

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

AGENDA ITEM: 3.1

HEARING DATE: August 12, 2021

CASE NUMBER: ZAP1066HR21– AMCO, LLC (Representative: Blaine A. Wormer Civil Engineering)

APPROVING JURISDICTION: City of Hemet

JURISDICTION CASE NO: GPA21-002 (General Plan Amendment), CZ21-002 and CZ21-003 (Change of Zone) SDR21-007 (Site Development Review), CUP21-005 (Conditional Use Permit), TPM38141 (Tentative Parcel Map)

LAND USE PLAN: 2017 Hemet-Ryan Airport Land Use Compatibility Plan

Airport Influence Area: Hemet-Ryan Airport

Land Use Policy: Airport Compatibility Zone E

Noise Levels: Below 55 CNEL contour

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Change of Zone CONSISTENT with the 2017 Hemet-Ryan Airport Land Use Compatibility Plan, and find the proposed Site Development Review, Conditional Use Permit, and Tentative Parcel Map CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to construct a mixed-use development including a gas station facility with a 4,140 square foot convenience store and a 2,240 square foot car wash tunnel, and a 61 unit apartment complex on 5.0 gross acres, located on the northwest corner of Sanderson Avenue and Devonshire Avenue. The applicant also proposes to amend the site's land use designation from High Density Residential to High Density Residential and Community Commercial, and change the site's zoning from SP85-1 (Senior Residential) to R-3 (Multi-Family Residential) and C-2 (General Commercial). The applicant also proposes a tentative parcel map to divide the site into two parcels.

PROJECT LOCATION: The proposed project is located on the northwest corner of Sanderson Avenue and Devonshire Avenue, approximately 5,740 feet northeasterly of the northeasterly

terminus of Runway 5-23 at Hemet-Ryan Airport.

BACKGROUND:

Non-Residential Intensity and Residential Density: The site is located within Compatibility Zone E of the Hemet-Ryan Influence Area, where non-residential intensity and residential density are not restricted.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zone E (hazards to flight).

Noise: The Hemet-Ryan Airport Land Use Compatibility Plan depicts the site as being located below the 55 CNEL contour range from aircraft noise. Therefore, no special measures to mitigate aircraft noise are required at this location.

Part 77: The elevation of Hemet-Ryan Airport's Runway 5-23 at its northeasterly terminus is 1,508 feet above mean sea level (AMSL). At a distance of 5,740 feet from the runway to the site, any building with a top point elevation exceeding 1,565 feet AMSL would require notification to the Federal Aviation Administration Obstruction Evaluation Service (FAAOES). The project's site elevation is 1,522 feet AMSL and proposes a maximum building height of 36 feet, resulting in a top point elevation of 1,558 feet AMSL. Therefore, review of the buildings by the FAAOES was not required.

Open Area: The site is located within Compatibility Zone E of the Hemet-Ryan Airport Influence Area, which does not require projects to designate area as ALUC qualifying open area that could potentially serve as emergency landing areas.

General Plan/Change of Zone: The applicant proposes to amend the site's land use designation from High Density Residential to High Density Residential and Community Commercial, and change the site's zoning from SP85-1 (Senior Residential) to R-3 (Multi-Family Residential) and C-2 (General Commercial). The proposed amendments would be as, or more, consistent with the Compatibility Plan as long as the underlying development's is consistent with the compatibility criteria.

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Any use which results in a hazard to flight, including physical (e.g. tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached “Notice of Airport in Vicinity” shall be provided to all prospective purchasers and occupants of the property.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC “LANDSCAPING NEAR AIRPORTS” brochure, and the “AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT” brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: “There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes”. The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

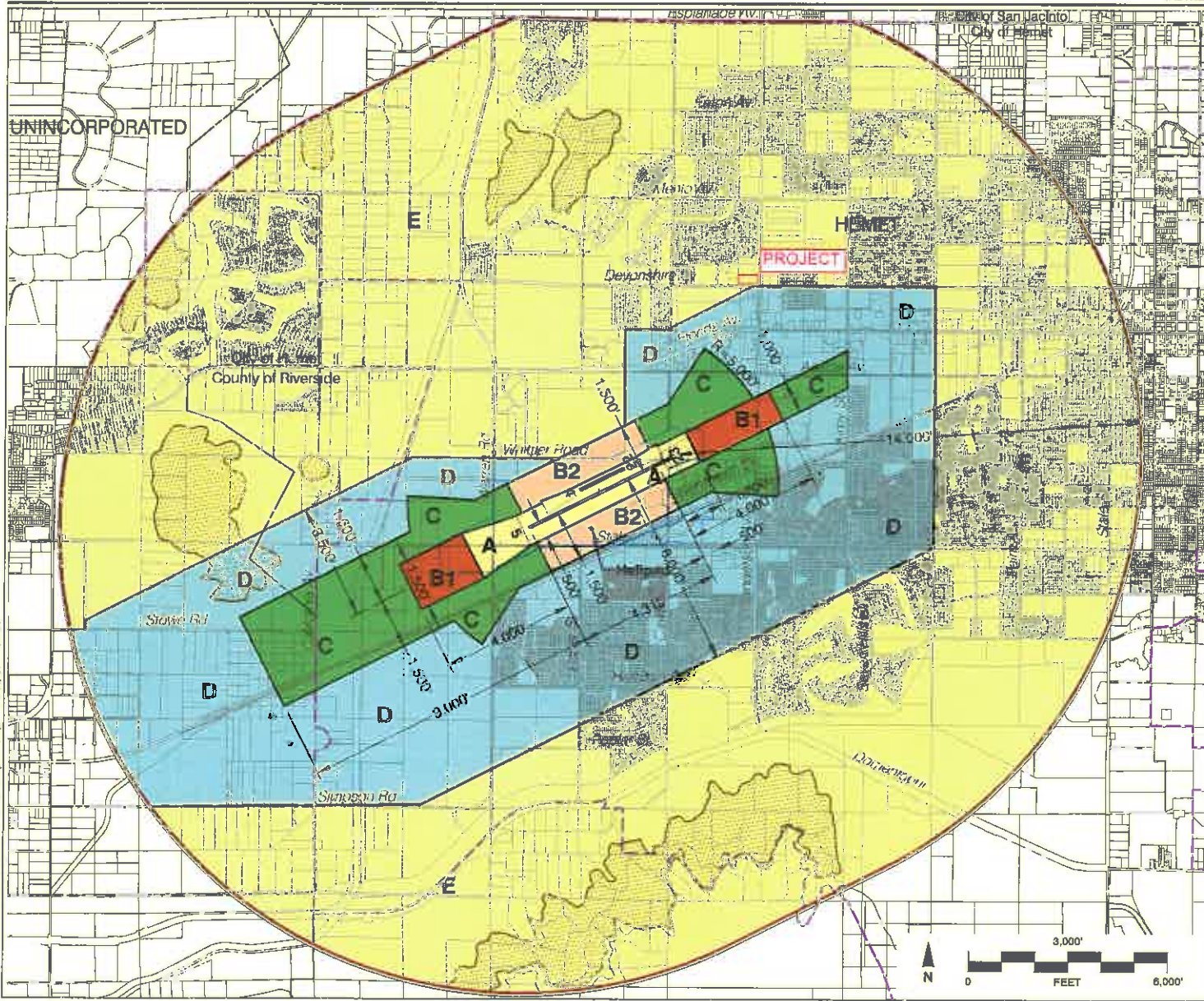
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E
- Height Review Overlay Zone

Boundary Lines

- Airport Property Line
- City Limits
- City Sphere of Influence

Note

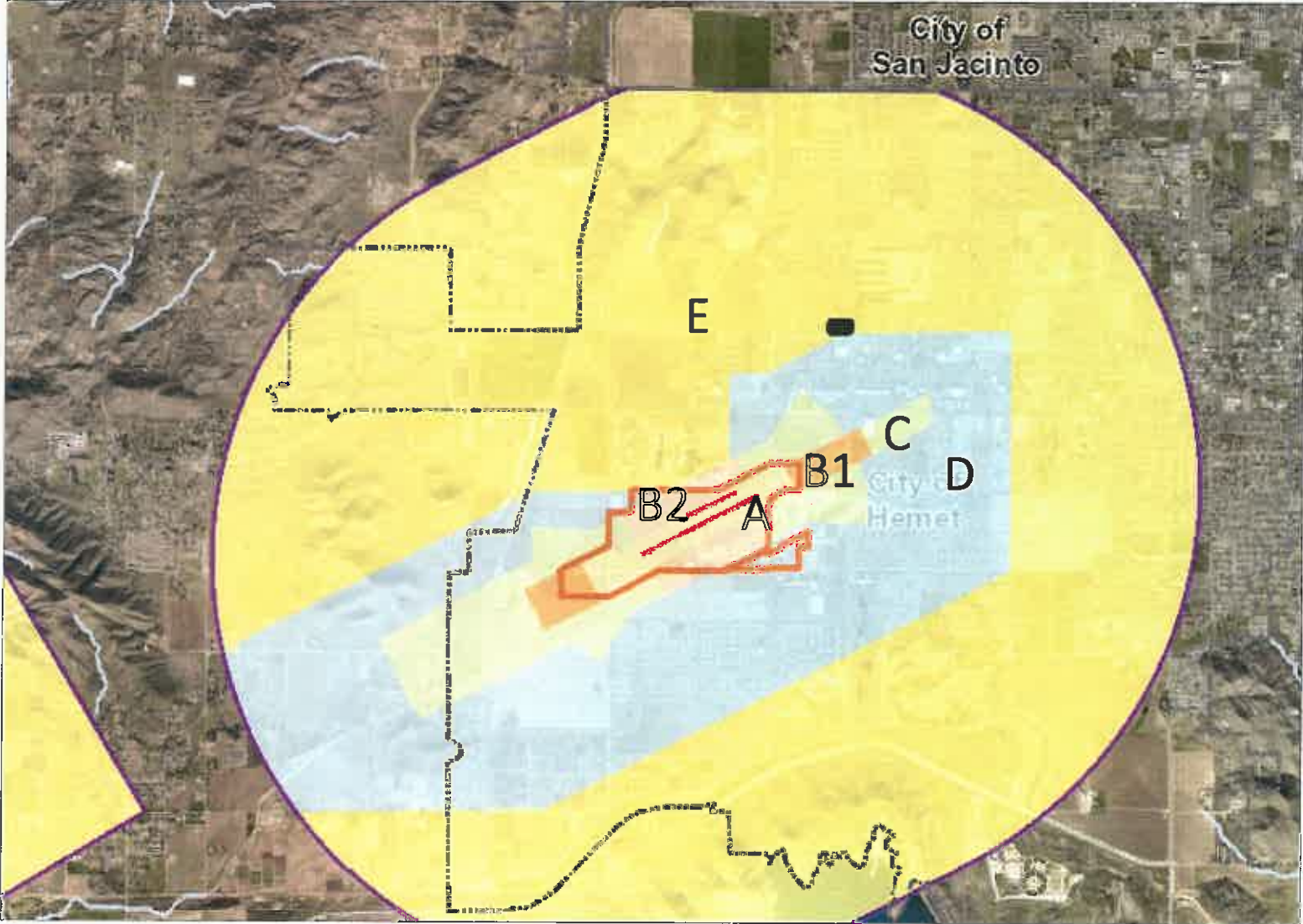
Airport Influence Area boundary measured from a point 200 feet beyond ends of proposed future 4,815 foot runway in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from ends and centerlines of existing 4,315 foot runway.

Riverside County
Airport Land Use Commission
Hemet-Ryan Airport
Land Use Compatibility Plan
 (Adopted February 9, 2017)

Map HR-1

Compatibility Map
Hemet-Ryan Airport

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

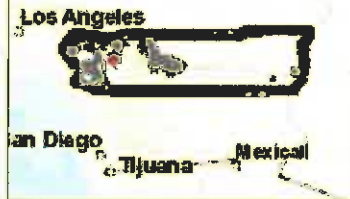


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© Riverside County GIS

Notes

Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5




0 385 770 Feet

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Notes

Map My County Map



- Legend**
- Parcels
 - County Centerline Names
 - County Centerlines
 - Blueline Streams
 - City Areas
 - World Street Map



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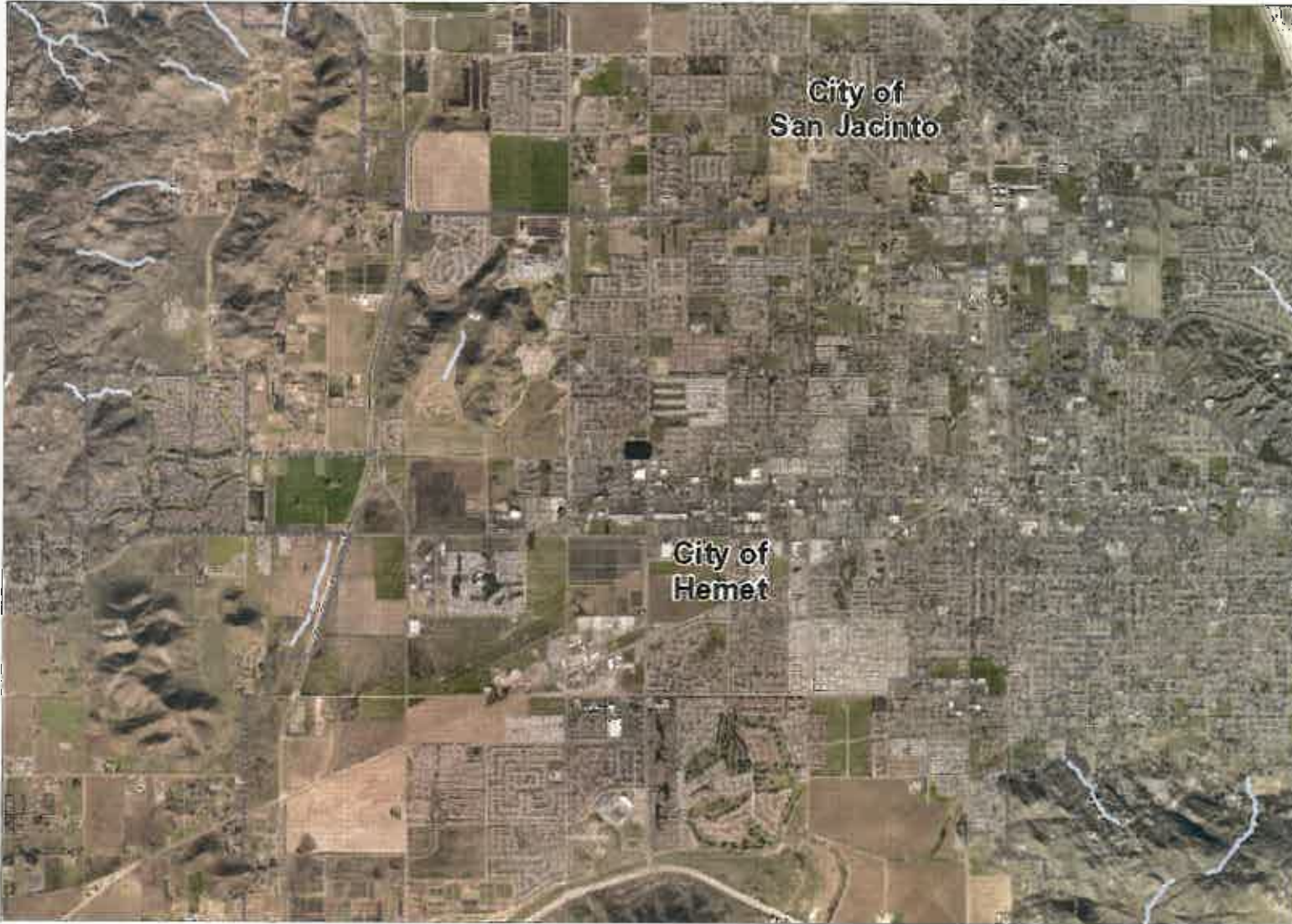


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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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0 6 12,314 Feet
157

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Notes

Map My County Map



- Legend**
- County Centerline Names
 - County Centerlines
 - Blueline Streams
 - City Areas
 - World Street Map



0 1 3,079 Feet

539

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Notes

Map My County Map



- Legend**
- Parcels
 - County Centerline Names
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 - City Areas
 - World Street Map



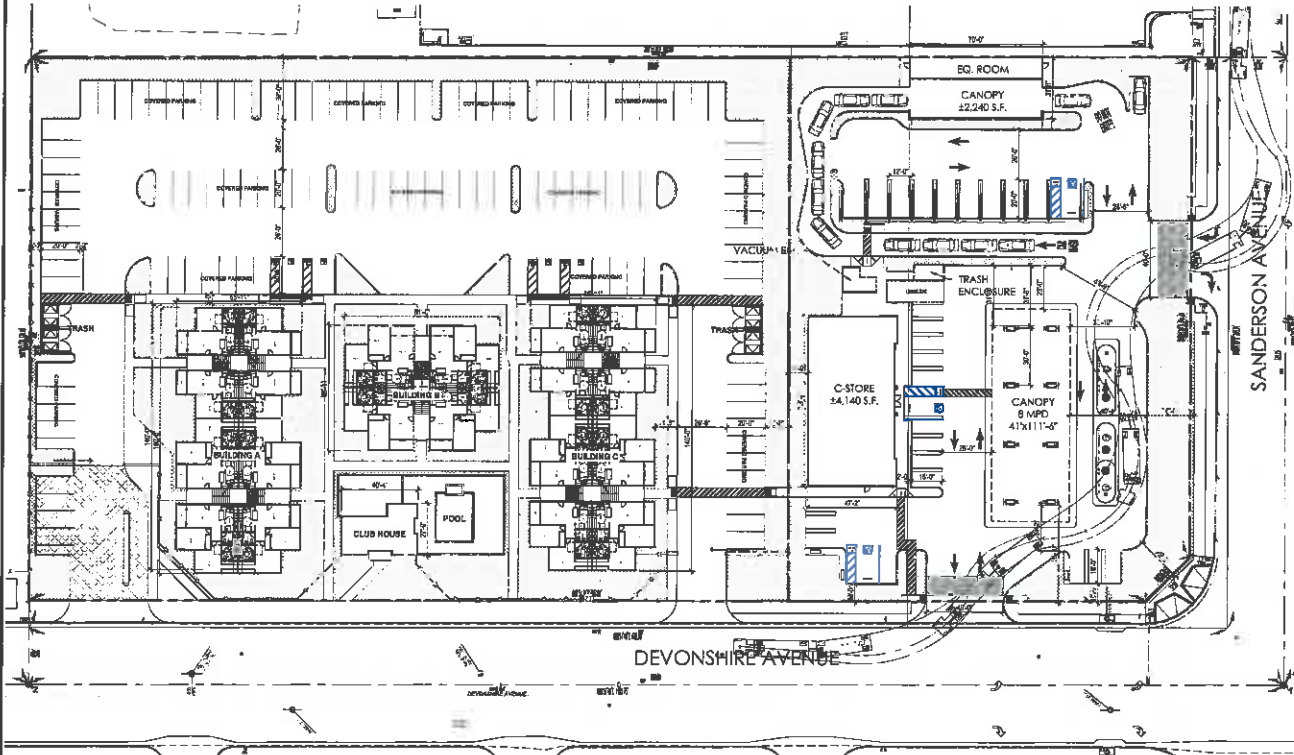
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Notes



01 PROPOSED SITE PLAN
SCALE: 1"=30'

SITE INFORMATION

AREA OF PROPERTY		AREA
GROSS AREA (APARTMENTS 114,107 / C-STORE 60,075)		174,182 SQ. FT.
DEDICATIONS, EASEMENTS		
NET BUILDABLE AREA		63.89 ACRES
GROSS AREA (IN ACRES)		
ZONING		ZONE

AREA / PERCENT	PERCENT	AREA
LANDSCAPE REQUIRED		49,738 SQ. FT.
LANDSCAPING PROVIDED (APARTMENTS 27,405/C-STORE 13,333)	23.38%	

DESCRIPTION	SIZE	ODC	DEMG. TYPE	STORES / HEIGHT	AREA
BUILDING A 12- 2 BD UNITS	134'-3"X267'-0"	R	V-B	3 STORES - 36'	8,100 SQ. FT.
BUILDING B 12- 2 BD UNITS	78'-0"X267'-0"	R	V-B	3 STORES - 36'	4,860 SQ. FT.
BUILDING C 12- 2 BD UNITS	134'-3"X267'-0"	R	V-B	3 STORES - 36'	8,100 SQ. FT.
CLUB HOUSE	27'-9"X60'-4"	R	V-B	1 STORES - 16'	928 SQ. FT.
C-STORE	47'-2" x 80'-3"	V	V-B	1 STORE	4,140 SQ. FT.
CANOPY	41'-0" x 111'-0"	M	B-B	1 STORE	4,671 SQ. FT.
CAR WASH	70'-0" x 33'-0"	B	V-B	1 STORE	2,310 SQ. FT.

TOTAL BUILDING AREA: 74,879 SQ. FT.

% OF LOT COVERABLE GROUND FLOOR ONLY	BUILDING AREA	NET LOT AREA
	74,879 SQ. FT.	174,182 SQ. FT.
		(43.56%)

DESCRIPTION (REQUIRED PARKING)	REQD. #
2.5 EACH 2 BD APARTMENTS + 1.5 EACH 1 BD APARTMENT	114 SPACES
CONVENIENCE STORE 1 PER 250 SQ. FT.	17 SPACES
TOTAL PARKING SPACES REQUIRED:	131 SPACES

DESCRIPTION (PROVIDED PARKING)	SIZE	PROVIDED
STANDARD (VEHICLE)	9'-0"X18'-0"	133
ACCESSIBLE SPACE(S)	17'-0"X20'-0"	5
VACUUM SPACES	9'-0"X30'-0"	9
VACUUM ACCESSIBLE SPACE(S)	17'-0"X20'-0"	1
LOADING ZONE	11'-0"X20'-0"	1

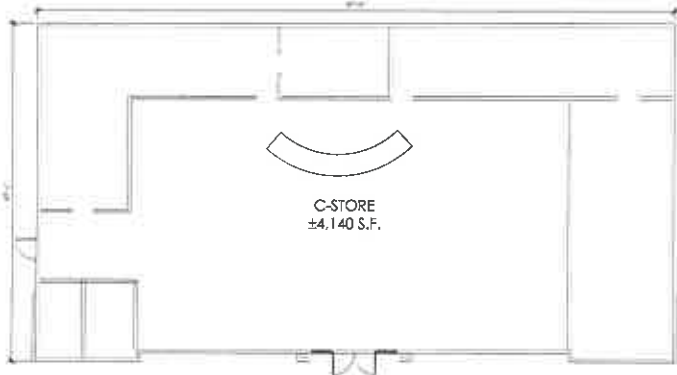
TOTAL PARKING SPACES PROVIDED: 149 - SPACES



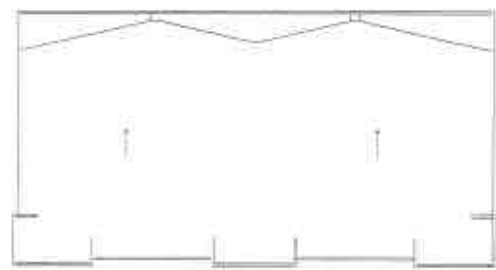
**PROPOSED MULTI USE DEVELOPMENT
DEVONSHIRE AND SANDERSON AVE.
HEMET, CA
SITE PLAN**

DATE: 02/20/2019
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT: [Signature]

PROJECT NAME: CUP-1



A FLOOR PLAN
SCALE: 1/8"=1'-0"



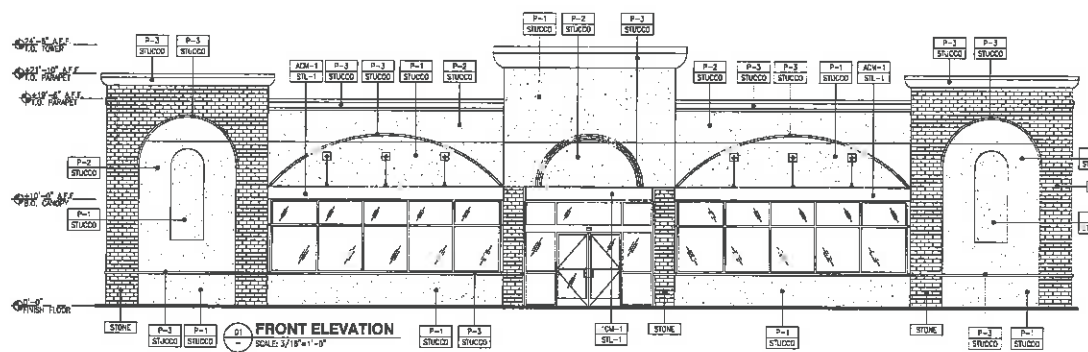
B ROOF PLAN
SCALE: 3/32"=1'-0"

COLOR LEGEND

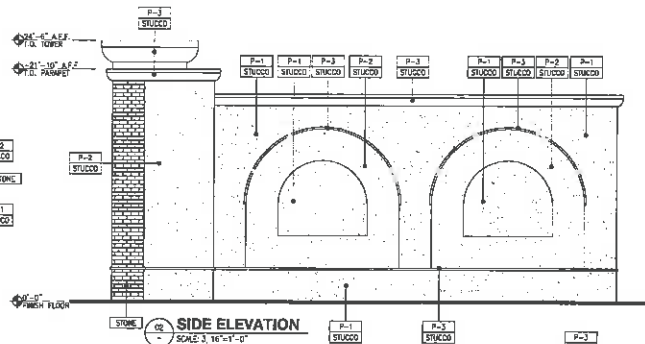
- P-1 BENJAMIN MOORE 1077, "GREAT PLAINS GOLD"
- P-2 BENJAMIN MOORE 1030, "BRANDY CREAM"
- P-3 BENJAMIN MOORE 2121-30, "PINKET", HIGH GLOSS

MATERIAL LEGEND

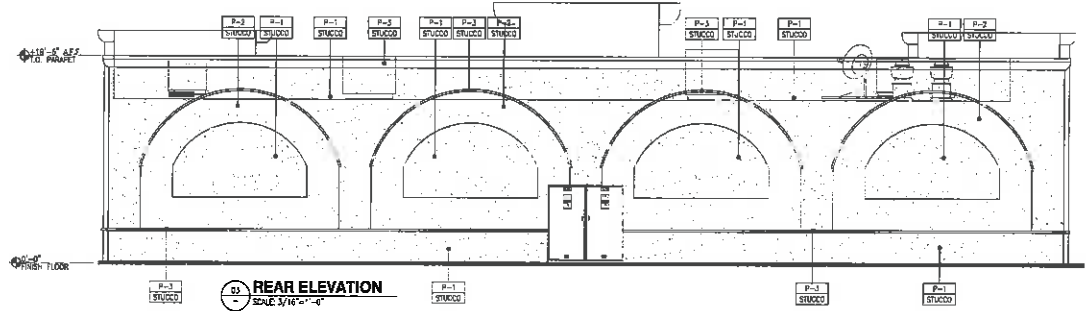
- STUCCO 1/2" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; EXTERIOR FINE SAND FINISH
- KCM-1 ALUMINUM COMPOSITE MATERIAL, "PENNER"
- SL-1 STEEL LINING
- STONE PANELIZED STONE VENEER MFR: CORONAOL, SERIES: PRO-LEUDE CO.02: "ALAS-TH SUNSET"



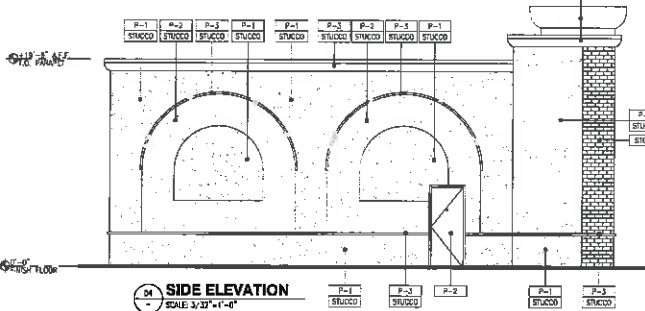
D1 FRONT ELEVATION
SCALE: 3/16"=1'-0"



D2 SIDE ELEVATION
SCALE: 3/16"=1'-0"



D3 REAR ELEVATION
SCALE: 3/16"=1'-0"



D4 SIDE ELEVATION
SCALE: 3/32"=1'-0"



AGC DESIGN CONCEPT, INC.
2400 Owens Street
San Jose, CA 95135
Phone: 415.261.1111

BY	
REVISIONS	
NO.	DATE

PROPOSED MULTI USE DEVELOPMENT
DEVONSHIRE AND SANDERSON AVE.
HEMET, CA
FLOOR PLAN AND ELEVATIONS

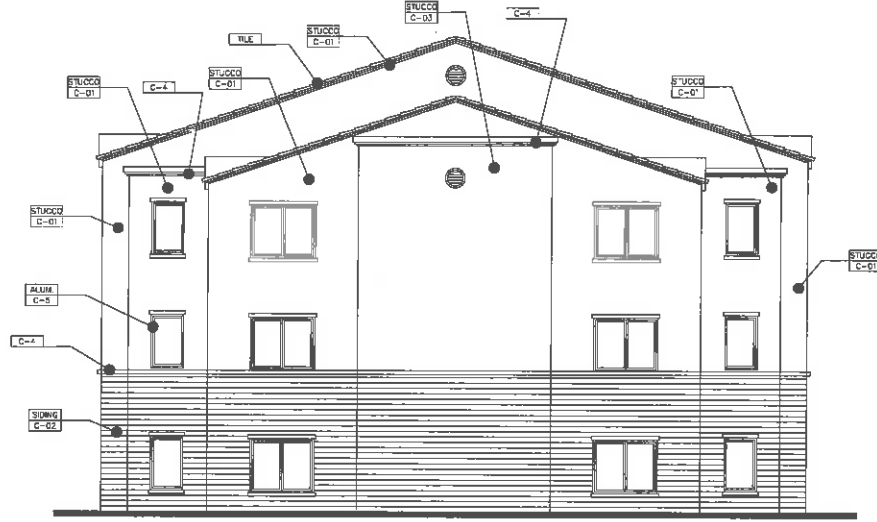
computer job#	
revision release scale	
sheet and date	master drawn by
file name AGC	P-2
Facility/Project	054
sheet name	

EXTERIOR FINISHES

- STUCCO EXTERIOR SMOOTH STUCCO
- SIDING VINYL SIDING
- TILE MISSION TILE
- ALUMI ALUMINUM FRAMING (BLAND)

EXTERIOR PAINTS

- C-01 COLOR: MUSHY SW653
- C-02 COLOR: ANONYMOUS SW7546
- C-03 COLOR: POLY U DE ORD SW9512
- C-4 COLOR: TIN JUZZE SW9183
- C-5 COLOR: BLACK



01 SIDES ELEVATION
SCALE: 3/16"=1'-0"



02 FRONT ELEVATION
SCALE: 3/16"=1'-0"

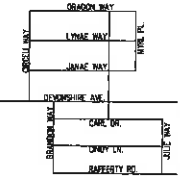
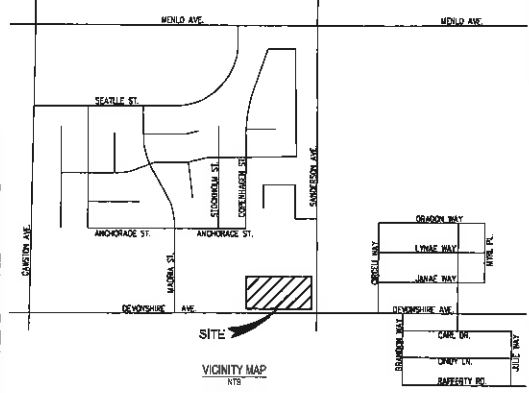
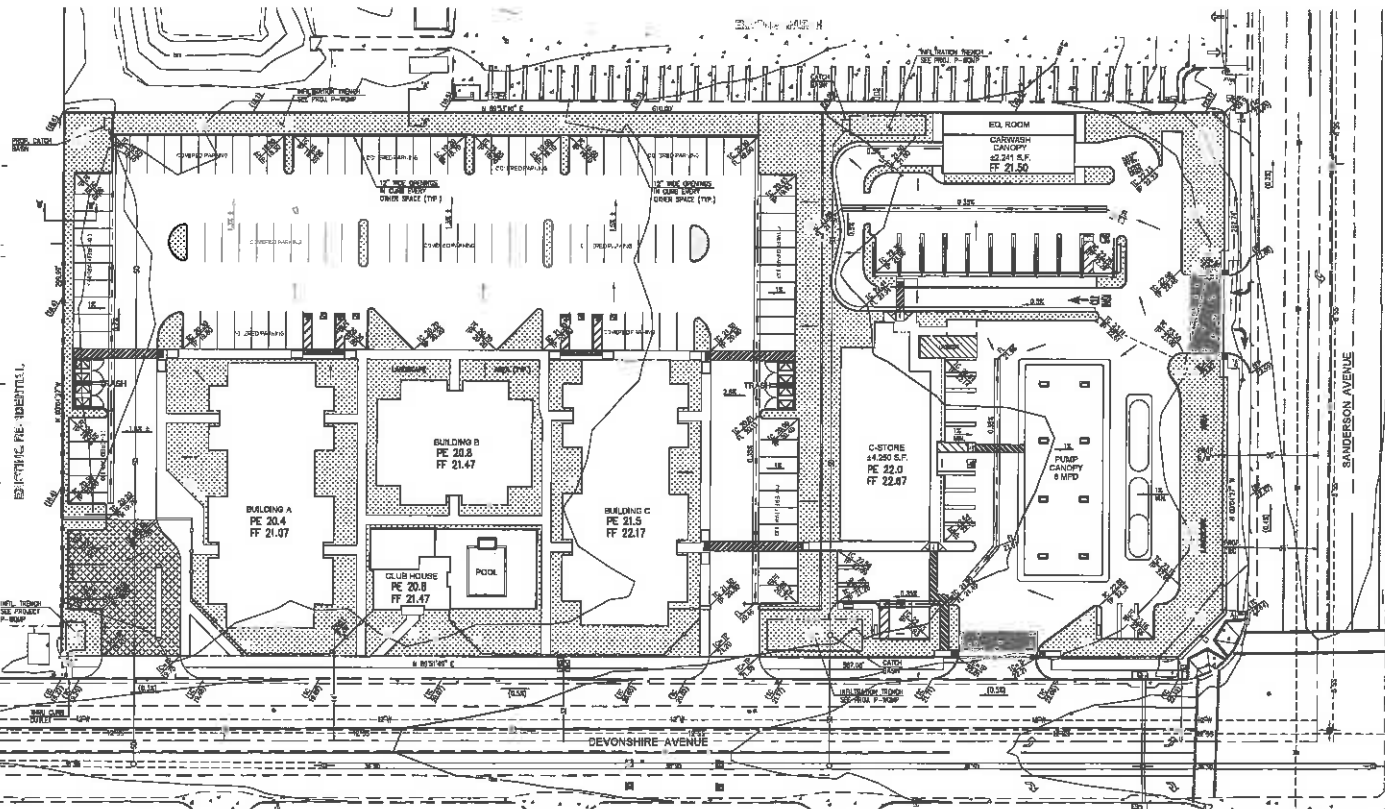
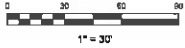
AGC DESIGN CONCEPT, INC.

 2480 Central Village Rd.
 Menlo Park, CA 94025
 Phone: (818) 358,1111

NO.	DATE	REVISIONS

PROPOSED MULTI USE DEVELOPMENT
 DEVONSHIRE AND SANDERSON AVE.
 HEMET, CA
 PROPOSED TYPICAL ELEVATIONS

revision	date
master release date	
prepared by	checked by
Project Name	
Facility/Project	
sheet name	



PROPERTY DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HEMET, COUNTY OF HEMET, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SOUTH HALF OF THE SEQUENTIAL OF THAT PORTION OF PARCEL LOT 176 OF THE LANDS OF THE SAN JACINTO LAND ASSOCIATION, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 807 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID PARCEL LOT 176; THENCE NORTH, ON THE EAST LINE OF SAID LOT, 1820 FEET, MORE OR LESS TO THE CENTER OF THE SAID EAST LINE, THENCE WEST, PARALLEL WITH THE NORTH LINE OF SAID LOT, 850 FEET, THENCE SOUTH, PARALLEL WITH THE EAST LINE OF SAID LOT, 1320 FEET TO THE SOUTH LINE OF SAID LOT, THENCE EAST, 690 FEET, TO THE POINT OF BEGINNING.
EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN DEVONSHIRE AVENUE AND ANDERSON AVENUE.
ASSESSOR'S PARCEL NUMBER: 448-253-021
AREA: 186,919.12 S.F. (4.337 ACRES)

TOPOGRAPHY SOURCE

A FIELD SURVEY BY PAVAN SURVEYING INC. DATED 01/17/21.

BENCHMARK

HEMET COUNTY BENCHMARK NO. 14-1-2 (RESET MARCH 1962), AT THE SE CORNER OF THE INTERSECTION OF ANDERSON AVENUE AND MENLO AVENUE. A STANDARD 4" ALUMINUM DISK IN A CONC. CYLINDER STAMPED 74-1-2 (RESET 1962).
ELEVATION: 1822.760

UTILITY PURVEYORS

WATER - EASTERN MUNICIPAL WATER DISTRICT
SEWER - CITY OF HEMET
ELECTRIC - SOUTHERN CALIFORNIA EDI, 'N' CO.
GAS - SOUTHERN CALIFORNIA GAS CO.
TELEPHONE - VERIZON

NOTE:
1. FOR BUILDING DIMENSIONS, SEE ARCHITECT PLAN.

PRELIMINARY EARTHWORK

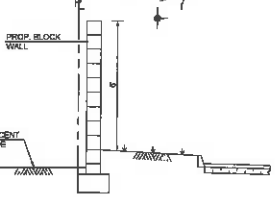
RAW CUT: 880 CY
RAW FILL: 7000 CY
IMPORT: 7000 CY

LEGEND

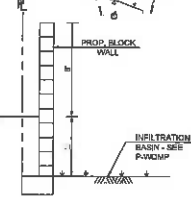
- ATT AT&T BOX
- BF BACKFLOW
- BRICK BRICK WALL
- BA BROAD BAN BOX
- CB CATCH BASIN
- CL CONCRETE
- CLW CONCRETE WALL
- CONTR CONTOUR
- DRN DRAIN
- EDG EDGE OF PAVEMENT
- EQ EQ
- EB ELECTRIC BOX
- EF ELECTRIC FUSE BOX
- FS FINISHED SURFACE
- FR FIRE RESISTANT
- FL FLOW LINE
- GA GATE
- GE GE MANHOLE
- GRD GRASS PLOT
- HA HAZARDOUS
- NG NATURAL GROUND
- PP POWER POLE
- RISER RISER
- SEW SEWER MANHOLE
- SDN STORE DRAIN MANHOLE
- TC TOP OF CURB
- TS TOP OF SLOPE
- TSB TOP OF SLOPE
- TV TV
- TRF TRAFFIC SIGNAL BOX
- TLT TRAFFIC LIGHT
- UB UNDERDRAIN BOX
- VV VERDOR VALVE
- WMC WATER METER
- WV WATER VALVE
- WP WOOD FENCE
- LP LOW POINT

LINE DATA

NO.	BEARING	DISTANCE
L1	N 44°48'45" E	32.57



SECTION 'B' - 'B'
NTS



SECTION 'A' - 'A'
NTS

Underground Service Alert
Call: TOLL FREE 811
TWO WORKING DAYS BEFORE YOU DIG

REVISION NO.	DATE	BY	APPROV. BY

DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____



BLAINE A. WOMER
CIVIL ENGINEERING
14245 S. BAYVIEW AVE., SUITE 100
Hemet, CA 94521
TEL: (951) 954-5500
FAX: (951) 954-5501

PREPARED UNDER THE SUPERVISION OF:
DATE: _____
SCALE: 1"=80'
BENCHMARK: _____
DATE: MARCH 2021

APPROVED BY: _____
CITY OF HEMET
DATE: _____



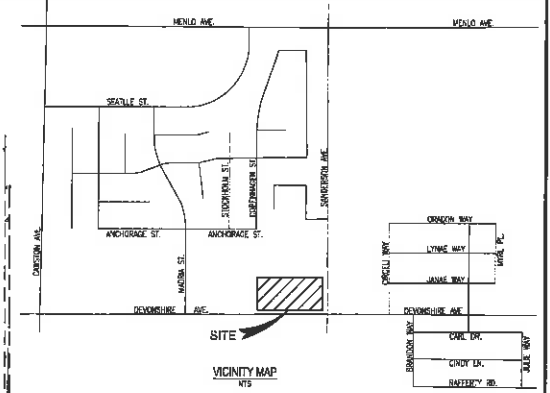
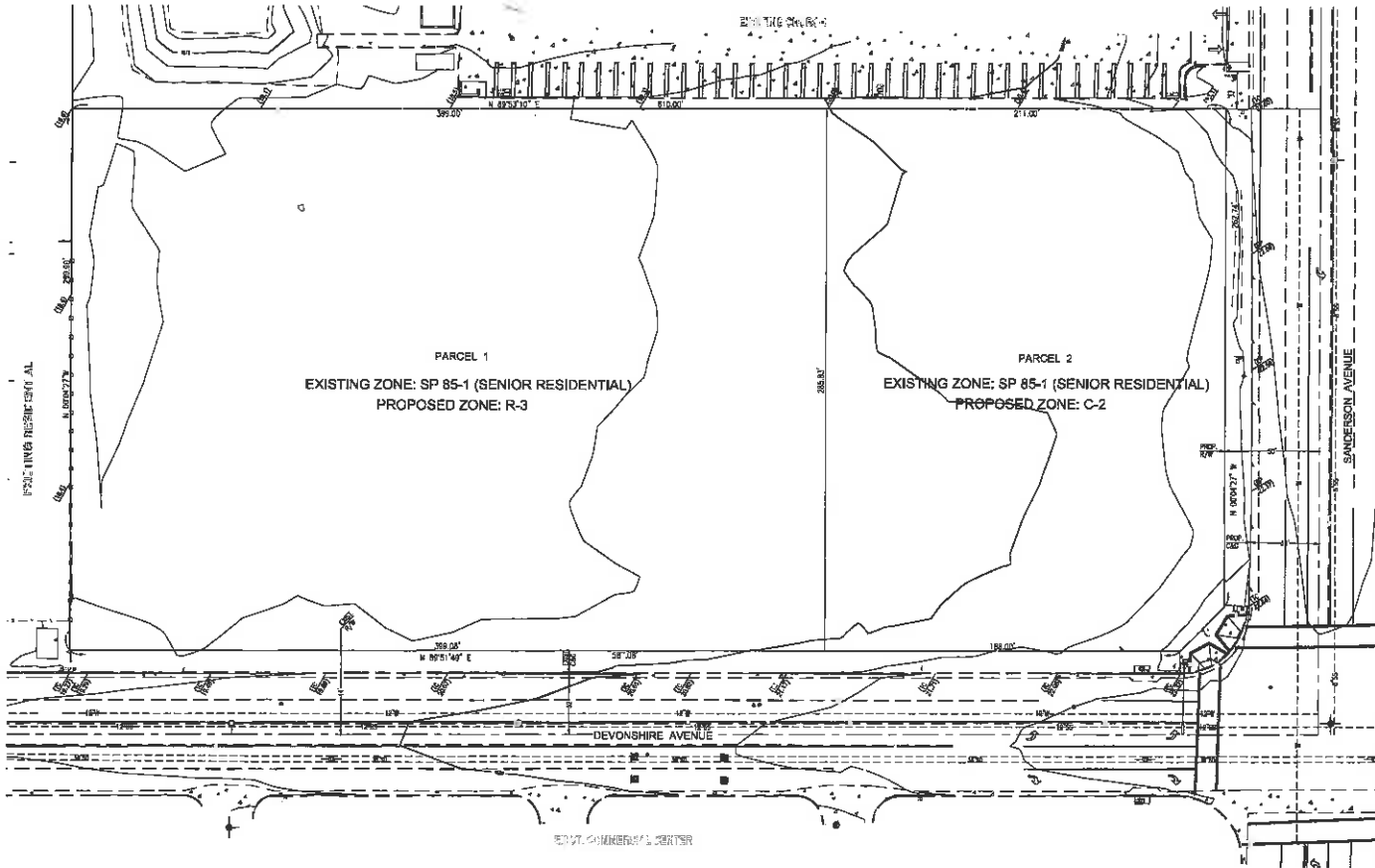
City of Hemet
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
142 S. Pacific Ave.
HEMET, CA 94520
(951) 954-5500

City of Hemet
DELFINA APARTMENTS / GO
FRESH GAS STATION
CONCEPTUAL GRADING PLAN



0 20 40 60
1" = 30'

CITY OF HEMET TENTATIVE PARCEL MAP No. 38141 ZONE CHANGE EXHIBIT



OWNER / APPLICANT
AVCO LLC
3841 LONG BEACH BOULEVARD
LONG BEACH, CA 92607

ASSESSOR'S PARCL No.
448-255-021

EXISTING LAND USE **PROPOSED LAND USE**
RDR C-2/R-3

EXISTING ZONING **PROPOSED ZONING**
SP 85-01 (SENIOR RESIDENTIAL) C-2/R-3

ADJACENT LAND USE
NORTH - CHURCH
SOUTH - COMMERCIAL
WEST - RESIDENTIAL
EAST - COMMERCIAL

PROPERTY DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HEMET, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SOUTH HALF OF THE SOUTH HALF OF THAT PORTION OF FARM LOT 176 OF THE LANDS OF THE SAN JACINTO LAND ASSOCIATION, AS SHOWN BY MAP ON FILE IN BOOK 3 PAGE 367 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID FARM LOT 176; THENCE NORTH ON THE EAST LINE OF SAID LOT, 130 FEET, MORE OR LESS, TO THE CENTER OF THE SAID EAST LINE; THENCE WEST, PARALLEL WITH THE NORTH LINE OF SAID LOT, 850 FEET; THENCE SOUTH, PARALLEL WITH THE EAST LINE OF SAID LOT, 1320 FEET TO THE SOUTH LINE OF SAID LOT; THENCE EAST 600 FEET, TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN DEVONSHIRE AVENUE AND SANDERSON AVENUE.

TOPOGRAPHY SOURCE
A FIELD SURVEY BY PAYAN SURVEYING INC. DATED 1/11/01.

UTILITY PURVEYORS
WATER - EASTERN MUNICIPAL WATER DISTRICT
SEWER - CITY OF HEMET
ELECTRIC - SOUTHERN CALIFORNIA EDISON CO.
GAS - SOUTHERN CALIFORNIA GAS CO.
TELEPHONE - VERIZON

AREA
8.00 ACRES, GROSS
4.00 ACRES, NET

SCHOOL DISTRICT
HEMET UNIFIED

FLOOD ZONE
PORTION ZONE "A"
PORTION ZONE "X"
MAP No. 06085C14760
DATED 6/28/2008

LINE DATA
NO. 1 BEARING N 44°04'3" E DISTANCE 32.67

Underground Service Alert
Call: TOLL FREE 811
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS:			APPROVED:
NO.	DATE	BY:	

DESIGNED BY: DRAWN BY: CHECKED BY:

BLAINE A. WOMER
CIVIL ENGINEERING
No. 48354
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
CIVIL
No. 48354

PREPARED UNDER THE SUPERVISION OF:
DATE: SCALE: BENCHMARK: DATE: MARCH 2021

APPROVED BY: DATE: CITY OF HEMET

City of Hemet
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
670 E. Progre Ave.
HEMET, CA 92343
(951) 761-2900

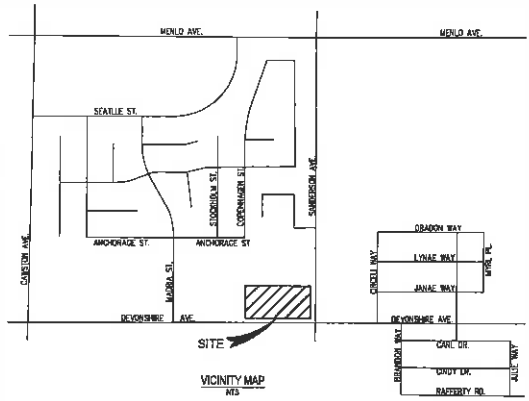
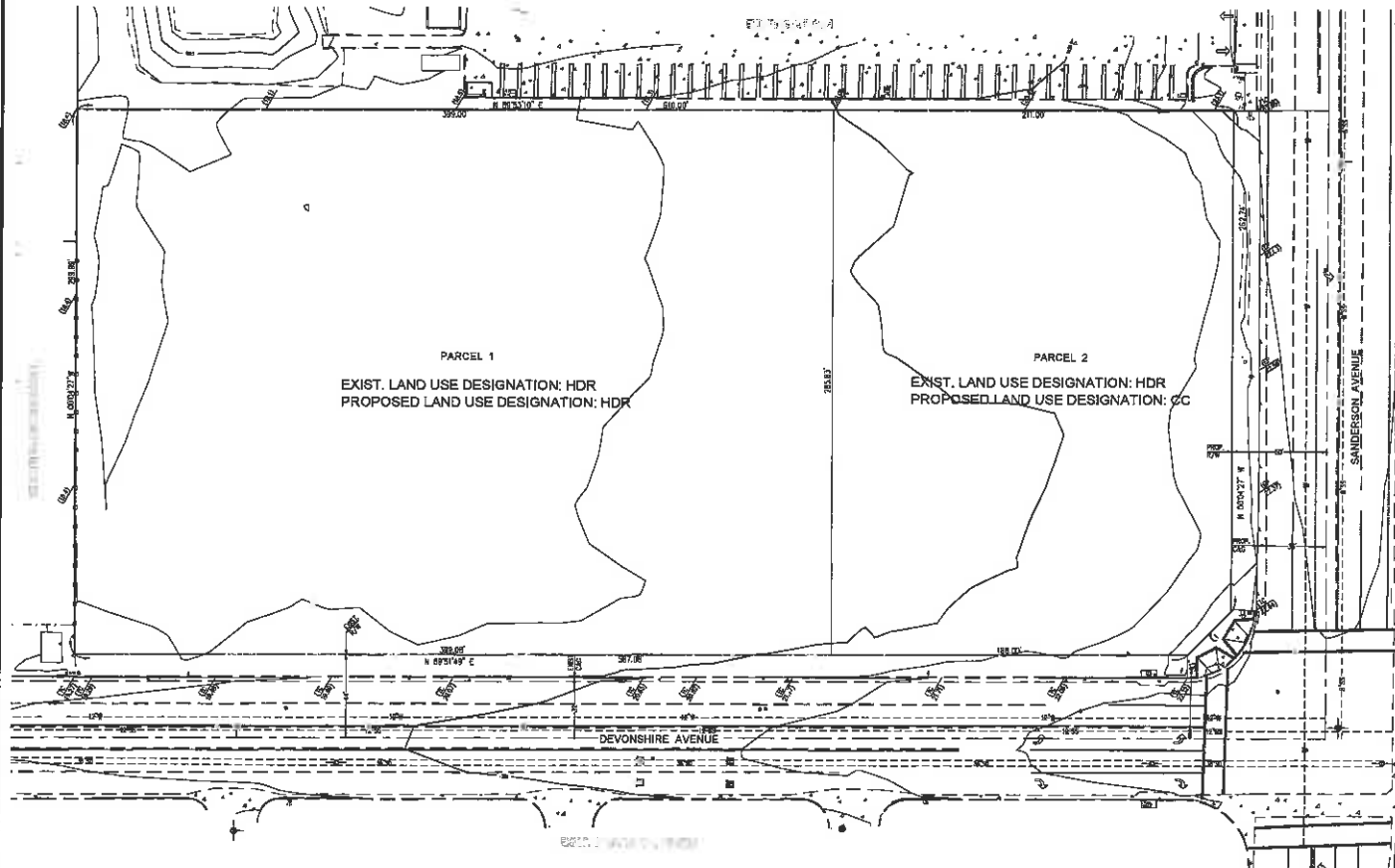
City of Hemet
TENTATIVE PARCEL MAP
No. 38141
ZONE CHANGE EXHIBIT

1 OF 1 SHEETS
FILE NO. SHEET NO. DATE



1" = 30'

CITY OF HEMET TENTATIVE PARCEL MAP No. 38141 GENERAL PLAN AMENDMENT EXHIBIT



OWNER / APPLICANT
AMPO, LLC
3451 LONG BEACH BOULEVARD
LONG BEACH, CA 90807

ASSESSOR'S PARCEL No.
448-020-002

EXISTING LAND USE HDR	PROPOSED LAND USE C-2/R-3
EXISTING ZONING SP-85-01 (SINGLE-FAMILY RESIDENTIAL)	PROPOSED ZONING C-2/R-3

ADJACENT LAND USE
NORTH - CHURCH
SOUTH - COMMERCIAL
WEST - RESIDENTIAL
EAST - COMMERCIAL

PROPERTY DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HEMET, COUNTY OF FERNANDO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SOUTH HALF OF THE SOUTH HALF OF THAT PORTION OF FARM LOT 178 OF THE LANDS OF THE SAN JACINTO LAND ASSOCIATION, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 367 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID FARM LOT 178; THENCE NORTH ON THE EAST LINE OF SAID LOT, 1332 FEET MORE OR LESS, TO THE CENTER OF THE SAID EAST LINE; THENCE WEST PARALLEL WITH THE NORTH LINE OF SAID LOT, 580 FEET; THENCE SOUTH PARALLEL WITH THE EAST LINE OF SAID LOT, 1332 FEET TO THE SOUTH LINE OF SAID LOT; THENCE EAST 580 FEET, TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN DEVONSHIRE AVENUE AND SANDERSON AVENUE.

TOPOGRAPHY SOURCE
A FIELD SURVEY BY PAXAN SURVEYING INC. DATED 10/1/21.

UTILITY PURVEYORS
WATER - EAST BAY MUNICIPAL WATER DISTRICT
SEWER - CITY OF HEMET
ELECTRIC - SOUTHERN CALIFORNIA Edison CO.
GAS - SOUTHERN CALIFORNIA GAS CO.
TELEPHONE - VERIZON

AREA
6.00 ACRES, GROSS
4.00 ACRES, NET

SCHOOL DISTRICT
HEMET UNIFIED

FLOOD ZONE
PORTION ZONE 'A'
PORTION ZONE 'X'
MAP No. 00082C-14702
DATED 02/26/2008

LINE DATA
NO. 1
L1 BEARING N 44°48'43" E DIST. 100
53.90

Underground Services Alert
Call: TOLL FREE 811
TWO WORKING DAYS BEFORE YOU DIG

NO.	DATE	BY	APPROVED

DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____

Blaine A. Womer
CIVIL ENGINEERING
Professional Engineer No. 81334
State of California

PREPARED UNDER THE SUPERVISION OF:
DATE: _____
SCALE: 1"=50'
DATE: MARCH 2021

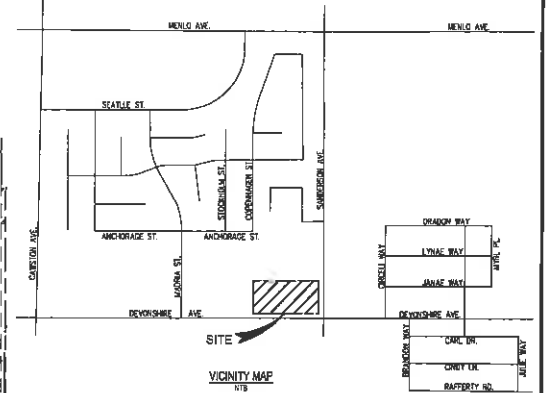
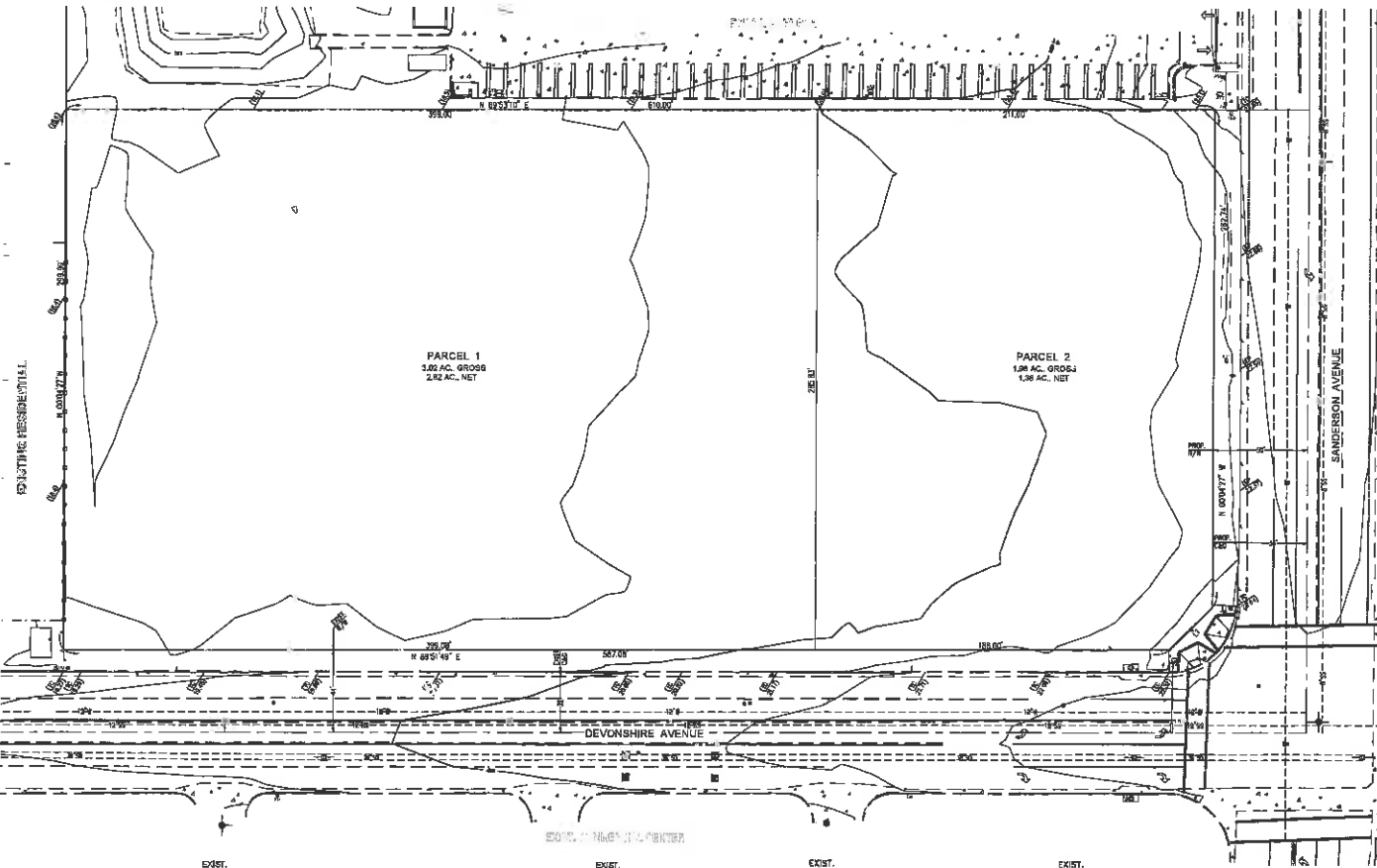
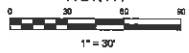
APPROVED BY: _____
CITY OF HEMET
DATE: _____

City of Hemet
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
510 E. Florida Ave.
Hemet, CA 90803
(951) 755-2101

City of Hemet
TENTATIVE PARCEL MAP
No. 38141
GENERAL PLAN AMENDMENT
EXHIBIT

1
OF 1 SHEETS
FILE NO. _____

CITY OF HEMET
TENTATIVE PARCEL MAP No. 38141



OWNER / APPLICANT
AMCO, LLC
3401 LONG BEACH BOULEVARD
LONG BEACH, CA 90807

ASSESSOR'S PARCL No.
448-229-021

EXISTING LAND USE **PROPOSED LAND USE**
ROR C2 / R-3

EXISTING ZONING **PROPOSED ZONING**
SP 45-01 (SIGNOR RESIDENTIAL) C2 / R-3

PROPERTY DESCRIPTION
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF HEMET, COUNTY OF HUMBOLDT, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SOUTH HALF OF THE SOUTH HALF OF THAT PORTION OF FARM LOT 178 OF THE LANDS OF THE SAN JACINTO LAND ASSOCIATION, AS SHOWN BY MAP ON FILE IN BOOK 8 PAGE 387 OF MAPS, RECORDS OF SAN DIEGO, COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHEAST CORNER OF SAID FARM LOT 178; THENCE NORTH, ON THE EAST LINE OF SAID LOT, 1820 FEET, MORE OR LESS, TO THE CENTER OF THE END EAST LINE THENCE WEST, PARALLEL WITH THE NORTH LINE OF SAID LOT, 860 FEET; THENCE SOUTH, PARALLEL WITH THE EAST LINE OF SAID LOT, 1320 FEET TO THE SOUTH LINE OF SAID LOT; THENCE EAST 950 FEET, TO THE POINT OF BEGINNING;

EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN DEVONSHIRE AVENUE AND SANDERSON AVENUE.

TOPOGRAPHY SOURCE
A FIELD SURV BY BY PAYAN SURVEYING INC. DATED 10/1/21.

UTILITY PURVEYORS
WATER - EASTERN MUNICIPAL WATER DISTRICT
SEWER - CITY OF HEMET
ELECTRIC - SOUTHERN CALIFORNIA EDISON CO.
GAS - SOUTHERN CALIFORNIA GAS CO.
TELEPHONE - VERIZON

NUMBER OF PARCELS
2

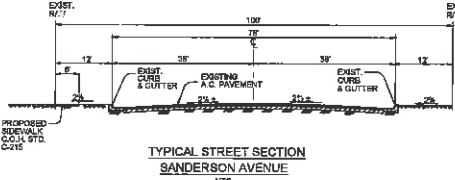
AREA
6.20 ACRES GROSS
4.09 ACRES NET

SCHOOL DISTRICT
HEMET UNIFIED

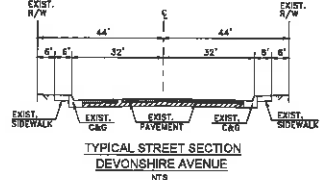
FLOOD ZONE
PORTION ZONE "A"
PORTION ZONE "X"
MAP No. 0095EC14700
DATED 02/26/2008

LEGEND

ATT	ATTY BOX
BF	BACKFILL
BL	BLOCK WALL
BR	BENCH
BS	BROAD BANK BOX
CB	CATCH BASIN
CF	CHAIN LINK FENCE
CG	CONCRETE
CH	CONCRETE WALL
CL	CONTOUR
CO	CURB
CP	EDGE OF PAVEMENT
EV	EDISON VAULT
EB	ELECTRIC BOX
EP	ELECTRIC PILE BOX
FS	FINISHED SURFACE
FR	FIRE HYDRANT
FL	FLOW LINE
GA	GATE
GM	OTE MANHOLE
GP	GUARD POST
MA	MALEK
NG	NATURAL GROUND
NP	POWER POLE
OR	ORCH
OS	SEWER MANHOLE
SR	SUR
SO	STORM DRAIN MANHOLE
TC	TOP OF CURB
TD	TOP OF SLOPE
TS	TOP OF SLOPE
TV	TOP OF WALL
TVS	TRAFFIC SIGNAL BOX
US	UNKNOWN SIDE
UV	VERTICAL VAULT
VM	WATER METER
VL	WATER VALVE
WF	WOOD FENCE
LP	LOW POINT



TYPICAL STREET SECTION
SANDERSON AVENUE
NTS



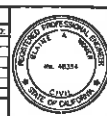
TYPICAL STREET SECTION
DEVONSHIRE AVENUE
NTS

LINE DATA

NO. 11	BEARING	DISTANCE
	N 44°40'47" E	32.89'

Underground Service Alert
Call: TOLL FREE
811
TWO WORKING DAYS BEFORE YOU DIG

REVISIONS			APPROVED:
NO.	DATE	BY	
DESIGNED BY:	DRAWN BY:	CHECKED BY:	



BLAINE A. WOMER
CIVIL ENGINEERING
PLANNING
SURVEYING
LANDSCAPE ARCHITECTURE
PUBLIC WORKS

PREPARED UNDER THE SUPERVISION OF
DATE: _____
SCALE: 1"=50'
BENCHMARK: _____
DATE: MARCH 2024

APPROVED BY:

CITY OF HEMET
DATE: _____



City of Hemet
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION
210 E. Front Street
HEMET, CA 94343
(531) 761-4300

City of Hemet
TENTATIVE PARCEL MAP
No. 38141
1
OF 1 SHEETS
FILE NO.

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Hemet Planning Department should be contacted on non-ALUC issues. For more information please contact City of Hemet Planner Ms. Soledad Carrisoza at (951) 765-2376.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website www.rcaluc.org. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to prull@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: August 12, 2021

TIME OF HEARING: 9:30 A.M.

Pursuant to Executive Order N-29-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at www.rcaluc.org

CASE DESCRIPTION:

ZAP1066HR21 – AMCO, LLC (Representative: Blaine A. Wormer Civil Engineering) – City of Hemet Case Nos. GPA21-002 (General Plan Amendment), CZ21-002 and CZ21-003 (Change of Zone), SDR21-007 (Site Development Review), CUP21-005 (Conditional Use Permit), TPM38141 (Tentative Parcel Map). A proposal to construct a mixed-use development including a gas station facility with a 4,140 square foot convenience store and a 2,240 square foot car wash tunnel, and a 61 unit apartment complex on 5.0 gross acres, located on the northwest corner of Sanderson Avenue and Devonshire Avenue. The applicant also proposes to amend the site's land use designation from High Density Residential to High Density Residential and Community Commercial, and change the site's zoning from SP85-1 (Senior Residential) to R-3 (Multi-Family Residential) and C-2 (General Commercial). The applicant also proposes a tentative parcel map to divide the site into two parcels (Airport Compatibility Zone E of the Hemet-Ryan Airport Influence Area).



RIVERSIDE COUNTY

AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: 2AP1066HR21 DATE SUBMITTED: 06/28/21

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant	Amco, LLC	Phone Number	310-948-2236
Mailing Address	3401 Long Beach Blvd. Long Beach, CA 92807	Email	unitedllc2@gmail.com

Representative	Blaine A. Womer Civil Engineering	Phone Number	951-658-1727
Mailing Address	41555 East Florida Avenue, Suite G Hemet, CA 92544	Email	

Property Owner	Amco, LLC	Phone Number	310-948-2236
Mailing Address	3401 Long Beach Blvd. Long Beach, CA 92807	Email	unitedllc2@gmail.com

Hemet
Zone E

LOCAL JURISDICTION AGENCY

Local Agency Name	City of Hemet	Phone Number	951-765-2376
Staff Contact	Soledad Carrospza	Email	scarriszoa@hemetca.gov
Mailing Address	445 East Florida Avenue Hemet, CA 92543	Case Type	<input checked="" type="checkbox"/> General Plan / Specific Plan Amendment <input type="checkbox"/> Zoning Ordinance Amendment <input type="checkbox"/> Subdivision Parcel Map / Tentative Tract <input type="checkbox"/> Use Permit <input type="checkbox"/> Site Plan Review/Plot Plan <input type="checkbox"/> Other
Local Agency Project No	<u>GPA21-002, ZC21-002, ZC21-003,</u> <u>SDR21-007, CUP21-005, TAM38141</u>		

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address	Northwest corner of Devonshire Avenue and Sanderson Avenue Hemet, CA		
Assessor's Parcel No.	448-230-021	Gross Parcel Size	4.1 Acres
Subdivision Name	Delfina at Devonshire	Nearest Airport and distance from Airport	Hemet Ryan Airport, 8000'
Lot Number	Lot 176 MB 8/357		

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Vacant Land

Proposed Land Use (describe)	Gas service station with convenience store, 60 unit apartment project		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	60 Units - Apartments	
For Other Land Uses (See Appendix C)	Hours of Operation	24 Hours/7 Days a Week	
	Number of People on Site	Maximum Number	15-20 Employees
	Method of Calculation	N/A	
Height Data	Site Elevation (above mean sea level)	1520.0	ft.
	Height of buildings or structures (from the ground)	36	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	If yes, describe		

- A. NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. (Only required if the project is scheduled for a public hearing Commission meeting)

**RIVERSIDE COUNTY
AIRPORT LAND USE COMMISSION**

STAFF REPORT

AGENDA ITEM: 3.2

HEARING DATE: August 12, 2021

CASE NUMBER: ZAP1481MA21 – Stratford Ranch Associates, LLC
(Representative: Mission Pacific Land Company)

APPROVING JURISDICTION: City of Perris

JURISDICTION CASE NO: GPA21-05040 (General Plan Amendment), ZC21-05039
(Zone Change), PLN21-05032 (Tentative Tract Map No. 38071)

LAND USE PLAN: 2014 March Air Reserve Base/Inland Port Airport Land Use
Compatibility Plan

Airport Influence Area: March Air Reserve Base

Land Use Policy: Airport Compatibility Zones D and E

Noise Levels: Below 60 CNEL from aircraft

MAJOR ISSUES: None

RECOMMENDATION: Staff recommends that the Commission find the proposed General Plan Amendment and Zone Change CONSISTENT with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, and find the proposed Tentative Tract Map CONSISTENT, subject to the conditions included herein.

PROJECT DESCRIPTION: The applicant proposes to divide 48.61 acres into 192 single family residential lots. The applicant also proposes to amend the site's general plan land use designation and zoning from Specific Plan (general plan designation) and R-10,000 (zoning classification) to R-6,000 (Single Family Residential).

PROJECT LOCATION: The site is located on the northeast corner of Ramona Expressway and Evans Road, approximately 12,340 feet southeasterly of the southerly end of Runway 14-32 at March Air Reserve Base.

BACKGROUND:

Residential Density: Pursuant to the Airport Land Use Compatibility Plan for the March Air Reserve Base/Inland Port Airport, the site is located within Compatibility Zones D and E, which

does not limit residential density.

Prohibited and Discouraged Uses: The applicant does not propose any uses prohibited or discouraged in Compatibility Zones D and E.

Noise: The March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan depicts the site as being outside the 60 CNEL range from aircraft noise. Therefore, no special measures are required to mitigate aircraft-generated noise.

Part 77: The elevation of Runway 14-32 at its southerly terminus is 1,488 feet above mean sea level (1,488 feet AMSL). At a distance of approximately 12,340 feet from the project to the nearest point on the runway, Federal Aviation Administration (FAA) review would be required for any structures with top of roof exceeding 1,611 feet AMSL. The site's elevation is 1,461 feet AMSL, and the proposed maximum building height is 30 feet, resulting in a top point elevation of 1,491 feet AMSL. Therefore, review of buildings by the FAA Obstruction Evaluation Service is not required.

Open Area: None of the Compatibility Zones for the March Air Reserve Base/Inland Port ALUCP require open area specifically.

General Plan Amendment/Zone Change: The applicant also proposes to amend the site's general plan land use designation and zoning from Specific Plan (general plan designation) and R-10,000 (zoning classification) to R-6,000 (Single Family Residential). The proposed amendments would be as, or more, consistent with the Compatibility Plan as the underlying compatibility zones does not restrict densities.

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the

area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)

- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight
3. The attached notice shall be provided to all prospective purchasers of the property and tenants of the building, and shall be recorded as a deed notice.
 4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

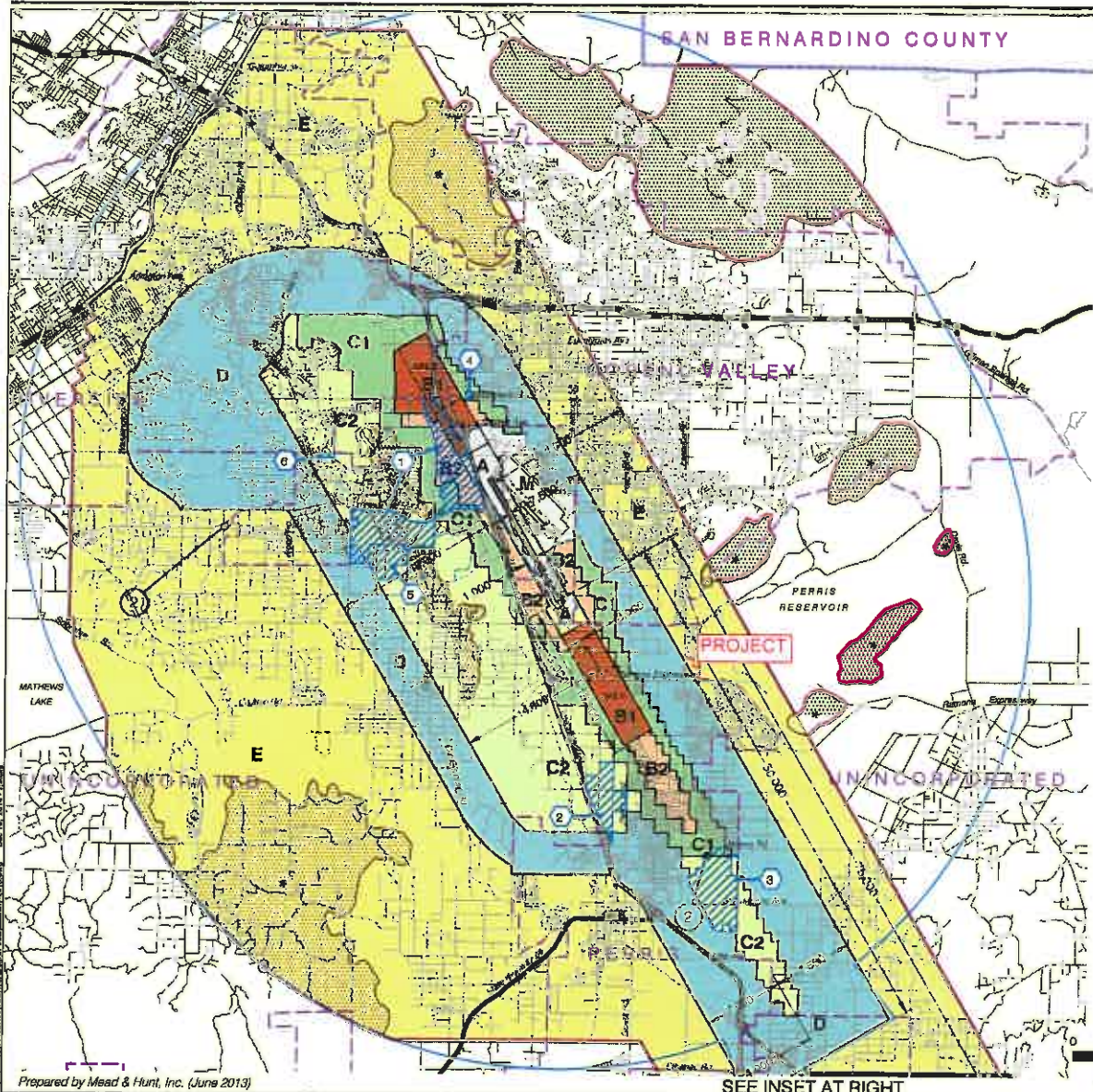
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

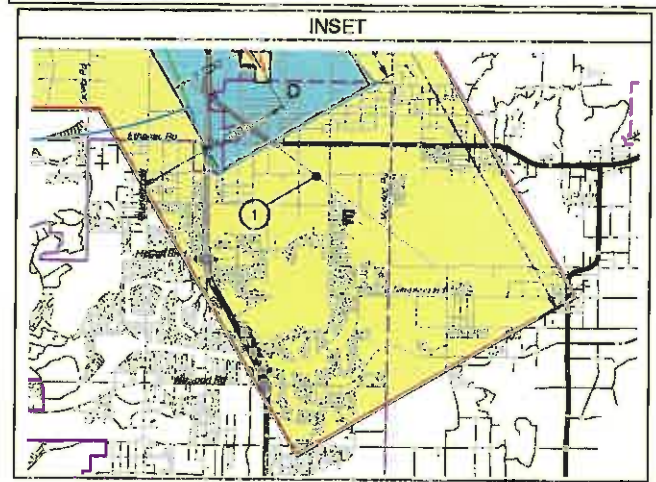
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- 1 Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,535 feet MSL.
- 2 Point at which departing aircraft typically reach 3,000 feet above runway end.

- 1 March JPA: March Business Center/Meridian
- 2 Perris: Harvest Landing
- 3 Perris: Park West
- 4 Moreno Valley: Affordable Housing
- 5 March JPA: Ben Clark Training Center
- 6 Riverside: Ridge Crest Subdivision



Note:
All dimensions are measured from runway ends and centerlines.



**Riverside County
Airport Land Use Commission
March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan
(Adopted November 13, 2014)**

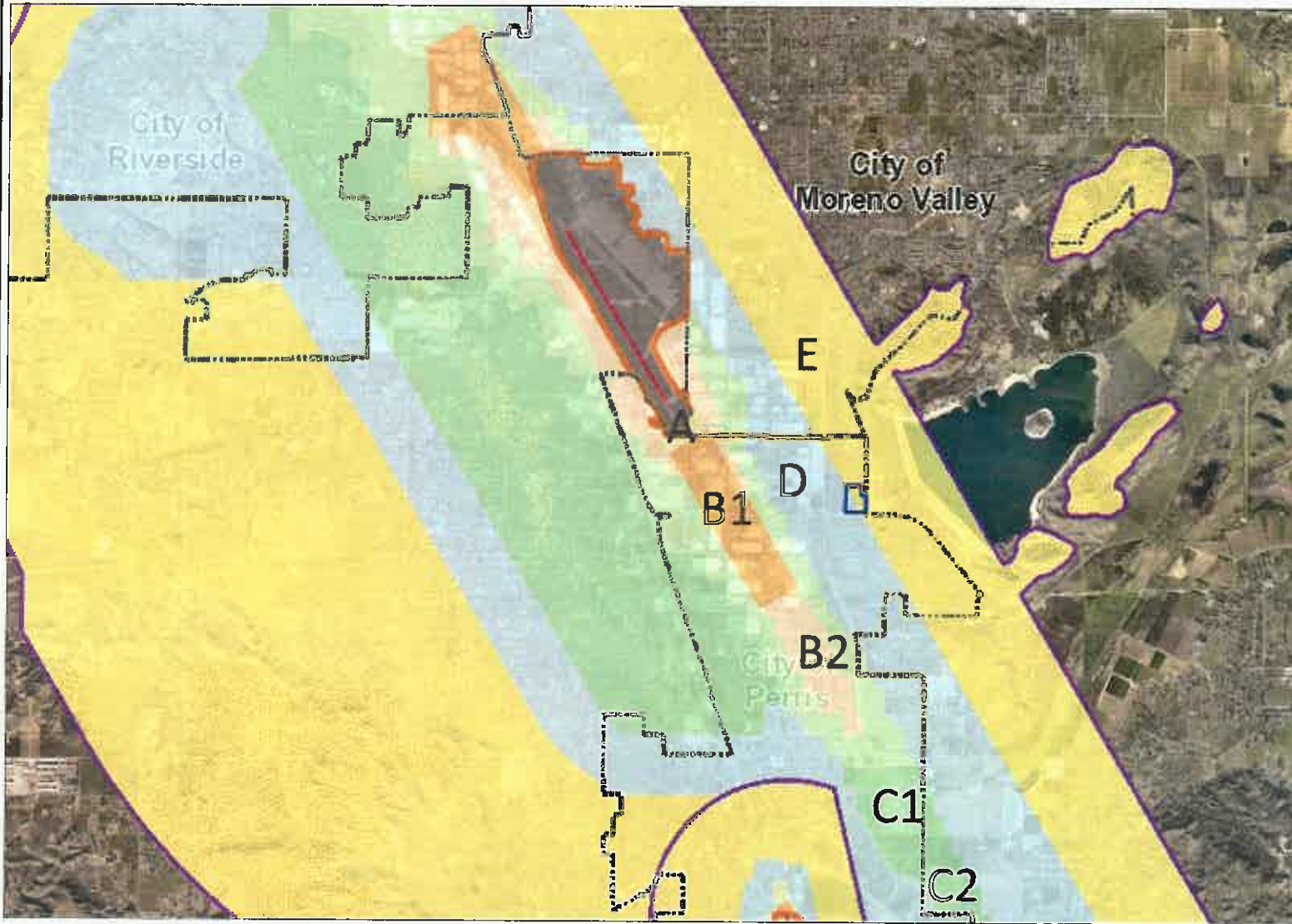
Map MA-1
Compatibility Map
March Air Reserve Base / Inland Port Airport

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Base map source: County of Riverside 2013

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



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Notes

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6



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0 770 1,539 Feet

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Notes

Map My County Map



Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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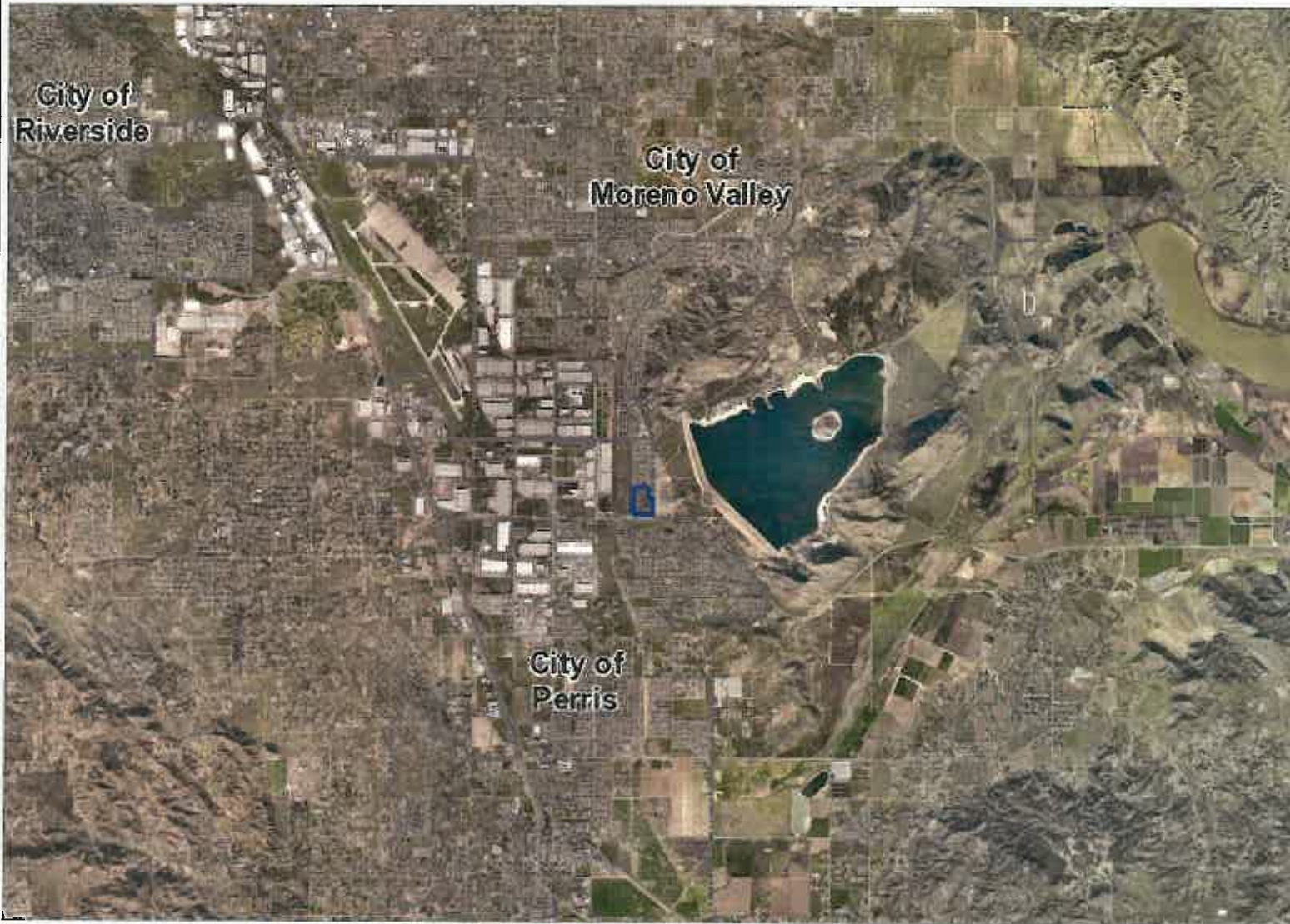
0 770 1,539 Feet

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Notes

Map My County Map



Legend

-  City Areas
-  World Street Map



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0 12 24,629 Feet
314

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Notes

Map My County Map



Legend

- Blueline Streams
- City Areas
- World Street Map



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0 3,079 6,157 Feet

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Notes

Map My County Map



Legend

- County Centerline Names
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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0 770 1,539 Feet

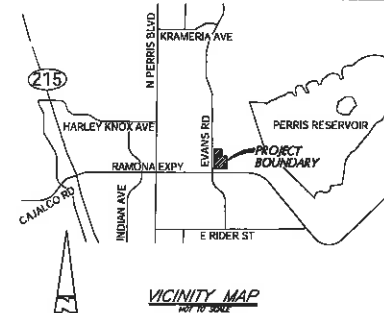
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Notes

TENTATIVE TRACT MAP NO. 38071

CITY OF PERRIS, CA



TOTAL SITE ESTIMATED CUT/FILL VOLUMES

CUT VOLUME	74,894 CY
FILL VOLUME	46,849 CY
RAW FILL	26,045 CY CUT
ADJUSTED TOTAL	51 CY CUT (REPAIR)

- NOTES:
 1) EARTHWORK VOLUMES ARE ESTIMATED BASED ON VERTICAL CUT LINES AT PROPERTY BOUNDARIES.
 2) EARTHWORK VOLUMES ASSUMES 1.2% ADJUSTMENT FOR SWAYRAGE AND 0.1% FOR SURFACE.
 3) ADJUSTED EARTHWORK TOTAL INCLUDES REINFORCING.
 4) EARTHWORK VOLUMES BASED ON COMPARISON TO EXISTING TOPOG DATED 2020

EASEMENTS:

SEE TITLE REPORT FIRST AMENDED TITLE COUNTY 02001 NO. 0000-000000 (REV. DATED OCTOBER 26, 2020). BOUNDARY SHOWN HEREIN IS PER TITLE SURVEY. EXISTING EASEMENTS ARE SHOWN ON THIS MAP.

UTILITY LEGEND

---	PROPOSED WATER
---	PROPOSED SEWER
---	PROPOSED STORM DRAIN
---	EXISTING WATER
---	EXISTING SEWER
---	EXISTING STORM DRAIN

WOMP MEASURES

SEE WOMP CONCEPTUAL SITE PLAN FOR TREATMENT FACILITIES.

LOT SUMMARY TABLE

Lot No.	Area (SQ FT)
1-111	RESIDENTIAL LOTS-TRACT 38071-1
112-182	RESIDENTIAL LOTS-TRACT 38071

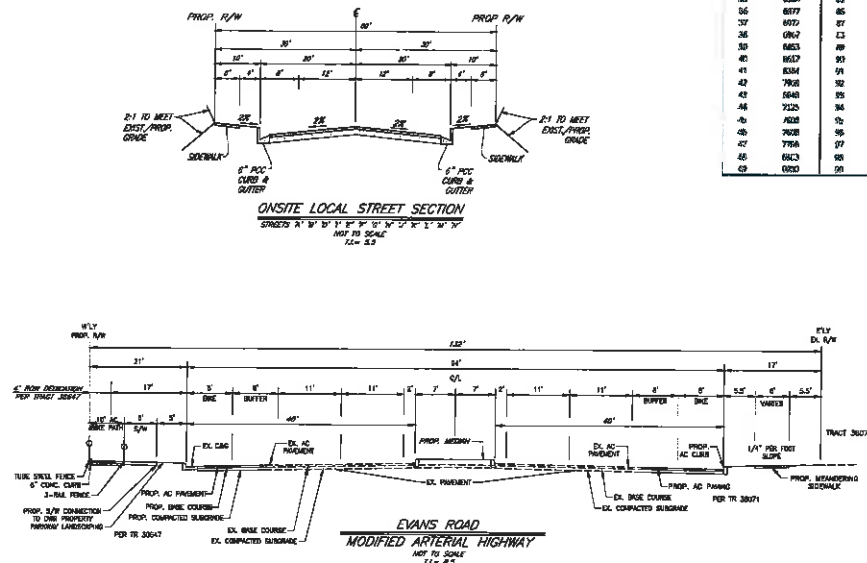
UTILITY NOTES

- WATER:** EASTERN MUNICIPAL WATER DISTRICT
2270 TRIANGLE ROAD
PERRIS, CA 92572
(951) 368-3500
- SEWER:** EASTERN MUNICIPAL WATER DISTRICT
2270 TRIANGLE ROAD
PERRIS, CA 92572
(951) 368-3577
- GAS:** SOUTHERN CALIFORNIA GAS CO.
12811 W. LUGAN AVENUE
RESIDUALS, CA 92574
(909) 335-7498
- PHONE:** SBC/PACIFIC BELL
12811 W. LUGAN AVENUE
SUITE 180
ANNARDE, CA 92507
(714) 666-5423
- ELECTRIC:** SO. CAL. EDISON CO.
30100 MONTPELIER ROAD
POMONA, CA 92666
(951) 868-5907
(951) 868-5408
- FIRE:** INDIANWELL COUNTY FIRE DEPARTMENT
4030 LEON STREET 2ND FLOOR
INDIANWELL, CA 92504
(951) 255-4777
- FIBER OPTIC:** LEVEL 3 COMMUNICATIONS
NETWORK RELOCATION/INSTALLATION
7105 GLENWOOD BLVD. BLDG. 132-202
BOSTONFIELD, CO 80021
(702) 886-5408
- SCHOOL DISTRICT:** VERDE UNITED SCHOOL DISTRICT

NOTES

- PREPARED FEBRUARY 2021
- TOTAL PROJECT GROSS AREA: 48.61 AC
- MINIMUM RESIDENTIAL LOT SIZE: 6,000 S.F.
- EXISTING GENERAL PLAN DESIGNATION: SPECIAL FAMILY RESIDENTIAL R-6,000
- PROPOSED GENERAL PLAN DESIGNATION: SINGLE FAMILY RESIDENTIAL R-6,000
- EXISTING LAND USE: W/AGRI
- PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL
- EXISTING ZONING: R-6,000
- PROPOSED ZONING: R-6,000
- PROPOSED GROSS: 4.56 ACRE GROSS
- ADJACENT LAND USE: W/AGRI
- NOTES:
 - GENERAL PLAN - SINGLE FAMILY RESIDENTIAL R-6,000
 - ZONING - R-6,000
 - EXISTING USE - W/AGRI
 - EXISTING ZONE - R-6,000
 - RES: GENERAL PLAN - SINGLE FAMILY RESIDENTIAL R-6,000/PUBLIC ZONING - R-6,000
 - EXISTING USE - W/AGRI
 - 12. TRAVEL PROGRESS GUIDE: INDIANWELL COUNTY, PAGE 658, GRID 67
 - 13. ALL EXISTING EASEMENTS AND IRREVOCABLE OFFERS OF DEDICATION THAT AFFECT THE PROPERTY SHOWN SUBMITTED ARE SHOWN ON THIS TENTATIVE TRACT MAP.
 - 14. ALL EXISTING EASEMENTS ARE TO REMAIN IN THEIR DESIGNATED LOCATIONS UNLESS FURTHER OTHERWISE.
 - 15. THE SUBJECT PROPERTY IS WITHIN SHARPA AND OTHER INTERESTS.
 - 16. THE SUBJECT PROPERTY IS WITHIN FLOOD ZONE X PER FROM MAP PHASE 14400.
 - 17. ALL SHOWN SHOWN A NECESSARY INTEREST IN THE PROPERTY BEING SUBMITTED ARE SHOWN OF AND CONSENT TO THE FILING OF THIS TENTATIVE TRACT MAP.
 - 18. ALL OPEN SPACE, FLOOD DAMAGE PROTECTIVE, TRAFFIC QUEUES, AND PARKING CONSIDERATIONS SHALL BE MAINTAINED BY THE CITY'S USE.
 - 19. THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
 - 20. ALL NEIGHBORHOODS WITHIN THE CITY OF PERRIS ARE TO REMAIN AS SHOWN ON THIS TENTATIVE TRACT MAP.
 - 21. APPLICATION/OWNER RESERVES THE RIGHT TO PHASE THE FINAL MAPS.
 - 22. RESTRICTED ACCESS TO RAMONA EXPRESSWAY LOTS 178-182
 - 23. EXISTING PERRY STREET R/W TO BE MAINTAINED.
 - 24. LOTS A THROUGH G TO BE DEDICATED TO THE CITY OF PERRIS.

SECTION	AREA (SQ FT)	AREA (AC)	PERCENT	PERCENT	PERCENT	PERCENT
1	1,000	0.023	0.05	0.05	0.05	0.05
2	2,000	0.046	0.10	0.10	0.10	0.10
3	3,000	0.069	0.15	0.15	0.15	0.15
4	4,000	0.092	0.20	0.20	0.20	0.20
5	5,000	0.115	0.25	0.25	0.25	0.25
6	6,000	0.138	0.30	0.30	0.30	0.30
7	7,000	0.161	0.35	0.35	0.35	0.35
8	8,000	0.184	0.40	0.40	0.40	0.40
9	9,000	0.207	0.45	0.45	0.45	0.45
10	10,000	0.230	0.50	0.50	0.50	0.50
11	11,000	0.253	0.55	0.55	0.55	0.55
12	12,000	0.276	0.60	0.60	0.60	0.60
13	13,000	0.299	0.65	0.65	0.65	0.65
14	14,000	0.322	0.70	0.70	0.70	0.70
15	15,000	0.345	0.75	0.75	0.75	0.75
16	16,000	0.368	0.80	0.80	0.80	0.80
17	17,000	0.391	0.85	0.85	0.85	0.85
18	18,000	0.414	0.90	0.90	0.90	0.90
19	19,000	0.437	0.95	0.95	0.95	0.95
20	20,000	0.460	1.00	1.00	1.00	1.00
21	21,000	0.483	1.05	1.05	1.05	1.05
22	22,000	0.506	1.10	1.10	1.10	1.10
23	23,000	0.529	1.15	1.15	1.15	1.15
24	24,000	0.552	1.20	1.20	1.20	1.20
25	25,000	0.575	1.25	1.25	1.25	1.25
26	26,000	0.598	1.30	1.30	1.30	1.30
27	27,000	0.621	1.35	1.35	1.35	1.35
28	28,000	0.644	1.40	1.40	1.40	1.40
29	29,000	0.667	1.45	1.45	1.45	1.45
30	30,000	0.690	1.50	1.50	1.50	1.50
31	31,000	0.713	1.55	1.55	1.55	1.55
32	32,000	0.736	1.60	1.60	1.60	1.60
33	33,000	0.759	1.65	1.65	1.65	1.65
34	34,000	0.782	1.70	1.70	1.70	1.70
35	35,000	0.805	1.75	1.75	1.75	1.75
36	36,000	0.828	1.80	1.80	1.80	1.80
37	37,000	0.851	1.85	1.85	1.85	1.85
38	38,000	0.874	1.90	1.90	1.90	1.90
39	39,000	0.897	1.95	1.95	1.95	1.95
40	40,000	0.920	2.00	2.00	2.00	2.00
41	41,000	0.943	2.05	2.05	2.05	2.05
42	42,000	0.966	2.10	2.10	2.10	2.10
43	43,000	0.989	2.15	2.15	2.15	2.15
44	44,000	1.012	2.20	2.20	2.20	2.20
45	45,000	1.035	2.25	2.25	2.25	2.25
46	46,000	1.058	2.30	2.30	2.30	2.30
47	47,000	1.081	2.35	2.35	2.35	2.35
48	48,000	1.104	2.40	2.40	2.40	2.40
49	49,000	1.127	2.45	2.45	2.45	2.45
50	50,000	1.150	2.50	2.50	2.50	2.50



TENTATIVE TRACT MAP NO. 38071

CITY OF PERRIS

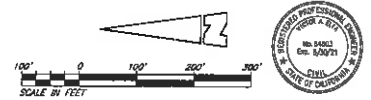
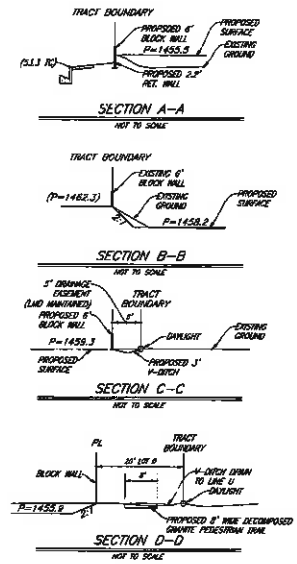
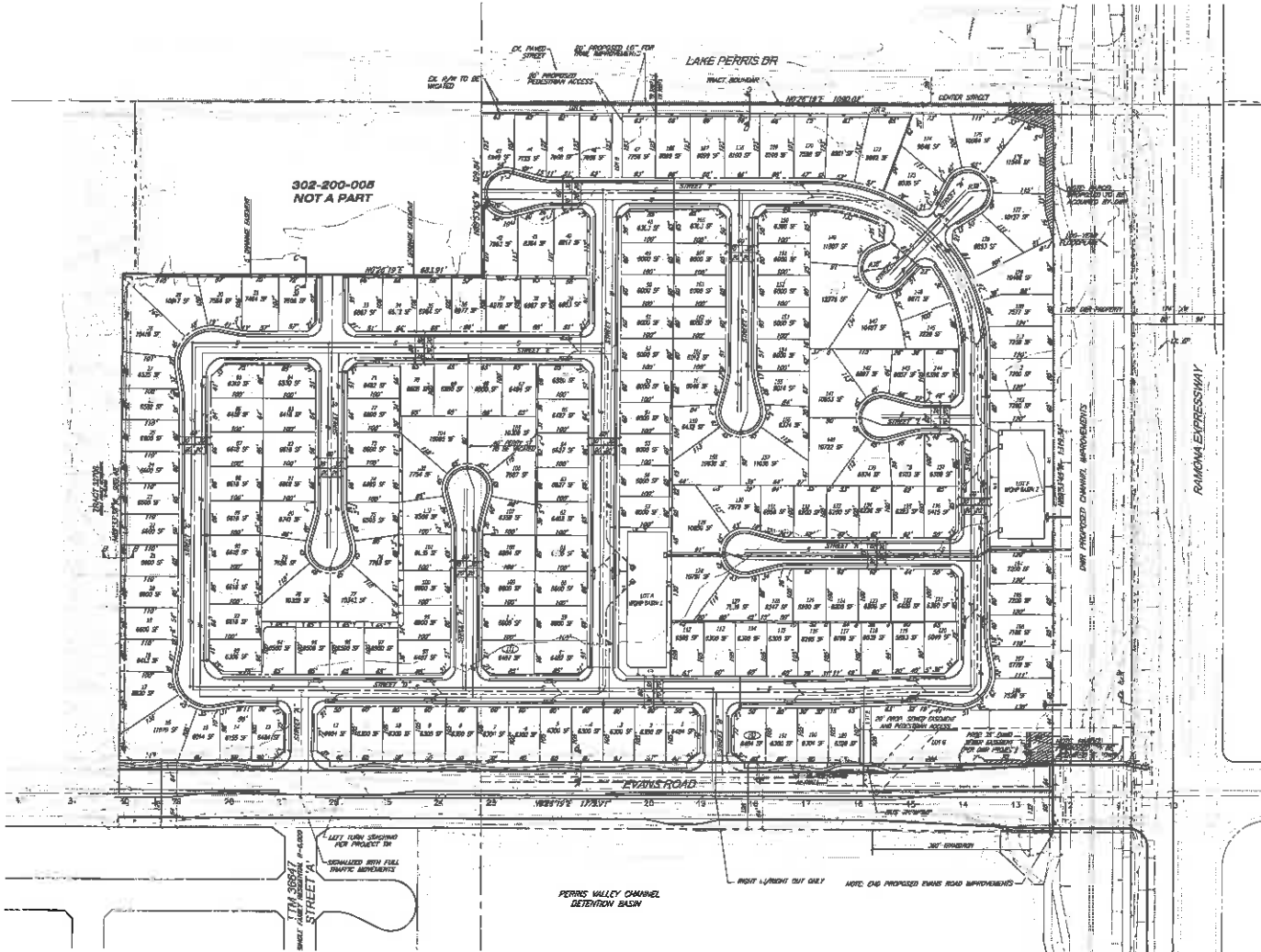
PREPARED FOR: STRATFORD RANCH ASSOCIATES, LLC
4100 NEWPORT PLACE, SUITE 700
NEWPORT BEACH, CA 92660
949-333-6752

KUC ENGINEERS
ENGINEERS • PLANNERS • SURVEYORS
1880 COMPTON AVENUE, SUITE 101, PERRIS, CA 92504 • 951-734-0100

SHEET 1 OF 5 SHEETS



TENTATIVE TRACT MAP NO. 38071



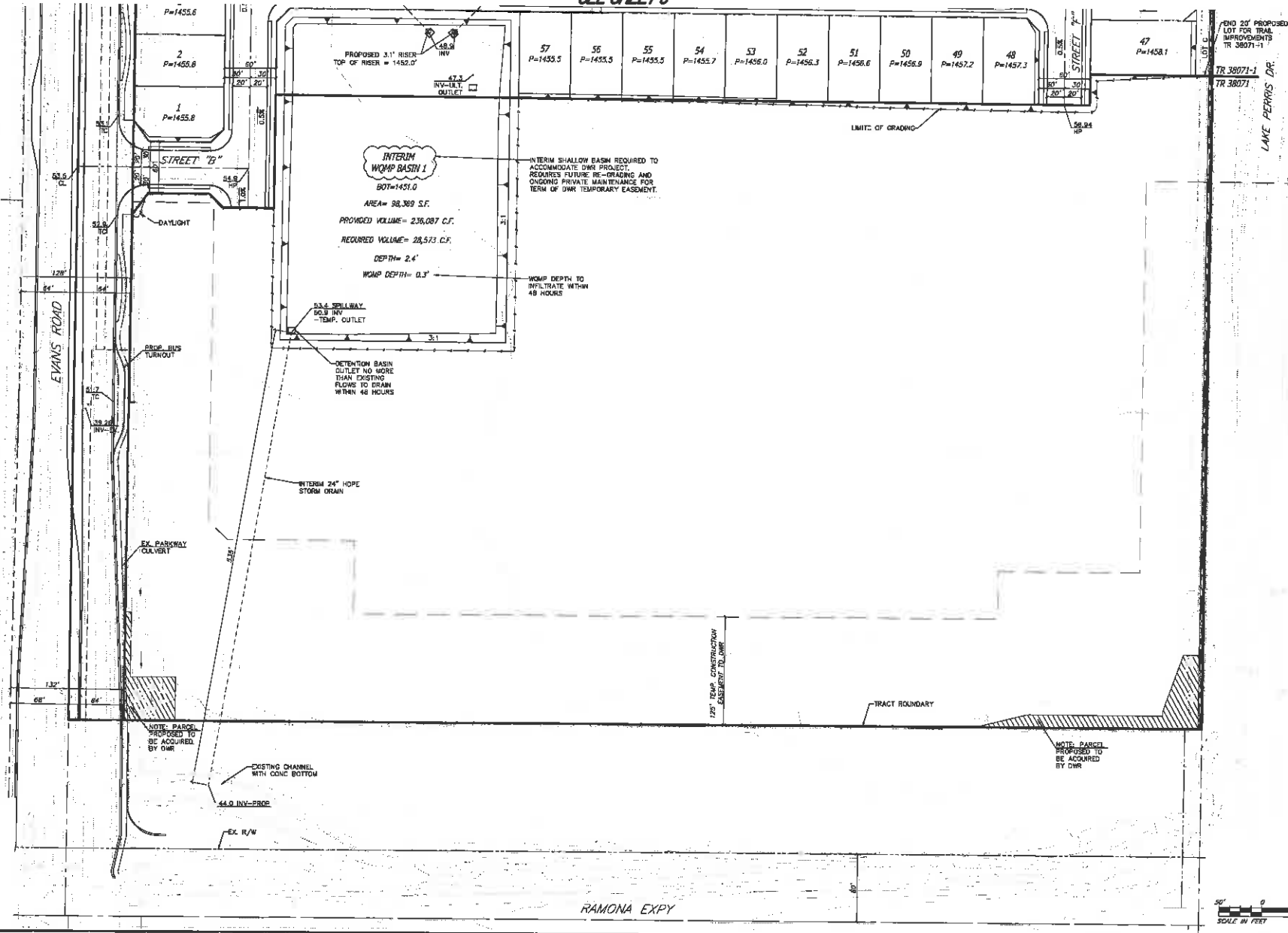
TENTATIVE TRACT MAP NO. 38071
 CITY OF PERRIS
 PREPARED FOR: STRATFORD RANCH ASSOCIATES, LLC
 4100 NEWPORT PLACE, SUITE 790
 NEWPORT BEACH, CA 92660
 949-333-6752

KUC ENGINEERS
 CIVIL ENGINEERS • PLANNERS • SURVEYORS
 1850 COMPTON AVENUE, SUITE 100 • CORONA, CA 92621 • 951-734-2130

SHEET 2 OF 5 SHEETS

TENTATIVE TRACT NO. 38071
 CONCEPTUAL GRADING - PHASE 1

SEE SHEET 3



END 20' PROPOSED LOT FOR TRAIL SURVEY POINTS TR 38071-1
 TR 38071-1
 TR 38071

LAKE PERRIS DR

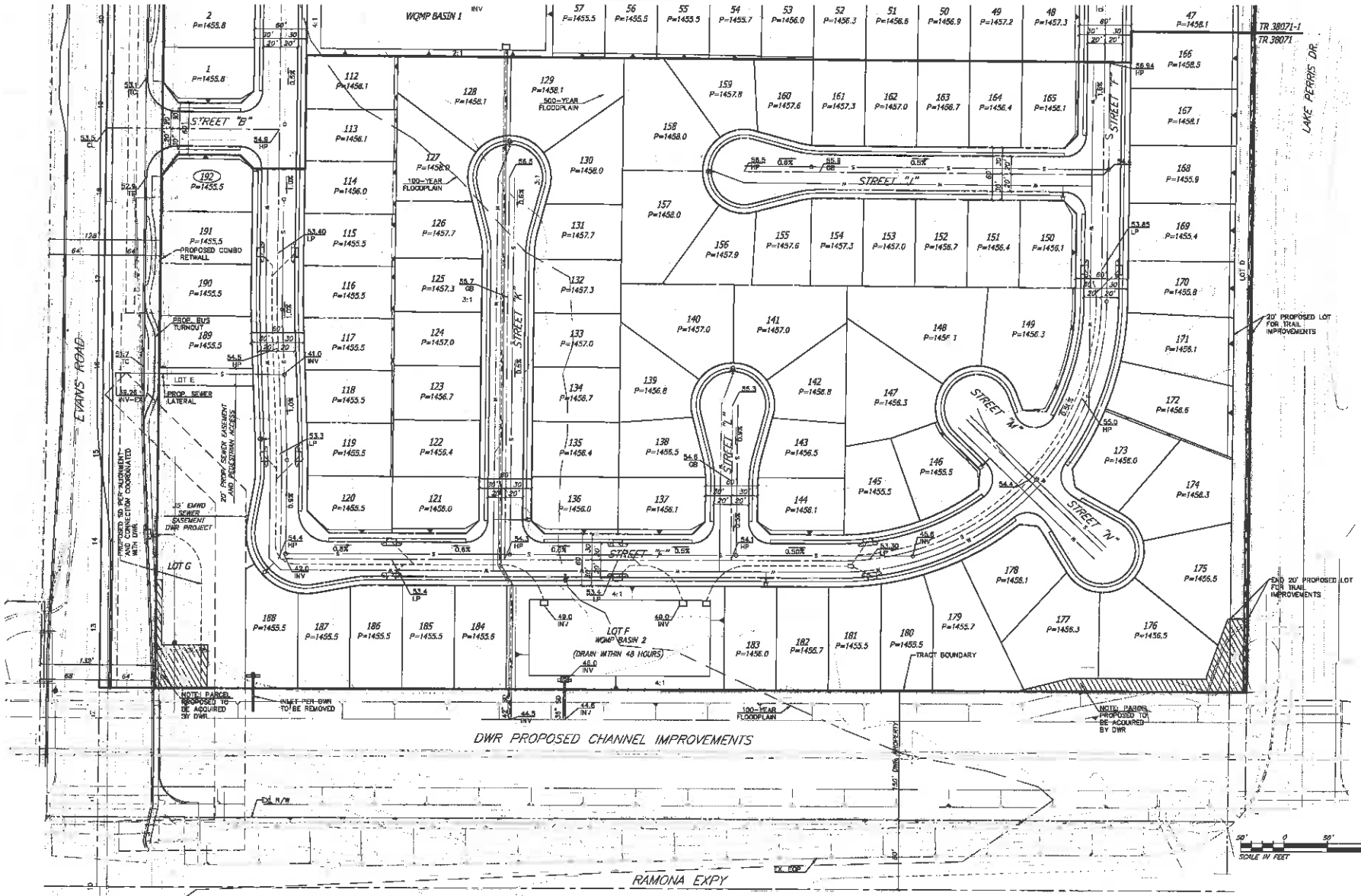
EVANS ROAD

RAMONA EXPY



TENTATIVE TRACT NO. 38071
CONCEPTUAL GRADING - PHASE 2

SEE SHEET 3

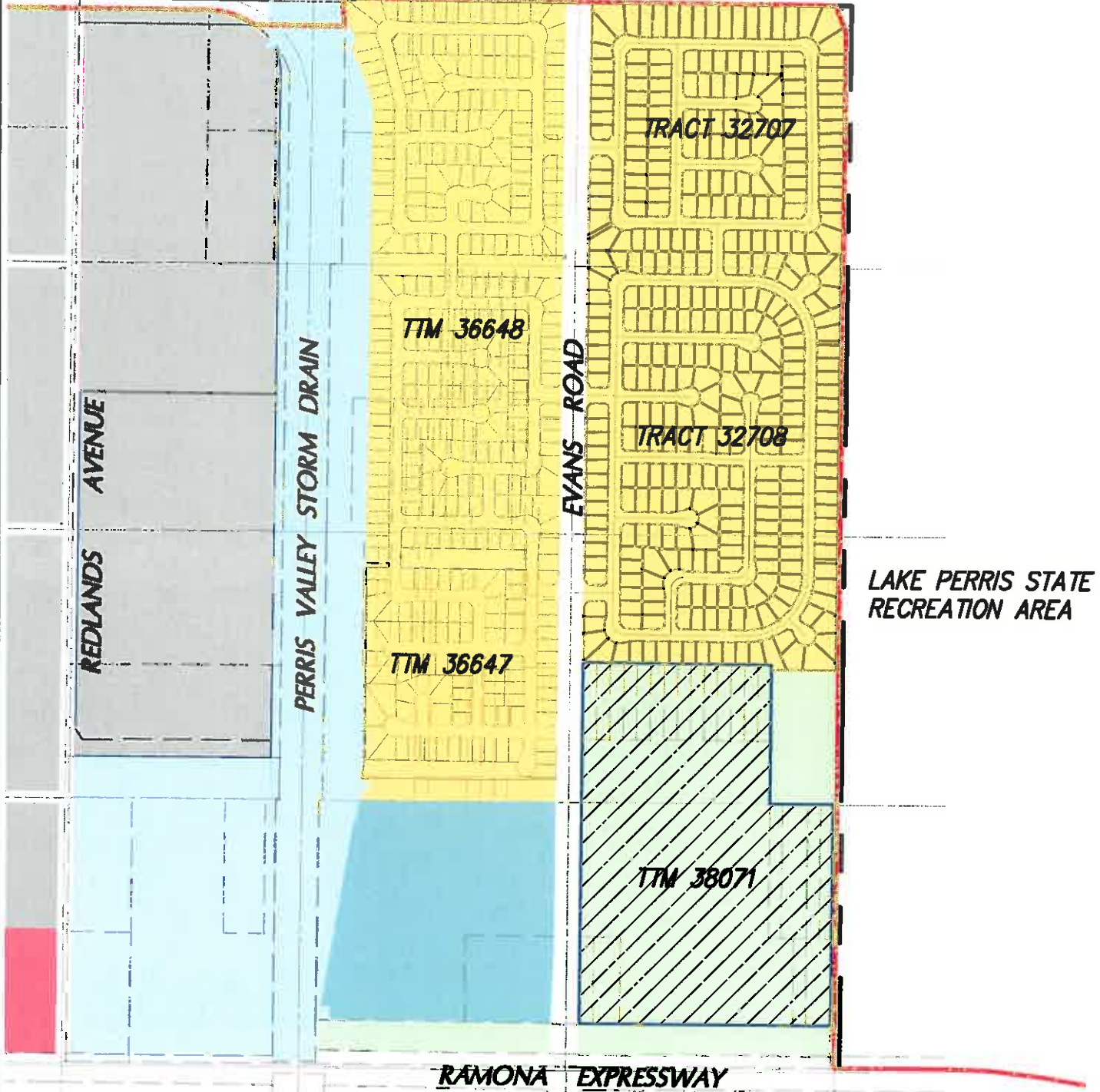


SCALE 1" = 700'



GENERAL PLAN AMENDMENT EXHIBIT GPA 21-05040

CITY OF MORENO VALLEY




EXISTING GENERAL PLAN

-  R-6000
-  SPECIFIC PLAN
-  PUBLIC

LAND USE PER PVCC SPECIFIC PLAN

-  LIGHT INDUSTRIAL
-  PVSD CHANNEL
-  COMMERCIAL

PROPOSED LAND USE

-  R-6000

SCALE 1" = 700'



ZONE CHANGE EXHIBIT ZC 21-05039

CITY OF MORENO VALLEY



EXISTING ZONING

- | | |
|--|---|
|  R-6,000 |  NC-NEIGHBORHOOD COMM. |
|  R-10,000 |  PUBLIC |
|  PVCC SPECIFIC PLAN |  OPEN SPACE |

PROPOSED ZONING

- | |
|--|
|  R-6000 |
|--|

NOTICE OF PUBLIC HEARING
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION
www.rcaluc.org

A PUBLIC HEARING has been scheduled before the Riverside County Airport Land Use Commission (ALUC) to consider the applications described below.

Any person may submit written comments to the ALUC before the hearing or may appear and be heard in support of or opposition to the project at the time of hearing. For more information please contact **ALUC Planner Paul Rull at (951) 955-6893**. The ALUC holds hearings for local discretionary permits within the Airport Influence Area, reviewing for aeronautical safety, noise and obstructions. ALUC reviews a proposed plan or project solely to determine whether it is consistent with the applicable Airport Land Use Compatibility Plan.

The City of Perris Planning Department should be contacted on non-ALUC issues. For more information please contact City of Perris Planner Mr. Nathan Perez at (951) 943-5003 x279.

The proposed project application may be viewed by a prescheduled appointment and on the ALUC website www.rcaluc.org. Written comments may be submitted at the Riverside County Administrative Center, 4080 Lemon Street, 14th Floor, Riverside, California 92501, Monday through Friday from 8:00 a.m. to 3:30 p.m., or by e-mail to prull@rivco.org. Individuals with disabilities requiring reasonable modifications or accommodations, please telephone Barbara Santos at (951) 955-5132.

PLACE OF HEARING: Riverside County Administration Center
4080 Lemon Street, 1st Floor Board Chambers
Riverside California

DATE OF HEARING: August 12, 2021

TIME OF HEARING: 9:30 A.M.

Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference and at the Place of Hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the ALUC website at www.rcaluc.org

CASE DESCRIPTION:

ZAP1481MA21 – Stratford Ranch Associates, LLC (Representative: Mission Pacific Land Company) – City of Perris Valley Case Nos. GPA21-05040 (General Plan Amendment), ZC21-05039 (Zone Change), PLN21-05032 (Tentative Tract Map No. 38071). A proposal to divide 48.61 acres into 192 single family residential lots located on the northeast corner of Ramona Expressway and Evans Road. The applicant also proposes to amend the site's general plan land use designation and zoning from Specific Plan (GPA) and R-10,000 (Zoning) to R-6,000 (Single Family Residential) (Airport Compatibility Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area).



RIVERSIDE COUNTY

AIRPORT LAND USE COMMISSION

APPLICATION FOR MAJOR LAND USE ACTION REVIEW

ALUC CASE NUMBER: ZAP1481MA21 DATE SUBMITTED: 7-14-21

APPLICANT / REPRESENTATIVE / PROPERTY OWNER CONTACT INFORMATION

Applicant Mission Pacific Land Company Phone Number (949) 333-6752
Mailing Address 4100 Newport Place Suite 790 Email jkeller@missionpacific.com
Newport Beach, CA 92660

Representative Jason Keller - Mission Pacific Land Company Phone Number (949) 333-6752
Mailing Address 4100 Newport Place Suite 790 Email jkeller@missionpacific.com
Newport Beach, CA 92660

Property Owner Stratford Ranch Associates, LLC Phone Number (949) 333-6752
Mailing Address 4100 Newport Place Suite 790 Email jabel@missionpacific.com
Newport Beach, CA 92660

March DFE

LOCAL JURISDICTION AGENCY

Local Agency Name City of Perris Phone Number (951) 943-5003 x279
Staff Contact Nathan Perez Email nperez@cityofperris.org
Mailing Address 135 North D Street
Perris, CA 92570

Local Agency Project No TM38071 (PLN21-05032), GPA21-05040, ZC21-05039

- Case Type
- General Plan / Specific Plan Amendment
 - Zoning Ordinance Amendment
 - Subdivision Parcel Map / Tentative Tract
 - Use Permit
 - Site Plan Review/Plot Plan
 - Other

PROJECT LOCATION

Attach an accurately scaled map showing the relationship of the project site to the airport boundary and runways

Street Address North-East corner Ramona Expressway and Evans Road

Assessor's Parcel No. See attached **Gross Parcel Size** 48.61 acres

Subdivision Name TTM 38071 **Nearest Airport and distance from Airport** March ARB - 3.5 miles

Lot Number n/a

PROJECT DESCRIPTION

If applicable, attach a detailed site plan showing ground elevations, the location of structures, open spaces and water bodies, and the heights of structures and trees; include additional project description data as needed

Existing Land Use (describe) Vacant - Undeveloped

Proposed Land Use (describe)	Subdivide 48.61 acres into 192 single family residential lots and two water quality basins. Proposed plan has a minimum lot size of 6,000 sf.		
For Residential Uses	Number of Parcels or Units on Site (exclude secondary units)	192 SFR Lots	
For Other Land Uses (See Appendix C)	Hours of Operation	not applicable (Single Family Residential)	
	Number of People on Site	1,664	Maximum Number
	Method of Calculation	300 sf per occupant for dwellings per Appendix C	
Height Data	Site Elevation (above mean sea level)	1455.5 - 1461	ft.
	Height of buildings or structures (from the ground)	30'	ft.
Flight Hazards	Does the project involve any characteristics which could create electrical interference, confusing lights, glare, smoke, or other electrical or visual hazards to aircraft flight?		<input type="checkbox"/> Yes
	if yes, describe		<input checked="" type="checkbox"/> No

- A. **NOTICE:** Failure of an applicant to submit complete or adequate information pursuant to Sections 65940 to 65948 inclusive, of the California Government Code, MAY constitute grounds for disapproval of actions, regulations, or permits.
- B. **REVIEW TIME:** Estimated time for "staff level review" is approximately 30 days from date of submittal. Estimated time for "commission level review" is approximately 45 days from date of submittal to the next available commission hearing meeting.
- C. **SUBMISSION PACKAGE:**
1. Completed ALUC Application Form
 1. ALUC fee payment
 1. Plans Package (24x36 folded) (site plans, floor plans, building elevations, grading plans, subdivision maps)
 1. Plans Package (8.5x11) (site plans, floor plans, building elevations, grading plans, subdivision maps, zoning ordinance/GPA/SPA text/map amendments)
 1. CD with digital files of the plans (pdf)
 1. Vicinity Map (8.5x11)
 1. Detailed project description
 1. Local jurisdiction project transmittal
 3. Gummed address labels for applicant/representative/property owner/local jurisdiction planner
 3. Gummed address labels of all surrounding property owners within a 300 foot radius of the project site. **(Only required if the project is scheduled for a public hearing Commission meeting)**

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

STAFF REPORT

ADMINISTRATIVE ITEMS

5.1 Director's Approvals.

- A. During the period of June 16, 2021, through July 15, 2021, as authorized pursuant to Section 1.5.2(d) of the 2004 Riverside County Airport Land Use Compatibility Plan, ALUC Director Paul Rull reviewed three non-legislative cases within Zones D and E of the March Air Reserve Base/Inland Port Airport Influence Area, one non-legislative case within Zone D of Banning Airport Influence Area, and one non-legislative case within Zone D of Jacqueline Cochrane Regional Airport Influence Area.

ZAP1476MA21 (March Air Reserve Base/Inland Port Airport Zone E) pertains to City of Moreno Valley Case Nos. PEN20-0141 (Plot Plan), PEN20-0142 (Conditional Use Permit), PEN20-0143 (Conditional Use Permit), a proposal to construct an 8,636 square foot multi-tenant retail building with an attached 999 square foot hydrogen equipment room, a 6,620 square foot fueling area, and a 2,485 square foot carwash tunnel located southerly of Sunnymead Boulevard, westerly of Heacock Street, northerly of Eucalyptus Avenue, and easterly of Graham Street. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 15,740 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,692 feet AMSL. The project site elevation is 1,640 feet AMSL, and the tallest proposed structure height is 23 feet, for a maximum top point elevation of 1,663 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

ALUC Director Paul Rull issued a determination of consistency for this project on June 17, 2021.

ZAP1478MA21 (March Air Reserve Base/Inland Port Airport Zone D) pertains to County of Riverside Case No. TPM37897 (Tentative Parcel Map), a proposal to divide 5.53 acres into 3 parcels located northerly of San Jacinto Avenue, southerly of Aloha Road, westerly of Old Elsinore Road, and easterly of Marshall Street. The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 17,770 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,590 feet AMSL. The project site elevation is 1,699 feet AMSL. No building permits

for new structures are in process at this time, and review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division. Therefore, FAA OES review for height/elevation reasons was not required. However, a condition has been included that all future buildings will require FAA OES review before permit issuance.

ALUC Director Paul Rull issued a determination of consistency for this project on June 21, 2021.

ZAP1480MA21 (March Air Reserve Base/Inland Port Airport Zone D) pertains to County of Riverside Case No. TPM37622 (Tentative Parcel Map), a proposal to divide 5.0 acres into 4 parcels located at 20905 El Nido Avenue, southerly of Emerett Lane, easterly of Wilma Lane. The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 17,780 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,590 feet AMSL. The project pad elevation is 1,458 feet AMSL. No building permits for new structures are in process at this time, and review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division. Therefore, FAA OES review for height/elevation reasons was not required.

ALUC Director Paul Rull issued a determination of consistency for this project on July 12, 2021.

ZAP1042BA21 (Banning Airport Zone D) pertains to City of Banning Case No. CUP20-8012 (Conditional Use Permit), a proposal to establish a truck trailer storage yard on 4.11 acres located on the northeast corner of Lincoln Street and Fourth Street. The site is located within Airport Compatibility Zone D of the Banning Municipal Airport Influence Area (AIA). Zone D restricts non-residential intensity to 200 people per average acre and 800 people per single acre. The project proposes a truck trailer storage yard containing 61 truck trailer spaces and a 600 square foot office trailer which accommodates 3 people, resulting in an average acre intensity of 1 person per acre and single acre intensity of 3 people, both of which are consistent with the Zone D intensity criteria.

Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins. All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B). The project is located 6,300 feet from the runway, and therefore would be subject to the above requirement. The project would utilize bioretention basins, which are not recommended in the vicinity of airports due to the potential that such areas could provide food, water, and shelter for hazardous wildlife. Pursuant to the study "Wildlife

Hazard Management at Riverside County Airports: Background and Policy”, October 2018, by Mead & Hunt, which is the basis of the brochure titled “Airports, Wildlife and Stormwater Management”, such basins are to be avoided in Zones D and E, unless they provide for a 48-hour drawdown and propose landscaping that is not attractive to hazardous wildlife. The project has been conditioned to be consistent with these standards in order to reduce bird attractant: 1) new basins are to be designed so as to provide for a maximum 48-hour detention period following the conclusion of a storm event, and to remain totally dry between rainfalls, and 2) any landscaping proposed in the detention basin shall be in accordance with the ALUC “Landscaping Near Airports” and “Airports, Wildlife and Stormwater Management” brochures.

The elevation of Runway 8-26 at its westerly terminus is 2,212 feet above mean sea level (AMSL). At a distance of approximately 6,300 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 2,275 feet AMSL. The site’s finished floor elevation is 2,335 feet AMSL and the proposed building height is 10 feet, for a top point elevation of 2,345 feet AMSL. Therefore, FAA Obstruction Evaluation Service review for height/elevation reasons was required. The applicant submitted Form 7460-1 to the FAA OES. A “Determination of No Hazard to Air Navigation” letter for Aeronautical Study No. 2021-AWP-8216-OE was issued on June 25, 2021. The study revealed that the proposed facility would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA OES conditions have been incorporated into this finding.

ALUC Director Paul Rull issued a determination of consistency for this project on June 29, 2021.

ZAP1056TH21 (Jacqueline Cochran Airport Zone D) pertains to County of Riverside Case No. BRS2100702 (Building Permit), a proposal to construct a 545.6 square foot rooftop solar panel system on a proposed single family residence located at 61921 Fullerton Drive within the Thermal Motorclub, located northerly of 62nd Avenue, westerly of Polk Street, easterly of Tyler Street, and southerly of Avenue 60. The site is located within Airport Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area (AIA). Within Compatibility Zone D of the Jacqueline Cochran Regional Airport Land Use Compatibility Plan, residential density is restricted to either 0.2 dwelling units per acre, or above 5 dwelling units per acre. The proposed rooftop solar panels will not generate any density.

The elevation at the southerly end of Runway 17-35 at Jacqueline Cochran Regional Airport is 137.5 feet below mean sea level (-137.5 feet above mean sea level [AMSL]). At a distance of 6,043 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review would be required for any structures with a top of roof exceeding -77.5 feet above mean sea level. The site’s elevation is -149 feet AMSL and the proposed building height (with rooftop solar panels) is 35 feet, resulting in a top point elevation of -104 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service was not required. The height of the proposed solar panels will not significantly increase the overall height of the building.

Based on the Federal Aviation Administration’s Interim Policy for Review of Solar Energy System Projects on Federally Obligated Airports, no glare potential or low potential for temporary after-image (“green” level) are acceptable levels of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property and is the recommended standard for properties near airports. However, potential for temporary after-image (“yellow” level) and potential for permanent eye damage (“red” level) are not acceptable levels of glare on final approach. No glare is permitted at air traffic control towers. The project proposes 545.6 square feet of solar panels on a single family residence rooftop with a fixed tilt of 5 degrees

with no rotation, and an orientation of 98 degrees. The solar glare study completed by Forge Solar was based on a 2 mile straight in approach (as per FAA Interim Policy Standards) to runways 17 and 35, and runways 12 and 30. Jacqueline Cochran Regional Airport does not have an air traffic control tower. All times are in standard time. The analysis concluded that some potential glare would occur within the 2 mile approach to runway 30. (No glare is expected to occur within the 2 mile approach to runway 17-35). Evaluation of the approach at Runway 30 indicates that the panels would result in low potential for temporary after-image (“green” level glare), totaling annually 132 minutes of “green” level glare, lasting up to 6 minutes a day from April to May and from August to September from 4:00 p.m. to 5:00 p.m. Overall, less than one percent of annual daylight time would be affected. Glare from solar panels could potentially constitute a hazard to flight. However, based on the solar glare hazard analysis provided, the glare experienced would be an acceptable level for solar facilities on airports. Therefore, the hazard potential is low. The applicant has indicated that they do not plan to utilize equipment that would interfere with aircraft communications. The PV panels themselves present little risk of interfering with radar transmission due to their low profiles. In addition, solar panels do not emit electromagnetic waves over distances that could interfere with radar signal transmissions, and any electrical facilities that do carry concentrated current will be buried beneath the ground and away from any signal transmission. There are no radar transmission or receiving facilities within the site.

ALUC Director Paul Rull issued a determination of consistency for this project on June 17, 2021.

- 5.2 Update March Air Reserve Base Compatibility Use Study (CUS)
Presentation by Project Director Simon Housman or his designee.
- 5.3 Commission Hearing Meeting Updates
Presentation by ALUC Director Paul Rull or his designee.
- 5.4 Support Letter for March Air Reserve Base and the KC-46
Presentation by ALUC Director Paul Rull or his designee.



RIVERSIDE COUNTY
AIRPORT LAND USE COMMISSION

S.1

June 17, 2021

Mr. Gabriel Diaz, Project Planner
City of Moreno Valley Planning Department
14177 Frederick Street
Moreno Valley CA 92552

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Esinore

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Rull

Simon A. Housman
Daniel Zorda
Barbara Santos

County Administrative Center
4000 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-0132

File No.: ZAP1476MA21
Related File No.: PEN20-0141 (Plot Plan), PEN20-0142 (Conditional Use Permit),
PEN20-0143 (Conditional Use Permit)
APN: 292-100-012
Airport Zone: Compatibility Zone E

Dear Mr. Diaz:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Moreno Valley Case Nos. PEN20-0141 (Plot Plan), PEN20-0142 (Conditional Use Permit), PEN20-0143 (Conditional Use Permit), a proposal to construct an 8,636 square foot multi-tenant retail building with an attached 999 square foot hydrogen equipment room, a 6,620 square foot fueling area, and a 2,485 square foot carwash tunnel located southerly of Sunnymead Boulevard, westerly of Heacock Street, northerly of Eucalyptus Avenue, and easterly of Graham Street.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, non-residential intensity is not restricted.

The elevation of Runway 14-32 at March Air Reserve Base/Inland Port Airport is approximately 1,535 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 15,740 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,692 feet AMSL. The project site elevation is 1,640 feet AMSL, and the tallest proposed structure height is 23 feet, for a maximum top point elevation of 1,663 feet AMSL. Therefore, Federal Aviation Administration (FAA) obstruction evaluation review for height/elevation reasons is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the City of Moreno Valley applies the following recommended conditions:

CONDITIONS:

www.rcalc.org

AIRPORT LAND USE COMMISSION

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This

AIRPORT LAND USE COMMISSION

stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Go Fresh, LLC (applicant/property owner)
Alex Irshaid (representative)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
David Shaw Base Civil Engineer, March Air Reserve Base
ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1476MA21\ZAP1476MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)

(13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

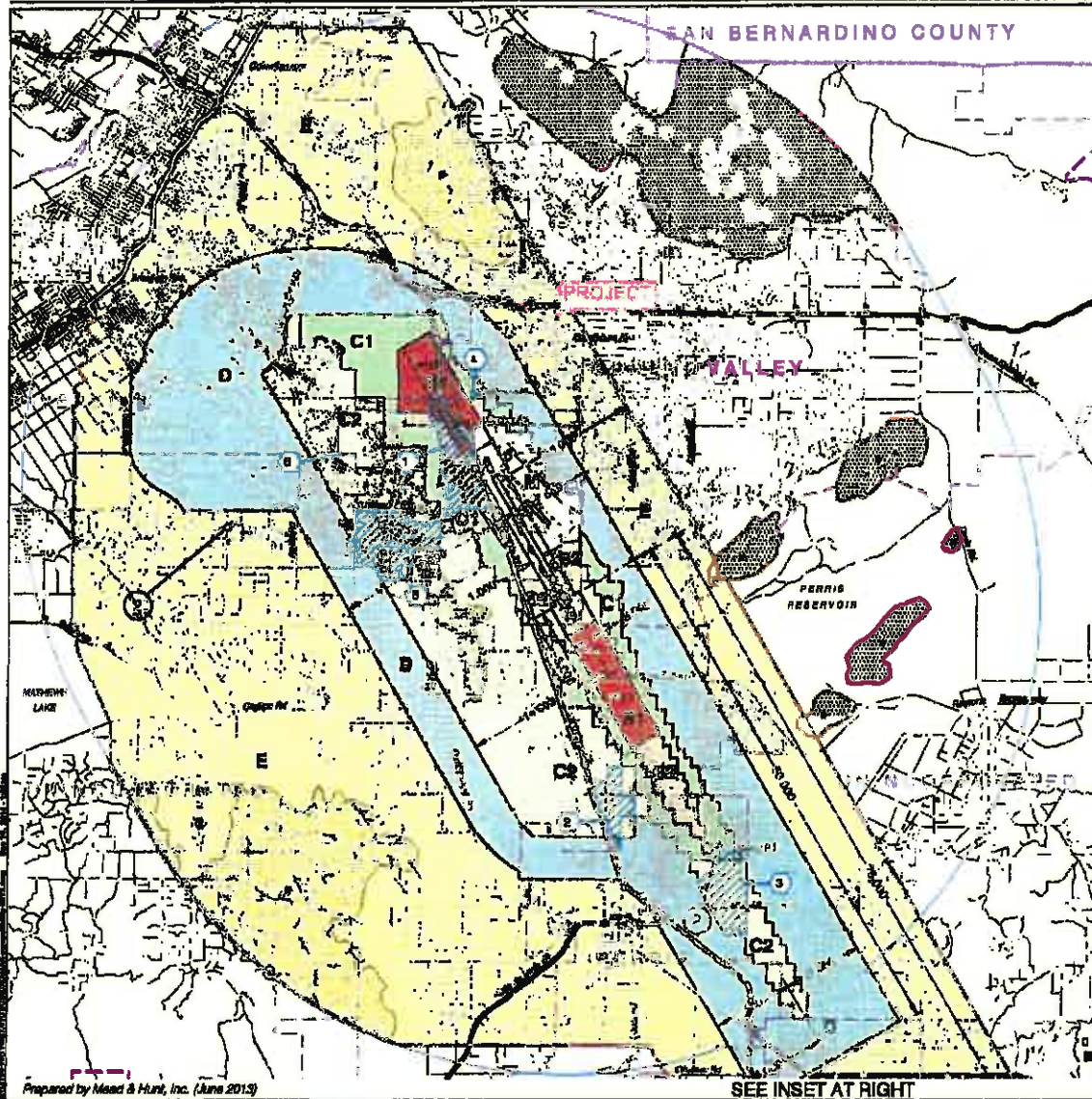
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

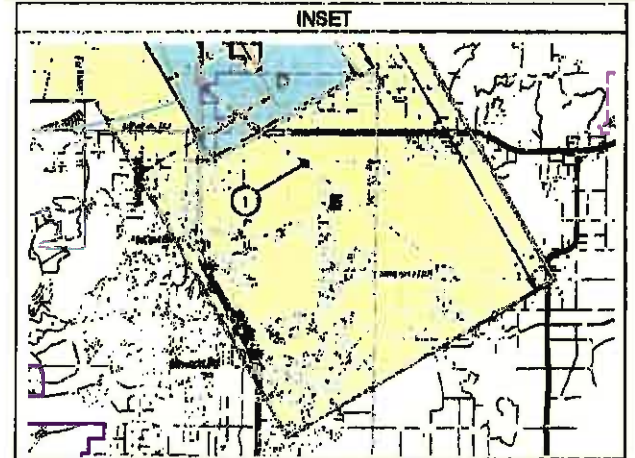
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- - - City Limits
- ▣ Site-Specific Exceptions (existing local agency commitments to development projects)
- March JPA: March Business Center/Meridian
- Perris: Harvest Landing
- Perris: Park West
- Moreno Valley: Affordable Housing
- March JPA: San Clark Training Center
- Riverside: Ridge Crest Subdivision

① Point at which aircraft on Runway 02 (L3 approach) descend below 5,000 feet above runway end. Airport Elevation is 1,635 feet MSL.

② Point at which departing aircraft typically reach 5,000 feet above runway end.



**Riverside County
Airport Land Use Commission**
**March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan**
 (Adopted November 13, 2014)

Map MA-1

Compatibility Map
 March Air Reserve Base / Inland Port Airport

Note:
 All dimensions are measured from
 runway ends and centerlines.

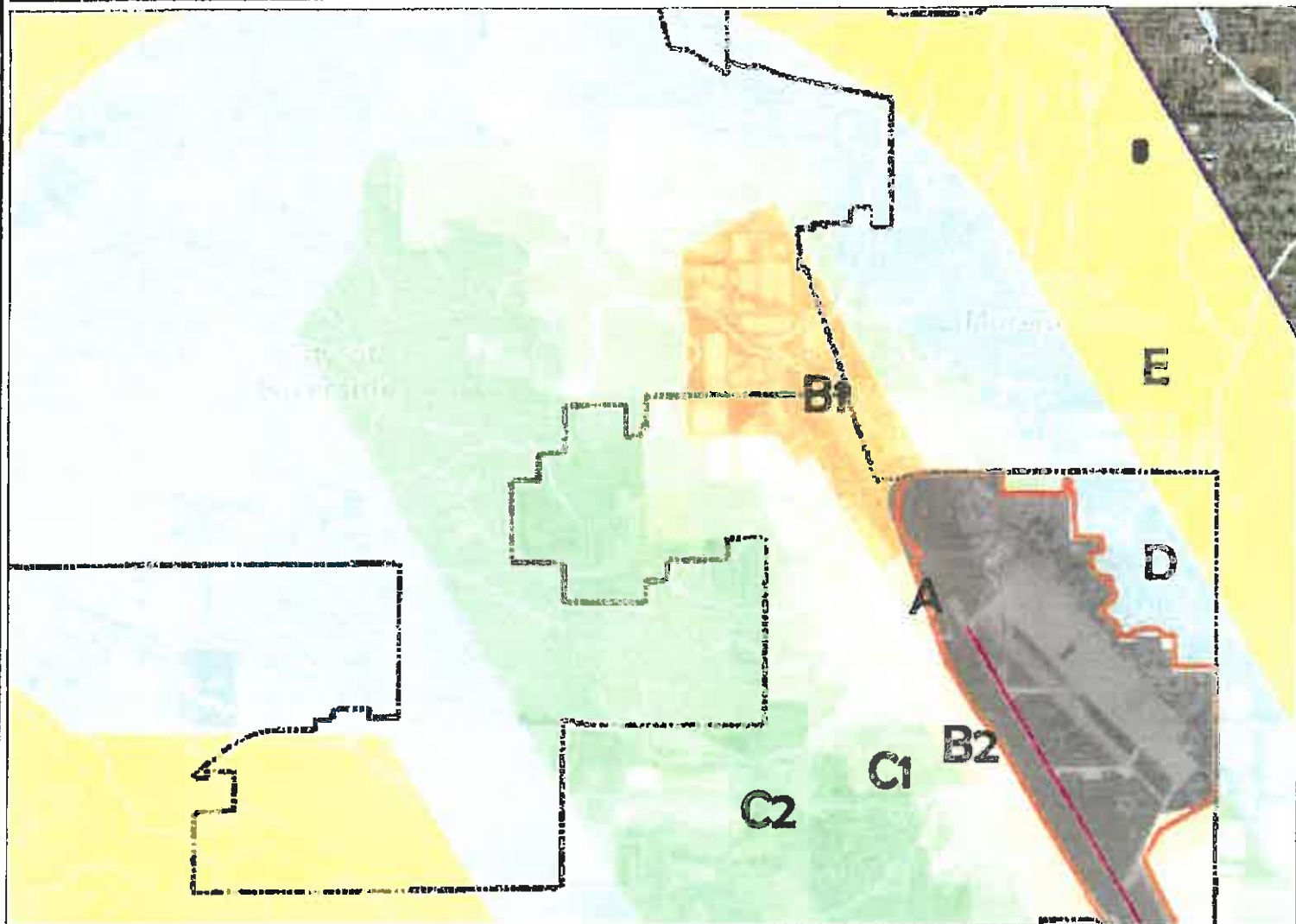


Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



- Legend**
- Runways
 - ▣ Airports
 - ▣ Airport Influence Areas
 - Airport Compatibility Zones**
 - ▣ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8



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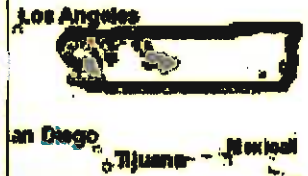
Notes



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Map My County Map



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE**
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



Notes



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Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map

Notes



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0 375 752 Feet

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Legend

- Blue Line Streams
- City Areas
- World Street Map



Notes



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0 6 12,037 Feet
019

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Legend

- BlueLine Streams
- City Areas
- World Street Map



Notes



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009

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Legend

- Parcels
- BlueLine Streams
- City Areas
- World Street Map



Notes



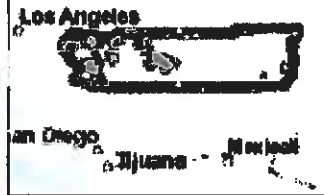
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0 752 1,505 Feet

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Legend

- Parcels
- Blueline Streams
- City Areas
- World Street Map

Notes



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GO FRESH GAS STATION CAR WASH, C-STORE W/ DELI, & FUEL CANOPY

MORENO VALLEY, CA
ARISECONA PAPER, INC.
392-955-012-3



SCOPE OF WORK

- CONSTRUCTION OF 8,830 SQ. FT. (GROSS) C-STORE AND RETAIL SPACES, IN ADDITION TO 889 SQ. FT. OF ENCLOSURE AS PART OF THE BUILDING 167-HOUR ROOF FOR HYDROGEN EQUIPMENT.
- CONSTRUCTION OF 3,435 SQ. FT. (GROSS) CARWASH TUNNEL.
- INSTALLATION OF A LABOR-SAVING STORAGE TANKS SYSTEM (LMS) WITH FUELING PUMPS PROVIDING 8-48 FUEL, HYDROGEN FUEL, #2, #3, & #4 UNLEADED FUEL.
- CONSTRUCTION OF 6,850 SQ. FT. OVERHEAD FUEL CANOPY.
- CONSTRUCTION OF 4,710 SQ. FT. (GROSS) TRASH, VACUUM AND PROGRAM CONFINED ENCLOSURE (TRASH & VACUUM WITH SOLID COVER).
- CONSTRUCTION OF VACUUM AREA SKIRTING WITH STRUCTURAL STEEL AND ALUMINUM LATTICE.
- NEW LANDSCAPE, SITE PAVING AND STRIPPING.
- INSTALLATION OF 24 AREA LIGHTS.
- CONSTRUCTION OF TWO DRIVEWAYS, ONE ON SUNNYMEAD BLVD. AND ONE ON GRAHAM STREET ALONG WITH STREET TREES.
- INSTALLATION OF ONE MOUNTAIN TWO ELECTRIC CHARGERS AND 8 BICYCLE PARKING PROJECT (20 FT. PROTRUSION ALONG), LICENSE FOR ON AND/OR OFF PREMISES BALANCE.
- PART THE 1/2 OF THE REAR BUILDING ELEVATION WITH ANTI-GRAFFITI, INSTALL SECURITY CCTV SYSTEM AND MONITOR INSIDE THE C-STORE FOR OBSERVATION BY STENOGRAPHER.
- INSTALLATION OF SECURITY CCTV NETWORK THROUGHOUT THE PARKING LOT (SUNNYMEAD, UNDER FUEL CANOPY, AROUND BUILDING STRUCTURES AND INSIDE ALL BUILDINGS TO OBSERVE AT 24H WITH CRIME RECORD STORAGE FOR 1 MONTH WITH ACCESSIBILITY TO POLICE DEPARTMENT.

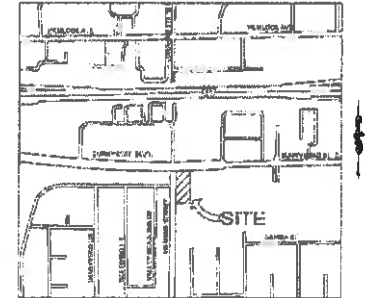
PROJECT TEAM

OWNER
GO FRESH, LLC
1856 MOUNT LANSLEY STREET
FOUNTAIN VALLEY, CA 92708

PROJECT DESIGNER AND MANAGER:
RAMCAM ENGINEERING GROUP, INC.
870 E. FARGO DRIVE AVE., SUITE 101
OCCONA, CA 92678
PH: (949) 254-8330 EXT 304
ALEX IRSHAD
ALEX@RGCORP.US

LANDSCAPE ARCHITECT:
R. DALE HAGFIELD
28211 LANAWOOD DRIVE
LAGUNA HILLS, CALIFORNIA 92657
PH: (949) 265-8278
CONTACT: DALE HAGFIELD

VICINITY MAP



TENANT LIST AND PARKING REQUIREMENTS

TENANT	CALCULATED AREA	PARKING RATIO USED	REQUIRED SPACES	PROVIDED PARKING
AUTOMOTIVE SERVICE STATION			22 SPACES	02 SPACES
CUSTOMER & RETAIL	1,889 SQ. FT.	1 SPACE/225 SQ. FT.	8.35 SPACES	38 SPACES
EQUIPMENT (HYDROGEN)	889 SQ. FT.	1 SPACE/225 SQ. FT.	3.73 SPACES	02 SPACES
EV CHARGING STATION			01 SPACE	01 SPACE
AIR & WATER			01 SPACE	01 SPACE
CARWASH EMPLOYEE (8)			02 SPACES	03 SPACES
TOTAL			48 SPACES	48 SPACES

DESIGNATED FUEL EFFICIENT & CARPOOLANPOOL (5% OF REG. PARKING) 48 x 25' = 0.54, USE 4 SPACES
DESIGNATED ADA VEHICLE LOADING (20-25 PARKING) 3 ADA PARKING STALLS PROVIDED
BICYCLE PARKING = 11 PROVIDED
CARWASH PARKING = 17 SPACES PROVIDED
ELECTRIC CHARGING STATIONS = 3 SPACES PROVIDED

PROJECT SUMMARY

BUILDING USE	CALCULATED AREA	OCCUPANCY	CONST. TYPE
CUSTOMER & RETAIL	1,889 SQ. FT. (GROSS)	1.0	1.5-2.0 UNREINFORCED
EQUIPMENT/STORAGE ROOM	889 SQ. FT. (GROSS)	1.0	1.5-2.0 UNREINFORCED
CARWASH	3,435 SQ. FT. (GROSS)	1.0	1.5-2.0 UNREINFORCED
FUEL CANOPY	6,850 SQ. FT. (GROSS)	1.0	1.5-2.0 UNREINFORCED
TOTAL BUILDING AREA	12,063 SQ. FT.	1.0	1.5-2.0 UNREINFORCED
TOTAL BUILDING AREA (167 HOUR FOOTPRINT)	11,151 SQ. FT.	1.0	1.5-2.0 UNREINFORCED
TOTAL LANDSCAPE AREA	11,051 SQ. FT.	1.0	1.5-2.0 UNREINFORCED
TOTAL PAVED AREAS	60,599 SQ. FT.	1.0	1.5-2.0 UNREINFORCED
VACUUM/TRASH/PROGRAM ENCLAVURES	770 SQ. FT.	1.0	1.5-2.0 UNREINFORCED

ZONING CODE

SB 304 CC THE VILLAGE COMMUNITY COMMERCIAL

TYPE OF CONSTRUCTION

GAU WALL, WOOD FRAMING, STUCCO WALLS, AND CONCRETE SLAB ON GRADE.

DRIVE THRU CAR STACKING

LOCATION	LENGTH	DESCRIPTION
EXPRESS CARWASH	200 FT	3 CAR STACKING MIN.

FLOOR AREA RATIO (F.A.R.)

BUILDABLE LAND AREA	PROPOSED BUILDING
84,814 SQ. FT.	12,063 SQ. FT. 0.14 F.A.R.

ROOFING SPECIFICATIONS

CLASS 1A 1/4 PLY REINFORCED ACRYLIC EMBEDDED SYSTEM MEMBRANE BY WESTERN COLLOID (22R-227) OR SIMILAR.

SHEET INDEX

SHEET	SHEET DESCRIPTION	SHEET	SHEET DESCRIPTION
A1.0	COVER SHEET	A5.1	GO FRESH GAS STATION RENOVATION
A1.1	PROPOSED SITE PLAN	A5.2	FUEL CANOPY PLANS & DETAILS
A1.2	FIRE HYDRANT COVERAGE SITE PLAN	A7.0	FUEL CANOPY & VACUUM CANOPY ELEVATIONS
A1.3	TRUCK TURNING RADII	A8.0	VACUUM/TRASH/PROGRAM TANK ENCLOSURES-PLANS & ELEVATIONS.
A1.4	EXISTING SITE PLAN & SECTIONS	A8.0	SITE PHOTOGRAPHIC
A3.0	CUSTOMER & RETAIL FLOOR PLAN AND ROOF PLAN	1 OF 2	PRELIMINARY GRADING PLAN
A3.0	C-STORE & RETAIL ELEVATIONS, DETAILS, & NOTES	2 OF 2	PRELIMINARY GRADING SECTIONS
A3.0	CARWASH FLOOR PLAN, ROOF PLAN, & ELEVATIONS	L1.0	PRELIMINARY LANDSCAPE PLAN
A3.0	GO FRESH GAS STATION COLOR ELEVATIONS	L1.1	PRELIMINARY SHADING PLAN



RAMCAM ENGINEERING GROUP, INC.
1800 S. MAIN ST., SUITE 101
OCCONA, CA 92678
PH: (949) 254-8330

GO FRESH, LLC
1856 MOUNT LANSLEY STREET
FOUNTAIN VALLEY, CA 92708

GO FRESH, LLC
1856 MOUNT LANSLEY STREET
FOUNTAIN VALLEY, CA 92708

GO FRESH GAS
1856 MOUNT LANSLEY BLVD
AND
GRAHAM ST
MORENO VALLEY, CALIFORNIA

- PEN20-0141
- PEN20-0142
- PEN20-0143

LEGAL DESCRIPTION
REAL PROPERTY IN THE CITY OF MORENO VALLEY, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1:
THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 1 TOWNSHIP 3 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY, DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER; THENCE EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER 200 FEET; THENCE SOUTH 600 FEET; THENCE WEST 200 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER; THENCE NORTH ALONG SAID WEST LINE 600 FEET TO THE POINT OF BEGINNING; EXCEPTING THEREFROM THE NORTH 40 FEET CONVEYED TO THE STATE OF CALIFORNIA FOR HIGHWAY PURPOSES BY DEED RECORDED JULY 8, 1988 IN BOOK 284 PAGE 263 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 1A:
A NON-EXCLUSIVE EASEMENT FOR ROAD AND PUBLIC UTILITIES PURPOSES OVER THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 4 WEST, SAN BERNARDINO BASE AND MERIDIAN, AS SHOWN BY UNITED STATES GOVERNMENT SURVEY, AS DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER; THENCE EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER, 38 FEET; THENCE SOUTH AN PARALLEL, WITH THE WEST LINE OF SAID SOUTHWEST QUARTER, 600 FEET; THENCE WEST 20 FEET TO A POINT ON THE WEST LINE OF THE SOUTHWEST QUARTER; THENCE NORTH ALONG SAID WEST LINE OF THE SOUTHWEST QUARTER, 600 FEET TO THE POINT OF BEGINNING; EXCEPTING THEREFROM THE NORTH 80 FEET THEREOF.

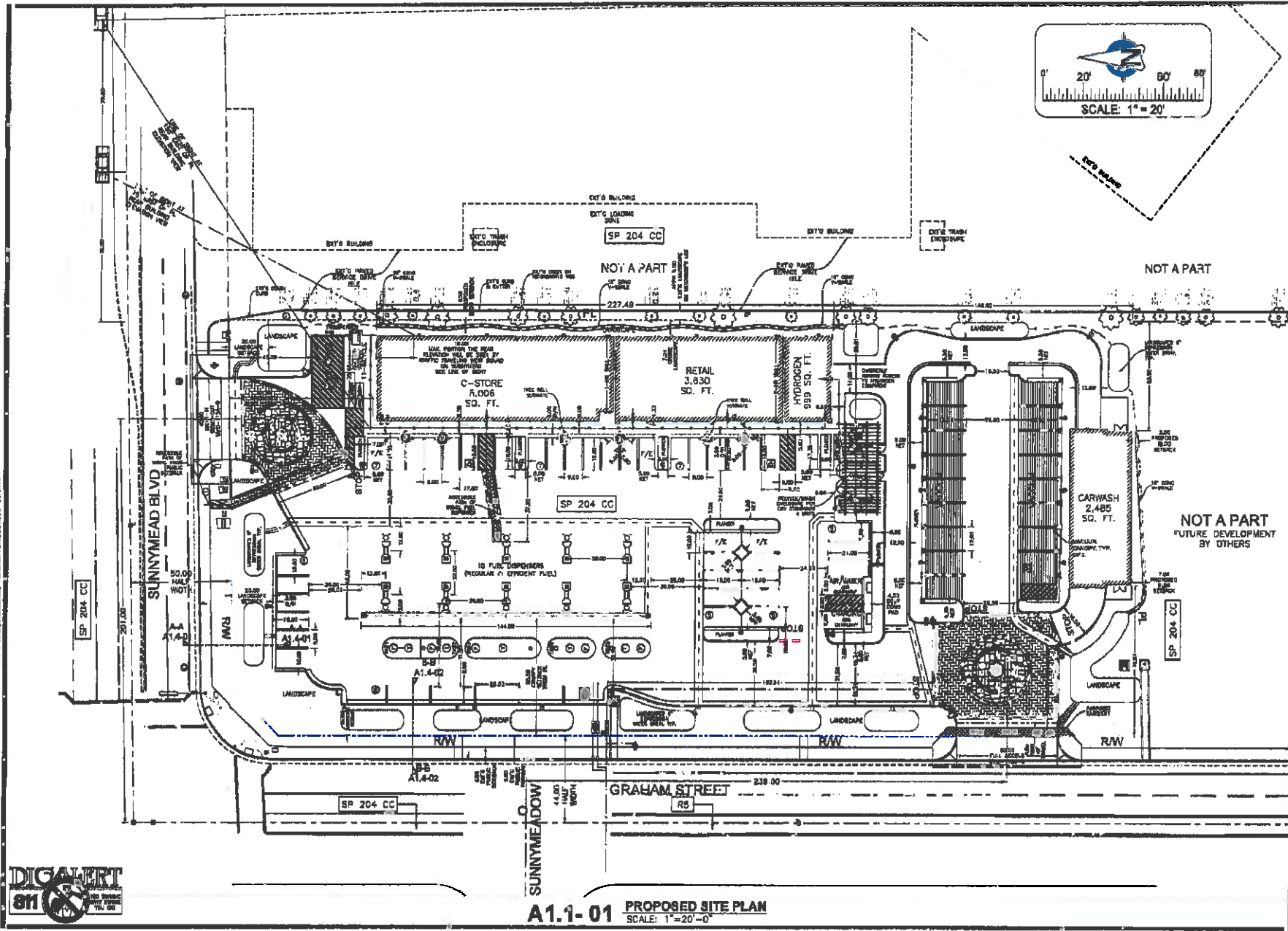
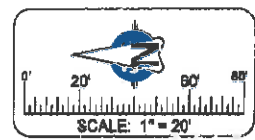
APN: 399-100-012-0

COVER SHEET

A1.0



RAMCAM ENGINEERING GROUP, INC.
 1000 S. 1000 E. SUITE 200
 TAYLOR, UT 84404
 (801) 438-1100
 www.ramcam.com



NOT A PART

NOT A PART
 FUTURE DEVELOPMENT
 BY OTHERS

GO FRESH, LLC
 1000 S. 1000 E. SUITE 200
 TAYLOR, UT 84404

GO FRESH GAS
 1000 S. 1000 E. SUITE 200
 TAYLOR, UT 84404

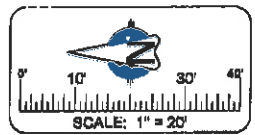
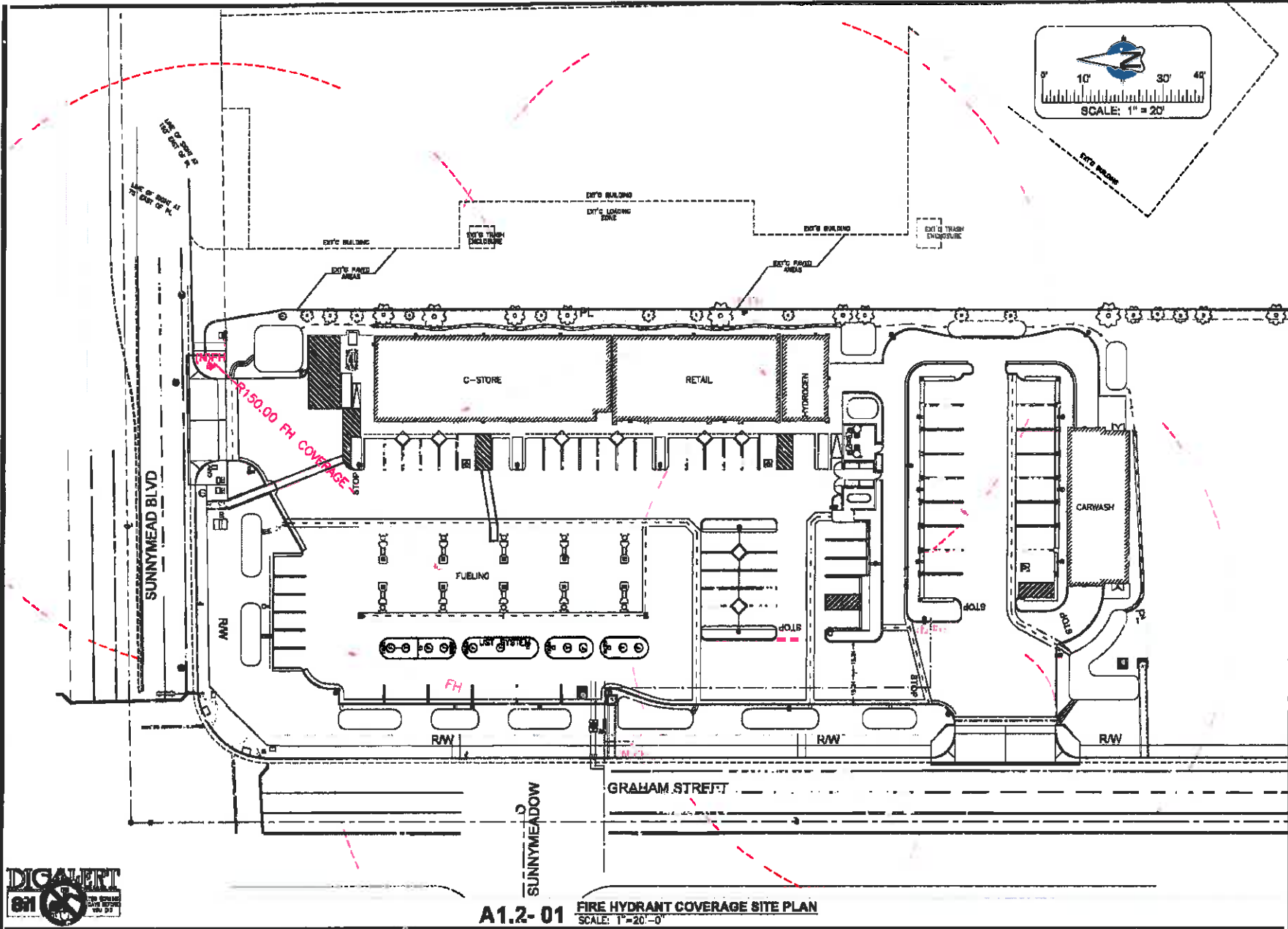
- 1 PEN20-0141
- 2 PEN20-0142
- 3 PEN20-0143
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PROPOSED SITE PLAN

A1.1



A1.1-01 PROPOSED SITE PLAN
 SCALE: 1"=20'-0"



RAMCAM ENGINEERING GROUP, INC.
 4001 L. HARRISON AVENUE, SUITE 100
 HUNTSVILLE, ALABAMA 35894

GO FRESH, LLC
 1501 HURST LANE, SUITE 100
 PRATTVILLE, ALABAMA 36067

GO FRESH GAS
 1000 W. HARRISON BLVD
 HUNTSVILLE, ALABAMA 35894

PERMITS:
 PERM-0141
 PERM-0142
 PERM-0143

FIRE HYDRANT COVERAGE SITE PLAN

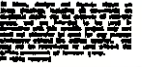
A1.2



A1.2-01 FIRE HYDRANT COVERAGE SITE PLAN
 SCALE: 1"=20'-0"



RAMCAM ENGINEERING GROUP, INC.
 875 S. WASHINGTON AVENUE, SUITE 201
 FORT WORTH, TEXAS 76104
 (817) 332-1111



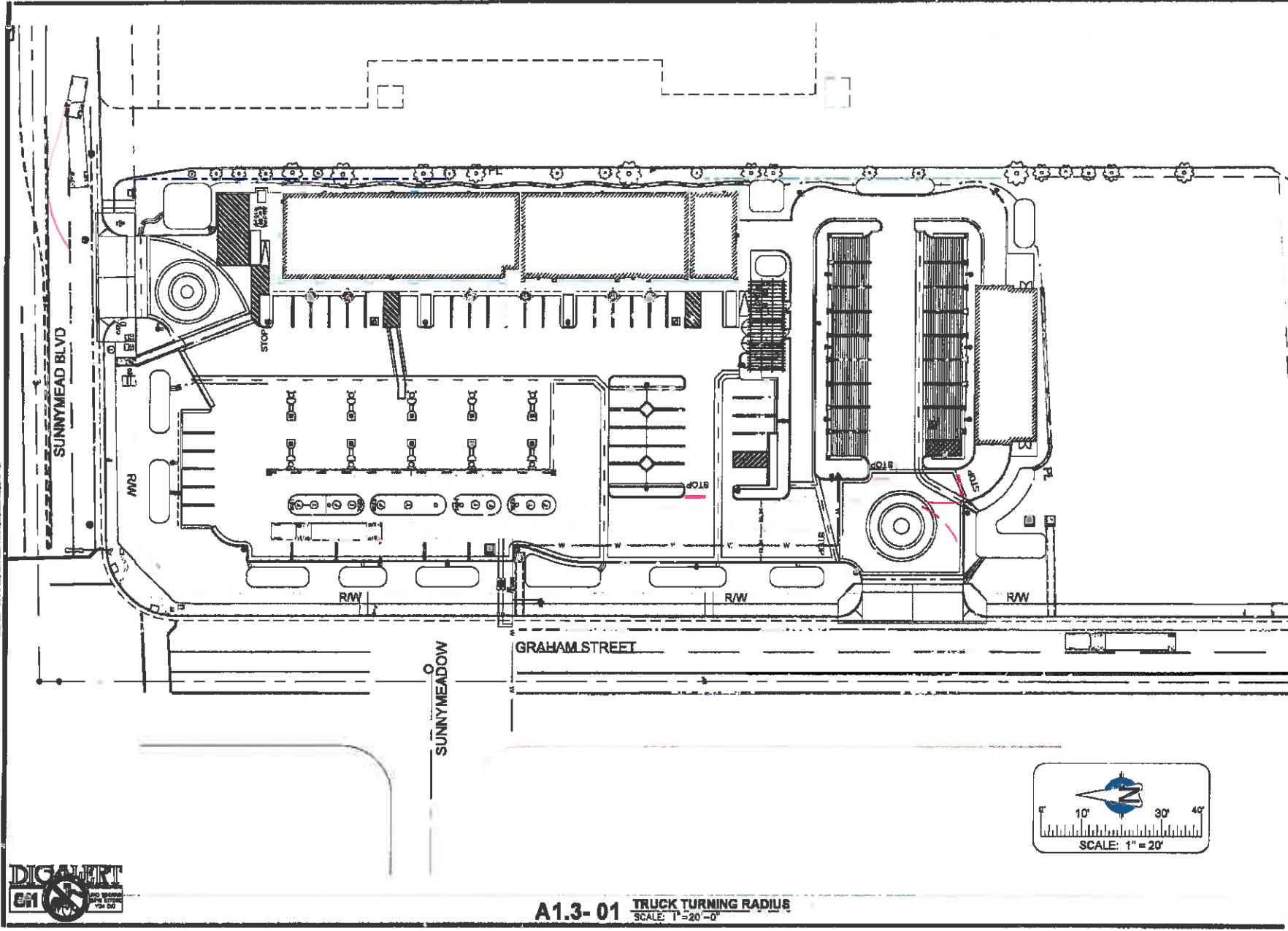
GO FRESH, LLC
 1000 HUNTER LANE, SUITE 100
 FORT WORTH, TEXAS 76104

GO FRESH GAS
 600 W. UNIVERSITY BLVD
 AND
 1000 HUNTER LANE, SUITE 100
 FORT WORTH, TEXAS 76104

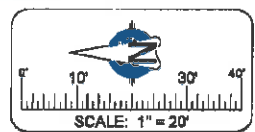
PER20-0141
 PER20-0142
 PER20-0143

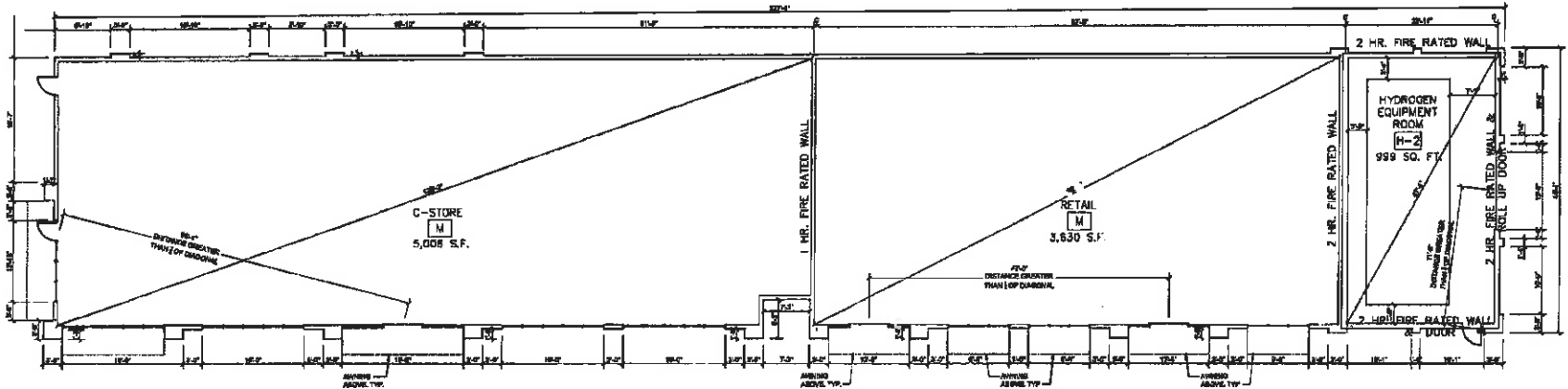
TRUCK TURNING RADIUS

A1.3

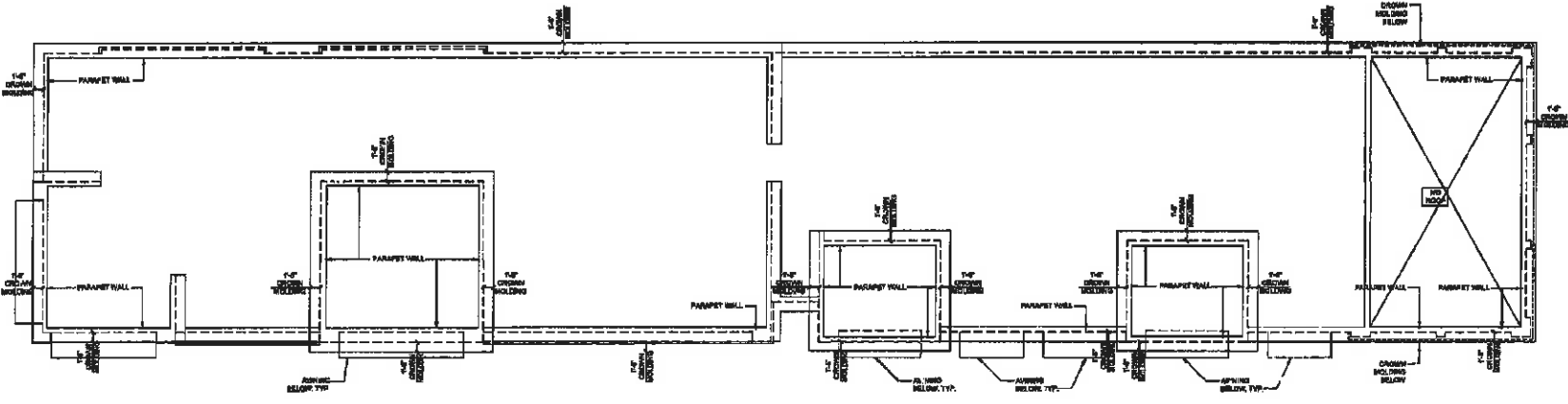


A1.3- 01 TRUCK TURNING RADIUS
 SCALE: 1" = 20'-0"





A2.0 - 01 C-STORE & RETAIL FLOOR PLAN
SCALE: 1/8"=1'-0"



A2.0 - 02 C-STORE & RETAIL ROOF PLAN
SCALE: 1/8"=1'-0"



RAM/CAM ENGINEERING GROUP, INC.
475 S. HARRIS AVE. SUITE 104
FOUNTAIN VALLEY, CA 92708

PROJECT NO. 2018-01
DATE: 08/15/2018
DRAWN BY: J. BROWN
CHECKED BY: J. BROWN
APPROVED BY: J. BROWN

GO FRESH, LLC
10000 HARBOR BLVD SUITE 100
FOUNTAIN VALLEY, CA 92708

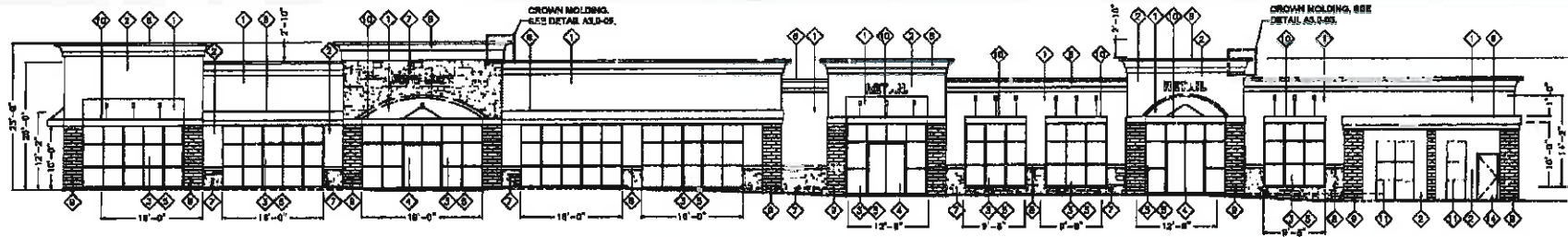
GO FRESH GAS
500 S. HARRIS AVE SUITE 104
FOUNTAIN VALLEY, CA 92708

PEN20-01-01
PEN20-01-02
PEN20-01-03

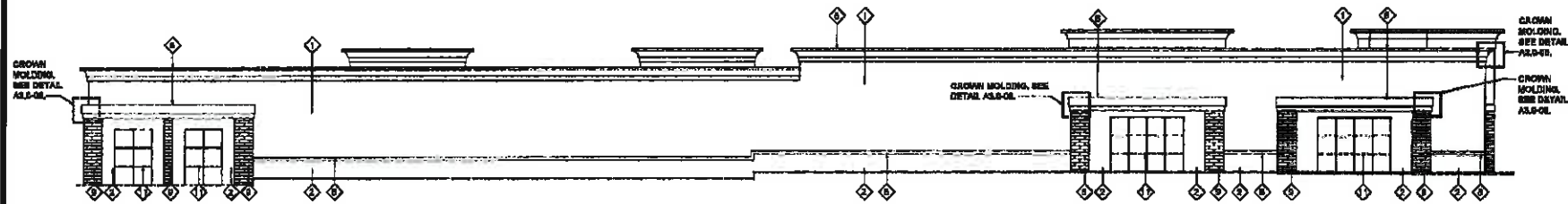
A2.0 C-STORE & RETAIL FLOOR PLAN & ROOF PLAN



C-STORE & RETAIL



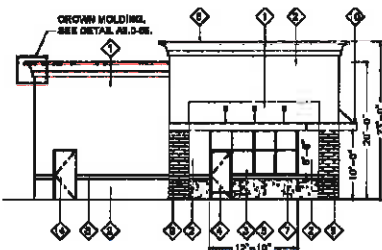
A3.0 - 01 WEST SIDE ELEVATION (MAIN ENTRANCE)
SCALE: 1/8"=1'-0"



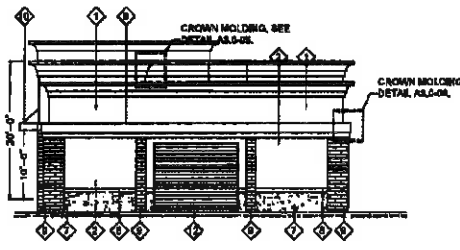
A3.0 - 02 EAST SIDE ELEVATION
SCALE: 1/8"=1'-0"

KEYNOTES

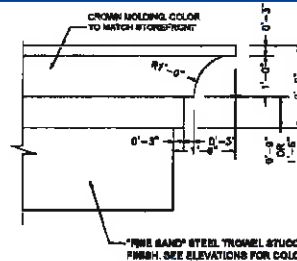
- ◆ PRIME SANDY STEEL TRIM, STUCCO FINISH, OR 1/2" BERRI # 800-84-1 NEW HANGI PLAT EXTERIOR PAINT
- ◆ PRIME SANDY STEEL TRIM, STUCCO FINISH, COLOR: BERRI # N180-8 NUT BROWN MATTE EXTERIOR PAINT
- ◆ DARK BRONZE ANODIZED ALUMINUM STOREFRONT/WINDOW SYSTEM
- ◆ TRANSPARENT TAMPFERED GLASS DOOR TO MATCH STOREFRONT
- ◆ LOW 'E' LIGHT TRANSPARENT GLAZING/TEMPERED
- ◆ CROWN MOLDING, COLOR TO MATCH STOREFRONT
- ◆ THOMPSON CHEF CLIFF BLINDS STONE COLOR: TAN
- ◆ STUCCO VERTICAL GAP, COLOR: TO MATCH STOREFRONT
- ◆ THOMPSON-TON BRICK VENEER - JENLINS HAMPSTEAD QUINN
- ◆ METAL AWNING AND HANGERS, COLOR TO MATCH STOREFRONT
- ◆ 1/2" WALL REVEAL ALUMINUM HEAD
- ◆ ROLL-UP DOOR, COLOR: BERRI # 800-84-1 NEW HANGI PLAT EXTERIOR PAINT
- ◆ EXTERIOR METAL DOOR, COLOR: BERRI # 800-84-1 NEW HANGI PLAT EXTERIOR PAINT
- ◆ EXTERIOR METAL DOOR, COLOR: BERRI # N180-8 NUT BROWN MATTE EXTERIOR PAINT



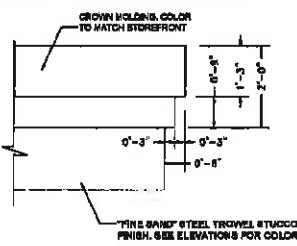
A3.0 - 03 NORTH SIDE ELEVATION
SCALE: 1/8"=1'-0"



A3.0 - 04 SOUTH SIDE ELEVATION
SCALE: 1/8"=1'-0"



A3.0 - 05 CROWN MOLDING DETAIL
SCALE: 3/4"=1'-0"



A3.0 - 06 CROWN MOLDING DETAIL
SCALE: 3/4"=1'-0"

OCCUPANT LOAD CHARTS

C-STORE			
OCCUPANCY	NET SQ. FT.	FACTOR	OCC. LOAD
Sales	3,487	60	57
Storage	1,493	30	45
TOTAL USABLE AREA	4,980		

RETAIL			
OCCUPANCY	NET SQ. FT.	FACTOR	OCC. LOAD
Sales	2,487	60	41
Storage	1,293	30	39
TOTAL USABLE AREA	3,780		

MECHANICAL EQUIPMENT ROOM			
OCCUPANCY	NET SQ. FT.	FACTOR	OCC. LOAD
Mech. Equipment Area	296	300	3
TOTAL USABLE AREA	396		

MEANS OF EGRESS-CBC CHAPTER 10

AREA	USABLE AREA SQ. FT.	OCCUPANCY	EGRESS WIDTH (REQUIRED/PROVIDED)	EGRESS DISTANCE (MAX./PROVIDED)	NUMBER OF EXITS (REQUIRED/PROVIDED)
C-STORE (60)	4,980	60 OCCUPANTS	12'4" / 10'	75' / 75'	2/2
RETAIL (60)	3,780	48 OCCUPANTS	7'11" / 7'	75' / 75'	1/2
MECH. EQUIPMENT ROOM (42)	296	3 OCCUPANTS	5'11" / 5'	22' / 18.5'	2/2

WALL SEPARATION REQUIREMENTS

OCCUPANCY-CONST. TYPE	AREA	SEPARATION OF OCCUPANCIES PER CBC TABLE 704.4
M	1,493 SQ. FT. (STORE)	2 1/2 HR SPRINKLER
H-2	888 SQ. FT. (STORE)	



RAMCAM ENGINEERING GROUP, INC.
400 S. WASHINGTON STREET, SUITE 100
MOUNTAIN VIEW, CALIFORNIA 92654

PROJECT NO. 2018-001
DATE: 08/15/2018
DRAWN: J. BROWN
CHECKED: M. BROWN
SCALE: AS SHOWN

GO FRESH, LLC
1500 W. MAIN STREET, SUITE 100
MOUNTAIN VIEW, CA 92654

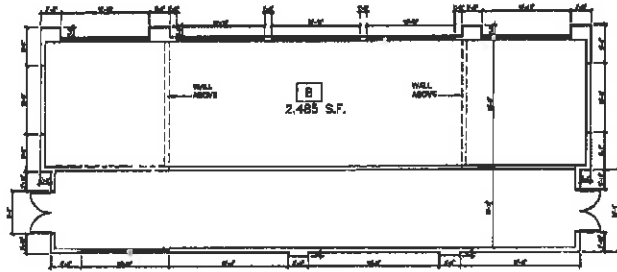
GO FRESH GAS
1500 W. MAIN STREET, SUITE 100
MOUNTAIN VIEW, CA 92654

PERMD-0141
PERMD-0142
PERMD-0143

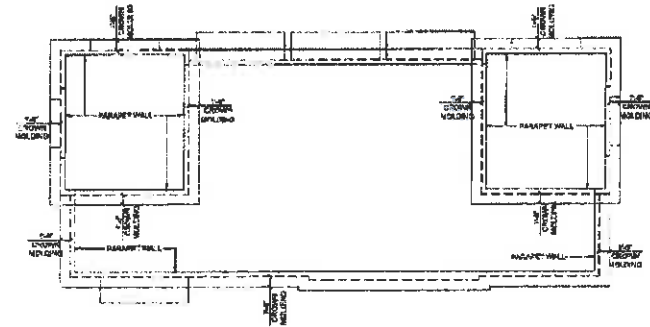
**C-STORE & RETAIL ELEVATIONS
DETAILS & NOTES**

A3.0

CARWASH



A4.0 - 01 FLOOR PLAN
SCALE: 1/8"=1'-0"



A4.0 - 02 ROOF PLAN
SCALE: 1/8"=1'-0"



RAMCAM ENGINEERING
GROUP, INC.
401 L. PAVANAN AVENUE, SUITE #4
MILPITAS, CA 95035

PROJECT NO. 2020-01-41
DATE: 01/14/2020
DRAWN BY: J. HARRIS
CHECKED BY: J. HARRIS
SCALE: AS SHOWN
SHEET NO. 10 OF 10

GO FRESH, LLC
1880 MOUNT LAMLEY STREET
PULHART, GA 30787

GO FRESH GAS
1880 MOUNT LAMLEY STREET
PULHART, GA 30787

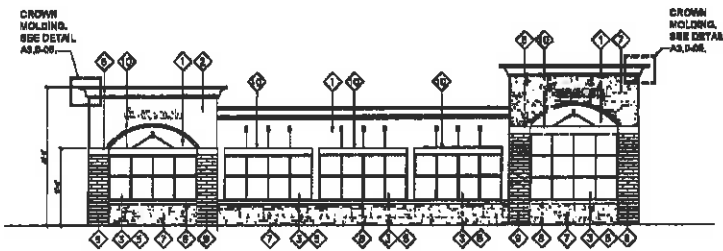
PEN20-01-41
PEN20-01-42
PEN20-01-43

CARWASH FLOOR PLAN
ROOF PLAN & ELEVATIONS

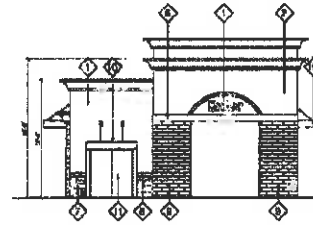
A4.0

KEYNOTES

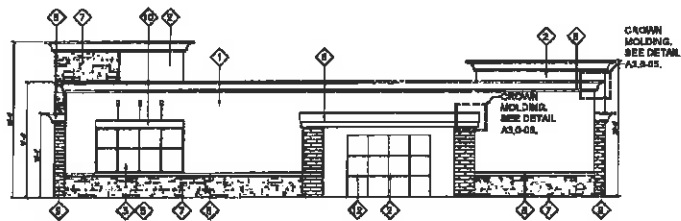
- 1 "FINE SAND" STEEL TROWEL STUCCO FINISH. COLOR: BERN # 500-84-1 NEW KNOWN FLAT EXTERIOR PAINT
- 2 "FINE SAND" STEEL TROWEL STUCCO FINISH. COLOR: BERN # 198-8 MULT BROWN MATTE EXTERIOR PAINT
- 3 DARK BROWN ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM
- 4 TRANSPARENT TEMPERED GLASS DOOR TO MATCH STOREFRONT.
- 5 LOW 'E' LIGHT TRANSPARENT (2) GLAZING-TEMPERED
- 6 CROWN MOLDING, COLOR TO MATCH STOREFRONT
- 7 THOMPSON CHEF CLIFF BLENDS STONE COLOR: TAN
- 8 STUCCO MAINBOOT CAP, COLOR TO MATCH STOREFRONT
- 9 THOMPSON 8-TEN BRICK VENEER -GENLBS HAMPSTEAD GREEN
- 10 METAL AWNING AND HANGERS. COLOR TO MATCH STOREFRONT
- 11 DOUBLE SERVICE DOORS. PAINT VENT BERN # 191-86 NAVY BROWN MATTE EXTERIOR PAINT
- 12 1/2" WALL REVEAL ALUMINUM HEAD.



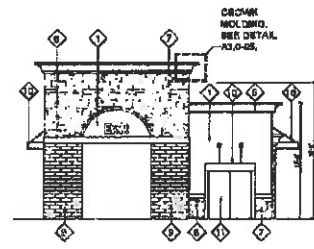
A4.0 - 03 NORTH SIDE ELEVATION
SCALE: 1/8"=1'-0"



A4.0 - 04 SIDE ELEVATION
SCALE: 1/8"=1'-0"



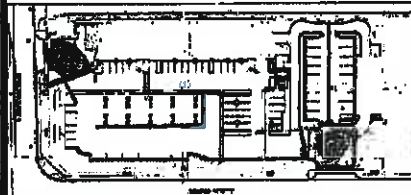
A4.0 - 05 SOUTH SIDE ELEVATION
SCALE: 1/8"=1'-0"



A4.0 - 05 WEST SIDE ELEVATION
SCALE: 1/8"=1'-0"



GO FRESH-GAS STATION RENDERINGS



A5.0- 01 BIRDS EYE VIEW AND KEY PLAN



A5.0- 02 IMAGE #1



A5.0- 03 IMAGE #2



A5.0- 04 IMAGE #3



A5.0- 05 IMAGE #3



A5.0- 06 IMAGE #4



A5.0- 07 IMAGE #5



A5.0- 08 IMAGE #7



A5.0- 09 IMAGE #6



RAMCAM ENGINEERING GROUP, INC.
 405 E. HARRIS AVENUE, SUITE 101
 FOUNTAIN VALLEY, CA 92708

PROJECT NO. 2018-001
 SHEET NO. A5.0
 DATE: 08/20/2018

GO FRESH, LLC
 1500 HUNTER LANELEY STREET
 FOUNTAIN VALLEY, CA 92708

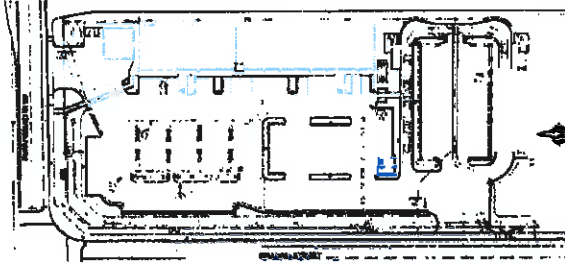
GO FRESH GAS
 800 OF GARDENWAY BLVD
 SUITE 100
 FOUNTAIN VALLEY, CALIFORNIA

PEN20-0141
 PEN20-0142
 PEN20-0143

ARCHITECTURE
 GO-FRESH GAS STATION
 COLOR ELEVATIONS

A5.0

GO FRESH-GAS STATION RENDERINGS



A5.1 - 01 BIRDS EYE VIEW AND KEY PLAN



A5.1 - 02 IMAGE #1



A5.1 - 03 IMAGE #2



A5.1 - 04 IMAGE #3



A5.1 - 05 IMAGE #4



A5.1 - 06 IMAGE #5



A5.1 - 07 IMAGE #6



A5.1 - 08 IMAGE #7



A5.1 - 09 IMAGE #8



RAMCAM ENGINEERING GROUP, INC.
 201 S. WILSON AVENUE, SUITE 101
 WEST VALLEY, CA 94790



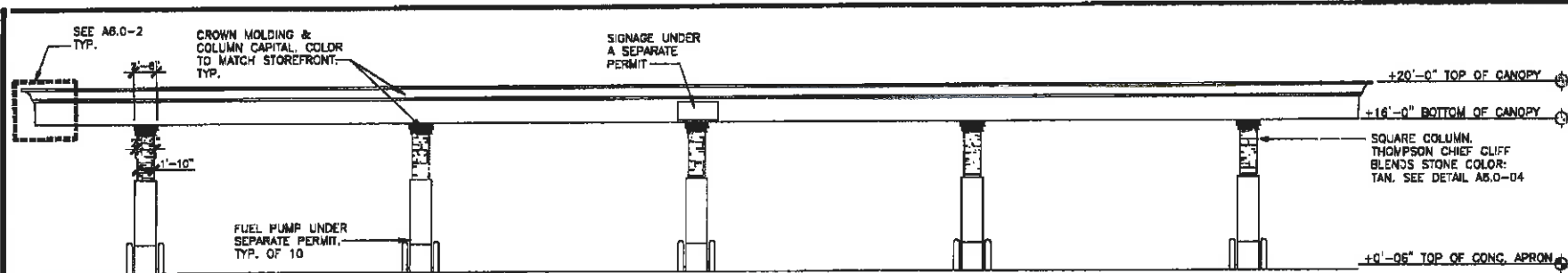
GO FRESH, LLC
 100 HOLLY LANE, SUITE 100
 FOUNTAIN VALLEY, CA 92708

GO FRESH GAS
 100 OF HOLLY LANE SUITE 100
 AND
 100 OF HOLLY LANE SUITE 100

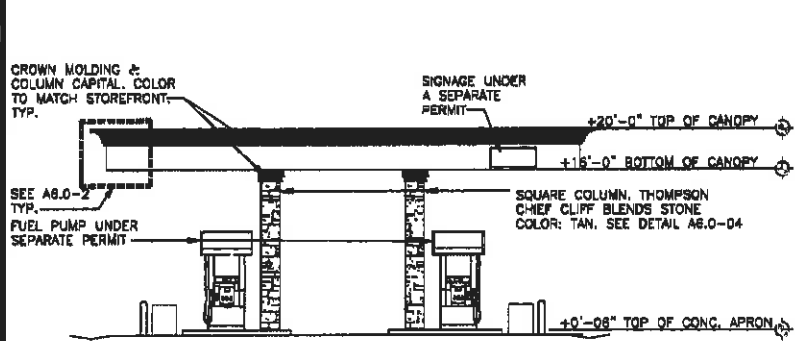
PEN20-014
 PEN20-012
 PEN20-012

GO-FRESH GAS STATION
 RENDERINGS

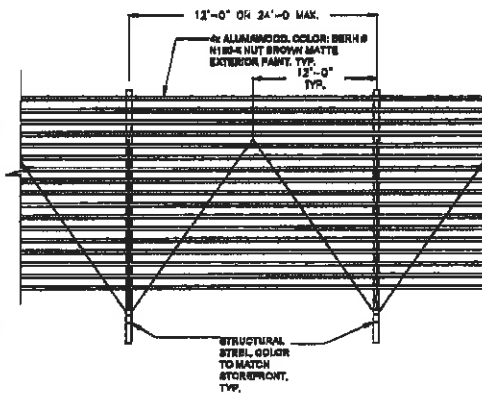
A5.1



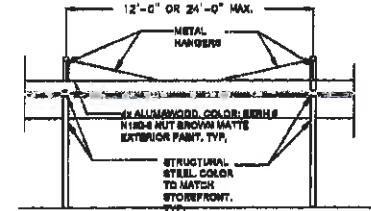
A7.0-01 FRONT ELEVATION
SCALE: 3/16"=1'-0"



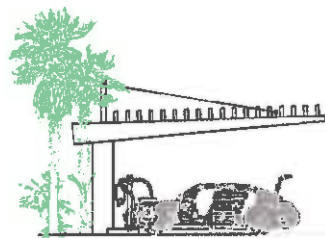
A7.0-02 SIDE ELEVATION
SCALE: NONE



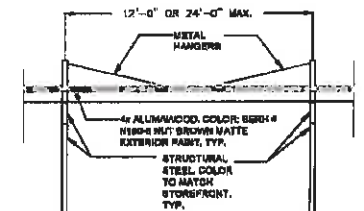
A7.0-03 VACUUM CANOPY ROOF PLAN
SCALE: 3/16"=1'-0"



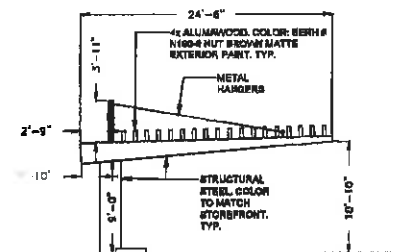
A7.0-04 VACUUM CANOPY FRONT ELEVATION
SCALE: 3/16"=1'-0"



A7.0-05 VACUUM CANOPY ELEVATION
SCALE: 3/16"=1'-0"



A7.0-06 VACUUM CANOPY REAR ELEVATION
SCALE: 3/16"=1'-0"



A7.0-07 VACUUM CANOPY SIDE ELEVATION
SCALE: 3/16"=1'-0"



RAMCAM ENGINEERING GROUP, INC.
100 E. PULASKI AVENUE, SUITE 100
MILWAUKEE, WISCONSIN 53212

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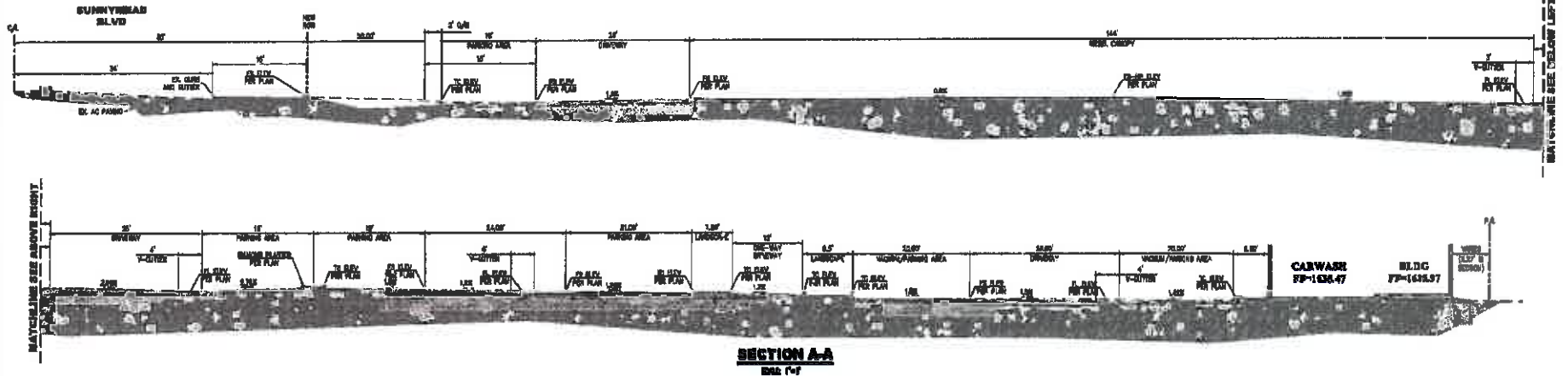
GO FRESH, LLC
555 MOUNT LANLEY STREET
PACHTON VALLEY, CA 95026

GO FRESH GAS
555 MOUNT LANLEY BLVD
PACHTON VALLEY, CALIFORNIA

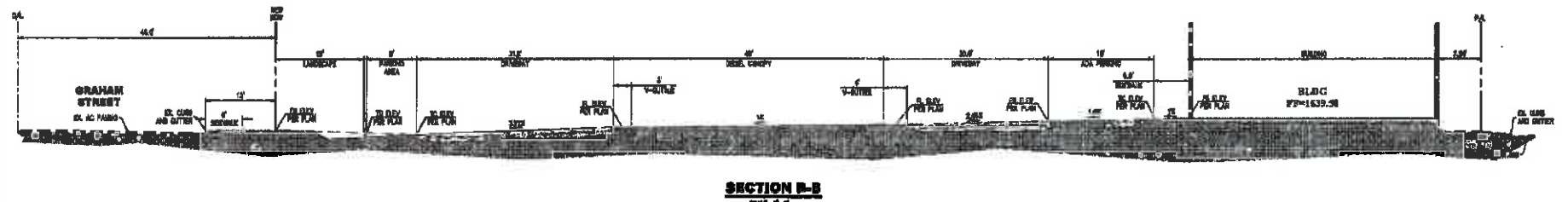
PEN20-0141
PEN20-0142
PEN20-0143

FUEL CANOPY & VACUUM CANOPY ELEVATIONS

A7.0



SECTION A-A
SHEET 1-1

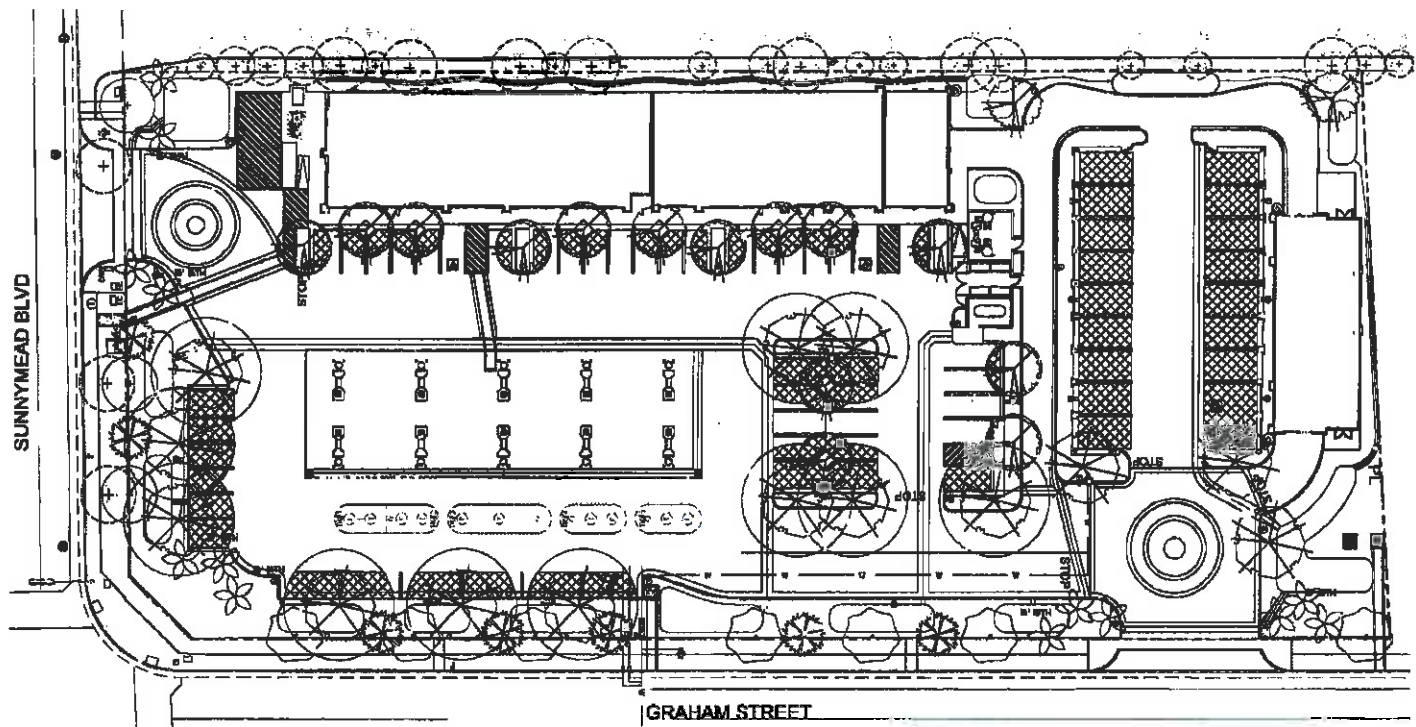


SECTION B-B
SHEET 1-1

TRAFFIC SIGNAL
DIGALERT
CALL
811 or
1-800-422-4133
2 Working Days Before You Dig

PAXX-XXXX OR PENXX-XXXX

BENCHMARK STANDARD COUNTY BENCHMARK DESCRIPTION NUMBER = 000000 (SEE SHEET 1-1) THIS BENCH IS SET CORNER OF CONCRETE AND TYPICAL WALL AND TOP SURFACE OF CURB IS 12" BELOW OF BENCHMARK AND 12" FROM TOP OF CONCRETE CURB. A RED SPOT OF THE BENCHMARK IS LOCATED 12" FROM TOP OF CURB. BENCHMARK IS 12" FROM CORNER OF BENCHMARK.	BASIS OF BEARING THE BENCHMARK BEARING WAS OBTAINED FROM THE COUNTY LINE OF GRADUAL SLOPE, 12" OF 12" OF 12" FROM TOP OF CURB AND 12" FROM TOP OF CURB, 12" FROM 12" OF 12" FROM TOP OF CURB, 12" OF 12" FROM TOP OF CURB, 12" OF 12" FROM TOP OF CURB.	REVIEW BY CITY STAFF		CITY OF MORENO VALLEY APPROVALS		ENGINEER OF RECORD'S SEAL		PROFANED BY: 230 E. N. Highway, #10 Corona, CA 92625 Tel: 951-721-4328		CITY OF MORENO VALLEY																																					
		<table border="1"> <thead> <tr> <th>OFFICE</th> <th>INITIAL</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>CONCRETE BENCHMARK</td> <td></td> <td></td> </tr> <tr> <td>LAND DEVELOPMENT</td> <td></td> <td></td> </tr> <tr> <td>PLANNING</td> <td></td> <td></td> </tr> <tr> <td>INSPECTION</td> <td></td> <td></td> </tr> <tr> <td>PERMITS AND CERTIFICATE SERVICES</td> <td></td> <td></td> </tr> <tr> <td>SPECIAL SERVICES</td> <td></td> <td></td> </tr> <tr> <td>STREETS WATER MANAGEMENT PLAN</td> <td></td> <td></td> </tr> </tbody> </table>	OFFICE	INITIAL	DATE	CONCRETE BENCHMARK			LAND DEVELOPMENT			PLANNING			INSPECTION			PERMITS AND CERTIFICATE SERVICES			SPECIAL SERVICES			STREETS WATER MANAGEMENT PLAN			<table border="1"> <thead> <tr> <th>DATE</th> <th>DATE</th> <th>INITIAL</th> <th>DESCRIPTION</th> <th>SEC. APPROV.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> <td>REVISION</td> <td></td> <td></td> </tr> </tbody> </table>	DATE	DATE	INITIAL	DESCRIPTION	SEC. APPROV.	DATE				REVISION			<table border="1"> <thead> <tr> <th>APPROVED:</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>MICHAEL D. LLOYD, PE REGISTERED PROFESSIONAL ENGINEER CITY OF MORENO VALLEY</td> <td></td> </tr> <tr> <td>MICHAEL L. WILSON, PE REGISTERED PROFESSIONAL ENGINEER CITY OF MORENO VALLEY</td> <td></td> </tr> </tbody> </table>	APPROVED:	DATE	MICHAEL D. LLOYD, PE REGISTERED PROFESSIONAL ENGINEER CITY OF MORENO VALLEY		MICHAEL L. WILSON, PE REGISTERED PROFESSIONAL ENGINEER CITY OF MORENO VALLEY		
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PARKING LOT SHADING REQUIREMENTS

PARKING LOT AREA	8146 SF
SHADING REQUIREMENT (80%)	6517 SF
PERMISSIBLE CANOPY PROVIDED	438 SF
PERMISSIBLE TREES PROVIDED	438 SF
TOTAL SHADING PROVIDED	876 SF



RAMCAM ENGINEERING GROUP, INC.
 208 S. HANCOCK ST. SUITE 101
 FOUNTAIN VALLEY, CA 92708
 (714) 952-1111

REVISIONS
 NO. DATE BY
 1 11/15/11 JLD

R. DALE HADFIELD
 ARCHITECT
 1000 S. HANCOCK ST. SUITE 101
 FOUNTAIN VALLEY, CA 92708
 (714) 952-1111

GO FRESH, LLC
 1000 S. HANCOCK ST. SUITE 101
 FOUNTAIN VALLEY, CA 92708

GO FRESH GAS
 1000 S. HANCOCK ST. SUITE 101
 FOUNTAIN VALLEY, CA 92708



PRELIMINARY SHADING PLAN



PRELIMINARY SHADING PLAN

SCALE: 1"=20'-0"

L1.2

PAGE BREAK





RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

June 21, 2021

Mr. Gabriel Villalobos, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Mancos
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

COMMISSIONERS

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Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Rull

Simon A. Housman
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

File No.: ZAP1478MA21
Related File No.: TPM37897 (Tentative Parcel Map)
APN: 323-130-006
Airport Zone: Compatibility Zone E

Dear Mr. Villalobos:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. TPM37897 (Tentative Parcel Map), a proposal to divide 5.53 acres into 3 parcels located northerly of San Jacinto Avenue, southerly of Aloha Road, westerly of Old Elsinore Road, and easterly of Marshall Street.

The site is located within Airport Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone E of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 17,770 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,590 feet AMSL. The project site elevation is 1,699 feet AMSL. No building permits for new structures are in process at this time, and review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division. Therefore, FAA OES review for height/elevation reasons was not required. However, a condition has been included that all future buildings will require FAA OES review before permit issuance.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

CONDITIONS:

AIRPORT LAND USE COMMISSION

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This

AIRPORT LAND USE COMMISSION

stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. Prior to issuance of building permits for any new buildings, the permittee shall provide to the Building and Safety a "Determination of No Hazard to Air Navigation" letter from the Federal Aviation Administration Obstruction Evaluation Service.

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Wilfredo Ventura (applicant/representative)
Ruben Hernandez (property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
David Shaw, Base Civil Engineer, March Air Reserve Base
ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1478MA21\ZAP1478MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

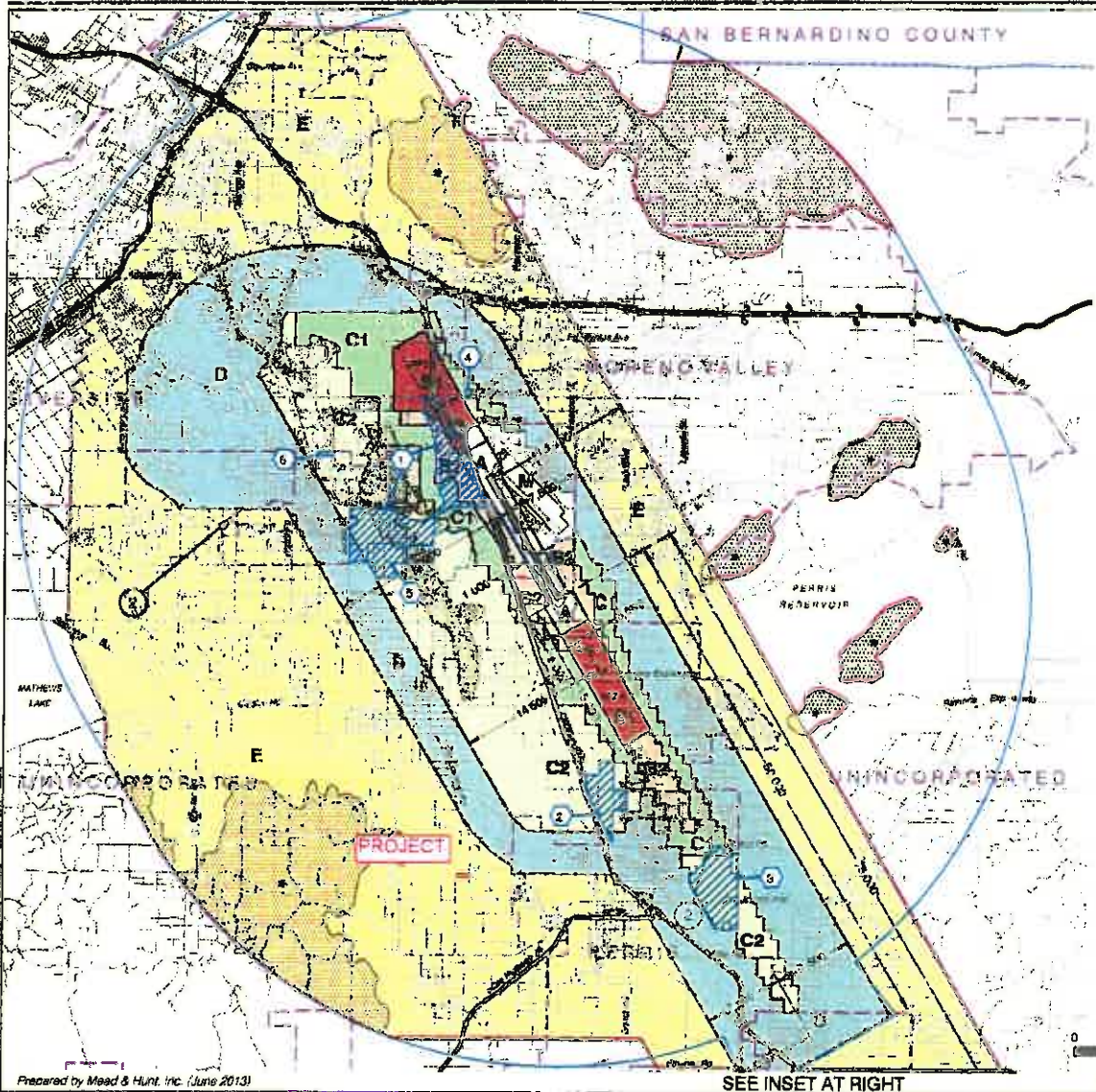
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

Compatibility Zones

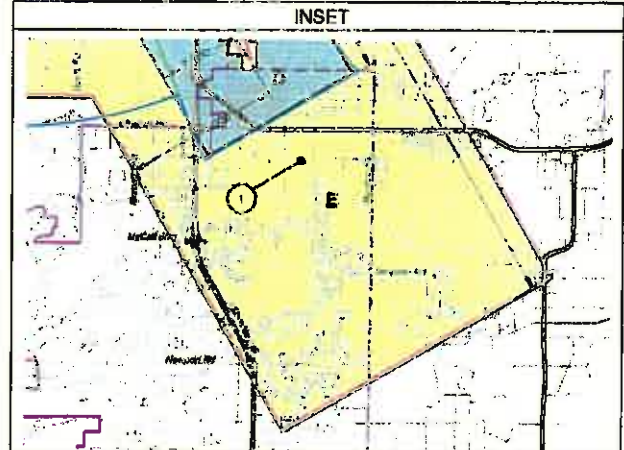
- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C1
- Zone C2
- Zone D
- Zone E
- Zone M
- High Terrain Zone
- FAR Part 77 Military Outer Horizontal Surface Limits
- FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- Site-Specific Exceptions (existing local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end Airport Elevation is 1,535 feet MSL
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ② Perris: Harvest Landing
- ③ Perris: Park West
- ④ Moreno Valley: Affordable Housing
- ⑤ March JPA: Ben Clark Training Center
- ⑥ Riverside: Ridge Creek Subdivision



Riverside County
 Airport Land Use Commission
 March Air Reserve Base / Inland Port Airport
 Land Use Compatibility Plan
 (Adopted November 13, 2014)

Note:
 All dimensions are measured from runway ends and centerlines.



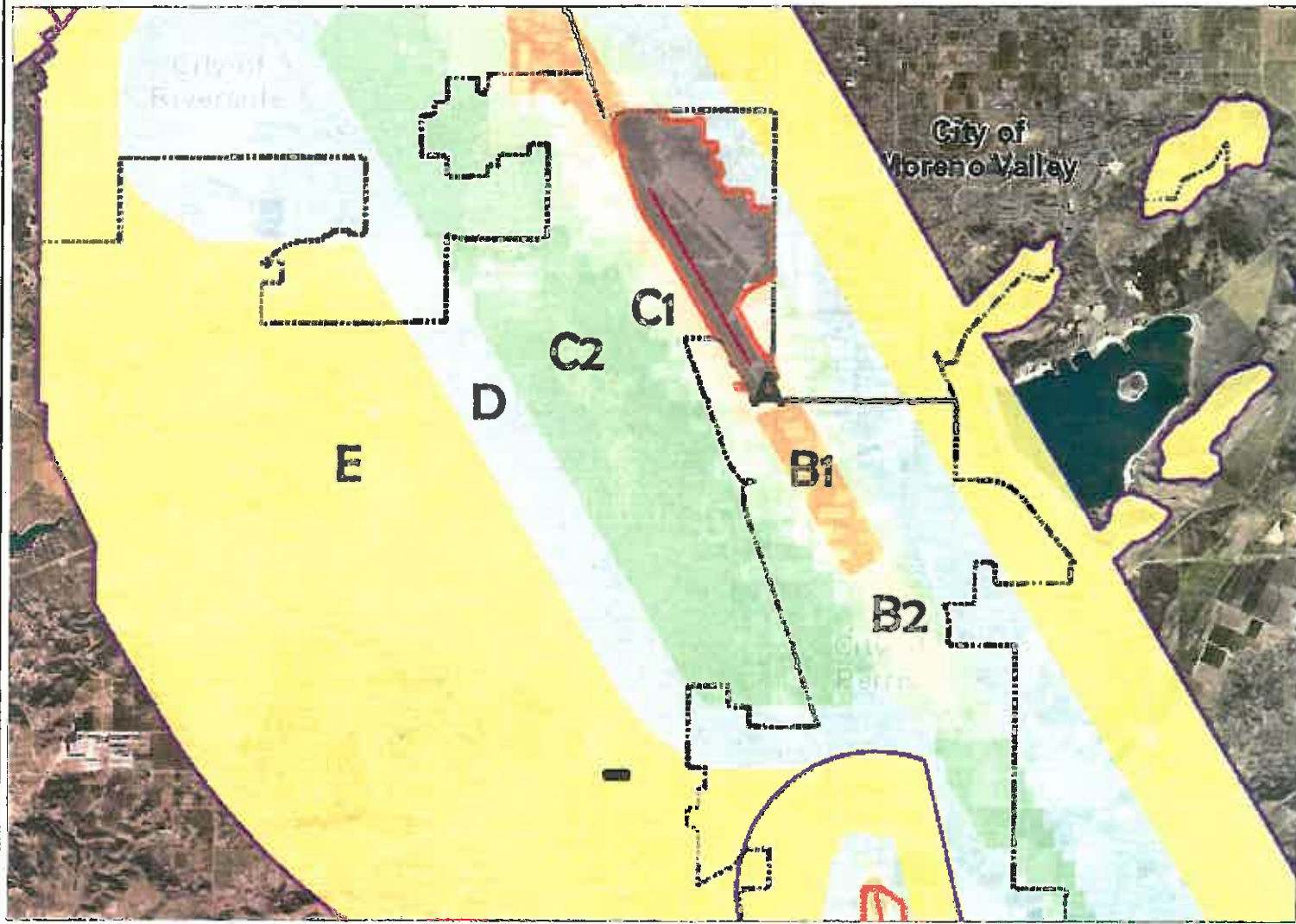
Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map MA-1
Compatibility Map
 March Air Reserve Base / Inland Port Airport

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC8



IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

Notes



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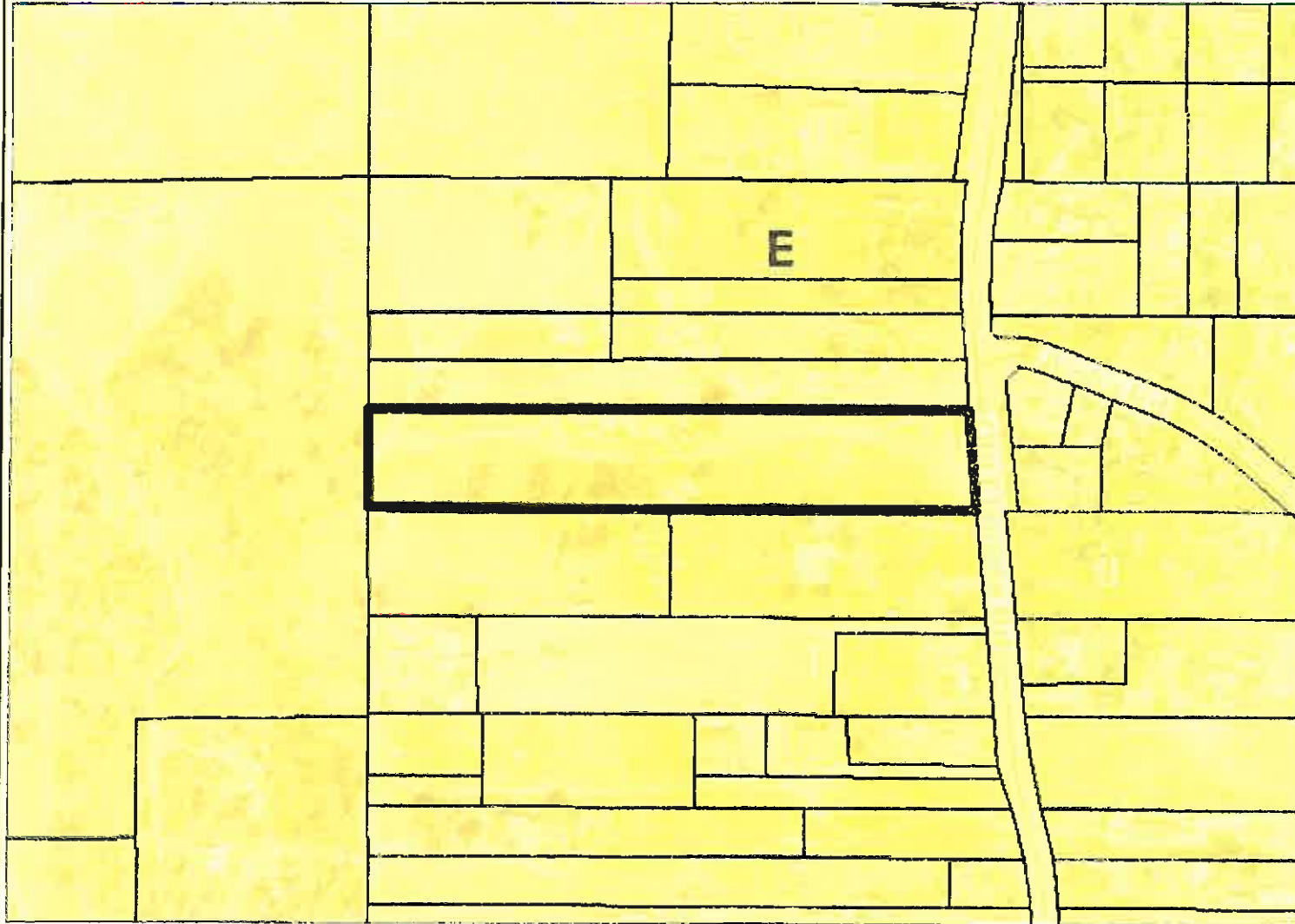
© Riverside County GIS

Map My County Map

Los Angeles



San Diego Tijuana Mexico



Legend

- Parcels
- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5



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0 376 752 Feet

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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexico



Legend

-  Parcels
-  County Centerline Names
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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0 376 752 Feet

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Notes

Map My County Map



Los Angeles

San Diego

Tijuana

Mexico

Legend

- County Centerlines
- Blue line Streams
- City Areas
- World Street Map



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0 3 6,019 Feet

REPORT PRINTED ON... 6/17/2021 2:54:47 PM

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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Mexico



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map

Notes



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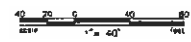
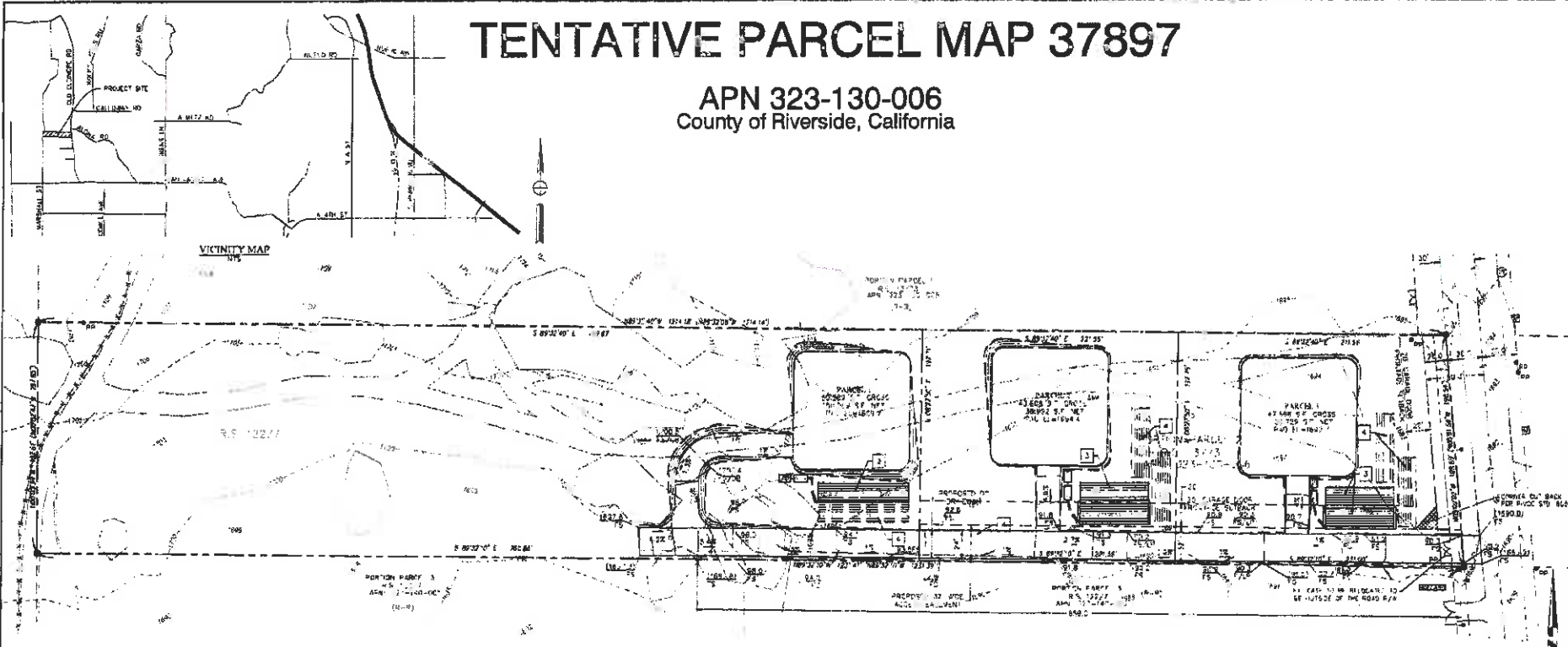
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REPORT PRINTED ON... 6/17/2021 2:57:02 PM

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TENTATIVE PARCEL MAP 37897

APN 323-130-006
County of Riverside, California



SITE ADDRESS
0 ON RICHMOND BLVD
MERRIS, CA 92540

OWNER/APPLICANT
M. BEN M. HERNANDEZ
4251 W 111th ST
INDIENGO, CA 91764
(951) 367-5211
HSDEN@AOL.COM

PREPARED BY
VENTURA ENGINEERING PLANNING INC
27175 HILL HOLLOW, SUITE 100
TREVINO, CA 92591
(951) 793-4224

DATE PREPARED
07/09/2016

ASSESSOR'S PARCEL NUMBER
323-130-006

LEGAL DESCRIPTION
PARCEL 2 OF RS 18/78

SITE AREA
5.53 ACRES CROSS

ZONING AND USE
EXISTING ZONING RS-107
EXISTING LAND USE RESIDENTIAL
PROPOSED ZONING RS-107
PROPOSED LAND USE RESIDENTIAL

UTILITIES
WATER: SASSON MUNICIPAL WATER DEPT
SEWER: SASSON
GAS: SASSON
ELECTRIC: SOUTHERN CALIFORNIA Edison
SCHOOL DISTRICT: SASSON ELEMENTARY & PERRIS UNION HIGH

HYDROLOGY
FLOOD CONTROL DISTRICT: SASSON COUNTY FLOOD CONTROL DISTRICT
DATE: JUNE 2016

GEOLOGY
PROJECT SITE IS NOT SUBJECT TO SEISMIC, OTHER GEOLOGICAL HAZARDS, IS NOT IN A SPECIAL STUDY ZONE AND IS NOT SUBJECT TO OVERFLOW, SUBSIDENCE OR OTHER HAZARDS

SOURCE OF TOPOGRAPHY
INLAND VALLEY SURVEY INC
170 WEST WALNUT AVENUE SUITE A-5
MERRIS, CA 92540
05/2015 100
DATE OF SURVEY: JANUARY 2015

AREA SUMMARY	BATHYMETRY
PARCEL 1 AREA: 154,694.4 SF PERCENT: 27.7%	1.0
PARCEL 2 AREA: 154,694.4 SF PERCENT: 27.7%	1.0
PARCEL 3 AREA: 154,694.4 SF PERCENT: 27.7%	1.0

- NOTES**
- 1. PRIMARY LEACH LINES
 - 2. 100' R EXPANSION LEACH LINES
 - 3. PRIMARY DRAIN LINES AREA
 - 4. EXPANSION DRAIN LINES AREA

<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	REVISIONS								<p>ENGINEER OF RECORD Jeffrey J. White Professional Engineer License No. 44522 Mechanical State of California DATE: 4/25/22</p>		<p>BENCHMARK: PER ADS BENCHMARK D43724 OBSERVATION TAPE AT BN STATION 10 CALIFORNIA SURVEY OF HIGHWAYS REFERENCE DISK STUCK IN JAR BOULDER 1000 FEET EAST OF BUREAU POLE MARK, 38.00 FEET SOUTHWEST OF CENTERLINE OF CALIFORNIA HIGHWAY 78 ELECTRICAL NUMBER 24010.</p>	<p>COUNTY OF RIVERSIDE</p> <p>PARCEL 2 OF RS 18/78 APN 323-130-006 TENTATIVE PARCEL MAP</p>	<p>SHEET NO 1 OF 1 SHEETS FILE NO</p>
NO.	DATE	REVISIONS													

PAGE BREAK





RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

July 12, 2021

Mr. Russell Brady, Project Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Monaco
Lake Elsinore

COMMISSIONERS

Arthur Butler
Riverside

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Russell Betts
Desert Hot Springs

Richard Stewart
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STAFF

Director
Paul Rull

Simon A. Housman
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5182

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW -
DIRECTOR'S DETERMINATION**

File No.: ZAP1480MA21
Related File No.: TPM37622 (Tentative Parcel Map)
APN: 300-070-013
Airport Zone: Compatibility Zone E

Dear Mr. Brady:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed County of Riverside Case No. TPM37622 (Tentative Parcel Map), a proposal to divide 5.0 acres into 4 parcels located at 20905 El Nido Avenue, southerly of Emerett Lane, easterly of Wilma Lane.

The site is located within Airport Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Influence Area (AIA). Within Compatibility Zone D of the March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, residential density is not restricted.

Although the project is located within the March Air Reserve Base/Inland Port Airport Influence Area, the nearest runway is actually Runway 15-33 at Perris Valley Airport. The elevation of Runway 15-33 at Perris Valley Airport is approximately 1,413 feet above mean sea level (AMSL) at its northerly terminus. At a distance of 17,780 feet from the project to the nearest point on the runway, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with an elevation at top of roof exceeding 1,590 feet AMSL. The project pad elevation is 1,458 feet AMSL. No building permits for new structures are in process at this time, and review by the Federal Aviation Administration Obstruction Evaluation Services (FAA OES) is not a prerequisite to land division. Therefore, FAA OES review for height/elevation reasons was not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan, provided that the County of Riverside applies the following recommended conditions:

CONDITIONS:

1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be

www.aluc.org

AIRPORT LAND USE COMMISSION

downward facing.

2. The following uses/activities are not included in the proposed project and shall be prohibited at this site.
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Hazards to flight.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property, and shall be recorded as a deed notice.
4. Any proposed detention basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the detention basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the detention basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the detention basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the

AIRPORT LAND USE COMMISSION

name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin.

5. **March Air Reserve Base must be notified of any land use having an electromagnetic radiation component to assess whether a potential conflict with Air Base radio communications could result. Sources of electromagnetic radiation include radio wave transmission in conjunction with remote equipment inclusive of irrigation controllers, access gates, etc.**

If you have any questions, please feel free to contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachments: Notice of Airport in Vicinity

cc: Fedelia B. Daiz (applicant/representative/property owner)
Gary Gosliga, Airport Manager, March Inland Port Airport Authority
David Shaw, Base Civil Engineer, March Air Reserve Base
ALUC Case File

X:\AIRPORT CASE FILES\March\ZAP1480MA21\ZAP1480MA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration; or odors). Individual sensitivities to those annoyances [can vary from person to person. You may wish to consider what airport annoyances], if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

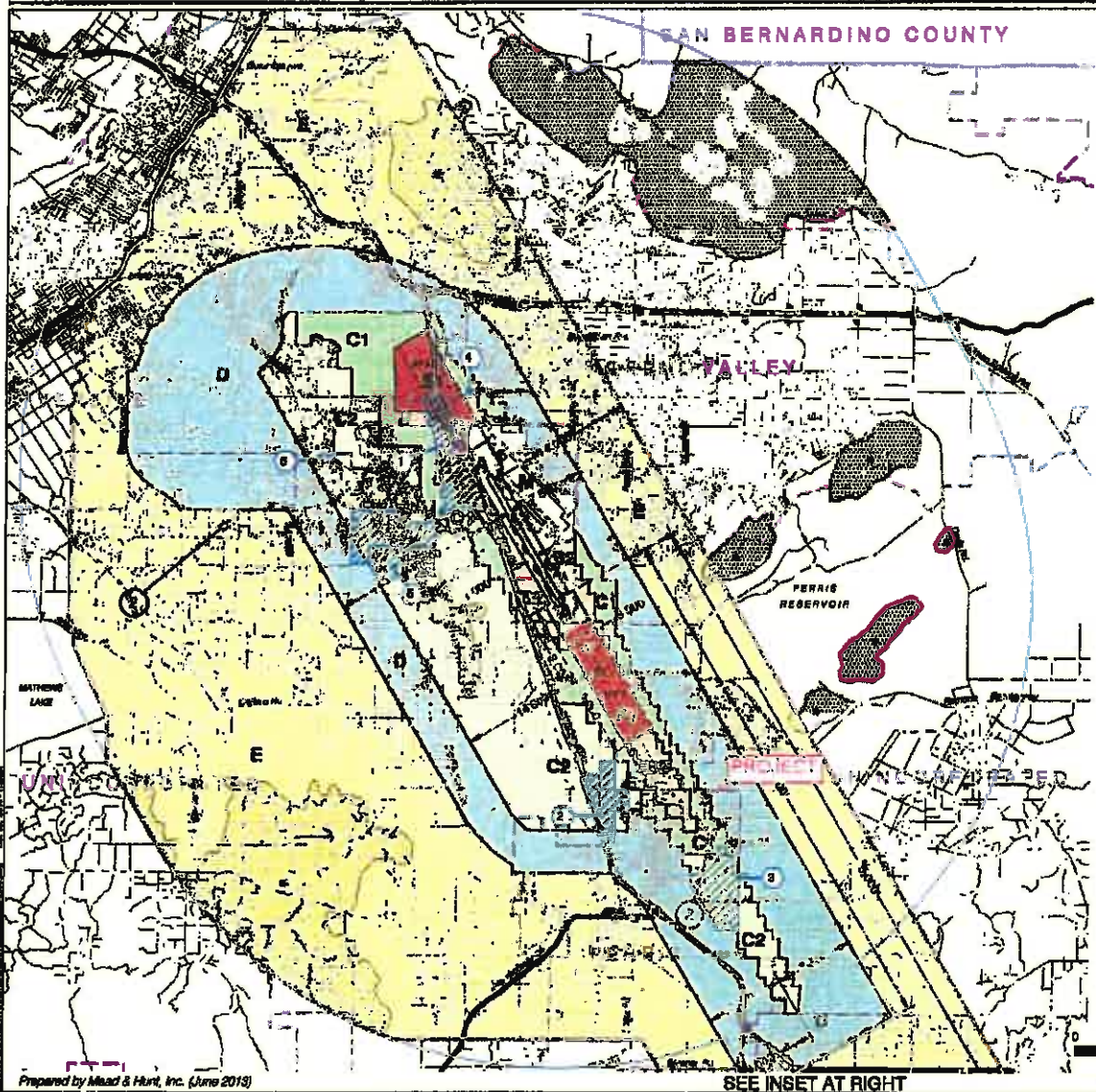
**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



LEGEND

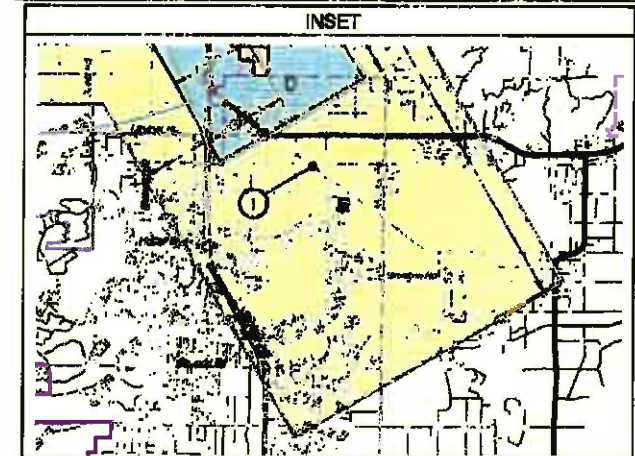
- Compatibility Zones**
- Airport Influence Area Boundary
 - Zone A
 - Zone B1
 - Zone B2
 - Zone C1
 - Zone C2
 - Zone D
 - Zone E
 - Zone M
 - High Terrain Zone
 - FAR Part 77 Military Outer Horizontal Surface Limits
 - FAR Part 77 Notification Area

Boundary Lines

- March Air Reserve Base / Air Force Property
- March Joint Powers Authority Property Line
- County Boundary
- City Limits
- ▭ Site-Specific Exceptions (satisfying local agency commitments to development projects)

- ① Point at which aircraft on Runway 32 ILS approach descend below 3,000 feet above runway end. Airport Elevation is 1,635 feet MSL.
- ② Point at which departing aircraft typically reach 3,000 feet above runway end.

- ① March JPA: March Business Center/Meridian
- ① Perris: Harvest Landing
- ① Perris: Park West
- ① Moreno Valley: Affordable Housing
- ① March JPA: Ben Clark Training Center
- ① Riverside: Ridge Crest Subdivision



Riverside County
Airport Land Use Commission

March Air Reserve Base / Inland Port Airport
Land Use Compatibility Plan

(Adopted November 13, 2014)

Map MA-1

Compatibility Map
March Air Reserve Base / Inland Port Airport

Note:
All dimensions are measured from runway ends and centerlines.

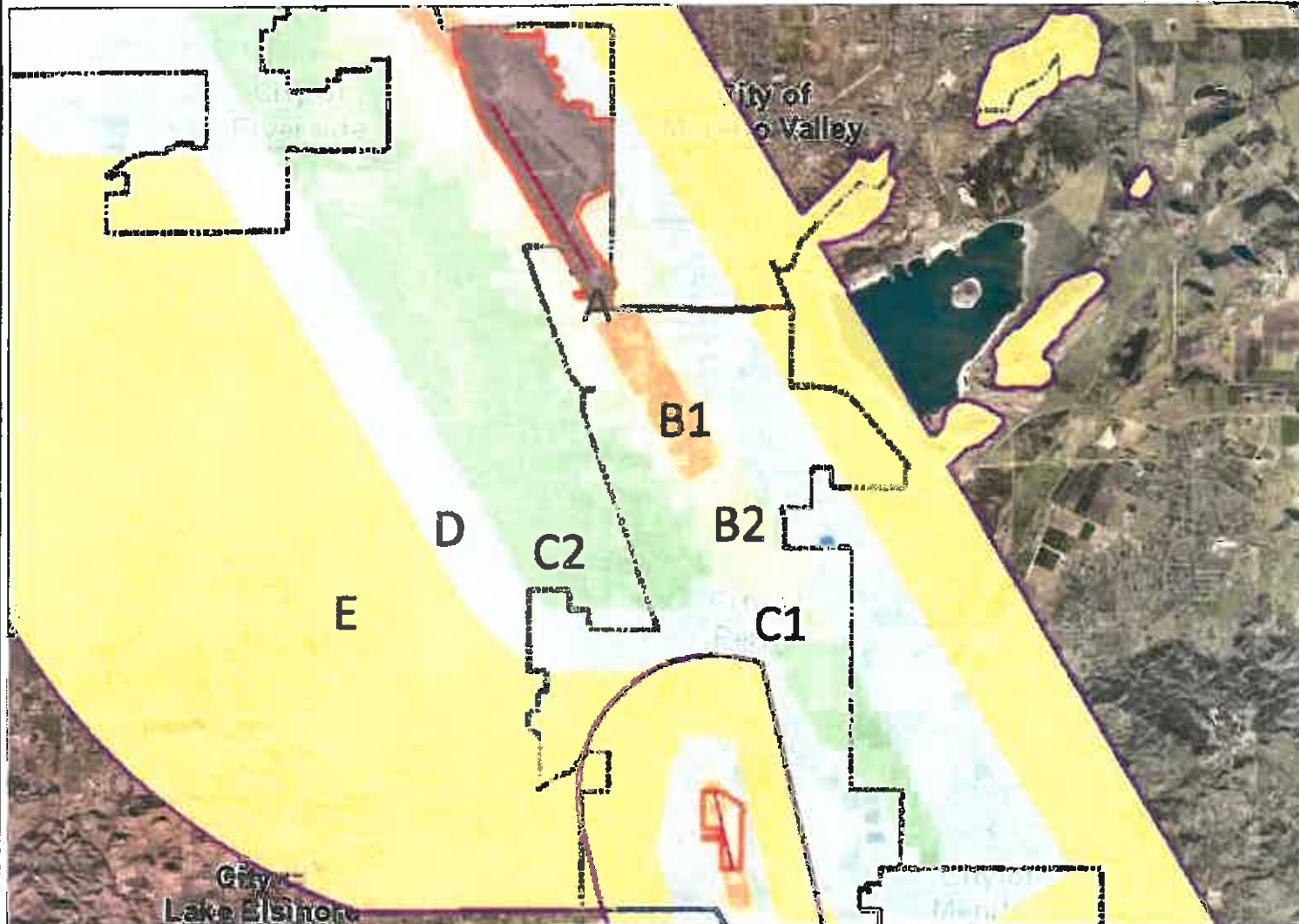


Base map source: County of Riverside 2013

Prepared by Mead & Hunt, Inc. (June 2013)

SEE INSET AT RIGHT

Map My County Map



- Legend**
- Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC8



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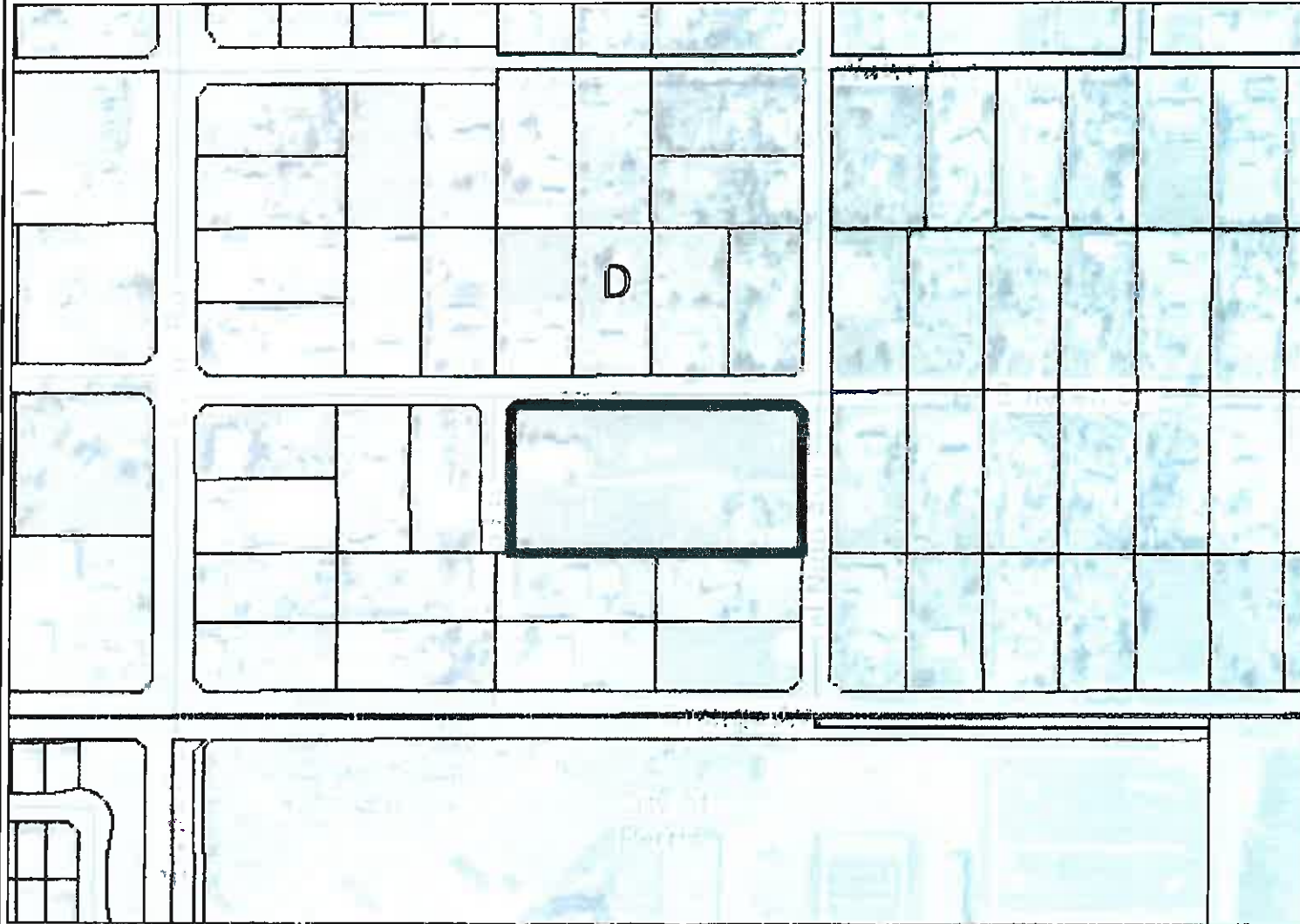
Notes
























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Map My County Map



Legend

-  Parcels
-  Runways
-  Airports
-  Airport Influence Areas
- Airport Compatibility Zones**
-  OTHER COMPATIBILITY ZONE
- A**
-  A-EXC1
-  B1
-  B1-APZ I
-  B1-APZ I-EXC1
-  B1-APZ II
-  B1-APZ II-EXC1
-  B1-EXC1
- B2**
-  B2-EXC1
- C**
- C1**
-  C1-EXC1
-  C1-EXC3
-  C1-EXC4
-  C1-HIGHT
- C2**
-  C2-EXC1
-  C2-EXC2
-  C2-EXC3
-  C2-EXC6

Notes



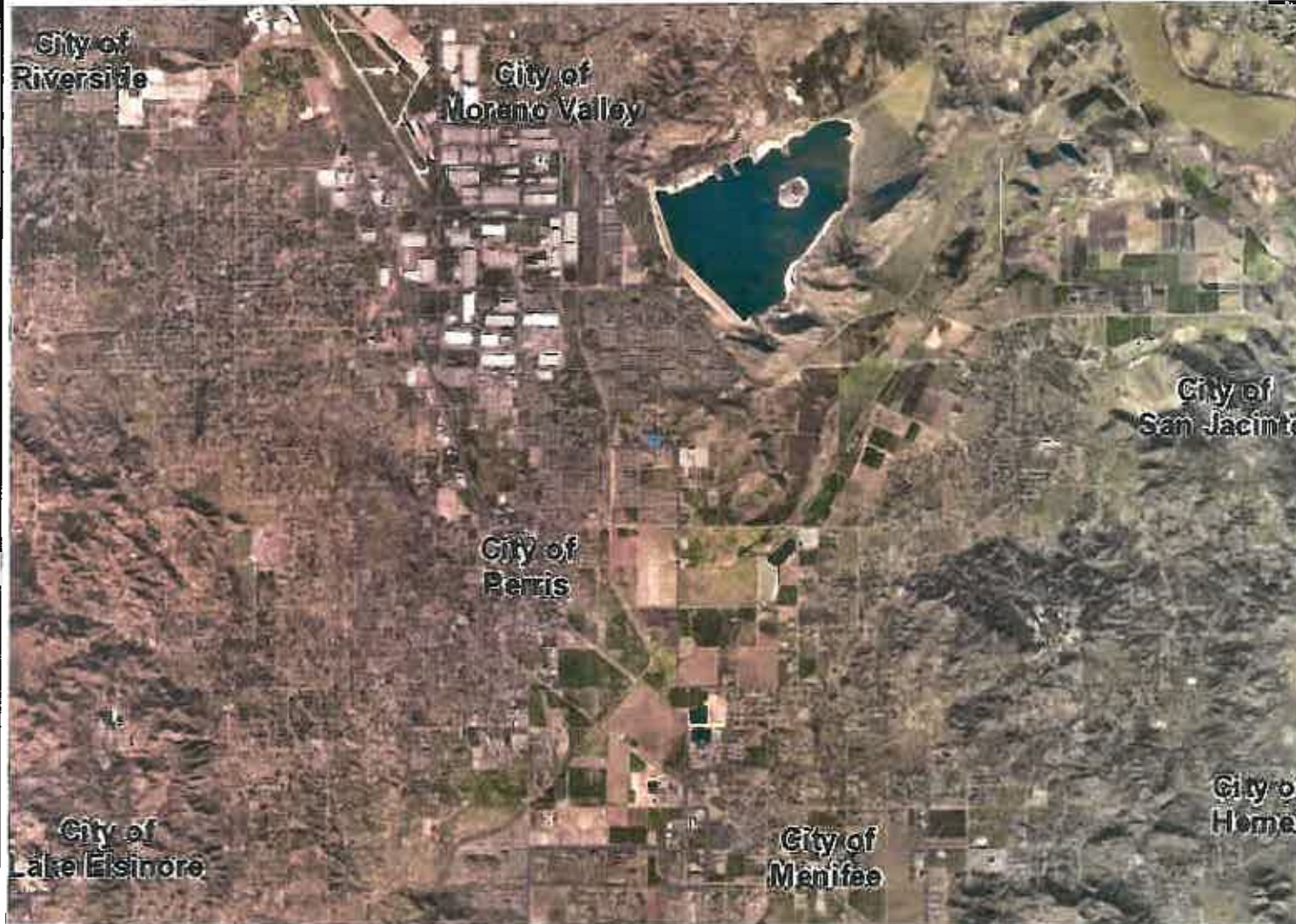
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0 385 770 Feet

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Map My County Map



Legend

-  City Areas
-  World Street Map

Notes



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Map My County Map



Legend

- Blue Line Streams
- City Areas
- World Street Map

Notes



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0 3 6,157 Feet

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Map My County Map



Legend

- County Centerline Names
- County Centerlines
- BlueLine Streams
- City Areas
- World Street Map

Notes



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0 770 1,539 Feet

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PAGE BREAK



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



June 29, 2021

Mr. Adam Rush, Community Development Director
City of Banning Community Development Department – Planning Division
99 E. Ramsey Street
Banning, CA 92220

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Manos
Lake Elsinore

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR'S DETERMINATION**

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Bette
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

File No.: ZAP1042BA21
Related File No.: CUP20-8012 (Conditional Use Permit)
APN: 540-210-009

Dear Mr. Rush:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to ALUC's general delegation as per Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed City of Banning Case No. CUP20-8012 (Conditional Use Permit), a proposal to establish a truck trailer storage yard on 4.11 acres located on the northeast corner of Lincoln Street and Fourth Street.

STAFF

Director
Paul Ruff

Simon A. Housman
Berbara Santos

County Administrative Center
4080 Lamon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

The site is located within Airport Compatibility Zone D of the Banning Municipal Airport Influence Area (AIA). Zone D restricts non-residential intensity to 200 people per average acre and 800 people per single acre. The project proposes a truck trailer storage yard containing 61 truck trailer spaces and a 600 square foot office trailer which accommodates 3 people, resulting in an average acre intensity of 1 people per acre and single acre intensity of 3 people, both of which are consistent with the Zone D intensity criteria.

Land use practices that attract or sustain hazardous wildlife populations on or near airports significantly increase the potential of Bird Aircraft Strike Hazards (BASH). The FAA strongly recommends that storm water management systems located within 5,000 or 10,000 feet of the Airport Operations Area, depending on the type of aircraft, be designed and operated so as not to create above-ground standing water. To facilitate the control of hazardous wildlife, the FAA recommends the use of steep-sided, rip-rap lined, narrow, linearly shaped water detention basins.

All vegetation in and around detention basins that provide food or cover for hazardous wildlife should be eliminated. (FAA Advisory Circular 5200-33B). The project is located 6,300 feet from the runway, and therefore would be subject to the above requirement. The project would utilize bioretention basins, which are not recommended in the vicinity of airports due to the potential that such areas could provide food, water, and shelter for hazardous wildlife. Pursuant to the study "Wildlife Hazard Management at Riverside County Airports: Background and Policy", October 2018, by Mead & Hunt, which is the basis of the brochure titled "Airports, Wildlife and Stormwater Management", such basins are to be avoided in Zones D and E, unless they provide for a 48-hour drawdown and propose landscaping that is not attractive to hazardous wildlife. The project has been conditioned to be consistent with these standards in order to reduce bird attractant: 1) new basins are to be designed so as to provide for a maximum 48-hour detention

www.rcaluc.org

period following the conclusion of a storm event, and to remain totally dry between rainfalls, and 2) any landscaping proposed in the detention basin shall be in accordance with the ALUC "Landscaping Near Airports" and "Airports, Wildlife and Stormwater Management" brochures.

The elevation of Runway 8-26 at its westerly terminus is 2,212 feet above mean sea level (AMSL). At a distance of approximately 6,300 feet from the runway to the site, Federal Aviation Administration Obstruction Evaluation Service (FAA OES) review would be required for any structures with top of roof exceeding 2,275 feet AMSL. The site's finished floor elevation is 2,335 feet AMSL and the proposed building height is 10 feet, for a top point elevation of 2,345 feet AMSL. Therefore, FAA Obstruction Evaluation Service review for height/elevation reasons was required. The applicant submitted Form 7460-1 to the FAA OES. A "Determination of No Hazard to Air Navigation" letter for Aeronautical Study No. 2021-AWP-8216-OE was issued on June 25, 2021. The study revealed that the proposed facility would not exceed obstruction standards and would not be a hazard to air navigation provided conditions are met. These FAA OES conditions have been incorporated into this finding.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Banning Municipal Airport Land Use Compatibility Plan, as amended in 2016, provided that the City of Banning applies the following recommended conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, outdoor production of cereal grains, sunflower, and row crops, composting operations, wastewater management facilities, artificial marshes, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, fly ash disposal, and incinerators.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
 - (e) Highly noise-sensitive outdoor nonresidential uses.

- (f) Any use which results in a hazard to flight, including physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations.
3. The attached "Notice of Airport in Vicinity" shall be provided to all prospective purchasers and occupants of the property and be recorded as a deed notice. In the event that the Office of the Riverside County Assessor-Clerk-Recorder declines to record said notice, the text of the notice shall be included on the Environmental Constraint Sheet (ECS) of the final parcel map, if an ECS is otherwise required.
4. Any proposed stormwater basins or facilities shall be designed and maintained to provide for a maximum 48-hour detention period following the design storm, and remain totally dry between rainfalls. Vegetation in and around the basins that would provide food or cover for birds would be incompatible with airport operations and shall not be utilized in project landscaping. Trees shall be spaced so as to prevent large expanses of contiguous canopy, when mature. Landscaping in and around the basin(s) shall not include trees or shrubs that produce seeds, fruits, or berries.

Landscaping in the stormwater basin, if not rip-rap, should be in accordance with the guidance provided in ALUC "LANDSCAPING NEAR AIRPORTS" brochure, and the "AIRPORTS, WILDLIFE AND STORMWATER MANAGEMENT" brochure available at RCALUC.ORG which list acceptable plants from Riverside County Landscaping Guide or other alternative landscaping as may be recommended by a qualified wildlife hazard biologist.

A notice sign, in a form similar to that attached hereto, shall be permanently affixed to the stormwater basin with the following language: "There is an airport nearby. This stormwater basin is designed to hold stormwater for only 48 hours and not attract birds. Proper maintenance is necessary to avoid bird strikes". The sign will also include the name, telephone number or other contact information of the person or entity responsible to monitor the stormwater basin

5. This project has been evaluated as a truck trailer storage yard with a 600 square foot office trailer. Any increase in building area or change in use will require an amended review by the Airport Land Use Commission.
6. The Federal Aviation Administration has conducted aeronautical studies of the proposed structure (Aeronautical Study No. 2021-AWP-8216-OE) and has determined that neither marking nor lighting of the structures is necessary for aviation safety. However, if marking and/or lighting for aviation safety are accomplished on a voluntary basis, such marking and/or lighting (if any) shall be installed in accordance with FAA Advisory Circular 70/7460-1 L Change 2 and shall be maintained in accordance therewith for the life of the project.
7. The maximum height of the proposed structures to top point shall not exceed 10 feet above ground level, and the maximum elevation at the top of the structures shall not exceed 2,338 feet above mean sea level.
8. The maximum height and top point elevation specified above shall not be amended without further review by the Airport Land Use Commission and the Federal Aviation Administration; provided, however, that reduction in structure height or elevation shall not require further review by the Airport Land Use Commission.

9. Temporary construction equipment used during actual construction of the structures shall not exceed 10 feet in height and a maximum elevation of 2,338 feet above mean sea level, unless separate notice is provided to the Federal Aviation Administration through the Form 7460-1 process.
10. Within five (5) days after construction of each structure reaches its greatest height, FAA Form 7460-2 (Part II), Notice of Actual Construction or Alteration, shall be completed by the project proponent or his/her designee and e-filed with the Federal Aviation Administration. (Go to <https://oeaaa.faa.gov> for instructions.) This requirement is also applicable in the event the project is abandoned or a decision is made not to construct the applicable structure.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

Attachment: Notice of Airport in Vicinity
Aeronautical Study No. 2021-AWP-8216-OE

cc: Stepping Stone Properties, LLC, John Sappington (applicant/property owner)
Marcell & Associates, Harvey Marcell (representative)
Art Vela, P.E., City of Banning Director of Public Works
Carl Szoyka, Manager, Banning Municipal Airport
ALUC Case File

X:\AIRPORT CASE FILES\Banning\ZAP1042BA21\ZAP1042BA21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b)(13)(A)

NOTICE

**THERE IS AN AIRPORT NEARBY.
THIS STORM WATER BASIN IS DESIGNED TO HOLD
STORM WATER FOR ONLY 48 HOURS AND
NOT TO ATTRACT BIRDS**

**PROPER MAINTENANCE IS NECESSARY TO AVOID
BIRD STRIKES**



IF THIS BASIN IS OVERGROWN, PLEASE CONTACT:

Name: _____

Phone: _____



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2021-AWP-8216-OE

Issued Date: 06/25/2021

Harvey Marcell
Marcell & Associates
P.O. Box 371
Banning, CA 92220

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building office
Location:	Banning, CA
Latitude:	33-55-19.51N NAD 83
Longitude:	116-52-50.50W
Heights:	2328 feet site elevation (SE) 10 feet above ground level (AGL) 2338 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
 Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 12/25/2022 unless:

- the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- extended, revised, or terminated by the issuing office.
- the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

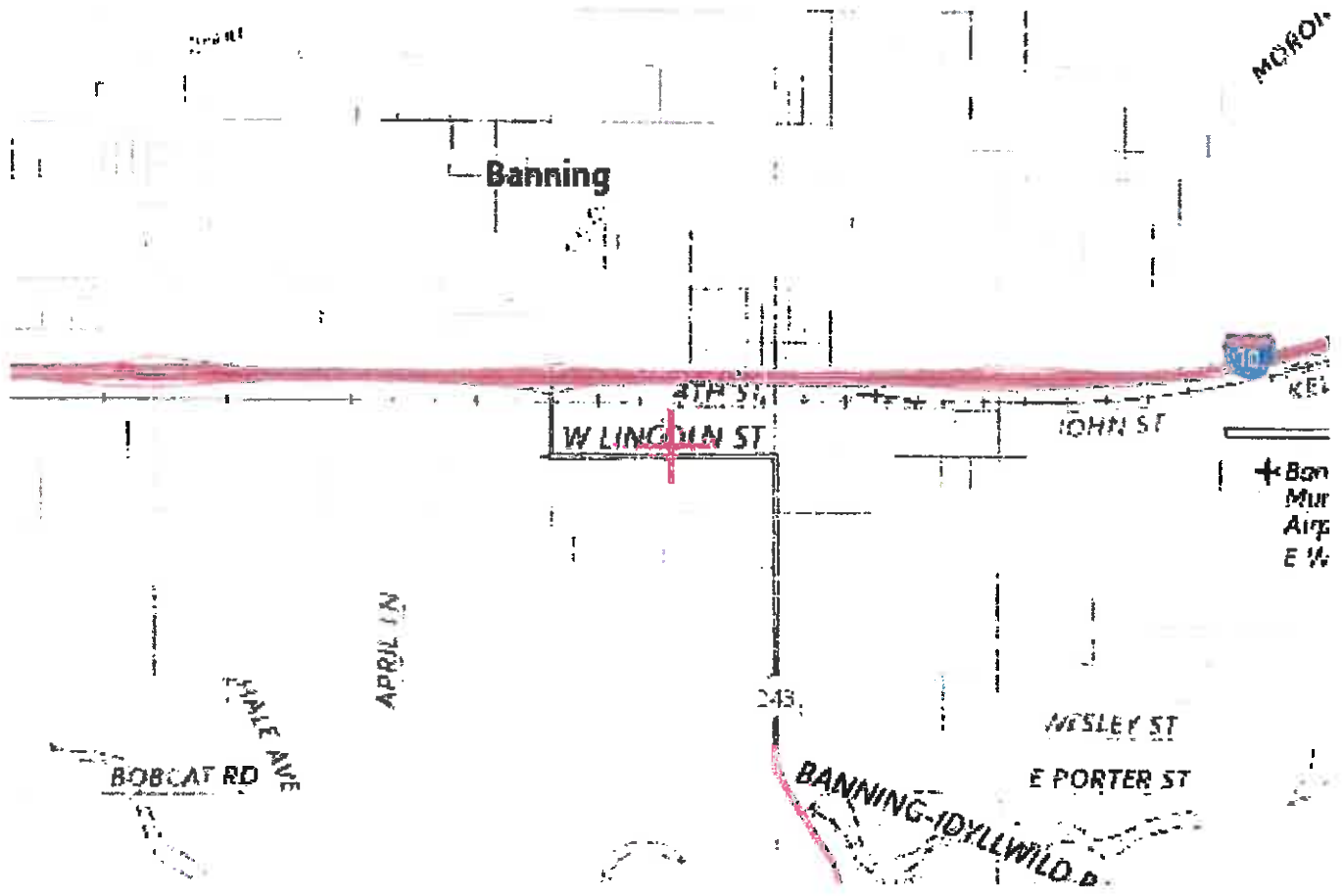
If we can be of further assistance, please contact our office at (206) 231-2877, or Nicholas.Sanders@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2021-AWP-8216-OE.

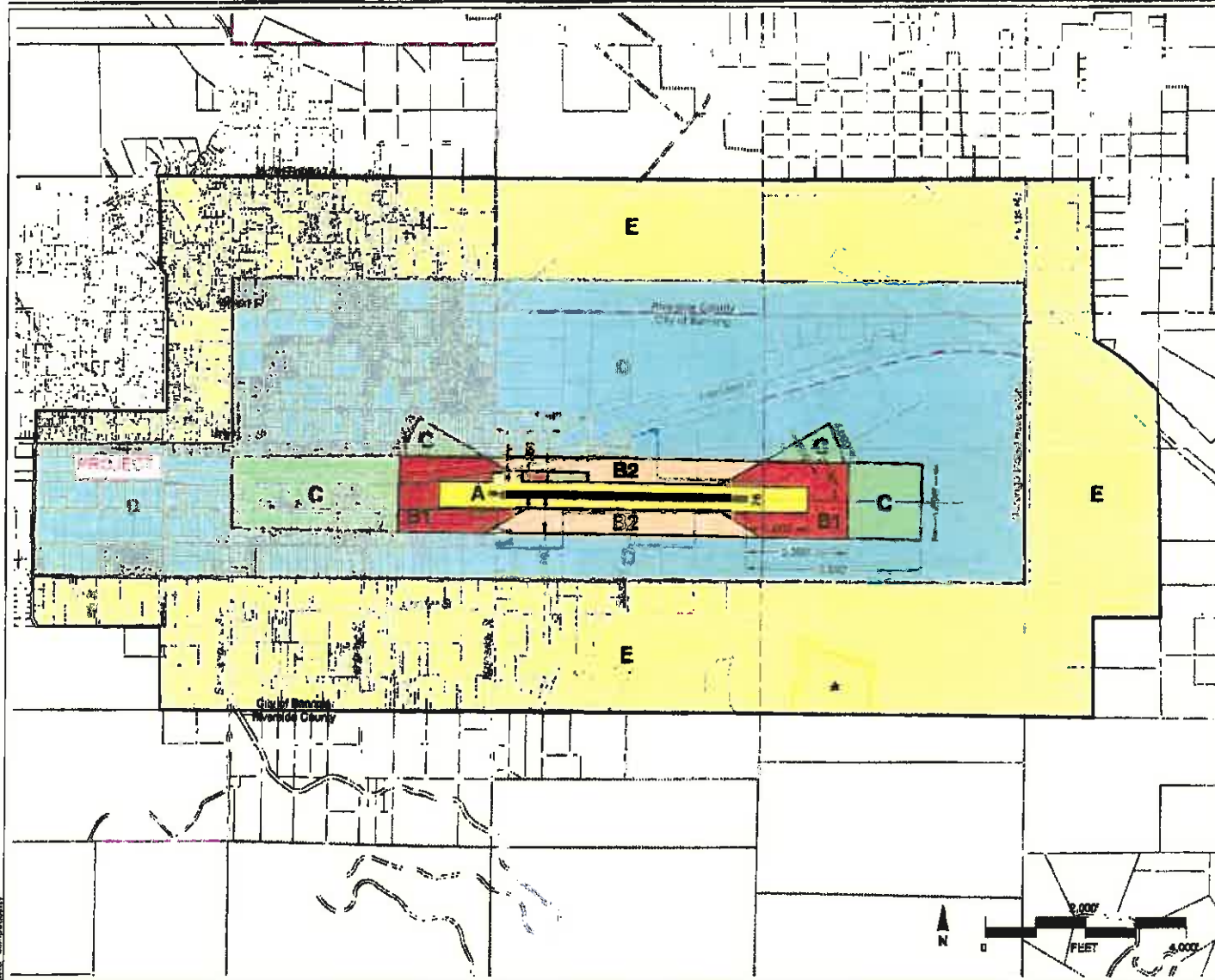
Signature Control No: 482205073-486039933
Nicholas Sanders
Technician

(DNE)

Attachment(s)
Map(s)

TOPO Map for ASN 2021-AWP-8216-OE





Legend

Compatibility Zones

-  Airport Influence Area Boundary
-  Zone A
-  Zone B1
-  Zone B2
-  Zone C
-  Zone D
-  Zone E
-  Height Review Overlay Zone

Boundary Lines

-  Airport Property Line
-  City Limits
-  Morongo Indian Reservation

Note

Dimensions measured from runway ends and centerlines.

See Chapter 2, Table 2A for compatibility criteria associated with this map.

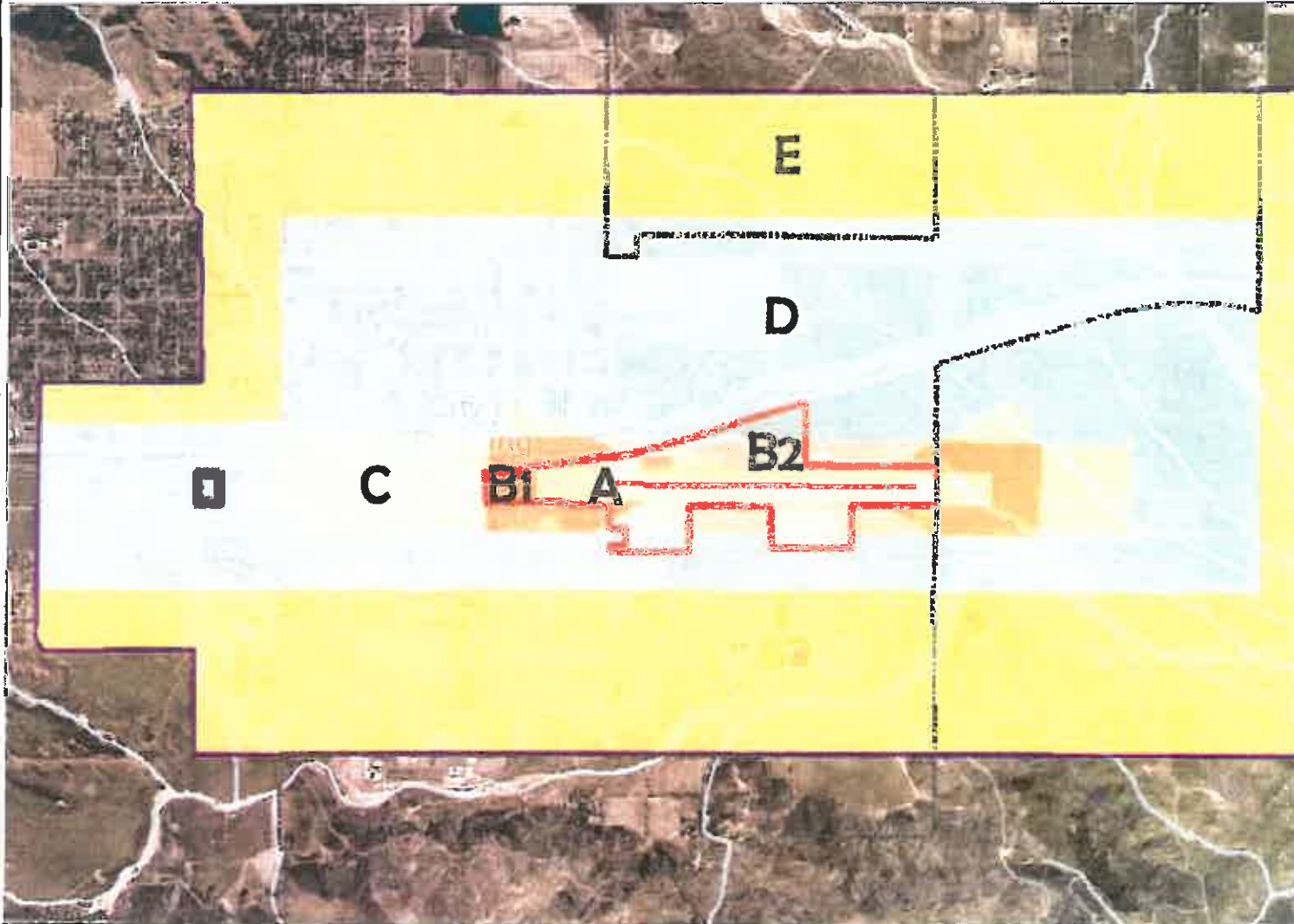
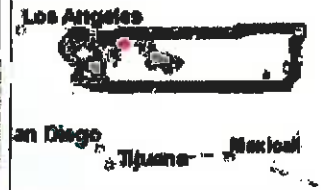
Riverside County
 Airport Land Use Commission
**Riverside County
 Airport Land Use Compatibility Plan
 Policy Document**
 (Adopted October 2004)

Map DN-1

Compatibility Map
 Benning Municipal Airport

EMC-compatibility

Map My County Map



Legend

- Runways
- Airports
- Airport Influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
- A
- A-EXC1
- B1
- B1-APZ I
- B1-APZ I-EXC1
- B1-APZ II
- B1-APZ II-EXC1
- B1-EXC1
- B2
- B2-EXC1
- C
- C1
- C1-EXC1
- C1-EXC3
- C1-EXC4
- C1-HIGHT
- C2
- C2-EXC1
- C2-EXC2
- C2-EXC3
- C2-EXC5
- C2-EXC6



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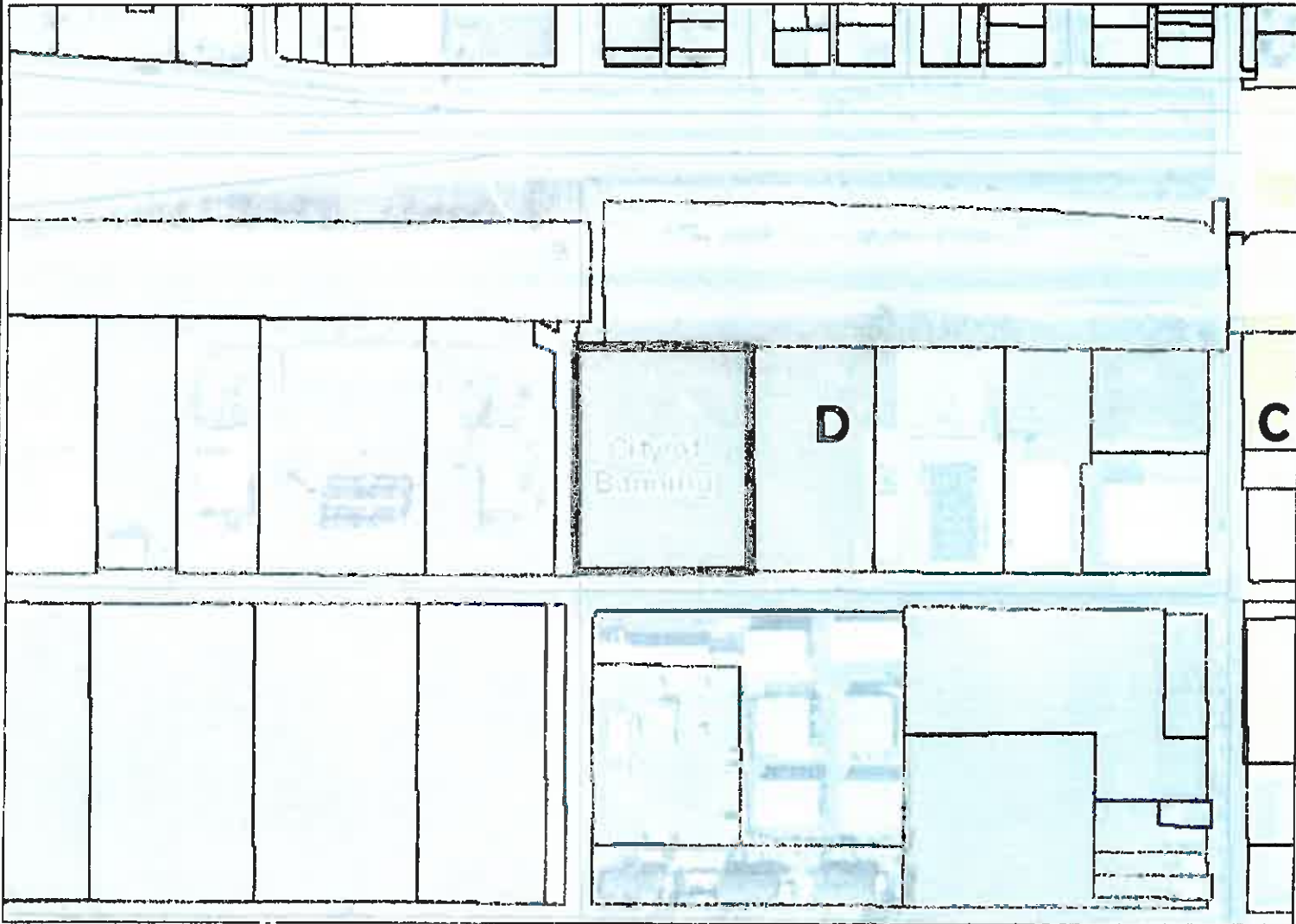


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Notes

Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport Influence Areas
 - Airport Compatibility Zones**
 - OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5



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0 376 752 Feet

REPORT PRINTED ON... 5/25/2021 10:47:58 AM

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Notes

Map My County Map

Los Angeles



San Diego

Tijuana

Maxwell



Legend

- Parcels
- County Centerlines
- Blueline Streams
- City Areas
- World Street Map

City of
Banning



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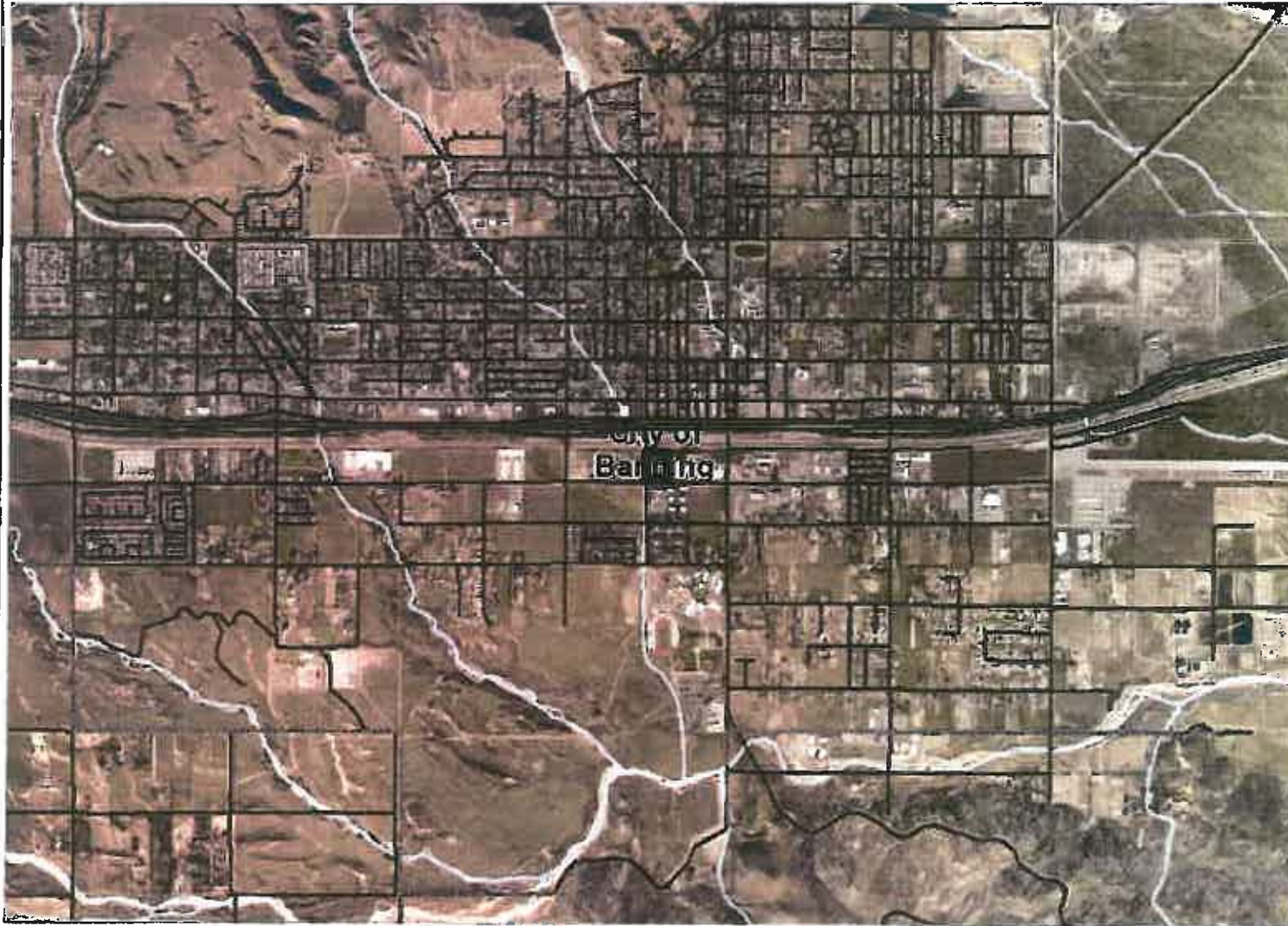
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Notes

Map My County Map



Legend

- County Centerlines
- Blue Line Streams
- City Areas
- World Street Map



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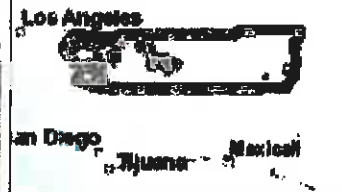
0 3,000 6,019 Feet

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Notes

Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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0 752 1,505 Feet

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Notes

Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map

Notes



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0 376 752 Feet

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WILLSCOT

50' x 12' MOBILE OFFICE



In addition to your office solution, we can provide additional products and services that complete your space- creating a more productive, comfortable, and safe work environment.



CUSTOMIZATION

- Steps & Ramps
- Furniture & Appliances
- Technology
- Site Services
- Loss Protection

Dimensions

50' Long (including hitch)
46' Box size
10' or 12' Wide
8' Ceiling height

Exterior Finish

Aluminum or wood siding
I-Beam Frame
Standard drip rail gutters

Interior Finish

Paneled walls
Carpet or vinyl tile floor
Gypsum or T-grid suspended ceiling

Electric

Fluorescent ceiling lights
Breaker panel

Heating/Cooling

Central HVAC or thru-wall AC

Windows/Doors

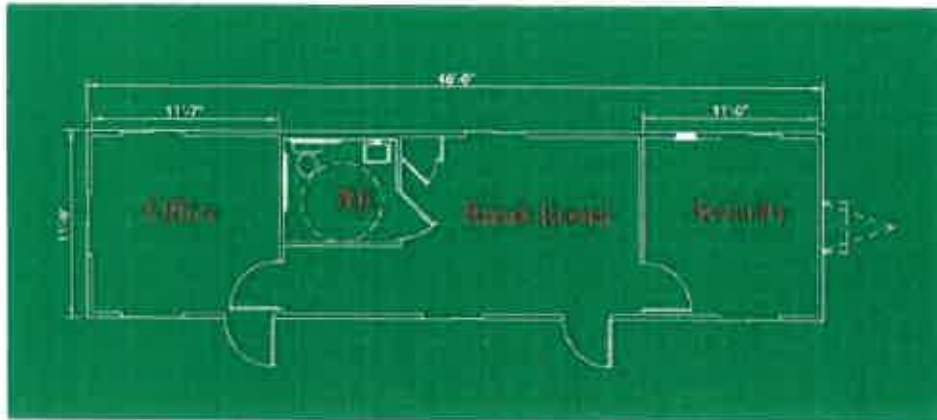
Horizontal slider windows
(2) Vision panel doors with standard locks or (2) steel doors with dead bolt lock

Other

Private office(s)
Optional restroom

800.782.1500 | WILLSCOT.COM

WILLSCOT is a leading provider of mobile office solutions for the construction industry. We offer a wide range of mobile office units, from small trailers to large modular buildings. Our units are designed to be durable, functional, and easy to transport. We also offer a variety of customization options to meet your specific needs. For more information, please contact us at 800.782.1500 or visit our website at willscot.com.



CUP 20-8012
Office floor plan

PAGE BREAK



RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



June 17, 2020

CHAIR
Steven Stewart
Palm Springs

VICE CHAIR
Steve Minos
Lake Elsinore

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

Gary Youmans
Temecula

STAFF

Director
Paul Ruff

Simon A. Housman
Daniel Zerda
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-6132

www.caluc.org

Mr. Rendell Klaarenbeek, Deputy Director TLMA/Building Official
Riverside County Building and Safety Department
4080 Lemon Street, 12th Floor
Riverside CA 92501

**RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW –
DIRECTOR’S DETERMINATION**

File No.: ZAP1056TH21
Related File No.: BRS2100702 (Building Permit)
APN: 759-210-015

Dear Mr. Klaarenbeek:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC) pursuant to Policy 1.5.2(d) of the Countywide Policies of the 2004 Riverside County Airport Land Use Compatibility Plan, staff reviewed Riverside County Building and Safety Case No. BRS2100702 (Building Permit), a proposal to construct a 545.6 square foot rooftop solar panel system on a proposed single family residence located at 61921 Fullerton Drive within the Thermal Motorclub, located northerly of 62nd Avenue, westerly of Polk Street, easterly of Tyler Street, and southerly of Avenue 60.

The site is located within Airport Compatibility Zone D of the Jacqueline Cochran Regional Airport Influence Area (AIA). Within Compatibility Zone D of the Jacqueline Cochran Regional Airport Land Use Compatibility Plan, residential density is restricted to either 0.2 dwelling units per acre, or above 5 dwelling units per acre. The proposed rooftop solar panels will not generate any density.

The elevation at the southerly end of Runway 17-35 at Jacqueline Cochran Regional Airport is 137.5 feet below mean sea level (-137.5 feet above mean sea level [AMSL]). At a distance of 6,043 feet from the runway to the project, Federal Aviation Administration Obstruction Evaluation Services (FAA OES) review would be required for any structures with a top of roof exceeding -77.5 feet above mean sea level. The site’s elevation is -149 feet AMSL and the proposed building height (with rooftop solar panels) is 35 feet, resulting in a top point elevation of -104 feet AMSL. Therefore, review by the FAA Obstruction Evaluation Service was not required. The height of the proposed solar panels will not significantly increase the overall height of the building.

Based on the Federal Aviation Administration’s Interim Policy for Review of Solar Energy System Projects on Federally Obligated Airports, no glare potential or low potential for temporary after-image (“green” level) are acceptable levels of glare on final approach (within 2 miles from end of runway) for solar facilities located on airport property and is the recommended standard for properties near airports. However, potential for temporary after-image” (“yellow”

AIRPORT LAND USE COMMISSION

level) and potential for permanent eye damage ("red" level) are not acceptable levels of glare on final approach. No glare is permitted at air traffic control towers.

The project proposes 545.6 square feet of solar panels on a single family residence rooftop with a fixed tilt of 5 degrees with no rotation, and an orientation of 98 degrees. The solar glare study completed by Forge Solar was based on a 2 mile straight in approach (as per FAA Interim Policy Standards) to runways 17 and 35, and runways 12 and 30. Jacqueline Cochran Regional Airport does not have an air traffic control tower. All times are in standard time.

The analysis concluded that some potential glare would occur within the 2 mile approach to runway 30. (No glare is expected to occur within the 2 mile approach to runway 17-35). Evaluation of the approach at Runway 30 indicates that the panels would result in low potential for temporary after-image ("green" level glare), totaling annually 132 minutes of "green" level glare, lasting up to 6 minutes a day from April to May and from August to September from 4:00 p.m. to 5:00 p.m. Overall, less than one percent of annual daylight time would be affected. Glare from solar panels could potentially constitute a hazard to flight. However, based on the solar glare hazard analysis provided, the glare experienced would be an acceptable level for solar facilities on airports. Therefore, the hazard potential is low.

The applicant has indicated that they do not plan to utilize equipment that would interfere with aircraft communications. The PV panels themselves present little risk of interfering with radar transmission due to their low profiles. In addition, solar panels do not emit electromagnetic waves over distances that could interfere with radar signal transmissions, and any electrical facilities that do carry concentrated current will be buried beneath the ground and away from any signal transmission. There are no radar transmission or receiving facilities within the site.

Conclusion: This approval applies to the installation of solar panels as submitted. Any change to the solar array would require ALUC review. All previously applied conditions of approval from the original Thermal Motorclub project (ZAP1017TH10) remain applicable.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2005 Jacqueline Cochran Regional Airport Land Use Compatibility Plan, as amended in 2006, provided that the County of Riverside applies the following recommended conditions:

1. The following uses shall be prohibited:
 - (a) Any use or activity which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use or activity which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use or activity which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area.

AIRPORT LAND USE COMMISSION

- (d) Any use or activity which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
2. All solar arrays installed on the project site shall consist of smooth glass with anti-reflective coating, a fixed tilt of 5.0 degrees and orientation of 98 degrees. Solar panels shall be limited to a total of 545.6 square feet, and the locations and coordinates shall be as specified in the glare study. Any deviation from these specifications (other than reduction in square footage of panels), including change in tilt or orientation, shall require a new solar glare analysis to ensure that the amended project does not result in any glare impacting the air traffic control tower or creation of any "yellow" or "red" level glare in the flight paths, and shall require review by the Airport Land Use Commission.
 3. In the event that any electrical interference affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an event, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such interference. An "event" includes any situation that results in an accident, incident, "near-miss," report by airport personnel, or specific safety complaint to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the event. For each such event made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.
 4. In the event that any glint, glare, or flash affecting the safety of air navigation occurs as a result of project operation, upon notification to the airport operator of an event, the airport operator shall notify the project operator in writing. Within 30 days of written notice, the project operator shall be required to promptly take all measures necessary to eliminate such glint, glare, or flash. An "event" includes any situation that results in an accident, incident, "near-miss," or specific safety complaint regarding an in-flight experience to the airport operator or to federal, state, or county authorities responsible for the safety of air navigation. The project operator shall work with the airport operator to prevent recurrence of the incidence. Suggested measures may include, but are not limited to, changing the orientation and/or tilt of the source, covering the source at the time of day when events of glare occur, or wholly removing the source to diminish or eliminate the cause of the glint, glare, or flash. For each such event made known to the project operator, the necessary remediation shall only be considered to have been fulfilled when the airport operator states in writing that the situation has been remediated to the airport operator's satisfaction.

If you have any questions, please contact me at (951) 955-6893.

Sincerely,
RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Paul Rull, ALUC Director

AIRPORT LAND USE COMMISSION

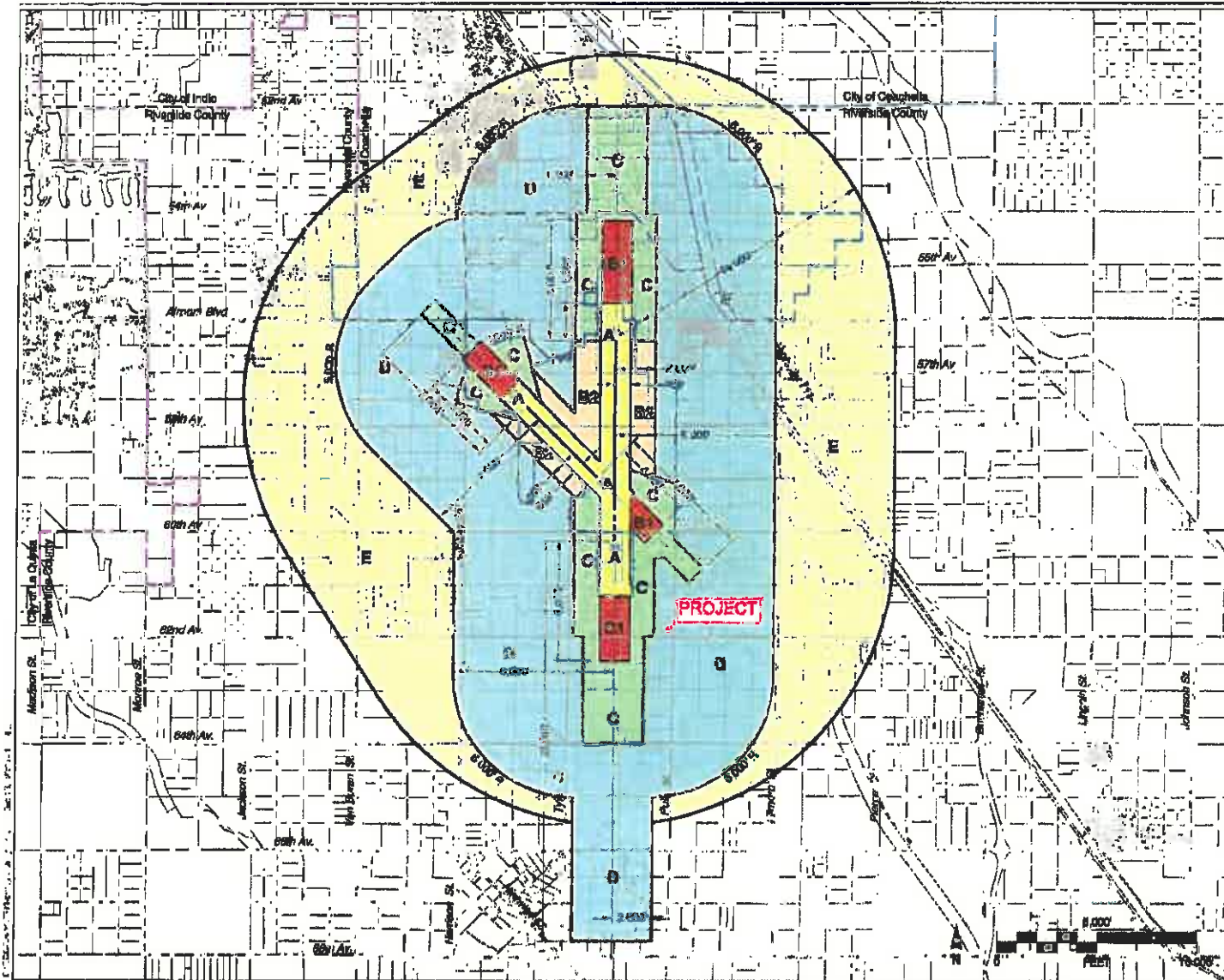
Attachments: Notice of Airport in Vicinity

**cc: Fullerton Architects, P.C. (applicant/representative)
JTM Land Co. (property owner)
Angela Jamison, County Airports Manager
ALUC Case File**

Y:\AIRPORT CASE FILES\UCRA\ZAP1056TH21\ZAP1056TH21.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



Legend

Compatibility Zones

- Airport Influence Area Boundary
- Zone A
- Zone B1
- Zone B2
- Zone C
- Zone D
- Zone E

Boundary Lines

- Airport Property Line - Existing
- Airport Property Line - Planned
- City Limits

Note

Except for southern extension, Airport Influence Area boundary measured from a point 200 feet beyond runway ends in accordance with FAA airspace protection criteria (FAR Part 77). All other dimensions measured from runway ends and centerlines.

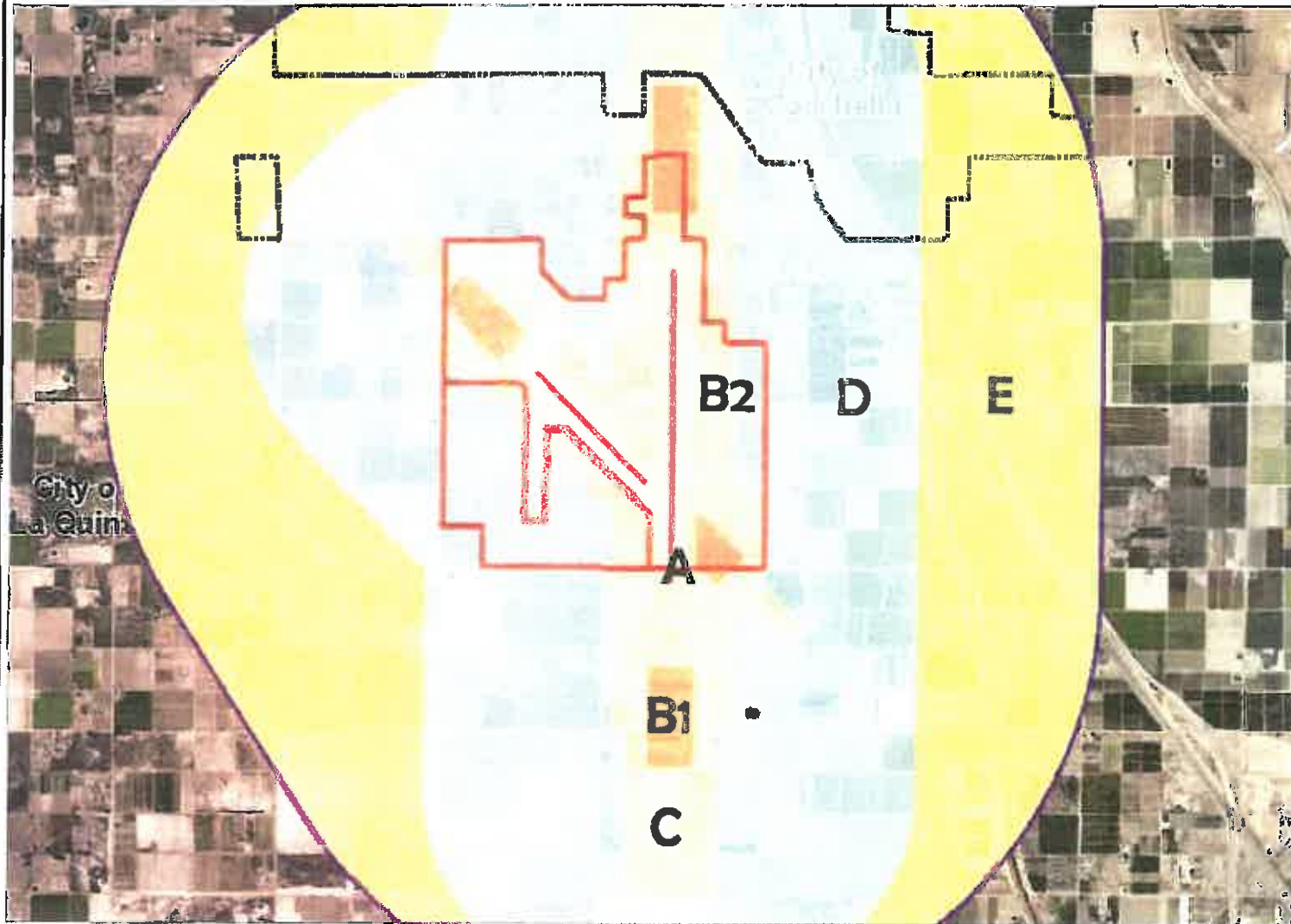
See Chapter 2, Table 2A for compatibility criteria associated with this map.

Riverside County
 Riverside County
 Airport Land Use Commission
 Airport Land Use Compatibility Plan
 Policy Document
 (Adopted June 2006)

Mcp JC-1

Compatibility Map
 Jacqueline Cochran Regional Airport

Map My County Map



- Legend**
- Runways
 - ▭ Airports
 - ▭ Airport Influence Areas
 - Airport Compatibility Zones**
 - ▭ OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5
 - C2-EXC6

Notes



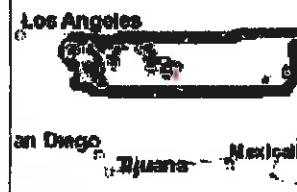
IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



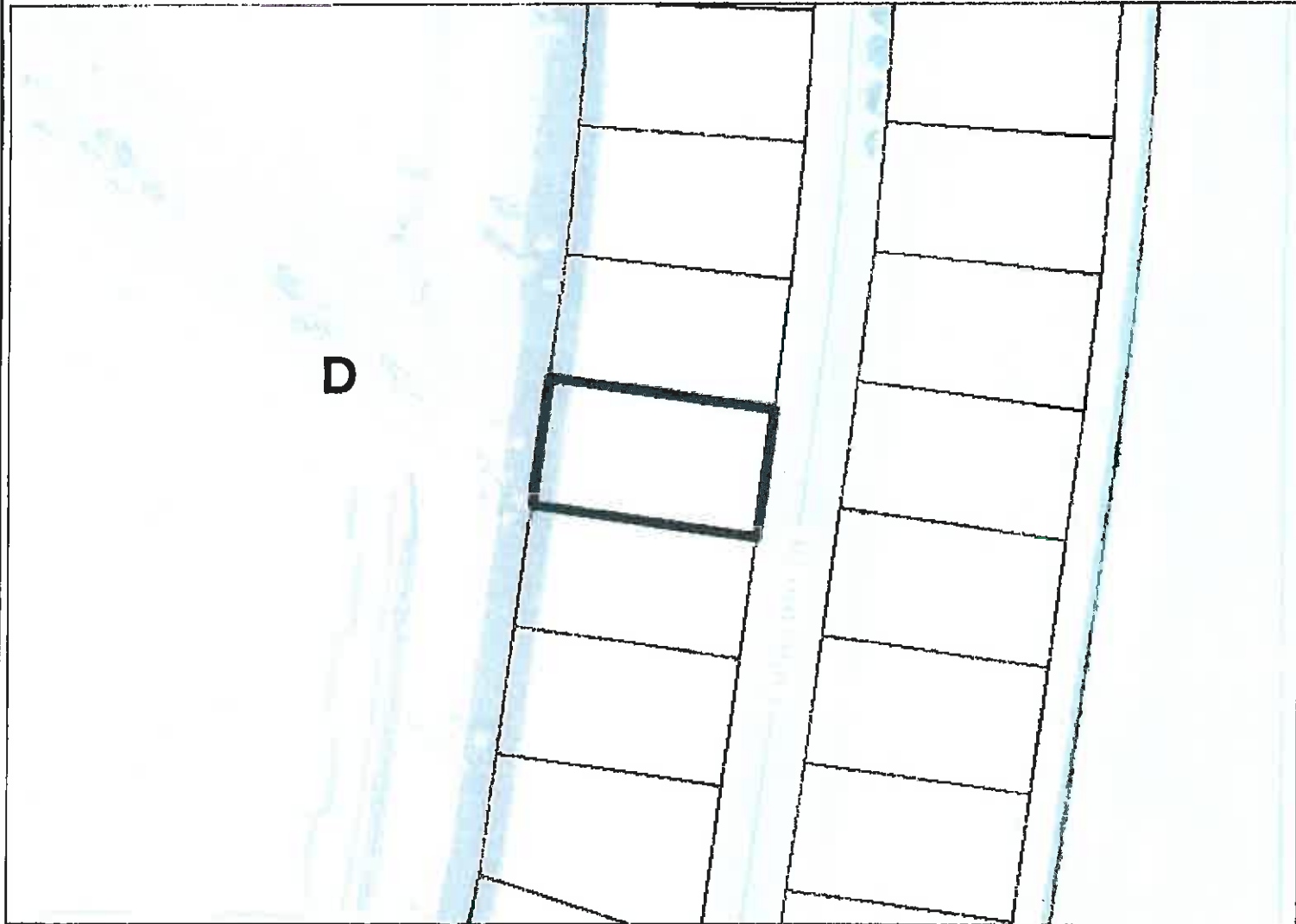
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Map My County Map



- Legend**
- Parcels
 - Runways
 - Airports
 - Airport influence Areas
- Airport Compatibility Zones**
- OTHER COMPATIBILITY ZONE
 - A
 - A-EXC1
 - B1
 - B1-APZ I
 - B1-APZ I-EXC1
 - B1-APZ II
 - B1-APZ II-EXC1
 - B1-EXC1
 - B2
 - B2-EXC1
 - C
 - C1
 - C1-EXC1
 - C1-EXC3
 - C1-EXC4
 - C1-HIGHT
 - C2
 - C2-EXC1
 - C2-EXC2
 - C2-EXC3
 - C2-EXC5



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Notes

Map My County Map

Los Angeles



San Diego

Juana Mexico



Legend

- Parcels
- County Centerline Names
- County Centerlines
- BlueLine Streams
- City Areas
- World Street Map

Notes



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0 94 188 Feet

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Map My County Map

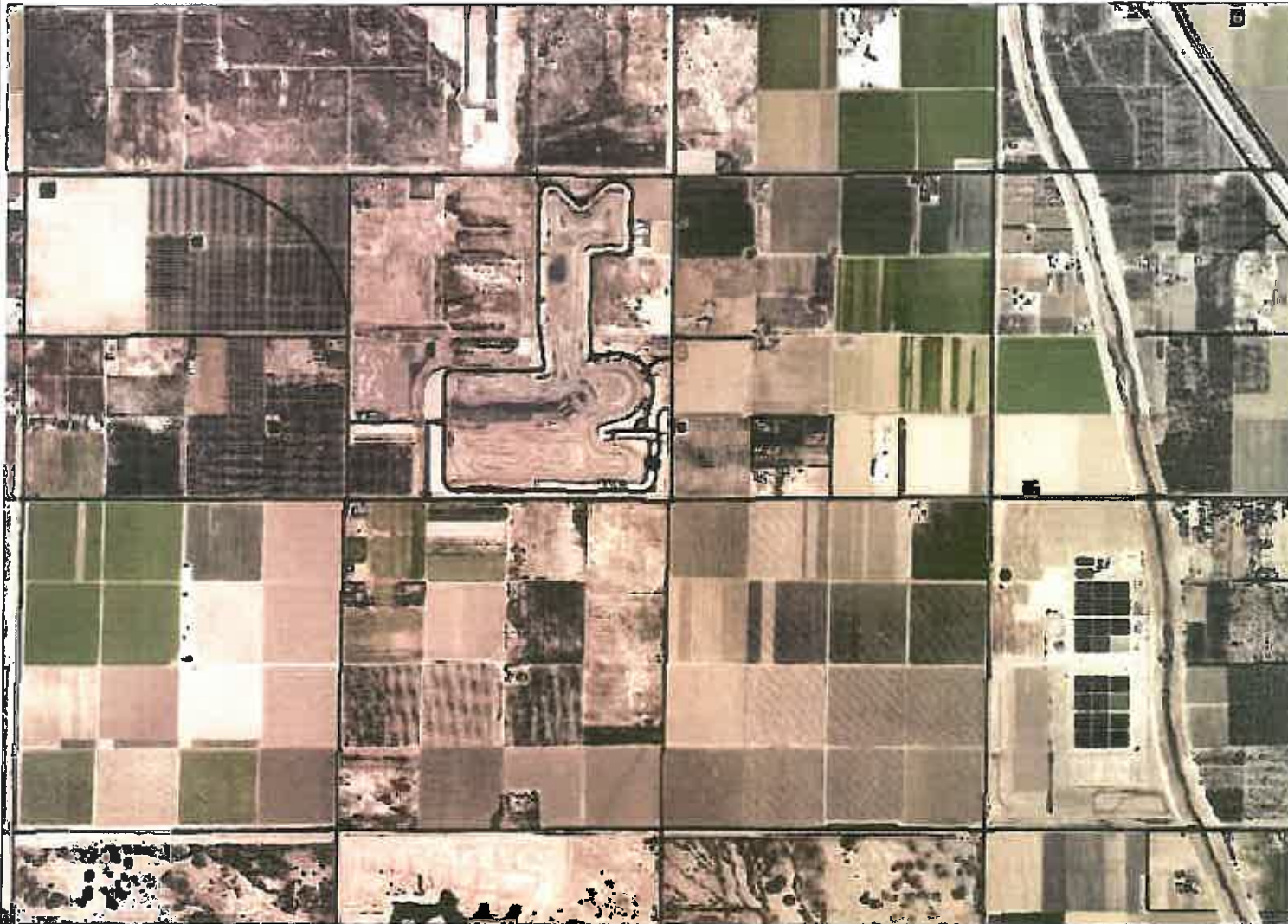
Los Angeles



San Diego
Tijuana
Mexico

Legend

- County Centerlines
- Blueline Streams
- City Areas
- World Street Map



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0 3 6,019 Feet
000

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Notes

Map My County Map

Los Angeles








San Diego

Tijuana

Mexico

Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map



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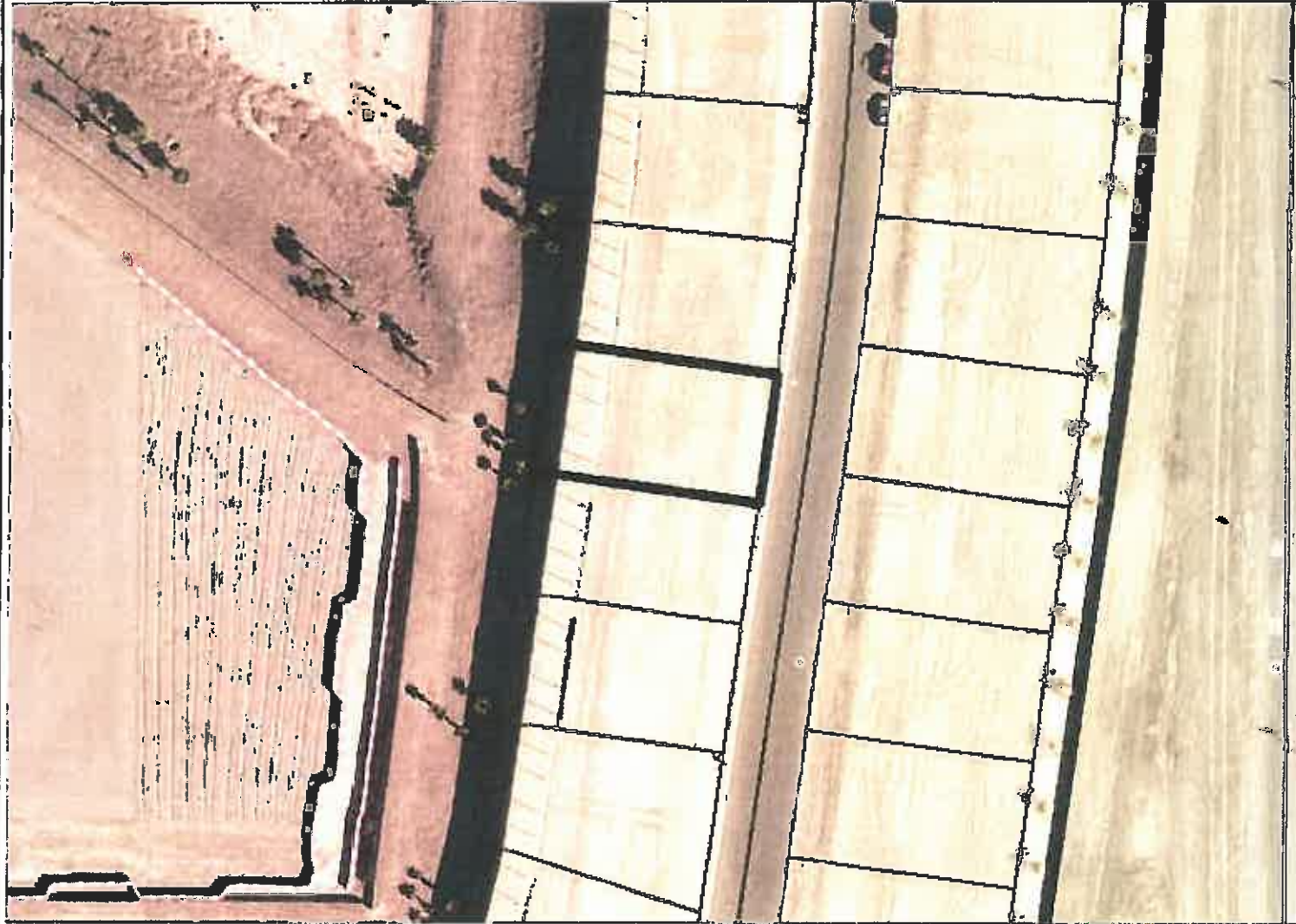
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Notes

Map My County Map



Legend

-  Parcels
-  County Centerlines
-  Blueline Streams
-  City Areas
-  World Street Map

Notes



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0 94 188 Feet

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**JACQUELINE
COCHRAN
AIRPORT**

**THERMAL
MOTORSPORTS**

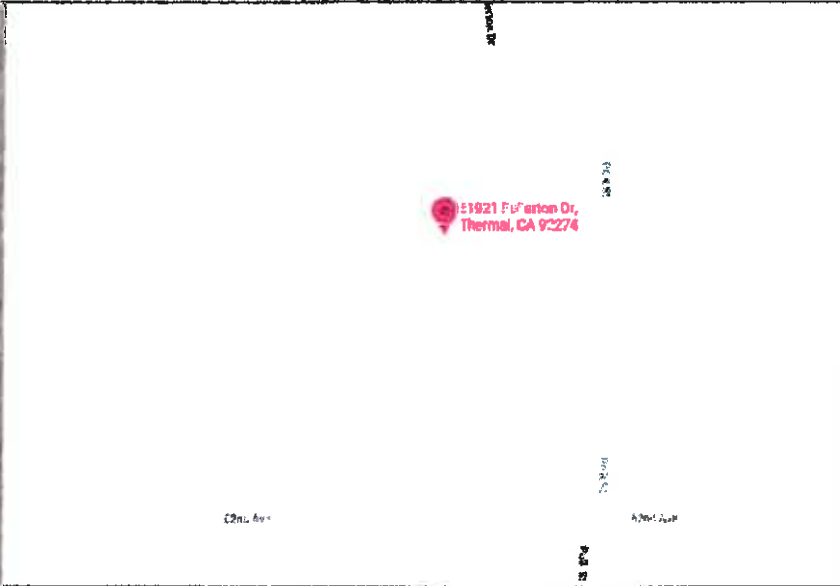
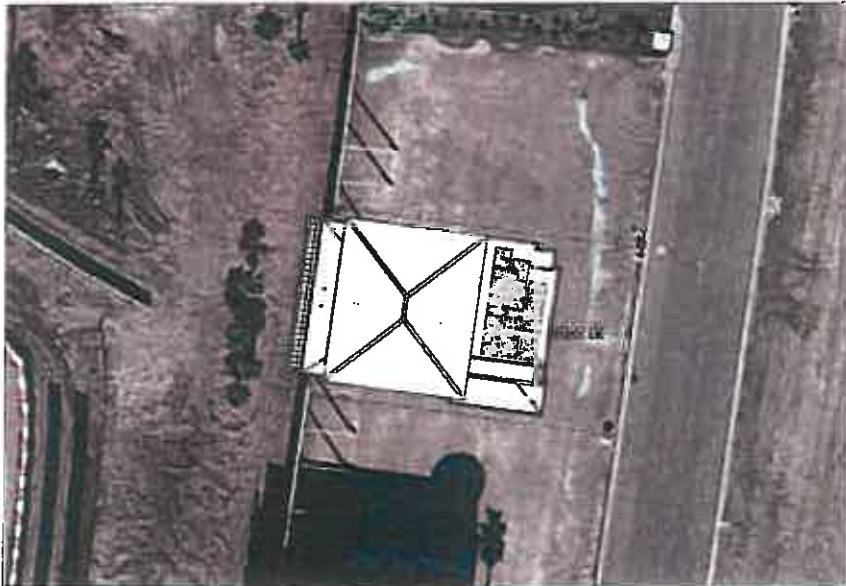
LOT 33

0 50 100
FEET

PLAN NORTH



1 SITE PLAN
SCALE: 1"=1500'



Revisions:	Date:
Michael Rango	Michael Rango
760.322.4438	Li. No. 940850
810 N. Fairall Drive Palm Springs, CA 92262 (760) 332-4433 office License No. 940850 info@HotPurpleEnergy.com www.HotPurpleEnergy.com	
INTEGRATOR:  Hot Purple Energy	

GENERAL NOTES:

- ALL ELECTRICAL WORK TO BE INSTALLED BY A QUALIFIED LICENSED ELECTRICIAN AND APPRENTICES WORKING UNDER THE DIRECT SUPERVISION OF A LICENSED ELECTRICIAN.
- ALL SOLAR MODULES SHALL BE UL LISTED 1703 AND CEC APPROVED. ALL INVERTERS SHALL BE UL LISTED 1741SA CERTIFIED AND CEC APPROVED. ALL ELECTRICAL COMPONENTS AND MATERIALS SHALL BE LISTED AND APPROVED FOR IT'S PURPOSE AND INSTALLED IN A WORKMAN LIKE MANNER. ALL OUTDOOR EQUIPMENT SHALL MEET APPROPRIATE NEMA STANDARDS.
- THIS SYSTEM IS INTENDED TO BE OPERATED IN PARALLEL WITH THE UTILITY SERVICE PROVIDER. ANTI-ISLANDING PROTECTION IS A REQUIREMENT OF UL1741 AND IS INTENDED TO PREVENT THE OPERATION OF THE PHOTOVOLTAIC SYSTEM WHEN THE UTILITY GRID IS NOT IN OPERATION.
- PERMISSION TO OPERATE THE SYSTEM IS NOT AUTHORIZED UNTIL FINAL INSPECTIONS AND APPROVALS BY THE LOCAL AUTHORITY HAVING JURISDICTION AND THE LOCAL UTILITY SERVICE PROVIDER.
- THE METHOD OF MOUNTING SHALL BE DONE IN ACCORDANCE WITH THE RACKING MANUFACTURER TO MEET DEAD LOAD, WIND LOAD, AND SEISMIC REQUIREMENTS. PHOTOVOLTAIC MODULES WILL BE SECURED AND MOUNTED ON THE ROOF AS SPECIFIED ON THE STRUCTURAL SHEETS. EXISTING ROOF EQUIPMENT WILL NOT BE EFFECTED BY THE PHOTOVOLTAIC SYSTEM OR INSTALLATION.
- ALL FASTENERS SHALL BE CORROSION RESISTANT APPROPRIATE FOR THE SITE CONDITIONS.
- ALL ROOFING REPAIRS MUST MAINTAIN EXISTING CLASS AND TYPE OF ROOF AND ALL WORK SHALL BE IN ACCORDANCE WITH THE ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS.
- TO BE INSTALLED IN SUCH A MANNER THAT IS DISCREET AND DOES NOT DETRACT FROM THE HOMES ARCHITECTURE

DESCRIPTION OF WORK:

ROOF MOUNTED PHOTOVOLTAIC (SOLAR ELECTRIC) INSTALLATION TILT MOUNTED @ 5-7° FACING AN AZIMUTH OF 98° CONSISTING OF (29) REC 380 WATT MODULES (11.02kw).

RACK MOUNTING SYSTEM IS UNIRAC SOLARMOUNT ALUMINUM SUPPORT RAILS AND PROFESSIONAL SOLAR FAST JACK SOLAR STANCHIONS. ROOF DECK IS TPO.

INSTALLATION SHALL COMPLY WITH THE FOLLOWING CODES:

- CEC 2019 - ARTICLE 690, 705,706 AND OTHERS
- CPC 2019
- CBC 2019
- CMC 2019
- CFC 2019

DRAWING SHEETS:

- | | |
|---------------------|--------|
| COVER SHEET | PV-0.0 |
| SITE PLAN | PV-1.0 |
| ROOF PLAN | PV-2.0 |
| SINGLE LINE DIAGRAM | PV-3.0 |
| MOUNTING DETAIL | PV-4.0 |
| WARNING LABELING | PV-5.0 |

SPECIFICATION SHEETS:

- MODULE AND INVERTERS
- UNIRAC CERTIFICATION

This
Thermal Lot 33
COVER SHEET
 61921 Fullerton Dr
 Thermal, CA 92274

Drawn by: SF

Checked by: MJR

Date: 03/02/21

Scale: NTS

Job Number: 21017

Sheet Number:

PV-0.0

Sheet

For Photovoltaic arrays occupying not more than 33 percent of the plan view total roof area, not less than 18" clear set back is required on both sides of a horizontal ridge. For Photovoltaic arrays occupying more than 33 percent of the plan view total roof area, not less than 36" clear set back is required on both sides of a horizontal ridge. CRC R324.6.2

Not less than two minimum 36" wide pathways on separate roof planes, from lowest roof edge to ridge, shall be provided on all buildings. At least one pathway shall be provided on the street or driveway side of the roof. CRC R324.6.1

Designation of ridge, hip, and valley does not apply to roofs with 2-in-12 or less pitch.

Total sq ft = 5083
Solar sq ft = 545.6 = 10.7%

SITE PLAN KEYNOTE:

EXISTING ELECTRICAL

1.1 400A MAIN ELECTRICAL PANEL


NEW ELECTRICAL (ADJACENT TO MS)


2.1 60A SYSTEM AC DISCONNECT

NEW ELECTRICAL (FIELD LOCATED INSIDE STORAGE ROOM)

2.2 SE10000H-US PV INVERTER
2.3 60A SYSTEM AC DISCONNECT

SITE LEGEND

 FIRE EASEMENT/ACCESS

 EAVE SETBACK/WALL

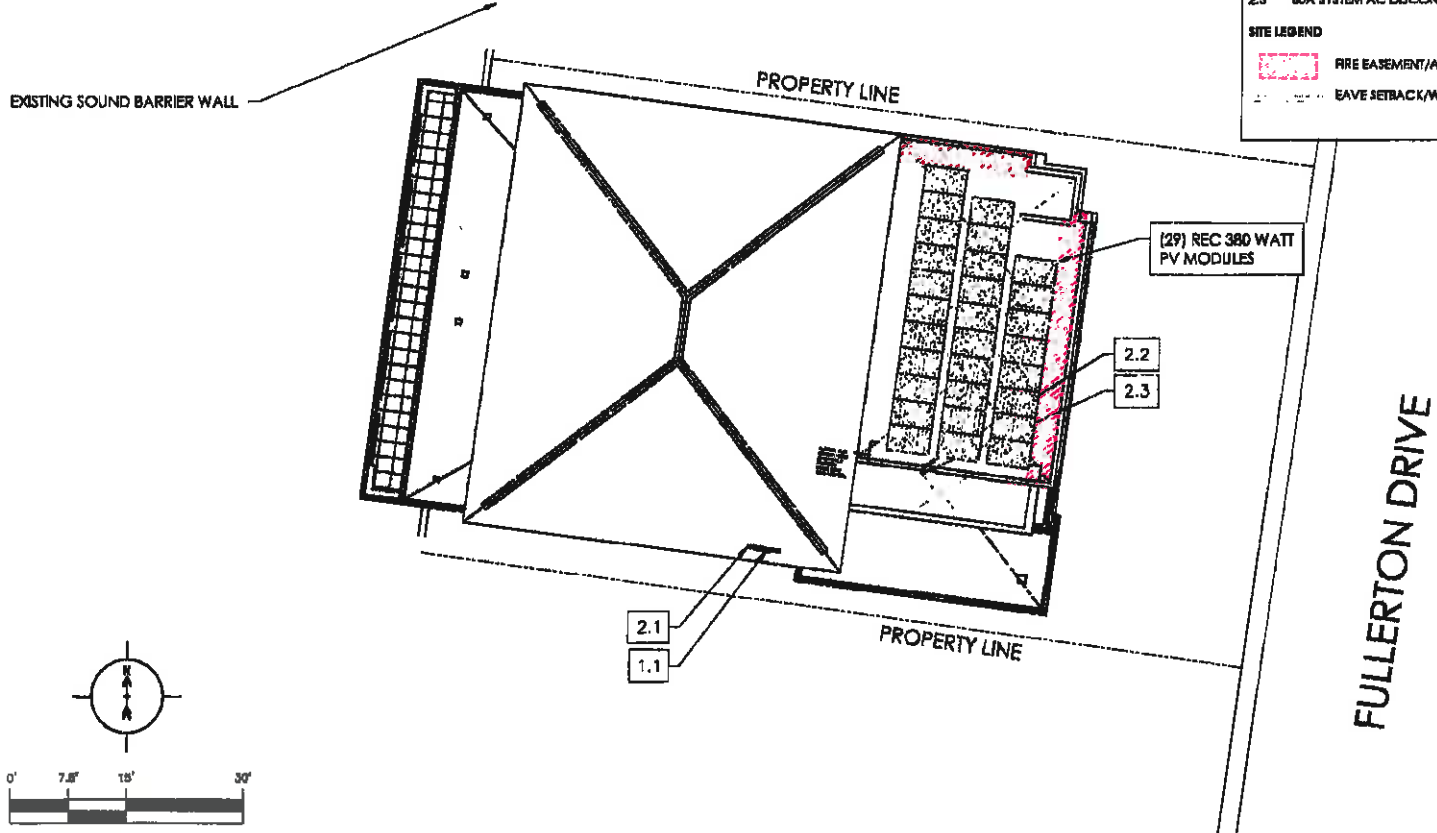
Revisions: _____ Date: _____

Michael Rango *Michael Rango*
703.323.4433 Lic. No. 940261

810 N. Fernald Drive
Palm Springs, CA 92262
(760) 322-4433 office
License No. 940261
info@HotPurpleEnergy.com
www.HotPurpleEnergy.com

INTEGRATOR:

Hot Purple Energy E.T.S.

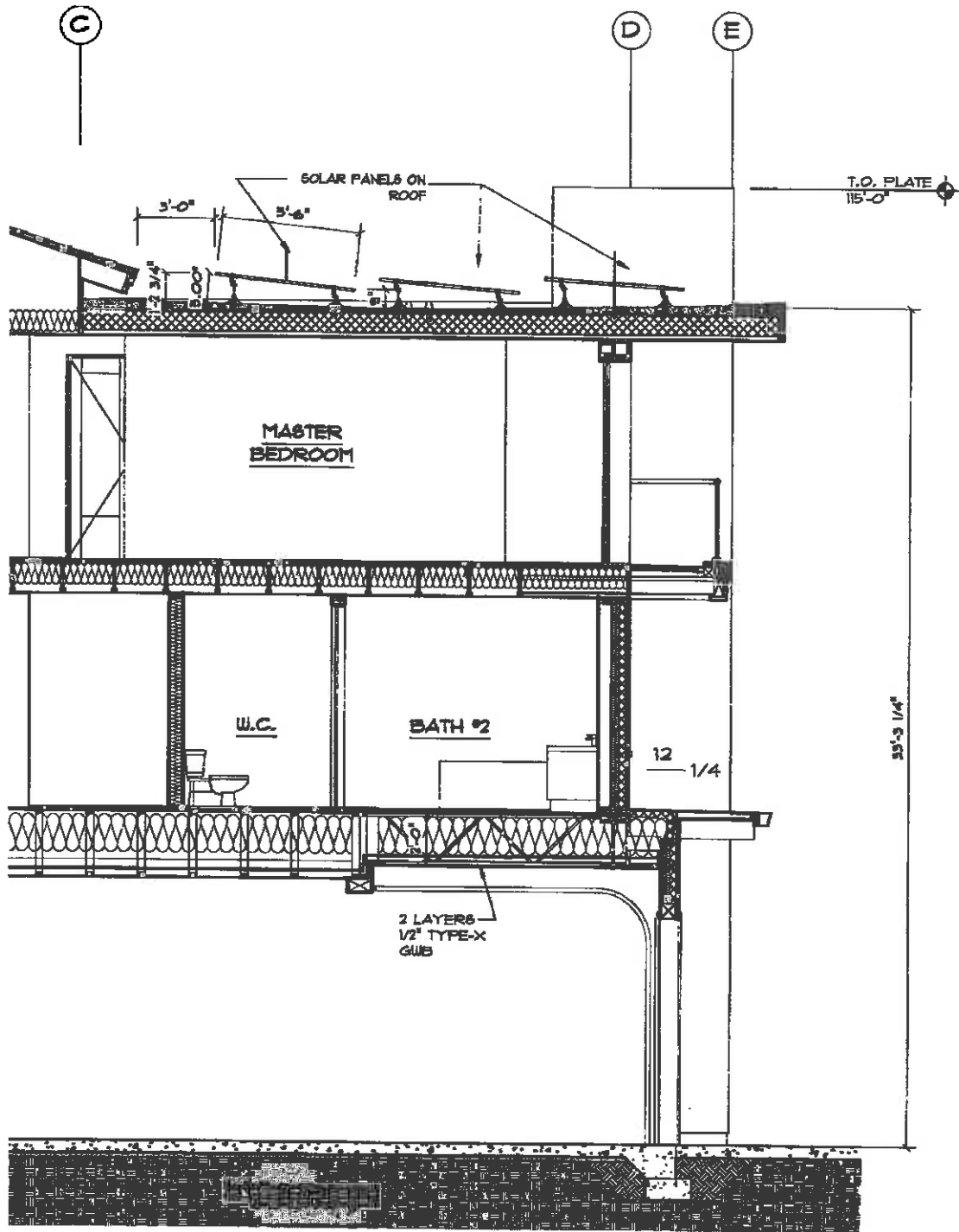


Title: Thermal Lot 33
SITE PLAN
01921 Fullerton Dr
Thermal, CA 92274

Drawn by: SF
Checked by: MJR
Date: 03/02/21
Scale: 1" = 16'
Job Number: 21017
Sheet Number:

PV-1.0

Sheet



1 PARTIAL BUILDING SECTION
 SCALE: 1/4" = 1'-0"



FORGESOLAR GLARE ANALYSIS

Project: Riverside Co Residential

Four rooftop PV arrays near KTRM airport, Thermal CA

Site configuration: All 6 homes-1 incl tower

Analysis conducted by Dave Belote (dave@darestrategies.com) at 09:53 on 28 May, 2021.

U.S. FAA 2013 Policy Adherence

The following table summarizes the policy adherence of the glare analysis based on the 2013 U.S. Federal Aviation Administration Interim Policy 78 FR 63276. This policy requires the following criteria be met for solar energy systems on airport property:

- No "yellow" glare (potential for after-image) for any flight path from threshold to 2 miles
- No glare of any kind for Air Traffic Control Tower(s) ("ATCT") at cab height.
- Default analysis and observer characteristics (see list below)

ForgeSolar does not represent or speak officially for the FAA and cannot approve or deny projects. Results are informational only.

COMPONENT	STATUS	DESCRIPTION
Analysis parameters	PASS	Analysis time interval and eye characteristics used are acceptable
2-mile flight path(s)	PASS	Flight path: receptor(s) do not receive yellow glare
ATCT(s)	PASS	Receptor(s) marked as ATCT do not receive glare

Default glare analysis parameters and observer eye characteristics (for reference only):

- Analysis time interval: 1 minute
- Ocular transmission coefficient: 0.5
- Pupil diameter: 0.002 meters
- Eye focal length: 0.017 meters
- Sun subtended angle: 9.3 milliradians

FAA Policy 78 FR 63276 can be read at <https://www.federalregister.gov/d/2013-24729>

SITE CONFIGURATION

Analysis Parameters

DNI: peaks at 1,000.0 W/m²
Time interval: 1 min
Ocular transmission coefficient: 0.5
Pupil diameter: 0.002 m
Eye focal length: 0.017 m
Sun subtended angle: 9.3 mrad
Site Config ID: 50552.8001



PV Array(s)

Name: 61197 Goodwood
Axis tracking: Fixed (no rotation)
Tilt: 7.0°
Orientation: 168.0°
Rated power: -
Panel material: Smooth glass with AR coating
Reflectivity: Vary with sun
Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.604871	-116.150223	-146.88	33.98	-112.91
2	33.604897	-116.150088	-146.48	33.98	-111.51
3	33.604840	-116.150073	-144.88	33.98	-110.70
4	33.604817	-116.150217	-146.61	33.98	-112.63

Name: 61196 Goodwood

Axis tracking: Fixed (no rotation)

Tilt: 7.0°

Orientation: 196.0°

Rated power: -

Panel material: Smooth glass with AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.605040	-116.148252	-145.53	30.81	-114.72
2	33.605130	-116.148232	-146.16	30.81	-115.35
3	33.605116	-116.148150	-147.62	30.81	-116.81
4	33.605024	-116.148189	-146.80	30.81	-115.98

Name: 61341 Goodwood Dr

Axis tracking: Fixed (no rotation)

Tilt: 6.0°

Orientation: 209.0°

Rated power: -

Panel material: Smooth glass with AR coating

Reflectivity: Vary with sun

Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.604604	-116.148860	-148.46	35.50	-112.96
2	33.604575	-116.148879	-148.52	35.50	-113.02
3	33.604582	-116.148843	-148.34	35.50	-112.83
4	33.604540	-116.148855	-148.32	35.50	-112.82
5	33.604531	-116.148827	-148.22	35.50	-112.72
6	33.604550	-116.148819	-148.17	35.50	-112.66
7	33.604825	-116.148758	-147.60	35.50	-112.10
8	33.604548	-116.148741	-147.46	35.50	-111.95



Name: 61921 Fullerton
Axis tracking: Fixed (no rotation)
Tilt: 5.0°
Orientation: 98.0°
Rated power: -
Panel material: Smooth glass with AR coating
Reflectivity: Vary with sun
Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.520080	-116.147616	-150.00	37.38	-112.62
2	33.520079	-116.147596	-149.77	35.46	-114.31
3	33.520083	-116.147587	-149.65	37.38	-112.27
4	33.520062	-116.147578	-149.34	35.46	-113.88
5	33.520047	-116.147577	-149.29	37.38	-111.91
6	33.520045	-116.147557	-148.91	35.46	-113.45
7	33.529972	-116.147567	-148.83	35.46	-113.37
8	33.529978	-116.147630	-149.21	37.38	-111.83

Name: 86804 Rogers Way
Axis tracking: Fixed (no rotation)
Tilt: 7.0°
Orientation: 270.0°
Rated power: -
Panel material: Smooth glass with AR coating
Reflectivity: Vary with sun
Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.599148	-116.150041	-146.57	36.25	-110.31
2	33.599019	-116.150041	-147.30	36.25	-111.05
3	33.599020	-116.149994	-146.97	36.25	-110.72
4	33.599049	-116.149954	-146.59	36.25	-110.33
5	33.599048	-116.150009	-146.82	36.25	-110.56
6	33.599144	-116.150010	-145.99	36.25	-109.74

Name: 86814 Newton Way
Axis tracking: Fixed (no rotation)
Tilt: 8.0°
Orientation: 165.0°
Rated power: -
Panel material: Smooth glass with AR coating
Reflectivity: Vary with sun
Slope error: correlate with material



Vertex	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
1	33.601662	-116.150329	-148.16	38.65	-109.51
2	33.601700	-116.150146	-148.42	38.65	-109.77
3	33.601666	-116.150136	-149.52	38.65	-110.87
4	33.601627	-116.150317	-149.15	38.65	-110.50

Flight Path Receptor(s)

Name: Rwy 12
Description:
Threshold height: 50 ft
Direction: 135.0°
Glide slope: 3.0°
Pilot view restricted? Yes
Vertical view: 30.0°
Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.630163	-116.171005	-117.94	50.00	-67.94
Two-mile	33.650628	-116.185587	-80.78	586.30	485.52

Name: Rwy 17

Description:

Threshold height: 50 ft

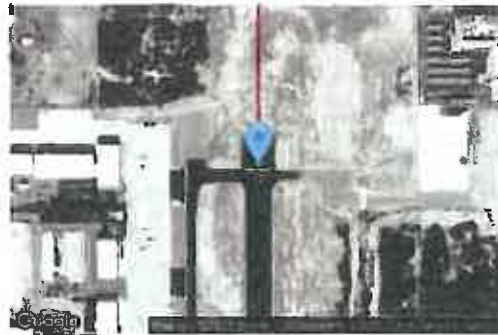
Direction: 180.2°

Glide slope: 3.0°

Pilot view restricted? Yes

Vertical view: 30.0°

Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.639142	-116.158425	-115.33	50.00	-65.33
Two-mile	33.668054	-116.168288	-91.22	579.35	488.12

Name: Rwy 30

Description:

Threshold height: 50 ft

Direction: 315.0°

Glide slope: 3.0°

Pilot view restricted? Yes

Vertical view: 30.0°

Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.620459	-116.158390	-132.30	50.00	-82.25
Two-mile	33.600014	-116.134810	-157.22	628.35	471.16

Name: Rwy 35

Description:

Threshold height: 50 ft

Direction: 0.2°

Glide slope: 3.0°

Pilot view restricted? Yes

Vertical view: 30.0°

Azimuthal view: 50.0°



Point	Latitude (°)	Longitude (°)	Ground elevation (ft)	Height above ground (ft)	Total elevation (ft)
Threshold	33.615802	-116.156431	-139.07	50.00	-89.08
Two-mile	33.586890	-116.159552	-156.01	620.40	464.39

Discrete Observation Receptors

Name	ID	Latitude (°)	Longitude (°)	Elevation (ft)	Height (ft)
1-ATCT	1	33.627040	-118.153690	-130.00	50.00

Map image of 1-ATCT



GLARE ANALYSIS RESULTS

Summary of Glare

PV Array Name	Tilt (°)	Orient (°)	"Green" Glare (min)	"Yellow" Glare (min)	Energy (kWh)
61197 Goodwood	7.0	168.0	1,687	0	-
61198 Goodwood	7.0	186.0	1,713	0	-
61341 Goodwood Dr	6.0	209.0	1,467	0	-
61921 Fullerton	5.0	98.0	132	0	-
86804 Rogers Way	7.0	270.0	0	0	-
86814 Newton Way	8.0	165.0	761	0	-

Total annual glare received by each receptor

Receptor	Annual Green Glare (min)	Annual Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	5760	0
Rwy 35	0	0
1-ATCT	0	0

Results for: 61197 Goodwood

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	1687	0
Rwy 35	0	0
1-ATCT	0	0

Flight Path: Rwy 12

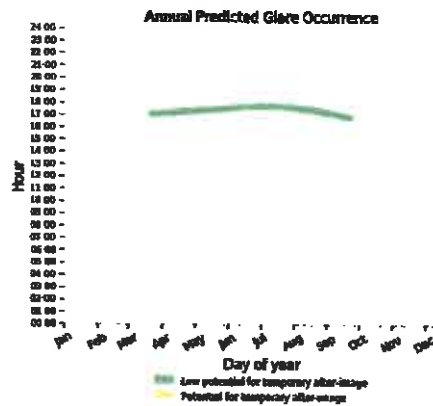
0 minutes of yellow glare
0 minutes of green glare

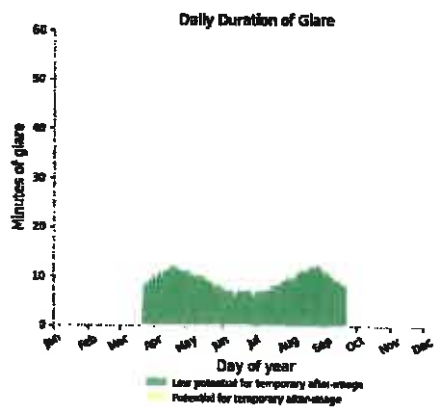
Flight Path: Rwy 17

0 minutes of yellow glare
0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare
1687 minutes of green glare





Flight Path: Rwy 35

0 minutes of yellow glare
0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare
0 minutes of green glare

Results for: 61198 Goodwood

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	1713	0
Rwy 35	0	0
1-ATCT	0	0

Flight Path: Rwy 12

0 minutes of yellow glare
0 minutes of green glare

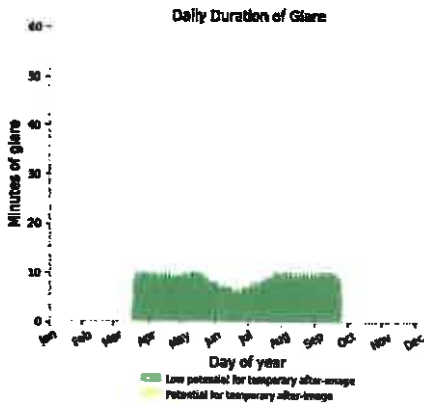
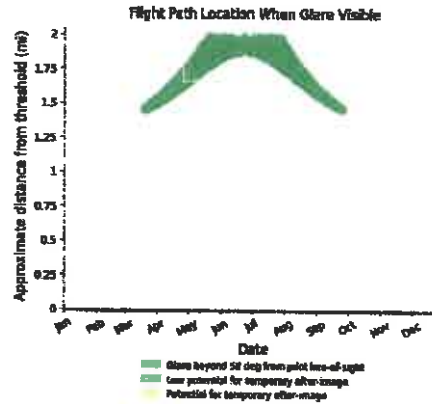
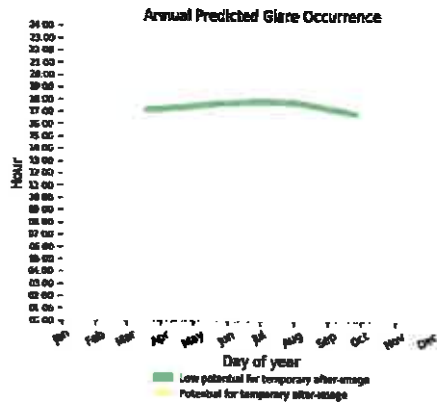
Flight Path: Rwy 17

0 minutes of yellow glare
0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare

1713 minutes of green glare



Flight Path: Rwy 35

0 minutes of yellow glare

0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare

0 minutes of green glare

Results for: 61341 Goodwood Dr

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	1467	0
Rwy 35	0	0

Receptor

Green Glare (min)

Yellow Glare (min)

1-ATCT

0

0

Flight Path: Rwy 12

0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 17

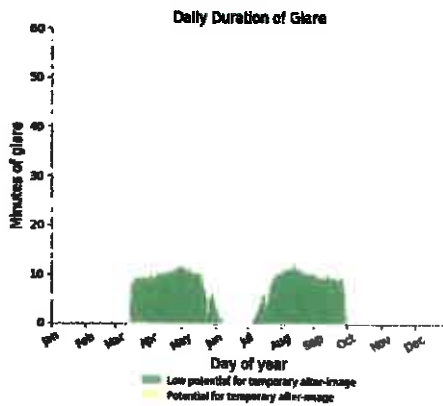
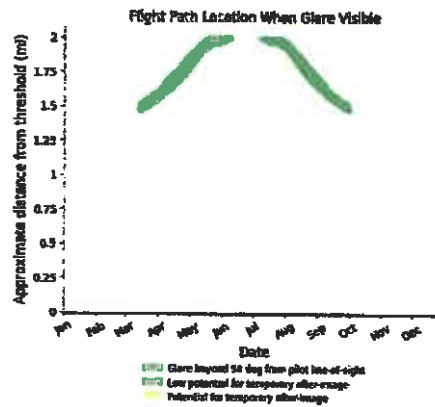
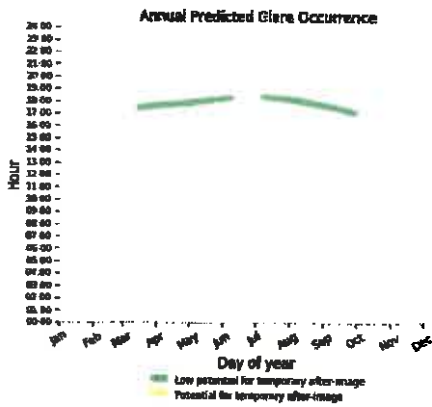
0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare

1487 minutes of green glare



Flight Path: Rwy 35

0 minutes of yellow glare

0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare

0 minutes of green glare

→ Results for: 61921 Fullerton

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	132	0
Rwy 35	0	0
1-ATCT	0	0

Flight Path: Rwy 12

0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 17

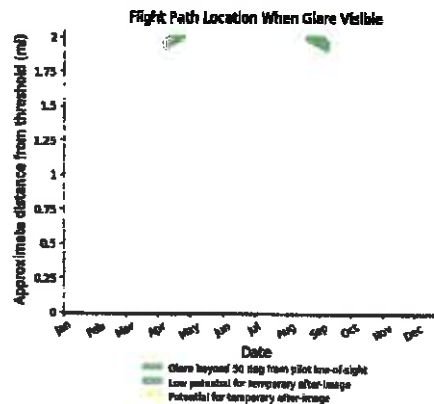
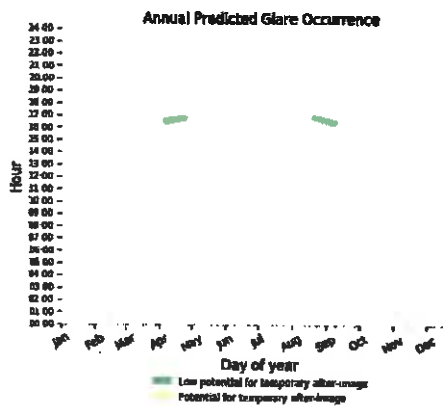
0 minutes of yellow glare

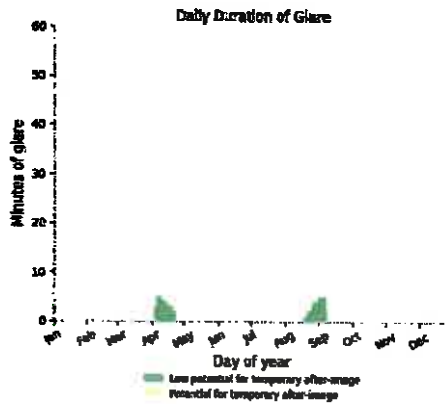
0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare

132 minutes of green glare





Flight Path: Rwy 35

0 minutes of yellow glare
0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare
0 minutes of green glare

Results for: 86804 Rogers Way

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	0	0
Rwy 35	0	0
1-ATCT	0	0

Flight Path: Rwy 12

0 minutes of yellow glare
0 minutes of green glare

Flight Path: Rwy 17

0 minutes of yellow glare
0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 35

0 minutes of yellow glare

0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare

0 minutes of green glare

Results for: 86814 Newton Way

Receptor	Green Glare (min)	Yellow Glare (min)
Rwy 12	0	0
Rwy 17	0	0
Rwy 30	761	0
Rwy 35	0	0
1-ATCT	0	0

Flight Path: Rwy 12

0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 17

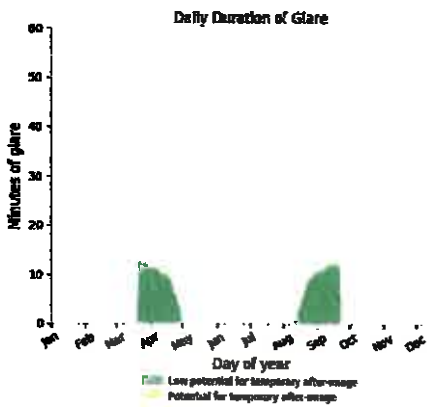
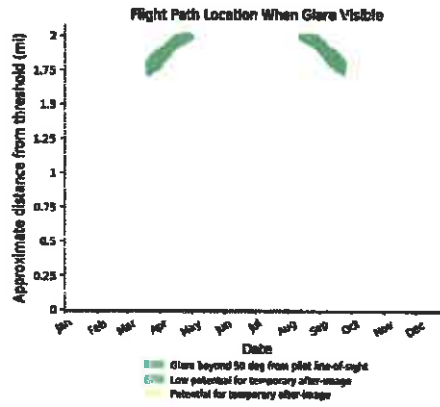
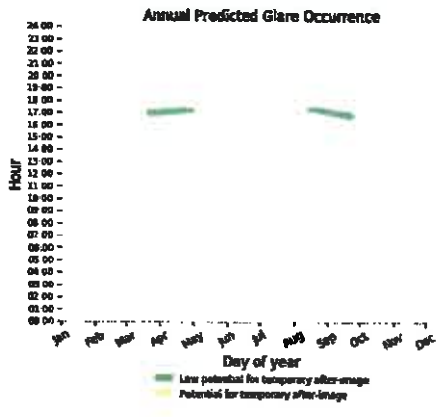
0 minutes of yellow glare

0 minutes of green glare

Flight Path: Rwy 30

0 minutes of yellow glare

761 minutes of green glare



Flight Path: Rwy 35

0 minutes of yellow glare
 0 minutes of green glare

Point Receptor: 1-ATCT

0 minutes of yellow glare
 0 minutes of green glare

Assumptions

"Green" glare is glare with low potential to cause an after-image (flash blindness) when observed prior to a typical blink response time.

"Yellow" glare is glare with potential to cause an after-image (flash blindness) when observed prior to a typical blink response time.

Times associated with glare are denoted in Standard time. For Daylight Savings, add one hour.

Glare analyses do not account for physical obstructions between reflectors and receptors. This includes buildings, tree cover and geographic obstructions.

Several calculations utilize the PV array centroid, rather than the actual glare spot location, due to algorithm limitations. This may affect results for large PV footprints. Additional analyses of array sub-sections can provide additional information on expected glare.

The subtended source angle (glare spot size) is constrained by the PV array footprint size. Partitioning large arrays into smaller sections will reduce the maximum potential subtended angle, potentially impacting results if actual glare spots are larger than the sub-array size. Additional analyses of the combined area of adjacent sub-arrays can provide more information on potential glare hazards. (See previous point on related limitations.)

Glare locations displayed on receptor plots are approximate. Actual glare-spot locations may differ.

Glare vector plots are simplified representations of analysis data. Actual glare emanations and results may differ.

The glare hazard determination relies on several approximations including observer eye characteristics, angle of view, and typical blink response time. Actual results and glare occurrence may differ.

Hazard zone boundaries shown in the Glare Hazard plot are an approximation and visual aid based on aggregated research data. Actual ocular impact outcomes encompass a continuous, not discrete, spectrum.

Refer to the Help page at www.forgesolar.com/help/ for assumptions and limitations not listed here.

PAGE BREAK





RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

S.4

July 15, 2021

CHAIR

Steven Stawart
Palm Springs

The Honorable Frank Kendall
Acting Secretary of the Air Force

VICE CHAIR

Steve Manos
Lake Elsinore

Dear Mr. Acting Secretary Kendall:

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Russell Betts
Desert Hot Springs

Richard Stewart
Moreno Valley

The Department of the Air Force recently announced six candidate Reserve Bases for stationing twelve KC-46A Pegasus aircraft. The candidates include March Air Reserve Base (March ARB) located in Riverside County, California. The Riverside County Airport Land Use Commission (RCALUC) supports the Base's selection because of the long standing commitment of the surrounding communities to protect the base from encroachment.

Riverside County communities can also provide services and affordable housing to the personnel and families supporting the mission of those aircraft. March ARB is within a two-hour drive of 20 million people living in Southern California. The cost of living in Riverside County is lower than the coastal Counties of Los Angeles or Orange. The median home cost in Riverside County is 40% less than in Los Angeles County.

STAFF

Director
Paul Rull

Simon A. Housman
Barbara Santos

County Administrative Center
4080 Lerron St. 14th Floor
Riverside, CA 92501
(951) 955-5132

The RCALUC is empowered to coordinate planning at the state, regional and local levels to provide for the orderly development of air transportation, while at the same time protecting the public health, safety and welfare. (California State Aeronautics Act: Public Utility Code section 21674.) It protects 12 airports, including the joint use March Air Reserve Base/Inland Port Airport by implementing Airport Land Use Compatibility Plans. The RCALUC's 2014 March Air Reserve Base/Inland Port Airport Land Use Compatibility Plan (2014 March ALUCP) follows the Air Installation Compatible Use Zone (AICUZ) study prepared for military airport operations. A new Compatible Use Study spearheaded by RCALUC is underway with the ultimate intention of updating the 2014 March ALUCP to be consistent with the most recent 2018 AICUZ. The KC-46A noise contours could be immediately included in the ongoing study and ALUCP update.

The RCALUC is not alone in this commitment to preserve and improve the mission capability of March ARB. The surrounding jurisdictions, the City of Riverside, City of Moreno Valley, City of Perris, March Joint Powers Authority (the Base's land reuse agency) and the County of Riverside, are following the 2014 March ALUCP and brought their General Plans and Zoning Ordinances into consistency to control encroachment by future development

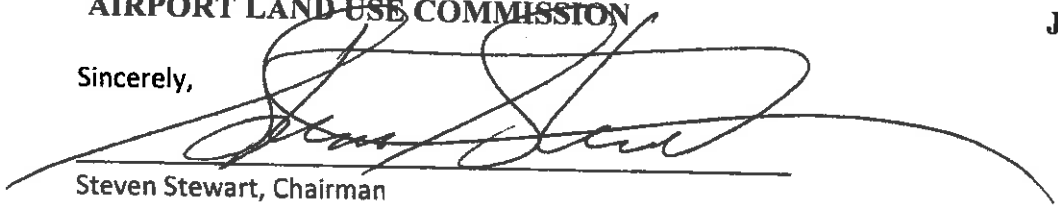
The local communities have gone beyond even that level of support. It was discovered that the most recent interpretation of Department of Defense Instruction (DoDI) 4165.57 by the Base Commanders was even more restrictive of the number of people per square foot in a building (Building Intensity) than the 2014 March ALUCP. Rather than wait years for the next update of the March ALUCP, the local communities immediately implemented a policy of requiring developers to record a covenant on their land implementing the DoDI 4165.57 standard.

Since 1918, March ARB (formerly March Field) is one of the few Bases with weather allowing flight operations 365 days a year. In keeping with RCALUC's mission to protect airports from people and people from airports, we believe that the surrounding communities will continue the 103 year tradition of supporting the Base operations. We hope the Base is ultimately selected for future KC-46A Pegasus operations.

AIRPORT LAND USE COMMISSION

July 15, 2021

Sincerely,

A large, stylized handwritten signature in black ink, appearing to read 'Steven Stewart', is written over a horizontal line. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Steven Stewart, Chairman
Riverside County Airport Land Use Commission

cc:

Rep. Mark Takano

Rep. Ken Calvert

Rep. Darrell Issa

Rep. Pete Aguilar

Senator Dianne Feinstein

Senator Alex Padilla

Rep. Mark Takano
3403 10th St. Unit 610
Riverside CA 92501

Rep. Ken Calvert
400 S. Vincentia Ave. Suite 125
Corona CA 92882

Rep. Darrell Issa
570 Rancheros Dr. Unit 250
San Marcos, CA 92069

Rep. Pete Aguilar
685 E. Carnegie Drive, Suite 100
San Bernardino, CA 92408

Rep. Raul Ruiz
445 East Florida Ave. 2nd Floor
Hemet, CA 92543

Senator Dianne Feinstein
11111 Santa Monica Blvd.
Suite 915
Los Angeles, CA 90025

Senator Alex Padilla
11845 West Olympic Blvd. Suite 1250
Los Angeles, CA 09964

Y:\AIRPORT CASE FILES\March\Air Force Letter KC-46 support -FINAL.doc



**AIRPORT LAND USE COMMISSION MEETING
MINUTES
July 8, 2021**

DRAFT

7-15-21

COMMISSIONERS PRESENT LIVE: Arthur Butler, Richard Stewart, John Lyon, Steven Stewart

COMMISSIONERS PRESENT REMOTELY: Russell Betts, Steve Manos (attended meeting at 9:40 a.m.)

COMMISSIONERS ABSENT: None

2.0 PUBLIC HEARING: CONTINUED ITEMS

2.1 Staff report recommended: **CONTINUE to 8-12-21**
Staff recommended at hearing: **CONSISTENT**
ALUC Commission Action: **CONSISTENT (Vote 5-0; absent Manos)**
ZAP1469MA21 – Phelan Development Company (Representative: EPD Solutions) – City of Moreno Valley Case No. PEN21-0031 (Plot Plan). A proposal to construct six industrial warehouse buildings totaling 197,401 square feet on 11.46 acres, located northerly of Alessandro Boulevard, easterly of Old 215 Frontage Road, southerly of Bay Avenue, and westerly of Day Street (Airport Compatibility Zones B1-APZ-II and C1 of the March Air Reserve Base/Inland Port Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

**Motion: John Lyon
Second: Richard Stewart**

3.0 PUBLIC HEARING: NEW CASES

3.1 Staff report recommended: **CONTINUE to 8-12-21**
Staff recommended at hearing: **INCONSISTENT**
ALUC Commission Action: **CONDITIONALLY CONSISTENT** subject to the conditions included herein, as modified at the meeting to include a new condition prohibiting live audiences, and such conditions as may be required by the FAA OES. (Vote 6-0)
ZAP1041BA21 – City of Banning/Grandave Studios (Representative: Fernando Huerta) – City of Banning Case Nos. GPA21-2502 (General Plan Amendment), ZC21-3502 (Zone Change), DR21-7001 (Design Review). A proposal to establish a Grandave Movie Studio including 51 buildings (some with mezzanines)-structures totaling 963,465 square feet, to be used as production stages, sound stages, water sound stages, warehouse storage facilities, offices, café, security stations, aircraft hangars, and two outdoor filming areas with building facades on 207.55 net acres (217.84 gross parcel acreage), generally located southerly of Interstate 10, easterly of Hargrave Avenue, and northerly of Westward Avenue/Charles Street. The applicant also proposes to amend the sites General Plan land use designation and zoning from Public Facilities Airport, Airport Industrial, and Industrial, to Public Facilities, Airport Industrial and Industrial Specific Plan overlay (Airport Compatibility Zones A, B1, B2, C, and D of the Banning Airport Influence Area). Staff Planner: Paul Rull at (951) 955-6893, or e-mail at prull@rivco.org

**Motion: Steve Manos
Second: Russell Betts**

VIDEO:

A video recording of the entire proceedings is available on the ALUC website at www.rcaluc.org. If you have any questions please contact Barbara Santos, ALUC Commission Secretary, at (951) 955-5132 or E-mail at basantos@rivco.org

**AIRPORT LAND USE COMMISSION MEETING
MINUTES
July 8, 2021**

4.0 PUBLIC HEARING: MISCELLANEOUS ITEMS

None

5.0 ADMINISTRATIVE ITEMS

5.1 Director's Approvals – Information Only

5.2 Update March Air Reserve Base Compatibility Use Study (CUS)

Simon Housman, Project Director MCUS informed the Commission that they had a kick-off Zoom meeting of 35 people from all the local jurisdictions, March ARB, the ALUC and the March Joint Powers Authority. We were told by the consultant that the website should be up and running soon. Mr. Housman informed the Commission regarding an Air Force letter received from Colonel Rodney McCraine Commander regarding Office Density Restriction Covenants for Riverside County, ALUC. Mr. Housman expressed that there is nothing in our plan that addresses the cumulative impacts which include solar glare, bird and wildlife hazards and is looking forward to working with the Commission to address this issue.

6.0 APPROVAL OF MINUTES

Commissioner Lyon motioned to approve the June 10, 2021 minutes, seconded by Commissioner Betts. (Vote 6-0)

7.0 ORAL COMMUNICATION ON ANY MATTER NOT ON THE AGENDA

None

8.0 COMMISSIONER'S COMMENTS

Commissioner Richard Stewart reported that we convey our support to the March Air Reserve Base review and studies of the KC-46 refueling tankers placement at the Base. Things being considered would be the availability of the base, taxiways, local community support as well as encroachment. Commissioner Lyon advised that the Commission express its support for the assignment of the KC-46's to the March Air Reserve Base and requested that ALUC counsel draft a formal letter expressing our support.

Commissioner Richard Stewart informed staff that Danielle Kelly formally Wheeler officially left the March JPA on June 30 and previous Director Lori Stone will be coming back from retirement to fill in until a nationwide search for a new Director is found.

Commissioner Betts complimented ALUC staff on their exceptional good work.

9.0 ADJOURNMENT

Steven Stewart, Chair adjourned the meeting at 10:46 a.m.

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VIDEO:

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