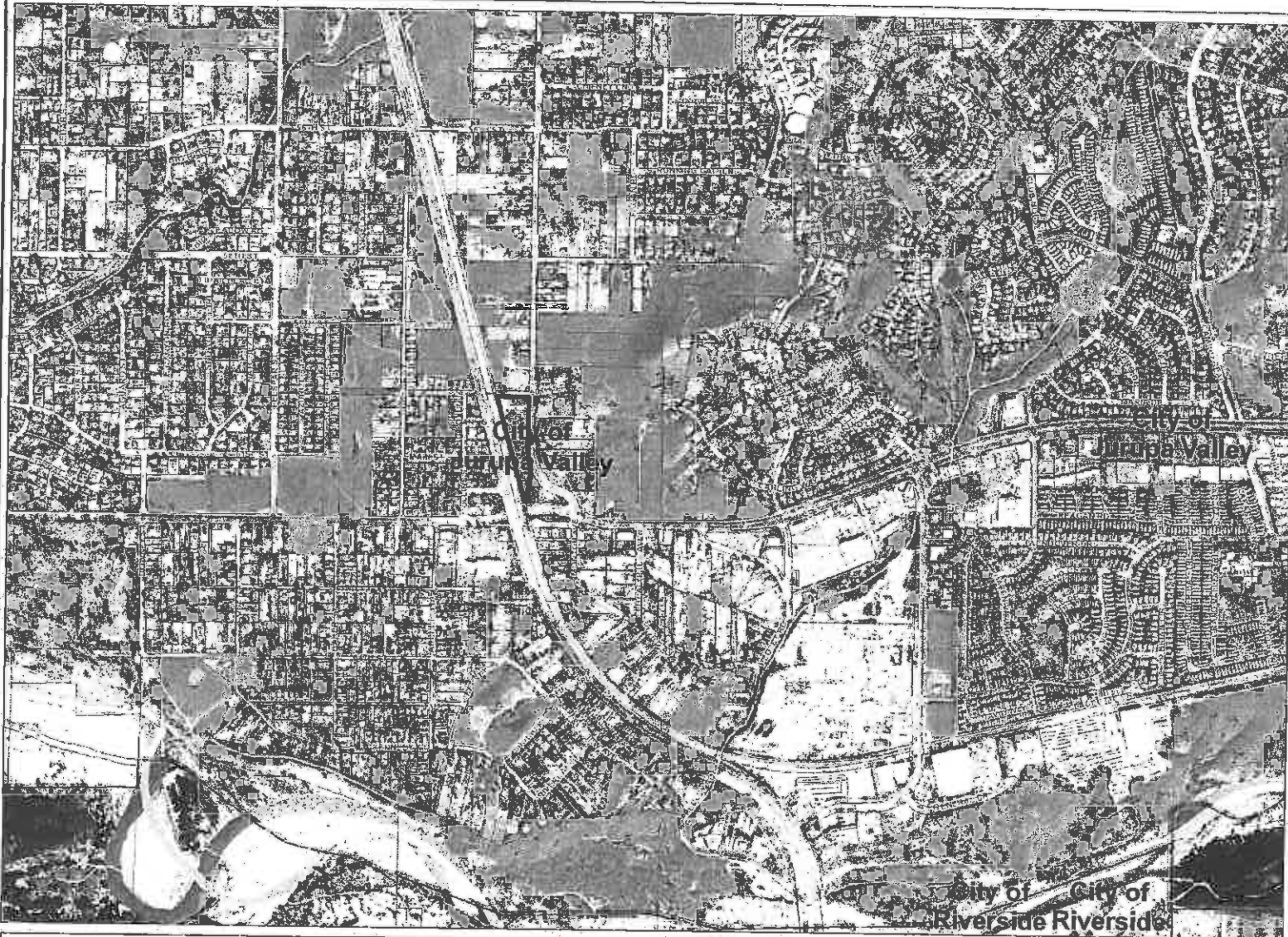
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Notes

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Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
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- USHWY
- counties
- cities
- hydrographylines**
- waterbodies**
- Lakes
- Rivers



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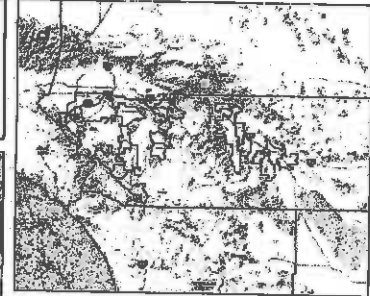
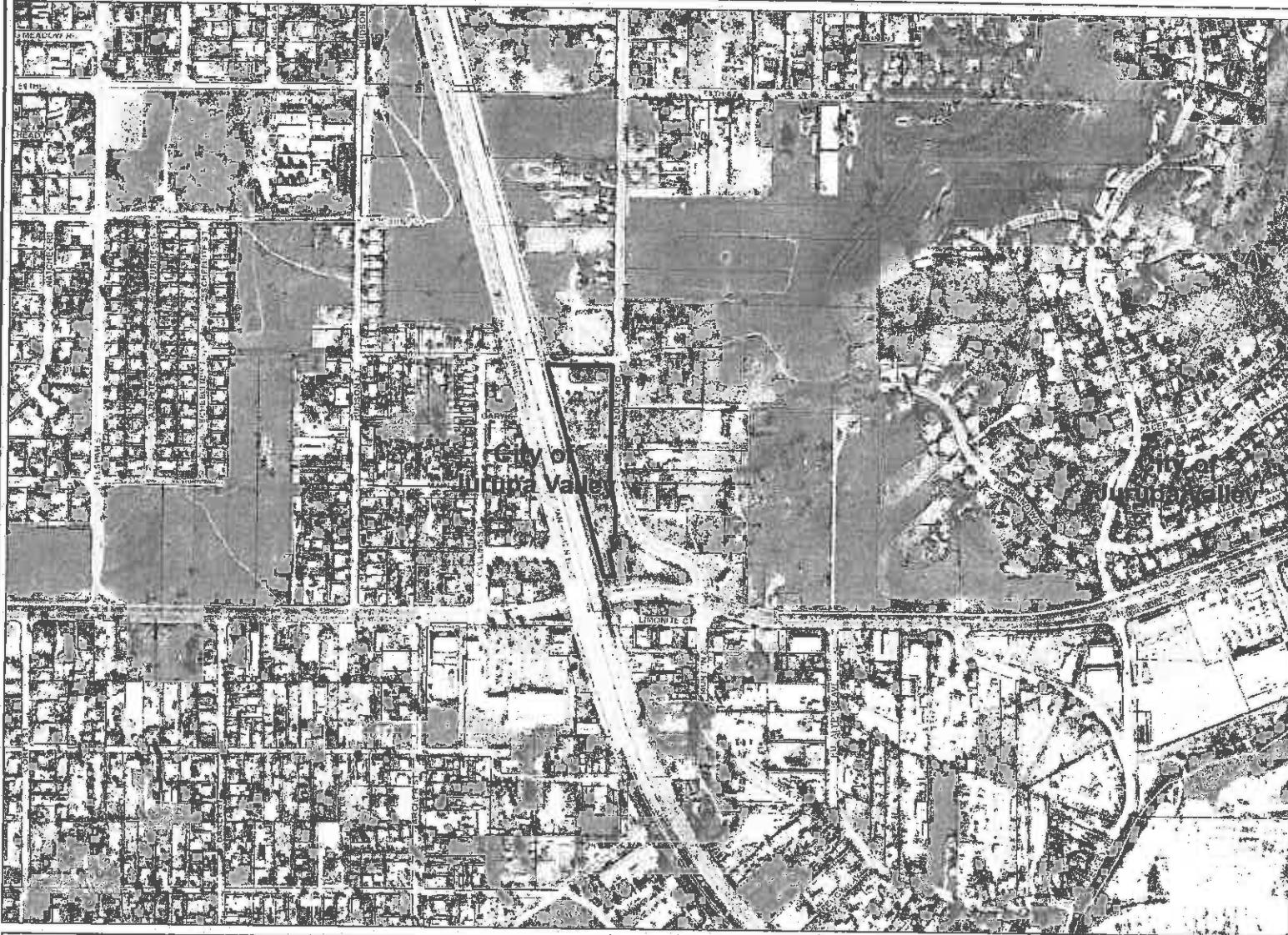
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- Cities**
- roadsanno
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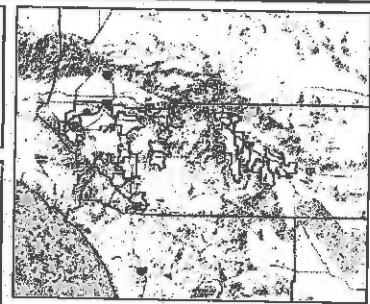
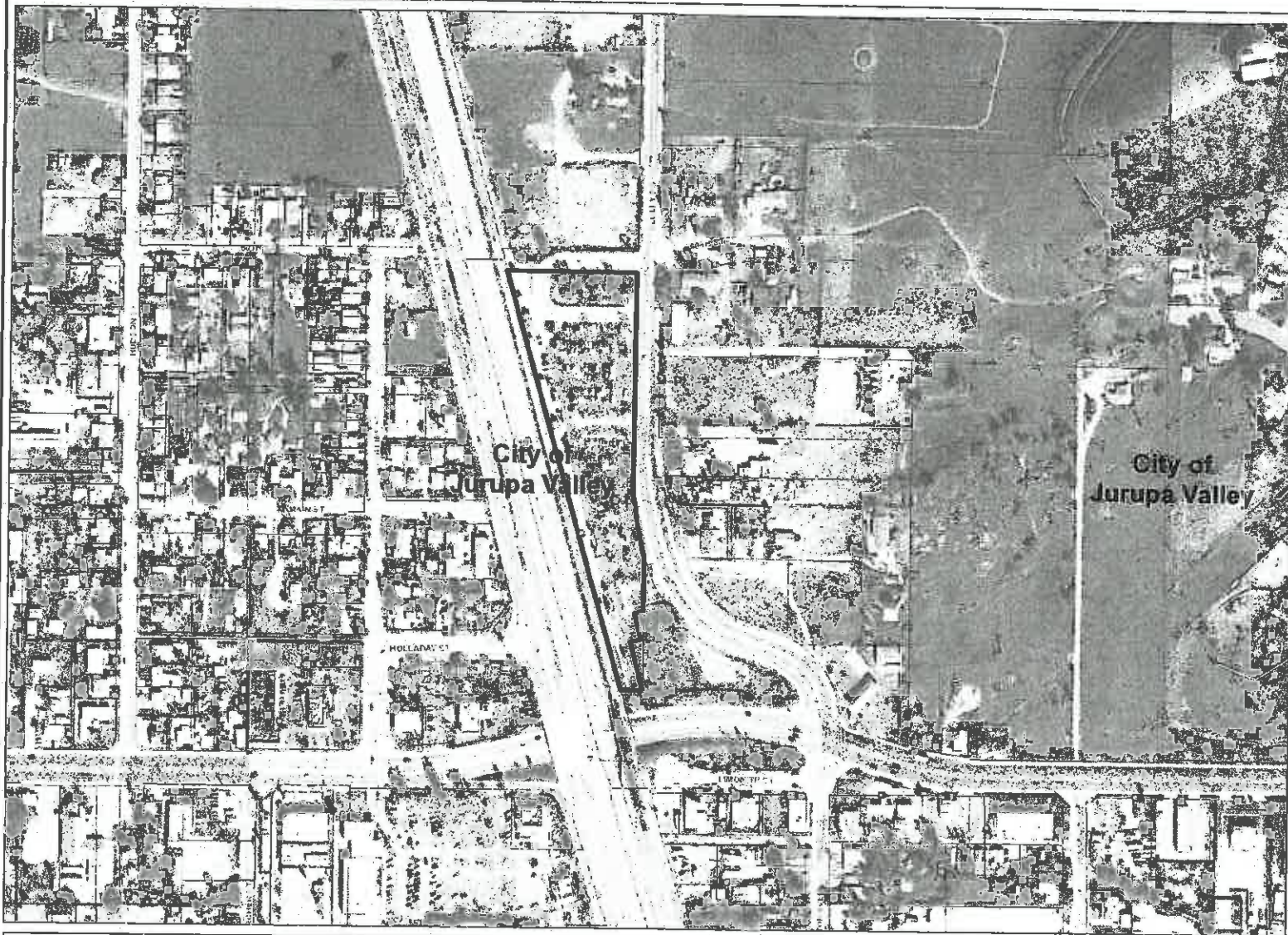
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- Cities**
- roadsanno
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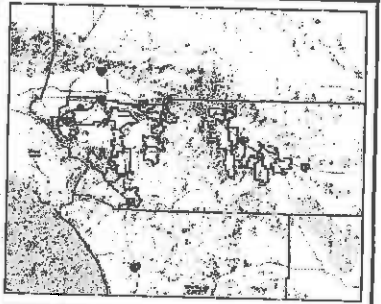
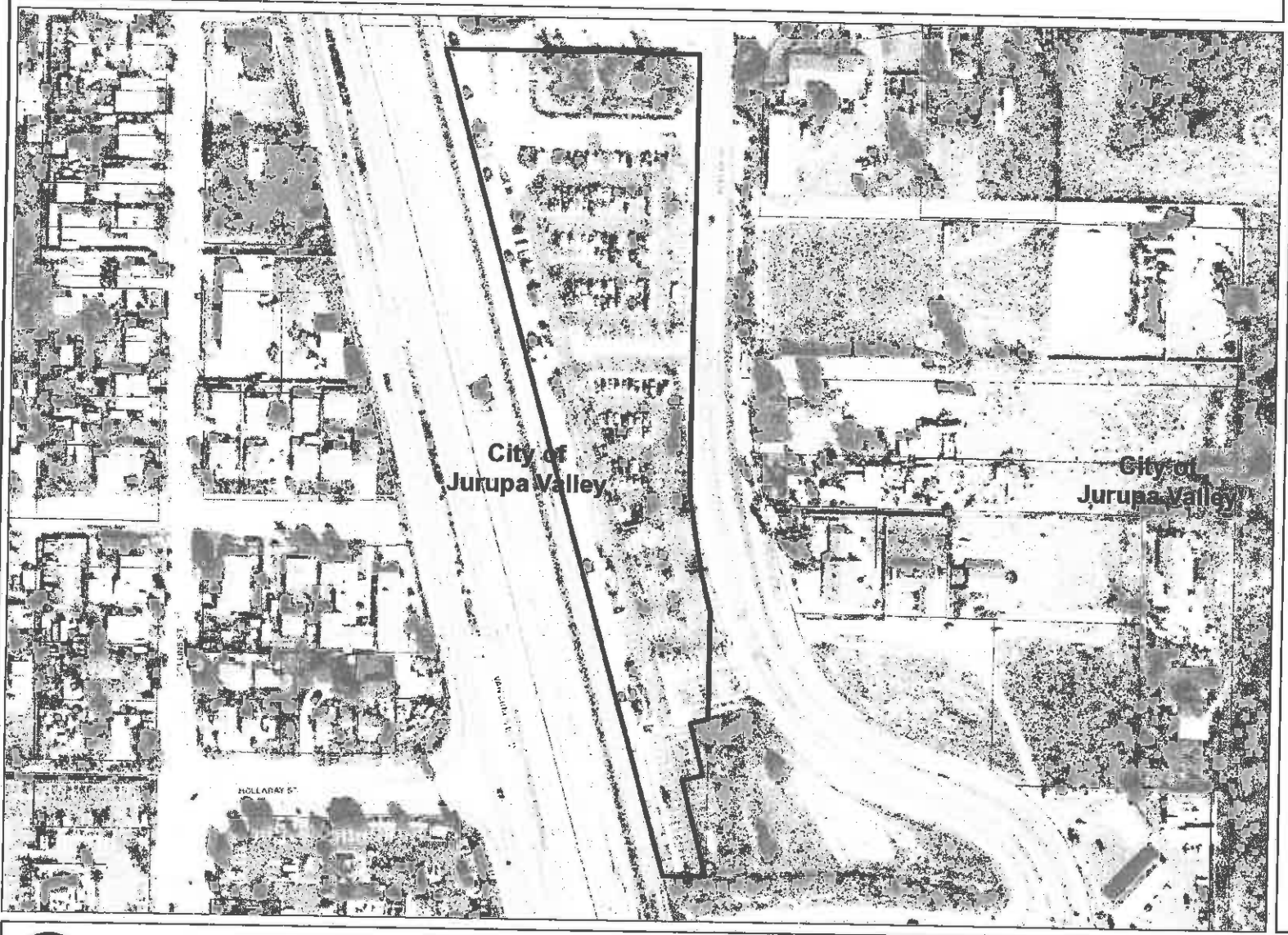
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- INTERCHANGE
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- Rivers



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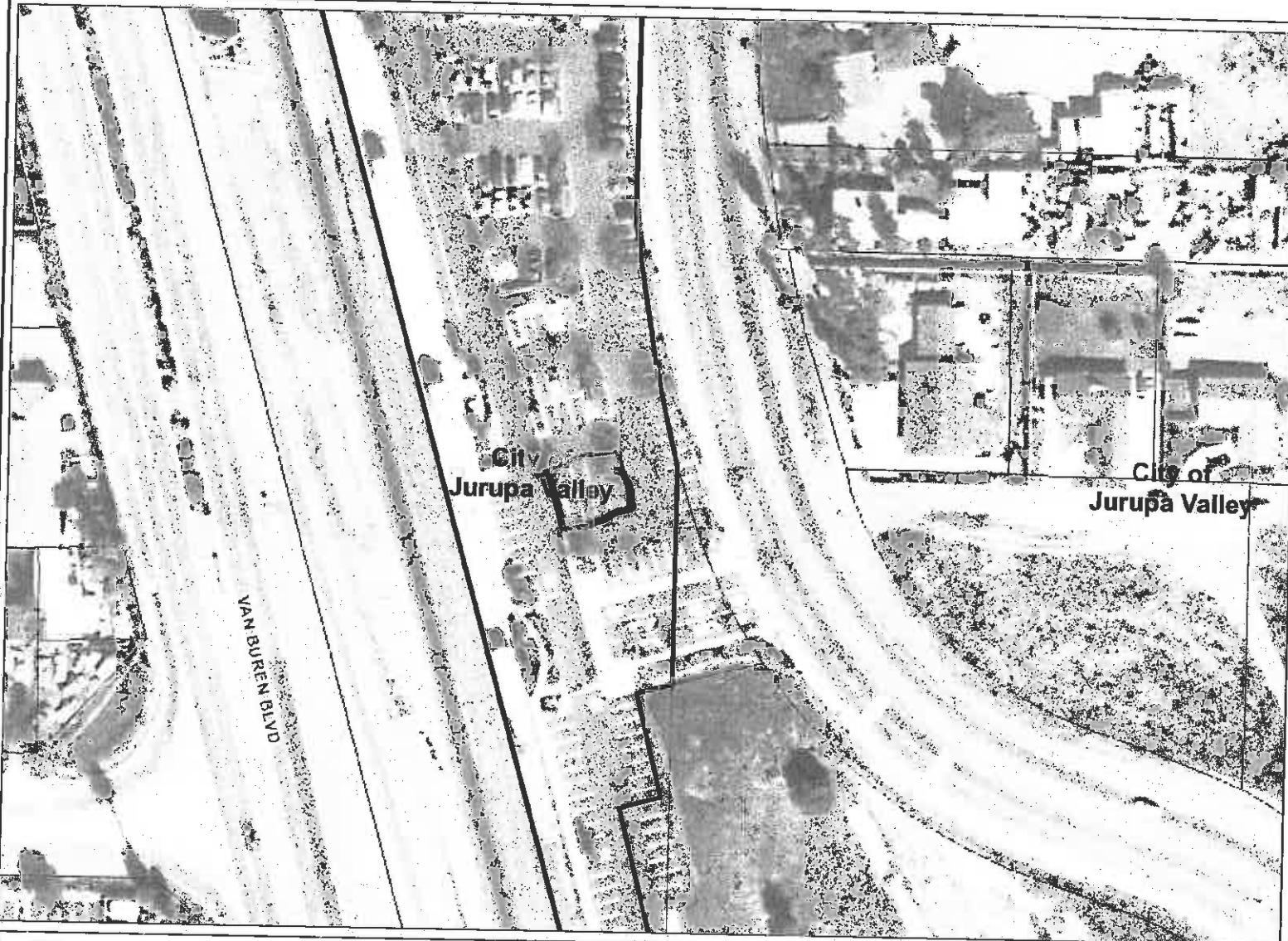
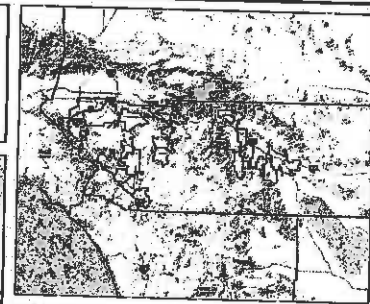
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Notes

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Legend

- Display Parcels
- City Boundaries
- Cities**
- roads**anno
- highways**
- HWY
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- USHWY
- counties
- cities
- hydrography**lines
- waterbodies**
- Lakes
- Rivers



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Notes

verizonwireless

BOUNTIFUL (MCE DESIGN)

A - RCTC
 APN: 165-165-005
 6001 PEDLEY RD
 JURUPA VALLEY, CA 92509

verizonwireless
 1600 SAND CANYON AVENUE
 BUILDING 17, 1ST FLOOR
 RIVERS, CA 92518

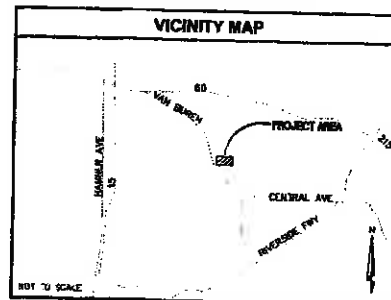
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATED TO VERIZON WIRELESS IS STRICTLY PROHIBITED.



1401 VIKING ARMAN AVE #100
 SUITE 300
 RIVERTON, CA 95127
 TEL: (925) 861-2202
 FAX: (925) 122-1225

PROJECT TEAM	
PLANNING	SMARTLINK, LLC 16001 15TH STREET, SUITE 200 RIVERS, CA 92518 CONTACT: JIM KOSMAN PHONE: (925) 861-2202 EMAIL: jim.kosman@smartlink.com
SITE ACQUISITION	SMARTLINK, LLC 16001 15TH STREET, SUITE 200 RIVERS, CA 92518 CONTACT: JIM KOSMAN PHONE: (925) 861-2202 EMAIL: jim.kosman@smartlink.com
PROFESSIONAL OF RECORD:	DAVID CONNELL, PE SMARTLINK ENGINEERING, LLP 2000 MARINO PARKWAY S LOS ANGELES, CA 90008 CONTACT: DAVID CONNELL PHONE: (310) 551-0000 EMAIL: david@smartlink.com
SURVEYOR:	ARMY CONSULTING 16001 15TH STREET, SUITE 200 RIVERS, CA 92518 CONTACT: JIM KOSMAN PHONE: (925) 861-2202

PROJECT SUMMARY	
APPLICANT/LESSEE	VERIZON WIRELESS 1600 SAND CANYON AVENUE BUILDING 17, 1ST FLOOR RIVERS, CA 92518 OFFICE: (925) 861-2202
LEGAL DESCRIPTION	SEE L&A FOR LEGAL DESCRIPTION ASSASSIN'S PARCEL NUMBER 165-165-005 COUNTY RIVERSIDE
APPLICANT'S REPRESENTATIVE	SMARTLINK, LLC 16001 15TH STREET, SUITE 200 RIVERS, CA 92518 CONTACT: JIM KOSMAN PHONE: (925) 861-2202 EMAIL: jim.kosman@smartlink.com
PROPERTY OWNER:	RIVERSIDE COUNTY TRANSPORTATION COMMISSION ADDRESS: 2000 GARDENWAY AVE, 2ND FLOOR RIVERSIDE, CA 92501 CONTACT: HEVY HENDRICKS PHONE: (951) 947-6000
PROPERTY INFORMATION	APPLICANT: BOUNTIFUL SITE NAME: 6001 PEDLEY RD SITE ADDRESS: JURUPA VALLEY, CA 92509
CONSTRUCTION INFORMATION	AREA OF CONSTRUCTION: 500 SQ. FT. CITY OF JURUPA VALLEY CURRENT ZONING: C-1 (COMMERCIAL, GENERAL) TYPE OF CONSTRUCTION: NEW CONSTRUCTION HANDICAP REQUIREMENTS: HANDICAP COMPLIANT AND NOT FOR HANDICAP COMPLIANT ACCESS NOT REQUIRED.



DRIVING DIRECTIONS

START: RIVERSIDE WIRELESS OFFICE, RIVERS, CA
 TURN RIGHT ON TOWARD SAND CANYON AVE PATHWAY SAND CANYON TRAIL
 TURN LEFT ON SAND CANYON AVE
 TURN RIGHT ONTO RIVER BLVD.
 TURN RIGHT ONTO CA-20 N (TOLL ROAD)
 TURN LEFT ONTO CA-153 (TOLL ROAD)
 TURN RIGHT AT THE FOURTH LIGHT ON CA-153 N
 TURN RIGHT ONTO CA-151 N (TOLL ROAD)
 TURN THE RIGHT ONTO CA-151 N TOWARD RIVERSIDE PARTIAL TOLL ROAD
 TAKE THE RIGHT AT THE FOURTH LIGHT TOWARD GARDENWAY
 CONTINUE ONTO CA-151 N
 TAKE THE ON-RAMP ONTO AVE 200 TOWARD BENTFIELD PARKWAY
 KEEP RIGHT AT THE FOURTH LIGHT TOWARD SAND CANYON AVE AND MAKE RIGHT ONTO CA-20 N
 ONTO AVE
 TURN LEFT ONTO CA-20 N (TOLL ROAD)
 TURN RIGHT ONTO PINE AVE
 CONTINUE ONTO SAND CANYON AVE
 TURN LEFT ONTO SAND CANYON AVE
 TURN RIGHT ONTO BOUNTIFUL AVE
 TURN LEFT ONTO BOUNTIFUL RD
 ON AT 6001 PEDLEY RD, JURUPA VALLEY, CA 92509 ON THE LEFT

PROJECT DESCRIPTION

CONSTRUCTION OF AN UNBARRICADED CELL SITE FOR WIRELESS SERVICE. THE PROJECT WILL CONSIST OF (1) 10' x 10' CELL SITE (WITH 10' x 10' PANEL ANTENNAS), (2) 10' x 10' CELL SITE, (3) WIRELESS SERVICE, (4) PARALLEL WIRELESS SERVICE, (5) CELL SITE, (6) CELL SITE, (7) CELL SITE, (8) CELL SITE, (9) CELL SITE, (10) CELL SITE. THE PROJECT WILL INCLUDE THE CONSTRUCTION OF A 10' x 10' CELL SITE, (11) CELL SITE, (12) CELL SITE, (13) CELL SITE, (14) CELL SITE, (15) CELL SITE, (16) CELL SITE, (17) CELL SITE, (18) CELL SITE, (19) CELL SITE, (20) CELL SITE.

SHEET	DESCRIPTION
0-1	TITLE SHEET
0-1	ITE SURVEY
0-1	OVERALL SITE PLAN
0-1	UNLANNED AREA PLAN
0-1	EQUIPMENT AND ANTENNA LAYOUT PLAN
0-1	NOISE & SOUND ELEVATIONS
0-1	EXIST & NEW ELEVATIONS
0-1	CONCEPTUAL LANDSCAPE PLAN

SIGNATURE BLOCK		
DATE:	SIGNATURE:	DATE:
DATE:	SIGNATURE:	DATE:
DATE:	SIGNATURE:	DATE:
DATE:	SIGNATURE:	DATE:
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DATE:	SIGNATURE:	DATE:
DATE:	SIGNATURE:	DATE:

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT JURISDICTION, UNLESS OTHERWISE SPECIFIED IN THESE PLANS OR UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS TO THE LATEST EDITIONS OF THE FOLLOWING CODES:

1. 2006 CALIFORNIA BUILDING CODE - STRUCTURAL PART 2
2. 2006 CALIFORNIA ELECTRICAL CODE - TITULAR PART 2
3. 2006 CALIFORNIA FIRE CODE - TITULAR PART 2
4. 2006 CALIFORNIA MECHANICAL CODE - TITULAR PART 2
5. 2006 CALIFORNIA PLUMBING CODE - TITULAR PART 2
6. 2006 CALIFORNIA ENERGY CODE - TITULAR PART 2
7. 2006 CALIFORNIA GREEN BUILDING CODE - TITULAR PART 2
8. 2006 CALIFORNIA PLUMBING CODE - TITULAR PART 2

PROJECT INFORMATION:
BOUNTIFUL
 6001 PEDLEY RD
 JURUPA VALLEY, CA 92509
 RIVERSIDE COUNTY

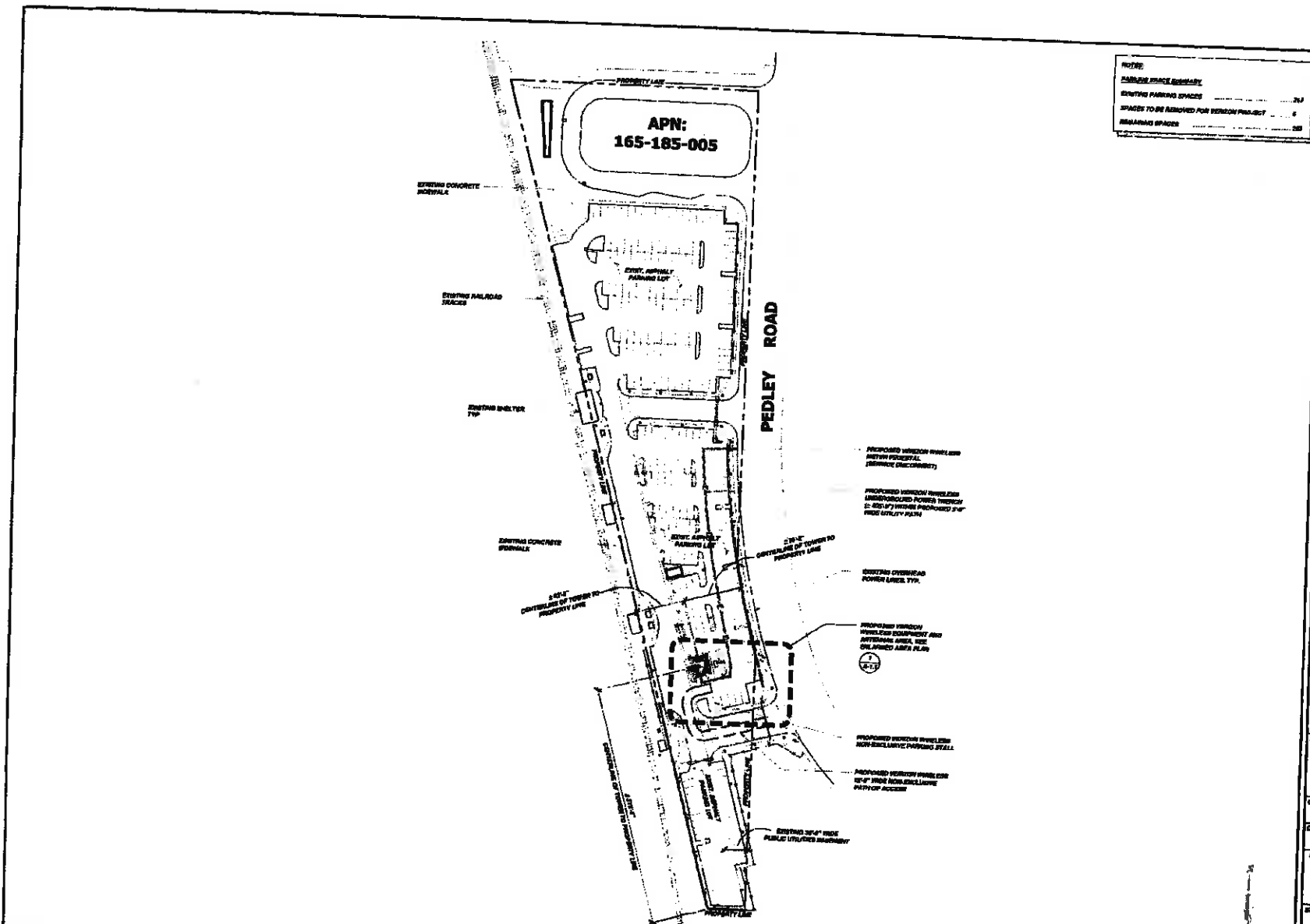
CONTRACT NAME:
A - RCTC

DRAWN BY: TW **CHECKED BY:** DC

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1

ZONING DRAWINGS - NOT FOR CONSTRUCTION



NOTE:

PARKING SPACE RESERVES	204
EXISTING PARKING SPACES	204
SPACES TO BE REMOVED FOR VERIZON PROJECT	0
REMARKS SPACES	204

verizon wireless
 15505 SAND CANYON AVENUE
 BUILDING 7, 1ST FLOOR
 IRVINE, CA 92614

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PRELIMINARY & SUBJECT TO VERIZON WIRELESS' CONFIDENTIALITY & PROPRIETARY RIGHTS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS EXPRESSLY PROHIBITED.

smartlink

16401 VAN KAMMEN AVENUE
 SUITE 300
 IRVINE, CA 92614
 TEL: 949-461-2511
 FAX: 949-461-1277

REV.	DATE	REVISION DESCRIPTION
1	07-24-12	10% ZONING DRAWINGS
1	08-08-12	100% ZONING DRAWINGS
0	04-19-12	80% ZONING DRA. REVISION

PROJECT INFORMATION:
BOUNTIFUL
 6001 PEDLEY RD
 JURUPA VALLEY, CA 92509
 RIVERSIDE COUNTY

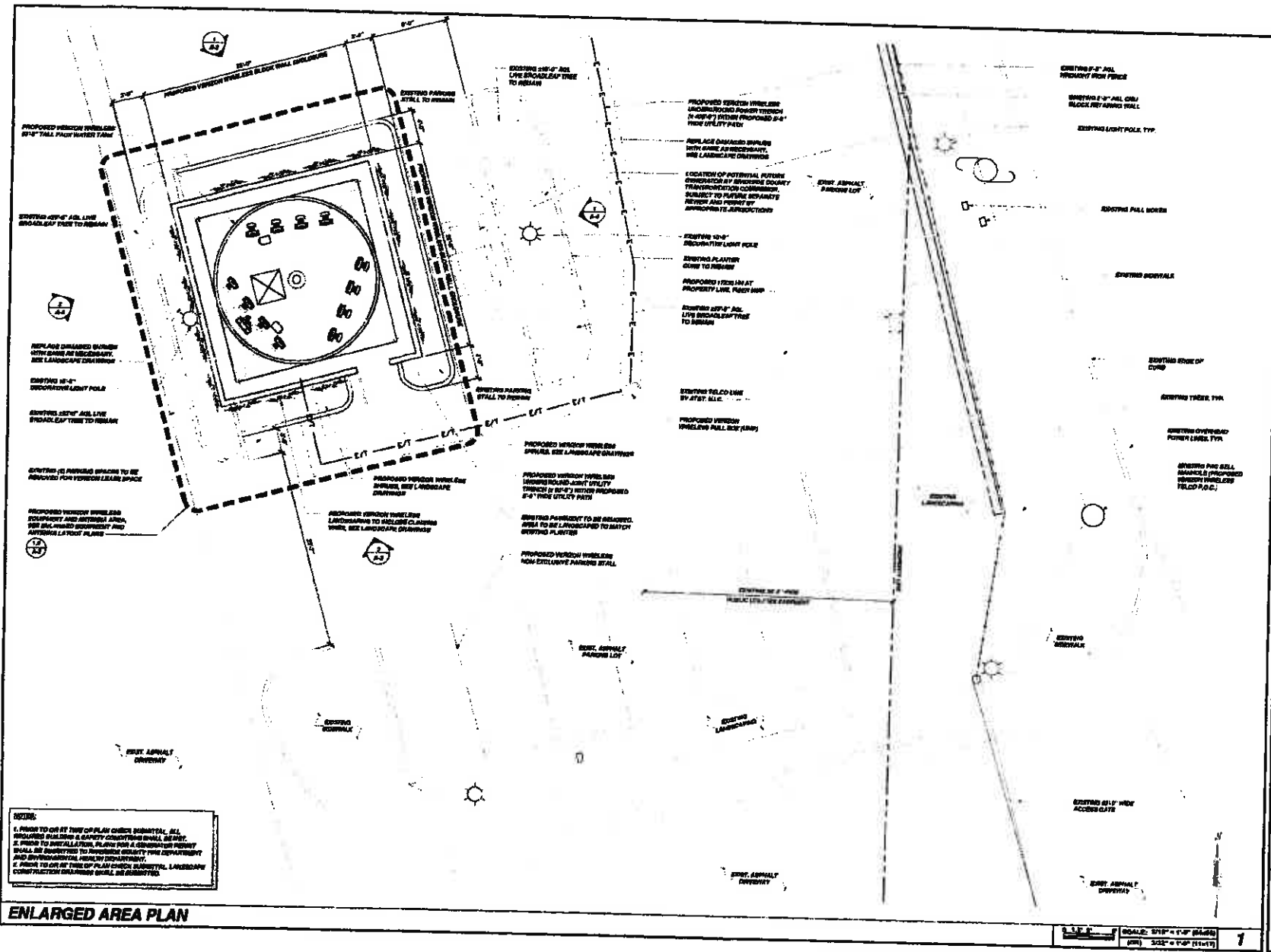
CONTRACTOR NAME:
A - RCTC

DRAWN BY: TW CHECKED BY: DG

SHEET TITLE:
OVERALL SITE PLAN

SHEET NUMBER:
A-1

OVERALL SITE PLAN



NOTES:

1. PRIOR TO SET OF THIS PLAN CHECK SUBMITTAL. ALL REQUIRED PERMITS & SAFETY CONDITIONS SHALL BE MET.
2. PRIOR TO INSTALLATION, PLANS FOR A CONCRETE PAD SHALL BE SUBMITTED TO THE PUBLIC UTILITY DEPARTMENT AND ENVIRONMENTAL HEALTH DEPARTMENT.
3. PRIOR TO SET OF THIS PLAN CHECK SUBMITTAL. LANDSCAPE CONSTRUCTION SHALL BE SUBMITTED.

ENLARGED AREA PLAN

SCALE: 1/8" = 1'-0" (AS SHOWN)
 (SEE SHEET A-1.1 FOR DETAILS)

verizon wireless
 1595 SAND CANYON AVENUE
 BUILDING 10, 1ST FLOOR
 IRVINE, CA 92614

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PRELIMINARY & SUBJECT TO VERIFICATION BY THE USER OF THE DRAWINGS. OTHER THAN ANY RELATES TO VERIFICATION OF PROBLEMS IN STRICTLY PROPRIETARY.

smartlink
 1891 VIKING HARBOR AVENUE
 SUITE 100
 IRVINE, CA 92614
 TEL: (949) 861-1211
 FAX: (949) 861-1215

NO.	DATE	REVISION DESCRIPTION
1	02/25/10	10% DESIGN DEVELOPMENT
2	03/25/10	10% DESIGN DEVELOPMENT
3	04/25/10	10% DESIGN DEVELOPMENT
4	05/25/10	10% DESIGN DEVELOPMENT
5	06/25/10	10% DESIGN DEVELOPMENT
6	07/25/10	10% DESIGN DEVELOPMENT
7	08/25/10	10% DESIGN DEVELOPMENT
8	09/25/10	10% DESIGN DEVELOPMENT
9	10/25/10	10% DESIGN DEVELOPMENT
10	11/25/10	10% DESIGN DEVELOPMENT
11	12/25/10	10% DESIGN DEVELOPMENT
12	01/25/11	10% DESIGN DEVELOPMENT
13	02/25/11	10% DESIGN DEVELOPMENT
14	03/25/11	10% DESIGN DEVELOPMENT
15	04/25/11	10% DESIGN DEVELOPMENT
16	05/25/11	10% DESIGN DEVELOPMENT
17	06/25/11	10% DESIGN DEVELOPMENT
18	07/25/11	10% DESIGN DEVELOPMENT
19	08/25/11	10% DESIGN DEVELOPMENT
20	09/25/11	10% DESIGN DEVELOPMENT
21	10/25/11	10% DESIGN DEVELOPMENT
22	11/25/11	10% DESIGN DEVELOPMENT
23	12/25/11	10% DESIGN DEVELOPMENT
24	01/25/12	10% DESIGN DEVELOPMENT
25	02/25/12	10% DESIGN DEVELOPMENT
26	03/25/12	10% DESIGN DEVELOPMENT
27	04/25/12	10% DESIGN DEVELOPMENT
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96	01/25/18	10% DESIGN DEVELOPMENT
97	02/25/18	10% DESIGN DEVELOPMENT
98	03/25/18	10% DESIGN DEVELOPMENT
99	04/25/18	10% DESIGN DEVELOPMENT
100	05/25/18	10% DESIGN DEVELOPMENT

PROJECT INFORMATION:
BOUNTIFUL
 8001 PEDLEY RD
 JURUPA VALLEY, CA 92508
 RIVERSIDE COUNTY

CLIENT NAME:
A - RCTC

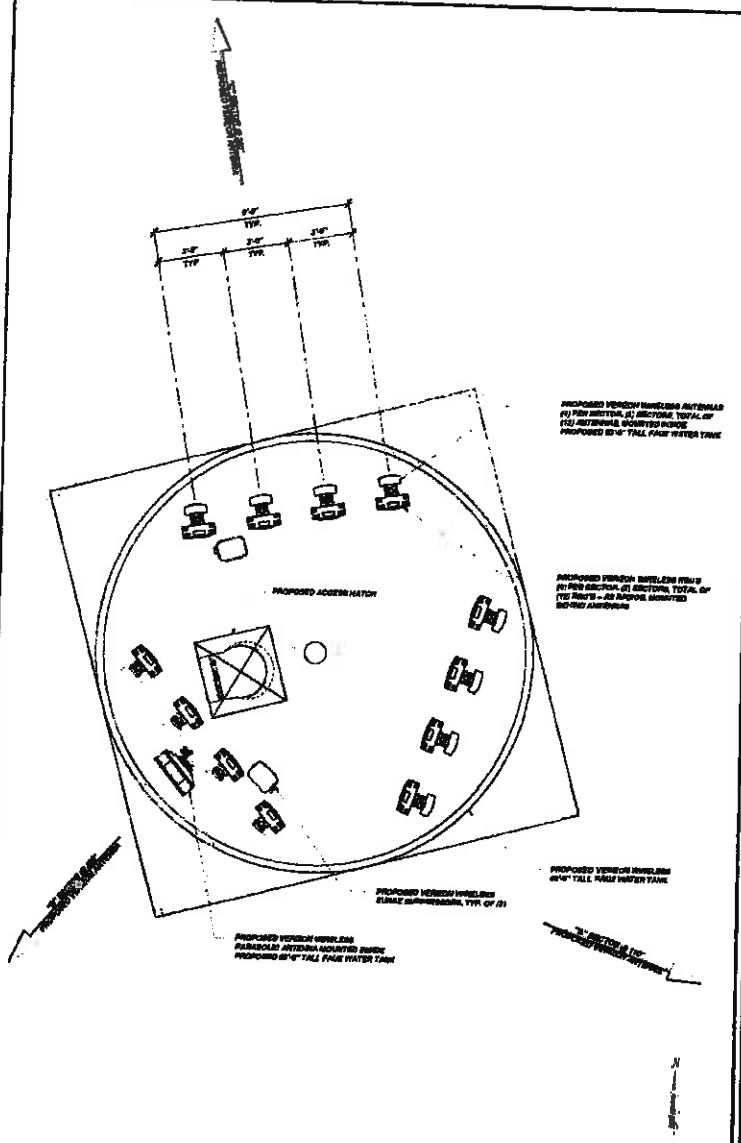
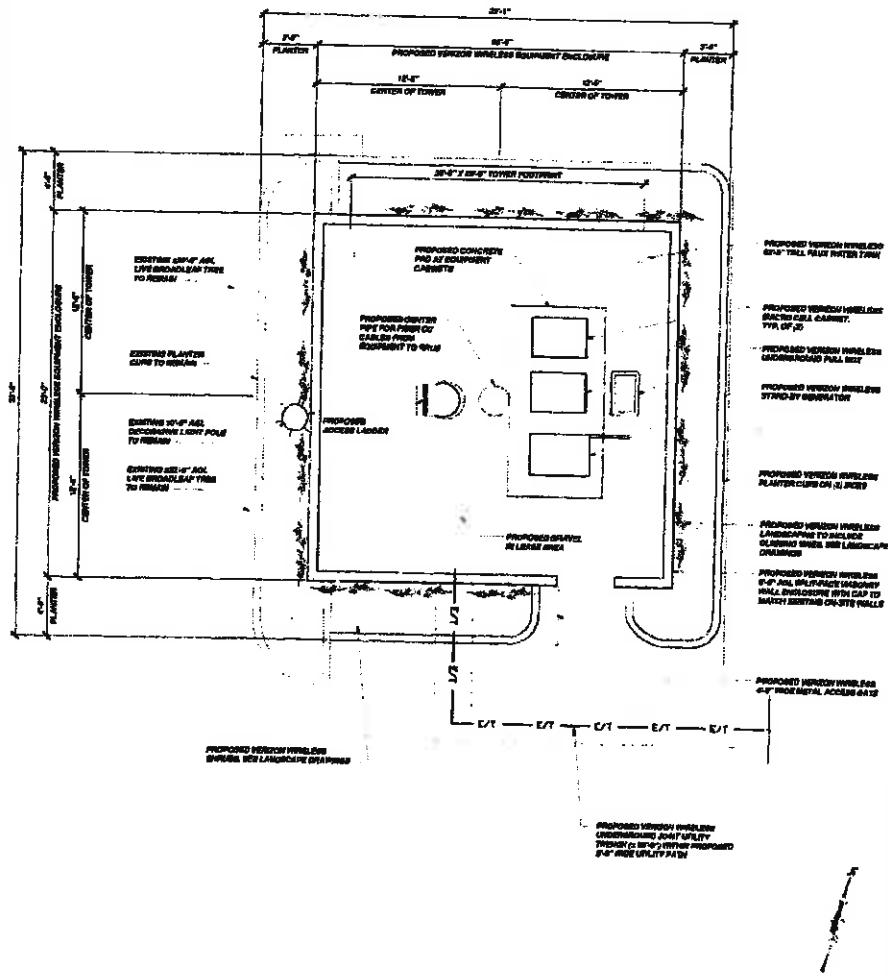
DRAWN BY: TW | CHECKED BY: DC

DATE: 08/25/14

PROJECT TITLE:
ENLARGED AREA PLAN

SHEET NUMBER:
A-1.1

NOTES:
 1. PRIOR TO OR AT TIME OF PLAN CHECK SUBMITTAL, ALL ASSUMED BUILDING & SAFETY CONDITIONS SHALL BE NOTED.
 2. PRIOR TO INSTALLATION, PLANS FOR A COORDINATION REVIEW SHALL BE SUBMITTED TO RIVERSIDE COUNTY FIRE DEPARTMENT AND ENVIRONMENTAL HEALTH DEPARTMENT.
 3. PRIOR TO OR AT TIME OF PLAN CHECK SUBMITTAL, LANDSCAPE CONSTRUCTION DRAWINGS SHALL BE SUBMITTED.



ENLARGED EQUIPMENT LAYOUT PLAN

SCALE: 1/8" = 1'-0" (AS SHOWN)
 (OR) 1/4" = 1'-0" (1:48)

1

ENLARGED ANTENNA LAYOUT PLAN

SCALE: 3/8" = 1'-0" (AS SHOWN)
 (OR) 3/16" = 1'-0" (1:24)

2

verizonwireless
 1885 BARD CANYON AVENUE
 BUILDING D, 1ST FLOOR
 IRVINE, CA 92614

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS EXPRESSLY PROHIBITED.

smartlink

15 001 VA PLAZA (RAN) ACCT FILE
 SHEET 200
 PROJECT: SA 92412
 TEL: 449.263.7011
 FAX: 449.263.1275

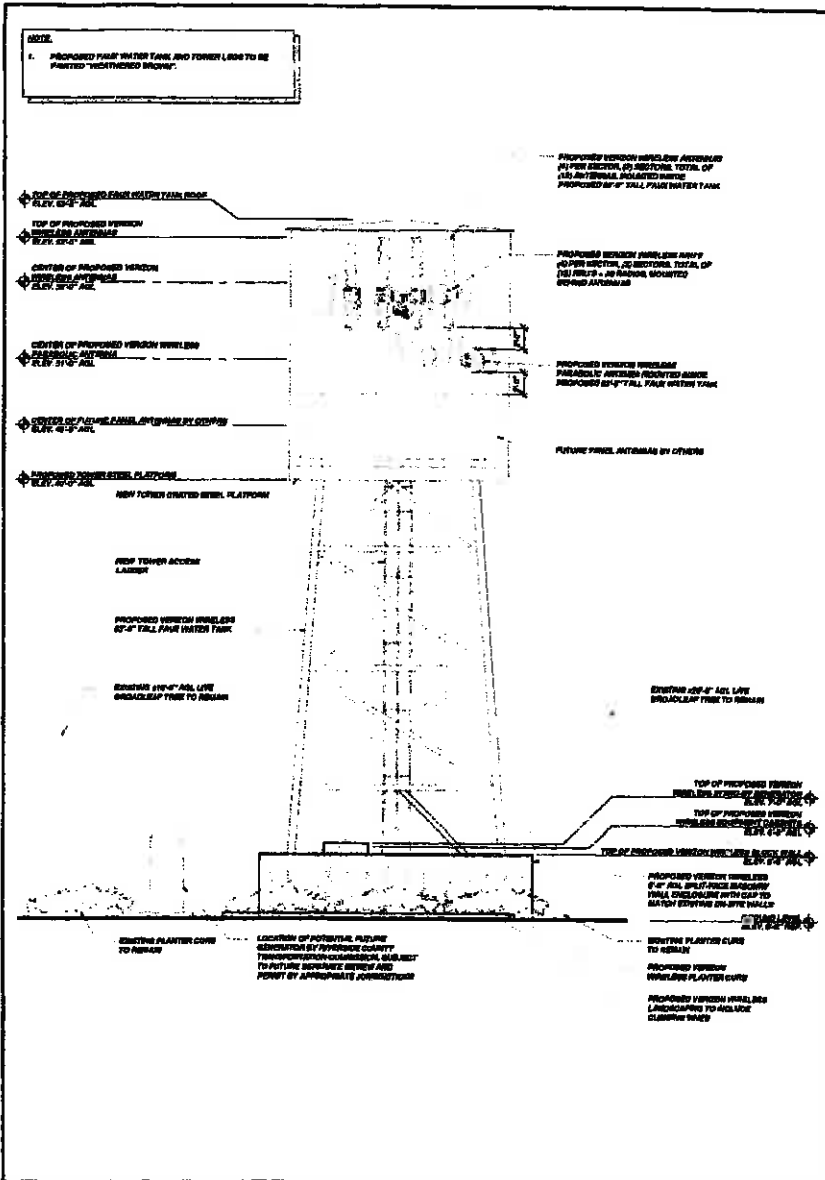
REV.	DATE	REVISION DESCRIPTION
1	07-20-18	10% DESIGN DEVELOPMENT
2	08-29-18	10% DESIGN DEVELOPMENT
3	09-14-18	20% DESIGN DEVELOPMENT

PROJECT INFORMATION:
BOUNTIFUL
 6001 PEDLEY RD
 JURUPA VALLEY, CA 92509
 RIVERSIDE COUNTY

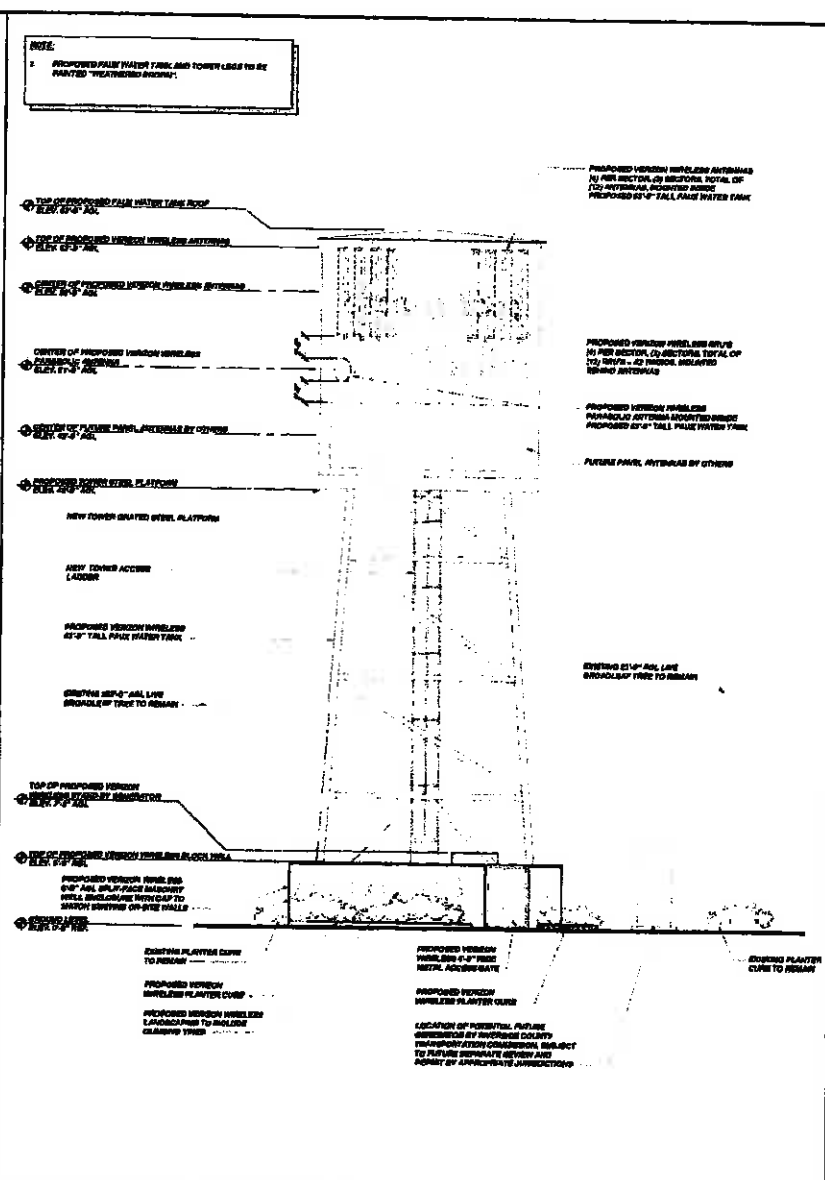
DATE: A - RCTC
 DRAWN BY: TW CHECKED BY: DC

TITLE: ENLARGED EQUIPMENT AND ANTENNA LAYOUT PLANS

A-2



NORTH ELEVATION



SOUTH ELEVATION

verizonwireless
 15000 SAND CANYON AVENUE
 BUILDING 10, 1ST FLOOR
 IRVINE, CA 92618

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN ASY ALLOWED TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

smartlink

18001 YU KARMAN AVENUE
 SUITE 401
 IRVINE, CA 92617
 TEL: 949 813 2201
 FAX: 949 382 1125

REV	DATE	REVISION DESCRIPTION
2	07-26-14	10% ZONING CLEARANCE
1	08-07-14	10% ZONING CLEARANCE
0	05-15-14	80% ZONING CLEARANCE

PROJECT INFORMATION:
BOUNTIFUL
 6001 PEDLEY RD
 JURUPA VALLEY, CA 92508
 RIVERSIDE COUNTY

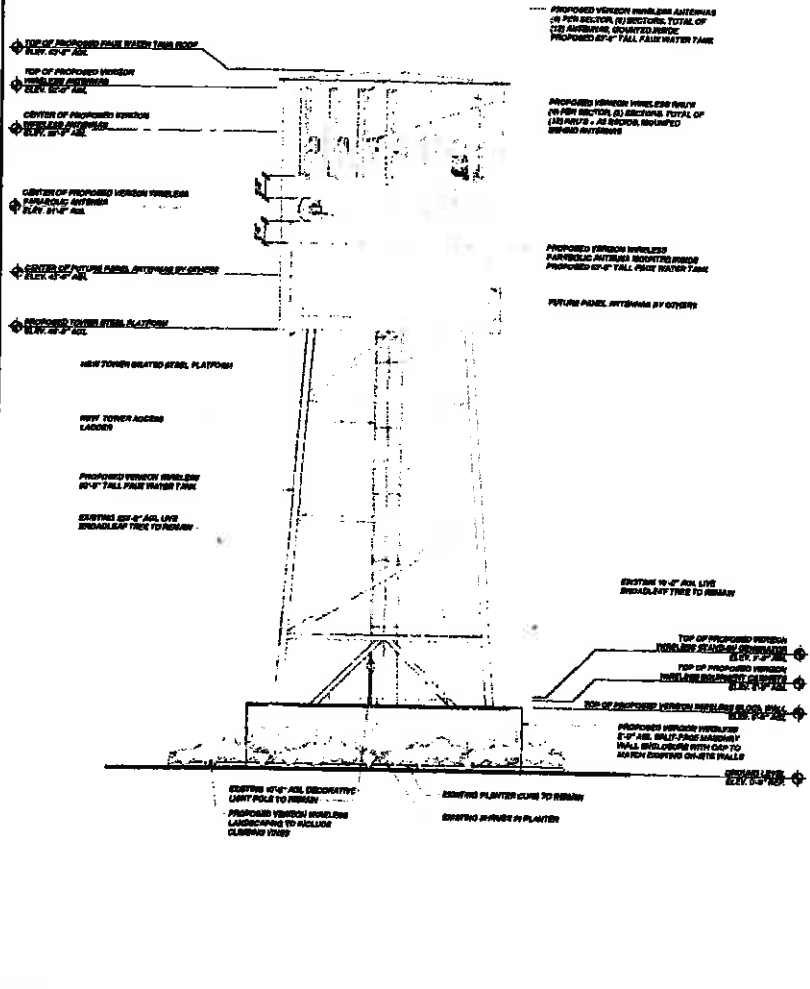
DESIGNED BY: **TW** / **DC**
 CHECKED BY:
NORTH & SOUTH ELEVATIONS

A-3

SCALE: 3/8" = 1'-0" (AS SHOWN)
 (OR) 3/32" = 1'-0" (IF NOT SHOWN)

SCALE: 3/8" = 1'-0" (AS SHOWN)
 (OR) 3/32" = 1'-0" (IF NOT SHOWN)

NOTE:
1. PROPOSED FAULT WATER TANK AND TOWER LEGS TO BE PAINTED "WEATHERED BROWN".



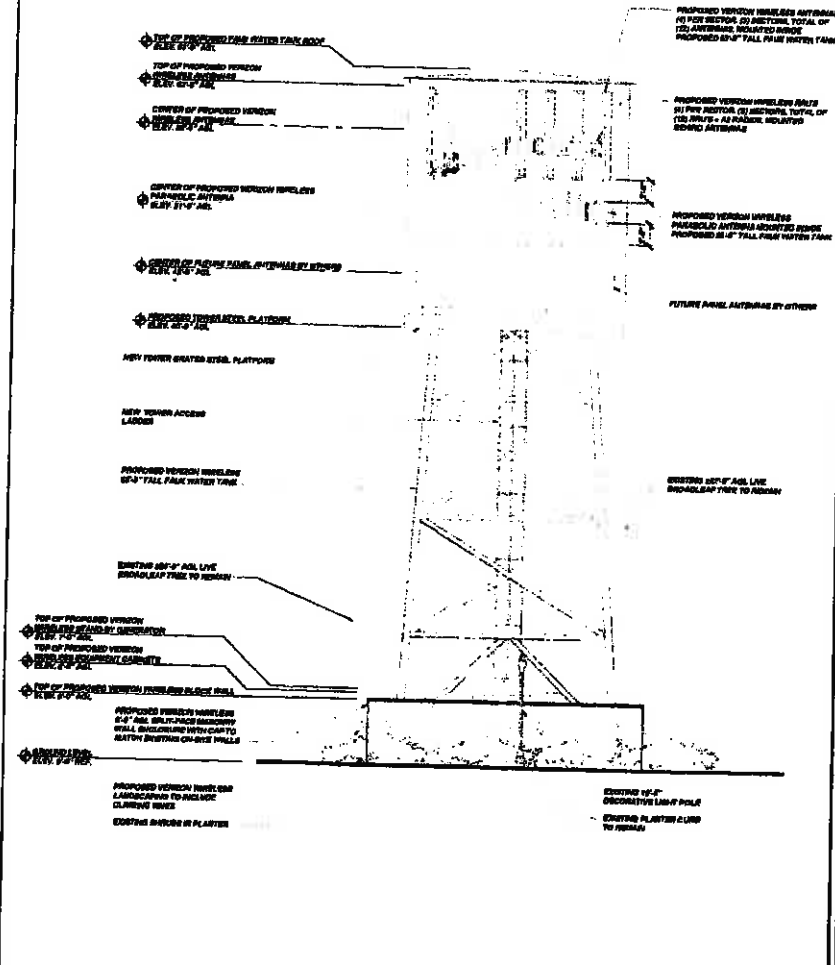
EAST ELEVATION

SCALE: 3/8" = 1'-0" (AS SHOWN)
(OR) 3/8" = 1'-0" (1:120)

1

WEST ELEVATION

NOTE:
1. PROPOSED FAULT WATER TANK AND TOWER LEGS TO BE PAINTED "WEATHERED BROWN".



WEST ELEVATION

SCALE: 3/8" = 1'-0" (AS SHOWN)
(OR) 3/8" = 1'-0" (1:120)

2

verizonwireless
1800 SAND CANYON AVENUE
BUILDING 27, 1ST FLOOR
IRVINE, CA 92618

THE INFORMATION CONTAINED ON THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO VERIZON WIRELESS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

smartlink

1801 VAN SARDAN AVENUE
SUITE 200
IRVINE, CA 92614
TEL: 949.362.0201
FAX: 949.367.1274

#	DATE	DESCRIPTION
1	07-26-09	100% DESIGN DRAWINGS
2	08-03-09	90% DESIGN DRAWINGS
3	08-17-09	80% DESIGN DRAWINGS
REV	DATE	REVISION DESCRIPTION

PROJECT INFORMATION:
BOUNTIFUL
6001 PEDLEY RD
JURUPA VALLEY, CA 92508
RIVERSIDE COUNTY

CANDIDATE NAME:
A - RCTC

DRAWN BY: **TH** CHECKED BY: **DC**

SHEET TITLE:
EAST & WEST ELEVATIONS

SHEET NUMBER:
A-4

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Steve Manos
Lake Elsinore

Russell Betts
Desert Hot Springs

STAFF

Director
Ed Cooper

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

August 26, 2016

Mr. Sean Kelleher, Project Planner
City of Riverside Community and Economic Development Department/Planning Division
3900 Main Street, Third Floor
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1208MA16
Related File Nos.: P14-0225 (Conditional Use Permit), P14-0227 (Design Review)
APNs: 223-210-019 through 223-210-022

Dear Mr. Kelleher:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case Nos. P14-0225 (Conditional Use Permit) and P14-0227 (Design Review), which propose a 117-unit, three-story senior apartment complex on 3.75 acres, located northerly of Dominion Avenue (which is proposed to be vacated), westerly of Division Street, and easterly of McMahon Street, in the area northerly of Arlington Avenue and easterly of Highway 91.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

The elevation of the site is more than 500 feet lower than the elevation of March's Runway 14-32 at its northerly terminus (approximately 1,535 feet above mean sea level), but the site is located less than 20,000 feet from the runways at Riverside Municipal Airport and Flabob Airport. While the site is closer to the easterly terminus of Runway 9-27 at Riverside Municipal Airport (15,580 feet) than to the southerly terminus of Runway 16-34 (19,700 feet), the elevation of Runway 16-34 (747.5 feet above mean sea level [AMSL]) is considerably lower than the elevation of Runway 9-27 (815.8 feet AMSL). Therefore, Runway 16-34 is the critical runway in this situation. At a distance of 19,700 feet, any structure with a top point elevation exceeding 944 feet AMSL would require Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review through the Form 7460-1 process. The site's finished floor elevation is 901 feet AMSL, and the tallest building height is 42 feet, resulting in a maximum top point elevation of 943 feet AMSL. Therefore, FAA OES review was not required for height/elevation reasons.

AIRPORT LAND USE COMMISSION

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The landowner shall provide the attached notice to all potential purchasers of the property and to tenants/lessees of the building(s) thereon.
4. The maximum height of the proposed structure shall not exceed 42 feet above ground level and the maximum elevation of the proposed structures shall not exceed 943 feet above mean sea level. If the 943 feet above mean sea level threshold is exceeded, the applicant shall submit an application to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES) for review and approval.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

AIRPORT LAND USE COMMISSION

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

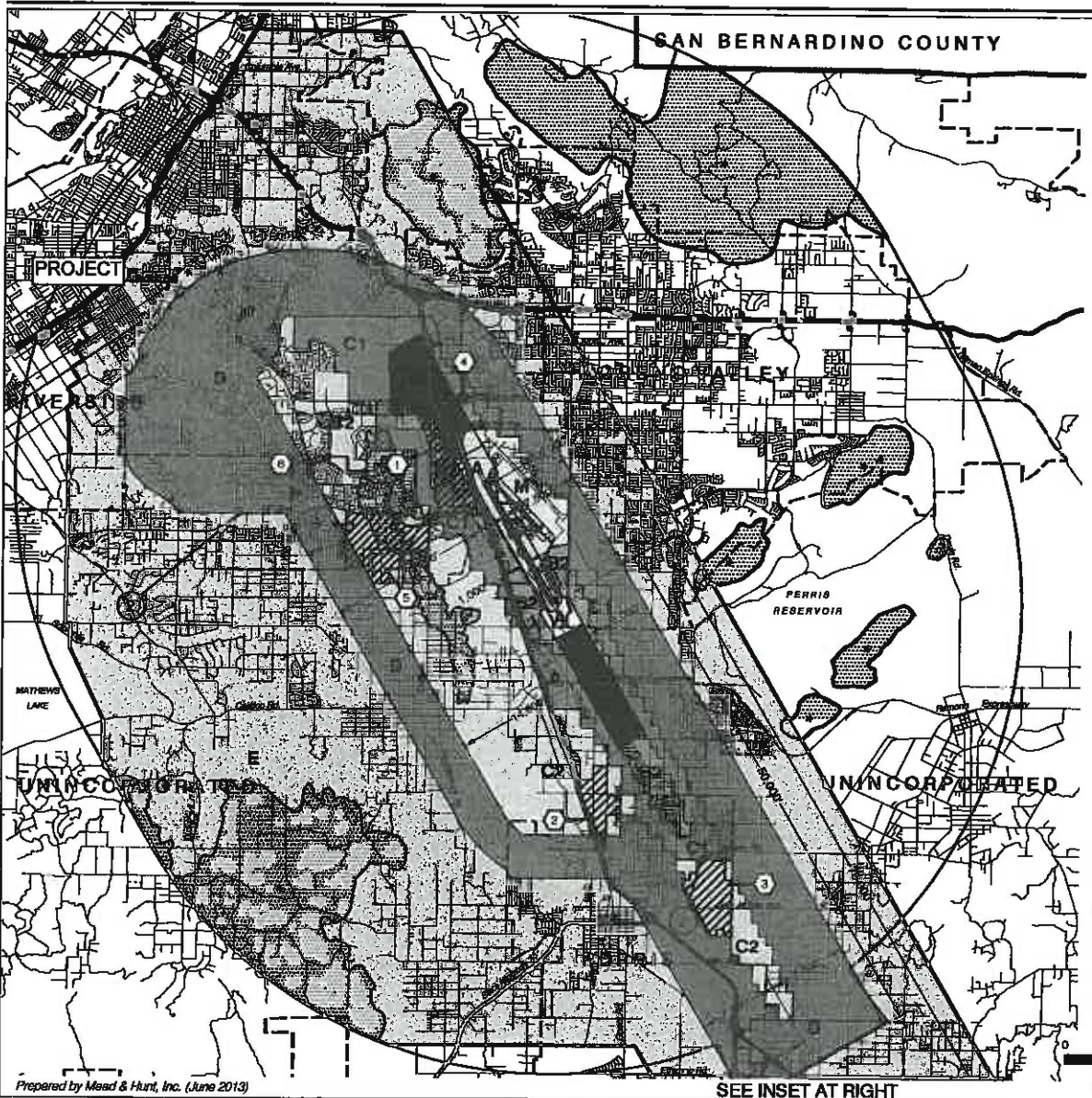
Attachments: Notice of Airport in Vicinity

cc: Rock Pointe Homes, LLC, Alkesh Patel (applicant/property owner/payee)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Denise Hauser, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1208MA16\ZAP1208MA16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- - - City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.

② Point at which departing aircraft typically reach 3,000 feet above runway end.

① March JPA: March Business Center/Meridian

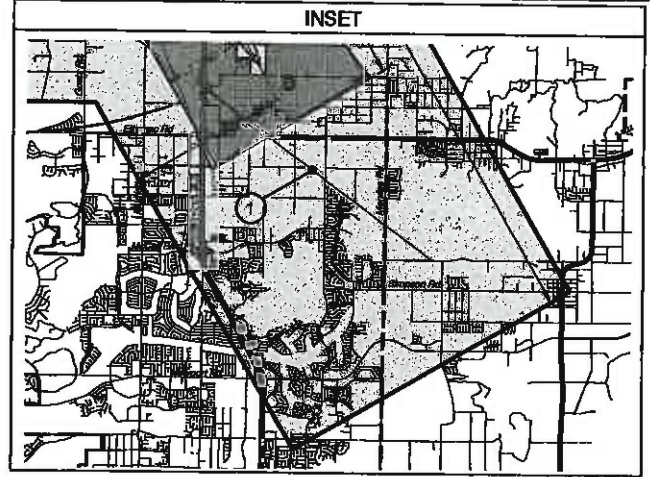
② Perris: Harvest Landing

③ Perris: Park West

④ Moreno Valley: Affordable Housing

⑤ March JPA: Ben Clark Training Center

⑥ Riverside: Ridge Crest Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from
 runway ends and centerlines.



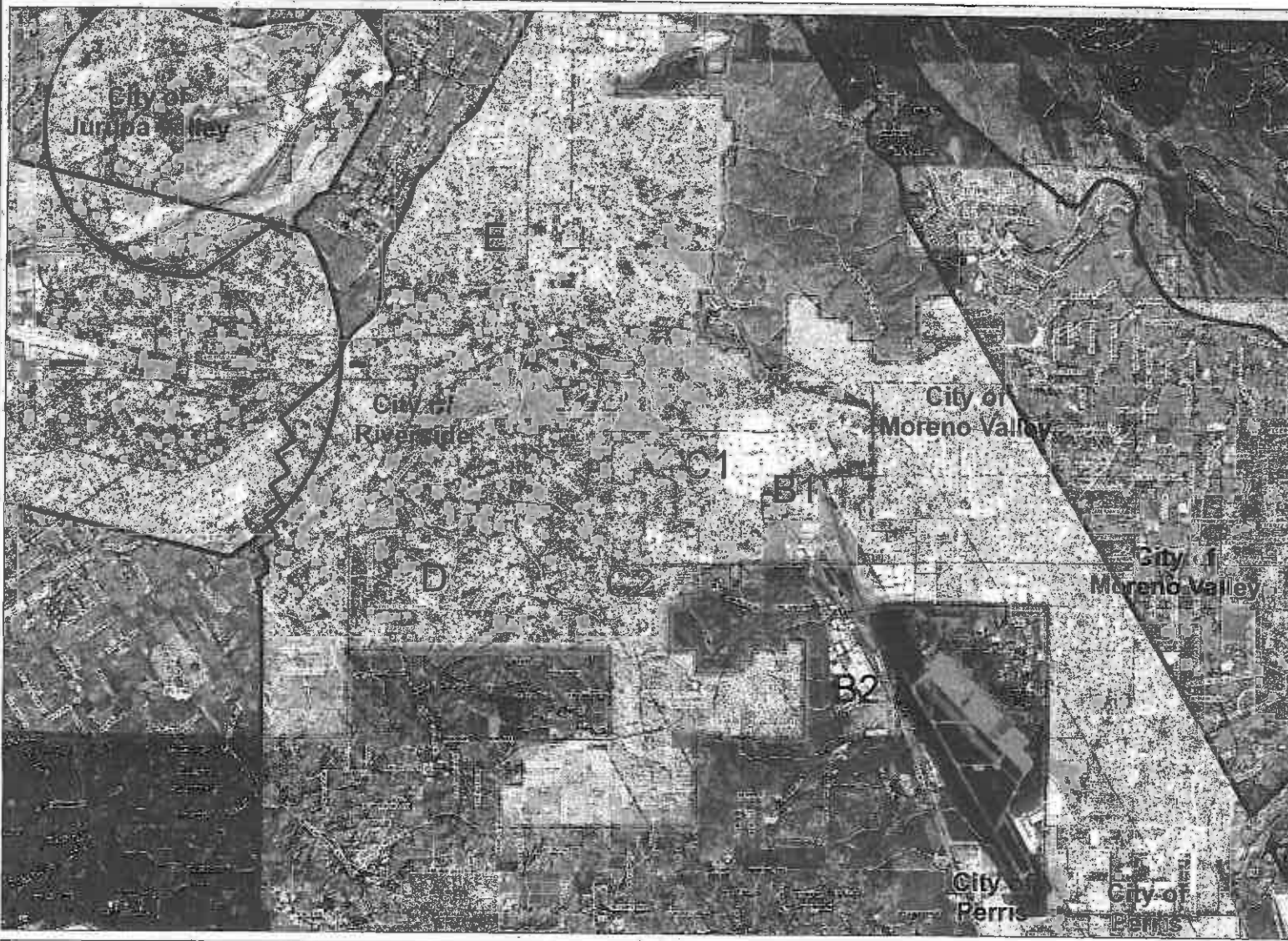
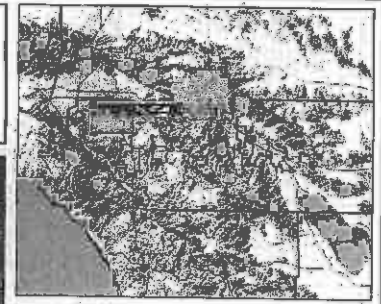
Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



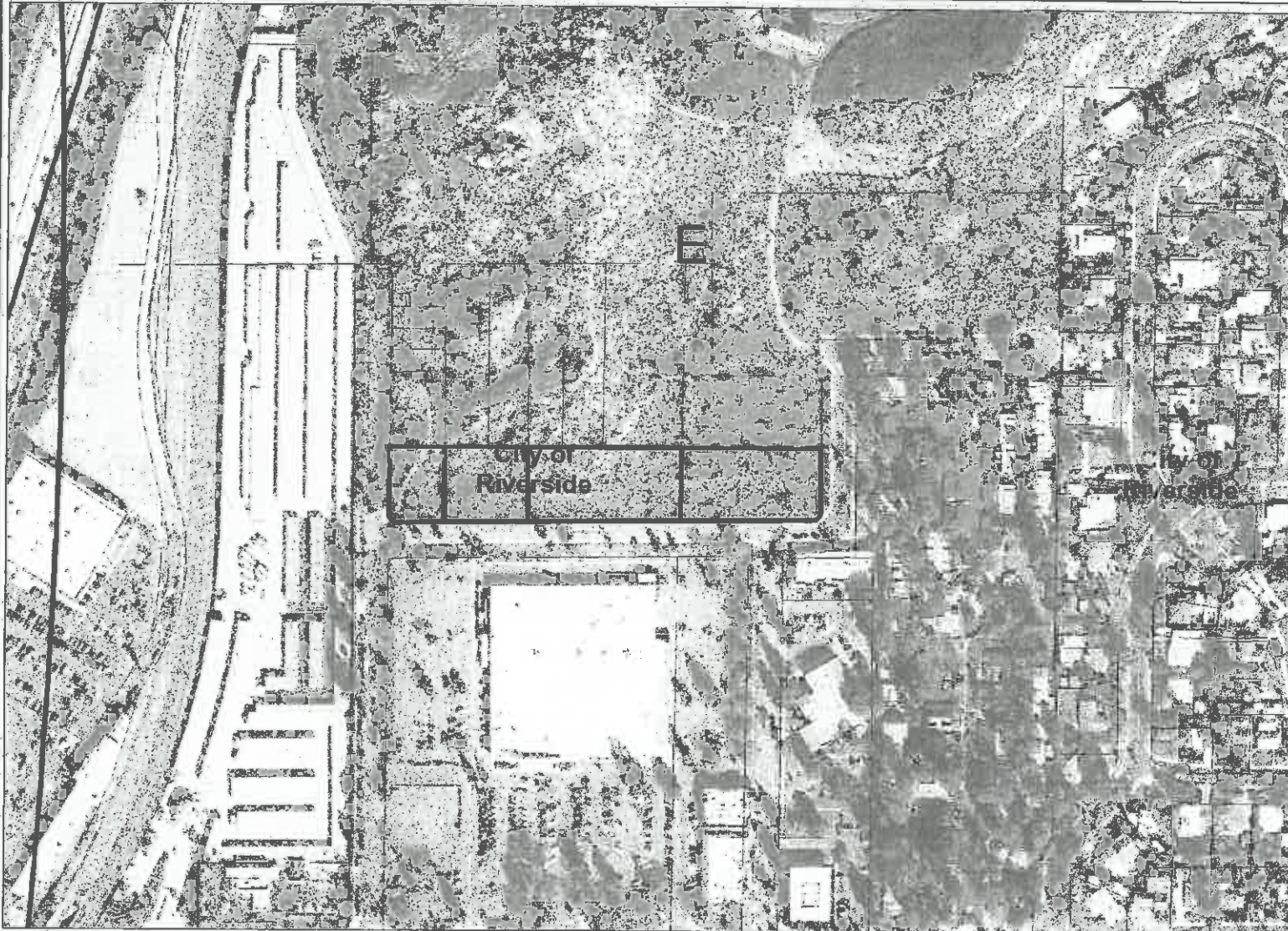
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



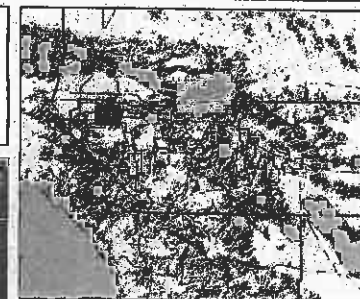
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Notes

My Map



Legend

-  City Boundaries
- Cities
- highways_large
 -  HWY
 -  INTERCHANGE
 -  INTERSTATE
 -  USHWY
-  majorroads
-  counties
-  cities
- hydrographylines
- waterbodies
 -  Lakes
 -  Rivers



0 5,631 11,261 Feet



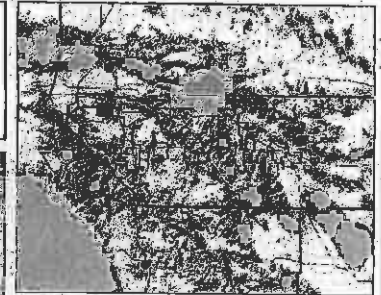
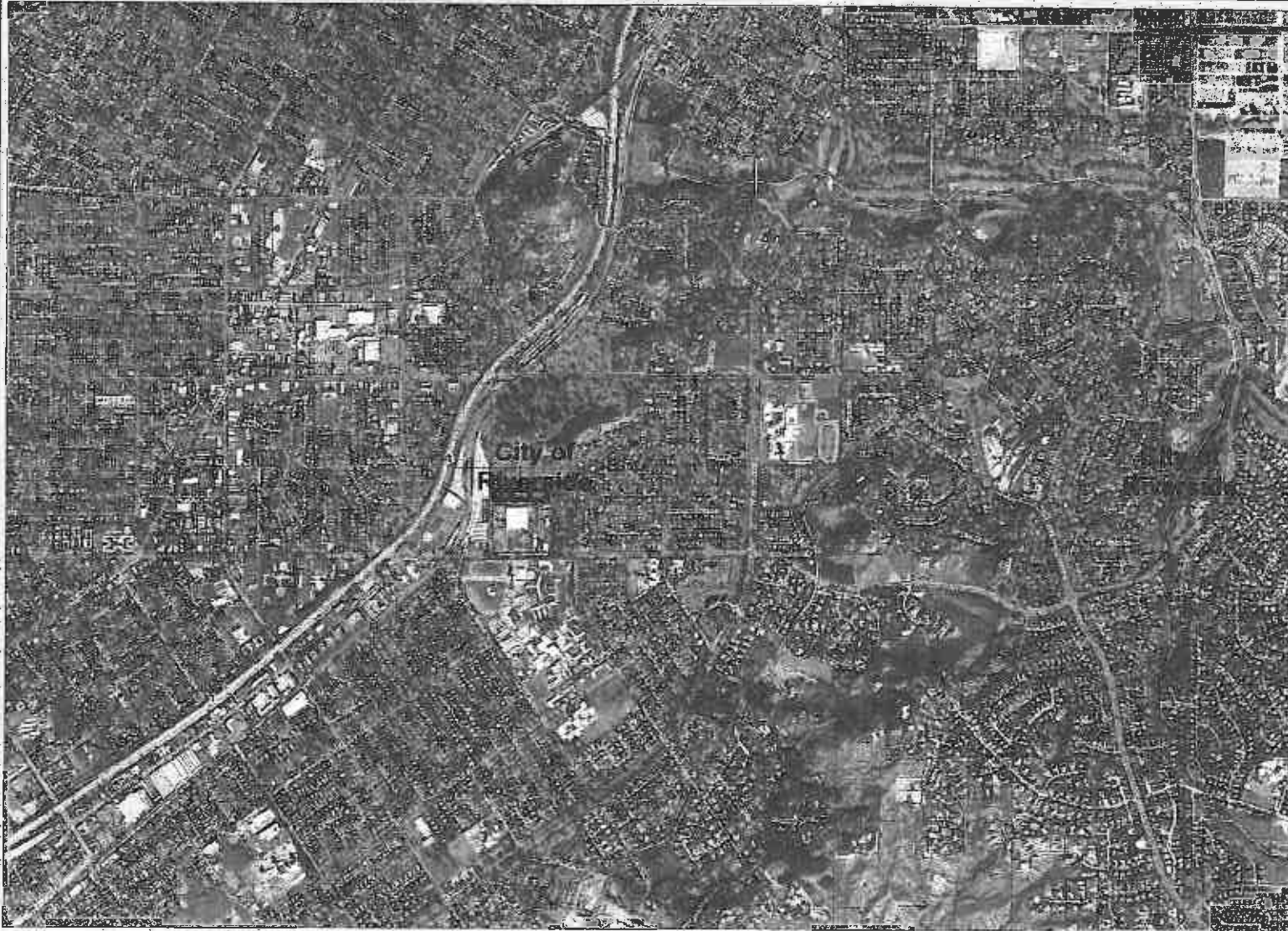
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

My Map



Legend

- City Boundaries
- Cities**
- roads**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography**
- waterbodies**
- Lakes
- Rivers



0 2,815 5,631 Feet



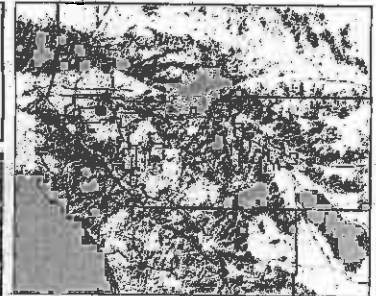
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,408 2,815 Feet



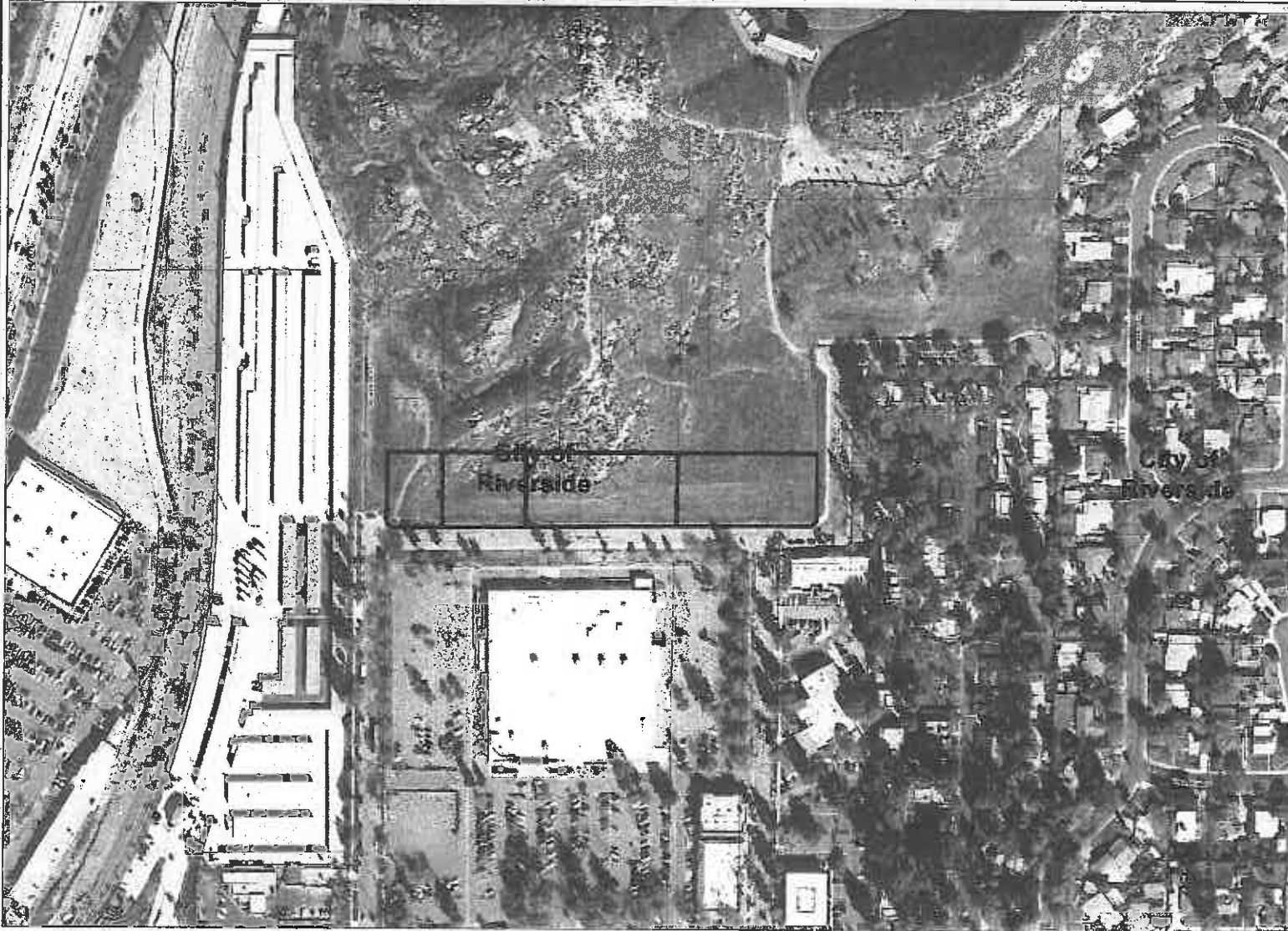
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 352 704 Feet



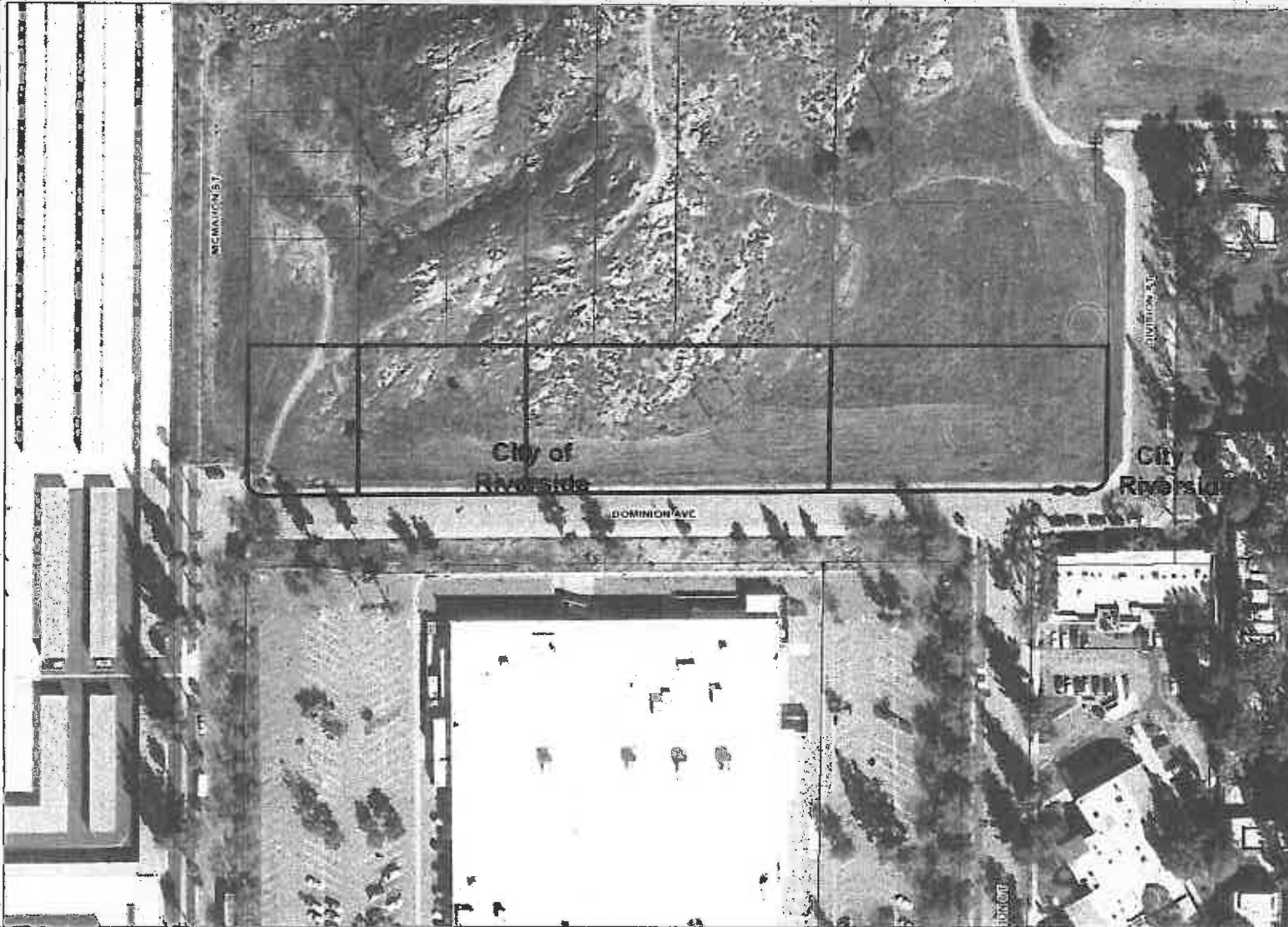
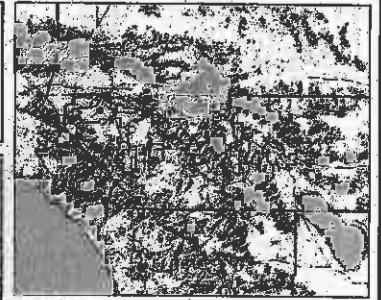
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roads**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography**
- waterbodies**
- Lakes
- Rivers



0 176 352 Feet



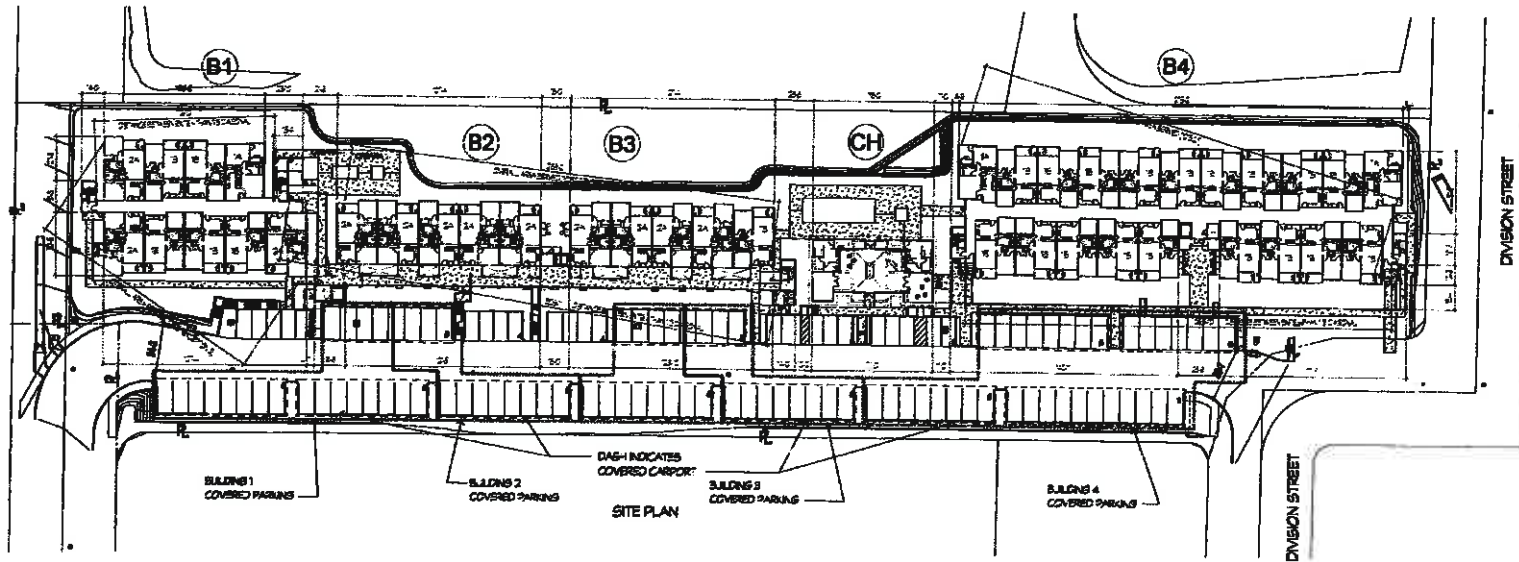
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Notes

ALL SCALE DIMENSIONS UNLESS OTHERWISE SPECIFIED. SEE NOTES FOR DIMENSIONS.



SITE

MAIN SITE 257 AC.
 HOVANON ST VACATION 0.1 AC.
 DOWNTOWN AVE VACATION 107 AC.
TOTAL 364 AC.

APARTMENTS (ALL THREE STORES)
 BUILDING 1 27 UNITS
 BUILDING 2 8 UNITS
 BUILDING 3 9 UNITS
 BUILDING 4 60 UNITS
TOTAL 104 UNITS

ZONING RS-4000 **DENSITY 32.0 UNITS/AC**

UNIT AREAS

UNIT 1A SQUARE FOOTAGE
 UNIT AREA 24 SQ. FT.
 BATH / CLOSET (INC. STOR.) 13 SQ. FT.
 OCCURS 26 TIMES
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

UNIT 1B SQUARE FOOTAGE
 UNIT AREA 67 SQ. FT.
 BATH / CLOSET (INC. STOR.) 31 SQ. FT.
 OCCURS 12 TIMES
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

UNIT 2A SQUARE FOOTAGE
 UNIT AREA 82 SQ. FT.
 BATH / CLOSET (INC. STOR.) 31 SQ. FT.
 OCCURS 16 TIMES
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

COMMON AREAS

INT. CORRIDOR SQ. FOOTAGE
 1ST FLOOR 382 SQ. FT.
 2ND FLOOR 382 SQ. FT.
 3RD FLOOR 382 SQ. FT.
TOTAL 1,146 SQ. FT.
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

RAISED (EXT.) WALK SQ. FOOTAGE
 2ND FLOOR 328 SQ. FT.
 3RD FLOOR 328 SQ. FT.
TOTAL 656 SQ. FT.
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

VERT. CIRCULATION SQ. FOOTAGE
 STAIR (S) STRUCTURES 382 SQ. FT.
 ELEVATORS (E) STRUCTURES 328 SQ. FT.
TOTAL 710 SQ. FT.
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

CLUBHOUSE SQ. FOOTAGE
 1ST FLOOR 242 SQ. FT.
TOTAL 242 SQ. FT.
FOR MORE DETAILS, REFER TO THE PLAN OF THIS UNIT.

AREA / PER BUILDING

BLDG. 1 UNIT SQ. FT. 2270
 CORRIDOR SQ. FT. 378
 VERTICAL CIRC. SQ. FT. 130
 TOTAL WALK ROOM 292
TOTAL SQ. FT. 2770

BLDG. 2 UNIT SQ. FT. 1654
 COVERED WALK SQ. FT. 5720
 VERTICAL CIRC. SQ. FT. 28
TOTAL SQ. FT. 13306

BLDG. 3 UNIT SQ. FT. 1530
 COVERED WALK SQ. FT. 478
 VERTICAL CIRC. SQ. FT. 58
TOTAL SQ. FT. 18201

BLDG. 4 UNIT SQ. FT. 4804
 CORRIDOR 659
 VERTICAL CIRC. SQ. FT. 137
TOTAL SQ. FT. 56004

CLUBHOUSE SQ. FT. 242
 (PRIVATE) RAISED DECKS SQ. FT. 6800
 (PRIVATE) ON GRASS PATIOS SQ. FT. 3285

CARPORTS: 2,027 SQ. FT.
BUILDING FOOTPRINT = 44,752 SQ. FT. / LOT AREA = 183,350 SQ. FT. = 27% LOT COVERAGE

PARKING REQUIRED:

RESIDENTS: 1:1 SPACES / 117 UNITS 1287 SPACES
TOTAL: 1287 SPACES

PARKING PROVIDED:

RESIDENTS (COVERED CARPORTS): 90 SPACES
 GUESTS: 24 SPACES
TOTAL: 114 SPACES

ACCESSIBLE SPACES REQ'D

X.26 = 2
 X.58 = 2
4 (OF THE REQ'D) MUST BE ACCESSIBLE
1 (OF THE 4) MUST BE A VAN SPACE



KPI
 KPI PARTNERS
 INTERNATIONAL, INC.
 architecture & planning

1500 DINE ST. SUITE 200
 HOUSTON, TEXAS 77056
 PHONE: (281) 752-1177
 FAX: (281) 752-0541
 WWW.KPI.COM

Contract and/or license information
 in accordance with applicable
 laws and regulations.

NO. DATE	REVISION

Rock Pointe Apartments
 Riverside, California
 care of: Rock Pointe Home Corporation
 25000 Rock Pointe Avenue
 Riverside, Ca. 92503 951-754-1877

Rock Pointe L.L.C.
 25000 Rock Pointe Avenue
 Riverside, Ca. 92503

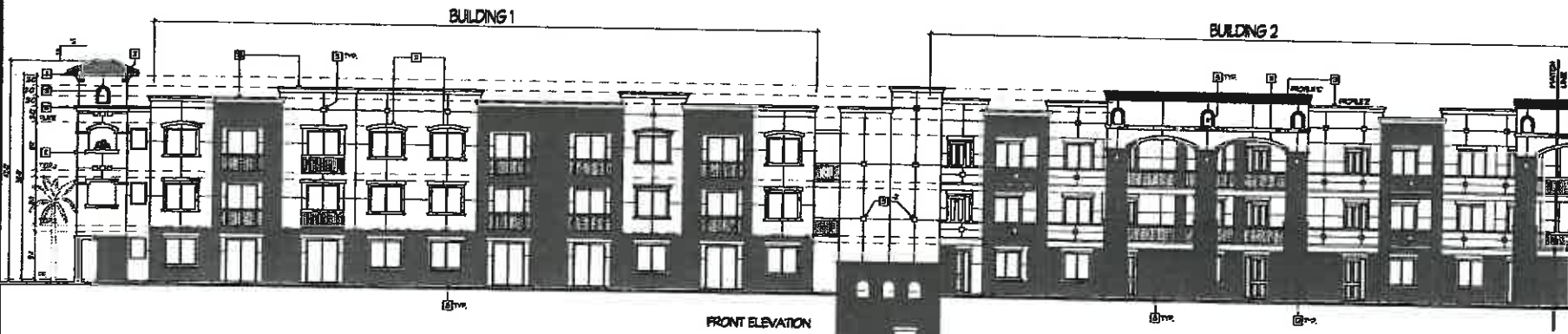


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 CHECKED BY: [Signature]
 DATE OF THIS PLAN: 08/11/03

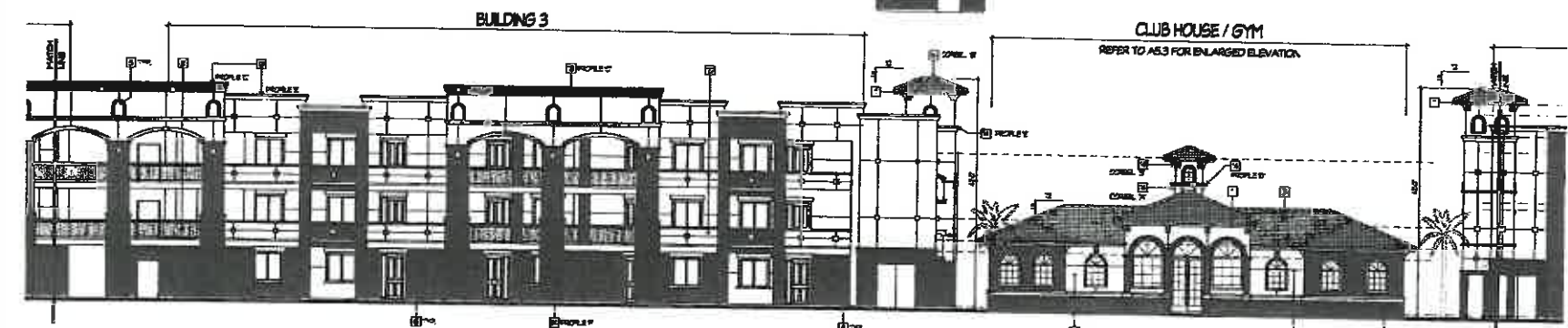
SHEET TITLE
**ARCHITECTURAL
 SITE PLAN /
 SITE SUMMARY**

A10
 SHEET NUMBER

3/24/2011 11:58 AM



FRONT ELEVATION



FRONT ELEVATION

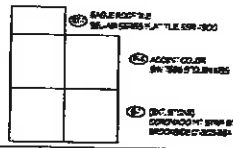
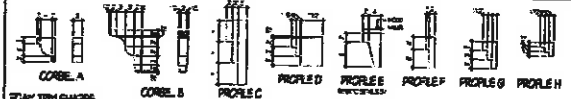
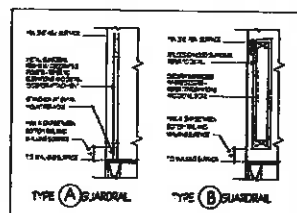
EXTERIOR FINISHES

ELEVATION KEYNOTES

1. NEW 2" FINISH - REFER TO 104
2. DECORATIVE IRON BALUSTE - REFER TO 20-24
3. ROOF FINISH - REFER TO ROOF NOTES
4. NEW STUCCO OVER NEW 2" FINISH - REFER TO 20-24
5. STUCCO FINISH - REFER TO 20-24
6. 1" ALUMINUM CORNER - REFER TO 11, 20-24
7. 1/2" ALUMINUM CORNER - REFER TO GENERAL NOTES
8. CONCRETE SLAB FINISH - REFER TO 20-24
9. 1/2" ALUMINUM CORNER - REFER TO DETAIL 20-24
10. STUCCO OVER EXISTING TYPE 10 BRICK - REFER TO DETAIL 20-24
11. 3/4" NEW 1/2" ALUMINUM CORNER - REFER TO DETAIL 20-24 AND ADD FOR INSTALLATION
12. STONE FINISH - REFER TO DETAIL 20-24
13. NEW 1/2" FINISH - REFER TO DETAIL 20-24 AND ADD FOR INSTALLATION
14. FINISH OPENING

ELEVATION GENERAL NOTES

1. FINISH ALL NEW WINDOWS PER DETAILS 20-24



KEY PLAN 1/8" = 1'-0"



KPI
KNITLER PARTNERS
INTERNATIONAL, INC.
architects & planners

1455 DINE ST. SUITE 200
ESCONDIDO, CA 92026
PHONE: (949) 702-1177
FAX: (949) 752-0254
WWW.KPI-ARCH.COM

NO.	DATE	REVISION

Rock Pointe Apartments
Riverside, California

care of Rock Pointe Apartments
7777 Northpointe Parkway, Suite 100
Riverside, CA 92503 (951) 784-4877

Rock Pointe L.L.C.
2526 Boulevard Avenue
Riverside, CA 92506

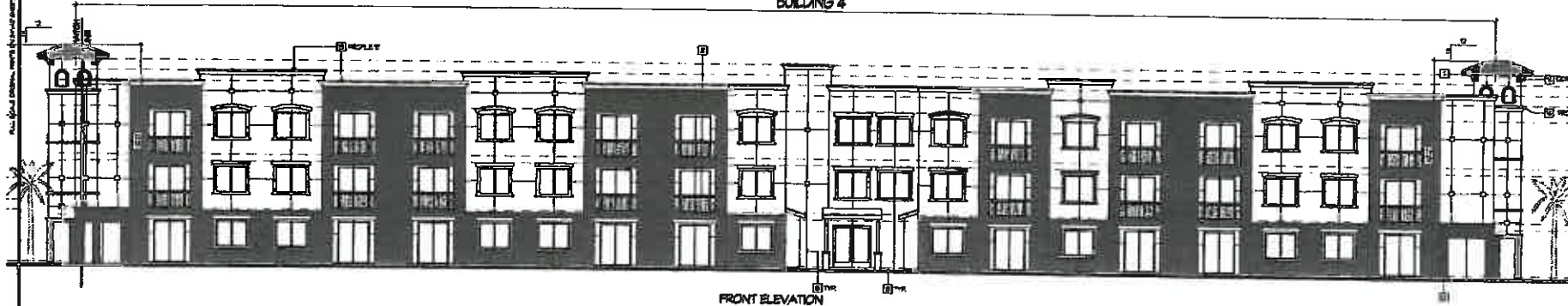
DATE	BY	DESCRIPTION

SHEET TITLE
**BUILDING 1, 2 & 3
FRONT ELEVATION**

A3.0
SHEET NUMBER

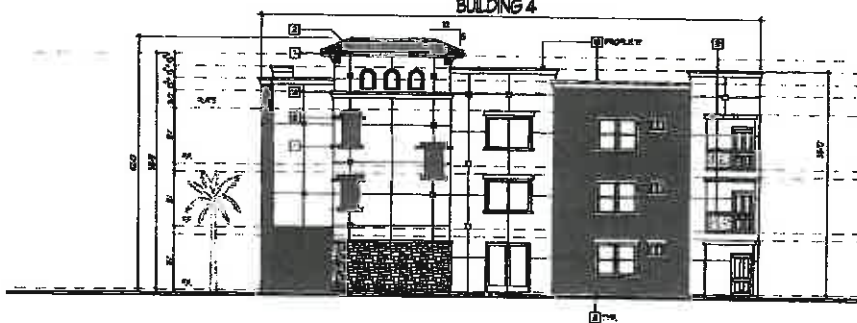
ALL DIMENSIONS UNLESS OTHERWISE NOTED. 100' HIGH BUILDING.

BUILDING 4



FRONT ELEVATION

BUILDING 4

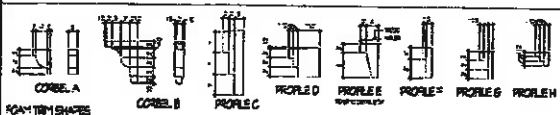
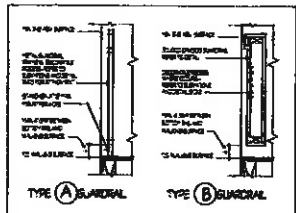
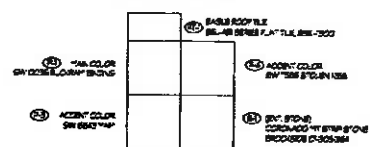


RIGHT SIDE ELEVATION

ELEVATION KEYNOTES

- 1 NEW 24 GAUGE - REFER TO 207
- 2 DECORATIVE FINES @ JUNCTION - REFER TO 204.4
- 3 ROOF FINISH - REFER TO ROOF NOTES
- 4 NEW BRICK CURB FROM FINISH TO FINISH PER ADD
- 5 STUCCO FINISH - REFER TO 202.3
- 6 1" ALUMINUM CHANNEL - REFER TO 2, 202
- 7 1/2" SQUARE STUCCO - REFER TO 204.4 NOTES
- 8 CONTRACTOR STUCCO FINISH - REFER TO 202.3
- 9 1/4" ALUMINUM CHANNEL - REFER TO DETAIL 210 SHEET
- 10 STUCCO OVER BRICK (TYPE B) STUCCO - REFER TO DETAIL 210 SHEET
- 11 1/2" SQUARE STUCCO - REFER TO ELEVATIONS FOR BRICK AND ALUMINUM INSTALLATION
- 12 STUCCO FINISH - REFER TO DETAIL 204
- 13 FOAM TRIM - REFER TO DETAIL 204
- 14 ROOF TRIM - REFER TO DETAIL 204.4. THIS SHEET AND ADD FOR INSTALLATION
- 15 FINISH STUCCO

EXTERIOR FINISHES



KEY PLAN NO SCALE



KPI
KNITTER PARTNERS
INTERNATIONAL, INC.
Architecture & Planning

1407 BOW ST. SUITE 240
PORTLAND, OREGON 97208
PHONE: (503) 753-1177
FAX: (503) 753-0184
www.kpi.com

REVISIONS

NO.	DATE	REVISION

Riverside, California

Rock Pointe Apartments

Rock Pointe Ventures Corporation
 1777 Woodside Ave. Suite 200
 Riverside, CA 92504 951-746-4871

Rock Pointe L.L.C.
 3223 Downside Avenue
 Riverside, CA 92504



JOB NUMBER: 0202
 PROJECT NO.: 02
 DRAWING BY:
 CHECKED BY:
 DATE OF THIS PLAN: 02/20/04

SHEET TITLE
 BUILDING 4
 FRONT & RIGHT
 ELEVATION

A3.1
SHEET NUMBER

ALL SCALE UNLESS OTHERWISE NOTED. REFER TO SHEET AS4 FOR ENLARGED ELEVATIONS. © 2010 KPI PARTNERS INTERNATIONAL, INC.



KPI PARTNERS INTERNATIONAL, INC.
 architecture & planning

1400 DOW ST. SUITE 210
 NEWPORT BEACH, CA 92660
 PHONE: (949) 757-1177
 FAX: (949) 757-0154
 www.kpipartners.com

PROJECT: **Rock Pointe Apartments**
 NO. DATE: _____
 REVISION: _____

Rock Pointe Apartments
 Riverside, California

care of: **Rock Pointe Homes Corporation**
 2222 Buckle Avenue
 Riverside, CA 92503 (951) 744-4071

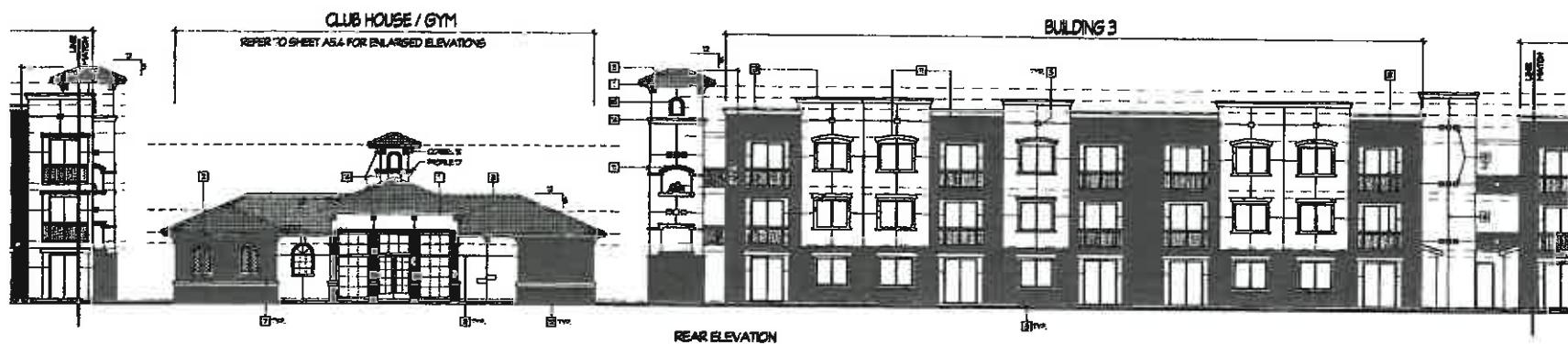
Rock Pointe L.L.C.
 2222 Buckle Avenue
 Riverside, CA 92503



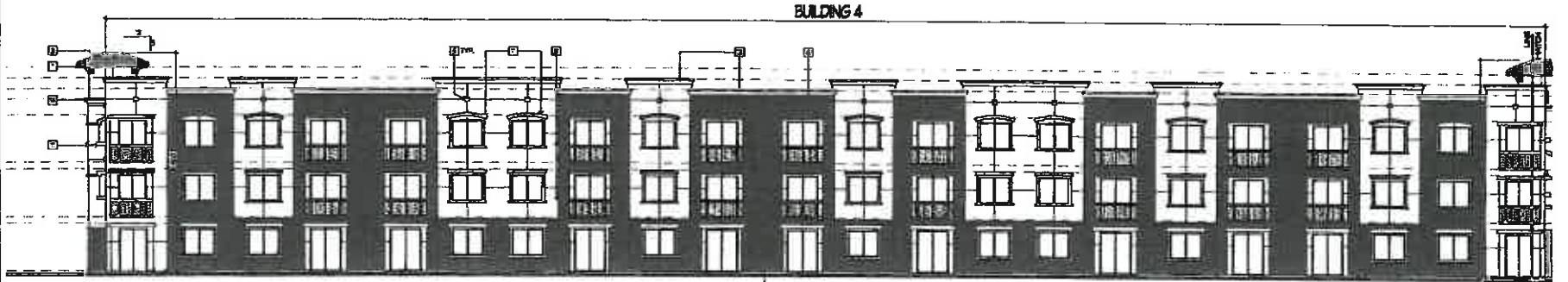
JOB NUMBER	2222
PROJECT NAME	NA
DESIGN BY	KPI
ISSUING SCALE	AS SHOWN
DATE OF THIS PLAN	02/20/10

SHEET TITLE
BUILDING 3 & 4
REAR ELEVATION

A3.2
 SHEET NUMBER



REAR ELEVATION

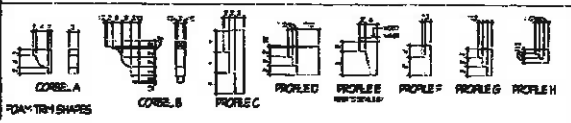
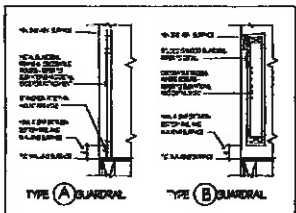
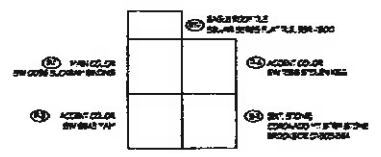


REAR ELEVATION

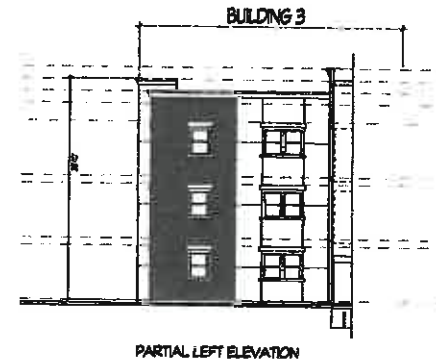
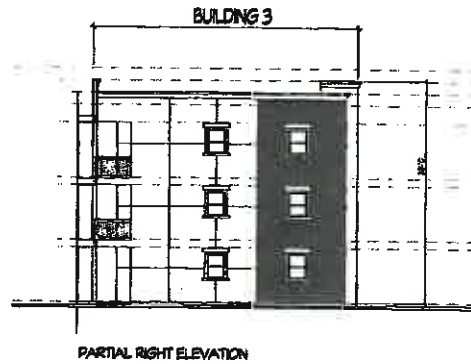
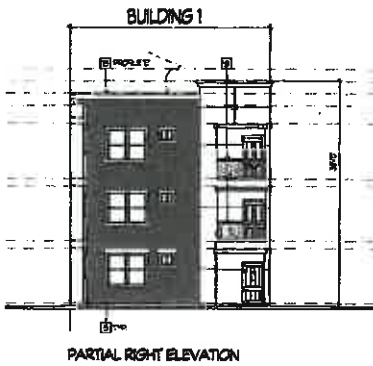
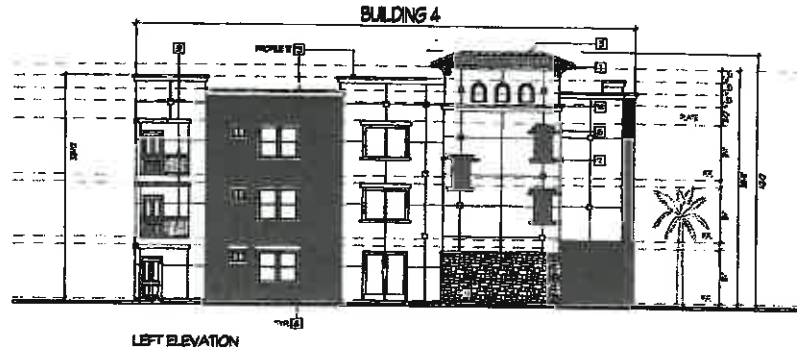
□ ELEVATION KEYNOTES

1. WEA. 2. PANEL - REFER TO 101
2. DECORATIVE TRIM SILLING - REFER TO 201-A
3. ROOF FINISH - REFER TO ROOF NOTES
4. WEA. STUCCO OVER POLYMER MEM. - INSTALL PER 603
5. STUCCO FINISH - REFER TO 201-B
6. TYPICAL CORNER - REFER TO 101-B
7. TRIM BETWEEN STUCCO - REFER TO GENERAL NOTES
8. CONTINUOUS STUCCO BOARD - REFER TO 200-A
9. WEA. TYPE 10 STUCCO - REFER TO DETAIL 101-B-2
10. STUCCO OVER WOOD TYPE 10 STUCCO - REFER TO DETAIL 101-B-2
11. 2x4 POINTY TIP OPENING - REFER TO ELEVATIONS FOR SEE AND A SECTION INSTALLATION
12. STUCCO FINISH - REFER TO GENERAL NOTES
13. ROOF FINISH - REFER TO ROOF
14. ROOF TRIM - REFER TO ROOF TRIM NOTES - THIS SHEET AND 603 FOR INSTALLATION
15. FINISHED CONCRETE

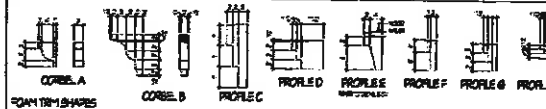
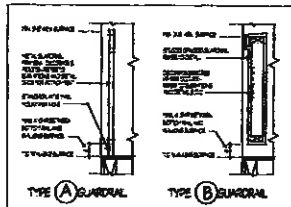
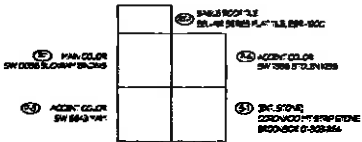
EXTERIOR FINISHES



ALL RIGHTS RESERVED. REVISED DRAWING. NO PART SHALL BE REPRODUCED WITHOUT WRITTEN PERMISSION.



EXTERIOR FINISHES



ELEVATION KEYNOTES

1. NEW 2" PARCA - REFER TO 101
2. DECORATIVE WOOD SHUTTER - REFER TO 101.4
3. ROOF MATERIAL - REFER TO ROOF NOTE
4. NEW STUCCO OVER NIGHT TIME - REFER TO 101.1 AND 101.2
5. STUCCO FINISH - REFER TO 101.2
6. FAULTLINE CHANNEL - REFER TO 101.2
7. THE BETWEEN STUCCO - REFER TO GENERAL NOTES
8. CONCRETE AS STUCCO FINISH - REFER TO 101.2
9. METAL TYPE IN STUCCO - REFER TO DETAIL THE SHEET
10. STUCCO OVER NIGHT TIME STUCCO - REFER TO DETAIL THE SHEET
11. STUCCO OVER NIGHT TIME STUCCO - REFER TO DETAIL THE SHEET
12. STONE FINISH - REFER TO DETAIL THE SHEET
13. ROOF TRIM FINISH - REFER TO DETAIL THE SHEET
14. ROOF TRIM - REFER TO ROOF TRIM SHEET - THIS SHEET AND 101.2 FOR INFORMATION
15. FINISH OVER STUCCO



KNITTER PARMELOS INTERNATIONAL, INC.
 architecture & planning

1101 BAY ST. SUITE 210
 NEWPORT BEACH, CA 92660
 TEL: (949) 792-1177
 FAX: (949) 792-0151
 www.kpi.com

General Notes:
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.
 DIMENSIONS IN BRACKETS ARE FOR INFORMATION ONLY.

NO.	DATE	REVISION

Rock Pointe Apartments
 Riverside, California
 an affiliate of Knitter Parmelos International, Inc.
 7177 Buckhorn Ave., Suite 217
 Newport Beach, CA 92660 (949) 792-1177
Rock Pointe L.L.C.
 2828 Buckhorn Avenue
 Riverside, CA 92506

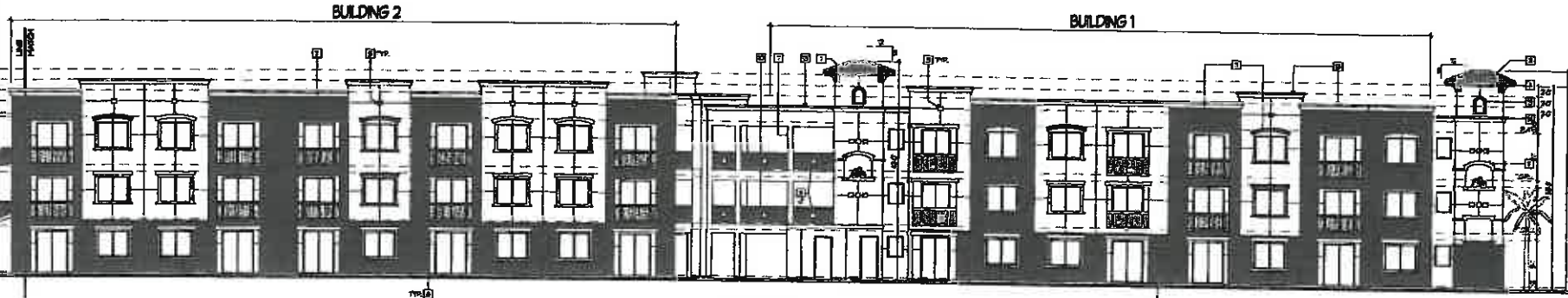


SHEET NO. 0320
 PROJECT NO. 100
 DRAWING SCALE: 1/8"=1'-0"
 DATE OF PLOT: 09/20/07

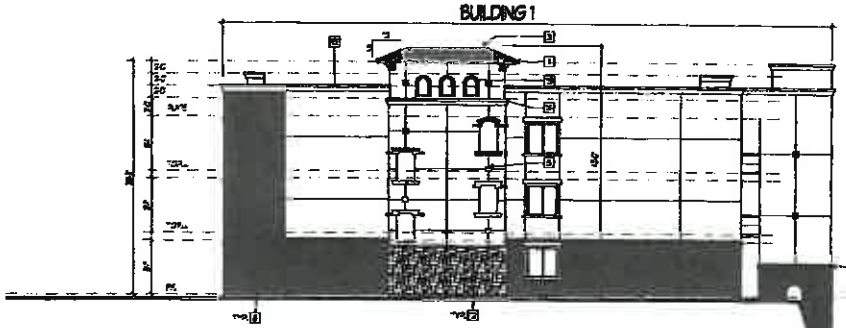
SHEET TITLE
**PARTIAL
 EXT. ELEVATIONS**

A3.2A
 SHEET NUMBER

ALL DIMENSIONS UNLESS OTHERWISE NOTED. 30' UP SCALE DRAWING.

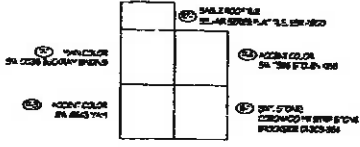


REAR ELEVATION



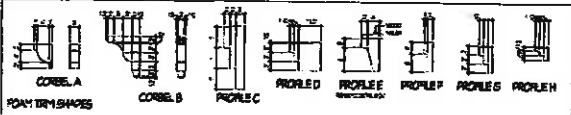
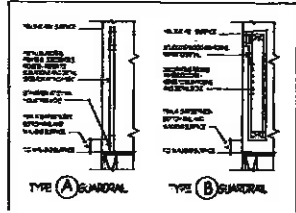
LEFT SIDE ELEVATION

EXTERIOR FINISHES



ELEVATION KEYNOTES

1. NEW 3/4" PLY - REFER TO 2504
2. GEOMETRIC RIB 3/4" X 1/2" - REFER TO 2504
3. ROOF MATERIAL - REFER TO 2504
4. NEW STUCCO OVER FORM-TY - INSTALL PER LOG
5. STUCCO FINISH - REFER TO 2504
6. 1" ALUMINUM CHANNEL - REFER TO 11.01
7. 7/8" EXTERIOR STUCCO - REFER TO GENERAL NOTES
8. CONTACT BRUSH STUCCO SCREEN - REFER TO 2504
9. 1/2" X 1/2" X 1/2" SQUARE - REFER TO DETAIL 240-001
10. STUCCO OVER BRUSH STUCCO - REFER TO 2504
11. 2" FORM-TY AT CORNER - REFER TO ELEVATION FOR SIZE AND 45-DIG REINFORCEMENT
12. STONE VENEER - REFER TO DETAIL 240
13. FORM-TY BRIDGE CAP - REFER TO 2504
14. FORM-TY - REFER TO FORM-TY NOTES - 1/2" X 1/2" X 1/2" FOR INSULATION
15. FINISH FINISH



KEY PLAN NO SCALE



KPI PARTNERS
INTERNATIONAL, INC.
ARCHITECTURE & PLANNING

180 DIXIE ST. SUITE 200
NEWPORT BEACH, CA 92660
Phone: (949) 753-1177
Fax: (949) 753-0154
WWW.KPI.COM

NO. ON FILE	REVISION

Riverside, California

Rock Pointe Apartments

care of: Riverside-People Ventures Corporation
 7777 Mountain Ave. Suite 207
 Riverside, CA 92506 (951) 784-4911

Rock Pointe L.L.C.
 5833 Buckhorn Avenue
 Riverside, CA 92506



JOB NUMBER	1230
PROJECT NO.	02
SCALE	AS SHOWN
DRAWING DATE	11/20/08
DATE OF THE PRINT	02/20/09

SHEET TITLE
BUILDING 1 LEFT
BUILDING 1 & 2
REAR ELEVATION

A33
SHEET NUMBER

PAGE BREAK



**AIRPORT LAND USE COMMISSION
RIVERSIDE COUNTY**



CHAIR

Simon Housman
Rancho Mirage

August 26, 2016

VICE CHAIRMAN

Rod Ballance
Riverside

Mr. Matthew Taylor, Project Planner

City of Riverside Community and Economic Development Department/Planning Division
3900 Main Street, Third Floor
Riverside, CA 92522

COMMISSIONERS

Arthur Butler
Riverside

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

Glen Holmes
Hemet

File No.: ZAP1209MA16
Related File Nos.: P16-0207 (Design Review)
APN: 263-020-079

John Lyon
Riverside

Steve Manos
Lake Elsinore

Dear Mr. Taylor:

Russell Betts
Desert Hot Springs

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case No. P16-0207 (Design Review), a proposal to construct an 84,000 square foot (1.93 acre) auxiliary parking lot with landscaping and site lighting as an extension of the existing 9.32-acre parcel developed with an auto dealership, located at 6030 Sycamore Canyon Boulevard, northerly of Crest Ridge Drive, easterly of Sycamore Canyon Boulevard, westerly of Quail Valley Court, and southerly of Highway 60.

STAFF

Director
Ed Cooper

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, nonresidential density is not restricted.

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lerron St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). At a distance of approximately 17,900 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,714 feet AMSL. The project site elevation is 1,535 feet above mean sea level, and is proposing several parking lot light standards 18 feet in height, resulting in a maximum top point elevation of 1,553 feet AMSL. Therefore, review by the FAA OES was not required.

www.rcaluc.org

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The landowner shall provide the attached notice to all potential purchasers of the property and to tenants/lessees of the building(s) thereon.
4. The proposed aboveground detention/water quality basin on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION


Edward C. Cooper, Director

AIRPORT LAND USE COMMISSION

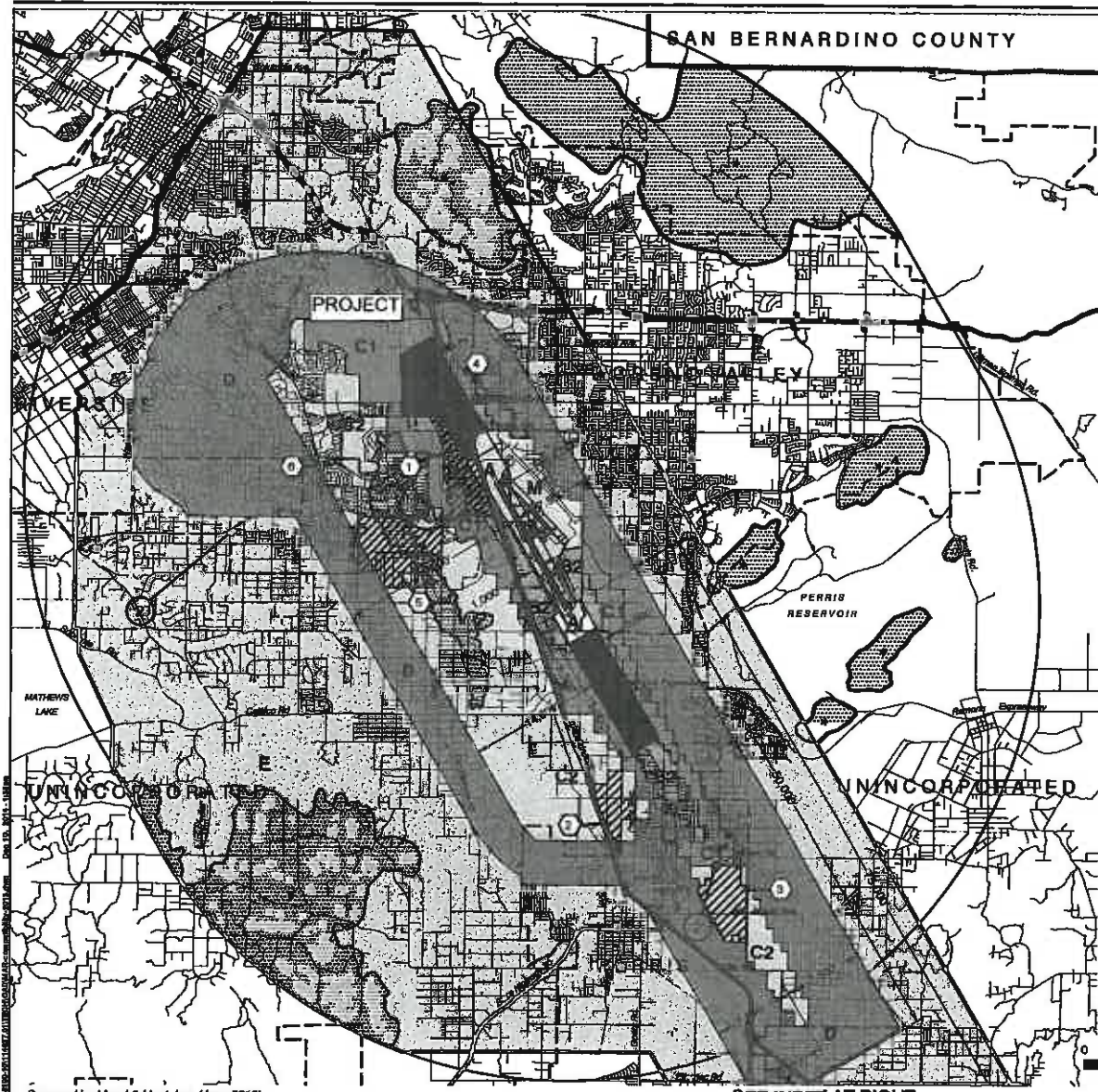
Attachments: Notice of Airport in Vicinity

**cc: 6030 SC Holdings, LLC (applicant/property owner)
Prophet Solutions, Inc. (representative/payee)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Denise Hauser, March Air Reserve Base
ALUC Case File**

Y:\AIRPORT CASE FILES\March\ZAP1209MA16\ZAP1209MA16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

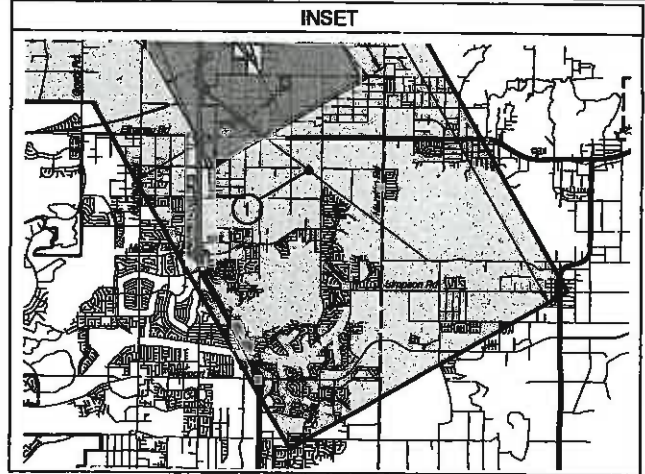
- Airport Influence Area Boundary
- Zone A
- ▨ Zone B1
- ▩ Zone B2
- ▧ Zone C1
- ▦ Zone C2
- ▥ Zone D
- ▤ Zone E
- ▣ Zone M
- ⬆ High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- - - City Limits
- ▨ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adapted November 13, 2014)

Note:
 All dimensions are measured from
 runway ends and centerlines.



Base map source: County of Riverside 2013

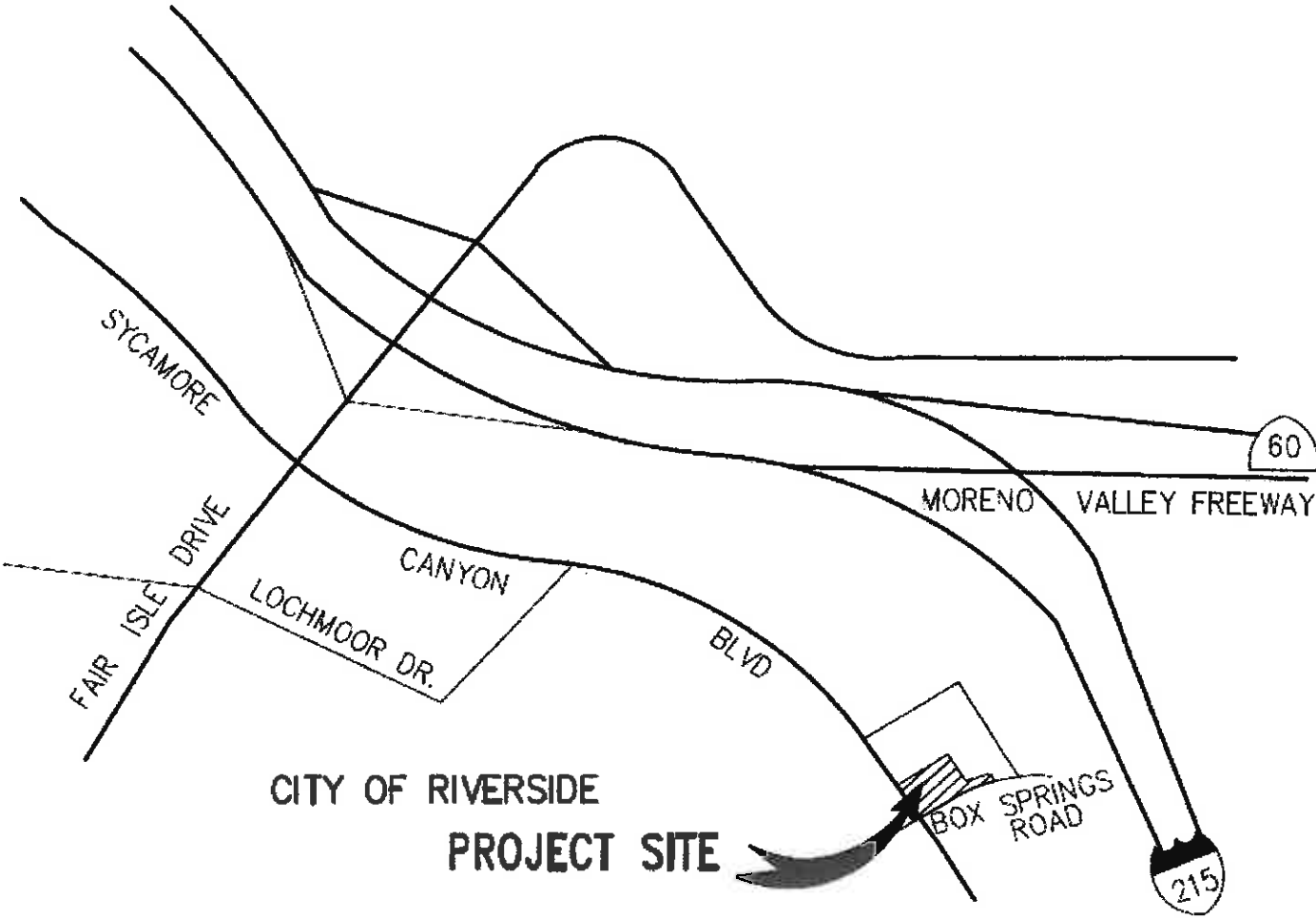
Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1

Compatibility Map
 March Air Reserve Base / Inland Port Airport

6030 Sycamore Canyon Blvd., Riverside, CA. 92507

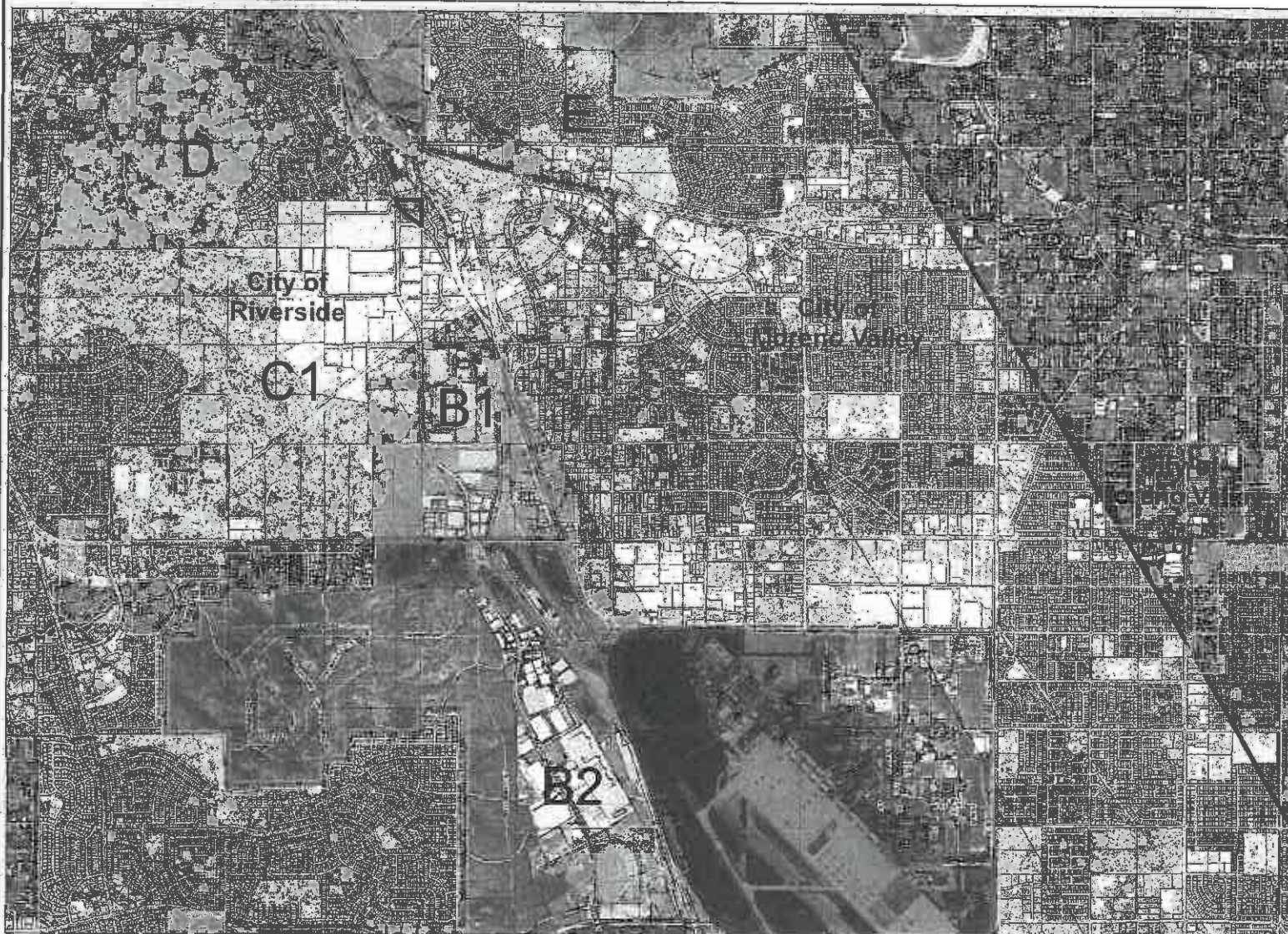
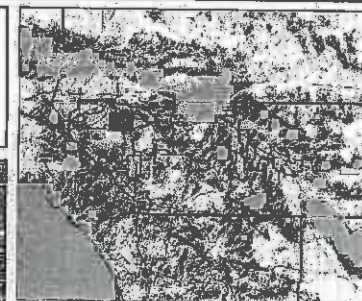


CITY OF RIVERSIDE
PROJECT SITE



























VICINITY MAP

N.T.S.

My Map



Legend

-  Airports
-  AIA
- Airport Compatibility**
-  OTHER ZONE
-  A
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
-  B2
-  B2-EXC1
-  C
-  C1
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
-  C2
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC5
-  C2-EXC6
-  C2-HIGHT



0 5,135 10,270 Feet



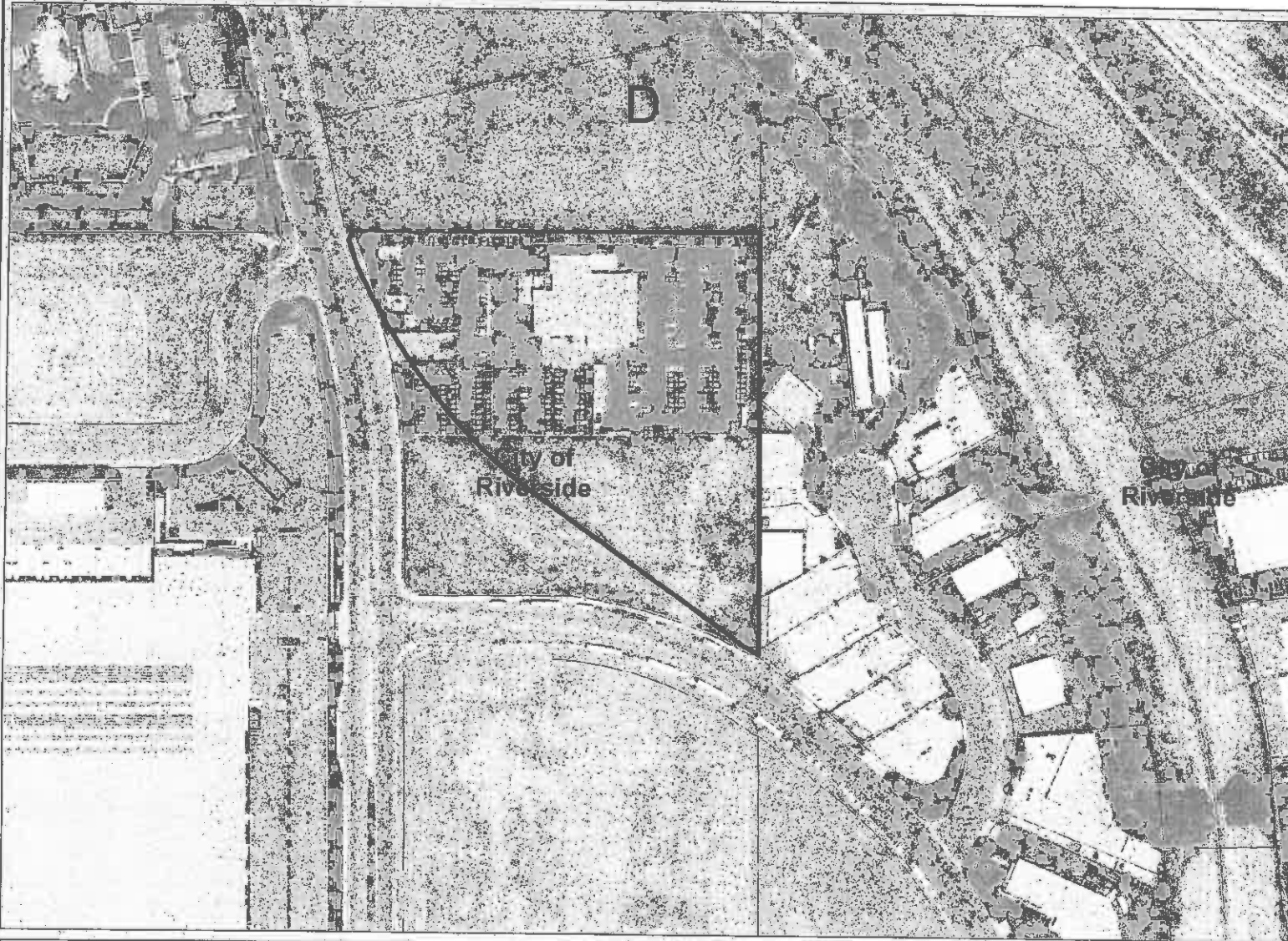
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0

321

642 Feet



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Notes

My Map



Legend

-  City Boundaries
- Cities**
- adjacent_highways**
 -  Interstate
 -  Interstate 3
 -  State Highways; 60
 -  State Highways 3
 -  US HWY
 -  OUT
- highways_large**
 -  HWY
 -  INTERCHANGE
 -  INTERSTATE
 -  USHWY
-  counties
-  cities



0 10,270 20,539 Feet



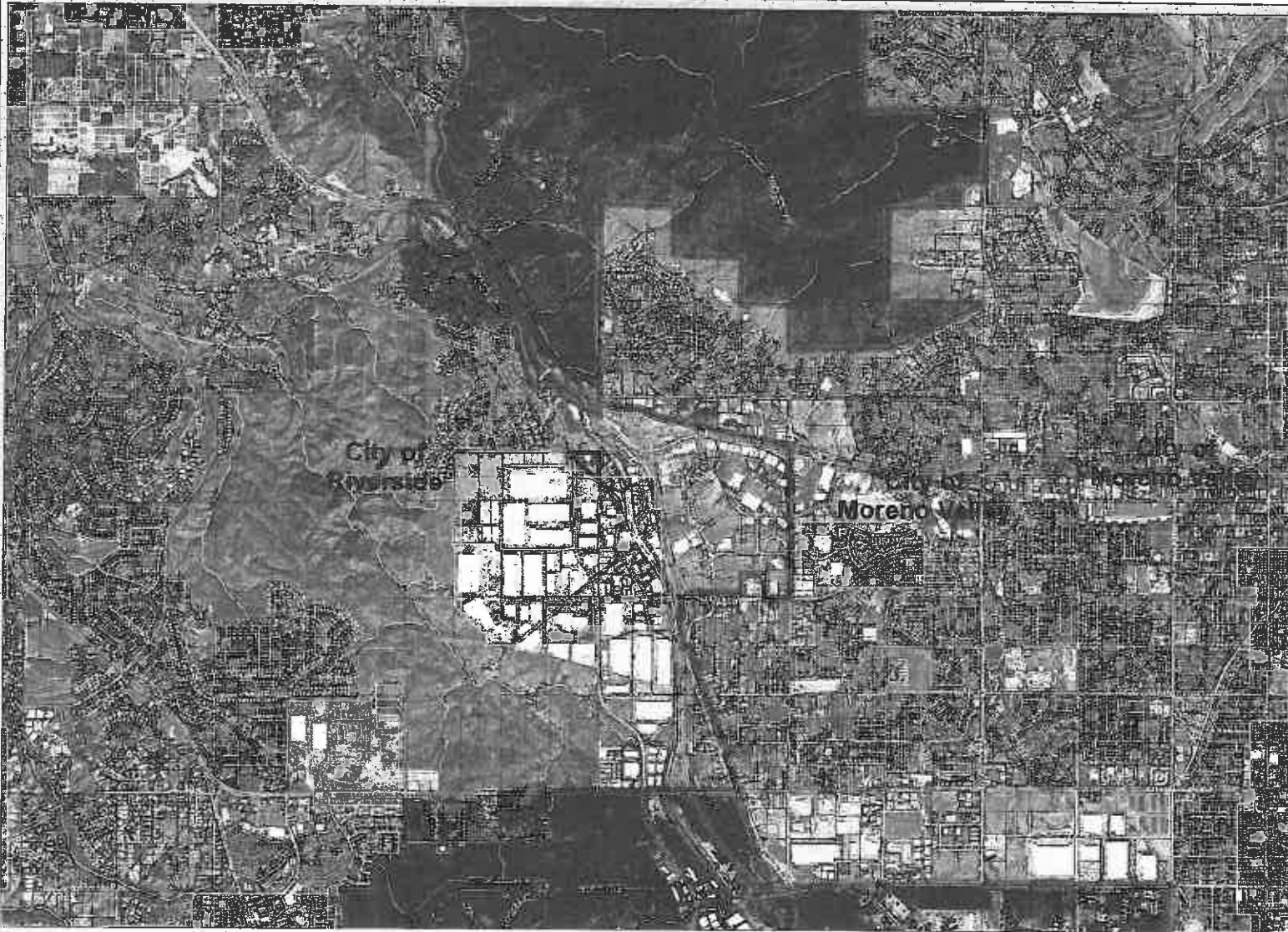
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Notes

My Map



Legend

-  City Boundaries
- Cities**
- highways_large**
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  USHWY
-  majorroads
-  counties
-  cities
- hydrographylines**
- waterbodies**
-  Lakes
-  Rivers



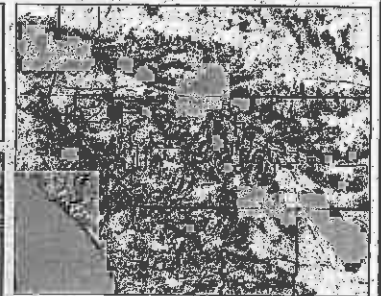
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roads**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrography**
- waterbodies**
- Lakes
- Rivers



0 2,567 5,135 Feet



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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography
- lines
- waterbodies
- Lakes
- Rivers



0 642 1,284 Feet



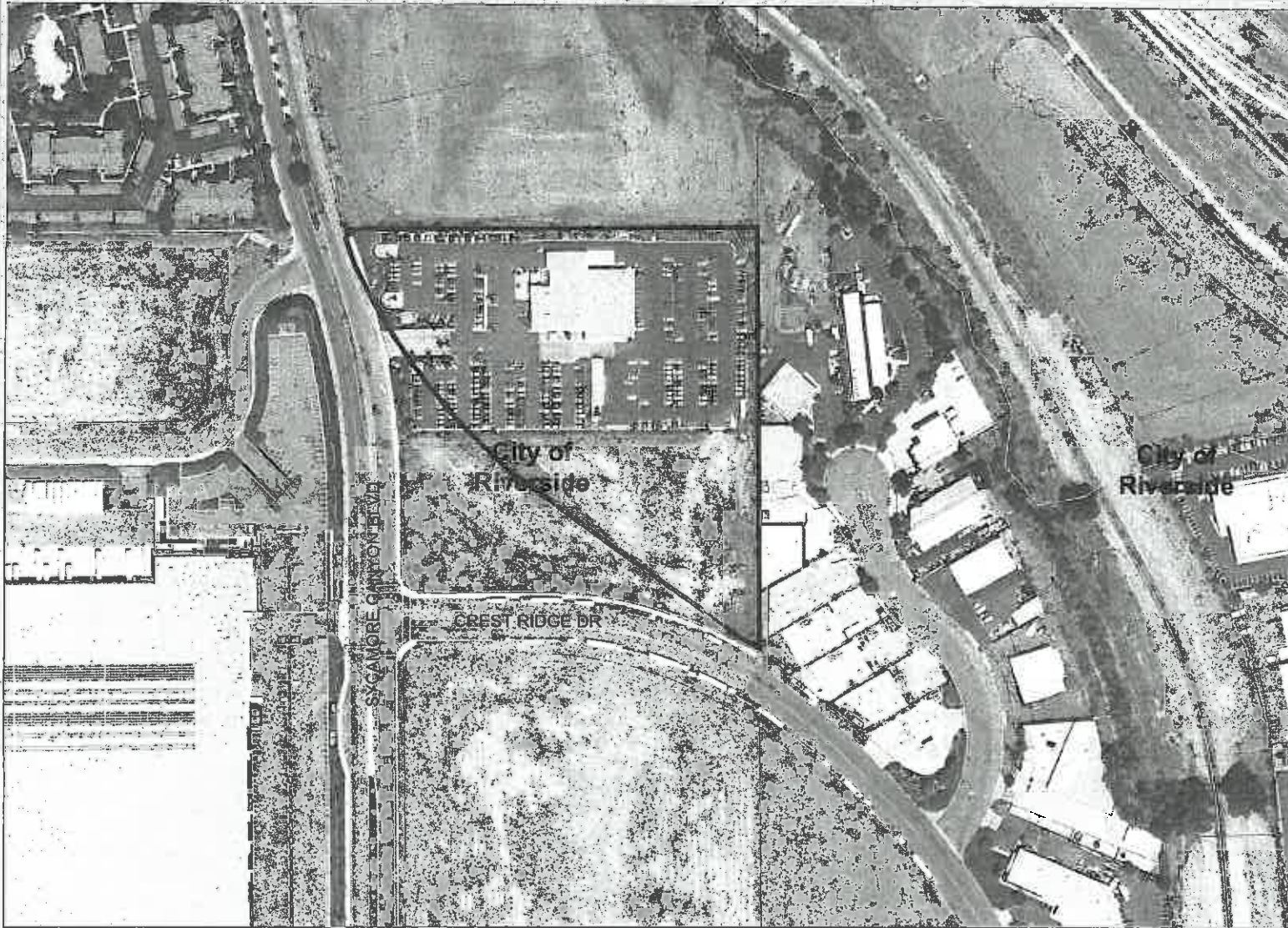
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 321 642 Feet



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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 160 321 Feet



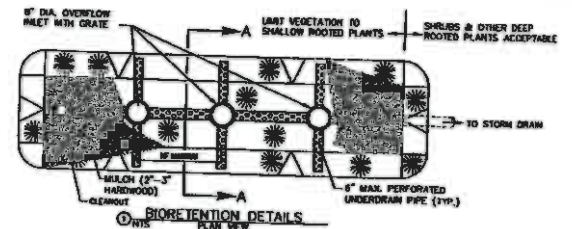
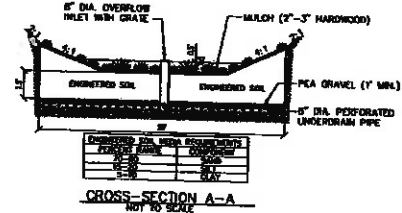
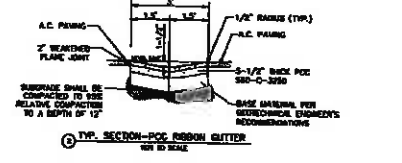
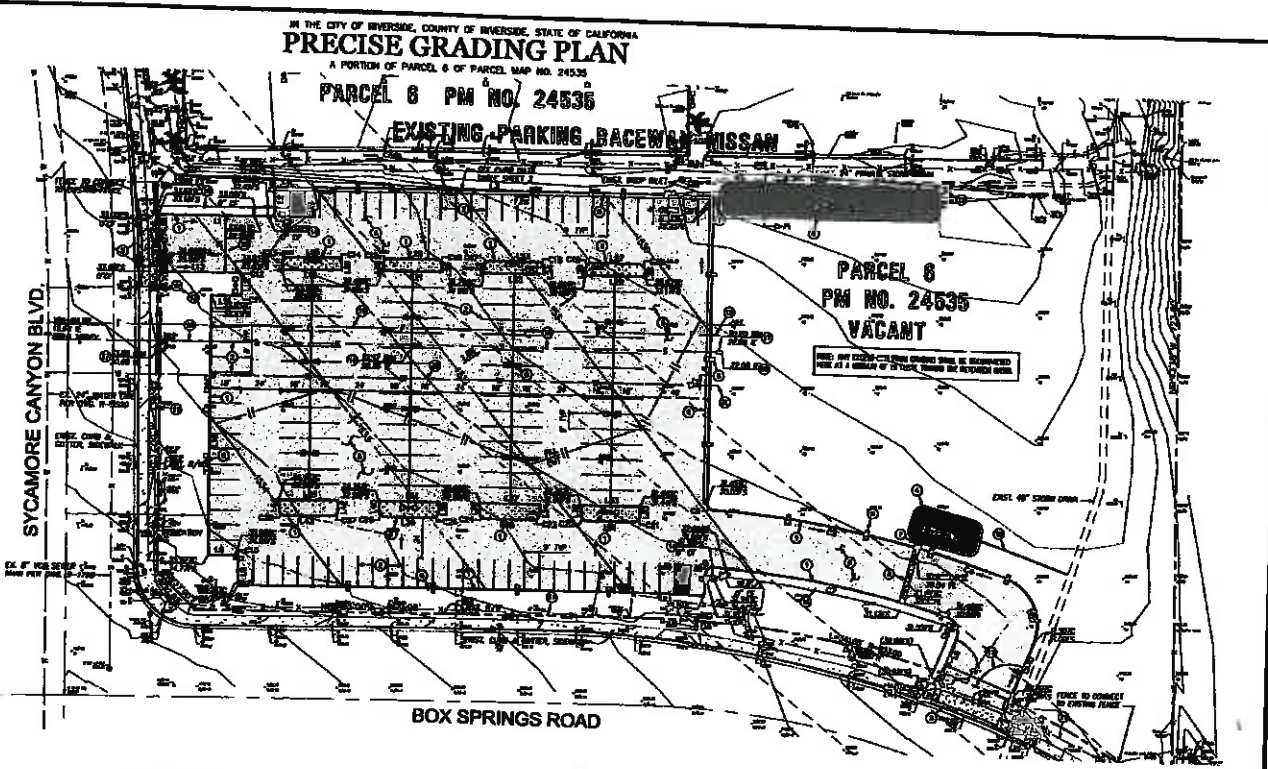
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Notes

CONSTRUCTION NOTES		
NO.	DESCRIPTION	QTY
1	CONSTRUCT CONCRETE CURB PER STANDARD SPECIFICATIONS AND TYPICAL SECTION 101 OF C.C.	LF 2435.00
2	PAVE PARALLEL DRIVEWAY	SF 2435.00
3	CONSTRUCT COMMERCIAL DRIVEWAY PER STANDARD SPECIFICATIONS AND TYPICAL SECTION 101 OF C.C.	SF 1370.00
4	CONSTRUCT SIDEWALK PER SECTION 101 OF C.C.	EA 2
5	CONSTRUCT 2" AC FINISH DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
6	CONSTRUCT SIDEWALK PER SECTION 101 OF C.C.	EA 2
7	CONSTRUCT 4" 1/2" ASPHALT DRIVEWAY	EA 2
8	CONSTRUCT 2" AC FINISH DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
9	CONSTRUCT 4" 1/2" ASPHALT DRIVEWAY	EA 2
10	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
11	CONSTRUCT 4" 1/2" ASPHALT DRIVEWAY	EA 2
12	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
13	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
14	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
15	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
16	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
17	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
18	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
19	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
20	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
21	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
22	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
23	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
24	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
25	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
26	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
27	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
28	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
29	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00
30	CONSTRUCT DRIVEWAY 12" WIDE OVER EACH SIDEWALK RECOMMENDATION.	SF 2742.00



Underground Service Alert
 Call 811
 1-800-227-2600
 TWO BUSINESS DAYS BEFORE YOU DIG

BENCHMARK
 POINT NO. 11-32
 THIS MARK AND CITY ENGINEER THEREIN IS THE BASIS OF A STREET LIGHT ADJUST THE BOUNDARY LINE OF BENCH MARKS TO THE NEAREST OF BOX SPRINGS BLVD. ADJUSTED AND EXTENDED TO THE NEAREST OF BOX SPRINGS BLVD. ADJUSTED AND EXTENDED TO THE NEAREST OF BOX SPRINGS BLVD. ADJUSTED AND EXTENDED TO THE NEAREST OF BOX SPRINGS BLVD.



CITY ENGINEER OR CITY CLERK
 [Signature]
 APPROVED BY: [Signature]
 DATE: 08-23-2017

REVISIONS	DATE	BY

PLANNING DEPARTMENT
 ENVIRONMENTAL REVIEW REQUIRED
 APPROVED BY: [Signature]

WDID NO. XXXX
PRECISE GRADING PLAN
 APN: 263-020-070
 A PORTION OF PARCEL 6 OF PARCEL MAP NO. 24536

PW00-0000
 ADDRESS NO.
 GRAPHIC NUMBER
XX
 SHEET 2 OF 4

LIGHTING FIXTURE SCHEDULE

TYPE	SYMBOL	MANUFACTURER CATALOG#	LAMP QTY. & TYPE	FIXTURE WATTAGE	VOLTS	REMARKS
61	□	LSI INDUSTRIES #2024-FT-LED-SS-OR-UNV-115-SINGLE- (0-10V DIMMING) OR EQUAL.	(1) 140W/LED 4000 K	150	UNV	SINGLE HEAD LED LIGHT POLE MOUNTED AT 20 FEET HEIGHT. PROVIDE PHOTO SENSOR AS REQUIRED. SEE STRUCTURAL ENGINEERING DRAWINGS FOR POLE BASE REQUIREMENTS.
61C	■	LSI INDUSTRIES #2024-FT-LED-SS-OR-UNV-115-SINGLE- (0-10V DIMMING) OR EQUAL.	(1) 140W/LED 4000 K	150	UNV	SAME AS TYPE "61" EXCEPT WITH 90 MINUTE EMERGENCY BACK-UP INVERTER.
62	□	LSI INDUSTRIES #2024-FT-LED-SS-OR-UNV-115-SINGLE- (0-10V DIMMING) OR EQUAL.	(2) 140W/LED 4000 K	300	UNV	DOUBLE HEAD LED LIGHT POLE MOUNTED AT 20 FEET HEIGHT. PROVIDE PHOTO SENSOR AS REQUIRED. SEE STRUCTURAL ENGINEERING DRAWINGS FOR POLE BASE REQUIREMENTS.
62C	■	LSI INDUSTRIES #2024-FT-LED-SS-OR-UNV-115-SINGLE- (0-10V DIMMING) OR EQUAL.	(2) 140W/LED 4000 K	300	UNV	SAME AS TYPE "62" EXCEPT WITH 90 MINUTE EMERGENCY BACK-UP INVERTER.

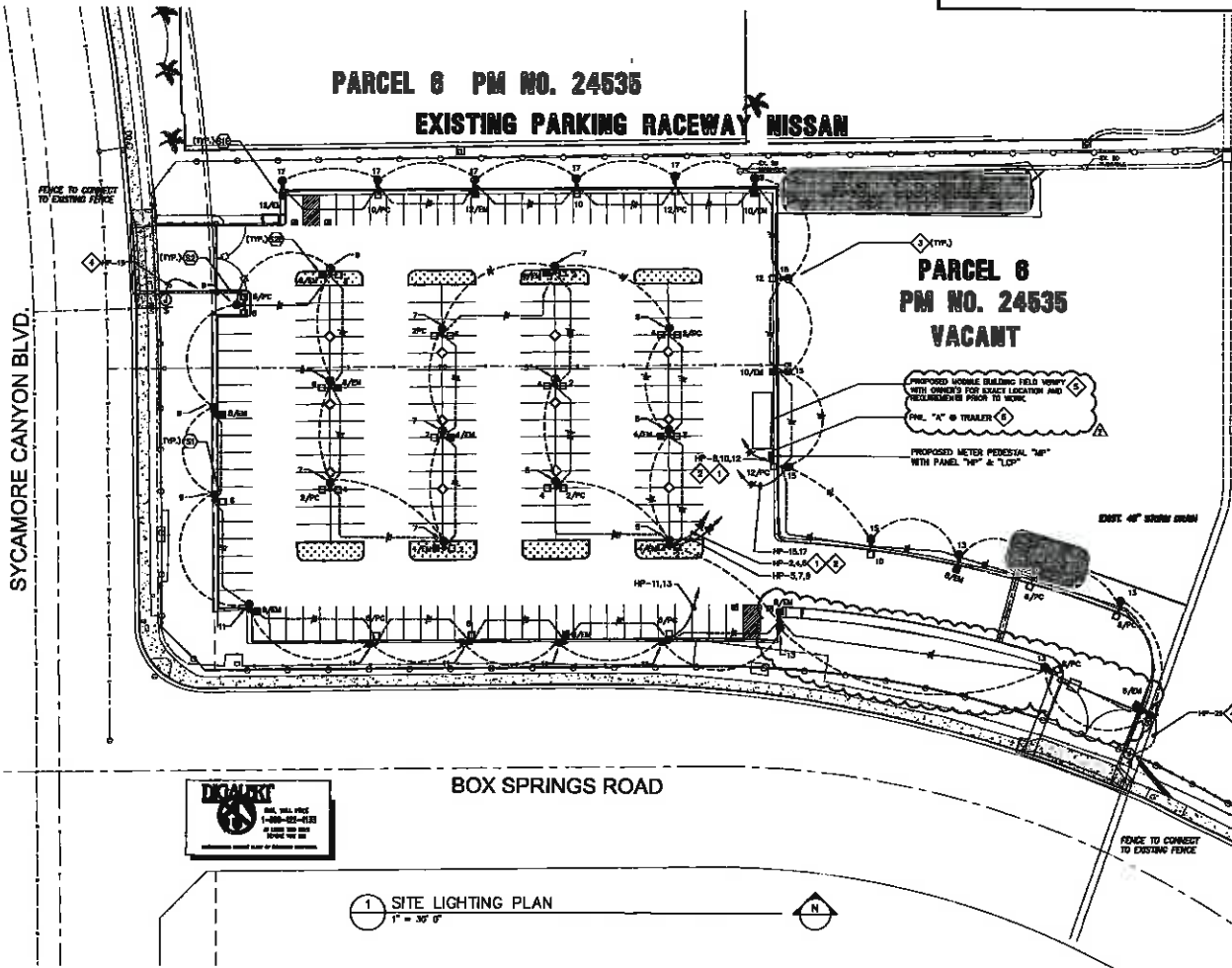
NOTE:
1. VERIFY ALL LIGHT FIXTURE FINISH COLORS WITH OWNER(S) AND/OR OWNER'S REPRESENTATIVE.

KEY NOTES

- ◇ EXTERIOR LIGHTS TO BE CONTROLLED VIA OWNER'S TIMESWITCH.
- ◇ LIGHT DESIGNATED WITH "DC" SHALL BE "ON" AFTER BUSINESS HOUR (FROM DUSK TO DAWN). PROVIDE PHOTOCELL AS REQUIRED.
- ◇ PROVIDE WEATHER PROOF, GFI RECEPTACLE ON LIGHT POLE. SEE DETAIL. VERIFY ALL LOCATION AND REQUIREMENTS WITH OWNER(S) AND/OR OWNER'S REPRESENTATIVE.
- ◇ PROPOSED FUTURE MOUNTMENT SIGN. VERIFY WITH OWNER AND/OR CIVIL FOR EXACT LOCATIONS, QUANTITIES, AND REQUIREMENTS PRIOR TO INSTALLATION.
- ◇ PROPOSED COMMERCIAL MODULAR WILL BE UNDER SEPARATE PLAN AND REVIEW PACKAGE.
- ◇ PROVIDE UNBUILT MOUNTING BRACKET FOR PANEL "A" AS REQUIRED.

SITE PLAN GENERAL NOTES

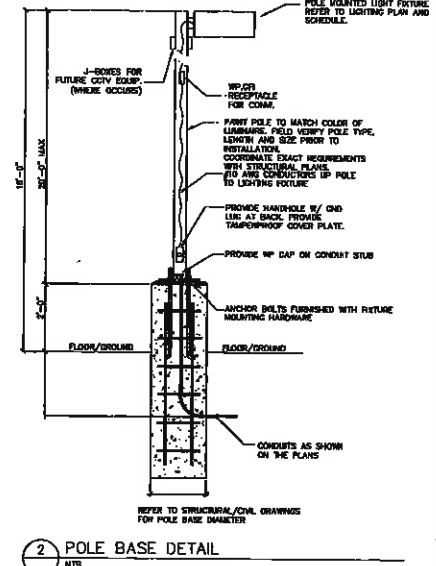
1. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING OR CONDUITS, ETC., AND TO PREVENT HAZARDS TO PERSONNEL AND/OR DAMAGE TO EXISTING UNDERGROUND UTILITIES ON STRUCTURES WHETHER OR NOT SHOWN AND INSTALLED BY ANY OTHER CONTRACTOR. THE ENGINEER IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES ON STRUCTURES WHETHER OR NOT SHOWN OR DETAILLED AND INSTALLED BY ANY OTHER CONTRACTOR. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SHOULD SUCH UNEXPECTED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY ELEMENTS FOR CONSTRUCTION SAFETY.
2. CALL UNDERGROUND ALERT BEFORE YOU DIG. 1-800-422-4133.
3. MINIMUM CONDUIT SIZE SHALL BE 3/4" - 0.004.
4. MINIMUM CONDUIT SIZE SHALL BE #10 AWG - U.S.R.
5. ALL ELECTRICAL ENCLOSURE/DEVICE MOUNTED OUTDOORS SHALL BE WEATHERPROOF (NEMA 3C).
6. ALL FUTURE AND SPARE CONDUITS SHALL BE PROVIDED WITH A NYLON PULL STRING.



LED AREA LIGHTS - (EXEMPT)



LED AREA LIGHTS
These are exempt from the requirements of the California Electrical Code for outdoor lighting. They are not required to be weatherproof (NEMA 3C).



Prophet Solutions, Inc.
Mechanical-Electrical-Plumbing
7700 Adaptor Ave., Suite 205
Fremont, CA 94520
Telephone: (925) 924-1000
Fax: (925) 924-1011
Website: www.prophetsol.com

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PROPHET SOLUTIONS, INC.
8848 AVENIDA ENCINAL, SUITE 100
CARLSBAD, CA 92008

A PORTION OF
PARCEL 6 OF
PARCEL MAP NO.
24535

DATE	DESCRIPTION	BY	CHKD BY

SITE LIGHTING PLAN
E-2.0



J & B ENGINEERS, SURVEYORS

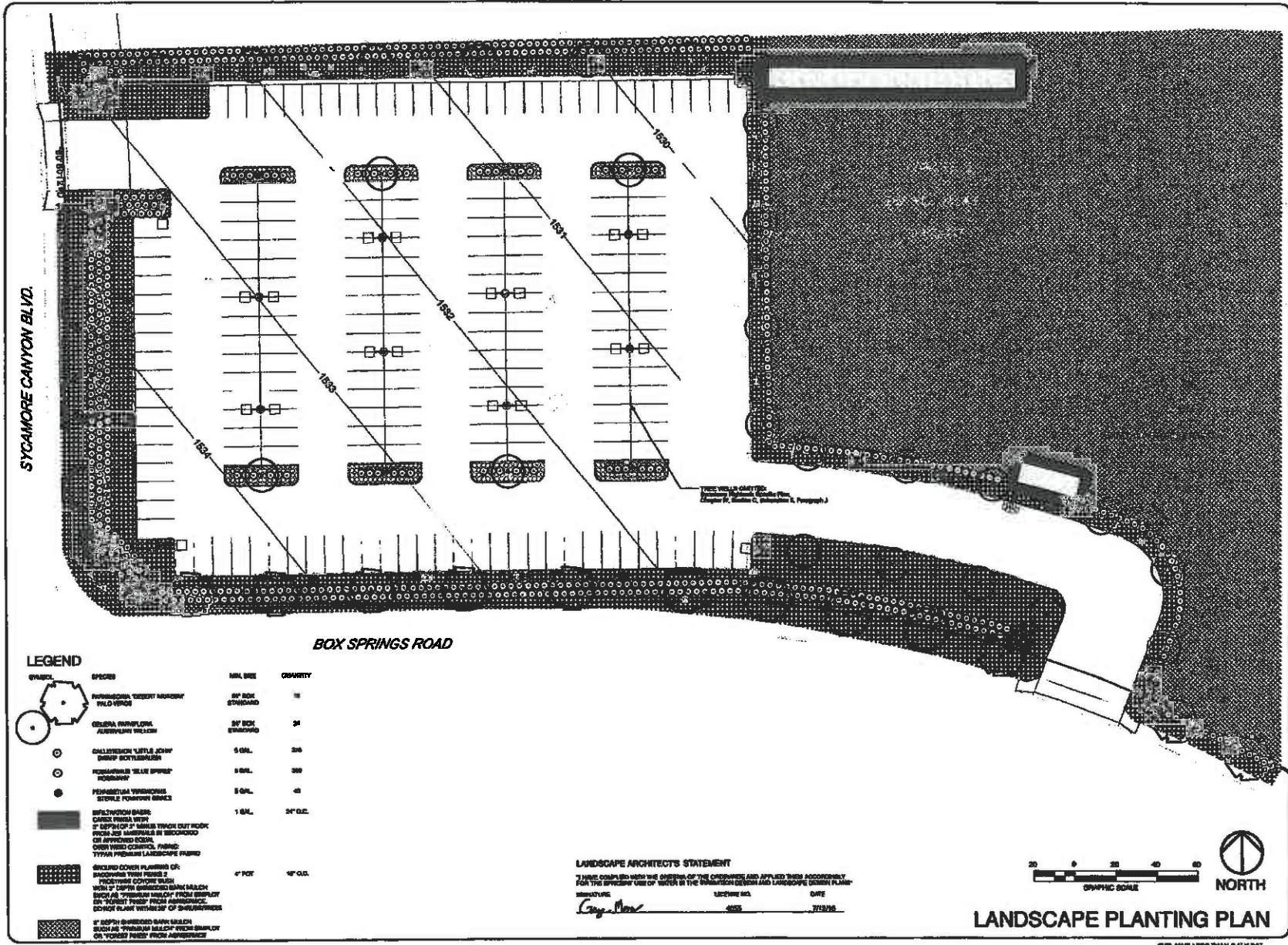
CLIENT
NISSAN RACEWAY
APN 26B-020-079
CITY OF RIVERSIDE
CALIFORNIA

DATE

PREPARED BY

DESIGNER GH
CHECKER GH
DATE 7/12/16
PROJECT 16-004

SHEET
L-5
OF 7 SHEETS



LEGEND

SYMBOL	SPECIES	MIN. SIZE	QUANTITY
	HYDRANGEA 'SECRET MISTERY' WILD VIBRIS	18" APC STANDARD	18
	CELANO CANNIFLORA AUREOLATA WILSON	24" BOX STANDARD	24
	CALLISTEMON 'LITTLE JOHN' DWARF BUTTERFLIES	6 GAL.	200
	POEONIA 'SALIE SPINNE' ROSEMARY	6 GAL.	200
	PERSEAETIA VIRENS STURLE FORTYMAN WILSON	6 GAL.	40
	BRILLIANT BASS DWARF PINKA WILSON	1 GAL.	24' O.C.
	2" DEPTH OF 2" GRANULAR WASH OUT ROCK FROM ALL MATERIALS BE SECONDARY OR APPROVED EQUAL OPEN WIND CONTROL FILING TYPICAL PAVEDLANDSCAPE PAVING	2" POT	12' O.C.
	2" DEPTH 2\" GRANULAR BARK MULCH SUCH AS PERMAN MULCH OVER GRASS OR YOUNG TREES FROM APPROVED	2" POT	12' O.C.

LANDSCAPE ARCHITECT'S STATEMENT
 I HAVE COMPLETED THE DESIGN OF THE COURSE AND APPLIED THERE ACCORDINGLY
 FOR THE SPECIFIC USE OF WHICH IN THE PROVISIONS OF THE LANDSCAPE DESIGN PLAN.
 SIGNATURE: *Greg Moore* LICENSE NO. 4255 DATE 7/12/16



LANDSCAPE PLANTING PLAN

IF PLAN IS LESS THAN 24" X 36"
 IT IS A REDUCED PRINT.
 REDUCE SCALES ACCORDINGLY.

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



August 31, 2016

CHAIR

Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Steve Manos
Lake Elsinore

Russell Betts
Desert Hot Springs

STAFF

Director
Ed Cooper

John Guerin
Paul Ruff
Barbara Santos

County Administrative Center
4080 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Ms. Gaby Adame, Project Planner
City of Riverside Planning Division
3900 Main Street, Third Floor
Riverside, CA 92522

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1080R116
Related File Nos.: P15-0958 (Conditional Use Permit), P15-0959 (Design
Review), P15-1105 (Tentative Parcel Map)
APN: 155-290-061

Dear Ms. Adame:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC's general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Riverside Case Nos. P15-0958 (Conditional Use Permit), P15-0959 (Design Review), P15-1105 (Tentative Parcel Map); a proposal to construct a 6,029 square foot express carwash with a 1,081 square foot detail station and 7,221 square foot vacuum station, and two commercial retail buildings totaling 16,607 square feet located on a 4.0 acre parcel, located northerly of Arlington Avenue, westerly of Van Buren Boulevard, and southerly of Doolittle Avenue. The project also proposes a tentative parcel map to subdivide the parcel into two commercial lots.

The site is located within Airport Compatibility Zone D of the 2005 Riverside Municipal Airport Compatibility Plan. Compatibility Zone D limits nonresidential intensity to 100 people per average acre, and 300 people per single acre. The applicant proposes to subdivide the 4.0 acre parcel into a 2.2 acre parcel (northern portion) and 1.8 acre parcel (southern portion). The northern portion of the project proposes to construct a 6,029 square foot express carwash with a 1,081 square foot detail station and 7,221 square foot vacuum station, resulting in an occupancy of 50 people and an average intensity of 23 people per acre, and a single acre intensity of 35 people. This is consistent with Compatibility Zone D criteria of 100 people per average acre and 300 people per single acre. The southern portion of the project proposes to construct a 2,572 square foot and 14,035 square foot commercial retail buildings, resulting in an occupancy of 277 people using the building code method, which results in an average intensity of 154, and a single acre intensity of 234 people. This is consistent with Compatibility Zone D single acre criteria of 300 people, but inconsistent with the average intensity criteria of 100 people per acre. However, if the parking code method is used to determine occupancy (1.5 persons for every parking spaces required/provided), it results in 53 parking spaces and an occupancy of 80 people, and an average intensity of 44 people per acre, which would be consistent with Compatibility Zone D average criteria of 100 people per acre.

The project site is approximately 1,600 feet from the westerly terminus of Runway 9-27 and 2,000 feet from the southerly terminus of Runway 16-34 at Riverside Municipal Airport. However,

AIRPORT LAND USE COMMISSION

the elevation of Runway 16-34 at its southerly terminus (771.8 feet AMSL) is 14.2 feet higher than the elevation of Runway 9-27 at its westerly terminus (757.6 feet AMSL). At the distances cited above, structures with a top point elevation exceeding 773.6 feet and 791.8 feet AMSL, respectively, would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAA OES) through the online Form 7460-1 review process (<https://oeaaa.faa.gov>). The site has an elevation of 738 feet AMSL, and the top point of the proposed 35 foot high building would be 773 feet AMSL. Therefore, ALUC staff did not require review by the FAA OES for height/elevation reasons.

The project site was previously heard by ALUC on January 13, 2011, for a proposed rezone where the applicant was proposing to change the property's zoning from Business Manufacturing Park to Commercial Retail (ZAP1051RI10). The Commission found the proposed rezone consistent with the 2005 Riverside Municipal Airport Land Use Compatibility Plan. There were no land uses being proposed at that time, and the staff report noted that the applicant would have to come back to ALUC for review if any land uses were to be proposed on this site. It was also noted that any future land use would have to be consistent with the compatibility criteria and nonresidential intensity requirements of Compatibility Zone D. Based on these facts, the applicant submitted ZAP1080RI16 for a consistency finding for their proposed project of a carwash and retail buildings.

As ALUC Director, I hereby find the above-referenced projects **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, subject to the following conditions.

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses are prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses and hazards to flight.
3. The attached notice shall be provided to all prospective purchasers of the property and tenants and/or lessees of the building(s) and structures on-site.

AIRPORT LAND USE COMMISSION

4. No new detention basins are proposed through this application. Any new aboveground detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around such detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. The maximum height of the proposed structures shall not exceed 35 feet above ground level and the maximum elevation of the proposed structures, including all roof mounted appurtenances (if any) shall not exceed 773 feet above mean sea level.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893, or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, ALUC Director

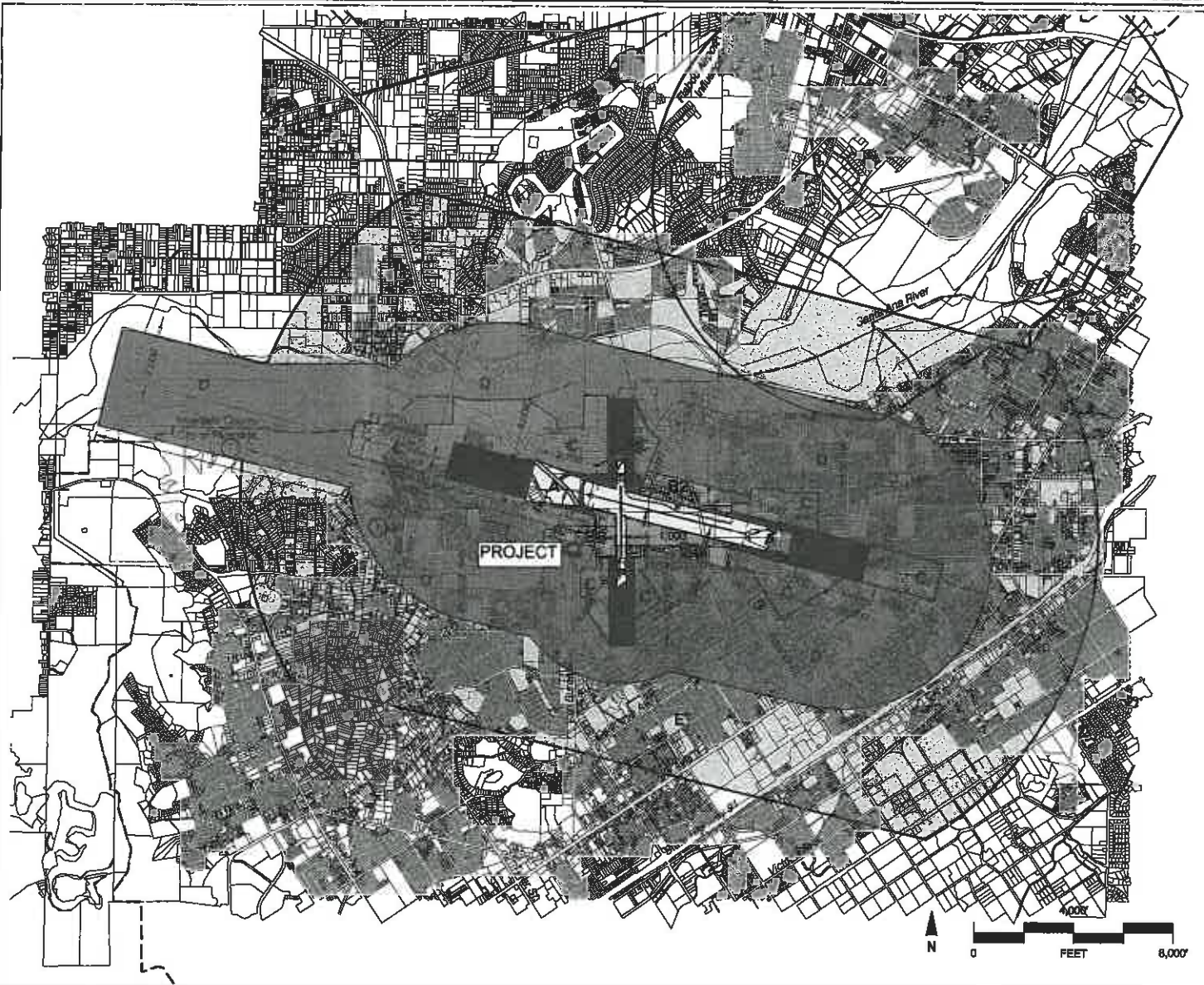
Attachments: Notice of Airport in Vicinity

cc: Arthur Dermirchyan (applicant/property owner)
John Kaliski Architects (representative/payee)
Kim Ellis, Airport Manager, Riverside Municipal Airport
ALUC Case File

Y:\AIRPORT CASE FILES\Riverside\ZAP1080RI16\ZAP1080RI16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits

Note

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

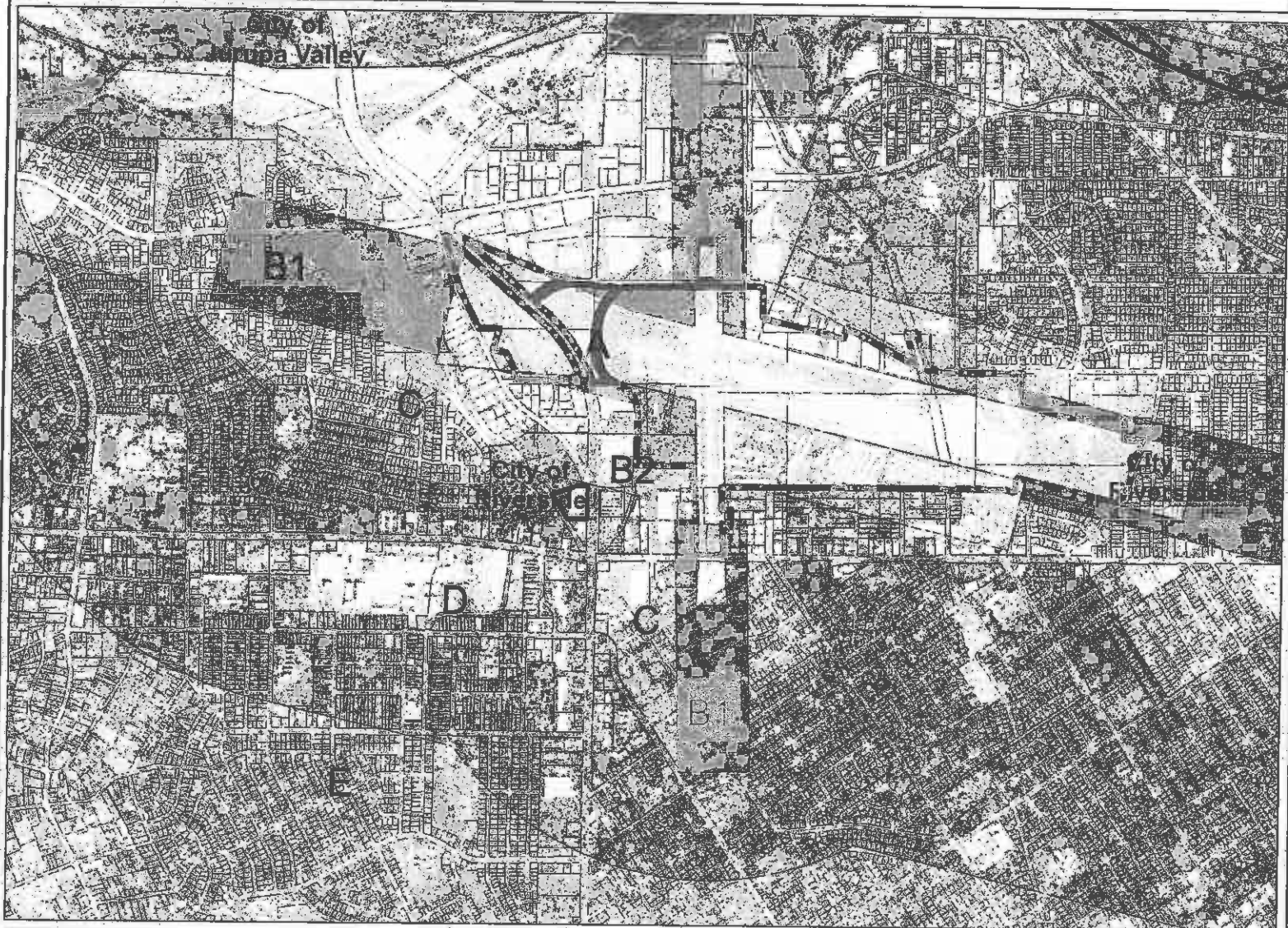
See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section R1.2 for special exceptions to the Table 2A criteria.

Riverside County
Airport Land Use Commission
Riverside County
Airport Land Use Compatibility Plan
Policy Document
(Adopted March 2005)

Map RI-1

Compatibility Map
Riverside Municipal Airport

My Map



Legend

- Airports
- AIA

Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



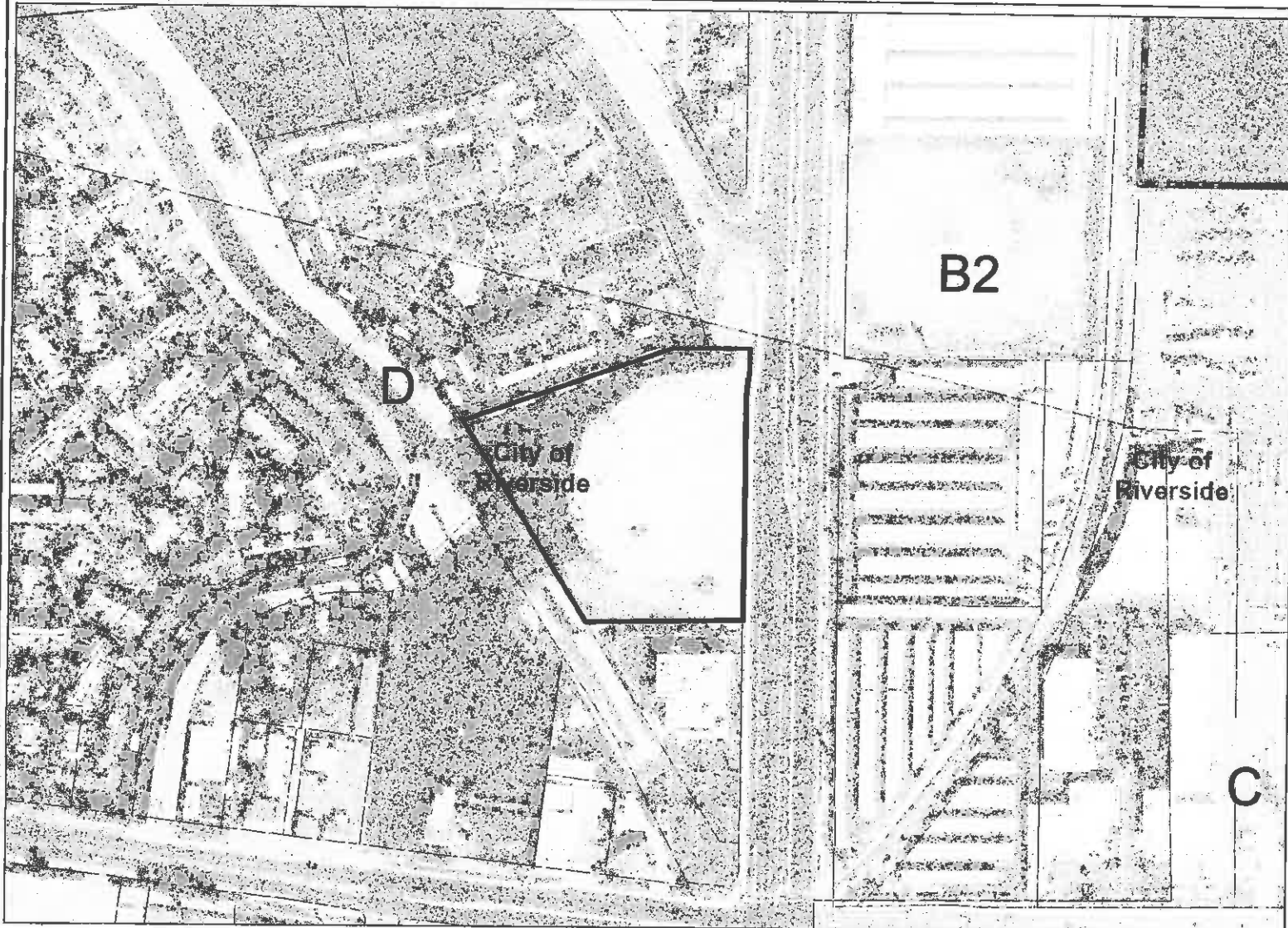
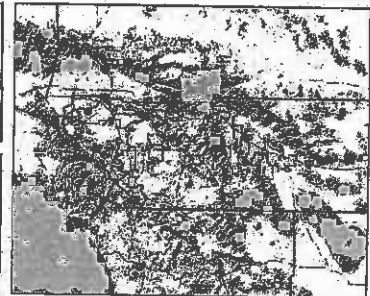
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA

Airport Compatibility

- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



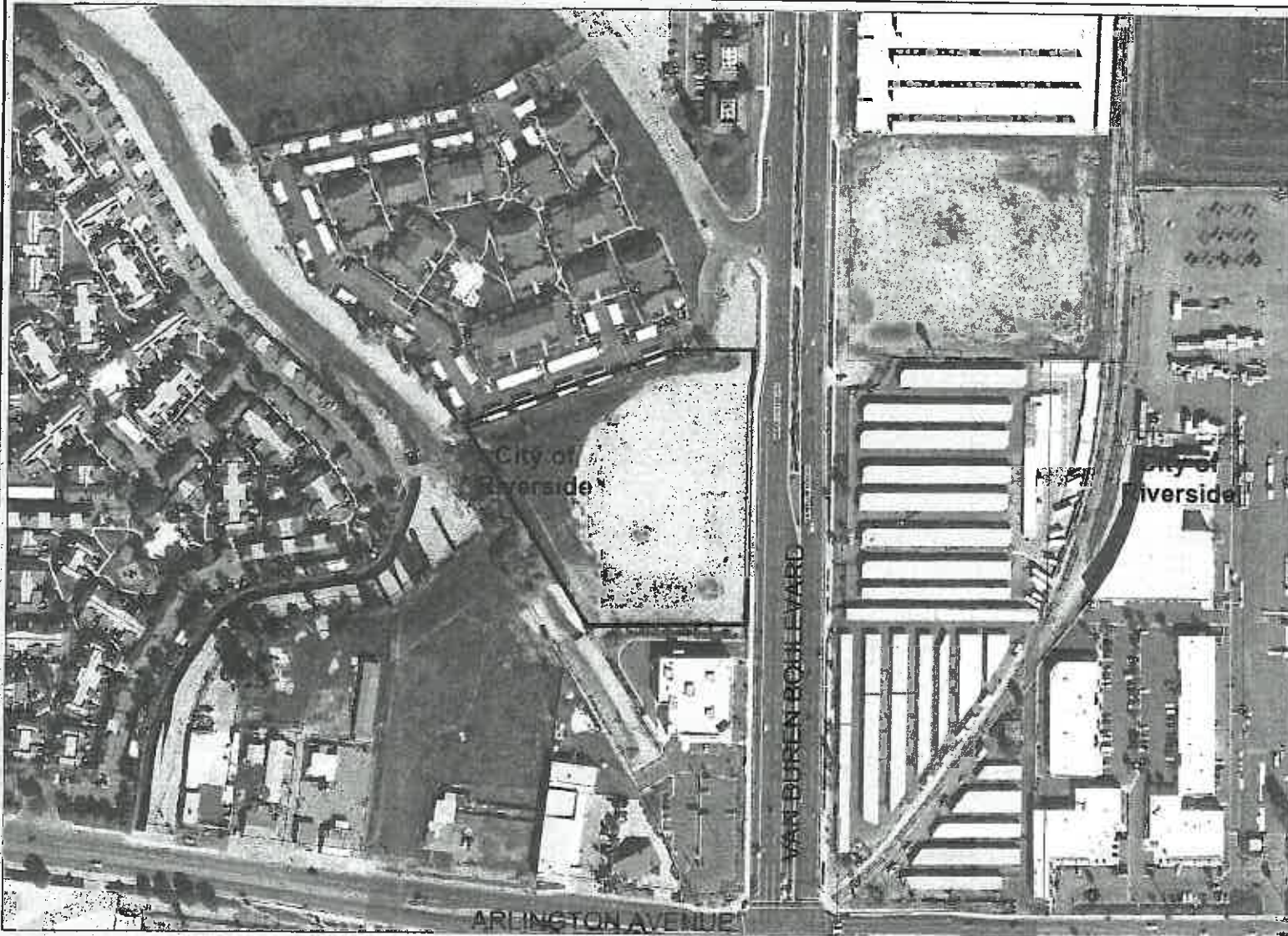
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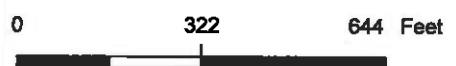
Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



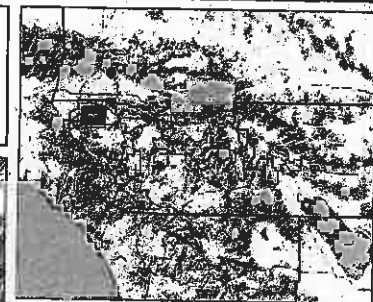
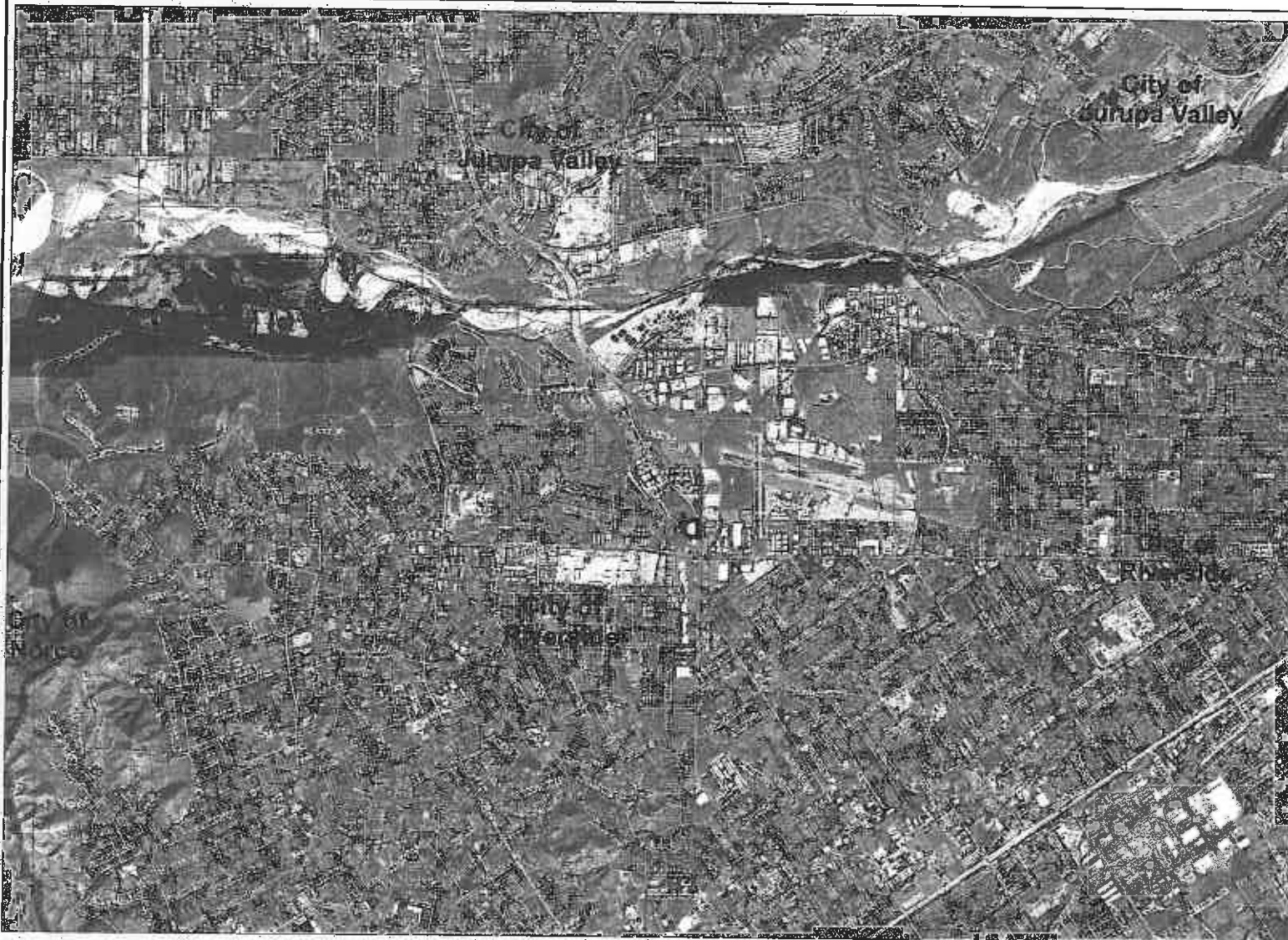
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Notes

My Map



Legend

- City Boundaries
- Cities**
- highways_large**
- HWY
- INTERCHANGE
- INTERSTATE
- USHWY
- majorroads
- counties
- cities
- hydrography/lines**
- waterbodies**
- Lakes
- Rivers



0 5,150 10,301 Feet



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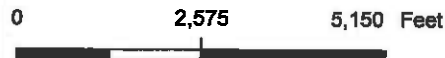
Notes

My Map



Legend

-  City Boundaries
-  Cities
- roadsanno**
- highways**
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
- roads**
-  Major Roads
-  Arterial
-  Collector
-  Residential
-  counties
-  cities
- hydrographylines**
- waterbodies**
-  Lakes
-  Rivers



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Notes

My Map



Legend

-  Display Parcels
-  City Boundaries
- Cities**
- roads**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
-  counties
-  cities
- hydrography**
- lines**
- waterbodies**
-  Lakes
-  Rivers



0 1,288 2,575 Feet



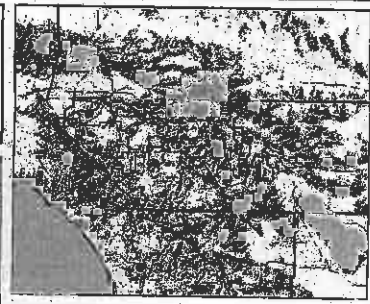
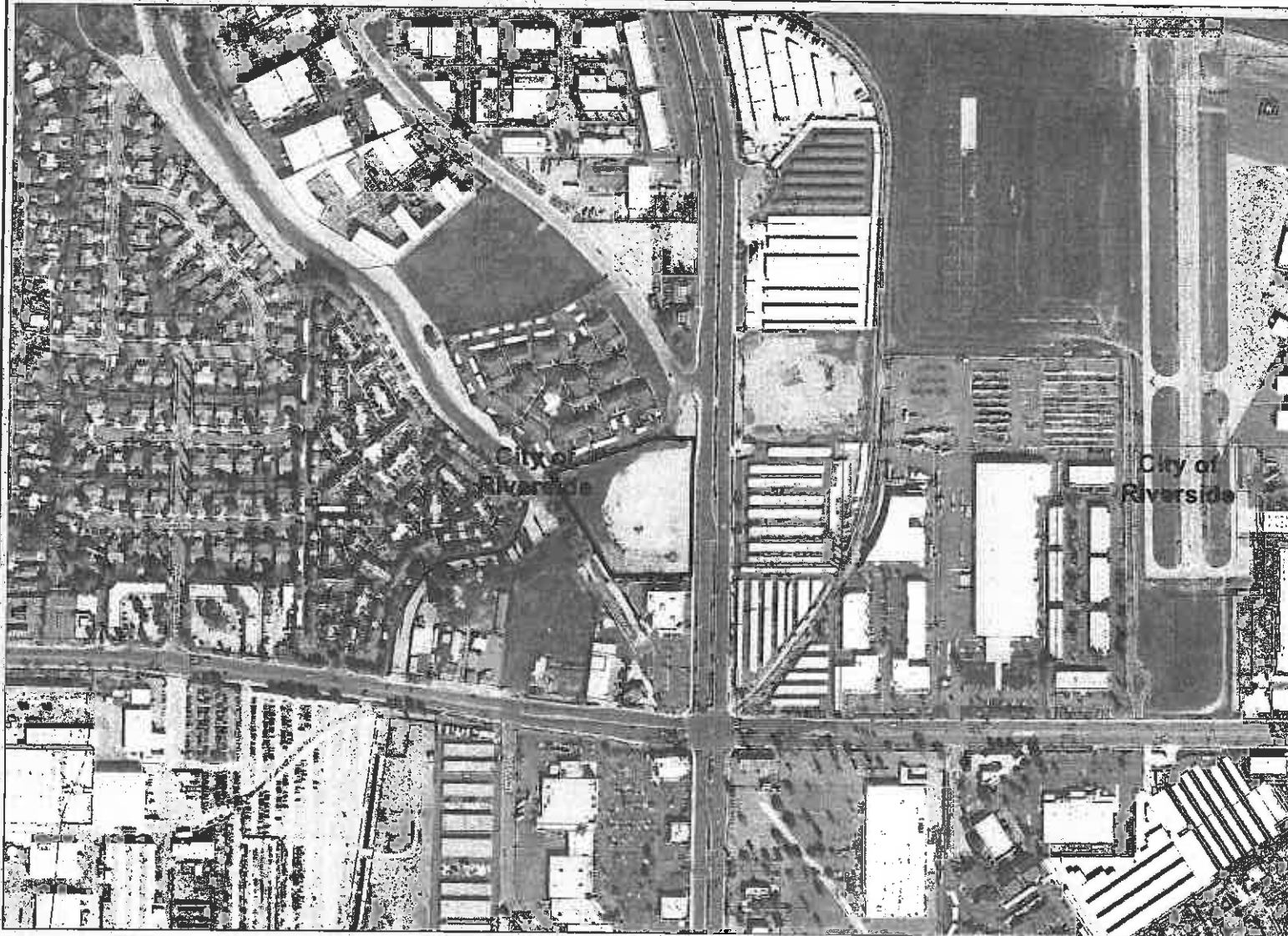
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



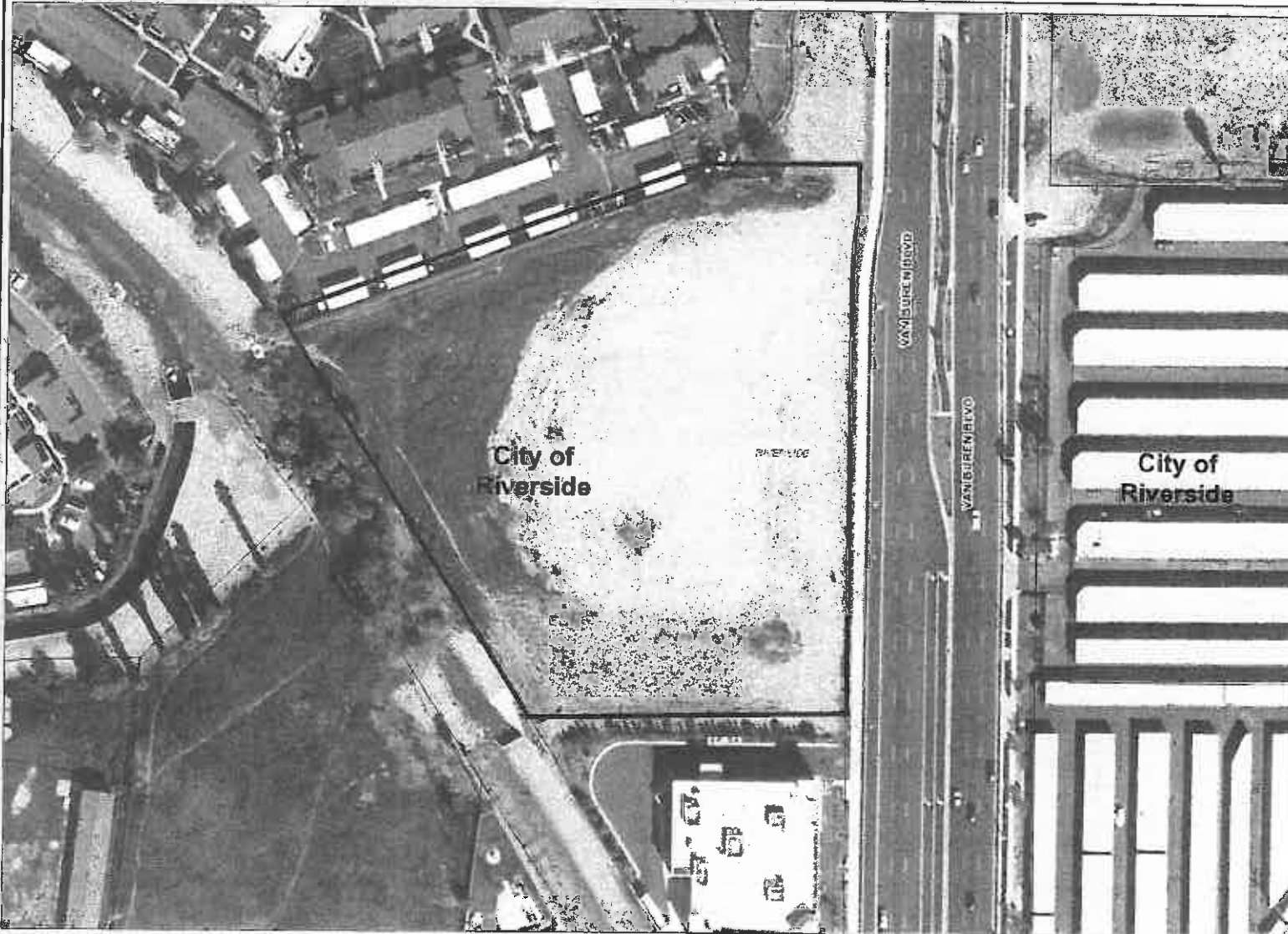
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 161 322 Feet



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... 8/16/2016 12:59:39 PM

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Notes

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John Kaliski AIA C 17,945 URBAN STUDIO

John Kaliski Architects

MEMORANDUM

Date: August 11th, 2016
Re: Project Description
Community Development Department – Planning Division
Project Address: 6458 Van Buren Boulevard, Riverside, CA 92503
Proposed Express Car Wash, and Retail
APN: 155-290-061
Submitted By: Javier Vázquez, John Kaliski Architects
3780 Wilshire Boulevard, Suite 300, Los Angeles, CA 90010

Project Description

6458 Van Buren Boulevard is a vacant lot located in the City of Riverside to the north of Arlington Avenue and on the west side of Van Buren Boulevard. The Riverside Municipal Airport is located across the street to the northeast. Two-minutes and 1.4 miles north along Van Buren Boulevard, a City-designated parkway, this street crosses the Santa Ana River and the northern city limit.

The Project site is four (4) acres in size and located within the Airport Business Park with a designated commercial land use. The property to the north of the site is designated with a residential land use with existing two-story multi-family residential buildings. Along the west side of the property, opposite Van Buren Boulevard, is an approximate 55' to 80' wide drainage easement that connects to the Santa Ana River. To the south of the site is another commercial property incorporating an existing one-story Walgreens drug store. Adjoining the site to the east is Van Buren Boulevard, a nine-lane street with a designated Class 2 City Bikeway.

The proposed development envisions a high quality built environment with an express carwash on the north half of the property and multi-tenant retail and a stand-alone retail on the south. The architectural forms of the buildings reference the performance shapes of airplanes and cars. The color of primary accent panels and architectural features such as the metal panels of the carwash roof, the corrugated metal panels on walls and roof of the retail buildings - azure blue - is used to unify all of the Project's built forms. The carwash is placed at the center of the site as a whole, establishes the architectural character of the project and features 360° architectural expression. The roof forms a butterfly shape formed by metal panels that wrap over the parapets and overlay the smooth stucco and glass walls of the carwash tunnel. The stucco and glass portions, follow the shape of the roof and glass walls extend to the ground and provide transparency to the car wash function at select portions of the tunnel. To further accent the architecture, stainless steel metal louvers accent the transition between the roof and adjacent materials. At night the roof form as well as the spaces behind the glass feature decorative accent lighting. The site as a whole is designed to ensure that all activities, day and night, are visible from the street, enhancing safety for users and passers-by. Other buildings on the site feature similar forms, details, and colors, but are simpler in

concept and geometry so as to draw the eye to the center of the site where the architectural expression is concentrated.

The landscape design features two courtyard spaces that organize the site and built-form program. The north courtyard is bordered on the east, north, and west sides by stands of trees and on the south side by the primary façade of the car wash. To the north of the courtyard, Palo Verde trees screen the commercial use from adjacent residential uses. To the west of the courtyard a stand Indian Rosewood trees form a crescent about stormwater retention and infiltration swale. Along Van Buren Boulevard groupings of flowering Palo Verdes and Chitalpas are organized to allow directed views into and out of the site. This courtyard also incorporates in its center the carwash vacuum stations, canopies, and a detailing building. The south courtyard is populated with rows of olive trees, shading the retail parking area and recalling Riverside's agricultural past. A three-foot high berm along Van Buren runs the length of the site from south to north and provides a visual buffer between this street and Project.

Two vehicular ingress and egress access drives are provided to allow entry and exit to both the north and south portions of the site. Northbound access to the project from Van Buren is via a dedicated and signalized left-turn and U-turn lane located opposite the Project's north vehicular entry. A new property line and proposed tentative parcel map to separate the carwash from the retail is designed so that both lots may operate independently from each other while at the same time providing access between the two lots.

PROGRAM ANALYSIS

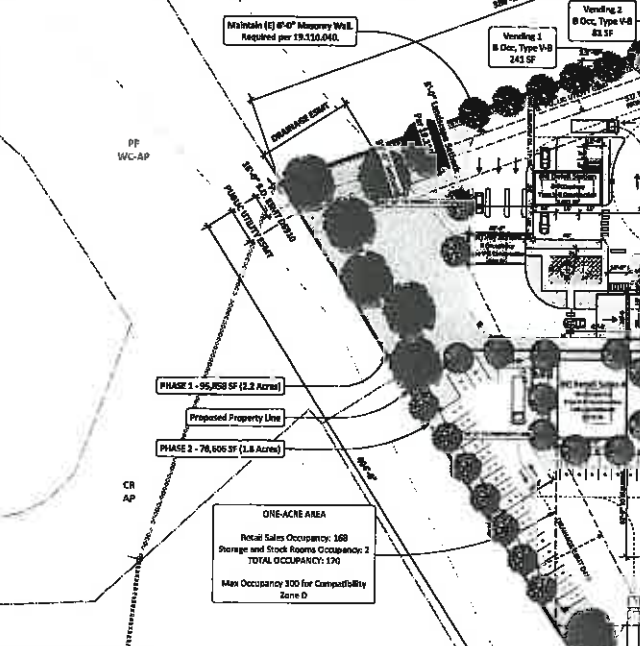
Item	Area (Square Feet)	Total Proposed Building
Total	4,617,484 SF	57
Phase 1	2,235,450 SF	2
Phase 2	2,382,034 SF	55

Item	Area (Square Feet)	Required Parking	Proposed Land Use*	Occupancy
Automotive City Station	800	100	2.5 per Station	1.5
Single Carwash Station	8,000	2 Employees (2000) (Employee Area per 2000)	2.5 per Station	1.5
Offices, WC	477	2 Employees (2000) (Employee Area per 2000)	2.5 per Station	1.5
Machine Shop	2,000	2 Employees (2000) (Employee Area per 2000)	2.5 per Station	1.5
Vacuum Station 1	100	5 Vacuum Stations x 1 Loading Space	1 per Vacuum Station	1
Vacuum Station 2	3,304	16 Vacuum Stations	1 per Vacuum Station	1
Vacuum Station 3	2,117	8 Vacuum Stations	1 per Vacuum Station	1
Diesel Station	1,000	2 Employees (2000) (Employee Area per 2000)	2.5 per Station	1.5
Vending 1	341	100	100 Gross	1
Vending 2	80	100	100 Gross	1
Total Overall	16,481	100	200 Gross	100

Item	Area (Square Feet)	Required Parking	Proposed Land Use*	Occupancy
Retail A	2,144	5 Spaces (3 Spaces/200 SF)	40 Spaces (2 Spaces/200 SF)	10
Merchandise, Restaurant and Grade Floor Area	2,144	5 Spaces (3 Spaces/200 SF)	40 Spaces (2 Spaces/200 SF)	10
Storage and Stock Rooms	390	8 Standard Spaces	300 Gross	3
Total Retail A	2,534	13	300 Gross	13

Item	Area (Square Feet)	Required Parking	Proposed Land Use*	Occupancy
Retail B	14,577	40 Spaces (2 Spaces/200 SF)	40 Spaces (2 Spaces/200 SF)	10
Merchandise, Restaurant and Grade Floor Area	14,577	40 Spaces (2 Spaces/200 SF)	40 Spaces (2 Spaces/200 SF)	10
Storage and Stock Rooms	3,800	41 Standard Spaces	300 Gross	3
Total Retail B	18,377	81	300 Gross	13

*Per 2013 California Building Code, Table 1004.1.3
 The number of people calculated for offices and retail sales should usually be adjusted (20%) to reflect the actual occupancy levels before making the final people per acre determination and Riverside County Airport Land Use Compatibility Plan Policy Document (December 2008), 013.
 Reflection from a required parking ratio to a proposed parking space per Shared Parking Agreement shown during building permit process.



PEOPLE PER ACRE CALCULATIONS

Calculations Based on Parking Space Requirements*

Assumed Usage Intensity

- 1.3 Required Parking Spaces (See Program Analysis, including Vacancy Reduction)
- 1.7 Required Parking Spaces (1.5 People Per Space = 182 People Minimum Per Acre)
- 1.52 People x 1.3 People Per Space = 198 People per Acre Average for the Site

Calculations Based on California Building Code**

Building Occupancy Field

- 277 People Minimum On Site (See Program Analysis)
- 277 People Min. Min. Occupancy x 1.3 People Per Space = 362 People per Acre Average for the Site

*Per Riverside County Airport Land Use Compatibility Plan Policy Document (December 2008), 013
 **Counting a portion of the adjacent road to the east of the site is 4.8 acres

ALLOWABLE BUILDING HEIGHTS AND AREAS (TABLE 503)

Building	Occupancy	Construction Type	Height (Feet)		Stories		Area (Sq-Ft)	
			Allowed	Proposed	Allowed	Proposed	Allowed	Proposed
Carwash Station	U	III	40	25	2	1	5,000	5,200
Detail Station	U	V-B	40	25	2	1	5,000	5,200
Retail Retail A	M	V-B	40	25	2	1	4,000	2,800
Retail Retail B	M	III-A	40	25	2	1	14,500	14,875

FIRE-RESISTANCE RATING REQUIREMENTS (TABLE 601)

Building Element	Construction Rating (Hours)	
	Type I/A	Type V-B
Primary Structural Frame	1	0
Roofing Walls - Exterior	2	0
Structural Walls - Interior	1	0
Nonbearing Walls and Partitions - Exterior	See Table 602	
Nonbearing Walls and Partitions - Interior	0	0
Floor Construction and Associated Secondary Members	1	0
Roof Construction and Associated Secondary Members	1	0

FIRE-RESISTANCE RATING REQUIREMENTS EXTERIOR WALLS (FIRE-SEPARATION DISTANCES) (TABLE 602)

Fire Separation Distance (Feet)	Type I/A		Type V-B	
	M Occupancy	B Occupancy	M Occupancy	B Occupancy
0-15	0	0	0	0
15-45	0	0	0	0
45-75	0	0	0	0
75-100	0	0	0	0

(N) Left Turn Signal

(N) Extension of clear zone to allow sightlines for vehicles making the left turn from Doolittle.

(N) No Right Turn on Red

(N) RPU Pole, Typ.

(E) Area, equipment, landscaping, etc are approximated. Survey to be completed in the future.

(E) Landscape to be removed.

(E) Sewer Manhole Cover to remain.

(N) Two-way Entryway

(E) Wood Fence, Hedges, and Trees to be demolished, typ.

(E) Chain-link Fence to be demolished.

(E) Palm Tree to be demolished.

(E) Sewer Manhole Cover to remain.

(E) Street Light

(N) Movement Sign see A102

(E) Fire Hydrant

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

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(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

(E) Street Light

(N) Monument Sign see A102

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 Carolyn Matsumoto
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Express Car Wash
 6458 Van Buren Boulevard
 Riverside, CA 92503
 Contact:

Arthur Dermirchyan
 202 East First Street
 Santa Ana, CA 92701

No.	Date	Issue/Notes
1	04.28.2016	Site Plan
2	06.09.2016	Pre-Development Mtg of City of Riverside
3	06.17.2016	Site Plan - Alternative
4	06.24.2016	Site Plan - Alternative
5	06.26.2016	Site Plan to Traffic Engineer
6	07.07.2016	Site Plan to Traffic Engineer
7	07.21.2016	Schematic Design Meeting
8	10.30.2016	CU* and Design Review Submittal
9	12.31.2016	Traffic/Use Parcel Map Submittal
10	06.10.2018	ALUC Submittal

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 Paul Lewis, Lead AP
 plewis@paullewis9003.com

KEY

- (P) Building Structure
- (N) Right Angle Turn Template per City of Riverside Traffic Works Dept standard CWP No 116
- Fire Apparatus Access Road per Information Bulletin B-12-001
- (E) Street Light
- (N) Area Light (20' Height)
- (N) Area Light (14' Height)
- (N) Mechanical Equipment Screen
- (N) Shaded Roofing
- (N) Blue Racks
- (N) Paving

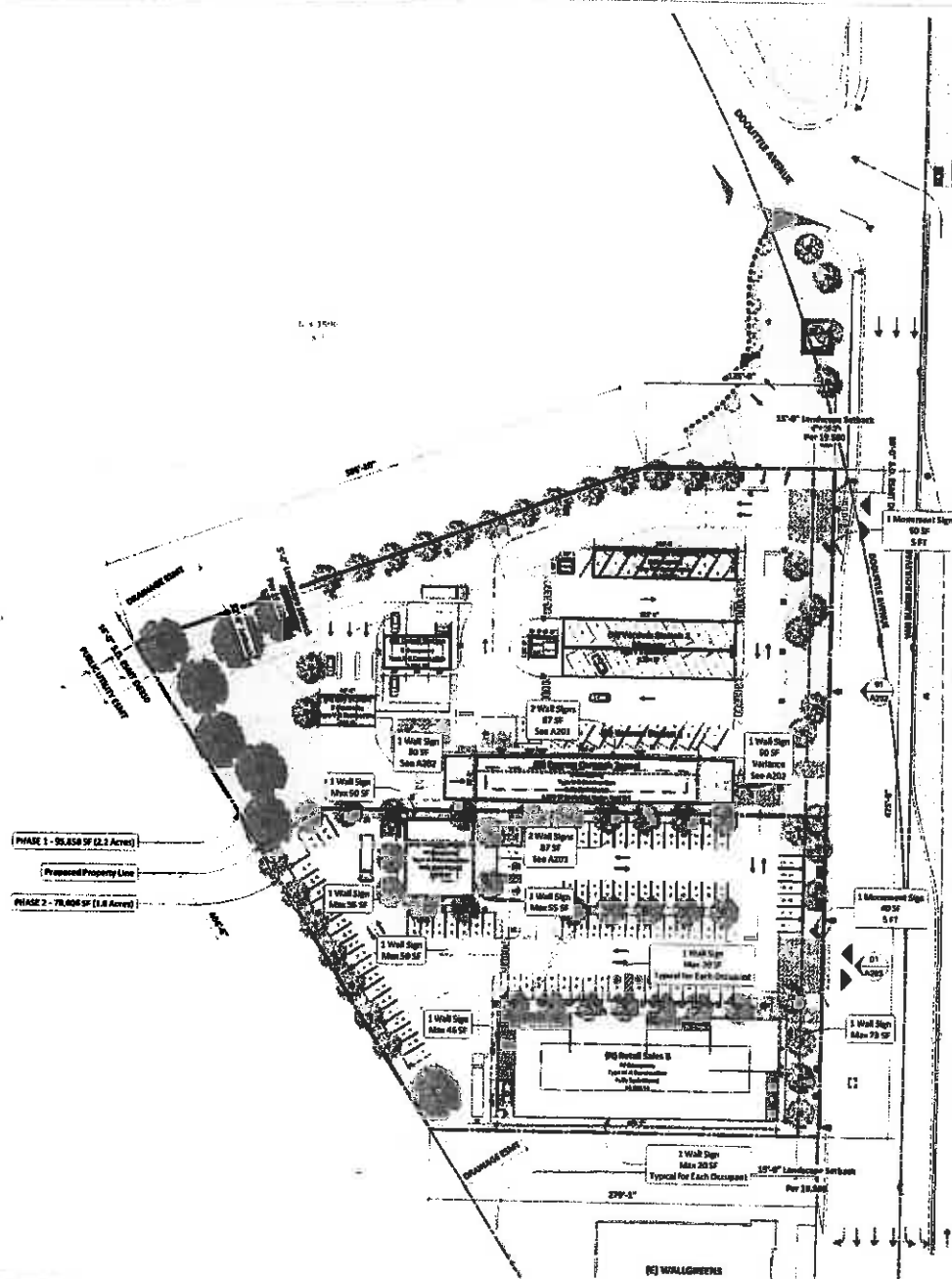
DESIGN DEVELOPMENT

Drawn By	Reviewed By
CM	JK
Date	Project No.
8/25/16	1612
Site Name	1612 161225 6458 Van Buren Drawings.rvt

SITE PLAN
A101
 All drawings, documents, specifications, reports, computer files, field data and other associated items are instruments of service prepared by the Architect and shall remain the property of the Architect.

01 Site Plan
 Scale: 1" = 40 FT

(E) WALLGREENS



PRESTANDING SIGNS IN NON-RESIDENTIAL AND MIXED-USE ZONES (TABLE 19.021.080.B)

Use	Location	Sign Category	Site Area (Sqr Ft)	Maximum Sign		Notes
				Allowed	Prohibited	
Commercial, Community, and Mixed-Use Signs	Phase 1	Low Buffer	2.2	Max Area 30 SF Max Height 2.1 FT	10 FT	
	Phase 2	Van Buren	1.8	Max Area 40 SF Max Height 2.1 FT	10 FT	

BUILDING SIGNS IN NON-RESIDENTIAL AND MIXED-USE DISTRICTS (TABLE 19.020.080.A)

Use	Location	Sign Category	Sign Area (Sqr Ft)	Sign Sign		Notes
				Allowed	Prohibited	
Express Car Wash	Front	Arch	100	2 Wall Signs 140 SF	2 Wall Signs 140 SF	
		Side	80	1 Wall Sign 80 SF	1 Wall Sign 80 SF	
		Signage	140	2 Wall Signs 140 SF	2 Wall Signs 140 SF	
		Sign	80	1 Wall Sign 80 SF	2 Wall Signs 140 SF	
		Arch	20	1 Wall Sign 20 SF	100	
	Retail Sales A	Arch	20	1 Wall Sign 20 SF	100	
		Side	20	1 Wall Sign 20 SF	100	
		Sign	20	1 Wall Sign 20 SF	100	
		Arch	20	1 Wall Sign 20 SF	100	
		Sign	20	1 Wall Sign 20 SF	100	
Retail Sales B - 1	Arch	75	1 Wall Sign 75 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 2	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 3	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 4	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 5	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 6	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 7	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 8	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 9	Arch	20	1 Wall Sign 20 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		
	Sign	20	1 Wall Sign 20 SF	100		
	Arch	20	1 Wall Sign 20 SF	100		
Retail Sales B - 10	Arch	40	1 Wall Sign 40 SF	100	Sign Program	
	Side	20	1 Wall Sign 20 SF	100		

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Express Car Wash
6458 Van Buren Boulevard
Riverside, CA 92503

Arthur Dermirchyan
202 East First Street
Santa Ana, CA 92701

No.	Date	Issue/Notes
1	04.28.2015	Site Plan
2	06.02.2015	Pre-Development Mtg. w/ City of Riverside
3	06.11.2015	Site Plan
4	08.24.2015	Site Plan - Attachment
5	09.29.2015	Site Plan to Traffic Engineer
6	07.21.2016	Site Plan to Traffic Engineer
7	07.21.2016	Site Plan to Traffic Engineer
8	10.02.2016	City and County Review Submittal
9	11.21.2016	Final Plan and Submittal
10	04.18.2017	ALUC Submittal

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Landscape Architecture**

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Contact:
Paul Lewis, Lead AP
plaw@paulandassociates.com

KEY

	(B) Building Structure
	(E) Street Light
	(H) Area Light (20' Height)

Drawn By CM	Approved By JK
Date 6/15/16	Project No. 1512
File Name 1512 100408 6458 Van Buren Drawings.rvt	

**SIGN PLAN
A102**

Drawings, documents, specifications, reports, computer files, text data and other information herein are confidential and service prepared by the Architect and shall remain the property of the Architect.



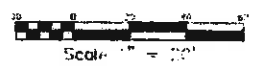
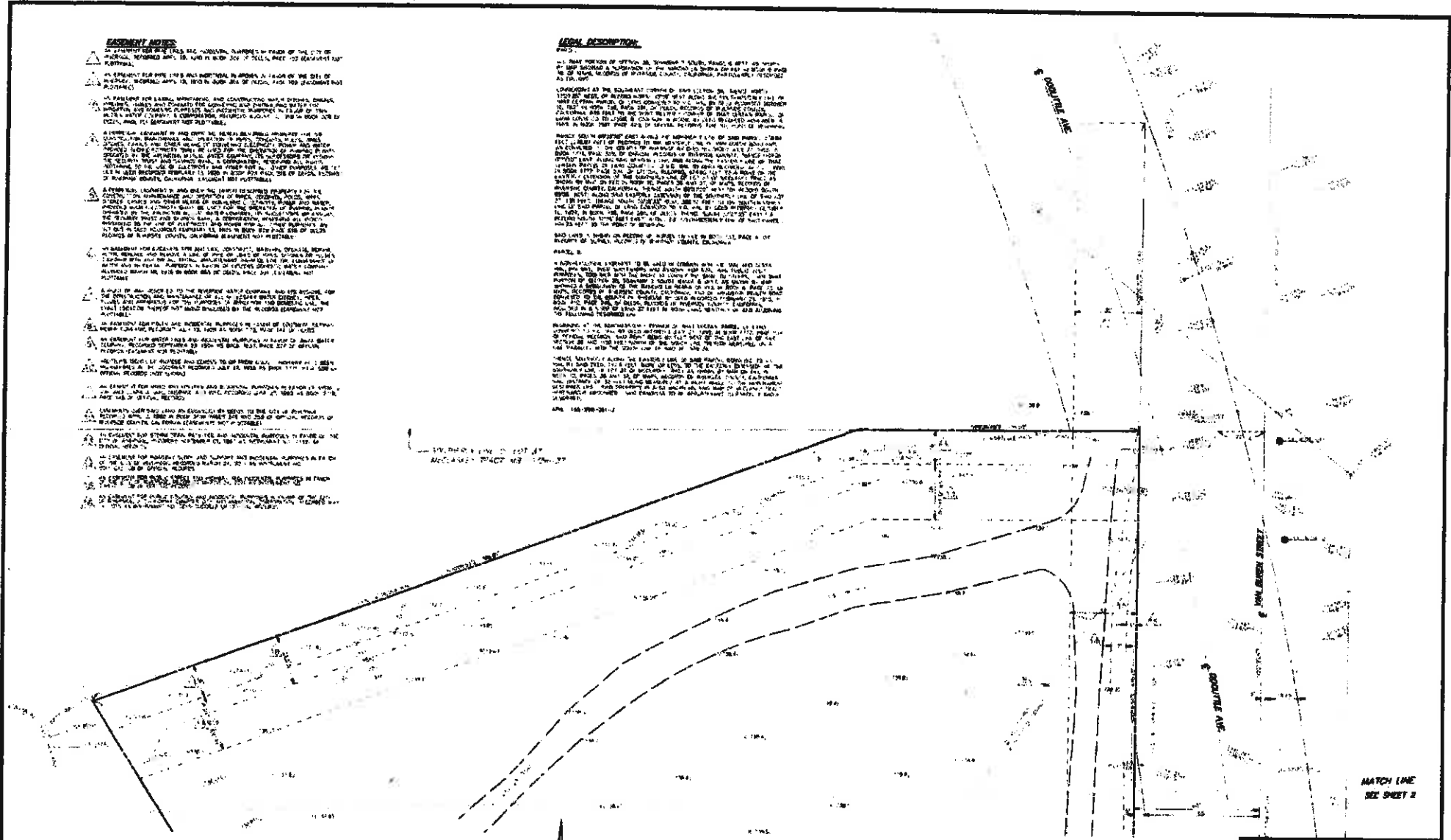
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1. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.
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19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
20. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

LEGAL DESCRIPTION

LEGAL DESCRIPTION OF THE PROPERTY DESCRIBED IN THIS MAP IS AS FOLLOWS: ...

... (Detailed legal description text) ...



NO. 100-100-100-1	DATE: 10/1/10	PROJECT: 100-100-100-1
BY: [Name]	CHECKED: [Name]	DATE: 10/1/10
SCALE: 1" = 40'	PROJECT: 100-100-100-1	DATE: 10/1/10

NO. 100-100-100-1	DATE: 10/1/10	PROJECT: 100-100-100-1
BY: [Name]	CHECKED: [Name]	DATE: 10/1/10
SCALE: 1" = 40'	PROJECT: 100-100-100-1	DATE: 10/1/10

TOPOGRAPHIC MAP

DATE: 10/1/10

PROJECT: 100-100-100-1

SCALE: 1" = 40'

100-100-100-1

DATE: 10/1/10

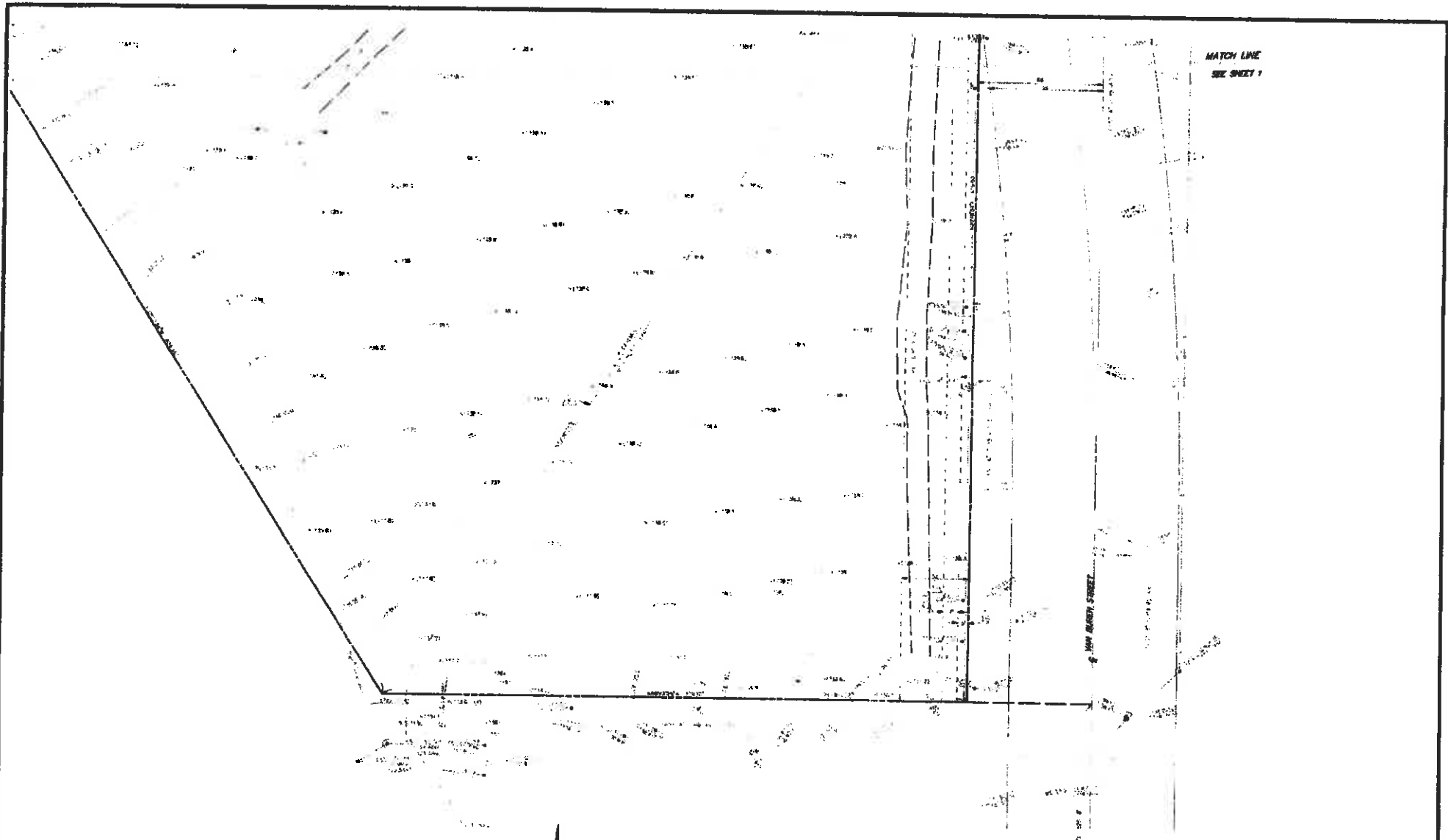
PROJECT: 100-100-100-1

SCALE: 1" = 40'

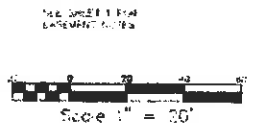
BY: [Name]

CHECKED: [Name]

DATE: 10/1/10



MATCH LINE
SEE SHEET 1

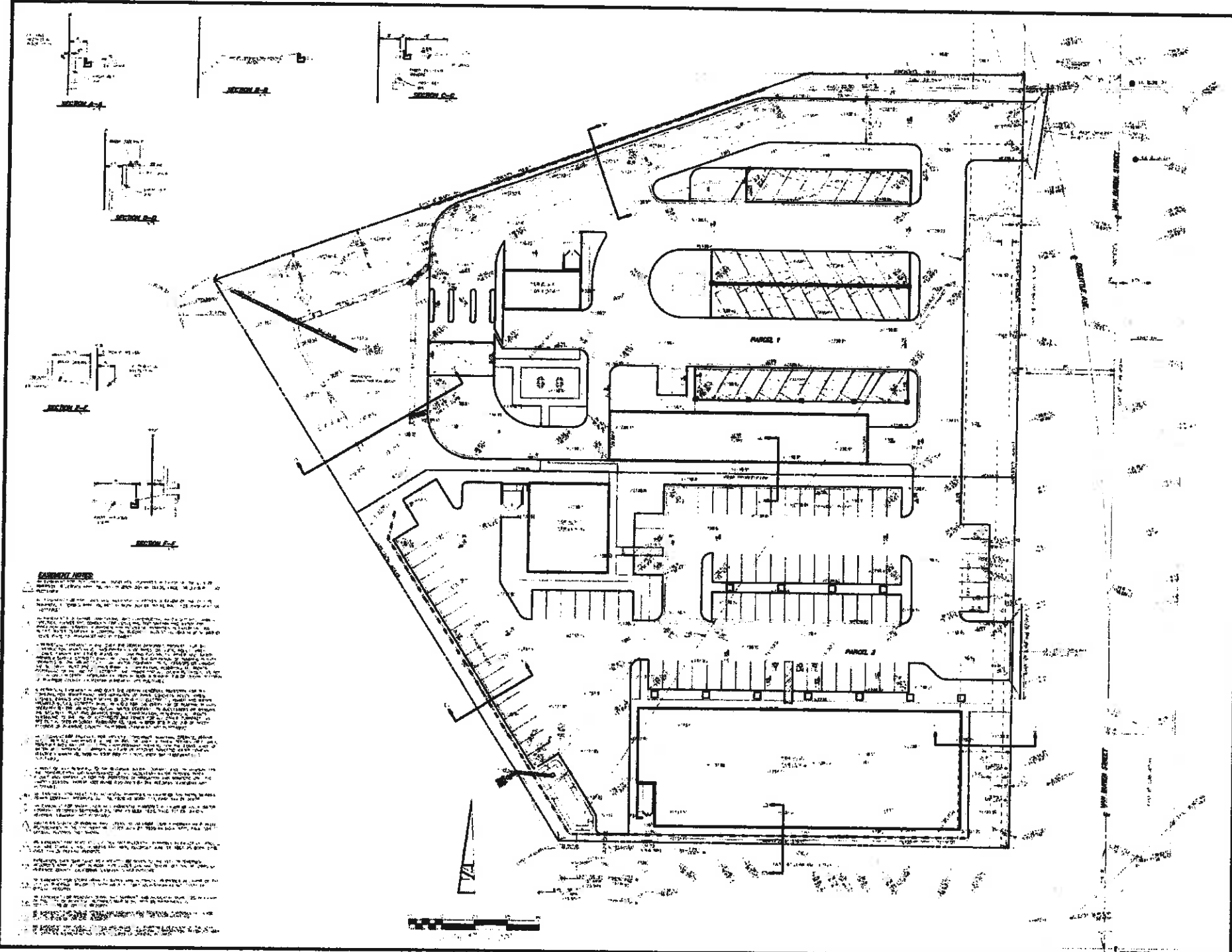


BY	DATE

REVISIONS	DATE	BY	REASON

TOPOGRAPHIC MAP	
SIZE 8 1/2" x 11" (215 x 279 mm)	PRODUCTION DATE 1958
SCALE 1:62,500	AREA OF MAP 10,000 AC.
DATE 11/1/57	BY

NO. 43714	DATE 11/1/57	BY
SCALE 1:62,500	AREA 10,000 AC.	DATE 11/1/57
BY 	DATE 	BY
NO. 	DATE 	BY



PERMITS REQUIRED

1. Obtain a preliminary engineering plan from the local health department for the proposed building footprints and parking areas.
2. Obtain a preliminary engineering plan from the local health department for the proposed parking areas.
3. Obtain a preliminary engineering plan from the local health department for the proposed site grading and drainage system.
4. Obtain a preliminary engineering plan from the local health department for the proposed site grading and drainage system.
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10. Obtain a preliminary engineering plan from the local health department for the proposed site grading and drainage system.

PRELIMINARY GRADING PLAN

LAND DEVELOPMENT
CONSTRUCTION
PLANNING - CIVIL - SURVEYING

DATE	NOV 10 2011
SCALE	AS SHOWN
DRAWN BY	J. W. BROWN
CHECKED BY	J. W. BROWN
PROJECT NO.	11-001
SHEET NO.	1 OF 1

SIGHTLINE PLANTING - 9,500 SF



PARKING LOT CANOPY - 15,000 SF



EASEMENT - 10,250 SF AND
RETENTION BASIN - 1,750 SF



STREET-FACING LANDSCAPE - 7,250 SF



LANDSCAPE BUFFER - 5,300 SF



PLANT SCHEDULE

NAME	WICKELS	BIRTH SIZE	QUANTITY	CONTAINERS	SPACING
71* Symplocos paniculata Clematis palm	M/L	20-30" tall 20-25" wide	11	40" x 35" clear trunk	PER PLAN
72* Delonix elata Rosewood	L	40" tall 40" wide	7	24 gallon bin	PER PLAN
73* Olea europaea 'Savon Hill' 'Savon Hill' Scaevola olive	L	25 - 35" tall 20 - 20" wide	27	36 gallon bin	PER PLAN
74* Persea indica 'Desert Museum' Pala verde	V/L	20-30" tall 20-25" wide	20	24 and 36 gallon	PER PLAN
75* Chalcidops latifolius 'Pink Dawn' Chalcidops	L	0-30" tall 20-25" wide	5	24 gallon bin	PER PLAN
51 Bougainvillea 'Barbara Bares' Bougainvillea	L	n/a	~750 (6,250 sf)	1 and 3 gallon bins	30" o.c.
52 Plumbago auriculata Blue Dandelion Bush	L	5-10" tall	~700 (32,352 sf)	1 and 3 gallon bins	48" - 60" o.c.
53 Chamaecrista nictitans Cape Bush	L	2-3" tall 3-4" wide	~125 (4,476 sf)	3 gallon bin	72" o.c.
54 Muhlenbergia capillaris Pink muhly	M/L	2' tall	~500 (4,620 sf)	1 gallon bin	30" o.c.
55 Anemone multifida 'Wines' Pastel Fern	M	2-3" tall 2-3" wide	~600 (1,632 sf)	1 and 3 gallon bins	24" o.c.
56 Conoclinium 'Sunset Point' Coneflower	L	2-3" tall 10-12" wide	~125 (1,632 sf)	1 and 3 gallon bins	48" o.c.
57 Paspalum 'Fairy Tale' Fountain grass	L	4" tall 2-3" wide	~750 (3,000 sf)	1 gallon bin	30" o.c.
58 Psychotriaspermum jamaicense Star Jasmine	M/L	10-24" tall	70 Plants (2,940 sf)	n/a	0" o.c.
59 Carex pensilvanica California meadow sedge	M	0-10"	225 Plants (1,800 sf)	n/a	0" o.c.
60 Hypericum calycinum St. Johnswort	M/L	12-15" tall	217 Plants (2,600 sf)	n/a	12" o.c.
61 Symplocos latifolia 'Mandragora' Blue Sage	L/M/L	12-18"	251 Plants (4,026 sf)	n/a	12" o.c.
62 Thymus Thyme	M/L	2-3"	98 Plants (1,960 sf)	n/a	0" o.c.
63 Achillea millefolium Common yarrow	L	10-18"	36 Plants (1,080 sf)	n/a	0" o.c.

* MAINTAIN AT MAXIMUM 32"

WATER ESTIMATES

MANNA - 1,283,204
LAWN - 372,808

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Express Car Wash
8428 Van Burton Boulevard
Riverside, CA 92505

Arthur Demiroghyan
202 East First Street
Santa Ana, CA 92701

- Rev. Date Description
- 04.20.2008 Site Plan
 - 04.02.2008 Predevelopment Mtg. w/ City of Riverside
 - 04.17.2008 Site Plan - Alternative
 - 04.23.2008 Site Plan - Alternative
 - 05.08.2008 Site Plan Set to Traffic Engineer
 - 05.21.2008 Site Plan Set to Traffic Engineer
 - 06.24.2008 Site Plan Set to Traffic Engineer
 - 06.24.2008 0217 and Design Review Submittal
 - 12.01.2008 Final Plan Set to Traffic Engineer

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Landscape Architecture

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plewis@paullewis.com

Drawn By: JF
Checked By: JK
Date: 12/21/10
Project No: 1012
File Name:

LANDSCAPE PALETTE

L102

All drawings, documents, specifications, models, computer files, and data files are the intellectual property and confidential information of Paul Lewis & Associates and shall remain the property of the firm.

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 Carolyn Millerwald
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Project
Express Car Wash
 8458 Van Nuys Boulevard
 Van Nuys, CA 91411

Client
Arthur Demirchyan
 252 East First Street
 Santa Ana, CA 92701

No.	Date	Issue/Notes
1	04.28.2010	Site Plan
2	04.02.2010	Pre-Development Mtg of City of Riverside
3	04.17.2010	Site Plan
4	04.24.2010	Site Plan - Alternative
5	04.29.2010	Site Plan to Traffic Engineer
6	07.07.2010	Site Plan - Back to South Engineer
7	07.21.2010	Revisions to South Engineer
8	08.04.2010	CIP Amendment/Revisions Submitted
9	08.23.2010	Final Plan/Sign Submittal
10	08.19.2010	ALUC Submittal

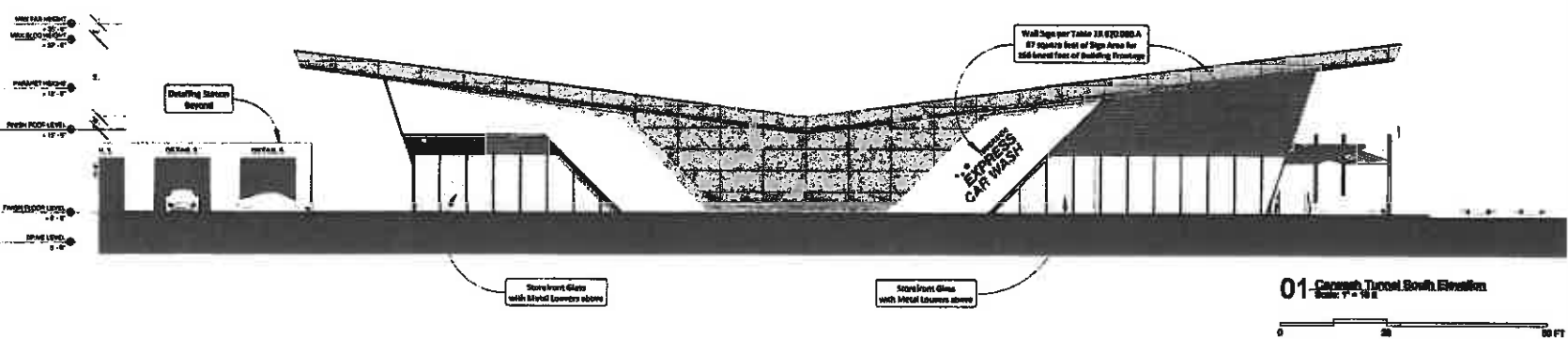
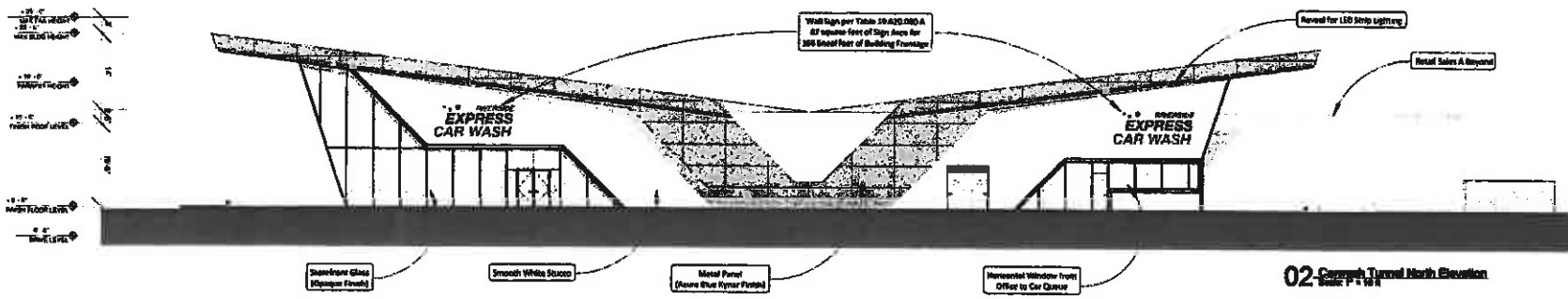
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DESIGN DEVELOPMENT

Drawn By JV	Reviewed By JK
Date 08/10/2010	Project No. 1092
File Name 10121 101201 8458 Van Nuys Drive Plans.rvt	

**CARWASH
 TUNNEL
 NORTH & SOUTH
 ELEVATIONS
 A201**

All drawings, documents, specifications, reports, computer files, field data and other communications are instruments of service prepared by the Architect and shall remain the property of the Architect.



01 Carwash Tunnel South Elevation
 Scale: 1/4\"/>

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No.	Date	Issue/Notes
1	04.28.2014	Site Plan
2	04.28.2014	Pre-Development Map of City of Riverside
3	04.17.2015	Site Plan
4	04.24.2015	Site Plan - Alternative
5	04.28.2015	Site Plan to Traffic Engineer
6	07.07.2015	Site Plan Set by Traffic Engineer
7	07.30.2015	Architectural Design Meeting
8	08.26.2015	CCP Final Design Review Submitted
9	12.22.2015	Technical Permit Application Submitted
10	01.14.2016	ALUC Approved

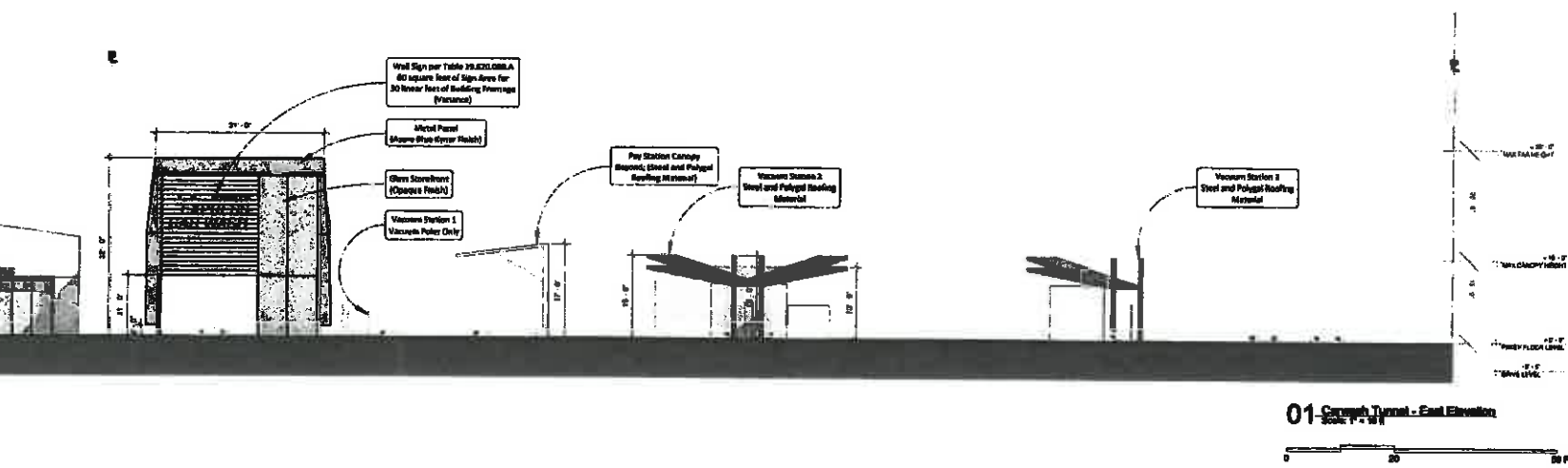
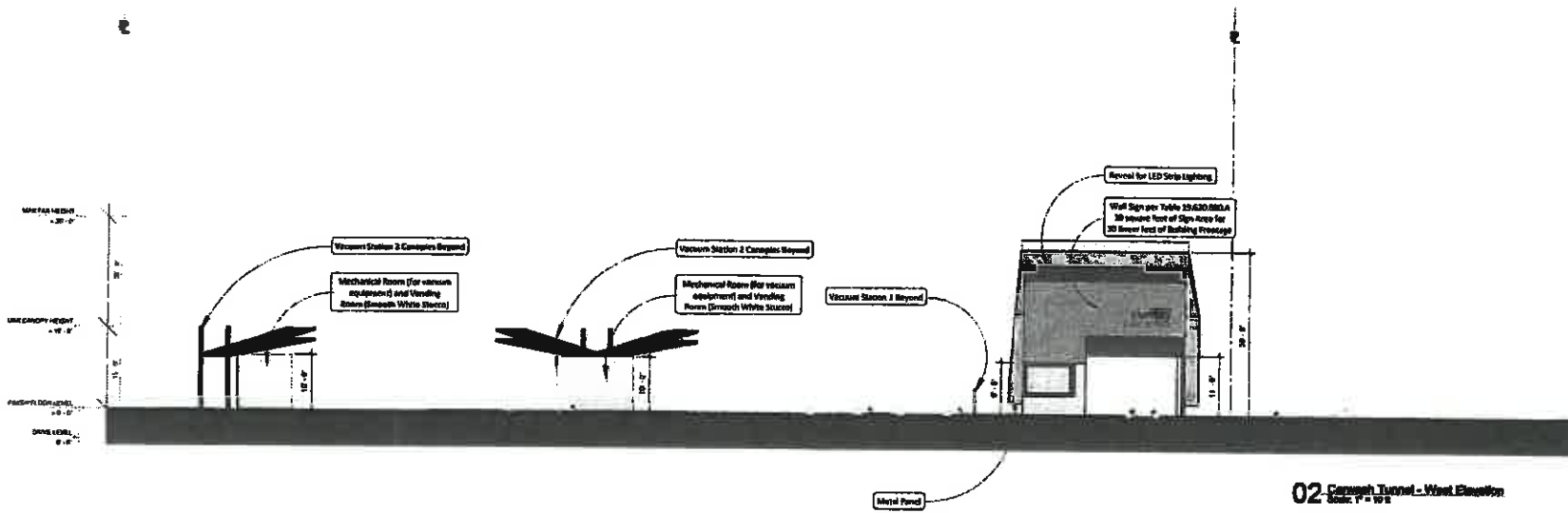
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DESIGN DEVELOPMENT

Drawn By JY	Reviewed By JK
Date 08/19/2016	Project No 14912
File Name 1012 181221 8408 Van Buren Site Plan.rvt	

**CARWASH
 EAST & WEST
 ELEVATIONS
 A202**

All drawings, documents, specifications, reports, schedules, data, data files and other information herein are the property of the Architect and shall remain the property of the Architect.



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Architect:
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 252 East First Street
 Santa Ana, CA 92701

No.	Date	Event/Notes
1	04.08.2015	Site Plan
2	04.08.2015	Pre-Development Mtg. w/ City of Riverside
3	05.17.2015	Site Plan
4	05.29.2015	Site Plan - Alternative
5	05.28.2015	Site Plan for Traffic Engineer
6	07.07.2015	Site Plan Set for Traffic Engineer
7	07.27.2015	Exhausts Design Meeting
8	10.30.2015	CDP and Design Review Submitted
9	12.15.2015	Final Permitting Meeting Scheduled
10	04.16.2016	APUC Review

Paul Lewis & Associates Landscape Architecture

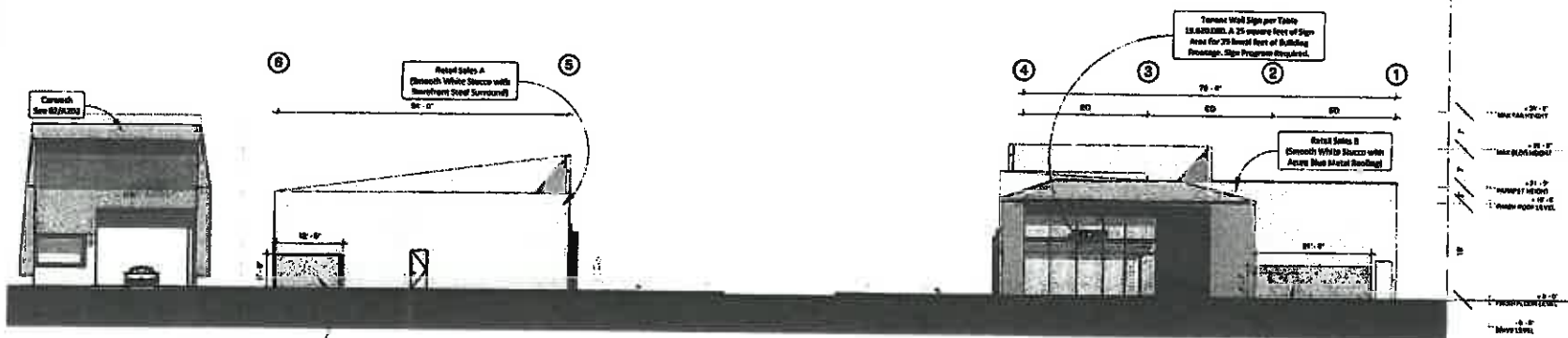
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 plaw@paullewisla.com

DESIGN DEVELOPMENT

Drawn By: JJK
 Project No.: 1512
 Date: 02/12/2016

RETAIL SALES EAST & WEST ELEVATIONS A203

All drawings, documents, specifications, reports, schedules, lists, and bills and notes contained herein are the property of Arthur Demirchyan and shall remain the property of the Architect.

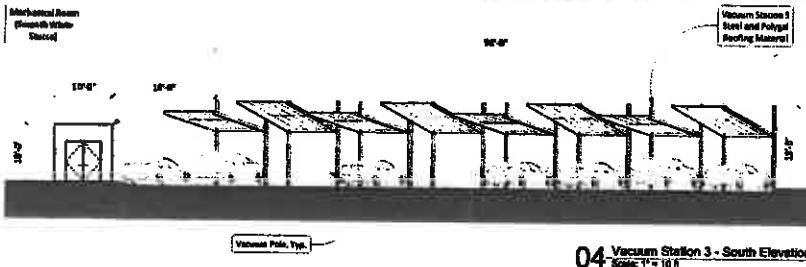


02 Retail Sales - West Elevation
 Scale: 1/8" = 1'-0"

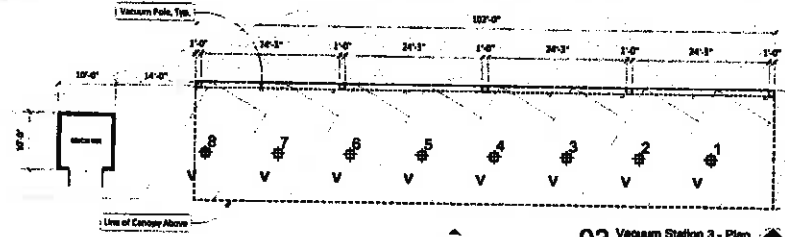


01 Retail Sales - East Elevation
 Scale: 1/8" = 1'-0"

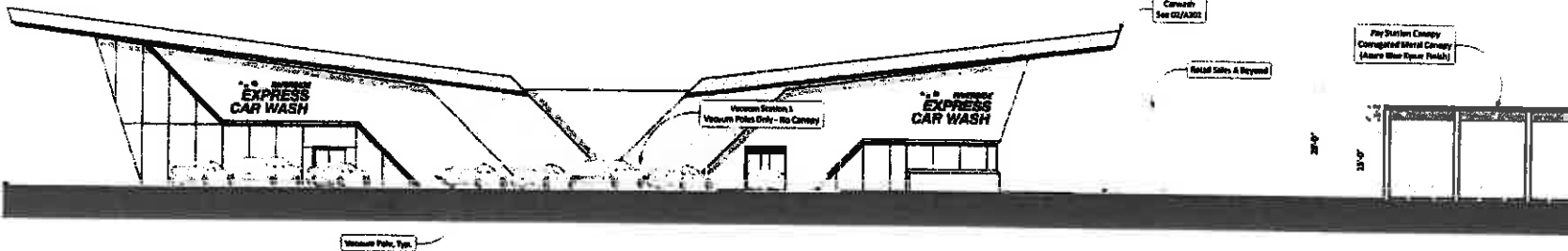
FINISH FLOOR LEVEL
 FINISH GRADE LEVEL
 FINISH CEILING LEVEL
 FINISH ROOF LEVEL
 FINISH EAVE LEVEL
 FINISH GROUND LEVEL
 FINISH DRIVE LEVEL
 FINISH SIDEWALK LEVEL
 FINISH CURB LEVEL
 FINISH GRADE LEVEL
 FINISH DRIVE LEVEL
 FINISH SIDEWALK LEVEL
 FINISH CURB LEVEL



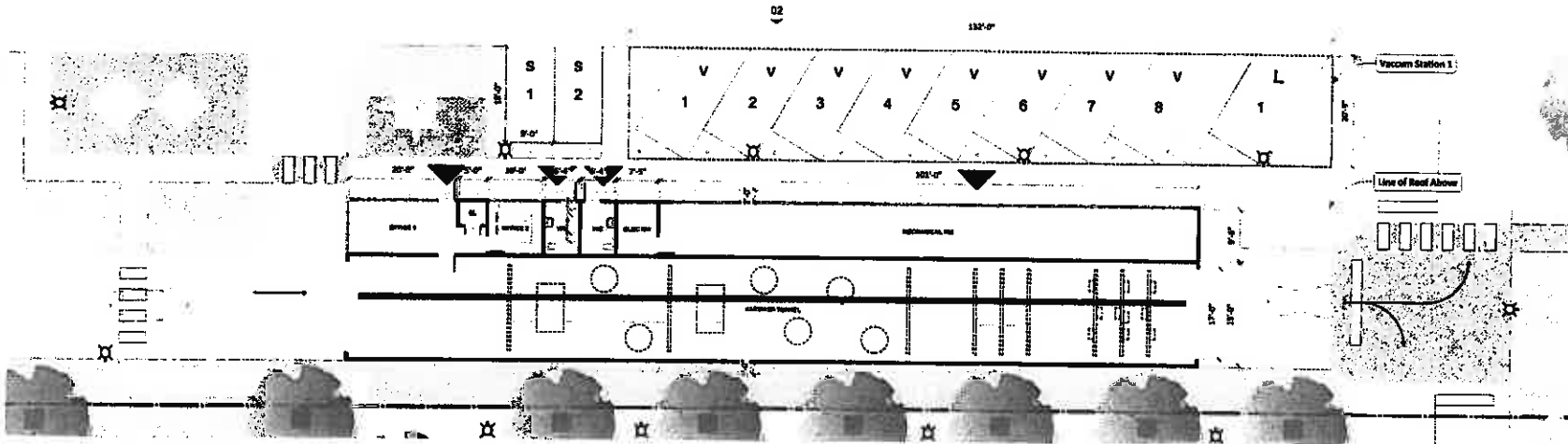
04 Vacuum Station 3 - South Elevation
Scale: 1" = 10'-0"



03 Vacuum Station 3 - Plan
Scale: 1" = 10'-0"



02 Vacuum Station 1 - North Elevation
Scale: 1" = 10'-0"



01 Vacuum Station 1 - Plan
Scale: 1" = 10'-0"

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No.	Date	Issue/Revisions
1	04.16.2010	Site Plan
2	04.22.2010	Pre-Development Mtg w/ City of Riverside
3	05.17.2010	Site Plan
4	06.24.2010	Site Plan - Alternative
5	06.24.2010	Site Plan to Traffic Engineer
6	07.23.2010	Site Plan to Traffic Engineer
7	07.21.2010	Demolition Design Meeting
8	10.20.2010	CDP and Design Review Submittal
9	10.21.2010	Temporary Permit Map Submittal
10	06.10.2011	ASAC Approved

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Drawn By	Reviewed By
JK	JK
Date	Project No.
6/10/10	1012
File Name	
1012_100000_8458 Van Buren Drawings.rvt	

ENLARGED VACUUM STATION 1 & VACUUM STATION 3 A401

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Architect
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Santa Ana, CA 92701

No.	Date	Issue/Notes
1	04.28.2010	Site Plan
2	05.02.2010	Pre-Development City of Riverside
3	05.17.2010	Site Plan
4	05.23.2010	Site Plan - Alternative
5	06.02.2010	Site Plan to Traffic Engineer
6	07.07.2010	Site Plan to Traffic Engineer
7	07.11.2010	Structural Design Meeting
8	08.20.2010	CLP and Design Order Submitted
9	11.21.2010	Timeline Permit Map Submitted
10	01.18.2011	ALUD Approved

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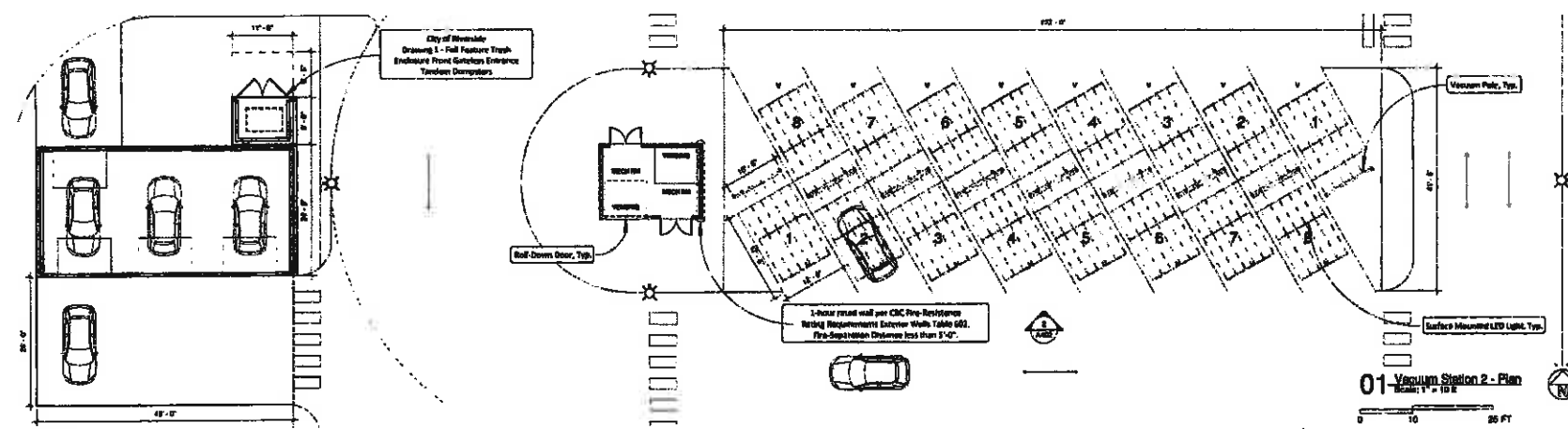
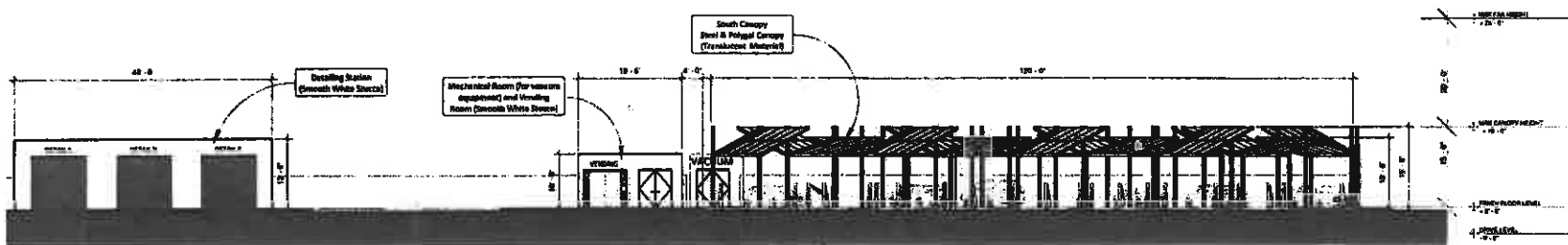
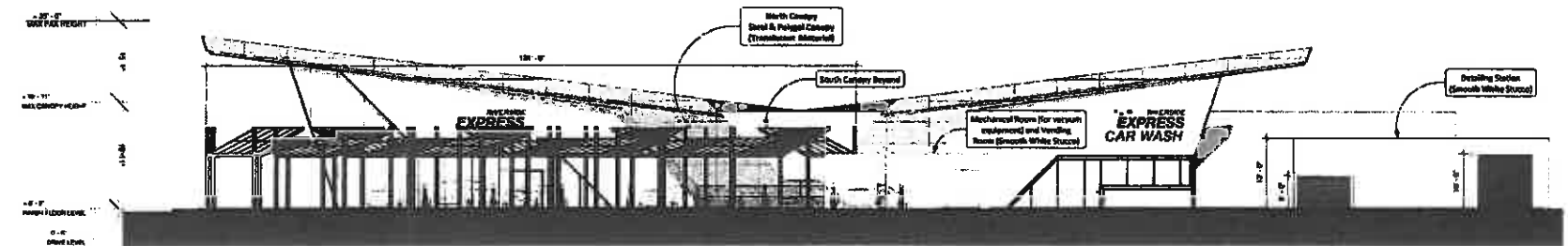
DESIGN DEVELOPMENT

Drawn By: JY
Reviewed By: JK
Date: 08/10/2010
Project No: 1812

File Name: 1812 181221 8400 Van Buren Site Plan.rvt

**ENLARGED
VACUUM STATION
2
A402**

All drawings, documents, specifications, reports, computer files, hard files and other electronic files are the property of the Architect and shall remain the property of the Architect.



01 Vacuum Station 2 - Plan
Scale: 1" = 10'-0"

02 Vacuum Station 2 - South Elevation
Scale: 1" = 10'-0"

03 Vacuum Station 2 - North Elevation
Scale: 1" = 10'-0"

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 Riverside, CA 92505

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No.	Date	Issue/Notes
1	04.28.2016	Site Plan
2	05.05.2016	Pre-Development Mtg of City of Riverside
3	06.17.2016	Site Plan
4	08.24.2016	Site Plan - Alternative
5	09.23.2016	Site Plan to Traffic Engineer
6	07.27.2016	Site Plan (B) to Traffic Engineer
7	07.21.2016	Site Specific Design Meeting
8	08.25.2016	ADP and Energy Review Submittal
9	12.21.2016	Sanction Permit/May Submittal
10	03.10.2016	ALAC Submittal

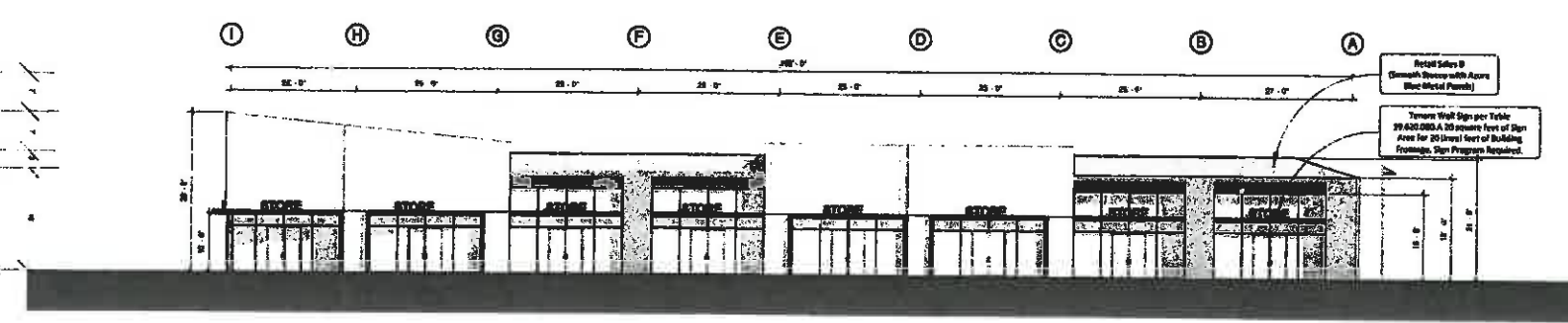
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 plewis@paullewis4022.com

DESIGN DEVELOPMENT

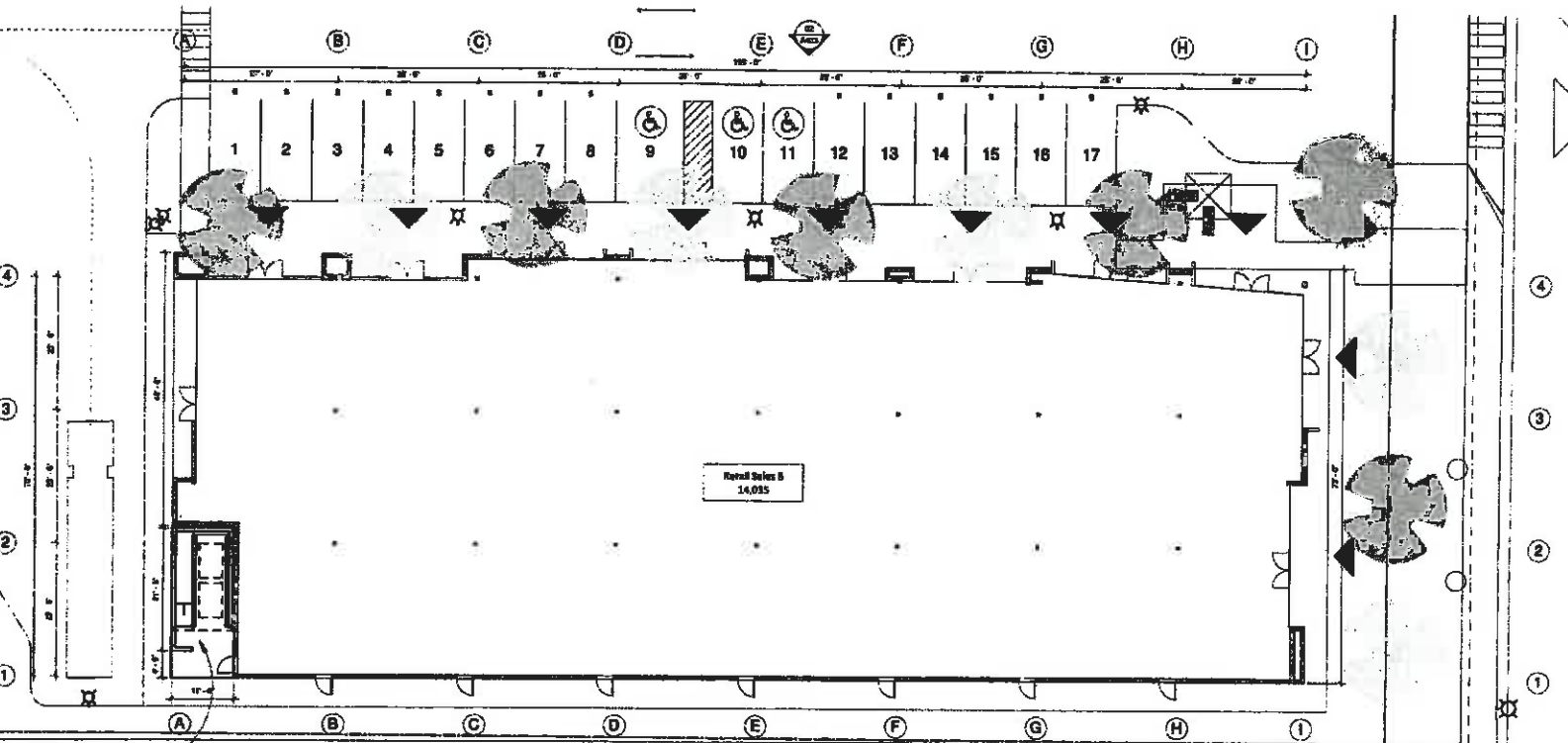
Drawn By JV	Reviewed By JK
Date 06/10/2016	Project No. 1092
File Name 1019 131221 0458 Van Buren Site Plan.rvt	

**ENLARGED
 RETAIL SALES
 B
 A403**

All drawings, documents, specifications, reports, memoranda, etc., including notes and amendments hereto, are the property of the architect and shall remain the property of the architect.



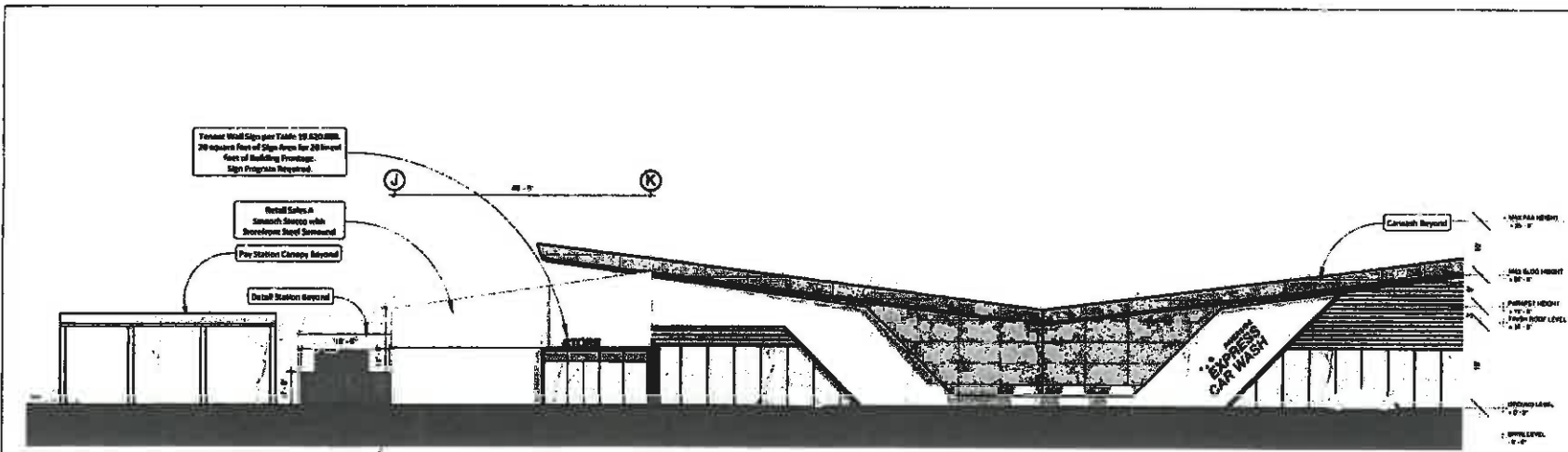
02 Retail Sales B - North Elevation
 Scale: 1" = 10'-0"



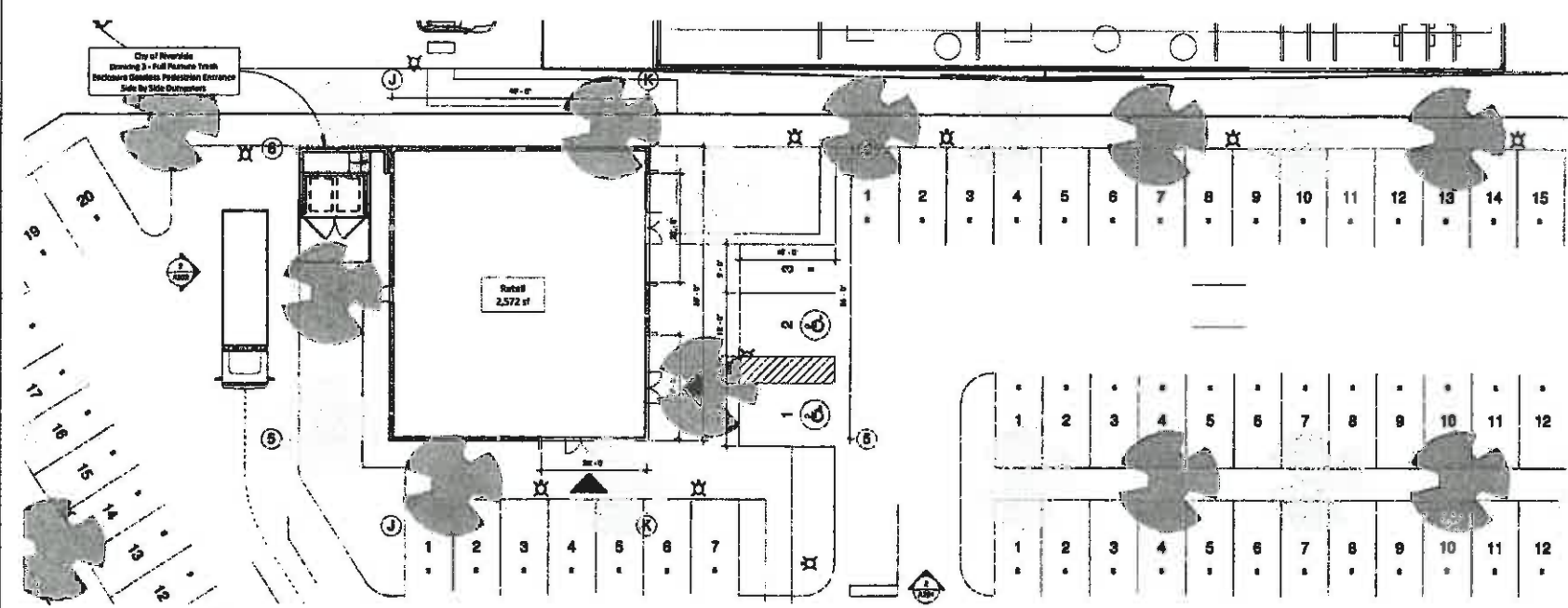
01 Retail Sales B - Plan
 Scale: 1" = 10'-0"

- +28'-0" 1st Floor Level
- +26'-0" 2nd Floor Level
- +1'-0" 1st Floor Level
- +0'-0" 2nd Floor Level
- +0'-0" 1st Floor Level
- +0'-0" 2nd Floor Level
- +0'-0" 1st Floor Level
- +0'-0" 2nd Floor Level

City of Riverside
 Drawing 6 - Full Feature Trash
 Enclosures, Pallet Enclosures, Enclosures
 Tandem Enclosures



02 Retail Sales A - South Elevation
Scale: 1" = 10'-0"



01 Retail Sales A - Plan
Scale: 1" = 10'-0"

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Arthur Demirohyan
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No.	Date	Revision
1	04.26.2010	Site Plan
2	06.02.2010	Pre-Development Map of City of Riverside
3	08.17.2010	Site Plan
4	09.24.2010	Site Plan - Alternative
5	10.20.2010	Site Plan to Traffic Engineer
6	07.07.2011	Site Plan to Traffic Engineer
7	07.21.2011	Site Plan Design Starting
8	08.20.2011	CUP and Design Review Submitted
9	10.21.2011	Technical Permit Map Submitted
10	03.19.2012	ALSD Submittal

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DESIGN DEVELOPMENT

Checked By: JV	Reviewed By: JK
Date: 08/10/2012	Project No: 18102
File Name: 18102 0400 Van Soren Site Plan.rvt	

**ENLARGED
 RETAIL SALES
 A
 A404**

All drawings, documents, specifications, reports, schedules, etc. shall show and contain additional details and background of work as prepared by the Architect and shall remain the property of the Architect.



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APPLICATION FOR MAJOR LAND USE ACTION REVIEW
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

ALUC Identification No.

ZAP1080RI16

PROJECT PROPONENT (TO BE COMPLETED BY APPLICANT)

Date of Application 08/11/16
 Property Owner ARTHUR DERMIRCHYAN Phone Number 626-523-3358
 Mailing Address 202 EAST FIRST STREET
SANTA ANA, CA, 92701

Agent (if any) JOHN KALISKI ARCHITECTS Phone Number 213-383-7980
 Mailing Address 3780 WILSHIRE BLVD, SUITE 300
LOS ANGELES CA 90010

PROJECT LOCATION (TO BE COMPLETED BY APPLICANT)

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address 6458 VAN BUREN BLVD.
RIVERSIDE CA 92503
 Assessor's Parcel No. 155-290-061 Parcel Size 4 ACRES/174,465 SF
 Subdivision Name N/A Zoning AP COMMERCIAL
 Lot Number N/A Classification CR RETAIL ZONE

PROJECT DESCRIPTION (TO BE COMPLETED BY APPLICANT)

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) VACANT LOT LOCATED IN THE CITY OF RIVERSIDE TO THE NORTH OF ARLINGTON AVE. AND ON THE WEST SIDE OF VAN BUREN BLVD.
SEE PROJECT DESCRIPTION ATTACHED.

Proposed Land Use (describe) THE PROPOSED DEVELOPMENT ENVISIONS A HIGH QUALITY BUILT ENVIRONMENT WITH AN EXPRESS CARWASH ON NORTH HALF OF THE PROPERTY AND MULTI-TENANT RETAIL AND A STAND-ALONE RETAIL ON THE SOUTH. SEE PROJECT DESCRIPTION ATTACHED.

For Residential Uses Number of Parcels or Units on Site (exclude secondary units) _____
 For Other Land Uses Hours of Use _____
 (See Appendix C) Number of People on Site Maximum Number _____
 Method of Calculation _____

Height Data Height above Ground or Tallest Object (including antennas and trees) 806 38'-0" ft.
 Highest Elevation (above sea level) of Any Object or Terrain on Site (738' ATG ELEV) 744 ft.

Flight Hazards Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?
 Yes
 No
 If yes, describe _____

ZONE D RIV. MUNI

REFERRING AGENCY (APPLICANT OR JURISDICTION TO COMPLETE)	
Date Received	① 11/02/2015 ② 11/02/2015 ③ 12/30/2015
Agency Name	CITY OF RIVERSIDE
Staff Contact	GABY ADAME
Phone Number	(951) 826-5933
Agency's Project No.	① P15-0998 CONDITIONAL USE PERMIT ② P15-0959 DESIGN REVIEW ③ P15-1105 TENTATIVE PARCEL MAP
Type of Project	<input type="checkbox"/> General Plan Amendment <input type="checkbox"/> Zoning Amendment or Variance <input checked="" type="checkbox"/> Subdivision Approval <input checked="" type="checkbox"/> Use Permit <input type="checkbox"/> Public Facility <input type="checkbox"/> Other

A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

B. **SUBMISSION PACKAGE:**

ALUC REVIEW

STAFF REVIEW (Consult with ALUC staff planner as to whether project qualifies)

- 1. Completed Application Form
- 1. Project Site Plan – Folded (8-1/2 x 14 max.)
- 1. Elevations of Buildings - Folded
- 1 Each . 8 ½ x 11 reduced copy of the above
- 1. 8 ½ x 11 reduced copy showing project in relationship to airport.
- 1 Set . Floor plans for non-residential projects
- 4 Sets. . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set. . Gummed address labels of all property owners within a 300' radius of the project site. If more than 100 property owners are involved, please provide pre-stamped envelopes (size #10), with ALUC return address.
- 4 Sets. . Gummed address labels of the referring agency (City or County).
- 1. Check for Fee (See Item "C" below)

- 1. Completed Application Form
- 1. Project Site Plans – Folded (8-1/2 x 14 max.)
- 1. Elevations of Buildings - Folded
- 1. 8 ½ x 11 Vicinity Map
- 1 Set . Gummed address labels of the Owner and representative (*See Proponent*).
- 1 Set . . Gummed address labels of the referring agency.
- 1. Check for review—See Below

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



CHAIR

Simon Housman
Rancho Mirage

VICE CHAIRMAN

Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Steve Manos
Lake Elsinore

Russell Betts
Desert Hot Springs

STAFF

Director
Ed Cooper

John Guerin
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County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-6132

www.rcaluc.org

September 19, 2016

Ms. Ilene Paik, Project Planner
City of Perris Planning Department
101 N. D Street
Perris CA 92570

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1211MA16
Related File No.: PLN16-00013 (Development Review Plan)
APN: 302-130-042

Dear Ms. Paik:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Perris Case No. PLN16-00013 (Development Review Plan), a proposal to construct a 240,911 square foot industrial building (with 7,145 square feet of office space and 233,766 square feet of warehouse area) on an 11.12 net acre parcel located southerly of Perry Street, westerly of Redlands Avenue, northerly of Ramona Expressway, and easterly of Perris Boulevard.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, nonresidential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its southerly terminus is approximately 1,488 feet above mean sea level (1488 feet AMSL). At a distance of approximately 10,400 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,592 feet AMSL. The project site elevation is 1,456 feet above mean sea level, and the proposed building height is 42.6 feet, resulting in a maximum top point elevation of 1,498.6 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The landowner shall provide the attached notice to all potential purchasers of the property and to tenants/lessees of the proposed building thereon. Additionally, this notice shall be recorded as a deed notice.
4. The proposed aboveground detention/water quality basin on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention/water quality basin that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment of irrigation controllers, access gates, etc.

AIRPORT LAND USE COMMISSION

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

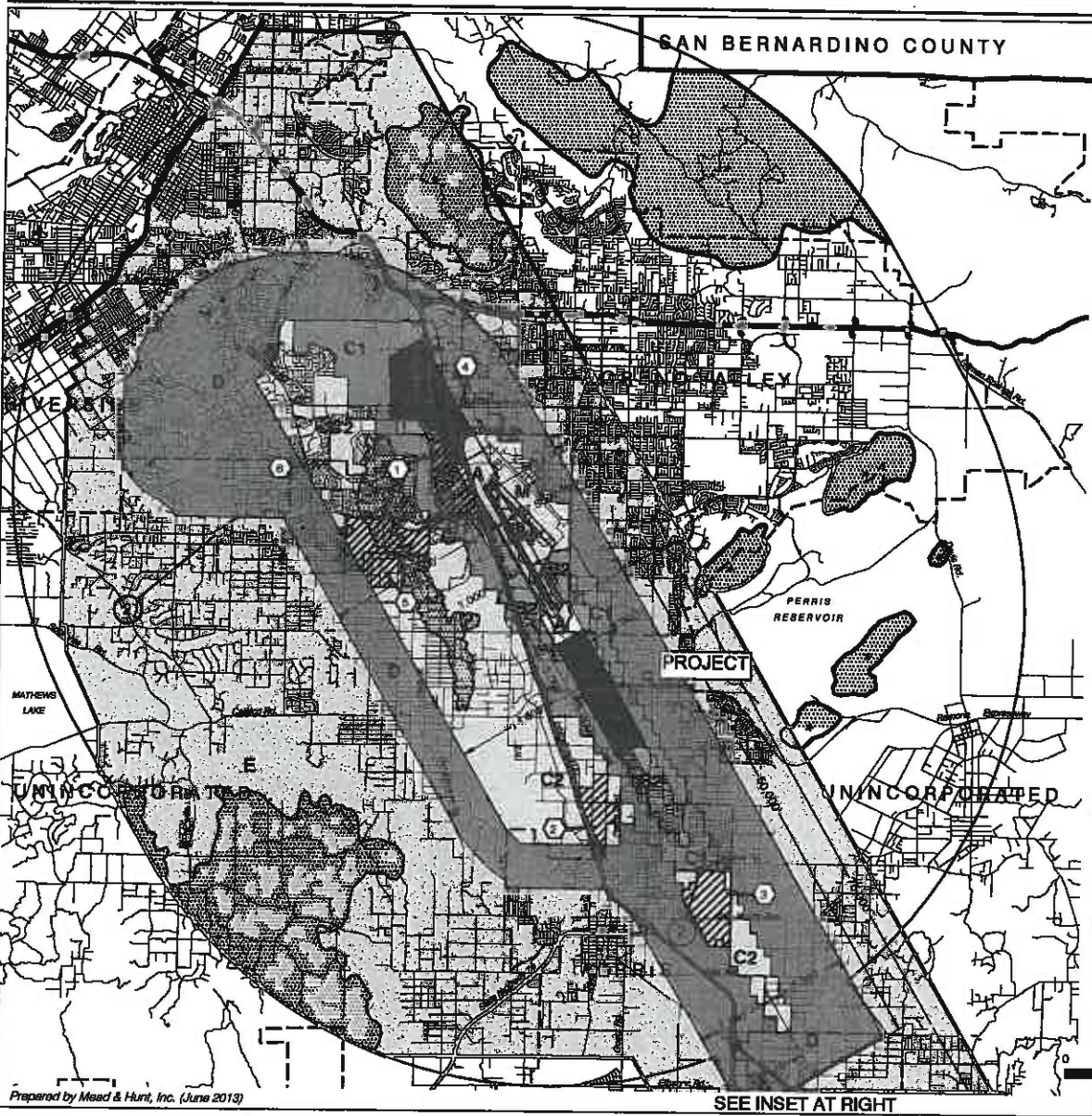
Attachments: Notice of Airport in Vicinity

cc: First Industrial Realty Trust – Attn.: Michael Goodwin (El Segundo office) (applicant)
First Industrial (Chicago office) (property owner/payee)
Albert A. Webb Associates – Attn.: Robert Berndt (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Denise Hauser, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1211MA16\ZAP1211MA16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

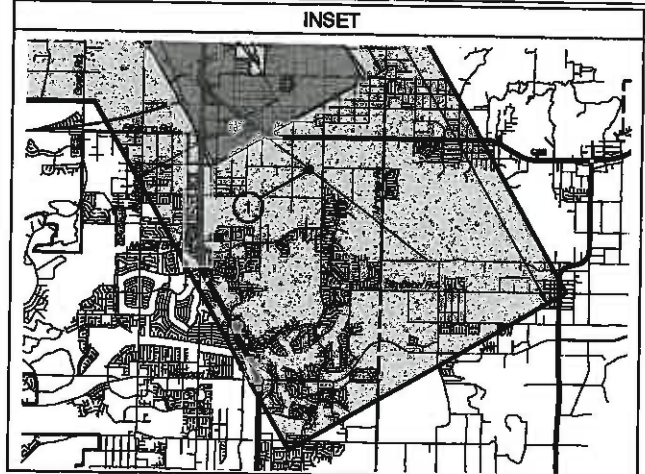
Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- - - City Limits
- ▣ Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,835 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.
- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

Note:
All dimensions are measured from runway ends and centerlines.



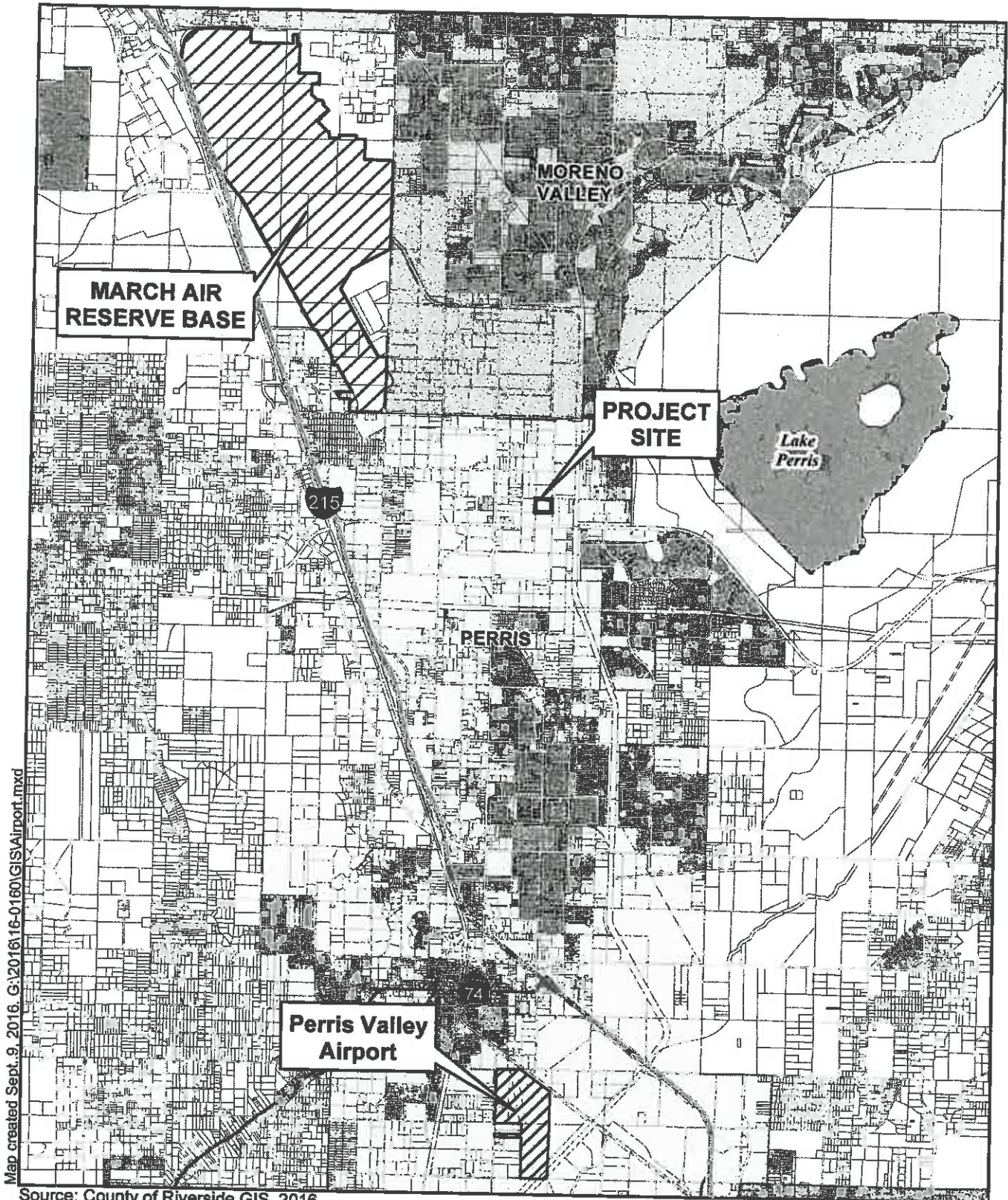
Base map source: County of Riverside 2013

SEE INSET AT RIGHT

Prepared by Mead & Hunt, Inc. (June 2013)

Map MA-1

**Compatibility Map
March Air Reserve Base / Inland Port Airport**



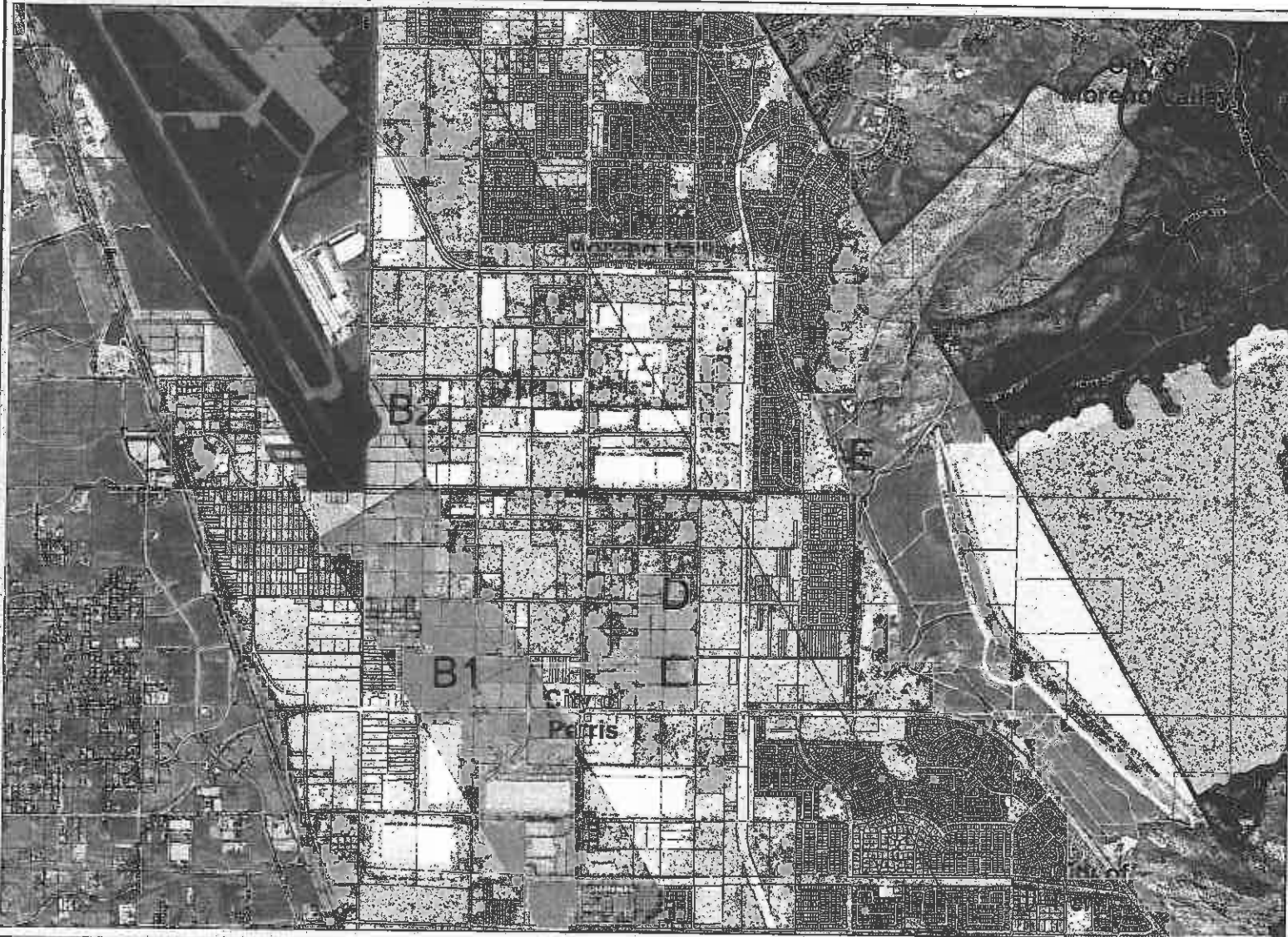
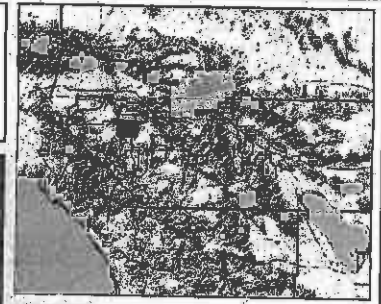
Map created Sept. 9, 2016. G:\2016\16-0160\GIS\Airport.mxd

Source: County of Riverside GIS, 2016

Relation to Nearby Airports
Redlands/Perry Building



My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6
- C2-HIGHT



0 4,508 9,016 Feet



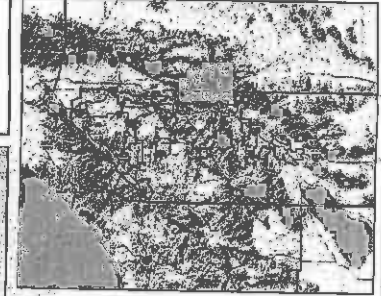
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 563 1,127 Feet



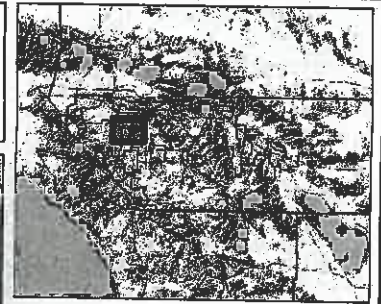
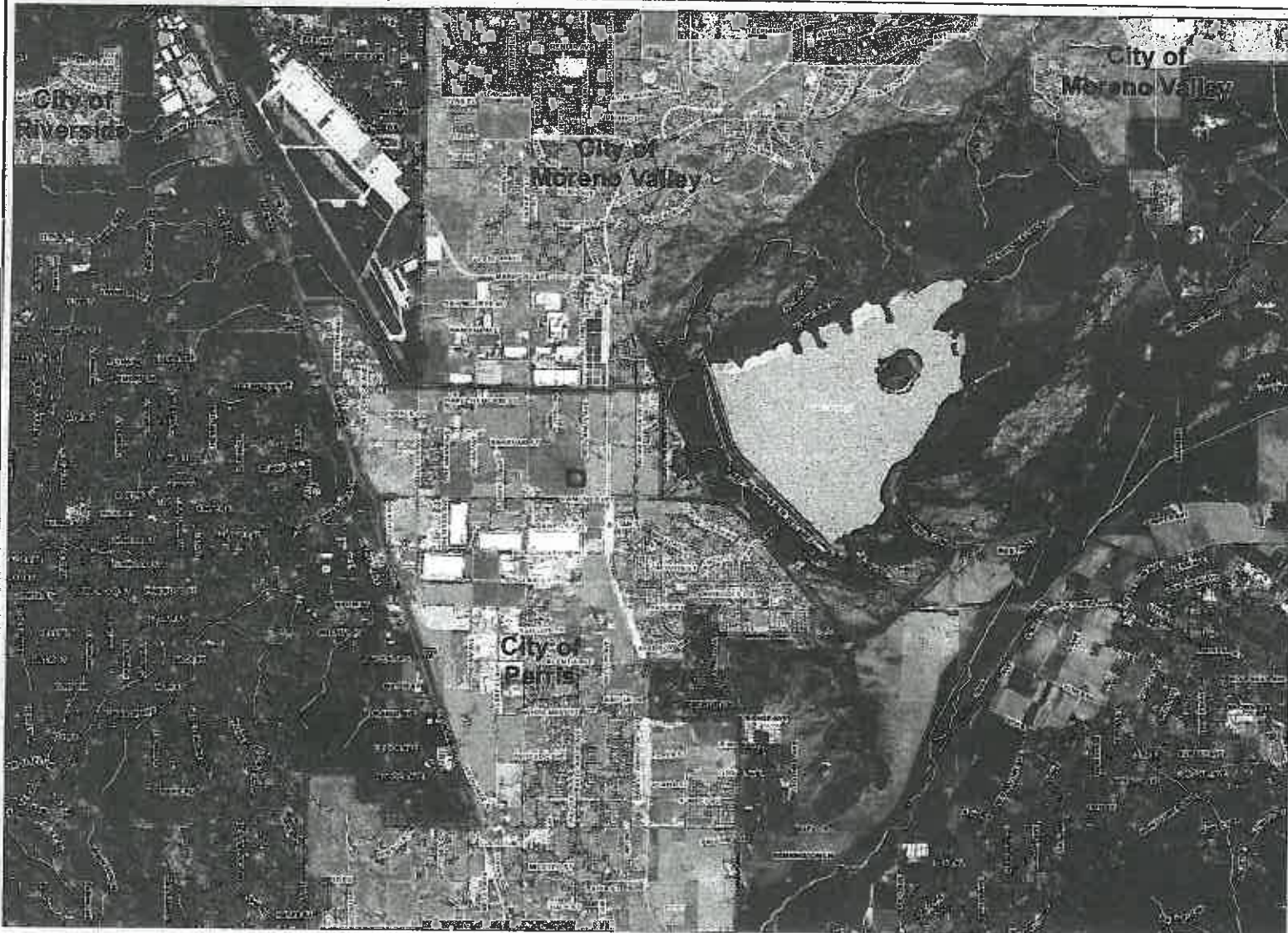
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

My Map



Legend

-  City Boundaries
- Cities**
- adjacent_highways**
 -  Interstate
 -  Interstate 3
 -  State Highways; 60
 -  State Highways 3
 -  US HWY
 -  OUT
- highways_large**
 -  HWY
 -  INTERCHANGE
 -  INTERSTATE
 -  USHWY
-  counties
-  cities



0 9,016 18,031 Feet



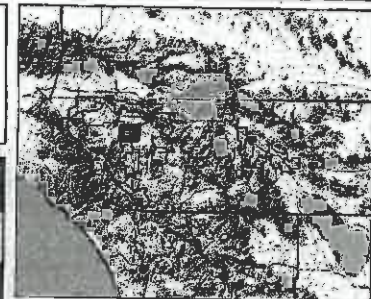
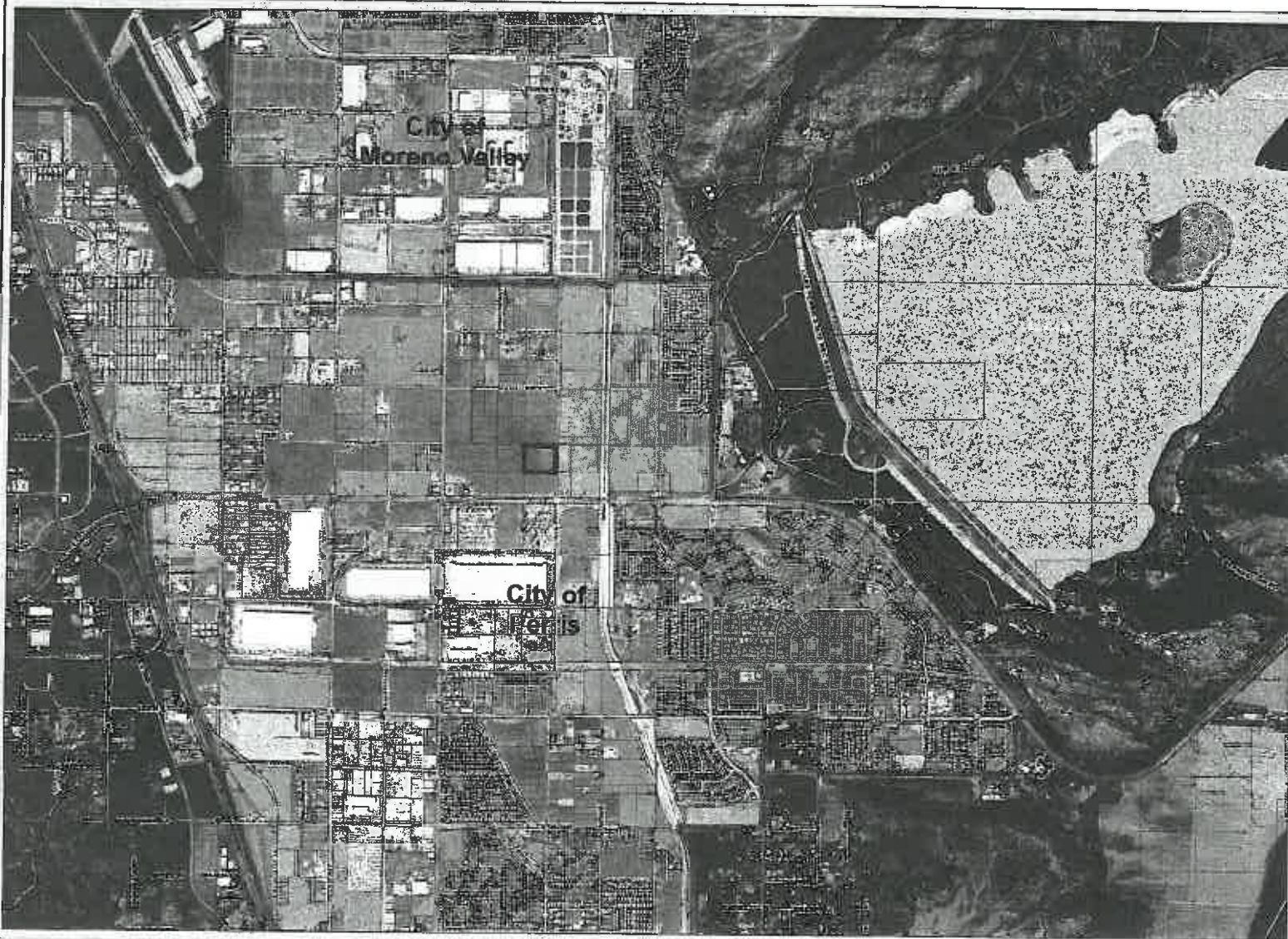
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes

My Map



Legend

-  City Boundaries
- Cities**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- majorroads
-  counties
-  cities
- hydrographylines**
- waterbodies**
-  Lakes
-  Rivers



0 4,508 9,016 Feet



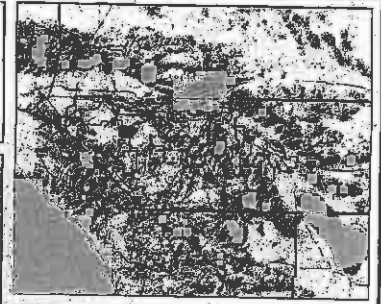
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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
© Riverside County RCIT GIS

Notes

My Map



Legend

-  City Boundaries
- Cities**
- roads**
- highways**
-  HWY
-  INTERCHANGE
-  INTERSTATE
-  OFFRAMP
-  ONRAMP
-  USHWY
- roads**
-  Major Roads
-  Arterial
-  Collector
-  Residential
-  counties
-  cities
- hydrography**
- lines**
- waterbodies**
-  Lakes
-  Rivers



0 2,254 4,508 Feet



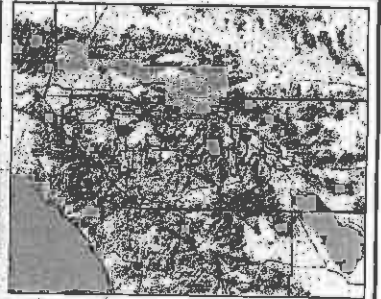
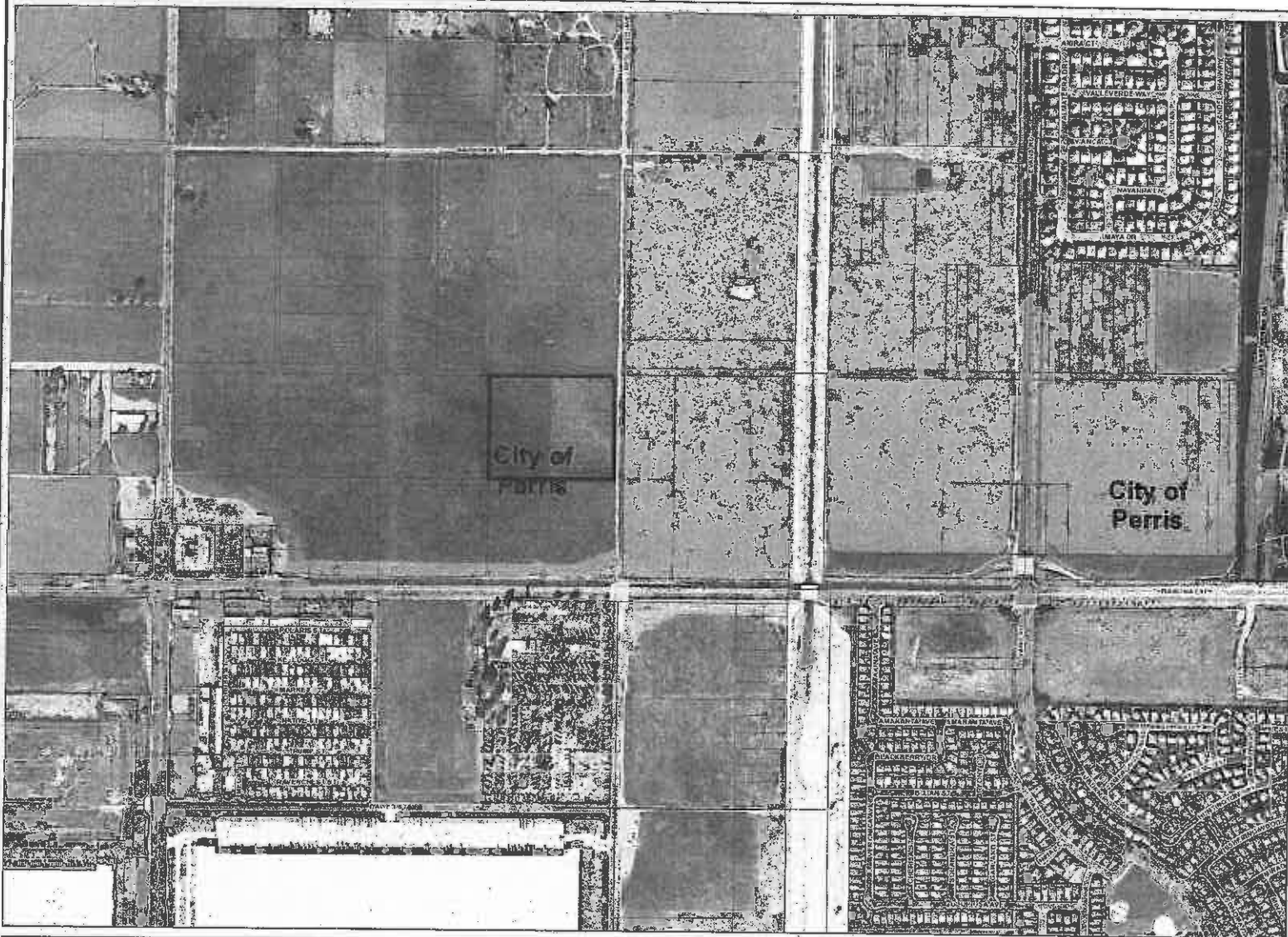
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 1,127 2,254 Feet



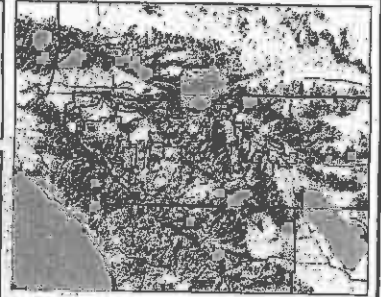
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Notes

My Map



Legend

-  Display Parcels
-  City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
-  counties
-  cities
- hydrographylines**
- waterbodies**
-  Lakes
-  Rivers



0 563 1,127 Feet



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REPORT PRINTED ON... 9/15/2016 8:33:24 AM

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Notes

FIRST PERRY LOGISTICS CONCEPTUAL GRADING & DEVELOPMENT PLAN REVIEW DPR NO.

PROJECT DATA

GROSS SITE AREA	480,080 SF.	1.101 AC.
VACANT - BELL AND AVE	1,192 SF.	0.027 AC.
NET SITE AREA	481,272 SF.	1.128 AC.

UTILITIES COMPANIES

WATER	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 438-5819
SEWER	EASTERN MUNICIPAL WATER DISTRICT PHONE: (800) 438-5819
ELECTRIC	SOUTHERN CALIFORNIA Edison COMPANY PHONE: (800) 855-8888
TELEPHONE	AT&T TELEPHONE COMPANY PHONE: (800) 854-4966
GAS	SOUTHERN CALIFORNIA GAS COMPANY PHONE: (800) 437-2220
SCHOOL	VAL VERDE UNIFIED SCHOOL DISTRICT PHONE: (916) 940-6100

LANDSCAPED AREA

LANDSCAPED AREA REQUIRED	12.08
LANDSCAPED AREA PROVIDED	12.88

FAIRMARK ESTIMATE
 50% FILL SUBSOIL
 10% FILL SUBSOIL
 40% FILL SUBSOIL

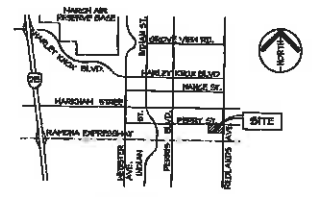
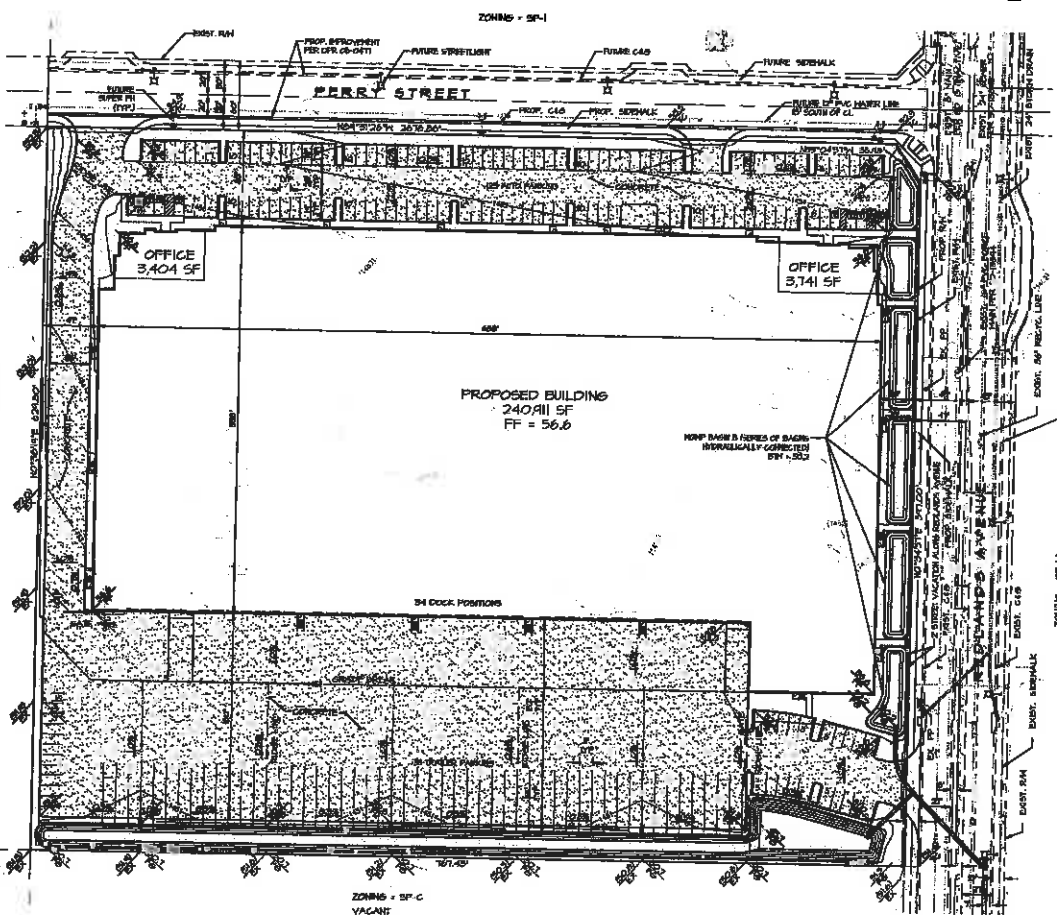
ACREAGE
 GROSS: 1.101 AC.
 NET: 1.128 AC.

PROJ. DET. DESCRIPTION
 DEVELOPMENT PLAN REVIEW FOR A 240,911 SF WAREHOUSE FACILITY, CONSISTING OF A 240,911 SF BUILDING ON BLDG NET ACRES.

- NOTES**
1. 200 THOMAS BROTHERS MAP, PAGE 771, GRID 18
 2. THIS PROJECT IS WITHIN THE PERKINS VALLEY COMMERCE CENTER SPECIFIC PLAN.
 3. THIS PROJECT IS NOT WITHIN A COMMUNITY SERVICES DISTRICT.
 4. SURFACE SEPTIC DRAINAGE IS NOT INTENDED FOR THIS SITE.
 5. FEMA FLOOD ZONE MAP COMMUNITY PANEL NUMBER 030403 HIGH

LEGEND:

[Symbol]	PROPOSED LANDSCAPE	[Symbol]	INDICATED PARKERS
[Symbol]	PROPOSED CONCRETE	[Symbol]	PILE DRILLAGE VIB. PERC.
[Symbol]	DECORATIVE PAVERS	[Symbol]	VANPOOL PARKING
[Symbol]	PEDESTRIAN WALKWAY	[Symbol]	TRUCK FLOOR
[Symbol]	PROP. SCREEN WALL	[Symbol]	TOP OF GROUND
[Symbol]	PROP. FUSE OILS, FENCE	[Symbol]	PLUG LINE
[Symbol]	EDGE LINE	[Symbol]	TRUCK POWER
[Symbol]		[Symbol]	GRADE BREAK
[Symbol]		[Symbol]	FRESH SURFACE
[Symbol]		[Symbol]	PROPOSED EXISTING
[Symbol]		[Symbol]	POWER POLE
[Symbol]		[Symbol]	TYPICAL
[Symbol]		[Symbol]	VEHICLE OVERHAND
[Symbol]		[Symbol]	FIRE HYDRANT



OWNER
 COMPANY: HANS LINDA ELLIOT YARD
 ADDRESS: 311 G HAGER DR 19400
 CHICAGO, IL 60649
 PHONE: (847) 280-4000
 FAX: (847) 853-8800

APPLICANT
 COMPANY: FIRST INDUSTRIAL REALTY TRUST
 CONTACT: FRANKIE BODDORN
 ADDRESS: 245 N BELLAVIA BLVD STE 110
 EL SEBASTO, CA 92728
 PHONE: (949) 833-2641

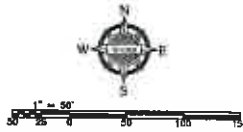
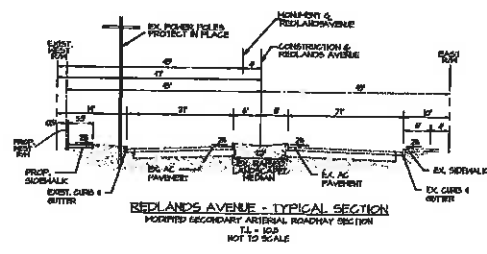
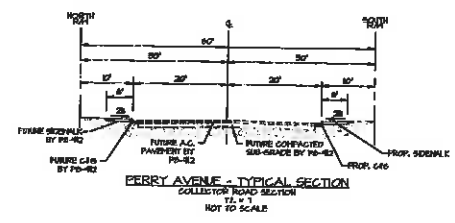
TOPOGRAPHY
 COMPANY: LAND AERIAL SURVEYS INC.
 ADDRESS: 781 AND BOSTON AVE. STE. A
 RIVERSIDE, CA 92509
 PHONE: (951) 881-2322
 DATE: JUNE 30, 2009

LEGAL DESCRIPTION
 LOT 11 IN BLOCK 12 OF RIVERSIDE TRACT, CITY OF PERRIS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP 24, FILE IN BOOK 14, PAGE 885 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT WHEREABOUT THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED SEPTEMBER 18, 1958 IN BOOK 298, PAGE 29 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

APN
 803-150-042

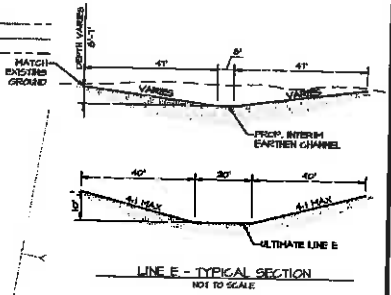
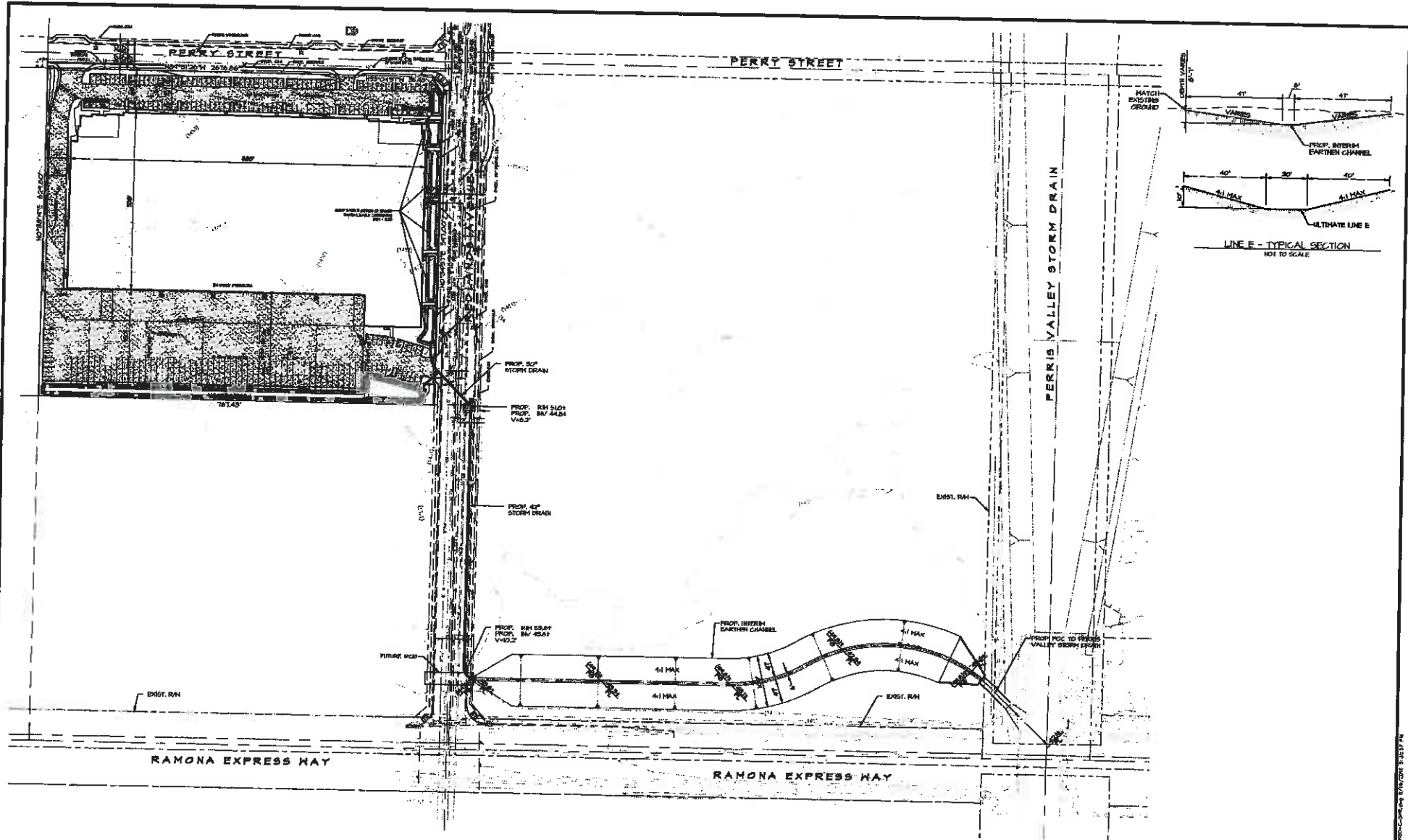
LAND USE / ZONING
 EXISTING LAND USE: VACANT
 PROPOSED LAND USE: WAREHOUSE
 SPECIFIC ZONING: SP-LIGHT INDUSTRIAL
 PROPOSED ZONING: SP-LIGHT INDUSTRIAL
 DISTING. GENERAL PLAN, SPECIFIC PLAN - LI
 PROPOSED GENERAL PLAN, SPECIFIC PLAN - LI



SCALE: P-200	DATE: 08/11/09	DESIGNED BY: [Signature]	CHECKED BY: [Signature]	DATE: 08/11/09
DATE: 08/11/09	DESIGNED BY: [Signature]	CHECKED BY: [Signature]	DATE: 08/11/09	DATE: 08/11/09
DATE: 08/11/09	DESIGNED BY: [Signature]	CHECKED BY: [Signature]	DATE: 08/11/09	DATE: 08/11/09

CITY OF PERRIS
DEVELOPMENT PLAN REVIEW
DPR
FIRST PERRY LOGISTICS

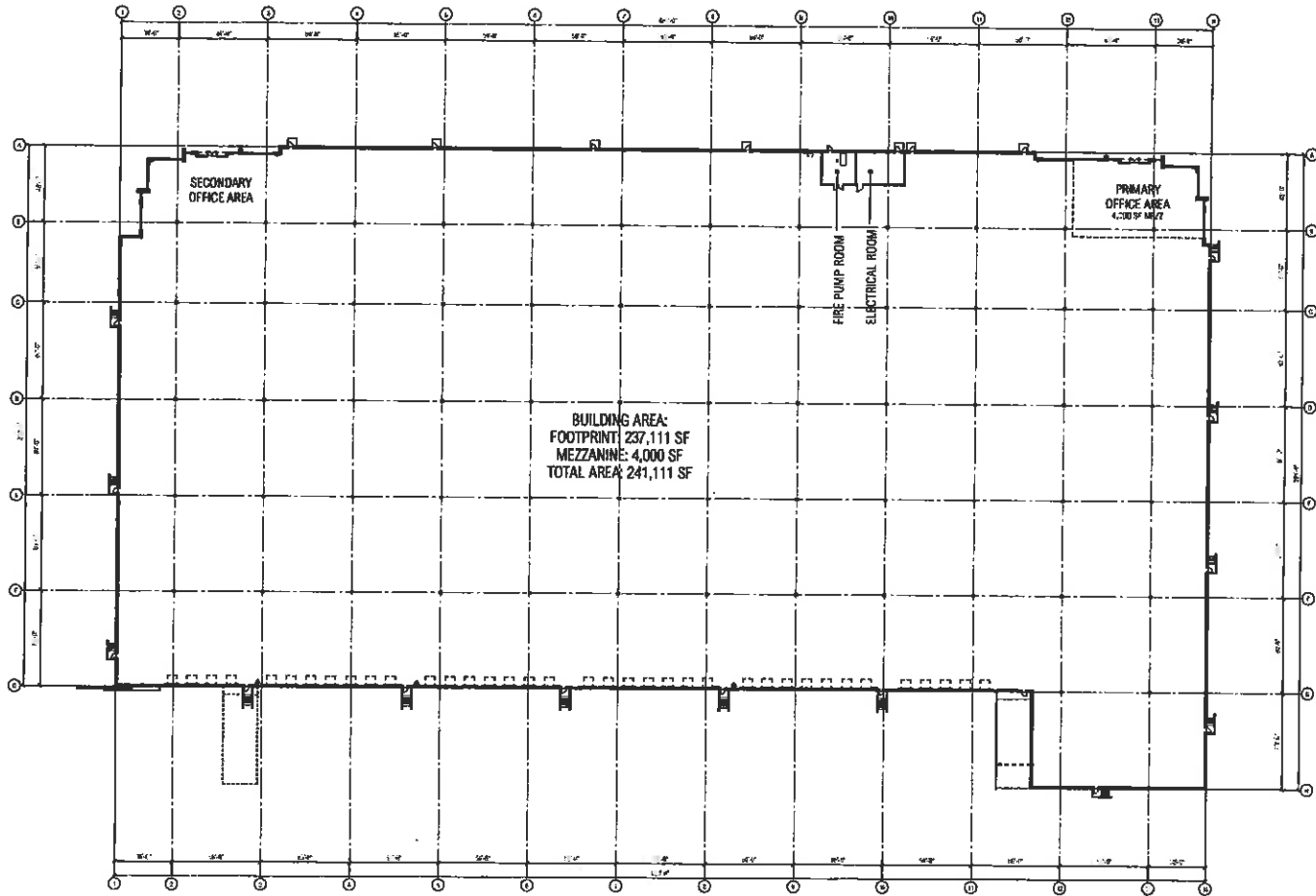
NO. 080-080
SHEET 1
OF 2 SHEETS
PRA 10



SCALE: 1"=50'	DATE: 08/16/16	ENGINEER: CHRISTOPHER J. BROWN	NO. 2016-2862
DESIGNED: PLAN	CHECKED: SD	PROJECT: 5780 MCCARTY STREET PERRIS, CA 92570 PH: (951) 884-1070 FX: (951) 789-1754	SHEET 2
PLI CK: PEP	P.E.	ASSOCIATED	OF 2 SHEETS
		PLI DATE: August 16, 2016	PKL NO.

CITY OF PERRIS
DEVELOPMENT PLAN REVIEW
DPR
FIRST PERRY LOGISTICS

C:\Users\jbrown\Documents\2016\2016-2862-City of Perris\2016-2862-City of Perris.dwg (11/16/16) 9:35:17 AM



FLOOR PLAN

RGA

REGISTERED ARCHITECTS
 1000 PERRY STREET
 PERRIS, CA 92570
 (951) 261-1000
 WWW.RGAA.COM

NO.	DATE	DESCRIPTION

FIRST PERRY LOGISTICS
 REDLANDS AVENUE / PERRY STREET
 DEVELOPMENT

0000 PERRY STREET
 CITY OF PERRIS, CA

FIRST
 INDUSTRIAL
 REALTY-TRUST

NO.	DATE	DESCRIPTION

SCALE	AS SHOWN
DATE	
PROJECT	
OWNER	
ARCHITECT	
DATE	
PROJECT	
OWNER	
ARCHITECT	
DATE	

PAGE BREAK



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY



September 23, 2016

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

Glen Holmes
Hemet

John Lyon
Riverside

Steve Manos
Lake Elsinore

Russell Betts
Desert Hot Springs

STAFF

Director
Ed Cooper

John Guerin
Paul Rull
Barbara Santos

County Administrative Center
4080 Lennon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

Mr. Chris Ormsby, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
P.O. Box 88005
Moreno Valley CA 92552

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

File No.: ZAP1213MA16
Related File Nos.: PA16-0052 (Plot Plan)
APN: 291-590-038

Dear Mr. Ormsby:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case No. PA16-0052 (Plot Plan), a proposal to construct an 8,992 square foot mattress and bedding retail store ("Sit n Sleep") on a one-acre parcel located at 12540 Campus Parkway (on the northerly side of Campus Parkway, easterly of Day Street and westerly of Town Circle, in an existing shopping center.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, nonresidential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport at its northerly terminus is approximately 1,535 feet above mean sea level (1535 feet AMSL). At a distance of approximately 14,400 feet from the runway to the project property line, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 1,679 feet AMSL. The project site finished floor elevation is 1,606 feet AMSL, and the proposed building height is 33 feet, resulting in a maximum top point elevation of 1,639 feet AMSL. Therefore, review by the FAA OES was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the following conditions:

AIRPORT LAND USE COMMISSION

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris centers, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The landowner shall provide the attached notice to all potential purchasers of the property and to tenants/lessees of the building(s) thereon.
4. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment of irrigation controllers, access gates, etc.

If you have any questions, please contact Paul Rull, ALUC Urban Regional Planner IV, at (951) 955-6893 or John Guerin, ALUC Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

AIRPORT LAND USE COMMISSION

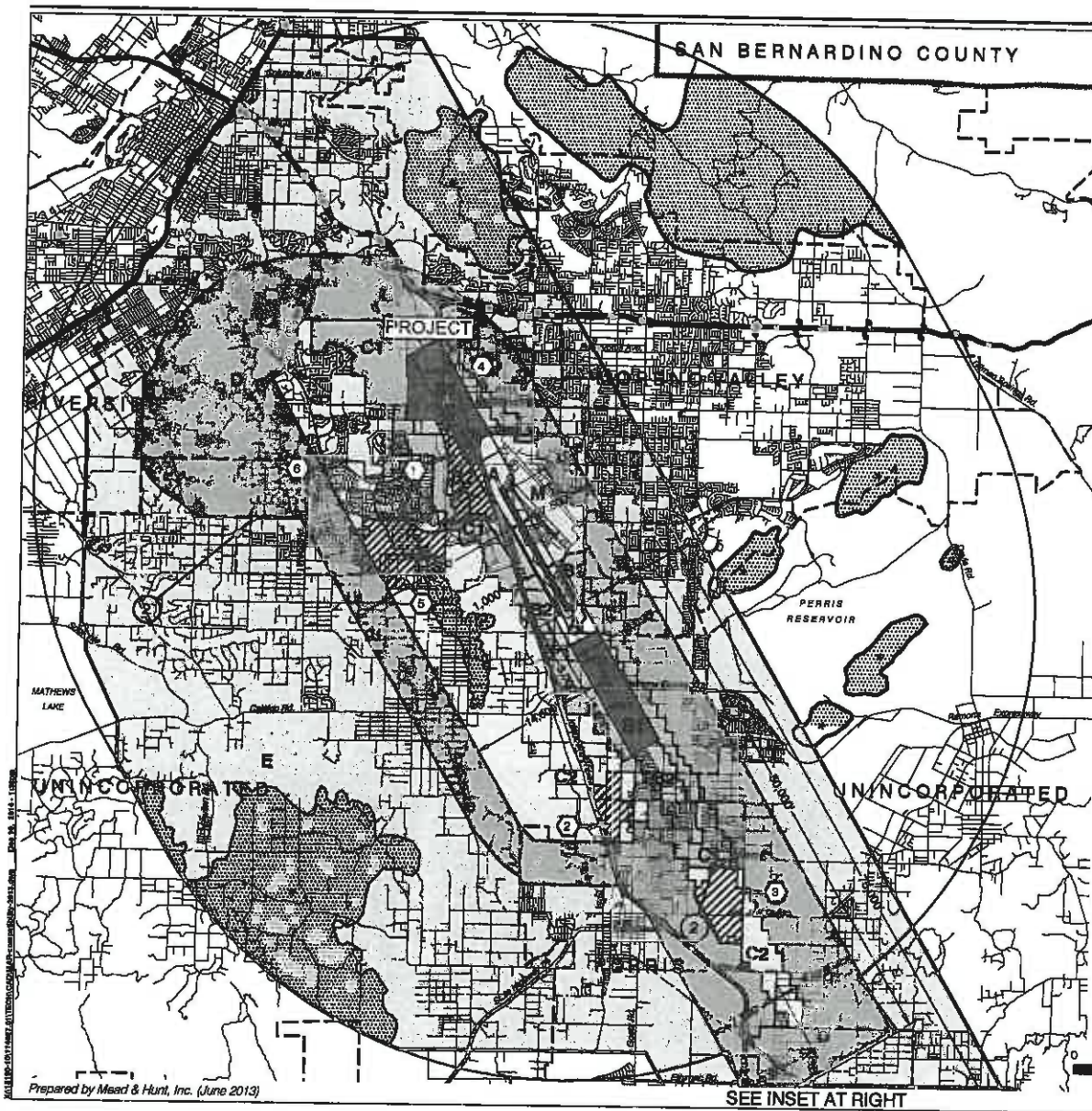
Attachments: Notice of Airport in Vicinity

cc: Moreno Valley Sleep One, LLC (applicant/payee/property owner)
Calvert Architectural Group (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
Denise Hauser, March Air Reserve Base
ALUC Case File

Y:\AIRPORT CASE FILES\March\ZAP1213MA16\ZAP1213MA16.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



LEGEND

Compatibility Zones

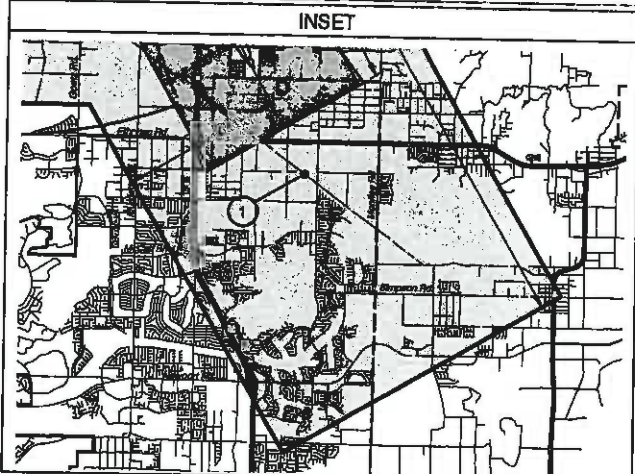
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 9,000 feet above runway end. Airport Elevation is 1,585 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

Note:
All dimensions are measured from
runway ends and centerlines.



Base map source: County of Riverside 2013

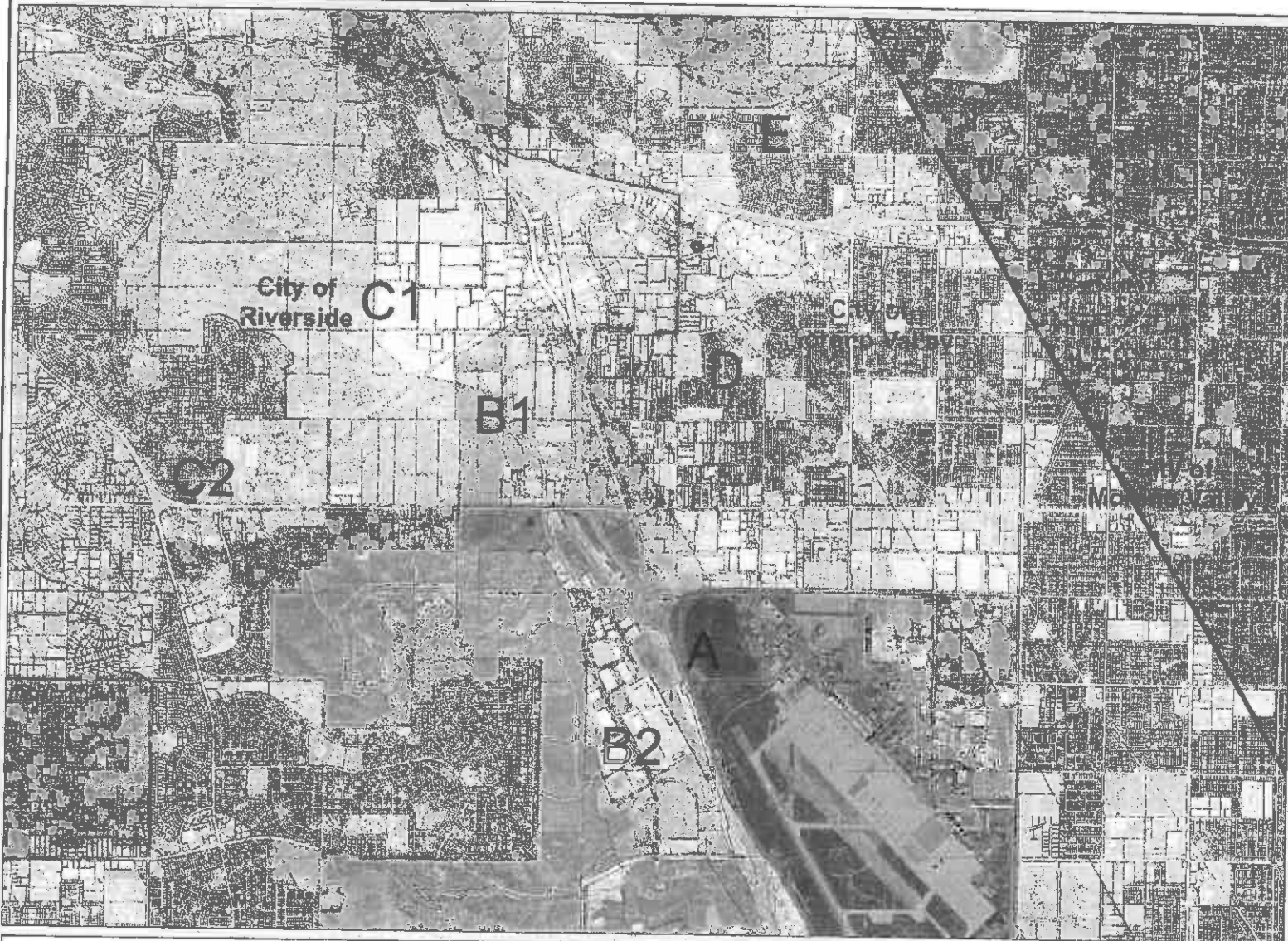
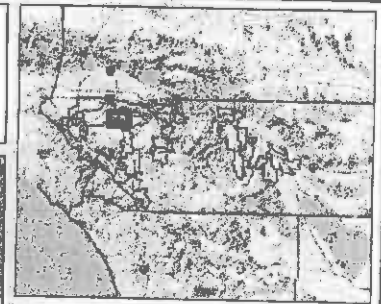
Prepared by Masco & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

**Compatibility Map
March Air Reserve Base / Inland Port Airport**

Map MA-1

My Map



Legend

- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8
- C2-HIGHT



0 5,645 11,290 Feet



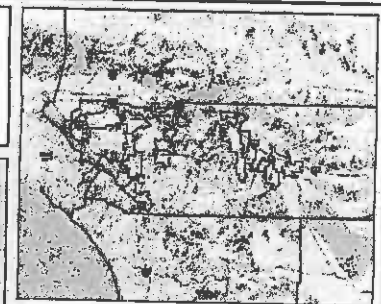
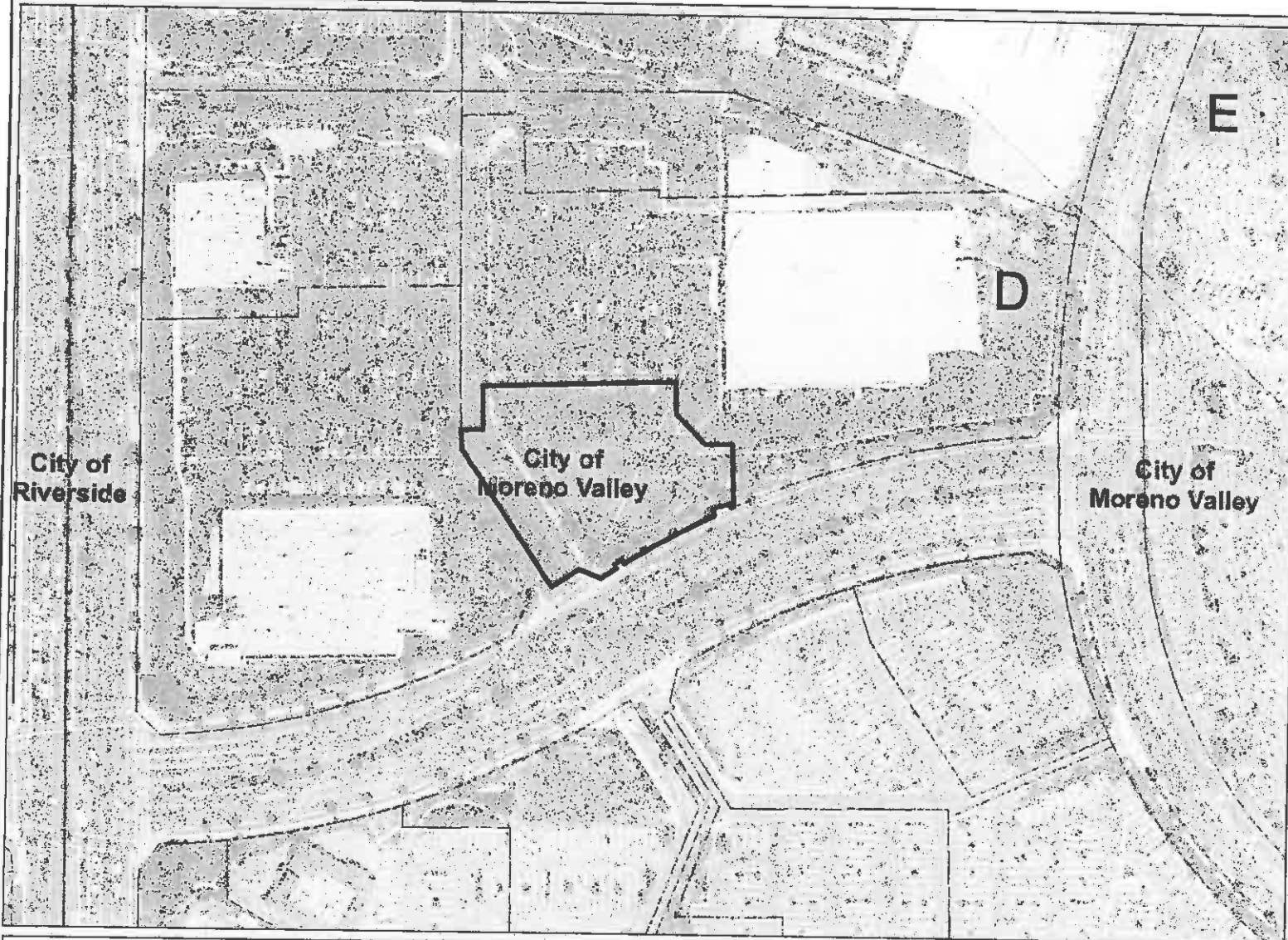
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Notes

My Map



Legend

- Display Parcels
- Airports
- AIA
- Airport Compatibility**
- OTHER ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



0 197 393 Feet



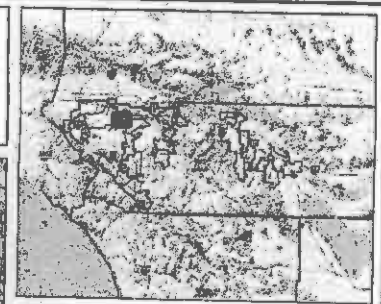
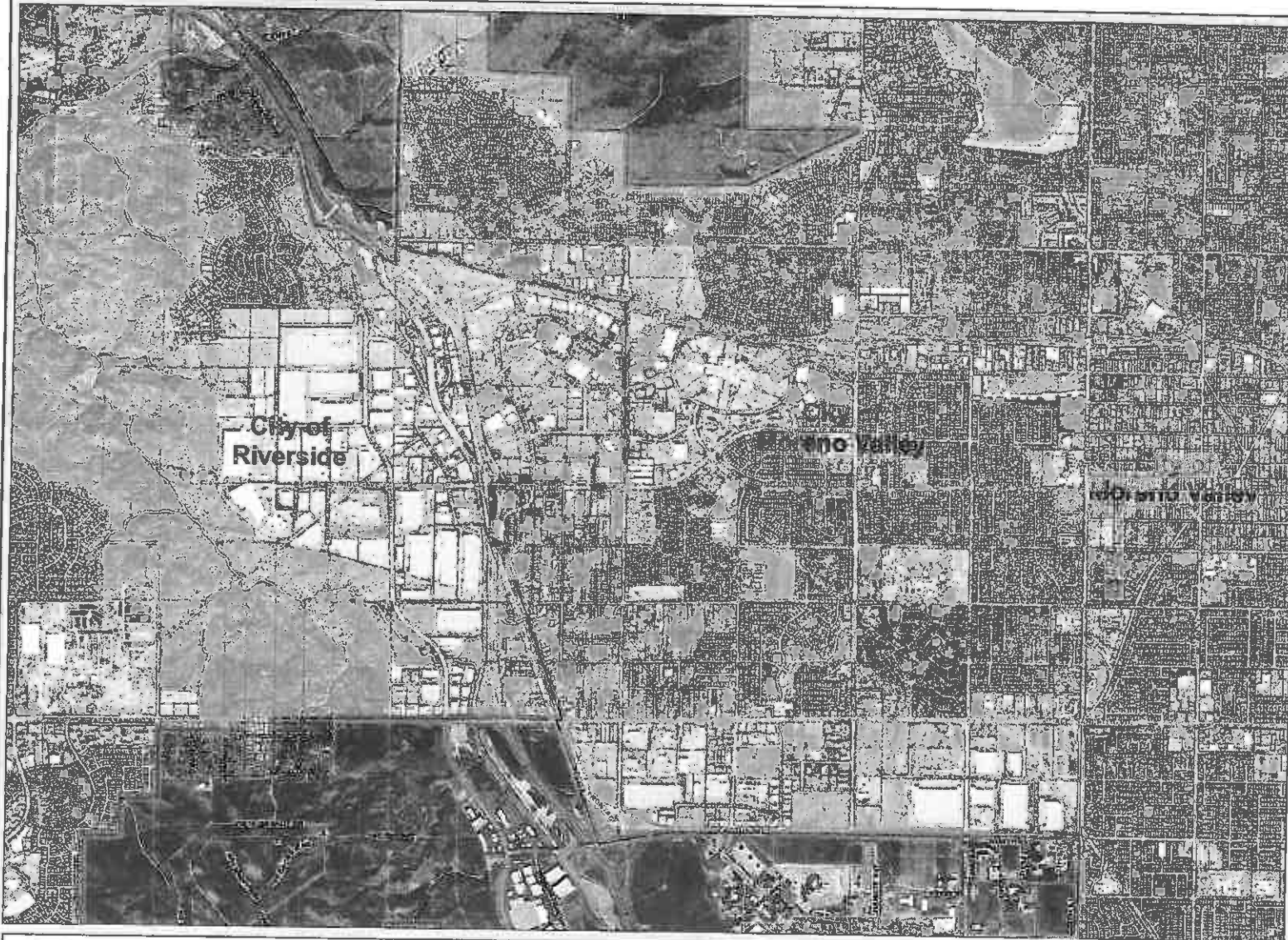
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Notes

My Map



Legend

- City Boundaries
- Cities**
- highways**
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- majorroads
- counties
- cities
- hydrographylines**
- waterbodies**
 - Lakes
 - Rivers



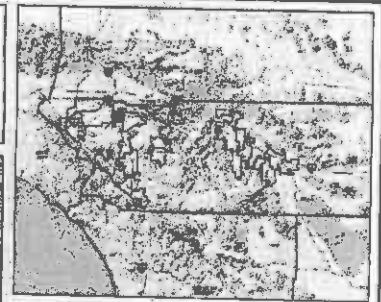
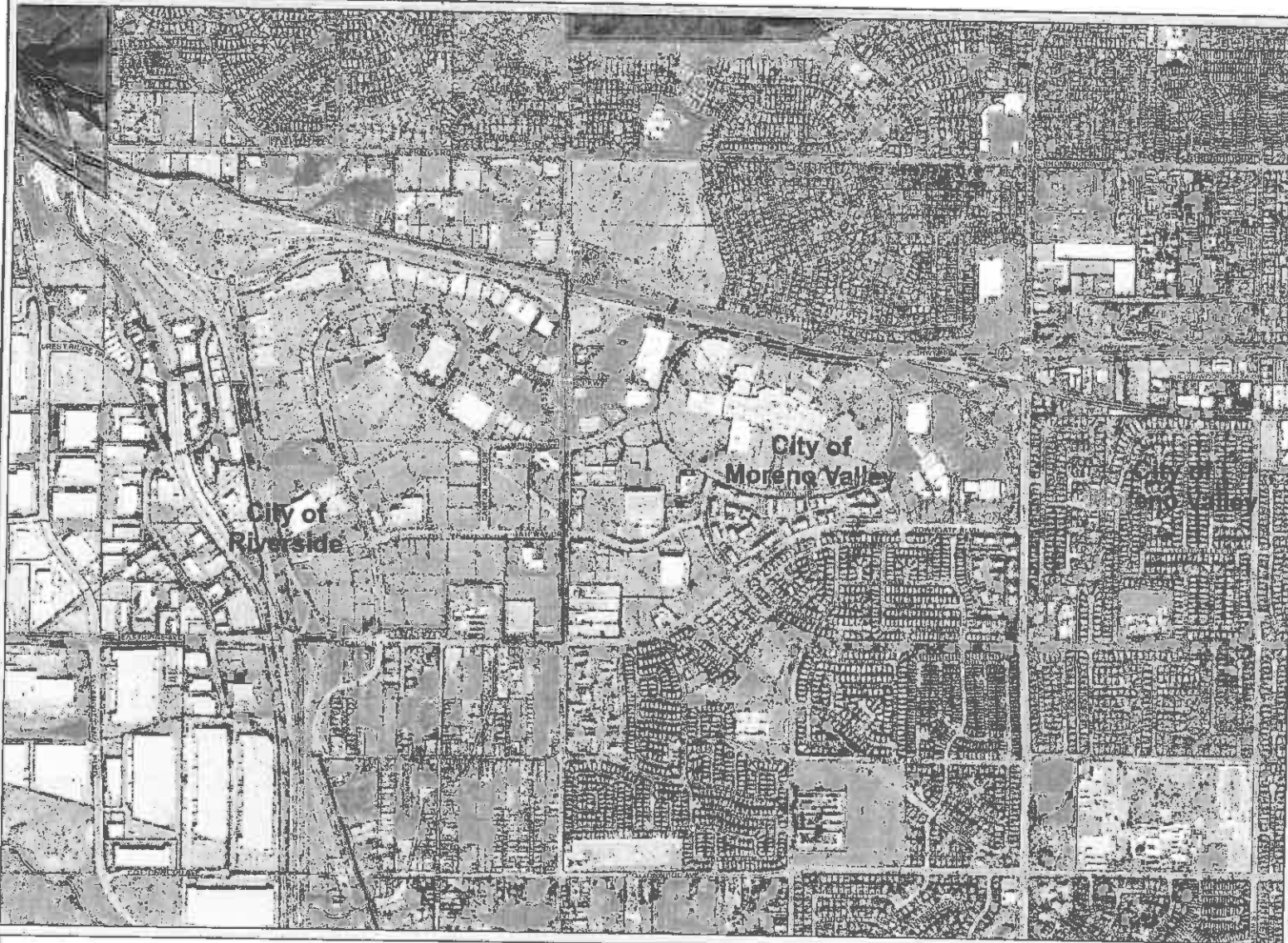
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Notes

My Map



Legend

- City Boundaries
- Cities**
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- roads**
- Major Roads
- Arterial
- Collector
- Residential
- counties
- cities
- hydrographylines
- waterbodies
- Lakes
- Rivers



0 2,117 4,234 Feet



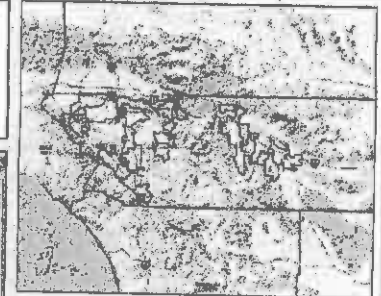
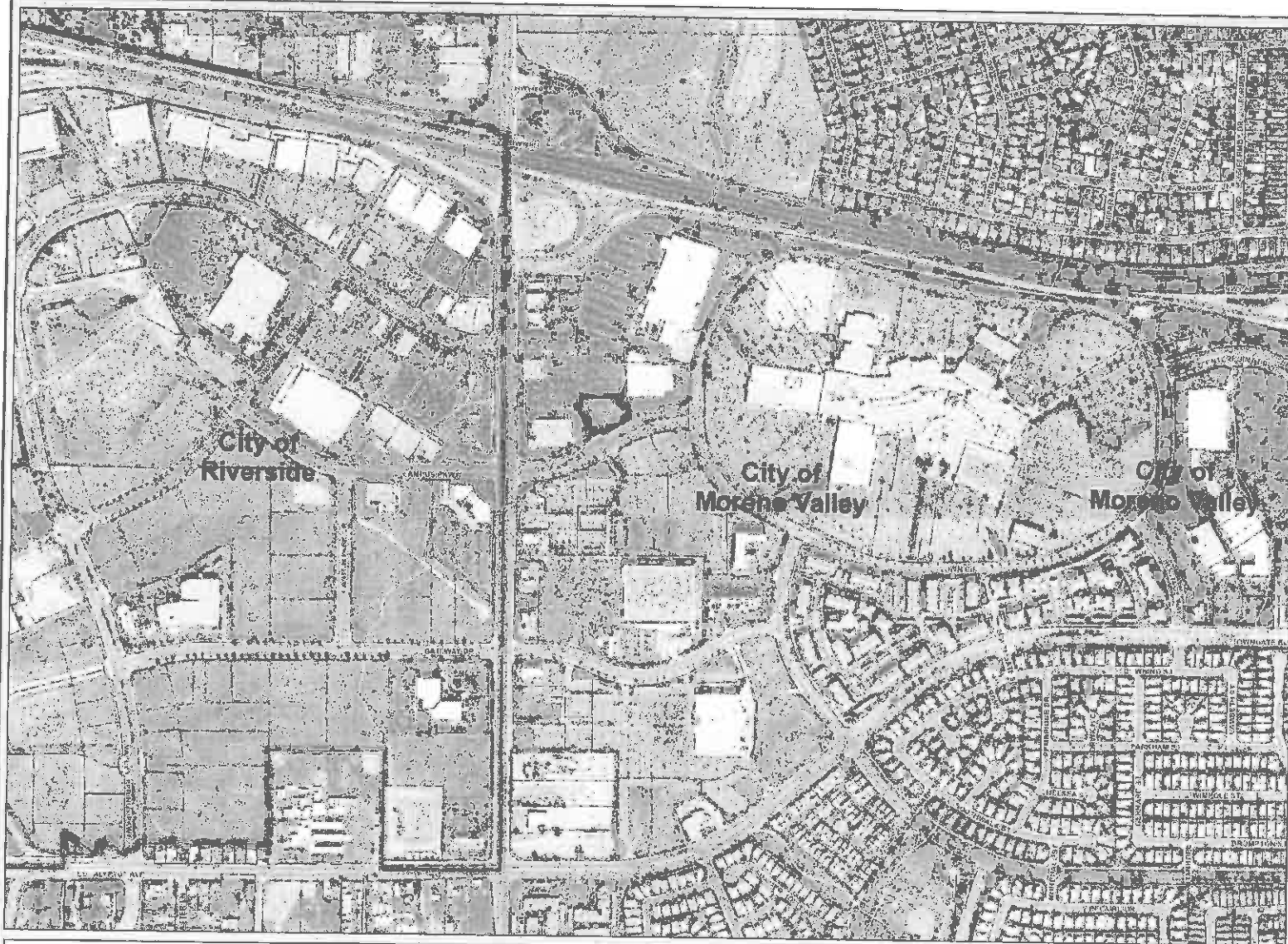
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Notes

My Map



Legend

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- City Boundaries
- Cities**
- roadsanno**
- highways**
- HWY
- INTERCHANGE
- INTERSTATE
- OFFRAMP
- ONRAMP
- USHWY
- counties
- cities
- hydrography**lines
- waterbodies**
- Lakes
- Rivers



0 1,058 2,117 Feet



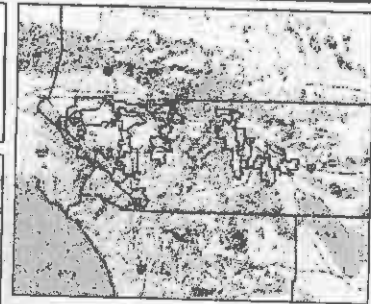
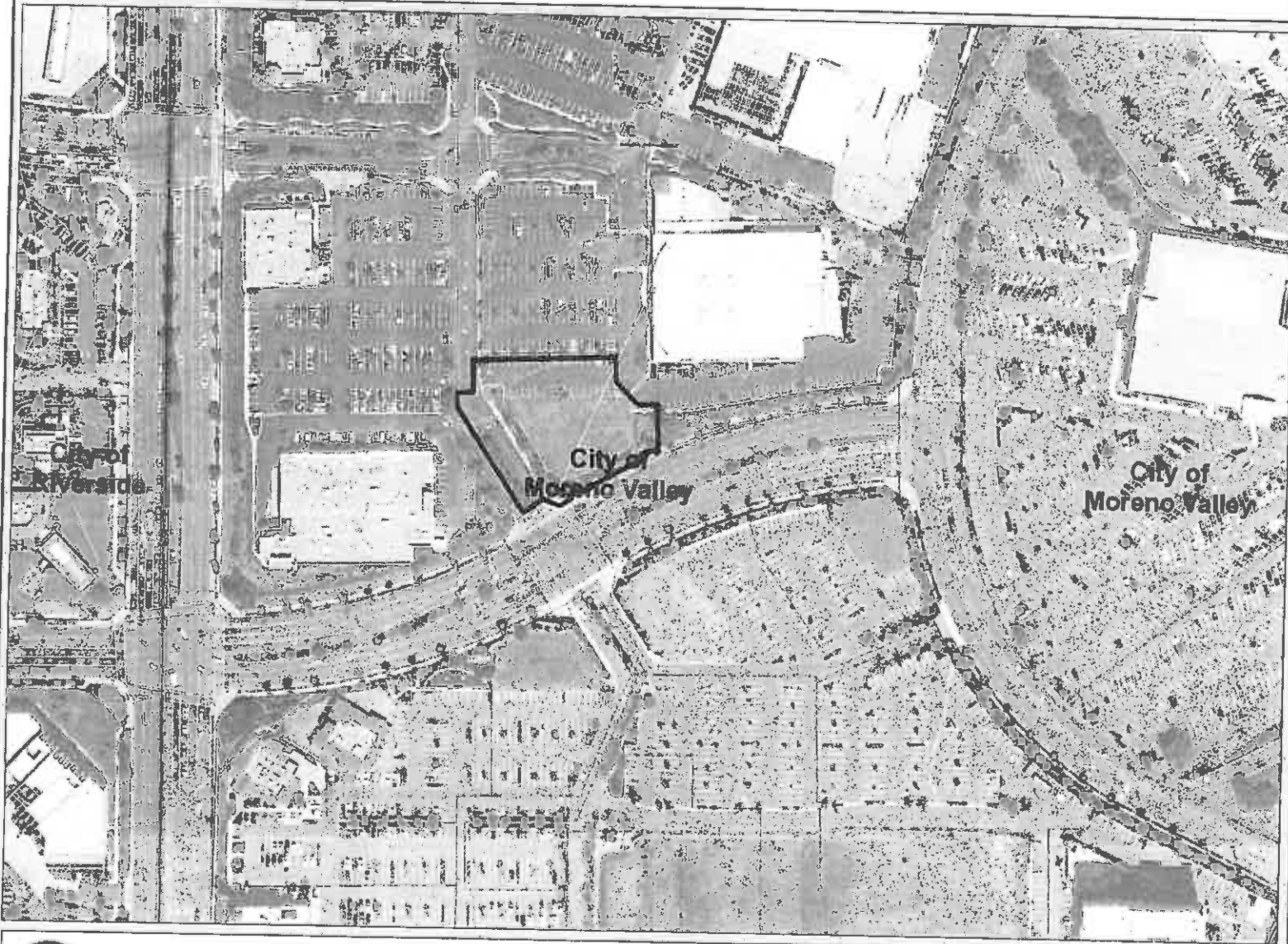
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
- counties
- cities
- hydrographylines
- waterbodies
 - Lakes
 - Rivers



0 265 529 Feet



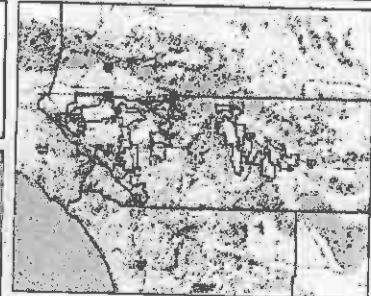
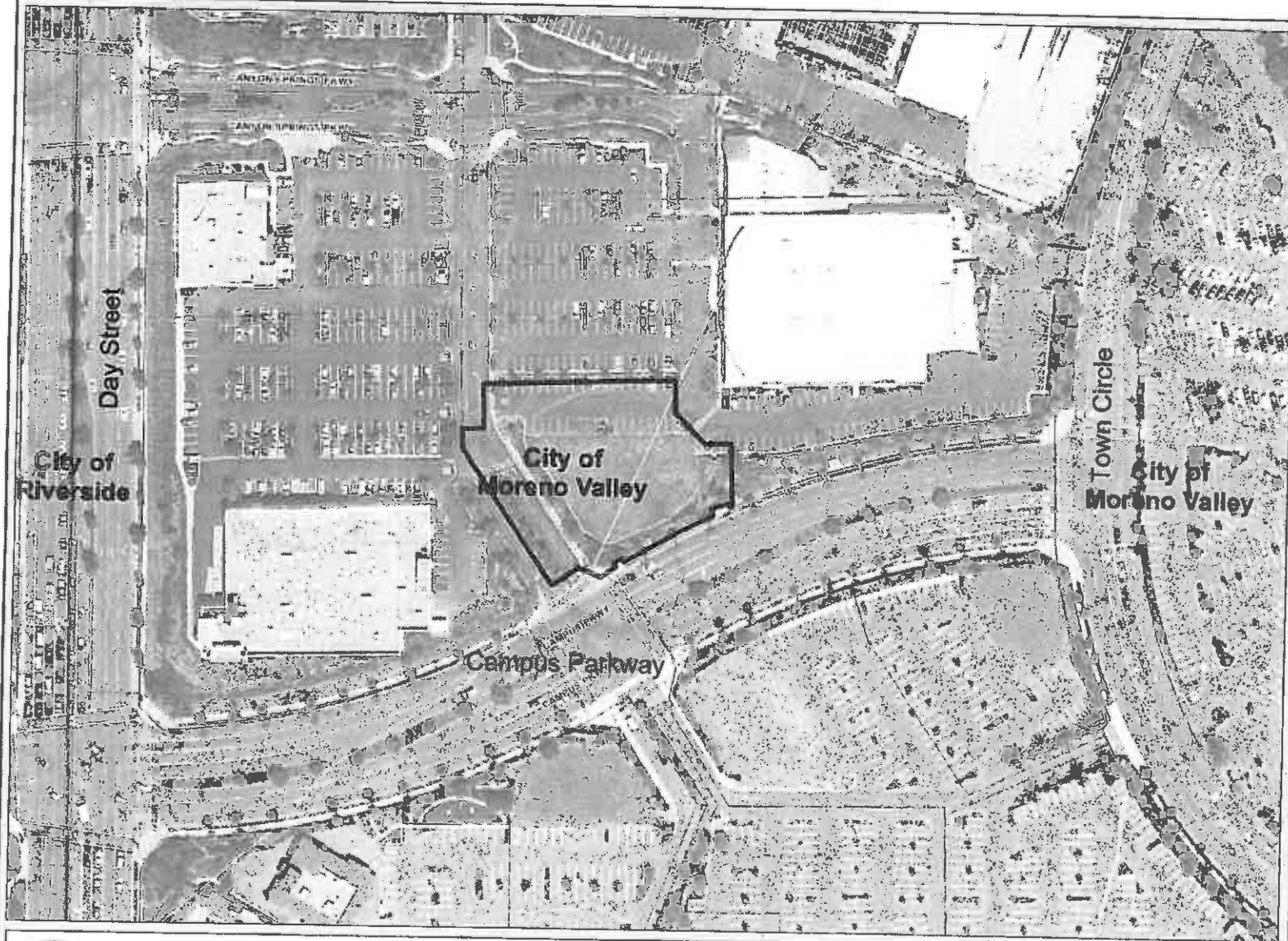
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Notes

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 - City Boundaries
 - Cities
 - roadsanno
 - highways
 - HWY
 - INTERCHANGE
 - INTERSTATE
 - OFFRAMP
 - ONRAMP
 - USHWY
 - counties
 - cities
 - hydrographylines
 - waterbodies
 - Lakes
 - Rivers



0 197 393 Feet



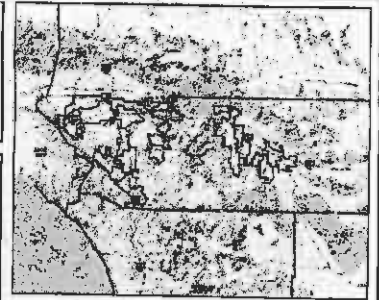
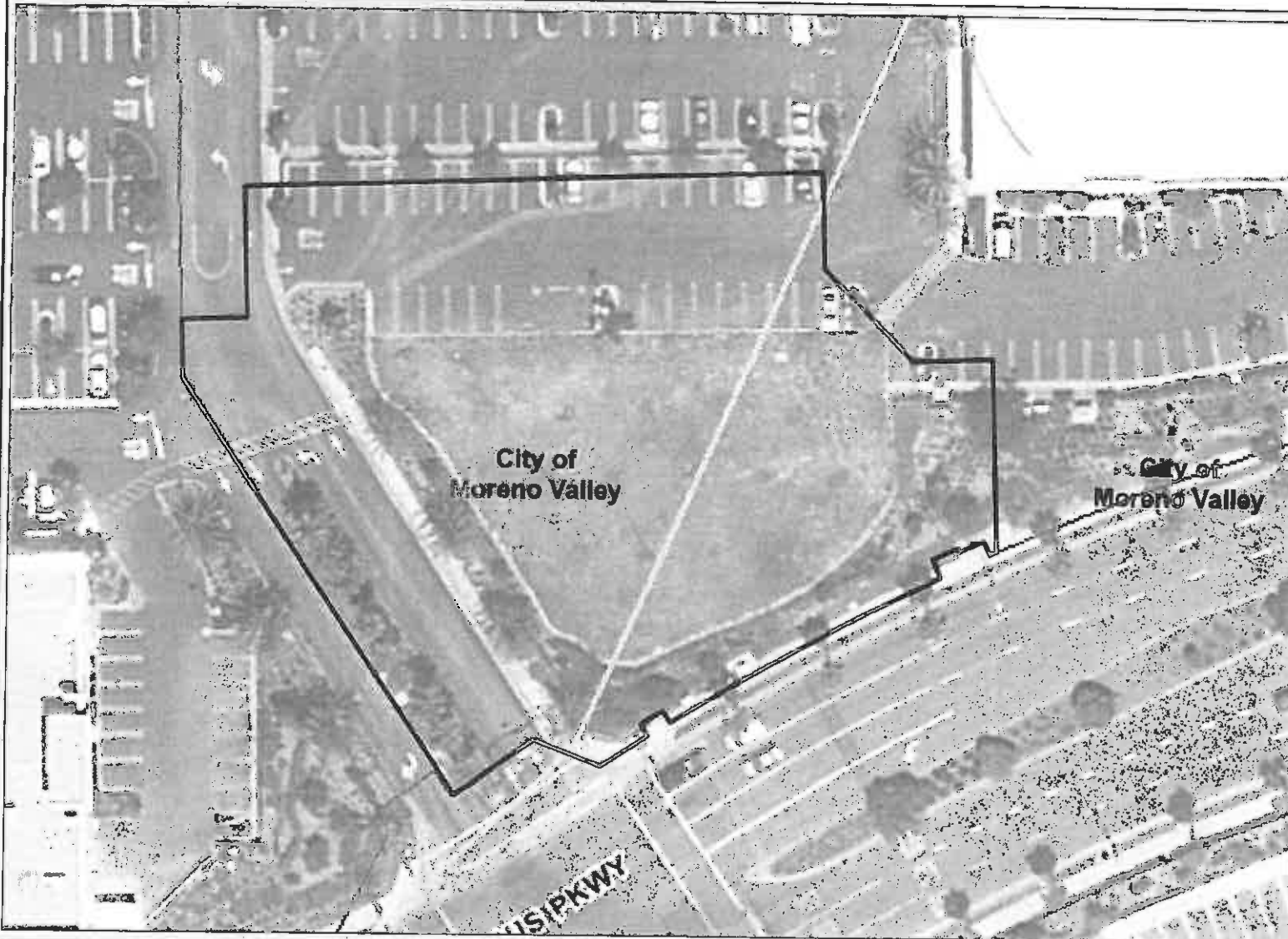
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Notes

My Map



Legend

- Display Parcels
- City Boundaries
- Cities
- roadsanno
- highways
- HWY
- INTERCHANGE
- INTERSTATE
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- ONRAMP
- USHWY
- counties
- cities
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- waterbodies
- Lakes
- Rivers



0 66 132 Feet

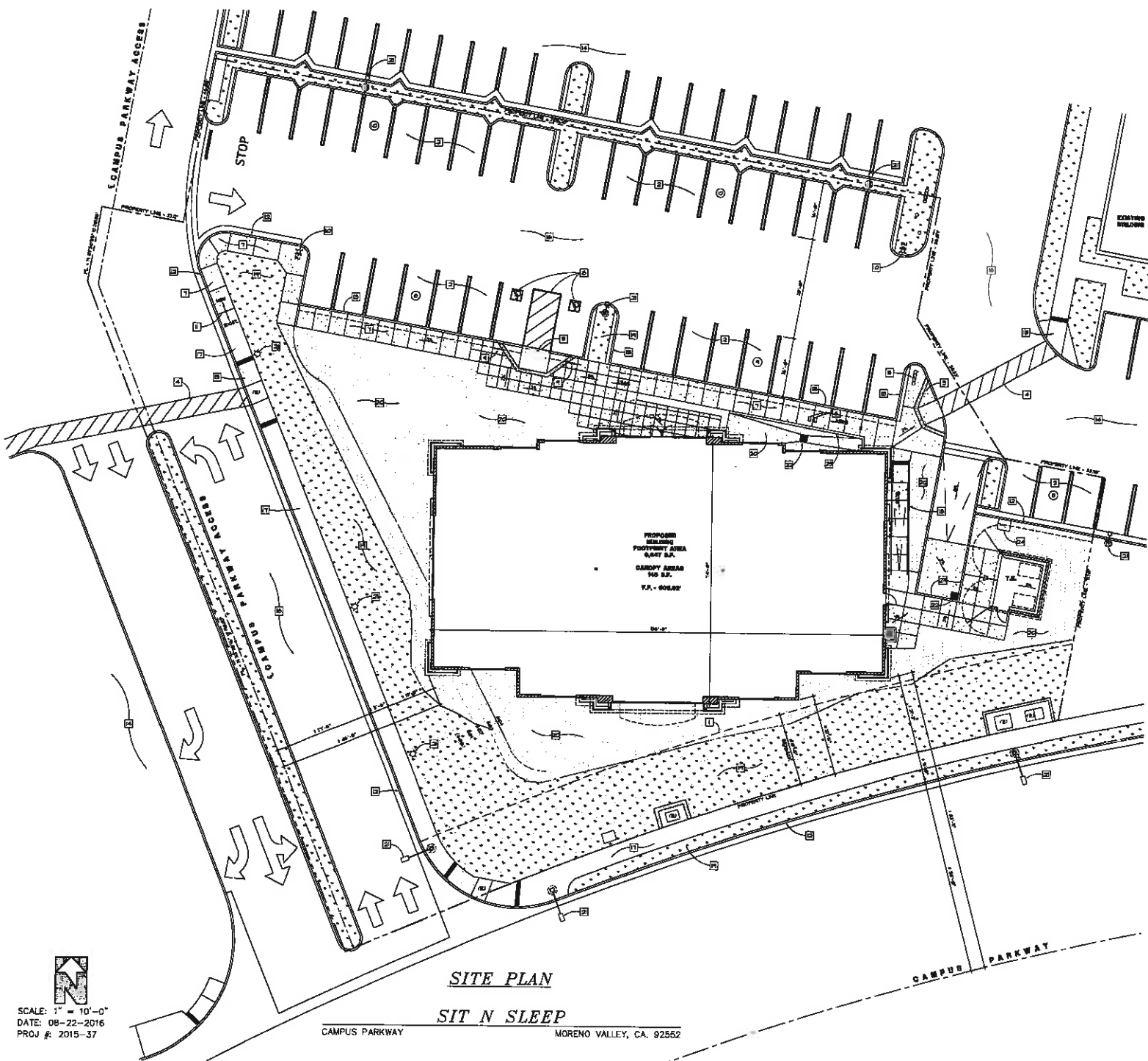


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Notes



PROJECT INFORMATION

DESCRIPTION	AREAS
ZONING:	SP 200 HC
LEGAL DESCRIPTION:	PARCEL 3 OF PARCEL MAP 20278
ASSIGNOR'S PARCEL NO.:	291-090-028
BUILDING CODE:	CBC 2013
PROPOSED BUILDING USE:	M
CONSTRUCTION TYPE:	V-8, FEELY SPAN/ROOFED
LAND AREA:	44,433 S.F.
COVERAGE:	20.15%
BUILDING	
PROPOSED BUILDING	BUILDING FOOTPRINT: 8,917 S.F.
	CANOPY AREA: 148 S.F.
PROPOSED TOTAL AREA:	8,995 S.F.
DESIGNER AND SCALE PROVIDER:	
VIN CALVERT	
CALVERT ARCHITECTURAL GROUP INC.	
1000 CALVERT AVENUE, SUITE 100	
LONG BEACH, CA 90801	
TEL: 562-593-1822	

PARKING TABULATION

REQUIRED PARKING:		
NETAL AREA 6,550 x 1025 +		765 STALLS
TOTAL REQUIRED PARKING:		48 STALLS
PROVIDED ACCESSIBLE PARKING:		3 STALLS
TOTAL PROVIDED PARKING:		45 STALLS
DEFICIENCY:		3 STALLS
PROVIDED ACCESSIBLE STALLS:		1 STALL
TOTAL STALLS PROVIDED:		46 STALLS

VICINITY MAP



KEYNOTES

1. LINE OF SET-BACK BUILDING SETBACK.
2. EXISTING PARKING STALLS TO REMAIN.
3. PROVIDE NEW ACCESSIBLE CURB RAMP.
4. EXISTING ACCESSIBLE CROSS WALK STOPPED PATH OF TRAVEL TO REMAIN.
5. PROPOSED LOCATION OF DOUBLE CHASE DETENTION ASSEMBLY FOR STORMWATER.
6. EXISTING CONCRETE DRIVEWAY AND WALKWAY PAVEMENT TO REMAIN.
7. NEW CONCRETE DRIVEWAY.
8. EXISTING ACCESSIBLE PARKING STALLS TO REMAIN.
9. PROVIDE NEW ACCESSIBLE PARKING STALLS AND TRAVELING PILE FOR STANDARD AND VAN ACCESSIBLE PARKING.
10. EXISTING FIRE HYDRANT TO REMAIN.
11. PROVIDE NEW ACCESSIBLE PARKING STALLS AND TRAVELING PILE FOR STANDARD AND VAN ACCESSIBLE PARKING.
12. LINE OF TRANSITION POINT FOR CONNECTION OF EXISTING TO NEW SIDEWALK.
13. EXISTING CURB AND DRIVEWAY TO REMAIN.
14. EXISTING AS CURB TO REMAIN.
15. EXISTING ADJACENT PARCEL, FUTURE-USE TO REMAIN.
16. EXISTING SIDEWALK ACCESSIBLE CURB RAMP TO REMAIN.
17. EXISTING CONCRETE SIDEWALK TO REMAIN.
18. NEW ACCESSIBLE RAMP.
19. EXISTING SLOPED LANDSCAPES TO REMAIN.
20. PROVIDE NEW LANDSCAPES.
21. EXISTING LIGHT POLE TO REMAIN.
22. NEW CATCH BASIN.
23. EXISTING CURB.
24. EXISTING CATCH BASIN.
25. RETAINING WALL CONDITION.

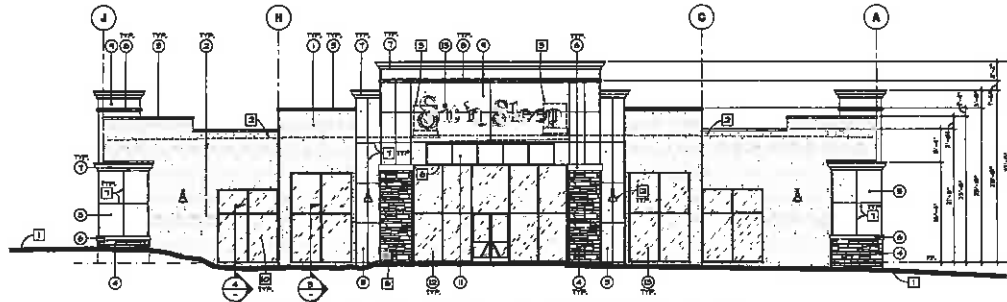
SITE PLAN

SIT N SLEEP

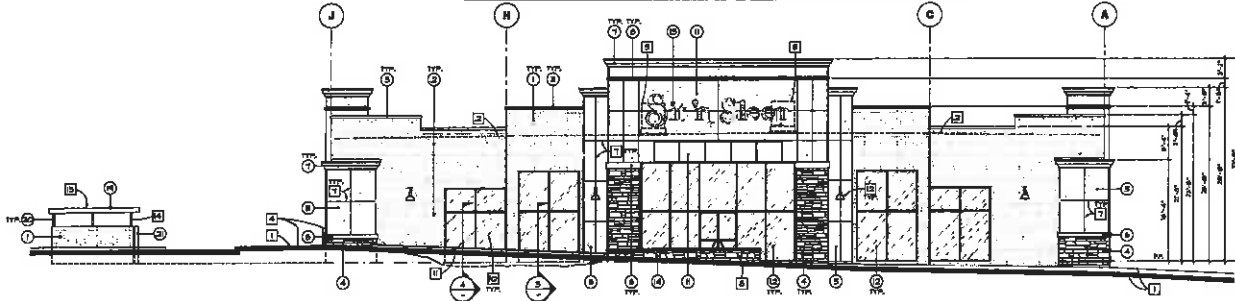
CAMPUS PARKWAY MORENO VALLEY, CA. 92552

SCALE: 1" = 10'-0"
DATE: 08-22-2016
PROJ #: 2015-37

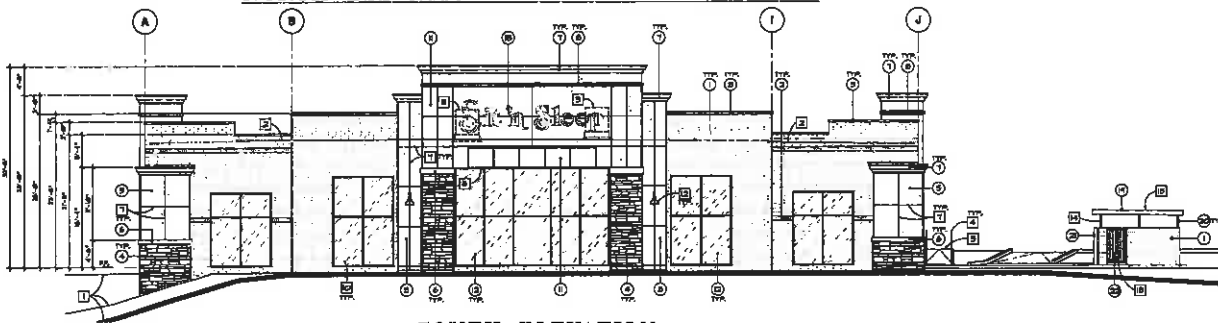
CALVERT ARCHITECTURAL GROUP, INC.
PLANNING ARCHITECTURE INTERIORS
7000 100th ST
SUITE 100-100



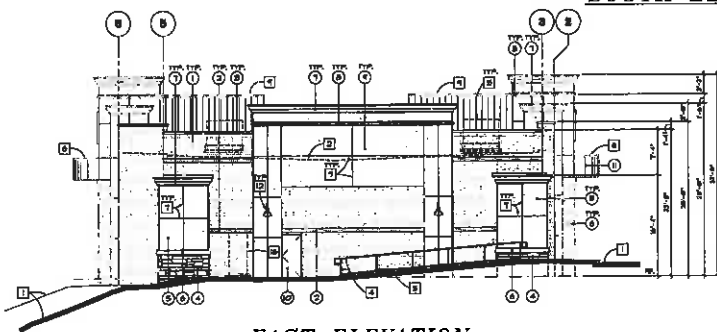
NORTH ELEVATION AT BUILDING FACE



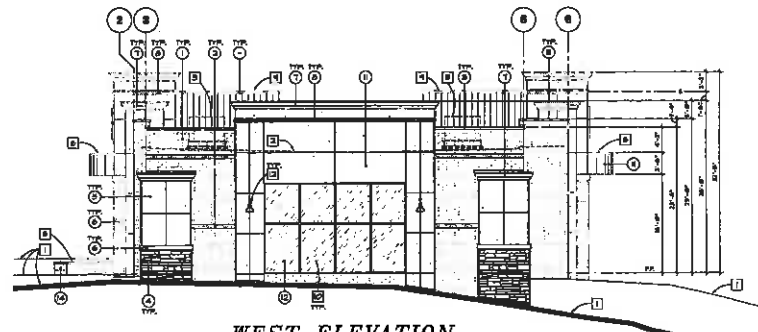
NORTH ELEVATION AT PARKING CURB VIEW



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

FINISHES AND COLORS:

1. CMU - BRICKS BLOCK - SPILT FACE - BRN/BLK - SANDSTONE
2. CMU - BRICKS BLOCK - FINISHED - BRN/BLK - BRN/BLK
3. CMU - CAP - ANSELMO BLOCK - FINISHED FURNITURE GRAY - BRN/BLK - COOL GRAY
4. STONE VENEER - ELDERADO STONE - MOUNTAIN LEDGE - YUKON
5. STUCCO - LA HABRA - SAND FLAT SAND FINISH - PAINT: DAWN EDWARDS - FULL POLARIS DEGREE
6. FLAT TRIM - STYROFOAM - FLAT TRIM GRAY - EPSON CEMENT FINISH - PAINT: DAWN EDWARDS - CARIBOU HIBID DEGREE
7. CONCRETE - STYROFOAM - CONCRETE SAND FINISH - EPSON CEMENT FINISH - PAINT: DAWN EDWARDS - BLENDING LIGHT DEGREE
8. ACCELS TRIM - STYROFOAM - TRIM GRAY BRN/BLK - EPSON CEMENT FINISH - PAINT: DAWN EDWARDS - BLENDING LIGHT DEGREE
9. STUCCO - LA HABRA - SAND FLAT SAND FINISH - PAINT: DAWN EDWARDS - BLENDING LIGHT DEGREE
10. METAL DOOR - ANSELMO BRICKS BLOCK - SAND FLAT SAND FINISH - PAINT: DAWN EDWARDS - BLENDING LIGHT DEGREE
11. CANOPY - METAL FLAT BRICK PANELS - ANSELMO ALUMINUM
12. STUCCO TRIM - ANSELMO BRICKS BLOCK - SAND FLAT SAND FINISH - ANSELMO ALUMINUM - GLAZING: 4MM DBL. PANELS - LOW E - CLEAR
13. GARDEN SIGNAGE TO COLOR MATCH SET IN BRICK SLAB SPECIFICATION
14. DECORATIVE STAIR WALL - CONCRETE CAP - STONE VENEER ELDERADO STONE - MOUNTAIN LEDGE - YUKON
15. BR. WOOD FASCIA - PAINT: DAWN EDWARDS - CARIBOU HIBID DEGREE
16. MET. PORTS - PAINT: DAWN EDWARDS - FULL POLARIS DEGREE
17. GATE POST - 4" AG. BR. GALVANIZED PIPE FULL-HI CONC. - DAWN EDWARDS - AUGUST MORNING DEGREE
18. MET. HAN GATE FRAME ENCLOSURE GLASS IN THE GATE - DAWN EDWARDS - AUGUST MORNING DEGREE
19. WOOD FASCIA - PAINT: DAWN EDWARDS - CARIBOU HIBID DEGREE
20. PORTS - PAINT: DAWN EDWARDS - FULL POLARIS DEGREE
21. GATE POST - 4" AG. BR. GALVANIZED PIPE FULL-HI CONC. - PAINT: DAWN EDWARDS - AUGUST MORNING DEGREE
22. GATE - PAINT - DAWN EDWARDS - AUGUST MORNING DEGREE

KEYNOTES:

1. LINE OF GRADE ON PAVEMENT.
2. ROOF LINE.
3. PHYSIOLOGICAL GATE BEYOND.
4. HANDRAIL.
5. CONCRETE RAMP.
6. CANOPY.
7. 1" HORIZONTAL AND VERTICAL BRICK REVEALS.
8. DECORATIVE STAIR WALL.
9. PHYSIOLOGICAL SIGNPOST ROBBEN WALL.
10. STUCCO TRIM BRICK.
11. RETAINING WALL.
12. EXTERIOR LIGHT FIXTURE.
13. HAN GATE WITH SLIDE LATCH ASLT.
14. 1" AG. BR. POST.
15. 4" FASCIA.
16. PROPOSED HAN ELECTRICAL PANEL ENCLOSURE AND CONCRETE PAD. PAINT TO MATCH BUILDING.

SCALE: 1/8" = 1'-0"
 DATE: 08-22-2016
 PROJ #: 2015-37

SIT N SLEEP
 CAMPUS PARKWAY
 MORENO VALLEY, CA. 92552

CALVERT ARCHITECTURAL GROUP, INC.
 PLANNING ARCHITECTURE INTERIORS
 7800 540-7000
 7800 540-1000

**AIRPORT LAND USE COMMISSION
MINUTE ORDER SEPTEMBER 8, 2016
RIVERSIDE MEETING**

A regular scheduled meeting of the Airport Land Use Commission was held on September 8, 2016 at the Riverside County Administrative Center, Board Chambers.

COMMISSIONERS PRESENT: Simon Housman, Chairman
Rod Ballance, Vice Chairman
Arthur Butler
Glen Holmes
John Lyon
Steve Manos
Russell Betts

COMMISSIONERS ABSENT:

STAFF PRESENT: Paul Rull, Urban Regional Planner IV
Barbara Santos, ALUC Commission Secretary
Raymond Mistica, ALUC Counsel

OTHERS PRESENT: Beth Keeler, Whitfield Associates Inc.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER SEPTEMBER 8, 2016
RIVERSIDE MEETING**

I. **AGENDA ITEM 2.1: ZAP1206MA16 – Optimus Building Corporation (Representative: Gary Hamro)** – City of Perris Case No. DPR 14-01-0015 (Development Plan Review). The applicant is proposing a revision to plans for a two-building warehousing project previously determined to be consistent pursuant to ALUC Case No. ZAP1102MA14, specifically to increase the office area in Building A (which is not located in an Accident Potential Zone) from 15,000 square feet to 45,000 square feet. As amended, Building A would provide 45,000 square feet of office area and 867,338 square feet of warehouse area. No changes are proposed for Building B. The overall floor areas of Buildings A (912,338 square feet) and B (125,437 square feet) would remain the same as originally proposed. The 53.56-acre (gross) project site is located easterly of Patterson Avenue, northerly of Markham Street, westerly of Webster Avenue, and southerly of Nance Street (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).

II. **MAJOR ISSUES**

The United States Air Force submitted a comment letter dated August 8, 2016, outlining their concerns with the project, specifically regarding Building B in the Accident Potential Zone I (APZ I). This project was previously reviewed by ALUC and found consistent, and no changes to Building B are proposed in this ALUC application, but the project has not yet received City approval. The ALUC staff report for the original project, ZAP1102MA14, determined that 86 or 93 people would be present in the most intense single-acre portion of Building B in Zone APZ I. The Airport Land Use Commission reduced the office area in Building B from 10,000 square feet to 2,500 square feet in Zone APZ I, reducing the single-acre intensity to approximately 74 people. This is consistent with the March Air Reserve Base/Inland Port Airport Compatibility Plan adopted in November 2014. However, since the adoption of the plan, there has been an evolution in the Air Force's position regarding the intent of the APZ I standard of 25 people per acre, as specified in Department of Defense Instruction (DoDI) 4165.57 dated March 12, 2015 and Air Force Instruction (AFI) 32-7063 dated December 18, 2015. These issues will ultimately need to be addressed through an amendment to the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.

III. **STAFF RECOMMENDATION**

At this time per the applicant's request, staff recommends that the Commission CONTINUE consideration of this matter to its October 13, 2016 public hearing agenda.

IV. **PROJECT DESCRIPTION**

The applicant is proposing a revision to plans for a two-building warehousing project previously determined to be consistent pursuant to ALUC Case No. ZAP1102MA14, specifically to increase the office area in Building A (which is not located in an Accident Potential Zone) from 15,000 square feet to 45,000 square feet. As amended, Building A would provide 45,000 square feet of office area and 867,338 square feet of warehouse area. No changes are proposed for Building B. The overall floor areas of Buildings A (912,338 square feet) and B (125,437 square feet) would remain the same as originally proposed.

V. **MEETING SUMMARY**

The following staff presented the subject proposal:

ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

No one spoke in favor, neutral or opposition to the project

VI. **ALUC COMMISSION ACTION**

The ALUC Commission by a unanimous vote of 7-0 CONTINUED the project to October 13, 2016.

**AIRPORT LAND USE COMMISSION
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VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rctlma.org.

ITEM 2.1: TIME 9:06 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER SEPTEMBER 8, 2016
RIVERSIDE MEETING**

- I. **AGENDA ITEM 2.2: ZAP1204MA16 – Duke Realty, Adam Schmid (Representative: Albert A. Webb Associates, Nicole Torstvet) – City of Perris Case No. PLN 16-00008 (Development Plan Review).** The applicant is proposing to develop a 668,381 square foot warehouse/distribution center on 30.7 acres. The building floor plan consists of 649,481 square feet of warehouse area and 19,200 square feet of office area. The project site is located southerly of Markham Street, westerly of Indian Avenue, easterly of Barrett Avenue and northerly of Perry Street. (Airport Compatibility Zones B1-APZ I, B2, and C1 of the March Air Reserve Base/Inland Port Airport Influence Area).
- II. **MAJOR ISSUES**
The applicant is proposing to construct a warehouse/distribution center on a site located predominately within the portion of Airport Compatibility Zone B1 that lies within Accident Potential Zone I (APZ I), as delineated by the United States Air Force in the 2005 Air Installation Compatible Use Zone (AICUZ) study. March Air Reserve Base/Inland Port Airport Compatibility Plan adopted in November 2014. However, since the adoption of the plan, there has been an evolution in the Air Force's position regarding the intent of the APZ I standard of 25 people per acre, as specified in Department of Defense Instruction (DoDI) No. 4165.57 dated March 12, 2015 and Air Force Instruction (AFI) 32-7063 dated December 18, 2015. These new documents will ultimately need to be addressed through an amendment to the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan.
- III. **STAFF RECOMMENDATION**
The applicant is requesting additional time to address issues raised by the Air Force with City staff, therefore staff recommends that the Commission CONTINUE consideration of the matter to its *October 13, 2016* public hearing agenda.
- IV. **PROJECT DESCRIPTION**
The Development Plan Review is a proposal to develop a 668,681 square foot warehouse/distribution center on 30.7 net acres. The building floor plan consists of 649,481 square feet of warehouse area and 19,200 square feet of office area. (The applicant is also proposing a tentative parcel map [PLN 16-05150] to merge the six existing parcels comprising the site into one lot. The parcel map does not require ALUC review – no new lots created.)
- V. **MEETING SUMMARY**
The following staff presented the subject proposal:
ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

No one spoke in favor, neutral or opposition to the project
- VI. **ALUC COMMISSION ACTION**
The ALUC Commission by a vote of 6-1 CONTINUED the project to October 13, 2016.
Commissioner Holmes dissenting.
- VII. **CD**
The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rctlma.org.

ITEM 2.2: TIME: 9:09 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER SEPTEMBER 8, 2016
RIVERSIDE MEETING**

I. **AGENDA ITEM 3.1:** ZAP1078R116 – Walter’s Automotive Group (Representative: Whitfield Associates, Inc.) – City of Riverside Planning Case Nos. P16-0546 (Rezone), P16-0404 (Design Review) and P16-0545 (Conditional Use Permit). The applicant proposes to construct and establish a 41,311 square foot two story auto dealership building including 19,403 square foot indoor repair facility, 1,683 square foot parts area, 17,623 square foot showroom and office areas (1st floor), and 2,317 square foot showroom area (2nd floor), and outdoor display lot on a 2.17 acre site, located at 8505-8543 Indiana Avenue, easterly of Bernard Street, westerly of Vance Street, and southerly of SR-91 Freeway. The applicant also proposes to change the zoning of 1.62 acres of the property from Office (O) to Commercial General (CG). The Commission may further recommend that the 1.62-acre area or the entire site be rezoned to CG-AP-E (Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area).

II. **MAJOR ISSUES**
None

III. **STAFF RECOMMENDATION**
Staff recommends that the Rezoning be found CONSISTENT with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, provided that the new zoning incorporates the appropriate Airport Protection Overlay Zone suffix (-AP-E), which refers to the site’s location within Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area, and that the Conditional Use Permit be found CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.

IV. **PROJECT DESCRIPTION**
The applicant proposes to construct a 41,311 square foot two story auto dealership building including 19,403 square foot indoor repair facility, 1,683 square foot parts area, 17,623 square foot showroom and office areas (1st floor), and 2,317 square foot showroom area (2nd floor), and outdoor display lot on a 2.17 acre site consisting of two parcels. The applicant also proposes to change the zoning of the westerly 1.62 acre parcel from Office to Commercial General.

CONDITIONS: Final conditions await FAA approval

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production

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of cereal grains, sunflower, and row crops, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be given to all prospective purchasers and/or tenants of the property.
- 4. No new detention basins are depicted on the site plan. Any new detention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the detention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
- 5. Prior to issuance of a building permit, the City of Riverside shall apply zoning incorporating the Airport Protection Overlay Zone (CG-AP-E) to the site.

V. MEETING SUMMARY

The following staff presented the subject proposal:

ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

The following spoke in favor of the project:

Beth Keeler, Whitfield Associates, Inc., 24691 Del Prado, Suite 201, Dana Point, CA 92629

No one spoke in neutral or opposition to the project

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 7-0 found the project **CONSISTENT** (Rezoning); **CONDITIONALLY CONSISTENT** (CUP).

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rctlma.org.

ITEM 3.1: TIME: 9:09 A.M.

**AIRPORT LAND USE COMMISSION
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RIVERSIDE MEETING**

- I. **AGENDA ITEM 3.2: ZAP1007CO16 – Harrington Village, LLC (Representative: KWC Engineers) –** City of Corona Planning Case Nos.: GPA 15-003 (General Plan Amendment); SPA 15-005 [DPR 15-019] (Specific Plan Amendment); TTM36427 [DPR 15-018] (Tentative Tract Map); PP 06-009M2 [DPR 15-020] (Modification to Precise Plan). The applicant proposes to develop a residential condominium project consisting of 36 buildings accommodating 148 dwelling units (townhomes) on 8.48 acres (Assessor's Parcel Numbers 119-190-022, 119-190-025, and 119-190-029) located along the southerly side of Harrington Street, easterly of Lincoln Avenue (PP 06-009M2). Tentative Tract Map No. 36427 proposes to include the 8.48-acre site in one lot for residential condominium purposes. The General Plan designation of the easterly 1.1 acres (Assessor's Parcel No. 119-190-029) located approximately 1,000 feet easterly of Lincoln Avenue is proposed to be amended from Light Industrial (LI) to High Density Residential (HDR) (GPA 15-003). Additionally, this area is proposed to be annexed into the Township in Corona Specific Plan within Planning Area 9, with a Specific Plan designation of HDR (a change from its present zoning of M-1 (Light Manufacturing)), and the allowable number of dwelling units in Planning Area 9 would be reduced to 148. (SPA 15-005). (Airport Compatibility Zone D of the Corona Municipal Airport Influence Area).
- II. **MAJOR ISSUES**
None
- III. **STAFF RECOMMENDATION**
Staff recommends that the Commission find the proposed General Plan Amendment and Specific Plan Amendment CONSISTENT with the 2004 Corona Municipal Airport Land Use Compatibility Plan, and find the Tentative Tract Map and Modification to Precise Plan CONDITIONALLY CONSISTENT, subject to the conditions included herein, and such additional conditions as may be required by the Federal Aviation Administration Obstruction Evaluation Service.
- IV. **PROJECT DESCRIPTION**
The applicant proposes to develop a residential condominium project consisting of 36 buildings accommodating 148 dwelling units (townhomes) on 8.48 acres (Assessor's Parcel Numbers 119-190-022, 119-190-025, and 119-190-029) located along the southerly side of Harrington Street, easterly of Lincoln Avenue (PP 06-009M2). Tentative Tract Map No. 36427 proposes to include the 8.48-acre site in one lot for residential condominium purposes. The General Plan designation of the easterly 1.1 acres (Assessor's Parcel No. 119-190-029) located approximately 1,000 feet easterly of Lincoln Avenue is proposed to be amended from Light Industrial (LI) to High Density Residential (HDR) (GPA 15-003). Additionally, this area is proposed to be annexed into the Township in Corona Specific Plan within Planning Area 9, with a Specific Plan designation of HDR (a change from its present zoning of M-1 (Light Manufacturing)), and the allowable number of dwelling units in Planning Area 9 would be reduced to 148. (SPA 15-005).

CONDITIONS: Final conditions await FAA approval

1. Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational

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signal light or visual approach slope indicator.

- (b) Any activity which would cause sunlight to be reflected toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any activity which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, composting operations, production of cereal grains, sunflower, and row crops, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any activity which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.
3. The attached disclosure notice shall be provided to all potential purchasers of the proposed lots and to tenants of the homes thereon, and shall be recorded as a deed notice.
 4. Any ground-level or aboveground water detention basin or facilities shall be designed so as to provide for a detention period for the design storm that does not exceed 48 hours and to remain totally dry between rainfalls. Vegetation in and around such facilities that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. Prior to issuance of building permits for any structure within the residential subdivision with an elevation at top of roof exceeding 596.5 feet above mean sea level, the permittee (or its successor-in-interest) shall submit evidence to the City of Corona Development Services Department that the Federal Aviation Administration (FAA) has issued a determination of "Not a Hazard to Air Navigation" for such structure.

V. MEETING SUMMARY

The following staff presented the subject proposal:

ALUC Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rctlma.org

No one spoke in favor, neutral or opposition to the project

VI. ALUC COMMISSION ACTION

The ALUC Commission by a unanimous vote of 7-0 found the project **CONSISTENT** (GPA, SPA); **CONDITIONALLY CONSISTENT** (Tentative Tract Map, Plot Plan)

VII. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rctlma.org.

ITEM 3.2: TIME: 9:17 A.M.

**AIRPORT LAND USE COMMISSION
MINUTE ORDER SEPTEMBER 8, 2016
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I. 4.0 ADMINISTRATIVE ITEMS

4.1 Director's Approval – Information Only

4.2 Resolution No. 2016-02 extending the authorization of the ALUC Director to take action on Legislative Items in Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area

The ALUC Commission by a vote of 7-0 adopted Resolution No. 2016-02.

II. 5.0 APPROVAL OF MINUTES

The ALUC Commission by a vote of 7-0 approved the August 11, 2016 minutes.

III. 6.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

None

IV. 7.0 COMMISSIONER'S COMMENTS

Rod Ballance, Vice Chairman advised that he will be attending a \$10 workshop put on by the Riverside Society of Parliamentarians on the Roberts Rules of Order at the Riverside Main Library. He also commented that he ran into David Slauson a member of the Eastern Municipal Water District (EMWD) in Perris who was very pleased to host our last Commission meeting in August, and extended an invitation to use their facility in the future. Commissioner Holmes expressed his concerns regarding the dollars spent on the new equipment upgrades in the Board Chambers. Chairman Housman replied that the County of Riverside has been advancing their technological capabilities in order to make the activities of the County Government more transparent digitally and to reach out to more people. In conclusion, Chairman Housman thanked the RCIT staff for their time and efforts in helping assist with the new County voting system.

V. 8.0 ADJOURNMENT

Chairman Housman adjourned the meeting at 9:35 A.M.

VI. CD

The entire discussion of this agenda item can be found on CD and referenced by the meeting time listed below. For a copy of the CD, please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rctlma.org.

ITEM 4.0: TIME: 9:21 A.M.