

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

**AGENDA ITEM:** 3.1

**HEARING DATE:** April 13, 2023

**CASE NUMBER:** ZAP1121FV22 – Rancon MHS 20, LLC (Representative: Rancon Group)

**APPROVING JURISDICTION:** City of Murrieta

**JURISDICTION CASE NO:** GPA2020-2580 (General Plan Amendment), ZC2022-2581 (Zone Change), DP2022-2579 (Development Plan), TTM2022-2583 (Tentative Tract Map)

**LAND USE PLAN:** 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011

Airport Influence Area: French Valley Airport

Land Use Policy: Compatibility Zone D

Noise Levels: Below 55 CNEL from aircraft noise

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the proposed General Plan Amendment and Zone Change CONSISTENT with the 2007 French Valley Airport Land Use Compatibility Plan, as amended in 2011, and find the proposed Development Plan and Tentative Tract Map CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** A proposal to construct a mixed-use development including a multi-family 151-unit apartment complex, and 5 commercial retail/restaurant/office buildings totaling 37,966 square feet on 18.05 acres. The applicant also proposes amending the site's general plan land use designation from Commercial to Multi-Family 2 Residential, Commercial and Open Space, and changing the site's zoning from CC (Community Commercial) to MF-3 (Multiple Family 3 Residential), CC (Community Commercial), and OS (Open Space). The applicant also proposes a tentative tract map to divide the site into 10 commercial parcels.

**PROJECT LOCATION:** The proposed project is located southerly of Murrieta Hot Springs Road, westerly of Date Street, easterly of Calle del Lago, and northerly of Calle de Fortuna, approximately 6,199 feet southwesterly of the southerly terminus of Runway 18-36 at French Valley Airport.

**BACKGROUND:**

Residential Density: Pursuant to the French Valley Airport Land Use Compatibility Plan, the project site is located within Zone D, which restricts residential density to either below 0.2 dwelling units per acre or above 5.0 dwelling units per acre.

The residential component of the project proposes a 151-unit apartment complex on 8.76 acres, resulting in a density of 17 dwelling units per acre, which is consistent with the Zone D residential density criteria.

Non-Residential Average-Acre Intensity: Pursuant to the French Valley Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D, which limits average intensity to 150 people per acre through Additional Compatibility Policy 2.4.

The project proposes non-residential intensity in two separate areas of the site: the clubhouse and pool area in the apartment complex on 8.76 acres, and the 5 commercial buildings on separate parcels totaling 6.58 acres, both of which will be analyzed separately.

Pursuant to Appendix C, Table C-1 of the Riverside County Airport Land Use Compatibility Plan, the following rates were used to calculate projected occupancy for the proposed building:

- Clubhouse assembly – 1 person per 15 square feet,
- Swimming pool – 1 person per 50 square feet,
- Pool deck area – 1 person per 15 square feet,
- Retail – 1 person per 115 square feet,
- Office – 1 person per 200 square feet,
- Restaurant dining area – 1 person per 15 square feet,
- Restaurant kitchen area – 1 person per 200 square feet,

The proposed 151-unit apartment complex (located on a separate 8.76 acre parcel) includes a 1,223 square foot swimming pool, a 3,343 square foot swimming pool deck area, and a 3,059 square foot clubhouse which consists of a 1,377 square foot multi-purpose room, 202 square feet lobby area, a 140 square foot kitchen area, 244 square feet of office area, and 266 square feet of storage area, accommodating 357 people, resulting in an average intensity of 41 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.

The project also proposes to construct 5 commercial buildings totaling 37,966 square feet on 5 proposed parcels (one for each building) totaling 6.58 acres of commercial area. Therefore, the average intensity must be considered on a lot-by-lot basis:

- Parcel 1 proposes a 14,600 square foot retail building on 1.56 acres, accommodating 127 people, resulting in an average intensity of 81 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.
- Parcel 2 proposes a 3,500 square foot restaurant building (1,480 square feet of dining area, 2,100 square feet of kitchen area) and a 6 car stack drive-thru on 0.99 acres, accommodating 119 people, resulting in an average intensity of 120 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.
- Parcel 3 proposes a 3,500 square foot restaurant building (1,480 square feet of dining area, 2,100 square feet of kitchen area) and a 10 car stack drive-thru on 0.91 acres,



accommodating 125 people, resulting in an average intensity of 137 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.

- Parcel 4 proposes a 5,866 square foot building including 1,946 square feet of dining area, 2,920 square feet of kitchen area with a 500 square foot outdoor dining patio, and a 11 car stack drive-thru, and 1,000 square feet of retail area on 1.58 acres, accommodating 204 people, resulting in an average intensity of 130 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.
- Parcel 5 proposes a 10,000 square foot office building on 1.54 acres, accommodating 50 people, resulting in an average intensity of 33 people per acre, which is consistent with Compatibility Zone D average intensity criterion of 150 people per acre.

A second method for determining total occupancy involves multiplying the number of parking spaces provided or required (whichever is greater) by average vehicle occupancy (assumed to be 1.5 persons per standard vehicle). Based on the number of vehicle parking spaces provided (288), the total occupancy would be estimated at 432 persons, resulting in an average intensity of 66 persons per acre, which is consistent with the Zone D average intensity criterion of 150 people per acre.

Non-Residential Single-Acre Intensity: Pursuant to the French Valley Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D, where Additional Compatibility Policy 2.4 restricts single acre intensity to a maximum of 450 people.

The proposed 151-unit apartment complex single-acre intensity includes a 1,223 square foot swimming pool, a 3,343 square foot swimming pool deck area, and a 3,059 square foot clubhouse which consists of a 1,377 square foot multi-purpose room, 202 square feet lobby area, a 140 square foot kitchen area, 244 square feet of office area, and 266 square feet of storage area, accommodating an occupancy of 357 people, which is consistent with Compatibility Zone D single-acre intensity criterion of 450 people.

The project also proposes to construct 5 commercial buildings totaling 37,966 square feet on 5 proposed parcels (one for each building) totaling 6.58 acres of commercial area. Therefore, a separate single acre intensity analysis on a lot-by-lot basis was performed:

- Building 1 which includes 14,600 square feet of retail area, accommodating 127 people, which is consistent with Compatibility Zone D maximum single acre criterion of 450 people.
- Building 2 which includes a 3,500 square foot restaurant building (1,480 square feet of dining area, 2,100 square feet of kitchen area) and a 6 car stack drive-thru, accommodating 119 people, which is consistent with Compatibility Zone D maximum single acre criterion of 450 people.
- Building 3 which includes a 3,500 square foot restaurant building (1,480 square feet of dining area, 2,100 square feet of kitchen area) and a 10 car stack drive-thru, accommodating 125 people, which is consistent with Compatibility Zone D maximum single acre criterion of 450 people.
- Building 4 which includes a 5,866 square foot building including 1,946 square feet of dining

area, 2,920 square feet of kitchen area with a 500 square foot outdoor dining patio, and a 11 car stack drive-thru, and 1,000 square feet of retail area, accommodating 204 people, which is consistent with Compatibility Zone D maximum single acre criterion of 450 people.

- Building 5 which includes a 10,000 square foot office building, accommodating 50 people, which is consistent with Compatibility Zone D maximum single acre criterion of 450 people.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The French Valley Airport Land Use Compatibility Plan depicts the site as being located below the 55 CNEL contour range from aircraft noise. Therefore, special measures to mitigate aircraft-generated noise would not be required.

Part 77: The elevation of Runway 18-36 at its southerly terminus is 1,330 feet above mean sea level (AMSL). At a distance of approximately 6,199 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,392 feet AMSL. The site elevation is 1,174 feet AMSL. With a maximum building height of 35 feet, the top point elevation would be 1,209 feet AMSL. Therefore, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) is not required.

Open Area: Pursuant to the French Valley Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone D. The Compatibility Plan requires projects 10 acres or larger to designate 10% of project area as ALUC qualifying open area that could potentially serve as emergency landing areas.

Based on the project size (18.05 acres) located within Compatibility Zone D, the project is required to provide a minimum 1.80 acres of open area consistent with ALUC open area criteria. The applicant has provided a total of 1.80 acres of open area within the drive aisles and parking areas. These areas are conditioned to maintain a minimum shape of 75 feet in width and 300 feet in length, and shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The nearest portion of the project is located 6,199 feet from the runway, and therefore would be subject to the above requirement.

The project includes bioretention basins and pursuant to the study "Wildlife Hazard Management at Riverside County Airports: Background and Policy", October 2018, by Mead & Hunt, which is the basis of the brochure titled "Airports, Wildlife and Stormwater Management", such basins are permissible in Zone D when vegetation is selected careful so as not to provide food, shelter, nesting, roosting, or water for wildlife. The project has been conditioned to be consistent with the basin criteria (as well as providing 48-hour draw down of the basin).

General Plan Amendment/Zone Change: The applicant also proposes amending the site's general plan land use designation from Commercial to Multi-Family 2 Residential, Commercial and Open Space, and changing the site's zoning from CC (Community Commercial) to MF-3 (Multiple Family 3 Residential), CC (Community Commercial), and OS (Open Space). The proposed amendments would be consistent with the Compatibility Plan as long as the underlying development's intensity and density is consistent with the compatibility criteria.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Highly noise-sensitive nonresidential uses.
  - (f) Any use which results in a hazard to flight, including physical (e.g. tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that

produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. This project has been evaluated as a mixed-use development including a multi-family 151-unit apartment complex, and 5 commercial retail/restaurant/office buildings totaling 37,966 square feet on 18.05 acres. Any increase in building area (including construction of a new building), change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.
6. At least 1.80 acres of ALUC-eligible open areas (at least 75 feet in width and 300 feet in length), as depicted on the Open Space exhibit, shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater).

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES

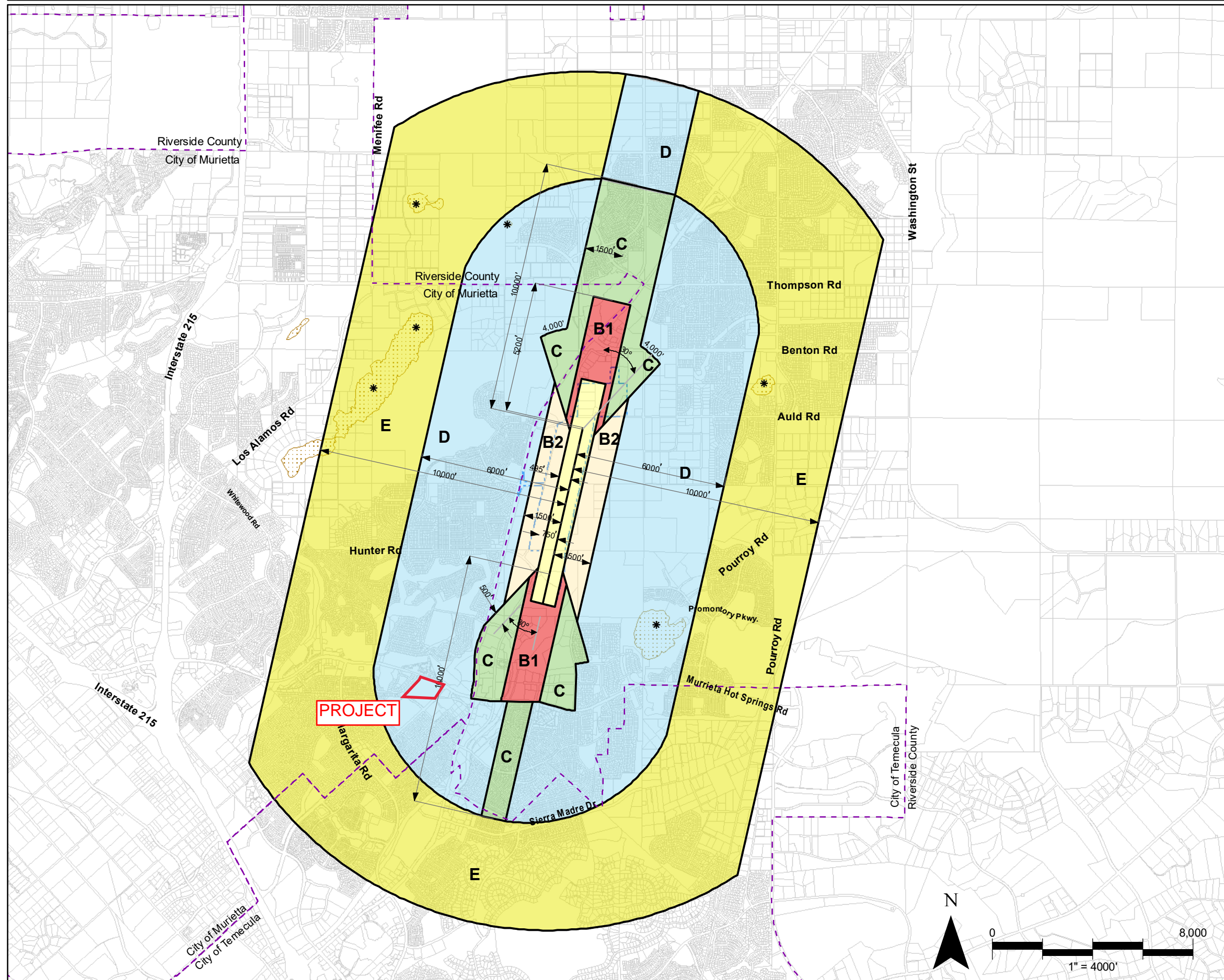


**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





**Legend**

**Compatibility Zones**

- Airport Influence Area Boundary
  - Zone A
  - Zone B1
  - Zone B2
  - Zone C
  - Zone D
  - Zone E
- Boundary Lines**
- Airport Property Line
  - City Limits
  - ⊛ Height Review Overlay Zone

**Note**

Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A from compatibility criteria associated with this map.

**Riverside County  
Airport Land Use Commission**

**Riverside County  
Airport Land Use Compatibility Plan  
Policy Document**

(April 2010)

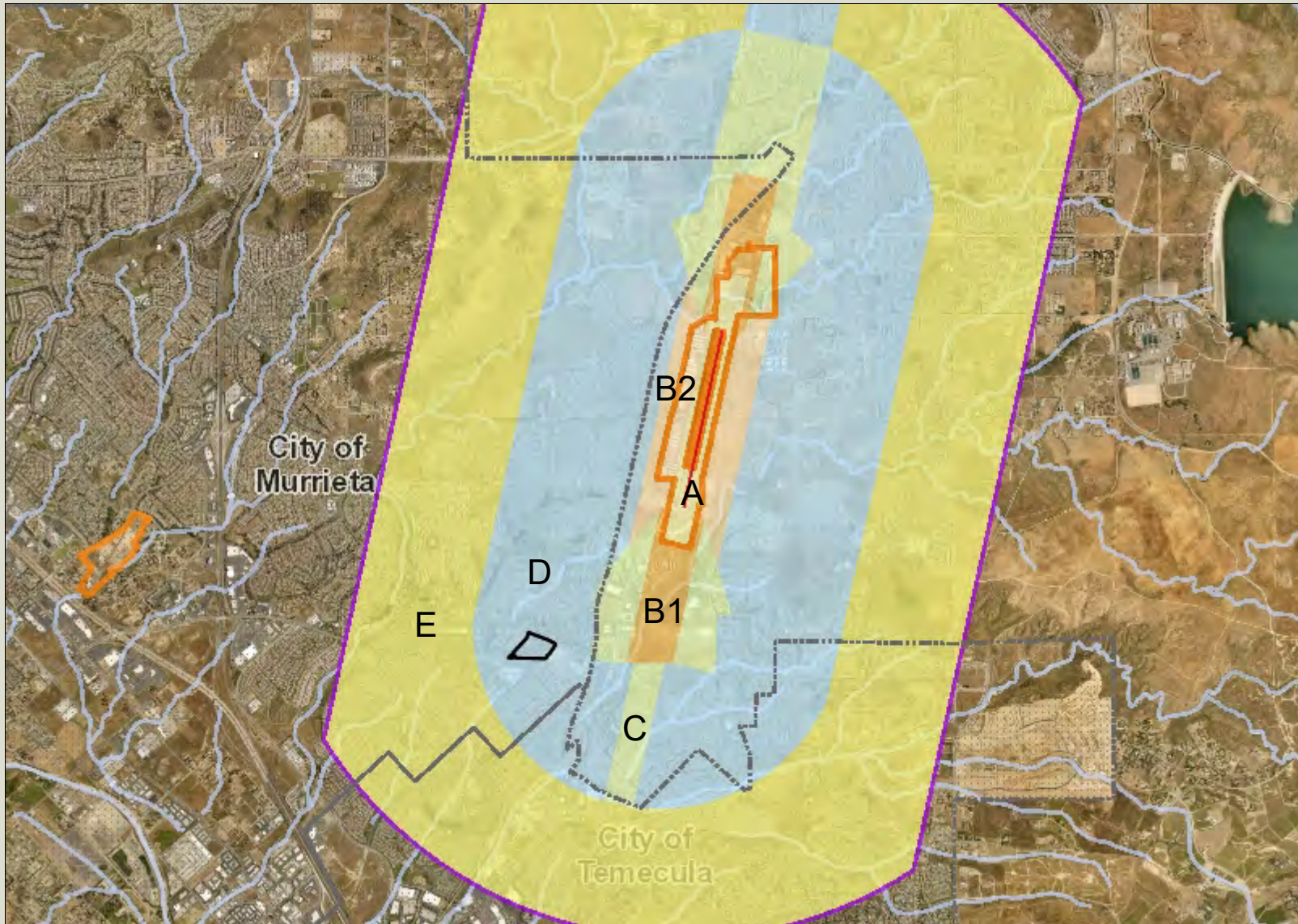
Map FV-1

**Compatibility Map**  
French Valley Airport





# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6

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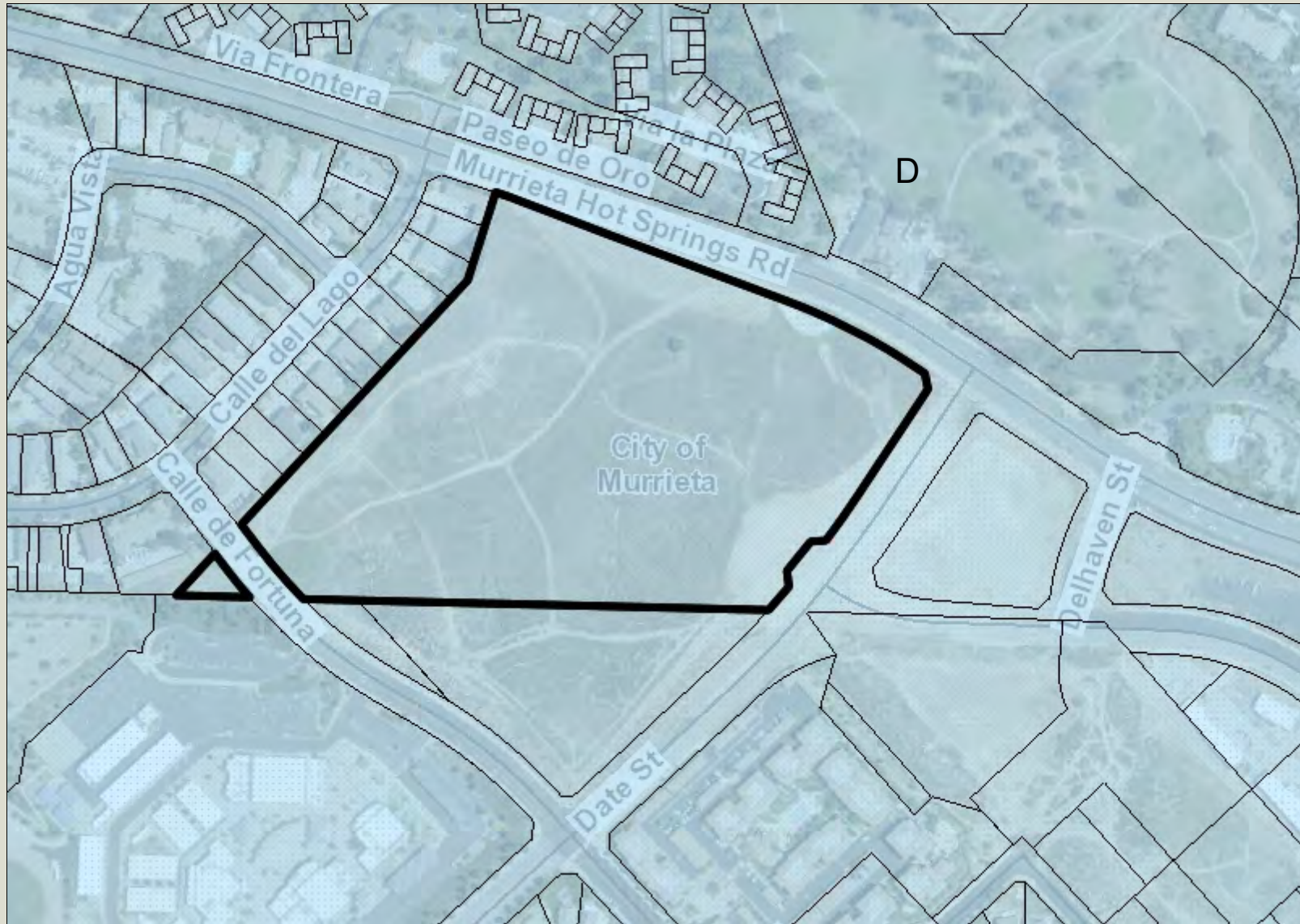
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## Notes



# Map My County Map



## Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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## Notes



# Map My County Map



## Legend

- Parcels
- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes



# Map My County Map



## Legend

-  City Areas
-  World Street Map



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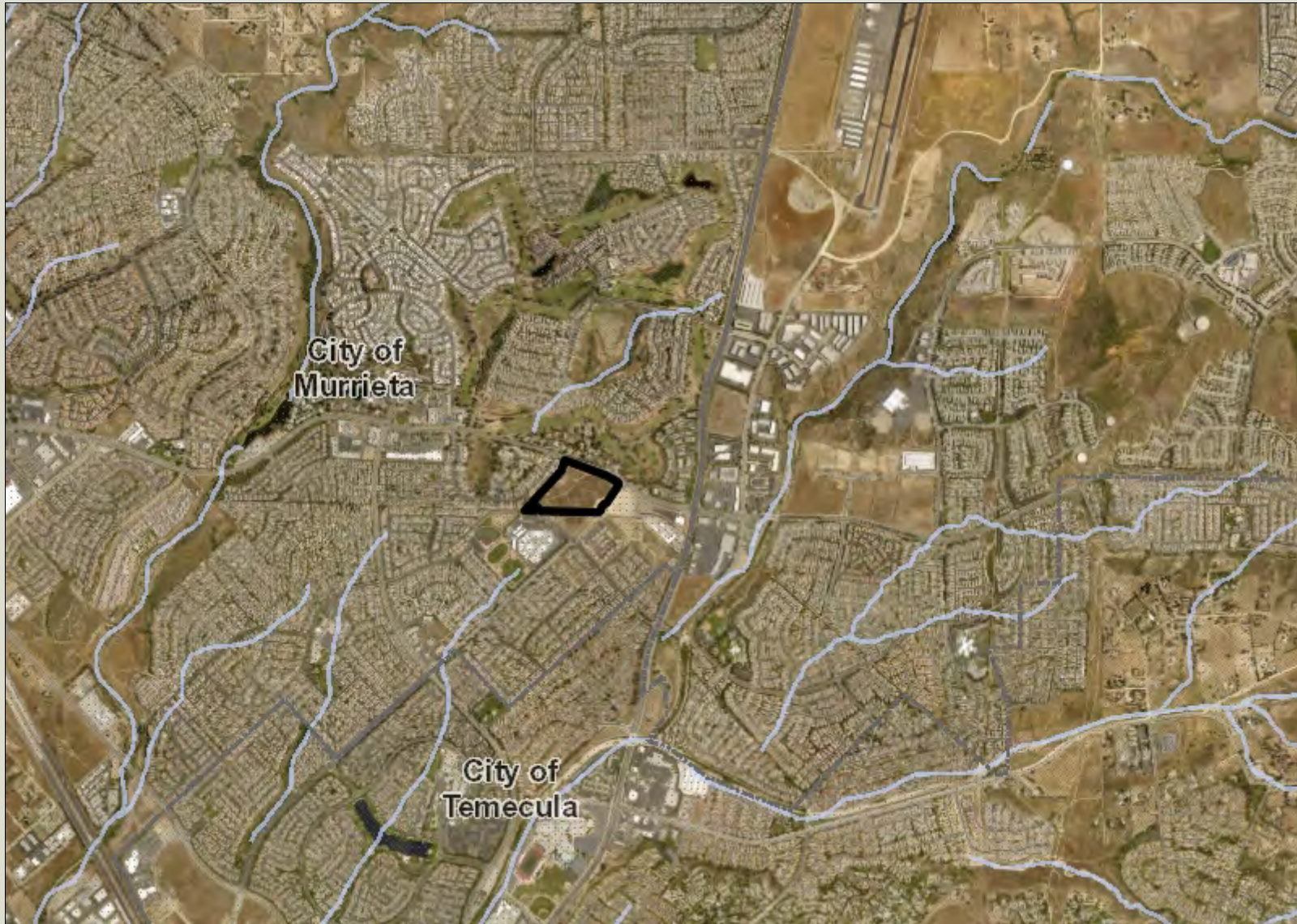
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## Notes



# Map My County Map



## Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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## Notes



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# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes



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**LEGAL DESCRIPTION**

ALL THAT PORTION OF THE MURRIETA PORTION OF THE TEMECULA RANCHO AND A PORTION OF LOTS 187, 190 AND 191 AS SHOWN BY MAP OF TEMECULA LAND AND WATER COMPANY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE 139 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT "D" OF TRACT 4476, AS SHOWN BY MAP ON FILE IN BOOK 72 PAGES 47 THROUGH 52, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE SOUTH 1° 11' 30" WEST ALONG THE SOUTHEASTLY LINE OF SAID LOT "D", A DISTANCE OF 30.25 FEET TO A POINT ON THE SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD, (FORMERLY TEMECULA HOT SPRINGS ROAD) 80.9 FEET WIDE, AS SAID ROAD WAS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED APRIL 12, 1932 IN BOOK 72 PAGE 348 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING THE POINT OF BEGINNING OF PARCEL OF LAND TO BE DESCRIBED;

THENCE ALONG SAID SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD ON THE FOLLOWING 5 COURSES:

THENCE SOUTH 71° 48' 00" EAST, A DISTANCE OF 613.34 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1212.32 FEET, A CENTRAL ANGLE OF 10° 12' 59", AN ARC LENGTH OF 321.94 FEET;

THENCE SOUTH 96° 35' 10" EAST, A DISTANCE OF 215.84 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 978.99 FEET, A CENTRAL ANGLE OF 11° 11' 49", AN ARC LENGTH OF 180.7 FEET;

THENCE SOUTH 82° 32' 30" EAST, A DISTANCE OF 201.33 FEET TO A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESIGNATED AS PARCEL 2 IN DEED TO MURRIETA HOT SPRINGS RECORDED DECEMBER 30, 1989 AS INSTRUMENT NO. 13281 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 87° 02' 30" WEST ALONG SAID SOUTHERLY LINE, A DISTANCE OF 2221.18 FEET TO AN ANGLE POINT IN THE SOUTHERLY LINE OF LOT 15 AS SHOWN BY MAP OF SAID TRACT 4476;

THENCE NORTH 47° 00' 00" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 3 THROUGH 15 AND LOT 10" AS SHOWN ON SAID MAP OF SAID TRACT 4476, A DISTANCE OF 885.91 FEET;

THENCE NORTH 1° 11' 30" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 1, 2 AND 3 AND LOT 10" AS SHOWN ON SAID MAP OF TRACT 4476, A DISTANCE OF 243.5 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION OF SAID LAND LYING EASTERLY AND SOUTHERLY OF THE WESTERLY LINE OF DATE ROAD.

ALSO EXCEPTING THEREFROM PARCELS 1, A, B, C AND D, AS SHOWN ON PARCEL MAP NO. 36448 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 218, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL IS ALSO KNOWN AS REMAINDER PARCEL AS SHOWN ON PARCEL MAP NO. 36448 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 218, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**ZONING AND LAND USE:**

EXISTING ZONING: COMMERCIAL (CC)  
 PROPOSED ZONING: COMMERCIAL / MULTI-FAMILY 2 (18 DU/AC)  
 EXISTING LAND USE: VACANT  
 PROPOSED LAND USE: COMMERCIAL / MULTI-FAMILY RESIDENTIAL

**LEGEND:**

- W WATERLINE
- S SEWERLINE
- FG FINISHED GRADE
- HP HIGH POINT
- SD STORM DRAIN
- FF FINISHED FLOOR ELEVATION
- FS FINISHED SURFACE
- ADA PATH OF TRAVEL

**GENERAL NOTES:**

1. NUMBER OF PARCELS:  
10 PARCELS (1 MF2, 5 COMMERCIAL, 2 BASINS AND 2 OPEN SPACE)
2. MINIMUM LOT SIZE:  
N/A
3. METHOD OF SEWAGE DISPOSAL:  
SEWER
4. 2020 THOMAS BROS. GUIDE:  
PAGE 898, GRIDS G7 & F1
5. PLOT PLAN PREPARED:  
APRIL 2021
6. OCCUPANCY AND CONSTRUCTION TYPE:  
OCCUPANCY TYPE: R-2 PER CHAPTER 3 (CURRENT CBC)  
CONSTRUCTION TYPE: V-A PER CHAPTER 6 (CURRENT CBC)
7. ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
8. THIS PROPERTY IS NOT IN A SPECIFIC PLAIN AREA.
9. TOPD BY: PBLA SURVEYING, INC. DATE: 8/12/2018
10. THIS PROPERTY LIES WITHIN FEMA ZONE "C" (AREAS OF MINIMAL FLOODING).
11. THERE ARE NO EXISTING STRUCTURES ON THIS PROPERTY.
12. THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES MS 4 PERMIT REQUIREMENTS.
13. ALL CUT SLOPES TO BE 2:1 UNLESS OTHERWISE NOTED
14. NO EXISTING WELLS ON THE PROPERTY.
15. TRASH ENCLOSURE = 14 EA.
16. LIQUEFACTION POTENTIAL: VERY LOW
17. PROJECT IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
18. THIS PROJECT IS NOT WITHIN A CSD.
19. THIS PROPERTY IS SUBJECT TO SUBSIDENCE.
20. WHEEL STOPS WILL BE REQUIRED WHERE WALKWAYS ADJACENT TO PARKING SPACES ARE LESS THAN 6 FEET WIDE.

**PROJECT DESCRIPTION:**

THE PROJECT PROPOSAL IS FOR 151 DWELLING UNIT MULTI-FAMILY COMMUNITY AND COMMERCIAL LOTS AT THE SOUTHWEST CORNER OF MURRIETA HOT SPRINGS ROAD AND DATE STREET. APPLICANT PROPOSES CONSTRUCTION OF NINE (9), 3-STORY MULTI-FAMILY APARTMENT WITH CLUBHOUSE, SWIMMING POOL, AMENITIES, LANDSCAPING, PARKS TRAILS, PARKING AND INFRASTRUCTURE IMPROVEMENTS AND FOUR (4) 1-STORY RETAIL. A ONE (1) 2-STORY OFFICE/SERVICE (PARCEL 5) COMMERCIAL BUILDINGS WITH PARKING AND LANDSCAPING.

**SITE DATA (APARTMENT):**

GROSS AREA = 10 ACRES  
 PAD AREA (NET) = 8.2 ACRES  
 PROPOSED DWELLING UNIT = 151  
 DENSITY AS DESIGNED = 18 DU/AC

**RAW CUT/FILL**

(TO BE VERIFIED BY CONTRACTOR)  
 RAW CUT: 215,000 C.Y.  
 RAW FILL: 215,000 C.Y.  
 IMPORT/EXPORT: 0 C.Y.

**NOTES:**

- 1) PROJECT IS NOT WITHIN A SPECIFIC PLAN.
- 2) PROJECT IS NOT WITHIN A COMMUNITY FACILITY DISTRICT.
- 3) SITE IS NOT SUBJECT TO LIQUEFACTION OF OTHER GEOLOGIC HAZARD.
- 4) SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.

**ASSESSOR PARCEL NUMBERS:**

913-350-017

**UTILITY PURVEYORS:**

**SCHOOL DISTRICT:**  
 MURRIETA VALLEY UNIFIED SCHOOL DISTRICT.

**UTILITIES:**

**WATER:**  
 SOUTHERN MUNICIPAL WATER DISTRICT  
 2270 TRUMBLES ROAD  
 PERRIS, CA 92570  
 TEL: 800-426-3693

**SANITARY SEWER:**  
 EASTERN MUNICIPAL WATER DISTRICT  
 2270 TRUMBLES ROAD  
 PERRIS, CA 92570  
 TEL: 800-426-3693

**STORM WATER:**  
 RCFCD AND WCD  
 1995 MARKET STREET  
 RIVERSIDE, CA 92501  
 TEL: 951-955-1200

**ELECTRIC:**  
 SOUTHERN CALIFORNIA EDISON  
 25100 MENEFEE ROAD  
 ROMOLAND, CA 92588  
 TEL: 800-655-4555

**GAS:**  
 SOUTHERN CA. GAS COMPANY  
 P.O. BOX 3150  
 SAN DIMAS, CA 91773  
 TEL: 800-427-2200

**TELEPHONE:**  
 VERIZON  
 TEL: 800-483-5000

**BUILDING - HEIGHT**

3 STORY APARTMENT BUILDINGS - 38' +/-  
 2 STORY OFFICE BUILDING - 32' +/-  
 1 STORY COMMERCIAL BUILDINGS - 20' +/-

**UNIT COUNT/PARKING CALCULATIONS (APARTMENT):**

BUILDING TYPE	# BLDGS	UNITS IN BUILDING	2-CAR GARAGE	PARKING REQUIREMENTS	PARKING PROVIDED
I	11	2, 4	-	60	60
II	4	2, 1	-	96	96
III	7	-	7	98	98
IV	4	-	6	48	48
<b>SUB-TOTAL</b>	<b>26</b>	<b>30</b>	<b>48</b>	<b>202</b>	<b>302 + OPEN SPACES</b>
<b>TOTAL PARKING</b>				<b>302</b>	<b>427</b>

**PARKING SPACE BREAKDOWN**  
 GARAGE PARKING: 126 SPACES  
 COVERED PARKING: 90 SPACES  
 TANDEM PARKING: 70 SPACES  
 OPEN PARKING: 141 SPACES  
 TOTAL PARKING: 427 SPACES

**PARKING CALCULATIONS (COMMERCIAL):**

UNIT	BLDG. AREA	PARKING RATIO	REQUIRED PARKING	PARKING PROVIDED
RETAIL	14,576 SF	1:250	58	58
RESTAURANT: FAST FOOD	11,670 SF	1:100	117	117
RESTAURANT: DELI	1,200 SF	1:250	5	5
OUTDOOR DINING	3,000 SF	1:100	30	30
RESTAURANT	5,670 SF	1:100	56	56
<b>TOTAL</b>			<b>266</b>	<b>269</b>

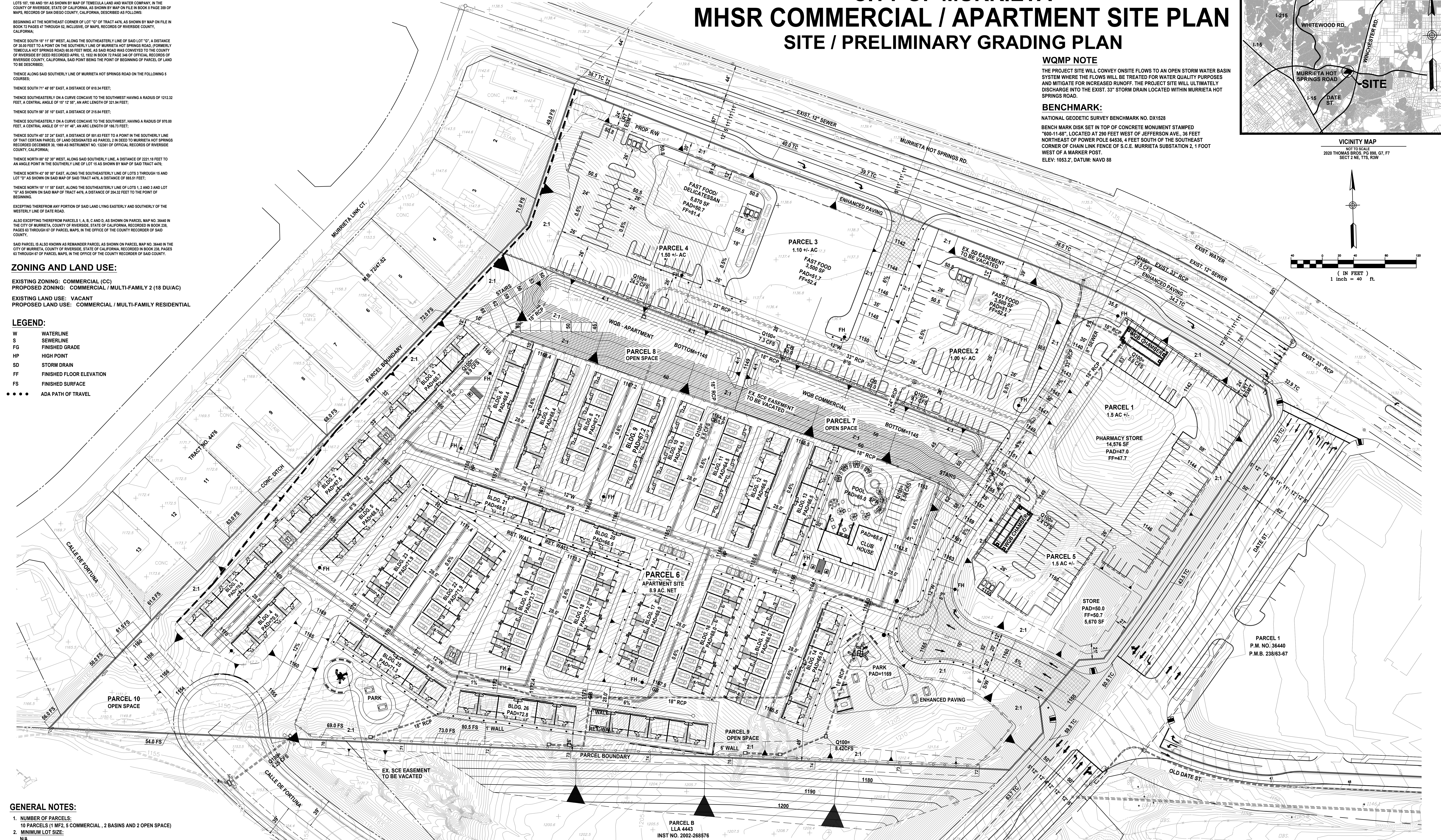
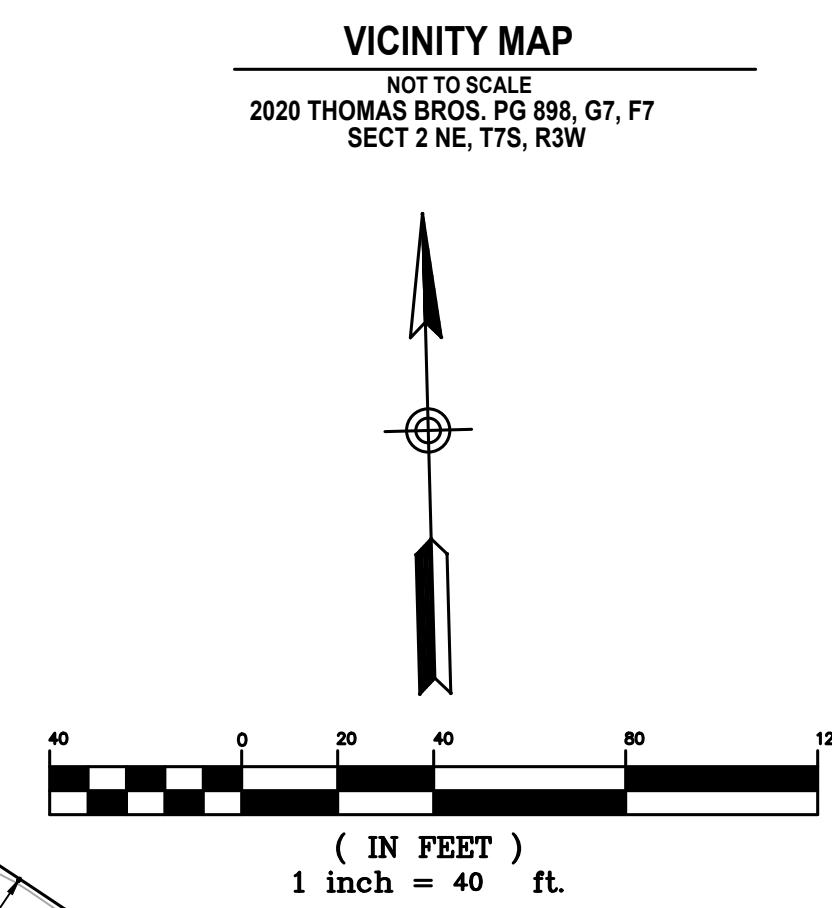
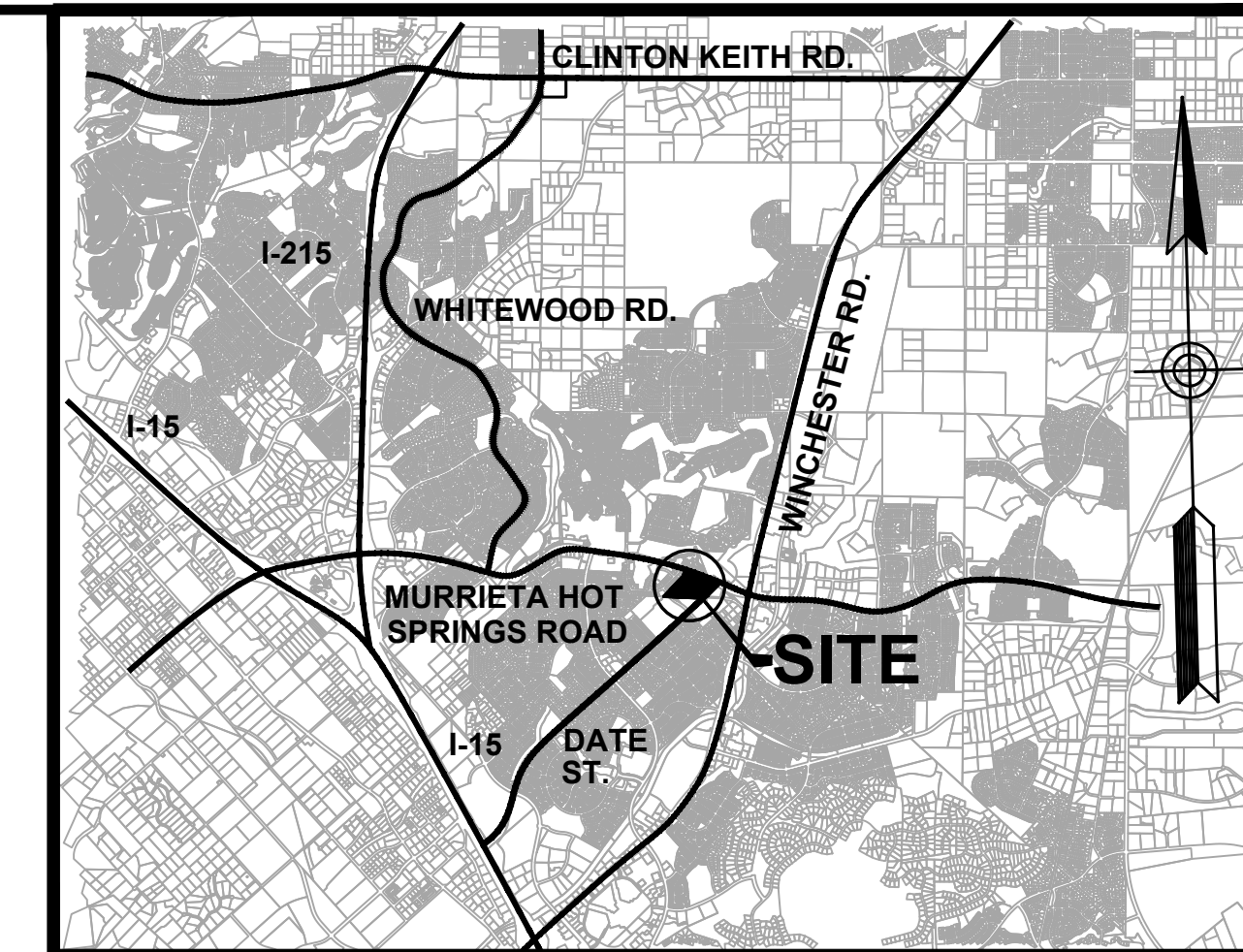
**CITY OF MURRIETA  
 MHSR COMMERCIAL / APARTMENT SITE PLAN  
 SITE / PRELIMINARY GRADING PLAN**

**WQMP NOTE**

THE PROJECT SITE WILL CONVEY ONSITE FLOWS TO AN OPEN STORM WATER BASIN SYSTEM WHERE THE FLOWS WILL BE TREATED FOR WATER QUALITY PURPOSES AND MITIGATE FOR INCREASED RUNOFF. THE PROJECT SITE WILL ULTIMATELY DISCHARGE INTO THE EXIST. 33" STORM DRAIN LOCATED WITHIN MURRIETA HOT SPRINGS ROAD.

**BENCHMARK:**

NATIONAL GEODETIC SURVEY BENCHMARK NO. DX1528  
 BENCH MARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "300+11.65" LOCATED AT 290 FEET WEST OF JEFFERSON AVE. 36 FEET NORTHEAST OF POWER POLE #4536, 4 FEET SOUTH OF THE SOUTHEAST CORNER OF CHAIN LINK FENCE OF S.C.E. MURRIETA SUBSTATION 2, 1 FOOT WEST OF A MARKER POST.  
 ELEV: 1053.2; DATUM: NAVD 88



**EXIST. RW**    **PROPOSED IMPROVEMENTS**    **VARIES 100' - 112'**    **VARIES 50' - 62'**    **EXIST. RW**

**EXIST. RW**    **PROPOSED IMPROVEMENTS**    **VARIES 44' - 55'**    **VARIES 48' - 66'**    **VARIES 10' - 12'**    **EXIST. RW**

**EXIST. RW**    **PROPOSED IMPROVEMENTS**    **VARIES 10' - 21'**    **VARIES 32' - 38'**    **VARIES 5' - 12'**    **EXIST. RW**

**EXIST. RW**    **PROPOSED IMPROVEMENTS**    **VARIES 44' - 55'**    **VARIES 48' - 66'**    **VARIES 10' - 12'**    **EXIST. RW**

**DATE STREET**    **MURRIETA HOT SPRINGS ROAD**

**DEVELOPER / LAND OWNER:**  
**RANCON MHS20, LLC**  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CA 92562  
 TEL: 951-696-0600

**EXHIBIT PREPARED BY:**  
**ACS CONSULTING, INC.**  
 PO BOX 2252  
 TEMECULA CA 92593  
 TEL: 951-787-5178 E: Frank@acsconsultinginc.com

**PREPARED BY:** FRANK A. ARTIGA    **DATE PREPARED:** JANUARY 2022    **DATE:**    **INITIAL:**    **REVISION DESCRIPTION:**

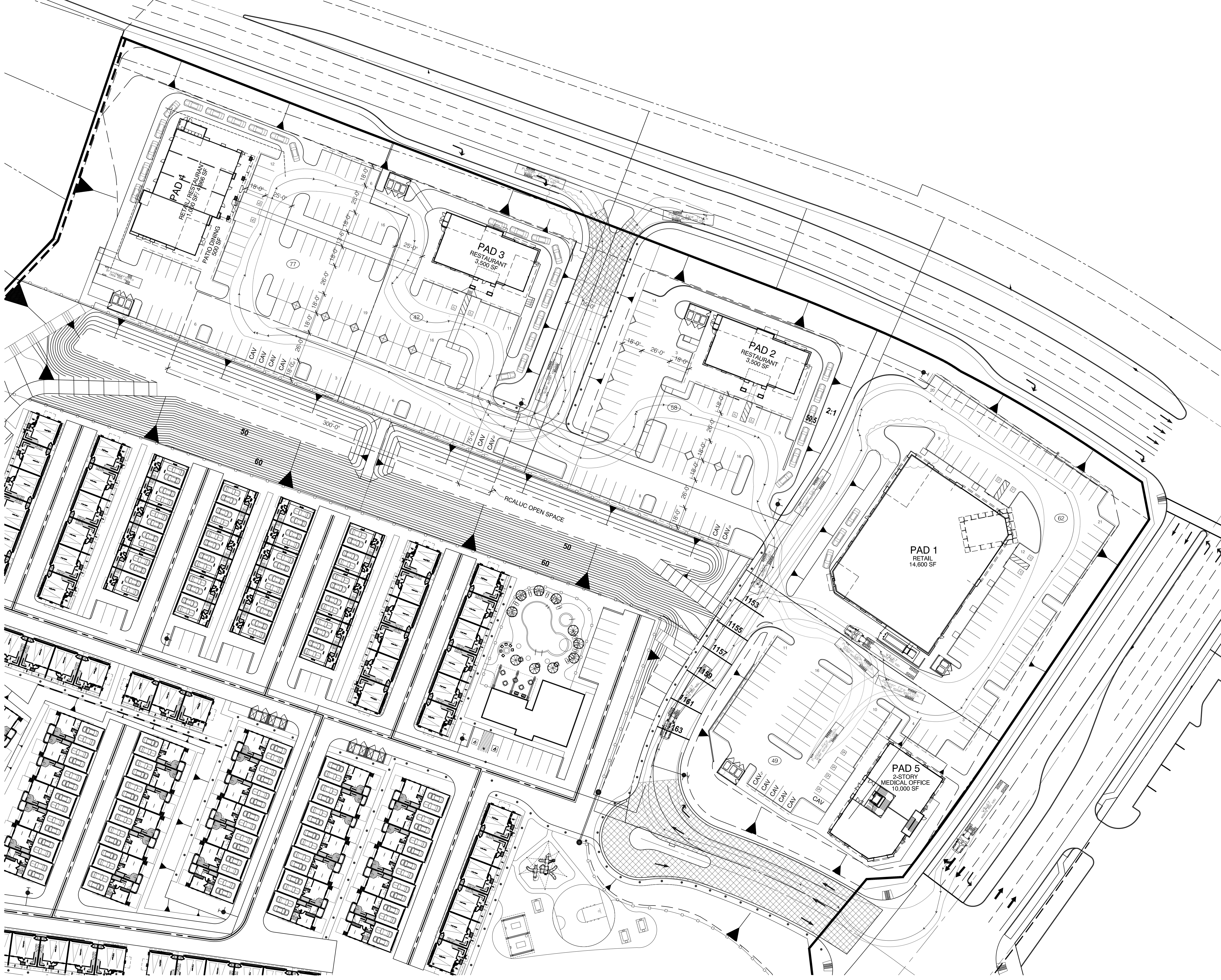
**SHEET 1 OF SHEET 1**    **CITY OF MURRIETA ENGINEERING DEPARTMENT**    **DATE:**    **EXP. DATE:** 6/30/23

**APPROVED:** ROBERT K. MOEHLING, CITY ENGINEER, CITY OF MURRIETA, RCE 63056    **DATE:**    **PROJECT NO.:**    **DRAWING NO.:**

**CHKD BY:** EDWIN SARKIS, PROJECT MANAGER, CITY OF MURRIETA, P.M. 238/63-67    **DATE:**    **PROJECT NO.:**    **DRAWING NO.:**

**FIELD BY:** FRANK ARTIGA





**PARKING** MMC 16.34

RETAIL:	63 STALLS
SALES AREA (1:200)(75% ASSUMED):	19 STALLS
STORAGE AREA (1:600) (25% ASSUMED):	16 STALLS
AVERAGE (1:250):	50 STALLS
RESTAURANT (1:100):	
OUTDOOR DINING (1:100):	
MEDICAL OFFICE (1:200):	
PARKING REQUIRED:	248 STALLS
PARKING PROVIDED:	288 STALLS

STANDARD PARKING SPACE DIMENSIONS:	9' X 18'
MINIMUM DRIVE AISLE WIDTH:	24'
MINIMUM LOADING SPACE DIMENSIONS:	15' X 25'

**VICINITY**



**ACCESSIBLE PARKING**

2019 CBC  
TABLE 11B-208.2

TOTAL NUMBER OF PARKING SPACES PROVIDED	TOTAL NUMBER OF ACCESSIBLE SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1,000	2 PERCENT OF TOTAL
1,001 AND OVER	20 PLUS 1/100 OVER 1,000

TOTAL PARKING PROVIDED: 288 STALLS  
 TOTAL ACCESSIBLE SPACES REQUIRED: 7 STALLS  
 VAN ACCESSIBLE REQ'D (SEC. 11B-208.2.4) 2 OF TOTAL REQ'D

ACCESSIBLE SPACES PROVIDED: 6 STALLS  
 VAN ACCESSIBLE STALLS: 4 STALLS

TOTAL ACCESSIBLE SPACES PROVIDED: 10 STALLS

**CLEAN AIR VEHICLE PARKING**

2019 CAL GREEN  
TABLE 5.106.5.2

TOTAL NUMBER OF PARKING SPACES	TOTAL NUMBER OF PARKING SPACES
0-9	0
10-25	1
26-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	8 PERCENT OF TOTAL

TOTAL PARKING PROVIDED: 288 STALLS  
 TOTAL CAV PARKING REQUIRED: 23 STALLS  
 TOTAL CAV PARKING PROVIDED: \*\*23 STALLS

\*\* (CALGREEN 5.106.5.3.5: FUTURE EVCS SPACES QUALIFY AS DESIGNATED PARKING FOR CLEAN AIR VEHICLES)

**FUTURE ELECTRICAL VEHICLE CHARGING STATIONS**

2019 CAL GREEN  
TABLE 5.106.5.3.3

TOTAL NUMBER OF PARKING SPACES	TOTAL NUMBER OF EVCS SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 AND OVER	6 PERCENT OF TOTAL

2019 CBC  
TABLE 11B-228.3.2.1

TOTAL NUMBER OF EVCS AT A FACILITY	VAN ACCESSIBLE	STANDARD ACCESSIBLE	AMBULATORY
1-4	1	0	0
5-25	1	1	0
26-50	1	1	1
51-75	1	2	2
76-100	1	3	3
101 AND OVER	1 + 1/300 OVER 100	3 + 1/60 OVER 100	1 + 1/50 OVER 100

TOTAL PARKING PROVIDED: 288 STALLS  
 FUTURE EVCS SPACES REQUIRED: 23 STALLS  
 FUTURE ACCESSIBLE SPACES REQ'D (OF TOTAL):  
 VAN ACCESSIBLE: 1 STALL  
 STANDARD ACCESSIBLE: 1 STALL  
 AMBULATORY: 0 STALLS

FUTURE EVCS SPACES PROVIDED:  
 FUTURE STANDARD EVCS SPACES: 20 STALLS  
 FUTURE VAN ACCESSIBLE EVCS: 3 STALLS  
 FUTURE STANDARD ACCESSIBLE EVCS: 0 STALLS  
 FUTURE AMBULATORY EVCS: 0 STALLS

TOTAL FUTURE EVCS SPACES PROVIDED: 22 STALLS

**LEGAL**

ASSESSORS PARCEL NUMBER: 913-950-017 (NO ADDRESS)

OWNER: RANCON MHS 20, LLC  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CA 92562

**ZONING**

LAND USE: COMMERCIAL (C)  
 ZONING: COMMUNITY COMMERCIAL (CC)

SETBACKS:  
 FRONT: 0'  
 SIDE: 10'  
 INTERIOR (ADJ. TO COMMERCIAL): 0.5'  
 INTERIOR (ADJ. TO RESIDENTIAL ZONE): 20'

MAXIMUM BUILDING HEIGHT: 50'  
 MAXIMUM BUILDING COVERAGE: 75%

**PROJECT SUMMARY**

COMMERCIAL LAND AREA: 6.40 AC (278,866 SF±)  
 RETAIL AREA: 15,600 SF  
 RESTAURANT AREA: 11,866 SF  
 MEDICAL OFFICE: 10,000 SF

TOTAL BUILDING AREA: 37,466 SF  
 BUILDING COVERAGE: 13.4%

**RCALUC DENSITY SUMMARY**

PARCEL 1 (PAD 1): 1.56 AC (67,953 SF±)  
 RESTAURANT AREA: 4,600 SF  
 OCCUPANT DENSITY: 123 OCC/AC (COMPLIES)

PARCEL 2 (PAD 2): 0.99 AC (43,124 SF±)  
 RESTAURANT AREA: 3,500 SF  
 DRIVE THRU VEHICLE STACKING: 6 CARS  
 OCCUPANT DENSITY: 120 OCC/AC (COMPLIES)

PARCEL 3 (PAD 3): 0.91 AC (38,640 SF±)  
 RESTAURANT AREA: 3,500 SF  
 DRIVE THRU VEHICLE STACKING: 10 CARS  
 OCCUPANT DENSITY: 137 OCC/AC (COMPLIES)

PARCEL 4 (PAD 4): 1.58 AC (68,824 SF±)  
 RESTAURANT AREA: 5,866 SF  
 PATIO DINING AREA: 500 SF  
 OCCUPANT DENSITY: 122 OCC/AC (COMPLIES)

PARCEL 5 (PAD 5): 1.54 AC (67,082 SF±)  
 OFFICE AREA: 10,000 SF  
 OCCUPANT DENSITY: 65 OCC/AC (COMPLIES)

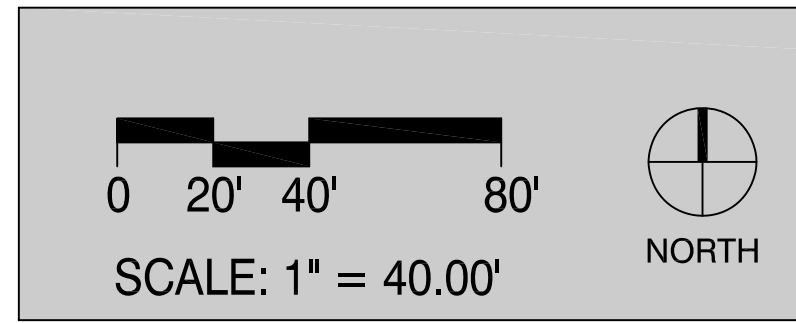
**FUTURE EVCS NOTES:**

- ALL CLEAN AIR VEHICLE PARKING SPACES SHALL BE PROVIDED WITH INFRASTRUCTURE FOR THE ADDITION OF FUTURE ELECTRIC VEHICLE CHARGING STATIONS.
- FUTURE ACCESSIBLE EVCS STALLS SHALL BE CONSTRUCTED TO MEET CURRENT ACCESSIBILITY STANDARDS ALONG ACCESSIBLE ROUTES OR, HAVE THE ABILITY TO BE MODIFIED.  
 AB1100 CHAPTER 819, SECTION 22511.12 (b) AN ACCESSIBLE PARKING SPACE SERVED BY AN ACCESS AISLE SERVED BY ELECTRIC VEHICLE SUPPLY EQUIPMENT OR AN ACCESSIBLE PARKING SPACE WITH AN AISLE DESIGNATED AS A FUTURE ELECTRIC VEHICLE PARKING SPACE SHALL COUNT AS AT LEAST TWO STANDARD AUTOMOBILE PARKING SPACES FOR THE PURPOSE OF COMPLYING WITH ANY MINIMUM PARKING SPACE REQUIREMENTS ESTABLISHED BY A LOCAL JURISDICTION.
- (CALGREEN 5.106.5.3.5: FUTURE EVCS SPACES QUALIFY AS DESIGNATED PARKING FOR CLEAN AIR VEHICLES)

NOTE: BUILDING AREAS AND LAND COVERAGE ARE PRELIMINARY AND SUBJECT TO ADJUSTMENT. ANY PROPOSED DEVELOPMENT IS SUBJECT TO APPROVAL OF GOVERNMENT OR OTHER AGENCIES HAVING JURISDICTION. ALL DIMENSIONS AND SITE CONDITIONS ARE SUBJECT TO VERIFICATION.

**CONCEPTUAL SITE PLAN SCHEME Gv3**

MHS 18 MURRIETA, CA GKPA PROJECT #18118.01 27 FEBRUARY 2023



**MHS 18 COMMERCIAL**  
 MURRIETA, CALIFORNIA

**RANCON GROUP**  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CA 92562  
 951.200.2367

**GK PIERCE ARCHITECTS**  
 3 OVERTURE  
 ALISO VIEJO, CA 92556  
 T 949.344.2710  
 F 949.344.2720  
 gk@piercearchitects.com  
 ©GK PIERCE ARCHITECTS, INC. 2023



COMMERCIAL

Overall Project  
Area: 2,000 sq. ft.

1,133 sq. ft.

864 sq. ft.

1,003 sq. ft.

864 sq. ft.

RESIDENTIAL

VICINITY



FOR REFERENCE ONLY -  
REFER TO ENLARGED  
RESIDENTIAL & COMMERCIAL  
SITE PLANS

OVERALL  
SITE PLAN

0 30 60 120  
SCALE 1" = 80.00'

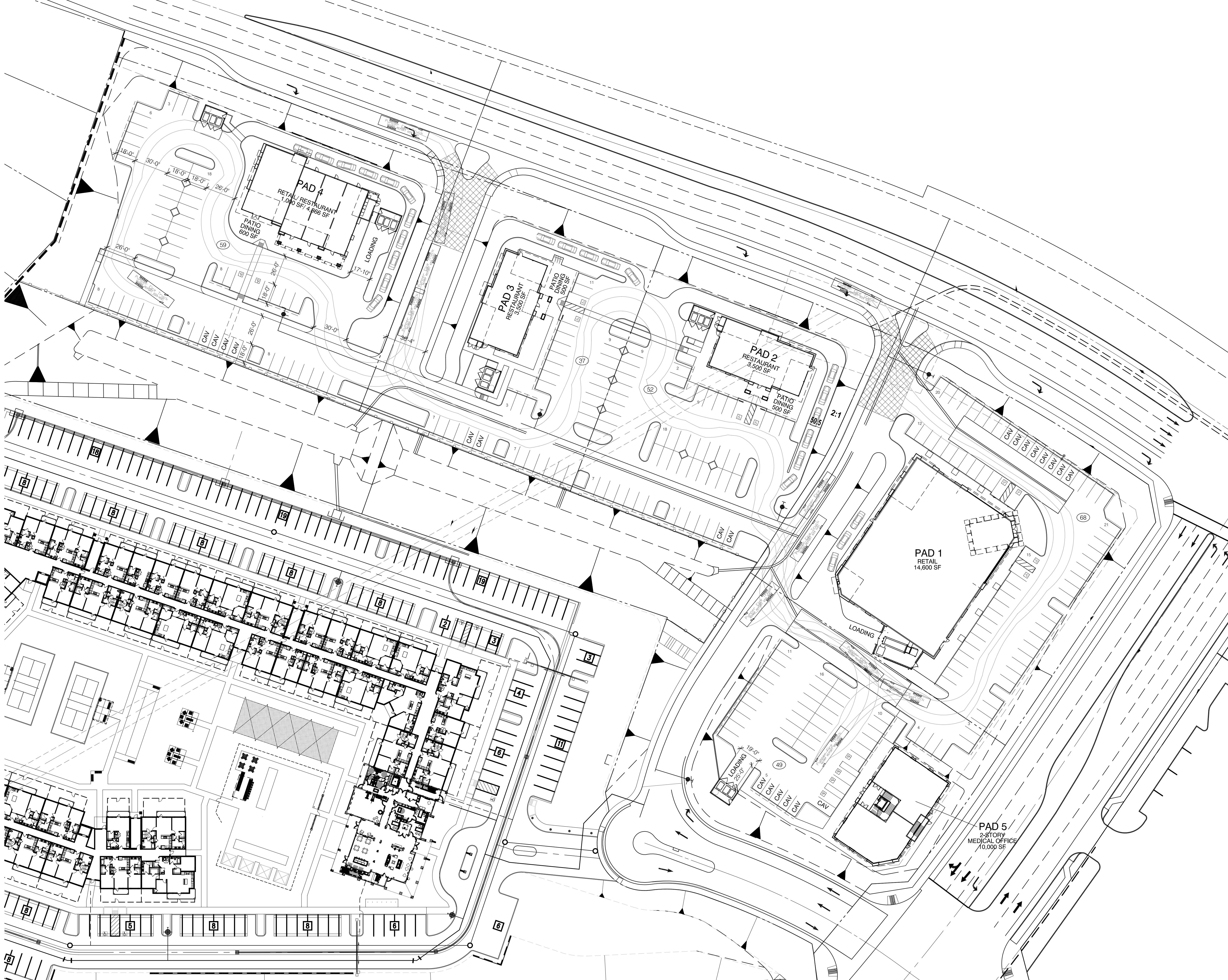


MHS 18 MIXED-USE  
MURRIETA, CALIFORNIA

RANCON GROUP  
4184 KALMA STREET, SUITE 200  
MURRIETA, CA 92562  
951.250.2467







**PARKING** MMC 16.34

RETAIL:  
 SALES AREA (1:200)(75% ASSUMED): 63 STALLS  
 STORAGE AREA (1:600) (25% ASSUMED): 19 STALLS  
 AVERAGE (1:250): 16 STALLS  
 RESTAURANT (1:100): 50 STALLS  
 OUTDOOR DINING (1:100):  
 MEDICAL OFFICE (1:200):  
 PARKING REQUIRED: 248 STALLS  
 PARKING PROVIDED: 265 STALLS

STANDARD PARKING SPACE DIMENSIONS: 9' X 18'  
 MINIMUM DRIVE AISLE WIDTH: 24'  
 MINIMUM LOADING SPACE DIMENSIONS: 15' X 25'

**VICINITY**



**ACCESSIBLE PARKING**

2019 CBC  
 TABLE 11B-208.2

TOTAL NUMBER OF PARKING SPACES PROVIDED	TOTAL NUMBER OF ACCESSIBLE SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1,000	2 PERCENT OF TOTAL
1,001 AND OVER	20 PLUS 1/100 OVER 1,000

TOTAL PARKING PROVIDED: 165 STALLS  
 TOTAL ACCESSIBLE SPACES REQUIRED: 7 STALLS  
 VAN ACCESSIBLE REQ'D (SEC. 11B-208.2.4) 2 OF TOTAL REQ'D

ACCESSIBLE SPACES PROVIDED: 6 STALLS  
 VAN ACCESSIBLE STALLS: 4 STALLS

TOTAL ACCESSIBLE SPACES PROVIDED: 10 STALLS

**LEGAL**

ASSESSORS PARCEL NUMBER:  
 913-350-017 (NO ADDRESS)

OWNER:  
 RANCON MHS 20, LLC  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CA 92562

**ZONING**

LAND USE: COMMERCIAL (C)  
 ZONING: COMMUNITY COMMERCIAL (CC)

SETBACKS:  
 FRONT:  
 SIDE:  
 INTERIOR (ADJ. TO COMMERCIAL): 10'  
 INTERIOR (ADJ. TO RESIDENTIAL ZONE): 0'  
 MAXIMUM BUILDING HEIGHT: 50'  
 MAXIMUM BUILDING COVERAGE: 75%

**PROJECT SUMMARY**

COMMERCIAL LAND AREA: 6.58 AC (286,625 SF ±)  
 RETAIL: 15,600 SF  
 RESTAURANT: 11,866 SF  
 MEDICAL OFFICE: 10,000 SF  
 TOTAL BUILDING AREA: 37,466 SF  
 BUILDING COVERAGE: 13.1%

**CLEAN AIR VEHICLE PARKING**

2019 CAL GREEN  
 TABLE 5.106.5.2

TOTAL NUMBER OF PARKING SPACES	TOTAL NUMBER OF PARKING SPACES
0-9	0
10-25	1
26-50	3
51-75	6
76-100	8
101-150	11
151-200	16
201 AND OVER	8 PERCENT OF TOTAL

TOTAL PARKING PROVIDED: 265 STALLS  
 TOTAL CAV PARKING REQUIRED: 22 STALLS  
 TOTAL CAV PARKING PROVIDED: \*\*22 STALLS

\*\* (CALGREEN 5.106.5.3.5: FUTURE EVCS SPACES QUALIFY AS DESIGNATED PARKING FOR CLEAN AIR VEHICLES)

**FUTURE ELECTRICAL VEHICLE CHARGING STATIONS**

2019 CAL GREEN  
 TABLE 5.106.5.3.3

TOTAL NUMBER OF PARKING SPACES	TOTAL NUMBER OF EVCS SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 AND OVER	6 PERCENT OF TOTAL

2019 CBC  
 TABLE 11B-228.3.2.1

TOTAL NUMBER OF EVCS AT A FACILITY	VAN ACCESSIBLE	STANDARD ACCESSIBLE	AMBULATORY
1-4	1	0	0
5-25	1	1	0
26-50	1	1	1
51-75	1	2	2
76-100	1	3	3
101 AND OVER	1 + 1/300 OVER 100	3 + 1/60 OVER 100	1 + 1/50 OVER 100

TOTAL PARKING PROVIDED: 265 STALLS  
 FUTURE EVCS SPACES REQUIRED: 22 STALLS  
 FUTURE ACCESSIBLE SPACES REQ'D (OF TOTAL):  
 VAN ACCESSIBLE: 1 STALL  
 STANDARD ACCESSIBLE: 1 STALL  
 AMBULATORY: 0 STALLS

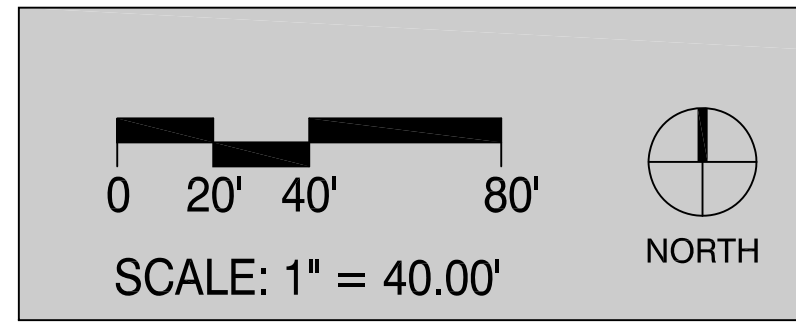
FUTURE EVCS SPACES PROVIDED: 19 STALLS  
 FUTURE STANDARD EVCS SPACES: 3 STALLS  
 FUTURE VAN ACCESSIBLE EVCS: 0 STALLS  
 FUTURE STANDARD ACCESSIBLE EVCS: 0 STALLS  
 FUTURE AMBULATORY EVCS: 0 STALLS

TOTAL FUTURE EVCS SPACES PROVIDED: 22 STALLS

NOTE: BUILDING AREAS AND LAND COVERAGE ARE PRELIMINARY AND SUBJECT TO ADJUSTMENT. ANY PROPOSED DEVELOPMENT IS SUBJECT TO APPROVAL OF GOVERNMENT OR OTHER AGENCIES HAVING JURISDICTION. ALL DIMENSIONS AND SITE CONDITIONS ARE SUBJECT TO VERIFICATION.

**CONCEPTUAL SITE PLAN SCHEME Bv1**

MHS 18 MURRIETA, CA GKPA PROJECT #18118.01 22 APRIL 2022

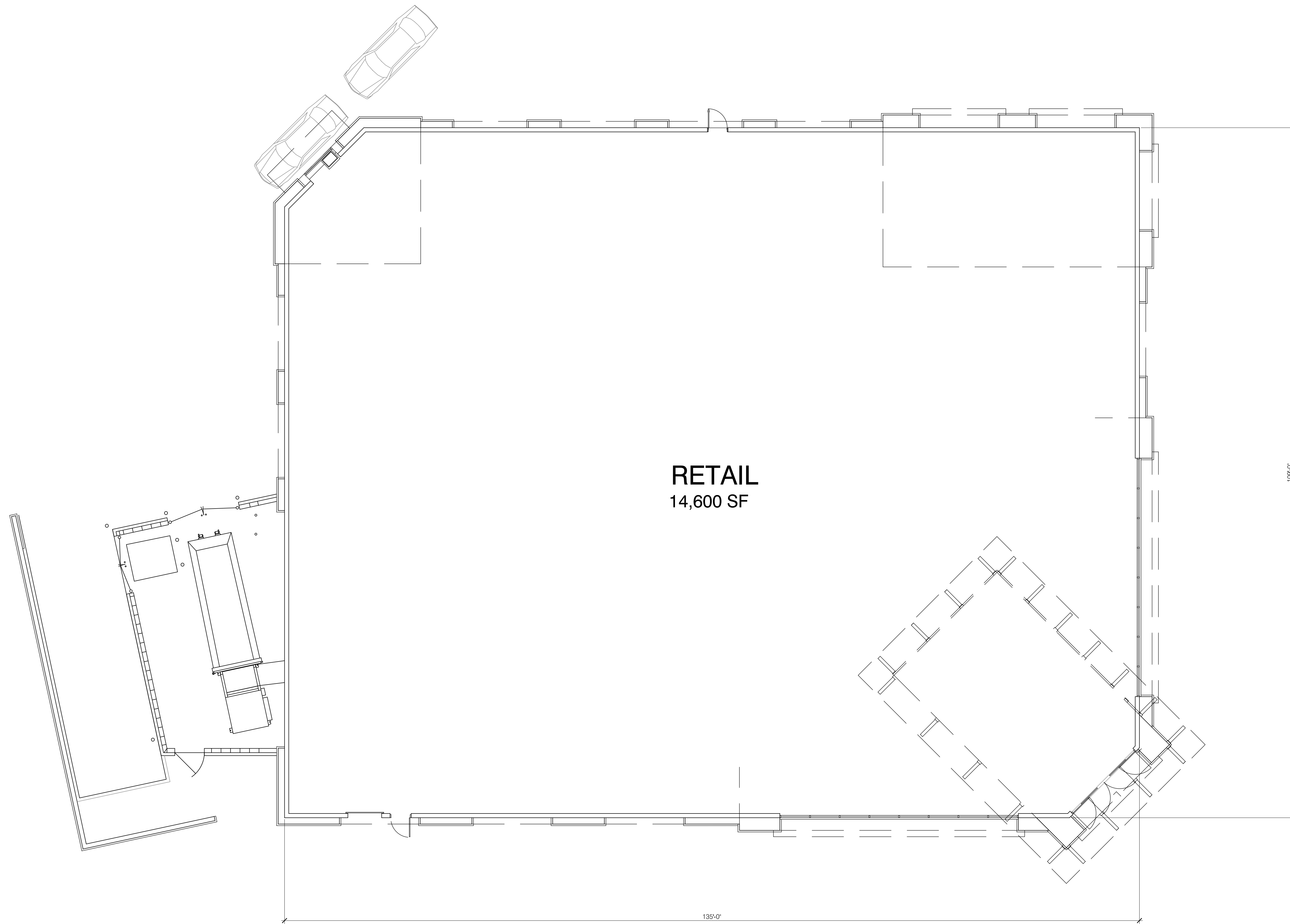


**MHS 18 COMMERCIAL**  
 MURRIETA, CALIFORNIA

**RANCON GROUP**  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CA 92562  
 951.200.2367

**GK PIERCE ARCHITECTS**  
 3 OVERTURE  
 ALISO VIEJO, CA 92556  
 T 949.344.2710  
 F 949.344.2720  
 gk@piercearchitects.com  
 ©GK PIERCE ARCHITECTS, INC. 2022





RETAIL  
14,600 SF

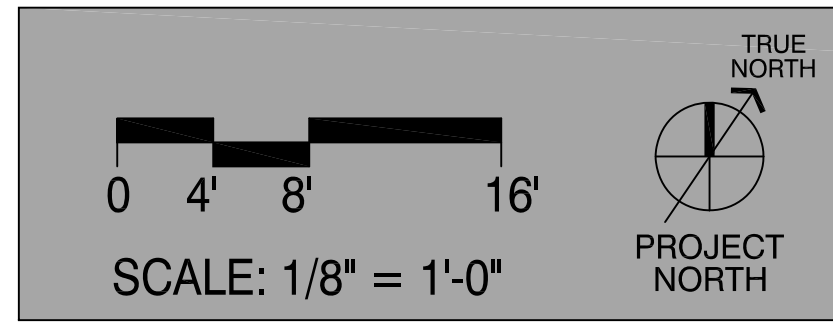
109'-0"

135'-0"

**PAD 1  
FLOOR PLAN**

MHS 18  
MURRIETA, CA

GKPA PROJECT # 18118.01  
25 JANUARY 2022



**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367

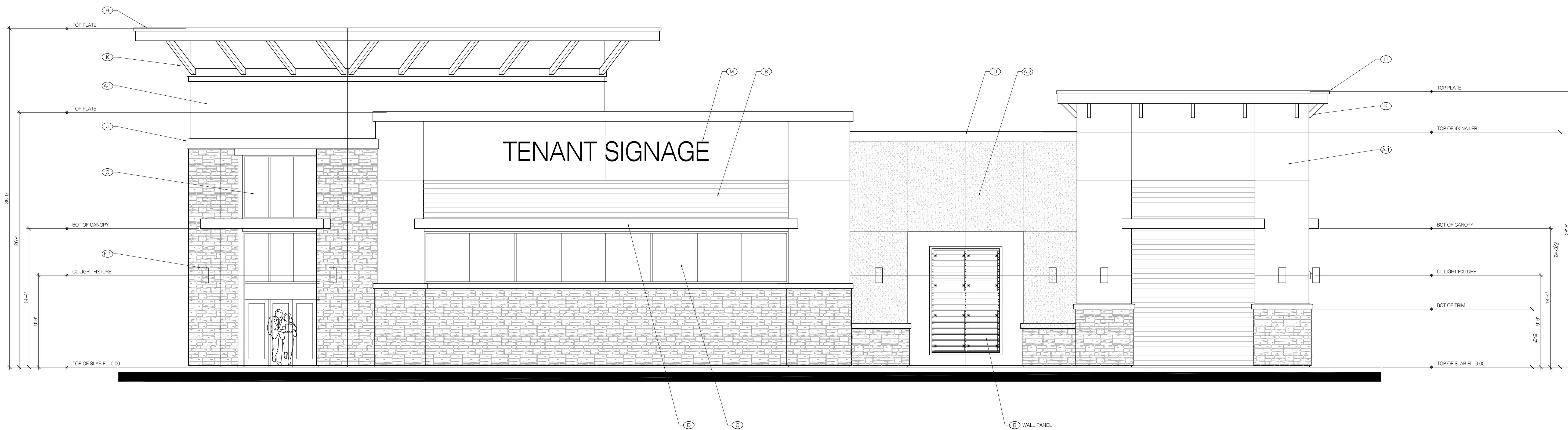
**GK PIERCE**  
ARCHITECTS

3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

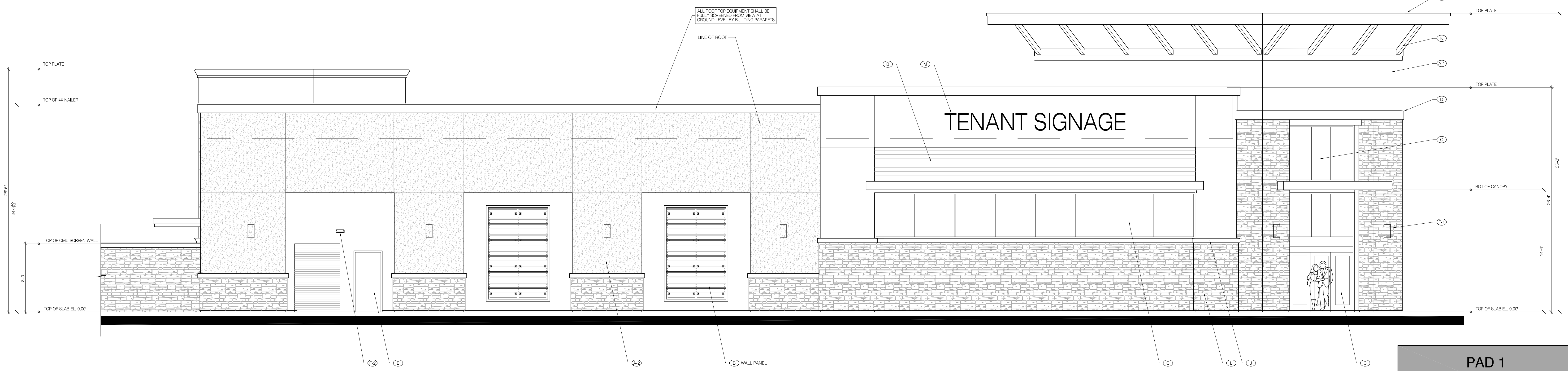
©GK PIERCE ARCHITECTS, INC. 2022

**EXTERIOR MATERIALS & FINISHES**

- (A-1) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7035  
"AESTHETIC WHITE"
- (A-2) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7022  
"ALPACA"
- (A-3) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7024  
"FUNCTIONAL GRAY"
- (B) FIBERON WILDWOOD COMPOSITE CLADDING  
PROFILE: 1 X 6 OPEN-JOINT  
COLOR: PALO
- (C) ALUMINUM STOREFRONT SYSTEM-  
COLOR: ANODIZED BLACK
- (D) PREFABRICATED CANOPY-  
MAFES SUPER LUMIDECK CANTILEVER CANOPY  
SYSTEM  
COLOR: ANODIZED CLEAR ALUMINUM
- (E) METAL DOORS & FRAMES- PAINTED  
COLOR: TO MATCH ADJACENT SURFACE
- (F-1) WALL MOUNTED CYLINDER-  
CONTECH LIGHTING CY9440KMVDWMCLR-W  
ELECT DRAWINGS
- (F-2) WALL PACK LIGHT FIXTURE-  
CREE XSPW LED WALL MOUNT- WHITE  
GALVANIZED SHEET METAL COPING-  
PAINT TO MATCH ITEM A-2
- (G) SHEET METAL COPING-  
PAINT TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (H) ALUMINUM CORNICE/ TRIM-  
COLOR: ANODIZED CLEAR ALUMINUM
- (J) IMPACT RESISTANT FOAM TRIM/ CAP-  
TEXTURE: SMOOTH (3/8" COATING)  
INTEGRAL COLOR COATING TO MATCH SHERWIN  
WILLIAMS SW 7025 "BACKDROP"
- (K) WOOD CORBELS & TRIM-  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (L) MANUFACTURED STONE VENEER-  
CORONADO STONE  
PLAYA VISTA LIMESTONE- CREAM (DRystack)
- (M) SIGNAGE UNDER SEPARATE PERMIT-  
REFER TO SIGN PROGRAM



**NORTH (MURRIETA HOT SPRINGS ROAD) ELEVATION**

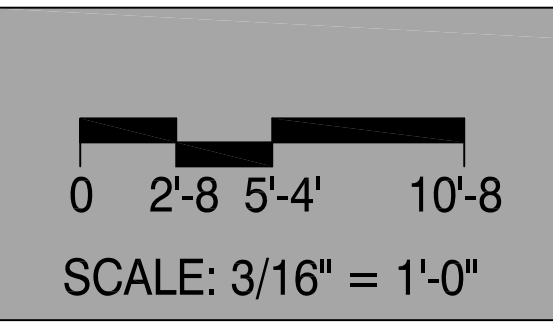


**EAST (DATE STREET) ELEVATION**

**PAD 1  
EXTERIOR ELEVATIONS**

MHS 18  
MURRIETA, CA

GKPA PROJECT # 18118.01  
25 JANUARY 2022



**MHS 18 COMMERCIAL  
MURRIETA, CALIFORNIA**

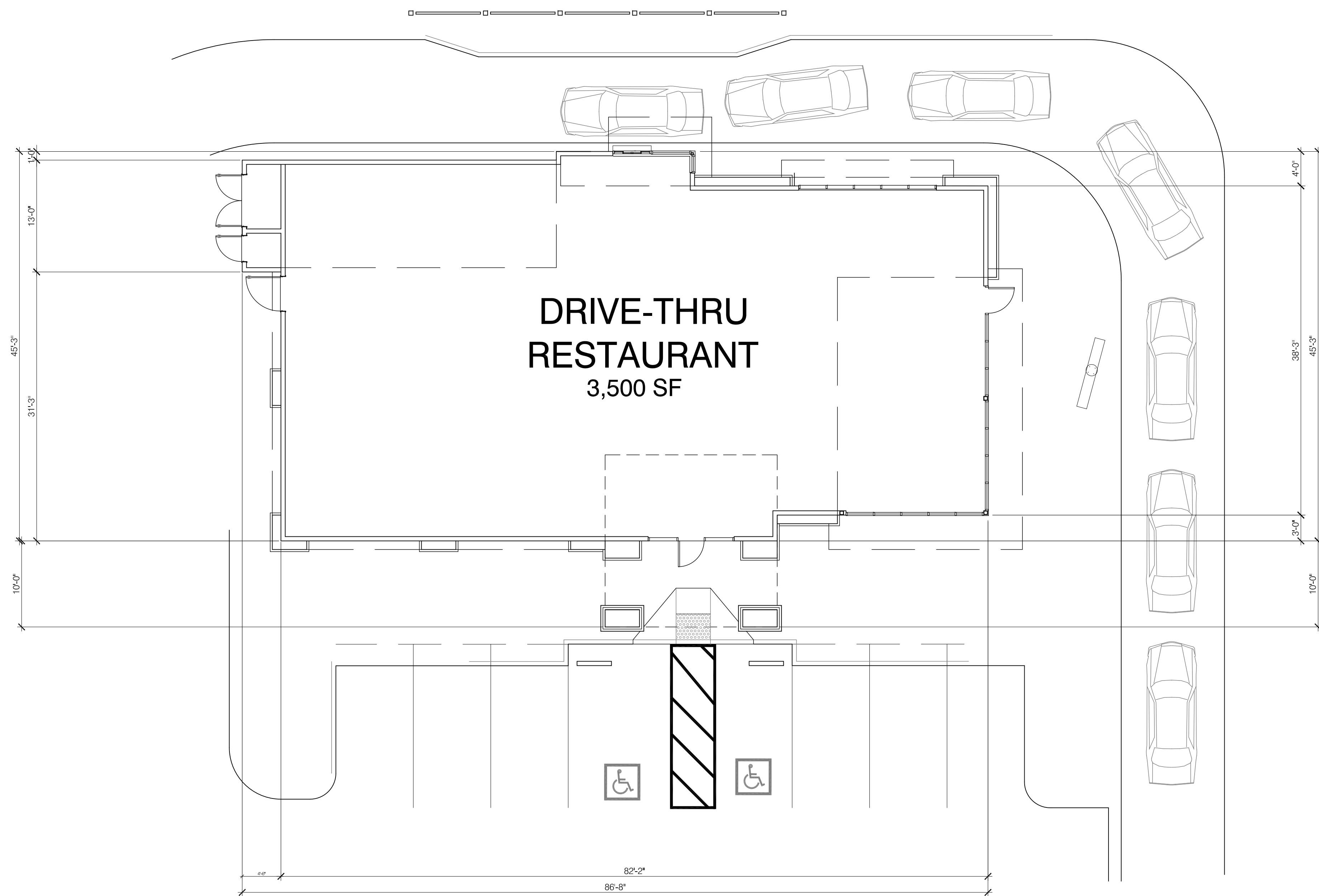
**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367

**GK PIERCE  
ARCHITECTS**

3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

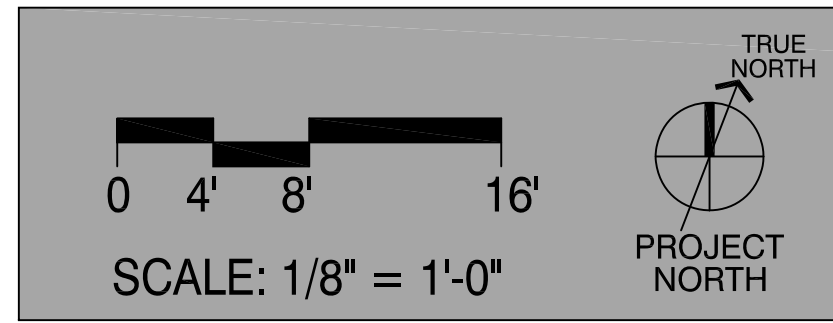
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**PAD 2  
FLOOR PLAN  
(PAD 3 SIMILAR)**

MHS 18  
MURRIETA, CA

GKPA PROJECT #18118.01  
25 JANUARY 2022

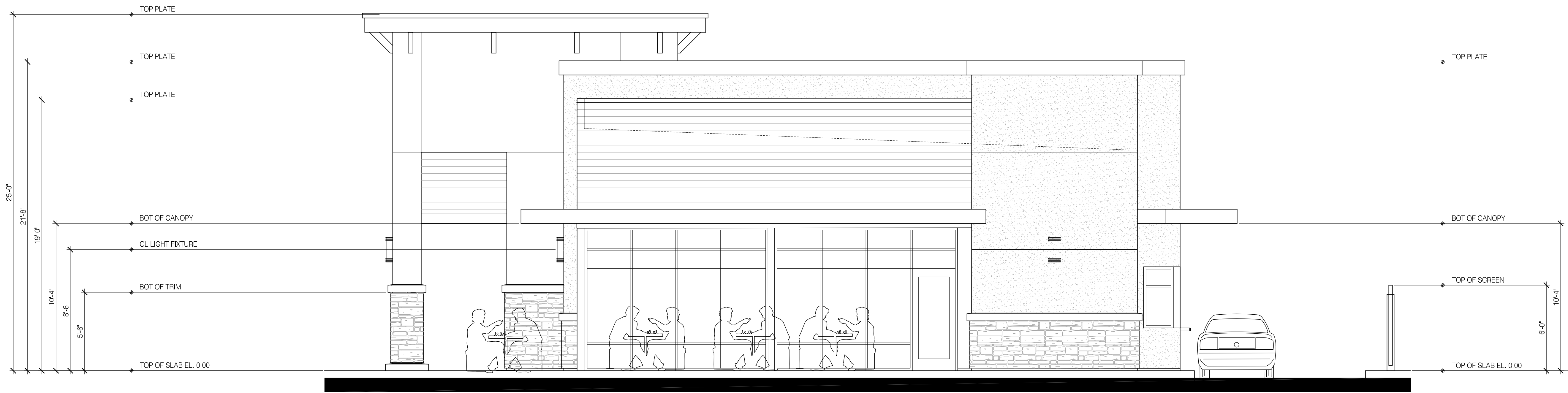


**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367

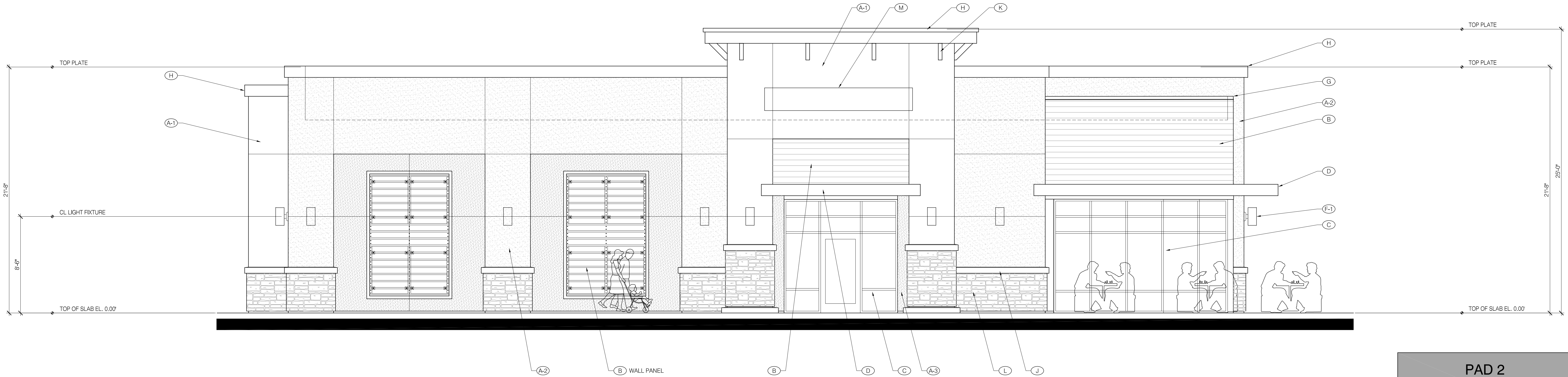




EAST ELEVATION

EXTERIOR MATERIALS & FINISHES

- (A-1) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7035  
"AESTHETIC WHITE"
- (A-2) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7022  
"ALPACA"
- (A-3) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7024  
"FUNCTIONAL GRAY"
- (B) FIBERON WILDWOOD COMPOSITE CLADDING  
PROFILE: 1 X 6 OPEN-JOINT  
COLOR: PALO
- (C) ALUMINUM STOREFRONT SYSTEM-  
COLOR: ANODIZED BLACK
- (D) PREFABRICATED CANOPY-  
MAFES SUPER LUMIDECK CANTILEVER CANOPY  
SYSTEM  
COLOR: ANODIZED CLEAR ALUMINUM
- (E) METAL DOORS & FRAMES- PAINTED  
COLOR: TO MATCH ADJACENT SURFACE
- (F-1) WALL MOUNTED CYLINDER-  
CONTECH LIGHTING CY9440KMVDWMCLR-W  
ELECT DRAWINGS
- (F-2) WALL PACK LIGHT FIXTURE-  
CREE XSPW LED WALL MOUNT- WHITE  
GALVANIZED SHEET METAL COPING-  
PAINT TO MATCH ITEM A-2
- (G) SHEET METAL COPING-  
PAINT TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (H) ALUMINUM CORNICE/ TRIM-  
COLOR: ANODIZED CLEAR ALUMINUM
- (J) IMPACT RESISTANT FOAM TRIM/ CAP-  
TEXTURE: SMOOTH (3/8" COATING)  
INTEGRAL COLOR COATING TO MATCH SHERWIN  
WILLIAMS SW 7025 "BACKDROP"
- (K) WOOD CORBELS & TRIM-  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (L) MANUFACTURED STONE VENEER-  
CORONADO STONE  
PLAYA VISTA LIMESTONE- CREAM (DRYSTACK)
- (M) SIGNAGE UNDER SEPARATE PERMIT-  
REFER TO SIGN PROGRAM

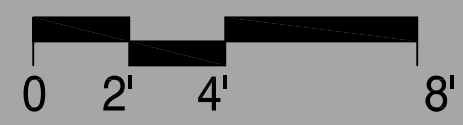


SOUTH ELEVATION

PAD 2  
EXTERIOR ELEVATIONS  
(PAD 3 SIMILAR)

MHS 18  
MURRIETA, CA

GKPA PROJECT # 18118.01  
25 JANUARY 2022



SCALE: 1/4" = 1'-0"

MHS 18 COMMERCIAL  
MURRIETA, CALIFORNIA

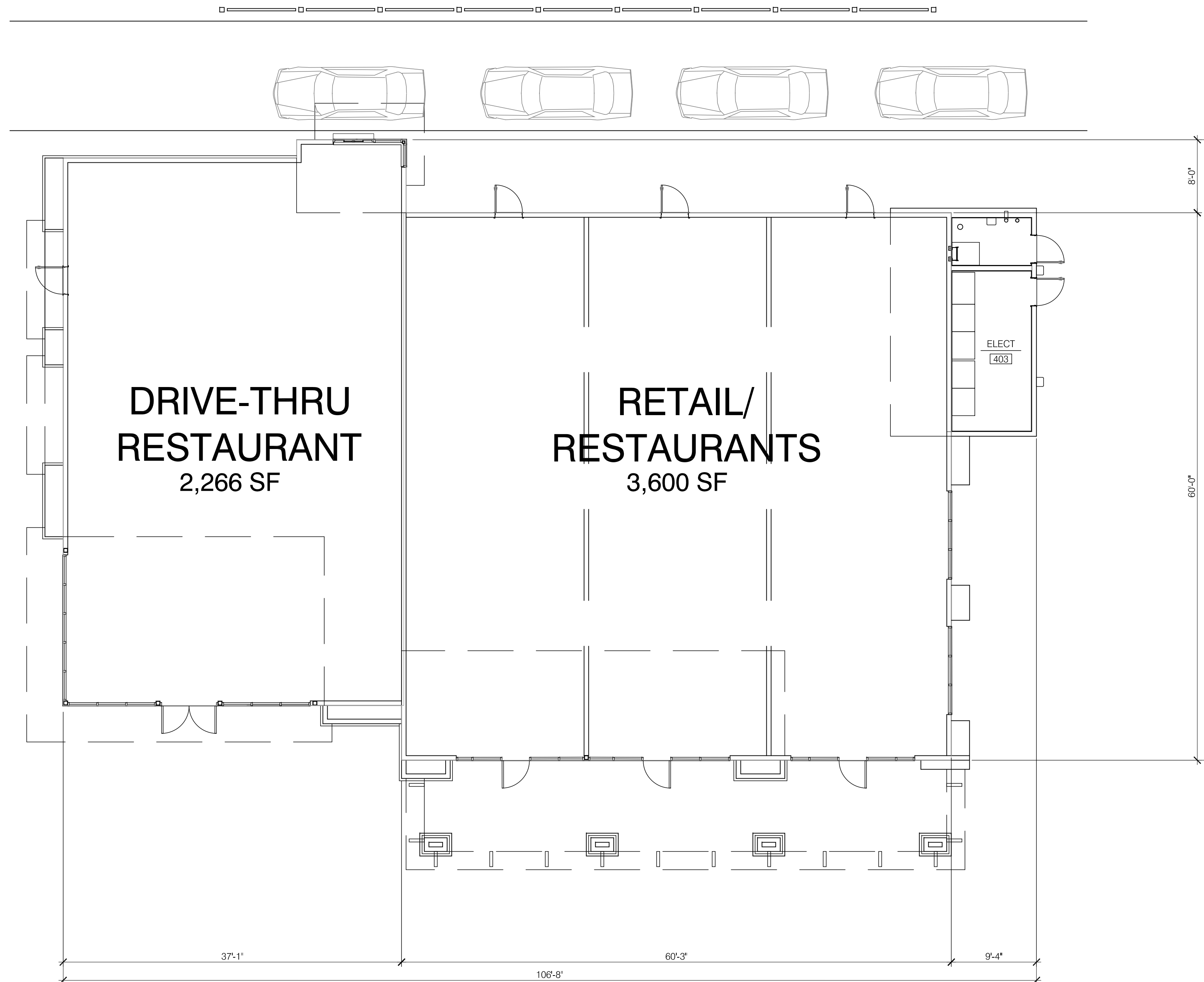
RANCON GROUP

41391 KALMA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367

**GK PIERCE**  
ARCHITECTS

3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

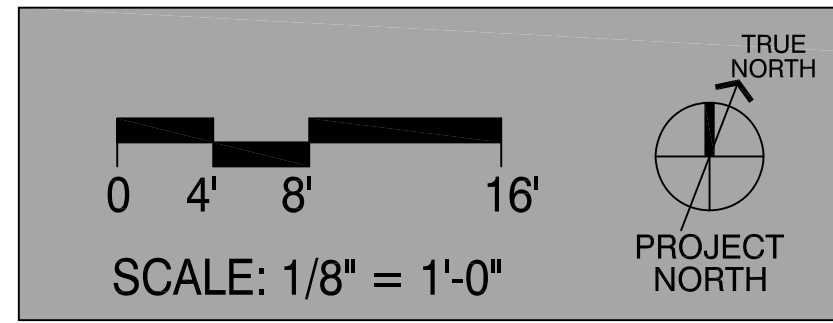
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**PAD 4  
FLOOR PLAN**

MHS 18  
MURRIETA, CA

GKPA PROJECT #18118.01  
25 JANUARY 2022



**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367

**GK PIERCE**  
ARCHITECTS

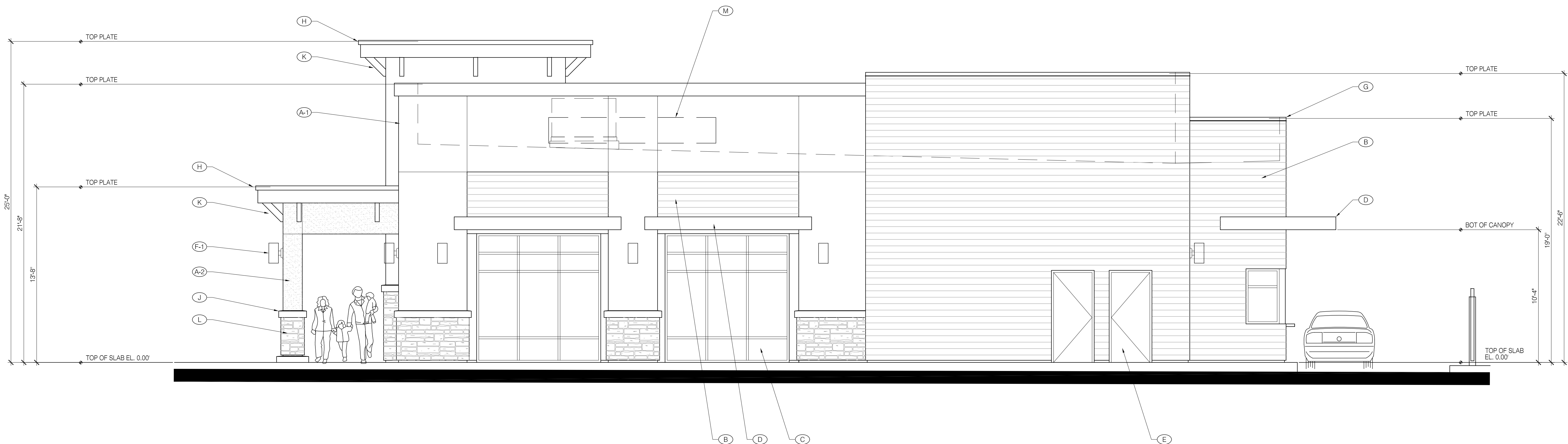
3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

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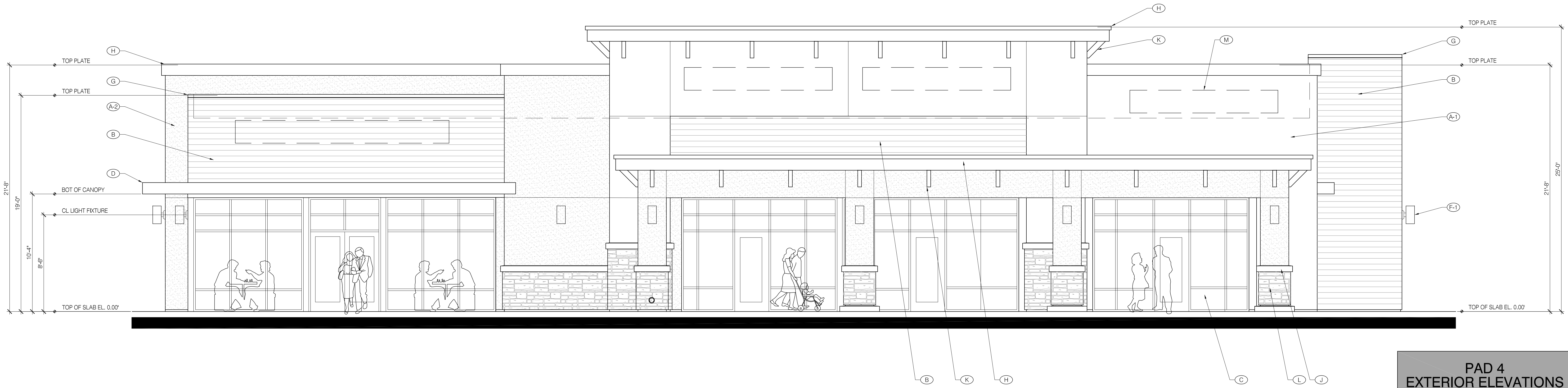


**EXTERIOR MATERIALS & FINISHES**

- (A-1) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7035  
"AESTHETIC WHITE"
- (A-2) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7022  
"ALPACA"
- (A-3) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7024  
"FUNCTIONAL GRAY"
- (B) FIBERON WILDWOOD COMPOSITE CLADDING  
PROFILE: 1 X 6 OPEN-JOINT  
COLOR: PALO
- (C) ALUMINUM STOREFRONT SYSTEM-  
COLOR: ANODIZED BLACK
- (D) PREFABRICATED CANOPY-  
MAPES SUPER LUMIDECK CANTILEVER CANOPY  
SYSTEM  
COLOR: ANODIZED CLEAR ALUMINUM
- (E) METAL DOORS & FRAMES- PAINTED  
COLOR: TO MATCH ADJACENT SURFACE
- (F-1) WALL MOUNTED CYLINDER-  
CONTECH LIGHTING CY9440KMVDXWMLR-W  
ELECT DRAWINGS
- (F-2) WALL PACK LIGHT FIXTURE-  
CREE XSPW LED WALL MOUNT- WHITE  
GALVANIZED SHEET METAL COPING-  
PAINT TO MATCH ITEM A-2
- (G) SHEET METAL COPING-  
PAINT TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (H) ALUMINUM CORNICE/ TRIM-  
COLOR: ANODIZED CLEAR ALUMINUM
- (J) IMPACT RESISTANT FOAM TRIM/ CAP-  
TEXTURE: SMOOTH (3/8" COATING)  
INTEGRAL COLOR COATING TO MATCH SHERWIN  
WILLIAMS SW 7025 "BACKDROP"
- (K) WOOD CORBELS & TRIM-  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (L) MANUFACTURED STONE VENEER-  
CORONADO STONE  
PLAYA VISTA LIMESTONE- CREAM (DRYSTACK)
- (M) SIGNAGE UNDER SEPARATE PERMIT-  
REFER TO SIGN PROGRAM



**EAST ELEVATION**

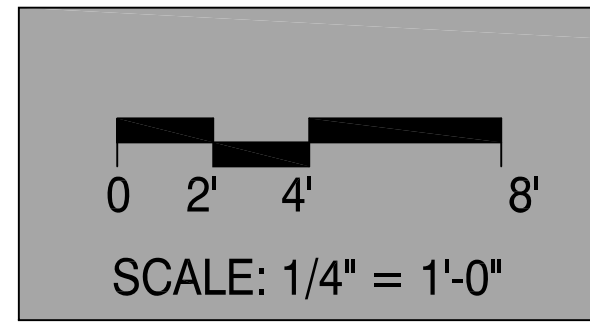


**SOUTH ELEVATION**

**PAD 4  
EXTERIOR ELEVATIONS**

MHS 18  
MURRIETA, CA

GKPA PROJECT # 18118.01  
25 JANUARY 2022



**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

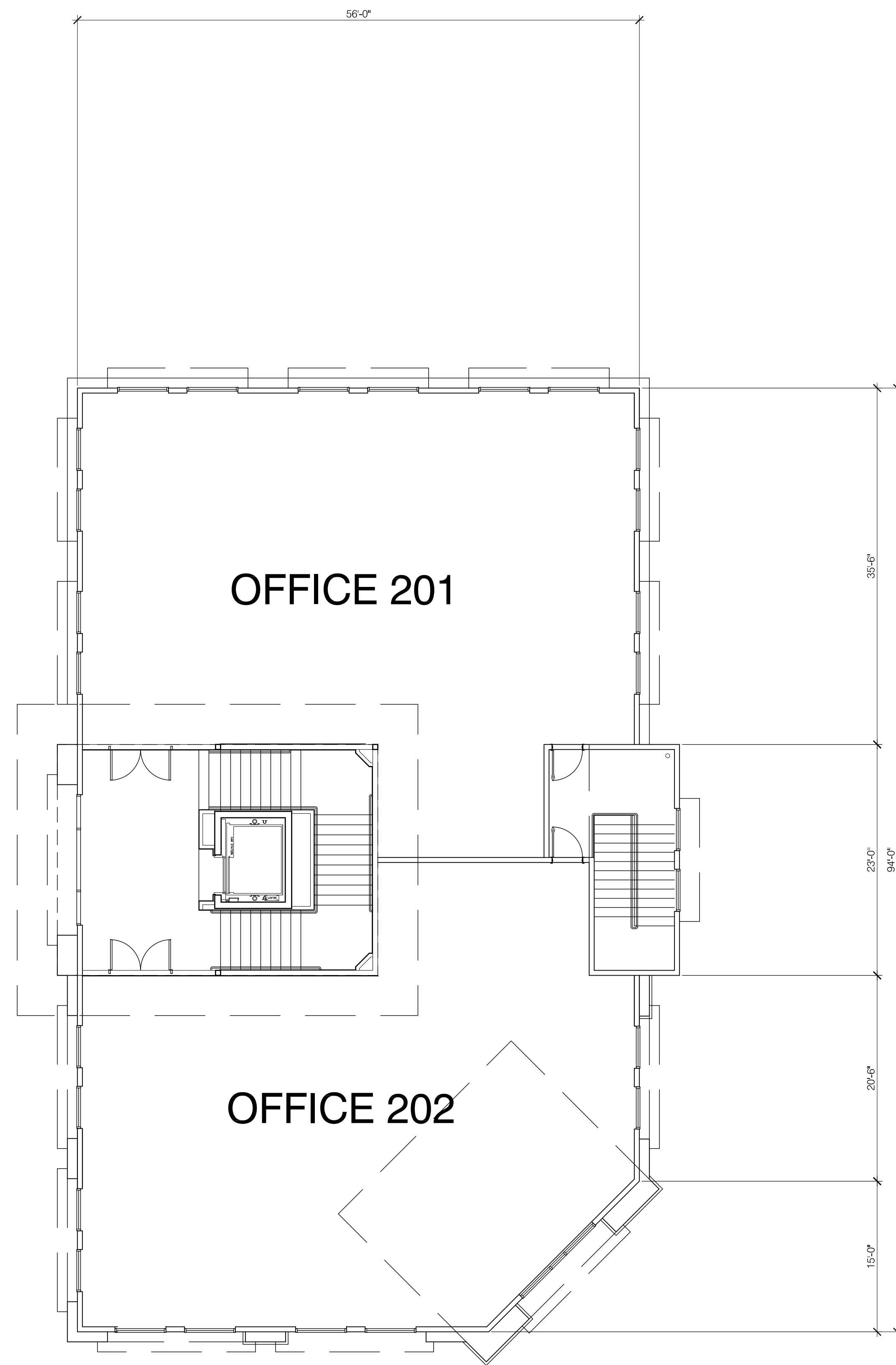
**RANCON GROUP**

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MURRIETA, CA 93562  
951.200.2367

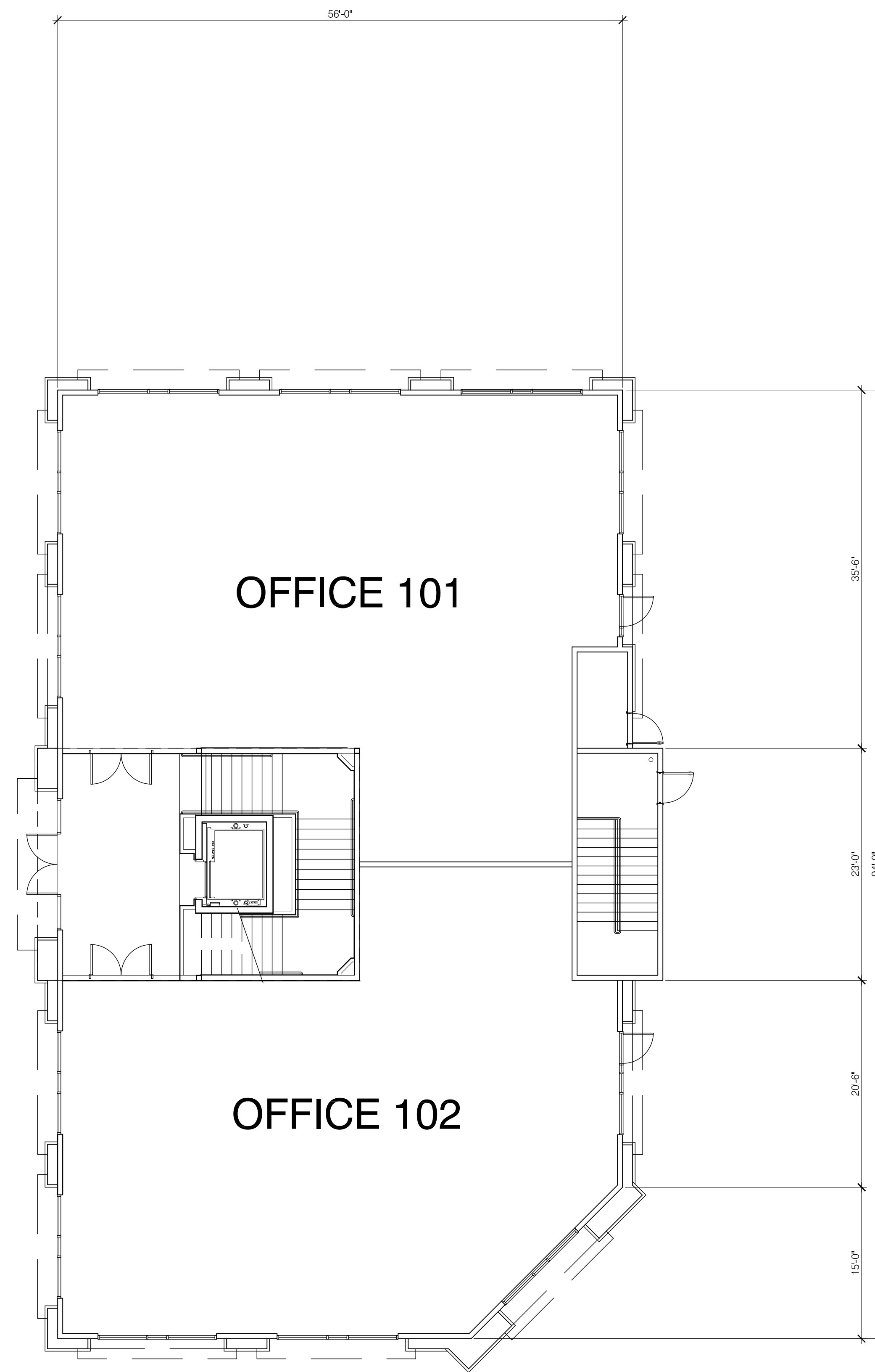
**GK PIERCE**  
ARCHITECTS

3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

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SECOND FLOOR

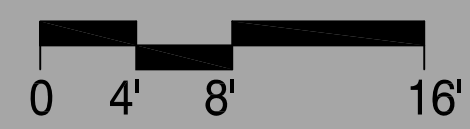


FIRST FLOOR

PAD 5  
FLOOR PLANS

MHS 18  
MURRIETA, CA

GKPA PROJECT #18118.01  
25 JANUARY 2022



SCALE: 1/8" = 1'-0"



**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367



3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

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**EXTERIOR MATERIALS & FINISHES**

- (A-1) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7035  
"AESTHETIC WHITE"
- (A-2) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7022  
"ALPACA"
- (A-3) EXTERIOR CEMENT PLASTER SYSTEM (ECPS)-  
FINISH: FINE SAND  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7024  
"FUNCTIONAL GRAY"
- (B) FIBERON WILDWOOD COMPOSITE CLADDING  
PROFILE: 1 X 6 OPEN-JOINT  
COLOR: PALO
- (C) ALUMINUM STOREFRONT SYSTEM-  
COLOR: ANODIZED BLACK
- (D) PREFABRICATED CANOPY-  
MAPES SUPER LUMIDECK CANTILEVER CANOPY  
SYSTEM  
COLOR: ANODIZED CLEAR ALUMINUM
- (E) METAL DOORS & FRAMES- PAINTED  
COLOR: TO MATCH ADJACENT SURFACE
- (F-1) WALL MOUNTED CYLINDER-  
CONTECH LIGHTING CY9440KMVDWXMCLR-W  
ELECT DRAWINGS
- (F-2) WALL PACK LIGHT FIXTURE-  
CREE XSPW LED WALL MOUNT- WHITE  
GALVANIZED SHEET METAL COPING-  
PAINT TO MATCH ITEM A-2
- (G) SHEET METAL COPING-  
PAINT TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (H) ALUMINUM CORNICE/ TRIM-  
COLOR: ANODIZED CLEAR ALUMINUM
- (J) IMPACT RESISTANT FOAM TRIM/ CAP-  
TEXTURE: SMOOTH (3/8" COATING)  
INTEGRAL COLOR COATING TO MATCH SHERWIN  
WILLIAMS SW 7025 "BACKDROP"
- (K) WOOD CORBELS & TRIM-  
COLOR: TO MATCH SHERWIN WILLIAMS SW 7025  
"BACKDROP"
- (L) MANUFACTURED STONE VENEER-  
CORONADO STONE  
PLAYA VISTA LIMESTONE- CREAM (DRystack)
- (M) SIGNAGE UNDER SEPARATE PERMIT-  
REFER TO SIGN PROGRAM



**WEST ELEVATION**



**NORTH (MURRIETA HOT SPRINGS ROAD) ELEVATION**

**PAD 5  
EXTERIOR ELEVATIONS**

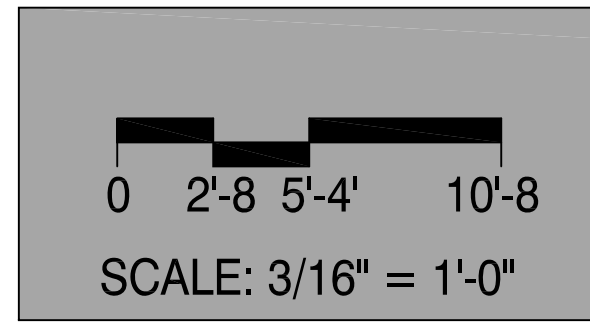
MHS 18  
MURRIETA, CA

GKPA PROJECT #18118.01  
25 JANUARY 2022

**GKPIERCE**  
ARCHITECTS

3 OVERTURE  
ALISO VIEJO, CA 92656  
T 949.344.2710  
F 949.344.2720

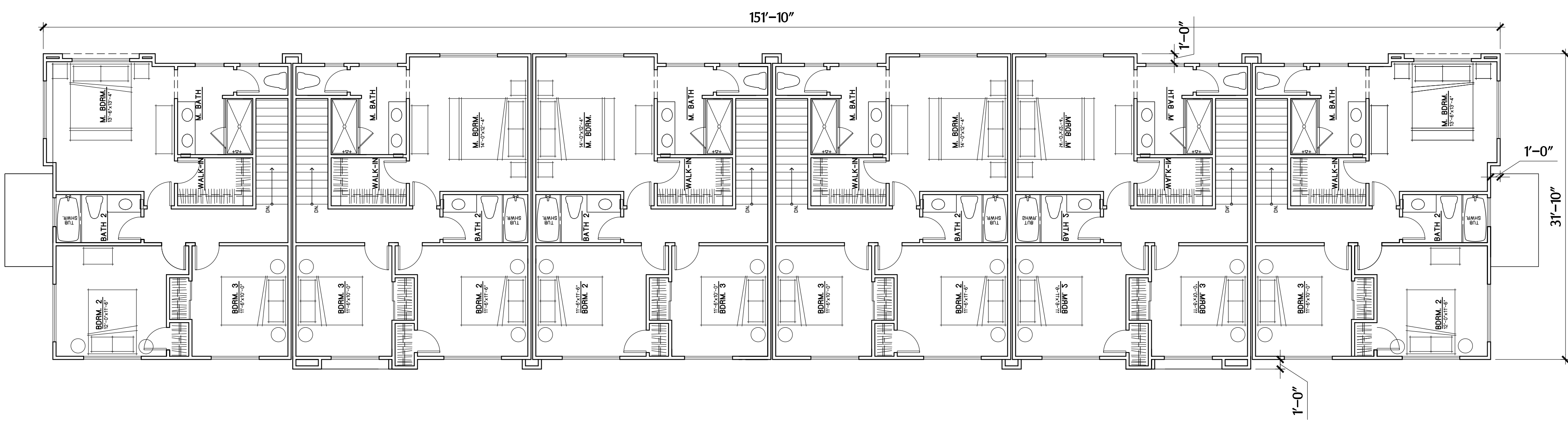
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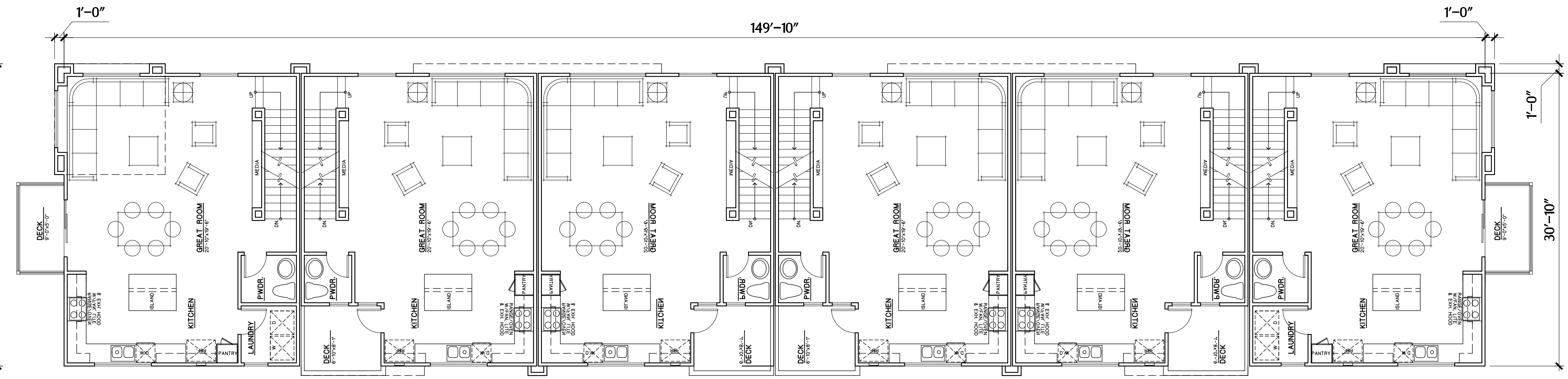
**MHS 18 COMMERCIAL**  
MURRIETA, CALIFORNIA

**RANCON GROUP**

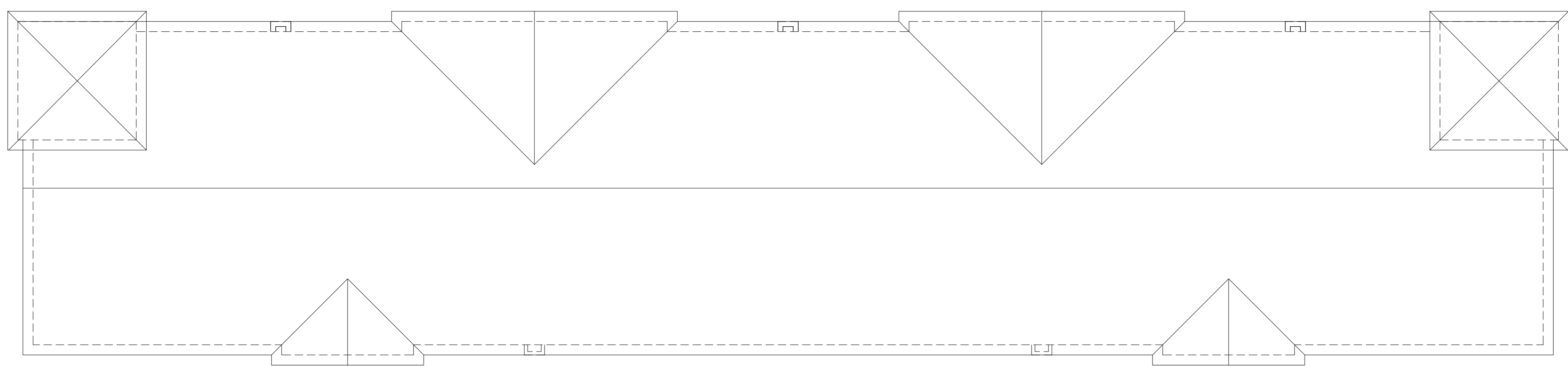
41391 KALMIA STREET, SUITE 200  
MURRIETA, CA 93562  
951.200.2367



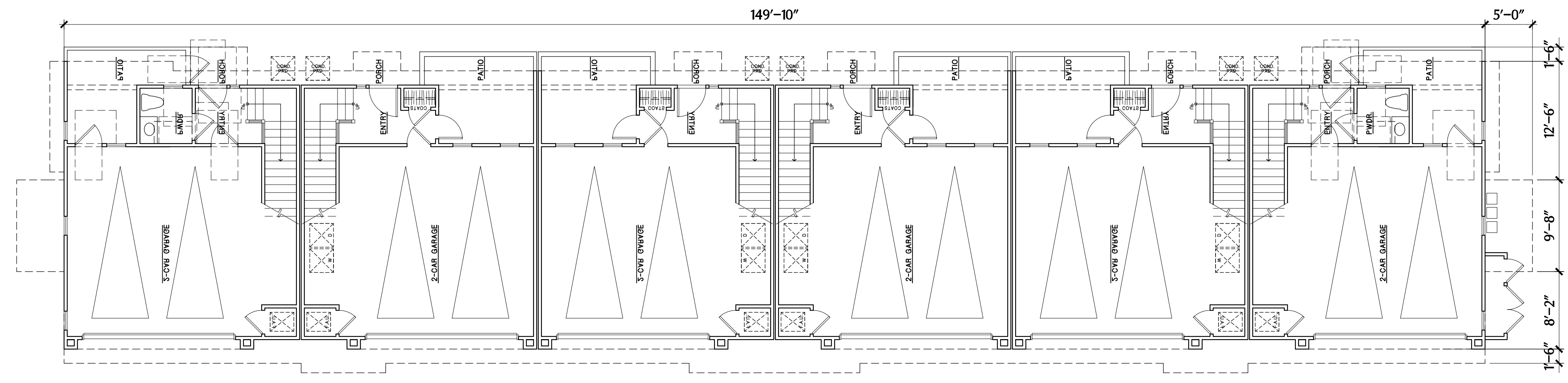
THIRD FLOOR



SECOND FLOOR



ROOF PLAN



FIRST FLOOR

BLDG. TYPE I  
TYP. BLDG. PLANS

MHS 18 MULTI-FAMILY

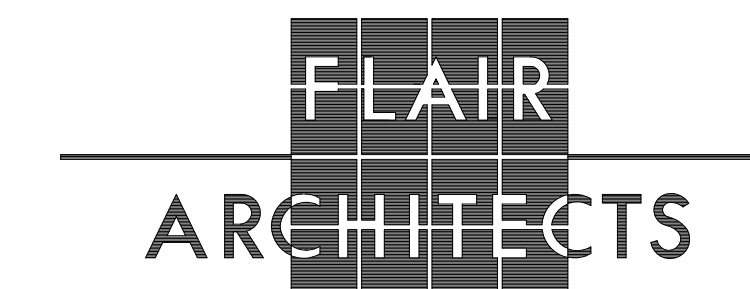
MURRIETA, CA

RANCON GROUP

41391 KALMIA STREET, SUITE 200  
MURRIETA, CALIFORNIA 92562

SCALE : 1/8"=1'-0"

1/14/22  
21006



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ARCHITECTURE • PLANNING • INTERIOR DESIGN  
470 WALD, IRVINE, CALIFORNIA 92618-4638  
(949) 789-7535 FAX (949) 789-7540

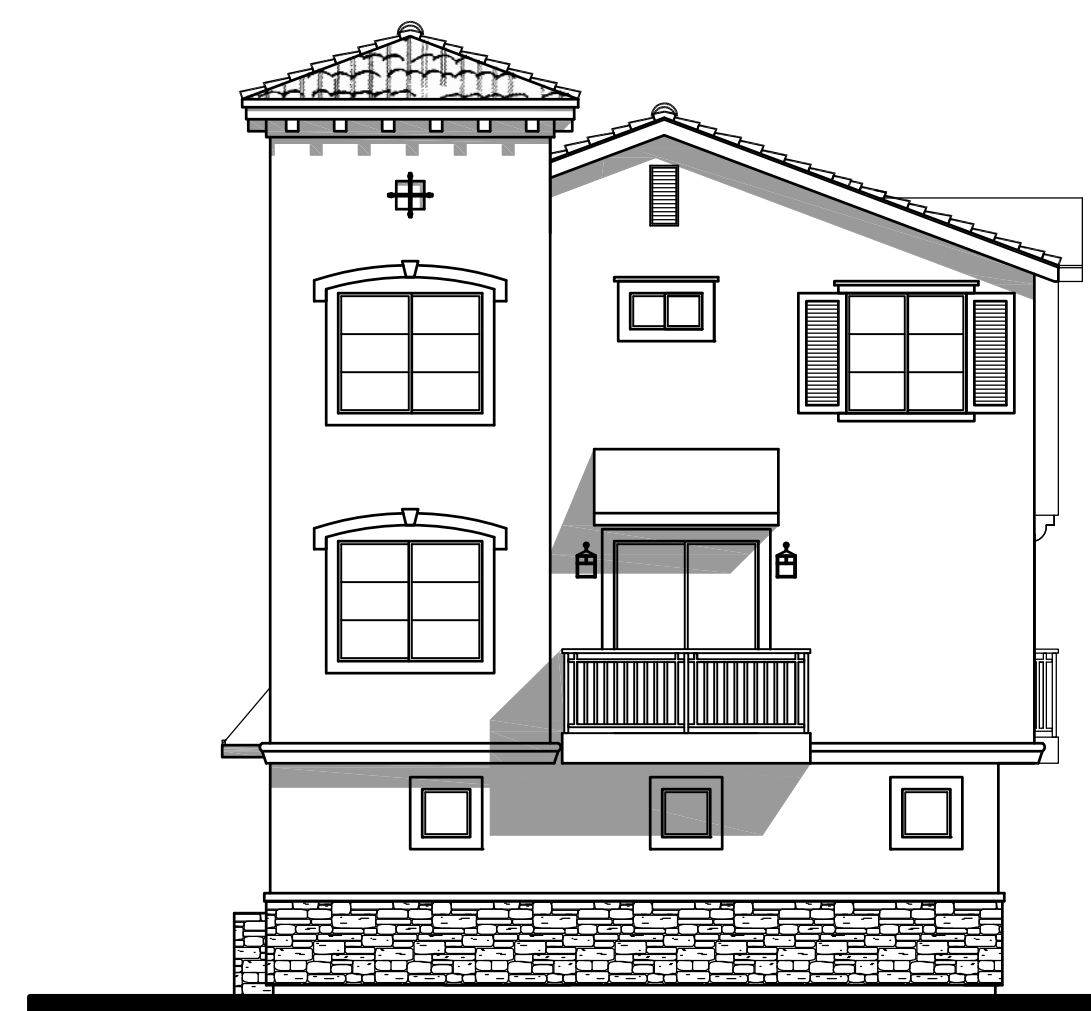
1.1

CONCRETE LOW PROFILE ROOF  
 DECORATIVE LIGHT FIXTURE  
 STUCCO O/ FOAM TRIM  
 RECESSED WINDOW

FOAM SHUTTERS  
 METAL ENTRY CANOPY  
 STONE VENEER  
 STUCCO FINISH



FRONT ELEVATION  
 SCALE = 3/16"=1'-0"



RIGHT ELEVATION



REAR ELEVATION  
 6-PLEX



LEFT ELEVATION

MHS 18 MULTI-FAMILY  
 MURRIETA, CA  
**RANCON GROUP**  
 41391 KALMIA STREET, SUITE 200  
 MURRIETA, CALIFORNIA 92562

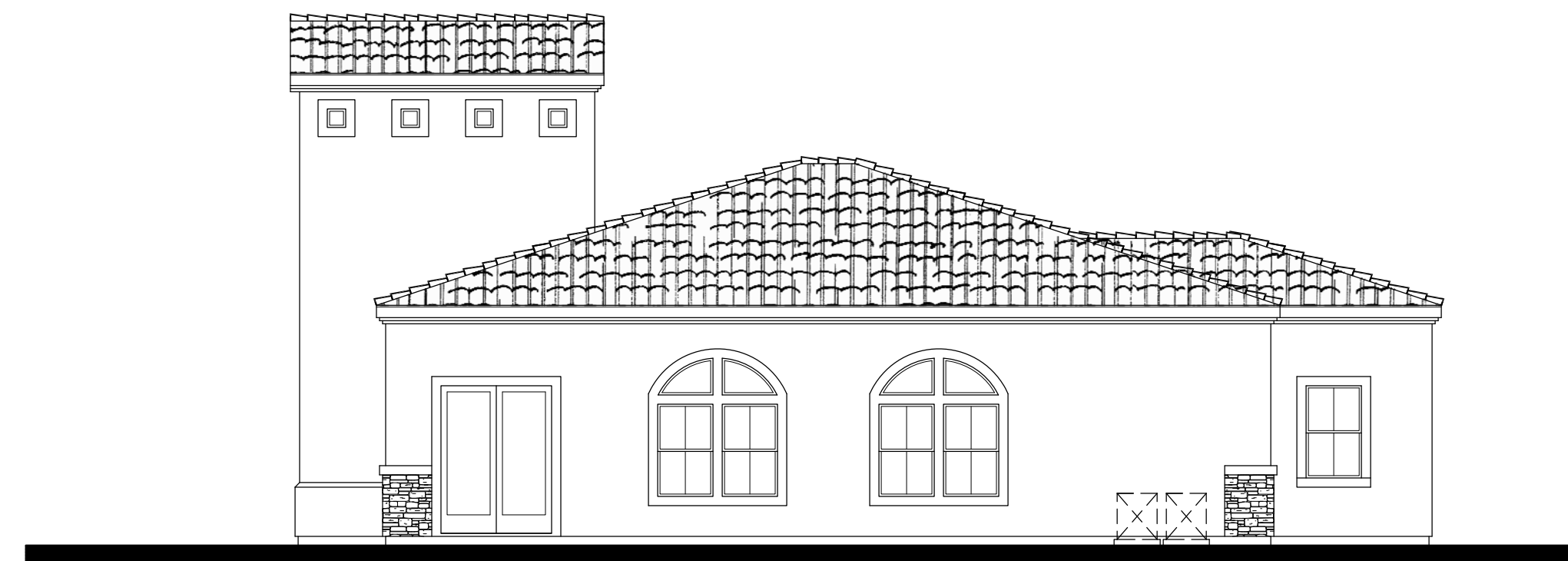
BLDG. TYPE IA  
 TYP. SPANISH STYLE ELEVATIONS

SCALE : 1/8"=1'-0"  
 1/14/22  
 21006

**FLAIR**  
**ARCHITECTS**  
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 470 WALD, IRVINE, CALIFORNIA 92618-4638  
 (949) 789-7535 FAX (949) 789-7540

1.2

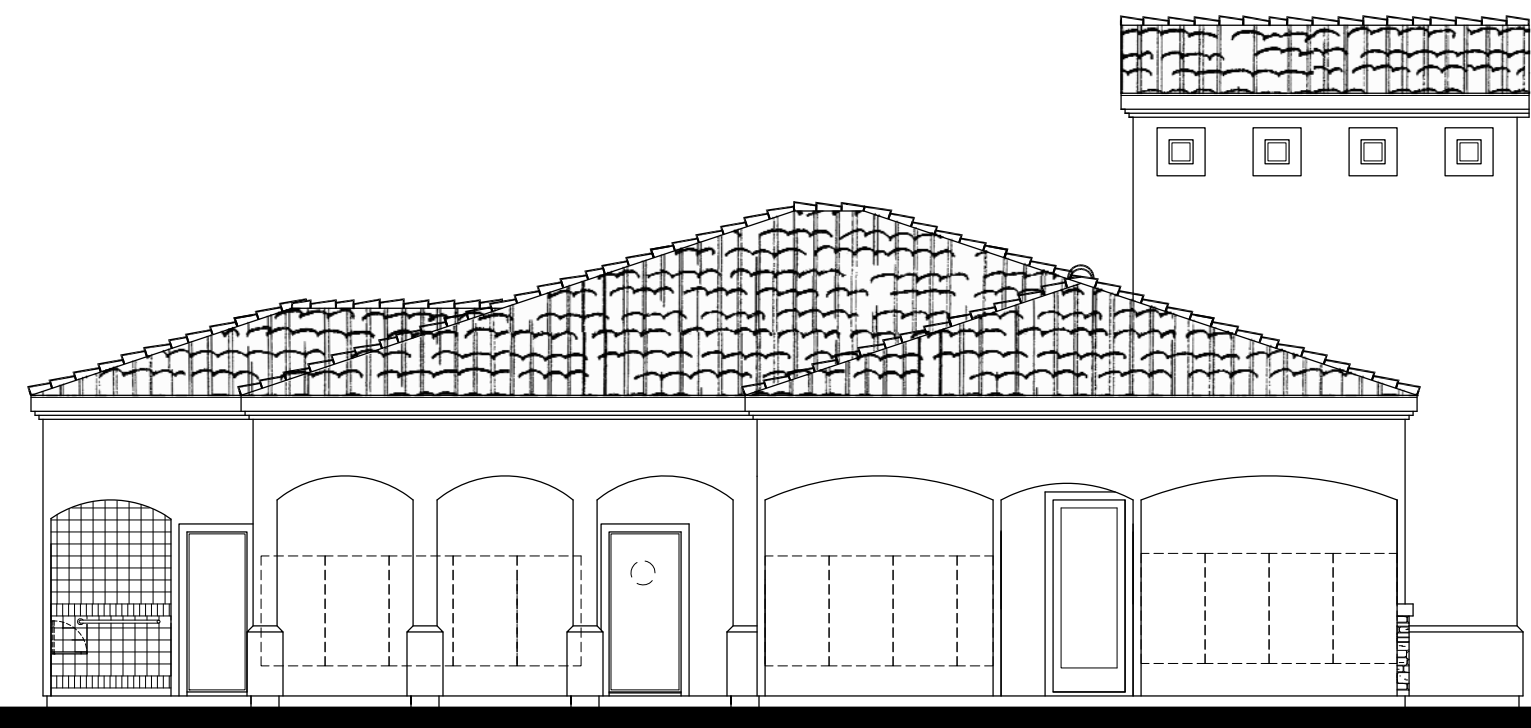




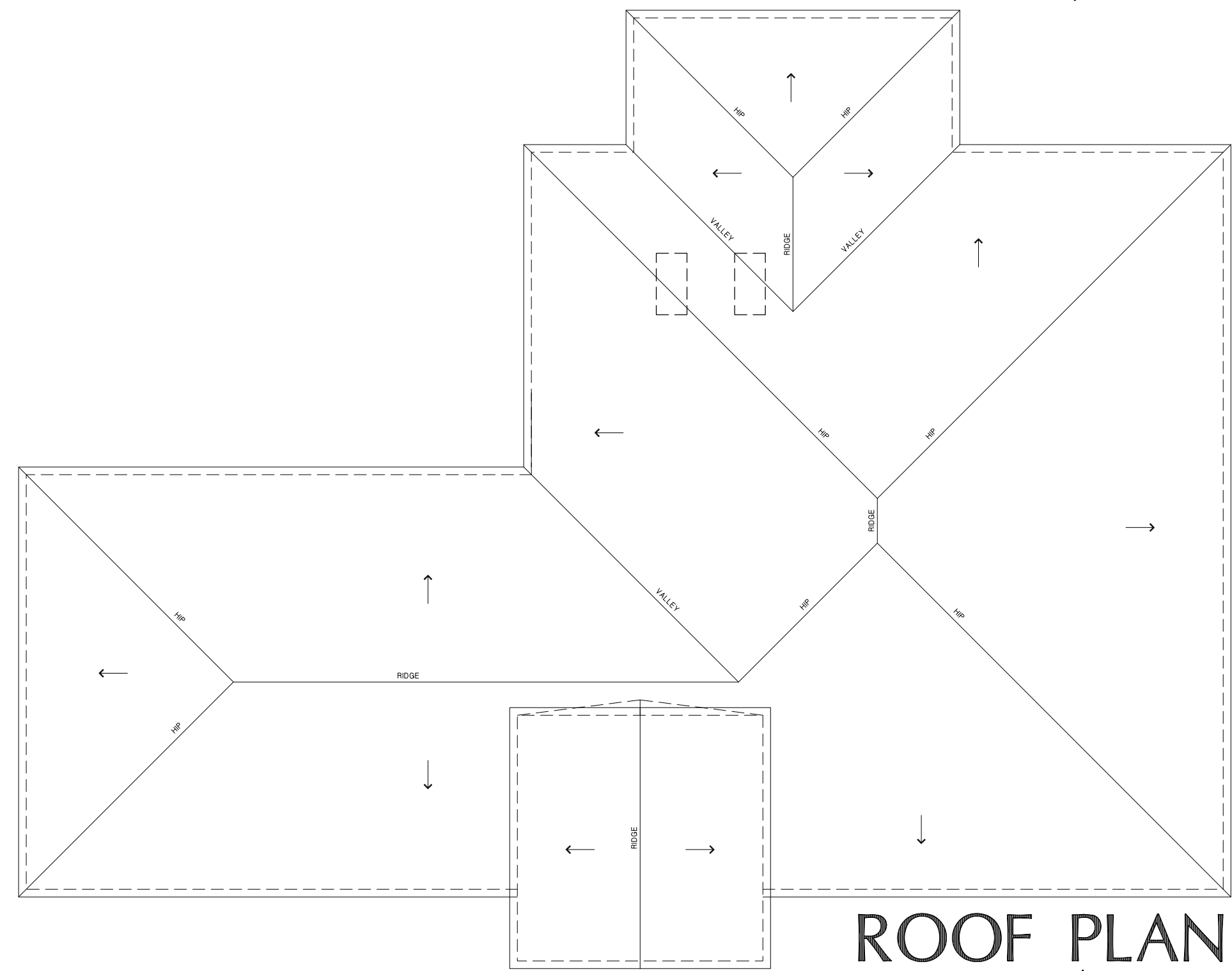
**RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"

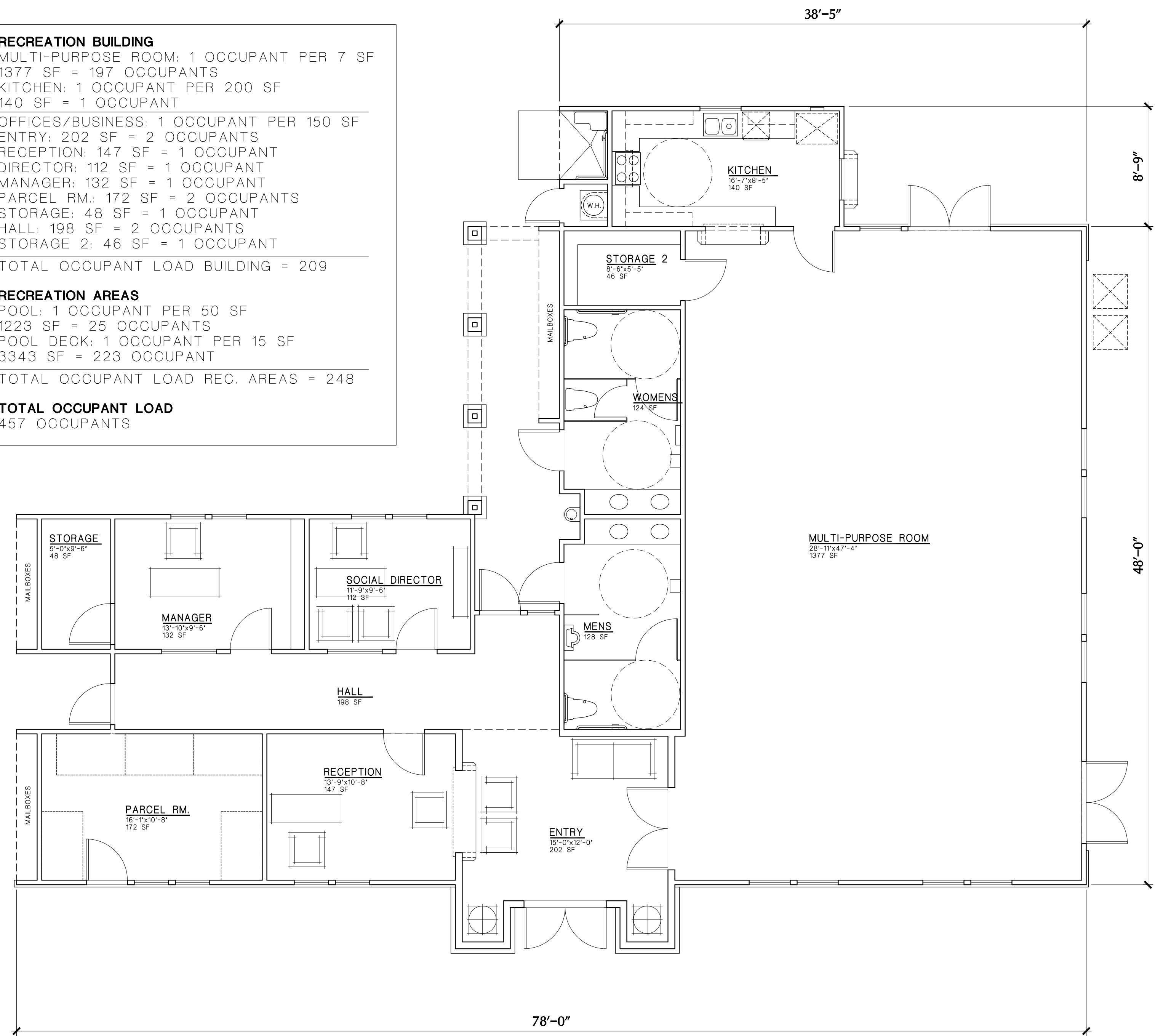


**ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION**

**RECREATION BUILDING**  
 MULTI-PURPOSE ROOM: 1 OCCUPANT PER 7 SF  
 1377 SF = 197 OCCUPANTS  
 KITCHEN: 1 OCCUPANT PER 200 SF  
 140 SF = 1 OCCUPANT  
 OFFICES/BUSINESS: 1 OCCUPANT PER 150 SF  
 ENTRY: 202 SF = 2 OCCUPANTS  
 RECEPTION: 147 SF = 1 OCCUPANT  
 DIRECTOR: 112 SF = 1 OCCUPANT  
 MANAGER: 132 SF = 1 OCCUPANT  
 PARCEL RM.: 172 SF = 2 OCCUPANTS  
 STORAGE: 48 SF = 1 OCCUPANT  
 HALL: 198 SF = 2 OCCUPANTS  
 STORAGE 2: 46 SF = 1 OCCUPANT  
 TOTAL OCCUPANT LOAD BUILDING = 209  
**RECREATION AREAS**  
 POOL: 1 OCCUPANT PER 50 SF  
 1223 SF = 25 OCCUPANTS  
 POOL DECK: 1 OCCUPANT PER 15 SF  
 3343 SF = 223 OCCUPANT  
 TOTAL OCCUPANT LOAD REC. AREAS = 248  
**TOTAL OCCUPANT LOAD**  
 457 OCCUPANTS



**FLOOR PLAN**  
3,059 SF

**PRELIMINARY RECREATION BUILDING**

**MHS 18 MULTI-FAMILY**

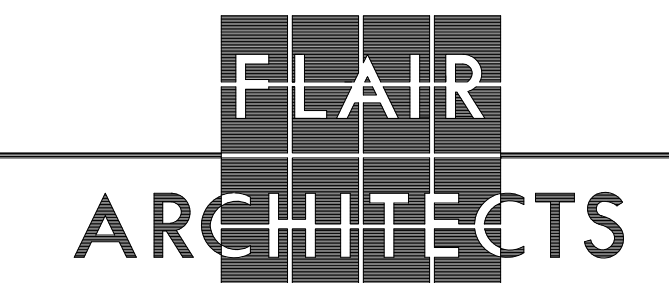
MURRIETA, CA

**RANCON GROUP**

41391 KALMIA STREET, SUITE 200  
MURRIETA, CALIFORNIA 92562

SCALE: 3/16" = 1'-0"

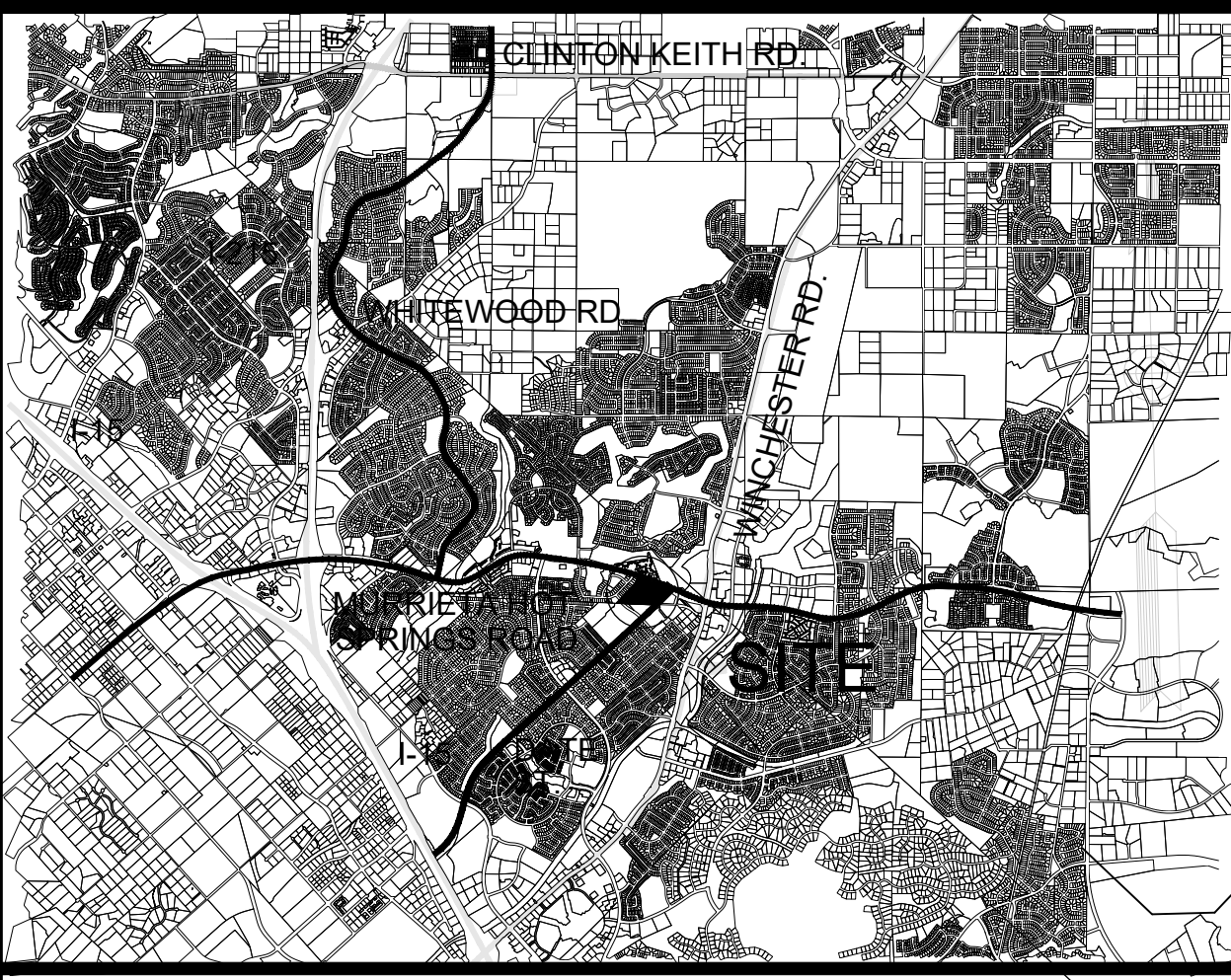
1/14/22  
21006



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470 WALD, IRVINE, CALIFORNIA 92618-4638  
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5.1

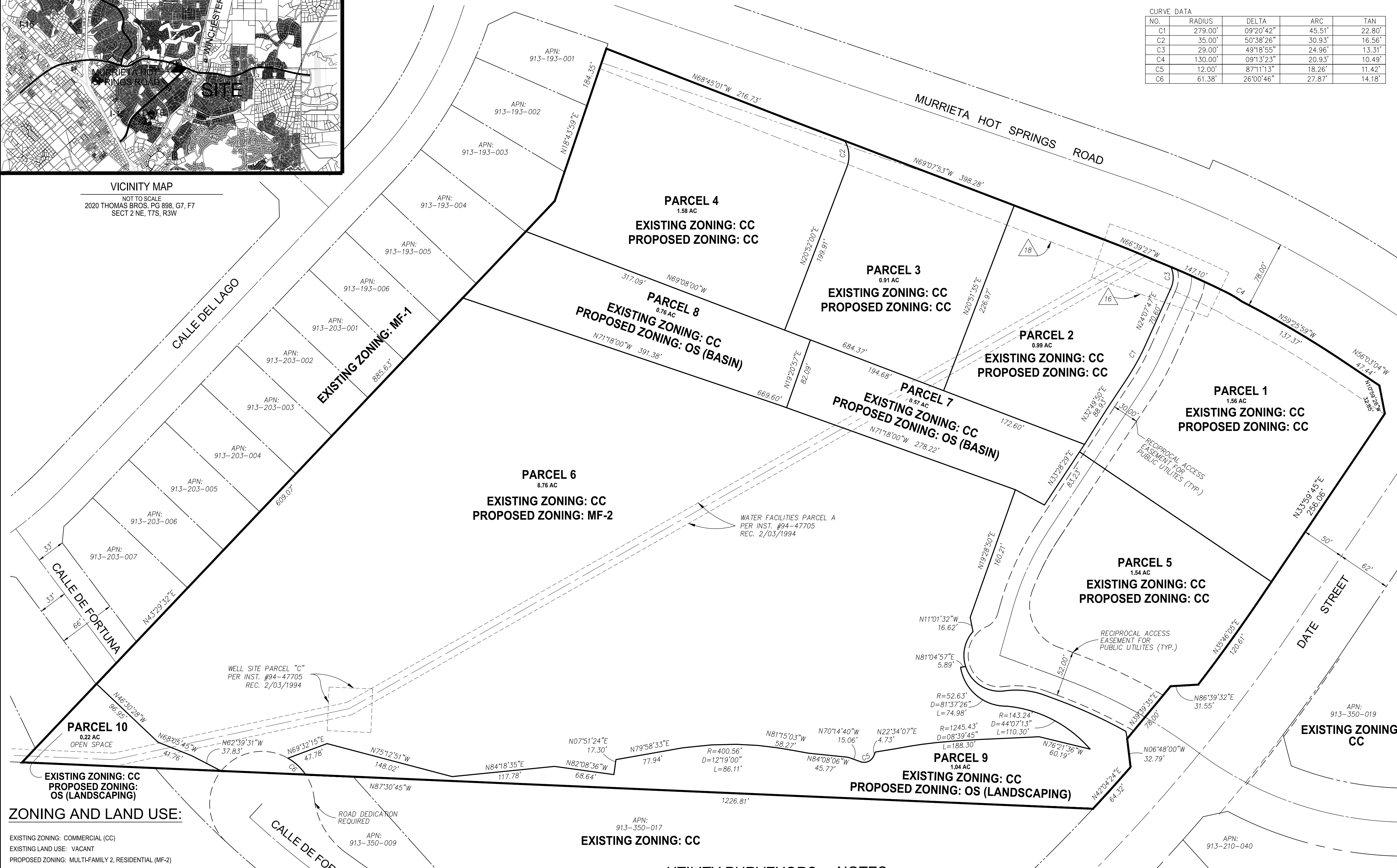
# CHANGE OF ZONE EXHIBIT



VICINITY MAP  
NOT TO SCALE  
2020 THOMAS BROS. PG 898, G7, F7  
SECT 2 NE, T7S, R3W

CURVE DATA

NO.	RADIUS	DELTA	ARC	TAN
C1	279.00'	09°20'42"	45.51'	22.80'
C2	35.00'	50°38'26"	30.93'	16.56'
C3	29.00'	49°18'55"	24.96'	13.31'
C4	130.00'	09°13'23"	20.93'	10.49'
C5	12.00'	87°11'13"	18.26'	11.42'
C6	61.38'	26°00'46"	27.87'	14.18'



## LEGAL DESCRIPTION

ALL THAT PORTION OF THE MURRIETA PORTION OF THE TEMECULA RANCHO AND A PORTION OF LOTS 187, 190 AND 191 AS SHOWN BY MAP OF TEMECULA LAND AND WATER COMPANY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 359 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT "G" OF TRACT 4476, AS SHOWN BY MAP ON FILE IN BOOK 72 PAGES 47 THROUGH 52, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE SOUTH 18° 11' 55" WEST, ALONG THE SOUTHEASTLY LINE OF SAID LOT "G", A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD, (FORMERLY TEMECULA HOT SPRINGS ROAD) 60.00 FEET WIDE, AS SAID ROAD WAS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED APRIL 12, 1932 IN BOOK 72 PAGE 346 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING THE POINT OF BEGINNING OF PARCEL OF LAND TO BE DESCRIBED;

THENCE ALONG SAID SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD ON THE FOLLOWING 5 COURSES;

THENCE SOUTH 71° 48' 05" EAST, A DISTANCE OF 610.34 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1212.32 FEET, A CENTRAL ANGLE OF 15° 12' 55", AN ARC LENGTH OF 321.94 FEET;

THENCE SOUTH 56° 35' 10" EAST, A DISTANCE OF 215.84 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 11° 01' 46", AN ARC LENGTH OF 186.73 FEET;

THENCE SOUTH 45° 33' 24" EAST, A DISTANCE OF 501.63 FEET TO A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESIGNATED AS PARCEL 2 IN DEED TO MURRIETA HOT SPRINGS RECORDED DECEMBER 30, 1969 AS INSTRUMENT NO. 132361 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 88° 02' 30" WEST, ALONG SAID SOUTHERLY LINE, A DISTANCE OF 2221.18 FEET TO AN ANGLE POINT IN THE SOUTHERLY LINE OF LOT 15 AS SHOWN BY MAP OF SAID TRACT 4476;

THENCE NORTH 43° 00' 00" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 3 THROUGH 15 AND LOT "D" AS SHOWN ON SAID MAP OF SAID TRACT 4476, A DISTANCE OF 885.51 FEET;

THENCE NORTH 18° 11' 55" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 1, 2 AND 3 AND LOT "G" AS SHOWN ON SAID MAP OF TRACT 4476, A DISTANCE OF 204.32 FEET TO THE POINT OF BEGINNING.

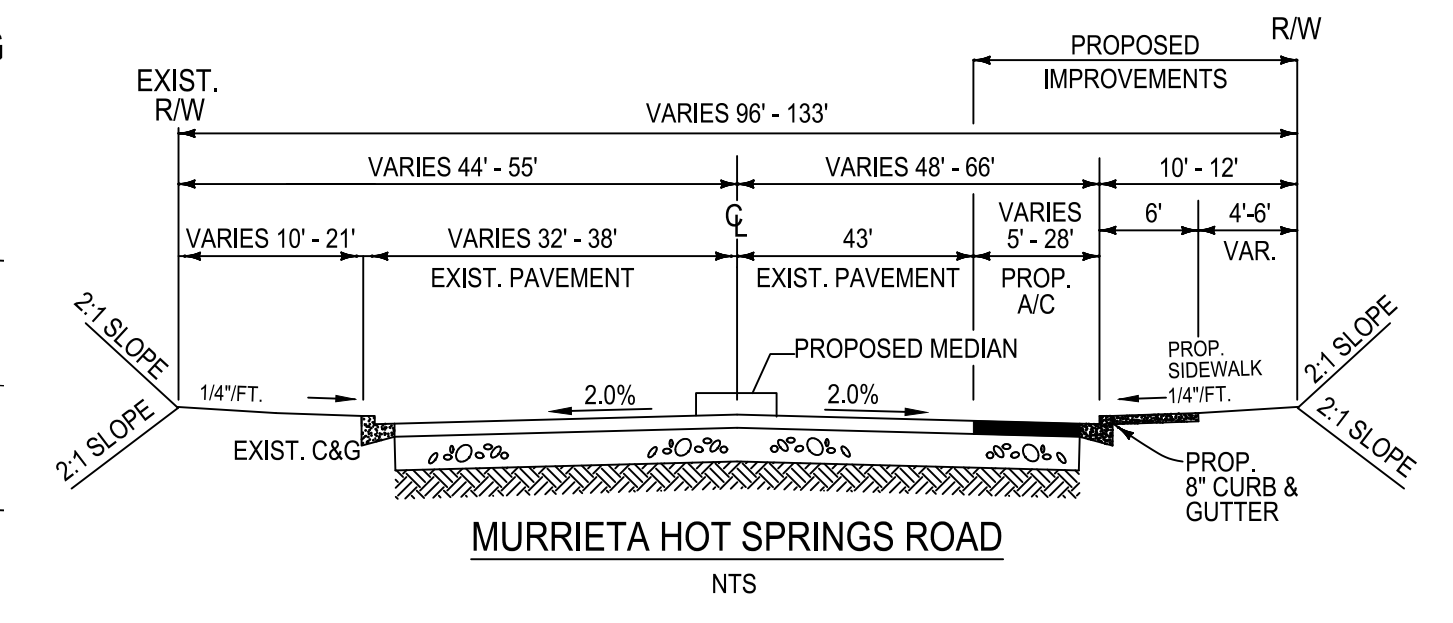
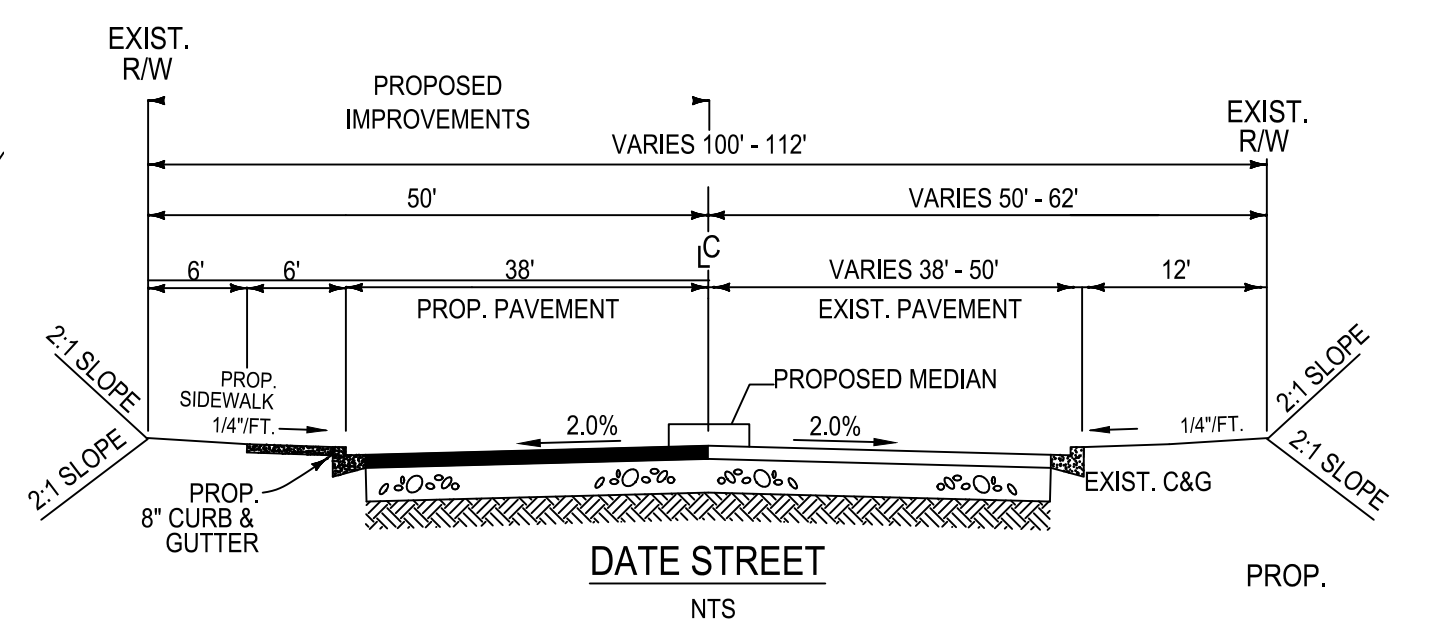
EXCEPTING THEREFROM ANY PORTION OF SAID LAND LYING EASTERLY AND SOUTHERLY OF THE WESTERLY LINE OF DATE ROAD.

ALSO EXCEPTING THEREFROM PARCELS 1, A, B, C AND D, AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL IS ALSO KNOWN AS REMAINDER PARCEL AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

## BENCHMARK:

NATIONAL GEODETIC SURVEY BENCHMARK NO. DX1528  
BENCH MARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "600-11-88", LOCATED AT 290 FEET WEST OF JEFFERSON AVE., 36 FEET NORTHEAST OF POWER POLE 64536, 4 FEET SOUTH OF THE SOUTHEAST CORNER OF CHAIN LINK FENCE OF S.C.E. MURRIETA SUBSTATION 2, 1 FOOT WEST OF A MARKER POST.  
ELEV: 1053.2', DATUM: NAVD 88



## ZONING AND LAND USE:

EXISTING ZONING: COMMERCIAL (CC)  
EXISTING LAND USE: VACANT  
PROPOSED ZONING: MULTI-FAMILY 2, RESIDENTIAL (MF-2)  
PROPOSED LAND USE: COMMERCIAL RETAIL; MULTI-FAMILY 2, RESIDENTIAL

## GENERAL NOTES:

- NUMBER OF PARCELS:  
10 PARCELS (1 MF3, 5 COMMERCIAL, 2 BASINS AND 2 OPEN SPACE)
- MINIMUM LOT SIZE:  
N/A
- METHOD OF SEWAGE DISPOSAL:  
SEWER
- 2020 THOMAS BROS. GUIDE:  
PAGE 898, GRIDS G7 & F1
- EXHIBIT PREPARED:  
JANUARY 2022
- OCCUPANCY AND CONSTRUCTION TYPE:  
OCCUPANCY TYPE: R-2 PER CHAPTER 3 (CURRENT CBC)  
CONSTRUCTION TYPE: V-A PER CHAPTER 6 (CURRENT CBC)
- ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
- THIS PROPERTY IS NOT IN A SPECIFIC PLAN AREA.
- TOPD BY: PBLA SURVEYING, INC. DATE: 8/1/2018
- THIS PROPERTY LIES WITHIN FEMA ZONE "C" (AREAS OF MINIMAL FLOODING).
- THERE ARE NO EXISTING STRUCTURES ON THIS PROPERTY.
- THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES MS 4 PERMIT REQUIREMENTS.
- ALL CUT SLOPES TO BE 2:1 UNLESS OTHERWISE NOTED
- NO EXISTING WELLS ON THE PROPERTY.
- LIQUEFACTION POTENTIAL: VERY LOW
- THIS PROJECT IS NOT WITHIN A CSD.
- THIS PROPERTY IS SUBJECT TO SUBSIDENCE.
- WHEEL STOPS WILL BE REQUIRED WHERE WALKWAYS ADJACENT TO PARKING SPACES ARE LESS THAN 6 FEET WIDE.

## PROJECT DESCRIPTION:

THE PROJECT PROPOSAL IS FOR 253 DWELLING UNIT MULTI-FAMILY COMMUNITY AND COMMERCIAL LOTS AT THE SOUTHWEST CORNER OF MURRIETA HOT SPRINGS ROAD AND DATE STREET.  
APPLICANT PROPOSES CONSTRUCTION OF NINE (9), 3 AND 4 STORY MULTI-FAMILY APARTMENT WITH CLUBHOUSE, SWIMMING POOL, AMENITIES, LANDSCAPING, PARKS TRAILS, PARKING AND INFRASTRUCTURE IMPROVEMENTS AND FOUR (4) 1 STORY COMMERCIAL BUILDINGS WITH PARKING AND LANDSCAPING.

## SITE DATA (APARTMENT):

GROSS AREA = 10 ACRES  
PAD AREA (NET) = 8.2 ACRES  
PROPOSED DWELLING UNIT = 253  
DENSITY AS DESIGNED = 30.8 DU/AC

## ASSESSOR PARCEL NUMBERS:

913-350-017

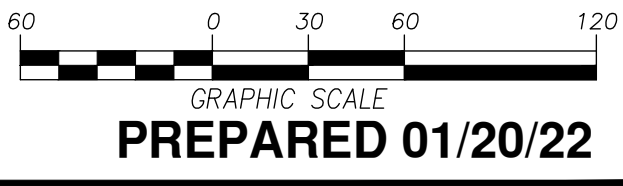
## UTILITY PURVEYORS:

**SCHOOL DISTRICT:**  
MURRIETA VALLEY UNIFIED SCHOOL DISTRICT.

**UTILITIES:**  
WATER:  
RANCHO CALIFORNIA WATER DISTRICT  
42135 WINCHESTER ROAD  
TEMECULA CA. 92590  
TEL: 951-296-6900  
SANITARY SEWER:  
EASTERN MUNICIPAL WATER DISTRICT  
2270 TRUMBULE ROAD  
PERRIS, CA. 92570  
TEL: 800-426-3693  
STORM SEWER:  
RCPCD AND WCD  
1995 MARKET STREET  
RIVERSIDE, CA. 92501  
TEL: 951-955-1200

## NOTES:

- PROJECT IS NOT WITHIN A SPECIFIC PLAN.
  - PROJECT IS NOT WITHIN A COMMUNITY FACILITY DISTRICT.
  - SITE IS NOT SUBJECT TO LIQUEFACTION OF OTHER GEOLOGIC HAZARD.
  - SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
- ELECTRIC:  
SOUTHER CALIFORNIA EDISON  
26100 MENIFEE ROAD  
ROMOLAND, CA. 92588  
TEL: 800-655-4555
- GAS:  
SOUTHER CALIFORNIA GAS COMPANY  
P.O. BOX. 3150  
SAN DIMAS, CA. 91773  
TEL: 800-427-2200
- TELEPHONE:  
VERIZON  
TEL: 800-483-5000



REVISION BLOCK		
REF.	DESCRIPTION	DATE

**ACS CONSULTING, INC.**  
land planning, engineering, and surveying professionals  
PO BOX 2252  
TEMECULA CA 92593  
TEL: 951-757-5178 EMAIL: FRANK@ACSCONSULTINGINC.COM  
PREPARED BY: FRANK A. ARTIGA EXP. DATE: 09-30-23 R.C.E. NO. 61860

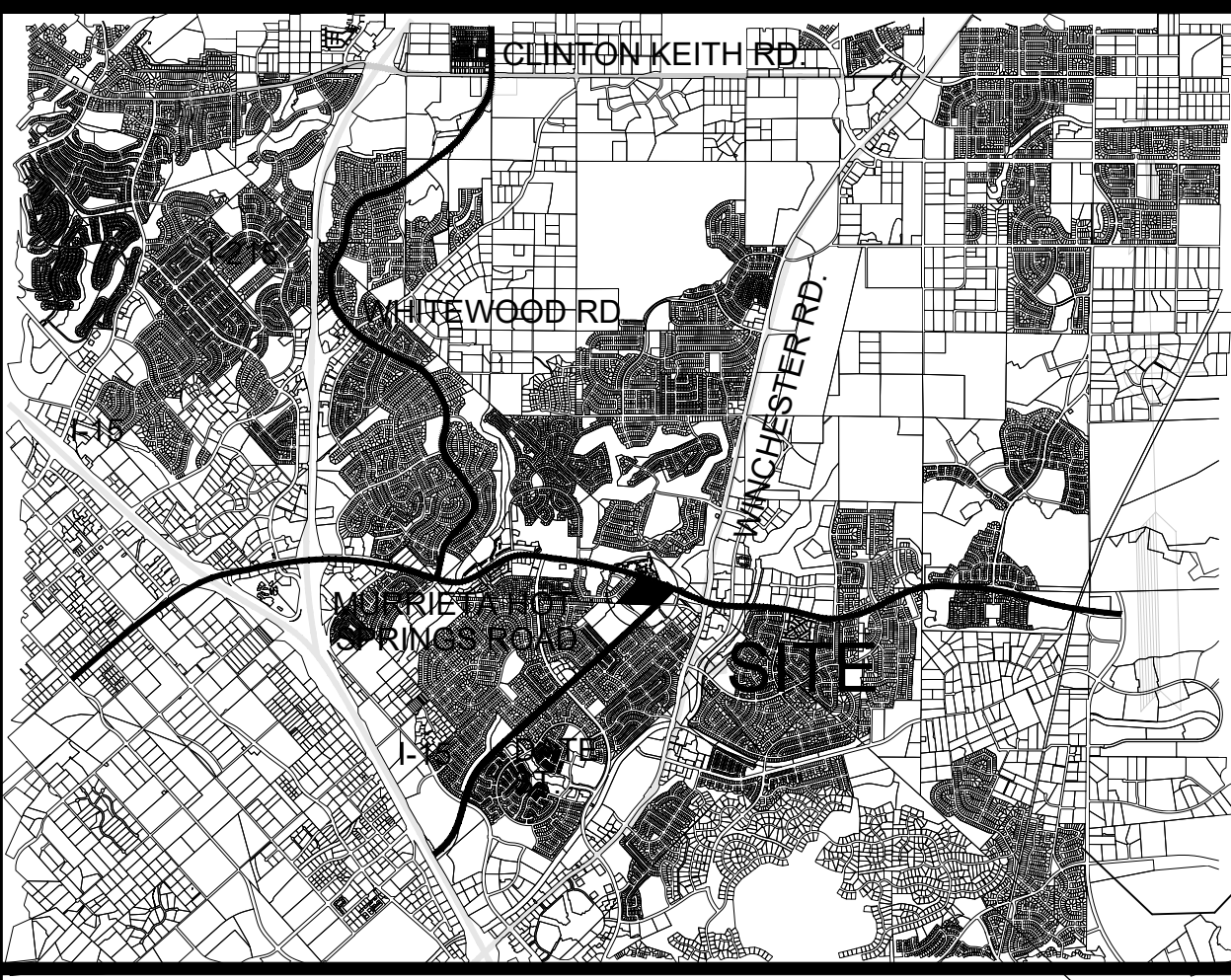
NO. C 61860  
EXP. 9/30/23  
STATE OF CALIFORNIA  
FRANK A. ARTIGA  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

PREPARED 01/20/22

1 OF 1 SHEETS



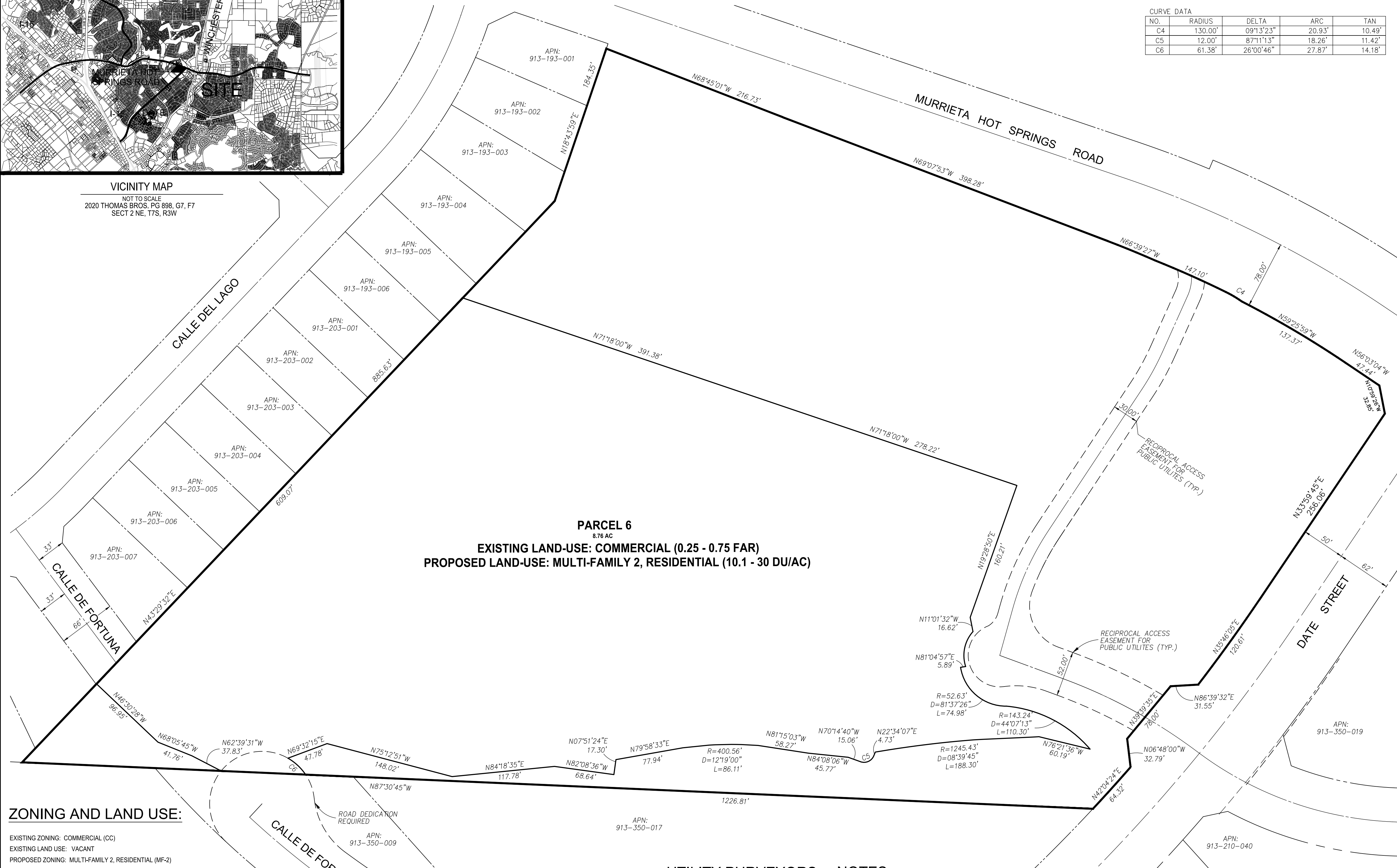
# GENERAL PLAN AMENDMENT EXHIBIT



**VICINITY MAP**  
NOT TO SCALE  
2020 THOMAS BROS. PG 898, G7, F7  
SECT 2 NE, T7S, R3W

**CURVE DATA**

NO.	RADIUS	DELTA	ARC	TAN
C4	130.00'	09°13'23"	20.93'	10.49'
C5	12.00'	87°11'13"	18.26'	11.42'
C6	61.38'	26°00'46"	27.87'	14.18'



**ZONING AND LAND USE:**

EXISTING ZONING: COMMERCIAL (CC)  
EXISTING LAND USE: VACANT  
PROPOSED ZONING: MULTI-FAMILY 2, RESIDENTIAL (MF-2)  
PROPOSED LAND USE: COMMERCIAL RETAIL; MULTI-FAMILY 2, RESIDENTIAL

**GENERAL NOTES:**

- NUMBER OF PARCELS:  
1 RESIDENTIAL, MULTI-FAMILY 2 (MF-2)
- MINIMUM LOT SIZE:  
N/A
- METHOD OF SEWAGE DISPOSAL:  
SEWER
- 2020 THOMAS BROS. GUIDE:  
PAGE 898, GRIDS G7 & F1
- EXHIBIT PREPARED:  
JANUARY 2022
- OCCUPANCY AND CONSTRUCTION TYPE:  
OCCUPANCY TYPE: R-2 PER CHAPTER 3 (CURRENT CBC)  
CONSTRUCTION TYPE: V-A PER CHAPTER 6 (CURRENT CBC)
- ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
- THIS PROPERTY IS NOT IN A SPECIFIC PLAN AREA.
- TOPD BY: PBLA SURVEYING, INC. DATE: 8/1/2018
- THIS PROPERTY LIES WITHIN FEMA ZONE "C" (AREAS OF MINIMAL FLOODING).
- THERE ARE NO EXISTING STRUCTURES ON THIS PROPERTY.
- THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES MS 4 PERMIT REQUIREMENTS.
- ALL CUT SLOPES TO BE 2:1 UNLESS OTHERWISE NOTED
- NO EXISTING WELLS ON THE PROPERTY.
- LIQUEFACTION POTENTIAL: VERY LOW
- THIS PROJECT IS NOT WITHIN A CSD.
- THIS PROPERTY IS SUBJECT TO SUBSIDENCE.
- WHEEL STOPS WILL BE REQUIRED WHERE WALKWAYS ADJACENT TO PARKING SPACES ARE LESS THAN 6 FEET WIDE.

**PROJECT DESCRIPTION:**

THE PROJECT PROPOSAL IS FOR 253 DWELLING UNIT MULTI-FAMILY RESIDENTIAL PROJECT AT THE SOUTHWEST CORNER OF MURRIETA HOT SPRINGS ROAD AND DATE STREET.  
APPLICANT PROPOSES CONSTRUCTION OF NINE (9), 3 AND 4 STORY MULTI-FAMILY APARTMENT WITH CLUBHOUSE, SWIMMING POOL, AMMENITIES, LANDSCAPING, PARKS TRAILS, PARKING AND INFRASTRUCTURE IMPROVEMENTS

**SITE DATA (APARTMENT):**

GROSS AREA = 10 ACRES  
PAD AREA (NET) = 8.2 ACRES  
PROPOSED DWELLING UNIT = 253  
DENSITY AS DESIGNED = 30.8 DU/AC

**ASSESSOR PARCEL NUMBERS:**

913-350-017

**UTILITY PURVEYORS:**

**SCHOOL DISTRICT:**  
MURRIETA VALLEY UNIFIED SCHOOL DISTRICT.

**UTILITIES:**

WATER:  
RANCHO CALIFORNIA WATER DISTRICT  
42135 WINCHESTER ROAD  
TEMECULA CA. 92590  
TEL: 951-296-6900

SANITARY SEWER:  
EASTERN MUNICIPAL WATER DISTRICT  
2270 TRUMBLE ROAD  
PERRIS, CA. 92570  
TEL: 800-426-3893

STORM SEWER:  
RCPCD AND WCD  
1995 MARKET STREET  
RIVERSIDE, CA. 92501  
TEL: 951-955-1200

**NOTES:**

- PROJECT IS NOT WITHIN A SPECIFIC PLAN.
  - PROJECT IS NOT WITHIN A COMMUNITY FACILITY DISTRICT.
  - SITE IS NOT SUBJECT TO LIQUEFACTION OF OTHER GEOLOGIC HAZARD.
  - SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
- ELECTRIC:  
SOUTHER CALIFORNIA EDISON  
26100 MENIFEE ROAD  
ROMOLAND, CA. 92588  
TEL: 800-655-4555
- GAS:  
SOUTHER CALIFORNIA GAS COMPANY  
P.O. BOX. 3150  
SAN DIMAS, CA. 91773  
TEL: 800-427-2200
- TELEPHONE:  
VERIZON  
TEL: 800-483-5000

**LEGAL DESCRIPTION**

ALL THAT PORTION OF THE MURRIETA PORTION OF THE TEMECULA RANCHO AND A PORTION OF LOTS 187, 190 AND 191 AS SHOWN BY MAP OF TEMECULA LAND AND WATER COMPANY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 359 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT "G" OF TRACT 4476, AS SHOWN BY MAP ON FILE IN BOOK 72 PAGES 47 THROUGH 52, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE SOUTH 18° 11' 55" WEST, ALONG THE SOUTHEASTERLY LINE OF SAID LOT "G", A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD, (FORMERLY TEMECULA HOT SPRINGS ROAD) 60.00 FEET WIDE, AS SAID ROAD WAS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED APRIL 12, 1932 IN BOOK 72 PAGE 346 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING THE POINT OF BEGINNING OF PARCEL OF LAND TO BE DESCRIBED;

THENCE ALONG SAID SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD ON THE FOLLOWING 5 COURSES;

THENCE SOUTH 71° 48' 05" EAST, A DISTANCE OF 610.34 FEET;

THENCE SOUTHEASTERLY ON A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1212.32 FEET, A CENTRAL ANGLE OF 15° 12' 55", AN ARC LENGTH OF 321.94 FEET;

THENCE SOUTH 56° 35' 10" EAST, A DISTANCE OF 215.84 FEET;

THENCE SOUTHEASTERLY ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 11° 01' 46", AN ARC LENGTH OF 186.73 FEET;

THENCE SOUTH 45° 33' 24" EAST, A DISTANCE OF 501.63 FEET TO A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESIGNATED AS PARCEL 2 IN DEED TO MURRIETA HOT SPRINGS RECORDED DECEMBER 30, 1969 AS INSTRUMENT NO. 132361 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 88° 02' 30" WEST, ALONG SAID SOUTHERLY LINE, A DISTANCE OF 2221.18 FEET TO AN ANGLE POINT IN THE SOUTHERLY LINE OF LOT 15 AS SHOWN BY MAP OF SAID TRACT 4476;

THENCE NORTH 43° 00' 00" EAST, ALONG THE SOUTHEASTERLY LINE OF LOTS 3 THROUGH 15 AND LOT "D" AS SHOWN ON SAID MAP OF SAID TRACT 4476, A DISTANCE OF 885.51 FEET;

THENCE NORTH 18° 11' 55" EAST, ALONG THE SOUTHEASTERLY LINE OF LOTS 1, 2 AND 3 AND LOT "G" AS SHOWN ON SAID MAP OF TRACT 4476, A DISTANCE OF 204.32 FEET TO THE POINT OF BEGINNING.

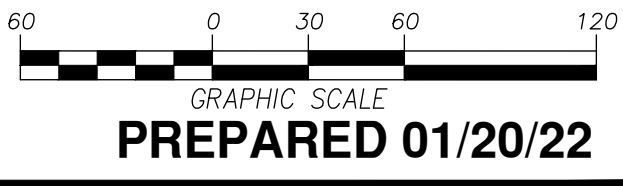
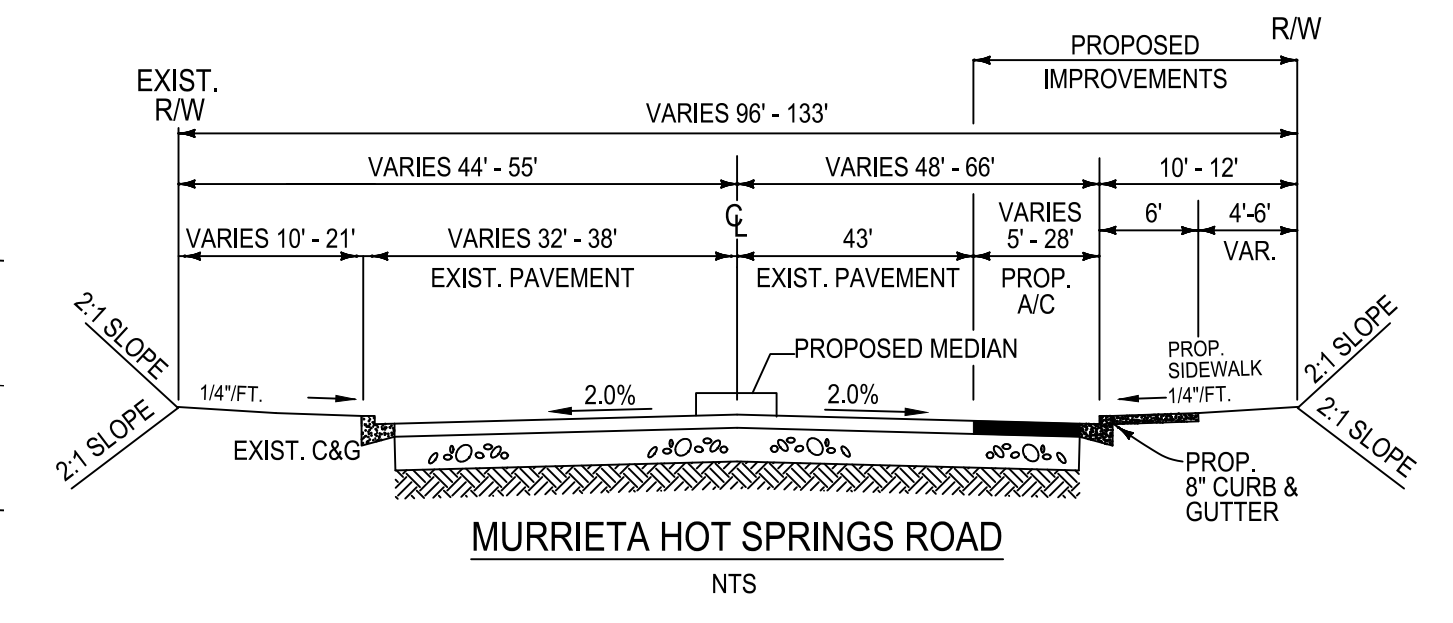
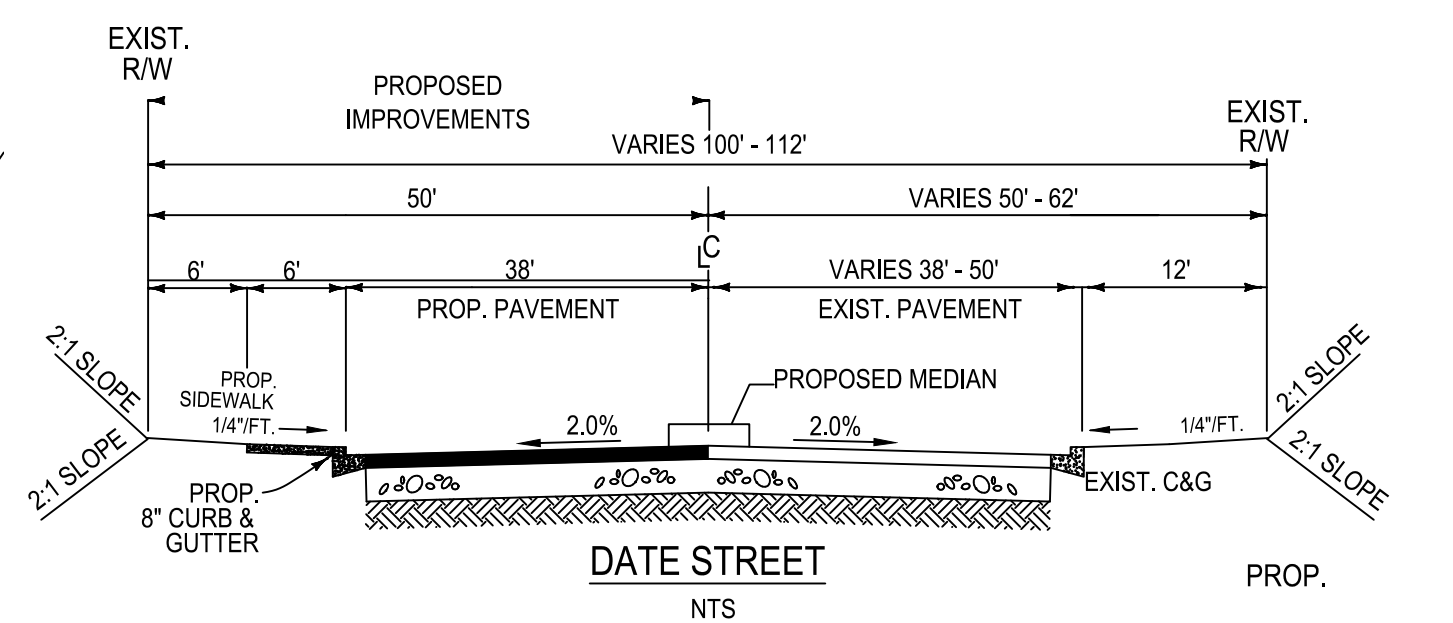
EXCEPTING THEREFROM ANY PORTION OF SAID LAND LYING EASTERLY AND SOUTHERLY OF THE WESTERLY LINE OF DATE ROAD.

ALSO EXCEPTING THEREFROM PARCELS 1, A, B, C AND D, AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL IS ALSO KNOWN AS REMAINDER PARCEL AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**BENCHMARK:**

NATIONAL GEODETIC SURVEY BENCHMARK NO. DX1528  
BENCH MARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "600-11-88", LOCATED AT 290 FEET WEST OF JEFFERSON AVE., 36 FEET NORTHEAST OF POWER POLE 64536, 4 FEET SOUTH OF THE SOUTHEAST CORNER OF CHAIN LINK FENCE OF S.C.E. MURRIETA SUBSTATION 2, 1 FOOT WEST OF A MARKER POST.  
ELEV: 1053.2', DATUM: NAVD 88



**REVISION BLOCK**

REF.	DESCRIPTION	DATE

**ACS CONSULTING, INC.**  
land planning, engineering, and surveying professionals  
PO BOX 2252  
TEMECULA CA 92593  
TEL: 951-757-5178 EMAIL: FRANK@ACSCONSULTINGINC.COM  
PREPARED BY: FRANK A. ARTIGA EXP. DATE: 09-30-23 R.C.E. NO. 61860

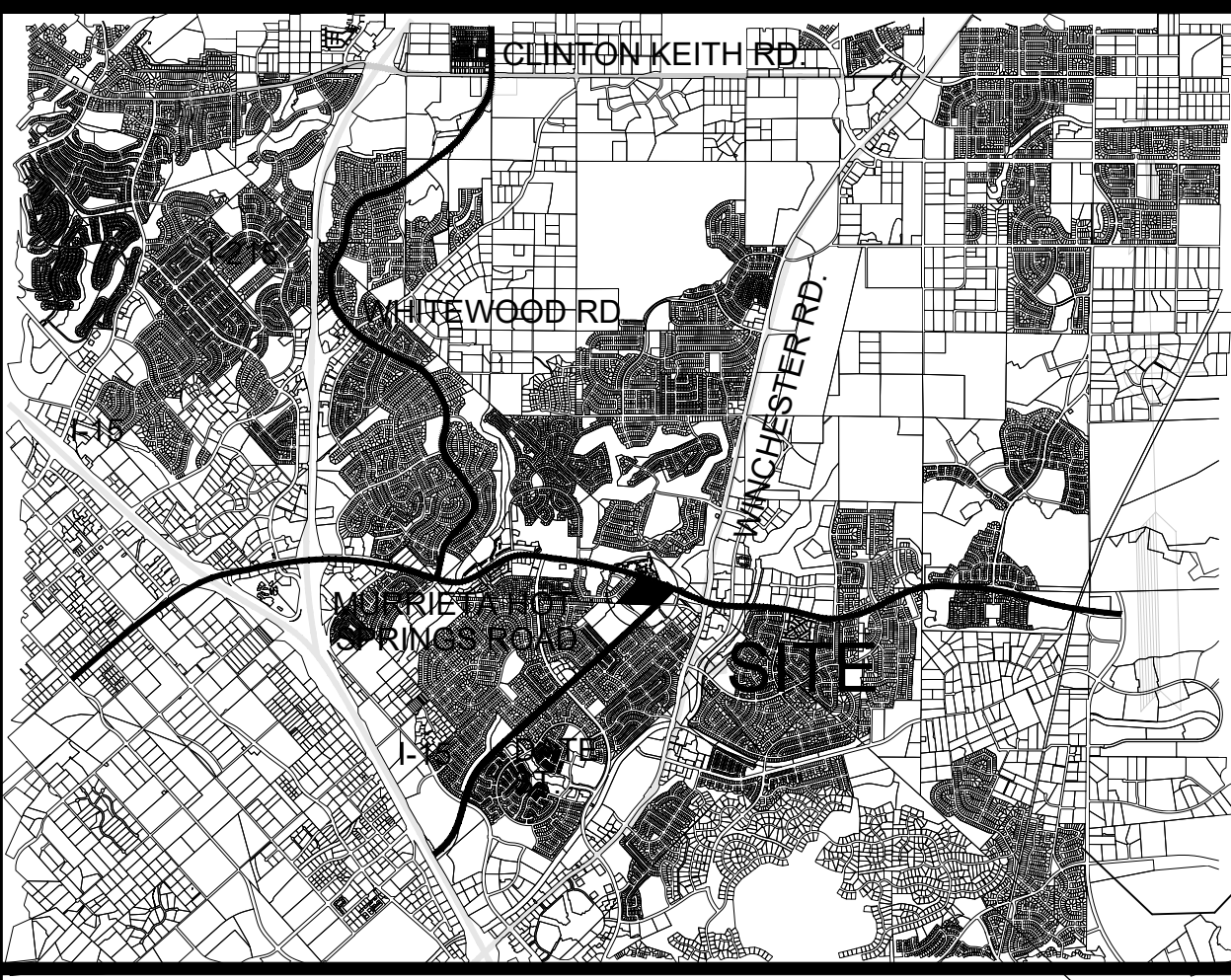
**FRANK A. ARTIGA**  
REGISTERED PROFESSIONAL ENGINEER  
NO. C 61860 EXP. 9/30/23  
STATE OF CALIFORNIA CIVIL

**1** OF **1** SHEETS

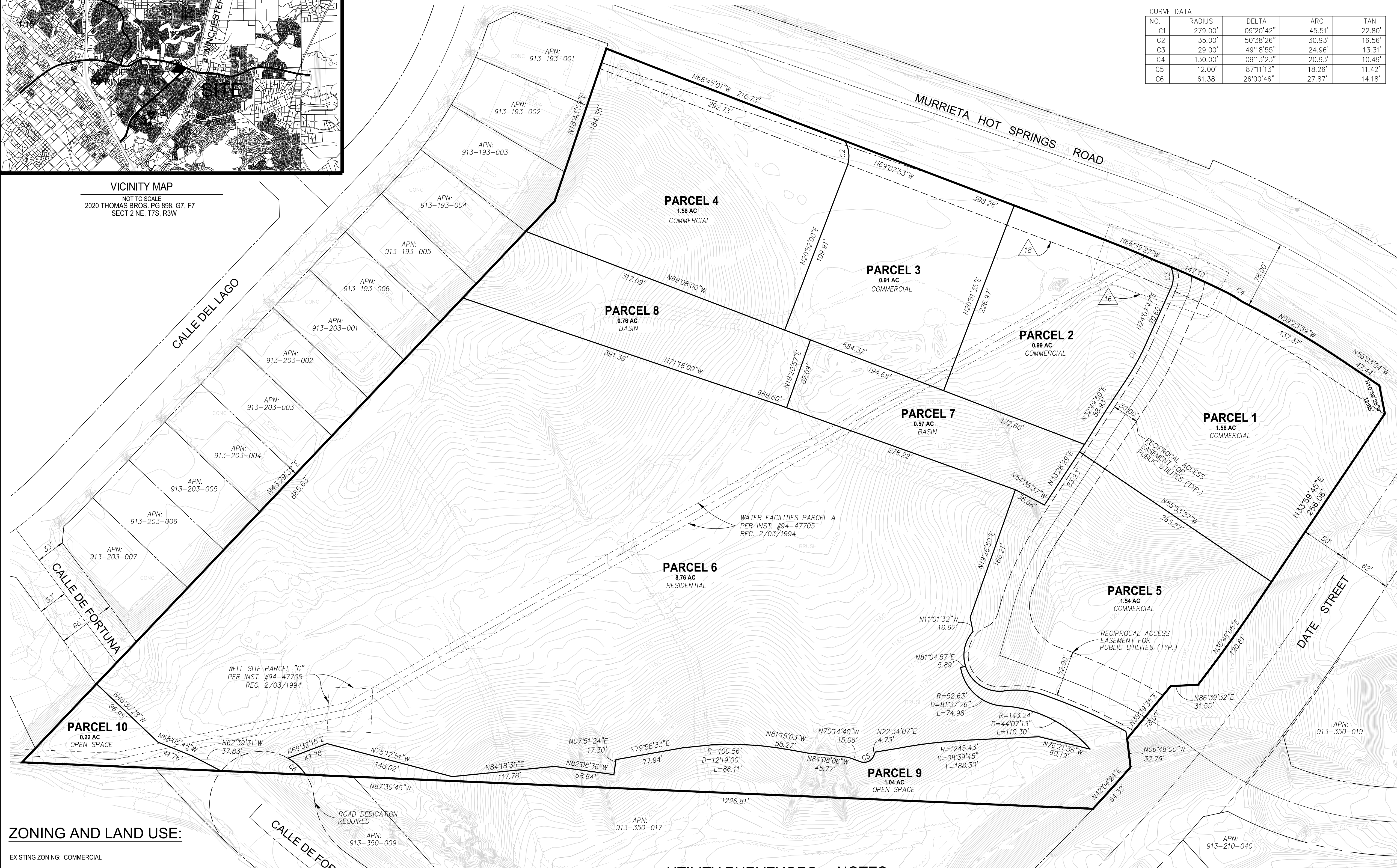
DATE: \_\_\_\_\_



# TENTATIVE PARCEL MAP NO. 38369



**VICINITY MAP**  
NOT TO SCALE  
2020 THOMAS BROS. PG 898, G7, F7  
SECT 2 NE, T7S, R3W



CURVE DATA				
NO.	RADIUS	DELTA	ARC	TAN
C1	279.00'	09°20'42"	45.51'	22.80'
C2	35.00'	50°38'26"	30.93'	16.56'
C3	29.00'	49°18'55"	24.96'	13.31'
C4	130.00'	09°13'23"	20.93'	10.49'
C5	12.00'	87°11'13"	18.26'	11.42'
C6	61.38'	26°00'46"	27.87'	14.18'

## LEGAL DESCRIPTION

ALL THAT PORTION OF THE MURRIETA PORTION OF THE TEMECULA RANCHO AND A PORTION OF LOTS 187, 190 AND 191 AS SHOWN BY MAP OF TEMECULA LAND AND WATER COMPANY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 359 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT "G" OF TRACT 4476, AS SHOWN BY MAP ON FILE IN BOOK 72 PAGES 47 THROUGH 52, INCLUSIVE, OF MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE SOUTH 18° 11' 55" WEST, ALONG THE SOUTHEASTLY LINE OF SAID LOT "G", A DISTANCE OF 30.00 FEET TO A POINT ON THE SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD, (FORMERLY TEMECULA HOT SPRINGS ROAD) 60.00 FEET WIDE, AS SAID ROAD WAS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED RECORDED APRIL 12, 1932 IN BOOK 72 PAGE 346 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, SAID POINT BEING THE POINT OF BEGINNING OF PARCEL OF LAND TO BE DESCRIBED;

THENCE ALONG SAID SOUTHERLY LINE OF MURRIETA HOT SPRINGS ROAD ON THE FOLLOWING 5 COURSES;

THENCE SOUTH 71° 48' 05" EAST, A DISTANCE OF 610.34 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1212.32 FEET, A CENTRAL ANGLE OF 15° 12' 55", AN ARC LENGTH OF 321.94 FEET;

THENCE SOUTH 56° 35' 10" EAST, A DISTANCE OF 215.84 FEET;

THENCE SOUTHEASTLY ON A CURVE CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 11° 01' 46", AN ARC LENGTH OF 186.73 FEET;

THENCE SOUTH 45° 33' 24" EAST, A DISTANCE OF 501.63 FEET TO A POINT IN THE SOUTHERLY LINE OF THAT CERTAIN PARCEL OF LAND DESIGNATED AS PARCEL 2 IN DEED TO MURRIETA HOT SPRINGS RECORDED DECEMBER 30, 1969 AS INSTRUMENT NO. 132361 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTH 88° 02' 30" WEST, ALONG SAID SOUTHERLY LINE, A DISTANCE OF 2221.18 FEET TO AN ANGLE POINT IN THE SOUTHERLY LINE OF LOT 15 AS SHOWN BY MAP OF SAID TRACT 4476;

THENCE NORTH 43° 00' 00" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 3 THROUGH 15 AND LOT "D" AS SHOWN ON SAID MAP OF SAID TRACT 4476, A DISTANCE OF 885.51 FEET;

THENCE NORTH 18° 11' 55" EAST, ALONG THE SOUTHEASTLY LINE OF LOTS 1, 2 AND 3 AND LOT "G" AS SHOWN ON SAID MAP OF TRACT 4476, A DISTANCE OF 204.32 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION OF SAID LAND LYING EASTERLY AND SOUTHERLY OF THE WESTERLY LINE OF DATE ROAD.

ALSO EXCEPTING THEREFROM PARCELS 1, A, B, C AND D, AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

SAID PARCEL IS ALSO KNOWN AS REMAINDER PARCEL AS SHOWN ON PARCEL MAP NO. 36440 IN THE CITY OF MURRIETA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, RECORDED IN BOOK 238, PAGES 63 THROUGH 67 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

## BENCHMARK:

NATIONAL GEODETIC SURVEY BENCHMARK NO. DX1528  
BENCHMARK DISK SET IN TOP OF CONCRETE MONUMENT STAMPED "600-11-88", LOCATED AT 290 FEET WEST OF JEFFERSON AVE., 36 FEET NORTHEAST OF POWER POLE 64536, 4 FEET SOUTH OF THE SOUTHEAST CORNER OF CHAIN LINK FENCE OF S.C.E. MURRIETA SUBSTATION 2, 1 FOOT WEST OF A MARKER POST.  
ELEV. 1053.2; DATUM: NAVD 88

## ZONING AND LAND USE:

EXISTING ZONING: COMMERCIAL  
EXISTING LAND USE: COMMERCIAL  
GENERAL NOTES:

- NUMBER OF PARCELS:  
10 PARCELS (1 MF3, 5 COMMERCIAL, 2 BASINS AND 2 OPEN SPACE)
- MINIMUM LOT SIZE:
- METHOD OF SEWAGE DISPOSAL:  
SEWER
- 2020 THOMAS BROS. GUIDE:  
PAGE 898, GRIDS G7 & F1
- PLOT PLAN PREPARED:  
APRIL 2021
- OCCUPANCY AND CONSTRUCTION TYPE:  
OCCUPANCY TYPE: R-2 PER CHAPTER 3 (CURRENT CBC)  
CONSTRUCTION TYPE: V-A PER CHAPTER 6 (CURRENT CBC)
- ALL PROPOSED DRAINAGE FACILITIES SHALL BE DESIGNATED TO ACCOMMODATE 100 YEAR STORM FLOWS.
- THIS PROPERTY IS NOT IN A SPECIFIC PLAN AREA.
- TOPD BY: PBLA SURVEYING, INC. DATE: 8/1/2018

- THIS PROPERTY LIES WITHIN FEMA ZONE "C" (AREAS OF MINIMAL FLOODING).
- THERE ARE NO EXISTING STRUCTURES ON THIS PROPERTY.
- THE FINAL DESIGN WILL CONSIDER AND COMPLY WITH NPDES MS 4 PERMIT REQUIREMENTS.
- ALL CUT SLOPES TO BE 2:1 UNLESS OTHERWISE NOTED
- NO EXISTING WELLS ON THE PROPERTY.
- TRASH ENCLOSURE = 14 EA.
- LIQUEFACTION POTENTIAL: VERY LOW
- THIS PROJECT IS NOT WITHIN A CSD.
- THIS PROPERTY IS SUBJECT TO SUBSIDENCE.
- WHEEL STOPS WILL BE REQUIRED WHERE WALKWAYS ADJACENT TO PARKING SPACES ARE LESS THAN 6 FEET WIDE.

## PROJECT DESCRIPTION:

THE PROJECT PROPOSAL IS FOR 253 DWELLING UNIT MULTI-FAMILY COMMUNITY AND COMMERCIAL LOTS AT THE SOUTHWEST CORNER OF MURRIETA HOT SPRINGS ROAD AND DATE STREET.  
APPLICANT PROPOSES CONSTRUCTION OF NINE (9), 3 AND 4 STORY MULTI-FAMILY APARTMENT WITH CLUBHOUSE, SWIMMING POOL, AMENITIES, LANDSCAPING, PARKS TRAILS, PARKING AND INFRASTRUCTURE IMPROVEMENTS AND FOUR (4) 1 STORY COMMERCIAL BUILDINGS WITH PARKING AND LANDSCAPING.

## SITE DATA (APARTMENT):

GROSS AREA = 10 ACRES  
PAD AREA (NET) = 8.2 ACRES  
PROPOSED DWELLING UNIT = 253  
DENSITY AS DESIGNED = 30.8 DU/AC

## ASSESSOR PARCEL NUMBERS:

913-350-017

## UTILITY PURVEYORS:

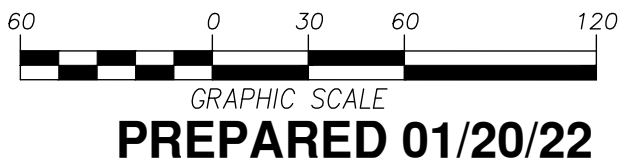
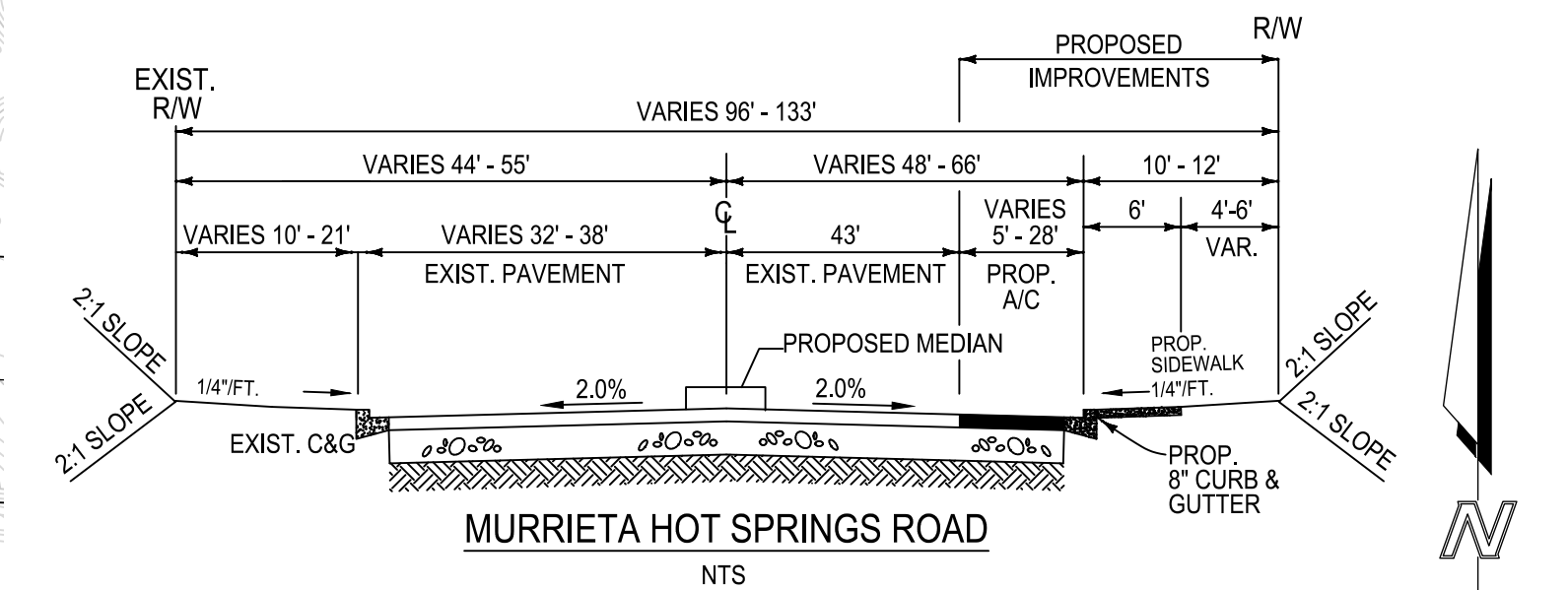
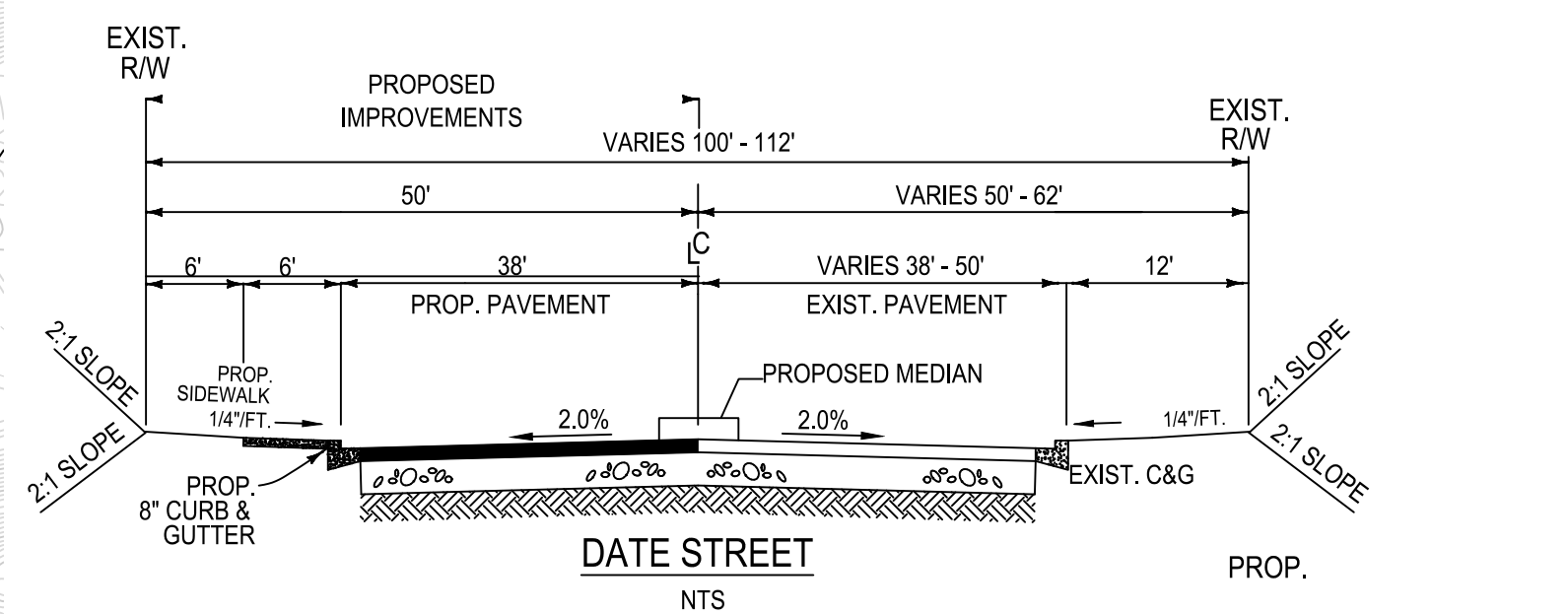
**SCHOOL DISTRICT:**  
MURRIETA VALLEY UNIFIED SCHOOL DISTRICT.  
**UTILITIES:**  
WATER:  
RANCHO CALIFORNIA WATER DISTRICT  
42135 WINCHESTER ROAD  
TEMECULA CA. 92590  
TEL: 951-296-6900  
SANITARY SEWER:  
EASTERN MUNICIPAL WATER DISTRICT  
2270 TRUMBULE ROAD  
PERRIS, CA. 92570  
TEL: 800-426-3893  
STORM SEWER:  
RCPCD AND WCD  
1995 MARKET STREET  
RIVERSIDE, CA. 92501  
TEL: 951-955-1200

## NOTES:

- PROJECT IS NOT WITHIN A SPECIFIC PLAN.
- PROJECT IS NOT WITHIN A COMMUNITY FACILITY DISTRICT.
- SITE IS NOT SUBJECT TO LIQUEFACTION OF OTHER GEOLOGIC HAZARD.
- SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION OR FLOOD HAZARD.
- ELECTRIC:  
SOUTHERN CALIFORNIA EDISON  
26100 MENIFEE ROAD  
ROMOLAND, CA. 92588  
TEL: 800-655-4555  
GAS:  
SOUTHERN CALIFORNIA GAS COMPANY  
P.O. BOX. 3150  
SAN DIMAS, CA. 91773  
TEL: 800-427-2200  
TELEPHONE:  
VERIZON  
TEL: 800-483-5000

## EASEMENTS PER TITLE REPORT

- A RIGHT OF WAY FOR DITCHES AND CANALS AS RESERVED BY THE UNITED STATES OF AMERICA IN THE PATENT RECORDED JANUARY 23, 1906 IN BOOK 3 OF PATENTS, PAGE 289. \*\*THIS EASEMENT IS NOT PLOTTABLE\*\*
- AN EASEMENT FOR TELEPHONE LINES AND INCIDENTAL PURPOSES, RECORDED JUNE 29, 1914 IN BOOK 399 OF DEEDS, PAGE 52, IN FAVOR OF SOUTHERN PACIFIC LAND COMPANY, A CORPORATION \*\*THIS EASEMENT IS NOT PLOTTABLE\*\*
- AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES, RECORDED APRIL 17, 1969 AS INSTRUMENT NO. 37643 OF OFFICIAL RECORDS, IN FAVOR OF CALIFORNIA EDISON COMPANY, A CORPORATION \*\*THIS EASEMENT IS NOT PLOTTABLE\*\*
- AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 12, 1972 AS INSTRUMENT NO. 121690 OF OFFICIAL RECORDS, IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION \*\*THIS EASEMENT IS NOT PLOTTABLE\*\*
- AN EASEMENT FOR PUBLIC ROAD, DRAINAGE AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 23, 1992 AS INSTRUMENT NO. 92-358102 IF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF RIVERSIDE. \*\*THIS EASEMENT IS NOT PLOTTABLE\*\*
- AN EASEMENT FOR PUBLIC ROAD, DRAINAGE AND INCIDENTAL PURPOSES, RECORDED JANUARY 10, 1995 AS INSTRUMENT NO. 95-7503 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF RIVERSIDE.
- ALIGNMENT FOR ADDITIONAL RIGHT OF WAY MURRIETA HOT SPRINGS ROAD, WINCHESTER ROAD & DATE STREET, PER RESOLUTION NO. 06-1560, INST. #2006-213011.



REVISION BLOCK		
REF.	DESCRIPTION	DATE

**ACS CONSULTING, INC.**  
land planning, engineering, and surveying professionals  
PO BOX 2252  
TEMECULA CA 92593  
TEL: 951-757-5178 EMAIL: FRANK@ACSCONSULTINGINC.COM  
PREPARED BY: FRANK A. ARTIGA R.C.E. NO. 61860  
EXP. DATE: 09-30-23 DATE: 01/31/22





**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. **Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org).** The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893.**

The City of Murrieta Planning Department should be contacted on non-ALUC issues. For more information please contact City of Murrieta Planner Jarrett Ramaiya at (951) 461-6060.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [prull@rivco.org](mailto:prull@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:**                    **Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California**

**DATE OF HEARING:**                    **April 13, 2023**

**TIME OF HEARING:**                    **9:30 A.M.**

**CASE DESCRIPTION:**

ZAP1121FV22 – Rancon MHS 20, LLC (Representative: Rancon Group) – City of Murrieta Case Nos. GPA2020-2580 (General Plan Amendment), ZC2022-2581 (Zone Change), DP2022-2579 (Development Plan), TTM2022-2583 (Tentative Tract Map). A proposal to construct a mixed-use development including a multi-family 151-unit apartment complex, and 5 commercial retail/restaurant/office buildings totaling 37,966 square feet on 18.05 acres located southerly of Murrieta Hot Springs Road, westerly of Date Street, easterly of Calle del Lago, and northerly of Calle de Fortuna. The applicant also proposes amending the site's general plan land use designation from Commercial to Multi-Family 2 Residential, Commercial and Open Space, and changing the site's zoning from CC (Community Commercial) to MF-3 (Multiple Family 3 Residential), CC (Community Commercial), and OS (Open Space). The applicant also proposes a tentative tract map to divide the site into 10 commercial parcels (Airport Compatibility Zone D of the French Valley Airport Influence Area).





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

### ALUC STAFF ONLY

ALUC Case Number: 2AP1121 FV22 Date Submitted: 8-31-22  
 AIA: French Valley  Zone: D  Public Hearing  Staff Review

### Applicant

Applicant Full Name: Rancon MHS 20, LLC c/o Brian Fronk  
 Applicant Address: 41391 Kalmia Street, Ste 200 Murrieta, CA 92562  
 Phone: 951-200-2389 Email: bfronk@rancongroup.com

### Representative/ Property Owner Contact Information

Representative: Jennell Schroeder Email: jschroeder@rancongroup.com  
 Phone: 951-200-2390  
 Address: 41391 Kalmia Street, Ste 200 Murrieta, CA 92562

Property Owner: Rancon MHS 20, LLC Email: bfronk@rancongroup.com  
 Phone: 951-200-2389  
 Address: 41391 Kalmia Street Ste 200 Murrieta, Ca 92562

D.F.V.

### Local Jurisdiction Agency

Agency Name: City of Murrieta Phone: 951-461-6060  
 Staff Contact: Jarrett Ramaiya Email: jramaiya@MurrietaCA.gov  
 Address: 1 Town Square Murrieta, Ca 92562

Local Agency Case No.: TTM-2022-2583, ZC-2022-2581, GPA-2020-2580, DP-2022-2579

### Project Location

Street Address: Murrieta Hot Springs Rd/Date Street Gross Parcel Size: 18.05  
 Assessor's Parcel No.: 913-350-017

### Solar

Is the project proposing solar Panels? Yes  No  If yes, please provide solar glare study. (only if in Zone C or higher)



## Data

Site Elevation:(above mean sea level) Commercial - 1150.7 Residential - 1173.7

Height of Building or structures: maximum 40'-1"

What type of drainage basins are being proposed and the square footage: Surface drain underground retention-parcel 7- 24,829.20SF , parcel 8- 33,105.60 SF

## Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### **C. SUBMISSION PACKAGE:**

**Please submit all application items DIGITALLY via USB or CD:**

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

**Additionally, please provide:**

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).

# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

**AGENDA ITEM:** 3.2

**HEARING DATE:** April 13, 2023

**CASE NUMBER:** ZAP1561MA23 – Brookhill Corporation (Representative: The Kaidence Group)

**APPROVING JURISDICTION:** City of Perris

**JURISDICTION CASE NO:** SPA22-05349 (Specific Plan Amendment), DPR22-00032 (Development Plan Review).

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan

Airport Influence Area: March Air Reserve Base/Inland Port Airport

Land Use Policy: Compatibility Zone D

Noise Levels: Below 60 CNEL from aircraft

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the Specific Plan Amendment CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and also find the Development Plan Review CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** A proposal to construct a 300-unit multifamily apartment complex with recreational amenities on 16.68 acres. The applicant also proposes to amend the May Ranch Specific Plan Land Use Designation, changing the sites zoning from Commercial (C) to Multi Family Residential (MFR-22).

**PROJECT LOCATION:** The site is located southerly of Rider Street, westerly of Evans Road, and westerly of Murrieta Road, approximately 17,526 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

### **BACKGROUND:**

Residential Density: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone D, which does not restrict residential density.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 17,526 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,663 feet AMSL. The site's finished floor elevation is 1,445 feet AMSL and the proposed building height is 42 feet, for a top point elevation of 1,487 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) was not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The project is located 17,526 feet from the runway, and therefore would not be subject to the above requirement.

Specific Plan Amendment: The applicant also proposes to amend the May Ranch Specific Plan Land Use Designation, changing the sites zoning from Commercial (C) to Multi Family Residential (MFR-22). The proposed amendments would be as, or more, consistent with the Compatibility Plan as the underlying compatibility zone does not restrict intensity.

#### **CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.

- (c) Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hazards to flight
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
  4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The project has been evaluated to construct a proposal to construct a 300-unit multifamily apartment complex with recreational amenities. Any increase in building area, change in use to any higher intensity use, change in building location, or modification



Staff Report  
Page 4 of 4

of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

X:\AIRPORT CASE FILES\March\ZAP1561MA23\ZAP1561MA23sr.doc

# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

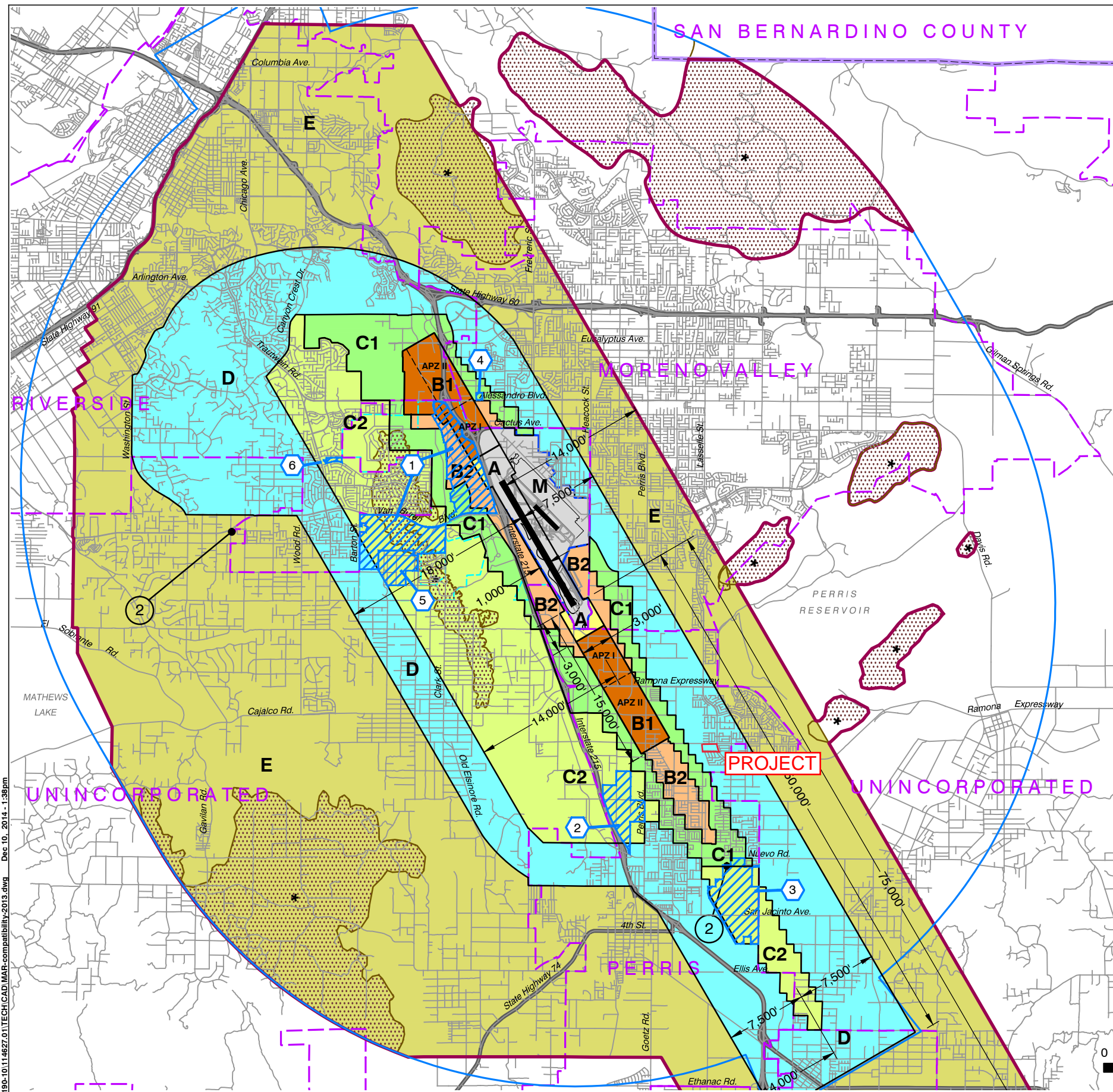
PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES



**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_



**LEGEND**

**Compatibility Zones**

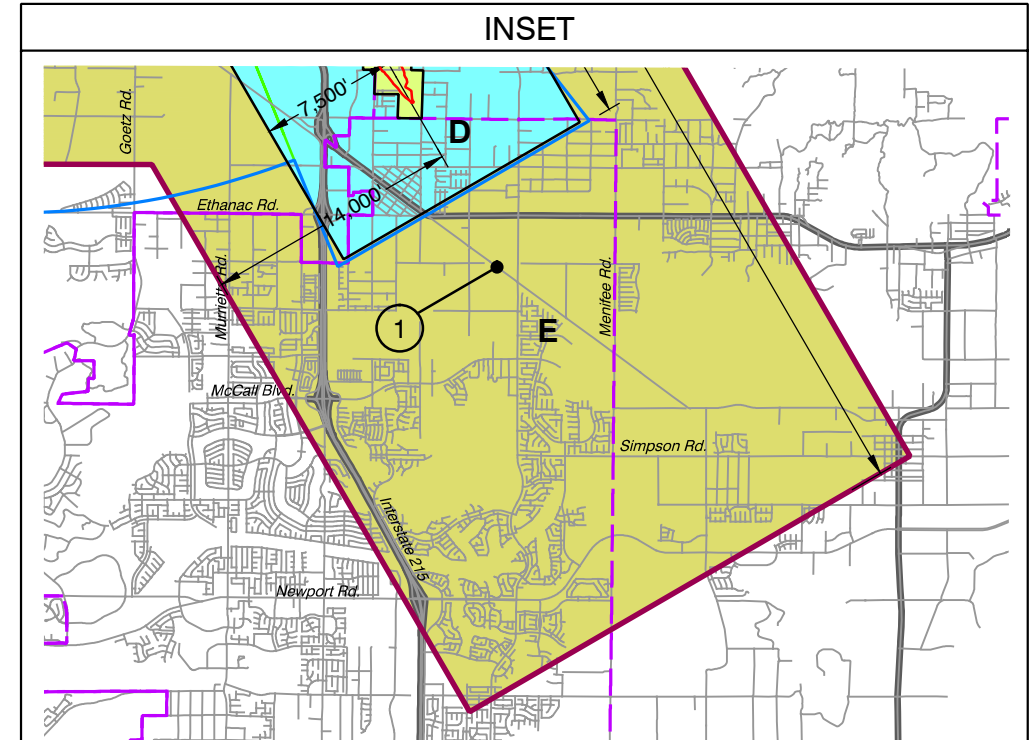
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

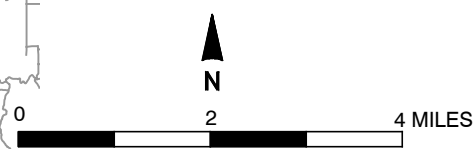
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

X:\18190-10\114627\01\TECH\CAD\MAR-compatibility\2013.dwg Dec 10, 2014 - 1:38pm

Prepared by Mead & Hunt, Inc. (June 2013)

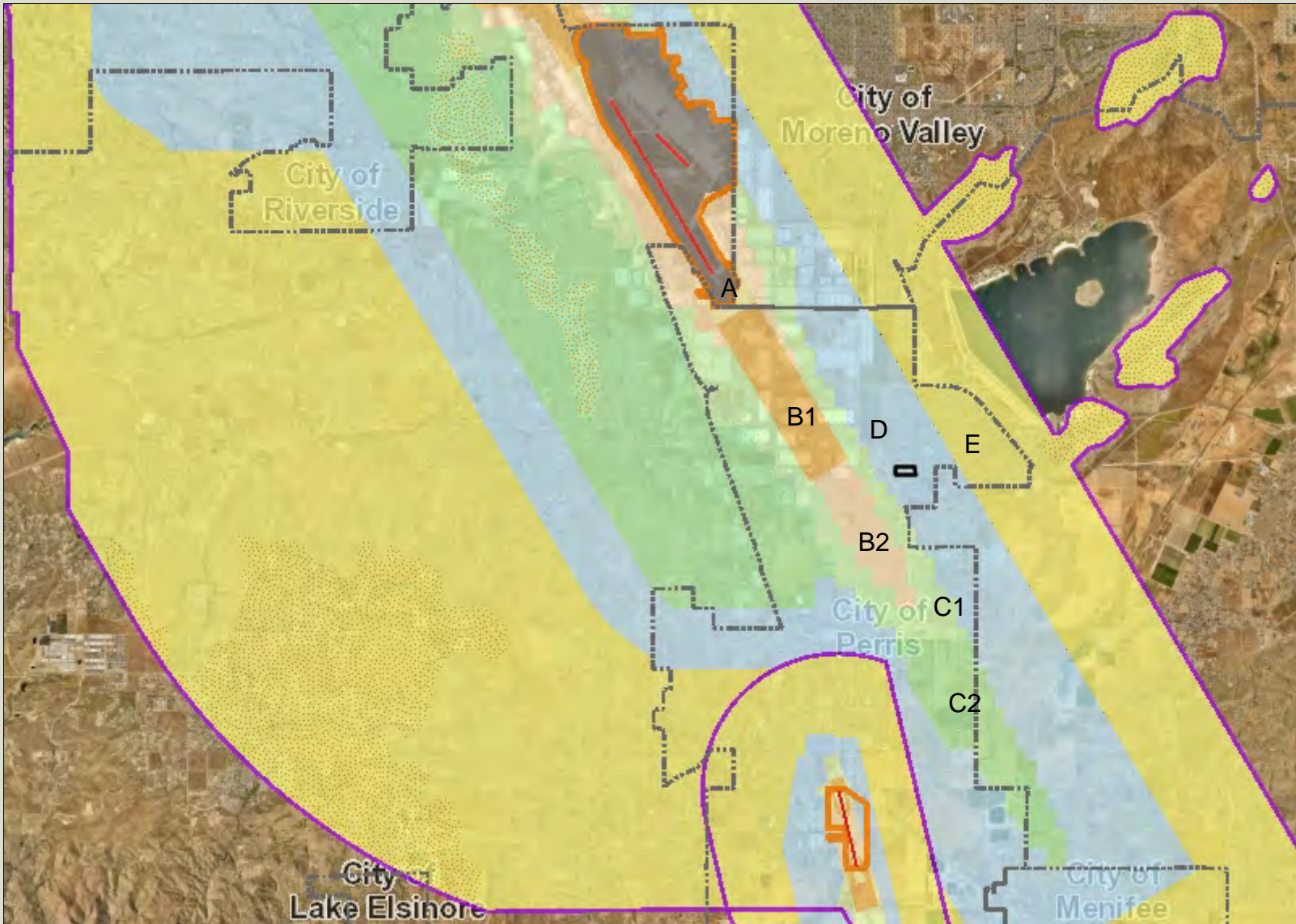
SEE INSET AT RIGHT

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6

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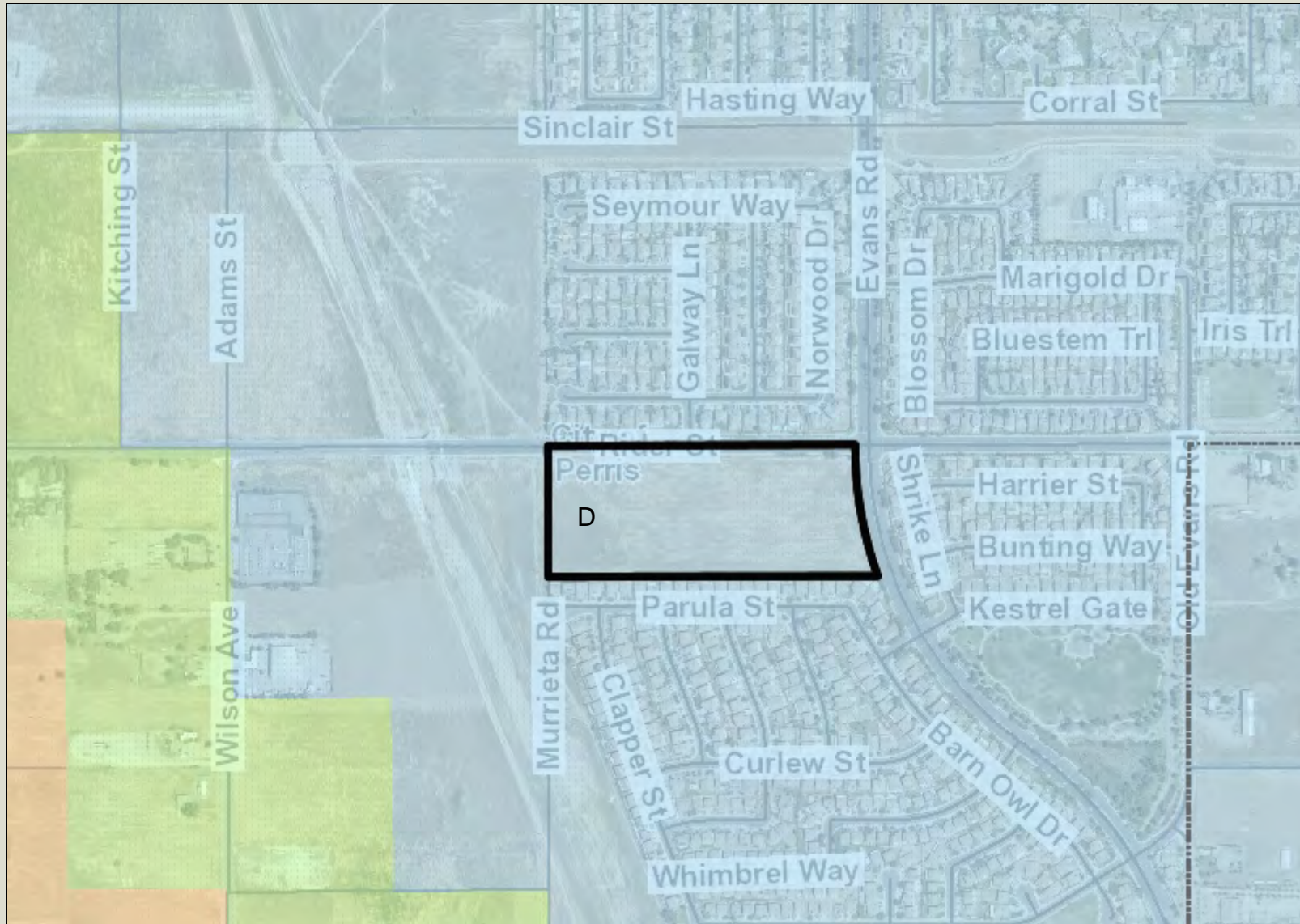
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## Notes



# Map My County Map



### Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
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- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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### Notes



# Map My County Map



- Legend**
- County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**






# Map My County Map



## Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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## Notes

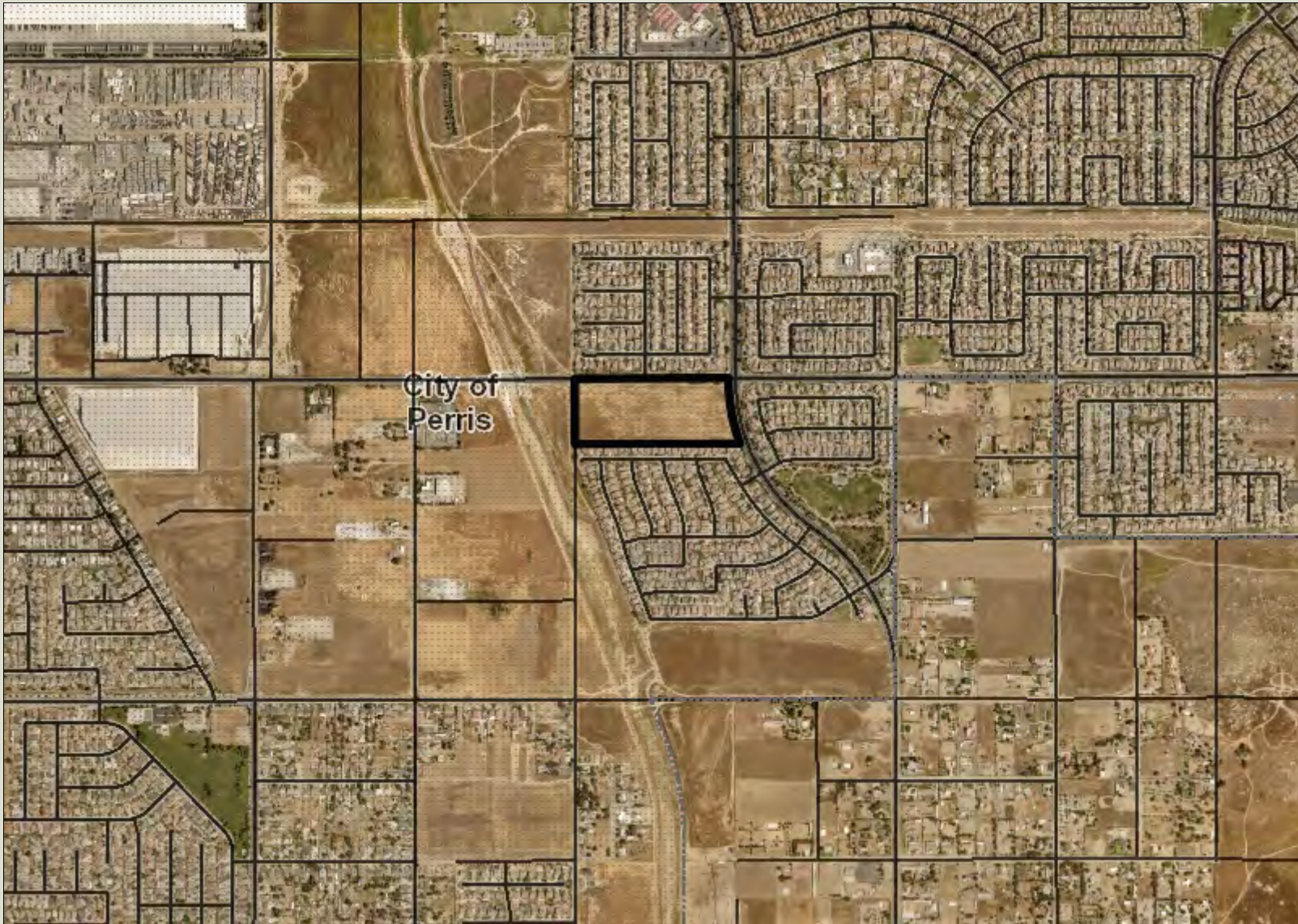


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# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes

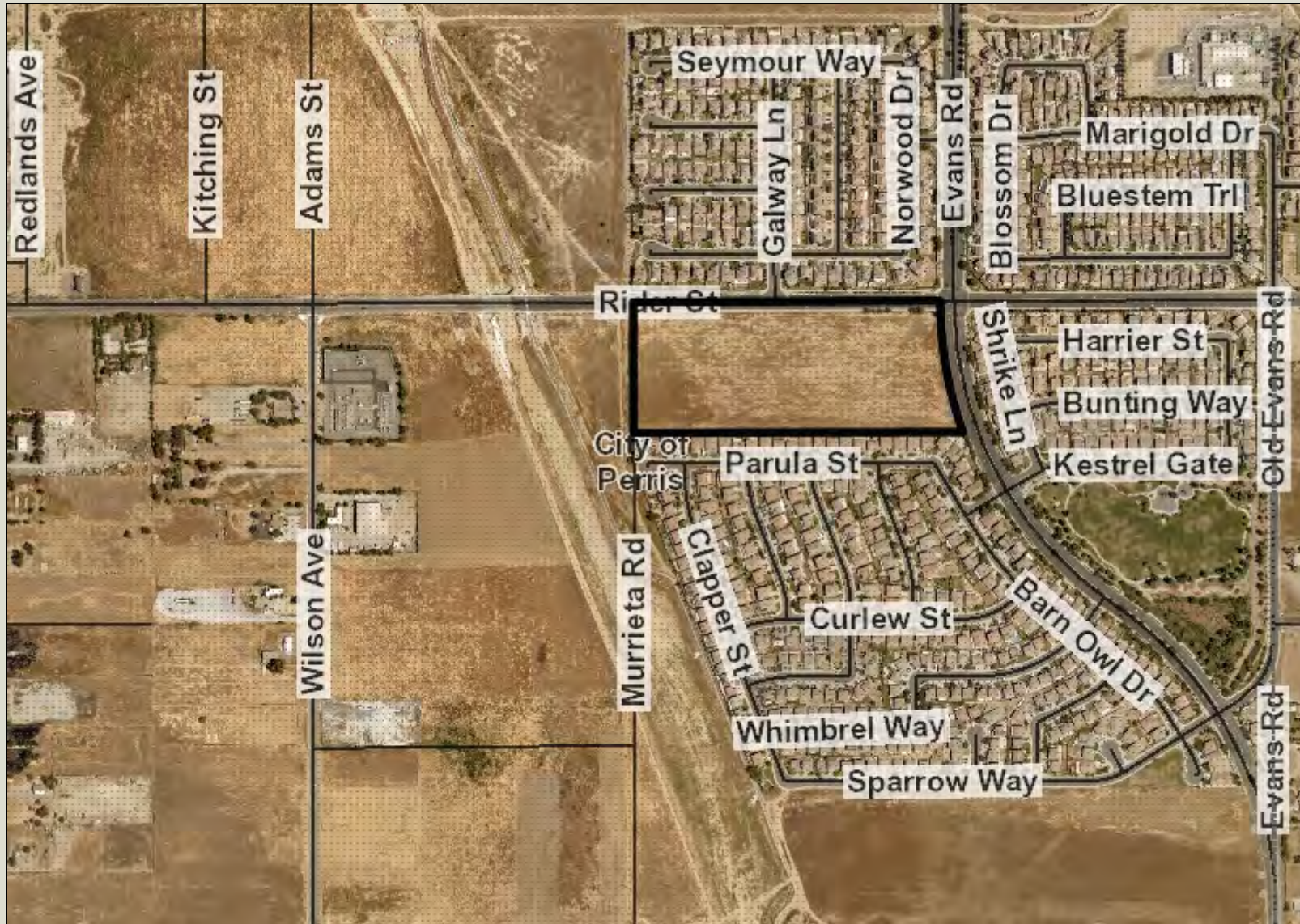


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# Map My County Map



- Legend**
- County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**





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A-2.1	BLDG-100A ELEVATIONS	A-3.2	BLDG-200A ROOF PLAN
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L-15	TRASH ENCLOSURE FLOOR PLAN AND ELEVATIONS
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# VICINITY MAP



# PROJECT TEAM

## DEVELOPER:

**The Kaidence Group**  
5070 North 40th Street Suite 210  
Phoenix, AZ 85018  
Attn: Katie Rounds  
P: 480.269.6613  
krounds@kaidencegrp.com



## ARCHITECT:

**TCA Architects**  
18821 Bardeen Ave.  
Irvine, CA 92612  
Contact: Chris Williams  
P: 949.862.0270  
P: 949.862.0289  
www.tca-arch.com  
cwilliams@tca-arch.com

## CIVIL ENGINEER:

**Adkan Engineer**  
6879 Airport Drive  
Riverside, CA 92504  
Contact: Michael Brendecke  
P: 951.688.0241  
C: 951.446.3000  
www.hnagi.com  
mbrendecke@adkan.com



## LANDSCAPE ARCHITECT:

**C2 Collaborative**  
100 Avenida Miramar,  
San Clemente, CA 92618  
Contact: Blaine Shearer  
P: 949.366.6624  
C: 949.542.7706  
www.c2collaborative.com  
bshearer@c2collaborative.com

# PROJECT DESCRIPTION

The Kaidence Multi Family Design is a proposed development in the City of Perris with 300 apartment units, parks, opens spaces and centralized recreation.

The 14.54-acre project site is located on the south west corner of East Rider Street and Evans Road. The development will consist of 17 residential and 2 amenity buildings. The residential buildings are two and three story in two different building types. The two story, 16 & 8 plex, residential buildings line Rider and Evans with the 20 plex three story buildings are internal to the site.

The site plan is design in a formal concept with the main entry central to the site arriving on a grand recreation area. Connecting to the recreation are open space amenities that link to each side of the community focusing on pedestrian movements. Interwoven through the community is parking and vehicular movements for easy access to all residents however hidden from the outside of the community and with minimal interruption to the internal pedestrian experience.

The recreation concept offers fitness, clubrooms, pool, spa, BBQ, tot-lot and multiple open lawn area along with pedestrian activity that stretch internally in the community and to the outside surrounding areas.

# PROJECT SUMMARY

Site Summary			
Net/ Gross Acres	14.68/ 16.68	Unit Mix	
Total Units	300	One Bedroom	91 30%
Density Net/ Gross	20.4/ 17.98	Two Bedroom	167 56%
Assessors Parcel Number	300-090-004	Three Bedroom	42 14%
Net Rentable Square Feet	305,215	Total	300
Average Unit Square Feet	1,017	Amenity S.F.	8,469
Gross Building Square Feet	420,557	Private Open Space/ Deck	28,302
Building Lot Coverage	27%		

Parking Provided			Parking Required		
Total Garages	135	45%	One Bedroom	1.5	137
Carports	300		Two Bedroom	2	334
Open Spaces	201		Three Bedroom	2.5	105
Parking Ratio		2.12	Guest	0.2	60
<b>Total</b>	<b>636</b>		<b>Required Total</b>		<b>636</b>

100A - 16 Plex (Two Story)				
Unit Type	Units /Building	Total Units	S.F./Unit	Total S.F.
A2	4	28	841	23,548
B1	4	28	1,042	29,176
B3	2	14	1,068	14,952
B4	4	28	1,072	30,016
C2	2	14	1,345	18,830
<b>Total</b>		<b>112</b>		<b>116,522</b>

Total Buildings 7

100B - 8 Plex (Two Story)				
Unit Type	Units /Building	Total Units	S.F./Unit	Total S.F.
B3	3	3	1,068	3,204
B4	4	4	1,072	4,288
C2	1	1	1,345	1,345
<b>Total</b>		<b>8</b>		<b>8,837</b>

Total Buildings 1

200 20 Plex (Two Story)				
Unit Type	Units /Building	Total Units	S.F./Unit	Total S.F.
A1	4	36	811	29,196
A2	3	27	841	22,707
B1	6	54	1,042	56,268
B2	4	36	1,047	37,692
C1	3	27	1,259	33,993
<b>Total</b>		<b>180</b>		<b>179,856</b>

Total Buildings 9

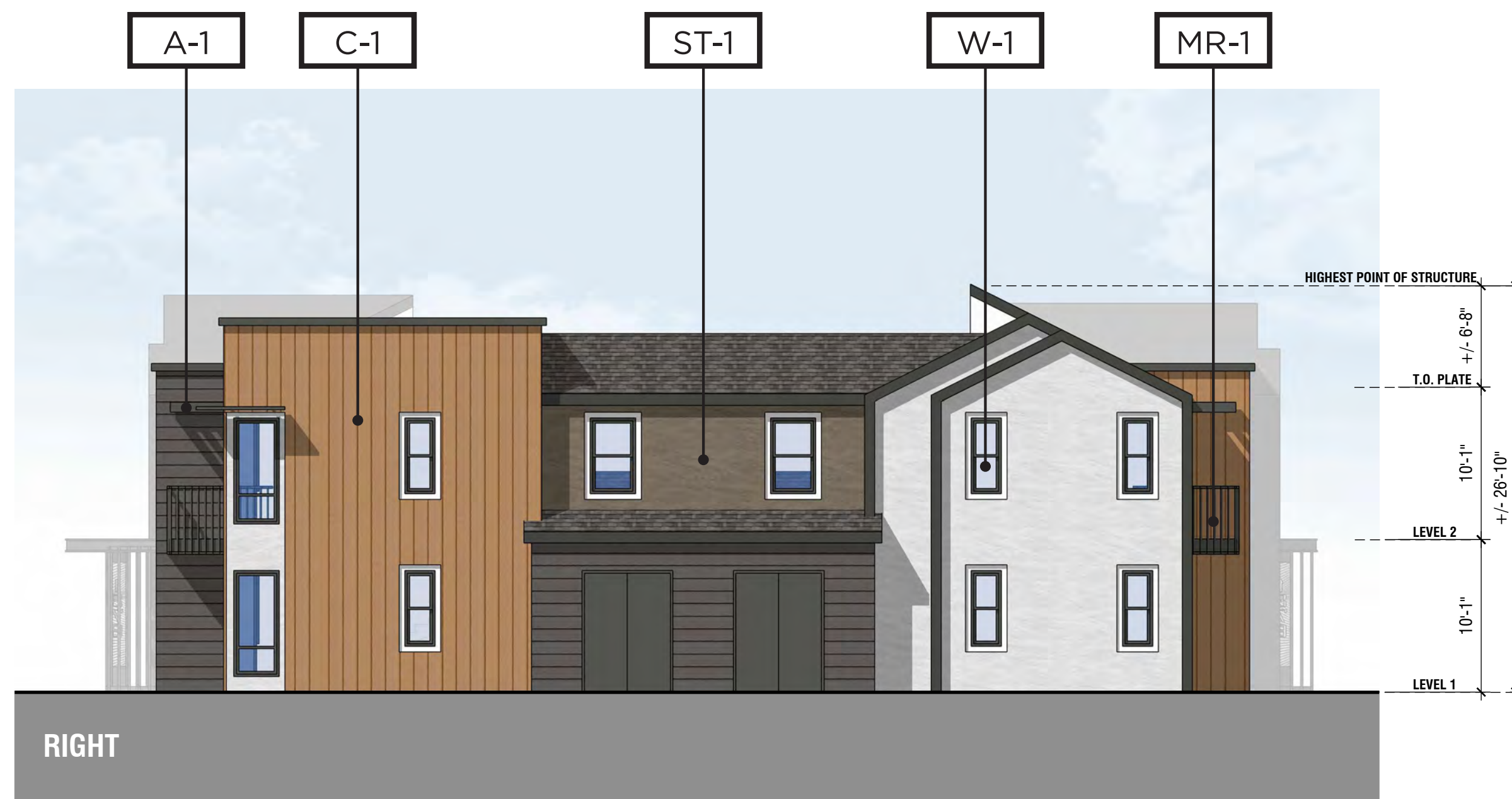








1- FRONT ELEVATION



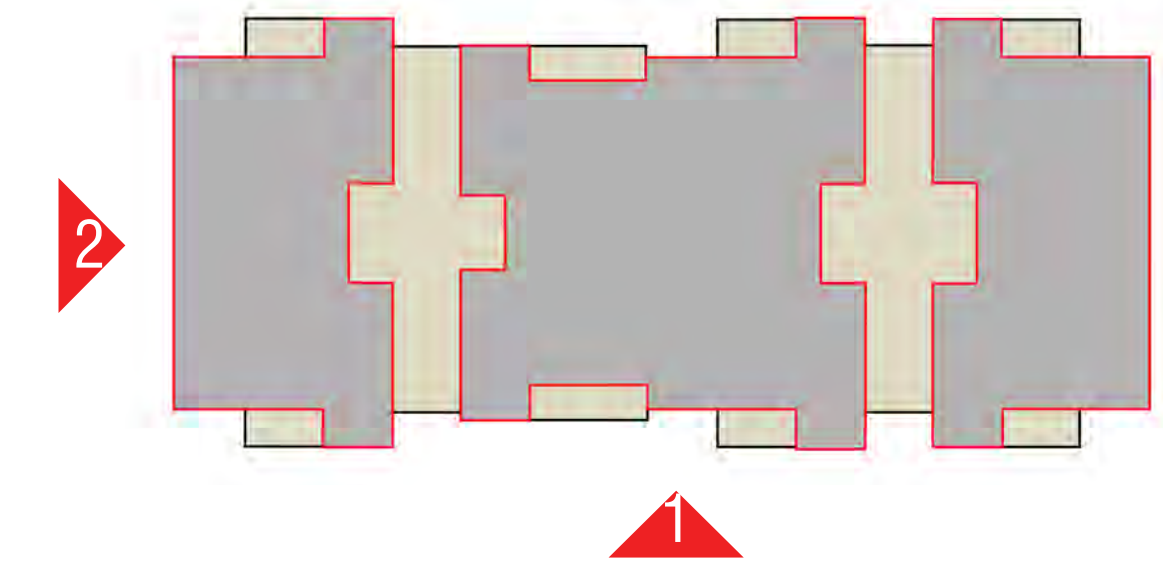
2- RIGHT ELEVATION



BUILDING PERSPECTIVE

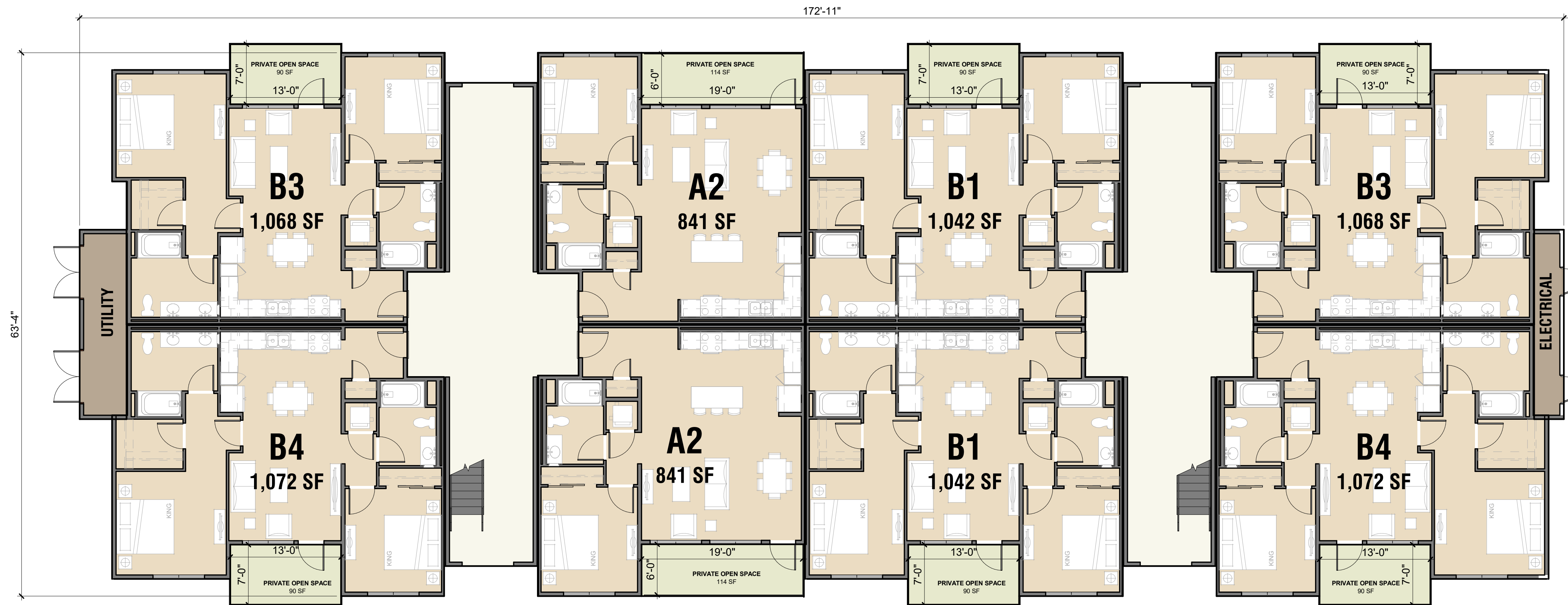
**MATERIAL LEGEND**

- A-1 - AWNING
- C-1 - CEMENTITIOUS SIDING
- MR-1 - METAL RAILING
- RS-1 - ROOF SHINGLES
- ST-1 - STUCCO
- SF-1 - STOREFRONT
- W-1 - VINYL WINDOW

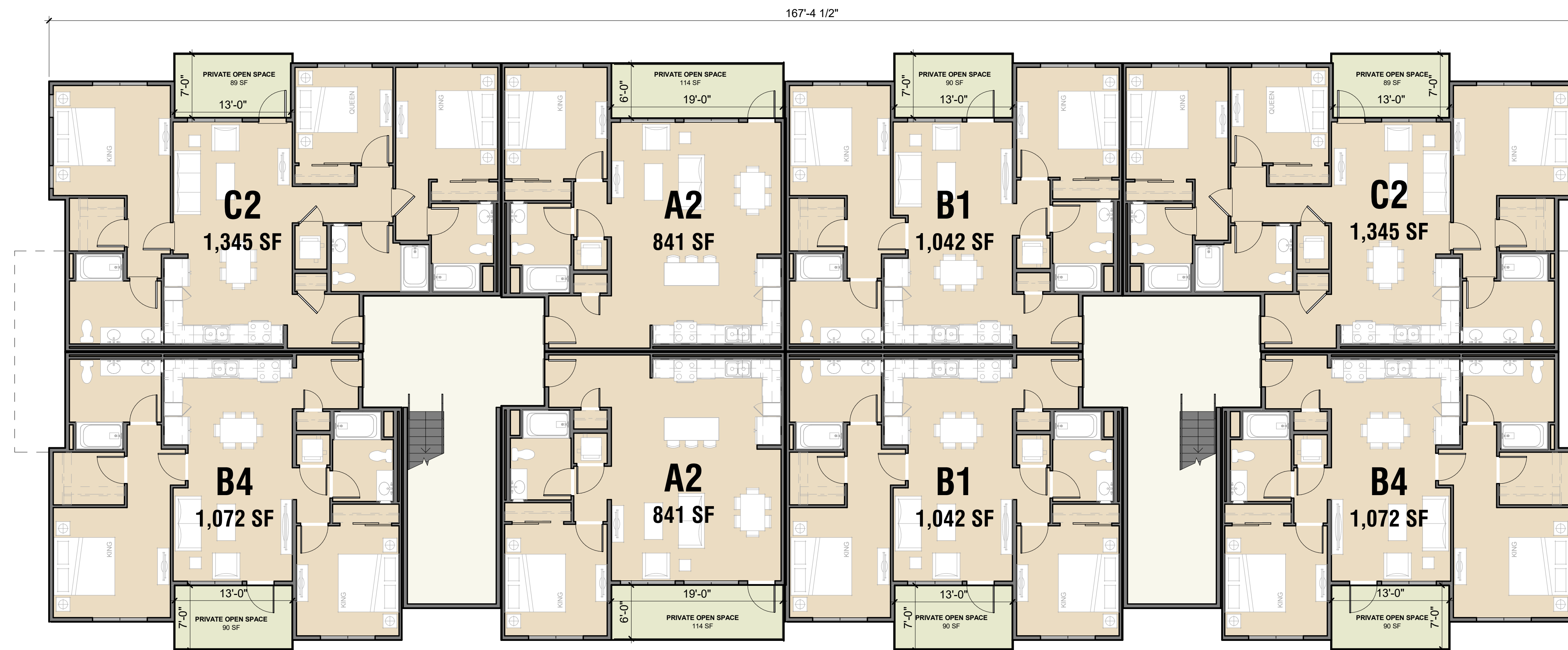


BUILDING KEY PLAN





FIRST LEVEL FLOOR PLAN

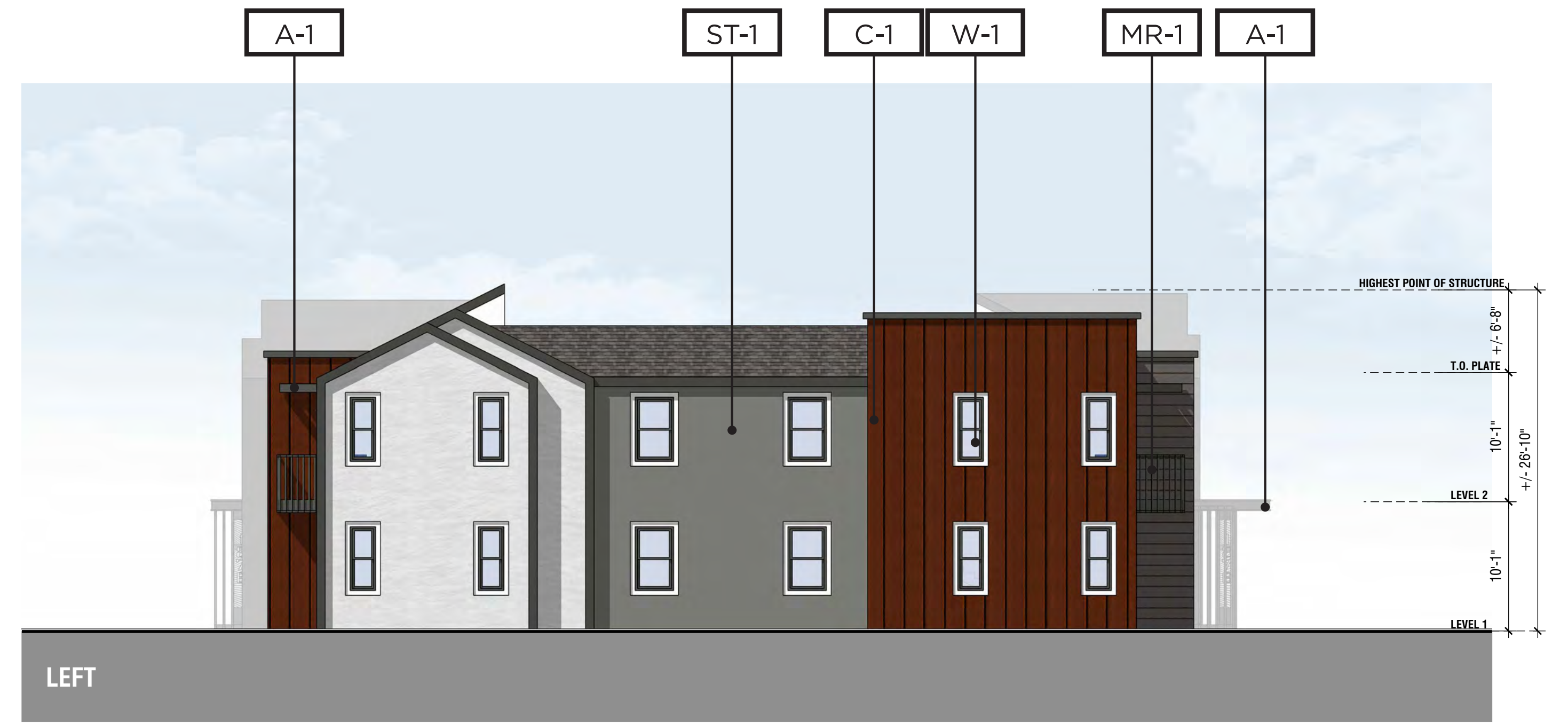


SECOND LEVEL FLOOR PLAN





1- REAR ELEVATION



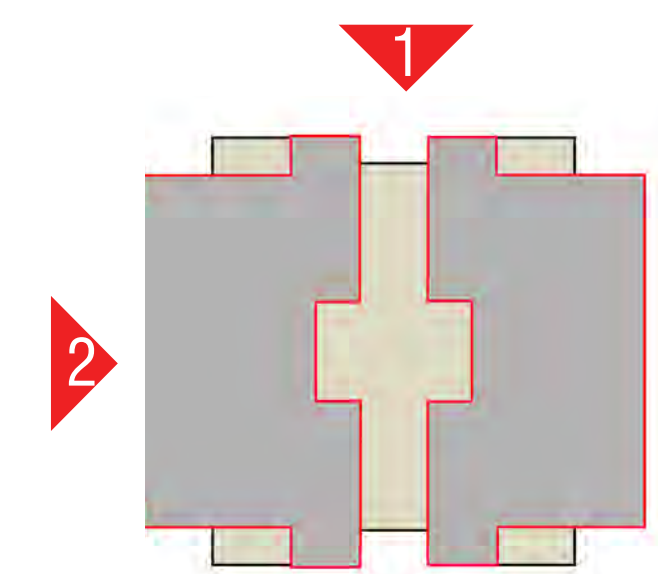
2- LEFT ELEVATION



BUILDING PERSPECTIVE

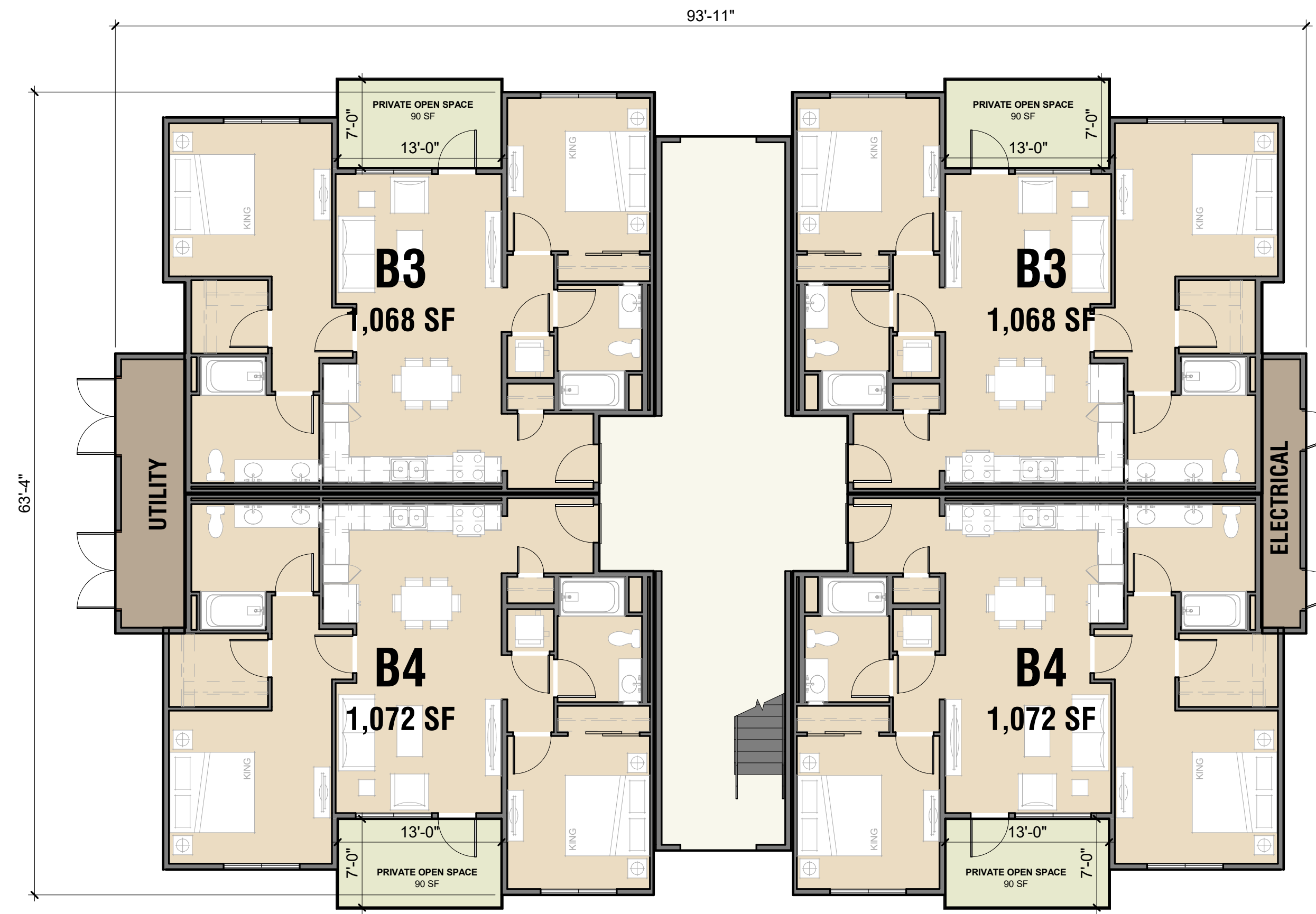
**MATERIAL LEGEND**

- A-1 - AWNING
- C-1 - CEMENTITIOUS SIDING
- MR-1 - METAL RAILING
- RS-1 - ROOF SHINGLES
- ST-1 - STUCCO
- SF-1 - STOREFRONT
- W-1 - VINYL WINDOW



BUILDING KEY PLAN





FIRST LEVEL FLOOR PLAN



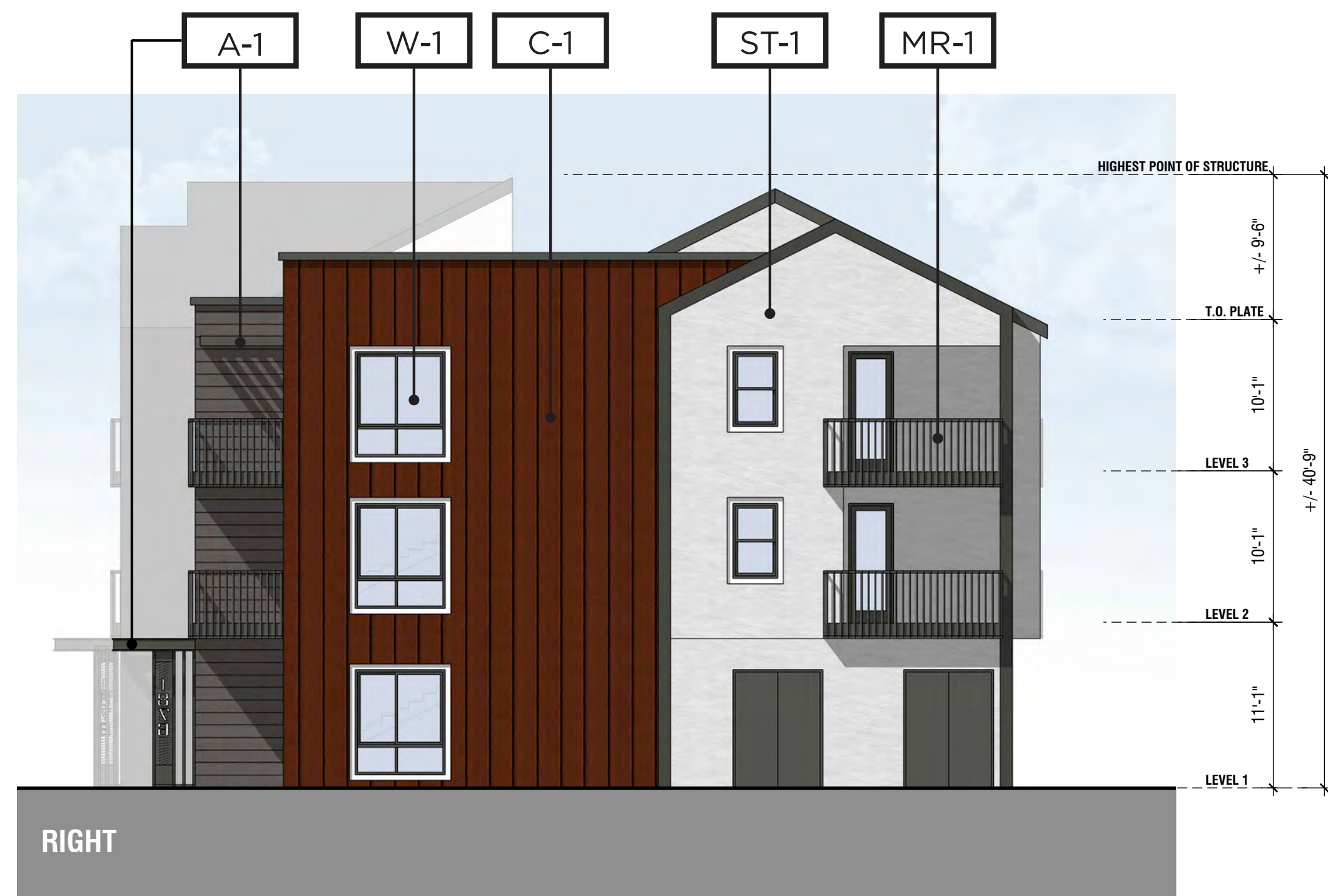
SECOND LEVEL FLOOR PLAN





FRONT

1- FRONT ELEVATION



RIGHT

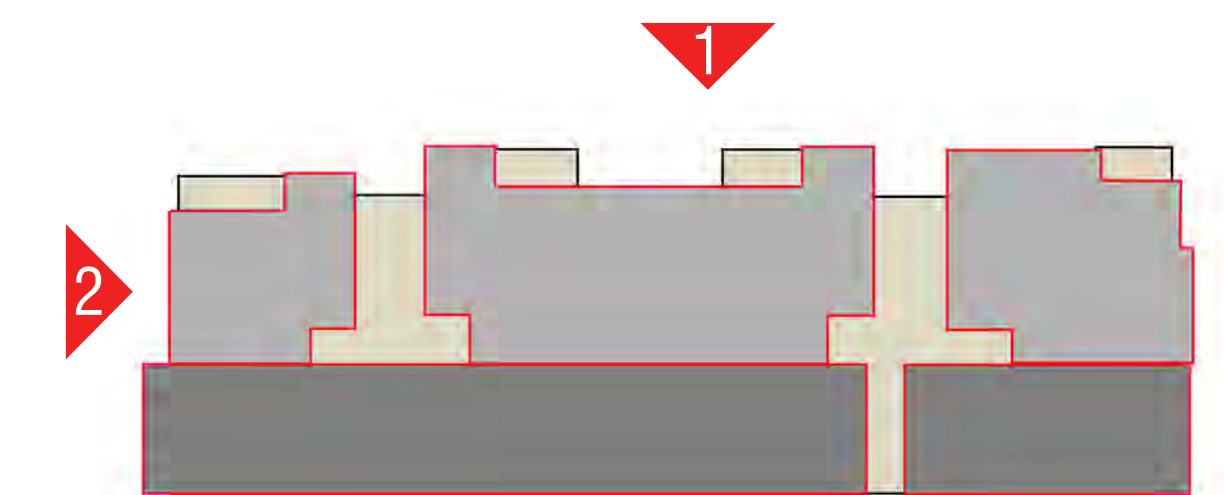
2- RIGHT ELEVATION



BUILDING PERSPECTIVE

**MATERIAL LEGEND**

- A-1 - AWNING
- C-1 - CEMENTITIOUS SIDING
- MR-1 - METAL RAILING
- RS-1 - ROOF SHINGLES
- ST-1 - STUCCO
- SF-1 - STOREFRONT
- W-1 - VINYL WINDOW

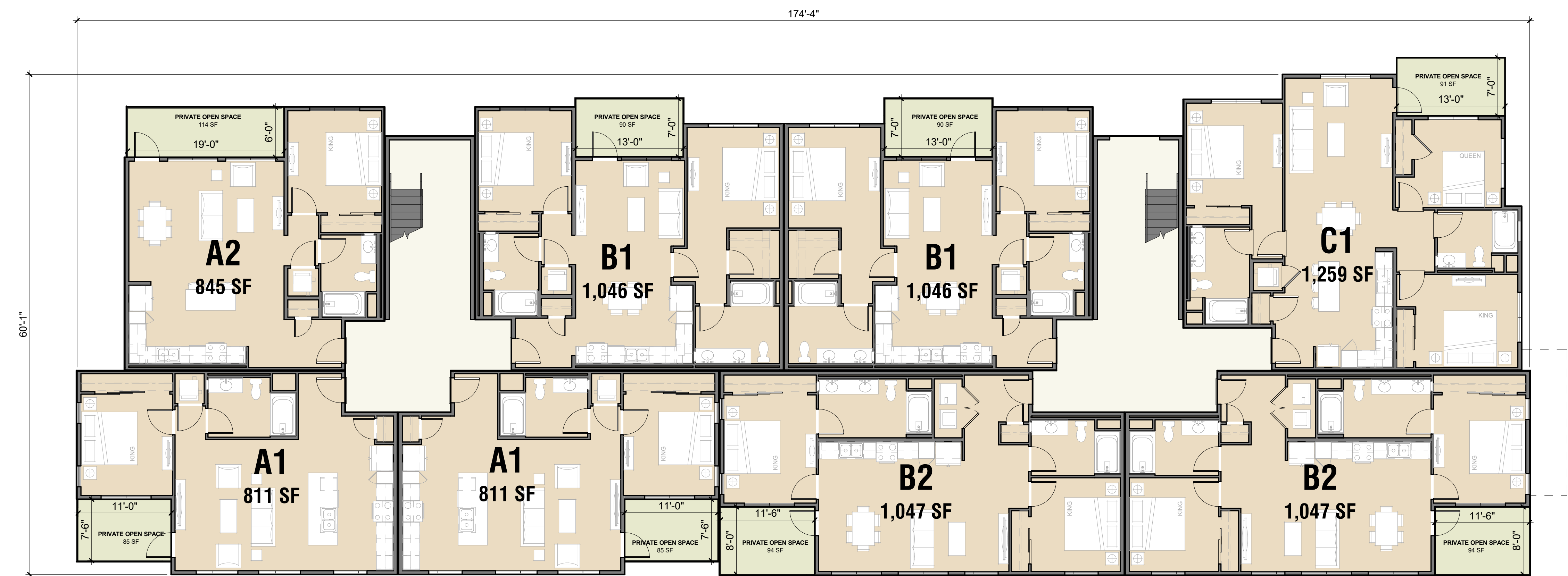


BUILDING KEY PLAN





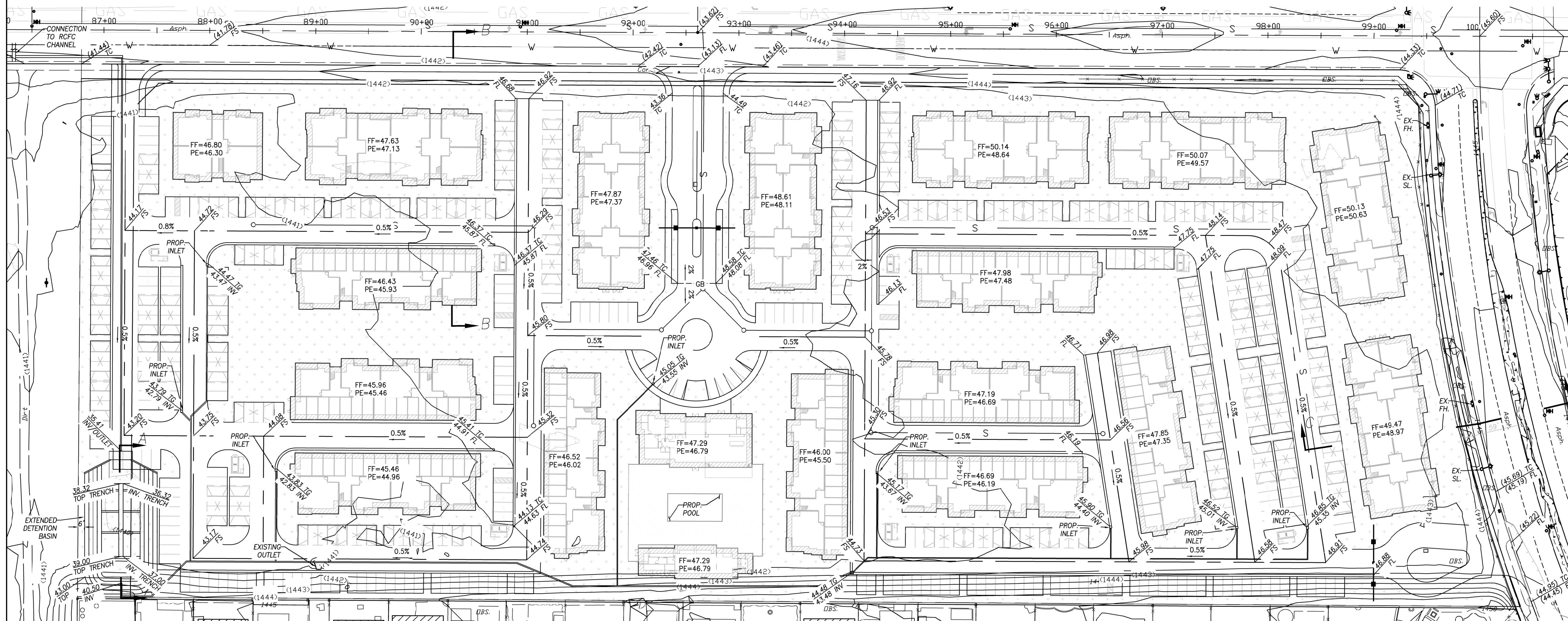
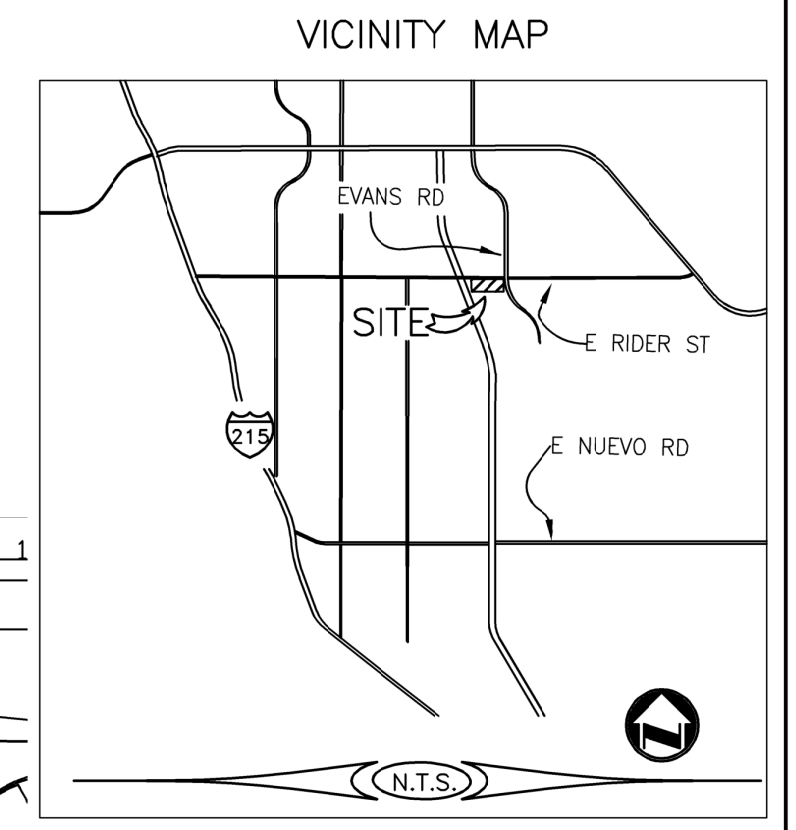
FIRST LEVEL FLOOR PLAN



SECOND LEVEL FLOOR PLAN



IN THE CITY OF PERRIS, STATE OF CALIFORNIA  
**CONCEPTUAL GRADING PLAN**  
**KAIDENCE EVANS**  
 APN:300-090-004



**OWNER/APPLICANT**  
 BROOKHILL CORPORATION  
 2716 OCEAN PARK BLVD.  
 SANTA MONICA, CA 90405  
 TEL: (310) 314-2400 X3

**ENGINEER**  
 ADKAN ENGINEERS  
 6879 AIRPORT DRIVE  
 RIVERSIDE, CA 92504  
 TEL: (951) 688-0241

**ASSESSOR'S PARCEL NUMBER**  
 300-090-004

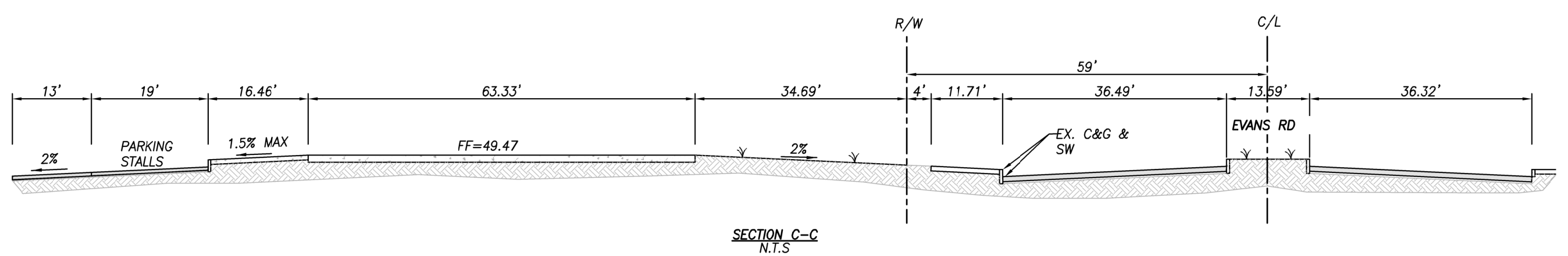
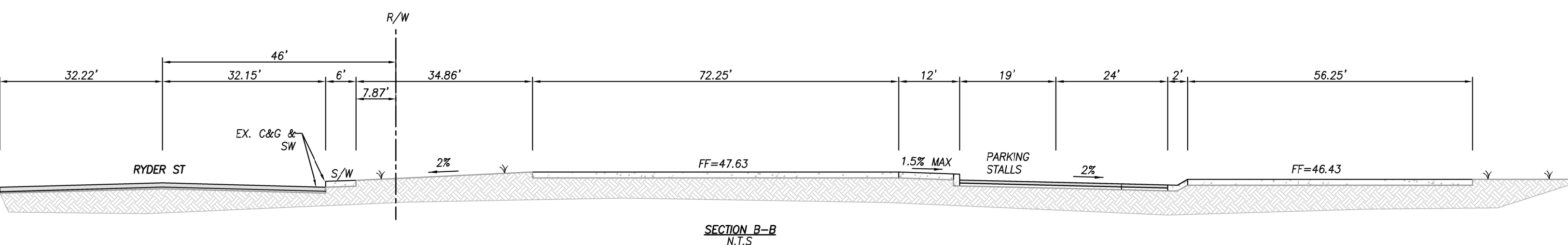
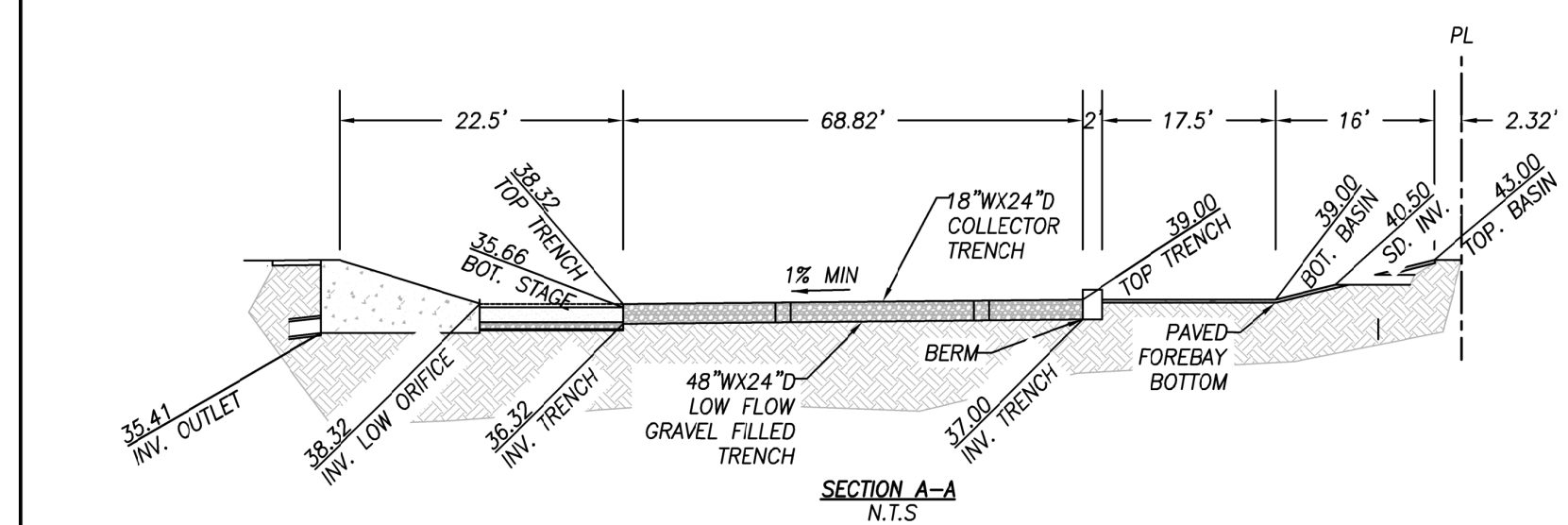
**ZONING**  
 EXISTING ZONING: MR-SP (3029)  
 PROPOSED ZONING: MFR-22

**LAND USE**  
 EXISTING LAND USE: COMMERCIAL  
 PROPOSED LAND USE: RESIDENTIAL

**UTILITY PERVEYORS**  
 WATER: EMD  
 SEWER: EMD

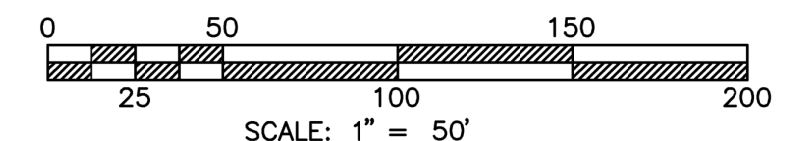
**BENCHMARK**  
 40 Y (PID)X2103  
 3" BRASS DISK, SET IN BOULDER, STATION IS ABOUT 4-1/2 MILES W OF LAKEVIEW, ABOUT ONE MILE W OF THE PASS THROUGH THE BERNASCONI MOUNTAINS, ABOUT 200 FEET SW OF THE INTERSECTION OF BRADLEY ROAD AND WALNUT AVENUE, 70 FEET S OF CENTERLINE OF WALNUT AVENUE, IN A LARGE BOLDER, AND MARKED WITH A TEE. MARK IS A METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA STANDARD DISK STAMPED 40 Y 1931. 1988 ELEVATION: 1496.35

**LEGAL DESCRIPTION**  
 LOT 1 AS SHOWN ON LOT LINE ADJUSTMENT NO. 00-0033 RECORDED APRIL 13, 2009 AS INSTRUMENT NO. 2000-136848 OF OFFICIAL RECORDS OF RIVERSIDE, CALIFORNIA, BEING A PORTION OF PARCEL 17 OF PARCEL MAP NO. 25943 ON FILE IN BOOK 176 PAGES 60 THROUGH 71 OF PARCEL MAPS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA IN SECTION 16, TOWNSHIP 4 SOUTH, RANGE 3 WEST, RANCHO SAN JACINTO NUEVO.

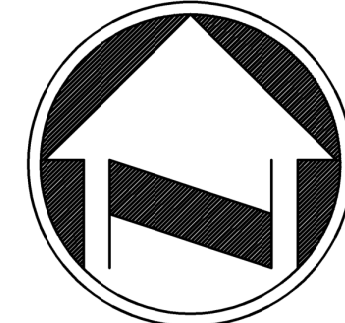


**LEGEND**

ASPH.	ASPHALT
EX. R/W	OFF-SITE EXISTING RIGHT OF WAY
TE	TRASH ENCLOSURE
FF	FINISHED FLOOR
FH	FIRE HYDRANT
P/L	PROPERTY LINE
R/W	ON-SITE RIGHT OF WAY
FL	FLOWLINE
EX. CL	EXISTING CENTERLINE
LS	LANDSCAPE
GB	GRADE BREAK
(XX.XX)	EXISTING TOPO ELEVATION
TG	TOP OF GRATE
D.S.	DOWN SPOUT
[Symbol]	PROP. CONCRETE PAVEMENT
[Symbol]	PROP. A.C. PAVEMENT
[Symbol]	GRAVEL
[Symbol]	ADA PATH OF TRAVEL



SHEET: C-1



PLANS PREPARED BY:  
**adkan ENGINEERS**  
 Civil Engineering · Surveying · Planning  
 6879 Airport Drive, Riverside, CA 92504  
 Tel:(951) 688-0241 · Fax:(951) 688-0599

Plot Date: 10/12/2022

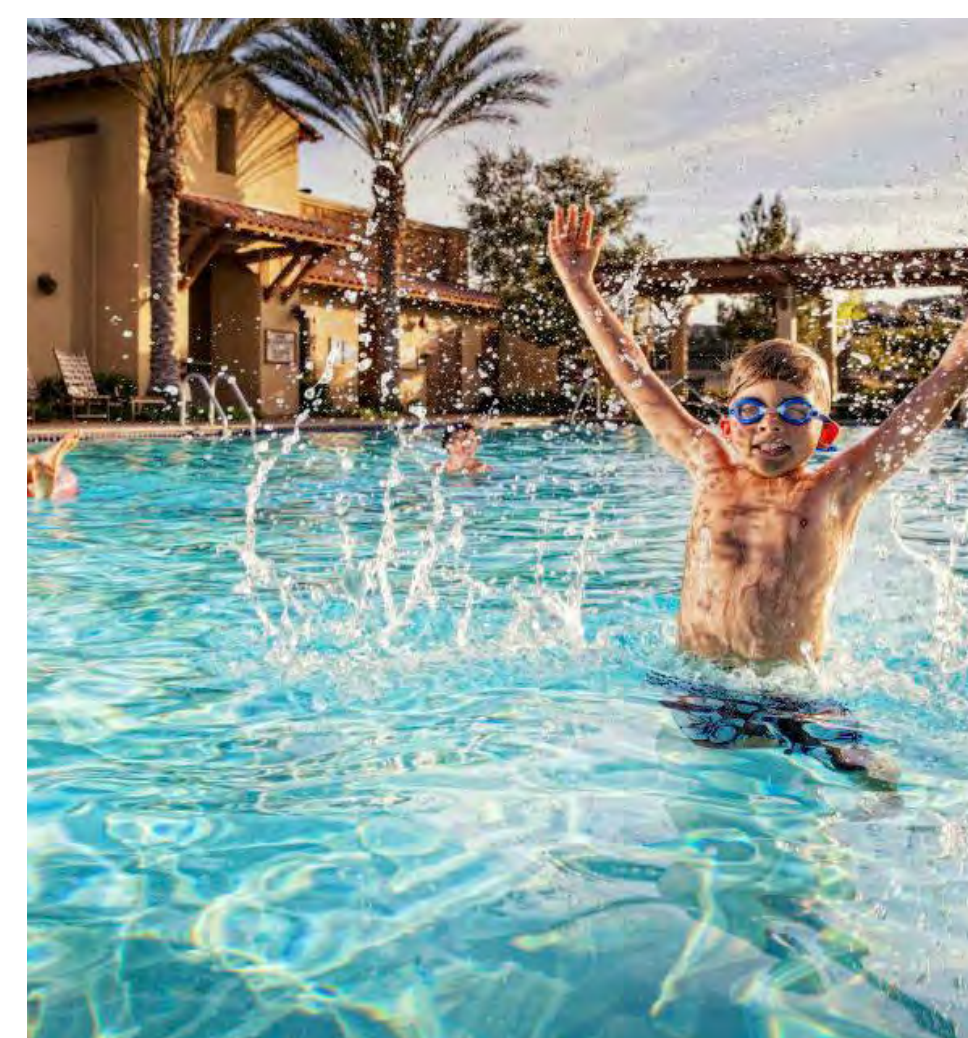




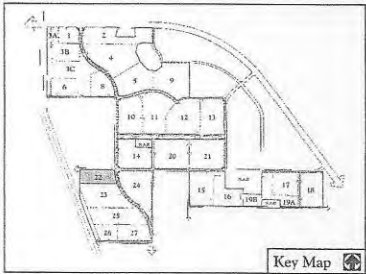


## LEGEND

- |  |   |
|--|---|
| 1 Primary Entry With Signage                         | 10 Seating Under Shade Trees                                  |
| 2 Enhanced Entry With Large Tree                     | 11 Open Lawn  |
| 3 Informal Dog Park With Shade Structure and Seating | 12 Formal Dog Park With Dog Wash And Seating (Fenced)         |
| 4 Blade Wall With Signage                            | 13 Monument Sign  |
| 5 Shade Structure With BBQ                           | 14 Undulating Perimeter Wall/Fence (Tubular Steel/ CMU Block) |
| 6 Tot Lot Garden                                     | 15 Bench Seating Under Tree                                   |
| 7 Seating Under Formal Tree Bosque                   | 16 Trash Enclosure  |
| 8 Recreation Center                                  | 17 Secondary Entry Way With Signage                           |
| 9 Screen Trees/Planting                              |   |







**LEGEND**

**CITY OF PERRIS**

May Ranch Specific Plan Amd. No 4  
(SPA22-06349)

Development Project Review (DPR-  
22-00032

Plot Plan (PP2067)

SEE FIGURE 50 FOR COMMUNITY WALL AND FENCE PLAN

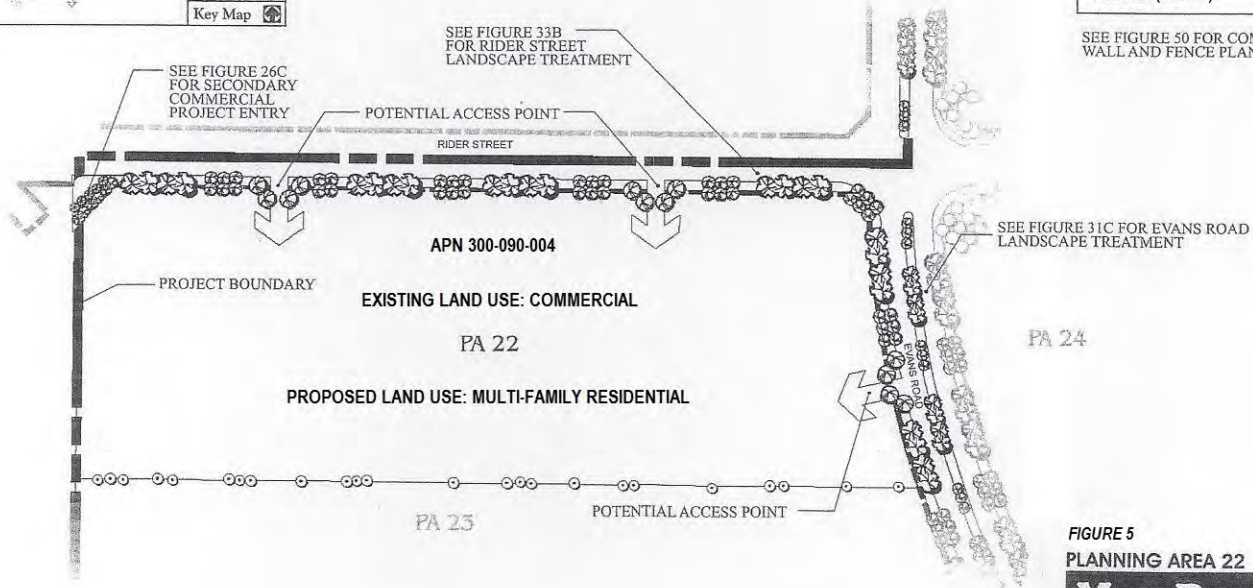


FIGURE 5  
PLANNING AREA 22





**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. **Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org).** The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact **ALUC Planner Jackie Vega at (951) 955-0982.**

The City of Perris Planning Department should be contacted on non-ALUC issues. For more information, please contact City of Perris Planner Douglass Fenn at 951-943-5003.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [javega@rivco.org](mailto:javega@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:**                    **Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California**

**DATE OF HEARING:**                    **April 13, 2023**

**TIME OF HEARING:**                    **9:30 A.M.**

**CASE DESCRIPTION:**

ZAP1561MA23 – Brookhill Corporation (Representative: The Kaidence Group) – City of Perris Case Nos. SPA22-05349 (Specific Plan Amendment), DPR22-00032 (Development Plan Review). A proposal to construct a 300-unit multifamily apartment complex with recreational amenities on 16.68 acres, located southerly of Rider Street, westerly of Evans Road, and westerly of Murrieta Road. The applicant also proposes to amend the May Ranch Specific Plan Land Use Designation, changing the sites zoning from Commercial (C) to Multi Family Residential (MFR-22). (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

### ALUC STAFF ONLY

ALUC Case Number: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

AIA: \_\_\_\_\_

Zone: \_\_\_\_\_

Public Hearing \_\_\_\_\_

Staff Review \_\_\_\_\_

### Applicant

Applicant

Full Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Representative/ Property Owner Contact Information

Representative: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

### Local Jurisdiction Agency

Agency Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Staff Contact: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ : \_\_\_\_\_ :

Local Agency Case No.: \_\_\_\_\_

### Project Location

Street Address: \_\_\_\_\_ Gross Parcel Size.: \_\_\_\_\_

Assessor's Parcel No.: \_\_\_\_\_

### Solar

Is the project proposing solar Panels? Yes

No

If yes, please provide solar glare study.  
(only if in Zone C or higher)



## Data

Site Elevation:(above  
mean sea level) \_\_\_\_\_

Height of Building or  
structures: \_\_\_\_\_

What type of drainage basins are  
being proposed and the square  
footage: \_\_\_\_\_

## Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for “staff level review” is approximately 30 days from date of submittal. Estimated time for “commission level review” is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### **C. SUBMISSION PACKAGE:**

#### **Please submit all application items DIGITALLY via USB or CD:**

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

#### **Additionally, please provide:**

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

**AGENDA ITEM:** 3.3

**HEARING DATE:** April 13, 2023

**CASE NUMBER:** ZAP1562MA23 – TTLC Riverside Chicago, LLC  
(Representative: T&B Planning Inc.)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** GPA220009 (General Plan Amendment), CZ2200031  
(Change of Zone), TTM38510 (Tentative Tract Map)

**LAND USE PLAN:** 2014 March Air Reserve Base/Inland Port Airport Land Use  
Compatibility Plan

Airport Influence Area: March Air Reserve Base/Inland Port Airport

Land Use Policy: Compatibility Zone D

Noise Levels: Below 60 CNEL from aircraft

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the General Plan Amendment and Change of Zone CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and also find the Tentative Tract Map CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** A proposal to divide 140.8 acres into 232 single-family residential lots. The applicant also proposes to amend the site's land use designation from Very Low Density Residential (VLDR) to Low Density Residential (LDR) and change the site's zoning from Light Agricultural to One-Family Dwelling.

**PROJECT LOCATION:** The site is located on the northwest corner of Chicago Avenue and Iris Avenue, approximately 24,009 feet northwesterly of the northerly end of Runway 14-32 at March Air Reserve Base.

### **BACKGROUND:**

Residential Density: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zone D, which does not restrict residential density.



Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone D.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its northerly terminus is 1,535 feet above mean sea level (1,535 feet AMSL). At a distance of approximately 24,009 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding 1,776 feet AMSL. The site's finished floor elevation is 1,568 feet AMSL and the proposed building height is 30 feet, for a top point elevation of 1,598 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service (FAA OES) was not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C). The project is located 24,009 feet from the runway, and therefore would not be subject to the above requirement.

General Plan Amendment and Change of Zone: The applicant also proposes to amend the site's land use designation from Very Low Density Residential (VLDR) to Low Density Residential (LDR) and change the site's zoning from Light Agricultural to One-Family Dwelling. The proposed amendments would be as, or more, consistent with the Compatibility Plan as the underlying compatibility zone does not restrict intensity.

#### **CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight or circling climb following takeoff or toward an aircraft engaged in a straight or circling final approach toward a landing at an airport, other than a DoD or FAA-approved navigational signal light or visual approach slope indicator.



- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight or circling climb following takeoff or towards an aircraft engaged in a straight or circling final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor, or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hazards to flight
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
  4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.
6. The project has been evaluated to subdivide 140.8 acres into 232 residential lots. Any



increase in building area, change in use to any higher intensity use, change in building location, or modification of the tentative parcel map lot lines and areas will require an amended review to evaluate consistency with the ALUCP compatibility criteria, at the discretion of the ALUC Director.

X:\AIRPORT CASE FILES\March\ZAP1562MA23\ZAP1562MA23sr.doc



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES

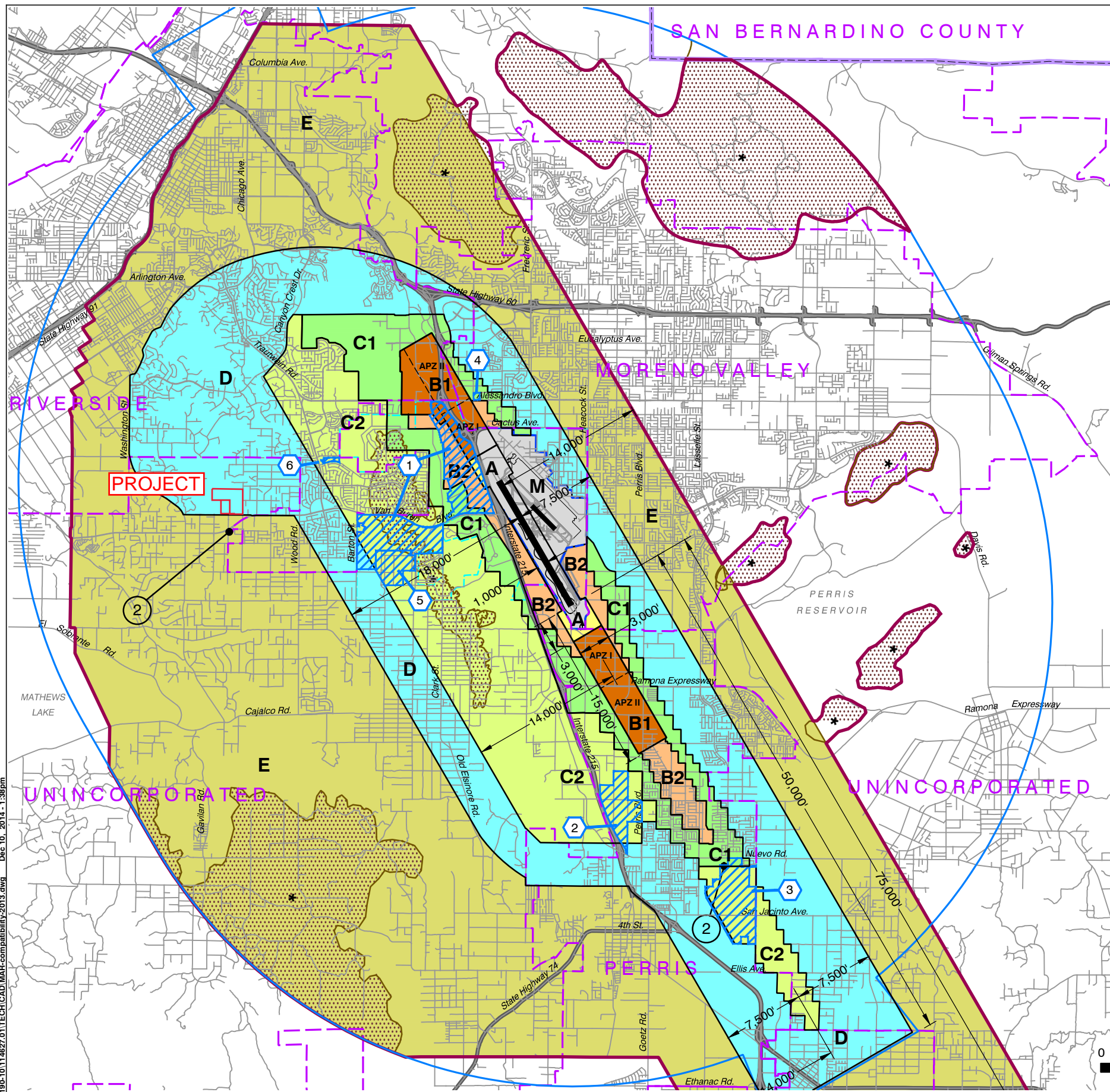


**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





**LEGEND**

**Compatibility Zones**

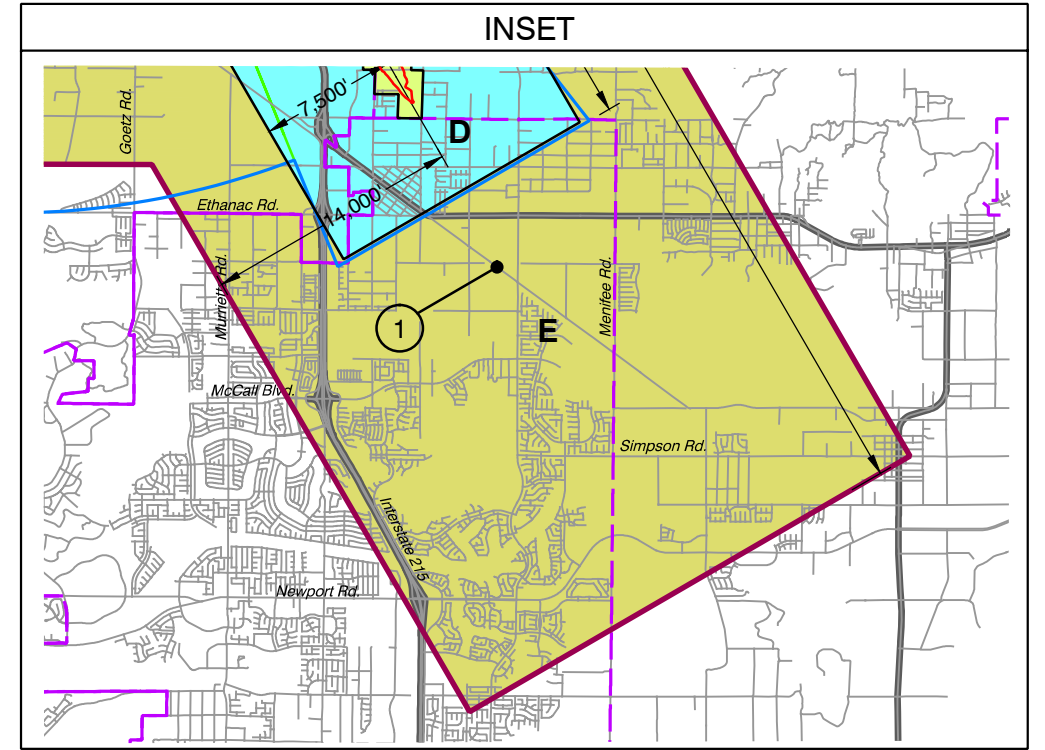
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

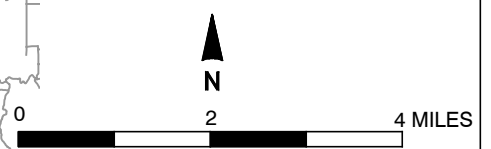
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

SEE INSET AT RIGHT

X:\18190-10\114627\01\TECH\CAD\MAR-compatibility\2013.dwg Dec 10, 2014 - 1:38pm

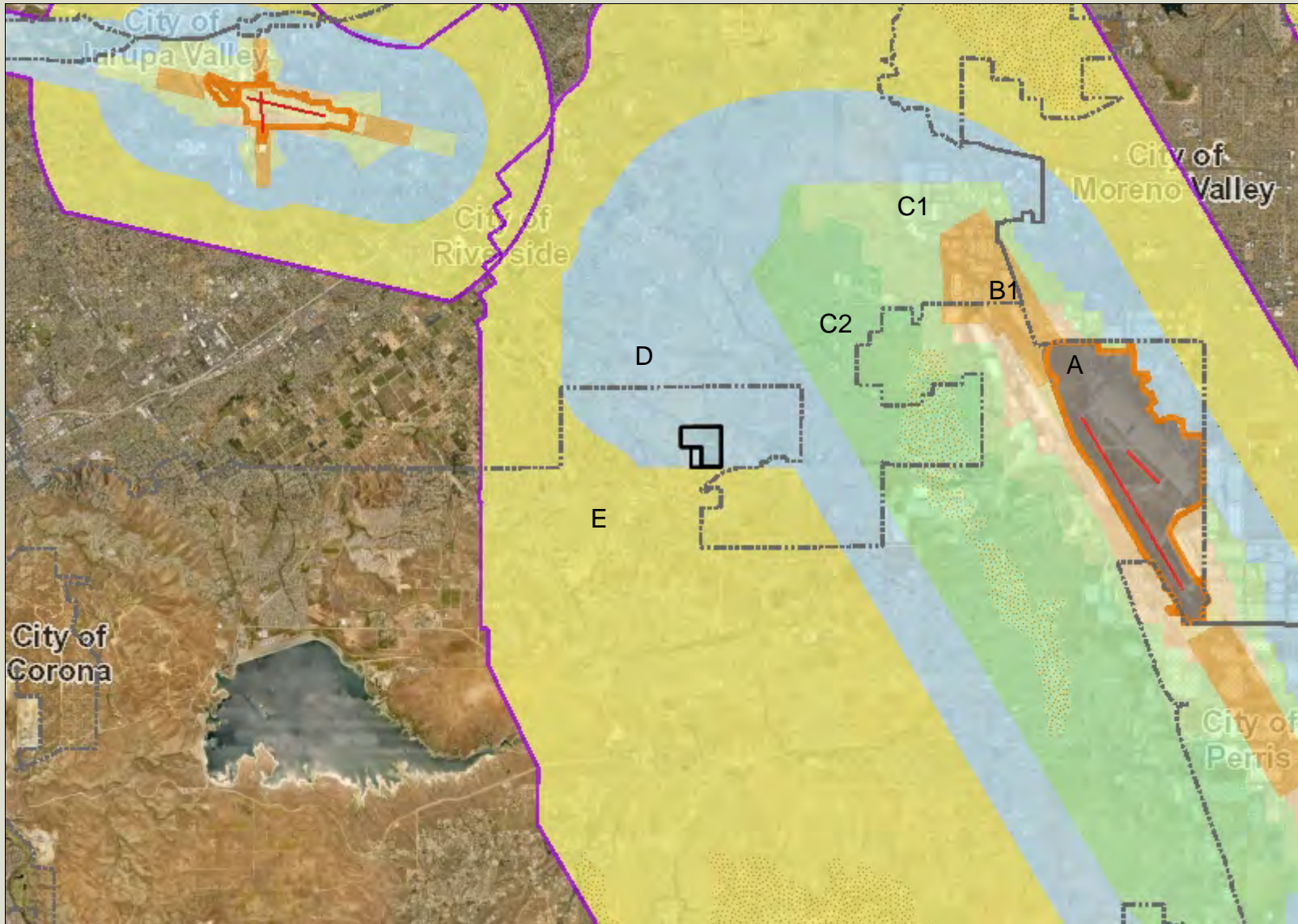
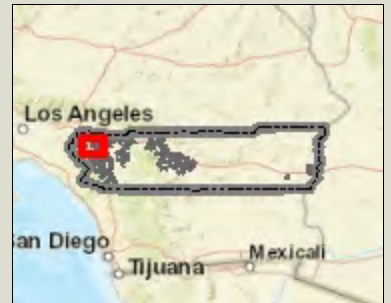
Prepared by Mead & Hunt, Inc. (June 2013)

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**



# Map My County Map



### Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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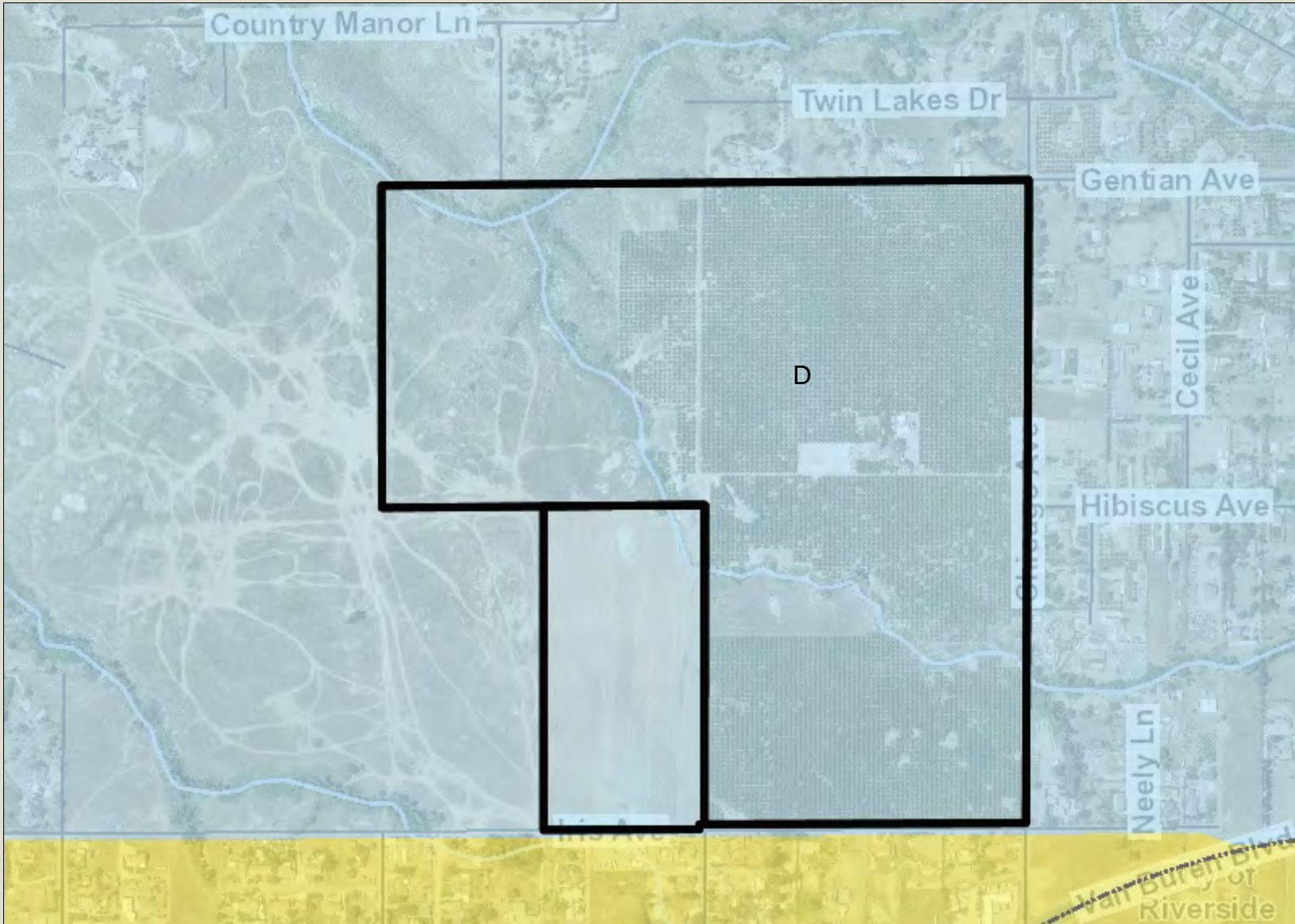
REPORT PRINTED ON... 3/14/2023 9:46:07 AM

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### Notes



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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0 770 1,539 Feet

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## Notes



# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- ▤ City Areas
- ▤ World Street Map



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0 770 1,539 Feet

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## Notes



# Map My County Map



## Legend

- Blueline Streams
- City Areas
- World Street Map



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## Notes





# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes





# Map My County Map



- Legend**
- Blueline Streams
  - City Areas
  - World Street Map



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## Notes

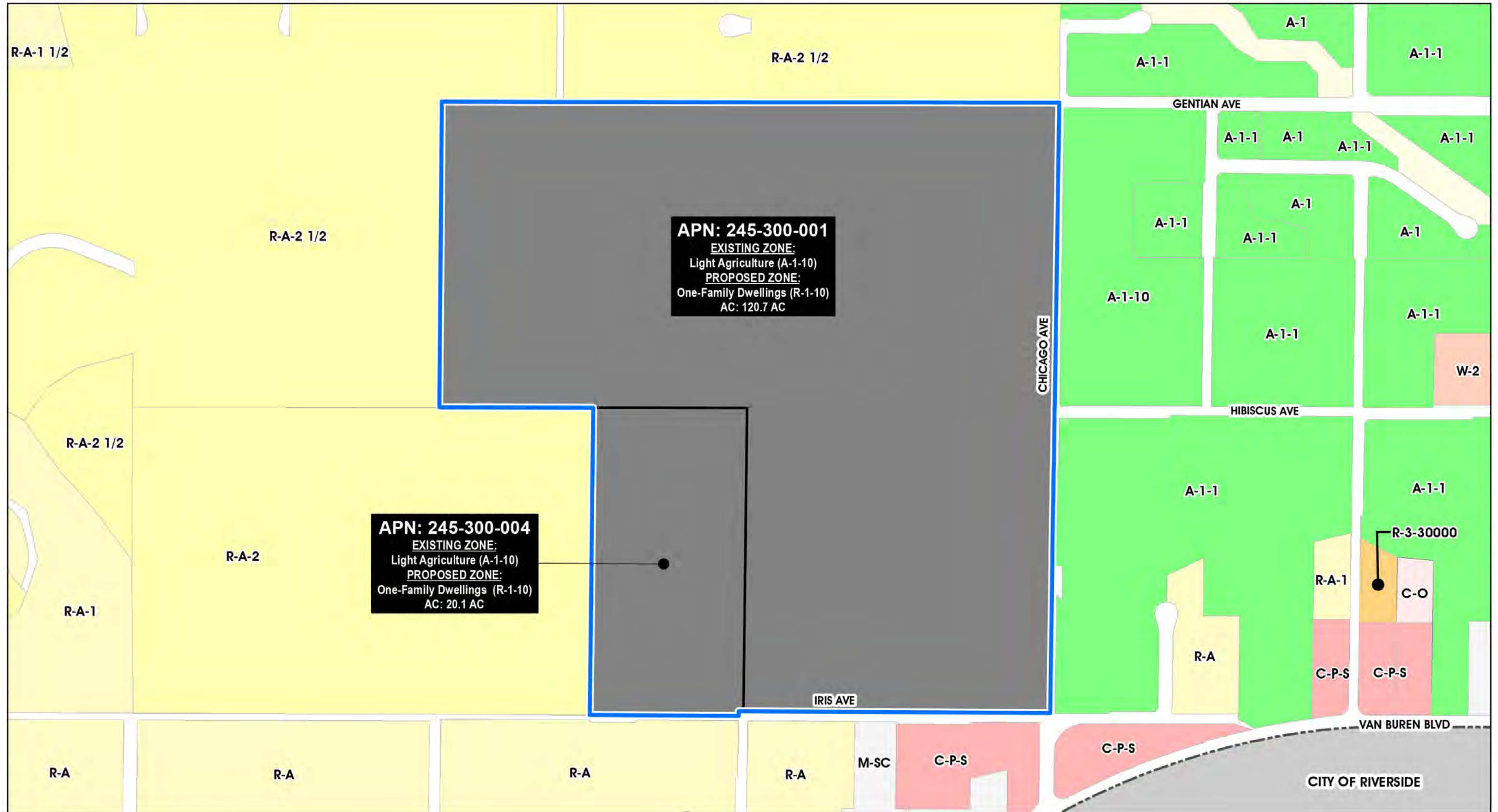


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# CHANGE OF ZONE APPLICATION

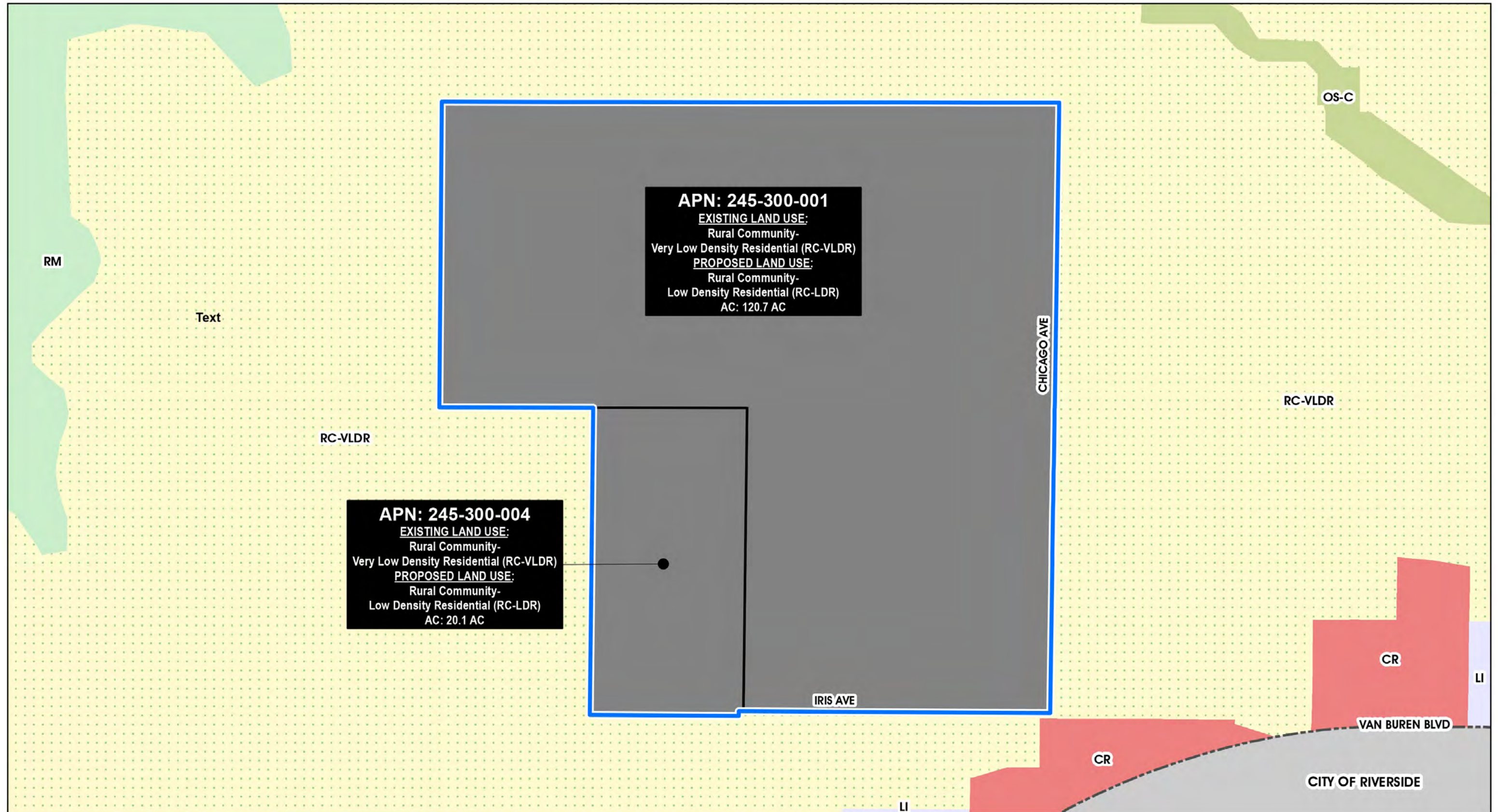


Source(s): ESRI, RCTLMA (2022)





GENERAL PLAN AMENDMENT APPLICATION



Source(s): ESRI, RCTLMA (2022)



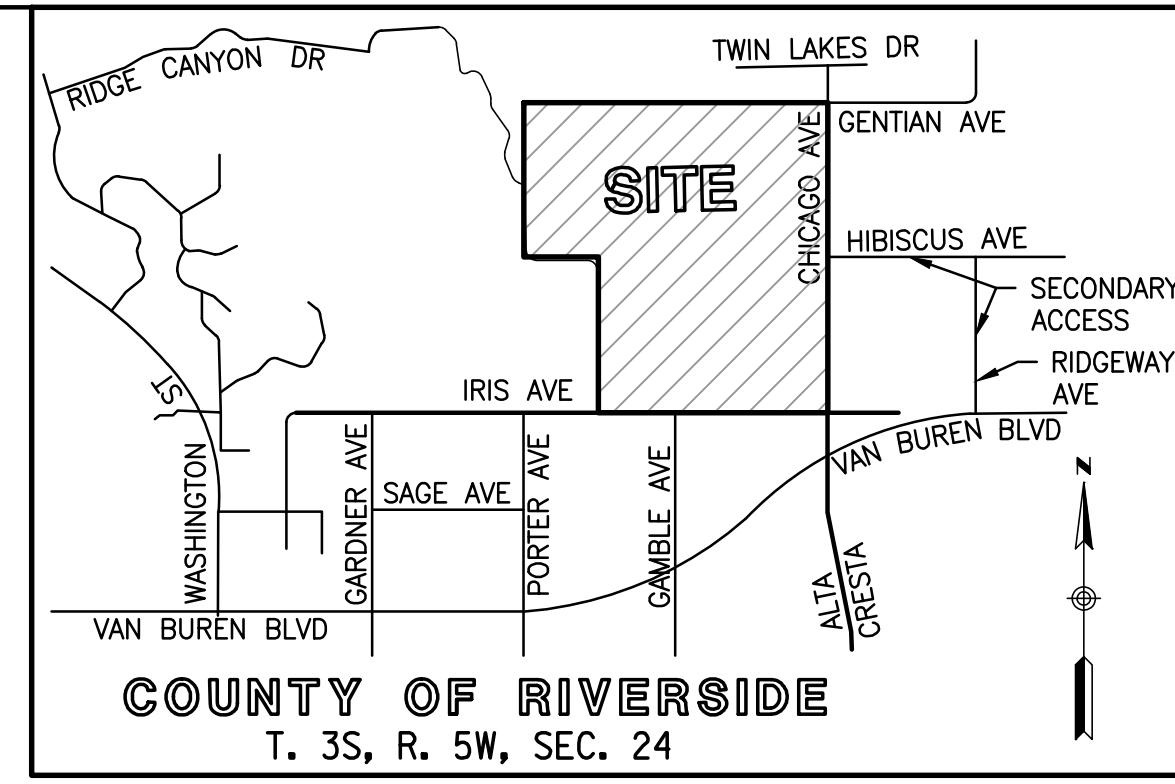


**OWNER**  
P & F INVESTMENT COMPANY  
17100 PIONEER BLVD., SUITE 290  
ARTESIA, CA 90701  
PHONE (562) 775-4262  
CONTACT: KWANG-TIEN HO

**APPLICANT**  
TTLIC RIVERSIDE CHICAGO, LLC  
4350 IOWA AVE., SUITE 100  
NEWPORT BEACH, CA 92660  
PHONE (925) 331-7006  
CONTACT: MICHAEL TORRES

**ENGINEER**  
RICK ENGINEERING COMPANY  
1770 IOWA AVE., SUITE 100  
RIVERSIDE, CA 92507  
(951) 782-0707  
CONTACT: RICHARD O'NEILL

IN THE COUNTY OF RIVERSIDE, CALIFORNIA  
**TENTATIVE TRACT MAP 38510**  
JANUARY 25, 2023

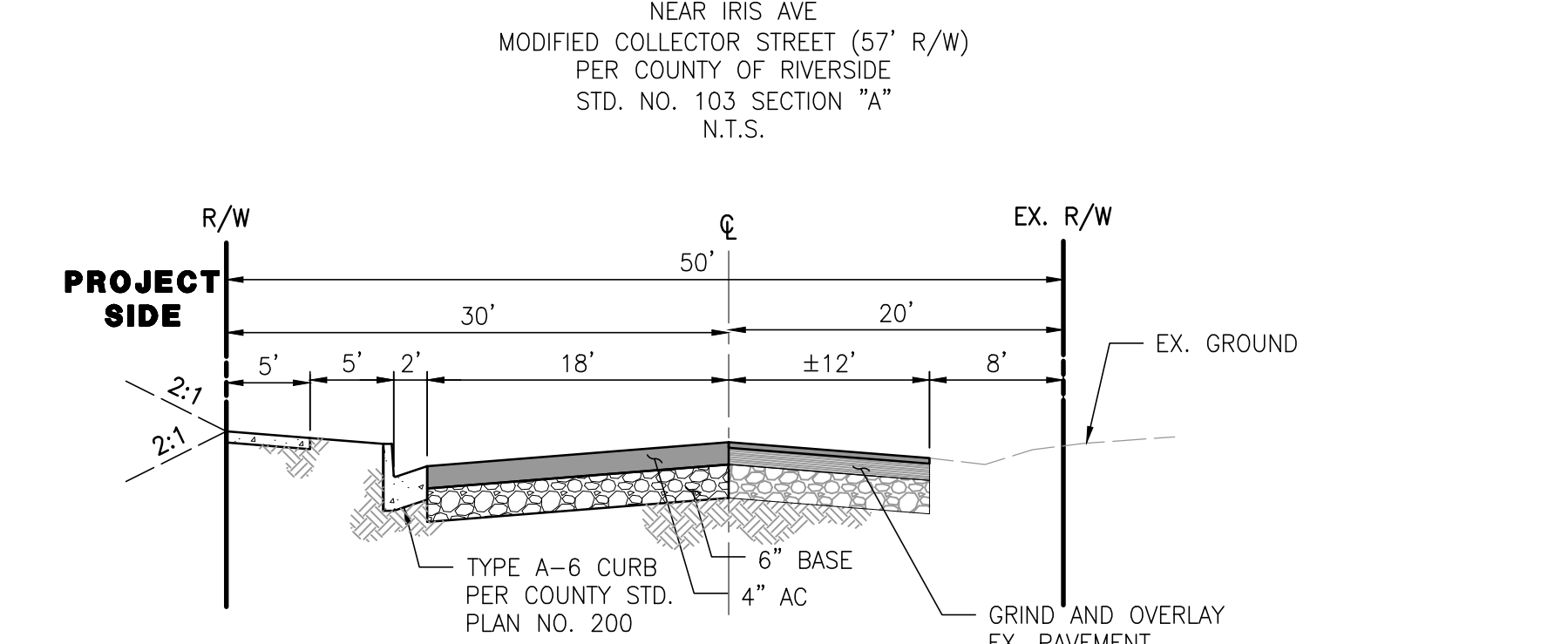
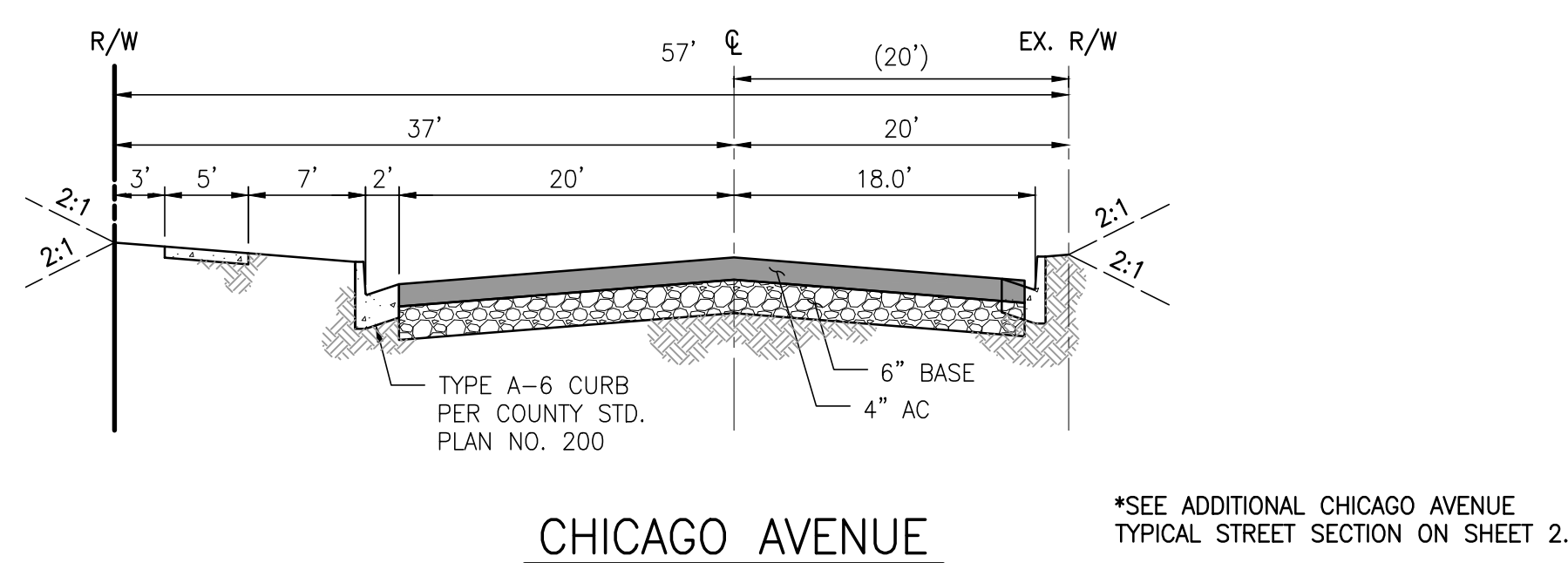
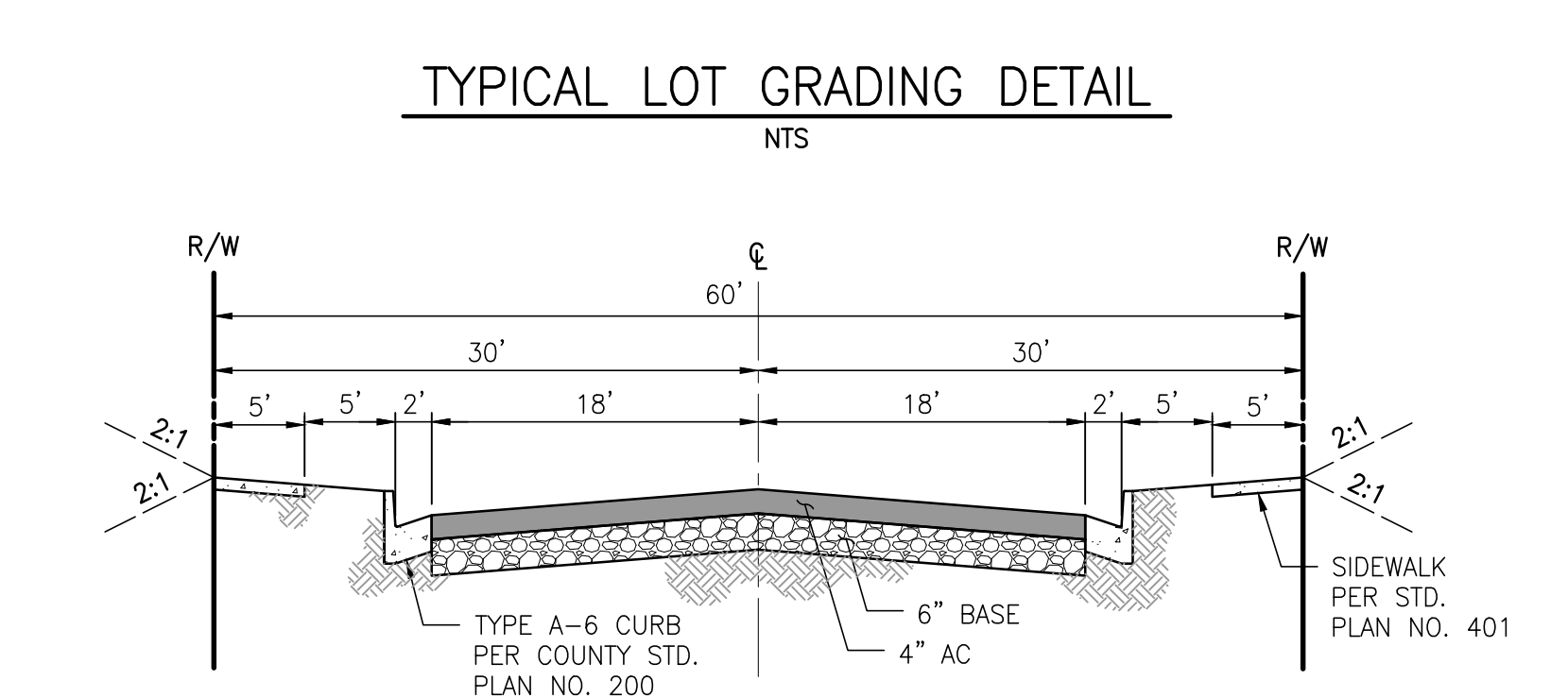
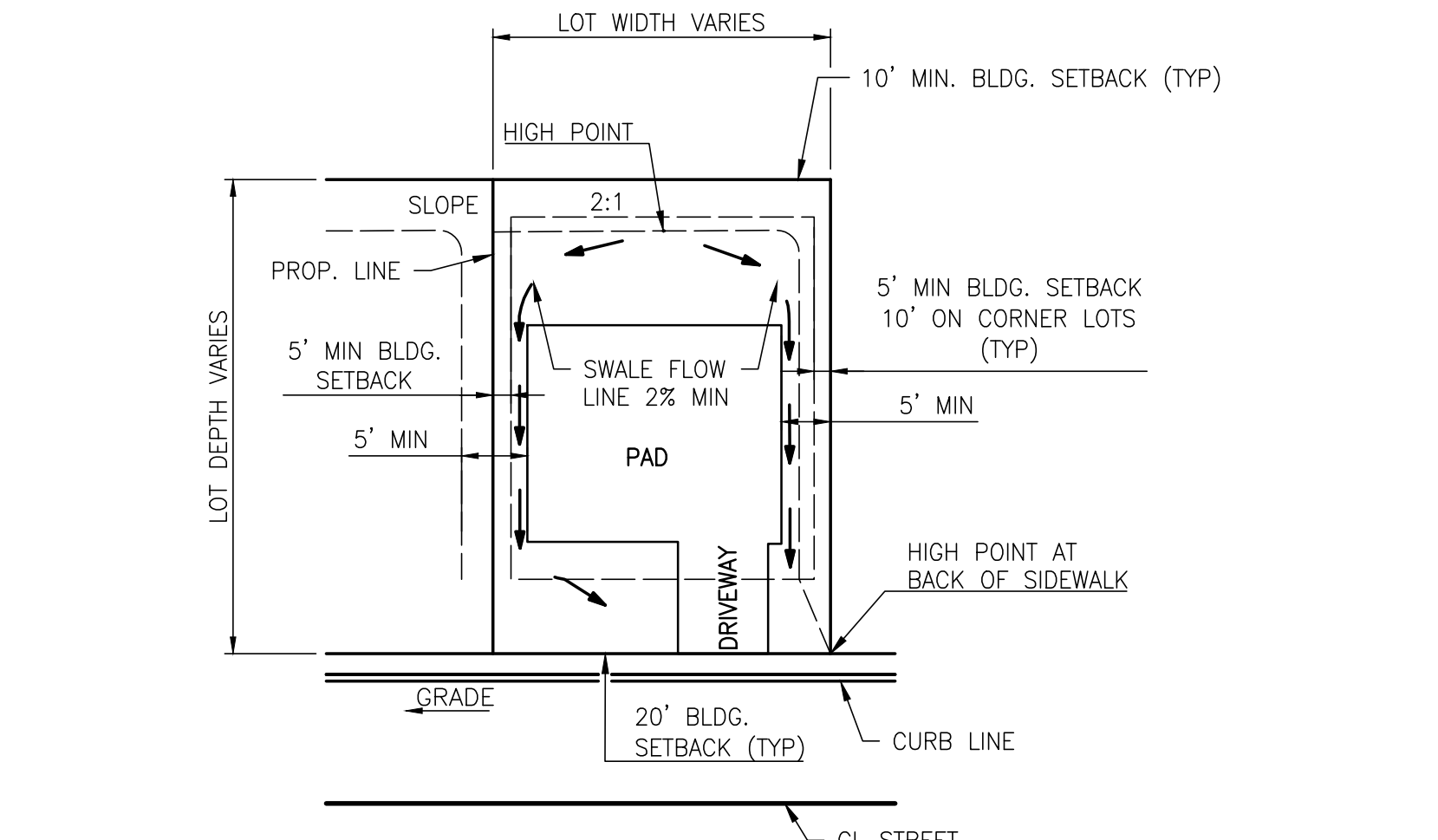


**LEGAL DESCRIPTION**  
THE SOUTHWEST QUARTER OF SECTION 24, TOWNSHIP 3 SOUTH, RANGE 5 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT THEREOF;  
EXCEPTING THEREFROM THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24;  
ALSO EXCEPTING THEREFROM THE SOUTHERLY 20 FEET OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID 24, AS DESCRIBED IN A DEED TO THE COUNTY OF RIVERSIDE, RECORDED JUNE 2, 1971 AS INSTRUMENT NO. 58755 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA

**ACCESSOR'S PARCEL NUMBERS**  
245-300-001, 245-300-004



PARCEL LINE AND CURVE TABLE				PARCEL LINE AND CURVE TABLE			
LINE #/CURVE #	LENGTH	BEARING/Delta	RADIUS	LINE #/CURVE #	LENGTH	BEARING/Delta	RADIUS
C10	207.51'	039°37'53"	300.00'	L35	502.67'	N90°00'00"	
C11	223.20'	042°37'40"	300.00'	L36	373.55'	N0°00'00"	
C13	23.65'	004°31'02"	300.00'	L37	117.02'	S45°51'05"W	
C14	231.16'	044°08'55"	300.00'	L39	79.91'	N38°43'57"E	
C15	180.04'	034°23'09"	300.00'	L40	255.07'	N12°46'04"W	
C16	201.58'	038°29'58"	300.00'	L41	214.05'	N21°47'04"W	
C17	202.80'	038°43'57"	300.00'	L42	89.50'	N0°52'07"E	
C18	78.69'	009°01'00"	500.00'	L43	417.63'	N90°00'00"E	
C19	197.69'	022°39'11"	500.00'	L44	73.89'	S0°00'00"E	
C20	112.91'	021°33'51"	300.00'	L45	81.53'	S21°33'51"W	
C21	304.03'	058°03'54"	300.00'	L46	153.65'	N73°27'44"E	
C22	209.35'	039°58'59"	300.00'	L47	132.57'	S48°28'22"E	
C23	504.87'	036°09'30"	800.00'	L48	80.46'	S88°27'21"E	
C24	91.27'	017°25'51"	300.00'	L49	346.27'	S52°17'51"E	
C25	180.28'	034°25'09"	300.00'	L50	333.25'	S0°00'00"E	
C26	201.06'	038°24'00"	300.00'	L51	321.82'	N90°00'00"E	
C27	288.96'	022°00'52"	700.00'	L52	694.66'	S0°21'42"W	
C28	352.37'	016°49'28"	1200.00'	L53	396.93'	S0°45'55"W	
C29	82.98'	015°50'53"	300.00'	L54	314.68'	N90°00'00"E	
C30	86.06'	016°26'13"	300.00'	L55	620.76'	N0°00'00"E	
C31	99.66'	019°02'02"	300.00'	L56	70.09'	N38°24'00"E	
C32	142.77'	027°16'00"	300.00'	L58	30.00'	N90°00'00"E	
C33	131.93'	025°11'48"	300.00'	L59	202.91'	S59°43'02"W	
C34	130.41'	024°54'24"	300.00'	L61	143.10'	N42°13'42"W	
L27	1441.00'	S89°36'01"E		L62	40.50'	N23°11'40"W	
L28	396.03'	S0°49'24"W		L63	40.56'	N78°32'03"W	
L29	399.92'	N0°00'00"E		L64	78.74'	S17°25'51"W	
L30	764.54'	N90°00'00"W		L65	70.07'	S35°11'47"W	
L32	90.00'	N0°23'59"E		L66	537.71'	S50°22'07"W	
L33	215.33'	N39°37'53"W		L67	437.40'	S30°16'58"E	
L34	380.01'	N44°08'55"W		L68	68.22'	N65°05'36"E	

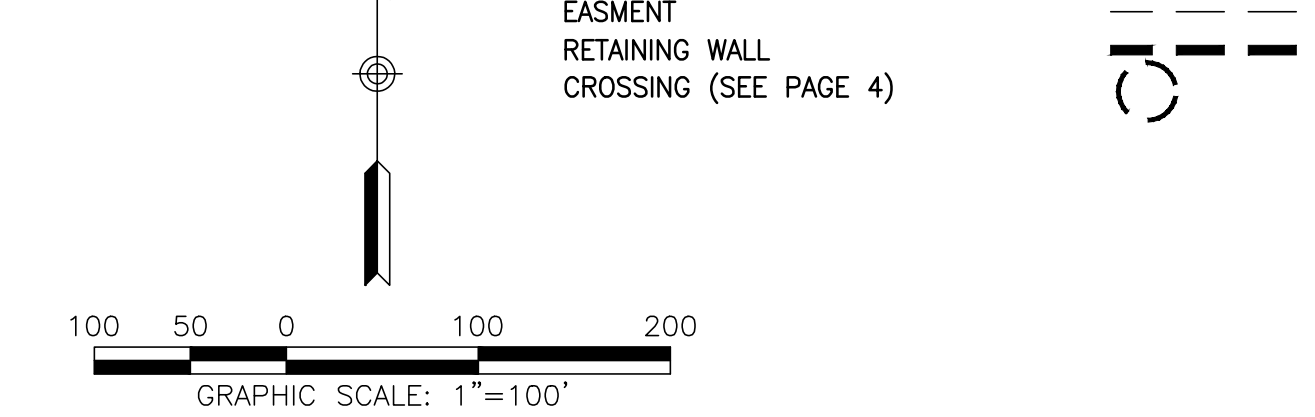


- EASEMENTS**
- A NON EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND FOR PUBLIC UTILITIES FOR THE BENEFIT OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24, RECORDED JAN 31, 1962 AS INST. NO. 9499 O.R. IN FAVOR OF PROSPER SMITH AND MABLE SMITH AND VANDALEE SMITH.
  - AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES RECORDED DEC. 14, 1962 AS INSTRUMENT NO. 115782 O.R. IN FAVOR OF CALIFORNIA ELECTRIC POWER CO.
  - AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES, OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMM. SYSTEMS AND INCIDENTAL PURPOSES, RECORDED JULY 23, 1975 AS INST. NO. 88697 O.R. IN FAVOR OF SO. CAL EDISON CO.
  - AN EASEMENT FOR EITHER OR BOTH POLE LINES, CONDUITS OR UNDERGROUND FACILITIES, OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMM. SYSTEMS AND INCIDENTAL PURPOSES, RECORDED SEPT. 23, 1982 AS INST. NO. 164972 O.R. IN FAVOR OF THE COUNTY OF RIVERSIDE.
  - AN EASEMENT FOR WATER PIPELINES AND POWER LINES AND INCIDENTAL PURPOSES, RECORDED MAY 22, 1963 AS INST. NO. 53385 O.R. IN FAVOR OF MWMO OR RIVERSIDE CO.
  - AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED OCT. 2, 1973 AS INST. NO. 129103 O.R. IN FAVOR OF SO CAL EDISON CO.
  - PROPOSED LANDSCAPE EASEMENT
  - PROPOSED SLOPE/CONSERVATION EASEMENT
  - PROPOSED EMERGENCY VEHICLE ACCESS (EVA) EASEMENT
  - PROPOSED ACCESS EASMENT
- ESTIMATED GRADING QUANTITIES**
- ESTIMATED EXCAVATION: 520,000 C.Y.  
ESTIMATED EMBANKMENT: 520,000 C.Y.
- NOTE: THE GRADING QUANTITIES SHOW HEREON ARE RAW QUANTITIES FOR PERMIT PURPOSES ONLY AND ARE NOT TO BE USED FOR FINAL PAY QUANTITIES, THIS PROJECT IS DESIGNED TO BALANCE.

- GENERAL NOTES**
- EXISTING ZONING: A-1-10
  - EXISTING LAND USE: RC-VLDR
  - EXISTING SURROUNDING LAND USE: RC-VLDR
  - PROPOSED LAND USE: RC-LDR
  - PROPOSED ZONING: R-1-10000
  - PROJECT ACRES: 140.8 AC. GROSS, 139.6 AC. NET
  - PROJECT NET ACRES IS GROSS ACRES MINUS STREET DEDICATIONS FOR IRIS AVENUE AND VAN BUREN BLVD. AND THE INTO EXISTING GRAVITY SEWER.
  - PROJECT DENSITY: 1.65 DU/AC (GROSS)
  - THIS PROJECT IS NOT WITHIN A SPECIFIC PLAN.
  - UTILITIES SURVEYS:  
WATER: MWMO  
SEWER: SOUTHERN CALIFORNIA GAS COMPANY  
ELECTRIC: SOUTHERN CALIFORNIA EDISON  
TELEPHONE: AT&T  
CABLE TV: SPECTRUM  
STORM DRAIN: COUNTY OF RIVERSIDE  
FIRE: RIVERSIDE COUNTY FIRE DEPARTMENT
  - SCHOOL DISTRICT: RIVERSIDE UNIFIED
  - THIS PROJECT IS NOT WITHIN A COUNTY SERVICE AREA OR COMMUNITY FACILITIES DISTRICT.
  - THIS PROJECT IS SUBJECT TO LIQUEFACTION OR OTHER GEOLOGICAL HAZARDS AND IS NOT WITHIN A SPECIAL STUDIES ZONE.
  - TOPOGRAPHY COMPILED AND PREPARED BY RICK ENGINEERING COMPANY ON 2/03/22 AT 40 SCALE USING AERIAL METHODS AND 1 FOOT CONTOUR INTERVALS.
  - HORIZONTAL DATUM: NAD 83 (2010.0000 EPOCH), ZONE 6, AS DETERMINED LOCALLY BY A TIE IN CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) "CHRP" AND "MCP" AS SHOWN HEREON (I.E. N 76°36'24" E)
  - VERTICAL DATUM: NAVD83 RIVERSIDE COUNTY BENCHMARK "VB 12-64", ELEV. = 1582.86'
  - AVERAGE RESIDENTIAL LOT SIZE: SEE LOT TABULATION
  - MINIMUM LOT SIZE: SEE LOT TABULATION
  - ALL SLOPES ARE 2:1 EXCEPT WHERE NOTED ON PLANS.
  - FEMA FLOOD ZONE: D
  - THIS PROJECT IS LOCATED WITHIN THE SANTA ANA RIVER WATERSHED.
  - THERE ARE FOUR KNOWN EXISTING WATER WELLS AND ONE UNDERGROUND SEPTIC TANK SYSTEM ON THE PROPERTY THAT ARE TO BE DESTROYED AND/OR REMOVED WITH THE PROPER PERMITS.
  - WATER QUALITY MEASURES AREA ARE DESCRIBED IN THE PRELIMINARY WATER QUALITY MANAGEMENT PLAN.
  - WATER QUALITY BASINS ARE TO BE MAINTAINED BY HOMEOWNER ASSOCIATION (HOA).
  - THIS PROJECT INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.
  - LOT "A" IS RESERVED FOR A SEWER LIFT STATION TO BE PRIVATELY MAINTAINED.
  - SEWER FORCE MAIN WILL TAKE SEWER FROM ON-SITE SEWER LIFT STATION SOUTHERLY TO VAN BUREN BLVD. AND THE INTO EXISTING GRAVITY SEWER.
  - AREAS SHOWN ON EXHIBIT ARE NET SQUARE FOOTAGE AREAS.
  - LOT GROSS AREA FOR 1/2 ACRE LOTS AND ABOVE INCLUDES LOT-ADJACENT STREET RIGHT-OF-WAY ELEVATION 100 YR EASMENT
  - ALL EXISTING POWER POLES ADJACENT TO THE TRACT BOUNDARY ARE UNDER 33KV.
  - A PORTION OF THE PROJECT FALLS WITHIN A VERY HIGH FIRE HAZARD ZONE. A SEPARATE FUEL MODIFICATION PLAN HAS BEEN PREPARED FOR THE SITE.

NO.	BY	DATE	REVISION

**ENGINEER OF WORK**  
RICHARD C. O'NEILL R.C.E. 63285 DATE \_\_\_\_\_  
**LAND SURVEYOR**  
WILLIAM ROHAL S.L. 8805 DATE \_\_\_\_\_



**RICK ENGINEERING COMPANY**  
1770 IOWA AVE., SUITE 100  
RIVERSIDE, CA 92507  
951.782.0707  
rickengineering.com

**TTLIC CHICAGO AVE**  
TENTATIVE TRACT MAP 38510

PROJECT NO: 19427-A (SCALE: 1"=100')  
DRAWN BY: \_\_\_\_\_  
DATE: 1/25/2023



LOT MATRIX			
LOT NO.	NET AREA (SF)	GROSS AREA (SF)	GROSS AREA (AC)
1	46123	47366	1.06
2	39466	44050	0.91
3	39125	43702	0.90
4	38533	43589	0.88
5	39040	43870	0.90
6	38942	43742	0.89
7	38842	43612	0.89
8	38984	43754	0.89
9	38880	43620	0.89
10	38341	43593	0.88
11	38232	43982	0.88
12	30496	43845	0.70
13	32548	47608	0.75
14	46129	47757	1.06
15	41110	43915	0.94
16	37285	43833	0.86
17	37929	43591	0.87
18	36024	43581	0.83
19	37893	43690	0.87
20	19117	22417	0.44
21	18769	21979	0.43
22	18689	21899	0.43
23	18661	21880	0.43
24	18598	21820	0.43
25	16017	24973	0.37
26	14216	22914	0.33
27	18867	22182	0.43
28	18782	22096	0.43
29	18697	22011	0.43
30	14258	23130	0.33
31	13912	22652	0.32
32	18561	21876	0.43
33	18561	21876	0.43
34	18561	21876	0.43
35	13829	22371	0.32
36	14017	22592	0.32
37	19202	22477	0.44
38	19380	21838	0.44
39	20163	22172	0.46
40	24960	27160	0.57
41	19162	22331	0.44
42	18866	22126	0.43
43	18093	22076	0.42
44	18516	21846	0.43
45	18516	21846	0.43
46	18516	21846	0.43
47	18516	21846	0.43
48	18516	21846	0.43
49	18147	22042	0.42
50	18084	21674	0.42
51	18516	21846	0.43
52	18516	21846	0.43
53	18516	21846	0.43
54	18780	21814	0.43
55	19771	22233	0.45

LOT MATRIX			
LOT NO.	NET AREA (SF)	GROSS AREA (SF)	GROSS AREA (AC)
56	19204	21782	0.44
57	14143	--	0.32
58	14866	--	0.34
59	19089	22029	0.44
60	19585	22045	0.45
61	18472	21872	0.42
62	13541	22193	0.31
63	19037	21917	0.44
64	18198	23395	0.42
65	11963	--	0.27
66	11994	--	0.28
67	11904	--	0.27
68	11974	--	0.27
69	12333	--	0.28
70	11676	--	0.27
71	11923	--	0.27
72	12562	--	0.29
73	11699	--	0.27
74	11192	--	0.26
75	11063	--	0.25
76	10915	--	0.25
77	10931	--	0.25
78	10905	--	0.25
79	12275	--	0.28
80	11598	--	0.27
81	11134	--	0.26
82	11415	--	0.26
83	11788	--	0.27
84	11282	--	0.26
85	11175	--	0.26
86	12705	21786	0.29
87	31077	32828	0.71
88	20149	22764	0.46
89	20572	22580	0.47
90	20770	22798	0.48
91	20746	22773	0.48
92	10912	--	0.25
93	10997	--	0.25
94	11199	--	0.26
95	12206	--	0.28
96	14525	24130	0.33
97	19586	22050	0.45
98	19783	21839	0.45
99	19635	21945	0.45
100	17325	--	0.40
101	17250	--	0.40
102	11239	--	0.26
103	12618	--	0.29
104	10911	--	0.25
105	10943	--	0.25
106	11128	--	0.26
107	11248	--	0.26
108	11625	--	0.27
109	11500	--	0.26
110	11500	--	0.26

LOT MATRIX			
LOT NO.	NET AREA (SF)	GROSS AREA (SF)	GROSS AREA (AC)
111	11385	--	0.26
112	11543	--	0.26
113	11553	--	0.27
114	11340	--	0.26
115	11310	--	0.26
116	11354	--	0.26
117	11385	--	0.26
118	12216	--	0.28
119	11526	--	0.26
120	12865	--	0.30
121	12855	--	0.30
122	12322	--	0.28
123	12365	--	0.28
124	11120	--	0.26
125	11250	--	0.26
126	12327	--	0.28
127	25666	29647	0.59
128	23048	28524	0.53
129	14944	23472	0.34
130	19327	--	0.44
131	10928	--	0.25
132	10971	--	0.25
133	10895	--	0.25
134	10890	--	0.25
135	11084	--	0.25
136	11112	--	0.26
137	11012	--	0.25
138	13149	--	0.30
139	13601	--	0.31
140	12969	--	0.30
141	11686	--	0.27
142	11132	--	0.26
143	10950	--	0.25
144	29633	30411	0.68
145	20128	--	0.46
146	13507	--	0.31
147	14555	--	0.33
148	18582	--	0.43
149	18008	--	0.41
150	24799	36902	0.57
151	16131	--	0.37
152	11905	--	0.27
153	11437	--	0.26
154	12734	--	0.29
155	11118	--	0.26
156	11317	--	0.26
157	10982	--	0.25
158	10989	--	0.25
159	10994	--	0.25
160	10998	--	0.25
161	11001	--	0.25
162	10901	--	0.25
163	12436	--	0.29
164	19942	22095	0.46
165	20536	30698	0.47

LOT MATRIX			
LOT NO.	NET AREA (SF)	GROSS AREA (SF)	GROSS AREA (AC)
166	16102	21797	0.37
167	16275	21803	0.37
168	16280	21920	0.37
169	22613	26821	0.52
170	11268	--	0.26
171	11320	--	0.26
172	11958	--	0.27
173	10950	--	0.25
174	11025	--	0.25
175	10903	--	0.25
176	12050	--	0.28
177	11543	--	0.26
178	11389	--	0.26
179	11200	--	0.26
180	11684	--	0.27
181	14411	--	0.33
182	11764	--	0.27
183	10914	--	0.25
184	11135	--	0.26
185	11339	--	0.26
186	11234	--	0.26
187	11008	--	0.25
188	10920	--	0.25
189	10920	--	0.25
190	10920	--	0.25
191	11214	--	0.26
192	10985	--	0.25
193	12245	--	0.28
194	12698	--	0.29
195	13318	--	0.31
196	11700	--	0.27
197	11700	--	0.27
198	11001	--	0.25
199	11243	--	0.26
200	23014	28583	0.53
201	16396	22373	0.38
202	17548	23664	0.40
203	16634	29710	0.38
204	12821	--	0.29
205	11667	--	0.27
206	11707	--	0.27
207	11735	--	0.27
208	11960	--	0.27
209	11804	--	0.27
210	11817	--	0.27
211	11817	--	0.27
212	11652	--	0.27
213	17038	25938	0.39
214	10958	--	0.25
215	10920	--	0.25
216	10920	--	0.25
217	10920	--	0.25
218	12930	--	0.30
219	13008	--	0.30
220	13493	--	0.31

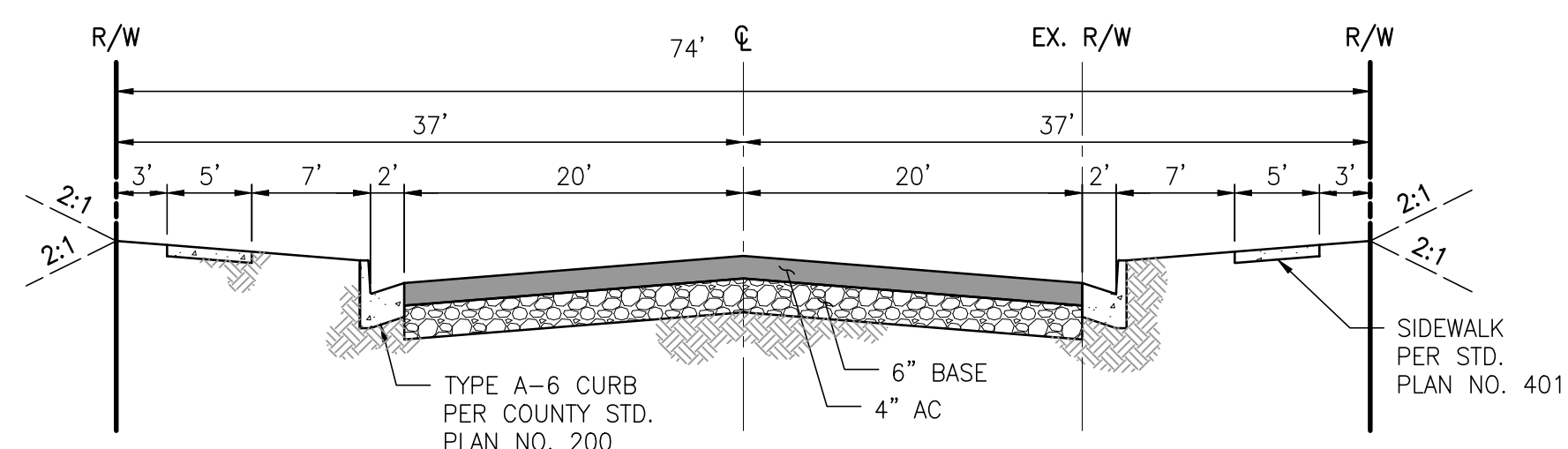
LOT MATRIX			
LOT NO.	NET AREA (SF)	GROSS AREA (SF)	GROSS AREA (AC)
221	10929	--	0.25
222	12205	--	0.28
223	19339	24172	0.44
224	17885	23429	0.41
225	16858	23019	0.39
226	17083	23083	0.39
227	17279	23327	0.40
228	20238	27794	0.46
229	14674	27245	0.34
230	17495	23691	0.40
231	20203	26979	0.46
232	15443	21871	0.35

OPEN SPACE LOTS		LOT AREA (AC)
A	SEWER LIFT STATION	0.25
B	WATER QUALITY BASIN	2.44
C	WATER QUALITY BASIN	1.15
D	WATER QUALITY BASIN	1.26
E	OPEN SPACE	16.28
F	OPEN SPACE	7.50
G	OPEN SPACE	0.41
H	TRAIL HEAD/PARKING	0.57
I	OPEN SPACE	0.25
J	INTERIOR STREETS DEDICATION	22.49
K	CHICAGO AVE (NORTHEAST) DEDICATION	0.48

MINIMUM LOT SIZE	
LOT NO. 134	10,890 SF (NET)
AVERAGE RESIDENTIAL LOT SIZE	LOT AREA (SF)
1/4 ACRE LOTS	11,486 (NET)
1/3 ACRE LOTS	17,586 (NET)
1/2 ACRE LOTS	33,393 (GROSS)
1 ACRE LOTS	44,353 (GROSS)
OVERALL	24,251 (GROSS)

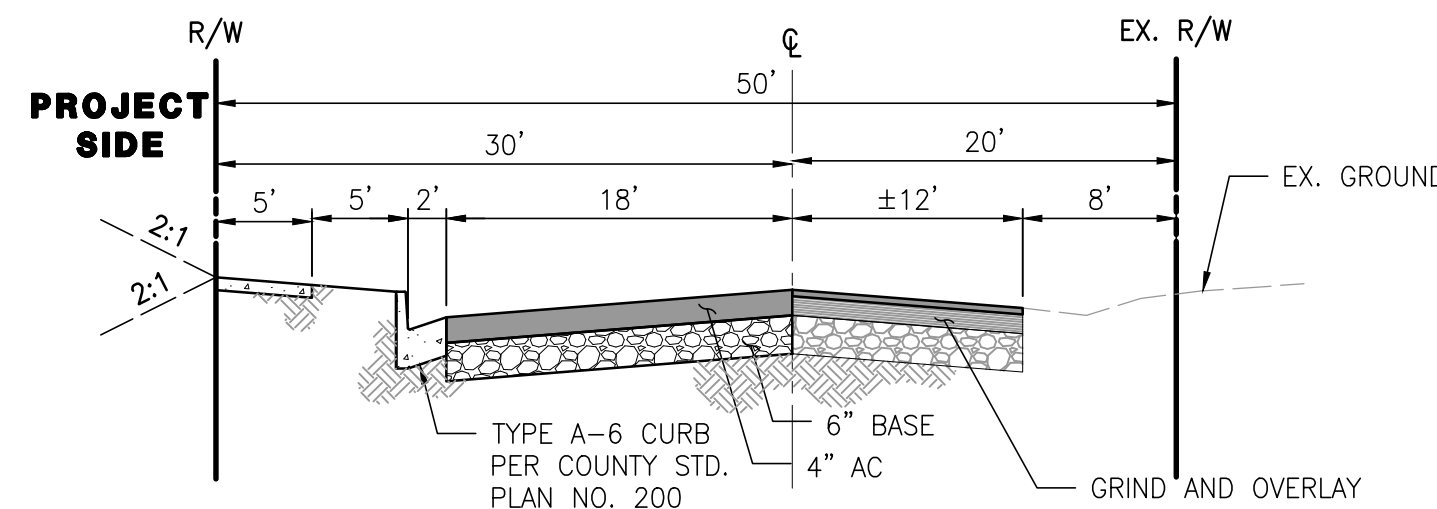
PROPOSED ZONING  
R-1-10000

- NOTES:
- LOT GROSS AREA FOR 1/2 ACRE LOTS AND ABOVE INCLUDES LOT-ADJACENT STREET RIGHT-OF-WAY MEASURED TO STREET CENTERLINE.
  - LOT NET AREA IS GROSS AREA MINUS STREET RIGHT-OF-WAY.



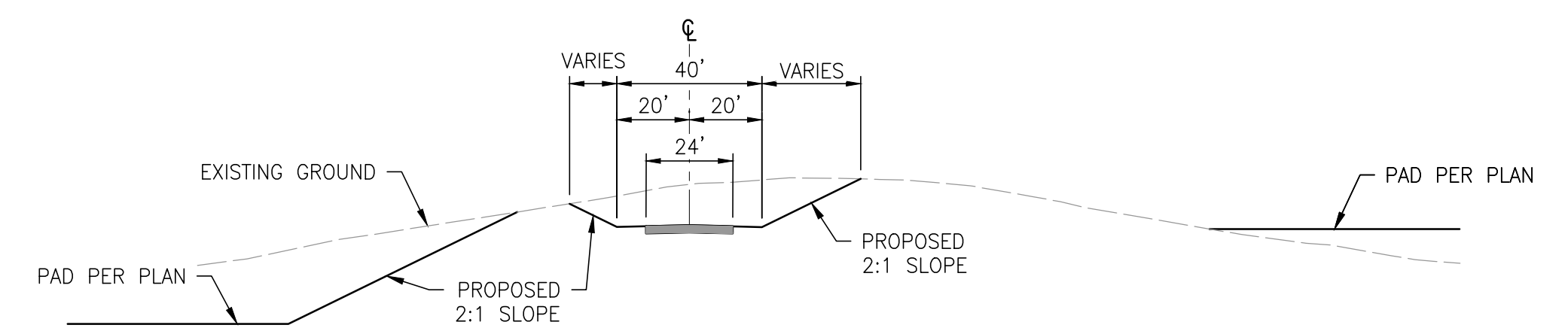
**CHICAGO AVENUE**

PROJECT ENTRANCE  
BETWEEN IRIS AVE AND STREET "B"  
COLLECTOR STREET (74' R/W)  
PER COUNTY OF RIVERSIDE  
STD. NO. 103 SECTION "A"  
N.T.S.



**IRIS AVENUE**

SOUTH BOUNDARY OF PROJECT  
LOCAL STREET (60' R/W)  
PER COUNTY OF RIVERSIDE  
STD. NO. 103 SECTION "D"  
N.T.S.



**EMERGENCY VEHICLE ACCESS**

N.T.S.

NO.	BY	DATE	REVISION

	ENGINEER OF WORK	
	RICHARD C. O'NEILL R.C.E. 63285 <b>LAND SURVEYOR</b> WILLIAM ROHAL L.S. 8805	

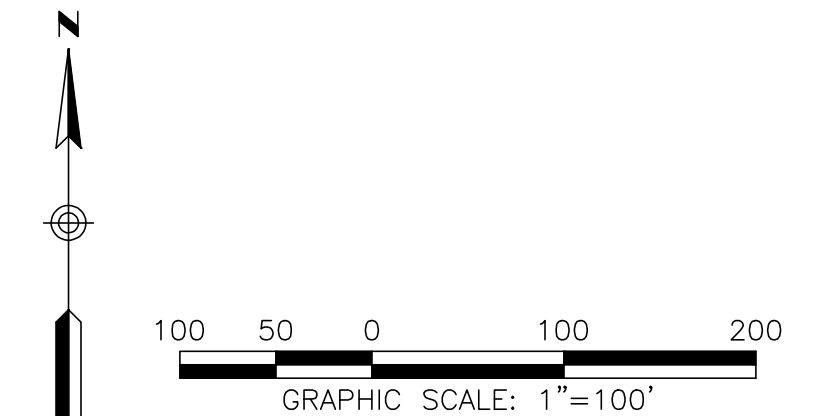
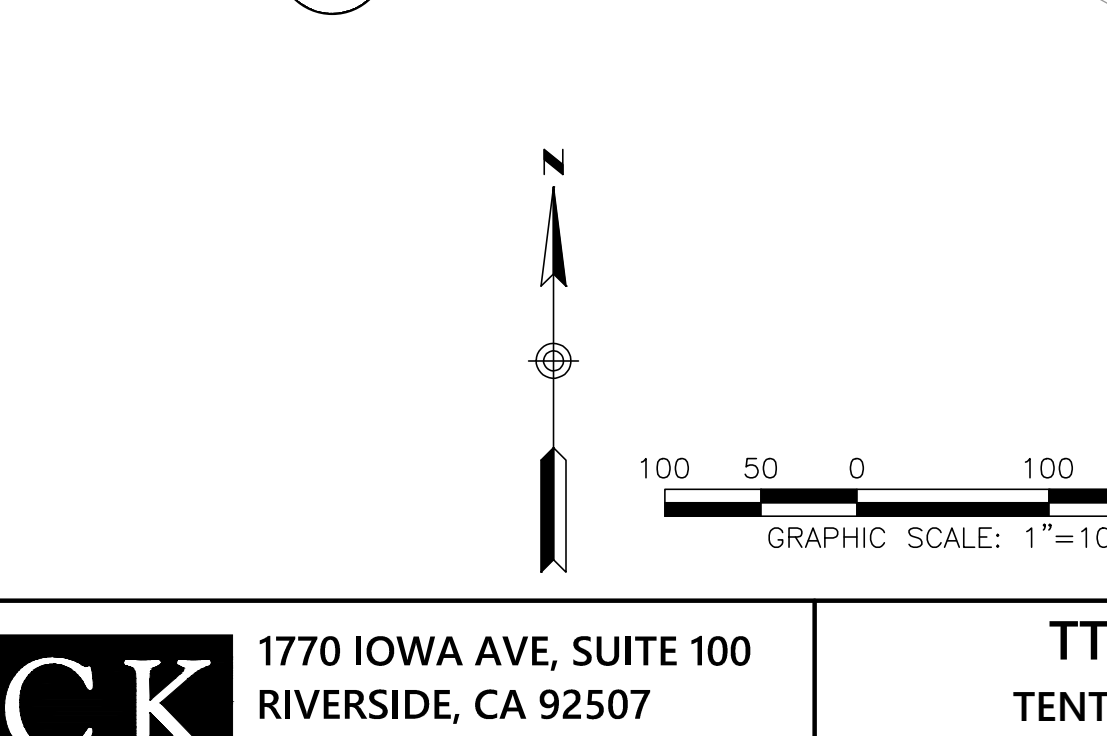
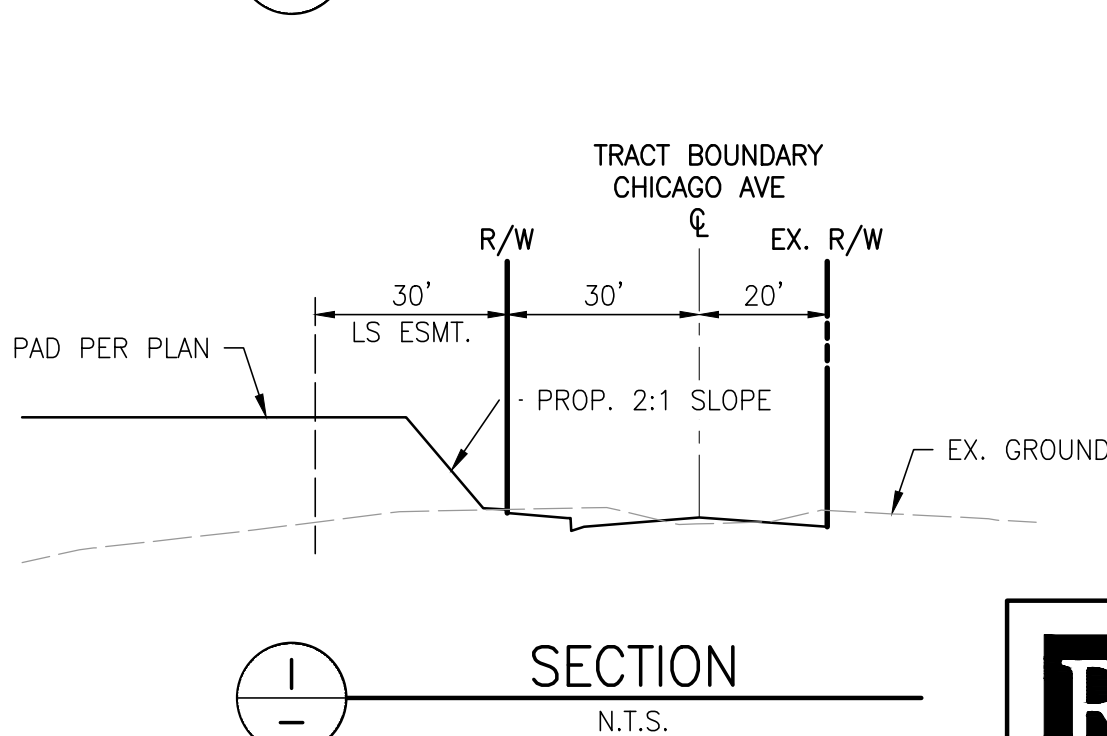
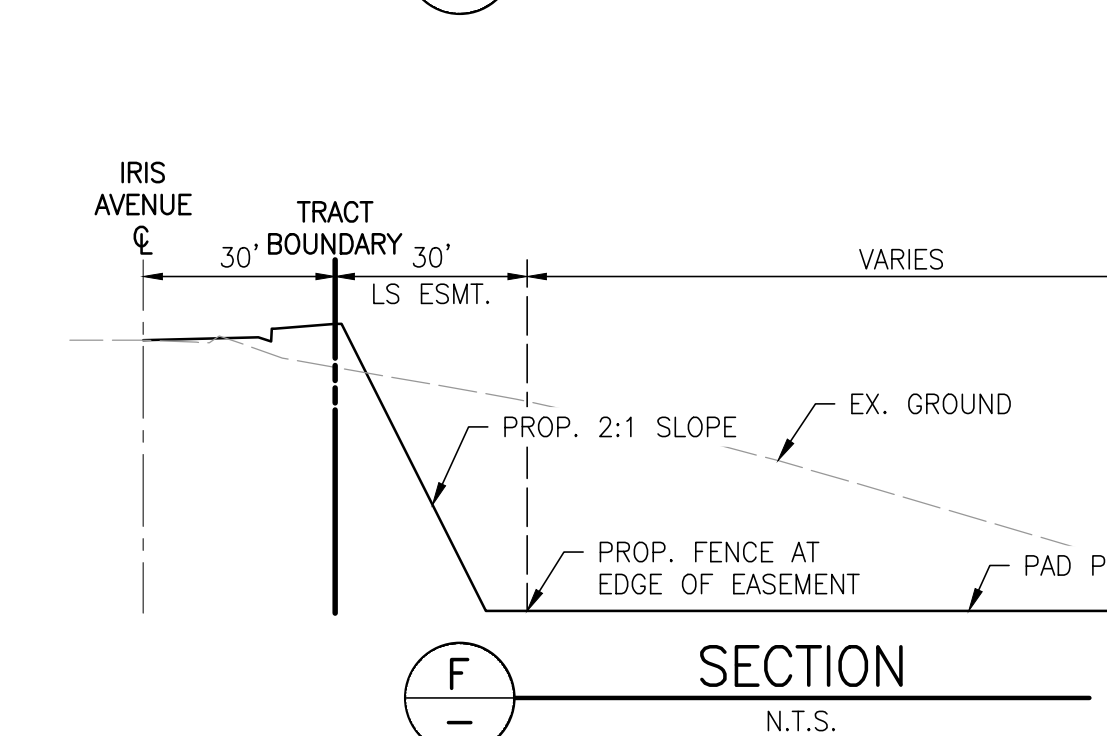
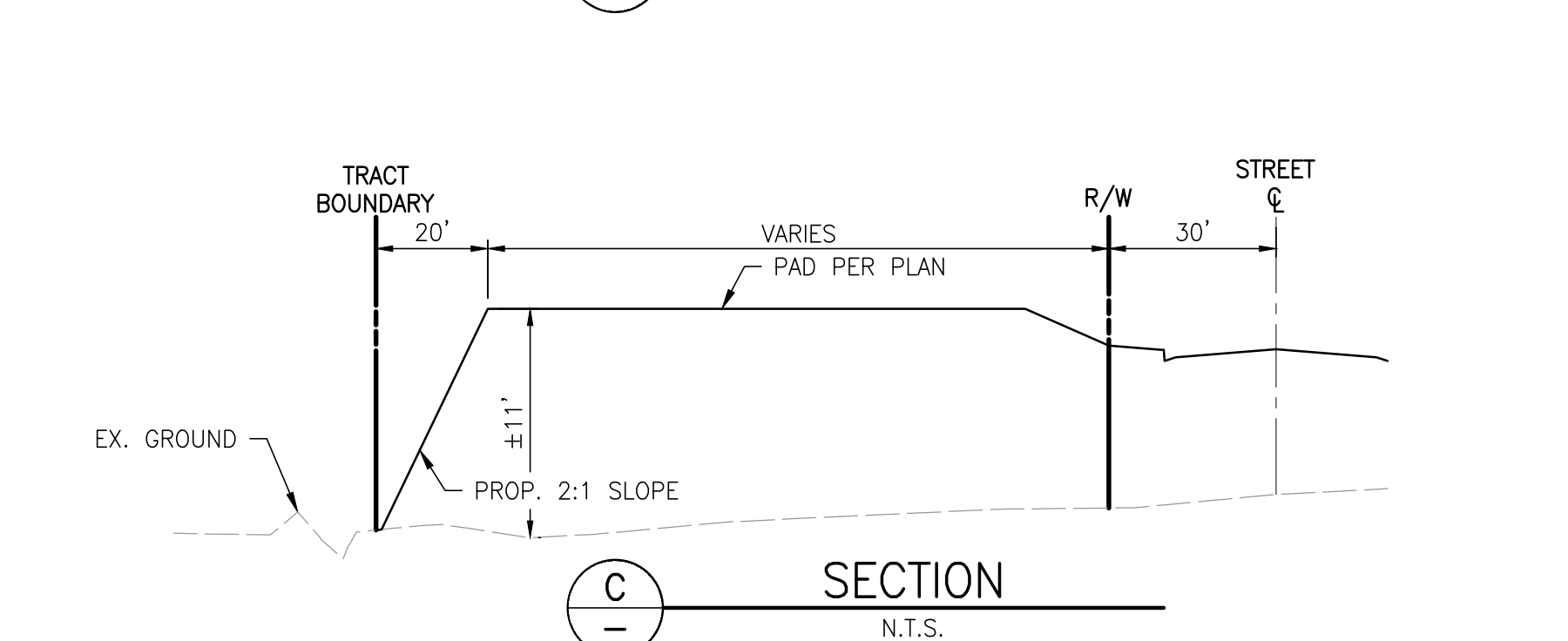
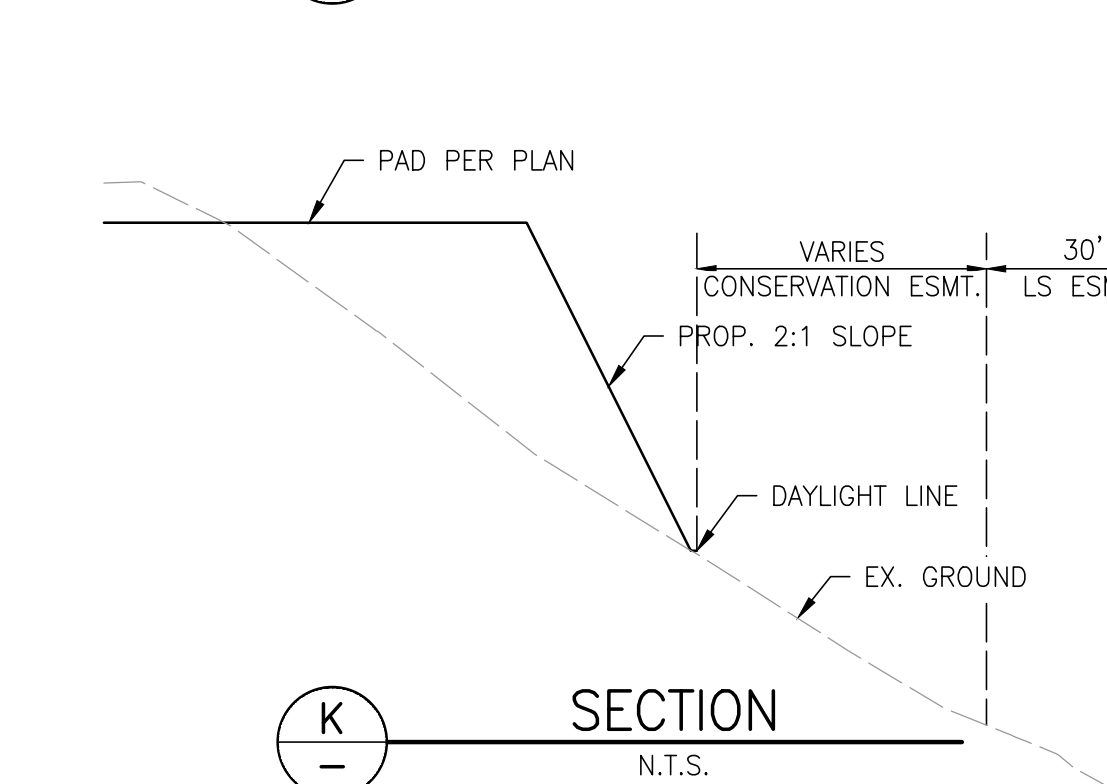
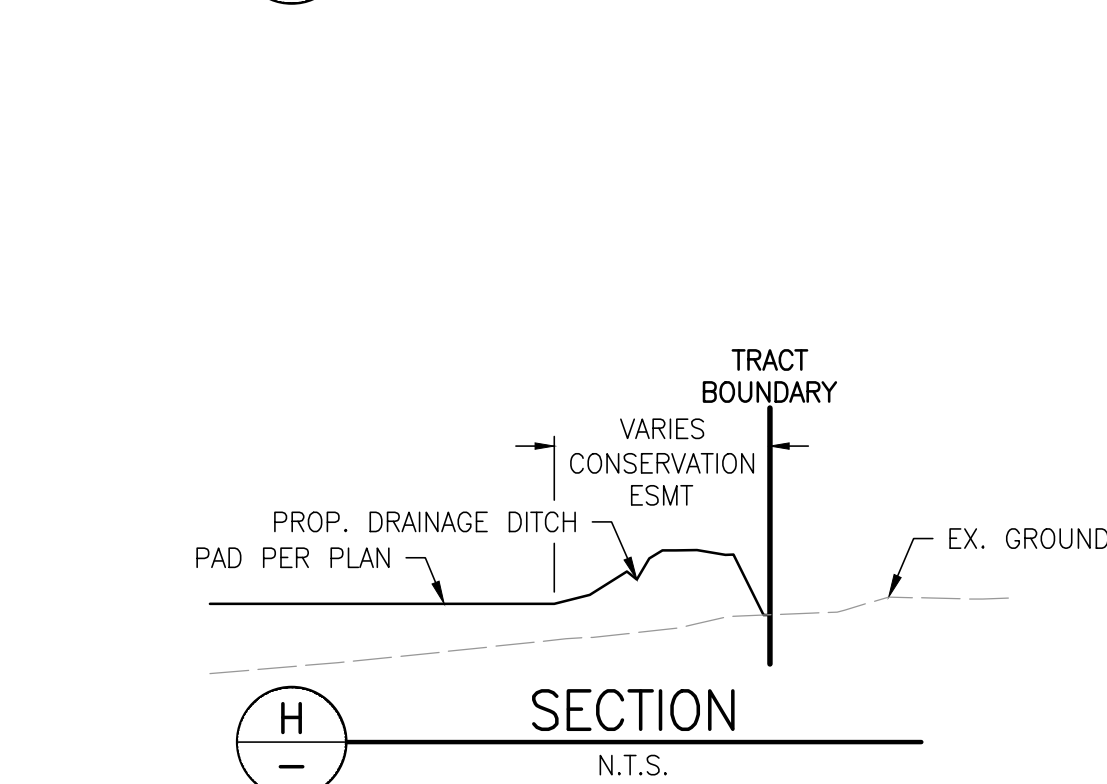
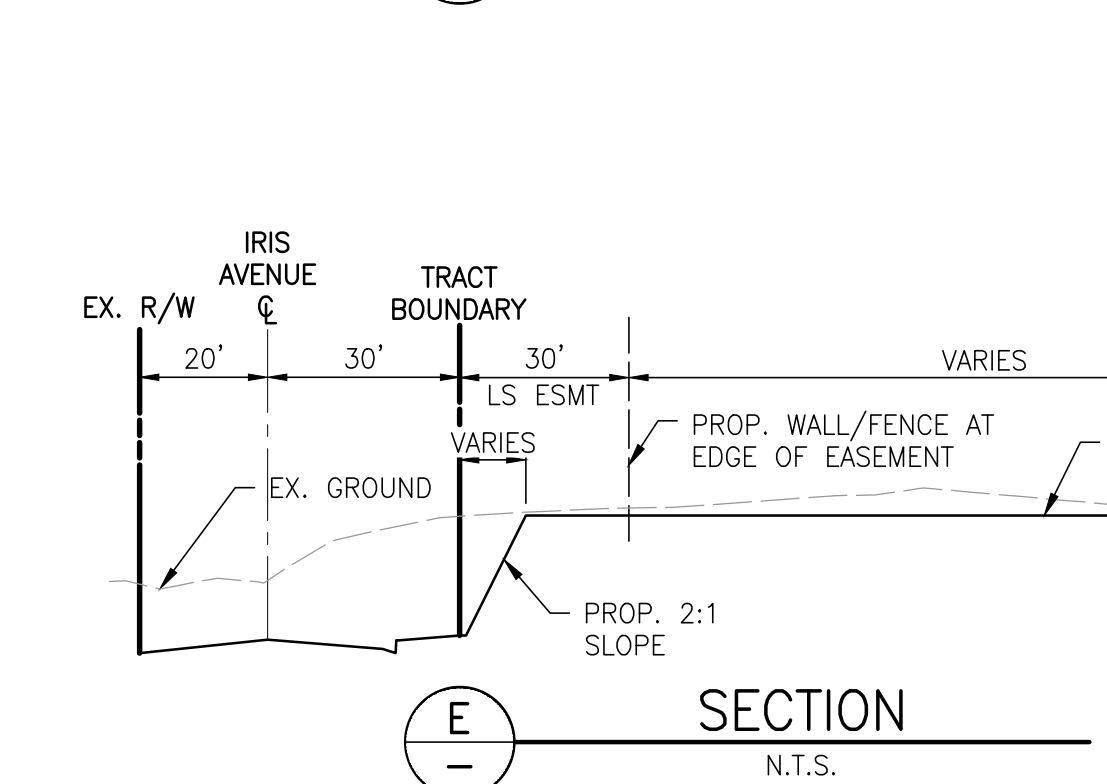
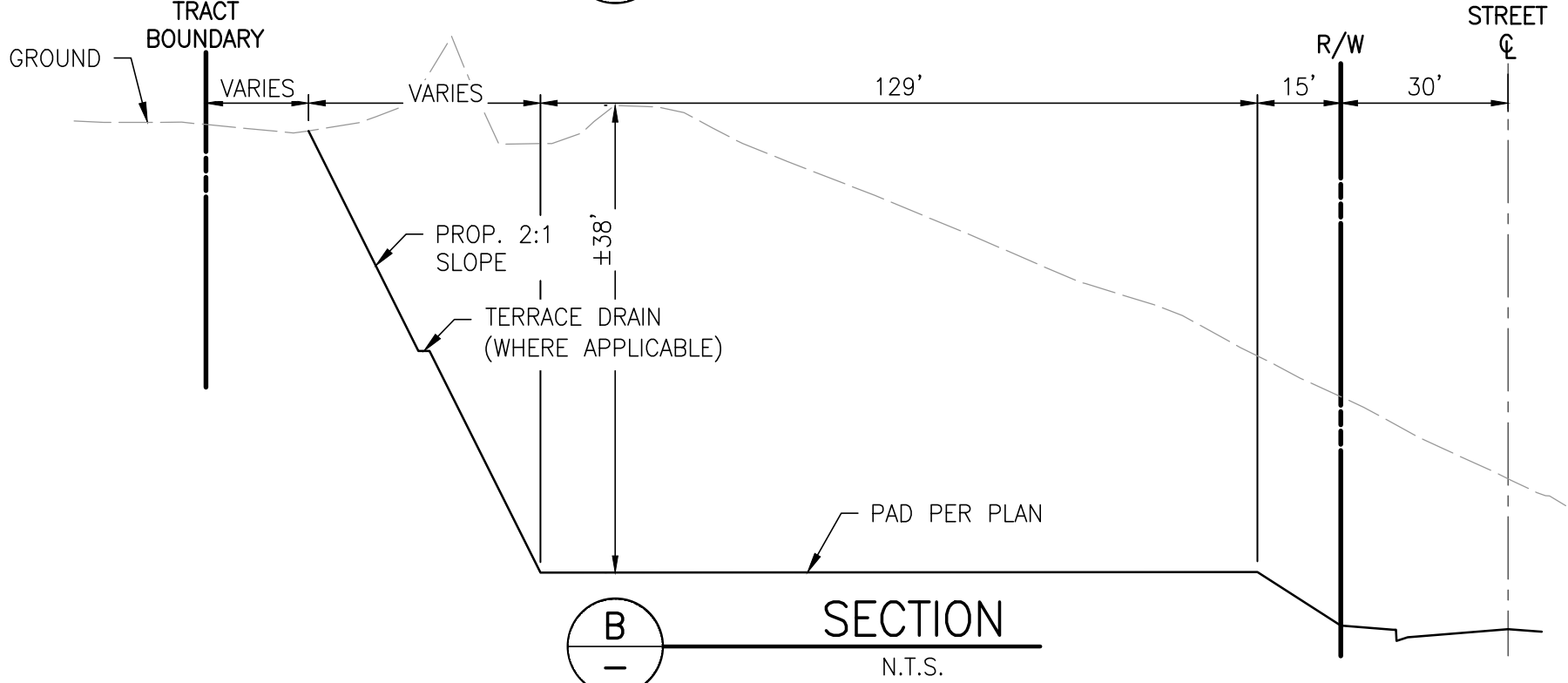
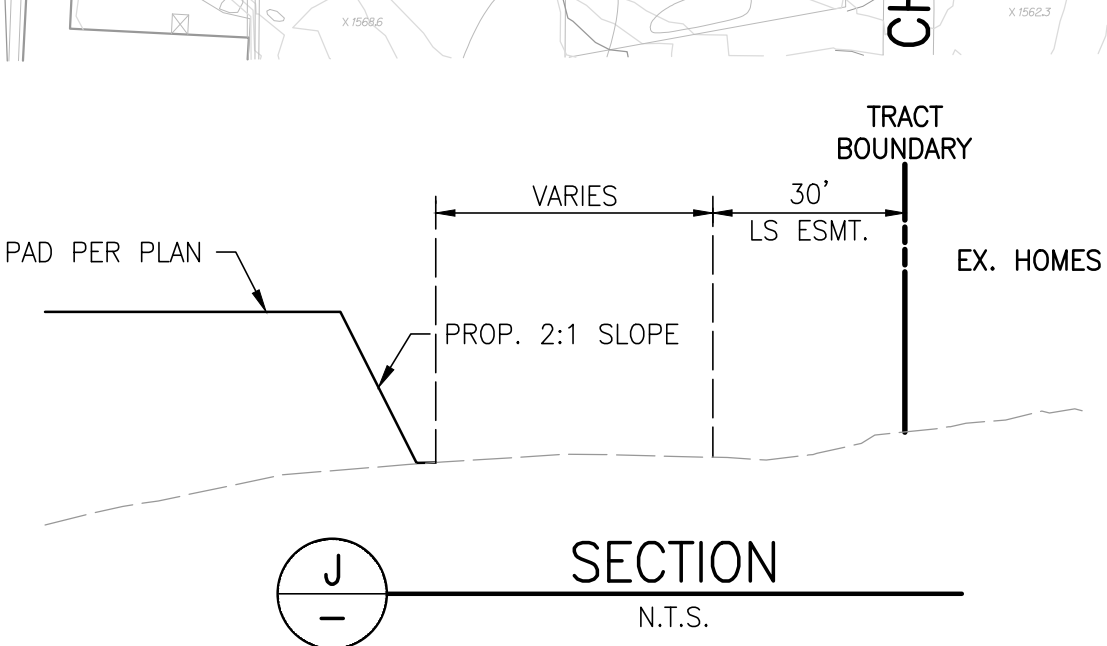
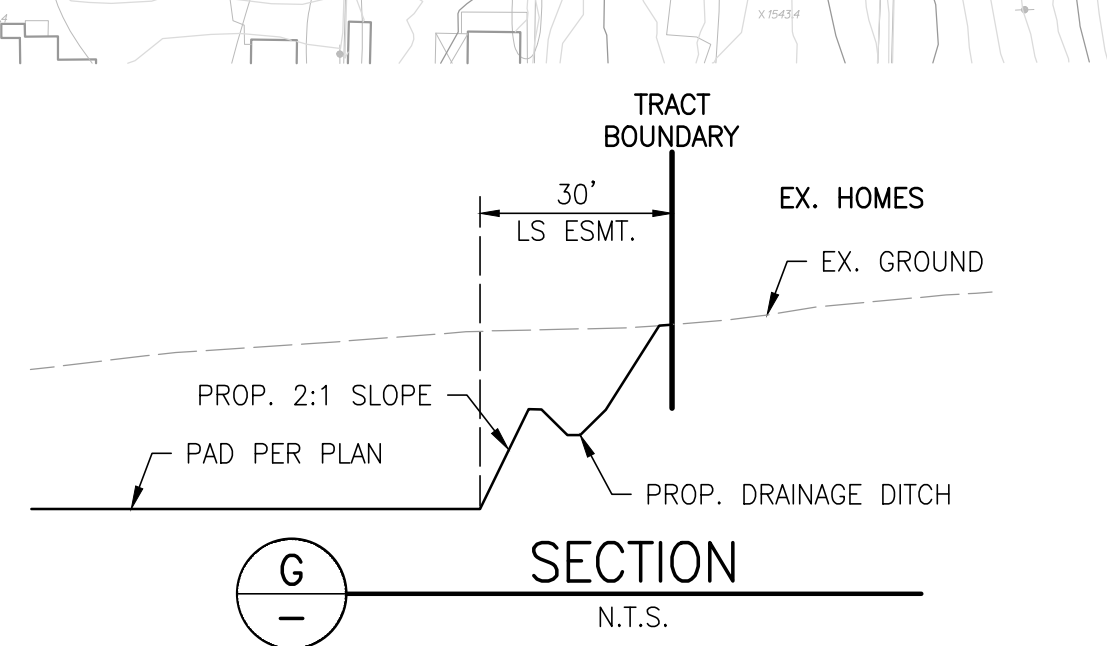
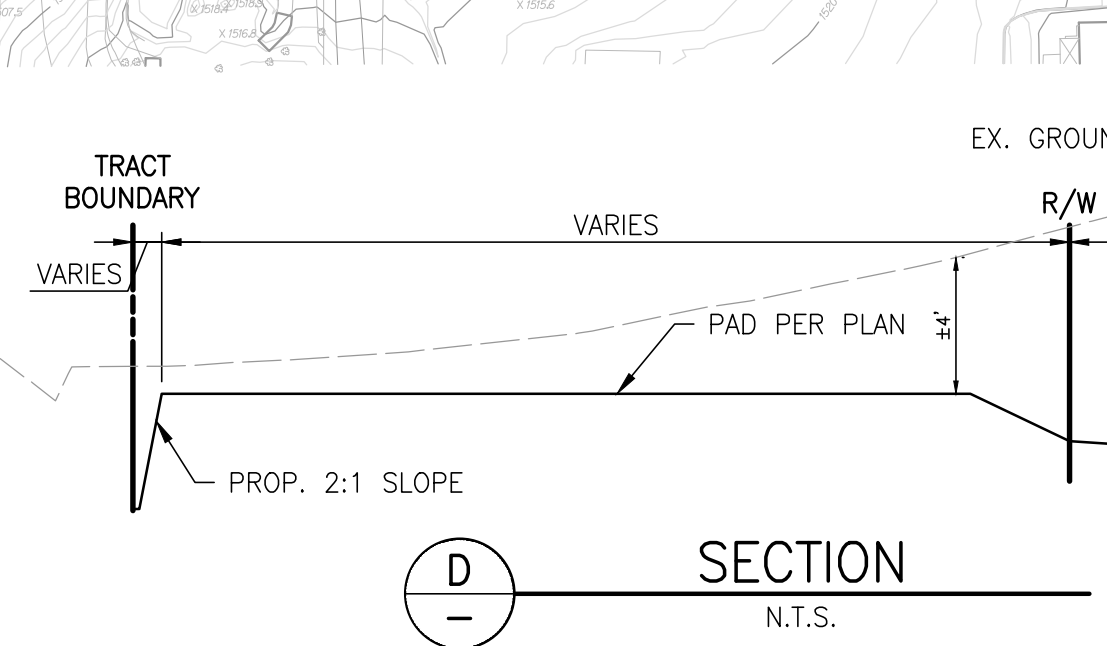
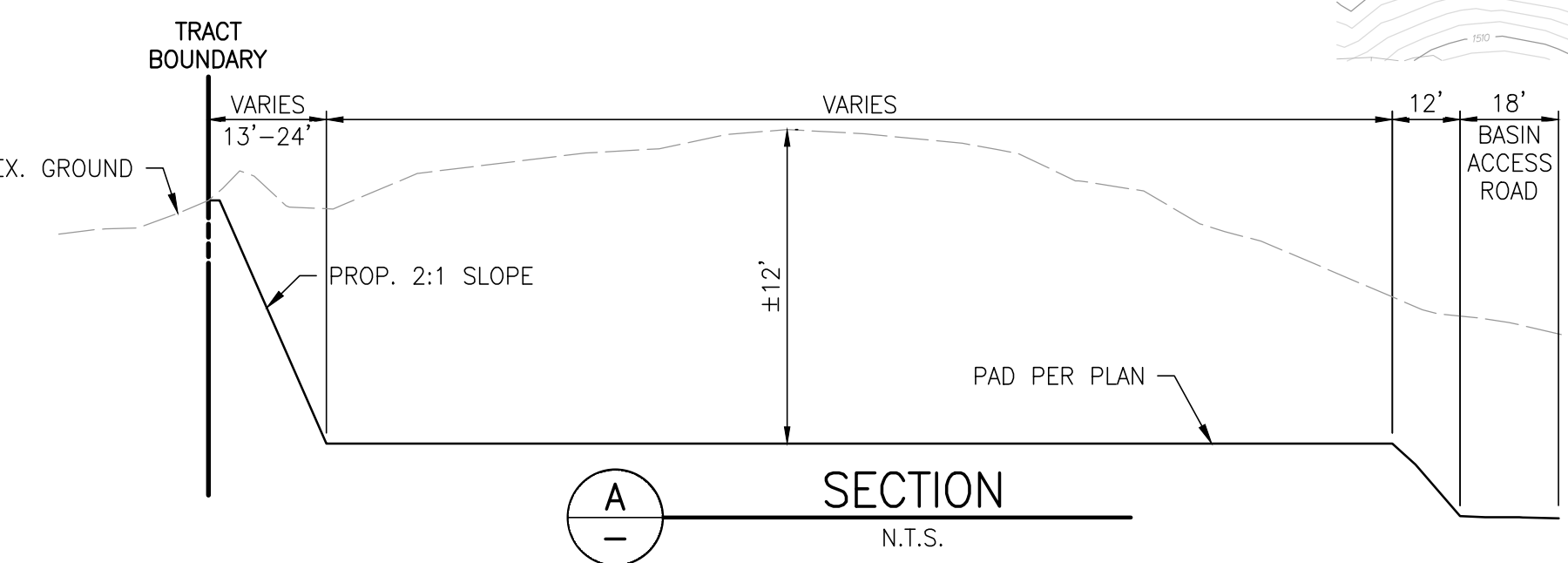
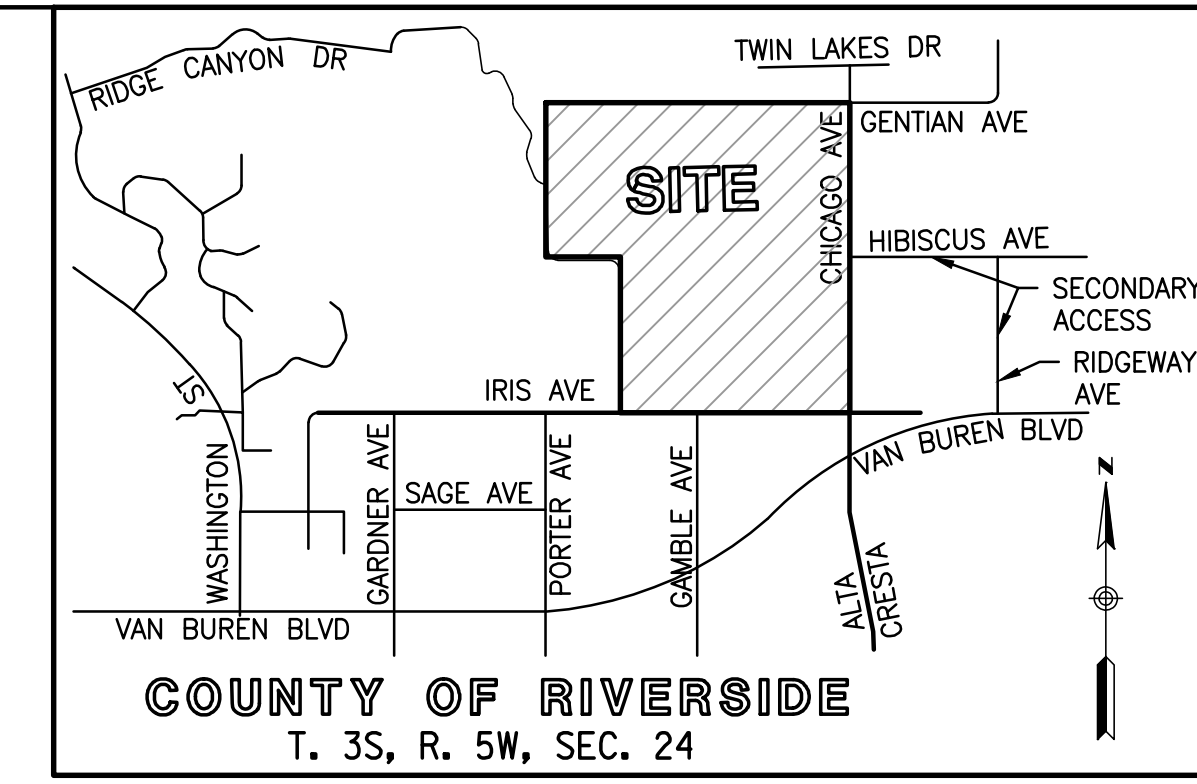
**RICK ENGINEERING COMPANY**  
1770 IOWA AVE, SUITE 100  
RIVERSIDE, CA 92507  
951.782.0707  
rickengineering.com

**TTLIC CHICAGO AVE**  
TENTATIVE TRACT MAP 38510

PROJECT NO: 19427-A SCALE: 1"=100'  
DRAWN BY: JMA/ARC DATE: 1/25/2023



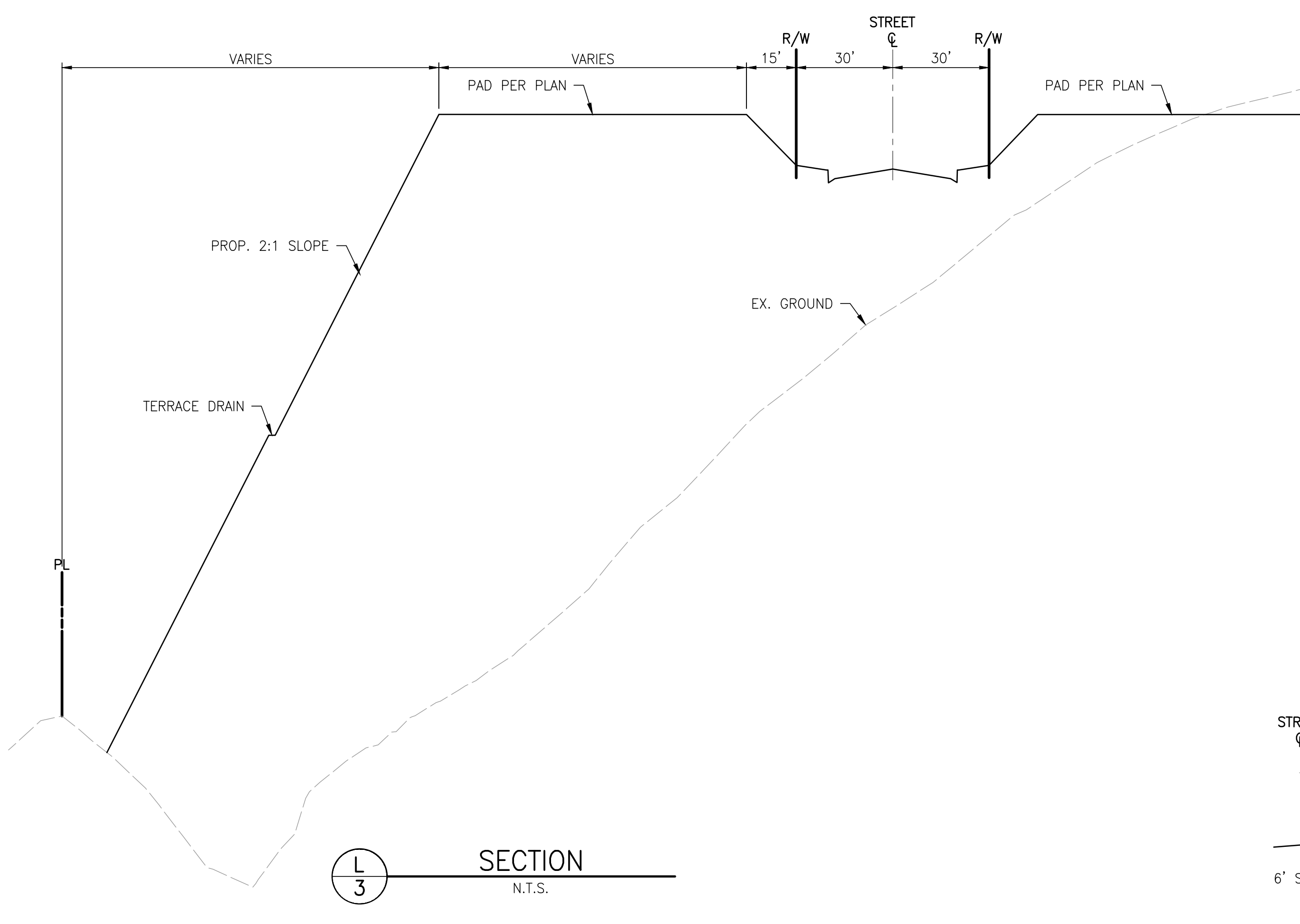
IN THE COUNTY OF RIVERSIDE, CALIFORNIA  
**PRELIMINARY GRADING EXHIBIT**  
**TTM 38510**



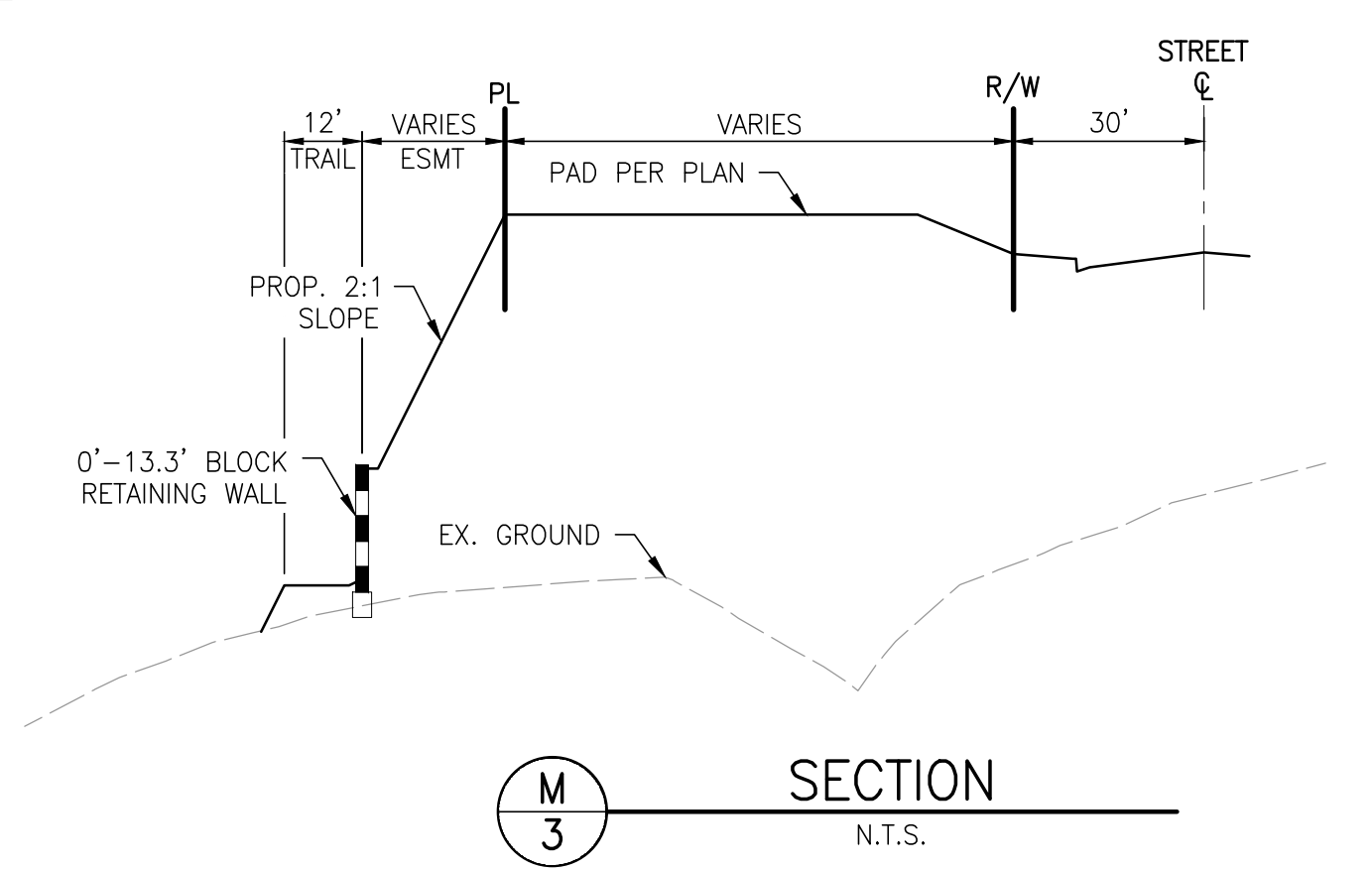
**RICK**  
 ENGINEERING COMPANY  
 1770 IOWA AVE, SUITE 100  
 RIVERSIDE, CA 92507  
 951.782.0707  
 rickengineering.com

**TTLIC CHICAGO AVE**  
 TENTATIVE TRACT MAP 38510  
 PRELIMINARY GRADING EXHIBIT  
 PROJECT NO: 19427-4 SCALE: 1"=100'  
 DRAWN BY: JMA/ARC DATE: 1/25/2023

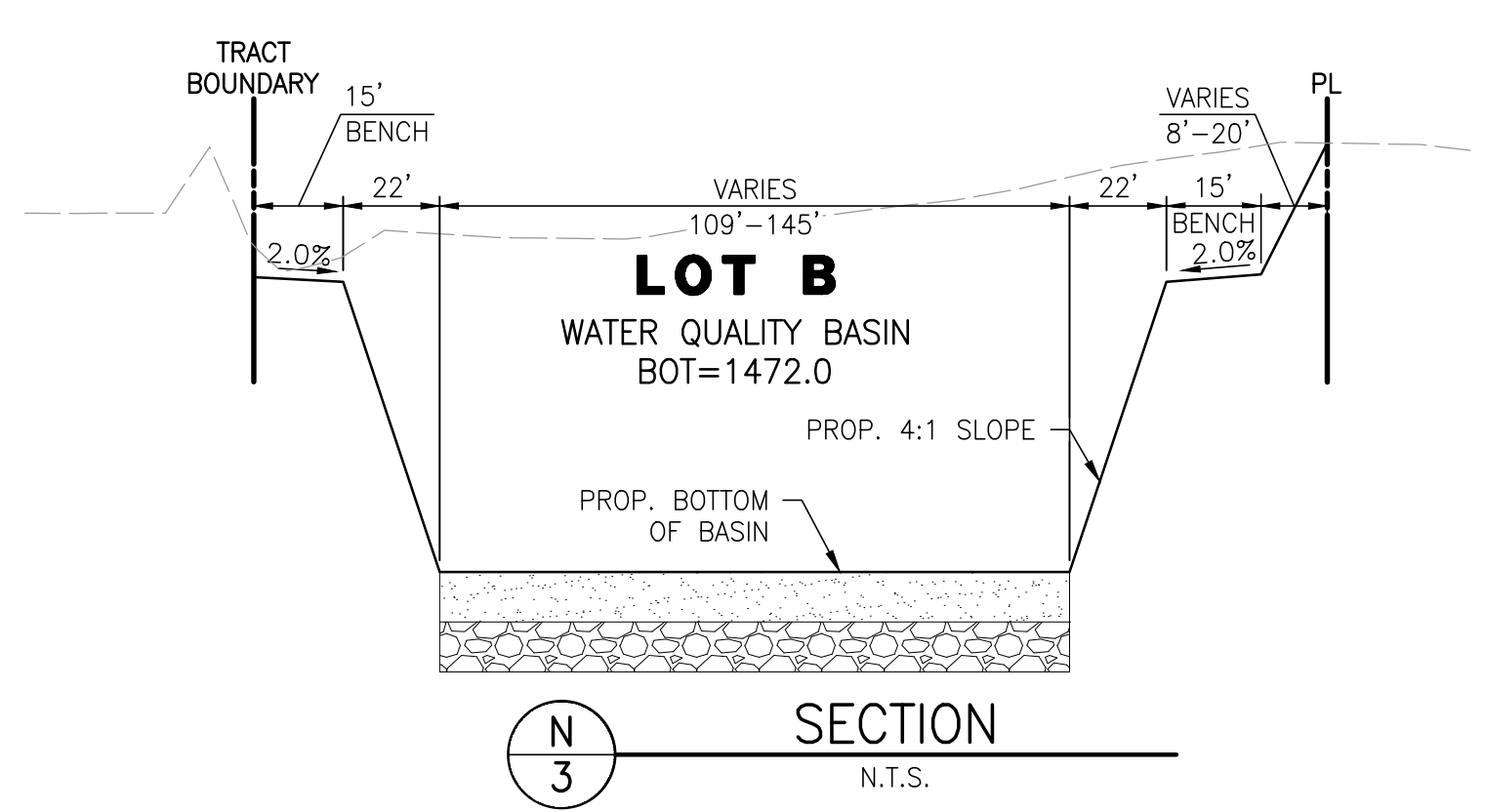




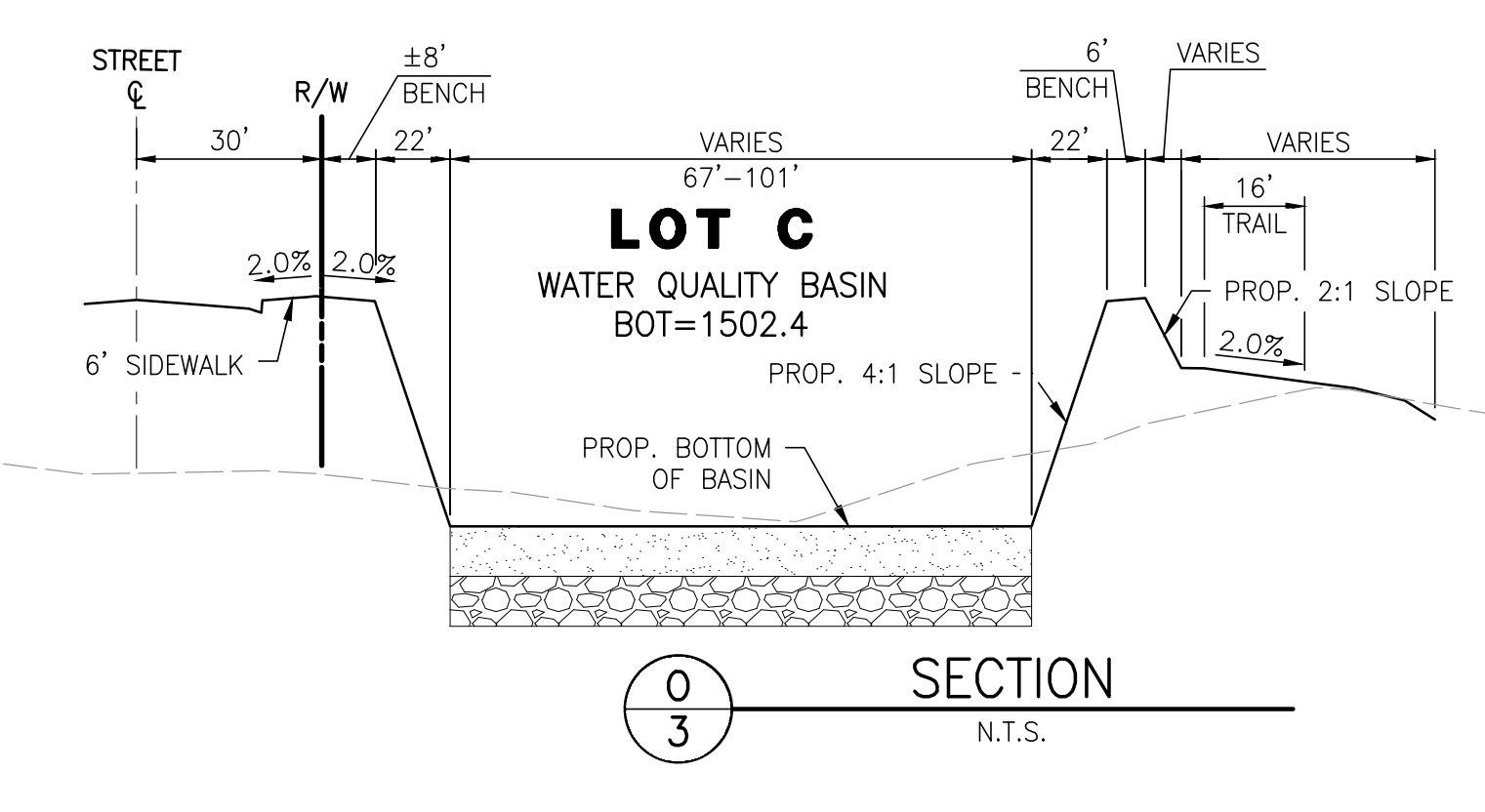
**L** SECTION  
N.T.S.



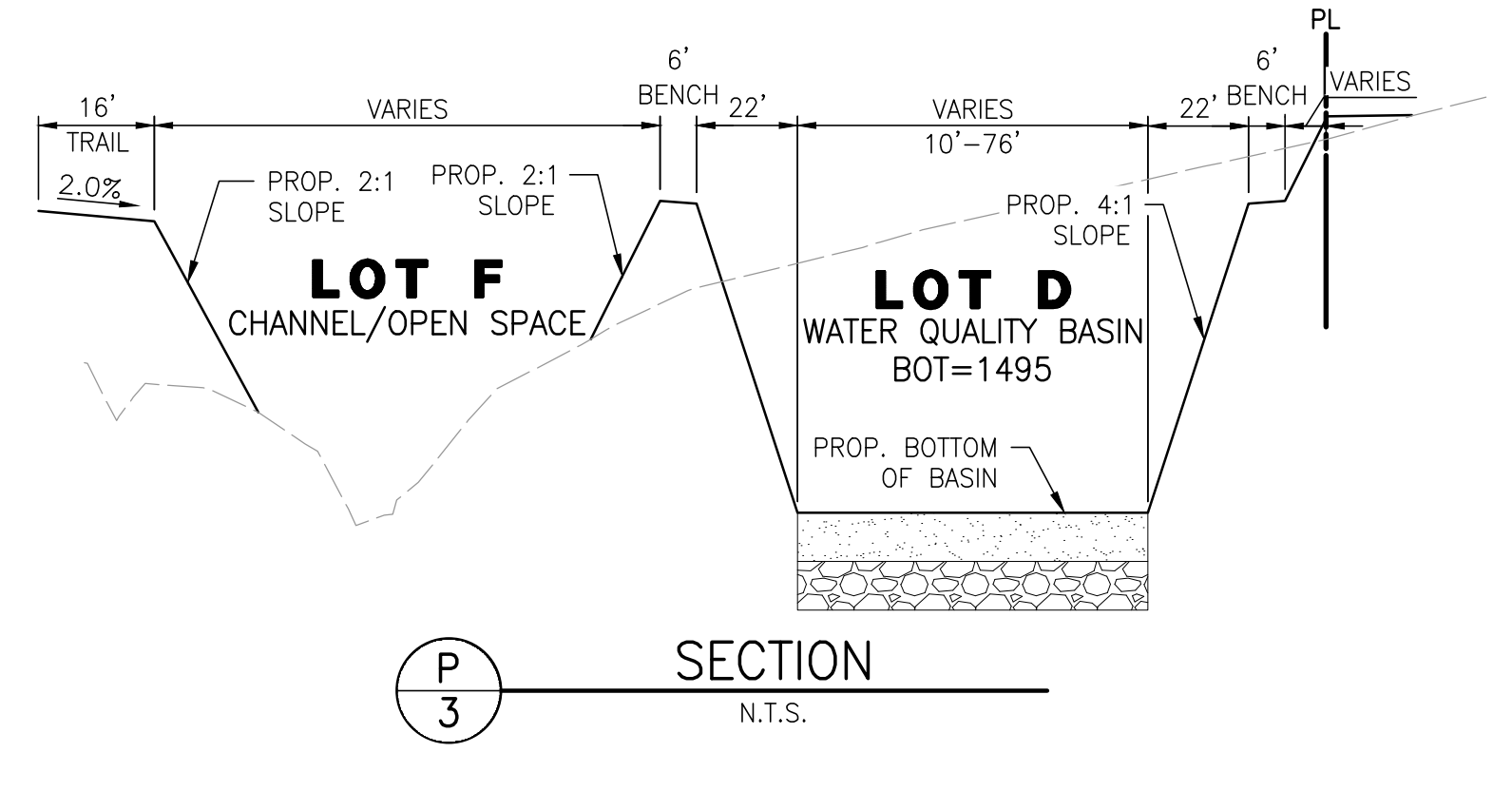
**M** SECTION  
N.T.S.



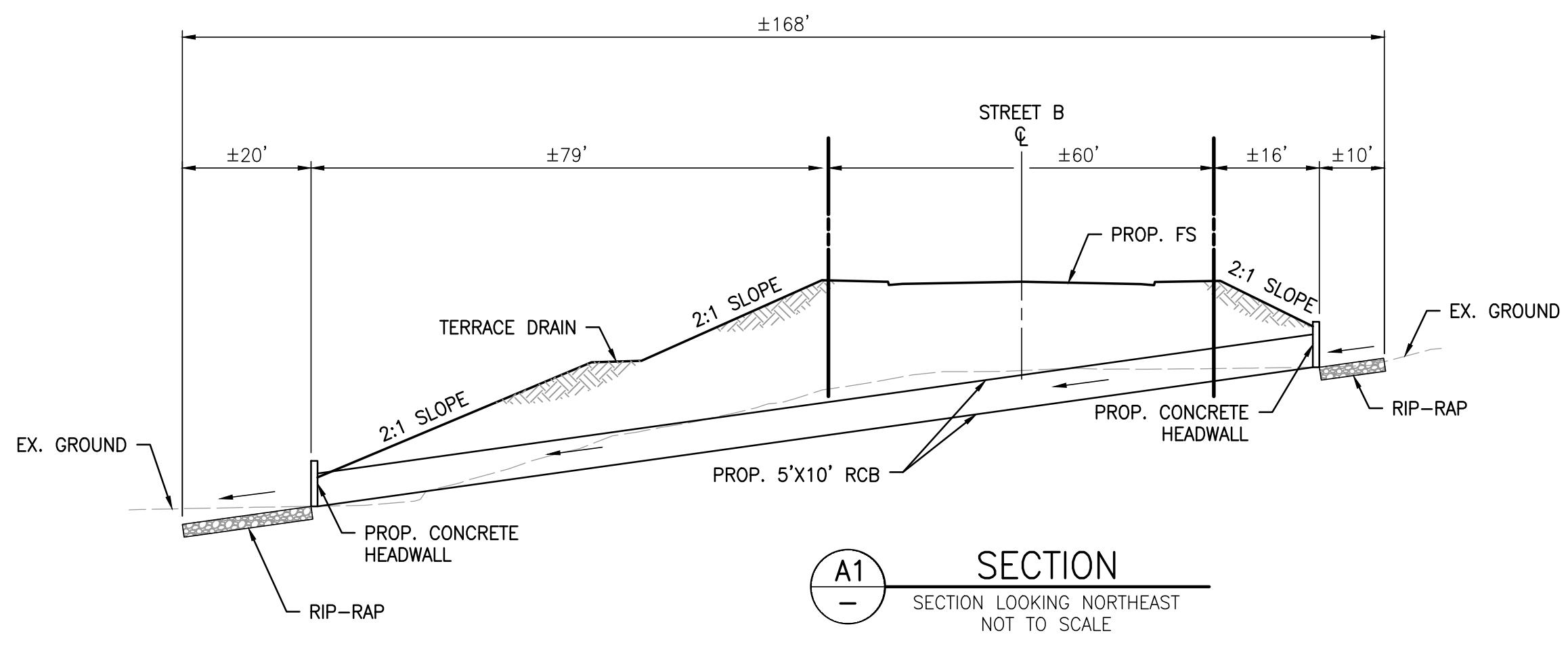
**N** SECTION  
N.T.S.



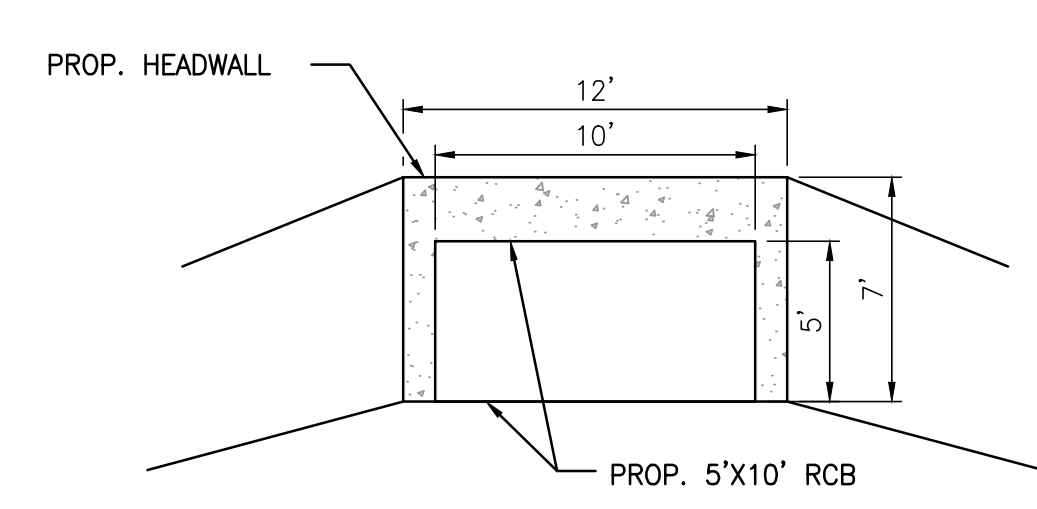
**O** SECTION  
N.T.S.



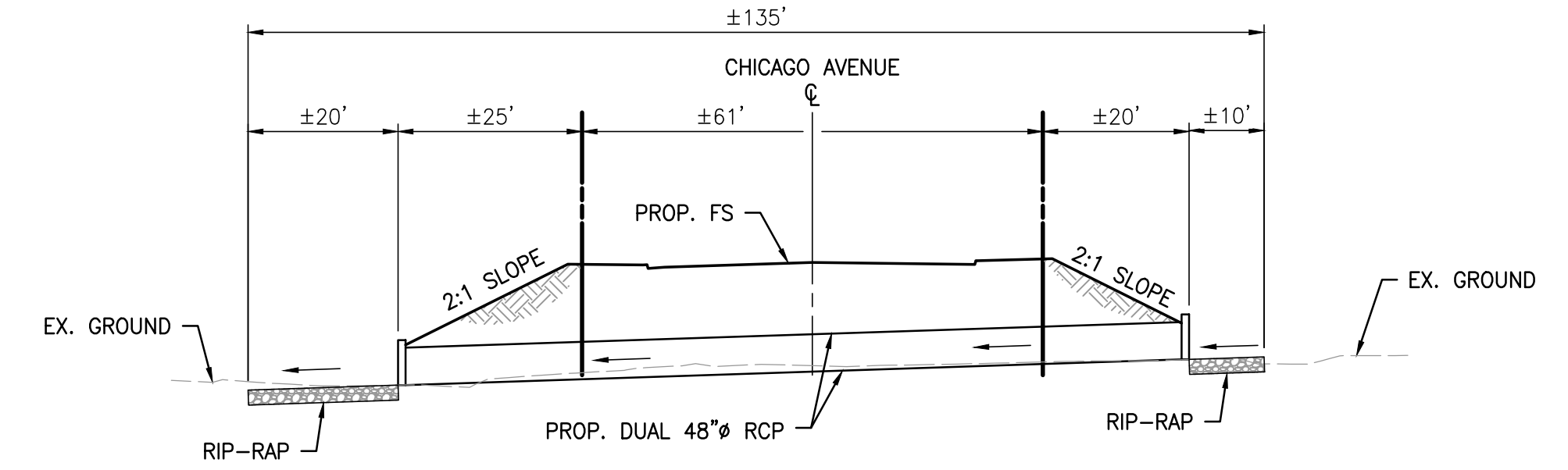
**P** SECTION  
N.T.S.



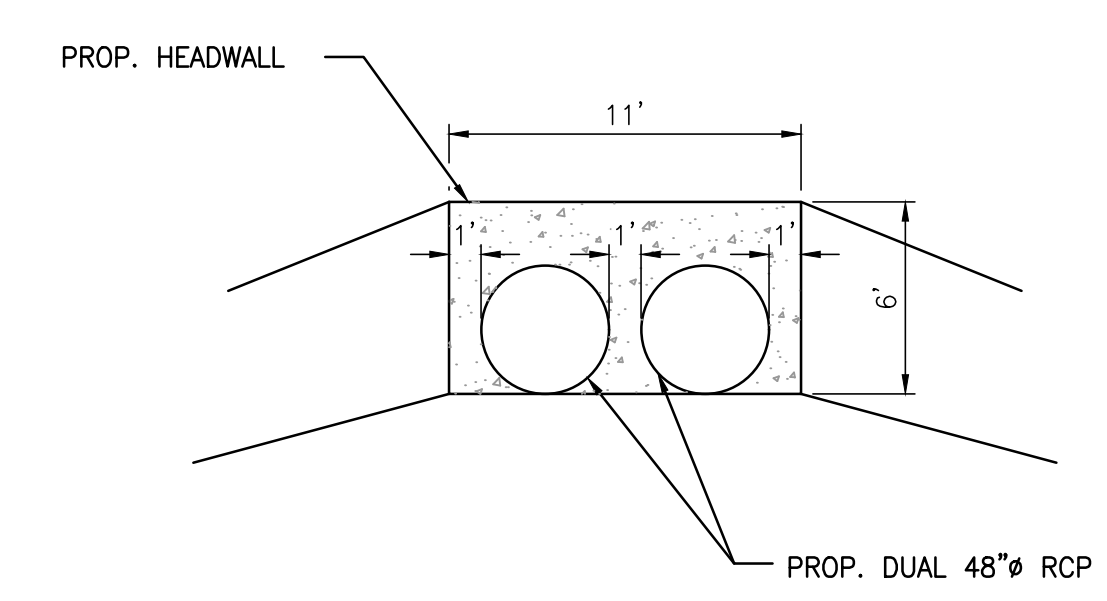
**A1** SECTION  
SECTION LOOKING NORTHEAST  
NOT TO SCALE



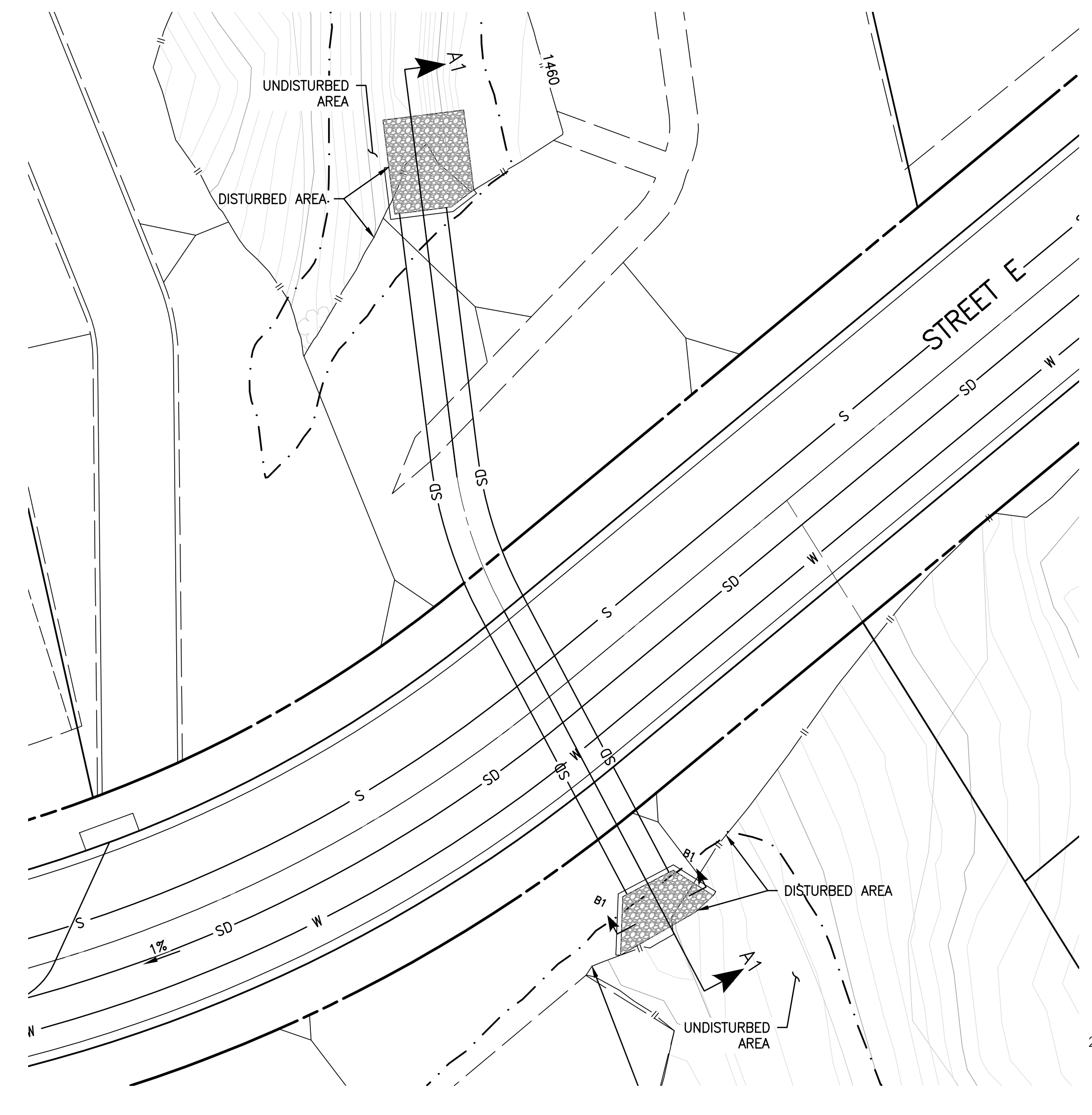
**B1** SECTION  
NOT TO SCALE



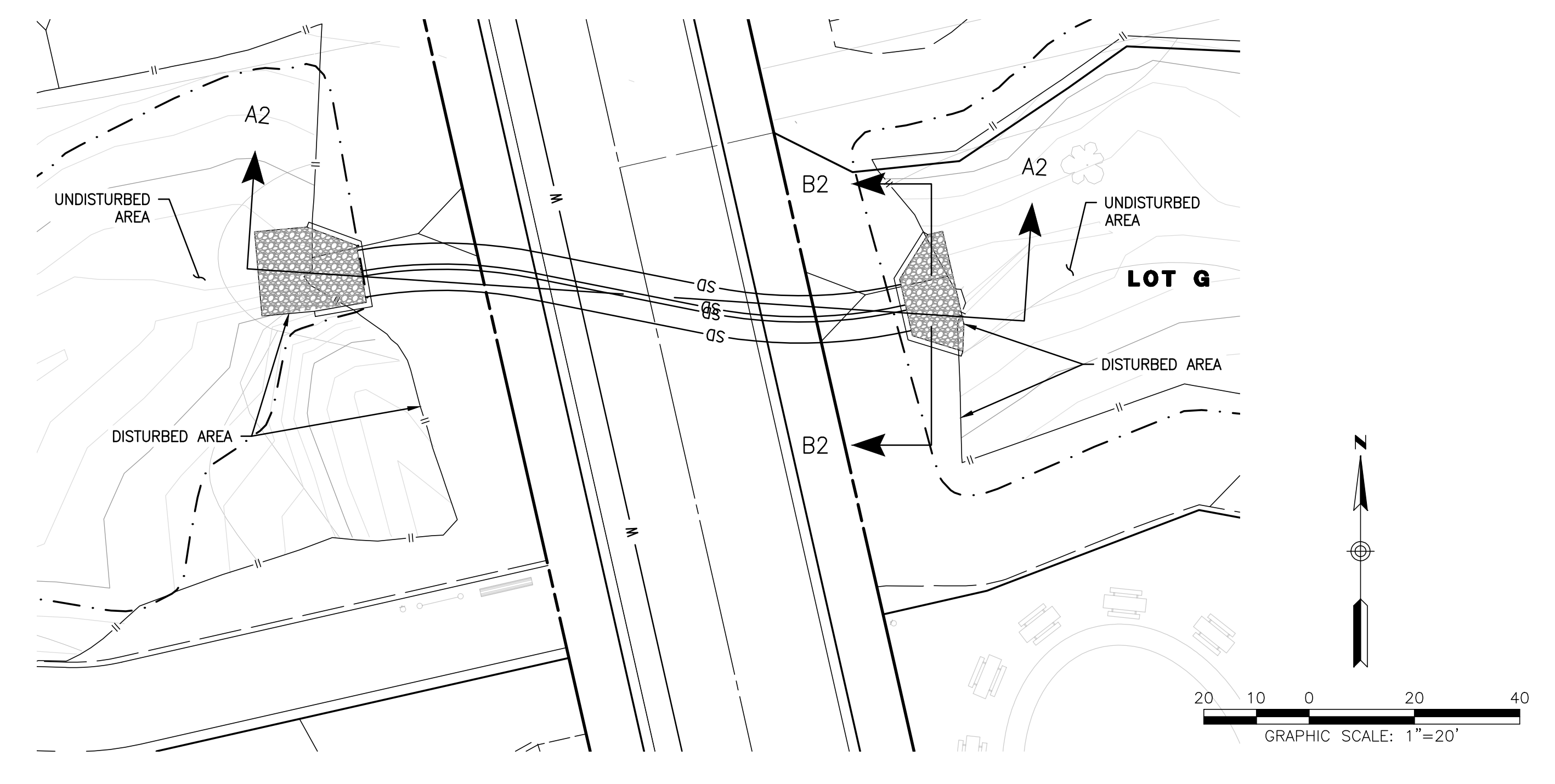
**A2** SECTION  
SECTION LOOKING NORTH  
NOT TO SCALE



**B2** SECTION  
NOT TO SCALE



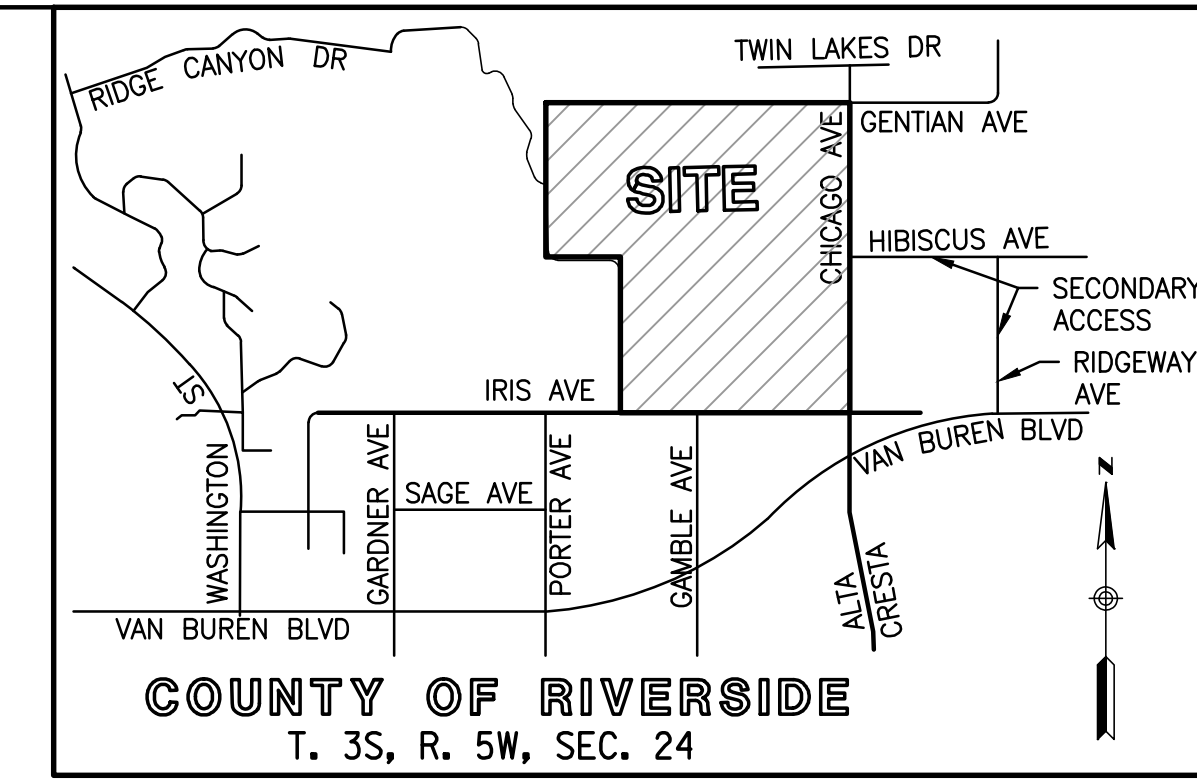
**CROSSING #1**  
SCALE: 1"=20'



**CROSSING #2**  
SCALE: 1"=20'



IN THE COUNTY OF RIVERSIDE, CALIFORNIA  
**PRELIMINARY UTILITY EXHIBIT**  
**TTM 38510**

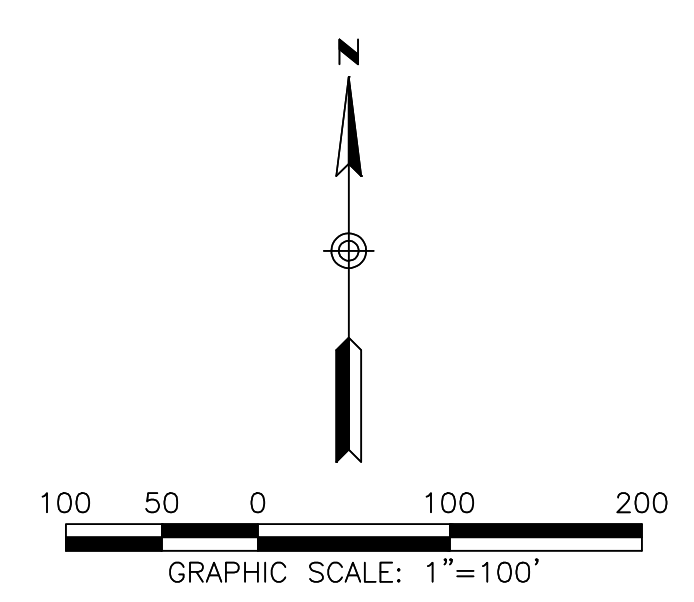
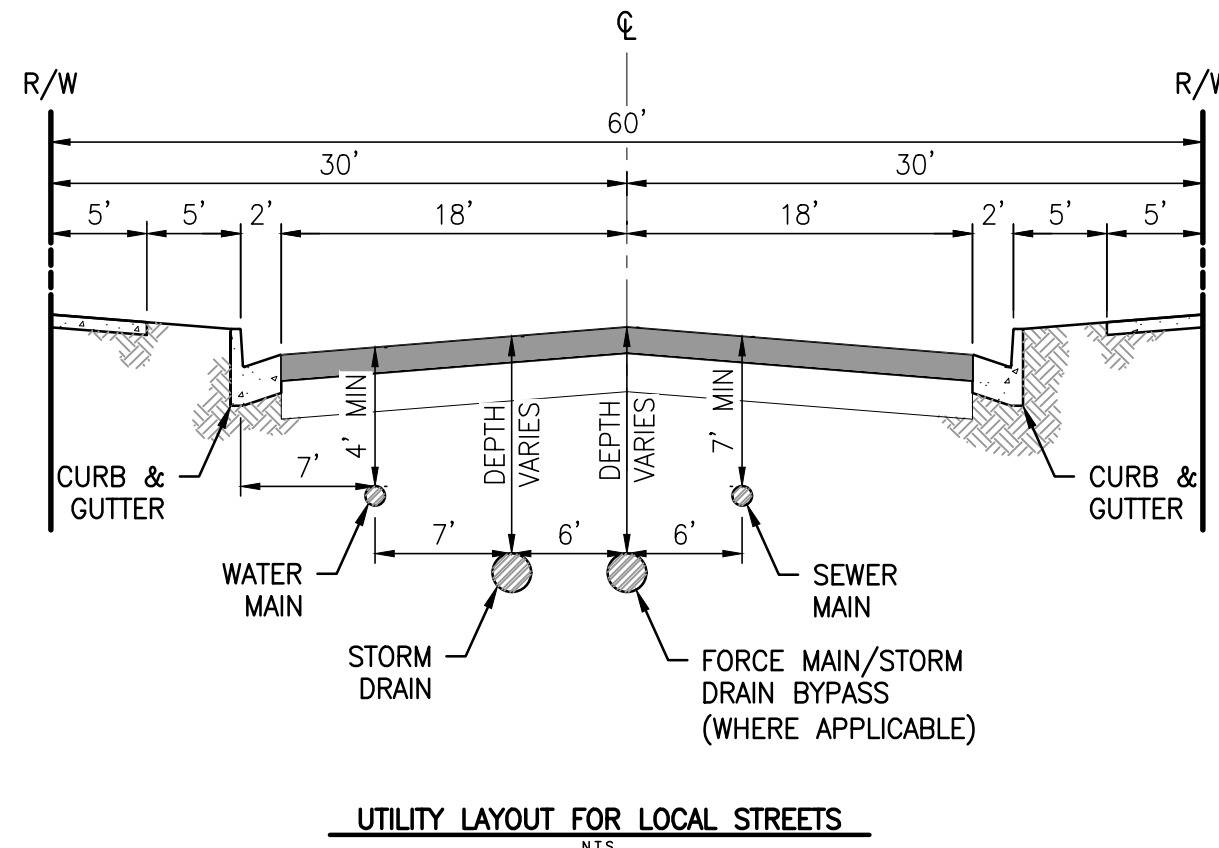


**VICINITY MAP**  
 NOT TO SCALE



**LEGEND**

- W WATER
- SD STORM DRAIN
- S SEWER
- FM FORCE MAIN
- SD STORM DRAIN BYPASS



C:\Projects\Projects\19427\19427 - Chicago Ave - Prelim Utility Exhibit.dwg - 1/25/2023 10:45:11 AM - Rick Engineering Company



**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. **Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org).** The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact **ALUC Planner Jackie Vega at (951) 955-0982.**

The County of Riverside Planning Department should be contacted on non-ALUC issues. For more information, please contact County of Riverside Planner Krista Mason at 951-955-1722.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [javega@rivco.org](mailto:javega@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:**                    **Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California**

**DATE OF HEARING:**                    **April 13, 2023**

**TIME OF HEARING:**                    **9:30 A.M.**

**CASE DESCRIPTION:**

ZAP1562MA23 – TTLC Riverside Chicago, LLC (Representative: T&B Planning Inc.) – County of Riverside Case Nos. GPA220009 (General Plan Amendment), CZ2200031 (Change of Zone), TTM38510 (Tentative Tract Map). A proposal to divide 140.8 acres into 232 single-family residential lots, located on the northwest corner of Chicago Avenue and Iris Avenue. The applicant also proposes to amend the site's land use designation from Very Low Density Residential (VLDR) to Low Density Residential (LDR) and change the site's zoning from Light Agricultural to One-Family Dwelling. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area).





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

### ALUC STAFF ONLY

ALUC Case Number: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

AIA: \_\_\_\_\_

Zone: \_\_\_\_\_

Public Hearing \_\_\_\_\_

Staff Review \_\_\_\_\_

Applicant

Applicant

Full Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Representative/ Property Owner Contact Information

Representative: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

### Local Jurisdiction Agency

Agency Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Staff Contact: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_

Local Agency Case No.: GPA220009; CZ2200031; TTM38510; CEQ220090

### Project Location

Street Address: \_\_\_\_\_ Gross Parcel Size: \_\_\_\_\_

Assessor's Parcel No.: \_\_\_\_\_

### Solar

Is the project proposing solar Panels? Yes

No

If yes, please provide solar glare study.  
(Only for zone C or higher.)



## Data

Site Elevation:(above  
mean sea level) \_\_\_\_\_

Height of Building or  
structures: \_\_\_\_\_

What type of drainage basins are  
being proposed and the square  
footage: \_\_\_\_\_

## Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for “staff level review” is approximately 30 days from date of submittal. Estimated time for “commission level review” is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### **C. SUBMISSION PACKAGE:**

**Please submit all application items DIGITALLY via USB or CD:**

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of current and proposed use

**Additionally, please provide:**

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing)



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

**AGENDA ITEM:** 3.4

**HEARING DATE:** April 13, 2023

**CASE NUMBER:** ZAP1074TH23 – Santa Rosa Business Park, LLC  
(Representative: Terra Nova Planning & Research)

**APPROVING JURISDICTION:** City of Coachella

**JURISDICTION CASE NO:** GPA23-01 (General Plan Amendment).

**LAND USE PLAN:** 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan (as amended in 2006)

Airport Influence Area: Jacqueline Cochran Regional Airport

Land Use Policy: Airport Compatibility Zones C, D

Noise Levels: Between 55 - 60 CNEL from aircraft

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the General Plan Amendment CONSISTENT with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan, as amended in 2006.

**PROJECT DESCRIPTION:** A proposal to amend the General Plan land use designation on 38.80 acres from Urban Employment Center to Industrial District. No development is proposed at this time.

**PROJECT LOCATION:** The site is located on the southeast corner of 54<sup>th</sup> street and Tyler Street, approximately 5,215 feet northwesterly of the northerly terminus of Runway 17-35 at Jacqueline Cochran Regional Airport.

### **BACKGROUND:**

Non-Residential Intensity: Pursuant to the Airport Land Use Compatibility Plan for the 2005 Jacqueline Cochran Regional Airport, the site is located within Compatibility Zones C and D, which restricts non-residential average acre intensity to 75 people per acre and 150 people in a single acre in Zone C, and 100 people per acre and 300 people in a single acre in Zone D. No development is proposed at this time.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones C or D.



Noise: The Jacqueline Cochran Regional Airport Land Use Compatibility Plan depicts the site as being located within 55-60 CNEL contour range from aircraft noise. Future potential industrial use allowed by the proposed Industrial District land use designation is identified as 'Clearly Acceptable' within this contour range from aircraft noise. No development is proposed at this time.

Part 77: The elevation of Runway 17-35 at its northerly terminus is -114 feet below mean sea level (MSL). At a distance of approximately 5,215 feet from the southerly terminus of the runway) to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof elevation exceeding -62 feet MSL. No development is proposed at this time. However, if any top point elevation from future development exceeds the FAA notification threshold, subsequent FAA review would be required.

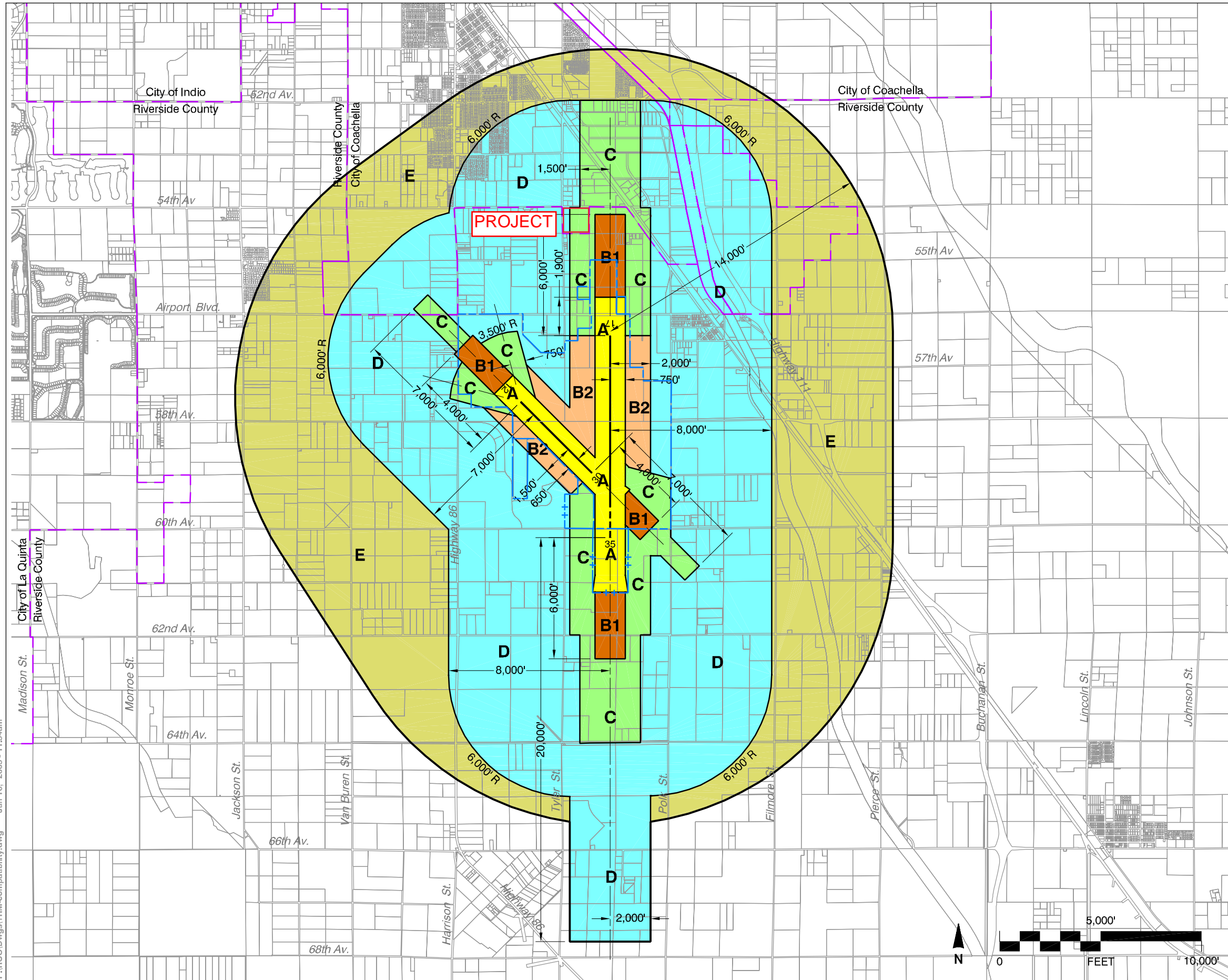
Open Area: Pursuant to the Jacqueline Cochran Regional Airport Land Use Compatibility Plan, the project site is located within Compatibility Zones C and D, which requires projects greater than 10 acres to designate 20% for Zone C and 10% for Zone D of the project area as ALUC qualifying open area that could potentially serve as emergency landing areas. These areas are conditioned to maintain a minimum shape of 75 feet in width and 300 feet in length, and shall be kept obstacle and obstruction free per ALUC open area definition (no objects greater than four feet in height with a diameter of four inches or greater). Since no development is proposed at this time, the requirement of ALUC open area would occur at the time future development is proposed at the site.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C).

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 5,215 feet) there is no development proposed at this time. Therefore, review and analysis of potential wildlife hazards would occur when a future development is proposed at the site.








General Plan Amendment: A proposal to amend the General Plan land use designation on 38.80 acres from Urban Employment Center to Industrial District. The proposed amendment would be consistent with the Compatibility Plan as long as the underlying future development is consistent with the compatibility criteria.





**Legend**

**Compatibility Zones**

-  Airport Influence Area Boundary
-  Zone A
-  Zone B1
-  Zone B2
-  Zone C
-  Zone D
-  Zone E

**Boundary Lines**

-  Airport Property Line - Existing
-  Airport Property Line - Planned
-  City Limits

**Note**

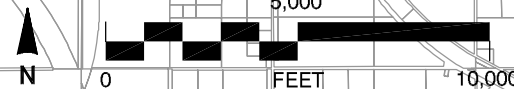
Except for southern extension, Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
*(Adopted June 2005)*

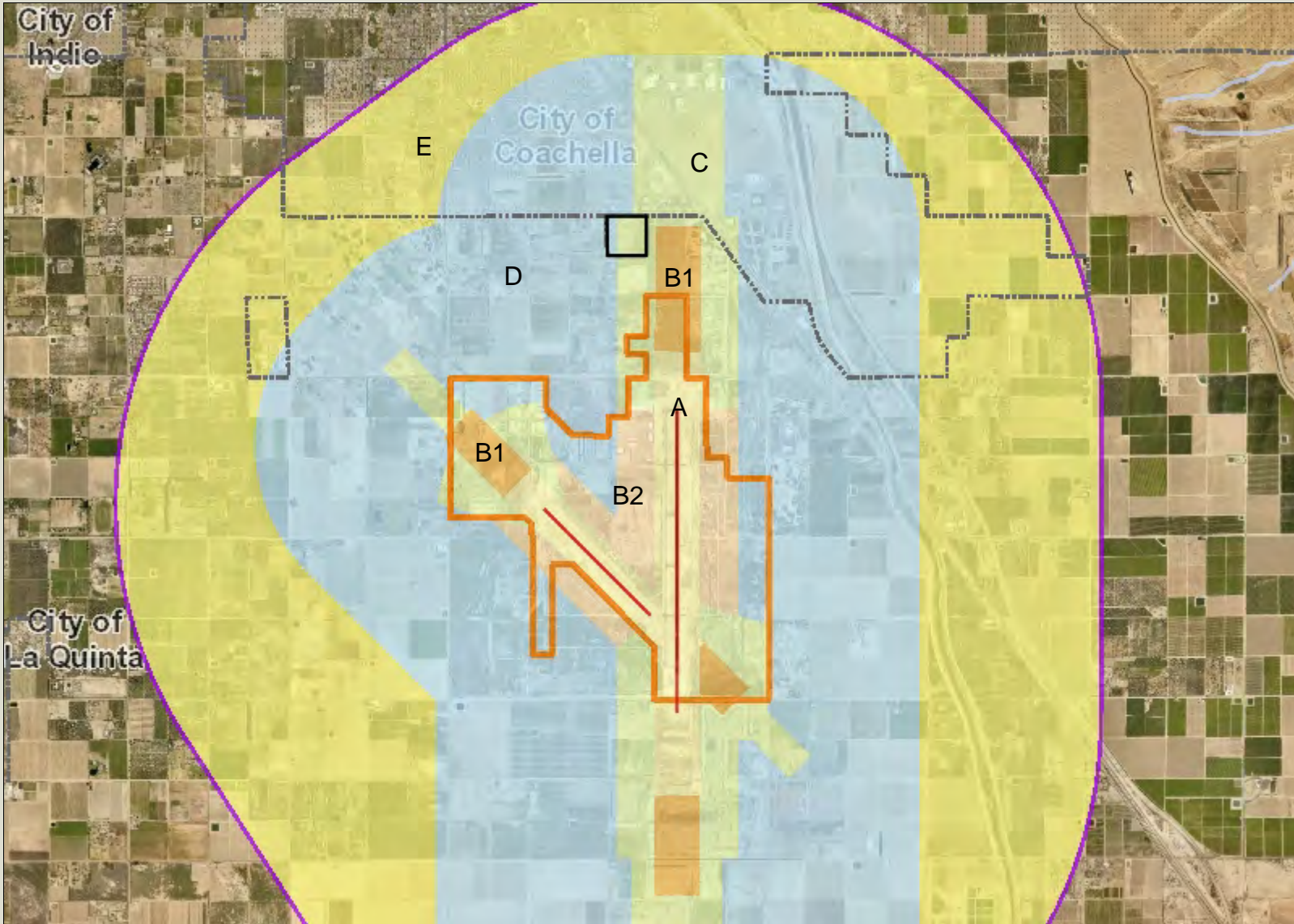
Map JC-1

**Compatibility Map**  
**Jacquellne Cochran Regional Airport**





# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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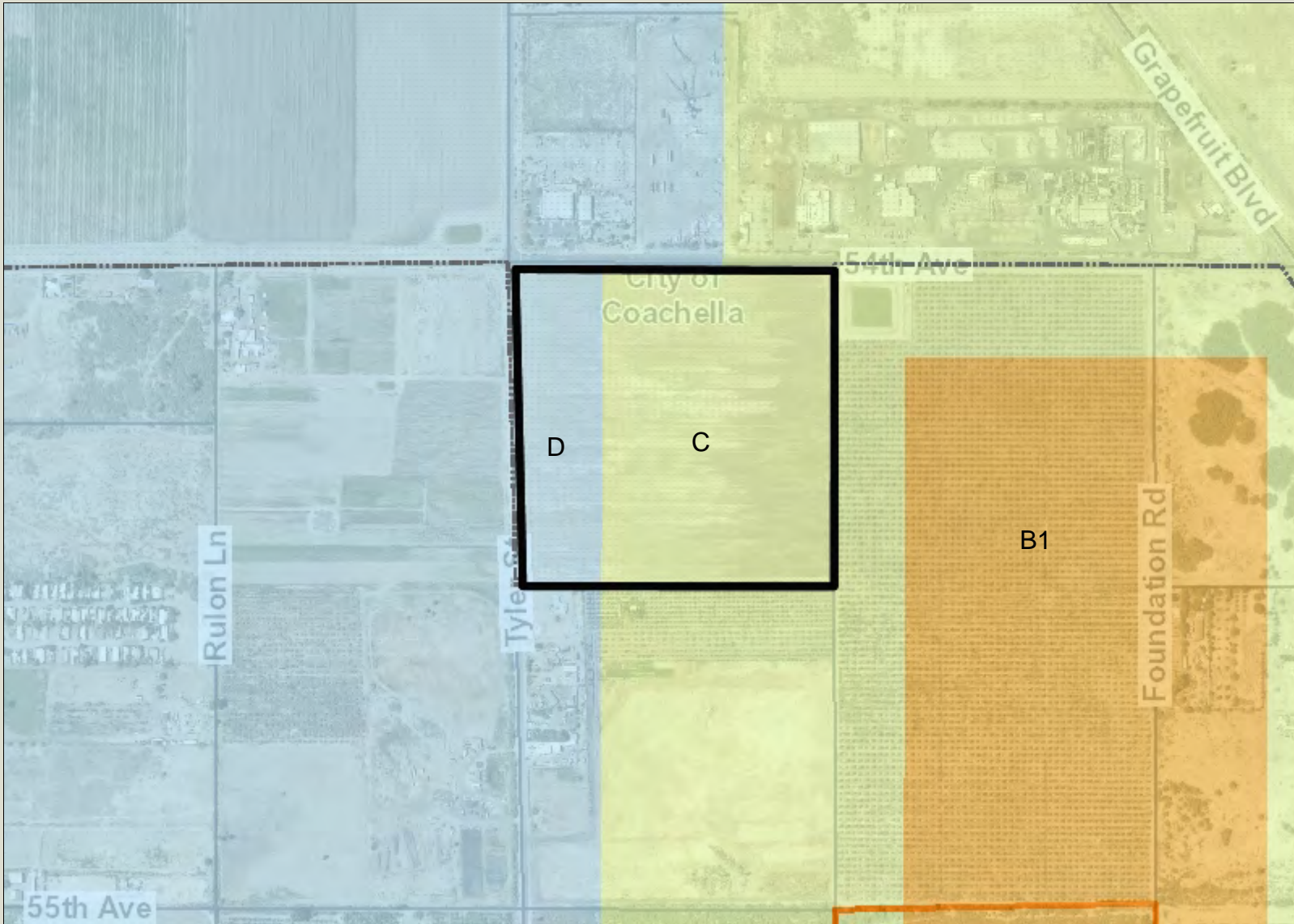
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## Notes



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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## Notes

0 770 1,539 Feet

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# Map My County Map



- Legend**
- County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**

0 770 1,539 Feet

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# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes










# Map My County Map



## Legend

-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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0 770 1,539 Feet

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## Notes



# Map My County Map



## Legend

- Blue Line Streams
- City Areas
- World Street Map



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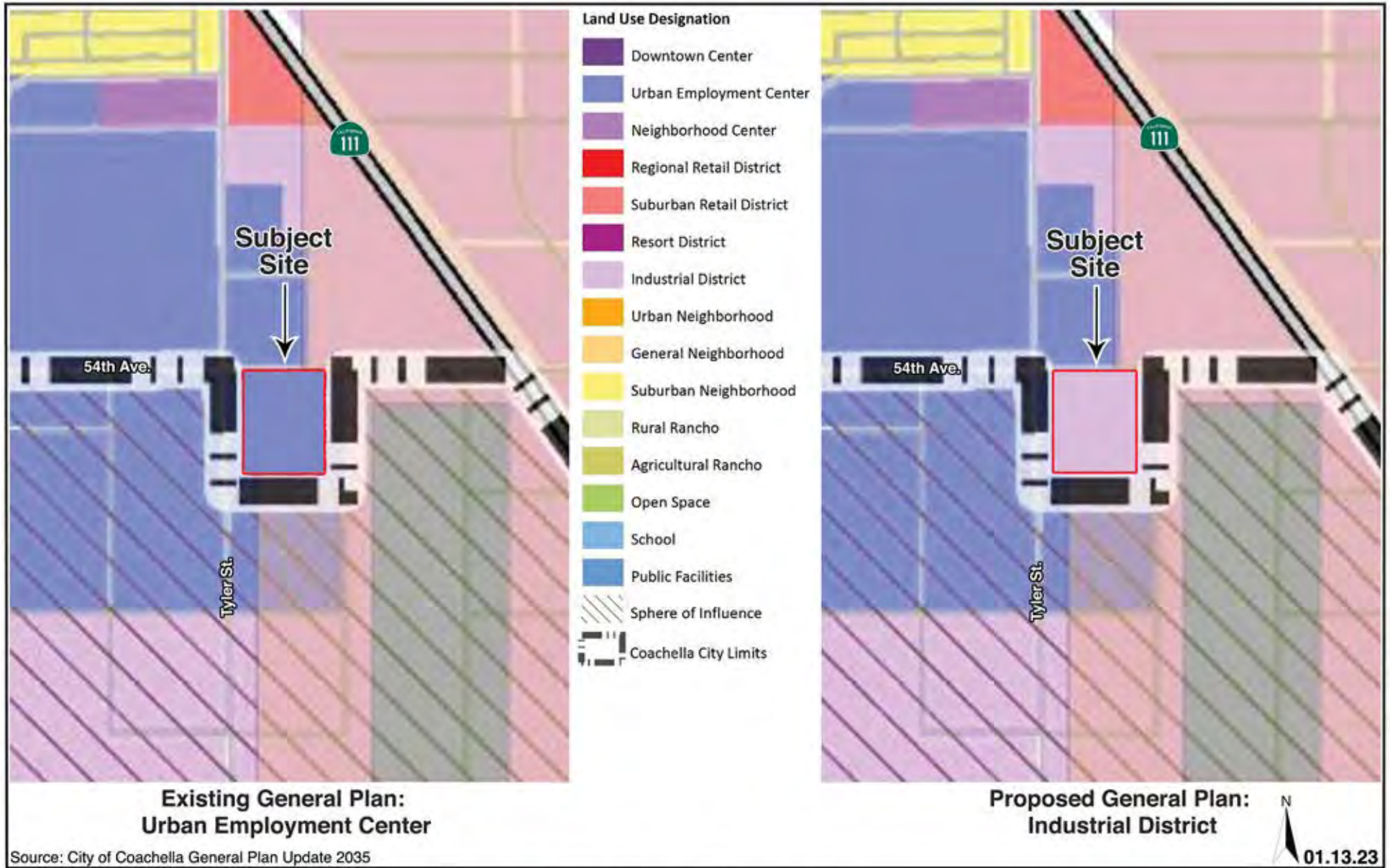


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## Notes







**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. **Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org).** The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact **ALUC Planner Jackie Vega at (951) 955-0982.**

The City of Coachella Planning Department should be contacted on non-ALUC issues. For more information, please contact City of Coachella Planner Adrian Moreno at (760) 398-3102.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [javega@rivco.org](mailto:javega@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California

**DATE OF HEARING:** April 13, 2023

**TIME OF HEARING:** 9:30 A.M.

**CASE DESCRIPTION:**

ZAP1074TH23 – Santa Rosa Business Park, LLC (Representative: Terra Nova Planning & Research) City of Coachella Case No. GPA23-01 (General Plan Amendment). A proposal to amend the General Plan land use designation on 38.80 acres from Urban Employment Center to Industrial District, located on the southeast corner of 54<sup>th</sup> street and Tyler Street. No development is proposed at this time (Airport Compatibility Zones C and D of the Jacqueline Cochran Regional Airport Influence Area).





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

### ALUC STAFF ONLY

ALUC Case Number: \_\_\_\_\_

Date Submitted: \_\_\_\_\_

AIA: \_\_\_\_\_

Zone: \_\_\_\_\_

Public Hearing \_\_\_\_\_

Staff Review \_\_\_\_\_

### Applicant

Applicant

Full Name: \_\_\_\_\_

Applicant Address: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### Representative/ Property Owner Contact Information

Representative: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Property Owner: \_\_\_\_\_ Email: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

### Local Jurisdiction Agency

Agency Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Staff Contact: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_ : \_\_\_\_\_ :

Local Agency Case No.: \_\_\_\_\_

### Project Location

Street Address: \_\_\_\_\_ Gross Parcel Size.: \_\_\_\_\_

Assessor's Parcel No.: \_\_\_\_\_

### Solar

Is the project proposing solar Panels? Yes

No

If yes, please provide solar glare study.  
(only if in Zone C or higher)



## Data

Site Elevation:(above  
mean sea level) \_\_\_\_\_

Height of Building or  
structures: \_\_\_\_\_

What type of drainage basins are  
being proposed and the square  
footage: \_\_\_\_\_

## Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for “staff level review” is approximately 30 days from date of submittal. Estimated time for “commission level review” is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### **C. SUBMISSION PACKAGE:**

#### **Please submit all application items DIGITALLY via USB or CD:**

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of existing and proposed use

#### **Additionally, please provide:**

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing).



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

**AGENDA ITEM:** 3.5

**HEARING DATE:** April 13, 2023

**CASE NUMBER:** ZAP1090BD23 – HRI Development (Representative: Hamo Rostamian)

**APPROVING JURISDICTION:** County of Riverside

**JURISDICTION CASE NO:** GPA210003 (General Plan Amendment), CZ210010 (Change of Zone), PPT210015 (Plot Plan), TPM38113 (Parcel Map)

**LAND USE PLAN:** 2004 Bermuda Dunes Airport Land Use Compatibility Plan

Airport Influence Area: Bermuda Dunes Airport

Land Use Policy: Compatibility Zone E

Noise Levels: Below 60 CNEL from aircraft

**MAJOR ISSUES:** None

**RECOMMENDATION:** Staff recommends that the Commission find the General Plan Amendment and Change of Zone CONSISTENT, with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan and find the Plot Plan and Tentative Map CONSISTENT, subject to the conditions included herein.

**PROJECT DESCRIPTION:** A proposal to construct a 9,900 square foot day care center for children with a 12,500 square foot outdoor playground on 2.44 acres. The applicant also proposes to amend the site's land use designation from High Density Residential and Medium Density Residential to Mixed-Use and change the site's zoning from General Residential (R-3-2000) and One-Family Dwellings (R-1-12000) to Mixed Use (MU). The applicant also proposes to divide the site into two parcels.

**PROJECT LOCATION:** The site is located at 42500 Washington Street, northerly of Hidden River Road and southerly of 42<sup>nd</sup> Avenue, approximately 7,000 feet westerly of Runway 10-28 at Bermuda Dunes Airport.

### BACKGROUND:

Non-Residential Intensity: Pursuant to the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, the project site is located within Compatibility Zone E, which does not restrict non-residential intensity.



Prohibited and Discouraged Uses: The applicant does not propose any uses specifically prohibited or discouraged in Compatibility Zone E of the Bermuda Dunes Airport Influence Area.

Noise: The site is located below the 60 CNEL contour range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 10-28 at its westerly terminus is approximately 73 feet above mean sea level (AMSL). At a distance of approximately 7,000 feet from the runway, FAA review would be required for any structures with top of roof exceeding 143 feet AMSL. The project's site elevation is 132 feet AMSL, and the maximum height of the existing building is 32 feet, for a maximum top point elevation of 164 feet AMSL. Therefore, review of the buildings for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) was required. The applicant has submitted Form 7460-1, and FAA OES has assigned Aeronautical Study No. 2023-AWP-4734-OE to this project and issued their Determination of No Hazard letter dated March 9, 2023 indicating that the project would not be an impact to air navigation.

Hazards to Flight: Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33C).

Although the nearest portion of the proposed project is located within 10,000 feet of the runway (approximately 7,000 feet), the project utilizes underground detention systems which will not contain surface water or attract wildlife and, therefore, would not constitute a hazard to flight.

General Plan Amendment / Change of Zone: The applicant also proposes to amend the site' land use designation from High Density Residential and Medium Density Residential to Mixed-Use and change the site's zoning from General Residential (R-3-2000), and One-Family Dwellings (R-1-12000) to Mixed Use (MU). The proposed amendments would be as, or more, consistent with the Compatibility Plan as the underlying compatibility zone does not restrict intensity.

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
  - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.



- (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.
- Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.
- A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.
5. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study No. 2023-AWP-4734-OE) and has determined



that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.

6. The proposed building shall not exceed a height of 32 feet above ground level and a maximum elevation at top point of 164 feet above mean sea level.
7. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
8. Temporary construction equipment used during actual construction of the structure(s) shall not exceed 32 feet in height and a maximum elevation of 164 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
9. Within five (5) days after construction of the proposed building reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES



**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2023-AWP-4734-OE

Issued Date: 03/09/2023

Ruben Mamann / Bryant Matute  
 HI Bermuda Dunes LLC.  
 225 Bella Vista Avenue  
 Pasadena, CA 91107

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building The Learning Experience  
 Location: Bermuda Dunes, CA  
 Latitude: 33-44-25.38N NAD 83  
 Longitude: 116-18-11.51W  
 Heights: 132 feet site elevation (SE)  
 32 feet above ground level (AGL)  
 164 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/ lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 09/09/2024 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.



NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (206) 231-2877, or [Nicholas.Sanders@faa.gov](mailto:Nicholas.Sanders@faa.gov). On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AWP-4734-OE.

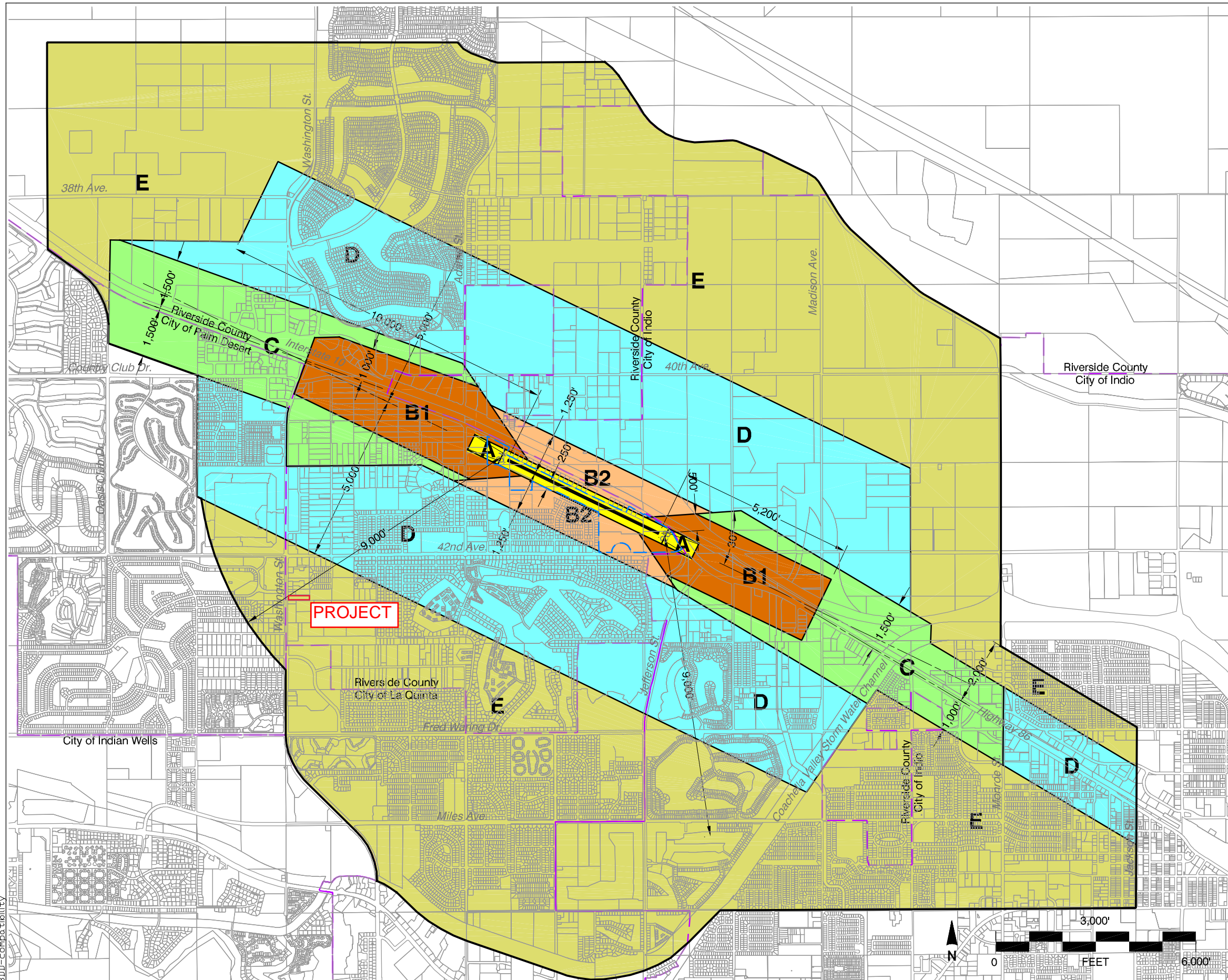
**Signature Control No: 574973231-575734891**

Nicholas Sanders

Technician

( DNE )





**Legend**

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line
- City Limits

**Note**

Southwestern edge of Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
*(Adopted December 2004)*

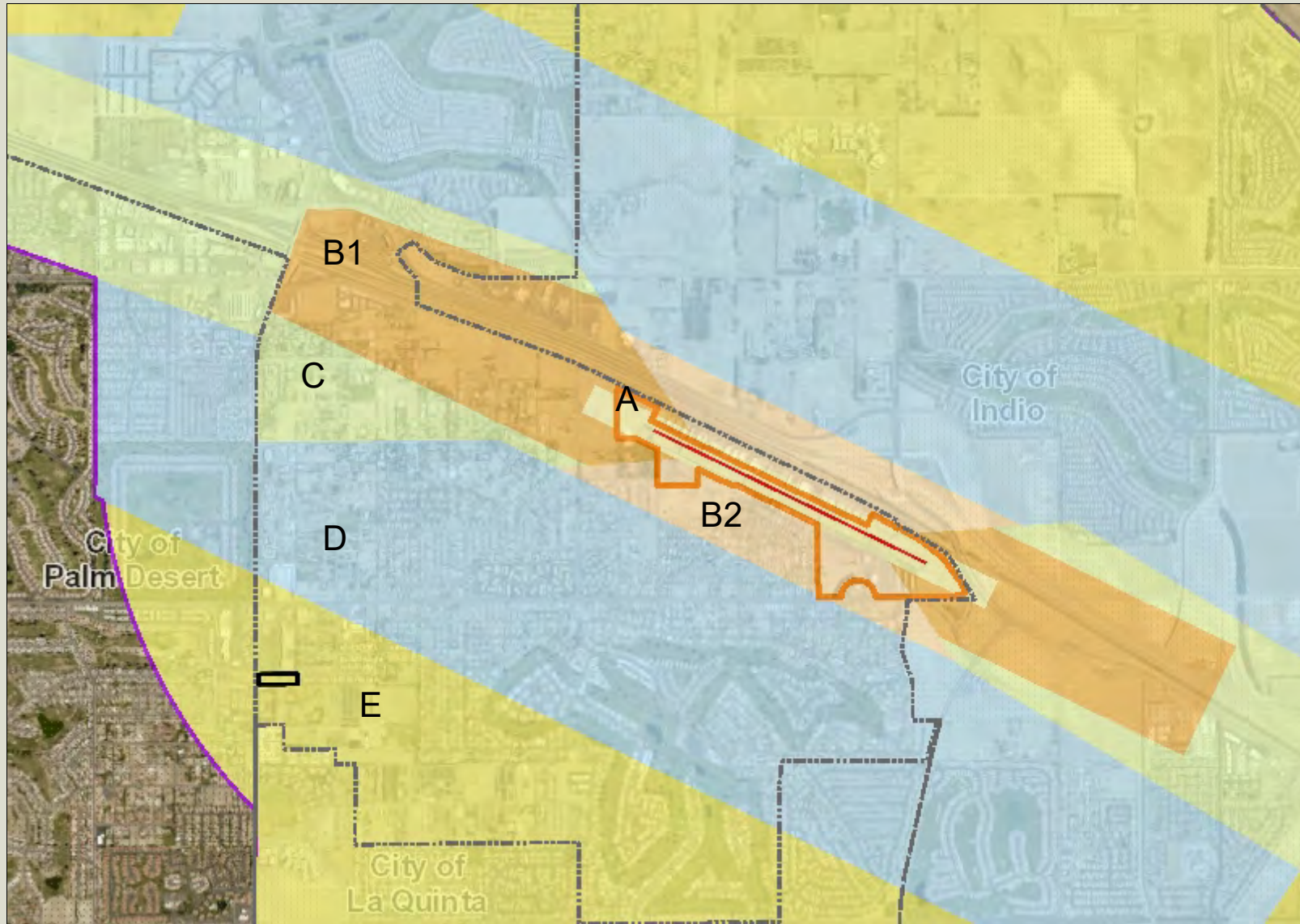
Map BD-1

**Compatibility Map**  
**Bermuda Dunes Airport**

BDD-compatibility



# Map My County Map



## Legend

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- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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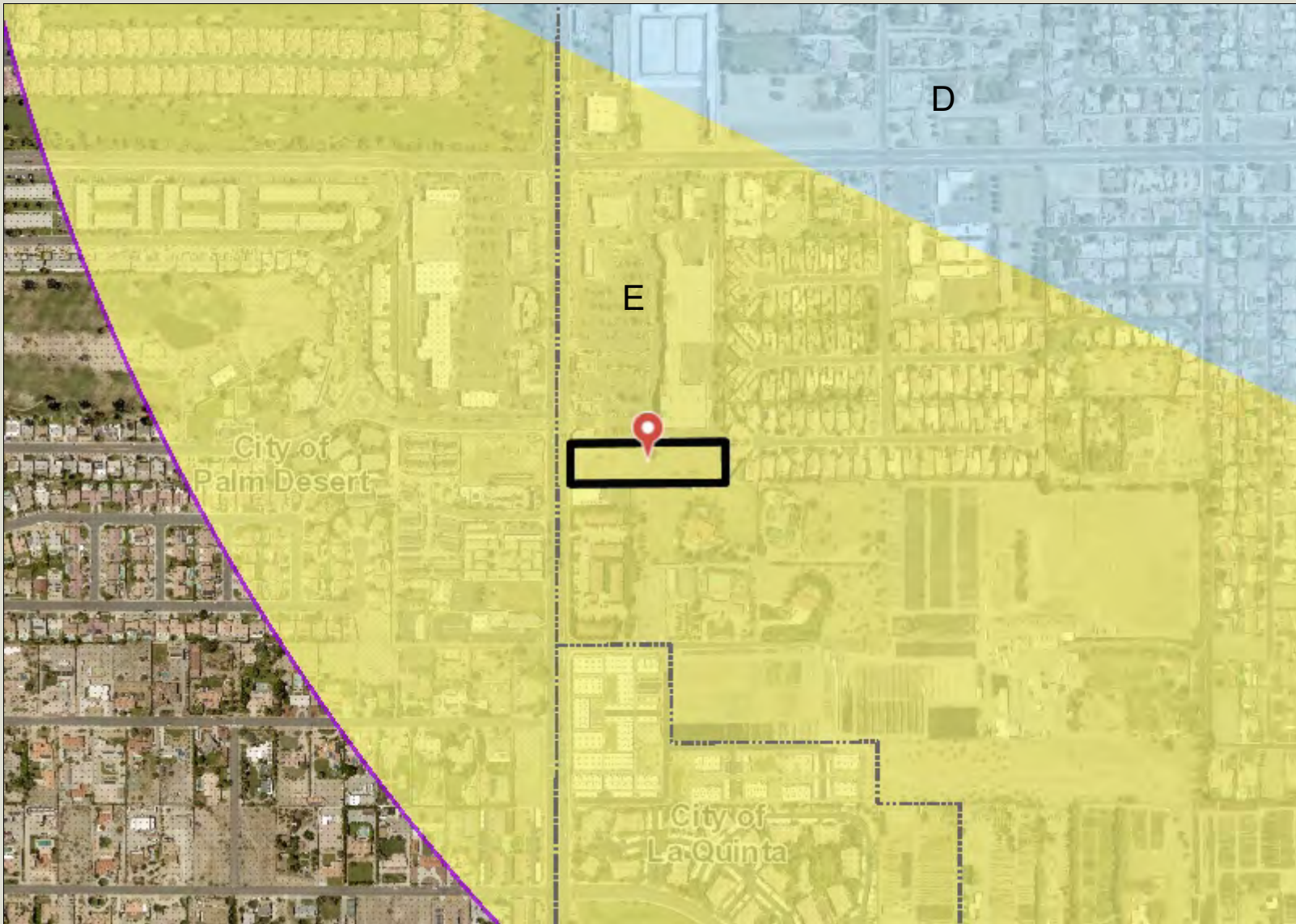
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## Notes



# Map My County Map



## Legend

- Runways
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- Airport Compatibility Zones**
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- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
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## Notes



# Map My County Map



- Legend**
- Blueline Streams
  - City Areas
  - World Street Map



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0 770 1,539 Feet

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# Map My County Map



## Legend

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- City Areas
- World Street Map



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



REPORT PRINTED ON... 3/2/2023 8:25:04 AM

© Riverside County GIS

## Notes



# Map My County Map



- Legend**
- County Centerline Names
  - Blueline Streams
  - City Areas
  - World Street Map



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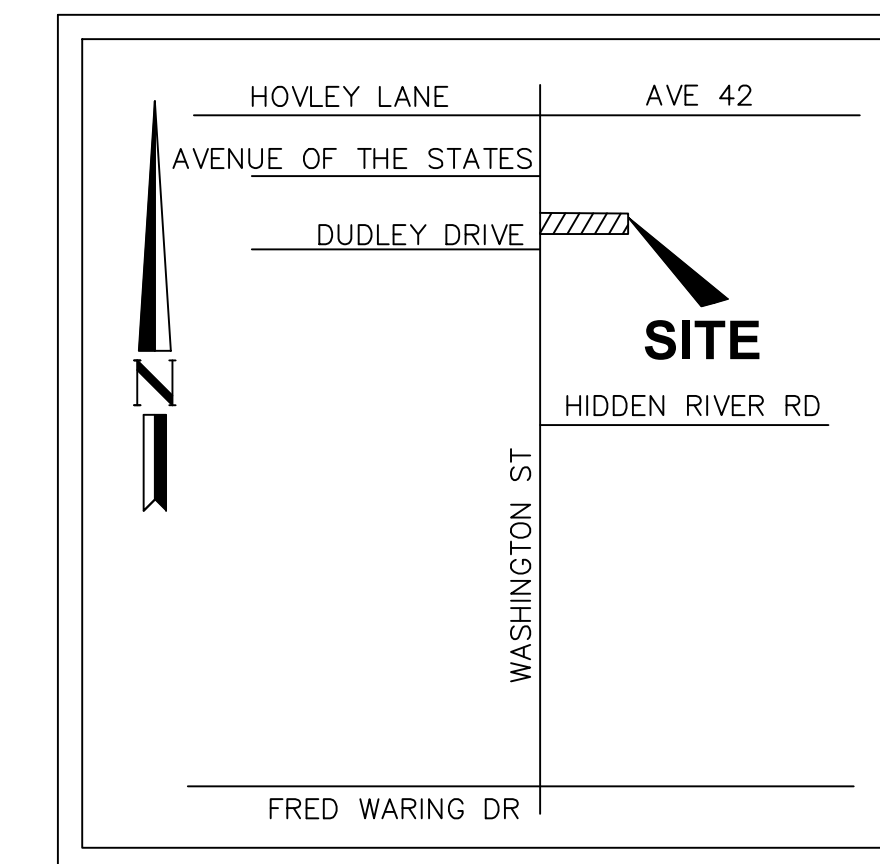
**Notes**





# THE LEARNING EXPERIENCE

PLOT PLAN NO. 210015  
COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



**VICINITY MAP**  
NOT TO SCALE

## PROJECT SUMMARY

### GOVERNING CODE

2023 CALIFORNIA BUILDING CODE (CBC)  
2023 CALIFORNIA FIRE CODE (CFC)  
2023 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)  
2017 COUNTY OF RIVERSIDE DEVELOPMENT CODE

### AREA-GROSS

106,254.54 SQUARE FEET OR 2.44 ACRES± GROSS AND NET

### PROPOSED PARCEL AREAS

PARCEL 1 - 41,817 SF - 0.96 AC  
PARCEL 2 - 64,437 SF - 1.48 AC

### ZONING

EXISTING: R-3-2000(GENERAL RESIDENTIAL) & R-1-2000 (ONE-FAMILY DWELLING)  
PROPOSED: MU (MIXED USE)  
GENERAL PLAN: FROM COMMUNITY DEVELOPMENT: HIGH DENSITY RESIDENTIAL AND COMMUNITY DEVELOPMENT: MEDIUM DENSITY RESIDENTIAL TO COMMUNITY DEVELOPMENT: MIXED-USE

### DATE PREPARED

REVISED OCTOBER, 2022

### ASSESSOR'S PARCEL NUMBERS

609-020-024-3

### BUILDING

BUILDING DATA (CBC TABLE 504.3, 504.4 AND 506.2)

THE LEARNING EXPERIENCE	OCCUPANCY CLASSIFICATION	CONSTRUCTION TYPE	PROP. BLDG AREA (SF)	FIRE SPRINKLERS	ALLOWABLE HEIGHT	PROP. BLDG HEIGHT (FT)
	I-4	VB	9990 SF	NFPA-13	75'	31'-7"

## PROJECT SCOPE:

A REQUEST FOR GENERAL PLAN AMENDMENT NO. 210003, CHANGE OF ZONE NO. 2100010, TENTATIVE PARCEL MAP NO. 38113 AND PLOT PLAN NO. 210015 TO ALLOW FOR CHANGE OF GENERAL PLAN LAND USE FROM COMMUNITY DEVELOPMENT: HIGH DENSITY RESIDENTIAL AND COMMUNITY DEVELOPMENT: MEDIUM DENSITY RESIDENTIAL TO COMMUNITY DEVELOPMENT: MIXED-USE, CHANGE OF ZONE FROM R-1-12000 AND R-3-2000 TO MU, THE SUBDIVISION OF ONE LOT INTO TWO LOT, AND THE CONSTRUCTION OF NEW, SINGLE-STORY DAYCARE CENTER FOR CHILDREN.

### PROPOSED EASEMENT NOTE:

EASEMENT SHALL BE PLACED OVER ALL VEHICULAR ACCESS WAYS FOR EMERGENCY EGRESS AND INGRESS PURPOSES AND FOR SEWER AND GENERAL UTILITY PURPOSES.

## PARKING CALCULATIONS

THE LEARNING EXPERIENCE	CODE	REQUIRED STALLS	PROVIDED STALLS	ADA REQUIRED	EV REQUIRED
	1 SPACE PER 500 SF	20	35	(1) 3 PROVIDED	1

## LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 3 OF PARCEL MAP NO. 6810, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 35, PAGE 100 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT ALL OIL, GAS, AND OTHER MINERAL DEPOSITS, TOGETHER WITH THE RIGHT TO PROSPECT FOR, MINE, AND REMOVE SAME, RESERVED PURSUANT TO THE PROVISION OF AN ACT APPROVED JUNE 01, 1938 (52 STAT. 609) IN THE PATENT FROM THE UNITED STATES OF AMERICA RECORDED FEBRUARY 13, 1953 IN BOOK 1441, PAGE 129 OF OFFICIAL RECORDS.

## UTILITY PURVEYORS:

WATER AND SEWER: COACHELLA VALLEY WATER DISTRICT 760-398-2651

GAS: SOUTHERN CALIFORNIA GAS COMPANY 800-427-2200

ELECTRIC: SOUTHERN CALIFORNIA EDISON 800-655-4555

WASTE: BURRTEC WASTE INDUSTRIES 760-340-2113

TV/INTERNET/VOICE:

SPECTRUM - 844-805-3559  
DIRECTV - 855-297-8595  
AT&T - 800-288-2020

## SCHOOL DISTRICT:

DESERT SANDS UNIFIED SCHOOL DISTRICT - 760-777-4200

## ACCESSIBLE PATH NOTE:

PATH OF TRAVEL AS SHOWN IS PROPOSED ON PCC SURFACE, ALL SLOPES IN DIRECTION OF TRAVEL DOES NOT EXCEED 3%, ALL CROSS FALL IS 1.5% MAX.

## PARKING NOTE:

ALL PARKING SPACES SHOWN HEREON SHALL HAVE PCC PARKING BUMPER/WHEEL STOPS INSTALLED

### OWNER

HI BERMUDA DUNES, LLC  
20 NORTH RAYMOND AVE, STE 300  
PASADENA, CA 91103  
PHONE: (626) 774-7700

### ARCHITECT

JEROME LESLIE EBEN  
FAA  
26 WALKER ROAD  
WEST ORANGE, NEW JERSEY 07052  
PHONE: (973) 902-4900

### DESIGN CONSULTANT

JARMEL KIZEL  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
PHONE: (973) 994-9669

### CIVIL ENGINEER

KES TECHNOLOGIES INC.  
1 VENTURE STE 130  
IRVINE, CA 92618  
PHONE: (949) 339-5331

### GEOTECHNICAL ENGINEER

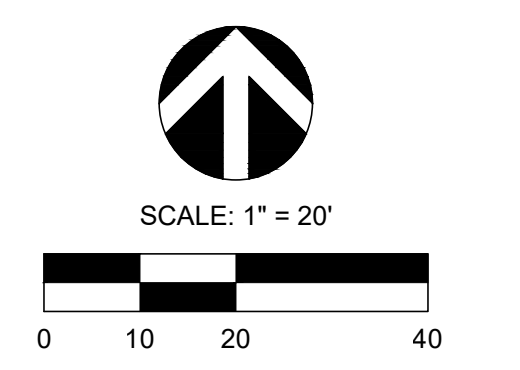
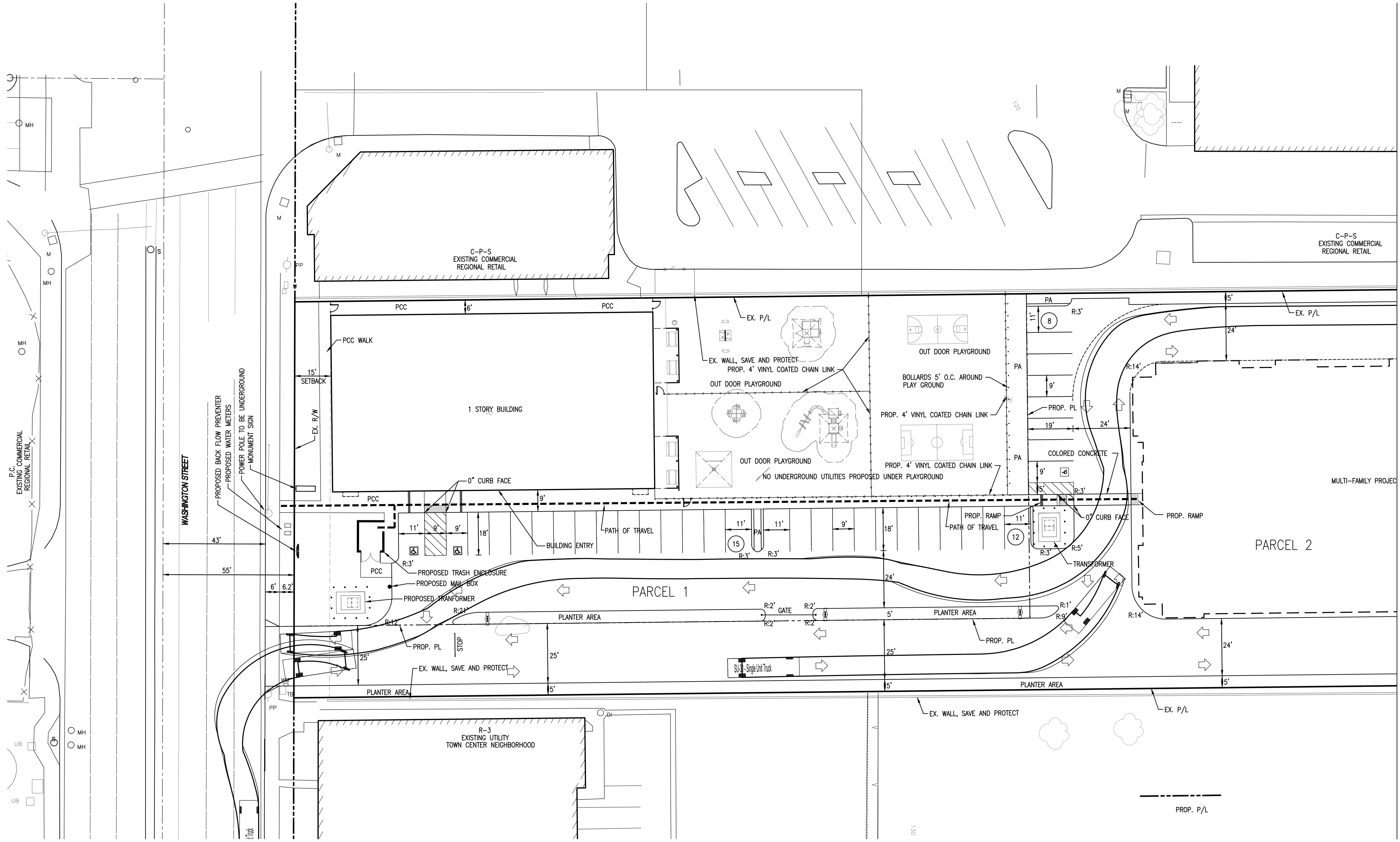
KRAZAN & ASSOCIATES INC.  
1100 OLYMPIC DRIVE STE 100  
CORONA, CA 92881  
PHONE: (951) 273-1011

### SHEET INDEX:

SHEET 1: TITLE SHEET  
SHEET 2: TECHNICAL SITE PLAN  
SHEET 3: TECHNICAL SITE PLAN  
SHEET 4: TLE SPACE PLAN  
SHEET 5: TLE ELEVATIONS

REVISIONS						OWNER OR DEVELOPER :	PREPARED BY :		<b>TECHNICAL SITE PLAN</b> <b>TITLE SHEET</b>	SHEET 1 OF 5
NO	DATE	INITIAL	DESCRIPTION	APP	DATE					
						HI BERMUDA DUNES, LLC 20 NORTH RAYMOND AVE, STE 300 PASADENA, CA 91103 PHONE: (626) 774-7700	<b>KES TECHNOLOGIES INC</b> CIVIL ENGINEERING LAND PLANNING AND SURVEYING 1 VENTURE STE 130 IRVINE, CALIFORNIA 92618 PHONE (949) 339-5330	SCALE: AS SHOWN    DRAWN BY: DSK    CHECKED BY: AM	<b>COUNTY OF RIVERSIDE</b>	



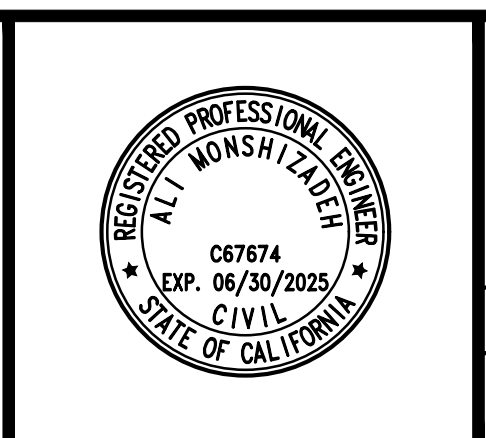


REVISIONS					
NO	DATE	INITIAL	DESCRIPTION	APP	DATE

OWNER OR DEVELOPER :  
 HI BERMUDA DUNES, LLC  
 20 NORTH RAYMOND AVE, STE 300  
 PASADENA, CA 91103  
 PHONE: (626) 774-7700

SOILS ENGINEER :  
 KRAZAN & ASSOCIATES INC.  
 1100 OLYMPIC DRIVE STE 100  
 CORONA CA 92881  
 PHONE: (951) 273-1011

PREPARED BY :  
**KES TECHNOLOGIES INC**  
 CIVIL ENGINEERING  
 LAND PLANNING AND SURVEYING  
 1 VENTURE STE 130  
 IRVINE, CALIFORNIA 92618  
 PHONE (949) 339-5330



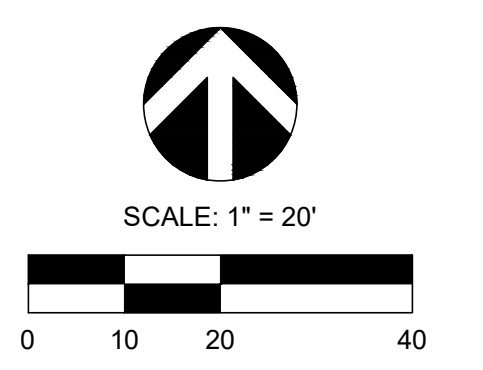
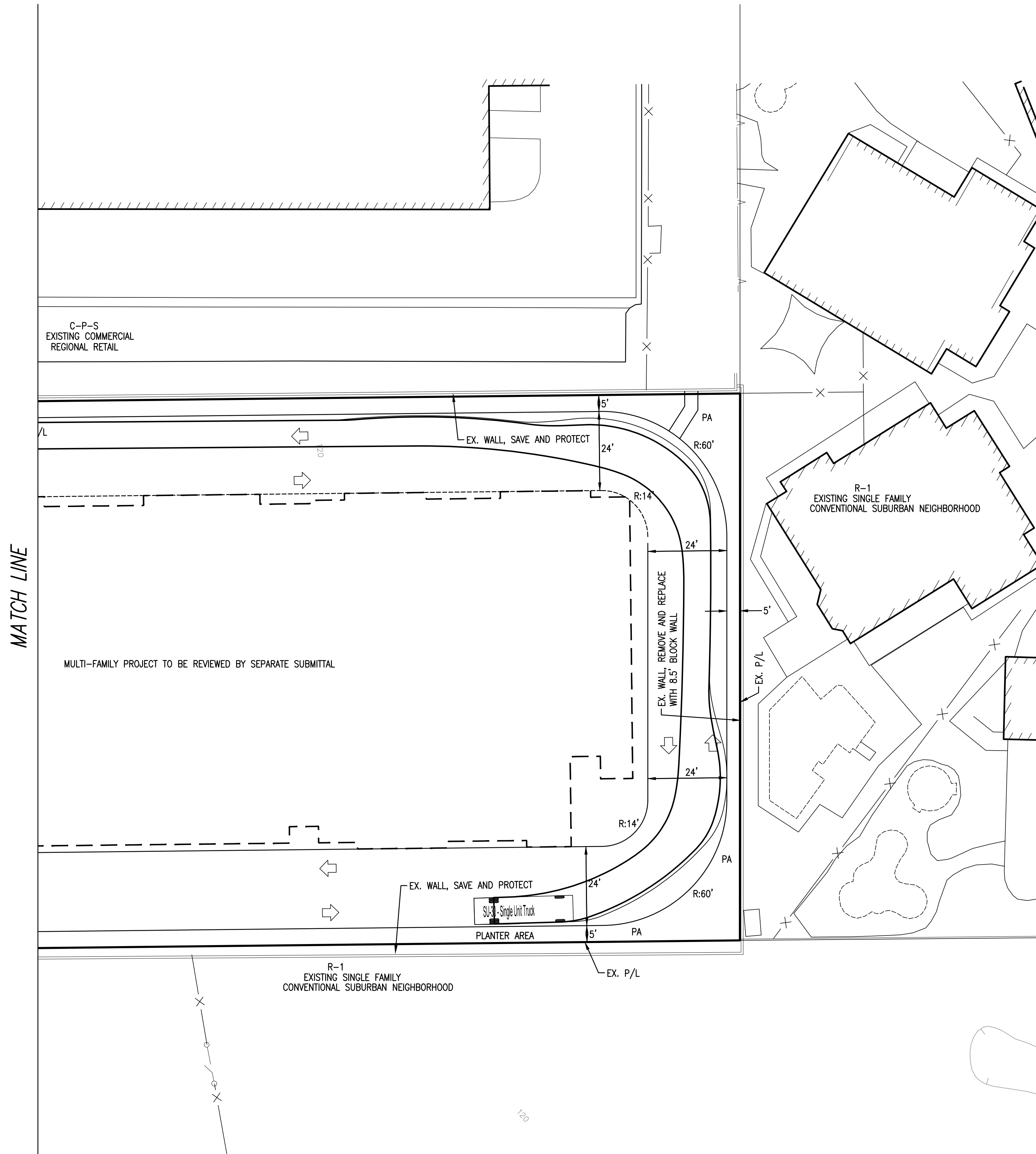
**TECHNICAL SITE PLAN**  
**TITLE SHEET**

SCALE: AS SHOWN    DRAWN BY: DSK    CHECKED BY: AM

**COUNTY OF RIVERSIDE**

SHEET 2 OF 5



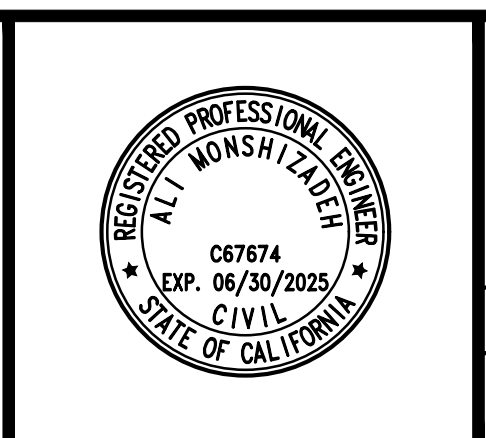


REVISIONS					
NO	DATE	INITIAL	DESCRIPTION	APP	DATE

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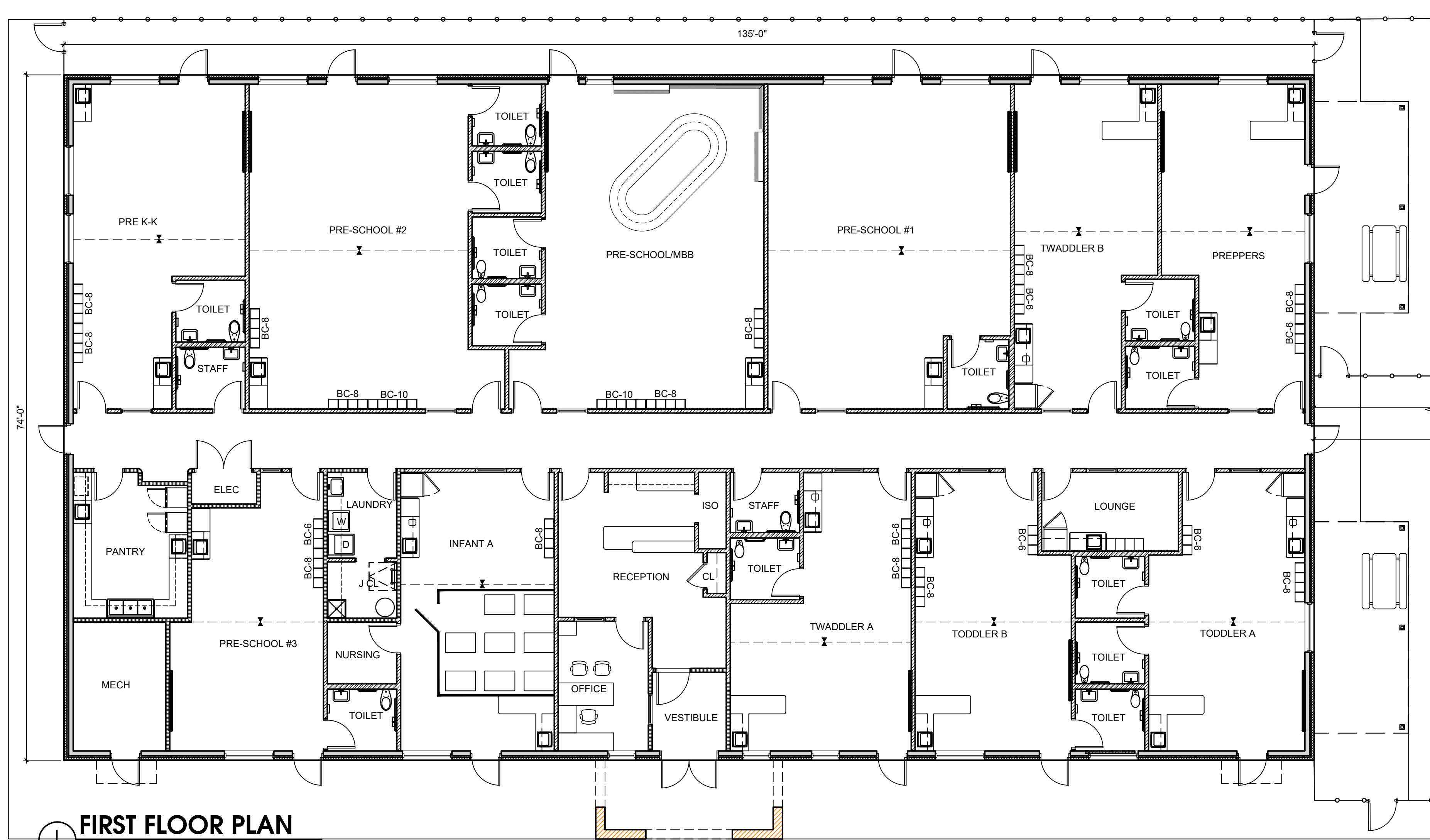
**TECHNICAL SITE PLAN  
 TITLE SHEET**

SCALE: AS SHOWN    DRAWN BY: DSK    CHECKED BY: AM

**COUNTY OF RIVERSIDE**

SHEET **3** OF 5

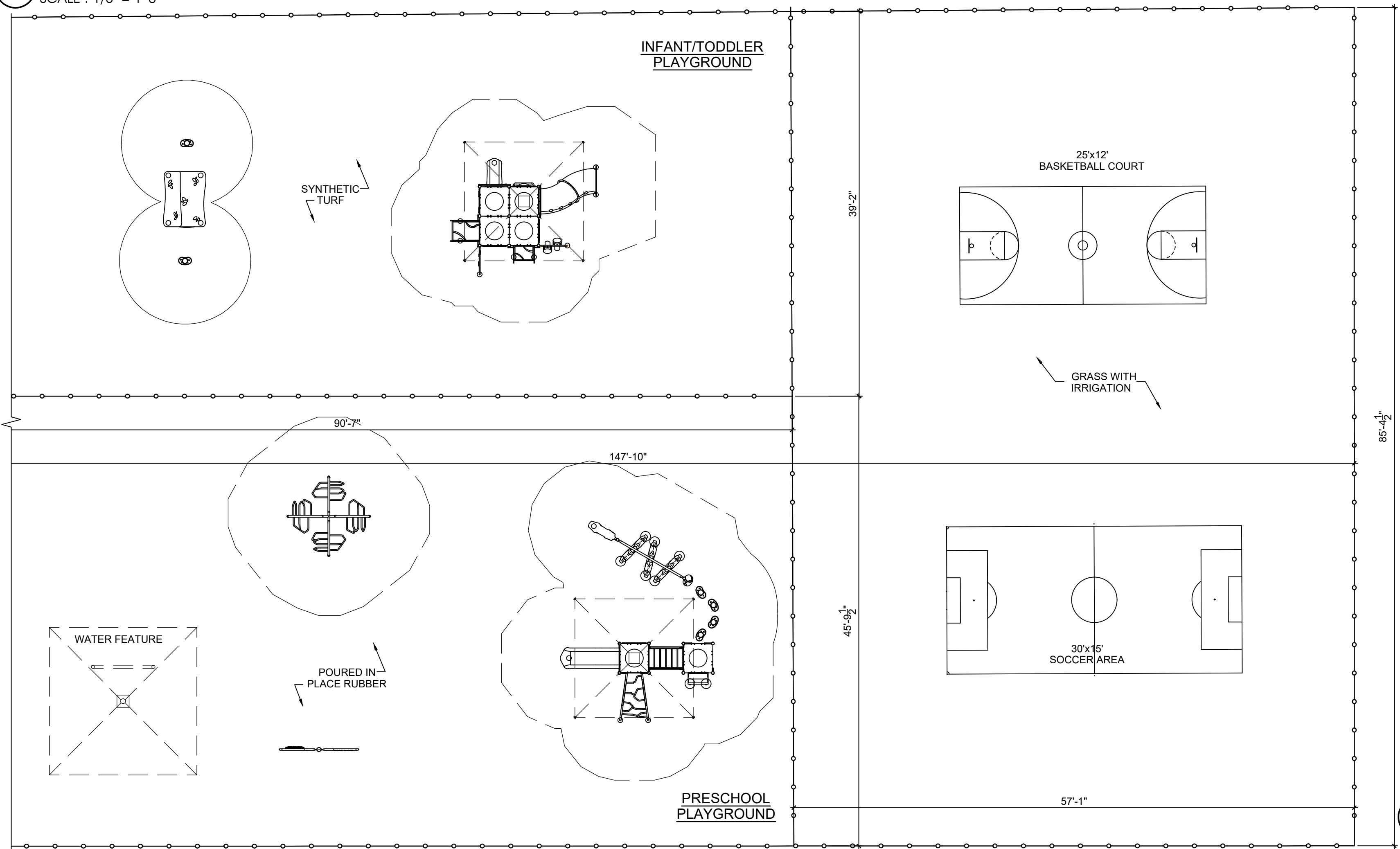




**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**PICNIC PAD AWNINGS-SAMPLE PHOTO**  
SCALE: 1/8" = 1'-0"



**PLAYGROUND PLAN**  
SCALE: 1/8" = 1'-0"

**LICENSING CALCULATIONS**  
The Learning Experience, Bermuda Dunes, California

ROOM	STATE REQUIRED S.F. (35 S.F. PER CHILD)	NET* S.F.	ACTUAL S.F.	RATIO CHILD PER S.F.	# OF CHILDREN	# OF TEACHERS	TEACHER RATIO	AGE GROUP	
INFANT	440	444	498	1/55	8	2	1/4	6 WK-18 MO.	
TODDLER A	420	421	475	1/35	12	2	1/6	18-24 MO.	
TODDLER B	420	421	475	1/35	12	2	1/6	18-24 MO.	
TWADDLER A	420	421	475	1/35	12	2	1/6	24-30 MO.	
TWADDLER B	420	432	486	1/35	12	2	1/6	24-30 MO.	
PREPPERS	420	437	485	1/35	12	2	1/6	30-36 MO.	
PRE-SCHOOL #1	840	847	859	1/35	24	2	1/12	3-5 YRS.	
PRE-SCHOOL #2	840	840	852	1/35	24	2	1/12	4-5 YRS.	
PRE-SCHOOL #3	420	424	436	1/35	12	1	1/12	3-5 YRS.	
PRE K-K	490	490	538	1/35	14	1	1/14	5-6 YRS.	
PRE-SCHOOL/MBB	840	840	852	1/35	24	2	VARIES	VARIES	
TOTALS	--	--	--	--	166	20	--	--	
						+2 ADMIN. STAFF			
						TOTAL	188		

\* CALCULATED LESS BUILT-IN ITEMS  
GROSS AREA 9,990 S.F.  
PLAY AREA 13,050 S.F.

**Jarmel Kizel**  
ARCHITECTS AND ENGINEERS INC.  
42 OKNER PARKWAY  
LIVINGSTON, NEW JERSEY 07039  
TEL: 973-994-9669  
FAX: 973-994-4069  
www.jarmelkizel.com  
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Interior Design  
Implementation Services

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**ACADEMY OF EARLY EDUCATION**  
 BERMDA DUNES, CALIFORNIA

**ISSUE**

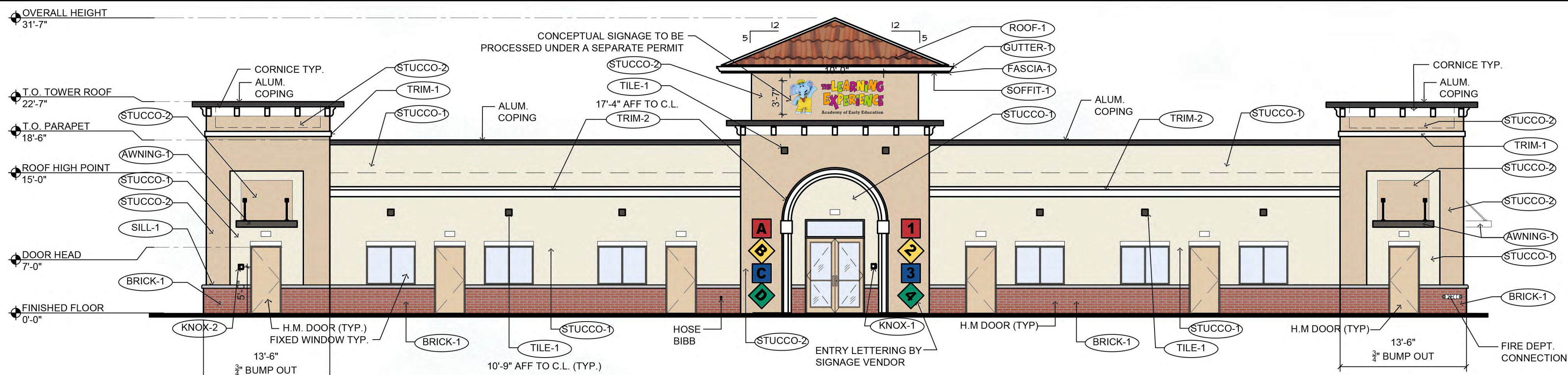
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**REVISION**

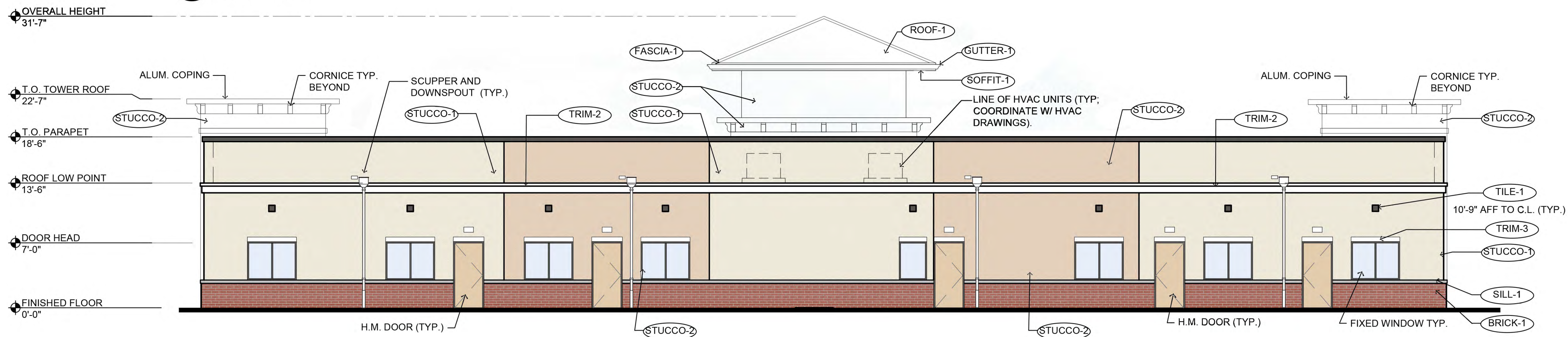
NO.	DATE	DESCRIPTION	INT.

Project Number: **TLECA20-223** Scale: **AS NOTED**  
 Drawn By: **CS** Approved By: **MBJ**  
 Drawing Name: **SPACE PLAN**  
 Drawing Number: **SA-1.1**

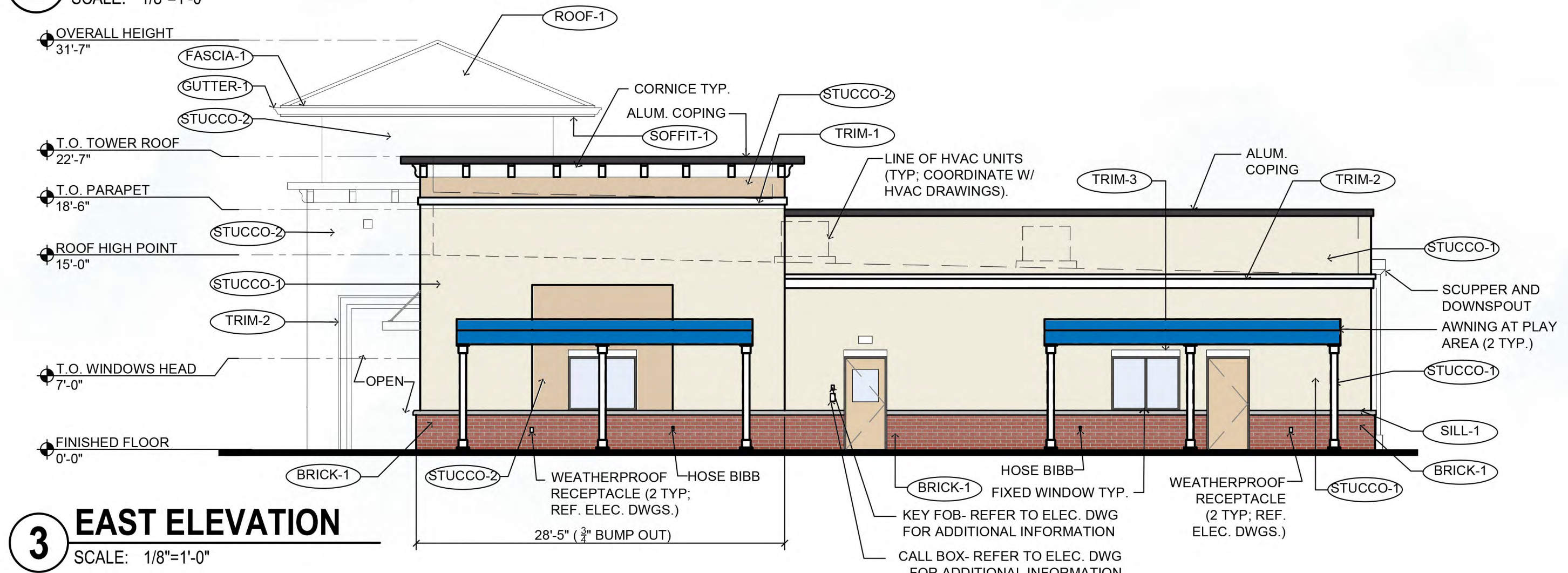




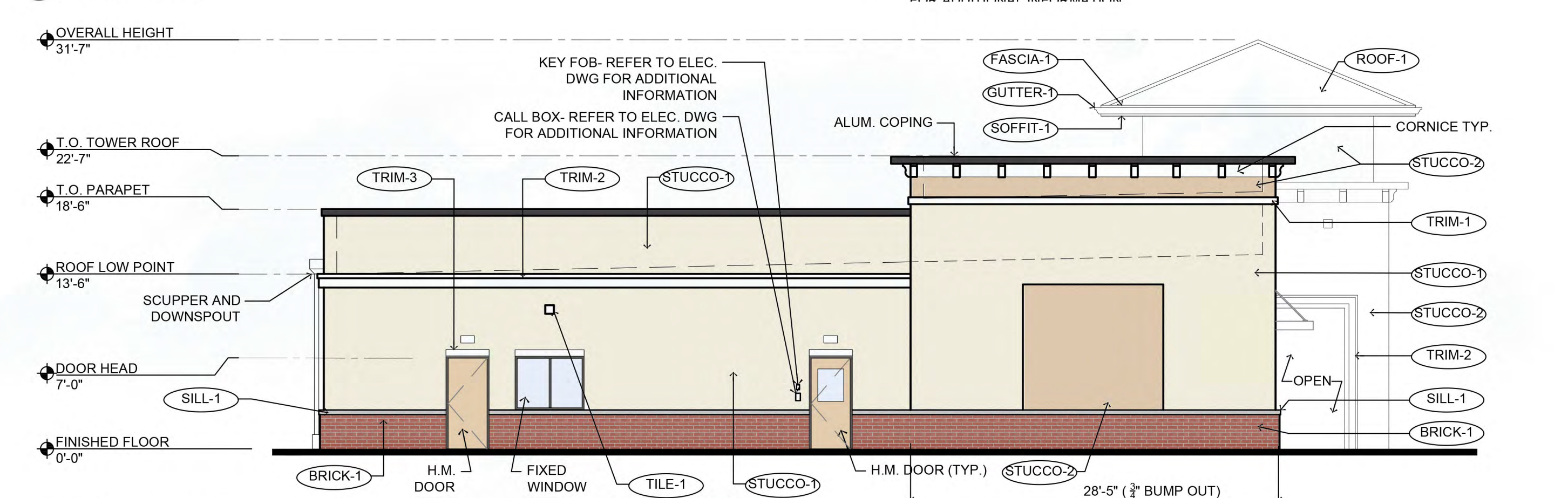
**1 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**2 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



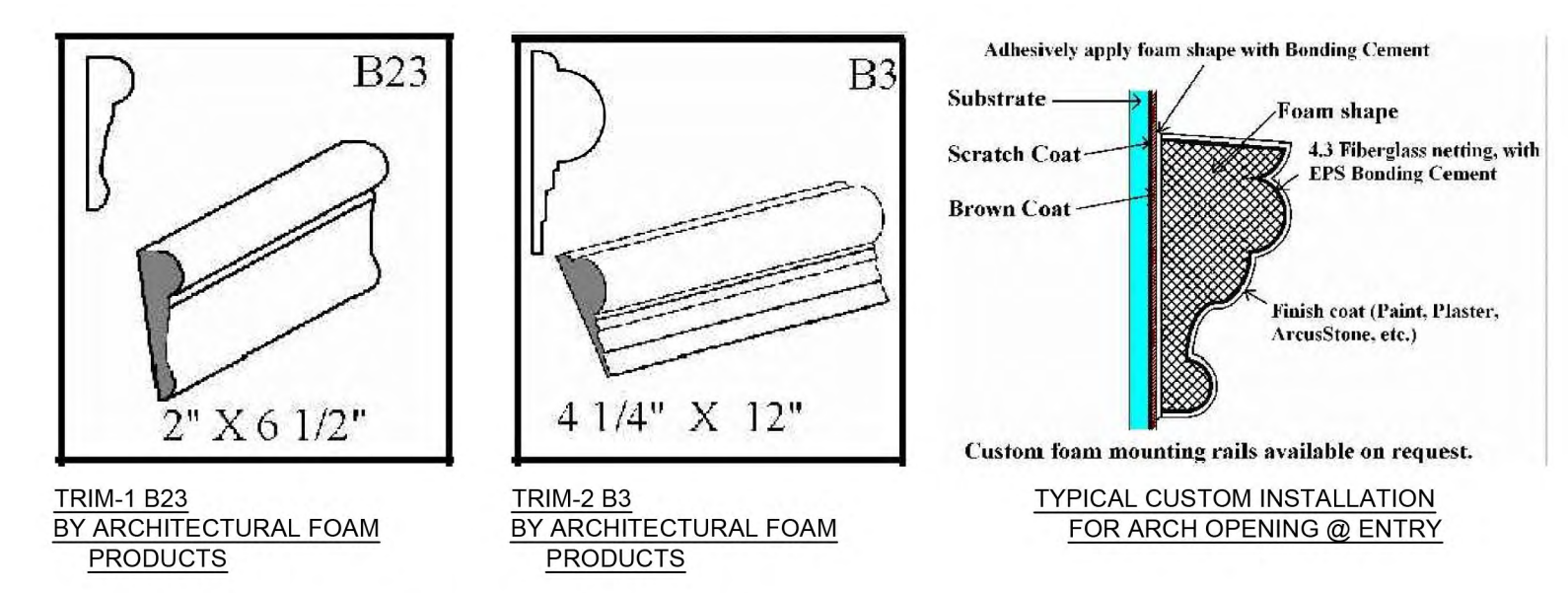
**3 EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**4 WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXTERIOR MATERIAL SCHEDULE			
LABEL	MANUFACTURER	SIZE / TYPE	FINISH / COLOR
STOREFRONT	KAWNEER OR APPROVED EQUAL	TRIFAB 451	DARK BRONZE
DOOR	-	PER DOOR SCHEDULE	FACTORY PRIMED FIELD PAINTED, DARK BRONZE FRAME, TRES NATURAL (SW9101) DOOR
FIXED WINDOW	PLY GEM	SILVER LINE V1 SERIES PER WINDOW SCHEDULE	EXTERIOR: DARK BRONZE INTERIOR: WHITE
BRICK-1	PACIFIC CLAY	MODULAR THIN BRICK	RED WIRECUT
SILL-1	MODERN PRECAST	3 3/4"x6"W W/ 2" FLAT W/ 1/4" DRIP EDGE	REGULAR (LIGHT GREY)
STUCCO-1	3-COAT	FIELD APPLIED / FIELD PAINTED- STUCCO FINISH	CLASSIC LIGHT BUFF (SW0050) REF. DETAIL 5/A-071
STUCCO-2	3-COAT	FIELD APPLIED / FIELD PAINTED- STUCCO FINISH	TRES NATURAL (SW9101) REF. DETAIL 5/A-071
TRIM-1	ARCHITECTURAL FOAM PRODUCT- BAND	EPS PLASTIC FOAM 2"x6 1/2" REF: DETAILS 5/A-051	PAINTED WHITE
TRIM-2	ARCHITECTURAL FOAM PRODUCT- BAND	EPS PLASTIC FOAM 4 1/4" X12" REF: DETAILS 5/A-051	PAINTED WHITE
TRIM-3 ( OVER ALL DOORS & WINDOWS)	ARCHITECTURAL FOAM PRODUCT- BAND	EPS PLASTIC FOAM FLAT STOCK 1" X6" (bullnosed ends on both sides)	PAINTED WHITE
GUTTER-1	-	6" ALUMINUM TYPE 'K' W/ LEAF SCREEN AND 6" LEADERS	MATCH FRIEZE BOARD
SOFFIT-1	ROYAL BUILDING PRODUCTS	COLORSCAPES TRIPLE 4 PERFORATED SOFFIT NOM. THICKNESS 0.042"	WHITE (REF. NOTE 2 BELOW)
FASCIA-1	PLASTICLAD	VINYL FRIEZE BOARD 5/4x10" (1"x9 1/4" NET)	WHITE (REF. NOTE 2 BELOW)
AWNING	HUDSON AWNINGS	CUSTOM ALUMINUM	DARK BRONZE
KNOX-1	KNOX BOX	3200 SERIES W/ RECESSED MOUNT FLANGE, HINGE DOOR, & TAMPER SWITCH	DARK BRONZE (REF. NOTE 2 BELOW)
ALUM. COPING	PAC-CLAD	CUSTOM	MIDNIGHT BRONZE
TILE -1	DALTILE	CERAMIC ACCENT TILE	COLOR: CITY ELM
ROOF -1	BORAL	STEEL STONE COATED BARREL VAULT TILE	COLOR: SUNSET GOLD

**FINISH SCHEDULE NOTES:**  
 1. G.C. SHALL VERIFY KNOX BOX MODEL(S) AND LOCATION(S) WITH AUTHORITY HAVING JURISDICTION PRIOR TO ORDERING AND INSTALLATION.  
 2. G.C. SHALL ENSURE ALL EXTERIOR FINISHES ARE INSTALLED AND FINISHED IN COMPLIANCE WITH MANUFACTURERS' WARRANTY REQUIREMENTS.  
 3. IF BLOCKS ARE NOT PERMITTED, COLUMNS MUST MATCH EXTERIOR FINISH OF THE BUILDING.



**5 TRIM-1 & 2 EPS BAND BY ARCHITECTURAL FOAM PRODUCTS**  
SCALE: N.A.

DESIGN CONSULTANT

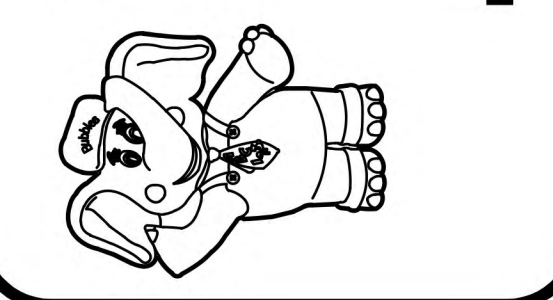


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ISSUE

NO.	DATE	DESCRIPTION	INT.

REVISION

NO.	DATE	DESCRIPTION	INT.

Project Number: TLECA20-223 Scale: AS NOTED

Drawn By: JDB Approved By: MBJ

Drawing Name: SCHEMATIC ELEVATIONS

Drawing Number: SA-1.2

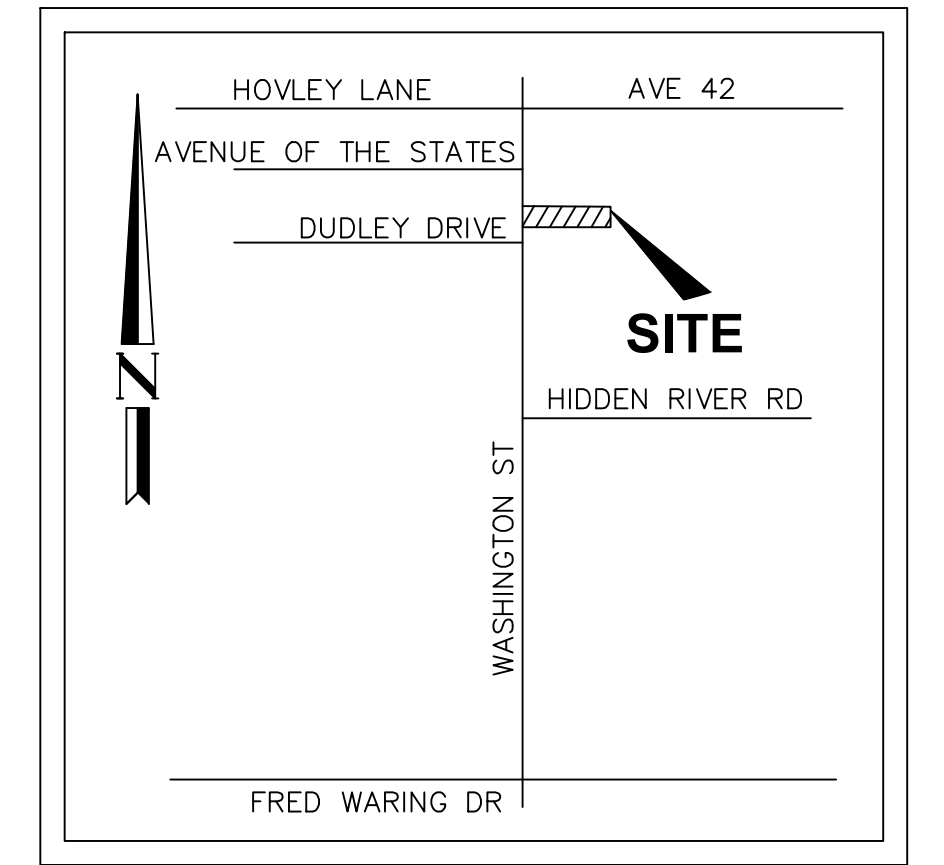


# TENTATIVE PARCEL MAP 38113

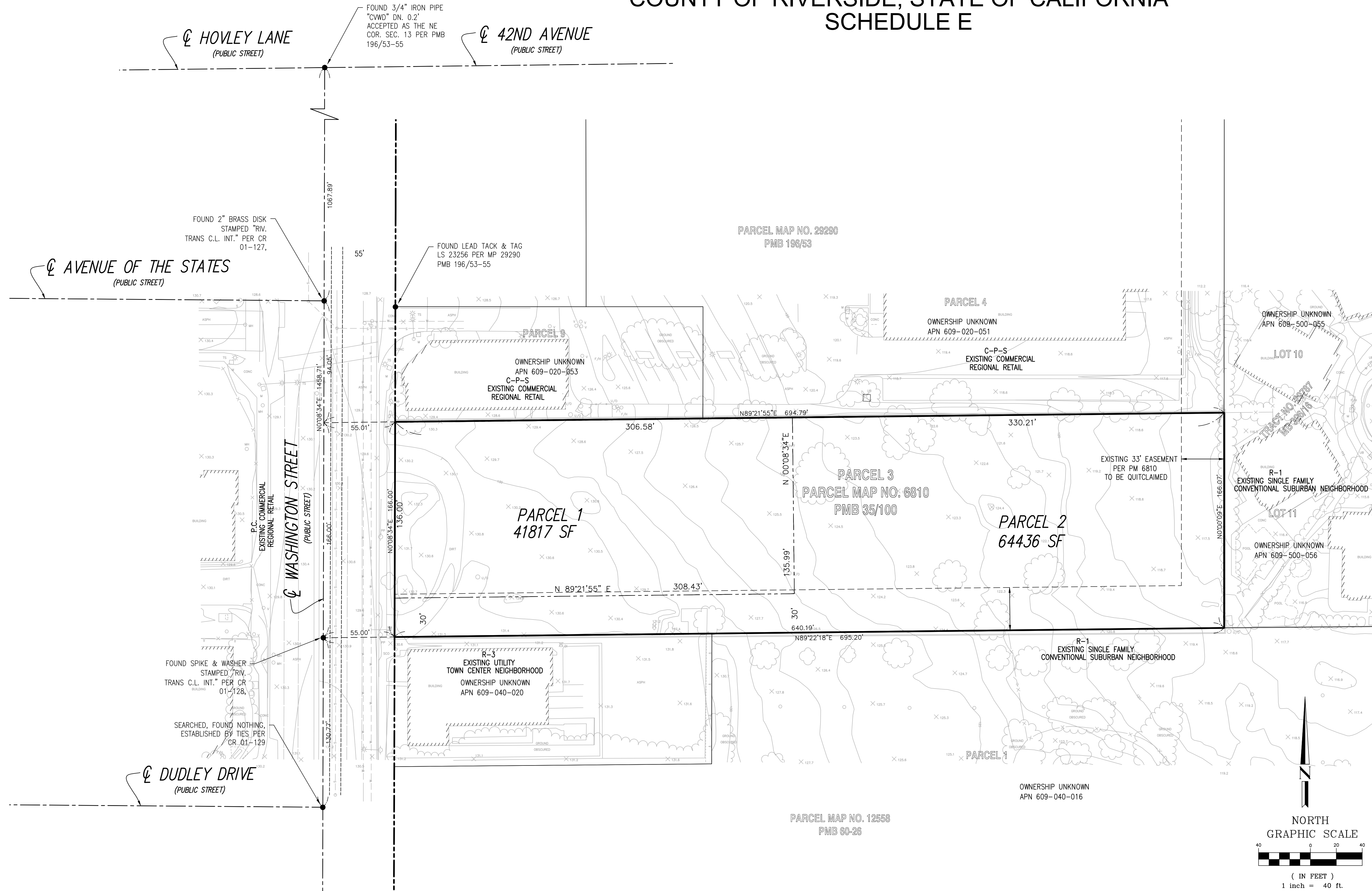
## BERMUDA DUNES

### COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

#### SCHEDULE E



VICINITY MAP  
NOT TO SCALE



**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 3 OF PARCEL MAP NO. 6810, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 35, PAGE 100 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT ALL OIL, GAS, AND OTHER MINERAL DEPOSITS, TOGETHER WITH THE RIGHT TO PROSPECT FOR, MINE, AND REMOVE SAME, RESERVED PURSUANT TO THE PROVISION OF AN ACT APPROVED JUNE 01, 1938 (52 STAT. 609) IN THE PATENT FROM THE UNITED STATES OF AMERICA RECORDED FEBRUARY 13, 1953 IN BOOK 1441, PAGE 129 OF OFFICIAL RECORDS.

**TITLE INFORMATION**

CHICAGO TITLE ORDER NO. 00110388-021-PS4-JC4  
DATED: OCTOBER 21, 2020 AT 7:30 AM

**TITLE TO SAID ESTATE OR INTEREST VESTED IN**

DENSE M. GOODMAN, TRUSTEE OF THE GOODMAN TRUSTEE DATED OCTOBER 1994

**ASSESSOR'S PARCEL NUMBERS**

609-020-024-3

**ZONING**

EXISTING: R-3-2000(GENERAL RESIDENTIAL) & R-1-2000 (ONE-FAMILY DWELLING)  
PROPOSED: MU (MIXED USE)  
GENERAL PLAN: FROM COMMUNITY DEVELOPMENT: HIGH DENSITY RESIDENTIAL AND COMMUNITY DEVELOPMENT: MEDIUM DENSITY RESIDENTIAL TO COMMUNITY DEVELOPMENT: MIXED-USE

**CURRENT SITE CONDITIONS**

CURRENT SITE IS VACANT OF ANY IMPROVEMENTS

**FLOOD ZONE INFORMATION**

THE SUBJECT PROPERTY LIES WITHIN THE UNINCORPORATED RIVERSIDE COUNTY, CALIFORNIA AREA OF FLOOD INSURANCE RATE MAP PANEL NUMBER 06065C2231H, HAVING AN EFFECTIVE DATE OF 04/19/2017 IN THE COUNTY RIVERSIDE, CALIFORNIA. FLOOD ZONE IS "X" AREA OF MINIMAL FLOOD HAZARD.

**AREA-GROSS**

106,254.54 SQUARE FEET OR 2.44 ACRES± NET AND GROSS

**PROPOSED PARCEL AREAS**

PARCEL 1 - 41817 SF - 0.96 AC  
PARCEL 2 - 64436 SF - 1.48 AC

**DATE PREPARED**

REVISED OCTOBER, 2022

**MAP NOTE:**

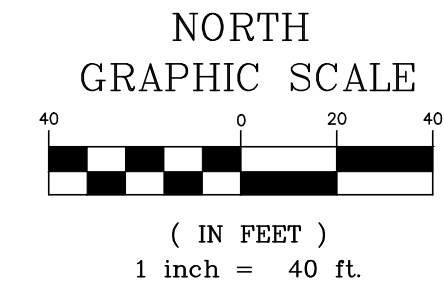
SUBDIVISION INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER.

**SOILS NOTE:**

SUBJECT SITE NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGIC HAZARDS

**ABBREVIATIONS**

AB	AGGREGATE BASE	N/A	NOT APPLICABLE
ABAN	ABANDON	N'LY	NORTHERLY
AC	ASPHALTIC CONCRETE	N	NORTH
AVE	AVENUE	NTS	NOT TO SCALE
BC	BEGIN CURVE	OC	ON CENTER
BFF	BASEMENT FINISHED	OD	OUTSIDE DIAMETER
BGR	FLOOR	OD	OUTSIDE DIAMETER
BLVD	BEGIN CURB RETURN	PAD	PAD ELEVATION
BW	BOULEVARD	PH	PORTLAND CEMENT CONCRETE
C L	BACK OF WALK	~P	PHASE
CB	CENTER LINE	PVC	PROPERTY LINE
CSP	CATCH BASIN	R	POLY VINYL CHLORIDE
CY	CORRUGATED STEEL	RCP	PIPE RADIUS
DW	PIPE	RT	REINFORCED CONCRETE
DWY	CUBIC YARDS	RW	RIGHT
EA	DOMESTIC WATER	RW	RIGHT
EC	DRIVEWAY EACH	R.O.W.	RETAINING WALL
EOR	END CURVE	S	RECLAIMED WATER
E	END CURB RETURN	SD	RIGHT OF WAY
EL	EAST	SF	STATION
E'LY	ELEVATION	S'LY	STORM DRAIN
EX	EASTERLY	SL	SQUARE FEET
FF	EXISTING	SS	SOUTHERLY
FL	FINISHED FLOOR	ST	STREET LIGHT
FNC	FINISHED GRADE	STA	SANITARY SEWER
FS	FLOW LINE	STD	STREET
FG	FINISHED SURFACE	SW	STATION
GFF	FINISH GRADE	TC	STANDARD
HP	GARAGE FINISHED	TF	SIDEWALK
HT	FLOOR	TR	TOP OF CURB
ID	HIGH POINT	TRW	TOP OF FOOTING
INV	HEIGHT	TS	TOP OF GRATE
IS	INSIDE DIAMETER	TSW	TOP OF RETAINING WALL
LA	INVERT	TYP	TRAFFIC SIGNAL
LP	JUNCTION STRUCTURE	ULT	TOP OF SCREEN/SOUND
LT	LANDSCAPED AREA	W	WALL
MAX	LOW POINT	W'	TOP OF WALL
MIN	LEFT	WM	TYPICAL
MISC	MAXIMUM	W'LY	ULTIMATE
MH	MINIMUM	Z:1	WEST WITH WATER METER
	MISCELLANEOUS		WESTERLY
	MANHOLE		SLOPE OF ONE FOOT MEASURED VERTICALLY FOR EVERY TWO FEET MEASURED HORIZONTALLY



**UTILITY PURVEYORS:**  
WATER AND SEWER: COACHELLA VALLEY WATER DISTRICT 760-398-2651  
GAS: SOUTHERN CALIFORNIA GAS COMPANY 800-427-2200  
ELECTRIC: SOUTHERN CALIFORNIA EDISON 800-655-4555  
WASTE: BURRTEC WASTE INDUSTRIES 760-340-2113  
TV/INTERNET/VOICE:  
SPECTRUM - 844-805-3559  
DIRECTV - 855-297-8595  
AT&T - 800-288-2020

**SCHEDULE B EXCEPTIONS**

ITEM A	INTENTIONALLY DELETED.
ITEM B	PROPERTY TAXES, INCLUDING ANY PERSONAL PROPERTY TAXES AND ANY ASSESSMENTS COLLECTED WITH TAXES, ARE AS FOLLOWS: TAX IDENTIFICATION NO.: 609-020-024-3 FISCAL YEAR: 2020-2021 1ST INSTALLMENT: \$3,796.62, UNPAID (DELINQUENT AFTER DECEMBER 10, 2020) 2ND INSTALLMENT: \$3,796.62, UNPAID (DELINQUENT AFTER APRIL 10, 2021) HOMEOWNERS EXEMPTION: \$0.00 CODE AREA: 075-069
ITEM C	THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES, IF ANY, MADE PURSUANT TO THE PROVISIONS OF CHAPTER 3.5 (COMMENCING WITH SECTION 75) OR PART 2, CHAPTER 3, ARTICLES 3 AND 4, RESPECTIVELY, OF THE REVENUE AND TAXATION CODE OF THE STATE OF CALIFORNIA AS A RESULT OF THE TRANSFER OF TITLE TO THE VESTEE NAMED IN SCHEDULE A OR AS A RESULT OF CHANGES IN OWNERSHIP OR NEW CONSTRUCTION OCCURRING PRIOR TO DATE OF POLICY.
ITEM 1	WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.

**SCHEDULE B EXCEPTIONS**

ITEM 2	RESERVATIONS CONTAINED IN THE PATENT FROM: THE UNITED STATES OF AMERICA RECORDING DATE: FEBRUARY 13, 1953 RECORDING NO: BOOK 1441, PAGE 129 OF OFFICIAL RECORDS WHICH AMONG OTHER THINGS RECITES AS FOLLOWS: THE RIGHT TO PROSPECT FOR, MINE AND REMOVE ALL OIL, GAS AND OTHER MINERAL DEPOSITS. A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES OF AMERICA. A RIGHT OF WAY NOT EXCEEDING 33 FEET IN WIDTH, FOR ROADWAY AND FOR PUBLIC UTILITY PURPOSES, LOCATED ALONG THE BOUNDARY(S) OF THE LAND, ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING OR OTHER PURPOSES AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY LOCAL CUSTOMS, LAWS AND DECISIONS OF COURTS. THE RIGHT OF THE PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED AS PROVIDED BY LAW.
ITEM 3	NOTICE OF PENDENCY OF ADMINISTRATIVE PROCEEDINGS NO. CV1703574, AND THE LIEN OF ANY ASSESSMENT ARISING THEREFROM BY THE DEPARTMENT OF BUILDING AND SAFETY OF THE COUNTY OF RIVERSIDE, IN THE MATTER OF UNLAWFUL OR UNSAFE CONDITIONS ON THE HEREIN DESCRIBED LAND. PROPERTY OWNER: DENSE GOODMAN RECORDING DATE: JANUARY 19, 2018 RECORDING NO.: 2018-0021764 OF OFFICIAL RECORDS REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

**SCHEDULE B EXCEPTIONS**

ITEM 4	AN ABSTRACT OF JUDGMENT FOR THE AMOUNT SHOWN BELOW AND ANY OTHER AMOUNTS DUE: AMOUNT: \$6,184.58 DEBTOR: DENSE GOODMAN CREDITOR: PORTFOLIO RECOVERY ASSOCIATES, LLC DATE ENTERED: MAY 27, 2014 COUNTY: RIVERSIDE COURT: SUPERIOR COURT OF CALIFORNIA CASE NO.: RIC 1402805 RECORDING DATE: JUNE 18, 2014 RECORDING NO.: 2014-0223837 OF OFFICIAL RECORDS
ITEM 5	PLEASE BE ADVISED THAT OUR SEARCH DID NOT DISCLOSE ANY OPEN DEEDS OF TRUST OF RECORD, IF YOU SHOULD HAVE KNOWLEDGE OF ANY OUTSTANDING OBLIGATION, PLEASE CONTACT THE TITLE DEPARTMENT IMMEDIATELY FOR FURTHER REVIEW PRIOR TO CLOSING.
ITEM 6	ANY INVALIDITY OR DEFECT IN THE TITLE OF THE VESTEEES IN THE EVENT THAT THE TRUST REFERRED TO HEREIN IS INVALID OR FAILS TO GRANT SUFFICIENT POWERS TO THE TRUSTEE(S) OR IN THE EVENT THERE IS A LACK OF COMPLIANCE WITH THE TERMS AND PROVISIONS OF THE TRUST INSTRUMENT, IF TITLE IS TO BE INSURED IN THE TRUSTEE(S) OF A TRUST, (OR IF THEIR ACT IS TO BE INSURED), THIS COMPANY WILL REQUIRE A TRUST CERTIFICATION PURSUANT TO CALIFORNIA PROBATE CODE SECTION 18100.5. THE COMPANY RESERVES THE RIGHT TO ADD ADDITIONAL ITEMS OR MAKE FURTHER REQUIREMENTS AFTER REVIEW OF THE REQUESTED DOCUMENTATION.

**SCHEDULE B EXCEPTIONS**

ITEM 7	ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS. THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE. THE COMPANY RESERVES THE RIGHT TO EXCEPT ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL REQUIREMENTS AFTER REVIEWING SAID DOCUMENTS.
ITEM 8	ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
ITEM 9	MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/NPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
ITEM 10	A LIEN FOR THE AMOUNT SHOWN BELOW AND ANY OTHER AMOUNTS DUE, AMOUNT: \$1,388.10 CLAIMANT: COUNTY OF RIVERSIDE NATURE OF CLAIM: ACCUMULATED RUBBISH RECORDING DATE: SEPTEMBER 25, 2020 RECORDING NO.: 2020-0456158, OF OFFICIAL RECORDS.

**PROPOSED EASEMENT NOTE:**  
EASEMENT SHALL BE PLACED OVER ALL VEHICULAR ACCESS WAYS FOR EMERGENCY EGRESS AND INGRESS PURPOSES AND FOR SEWER AND GENERAL UTILITY PURPOSES.

**REVISIONS**

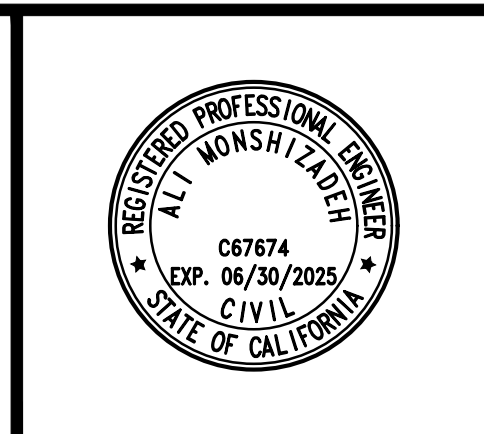
NO	DATE	INITIAL	DESCRIPTION	APP	DATE

**BENCH MARK :**  
131 OF PALM DESERT BENCHMARK BM 131, DESCRIBED AS :  
2" BRASS CAP LOCATED AT THE SOUTHWEST CORNER OF WASHINGTON ST AND HOWLEY LN. EAST, 79 FT. SOUTH OF EOR, IN TOP OF CURB, FLUSH  
ELEVATION: 120.607 FEET (NAVD '88)  
BASIS OF BEARINGS:  
BASIS OF BEARINGS IS THE CENTERLINE OF WASHINGTON STREET AS SHOWN ON PARCEL MAP NO. 35/100  
BEING: NORTH 0°08'34" EAST

**OWNER OR DEVELOPER :**  
HI BERMUDA DUNES, LLC  
20 NORTH RAYMOND AVE, STE 300  
PASADENA, CA 91103  
PHONE: (626) 774-7700

**SOILS ENGINEER :**  
KRAZAN & ASSOCIATES INC.  
1100 OLYMPIC DRIVE STE 100  
CORONA CA 92881  
PHONE: (951) 273-1011

**PREPARED BY :**  
**KES TECHNOLOGIES INC**  
CIVIL ENGINEERING  
LAND PLANNING AND SURVEYING  
1 VENTURE STE 130  
IRVINE, CALIFORNIA 92618  
PHONE (949) 339-5330



I hereby certify that :  
1. These plans have been prepared under my supervision;  
2. The grading shown hereon will not divert drainage from its natural downstream course or obstruct the drainage of adjacent properties;  
3. Existing ground contours and elevations were obtained by field survey performed on DECEMBER, 2020.

ENGINEER: RCE 67674  
DATE: EXP. DATE 6-30-21

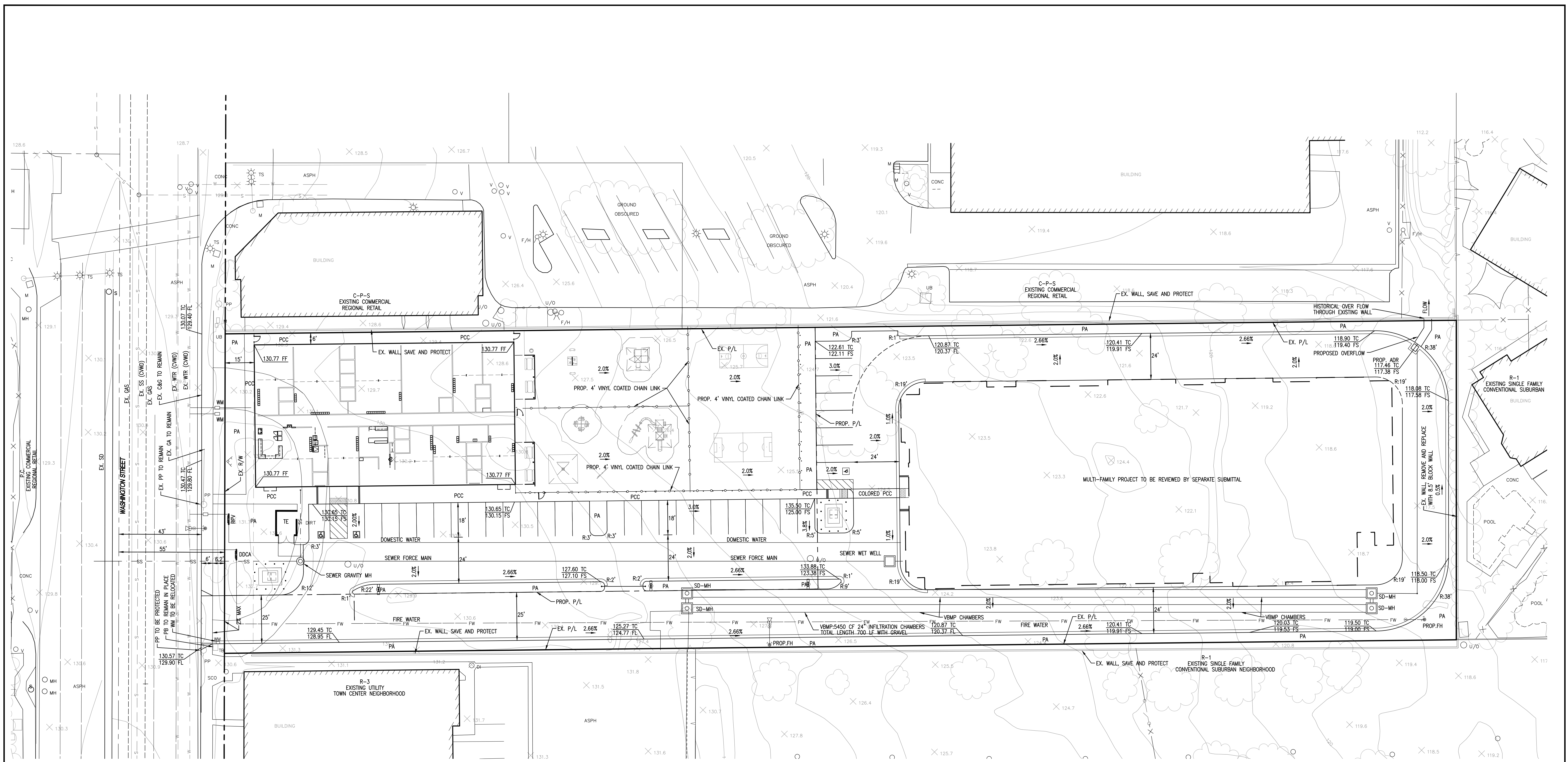
**TENTATIVE PARCEL MAP**  
**TPM 38113**  
**PROPOSED LOTTING**

SHEET 1 OF 3

SCALE: AS SHOWN | DRAWN BY: DSK | CHECKED BY: AM

**COUNTY OF RIVERSIDE**



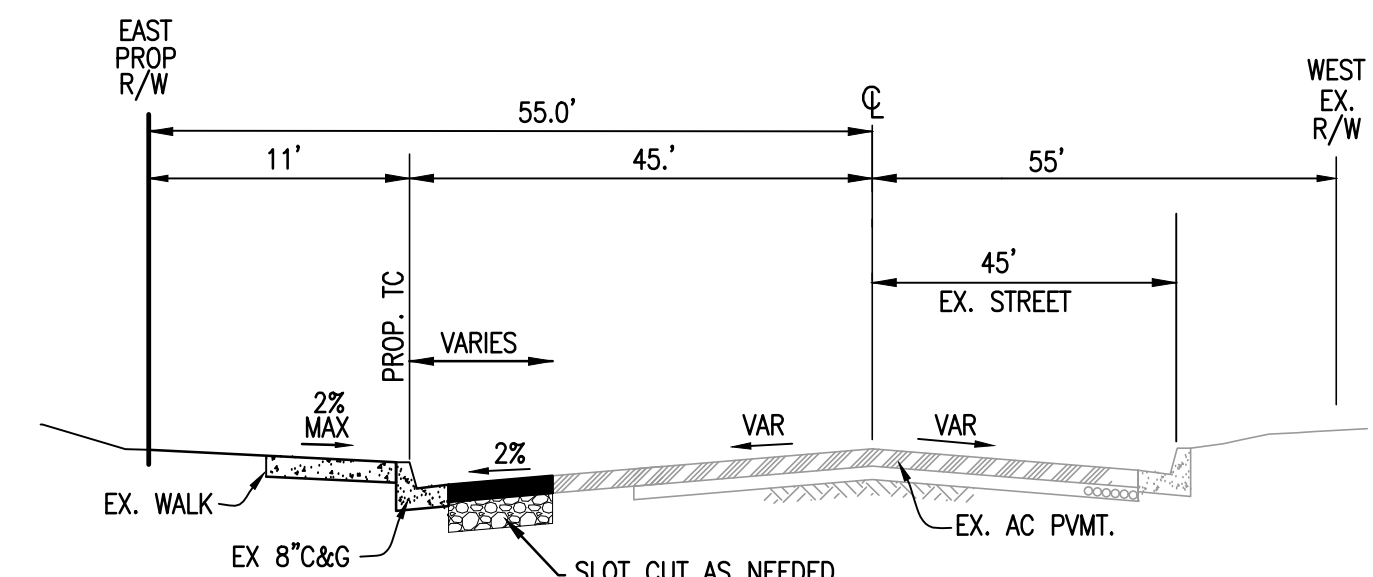
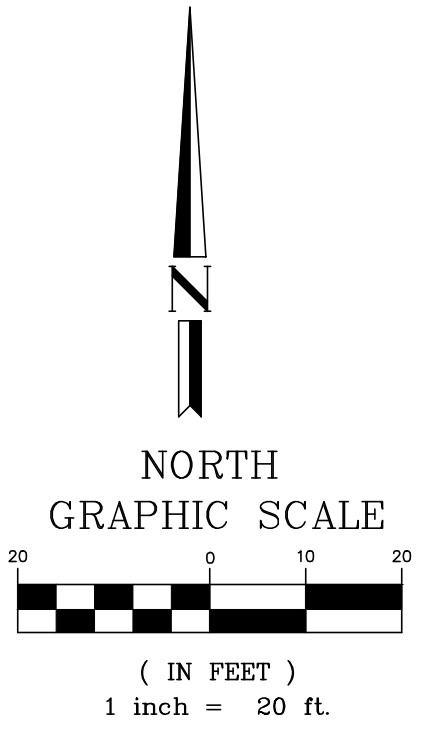


**PAVEMENT SURFACE NOTE:**  
 ALL PAVEMENT AS SHOWN HEREON IS PROPOSED TO BE AC PAVEMENT UNLESS OTHERWISE NOTED.

**PROPOSED EASEMENT NOTE:**  
 EASEMENT SHALL BE PLACED OVER ALL VEHICULAR ACCESS WAYS FOR EMERGENCY EGRESS AND INGRESS PURPOSES AND FOR SEWER AND GENERAL UTILITY PURPOSES.

**LEGEND**

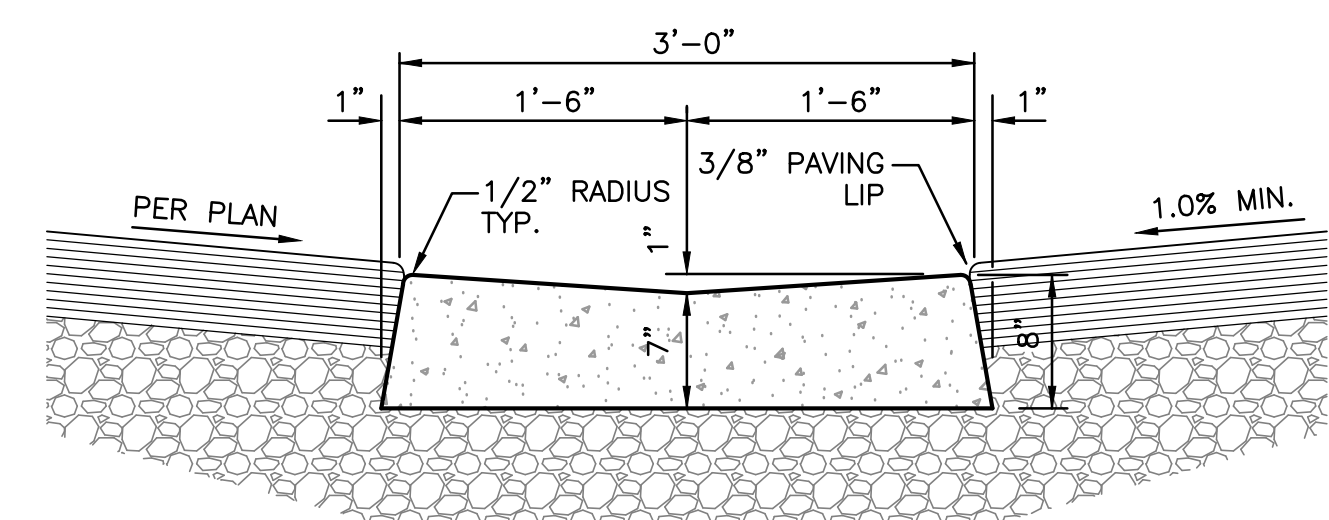
- FIRE HYDRANT
- BACKFLOW DEVICE
- PROPOSED SANITARY SEWER
- PROPOSED DOMESTIC WATER
- PROPOSED FIRE WATER
- PROPOSED STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING WATER
- EXISTING STORM DRAIN



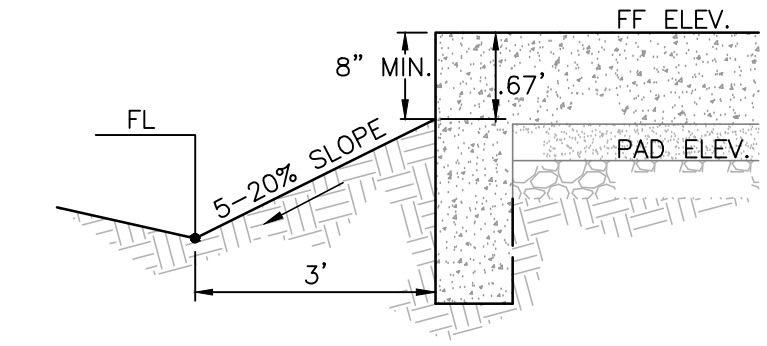
**WASHINGTON AVENUE - TYPICAL SECTION**  
 PUBLIC STREET N.T.S.



**CATCH BASIN STENCILING DETAIL**  
 NTS



**LONGITUDINAL GUTTER DETAIL**  
 NTS



**GRADING DETAIL**  
 NTS

REVISIONS					
NO	DATE	INITIAL	DESCRIPTION	APP	DATE

**BENCH MARK :**  
 CITY OF PALM DESERT BENCHMARK BM 131, DESCRIBED AS :  
 2" BRASS CAP LOCATED AT THE SOUTHWEST CORNER OF  
 WASHINGTON ST AND HOLEY LN. EAST, 79 FT. SOUTH OF  
 EOR, IN TOP OF CURB, FLUSH  
 ELEVATION: 120.607 FEET (NAVD '88)  
**BASIS OF BEARINGS:**  
 BASIS OF BEARINGS IS THE CENTERLINE OF WASHINGTON  
 STREET AS SHOWN ON PARCEL MAP NO. 35/100  
 BEING: NORTH 0°08'34" EAST

**OWNER OR DEVELOPER :**  
 HI BERMUDA DUNES, LLC  
 20 NORTH RAYMOND AVE, STE 300  
 PASADENA, CA 91103  
 PHONE: (626) 774-7700

**SOILS ENGINEER :**  
 KRAZAN & ASSOCIATES INC.  
 1100 OLYMPIC DRIVE STE 100  
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ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 RCE 67674 EXP. DATE 6-30-21

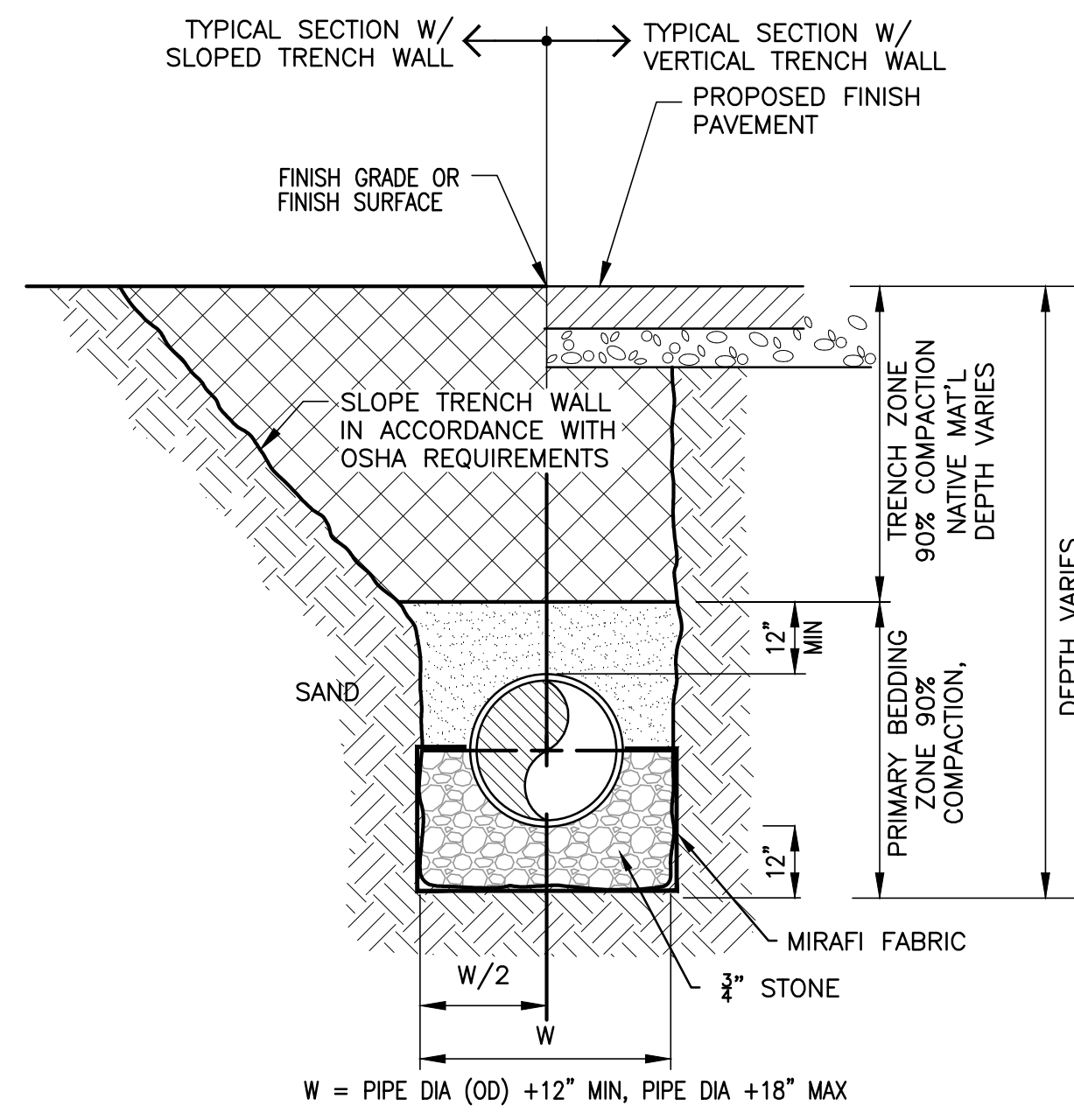
**CONCEPTUAL GRADING AND UTILITY PLAN**

SCALE: AS SHOWN DRAWN BY: DSK CHECKED BY: AM

**COUNTY OF RIVERSIDE**

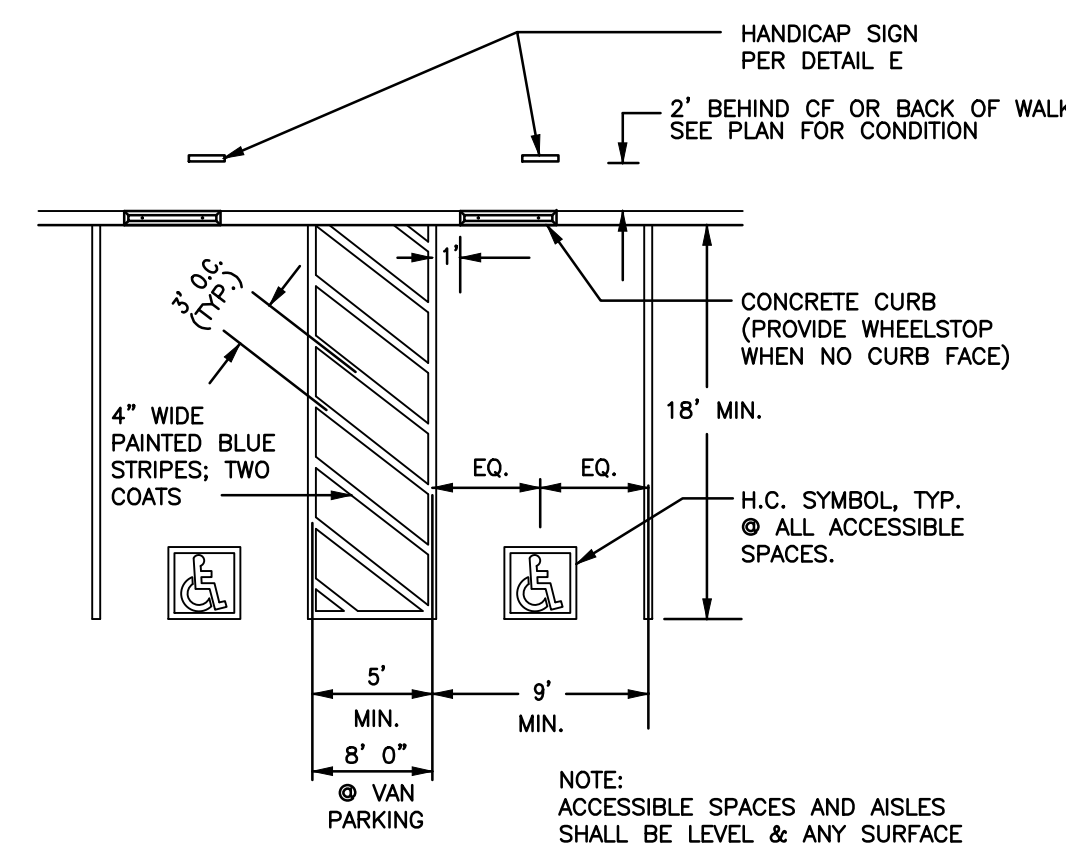
SHEET 2 OF 3





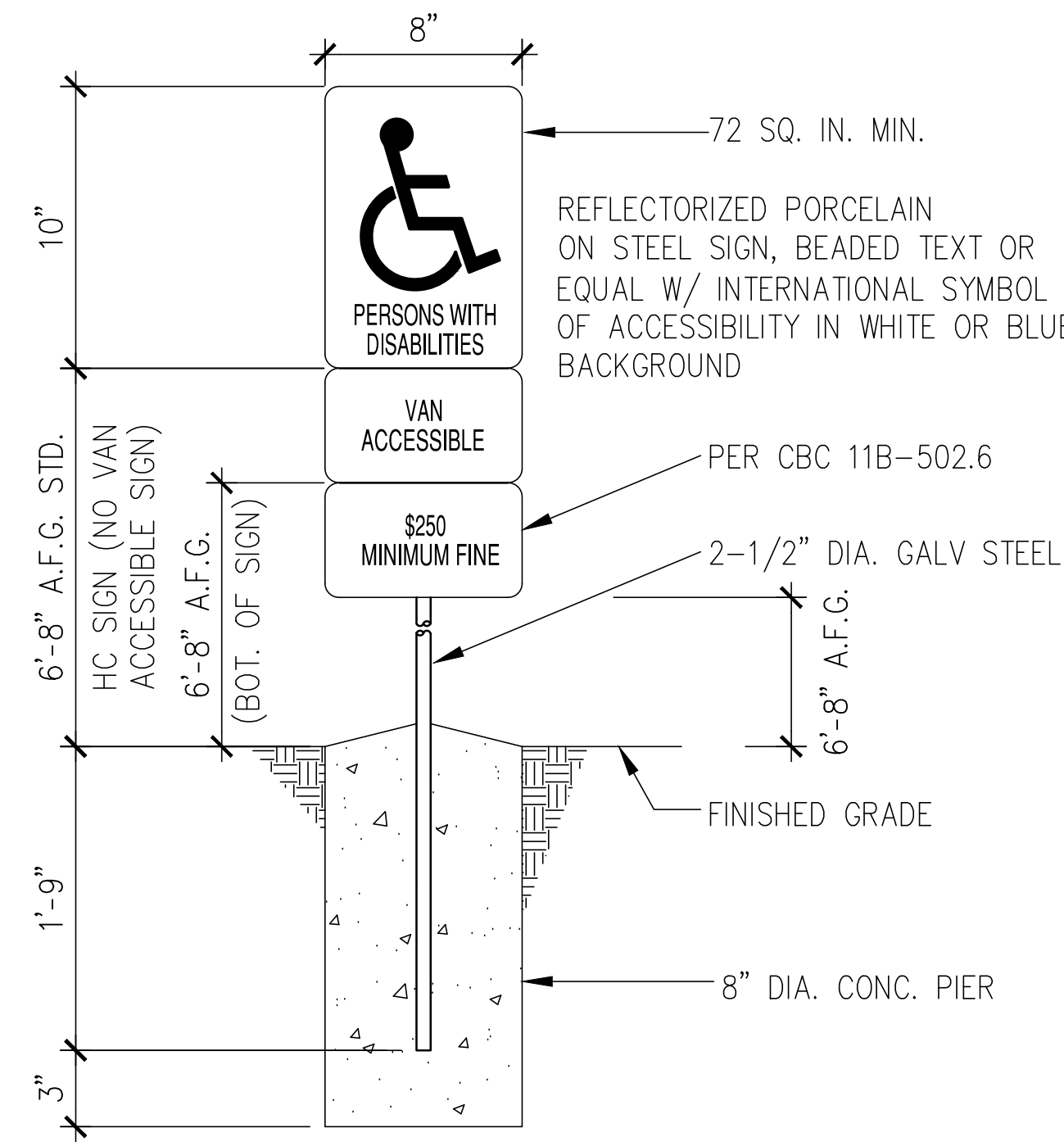
- NOTE:**
1. ALL TRENCHING & CONSTRUCTION OPERATIONS SHALL COMPLY WITH OSHA REQUIREMENTS.
  2. ALL BACK FILL FOR INFILTRATION MATERIAL TO BE APPROVED AND INSPECTED BY THE GEO TECHNICAL ENGINEER.
  3. SLOPING TRENCH WALL SECTION SUBJECT TO OWNER'S APPROVAL.

**PERFORATED PIPE TRENCH DETAIL**

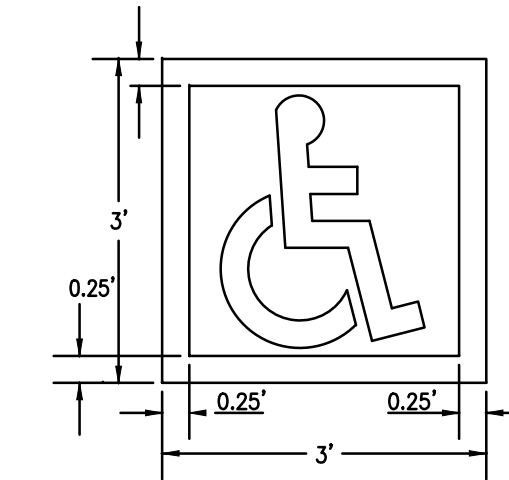


- NOTES:**
1. ALL STROKES TO BE 3" WIDE.
  2. PROVIDE TWO COATS OF PAINT.
  3. BLUE BACKGROUND WITH WHITE SYMBOL.
  4. LOCATE SYMBOL AT CENTER OF STALL WHERE SHOWN ON SITE PLAN.
  5. ONE SYMBOL FOR EACH HANDICAP PARKING SPACE.
  6. SEE RAMP DETAILS ABOVE FOR TRUNCATED DOME LOCATION.
  7. "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN THE LOADING ZONE IN WHITE LETTERING.

**HANDICAP PARKING STRIPING DETAIL**



**ADA PARKING SIGN**



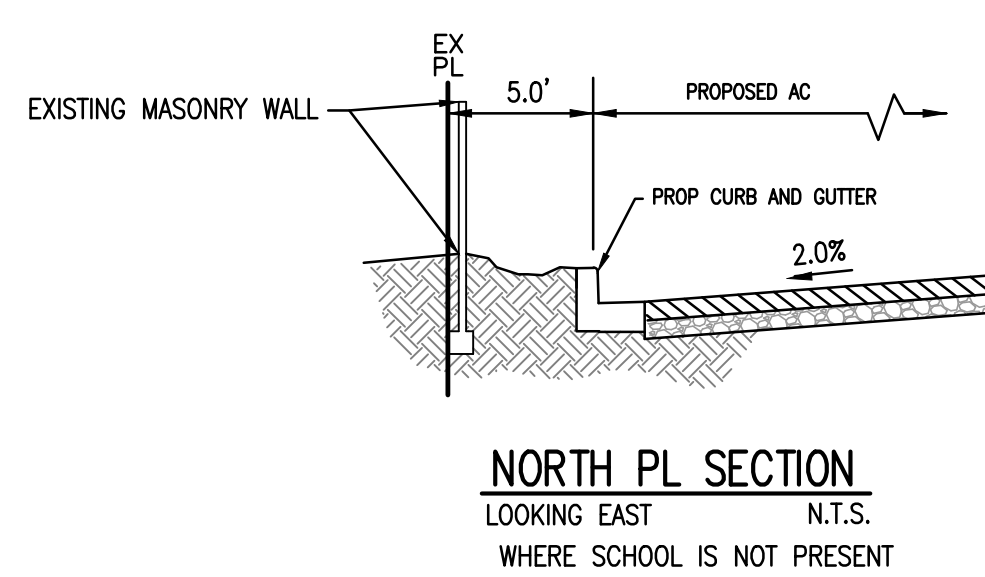
**PATH OF ACCESSIBILITY SIGN**

**UTILITY PURVEYORS:**  
 WATER AND SEWER: COACHELLA VALLEY WATER DISTRICT 760-398-2651  
 GAS: SOUTHERN CALIFORNIA GAS COMPANY 800-427-2200  
 ELECTRIC: SOUTHERN CALIFORNIA EDISON 800-655-4555  
 WASTE: BURRTEC WASTE INDUSTRIES 760-340-2113  
 TV/INTERNET/VOICE:  
 SPECTRUM - 844-805-3559  
 DIRECTV - 855-297-8595  
 AT&T - 800-288-2020

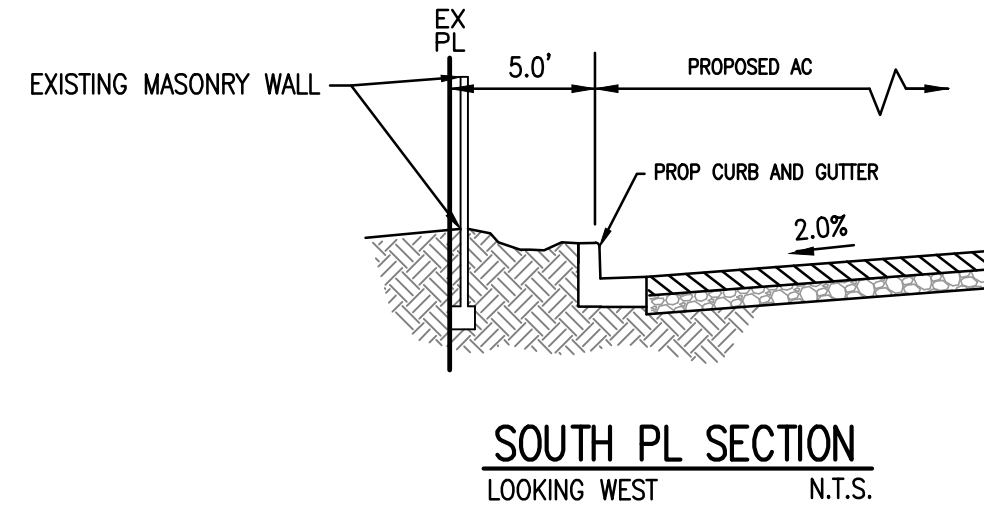
**SCHOOL DISTRICT:**  
 DESERT SANDS UNIFIED SCHOOL DISTRICT - 760-777-4200

**EARTHWORK SUMMARY:**  
 QUANTITIES FOR PLAN CHECKING PURPOSES ONLY  
 HAUL ROUTE TO BE DETERMINED DURING FINAL ENGINEERING

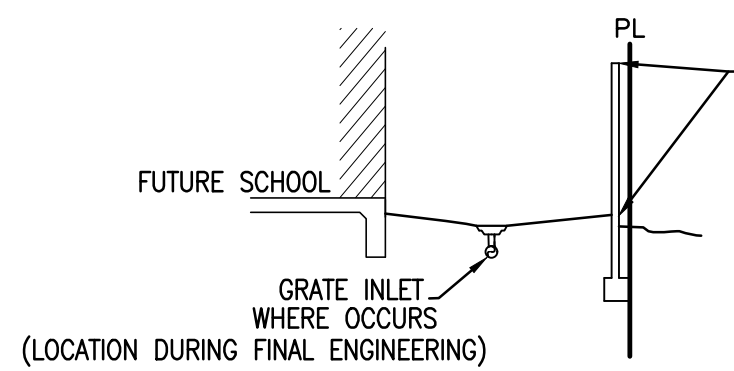
MASS EXCAVATION	CUT	FILL
	875 CY	1025 CY
OVEREXCAVATION	CUT	FILL
	9555 CY	10988 CY
SPOILS	CUT	FILL
	500 CY	0 CY
IMPORT		1083 CY



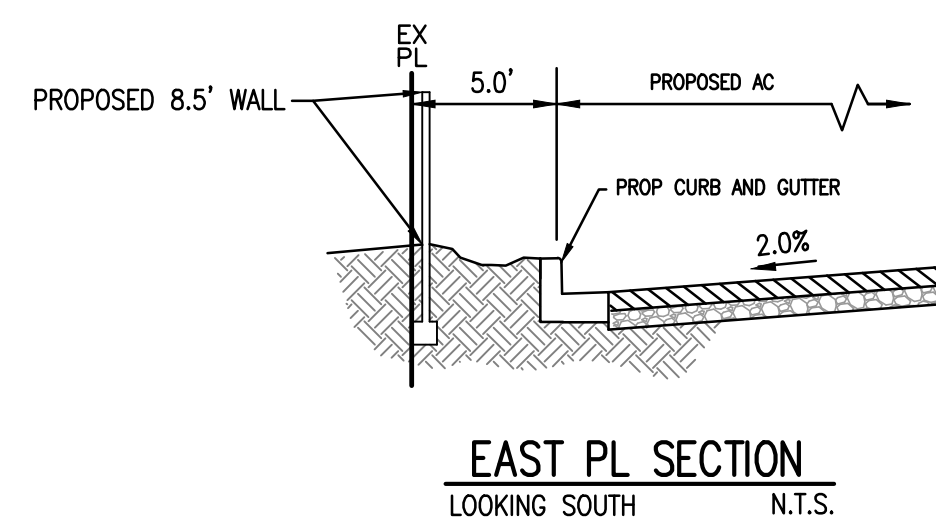
**NORTH PL SECTION**  
 LOOKING EAST  
 N.T.S.  
 WHERE SCHOOL IS NOT PRESENT



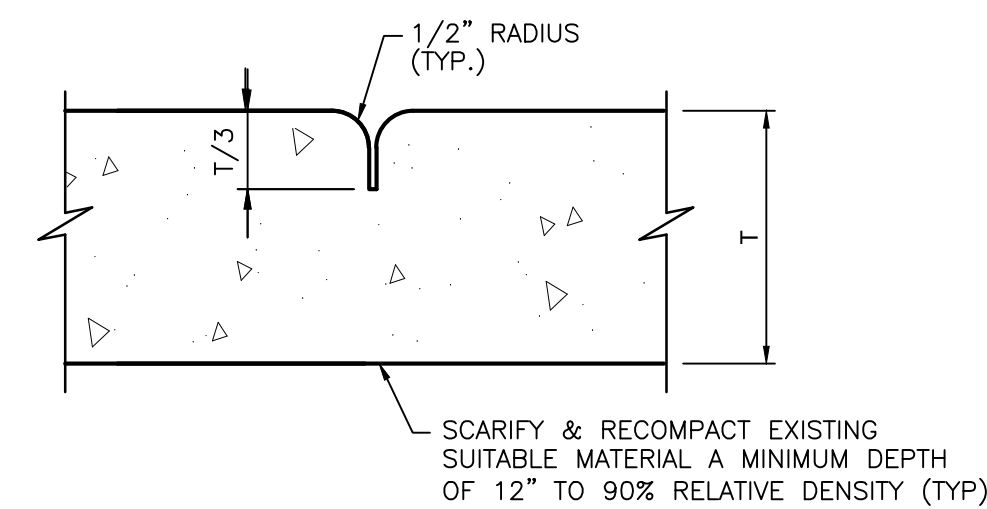
**SOUTH PL SECTION**  
 LOOKING WEST  
 N.T.S.



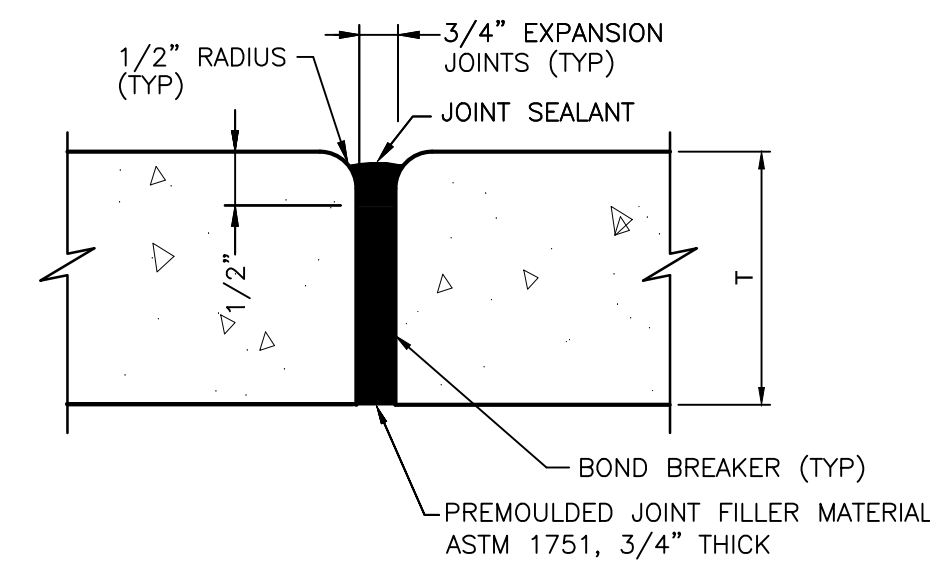
**NORTH PL SECTION**  
 LOOKING WEST  
 N.T.S.  
 WHERE SCHOOL IS PRESENT



**EAST PL SECTION**  
 LOOKING SOUTH  
 N.T.S.



**TOOLED JOINT (TJ)**



**NOTE:** REINFORCING TO BE NON-CONTINUOUS AT EXPANSION JOINTS

**EXPANSION JOINT (EJ)**

**TYPICAL CONCRETE JOINT DETAILS**  
 N.T.S.

REVISIONS					
NO	DATE	INITIAL	DESCRIPTION	APP	DATE

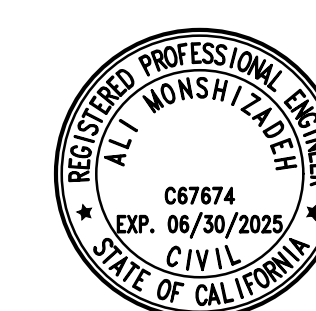
**BENCH MARK :**  
 CITY OF PALM DESERT BENCHMARK BM 131, DESCRIBED AS :  
 2" BRASS CAP LOCATED AT THE SOUTHWEST CORNER OF  
 WASHINGTON ST AND HOLEY LN. EAST, 79 FT. SOUTH OF  
 EOR, IN TOP OF CURB, FLUSH  
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 3. Existing ground contours and elevations were obtained by field survey performed on DECEMBER, 2020.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 RCE 67674 EXP. DATE 6-30-21

**CONCEPTUAL GRADING AND UTILITY DETAILS**

SCALE: AS SHOWN DRAWN BY: DSK CHECKED BY: AM

**COUNTY OF RIVERSIDE**

SHEET 3 OF 3







**NOTICE OF PUBLIC HEARING**  
**RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION**  
[www.rcaluc.org](http://www.rcaluc.org)

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. **Information on how to participate in the hearing will be available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org).** The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan. For more information please contact **ALUC Planner Jackie Vega at (951) 955-0982.**

The County of Riverside Planning Department should be contacted on non-ALUC issues. For more information please contact County of Riverside Planner Evan Langan at (951) 955-3024.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website [www.rcaluc.org](http://www.rcaluc.org). Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to [javega@rivco.org](mailto:javega@rivco.org). Individuals with disabilities requiring reasonable modifications or accommodations, please contact Barbara Santos at (951) 955-5132.

**PLACE OF HEARING:** Riverside County Administration Center  
4080 Lemon Street, 1<sup>st</sup> Floor Board Chambers  
Riverside California

**DATE OF HEARING:** April 13, 2023

**TIME OF HEARING:** 9:30 A.M.

**CASE DESCRIPTION:**

ZAP1090BD23 – HRI Development (Representative: Hamo Rostamian)– County of Riverside Planning Department Case Nos. GPA210003 (General Plan Amendment), CZ210010 (Change of Zone), PPT210015 (Plot Plan), TPM38113 (Parcel Map). A proposal to construct a 9,900 square foot day care center for children with a 12,500 square foot outdoor playground on 2.44 acres, located at 42500 Washington Street, northerly of Hidden River Road and southerly of 42<sup>nd</sup> Avenue. The applicant also proposes to amend the site’s land use designation from High Density Residential and Medium Density Residential to Mixed-Use and change the site’s zoning from General Residential (R-3-2000) and One-Family Dwellings (R-1-12000) to Mixed Use (MU). The applicant also proposes to divide the site into two parcels (Airport Compatibility Zone E of the Bermuda Dunes Airport Influence Area)





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## APPLICATION FOR MAJOR LAND USE ACTION REVIEW

### ALUC STAFF ONLY

ALUC Case Number: ZAP1090BD23

Date Submitted: 2/27/23

AIA: Bermuda Dunes

Zone: E

Public Hearing

Staff Review

### Applicant

Applicant Full Name: Hamo Rostamian

Applicant Address: 225 Bella Vista Ave. Pasadena, CA 91107

Phone: (626)243-5288

Email: Hamo.Rostamian@Hridevelopment.com

### Representative/ Property Owner Contact Information

Representative: Hamo Rostamian

Email: Same as the above email.

Phone: (626)243-5288

Address: 225 Bella Vista Ave. Pasadena, CA 91107

Property Owner: HI Bermuda Dunes LLC

Email: Same as the above email.

Phone: (626)243-5288

Address: 225 Bella Vista Ave. Pasadena, CA 91107

### Local Jurisdiction Agency

Agency Name: County of Riverside

Phone: (951)955-3024

Staff Contact: Evan Langan (Principal Planner)

Email: Elangan@rivco.org

Address: 4080 Lemon St. (12th Floor) , Riverside , CA 92507

Local Agency Case No.:

~~GPA210003 CZ210010 TPM38113 PPT210015~~

### Project Location

Street Address: 42500 Washington St. Bermuda Dunes, CA 92203 Gross Parcel Size.: 2.44

Assessor's Parcel No.: 609-020-024

### Solar

Is the project proposing solar Panels? Yes



No



If yes, please provide solar glare study. (Only for zone C or higher.)



## Data

Site Elevation:(above mean sea level) At the high point we are 123' above sea level.

Height of Building or structures: Day care center is 31'-7" , Apartments 65'.

What type of drainage basins are being proposed and the square footage: Proposed 36" below surface chambers 361x15.

## Notice

**A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.

**B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of a complete application submittal to the next available commission hearing meeting.

### **C. SUBMISSION PACKAGE:**

#### **Please submit all application items DIGITALLY via USB or CD:**

- Completed ALUC Application Form
- Plans Package: site plans, floor plans, building elevations, grading plans, subdivision maps
- Exhibits of change of zone, general plan amendment, specific plan amendment
- Project description of current and proposed use

#### **Additionally, please provide:**

- ALUC fee payment (Checks made out to Riverside County ALUC)
- Gummed address labels of all surrounding property owners within a 300-foot radius of project site. (Only required if the project is scheduled for a public hearing)



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

## STAFF REPORT

### ADMINISTRATIVE ITEMS

#### 5.1 Director's Approvals

- A. During the period of February 16, 2023, through March 15, 2023, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Paul Rull reviewed two non-legislative cases and issued determinations of consistency.

ZAP1560MA23 (Zone D) pertains to County of Riverside Case No. PPW200006 (Plot Plan), a proposal to establish a 50-foot-tall mono-faux tree communication facility with a 490 square foot equipment shelter area, located southerly of Rider Street, easterly of Old Evans Road, northerly of Walnut Avenue, and westerly of El Nido Avenue. The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted. The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (AMSL). At a distance of approximately 19,610 feet from the project to the nearest point on the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,684 feet AMSL. The site's finished floor elevation is 1,448 feet AMSL and proposed building height is 55 feet, resulting in a top point elevation of 1,503 feet AMSL. Although, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) is not required, the applicant submitted their Form 7460-1, and the FAA OES issued their Determination of No Hazard letter dated July 25, 2019 (2019-AWP-8213-OE) indicating that the project would not be an impact to air navigation.

ALUC Director Paul Rull issued a determination of consistency for this project on February 22, 2023.

\*\*\*\*\*

ZAP1109RI23 (Zone E) pertains to City of Jurupa Valley Case No. MA22006 (Tentative Tract Map No.37943), a proposal to divide 5.23 acres into 22 single-family residential lots, located southerly of Stearns Street, northerly of 60<sup>th</sup> street, easterly of Hudson Street, and westerly of Van Buren Boulevard. The site is located within Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area (AIA). Within Compatibility Zone E of the Riverside Municipal Airport Land Use Compatibility Plan, non-residential intensity is not restricted. The elevation of Runway 9-27 at its westerly terminus is 757.6 feet above mean sea level (AMSL). At a distance of approximately 12,228 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 880 feet AMSL. The site's finished floor elevation is 712 feet AMSL and proposed building height is 65 feet, resulting in a top point elevation of 777 feet AMSL. Therefore, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on March 1, 2023.

- B. Additionally, ALUC Director Paul Rull reviewed one local jurisdiction non-impact legislative cases pursuant to ALUC Resolution No. 2011-02, and issued a determination of consistency.



ZAP1070RG23 (Citywide) pertains to City of Menifee Development Code Amendment (LR23-0017), a proposal amending Chapter 9.130.030 Allowed Uses and Approval Requirements of the Development Code to comply with Housing Element Program Action No. 5 – provisions for by-right approval of projects with 20 percent of units affordable to lower income households on non-vacant sites identified in the City 6<sup>th</sup> cycle Housing Element to accommodate the City's RHNA and identified to accommodate the RHNA in the City's prior 5<sup>th</sup> Cycle Housing Element.

ALUC Director Paul Rull issued a determination of consistency for this project on February 17, 2023.

- 5.2** Update March Air Reserve Base Compatibility Use Study (CUS)  
Presentation by Project Director Simon Housman or his designee.
- 5.3** Election of Officers (Chair/Vice Chair) and Re-election of At-Large position  
Presentation by ALUC Director Paul Rull or his designee.

X:\ALUC Administrative Items\Admin. 2023\ADmin Item 4-13-23.doc



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



February 22, 2023

**CHAIR**

Steve Manos  
Lake Elsinore

**VICE CHAIR**

Russell Betts  
Desert Hot Springs

**COMMISSIONERS**

John Lyon  
Riverside

Steven Stewart  
Palm Springs

Richard Stewart  
Moreno Valley

Michael Geller  
Riverside

Vernon Poole  
Murrieta

**STAFF**

Director  
Paul Rull

Simon A. Housman  
Jackie Vega  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

Joey Mendoza, Project Planner  
County of Riverside Planning Department  
4080 Lemon Street, 12<sup>th</sup> Floor  
Riverside CA 92501

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR’S DETERMINATION**

File No.: ZAP1560MA23  
Related File No.: PPW200006 (Plot Plan)  
APN: 300-010-002  
Airport Zone: Zone D

Dear Mr. Mendoza,

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. PPW200006 (Plot Plan), a proposal to establish a 50-foot-tall mono-faux tree communication facility with a 490 square foot equipment shelter area, located southerly of Rider Street, easterly of Old Evans Road, northerly of Walnut Avenue, and westerly of El Nido Avenue.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (AMSL). At a distance of approximately 19,610 feet from the project to the nearest point on the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,684 feet AMSL. The site’s finished floor elevation is 1,448 feet AMSL and proposed building height is 55 feet, resulting in a top point elevation of 1,503 feet AMSL. Although, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) is not required, the applicant submitted their Form 7460-1, and the FAA OES issued their Determination of No Hazard letter dated July 25, 2019 (2019-AWP-8213-OE) indicating that the project would not be an impact to air navigation.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

**CONDITIONS:**

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.



- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
  - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and shall be recorded as a deed notice.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers,

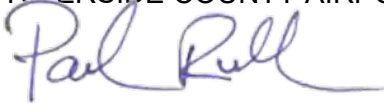


access gates, etc.

6. The Federal Aviation Administration has conducted an aeronautical study of the proposed project (Aeronautical Study No. 2019-AWP-8213-OE) and has determined that neither marking nor lighting of the structure is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.
7. The maximum height of the proposed structures to top point shall not exceed 55 feet above ground level, and the maximum elevation at the top of the structures shall not exceed 1,448 feet above mean sea level.
8. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.
9. Temporary construction equipment used during actual construction of the structures shall not exceed 55 feet in height and a maximum elevation of 1,448 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
10. Within five (5) days after construction of each structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



---

Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: APC Towers (applicant/representative)  
Mony Sambath (property owner)  
Gary Gosliga, Airport Manager, March Inland Port Airport Authority  
Major David Shaw, Base Civil Engineer, March Air Reserve Base  
ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1560MA23\ZAP15060MA23.LTR.doc



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES



**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





Mail Processing Center  
 Federal Aviation Administration  
 Southwest Regional Office  
 Obstruction Evaluation Group  
 10101 Hillwood Parkway  
 Fort Worth, TX 76177

Aeronautical Study No.  
 2019-AWP-8213-OE

Issued Date: 07/25/2019

Paul Alvarez  
 Paul Alvarez  
 8601 Six Forks Road  
 suite 250  
 RALEIGH, NC 27615

**\*\* DETERMINATION OF NO HAZARD TO AIR NAVIGATION \*\***

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Antenna Tower CA-1682 Evans Perris  
 Location: Perris, CA  
 Latitude: 33-49-43.40N NAD 83  
 Longitude: 117-11-55.92W  
 Heights: 1448 feet site elevation (SE)  
 55 feet above ground level (AGL)  
 1503 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

**See attachment for additional condition(s) or information.**

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 L Change 2.

This determination expires on 01/25/2021 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within



6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

**NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.**

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

A copy of this determination will be forwarded to the Federal Communications Commission (FCC) because the structure is subject to their licensing authority.

If we can be of further assistance, please contact our office at (424) 405-7643, or karen.mcdonald@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2019-AWP-8213-OE.

**Signature Control No: 410441000-412541259**

( DNE )

Karen McDonald  
Specialist

Attachment(s)  
Additional Information  
Frequency Data  
Map(s)

cc: FCC



**Additional information for ASN 2019-AWP-8213-OE**

At a distance of 4.0 nautical miles from the site emissions from the 2496-2690 MHz transmitters must be less than -155 dBm in the 2700-3100 MHz Surveillance Radar frequency band.

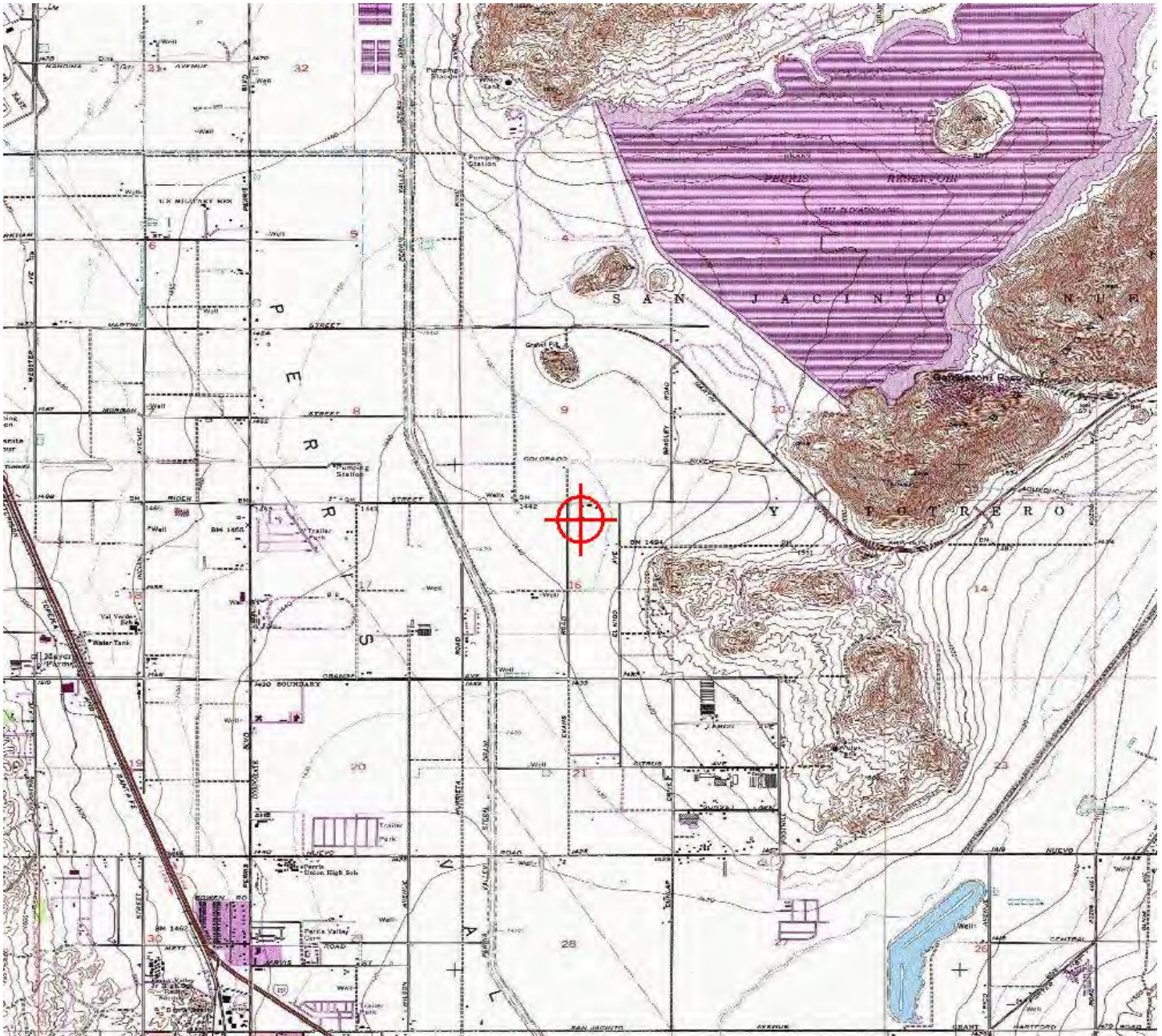


**Frequency Data for ASN 2019-AWP-8213-OE**

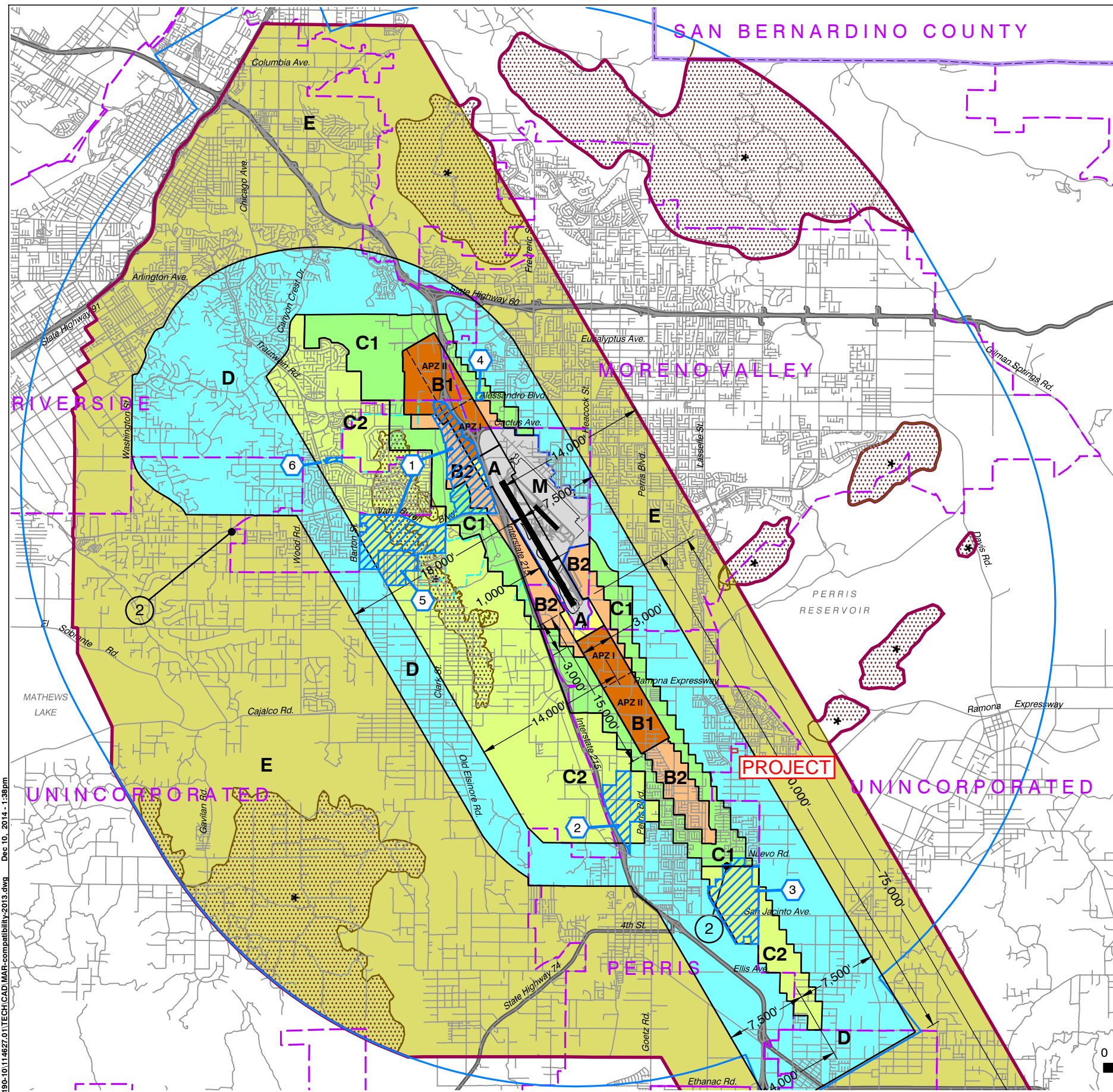
<b>LOW FREQUENCY</b>	<b>HIGH FREQUENCY</b>	<b>FREQUENCY UNIT</b>	<b>ERP</b>	<b>ERP UNIT</b>
6	7	GHz	55	dBW
6	7	GHz	42	dBW
10	11.7	GHz	55	dBW
10	11.7	GHz	42	dBW
17.7	19.7	GHz	55	dBW
17.7	19.7	GHz	42	dBW
21.2	23.6	GHz	55	dBW
21.2	23.6	GHz	42	dBW
614	698	MHz	1000	W
614	698	MHz	2000	W
698	806	MHz	1000	W
806	901	MHz	500	W
806	824	MHz	500	W
824	849	MHz	500	W
851	866	MHz	500	W
869	894	MHz	500	W
896	901	MHz	500	W
901	902	MHz	7	W
929	932	MHz	3500	W
930	931	MHz	3500	W
931	932	MHz	3500	W
932	932.5	MHz	17	dBW
935	940	MHz	1000	W
940	941	MHz	3500	W
1670	1675	MHz	500	W
1710	1755	MHz	500	W
1850	1910	MHz	1640	W
1850	1990	MHz	1640	W
1930	1990	MHz	1640	W
1990	2025	MHz	500	W
2110	2200	MHz	500	W
2305	2360	MHz	2000	W
2305	2310	MHz	2000	W
2345	2360	MHz	2000	W
2496	2690	MHz	500	W



TOPO Map for ASN 2019-AWP-8213-OE







**LEGEND**

**Compatibility Zones**

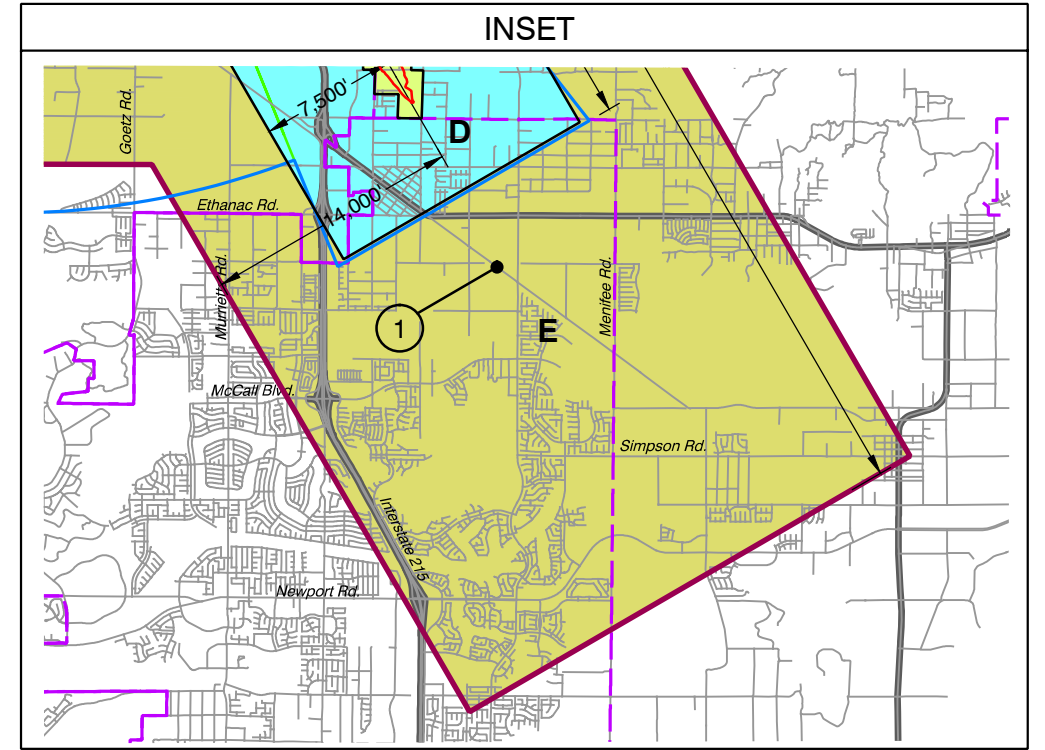
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

**Boundary Lines**

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

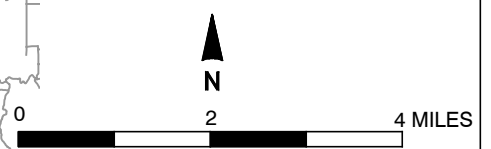
- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Crest Subdivision



**Riverside County  
Airport Land Use Commission  
March Air Reserve Base / Inland Port Airport  
Land Use Compatibility Plan  
(Adopted November 13, 2014)**

Note:  
All dimensions are measured from runway ends and centerlines.



Base map source: County of Riverside 2013

X:\18190-10\114627\01\TECH\CAD\MAR-compatibility\2013.dwg Dec 10, 2014 - 1:38pm

Prepared by Mead & Hunt, Inc. (June 2013)

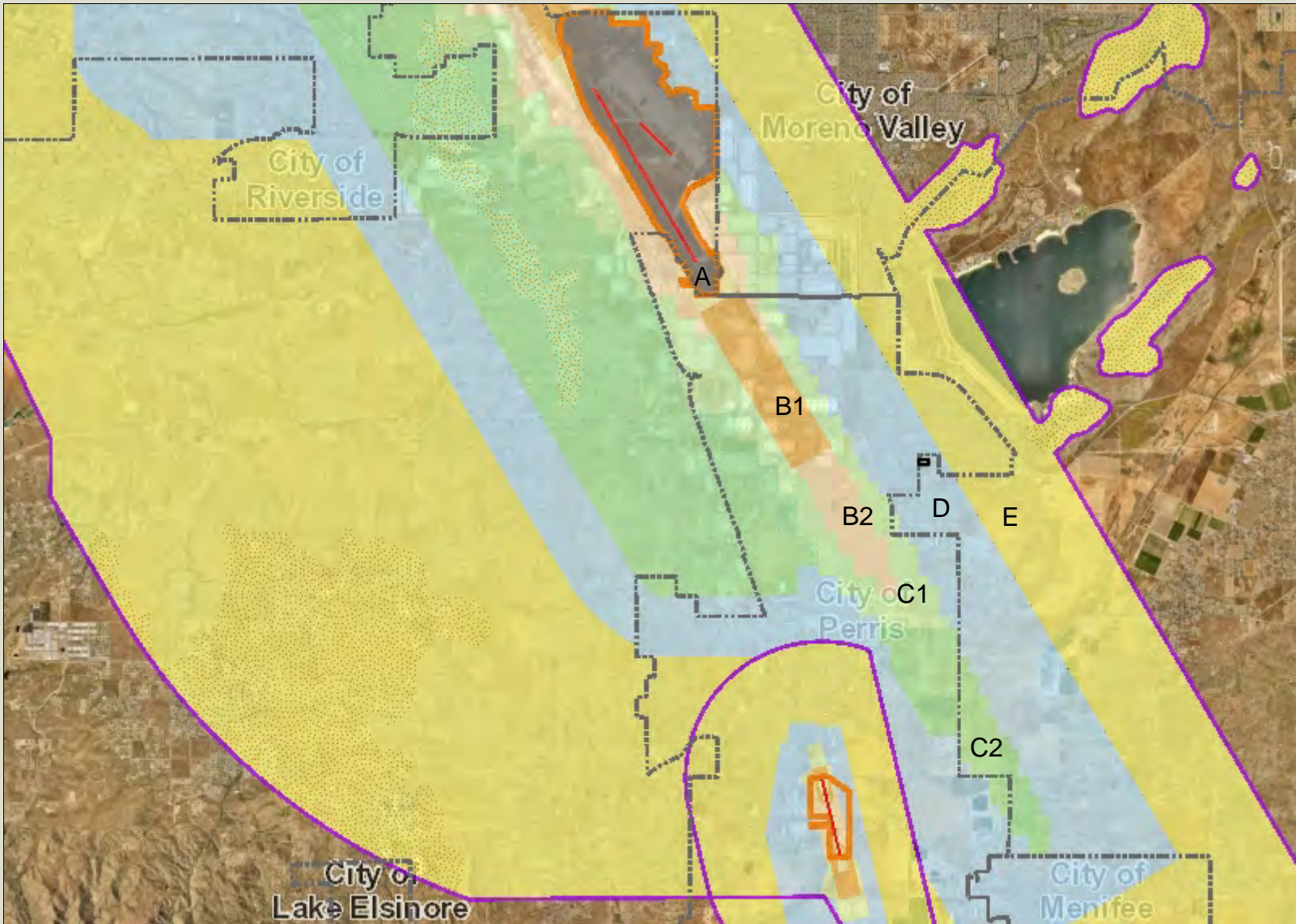
SEE INSET AT RIGHT

Map MA-1

**Compatibility Map  
March Air Reserve Base / Inland Port Airport**



# Map My County Map



### Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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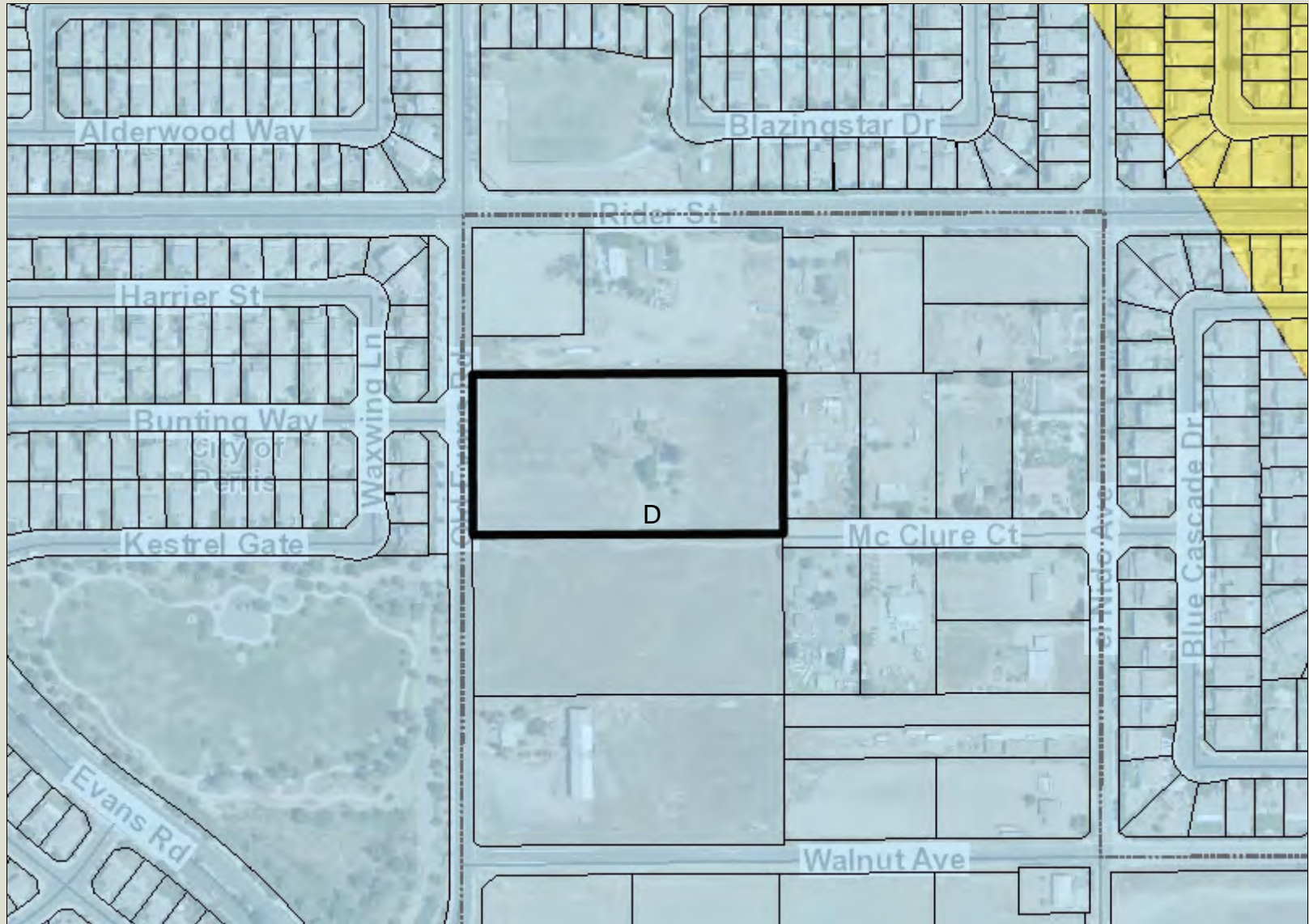
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### Notes



# Map My County Map



### Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas

#### Airport Compatibility Zones

- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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### Notes



# Map My County Map



- Legend**
- Parcels
  - County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**





# Map My County Map



- Legend**
- County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**





# Map My County Map



- Legend**
- Parcels
  - County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**





# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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## Notes







**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	03/23/22	90% ZD REVIEW	CB
1	05/31/22	90% ZD REVIEW	RL
2	06/21/22	PLACEHOLDER ZD'S	RL
3	06/27/22	100% ZD'S	RL
4	12/12/22	100% ZD'S WITH SEPTIC	RL

**PLANCOM**  
TELECOMMUNICATIONS PROJECT MANAGEMENT

302 STATE PLACE,  
ESCONDIDO, CALIFORNIA 92029

**PROPRIETARY INFORMATION**

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO APC TOWERS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO APC TOWERS IS STRICTLY PROHIBITED.

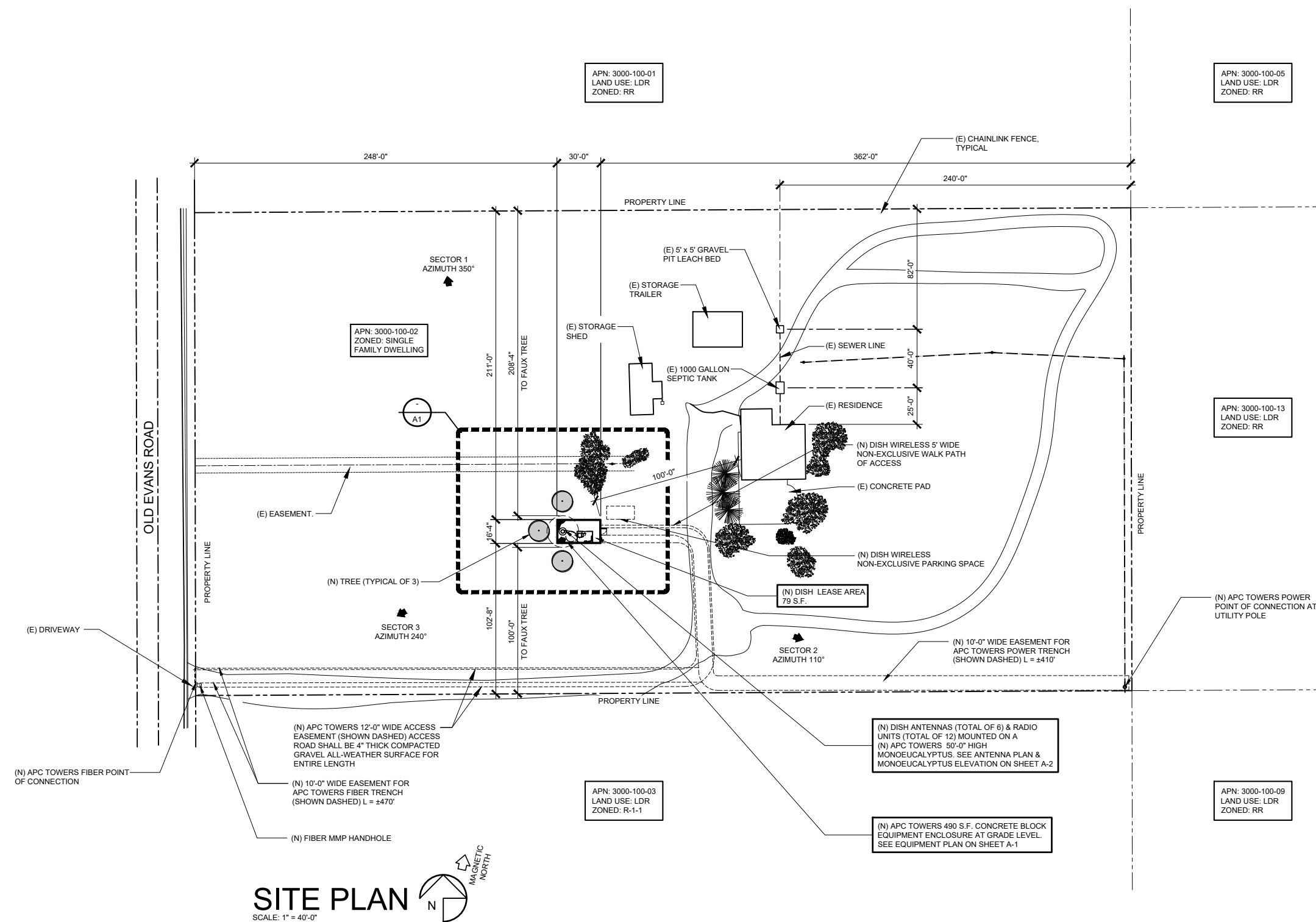
**APC Towers**  
8601 SIX FORKS ROAD, SUITE 250  
RALEIGH, NC 27615  
PHONE: (919) 324-1943

**EVANS PERRIS**  
**CA-1682**  
DISH WIRELESS  
LSSNA02198A - OLD EVANS  
20080 OLD EVANS ROAD  
PERRIS, CA 92571

SHEET TITLE:

SITE PLAN

**A-0**



**SITE PLAN**

SCALE: 1" = 40'-0"

**ENGINEERING NOTES:**

- THIS PROJECT DOES NOT PROPOSE WORK WITHIN THE PUBLIC RIGHT-OF-WAY
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES OF THE CITY OF PERRIS STORM WATER STANDARDS.



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	03/23/22	90% ZD REVIEW	CB
1	05/31/22	90% ZD REVIEW	RL
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4	12/12/22	100% ZD'S WITH SEPTIC	RL

**PLANCOM**  
TELECOMMUNICATIONS PROJECT MANAGEMENT  
302 STATE PLACE,  
ESCONDIDO, CALIFORNIA 92029

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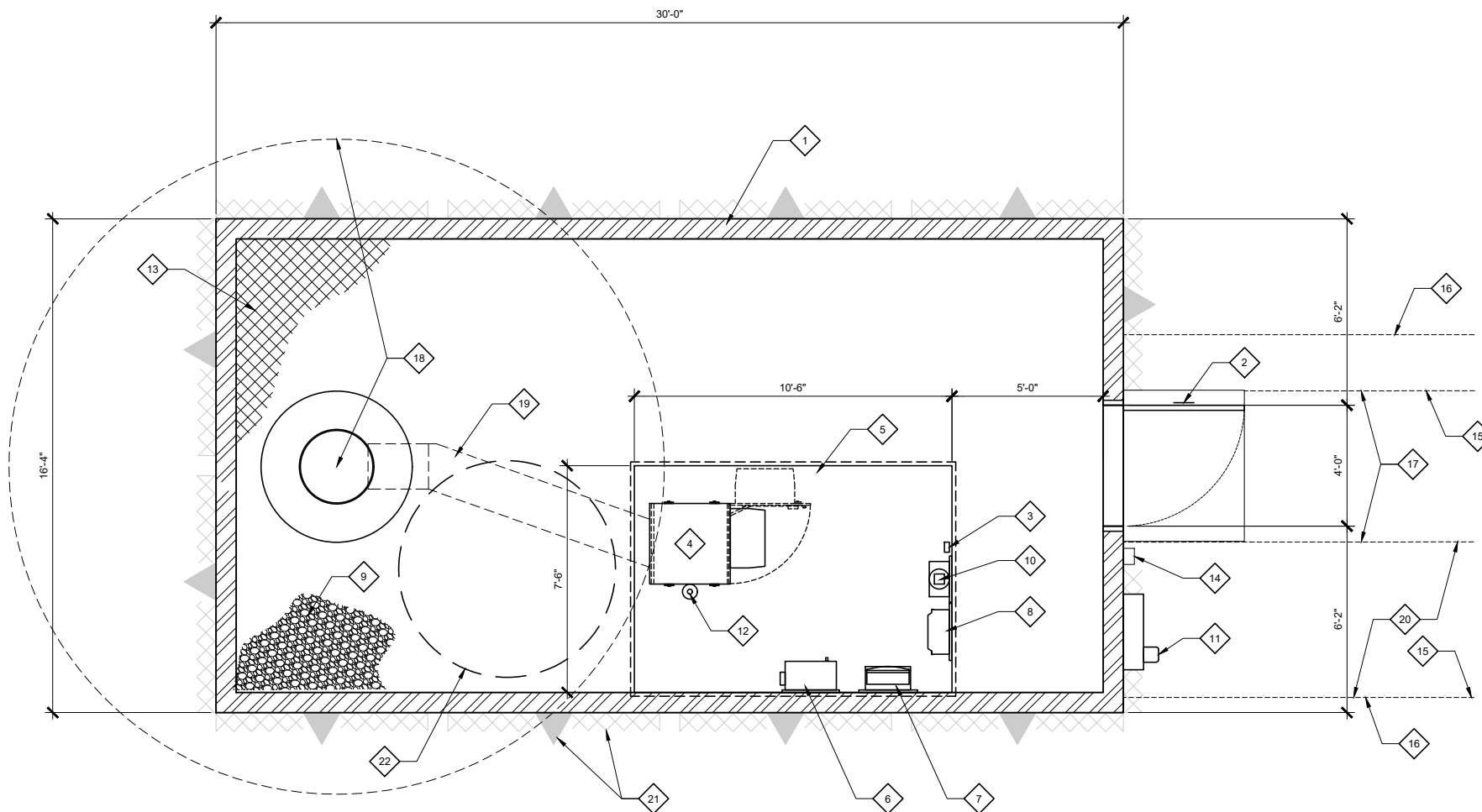
**APC Towers**  
8601 SIX FORKS ROAD, SUITE 250  
RALEIGH, NC 27615  
PHONE: (919) 324-1943

**EVANS PERRIS**  
**CA-1682**  
DISH WIRELESS  
LSSNA02198A - OLD EVANS  
20080 OLD EVANS ROAD  
PERRIS, CA 92571

SHEET TITLE:  
EQUIPMENT PLAN

**A-1**

NOTE:  
MONOEUCALYPTUS SHALL  
BE ENGINEERED FOR  
MULTIPLE CARRIERS



**KEYED NOTES:**

- 1 (N) APC TOWERS 16'-4" x 30'-0" x 6'-0" HIGH CONCRETE PRECISION BLOCK WALL EQUIPMENT ENCLOSURE, (490 SQ. FT. LEASE AREA) COLOR SHALL BE GREY OR EARTHTONE PER SECTION 19.410.0 OF ORDINANCE NO.348
- 2 (N) 4'-0" x 8'-0" HIGH CORRUGATED STEEL GATE AND DISH WIRELESS SIGNAGE. 8  
A4
- 3 (N) DISH WIRELESS WORK LIGHT ON A TIMER MOUNTED TO (N) WALL. ALL SERVICE LIGHTS SHALL BE HOODED TO MINIMIZE NEGATIVE IMPACT ON ADJACENT PROPERTIES AND WILDLIFE PER SECTION 19.410.F OF ORDINANCE NO. 348
- 4 (N) DISH WIRELESS EQUIPMENT CABINET INSIDE  
(N) EQUIPMENT ENCLOSURE ON A POURED-IN-PLACE CONCRETE PAD
- 5 (N) APC TOWERS 10'-6" X 7'-6" (79 SQ. FT.) POURED-IN-PLACE CONCRETE PAD
- 6 (N) PROTECTED POWER CABINET MOUNTED TO (N) WALL
- 7 (N) FIBER ENCLOSURE MOUNTED TO (N) WALL
- 8 (N) 200A LOCKABLE FUSED DISCONNECT MOUNTED TO (N) WALL
- 9 (N) 3/4" CRUSHED STONE GRAVEL OVER WEED BARRIER INSIDE EQUIPMENT ENCLOSURE
- 10 (N) FIRE EXTINGUISHER, CLASS "3A-40BC", MOUNTED TO WALL IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS
- 11 (N) WALL MOUNTED TRIPLE METER BASE, (1) FOR DISH WIRELESS & (2) FOR APC TOWERS.
- 12 (N) GPS ANTENNA MOUNTED TO (N) CABINET
- 13 (N) CHAIN LINK SECURITY LID INSIDE ENTIRE EQUIPMENT ENCLOSURE
- 14 (N) FIRE DEPARTMENT KNOX BOX MOUNTED TO CONCRETE BLOCK WALL
- 15 (N) APC TOWERS 10'-0" WIDE UTILITY EASEMENT ALONG (E) DRIVEWAY. (SHOWN DASHED) SEE SITE PLAN ON SHEET A-0 FOR ENTIRE ROUTE
- 16 (N) APC TOWERS 12'-0" WIDE ACCESS EASEMENT
- 17 (N) 5'-0" WIDE NON-EXCLUSIVE ACCESS PATH FOR DISH WIRELESS
- 18 (N) APC TOWERS 50'-0" HIGH MONOEUCALYPTUS & FOOTING. SEE SHEET A-2 FOR ANTENNA PLAN & MONOEUCALYPTUS ELEVATION
- 19 (N) CABLE CONDUIT TRENCH TO (N) MONOEUCALYPTUS LOCATION
- 20 (N) JOINT POWER AND FIBER CONDUIT TRENCH
- 21 (N) DROUGHT RESISTANT SHRUBS & VINES TO PROVIDE LANDSCAPE SCREENING AROUND EQUIPMENT ENCLOSURE. SEE LANDSCAPE PLANS SHEETS L-1 THRU L-5.
- 22 (N) LOOMIS LSIWX46 1500 GALLON WATER TANK FOR IRRIGATION (7'-2"Ø x 5'-10" TALL)

**EQUIPMENT PLAN**

SCALE: 3/8" = 1'-0"

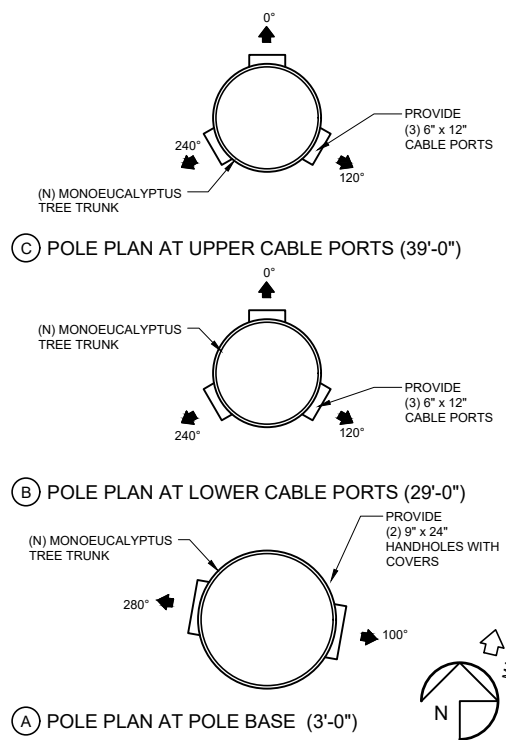




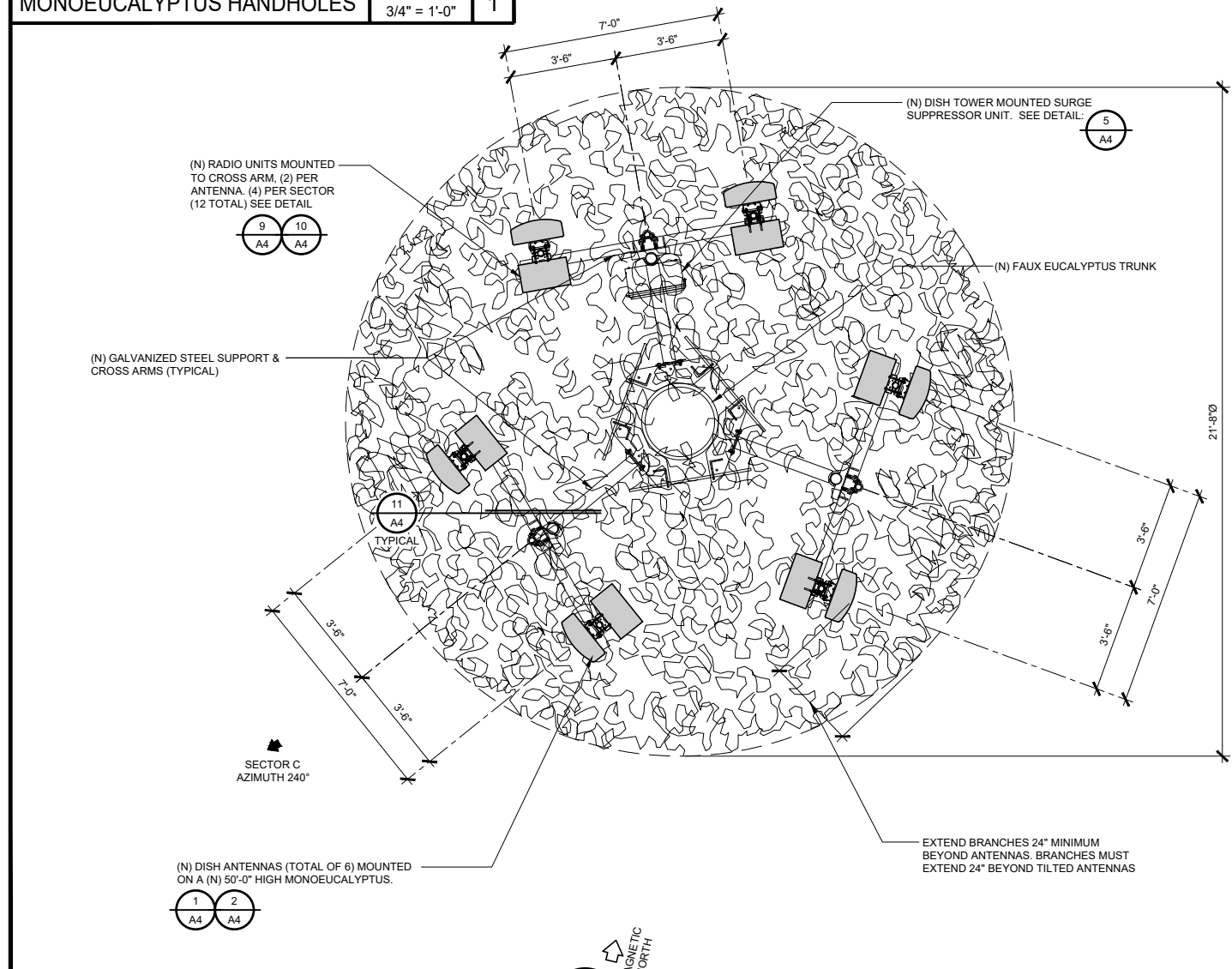
PROPOSED ANTENNA SCHEDULE

ANTENNA NUMBER	ANTENNA MODEL	RAD CENTER	AZIMUTH	CABLE LENGTH ②	RADIO UNIT TYPE ①	ACTIVE TECHNOLOGY
A1	PANEL ANTENNA	41'-0"	350°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
A2	PANEL ANTENNA	41'-0"	110°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
B1	PANEL ANTENNA	41'-0"	110°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
B2	PANEL ANTENNA	41'-0"	240°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
C1	PANEL ANTENNA	41'-0"	240°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
C2	PANEL ANTENNA	41'-0"	240°	71'-0"	(2) REMOTE RADIO UNITS PER SECTOR	TBD
OVP	RAYCAP RDIC-9181-PF-48					

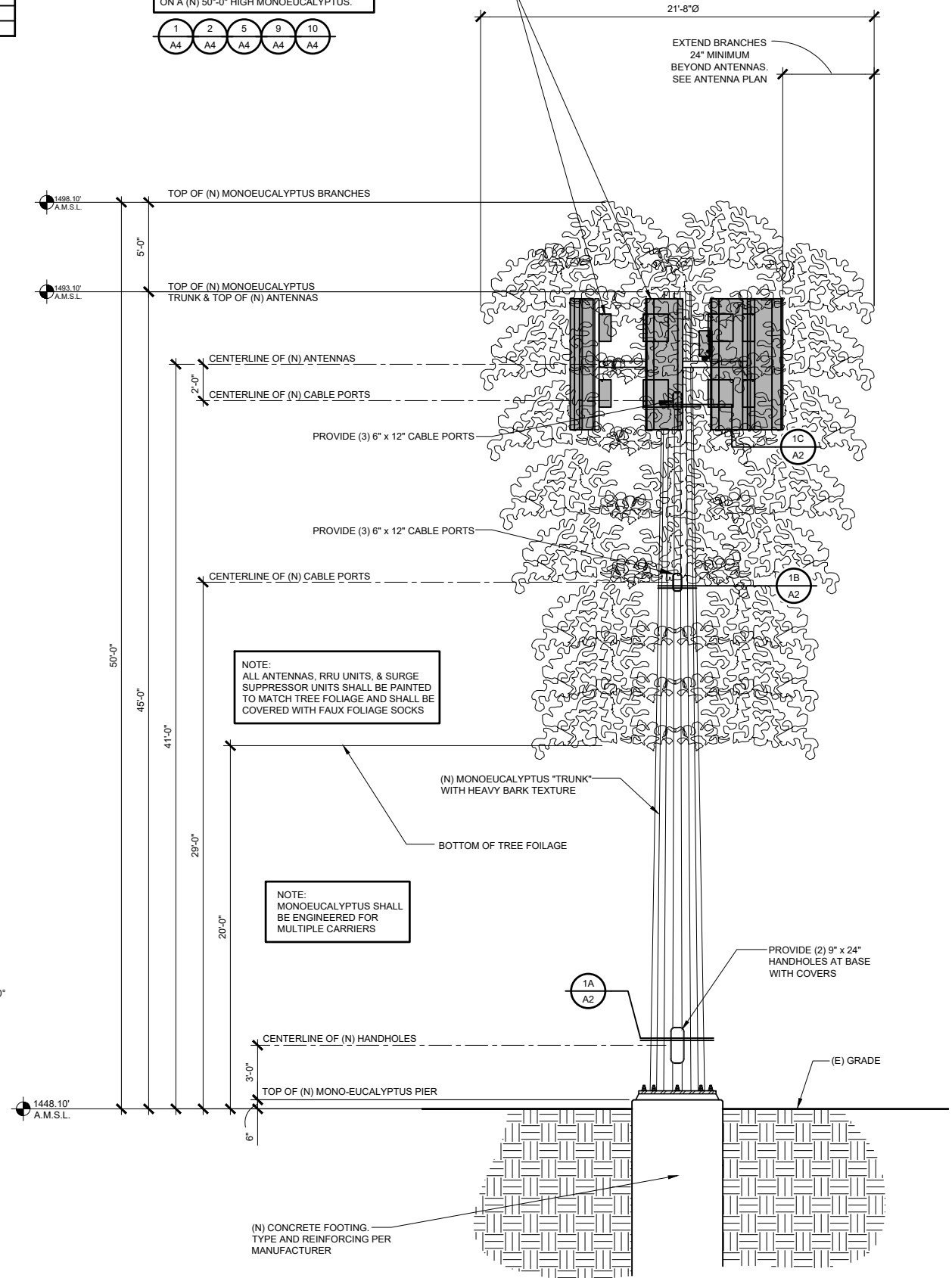
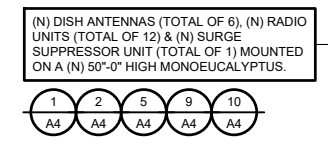
- NOTES:  
 1. ONE EACH PER ANTENNA. (4) PER SECTOR, (12) TOTAL  
 2. (1) 6X12 HCS HYBRID CABLE



MONOEUCALYPTUS HANDHOLES SCALE: 3/4" = 1'-0" 1



ANTENNA PLAN SCALE: 3/8" = 1'-0"



MONO-EUCALYPTUS ELEVATION SCALE: 1/4" = 1'-0"

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	03/23/22	90% ZD REVIEW	CB
1	05/31/22	90% ZD REVIEW	RL
2	06/21/22	PLACEHOLDER ZD'S	RL
3	06/27/22	100% ZD'S	RL
4	12/12/22	100% ZD'S WITH SEPTIC	RL

**PLANCOM**  
 TELECOMMUNICATIONS PROJECT MANAGEMENT  
 302 STATE PLACE,  
 ESCONDIDO, CALIFORNIA 92029

PROPRIETARY INFORMATION  
 THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO APC TOWERS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO APC TOWERS IS STRICTLY PROHIBITED.

**APC Towers**  
 8601 SIX FORKS ROAD, SUITE 250  
 RALEIGH, NC 27615  
 PHONE: (919) 324-1943

EVANS PERRIS  
 CA-1682  
 DISH WIRELESS  
 LSSNA02198A - OLD EVANS  
 20080 OLD EVANS ROAD  
 PERRIS, CA 92571

SHEET TITLE:  
 ANTENNA PLAN &  
 MONO-EUCALYPTUS  
 ELEVATION



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	03/23/22	90% ZD REVIEW	CB
1	05/31/22	90% ZD REVIEW	RL
2	06/21/22	PLACEHOLDER ZD'S	RL
3	06/27/22	100% ZD'S	RL
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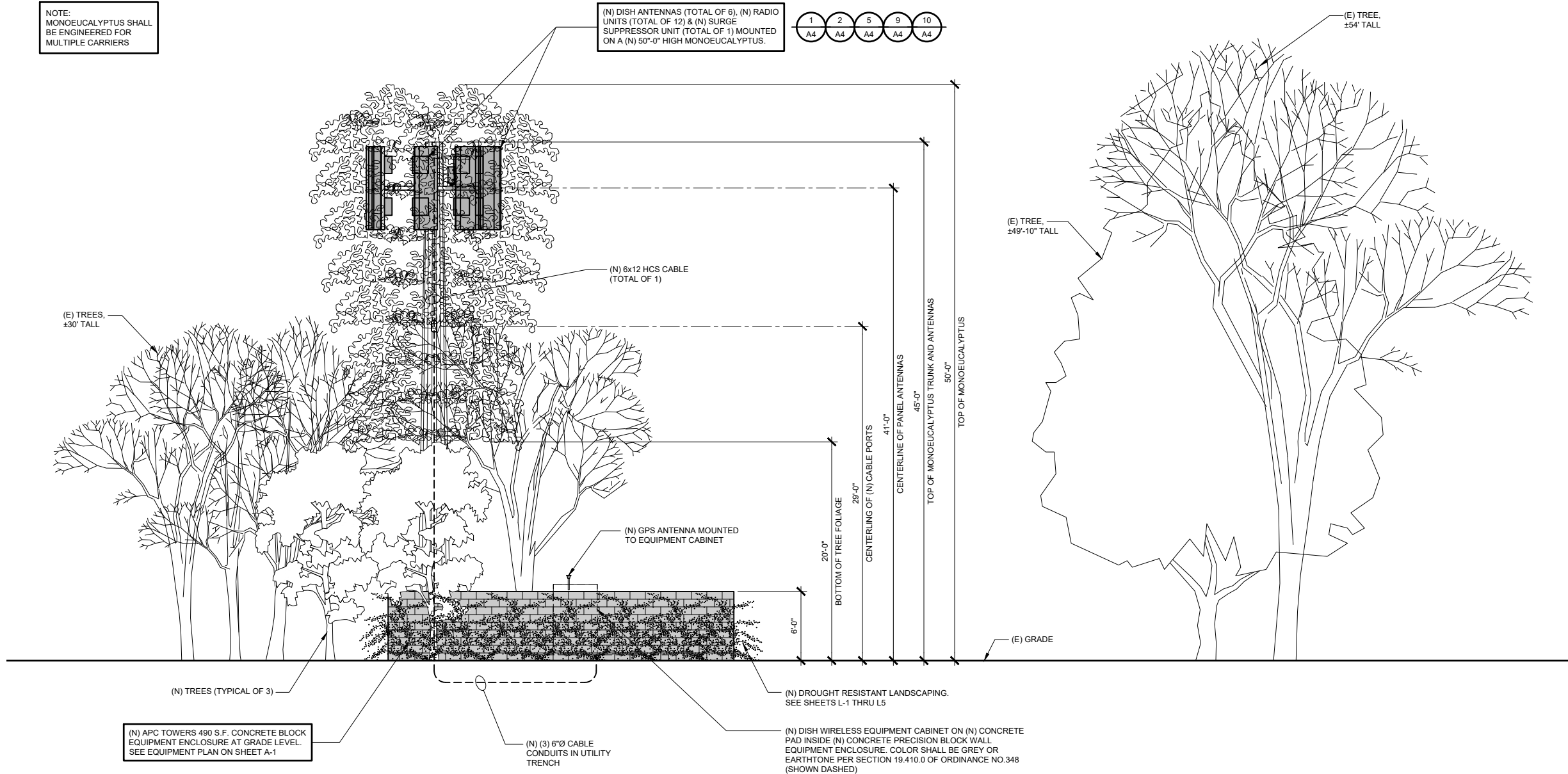
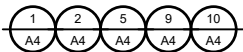
SHEET TITLE:  
 EXTERIOR ELEVATION

**A-3**

NOTE:  
 ALL ANTENNAS, RRU UNITS, & SURGE SUPPRESSOR UNITS SHALL BE PAINTED TO MATCH TREE FOLIAGE AND SHALL BE COVERED WITH FAUX FOLIAGE SOCKS

NOTE:  
 MONOECALYPTUS SHALL BE ENGINEERED FOR MULTIPLE CARRIERS

(N) DISH ANTENNAS (TOTAL OF 6), (N) RADIO UNITS (TOTAL OF 12) & (N) SURGE SUPPRESSOR UNIT (TOTAL OF 1) MOUNTED ON A (N) 50'-0" HIGH MONOECALYPTUS.



**SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"



**ISSUE STATUS**

REV.	DATE	DESCRIPTION	BY
0	03/23/22	90% ZD REVIEW	CB
1	05/31/22	90% ZD REVIEW	RL
2	06/21/22	PLACEHOLDER ZD'S	RL
3	06/27/22	100% ZD'S	RL
4	12/12/22	100% ZD'S WITH SEPTIC	RL



TELECOMMUNICATIONS PROJECT MANAGEMENT  
302 STATE PLACE,  
ESCONDIDO, CALIFORNIA 92029

**PROPRIETARY INFORMATION**

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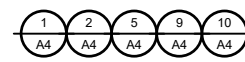
**EVANS PERRIS**  
**CA-1682**  
DISH WIRELESS  
LSSNA02198A - OLD EVANS  
20080 OLD EVANS ROAD  
PERRIS, CA 92571

SHEET TITLE:  
EXTERIOR ELEVATION

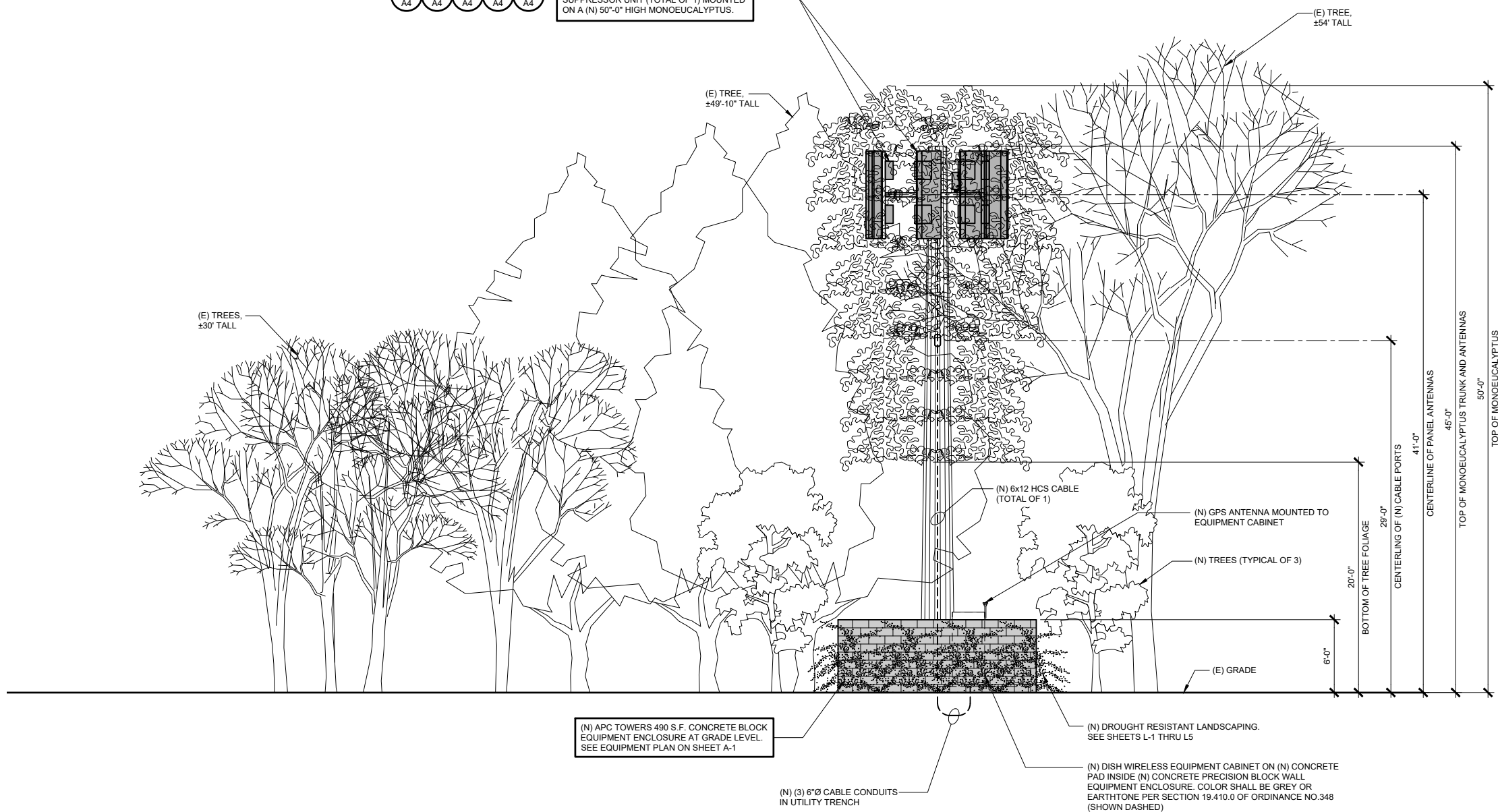
**A-3.1**

NOTE:  
ALL ANTENNAS, RRU UNITS, & SURGE SUPPRESSOR UNITS SHALL BE PAINTED TO MATCH TREE FOLIAGE AND SHALL BE COVERED WITH FAUX FOLIAGE SOCKS

NOTE:  
MONOEUCALYPTUS SHALL BE ENGINEERED FOR MULTIPLE CARRIERS

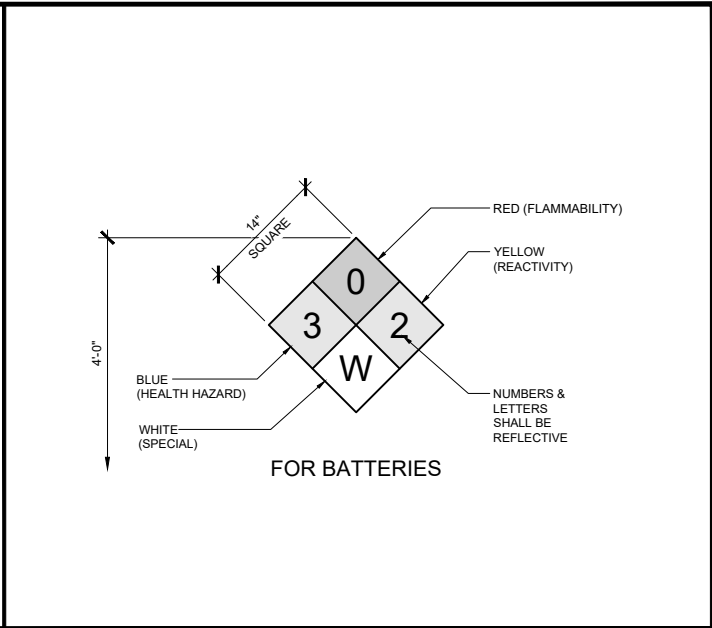
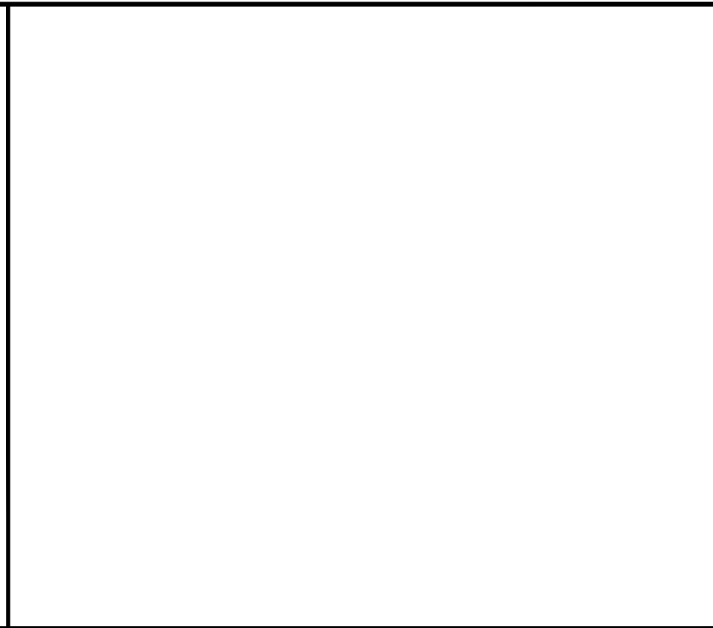
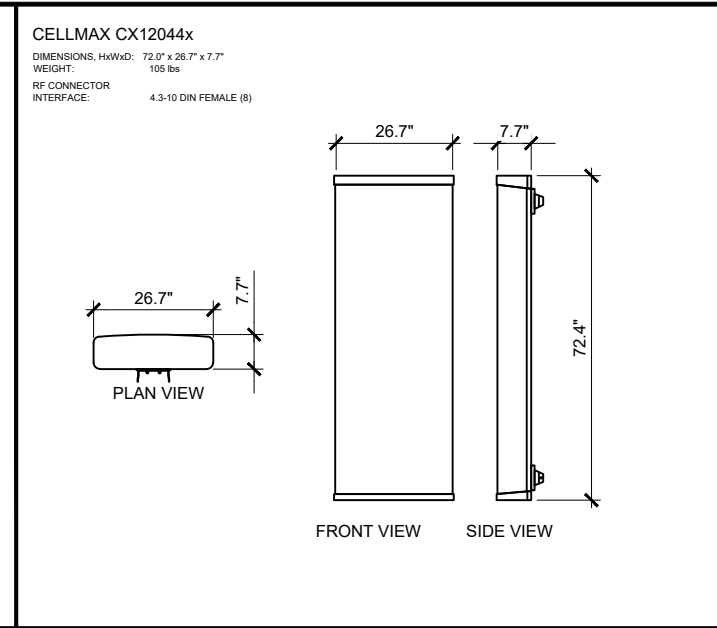
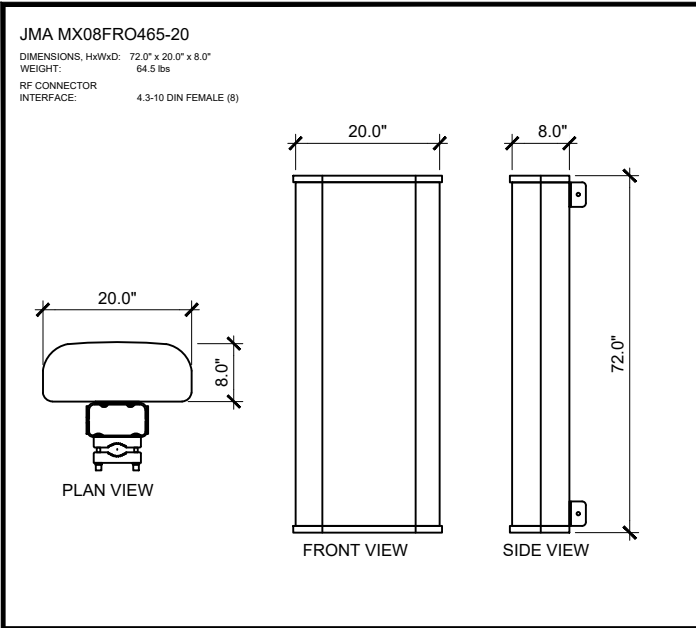


(N) DISH ANTENNAS (TOTAL OF 6), (N) RADIO UNITS (TOTAL OF 12) & (N) SURGE SUPPRESSOR UNIT (TOTAL OF 1) MOUNTED ON A (N) 50'-0" HIGH MONOEUCALYPTUS.



**WEST ELEVATION**  
SCALE: 3/16" = 1'-0"





**PLANCOM**  
 TELECOMMUNICATIONS PROJECT MANAGEMENT

302 STATE PLACE,  
 ESCONDIDO, CALIFORNIA 92029

**PROPRIETARY INFORMATION**

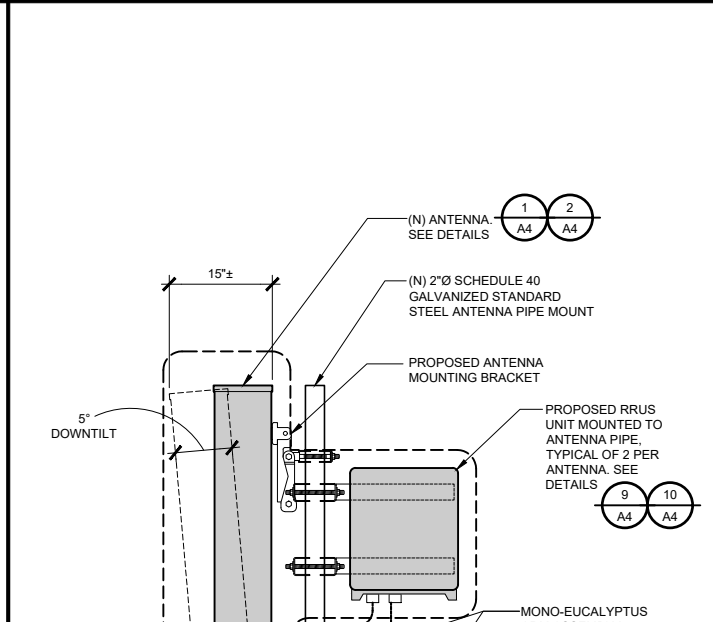
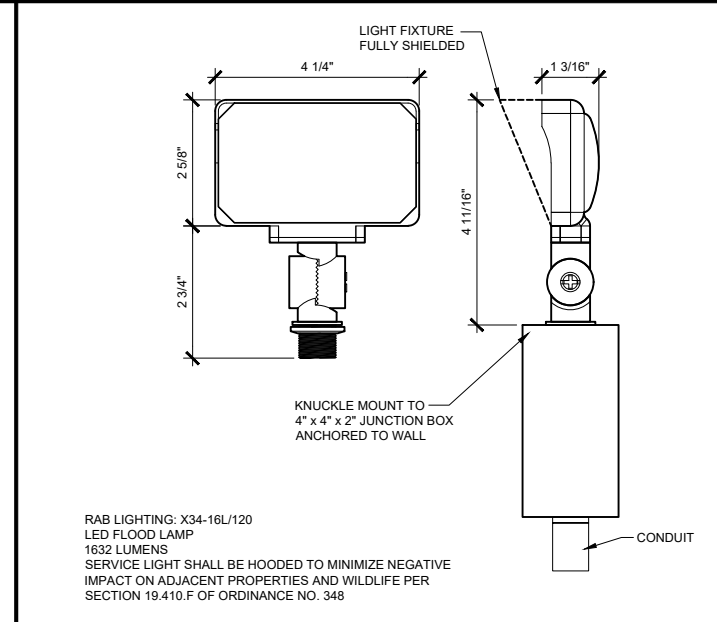
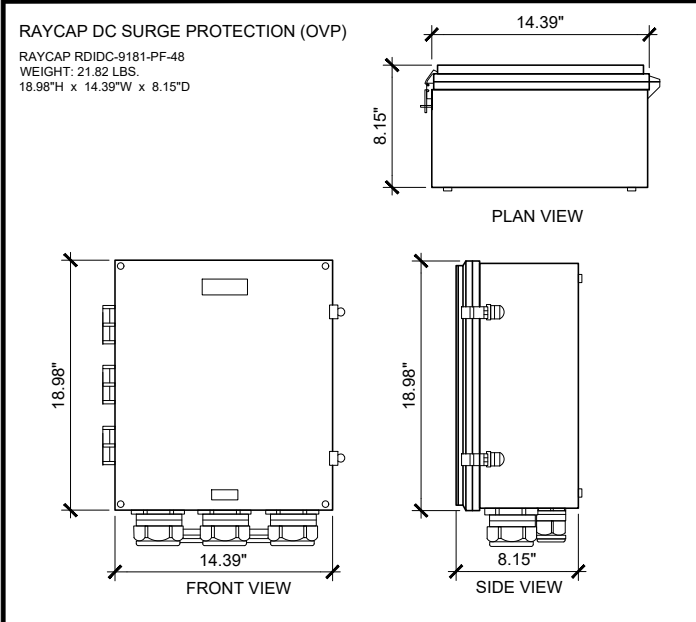
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY & CONFIDENTIAL TO APC TOWERS. ANY USE OR DISCLOSURE OTHER THAN AS IT RELATES TO APC TOWERS IS STRICTLY PROHIBITED.

ANTENNA SPECIFICATIONS SCALE: N.T.S. 1

ANTENNA SPECIFICATIONS SCALE: N.T.S. 2

NOT USED 3

NFPA 704 PLACARD SCALE: N.T.S. 4



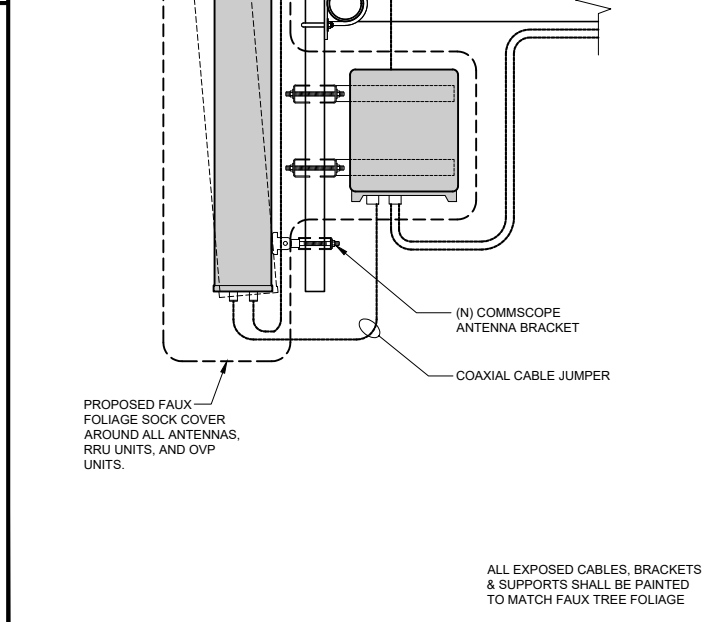
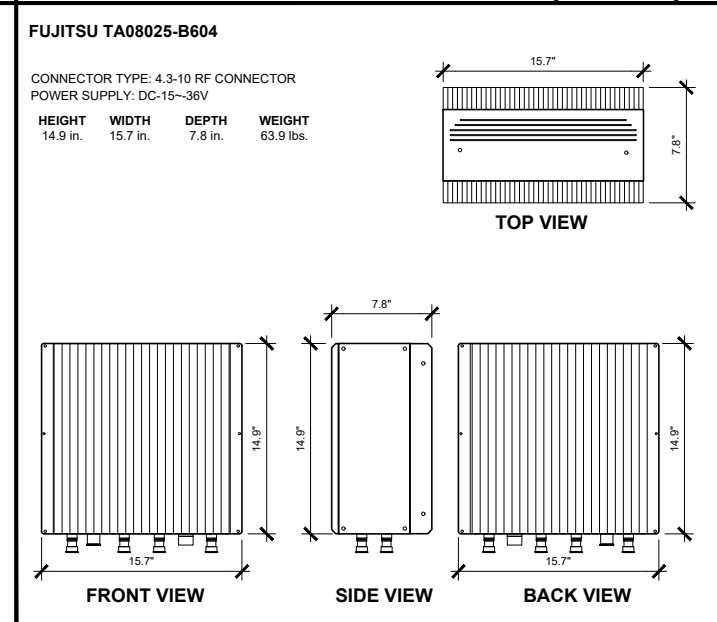
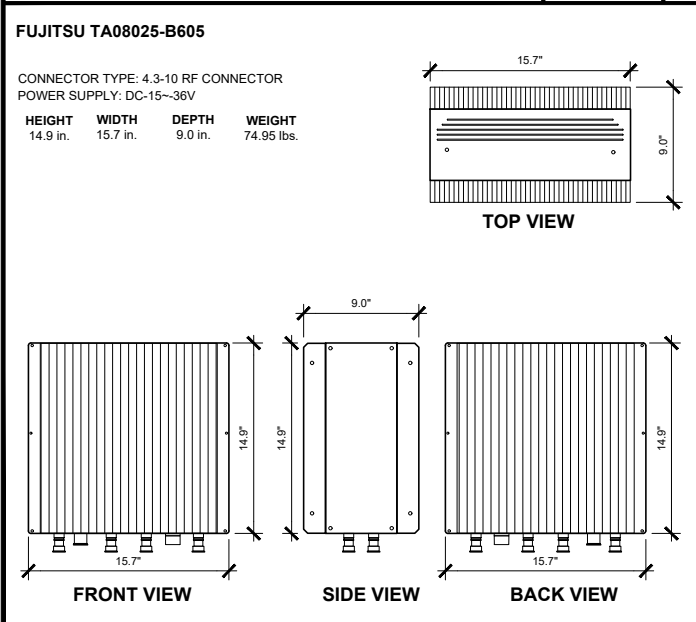
NOT USED 8

RAYCAP SURGE SUPPRESSOR UNIT SCALE: N.T.S. 5

SERVICE LIGHT SCALE: N.T.S. 6

NOT USED 8

NOT USED 8



NOT USED 12

RRU SPECIFICATIONS SCALE: N.T.S. 9

RRU SPECIFICATIONS SCALE: N.T.S. 10

ANTENNA & RRU MOUNTING SCALE: N.T.S. 11

NOT USED 12

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 RALEIGH, NC 27615  
 PHONE: (919) 324-1943

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 CA-1682  
 DISH WIRELESS  
 LSSNA02198A - OLD EVANS  
 20080 OLD EVANS ROAD  
 PERRIS, CA 92571

SHEET TITLE:  
 EQUIPMENT PLATFORM PLAN

**A-4**





# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

March 1, 2023

Roberto Gonzalez, Project Planner  
City of Jurupa Valley Planning Department  
8930 Limonite Avenue  
Jurupa Valley CA 92509

**CHAIR**  
Steve Manos  
Lake Elsinore

**VICE CHAIR**  
Russell Betts  
Desert Hot Springs

**COMMISSIONERS**

John Lyon  
Riverside

Steven Stewart  
Palm Springs

Richard Stewart  
Moreno Valley

Michael Geller  
Riverside

Vernon Poole  
Murrieta

**STAFF**

Director  
Paul Rull

Simon A. Housman  
Jackie Vega  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14th Floor.  
Riverside, CA 92501  
(951) 955-5132

[www.rcaluc.org](http://www.rcaluc.org)

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR’S DETERMINATION**

File No.: ZAP1109RI23  
Related File No.: MA22006 (Tentative Tract Map No.37943)  
APNs: 165-150-021 and 165-150-022  
Airport Zone: Zone E

Dear Mr. Gonzalez

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Jurupa Valley Case No. MA22006 (Tentative Tract Map No.37943), a proposal to divide 5.23 acres into 22 single-family residential lots, located southerly of Stearns Street, northerly of 60<sup>th</sup> street, easterly of Hudson Street, and westerly of Van Buren Boulevard.

The site is located within Airport Compatibility Zone E of the Riverside Municipal Airport Influence Area (AIA). Within Compatibility Zone E of the Riverside Municipal Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 9-27 at its westerly terminus is 757.6 feet above mean sea level (AMSL). At a distance of approximately 12,228 feet from the runway to the site, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 880 feet AMSL. The site’s finished floor elevation is 712 feet AMSL and proposed building height is 65 feet, resulting in a top point elevation of 777 feet AMSL. Therefore, review of the building for height/elevation reasons by the FAA Obstruction Evaluation Service (FAAOES) was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Riverside Municipal Airport Land Use Compatibility Plan, provided that the City of Jurupa Valley applies the following recommended conditions:

**CONDITIONS:**

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses are prohibited:
  - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight



final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
  - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
  - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
  - (e) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

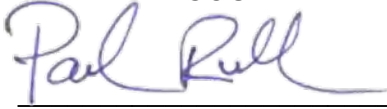
Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at [RCALUC.ORG](http://RCALUC.ORG) which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please contact me at (951) 955-6893.



Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

A handwritten signature in blue ink that reads "Paul Rull". The signature is fluid and cursive, with the first name "Paul" and last name "Rull" clearly distinguishable.

---

Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Hamo Rostamian (applicant/representative)  
HI Bermuda Dunes LLC (representative)  
Daniel Prather, Airport Manager, Riverside Municipal  
Airport ALUC Case File

X:\AIRPORT CASE FILES\Riverside\ZAP1109RI23\ZAP1109RI23. LTR.doc



# NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



# NOTICE

THERE IS AN AIRPORT NEARBY.  
THIS STORM WATER BASIN IS DESIGNED TO HOLD  
STORM WATER FOR ONLY 48 HOURS AND  
NOT TO ATTRACT BIRDS

PROPER MAINTENANCE IS NECESSARY TO AVOID  
BIRD STRIKES

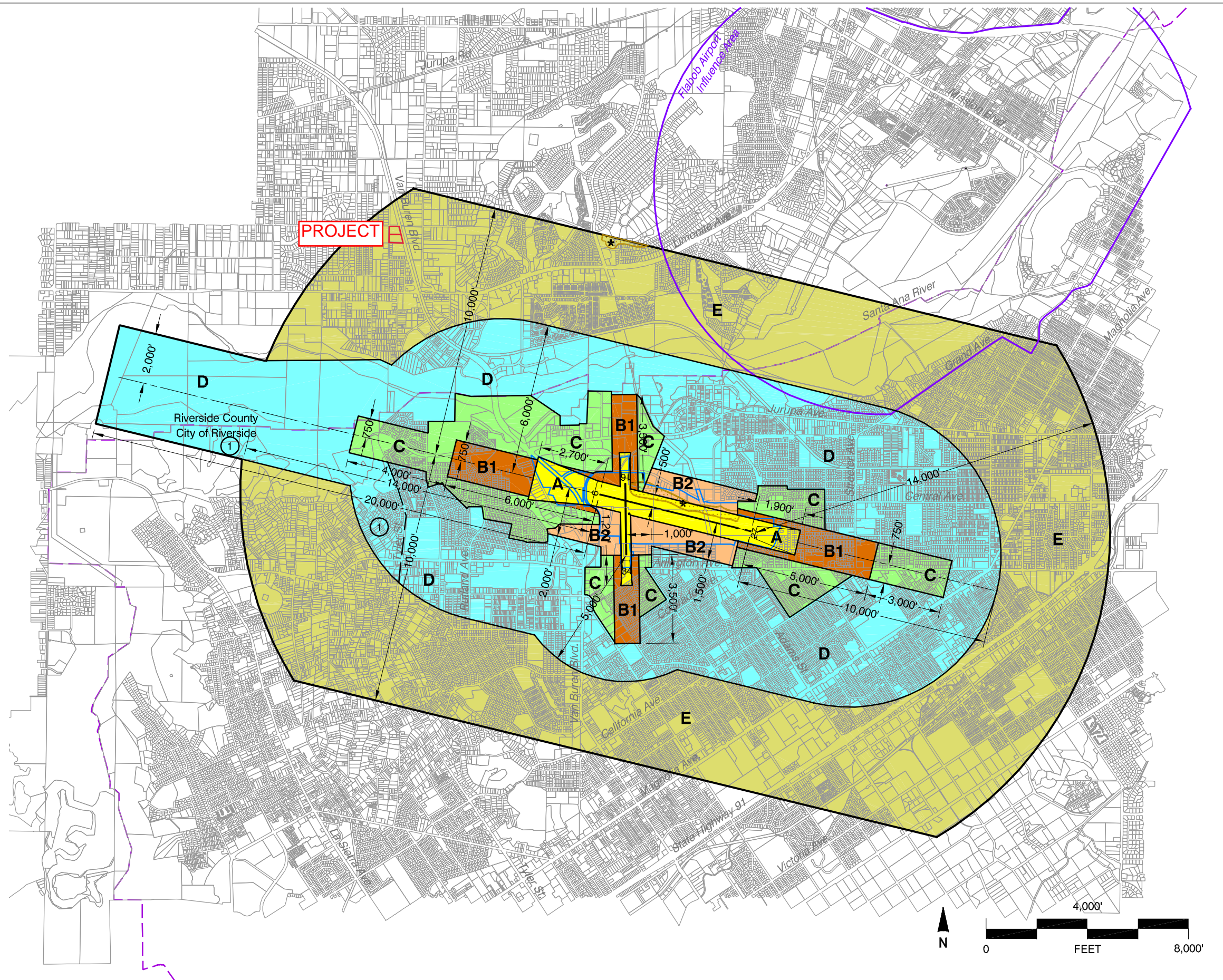


**IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:**

**Name:** \_\_\_\_\_

**Phone:** \_\_\_\_\_





**Legend**

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits

Note

Airport influence boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map. See Section RI.2 for special exceptions to the Table 2A criteria.

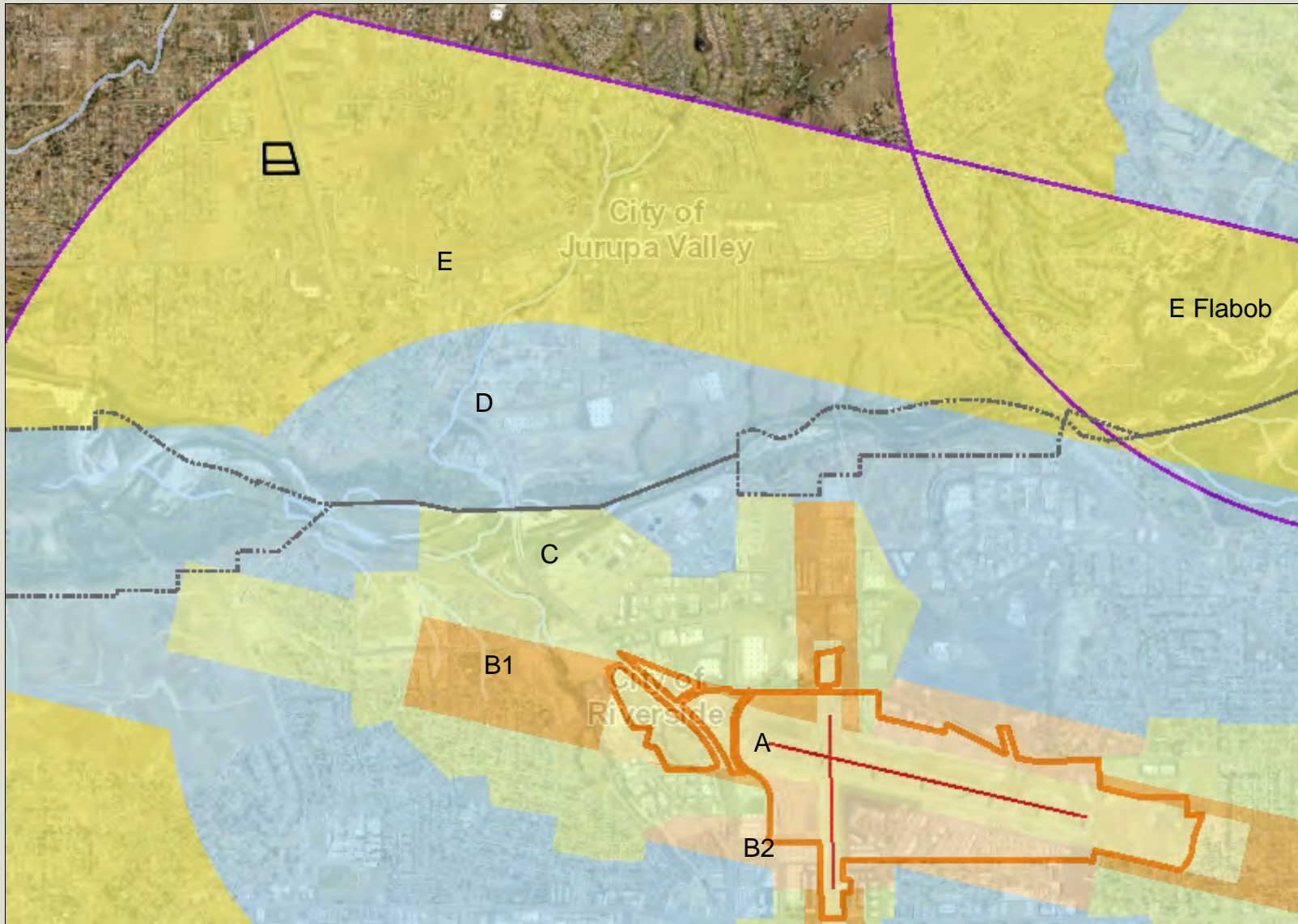
**Riverside County**  
**Airport Land Use Commission**  
**Riverside County**  
**Airport Land Use Compatibility Plan**  
**Policy Document**  
*(Adopted March 2005)*

Map RI-1

**Compatibility Map**  
**Riverside Municipal Airport**



# Map My County Map



- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



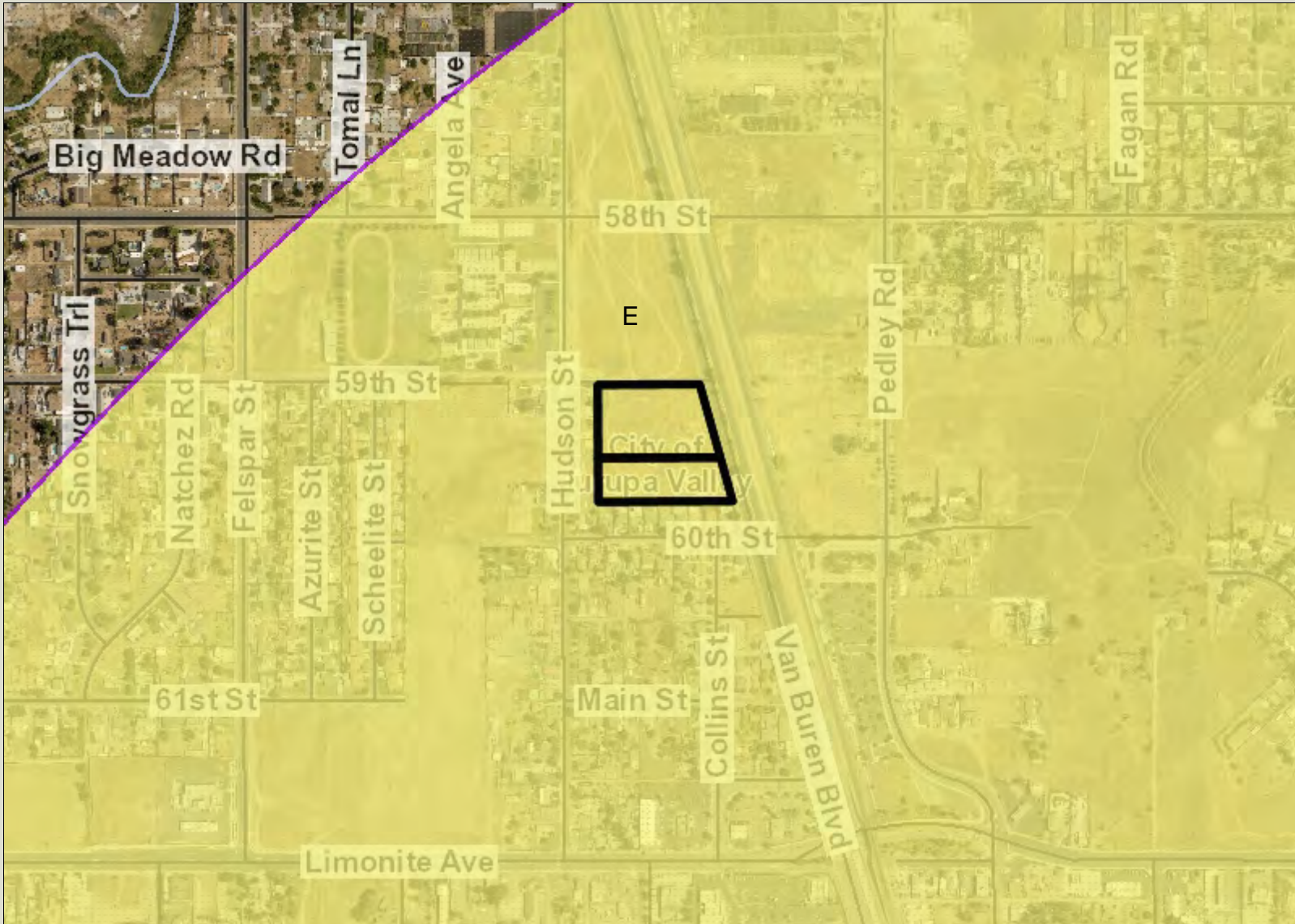
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## Notes



# Map My County Map



## Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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0 770 1,539 Feet

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## Notes



# Map My County Map



## Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

## Notes

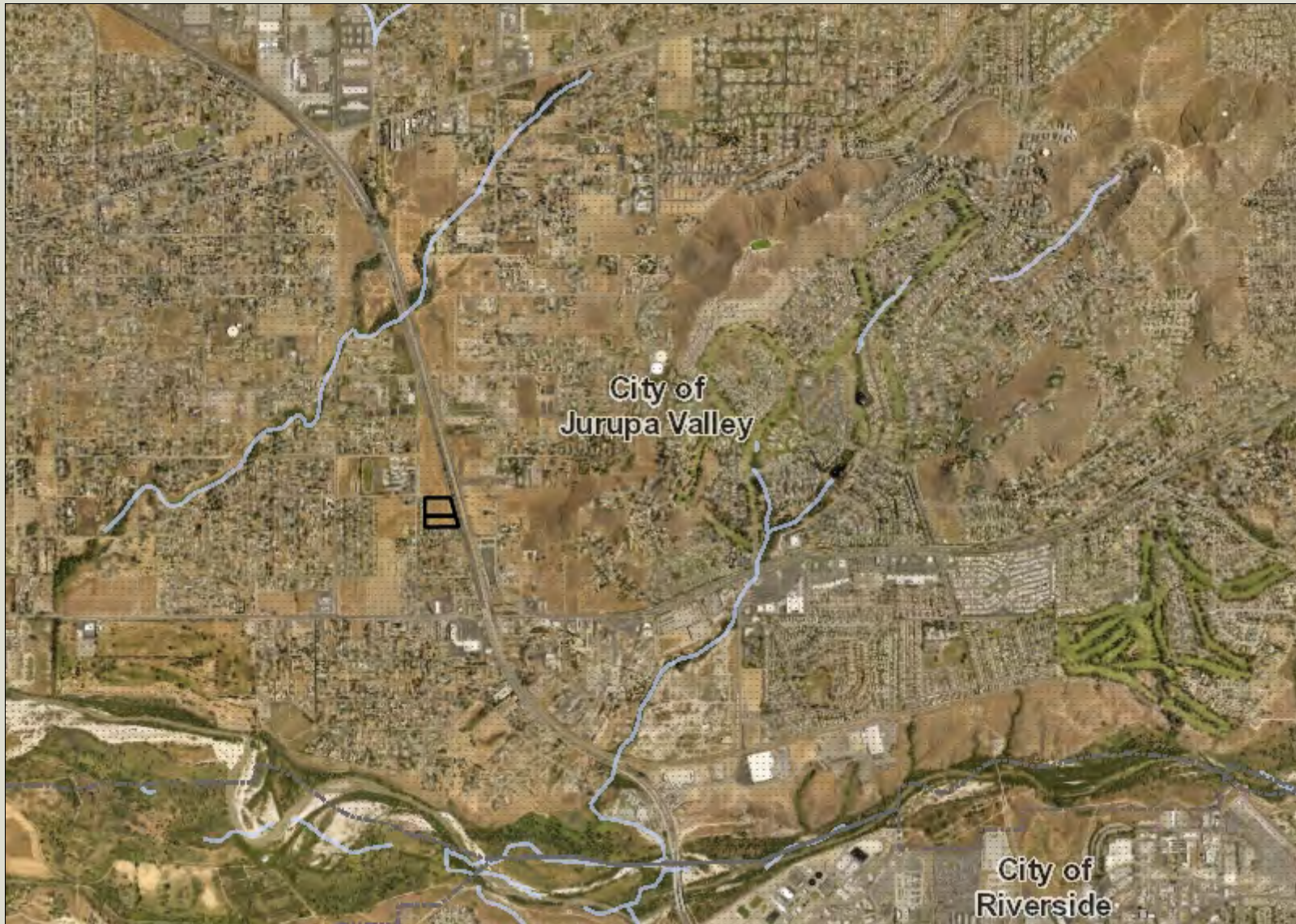
0 770 1,539 Feet

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© Riverside County GIS



# Map My County Map



## Legend

-  Blueline Streams
-  City Areas
-  World Street Map



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## Notes



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# Map My County Map



- Legend**
- County Centerline Names
  - County Centerlines
  - Blueline Streams
  - City Areas
  - World Street Map



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**Notes**





# Map My County Map



## Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



**\*IMPORTANT\*** Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

0 385 770 Feet

REPORT PRINTED ON... 2/27/2023 11:15:11 AM

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## Notes



RG Planning - For Tentative Tract Map Exhibits it is not necessary to include landscaping, floor plans, patio cover locations, etc. Landscaping details should be provided in a separate Conceptual Landscaping Plan Exhibit. This Tentative Tract Map exhibit should focus on the technical information required for tract maps.

Floor Plans and other building information will be provided as a separate Site Plan or Floor Plan Exhibit. For Tentative Tract Maps it is sufficient to include building footprints with the associated data. Providing these separate exhibits will help the tentative tract map demonstrate the required technical information.

RG Planning - Please review the letter from JCSD in detail. This letter discusses the availability of water and sewer for the tract.

RG Planning - Please provide a separate exhibit showing walls and fencing for the project. The exhibit should include detailed information about the materials and dimensions of these walls and fencing. Generally, chain linked fencing is prohibited. Decorative block walls on public facing walls are acceptable. Vinyl walls are acceptable when internal property walls.

RG Planning - Within the R-1 Zone, lots are required to have a min frontage of 60 ft. This lot does not meet that requirement.

**CONSTRUCTION NOTES:**

- ① CONST. SUMP PUMP;
- ② CONST. BIO-RETENTION SYSTEM;
- ③ CONST. PERMEABLE PVM; 16,770 SF
- ④ CONST. AC PVM;
- ⑤ CONST. PCC PVM;
- ⑥ CONST. DRIVEWAY APPROACH;
- ⑦ CONST. 4" PVC PIPE;

RG Planning - When preparing elevation for public facing properties like the ones on lot 1, 18, 19 please ensure that that the public facing walls have enhanced elevations. Lots 20, 21, and 22 also appear to have public facing elevations that will require enhanced elevations.

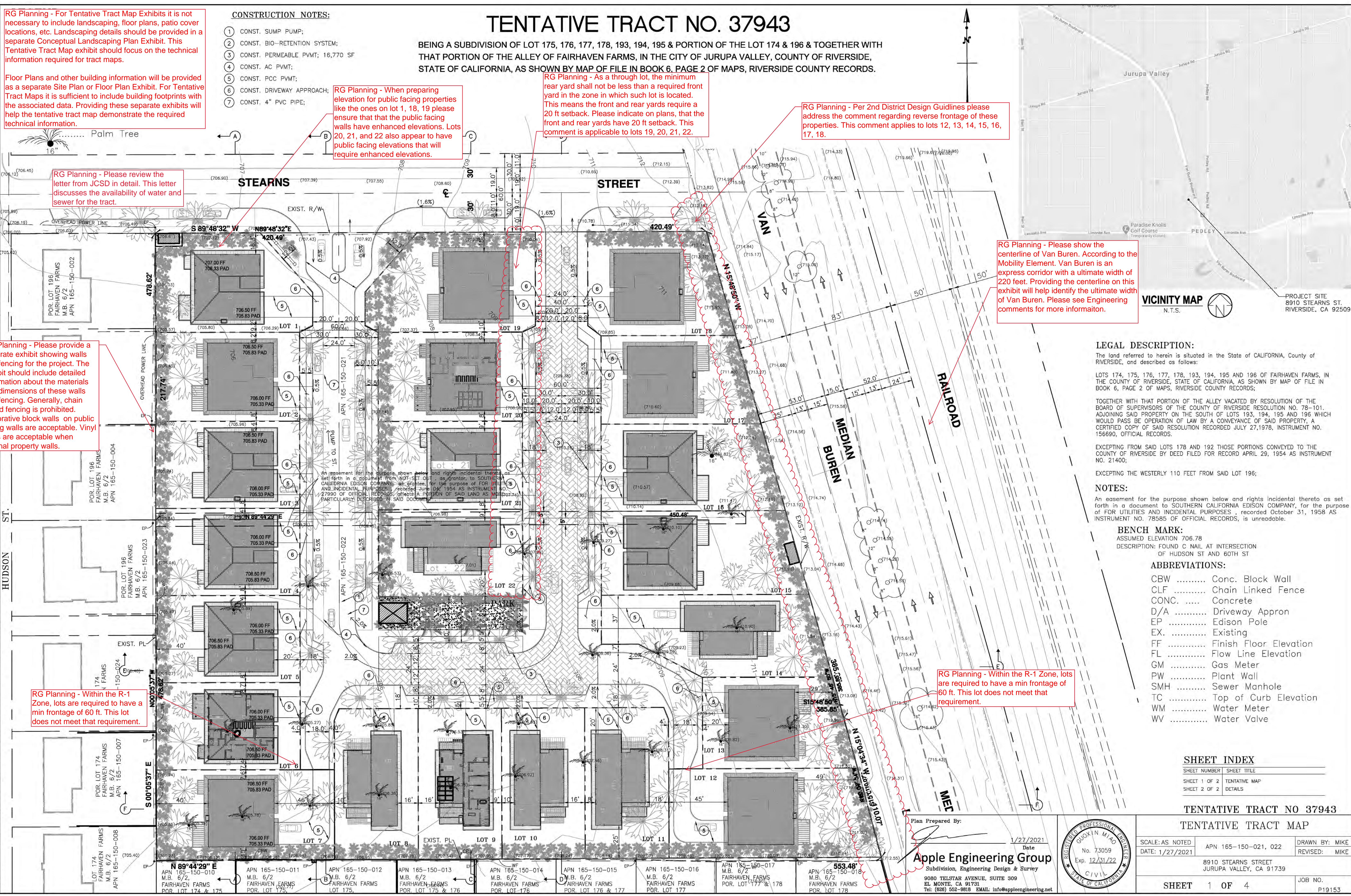
RG Planning - As a through lot, the minimum rear yard shall not be less than a required front yard in the zone in which such lot is located. This means the front and rear yards require a 20 ft setback. Please indicate on plans, that the front and rear yards have 20 ft setback. This comment is applicable to lots 19, 20, 21, 22.

RG Planning - Per 2nd District Design Guidelines please address the comment regarding reverse frontage of these properties. This comment applies to lots 12, 13, 14, 15, 16, 17, 18.

RG Planning - Please show the centerline of Van Buren. According to the Mobility Element, Van Buren is an express corridor with a ultimate width of 220 feet. Providing the centerline on this exhibit will help identify the ultimate width of Van Buren. Please see Engineering comments for more information.

# TENTATIVE TRACT NO. 37943

BEING A SUBDIVISION OF LOT 175, 176, 177, 178, 193, 194, 195 & PORTION OF THE LOT 174 & 196 & TOGETHER WITH THAT PORTION OF THE ALLEY OF FAIRHAVEN FARMS, IN THE CITY OF JURUPA VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP OF FILE IN BOOK 6, PAGE 2 OF MAPS, RIVERSIDE COUNTY RECORDS.



**LEGAL DESCRIPTION:**

The land referred to herein is situated in the State of CALIFORNIA, County of RIVERSIDE, and described as follows:

LOTS 174, 175, 176, 177, 178, 193, 194, 195 AND 196 OF FAIRHAVEN FARMS, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP OF FILE IN BOOK 6, PAGE 2 OF MAPS, RIVERSIDE COUNTY RECORDS;

TOGETHER WITH THAT PORTION OF THE ALLEY VACATED BY RESOLUTION OF THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE RESOLUTION NO. 78-101, ADJOINING SAID PROPERTY ON THE SOUTH OF LOTS 193, 194, 195 AND 196 WHICH WOULD PASS BE OPERATION OF LAW BY A CONVEYANCE OF SAID PROPERTY, A CERTIFIED COPY OF SAID RESOLUTION RECORDED JULY 27, 1978, INSTRUMENT NO. 156690, OFFICIAL RECORDS.

EXCEPTING FROM SAID LOTS 178 AND 192 THOSE PORTIONS CONVEYED TO THE COUNTY OF RIVERSIDE BY DEED FILED FOR RECORD APRIL 29, 1954 AS INSTRUMENT NO. 21400;

EXCEPTING THE WESTERLY 110 FEET FROM SAID LOT 196;

**NOTES:**

An easement for the purpose shown below and rights incidental thereto are set forth in a document to SOUTHERN CALIFORNIA EDISON COMPANY, for the purpose of FOR UTILITIES AND INCIDENTAL PURPOSES, recorded October 31, 1958 AS INSTRUMENT NO. 78585 OF OFFICIAL RECORDS, is unreadable.

**BENCH MARK:**

ASSUMED ELEVATION 706.78  
DESCRIPTION: FOUND C NAIL AT INTERSECTION OF HUDSON ST AND 60TH ST

**ABBREVIATIONS:**

- CBW ..... Conc. Block Wall
- CLF ..... Chain Linked Fence
- CONC. .... Concrete
- D/A ..... Driveway Apron
- EP ..... Edison Pole
- EX. .... Existing
- FF ..... Finish Floor Elevation
- FL ..... Flow Line Elevation
- GM ..... Gas Meter
- PW ..... Plant Wall
- SMH ..... Sewer Manhole
- TC ..... Top of Curve Elevation
- WM ..... Water Meter
- WV ..... Water Valve

**SHEET INDEX**

SHEET NUMBER	SHEET TITLE
SHEET 1 OF 2	TENTATIVE MAP
SHEET 2 OF 2	DETAILS

**TENTATIVE TRACT NO 37943**

**TENTATIVE TRACT MAP**

SCALE: AS NOTED	APN 165-150-021, 022	DRAWN BY: MIKE
DATE: 1/27/2021		REVISED: MIKE

8910 STEARNS STREET  
JURUPA VALLEY, CA 91739

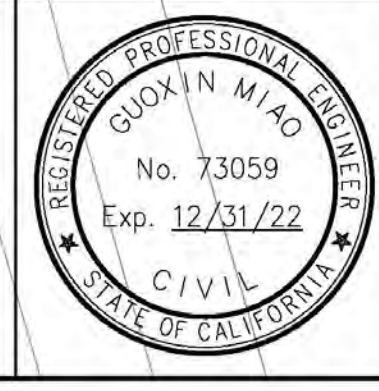
SHEET 1 OF 4

JOB NO. P19153

Plan Prepared By:

Date: 1/27/2021

**Apple Engineering Group**  
Subdivision, Engineering Design & Survey  
9080 TELSTAR AVENUE, SUITE 309  
EL MONTE, CA 91731  
Tel: (626) 552-9818 EMAIL: info@appleengineering.net



C:\Users\Mike\Dropbox\Apple Drawings\19153- 8910 Stearns St. Jurupa Valley\220. Tentative Map\Gen012021-01-08-19153TM-2021.dwg



# TENTATIVE TRACT NO. 37943

IN THE CITY OF JURUPA VALLEY, COUNTY OF RIVERSIDE  
STATE OF CALIFORNIA

Parcel #	Area	Perimeter	Segment Lengths	Segment Bearings
1	8164.72	362.37	24.93 11.55 109.83 75.88 80.12 0.00 60.06	S0° 11' 28"E S59° 48' 32"W S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E S41° 24' 59"E S41° 24' 59"E
2	7417.60	354.78	67.50 109.95 67.50 109.83	S0° 11' 28"E S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E
3	7315.29	353.01	66.50 110.06 66.50 109.95	S0° 11' 28"E S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E
4	7322.82	353.24	110.17 66.50 110.06 66.50	S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E S0° 11' 28"E
5	7330.34	353.46	110.29 66.50 110.17 66.50	S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E S0° 11' 28"E
6	7337.87	353.69	110.40 66.50 110.29 66.50	S89° 48' 32"W N0° 05' 37"W N89° 48' 32"E S0° 11' 28"E
7	9437.99	411.25	69.08 136.52 69.24 110.40 26.00	S0° 11' 28"E S89° 44' 29"W N0° 05' 37"W N89° 48' 32"E N89° 48' 32"E
8	7289.21	354.00	115.01 63.50 69.08 38.08 8.91 59.42	S0° 11' 28"E S89° 44' 29"W N0° 11' 28"W N0° 11' 28"W N27° 05' 46"E N89° 48' 32"E
9	7300.63	356.94	114.93 63.50 115.01 63.50	S0° 11' 28"E S89° 44' 29"W N0° 11' 28"W N89° 48' 32"E
10	7295.88	356.79	114.86 63.50 114.93 63.50	S0° 11' 28"E S89° 44' 29"W N0° 11' 28"W N89° 48' 32"E
11	7334.95	354.98	38.29 68.28 64.00 114.86 60.69 8.65	S0° 11' 28"E S0° 11' 28"E S89° 44' 29"W N0° 11' 28"W N89° 48' 32"E S22° 08' 22"E
12	10462.16	445.58	70.46 162.47 68.28 26.00 118.37	S15° 04' 34"E S89° 44' 29"W N0° 11' 28"W N89° 48' 32"E N89° 48' 32"E
13	7627.58	360.24	39.61 118.37 70.00 99.32 32.93	S15° 04' 34"E S89° 48' 32"W N0° 11' 28"W N89° 48' 32"E S15° 48' 50"E
14	9133.59	442.65	54.36 28.23 37.50 158.35 64.90 99.32	N62° 48' 39"W S89° 48' 32"W N0° 11' 28"W N89° 48' 32"E S15° 48' 50"E S89° 48' 32"W
15	9589.66	429.60	140.39 66.66 158.35 64.20	N89° 48' 32"E S15° 48' 50"E S89° 48' 32"W N0° 11' 28"W
16	8693.39	397.39	68.84 140.39 66.30 121.85	S15° 48' 50"E S89° 48' 32"W N0° 11' 28"W N89° 48' 32"E
17	7588.00	362.42	67.50 102.98 70.09 121.85	N0° 11' 28"W N89° 48' 32"E S15° 48' 50"E S89° 48' 32"W
18	8036.94	359.70	90.78 82.42 102.98 14.14 69.38	N89° 48' 32"E S15° 48' 50"E S89° 48' 32"W N45° 11' 28"W N0° 11' 28"W
19	8883.05	378.20	11.55 24.36 60.99 89.65 0.01 70.10 11.55 110.00	N60° 11' 28"W N0° 11' 28"W N41° 13' 44"E N89° 48' 17"E S0° 11' 28"E S0° 11' 28"E S59° 48' 32"W S89° 48' 32"W
20	7479.96	356.00	68.00 110.00 68.00 110.00	N0° 11' 28"W N89° 48' 32"E S0° 11' 28"E S89° 48' 32"W

Parcel #	Area	Perimeter	Segment Lengths	Segment Bearings
21	7424.96	355.00	67.50 110.00 67.50 110.00	N0° 11' 28"W N89° 48' 32"E S0° 11' 28"E S89° 48' 32"W
22	7341.36	353.48	66.74 110.00 66.74 110.00	N0° 11' 28"W N89° 48' 32"E S0° 11' 28"E S89° 48' 32"W
23	57408.53	2147.84	40.00 69.38 14.14 67.50 66.30 64.20 37.50 28.23 54.36 70.00 26.00 38.29 8.85 60.69 63.50 63.50 59.42 8.91 38.08 26.00 66.50 66.50 66.50 66.50 67.50 11.55 24.93 60.06 119.93 60.99 24.36 11.55 68.00 67.50 66.74 110.00 66.74 67.50 68.00 11.55 70.10	N89° 47' 51"E S0° 11' 28"E S45° 11' 28"E S0° 11' 28"E S0° 11' 28"E S0° 11' 28"E N89° 48' 32"E S62° 48' 39"E S0° 11' 28"E S89° 48' 32"W N0° 11' 28"W N22° 08' 22"W S89° 48' 32"W S89° 48' 32"W S89° 48' 32"W S89° 48' 32"W S27° 05' 46"W S0° 11' 28"E N0° 05' 37"W N89° 48' 32"W N0° 11' 28"W N0° 11' 28"W N0° 11' 28"W N0° 11' 28"W N59° 48' 32"E N0° 11' 28"W N41° 24' 59"W N89° 48' 41"E S41° 13' 44"W S0° 11' 28"E S60° 11' 28"E S0° 11' 28"E S0° 11' 28"E N89° 48' 32"E N0° 11' 28"W N0° 11' 28"W N0° 11' 28"W N59° 48' 32"E N0° 11' 28"W

TOTAL: 233,208.20 SF

### UTILITY PURVEYORS INFORMATION:

CATEGORY	COMPANY	PHONE
ELECTRICITY	SOUTHERN CALIFORNIA EDISON	(800) 655-4555
	RANCHO CUCAMONGA MUNICIPAL UTILITY	(909) 919-2612
GAS	SOUTHERN CALIFORNIA GAS	(800) 427-2200
WATER	WESTERN MUNICIPAL WATER DISTRICT	(951) 571-7100
CABLE TV	SPECTRUM	(909) 740-6873
REFUSE	BURTEC DISPOSAL	(951) 786-0639

### CIVIL ENGINEER/SURVEYOR:

APPLE ENGINEERING GROUP  
9080 TELSTAR AVE. SUITE 309  
EL MONTE, CA 91731  
Tel: (626) 552-9818  
EMAIL: INFO@APPLEENGINEERING.NET

### OWNER/DEVELOPER:

NAJI J. GARABET/GARABET FAMILY TRUST  
302 W. FOOTHILL BLVD.  
GLENDDORA, CA 91741  
PHONE: 626-552-9818

### PROJECT DESCRIPTION

- PROJECT: 23 LOTS SUBDIVISION (22 RESIDENTIAL LOTS, ONE COMMON LOT)  
AT:  
8910 STEARNS ST.  
JURUPA VALLEY (RIVERSIDE COUNTY), CA 91739 2. LOT

### AREA:

APN #	AREA (AC/SF)	NOTES
165-150-021	3.12/135,907	GROSS AREA: 233,217.40 SF
165-150-022	2.11/91,912	ROAD AREA: 61,490.70 SF
TOTAL	5.23/227,819	NET AREA: 171,726.70 SF

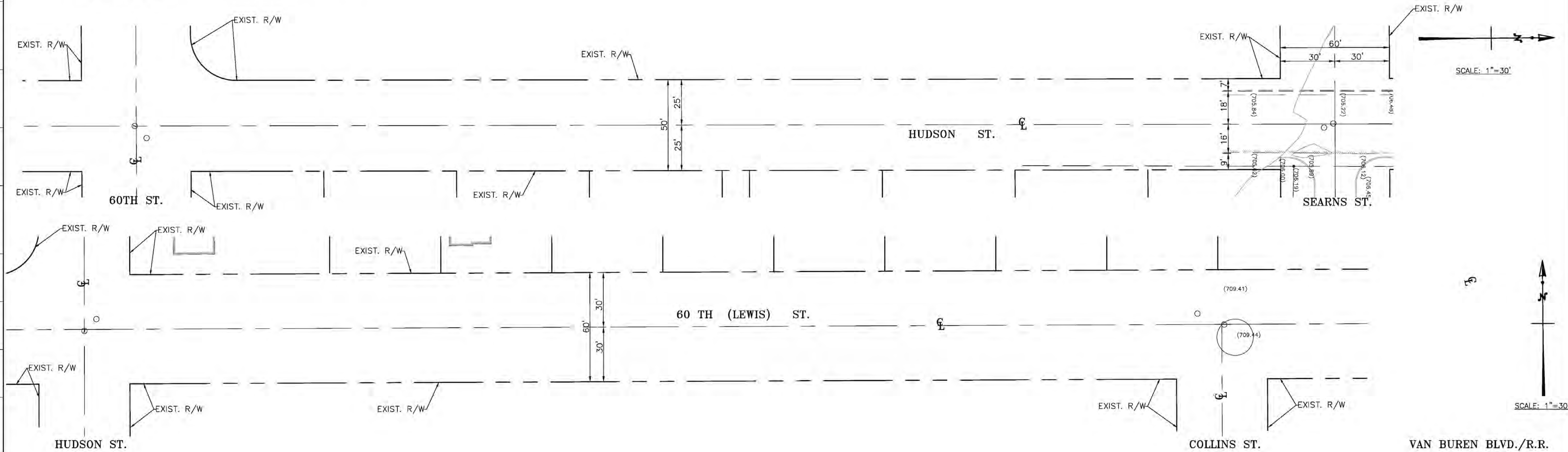
- EXIST. ZONE: R1
- PROP. ZONE: R1, SAME AS EXIST.
- THIS PROJECT WILL BE ONE PHASE.
- SCHOOL DISTRICT: JURUPA UNIFIED;
- GEOLOGIC: BASED ON THE RIVERSIDE COUNTY PARCEL REPORT SUBJECT PROPERTY NOT IN A FAULT ZONE, NOT IN A FAULT LINE, THIS PROJECT IN A HIGH LIQUEFACTION POTENTIAL;
- HYDROLOGY: THIS PROJECT OUTSIDE FLOODPLAIN, REVIEW NOT REQUIRED, FLOOD CONTROL BY RIVERSIDE COUNTY FLOOD CONTROL DISTRICT.
- WATERSHED: SANTA ANA RIVER;
- FEMA FLOOD ZONE: ZONE X, FLOOD MAP AREA #06065C0705G, 08/28/2008

### HYDROLOGY AREA CALCULATIONS:

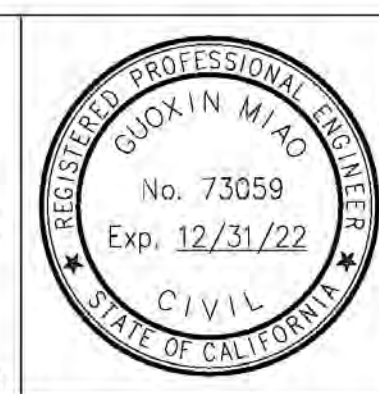
	PERVIOUS AREA (SF/AC, %)	IMPERVIOUS AREA (SF/AC, %)	TOTAL AREA(SF/AC, %)
EXISTING	233,217/5.354, 100%	0.00/0.000, 0.00%	233,217/5.354, 100%
PROPOSE	129,431/2.971, 56%	103,787/2.383, 44%	

### LID BMPs:

- PROPOSE 2,673 SF BIO-RETENTION SYSTEM, SEE CONST. NOTE #2, ON PAGE 1 OF 2;
- PROPOSE LANDSCAPE AREA, SEE PAGE 1 OF 2;
- PLACE "NO DUMPING" SIGN AT THE BMPs, SEE DETAIL HEREON;



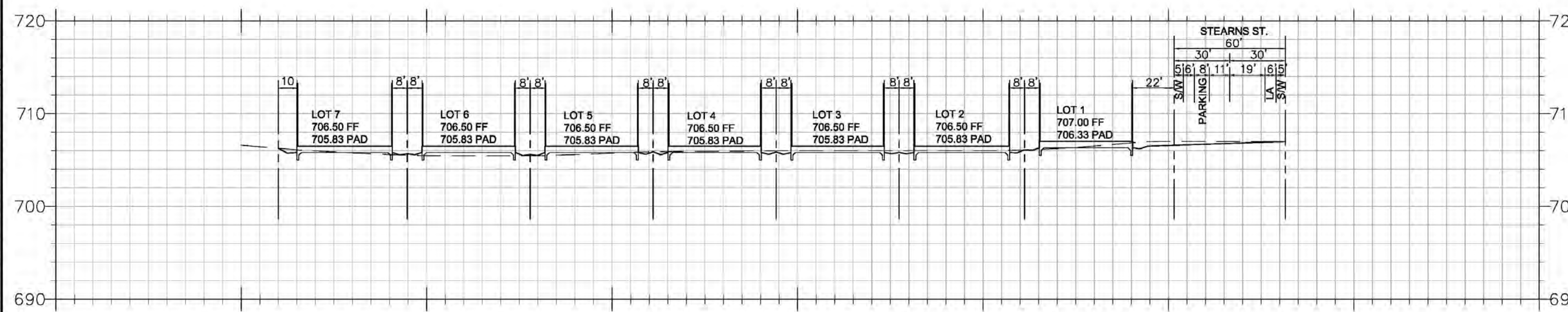
Plan Prepared By:  
*[Signature]*  
Date: 1/27/2021  
**Apple Engineering Group**  
Subdivision, Engineering Design & Survey  
9080 TELSTAR AVENUE, SUITE 309  
EL MONTE, CA 91731  
Tel: (626) 552-9818 EMAIL: info@appleengineering.net



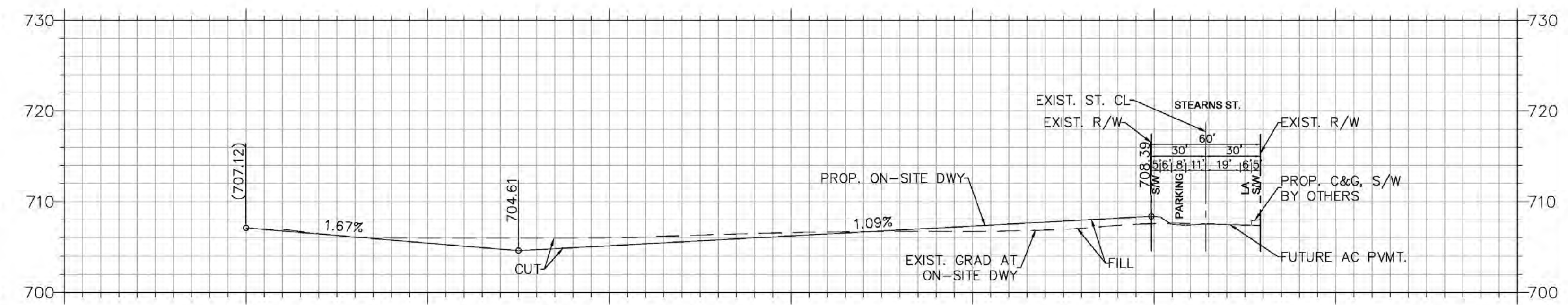
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TENTATIVE TRACT MAP		
SCALE: AS NOTED	APN 165-150-021, 022	DRAWN BY: MIKE
DATE: 1/27/2021		REVISED: MIKE
8910 STEARNS STREET JURUPA VALLEY, CA 91739		
SHEET 2 OF 4		JOB NO. P19153



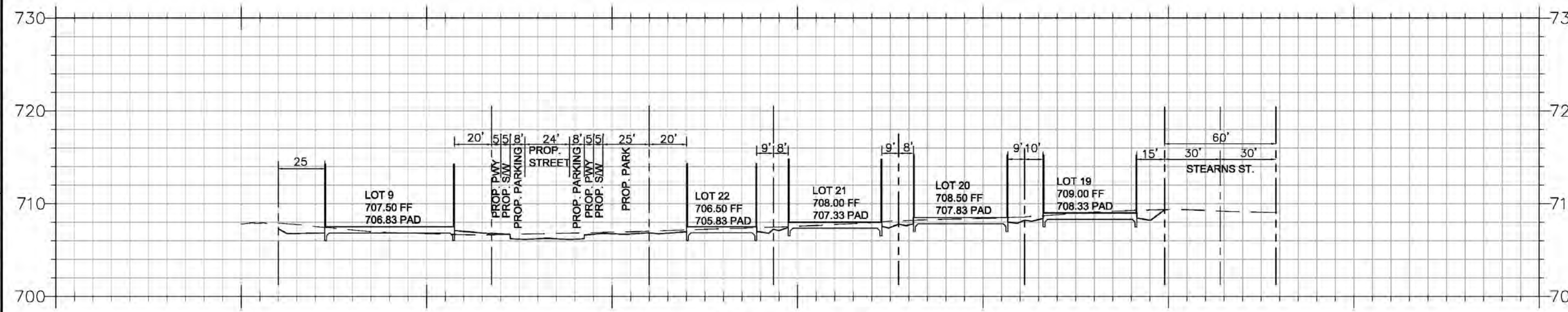
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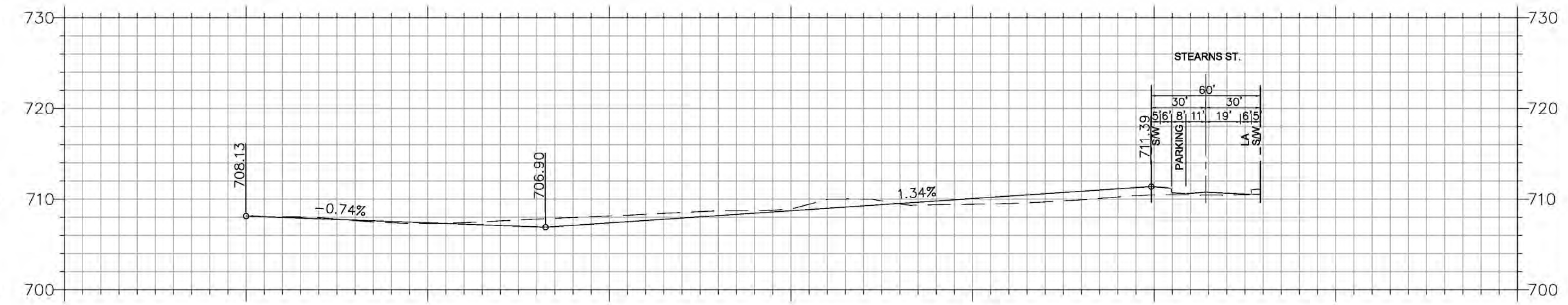
A-A SECTION



B-B SECTION



C-C SECTION



D-D SECTION



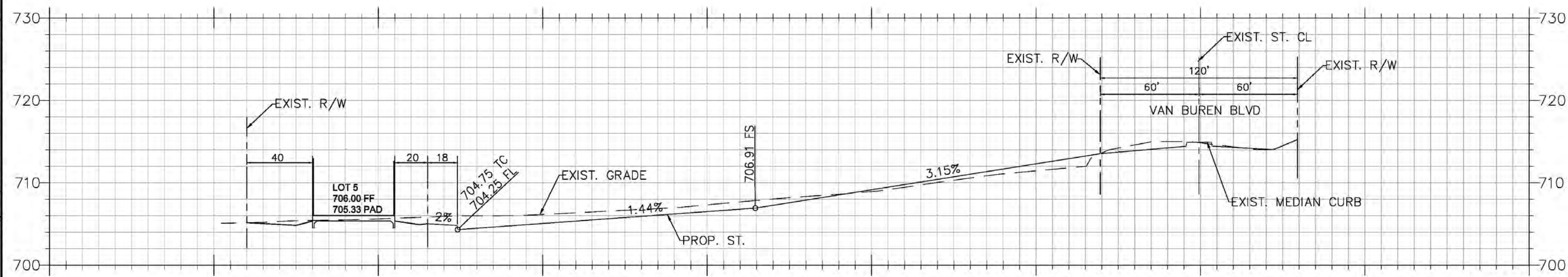
Plan Prepared By: *[Signature]* Date: 1/27/2021  
**Apple Engineering Group**  
 Subdivision, Engineering Design & Survey  
 9090 TELSTAR AVENUE, SUITE 309  
 EL MONTE, CA 91731  
 Tel: (626) 552-9818 EMAIL: info@appleengineering.net



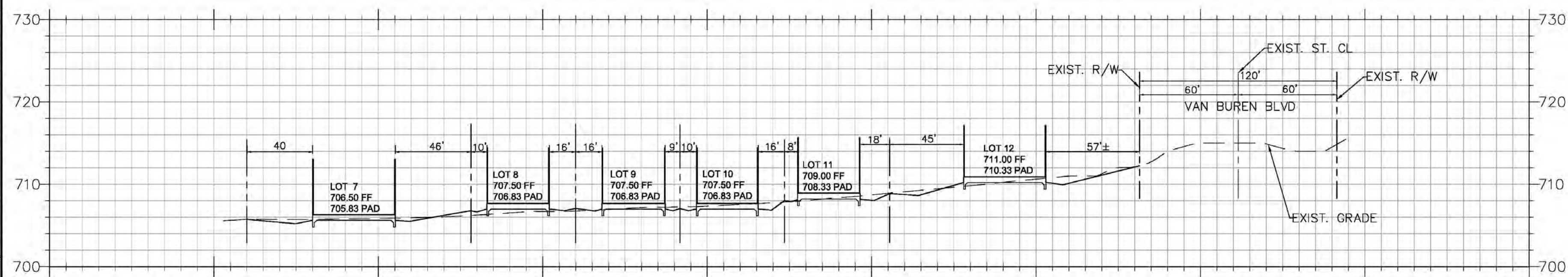
TENTATIVE TRACT NO 37943		
TENTATIVE TRACT MAP		
SCALE: AS NOTED	APN 165-150-021, 022	DRAWN BY: MIKE
DATE: 1/27/2021		REVISED: MIKE
8910 STEARNS STREET JURUPA VALLEY, CA 91739		
SHEET 3 OF 4		JOB NO. P19153



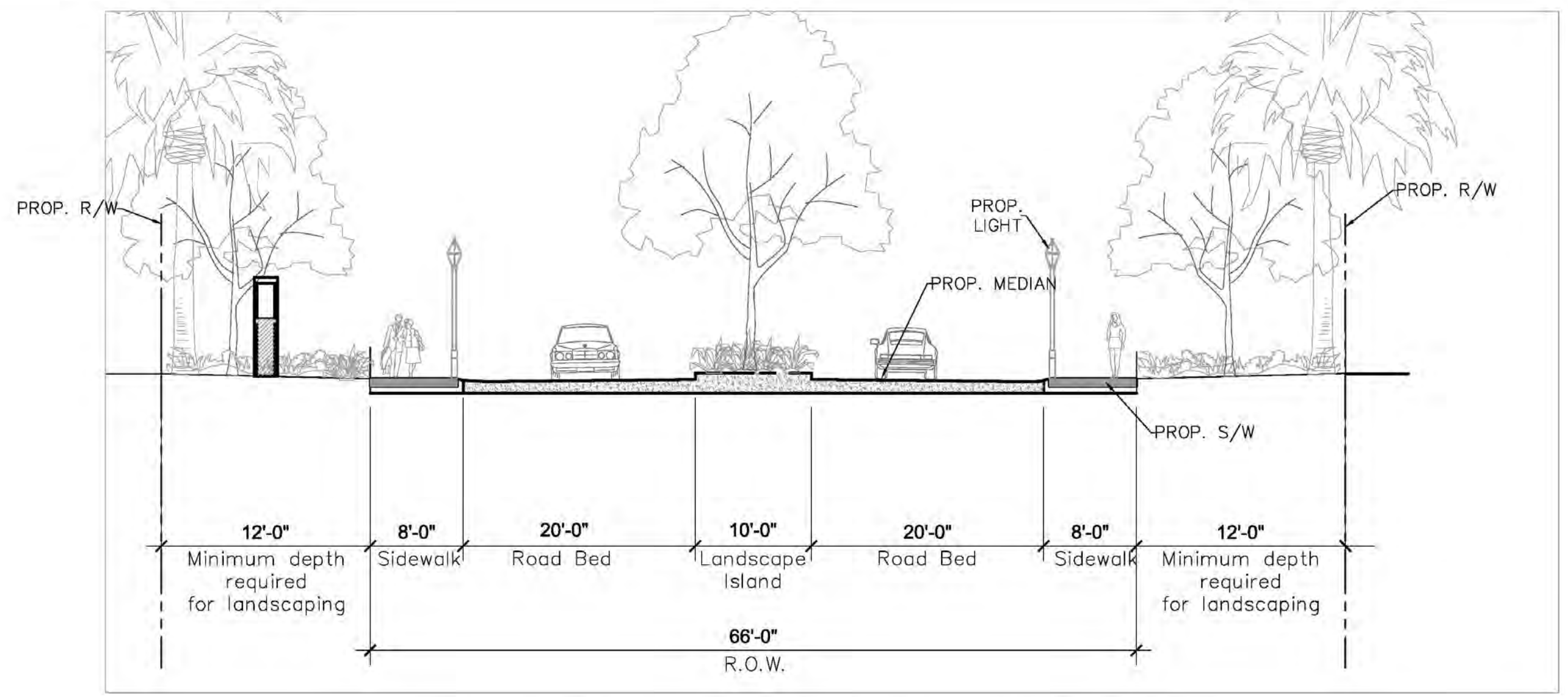
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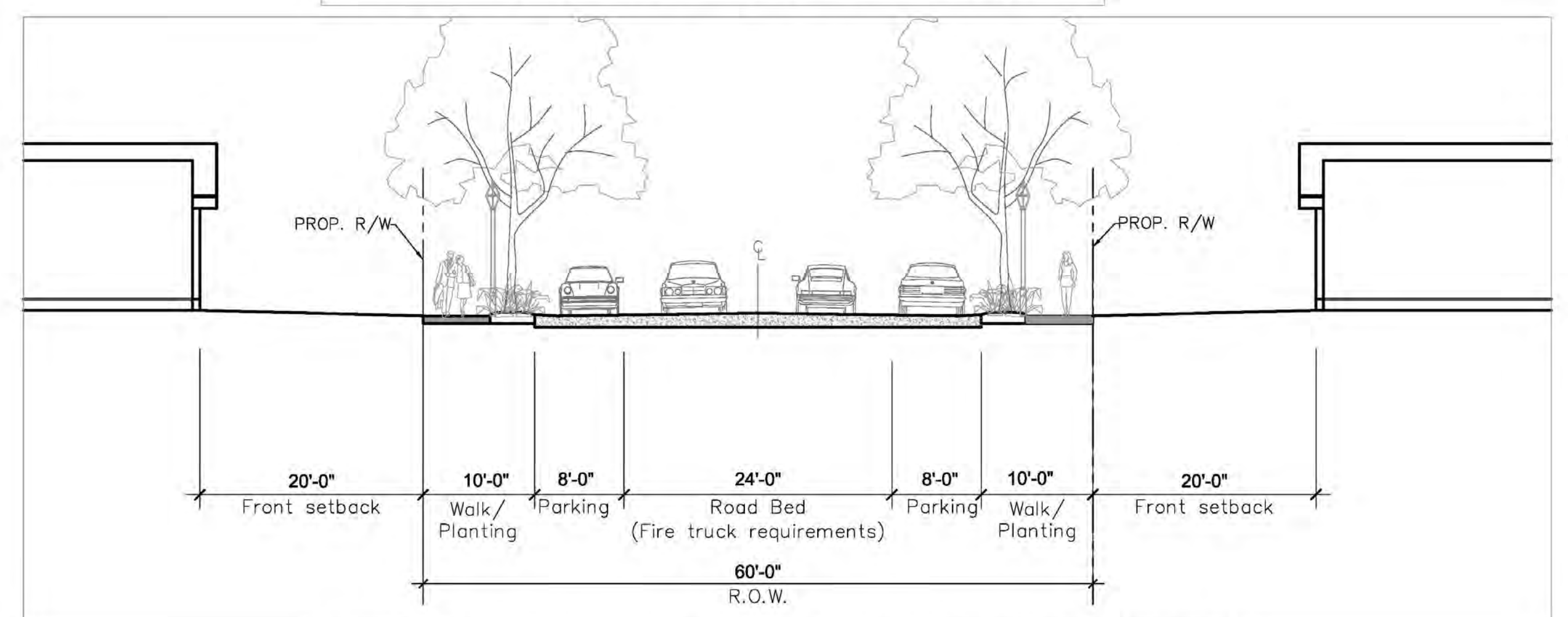
E-E SECTION



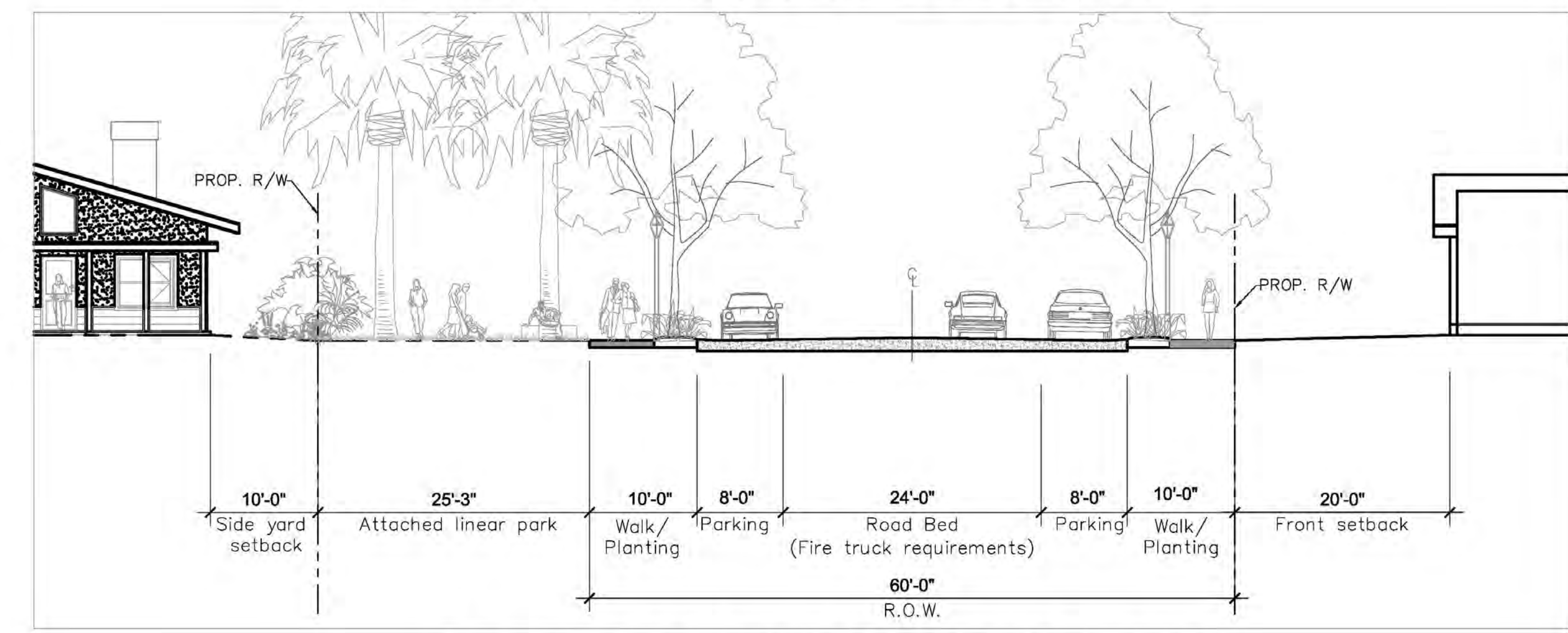
F-F SECTION



ENTRANCE GATEWAY



TYPICAL STREET SECTION



LINEAR PARK SECTION

**DIGALERT**  
  
 CALL TOLL FREE  
 1-800-227-2600  
 2 Working Days Before You Dig

Plan Prepared By:   
 Date: 1/27/2021  
**Apple Engineering Group**  
 Subdivision, Engineering Design & Survey  
 9080 TELSTAR AVENUE, SUITE 309  
 EL MONTE, CA 91731  
 Tel: (626) 552-9818 EMAIL: info@appleengineering.net

**REGISTERED PROFESSIONAL ENGINEER**  
 GOOKIN MILO  
 No. 73059  
 Exp. 12/31/22  
 CIVIL  
 STATE OF CALIFORNIA

TENTATIVE TRACT NO 37943		
TENTATIVE TRACT MAP		
SCALE: AS NOTED	APN 165-150-021, 022	DRAWN BY: MIKE
DATE: 1/27/2021		REVISED: MIKE
8910 STEARNS STREET JURUPA VALLEY, CA 91739		
SHEET 4 OF 4		JOB NO. P19153



# RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



February 17, 2023

Doug Darnell, Principal Planner  
City of Menifee Community Development Department  
29844 Haun Road  
Menifee CA 92586

**CHAIR**

Steve Manos  
Lake Elsinore

**VICE CHAIR**

Russell Betts  
Desert Hot Springs

**COMMISSIONERS**

John Lyon  
Riverside

Steven Stewart  
Palm Springs

Richard Stewart  
Moreno Valley

Michael Geller  
Riverside

Vernon Poole  
Murrieta

**STAFF**

Director  
Paul Rull

Simon Housman  
Jackie Vega  
Barbara Santos

County Administrative Center  
4080 Lemon St., 14<sup>th</sup> Floor.  
Riverside, CA 92501  
(951) 955-5132

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW – DIRECTOR'S DETERMINATION**

File No.: ZAP1070RG23  
Related File No.: LR23-0017 (Development Code Amendment)  
APN: Citywide

Dear Mr. Darnell,

As authorized by the Riverside County Airport Land Use Commission (ALUC) pursuant to its Resolution No. 2011-02, as ALUC Director, I have reviewed City of Menifee Development Code Amendment (LR23-0017), a proposal amending Chapter 9.130.030 Allowed Uses and Approval Requirements of the Development Code to comply with Housing Element Program Action No. 5 – provisions for by-right approval of projects with 20 percent of units affordable to lower income households on non-vacant sites identified in the City 6<sup>th</sup> cycle Housing Element to accommodate the City's RHNA and identified to accommodate the RHNA in the City's prior 5<sup>th</sup> Cycle Housing Element.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan and the 2010/2011 Perris Valley Airport Land Use Compatibility Plan.

This determination of consistency relates to airport compatibility issues and does not necessarily constitute an endorsement of the proposed amendment.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,  
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Paul Rull, ALUC Director

cc: ALUC Case File

X:\AIRPORT CASE FILES\Regional\ZAP1070RG23\ZAP1070RG23.LTR.doc

[www.rcaluc.org](http://www.rcaluc.org)



**9.130.030 Allowed Uses and Approval Requirements** LDR-1 LDR-2 LMDR MDR MHDR HDR

- A. **Allowed Use Table.** Table 9.130.030-1 identifies allowed uses and corresponding approval requirements for the residential zones subject to compliance with all other provisions of this Title. Descriptions/definitions of many of the land uses can be found in [Article 6](#) of this title (Definitions). The list of land uses on Table 9.130.030-1 shall be permitted in one or more of the residential zones as indicated in the columns corresponding to each zone.
- B. **Approval Requirements.** Where indicated with a letter “P” the use shall be a permitted use. A letter “C” indicates the use shall be conditionally permitted subject to the approval of a conditional use permit. Where indicated with a “--,” the use is prohibited within the zone. Where indicated with an “NA,” the use is not applicable to the zone. The Additional Requirements column in the table identifies additional use regulations for specific uses and/or the specific chapter or section where additional regulations for that use type are located within this title, where applicable. Uses for which additional requirements are listed shall be allowed only upon satisfaction of the specified additional requirements. Under no circumstances shall Table 9.130.030-1 authorize a use without satisfaction of such specified additional requirements.
- C. **Unlisted Uses.** Uses not specifically listed in this table shall be considered not permitted in all of the listed zones. The Community Development Director may make a determination pursuant to [Chapter 9.95](#) (Similar Use Determination) that new uses not listed here that have substantially similar characteristics to specific listed permitted uses may be considered permitted as the similar use by right, or conditionally as appropriate.

Table 9.130.030-1 Residential Zones - Allowed Uses and Approval Requirements							
Allowed Use	<span style="background-color: #ffffcc;">LDR-1</span>	<span style="background-color: #ffffcc;">LDR-2</span>	<span style="background-color: #ffffcc;">LMDR</span>	<span style="background-color: #ffffcc;">MDR</span>	<span style="background-color: #ffffcc;">MHDR</span>	<span style="background-color: #ffffcc;">HDR</span>	Additional Requirements
<b>RESIDENTIAL USES</b>							
Accessory Dwelling Unit (ADU)	P	P	P	P	P	P	Chapter 9.35 (Accessory Dwelling Unit Permit)
<u>Affordable Housing Development with a minimum of 20 percent of units affordable to lower income households on non-vacant HDR zoned sites identified to accommodate lower income RHNA in the current housing element and used in a prior housing element.</u> <sup>1</sup>	NA	NA	NA	NA	NA	P	<u>Per Government Code §65583.2(i), such use shall be by-right and shall not require discretionary review that would constitute a “project” as defined in Section 21100 of the Public Resources Code (California Environmental Quality Act “CEQA”)</u>  <u>Subject to Multifamily Objective Design Standards</u>

<sup>1</sup> For list of sites, refer to the latest adopted Housing Element (For the 6<sup>th</sup> Cycle, 2021-2029 Housing Element, these sites are listed in Figure B-1 and Table B-12 of Appendix B)



**Table 9.130.030-1 Residential Zones - Allowed Uses and Approval Requirements**

Allowed Use	LDR-1	LDR-2	LMDR	MDR	MHDR	HDR	Additional Requirements
<u>Affordable Housing Development with a minimum of 20 percent of units affordable to lower income households on vacant HDR zoned sites identified to accommodate lower income RHNA in the current housing element and used in two prior housing elements.</u> <sup>2</sup>	NA	NA	NA	NA	NA	P	<u>Per Government Code §65583.2(i), such use shall be by-right and shall not require discretionary review that would constitute a “project” as defined in Section 21100 of the Public Resources Code (California Environmental Quality Act “CEQA”)</u>  <u>Subject to Multifamily Objective Design Standards</u>
Bed & breakfast establishment	C	C	C	C	--	--	Chapter 9.245 (Bed and Breakfast)
Congregate care facilities	C	C	C	C	C	C	Chapter 9.270 (Community Care Facilities)
Duplex (two-family dwelling)	P	P	P	P	P	P	
Emergency shelters	--	--	--	--	--	P	In locations specified in the Housing Element
Family day care home, large	P	P	P	P	P	P	Chapter 9.60 (Large Family Day Care Permit)
Family day care home, small	P	P	P	P	P	P	
Group Residential Facility Six or Fewer Residents Seven or More Residents	P C	P C	P C	P C	P C	P C	Chapter 9.270 (Community Care Facilities)
Guest house, accessory to single-family detached	P	P	P	P	P	P	Chapter 9.295 (Special Housing Types)
Home Occupation	P	P	P	P	P	P	Chapter 9.255 (Home Occupation and Home-Based Business)
Home-Based Businesses	--	--	--	--	--	--	Chapter 9.255 (Home Occupation and Home-Based Business)
Manufactured Home	P	P	P	P	P	P	
Mobile home park	C	C	C	C	C	C	Chapter 9.295 (Special Housing Types)
Multiple family	--	P	P	P	P	P	
Residential Care Facility	C	C	C	C	C	C	Chapter 9.270 (Community Care Facilities)
Short-term rental	—	—	—	—	—	—	
Single-family detached	P	P	P	P	—	—	
Single-room occupancy units	--	--	--	--	--	P	Chapter 9.295 (Special Housing Types)
Supportive housing	C	C	C	C	C	C	
Transitional housing	C	C	C	C	C	C	
<b>NON-RESIDENTIAL USES</b>							

<sup>2</sup> For list of sites, refer to the latest adopted Housing Element



Table 9.130.030-1 Residential Zones - Allowed Uses and Approval Requirements							
Allowed Use	LDR-1	LDR-2	LMDR	MDR	MHDR	HDR	Additional Requirements
Animals, Small (e.g. hamsters, rabbits, chinchillas, and similar sized animals)	P --	P --	P --	P --	P --	P --	Chapter 9.235 (Animal Keeping)
Non-Commercial Commercial							
Animals, Medium (e.g. sheep, goats, pigs, and similar sized animals)	P --	P --	-- --	-- --	-- --	-- --	Chapter 9.235 (Animal Keeping)
Non-commercial Commercial							
Animals, Large (e.g. cows, horses, camels, llamas, and other similar sized animals)	P --	P --	-- --	-- --	-- --	-- --	Chapter 9.235 (Animal Keeping)
Non-commercial Commercial							
Apiary (non-commercial)	P	P	--	--	--	--	Chapter 9.235 (Animal Keeping)
Collection Containers	--	--	--	--	--	--	
Educational Institutions	C	C	C	C	C	C	
Farms and agricultural operations	C	--	--	--	--	--	
Non-commercial Commercial	C	--	--	--	--	--	
Future Farmers of America and 4-H Programs	P	P	P	P	P	P	Chapter 9.235 (Animal Keeping)
Fowl, Non Crowing	P	P	--	--	--	--	Chapter 9.235 (Animal Keeping)
Golf courses	--	--	--	--	--	--	
Governmental facilities	C	C	C	C	C	C	
Kennels and catteries	C	C	--	--	--	--	Chapter 9.235 (Animal Keeping)
Marijuana dispensaries, mobile marijuana dispensaries, marijuana cultivation, or marijuana processing	--	--	--	--	--	--	
Nurseries	C	--	--	--	--	--	Does not include cultivation of marijuana/cannabis.
Parks and recreation areas	P	P	P	P	P	P	
Public utility facilities	C	C	C	C	C	C	
Religious Institutions	C	C	C	C	C	C	
Temporary real estate tract offices	P	P	P	P	P	P	
Wireless Communication Facilities	C	C	C	C	C	C	Chapter 9.290 (Wireless Communication Facilities)





**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
March 9, 2023**

**DRAFT**

3-13-23

COMMISSIONERS PRESENT: Russell Betts, Steve Manos, Michael Geller, John Lyon, Vernon Poole, Michael Lewis (alternate for Steven Stewart), Larry Froehlich (alternate for Richard Stewart)

COMMISSIONERS ABSENT: Steven Stewart, Richard Stewart

**2.0 PUBLIC HEARING: CONTINUED ITEMS**

NONE

**3.0 PUBLIC HEARING: NEW CASES**

3.1 Staff report recommended: **CONTINUE to 4-13-23**  
Staff recommended at hearing: **CONSISTENT**  
ALUC Commission Action: **CONSISTENT (Vote 7-0)**  
**Motion: Russell Betts**  
**Second: Michael Geller**

**ZAP1558MA23 – Stellar Solar Electric (Representative: Frida Mock)** – March Joint Powers Authority Case No. COM-Solar 22-004 (Building Permit). A proposal to construct a 2,197 square foot rooftop solar panel system on an existing industrial building on 4.45 acres, located at 14100 Meridian Parkway (Airport Compatibility Zone B1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Jackie Vega at (951) 955-0982, or e-mail at [Javega@rivco.org](mailto:Javega@rivco.org)

3.2 Staff report recommended: **CONSISTENT**  
Staff recommended at hearing: **CONSISTENT**  
ALUC Commission Action: **CONSISTENT (Vote 7-0)**  
**Motion: Michael Geller**  
**Second: Michael Lewis**

**ZAP1559MA23 – PK Architecture (Representative: Sage Realty Group)** – City of Perris Case Nos. PLN2305029 (Specific Plan Amendment), DPR2200031 (Development Plan Review), TPM2305028 (Tentative Parcel Map). A proposal to construct three industrial buildings totaling 66,686 square feet on 4.42 acres, located northerly of Harley Knox Boulevard, westerly of Perris Boulevard, and southerly of Oleander Avenue. The applicant also proposes to amend the March Plaza Specific Land Use Designation, changing the sites zoning from Commercial (C) to Light Industrial (LI) and Business Professional Office (BPO). The applicant also proposes merging six existing parcels into one. (Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Jackie Vega at (951) 955-0982, or e-mail at [Javega@rivco.org](mailto:Javega@rivco.org)

**4.0 PUBLIC HEARING: MISCELLANEOUS ITEMS**

None

**VIDEO:**

1

A video recording of the entire proceedings is available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org). If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org)



**AIRPORT LAND USE COMMISSION MEETING  
MINUTES  
March 9, 2023**

**5.0 ADMINISTRATIVE ITEMS**

5.1 Director's Approvals – Information Only

5.2 Update March Air Reserve Base Compatible Use Study (CUS)

Paul Rull, ALUC Director informed the Commission that Simon Housman, Project Director for the March CUS is currently in Washington DC on work for the March CUS and he will give an update at the next ALUC meeting in April.

5.3 Reminder in April Election of Officers and Re-election of At-Large position – Information only

**6.0 APPROVAL OF MINUTES**

Michael Geller motioned to approve the February 9, 2023 minutes. Seconded by Russell Betts; Abstain: John Lyon (Vote 6-0)

**7.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA**

None

**8.0 COMMISSIONER'S COMMENTS**

Commissioner Lyon was pleased to report that the City of Jurupa Valley has issued the request to Flabob Airport regarding zoning for Flabob. Commissioner Geller requested information regarding the Moreno Valley Parking Lot. Paul Rull, ALUC Director replied that the City Council approved the parking lot project on Heacock Avenue in the City of Moreno Valley at their latest City Council Meeting a couple of weeks ago.

**9.0 ADJOURNMENT**

Steve Manos, Chair adjourned the meeting at 9:50 a.m.

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**VIDEO:**

2

A video recording of the entire proceedings is available on the ALUC website at [www.rcaluc.org](http://www.rcaluc.org). If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at [basantos@rivco.org](mailto:basantos@rivco.org)