### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

### STAFF REPORT

AGENDA ITEM: 3.1

**HEARING DATE:** February 9, 2023

CASE NUMBER: ZAP1071HR22 – The Focus Group (Representative: The

Focus Group: David Church)

**APPROVING JURISDICTION:** City of Hemet

**JURISDICTION CASE NO:** ZC22-001 (Change of Zone), CUP22-001 (Conditional Use

Permit)

LAND USE PLAN: 2017 Hemet-Ryan Airport Land Use Compatibility Plan

Airport Influence Area: Hemet-Ryan Airport

Land Use Policy: Zone D

Noise Levels: Below 55 CNEL contour

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Change of Zone be found <u>CONSISTENT</u> with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, and the Conditional Use Permit be found <u>CONSISTENT</u>, subject to the conditions included herein.

**PROJECT DESCRIPTION:** The applicant proposes to construct a 1,008 square foot carry-out only restaurant building with drive-thru on 0.75 acres. The applicant also proposes to change the sites zoning from M-2 (General Manufacturing) to M-1 (Limited Manufacturing).

**PROJECT LOCATION:** The proposed project is located on the northwest corner of Tanya Avenue and Sanderson Avenue, approximately 3,026 feet southeasterly of the easterly terminus of Runway 5-23 at Hemet-Ryan Airport.

### **BACKGROUND:**

Non-Residential Average Acre Intensity: The site is located within Compatibility Zone D of the 2017 Hemet-Ryan Airport Influence Area, where Zone D limits average intensity to 300 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included in the Hemet-Ryan Airport Land Use Compatibility Plan; the following rates were used to calculate the occupancy for the proposed project:

Restaurant kitchen area – 1 person per 200 square feet.

The project proposes to construct a 1,008 square foot carry-out only restaurant with drive-thru, including 1,008 square feet of kitchen area, 14 stack drive-thru vehicles, and an outdoor dining area with 20 fixed seats, accommodating 53 people, resulting in 71 people per average acre, which is consistent with Compatibility Zone D average intensity criterion of 300 people per acre.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). Based on the number of vehicle parking spaces provided (10), the total occupancy would be estimated at 15 persons. This results in an average intensity of 20 people per acre, which is consistent with the Zone D average intensity criterion of 300.

<u>Non-Residential Single-Acre Intensity</u>: Pursuant to the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D, where Zone D restricts single acre intensity to a maximum of 1,200 persons.

Based on the site plan provided and the occupancies as previously noted. The maximum single-acre area includes 1,008 square foot of kitchen area, 14 stack drive-thru vehicles, and 20 fixed seats, accommodating a total occupancy of 53 people, which is consistent with Compatibility Zone D single acre intensity criterion of 1,200 persons.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

<u>Noise:</u> The Hemet-Ryan Airport Land Use Compatibility Plan depicts the site as being located below the 55 CNEL contour range from aircraft noise. Therefore, no special measures to mitigate aircraft noise are required at this location.

Part 77: The elevation of Hemet-Ryan Airport's Runway 5-23 at its southeasterly terminus is 1,508 feet above mean sea level (AMSL). At a distance of 3,026 feet from the runway to the site, any building with a top point elevation exceeding 1,539 feet AMSL would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAAOES). The project's site elevation is 1,538 feet AMSL and proposes a maximum building height of 16 feet, resulting in a top point elevation of 1,554 feet AMSL. Therefore, review of the buildings by the FAAOES was required. The applicant has submitted Form 7460-1, and the FAA OES has assigned Aeronautical Study No. 2022-AWP-24231-OE to this project. A Final Determination letter was issued on January 12, 2023, with no objections to the project as long as the project complies with the requirements set forth in FAA Advisory Circular 150/5370-2 "Operational Safety on Airports During construction". The FAA OES conditions have been incorporated into ALUC's conditions listed below.

<u>Hazards to Flight:</u> Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The project is located 3,026 feet from the runway, and therefore would be subject to the above requirement.

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 3,026 feet), the project utilizes underground basins which will not contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

<u>Open Area:</u> Pursuant to the Hemet-Ryan Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D. The Compatibility Plan requires projects 10 acres or larger to designate 10% of project area as ALUC qualifying open area that could potentially serve as emergency landing areas.

Based on the project size (0.75 acres) located within Compatibility Zone D, the project is not subject to above requirement. Additionally, open space requirements have already been satisfied under Additional Compatibility Policy Number 2.4.

<u>Change of Zone:</u> The applicant proposes to change the sites zoning from General Manufacturing (M-1) to Limited Manufacturing (M-2). The proposed amendments would be as, or more, consistent with the Compatibility Plan as long as the underlying development's is consistent with the compatibility criteria.

### **CONDITIONS:**

- 1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive nonresidential uses.

- (f) Any use which results in a hazard to flight, including physical (e.g. tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice.
- 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at <u>RCALUC.ORG</u> which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 5. This project has been evaluated as consisting of a 1,008 square foot drive-thru restaurant with an outside patio dining area. Any increase in building area (including construction of a new building), change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
- 6. The maximum height of the proposed structure to top point shall not exceed 16 feet above ground level, and the maximum elevation at the top of the structure shall not exceed 1,538 feet above mean sea level.
- 7. The specific coordinates, height, and top point elevation of the proposed structure shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 8. Temporary construction equipment used during actual construction of the structure shall not exceed 16 feet in height and a maximum elevation of 1,538 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.

### Staff Report Page 5 of 5

9. Within five (5) days after construction of the structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <a href="https://oeaaa.faa.gov">https://oeaaa.faa.gov</a> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the structure.

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# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

## NOTICE

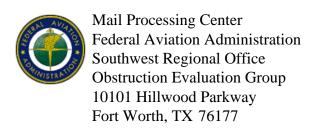
# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

### PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES



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Name:	Phone:	



Issued Date: 01/12/2023

David Church NNN Retail 15882 WAKEFIELD LN SAN DIEGO, CA 92127

### \*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Rally's Drive Thru Restaurant

Location: Hemet, CA

Latitude: 33-43-57.00N NAD 83

Longitude: 117-00-25.51W

Heights: 1522 feet site elevation (SE)

16 feet above ground level (AGL)

1538 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

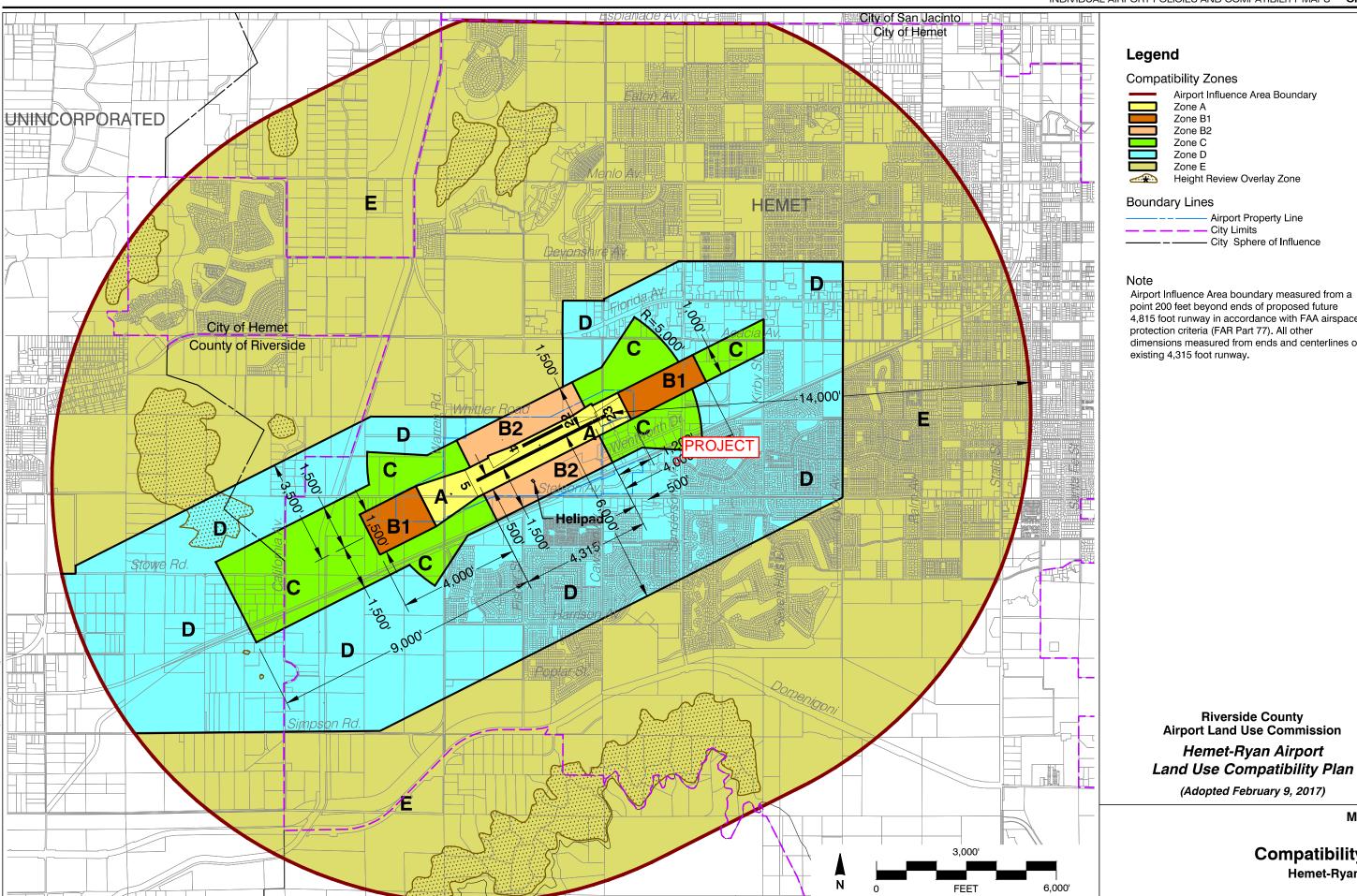
It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)	
X_	Within 5 days after the construction reaches its greatest height (7460-2, Par	t 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 07/12/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

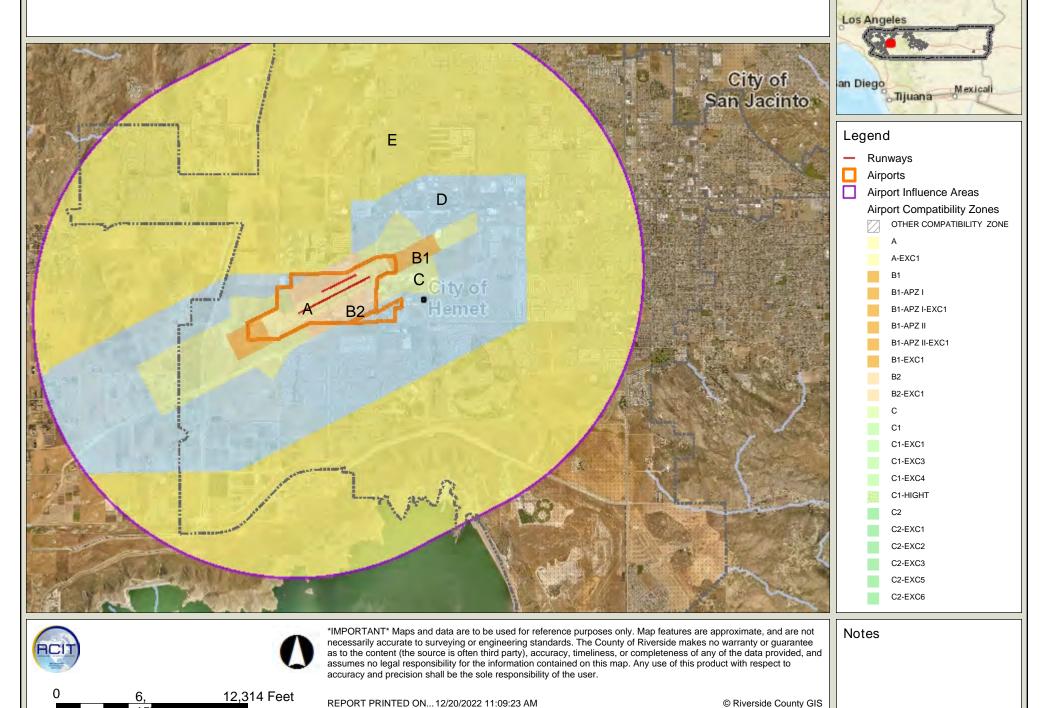


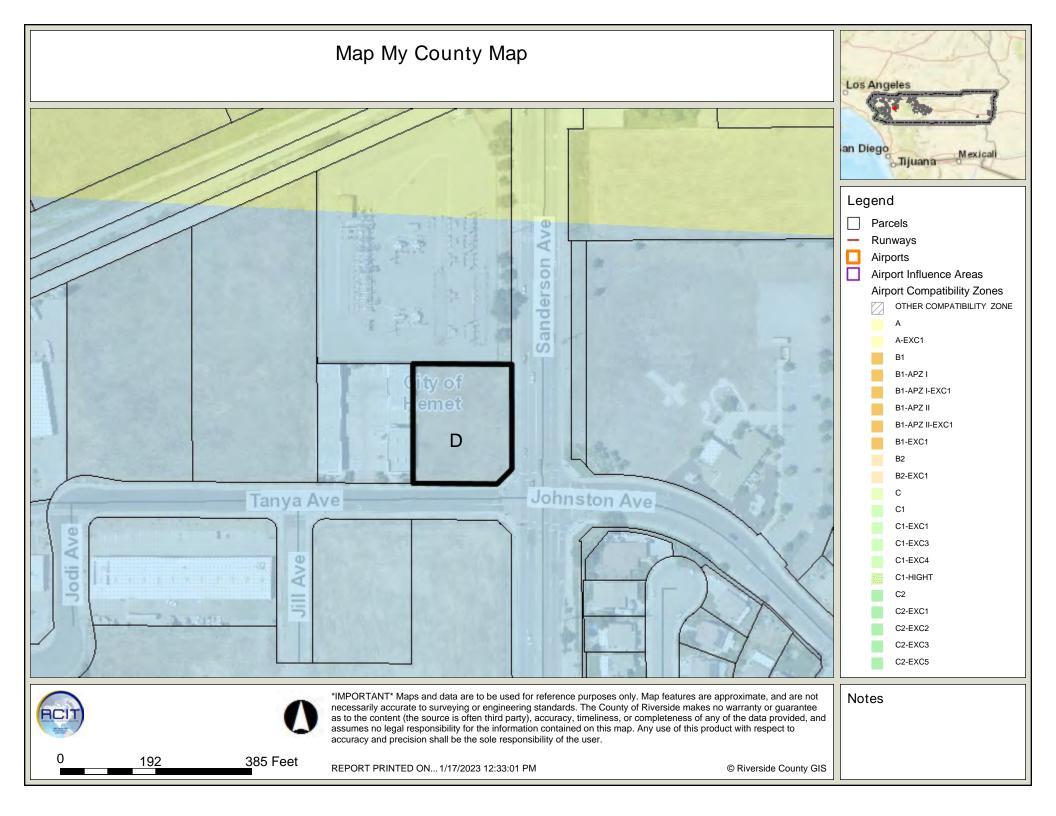
4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of

Hemet-Ryan Airport Land Use Compatibility Plan

Map HR-1

**Compatibility Map Hemet-Ryan Airport** 









### Legend

Parcel APNs

Parcels

County Centerline Names

County Centerlines

Blueline Streams

City Areas

World Street Map



192 Feet

96

\*IMPORTANT\* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes





### Legend

County Centerline Names

- County Centerlines
- Blueline Streams
- City Areas World Street Map





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Notes





### Legend

County Centerline Names

- County Centerlines
- Blueline Streams
- City Areas
  World Street Map

Notes





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### Legend

- Blueline Streams
- City Areas World Street Map

Notes





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NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

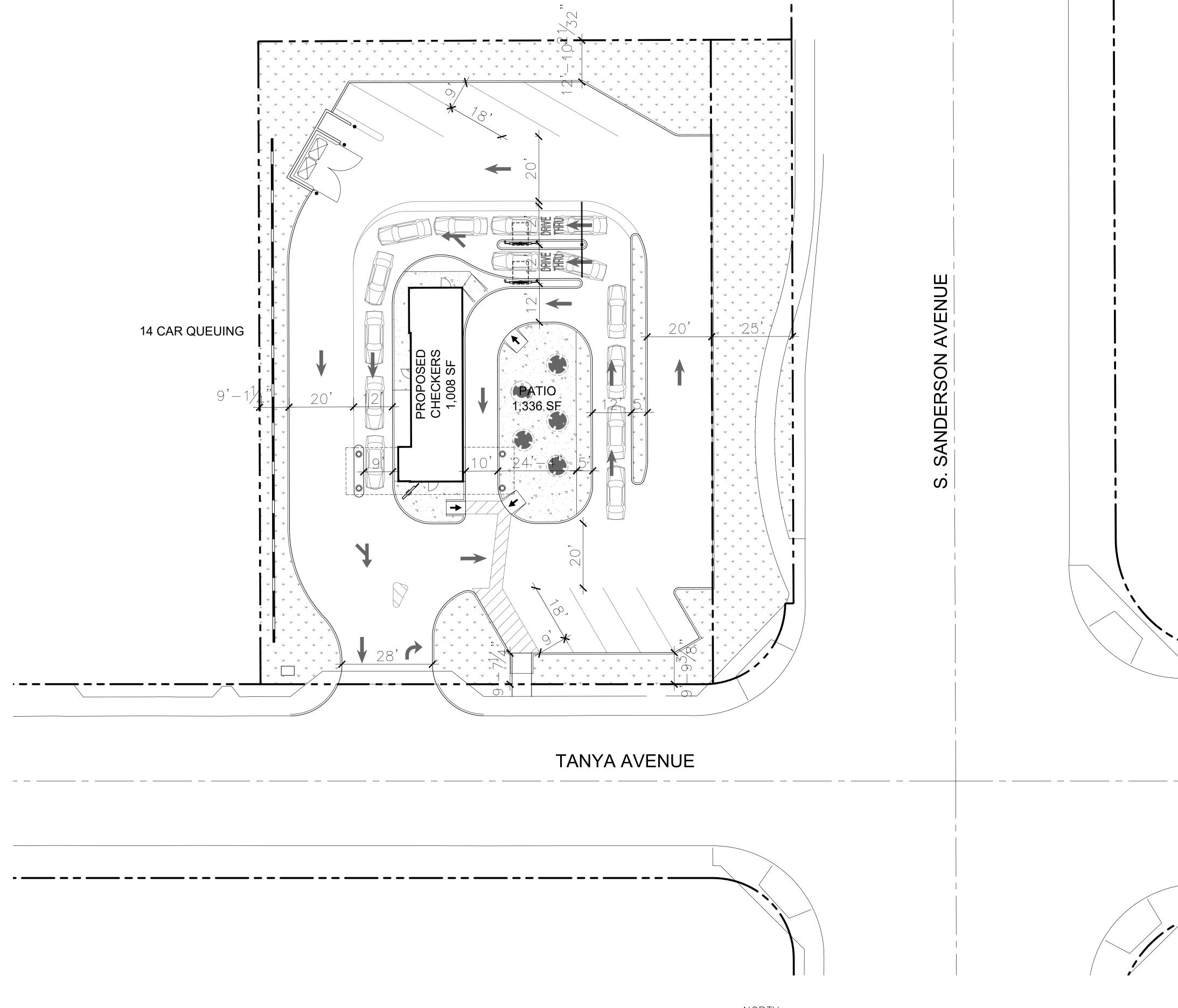
This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2877, or Nicholas.Sanders@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AWP-24231-OE.

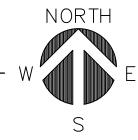
Signature Control No: 566059635-568140874 (DNE)

Nicholas Sanders Technician

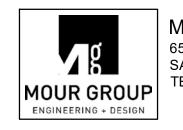


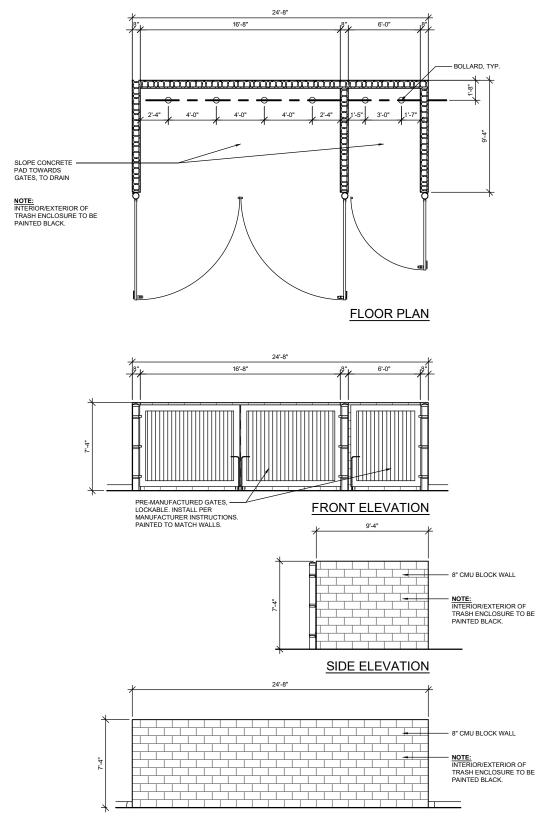










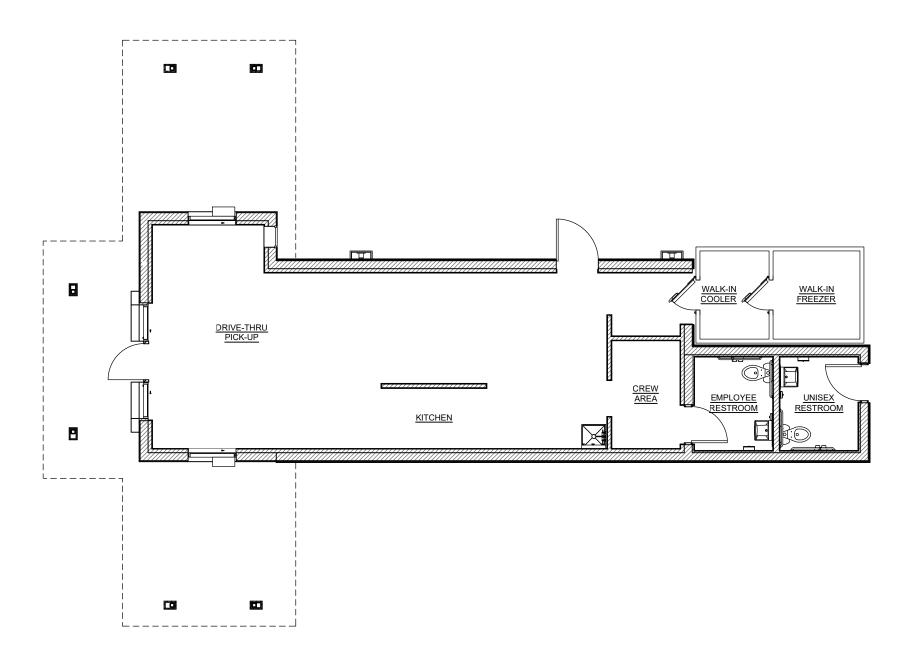


### REAR ELEVATION

### PROPOSED TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"

**DRIVE-THRU RESTAURANT** HEMET, CALIFORNIA







Application Numbers: Conditional Use Permit (CUP) 22-001

Zone Change (ZC) 22-001

**Project Description:** The applicant requests approval to construct and operate a 1,008

square-foot Rally's Hamburger drive-thru restaurant, including site improvements on an 0.75 acre. The project also involves a zone change from M-2 (General Manufacturing) to M-1 (Limited Manufacturing). Restaurants with drive-thru are allowed in the M-1 (Limited Manufacturing) zone, subject to Conditional Use Permit (CUP) approval. The M-1 (Limited Manufacturing) zone is consistent with the General Plan Land Use Designation of BP-Business Park

(FAR 0.60) of the General Plan.

**Location:** The 0.75 acre property is located at the northwest corner of S

Sanderson Avenue and Tanya Avenue.

**APN**: 456-050-012

Project Applicant: David Church, NNN Retail Development

### Attachments:

1. Aerial Map

2. Current Zoning Map

3. Proposed Zoning

4. General Plan Land Use



CUP 22 -001 & ZC 22-001 Rally's Burger (Drive-Thru)

Aerial Map



CUP 22-001 & ZC 22-001 Rally's Drive-Thru

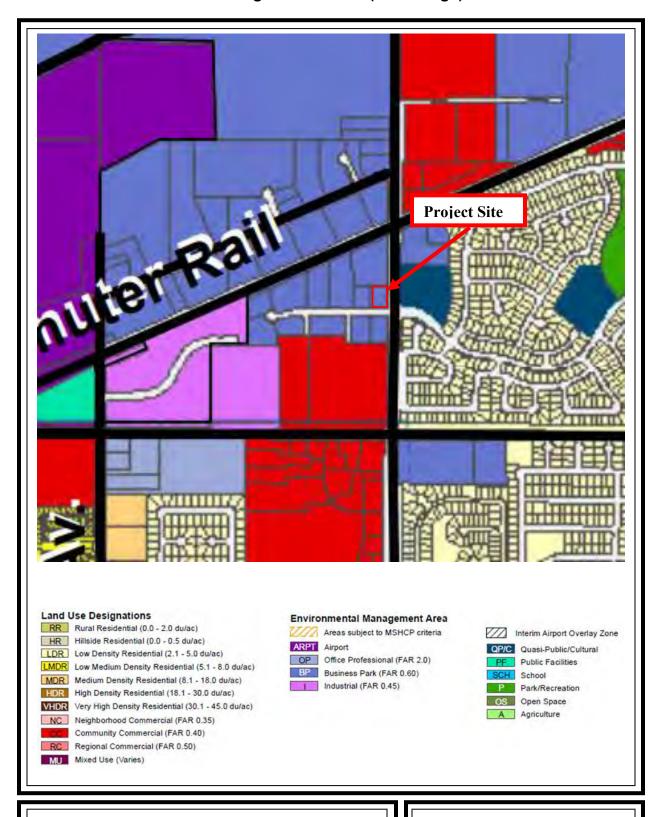
**Existing Zoning** 



CUP 22-001 & ZC 22-001 Rally's Drive-Thru

Proposed Zoning M-2 to M-1

### **Existing General Plan (No Change)**



CUP 22-001 and ZC 22-001 Rally's Drive-Thru

General Plan Map

### NOTICE OF PUBLIC HEARING

### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. Information on how to participate in the hearing will be available on the ALUC website at <a href="https://www.rcaluc.org">www.rcaluc.org</a>. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact <a href="https://www.aluc.org">ALUC Planner Jackie Vega at (951) 955-0982</a>.

The City of Hemet Planning Department should be contacted on non-ALUC issues. For more information please contact City of Hemet Planner Monique Alaniz-Flejter at (951) 765-2370.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website <a href="www.rcaluc.org">www.rcaluc.org</a>. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to javega@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

**Riverside California** 

DATE OF HEARING: February 9, 2023

TIME OF HEARING: 9:30 A.M.

### CASE DESCRIPTION:

ZAP1071HR22 – The Focus Group (Representative: David Church) – City of Hemet Case Nos. ZC22-001 (Change of Zone), CUP22-001 (Conditional Use Permit), a proposal to construct a 1,008 square foot carry-out only restaurant building with drive-thru on 0.75 acres, located on the northwest corner of Tanya Avenue and Sanderson Avenue. The applicant also proposes to change the sites zoning from M-2 (General Manufacturing) to M-1 (Limited Manufacturing). (Airport Compatibility Zone D of the Hemet-Ryan Airport Influence Area).



### **APPLICATION FOR MAJOR LAND USE ACTION REVIEW**

	AL	LUC STAFF ONLY	•	
<b>ALUC Case Numbe</b>	::ZAP1071HR22	Date Submitted:	12/6/22	
AIA: Hemet		Zone: D	Public Hearing Staff Re	eview
		Applicant		
Applicant Full Name: The F	ocus Group attention Da	vid Church		
Applicant Address:	7851 Herschel Avenue,	La Jolla, CA 920	37	
Phone:	858-354-0007	Email: davi	d@nnnretaildevelopment.	com
	Representative/ Pro	operty Owner Co	ntact Information	
Representative: Da	vid Church		Email: david@nnnr	etaildevelopment.com
			Phone: 858-35	4-0007
Address: 7851 He	rschel Avenue, La Jolla,	CA 92037		
	id Cohen Survivors Trus ( 17942 Irvine, CA 9262		Email: <sup>4petercol</sup> Phone: 619-20	
	Local	Jurisdiction Age	nov	
	of Hemet ique Alaniz-Flejter	Julisulction Age	Phone: 951-76  Email: MFlejter	
Staff Contact: Work			Email: Interest	
Address: 445	E. Florida Avenue, Hem	et, CA 92543		
Local Agency Case No.:	CUP 22-001	<u> </u>	-001	
	F	Project Location		
Street Address: Assessor's Parcel N	tbd NWC of Sandersor	ı & Tanya	Gross Parcel Size.: .75 a	cres
		Solar		
Is the project propos	sing solar Panels? Yes	No 🗸	If yes, please provide solar (Only for zone C or higher.)	

Site Elevation:(above mean sea level)

Height of Building or structures:

17' to top of parapet on building

What type of drainage basins are being proposed and the square footage:

underground storage pipe;

**Notice** 

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### C. SUBMISSION PACKAGE:

### Please submit all application items DIGITALLY via USB or CD:

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of current and proposed use

### Additionally, please provide:

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing)

### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

### **STAFF REPORT**

AGENDA ITEM: 3.2

**HEARING DATE:** February 9, 2023

**CASE NUMBER:** ZAP1553MA22 – Capital Properties, LLC (Representative:

T&B Planning)

**APPROVING JURISDICTION:** County of Riverside

JURISDICTION CASE NO: GPA220003 (General Plan Amendment), CZ220003

(Change of Zone), PPT220004 (Plot Plan), TPM38337

(Tentative Parcel Map),

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use

Compatibility Plan

Airport Influence Area: March Air Reserve Base

Land Use Policy: Zones C2

Noise Levels: Below 60 CNEL contour

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone <u>CONSISTENT</u> with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and also find the Plot Plan and Tentative Parcel Map <u>CONSISTENT</u>, subject to the conditions included herein.

**PROJECT DESCRIPTION**: A proposal to construct a 591,203 square foot manufacturing building with mezzanines on 40.88 acres. The applicant also proposes amending the site's general plan land use designation from Medium Density Residential (MDR) to Light Industrial (LI), and changing the sites zoning designation from One-Family Dwellings (R-1), Light Agriculture (A-1-1), and Rural Residential (R-R-1) to Industrial Park (I-P). The applicant also proposes a tentative parcel map to merge eight existing parcels into one parcel.

**PROJECT LOCATION:** The site is located northerly of Walnut Street, southerly of Rider Street, and westerly of Patterson Avenue, approximately 12,730 feet southwesterly of the southerly end of Runway 14-32 at March Air Reserve Base.

### **BACKGROUND:**

Non-Residential Average Intensity: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C2, Zone C2 limits average intensity to 200 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included in the March Airport Land Use Compatibility Plan, the following rates were used to calculate the occupancy for the proposed project:

- Manufacturing 1 person per 200 square feet, and
- Office 1 person per 200 square feet.

The project proposes to construct a 591,203 square foot manufacturing building, which includes 576,603 square feet of manufacturing area, 7,300 square feet of office area, and 7,300 square feet of second floor office mezzanines, accommodating a total occupancy of 2,956 people, resulting in an average intensity of 72 people per acre, which is consistent with Zone C2 average intensity criterion of 200 people per acre.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle and 1.0 persons per trailer truck space). Based on the number of parking spaces provided (350 standard vehicles) and (107 truck spaces), the total occupancy would be estimated at 632 people for an average intensity of 16 people per acre, which is consistent with the Compatibility Zone C2 average intensity criterion of 200 people per acre.

Non-Residential Single-Acre Intensity: Compatibility Zone C2 limits maximum single-acre intensity to 500 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would include 36,260 square feet of manufacturing area, 7,300 square feet of office area, and 7,300 square feet of second floor office mezzanines, resulting in a single acre occupancy of 254 people which is consistent with the Compatibility Zone C2 single acre criterion of 500.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zones C2 (children's schools, day care centers, hospitals, nursing homes, libraries, places of assembly, highly noise-sensitive outdoor nonresidential uses and hazards to flight).

<u>Noise:</u> The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being below the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

<u>Part 77</u>: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (AMSL). At a distance of approximately 12,730 feet from the project to the nearest point on the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,615 feet AMSL. The site's finished floor elevation is 1,550 feet AMSL and proposed building height is 52 feet, resulting in a top point elevation of 1,602 feet AMSL. Therefore, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) was not required.

<u>Open Area:</u> None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

<u>Hazards to Flight:</u> Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The project is located 12,730 feet from the runway, and therefore would not be subject to the above requirement.

General Plan Amendment/Change of Zone: The applicant also proposes amending the site's general plan land use designation from Medium Density Residential (MDR) to Light Industrial (LI), and changing the sites zoning from One-Family Dwellings (R-1), Light Agriculture (A-1-1), and Rural Residential (R-R-1) to Industrial Park (I-P). The proposed amendments would be as, or more, consistent with the Compatibility Plan as long as the underlying development's intensity is consistent with the compatibility criteria.

### **CONDITIONS:**

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive outdoor nonresidential uses. Examples of noise-sensitive outdoor nonresidential uses that are prohibited include, but are not limited to, major

spectator-oriented sports stadiums, amphitheaters, concert halls and drive-in theaters.

- (f) Other Hazards to flight.
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property, and be recorded as a deed notice.
- 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at <u>RCALUC.ORG</u> which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 6. The project has been evaluated to construct a 591,203 square foot manufacturing building with mezzanines. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
- 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

## NOTICE

# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

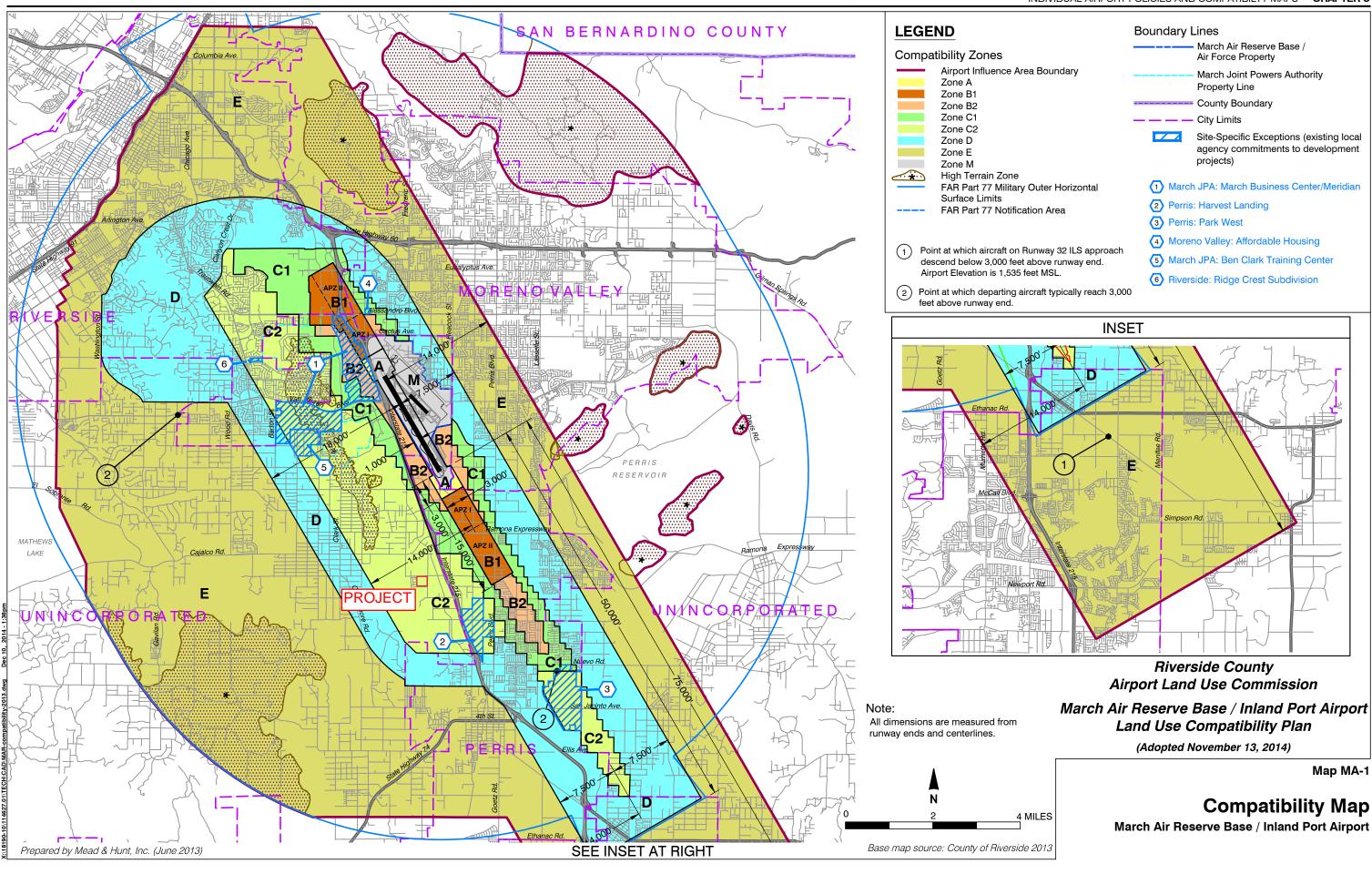
### PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES

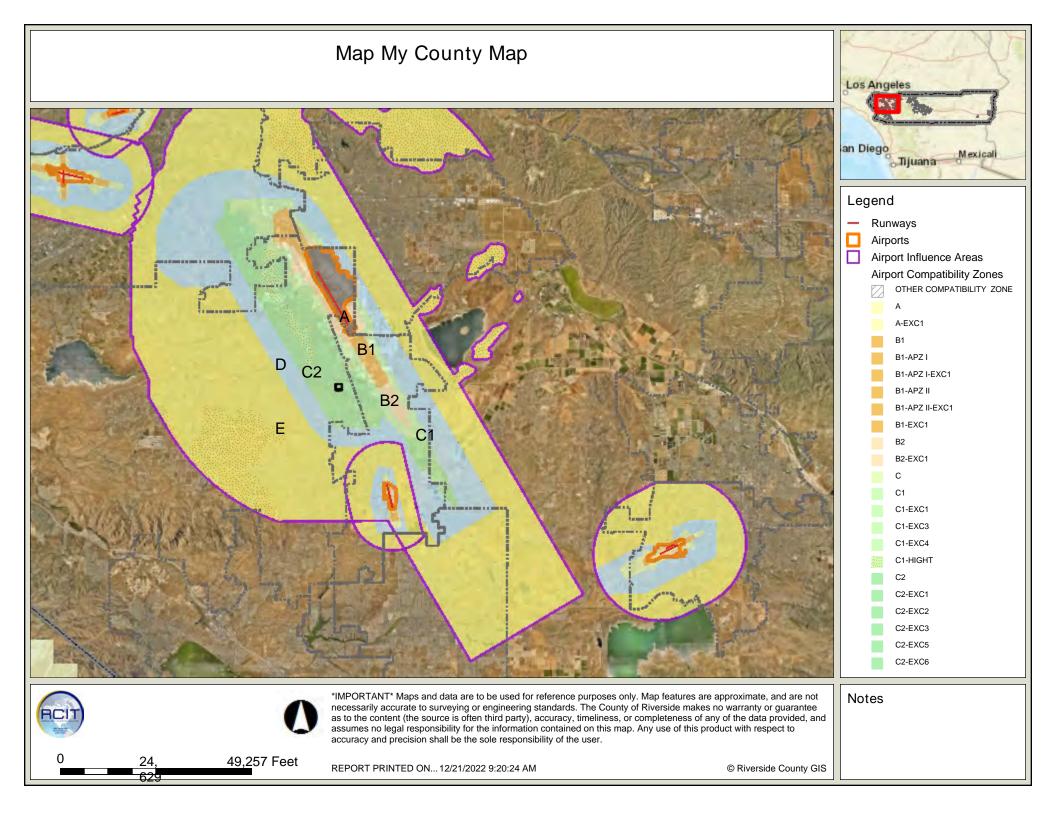


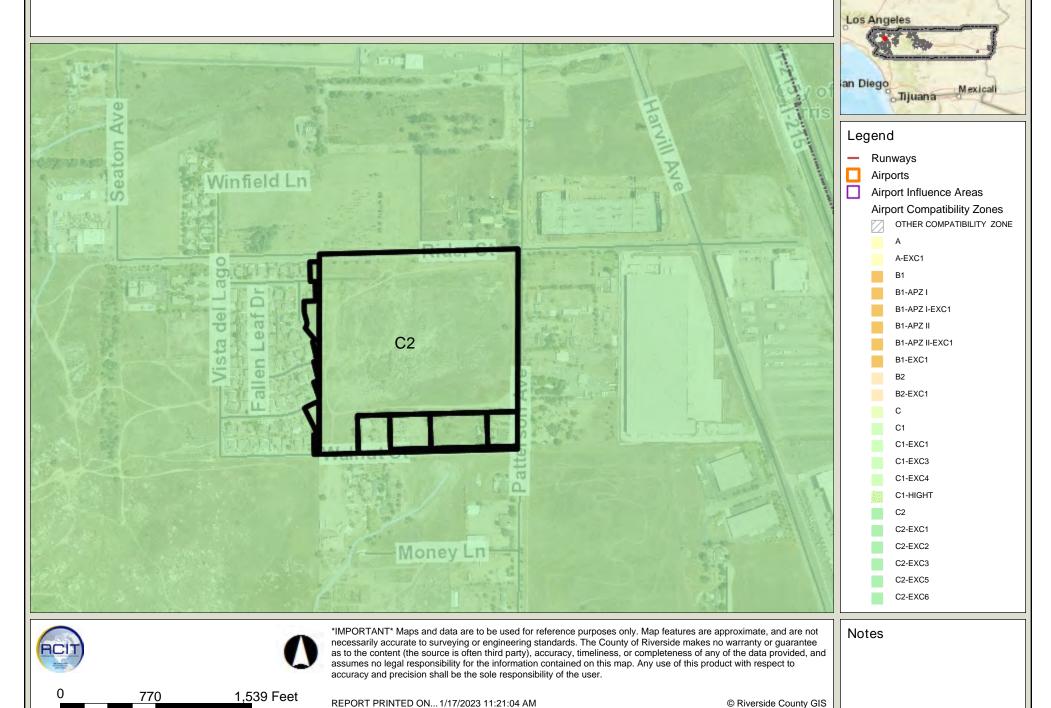
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Name:	Phone:	

Map MA-1











### Legend

- Parcels
- County Centerline Names
- **County Centerlines**
- Blueline Streams
- City Areas
- World Street Map



770 Feet

\*IMPORTANT\* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Notes





#### Legend

- Blueline Streams
- City Areas World Street Map





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Notes

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#### Legend

- Blueline Streams
- City Areas World Street Map





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3, 6,157 Feet

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Notes





#### Legend

City Areas
World Street Map





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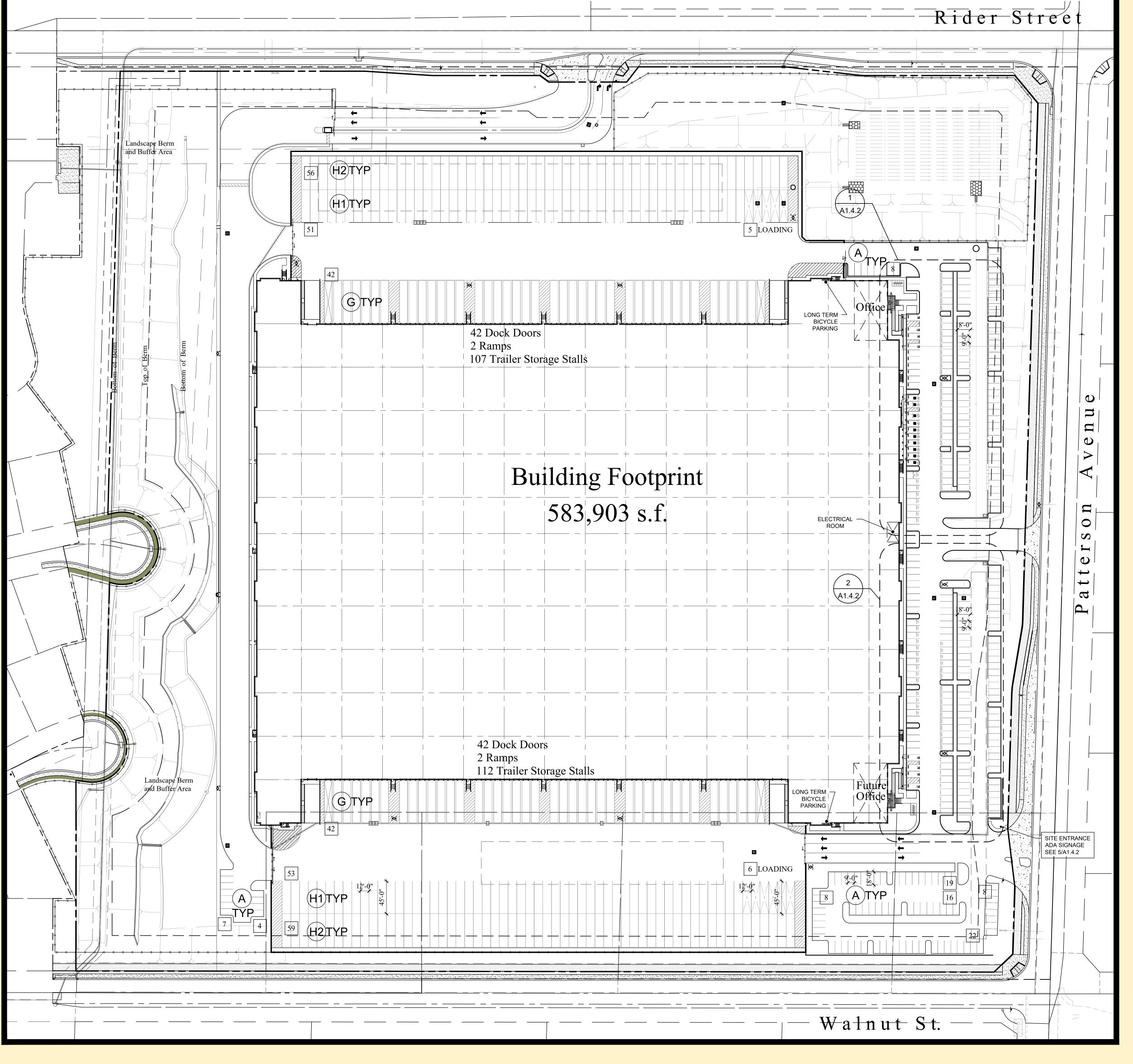
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Notes

PPT220004 BAI # 21008



Parking Summary (Per County of Riverside ordinance No. 348.4947/50 and 2019 CBC - codes as noted)

BUILDING AREA
Ground Floor Office
Mezzanine Office
Warehouse

and 2019 CBC - codes as noted)

7,300 s.f.

7,300 s.f.

576,603 s.f.

PARKING <u>REQUIRED</u> (Section 18.12)

CLEAN AIR STALLS

Total

Office 14,600 s.f. @ 1 Space / 200 s.f. of Net Leaseable Floor Area 73 Spaces Warehouse 576,603 s.f. @ 1 Space / 2000 s.f. of Gross Floor Area 289 Spaces

PARKING <u>REQUIRED</u> - Total
PARKING <u>PROVIDED</u> - Total (.62 Stalls per 1,000 s.f.)

362 - 86 = 276 Spaces 350 Spaces

PARKING BREAKDOWN:

STANDARD STALL (9'-0" x 18'-0")

COMPACT STALL (8'-6" x 18'-0") (Up to 20% of stalls)

VISITOR STALLS (10%) (350 x 10% = 35)

ACCESSIBLE STALLS

(301 - 400 = 8) 2019 CBC Table 11B-208.2

(Includes 2 VAN stalls per CBC 11B-208.2.4)

EV PARKING (With installed Charging Stations (EVCS)) (Per county Ord. 348) (9 Spaces)

(50) Parking Spaces = 3 EVCS Spaces Required

NOTE:

(350 - 50 = 300/50 = 6) = 6 EVCS Spaces Required

Installed charging stations are not provided in the spaces of th

(350 - 50 = 300/50 = 6) = 6 EVCS Spaces Required
Includes 1 VAN ADA and 1 Std. ADA with access aisle

Installed charging stations are not included in parking space numbers.
2019 CBC 11B-208

591,203 s.f.

43 Spaces

EVCS (Future) (Per Green Bldg. Stds. Table 5.106.5.3.3)

(350 x 10% = 35) 35 -9 = 26 Future EVCS Spaces Required
Includes 1 Ambulatory ADA

Future charging stations are included in parking space numbers.
2019 CBC 5.106.5.3.5

(12% of 354) 2019 CA. Green Bldg. Stds. Table 5.106.5.2

(354 x 12% = 42.48) = 43 REQUIRED

Stall Marking Shall Read:

CLEAN AIR / VANPOOL / EV

PER 5.106.5.2.1

OOTE:

Clean Air Vehicle spaces are included in parking space numbers. 2019 CBC Table 5.106.5.2 (Note)

CAR POOL / VAN POOL (Parking Stall Reduction per Ord. 348 Section 18.12 - f.2.a)

Parking Requirement reduced by (2) parking spaces for every (1) space
which is marked for car pool or van pool. (43 Van pool stalls- per the "clean air stall calc")

43 x 2 = 86. Therefore we can reduce the required stalls by 86. (362 - 86 = 276)

TOTAL PARKING SPACES PROVIDED = 350
PLUS NINE (9) EVCS
9
TOTAL STALLS PROVIDED = 359

BICYCLE PARKING
Bicycle Parking (Per County Ord. 348)

(1) space for every (25) parking space. 350 / 25 = 14 spaces

Short Term Bicycle Parking (Per CA. Green Bldg. Stds 5.106.4.1.1)

5% of Visitor parking spaces (35 x 5% = 1.75) = 2 spaces

County Ord. 348 is greater than CA. Green Bldg. Stds. therefore, total Short Term Bicycle Parking = 14 spaces

Long Term Bicycle Parking (Per CA. Green Bldg. Stds 5.106.4.1.1)

5% of Tenant parking spaces (350-35=315 x 5% = 15.75) = 16 spaces

LOADING SPACE

11 Spaces

DING SPACE 80,000 - 100,000 s.f. required 6. For each additional 100,000 s.f required 6 plus 1 (583,903 s.f. = 6 + 5 = 11)

DOCK YARD SUMMARY:

Future Trash Compactors

Dock High Doors

Grade Level Ramps

12' Wide Trailer Storage Stalls

4 Spaces

84 Doors

4 Ramps

219 Spaces

NOTE: SEE SHEET A1.4.2 FOR ADDITIONAL NOTES AND DETAILS

# Legend

A INDICATES PARKING STALL TYPE - SEE A1.4.2

9 INDICATES NUMBER OF STALLS IN ROW



PARKING PLAN

0 60 120 180 240 S c a l e : 1 " = 6 0 ' - 0 "

RIDER and PATTERSON BUSINESS CENTER

Riverside County, California

November 03, 2022

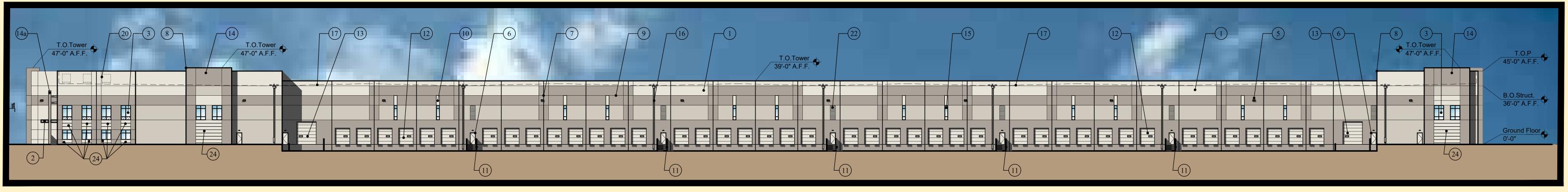
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July 21, 2022

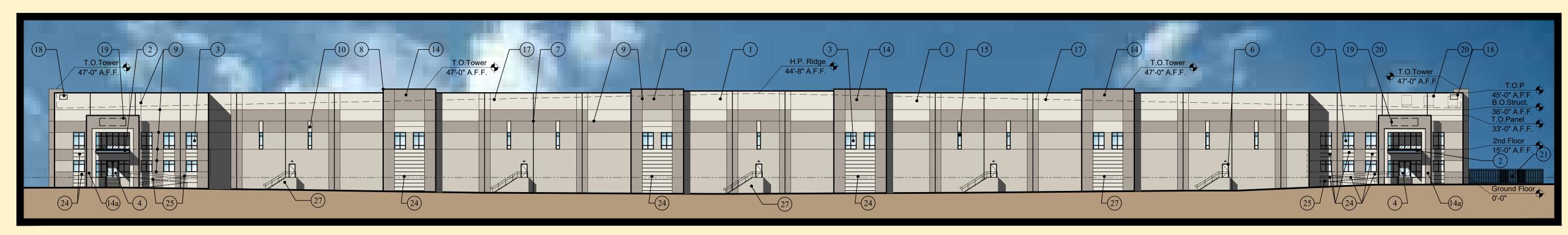


BASTIEN AND ASSOCIATES, INC. ARCHITECTURE AND PLANNING

WESTERN REALCO



North Elevation (Rider Street)



East Elevation (Patterson Avenue)



# **Elevation Notes**

- 1 Concrete Tilt-up Panels with Joints and Reveals as Indicated. Painted.
- (Match Clear Anodized Aluminum)

  Metal Deck. Semi-Gloss Painted Finish (Match Clear Anodized Aluminum) See Detail A
- (3) Clear Anodized, Front Glazed, Aluminum Mullion System w/ Reflective Blue Glass - Typ

  ( Areas Indicate Spandrel Conditions).
- 4) 9'-0" High Medium Stile Entry Doors Typ.

(5) Light Fixture (Final Locations To Be Determined w/ Photometric)

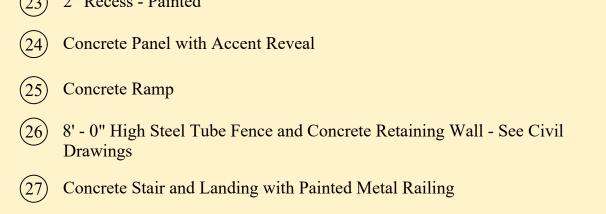
- 7 Panel Joint Typ.
- 8 Parapet Return Over Roof where Parapet Step Occurs 36" Return at changes of elevations of more than 24" in height 24" Return at changes of elevations of less than 24" in height (9) 3/4" Reveal - Typ.
- (10) 3/4" Panel Recess Painted
- (6) 3'x7' Steel Man Door and Frame Painted to Match Adjacent Wall (11) Concrete Guardrail Walls With Painted Metal Handrails.
  - 9'x10' Steel Panel Sectional Door w/ Viewport Painted to Match Adjacent Wall Surface (Located 48" Above Exterior Grade) 13) 12'x14' Steel Panel Sectional Door w/ Viewport Painted to Match Adjacent Wall Surface

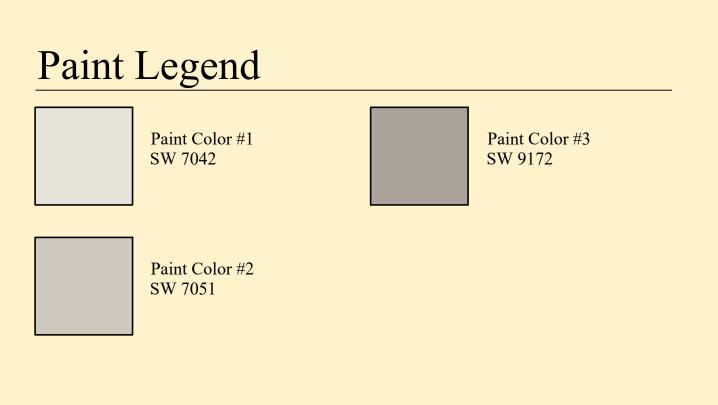
Conceptual Elevations

- Painted Concrete Tilt-Up, Architectural Pop-Out Design
  Element (Per Plans) Painted Freestanding Concrete Panel (Secured to Building as Required). See Section B
- (15) Warehouse windows External Down Spout and Overflow Scupper Painted to Match Adjacent Wall.
- (17) Dashed Line Represents Roof Line at Backside of Parapet (18) Proposed Address Location (16" Letters)
- (19) Proposed Location for Building/Tenant Identification Signage to be Reviewed and Determined under Separate Submittal
- 20) Possible Mechanical Unit Location (72" Tall Shown Dashed) 21) Steel Tube Fence and Rolling Gates (All Gates to have Corresponding Knox Box as Required by Fire Dept.) 8'-0" High

Scale: 1/8" = 1'-0"

- 22) Aluminum Frame Louver with Birdscreen and Filters. (23) 2" Recess - Painted
- (24) Concrete Panel with Accent Reveal





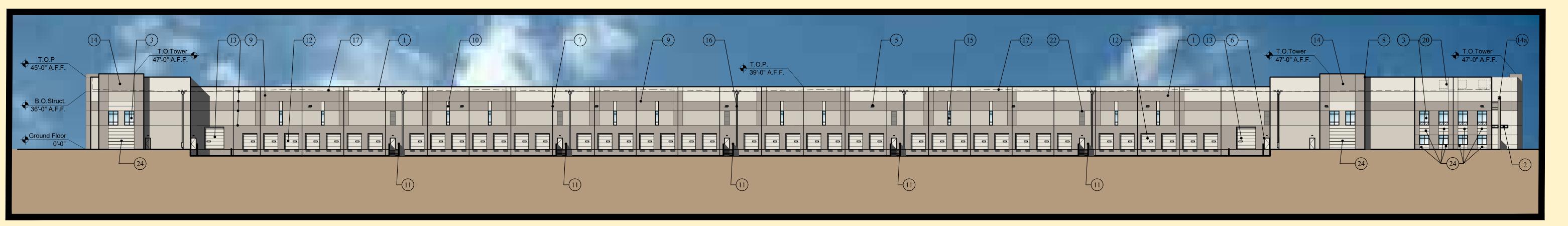
S cale: 1" = 30'-0"



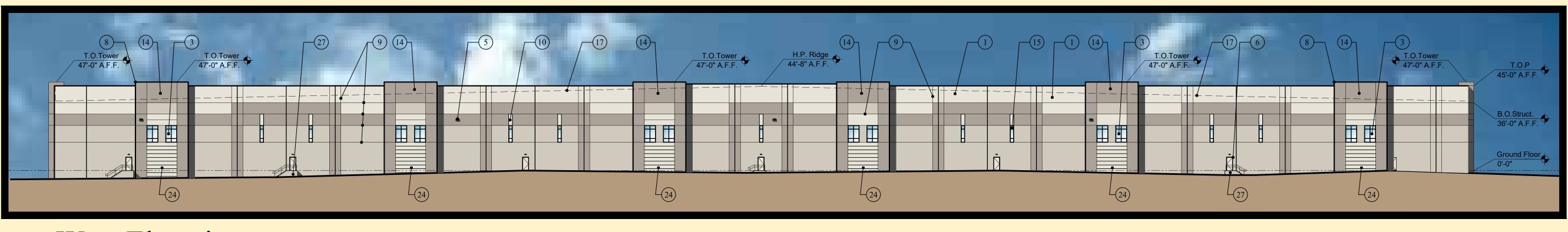
# RIDER and PATTERSON BUSINESS CENTER

Riverside County, California

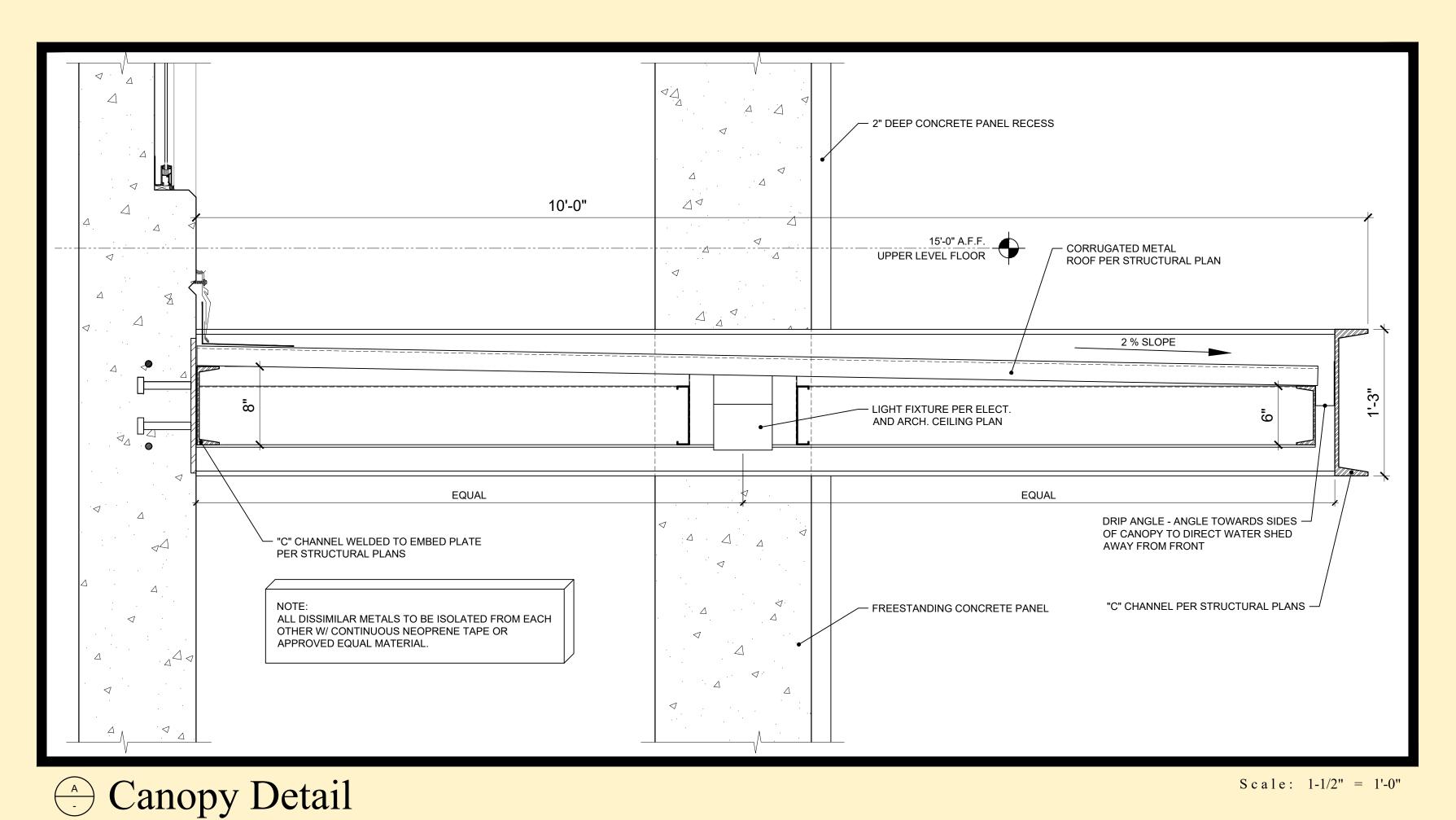




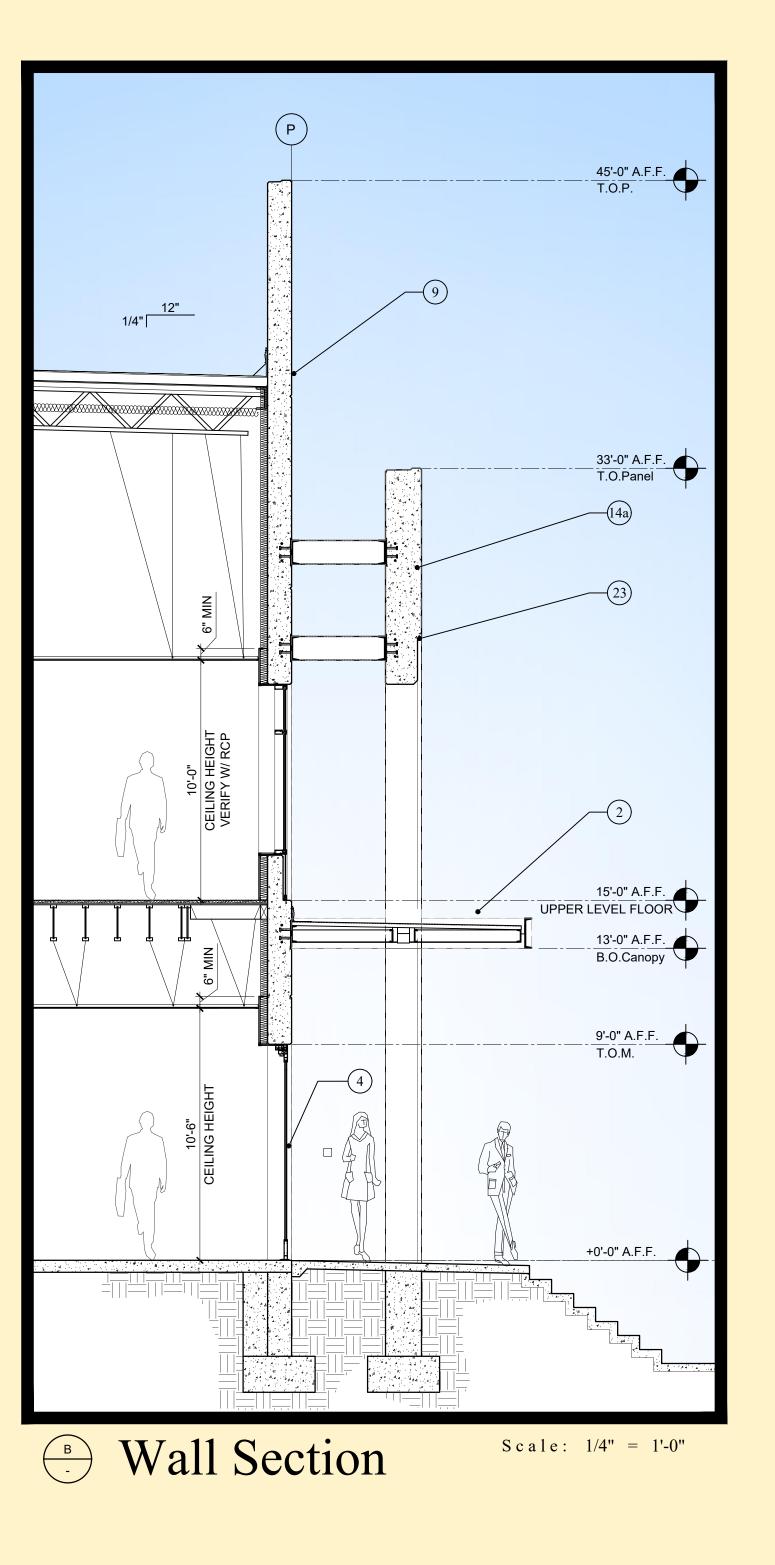
South Elevation (Walnut Street)



West Elevation



# S c a l e : 1'' = 30'-0''



# Elevation Notes

- Concrete Tilt-up Panels with Joints and Reveals as Indicated. Painted. Typical
   Metal Canopy with 1 1/2" Metal Deck. Semi-Gloss Painted Finish (Match Clear Anodized Aluminum)
- (Match Clear Anodized Aluminum)
  See Detail

  A

  A 3.1

  Clear Anodized, Front Glazed, Aluminum Mullion System w/
- ( Areas Indicate Spandrel Conditions).

  4 9'-0" High Medium Stile Entry Doors Typ.

Reflective Blue Glass - Typ

5 Light Fixture (Final Locations To Be Determined w/ Photometric)

# Conceptual Elevations

- 3'x7' Steel Man Door and Frame Painted to Match Adjacent Wall Surface
   Panel Joint Typ.
   9'x10' Steel Panel Sectional Door w/ Viewport Painted to Match Adjacent Wall Surface (Located 48" Above Exterior Grade)
- 36" Return at changes of elevations of more than 24" in height 24" Return at changes of elevations of less than 24" in height

  9 3/4" Reveal Typ.
- 11 Concrete Guardrail Walls With Painted Metal Handrails.

  (15) Warehouse windows

  (12) 9'x10' Steel Panel Sectional Door w/ Viewport Painted to Match Adjacent Wall Surface (Located 48" Above Exterior Grade)

  (13) 12'x14' Steel Panel Sectional Door w/ Viewport Painted to Match Adjacent Wall Surface

  (14) Painted Concrete Tilt-Up, Architectural Pop-Out Design Element (Per Plans)

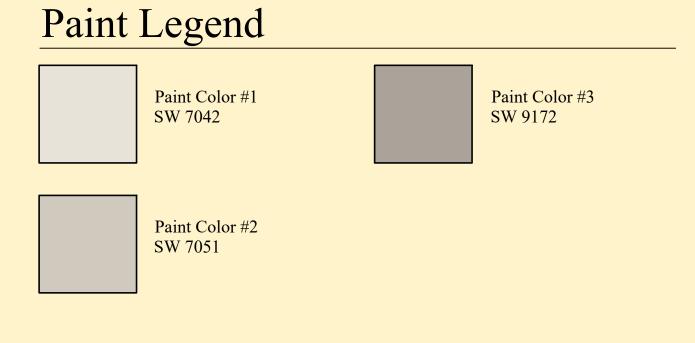
  (15) Warehouse windows

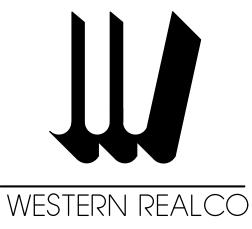
  (16) External Down Spout and Overflow Scupper Painted to Match Adjacent Wall.

  (17) Dashed Line Represents Roof Line at Backside of Parapet

  (18) Proposed Address Location (16" Letters)

  (19) Proposed Location for Building/Tenant Identification Signage
- 20 Possible Mechanical Unit Location (72" Tall Shown Dashed)
   21 Steel Tube Fence and Rolling Gates (All Gates to have Corresponding Knox Box as Required by Fire Dept.) 8'-0" High
   22 Aluminum Frame Louver with Birdscreen and Filters.
   23 2" Recess Painted
   24 Concrete Panel with Accent Reveal
- (24) Concrete Panel with Accent Reveal(25) Concrete Ramp
- 8' 0" High Steel Tube Fence and Concrete Retaining Wall See Civil Drawings
   Concrete Stair and Landing with Painted Metal Railing





# RIDER and PATTERSON BUSINESS CENTER

to be Reviewed and Determined under Separate Submittal

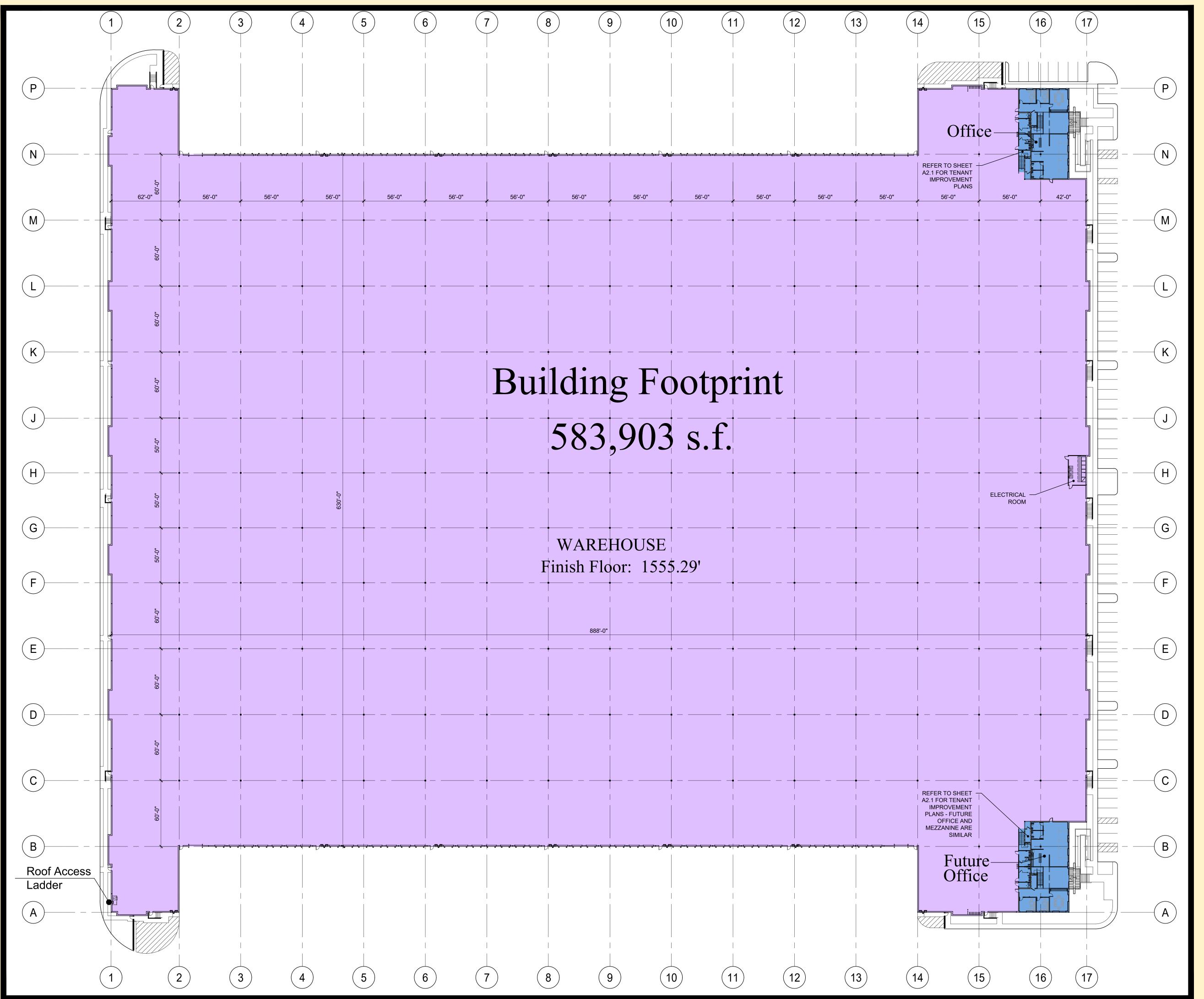
Riverside County, California



Web Address: www.BastienArchitects.com

8 Parapet Return Over Roof where Parapet Step Occurs

(10) 3/4" Panel Recess - Painted



# General Notes

- 1. The Fire Sprinkler Riser must be located within the building and not attached to the building exterior.

  \*\* Fire Sprinkler Riser Room is To Be Determined
- 2. Electrical Panels must be housed within the building. Exterior Electrical Cabinets attached to the building will not be permitted.
- 3. Roof Access shall be provided from inside the building. Exterior ladders will not permitted.



Web Address: www.BastienArchitects.com

CONCEPTUAL OVERALL FLOOR PLAN

S c a 1 e : 1 " = 40 ' - 0 "



RIDER and PATTERSON BUSINESS CENTER

Riverside County, California

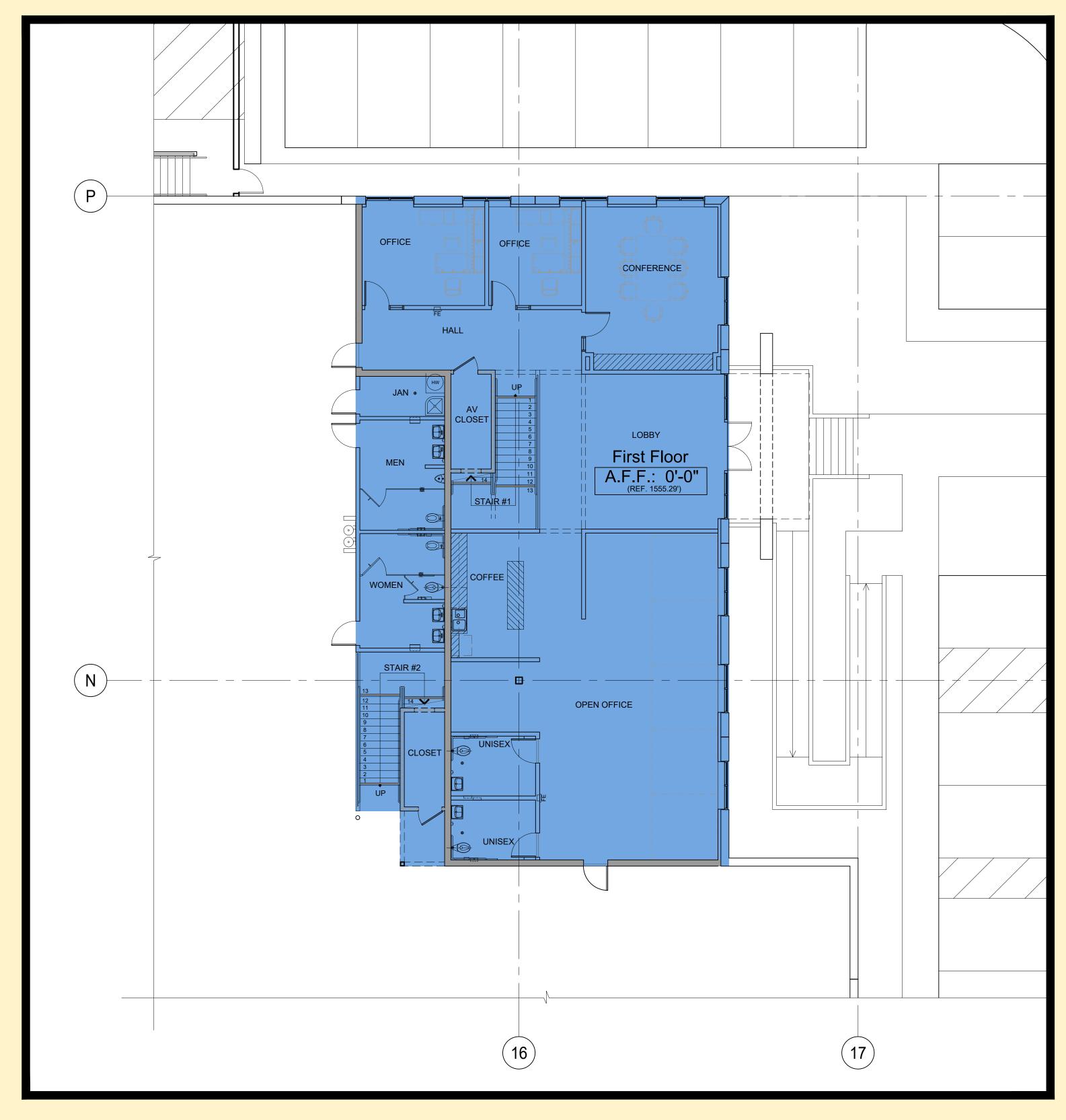
November 03, 2022



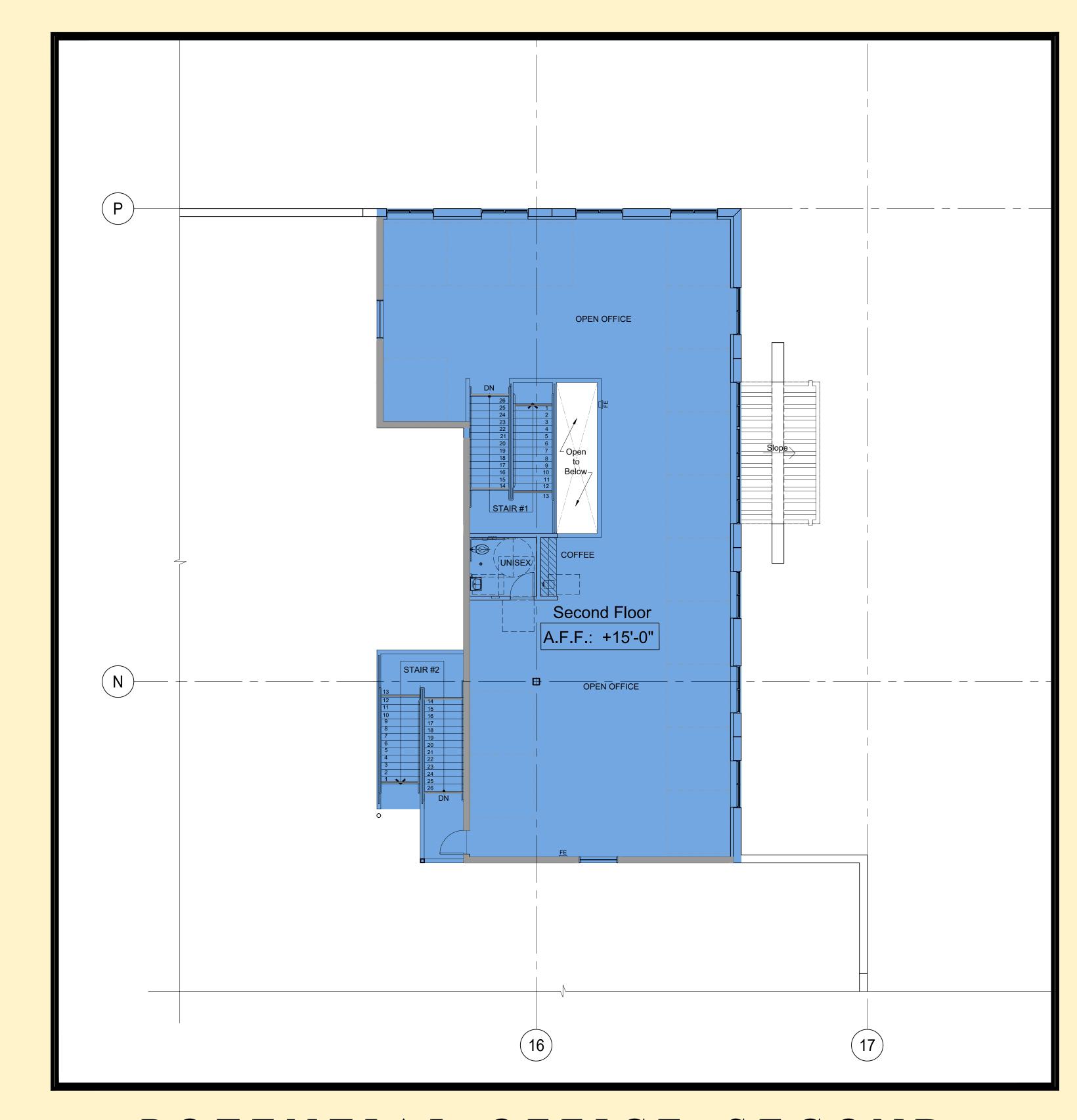


BASTIEN AND ASSOCIATES, INC.

ARCHITECTURE AND PLANNING 15661 RED HILL AVENUE, SUITE 150 TUSTIN, CALIFORNIA 92780 Phone:(714) 617-8600



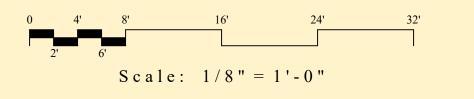
POTENTIAL OFFICE GROUND FLOOR PLAN 3,229 S.F. (7,300 S.F. OFFICE MAX.)



POTENTIAL OFFICE SECOND FLOOR PLAN 3,008 S.F. (7,300 S.F. MEZZANINE OFFICE MAX.)

FUTURE SOUTH OFFICE AND MEZZANINE FLOOR PLANS ARE SIMILAR

CONCEPTUAL FLOOR PLAN





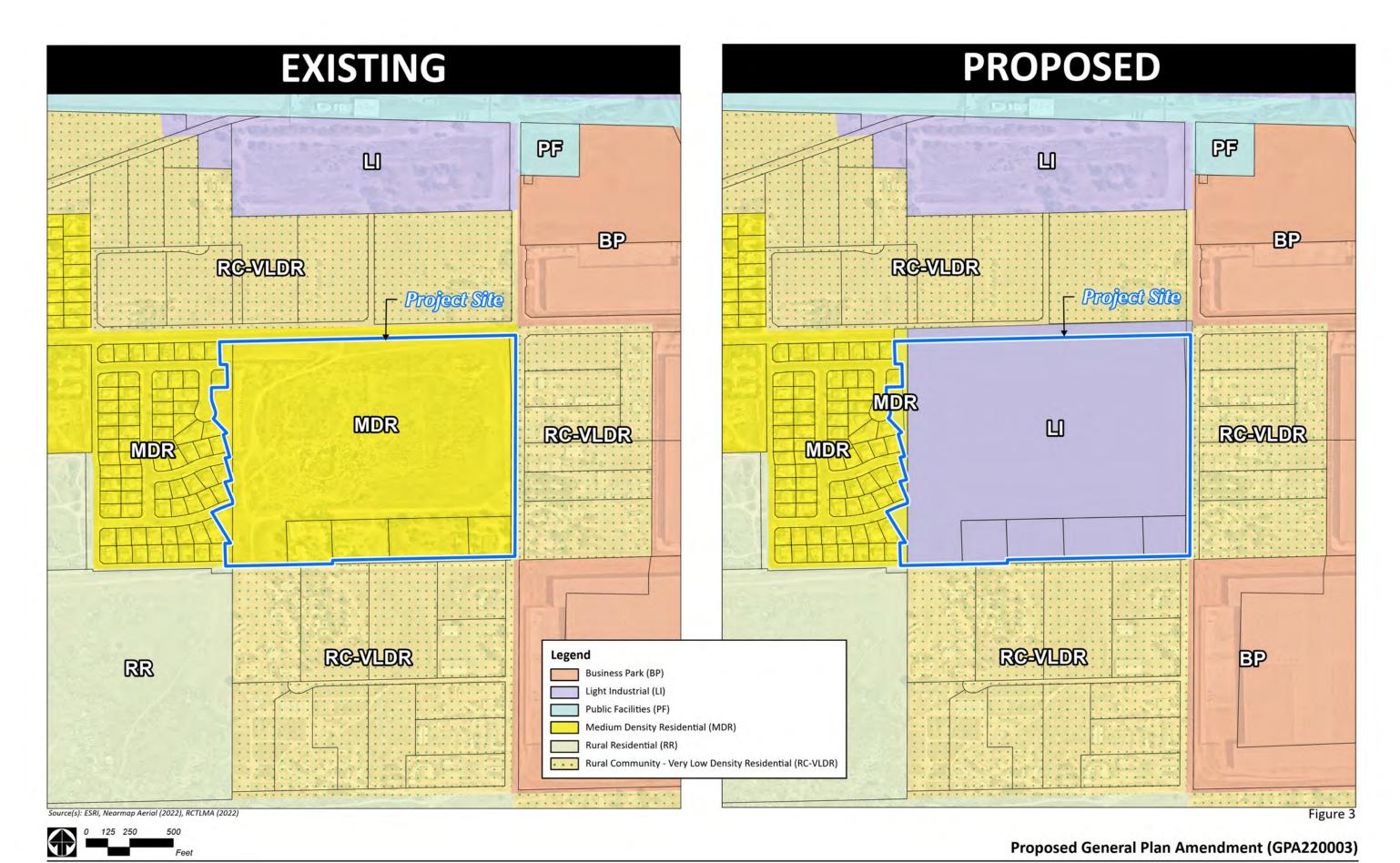
Web Address: www.BastienArchitects.com

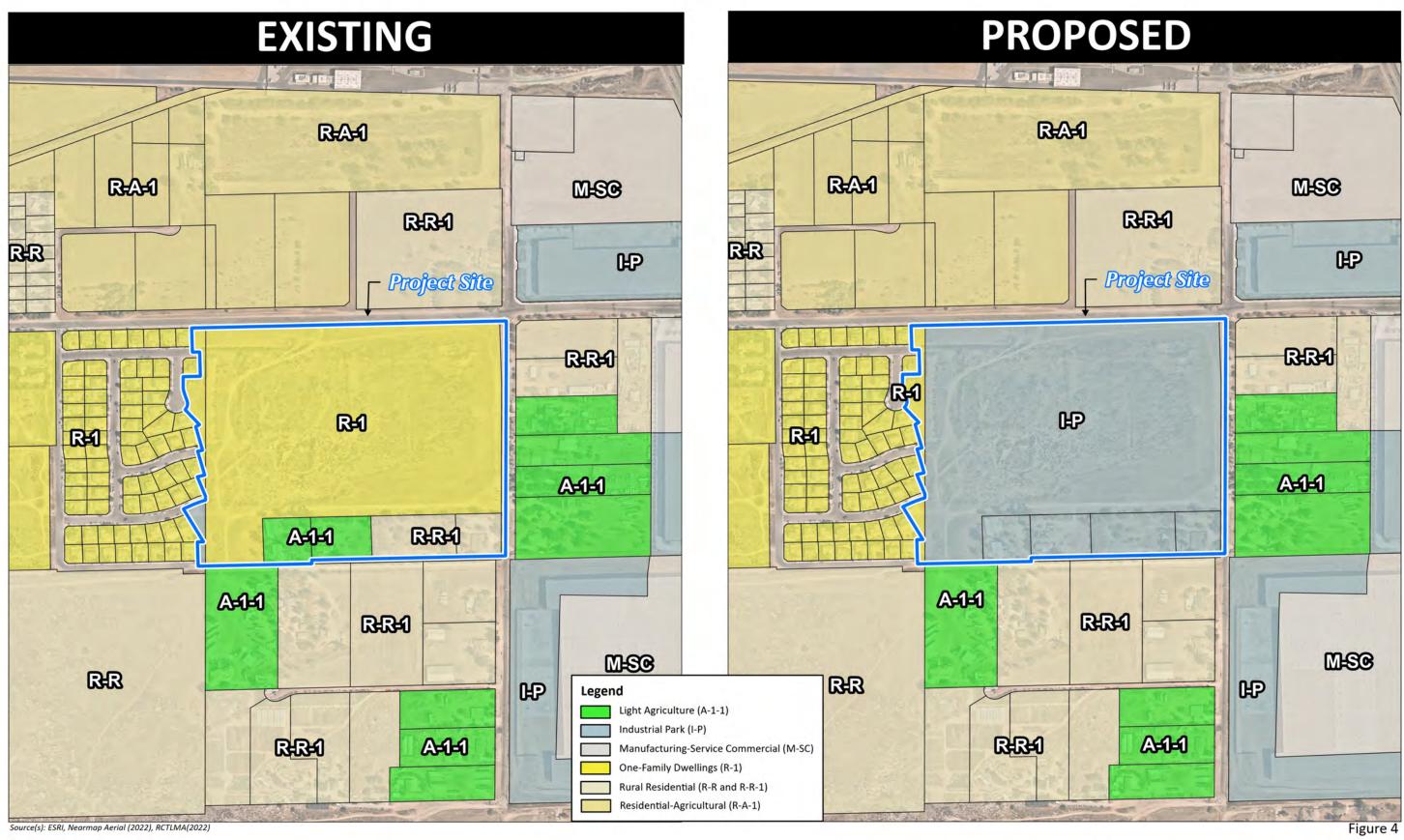


RIDER and PATTERSON BUSINESS CENTER

Riverside County, California



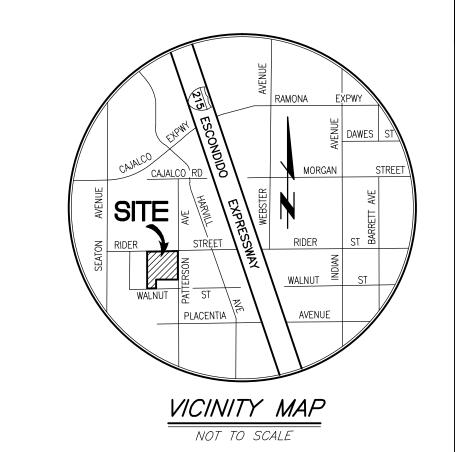




# TENTATIVE PARCEL MAP NO. 38337

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

BEING A CONSOLIDATION OF A PORTION OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 13. TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, LYING EASTERLY OF TRACT NO. 20037-1, AS PER MAP FILED IN



#### EXISTING LEGAL DESCRIPTIONS:

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

#### APN 317-210-018:

THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13. TOWNSHIP 4 SOUTH. RANGE 4 WEST. SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE WESTERLY ALONG THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13. A DISTANCE OF 218.67 FEET TO A POINT ON THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE OF THE LAND CONVEYED TO CHARLES R. WILKERSON AND STELLA C. WILKERSON, HUSBAND AND WIFE AS JOINT TENANTS, BY DEED RECORDED FEBRUARY 13, 1964 AS INSTRUMENT NO. 18135 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND THE TRUE POINT OF BEGINNING: THENCE CONTINUING WESTERLY ALONG THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 378.8 FEET; THENCE NORTHERLY AND PARALLEL WITH THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 250 FEET TO THE SOUTHERLY LINE OF THE LAND CONVEYED TO LORNE FROATS AND ANNE FROATS. HUSBAND AND WIFE AS JOINT TENANTS, BY DEED RECORDED JULY 18, 1963 AS INSTRUMENT NO. 75060 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LAND CONVEYED TO LORNE FROATS, ET UX, 378.8 FEET TO THE NORTHWEST CORNER OF SAID LAND CONVEYED TO CHARLES R. WILKERSON, ET UX; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LAND CONVEYED TO CHARLES R. WILKERSON, ET UX, AND ALONG THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE THEREOF, 250 FEET TO THE TRUE POINT OF BEGINNING;

EXCEPTING THEREFROM THE SOUTHERLY 20 FEET THEREOF:

RESERVING UNTO THE GRANTOR WITH THE RIGHT TO CONVEY TO OTHERS A NON-EXCLUSIVE EASEMENT FOR INGRESS, EGRESS, ROAD AND PUBLIC UTILITY PURPOSES, OVER AND ACROSS THE NORTHERLY 30 FEET OF THE ABOVE

ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY: THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN. DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AT A POINT WHICH IS 20 FEET NORTH OF THE SOUTHEAST CORNER THEREOF; THENCE NORTH, ON SAID EAST LINE, 230 FEET TO A POINT THEREON; THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER 218.67 FEET: THENCE SOUTH. PARALLEL

THE POINT OF BEGINNING. ALSO EXCEPTING THEREFROM THE LAND DESCRIBED AS PARCELS 1, 2 AND 3 OF THAT CERTAIN CERTIFICATE OF COMPLIANCE NO. 1374 RECORDED MARCH 27, 1984 AS INSTRUMENT NO. 61929 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY.

PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER 218.67 FEET TO

TO THE EAST LINE OF SAID NORTHEAST QUARTER 230 FEET; THENCE EAST,

ALSO EXCEPT THAT PORTION CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED MAY 16, 1984 AS INSTRUMENT NO. 84-102964, OF OFFICIAL

## APN 317-210-022 AND APN 317-210-023:

THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY UNITED STATES

EXCEPTING THEREFROM THE NORTHERLY 50 FEET CONVEYED TO THE COUNTY OF RIVERSIDE, BY DEEDS RECORDED AUGUST 30, 1983, AS INSTRUMENT NO. 83-176740 AND OCTOBER 5, 1983, AS INSTRUMENT NO. 83-206241, BOTH OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

9983

8994

8782

11553

0.229

0.206

0.202

0.265

ALSO EXCEPTING THEREFROM ANY PORTION INCLUDED IN TRACT 20037-1 AS SHOWN BY MAP ON FILE IN BOOK 193 PAGES 74 THROUGH 77 INCLUSIVE OF MAPS, RECORDS OF RIVERSIDE COUNTY.

#### APN 317-210-006

PARCEL 1 AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 1374. AS EVIDENCED BY DOCUMENT RECORDED MARCH 27. 1984 AS INSTRUMENT NO. 61929, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13; THENCE SOUTH 88° 18' 30" WEST ON THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, 867.76 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88° 18' 30" WEST ON THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, 215 FEET; THENCE NORTH 01° 41' 30" WEST 250 FEET:

THENCE NORTH 88° 18' 30" EAST. 215 FEET: THENCE SOUTH 01° 41' 30" EAST, 250 FEET TO THE POINT OF BEGINNING.

## 317-210-024

AND 317-210-024 (AFFECTS PARCEL 2)

PARCEL 2 AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 1374, AS EVIDENCED BY DOCUMENT RECORDED MARCH 27, 1984 AS INSTRUMENT NO. 61929, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHERLY 20 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN LYING EASTERLY OF THE EAST LINE OF THE ABOVE DESCRIBED PARCEL OF LAND AND WESTERLY OF THE WEST LINE OF THAT CERTAIN PUBLIC ROAD. 40 FEET IN WIDTH KNOWN AS PATTERSON ROAD. FOR CONVEYANCING PURPOSES ONLY: APN 317-210-006 (AFFECTS PARCEL 1)

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

317-210-011 THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTHERLY ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 20.00 FEET; THENCE WESTERLY AND PARALLEL

WITH THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4, A DISTANCE OF 597.47 FEET TO THE SOUTHWEST CORNER OF THE LAND CONVEYED TO RONALD W. WILKERSON AND BETTY L. WILKERSON, HUSBAND AND WIFE AS JOINT TENANTS, BY DEED RECORDED JANUARY 30, 1973 AS INSTRUMENT NO. 12421. OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND THE TRUE POINT OF BEGINNING; THENCE NORTHERLY ALONG THE WESTERLY LINE OF SAID LAND CONVEYED TO RONALD W. WILKERSON, ET UX 230.00 FEET TO THE NORTHERLY LINE OF THE LAND CONVEYED TO IRA W. CLARK AND PAULINE M. CLARK, HUSBAND AND WIFE AS

COMMUNITY PROPERTY BY DEED RECORDED SEPTEMBER 29, 1964 AS INSTRUMENT NO. 118250, OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, THENCE WESTERLY ALONG THE NORTHERLY LINE OF SAID LAND CONVEYED TO IRA W. CLARK ET UX 270.29 FEET WESTERLY TO THE NORTHWEST CORNER THEREOF; THENCE SOUTHERLY ALONG THE WESTERLY LINE OF SAID LAND CONVEYED TO IRA W. CLARK, ET UX, 230.00 FEET TO THE SOUTHWEST CORNER THEREOF; THENCE EASTERLY ALONG THE SOUTHERLY LINE OF SAID LAND CONVEYED TO IRA W. CLARK, ET UX, 270.79 FEET TO THE TRUE POINT OF BEGINNING.

## TOGETHER WITH,

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF THE SOUTHERLY 20 FEET OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, LYING EASTERLY OF THE WEST LINE OF THE ABOVE DESCRIBED PARCEL OF LAND AND WESTERLY OF THE WEST LINE OF THAT CERTAIN PUBLIC ROAD, 40 FEET IN WIDTH, KNOWN AS PATTERSON ROAD.

#### APN 317-210-010

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS

BEGINNING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13:

THENCE WESTERLY, ALONG THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 218.67 FEET TO A POINT ON THE SOUTHERLY PROLONGATION OF THE WESTERLY LINE OF THE LAND CONVEYED TO CHARLES R. WILKERSON AND STELLA C. WILKERSON, HUSBAND AND WIFE AS JOINT TENANTS. BY DEED RECORDED FEBRUARY 13, 1964 AS INSTRUMENT NO. 18135 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, AND THE TRUE POINT OF BEGINNING;

THENCE CONTINUING WESTERLY, ALONG THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF

THENCE NORTHERLY, AND PARALLEL WITH THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 13, A DISTANCE OF 250 FEET TO THE SOUTHERLY LINE OF THE LAND CONVEYED TO LORNE FROATS AND ANNE FROATS, HUSBAND AND WIFE AS JOINT TENANTS, BY DEED RECORDED JULY 18, 1963 AS INSTRUMENT NO. 75060 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE EASTERLY, ALONG THE SOUTHERLY LINE OF SAID LAND CONVEYED TO LORNE FROATS, ET UX, A DISTANCE OF 378.80 FEET TO THE NORTHWEST CORNER OF SAID LAND CONVEYED TO CHARLES R. WILKERSON, ET UX; THENCE SOUTHERLY, ALONG THE WESTERLY LINE OF SAID LAND CONVEYED TO CHARLES R. WILKERSON. ET UX AND ALONG THE SOUTHERLY PROLONGATION OF

THE WESTERLY LINE THEREOF, A DISTANCE OF 250.00 FEET TO THE TRUE POINT

EXCEPTING THEREFROM. THE SOUTHERLY 20.00 FEET THEREOF.

APN 317-210-008

OF BEGINNING.

A 30.00 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES TOGETHER WITH THE RIGHT TO CONSTRUCT AND MAINTAIN A SURFACED DRIVEWAY OVER AND ACROSS THE NORTH 30.00 FEET OF THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH. RANGE 4 WEST. SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER AT A POINT WHICH IS 20 FEET NORTH OF THE SOUTHEAST THENCE NORTH, ON SAID EAST LINE, A DISTANCE OF 230,00 FEET TO A POINT

THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER, A DISTANCE OF 218.67 FEET; THENCE SOUTH, PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER, A

DISTANCE OF 230.00 FEET; THENCE EAST, PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 218.67 FEET TO THE POINT OF BEGINNING. SAID EASEMENT SHALL BE APPURTENANT TO AND FOR THE BENEFIT OF THE HEREINABOVE DESCRIBED PARCEL 1

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AT A POINT WHICH IS 20 FEET NORTH OF THE SOUTHEAST CORNER THEREOF: THENCE NORTH, ON SAID EAST LINE, 230 FEET TO A POINT THEREON:

THENCE WEST, PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE NORTHWEST QUARTER 218.67 FEET; THENCE SOUTH, PARALLEL TO THE EAST LINE OF SAID NORTHEAST QUARTER 230

THENCE EAST, PARALLEL TO THE SOUTH LINE OF SAID NORTHEAST QUARTER

218.67 FEET TO THE POINT OF BEGINNING

#### **EXISTING EASEMENTS:**

THE FOLLOWING EASEMENTS PER FIRST AMERICAN TITLE COMPANY COMMITMENT FOR TITLE INSURANCE NO. NCS-1051928-CHI2 DATED, FEBRUARY 01, 2021.

- (NO) INDICATES ITEM NUMBER PER SCHEDULE "B" PART 2, EXCEPTIONS TO COVERAGE, OF ABOVE COMMITMENT FOR TITLE INSURANCE.
- (12) 12. AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES. GRANTED TO: NEVADA-CALIFORNIA ELECTRIC CORPORATION. RECORDED JANUARY 31, 1941 IN BOOK 490, PAGE 212, O.R. (PLOTTED HEREON AS C/L, EASEMENT WIDTH NOT SPECIFIED)
- 〈13〉13. AN EASEMENT FOR ROAD, RAILROAD, TURNPIKE, INGRESS AND EGRESS. GRANTED TO: FOURTY-NINE (49) PRIVATE PARTIES - SEE DOCUMENT FOR LIST. RECORDED JULY 28, 1943 IN BOOK 587, PAGE 316, O.R. (NOT PLOTTED, LOCATION NOT SPECIFIED IN DOCUMENT)
- (14) 14. AN EASEMENT FOR ELECTRIC LINES AND TELEPHONE LINES. GRANTED TO: CALIFORNIA ELECTRIC POWER COMPANY AND CALIFORNIA WATER & RECORDED FEBRUARY 09, 1962 AS INSTRUMENT NO. 13054, O.R. (PLOTTED HEREON AS C/L, EASEMENT WIDTH NOT SPECIFIED)
- $\langle 16 
  angle$  16. AN EASEMENT FOR ROAD PURPOSES, TO CONSTRUCT, OWN, OPERATE, MAINTAIN, REPAIR AND CHANGE SEWAGE TRANSMISSION AND WATER SUPPLY. GRANTED TO: EASTERN MUNICIPAL WATER DISTRICT, A MUNICIPAL CORPORATION. RECORDED SEPTEMBER 09, 1985 AS INSTRUMENT NO. 85-202288, O.R. (PLOTTED HEREON)(TO BE QUITCLAIMED BY SEPARATE INSTRUMENT)
- (18) 18. AN EASEMENT FOR AVIGATION AND RIGHT OF FLIGHT PURPOSES. GRANTED TO: COUNTY OF RIVERSIDE AND MARCH INLAND PORT AIRPORT RECORDED JULY 12, 2007 AS INSTRUMENT NO. 07-455710, O.R. (NOT PLOTTED, EASEMENT IS BLANKET IN NATURE)
- (19) 19. AN EASEMENT FOR INGRESS, EGRESS, ROAD AND PUBLIC UTILITY PURPOSES. GRANTED TO: HOF FINANCIAL I, LLC, A DELAWARE LIMITED LIABILITY COMPANY. RECORDED DECEMBER 30, 2008 AS INSTRUMENT NO. 2008-0676875, O.R. (PLOTTED HEREON, LOCATED OFFSITE IN RIDER STREET)
- (28) 28. AN EASEMENT FOR PUBLIC ROAD AS SHOWN ON REVISED MAP OF CHANDLERS SUBDIVISION M.B. 1 / 33 AND SHOWN ON RECORD OF SURVEY (PLOTTED HEREON, 20' HALF-WIDTH)
- <29> 29. AN IRREVOCABLE OFFER OF DEDICATION FOR PUBLIC ROAD, DRAINAGE, PUBLIC UTILITIES AND SERVICES. ACCEPTED BY THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, RECORDED NOVEMBER 11, 1988 AS INSTRUMENT NO 342505, O.R. (PLOTTED HEREON)
- (30) 30. AN EASEMENT FOR INGRESS AND EGRESS AND PUBLIC UTILITIES TOGETHER WITH THE RIGHT TO CONSTRUCT AND MAINTAIN A SURFACED DRIVEWAY AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED MAY 22, 2014 AS INSTRUMENT NO. 2014-188587 OF OFFICIAL RECORDS.

## PROPOSED EASEMENTS:

- (1) AN EASEMENT FOR STREET AND UTILITY PURPOSES IN FAVOR OF COUNTY OF RIVERSIDE, TO BE DEDICATED ON THE FINAL MAP.
- (2) AN EASEMENT FOR PUBLIC STORM DRAIN PURPOSES IN FAVOR OF COUNTY OF RIVERSIDE, TO BE DEDICATED ON THE FINAL MAP.
- (3) AN EASEMENT FOR PUBLIC SEWER PURPOSES IN FAVOR OF EASTERN MUNICIPAL WATER DISTRICT BY SEPARATE INSTRUMENT.

## **ZONING:**

- THE PROPOSED DEVELOPMENT IS PLANNED TO HAVE: I-P INDUSTRIAL PARK - 583,903 SQUARE FOOT INDUSTRIAL BUILDING
- R-1 ONF-FAMILY DWFLLINGS - PRIVATE NEIGHBORHOOD PARK AND TWO RESIDENTIAL LOTS

## UTILITY PROVIDERS:

## WATER & SEWER EASTERN MUNICIPAL WATER DISTRICT

2270 TRUMBLE ROAD PERRIS, CA 92572 PHONE: (951) 928-3777 CONTACT: EDMUND CHEW ELECTRIC:

SCE PHONE: (951) 928-8218 CONTACT: AMANDA RENTERI

#### TELEPHONE: **FRONTIER** 762 W. KETTERING AVENUE LANCASTER, CA 93534 PHONE: (661) 949-8604 CONTACT: ALFRED FASANO

<u>CABLE:</u> CHARTER
7337 CENTRAL AVENUE RIVERSIDE, CA 92504 PHONE: (951) 406-1613 CONTACT: CLAUDIA PAYNE

SO. CALIF. GAS COMPANY 1981 W. LUGONIA AVENUE, P.O. BOX 3003 REDLANDS. CA 92374-9720 PHONE: (909) 335-7797 FAX: (909) 335-7527 CONTACT: RANDOLPH DARNELL

> SCHOOL DISTRICT VAL VERDE

## **DEVELOPER**

WESTERN REALCO 500 NEWPORT CENTER DR., #630 NEWPORT BEACH, CA 92660 PHONE: (949 720-3787 FAX: (949) 720-3790

## ARCHITECT:

BASTIEN AND ASSOCIATES, INC. 15661 RED HILL AVENUE, SUITE 150 TUSTIN, CA 92780 CONTACT: STEVE MARTINEZ PHONE: (714) 617-8600 email: smartinez@bastienarchitects.com

## APPLICANT / REPRESENTATIVE:

Thienes Engineering, Inc. CIVIL ENGINEERING • LAND SURVEYING
14349 FIRESTONE BOULEVARD LA MIRADA, CALIFORNIA 90638 PH.(714)521-4811 FAX(714)521-4173

SURVEYOR:

PREPARED UNDER THE DIRECTION OF:

P. L.S. NO. 5750 REG. EXP. 12/31/23 email: briant@thieneseng.com



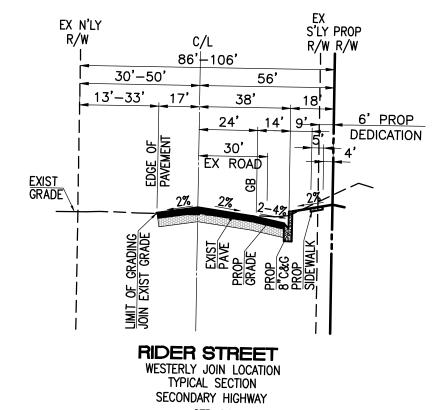
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PROPOSED STREET AREA | EXISTING STREET AREA

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N/A

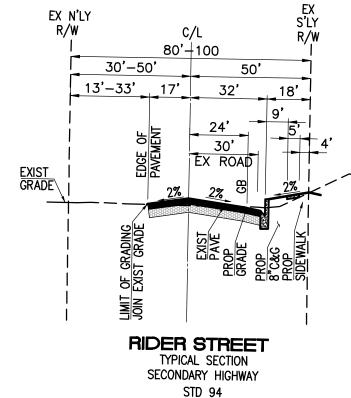
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AREA TABLE:

LOT B (WILDWOOD LANE)

LOT D (SUNNY CANYON STREET)



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0.288

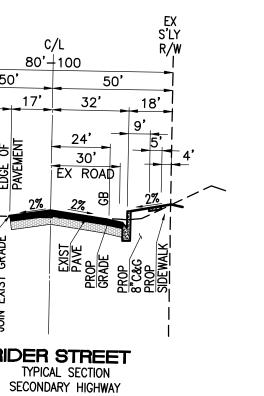
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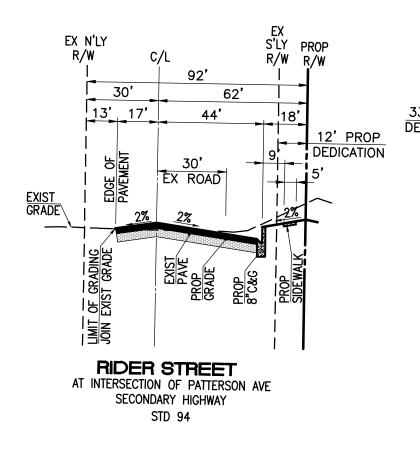
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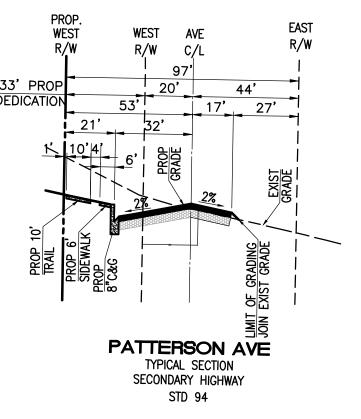
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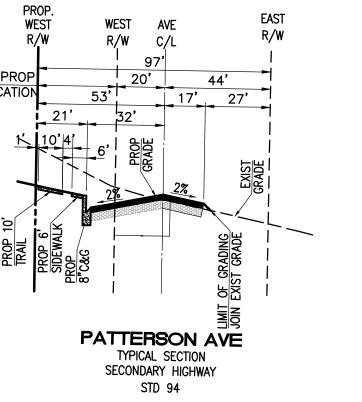
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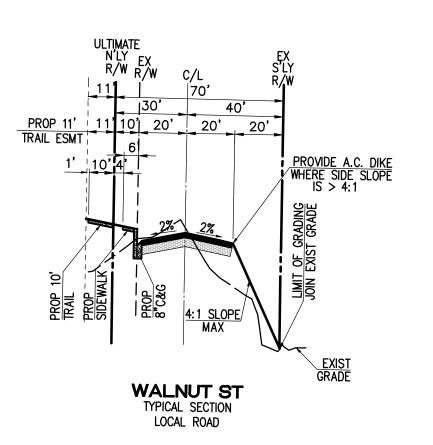
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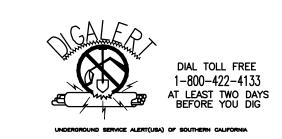










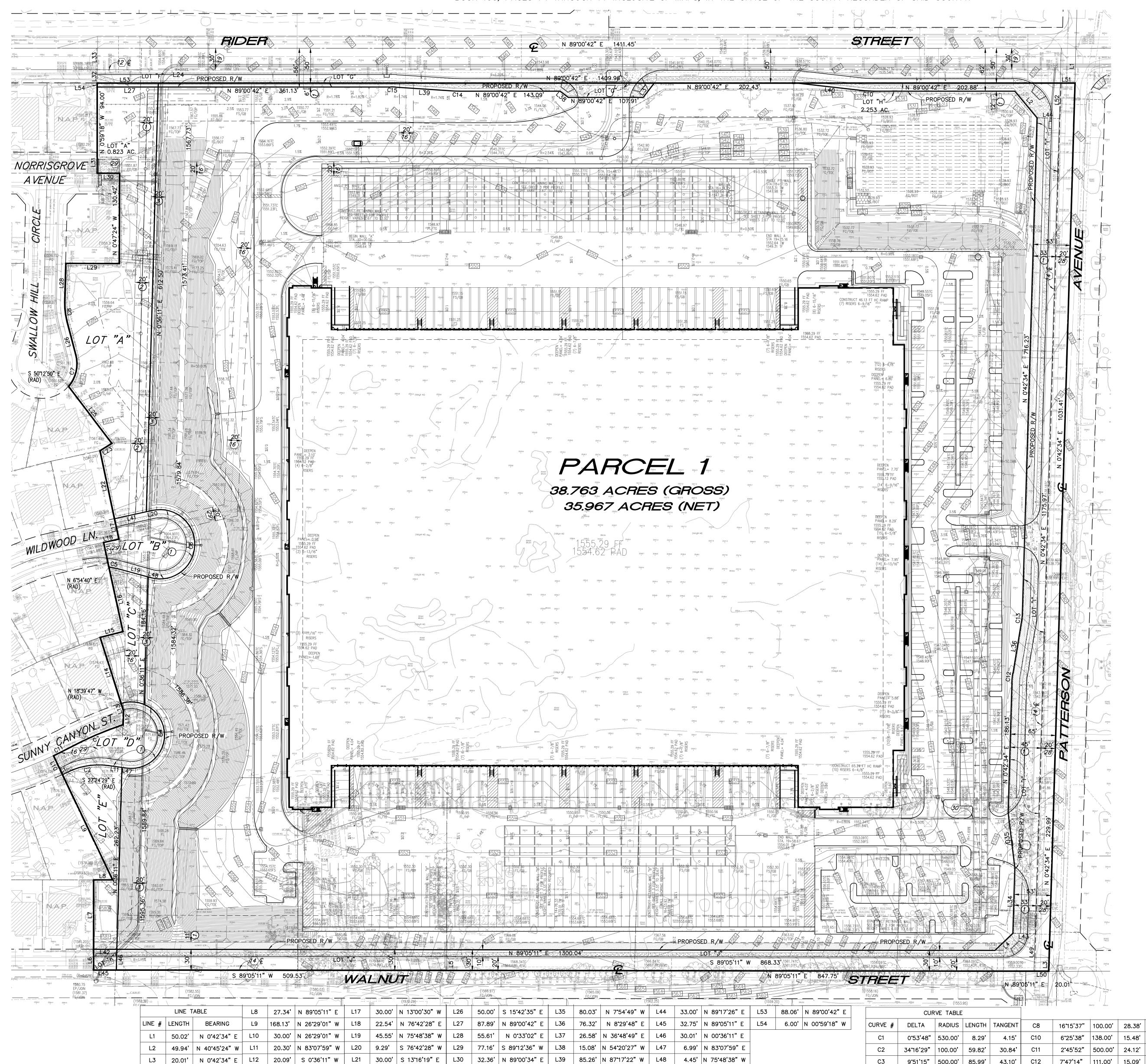




# TENTATIVE PARCEL MAP NO. 38337

IN THE UNINCORPORATED TERRITORY OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

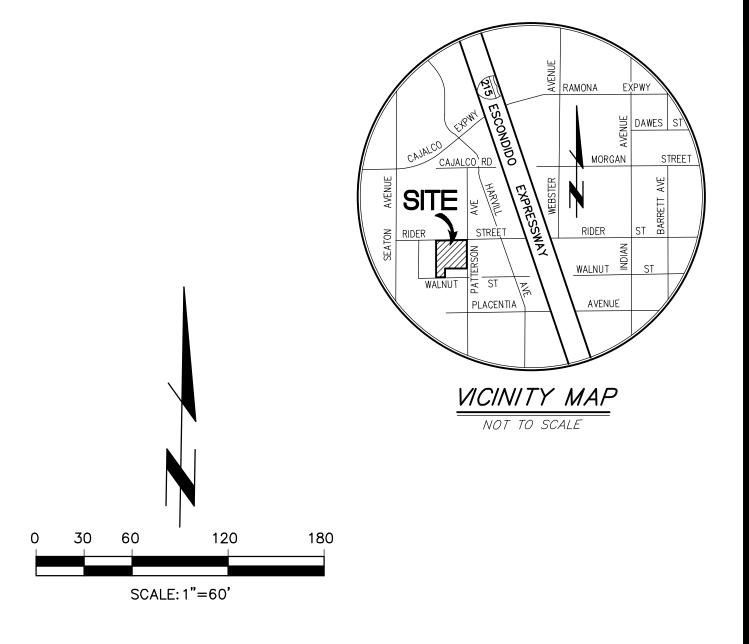
BEING A CONSOLIDATION OF A PORTION OF THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, LYING EASTERLY OF TRACT NO. 20037—1, AS PER MAP FILED IN BOOK 193. PAGES 74 THROUGH 77 INCLUSIVE OF MAPS. IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

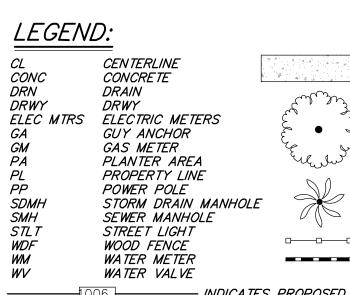


L5 | 20.00' | S 0°54'49" E | L14 | 99.95' | N 18°38'35" W | L23 | 20.00' | S 57°24'19" W | L32 | 6.00' | S 0°59'18" E | L41 | 47.06' | N 76°42'28" E | L50 | 20.01' | N 89°05'11" E

L6 30.00' N 0°54'49" W L15 34.00' N 74°48'38" E L24 6.00' N 00°36'11" E L33 50.00' S 0°59'18" E L42 33.54' N 89°05'11" E L51 20.01' N 89°00'42" E

L7 | 100.00' | N 0°54'49" W | L16 | 95.48' | S 13°16'19" E | L25 | 103.09' | S 38°09'40" E | L34 | 94.49' | N 0°42'34" E | L43 | 33.00' | N 89°17'26" E | L52 | 51.39' | N 00°42'34" E





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INDICATES PROPOSED ELEVATION/DESCRIPTION

INDICATES EXISTING DESCRIPTION/ELEVATION

CONCRETE

# DEVELOPER

WESTERN REALCO
500 NEWPORT CENTER DR., #630
NEWPORT BEACH, CA 92660
PHONE: (949 720-3787
FAX: (949) 720-3790

## ARCHITECT:

BASTIEN AND ASSOCIATES, INC.

15661 RED HILL AVENUE, SUITE 150
TUSTIN, CA 92780
CONTACT: STEVE MARTINEZ
PHONE: (714) 617-8600
email: smartinez@bastienarchitects.com

APPLICANT / REPRESENTATIVE:



C13

C6 | 207°28'54" | 50.00' | 181.06' | 204.47' | C15 | 3°41'55" | 102.00' | 6.58' | 3.29'

205°31'48" | 48.00' | 172.18' | 211.87'

C7 55°29'45" 50.00' 48.43' 26.30'

7'16'43" | 100.00' | 12.70' | 6.36'

7'47'14" 69.00' 9.38' 4.70'

3'41'55" | 138.00' | 8.91' | 4.46'





#### NOTICE OF PUBLIC HEARING

#### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. Information on how to participate in the hearing will be available on the ALUC website at <a href="https://www.rcaluc.org">www.rcaluc.org</a>. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact <a href="https://www.acuteness.org/">ALUC Planner Jackie Vega at (951) 955-0982</a>.

The County of Riverside Planning Department should be contacted on non-ALUC issues. For more information please contact County of Riverside Planner Evan Langan at (951) 955-3024.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website <a href="www.rcaluc.org">www.rcaluc.org</a>. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to <a href="mailto:javega@rivco.org">javega@rivco.org</a>. Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

**Riverside California** 

DATE OF HEARING: February 9, 2023

TIME OF HEARING: 9:30 A.M.

#### CASE DESCRIPTION:

ZAP1553MA22 – Capital Properties, LLC (Representative: T&B Planning) County of Riverside Case Nos. GPA220003 (General Plan Amendment), CZ220003 (Change of Zone), PPT220004 (Plot Plan), TPM38337 (Tentative Parcel Map). A proposal to construct a 591,203 square foot manufacturing building with mezzanines on 40.88 acres located northerly of Walnut Street, southerly of Rider Street, and westerly of Patterson Avenue The applicant also proposes amending the site's general plan land use designation from Medium Density Residential (MDR) to Light Industrial (LI), and also changing the sites zoning from One-Family Dwellings (R-1), Light Agriculture (A-1-1), and Rural Residential (R-R-1) to Industrial Park (I-P). The applicant also proposes a tentative parcel map to merge existing eight parcels into one parcel (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).



#### **APPLICATION FOR MAJOR LAND USE ACTION REVIEW**

	ALUC STAFF OF	
ALUC Case Number: ZAP1553MA2	<u>Date Submitte</u>	ed: 12/13/22
AIA: March	Zone: C2	Public Hearing Staff Review
	Applicant	
Applicant Full Name: Jeremy Mape; GCP (	Capital Properties, LLC	<u>`</u>
Applicant Address: 500 Newport C	enter Drive	
Phone: 949-720-0369	Email: jً	mape@westernrealco.com
	tative/ Property Owner	Contact Information
Representative: T&B Planning, Inc	<u>.                                      </u>	Email: tzinn@tbplanning.com
Tracy Zinn		Phone: 714-505-6360 ext. 350
Address: 3200 El Camino Real, S	uite 100, Irvine CA 926	602
Property *O	_	
Owner: *See attached	<u></u>	Email:
		Phone:
Address:		
	Local Jurisdiction A	Agency
Agency Name: Riverside County		Phone: 951-955-3024
Staff Contact: Evan Langan		Email: elangan@rivcc
4080 Lemon Street	, 12th Floor, Riverside,	
Address: 4000 Lemon Street,	12ti i looi, i tivei side,	Camorna 92302
Local Agency Case No.: PPT220004, CZ2	220003, GPA220003, T	PM38337
	Project Location	on
Street Address: Northwest corr	ner of Walnut St./Patters	on Ave. Gross Parcel Size.: 40.78
Assessor's Parcel No.: 317-210-006	5, 317-210-008, 317-21	
MOOGOOUI O FAILEI NU		
	Solar	
Is the project proposing solar Panels? Y	Yes No	If yes, please provide solar glare study. (only if in Zone C or higher)
		Note: Solar panels will be tenant spec

applicant will resubmit to ALUC when panel specifications are known.

	Data
Site Elevation:(above mean sea level)	1550 ft
Height of Building or structures:	47' (request to review at 52 feet to allow flexibility up to 52 feet)
What type of drainag being proposed and totage:	
	Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

#### C. SUBMISSION PACKAGE:

#### Please submit all application items DIGITALLY via USB or CD:

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

#### Additionally, please provide:

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

#### **STAFF REPORT**

AGENDA ITEM: 3.3

**HEARING DATE:** February 9, 2023

**CASE NUMBER:** ZAP1556MA22 – Bridge Investment Group (Representative:

T&B Planning, Inc.)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** PPT220024 (Plot Plan)

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use

Compatibility Plan

Airport Influence Area: March Air Reserve Base

Land Use Policy: Zones C2

Noise Levels: Below 60 CNEL contour

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the Plot Plan CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, subject to the conditions included herein.

**PROJECT DESCRIPTION**: A proposal to construct a 106,931 square foot industrial building with mezzanines on 5.26 acres.

**PROJECT LOCATION:** The site is located on southerly of Cajalco Road and westerly Patterson Avenue, approximately 10,735 feet southwesterly of the southerly end of Runway 14-32 at March Air Reserve Base.

#### **BACKGROUND:**

<u>Non-Residential Average Intensity</u>: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone C2, which limits average intensity to 200 people per acre.

Pursuant to Appendix C, Table C-1, of the Riverside County Airport Land Use Compatibility Plan and the Additional Compatibility Policies included in the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, the following rates were used to calculate the occupancy for the proposed project:

Manufacturing – 1 person per 200 square feet, and

• Office – 1 person per 200 square feet.

The project proposes to construct a 106,931 square foot industrial building, which includes 98,931 square feet of manufacturing area, 4,000 square feet of office area, and 4,000 square feet of second floor office mezzanines, accommodating a total occupancy of 535 people, resulting in an average intensity of 102 people per acre, which is consistent with Zone C2 average intensity criterion of 200 people per acre.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per vehicle and 1.0 persons per trailer truck space). Based on the number of parking spaces provided (82 standard vehicles), the total occupancy would be estimated at 123 people for an average intensity of 23 people per acre, which is consistent with the Compatibility Zone C2 average intensity criterion of 200 people per acre.

Non-Residential Single-Acre Intensity: Compatibility Zone C2 limits maximum single-acre intensity to 500 people. There are no risk-reduction design bonuses available, as March Air Reserve Base/Inland Port Airport is primarily utilized by large aircraft weighing more than 12,500 pounds.

Based on the site plan provided and the occupancies as previously noted, the maximum single-acre area would include 39,560 square feet of manufacturing area, 4,000 square feet of office area, and 4,000 square feet of second floor office mezzanines, resulting in a single acre occupancy of 238 people which is consistent with the Compatibility Zone C2 single acre criterion of 500.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zones C2 (children's schools, day care centers, hospitals, nursing homes, libraries, places of assembly, highly noise-sensitive outdoor nonresidential uses and hazards to flight).

<u>Noise:</u> The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being below the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

<u>Part 77</u>: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 10,735 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,595 feet AMSL. The site's finished floor elevation is 1,534 feet AMSL and the proposed building height is 45 feet, for a top point elevation of 1,565 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) was not required.

<u>Open Area:</u> None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

<u>Hazards to Flight:</u> Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins.

All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The project is located 10,735 feet from the runway, and therefore would not be subject to the above requirement.

#### **CONDITIONS:**

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive outdoor nonresidential uses. Examples of noise-sensitive outdoor nonresidential uses that are prohibited include, but are not limited to, major spectator-oriented sports stadiums, amphitheaters, concert halls and drive-in theaters.
  - (f) Other Hazards to flight.
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property, and be recorded as a deed notice.
- 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that

produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at <u>RCALUC.ORG</u> which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 6. The project has been evaluated to construct a 106,931 square foot manufacturing building with mezzanines. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
- 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

X:\AIRPORT CASE FILES\March\ZAP1556MA22\ZAP1556MA22sr.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

# NOTICE

# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

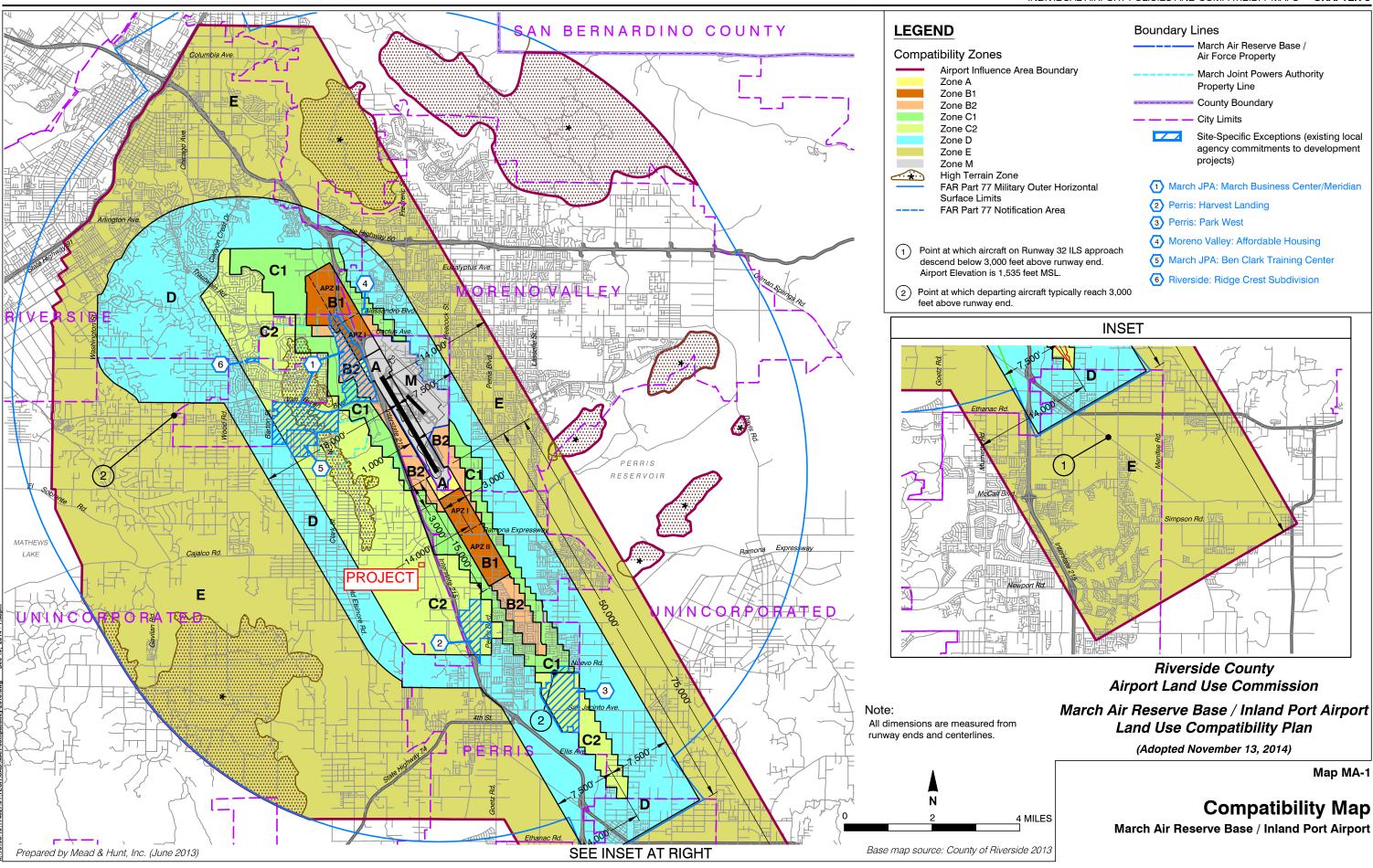
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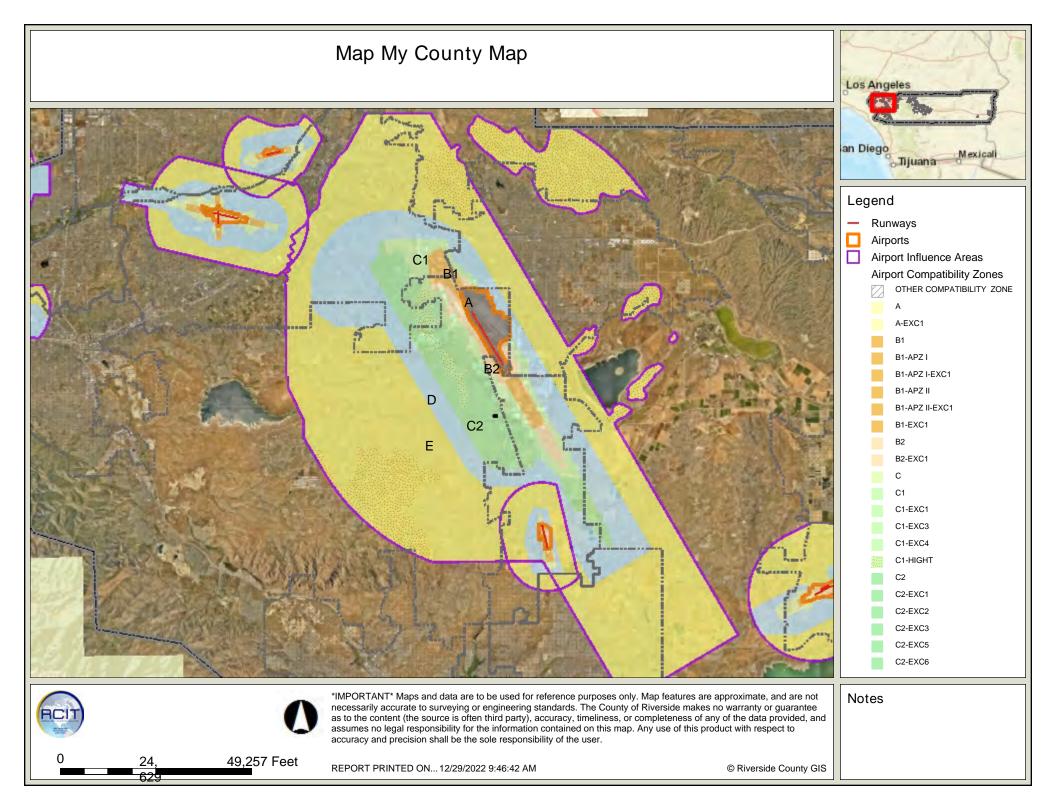


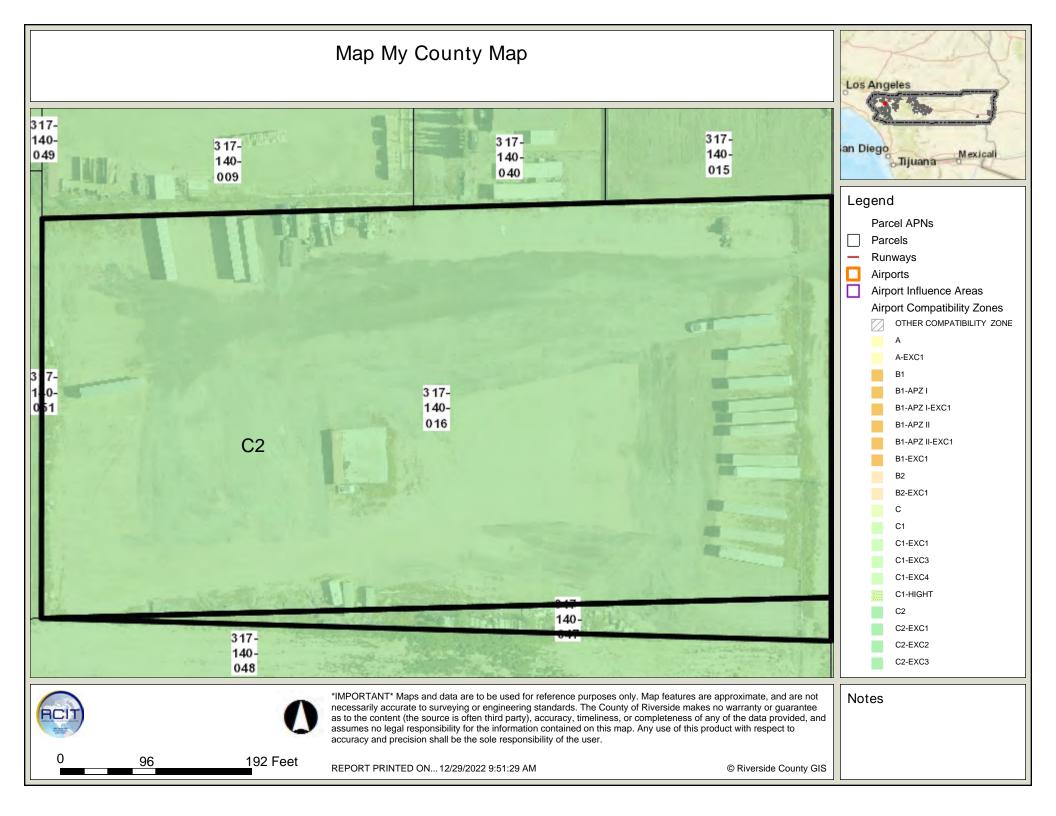
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Name:	Phone:	

Map MA-1











#### Legend

Parcel APNs

Parcels

County Centerline Names

County Centerlines

Blueline Streams

City Areas

World Street Map





\*IMPORTANT\* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

96 192 Feet

REPORT PRINTED ON... 12/29/2022 9:51:56 AM

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Notes





#### Legend

- Blueline Streams
- City Areas World Street Map





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3, 6,157 Feet

REPORT PRINTED ON... 12/29/2022 9:52:35 AM

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Notes



REPORT PRINTED ON... 12/29/2022 9:53:01 AM



#### Legend

County Centerline Names

- **County Centerlines**
- Blueline Streams
- City Areas
  - World Street Map





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Notes

770





#### Legend

City Areas World Street Map





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24,629 Feet

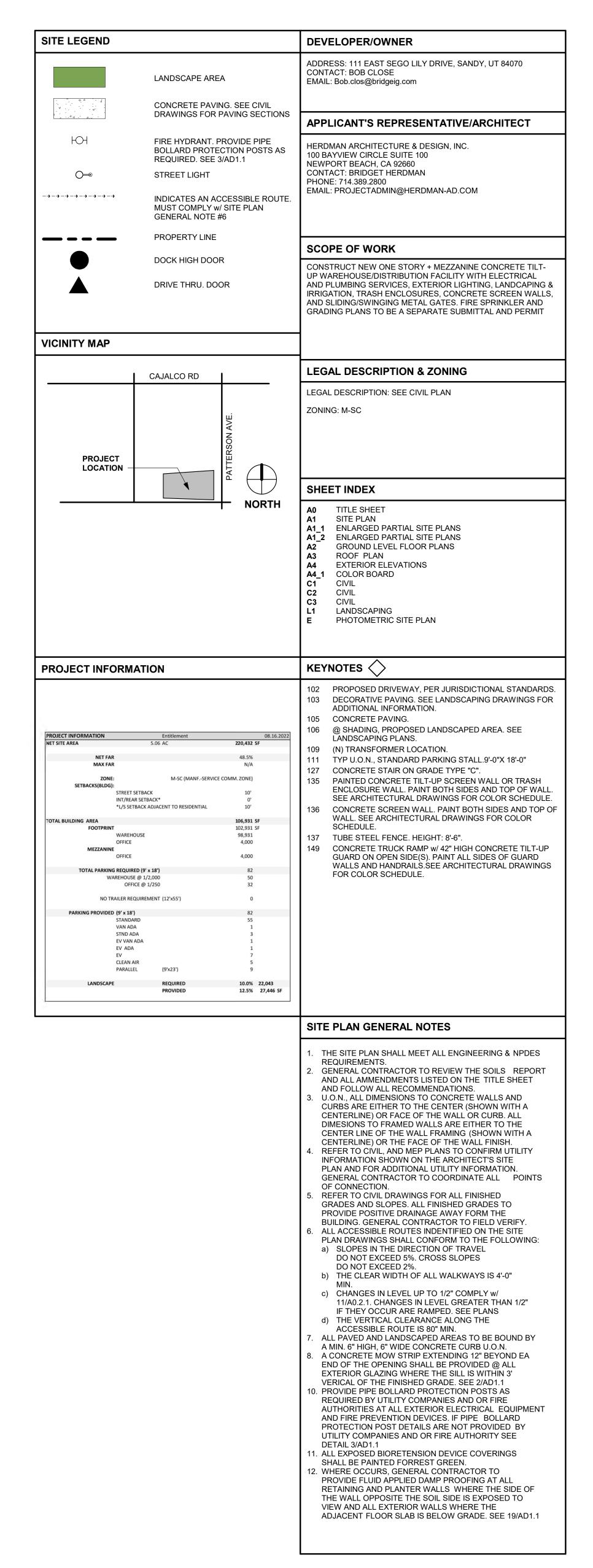
REPORT PRINTED ON... 12/29/2022 9:52:20 AM

© Riverside County GIS

Notes

PROPOSED SITE PLAN

1" = 30'-0"





SITE PLAN



12/1/2022 1:54:54 PM

106 @ SHADING, PROPOSED LANDSCAPED AREA. SEE

LANDSCAPING PLANS. 109 (N) TRANSFORMER LOCATION.

110 ACCESS AISLE FOR ACCESSIBLE PARKING STALL. 5'-0"

111 TYP U.O.N., STANDARD PARKING STALL.9'-0"X 18'-0" 112 CLEAN AIR VEHICLE PARKING STALL.

115 STANDARD ACCESSIBLE PARKING STALL. 116 VAN ACCESSIBLE PARKING STALL. 117 FUTURE STANDARD ACCESSIBLE EV CHARGING ONLY

. REFER TO CIVIL, AND MEP PLANS TO CONFIRM UTILITY PARKING STALL. PROVIDE FOR FUTURE INSTALLATION OF CHARGING EQUIPMENT. GENERAL CONTRACTOR TO COORDINATE ALL POINTS 118 FUTURE VAN ACCESSIBLE EV CHARGING ONLY PARKING STALL. PROVIDE FOR FUTURE INSTALLATION OF

> 150 STEEL PIPE BOLLARD PROTECTION POST. 163 FUTURE EVCS CHARGING EQUIPMENT.

> > ABOVE HIGHEST ADJACENT GRADE.

CHARGING EQUIPMENT. 120 TRUNCATED DOME DETECTABLE WARNING SURFACE. 121 PRECAST CONCRETE WHEEL STOP.

172 TOP OF WALLS @ TRASH ENCLOSURE TO BE MIN 6'-0"

122 ZERO CURB FACE. . ALL ACCESSIBLE ROUTES INDENTIFIED ON THE SITE 123 CURB RAMP. 8.33% MAX SLOPE w/ 2% MAX CROSS SLOPE. PLAN DRAWINGS SHALL CONFORM TO THE FOLLOWING: a) SLOPES IN THE DIRECTION OF TRAVEL 141 PAINTED STEEL ROOF COVERING. HSS COLUMNS, HSS BEAMS, AND METAL DECK ROOFING. 142 PAINTED STEEL TRASH ENCLOSURE GATES.

402 WALL REVEAL.

KEYNOTES  $\Diamond$ 

05 CONCRETE PAVING.

DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0"

THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES

. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT

AND ALL AMMENDMENTS LISTED ON THE TITLE SHEET

. U.O.N., ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A

CENTERLINE) OR FACE OF THE WALL OR CURB. ALL

CENTER LINE OF THE WALL FRAMING (SHOWN WITH A

DIMESIONS TO FRAMED WALLS ARE EITHER TO THE

CENTERLINE) OR THE FACE OF THE WALL FINISH.

INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION.

REFER TO CIVIL DRAWINGS FOR ALL FINISHED

GRADES AND SLOPES. ALL FINISHED GRADES TO

BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY.

PROVIDE POSITIVE DRAINAGE AWAY FORM THE

DO NOT EXCEED 5%. CROSS SLOPES

AND FOLLOW ALL RECOMMENDATIONS.

**SITE PLAN GENERAL NOTES** 

REQUIREMENTS.

OF CONNECTION.

c) CHANGES IN LEVEL UP TO 1/2" COMPLY w/ 11/A0.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS d) THE VERTICAL CLEARANCE ALONG THE

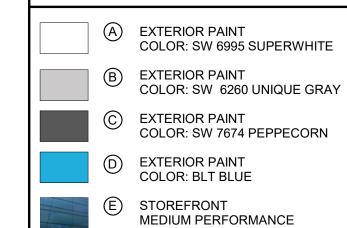
ACCESSIBLE ROUTE IS 80" MIN. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N. . A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL

EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERICAL OF THE FINISHED GRADE. SEE 2/AD1.1 10. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY

UTILITY COMPANIES AND OR FIRE AUTHORITY SEE DETAIL 3/AD1.1 1. ALL EXPOSED BIORETENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. 12. WHERE OCCURS, GENERAL CONTRACTOR TO

PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. SEE 19/AD1.1

SITE LEGEND LANDSCAPE AREA CONCRETE PAVING. SEE CIVIL DRAWINGS FOR PAVING SECTIONS FIRE HYDRANT. PROVIDE PIPE **BOLLARD PROTECTION POSTS AS** REQUIRED. SEE 3/AD1.1  $\bigcirc$ STREET LIGHT INDICATES AN ACCESSIBLE ROUTE. MUST COMPLY w/ SITE PLAN GENERAL NOTE #6 PROPERTY LINE \_\_\_\_ DOCK HIGH DOOR DRIVE THRU. DOOR **EXTERIOR COLOR SCHEDULE** 



MEDIUM PERFORMANCE BLUE REFLECTED GLAZING (F) CLEAR ANODIZED MULLION

G SOLID BROW & CANOPY FRAMING MATCH STOREFRONT FRAMING.

H DECORATIVE BROW BLACK ANODIZED EXTERIOR STOREFRONT FRAMING COLOR: CLEAR ANAODIZED ALUMINUM EXTERIOR GLASS COLOR FOR SINGLE GLAZING & EXTERIOR LAYER OF INSULATED GLASS: VITRO OPTI-GRAY

EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR

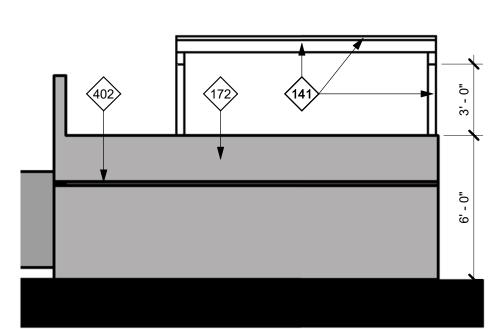
## NOTES:

- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT
- BUILDING WALL COLOR, U.O.N. U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED WITH MANUFACTURER'S WHITE. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY.

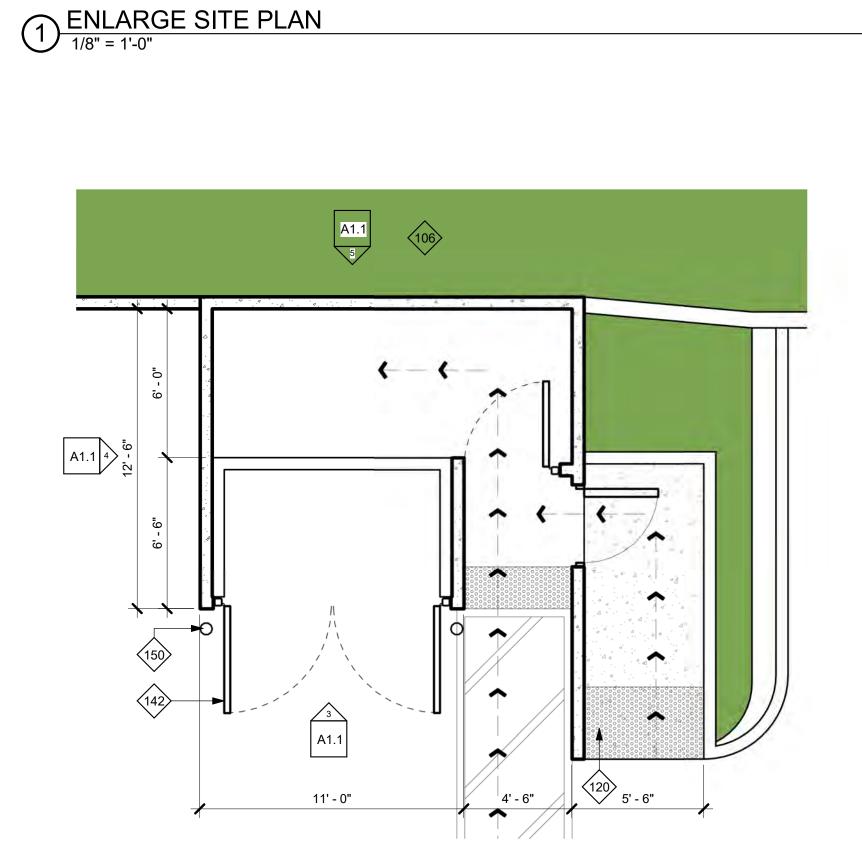
POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO

- PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE PAINT EXTERIOR WALLS w/ 1- COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE
- AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS OF THE COLOR.
- EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1.

  DETAIL TO THE PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE
- COLOR OF THE ADJACENT WALL. @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.







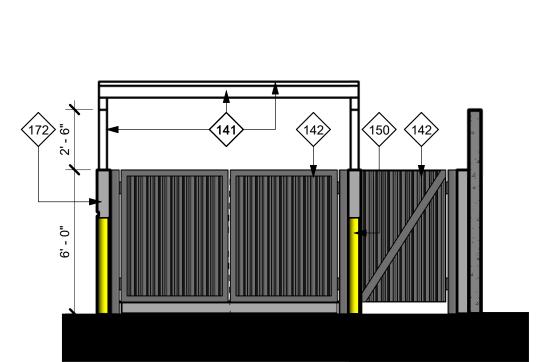
2 ENLARGED TRASH ENCLOSURE

28' - 0"

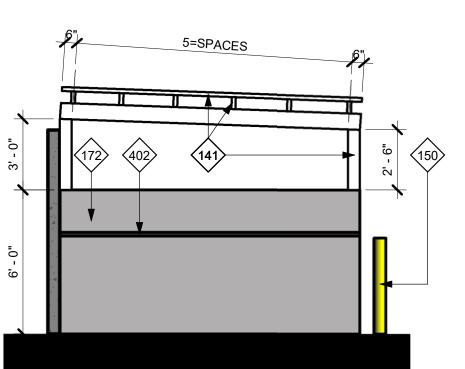
CLEAN AIR /ICLEAN AIR /ICLEAN AIR /ICLEAN AIR /ICLEAN AIR

VANPOOL/EVANPOOL/EVANPOOL/EVANPOOL/EVANPOOL/EVANPOOL/EV

9'-0" 9'-0" 9'-0" 9'-0" 9'-0" 9'-0" 10'-0"



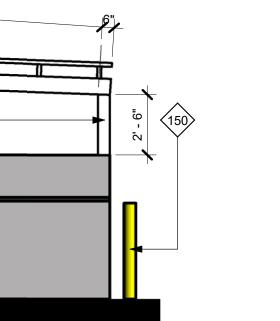
TRASH ENCLOSURE ELEVATION 1

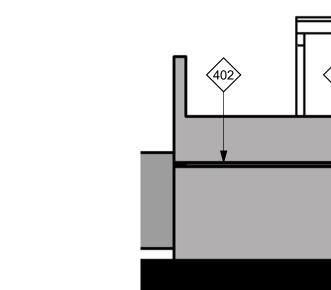


TRASH ENCLOSURE ELEVATION 2

36' - 0"

33' - 0"



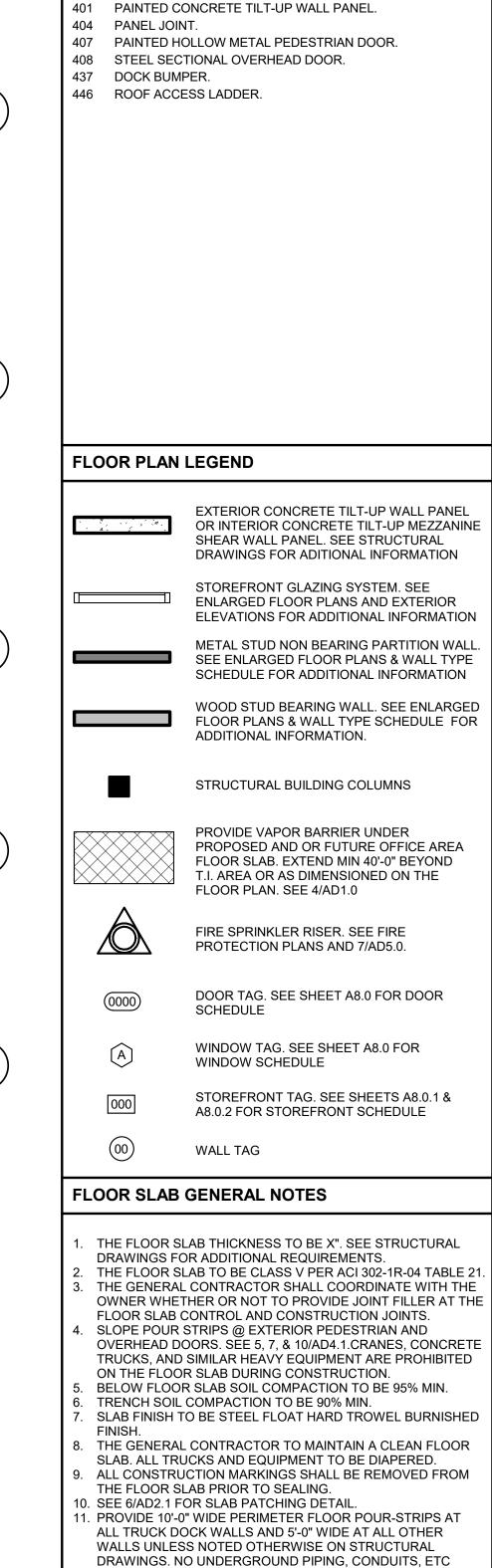




SITE DETAILS







KEYNOTES  $\Diamond$ 

120 TRUNCATED DOME DETECTABLE WARNING SURFACE.

149 CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S). PAINT ALL SIDES OF GUARD

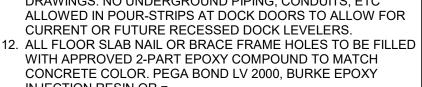
WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS

127 CONCRETE STAIR ON GRADE TYPE "C".

150 STEEL PIPE BOLLARD PROTECTION POST.

FOR COLOR SCHEDULE.

201 STRUCTURAL BUILDING COLUMN.



CONCRETE COLOR. PEGA BOND LV 2000, BURKE EPOXY INJECTION RESIN OR =.

13. ALL FLOOR SLAB PANEL FORM NAIL HOLES TO BE PREDRILLED AND WOOD DOWELED PRIOR TO NAILING. BRACE HOLES TO BE PREDRILLED.

4. CHAMFER AND REVEAL STRIPS ATTACHED TO THE FLOOR SLAB MUST BE PROPERLY PATCHED PRIOR TO SEALING THE

FLOOR PLAN GENERAL NOTES

FLOOR SLAB.

# WHERE A MEZZANINE OCCURS AND A 1" TOPPING IS CALLED OUT FOR IN THE STRUCTURAL DRAWINGS, PROVIDE A 1" THICK TOPPING OF GYP-CRETE 2000 WITH A MINIMUM STRENGTH OF 2,500 PSI. PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/CFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR.

ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS

- SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHTS AD2.3, & AD2.4.
  4. U.O.N., ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
  5. PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE EXITING & SIGNAGE PLANS.
  6. SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF
- SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
   PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & FLECTRICAL GEAR AS REQUIRED BY THE
- RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 7/AD5.0 FOR ADDITIONAL INFORMATION.

  8. FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE
- 9. NO SMOKING IS ALLOWED WITIHN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.

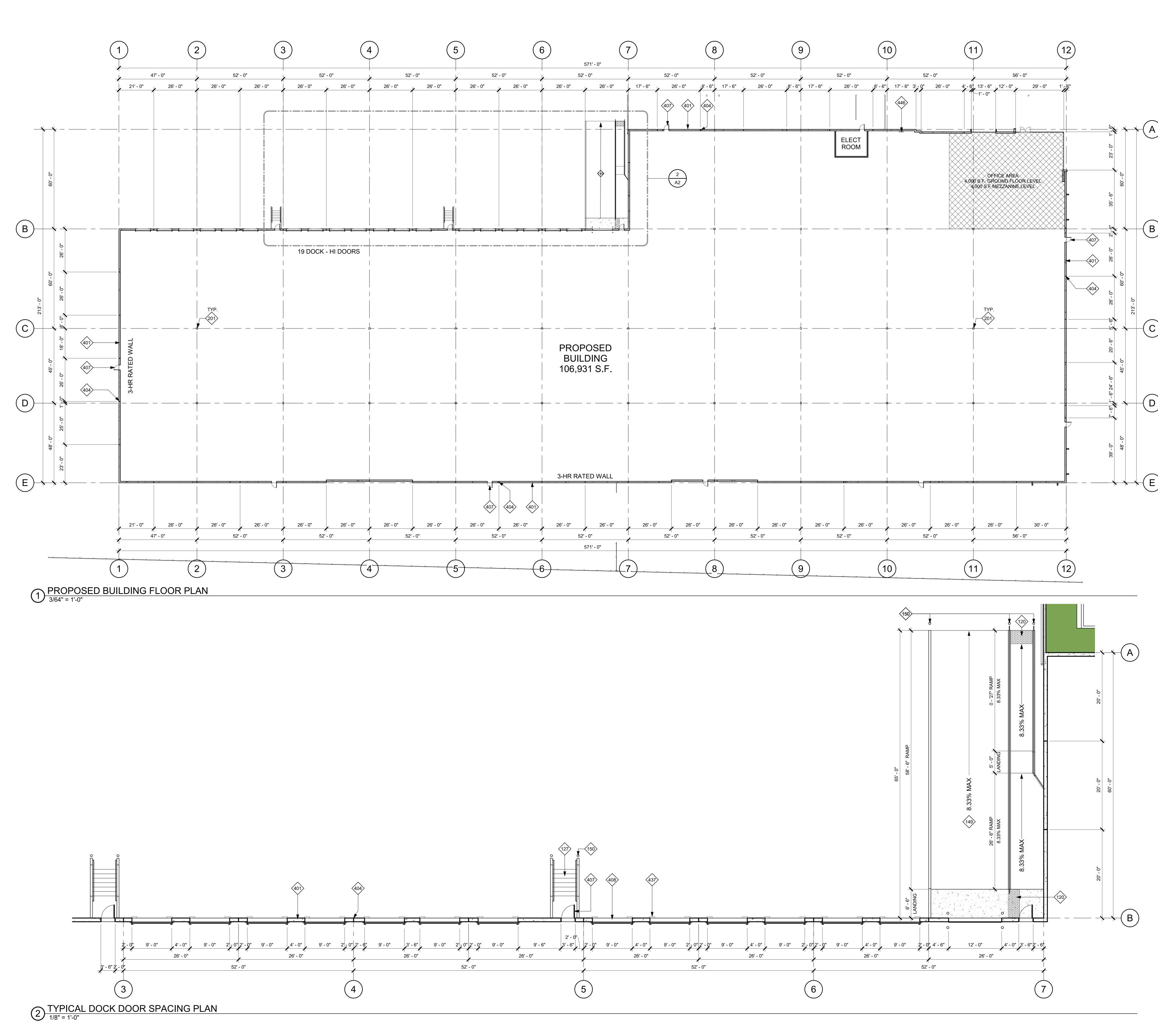
  10. U.O.N @ INTERIOR PARTITIONS, FINISHED HINGE SIDE OF JAMB TO BE 6" FROM FINISHED SURFACE OF INTERSECTING



FLOOR PLAN







# KEYNOTES $\Diamond$

401 PAINTED CONCRETE TILT-UP WALL PANEL 402 WALL REVEAL. 404 PANEL JOINT.

GLAZING LEGEND & NOTES

STOREFRONT FRAMING:
U.O.N @ VISION SYSTEM, MIN 2"x4 1/2" OFFSET
SYSTEM. U.O.N. @ SPANDREL SYSTEM, 2"x1 3/4"

OFFSET SYSTEM. STOREFRONT SYSTEM TO BE DESIGN BUILD BY THE GENERAL CONTRACTOR.

& WIND LOADING REQUIREMENTS.

**VISION SYSTEM GLAZING:** 

USE 1/2" CLEAR GLASS

GLASS NOT REQUIRED.

DESIGN SHALL COMPLY WITH ALL RELEVANT CODE

FOR EXTERIOR VISION GLAZING USE 1" INSULATED GLASS VITRO OPTI-GRAY. FOR INTERIOR GLAZING

<u>SPANDREL SYSTEM GLAZING:</u> FOR EXTERIOR SPANDREL GLAZING USE 1/4" VITRO OPTI-GRAY . BACK PAINTING OF

NOTES:
1. FOR GLASS AND MULLION COLORS, SEE EXTERIOR

B. ALL GLAZING WITHIN 18" OF AN ADJACENT WALKING

C. ALL GLAZING WITH 24" OF ANY PORTION OF A DOOR. 3. @ SPANDREL SYSTEM GLAZING IN FRONT OF CONCRETE WALL PANELS, PROVIDE 1" DIA. VENTILLATION HOLES IN THE CONCRETE A MAX OF 5'-0" O.C. CONTRACTOR TO PROVIDE A SMOOTH FINISH ON THE GLASS FACING CONCRETE SURFACES AND TO PAINT THEM IN A COLOR

4. @ SPANDREL SYSTEM GLAZING NOT IN FRONT OF A CONCRETE WALL PANEL, PROVIDE TENCATE MIRAFI 140N

COLOR: SW 6995 SUPERWHITE

COLOR: SW 6260 UNIQUE GRAY

COLOR: SW 7674 PEPPECORN

EXTERIOR WALL COLOR LEGEND & NOTES

COLORS, LEGEND & NOTES, THIS SHEET. 2. PROVIDE TEMPERED GLASS @ THE FOLLOWING: A. ALL SPANDREL SYSTEM GLAZING IN FRONT OF

CONCRETE WALL PANELS

SELECTED BY THE ARCHITECT.

FILTER FABRIC SHADE CLOTH.

EXTERIOR PAINT

(B) EXTERIOR PAINT

© EXTERIOR PAINT

(D) EXTERIOR PAINT

(E) STOREFRONT

COLOR: BLT BLUE

H DECORATIVE BROW BLACK ANODIZED

MEDIUM PERFORMANCE

(F) CLEAR ANODIZED MULLION

BLUE REFLECTED GLAZING

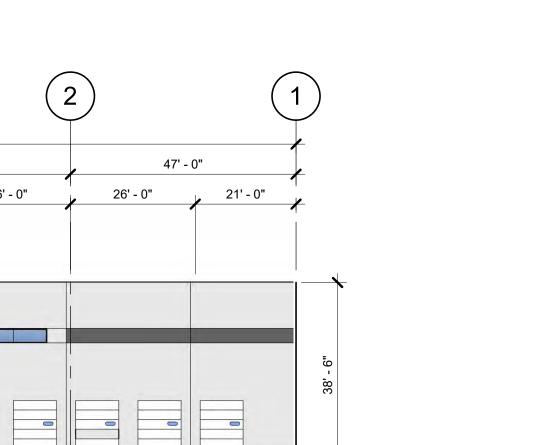
G SOLID BROW & CANOPY FRAMING MATCH STOREFRONT FRAMING.

EXTERIOR STOREFRONT FRAMING COLOR:
CLEAR ANAODIZED ALUMINUM
EXTERIOR GLASS COLOR FOR SINGLE

GLAZING & EXTERIOR LAYER OF INSULATED GLASS: VITRO OPTI-GRAY EXTERIOR GLASS COLOR FOR THE INNER LAYER OF INSULATED GLASS: CLEAR

SURFACE.

419 DECORATIVE SOLID BROW WRAPPED IN ALUMINUM PANELS. NOMINAL 8" THKNS. MAX 24" PROJECTION FROM



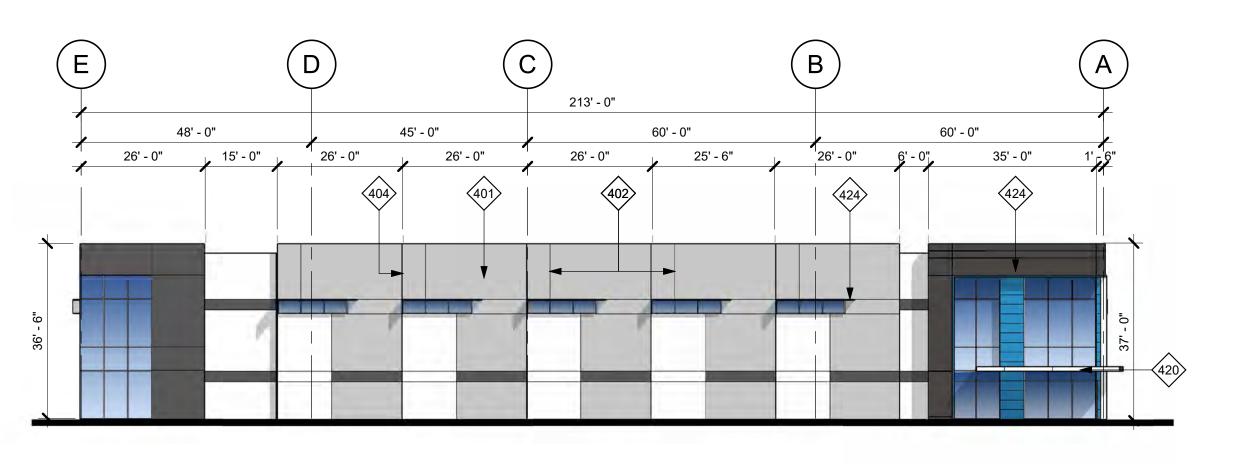
# PROPOSED NORTH ELEVATION 1" = 20'-0"

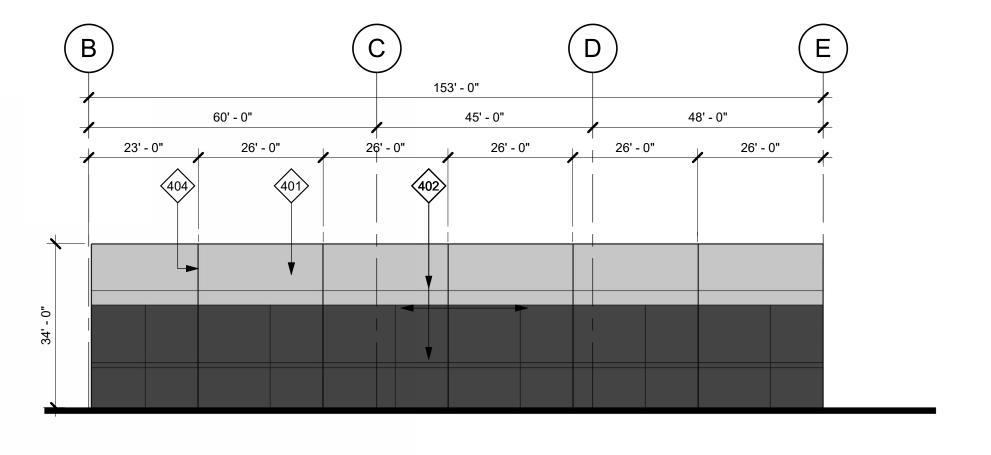
56' - 0"

52' - 0"

52' - 0"

52' - 0"



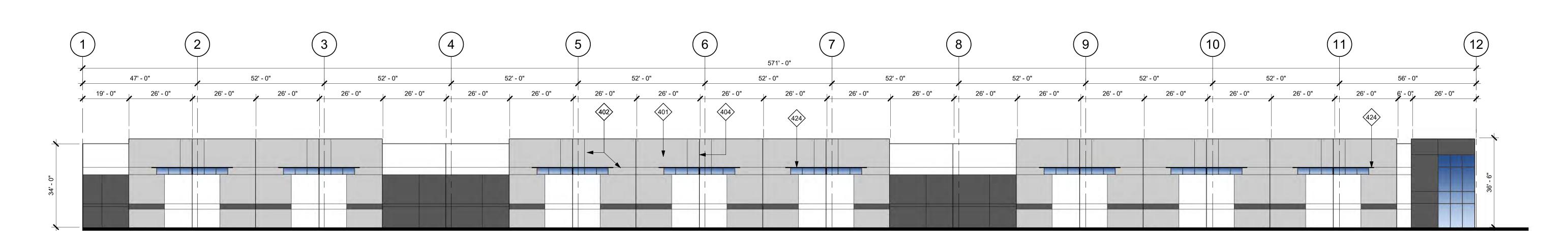


PROPOSED EAST ELEVATION

1" = 20'-0"

3 PROPOSED WEST ELEVATION

1" = 20'-0"



571' - 0"

52' - 0"

52' - 0"

52' - 0"

52' - 0"

52' - 0"

52' - 0"

PROPOSED SOUTH ELEVATION

1" = 20'-0"

- PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS, & LOUVERS TO MATCH ADJACENT
- BUILDING WALL COLOR, U.O.N. U.O.N., EXTERIOR SIDE OF TRUCK DOORS TO BE PRE-FINISHED WITH MANUFACTURER'S WHITE. INTERIOR SIDE TO BE PRE-FINISHED WITH MANUFACTURER'S LIGHT GRAY. POWER WASH EXTERIOR CONCRETE WALLS PRIOR TO
- PAINTING TO REMOVE ALL CHEMICALS AND DIRT THAT WILL IMPEDE THE PRIMER COAT FROM ADHERING TO THE 4. PAINT EXTERIOR WALLS w/ 1- COAT SPRAYED AND BACK ROLLED ACRYLIC FLAT PRIMER AND 2-COATS SPRAYED-ON FLAT FINISH IN THE FINAL WALL COLOR. ALL PAINTS TO BE AS SPECIFIED BY THE MANUFACTURER FOR CONCRETE
- OF THE COLOR. EXCEPT WHERE NOTED OTHERWISE ON THE PLANS ALL PANEL JOINTS SHALL BE CAULKED PER DETAIL 1/AD4.1. . PAINT CONCRETE BEHIND ANY OPEN TRELLIS WORK THE

TILT UP WALL PANELS. FINISHED JOB SHALL BE SMOOTH AND FREE OF LAPPING AND OR STREAKING, REGARDLESS

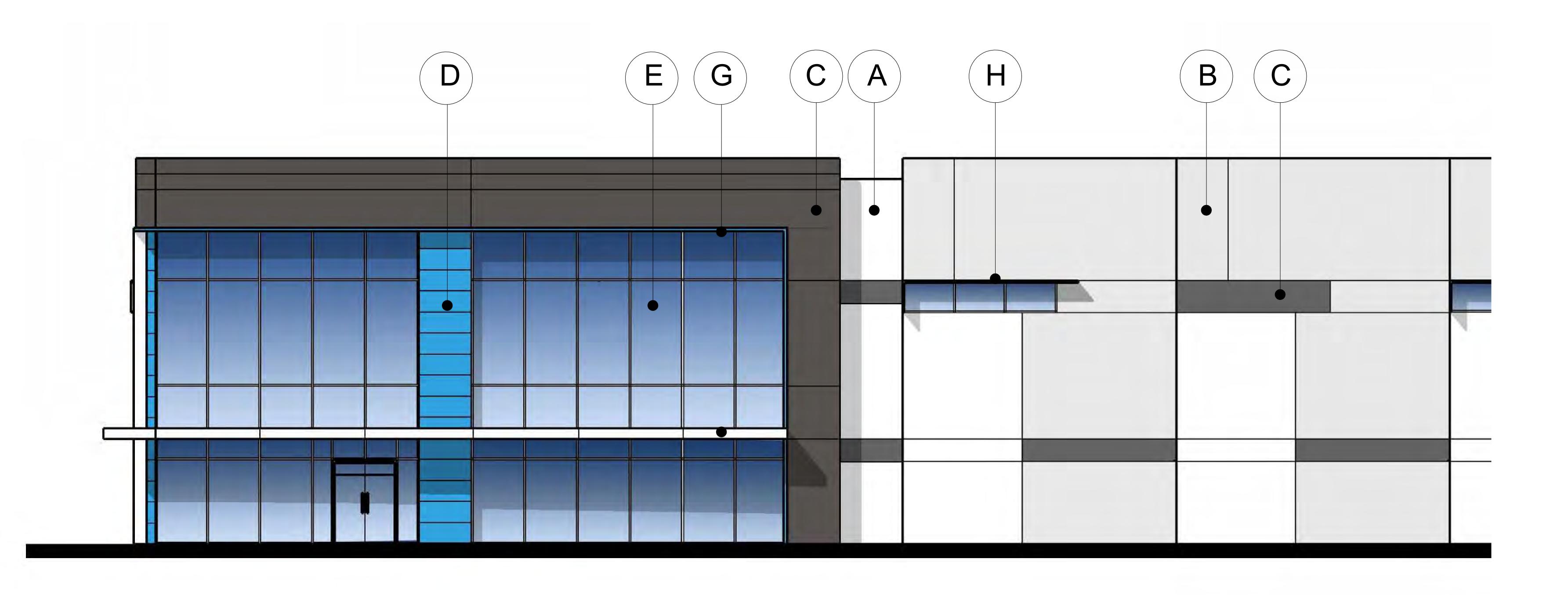
COLOR OF THE ADJACENT WALL. . @ SOLID BROWS WITH GLAZING DIRECTLY ABOVE OR BELOW, PAINT THE EXPOSED WALL CHAMFER JUST ABOVE OR BELOW THE BROW TO MATCH THE BROW COLOR.



12/1/2022 1:55:09 PM

**EXTERIOR** 

**ELEVATIONS** 



# ENLARGED CORNER ELEVATION

- A. EXTERIOR PAINT COLOR: SW 6995 SUPERWHITE
- - B. EXTERIOR PAINT COLOR: SW6260 UNIQUE GRAY
- C. EXTERIOR PAINT COLOR: SW7674 PEPPCORN
- D. EXTERIOR PAINT COLOR: BLT BLUE



- E. STOREFRONT MEDIUM PERFORMANCE BLUE REFLECTED GLAZING CLEAR ANODIZED MULLION
- G. SOLID BROW & CANOPY FRAMING MATCH STOREFRONT FRAMING.
- H. DECORATIVE BROW BLACK ANODIZED



COLOR BOARD



#### NOTICE OF PUBLIC HEARING

#### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. Information on how to participate in the hearing will be available on the ALUC website at <a href="https://www.rcaluc.org">www.rcaluc.org</a>. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact <a href="https://www.acuteness.org/">ALUC Planner Jackie Vega at (951) 955-0982</a>.

The County of Riverside Planning Department should be contacted on non-ALUC issues. For more information please contact County of Riverside Planner Krista Mason at (951) 955-1722.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website <a href="www.rcaluc.org">www.rcaluc.org</a>. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to Javega@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

**Riverside California** 

DATE OF HEARING: February 9, 2023

TIME OF HEARING: 9:30 A.M.

#### CASE DESCRIPTION:

ZAP1556MA22 – Bridge Investment Group (Representative: T&B Planning, Inc.) – County of Riverside Case No. PPT220024 (Plot Plan). A proposal to construct a 106,931 square foot industrial building with mezzanines on 5.26 acres, located southerly of Cajalco Road and westerly of Patterson Avenue (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area).



#### **APPLICATION FOR MAJOR LAND USE ACTION REVIEW**

		LUC STAFF O	NLY	
ALUC Case Number	<sup>⊉:</sup> ZAP1556MA22		<u>ed:</u> 12/22/22	
March		Zone: C2	Public Hearing	Staff Review
		Applicant		
Applicant Full Name: Robe	ert Close, Bridge Investm	ent Group		
Applicant Address:	2000 Alameda De Las I	Pulgas Suite	160, San Mateo CA 944	03
Phone:	408-889-1633	Email <u>:</u>	Bob.close@bridgeig.co	<u>m</u>
	Representative/ Pr	operty Owner	Contact Information	
Representative: Co	onnie Anderson		Email:	canderson@tbplanning.com
Т8	RB Planning Inc.		Phone:	949-629-5270
Address: 3200 El	Camino Real Suite 100,	Irvine CA 926	02	
Property Owner: Ro	obert Close		Email:	Bob.close@bridgeig.com
Br	idge Investment Group		Phone:	408-889-1633
Address: 2000 Ala	ameda De Las Pulgas Su	uite 160, San l		
Agency		I Jurisdiction		054 055 0000
Name: RIVE	erside County			951-955-3200
Staff Contact: Deb	orah Bradford		Email:	dbradford@rivco.org
Address: 408	0 Lemon Street, 12th Flo	oor, Riverside	, CA 92502	<u>:</u>
Local Agency Case No.: <u>F</u>	PPT220024			
		Project Locati	on	
Street Address:	Property located directly west of Patterson Avenue,	<u> </u>	th of Rider Street Gross Parcel Size	.: <u>5.26</u>
Assessor's Parcel N	<sub>No.:</sub> 317-140-016, 317-14	-0-0-1		
		Solar		
Is the project propo	sing solar Panels? Yes	No	If yes, please pro	ovide solar glare study. or higher)

Note: Solar panels will be tenant specific; applicant will resubmit to ALUC when panel specifications are known.

	Data Data
Site Elevation:(above mean sea level)	1520 feet
Height of Building or structures:	38'6" (request to review at 45 feet to allow flexibility)
What type of drainage being proposed and t footage:	e basins are he square N/A
.coago.	Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

#### C. SUBMISSION PACKAGE:

#### Please submit all application items DIGITALLY via USB or CD:

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

#### Additionally, please provide:

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

AGENDA ITEM: 3.4

**HEARING DATE:** February 9, 2023

**CASE NUMBER:** ZAP1557MA22 – Truck Terminal Properties (Representative:

Joseph E. Bonadiman & Associates, Inc.)

**APPROVING JURISDICTION:** City of Perris

JURISDICTION CASE NO: SPA22-05173 (Specific Plan Amendment), CUP22-05172

(Conditional Use Permit)

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use

Compatibility Plan

Airport Influence Area: March Air Reserve Base/Inland Port Airport

Land Use Policy: Compatibility Zone D

Noise Levels: Below 60 CNEL from aircraft

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the Specific Plan Amendment <u>CONSISTENT</u> with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and also find the Conditional Use Permit <u>CONSISTENT</u>, subject to the conditions included herein.

**PROJECT DESCRIPTION**: A proposal to establish a 219-space truck trailer parking facility with a 720 square foot office building on 8.34 acres. The applicant also proposes to amend the Perris Valley Commerce Center Specific Plan, changing the sites zoning from Business Park (BP) to Light Industrial (LI).

On October 13, 2022, the Commission found consistent ALUC Case ZAP1537MA22 a proposal for a 188-space truck trailer parking facility with a 718 square foot office building on 6.4 acres. The applicant also proposed to amend the Perris Valley Commerce Center Specific Plan, changing the sites zoning from Business Park (BP) to Light Industrial (LI).

**PROJECT LOCATION:** The site is located on the northeast corner of Markham Street and Perris Boulevard, approximately 8,088 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

## **BACKGROUND:**

Staff Report Page 2 of 4

<u>Non-Residential Intensity</u>: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone D, which does not restrict non-residential intensity.

<u>Prohibited and Discouraged Uses:</u> The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

<u>Noise:</u> The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

<u>Part 77</u>: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 8,088 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,569 feet AMSL. The site's finished floor elevation is 1,457 feet AMSL and the proposed building height is 25 feet, for a top point elevation of 1,482 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) was not required.

<u>Open Area:</u> None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

<u>Hazards to Flight:</u> Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C).

The project includes a 6,422 square foot vegetated swale basin. Pursuant to the study "Wildlife Hazard Management at Riverside County Airports: Background and Policy", October 2018, by Mead & Hunt, which is the basis of the brochure titled "Airports, Wildlife and Stormwater Management", such basins are permissible within the airport zone with the appropriate criteria that vegetation do not attract hazardous wildlife. The project has been conditioned to be consistent with the basin criteria (as well as providing 48-hour draw down of the basin).

<u>Specific Plan Amendment:</u> The applicant also proposes amending the Perris Valley Commerce Center Specific Plan, changing the sites zoning from Business Park (BP) to Light Industrial (LI). The proposed amendments would be as, or more, consistent with the Compatibility Plan as the underlying compatibility zone does not restrict intensity.

## **CONDITIONS:**

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited

## at this site:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
- (c) Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- (e) Hazards to flight
- 3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
- 4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at <u>RCALUC.ORG</u> which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
- 6. The project has been evaluated to create a 219-space truck trailer parking facility with a 720 square foot office building. Any increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
- 7. The project does not propose rooftop solar panels at this time. However, if the project were to propose solar rooftop panels in the future, the applicant/developer shall prepare a solar glare study that analyzes glare impacts, and this study shall be reviewed by the Airport Land Use Commission and March Air Reserve Base.

X:\AIRPORT CASE FILES\March\ZAP1557MA22\ZAP1557MA22sr.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

# NOTICE

# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

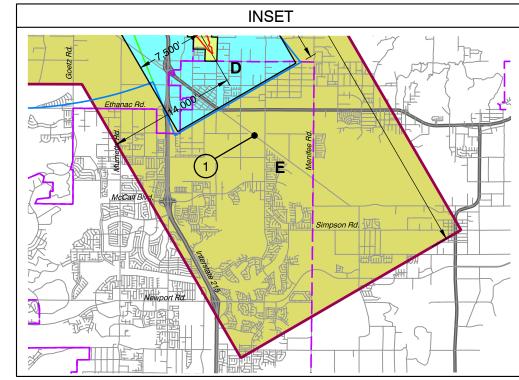
## PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES



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Name:	Phone:	

**LEGEND** Compatibility Zones Airport Influence Area Boundary Zone A Zone B1 ----- County Boundary Zone B2 Zone C1 — — City Limits Zone C2 Site-Specific Exceptions (existing local Zone D agency commitments to development Zone E Zone M High Terrain Zone March JPA: March Business Center/Meridian FAR Part 77 Military Outer Horizontal Surface Limits 2 Perris: Harvest Landing FAR Part 77 Notification Area (3) Perris: Park West Moreno Valley: Affordable Housing 1) Point at which aircraft on Runway 32 ILS approach March JPA: Ben Clark Training Center descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL. 6 Riverside: Ridge Crest Subdivision 2 Point at which departing aircraft typically reach 3,000 feet above runway end.



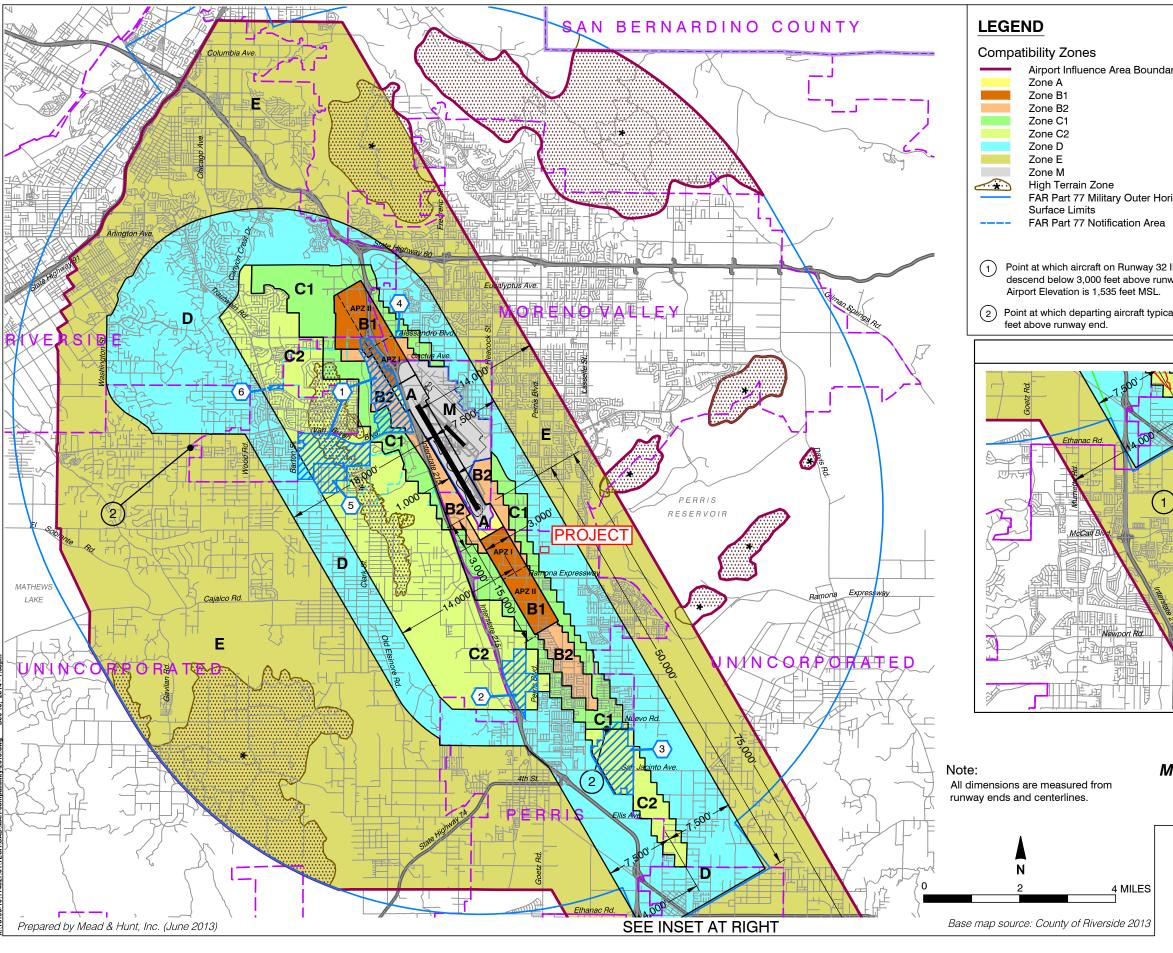
Riverside County Airport Land Use Commission

March Air Reserve Base / Inland Port Airport Land Use Compatibility Plan

(Adopted November 13, 2014)

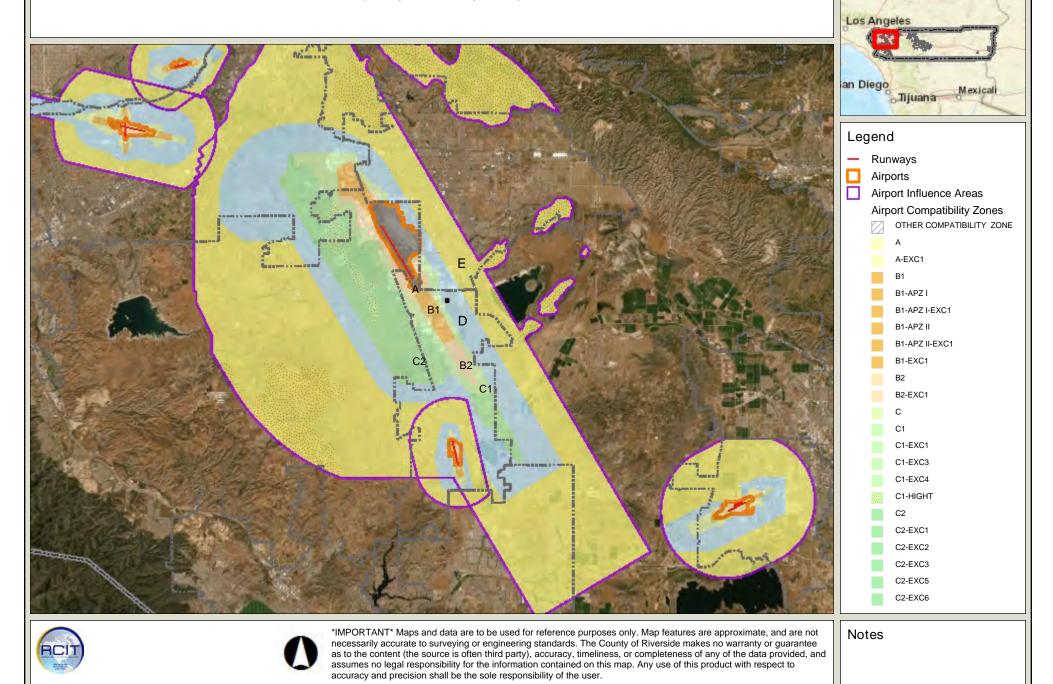
Map MA-1

**Compatibility Map** March Air Reserve Base / Inland Port Airport

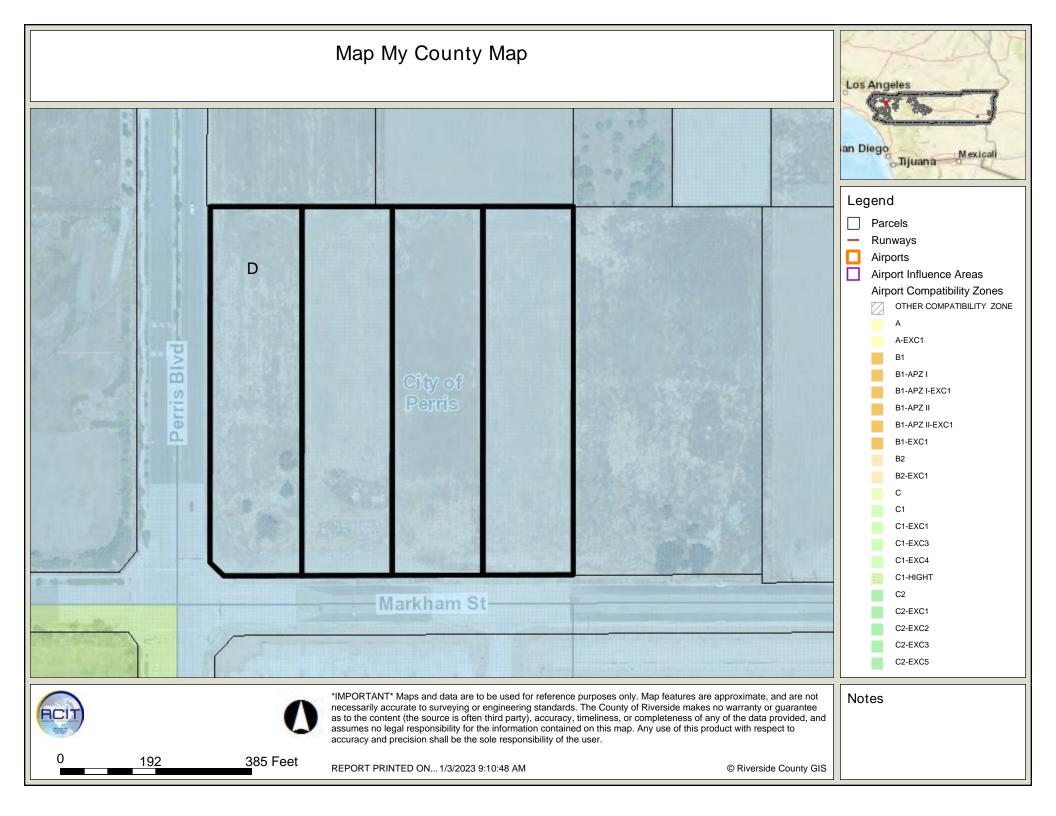


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## Legend

- Parcels
  - County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
  - World Street Map



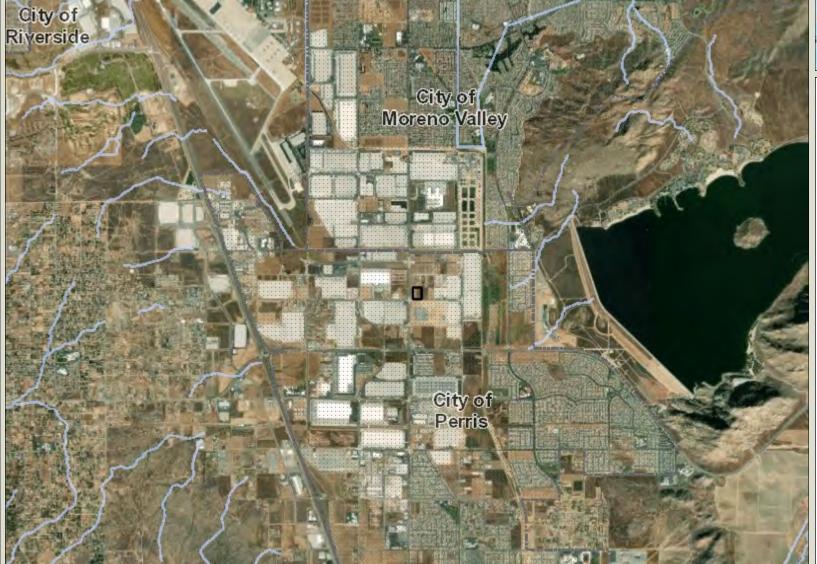


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## Legend

- Blueline Streams
- City Areas World Street Map





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## Legend

- Blueline Streams
- City Areas
  World Street Map





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## Legend

City Areas
World Street Map





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LEGEND SPECIFIC PLAN BOUNDARY POTENTIAL BASIN AREAS
AIRPORT COMPATIBILITY ZONES
FUTURE PERRIS VALLEY COMMERCIAL BUSINESS PROFESSIONAL OFFICE STORM DRAIN CLEAR ZONE LIGHT INDUSTRIAL ACCIDENT POTENTIAL ZONE | PROPOSED LAND USE GENERAL INDUSTRIAL ACCIDENT POTENTIAL ZONE II RESIDENTIAL PUBLIC/SEMI-PUBLIC FACILITY MULTI-FAMILY RESIDENTIAL NANDINA AVE HARLEY KNOX BUYD Current designation BP to LI business park office. REDLANDS proposed designation **Light Industrial** DAWES ST MORGAN ST RIDER ST PLACENTIA ST PLACENTIA 2,000 4,000 Feet

Figure 2.0-1, Specific Plan Land Use Designation

PVCC SPA13| LAND USE PLAN Section 2.0-2

## PERRIS VALLEY COMMERCE CENTER LAND USE PLAN



new residential development, schools or churches. It should be noted that there is some existing residential development in this area.

**Accident Potential Zone II (APZ-II):** This zone prohibits many uses that involve hazardous materials (such as gas stations), and those uses that have higher densities of people per acre. Non-residential development will be limited to those uses that have not more than 50 persons per acre at any time, including hotels and motels. This zone prohibits new residential development, schools or churches.

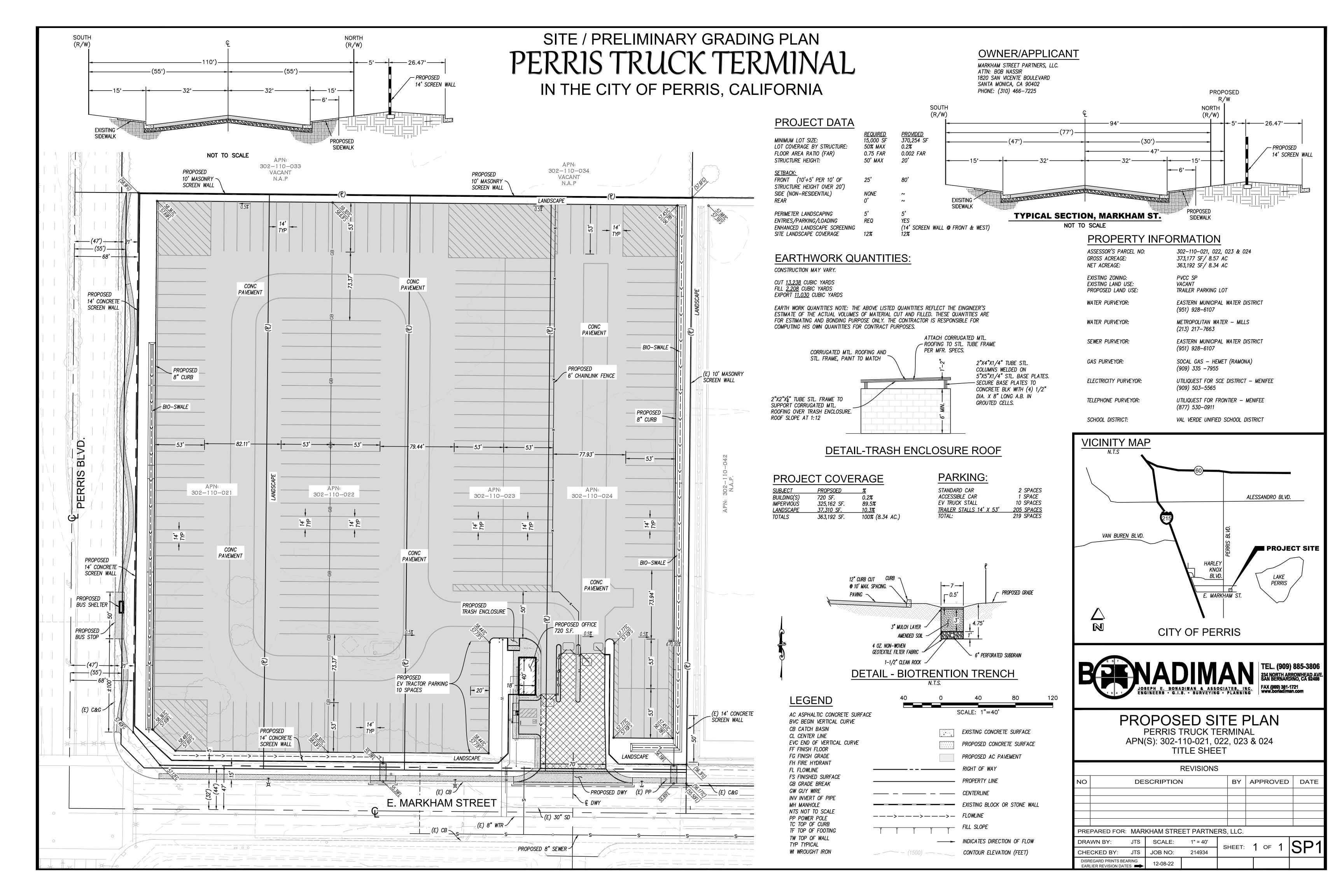
## 2.2 Summary of Perris Valley Commerce Center Land Use Comparison

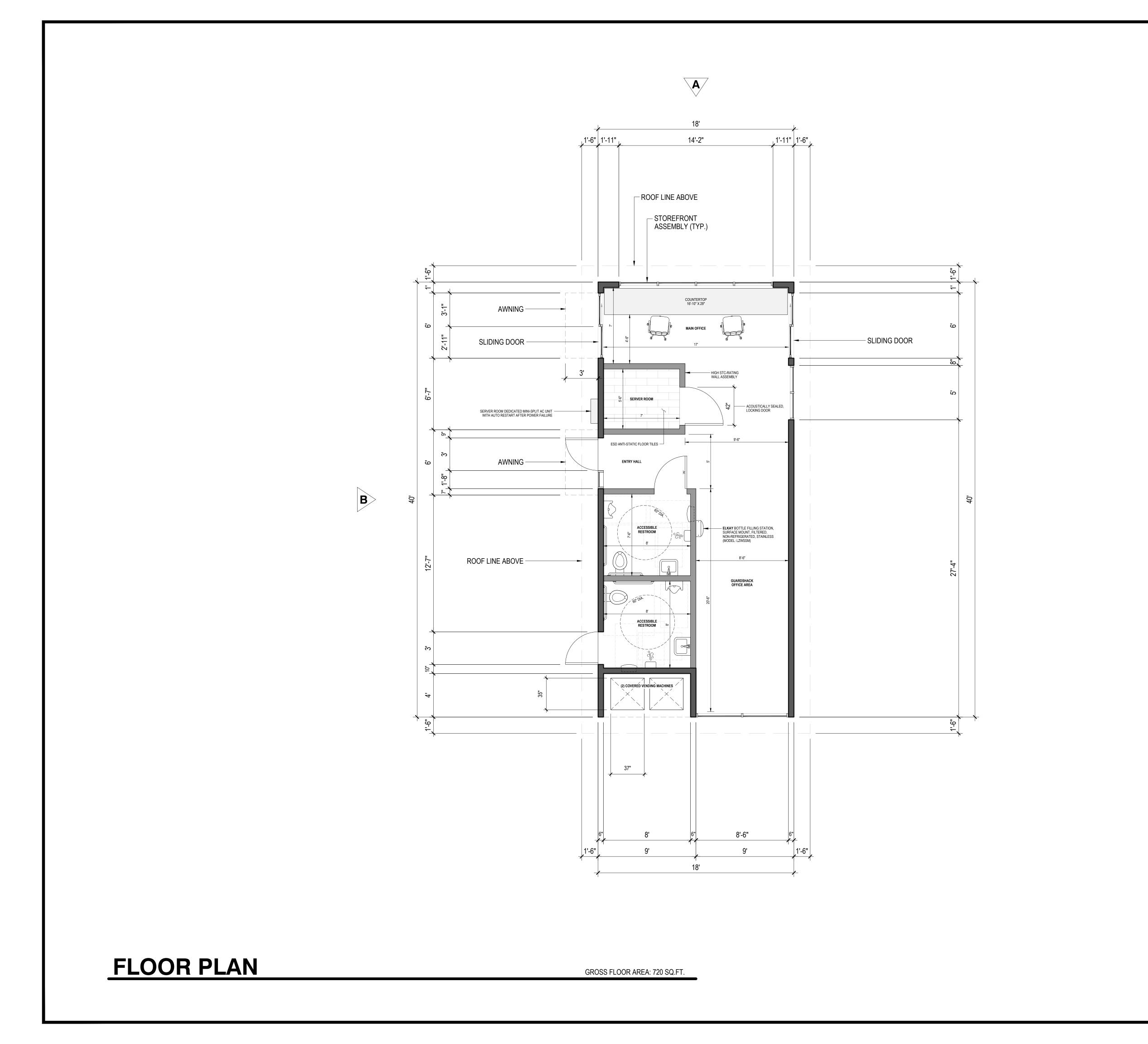
Generally, the City of Perris General Plan Land Use designations correspond with the Perris Valley Commerce Center Specific Plan land use designations with the following exceptions. The Community Commercial (CC) and Neighborhood Commercial (NC) have been combined into one designation – Commercial (C). Business Park (BP) and Professional Office (PO) have been combined to form one designation – Business/Professional Office (BPO). Public/Semi-Public/Utilities (P) and Park, Recreational, and Natural Open Space (OS) have been combined to Public (P). Table 2.0-1 as shown below, provides a comparison of the land use between the City of Perris existing General Plan designations and the Perris Valley Commerce Center Specific Plan designations.

Table 2.0-1, Land Use Comparison

General Plan Land Use	Existing Acres Prior to PVCC SP	Acres Adopted by 2012 PVCCSP	Proposed Acres (SPA1-SPA13)
Business Park/Professional Office (BPO) Professional Office (PO) Business Park (BP)	317	343	254.5
Commercial (C) Community Commercial (CC) Neighborhood Commercial (NC)	462	349	271
General Industrial (GI)	423	408	392
Light Industrial (LI)	1,620	1,866	2,048.5
Multi-Family Residential Residential (Multi-Family) (MFR-14)	22	22	22
Public (P) Public/Semi-Public/Utilities Park, Recreational and Natural Open Space (OS)	120	194	194
Residential (R) Residential (Single-Family) (R-6,000)	59	0	0
Residential (R) Residential (Single-Family) (R-20,000)	63	60	60
Specific Plan (SP)	190	0	0
Other (ROW, Basin, etc.)	307	341	341
Total Acres	3,583	3,583	3,583

PVCC SPA13| LAND USE PLAN Section 2.0-4





L&S
ARCHITECTS, INC.

38516 AMATEUR WAY, BEAUMONT, CA 92223 (909) 229-0125 E-MAIL: LAI911@aol.com

CONSULTANT:

 NO.
 PLANCHECK REVISION
 DATE

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# PROJECT FOR: TRUCK TERMINAL GUARDSHACK & OFFICE

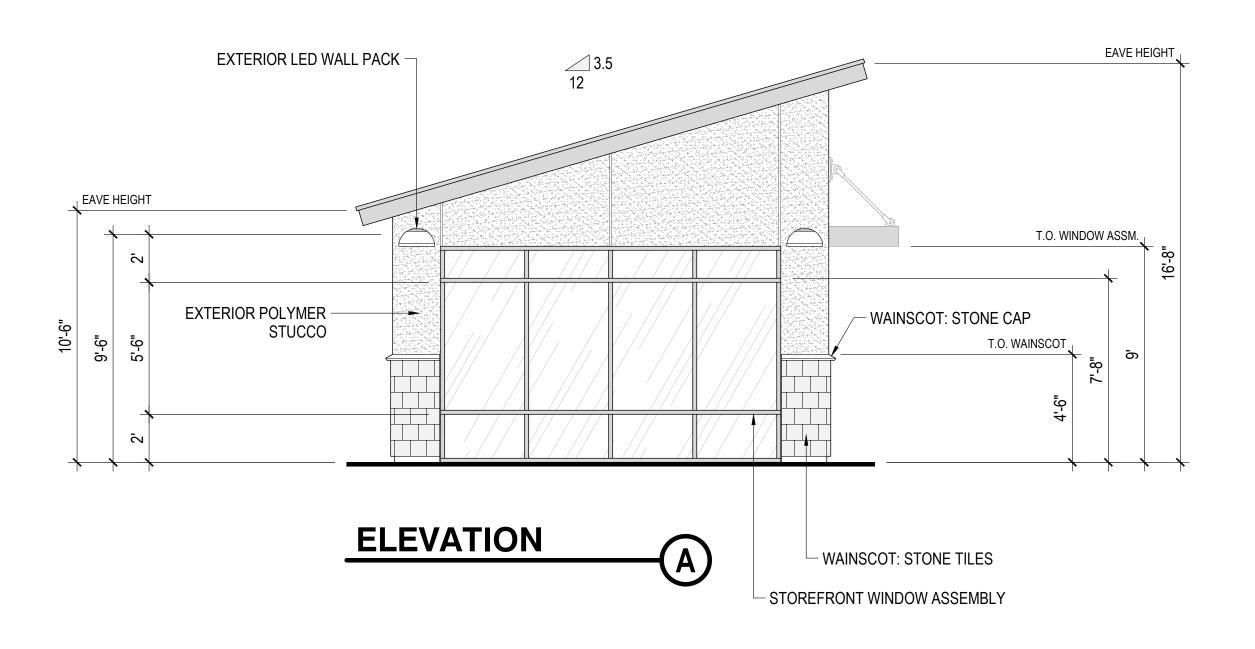
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PLAN CHECK NO:	
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 
DATE: 10/08/2019	VERSION (INTERNAL USE ONLY): 1.00
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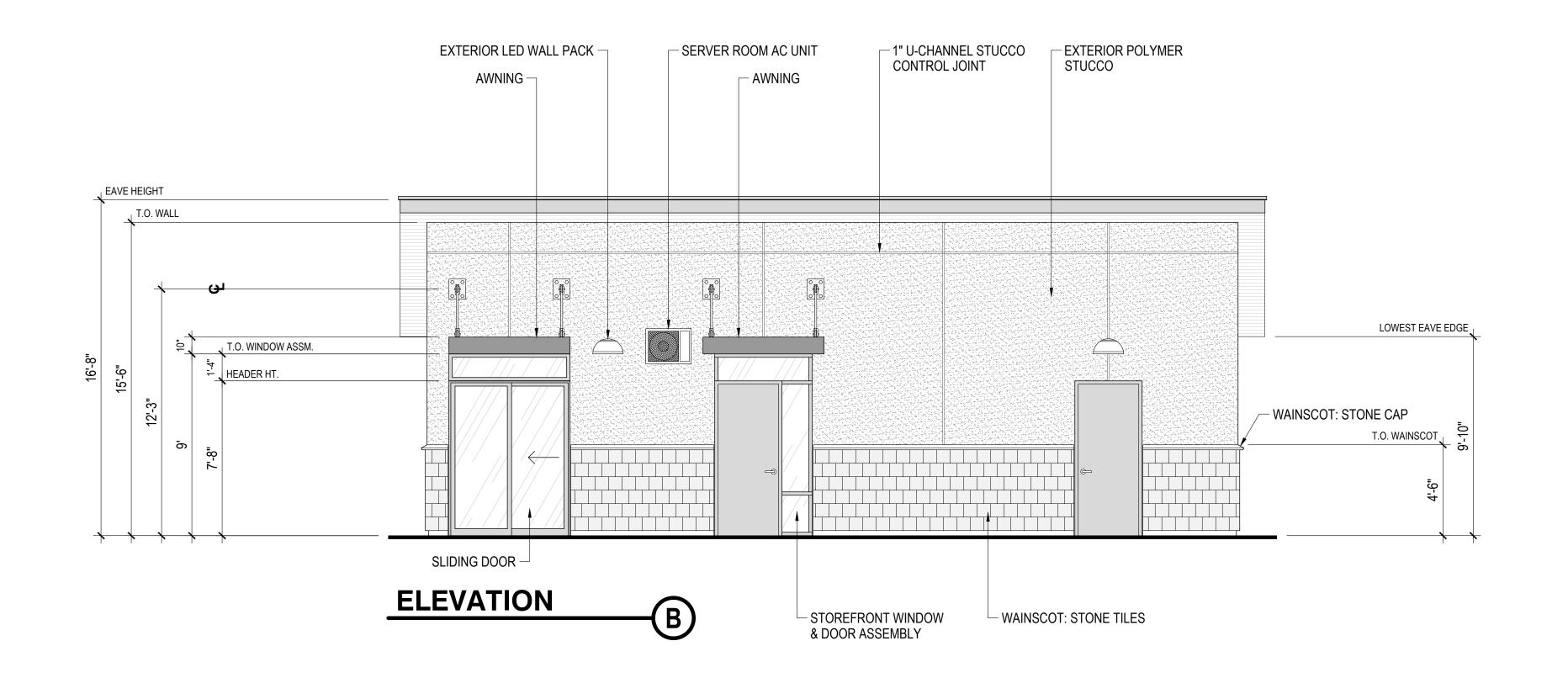
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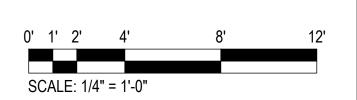
**FLOOR PLAN** 

HEET NO.

0' 1' 2' 4' SCALE: 1/4" = 1'-0" **A-2.0** 







L&S
ARCHITECTS, INC.

38516 AMATEUR WAY, BEAUMONT, CA 92223 (909) 229-0125 E-MAIL: LAI911@aol.com

CONSULTANT:

NO.	PLANCHECK REVISION	DATE
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		//
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# PROJECT FOR: TRUCK TERMINAL GUARDSHACK & OFFICE

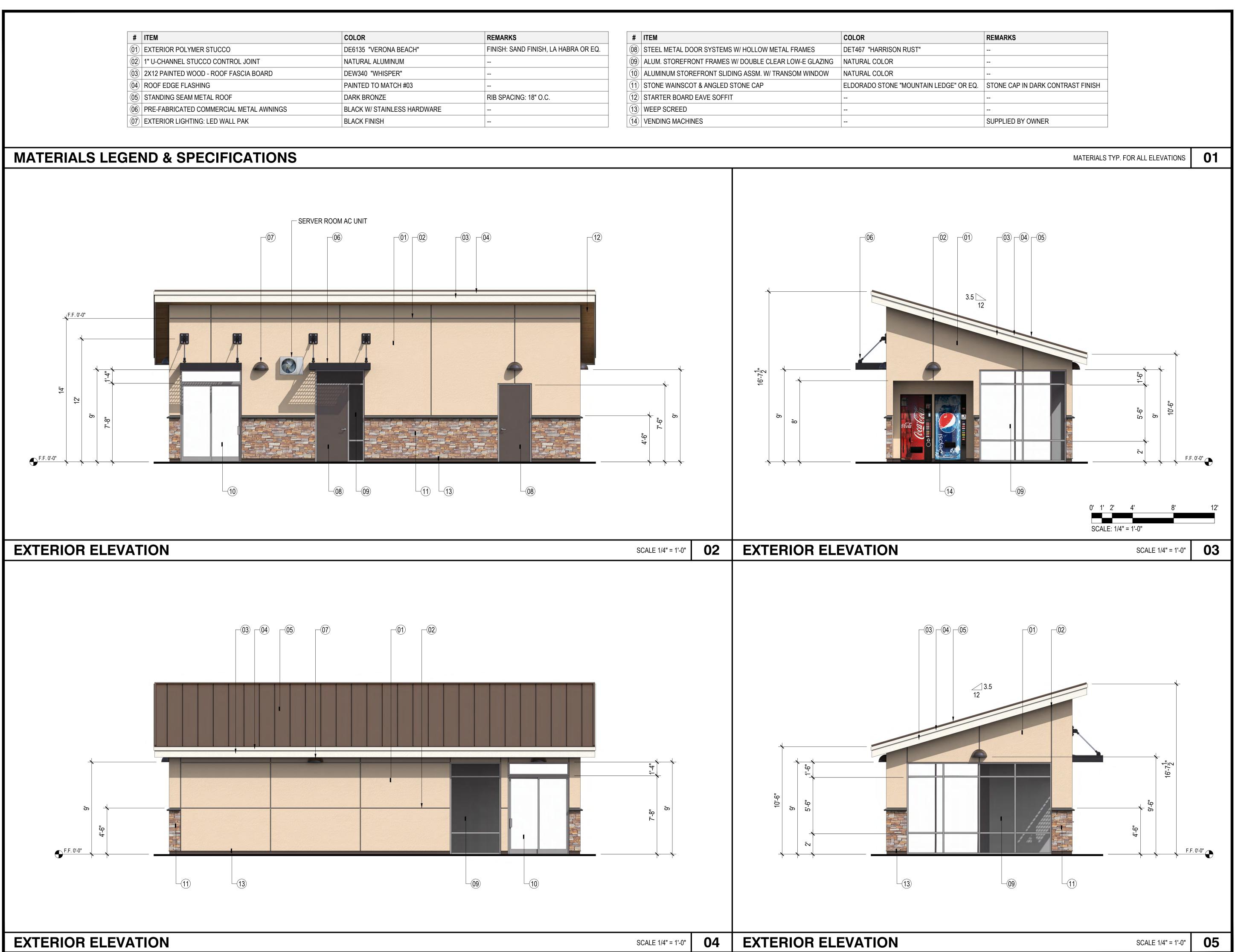
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PLAN CHECK NO:	
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 
DATE: 10/08/2019	VERSION (INTERNAL USE ONLY): 1.00
SCALE: PER PLAN	PAGE SIZE: 24" X 36"

SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO

**A-3.0** 



JACK M. LANPHERE III, ARCHITECT C-38052

38516 AMATEUR WAY, BEAUMONT, CA 92223 909.229.0125 E-MAIL: LAI911@AOL.COM LSARCHINC.COM

CONSULTANT:

TRUCK TERMINAL
PROPERTIES
GUARDSHACK & OFFICE

-	-
PLAN CHECK NO:	
PROJECT TYPE: COMMERCIAL, NEW CONSTRUCTION	APN: 
DATE: 10/08/2019	VERSION (INTERNAL USE ONLY): 1.00
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SHEET TITLE:

EXTERIOR ELEVATIONS FULL COLOR

HEET NO.

A-3.10

## NOTICE OF PUBLIC HEARING

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. Information on how to participate in the hearing will be available on the ALUC website at <a href="https://www.rcaluc.org">www.rcaluc.org</a>. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact <a href="https://www.aluc.org">ALUC Planner Jackie Vega at (951) 955-0982</a>.

The City of Perris Planning Department should be contacted on non-ALUC issues. For more information please contact City of Perris Planner Nathan Perez at (951) 943-5003.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website <a href="www.rcaluc.org">www.rcaluc.org</a>. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to <a href="mailto:javega@rivco.org">javega@rivco.org</a>. Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center

4080 Lemon Street, 1st Floor Board Chambers

**Riverside California** 

DATE OF HEARING: February 9, 2023

TIME OF HEARING: 9:30 A.M.

## CASE DESCRIPTION:

ZAP1557MA22 – Truck Terminal Properties (Representative: Joseph E. Bonadiman & Associates, Inc.) – City of Perris Case Nos. SPA22-05173 (Specific Plan Amendment), CUP22-05172 (Conditional Use Permit). A proposal to establish a 219-space truck trailer parking facility with a 720 square foot office building on 8.34 acres, located on the northeast corner of Markham Street and Perris Boulevard. The applicant also proposes amending the Perris Valley Commerce Center Specific Plan, changing the sites zoning from Business Park (BP) to Light Industrial (LI). (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).



## **APPLICATION FOR MAJOR LAND USE ACTION REVIEW**

	LUC STAFF O	NLY	
ALUC Case Number: ZAP1557MA22		<u>d:</u> 12/22/22	
AIA: March	Zone: D	Public Hea	staff Review
	Applicant		
Applicant Full Name: Truck Terminal Propertie	es		
Applicant Address: 1820 Vicente Blvd.	, Santa Mon	ica, CA 9040	2
Phone: (310) 466-7225	Email <u>:                                    </u>	onassir@truck	terminalproperties.com
Representative/ P	roperty Owner	<b>Contact Informa</b>	ation
Representative: Joseph E. Bonadiman	& Associate	es, Inc.	Email: ed@bonadiman.com Phone: (909) 885-3806
Address: 234 N. Arrowhead Ave., Sa	an Bernardin	o, CA 92408	<u>, , , , , , , , , , , , , , , , , , , </u>
Property Owner:  Markham Street Partn  Address: 1820 San Vicente Blvd., Sa	ers, LLC		Email: hnassir@truckterminalproperties.com Phone: (310) 466-7225
Agency	al Jurisdiction	Agency	
Name: City of Perris			Phone: (951) 943-5003
Staff Contact: Nathan Perez, Senior P	Planner		Email: nperez@cityofperris.org
Address: 101 N. D Street, Perris, CA	92570 :		<u>:</u>
Local Agency Case No.: CUP 22-05172 SPACE	22-05173,		
	Project Locati	on	
Street Address: E. Markham Avenue			
Assessor's Parcel No.: 302-110-021, 302-11	10-022, 302-11	0-023, 302-110	-024
	Solar		
Is the project proposing solar Panels? Yes	No		lease provide solar glare study. n Zone C or higher)

Data Data Data Data Data Data Data Data
Site Elevation:(above 1457.0' mean sea level)
Height of Building or structures: 25' (Light Poles)
What type of drainage basins are being proposed and the square footage:  Underground Chambers

Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

## C. SUBMISSION PACKAGE:

## Please submit all application items DIGITALLY via USB or CD:

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

## Additionally, please provide:

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

## **ADMINISTRATIVE ITEMS**

## **5.1** Director's Approvals

A. During the period of December 16, 2022, through January 15, 2023, as authorized pursuant to ALUC Resolution No. 2015-01, as extended by Resolution No. 2020-01, ALUC Director Paul Rull reviewed two legislative cases in Zone E within March Air Reserve Base/Inland Port Airport Influence Area and issued determinations of consistency.

ZAP1540MA22 (Zone E) pertains to County of Riverside Case Nos. CZ22-0001 (Change of Zone), CUP22-0001 (Conditional Use Permit) a proposal to construct a 10,000 square foot commercial boat show room and open boat yard with approximately 105 boat storage racks on 5.03 acres, located at 24803 Highway 74. The applicant also proposes to change the sites zoning classification from R-R (Rural Residential) to CPS (Scenic Highway Commercial). The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted. Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1.417 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 14,922 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,566 feet AMSL. The site elevation is 1,578 feet AMSL, and the proposed building height is 35 feet, resulting in a top point elevation of 1,613 feet AMSL. Therefore, FAA OES review for height/elevation was required. The applicant has submitted Form 7460-1, and FAA OES has assigned Aeronautical Study No. 2022-AWP-21130-OE to this project. The aeronautical study revealed that the proposed structures would not exceed obstruction standards and would not be a hazard to air navigation, provided conditions are met. Therefore, FAA OES issued a "Determination of No Hazard to Air Navigation" letter on December 6, 2022. The FAA OES conditions have been incorporated into ALUC's conditions listed below.

ALUC Director Paul Rull issued a determination of consistency for this project on December 16, 2022.

\*\*\*\*\*

ZAP1554MA22 (Zone E) pertains to County of Riverside Case Nos. staff reviewed County of Riverside Case Nos. GPA190016 (General Plan Amendment), CZ190046 (Change of Zone), TTM37620 (Tentative Tract Map), a proposal to divide 79.2 acres into 94 single-family residential lots, 4 open space lots, and 5 water quality basin lots, located on the northeast corner of Newport Road and Briggs Road. The applicant also proposes to amend the site's General Plan land use designation from a Low Density Residential (CD: LDR) to Medium Density Residential. The applicant also proposes to change the zoning from Rural Residential (R-R) to Planned Residential (R-4). The project is located within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area, where residential density is not restricted. Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 34,249 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof

exceeding 1,755 feet AMSL. The site elevation is 1,555 feet AMSL, and the proposed building height is 40 feet, resulting in a top point elevation of 1,595 feet AMSL. Therefore, FAA OES review for height/elevation was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on January 13, 2023.

5.2 <u>Update March Air Reserve Base Compatibility Use Study (CUS)</u>
Presentation by Project Director Simon Housman or his designee.

X:\ALUC Administrative Items\Admin. 2023\ADmin Item 2-9-23.doc

## RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

December 16, 2022

Jason Allin, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12<sup>th</sup> Floor
Riverside CA 92501

CHAIR Steve Manos Lake Elsinore

VICE CHAIR Russell Betts Desert Hot Springs

COMMISSIONERS

John Lyon Riverside

Steven Stewart Palm Springs

Richard Stewart Moreno Valley

Michael Geller Riverside

Vernon Poole Murrieta

STAFF

Director Paul Rull

Simon A. Housman Jackie Vega Barbara Santos

County Administrative Center 4080 Lemon St.,14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

## RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1540MA22

Related File No.: CZ22-0001 (Change of Zone), CUP22-0001 (Conditional Use

Permit)

Airport Zone: Zone E APN: 342-120-052

Dear Mr. Allin:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Resolution No. 2016-02 and 2018-02 of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case Nos. CZ22-0001 (Change of Zone), CUP22-0001 (Conditional Use Permit) a proposal to construct a 10,000 square foot commercial boat show room and open boat yard with approximately 105 boat storage racks on 5.03 acres, located at 24803 Highway 74. The applicant also proposes to change the sites zoning classification from R-R (Rural Residential) to CPS (Scenic Highway Commercial).

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,417 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 14,922 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,566 feet AMSL. The site elevation is 1,578 feet AMSL, and the proposed building height is 35 feet, resulting in a top point elevation of 1,613 feet AMSL. Therefore, FAA OES review for height/elevation was required. The applicant has submitted Form 7460-1, and FAA OES has assigned Aeronautical Study No. 2022-AWP-21130-OE to this project. The aeronautical study revealed that the proposed structures would not exceed obstruction standards and would not be a hazard to air navigation, provided conditions are met. Therefore, FAA OES issued a "Determination of No Hazard to Air Navigation" letter on December 6, 2022. The FAA OES conditions have been incorporated into ALUC's conditions listed below.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

## **CONDITIONS:**

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Other Hazards to flight.
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
- 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the stormwater basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the stormwater basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

- 5. The maximum height of the proposed structures to top point shall not exceed 35 feet above ground level, and the maximum elevation at the top of the structures shall not exceed 1578 feet above mean sea level.
- 6. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
- 7. Temporary construction equipment used during actual construction of the structures shall not exceed 35 feet in height and a maximum elevation of 1578 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
- 8. Within five (5) days after construction of each structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <a href="https://oeaaa.faa.gov">https://oeaaa.faa.gov</a> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Paul Rull, ALUC Director

cc: Mark Dakan (applicant/property owner)

EDG Permitting (representative)

Gary Gosliga, Airport Manager, March Inland Port Airport Authority Major David Shaw, Base Civil Engineer, March Air Reserve Base

ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1540MA22\ZAP1540MA22 LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

# NOTICE

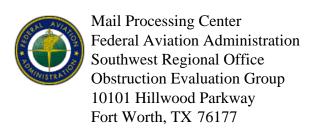
# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

## PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES



F THIS BASIN IS OVERGROWN, PLEASE CONTA	<b>4C</b>		Ī	ľ	•	١	Ī		1	•			ĺ				J	ı	J																(	(	(	(	(											ĺ					ĺ	(															Į																l	l	l		l			(	(	(	(	(		Į	ı	١	Ī	I	l	Ī	Į	V	١	١	ار	)		ĺ						Ė	Ē	F	١	5	5		١	١	Δ	ļ	1	Ξ	E				L	l	1
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Name:	Phone:	



Issued Date: 12/06/2022

Mark Dakan Inland Boat Services 681 E. San Jacinto Ave Perris, CA 92571

## \*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\*

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Flagpole Location: Perris, CA

Latitude: 33-45-39.00N NAD 83

Longitude: 117-16-06.00W

Heights: 1543 feet site elevation (SE)

35 feet above ground level (AGL)

1578 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

	At least 10 days prior to start of construction (7460-2, Part 1)	
X	Within 5 days after the construction reaches its greatest height (7460-2, Part	t 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 06/06/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7575, or vivian.vilaro@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2022-AWP-21130-OE.

Signature Control No: 561929730-563946803 (DNE)

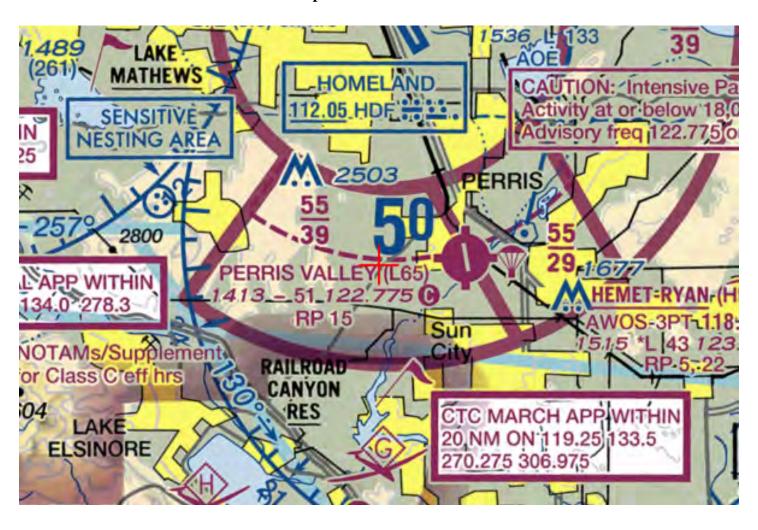
Vivian Vilaro Specialist

Attachment(s) Map(s)

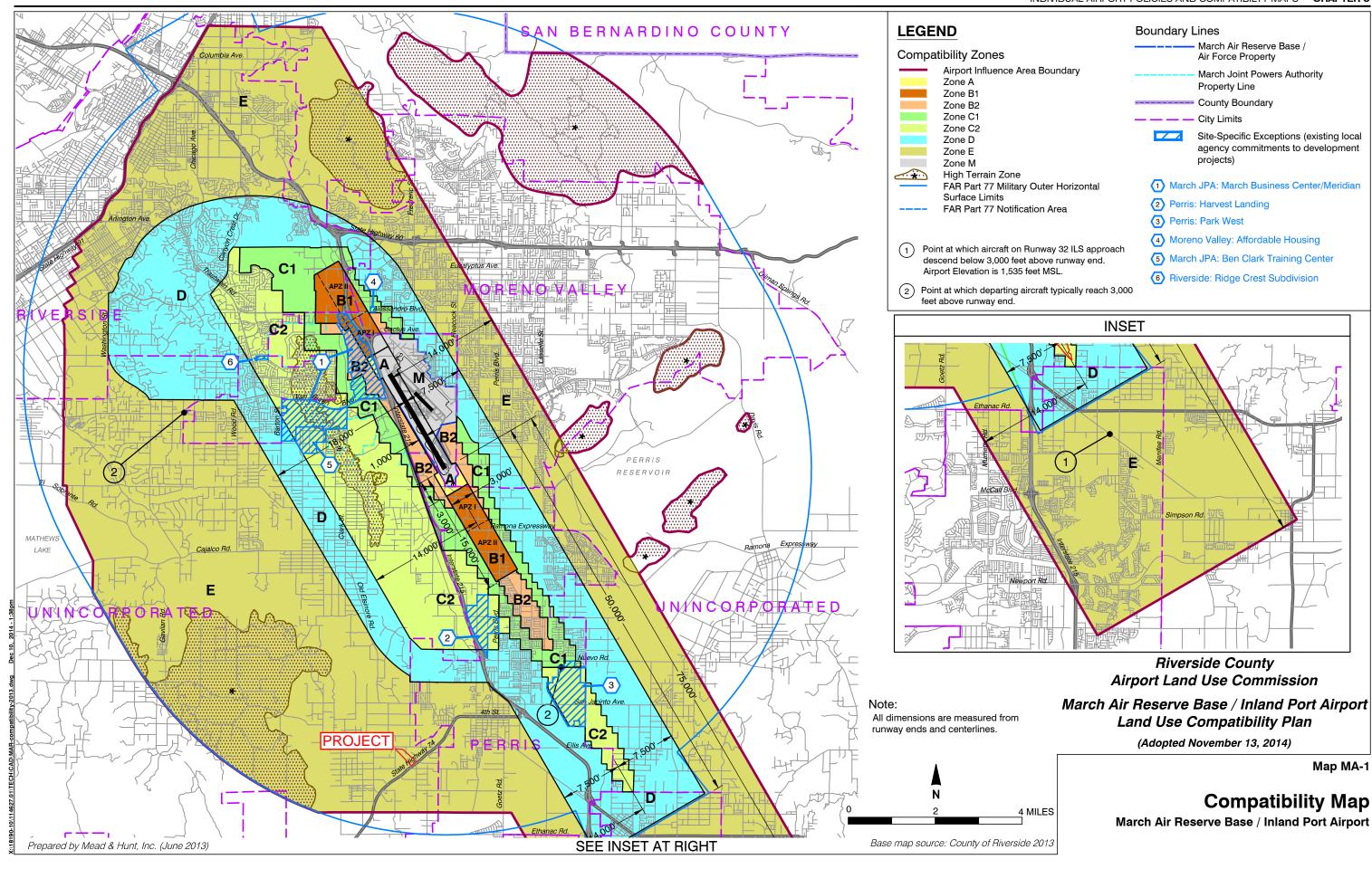
## TOPO Map for ASN 2022-AWP-21130-OE

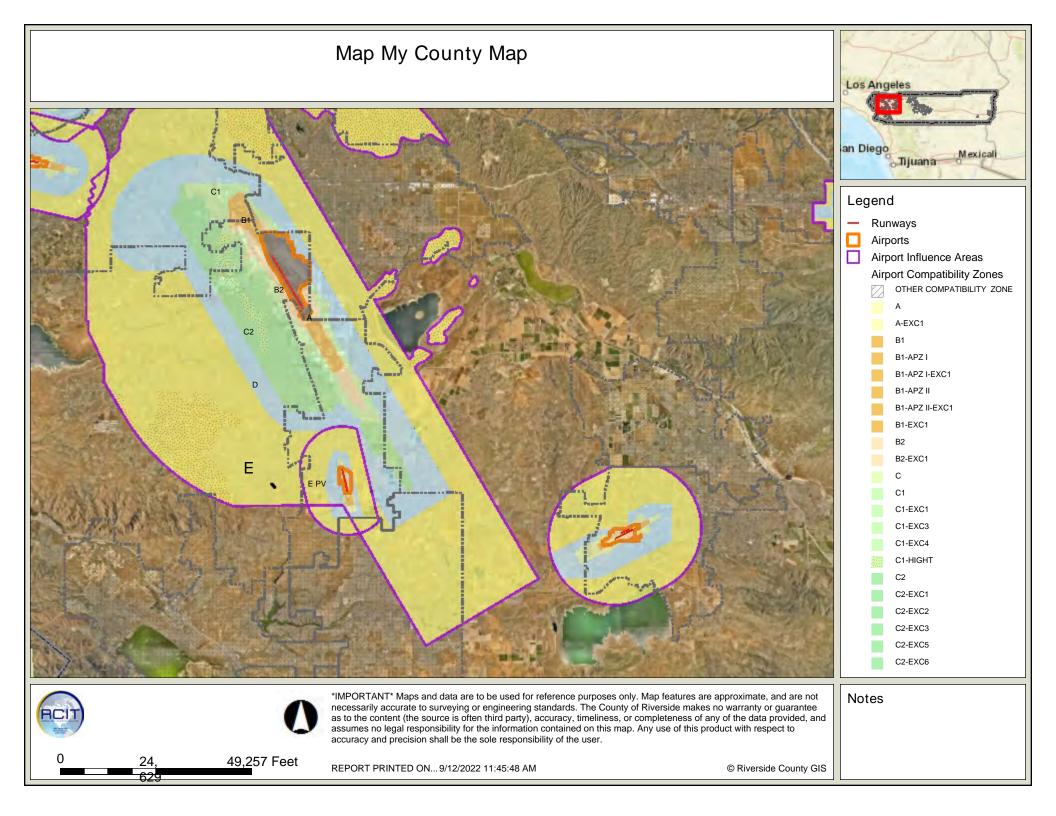


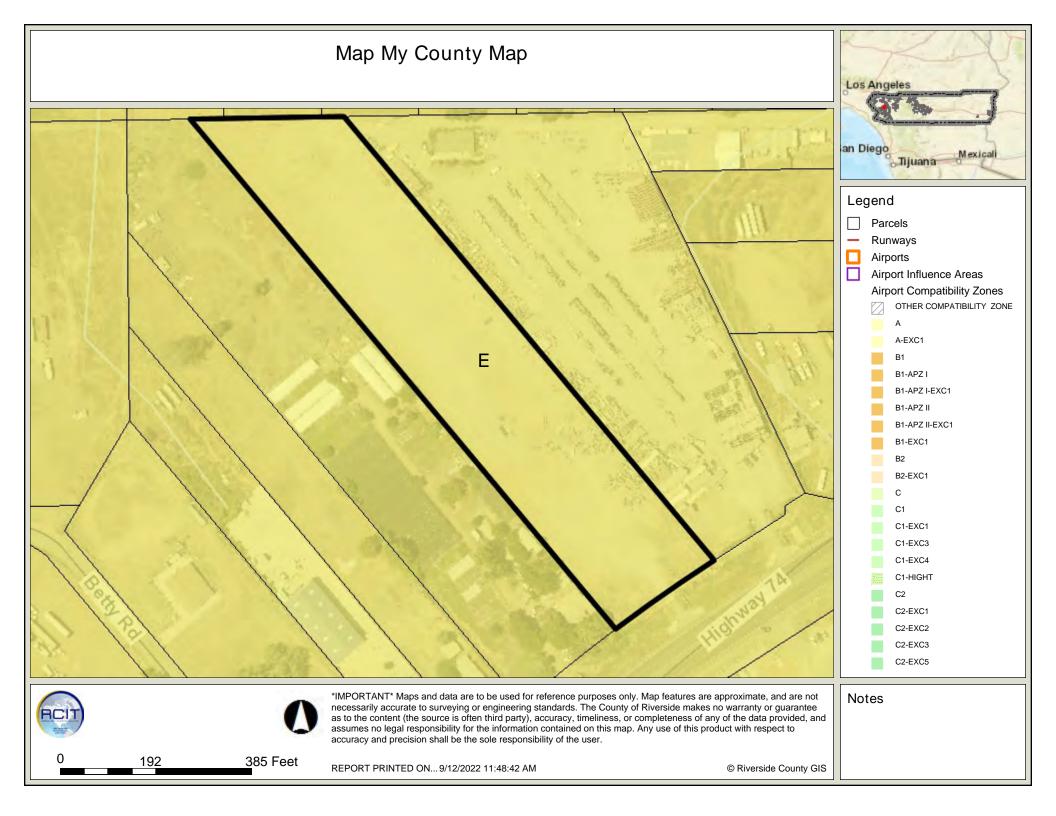
## Sectional Map for ASN 2022-AWP-21130-OE



Map MA-1









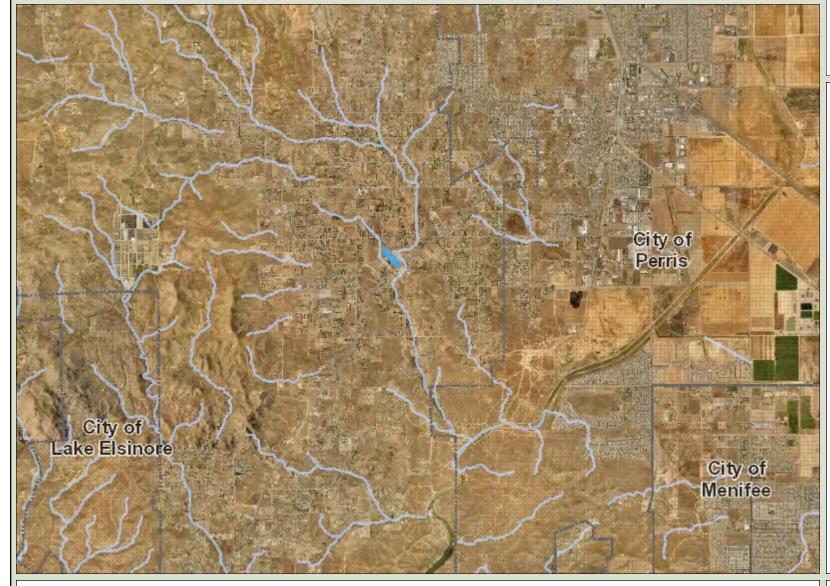
Notes

Parcels

County Centerlines Blueline Streams City Areas World Street Map

770 Feet

\*IMPORTANT\* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



### Legend

- Blueline Streams
- City Areas
  World Street Map



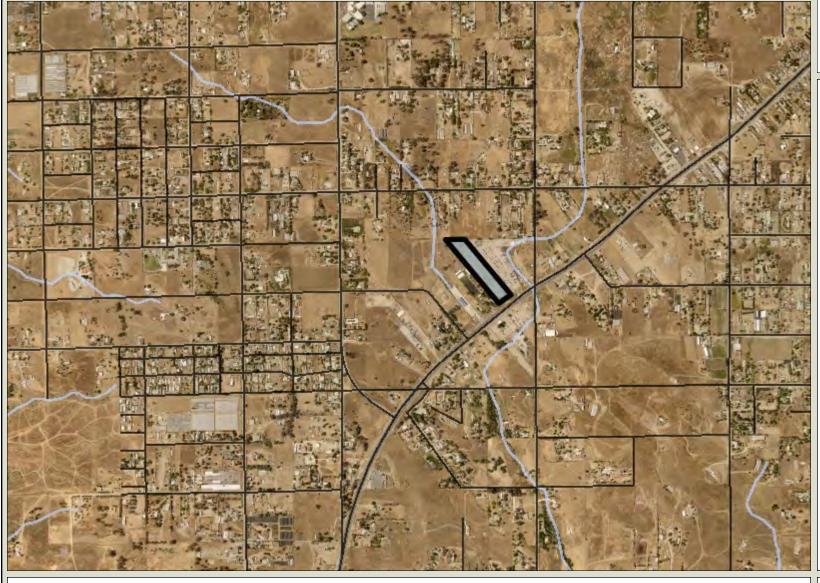


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REPORT PRINTED ON... 9/12/2022 12:07:10 PM

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### Legend

- County Centerlines
- Blueline Streams
- City Areas World Street Map





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Notes

3,079 Feet REPORT

REPORT PRINTED ON... 9/12/2022 12:07:33 PM

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### Legend

City Areas
World Street Map





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24, 49,257 Feet

REPORT PRINTED ON...9/12/2022 12:06:47 PM

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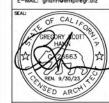
INLAND **BOAT** 

**SERVICES** 

BOAT SHOWROOM & STORAGE APN: 342-120-052 24803 HIGHWAY 74 PERRIS, CA 92530

ARCHITECT OF RECORD:

GREGORY S. HANN, AA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



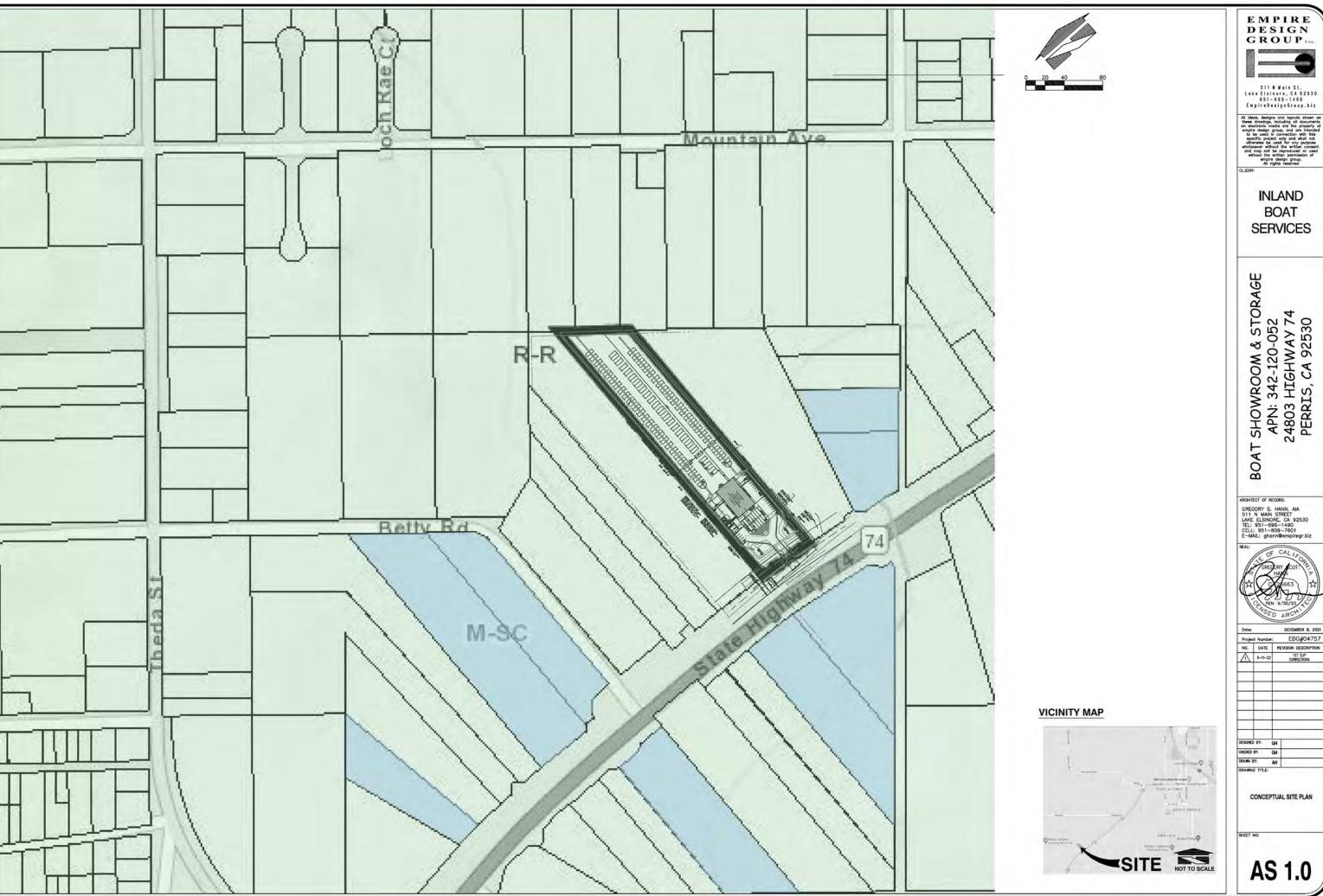
DESIGNED BY: GH

OMEORED BY: GH

DRAWING TITLE:

CONCEPTUAL SITE PLAN

**AS 1.0** 



EMPIRE DESIGN GROUP inc.



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INLAND **BOAT** 

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E-MAIL: ghann@empiregr.biz



NO.	DATE	REVISION DESCRIPTION
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CONCEPTUAL SITE PLAN

**AS 1.0** 

# **BOAT SHOWROOM** & STORAGE

W/ INLAND BOAT SERVICES

### PROJECT OWNER / APPLICANT

MARK DAKAN INLAND BOAT SERVICES 681 E. SAN JACINTO AVE. PERRIS, CA 92571 E-MAIL: jdakan@aol.com PHONE: 951-928-4180

### ARCHITECT / APPLICANT'S REP.

EMPIRE DESIGN GROUP, INC. 511 N MAIN STREET LAKE ELSINORE, CA 92530 PHONE: (951)-696-1490 CELL PHONE: (951) 809-7601 E-MAIL: ghann@empiregr.biz CONTACT: GREGORY HANN, ARCHITECT

### PROJECT TEAM

EMPIRE DESIGN GROUP, INC.

511 N MAIN STREET LAKE ELSINORE, CA 92530 PHONE: 951-696-1490 CELL PHONE: 951-809-7601 E-MAIL: ghann@empiregr.biz CONTACT: GREGORY HANN, ARCHITECT

VENTURA ENGINEERING INLAND, INC. CIVIL / WQMP: 27393 YENZ ROAD, SUITE 159

TEMECULA, CA 92591 PHONE: (951) 252-7632

E-MAIL: wilfredo@venturaengineeringinland.com EGLA LANDSCAPE ARCHITECTURE, INC. LANDSCAPE:

CONTACT: ERIC GRIPP

1221 LOOKOUT AVENUE OCEANSIDE, CA 92057 PHONE: 760-529-0241 E-MAIL: egla01@sbcglobal.net

BIOLOGICAL / MSHCP: HERNANDEZ ENVIRONMENTAL SERVICES 17037 LAKESHORE DRIVE

> LAKE ELSINORE, CA 92530 PHONE: 909-772-9009 E-MAIL: juan@hernandezenvironmental.com CONTACT: JUAN JOSE HERNANDEZ

GEOTECHNICAL / EARTH STRATA GEOTECHNICAL SERVICES, INC. 4218 REMINGTON AVENUE INFILTRATION:

TEMECULA, CA 92590 CELL PHONE: 951-536-5081 E-MAIL: gadalla@earth-strata.com CONTACT: GADALLA GADALLA "GUGU"

PHASE 1 ENVIRONMENTAL: EARTH STRATA GEOTECHNICAL SERVICES, INC. 4218 REMINGTON AVENUE

TEMECULA, CA 92590 CELL PHONE: 951-536-5081 E-MAIL: gadalla@earth-strata.com CONTACT: GADALLA GADALLA "GUGU"

K2 TRAFFIC ENGINEERING, INC. 1442 IRVINE BLVD, SUITE 210 TUSTIN, CA 92780

E-MAIL: khsu@k2traffic.com CONTACT: KAY HSU, PE, TE PHOTOMETRIC PLAN: CREE LIGHTING

> RACINE, WI 53406 PHONE: 714-812-8182 E-MAIL: jay@bostonmcdermott.com CONTACT: JAY BOSTON

PHONE: 714-832-2116

9201 WASHINGTON AVE.

CULTURAL RESOURCES: BRIAN F. SMITH AND ASSOCIATES, INC. 14010 POWAY ROAD, SUITE A

POWAY, CALIFORNIA 92064 PHONE: 858-688-6034 E-MAIL: bsmith@bfsa-ca.com CONTACT: BRIAN SMITH

### **DRAWING INDEX**

TITLE SHEET CONCEPTUAL SITE PLAN AS 1.0 CONCEPTUAL FLOOR PLAN

CONCEPTUAL ROOF PLAN & BUILDING SECTION A 2.0 CONCEPTUAL EXTERIOR ELEVATIONS TE 1.0 TRASH ENCLOSURE PLAN

ALTA/TOPO ALTA/TOPO

TRUSS'S

SIGNAGE

CONCEPTUAL GRADING PLAN SHEET 2 CONCEPTUAL GRADING PLAN SECTIONS AND DETAILS SHEET 3

LANDSCAPE CONCEPT PLAN

SITE LIGHTING PHOTOMETRIC PLAN

### DIFFERED SUBMITTALS

FIRE SPRINKLER ENGINEERING

### SEPARATE PERMITS

### SCOPE OF WORK

PROPOSED 10,000 S.F. COMMERCIAL BOAT SHOW ROOM. HOURS OF OPERATION TO BE MONDAY THROUGH SATURDAY 8AM TO 5PM.

2. PROPOSED GATED BOAT STORAGE YARD.

ASSOCIATED 176 S.F. TRASH ENCLOSURE, SITE PAVING, PARKING AND SITE CIRCULATION, LANDSCAPING, WQMP, UTILITIES, AND A NEW DRIVEWAY APPROACH ARE PROPOSED.

4. PROPOSED ZONE CHANGE TO C-P-S (SCENIC HIGHWAY COMMERCIAL) ZONE.

5. CONDITIONAL USE PERMIT FOR BOAT SALES.

### SITE DATA

**BUILDING AREAS:** 

ADDRESS: 24803 HIGHWAY 74 PERRIS, CA 92530 PERMIT NUMBERS: PRE-APP: PAR210030 CUP: TBD ZONE CHANGE: TBD

APN: 342-120-052 EXISTING: ±4.75 ACRES (206,725 S.F.) LOT SIZE:

PROPOSED: ±4.92 ACRES (214,300 S.F.) COUNTY: RIVERSIDE

COMMERCIAL: 10,000 S.F. TRASH ENCLOSURE: 176 S.F. **BUILDING HEIGHT:** MAX HEIGHT: 35'-0" PROVIDED: 25'-0" CONSTRUCTION TYPE: V-B/SPRINKLERED

OCCUPANCY TYPE: OCCUPANCY LOAD: SPECIFIC PLAN:

LAND USE: EXISTING: DISTURBED VACANT LAND PROPOSED: COMMERCIAL

ZONE: EXISTING: R-R (RURAL RESIDENTIAL) PROPOSED: C-P-S (SCENIC HIGHWAY COMMERCIAL)

SURROUNDING LAND USE: NORTH: VLDR (VERY LOW-DENSITY RESIDENTIAL) SOUTH: BUSINESS PARK EAST: LIGHT INDUSTRIAL WEST: LIGHT INDUSTRIAL

LOT COVERAGE: BUILDING AREAS: 10,176 S.F. (5%) LANDSCAPE AREAS: 28,453 S.F. (13%) PERVIOUS AREAS: 144,546 S.F. (67%) IMPERVIOUS AREAS: 31,125 S.F. (15%)

TOTAL SITE AREA: 214,300 S.F. (100%) REQUIRED: (1 SPACE / 1,000 S.F.) = 20 SPACES PARKING:

(1 SPACE / EMPLOYEE) = 5 SPACES
PROVIDED: 19 SPACES (INCLUDING 1 ADA, 2 EVCS) SCHOOL DISTRICT: PERRIS ELEMENTARY SCHOOL DISTRICT PERRIS UNION HIGH SCHOOL DISTRICT

UTILITIES: WATER: EMWD SEWER: EMWD

ELECTRICAL: SCE 4.75 ACRES M/L IN POR LOT 25 BLK MB D12/004 LEGAL DESCRIPTION:

ZONE D ( RIVERSIDE COUNTY UNINCORPORATED AREAS 060245) FEMA:

GOOD HOPE ACRES ADD 2

### **CODE INFORMATION**

**VICINITY MAP** 

ALL CONSTRUCTION TO COMPLY WITH: **BUILDING CODE:** 2019 CALIFORNIA BUILDING CODE PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE ELECTRICAL CODE: 2019 CALIFORNIA ELECTRIC CODE MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE **ENERGY CODE:** 2019 CALIFORNIA ENERGY CODE GREEN BUILDING: 2019 CALIFORNIA GREEN BUILDING CODE FIRE CODE: 2019 CALIFORNIA FIRE CODE (2015 IFC)

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GROUP Inc

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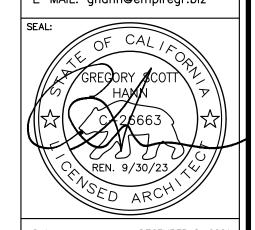
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INLAND **SERVICES** 

AGE OR 0 -05 ¥ Y Y 0 HIG| [S, C, WRO(1: 342 APN: 3 4803 F PERRI SHO 2

ARCHITECT OF RECORD: GREGORY S. HANN, AIA 511 N MAIN STREET LAKE ELSINORE, CA 92530 TEL: 951-696-1490 CELL: 951-809-7601 E-MAIL: ghann@empiregr.biz

 $\mathbf{\Delta}$ 



EDG#04757 Project Number: NO. DATE REVISION DESCRIPTION DRAWN BY:

**SHEET** 

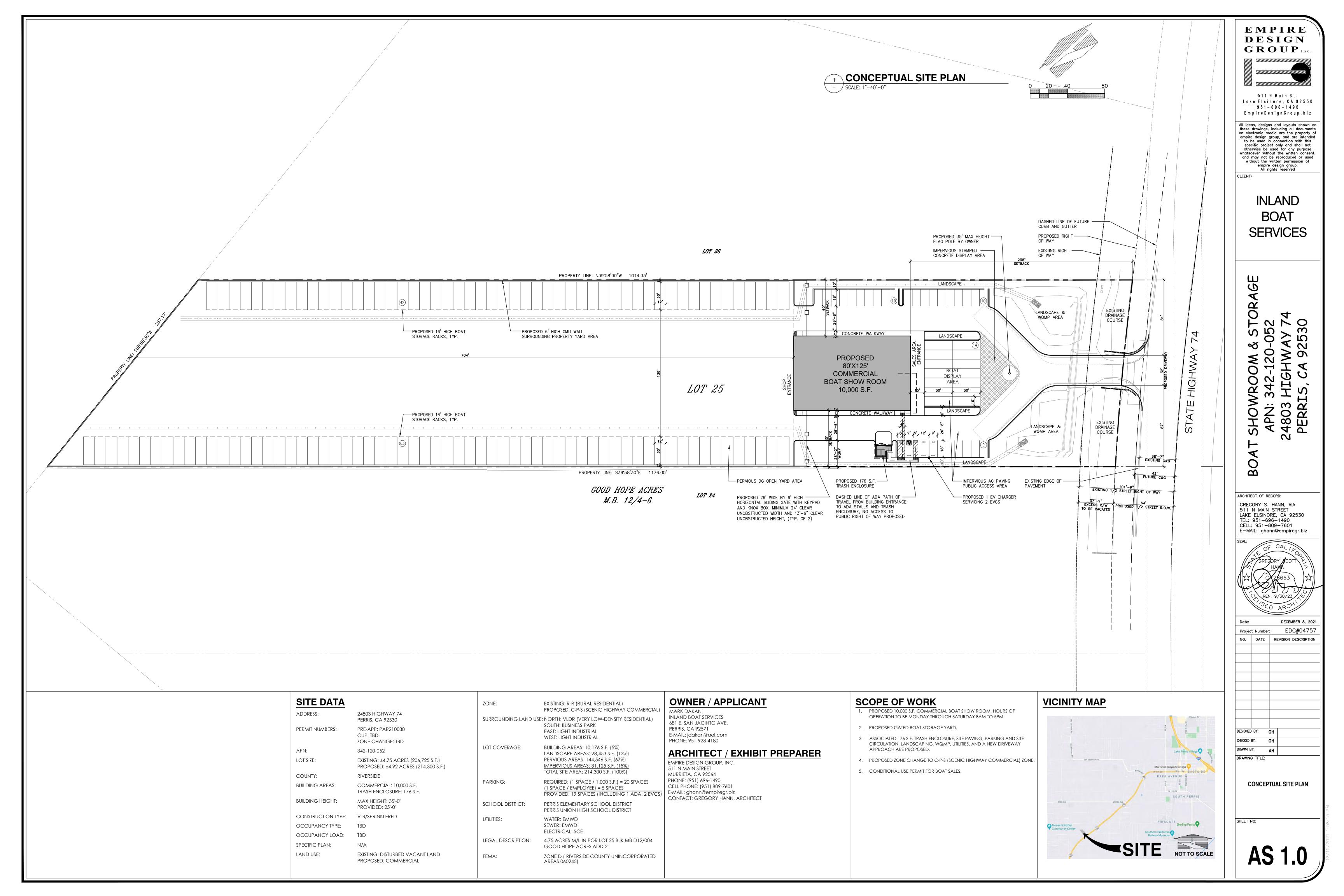
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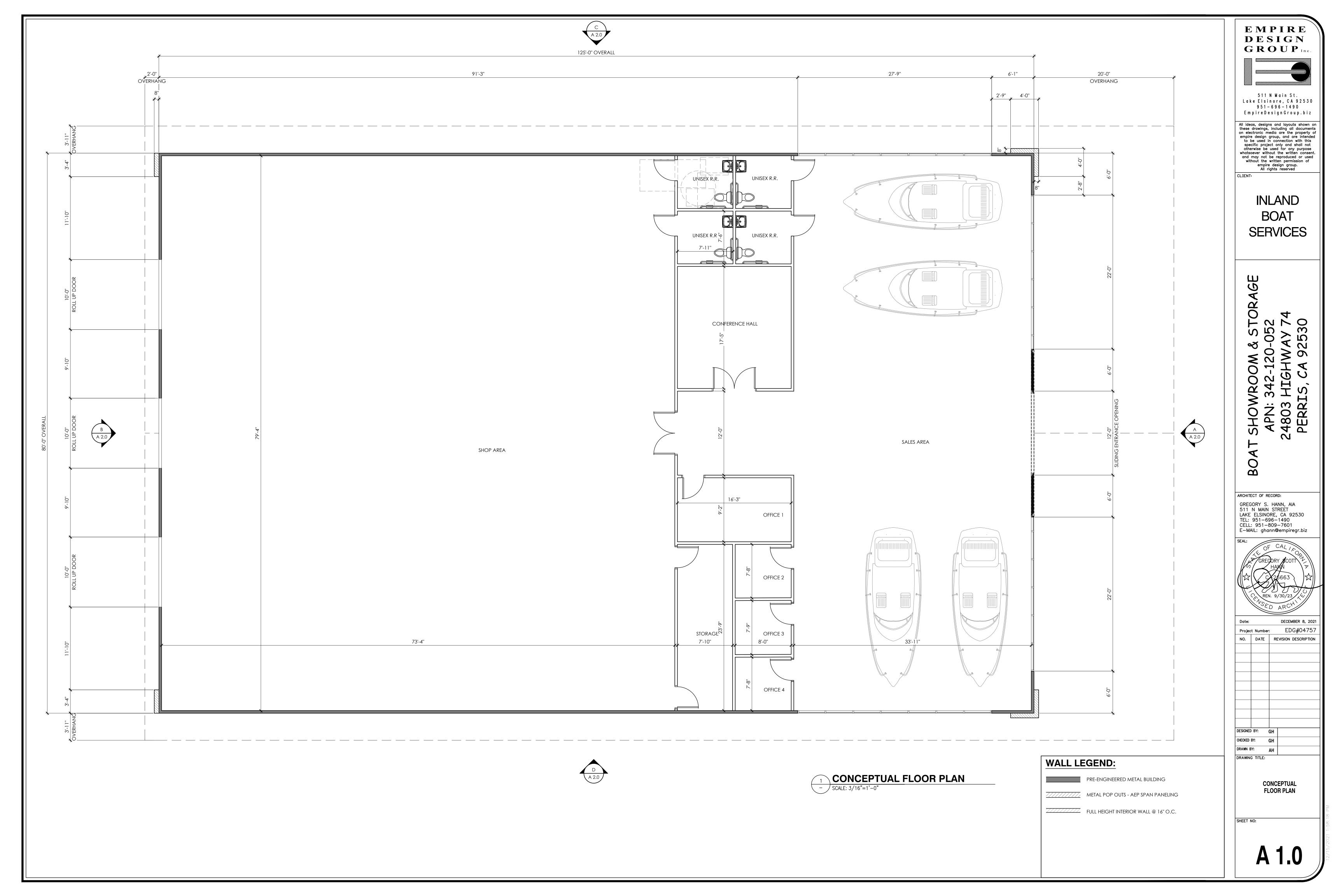
Mariscos playa de ixtapa PARK AVENUE "

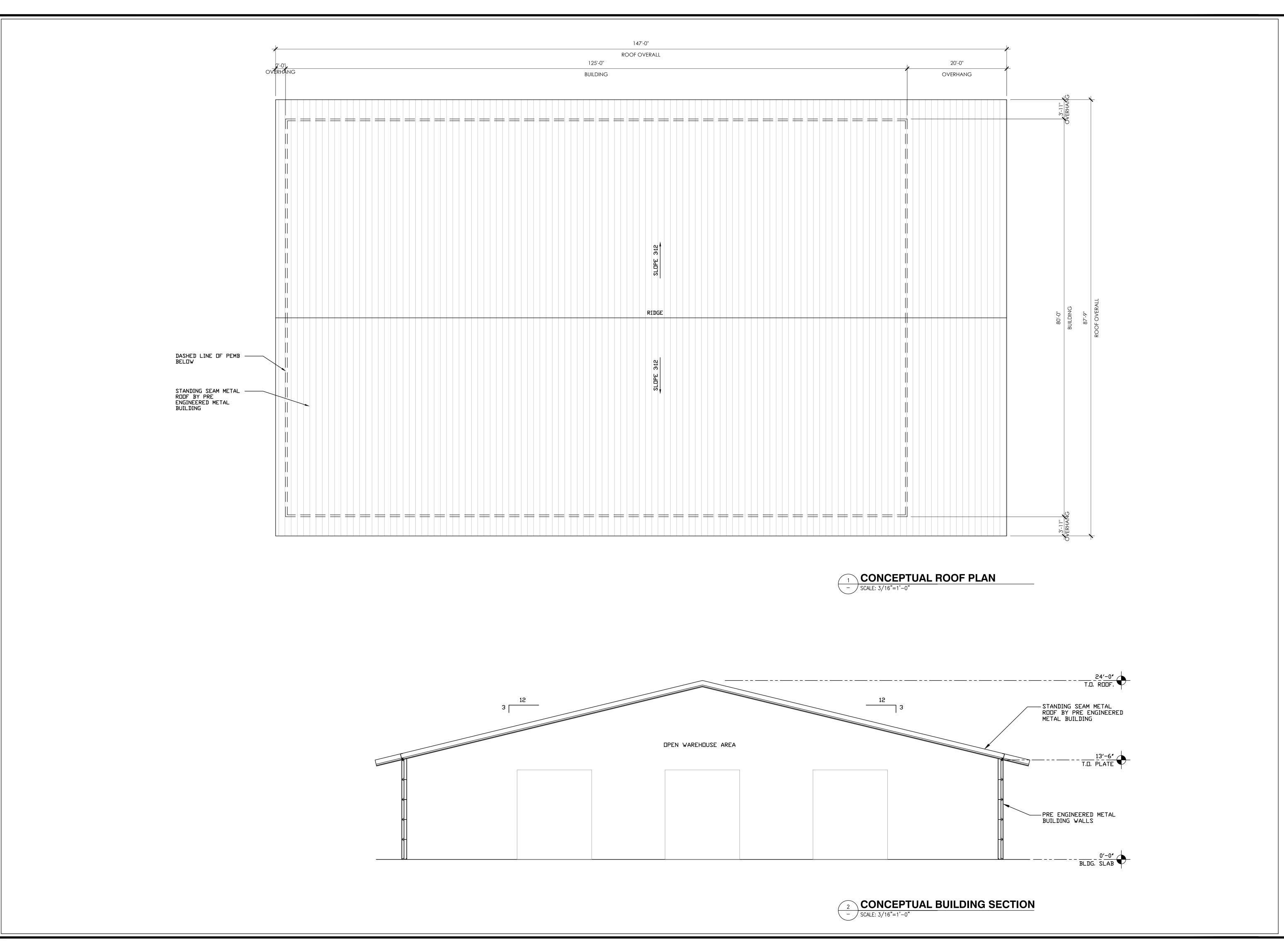
W 11th St

SOUTH PERRIS

NOT TO SCALE







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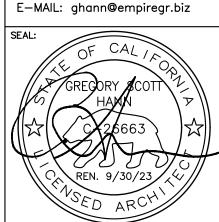
INLAND BOAT SERVICES

SERVICES

BOAT SHOWROOM & STORAGE APN: 342-120-052 24803 HIGHWAY 74 PERRIS, CA 92530

ARCHITECT OF RECORD:

GREGORY S. HANN, AIA
511 N MAIN STREET
LAKE ELSINORE, CA 92530
TEL: 951-696-1490
CELL: 951-809-7601
E-MAIL: ghann@empiregr.biz



Date: DECEMBER 8, 2021

Project Number: EDG#04757

NO. DATE REVISION DESCRIPTION

DESIGNED BY: GH

CHECKED BY: GH

DRAWN BY: ALL

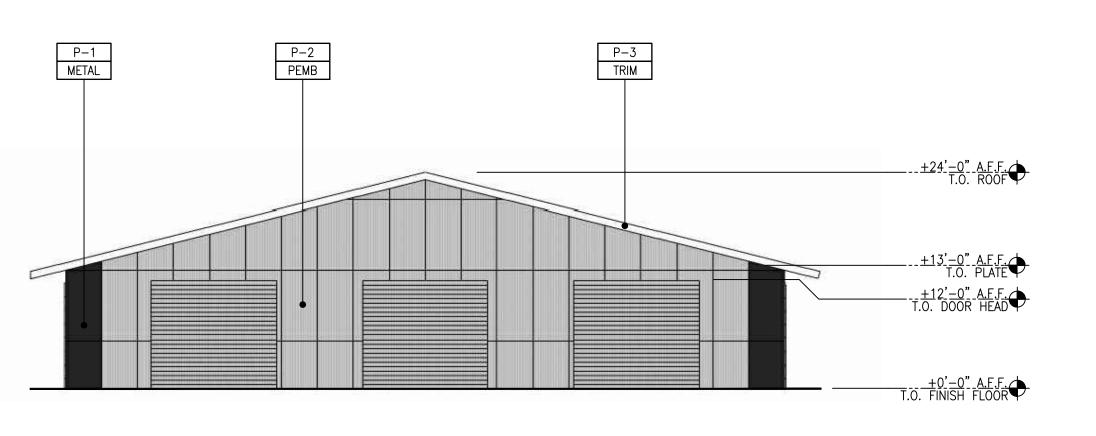
CONCEPTUAL ROOF PLAN & BUILDING SECTION

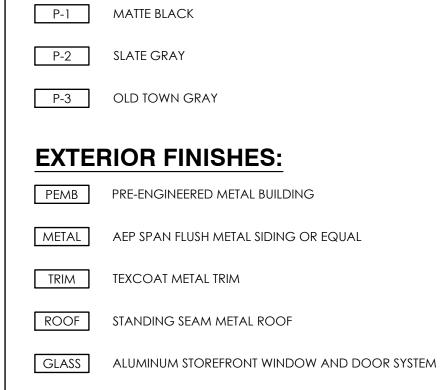
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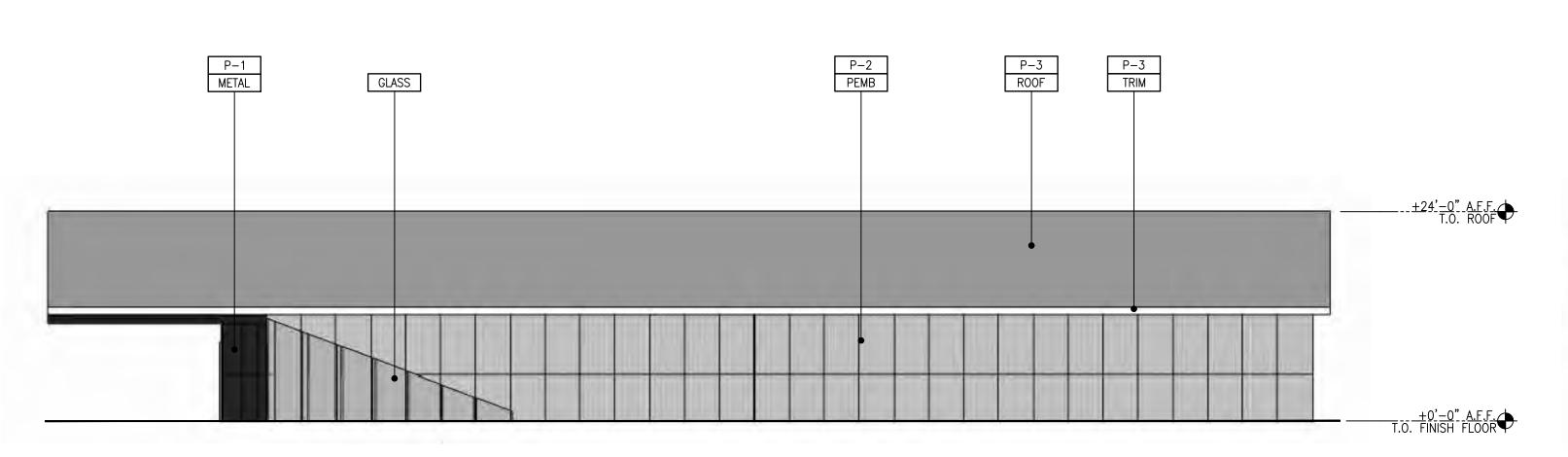


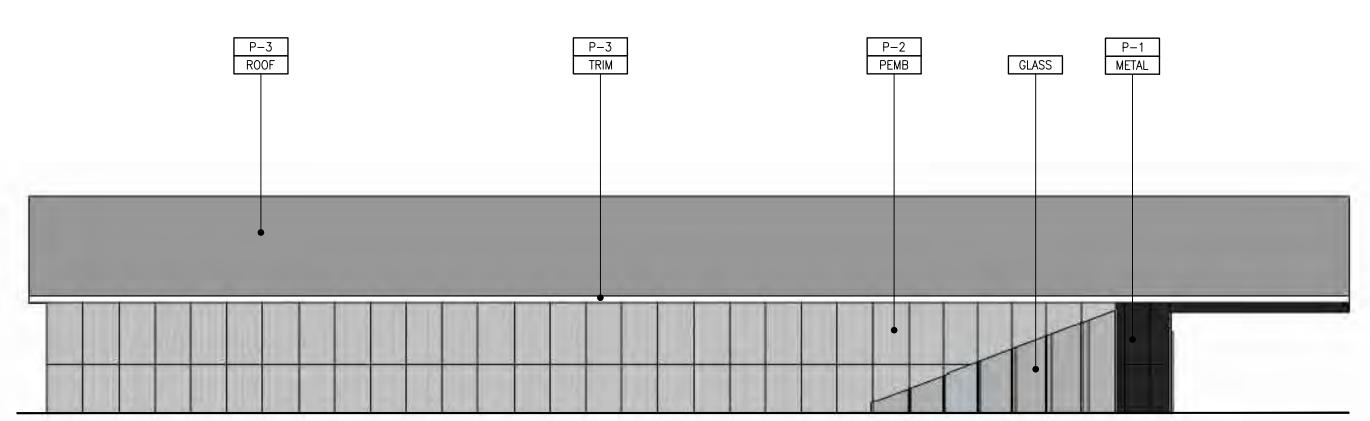


**EXTERIOR PAINTS:** 

**BOAT STORAGE EAST ELEVATION** - SCALE: 3/32"=1'-0"

**BOAT STORAGE WEST ELEVATION** - SCALE: 3/32"=1'-0"

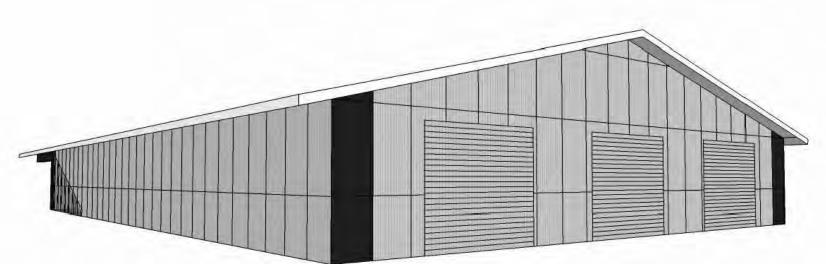




**BOAT STORAGE NORTH ELEVATION** - SCALE: 3/32"=1'-0"

**BOAT STORAGE SOUTH ELEVATION** SCALE: 3/32"=1'-0"





FRONT PERSPECTIVE - SCALE: NOT TO SCALE

SIDE PERSPECTIVE - SCALE: NOT TO SCALE

REAR PERSPECTIVE - SCALE: NOT TO SCALE

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INLAND

**BOAT** 

**SERVICES** 

T SHOWROOM & STORAGE APN: 342-120-052 24803 HIGHWAY 74 PERRIS, CA 92530

BOA

ARCHITECT OF RECORD:

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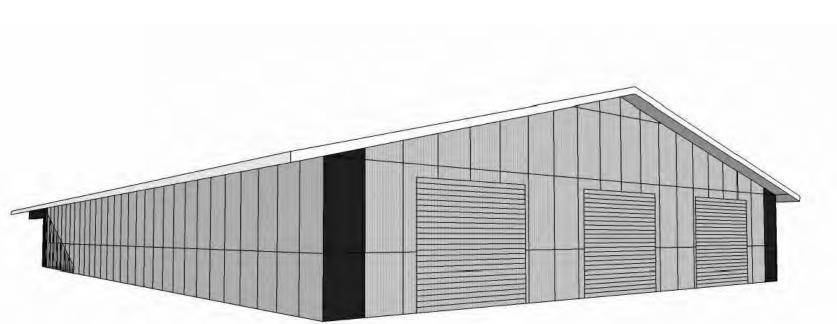
DECEMBER 8, 2021 EDG#04757

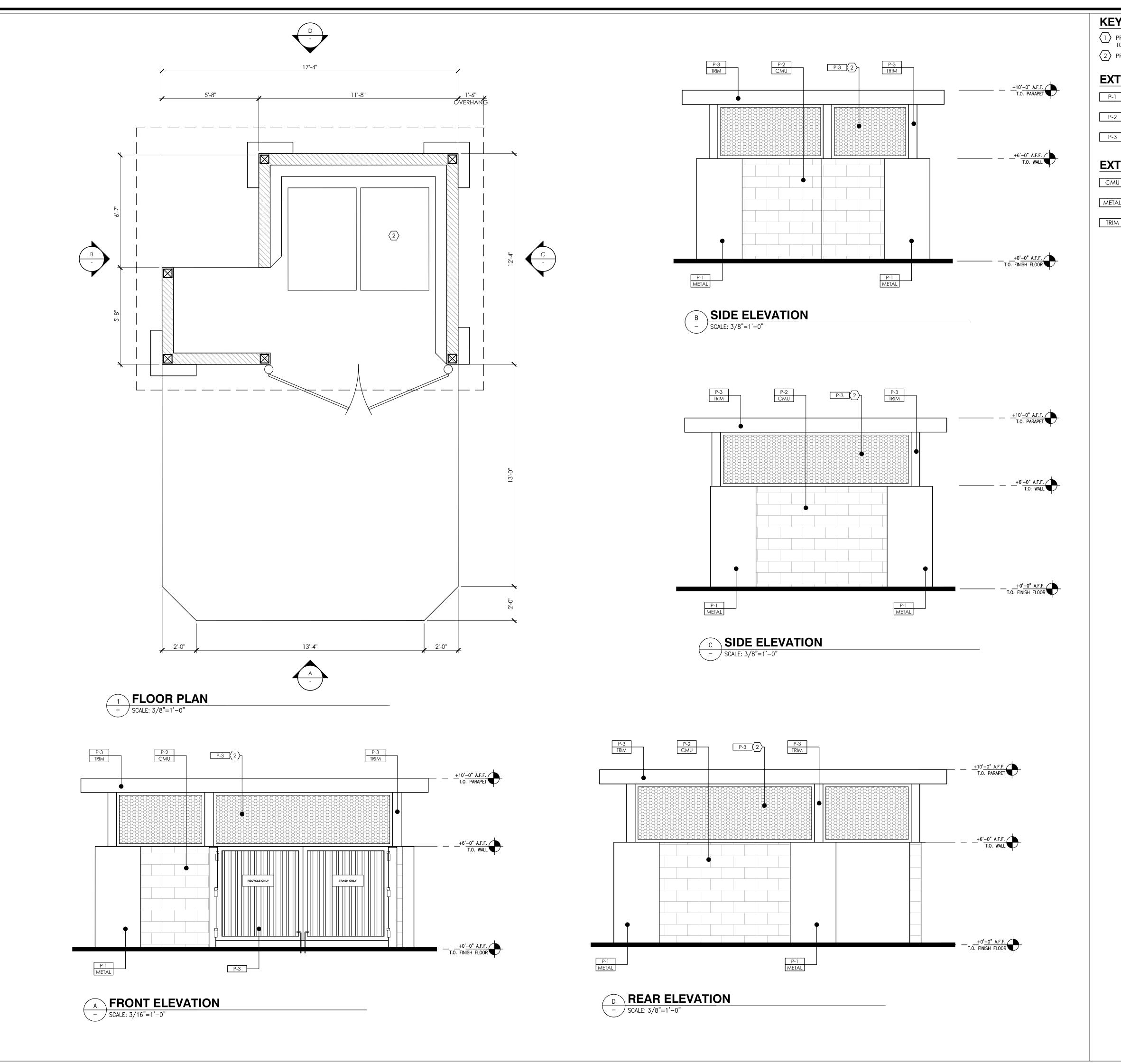
NO. DATE REVISION DESCRIPTION

CONCEPTUAL EXTERIOR ELEVATIONS

A 2.0

CHECKED BY: GH





### **KEYED NOTES:**

PROPOSED PRE-FABRICATED METAL ACCENTS BETWEEN CMU AND TOP COVER TO SECURE OPEN AREAS TO PREVENT ILLEGAL DUMPING  $\langle 2 \rangle$  proposed organic waste bin

### **EXTERIOR PAINTS:**

P-1 MATTE BLACK

P-2 SLATE GRAY

P-3 OLD TOWN GRAY

### **EXTERIOR FINISHES:**

CMU CONCRETE MASONRY UNIT - ROUGH EDGE

AEP SPAN FLUSH METAL SIDING OR EQUAL

TRIM TEXCOAT METAL TRIM

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INLAND **BOAT** SERVICES

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TRASH ENCLOSURE

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### RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

January 13, 2023

Russell Brady, Project Planner County of Riverside Planning Department 4080 Lemon Street, 12<sup>th</sup> Floor Riverside CA 92501

CHAIR Steve Manos Lake Elsinore

VICE CHAIR Russell Betts Desert Hot Springs

COMMISSIONERS

John Lyon Riverside

Richard Stewart Moreno Valley

Steven Stewart

Palm Springs

Michael Geller Riverside

Vernon Poole Murrieta

STAFF

Director Paul Rull

Simon Housman Jackie Vega Barbara Santos

County Administrative Center 4080 Lemon St.,14th Floor. Riverside, CA 92501 (951) 955-5132

www.rcaluc.org

### RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION

File No.: ZAP1554MA22

Related File No.: GPA190016 (General Plan Amendment), CZ190046 (Change of

Zone), TTM37620 (Tentative Tract Map)

APN: 461-170-001 Airport Zone: Zone E

Dear Mr. Brady:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to No. 2015-01(as extended by Resolution No. 2020-01) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case Nos. GPA190016 (General Plan Amendment), CZ190046 (Change of Zone), TTM37620 (Tentative Tract Map), a proposal to divide 79.2 acres into 94 single-family residential lots, 4 open space lots, and 5 water quality basin lots, located on the northeast corner of Newport Road and Briggs Road. The applicant also proposes to amend the site's General Plan land use designation from a Low Density Residential (CD: LDR) to Medium Density Residential. The applicant also proposes to change the zoning from Rural Residential (R-R) to Planned Residential (R-4).

The project is located within Compatibility Zone E of March Air Reserve Base/Inland Port Airport Influence Area, where residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 34,249 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,755 feet AMSL. The site elevation is 1,555 feet AMSL, and the proposed building height is 40 feet, resulting in a top point elevation of 1,595 feet AMSL. Therefore, FAA OES review for height/elevation was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT**, with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

#### **CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be

downward facing.

- 2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Other Hazards to Flight
- 3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
- 4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the stormwater basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the stormwater basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin

If you have any questions, please contact me at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Walton Development &Management, Inc. (applicant/property owner)

T&B Planning (representative)

Gary Gosliga, March Inland Port Airport Authority

Major. David Shaw, Base Civil Engineer, March Air Reserve Base

ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1554MA22\ZAP1554MA22.LTR.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

# NOTICE

# THERE IS AN AIRPORT NEARBY. THIS STORM WATER BASIN IS DESIGNED TO HOLD STORM WATER FOR ONLY 48 HOURS AND NOT TO ATTRACT BIRDS

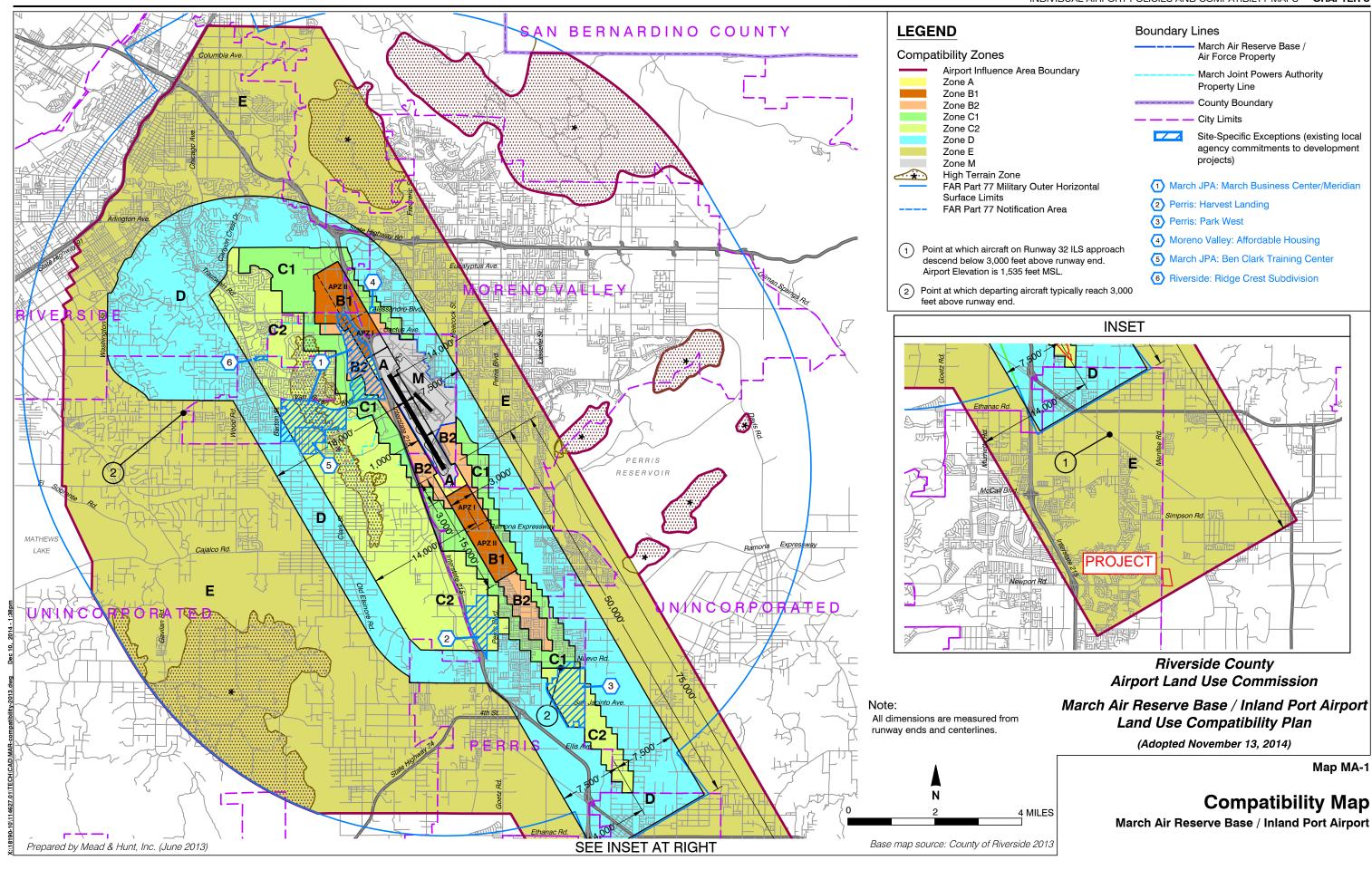
# PROPER MAINTENANCE IS NECESSARY TO AVOID BIRD STRIKES



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Map MA-1

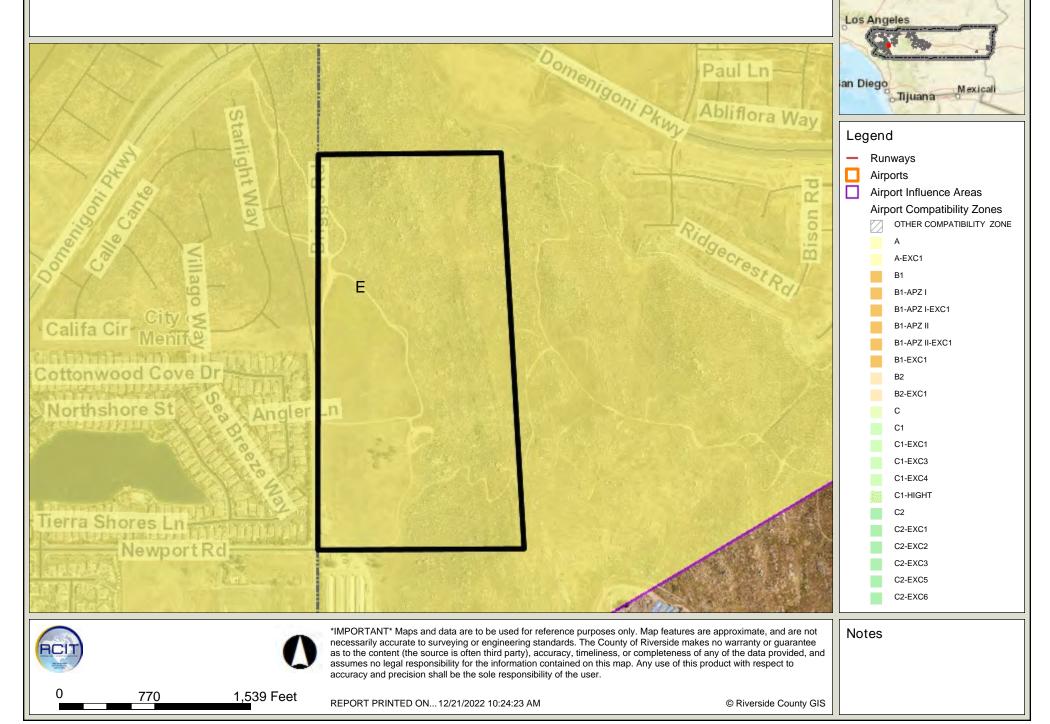


### Map My County Map Los Angeles an Diego Tijuana Legend Runways Airports Airport Influence Areas Airport Compatibility Zones OTHER COMPATIBILITY ZONE A-EXC1 B2 B1-APZ I B1-APZ I-EXC1 B1-APZ II B1-APZ II-EXC1 B1-EXC1 B2-EXC1 C1-EXC1 C1-EXC3 C1-EXC4 C1-HIGHT C2-EXC1 C2-EXC2 C2-EXC3 C2-EXC5 C2-EXC6 \*IMPORTANT\* Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user. Notes

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49,257 Feet







### Legend

County Centerline Names

- County Centerlines
- Blueline Streams
- City Areas
  World Street Map



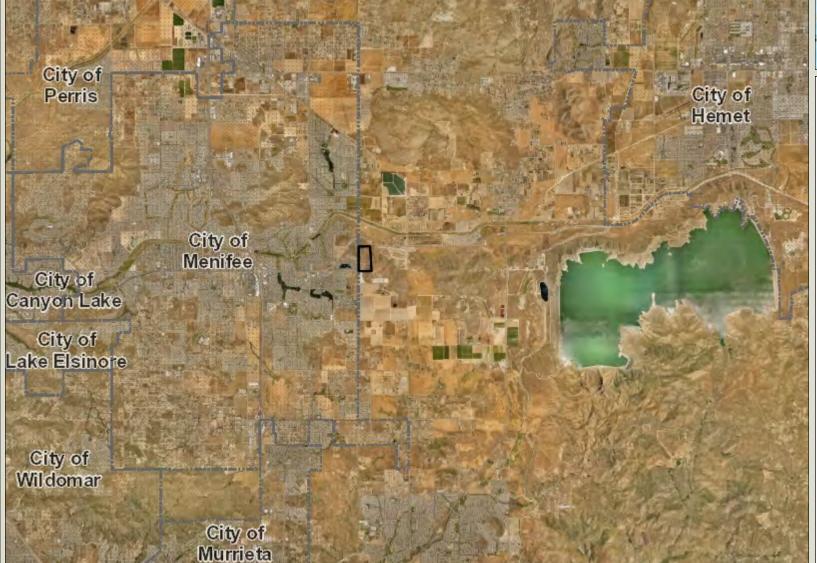


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### Legend

City Areas
World Street Map





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### Legend

- Blueline Streams
- City Areas
  World Street Map





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### Legend

City Areas
World Street Map



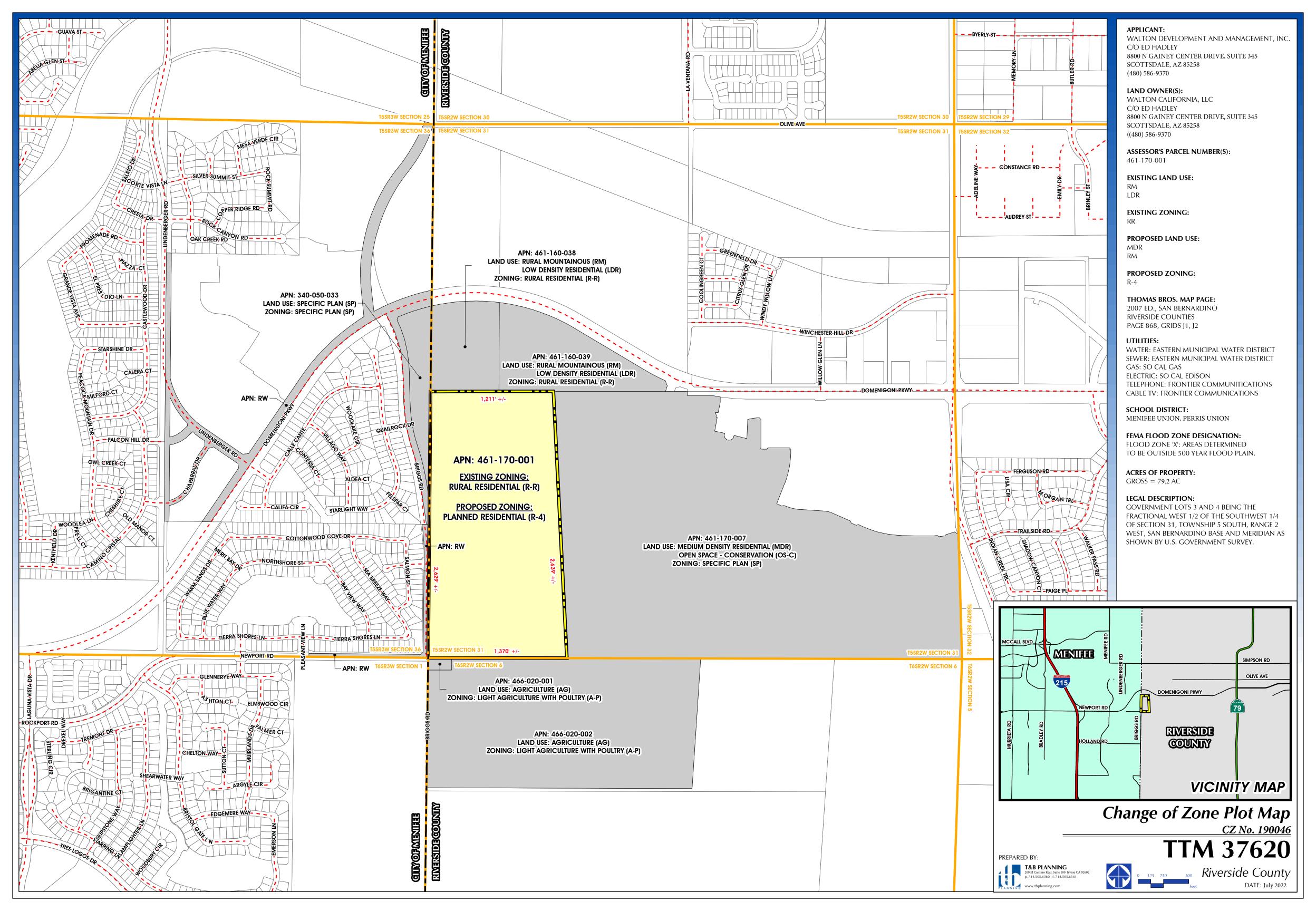


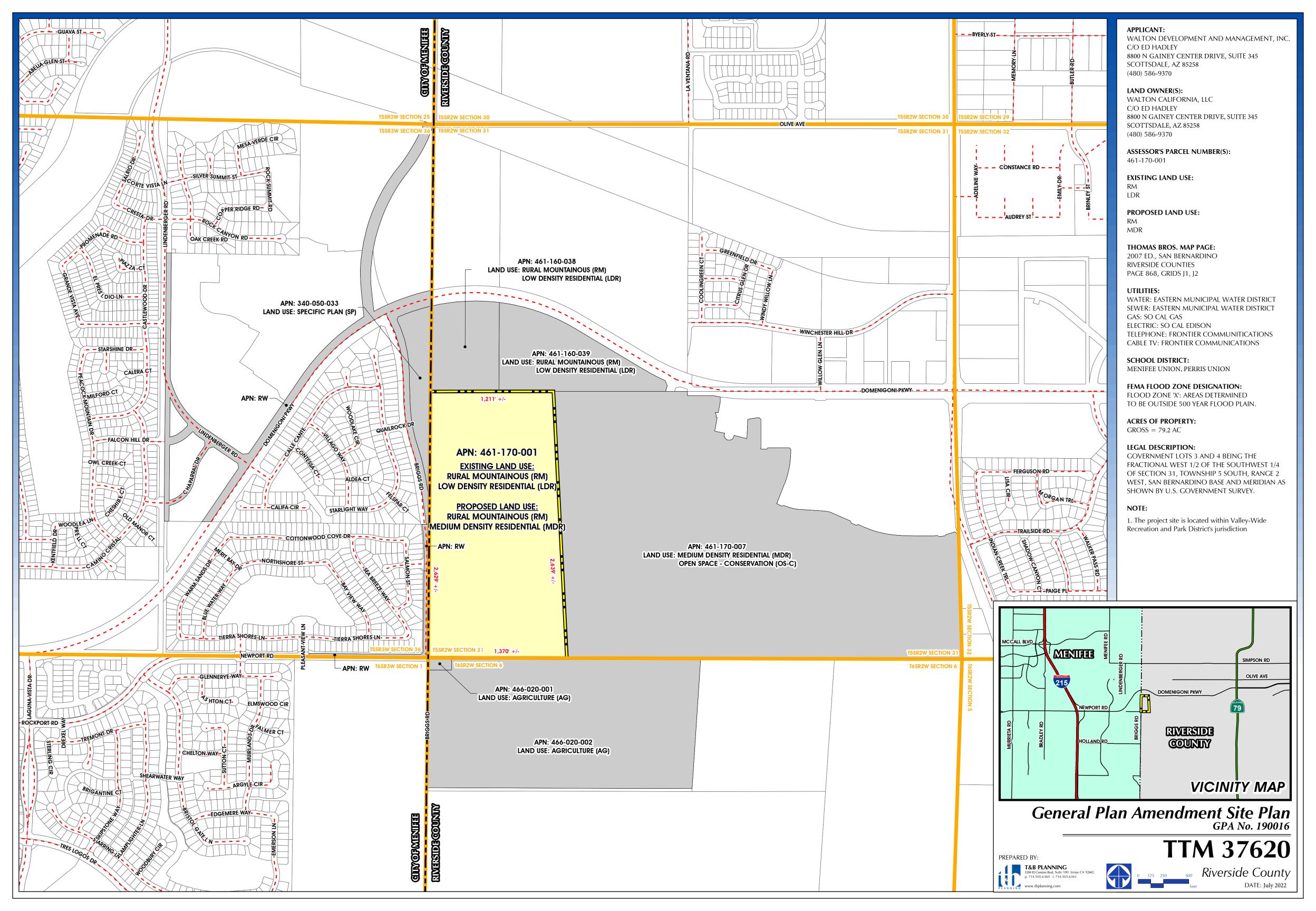
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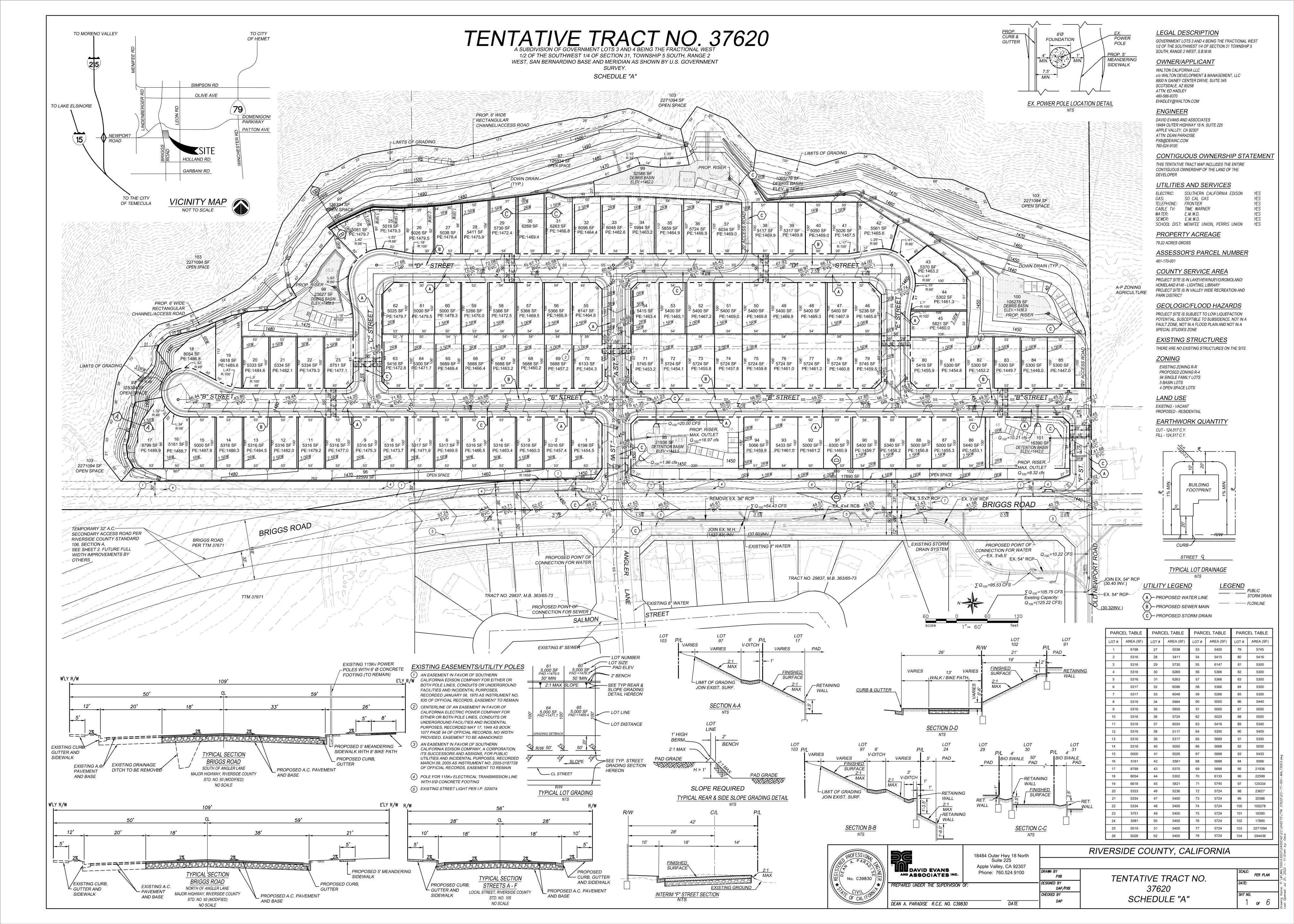
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## AIRPORT LAND USE COMMISSION MEETING MINUTES January 12, 2023



1-17-23

<u>COMMISSIONERS PRESENT</u>: Russell Betts, Steve Manos, Michael Geller, Vernon Poole, Larry Froehlich

(alternate for Richard Stewart), Michael Lewis (alternate for Steven

Stewart)

<u>COMMISSIONERS ABSENT</u>: John Lyon, Richard Stewart, Steven Stewart

### 2.0 PUBLIC HEARING: CONTINUED ITEMS

2.1 Staff report recommended: **CONTINUE to 2-9-23** 

Staff recommended at hearing: **CONSISTENT** 

ALUC Commission Action: CONSISTENT (Vote 6-0; Absent: John Lyon

Motion: Russell Betts Second: Michael Geller

ZAP1544MA22 - PR Partners, LLC (Representative: Mike Naggar & Associates) - City of Perris Case Nos. PLN19-00012 (Specific Plan Amendment), PLN19-05287 (Zone Change), DPR19-00012 (Development Plan Review). A proposal to construct a mixed-use industrial/commercial development including a 304,572 square foot ecommerce warehouse building with mezzanines, a 2,010 square foot restaurant building with drive-thru, and a 4,950 square foot retail/restaurant building with drive-thru on a 16.12 acre parcel, located on the southwest corner of Perris Boulevard and Ramona Expressway. The applicant also proposes amending the Perris Valley Commerce Specific Plan (SPA No. 13) and changing 14.1 acres of the site's zoning from Commercial to Light Industrial (with 1.99 acres of the site remaining Commercial). (The Commission previously found consistent on this site ZAP1390MA19, a proposal to construct a 347,919 square foot industrial e-commerce and warehouse building on 16.1 acres, and a proposal to amend the Perris Valley Commerce Center Specific Plan, and change the site's zoning from Commercial to Light Industrial (Airport Compatibility Zones B1-APZ-II and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org.

#### 3.0 PUBLIC HEARING: NEW CASES

3.1 Staff report recommended: **CONSISTENT** 

Staff recommended at hearing: **CONSISTENT** 

ALUC Commission Action: CONSISTENT (Vote 6-0;

Absent: John Lyon)

Motion: Michael Lewis Second: Larry Froehlich ZAP1550MA22 - Armstrong Brooks (Representative: Thrifty Oil

Co.)— County of Riverside Case No. PPT220047 (Plot Plan). A proposal to construct a 192,249 square foot industrial building with mezzanines on 9.14 acres, located on the northeast corner of Tobacco Road and Water Street (Airport Compatibility Zone C2 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Jackie Vega at (951) 955-0982, or e-mail at Javega@rivco.org

VIDEO:

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org

### AIRPORT LAND USE COMMISSION MEETING MINUTES January 12, 2023

3.2 Staff report recommended: INCONSISTENT

Staff recommended at hearing: **INCONSISTENT** 

ALUC Commission Action:
INCONSISTENT, based on
the facts identified in the
staff report, and that an
additional letter outlining the
ALUC concerns be sent to
the City of Riverside
Planning Commissioners.
(Vote 6-0; Absent: John
Lyon)

Motion: Russell Betts Second: Michael Geller

ZAP1107RI22 - Riverside Property Owner, LLC (Representative: Jamie Chapman) City of Riverside Case Nos. PR-2022-001252 (General Plan Amendment, Rezone, Plot Plan, Tentative Parcel Map 38638). A proposal to construct a mixed-use multifamily/commercial development consisting of 388 multifamily residential units, a 20,320 square foot grocery store building, and a 5,000 square foot retail building on 17.37 acres, located at the formers Sears building (which will be demolished) site at 5261 Arlington Avenue southerly of Sierra Street, easterly of Streeter Avenue, and westerly of Capistrano Way. The applicant also proposes amending the site's general plan land use designation from Commercial to Mixed Use Village, and rezoning the site from Commercial General Zone to Mixed Use-Village Zone. The applicant also proposes a tentative parcel map to divide the site into two parcels (Airport Compatibility Zones B1, C, D of the Riverside Municipal Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org.

3.3 Staff report recommended: **CONSISTENT** 

Staff recommended at hearing: **CONSISTENT** 

ALUC Commission Action: CONSISTENT (Vote 6-0; Absent: John Lyon)

Motion: Vernon Poole Second: Michael Geller

ZAP1108RI22- Gilbane Development Company(Representative: The 3-wB Group) City of Riverside Case No. PR-2022-001434

The 3-wB Group) City of Riverside Case No. PR-2022-001434 (General Plan Amendment, Change of Zone, Development Review). A proposal to construct 121 muti-family units on 3.9 acres, located southerly of Railroad Avenue, westerly of Madison Street, and northerly of Evans Street. The applicant also proposes to amend General Land Use designation from MDR-Medium Density Residential and C- Commercial to HDR-High density residential, and to rezone the property from R-1-7000 Single Family Residential to R-3-200 Multiple Family Residential. (Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area). Staff Planner: Jackie Vega at (951) 955-0982, or e-mail at Javega@rivco.org

3.4 Staff report recommended: **CONSISTENT** 

Staff recommended at hearing: **CONSISTENT** 

ALUC Commission Action: CONSISTENT (Vote 6-0; Absent: John Lyon)

Motion: Michael Geller Second: Michael Lewis

ZAP1073TH22 – JTM Land Company, LLC (Representative: Albert A. Webb Associates) County of Riverside Case No. MTE220031 (Minor Temporary Event). A proposal for a Minor Temporary Event to host an 'IndyCar Open Test Event' from February 1, 2023, to February 4, 2023, between the hours of 7:00 a.m. to 6:00 p.m. on the 139 acres Thermal Motorclub facility, located southerly of Avenue 60, westerly of Polk Street, northerly of Avenue 62, and easterly of Tyler Street. The event will be strictly private invitation-only event not open to the public. No tickets will be sold. Food and live entertainment will also be provided within the existing buildings (Airport Compatibility Zones B1, C, and D of the Jacqueline Cochran Regional Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org.

VIDEO:

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org

### AIRPORT LAND USE COMMISSION MEETING MINUTES January 12, 2023

### 4.0 PUBLIC HEARING: MISCELLANEOUS ITEMS

None

### 5.0 **ADMINISTRATIVE ITEMS**

- 5.1 <u>Director's Approvals</u> Information Only
- 5.2 Update March Air Reserve Base Compatible Use Study (CUS)

Simon Housman, Project Director for the March CUS reported that they anticipate receiving the final draft of the March Compatible Use Study later this month, followed by circulating the draft to the working group and the policy committee.

#### 6.0 APPROVAL OF MINUTES

Vice Chair Betts motioned to approve the December 15, 2022 minutes. Seconded by Chair Manos. Abstain: Michael Geller; Absent: John Lyon (Vote 5-0)

### 7.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

Simon Housman, Project Director for the March CUS informed the Commission regarding the City of Moreno Valley Clear Zone Parking Lot Project and explained the process of how the Aeronautics Act of California interacts with other parts of the law.

### 8.0 **COMMISSIONER'S COMMENTS**

None

### 9.0 **ADJOURNMENT**

Steve Manos, Chair adjourned the meeting at 11:05 a.m.

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VIDEO: 3

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org